



HIGHLAND CITY

HIGHLAND CITY DEVELOPMENT ADMINISTRATION BOARD AGENDA

Thursday April 11, 2024

Highland City Council Chambers, 5400 West Civic Center Drive,
Highland Utah 84003

2:00 PM REGULAR SESSION

1. **[ACTION: Approval of Meeting Minutes](#)** – March 14, 2024, Meeting Minutes
2. **[ACTION: Final Plat Approval for Foxwood Estates Subdivision](#)**

Land Use (Administrative) – The Development Administration Board will consider a request from Millhaven Homes for approval of a final plat and subdivision improvement plans for a 20-lot subdivision in the R-1-40 Zone located generally at 10630 North 6400 West, in Highland. The Development Administration Board will take appropriate action.

DEVELOPMENT ADMINISTRATION BOARD

Development Administration Board meeting of the was called to order by Rob Patterson March 14, 2024, at 3:09PM. In attendance which made a quorum were the following:

Jay Baughman, City Administrator and Community Development Director

Rob Patterson City Attorney and Planning and Zoning Administrator

Andy Spencer City Engineer and Public Works Director

Audrey Moore Planning Commission member.

Agenda Item: Request from Mike Hawkins subdivider of the Hawks Landing to extend the deadline of his plat. The original plat was approved June 20, 2023. Under the old code it would have expired December but was granted an administration extension as we were working out a ditch issue, he has been asked to apply for an extension to formally extend it until December 17, 2024. Application was submitted.

Rob then discussed when the DAB can approve an extension. They must show good cause that they are making progress to make the improvements and record the plat. Restriction to approve a extension, is if it no longer conforms to current land use regulations, property has been developed in a manner that precludes the development which was originally approved. If there are sensitive lands that have been identified or tried to modify the subdivision. None of which are present on this property.

Andy Spencer asked 2 questions. 1- Mike reached out and inquired about going down from 7 lots to 6, but then believed Mike was keeping the original 7. Rob said he believed that to be right. The process of going from 7 to 6 was explained and Mike did not follow up on that and so we are sticking with the original 7 lots that were approved. Question or really comment 2 – Along lots 1,2,3 where it borders 11200 N on the final plat the irrigation easement should also be a utility easement, so these homes can be served by power, gas etc. And because this is a Lehi Irrigation facility, we would like Lehi Irrigation to sign the plat accepting these improvements and approving the plans. These are to be added as conditions of the extension.

Rob agreed with the public utility as this is standards on plats that are recorded in our city. Andy explained by way of explanation that recently there was an issue with Pleasant Grove irrigation and who was responsible to maintain a ditch on a subdivided lot, Pleasant Grove were resistant as they hadn't approved the and so they were saying it was Highlands Facility. Highland is being more careful to have Irrigation companies sign off on any improvements.

Audry are there any other changes to the plat, Rob said as of now no. Original Plat and Civil Plans that have already been approved. All the original approvals and conditions from the council are still in place, we are just approving the extension and adding any other conditions we might have as was looked at it.

Andy Spencer MOVED that the Development Administration Board accepts the findings and approves the request to extend the final plat of Hawks Landing to December 17, 2024. Subject to all the original conditions of the approval by the city council and continuing with this extension the Irrigation easement along lots 1, through 3 also being denoted as a public utility easement. A signature block for Lehi Irrigation being added to the plat and as a side note and not a condition of approval that the applicant be informed relative to if he ever did want to change and reduce those lots 6 and 7 into one lot that we would then require him to go up into the street and terminate the utility laterals that he is now going to

have to install, a little bit of encouragement to make up your mind now. If that makes sense that we build it once and build it right. That is my motion.

Jay Baughman SECONDED the motion.

The vote was recorded as follows:

<i>Jay Baughman, City Administrator and Community Development Director</i>	<i>Yes</i>
<i>Rob Patterson City Attorney and Planning and Zoning Administrator</i>	<i>Yes</i>
<i>Andy Spencer City Engineer and Public Works Director</i>	<i>Yes</i>
<i>Audrey Moore Planning Commission member.</i>	<i>Yes</i>

The motion passed 4:0

Meeting adjourned at 3:17PM

DRAFT



DEVELOPMENT ADMINISTRATION BOARD AGENDA REPORT ITEM #2

DATE: April 11, 2024
TO: Development Administration Board
FROM: Rob Patterson, City Attorney / Planning & Zoning Administrator
SUBJECT: **Final Plat Approval:** Foxwood Estates
TYPE: **LAND USE (ADMINISTRATIVE)**

PURPOSE:

The Development Administration Board will hold a public meeting to consider a request from Millhaven Homes for approval of a final plat and subdivision improvement plans for a 20-lot subdivision in the R-1-40 Zone located generally at 10630 North 6400 West, in Highland. The Development Administration Board will take appropriate action.

SUMMARY OF THE REQUEST:

1. The applicant is requesting final plat approval for the Foxwood Estates subdivision, a 20-lot subdivision within the R-1-40 subdivision.
2. Per HDC 5-4-103, if the plat and subdivision improvement plans comply with and conform to governing law and City standards, approval of the plat and plans is required. Conditions may be imposed on approval to ensure compliance and conformity.

STAFF RECOMMENDATION:

Staff recommends that the Development Administration Board **APPROVE** the final plat and subdivision improvement plans for the Foxwood Estates subdivision, with the following stipulations:

1. The final plat and final subdivision improvement plans shall be reviewed and approved by the City Engineer and City Attorney for compliance with these stipulations prior to recordation and prior to construction.
2. The recorded plat shall be in substantial conformance with the final plat received April 2, 2024, except as modified by these stipulations (attachment 3).
3. The final subdivision improvement plans shall be in substantial conformance with the plans received April 2, 2024, except as modified by these stipulations (attachment 4).
4. The final plat and final subdivision improvement plans shall be revised and updated by Developer per City Review Comments issued April 9, 2024 (attachment 5).
5. Staff will coordinate with Developer regarding a reimbursement agreement for the Canterbury trail connection and the installation of a pressure reducing valve within Avery Avenue.

BACKGROUND:

Foxwood Estates is a proposed subdivision of the Workman Farms property located along on the west side of 6400 West, north of Canterbury, at approximately 10630 North 600 West. The property consists of approximately 21.5 acres and is zoned R-1-40. The applicant is proposing a 20-lot subdivision.

Planning Commission Action:

On January 17, 2024, the Planning Commission approved the preliminary plat for the Foxwood Estates subdivision subject to 14 stipulations, plus additional stipulations regarding sensitive lands mitigation set out in a staff memorandum.

STAFF REVIEW:

Staff's review of the final plat and subdivision improvement plans is summarized below:

Plat Review

- The final plat is in substantial compliance with the preliminary plat received January 11, 2024.
- The final plat conforms in major respect to City standards and the stipulations of approval of the preliminary plat. Staff's Review Comments issued April 9, 2024, address and correct the remaining issues.

Zoning

- The property is designated as Low-Density Residential in the General Plan Land Use Map. It is zoned R-1-40.
- The properties directly north, south, east, and west of the proposed project are zoned R-1-40. The proposed subdivision is compatible with the surrounding uses.

Density

- The subdivision consists of 21.5 acres. With R-1-40 density requirements, the developer is allowed 23 lots. The developer is only seeking approval of 20 lots.
- The lot sizes meet the requirements of the R-1-40 Zone by having only five (5) lots (25% of the 20 lots) that are less than 30,000 square feet.

Sensitive Lands

- The subdivision contains lots (12-20) that border the hollow and contain steep slopes regulated by the City's sensitive lands ordinance.
- The applicant has complied with the stipulations on approval of the preliminary plat regarding sensitive lands, including:
 - Plat demarcation of buildable/non-buildable areas
 - Plat notes restricting development within steep slopes and requiring lot-specific evaluation by a geotechnical engineer for building footings
 - Cross-sections for each affected lot showing the allowed buildable area and slope limitations and a requirement for all lots to provide grading plans to manage drainage from each lot
 - Updated geotechnical report that will be recorded against title to the property
 - Easement within the hollow granted to the City and Lehi Irrigation allowing for drainage and control of development/vegetation

Easements and Dedications

- The subdivision contains or will contain, per stipulations, all easements of record and revised irrigation easements for Lehi Irrigation. Approval from Lehi Irrigation of the revised easements will be required prior to recording.
- Highland City will receive three parcels for municipal purposes, including irrigation, utility, access, and public trail purposes.
- Highland City and Lehi Irrigation will gain irrigation and access/trail easements.

Access and Circulation

- Road and utility access to the site will be from 6400 W, 6480 W (Avery Ave.), and Joseph Lane; and lots 3, 4, 7, and 8 will not be permitted drive access from 6400 W.
- All roads and right-of-way are to be improved to City standards, including 6400 West. The subdivision improvement plans for all road and right-of-way improvements conform in major respect to City standards and the stipulations of approval of the preliminary plat. Staff's Review Comments issued April 9, 2024, address and correct the remaining issues.
- Trail access connecting the Town Center Trail and Murdock Canal Trail is being provided. Where the trail is adjacent to a street, an easement for a 10' trail and 4' park strip is provided to replace normal sidewalk areas.
- Developer has agreed to construct the trail connection along the City's trail corridor property in Canterbury that will connect to Murdock Canal Trail to the Foxwood Estates trail, subject to City reimbursement.

Utilities and Water

- The subdivision improvement plans for utilities and drainage conform in major respect to City standards and the stipulations of approval of the preliminary plat. Staff's Review Comments issued April 9, 2024, address and correct the remaining issues.
- Developer has coordinated with Lehi Irrigation to pipe and reroute the ditch on the property.
- Developer has agreed to install a pressure reducing valve for the City's culinary water system in Avery Ave subject to reimbursement.
- Drainage corridors are being provided from the cul-de-sac and bulb adjacent to the hollow to manage drainage from those street areas.
- Developer will provide adequate water shares totaling 74.31 acre-feet for the property within the development that will remain private property.
- Highland will attribute 16.81 acre-feet of water to this development for the property and improvements Highland City is receiving, including Parcel A and trail corridors.

Landscaping

- Trail areas and park strips adjacent to 6400 West will be xeriscaped.
- Trail area along 10600 North will be landscaped with trees and xeriscape materials.
- Theme walls and fences that meet City code will be provided along trail corridors, to be maintained by the private lot owners.

FINDINGS:

Based on the facts described in the staff review, and if the stipulations proposed by staff are

accepted, the final plat and subdivision improvement plans meet the following findings:

- The final plat and subdivision improvement plans are in substantial conformance with the preliminary plat and stipulations of approval thereof.
- The final plat and subdivision comply with and conform to the requirements of the Utah State Code, Highland City Development Code, and Highland City standards and specifications.

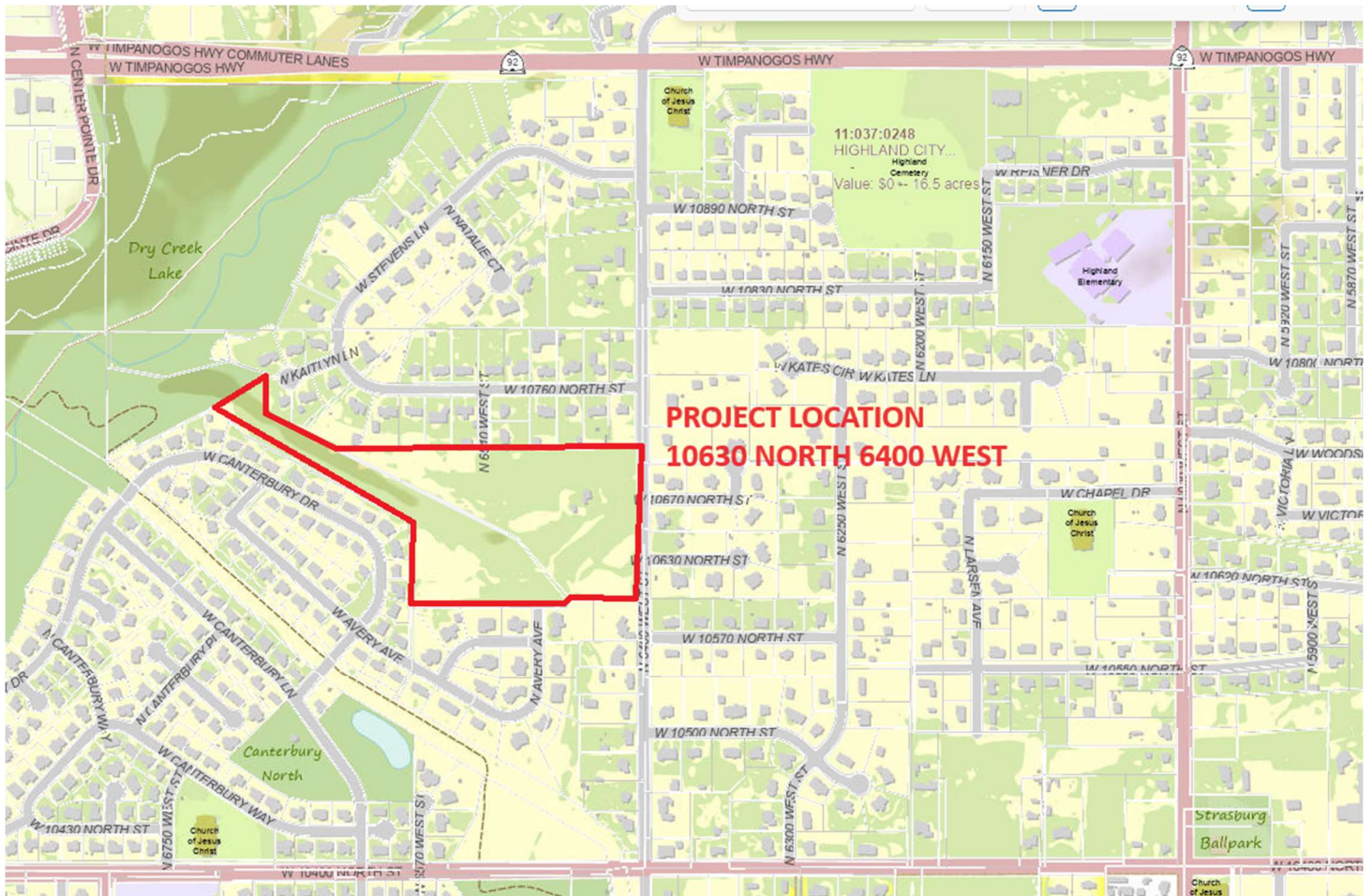
MOTION TO APPROVE:

I move that the Development Administration Board accept the findings and **APPROVE** the final plat and subdivision improvement plans for the Foxwood Estates subdivision, subject to the **five (5) stipulations** recommended by staff.

ATTACHMENTS:

1. Vicinity Map
2. Foxwood Estates Project Narrative
3. Final Plat – April 2, 2024
4. Subdivision Plans – April 2, 2024
5. Staff Review Comments issued April 9, 2024

VICINITY MAP
FOXWOOD ESTATES
HIGHLAND, UTAH
FEBRUARY 2024



PROJECT NARRATIVE**FOXWOOD ESTATES****HIGHLAND, UTAH****FEBRUARY 2024****INTRODUCTION**

Millhaven Homes has purchased the Workman property near 6400 West and 10630 North Streets in Highland, Utah. The existing property consists of two parcels, which combine to a total of 24.77 acres. The property is within the R-1-40 zone. The total allowable number of lots for this site is 26 lots. Due to public street layout and a large irrigation ravine, Millhaven is proposing fewer lots. The proposed development comprises 19 single family residential lots with the average lot size being 39,550 square feet (0.90 acres).

ROAD CONNECTIVITY

The property has several proposed road connections. As part of the project, 6400 West will be widened to the proposed width along the entire east boundary of the property. A road connection will be made to the North which connects to Joseph Lane (Victor View Subdivision). There will also be a road connection to the South which connects to Avery Avenue (Horseshoe Bend).

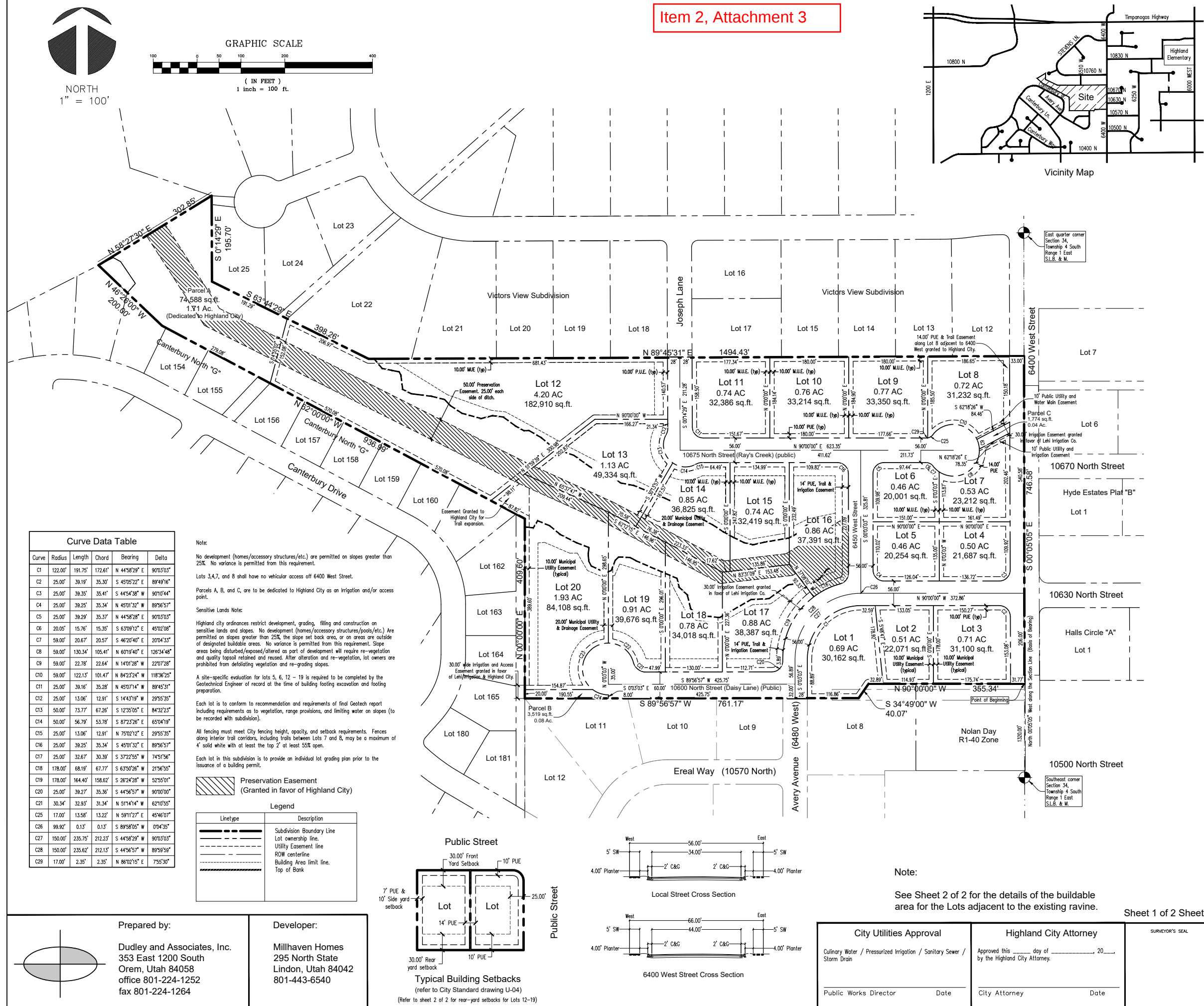
CITY TRAIL

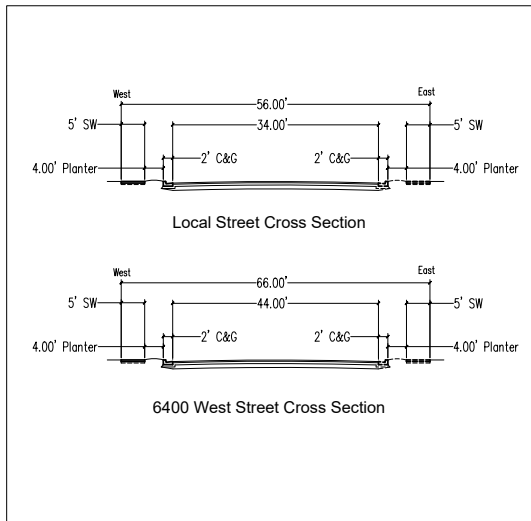
There is a main city trail on the masterplan through this property. The proposal is to connect the two trail ends with a 10' asphalt trail that cuts through the subdivision from the northeast to the southwest. This trail will be constructed mostly along roadways and only split lots at the two ends. The trail connection at the southwest corner does not currently have a constructed asphalt trail, but the trail right-of-way is owned by Highland City.

IRRIGATION RAVINE

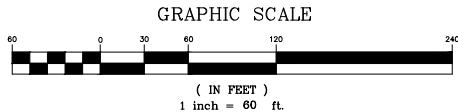
Millhaven's clients enjoy bigger lots and more space between neighbors. The existing ravine provides a great situation for bigger lots and more privacy. The proposal is to keep the ravine as natural as possible with a 50' wide preservation easement along the channel. This will ensure that the irrigation ditch will be protected and be able to be maintained moving forward. We are also proposing that through the entitlement process of the property, Highland City would take ownership of Parcel A (the tail piece near Dry Creek Lake). This would allow Highland to own property with drainage, sewer, and water infrastructure.

Item 2, Attachment 3

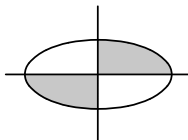




All fencing must meet City fencing height, opacity, and setback requirements. Fences along interior trail corridors, including trails between Lots 7 and 8, may be a maximum of 4' solid white with at least the top 2' at least 55% open.



The purpose for Sheet 2 of 2 is to identify and describe the buildable area for the Lots adjacent to the existing ravine.



Prepared by:
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Orem, Utah 84058
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Foxwood Estates Subdivision

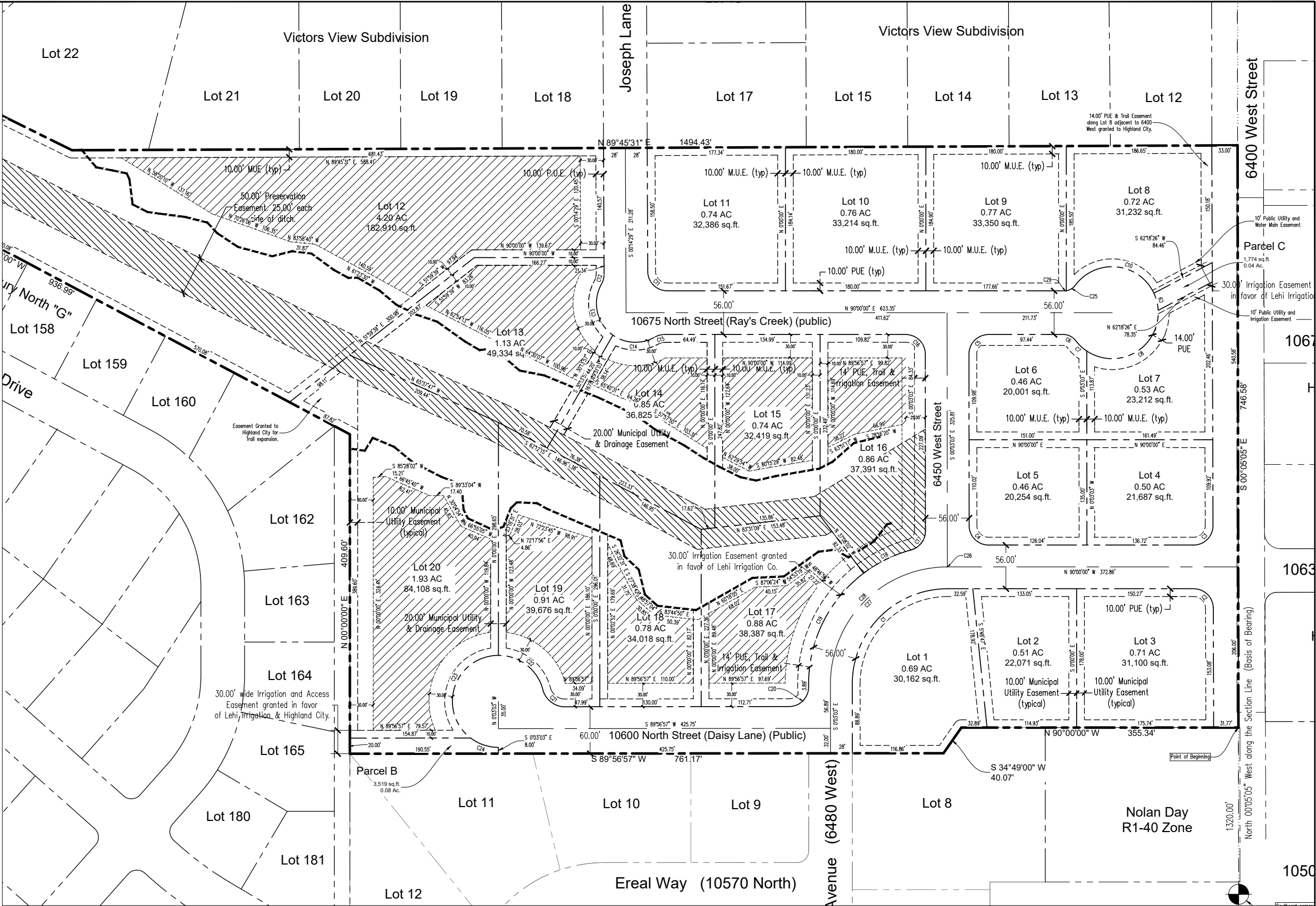
ENTRY No. _____

STATE OF UTAH COUNTY OF _____

RECORDED AND FILED AT THE REQUEST OF _____

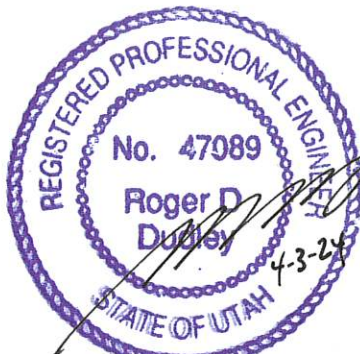
DATE _____ TIME _____ MAP _____

Fee COUNTY RECORDER



Foxwood Estates
Highland, Utah

Item 2, Attachment 4



NOTES

1. The fire protection items (fire hydrant, water mains, access roads, etc.) shown on this site plan are preliminary only. Detailed fire protection plans shall be submitted with the building plans. Plan reviews by the Fire Prevention Bureau shall be completed prior to the issuance of a building permit. The plan reviews by the Fire Prevention Bureau may identify additional fire protection requirements mandated by the International Fire Code. Fire hydrant foot valves shall be installed at the connection point with the main water lines.
2. Water meters shall be located at the back of sidewalk or curb in an area that is accessible for reading and servicing. Water meters shall not be located within areas enclosed with fences or within 10 feet (10') of any existing or proposed structure.
3. All signage shall comply with the requirements of the City Code.
4. All utilities, including water and sewer laterals, water and sewer mains, storm water drains, storm water pumps, sewer manholes, water valves, etc., shall not be located under covered parking areas and shall be installed according to the City Code.
5. All roof drainage shall be routed through on-site storm water management facilities.
6. At the time of construction, the City of may determine based on professional experience and judgment and at its sole discretion, the need for the Owner/Developer to pay for, remove, and replace any existing substandard improvements such as curbs, gutters, sidewalks, drive approaches, driveways, decorative concrete, wheelchair ramps, etc., or any unused drive approaches.
7. All construction shall conform to the City of construction standards and specifications unless the improvement is within the UDOT right-of-way, in which case the construction shall conform to UDOT construction standards and specifications.

TOTAL OUTSIDE BOUNDARY

Commencing at a point located North 00°04'58" West along the Section line 1326.45 feet from the Southeast corner of Section 34, Township 4 South, Range 1 East, Salt Lake Base and Meridian, thence South 89°54'37" West 208.08 feet, thence South 61°12' feet, thence West 147.30 feet, thence South 34°49'00" West 40.37 feet, thence South 89°56'57" West along an existing fence line 761.21 feet, thence along the Canterbury North G Subdivision Boundary as follows: North 00°00'22" East 409.80, North 62°00'00" West 936.99 feet, North 45°25'00" West 197.69 feet, thence North 59°13'00" East 297.49 feet, thence along the Victor View Subdivision Boundary as follows: South 180.37 feet, South 63°30'00" East 398.26 feet, South 89°59'59" East 1496.91 feet, thence South 00°04'58" East along said Section line 740.09 feet to the point of beginning.

AREA = 1,083,011 square feet or 24.86 acres

PARCEL 1

Commencing at a point located North 00°04'58" West along the Section line 1320.01 feet and West 355.39 feet from the Southeast corner of Section 34, Township 4 South, Range 1 East, Salt Lake Base and Meridian, thence South 34°49'00" West 40.37 feet, thence South 89°56'57" West along an existing fence line 761.21 feet, thence along the Canterbury North G Subdivision Boundary as follows: North 00°00'22" East 409.80, North 62°00'00" West 936.99 feet, North 45°25'00" West 197.69 feet, thence North 59°13'00" East 297.49 feet, thence along the Victor View Subdivision Boundary as follows: South 180.37 feet, South 63°30'00" East 398.26 feet, thence South 63°31'56" East 978.26 feet, thence South 40°40'33" East 409.45 feet to the point of beginning.

AREA = 470,705 square feet or 10.81 acres

PARCEL 2

Commencing at a point located North 00°04'58" West along the Section line 1326.45 feet from the Southeast corner of Section 34, Township 4 South, Range 1 East, Salt Lake Base and Meridian, thence South 89°54'37" West 208.08 feet, thence South 61°12' feet, thence West 147.30 feet, thence North 40°40'33" West 409.45 feet, thence North 63°31'56" West 978.26 feet, thence South 89°59'59" East along Victor View Subdivision 1496.91 feet, thence South 00°04'58" East along said Section line 740.09 feet to the point of beginning.

AREA = 512,335 square feet or 14.05 acres

	Square Footage	Acreage	Percent of total
Total Area	1,079,130	24.77	100
Ravine Area	304,133	6.98	28
Net Lot Area	774,997	17.79	72
Minimum Lot size	20,000	0.46	0

Tabulation Table

Sheet No.
C - 1.0

Symbol	Description
	Proposed 8" Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed Culinary Water Main (size noted on plan)
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Storm Drain pipe (size noted on plan)
	Cable TV utility lines
	Existing Power lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Proposed Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
	Top of asphalt
	Top of sidewalk
	Back of top of curb
	Back of top of sidewalk
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Water Valve
	Gas valve
	Water Meter
	Edge of existing asphalt
	Public Utility Easement

Planning Department

5400 W Civic Center Drive
Highland, UT 84003
phone (801)772-4506
fax (801)756-6903

Public Works Department

5400 W Civic Center Drive
Highland, UT 84003
phone (801)772-4515
fax (801)756-6903

Public Safety

5582 West Parkway West Drive
Non-emergency (801)763-5365
Emergency 911

Utah County Animal Shelter 801-785-3442

Engineering

Engineer: Andy Spencer
5400 W Civic Center Drive
Highland, UT 84003
Phone (801) 772-4508
Fax (801) 756-6903
aspencer@highlandcity.org

Building Inspection

5400 W Civic Center Drive
Highland, UT 84003
Phone (801) 772-4516
Fax (801) 756-6903
Building Official - Jason Nelson
jnelson@highlandcity.org

Gas

Dominion Energy
1640 North Mountain Springs Parkway
Springville, Utah 84663
Phone (801) 853-6585

Electricity

Rocky Mountain Power
70 North 200 East
American Fork, Utah 84003
Phone (801) 756-1220
Fax (801) 756-1274
Mark Steele

Telephone

Centurylink
75 East 100 North
Provo, Utah 84606
Phone (801) 356-7050
Cell (801) 473-3385
Kasey Lunt

Cable T.V.

Comcast Cable Communications, Inc.
1350 East Miller Avenue
Salt Lake City, Utah 84106
Phone (801) 485-0500
Fax (801) 487-1887

Developer:

Millhaven Homes
272 West 200 North, Suite 100
Lindon, Utah 84042
(801)443-6540
todd@millhavendevlopment.com

Engineer:

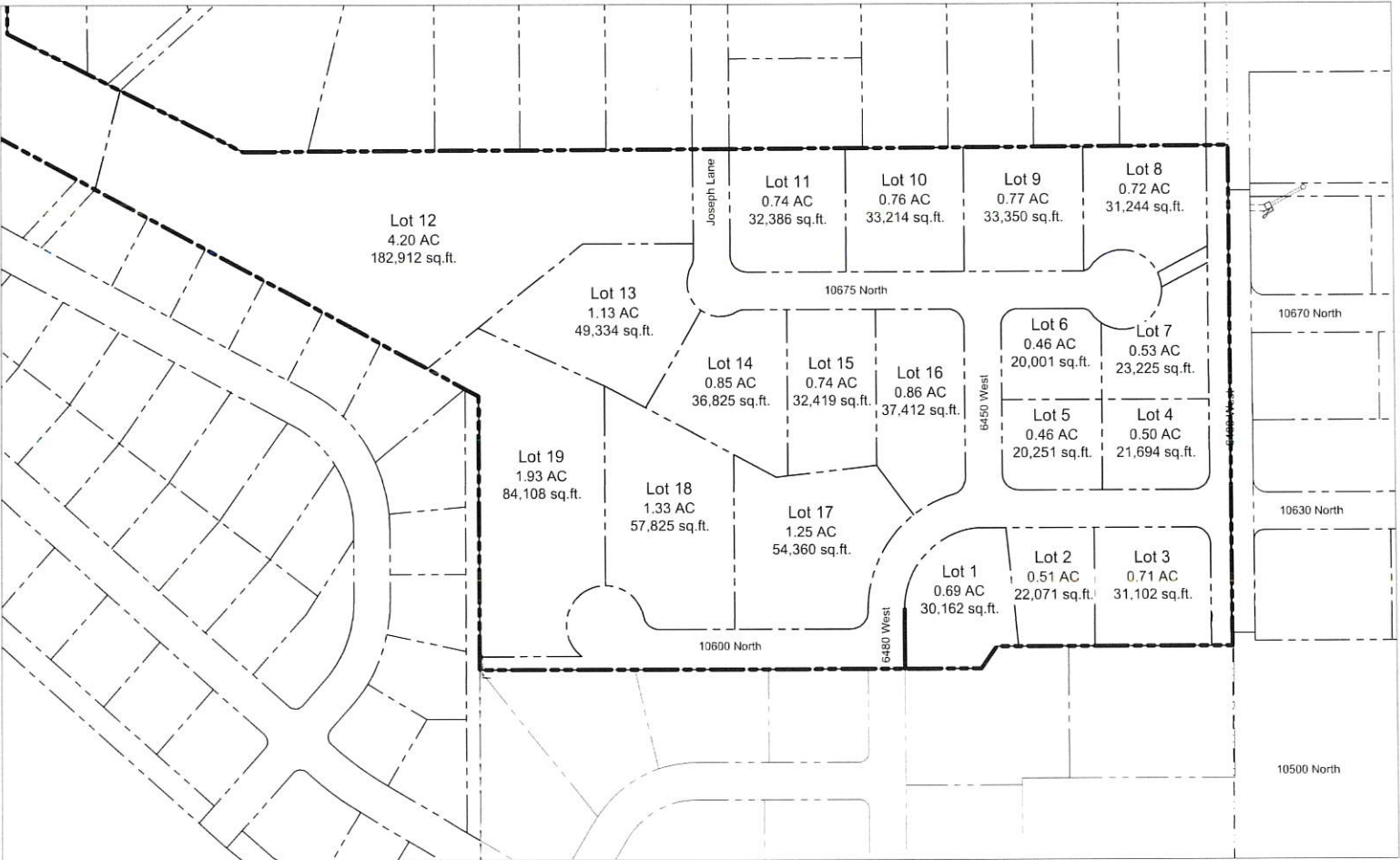
Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
801-224-1252

Site Data:

Zone = R1-40
(All surrounding properties lie within a R1-40 Zone).

Total Area = 1,079,130 sq.ft. or 24.77 Acres
Total number of Lots = 20

Said described property is located within an area having a Zone Designation "X" (Areas of Minimal Flood Hazard) by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map 49049C0192F, with a date of identification of 6-19-2020, in Utah County, State of Utah, which is the current Flood Insurance Rate Map for the community in which said property is situated. A small portion at the westerly side of Lot 12 is located within a Zone AE floodmap boundary. The AE boundary does not affect any of the proposed lots.



UTILITY GENERAL NOTES

1. All installation and materials shall, at a minimum, conform to the current City standards, specifications, and drawings.
2. The contractor shall obtain a permit for utility construction at least 48 hours prior to construction.
3. Contractor shall coordinate with all utility companies for installation requirements and specifications.
4. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service.
5. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
6. Underground utilities shall be installed, inspected and approved before backfilling.
7. Contractor shall notify the necessary City inspectors 72 hours before connecting to any existing utility.
8. All fill material is to be in place and compacted before installation of proposed utilities.
9. Existing utilities shall be verified in field prior to installation of any new lines, any discrepancies found are to be communicated to the design engineer prior to installation.
10. All ductile and gray iron fittings shall be manufactured in accordance with the following AWWA standards: C-134 cement mortar lining, C-110 gray-iron and ductile iron joints. All fittings shall be seal coated with bituminous material. All fitting shall be 250 PSI minimum pressure rating.
11. Manholes shall be precast conforming to ASTM C-478. Concrete bases shall be poured in place or precast.
12. All utility pipes shall be bedded and backfilled in accordance with the detail drawings and site work specifications.
13. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations. Any existing manholes in unpaved areas shall be 6 inches above finished ground elevations with water tight lids.
14. All concrete for encasements shall have a minimum 28 day compression strength of 4000 PSI.
15. Site work contractor shall be responsible for all improvements to with 5 ft. of proposed building unless specified otherwise. Site work contractor shall coordinate with building contractor on all utility building entrance locations.
16. In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18-inch clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
17. Drawings do not purport to show all existing utilities. It is the responsibility of the contractor to verify all existing utilities by means of "blue stakes", soil-nailing, and/or excavation.
18. Contractor shall verify utility locations prior to subsurface work for light poles (spacing, etc.) and similar structures.
19. See notice requirement under general project notes.
20. The general contractor shall ensure that all sub-contractors have installed utilities in accordance with the specifications and design (line, grade, no sag, etc.) prior to scheduling close-out meetings with the city.
21. All utilities shall be pre-tested prior to the city witnessing the test to ensure that said utilities will pass during city witness of testing.

SURVEY CONTROL NOTE:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Dudley & Associates ALTA survey or Dudley & Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal and vertical control from the survey monuments and for verifying any additional control points shown provided by Dudley & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or an electronic data provided by Dudley & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property, that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

SANITARY SEWER GENERAL NOTES

1. See this sheet for general project notes.
2. All sanitary sewer construction shall be in conformance with the standards and specifications.
3. All gravity sanitary sewer lines shall be in conformance with the standards and specifications.
4. Sanitary sewer lines shall be SDR-35 PVC. Sewer line construction and materials shall conform to ASTM standards and specifications.
5. Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with the standard specifications. All frames shall be adjusted to final grade prior to the final lift of asphalt.
6. All sanitary sewer man testing shall be accordance with the city standards and specifications. Copies of all test results shall provided to the engineer, the owner, and the governing authority prior to the start of the warranty period.
7. Compaction of all trenches within the project site must be attained and compaction results submitted to the Public Works Department.
8. The contractor is responsible for protecting all existing structures and improvements during installation of sanitary sewer line.
9. The contractor is responsible for the following:
 - (A) Obtaining all required permits from the city or regulatory authorities at the contractors cost including permits required for work within the public right-of-way.
 - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinkler systems.
 - (C) Verification and protection of all existing utilities within the limits of construction.
 - (D) Providing as-built drawings to the City and engineer.
 - (E) All permitting, development, location, connecting and inspection.
 - (F) Verifying all standard details conform to the current standards and specifications.
 - (G) For obtaining and understanding all city, county, and state standards and specifications pertaining to the construction of sanitary sewer improvements.
 - (H) Reference architectural plans for all connections to building services and verify locations as shown.
10. The contractor shall provide all materials necessary for construction or installation of all proposed improvements shown.
11. The contractor shall patch the existing sewer man and provide an as-built elevation of the man to the engineer prior to any new construction.
12. Sanitary sewer pipes shall be bedded in accordance with standards.

STORM DRAIN GENERAL NOTES

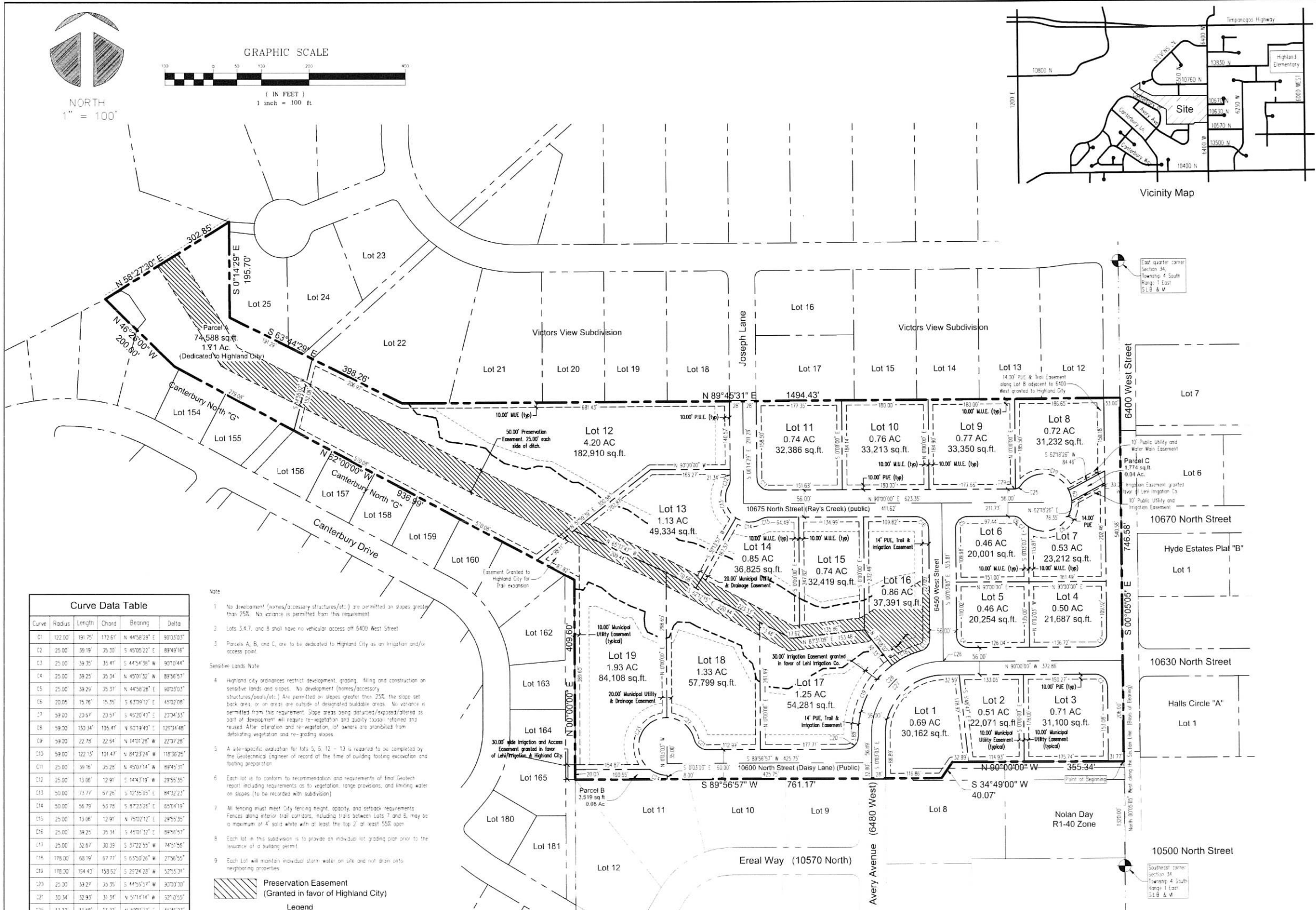
1. The contractor shall be responsible for the following:
 - (A) Obtaining all required permits from the city or regulatory authorities at the contractor's cost including permits required for work within the public right-of-way.
 - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinklers systems.
 - (C) Verification and protection of all existing utilities within the limits of construction.
 - (D) Providing as-built drawings to the city and engineer.
 - (E) All permitting, development, location, connection and inspection.
 - (F) Scheduling all required inspections.
2. All storm drain construction shall be in conformance with standards, specifications, and plans.
3. Distances for storm drains are the horizontal distances from center of manhole or inlet to center of manhole or inlet. Therefore, distances shown on plans are approximate and could vary due to vertical alignment.
4. Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with standards, specifications and plans. All frames shall be adjusted to final grade prior to the final lift of asphalt.
5. Compaction of all trenches within the project site must be attained and compaction results submitted to the engineer prior to final acceptance.
6. Storm drain pipes entering structures shall be grouted to assure connection of structure is watertight.
7. All storm drain manholes in paved areas shall be flush with pavement and shall have traffic bearing lids. Manholes in unpaved areas shall be 6" above finished grade. All storm drain lids shall be labeled "storm drain".
8. Contractors shall verify horizontal and vertical location of all existing storm drain structures, pipes, and all utilities prior to construction. Any discrepancies are to be reported to the design engineer prior to construction.
9. Storm drains shall be bedded in accordance with the City standards.

GRADING PLAN GENERAL NOTES

1. Contours shown are for finished surface paving, sidewalk, slab, or ground adjustment to sub-grade is the contractor's responsibility.
2. All disturbed areas that are un-surfaced or are not designated as landscape areas are to be seeded, fertilized, and watered until a healthy stand of grass is obtained.
3. If during the overall grading process, conditions are encountered which could indicate an unidentified situation is present, the soils engineer shall be contacted for recommendations.
4. Unless otherwise shown, no proposed slope shall exceed three (3) horizontal to one (1) vertical. All sloped areas must be protected from erosion.
5. If striped materials consisting of vegetation and organic materials are stockpiled on the site, topsoil may be placed to a height of five feet. Silt fence shall be placed around the base of the stockpile and the stockpile shall be seeded with native seed mix immediately after stripping operations are complete.
6. On-site materials suitable for fill beneath drives and asphalt areas beyond 5' (five) of the building shall be compacted in accordance with guidelines presented in the soils report.
7. Spot elevations shall take precedence over contours and slopes shown. The contractor shall notify the engineer of the spot elevations that do not appear to be consistent with the contours and slopes. Spot elevations and specific profile design shall be used for setting elevations of curb, gutter and utilities.
8. Benchmark verification. Contractor shall use benchmarks and datums shown herein to set project benchmark(s), by running level loop between at least two benchmarks, and shall provide survey notes of such to project engineer prior to commencing construction.
9. All utilities (manholes, valve covers, cleanouts, vaults, boxes, etc.) shall be adjusted to final grade prior to the final lift of asphalt.
10. All earth moving and placement operations shall be in conformance with the recommendations identified in the soils report. The contractor shall have a signed and sealed copy of the soils report on the site at all times.
11. The contours shown in the detention/retention pond area represent final grade. The top 6 inches of material in the detention/retention pond and berm areas shall be top soil as specified in the project standards.
12. Grades within asphalt areas shall be constructed to within 2.10 feet of the design grade. However, the contractor shall maintain positive drainage in all pavement areas and along all curbs. All curbs shall be built in accordance to the plan. Cuts or pavement areas which do not provide proper drainage must be removed and replaced at the contractor's expense.
13. Spot elevations represent flow line or top of asphalt unless otherwise noted.
14. The contractor is responsible for providing his own estimate of earthwork quantities.
15. All landscape islands shall have a crown of topsoil prior to landscaping. Refer to landscape plan for specifications.
16. Where new curb and gutter is being constructed adjacent to existing asphalt or concrete pavement, the following shall apply. Prior to placement of any concrete, the contractor shall have a licensed surveyor verify the grade and cross slope of the curb and gutter forms. The contractor shall submit the slopes and grades to the engineer immediately of any section which does not conform to the design or typical cross section. The contractor shall be solely responsible for curb and gutter pours without the approval of the engineer.
17. The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
18. Pre-cast structures may be used at contractor's option.
19. Existing drainage structures to be inspected and repaired as needed, and existing pipes to be cleaned out to remove dirt and debris.
20. Existing grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
21. Proposed grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
22. If any existing structures to remain are damaged during construction, it shall be the contractors responsibility to repair and/or replace the existing structure as necessary to return it to existing conditions or better.
23. The contractor shall adhere to all terms & conditions as outlined in the general permit for storm water discharge associated with construction activities.
24. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade.
25. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
26. Topographical information taken from a topographic survey by [Dudley & Associates]. If contractor does not accept existing topography as shown on the plans, without exception, he shall have made, at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
27. All unsurfaced areas disturbed by grading operation shall receive 4 inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3:1 or steeper. Contractor shall place sod or hydroseed to disturbed areas in accordance with city/county specifications and maintain until a healthy stand of grass is obtained.
28. Construction shall comply with all applicable governing codes and be constructed to same.
29. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
30. Site work shall meet or exceed site specifications.
31. All concrete to have a minimum 28 day compression strength of 4000 PSI.
32. All drainage from the subject site is to be contained on-site. No water shall be allowed to flow onto adjacent properties without drainage easements in place.
33. The landscape contractor is to refer to the grading and drainage plan for the placement of drainage swales and 10 facilities and ensure the design is maintained.

GENERAL NOTES

1. All materials, workmanship, and construction of site improvements shall meet or exceed specifications set forth in the City Public Works Department, Regulations and applicable state and federal regulations (including ADA guidelines). Where there is a conflict between these plans and the specifications, or any applicable standards, the higher quality standard shall apply. All work with public R.O.W. or easements shall be inspected and approved by the City Public Works Inspector and/or UDOT where applicable. Inspection services and construction certification to be provided by engineer of record.
2. The contractor is specifically cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field, the information is not to be relied upon as being exact or complete. The contractor must call the local utility location center at least 48 hours before any excavation to requested exact field locations of the utilities. Prior to construction, the contractor shall verify pertinent locations and elevations, especially at the connection points and at potential utility conflicts. It shall be the responsibility of the contractor to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
3. The contractor shall be responsible for obtaining all necessary permits from all applicable agencies. The contractor shall notify the City Public Works Inspector at least 48 hours prior to the start of any earth disturbing activity, or construction on any and all public improvements.
4. The contractor shall coordinate with City and all utility companies involved with regard to relocations or adjustments of existing utilities during construction and to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The contractor shall be responsible for contacting all parties affected by any disruption of any utility service.
5. The contractor shall have one (1) signed copy of the approved plans, and (1) copy of the appropriated standards and specifications, and a copy of any permits and extension agreements needed for the job, on-site at all times.
6. The contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control and security.
7. If during the construction process, conditions are encountered by the contractor, his subcontractors, or other affected parties which could indicate a situation that is not identified in the plans or specifications, the contractor shall contact the engineer immediately.
8. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
9. The contractor shall submit a traffic control plan in accordance with the manual on uniform traffic control devices to the appropriate right-of-way authority (city, county or state) for approval prior to any construction activities within, or affecting the right-of-way. The contractor shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
10. The contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements shown on these drawings or designated to be provided, installed, constructed, removed and relocated unless specifically noted otherwise.
11. The contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked from the site.
12. The contractor shall be responsible for recording as-built information on a set of record drawings kept at the construction site, and available to the City Public Works Inspector at all times.
13. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the consultant engineer for clarification and annotate the dimension on the as-built record drawings.
14. All structural erosion control measures shall be installed, at the limits of construction, prior to any other ground-disturbing activity. All erosion control measures shall be maintained in good repair by the contractor, until such time as the entire disturbed areas are stabilized with hard surface or landscaping.
15. The contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts, in general, storm sewer and sanitary sewer should be constructed prior to installation of water lines and dry utilities.
16. All work within the public right-of-way is subject to the jurisdiction of the City Engineering Department Standard Details Specifications and Utah Department of Transportation Standard Details and Specifications.
17. The contractor shall submit a phasing plan for all work in all public roads and R.O.W.'s to the City before beginning any work on these streets. Contractor shall begin work only after City approves the phasing plan, and a preconstruction meeting is held between the city, the engineer and the contractor.
18. All operations conducted on the premises, including the warming up, repair, arrival, departure, or running of trucks, earthmoving equipment, construction equipment and any other associated equipment shall be limited to the period between 7:00 a.m. and 10:00 p.m. everyday, unless otherwise approved by the city.
19. It is the responsibility of the contractor to coordinate all utility relocations consistent with the contractor's schedule for this project. Whether shown or not shown as it relates to the construction activities contemplated in these plans.
20. Contractor shall be responsible for obtaining all temporary power and water to the site, paying all fees excluding tap fees and system development fees, referring to the geotechnical report prepared by [Earthlec Testing and Engineering P.C.]
21. In general, limits of site work are up to (and including) constructing sidewalks.



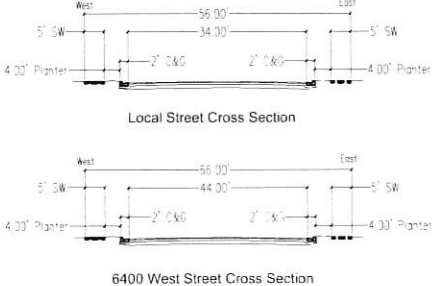
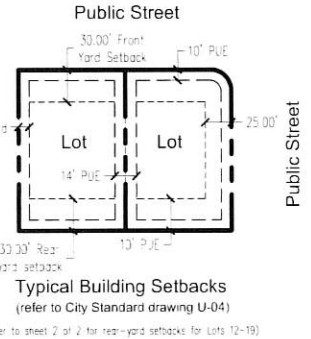
Curve Data Table				
Curve	Radius	Length	Chord	Bearing
C1	122.00	191.75	172.61	N 44°58'29" E
C2	25.00	39.19	35.33	S 45°05'22" E
C3	25.00	39.35	35.41	S 44°54'36" W
C4	25.00	39.25	35.34	N 45°01'32" W
C5	25.00	39.29	35.37	N 44°58'28" E
C6	20.05	15.76	15.35	S 43°09'12" E
C7	59.03	23.67	23.57	S 45°20'47" E
C8	59.20	133.34	135.41	N 52°19'40" E
C9	59.03	22.78	22.54	N 14°01'28" W
C10	59.07	122.15	121.47	N 84°23'24" W
C11	25.00	39.16	35.28	N 45°07'14" W
C12	25.00	13.96	12.91	S 14°43'19" W
C13	50.00	73.77	67.26	S 12°35'05" E
C14	50.00	56.79	53.78	S 8°12'26" E
C15	25.00	13.06	12.91	N 75°02'12" E
C16	25.00	39.25	35.34	S 45°01'32" E
C17	25.00	32.67	30.39	S 37°22'55" W
C18	178.00	68.19	67.77	S 63°50'26" W
C19	178.00	154.43	158.52	S 25°24'28" W
C20	25.00	39.27	35.35	S 44°55'53" W
C21	30.34	32.93	31.34	N 51°16'14" W
C22	17.33	13.98	13.22	N 59°17'27" E
C23	99.92	0.13	0.13	S 89°58'05" W
C24	150.00	216.75	212.22	S 44°58'29" W
C25	150.00	235.62	212.13	S 44°56'57" W
C26	17.00	2.35	2.35	N 86°02'15" E

- Note:
- No development (homes/accessory structures/etc.) are permitted on slopes greater than 25%. No variance is permitted from this requirement.
 - Lots 3, 4, 7, and 8 shall have no vehicular access off 6400 West Street.
 - Parcels A, B, and C, are to be dedicated to Highland City as an irrigation and/or access point.
- Sensitive Lands Note:
- Highland City ordinances restrict development, grading, filling and construction on sensitive lands and slopes. No development (homes/accessory structures/pools/etc.) are permitted on slopes greater than 25%; the slope set back areas, or on areas are outside of designated building areas. No variance is permitted from this requirement. Slope areas being disturbed/exposed/stored as part of development will require re-vegetation and quality disposal retained and reused. After alteration and re-vegetation, lot owners are prohibited from disturbing vegetation and re-grading slopes.
 - A site-specific evaluation for lots 5, 6, 12 - 13 is required to be completed by the Geotechnical Engineer of record at the time of building footing excavation and the footing preparation.
 - Each lot is to conform to recommendation and requirements of final Geotech report including requirements as to vegetation, range provisions, and limiting water on slopes (to be recorded with subdivision).
 - All fencing must meet City fencing height, spacing, and setback requirements. Fences along interior lot corners, including lots between 7 and 8, may be a maximum of 4' solid white with at least the top 2' at least 55% open.
 - Each lot in this subdivision is to provide an individual lot grading plan prior to the issuance of a building permit.
 - Each lot will maintain individual storm water on site and not drain onto neighboring properties.

Preservation Easement
(Granted in favor of Highland City)

Legend

Linetype	Description
-----	Subdivision Boundary Line
-----	Lot ownership line
-----	Utility Easement line
-----	ROW centerline
-----	Building Area limit line
-----	Top of Bank



Note:
See Sheet 2 of 2 for the details of the buildable area for the Lots adjacent to the existing ravine.

Surveyor's Certificate

I, **DUDLEY**, do hereby certify that I am a Professional Land Surveyor and that I hold a license, Certificate No. **147089**, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 11-23-11, have verified all measurements and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement, grant of record for underground facilities as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge.

Boundary Description

Commencing at a point being located North 07°05'05" West along the Section line 1320.00 feet from the Southeast corner of Section 34, Township 4 South, Range 1 East, Salt Lake Base and Meridian; thence West partially along Plat "A", Horseshoe Bend Subdivision, 365.58 feet; thence along Plat "A", Horseshoe Bend Subdivision the following two (2) courses: South 34°49'00" West 43.37 feet, South 89°55'57" West 761.17 feet more or less to the boundary line of Plat "G", Canterbury North Subdivision; thence along said Canterbury North Subdivision the following three (3) courses: North 139.60 feet, North 62°03'00" West 335.99 feet, North 46°26'30" West 203.00 feet, thence North 58°27'30" East 302.85 feet to the Northwest corner of Lot 25, Victor's View Subdivision; thence along Victor's View Subdivision the following three (3) courses: South 07°14'29" East 195.70 feet, South 63°44'29" East 398.26 feet, North 89°45'31" East 1494.43 feet to the Section line; thence South 07°05'05" East along the Section line 746.58 feet to the point of beginning.

Area = 1,079,126 sq ft or 24.77 Acres

Basis of Bearing is North 07°05'05" West along the Section line from the Southeast corner to the East quarter corner of said Section 34.

Owner's Dedication

Know all men by these presents that we, all of the undersigned owners of all the property described in the Surveyor's Certificate hereon and shown on this map, have caused the same to be subdivided into Lots, Blocks, Streets, and Easements and do hereby dedicate the streets and other public areas as indicated hereon for perpetual use of the public.

In witness hereof we have hereunto set our hands this _____ day of _____, A.D. 20____.

Owner's Acknowledgement (LLC)

STATE OF UTAH }
COUNTY OF UTAH } S.S.

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____, who personally appeared before me, who being duly sworn or affirmed, did say that he/she is the _____ of _____, a Limited Liability Company, and that the within and foregoing instrument was signed in behalf of said Company, and in his/her capacity as _____ of _____ Limited Liability Company.

My Commission Number _____ Signed by a Notary Public Commissioned in Utah

My Commission Expires _____ Print name of Notary _____

Acceptance by Legislative Body

The City of Highland, County of Utah, approves this subdivision and hereby accepts the dedication of all Streets, Easements, and other parcels of land intended for public purposes for the perpetual use of the public. Signed this _____ day of _____, A.D. 20____.

Approved: _____ Mayor

Approved: _____ City Engineer

Attest: _____ Clerk - Recorder

Conditions of Approval

There are conditions of approval attached to this subdivision which are indicated on this plat. These conditions have also been recorded with this subdivision. Potential buyers are requested to read these conditions carefully and obtain a copy of these conditions and restrictions prior to purchasing or contracting to purchase any lots within this subdivision. These conditions are binding and have been imposed by the legislative body of Highland City. A copy of these conditions may be obtained through the Utah County Recorder's office or the Highland City Recorder's Office. In addition, Highland City has approved binding zoning laws through a legally binding development code. It is the responsibility of the buyer to do their due diligence in obtaining all accurate information and/or regulations that may directly or indirectly affect the use of property prior to purchasing or contracting to purchase any property anywhere. Some of the significant ordinances and conditions of approval conveyed on this property by the legislative body of Highland City are as follows:

- 73% of the front yard landscaping shall be installed by the homeowner within one year after receiving the certificate of occupancy.
- Landscaping and construction materials of any kind are not permitted upon or within the street, curb and gutter, or sidewalk (street right of way) with the exception of the area shown which is required to be landscaped. Landscape and curbside of an attractive mix of plantings, rocks, and other landscaping materials. Forefront yards and park areas, at least 25% of any landscape must contain plants, trees, and shrubs.
- A fence that abuts open space or a trail has additional restrictions of size and spacing. Fences along open space or a trail must comply with Highland City ordinances. All fences require a fence permit prior to installation. In addition, retaining walls are regulated by ordinance and require a retaining wall permit prior to construction.
- Highland City ordinances restrict the height of foundation above curb. It is the responsibility of the buyer to contact the city prior to purchasing any lot. This restriction applies to all lots in this subdivision.

County Recorder

Subdivision

Highland City, _____ Utah County, Utah

Scale: 1" = 100 Feet

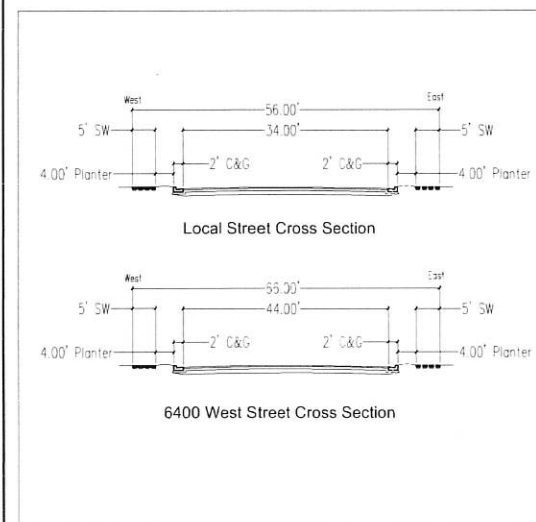
Prepared by:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
office 801-224-1252
fax 801-224-1264

Developer:

Millhaven Homes
295 North State
Lindon, Utah 84042
801-443-6540

City Utilities Approval City Water / Pressurized Irrigation / Sanitary Sewer / Storm Drain _____ Public Works Director	Highland City Attorney Approved in S. _____ day of _____, 20____ by the Highland City Attorney _____ City Attorney	SURVEYOR'S SEAL _____ DUDLEY	NOTARY PUBLIC SEAL _____ DUDLEY	CITY-COUNTY ENGINEER SEAL _____ DUDLEY	CLERK-RECORDER SEAL _____ DUDLEY
--	---	---	--	---	---



- Note:
1. No development (homes/accessory structures/etc.) are permitted on slopes greater than 25%. No variance is permitted from this requirement.
 2. Lots 3,4,7, and 8 shall have no vehicular access off 5400 West Street.
 3. Parcels A, B, and C, are to be dedicated to Highland City as an irrigation and/or access point.

Sensitive Lands Note:

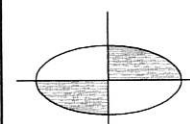
4. Highland City ordinances restrict development, grading, filling and construction on sensitive lands and slopes. No development (homes/accessory structures/pools/etc.) Are permitted on slopes greater than 25%, the slope set back area, or on areas are outside of designated buildable areas. No variance is permitted from this requirement. Slope areas being disturbed/exposed/altere as part of development will require re-vegetation and quality topsoil retained and reused. After alteration and re-vegetation, lot owners are prohibited from defoliating vegetation and re-grading slopes.
5. A site-specific evaluation for lots 5, 6, 12 - 19 is required to be completed by the Geotechnical Engineer of record at the time of building footing excavation and footing preparation.
6. Each lot is to conform to recommendation and requirements of final Geotech report including requirements as to vegetation, range provisions, and limiting water on slopes (to be recorded with subdivision).
7. All fencing must meet City fencing height, opacity, and setback requirements. Fences along interior trail corridors, including trails between lots 7 and 8, may be a maximum of 4' solid white with at least the top 2' at least 55% open.
8. Each lot in this subdivision is to provide an individual lot grading plan prior to the issuance of a building permit.
9. Each Lot will maintain individual storm water on site and not drain onto neighboring properties.



BUILDING AREA

Note:

The purpose for Sheet 2 of 2 is to identify and describe the buildable area for the Lots adjacent to the existing ravine.



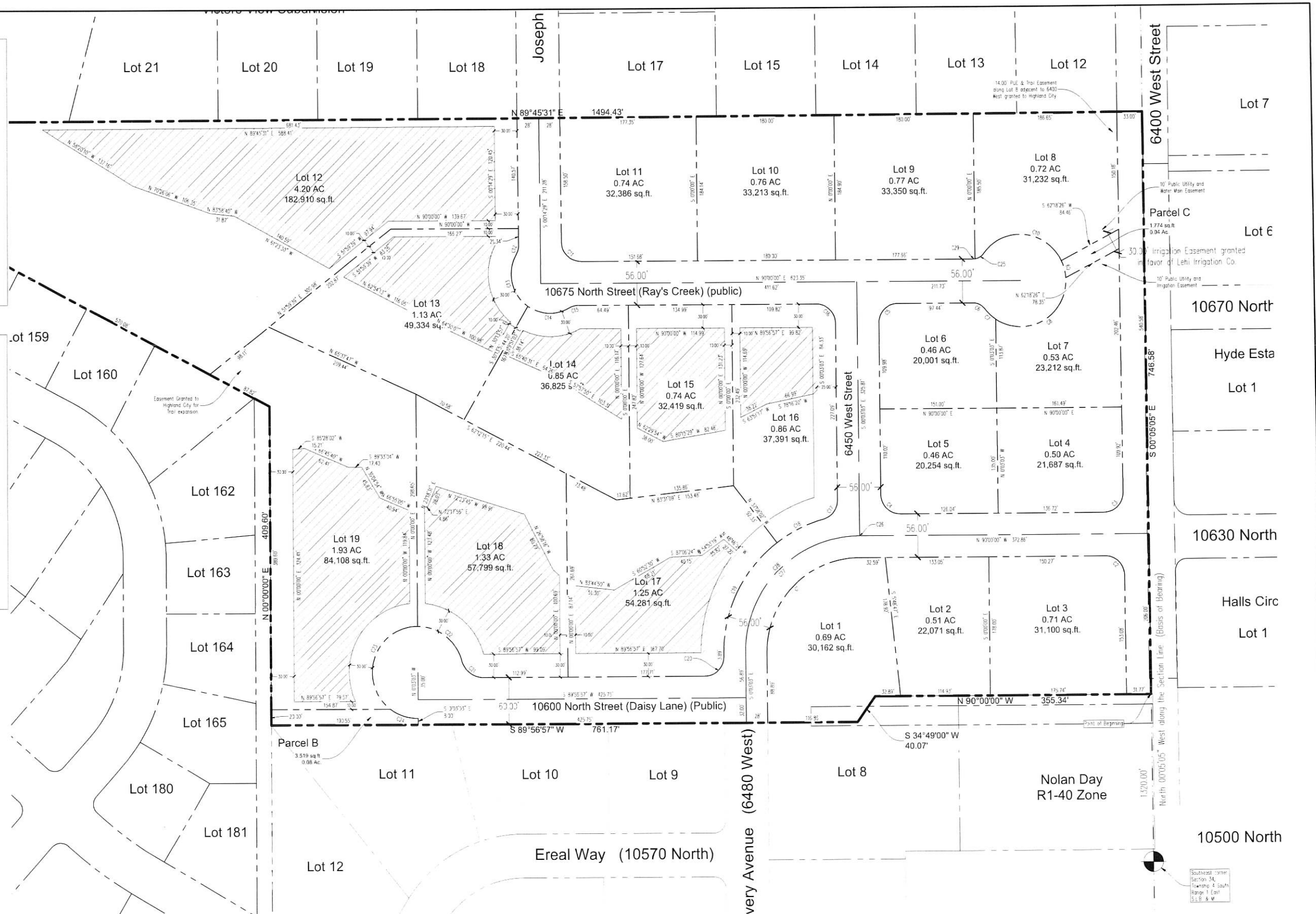
Prepared by:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
office 801-224-1252
fax 801-224-1264

Foxwood Estates Subdivision

ENTRY No _____
STATE OF UTAH COUNTY OF _____
RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ MAP _____

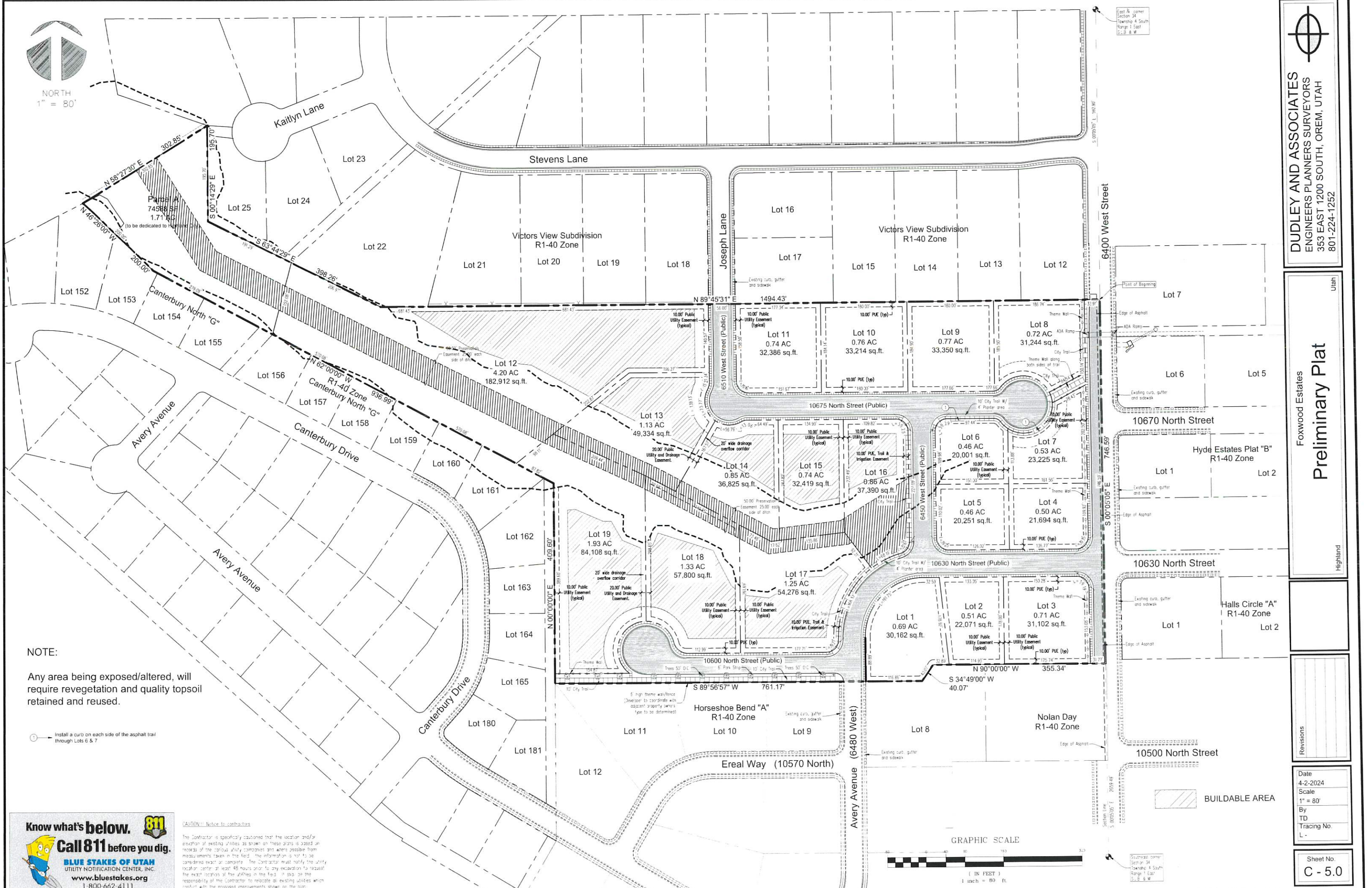
_____ COUNTY RECORDER



Sheet 2 of 2 Sheets



NORTH
1" = 80'

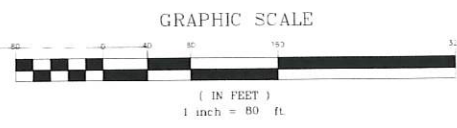


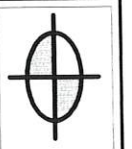
NOTE:
Any area being exposed/alterd, will
require revegetation and quality topsoil
retained and reused.

1. Install a curb on each side of the asphalt trail
through Lots 6 & 7.

Know what's below. 
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

CAUTION: Notice to contractors
The Contractor is specifically cautioned that the location and/or
depth of existing utilities as shown on these plans is based on
records of the various utility companies and where possible from
measurements taken in the field. The information is not to be
considered exact or complete. The Contractor must notify the utility
company at least 48 hours prior to any excavation to request
the exact location of the utilities in the field. It shall be the
responsibility of the Contractor to relocate all existing utilities which
conflict with the proposed improvements shown on the plan.



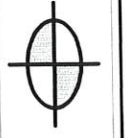
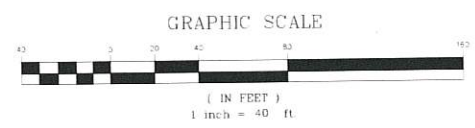
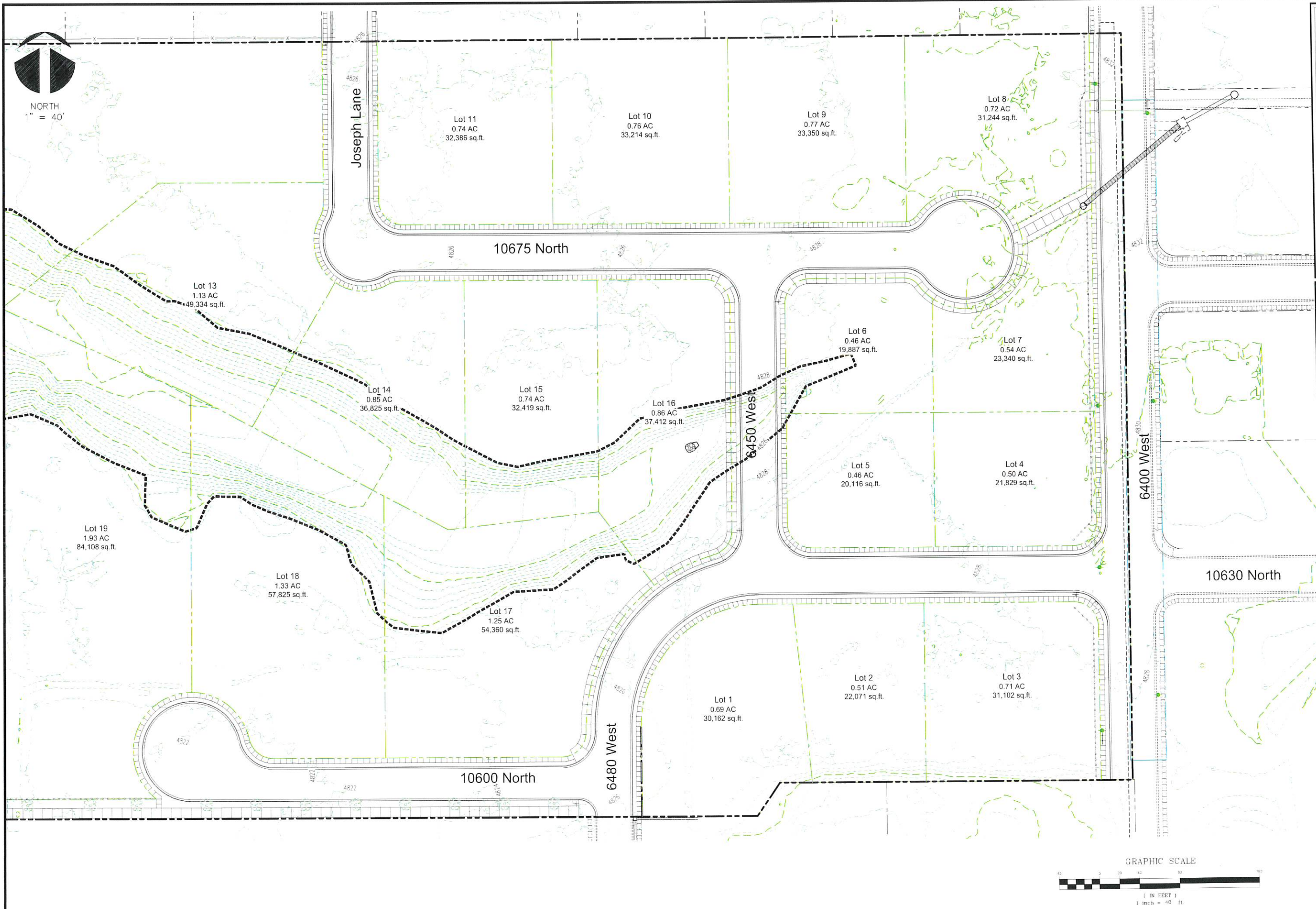

DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Foxwood Estates
Preliminary Plat
Utah
Highland

Revisions
Date 4-2-2024
Scale 1" = 80'
By TD
Tracing No. L-
Sheet No. C - 5.0



NORTH
1" = 40'



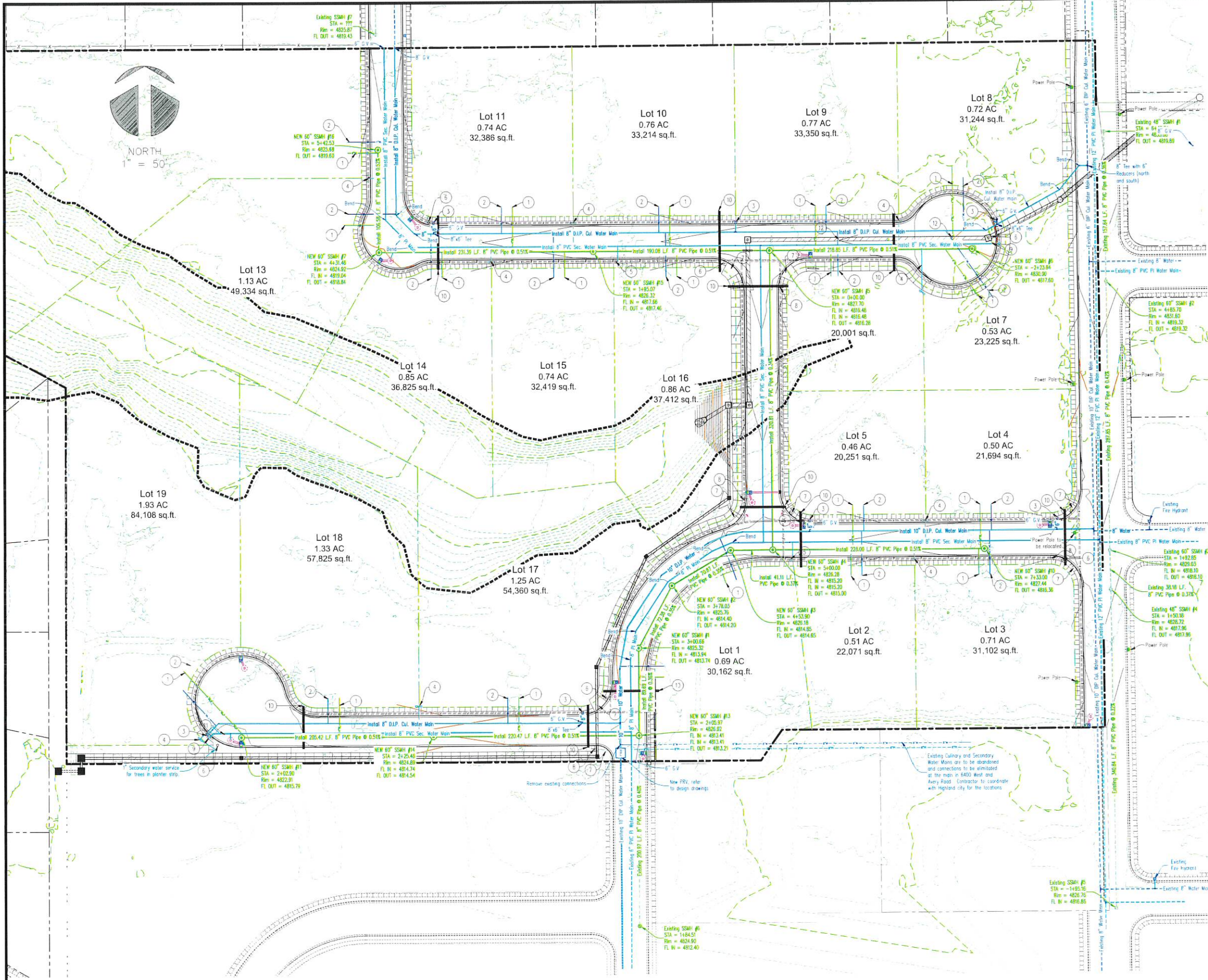
DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Foxwood Estates
Contour Map
Utah
Highland

Revisions

Date
2-8-2024
Scale
1" = 40'
By
TD
Tracing No.
L - 14816

Sheet No.
C -



- KEYED NOTES
- 1 NEW 4" sewer lateral with cleanout stubbed 10' beyond the back of sidewalk. (City Standard # SS-01)
 - 2 NEW 1" water service lateral with 1" water meter stubbed 10' beyond the back of sidewalk. (City Standard # DW-01)
 - 3 NEW Fire Hydrant assembly (City Standard # DW-03)
 - 4 Double irrigation lateral with boxes, stubbed 3' beyond the back of sidewalk. (City Standard # PI-01) All laterals are to be installed as to drain back to the main line.
 - 5 Single irrigation lateral with box, stubbed 3' beyond the back of sidewalk. (City Standard # PI-02) All laterals are to be installed as to drain back to the main line.
 - 6 Proposed Residential street light (PER CITY STANDARDS)
 - 7 ADA RAMP (PER CITY STANDARDS)
 - 8 STREET/ROAD SIGN/STOP SIGN (PER CITY STANDARDS)
 - 9 Secondary Water Main slow-off valve (PER CITY STANDARD PI-05)
 - 10 Install Conduit Bank per City Detail U-02
 - 11 PI Drain (See City Standard PI-05)
 - 12 Install water service lateral with a MUNIPEX Pre-insulated water service pipe.

Note:

All culinary water mains less than 12" in diameter are to be C350 Ductile Iron Pipe.

All Secondary water main are to be C900 PVC Pipe.

All PI services must drain back to the main.

All PI mains must drain back to connection points or designated drains.

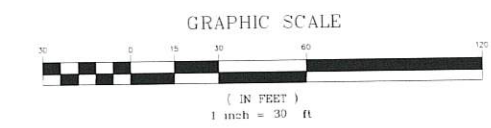
All Fire Hydrants are to match city standard # DW-03

All Culinary Water Mains are to meet city standard 4.02-B (DIP)

Note:

Source information from plans and markings has been combined with observed evidence of existing utilities to develop a view of those underground utilities. However lacking excavation, Blue Staking, etc. the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

Prior to construction, the contractor is to coordinate the utility locations, size, and condition for connection. Any discrepancies are to be reported to the design engineer.



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1-800-662-4111

DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Utah

Utility Plan

Highland

Revisions

No.	Description

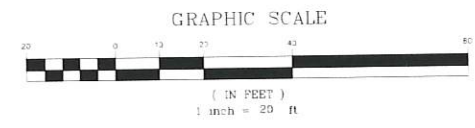
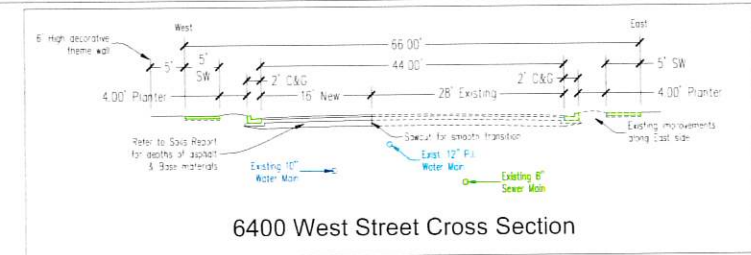
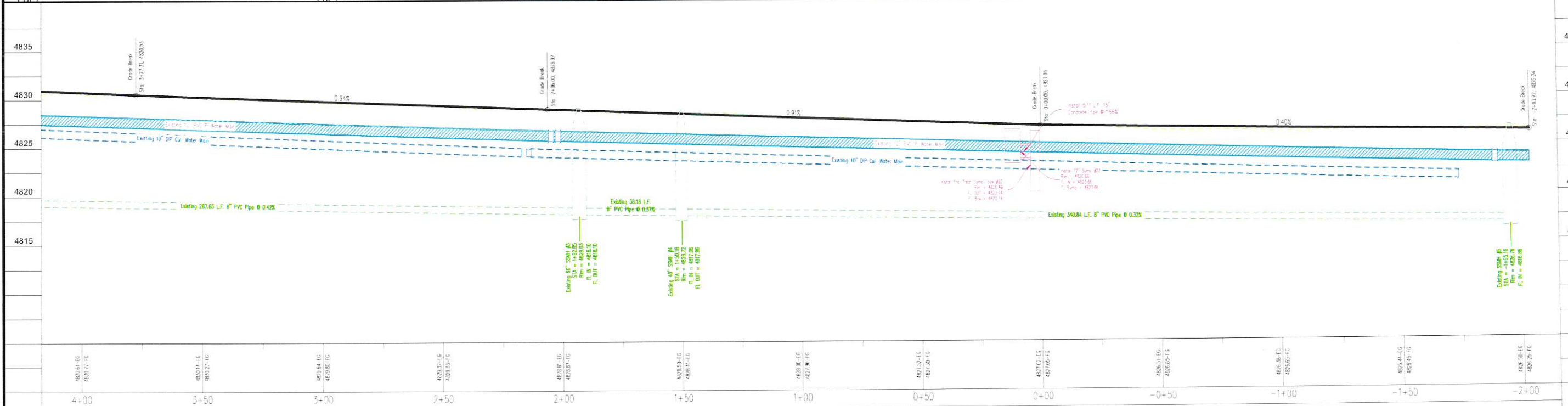
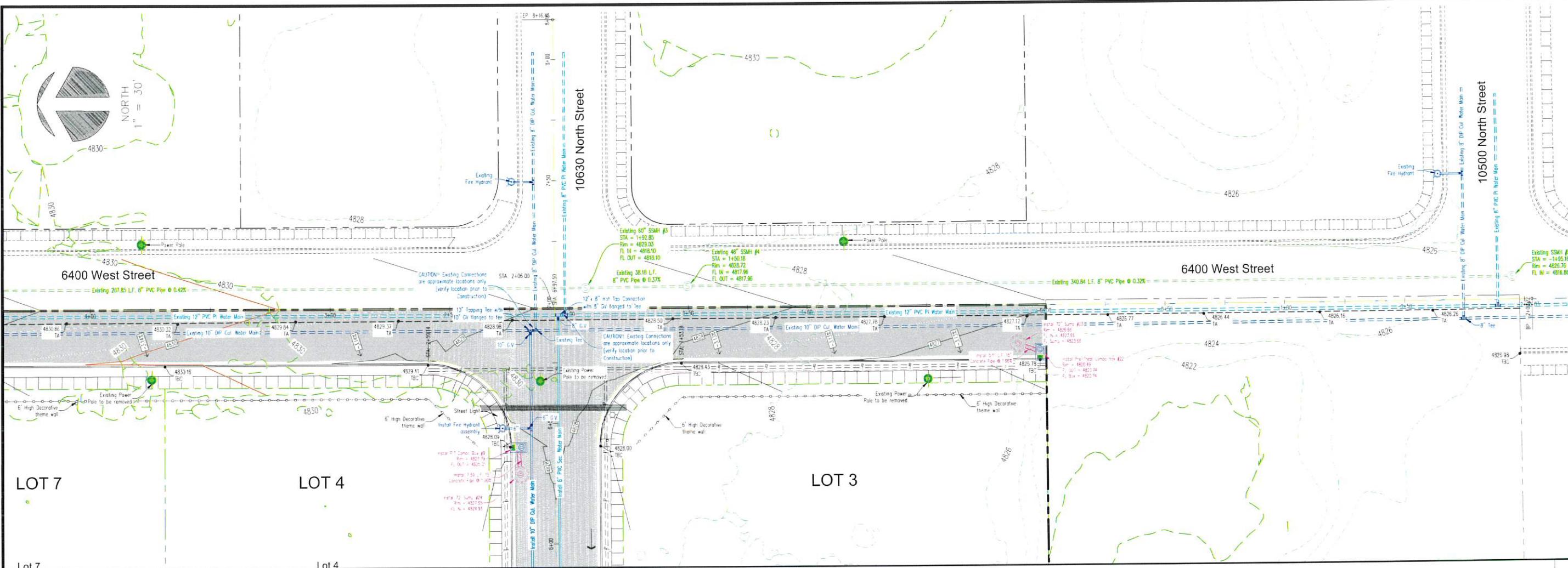
Date
4-2-2024

Scale
1" = 50'

By
TD

Tracing No.
L-14816

Sheet No.
C - 6



DUDLEY AND ASSOCIATES
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353 EAST 1200 SOUTH, OREM, UTAH
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6400 West Street Improvement Plan
Foxwood Estates
Utah
Highland

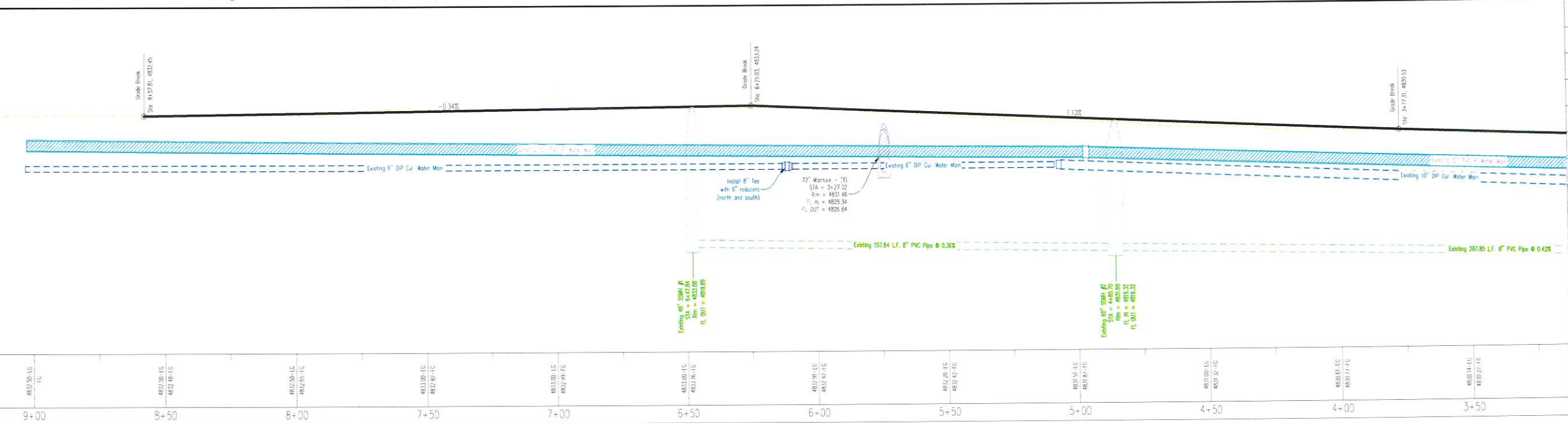
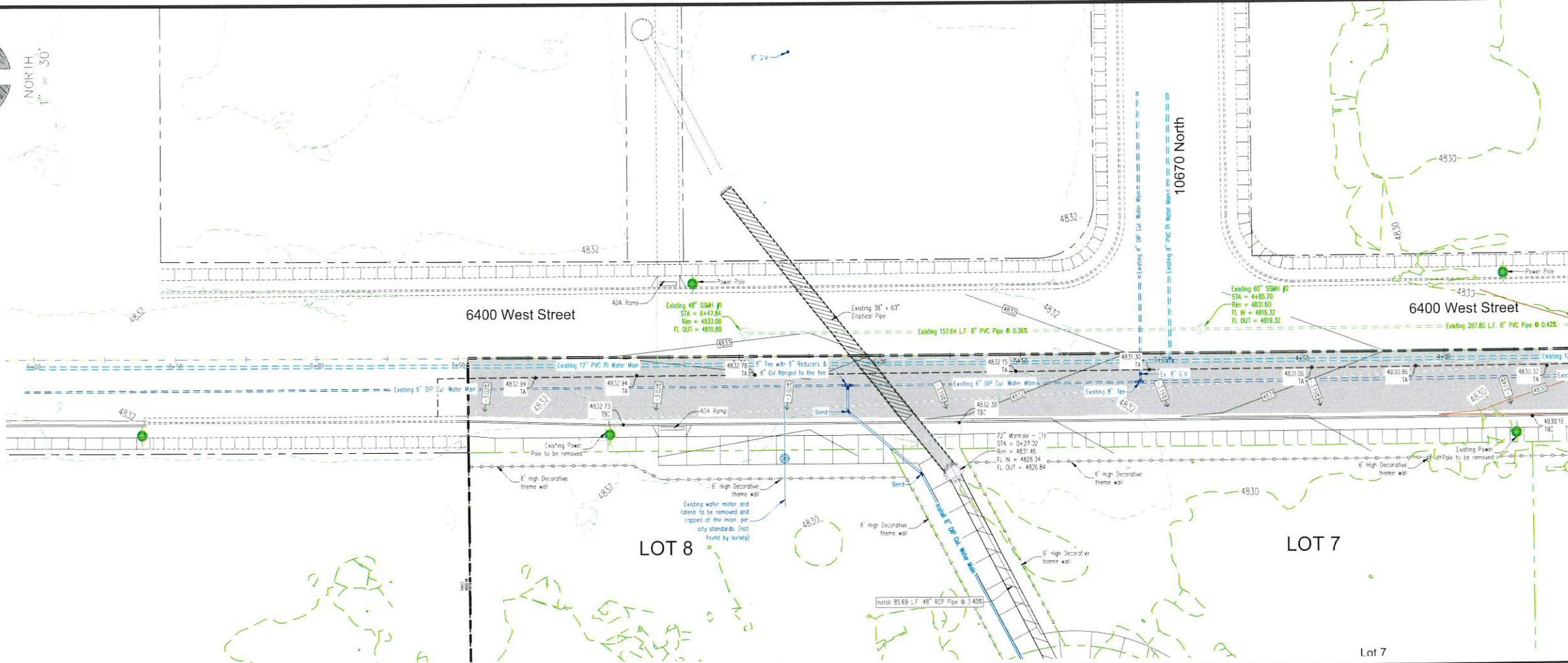
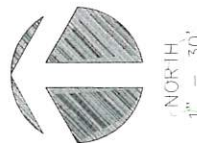
Revisions

Date
4-2-2024
Scale
1" = 20'
By
TD
Tracing No.
L - 10816

Sheet No.
P - 7

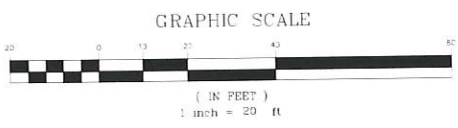
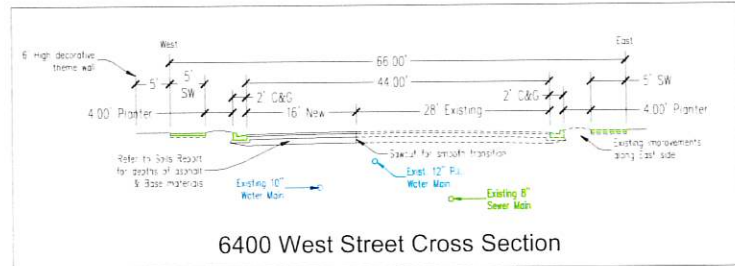
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www.bluestakes.org
1-800-662-4111

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6400 West Street Improvement Plan
Foxwood Estates

Revisions
Date 4-2-2024
Scale 1" = 20'
By TD
Tracing No. L - 14816
Sheet No. P - 8



Lot 5
0.46 AC
20,251 sq.ft.

Lot 4
0.50 AC
21,694 sq.ft.



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ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
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Utah

10630 North Street Improvement Plan

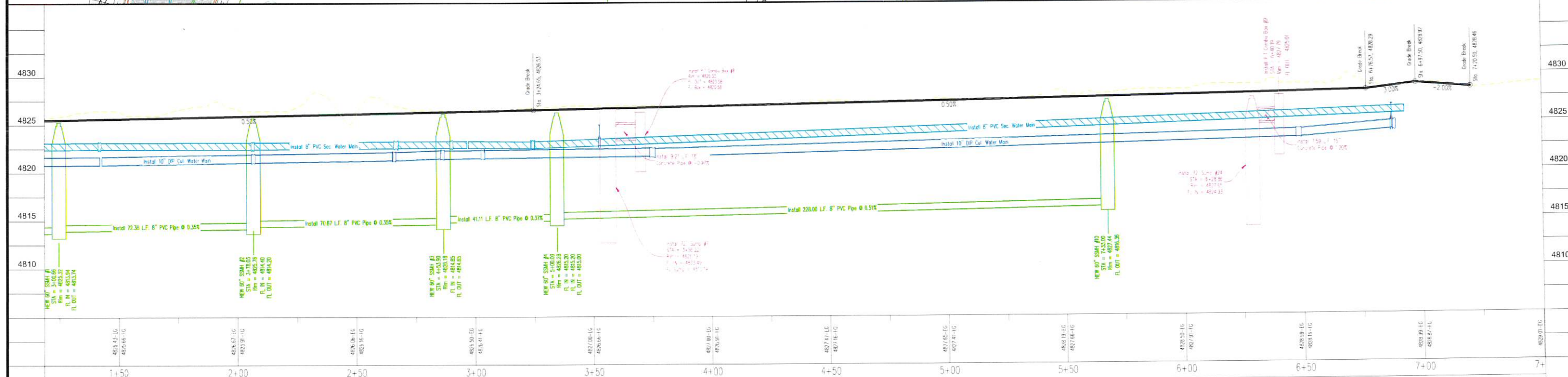
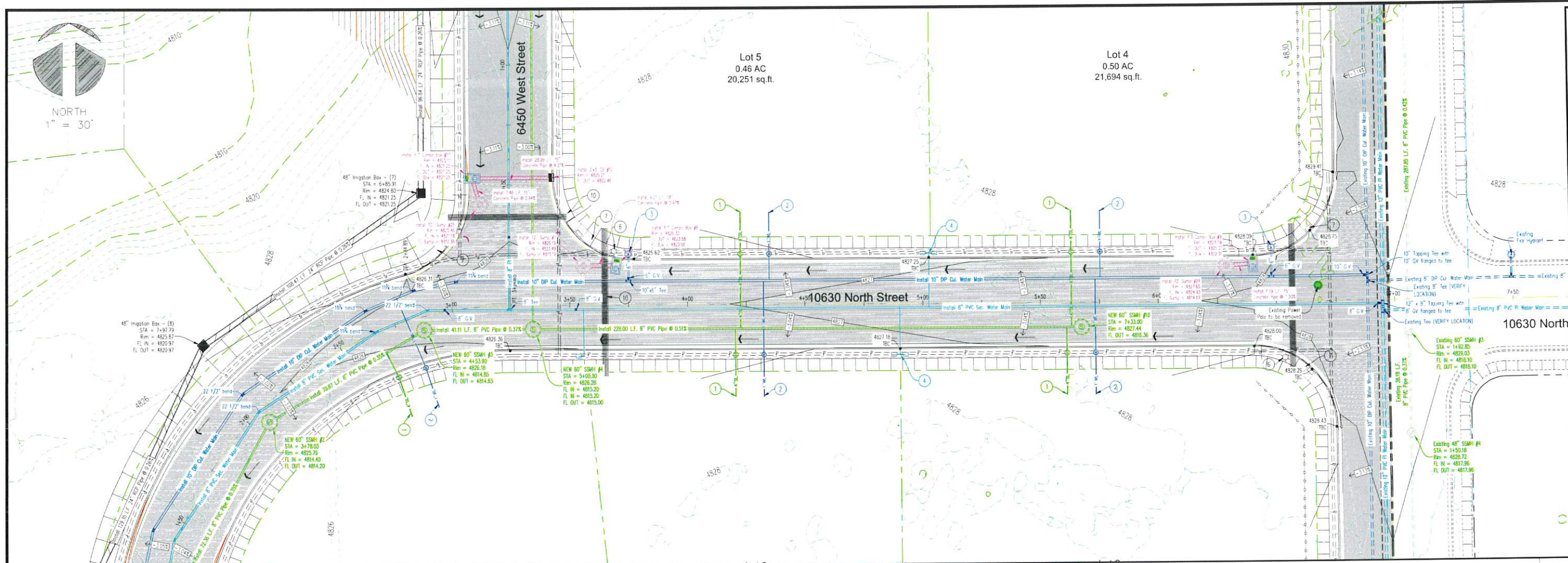
Foxwood Estates

Highland

Revisions

Date	4-2-20
Scale	1" = 2'
By	TD
Tracing	L - 10

Sheet No.
P - 9



Know what's below.

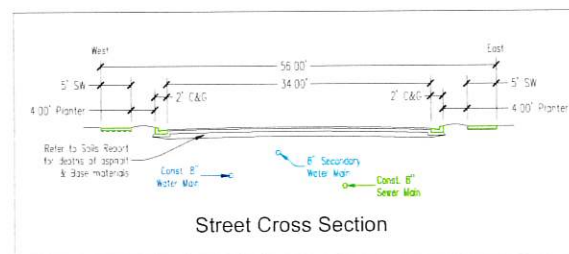
Call 811 before you dig.

 **BLUE STAKES OF UTAH**
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CAUTION— Notice to contractors

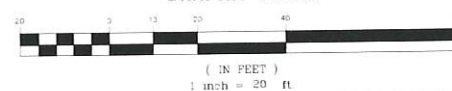
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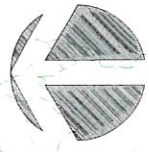


KEYED NOTES:

- | | | | |
|---|--|----|---|
| 1 | NEW 4" sewer lateral with cleanout (City Standard SS-01) stubbed 10' beyond the back of sidewalk | 8 | STREET/VELO SIGN/STOP SIGN (PER CITY STANDARDS) |
| 2 | NEW 1" water service lateral with 1" water meter (City Standard DW-01) stubbed 10' beyond the back of sidewalk | 9 | Secondary Water Main break-off valve (PER CITY STANDARD P-06) |
| 3 | NEW Fire Hydrant assembly installed in planter strip as per city standards DW-03 | 10 | metal Conduit Box per City Detail U-02 |
| 4 | NEW Secondary irrigation services per city standard P-01 | 11 | Pi Drain (See City Standard P-05) |
| 5 | NEW Secondary irrigation blow-off per city standard P-05 | | |
| 6 | Proposed Residential street light (City Standard U-04) | | |
| 7 | ADA Ramp as per City Standard # ST-07 | | |
- GRAPHIC SCALE**

GRAPHIC SCALE





Lot 9
0.77 AC
33,350 sq.ft.

Lot 6
0.46 AC
20,001 sq.ft.

Lot 5
0.46 AC
20,251 sq.ft.

Lot 2
0.51 AC
22,071 sq.ft.

Lot 10
0.76 AC

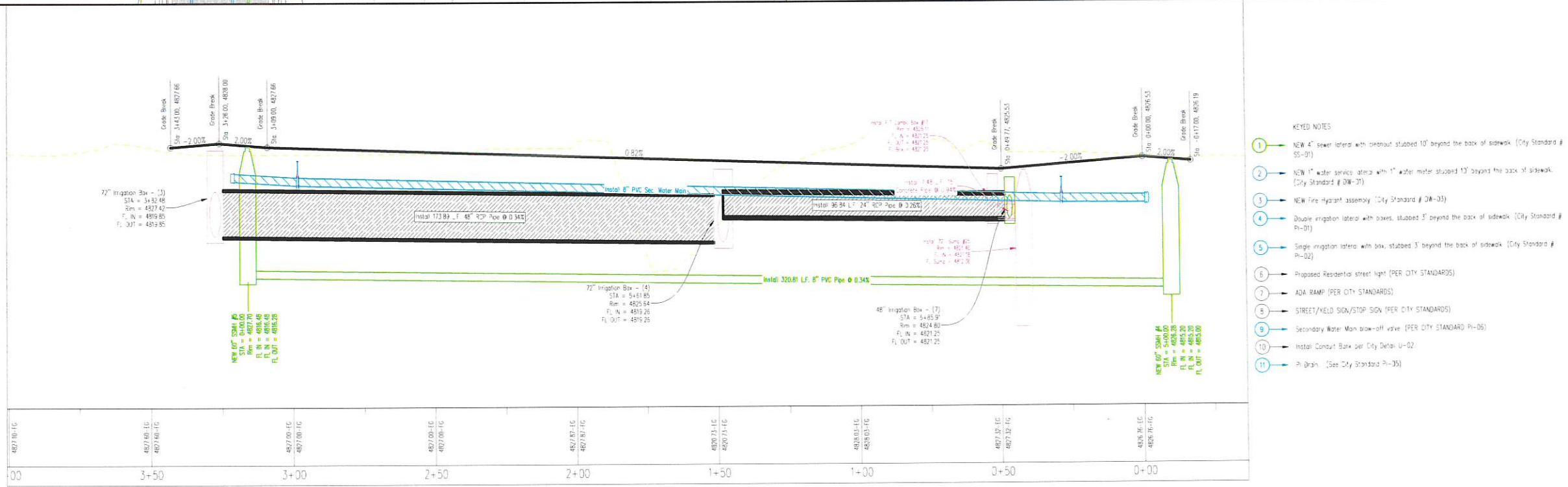
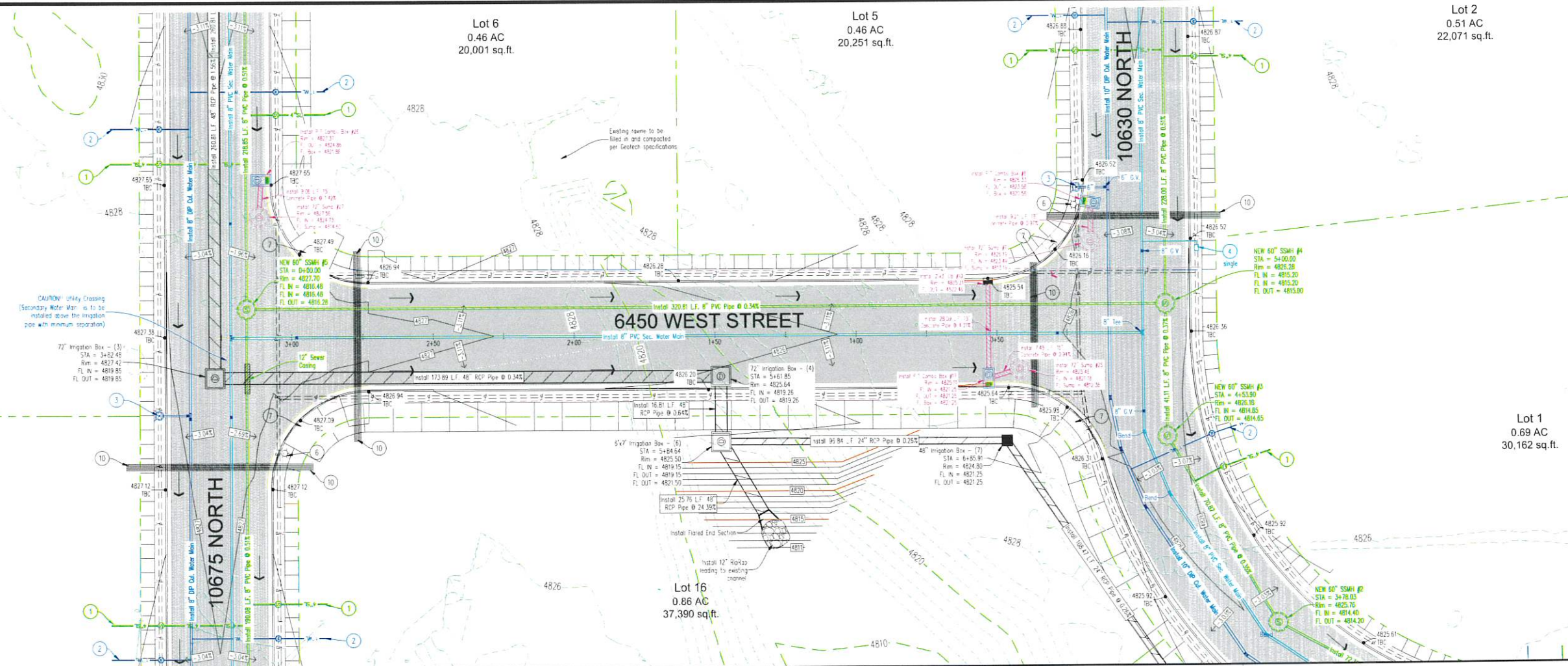
Lot 16
0.86 AC
37,390 sq.ft.

Lot 1
0.69 AC
30,162 sq.ft.

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6450 West Street Improvement Plan
Foxwood Estates

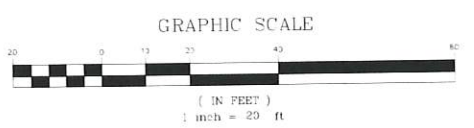
Utah
Highland



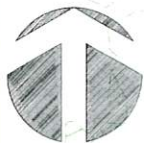
- KEYED NOTES**
- 1. NEW 4" sewer lateral with cleanout stubbed 10' beyond the back of sidewalk (City Standard # SS-01)
 - 2. NEW 12" water service lateral with 1" water meter stubbed 13' beyond the back of sidewalk (City Standard # DW-01)
 - 3. NEW Fire Hydrant assembly (City Standard # DW-03)
 - 4. Double irrigation lateral with boxes, stubbed 3' beyond the back of sidewalk (City Standard # PI-01)
 - 5. Single irrigation lateral with box, stubbed 3' beyond the back of sidewalk (City Standard # PI-02)
 - 6. Proposed Residential street light (PER CITY STANDARDS)
 - 7. ADA RAMP (PER CITY STANDARDS)
 - 8. STREET/YIELD SIGN/STOP SIGN (PER CITY STANDARDS)
 - 9. Secondary Water Main blow-off valve (PER CITY STANDARD PI-05)
 - 10. Install Conduit Bank per City Detail U-02
 - 11. PI Drain (See City Standard PI-05)

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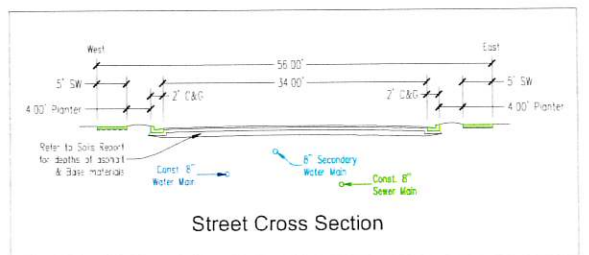
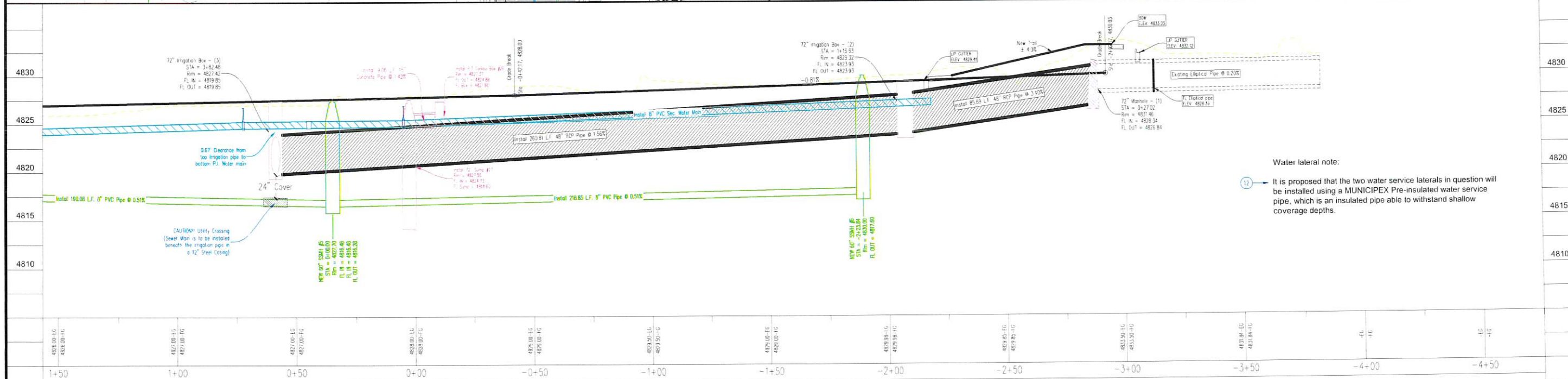
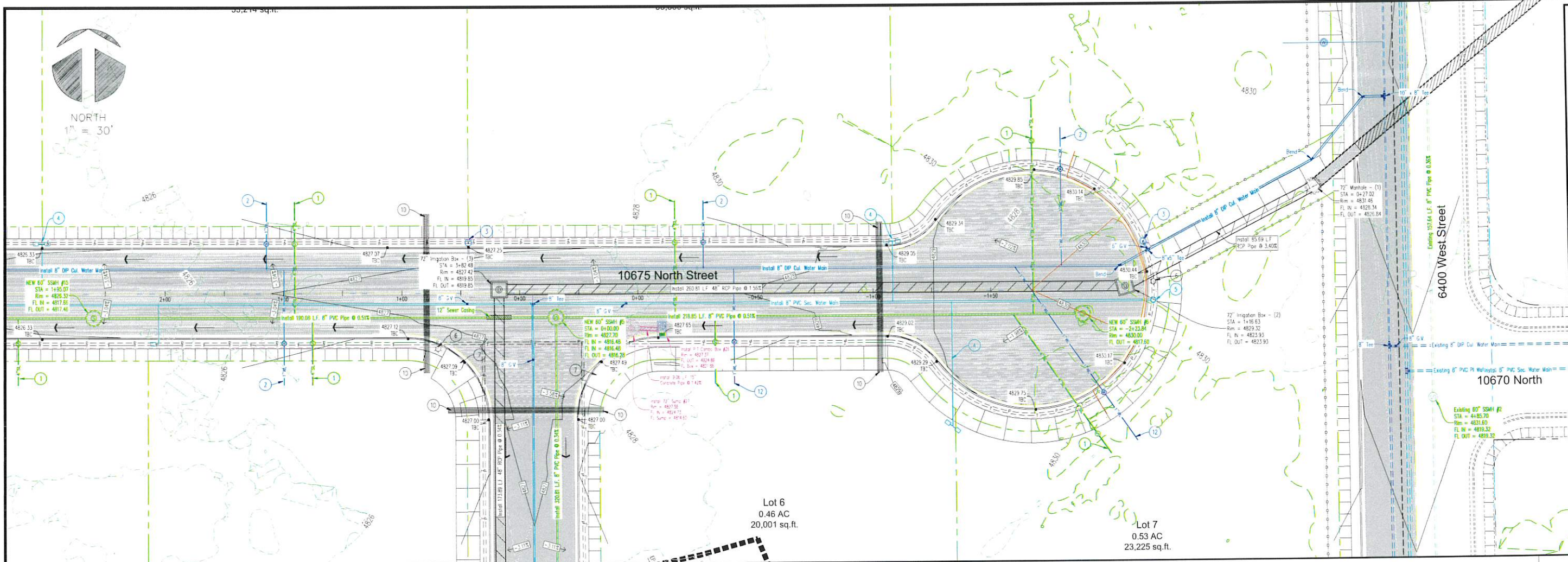
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Date
4-2-2024
Scale
1" = 20'
By
TD
Tracing No.
L - 10816
Sheet No.
P - 12

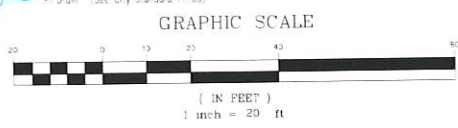


NORTH
1" = 30'



KEYED NOTES:

- 1 NEW 4" sewer lateral with cleanout (City Standard SS-01) stubbed 10' beyond the back of sidewalk.
- 2 NEW 1" water service lateral with 1" water meter (City Standard DW-01) stubbed 10' beyond the back of sidewalk.
- 3 NEW Fire Hydrant assembly installed in planter strip as per city standard DW-03.
- 4 NEW Secondary irrigation services per city standard PI-01.
- 5 NEW Secondary irrigation pipe-off per city standard PI-05.
- 6 Proposed Residential street light (City Standard U-34).
- 7 ADA Ramp as per City standard # 51-07.
- 8 STREET/VELO SIGN/STOP SIGN (PER CITY STANDARDS).
- 9 Secondary Water Main pipe-off valve (PER CITY STANDARD PI-06).
- 10 Install Conduit Bank per City Detail U-02.
- 11 P. Drain (See City Standard PI-05).



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10675 North Street Improvement Plan
Foxwood Estates

Revisions	
Date	4-2-2024
Scale	1" = 20'
By	TD
Tracing No.	L - 10816
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10675 North Street Improvement Plan
Foxwood Estates

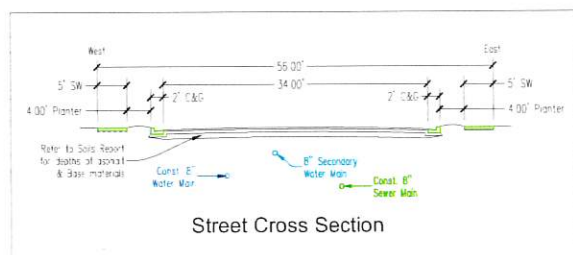
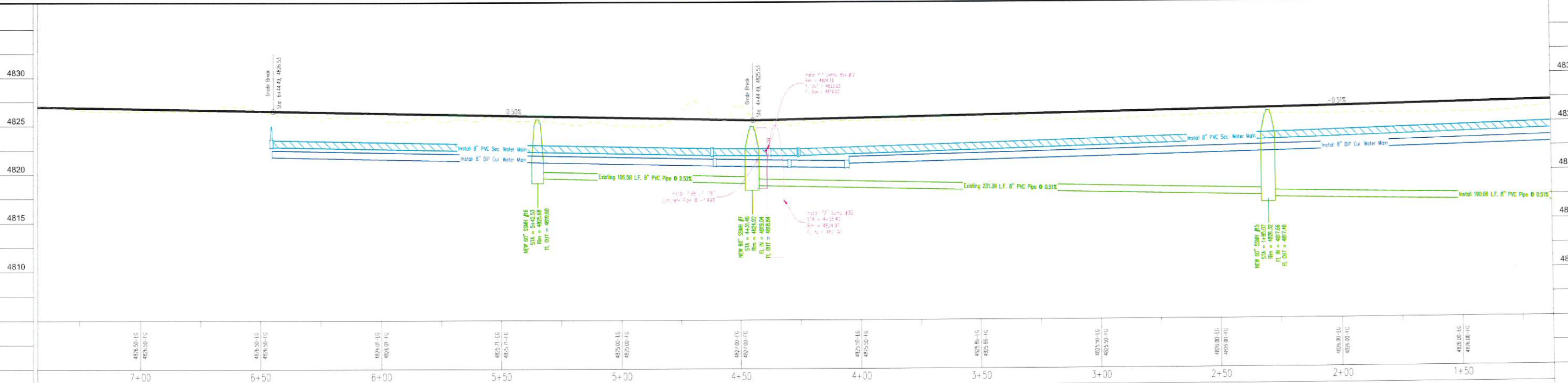
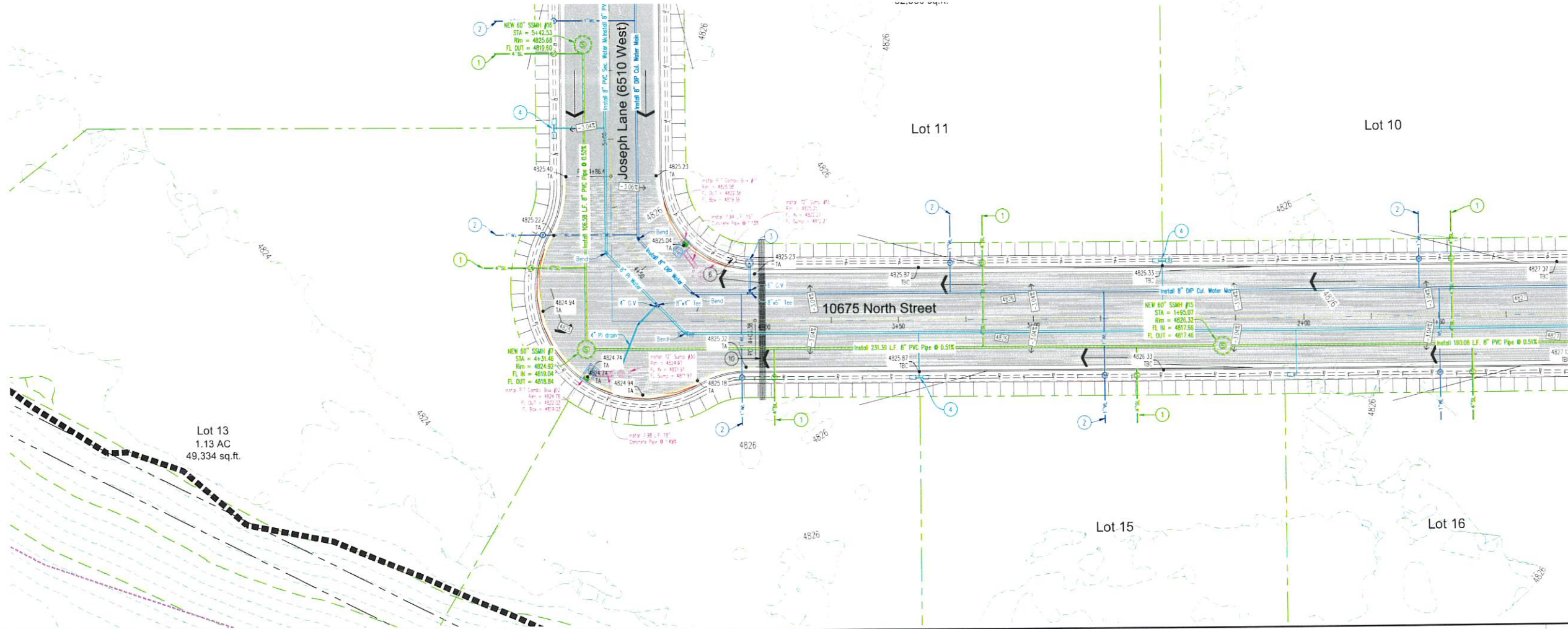
Utah

Highland

Revisions

Date
3-26-2024
Scale
1" = 20'
By
TD
Tracing No.
L - 10816

Sheet No.
P - 14



KEYED NOTES:

- 1 NEW 4" sewer lateral with cleanout (City Standard SS-01) stubbed 10' beyond the back of sidewalk.
- 2 NEW 1" water service lateral with 1" water meter (City Standard DW-01) stubbed 10' beyond the back of sidewalk.
- 3 NEW Fine hydrant assembly installed in planter strip as per city standards DW-03.
- 4 NEW Secondary irrigation services per city standard PI-01.
- 5 NEW Secondary irrigation blow-off per city standard PI-05.
- 6 Proposed Residential street light (City Standard U-04).
- 7 ADA Ramp as per City standard # ST-07.
- 8 STREET/YIELD SIGN/STOP SIGN (PER CITY STANDARDS)
- 9 Secondary Water Main blow-off valve (PER CITY STANDARD PI-06)
- 10 Install Conduit Bank per City Detail U-02
- 11 PI Drain (See City Standard PI-05)



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NORTH
1" = 50'

6510 West (Joseph Lane)

10675 North St.

10670 North St.

10630 North St.

10500 North St.

6480 West Street (Avery Ave)

6450 West Street

6400 West Street

Lot 11
0.74 AC
32,386 sq.ft.

Lot 10
0.76 AC
33,214 sq.ft.

Lot 9
0.77 AC
33,350 sq.ft.

Lot 8
0.72 AC
31,244 sq.ft.

Lot 13
1.13 AC
49,334 sq.ft.

Lot 14
0.85 AC
36,825 sq.ft.

Lot 15
0.74 AC
32,419 sq.ft.

Lot 16
0.86 AC
37,390 sq.ft.

Lot 6
0.46 AC
20,001 sq.ft.

Lot 7
0.53 AC
23,225 sq.ft.

Lot 5
0.46 AC
0.251 sq.ft.

Lot 4
0.50 AC
21,694 sq.ft.

Lot 19
1.93 AC
84,108 sq.ft.

Lot 18
1.33 AC
57,600 sq.ft.

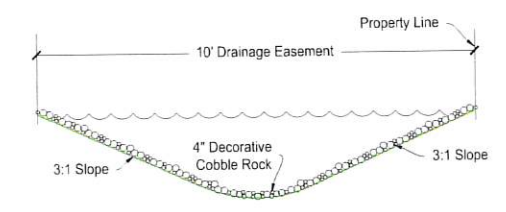
Lot 17
1.25 AC
54,276 sq.ft.

Lot 1
0.69 AC
30,162 sq.ft.

Lot 2
0.51 AC
22,071 sq.ft.

Lot 3
0.71 AC
31,102 sq.ft.

10600 North St.



Drainage Swale Detail
Lots 13 & 20

CAUTION: Notice to contractors

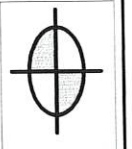
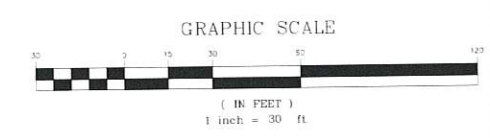
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Prior to construction, the plumbing plans must be coordinated with the the engineer the final design locations for, Roof Drain locations, sewer lateral locations and sizing, water meter and water service lateral locations, power and gas locations. Any discrepancies with the approved plans are to be reported to the design engineer.



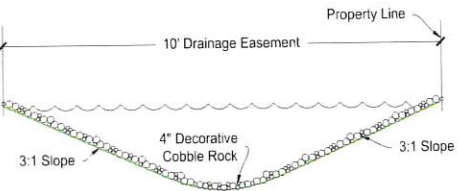
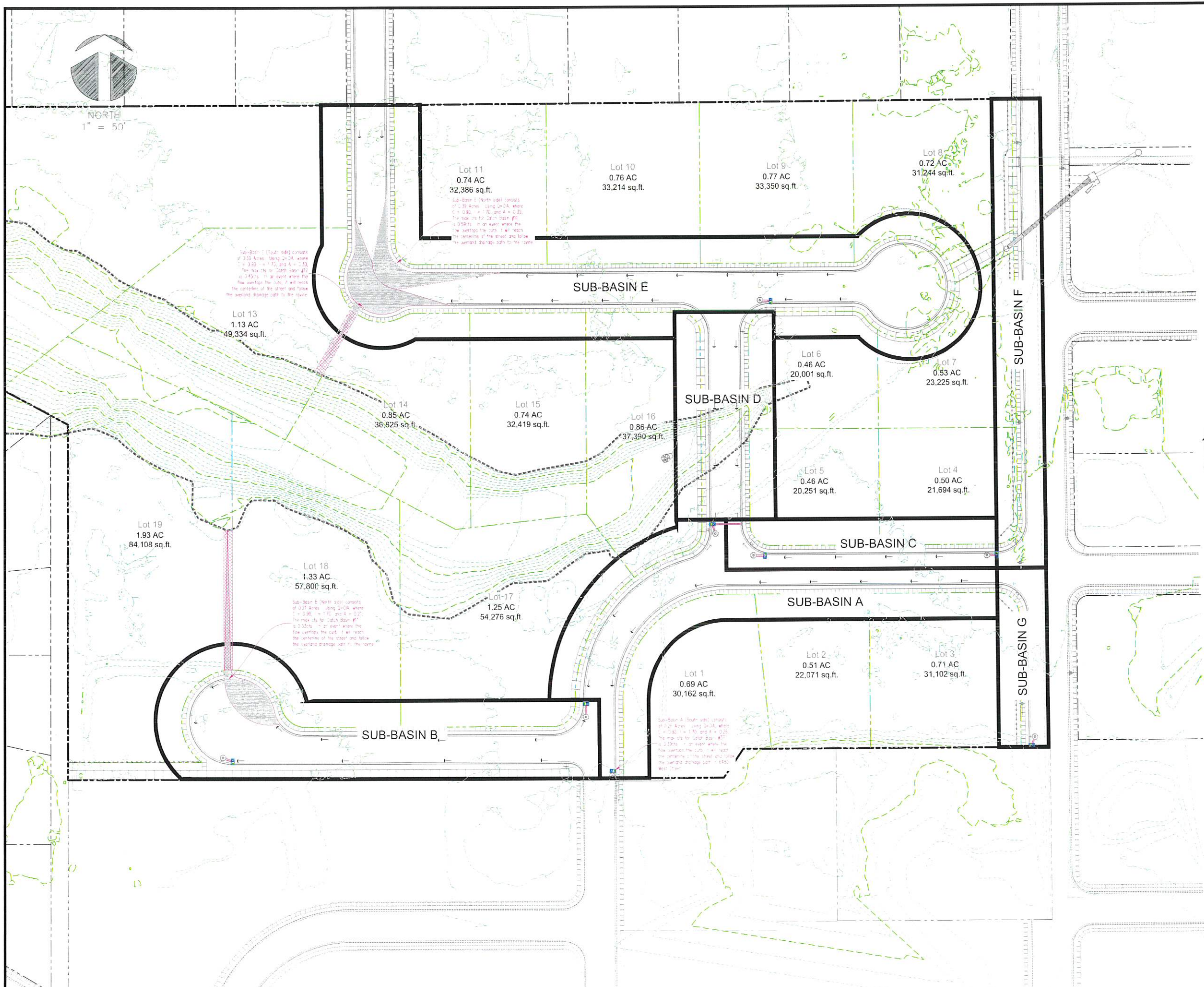
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Apple Creek Estates
Grading and Drainage Plan
Utah
Highland

Revisions

Date
4-2-2024
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Sheet No.
C - 16



Drainage Swale Detail
Lots 13 & 20

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Know what's below.

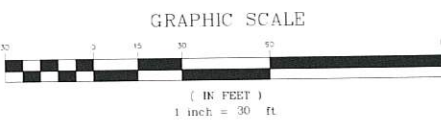
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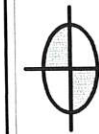
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Revisions	Date
	4-2-2024
	Scale
	1" = 30'
	By
	TD
	Tracing No
	L - 14816
	Sheet No.
	C - 17



NORTH
1" = 50'



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Utah

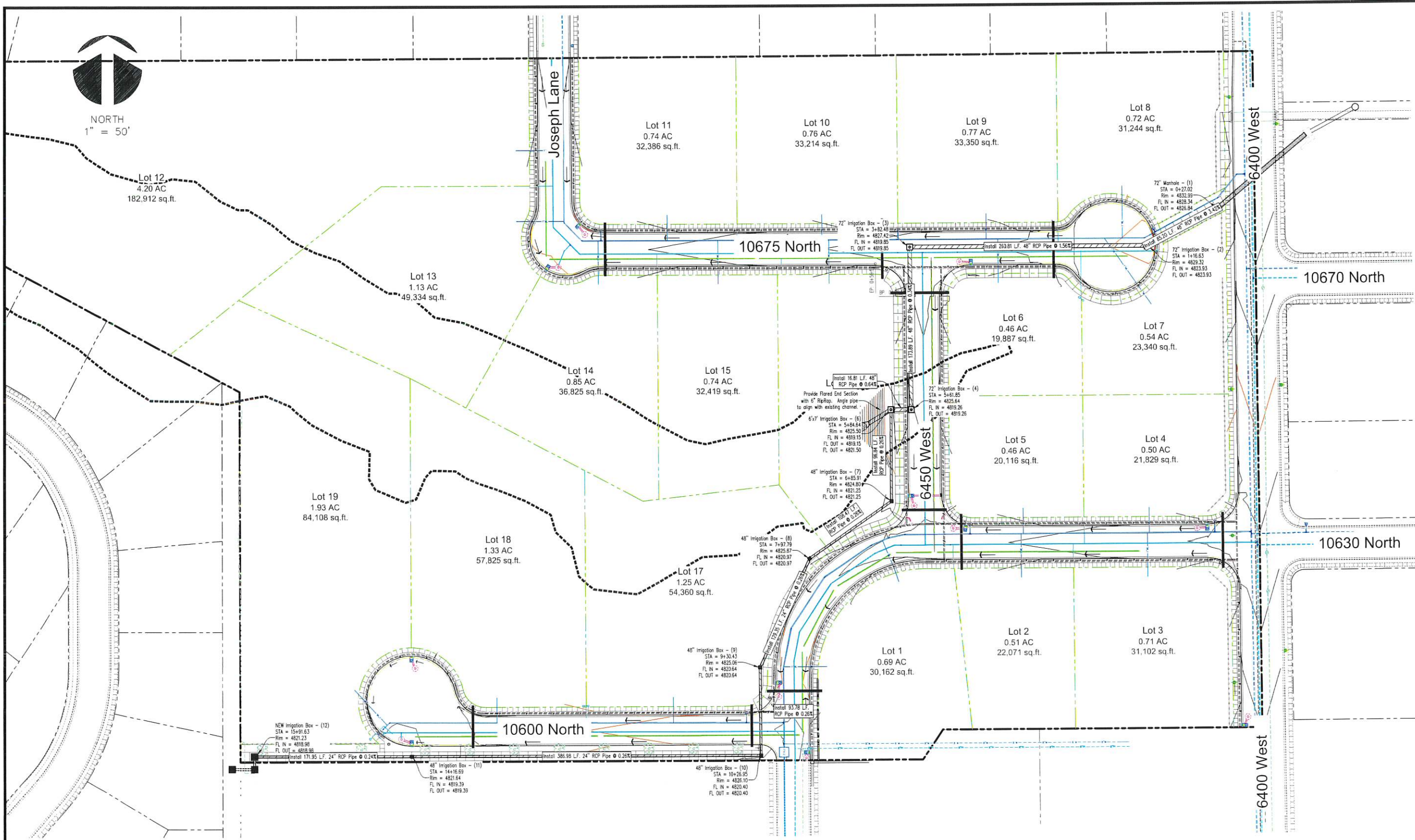
IRRIGATION PIPE PLAN

Highland

Revisions

Date
3-6-2024
Scale
1" = 50'
By
TD
Tracing No.
L - 14816

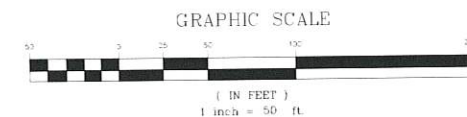
Sheet No.
C - 18



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Note:

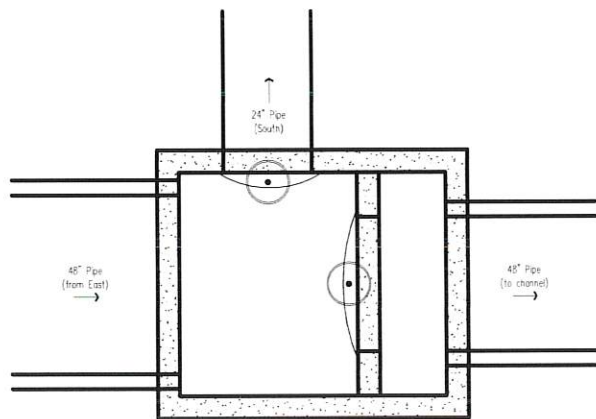
Source information from plans and markings has been combined with observed evidence of existing utilities to develop a view of those underground utilities. However lacking excavation, Blue Staking, etc. the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

Prior to construction, the plumbing plans must be coordinated with the the engineer the final design locations for, Roof Drain locations, sewer lateral locations and sizing, water meter and water service lateral locations, power and gas locations. Any discrepancies with the approved plans are to be reported to the design engineer.

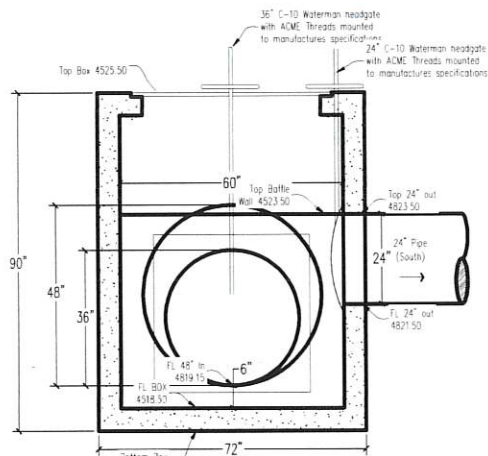
Know what's below. **811**
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CAUTION: Notice to contractors

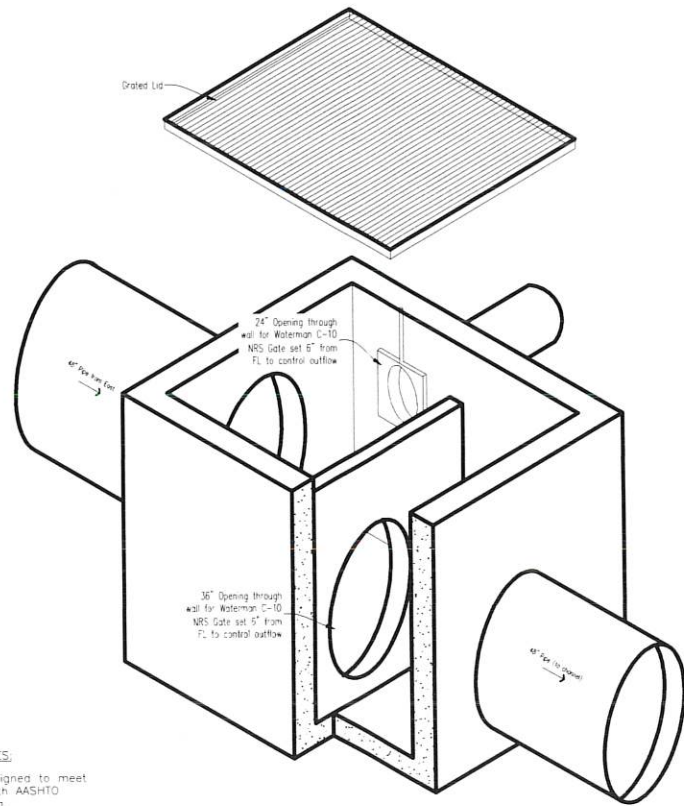
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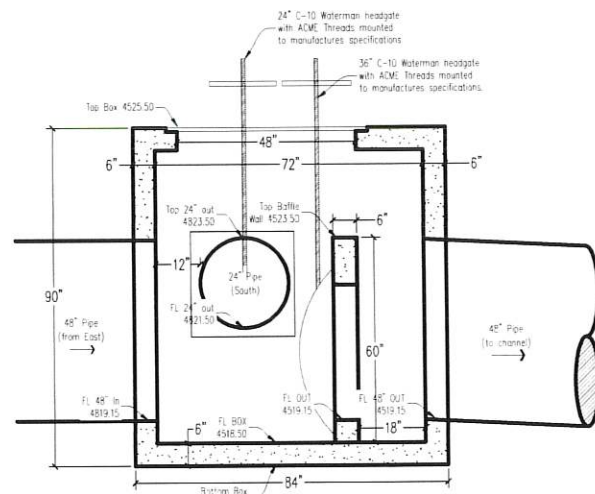
72" x 84" Box with Baffle Wall
(Top View)



72" x 84" Box with Baffle Wall
(West View)



(Isometric View)



72" x 84" Box with Baffle Wall
(North View)

GENERAL NOTES

1. Boxes are Designed to meet ASTM C858 with AASHTO HS-20 Loading
2. Openings May be Sized and Located as Required
3. Optional Hardware May be Cast in as Required
4. Check Hardware Section for Optional Hardware



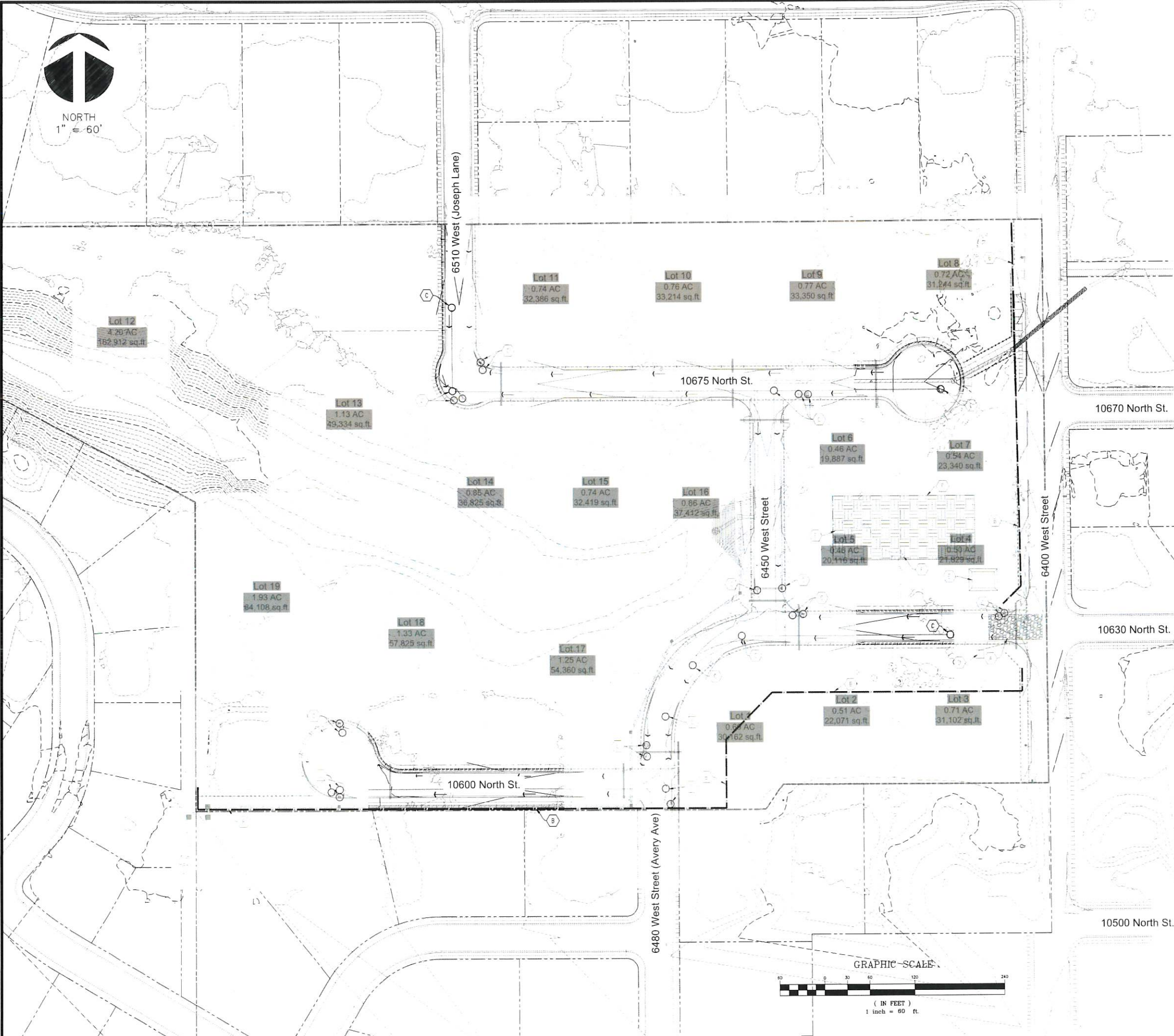
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Foxwood Estates
IRRIGATION BOX DETAIL
Utah
Highland

Revisions

Date
2-6-2024
Scale
Not to scale
By
TD
Tracing No.
L - 14816

Sheet No.
D - 3



Storm Water Management Note:
The disturbed area of the project = 24.77 Acres and therefore a State UPDES Storm Water General Permit from the Division of Water Quality is required. BMP's are required to be in place prior to any construction activity.

NOTES:
This plan is to be used to control storm water runoff and reduce pollutants in storm water runoff until construction is complete and the subject site is in operation.

THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) ARE TO BE USED AS A PART OF THE CONSTRUCTION SITE STORM WATER MANAGEMENT PLAN FOR THIS SITE

- 1. Contaminated or Erodible Surface Areas (CESA) Prevent the discharge, pollutants, and storm water from contaminated or erodible surface areas by maintaining undisturbed site until construction of Phase II is completed.
- 2. Dust Controls (DC) Dust control measures including vegetation, seeding, etc. to stabilize site from wind erosion and reduce dust until site is completely developed.
- 3. Detention/Infiltration Device Maintenance (DIDM) Detention basin and accompanying facilities will be regularly maintained and corrected to promote effective storm drain pollutant removal for pond, piping, and boxes.
- 4. Material Storage (MS) Any hazardous, toxic, or chemical substances will be stored and controlled inside building areas. No control substances will be discharged into storm water or sewage systems.
- 5. Portable Toilets (PT) Temporary on site sanitary facilities will be furnished and maintained during all construction activity until on site facilities are constructed and usable.
- 6. Stabilized Construction Entrance and Wash Area (SCEWA) A stabilized pad of crushed stone located at the construction entrance as shown will be provided and maintained during all construction activities.
- 7. Spill Cleanup (SCU) All on site materials used in construction will be maintained on site to prevent harmful materials from entering off site receiving waters.
- 8. Silt Fencing (SF) placed on the perimeter of the project where there is potential runoff from site to adjacent streets, or properties.

- A Construct Stabilized Construction Entry (See Detail SCE)
- B Construct Silt Fencing as needed to prevent runoff onto existing street, adjacent properties and existing ditch. (See detail SF)
- C Install Filter Fabric in existing downstream and/or recently installed inlet boxes or manholes to prevent silt buildup.
- D Portable toilet locations are to be determined by the contractor.
- E Contractor Washdown area in sediment basin (see detail CWM, SCU)
- F Material Storage Area (see detail MS)

CAUTION!! Notice to contractors
The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from recent utility locates. The Contractor is not to be responsible for any errors or omissions. The Contractor must verify the location and/or elevation of all utilities prior to any excavation or construction activity. The Contractor is responsible for any damage to existing utilities and for obtaining all necessary permits and approvals from the appropriate authorities.

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SWPPP
Utah
Highland

Revisions

Date
3-6-2024
Scale
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By
TD
Tracing No.
L - 14816

Sheet No.
C - 19

BMP: Curb Sedimentation Trap **CST**

OBJECTIVES:
 - Intercept sediment from driveway runoff.
 - Prevent sediment from entering the storm drain.

DESCRIPTION:
 A temporary sediment trap formed by a curb at the end of a driveway.

APPLICATION:
 - Intercept sediment from driveway runoff.
 - Prevent sediment from entering the storm drain.

INSTALLATION/APPLICATION CRITERIA:
 - Curb height shall be 24 inches.
 - Curb length shall be 24 inches.
 - Curb width shall be 24 inches.

MAINTENANCE:
 - Inspect and clean trap weekly.
 - Remove sediment from trap weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Concrete Waste Management **CWM**

OBJECTIVES:
 - Prevent concrete waste from entering the storm drain.
 - Prevent concrete waste from entering the ground.

DESCRIPTION:
 A containment area for concrete waste.

APPLICATION:
 - Prevent concrete waste from entering the storm drain.
 - Prevent concrete waste from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Containment area shall be 24 inches high.
 - Containment area shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean containment area weekly.
 - Remove concrete waste from containment area weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Dust Controls **DC**

OBJECTIVES:
 - Prevent dust from entering the storm drain.
 - Prevent dust from entering the ground.

DESCRIPTION:
 A device to control dust from a truck.

APPLICATION:
 - Prevent dust from entering the storm drain.
 - Prevent dust from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Device shall be 24 inches high.
 - Device shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean device weekly.
 - Remove dust from device weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Inlet Protection - Wattle **IP-W**

OBJECTIVES:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

DESCRIPTION:
 A wattle barrier at a storm drain inlet.

APPLICATION:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Wattle barrier shall be 24 inches high.
 - Wattle barrier shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean wattle barrier weekly.
 - Remove sediment from wattle barrier weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Material Storage **MS**

OBJECTIVES:
 - Prevent material from entering the storm drain.
 - Prevent material from entering the ground.

DESCRIPTION:
 A containment area for material storage.

APPLICATION:
 - Prevent material from entering the storm drain.
 - Prevent material from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Containment area shall be 24 inches high.
 - Containment area shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean containment area weekly.
 - Remove material from containment area weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

EROSION CONTROL NOTES:

1. CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.

2. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION. OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) HAS BEEN SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE STAKED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER.

4. EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPE. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.

5. CUT AND FILL SLOPES SHALL BE CONDUCTED PER THE GEOTECHNICAL REPORT. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE BOUND FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNDING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH THE EXISTING NATURAL CONTOURS. SCALE AND VEGETATION OF NATURAL TERRAIN.

6. EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT BE LIMITED TO, TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPERVIOUS SURFACES FOR STABILIZATION SHALL BE AVOIDED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED.

7. SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL NOT BE DISTURBED. THESE AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE STAKED LOD. STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHES AREAS, INCLUDING RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES.

8. A SWALE SEDIMENT TRAP FOR ALL DRAINAGE WAYS INTERFERED BY PROPOSED ROAD CONSTRUCTION WILL BE FORMED. TRAPS WILL BE PLACED IN SURFACE DRAIN DITCHES JUST BEFORE THE RUNOFF LEAVES THE PROPERTY. ENTERS A WATERCOURSE OR IMMEDIATELY PRECEDING DITCH INLETS OR STABILIZED OUTLETS. SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED (PREFERABLY UNDISTURBED) GROUND OR LEFT TO PERCOLATE INTO THE GROUND.

9. CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES OR STRAW BALES.

10. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH THE UTAH STATE DIVISION OF AIR QUALITY STANDARDS.

11. ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED PRIOR TO THE END OF THE WORK SHIFT OR PRIOR TO SUNSET, WHICHEVER COMES FIRST.

12. CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.

13. THE CONTRACTOR SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES AS REQUIRED AND NOTATED IN THE SWPPP. THE CONTRACTOR WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.

14. ANY TREE 12" IN DIAMETER OR LARGER WILL NOT BE REMOVED UNTIL LOCATED BY SURVEY AND THE REMOVAL APPROVED BY THE OWNER OR EQUAL.

15. ALL DITCHES AND SWALES GREATER THAN 5% SHALL BE ARMORED WITH AN APPROVED EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION.

16. PORTABLE TOILETS MAY BE LOCATED UPON ANY INDIVIDUAL HOME LOT.

17. CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.

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BMP DETAILS

BMP: Preservation of Existing Vegetation **PEV**

OBJECTIVES:
 - Prevent existing vegetation from being disturbed.
 - Prevent existing vegetation from being removed.

DESCRIPTION:
 A preservation area for existing vegetation.

APPLICATION:
 - Prevent existing vegetation from being disturbed.
 - Prevent existing vegetation from being removed.

INSTALLATION/APPLICATION CRITERIA:
 - Preservation area shall be 24 inches high.
 - Preservation area shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean preservation area weekly.
 - Remove sediment from preservation area weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Portable Toilets **PT**

OBJECTIVES:
 - Prevent human waste from entering the storm drain.
 - Prevent human waste from entering the ground.

DESCRIPTION:
 A portable toilet unit.

APPLICATION:
 - Prevent human waste from entering the storm drain.
 - Prevent human waste from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Portable toilet shall be 24 inches high.
 - Portable toilet shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean portable toilet weekly.
 - Remove human waste from portable toilet weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Stabilized Construction Entrance **SCE**

OBJECTIVES:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

DESCRIPTION:
 A stabilized construction entrance.

APPLICATION:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Stabilized entrance shall be 24 inches high.
 - Stabilized entrance shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean stabilized entrance weekly.
 - Remove sediment from stabilized entrance weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Silt Fence **SF**

OBJECTIVES:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

DESCRIPTION:
 A silt fence barrier.

APPLICATION:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Silt fence shall be 24 inches high.
 - Silt fence shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean silt fence weekly.
 - Remove sediment from silt fence weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Surface Roughening **SR**

OBJECTIVES:
 - Prevent erosion from occurring.
 - Prevent erosion from entering the storm drain.

DESCRIPTION:
 A roughened surface.

APPLICATION:
 - Prevent erosion from occurring.
 - Prevent erosion from entering the storm drain.

INSTALLATION/APPLICATION CRITERIA:
 - Roughened surface shall be 24 inches high.
 - Roughened surface shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean roughened surface weekly.
 - Remove sediment from roughened surface weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Temporary Drains And Swales **TDS**

OBJECTIVES:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

DESCRIPTION:
 A temporary drain and swale.

APPLICATION:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Temporary drain and swale shall be 24 inches high.
 - Temporary drain and swale shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean temporary drain and swale weekly.
 - Remove sediment from temporary drain and swale weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Vehicle And Equipment Cleaning **VEC**

OBJECTIVES:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

DESCRIPTION:
 A vehicle and equipment cleaning area.

APPLICATION:
 - Prevent sediment from entering the storm drain.
 - Prevent sediment from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Cleaning area shall be 24 inches high.
 - Cleaning area shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean cleaning area weekly.
 - Remove sediment from cleaning area weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Vehicle And Equipment Fueling **VEF**

OBJECTIVES:
 - Prevent fuel from entering the storm drain.
 - Prevent fuel from entering the ground.

DESCRIPTION:
 A vehicle and equipment fueling area.

APPLICATION:
 - Prevent fuel from entering the storm drain.
 - Prevent fuel from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Fueling area shall be 24 inches high.
 - Fueling area shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean fueling area weekly.
 - Remove fuel from fueling area weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Waste Disposal **WD**

OBJECTIVES:
 - Prevent waste from entering the storm drain.
 - Prevent waste from entering the ground.

DESCRIPTION:
 A waste disposal area.

APPLICATION:
 - Prevent waste from entering the storm drain.
 - Prevent waste from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Waste disposal area shall be 24 inches high.
 - Waste disposal area shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean waste disposal area weekly.
 - Remove waste from waste disposal area weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

BMP: Spill Clean-Up **SCU**

OBJECTIVES:
 - Prevent spill from entering the storm drain.
 - Prevent spill from entering the ground.

DESCRIPTION:
 A spill clean-up area.

APPLICATION:
 - Prevent spill from entering the storm drain.
 - Prevent spill from entering the ground.

INSTALLATION/APPLICATION CRITERIA:
 - Spill clean-up area shall be 24 inches high.
 - Spill clean-up area shall be 24 inches wide.

MAINTENANCE:
 - Inspect and clean spill clean-up area weekly.
 - Remove spill from spill clean-up area weekly.

REVISIONS:
 - 1.0 Initial
 - 2.0 Revised

Revisions

Date
 2-6-2024

Scale
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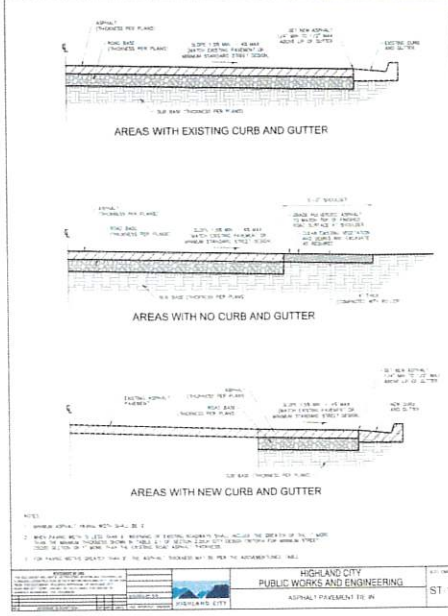
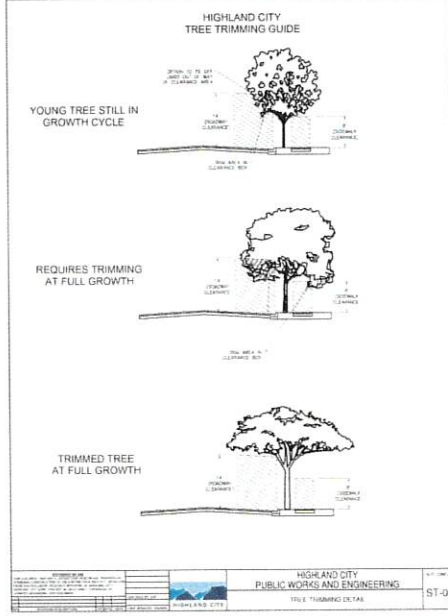
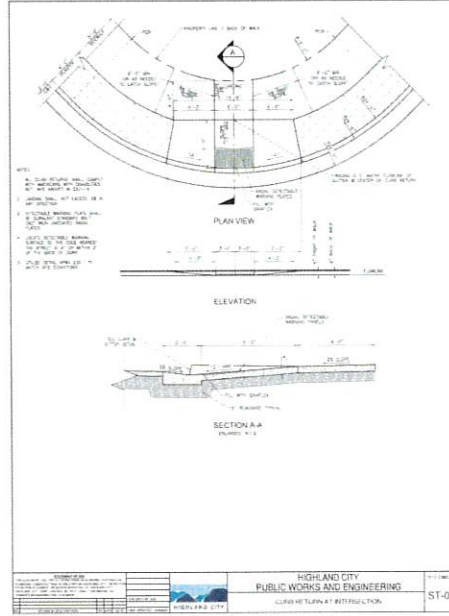
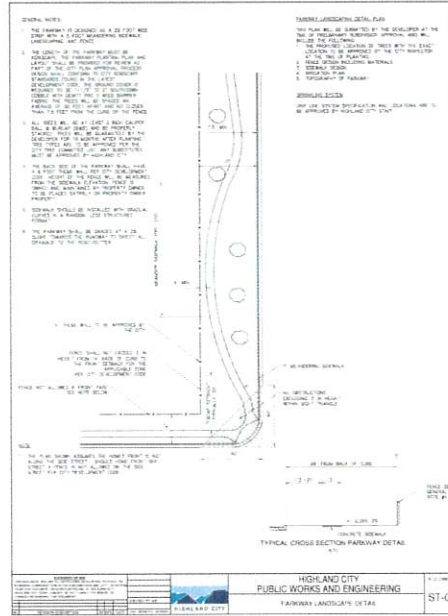
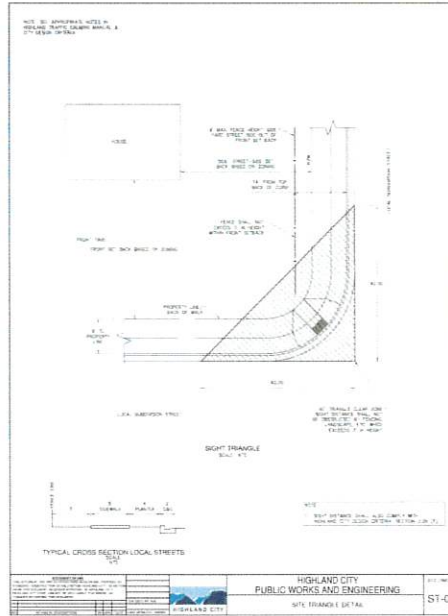
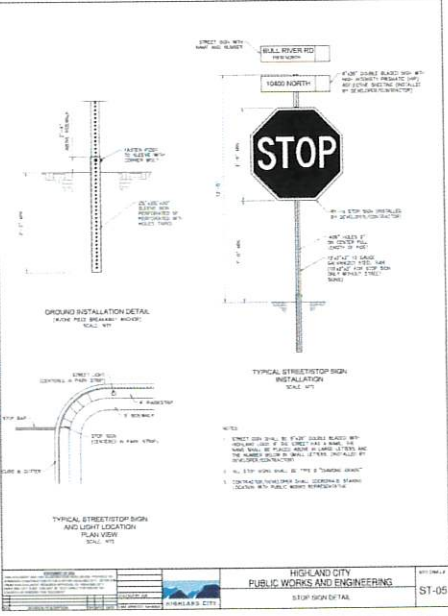
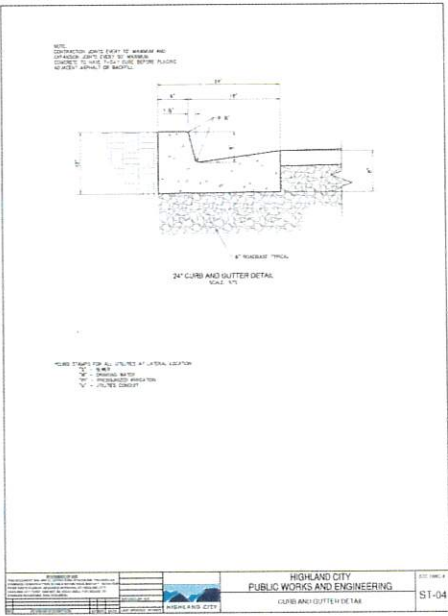
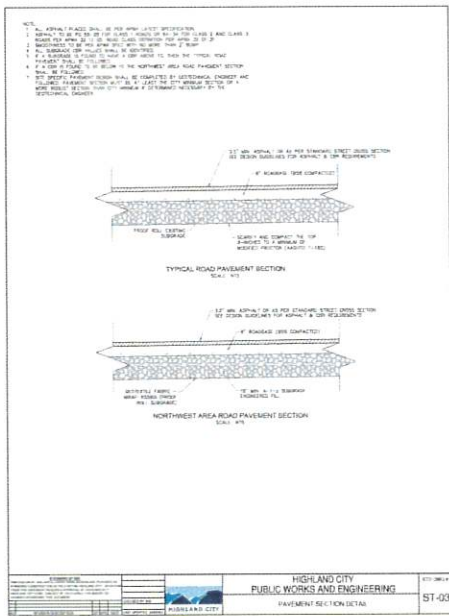
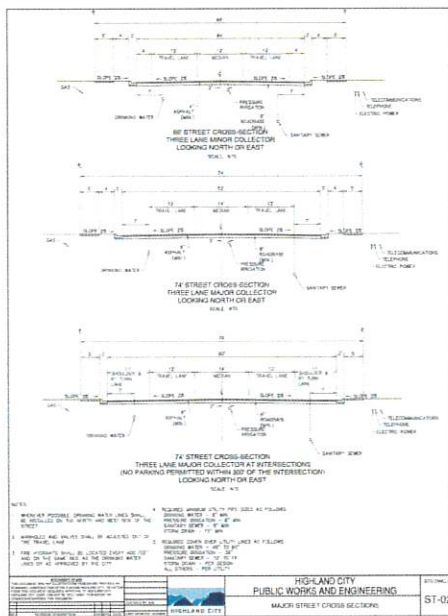
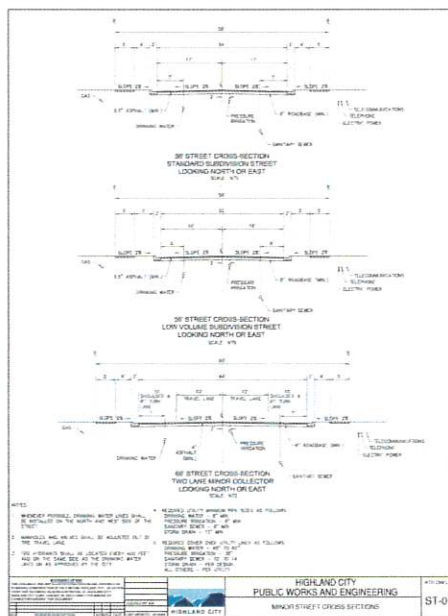
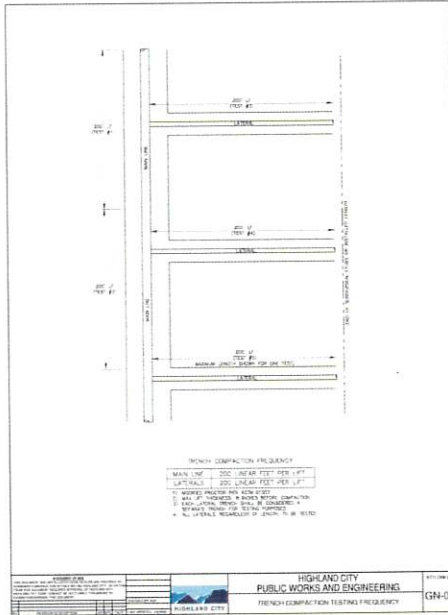


STANDARD DRAWINGS
Adopted January 16, 2024

STANDARD DRAWINGS
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Utah

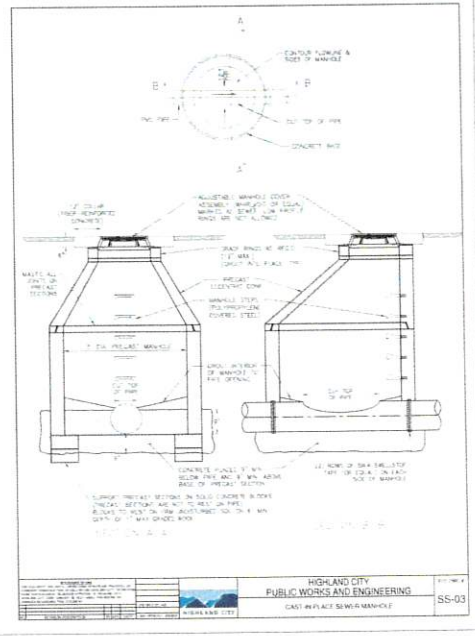
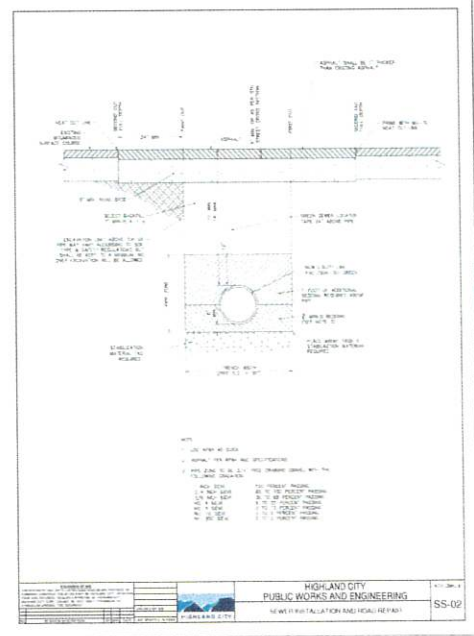
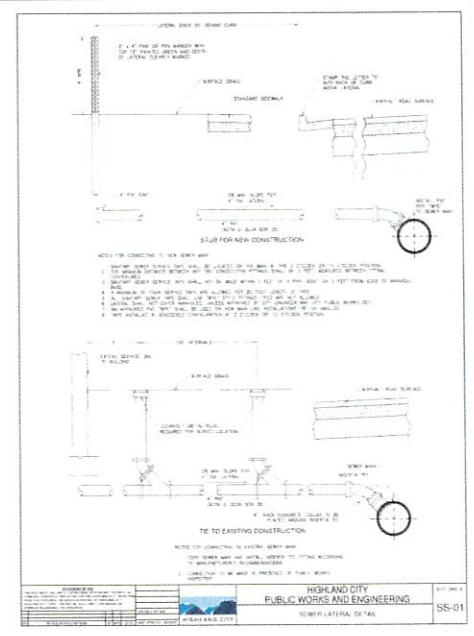
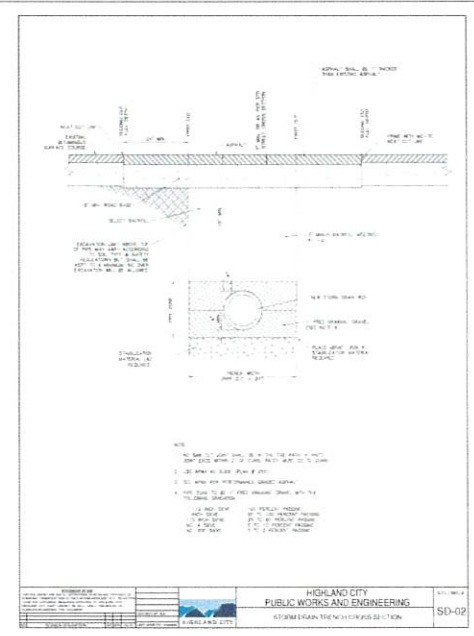
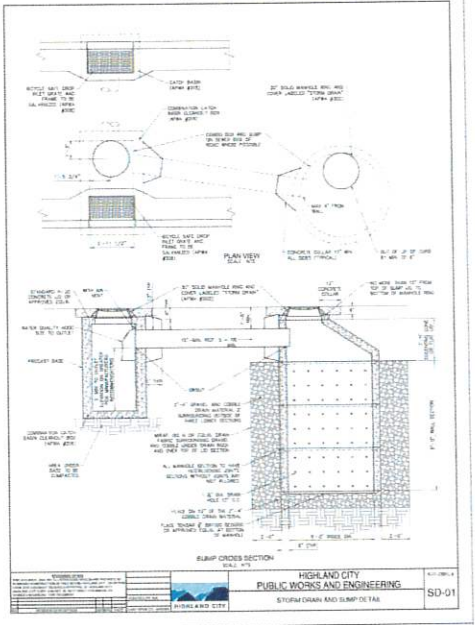
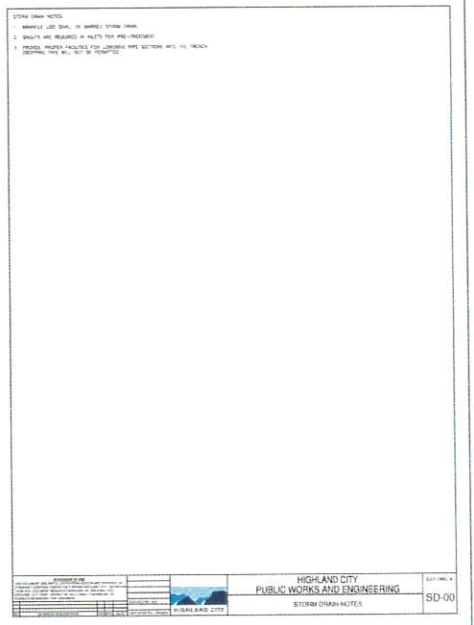
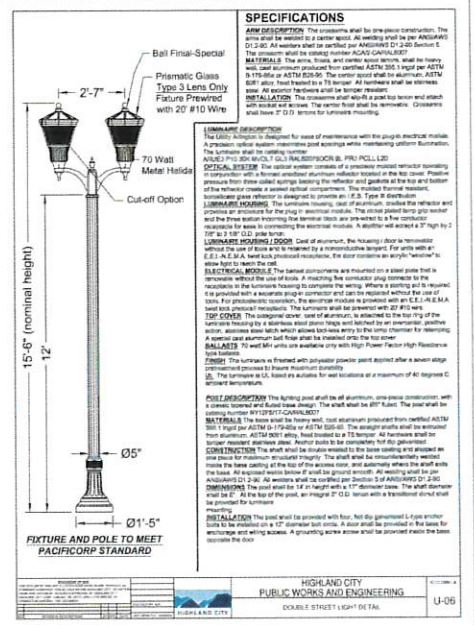
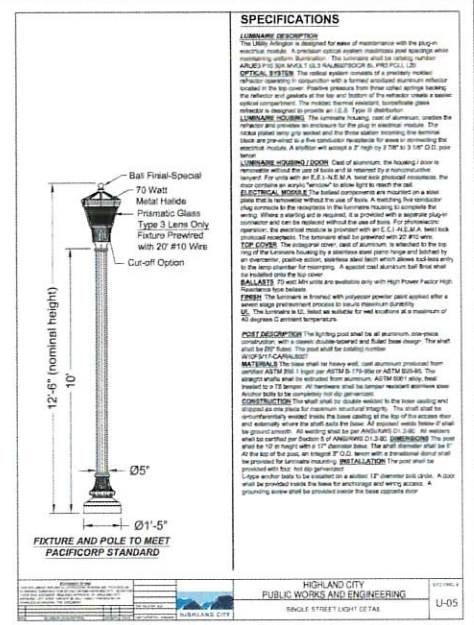
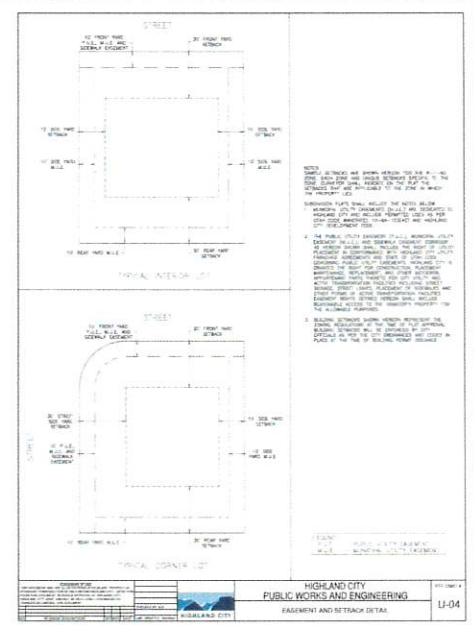
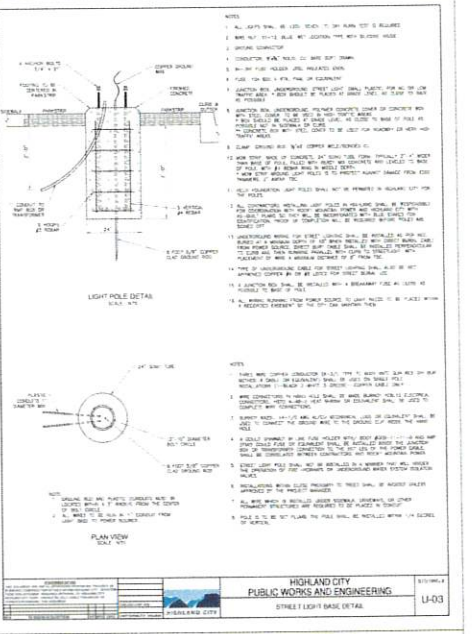
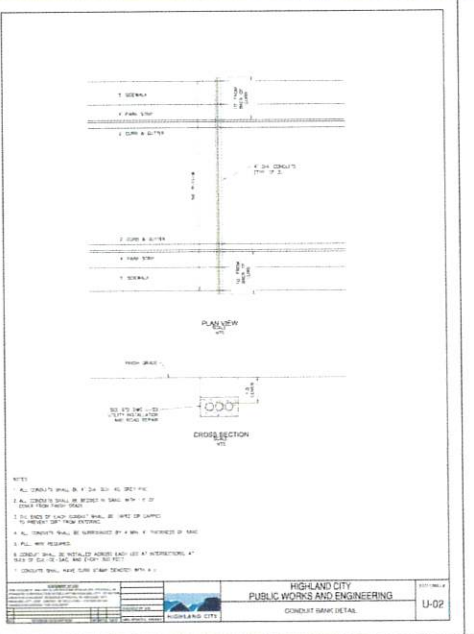
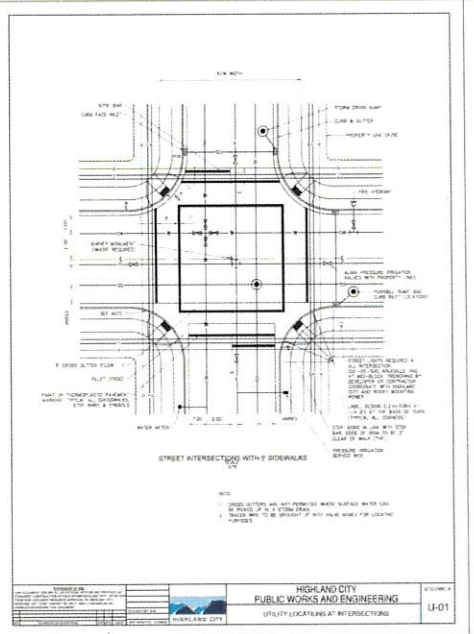
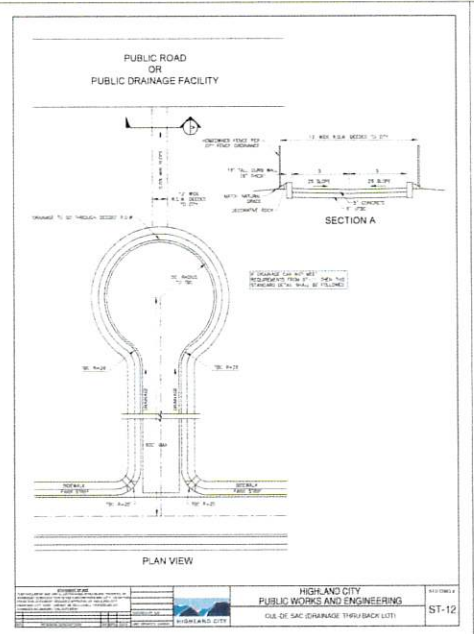
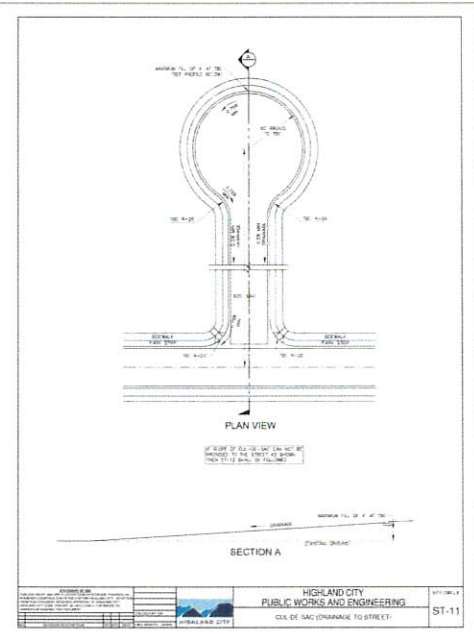
CITY DETAIL SHEET

Highland

Revisions

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L -

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D - 2



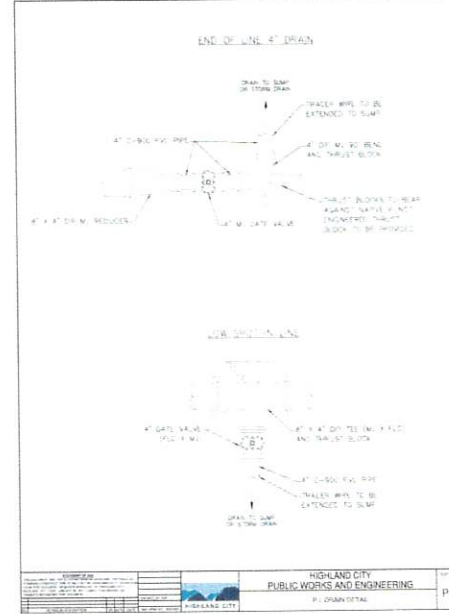
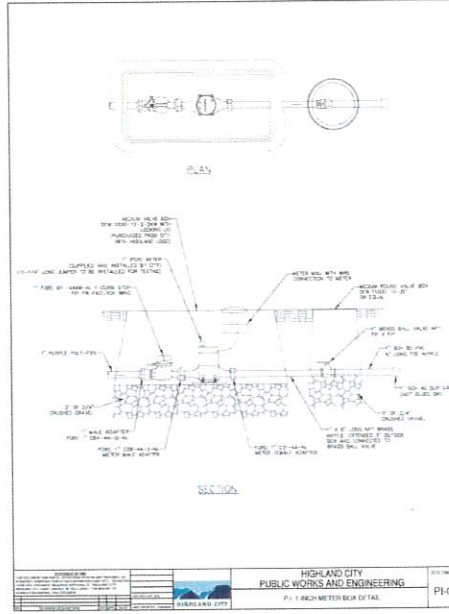
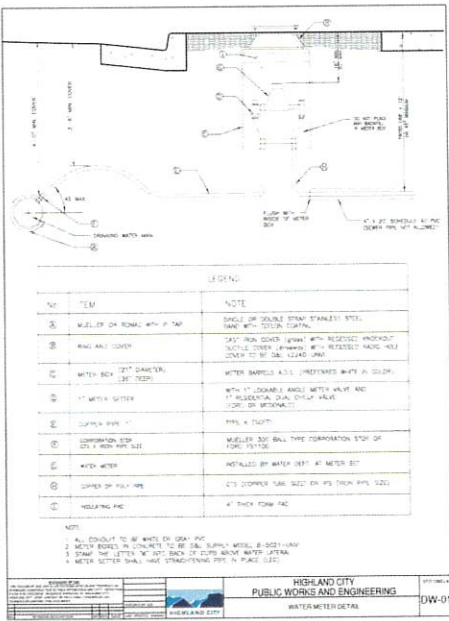


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DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Utah

CITY DETAIL SHEET

Highland

Revisions

Date
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Sheet No.
D - 4

P. BLOW-OFF IN CUL-DE-SAC
(THIS IS USED WHEN FLOW DRAINS OUT OF CUL-DE-SAC)

TOP VIEW

TEMPORARY P. BLOW-OFF

NOTE
THIS IS ENCLOSED IN A 6" MANHOLE CONE MANHOLE
USED TO BE PLACED OVER PIPE AND THROAT BLOCK
NO LOAD SHALL BEAR ON THE PIPE FROM THE CONE
THROAT WARE TO END IN A THROAT

VALVE BOX

NOTES
1. VALVE BOX SHALL BE CLEAN, FLUSH AND PROPERLY ALIGNED ON THE VALVE WITH THE 1/2" WASHED "W" VALVE
2. VALVE OPERATING NUT SHALL BE WITHIN 2" TO FACING SURFACE. EXTENSION STOPS WITH FLOCK SHIELDS SHALL BE PROVIDED WHERE DEPTH EXCEEDS 4"
3. EXTENSION STEM IS PROVIDED. A HOLE SHALL BE DRILLED IN THE UPPER SECTION VALVE BOX FOR TRACER WIRE

SEWER PIPE

SECTION

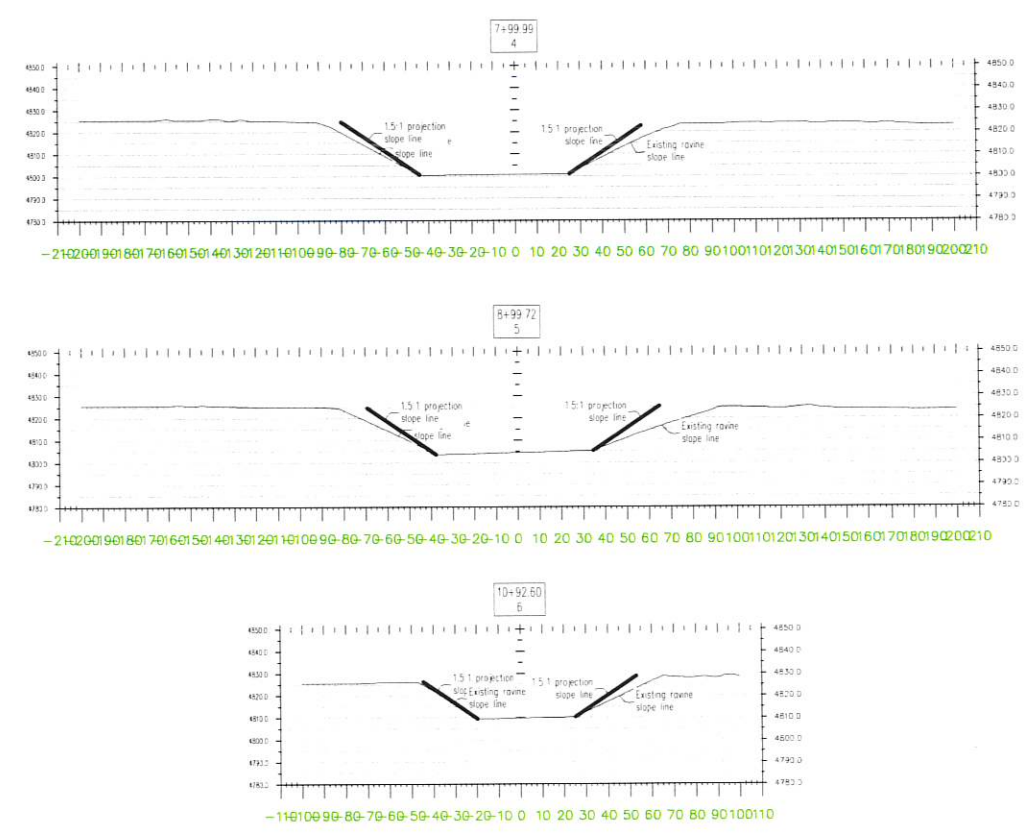
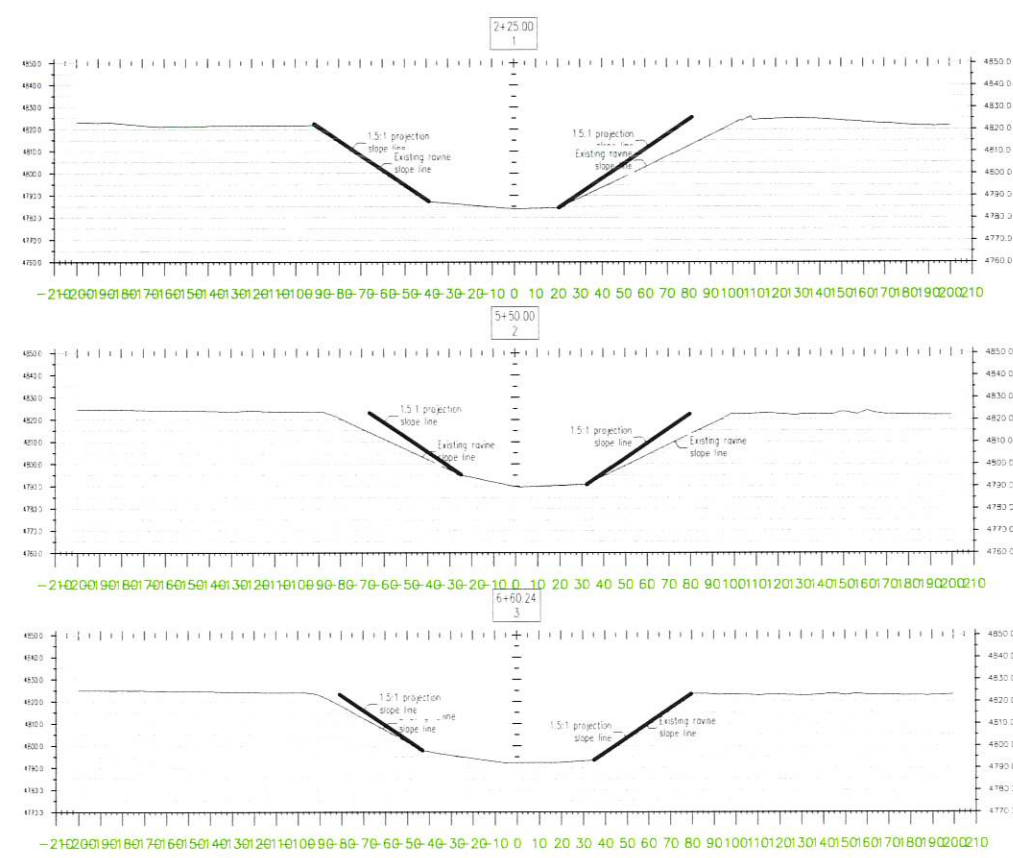
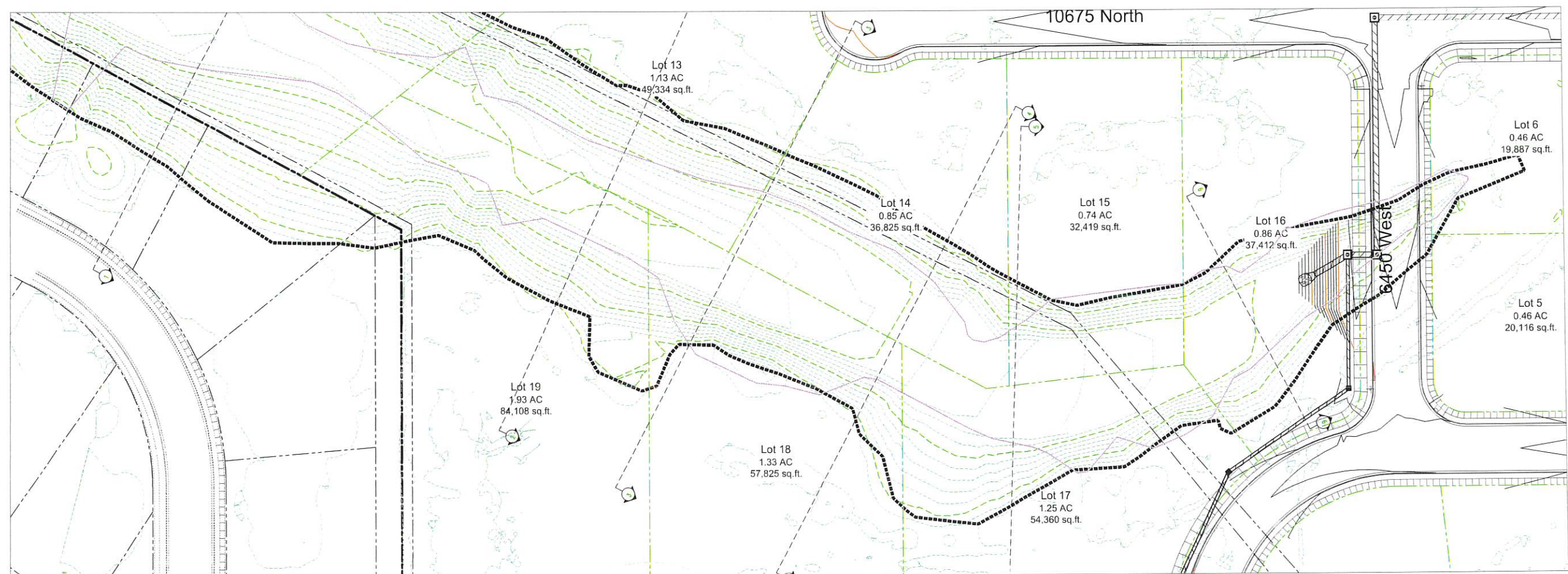
ANY HOLES CREATED BY BORING, JACKING, OR TUNNELING SHALL BE FILLED BY PRESSURE GROUTING

CASING SPACERS MANUFACTURED BY PIPELINE SEAL AND INSULATOR, INC. MODEL STD-12 SPACERS EVERY 50 FT TO COVER THE PIPE WHERE THE CASING PIPE THROUGHOUT THE LENGTH OF THE CASING SHALL BE AT A CONTINUOUS GRADE AS SHOWN IN DRAWINGS

MINIMUM WALL THICKNESS OF CASING	MINIMUM WALL THICKNESS OF CASING
Diameter	Wall Thickness
12" and under	0.188"
14" - 18"	0.312"
20" - 22"	0.375"
24" - 26"	0.438"
28" - 32"	0.500"
34" - 42"	0.562"

NOTES:

- CASING PIPES SHALL BE REQUIRED AS INDICATED ON THE DRAWINGS AND/OR WHERE REQUIRED BY THE CITY INSPECTOR OR ENGINEER.
- THE INSIDE DIAMETER OF THE CASING PIPE SHALL BE SIZED AT LEAST 4" LARGER THAN THE OUTSIDE DIAMETER OF CARRIER PIPE.
- CARRIER PIPE SHALL BE TESTED BEFORE SEALING THE ENDS OF THE CASING.
- SPACERS SHALL BE SECURELY ATTACHED TO CARRIER PIPE PER MANUFACTURER'S REQUIREMENTS.
- CASING PIPE SHALL BE WELDED STEEL, ASTM A33, GRADE B.
- THERE SHALL BE A MAXIMUM OF 1" FROM THE ENDS OF THE CASING TO THE SPACER.



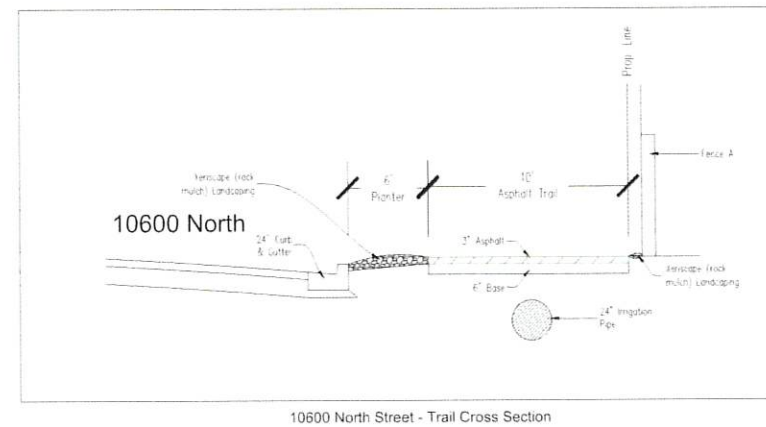
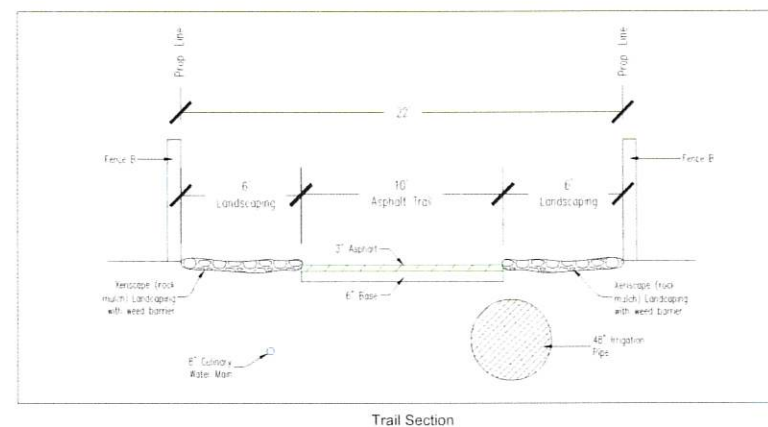
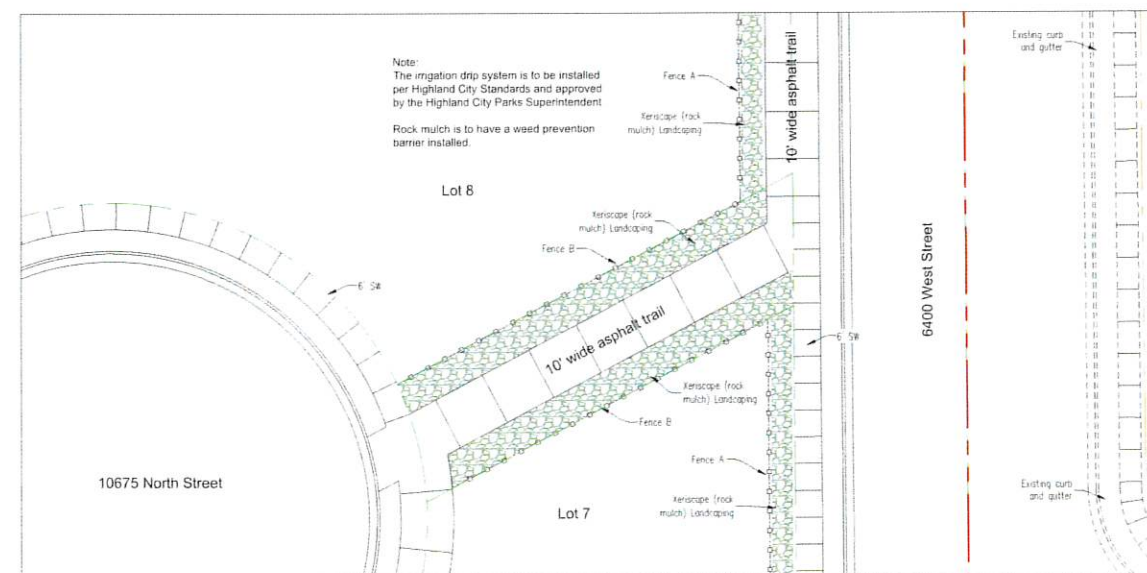
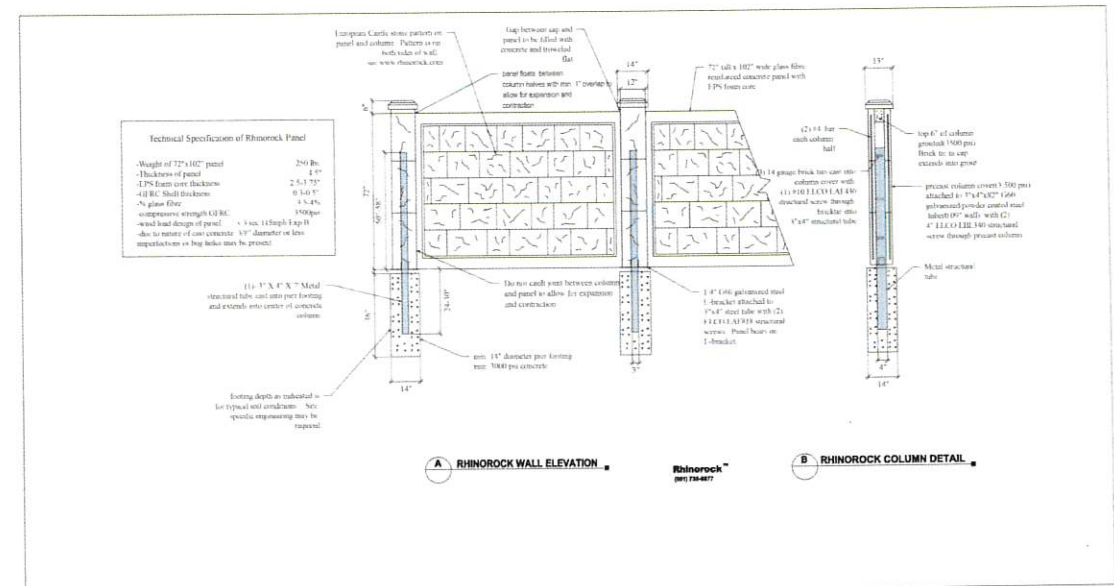
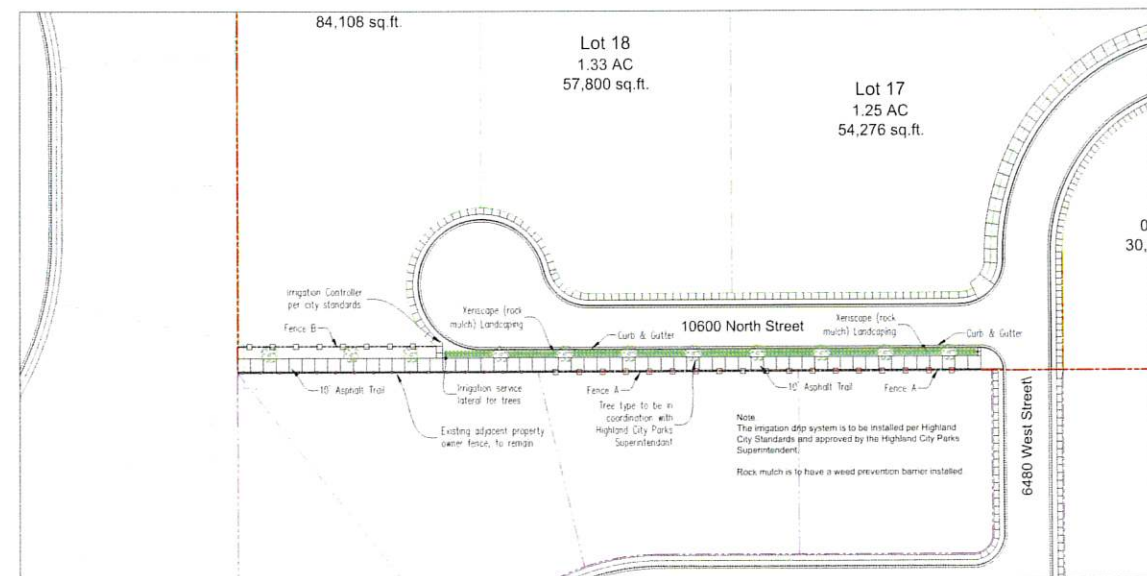

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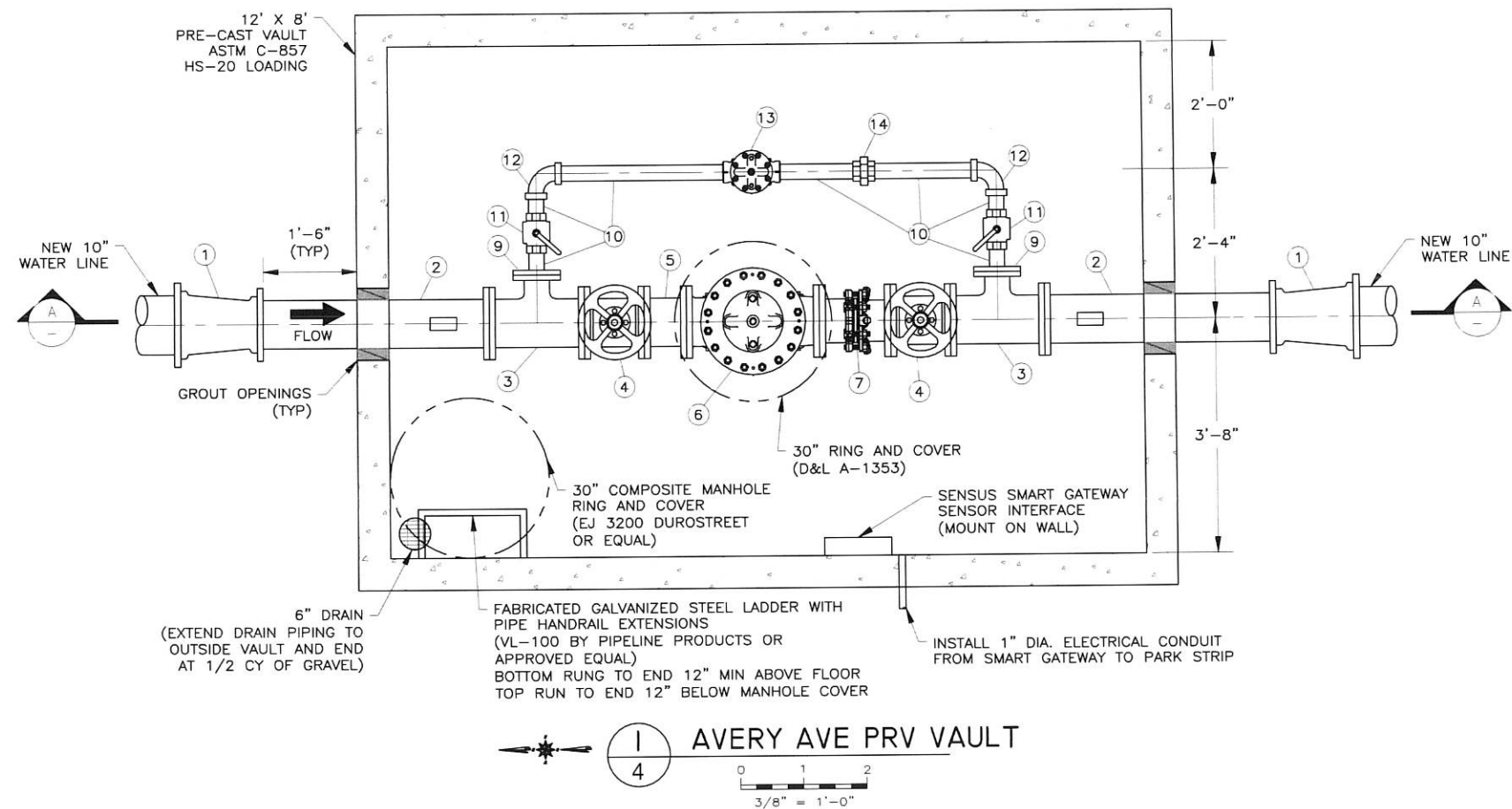
Foxwood Estates
Cross Sections
 Highland
 Utah

Revisions

Date
 2-20-2024
 Scale
 1" = 40'
 By
 TD
 Tracing No.
 L - 14816

Sheet No.
SEC - 1





NO.	DESCRIPTION	SIZE	JOINT
1.	DIP REDUCER	10" X 8"	MJ
2.	DIP SPOOL W/ 1/2" THREADED TAP	8"	FL X PE
3.	DIP REDUCING TEE	8" X 4"	FL
4.	AWWA GATE VALVE WITH HANDWHEEL	8"	FL
5.	DIP SPOOL	8"	FL
6.	PRESSURE REDUCING VALVE (CLA-VAL 92-01)	8"	FL
7.	DISMANTLING JOINT (ROMAC DJ405)	8"	FL
8.	PIPE SUPPORT (ANVIL FIG. 264) WITH 1" GROUT PAD	—	—
9.	REDUCING FLANGE	4" X 2"	THD
10.	BRASS PIPE (LENGTH AS REQUIRED)	2"	THD
11.	BALL VALVE	2"	THD
12.	BRASS 90-DEG ELBOW	2"	THD
13.	PRESSURE REDUCING VALVE (CLA-VAL 92-01)	2"	THD
14.	UNION (BRASS)	2"	THD

- NOTES:

1. ALL FITTINGS SHALL BE DIP PRESSURE CLASS 350.
2. ALL BOLTS SHALL BE ZINC PLATED.
3. PROVIDE JOINT RESTRAINT (EBAA IRON MEGALUG OR EQUAL) AND CONCRETE THRUST BLOCKS ON ALL BURIED FITTINGS.
4. CONTRACTOR TO VERIFY ALL PIPING LAYOUT DIMENSIONS PRIOR TO CONSTRUCTION.
5. ALL EXPOSED DUCTILE IRON PIPING SHALL BE PAINTED AS FOLLOWS:

SURFACE PREP	ABRASIVE BLAST OR CENTRIFUGAL WHEEL BLAST
PAINT PRIMER	TNEMEC SERIES 90-97 TNEMEC-ZINC AT 2.5 - 3.5 MILS DFT
INTERMEDIATE COAT	TNEMEC SERIES N140 POTA-POX PLUS AT 4.0 - 6.0 MILS DFT
FINISH COAT	TNEMEC SERIES 73 ENDURA-SHIELD AT 2.0 - 5.0 MILS DFT (SAFETY BLUE COLOR)



REVIEW COMMENTS FOXWOOD ESTATES – 2ND CIVIL REVIEW 9-APRIL-2024

General Comments:

1. These review comments complete Review Cycle 1 of 4. Fees paid for final plat and subdivision improvement plan review cover only two review cycles. If more than two review cycles are required, additional review fees will be required prior to beginning the third review cycle.
 - a. Response: **Understood.**
 - b. Reply:
 - i. These review comments complete Review Cycle 2 of 4. Fees paid for final plat and subdivision improvement plan review cover only two review cycles.
 - ii. Staff believes remaining comments may be resolved by stipulations on approval and/or updated plat/plan set prior to DAB approval scheduled April 11, 2024
2. As our City standards have recently been updated, we encourage the use of the updated standards. For example, the drinking water services are now using setters and have increased to 1". Also, some of our street cross section details have changed, increasing the depth of asphalt. Please include the proper details in which you intend to proceed.
 - a. Response: **We have updated all the details per the 2024 edition. We have included those details in the plan set.**
 - b. Reply: **This comment is closed.**
3. Provide top of Asphalt and TBC elevations ensuring City slope requirements are met.
 - a. Response: **These have been shown on all profiles.**



- b. Reply: No curb returns or cul-de-sac slopes are shown. Please provide slopes to show compliance with City standards.
- 4. Street cross sections within proposed development show some utilities as existing, revise to proposed.
 - a. Response: Revised.
 - b. Reply: This comment is closed.
- 5. Separate comments were provided related to the 48-inch Irrigation Line as a courtesy, please respond and correct drawings.
 - a. Response: Drawings have been corrected. The pipe is now installed.
 - b. Reply: This comment is closed.
- 6. Provide major contours labels (finish and existing).
 - a. Response: Labels added.
 - b. Reply: This comment is closed.
- 7. Show Highland City conduits in all profiles.
 - a. Response: We have shown the conduits per redlines.
 - b. Reply: Conduits not shown in profiles. Please revise to include Highland City Conduits in profiles.
- 8. Show centerline stationing. Typical all sheets.
 - a. Response: We have shown the centerline stationing on all sheets.
 - b. Reply: This comment is closed.
- 9. Highland City standard details provided in the plan set are unreadable. Provide less standard details per sheet.
 - a. Response: We have tried to make them more readable and have added more sheets.
 - b. Reply: The same number of standard details are shown per sheet as the first submittal. Please provide readable standard details for the construction crews at the time of construction. This comment is closed.



10. Highland trail must have curb on each side.

- a. Response: **We have added a note for lots 6 and 7 to have a curb on each side. The rest of the trail will be a 10' asphalt trail.**
- b. Reply: **This comment is closed.**

Planning Comments:

Final Plat – Sheet 1

11. HDC 5-4-311(4): Form of Plat/missing information issues:

- a. Add city approved standard plat notes (see plat application form).
 - i. Response: **Plat notes have been added.**
 - ii. Reply: **Add three standard plat notes from MUE/PUE drawing U-04.**
 - iii. **Add numbering/lettering identifying each plat note for readability/reference (was done for review set but not first set of emailed plats – ensure consistent on final version)**
- b. Add standard setback blocks for R-1-40 subdivision, with asterisk referring to plat note “See Sheet 2 of 2 for the details of the buildable area for the lots adjacent to the existing ravine”
 - i. Response: **We have added a setback diagram.**
 - ii. Reply: **Setback diagram is incorrect. Replace typical building setbacks in diagram with City standard drawing U-04 and replace reference to standard drawing. 10' MUE sides/rear (not 7' PUE), 15' side setback (not 10'), 30' side setback on corner**



lot (not 25') – ensure MUE vs. PUE used correctly in addition to size requirement.

c. Add road cross-section.

- i. Response: **Cross Sections have been added to the plat.**
- ii. Reply: **Add note to street cross sections referencing standard drawing:**

- 1. STD DWG ST-01 56' Standard Subdivision Street
- 2. STD DWG ST-01 66' Two Lane Minor Collector

iii. **Add street cross section for 10600 North/Daisy Lane**

d. Add or correct all information/blocks required per standard final plat example sheet (e.g., standard setbacks/PUE/MUE, ROW cross section, owner's dedication, signature blocks, etc.).

- i. Response: **We have added the necessary easements, and title blocks, etc.**
- ii. Reply: **See response comment 11.b.ii above.**

e. Per HDC 5-5-109, Highland City requires municipal utility easements on side and rear lot lines instead of PUEs, and PUEs only on front lot line.

- i. Response: **Easements have been updated.**
- ii. Reply: **See response comment 11.b.ii above.**
- iii. **Corner easement in lot 13 needs easement to also be granted for municipal utility easement and access easement.**



- f. Combine plat notes into single section; identify plat notes with numbers.
 - i. Response: **Plat notes have been updated.**
 - ii. Reply: **See response comment 11.a.iii.**
 - g. Remove “Occupancy Restriction Notice” and language referencing City of Orem.
 - i. Response: **Removed.**
 - ii. Reply: **This comment is closed.**
 - h. Road names need to be included.
 - i. Response: **We have added the road names to the plat.**
 - ii. **Reply: Provide the following information:**
 - 1. Ray’s Creek needs street designation
(Lane/Drive/Road/Street etc.)
 - 2. 10630 North (Public) needs to be noted on plat
 - 3. Add “(Public)” to 6450 West Street name
- 12.HDC 5-4-311(4): Plat readability issues: Legend required; lot and other boundaries unclear and need to be clarified; notes not readable. **Not understanding what is not clear??**
- a. Legend identifying hatching for preservation easement.



- a. Response: **Hatching has been identified.**
- b. Reply: **This comment is closed.**
- b. Legend identifying different line meanings – especially identify hollow/slope line meaning and purpose (slope edge?)
 - a. Response: **Line type legend has been added.**
 - b. Reply: **Line type for top of bank does not match line used on slope – correct. Ensure Utility easement line type and top of bank line type match line types are distinct and are as used on plat.**
 - c. **Remove extraneous line in NW corner Parcel A**
- c. Property, easement, setback, and other lines unclear in Lots 12-19.
 - a. Response: **We have made this as clear as possible with line tables and hatching.**
 - b. Reply: **See comment response 12.b.b.**
- d. Lot 12 identification and size information is difficult to read – relocate.
 - a. Response: **The lot label has been re-positioned.**
 - b. Reply: **This comment is closed.**
- e. “20.00’ Public Utility & Drainage Easement” note in middle of ravine/preservation easement hatch is unreadable – relocate.
 - a. Response: **Been relocated.**



- b. Reply: [This comment is closed.](#)
- f. Addition of standard setbacks/PUE/MUE (see comment 1.d-e) allow removal of “10.00’ PUE (typ)” note throughout plat if desired.
 - a. Response: **Been removed.**
 - b. Reply: [This comment is closed.](#)
- g. New Comment: [Parcel Dedication to read: Parcels A, B, and C dedicated to Highland City for municipal purposes, including irrigation, utility, access, and public trail purposes.](#)
- h. New Comment: [Preservation Easement note to read: Preservation Easement granted in favor of Highland City and Lehi Irrigation granting right to pass irrigation and storm water for Highland City and Lehi Irrigation, right to regulate vegetation and development activity, right to add/remove vegetation, and right of access.](#)
- i. New Comment: [Remove City Utility signature block – Replace with Lehi Irrigation Approval with following language \(or submit separate approval in writing from Lehi Irrigation accepting easements, vacating prior easements, and accepting design per prior comments – if submit approval, remove block entirely\)](#)
 - a. [Lehi Irrigation Approval:](#)
[Approval vacates prior easements and accepts easements and other dedications as shown herein.](#)
- j. New Comment: [“City-County Engineer Seal” – remove “county”](#)
- k. New Comment: [Replace “Acceptance by Legislative Body” with “Acceptance by Municipality”](#)
- l. New Comment: [Add line for City Community Development Director to sign next to mayor.](#)



- m. New Comment: Plat note regarding final Geotech report - replace “(to be recorded with subdivision)” with recordation information where/when Geotech report was recorded. Record Geotech report after final plat approval and update plat accordingly prior to recordation.
- n. New Comment: Addresses will need to be added for each lot to final plat prior to recording. Coordinate with City.
- o. New Comment: Landscaping – add plat note: Landscape areas adjacent to 6400 West maintained by adjacent lot owners for lots 3,4,7,8
- p. New Comment: Lehi City waterline easement (per title report exception 17) must be shown and noted on plat: “Lehi City pipeline easement, per instrument Recorded December 30, 1911, as Entry No. 5264, Book Page 226.”
- q. New Comment: Curves C6, C25, C29 appear to be less than the required minimum radius. Please check and confirm compliance with City standards.
- r. New Comment: It is not clear where 30’-0 irrigation easement stops/starts on lot 16. Please annotate clearly.

13.HDC 8-105, HDC 5-5-101(2): Sensitive Lands

- a. Per Sensitive Lands Memorandum Stipulations and Pre-Plat Review Comment 9, revise sensitive lands note to read as follows: “Highland City Ordinances restrict development, grading, filling, and construction on sensitive lands and slopes. No development (homes/accessory structures/pools/etc.) are permitted on slopes greater than 25%, the slope setback area, or on areas outside of designated buildable areas. No variance is permitted from this requirement. Slope areas being disturbed/exposed/alterd as part of development will require revegetation and quality topsoil retained and reused. After



alteration and revegetation, lot owners are prohibited from defoliating vegetation or regrading slopes.” Include this note on both sheets.

a. Response: **Note has been added on both sheets.**

b. Reply: **This comment is closed.**

b. Per Sensitive Lands Memorandum Stipulations, include the following note: “A site-specific evaluation for lots 5, 6, 12-19 is required to be completed by the geotechnical engineer of record at the time of building footing excavation and footing preparation.” Include this note on both sheets.

a. Response: **Note has been added on both sheets.**

b. Reply: **This comment is closed.**

c. Per PrePlat Review Comment 14, include note requiring each lot to conform to recommendation and requirements of final Geotech report, including requirements as to vegetation, drainage provisions, and limiting water on slopes(to be recorded with subdivision). Include this note on both sheets.

a. Response: **Note has been added on both sheets.**

b. Reply: **This comment is closed.**

d. Per Sensitive Lands Memorandum Stipulations, grading validation and cross-sections of the wash for each lot are required to show slope setback and to ensure that fill is less than 8 feet.

a. Response: **Refer to the cross-section sheet in the plan set.**



- b. Reply: Lot 12 is not shown on the cross-section sheet. Please revise.

14.HDC 3-4103: Lot Area and Frontage Requirements

- a. Only 25% of lots within subdivision may be less than 30,000 sqft, rounding down. Subdivision proposes 19 lots, allowing up to 4 smaller lots. Plat proposes 5 lots (lots 2, 4-7) under 30,000 sqft. Lots must be reconfigured to only have 4 lots under 30,000 OR subdivision must have 20 lots total (allowing 5 smaller lots).
 - a. Response: This is being addressed with the approval of a 20-lot plat then having a plat amendment approved through Council.
 - b. Reply: This comment is closed.
- b. Each lot must have 130' frontage on public street, measured at front setback (30' into lot from front lot line). The following lots appear to not have sufficient frontage or frontage is unclear with curves: Lots 5, 6, 8, 13. Please revise lots to ensure frontage is met or confirm frontage is satisfied for the indicated lots since lots have been adjusted since preliminary plat.
 - a. Response: The frontage of all lots has been double checked and each lot has the required 130'.
 - b. Reply: This comment is closed.
- c. Minimum lot size is 20,000 sqft (subject to 25% rule described in comment 4.a). Lot 6 does not meet minimum requirements and is not permitted.



- a. Response: **Lot 6 has been adjusted to have 20,000 sqft.**
- b. Reply: **This comment is now closed.**
- d. Lot 8, depending on trail/ROW area (see comment 5.c), cannot be reduced below 30,000 sqft (see 25% rule described in comment 4.a).
 - a. Response: **Lot 8 has the required area per code.**
 - b. Reply: **This comment is now closed.**
- e. Lots 4-6, as corner lots, have two front-yard 30' setbacks along streets. HDC 5-5-104(E) provides, "Corner lots for residential use shall be platted wider than interior lots in order to permit conformance with the required street setback requirements of the Zoning Code." The corner lot frontage requirements and smaller lot size may restrict future use of lots. So long as 130' frontage requirements are met (see comment 4.b), this note is purely informational, and no change is required.
 - a. Response. **Noted**

15. HDC 5-5-114: Easements and Dedications

- a. 10' Trail easements must also be widened to include 4' planter areas adjacent to lots (all trail easements along Lots 8, 7, 6, 16, 17).
Response: **Easements are now a 14' PUE and Trail easement in the locations necessary.**

Reply: **This comment is closed.**



- b. 10' Trail & Irrigation easement must continue through preservation easement along Lot 16 into Lot 17. Indicate easement continuation on plat.
- c. Reponse: **Easement has been shown through the preservation easement.**
- d. Reply: **This comment is closed.**
- e. 10' Trail location along 6400 West along Lot 8 must be indicated. 6400 W ROW should be wider with 10' trail. See approved preliminary plat.
 - a. Response: **Easement has been shown and noted.**
 - b. Reply: **This comment is closed.**
- f. Preservation easement needs note of to whom the easement is granted (City and/or Lehi Irrigation). **Note has been added.**
- g. Parcel B must indicate it is being dedicated to Highland City.
 - a. Response: **A note has been added to the plat that all parcels are to be dedicated to Highland City.**
 - b. Reply: **See comment 12.h above.**

16. HDC 5-5-114/HDC 3-612: Add following notes regarding fencing in addition to standard fence notes

- a. "All fencing must meet City fencing height, opacity, and setback requirements. Fences along interior trail corridors, including trail



between Lots 7 and 8, may be a maximum of 4' solid with at least the top 2' at least 55% open.”

- a. Response: **Fencing note and a fencing detail sheet have been added to the plan set.**
- b. Reply: **HDC 3-612(4): All fences, including theme walls along trail and 6400 West, must have footings entirely on private property. Cross-section of “Fence B” indicates wall is at property line, but footings must be at property line instead with wall behind.**
- c. **HDC 3-612(3), (4): Fence B height not dimensioned. No higher than 6' from grade, with open portion minimum of 2'.**
- d. **Add note that rock mulch size/type to be approved by parks superintendent.**
- e. **Park strip along 6400 West to be xeriscaped (rock mulch with weed prevention barrier)**

Final Plat – Sheet 2

17. HDC 8-105, HDC 5-5-101(2): Sensitive Lands

- a. Revise sensitive lands note to read as follows: “Highland City Ordinances restrict development, grading, filling, and construction on sensitive lands and slopes. No development (homes/accessory structures/pools/etc.) are permitted on slopes greater than 25%, the slope setback area, or on areas outside of designated buildable areas. No variance is permitted from this requirement. Slope areas being



disturbed/exposed/altered will require revegetation and quality topsoil retained and reused.” Include this note on both sheets.

- i. Reply: **Note has been added on both sheets.**
- ii. **Response:** **This comment is closed.**
- b. New Comment: **Please make the same revisions/corrections to plat notes, cross sections, and typical lot utility easement/setbacks as per sheet 1.**

Civil Plan Review

18. Plat A, Sheets 1 & 2: See comments above.

19. HDC 5-4-312: Failure to include the below plans limits staff’s ability to review remainder of plans. City may require adjustments to any other plan, in addition to any adjustments and comments provided with this review, to address issues related to missing plans.

- a. 312(3)(c): Missing landscaping plan;
 - i. Response: **We have added a fencing and landscape detail sheet to the plan set.**
 - ii. Reply: **See comment 16 above.**
- b. 312(3)(f): Missing retaining wall, sign, and fence designs and plans.
 - i. Response: **We have added a fencing and landscape detail sheet to the plan set.**
 - ii. Reply: **See comment 16 above.**



- c. In providing the missing plans, please incorporate the following considerations:
- d. Fence plan and landscaping plans must include required trails, landscaping adjacent to trails, and theme walls per preliminary plat approval, approval stipulations, and review comments Dec 21, 2023/Jan 5, 2024.
 - i. Response: **We have added a fencing and landscaping detail sheet to the plan set.**
 - ii. Reply: [See comment 16 above.](#)
- e. Theme walls adjacent to trail corridor along lots 7 and 8 must meet HDC 3-612(C)(3)(c) and (D). Fence must be maximum of 4' solid with at least 2' 55% open on top. Theme wall, including footings, must be located entirely on private property and not within trail corridor.
 - i. Response: **We have added a fencing and landscaping detail sheet to the plan set.**
 - ii. Reply: [See comment 16 above.](#)
- f. Theme wall along trail corridor adjacent 10600 North required. Confirm that neighbor fences meet material requirements under HDC 3-612(D). If not, a theme wall will need to be installed. May be installed on neighbors' property with neighbors' permission. Otherwise, road and trail location/easement may need to be adjusted to ensure theme wall width (including footings), 10' trail, planter area, and street ROW area are provided within subdivision per City standards.



- i. Response: **We have added a fencing and landscaping detail sheet to the plan set.**
 - ii. Reply: **See comment 16 above.**
- g. Utility lines and irrigation pipes within trail corridors may require adjustment due to theme wall footings. Please ensure adequate spacing within trail corridors for theme walls, theme wall footings, and utility/irrigation co. access. Utility plans may be required to be adjusted. Irrigation co. to approve access.
 - i. Response: **We have added a fencing and landscaping detail sheet to the plan set.**
 - ii. Reply: **See comment 16 above.**

Plat Comments:

- 20. All corridors containing Lehi Irrigation Piping also need to be dedicated to Highland City for storm drain and access purposes.
 - a. Response: **Notes have been added to this effect.**
 - b. Reply: **See final plat comments.**
- 21. Highland City is requesting a small piece of Lot 20 be dedicated to Highland City for a future trail continuation into the Hollow.
 - a. Response: **We have shown this as an easement for possible future access.**
 - b. Reply: **This comment is closed.**
- 22. Increase easement on lot 20 to 30' for the irrigation and Highland city access.
 - a. Response: **Easement has been added.**
 - b. Reply: **This comment is closed.**



23. Increase easement on lot 16 to 15' to allow for proper utility easement behind trail.

a. Response: **The easement has been modified.**

b. Reply: **This comment is closed.**

24. Show street monuments to be installed.

a. Response: **This has been discussed with the City engineer and streets superintendent. Millhaven has provided a letter that all property pins will be preserved or replaced until fence lines are established.**

b. Reply: **Letter must be provided to City Engineer prior to plat approval.**

25. Show all lots on sheet 2.

a. Response: **All lots are now shown.**

b. Reply: **This comment is closed.**

26. Provide missing curve table information.

a. Response: **All curve data is shown on the plat.**

b. Reply: **See previous comment related to curve data not meeting City standards. Please revise.**

27. Add note to plat indicating that each lot will require an individual lot grading plan to be approved by the City prior to issuance of a building permit.

a. Response: **Note has been added to the plat.**

b. Reply: **This comment is closed.**

Sheet C-1:

28. Note 2 provides for backflow devices. Revise note to remove mention of backflow devices as Highland City does not allow a connection to drinking water for outdoor sprinkling.

a. Response: **Note has been revised.**

b. Reply: **This comment is closed.**



29. Note 3 is not needed for residential development.

- a. Response: **Been removed.**
- b. Reply: **This comment is closed.**

30. New Comment: **Curbing would be preferred on each side of the trail.**

31. New Comment: **South Town Cobble is the City standard for rock mulch along the trail locations where indicated placed on Dewit Pro 5 Fabric**

32. New Comment: **2" PI service to be dedicated to water the Park strip, Also need Power strongbox and clock location indicated on plans**

33. New Comment: **Specify APWA detail for curb wall**

Sheet C-6:

34. All PI services must drain back to the main (PI-01).

- a. Response: **Note has been added.**
- b. Reply: **This comment is closed.**

35. All PI mains must drain back to connection points or designated drains (PI-05).

- a. Response: **Note has been added to the plans.**
- b. Reply: **This comment is closed.**

36. Verify all hydrants match DW-03.

- a. Response: **Notes have been added.**
- b. Reply: **This comment is closed.**

37. Verify all mains meet 4.02-B (DIP) or standard drawings DW-04.

- a. Response: **Note added to the plans.**
- b. Reply: **This comment is closed.**

38. Check all pipe sizes that they reflect proper sizes on each page, many of the pages are showing different pipe sizes.

- a. Response: **Revised.**
- b. Reply: **This comment is closed.**



39. Revise note as Ditch location has changed, no water utilities to loop under ditch.
- a. Response: **This has been shown and detailed in the plans.**
 - b. Reply: **This comment is closed.**
40. As the Culinary main in 6450 W. is being eliminated the culinary service to lot 6 along with the Fire Hydrant on lot 6 will have to be relocated.
- a. Response: **Been relocated to the north side of 10675 North Street.**
 - b. Reply: **This comment is closed.**
41. Relocate and shorten culinary lateral to lot 20 to reduce length of lateral.
- a. Response: **Revised.**
 - b. Reply: **This comment is closed.**
42. Add Highland City conduit banks in 2 locations, at the intersection near lot 197 (lot 4?) and Lot 3 as well as at the intersection near lot 17 and lot 1 per standard drawing U-02.
- a. Response: **Been added.**
 - b. Reply: **This comment is closed.**
43. All access lids on the ditch need to be solid, no headgates or wheels are allowed to obstruct trail users in any way.
- a. Response: **Notes have been added.**
 - b. Reply: **No notes were added. Please correct or modify the standard detail for the irrigation structures to show solid, traffic rated lids.**
44. All SSMH to be 60" as per SS-03. Revise all notes to reflect such.
- a. Response: **Notes and labels revised.**
 - b. Reply: **This comment is closed.**
45. Show in the drawing the existing service and provisions for it to be abandoned at the main.
- a. Response: **Shown and noted in the plans.**
 - b. Reply: **This comment is closed.**



46. Drinking Water main line in 6400 is likely 6" diameter north of 10670 (verify by Contractor in Field) and 10" diameter south of 10670.
- a. Response: **Plans have been revised to show the 6" main.**
 - b. Reply: **This comment is closed.**
47. Drinking Water line from 6400 to PRV in 10630 shall be 10" due to DW not be installed in 6450.
- a. Response: **Size has been revised.**
 - b. Reply: **This comment is closed.**
48. Existing DW & PI are not shown correctly as they connect into Avery. See previously provided site plan for PRV. The DW line is 10".
- a. Response: **Revisions made.**
 - b. Reply: **See provided site plan, Contractor to verify. The lines actually run through the existing lot. Abandoning is only required, not removal. Abandon the lines by disconnecting from main and only removal of a short piece of pipe (as directed by City) then fill end of pipe with concrete.**
49. Lots 12 & 13 missing keynote 4.
- a. Response: **Added.**
 - b. Reply: **This comment is closed.**
50. Note to be revised so that all drinking water lines are DIP.
- a. Response: **Revised.**
 - b. Reply: **This comment is closed.**
51. Lot number 4 is shown as lot 197. Please correct.
- a. Response: **Revised.**
 - b. Reply: **This comment is closed.**
52. New Comment: **Include gate valves on both sides of the water line where it crosses through the easement to 6400 W.**



53. New Comment: End of line drain needs to be installed near lot 19, it is noted as a blowoff but needs to follow standard PI-05 end of line drain.
54. New Comment: Add Culinary gate valve in intersection going west just north of the PRV location for control of cul-de-sac.
55. New Comment: Note 12 please order the Municipex Pre insulated water service pipe in Blue to indicate Drinking water.

Sheet P-7:

56. Please specify the type of connections that are planned (hot taps or cut-ins) to existing water lines, and adjust valving as necessary. As shown, the cut-in tee with sleeve is very close to existing tee. Please confirm that this method will meet the manufacturer's recommendations.
- a. Response: Notes have been added.
 - b. Reply: This comment is closed.
57. Verify all notes indicating culinary pipe material is DIP per standard DW-04 or DW-05.
- a. Response: Revised.
 - b. Reply: This comment is closed.
58. Sections or plan views must include slope and cross slope along with TBC or top of asphalt elevations.
- a. Response: We have added TBC and road slopes to all profiles.
 - b. Reply: No curb returns or cul-de-sac slopes are shown. Please provide slopes to show compliance with City standards.
59. Provide stationing labels in roadway.
- a. Response: Centerline Stations have been added.
 - b. Reply: This comment is closed.
60. Show lot numbers.
- a. Response: Lot numbers have been shown.



- b. Reply: Lot numbers have not been included on all sheets. Please revise.
- 61. New Comment: Show pavement thickness on plan sheet. See table 2.1. Typical all sheets.
- 62. New Comment: Please confirm which side of 10630 N. the streetlight should be placed on.
- 63. New Comment: Please include keyed notes on this sheet. Typical all sheets.

Sheet P-8:

- 64. Two different culinary pipe sizes are shown in 6400 W. Verify and make corrections if necessary. See note 42 above.
 - a. Response: Revisions made.
 - b. Reply: This comment is closed.
- 65. Provide details on drinking water connection to existing 6" main.
 - a. Response: Details have been added.
 - b. Reply: This comment is closed.
- 66. New Comment: Paint crosswalk lines at trail crossing.
- 67. New Comment: Double headed streetlight required at crossing. Please add it to plan sheet.
- 68. New Comment: Plans need to show locations for street lighting on 6400 W.

Sheet P-9:

- 69. Follow Standard Detail SS-04 for SSMH sizing these are all labeled 48" not 60".
 - a. Response: All have now been changed to 60".
 - b. Reply: This comment is closed
- 70. Culinary Pipe type in notes all need to be DIP per DW-04.
 - a. Response: Revised.
 - b. Reply: This comment is closed



71. Are connections to both water systems Hot taps or cut-ins? Please specify and add notes calling out the valves and locations.
- a. Response: **Revised and noted.**
 - b. Reply: **This comment is closed**
72. Low point in PI system near station 2+0 will need a drain unless pipe can be adjusted to avoid low spot drain. (PI-04).
- a. Response: **I have removed the low point.**
 - b. Reply: **If the PI main is laid too flat and can't drain, a drain will need to be added near this location. Use PI-05 low point drain.**
73. Title incorrectly provided as 10675, should be 10630.
- a. Response: **Revised.**
 - b. Reply: **This comment is closed**
74. Callout the actual bends in degrees to maintain separation around curves.
- a. Response: **Bend descriptions have been noted.**
 - b. Reply: **Not all bend descriptions have been noted. Please add bend descriptions to all bends. Typical all sheets.**
75. Drinking water line to be 10.”
- a. Response: **Noted.**
 - b. Reply: **This comment is closed**
76. New Comment: **Add keynote 4 between lots 1 and 2 to describe the PI service.**
77. New Comment: **Add ADA ramp between lots 1 and 2. Show with keynote 7.**
78. New Comment: **Add keynote 10 to describe City conduits.**

Sheet P-10:

79. Low point station 2+00 on PI system will need a low point drain per PI-05.
- a. Response: **Drain added.**
 - b. Reply: **On the comment responses it was noted that a drain was added near station 2+00 but I can't see one. If the PI main is laid too flat and**



can't drain, there will need to be a drain added near this location. Use
PI-05 Low point drain.

80. Storm drain RCP is 15" min. (SD-01).

- a. Response: **Revised.**
- b. Reply: **This comment is closed.**

81. 10" DIP for Culinary main in this street. See Detail DW-05 or DW-04.

- a. Response: **Revised.**
- b. Reply: **This comment is closed.**

82. Tee in intersection to be 10x8 Culinary Tee.

- a. Response: **Revised**
- b. Reply: **This comment is closed.**

83. Call out all valve sizes on all Culinary and PI gate valves.

- a. Response: **Added.**
- b. Reply: **This comment is closed.**

84. Call out correct SSMH sizes per SS-04.

- a. Response: **All SSMH's are now shown as 60".**
- b. Reply: **This comment is closed.**

85. Show existing water and PI lines that are to be abandoned in Avery Avenue,
see previously provided site plan for more details.

- a. Response: **These are shown and noted.**
- b. Reply: See item 48 and attached figure for Avery Avenue as the lines
are not shown correctly. Also with the correct utility info **Sump #38 is
very close to the SS, verify end of SS location at SSMH 13 to determine
if Sump will have more room between PI Line and SS.**

86. Drinking water to be 10" to PRV. PRV to be constructed as part of project.

Show PRV in profile view.

- a. Response: **Shown**
- b. Reply: **Add a construction note directing to the PRV detail.**



87. Provide road stationing.

- a. Response: **Added.**
- b. Reply: **This comment is closed.**

88. Provide complete PRV details.

- a. Response: **This detail has been provided by the City and shown at the end of the set.**
- b. Reply: **Add a construction note directing to the PRV detail.**

89. New Comment: **Lot 1 shows double water and sewer services. Please remove one set.**

90. New Comment: **Add keynote 10 to describe City conduit crossing.**

Sheet P-11:

91. Relocate Culinary Service lateral to lot 20 to shorten length.

- a. Response: **Shown**
- b. Reply: **This comment is closed.**

92. Indicate correct line sizing in 6480 W. Culinary main is to be 10" DIP.

- a. Response: **Revised.**
- b. Reply: **This comment is closed.**

93. RCP from sump 21 to box 20 to be 15" minimum per SD-01.

- a. Response: **Updated.**
- b. Reply: **This comment is closed.**

94. What is the pipe from irrigation box 11 to combo box 1? Ditch Overflow?

Please note.

- a. Response: **This has been removed.**
- b. Reply: **This comment is closed.**

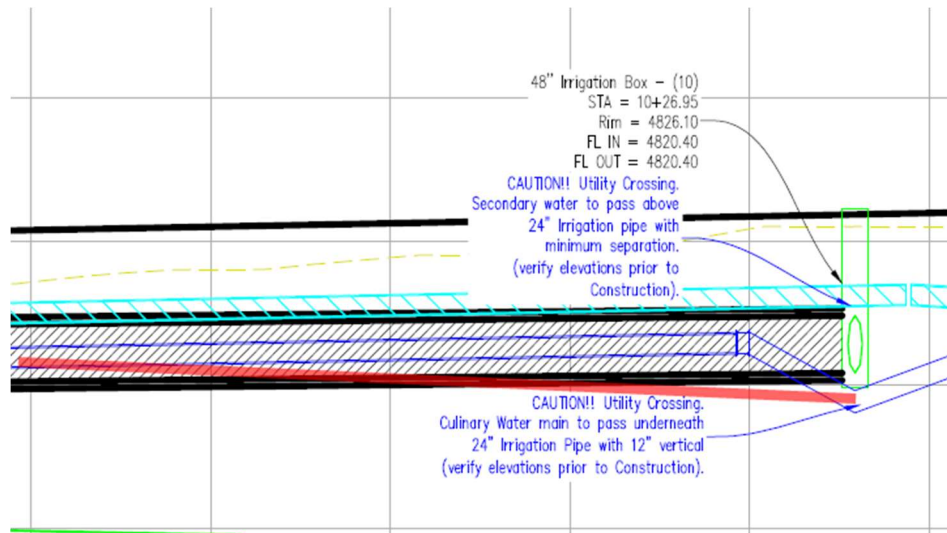
95. Provide more separation of PI main and Sewer main in 10600 to avoid joint trenching.

- a. Response: **Updated.**



- b. Reply: [PI & SS alignments are not per City standard, provide 7-foot minimum separation.](#) [Able to shift PI closer to drinking water line.](#)
- 96. Can the PI services be relocated serving lot 19 and 20 to avoid long lateral across cul-de-sac. New proposed locations indicated on drawings.
 - a. Response: [Been revised.](#)
 - b. Reply: [This comment is closed.](#)
- 97. PI main will have to end in a drain. PI-05.
 - a. Response: [Shown and noted.](#)
 - b. Reply: [Keynote 11 is nearly impossible to read. Please revise.](#)
- 98. Follow Standard SS-04 for all SSMH details and sizing.
 - a. Response: [All are now 60”.](#)
- 99. The North arrow in top left corner is incorrect orientation.
 - a. Response: [Revised.](#)
 - b. Reply: [This comment is closed.](#)
- 100. Provide lot labels.
 - a. Response: [Lot labels shown.](#)
 - b. Reply: [This comment is closed.](#)
- 101. Provide road stationing.
 - a. Response: [Stationing shown.](#)
 - b. Reply: [This comment is closed.](#)
- 102. PI & SS alignments are not per City standard, they are almost on top of each other.
 - a. Response: [Been revised.](#)
 - b. Reply: [PI & SS alignments are still to close, provide 7-foot minimum separation.](#) [Shift PI closer to drinking water line to achieve PI & SS separation.](#)
- 103. Revise sheet title to 10600 North.
 - a. Response: [Been revised.](#)

- b. Reply: [This comment is closed.](#)
104. Provide minimum separation with callout for PI and DW crossing of 24" irrigation line.
- a. Response: **Notes added.**
- b. Reply: [Revise the note to read "...12" minimum vertical clearance..."](#)
105. Instead of looping DW with multiple bends, show the intersection tee rolled down, then utilize a single vertical bend near SD to achieve min separation, then deflect pipe up to manufacturers recommendations to minimum cover.
- a. Response: **Plan has been modified.**
- b. Reply: [Provide only a single minimum bend before the Irrigation Pipe so that after crossing the pipe can deflect from that point to minimum cover. The second vertical bend is not required as shown.](#)



106. The plans do not provide for the overland drainage requirement as stipulated in planning commission approval. An overflow to an irrigation line is not acceptable as the City will have to perpetually maintain the line.



- a. Response: We have shown the overland drainage areas on the Sub-Basin plan. We have also included the calculations for the larger drainage areas and their drainage path. In our calculations, no area is generating more than 0.60cfs and therefore our inlet boxes and pipes are adequate to handle the drainage flows. In the event that the sumps become inundated, the storm water will overflow the curb and be diverted into the overland drainage channel to the ravine. See the necessary drainage calculations on the “sub-basin exhibit” sheet (C-17).
 - b. Reply: The ultimate outfall of the cul-de-sac must be the outlet to the wash. Please adjust the grading accordingly. Please show drainage outlet on this sheet.
 - i. Please revise and resubmit the drainage report with calculations to show compliance with City standards related to inlet spacing.
107. All irrigation control box lids must meet the City requirements.
- a. Response: Notes have been added, all lids are to be solid lids.
 - b. Reply: Notes have been added, but the detail sheet remains unchanged. Please revise the detail sheet to show solid lids that are traffic rated for pickups, with no handwheels or handles above grade.
108. New Comment: Verify with Landscape Plans the location and size of the City PI service typical standard is 2” and a strong box and clock will be needed.
109. New Comment: How does this trail section drain? Is it draining away from the fence? Is a swale going to be installed to capture the drainage?
110. New Comment: Centerline slope is below minimum 0.5%. Please revise and resubmit.
111. New Comment: Lot 19 shows a double PI service. Please indicate a single service.



Sheet P-12:

112. Correct labeling of culinary mains all to be DIP not PVC per DW-04.
- a. Response: **Corrected**
 - b. Reply: **This comment is closed.**
113. Relocate Culinary service and Hydrant on lot 6 now the main has been removed from 6450 W.
- a. Response: **Revised.**
 - b. Reply: **This comment is closed.**
114. Reference SS-04 for all SSMH details.
- a. Response: **All SSMH's are now 60".**
 - b. Reply: **This comment is closed.**
115. Can the storm drain be lowered to avoid a drain on the PI main at station 0+50.
- a. Response: **Yes, I have revised the plans.**
 - b. Reply: **This comment is closed.**
116. Provide specific specifications/notes (and a cross section detail) for filling the drainage within the road section (6450 West), ie compaction, removal of material, lifts, testing, etc.
- a. Response: **This has now been done. Filled in lifts, with A1A material and tested.**
 - b. Reply: **Compaction test results are to be provided to the City Engineer prior to plat approval.**
117. Is the wash shown on lot 6 going to get filled in? See comment 93.
- a. Response: **On Lot 6, the wash will be completely filled in, compacted and tested.**
 - b. Reply: **Test results will be required prior to final acceptance.**



118. Please state the intended use of the irrigation overflow/outfall and the estimated frequency of use.
- a. Response: This is the main Lehi Irrigation Ditch through Highland City. A majority of the ditch is already piped through the City. The frequency is continuous from roughly April 1st to October 31st. These dates fluctuate year to year depending on weather and spring runoff.
 - b. Reply: Confirm that all additional notes on the plat have been added.
119. Show Lehi Irrigation easements on all relevant plan sheets.
- a. Response: Easements have been shown on the Preliminary and Final plats.
 - b. Reply: Confirm that all additional notes on the plat have been added.
120. New Comment: Rip Rap around the outfall of the ditch is to be D₅₀ = 12".
121. New Comment: Add street cross section with pavement thicknesses. Typical all sheets.

Sheet P-13:

122. Please provide details on how the culinary service laterals will get to lot 6&7 crossing the 48" RCP. Preference is to go over if sufficient cover can be achieved and possibly add an insulation material to prevent freezing. If going under is the only option please indicate the method, possibly using a sleeve for any future maintenance needs.
- a. Response: It is proposed that the two water service laterals in question will be installed using a MUNICIPEX Pre-insulated water service pipe, which is an insulated pipe able to withstand shallow coverage depths.
 - b. Reply: This comment is closed.
123. Label all valves and fittings on the PI and Culinary mains.



- a. Response: **Labels have been added.**
 - b. Reply: **Please provide labels on all fittings.**
124. Remove casing if it will not be used. Provide detail notes on backfill of sewer trench with flowable fill to spring line of irrigation line.
- a. Response: **Casing has been added.**
 - b. Reply: **Provide sufficient notes and/or details showing backfill of sewer trench with flowable fill to spring line of irrigation line.**
125. Provide PI separation callout and cover requirement over the irrigation line.
- a. Response: **Note added.**
 - b. Reply: **This comment is closed.**
126. Why are manhole and control boxes shown above the pavement?
Please revise.
- a. Response: **Been revised.**
 - b. Reply: **Manhole is still showing above pavement. Street centerline is showing beyond lip of gutter. Show proposed pavement on 6400 West to show cover on irrigation pipe.**
127. Show correct construction details for utility casing under the irrigation line.
- a. Response: **Sewer casing detail has been added.**
 - b. Reply: **ID of casing must be 4" larger than OD of sewer. Please indicate coatings of casing. Casing must extend no less than 5'-0 beyond either side of the irrigation pipe.**
128. Correct notes stating that culinary water is planned for installation below the irrigation line.
- a. Response: **Been revised.**
 - b. Reply: **This comment is closed.**
129. Show trail materials and construction details.



- a. Response: Trail will be constructed with 3" asphalt on 6" base material. Curb is to be placed on both sides through Lot 6 and 7 only.
 - b. Reply: This comment is closed.
130. New Comment: Add keynote 4 for PI service between lots 6 and 7.
131. New Comment: Add keynote 4 for single PI service for lot 16.
132. New Comment: Add slurry check dams in sewer trench downstream of SD sump.
133. New Comment: Add lot labels.

Sheet P-14:

134. Can adjustments be made to avoid having a drain at station 4+25 if not follow standard PI-05.
- a. Response: No, there must be low point here. A drain has been added.
 - b. Reply: This comment is closed.
135. Follow SS-04 for all SSMH installation and sizing.
- a. Response: All revised.
 - b. Reply: This comment is closed.
136. New Comment: Add slurry check dams in sewer trench downstream of SD sump.
137. New Comment: Show drainage channel on this plan sheet.
138. New Comment: Fix misalignment in the culinary pipe shown on the profile.

Sheet P-15:

139. Low point PI drain will be needed near station 4+25 PI-05.
- a. Response: Added.
 - b. Reply: This sheet was eliminated from the plan set.
140. Follow SS-04 for all SSMH installation and sizing.
- a. Response: All changed



- b. Reply: [This sheet was eliminated from the plan set.](#)

Sheet C-16:

- 141. 15" min. RCP at sump 21 to box 20 SD-01.
 - a. Response: **Revised**
 - b. Reply: [This comment is closed.](#)
- 142. Minimum joint length for all SD pipes is 7.5'. Please correct. (5.02.D)
 - a. Response: **Revised.**
 - b. Reply: [This comment is closed.](#)
- 143. Correct SD sump calculations to match dimensions shown on SD-01.
 - a. Response: **Sump calculations have been updated to match the city standards.**
 - b. Reply: [Provide updated drainage report.](#)
- 144. Provide inlet and pipe calculations (5.02.B & 5.07.C) to show compliance with City standards.
 - a. Response: **We have shown these calculations on the sub-basin exhibit sheet, the calculations for the sub-basins in question. In referring to the graph as shown in Section 5.07.C, which shows an approximate cfs at 0.50% slope of approximately 1.70cfs, we are well under this number with our calculations. Our pipe and inlets are designed to contain the storm flow.**
 - b. Reply: [Provide updated drainage report.](#)
- 145. Provide major contours labels (finish and existing).
 - a. Response: **Labels have been shown on the plans.**
 - b. Reply: [Labels have not been provided. Please provide.](#)
- 146. Provide overland drainage path, per city standards, from 10600 North end of cul de sac to wash outlet. Show the calculations for this outlet in the drainage report.



- a. Response: **We have shown the calculations and the path on the “sub-basin exhibit” sheet.**
 - b. Reply: **Provide updated drainage report.**
147. Provide TBC and top of asphalt elevations to show compliance with City standards.
- a. Response: **These have been shown on the profile sheets.**
 - b. Reply: **Thank you for showing these. Please provide slopes for returns and cul-de-sacs as stated previously.**
148. Provide top of pavement elevations at street centerlines to show compliance with City standards.
- a. Response: **These have been shown on all profile sheets.**
 - b. Reply: **This comment is closed.**
149. Provide top of pavement slopes to show compliance with City standards, including around curb returns.
- a. Response: **These have been shown on all the profile sheets.**
 - b. Reply: **Thank you for showing these. Please provide slopes for returns and cul-de-sacs as stated previously.**

Sheet C-18:

150. Irrigation pipeline comments provided previously.
- a. Response: **We have modified the plans accordingly. The pipe and it's boxes are now installed.**
 - b. Reply: **This comment is closed.**

Sheet S-1:

- c. New Comment: **Check right of way width on 6400 W. Confirm width of sidewalk.**
- d. New Comment: **Trail drainage not clear. Please provide grading information and notes to make clear.**



- e. New Comment: [Confirm that all plat notes related to 6400 West landscape requirements have been met.](#)