



AMERICAN FORK CITY DEVELOPMENT REVIEW COMMITTEE AGENDA

Regular Session
March 24, 2025
Monday 10:00 AM

American Fork City Public Works Building
275 East 200 North
American Fork City, UT 84003

<https://www.americanfork.gov/AgendaCenter>

Development Review Committee Members

Patrick O'Brien, Dev. Services Director

Sam Kelly, Public Works Director

Aaron Brems, Fire Chief

Notice is hereby given that the American Fork City Development Review Committee will meet in regular session on March 24, 2025, at the American Fork City Public Works building, 275 East 200 North commencing at 10:00 AM. The agenda shall be as follows:

1. Regular Session

- a. Roll Call
2. **Common Consent Agenda** (Common Consent is that class of DRC action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).
 - a. Approval of the March 17, 2025, Development Review Committee minutes.
3. **Action Items** (Action Items is that class of DRC action that requires further discussion on Preliminary Plans, Final Plats, and Site Plans. The Development Review Committee Board will have authority to approve Preliminary Plans and Final Plats but make a recommending action on Site Plans.)
 - a. Review and action on an application for a Final Plat, known as Lakeland Industrial Park Plat B, located at approximately 1700 S 400 E, American Fork City, UT 84003. The Final Plat will be on approximately 11.44 acres and will be in the Industrial (I-1) Zone.
 - b. Review and recommendation on an application for a Commercial Site Plan, known as Ken Garff Truck Center – EV Charging Stations, located at approximately 581 E 1100 S, American Fork City. The Commercial Site Plan will be on approximately 7.5 acres and will be in the Planned Commercial (GC-2) Zone.
4. **Other Business**
 - a. Upcoming Projects
5. **Adjournment**

Dated this 19th day of March 2025

Patrick O'Brien

Development Services Director

**The order of agenda items may change at the discretion of the Development Review Committee*

UNAPPROVED MINUTES
03.17.2025

AMERICAN FORK CITY
DEVELOPMENT REVIEW COMMITTEE REGULAR SESSION

March 17th, 2025

The American Fork City Development Review Committee met in a regular session on March 17th, 2025, at the American Fork Public Works Building, 275 East 200 North, commencing at 8:00 a.m.

Development Review Committee:

Development Services Director: Patrick O'Brien

Public Works Director: Sam Kelly

Fire Chief: Aaron Brems

Staff Present:

Ben Hunter	City Engineer
Cody Opperman	Planner II
Angie McKee	Administrative Assistant I
Mat Sacco	Fire Marshall

Others Present: Daniel Herzog

REGULAR SESSION

Roll Call

COMMON CONSENT AGENDA

Minutes of the March 4th, 2025, Development Review Committee Regular Session.

Sam Kelly motioned to approve the Common Consent agenda

UNAPPROVED MINUTES

03.17.2025

Patrick O'Brien seconded the motion

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

ACTION ITEMS

- a. Review and action on an application for a Final Plat, known as Holmes Gunther Final Plat for the proposed Ellen's 2 Subdivision, located at 490 N Mary Pulley Dr. (900 E), American Fork City, UT 84003. The Final Plat will be on approximately 5.16 acres and will be in the R1-9000 zoning designation.**

Cody Opperman reviewed the background information for action item letter a: The applicant has applied for a Final Plat to develop a 15-lot subdivision. The project looks to establish 15 residential lots that range from approximately 9,000 to 24,000 square feet in area. As the property is located within the R1-9000 residential zone, the minimum requirement of lots will need to be 9,000 s.f., 90' lot width at minimum setback, and 100' of lot depth.

Patrick O'Brien moved to approve the proposed Final Plat, located at approximately 490 E Mary Pulley Drive, American Fork City, UT 84003, in the R1-9000 Zone, subject to any conditions found in the staff report.

Aaron Brems seconded the motion.

Voting was as follows:

Patrick O'Brien	AYE
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UNAPPROVED MINUTES

03.17.2025

Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

Other Business

There was no other business to discuss at this time.

Adjournment

Sam Kelly motioned to adjourn the meeting.

Patrick O'Brien seconded the motion.

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

Meeting adjourned at 10:07 AM

Angie McKee

Administrative Assistant I

UNAPPROVED MINUTES

03.17.2025

The order of agenda items may change to accommodate the needs of the committee, public and staff.



Agenda Topic

Review and action on an application for a Final Plat, known as Lakeland Industrial Park Plat B, located at approximately 1700 S 400 E, American Fork City, UT 84003. The Final Plat will be on approximately 11.44 acres and will be in the Industrial (I-1) Zone.

BACKGROUND INFORMATION		
Location:		1700 S 400 E
Project Type:		Final Plat
Applicants:		Stephen Phelon
Existing Land Use:		Shoreline Protection
Surrounding Land Use:	North	Design Industrial
	South	Shoreline Protection
	East	Shoreline Protection
	West	Design Industrial
Existing Zoning:		I-1; SP
Surrounding Zoning:	North	PI-1
	South	I-1; SP
	East	I-1
	West	I-1
Square Footage (By Use)		498,454 (Industrial)

Background

The applicant has applied for a Final Plat for the creation of two (2) lots in the I-1 zone:

Lot 1 – Area = 6.14 acres (309,398 sq ft)

Lot 2 – Area = 4.34 acres (189,056 sq ft)

The applicant owns the subject properties and additional parcels that lead into the Shoreline Protection area of Utah Lake. These parcels were part of a larger piece of land that was sectioned off to private owners via Warranty Deeds and Special Warranty Deeds used as land contracts that were recorded with Utah County starting in the mid 1950’s.

Sec 17.7.207 Developer Prepares And Submits Final Plats, Detailed Engineering Plans And Supporting Material And Submits To Staff

After receiving authorization to proceed, the developer shall prepare and submit to the Development Services Director a final plat submittal packet containing the following:

- A. Application for final plan/plat approval.
- B. A reproducible drawing of the proposed final plat prepared in a format approved for recording at the office of the Utah County Recorder.
- C. Copies of the detailed engineering documents and other supporting materials.
- D. An itemized engineers estimate of the cost of constructing the required improvements.
- E. Copy of project documentation.
- F. Evidence of payment of review and recording fee.
- G. Documents conveying water rights to city.
- H. Evidence that any boundary conflicts with adjacent properties are fully resolved.
- I. Other materials deemed by city staff to be essential for an adequate understanding of the proposed project.
The scale of the final plan/plat, content of the materials, number of copies, time of submittal and other particulars regarding the materials provided in support of an application for final plan/plat approval shall be as established, from time to time, by action the Development Services Director.

Sec 17.7.208 DRC Reviews Final Plans/Plats, Detailed Engineering And Supporting Materials

Upon receipt of the submission from the developer the Development Services Director or assignee shall review the plans/plats and supporting materials for accuracy and completeness. Upon determination of a complete application, the plans, documents and statements, or portions thereof, shall then be provided to the Development Review Committee and applicable public agencies for review of compliance with Federal, State and local laws and regulations, city requirements and standards, and the general plan.

Sec 17.7.209 Development Review Conference - DRC Reports - Results Of Review Of Final Plans/plat, Detailed Engineering Plans And Supporting Materials To Developer

- A. The Development Review Committee shall conduct a Development Review Conference to review and discuss the materials submitted by the developer.
- B. Upon completion of review, the Development Review Committee shall provide the results of the review and comments to the Development Services Director or assignee. The results and comments shall be compiled and provided to the developer.
- C. The Development Review Committee may suggest changes to the submittal materials so that the final plat will conform with the development regulations and policies of the city and the terms of preliminary plat approval.

Sec 17.7.211 Development Review Committee Acts On Final Plan(s)/Plat(s) And Supporting Materials

- A. When the final plan(s)/plat(s) and supporting materials required for approval have been completed in final form, the Development Review Committee shall act on the final plat(s) and supporting materials. After considering the recommendation of all DRC members, the DRC may table the matter, approve, or grant approval, including granting approval upon conditions stated. Approval of the final plat(s) shall be made only upon a finding that:
1. The final plan(s)/plat(s) and supporting materials conform with terms of the preliminary approval.
 2. The final plan(s)/plat(s) complies with all city requirements and standards relating to large scale developments.
 3. The detailed engineering plans and materials comply with the city standards and policies.
 4. The estimates of cost of constructing the required improvements are commensurate to market costs, as verified by the City Engineer.
 5. The water rights conveyance documents have been provided.
- B. If approved, the City Administrator, Community Development Services Director, and City Engineer shall sign the Final Plat(s) upon completion of all conditions. If any conditions are attached, the Final Plat(s) or construction drawings shall be amended to reflect such changes and an accurate Final Plat(s) shall be submitted to the City, prior to signing.

Project Conditions of Approval

1. Complete all Engineering Development Checklist items including the Pioneering Agreement payment.

Findings of Fact

1. The Final Plat MEETS the requirements of Section 17.7.211.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.

3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).



Staff Recommendation

The Final Plat MEETS the requirements of Section 17.7.211. Staff recommends APPROVING the application WITH CONDITIONS.

Potential Motions – Final Plat

Approval

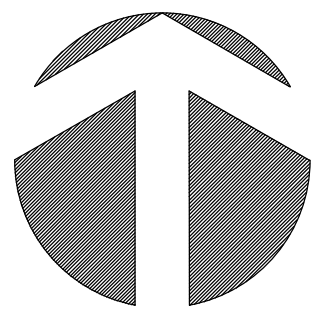
I move to approve the proposed Final Plat, located at approximately 1700 S 400 E, American Fork City, in the Industrial (I-1) Zone, subject to any conditions found in the staff report.

Denial

I move to deny the proposed Final Plat, located at approximately 1700 S 400 E, American Fork City, in the Industrial (I-1) Zone.

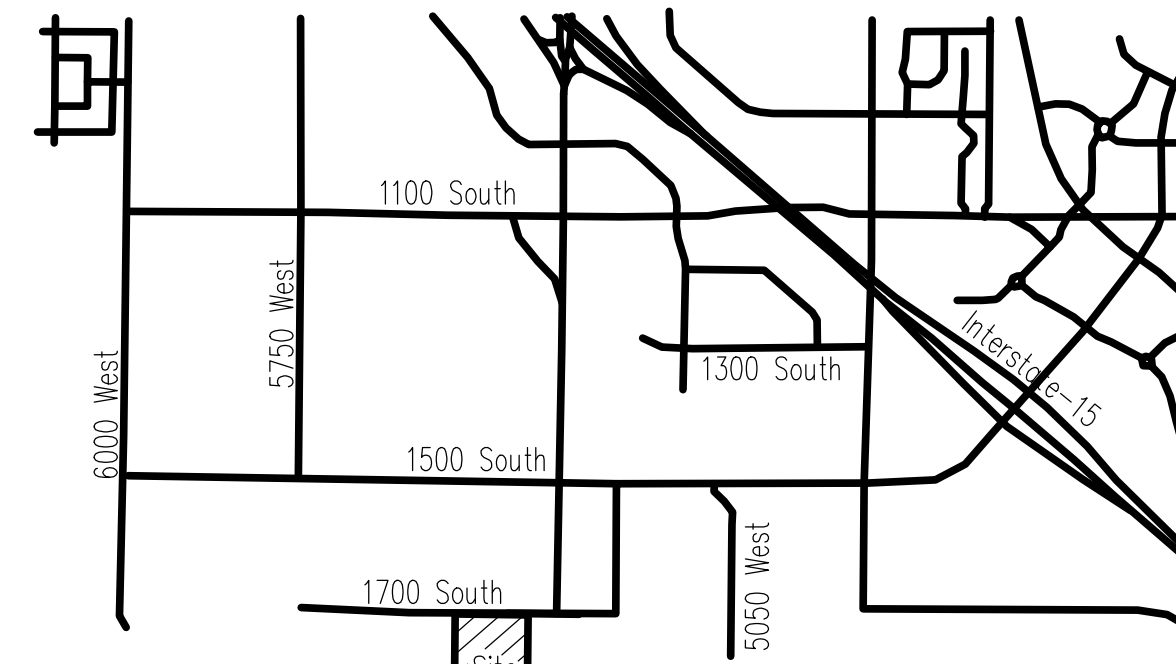
Table

I move to table action for the proposed Final Plat, located at approximately 1700 S 400 E, American Fork City, in the Industrial (I-1) Zone, and instruct staff/developer to.....



NORTH
1" = 100

A Subdivision in American Fork City
Lakeland Industrial Park "B"
A Subdivision located in the Northwest 1/4 of Section 36,
Township 5 South Range 1 East SLB&M
American Fork City, Utah County, Utah,
Zone I-1 (Industrial) & SP (Shoreline Protection)



Vicinity Map

Surveyor's Certificate

I, Roger D. Dudley, do hereby certify that I am a Professional Land Surveyor and I hold License #147089 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act, Utah Code Annotated 1953 Amended. I further certify that I have completed a survey of the property described herein in accordance with Section 17-23-17 and have placed monuments as represented hereon.

Boundary Description

Commencing at a point located South 89°29'06" East along the Section line 1144.49 feet and South 1487.91 feet from the Northwest corner of Section 36, Township 5 South, Range 1 East, Salt Lake Base and Meridian; thence South 00°34'58" West along Plot "A", Lakeland Industrial Park Subdivision 738.64 feet; thence South 89°14'37" East along said Plot "A" 27.94 feet; thence South 00°34'36" West 336.79 feet; thence North 48°14'18" West 407.40 feet; thence North 87°56'15" West 286.19 feet; thence North 00°34'56" East 801.86 feet; thence South 89°13'05" East along 1700 South Street 564.76 feet to the point of beginning.

AREA=498,454 sq. ft. or 11.44 acres

Basis of Bearing = South 89°29'06" East along the Section line (NAD 27)
Lots created = 2 Lots

Date _____

Surveyor
(See Seal Below)

Owner's Dedication

Know all men by these presents that we, all of the undersigned owners of all the property described in the Surveyor's Certificate hereon and shown on this map, have caused the same to be subdivided into Lots, Blocks, Streets, and Easements and do hereby dedicate the streets and other public areas as indicated hereon for perpetual use of the public.

In witness hereof we have hereunto set our hands this _____ day of _____, A.D. 20____

by: _____ by: _____
Phelon Lakeland LLC Stephen W. Phelon (Manager) Phelon Lakeland LLC Martha Phelon (Manager)

Acknowledgement

STATE OF UTAH } S.S.
COUNTY OF UTAH }

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Stephen W. Phelon & Martha Phelon, who represented that they are the managers of the Phelon Lakeland LLC and have the authority to execute this instrument.

My Commission Number _____ Signed (a Notary Public Commissioned in Utah)

My Commission Expires _____ Print name of Notary

Acceptance by Administrative Approval Authority

The Administrative Approval Authority of American Fork, County of Utah, approves this subdivision and hereby accepts the dedication of all streets and easements for the perpetual use of the public this _____ day of _____, A.D. 20____

Development Services Director _____

Public Works Director _____

Fire Chief _____

Plat " B "

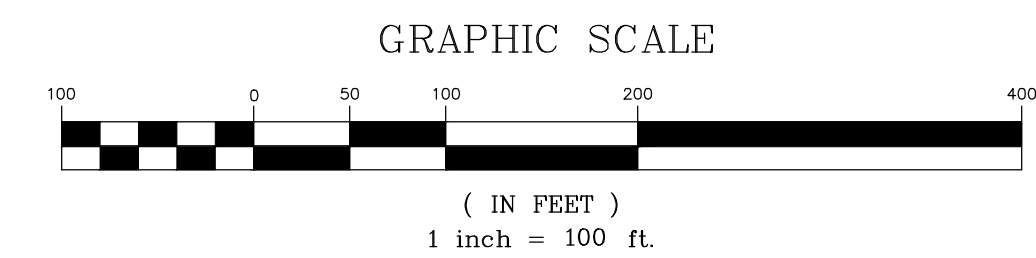
Lakeland Industrial Park

American Fork City, _____ Subdivision _____ Utah County, Utah
Scale: 1" = 100 Feet

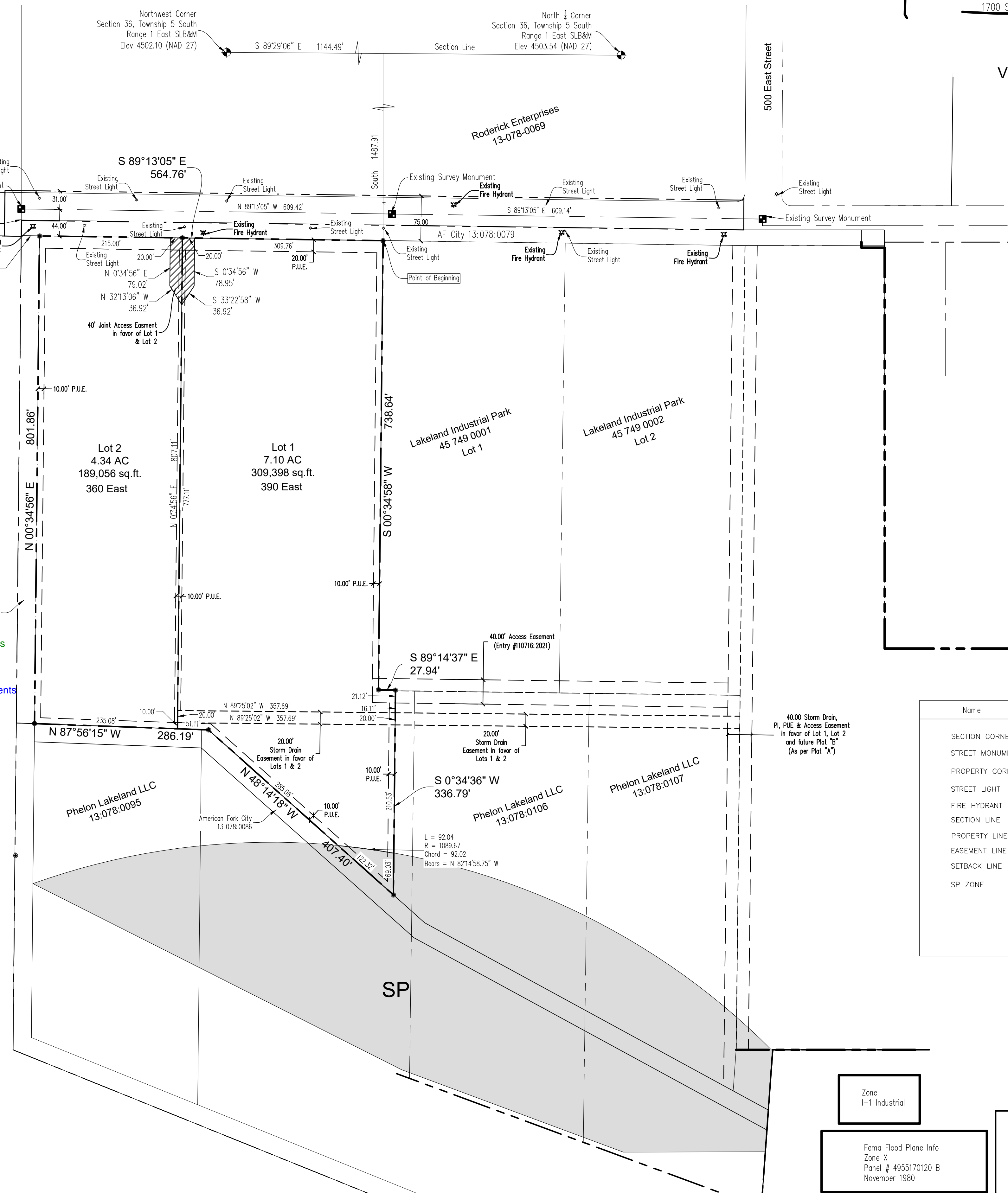
Next Step
Proceed to the Development
Review Committee on
03.24.2025

FM Winkel Family LLC

American Fork City Development Review	
Sewer/Storm Drain Division Reviewed ahardy 03/17/2025	EC/LID Reviewed tmezenen 03/19/2025
Public Infrastructure Reviewed dhoward 03/18/2025	Planning and Zoning Reviewed copperman 03/19/2025 <i>No comments</i>
	Engineering Division Reviewed rburkhill 03/19/2025 <i>No comments</i>
	Water/PI Division Reviewed brens 03/19/2025
Communications Reviewed MHunsaker 03/19/2025	Streets Division Reviewed ehyde 03/19/2025



Prepared By:
Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
801-224-1252
Fax 801-224-1264



Note:

All sewer connections are to be a private system and to be part of the Lakeland Industrial Park HOA and they will be responsible for maintenance of system

Notes:
Lowest floor slab elevation must be a minimum of 3 feet above water level measured during Spring Season.

Off-set pins to be placed in the back of the curb and 5/8" by 24" rebar with numbered survey cap to be placed at all lots rear corners prior to occupancy.

Building permits will not be issued for any home until 1) asphalt paving is installed and 2) fire hydrants are installed, approved by the Fire Marshall and charged with culinary water.

No footing, eaves, window wells or other improvements connected to structures are allowed to be placed within Public Utility Easement.

The construction of the project shall conform to the recommendations from the geotechnical report submitted for review and approval.

The contractor is responsible for the removal of collapsible soils within the buildable area, road improvements and underground utilities.

Legend

Name	Symbol
SECTION CORNER	
STREET MONUMENT	
PROPERTY CORNER	
STREET LIGHT	
FIRE HYDRANT	
SECTION LINE	
PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
SP ZONE	

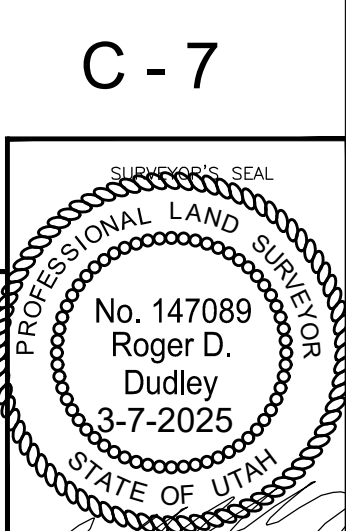
40.00 Storm Drain, P.U.E. & Access Easement in favor of Lot 1, Lot 2 and future Plot "B" (As per Plot "A")

Zone
I-1 Industrial

Fema Flood Plane Info
Zone X
Panel # 4955170120 B
November 1980

Sewer & Water Authority
AF Public Works

Approved _____ Date _____



CITY-ENGINEER SEAL

CLERK-RECORDER SEAL



Agenda Topic

Review and recommendation on an application for a Commercial Site Plan, known as Ken Garff Truck Center – EV Charging Stations, located at approximately 581 E 1100 S, American Fork City. The Commercial Site Plan will be on approximately 7.5 acres and will be in the Planned Commercial (GC-2) Zone.

BACKGROUND INFORMATION		
Location:		581 E 1100 S
Project Type:		Commercial Site Plan
Applicants:		Ken Garff
Existing Land Use:		Design Commercial
Proposed Land Use:		N/A
Surrounding Land Use:	North	Major Transportation Facilities
	South	Design Commercial
	East	Design Commercial
	West	Design Commercial
Existing Zoning:		GC-2
Proposed Zoning:		N/A
Surrounding Zoning:	North	PF
	South	GC-2
	East	GC-2
	West	GC-2
Square Footage (By Use)		321,836 – Automobile Sales Establishment
Parking Requirement		3 spaces per thousand s.f. of gross floor area for display, sales, and administration; One and one-half spaces per thousand s.f. of area used for warehouse of parts and materials; four spaces per service bay

Background

The applicant has applied for a Commercial Site Plan to develop a to incorporate Electric Vehicle Charging Stations for the overall site. This site is an existing automobile sales establishment, and they are looking to include EV Stations for their electric vehicles.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date

of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Project Conditions of Approval

1. Address any DRC comments.

Findings of Fact

1. The Commercial Site Plan MEETS the requirements of Section 17.6.101.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.

4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan MEETS the requirements of Section 17.6.101. Staff recommends APPROVING the application WITH CONDITIONS.

Potential Motions – Commercial Site Plan

Approval

I move to recommend approval for the proposed Commercial Site Plan, located at approximately 581 E 1100 S, American Fork City, UT 84003, in the Planned Commercial (GC-2) Zone, subject to any conditions found in the staff report.

Denial



I move to deny the proposed Commercial Site Plan, located at approximately 581 E 1100 S, American Fork City, UT 84003, in the Planned Commercial (GC-2) Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at approximately 581 E 1100 S, American Fork City, UT 84003, in the Planned Commercial (GC-2) Zone and instruct staff/developer to.....

RECEPTACLES		
SYMBOL	DESCRIPTION	MOUNTING
	DUPLEX RECEPTACLE 120V, 20A	18" AFF OR AS NOTED
	DUPLEX RECEPTACLE 120V, 20A (COUNTER HEIGHT (TYP.))	44" AFF OR 6" ABOVE COUNTER
	QUAD RECEPTACLE 120V, 20A	18" AFF OR AS NOTED
	DUPLEX RECEPTACLE W/ USB PORTS 120V, 20A	18" AFF OR AS NOTED
	DUPLEX RECEPTACLE (EXISTING TO REMAIN)	AS NOTED
	DUPLEX RECEPTACLE (HALF SWITCHED) 120V, 20A	18" AFF OR AS NOTED
	DUPLEX RECEPTACLE 120V, 20A (PEDESTAL BOX)	CONDUIT ON FLOOR SERVICE FITTING
	QUADPLEX RECEPTACLE 120V, 20A (PEDESTAL BOX)	CONDUIT ON FLOOR SERVICE FITTING
	SPECIAL PURPOSE RECEPTACLE	SEE POWER SHEET FOR DETAIL
	CORD DROP RECEPTACLE	SEE POWER SHEET FOR DETAIL
	DUPLEX QUAD	FLOOR 120V AND DATA SQUARE
	CEILING 120V DUPLEX SQUARE	FLUSH WITH CEILING
RECEPTACLE NOTATIONS		
	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
	GFCI/UP	GROUND FAULT CIRCUIT INTERRUPTER / WEATHERPROOF
	UP	WEATHERPROOF
	F	FLUSH W/ FLOOR
	ETR	EXISTING TO REMAIN

LIGHTING CONTROLS		
SYMBOL	DESCRIPTION	MOUNTING
	SINGLE POLE SWITCH (INDICATES LIGHTS CONTROLLED)	48" AFF OR AS NOTED
	3 WAY SWITCH	48" AFF OR AS NOTED
	DIMMER SWITCH	48" AFF OR AS NOTED
	LOW VOLTAGE SWITCH "LVD" TO DENOTE LOW VOLTAGE DIMMER	48" AFF OR AS NOTED
	OCCUPANCY SENSOR SWITCH	48" AFF OR AS NOTED
	OCCUPANCY SENSOR	ON CEILING OR AS NOTED
	POWER PACK	ABOVE CEILING
	CEILING MOUNTED INTERIOR DAYLIGHT HARVESTING PHOTOCELL SENSOR	ON CEILING OR AS NOTED

FIRE ALARM		
SYMBOL	DESCRIPTION	MOUNTING
	HEAT DETECTOR	ON CEILING OR AS NOTED
	FIRE ALARM SMOKE DETECTOR	ON CEILING OR AS NOTED
	FIRE ALARM SMOKE DETECTOR (WALL MOUNTED)	WALL MTD. 6" BELOW CLG.
	DUCT TYPE SMOKE DETECTOR	IN HVAC DUCTWORK
	FIRE ALARM CONTROL PANEL	60" AFF TO TOP OR AS NOTED
	FIRE ALARM ANNUNCIATOR	60" AFF TO TOP OR AS NOTED
	SMOKE DAMPER	IN HVAC DUCTWORK
	FLOW AND TAMPER SWITCH	AS NOTED
	FIRE ALARM VISUAL STROBE	80" AFF OR SEE NOTE BELOW
	FIRE ALARM SPEAKER/VISUAL STROBE	80" AFF OR SEE NOTE BELOW
	FIRE ALARM HORN/VISUAL STROBE	80" AFF OR SEE NOTE BELOW
	FIRE ALARM SPEAKER ONLY	80" AFF OR SEE NOTE BELOW
	FIRE ALARM MANUAL PULL STATION	48" AFF OR AS NOTED
	DUCT DETECTOR REMOTE TEST / RESET SWITCH	48" AFF OR AS NOTED
	RELAY MODULE	AS NOTED
	MONITOR MODULE	AS NOTED
	DUAL MONITOR MODULE	AS NOTED

LOW VOLTAGE & DATA		
SYMBOL	DESCRIPTION	MOUNTING
	WIRELESS ACCESS POINT	AS NOTED
	LOW VOLTAGE DUPLEX RECEPTACLE (NUMBER DENOTES QUANTITY OF PORTS)	18" AFF OR AS NOTED
	COUNTER HEIGHT, LOW VOLTAGE DUPLEX RECEPTACLE (NUMBER DENOTES QUANTITY OF PORTS)	ABOVE COUNTER
	TELEPHONE TERMINAL BOARD	AS NOTED
	CABLE TV WALL JACK	AS NOTED

SECURITY		
SYMBOL	DESCRIPTION	MOUNTING
	CARD READER	AS NOTED
	DOOR CONTACT	72" AFF OR AS NOTED
	KEYPAD	48" AFF OR AS NOTED
	MOTION DETECTOR	AS NOTED
	ELECTRIC STRIKE	AS NOTED

INTERIOR LUMINAIRES		
SYMBOL	DESCRIPTION	MOUNTING
	2x2 LAY-IN FIXTURE EMERGENCY POWER	SEE FIXTURE SCHEDULE
	2x2 LAY-IN FIXTURE (NL - DENOTES NIGHTLIGHT)	SEE FIXTURE SCHEDULE
	2x4 LAY-IN FIXTURE EMERGENCY POWER	SEE FIXTURE SCHEDULE
	2x4 LAY-IN FIXTURE (NL - DENOTES NIGHTLIGHT)	SEE FIXTURE SCHEDULE
	1x4FT STRIP FIXTURE EMERGENCY POWER	SEE FIXTURE SCHEDULE
	1x4FT STRIP FIXTURE	SEE FIXTURE SCHEDULE
	EMERGENCY FIXTURE	SEE FIXTURE SCHEDULE
	EMERGENCY EXIT COMBINATION FIXTURE	SEE FIXTURE SCHEDULE
	EXIT FIXTURE - DIRECTION DENOTED	SEE FIXTURE SCHEDULE
	REMOTE EMERGENCY HEAD	SEE FIXTURE SCHEDULE
	PENDANT FIXTURE	SEE FIXTURE SCHEDULE
	6" DOWN LIGHT (RECESSED) EMERGENCY FIXTURE	SEE FIXTURE SCHEDULE
	6" DOWN LIGHT (RECESSED)	SEE FIXTURE SCHEDULE
	LIGHT FIXTURE, WALL BRACKET	SEE FIXTURE SCHEDULE
	LIGHT FIXTURE (EXISTING)	---
	WALL WASH FIXTURE	SEE FIXTURE SCHEDULE
	TRACK FIXTURE	SEE FIXTURE SCHEDULE
	EXHAUST FAN / LIGHT COMBO	SEE FIXTURE SCHEDULE
	EXHAUST FAN	SEE FIXTURE SCHEDULE
	HIGH BAY FIXTURE (ROUND)	SEE FIXTURE SCHEDULE
	HIGH BAY FIXTURE (RECTANGLE)	SEE FIXTURE SCHEDULE
	CEILING FAN WITH LIGHT	SEE FIXTURE SCHEDULE
	HANGING FIXTURE (CHANDELIER)	SEE FIXTURE SCHEDULE

EXTERIOR LUMINAIRES		
SYMBOL	DESCRIPTION	MOUNTING
	POLE MOUNTED LIGHT FIXTURE	SEE FIXTURE SCHEDULE
	WALL PACK FIXTURE	SEE FIXTURE SCHEDULE
	BOLLARD / PATHWAY FIXTURE	SEE FIXTURE SCHEDULE
	FLOODLIGHT FIXTURE	SEE FIXTURE SCHEDULE

POWER DISTRIBUTION		
SYMBOL	DESCRIPTION	MOUNTING
	METER	AS NOTED
	PANELBOARD, 120/208V OR 120/240V	SEE PANEL SCHEDULE
	PANELBOARD, 277/480V	SEE PANEL SCHEDULE
	TRANSFORMER	AS NOTED
	DISCONNECT SWITCH	AS NOTED
	FUSED DISCONNECT SWITCH (SIZE / FUSE / # OF POLES)	AS NOTED
	ENCLOSED CIRCUIT BREAKER	AS NOTED
	DISCONNECT SWITCH WITH MOTOR STARTER	AS NOTED
	MOTOR STARTER	AS NOTED
	MOTOR STARTER SWITCH WITH OVERLOAD RELAYS AS REQUIRED.	AS NOTED
	MOTOR	AS NOTED
	ELECTRIC DUCT HEATER	AS NOTED
	POWER POLE	AS NOTED
	AUTOMATIC TRANSFER SWITCH	AS NOTED
	MANUAL TRANSFER SWITCH	AS NOTED
	JUNCTION BOX OR 4 SQUARE BOX	AS NOTED

CONDUIT / WIRING AND GROUNDING		
SYMBOL	DESCRIPTION	MOUNTING
	DRIVEN ROD (UNLESS NOTED OTHERWISE)	---
	CONDUIT CONCEALED IN CEILING SPACE OR WALL	NUMBER OF WIRES INDICATED AS FOLLOWS
	CONDUIT CONCEALED IN CEILING SPACE OR WALL	TWO WIRES
	HOME RUN TO PANEL (HASH MARKS INDICATE NUMBER OF WIRES)	THREE WIRES
	CONDUIT RUN EXPOSED	FOUR WIRES
	LOW VOLTAGE WIRING	---
	CONDUIT RUN UP	AS SHOWN
	CONDUIT RUN DOWN	AS SHOWN

MECHANICAL UNITS		
SYMBOL	DESCRIPTION	MOUNTING
	AIR HANDLER	AS NOTED
	CONDENSING UNIT	AS NOTED
	RECIRCULATING PUMP	AS SHOWN
	INSTA-HOT WATER HEATER	AS SHOWN

	ELECTRICAL DEVICES TO BE REMOVED OR RELOCATED
	ELECTRICAL DEVICES TO REMAIN
	NEW ELECTRICAL DEVICES
	REFERS TO LIKE NUMBER KEY NOTES
NOTE: ALL ITEMS IN LEGEND MAY NOT NECESSARILY APPEAR ON THE PLANS.	

ABBREVIATIONS	
AFC	- AVAILABLE FAULT CURRENT
AFB	- ABOVE FINISHED FLOOR
AHU	- AIR HANDLING UNIT
BFG	- BELOW FINISHED GRADE
C	- CONDUIT
CW	- COOL WHITE
CU	- CONDENSING UNIT
CKT	- CIRCUIT
DACP	- DOOR ALARM CONTROL PANEL
DN	- DOWN
EF	- EXHAUST FAN
EG	- EQUIPMENT GROUND
ENCL	- ENCLOSURE
EWC	- ELECTRIC WATER COOLER
FWH	- ELECTRIC WATER HEATER
ETR	- EXISTING TO REMAIN
PNL	- PANEL
EOP	- EDGE OF PAVEMENT
EXP	- EXPLOSION PROOF
FCU	- FAN COIL UNIT
FHP	- FRACTIONAL HORSE POWER
FLA	- FULL LOAD AMPERES
G	- GROUND
GFI	- GROUND FAULT INTERRUPTER
HID	- HIGH INTENSITY DISCHARGE
HORIZ	- HORIZONTAL
IG	- ISOLATED GROUND
LW	- LIGHT WHITE
HP	- HORSEPOWER / HEAT PUMP
HVAC	- HEATING, VENTILATING, AIR CONDITIONING
JB	- JUNCTION BOX
LRA	- LOCKED ROTOR AMPERES
MCB	- MAIN CIRCUIT BREAKER
MLO	- MAIN LUGS ONLY
N	- NEUTRAL
NL	- NIGHT LIGHT
OB	- OUTLET BOX
PB	- PULL BOX, PUSHBUTTON
PS	- PAY STATION
RECEPT	- RECEPTACLE
SF	- SUPPLY FAN
SPEC	- SPECIFICATIONS
SPD	- SURGE PROTECTION DEVICE
SWECS	- SMOKE WARNING EMERGENCY CALL SYSTEM
TL	- TWISTLOCK
TTB	- TELEPHONE TERMINAL BOARD
TVT	- TELEVISION TERMINAL BOARD
VERT	- VERTICAL
WM	- WATT MISER
WP	- WEATHERPROOF
WW	- WARM WHITE
XFMR	- TRANSFORMER

GENERAL NOTES

- ALL WORK IS TO COMPLY WITH THE 2020 NATIONAL ELECTRIC CODE, AND ALL LOCAL UTAH CODES OR REGULATIONS THAT MAY APPLY TO THE PROJECT.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MAKING A SITE VISIT IN ORDER TO IDENTIFY EXISTING CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT ANY ELECTRICAL SYSTEMS TO REMAIN ARE CODE COMPLIANT.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER AND TEMPORARY LIGHTING AS REQUIRED FOR THE DURATION OF THE PROJECT.
- THE ELECTRICAL CONTRACTOR IS REQUIRED TO PROVIDE A WORKMANSHIP WARRANTY OVER THE PERIOD OF ONE YEAR AFTER PROJECT COMPLETION THAT IS SUFFICIENT TO COMPLY WITH THE PROJECT CONTRACT.
- THE ELECTRICAL CONTRACTOR IS TO PROVIDE A COMPLETE SET OF MARKED UP ELECTRICAL "AS BUILT" DRAWINGS TO THE GENERAL CONTRACTOR UPON COMPLETION OF THE PROJECT.
- THE ELECTRICAL CONTRACTOR IS TO PROVIDE AN OPERATION AND MAINTENANCE MANUAL FOR ALL EQUIPMENT REQUIRING MAINTENANCE ASSOCIATED WITH THE PROJECT.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK WITH OTHER TRADES IN ORDER TO NOT INTERFERE WITH THE OVERALL PROJECT SCHEDULE.
- IF A DISCREPANCY IS FOUND BETWEEN THE ELECTRICAL PLANS AND THE SPECIFICATIONS, THE MOST STRINGENT REQUIREMENT SHALL GOVERN UNLESS WRITTEN APPROVAL IS GRANTED FROM THE ARCHITECT OR ENGINEER.
- ALL BREAKER, DISCONNECT AND WIRE SIZING MUST BE CONFIRMED BY THE ELECTRICAL CONTRACTOR PRIOR TO ROUGH-IN.

SUBMITTALS AND SHOP DRAWINGS

- PRIOR TO PROCUREMENT, THE CONTRACTOR IS REQUIRED TO PROVIDE SUBMITTALS AND SHOP DRAWINGS TO THE GENERAL CONTRACTOR, ENGINEER, AND ARCHITECT FOR APPROVALS.
- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THE SUBMITTED PRODUCTS WILL FORM A COMPLETE, FUNCTIONAL, AND CODE COMPLIANT ELECTRICAL SYSTEM.

WIRING AND RACEWAYS

- NO WIRING IS TO BE SMALLER THAN #12 AWG UNLESS OTHERWISE NOTED.
- EACH BRANCH CIRCUIT FOR LIGHTING AND RECEPTACLES SHALL BE INSTALLED WITH DEDICATED NEUTRAL. ALL OTHER CIRCUITS SHALL BE INSTALLED WITH DEDICATED NEUTRAL UNLESS EQUIPMENT DOES NOT REQUIRE A NEUTRAL CONNECTION.
- THE CONDUCTORS FOR FEEDERS AND BRANCH CIRCUITS COMBINED SHALL BE SIZED FOR A MAXIMUM AT 5% VOLTAGE DROP.
- TYPE MC CABLING IS ACCEPTABLE UNLESS PROHIBITED BY THE SPECIFICATIONS OF THE PROJECT, OR THE NATIONAL ELECTRIC CODE DUE TO THE OCCUPANCY TYPE OF THE PROJECT.
- NONMETALLIC CABLING (ROMEX) SHALL NOT BE USED.
- ALL WIRING IS TO BE SIZED ACCORDING TO THE NEC.
- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO UPSIZE ALL CONDUIT AND WIRING WHEN REQUIRED DUE TO VOLTAGE DROP POSED BY ONSITE CONDITIONS.
- PROVIDE COMPLETE RACEWAYS FOR ALL SYSTEMS AS REQUIRED BY THE NEC AND LOCAL CODES. TYPE PVC, EMT, AND RMC ARE PERMITTED AS REQUIRED BY THE LOCAL CODE.
- A GROUND CONDUCTOR IS TO BE SUPPLIED IN ALL RACEWAYS. SIZE THE GROUND CONDUCTOR PER THE NEC, OR AS SHOWN ON THE PLAN, WHICHEVER IS LARGER.
- RACEWAYS ARE TO BE CONCEALED AND EQUIPMENT IS TO BE FLUSH MOUNTED, UNLESS OTHERWISE NOTED, OR WHEN ONSITE CONDITIONS MAKE CONCEALING OR FLUSH MOUNTING IMPOSSIBLE.
- WHEN A RACEWAY PENETRATES A FIRE WALL OR FLOOR, THE RACEWAY IS TO BE SEALED IN A MANNER WHICH WILL MAINTAIN THE RATING OF THE WALL OR FLOOR.
- MINIMUM CONDUIT SIZE IS TO BE 3/4 INCH, UNLESS OTHERWISE NOTED.
- FLEXIBLE CONDUIT IS ALLOWABLE IN LENGTHS OF 6' OR LESS, WHEN IT IS MORE PRACTICAL TO MAKE CONNECTIONS TO EQUIPMENT.
- SEALTITE FLEXIBLE CONDUIT IS TO BE USED IN OUTDOOR APPLICATIONS.
- THE RACEWAY SYSTEM AS A WHOLE IS REQUIRED TO COMPLY WITH ALL NEC AND LOCAL CODE REQUIREMENTS.

GROUNDING

- THE ELECTRICAL SYSTEM IS TO BE GROUNDED IN ITS ENTIRETY PER THE NEC.
- THE TELEPHONE / NETWORK BOARD IS TO HAVE NO. 6 AWG GROUND WIRE TO THE MAIN SERVICE GROUND.
- ALL METALLIC EQUIPMENT INCLUDING RACEWAYS, PANELBOARDS, DISCONNECTS, BOXES, ARE TO BE CONNECTED TO THE GROUNDING SYSTEM PER NEC REQUIREMENTS.
- THE SERVICE GROUND IS TO BE SIZED ACCORDING TO NEC REQUIREMENTS AND IS TO BE CONNECTED TO BUILDING STEEL, COLD WATER PIPING, CONCRETE ENCASED STEEL, AND GAS PIPING IF REQUIRED.

DEVICES

- LIGHT SWITCHES ARE TO BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR TO THE TOP OF THE DEVICE, UNLESS OTHERWISE NOTED.
- RECEPTACLES ARE TO BE MOUNTED 18 INCHES ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE DEVICE, UNLESS OTHERWISE NOTED.
- THE COLOR AND STYLE OF OUTLETS AND SWITCHES ARE TO BE DETERMINED BY THE CLIENT.
- RECEPTACLES ARE TO BE GFCI TYPE WHERE NOTED.
- PROVIDE TAMPER-RESISTANT RECEPTACLES IN OCCUPANCIES WHERE REQUIRED BY NEC 2020, 406.12.
- RECEPTACLES AND SWITCHES ARE TO BE FLUSH MOUNTED UNLESS OTHERWISE NOTED.
- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE COMPATIBILITY OF SPECIAL RECEPTACLES WITH THE EQUIPMENT THEY ARE INTENDED TO SERVE.
- ALL EXTERIOR RECEPTACLES AND RECEPTACLES SUBJECT TO MOISTURE MUST BE OF GFCI TYPE REGARDLESS OF THE TYPE SHOWN ON THE ELECTRICAL PLANS.
- ALL EXTERIOR RECEPTACLES AND SWITCHES ARE REQUIRED TO BE INSTALLED WITH WEATHERPROOF "IN USE" TYPE COVERS.
- DEVICES ARE SHOWN ON THE ELECTRICAL PLANS FOR A REFERENCE LOCATION ONLY. COORDINATE EXACT LOCATION WITH ARCHITECTURAL PLANS AND OTHER TRADES. NOTE ANY CHANGES ON THE "AS BUILT" SET OF ELECTRICAL PLANS.

SWITCHGEAR

- PANELBOARDS AND LOAD CENTERS ARE TO BE SQUARE D OR APPROVED EQUAL.
- PANELBOARDS AND LOAD CENTERS ARE TO BE PROVIDED WITH TRANSIENT VOLTAGE SURGE SUPPRESSION AS DESCRIBED IN THE ELECTRICAL PLANS.
- DISCONNECTS ARE TO BE HEAVY DUTY TYPE AND ARE TO BE FUSED WHERE THE EQUIPMENT IS NOT SUPPLIED BY THE APPROPRIATE BREAKER.
- ALL NEW BREAKERS ADDED TO EXISTING PANELS ARE TO MATCH THE EXISTING PANEL MANUFACTURER AND AIC RATING OF THE EXISTING BREAKERS.
- THE LOCATIONS OF ALL SWITCHGEAR, PANELS, DISCONNECTS, MCC'S, ETC. IS APPROXIMATE. CONSULT OWNER PRIOR TO ROUGH IN OF EQUIPMENT.
- PROVIDE TYPED PANEL SCHEDULES/DIRECTORIES FOR ALL PANELS UPON COMPLETION OF THE PROJECT. ENSURE THAT THE SCHEDULES PROVIDED REFLECT THE "AS BUILT" CONDITION AND ARE NOT SIMPLY COPIES OF THE PANEL SCHEDULES FROM THESE PLANS. IF AN EXISTING PANEL IS MODIFIED, IT IS ACCEPTABLE TO ADD THE MODIFICATION TO THE EXISTING SCHEDULE IN THE MANNER THE EXISTING SCHEDULE WAS ORIGINALLY CREATED.
- PROVIDE ENGRAVED PLASTIC LAMINATE NAME TAGS ON THE FRONT OF ALL PANELS, DISCONNECTS, TRANSFORMERS AND OTHER SWITCHGEAR. LABEL THE EQUIPMENT TO MATCH THE AS BUILT DRAWINGS TO ENSURE MAINTENANCE PERSONNEL ARE PROVIDED THE INFORMATION THEY NEED TO QUICKLY IDENTIFY THE ELECTRICAL SYSTEM.
- PROVIDE ALL OTHER IDENTIFICATION AS REQUIRED PER ANSI, NEC, AND ANY OTHER APPLICABLE STANDARDS / SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY ALL NEC CLEARANCE REQUIREMENTS ARE MET BEFORE THE ROUGH-IN OF ANY EQUIPMENT. THE LAYOUT OF SWITCHGEAR AND OTHER EQUIPMENT ON THE PLANS IS DIAGRAMMATICAL ONLY.
- IT IS THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THE METERING SCHEME SHOWN ON THESE PLANS CONFORM TO THE SPECIFICATIONS OF THE LOCAL UTILITY COMPANY GOVERNING THIS PROJECT. THE LOCAL UTILITY'S METERING STANDARDS BOOK NEEDS TO BE RESEARCHED BY THE ELECTRICAL CONTRACTOR PRIOR TO ORDERING OF MATERIALS.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE AVAILABLE FAULT CURRENT CALCULATIONS ON THIS PLAN SET. CALCULATIONS WITHIN THIS PLAN SET ARE BASED ON TRANSFORMER AND CONDUCTOR INFORMATION THAT MAY OR MAY NOT REFLECT THE ACTUAL INSTALLATION ON THE PROJECT SITE. ANY DISCREPANCIES INCLUDING THE AVAILABLE FAULT CURRENT AT UTILITY TRANSFORMERS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ORDERING ANY EQUIPMENT.

LIGHTING

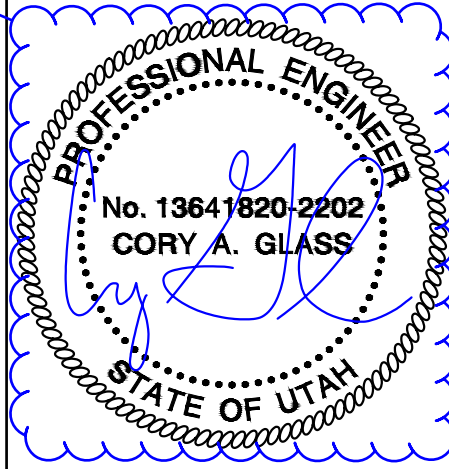
- CONNECT ALL EXIT SIGNS, EGRESS FIXTURES, AND NIGHT LIGHTS ON THE UNSWITCHED LEG OF A LOCAL LIGHTING CIRCUIT.
- MINIMUM EMERGENCY ILLUMINATION OF 1 FOOTCANDLE AT FLOOR LEVEL ALONG THE PATH OF EGRESS FOR 90 MINUTES IS REQUIRED. EMERGENCY LIGHTING FIXTURES SHALL BE ARRANGED BY THE CONTRACTOR TO ACCOMPLISH THIS REQUIREMENT.
- REFER TO THE ARCHITECTURAL CEILING PLAN FOR EXACT FIXTURE LOCATIONS.
- MULTIPLE FIXTURES MAY HAVE OPTIONS FOR MOUNTING IN GRID, OR DRYWALL CEILINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE PROPER MOUNTING HARDWARE AND TRIM PIECES ARE ORDERED BASED ON THE CEILING TYPES SHOWN IN THE ARCHITECTURAL PLANS.
- ALL FIXTURES AND CONTROLS ARE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED.

PROFESSIONAL STATEMENT

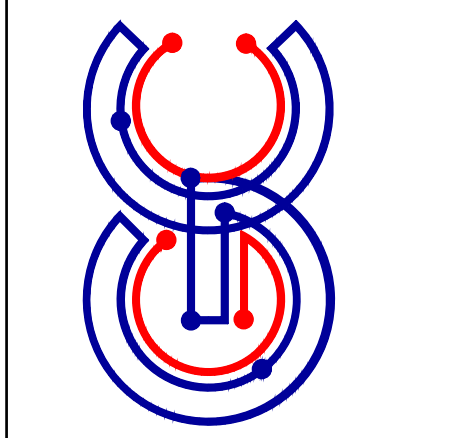
TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH UTAH STATUTES.

Date the stamp

SGE	SCOPE OF WORK CHANGE	DATE	DESCRIPTION	BY
02/04/25				
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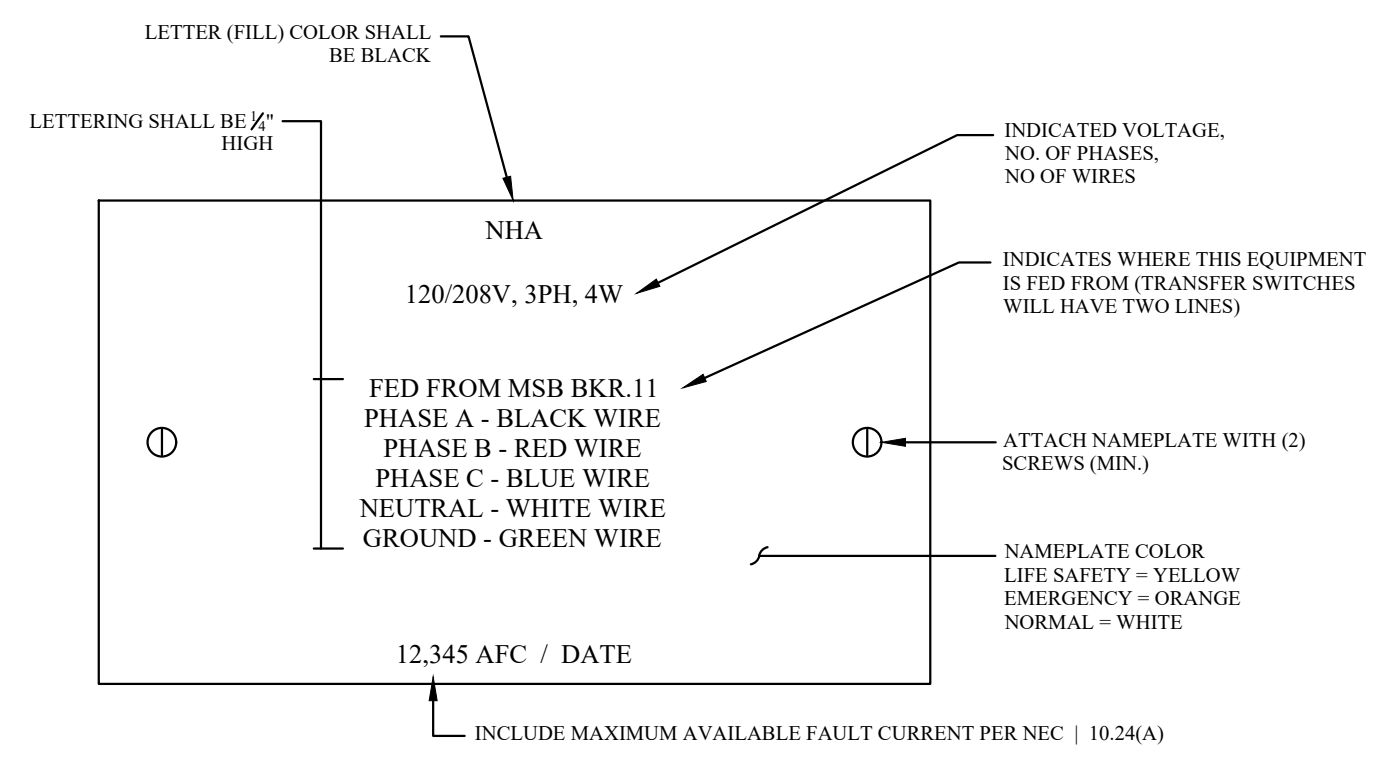
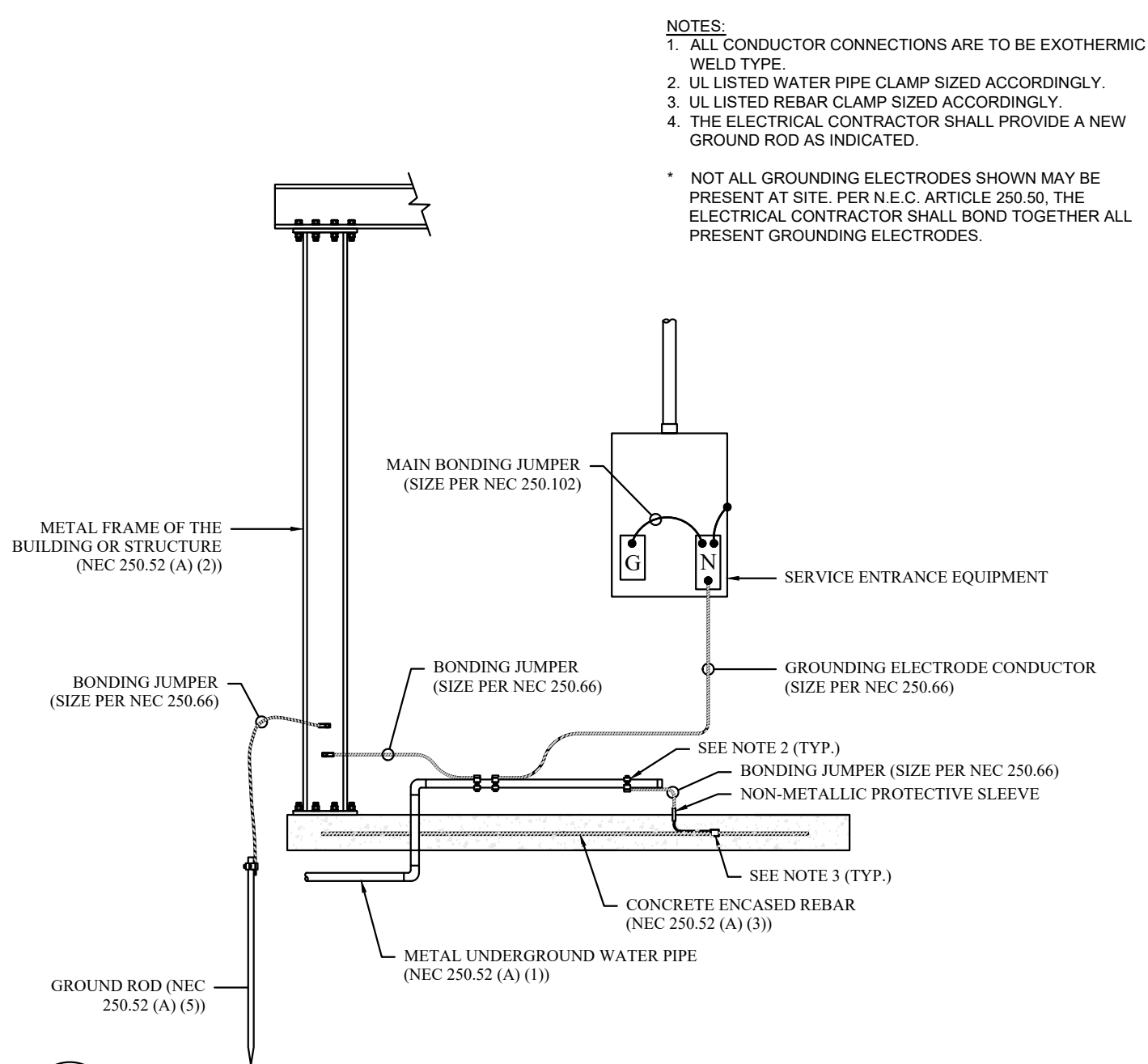
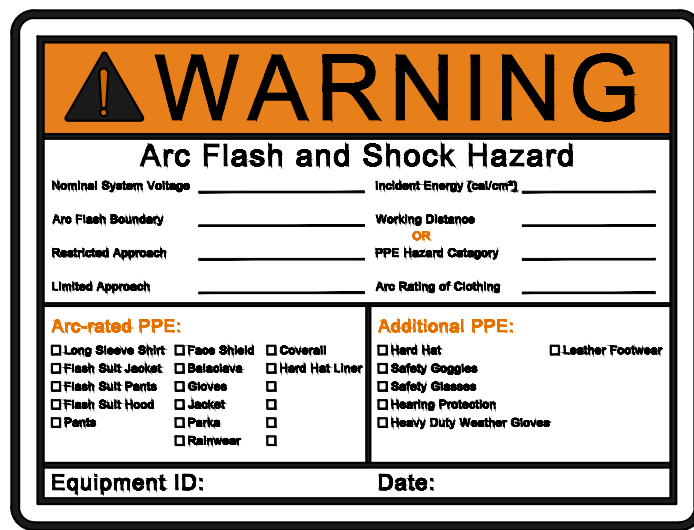
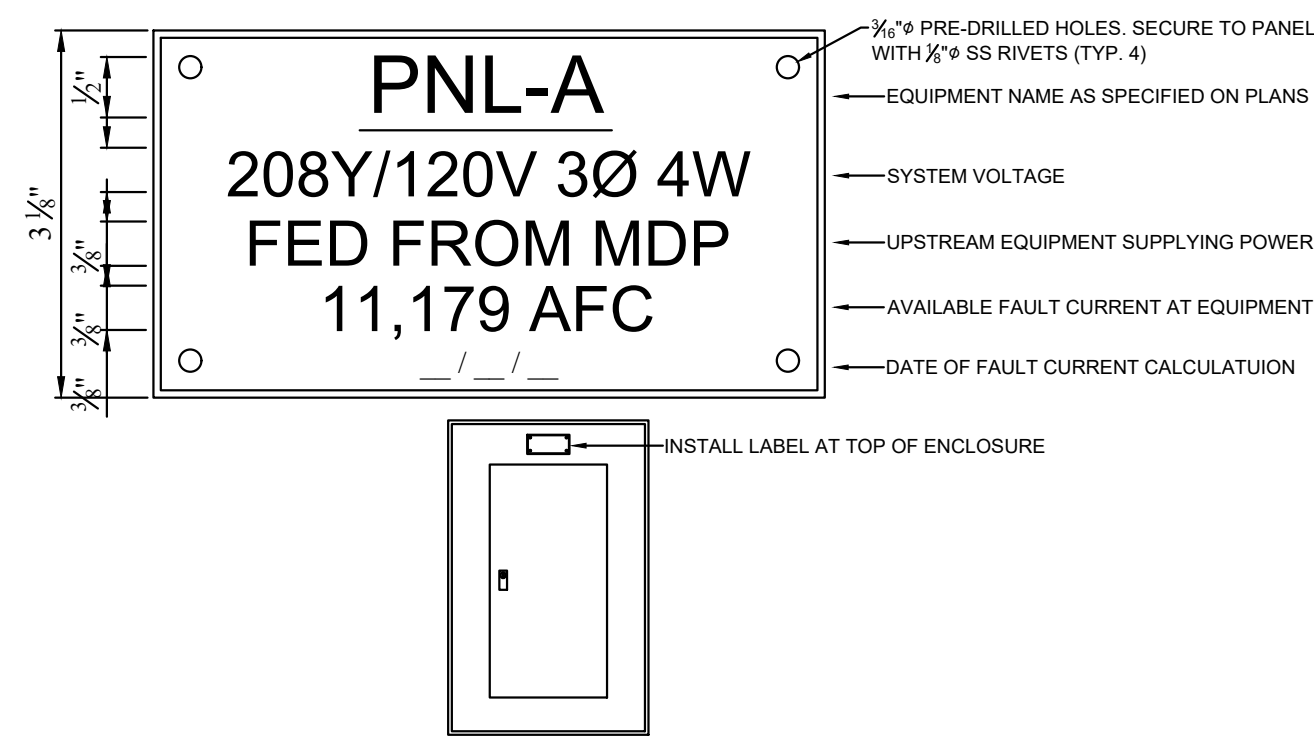
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ELECTRICAL

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BY:	ENG:	APPRV:

NO. 10-11-20
E0.0
 03/22/2024



NOTES:
 1. ALL DISTRIBUTION EQUIPMENT SUCH AS PANELBOARDS, SWITCHBOARDS, DISCONNECTS, TRANSFORMERS, ETC. SHALL BE PROVIDED WITH AN EQUIPMENT LABEL PER THE REQUIREMENTS OF THIS DETAIL.
 2. LABELS SHALL BE 2-PLY ENGRAVED PLASTIC LAMINATE WITH BLACK TYPEFACE LETTERS. LABEL BACKGROUND SHALL FOLLOW THE BELOW COLOR SCHEME:
 a. NORMAL POWER - WHITE
 b. UPS POWER - BLUE
 c. LIFE SAFETY POWER - YELLOW
 3. LABEL MATERIAL SHALL BE DURABLE, UV STABLE, RATED FOR OUTDOOR USE, AND ABRASION RESISTANT. WHERE ATTACHED TO NEMA 4X EQUIPMENT, LABELS SHALL IN ADDITION BE CHEMICAL RESISTANT.
 4. LABELS SHALL BE PERMANENTLY ATTACHED TO ENCLOSURE COVER WITH RIVETS UNLESS DOING SO COMPROMISES ITS NEMA / IP RATING. LABELS FOR ENCLOSURES WITH WELDED SEAMS AND GASKETED DOORS SUCH AS THOSE RATED NEMA 12 OR NEMA 4 SHALL BE INSTALLED USING PERMANENT WEATHER-, UV-, AND TEMPERATURE-RESISTANT DOUBLE-SIDED MOUNTING TAPE ONLY.
 5. A SUBMITTAL WITH A COMPLETE LIST OF EQUIPMENT LABELS SHALL BE PROVIDED FOR ENGINEER APPROVAL PRIOR TO ORDERING.
 6. LABELS SHALL INDICATE NO LESS THAN THE FOLLOWING:
 a. EQUIPMENT NAME
 b. THE NOMINAL SYSTEM VOLTAGE WHICH SAID EQUIPMENT IS CONNECTED TO
 c. THE EQUIPMENT NAME SUPPLYING POWER TO SAID EQUIPMENT
 d. THE AVAILABLE FAULT CURRENT AT SAID EQUIPMENT

NOTES:
 PROVIDE ARC FLASH HAZARD LABELING AND FIELD MARK ALL ELECTRICAL EQUIPMENT AS PART OF ARC FLASH RISK ASSESSMENT PER 2015 EDITION OF NFPA 70E 130.5(D). THE LABEL MUST CONTAIN THE FOLLOWING INFORMATION:
 1. KNOWN SYSTEM VOLTAGE
 2. ARC FLASH BOUNDARY
 3. AT LEAST ONE OF THE FOLLOWING:
 a. AVAILABLE INCIDENT ENERGY AND THE CORRESPONDING DISTANCE, OR THE ARC FLASH PPE CATEGORY IN TABLE 130.7(C)(15)(A)(i) OR 130.7(C)(15)(B) FOR THE EQUIPMENT, BUT NOT BOTH.
 b. MINIMUM ARC RATING OF CLOTHING
 c. SITE-SPECIFIC LEVEL OF PPE

NOTES:
 1. ALL CONDUCTOR CONNECTIONS ARE TO BE EXOTHERMIC WELD TYPE.
 2. UL LISTED WATER PIPE CLAMP SIZED ACCORDINGLY.
 3. UL LISTED REBAR CLAMP SIZED ACCORDINGLY.
 4. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A NEW GROUND ROD AS INDICATED.
 * NOT ALL GROUNDING ELECTRODES SHOWN MAY BE PRESENT AT SITE. PER N.E.C. ARTICLE 250.50, THE ELECTRICAL CONTRACTOR SHALL BOND TOGETHER ALL PRESENT GROUNDING ELECTRODES.

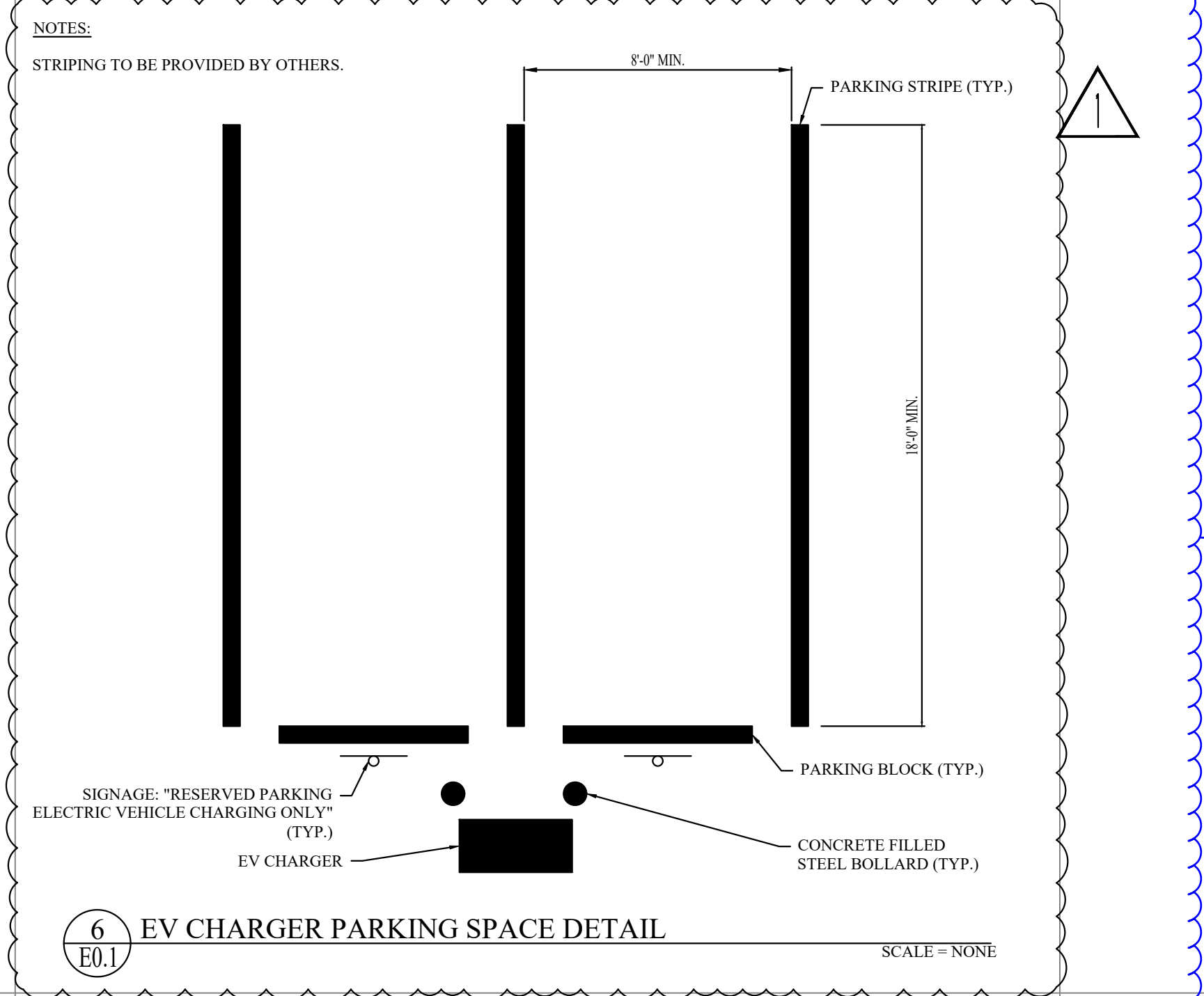
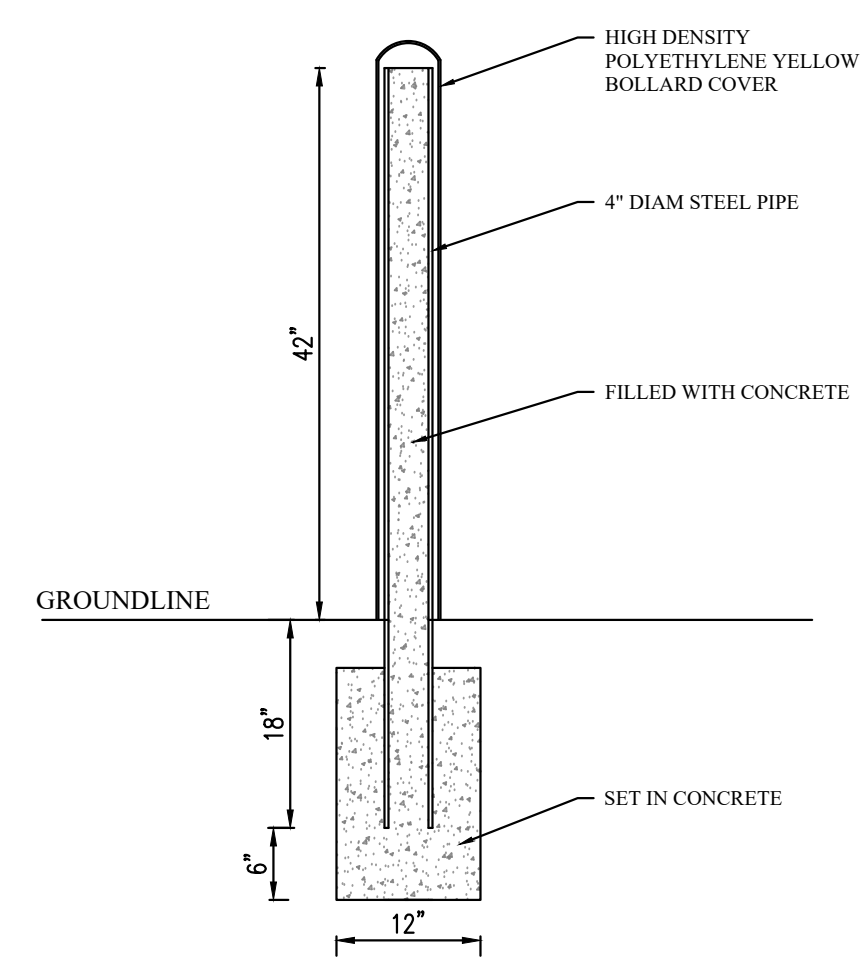
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1 PANEL LABEL DETAIL SCALE = NONE

2 ARC FLASH WARNING LABEL REQUIREMENTS DETAIL SCALE = NONE

3 GROUNDING ELECTRODE SYSTEM DETAIL SCALE = NONE

4 ELECTRICAL EQUIPMENT NAMEPLATE DETAIL SCALE = NONE

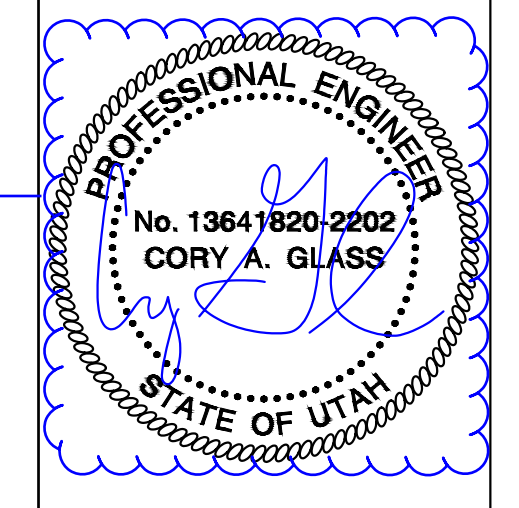


Minimum width of stall is 9ft

5 CONCRETE FILLED STEEL BOLLARD SCALE = NONE

6 EV CHARGER PARKING SPACE DETAIL SCALE = NONE

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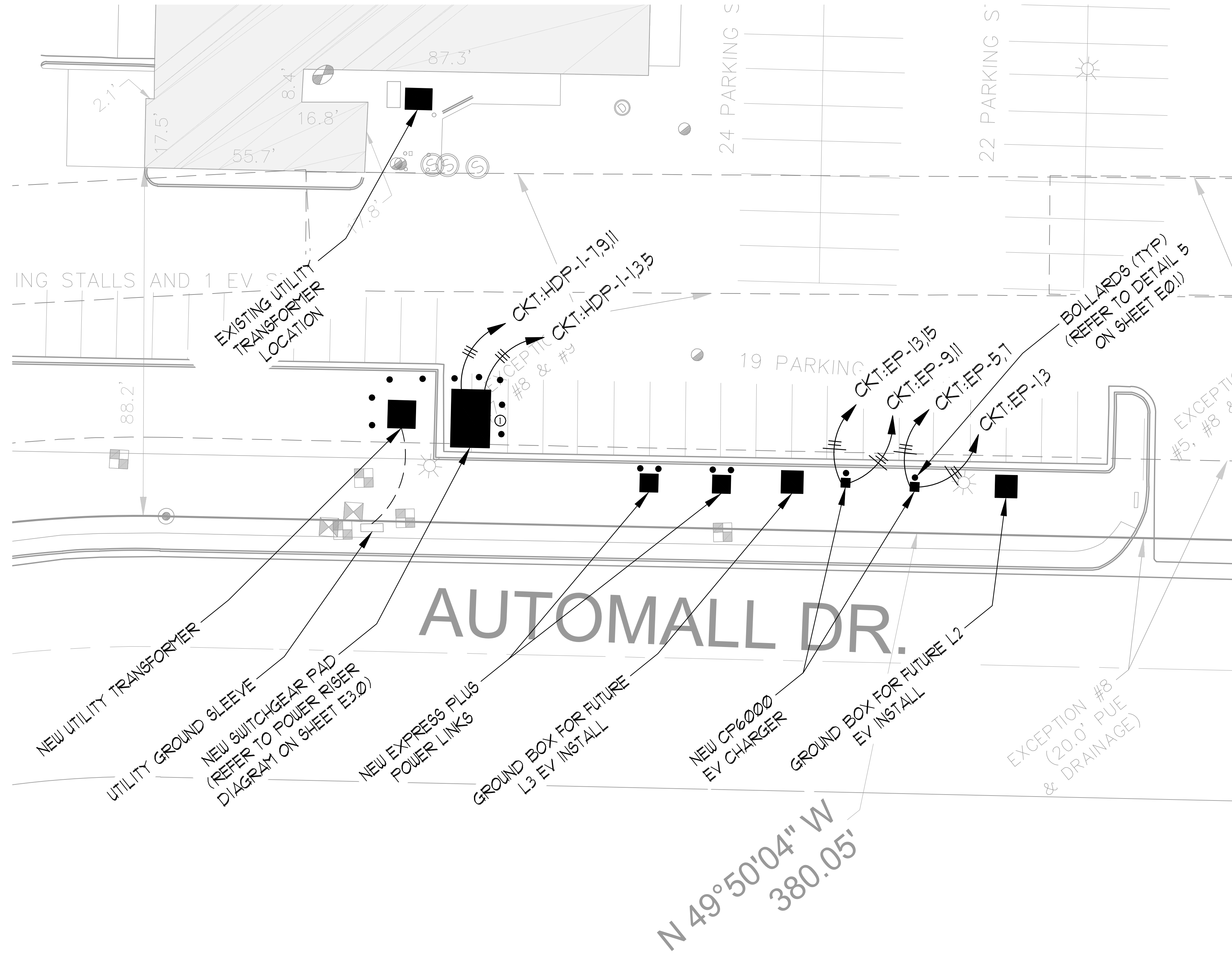
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LEGEND

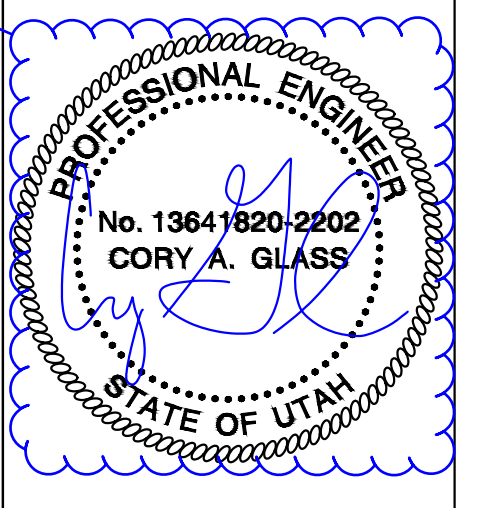
- Fence Line
- Boundary
- Section Line
- Tie Line
- Subdivision Line
- Subdivision Lot Line
- Centerline
- Building
- Curb and Gutter
- Concrete
- Parking Stall
- Wall
- FEMA Flood Line
- Flag Pole
- Light Pole
- Electric Meter
- Cable Box
- Storm Inlet (Square)
- Storm Drain Manhole
- Sanitary Sewer Manhole
- Sanitary Clean Out
- Gas Meter
- Sign
- ADA Parking
- Property Corner To Be Set
- Quarter Section Corner
- Section Corner Monument

NOTE: THIS LEGEND APPLIES TO THIS SHEET ONLY

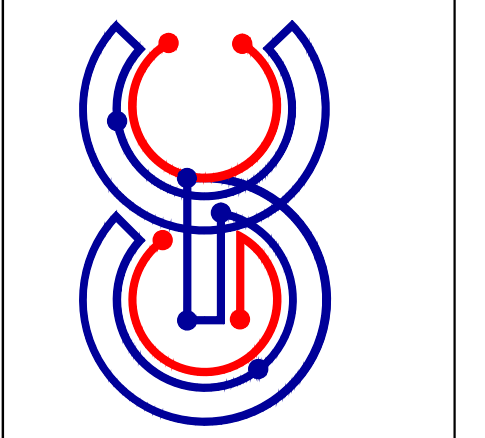


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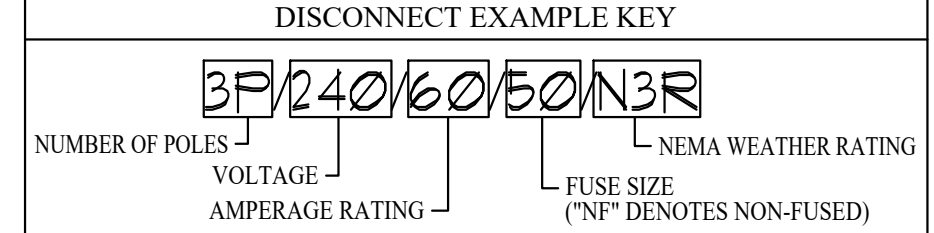
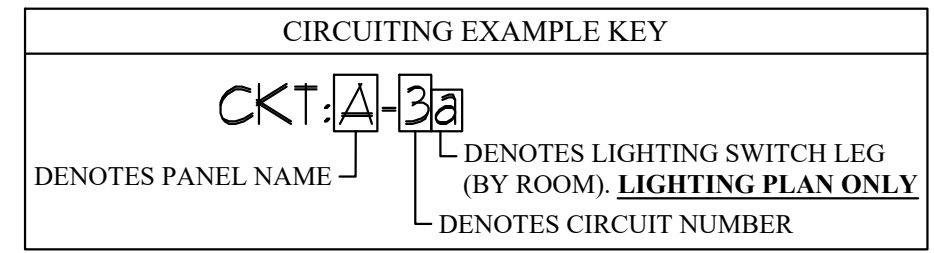
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 ELECTRICAL

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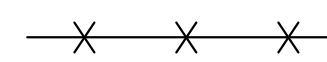
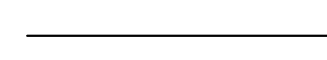
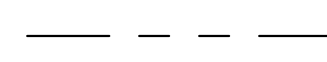
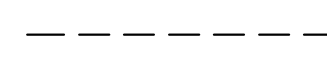
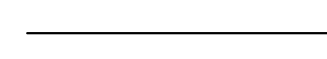
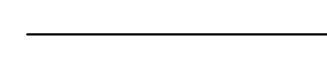
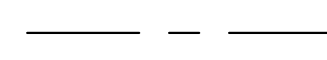
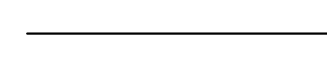
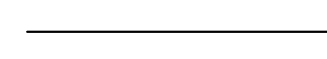
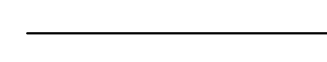
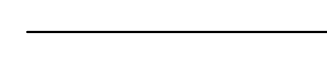
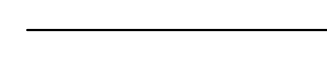
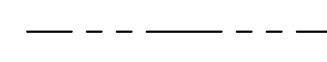




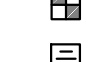




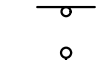
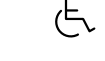



POWER KEYED NOTES:
 1. (2) PARKING SPACES TO BE LOST TO PROVIDE SPACE FOR SWITCHGEAR PAD.



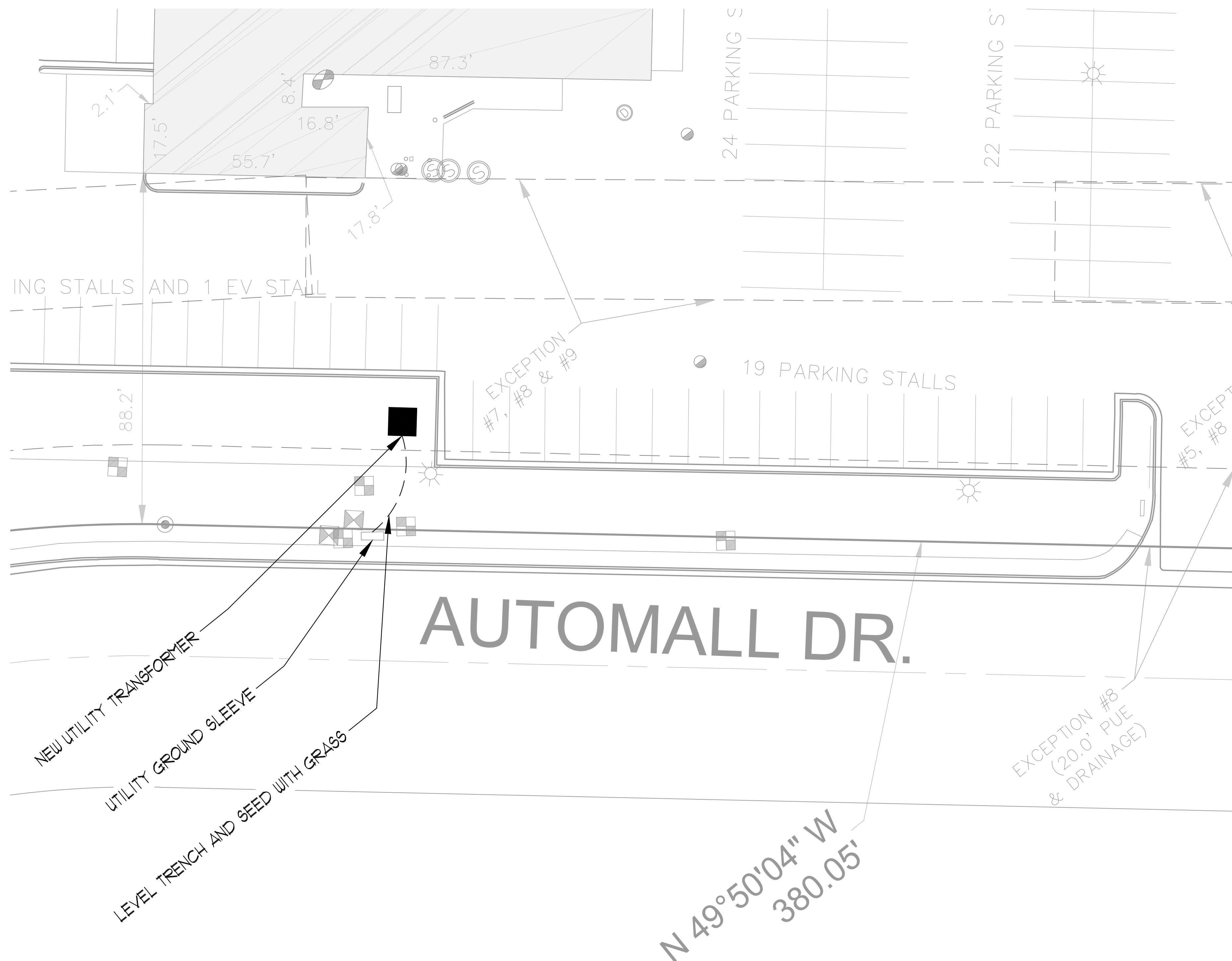
POWER PLAN
 SCALE: 1/16" = 1'-0"

SHEET DESCRIPTION: POWER PLAN

LEGEND

-  Fence Line
-  Boundary
-  Section Line
-  Tie Line
-  Subdivision Line
-  Subdivision Lot Line
-  Centerline
-  Building
-  Curb and Gutter
-  Concrete
-  Parking Stall
-  Wall
-  FEMA Flood Line
-  Flag Pole
-  Light Pole
-  Electric Meter
-  Cable Box
-  Storm Inlet (Square)
-  Storm Drain Manhole
-  Sanitary Sewer Manhole
-  Sanitary Clean Out
-  Gas Meter
-  Sign
-  ADA Parking
-  Property Corner To Be Set
-  Quarter Section Corner
-  Section Corner Monument

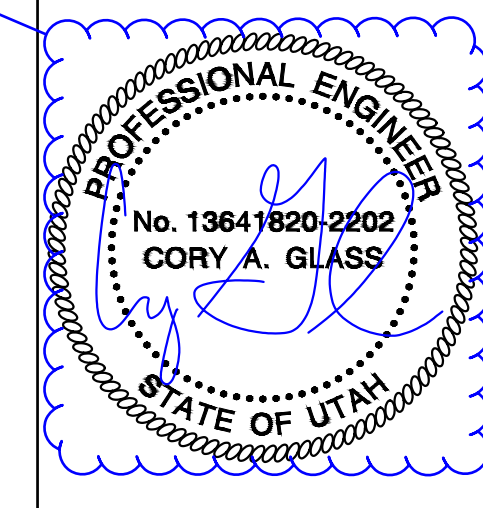
NOTE: THIS LEGEND APPLIES TO THIS SHEET ONLY



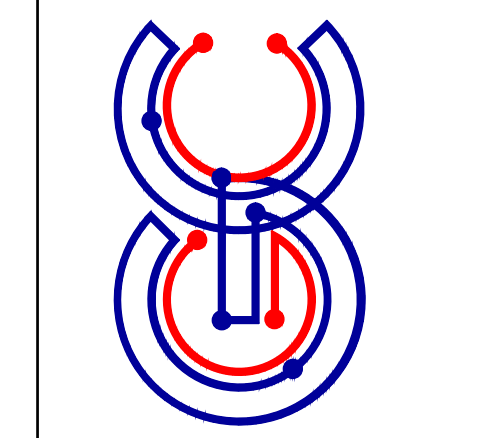
Date the stamp

1 LANDSCAPE PLAN
E2.0 SCALE: 1/16" = 1'-0"

NO.	DATE	DESCRIPTION	BY
1	02/04/25	SCOPE OF WORK CHANGE	SGE



GULF COAST
ELECTRICAL DESIGN
2150 Range Road
Clearwater, FL 33765
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Florida Board of Professional Engineers #03965



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597 E 1000 S
AMERICAN FORK, UT 84003
ELECTRICAL

BMR	JIW	CAG
BY:	ENG:	APPRV:

E2.1
03/22/2024

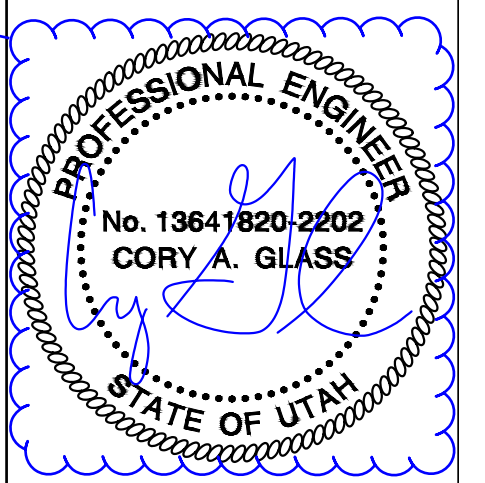
PANEL		NEW EXTERIOR SERVICE										2000 AMP	
HDP-1		480/277 VOLT 3 PHASE 4 WIRE WITH GROUND										MCB NEMA 3R 35,000 AIC	
LOAD	CKT. NO.	DESCRIPTION	BREAKER			A	B	C	BREAKER			LOAD	
			TRIP	POLE	VOLT				VOLT	POLE	TRIP		
6	1	(1)(2) EXPRESS PLUS CHARGER	350	3	480	90025			480	3	350	(2) SPARE	2
6	3	" "	350	3	480		90025		480	3	350	" "	4
6	5	" "	350	3	480			90025	480	3	350	" "	6
6	7	(1)(2) EXPRESS PLUS EV CHARGER	350	3	480	90025						" "	8
6	9	" "	350	3	480		90025					" "	10
6	11	" "	350	3	480			90025				" "	12
5	13	(1) 150 kVA TRANSFORMER FEED	200	3	480	49860						" "	14
5	15	" "	200	3	480		49860					" "	16
5	17	" "	200	3	480			49860				" "	18
	19											" "	20
	21											" "	22
	23											" "	24
	25											" "	26
	27											" "	28
	29											" "	30
	31											" "	32
	33											" "	34
	35											" "	36
	37											" "	38
	39											" "	40
	41											" "	42

CONNECTED VA		229910		
SYSTEM VOLTS		277/480V, 3 PHASE		
PHASE AMPS		830		
LOAD	LOAD TYPE	CONNECTED	NEC DEMAND	DEMAND LOAD
1	LIGHTING	0	1.25	0 VA
2	RECEPTACLES	0	1	0 VA
3	AIR CONDITIONING	0	0	0 VA
4	HEATING	0	0	0 VA
5	MISC. NON-CONTINUOUS	149580	1	149580 VA
6	CONTINUOUS	540150	1.25	675187.5 VA
7	KITCHEN	0	0.65	0 VA
			TOTAL	824767.5 VA
				993 AMPS

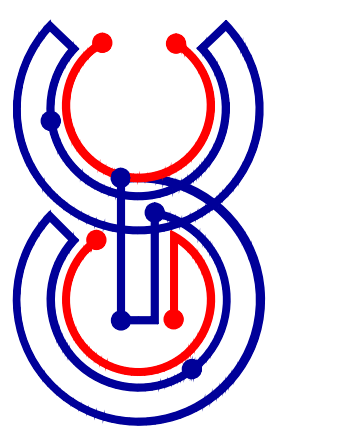
PANEL		NEW SURFACE MOUNT PANEL										400 AMP	
EP		120/208 VOLT 3 PHASE 4 WIRE WITH GROUND										MCB NEMA 3R 14,000 AIC	
LOAD	CKT. NO.	DESCRIPTION	BREAKER			A	B	C	BREAKER			LOAD	
			TRIP	POLE	VOLT				VOLT	POLE	TRIP		
6	1	(1) CP6000 EV CHARGERS	100	2	208	6656	100		120	1	20	SHUNT TRIP POWER	2
6	3	" "	100	2	208		6656					" "	4
6	5	(1) CP6000 EV CHARGERS	100	2	208			6656				" "	6
6	7	" "	100	2	208	6656						" "	8
6	9	(1) CP6000 EV CHARGERS	100	2	208		6656					" "	10
6	11	" "	100	2	208			6656				" "	12
6	13	(1) CP6000 EV CHARGERS	100	2	208	6656						" "	14
6	15	" "	100	2	208		6656					" "	16
	17											" "	18
	19											" "	20
	21											" "	22
	23											" "	24
	25											" "	26
	27											" "	28
	29											" "	30
	31											" "	32
	33											" "	34
	35											" "	36
	37						100					SPD	38
	39							100				" "	40
	41								100			" "	42

CONNECTED VA		20168		
SYSTEM VOLTS		120/208V, 3 PHASE		
PHASE AMPS		168		
LOAD	LOAD TYPE	CONNECTED	NEC DEMAND	DEMAND LOAD
1	LIGHTING	0	1.25	0 VA
2	RECEPTACLES	0	1	0 VA
3	AIR CONDITIONING	0	0	0 VA
4	HEATING	0	0	0 VA
5	MISC. NON-CONTINUOUS	100	1	100 VA
6	CONTINUOUS	53548	1.25	66935 VA
7	KITCHEN	0	0.65	0 VA
			TOTAL	67035 VA
				186 AMPS

Date the stamp



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AMERICAN FORK, UT 84003
ELECTRICAL

BMR: JIW: CAG
BY: ENG: APPRV:

E3.0

03/22/2024

NOTE: OBTAIN AVAILABLE FAULT CURRENT AT TRANSFORMER FROM POWER CO. ENGINEER. ALL SWITCHGEAR AND FUSES SHALL NOT HAVE A.I.C RATINGS LESS THAN AVAILABLE FAULT CURRENT RATING.

- NEW RISER KEYED NOTES:**
- EXISTING UTILITY GROUND SLEEVE.
 - NEW 500 kVA UTILITY TRANSFORMER.
 - NEW CT METER SOCKET.
 - NEW PANEL "HDP-1", 277/480V, 3Ø, 4-WIRE, 2000A, MCB, NEMA 3R. LOCATED ON SWITCHGEAR PAD.
 - NEW "TX-1", 150 kVA, 480V PRIMARY, 208V SECONDARY, 3Ø, NEMA 3R TRANSFORMER. LOCATED ON SWITCHGEAR PAD.
 - NEW PANEL "EP", 120/208V, 3Ø, 4-WIRE, 400A, MCB, NEMA 3R. LOCATED ON SWITCHGEAR PAD.
 - NEW SURGE PROTECTION DEVICE.
 - NEW CP6000 EV CHARGER.
 - NEW JUNCTION GROUND-BOX (FUTURE L2 EV USE).
 - FUTURE POWER BLOCKS FOR EXPRESS PLUS EV CHARGERS.
 - NEW JUNCTION GROUND-BOX (FUTURE L3 EV USE).
 - NEW POWER BLOCKS FOR EXPRESS PLUS EV CHARGERS. LOCATED ON SWITCHGEAR PAD.
 - POWER LINK LEVEL 3 CHARGING STATIONS.

SERVICE ENTRANCE FEEDER SCHEDULE

AL2000SE	2000A SERVICE ENTRANCE FEEDER: 6 SETS OF - (3) 600 KCMIL AL & (1) 600 KCMIL AL NEUTRAL EACH IN 4" CONDUIT.
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FEEDER SCHEDULE

AL350	350A FEEDER: (2) SETS OF - (3) 4Ø AL, (1) 4Ø AL NEUTRAL & (1) #1 AL GROUND, EACH IN 2 1/2" CONDUIT
T200	200A FEEDER: (1) SET OF (3) 250 KCMIL AL, & (1) #2 AL GROUND, IN A 2" CONDUIT
P400	400A FEEDER: (2) SETS OF (3) 250 AL, (1) 250 AL NEUTRAL, & (1) #1 AL GROUND, EACH IN A 2 1/2" CONDUIT
AL350DC	350A FEEDER: (2) SETS OF (1) POSITIVE 4Ø AL XHHW, (1) NEGATIVE 4Ø AL XHHW, & (1) #1 AL EQUIPMENT GROUND EACH IN 2 1/2" CONDUIT

PANEL LABELING

NEW OR EXISTING	— DENOTES CONDITION
[A]	— DENOTES NAME
[277/480V]	— DENOTES VOLTAGE
[3Ø, 4-WIRE]	— DENOTES PHASE, SYSTEM
[200A]	— DENOTES AMPS
[MCB OR MLO]	— DENOTES PANEL TYPE
[NEMA]	— DENOTES ENCLOSURE RATING

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GULF COAST ELECTRICAL DESIGN

Available Fault Current Calculation

Utility Symmetrical Fault Current = 35,500 amperes

$I = \frac{kVA \times 1000}{E \times 1.732} = \text{trans. FLA}$

$I_{SCA} = \frac{\text{trans. FLA} \times 100 \times PF}{\text{transformer Z}}$

Point to Point Method

Multiplier

Fault Current at Service Equipment

$I_{SCA} \times M = \text{fault current at terminals of main disconnect L-L} = 34,495 \text{ amperes}$

$I_{SCA} \times M = \text{fault current at terminals of main disconnect L-N} = 33,794 \text{ amperes}$

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GULF COAST ELECTRICAL DESIGN

Available Fault Current Calculation

Utility Symmetrical Fault Current = 150 amperes

$I = \frac{kVA \times 1000}{E \times 1.732} = \text{trans. FLA}$

$I_{SCA} = \frac{\text{trans. FLA} \times 100 \times PF}{\text{transformer Z}}$

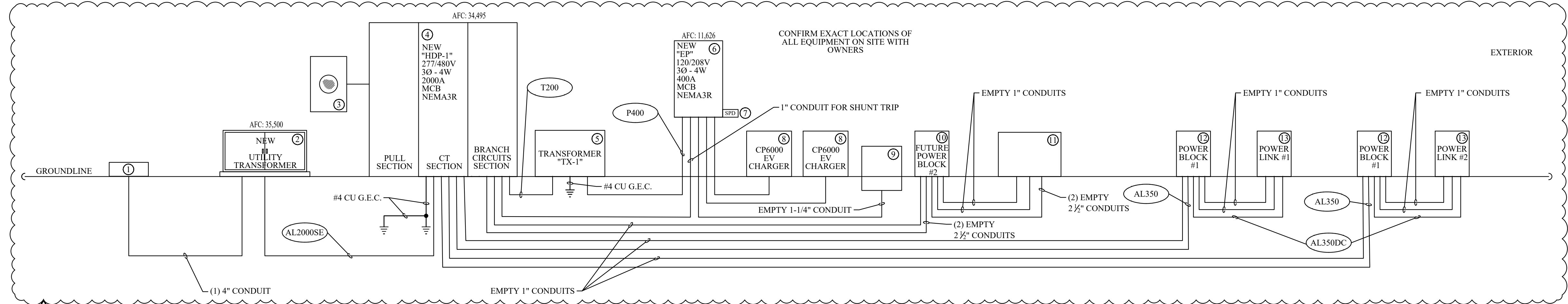
Point to Point Method

Multiplier

Fault Current at Service Equipment

$I_{SCA} \times M = \text{fault current at terminals of main disconnect L-L} = 11,626 \text{ amperes}$

$I_{SCA} \times M = \text{fault current at terminals of main disconnect L-N} = 10,683 \text{ amperes}$



POWER RISER DIAGRAM (NEW)
SCALE: NONE

CP6000
Networked Charging Station

Site Design Guide



Wall Mount Considerations

- CP6000 wall mounted charging stations use surface mount wiring.
- When pulling electrical wiring for wall mount stations, the conduit and wire must be brought to the location where the stations will be mounted. The conduit is typically used to bring the wire to the station. Wiring is brought in through knock outs in the bottom of the charging station.

Pedestal Mount Considerations

- CP6000 pedestal mounted charging stations typically require service wiring installed underground to enter through the bottom of the station.
- When pulling electrical wiring for CP6000 pedestal mount, ensure at least 15 (5 ft) of wire remains above grade.

Conduit

The outside diameter of conduit must not exceed the sizes called out in the pedestal mounting template: 3/4" (1.915 in) for 1/2" (1.27 in) and 1" (2.54 in) for 3/4" (1.915 in) and 1 1/4" (3.175 in) for 1" (2.54 in) and 1 3/4" (4.445 in) for 1 1/4" (3.175 in) and 2" (5.08 in) for 1 3/4" (4.445 in) and 2 1/2" (6.35 in) for 2" (5.08 in) and 3" (7.62 in) for 2 1/2" (6.35 in) and 3 1/2" (8.89 in) for 3" (7.62 in) and 4" (10.16 in) for 3 1/2" (8.89 in) and 4 1/2" (11.43 in) for 4" (10.16 in) and 5" (12.7 in) for 4 1/2" (11.43 in) and 5 1/2" (13.97 in) for 5" (12.7 in) and 6" (15.24 in) for 5 1/2" (13.97 in) and 6 1/2" (16.51 in) for 6" (15.24 in) and 7" (17.78 in) for 6 1/2" (16.51 in) and 7 1/2" (19.05 in) for 7" (17.78 in) and 8" (20.32 in) for 7 1/2" (19.05 in) and 8 1/2" (21.59 in) for 8" (20.32 in) and 9" (22.86 in) for 8 1/2" (21.59 in) and 9 1/2" (24.13 in) for 9" (22.86 in) and 10" (25.4 in) for 9 1/2" (24.13 in) and 10 1/2" (26.67 in) for 10" (25.4 in) and 11" (27.94 in) for 10 1/2" (26.67 in) and 11 1/2" (29.21 in) for 11" (27.94 in) and 12" (30.48 in) for 11 1/2" (29.21 in) and 12 1/2" (31.75 in) for 12" (30.48 in) and 13" (33.02 in) for 12 1/2" (31.75 in) and 13 1/2" (34.29 in) for 13" (33.02 in) and 14" (35.56 in) for 13 1/2" (34.29 in) and 14 1/2" (36.83 in) for 14" (35.56 in) and 15" (38.1 in) for 14 1/2" (36.83 in) and 15 1/2" (39.37 in) for 15" (38.1 in) and 16" (40.64 in) for 15 1/2" (39.37 in) and 16 1/2" (41.91 in) for 16" (40.64 in) and 17" (43.18 in) for 16 1/2" (41.91 in) and 17 1/2" (44.45 in) for 17" (43.18 in) and 18" (45.72 in) for 17 1/2" (44.45 in) and 18 1/2" (46.99 in) for 18" (45.72 in) and 19" (48.26 in) for 18 1/2" (46.99 in) and 19 1/2" (49.53 in) for 19" (48.26 in) and 20" (50.8 in) for 19 1/2" (49.53 in) and 20 1/2" (52.07 in) for 20" (50.8 in) and 21" (53.34 in) for 20 1/2" (52.07 in) and 21 1/2" (54.61 in) for 21" (53.34 in) and 22" (55.88 in) for 21 1/2" (54.61 in) and 22 1/2" (57.15 in) for 22" (55.88 in) and 23" (58.42 in) for 22 1/2" (57.15 in) and 23 1/2" (59.69 in) for 23" (58.42 in) and 24" (60.96 in) for 23 1/2" (59.69 in) and 24 1/2" (62.23 in) for 24" (60.96 in) and 25" (63.5 in) for 24 1/2" (62.23 in) and 25 1/2" (64.77 in) for 25" (63.5 in) and 26" (66.04 in) for 25 1/2" (64.77 in) and 26 1/2" (67.31 in) for 26" (66.04 in) and 27" (68.58 in) for 26 1/2" (67.31 in) and 27 1/2" (69.85 in) for 27" (68.58 in) and 28" (71.12 in) for 27 1/2" (69.85 in) and 28 1/2" (72.39 in) for 28" (71.12 in) and 29" (73.66 in) for 28 1/2" (72.39 in) and 29 1/2" (74.93 in) for 29" (73.66 in) and 30" (76.2 in) for 29 1/2" (74.93 in) and 30 1/2" (77.47 in) for 30" (76.2 in) and 31" (78.74 in) for 30 1/2" (77.47 in) and 31 1/2" (80.01 in) for 31" (78.74 in) and 32" (81.28 in) for 31 1/2" (80.01 in) and 32 1/2" (82.55 in) for 32" (81.28 in) and 33" (83.82 in) for 32 1/2" (82.55 in) and 33 1/2" (85.09 in) for 33" (83.82 in) and 34" (86.36 in) for 33 1/2" (85.09 in) and 34 1/2" (87.63 in) for 34" (86.36 in) and 35" (88.9 in) for 34 1/2" (87.63 in) and 35 1/2" (90.17 in) for 35" (88.9 in) and 36" (91.44 in) for 35 1/2" (90.17 in) and 36 1/2" (92.71 in) for 36" (91.44 in) and 37" (93.98 in) for 36 1/2" (92.71 in) and 37 1/2" (95.25 in) for 37" (93.98 in) and 38" (96.52 in) for 37 1/2" (95.25 in) and 38 1/2" (97.79 in) for 38" (96.52 in) and 39" (99.06 in) for 38 1/2" (97.79 in) and 39 1/2" (100.33 in) for 39" (99.06 in) and 40" (101.6 in) for 39 1/2" (100.33 in) and 40 1/2" (102.87 in) for 40" (101.6 in) and 41" (104.14 in) for 40 1/2" (102.87 in) and 41 1/2" (105.41 in) for 41" (104.14 in) and 42" (106.68 in) for 41 1/2" (105.41 in) and 42 1/2" (107.95 in) for 42" (106.68 in) and 43" (109.22 in) for 42 1/2" (107.95 in) and 43 1/2" (109.49 in) for 43" (109.22 in) and 44" (110.76 in) for 43 1/2" (109.49 in) and 44 1/2" (112.03 in) for 44" (110.76 in) and 45" (113.3 in) for 44 1/2" (112.03 in) and 45 1/2" (114.57 in) for 45" (113.3 in) and 46" (115.84 in) for 45 1/2" (114.57 in) and 46 1/2" (117.11 in) for 46" (115.84 in) and 47" (118.38 in) for 46 1/2" (117.11 in) and 47 1/2" (119.65 in) for 47" (118.38 in) and 48" (120.92 in) for 47 1/2" (119.65 in) and 48 1/2" (122.19 in) for 48" (120.92 in) and 49" (123.46 in) for 48 1/2" (122.19 in) and 49 1/2" (124.73 in) for 49" (123.46 in) and 50" (126.0 in) for 49 1/2" (124.73 in) and 50 1/2" (127.27 in) for 50" (126.0 in) and 51" (128.54 in) for 50 1/2" (127.27 in) and 51 1/2" (129.81 in) for 51" (128.54 in) and 52" (131.08 in) for 51 1/2" (129.81 in) and 52 1/2" (132.35 in) for 52" (131.08 in) and 53" (133.62 in) for 52 1/2" (132.35 in) and 53 1/2" (134.89 in) for 53" (133.62 in) and 54" (136.16 in) for 53 1/2" (134.89 in) and 54 1/2" (137.43 in) for 54" (136.16 in) and 55" (138.7 in) for 54 1/2" (137.43 in) and 55 1/2" (139.97 in) for 55" (138.7 in) and 56" (141.24 in) for 55 1/2" (139.97 in) and 56 1/2" (142.51 in) for 56" (141.24 in) and 57" (143.78 in) for 56 1/2" (142.51 in) and 57 1/2" (145.05 in) for 57" (143.78 in) and 58" (146.32 in) for 57 1/2" (145.05 in) and 58 1/2" (147.59 in) for 58" (146.32 in) and 59" (148.86 in) for 58 1/2" (147.59 in) and 59 1/2" (150.13 in) for 59" (148.86 in) and 60" (151.4 in) for 59 1/2" (150.13 in) and 60 1/2" (152.67 in) for 60" (151.4 in) and 61" (153.94 in) for 60 1/2" (152.67 in) and 61 1/2" (155.21 in) for 61" (153.94 in) and 62" (156.48 in) for 61 1/2" (155.21 in) and 62 1/2" (157.75 in) for 62" (156.48 in) and 63" (159.02 in) for 62 1/2" (157.75 in) and 63 1/2" (160.29 in) for 63" (159.02 in) and 64" (161.56 in) for 63 1/2" (160.29 in) and 64 1/2" (162.83 in) for 64" (161.56 in) and 65" (164.1 in) for 64 1/2" (162.83 in) and 65 1/2" (165.37 in) for 65" (164.1 in) and 66" (166.64 in) for 65 1/2" (165.37 in) and 66 1/2" (167.91 in) for 66" (166.64 in) and 67" (169.18 in) for 66 1/2" (167.91 in) and 67 1/2" (170.45 in) for 67" (169.18 in) and 68" (171.72 in) for 67 1/2" (170.45 in) and 68 1/2" (172.99 in) for 68" (171.72 in) and 69" (174.26 in) for 68 1/2" (172.99 in) and 69 1/2" 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Next Step

Revise and Resubmit based off comments made from staff



GULF COAST
ELECTRICAL DESIGN

February 4, 2025

Project: Ken Garff American Fork Ford

RE: Scope of Work Change | Permit #: P-2025-00025

Re-Submittal Acknowledgment Statement

The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.

_____[Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.

_____[Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

_____[Applicant Initial] This is the _____ (Ex: 1st) complete re-submittal of the subdivision constituting the start of the _____ [Same Number] Review Cycle.

Please allow this letter to serve as a written response to the clients request for a narrative of changes.

The revisions on the plans are “clouded” and denoted with a triangle, numbered “1”, and noted in the upper right as “Scope of Work Change”.

REV1 items that were addressed:

1. Comment:

Scope of work has changed, please modify plans to match change in scope.

Response:


Please see sheet E2.0. The power plan was revised to show the removal of the second future L3 EV charger and the new switchgear pad layout. Please see sheet E3.0. The power riser diagram was modified to remove the second future L3 EV charger and reflect the new switchgear pad layout, keynotes were renumbered throughout. The feeder schedule for the AL350DC feeder was updated to be fed via (2) 2 ½” conduits in lieu of (1) 4” conduit. Lastly, the panel schedule for panel “HDP-1” was modified to remove the second future L3 EV charger.

2. Comment:

We need to see that the electrical does not conflict with other utilities, and that no structures are built on top of utilities.

Response:

Please see sheet E1.0. The site plan was adjusted to include the utility legend provided with the site plan. Please see sheet E2.0. The utility legend was added to the drawing sheet and the scale of the power plan was increased for clarity. Also, a keynote was added indicating that two parking spaces will be lost to accommodate the new switchgear pad.

 <p>American Fork City Development Review Committee</p>
Engineering Division Reviewed rburkhill 03/12/2025

DRC Plan Review Meetings

These meetings are available with staff on Tuesdays from 9:00 AM-12:00 PM in 30 minute appointments.

Meetings can be scheduled with Melissa White at mwhite@americanfork.gov or through 801-854-5932

← Address comments

3. Comment:

Not seeing a parking space section on the page with the bollard and other details. Just need to show the space being of min size and marked for EV charging

Response:

Please see sheet E0.1. Detail 6 was added to show the minimum sizing requirements for EV parking spaces and other required elements such as signage for marking.

If you have any questions regarding this narrative, please call to discuss.

Respectfully,



Cory Glass, P.E.
Gulf Coast Electrical Design
727-243-7023

Min. width is 9', not 8'
as shown.