

TAYLORSVILLE, UTAH
ORDINANCE NO. 25-02

**AN ORDINANCE OF THE CITY OF TAYLORSVILLE APPROVING A ZONING
TEXT AMENDMENT TO THE TAYLORSVILLE MUNICIPAL CODE, CHAPTER
13.44, ADOPTING STANDARDS FOR THE “SSD-R TAYLOR VILLAS ZONING
DISTRICT.”**

WHEREAS, the Taylorsville City Council (the “Council”) met in regular session on January 22, 2025, to consider, among other things, approving a zoning text amendment to the Taylorsville Municipal Code, Chapter 13.44, adopting standards for the “SSD-R Taylor Villas Zoning District;” and

WHEREAS, pursuant to TAYLORSVILLE MUNICIPAL CODE Section 13.35.050, notice of a public hearing before the City’s Planning Commission was published on the city’s official website on November 1, 2024; and

WHEREAS, the notice of a public hearing before the City’s Planning Commission was also published on the Utah Public Notice Website on November 1, 2024; and

WHEREAS, the City’s Planning Commission held a properly noticed public hearing on the proposed amendments on November 12, 2024. The Planning Commission voted 7-0 to continue the item to the December 10, 2024 meeting, during which the Planning Commission voted 4-1 to forward a positive recommendation to the Council regarding the proposed text amendment; and

WHEREAS, although not required by City ordinances, the City Council heard courtesy public comment on the proposed amendments during its regularly scheduled meeting on January 22, 2025; and

WHEREAS, after careful consideration, the Council has determined that it is in the best interest of the health, safety, and welfare of the citizens of Taylorsville to approve the proposed amendments.

NOW, THEREFORE, BE IT ORDAINED by the Taylorsville City Council that the proposed text amendment to Chapter 13.44, adopting standards for the SSD-R Taylor Villas Zoning District, are hereby approved, as articulated in Exhibit “A.”

This ordinance, assigned Ordinance No. 25-02, shall take effect as soon as it shall be published or posted as required by law, deposited, and recorded in the office of the City Recorder, and accepted as required herein.

PASSED AND APPROVED this 22nd day of January 2025.



TAYLORSVILLE CITY COUNCIL

By: Meredith Harker
Council Chair Harker

VOTING:

Meredith Harker	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>
Ernest Burgess	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>
Robert Knudsen	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>
Curt Cochran	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>
Anna Barbieri	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>

PRESENTED to Mayor Overson for her approval this 22nd day of January 2025.

APPROVED this 22nd day of January 2025.

Kristie S. Overson
Mayor Kristie S. Overson

ATTEST:

Jamie Brooks
Jamie Brooks, Recorder

DEPOSITED in the Recorder's office this 23rd day of January 2025.

POSTED this 23rd day of January 2025

EXHIBIT A

CHAPTER 13.44 SSD-R-TAYLOR VILLAS ZONING DISTRICT

SECTION:

13.44.010: Purpose

13.44.020: Applicability

13.44.030: Land Use And Density

13.44.040: Architectural Design

13.44.050: Site Planning

13.44.060: Grading And Drainage

13.44.070: Vehicular Circulation And Parking

13.44.080: Pedestrian Mobility And Circulation

13.44.090: Walls And Fences

13.44.100: Exterior Site Lighting

13.44.110: Other Development Standards

13.44.120: Figures

13.44.010: PURPOSE:

The Site Specific Development-Residential-Taylor Villas District (SSD-R-Taylor Villas) is established to promote the public health, safety, and welfare of the community by facilitating the creation of a residential community that is complementary and compatible with its setting. It is the purpose of this section to encourage quality design and development of land in a manner that suits the unique needs of the property and contributes to orderly traffic circulation and compatibility with surrounding buildings and land uses. All new development within the SSD-R-Taylor Villas Zoning District shall be in conformity with this title.

Specifically, this zone intends to:

- A. Enhance and protect the quality of life and community image of the City of Taylorsville through clearly articulated development design policies and standards;
- B. Protect and promote Taylorsville's long-term economic viability through design standards which encourage and reward high quality development and discourage less attractive and less enduring alternatives;
- C. Minimize adverse impacts of vehicular circulation and parking to existing neighborhoods and to the surrounding physical environment;

D. Enhance and protect the security, health, safety, and welfare of the residents of the City of Taylorsville; and

E. Facilitate an understanding of the City's expectations and notify and assist developers in compiling complete and efficient applications. (Ord. 25-02)

13.44.020: APPLICABILITY:

The provisions in this chapter shall apply to existing development, new development, redevelopment, exterior remodels, additions to existing structures, signs, and accessory structures within the SSD-R-Taylor Villas Zoning District. This chapter includes development standards and will be used by City staff and, if applicable, the Planning Commission to review development applications. The policies established in these provisions shall be met through actual compliance with each design standard.

A. Boundary Description: The SSD-R-Taylor Villas Zoning District is limited to a specific area in the City as illustrated in section 13.44.120, **figure 1**, "*SSD-R-Taylor Villas Zoning District*," of this chapter which is described as:

A TRACT OF LAND BEING SITUATED IN THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 00°06'29" EAST 33.00 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 19, SAID POINT BEING ON THE PROLONGATION OF THE WESTERLY LINE OF MISTY HILLS NO. 8 PLAT "C" SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 83-7, AT PAGE 88 OF PLATS, AND RUNNING THENCE SOUTH 00°06'29" EAST ALONG SAID LINE AND A PROLONGATION THEREOF A DISTANCE OF 524.37 FEET TO THE NORTHEAST CORNER OF MISTY HILL NO. 9 PLAT "B" SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 84-3, AT PAGE 47 OF PLATS; THENCE SOUTH 89°55'40" WEST ALONG THE NORTHERLY LINE OF SAID SUBDIVISION A DISTANCE OF 443.95 FEET TO THE SOUTHEAST CORNER OF THE TRACT OF LAND DESCRIBED IN THAT CERTAIN WARRANTY DEED ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER AS ENTRY NO. 10411728, IN BOOK 9599, AT PAGE 8798; THENCE ALONG SAID WARRANTY DEED THE FOLLOWING TWO (2) COURSES, 1) NORTH 00°09'13" WEST 512.08 FEET, 2) NORTH 44°52'49" EAST 9.06 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF 6200 SOUTH STREET; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING THREE (3) COURSES, 1) SOUTH 89°55'30" EAST 202.82 FEET, 2) NORTH 00°06'29" WEST 7.00 FEET, 3) SOUTH 89°55'30" EAST 235.13 FEET TO THE POINT OF BEGINNING.

CONTAINS 231,670 SQUARE FEET OR 5.318 ACRES, MORE OR LESS.

Also identified as Salt Lake County Tax Parcel Nos.: 21-19-200-052 and 21-19-200-027

13.44.030: LAND USE AND DENSITY:

A. Density: Overall density within the SSD-R-Taylor Villas classification shall be limited to no more than ten (10) units per acre, subject to compliance with the other provisions of the SSD-R-Taylor Villas Zoning District.

B. Uses: Uses permitted under this chapter shall conform to the development standards provided elsewhere in this Development Code, the application procedures for development,

and any overlay districts as applicable; provided, however, that in the event of a conflict or inconsistency between said Development Code provisions, on the one hand, and the provisions of this SSD-R-Taylor Villas Zoning District, the provisions of this SSD-R-Taylor Villas Zoning District shall govern. Uses permitted as a conditional use shall comply with the requirements for administrative conditional use permits and/or non-administrative conditional use permits as applicable.

The approval of any additional land uses beyond those allowed shall require and be contingent upon the favorable exercise of future legislative discretion by the City Council following all required public notice and hearings before the Planning Commission and City Council.

C. Table Of Uses: All uses not included in the table below shall be deemed not permitted.

P = Permitted NC = Non administrative conditional use AC = Administrative conditional use N = Not permitted	
Land Use (SSD-R Taylor Villas District)	
Accessory apartments	N
Accessory structure	P
Animals (household pets)	P
Backyard chickens	P
Bed and breakfast	N
Dwelling, Single-Family Attached	P
Dwelling, Single-Family Detached	P
Home occupation	P
Private park or open space	P
Residential facility for elderly persons	P
Residential facility for persons with a disability	P
Residential lease, short term	N

(Ord. 25-02)

13.44.040: ARCHITECTURAL DESIGN:

A. Purpose And Intent: Architectural design seeks to add to community character while providing flexibility to avoid rigid uniformity of design. All elements including the scale and mass of buildings, materials, color, roof styles, door and window openings, and details should be responsive to functional architectural design and promote a cohesive design statement. Building masses shall respond to "human scale" with materials and details that are proportionate to human height and provide visual interest at the street and sidewalk level.

B. Single-Family Attached (townhomes): Architectural design, building massing, roof forms, color, materials, orientation, and fenestration for single-family attached dwellings (townhomes) shall be consistent with or reasonably similar to the designs and features shown in Section 13.44.120, **figure 2A**, "*SSD-R-Taylor Villas Architectural Design*," of this chapter. For the four (4) end units (outer units) identified in Section 13.44.120, **figure 3C**, "*SSD-R-Taylor Villas Site Plan – Product Location*," of this chapter, the exterior elements on the sides of those single-family attached units (calculated for each building façade) shall be comprised of no more than fifty percent (50%) stucco finish, and shall have at least twenty percent (20%) brick/stone coverage and at least thirty percent (30%) Hardie (or similar product) coverage. Developer reserves the right to determine, on a lot by lot basis, whether to include a basement with the dwelling constructed on each lot.

C. Single-Family Detached: Architectural design, building massing, roof forms, color, materials, orientation, and fenestration for single-family detached dwellings shall be consistent with or reasonably similar to the designs and features shown in Section 13.44.120, **figure 2C**, "*SSD-R-Taylor Villas Architectural Design – Single Family Detached Homes*," of this chapter. No single family detached home shall have the same elevation style as any other home on the same row (block face) of single family detached homes. Developer reserves the right to determine, on a lot by lot basis, whether to include a basement with the dwelling constructed on each lot.

D. Maximum Building Height: Thirty-Five feet (35'), measured from average finished grade to the highest point of the roof.

E. Mechanical Units: Roof-mounted mechanical units (including evaporative coolers, HVAC units, vents, etc.) shall be located or screened so they are not visible from adjacent public and/or private streets as well as from adjacent properties.

F. Solar: Buildings may be designed and sited to maximize the use of solar gain for energy savings, and shall respect the solar access requirements of adjacent (existing and proposed) buildings. Solar equipment is permitted subject to the standards set forth in section 13.11.200 of this title. (Ord. 25-02)

13.44.050: SITE PLANNING:

A. Purpose And Intent: Buildings shall be located to maximize the presentation of streetscaping, to provide clear orientation and access for both vehicles and pedestrians, to facilitate internal pedestrian circulation, and to place structures in consideration of the existing built context, the location of adjoining uses, and the location of roads.

B. Product Mix: Lots for single-family detached houses shall be located along the southern and eastern sides of the development next to existing single family homes in the surrounding neighborhood. Single-family attached dwelling units are allowed in the rest of the development consistent with section 13.44.120, **figure 3**, "*SSD-R-Taylor Villas Site Plan*," of this chapter.

C. Locations: All building locations, building orientation, roadways, driveways, pedestrian ways, park spaces, landscape areas, vehicular parking areas, dumpster locations, and sign

locations, shall be consistent with section 13.44.120, **figure 3**, "*SSD-R-Taylor Villas Site Plan*," of this chapter.

D. Stormwater: Stormwater detention/retention areas shall either be landscaped or be located beneath improved surfaces (such as the parking area in the southeastern area of the Development) .

E. Landscape Design:

1. Purpose And Intent: Landscaping shall be required within the subject site to:

- a. Enhance the aesthetics of the development;
- b. Create a pedestrian-friendly environment;
- c. Break up the mass of buildings;
- d. Soften architectural materials;
- e. Provide screening for utilities and service areas;
- f. Enhance streetscapes;
- g. Provide areas of shade; and
- h. Create attractive entrances to the project.

All landscaping within the SSD-R-Taylor Villas shall be consistent with section 13.44.120, **figure 4**, "*SSD-R-Taylor Villas Landscape Plan*," of this chapter.

2. Sight Lines: Adequate sight lines shall be consistent with Section 13.02.120 of this title.

3. Landscape Irrigation/Water Conservation: Reasonable effort shall be made to conserve water by utilizing alternative means for maintaining a suitable landscape environment. Low water use and water conservation concepts may be incorporated into the landscape design of each development without compromising the intent to establish significant visual amenities through landscaping.

4. Landscape Standards:

- a. Plans: Any landscape plans shall be prepared by a licensed professional;
- b. Installation: The installation of any landscaping shall be done by a licensed landscape contractor;
- c. Artificial Plants: Artificial plants of any type, size or color are prohibited as exterior landscaping within any lot;
- d. Mulching:
 - (1) All planting beds shall be mulched with either wood, decorative rock, or other ground cover to stabilize soils, control erosion, and conserve water use; and
 - (2) Rock mulch shall be restricted to less than three inches (3") in size.

e. Parking: Parking is prohibited within landscaped areas on a site.

6. Landscape Maintenance And Replacement: The developer, or management association upon completion of the project, shall be responsible for providing, protecting and maintaining landscaping in a healthy and growing condition. The following requirement shall be noted on the landscape plan:

a. Dead or diseased plant materials shall be removed and replaced within a reasonable time or within one month with the same type, size, and quantity of plant material as originally installed unless incompatible with the soil or weather conditions.

7. Site Furniture And Features: Site furnishings, including, but not necessarily limited to, benches, waste receptacles, exterior lighting, planters, railings and bollards, shall be visually consistent throughout the SSD-R-Taylor Villas zoning classification including color, materials, and design style. All components of outdoor site furniture shall be low maintenance, highly durable and resistant to weather, vandalism, graffiti, and theft.

E. Utilities And Mechanical Equipment: The visual and noise impacts of utilities and mechanical equipment shall be mitigated in the following manner and shall apply to all public and private rights-of-way and pedestrian areas within the development:

1. All new permanent utility lines shall be installed underground;
2. Abandoned utility boxes, meters and pedestals shall be removed;
3. Damaged utility boxes, meters, and pedestals shall be repaired;
4. Utility box and pedestals shall be placed such that they do not block pedestrian travel or required visibility triangles at street intersections and driveways;
5. Utility boxes, pedestals, and meter panels shall be painted to blend in with its immediate surroundings. All utility boxes and meter panels on walls shall be painted to match the building walls (subject to utility company approvals); and
6. All utility boxes and pedestals shall be screened from view by means of vegetation or enclosures to minimize visual and auditory impacts. Such enclosures or landscaping treatments shall be consistent with the design theme of the development.

F. Service, Refuse, And Storage Areas: Service, delivery, refuse and storage areas shall not be visually obtrusive. The visual impact of such areas shall be minimized.

13.44.060: GRADING AND DRAINAGE:

A. Water Quality Control And Drainage: The project shall comply with title 17 of the Taylorsville Code of Ordinances, as amended. Stormwater shall be detained for the 100-year 24-hour storm event and detained for the 80th percentile storm. A stormwater detention basin in the southeast corner of the project will be provided, and an adequate storm drain overflow and discharge route approved by the City Engineer must be provided.

B. Site Grading And Excavation: Buildings shall be designed to relate to adjacent grade conditions. Site grading designs shall allow for easy pedestrian access from sidewalks, pathways, trails, and parking areas. (Ord. 25-02)

13.44.070: VEHICULAR CIRCULATION AND PARKING:

A. Purpose And Intent: The on-site vehicular circulation and parking system is deemed a critical factor in the safety and success of any development. The parking/access/circulation systems provide for the safe, efficient, convenient, and functional movement of multiple modes of transportation both on and off the site where pedestrian/bicycle/vehicle conflicts are minimized.

B. Vehicular Access: Roadway location and widths shall be consistent with section 13.44.120, **figure 3**, "*SSD-R-Taylor Villas Site Plan*," of this chapter. Roadways within the site will be private, not public, and will be maintained by a management company or homeowners association.

C. Service/Delivery And Emergency Access: Service circulation within the development shall be designed to provide safe movements for all anticipated vehicles. The design of individual lots to accommodate truck access shall meet all regulatory requirements for turning radii without sacrificing other standards.

1. Access roads and parking aisles shall include the necessary dimensions for the on-site maneuvering of refuse vehicles and firetrucks as determined by the City Engineer and applicable fire authority; a minimum twenty foot (20') wide, unobstructed driveway, lane, or other access way and turnaround may be required for this purpose.

D. Vehicle Parking: Vehicle parking shall be provided as illustrated in section 13.44.120, **figure 3**, "*SSD-R-Taylor Villas Site Plan*," of this chapter:

1. The overall project will provide parking at a rate of four (4) vehicle parking stalls per residential unit. Two (2) car garages shall count as two (2) parking stalls; and driveways at least twenty-two (22') feet long in front of the garages shall count as two (2) additional parking stalls. There shall be at least seven (7) guest parking stalls in the southeastern corner of the project and at least three (3) guest parking stalls in the northeastern portion of the project in the locations depicted in section 13.44.120, **figure 3**, "*SSD-R-Taylor Villas Site Plan*," of this chapter. There shall also be five (5) guest parking stalls (parallel parking) on the north side of the center block of the single family attached townhomes and five (5) guest parking stalls (parallel parking) on the south side of the center block of the single family attached townhomes, as depicted in section 13.44.120, **figure 3**, "*SSD-R-Taylor Villas Site Plan*."

2. Minimum parking stall dimensions, exclusive of driveways, shall be 9' x 18'.

3. All parking or roadway areas shall be paved with a solid surface and shall be arranged and striped to provide orderly and safe loading, unloading, and parking of vehicles.

4. Parking lot and road striping shall be maintained on a regular basis so that striping is visible for the safe ingress/egress and parking of vehicles. (Ord. 25-02)

13.44.080: PEDESTRIAN MOBILITY AND CIRCULATION:

A. Purpose And Intent: Pedestrian systems shall be designed to be safe and to encourage walking throughout the project. Individual lots shall be integrated with adjacent properties designed to form a comprehensive system and to provide convenient access to public rights-of-way. Pedestrian spaces and routes shall be designed to invite walking throughout the development. Routes shall be integrated to form a comprehensive circulation system, providing convenient, safe and visually attractive access to all destinations on the site consistent with section 13.44.120, **figure 3**, "*SSD-R-Taylor Villas Site Plan*," of this chapter. (Ord. 25-02)

13.44.090: WALLS AND FENCES:

A. Purpose And Intent: All fences and walls shall be decorative and contribute to the visual quality of the development. When not required for security, screening, or grade transitions, fences and walls shall be as inconspicuous and low as possible.

B. Perimeter Fence Design And Materials: a perimeter fence shall be installed along the southern and eastern boundaries of the development where the development is adjacent to the backyards of neighboring properties. The perimeter fence shall be six (6) feet high and reasonably similar in design and materials to the fencing products depicted in section 13.44.120, **figure 2B**, "*SSD-R-Taylor Villas Architectural Design – Perimeter Fence*," of this Chapter. For the single-family attached homes, three (3) rail fencing shall be installed along the front lots consistent with the 3-rail fencing shown in section 13.44.120, **figure 2B**, "*SSD-R-Taylor Villas Architectural Design – Front Yard Fencing*," of this Chapter. (Ord. 25-02)

C. Screening Requirements: The development shall include screening of service areas, refuse, and waste removal areas, where applicable.

1. Uses being screened shall not be visible above the screen wall enclosure as viewed from the public right(s)-of-way and shall be constructed of materials similar to the primary structures; and

2. Gates and/or access doors shall have self-latching mechanisms and shall be opaque metal or another low maintenance material which is durable. Chain link gates with or without slats are not permitted. (Ord. 25-02)

13.44.100: EXTERIOR SITE LIGHTING:

A. Purpose And Intent: Exterior lighting shall be used to provide illumination for the security and safety of entry drives, parking, pathways, and park space, without intruding on adjacent properties. Site lighting shall be architecturally compatible and consistent in design throughout the SSD-R-Taylor Villas Zoning District.

B. Fixture Design: Exterior lighting placement and design shall comply with an exterior lighting plan to be reviewed and approved as part of the platting process for this project. Exterior light fixtures shall be compatible and relate to the architectural character of the buildings on site. Site lighting shall be provided at the minimum level to accommodate safe pedestrian and vehicle movements, without causing excessive off-site glare.

1. The maximum height of lighting poles within landscaped and park areas is twenty feet (20'), measured from finished grade. Poles within these areas may be set on bases no more than eight inches (8") in height.

C. Decorative Architectural Lighting: Special lighting that accents building features and creates visual interest is permitted, provided that design continuity is maintained among buildings.

1. Neon tubing is not acceptable as a building accent or to accentuate the building's form.
2. Lighting fixtures mounted directly on structures may be allowed when utilized to enhance specific architectural elements or to help establish scale or provide visual interest.
3. "Wall pack lights" are not permitted.
4. Using lighting to highlight entrances, art, terraces, and special landscape features is highly recommended.

D. Pedestrian Area Lighting: Walkway lighting shall be scaled to the pedestrian to provide for safe use of pathways and pedestrian areas. Any walks, stairs, or ramps shall be lighted for the safe passage of pedestrians. The use of lighted bollards or other low level fixtures is strongly encouraged to identify pedestrian walkways.

E. Landscape Lighting: Landscape lighting which enhances and complements the landscape materials is permitted. Where landscape lighting is used, fixtures shall be concealed where possible (i.e., in trees, behind rocks or shrubs) to control glare. (Ord. 25-02)

13.44.110: OTHER DEVELOPMENT STANDARDS:

A. The minimum side-yard setback for single family detached homes shall be five feet (5'), resulting in a minimum of ten feet (10') between such homes. Window wells for basements are not considered part of the homes for purposes of calculating side-yard setbacks. The minimum front setback for single family detached homes shall be as follows: 10 feet to the front porch; 15 feet to the living area; and 18 feet to the garage. The minimum rear setback for single family detached lots shall be fifteen feet (15').

B. All Driveways shall be a minimum of twenty-two feet (22') in length to provide adequate space for parking vehicles.

C. The private roads and amenities within the development shall be maintained in good condition and repair by a management company or homeowners association.

D. All sidewalks and pathways within the development shall be at least five feet (5') wide.

E. New landscaped park strips (5 feet wide) and new sidewalks (6 feet wide) shall be installed for those portions of 6200 South; Fairwind Drive; and 3975 West that border the development. The landscape plan and associated park strip plantings prepared by PKJ Design Group and approved by the City (on file with the City's planning department) shall be followed.

F. All single-family attached units that border 6200 South and Fairwind Drive shall be rear-loaded with the front façades facing said public roads.

G. The development governed by this SSD-R-Taylor Villas Zoning District shall also be subject to a Development Agreement for Taylor Villas, which shall be approved by the City and recorded with the Salt Lake County Recorder's Office against the subject real property. The Development Agreement shall include, without limitation, those owner occupancy requirements, rental restrictions, and other provisions approved by the City.

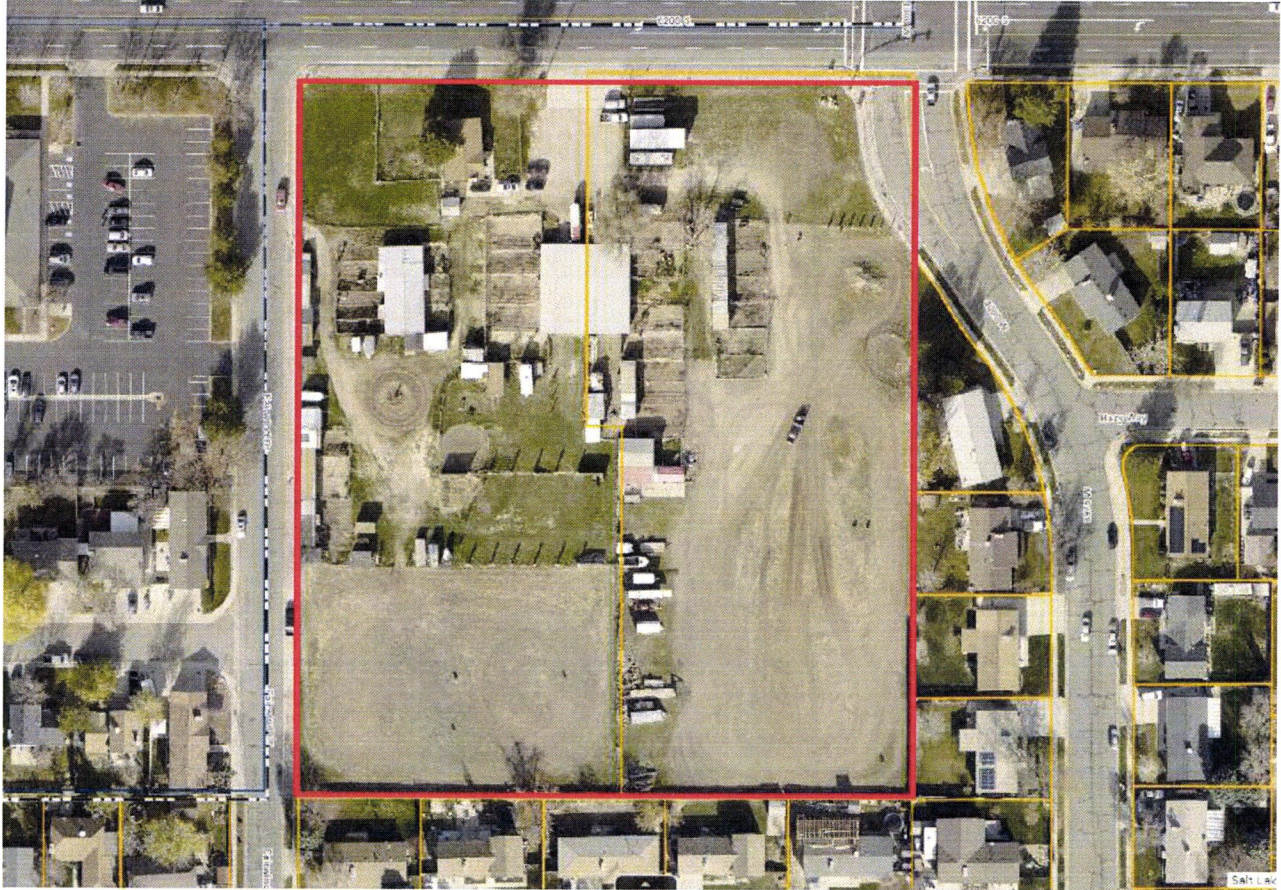
H. Open space amenities with a playground and two (2) covered pavilion seating areas shall be provided in the area south of Lot #8, which shall be maintained by a management company or homeowners association, consistent with the images shown in section 13.44.120, **figure 5**, "*SSD-R-Taylor Villas Playground Amenities*," of this chapter. (Ord. 25-02)

Unless otherwise specified within the SSD-R-Taylor Villas District, all current development standards shall apply. (Ord. 25-02)

13.44.120: FIGURES:

FIGURE 1

SSD-R-TAYLOR VILLAS ZONING DISTRICT



Site Aerial

North 

The aerial image above depicts the subject parcels, presently identified as Salt Lake County Tax Parcel Nos.: 21-19-200-052 and 21-19-200-027.

FIGURE 2A

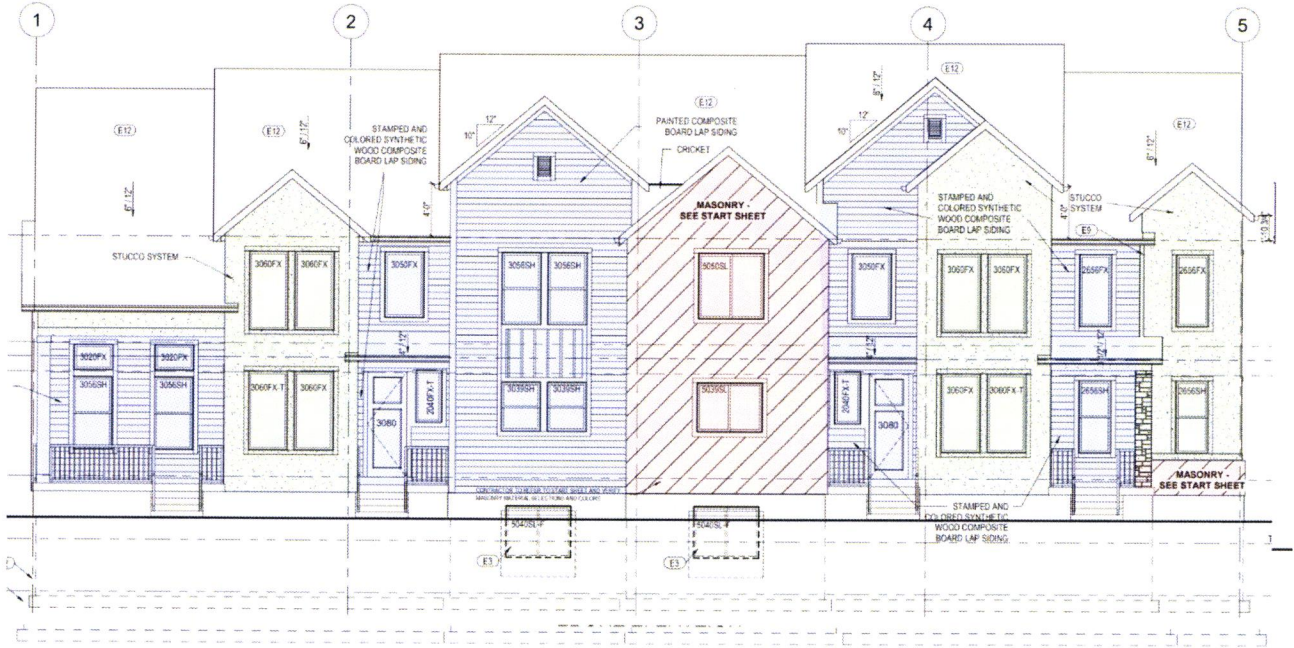
SSD-R-TAYLOR VILLAS ARCHITECTURAL DESIGN

REAR-LOADED TOWNHOMES:



Caroline Townhome

Front Elevation - 4 Plex



Brick/Stone Square Footage = 361 - 18%
 Hardie Square Footage = 995 - 50%
 Stucco Square Footage = 653 - 32%
 Total = 2,009

Chantelle Townhome

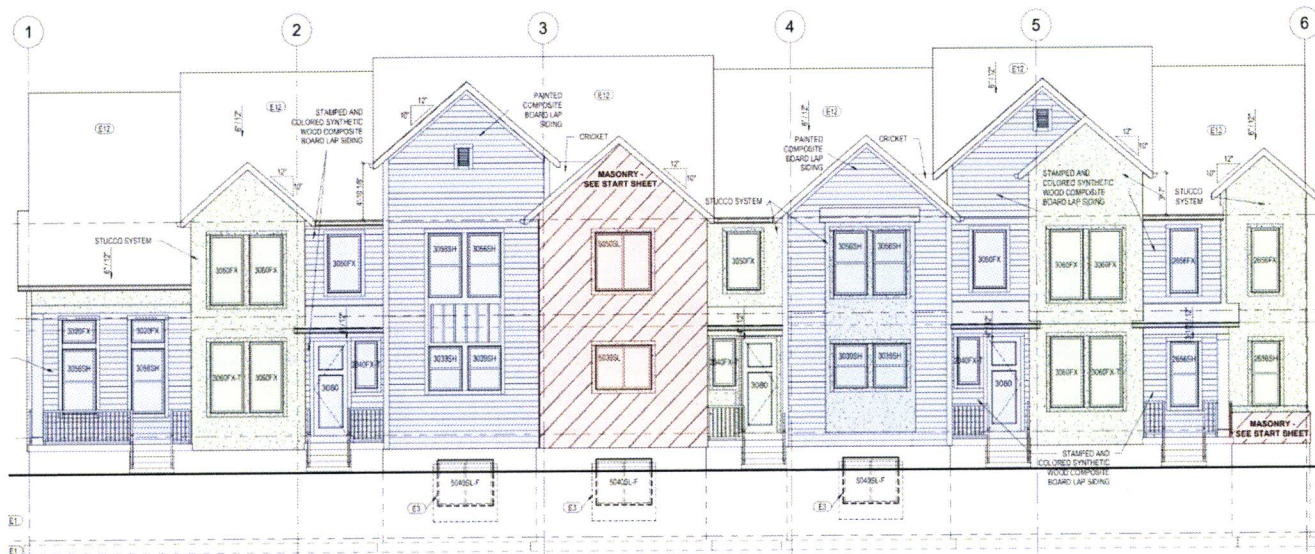
Front Elevation



Brick/Stone Square Footage = 540
 Hardie Square Footage = 1,405
 Stucco Square Footage = 0
 Total = 1,945
 Stucco % = 0%

Caroline Townhome

Front Elevation - 5 Plex



Brick/Stone Square Footage = 361' - 15%
 Hardie Square Footage = 1,193 - 48%
 Stucco Square Footage = 413 - 37%
 Total = 2,467

Chantelle Townhome

Front Elevation



Brick/Stone Square Footage = 540' - 23%
 Hardie Square Footage = 1,770 - 77%
 Stucco Square Footage = 8' - 0%
 Total = 2,310

Upgraded Exterior Elements of End Units (Outer Units)



FIGURE 2B

SSD-R-TAYLOR VILLAS ARCHITECTURAL DESIGN

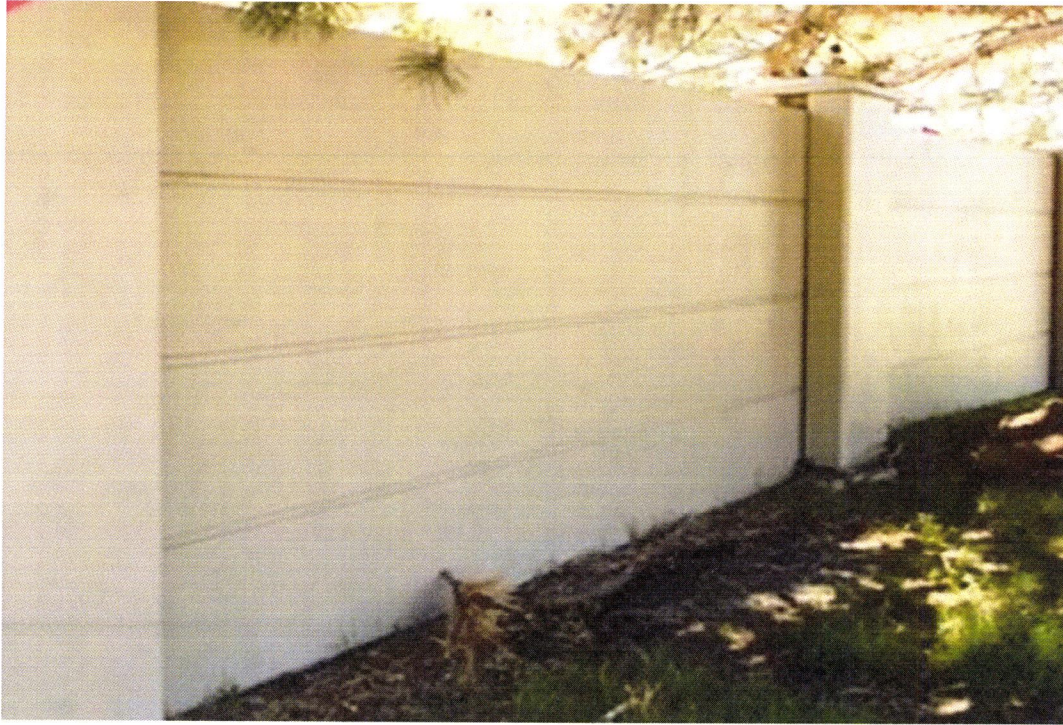
PERIMETER FENCE



The Rhinorock fence comes in a natural concrete gray, but can be stained on site to compliment your home or commercial project. The stain is a penetrating stain that is designed for concrete and does not require any maintenance. The color stain will also aid in the removal of graffiti. Visit RhinoRock.com and see available colors on the concrete colors page.



The image above shows the “*Basket Weave*” product from Olympus Precast fencing



The image above shows the “*Standard Shiplap*” product from Olympus Precast fencing

SSD-R-TAYLOR VILLAS ARCHITECTURAL DESIGN
FRONT-YARD FENCING



FIGURE 2C

SSD-R-TAYLOR VILLAS ARCHITECTURAL DESIGN

SINGLE FAMILY DETACHED HOMES

Single-Family Lots



Kate-B
38' x 51'-5"
Sq Ft. 2,238



Ethan
48' x 49'-6"
Sq Ft. 1,432



Jesse
35' x 41'
Sq Ft. 1,969



Nathan
35' x 51'
Sq Ft. 2,408



Drew
40' x 49'-6"
Sq Ft. 1,408



Cooper
40' x 50'
Sq Ft. 1,334



Nicole
29'-10" x 56'-6"
Sq Ft. 2,402



Kate
38' x 43'-5"
Sq Ft. 2,158



Lauren
38' x 49'
Sq Ft. 2,276



Jordan
29'-10" x 50'
Sq Ft. 2,005



Natalie
40' x 49'
Sq Ft. 2,466



Jaden
29'-10" x 50'
Sq Ft. 1,966



Morgan
38' x 48'-3"
Sq Ft. 2,323



Lucas
29'-10" x 58'
Sq Ft. 2,219



Caleb-A
40' x 50'
Sq Ft. 1,937



Orlando
47'-6" x 54'
Sq Ft. 2,517



Nora
35' x 49'
Sq Ft. 2,438

FIGURE 3A

SSD-R-TAYLOR VILLAS SITE PLAN

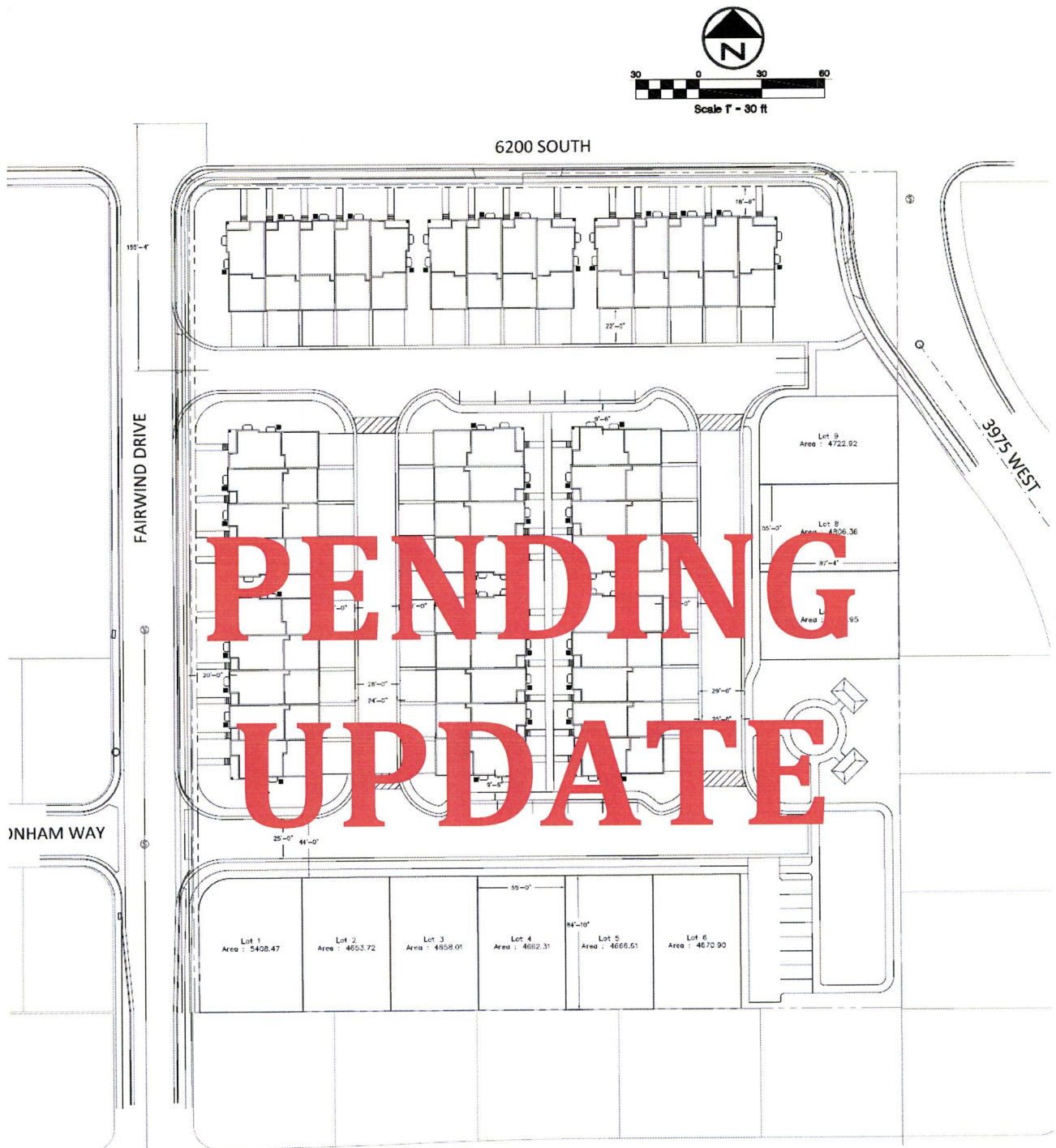
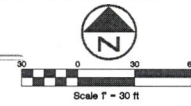


FIGURE 3A

SSD-R-TAYLOR VILLAS SITE PLAN



WILDING
ENGINEERING

1472 E SOUTH HERITAGE DRIVE WY
BLUFFDALE, UTAH 84005
BO 1.593.8112
WWW.WILDINGENGINEERING.COM

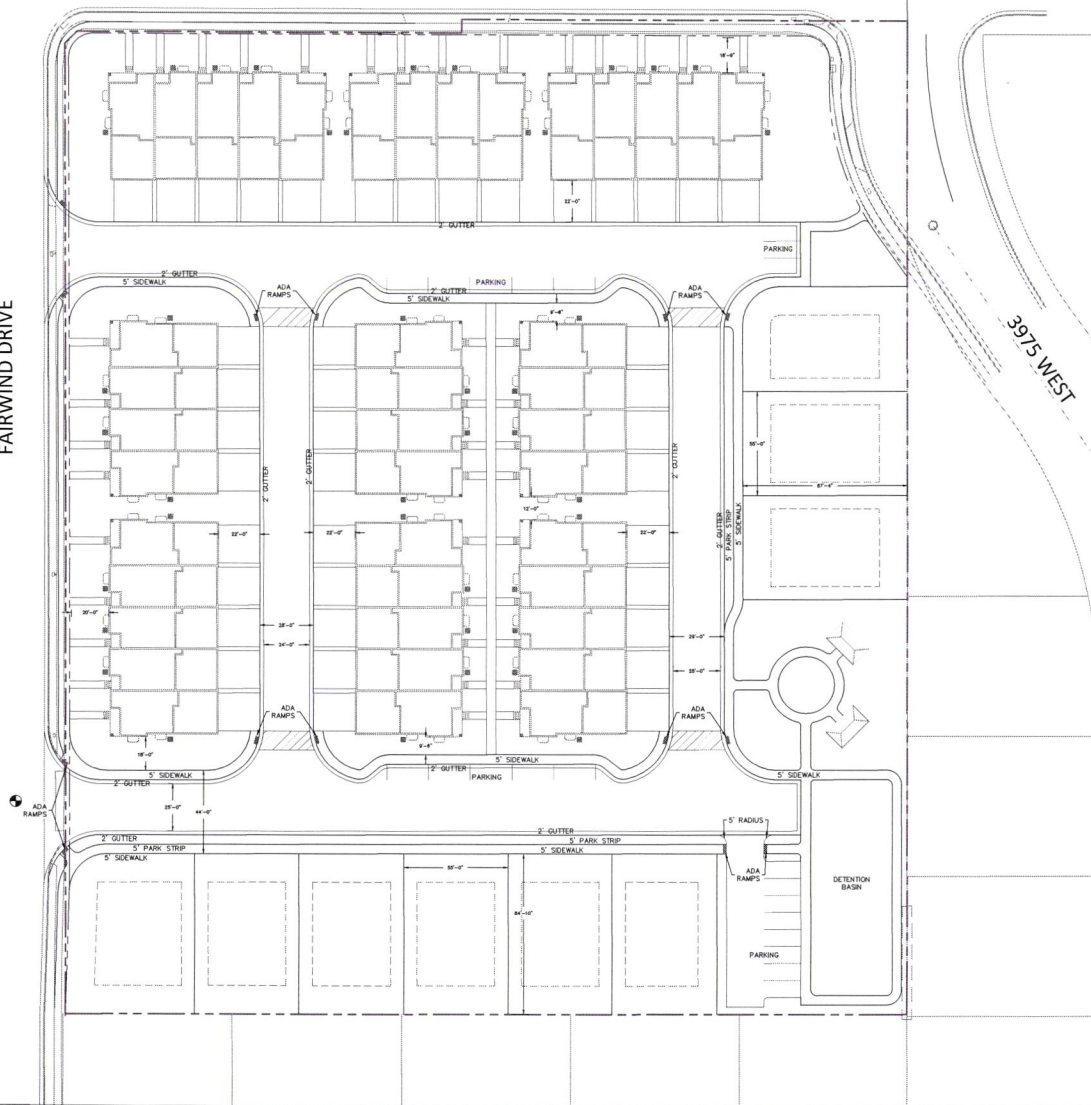
- GENERAL NOTES
- ADA RAMPS TO BE LOCATED AT ALL INTERSECTIONS WITH SIDEWALKS. RAMPS SHALL MEET ADA REQUIREMENTS FOR SLOPE.
 - SINGLE HOME LOTS TO HAVE THE FOLLOWING SETBACKS:
 - 5' SIDE SETBACKS (10' TOTAL)
 - 15' REAR SETBACKS
 - 10' TO PORCH
 - 15' TO FRONT LIVING AREA
 - 18' TO GARAGE
 - 2' DRIVEWAYS
 - PRIVACY FENCING TO BE INSTALLED ALONG THE BACK OF ALL SINGLE HOME LOTS. DECORATIVE FENCING TO BE INSTALLED ALONG FAIRWIND DRIVE AND 6200 SOUTH.

6200 SOUTH

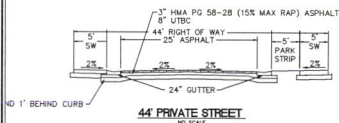
FAIRWIND DRIVE

3975 WEST

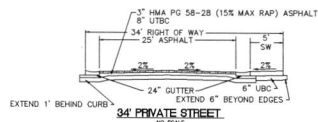
CHELTONHAM WAY



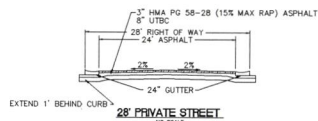
6200 S AND FAIRWIND FRONTAGE IMPROVEMENTS
NO SCALE



44' PRIVATE STREET
NO SCALE



34' PRIVATE STREET
NO SCALE



28' PRIVATE STREET
NO SCALE

NO.	REVISION	DATE

PROJECT INFORMATION

TAYLOR VILLAS

MASTER SITE PLAN

TAYLORSVILLE, UTAH

DRAWN TGK	CHECKED GDW	PROJECT # 24253
DATE 1/15/25		SCALE 1" = 30'
SHEET C201		ENGINEER'S STAMP

PLOT DATE: Jan. 15, 2025 G:\DATA\24253_Guyton_TaylorVillas\Map\24253_Boss.dwg

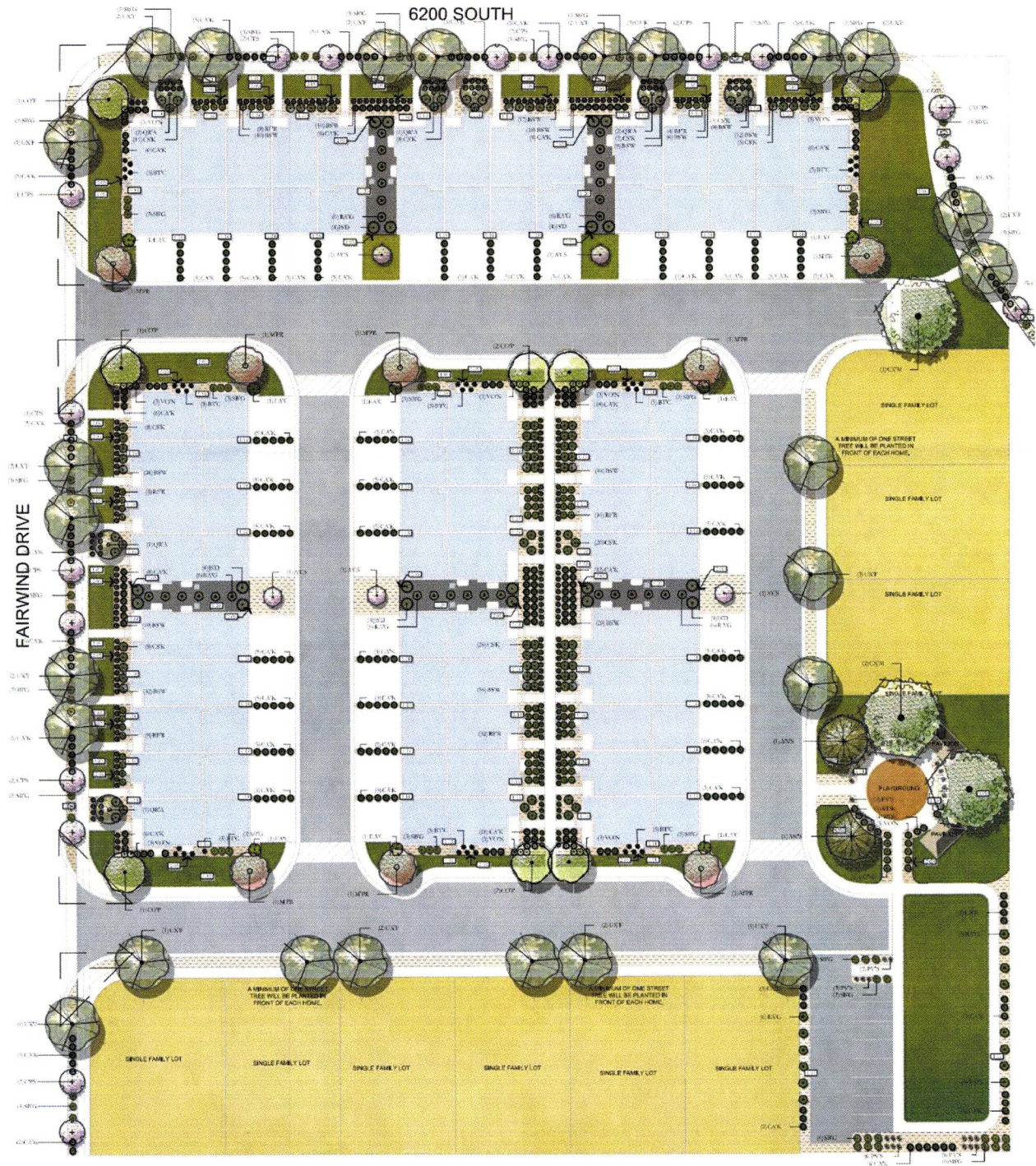
FIGURE 3C

SSD-R-TAYLOR VILLAS SITE PLAN - PRODUCT LOCATION



FIGURE 4

SSD-R-TAYLOR VILLAS LANDSCAPE PLAN

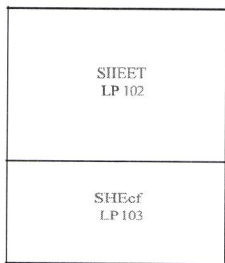


(The Plant Legend is shown below)

SITE MATERIALS LEGEND

SYMBOL	CODE	DESCRIPTION	QTY
	1-001	SODDED L.A. AREA LAWN AREAS SHALL BE SOD. NEW TERS ARE TO BE SODDED WITH UROUGHT JDELEIT KENLUCKI BLUE GRASS OR APPROXIMATELY SEE SOIL LANDSCAPE NOTES FOR FURTHER INFORMATION SHEET LP-101.	25,966 SF
	1-002	FINISH T.A. CRUSHED ROCK SUBSTITUTES FOR L.A. SLOPE, IRREGULAR AND OTHER APPROVAL PROVIDE 1" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC LANDSCAPE NOTES FOR ADDITIONAL INFORMATION SHEET LP-101.	24,811 SF
	1-003	FINISH T.A. CRUSHED ROCK SUBSTITUTES FOR L.A. SLOPE, IRREGULAR AND OTHER APPROVAL PROVIDE 1" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC LANDSCAPE NOTES FOR ADDITIONAL INFORMATION SHEET LP-101.	178 SF
	1-004	2" BROKEN CRUSHED ROCK SUBSTITUTES FOR L.A. SLOPE, IRREGULAR AND OTHER APPROVAL PROVIDE 1" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC LANDSCAPE NOTES FOR ADDITIONAL INFORMATION SHEET LP-101.	3,478 SF
		DEEP STEEL JOIST INSTALL PER MANUFACTURER SPECIFICATIONS.	1,671 LF

SHEET INDEX



SYMBOL	CODE	QTY	BOTANICAL/COMMON NAME	CONT	MTN
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DECIDUOUS TREES

	ACS		Acer platanoides 'Crimson King' Crimson Sycamore 100Cr.m; 3ft ml x 12-15' h; d.b.h. 3"	B&B	2" Cal
	AVS		Aerogelido 'Senilis' Seminon Double-M2Ne 10-10 x 25-30' h	B&B	1" Cr
	CPS	17	Celtis occidentalis 'SUI' Prairie Linden 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	B&B	1" Cal
	COP		Cdtis occidentalis 'Prairie Prince' Prairie Pridelbeckerry	B&B	2" Cal
	CXM		Cdtis occidentalis Higanbana Hickbany	B&B	2" Cal
	MPR		Milias 'Prairie Rose' Prairie Rose C. bappi 10-15 x 5-7' h; sun to part shade	B&B	1" Cal
	QRV		QuercUS laevis 'JES-K' S. Irtt Sjffe O.k 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	B&B	1" Cal
	UXF	25	Ulmus 'Frontier' Frontier Elm 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	B&B	2" Cal

SYMBOL	CODE	QTY	BOTANICAL/COMMON NAME	CONT
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SHRUBS

	CS-1	28	Cornus rita 'Kelsqi' Kelcy, D. str. Red T.ig. Dog-wood	Sg, J
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DECIDUOUS SHRUBS

	BTC	40	Berberis thunbergii 'U.V. Wizard' Concord Juniper 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J
	EVC		Elaeagnus vitifolia Compass Buming Bush 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J
	RVG	44	Ribes coccineum Golden Currant 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J
	RFR	72	Ribes multiflorum Honeysuckle 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J
	SB'G	59	Spiraea alba 'Gold' TM Ghu G. rib. rebri (Spirra) 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J
	VOX	11	Viburnum opulus 'Nanum' DuMf European Viburnum 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J

EVERGREEN SHRUBS

	JSW	m	KIT TM: per. d. m. 'Mondham Stied' 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J
	JS'O	20	Juniperus horizontalis 'Monard' TM Moer-Kelch Juniper 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J

GRASSES

	CAV	71	Calamagrostis x acutiflora 'Korn' Festuca radialis & Ss 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Jg, J
	PVS	35	Pennisetum purpureum 'Shenandoah' Shenandoah Switchgrass 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Jg, J

ROSES

	RDK		Rosa 'Ridley' Double Knock Out Rose 10-15 x 5-7' h; sun to part shade; 24' 10-15' h; 10-15' d.b.h.	Sg, J
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FIGURE 5

SSD-R-TAYLOR VILLAS PLAYGROUND AMENITIES

