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# **AMERICAN FORK CITY AMENDED PLANNING COMMISSION AGENDA**

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**Regular Session  
March 5, 2025  
Wednesday 6:00 PM**

**American Fork City Hall  
31 North Church Street  
American Fork City, UT 84003**

**<https://www.americanfork.gov/AgendaCenter>**

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## **Planning Commission Members**

**Christine Anderson, Chair  
Chris Christiansen, Vice Chair  
Geoff Dupaix  
Bruce Frandsen**

**Rod Martin  
David Bird  
Harold Dudley  
Claire Oldham**

Notice is hereby given that the American Fork City Planning Commission will meet in regular session on March 5, 2025, at the American Fork City Hall, 31 North Church Street commencing at 6:00 PM. The agenda shall be as follows:

**1. Regular Session**

- a. Pledge of Allegiance
- b. Roll Call
- c. Election of Chairperson and Vice Chairperson

**2. Common Consent Agenda** (Common Consent is that class of Commission action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).

- a. Approval of the February 5, 2025, Planning Commission minutes

**3. Public Hearings** (Public Hearings is that class of Commission action that requires further discussion on General Plan changes, Zone changes, and Code Text Amendments that alter the land use characteristics of American Fork City. Public Hearing items will have the chance for the public to speak upon.)

- a. Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Strata Investments, located at approximately 195 E 600 S American Fork City. On approximately 2.40 acres, the property proposes to change from the Design Commercial designation to the Design Industrial land use designation.
- b. Public hearing, review, and recommendation on a proposed Zone Change, known as Strata Investments, located at approximately 195 E 600 S, American Fork City. On approximately 2.40 acres, the property proposes to change from the General Commercial (GC-2) Zone to the Planned Industrial (PI-1) Zone.

**4. Action Items** (Action Items is that class of Commission action that requires further discussion on Site Plans and proposed zoning designation for annexing areas. The Planning Commission will have authority to approve Site Plans for final action and provide recommendations for the zone of annexing property.)

- a. \*Review and action on an application for a Commercial Site Plan, known as North Pointe Business Park, Building “F” (Application #3), located at approximately 1260 S 630 E, American Fork City, UT 84003. The Commercial Site Plan will be on approximately 6.05 acres and will be in the PI-1 (Planned Industrial) Zone.

**5. Other Business**

- a. Upcoming Projects

## **6. Adjournment**

Dated this 4<sup>th</sup> day of March 2025

Patrick O'Brien

Development Services Director

*\*The order of agenda items may change at the discretion of the Planning Commission Chair*

# UNAPPROVED MINUTES

02.05.2025

## **AMERICAN FORK CITY PLANNING COMMISSION REGULAR SESSION**

**February 5th, 2025**

The American Fork City Planning Commission met in a regular session on February 5th, 2025 at the American Fork City Hall, 31 North Church Street, commencing at 6:00 p.m.

Commissioners Present: Christine Anderson, Chris Christiansen, Rodney Martin, Bruce Frandsen, David Bird, Harold Dudley, Geoff Dupaix

Commissioners Absent:

### Staff Present:

Travis Van Ekelenburg	Senior Planner
Cody Opperman	Planner II
JJ Hsu	Project Engineer
Angie McKee	Administrative Assistant I

Others Present: Ken Burg, Church Representative

### **REGULAR SESSION**

**Chistine Anderson led the “Pledge of Allegiance”**

#### **Roll Call**

Chairwomen Anderson explained the sections of the agenda, and the order in which staff, applicants, and the commissioners would speak throughout the meeting in order to keep the meetings professional and organized. She added that the planning commission is a voluntary citizen board, and the commissioners do not have any previous discussion about any of the items before the meeting.

### **COMMON CONSENT AGENDA**

**1. Minutes of the January 22nd, 2025 Planning Commission Regular Session.**



## UNAPPROVED MINUTES

02.05.2025

**Bruce Frandsen motioned to approve the Common Consent agenda.**

**Harold Dudley seconded the motion.**

**Voting was as follows:**

<b>Chris Christiansen</b>	<b>AYE</b>
<b>Rodney Martin</b>	<b>AYE</b>
<b>Christine Anderson</b>	<b>AYE</b>
<b>Bruce Frandsen</b>	<b>AYE</b>
<b>David Bird</b>	<b>AYE</b>
<b>Harold Dudley</b>	<b>AYE</b>

**The motion passed**

### **ACTION ITEMS**

- a. Review and recommendation on a proposed zone for an annexation, known as Chipman and Stake Center Annexation, located at approximately 100 W 700 S, American Fork City. On approximately 24 acres, the property will be annexed into American Fork City and be given the Planned Residential (PR-3.0) zoning designation.**

Cody Opperman reviewed the background information for Action Item letter a: The applicant has applied for annexation within American Fork City. The project area looks to have the PR-3.0 zoning designation assigned to the land, which would be for Planned Residential Projects. The annexation area is proposing to be developed into the Chipman Estates subdivision. This is going to be a stakeholder's annexation as the church and American Fork City also have property that is involved. Bruce Frandsen asked to see which part of this annexation is city property, and Cody Opperman showed the map and explained that it is basically the roadway for 700 South.

## UNAPPROVED MINUTES

02.05.2025

**Geoff Dupaix moved to recommend approval for the proposed Annexation Agreement, located at approximately 100 West 700 South, American Fork City, UT 84003, subject to any conditions found in the staff report.**

**David Bird seconded the motion.**

### **Voting was as follows:**

<b>Chris Christiansen</b>	<b>AYE</b>
<b>Rodney Martin</b>	<b>AYE</b>
<b>Christine Anderson</b>	<b>AYE</b>
<b>Bruce Frandsen</b>	<b>AYE</b>
<b>David Bird</b>	<b>AYE</b>
<b>Harold Dudley</b>	<b>AYE</b>
<b>Geoff Dupaix</b>	<b>AYE</b>

**The motion passed**

### **Other Business**

The commissioners discussed some possibilities for the required training this year and requested that staff consider having multiple meetings to go over the code re-write as it would be difficult to go over the entire code in only one or two meetings.

### **Adjournment**

**Geoff Dupaix motioned to adjourn the meeting.**

**Rodney Martin seconded the motion.**

Meeting adjourned at 6:18PM

## UNAPPROVED MINUTES

02.05.2025

Angie McKee

Administrative Assistant I

The order of agenda items may change to accommodate the needs of the commissioners, public and staff.

**Agenda Topic**

Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Strata Investments, located at approximately 195 E 600 S American Fork City. On approximately 2.40 acres, the property proposes to change from the Design Commercial designation to the Design Industrial land use designation.

<b>BACKGROUND INFORMATION</b>		
Location:		195 E 600 S
Project Type:		Land Use Map Amendment
Applicants:		City Staff Initiated
Existing Land Use:		Design Commercial
Proposed Land Use:		Design Industrial
Surrounding Land Use:	North	Major Transportation Facilities
	South	Design Industrial
	East	Major Transportation Facilities/Design Commercial
	West	Design Commercial
Existing Zoning:		GC-2/PI-1
Proposed Zoning:		N/A
Surrounding Zoning:	North	PF
	South	PI-1
	East	PF/PI-1
	West	PI-1

**Background**

City Staff has initiated a proposed Land Use Map Amendment. The project looks to change the Land Use Map of the General Plan from the Design Commercial designation to the Design Industrial designation for the following two properties:

- 13:050:0268
- 13:050:0267

**Chapter 17.11 Amendments**

This development code, and the zoning map adopted as a part thereof, may be amended from time to time by the city council, but all proposed amendments must first be submitted to the planning commission for its recommendation. The procedure to be followed in amending the code and map shall be as set forth below.

**Sec 17.11.101 Written Petition Required - City Initiated Amendments Permitted**

Any person seeking an amendment of the development code or zoning map shall submit to the planning commission a written petition designating the change desired and the reasons therefor, and shall pay a nonrefundable filing fee in an amount established by resolution of the city council. Amendments to the code and map may also be initiated by action of the planning commission or upon request of the city council.

**Sec 17.11.102 Planning Commission To Make Recommendations**

Upon receipt of the petition the planning commission shall consider the request and, subject to completion of a public hearing on the matter before the planning commission with public notice given in accordance with the provisions of Section 17.11.103, shall submit its recommendations with respect thereto to the city council.

**Sec 17.11.103 Planning Commission To Conduct Public Hearing Before Recommending Amendments - Notice Of Hearing To Be Provided**

1. No ordinance approving an amendment to the official zone map or text of the development code, or approving a large scale development project may be enacted by the city council unless and until a public hearing relating to the proposed ordinance shall have been conducted by the planning commission.
2. Notice of the date, time and place of the first public hearing regarding a proposed amendment to the official zone map, text of the development code or ordinance of approval of a large scale development project shall be given at least 10 calendar days before the public hearing as follows:
  1. Published on the Utah Public Notice Website;
  2. Posted in at least three public locations within the city, or on the city's official website; and
  3. Mailed to each affected entity.

**Sec 17.11.104 Amendments To Be Adopted By Council - Notice Required**

1. The city council, at a public meeting called for the purpose, shall consider each proposed amendment to the official zone map, text of the development code, or ordinance of approval for a large scale development recommended to it by the planning commission and may act to adopt or reject the amendment or ordinance of approval as recommended by the planning commission or adopt the amendment after making any revision the city council considers appropriate.
2. Notice of the public meeting at which the city council will consider a proposed amendment or ordinance of approval shall be given at least twenty-four hours before the meeting, which notice shall, as a minimum, be posted in at least three public places within the city; or on the city's official website.

**Sec 17.11.105 Amendments To Be Adopted By Ordinance - Public Notice Of Adoption**

All amendments to the code and map shall be adopted, published and recorded in accordance with the applicable provisions of UCA 10-3-701 et seq.

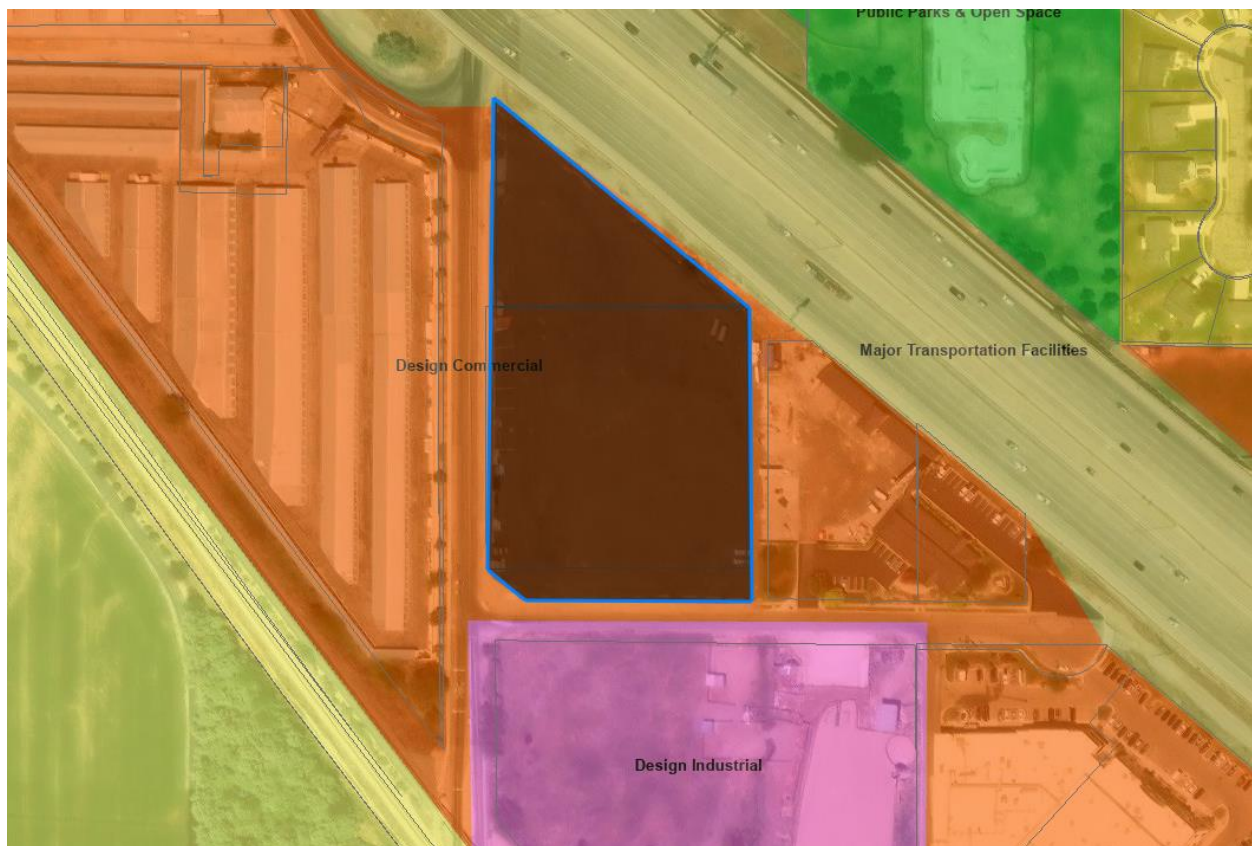
**17.11.200 Intent With Respect To Amendments**

All amendments to this code and zone map shall be made in accordance with the general plan of land use. It is hereby declared to be public policy that this code shall not be amended unless it can be shown that changed or changing conditions make the proposed amendment reasonably necessary to the promotion of the purposes of this code.

**Project Conditions of Approval**

1. N/A

**Project Map**



### **Standards Conditions of Approval**

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.

5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

### **Staff Recommendation**

The Land Use Map Amendment meets the requirements of Section 17.11.

### **Potential Motions – Land Use Map Amendment**

#### **Approval**

I move to recommend approval for the proposed Land Use Map Amendment, located at 195 East 600 South, American Fork City, UT 84003, from the Design Commercial to the Design Industrial Land Use designation.

#### **Denial**



I move to recommend denial for the proposed Land Use Map Amendment, located at 195 East 600 South, American Fork City, UT 84003, from the Design Commercial to the Design Industrial Land Use designation.

**Table**

I move to table action for the proposed Land Use Map Amendment, located at 195 East 600 South, American Fork City, UT 84003, from the Design Commercial to the Design Industrial Land Use designation, and instruct staff/developer to...

**Agenda Topic**

Public hearing, review, and recommendation on a proposed Zone Change, known as Strata Investments, located at approximately 195 E 600 S, American Fork City. On approximately 2.40 acres, the property proposes to change from the General Commercial (GC-2) Zone to the Planned Industrial (PI-1) Zone.

Location:		195 E 600 S
Project Type:		Land Use Map Amendment
Applicants:		City Staff Initiated
Existing Land Use:		Design Commercial
Proposed Land Use:		N/A
Surrounding Land Use:	North	Major Transportation Facilities
	South	Design Industrial
	East	Major Transportation Facilities/Design Commercial
	West	Design Commercial
Existing Zoning:		GC-2/PI-1
Proposed Zoning:		PI-1
Surrounding Zoning:	North	PF
	South	PI-1
	East	PF/PI-1
	West	PI-1

**Background**

City Staff has initiated a proposed Zoning Map Amendment (Zone Change). The project looks to change the Zoning Map from the GC-2 Planned Commercial zoning designation to the PI-1 Planned Industrial zoning designation for the following property:

- 13:050:0268

**Chapter 17.11 Amendments**

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Any person seeking an amendment of the development code or zoning map shall submit to the planning commission a written petition designating the change desired and the reasons therefor, and shall pay a nonrefundable filing fee in an amount established by resolution of the city council.

Amendments to the code and map may also be initiated by action of the planning commission or upon request of the city council.

**Sec 17.11.102 Planning Commission To Make Recommendations**

Upon receipt of the petition the planning commission shall consider the request and, subject to completion of a public hearing on the matter before the planning commission with public notice given in accordance with the provisions of Section 17.11.103, shall submit its recommendations with respect thereto to the city council.

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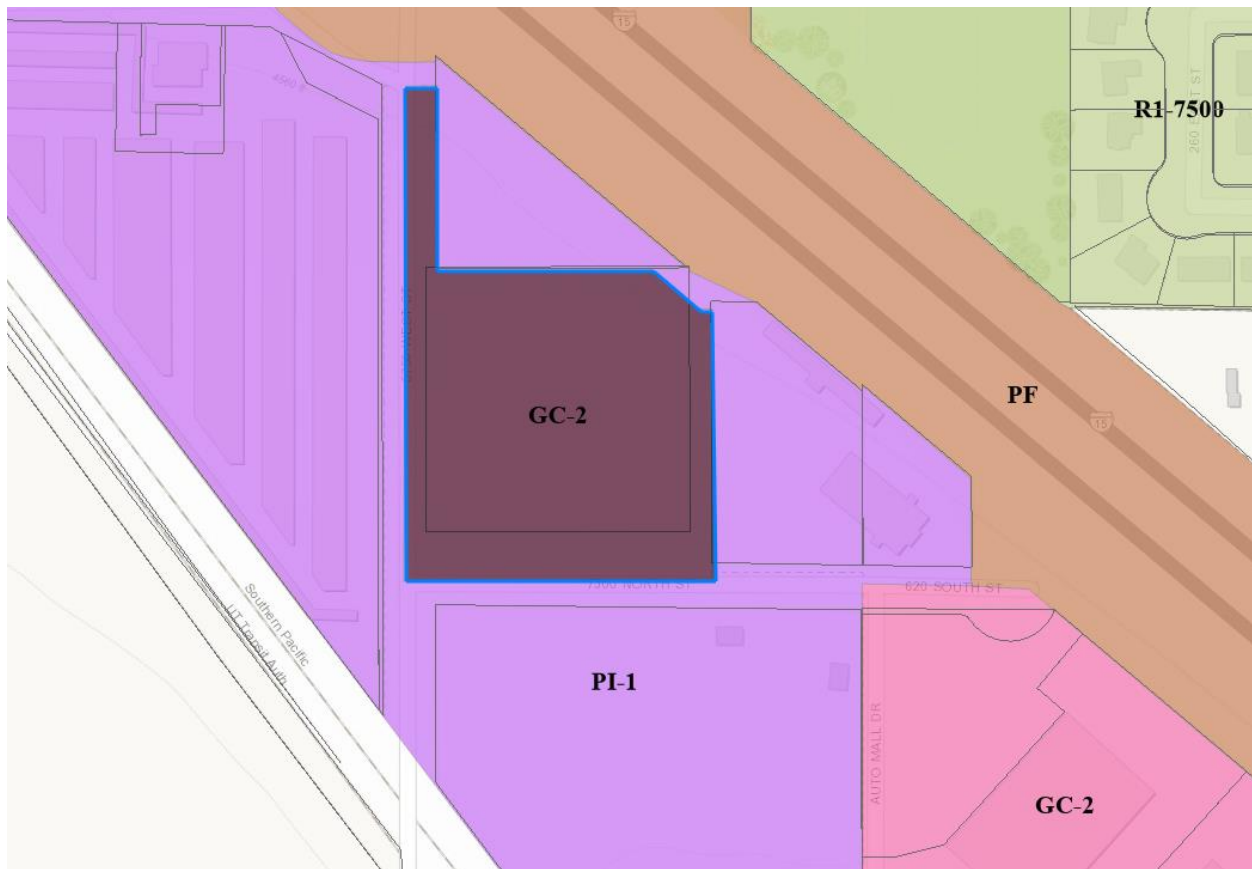
**Project Conditions of Approval**

1. N/A

**Findings of Fact**

1. The Zone Change meets the requirements of Section 17.11.

**Project Map**



### **Standards Conditions of Approval**

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.

4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
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11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

### **Potential Motions – Zone Change**

#### **Approval**

I move to recommend approval for the proposed Zone Change, located at 195 E 600 S, American Fork City, UT 84003, from the GC-2 zoning designation to the PI-1 designation, subject to any conditions found in the staff report.

### **Denial**

I move to recommend denial for the proposed Zone Change, located at 195 E 600 S, American Fork City, UT 84003, from the GC-2 zoning designation to the PI-1 designation.

### **Table**

I move to table action for the proposed Zone Change, located at 195 E 600 S, American Fork City, UT 84003, from the GC-2 zoning designation to the PI-1 designation, and instruct staff/developer to...

**Agenda Topic**

Review and action on an application for a Commercial Site Plan, known as North Pointe Business Park, Building “F” (Application #3), located at approximately 1260 S 630 E, American Fork City, UT 84003. The Commercial Site Plan will be on approximately 6.05 acres and will be in the PI-1 (Planned Industrial) Zone.

<b>BACKGROUND INFORMATION</b>		
Location:		1260 S 630 E
Project Type:		Commercial Site Plan
Applicants:		Dan Gould – GOULD PLUS Architects
Existing Land Use:		Design Industrial
Proposed Land Use:		N/A
Surrounding Land Use:	North	Design Industrial
	South	Design Industrial
	East	Design Industrial
	West	Design Industrial
Existing Zoning:		PI-1
Proposed Zoning:		N/A
Surrounding Zoning:	North	PI-1; GC-2
	South	PI-1
	East	PI-1
	West	PI-1
Square Footage (By Use)		Office – 10,990 s.f.; Warehouse – 98,900 s.f.
Total Number of Units		N/A
Parking Requirement		143 stalls required; 143 stalls provided



### **Background**

The applicant has applied for a Commercial Site Plan to develop an office/warehouse development. The project looks to provide 10,990 square feet of office use and 98,900 square feet of warehousing to the area. This is the final piece to the North Pointe Business Park between E Bromley Drive and 1300 South.

### **Section 17.6.101 – Administrative Site Plan Review**

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
  - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
  - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
  - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
  - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
  - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.

4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

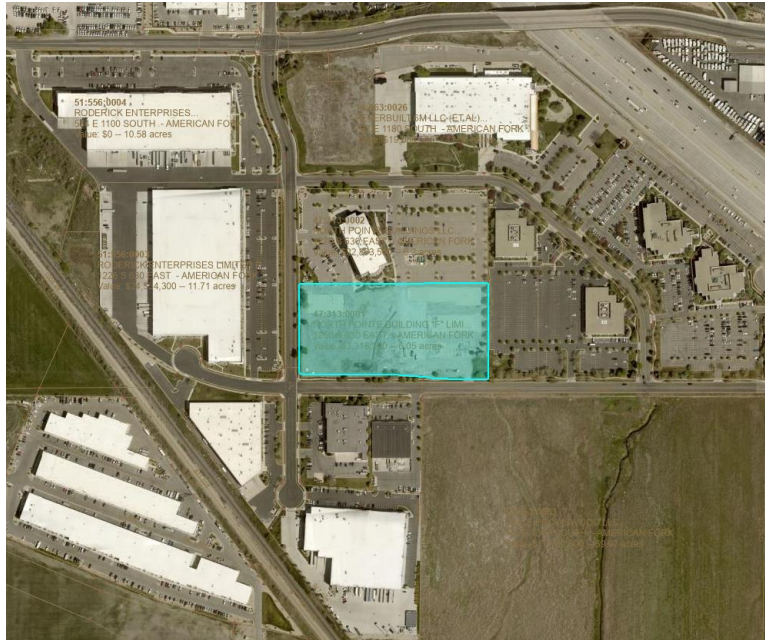
#### **Project Conditions of Approval**

1. Identify utility crossing inverts of existing and new storm drain line. Update SD design to eliminate potential conflict identified.
2. Provide missing elevations, callouts and design invert information
3. Provide easement document with reviewed legal description for proposed SD easement across neighbor's parcel. If the document is not recorded, an updated design will be required prior to construction.

#### **Findings of Fact**

1. The Commercial Site Plan MEETS the requirements of Section 17.6.101.

## Project Map



## Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

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3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.

5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
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10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

### **Staff Recommendation**

The Commercial Site Plan MEETS the requirements of Section 17.6.101. Staff recommends APPROVING the application WITH CONDITIONS.

### **Potential Motions – Commercial Site Plan**

#### **Approval**

I move to approve for the proposed Commercial Site Plan, located at approximately 1260 S 630 E, American Fork City, in the PI-1 Zone, subject to any conditions found in the staff report.

#### **Denial**

I move to deny the proposed Commercial Site Plan, located at approximately 1260 S 630 E, American Fork City, in the PI-1 Zone.

#### **Table**

I move to table action for the proposed Commercial Site Plan, located at approximately 1260 S 630 E, American Fork City, in the PI-1 Zone and instruct staff/developer to...



# NORTH POINTE WAREHOUSE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 25,  
TOWNSHIP 5 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN  
AMERICAN FORK CITY, UTAH COUNTY, UTAH

**Re-Submittal Acknowledgment Statement**

The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.

\_\_\_\_\_[Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.

\_\_\_\_\_[Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

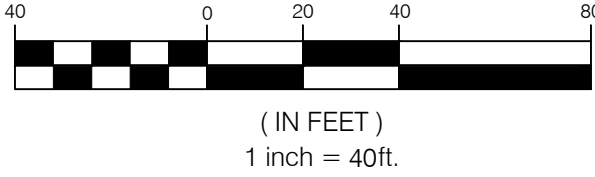
\_\_\_\_\_[Applicant Initial] This is the \_\_\_\_\_ [Ex: 1st] complete re-submittal of the subdivision constituting the start of the \_\_\_\_\_ [Same Number] Review Cycle.

**American Fork City  
Development Review**

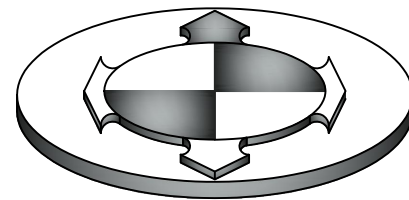
Sewer/Storm Drain Division Reviewed: ahardy 02/20/2025	Planning and Zoning Reviewed: tvaneckenburg 02/25/2025
Public Infrastructure Reviewed: dhoward 02/26/2025	Fire Department Reviewed: M. Sacco 02/27/2025
Water/PI Division Reviewed: asacco 02/26/2025	Engineering Division Reviewed: turkhill 02/26/2025
Communications Reviewed: MHunsaker 02/25/2025	Streets Division Reviewed: ehyde 02/25/2025

Address comments

**GRAPHIC SCALE**

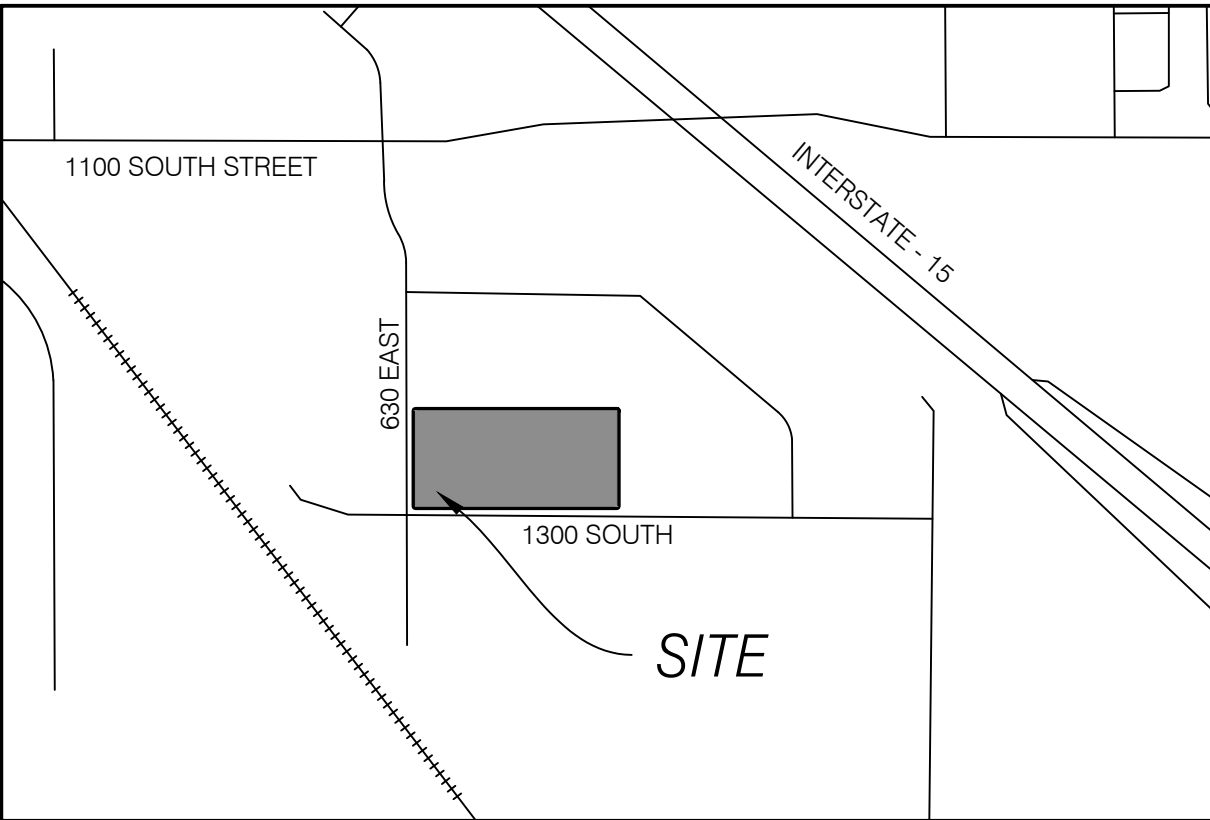


NORTH



**Next Step**

Proceed to the Development  
Review Committee on  
03.04.2025



VICINITY MAP

SCALE: 1" = 700'

OWNER/DEVELOPER:  
ROBINSON BROTHERS  
MIKE ROBINSON  
mike@robinson-brothers.com

**DRAWING INDEX**

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CDT.01	DEMO PLAN
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES
CDT.03	DETAILS & NOTES
CDT.04	DETAILS & NOTES

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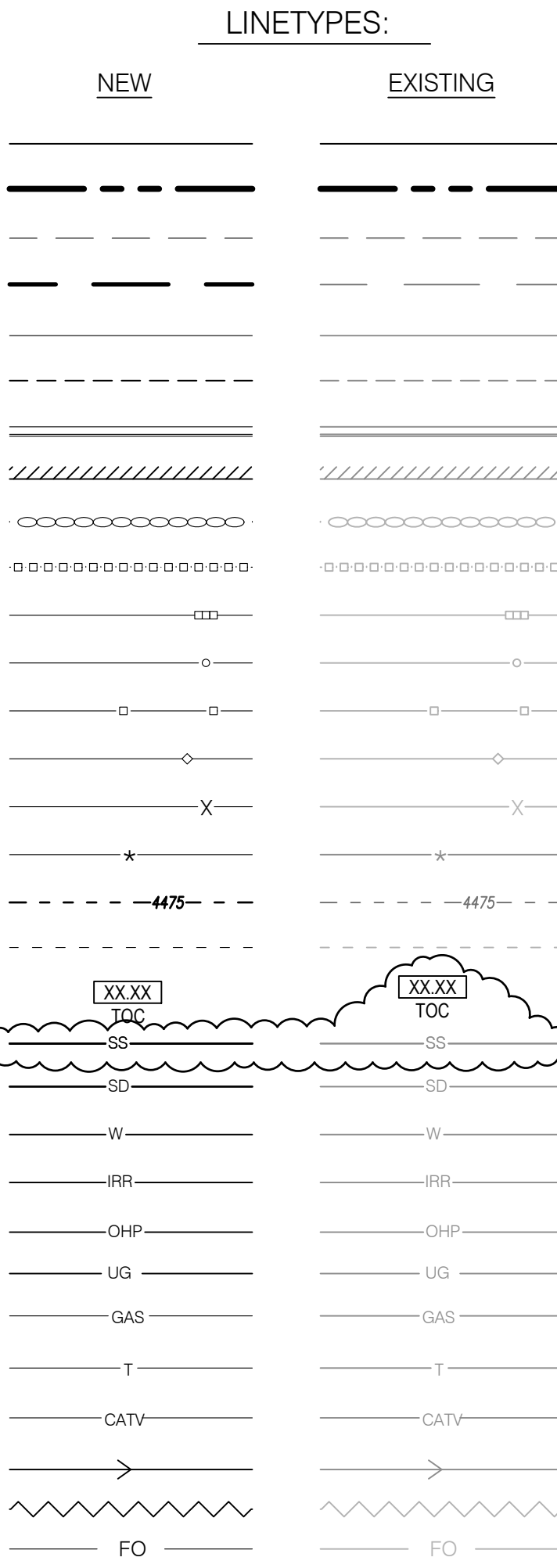
FEMA FLOOD PLAIN ZONE: X  
MAP: 49049C0307F  
EFFECTIVE DATE: 06/09/2020

<b>BENCHMARK CIVIL</b>		<b>PROFESSIONAL ENGINEER</b> 2/20/25 No. 10360773 M. CHRIS POULSEN STATE OF UTAH		<b>BENCHMARK ENGINEERING &amp; LAND SURVEYING</b> 9138 SOUTH STATE STREET SUITE # 100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com	
NORTH POINTE WAREHOUSE 1260 SOUTH 630 EAST AMERICAN FORK CITY, UTAH		DRAFT EH4 DATE: 09/02/2021	DESIGN JHO DATE: 09/16/2021	CHECK AGA DATE: 10/01/2021	PROJECT NO. 2104096
No.	DATE	DESCRIPTION			
12	12/04/24	RELOCATED WATER LINES AND STORM DRAIN SYSTEM			
13	12/12/24	RELOCATED WATER LINE SYSTEM			
14	01/06/25	RELOCATED WATER LINES AND STORM DRAIN SYSTEM			
15	01/28/25	REVISED SEWER LATERAL CONNECTION AND ADDED GREASE TRAP			
16	02/10/25	REVISED STORM DRAIN CONNECTION AND POND			
17	02/20/25	REVISED PER CITY COMMENTS			
					COVER
					1 OF 12

BENCHMARK ENGINEERING CONTACT: ALLISON G. ALBERT, PE







**CONSTRUCTION NOTES**

RESPONSIBLE DISTRICTS OR AGENCIES AND APPLICABLE STANDARDS  
CITY OR COUNTY: AMERICAN FORK  
WATER UTILITY COMPANY: AMERICAN FORK UTILITIES  
SEWER: AMERICAN FORK UTILITIES  
STORM DRAIN/GROUNDWATER: AMERICAN FORK UTILITIES  
ELECTRICAL: ROCKY MOUNTAIN POWER  
TELEPHONE: CENTURY LINK  
NATURAL GAS: DOMINION ENERGY

APPLICABLE STANDARDS: APWA 2017 STANDARDS

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**811**

**NOTE:**

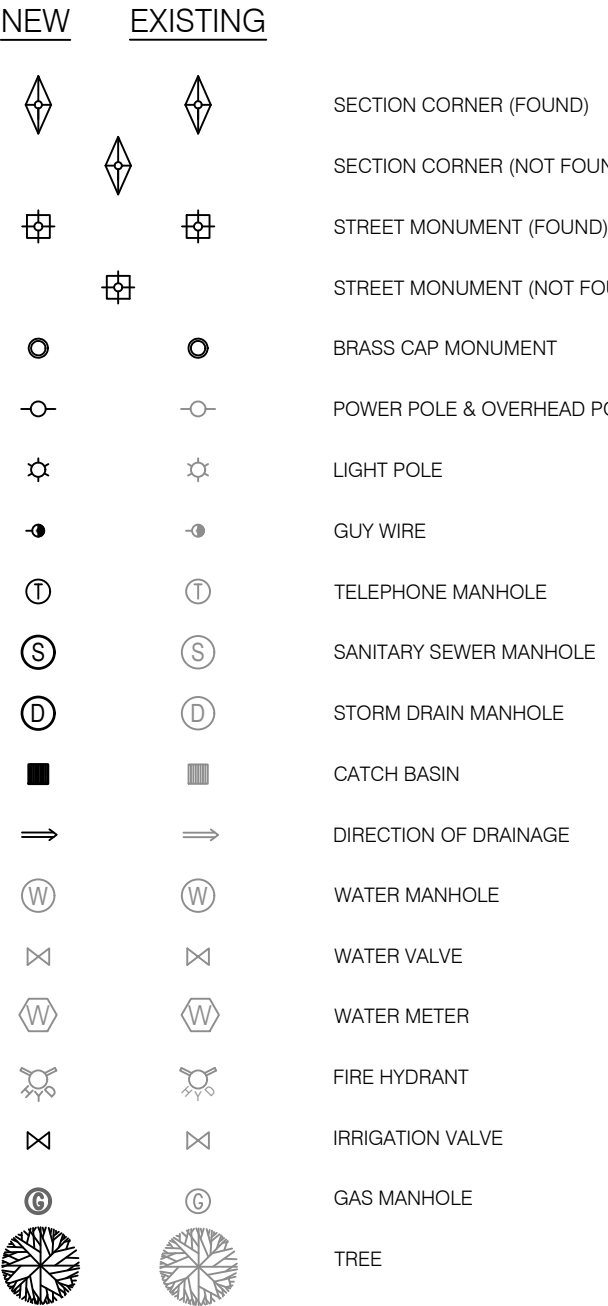
IN THE EVENT THAT THE CONSTRUCTION NOTES CONFLICT WITH RESPONSIBLE DISTRICT OR AGENCY STANDARDS, NOTES AND SPECIFICATIONS, THE DISTRICT OR AGENCY STANDARD NOTES AND SPECIFICATIONS GOVERN.

**CAUTION NOTICE TO CONTRACTORS**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR IDENTIFICATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

**SYMBOLS:**



**ABBREVIATIONS**

BC	BAR & CAP	PUE	PUBLIC UTILITY EASEMENT
BOR	BOTTOM OF VISIBLE WALL	R	RADIUS OF CURVE
CB	SECTION CORNER	RR	RAILROAD
CB	CATCH BASIN	ROW	RIGHT-OF-WAY
CF	CUBIC FEET	RW	RIGHT-OF-WAY
D	DELTA ANGLE	SSMH	SEWER MANHOLE
EG	EXISTING GROUND	SD	STORM DRAIN
EOA	EDGE OF ASPHALT	SF	SQUARE FEET
EOC	EDGE OF CONCRETE	TBC	TOP BACK OF CURB
EX	EXISTING	TMH	TELEPHONE MANHOLE
FF	FINISH FLOOR ELEVATION	TOA	TOP OF ASPHALT
FG	FINISHED GRADE	TOC	TOP OF CONCRETE
FH	FIRE HYDRANT	TOF	TOP OF FOOTING
FL	FLOW LINE	TOE	TOE OF SLOPE
GB	GRADE BREAK	TOG	TOP OF GRATE
GW	GUY WIRE	TOP	TOP OF SLOPE
HW	HEAD WALL	TOW	TOP OF WALL
IE	INVERT ELEVATION	TR	TELEPHONE RISER
LP	LENGTH OF CURVE	UGP	UNDERGROUND POWER
L	LIP OF CURB	VPC	VERTICAL POINT OF CURVATURE
LF	LINEAR FEET	VPI	VERTICAL POINT OF INTERSECTION
LP	LOW POINT	VPT	VERTICAL POINT OF TANGENCY
M-M	MONUMENT TO MONUMENT	WM	WATER METER
MANHOLE	MANHOLE	WW	WATER VALVE
MON	SURVEY MONUMENT		
OHP	OVERHEAD POWER		
PVC	POINT OF CURVATURE		
PI	POINT OF INTERSECTION		
PP	POWER POLE		
PVT	POINT OF TANGENCY		

**GENERAL**

- ALL MATERIALS AND CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
- CONTRACTOR AND APPLICABLE SUBCONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND PERIODIC PROGRESS MEETINGS. PRIOR TO ANY WORK BEING PERFORMED, THE CONTRACTOR SHALL CONTACT RESPONSIBLE DISTRICT OR AGENCY FOR A PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE PROJECT CONTACTS (48) HOURS IN ADVANCE OF SAE MEETING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC SAFETY AND OSHA STANDARDS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, THE GEOLOGY REPORTS AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL INSPECT THE SITE OF WORK PRIOR TO BEGINNING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.
- CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.
- SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.
- THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
- ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2017 EDITION AND THE MANUAL OF STANDARD PLANS 2017 EDITION, SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.
- THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE CONTRACTOR SHALL BE RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL BE EXPECTED THAT THE PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
- THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNUSUAL UNUSUAL CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH REGULAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHT-OF-WAY OR EASEMENTS FROM THE CITY AND/OR UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMUNICATING THE WORK, OR AS REQUIRED BY SAID PERMITS.
- CONCRETE PLACEMENTS SHALL BE CONTINUOUS BETWEEN CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL BE PLACED FOR SLAB-ON-GRADE SUCH THAT THE MAXIMUM DISTANCE BETWEEN JOINTS IS 20 FEET IN EITHER DIRECTION FOR LIGHT DUTY TRAFFIC AND 12 FEET IN EITHER DIRECTION FOR HEAVY DUTY TRAFFIC.
- IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
- ALL WORK OUTSIDE THE SCOPE OF THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RESPONSIBLE DESIGN. THESE PLANS DO NOT REPLACE ANY STRUCTURAL, ARCHITECTURAL, OR MECHANICAL PLANS SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION OR FABRICATION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY- EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION INFORMATION IS NOT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION BE MADE PRIOR TO CONSTRUCTION.
- ALL STAIRS AND RAILINGS ARE DESIGNED BY OTHERS AND MUST COMPLY WITH THE ADA STANDARDS FOR ACCESSIBLE DESIGN. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE. BEFORE ANY REPLACING OR REPAIRING OF EXISTING IMPROVEMENTS AND ANYTHING THAT HAS ALREADY BEEN CONSTRUCTED, THERE WILL BE NO EXTRA COST TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS. WHENEVER EXISTING IMPROVEMENTS ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILL AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.
- PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION FURNISHED ABOVE, AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATION REDLINES AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

**UTILITIES**

- CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY LOCAL, COUNTY, STATE, AND INDIVIDUAL UTILITY CODES.
- ALL UTILITIES INSTALLED IN ACCORDANCE WITH THE RESPONSIBLE DISTRICTS OR AGENCIES STANDARDS AND SPECIFICATIONS.
- COORDINATE ALL SERVICE LATERAL AND BUILDING CONNECTIONS WITH CORRESPONDING ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWING FOR LOCATION AND ELEVATION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED.
- ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE TO BE PRECAST CONCRETE FROM APPROVED LOCAL MANUFACTURER UNLESS OTHERWISE NOTED, AND COMPLY WITH CITY/COUNTY STANDARD.
- ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR ADS-HD PIPE OR EQUAL UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40R BETTER.
- ALL GAS LINES TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
- ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.
- ALL PHONE AND TV CONDUITS TO BE PVC SCH 40R BETTER.
- NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE AND SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.
- PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING BY HAND DIGGING, AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.
- ACTUAL CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED PRIOR TO THE COMPLETION OF STABILIZATION AND TESTING OF NEW WATER MAINS. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF THE CITY/COUNTY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE, INSPECTED, TESTED, AND APPROVED BY AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, AND STREET PAVING.

**SEWER**

- ALL SEWER LINE TO BE FLUSHED, PRESSURE TESTED TO 4 PSI VIDEO INSPECTED AND OTHERWISE TESTED IN ACCORDANCE WITH DISTRICT STANDARDS PRIOR TO PLACING IN SERVICE.
- ALL SEWER PIPES ARE TO BE SDH-35 PVC PIPE.
- SEWER MANHOLES, LATERALS AND CLEANOUTS TO BE INSTALLED PER RESPONSIBLE DISTRICT OR AGENCY STANDARDS. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN. THE CLEANOUT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.
- SEWER CLEANOUTS MUST BE INSTALLED AT A MINIMUM OF EVERY 50' L.F. FOR 4" NCH 40 LATERALS AND EVERY 100' L.F. FOR 6" NCH 40 LATERALS, OR PER THE RESPONSIBLE DISTRICT OR AGENCY STANDARDS, WHICHEVER IS MORE FREQUENT.
- A SEWER CLEANOUT MUST BE INSTALLED 5' L.F. TO 10' L.F. FROM ANY PROPOSED STRUCTURE, OR PER THE RESPONSIBLE DISTRICT OR AGENCY STANDARDS.
- ALL SEWER LATERAL BENDS AND ANGLES TO BE INSTALLED AS SWEEPING BENDS WITH SEWER CLEANOUTS.
- DURING CONSTRUCTION OF THE SEWERLINE, WYES NEED TO BE INSTALLED FOR THE LATERALS. LATERALS ARE #" AND MUST TO COME IN AT THE TOP OF THE PIPE WITH A WYE. (SEE RESPONSIBLE DISTRICT OR AGENCY STANDARDS).
- IT IS THE INTENT ON THESE PLANS THAT ALL SEWER PIPES SHALL SLOPE TO AN EXISTING SEWER CONNECTION VIA GRAVITY FLOW. CONTRACTOR TO START AT THE LOW END OF GRAVITY UTILITY LINES AND VERIFY THAT ALL INVERT ELEVATIONS PROVIDE SLOPE TO EXISTING CONNECTION VIA GRAVITY. SLOPES MUST MEET OR EXCEED THE SEWER DISTRICTS MINIMUM STANDARDS. NOTIFY ENGINEER IF THERE ARE DISCREPANCIES THAT WOULD CAUSE THE SEWER UTILITY NOT TO DRAIN VIA GRAVITY ON THE SITE.

**WATER**

- WATERLINES SHALL BE PVC C-200. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR TEN FEET HORIZONTAL SEPARATION FROM SEWERLINE.
- ALL WATERLINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
- WATER LINES SHALL BE 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS. ALL WATER LINES SHALL BE LOOPEO AROUND GRASSY LINES OR ROPED PER RESPONSIBLE DISTRICT OR AGENCY INSPECTOR.
- CONTRACTOR TO NOTIFY RESPONSIBLE DISTRICT OR AGENCY FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HRS. MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH RESPONSIBLE DISTRICT OR AGENCY. ALL TESTS TO BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
- BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4 INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, LINE VALVE, AND HYDRANT COMPLETE TO MEET RESPONSIBLE DISTRICT OR AGENCY STANDARDS, UNLESS OTHERWISE NOTED ON PLANS.

**EXISTING UTILITIES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN OR NOT SHOWN. THE INFORMATION SHOWN ON THE PLANS WITH REGARDS TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATION AND/OR RECORD INFORMATION. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE FACILITIES SHOWN AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION OR FABRICATION. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY- EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION INFORMATION IS NOT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION BE MADE PRIOR TO CONSTRUCTION.
- PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- ALL MANHOLE RIMS, LAMPHOUSES, VALVE BOX COVERS, MONUMENT BOXES AND CATCH BASIN GRATES ARE TO BE ADJUSTED TO FIT THE FINISHED GRADE AFTER PAVING, UNLESS OTHERWISE NOTED. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL PIPES, WALLS, ETC. ARE ADEQUATELY BRACED DURING CONSTRUCTION.
- CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH APWA 2017 STANDARD DRAWINGS AND STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.
- THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.
- SUBSOL INVESTIGATIONS MUST BE CONDUCTED AT THE SITE OF THE WORK. ALL FOOTING, FOUNDATION OR STRUCTURAL WALL CONSTRUCTION MUST ADHERE TO THE RECOMMENDATIONS DETAILED BY THE PROFESSIONAL REPORT OF THESE INVESTIGATIONS, CREATED BY A LICENSED GEOTECHNICAL ENGINEER.
- SOIL INVESTIGATIONS MUST BE CONDUCTED BY A LICENSED GEOTECHNICAL ENGINEER FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL, AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.
- ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT STRUCTURAL SECTION FOR TOP OF SUB GRADE ELEVATIONS.
- IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
- UNSATURABLE MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC. SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER (AND/OR GEOTECHNICAL GEOSCIENT, WHERE EMPLOYED) FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES.
- NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY OWNER.

**CLEARING AND GRADING**

- CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH APWA 2017 STANDARD DRAWINGS AND STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.
- THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.
- SUBSOL INVESTIGATIONS MUST BE CONDUCTED AT THE SITE OF THE WORK. ALL FOOTING, FOUNDATION OR STRUCTURAL WALL CONSTRUCTION MUST ADHERE TO THE RECOMMENDATIONS DETAILED BY THE PROFESSIONAL REPORT OF THESE INVESTIGATIONS, CREATED BY A LICENSED GEOTECHNICAL ENGINEER.
- SOIL INVESTIGATIONS MUST BE CONDUCTED BY A LICENSED GEOTECHNICAL ENGINEER FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL, AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.
- ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT STRUCTURAL SECTION FOR TOP OF SUB GRADE ELEVATIONS.
- IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
- UNSATURABLE MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC. SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER (AND/OR GEOTECHNICAL GEOSCIENT, WHERE EMPLOYED) FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES.
- NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY OWNER.
- THE EXISTING TOPOGRAPHY ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY BENCHMARK ENGINEERING AND LAND SURVEYING ON APRIL 22, 2021 AND MAY HAVE BEEN MODIFIED SINCE THIS SURVEY WAS PERFORMED.
- FILLS IN EXCESS OF 4 FEET IN THICKNESS AND BENEATH ALL FOUNDATIONS OR PAVEMENT SECTIONS SHALL BE COMPACTED TO 96 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 COMPACTION CRITERIA. ALL OTHER STRUCTURAL FILL LESS THAN 4 FEET IN THICKNESS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE ABOVE CRITERIA. REFERENCE THE GEOTECHNICAL REPORT.
- COMPACTION TESTING WILL BE ACCOMPLISHED BY THE CONTRACTOR, OR THE CONTRACTOR WILL HAVE SUCH TESTING ACCOMPLISHED BY A SEPARATE CONTRACTOR. TEST RESULTS WILL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS AFTER TEST.
- CONTRACTOR TO SUBMIT PROCTOR AND/OR MARSHALL TEST DATA 24 HOURS PRIOR TO COMPACTION TESTS.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON PLANS.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL. ALL SLOPES IN ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER FACILITIES SHALL BE GRADED NO STEEPER THAN 2 TO 1 FOR CUT AND FILL.
- GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN, CURBS AND PAVEMENT AREAS WHICH ARE NOT INSTALLED PER PLAN MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.

- WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSE SURVEYOR VERIFY THE ELEVATION AND LOCATION OF THE EXISTING HARDCAPE TIE-INS AS WELL AS THE CROSS SLOPE TO THE CURB AND GUTTER FORMS. PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSE SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POUTS WITHOUT THE APPROVAL OF THE ENGINEER.
- SITE WORK SHALL MEET OR EXCEED OWNERS SITE SPECIFICATIONS.
- ALL SITE CONCRETE OR CONCRETE ELEMENT NOT SPECIFICALLY SHOWN AND DETAILED ON STRUCTURAL DRAWINGS TO HAVE A MINIMUM OF 28 DAY COMPRESSION STRENGTH OF 4000 PSI.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
- DESIGN SLOPES AND TIE-IN SLOPES SHALL CONFORM TO THE FOLLOWING LIMITATIONS: CONTRACTOR SHALL NOTIFY CIVIL ENGINEER FOR REDESIGN IF ANY AREAS EXCEED THE FOLLOWING SLOPES PRIOR TO FORMING, POURING OR PAVING ANY HARDCAPE.
  - LANDSCAPING SHALL SLOPE AT A MINIMUM OF 2% AND MAXIMUM OF 33% IN ANY DIRECTION.
  - ASPHALT SHALL SLOPE AT A MINIMUM OF 1.5% AND MAXIMUM OF 5% IN ANY DIRECTION. SEE 68.6
  - CONCRETE FLATWORK SHALL SLOPE AT A MINIMUM OF .1% AND MAXIMUM OF 5% IN ANY DIRECTION. SEE 68.6
  - CURB AND GUTTER SHALL SLOPE AT A MINIMUM OF 0.5% AND MAXIMUM OF 5% IN THE LONGITUDINAL DIRECTION
  - ROADWAY CROSS SLOPES SHALL BE BETWEEN 2% AND 4%, OR WITHIN THE RESPONSIBLE DISTRICT OR AGENCY'S LIMIT.
  - FINISHED GRADE SHALL SLOPE AWAY FROM ALL BUILDINGS FROM A MINIMUM OF 10 FEET WITH THE FOLLOWING SLOPES: LANDSCAPING AT A MINIMUM OF 5%, AND IMPERVIOUS SURFACES AT A MINIMUM OF 2%.
  - ALL ADA COMPONENTS SHALL MEET CURRENT ADA AND APWA SLOPE REQUIREMENTS.

**DEWATERING**

- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE DESIGNED AND OPERATED SO THAT THE GROUND LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PRE-CONSTRUCTION WORK. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEM SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
- THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.
- SUMPS SHALL BE NO DEEPER THAN 5 FEET AND SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.
- THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS," DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATION SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UTILITY POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.
- ONE HUNDRED PERCENT STANDBY PUMPING CAPACITY SHALL BE AVAILABLE ON SITE AT ALL TIMES AND SHALL BE CONNECTED TO THE DEWATERING SYSTEM PRIMING AS TO PERMIT IMMEDIATE USE. IN ADDITION STANDBY EQUIPMENT AND APPLIANCES FOR ALL ORDINARY EMERGENCIES, AND COMPETENT WORKMEN FOR OPERATION AND MAINTENANCE OF ALL DEWATERING SYSTEMS SHALL BE ON SITE AT ALL TIMES. STANDBY EQUIPMENT SHALL INCLUDE EMERGENCY POWER GENERATION AND AUTOMATIC SWITCH OVER TO THE EMERGENCY GENERATOR WHEN NORMAL POWER FAILS. DEWATERING SYSTEMS SHALL NOT BE SHUT DOWN BETWEEN SHIFTS, ON HOLIDAYS, ON WEEKENDS, OR DURING WORK STOPPAGES.

**SITE SAFETY AND MAINTENANCE**

- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE SITE, AND THE ENGINEER SHALL HOLD THE OWNER AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR AGREES THAT:
  - THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
  - THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
  - THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
  - THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
  - THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
  - UNLESS OTHERWISE NOTED, ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF-SITE AT THE CONTRACTORS EXPENSE.
  - THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVED PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION WORK IN EASEMENT AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID AND/OR RIGHT-OF-WAY. ALL CONSTRUCTION WORK IN UDOT RIGHT-OF-WAY SHALL BE SUBJECT TO INSPECTION BY THE STATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT INSPECTIONS TAKE PLACE WHERE AND WHEN REQUIRED AND TO INSURE THAT ALL WORK IS COMPLETED TO UDOT STANDARDS.

**SURFACE IMPROVEMENTS:**

- SUBGRADE PREPARATION: SUBGRADE SHALL BE COMPACTED TO A 96% RELATIVE COMPACTION TO A MINIMUM DEPTH OF 8" FOR ALL ON-SITE DEVELOPMENT. ALL OFF-SITE IMPROVEMENTS ARE TO BE DONE PER APWA STANDARDS.
- AGGREGATE SUB-BASE: AGGREGATE SUB-BASE SHALL BE GRANULAR BACKFILL BORROW. AGGREGATE, SUB-BASE MATERIAL, SHALL BE CLEAN AND FREE FROM VEGETABLE MATTER AND OTHER DELETERIOUS SUBSTANCE. AGGREGATE SHALL COMPLY WITH THE GUIDELINE REQUIREMENTS FOR PAVEMENTS FOUND IN THE PROFESSIONALLY PREPARED OF THE SOILS INVESTIGATION COMPLETED ON THIS SITE.
- AGGREGATE BASE: AGGREGATE BASE SHALL BE GRADE 3/4 UNTREATED BASE COURSE, AND COMPLY PREPARED REPORT OF THE SOILS INVESTIGATION PREPARED ON THIS SITE.
- ALL SIDEWALKS AND CROSSINGS TO MEET CURRENT ADA STANDARDS/ APWA STANDARDS.
- PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE GENERAL NOTES, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTORS UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.
- INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH CITY STANDARDS.
- PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT BY THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY, AND POWER COMPANY TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
- STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH MUTCD, UDOT, & APWA 32 17 23.
- DURING THE BIDDING PROCESS, CONTRACTOR TO REVIEW DESIGN SLOPES SHOWN FOR PAVEMENT AND WARRANTY THE PAVEMENT TO THE OWNER BASED UPON THE DESIGN SLOPES SHOWN HEREON. CONCERNS WITH SLOPES MUST BE BROUGHT DURING THE BIDDING PROCESS.
- IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SLOPE TO A CATCH BASIN, INLET BOX OR CUT INTO A STREET. CONTRACTOR TO VERIFY FINISH SPOT ELEVATIONS AND NOTIFY ENGINEER IF THERE ARE DISCREPANCIES THAT WOULD CAUSE PUDDING ON THE SITE.

NO.	DATE	DESCRIPTION
12	12/20/24	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
13	12/20/24	RELOCATED WATER LINE SYSTEM
14	01/06/25	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
15	01/06/25	REVISED SEWER LATERAL CONNECTION AND ADDED GREASE TRAP
16	02/05/25	REVISED STORM DRAIN CONNECTION AND POND
17	02/05/25	REVISED PER CITY COMMENTS

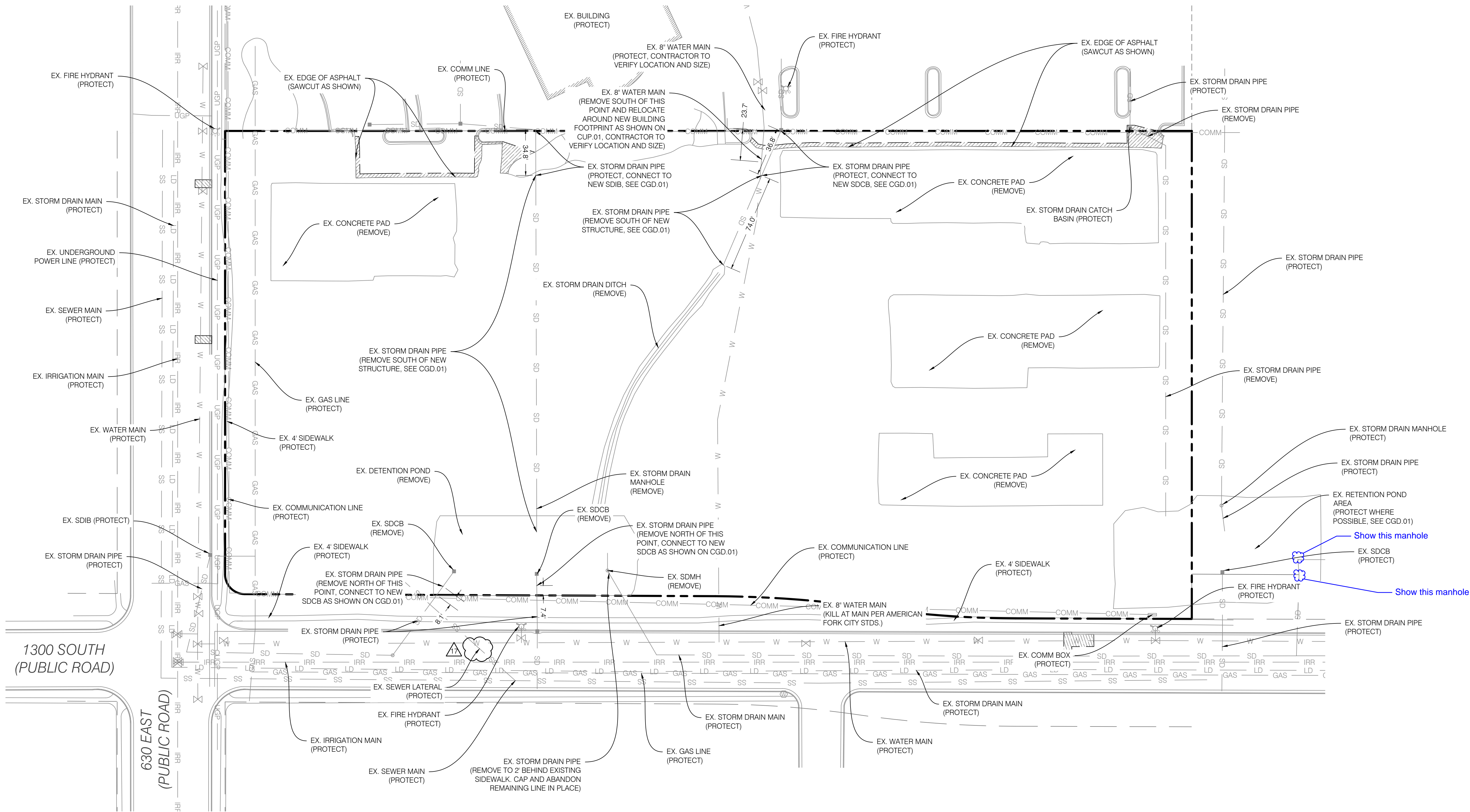
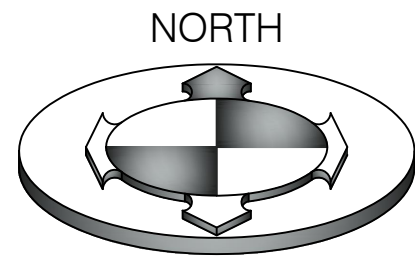
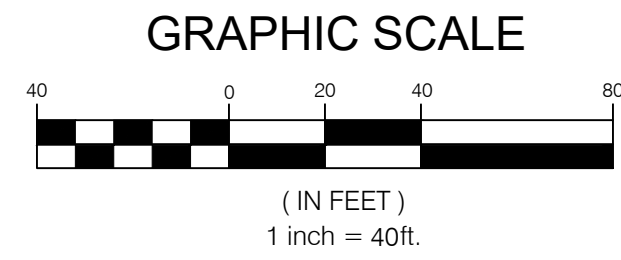
ADJUST ACCOUNTING FOR REDUCED SHEETS

**PROFESSIONAL ENGINEER**

No. 10380773  
**M. CHRIS POULSEN**  
STATE OF UTAH

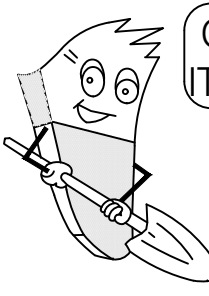
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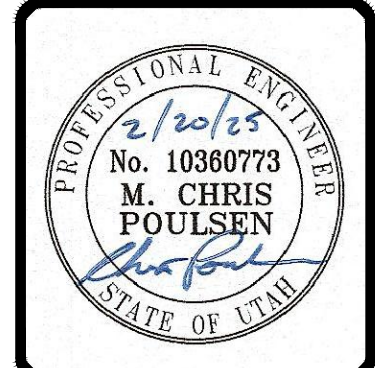
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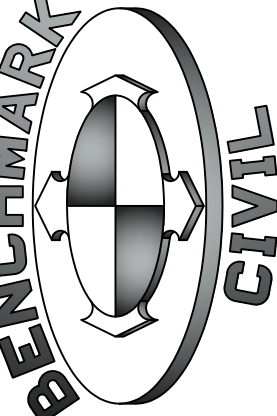
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NO.	DATE	DESCRIPTION
12	12/24/24	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
13	12/12/24	RELOCATED WATER LINE SYSTEM
14	01/06/25	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
15	01/06/25	REVISED SEWER LATERAL CONNECTION AND ADDED GREASE TRAP
16	02/01/25	REVISED STORM DRAIN CONNECTION AND POND
17	02/02/25	REVISED PER CITY COMMENTS
SCALE MEASURES FUNCTION ON FULL SIZE SHEETS		
ADJUST ASSUMES FOR PARTIAL SIZE SHEETS		





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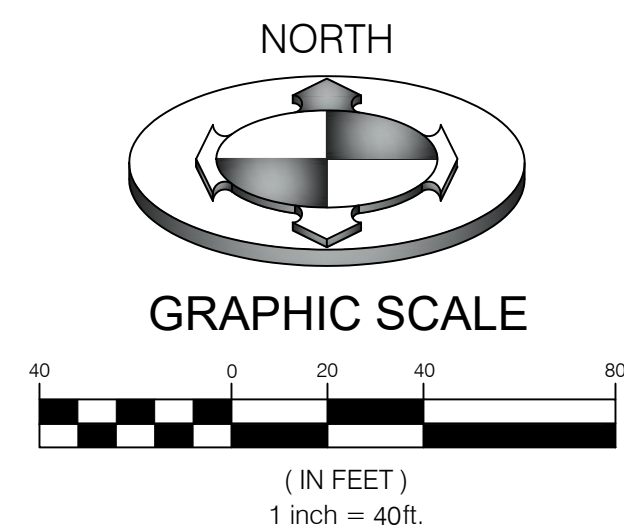
1260 SOUTH 630 EAST  
AMERICAN FORK CITY, UTAH

PROJECT NO. 2104096

DEMO  
PLAN

CDP.01  
3 OF 12





CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
(1)	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01
(2)	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT.01
(3)	CONCRETE CURB AND GUTTER PER AMERICAN FORK CITY TYPE 'E'	3/CDT.01
(4)	RELEASE CURB & GUTTER	8/CDT.01
(5)	SIDEWALK THICKENED EDGE	2/CDT.01
(6)	SIDEWALK PER APWA #231	
(7)	ADA RAMP	1/CDT.02
(8)	ADA SIGN	1/CDT.02
(9)	DRIVE APPROACH PER APWA #225	
(10)	SAWCUT AND REMOVE PER AMERICAN FORK CITY STDS	
(11)	TRANSITION CURB & GUTTER	
(12)	2' CURB CUT	
(13)	ASPHALT PAVEMENT WITH BASE PER AMERICAN FORK CITY STDS	
(14)	6" Ø CONCRETE BOLLARD	
(15)	SNOW STORAGE AREA	
(16)	HAMMERHEAD FIRE TURNAROUND RADIUS	
(17)	4' CONCRETE WATERWAY PER APWA #211	
(18)	'NO PARKING - FIRETRUCK TURNAROUND' SIGN	
(19)	'END OF FIRE LANE-NO FIRETRUCK TURN AROUND' SIGN	
(20)	'FIRE LANE' SIGN (WITH DIRECTIONAL ARROW POINTING EAST)	

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	110,041	41.7
HARDSCAPE	106,687	40.5
LANDSCAPE	46,978	17.8
TOTAL	263,706	100

**NOTE:**  
SLOPE ACROSS THE ACCESSIBLE PARKING STALLS & ACCESS ISLE SHALL NOT EXCEED A 1:48 (2.00%) SLOPE, THE MAX GRADE DIFFERENCE BETWEEN THE ASPHALT SURFACE, ACCESSIBLE RAMP, AND SIDEWALK SHALL NOT EXCEED 1/4 INCH VERTICAL OR 1/2 INCH WHEN BEVELED. THE ACCESSIBLE MEANS OF EGRESS INCLUDING THE DRIVEWAY PORTION SHALL NOT EXCEED A SLOPE OF 1:20 (5.0%) & A CROSS SLOPE OF 1:48 (2.0%). ALL EXTERIOR DOOR WAY ACCESS REQUIRE AN EXTERIOR LANDING 60 INCHES IN LENGTH WITH A SLOPE NOT EXCEEDING A 1:48 (2.0%) SLOPE

NOTE:  
NO OBJECTS ABOVE 3.0' TALL ALLOWED IN SITE TRIANGLES.

PARKING COUNT		
PARTICULARS	PROVIDED	
	STANDARD	ADA
PARKING STALLS	136	7
TOTAL	143	

NOTE:  
ALL WORK IN THE PUBLIC RIGHT-OF-WAY TO BE DONE IN  
STRICT ACCORDANCE WITH CURRENT AMERICAN FORK CITY  
STANDARDS AND SPECIFICATIONS.

NOTE:  
CONTRACTOR TO NOTIFY CITY ENGINEER IF RUTTING OR  
PUMPING OCCURS DURING CONSTRUCTION ACTIVITIES.

NOTE:  
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO  
EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD  
VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN  
SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS  
THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE  
INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 68.  
SEE NOTES 64, 66, & 83 ON CGN.01 FOR FURTHER DETAIL.




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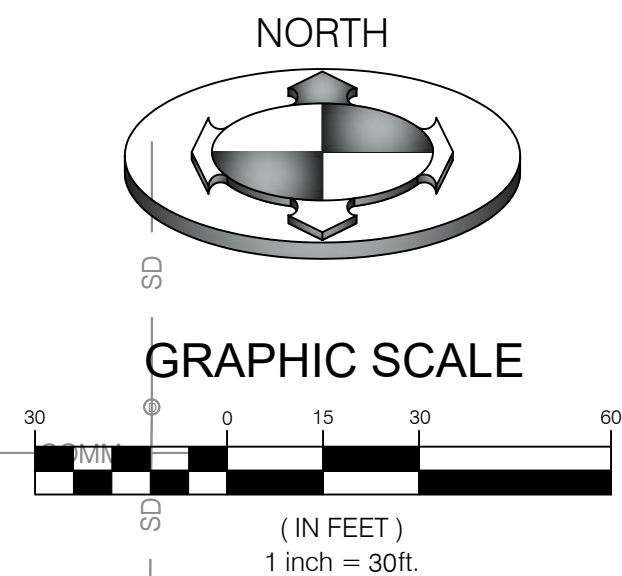
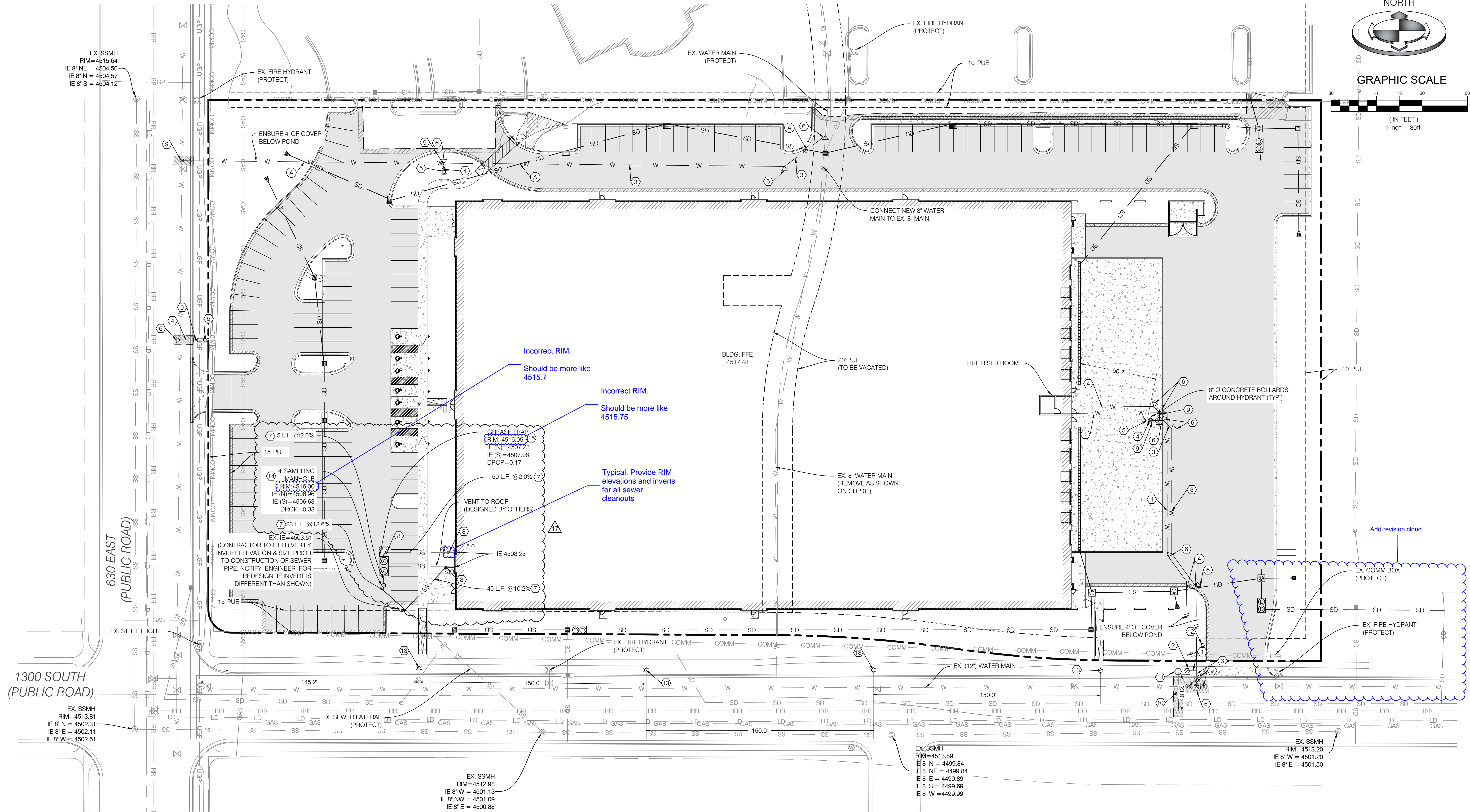
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CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
1	2" POLY WATER SERVICE LINE	
2	2" WATER METER & VAULT PER AMERICAN FORK CITY STDS.*	4/CDT.01
3	8" PVC C-900 WATER LINE	
4	6" PVC C-900 FIRELINE	
5	FIRE HYDRANT W/ VALVE PER AMERICAN FORK CITY STDS.	5/CDT.01
6	THRUST BLOCK WITH MECHANICAL RESTRAINTS PER AM FORK CITY STDS.	6/CDT.01
7	6" PVC SDR-35 SEWER LATERAL @ 1% MIN. SLOPE PER AMERICAN FORK STDS.	7/CDT.01
8	SEWER CLEAN OUT PER AMERICAN FORK STDS. #15.23	7/CDT.01
9	GATE VALVE PER AMERICAN FORK STDS.	5/CDT.01
10	1" POLY IRRIGATION SERVICE LINE	2/CDT.02
11	1" IRRIGATION METER PER AMERICAN FORK CITY STDS.	2/CDT.02
12	GROUNDWATER MONITORING WELL	4/CDT.03
13	NEW STREETLIGHT PER AMERICAN FORK CITY STDS.	
14	4" SAMPLING MANHOLE PER APWA STDS #411	
15	GREASE TRAP PER SCHIER MODEL NUMBER "GB-1500"	3/CDT.04

NOTE:  
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

NOTE:  
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

NOTE A. (A)  
12" OF VERTICAL SEPARATION REQUIRED BETWEEN STORM AND WATER LINES. LOOP WATER MAIN IF IN CONFLICT.

NOTE B. (B)  
18" OF VERTICAL SEPARATION AND 10' OF HORIZONTAL SEPARATION REQUIRED BETWEEN SEWER AND STORM. CONTACT ENGINEER FOR REDESIGN IF NECESSARY

NOTE:  
ALL SANITARY SEWER MAINS AND LATERALS MUST BE INSPECTED AND APPROVED BY THE CITY INSPECTOR BEFORE TRENCH BACKFILLING IS COMPLETED.

NOTE:  
ALL LATERAL CONNECTIONS SHALL BE INSERT-A-TEE OR WYE AT TEN O'CLOCK OR TWO O'CLOCK POSITIONING TO THE CENTER OF THE MAIN LINE.

CITY NOTE:  
COMMUNICATIONS INFRASTRUCTURE WITHIN THE PUE IS REQUIRED TO BE INSTALLED BY THE DEVELOPER. THIS INCLUDES INSTALLING CONDUIT AND BOXES FOLLOWING CITY CODE 17.5.135 FOR FUTURE CITY NEEDS AND USES.



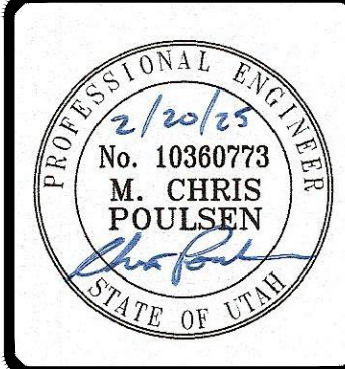
CALL BEFORE YOU DIG.  
IT'S FREE & IT'S THE LAW.

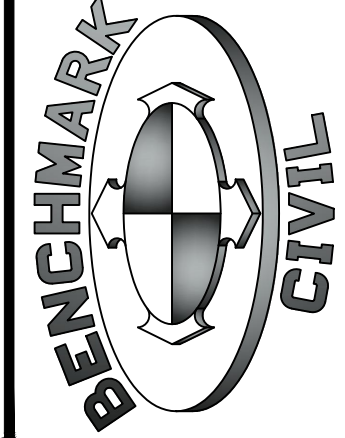
BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER

1-800-662-4111  
www.bluestakes.org



DESCRIPTION		DATE
RELOCATED WATER LINES AND STORM DRAIN SYSTEM	12/20/24	
RELOCATED WATER LINES AND STORM DRAIN SYSTEM	12/20/24	
RELOCATED WATER LINES AND STORM DRAIN SYSTEM	01/06/25	
REVISED SEWER LATERAL CONNECTION AND ADDED GREASE TRAP	10/01/2021	
REVISED STORM DRAIN CONNECTION AND POND	02/02/25	
REVISED PER CITY COMMENTS	02/02/25	





**BENCHMARK**  
ENGINEERING &  
LAND SURVEYING  
CIVIL

**BENCHMARK**  
ENGINEERING &  
LAND SURVEYING

**NORTH POINTE WAREHOUSE**

1260 SOUTH 630 EAST  
AMERICAN FORK CITY, UTAH

PROJECT NO. 2104096

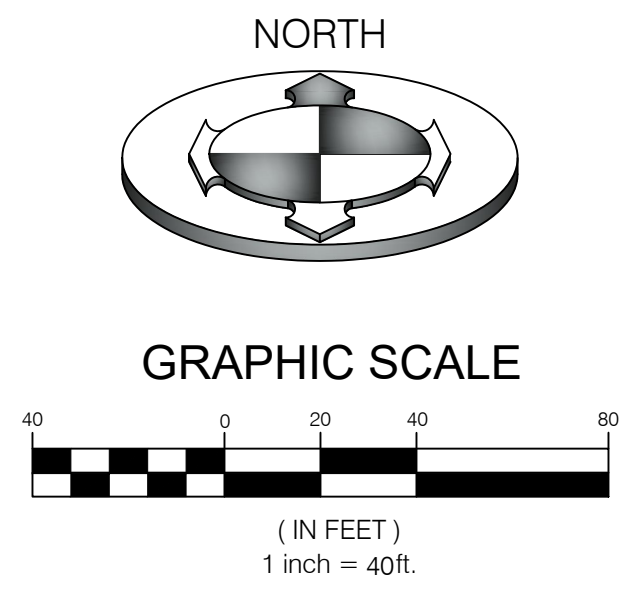
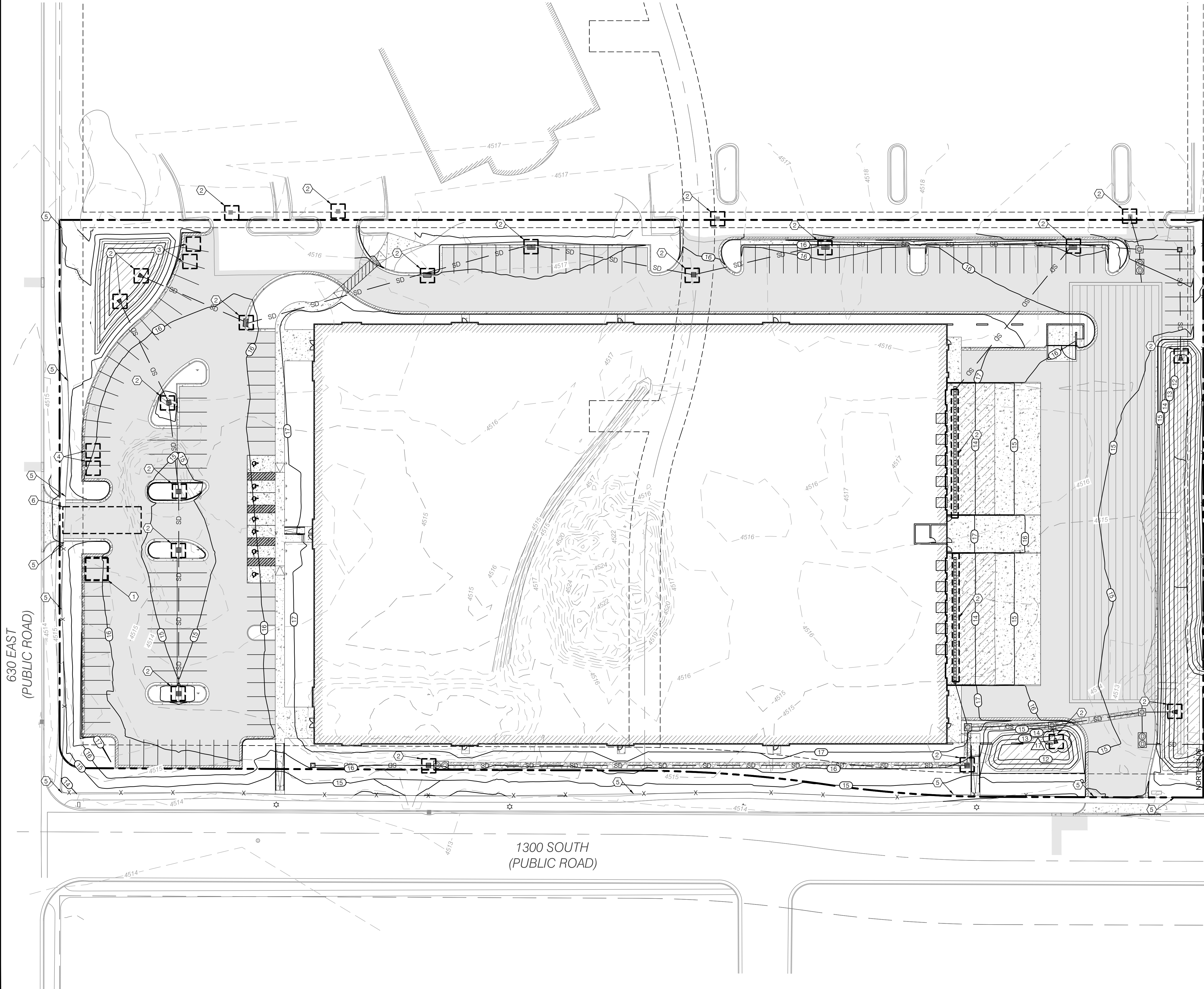
**UTILITY  
PLAN**

CUP.01  
5 OF 12









SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.		
NO.	DESCRIPTION	DETAIL
①	CONCRETE WASTE MANAGEMENT	1/CEP.02
②	INLET PROTECTION WATTLE	2/CEP.02
③	MATERIALS STORAGE	3/CEP.02
④	PORTABLE TOILETS	4/CEP.02
⑤	SILT FENCE	6/CEP.02
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02

NOTE: CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTORS EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.

Need to expand to show the area you will be working in here.

Show proposed protection to prevent pollutants from entering box.

Include protection for existing catch basins



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BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER

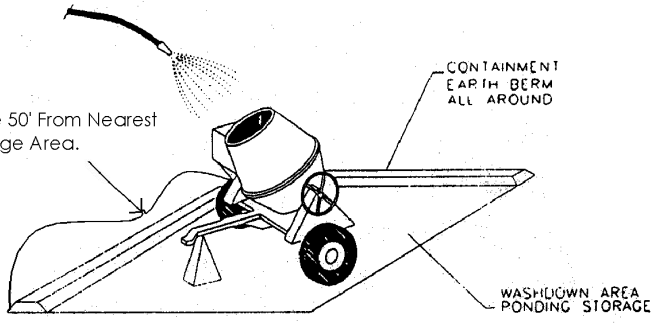
1-800-662-4111  
www.bluestakes.org



DRAWING		DESCRIPTION	
NO.	DATE	NO.	DATE
12	12/04/24	13	12/12/24
14	01/06/25	15	01/06/25
16	01/06/25	17	02/02/25
18	02/02/25	19	02/02/25
20	02/02/25	21	02/02/25
22	02/02/25	23	02/02/25
24	02/02/25	25	02/02/25
26	02/02/25	27	02/02/25
28	02/02/25	29	02/02/25
30	02/02/25	31	02/02/25
32	02/02/25	33	02/02/25
34	02/02/25	35	02/02/25
36	02/02/25	37	02/02/25
38	02/02/25	39	02/02/25
40	02/02/25	41	02/02/25
42	02/02/25	43	02/02/25
44	02/02/25	45	02/02/25
46	02/02/25	47	02/02/25
48	02/02/25	49	02/02/25
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74	02/02/25	75	02/02/25
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80	02/02/25	81	02/02/25
82	02/02/25	83	02/02/25
84	02/02/25	85	02/02/25
86	02/02/25	87	02/02/25
88	02/02/25	89	02/02/25
90	02/02/25	91	02/02/25
92	02/02/25	93	02/02/25
94	02/02/25	95	02/02/25
96	02/02/25	97	02/02/25
98	02/02/25	99	02/02/25
100	02/02/25	101	02/02/25
102	02/0		



BMP: Concrete Waste Management



Locate 50' from Nearest Drainage Area.

CONTAINMENT CAP IN BERM ALL AROUND

WASHOUT AREA INCLUDING STORAGE

**DESCRIPTION:**  
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

**APPLICATIONS:**  
This technique is applicable to all types of sites.

**INSTALLATION/APPLICATION CRITERIA:**

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier information sheet.)
- Train employees and subcontractors in proper concrete waste management.

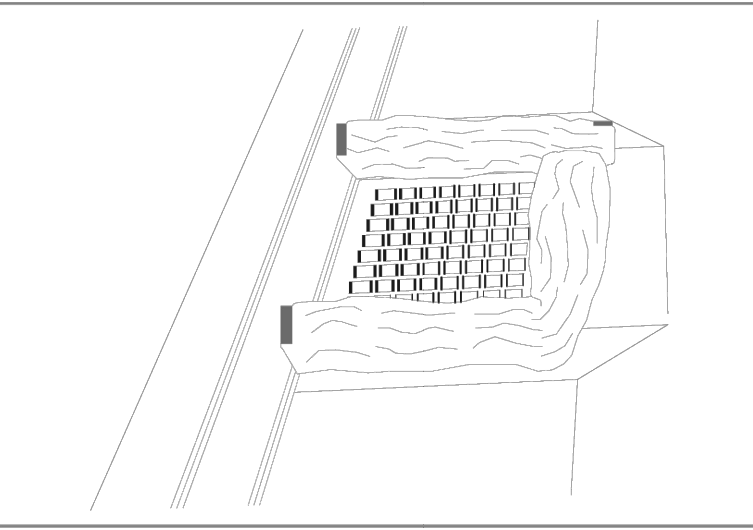
**LIMITATIONS:**

- Off-site washout of concrete wastes may not always be possible.

**MAINTENANCE:**

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

BMP: Inlet Protection – Wattle



IP-W  
CONSTRUCTION

**DESCRIPTION:**  
Sediment barrier erected around storm drain inlet.

**APPLICATION:**  
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

**INSTALLATION/APPLICATION CRITERIA:**

- ◆ Provide up-gradient sediment controls, such as silt fence during construction of inlet
- ◆ When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

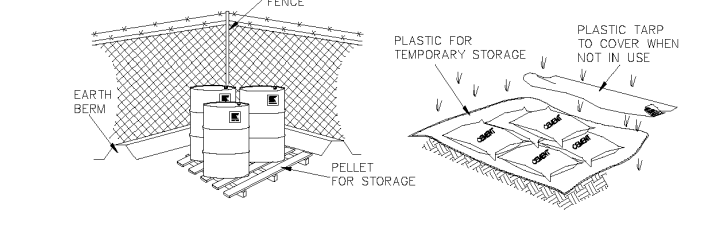
**LIMITATIONS:**

- ◆ Recommended maximum contributing drainage area of one acre
- ◆ Requires shallow slopes adjacent to inlet

**MAINTENANCE:**

- ◆ Inspect inlet protection following storm event and at a minimum of once every 14 days.
- ◆ Remove accumulated sediment when it reaches 4 inches in depth.
- ◆ Look for bypassing or undercutting and repair or realign as needed.

BMP: Materials Storage



SECURITY FENCE

EARTH BERM

PLASTIC FOR TEMPORARY STORAGE

PLASTIC TARP TO COVER WHEN NOT IN USE

COLLECT FOR STORAGE

**DESCRIPTION:**  
Controlled storage of on-site materials.

**APPLICATION:**

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

**INSTALLATION/APPLICATION CRITERIA:**

- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

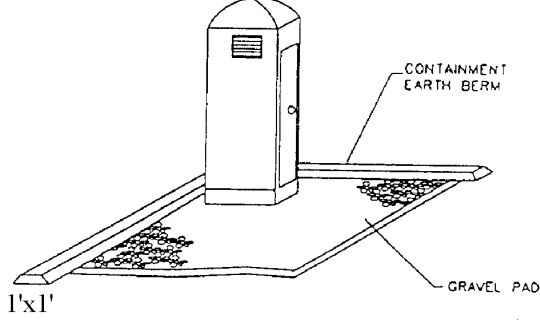
**LIMITATIONS:**

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

**MAINTENANCE:**

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, lightly capped) and that no materials are being stored away from the designated location.

BMP: Portable Toilets



CONTAINMENT EARTH BERM

GRAVEL PAD

**DESCRIPTION:**  
Temporary on-site sanitary facilities for construction personnel.

**APPLICATION:**  
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

**INSTALLATION/APPLICATION CRITERIA:**


- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

**LIMITATIONS:**  
No limitations.

**MAINTENANCE:**

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

BMP: Spill Clean-Up



**DESCRIPTION:**  
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

**APPLICATION:**  
All sites

**GENERAL:**

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

**METHODS:**

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils.
- Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

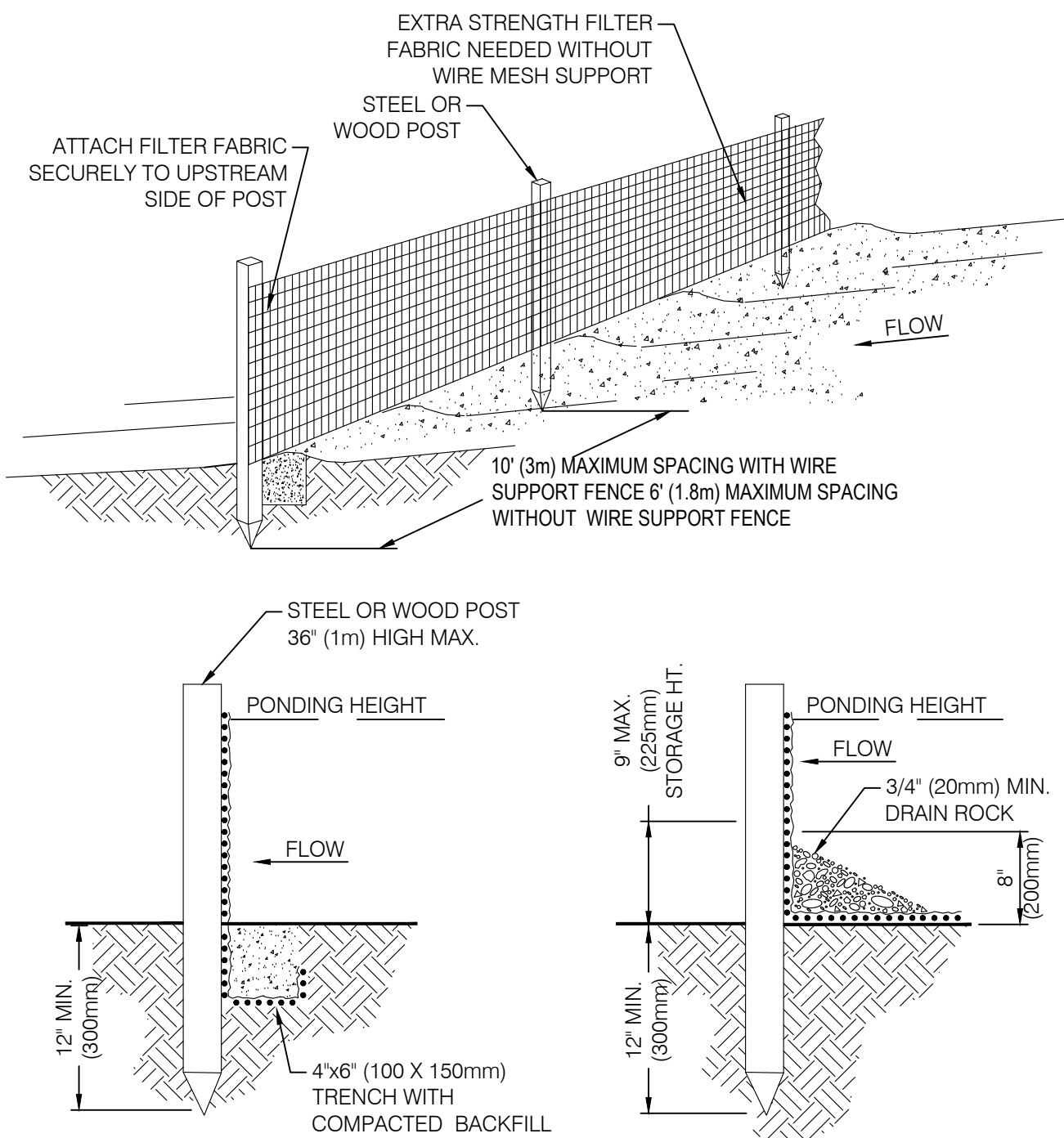
CONCRETE WASTE MANAGEMENT 1  
SCALE: NTS

INLET PROTECTION WATTLE 2  
SCALE: NTS

MATERIALS STORAGE 3  
SCALE: NTS

PORTABLE TOILETS 4  
SCALE: NTS

SPILL CLEAN UP 5  
SCALE: NTS



EXTRA STRENGTH FILTER FABRIC NEEDED WITHOUT WIRE MESH SUPPORT

STEEL OR WOOD POST

ATTACH FILTER FABRIC SECURELY TO UPSTREAM SIDE OF POST

10' (3m) MAXIMUM SPACING WITH WIRE SUPPORT FENCE 6' (1.8m) MAXIMUM SPACING WITHOUT WIRE SUPPORT FENCE

FLOW

STEEL OR WOOD POST 36" (1m) HIGH MAX.

PONDING HEIGHT

12" MIN (300mm)

4'x6' (100 X 150mm) TRENCH WITH COMPACTED BACKFILL

9" MAX. (225mm) STORAGE HT.

12" MIN (300mm)

3/4" (20mm) MIN. DRAIN ROCK

PONDING HEIGHT

FLOW

8" (200mm)

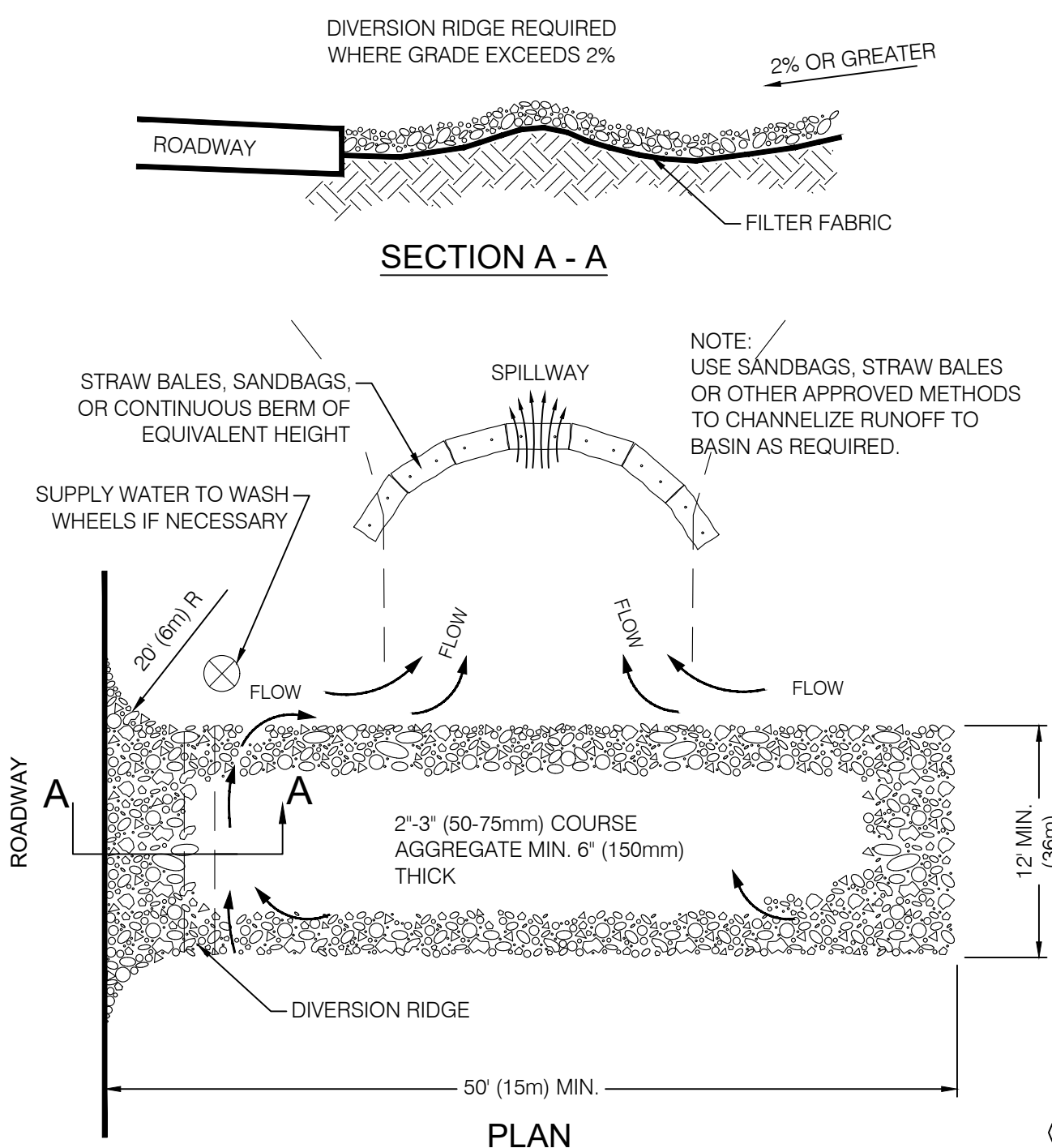
TRENCH DETAIL

INSTALLATION WITHOUT TRENCHING

NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

REF. FROM 1994 JOHN McCULLAH



DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%

2% OR GREATER

ROADWAY

SECTION A - A

FILTER FABRIC

STRAW BALES, SANDBAGS, OR CONTINUOUS BERM OF EQUIVALENT HEIGHT

SPILLWAY

NOTE: USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

SUPPLY WATER TO WASH WHEELS IF NECESSARY

20' (6m) P

FLOW

2'-3' (50-75mm) COURSE AGGREGATE MIN. 6" (150mm) THICK

DIVERSION RIDGE

50' (15m) MIN.


PLAN

12' MIN (36m)

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT 7  
SCALE: NTS



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BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER

1-800-662-4111  
www.bluestakes.org

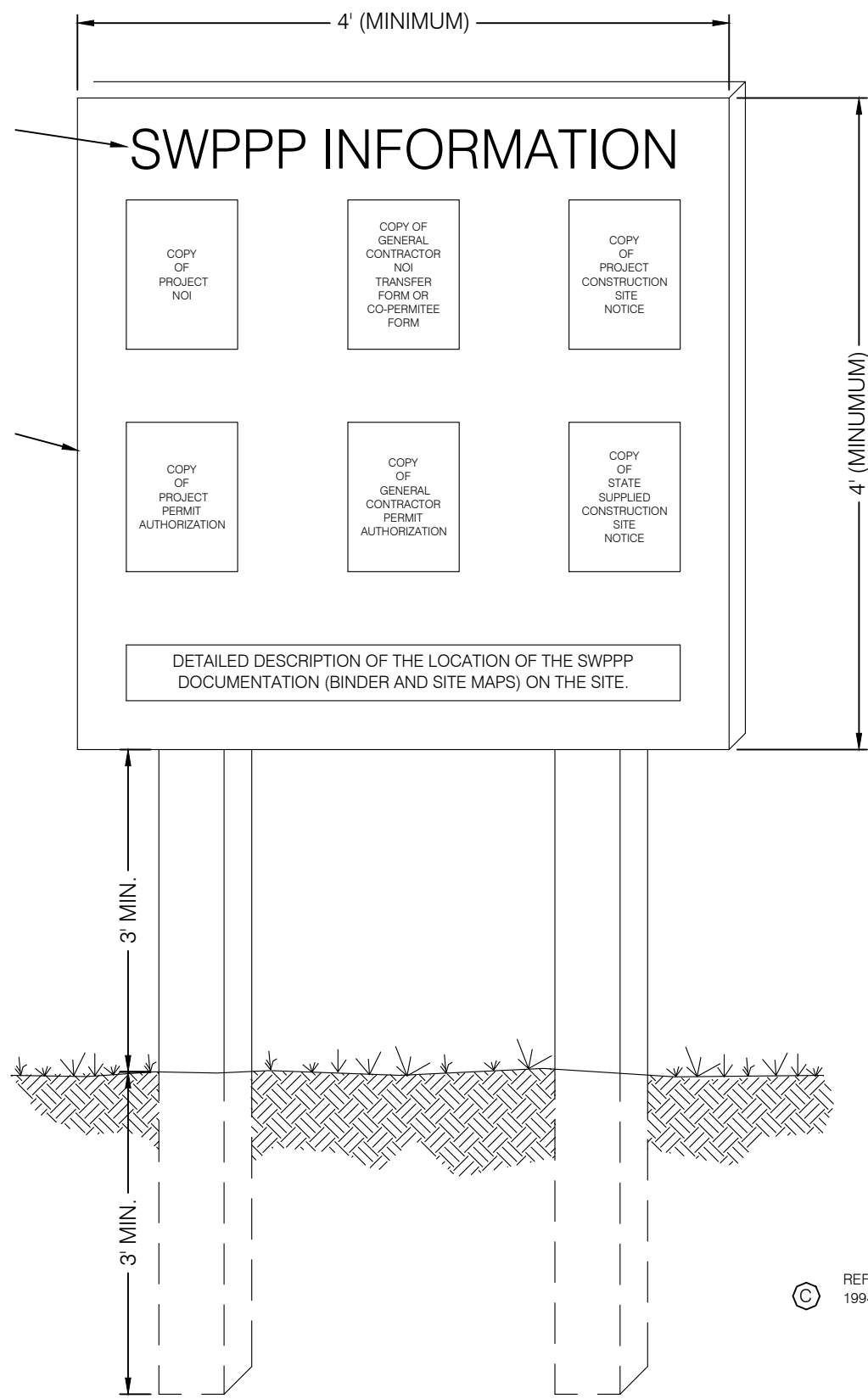
811

"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.)

NOTES:

1. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO-TERMINATION (NOT) IS FILED FOR THE PERMIT.
3. CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
4. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
5. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.



4' (MINIMUM)

SWPPP INFORMATION

COPY OF PROJECT NO.

COPY OF GENERAL CONTRACTOR NO. TRANSFER SITE NOTICE

COPY OF PROJECT CONSTRUCTION SITE NOTICE

COPY OF PROJECT PERMIT AUTHORIZATION

COPY OF STATE SUPPLIED CONSTRUCTION SITE NOTICE

DETAILED DESCRIPTION OF THE LOCATION OF THE SWPPP DOCUMENTATION (BINDER AND SITE MAPS) ON THE SITE

3' MIN.

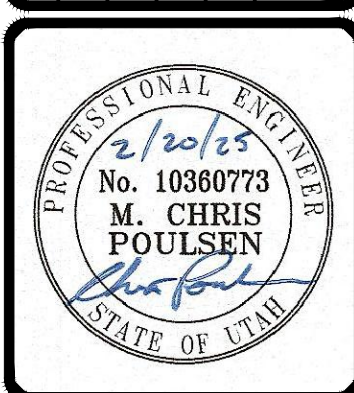
3' MIN.

REF. FROM 1994 JOHN McCULLAH

SWPPP INFORMATION SIGN 8  
SCALE: NTS

NO.	DATE	DESCRIPTION
12	12/02/24	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
13	12/12/24	RELOCATED WATER LINE SYSTEM
14	01/06/25	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
15	01/06/25	REVISED SEWER LATERAL CONNECTION AND ADDED GREASE TRAP
16	02/10/25	REVISED STORM DRAIN CONNECTION AND POND
17	02/20/25	REVISED PER CITY COMMENTS

SCALE MEASURES: INCH ON FULL SIZE SHEETS  
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



PROFESSIONAL ENGINEER  
No. 10380773  
M. CHRIS POULSEN  
STATE OF UTAH

BENCHMARK

ENGINEERING & LAND SURVEYING

9138 SOUTH STATE STREET SUITE #100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com

NORTH POINTE WAREHOUSE

1260 SOUTH 630 EAST  
AMERICAN FORK CITY, UTAH

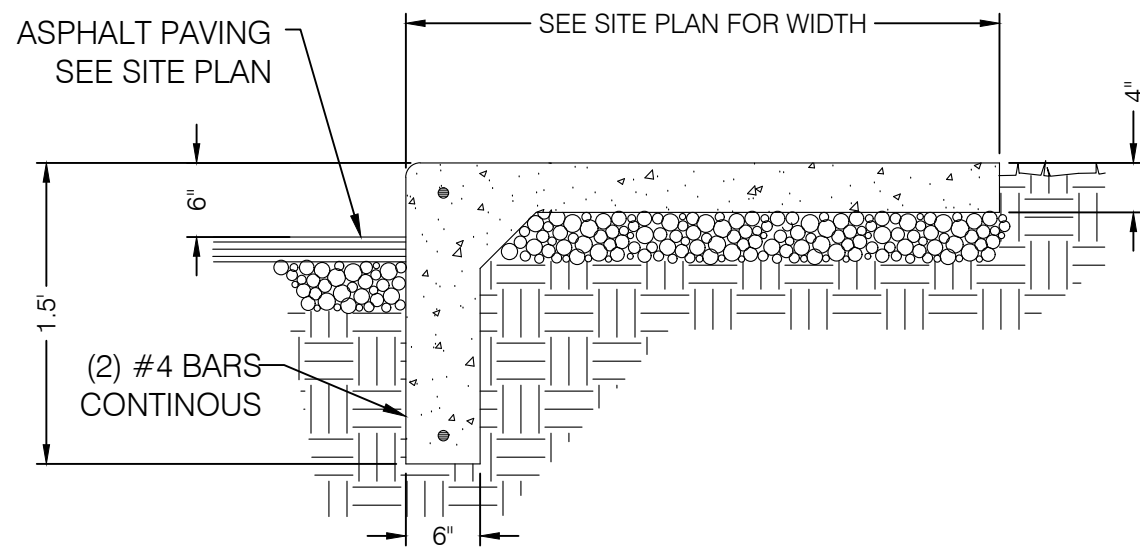
PROJECT NO. 2104096

EROSION CONTROL DETAILS

CEP.02  
8 OF 12



ALTERNATE: STANDARD  
CONCRETE 5"  
GRAVEL BASE 5"



### STANDARD DUTY PAVEMENT

NOTE:  
1. FOR REINFORCEMENT DESIGN OF PCC PAVEMENT SECTIONS SEE STRUCTURAL ENGINEER  
2. FOR DOWEL DESIGN OF PCC PAVEMENT SECTIONS SEE GEOTECHNICAL ENGINEER.

### PAVEMENT SECTIONS ①

SCALE: NTS

### INTEGRAL SIDEWALK & CURB ②

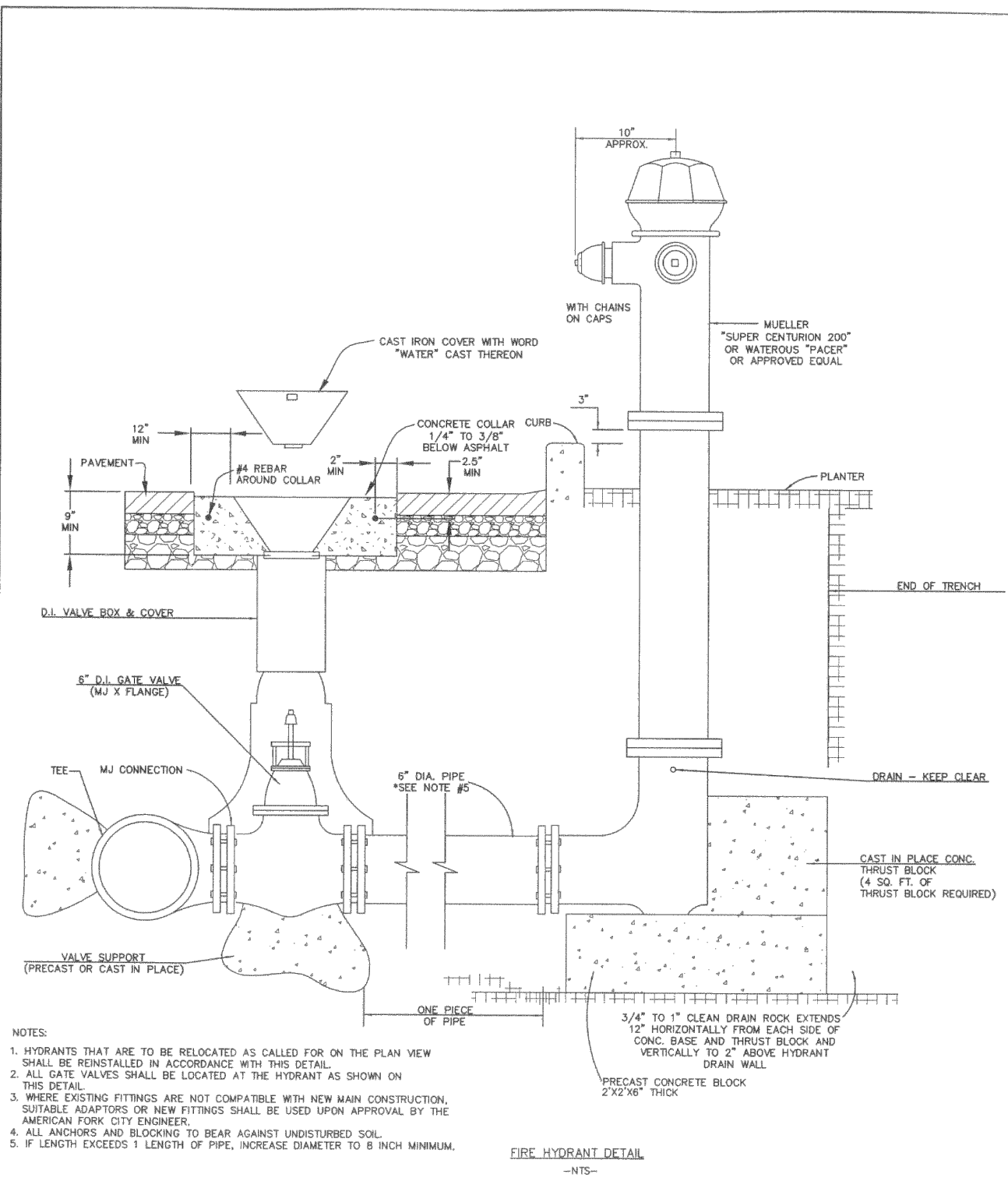
SCALE: NTS

### CURB & GUTTER PER AMERICAN FORK ③

SCALE: NTS

### 2" WATER METER ④

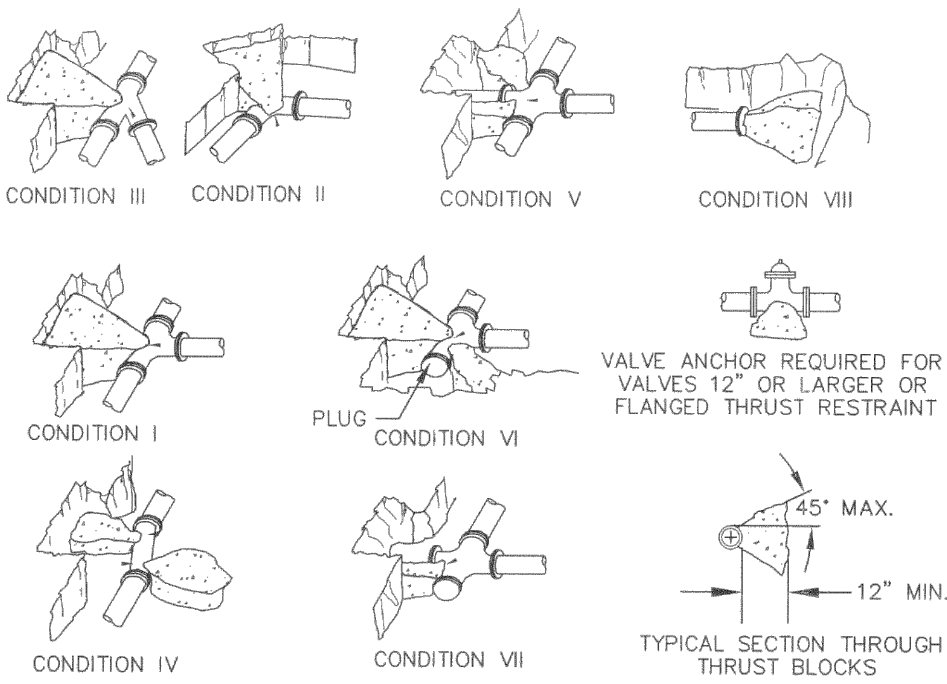
SCALE: NTS



DRAWN: JRP	<b>Northern</b> REGISTERED LAND PLANNING CONSTRUCTION MANAGEMENT 3040 E. 800 N. SANDY, UTAH 84070 (801) 802-9922	AMERICAN FORK CITY	STANDARD DETAIL FOR FIRE HYDRANT	DRAWING NO. 15.6
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### FIRE HYDRANT AND VALVE ⑤

SCALE: NTS



- NOTES:
1. ALL THRUST BLOCK BEARING FACES SHALL BE POURED AGAINST UNDISTURBED SOIL OR APPROVED COMPACTED BACKFILL.
  2. CONCRETE SHALL BE CLASS C.
  3. CALCULATED ON 150 PSI. STATIC PRESSURE & ALLOWABLE BEARING PRESSURE OF 1500 LB. PER SQ. FT.
  4. ALL THRUST BLOCK SIDES SHALL BE FORMED. (CITY INSPECTOR MAY REQUIRE WOOD FORMS.)

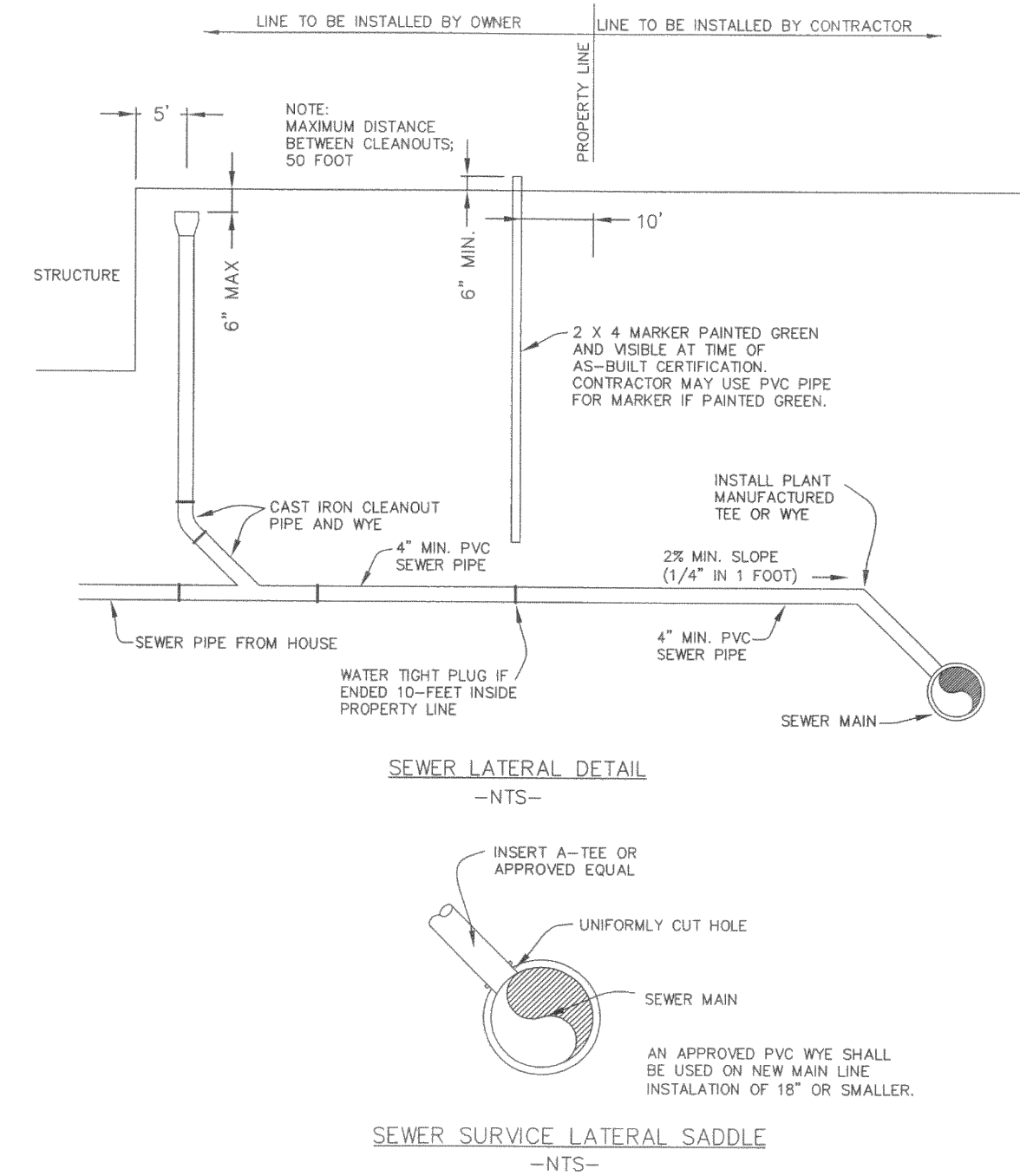
PIPE SIZE (IN.)	THRUST BLOCK BEARING AREA IN SQ. FEET							
	I	II	III	IV	V	VI	VII	VIII
4	1.5	1.8	1	0.5	1.3	1.3	1.3	1.3
6	5	7.1	3.8	2	5	5	5	5
10	7.8	11.1	6	3	7.8	7.8	7.8	7.8
14	15.4	21.7	11.8	6	15.4	15.4	15.4	15.4

WATER LINE THRUST BLOCK DETAILS

DRAWN: JRP	<b>Northern</b> REGISTERED LAND PLANNING CONSTRUCTION MANAGEMENT 3040 E. 800 N. SANDY, UTAH 84070 (801) 802-9922	AMERICAN FORK CITY	STANDARD DETAIL FOR WATERLINE THRUST BLOCKING	DRAWING NO. 15.21
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### THRUST BLOCK ⑥

SCALE: NTS

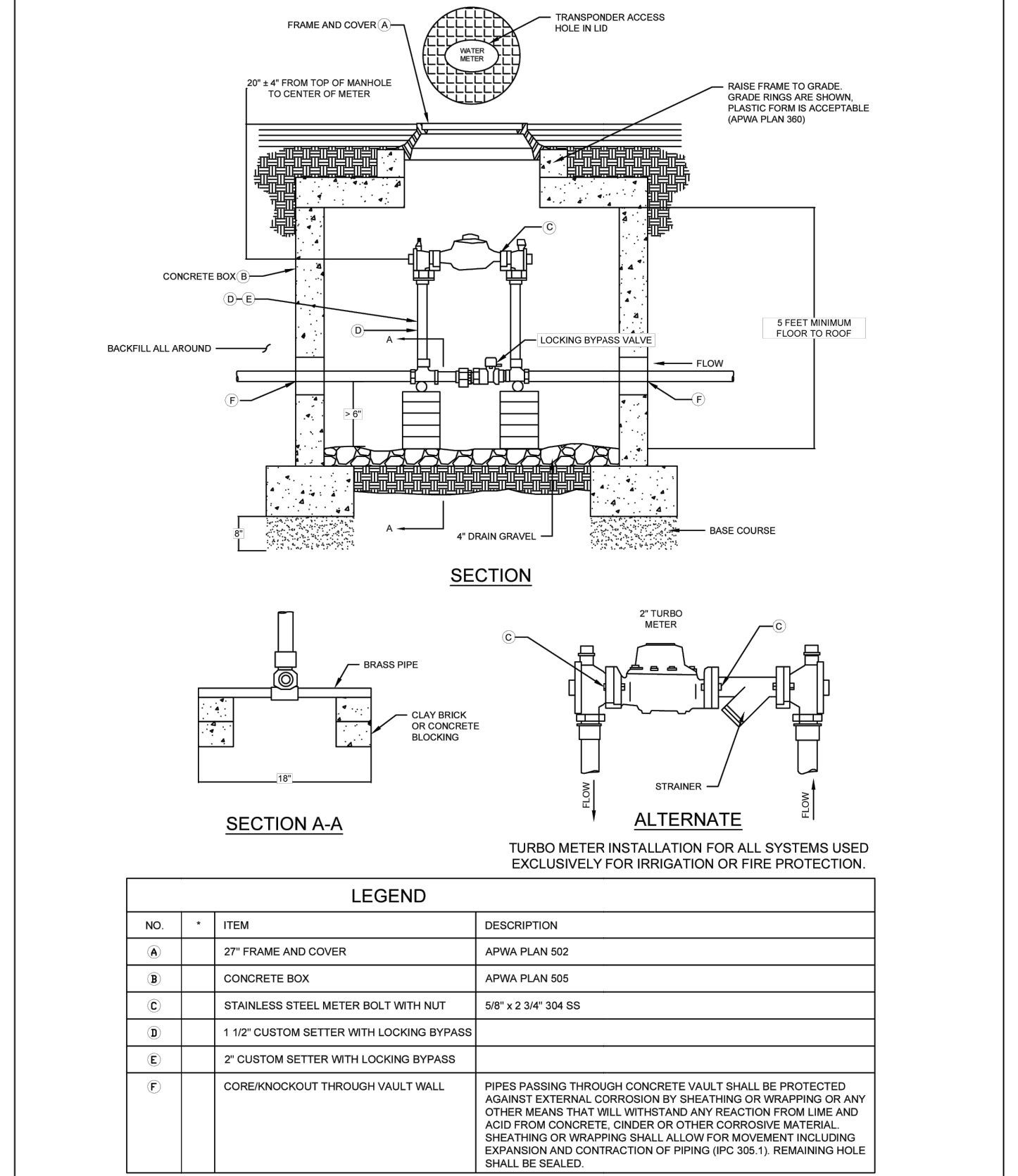


- NOTE:
- 1) LATERAL SHALL NOT ENTER MANHOLE, UNLESS OTHERWISE APPROVED BY CITY ENGINEER.
  - 2) FOR CONCRETE PIPE ADD CONCRETE COLLAR AROUND INSERT A-TEE
  - 3) ALSO SEE DRAWING NO. 15.19

DRAWN: JRP	<b>Northern</b> REGISTERED LAND PLANNING CONSTRUCTION MANAGEMENT 3040 E. 800 N. SANDY, UTAH 84070 (801) 802-9922	AMERICAN FORK CITY	STANDARD DETAIL FOR SANITARY SEWER LATERAL AND CLEAN OUT	DRAWING NO. 15.23
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### SEWER LATERAL AND CLEANOUT ⑦

SCALE: NTS

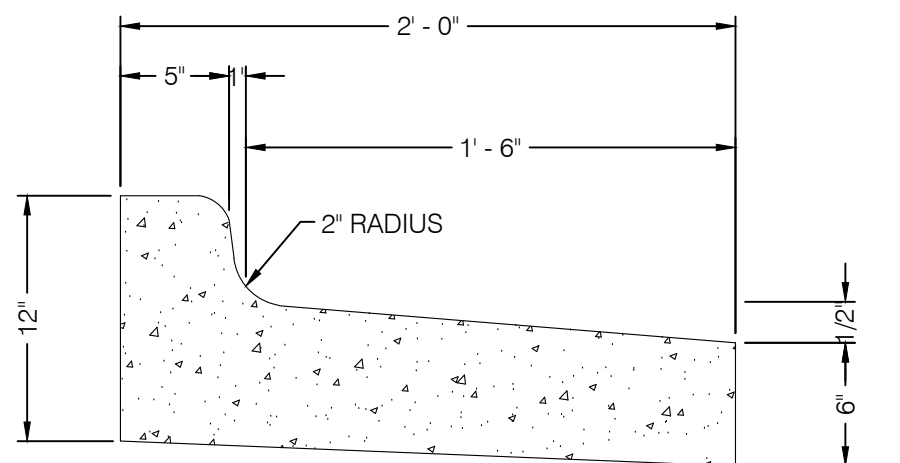


DRAWN: ABW	<b>AMERICAN FORK CITY</b> PUBLIC WORKS 275 EAST 200 NORTH (801) 763-9030	STANDARD DETAIL FOR 1-1/2" OR 2" METER PLACEMENT	DRAWING NO. 15.5C
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### 2" WATER METER ④

SCALE: NTS

NOTE: 6" MIN. OF UNTREATED BASE COURSE REQ'D UNDER CURB AND GUTTER. COMPACT TO 95% ASSHTO T-180 - METHOD D.



### TYPICAL RELEASE CURB & GUTTER ⑧

SCALE: NTS

### NORTH POINTE WAREHOUSE

1260 SOUTH 630 EAST  
AMERICAN FORK CITY, UTAH

DETAIL  
SHEET

CDT.01  
9 OF 12

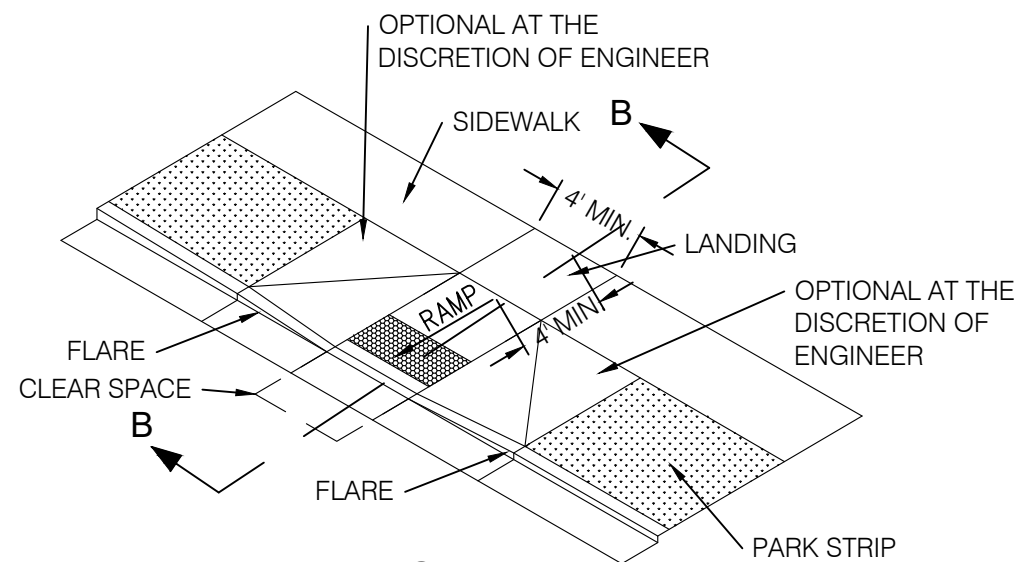
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No. 10360773  
M. CHRIS POULSEN  
STATE OF UTAH

NO.	DATE	DESCRIPTION
12	12/04/24	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
13	12/10/24	RELOCATED WATER LINE SYSTEM
14	01/06/25	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
15	01/06/25	REVISED SEWER LATERAL CONNECTION AND ADDED GREASE TRAP
16	02/05/25	REVISED STORM DRAIN CONNECTION AND POND
17	02/05/25	REVISED PER CITY COMMENTS

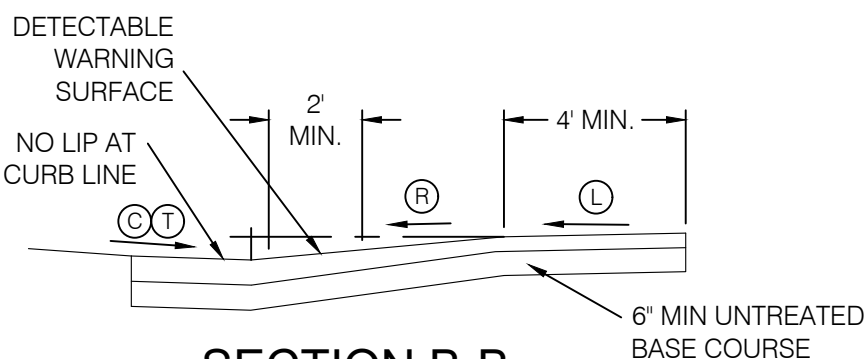
SCALE MEASURES: 1"=10' ON FULL SIZE SHEETS  
ADJUST ACCORDING FOR REDUCED SIZE SHEETS



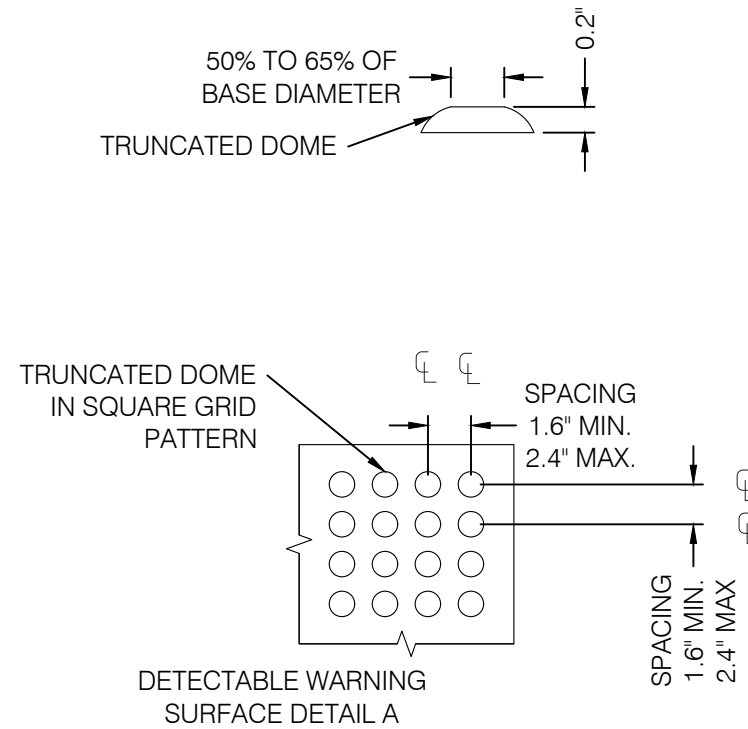
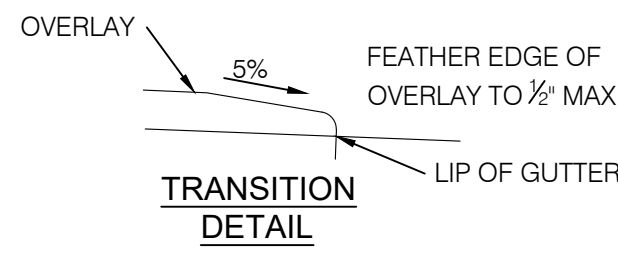


### PERPENDICULAR PEDESTRIAN RAMP

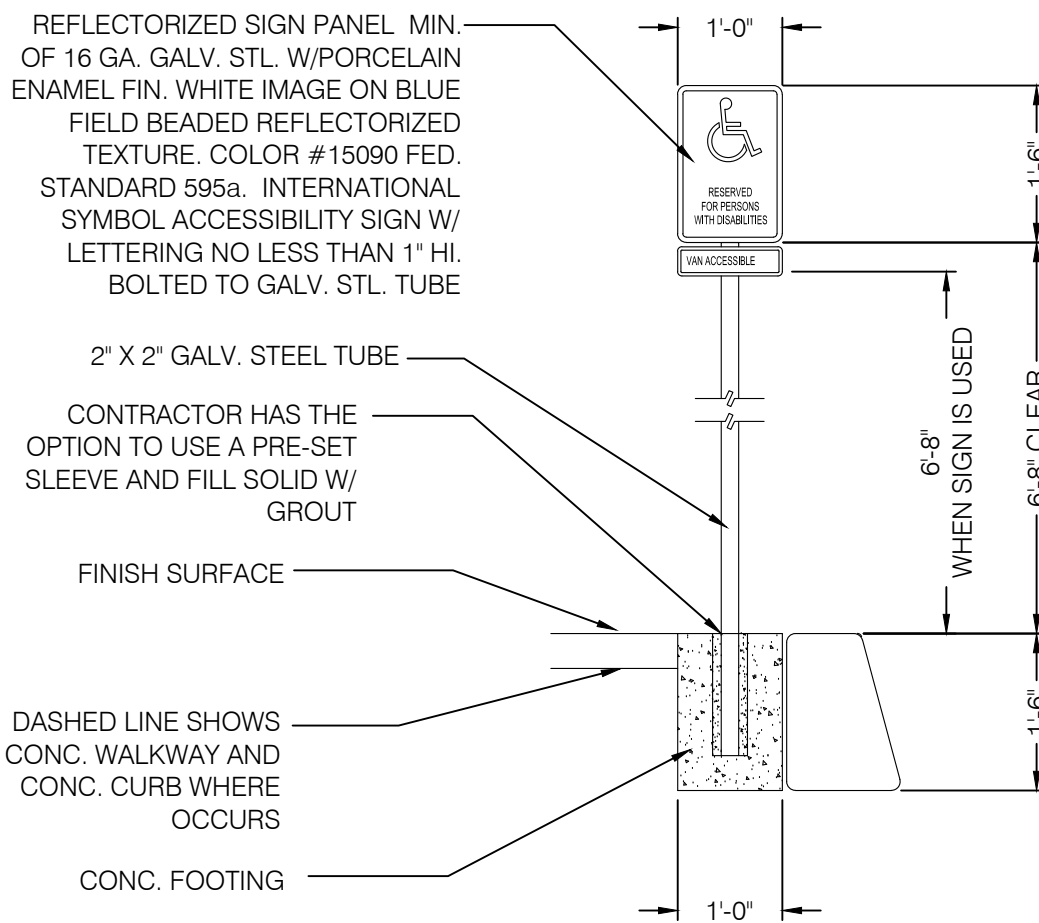
FLARE IS ACCEPTABLE IN LIEU OF FULL HEIGHT CURB SEE LOCAL AGENCY REQUIREMENTS



### SECTION B-B



THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD



### ADA SIGN POST DETAIL

#### NOTES:

1. CONFIGURATION OF RAMPS AND LANDINGS MAY BE CHANGED BUT MUST MEET PEDESTRIAN RAMP DIMENSIONS AND SLOPE REQUIREMENTS. SPECIFIC SITE CONDITIONS WILL VARY. THE USE OF FLARES, CURBWALLS, ETC. ARE AT THE DISCRETION OF THE ENGINEER.
2. PERPENDICULAR AND PARALLEL PEDESTRIAN RAMPS SHOWN ON THIS DRAWING ARE ACCEPTABLE FOR USE AT MID BLOCK OR CORNER INSTALLATIONS.
3. PROVIDE DETECTABLE WARNING SURFACE FOR FULL WIDTH OF RAMP, LANDING OR CURB CUT. SEE DETAIL A FOR DETECTABLE WARNING SURFACE DIMENSIONS.
4. LOCATE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE STREET IS 4 TO 6 INCHES FROM THE TOP BACK OF CURB.
5. PROVIDE DETECTABLE WARNING SURFACE. COLOR SHALL BE YELLOW.
6. USE CLASS AA (AE) CONCRETE.
7. USE 6\"/>

TABLE OF DIMENSIONS	
ELEMENT	DIMENSION
① ⑥	4 FEET WIDE MINIMUM
① ③	4 FEET SQUARE MINIMUM*

\* WHERE LANDING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

SLOPE TABLE			
	ITEM	RUNNING SLOPE*	CROSS SLOPE
①	LANDING	1.5-2% (1V:48H) (a)	1.5-2% (1V:48H) (b)
②	RAMP	8.33% (1V:12H) (c)	1.5-2% (1V:48H) (d)
③	TRANSITION	5% (1V:20H) (a)	1.5-2% (1V:48H) (d)
④	CLEAR SPACE	5% (1V:20H) (a)	1.5-2% (1V:48H) (d)
	SIDEWALK	--	1.5-2% (1V:48H)
	FLARE	10% (1V:10H)	--

SCALE: N.T.S.

\* RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL, WHILE CROSS SLOPE IS PERPENDICULAR TO PEDESTRIAN TRAVEL.

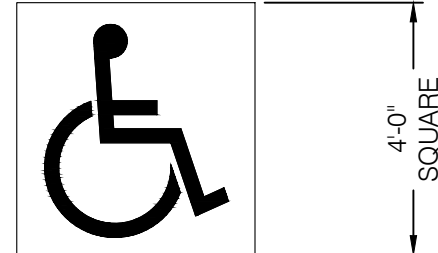
(a) TRANSITION RUNNING SLOPE NEEDS TO BE CONSTANT ACROSS ENTIRE CURB CUT. WARP GUTTER PAN TO MEET REQUIRED TRANSITION SLOPE AT CURB CUT (0.10\"/>

EXCEPTION:

(b) IF SLOPE REQUIREMENTS CAN'T BE ACHIEVED ON MID-BLOCK RAMPS CONTACT THE ENGINEER.

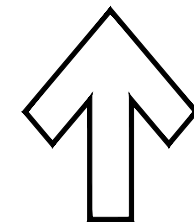
(c) PARALLEL RAMPS ARE NOT REQUIRED TO EXCEED 15-FEET IN LENGTH.

(d) CROSS SLOPE REQUIREMENT DOES NOT APPLY AT PERPENDICULAR RAMP MID-BLOCK CROSSING.



### INTERNATIONAL SYMBOL OF ACCESSIBILITY

THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD

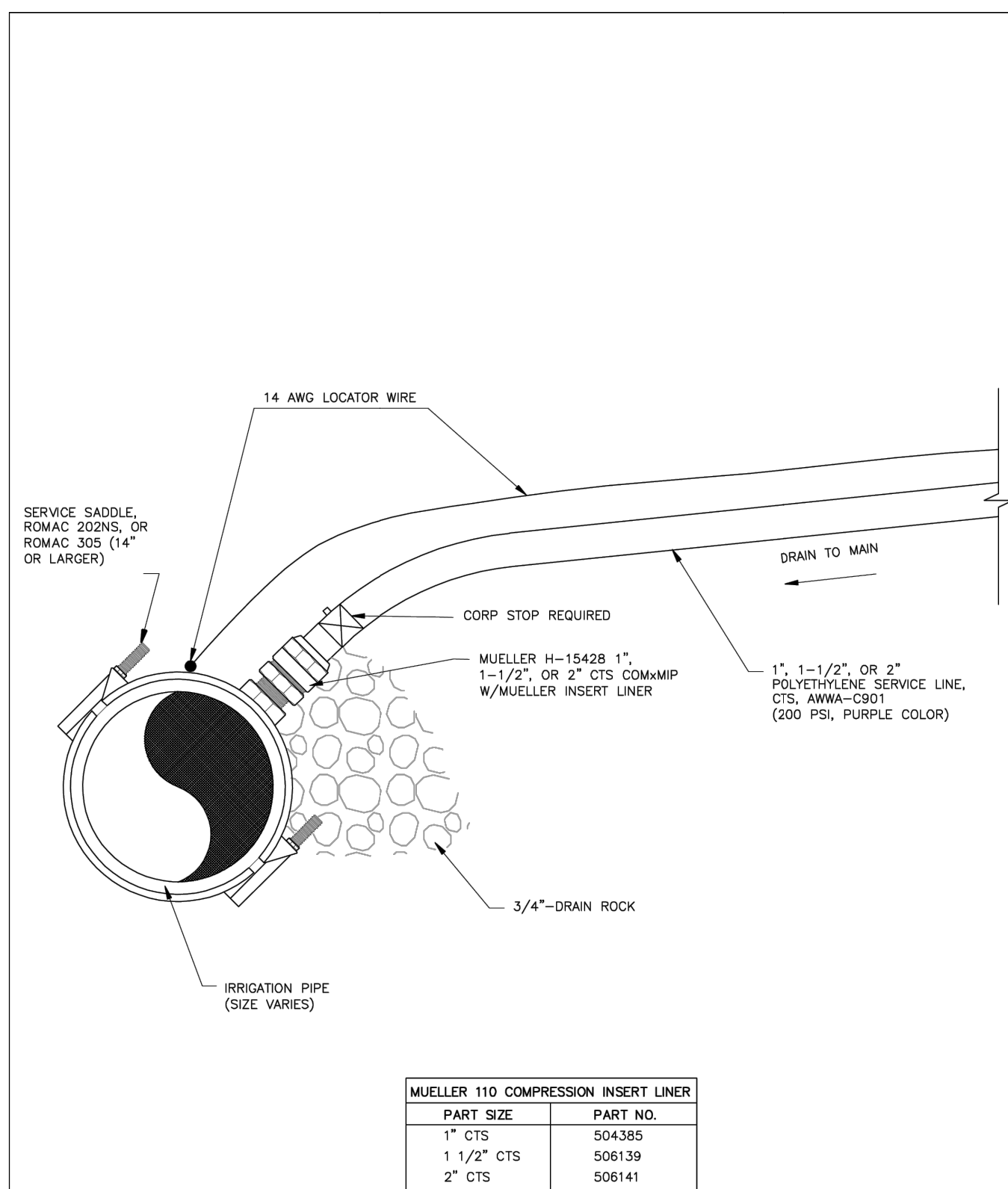


### DIRECTION OF TRAVEL OR APPROACH

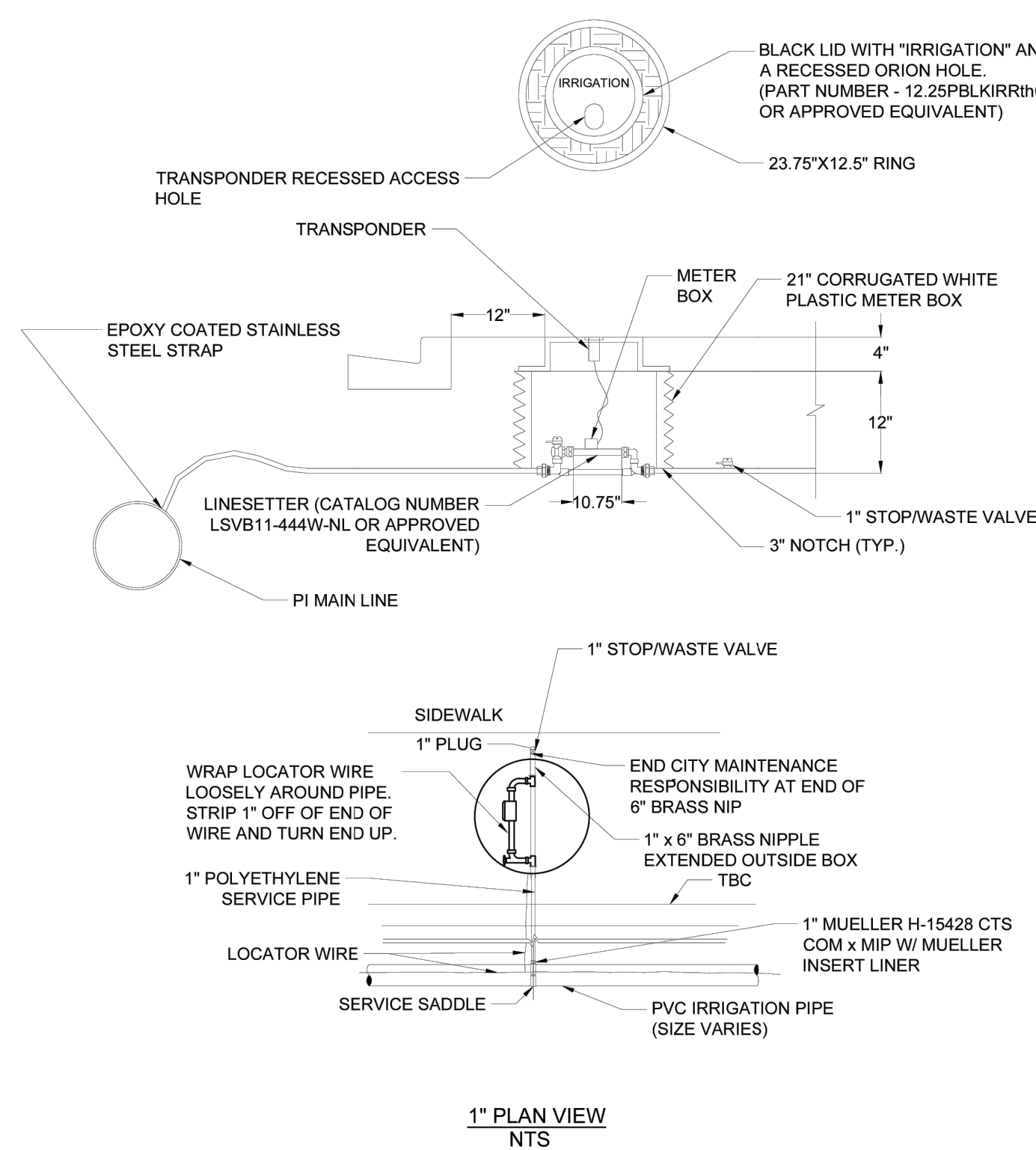
### STRIPING SYMBOLS

### STANDARD ACCESS RAMP ①

SCALE: NTS




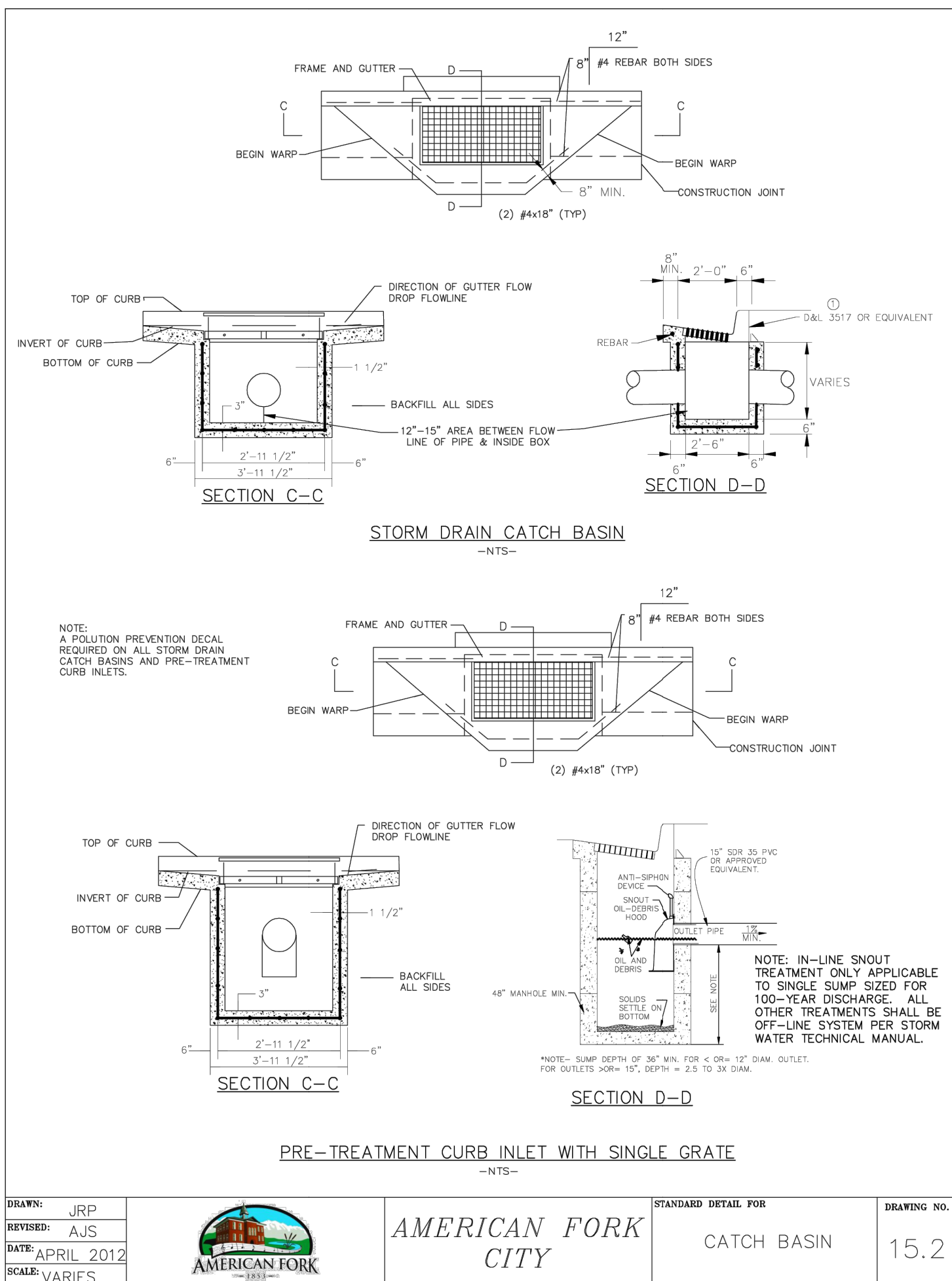
MUELLER 110 COMPRESSION INSERT LINER	
PART SIZE	PART NO.
1" CTS	504385
1 1/2" CTS	506139
2" CTS	506141



#### NOTES:

1. CITY MAINTENANCE RESPONSIBILITY ENDS AT THE END OF THE 6\"/>

DRAWN: MVU		AMERICAN FORK CITY	STANDARD DETAIL FOR	DRAWING NO.
REVIEWED:		PUBLIC WORKS	1" PI METER PLACEMENT	15.5D
DATE: MAY 2019		275 EAST 200 NORTH		
SCALE: VARIES		(801) 763-9030		



### STORM DRAIN INLET BOX ③

SCALE: NTS

### STORM DRAINAGE CALCULATIONS

Rational Method (Q=1.25CIA)\*

Area Identification (A)	Rational Coefficient (C)	1.25C*A
<b>North Pointe-Phase 1</b>		
Roof = 25,441	0.85	27031 S.F.
Pavement = 193,074	0.92	222035 S.F.
Landscaping = 51,832	0.2	12958 S.F.
<b>North Pointe-Phase 2</b>		
Roof = 110,041	0.85	116919 S.F.
Pavement = 107,757	0.92	123921 S.F.
Landscaping = 45,998	0.2	11477 S.F.
Sum = 534053 S.F.		Sum = 514340 S.F.

AM FORK 100-YEAR DESIGN STORM		Allowable Discharge = .20cfs/acre	
Time (min)	Intensity (in/hr)	Rainfall Excess (inches)	Volume to Detain (cu.ft)
15	4.61	1.153	49398
30	3.04	1.520	65150
60	1.83	1.830	78437
120	1.03	2.060	88295
180	0.74	2.220	95153
360	0.42	2.520	108011
1440	0.15	3.600	154302

**Total Volume to Detain**  
Volume of City Runoff (calculated from Phase 1 Plans) = 6033 cf  
Volume Generated from Phases 1 & 2 = 70640 cf  
Total Volume to Detain = 76673 cf

Detention Calculations  
**StormTech System Volume**  
MC-3500 System Volume = 52,274 cf

Pipe Volumes	Diameter	Length	Volume
12 in. Pipe	416 lf		327 cf
18 in. Pipe	376 lf		664 cf
24 in. Pipe	252 lf		792 cf
30 in. Pipe	64 lf		314 cf
Total Volume:			2,097 cf

**Pond Volumes**  
Northwest Pond = 3,333 cf Southeast Pond = 2,516 cf  
East Pond = 10,610 cf Loading Dock Storage = 3,052 cf

**Perforated Pipe System Volume**  
24 in Pipe w/ 3x3 Gravel Wrap  
Length = 452 lf  
Pipe Volume = 1,420 cf  
Volume of Voids = 40%  
Gravel Volume = 1,647 cf  
Total Volume = 3,067 cf

Is there adequate storage? Storage Provided = 76,949 cf  
Req. Storage = 76,673 cf YES

\* A frequency factor of 1.25 has been included in the calculations per American Fork City.

Office Design:  
The storm runoff will be detained at 0.2 cfs/acre

$Q = C_d A_0 \sqrt{2gh}$	
Total area of development (Ph 1 & 2):	12.26 acres
Allowable discharge:	0.2 cfs/acre
Max head:	6.05 ft
Design diameter for new orifice:	6.1 inch

### STORM DRAIN CALCULATIONS ④

SCALE: NTS

### IRRIGATION SERVICE AND METER ②

SCALE: NTS

DESCRIPTION	
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17	REVISED PER CITY COMMENTS

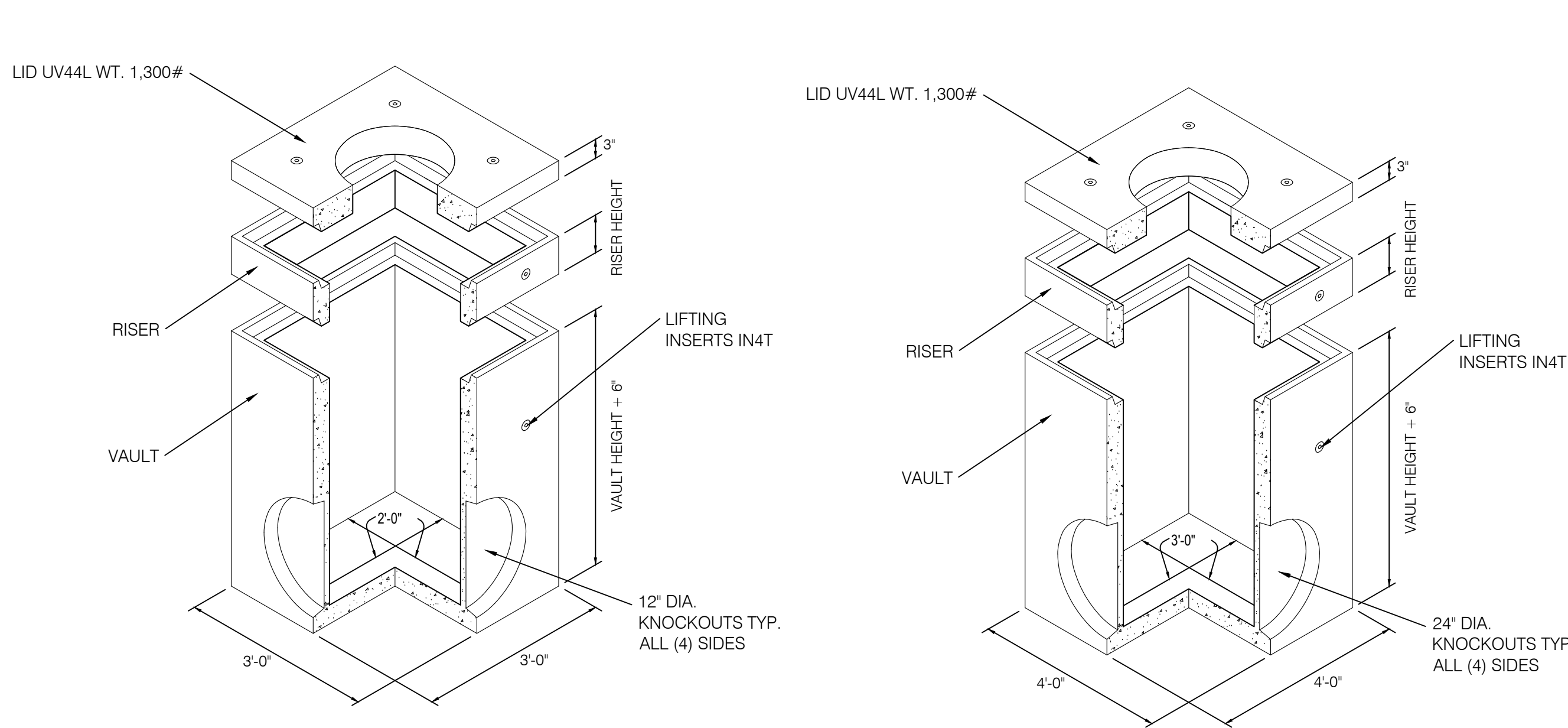
PROFESSIONAL ENGINEER	2/20/23
No. 10360773	
M. CHRIS POULSEN	
STATE OF UTAH	

BENCHMARK ENGINEERING & LAND SURVEYING	1260 SOUTH 630 EAST
9138 SOUTH STATE STREET SUITE #100	AMERICAN FORK CITY, UTAH
SANDY, UTAH 84070 (801) 942-7192	
www.benchmarkcivil.com	

NORTH POINTE WAREHOUSE	1260 SOUTH 630 EAST
	AMERICAN FORK CITY, UTAH

PROJECT NO. 2104096	DETAIL SHEET
	CDT.02 10 OF 12





2'x2' CATCH BASIN

3'x3' CATCH BASIN

GRADE RING		
HEIGHT	CODE	WEIGHT
4"	GR304	180#
6"	GR306	270#

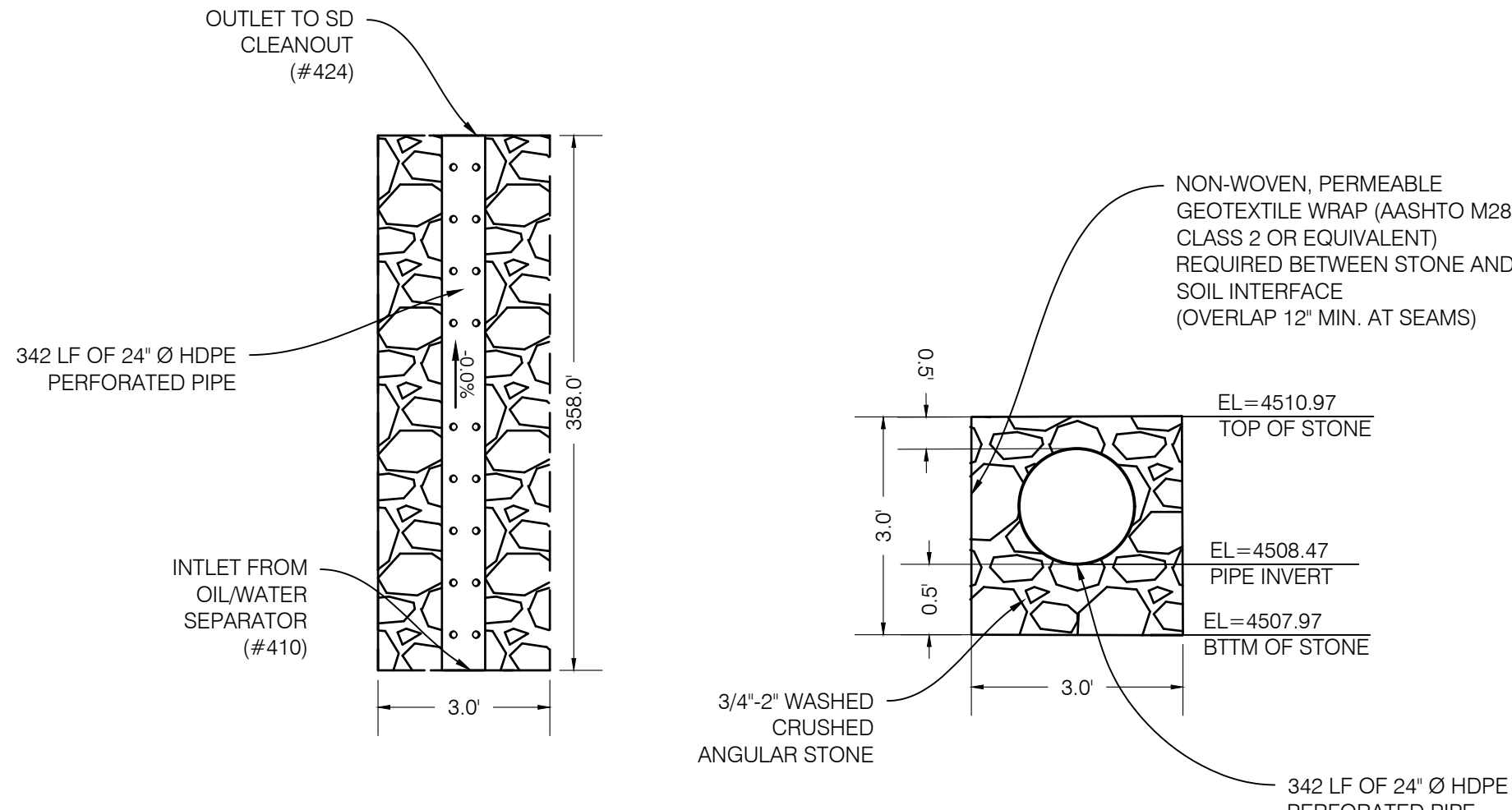
  

RISER		
HEIGHT	CODE	WEIGHT
1'	UV441R	1,350#
2'	UV442R	2,700#
3'	UV443R	4,050#
4'	UV444R	5,400#
5'	UV445R	6,750#
6'	UV446R	8,100#

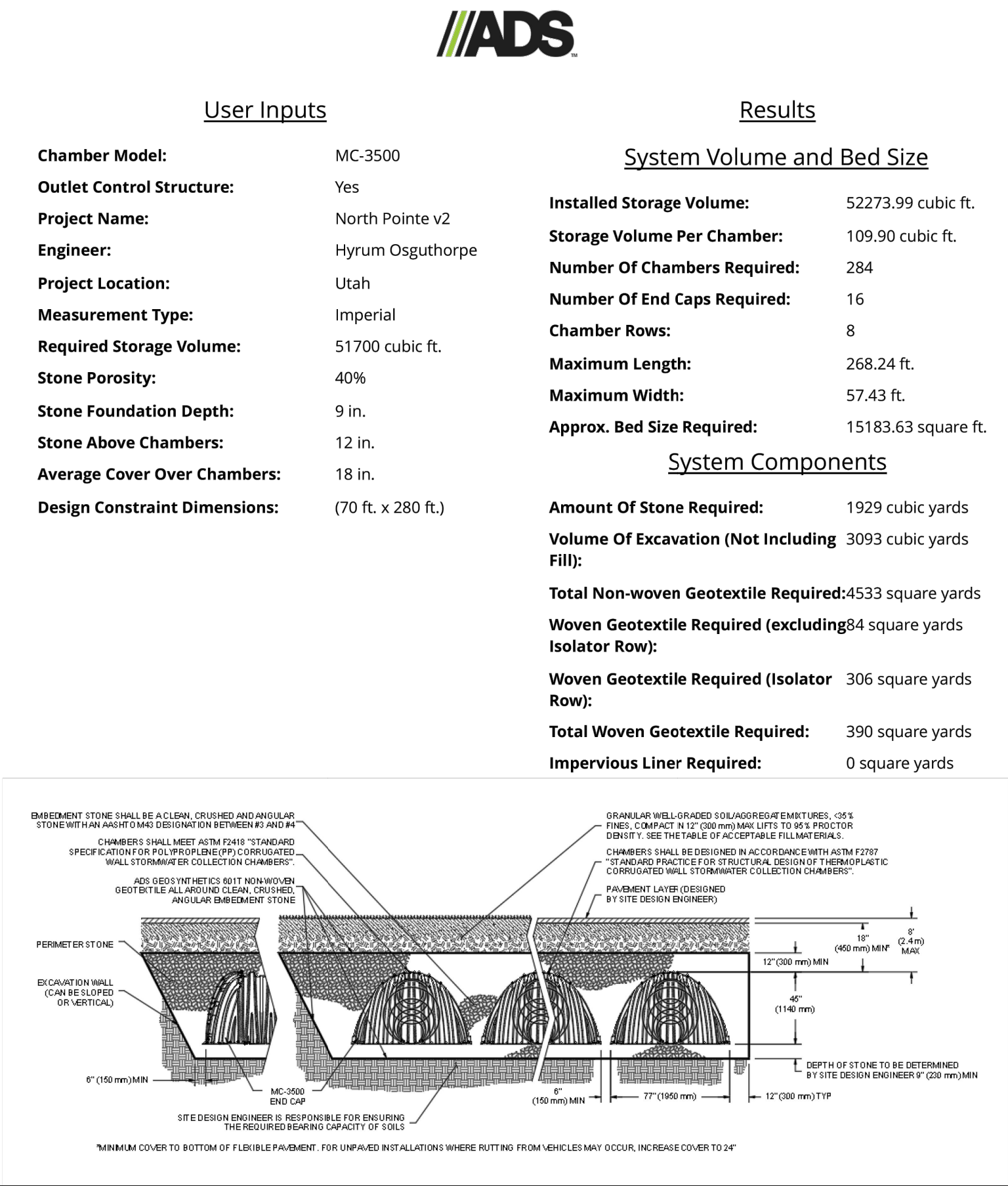
VAULT		
HEIGHT	CODE	WEIGHT
3'	CB443	3,225#
4'	CB444	4,575#
5'	CB445	5,925#
6'	CB446	7,275#

- NOTES:
1. CATCH BASINS ARE DESIGNED TO MEET ASTM C858 WITH AASHTO HS-20 LOADING.
  2. OPENINGS MAY BE SIZED AND LOCATED AS REQUIRED.
  3. OPTIONAL GRATING OR COVER MATERIAL MAY BE CAST IN AS REQUIRED.
  4. CHECK HARDWARE SECTION FOR OPTIONAL ACCESSORIES.

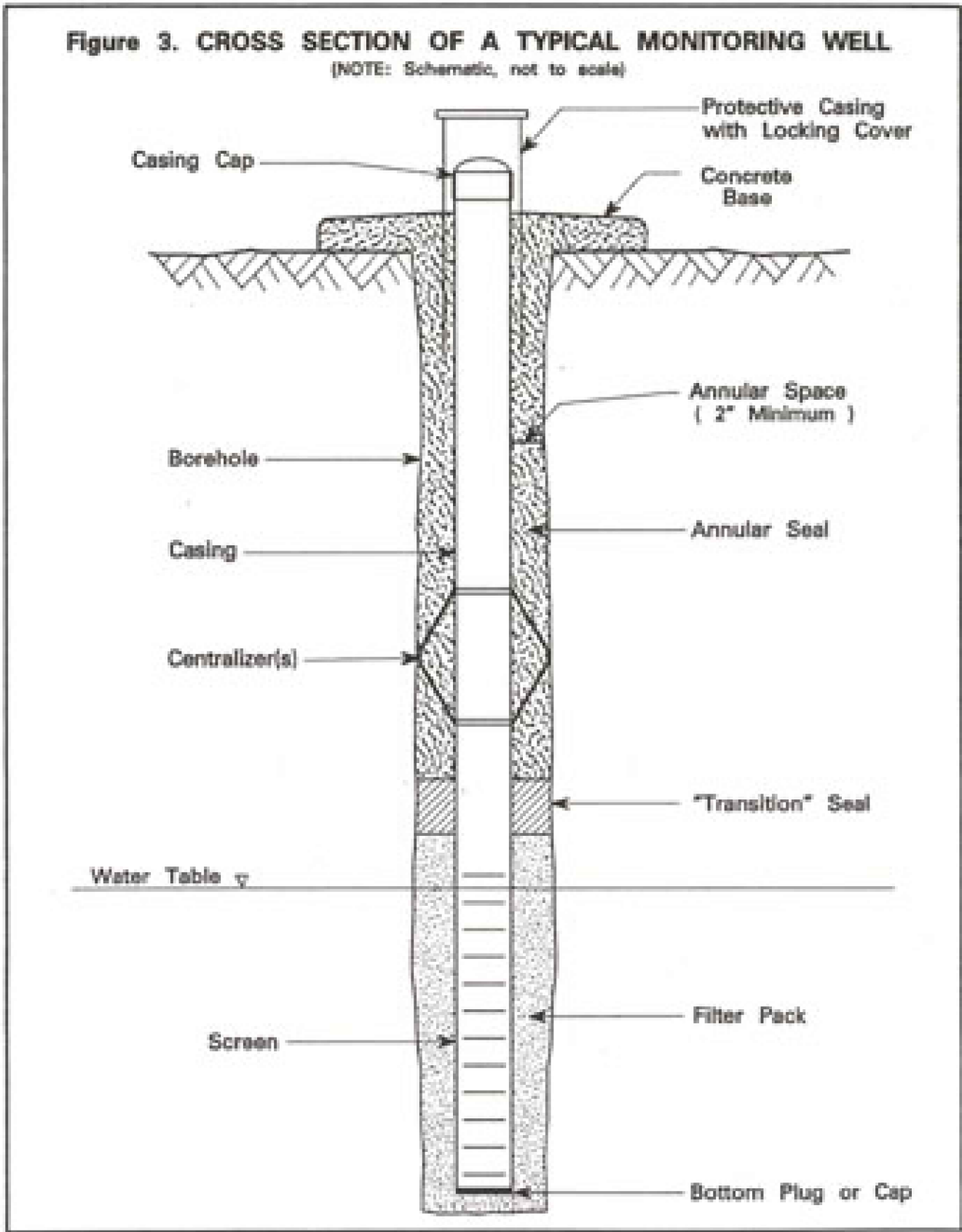


PERFORATED PIPE SYSTEM  
SCALE: NTS

CATCH BASIN  
SCALE: NTS



MC-3500 STORMTECH DETENTION SYSTEM  
SCALE: NTS



TYPICAL GROUNDWATER MONITORING WELL  
SCALE: NTS

## Series 37

- Installs between pipe flanges, eliminating valve body.
- Offers minimal face-to-face dimension—only the thickness of the flange.
- Features unique, maintenance-free, one-piece elastomer check sleeve design.
- Eliminates chatter—silent, non-slamming.
- Closes on entrapped solids.

### Materials of Construction

- Valves are available in pure gum rubber, neoprene, Hypalon®, buna-N, Viton® and EPDM.
- ANSI Class 125 Flanges, DIN PN6, PN10, PN16.
- Special coating available.

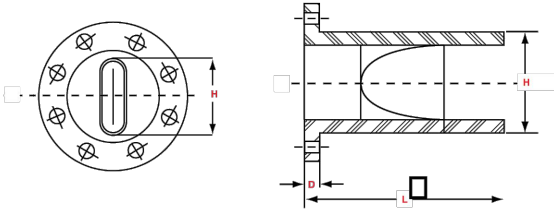
Tideflex® Technologies' Series 37 Flanged InLine Check Valve is a simple, reliable, cost-effective solution to backflow problems. Designed to be installed between twomating flanges, the Series 37 eliminates the need for a valve body.

With only one moving part, the maintenance-free rubber check sleeve, the Series 37 InLine Check Valve is simple in design. Sliding, rotating, swinging and spring parts are eliminated. There are no seats to corrode or packing to maintain. In addition, the Series 37 is a passive design, requiring no external source of air or electricity to operate. The result is reduced operating costs.

The Series 37 InLine Check Valve can be ordered in a variety of elastomers. Flanges conform to ANSI B16.1 Class 125 specifications. Special custom designs or metric flanged models are also available. When ordering, specify line pressure, backpressure and whether an SST is required.



The pressure drop of the Series 37 is increased because of the smaller I.D. required to fit the check valve in the line.



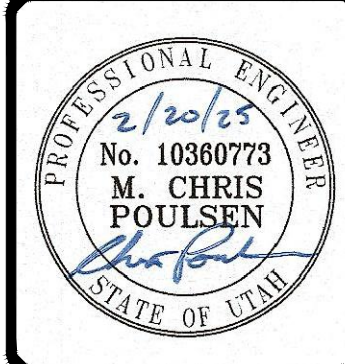
### Dimensions Series 37 Flanged InLine Check Valve

Nominal Size* (Pipe I.D.)	Length	Height of Bolt H	Flange Thickness T	Max. Backpressure (psi) Standard Tideflex®	With Saddle Support
2	5	1 1/8	3/8	150	N/A
3	5 1/2	2 7/8	3/8	100	N/A
4	7	3 7/8	3/8	75	150
6	11	5 7/8	3/8	75	150
8	12 1/2	7 7/8	1/2	60	125
10	15 1/2	9 7/8	1/2	45	75
12	18 1/2	11 7/8	1/2	35	75
14	22	13 3/4	5/8	25	70
16	23	15 3/4	3/4	20	60
18	24	17 3/4	1	15	45
20	32	19 3/4	1	10	40
24	37	23 3/4	1	10	40
30	41	29 3/4	1 1/2	8	40
36	47	35 3/4	1 1/2	8	35
42	49	41 1/2	1 3/4	5	25
48	52	47 1/2	1 3/4	5	25
54	57	53 1/2	2	5	25
60	64	59 1/2	2	5	25
72	73	71 1/2	2	5	25

\*Numbers indicate maximum dimensions in inches.  
\* Larger sizes available upon request.

SERIES 37 BACKFLOW PREVENTER  
SCALE: NTS

NO.	DATE	DESCRIPTION
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**BENCHMARK ENGINEERING & LAND SURVEYING**

2104096 SITE

9138 SOUTH STATE STREET SUITE #100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com

**NORTH POINTE WAREHOUSE**

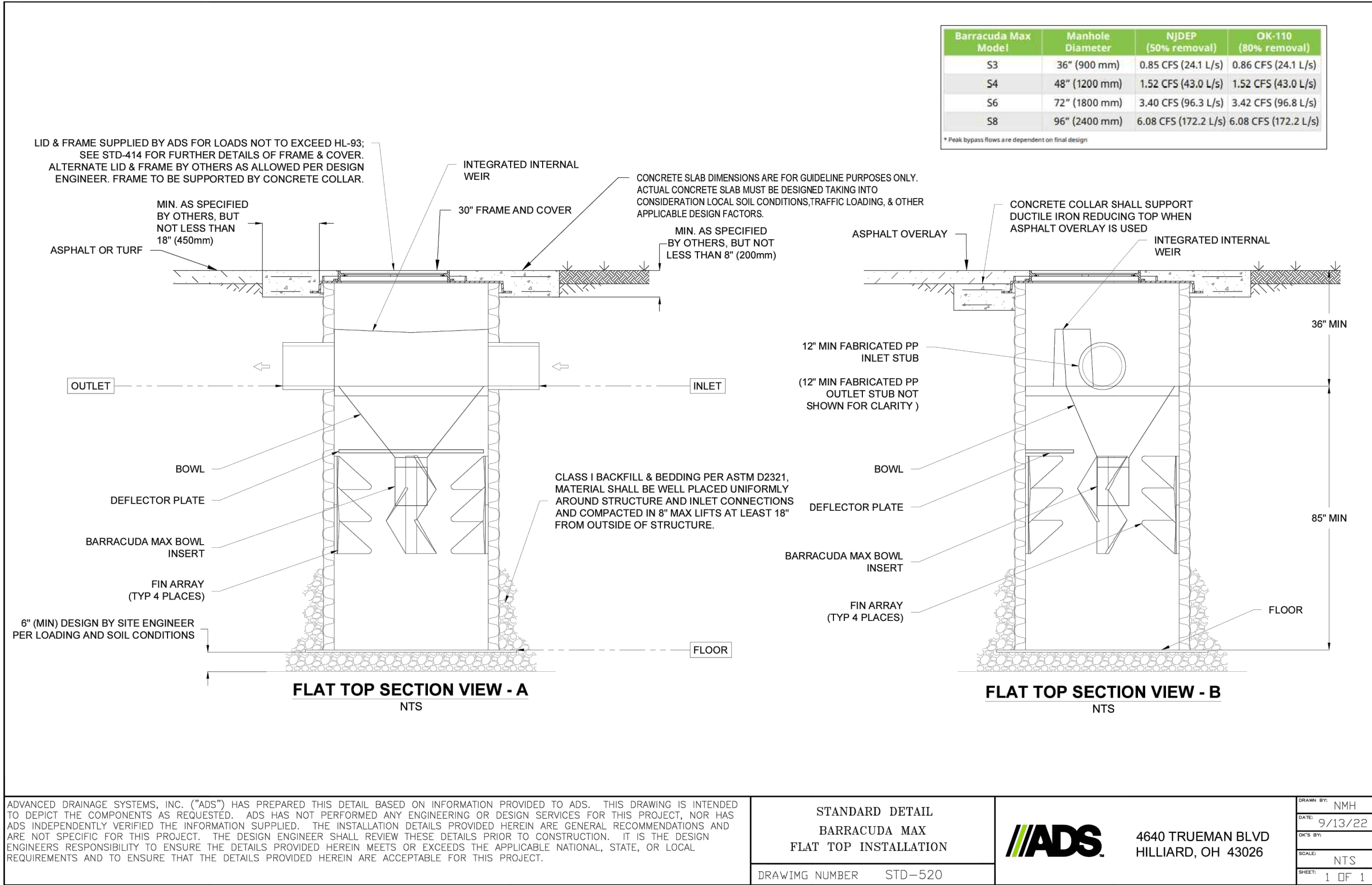
1260 SOUTH 630 EAST  
AMERICAN FORK CITY, UTAH

PROJECT NO. 2104096

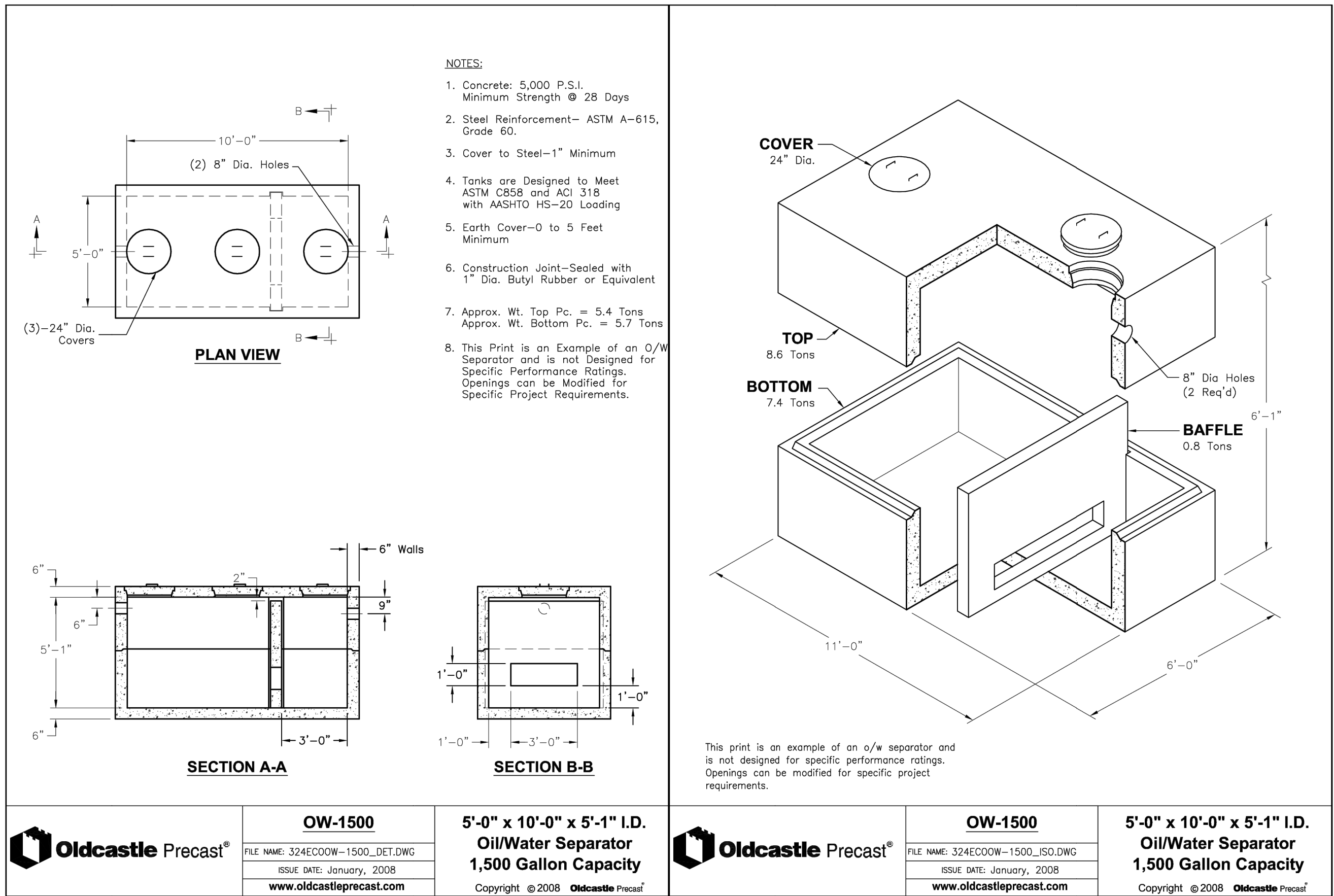
DETAIL SHEET

CDT.03  
11 OF 12

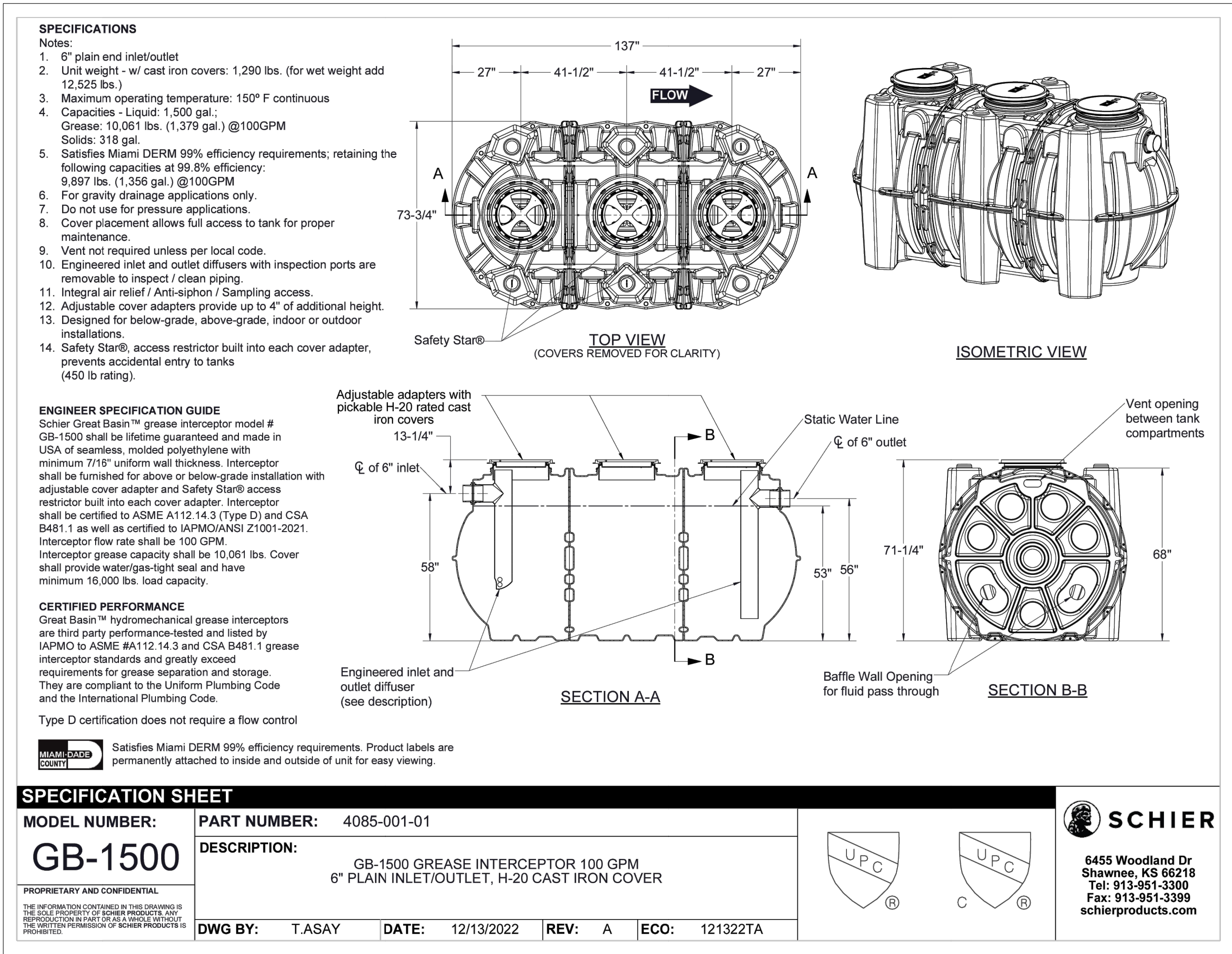




ADS BARRACUDA  
SCALE: NTS



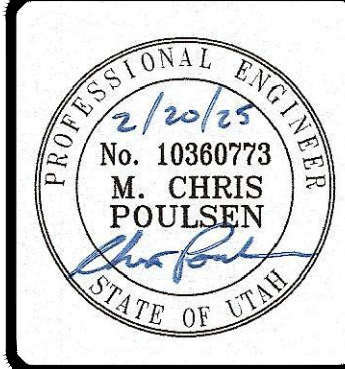
OLDCASTLE OIL-WATER SEPARATOR  
SCALE: NTS



SCHIER GREASE TRAP  
SCALE: NTS

NO.	DATE	DESCRIPTION
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SCALE MEASURES 1"=10' ON FULL SIZE SHEETS  
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**NORTH POINTE WAREHOUSE**

1260 SOUTH 630 EAST  
AMERICAN FORK CITY, UTAH

PROJECT NO. 2104096

DETAIL  
SHEET


CDT.04  
12 OF 12



### 10 FOOT STORM DRAIN EASEMENT

A 10 FOOT STORM DRAIN EASEMENT, FIVE (5) FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT A POINT ON THE EASTERLY LINE OF GRANTEE'S PROPERTY AT A POINT NORTH 34.06 FEET FROM THE SOUTHEAST CORNER OF LOT 1, NORTH POINTE BUSINESS PARK PLAT "E" ACCORDING TO THE OFFICE PLAT THEREOF AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER, AND RUNNING THENCE SOUTH 89°42'11" EAST 81.51 FEET TO AN EXISTING STORM DRAIN MANHOLE; THENCE SOUTH 01°48'39" WEST 33.90 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF 1300 SOUTH STREET, A PUBLIC ROAD AND POINT OF TERMINUS.

 American Fork City Development Review Committee
Planning and Zoning Reviewed tvaneekelenburg 02/25/2025
Public Infrastructure Reviewed dhoward 02/26/2025
Engineering Division Reviewed rburkhill 02/26/2025

Address comments

Suggestion to change the legal description to be 5' offset from the centerline of the pipe in the event the pipe doesn't get installed within the centerline of the above described description. If you keep it as is, that's fine as well. Just a suggestion.

Provide a copy of the easement document itself that will be recorded and entered into between the two parties. Once verified by the city, it can be signed/recorded at your convenience. Just provide to City a copy of recorded easement or entry number so we know it's completed.

## Next Step

**Proceed to the Development  
Review Committee on  
03.04.2025**