



AMERICAN FORK CITY

AMENDED PLANNING COMMISSION

AGENDA

Regular Session

March 5, 2025

Wednesday 6:00 PM

American Fork City Hall

31 North Church Street

American Fork City, UT 84003

<https://www.americanfork.gov/AgendaCenter>

Planning Commission Members

Christine Anderson, Chair

Rod Martin

Chris Christiansen, Vice Chair

David Bird

Geoff Dupaix

Harold Dudley

Bruce Frandsen

Claire Oldham

Notice is hereby given that the American Fork City Planning Commission will meet in regular session on March 5, 2025, at the American Fork City Hall, 31 North Church Street commencing at 6:00 PM. The agenda shall be as follows:

1. Regular Session

- a. Pledge of Allegiance
- b. Roll Call
- c. Election of Chairperson and Vice Chairperson

2. Common Consent Agenda (Common Consent is that class of Commission action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).

- a. Approval of the February 5, 2025, Planning Commission minutes

3. Public Hearings (Public Hearings is that class of Commission action that requires further discussion on General Plan changes, Zone changes, and Code Text Amendments that alter the land use characteristics of American Fork City. Public Hearing items will have the chance for the public to speak upon.)

- a. Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Strata Investments, located at approximately 195 E 600 S American Fork City. On approximately 2.40 acres, the property proposes to change from the Design Commercial designation to the Design Industrial land use designation.
- b. Public hearing, review, and recommendation on a proposed Zone Change, known as Strata Investments, located at approximately 195 E 600 S, American Fork City. On approximately 2.40 acres, the property proposes to change from the General Commercial (GC-2) Zone to the Planned Industrial (PI-1) Zone.

4. Action Items (Action Items is that class of Commission action that requires further discussion on Site Plans and proposed zoning designation for annexing areas. The Planning Commission will have authority to approve Site Plans for final action and provide recommendations for the zone of annexing property.)

- a. *Review and action on an application for a Commercial Site Plan, known as North Pointe Business Park, Building "F" (Application #3), located at approximately 1260 S 630 E, American Fork City, UT 84003. The Commercial Site Plan will be on approximately 6.05 acres and will be in the PI-1 (Planned Industrial) Zone.

5. Other Business

- a. Upcoming Projects

6. Adjournment

Dated this 4th day of March 2025

Patrick O'Brien

Development Services Director

**The order of agenda items may change at the discretion of the Planning Commission Chair*

UNAPPROVED MINUTES

02.05.2025

AMERICAN FORK CITY

PLANNING COMMISSION REGULAR SESSION

February 5th, 2025

The American Fork City Planning Commission met in a regular session on February 5th, 2025 at the American Fork City Hall, 31 North Church Street, commencing at 6:00 p.m.

Commissioners Present: Christine Anderson, Chris Christiansen, Rodney Martin, Bruce Frandsen, David Bird, Harold Dudley, Geoff Dupaix

Commissioners Absent:

Staff Present:

Travis Van Ekelenburg	Senior Planner
Cody Opperman	Planner II
JJ Hsu	Project Engineer
Angie McKee	Administrative Assistant I

Others Present: Ken Burg, Church Representative

REGULAR SESSION

Christine Anderson led the “Pledge of Allegiance”

Roll Call

Chairwoman Anderson explained the sections of the agenda, and the order in which staff, applicants, and the commissioners would speak throughout the meeting in order to keep the meetings professional and organized. She added that the planning commission is a voluntary citizen board, and the commissioners do not have any previous discussion about any of the items before the meeting.

COMMON CONSENT AGENDA

1. Minutes of the January 22nd, 2025 Planning Commission Regular Session.

UNAPPROVED MINUTES

02.05.2025

Bruce Frandsen motioned to approve the Common Consent agenda.

Harold Dudley seconded the motion.

Voting was as follows:

Chris Christiansen	AYE
Rodney Martin	AYE
Christine Anderson	AYE
Bruce Frandsen	AYE
David Bird	AYE
Harold Dudley	AYE

The motion passed

ACTION ITEMS

- a. **Review and recommendation on a proposed zone for an annexation, known as Chipman and Stake Center Annexation, located at approximately 100 W 700 S, American Fork City. On approximately 24 acres, the property will be annexed into American Fork City and be given the Planned Residential (PR-3.0) zoning designation.**

Cody Opperman reviewed the background information for Action Item letter a: The applicant has applied for annexation within American Fork City. The project area looks to have the PR-3.0 zoning designation assigned to the land, which would be for Planned Residential Projects. The annexation area is proposing to be developed into the Chipman Estates subdivision. This is going to be a stakeholder's annexation as the church and American Fork City also have property that is involved. Bruce Frandsen asked to see which part of this annexation is city property, and Cody Opperman showed the map and explained that it is basically the roadway for 700 South.

UNAPPROVED MINUTES

02.05.2025

Geoff Dupaix moved to recommend approval for the proposed Annexation Agreement, located at approximately 100 West 700 South, American Fork City, UT 84003, subject to any conditions found in the staff report.

David Bird seconded the motion.

Voting was as follows:

Chris Christiansen	AYE
Rodney Martin	AYE
Christine Anderson	AYE
Bruce Frandsen	AYE
David Bird	AYE
Harold Dudley	AYE
Geoff Dupaix	AYE

The motion passed

Other Business

The commissioners discussed some possibilities for the required training this year and requested that staff consider having multiple meetings to go over the code re-write as it would be difficult to go over the entire code in only one or two meetings.

Adjournment

Geoff Dupaix motioned to adjourn the meeting.

Rodney Martin seconded the motion.

Meeting adjourned at 6:18PM

UNAPPROVED MINUTES

02.05.2025

Angie McKee

Administrative Assistant I

The order of agenda items may change to accommodate the needs of the commissioners, public and staff.

Agenda Topic

Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Strata Investments, located at approximately 195 E 600 S American Fork City. On approximately 2.40 acres, the property proposes to change from the Design Commercial designation to the Design Industrial land use designation.

BACKGROUND INFORMATION		
Location:		195 E 600 S
Project Type:		Land Use Map Amendment
Applicants:		City Staff Initiated
Existing Land Use:		Design Commercial
Proposed Land Use:		Design Industrial
Surrounding Land Use:	North	Major Transportation Facilities
	South	Design Industrial
	East	Major Transportation Facilities/Design Commercial
	West	Design Commercial
Existing Zoning:		GC-2/PI-1
Proposed Zoning:		N/A
Surrounding Zoning:	North	PF
	South	PI-1
	East	PF/PI-1
	West	PI-1

Background

City Staff has initiated a proposed Land Use Map Amendment. The project looks to change the Land Use Map of the General Plan from the Design Commercial designation to the Design Industrial designation for the following two properties:

- 13:050:0268
- 13:050:0267

Chapter 17.11 Amendments

This development code, and the zoning map adopted as a part thereof, may be amended from time to time by the city council, but all proposed amendments must first be submitted to the planning commission for its recommendation. The procedure to be followed in amending the code and map shall be as set forth below.

Sec 17.11.101 Written Petition Required - City Initiated Amendments Permitted

Any person seeking an amendment of the development code or zoning map shall submit to the planning commission a written petition designating the change desired and the reasons therefor, and shall pay a nonrefundable filing fee in an amount established by resolution of the city council. Amendments to the code and map may also be initiated by action of the planning commission or upon request of the city council.

Sec 17.11.102 Planning Commission To Make Recommendations

Upon receipt of the petition the planning commission shall consider the request and, subject to completion of a public hearing on the matter before the planning commission with public notice given in accordance with the provisions of Section 17.11.103, shall submit its recommendations with respect thereto to the city council.

Sec 17.11.103 Planning Commission To Conduct Public Hearing Before Recommending Amendments - Notice Of Hearing To Be Provided

1. No ordinance approving an amendment to the official zone map or text of the development code, or approving a large scale development project may be enacted by the city council unless and until a public hearing relating to the proposed ordinance shall have been conducted by the planning commission.
2. Notice of the date, time and place of the first public hearing regarding a proposed amendment to the official zone map, text of the development code or ordinance of approval of a large scale development project shall be given at least 10 calendar days before the public hearing as follows:
 1. Published on the Utah Public Notice Website;
 2. Posted in at least three public locations within the city, or on the city's official website; and
 3. Mailed to each affected entity.

Sec 17.11.104 Amendments To Be Adopted By Council - Notice Required

1. The city council, at a public meeting called for the purpose, shall consider each proposed amendment to the official zone map, text of the development code, or ordinance of approval for a large scale development recommended to it by the planning commission and may act to adopt or reject the amendment or ordinance of approval as recommended by the planning commission or adopt the amendment after making any revision the city council considers appropriate.
2. Notice of the public meeting at which the city council will consider a proposed amendment or ordinance of approval shall be given at least twenty-four hours before the meeting, which notice shall, as a minimum, be posted in at least three public places within the city; or on the city's official website.

Sec 17.11.105 Amendments To Be Adopted By Ordinance - Public Notice Of Adoption

All amendments to the code and map shall be adopted, published and recorded in accordance with the applicable provisions of UCA 10-3-701 et seq.

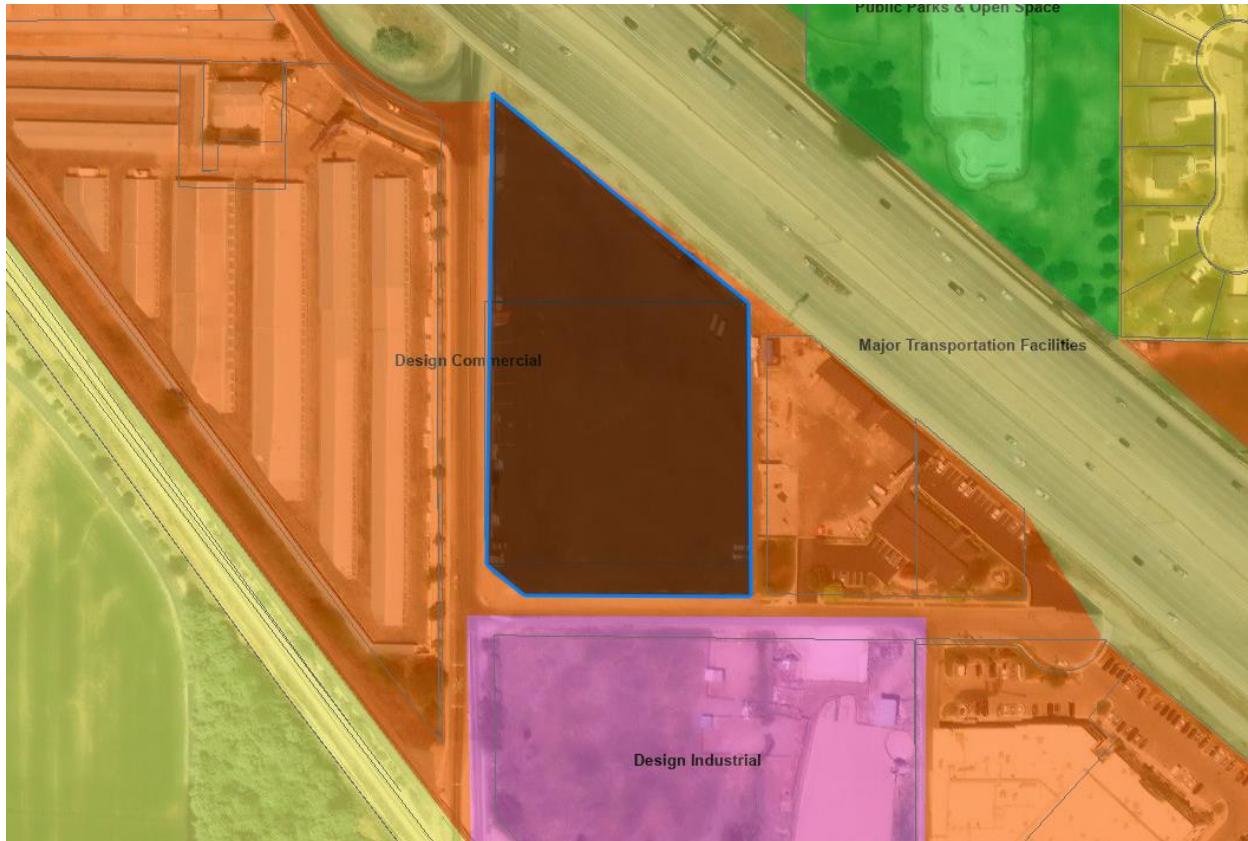
17.11.200 Intent With Respect To Amendments

All amendments to this code and zone map shall be made in accordance with the general plan of land use. It is hereby declared to be public policy that this code shall not be amended unless it can be shown that changed or changing conditions make the proposed amendment reasonably necessary to the promotion of the purposes of this code.

Project Conditions of Approval

1. N/A

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.

5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Land Use Map Amendment meets the requirements of Section 17.11.

Potential Motions – Land Use Map Amendment

Approval

I move to recommend approval for the proposed Land Use Map Amendment, located at 195 East 600 South, American Fork City, UT 84003, from the Design Commercial to the Design Industrial Land Use designation.

Denial

I move to recommend denial for the proposed Land Use Map Amendment, located at 195 East 600 South, American Fork City, UT 84003, from the Design Commercial to the Design Industrial Land Use designation.

Table

I move to table action for the proposed Land Use Map Amendment, located at 195 East 600 South, American Fork City, UT 84003, from the Design Commercial to the Design Industrial Land Use designation, and instruct staff/developer to...



Planning Commission Staff Report
Meeting Date: March 5, 2025

Agenda Topic

Public hearing, review, and recommendation on a proposed Zone Change, known as Strata Investments, located at approximately 195 E 600 S, American Fork City. On approximately 2.40 acres, the property proposes to change from the General Commercial (GC-2) Zone to the Planned Industrial (PI-1) Zone.

Location:		195 E 600 S
Project Type:		Land Use Map Amendment
Applicants:		City Staff Initiated
Existing Land Use:		Design Commercial
Proposed Land Use:		N/A
Surrounding Land Use:	North	Major Transportation Facilities
	South	Design Industrial
	East	Major Transportation Facilities/Design Commercial
	West	Design Commercial
Existing Zoning:		GC-2/PI-1
Proposed Zoning:		PI-1
Surrounding Zoning:	North	PF
	South	PI-1
	East	PF/PI-1
	West	PI-1

Background

City Staff has initiated a proposed Zoning Map Amendment (Zone Change). The project looks to change the Zoning Map from the GC-2 Planned Commercial zoning designation to the PI-1 Planned Industrial zoning designation for the following property:

- 13:050:0268

Chapter 17.11 Amendments

This development code, and the zoning map adopted as a part thereof, may be amended from time to time by the city council, but all proposed amendments must first be submitted to the planning commission for its recommendation. The procedure to be followed in amending the code and map shall be as set forth below.

Sec 17.11.101 Written Petition Required - City Initiated Amendments Permitted

Any person seeking an amendment of the development code or zoning map shall submit to the planning commission a written petition designating the change desired and the reasons therefor, and shall pay a nonrefundable filing fee in an amount established by resolution of the city council.

Amendments to the code and map may also be initiated by action of the planning commission or upon request of the city council.

Sec 17.11.102 Planning Commission To Make Recommendations

Upon receipt of the petition the planning commission shall consider the request and, subject to completion of a public hearing on the matter before the planning commission with public notice given in accordance with the provisions of Section 17.11.103, shall submit its recommendations with respect thereto to the city council.

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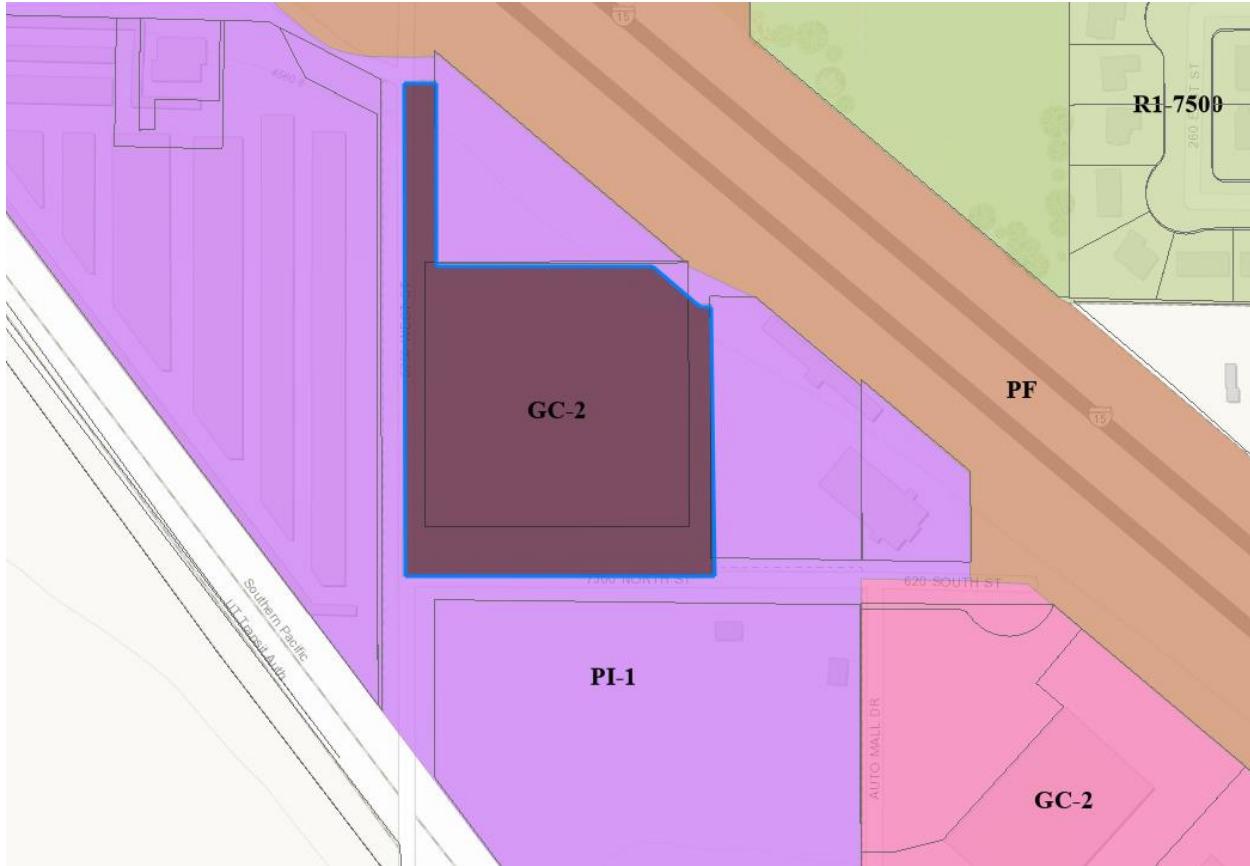
Project Conditions of Approval

1. N/A

Findings of Fact

1. The Zone Change meets the requirements of Section 17.11.

Project Map



Standards Conditions of Approval

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- Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
- Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
- Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.

4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
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11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Potential Motions – Zone Change

Approval

I move to recommend approval for the proposed Zone Change, located at 195 E 600 S, American Fork City, UT 84003, from the GC-2 zoning designation to the PI-1 designation, subject to any conditions found in the staff report.



Planning Commission Staff Report
Meeting Date: March 5, 2025

Denial

I move to recommend denial for the proposed Zone Change, located at 195 E 600 S, American Fork City, UT 84003, from the GC-2 zoning designation to the PI-1 designation.

Table

I move to table action for the proposed Zone Change, located at 195 E 600 S, American Fork City, UT 84003, from the GC-2 zoning designation to the PI-1 designation, and instruct staff/developer to...

Agenda Topic

Review and action on an application for a Commercial Site Plan, known as North Pointe Business Park, Building "F" (Application #3), located at approximately 1260 S 630 E, American Fork City, UT 84003. The Commercial Site Plan will be on approximately 6.05 acres and will be in the PI-1 (Planned Industrial) Zone.

BACKGROUND INFORMATION		
Location:		1260 S 630 E
Project Type:		Commercial Site Plan
Applicants:		Dan Gould – GOULD PLUS Architects
Existing Land Use:		Design Industrial
Proposed Land Use:		N/A
Surrounding Land Use:	North	Design Industrial
	South	Design Industrial
	East	Design Industrial
	West	Design Industrial
Existing Zoning:		PI-1
Proposed Zoning:		N/A
Surrounding Zoning:	North	PI-1; GC-2
	South	PI-1
	East	PI-1
	West	PI-1
Square Footage (By Use)		Office – 10,990 s.f.; Warehouse – 98,900 s.f.
Total Number of Units		N/A
Parking Requirement		143 stalls required; 143 stalls provided

Background

The applicant has applied for a Commercial Site Plan to develop an office/warehouse development. The project looks to provide 10,990 square feet of office use and 98,900 square feet of warehousing to the area. This is the final piece to the North Pointe Business Park between E Bromley Drive and 1300 South.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.

4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Project Conditions of Approval

1. Identify utility crossing inverts of existing and new storm drain line. Update SD design to eliminate potential conflict identified.
2. Provide missing elevations, callouts and design invert information
3. Provide easement document with reviewed legal description for proposed SD easement across neighbor's parcel. If the document is not recorded, an updated design will be required prior to construction.

Findings of Fact

1. The Commercial Site Plan MEETS the requirements of Section 17.6.101.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

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2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.

5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
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12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan MEETS the requirements of Section 17.6.101. Staff recommends APPROVING the application WITH CONDITIONS.

Potential Motions – Commercial Site Plan

Approval

I move to approve for the proposed Commercial Site Plan, located at approximately 1260 S 630 E, American Fork City, in the PI-1 Zone, subject to any conditions found in the staff report.

Denial

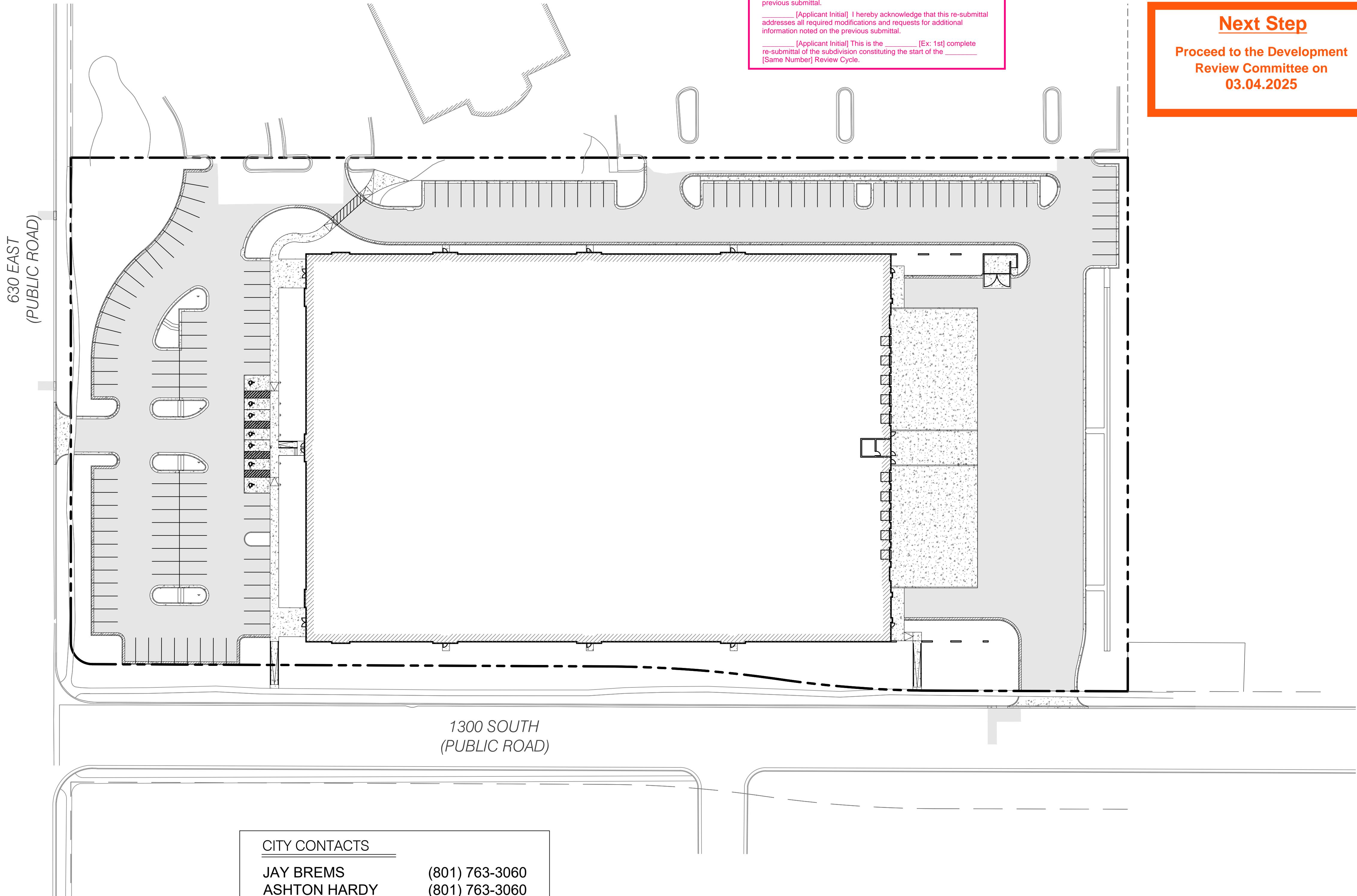
I move to deny the proposed Commercial Site Plan, located at approximately 1260 S 630 E, American Fork City, in the PI-1 Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at approximately 1260 S 630 E, American Fork City, in the PI-1 Zone and instruct staff/developer to...

NORTH POINTE WAREHOUSE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 25,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
AMERICAN FORK CITY, UTAH COUNTY, UTAH



CITY CONTACTS

JAY BREMS	(801) 763-3060
ASHTON HARDY	(801) 763-3060
DEE HOWARD	(801) 763-3060
TYLER MEZENEN	(801) 763-3060
WILL DAVIS	(801) 897-9826
MAT SACCO	(801) 763-3045
ERNIE JOHN	(801) 471-6576
	(800) 662-4111
ELYSSA VALDEZ	(801) 401-3017
BILL WESTFALL	(801) 623-4252
TRENT JOHNSON	(801) 853-6548
DAVID BARLOW	(801) 756-5231
DALE JONES	(801) 768-8150
TERIA WALKER	(801) 756-1310



1-800-662-4111
www.bluestakes.org

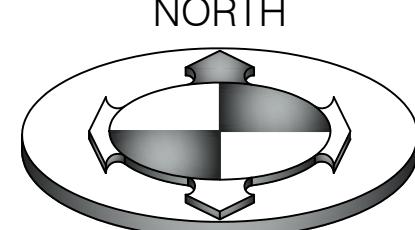
811

Re-Submittal Acknowledgment Statement
The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.
[Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.
[Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.
[Applicant Initial] This is the [Ex: 1st] complete re-submittal of the subdivision constituting the start of the [Same Number] Review Cycle.

Next Step
Proceed to the Development Review Committee on 03.04.2025

American Fork City Development Review	
Sewer/Storm Drain Division Reviewed ahardy 02/20/2025	Planning and Zoning Reviewed tvanekelenburg 02/25/2025
Public Infrastructure Reviewed dhoward 02/26/2025	Fire Department Reviewed M. Sacco 02/27/2025
Water/WRI Division Reviewed ascott 02/26/2025	Engineering Division Reviewed jdhill 02/26/2025
Communications Reviewed MHunsaker 02/25/2025	Streets Division Reviewed ehjones 02/25/2025

GRAPHIC SCALE
40 0 20 40 80
(IN FEET)
1 inch = 40ft.

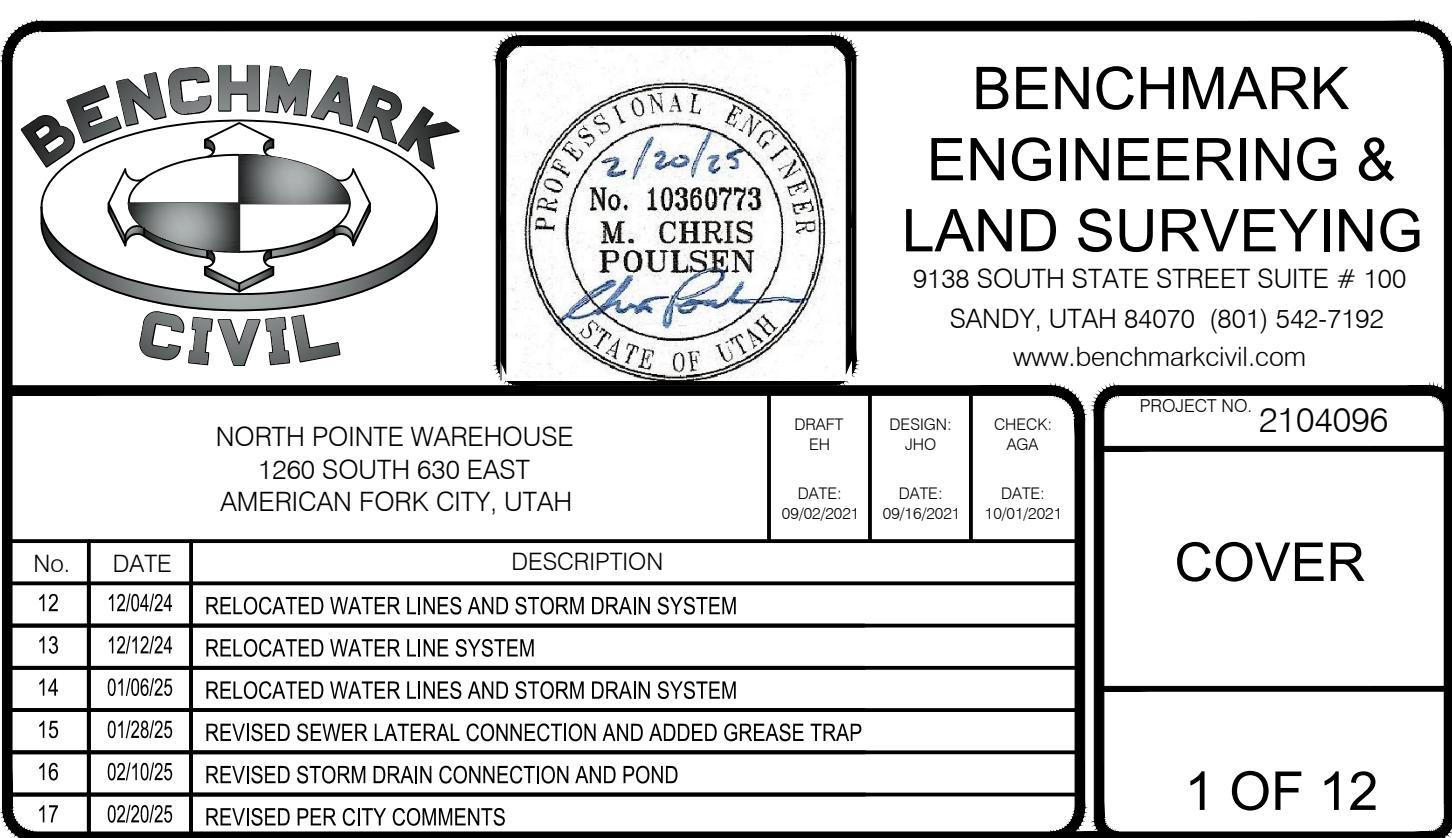


VICINITY MAP
SCALE: 1" = 700'

OWNER/DEVELOPER:
ROBINSON BROTHERS
MIKE ROBINSON
mike@robinson-brothers.com

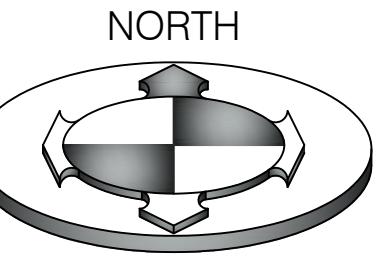
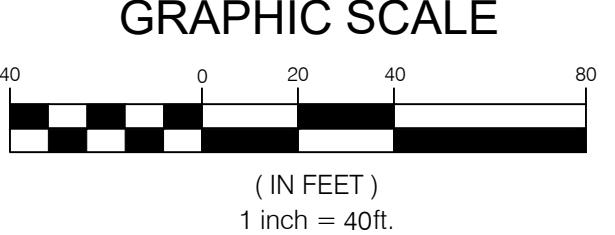
DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CDT.01	DEMO PLAN
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES
CDT.03	DETAILS & NOTES
CDT.04	DETAILS & NOTES



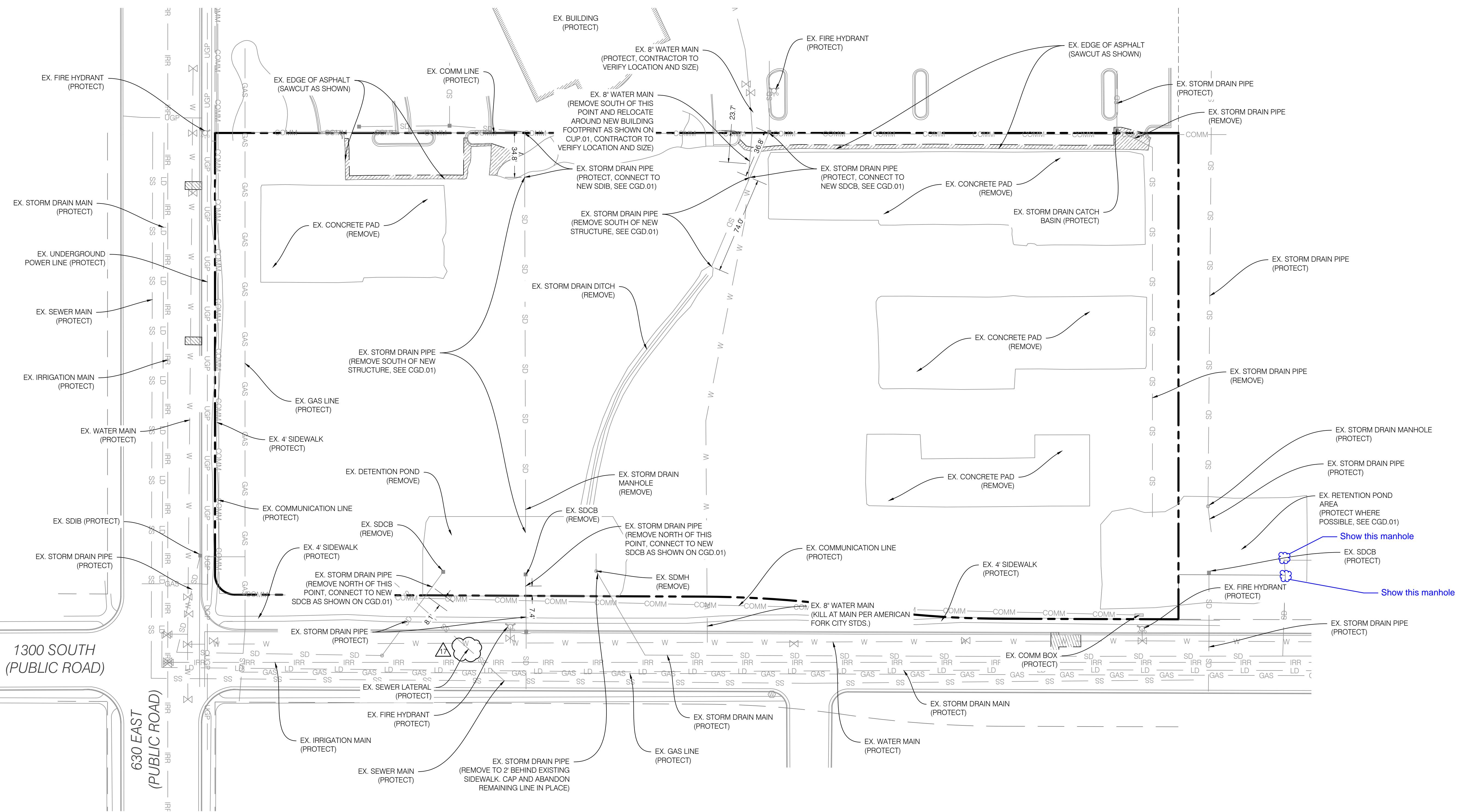
FEMA FLOOD PLAIN ZONE: X
MAP: 49049C0307F
EFFECTIVE DATE: 06/09/2020

BENCHMARK ENGINEERING CONTACT: ALLISON G. ALBERT, PE



GRAPHIC SCALE

(IN FEET)
1 inch = 40ft.



NORTH POINTE WAREHOUSE

BENCHMARK ENGINEERING & LAND SURVEYING

1138 SOUTH STATE STREET SUITE #100

The logo for Benchmark is a vertical oval. Inside the oval is a stylized checkered emblem, resembling a heraldic shield or a racing flag, divided into four quadrants. The top-left and bottom-right quadrants are dark grey, while the top-right and bottom-left are white. The word "BENCHMARK" is written vertically along the left side of the oval in a bold, sans-serif font.

PROJECT NO. 2104096

DEMO PLAN

CDP.01
3 OF 12

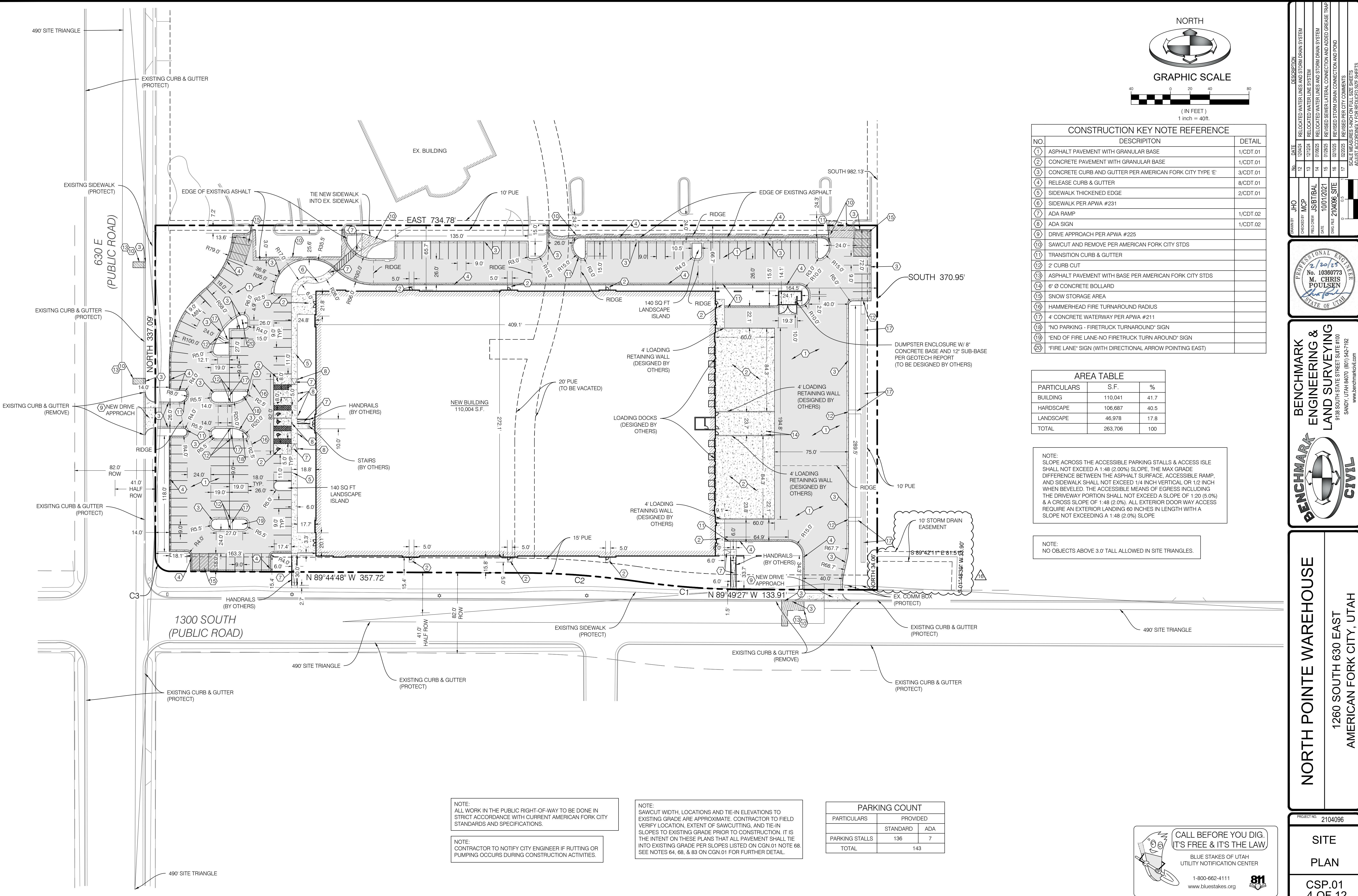


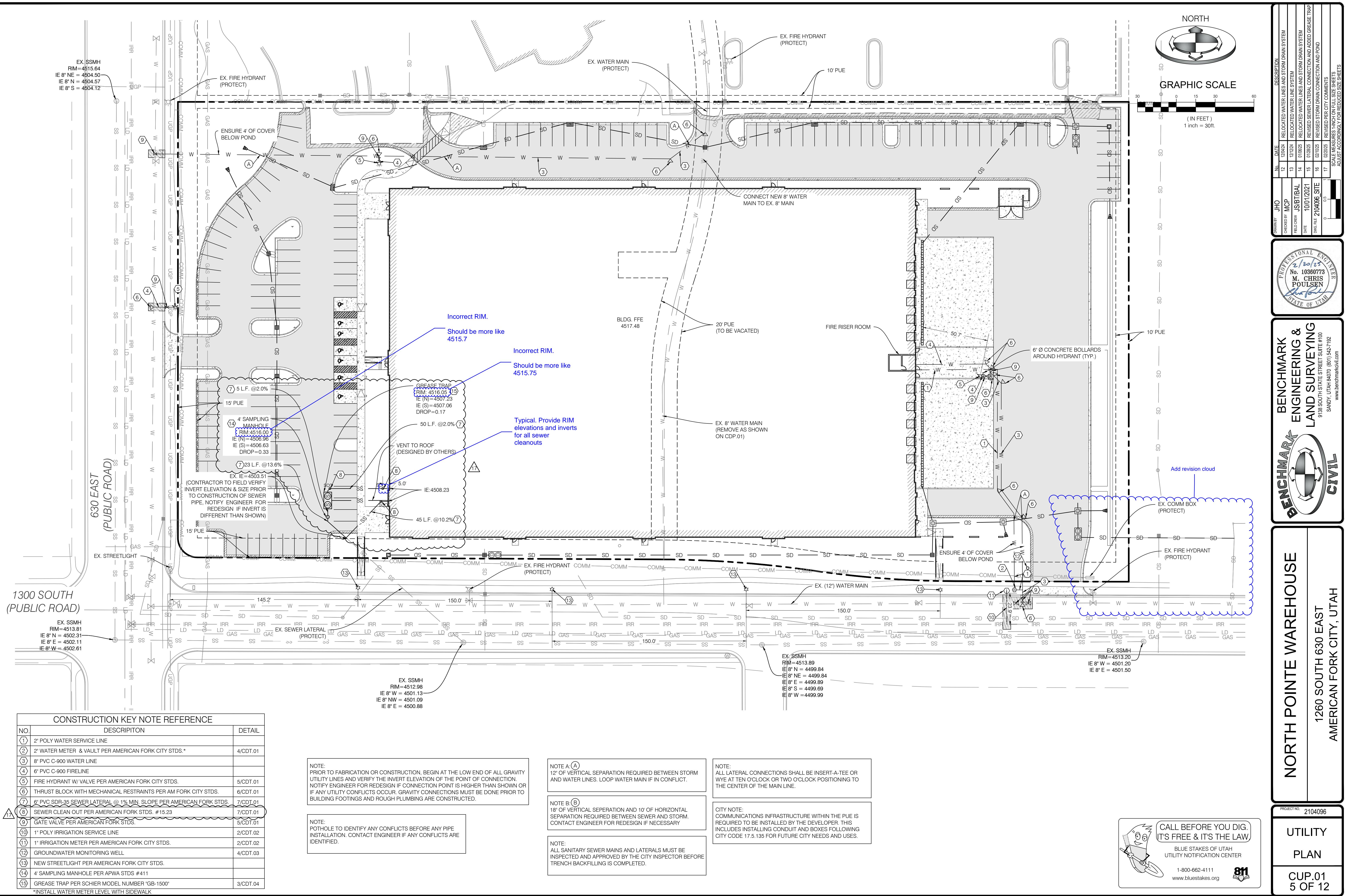
AL BEFORE YOU DIG.
FREE & IT'S THE LAW

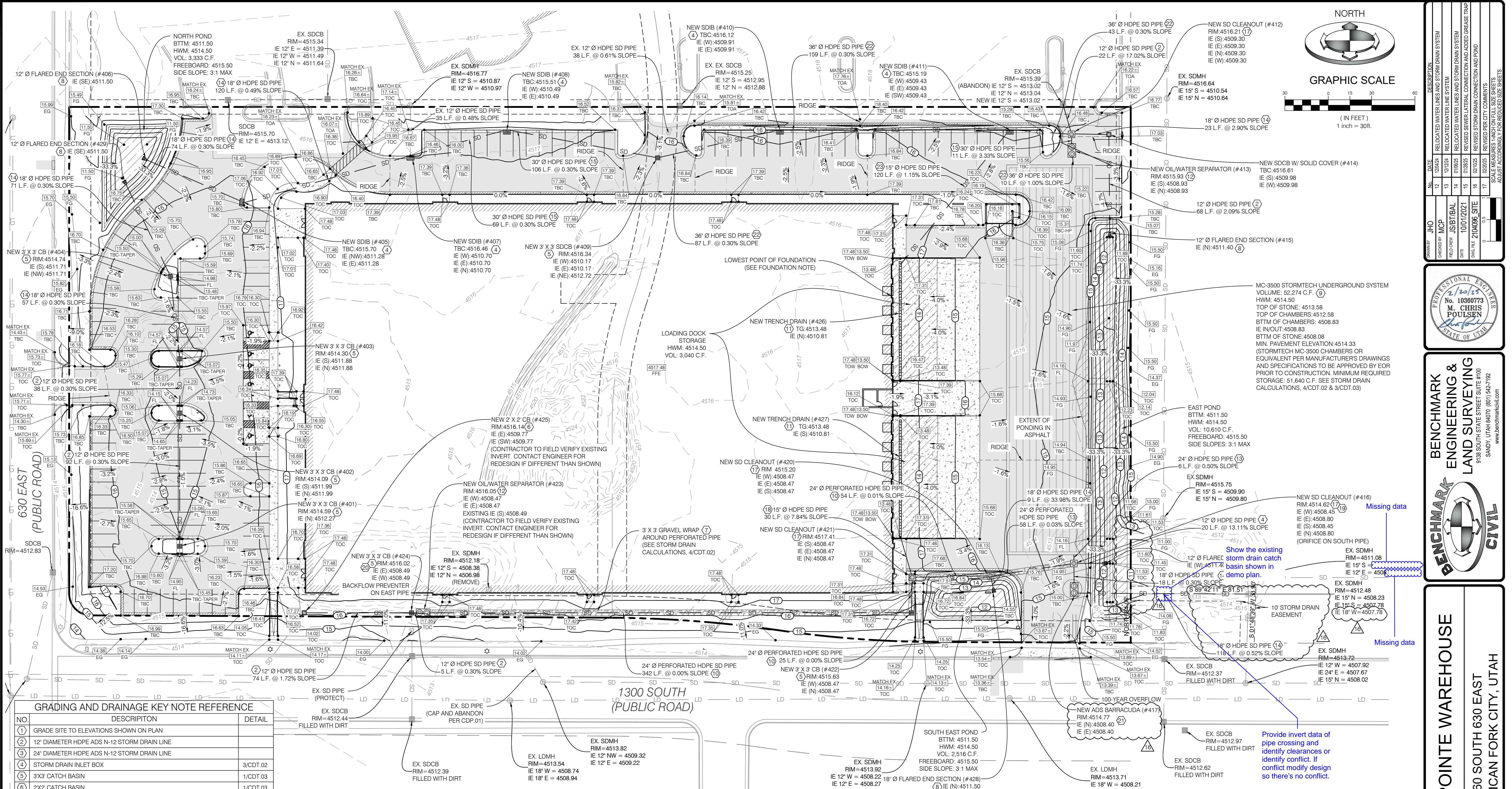
BLUE STAKES OF UTAH ITY NOTIFICATION CENTER

1-800-662-4111
www.bluestakes.org

1-800-662-4111
www.bluestakes.org







GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPITON	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	
②	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
③	24" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
④	STORM DRAIN INLET BOX	3/CDT.02
⑤	3'X3' CATCH BASIN	1/CDT.03
⑥	2'X2' CATCH BASIN	1/CDT.03
⑦	PERFORATED PIPE WITH GRAVEL WRAP	2/CDT.03
⑧	12" DIAMETER FLARED STORM DRAIN END SECTION	
⑨	MC-3500 STORMTECH UNDERGROUND DETENTION SYSTEM	3/CDT.03
⑩	24" DIAMETER PERFORATED HDPE ADS N-12 STORM DRAIN LINE	
⑪	NEW TRENCH DRAIN (DESIGN BY OTHERS, SLOPE BTTM @ 0.50%)	
⑫	1500 GAL. OIL/WATER SEPARATOR	2/CDT.04
⑬	24" DIAMETER RCP CLASS-III STORM DRAIN LINE	
⑭	18" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑮	30" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑯	STORM DRAIN MAN HOLE	
⑰	STORM DRAIN CLEANOUT	
⑱	15" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑲	6.1" Ø ORIFICE PLATE	
⑳	SERIES 37 BACKFLOW PREVENTER	5/CDT.03
㉑	ADS BARRACUDA STORM WATER TREATMENT DEVICE	1/CDT.04
㉒	36" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	

FOUNDATION NOTE:
THE LOWEST POINT ON FOOTING FOUNDATION IS 7' BELOW
THE FFE AT 4510.48. THIS ELEVATION IS 2.78' ABOVE THE
HISTORICALLY OBSERVED GROUND WATER LEVEL AT
4507.70. PLEASE REFER TO ARCHITECT AND STRUCTURAL
PLANS FOR FOOTING CONSTRUCTION AND ELEVATIONS.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO
EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO
FIELD VERIFY LOCATION, EXTENT OF SAWCUTTING, AND
TIE-IN SLOPES TO EXISTING GRADE PRIOR TO
CONSTRUCTION. IT IS THE INTENT ON THESE PLANS THAT
ALL PAVEMENT SHALL TIE INTO EXISTING GRADE PER
SLOPES LISTED ON CGN.01 NOTE 68. SEE NOTES 64, 68, & 83
ON CGN.01 FOR FURTHER DETAIL.

OTE:
OTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE
INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE
IDENTIFIED.

OTE:
RIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE
OW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE
NVERT ELEVATION OF THE POINT OF CONNECTION.
OTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT
S HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS
CCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO
UILDING FOOTINGS AND ROUGH PLUMBING ARE
ONSTRUCTED.

SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE

BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH
2014" WEST

ANCHMARK:
WEST QUARTER CORNER OF SECTION 25, TOWNSHIP
SOUTH, RANGE 1 EAST, SALT LAKE BASE AND
MERIDIAN.
ELEVATION = 4525.60
WD88

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811

NORTH POINTE WAREHOUSE
1260 SOUTH 630 EAST
AMERICAN FORK CITY, UTAH

PROJECT NO. 2104096

GRADING & DRAINAGE PLAN

CGD.01
6 OF 12

DATE	10/01/2021	14	01/06/25	RELOCATED WATER LINES AND STORM DRAIN SYSTEM
DWG. FILE	2104096 SITE	15	01/28/25	REVISED SEWER LATERAL CONNECTION AND ADDED GREASE TRAP
		16	02/10/25	REVISED STORM DRAIN CONNECTION AND POND
		17	02/20/25	REVISED PER CITY COMMENTS

10360773
CHRIS
OULSEN
Chris Oulsen
THE STATE OF UTAH

**BENCHMARK
AND SURVEYING**
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

EAST
Y, UTAH

1260 SOUTH 630 E
AMERICAN FORK CIT

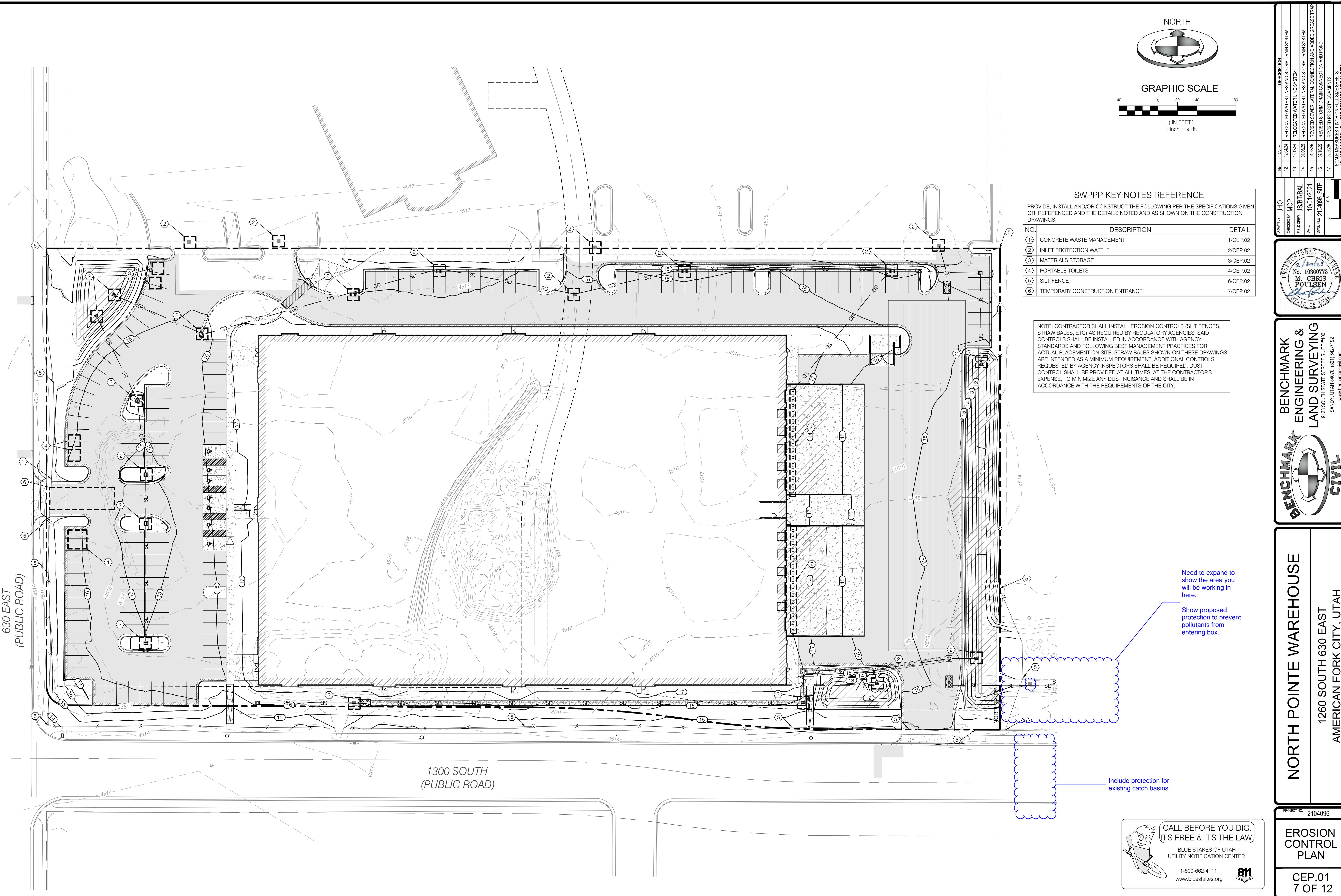
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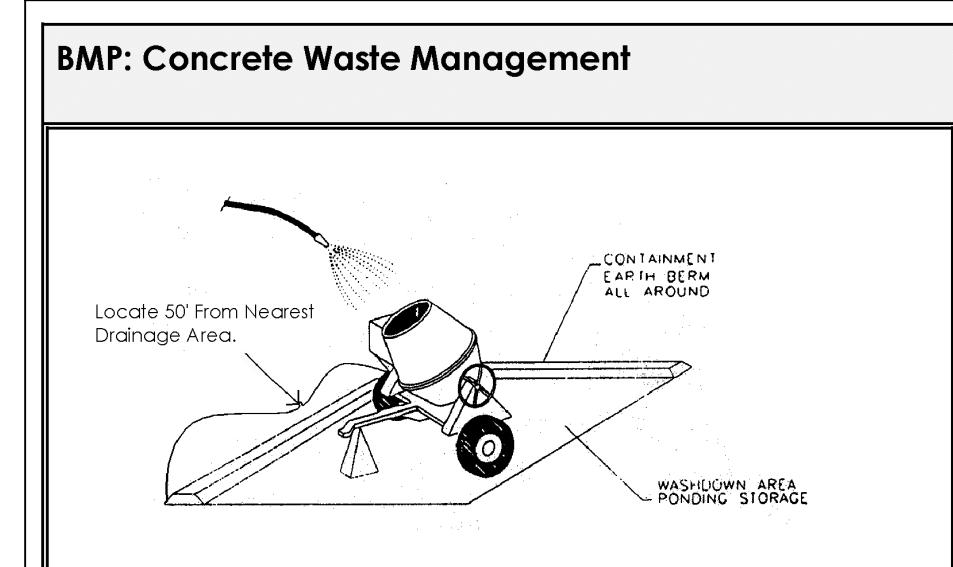
2104096

LEADING & RAINAGE PLAN

GD.01
OF 12

GD.01
OF 12





DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

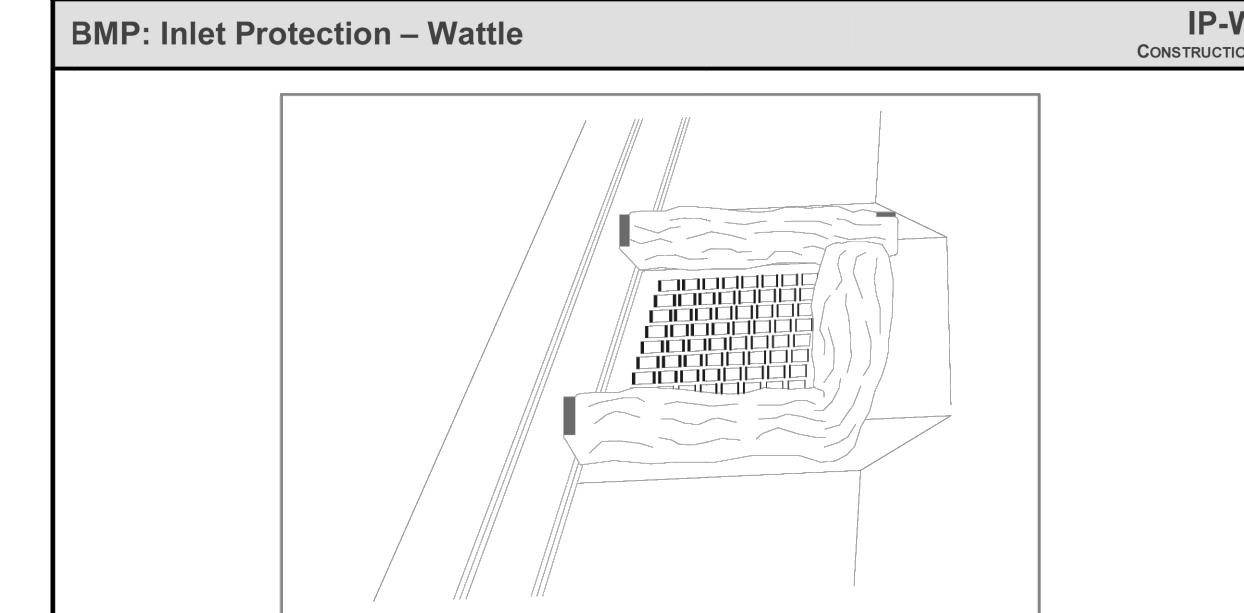
- Locate concrete waste area under cover, away from drainage areas.
- Avoid creating excess amounts of fresh concrete or cement on site.
- Perform washout of concrete trucks off site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- Wash concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a berm or level area. (See Earth Berm Barrier Information sheet).
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:

- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.



DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:

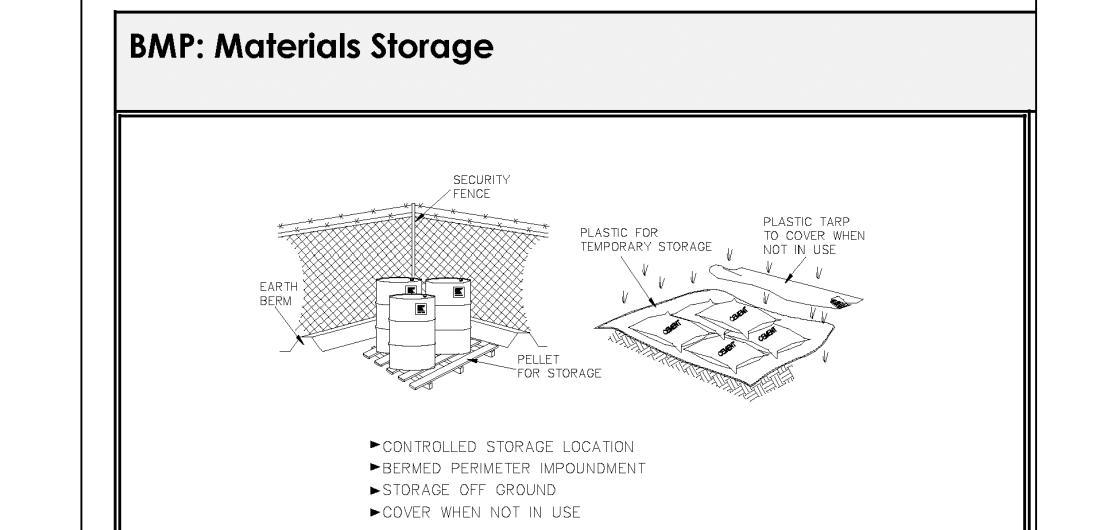
- Provide up-gradient sediment controls, such as silt fence during construction of inlet
- When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

LIMITATIONS:

- Recommended maximum contributing drainage area of one acre
- Requires shallow slopes adjacent to inlet

MAINTENANCE:

- Inspect inlet protection following storm event and at a minimum of once every 14 days.
- Remove accumulated sediment when it reaches 4 inches in depth.
- Look for bypassing or undercutting and repair or realign as needed.



DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:

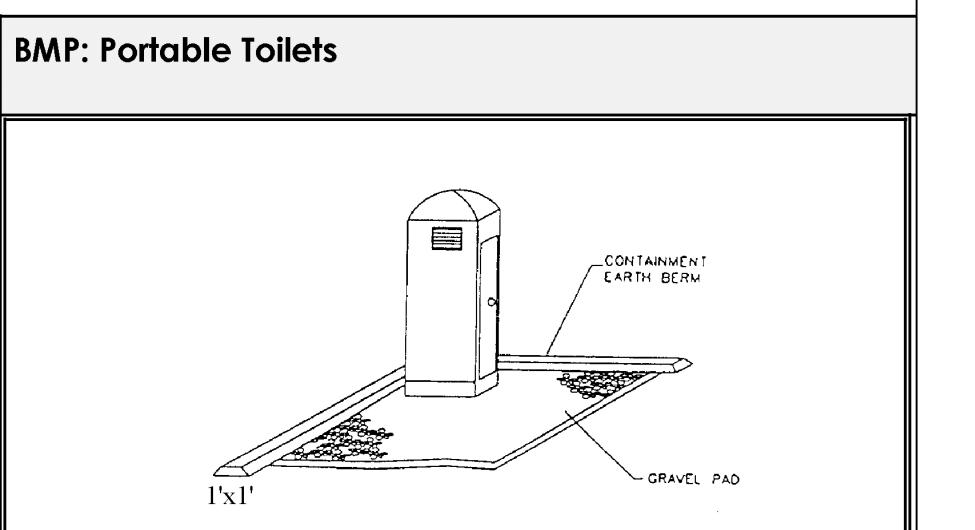
- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earth berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Excavate all on-site materials within the designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

LIMITATIONS:

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright), in labeled containers, tightly capped) and that no materials are being stored away from the designated location.



DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

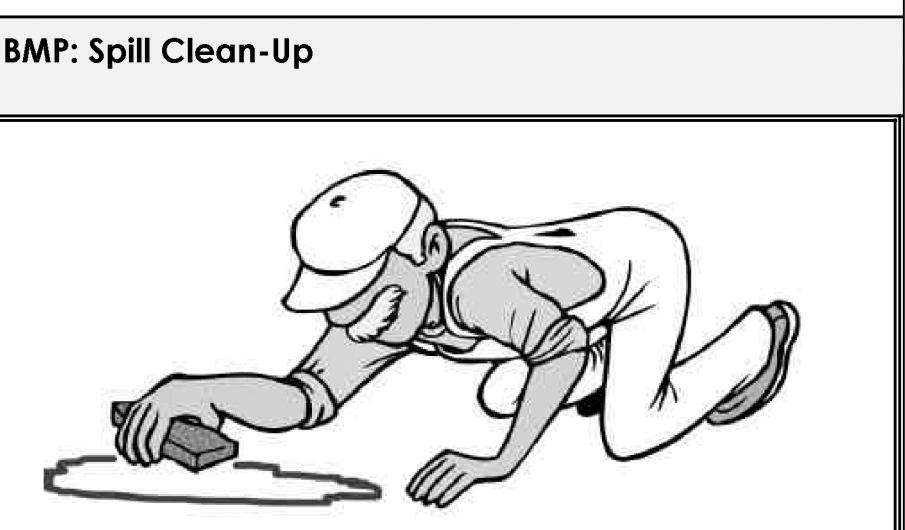
INSTALLATION/APPLICATION CRITERIA:

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

LIMITATIONS:
No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
- Document with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

CONCRETE WASTE MANAGEMENT 1

SCALE: NTS

INLET PROTECTION WATTLE 2

SCALE: NTS

MATERIALS STORAGE 3

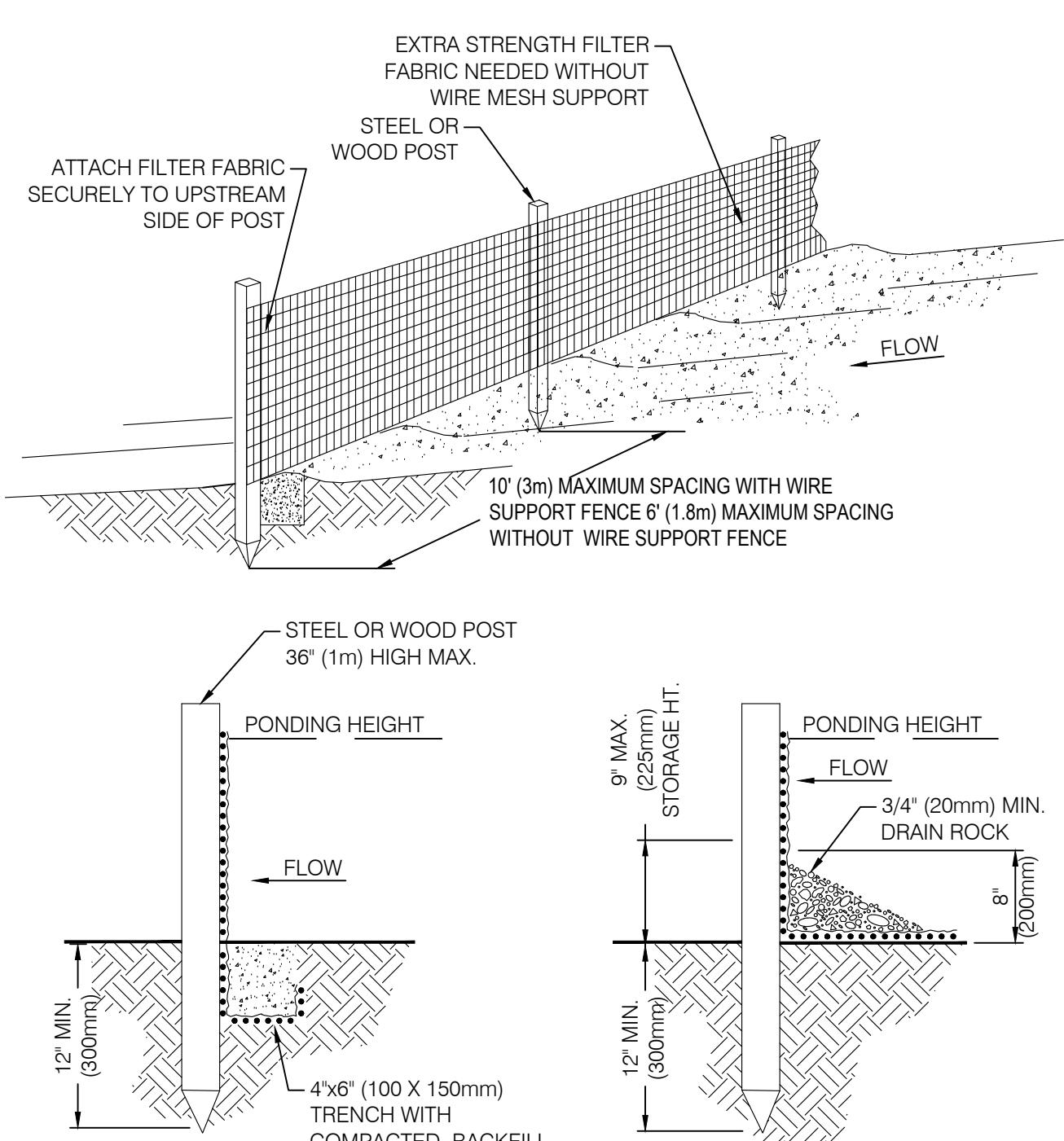
SCALE: NTS

PORTABLE TOILETS 4

SCALE: NTS

SPILL CLEAN UP 5

SCALE: NTS



TRENCH DETAIL

NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

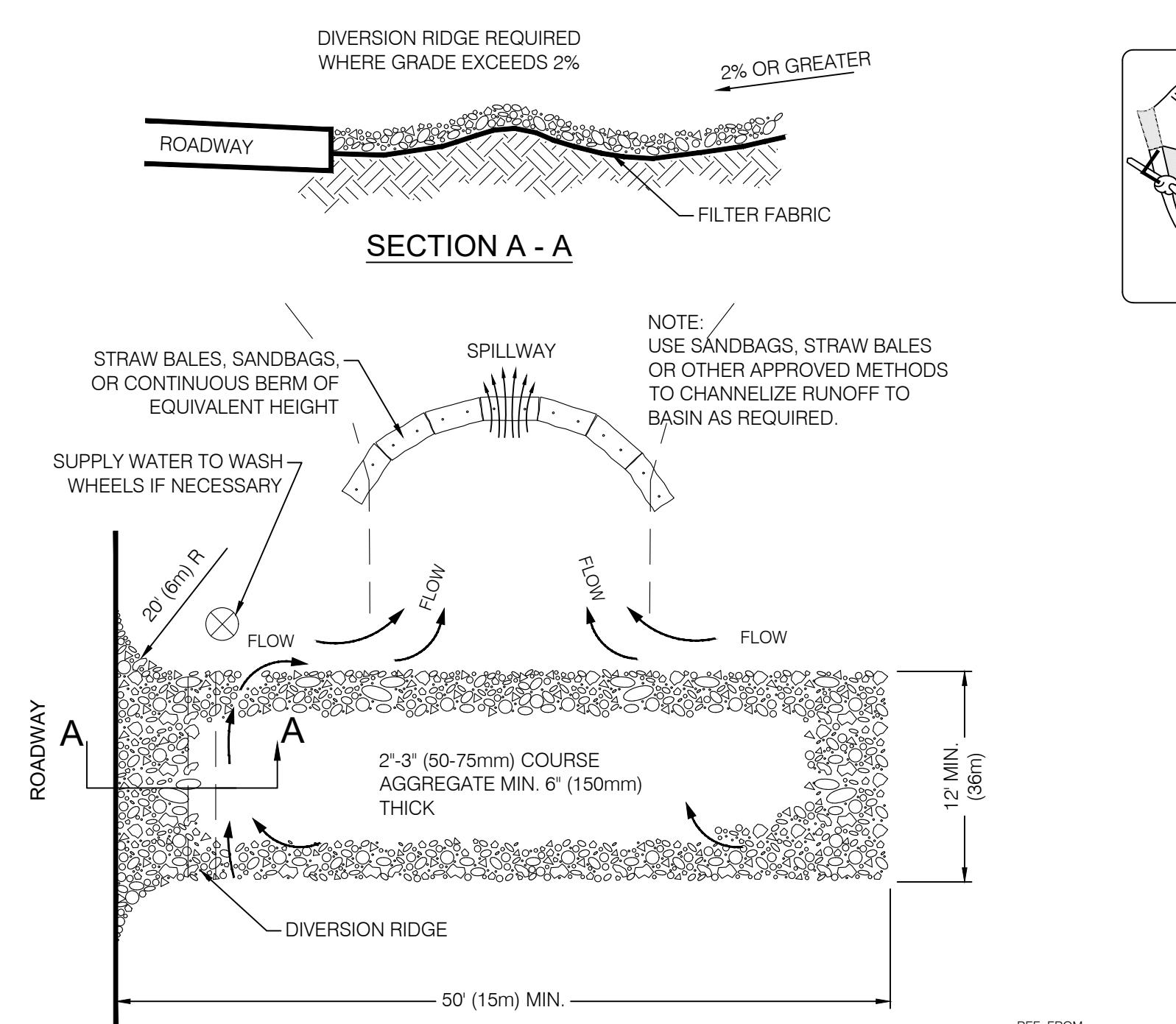
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9' (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.

3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

INSTALLATION WITHOUT TRENCHING

NOT TO SCALE

© REF. FROM 1994 JOHN McCULLAH



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.

2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT 7

SCALE: NTS



"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.)

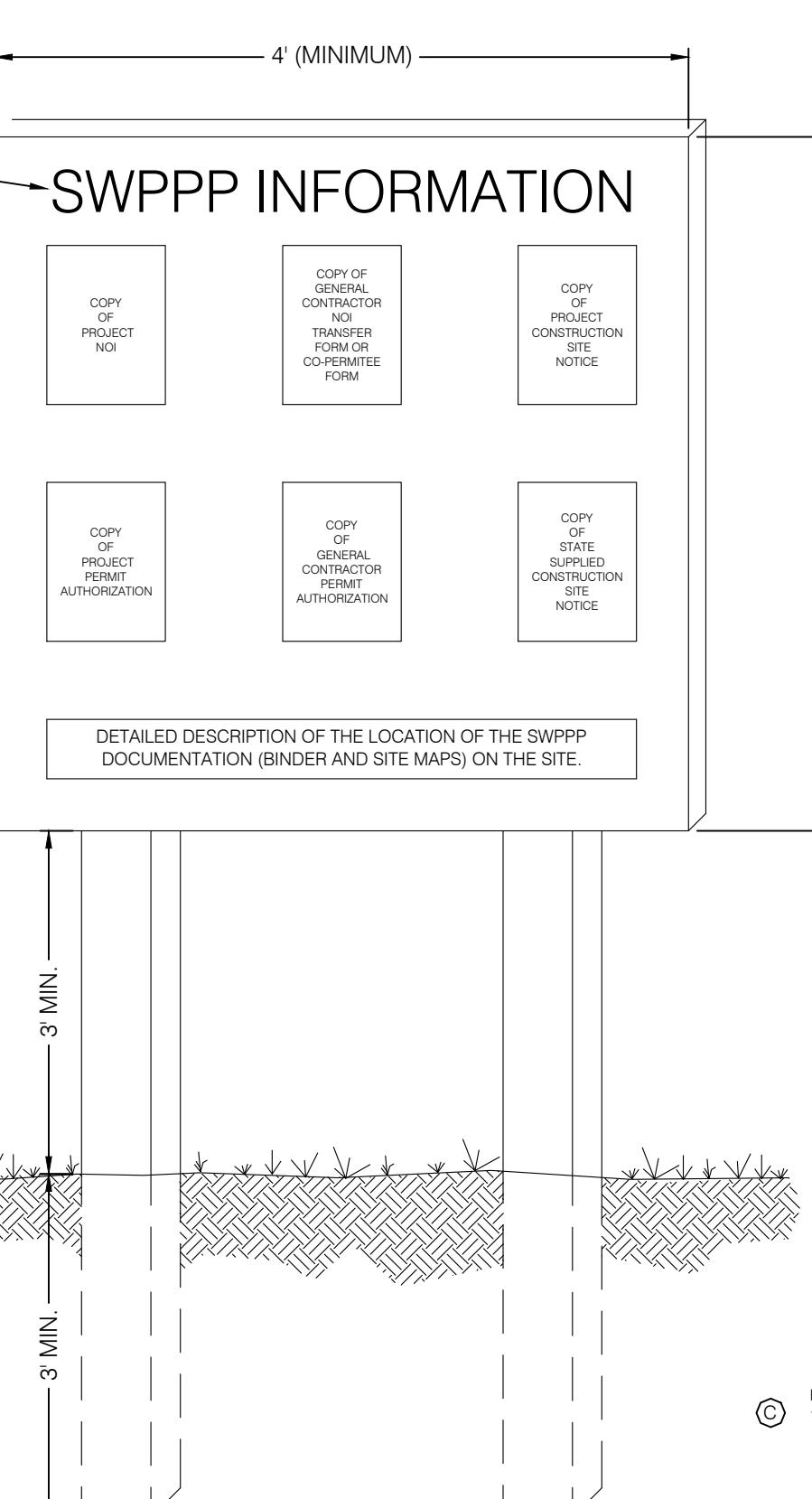
NOTES:
1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.

2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO TERMINATION (NOT) IS FILED FOR THE PERMIT.

3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.

4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.

5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.



SWPPP INFORMATION SIGN 8

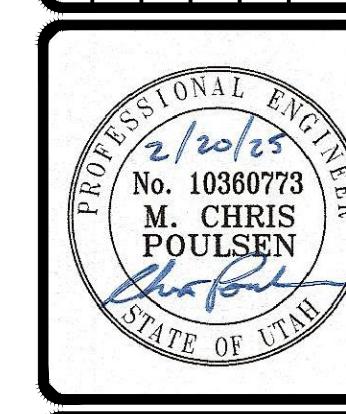
SCALE: NTS

NORTH POINTE WAREHOUSE

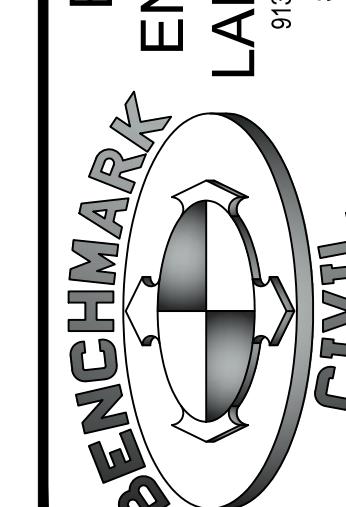
1260 SOUTH 630 EAST
AMERICAN FORK CITY, UTAH

EROSION CONTROL DETAILS
CEP.02
8 OF 12

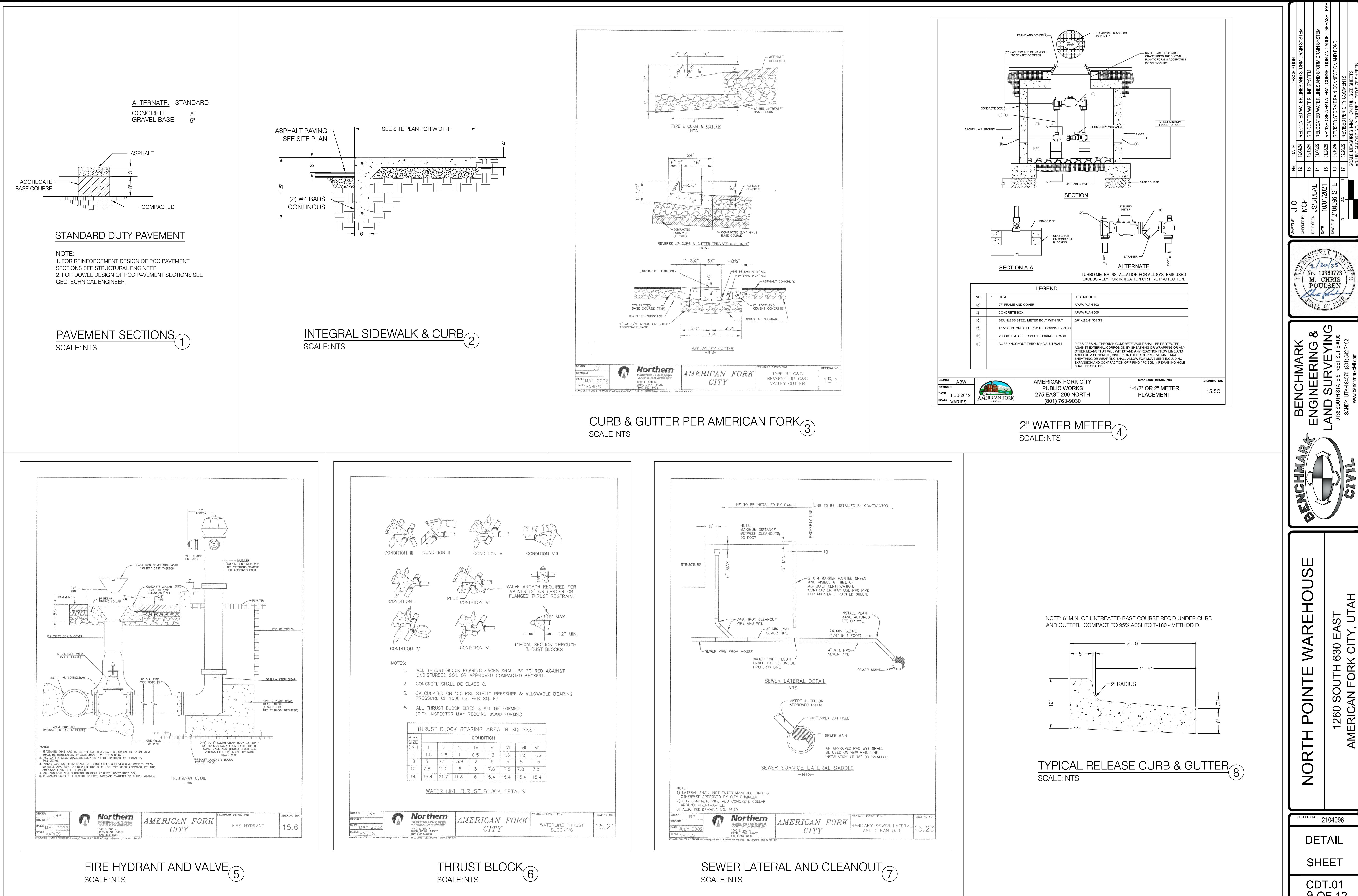
DRAWN BY	JHO	DATE	12/04/24
CHECKED BY	JS/BJ/TB/L	DATE	12/23/24
FIELD CREW		DATE	01/05/25
DATE FILED	10/05/25 SITE	DATE	01/25/25
0	1	16	02/05/25 REVISED FOR CITY COMMENTS
0	1	17	02/05/25 REVISED FOR CITY COMMENTS
SCALE MEASURES (INCHES) FOR REDUCED SITE SHEETS			

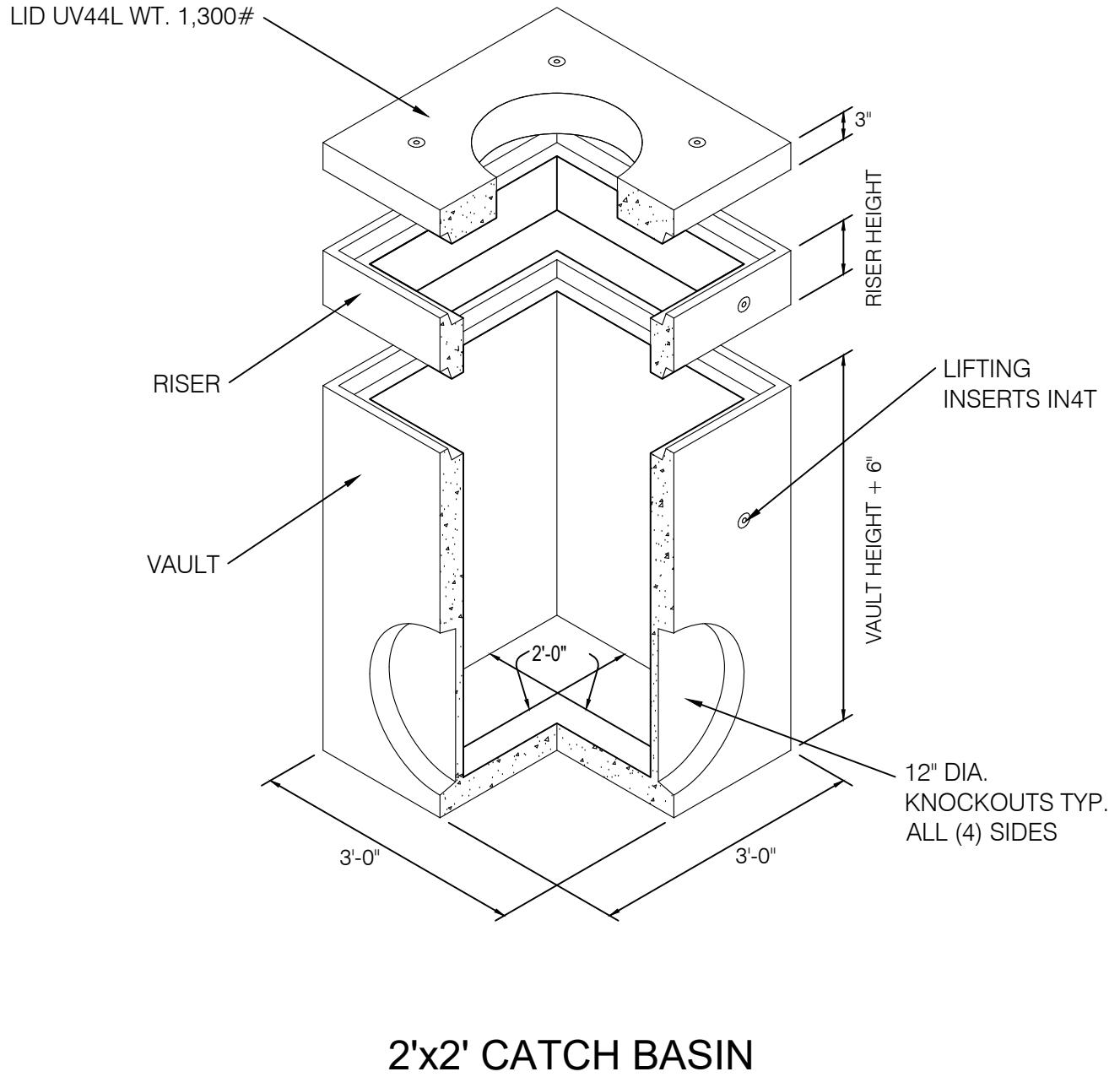


2/20/25
M. CHRIS
POULSEN
STATE OF UTAH

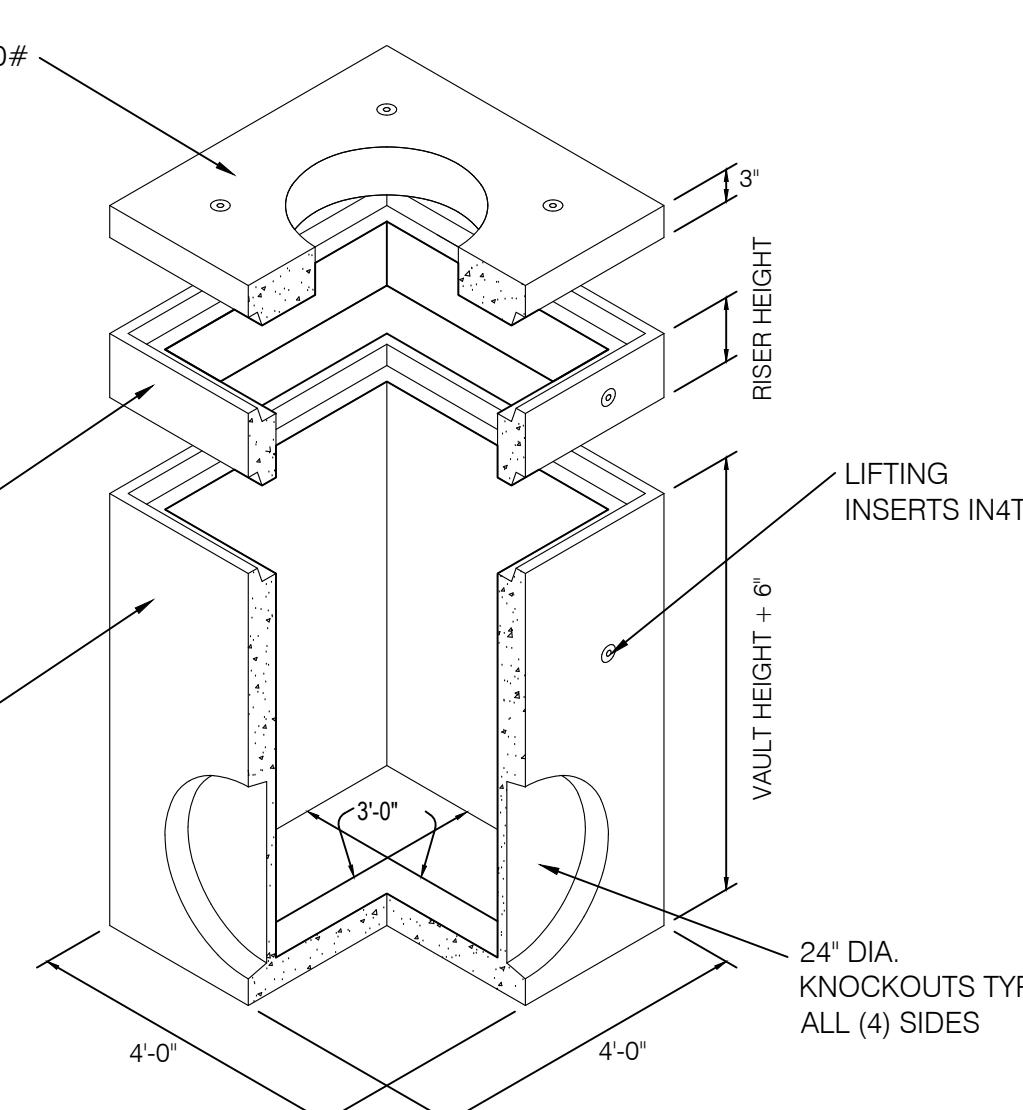


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LAND SURVEYING &
ENGINEERING
9138 STATE STREET SUITE 100
SANDY, UTAH 84070 (801) 542-7102
www.benchmarkcivil.com
PROJECT NO. 2104096





2'x2' CATCH BASIN



3'x3' CATCH BASIN

HEIGHT	CODE	WE
4"	GR304	18
6"	GR306	22

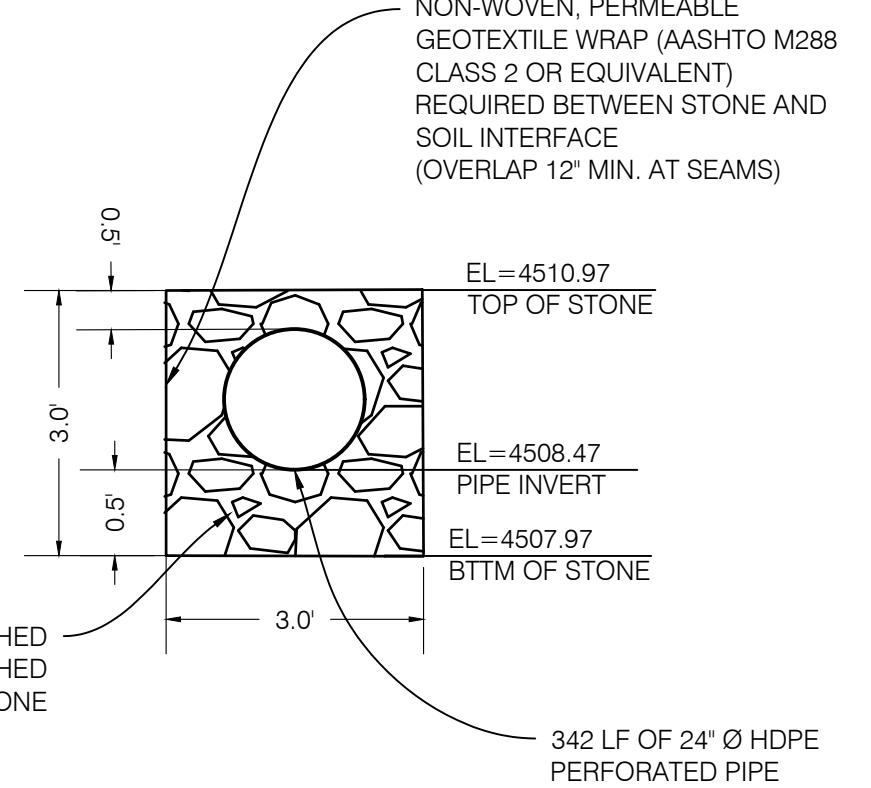
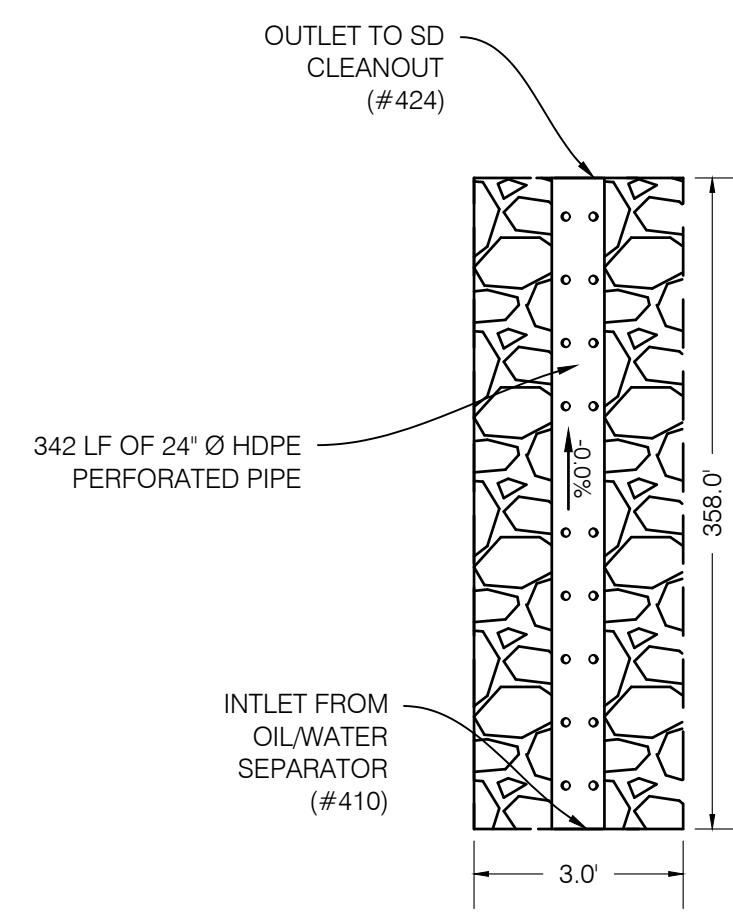
GR304 180# GR306 270# RING & GRATE RC30RG WT. 405#

RISER		
HEIGHT	CODE	WEIGHT
1'	UV441R	1,350#
2'	UV442R	2,700#
3'	UV443R	4,050#
4'	UV444R	5,400#
5'	UV445R	6,750#
6'	UV446R	8,100#

HEIGHT	CODE	WEIGHT
3'	CB443	3,225#
4'	CB444	4,575#
5'	CB445	5,925#
6'	CB446	7,275#

NOTES:

1. CATCH BASINS ARE DESIGNED TO MEET ASTM C858 WITH AASHTO HS-20 LOADING.
2. OPENINGS MAY BE SIZED AND LOCATED AS REQUIRED.
3. OPTIONAL GRATING OR COVER MATERIAL MAY BE CAST IN AS REQUIRED.
4. CHECK HARDWARE SECTION FOR OPTIONAL ACCESSORIES.



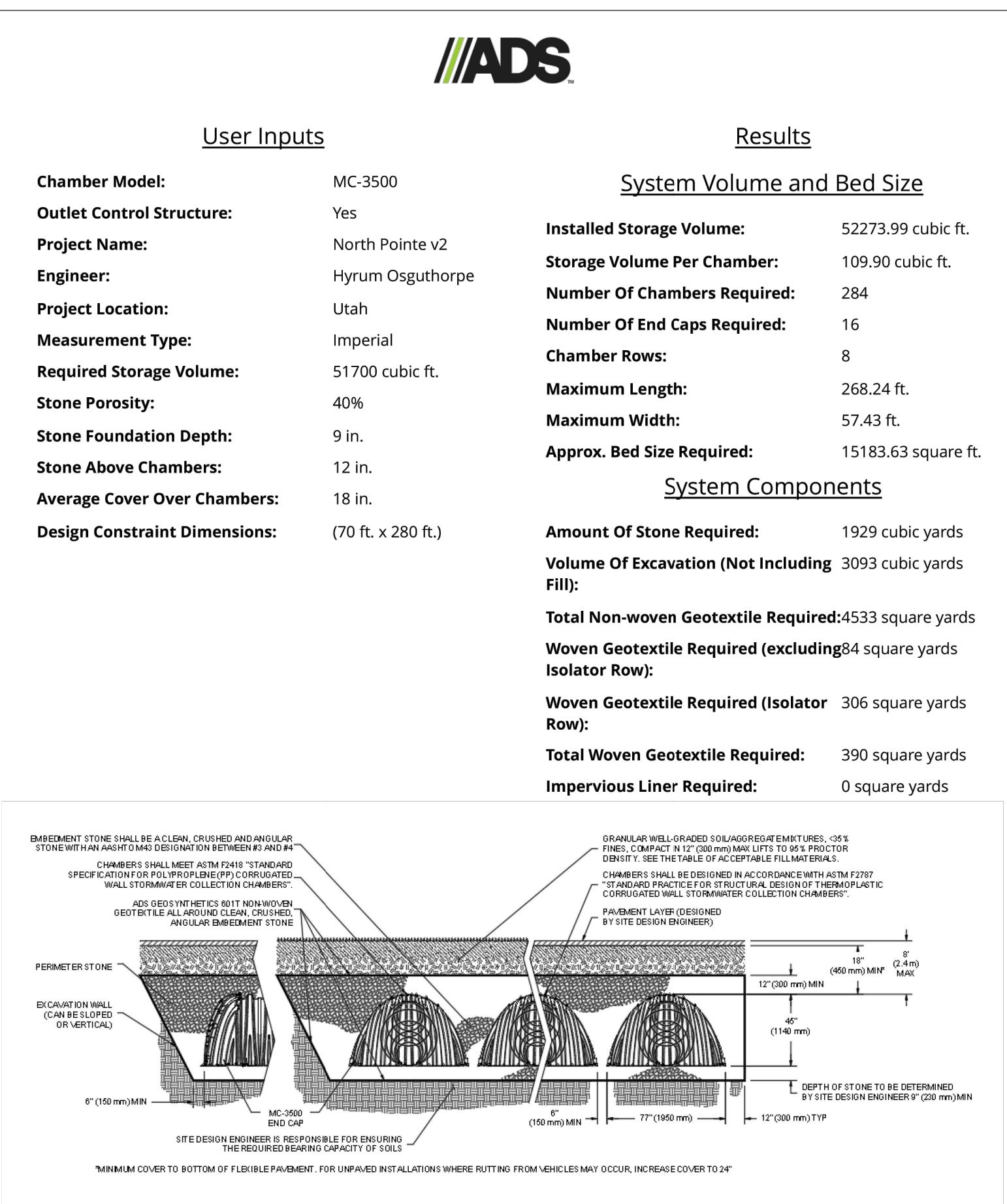
CATCH BASIN

SCALE: NTS

PERFORATED PIPE SYSTEM

SCALE: NTS

2



MC-3500 STORMTECH DETENTION SYSTEM

SCALE: NTS

Figure 3. CROSS SECTION OF A TYPICAL MONITORING WELL
(NOTE: Schematic, not to scale)

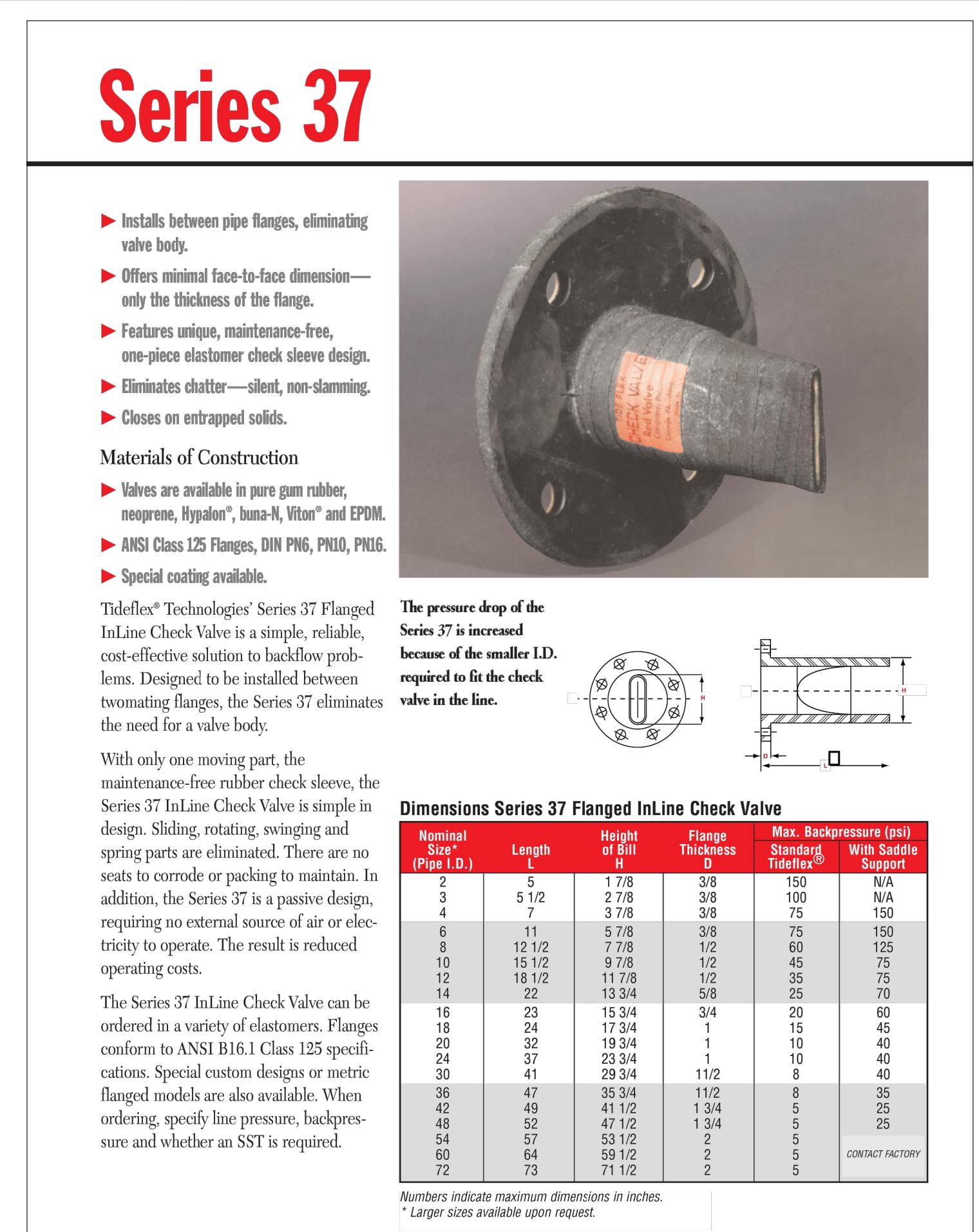
The diagram illustrates a cross-section of a typical monitoring well. Key components labeled include:

- Casing Cap
- Protective Casing with Locking Cover
- Concrete Base
- Annular Space (2" Minimum)
- Borehole
- Annular Seal
- Casing
- Centralizer(s)
- "Transition" Seal
- Water Table
- Screen
- Filter Pack
- Bottom Plug or Cap

TYPICAL GROUNDWATER MONITORING WELL

SCALE: NTS

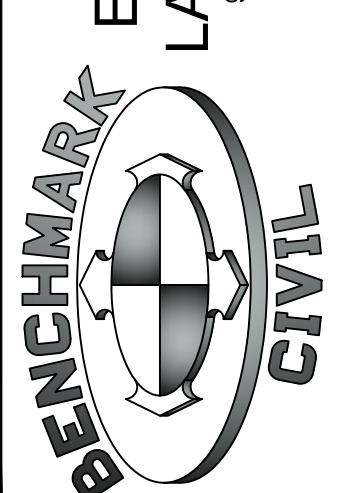
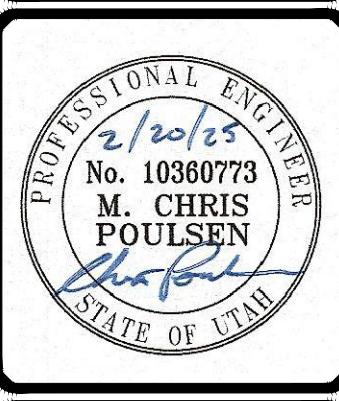
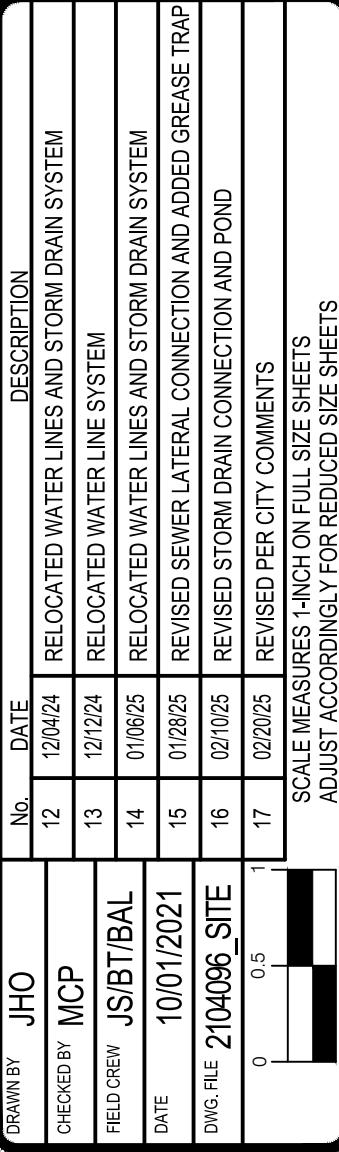
4



SERIES 37 BACKFLOW PREVENTER

SCALE: NTS

5



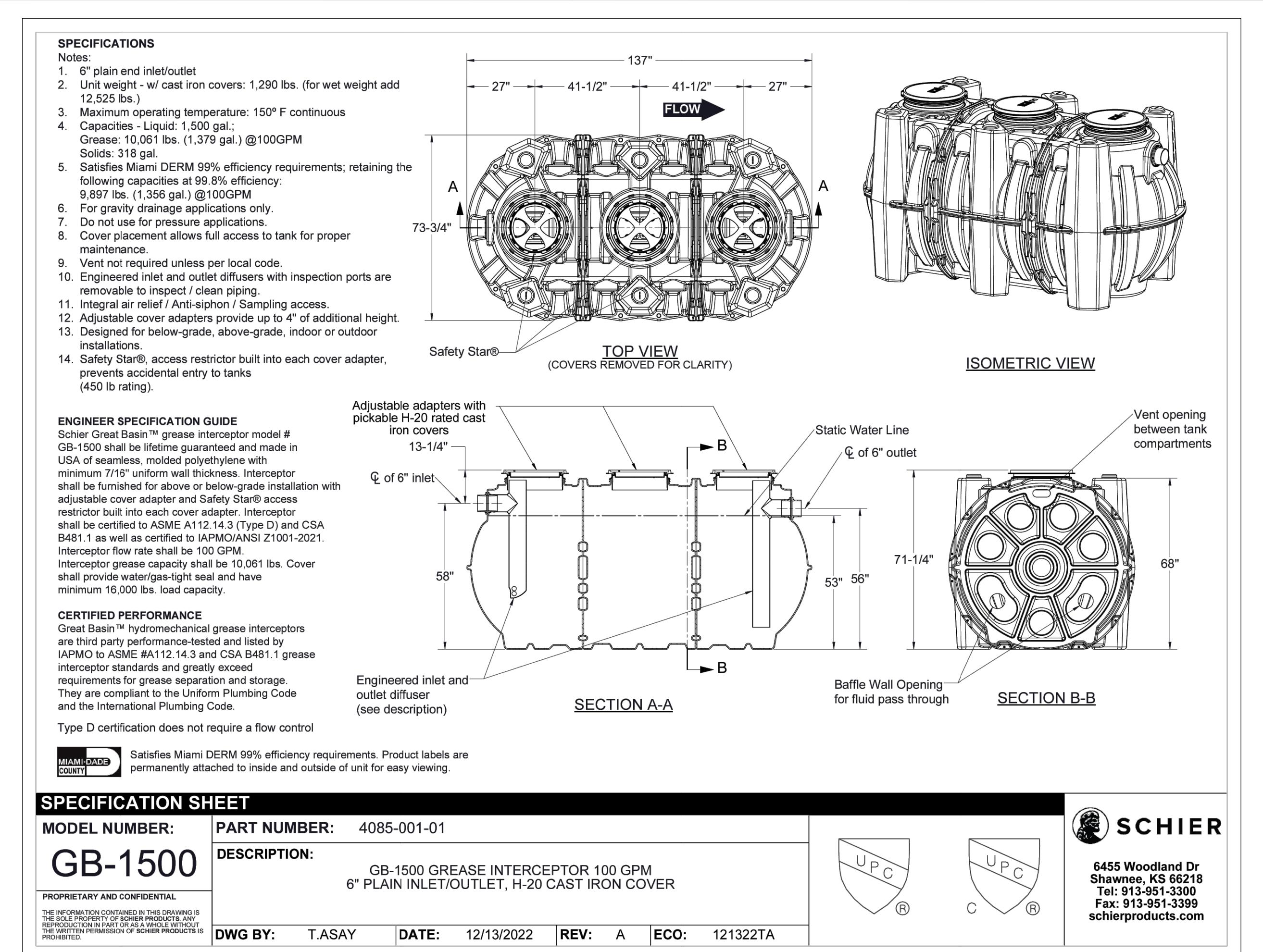
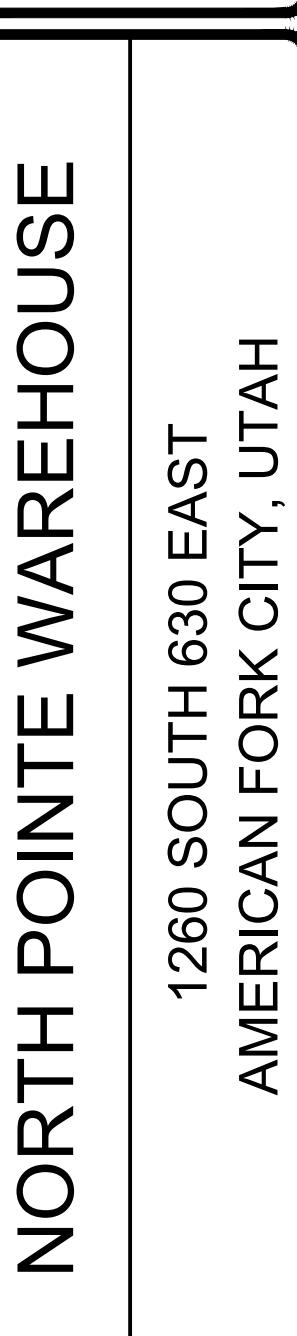
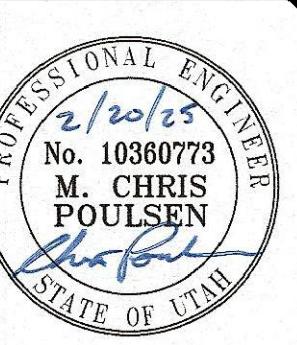
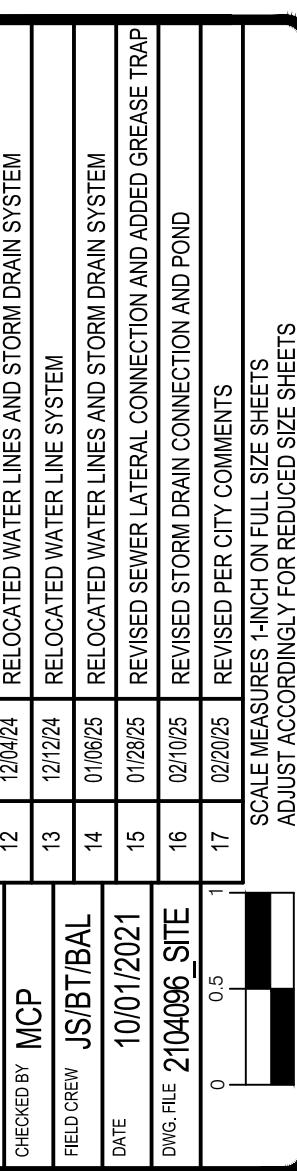
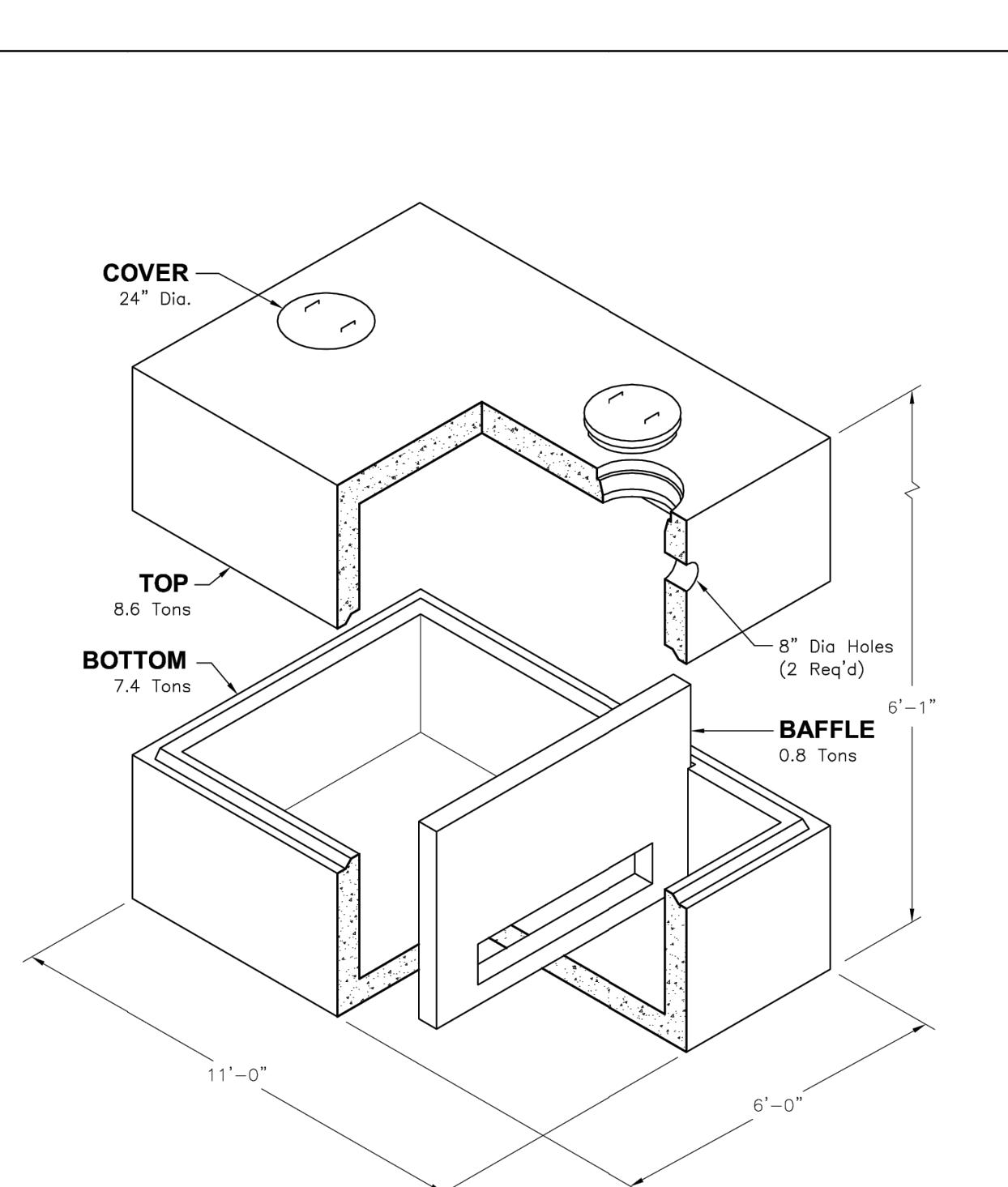
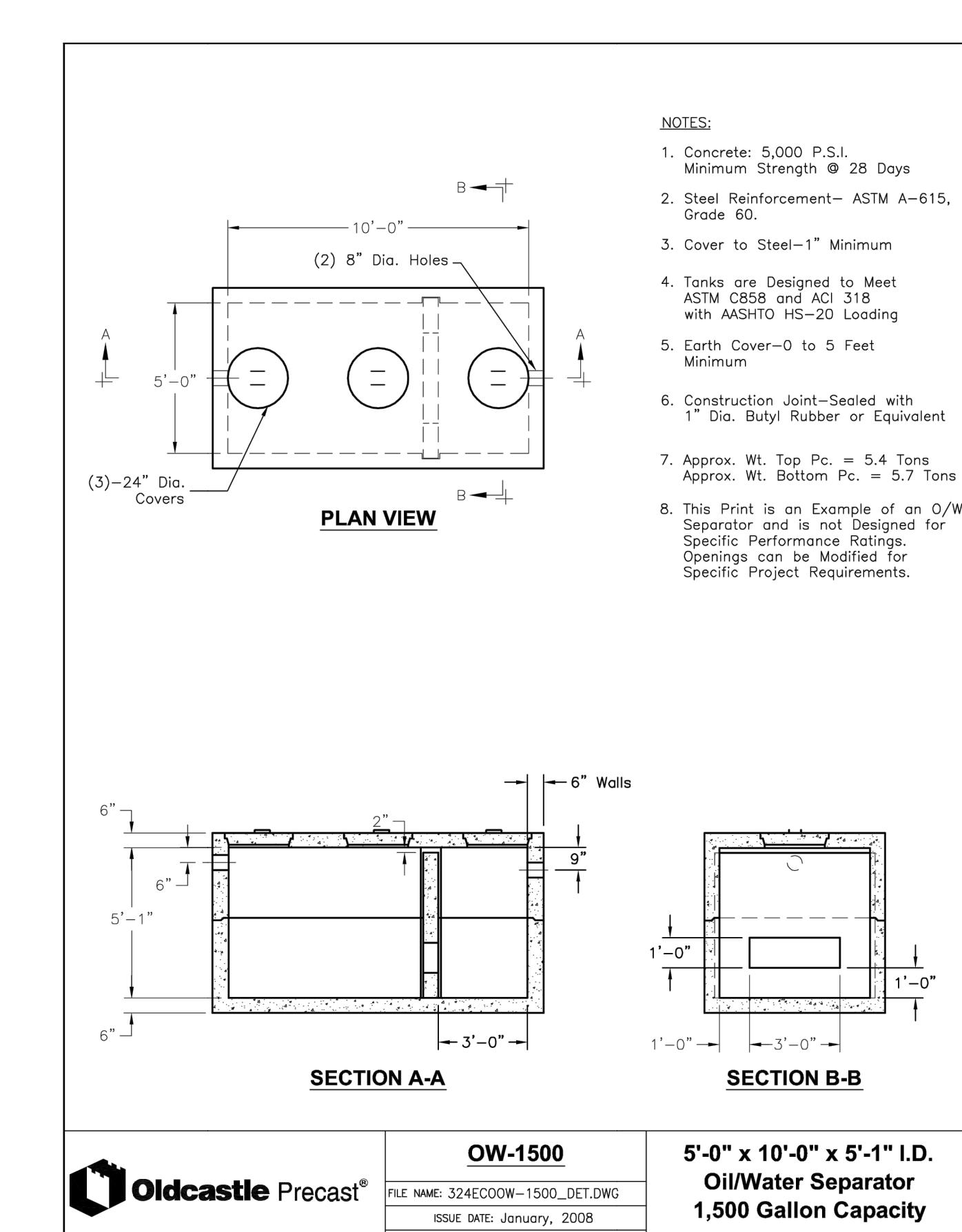
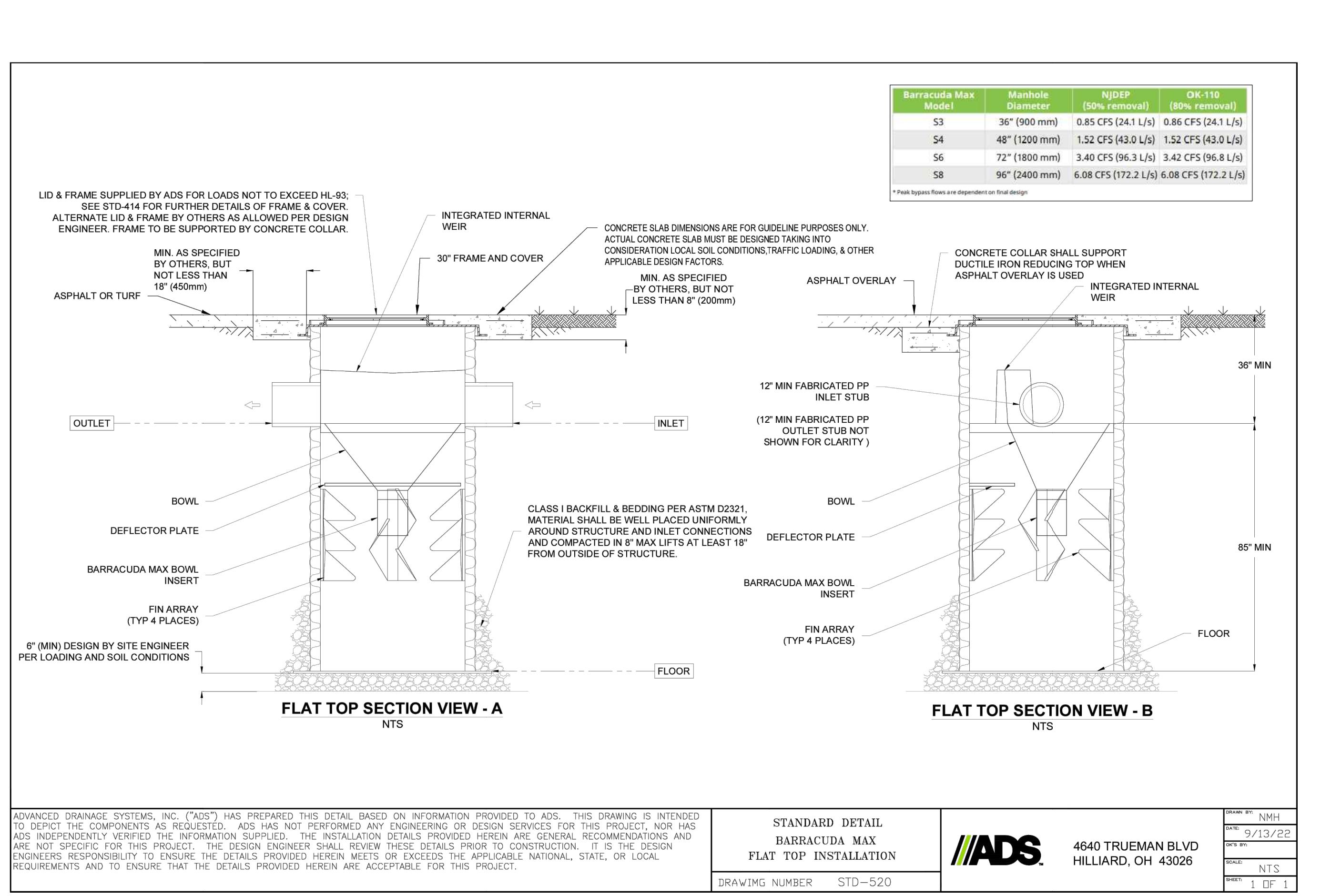
NORTH POINTE WAREHOUSE

PROJECT NO.
2104096

DETAIL

SHEET

CDT.03
11 OF 12



SCHIER GREASE TRAP 3
SCALE: NTS

10 FOOT STORM DRAIN EASEMENT

A 10 FOOT STORM DRAIN EASEMENT, FIVE (5) FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT A POINT ON THE EASTERLY LINE OF GRANTEE'S PROPERTY AT A POINT NORTH 34.06 FEET FROM THE SOUTHEAST CORNER OF LOT 1, NORTH POINTE BUSINESS PARK PLAT "E" ACCORDING TO THE OFFICE PLAT THEREOF AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER, AND RUNNING THENCE SOUTH 89°42'11" EAST 81.51 FEET TO AN EXISTING STORM DRAIN MANHOLE; THENCE SOUTH 01°48'39" WEST 33.90 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF 1300 SOUTH STREET, A PUBLIC ROAD AND POINT OF TERMINUS.

	American Fork City Development Review Committee
Planning and Zoning Reviewed tvanekeleburg 02/25/2025	
Public Infrastructure Reviewed dhoward 02/26/2025	
Engineering Division Reviewed rburkhill 02/26/2025	

Address comments

Suggestion to change the legal description to be 5' offset from the centerline of the pipe in the event the pipe doesn't get installed within the centerline of the above described description. If you keep it as is, that's fine as well. Just a suggestion.

Next Step

**Proceed to the Development
Review Committee on
03.04.2025**

Provide a copy of the easement document itself that will be recorded and entered into between the two parties. Once verified by the city, it can be signed/recorded at your convenience. Just provide to City a copy of recorded easement or entry number so we know it's completed.