

RIVERFRONT DESIGN GUIDELINES

April 17, 2014

**MASTER
PLANNED
MIXED
USE
DISTRICT**



RIVERFRONT MASTER PLANNED MIXED-USE DISTRICT (MPMU)
 DESGIN GUIDELINES
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Studies

- Traffic Impact Study - Prepared by Hales Engineering
 (Not Included in this Document)
- South Salt Lake Meadowbrook Apartment Parking Study (11-22-2013) - Prepared by Hales Engineering
 (Not Included in this Document)
- Apartment Parking Study (Locations in Salt Lake Valley (11-22-2013) Prepared by Hales Engineering
 (Not Included in this Document)

SECTION 1 PROJECT NARRATIVE

OBJECTIVE

The Thackeray Garn Company (the Developer), in conjunction with the Utah Transit Authority (UTA) (Land Owner) wish to rezone a tract of land (described herein) from General Commercial (GC) and Multi-Family Residential (RM) to a Master Planned Mixed Use District (MPMU).

The Developer and Land Owner seek to create a community that is consistent with the City's General Plan, and the goals and objectives associated with the General Plan, which include some of the following key items.

- Accommodate Higher Density Housing in Appropriate Areas.
When done thoughtfully, and responsibly, quality multi-family housing adds permanent, stable residents to the City.
- Make Business and Commercial Areas More Pedestrian and Bicycle Friendly.
Amenities promoting pedestrian and bicycle activities create walkable communities and create alternative transportation opportunities.
- Adopt Design Standards for Business and Commercial Areas.
Create standards that blend and integrate the various sub-districts and land uses into a thematic and well organized community, causing smooth transitions and interfaces among the proposed land uses, and compatibility with adjacent land uses.
- Seek to Supply a Broad Range of Housing Types and Styles with Community Sustainability in Mind.
- Support the Retention and Expansion of the City's Industrial Sector.
The development of Flex / Business / Office space is a key component of the Master Planned District.

GENERAL DESCRIPTION

The property consists of approximately 56 acres bounded by 700 W and the Jordan River (east to west); and Carlisle Ave (3655 S.) and Carlisle Park Lane (3810 S.) (north to south). Existing adjacent land uses include multi-family development to the south, multi-family development and the Jordan River to the west, multi-family and light industrial to the east, and transit facilities (UTA) to the north.

It is proposed that the Master Planned District will consist of the following land uses (or sub-districts)

- Flex Office (FO)
- Multi-Family Garden-Style Building Forms (RM1)
- Multi-Family Townhouse-Style Building Form (RM2)
- Single Family Detached Residential (R1)
- School / Educational (S)

Two concept plans have been prepared for consideration, Scheme A and Scheme B. Scheme A consists of all of the above land uses except for a school. The Developer is currently exploring the possibility of including an elementary school site within the project, and they are currently engaged with the Granite School District to determine the feasibility of developing a school at this location. As a result, the Developer desires to submit Scheme B as an alternative concept plan for approval in the event that the School District, and the other parties determine that this location is appropriate for a future elementary school. If a school is developed, the multi-family townhouse sub-district will be removed from the master planned district.

ARCHITECTURAL AND SITE DESIGN STANDARDS

This project is subject to the City's existing ordinances and design standards as defined by the base zoning districts except; as otherwise defined in this narrative, as shown in the referenced figures and illustrations, and as modified by the attached special provisions (identified below).

- ✓ Flex Office Design Standards – Special Provisions #1
- ✓ Special Provisions #2
- ✓ Special Provisions #3
- ✓ Residential Design Standards – Special Provisions #4

SUB-DISTRICT DESIGNATION

The property has been master planned according to five mixed land uses, or sub-districts as identified in the previous section. Figures 2A and 2B are provided showing each land plan alternative. Each sub-district is situated with careful consideration of existing adjacent land uses. Flex office building forms are proposed at the north side of the property, buffering the residential zones R1 and RM1 from the existing transit facilities (UTA) and bus traffic north of Carlisle Ave. (3655 S.). RM1 residential building forms also act as a buffer between the RM2 residential building forms and the Flex Office sub-district. In all cases, the proposed residential land uses are situated such that they will be similar in form, scale, and use to the existing adjacent residential land uses.

STREET CIRCULATION PLAN

- 1) Connection of Blocks, and Pedestrian and Bicycle Paths
Street connectivity and traffic circulation is illustrated in Figure 3. Truck traffic is designed and intended to access the Flex Office sub-district primarily from Carlisle Avenue (3655 S.), which already has bus traffic from UTA facilities to the north. Secondary truck access to the Flex Office buildings will be from the Fine Drive, which divides the Flex Office sub-district and the residential sub-districts.

Fine Drive and 900 West are intended to act as collector streets for car and truck traffic, and are aligned with the City's current main intersections, street alignments, and existing rights of way; which are consistent with the City's General Plan for collector class roadways.

Roadways within the residential sub-districts are intended to function as local residential roadways.

A connection from S. Carlisle Park Lane to Fine Drive will also be accommodated for (physical connection by others), and bollards may be placed on the adjacent property owner's property, allowing emergency access to Fine Drive. This location is shown in Figure 3.

Pedestrian and Bicycle paths are illustrated in Figure 4. It is understood that the City and County have regional goals and objective regarding the creation of a pedestrian friendly community, with connectivity to offsite features, amenities and destinations. In order to further the goals of the City and County, pedestrian connectivity is a strong characteristic of this development. Fine Drive will have shared bike and car lanes (shared lane marking or sharrow) on each side of the street from 700 West to the Jordan River Parkway entry. Markings will consist of standard chevron style symbols positioned in the middle of the "travel way" to indicate that a bicyclist may share the full lane. An 8-foot wide concrete sidewalk will also be provided along the south side of Fine Drive as the pedestrian component, providing connectivity from 700 W. to the entry of the Jordan River Parkway.

Five-foot wide pedestrian paths (concrete and/or asphalt) will be provided as a connection from the project's linear parks (RM2 Sub-District) to Fine Drive. Connection to the Fine Drive pedestrian path will also be provided from the single family residential sub-district as depicted in Figure 4.

2) Roadway Widths and Design Standards

Because the project consists of a special mix of land uses and building forms, careful consideration has been given to the function and form of the street network. The project consists of a uniquely dense mix of residential dwellings and business destinations. As such there will be less private open space, and emphasis on the shared spaces is a critical factor in creating a vibrant public realm. A significant part of the public realm is the street, as an amenity, and as a transitional element from sub-district to sub-district. With these objectives in mind, the following characteristics will be incorporated into the street grid and the street cross sections.

- Reduced setbacks and/or zero setbacks along public rights-of-way enhance the "gathering" perception that the street amenity provides. Refer to Special Provisions #2 for setback requirements.
- Shared bike lanes along Fine Drive enhance the street amenity, and promote the regional goals and objectives of the City and County.
- On street parking provides direct access to businesses and residential dwellings and is consistent with the urban style development defined by the compact, high density building forms proposed in this Master Planed District. On street parking also provides an opportunity for shared parking between land uses. This is an important benefit and feature for the community because it promotes a sense of community between land uses, and it is an efficient use of land in a high density development where peak parking hours are conveniently offset between businesses and residential

uses. It is noted that shared parking will be defined in the CC&Rs and administered by the Master Home Owner's Association.

- Landscaping / streetscaping is also an important characteristic in defining the form and function of the street. The street will contain landscaping and streetscaping in order to promote the street as a shared public realm. It will also function as a transition between land uses in the form of open spaces and landscape screening. Figure 8C illustrates the Tree Master Plan for streets.
- Due to the dense nature of the residential building forms, an emphasis is placed on transit features. Figure 6 illustrates a proposed plaza between the multi-family building and 700 West. The plaza will act as a gathering place, as well as a logical location for a future UTA bus stop.

With these objectives in mind, street cross sections have been arranged and are furnished in Figures 5A, 5B, 5C, 5D, 5E, 5F.

Roadways within the single family detached residential sub-district (R1) consist of 50-foot rights-of-way. Two options are proposed. First parkstrips may be omitted from the section. As a result, community mail boxes would be required because there will not be space in front of the sidewalk for individual mail boxes. The second option would be to keep the parkstrips, which would involve a reduced pavement width. For this option, the one side of the street would be signed and/or marked "no parking".

3) Traffic Study and Parking Analysis

City Code 17.27.060, Part E allows for an alternative parking plan to be prepared and submitted. Therefore, two parking studies were conducted by Hales Engineering as part of the organization and development of the concept plan and Master Planned District. Additionally, a Traffic Impact Study was prepared, which together support the street grid, traffic circulation, and street cross sections. These studies are not included as part of this document but reference to them is provided in the tables of contents. The table below is a summary of the parking requirements.

Minimum Parking Requirements

Sub-District	City's Requirement (for Comparison)	Riverfront District Requirement
Flex Office (FO)	1 per 1,000 s.f. of floor space	1 per 1,000 s.f. of floor space
Multi-Family Garden-Style Building Forms (RM1)	2.44 per unit 2.2 per unit (10% reduction)	1.75 per unit (recommended based on the studies)
Multi-Family Townhouse-Style Building Form (RM2)	2.44 per unit 2.2 per unit (10% reduction)	2.0 garage spaces per unit 0.2 visitor parking per unit
Single Family Detached Residential (R1)	2 per unit with 1 being a garage space	2 garage spaces per unit 2 driveway spaces per unit
School / Educational (S)	As required by City Code	

Note that the table above represents the minimum number of parking spaces allowed within each sub-district. The concept plans (Figures 1A and 1B) indicate that the minimum number of parking spaces will likely exceed the minimum requirement. However, the actual numbers are not known until the site engineering process has commenced. However, the number of parking spaces shall not be less than the minimum requirements.

Bicycle parking for each sub-district will conform to South Salt Lake City Code, 17.27.060, Part A.

4) Roadway Ownership

Proposed roadway ownership is depicted in Figure 5G.

OPEN SPACE AND FENCING

1) Open Space

An Open Space and Fencing Plan is provided as Figure 8A (scheme A) and 8B (scheme B). The figures provide a summary of tabulated open spaces for each sub-district, together with the percentages of open space relative to the overall acreages. Among many considerations, certain objectives are factored into the establishment of public open spaces.

- Open areas will be created within the multi-family sub-districts to provide useable gathering and recreational spaces, such as a linear parkways and playground areas.
- Open spaces will also be provided along 900 West (a collector road) to provide a greenbelt along the roadway. They are strategically situated to provide a buffer between the single family dwellings and the multi-family building forms. Additionally the open spaces accommodate existing utility corridors that must remain in uninterrupted operation.

Ownership (public or private) of open spaces is designated on Figures 8A and 8B. All open spaces outside of the public rights-of-way will be private ownership and all open spaces within the right-of-way will be public ownership. In regards to maintenance, all open spaces, both public and private, will be maintained by the Master Home Owner’s Association. Proposed right-of-way widths are shown on figures 5A, 5B, 5C, 5D, 5E, 5F.

2) Fencing

Project fencing is shown in Figures 8A and 8B, which consist of two main types.

- The first fencing type will be 6-foot high perimeter fencing, which is intended to buffer the single family residential sub-district (R1) from other adjacent land uses and sub-districts. Fencing will be 6-foot in height. The Developer will work with the City to determine a suitable material and fencing type in order to accomplish two objectives. First the fencing will be constructed so that it provides an element of screening/privacy. Secondly, materials shall be selected so as to minimize opportunities for vandalism and/or graffiti. For this reason, wood and vinyl are

excluded as acceptable materials. Fencing will be constructed by the developer and will be uniform throughout the entire perimeter.

- The second type of fencing will be a 4-foot high picket or semi-transparent style. A depiction of this fencing type is illustrated in Figures 7A, and 7b. This fencing will be constructed by the developer and will consist of a uniform type within each sub-district.
- A third type of fencing (which is not shown in the Figures and Illustrations) may consist of private fencing within the R1 sub-district (single family detached) or (S) sub-district (school). This fencing may be of varying types, including wood or vinyl, except when used as perimeter fencing along sub-district boundaries and roadways (in the case of the school), in which case fencing must be solid fencing or other transparent fencing that is not prone to graffiti marking. Fencing is not allowed within the front step back of the detached single family buildings. Chain link fencing is not allowed as a private fencing material within the R1 sub-district (detached single family).

3) Tree Master Plan

Figure 8C illustrates the Tree Master Plan, which is designed to create a hierarchy of scale (not species), with major streets having large shade trees. The species are selected from South Salt Lake City’s Landscape Design Handbook. The Tree Master Plan provides opportunities to select varying species per street.

ALLOWABLE BUILDING FORMS BY SUBDISTRICT

Building forms allowed in each sub-district are identified in Special Provisions #2.

ALLOWABLE LAND USES BY SUB-DISTRICT

Sub-District	Allowed Land Uses
Flex Office (FO)	Refer to Flex Office Design Standards – Special Provisions #1.
Multi-Family Garden-Style Building Forms (RM1)	Multi-family garden-style development
Multi-Family Townhouse-Style Building Forms (RM2)	Multi-family townhouse-style development
Single Family Detached Residential Forms (RM2)	Single family detached residential development with a minimum lot size of 4,500 s.f.
School / Educational (S)	School

SITE IMPROVEMENTS AND AMENITIES

1) District Sign Standards

Four sign and monument types and locations are identified and illustrated in Figure 9.

- Flex Office Sub-District (Monumentation)
- Multi-Family Garden Style Sub-District (Monumentation)
- 700 West Master Planned District (Monumentation)
- Street (Signage)

All signage shall conform to the standards of South Salt Lake City.

2) District Landscape Standards

Landscaping and streetscaping elements will be carefully considered regarding their look and locations so that they reinforce the importance of the pedestrian scale and provide public safety and comfort. Trees and other landscape elements shall be in accordance with the Tree Master Plan depicted in Figure 8C, and the following guidelines.

- Deciduous shade trees shall be a minimum of 2 in. caliper.
- Evergreen trees shall be a minimum of 8ft. in height.
- Planting will create seasonal interest and species variety, with a mix of deciduous and evergreen trees used where appropriate.
- Provide a proportional and appealing aesthetic. Designed shrub and groundcover plantings will be furnished containing appropriate combinations of woody plants at 5 gal. size, and perennials/groundcovers at 1 gal. size.
- Where appropriate, (i.e. trail edges or large public spaces, medians, etc.), native grasses/meadow seeding may be utilized to create a natural, low maintenance appearance.
- Ornamental planting areas may be used and will strive to provide year round, seasonal interest.

3) Project Lighting

Adequate illumination is a critical factor in creating safe, comfortable, pedestrian-friendly environments. This involves not only the use of streetlights, but also lighting tailored to sidewalks, pedestrian paths, alleys, and building entrances. Illumination levels will be of a sufficient intensity to provide security and vision, but not overpower the nightscape. Indirect sources and horizontal cut-off fixtures will be incorporated to reduce glare and down lighting and sign/monument illumination.

The following elements will act as guidelines to satisfy the lighting the objectives described above.

Pedestrian and Street Lights

- Lighting fixtures will be spaced appropriately to create continuous and uniform lighting levels.
- Street light poles will not exceed 20 feet in height.
- Street lighting will be shielded from casting light higher than in a line 15 degrees below the horizontal plane, as measured from the light sources.

- Lighting will not be directly cast into adjacent residential windows.
- Lighting color will be as close to incandescent as possible, including minimum wattage metal halide or color corrected sodium light sources.
- Street light styles and materials will complement the architectural character of the development.

Building Lighting

- Lighting will be integrated into the architectural design to creatively illuminate pedestrian areas and highlight building elements.
- Full cutoff or fully shielded fixtures will be used in order to avoid light being directed upwards.
- Lighting will integrate with retail signage, storefront windows, covered parking structures, and other building elements to enhance visual interest.
- Lighting will be sensitive to nearby residential development by limiting glare and minimizing spill light beyond the property boundary.
- Sensor or timer-based shut off controls may be used for residential, pedestrian, and parking areas.

Figure 10A provides two section perspectives of project site lighting (typical street lighting and typical pedestrian lighting). The sections represent the style of poles and luminaires that will be used throughout the entire master planned development, creating uniformity throughout.

Lighting within parking lots (particularly within the Garden-Style Multi-Family sub-district) will consist of one, or a combination of both, pedestrian lighting and surface mounted lighting. Where parking lots are narrow (120 to 150 feet wide) lighting should be directed toward the interior of the parking lot from the perimeter in order to reduce and minimize light trespass on adjacent residential uses.

4) Street Furniture

Benches and waste receptacles are an important feature of the public realm, and will be provided at appropriate locations along the street and pedestrian trail, and within public open spaces. Figure 10C is a typical representation of the style and materials that will be incorporated within the district.

All benches shall contain an intermediate arm rest to discourage individuals from sleeping on them.

5) Covered Parking (RM1)

Covered parking will be provided within the RM1 sub-district. Two structure types are intended for construction, and are shown on Figure 10B (single column covered parking structures and double column covered parking structures). Surface mounted lighting may be utilized and an example is shown on Figure 10B.

6) Other Pedestrian Amenities

Other pedestrian amenities are both required and intended as part of the Multi-Family Garden-Style Building Forms (RM1) sub-district. A complete list of site and building amenities is provided in the Residential Design Standards – Special Provisions #4. Following is a brief summary, highlighting a few of the community amenities intended and programmed for the master planned district.

- ✓ Linear Parks – RM2 Sub-District
- ✓ 700 W Street Plaza – potential future bus stop
- ✓ Pedestrian Paths and entry to Jordan River Parkway
- ✓ 900 West Street Greenbelt
- ✓ Shared Bike and Car Lanes on Fine Drive
- ✓ Shared Playground
- ✓ Street Furniture

OTHER ITEMS (ARCHITECTURAL ELEMENTS)

The standards pertaining to building design and mechanisms that will promote a positive built environment are contained in the City’s ordinances and standards that have been previously referenced, together with the attached Special Provisions that have been customized and add upon the City’s standards.

Riverfront Master Planned Mixed-Use District utilizes contemporary architectural and urban themes to blend dissimilar land use types, creating a harmonious aesthetic of colors, texturing, forms, and scales. Colors and textures aim to provide a contextual relationship to the Jordan “Riverfront” Parkway.

The architectural theme and concept of the development is depicted in the architectural elevations that are attached as the Figures identified below.

- 11 Multi-Family Garden-Style Buildings
- 12A, 12B Flex Office
- 13A, 13B Multi-Family Townhouse-Style Buildings
- 14A, 14B, 14C, 14D, Single Family Detached Residential Buildings

RIVERFRONT

MASTER
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**FLEX OFFICE DESIGN STANDARDS
SPECIAL PROVISIONS #1**

April 17, 2014

RIVERFRONT MASTER PLANNED MIXED-USE DISTRICT (MPMU)

1.0 Flex/Office Buildings

The Flex/Office Building Form is intended for manufacturing, light industrial, distribution, and flexible employment related uses. In many cases, the form of the building is established based on the function of the uses taking place within it. The focus of these standards is to minimize potential negative impacts on adjacent lands from uses housed in these buildings. The uses permitted within a building are determined by the new land use table of Special Provisions #3.

1.1 Orientation

- (A) Developments composed of a single structure using the Flex/Industrial Building Form shall be oriented so the primary façade faces the street from which the building derives its street address. However, in order to create functional truck loading areas within the limits of the sub-district, primary facades may also face customer/public parking lots that have convenient and direct access to the primary street.
- (B) Development with multiple structures using the Flex/Industrial Building Form shall be configured to conceal operations from off-site views directly adjacent to residential single family dwellings.
- (C) Accessory structures or uses shall be in the rear yard.
- (D) Buildings that have end sections fronting along Fine Drive and 3655 South will have “store front wrap around”. The façade and architectural character of the end caps will take on the look and feel of a store front appearance.
- (E) Buildings that have end sections fronting along Fine Drive will also have wing walls that will extend from the building to edge of the drive entrance. This will provide screening of the truck loading docks from the street. The wing walls will be 6 feet in height and will consist of a material other than wood, vinyl, and stucco, which are prone to graffiti vandalism. Materials will be composed of concrete, or other material(s) that are complementary to and/or have similar architectural appearance to the buildings. Wing walls will also be supplemented with appropriate landscaping in order to deter graffiti vandalism.

1.2 Architectural Fronts

- (A) Architectural fronts shall be clearly demarcated through signage, architectural elements, or other features, and building facades containing customer entrances should be oriented towards the street from which the structure derives its street address when possible.

- (B) Any office portion of a structure using the Flex/Office Building shall utilize human-scale design along with a variety of architectural detail to break up large walls or enhance visual quality.

1.3 Materials

- (A) All exterior wall of a structure using the Flex/Office Building Form shall be clad with materials that are durable, economically-maintained, and of a quality that will retain their appearance over time, including, but not limited to:
 - 1. Natural or synthetic stone;
 - 2. Brick;
 - 3. Stucco;
 - 4. Painted, textured, or glazed concrete masonry units;
 - 5. High-quality pre-stressed concert systems;
 - 6. Float finish EIFS; or
 - 7. Glass
 - 8. Painted metal siding as an accent material
- (B) Exterior building materials shall be continued to the finished grade on any elevation.

1.4 Roofs

- (A) Roof-based mechanical equipment shall be screened from streets and off-site views.

1.5 Rear and Side Loading and Service Areas

- (A) Loading and services areas shall be located at the rear of the buildings.

1.6 Compatibility with Single-Family Development

- (A) Restrict all access to residential streets.
- (B) Locate service and loading areas as far from sing-family residential uses as possible.

1.7 Building Height

- (A) Buildings shall not exceed 36 feet in height as measured from the finished grade.

SPECIAL PROVISIONS #2

April 17, 2014

RIVERFRONT MASTER PLANNED MIXED-USE DISTRICT (MPMU)

Riverfront Master Planned Mixed-District will be subject to the ordinances of the City of South Salt Lake, expect for the following special provisions, which modify, remove, and/or replace the requirements of the City's ordinance.

17.21.010 Purpose

Amend:

- A. Ensure that new buildings complement and enhance existing neighborhoods;

17.21.050 General Design Standards

Amend:

- B. **Orientation.** Development shall conform to the concept site plan(s).

Amend:

F. **Compatibility.**

1. Building forms (within the same land use district) that front across the street from one another shall be similar in scale, form, or massing, to the maximum extent possible.
2. Structures on corner lots shall maintain consistent average setbacks with buildings on either side, to the maximum extent possible.
3. Infill development (for subsequent development) shall utilize the same building form as development on either side, to the maximum extent possible.

Add:

G. **Yard Areas.**

3. Refer to supplemental graphics depicting areas of landscaping and open spaces.

17.21.060 Building Form Standards By Land Use District

Remove in its Entirety and Replace with:

- A. **Building Form.** Building form will be in accordance with the approved concept site plan(s).

1. **Matrix Explanation:** The matrix below lists allowed uses within each district, designated by the letter "A".

- 2. **Building Forms and Associated Land Uses:** The uses permitted within a building are determined by the following table.

Building Form	Sub-District (RM1)	Sub-District (RM2)	Sub-District (R1)	Sub-District (FO)	Sub-District (S)
Garden-style Multifamily	A				
Townhouse-style Multifamily		A			
Single Family Detached			A		
Flex Office / Business				A	
Educational / School					A

- 3. **Building Forms and Associated Land Uses Table Reference Requirements**

1. The detached house form may not be used for dwelling units intended for renter-occupancy in the Residential Multiple Land Use Districts(s).

Amend:

B. **Build-to Zones and Setbacks (Tables)**

1. **Build-to Zones**

Front Build-to Zones (Corners Not Applicable)

Build-to Zone	Flex Business	Multi-Family Garden-Style	School
Min – in feet	0	10	20
Max – in feet	0	15	N/A

Front and Corner-side Build-to Zones

Build-to Zone	Townhouse	Single Family Detached
Min – in feet	5 Front 5 Corner	20 Front 10 Corner*
Max – in feet	15 Front 15 Corner	25 Front 20 Corner

*For corner lot setbacks that are interior to the subdivision only and not for corners adjacent to 900 W or Carlisle Ave.

Remove in its Entirety and Replace with:

B. Build-to Zones and Setbacks (Tables)

2. Side and Rear Setbacks

Building Form	Side Yard in feet	Rear Yard in feet
Detached House	5*	20
Townhome Style Multifamily	5**	5
Garden Style Multifamily	20**	N/A
Flex Business	N/A	N/A
School	20	20

* Measured from property lines

** Measured between buildings

3. (Remove)

17.21.070 Detached House Building Design Standards

Amend:

All illustrated/dimensioned build-to zones and setbacks in Section 17.21.070 are governed by the Special Provisions of Section 17.21.060 in this document.

Amend:

J. Architectural Variability.

Architectural Variability Standards must be used from the columns of the following table as indicated. Up to one of the items in the left column may be substituted for one of the items in the right column.

3. Architectural Variability Table

Required Architectural Variability Standards (must choose one)	Optional Architectural Variability Standards (must choose three)
The use of different exterior materials or colors	Variations in the width of the front façade by two feet or more
Variation in the location and proportion of front porches	Variation of the placement or size of windows or doors on the front façade
Variation in trim or quoins	Variation in rooflines pitches, or the use of dormers
	Variation in the location or proportion of garages and garage doors
	*Combining of materials in different configuration.

*Materials for the same or similar elevation shall be combined in different configurations and shall differ in style (such as horizontal siding, shingles, flat panels, and board and batten) and/or differ in locations (horizontal siding at the second floor over stucco at the first floor, or board and batten siding over horizontal siding).

SPECIAL PROVISIONS #3

April 17, 2014

RIVERFRONT MASTER PLANNED MIXED-USE DISTRICT (MPMU)

Riverfront Master Planned Mixed-District will be subject to the ordinances of the City of South Salt Lake, expect for the following special provisions, which modify, remove, and/or replace the requirements of the City’s ordinance.

17.15.010 Purpose and Applicability

Add:

D. Multi-Family Town-Style Buildings (sub-district RM2) shall have land uses that are in accordance with the “Residential Multiple” land use category of the City’s Land Use Matrix Table in Section 17.15.010. Single Family Detached Residential (sub-district R1) shall have land uses that are in accordance with the “Planned Unit Development” land use category of the City’s Land Use Matrix Table in Section 17.15.010.

E. Items designated as “P” are permitted uses. Items designated as “C” are conditional uses and subject to the City’s standard review and approval process to obtain conditional use. Items containing superscripts reference the City’s sub-section D of title 17.15: Commercial and Residential Land Uses.

17.15.030 Commercial Land Use Matrix Table of Uses

Add the Following Land Use Category:

Land Use Categories	Flex/Business
Accessory Structure	P
Alcoholic Beverage Class A License- on premise	
Alcoholic Beverage Class B License- on premise	
Alcoholic Beverage Class C License- on premise	
Alcoholic Beverage Package Agency	P ¹
Alcoholic Beverage State Liquor Store	P
All-Terrain Vehicles (ATV), Motorcycle, Wave Runners, Snow Mobiles Sales & Services	P ²
Animal Hospital/ Veterinary Office (Small Animal)	P
Animal Boarding/Raising (Farm)	
Animal, Family food Production	
Animal Kennel,/Day Care, Commercial	P ⁵

Animal/ Reptile Rescue	P
Aviary	
Apiary	
Art Gallery	P
Art Studio	P
ATM, Kiosk, Vending Machine - Self Service, Interactive, Outdoors	P ⁹
Auction House	C ¹⁰
Auto, Light Trucks, RV, Boat and Trailer Dealerships (new and used) - Sales and Service	P ¹¹
Auto, Light Truck, RV Rental and Leasing Agencies	P
Auto Body Repair (with storage in doors only)	P
Auto motive Service and Repair	
Automotive Service Station, Non-mechanical	C
Bakery, Commercial	P
Bakery, Neighborhood	P
Bail Bonds	C
Barber Shop, Beauty Salon	C
Blood/Plasma Donation centers, Commercial and not Accessory to a Medical Clinic (Corporate or Research Center)	C
Bowling Alley	
Car Wash	
Church, Religious of Ecclesiastical Building	C
Commercial Repair Services	P
Comprehensive Mental Health, abuse, substance abuse Treatment Center	
Convenience Store	
Convenience Store with Fuel Pumps	
Convenience Store and Car Wash	
Craftsman Industrial	
Crematory, Embalming Facility	C
Cultural Building/Users	C
Dance Studio	P
Day Care, Adult Commercial, Nonresidential	C
Day Care, Child Commercial	C
Day Spa	
Drive-Up Window (nonfood), Banks, ATM's, Dry Cleaners, Pharmacy, etc.	P
Distribution Facilities	P
Dry Cleaning and Laundromat	P
Education, After High School Programs, Adults and Children	C
Education, Higher, Public and Private	C
Education, Public, Private, Charter or Quasi Public School	C
Education, Trade, Vocational, Training	C
Employment Agency, Temporary	P

Equestrian Facilities	
Equipment Sales, Services, Rental, Heavy Equipment and Farm	P
Escort/Outcall Agencies	
Farmers Market	P
Financial Institution	C
Fitness, Exercise center	P
Food Cart and Trucks, on Private Property	
Funeral/Mortuary Home, Stand Alone Building	
Garage/yard Sale (residential)	
Golf Course	
Grooming Services	P
Haunted house	
Home Occupation, Category 1	
Home Occupation, Category 2	
Horticulture/Produce Sales	C ²²
Hospital	
Hotel	
Hotel, Residential Lease, Extended Stay	
Impound and Tow Lot (with indoor storage only)	C
Industry, Light	P
Jail	
Juvenile Detention facility	
Laboratory, Industrial	P
Laundry, Industrial	P
Library	
Maintenance Facilities, Vehicle and transit	P
Manufacturing, Fabrication, Assembly, Processing, Packaging	P
Manufactured Homes	
Martial Arts Studio, and Training	P ²³
Massage Therapy	
Medical, Dental and Health Care Offices, On-site	P
Medical, Dental Research Facilities/Laboratory	P
Model Home	
Mobile Home Park	
Movie Studio and Sound Stage	
Neighborhood Gardens	
Non-Depository Institutions, check cashing, title loan, deferred deposit loans	
Nursery or Greenhouse, Commercial	P
Office, General/Professional	P
Outdoor Sales and Display	P ²⁵
Park and Ride Facilities	C

Parking, Private Ground Level, Commercial	P
Parking Structure/Terrance	C
Parks, Public and Private	
Pawn Shop	
Pedestrian Pathways, Trails and Greenways	P
Permanent Make-Up not including a Tattoo shop/Parlor	P
Pharmacy	C
Planned Unit Development, Commercial Condominium	P
Portable Shipping Container, Temporary Storage	P ²⁷
Poultry Urban	
Precious Metal Purchase/ Recycling	
Printing, Copy Store	P
Printing, General	P
Protective Housing facility	
Public/Government Service and Accessory Buildings	P
Public Utility Station	C
Recreation Center	C
Recycling Materials Collection/Drop off Facility, Indoor	C
Rehabilitation and Treatment Facilities	C
Research & Development Facility	P
Restaurant, Sit Down	C
Restaurant, Drive-up Window	C
Retail Merchandise Stores, Accessory	P
Retail Merchandise Stores, General	P
Retail Merchandise Stores, Neighborhood	P
Secondhand Merchandise Dealer	P
Sexually Oriented Business	
Slaughterhouses Animal Rendering, Tanneries, Animal by Products Plant	
Smoking Parlor/Lounge, Head Shop or Smoking Paraphernalia Specialty Store	
Solar or Wind Utilities	C
Storage, Vehicles, Outdoors Including automobile Impound lots	
Storage Facilities, Indoor Climate Controlled Units	P
Storage Facilities, Warehouse, Indoor	P
Storage and Equipment Yard, Outside	
Substance Abuse/outpatient Treatment Center	
Tailoring Shop, Commercial	P
Tattoo Shop/Parlor	
Temporary Users, Firework Stands, Christmas Tree Lots, Refreshment Stands	
Tire Service	P
Tobacco, Smoke, Cigarette, Specialty Store	
Transitional Care and Rehabilitation	

Theater, Movie	
Theater, Live Performance	
Upholstery Shop	P
Zero Lot Line Development	P

SPECIAL PROVISIONS #4

April 17, 2014

RIVERFRONT MASTER PLANNED MIXED-USE DISTRICT (MPMU)

Riverfront Master Planned Mixed-District will be subject to the ordinances of the City of South Salt Lake, expect for the following special provisions, which modify, remove, and/or replace the requirements of the City's ordinance.

17.21.090 Townhouse-style Multifamily Building

Amend:

I. Meter and Equipment Placement. Wall-mounted and ground-based meters, HVAC, and utility equipment serving a Townhouse-style Multifamily Building shall:

1. Be screened with landscaping, or located to the sides or rear of the structure they serve.
2. *(Remove Item)*

17.21.100 Garden-style Multifamily Building

Amend First Paragraph:

The Garden-style Multifamily Building includes residential dwelling units arranged in a building in a stacked configuration where units are located side-by-side and one atop another and are served by one or more stairways. Dwelling units within a Garden-style Multifamily Building may be for rental, condominium, or cooperative ownership. The uses permitted within Garden-style Multifamily Buildings are determined by the land use table of Special Provisions #2.

Remove in its Entirety and Replace with:

B. **Building Height.** Buildings using this form shall be no higher than sixty feet (65') measured from the finished grade to the peak of the roof, or flat roofed structures, the top of the parapet.

Amend:

C. **Materials.**

1. Exterior building walls of structures using the Garden-style Multifamily Building Form shall be composed of one or more of the following primary materials: wood clapboard, cementitious fiber board, wood board and batten, wood siding, brick, stone, split-faced masonry block, 1-coat stucco system, architectural metal panels, or similar material. EIFS, glass, smooth-faced masonry block, or wavy corrugated metal may be used as accent materials only and shall not be the primary material used on any exterior.

When Stucco is used as a primary material, EIFS may not also be used as an accent material. Likewise, if EIFS is used as a primary material, Stucco may not be used as an accent material.

Amend:

D. **Exterior Staircases and Entry Features.** Up to one exterior staircase per 70 feet of façade is allowed to service the units in each Garden-style Multifamily Building. Exterior staircases shall be incorporated into an exterior entry that is a prominent, architectural focal point directing pedestrians into the building. The feature shall relate to the architecture of the structure. Exterior entries shall feature a secondary roof structure that is consistent or complementary with the primary roof form. Staircases shall be incorporated according to the following standards:

1. Staircases may extend from the primary structure. Projected staircases require a minimum three foot (3') façade projection.
2. Staircases may be recessed from the primary façade. Staircases shall be recessed at least three feet (3') from the primary façade.
3. All exterior entries shall be designed to allow for natural light penetration.

Amend:

E. **Porches, Balconies, and Private Patios.**

1. Every dwelling unit in a Garden-style Multifamily Building that faces a public street, a perimeter street, primary internal street, park, or common open space shall have one of the following: a porch, balcony, or private patio. Porches, balconies, and patios shall be a minimum of 58 square feet minimum in area and a minimum of five feet (5') in depth.

Add:

E. **Porches, Balconies, and Private Patios.**

2. Porches, balconies, and private patios will have railings that consist of materials other than vinyl, such as powder coated steel, or other upgraded material(s).

Amend:

G. **Roofs.**

5. All roof vents, pipes, antennas, satellite dishes, and other roof penetrations and equipment (except chimneys) shall be configured to have a minimum visual impact as seen from an adjacent street, to the extent possible.

Amend:

H. Facades.

1. All elevations of structures using the Garden-style Multifamily Building form visible from the street shall provide doors, porches, balconies, common staircase entries, or windows in the following amounts:
 - a. A minimum of 40 percent of front elevations; and
 - b. A minimum of 23 percent of side and rear building elevations.
4. Facades of structures using the Garden-style multifamily Building form facing streets or containing the Primary Façade(s) to dwellings shall provide a minimum of three of the following design features for each residential unit fronting onto a street;
 - a. Projections or recesses in the façade lane every 45 feet. Projections or recesses must have a minimum depth of two feet;

Amend:

I. Garages.

1. Individual garages or carports serving structures using the Garden-style Multifamily Building form shall be located within interior parking lots of the development.

Amend:

K. Pedestrian Circulation. Structures using the Garden-style Multifamily Building form shall provide full pedestrian access around the structure in the form of a sidewalk at least five feet wide. Crosswalks used as part of an internal pedestrian circulation system, or across driveways accessing public streets, shall be constructed of a contrasting appearance, such as stamped concrete, stenciled graphics, colored or varying paint applications, etc.

Amend:

L. Meter and Equipment Placement. Wall-mounted and ground-based meters, HVAC, and utility equipment serving a Garden-style Multifamily Building shall:

1. Be screened from view, and
2. Be placed in close proximity to one another.

17.21.120 Required Amenities for Multifamily Residential Buildings

Amend:

A. Required Amenities. Buildings using the Townhouse-style and Garden-style Multifamily form shall include the following amenities. This section does not apply to “for sale” districts.

1. A common social gathering area of at least four hundred (400) square feet for each fifty units, or portion thereof, with the building or development.
2. Items from the Unit Features Section, General Amenities Section, Recreation Amenities Section, Energy Efficiency Enhancements section described in the table below and according to the number of items identified for each building form.

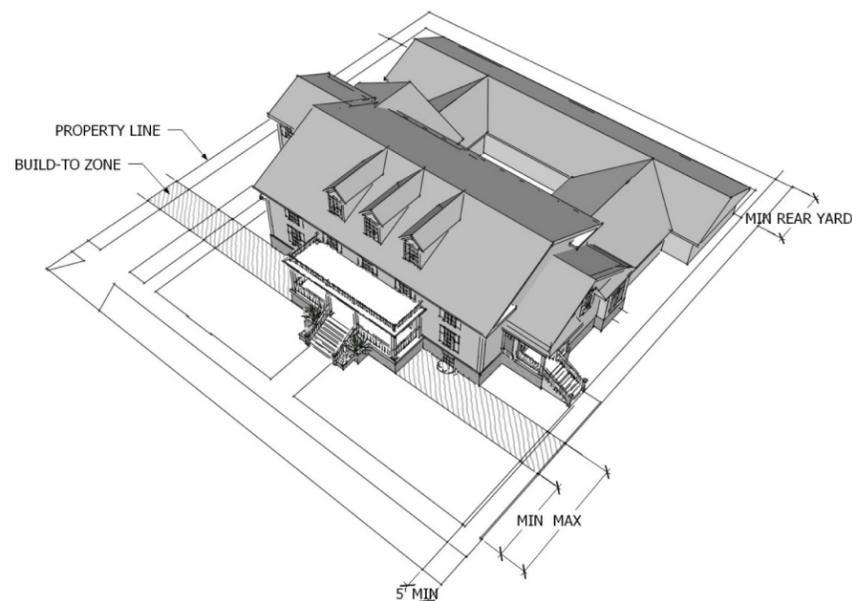
B. Table of Required Amenities

Unit Features	General Amenities	Recreation Amenities	Energy Efficiency Enhancements
Must Choose 9 Items	Must Choose 6 Items	Must Choose 6 Items	Must Choose 3 Items
Individual Garages for at least 50 percent of units	Exterior Social Area - at least 400 square feet	Pool – at least 400 square feet	Compliance with ENERGY STAR New Homes Standard for buildings three stories or fewer
Washer/Dryer Connections	Project Security – automated gate or guard	Internal Fitness Facilities	Compliance with ENERGY STAR Multifamily High Rise Program for buildings four stories or greater
Private porches, patio, or balcony – at least 70 square feet	Enclosed parking	Secured, programmed children’s play areas	Installation of photovoltaic panels, wind turbines, or other electric generating renewable energy source to provide at least 20 percent of the project’s estimated electricity demand.
Upgraded floor coverings, in place of or in addition to carpet	Secured, Enclosed Storage Units	Hot Tub	Design and install required connections for the installation of PV or solar hot water system in the future.
Visitability features for at least 10 percent of units	Public Transit Use Incentive	Community Garden	
Nine-foot ceilings for Each Unit	Offering of 1 permanent On-Site Social Activities - Theatre Room - Business Room - Club Room - Kids Play Room	Perimeter Trail	
Enhanced soundproofing		Sport Court	
Solid Doors Throughout Unit	Library, Office, or Meeting Facilities	Park Benches Pavilion	
Vaulted Ceilings on the Top Floor		Pet Stations	
		BBQ Areas	
		Child Splash Pad	

<p>Washer and Dryers in Each Unit</p> <p>Triple Play Package</p> <p>Bike Storage/Utility Closet for Each Unit</p>			<p>Electric Vehicle Charging Station</p> <p>Participation in a recycling program as part of a rental agreement or HOA</p> <p>Installation of tankless hot water systems</p> <p>Demonstrated compliance with any of the criteria listed in the Site Improvements, Water Conservation, or Energy Efficiency sections of the 2011 Enterprise Green Communities Criteria.</p> <p>LED Lighting in Building Common Areas (Not Including Site Common Areas)</p> <p>Provide Energy Star Appliances</p>
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CITY'S RESIDENTIAL DESIGN STANDARDS

17.21.080 Mansion-style Multifamily Building.



The Mansion-style Multifamily Building is a building form that accommodates between two and six dwelling units within a structure designed to appear as a typical single-family detached home. It is intended for use by multi-family buildings with six or fewer units intended for owner-occupancy or for rental, limited capacity assisted living facilities, group homes, and residential facilities for elderly persons and persons with a disability. Buildings using this form that are part of a rental development shall include amenities as specified in this chapter.

A. Compliance with Standards for Detached House Building Form. In addition to the standards using the Mansion-style Multifamily Building Form shall be subject to the standards for a Detached House except that Mansion-style Multifamily Buildings shall be

exempted from the garage and architectural variability standards described in the previous section. In the event of a conflict between the Detached House Building Form standards and the Mansion-style Multifamily Building Form standards, these standards shall apply.

B. Maximum Number of Units. Structures using the Mansion-style Multifamily Building form shall be limited to a maximum of eight (8) dwelling units.

C. Primary Façade. Regardless of the number of dwelling units, all structures using the Mansion-style Multifamily Building Form shall include at least one single primary entrance on the front façade. Nothing in this subsection shall limit the ability of each dwelling unit to have a secondary pedestrian entrance on side or rear facades.

D. Façade Design.

a. All sides of a structure using the Mansion-style Multifamily Building Form visible from an existing street or pedestrian right-of-way, or a park or improved open space shall display a similar level of quality and architectural detailing.

b. All building details on a single structure using the Mansion-style Multifamily Building Form, including roof forms, siding materials, windows, doors, and trim shall reflect a consistent architectural style.

E. Garages. Attached or detached garages serving a structure using the Mansion-style Multifamily Building form shall be placed to the side or rear of the building. In no case shall a garage be on the primary façade of a Mansion-style Multifamily Building.

F. Driveways and Off-Street Parking Areas

1. Except on corner lots, all structures using the Mansion-style Multifamily Building Form along primary streets shall be served by a single driveway and off-street parking area. Buildings on corner lots may have up to two individual driveways provided each driveway is accessed by a different street.

2. No off-street parking area shall be located between a structure using the Mansion-style Multifamily Building and the street it fronts, unless the building using this form is intended for use for a limited capacity assisted living facility, group home, or residential facility for elderly persons and persons with a disability.

3. Off-street parking areas (including access and drive aisles) located to the side of a building shall not occupy more than thirty percent (30%) of the lot's frontage.

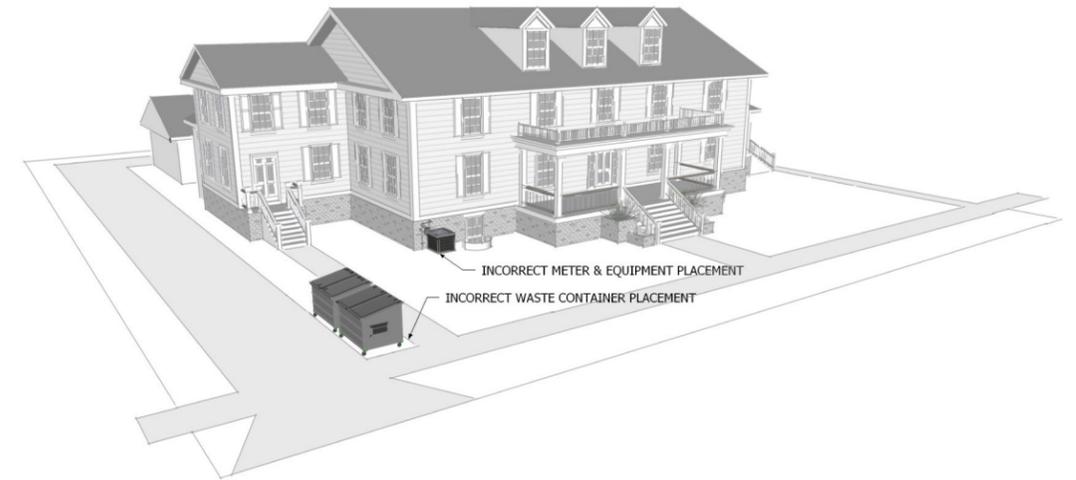
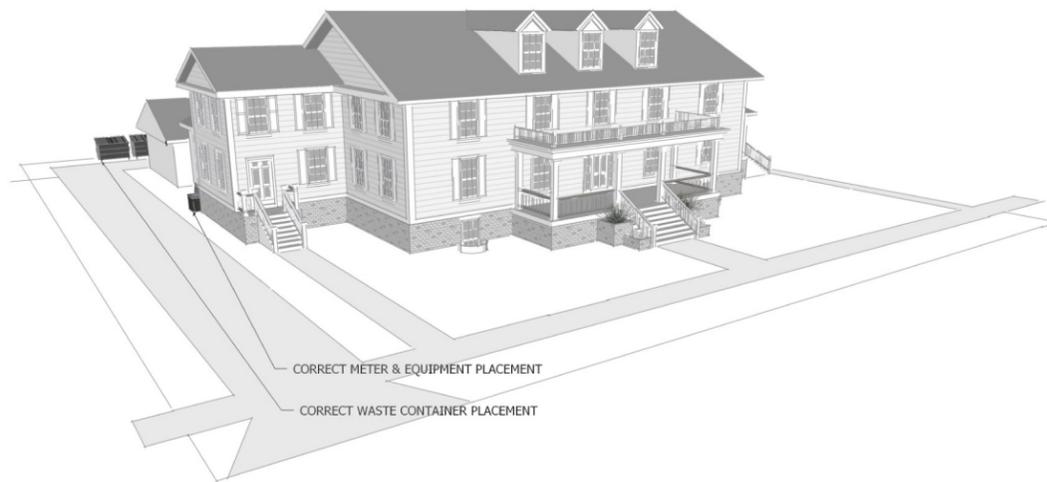
G. Common Open Space. Buildings using the Mansion-style Multifamily Building Form shall include common open space, according the following standards:

1. At least 20 percent of the development site, excluding dedicated rights-of-way and required build-to zone and setback areas, shall be common open space. The Land Use Authority may approve a reduction in the open space requirement by 25 percent if the site is within one quarter mile, as measured at the closest property lines, of a light rail station, a streetcar stop, or a public park.
2. To qualify for the reduction, the site must include a pedestrian access in the form of a sidewalk at least five feet wide from each unit to the nearest public sidewalk or trail.

H. Meter and Equipment Placement. Wall-mounted and ground-based meters, HVAC, and utility equipment serving a Mansion-style Multifamily Building shall:

1. Be fully screened from view, or located to the sides or rear of the structure they serve, and
2. Be placed in close proximity to one another.

I. Waste Container Placement. Waste containers serving a Mansion-style Multifamily building shall not be located between the building and the street it fronts. Waste containers shall be designed according to the standards set forth in this title.



J. Multiple-Building Developments. Developments with two or more structures using the Mansion-style Multifamily Building Form shall incorporate different surface materials, differing heights, and differing window and door placement on the front façade of each structure along the same block face.

17.21.090 Townhome-style Multifamily Building.



The Townhome-style Multifamily Building is a building form that accommodates up to twelve dwelling units that are located side by side. The uses permitted within a building are determined by the base and overlay zoning districts in which it is located. Buildings using this form that are part of a rental development shall include amenities as specified in this chapter.

A. Compliance with Standards for Detached House Building Form. In addition to the standards using the Townhome-style Multifamily Building Form shall be subject to the standards for a Detached House except that Townhome-style Multifamily Buildings shall be exempted from the garage and architectural variability standards described in the previous section. In the

event of a conflict between the Detached House Building Form standards and the Townhome-style Multifamily Building Form standards, these standards shall apply.

B. Maximum Number of Units.

1. No more than twelve Townhome-style dwelling units with side-or rear-facing garages shall be attached in a single row within a single building.
2. No more than three Townhome-style dwelling units with front facing garages shall be attached in a single row within a single building.

C. Frontage and Orientation

1. **Single-Building Developments.** Developments composed of a single structure using the Townhome-style Multifamily form shall comply with the frontage and orientation standards described in the General Design Standards section of this chapter.
2. **Multiple Building Developments.** The primary entrance and front façade of individual buildings within a multiple building development shall be oriented toward the following, listed in priority order:

1. Public streets
2. Perimeter streets
3. Primary internal streets
4. Parks, courtyards, paseos, or other common open space; and
5. Secondary internal streets or alleys

Primary entrances or facades shall not be oriented toward off-street parking lots, garages, or carports.

D. Primary Facade. Regardless of the number of dwelling units, all structures using the Townhome-style Multifamily Building Form shall include at least one single primary entrance on the front façade. Nothing in this subsection shall limit the ability of each dwelling unit to have a secondary pedestrian entrance on side or rear facades.

E. Façade Design.

1. All sides of a structure using the Townhome-style Multifamily Building Form visible from existing single-family residential uses, an existing street or pedestrian right-of-way, or a park or improved open space shall display a similar level of quality and architectural detailing.

2. All building details on a single structure using the Townhome-style Multifamily Building Form, including roof forms, siding materials, windows, doors, and trim shall reflect a consistent architectural style.
3. Townhome-style Buildings with street-facing garages shall incorporate an identifiable transition between each unit. A transition shall incorporate at least two of the three following elements: a change in roofline, an offset in the primary façade of the unit of at least two feet, or variation in the location and proportion of front porches.

F. Garages.

1. Townhome-Style Multifamily Buildings with Front Facing Garages.

- a. Front facing garage doors shall comprise no more than fifty percent (50%) of the primary façade.
- b. Front facing garage facades shall not visually or architecturally dominate the primary façade elevation of the townhome. Street facing garages serving Townhome-Style Buildings shall comply with the garage standards for the detached house building.



2. **Townhome-Style Multifamily Buildings with Side-or Rear-Facing Garages.** Garages may be to the side or rear of Townhome-Style Multifamily Building. Buildings using this form that incorporate side- or rear-facing garages shall emphasize the pedestrian entrance to the building. Side loaded garages along front facades shall incorporate a portico, arbor, trellis, or some other element to articulate the façade incorporating the garage.

G. Driveways and Off-Street Parking Areas

1. Except on corner lots, all structures using the Townhome-style Multifamily Building Form shall be served by a single driveway and off-street parking area. Buildings on

corner lots may have up to two individual driveways provided each driveway is accessed by a different street.

2. No off-street parking area shall be located between a structure using the Townhome-style Multifamily Building and the street it fronts, except on driveways as allowed.
3. Off-street parking areas (including access and drive aisles) located to the side of a building shall not occupy more than thirty percent (30%) of the lot's frontage.

H. Common Open Space. Buildings using the Townhome-style Multifamily Building Form shall include common open space, according the following standards:

1. At least 20 percent of the development site, excluding dedicated rights-of-way and required build-to zone and setback areas, shall be common open space. The Land Use Authority may approve a reduction in the open space requirement by 25 percent if the site is within one quarter mile, as measured at the closest property lines, of a light rail station, a streetcar stop, or a public park.
2. To qualify for the reduction, the site must include a pedestrian access in the form of a sidewalk at least five feet wide from each unit to the nearest public sidewalk or trail.

I. Meter and Equipment Placement. Wall-mounted and ground-based meters, HVAC, and utility equipment serving a Townhome-style Multifamily Building shall:

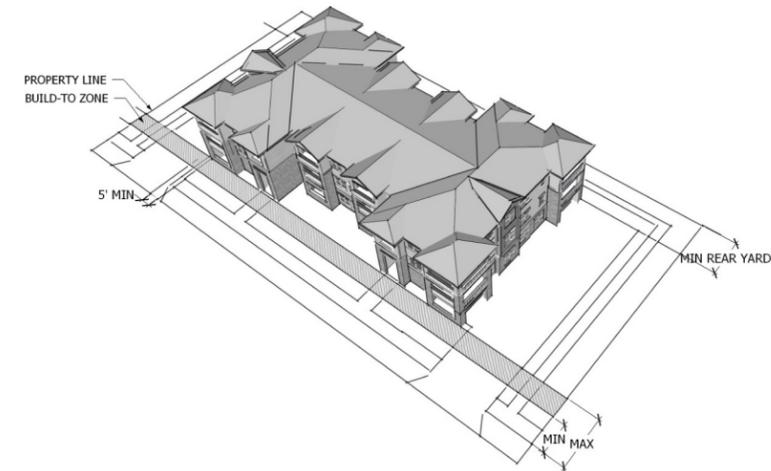
1. Be fully screened from view, or located to the sides or rear of the structure they serve, and
2. Be placed in close proximity to one another.

J. Waste Container Placement. Waste containers serving a Townhome-style Multifamily building shall not be located between the building and the street it fronts. Waste containers shall be designed according to the standards for waste container enclosures set forth in this title.



K. Building Height. Buildings using this form shall not exceed thirty eight feet (38') in height from grade to the peak of the roof or, for flat roofed structures, the top of the parapet. Buildings using this form located within 100 feet of an existing single-family residential zone measured at the closest property lines shall not exceed three stories. Buildings using the Townhome-style Multifamily form on lots in an existing R1, RM, or Agriculture land use district may be up to fifty (50) percent taller than the tallest existing adjacent dwelling unit(s) as measured from grade.

17.21.100 Garden-style Multifamily Building.



The Garden-style multifamily Building includes residential dwelling units arranged in a building in a stacked configuration where units are located side-by-side and one atop another and are served by an exterior staircase. Buildings using this form are intended to be in a park-like setting. Dwelling units with a Garden-style Multifamily Building may be for rental, condominium, or cooperative ownership. The uses permitted within Garden-style Multifamily Building are determined by the base and overlay land use districts where it is located. Buildings using this form shall include amenities as specified in this chapter.

A. Frontage and Orientation

1. Single-Building Developments. Developments composed of a single structure using the Urban-style Multifamily Building form shall comply with the frontage and orientation standards described in the general design standards established in this chapter.

2. Multiple Building Developments. The primary entrance and front façade of individual buildings within a multiple building development shall be oriented toward the following, listed in priority order:

- a. Public streets
- b. Perimeter streets
- c. Primary internal streets
- d. Parks or other common open space; and
- e. Secondary internal streets
- f. Off-street parking.

B. Building Height. Buildings using this form shall be no higher than forty five feet (45'). Buildings using this form located within 100 feet of an existing single-family residential land use district as measured from the closest property lines shall incorporate the following height transition:

- 1. Beginning at the minimum build-to zone line of the subject property, the maximum height is thirty-five feet (35') from grade to the peak of the roof or, for flat roofed structures, the top of the parapet.
- 2. Additional height for buildings using this form may be added at a ratio of one (1) additional vertical foot of building height to two (2) horizontal feet of distance from the nearest setback line.
- 3. The building height transition requirement ends at 100 feet from the adjoining single-family residential land use district.

C. Materials.

- 1. Exterior building walls of structures using the Garden-style Multifamily Building Form shall be composed of one or more of the following primary materials: wood clapboard, cementitious fiber board, wood board and batten, wood siding, brick, stone, split-faced masonry block, or similar material. Stucco, EIFS, glass, architectural metal panels, smooth-faced masonry block, or corrugated metal may be used as accent materials only and shall not be the primary material used on any exterior wall.
- 2. For structures using the Garden-style Multifamily building form, an identifiable break shall be provided between the ground floor or second floor and upper floors. This break may consist of a change in material, a change in façade articulation, or similar means.
- 3. Structures using the Garden-style multifamily building form shall have roofs clad in asphalt shingles, wood shingles, standing seam metal, a similar material, or a combination of similar materials or shall have flat roofs as specified in this section.

4. Accessory buildings shall be constructed of similar materials as used on the principal structure(s).

D. Exterior Staircases and Entry Features. Common exterior staircases are allowed to service the units in Garden-style Multifamily buildings. Buildings using this form shall have no more than one common exterior staircase per seventy-five (75) feet of façade. Exterior staircases shall be incorporated into an exterior entry that is a prominent, architectural focal point directing pedestrians into the building. The feature shall relate to the architecture of the structure. Exterior entries shall feature a secondary roof structure that is consistent or complementary with the primary roof form. Staircases shall be incorporated according the following standards:

- 1. Staircases may extend from the primary structure. Projected staircases require a minimum three foot (3') façade projection.
- 2. Staircases may be recessed from the primary façade. Staircases shall be recessed at least three feet (3') from the primary facade.
- 3. All exterior entries shall be designed to allow for natural light penetration.



E. Porches, Balconies, and Private Patios.

- 1. Every of dwelling unit in a Garden-style Multifamily Building that faces a public street, a perimeter street, primary internal street, or park or common open space shall have either a porch, a balcony, or a private patio. Porches, balconies, or patios shall be a minimum of 60 square feet in area and a minimum of five feet (5') in depth.
- 2. Porches, balconies, and private patios shall be configured to avoid views into rear yards of parcels containing single-family dwellings to the maximum extent practicable.

F. Common Open Space. Buildings using the Garden-style Multifamily Building Form shall include common open space, according the following standards:

1. At least 30 percent of the development site, excluding dedicated rights-of-way and required build-to zone and setback areas, shall be common open space.
2. Open space may take a variety of forms, but must be intended for use by all tenants.
3. At least 15 percent of the development site shall consist of improved exterior common recreational amenities.
4. Private balconies, patios, and indoor recreation or common areas shall not be included in the calculation for open space.
5. Parking lot landscaping as required shall not be included in the calculation for open space.

G. Roofs. Roofs on buildings using the Garden-style Multifamily Building form shall comply with the following standards:

1. Pitched roofs covering the main body of the structure shall be hip style, monopitch or shed style, or shall have symmetrical gables.
2. Monopitch roofs shall maintain a minimum pitch of 4:12 and all other roofs covering the main body of a Detached House Building shall maintain a minimum roof pitch of 6:12
3. Roof forms shall be designed to emphasize the residential units and to correspond and denote building elements and functions, including primary pedestrian entrances and arcades.
4. Flat roofs may be used for Urban-style Multifamily Buildings. All flat roofs shall require a minimum two foot parapet wall along the roofline. The following additional conditions apply:
 - a. The parapet shall extend along all facades of the building
 - b. The parapet shall fully screen any roof-mounted equipment.
5. All roof vents, pipes, antennas, satellite dishes, and other roof penetrations and equipment (except chimneys) shall be located on the rear elevations or configured to have a minimum visual impact as seen from an adjacent street.

H. Facades.

1. All elevations of structures using the Garden-style Multifamily Building form visible from the street shall provide doors, porches, balconies, common staircase entries, or windows in the following amounts:
 - a. A minimum of 40 percent of front elevations; and

- b. A minimum of 25 percent of side and rear building elevations.

2. For the purposes of this section, a building elevation shall include the entire wall surface on a building side from grade level to underneath an overhanging eave or to the top of the cornice.
3. For the purposes of this section, an elevation is measured as the full horizontal distance of a façade wall from the grade to the underside of an overhanging eave or cornice.
4. Facades of structures using the Urban-style multifamily Building form facing streets or containing the Primary Facade(s) to dwellings shall provide a minimum of three of the following design features for each residential unit fronting onto a street:
 - a. Projections or recesses in the façade plane every 30 feet. Projections or recesses must have a minimum depth of two feet;
 - b. Different exterior building materials or colors;
 - c. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features);
 - d. One or more dormer windows, or box or bay windows with a minimum twelve-inch projection from the façade plane;
 - e. Eaves with exposed rafters or a minimum twelve-inch projection from the façade plane;
 - f. A parapet wall with an articulated design which entails design variation rather than a simple rectilinear form; or
 - g. Multiple windows with a minimum four-inch wide trim.

I. Garages.

1. Individual garages or carports serving structures using the Garden-style Multifamily Building form shall be located to the side or rear of such buildings, and shall be oriented perpendicular to the primary streets located around the perimeter of the development.
2. For buildings using the Garden-style Multifamily Building form that incorporate a shared garage at the street level, the facade shall include treatments to enhance the pedestrian environment and obscure the view of parked cars, such as artwork, decorative grilles, Unique material treatments, or projections or recesses in the façade plane every 30 feet. Shared garages at the street level shall incorporate openings with grillwork or other treatments to resemble windows.

J. Off-Street Parking Location.

3. Off-street surface parking, including access and travel ways, located on the side of a structure using the Garden-style Multifamily Building Form shall not occupy more than 30 percent of the lot's public street frontage.

K. Pedestrian Circulation. Structures using the Garden-style Multifamily Building Form shall provide full pedestrian access around the structure in the form of a sidewalk at least five feet wide. Crosswalks used as part of an internal pedestrian circulation system, or across driveways accessing public streets, shall be constructed of a contrasting paving material.

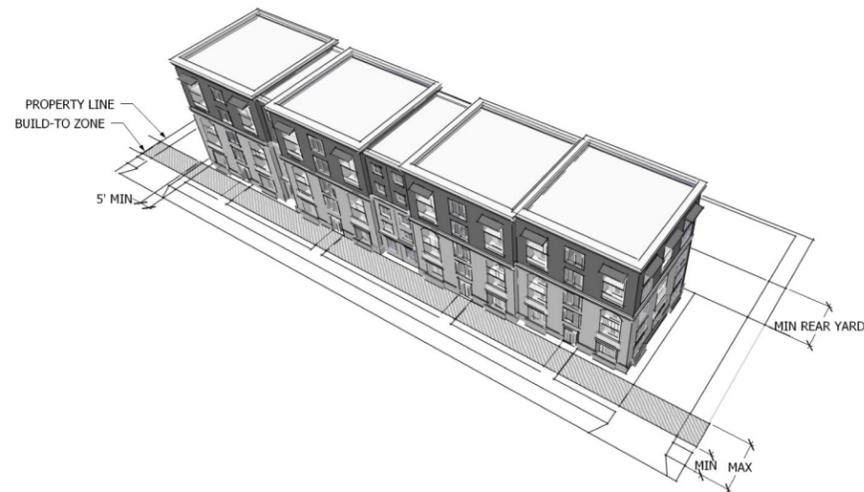
L. Meter and Equipment Placement. Wall-mounted and ground-based meters, HVAC, and utility equipment serving a Garden-style Multifamily Building shall:

1. Be fully screened from view, or located to the sides or rear of the structure they serve, and
2. Be placed in close proximity to one another.

M. Waste Container Placement. Waste containers serving a Garden-style Multifamily building shall not be located between the building and the street it fronts. Waste containers shall be designed according to the standards set forth in this title.



Urban-style Multifamily Building.



The Urban-style multifamily Building includes residential dwelling units arranged in a building in a stacked configuration where units are located side-by-side and one atop another. Dwelling units with an Urban-style Multifamily Building may be for rental, condominium, or cooperative ownership. The uses permitted within an Urban-style Multifamily Building are determined by the base and overlay land use districts where it is located. Buildings using this form shall include amenities as specified in this chapter.

A. Frontage and Orientation

- 1. Single-Building Developments.** Developments composed of a single structure using the Urban-style Multifamily Building form shall comply with the frontage and orientation standards described in the general design standards established in this chapter.
- 2. Multiple Building Developments.** The primary entrance and front façade of individual buildings within a multiple building development shall be oriented toward the following, listed in priority order:

- a. Public streets
- b. Perimeter streets
- c. Primary internal streets
- d. Parks or other common open space; and
- e. Secondary internal streets

Primary entrances or facades shall not be oriented toward off-street parking lots, garages, or carports.

B. Building Height. Except for structures using the Urban-style Multifamily Building Form on parcels within the Central Pointe, or Streetcar Overlay Zones, building using this form shall be no higher than sixty-five feet (65') from grade to the peak of the roof or, for flat roofed structures, the top of the parapet.. Buildings using this form located within 100 feet of an existing single-family residential land use district as measured from the closest property lines shall incorporate the following height transition:

1. Beginning at the minimum build-to zone line of the subject property, the maximum height is thirty-five feet (35').
2. Additional height for buildings using this form may be added at a ratio of one (1) additional vertical foot of building height to two (2) horizontal feet of distance from the nearest setback line.
3. The building height transition requirement ends at 100 feet from the adjoining single-family residential land use district.

C. First Floor Height Requirements. Buildings using the Urban-style Multifamily Building Form shall have first floor with a minimum ceiling height of twelve feet (12') measured from floor deck to floor deck.

D. Materials.

1. Exterior building walls of structures using the Urban-style Multifamily Building Form shall be wood clapboard, cementitious fiber board, wood board and batten, wood siding, brick, stone, split-faced masonry block, or similar material. Stucco, EIFS, glass, architectural metal panels, or corrugated metal may be used as accent materials only and shall not be the primary material used on any exterior wall.
2. For structures using the Urban-style Multifamily building form, an identifiable break shall be provided between the ground floor or second floor and upper floors. This break may consist of a change in material, a change in façade articulation, or similar means.

3. Structures using the Urban-style multifamily building form shall have roofs clad in asphalt shingles, wood shingles, standing seam metal, a similar material, or a combination of similar materials, or shall have flat roofs as specified in this section.
 4. Accessory buildings shall be constructed of similar materials as used on the principal structure(s).
- E. Stairways and Corridors.** All stairways and corridors intended to provide access to dwelling units in structures using the Urban-style Multifamily Building form shall be enclosed.
- F. Porches, Balconies, and Private Patios.**
1. At least seventy percent (70%) of the dwelling units in an Attached Residential Building that faces a public street, a perimeter street, primary internal street, or park or common open space shall have either a porch, a balcony, or a private patio. Porches, balconies, or patios shall be a minimum of 60 square feet in area and a minimum of five feet (5') in depth.
 2. Porches, balconies, and private patios shall be configured to avoid views into rear yards of parcels containing single-family dwellings to the maximum extent practicable.
- G. Common Open Space.** Buildings using the Urban-style Multifamily Building Form shall include common open space, according the following standards:
1. At least 20 percent (20%) of the development site, excluding dedicated rights-of-way and required build-to zone and setback areas, shall be common open space. Common open space for Urban-style Multifamily buildings may be exterior or interior space.
 2. Open space may take a variety of forms, but must be intended for use by all tenants.
 3. Private balconies, patios, and indoor recreation or common areas shall not be included in the calculation for open space.
 4. Parking lot landscaping as required shall not be included in the calculation for open space.
- H. Roofs.** Roofs on buildings using the Attached Residential Building form shall comply with the following standards:
1. Pitched roofs covering the main body of the structure shall be hip style, monopitch or shed style, mansard, or shall have symmetrical gables.
 2. Monopitch roofs shall maintain a minimum pitch of 4:12 and all other roofs covering the main body of a Detached House Building shall maintain a minimum roof pitch of 6:12
 3. Roof forms shall be designed to correspond and denote building elements and functions, including primary pedestrian entrances and arcades.

4. Flat roofs may be used for Urban-style Multifamily Buildings. All flat roofs shall require a minimum two foot parapet wall along the roofline. The following additional conditions apply:
 - a. The parapet shall have a three dimensional cornice treatment.
 - b. The parapet shall extend along all facades of the building
 - c. The parapet shall fully screen any roof-mounted equipment.
 - d. Additional two-foot projections or recesses in the façade plane every 40 feet.
 5. All roof vents, pipes, antennas, satellite dishes, and other roof penetrations and equipment (except chimneys) shall be located on the rear elevations or configured to have a minimum visual impact as seen from an adjacent street.
- I. Facades.**
1. All elevations of structures using the Urban-style Multifamily Building form visible from the street shall provide doors, porches, balconies, or windows in the following amounts:
 - a. A minimum of 40 percent of front elevations; and
 - b. A minimum of 25 percent of side and rear building elevations.
 2. For the purposes of this section, a building elevation shall include the entire wall surface on a building side from grade level to underneath an overhanging eave or to the top of the cornice.
 3. For the purposes of this section, an elevation is measured as the full horizontal distance of a façade wall from the grade to the underside of an overhanging eave or cornice.
 4. Facades of structures using the Urban-style multifamily Building form facing streets or containing the Primary Facade(s) to dwellings shall provide a minimum of three of the following design features for each residential unit fronting onto a street:
 - A. Projections or recesses in the façade plane every 30 feet. Projections or recesses must have a minimum depth of two feet;
 - B. Different exterior building materials or colors;
 - C. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features);
 - D. One or more dormer windows, or box or bay windows with a minimum twelve-inch projection from the façade plane;

- E. Eaves with exposed rafters or a minimum twelve-inch projection from the façade plane;
- F. A parapet wall with an articulated design which entails design variation rather than a simple rectilinear form; or
- G. Multiple windows with a minimum four-inch wide trim.

J. Garages.

1. Individual garages or carports serving structures using the Urban-style Multifamily Building form shall be located to the side or rear of such buildings, and shall be oriented perpendicular to the primary streets located around the perimeter of the development.
2. For buildings using the Urban-style Multifamily Building form that incorporate a shared garage at the street level, the facade shall include treatments to enhance the pedestrian environment and obscure the view of parked cars, such as artwork, decorative grilles, Unique material treatments, or projections or recesses in the façade plane every 30 feet. Shared garages at the street level shall incorporate openings with grillwork or other treatments to resemble windows.

K. Off-Street Parking Location.

1. Off-street surface parking, including access and travel ways, located on the side of a structure using the Urban-style Multifamily Building Form shall not occupy more than 30 percent of the lot's public street frontage.

L. Pedestrian Circulation. Structures using the Urban-style Multifamily Building Form shall provide full pedestrian access across the front façade in the form of a sidewalk at least five feet wide. Crosswalks used as part of an internal pedestrian circulation system, or across driveways accessing public streets, shall be constructed of a contrasting paving material.

M. Meter and Equipment Placement. Wall-mounted and ground-based meters, HVAC, and utility equipment serving a Urban-style Multifamily Building shall:

1. Be fully screened from view, or located to the sides or rear of the structure they serve, and
2. Be placed in close proximity to one another.

N. Waste Container Placement. Waste containers serving a Urban-style Multifamily building shall not be located between the building and the street it fronts. Waste containers shall be designed according to the standards set forth in this title.



17.21.120 Required Amenities for Multifamily Residential Buildings

a. **Required Amenities.** Buildings using the Mansion-style Multifamily or Townhome-style Multifamily form as part of a rental residential development , and all buildings using the Garden-style or Urban-style Multifamily Form shall include the following amenities:

1. An interior common social gathering area of at least four hundred (400) square feet for each fifty units, or portion thereof, within the building or development.
2. Three items from the Unit Features Section, two items from the General Amenities Section, two items from the Recreation Amenities Section, and one items from the Energy Efficiency Enhancements section described in the table below for each fifty units, or portion thereof, within the building or development. Developers may propose alternative amenities in any category as part of a site plan review, subject to final approval by the Land Use Authority.
3. For multifamily residential building developments in excess of 150 units, buildings shall include nine items from the Unit Features Section, six items from the General Amenities Section, six items in the Recreation Amenities section, and three items in the Energy Efficiency Enhancements section. Developers may propose an equivalent number of alternative amenities in any category as part of a site plan review, subject to final approval by the Land Use Authority.

B. Table of Required Amenities

Unit Features	General Amenities	Recreation Amenities	Energy Efficiency Enhancements
Must Choose 3 per each 50 units or portion thereof	Must Choose 2 per each 50 units or portion thereof	Must Choose 2 per each 50 units or portion thereof	Must Choose 1 per each 50 units or portion thereof
Individual Garages for at least 50 percent of units Washer/Dryer Connections Private porches, patio, or balcony – at least 70 square feet Upgraded floor coverings, in place of or in addition to carpet Visitability features for at least 10 percent of units Nine-foot ceilings for each unit Enhanced soundproofing Solid Doors throughout unit	Exterior Social Area – at least 400 square feet Project Security – automated gate or guard Enclosed Parking Secured, Enclosed Storage Units Public Transit Use Incentive Offering of Permanent On-Site Social Activities Library, Office, or Meeting Facilities	Pool - at least 400 square feet Internal Fitness Facilities Secured, programmed, childrens play areas Hot Tub Community Garden Perimeter Trail Sport Court	Compliance with ENERGY STAR New Homes Standard for buildings three stories or fewer Compliance with ENERGY STAR Multifamily High Rise Program for buildings four stories or greater Installation of photovoltaic panels, wind turbines, or other electric generating renewable energy source to provide at least 20 percent of the project’s estimated electricity demand. Design and install required connections for the installation of PV or solar hot water system in the future. Electric Vehicle Charging Station Participation in a recycling program as part of a rental agreement or HOA Installation of tankless hot water systems. Demonstrated compliance with any of the criteria listed in the Site Improvements, Water Conservation, or Energy Efficiency sections of the <i>2011 Enterprise Green Communities Criteria</i>

CITY'S LAND USE MATRIX

ORDINANCE NO. 2013-19

AN ORDINANCE OF THE CITY OF SOUTH SALT LAKE CITY COUNCIL AMENDING TITLE 17.15 OF THE SOUTH SALT LAKE CITY MUNICIPAL CODE FOR COMMERCIAL AND RESIDENTIAL LAND USES

WHEREAS: the City Council is authorized by law to enact ordinances for the protection of the health, safety and welfare; and

WHEREAS: the City is authorized by law to enact ordinances establishing regulations for land use; and

WHEREAS: the City Council finds that certain changes and additions are desirous in order to foster orderly and compatible development and use of land; and

WHEREAS: the City Council finds that these changes are compatible with the City's General Plan; and

WHEREAS: the City Council has received a positive recommendation from the South Salt Lake Planning Commission;

BE IT ORDAINED, Therefore, by the City Council of the City of South Salt Lake that Section 17.15 of the South Salt Lake Municipal Code is adopted as follows:

Effective 1 July 2012; Amended 12 December 2013

Title 17.15 – Commercial and Residential Land Uses

Commercial, Business, Office and Industrial Land Uses in the Commercial, Transit Oriented Development, Mixed Use, Business Park, Professional Office, Light Industrial, Historic, Agriculture, Gateway Community Facility, Entertainment and Residential Zones.

17.15.010. Purpose and Applicability

A. **Purpose.** The Land use matrix and standards are intended to:

1. Allow a mixture of complimentary land uses that may include retail, offices, commercial services, civic uses and industrial uses to create economic and social vitality;
2. Encourage a diversity of businesses to expand and locate to the City;
3. Continue to support the business areas as regional employment centers;
4. Develop districts that encourage walking as an alternative to driving

B. **Applicability.** Uses permitted under this Chapter shall conform to the development standards provided elsewhere in this Code, and to the application procedures for development as applicable. Uses shall also conform to any overlay district requirements that are applicable. Uses designated as conditional uses shall also comply with the requirements for conditional uses. See Title 17.09.

17.15.020. Permitted Land Use Matrix by District

A. **Matrix Explanation.** The matrix below lists permitted, conditional, and prohibited uses within South Salt Lake Commercial, Transit Oriented Development, Mixed Use, Business Park, Professional Office, Light Industrial, Historic, Agriculture, Gateway Community Facility, Entertainment and Residential Zones. Residential Uses are found under Title 17.15.040. The letters "P", "C" shall mean "Permitted" and "Conditional." For those uses that have a "Shaded" box means that the use is prohibited within the designated zoning district. All uses not specifically shown as permitted or conditional uses in this matrix are also prohibited. All regulations related to specific uses are not noted here, and any business operated in the City must also comply with relevant licensing ordinances, building, fire, and health codes; and any other applicable regulations and ordinances.

B. **Matrix Reference.** For those land uses marked with a superscript number (¹), refer to sub-section D following the table for explanation.

C. **Applicability of Other Code Chapters.** For each zoning district special regulations may apply. Special regulations will be found under each titled zoning district. Uses permitted under this chapter shall conform to the development standards provided elsewhere in this code and to the application procedures for development as applicable. Uses shall also conform to any overlay district requirements that are applicable. Uses permitted as conditional uses shall also comply with the requirements for conditional uses.

17.15.030. Commercial Land Use Matrix Table of Uses

Effective 1 July 2012; Amended 12 December 2013

Land Use Categories	Commercial Corridor	Commercial Neighborhood	Commercial General	Transit Oriented Development	Mixed Use	Business Park	Professional Office	Light Industrial	Historic	Agriculture	Gateway West	Community Facility	Entertainment Overlay	Open Space	R1-5,000	R1-5,000	Residential Multiple	Planned Unit Development
Accessory Structure	P	P	P	P	P	P	P	P	C	P	C	P	C	C	P	P	P	P
Alcoholic Beverage Class A License - off premise	P ¹	P ¹	P ¹	P ¹	P ¹			P ¹			C ¹							
Alcoholic Beverage, Class B License - on premise	P ¹	P ¹	P ¹	P ¹	P ¹	C ¹		P ¹			C ¹							
Alcoholic Beverage, Class C Tavern	C ¹			C ¹	C ¹													
Alcoholic Beverage Package Agency	C ¹		C ¹	C ¹	C ¹	C ¹		P ¹										
Alcoholic Beverage State Liquor Store	P		P	C	C	P		P										
All-Terrain Vehicles (ATV), Motorcycle, Wave Runners, Snow Mobile Sales & Service	C ²	C ²	P ²	C ²	C ²			P ²										
Animal Hospital / Veterinary Office (small animal)	C		C	C	C			P			C							
Animal Boarding / Raising (Farm)										P ³								
Animal, Family Food Production										P ⁴								
Animal Kennel / Day Care, Commercial	C ⁵		C ⁵	C ⁵	C ⁵			P ⁵			C ⁵							
Animal / Reptile Rescue										C ⁶								
Apiary										P ⁷				P ⁷	P ⁷			P ⁷
Aviary										P ⁸								
Art Gallery	P	P	P	P	P		C	P	C		C	P	P					
Art Studio	C	C	P	C	C			P	C		P	P	P					
ATM, Kiosk, Vending Machine - Self Service, Interactive, Outdoors	P ⁹	P ⁹	P ⁹	P ⁹	P ⁹	P ⁹	P ⁹	P ⁹			P ⁹	P ⁹						
Auction House			C ¹⁰	C ¹⁰														
Auto, Light Trucks, RV, Boat and Trailer Dealerships (new and used)-Sales and Service	C ¹¹		C ¹¹	C ¹¹				P ¹¹										
Auto, Light Trucks, RV Rental and Leasing Agencies	C		C	C				P										
Auto Body Repair			C ¹²					P										
Automotive Service and Repair	C ¹³		C ¹³	C ¹³				P ¹³										
Automotive Service Station, Non-mechanical	C		P	C		C		P										
Bakery, Commercial			P	C				P										
Bakery, Neighborhood	P	P	P	P	P					P								
Bail Bonds								P ¹⁴			C ¹⁴							
Barber Shop, Beauty Salon	P	P	P	P	P					P								
Blood/ Plasma Donation Centers, Commercial and not Accessory to a Medical Clinic	C																	
Bowling Alley	C	C	C	C	C							C						
Car Wash	C	C	C	C				P										
Church, Religious or Ecclesiastical Building	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Commercial Repair Services	C	C	P	C		C		P										

Effective 1 July 2012; Amended 12 December 2013

Land Use Category	Commercial Corridor	Commercial Neighborhood	Commercial General	Transit Oriented Development	Mixed Use	Business Park	Professional Office	Light Industrial	Historic	Agriculture	Gateway West	Community Facility	Entertainment Overlay	Open Space	R1-5,000	R1-5,000	Residential Multiple	Planned Unit Development
Comprehensive Mental Health, abuse, substance abuse Treatment Center				C ¹⁵	C ¹⁵													
Convenience Store	P	P	P	P	C			P			C							
Convenience Store with Fuel Pumps	C ¹⁶	C ¹⁶	C ¹⁶	C ¹⁶				P ¹⁶										
Convenience Store and Car Wash	C	C	C	C				P										
Craftsman Industrial Crematory, Embalming Facility		C	C	C				P										
Cultural Buildings/Uses	P	C	P	P	C				C			P		C				
Dance Studio	P	P	P	P	P				P		P	P						
Day Care, Adult Commercial, non-residential	C ¹⁷		C ¹⁷	C ¹⁷	C ¹⁷													
Day Care, Child Commercial	P	P	P	P	P	C					P							
Day Spa	P	P	P	P	P						P							
Drive-Up Window (non-food), Banks, ATM's, Dry Cleaners, Pharmacy, etc.	P	C	P	C	C	P	C	P			C							
Distribution Facilities			P	C		P		P										
Dry Cleaning and Laundromat	P	P	P	P	P						P							
Education, After School Programs, Adult and Children	C	C	C	C	C		C		C		C	P						
Education, Higher, Public and Private	C	C	C	C	C		C		C		C	P						
Education, Public, Private, Charter or Quasi Public School	C	C	C	C	C		C		C		C	P			C	C	C	
Education, Trade, Vocational, Training	C	C	C	C	C		C	C	C		C	P						
Employment Agency, Temporary	C ¹⁸		C ¹⁸	C ¹⁸				C ¹⁸										
Equestrian Facilities										C								
Equipment Sales, Service, Rental, Heavy Equipment and Farm								P										
Escort / Outcall agencies																		
Farmers Market	C	C	C	C	C				C	C	C	P		C				
Financial Institution	P	P	P	P	P	P	P	P			P							
Fitness, exercise Center	C	C	C	C	C				C	C		C	C					
Food Carts and Trucks, on Private Property			C ¹⁹	C ¹⁹					C ¹⁹									
Funeral / Mortuary Home, Stand Alone Building	C	C	C	C					C									
Garage/Yard Sales (residential)										P ²⁰		P ²⁰			P ²⁰	P ²⁰		
Golf Course	C											C		C				
Grooming Services	P	P	P	P	P						P							

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Land Use Category	Commercial Corridor	Commercial Neighborhood	Commercial General	Transit Oriented Development	Mixed Use	Business Park	Professional Office	Light Industrial	Historic	Agriculture	Gateway West	Community Facility	Entertainment Overlay	Open Space	R1-6,000	R1-5,000	Residential Multiple	Planned Unit Development	
Haunted House												C							
Home Occupation, Category I	p ²¹	p ²¹	p ²¹	p ²¹	p ²¹		p ²¹			p ²¹	p ²¹				p ²¹	p ²¹	p ²¹	p ²¹	
Home Occupation, Category II	C ²¹	C ²¹		C ²¹	C ²¹		C ²¹			C ²¹	C ²¹				C ²¹	C ²¹	C ²¹	C ²¹	
Horticulture / Produce Sales	C ²²	C ²²	C ²²	C ²²	C ²²			C ²²	C ²²	C ²²	C ²²	p ²²							
Hospital	C		C	C	C							C							
Hotel	C	C	C	C	C						C								
Hotel, Residential Lease, Extended Stay																			
Impound and Tow Lot																			
Industry, Light								P											
Jail																			
Juvenile Detention Facility																			
Laboratory, Industrial			P	C		P	P												
Laundry, Industrial							P												
Library	P										P	P							
Maintenance Facilities, Vehicle and Transit								P											
Manufacturing, Fabrication, Assembly, Processing, Packaging			C	C		C	P												
Manufactured Homes															P	P	P	P	
Martial Arts Studio, and training	p ²³	p ²³	p ²³	p ²³	p ²³			p ²³	p ²³		p ²³	p ²³	p ²³						
Massage Therapy	p ²⁴						C												
Medical, Dental and Health Care Offices, On-site	P	P	P	P	P	P	P	P			P	P							
Medical, dental Research Facilities/Laboratory	P	P	P	P		C	P	P											
Model Home		P		P	P					P	P				P	P	P	P	
Mobile Home Park																			
Movie Studio and Sound Stage												C							
Neighborhood Gardens		C		C	C				P	P	C	P		C	C	C	C	C	
Non-Depository Institutions, check cashing, title loan, deferred deposit loans																			
Nursery or Greenhouse, Commercial	C	C	C	C				P		P									
Office, General / Professional	P	P	P	P	P	P	P	P	P		P	P							
Outdoor Sales and Display	p ²⁵	p ²⁵	p ²⁵	p ²⁵	p ²⁵						p ²⁵								
Park and Ride Facilities				C				C											
Parking, Private, Ground Level, Commercial	C	C	C	C	C	C	C	P					C						
Parking, Structure/Terrace	C		C	C	C			C			C							C	

Effective 1 July 2012; Amended 12 December 2013

Land Use Category	Commercial Corridor	Commercial Neighborhood	Commercial General	Transit Oriented Development	Mixed Use	Business Park	Professional Office	Light Industrial	Historic	Agriculture	Gateway West	Community Facility	Entertainment	Open Space	R1-6,000	R1-5,000	Residential Multiple	Planned Unit Development	
Parks, Public and Private		P		P	P				P	P	P	P	P	P	P	P	P	P	
Pawn Shop	C ²⁶		C ²⁶																
Pedestrian Pathways, Trails and Greenways	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Permanent Make-Up not including a Tattoo Shop/Parlor	P	P	P	P	P		P	P			P								
Pharmacy	C	C	C	C	C	C	C	C			C								
Planned Unit Development, Commercial Condominium	P	P	P	P	P	P	P	P			P		P						
Portable Shipping Container, Temporary Storage	p ²⁷	p ²⁷	p ²⁷	p ²⁷	p ²⁷	p ²⁷		p ²⁷		p ²⁷	p ²⁷	p ²⁷			p ²⁷	p ²⁷	p ²⁷	p ²⁷	
Poultry, Urban										p ²⁸					p ²⁸	p ²⁸	p ²⁸	p ²⁸	
Precious Metal Purchase/Recycling			C																
Printing, Copy Stores	P	P	P	P	P	P	P	P			P								
Printing, General				C		C		P											
Protective Housing Facility		C		C	C														
Public/Government Service and Accessory Buildings	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	
Public Utility Station	C	C	C	C	C	C		P		C		C		C					
Recreation Center	C	C	C	C	C	C		C	C			P	C	C					
Recycling Materials Collection/Drop-Off Facility, Indoor								C											
Rehabilitation and Treatment Facilities	C	C	C	C	C														
Research & Development Facility			P	C	C		P	C	P										
Restaurant, Sit Down	P	P	P	P	P						P	C	P						
Restaurant, Drive-Up Window	P	C	P	C							P								
Retail Merchandise Stores, Accessory	P	P	P	P	P	P		P	C		P	P	P						
Retail Merchandise Stores, General	P	C	P	P	P	P		P			P	C	P						
Retail Merchandise Stores, Neighborhood	P	P	P	P	P	P		P	C		P	C	P						
Secondhand merchandise dealer	p ²⁹	p ²⁹		p ²⁹	p ²⁹														
Sexually Oriented Business												p ³⁰							
Slaughterhouses, Animal Rendering, Tanneries, Animal By Products Plant																			
Smoking Parlor/Lounge, Head Shop or smoking paraphernalia specialty store																			
Solar or Wind Utilities	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	

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Land Use Category	Commercial Corridor	Commercial Neighborhood	Commercial General	Transit Oriented Development	Mixed Use	Business Park	Professional Office	Light Industrial	Historic	Agriculture	Gateway West	Community Facility	Entertainment	Open Space	RL-6,000	RL-5,000	Residential Multiple	Planned Unit Development
Storage, Vehicles, Outdoors including automobile impound lots															p ³¹	p ³¹	p ³¹	p ³¹
Storage Facilities, Indoor Climate Controlled Units	C	C	C	C	C	C		P										
Storage Facilities, Warehouse, Indoor			P	C				P										
Storage and Equipment Yards, Outside				p ³²				p ³²										
Substance Abuse/outpatient Treatment Center			C ³³	C ³³			C ³³											
Tailoring Shop, Commercial	P	P	P	P	P			P			P							
Tattoo Shop / Parlor																		
Temporary Uses, Firework Stands, Christmas Tree Lots, Refreshment Stands,	C ³⁴	C ³⁴	C ³⁴	C ³⁴														
Tire Service	C	C	C	C				P										
Tobacco, Smoke, cigarette, Specialty Store																		
Transitional Care and Rehabilitation		C		C	C													
Theater, Movie	C ³⁵			C ³⁵	C ³⁵					C ³⁵		C ³⁵						
Theater, Live Performance	C ³⁶			C ³⁶	C ³⁶					C ³⁶	C	C ³⁶	C					
Upholstery Shop	P	P	P	P	P			P										
Zero Lot Line Development	P	C	P	P	P	P		P				C		C				

F. Table Reference Requirements.

- 1. Alcohol Beverage Classes.** See Title 5. Class C Taverns are subject to restrictions and regulations through the conditional use permit application process and licensing ordinances as found in Title 17.09. Such facilities may not be located any closer to residential zones than six hundred (600) feet as measured at the closest property lines, except that where State Street intercedes between the tavern use and a residential zone, a reduction in the distance separation may be considered in the conditional use approval process by the designated land use authority.
- 2. All-Terrain Vehicles (ATV), Motorcycle, Wave Runners, Snow Mobile Sales & Service.** In all zones except the Light Industrial zone all outdoor storage of vehicles, motorcycles, wave runners and snowmobiles and crates shall be enclosed within a main or accessory building.
- 3. Animal Boarding and Raising.** See Title 17.13 for minimum lot area requirements for raising and boarding animals in the Agricultural Residential A1 zone
- 4. Animals for Food Production.** See Title 17.13 Agricultural Residential A1 zone
- 5. Animal Kennel or Day Care.** See Title 6 Animals

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- 6. Animal or Reptile Rescue.** All animal or rescue uses are subject to restrictions and regulations through the conditional use permit application process and licensing ordinances as found in Title 17.09. Such facilities may not be located any closer to a residential use than three hundred (300) feet as measured at the closest property lines
- 7. Apiary.** See Title 6.08 Animals
- 8. Aviary.** See Title 17.13 Agricultural Residential A1 zone
- 9. ATM, Kiosk, Vending Machine.** Any ATM, kiosk or vending machine must not interfere with or cause difficulty in the safe movement of pedestrians. Machines must be located next to a main building on the property and located in a manner such that when customers are lined up to use the service they will not have to wait in vehicle drive isles or parking areas. Machines shall not be located in landscaped areas, create a public nuisance or be a hazard to public safety
- 10. Auction House.** See Title 5.26 for Business Licensing requirements
- 11. Auto, Light Trucks, RV, Boat and Trailer Dealerships (new and used).** See Title 17.17 for specific requirements regarding dealership regulations
- 12. Auto Body Repair.** In the Commercial General District the following requirements must be met for auto body repair uses:
 - All wrecked or inoperable vehicles must be stored within the main or accessory building. Only operable vehicles used by the business, customers and employees vehicles may be parked outdoors
 - To ensure higher environmental standards an auto body repair use located in the Commercial General zone must use high volume low pressure spray guns in painting operations
 - Hours of operation for auto body repair uses located within two hundred (200) feet of the boundary of a property located within a residential zone are limited to the hours between 7:00 a.m. to 8:00 p.m.
- 13. Auto Service and Repair.** For temporary outside vehicle storage In the Commercial Corridor, Commercial General and Light Industrial districts, all storage facilities shall install an 8-foot solid wall along the frontage of any public street. Facilities shall install, at a minimum, an 8-foot chain link privacy fence along property lines shared with other private property owners. Acceptable construction materials for walls shall be brick, ceramic tile, stone, precast concrete panel, concrete block, or other masonry materials deemed appropriate by the land use authority. All outside vehicle storage areas shall provide hard surface cover for the entire storage and maneuvering areas with concrete or asphalt. Storage sites shall meet the following minimum requirements:
 - Storage areas are prohibited within the front setback area of any auto service or repair use.
 - Vehicle parts or accessories must be stored indoors and may not be stored in the vehicle storage areas
 - Vehicles may not be stored outdoors longer than seventy-two (72) hours
 - Walls along public rights-of-way may be subject to higher design standards if deemed appropriate by the land use authority. The land use authority may impose increased or enhanced standards of style, height or durability of walls to comply with the goals and objectives of this title by the land use authority.

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- e. The style, height or durability of walls may be enhanced or increased if deemed necessary to comply with the goals and objectives of this title by the land use authority.
- f. Notwithstanding the above requirements, parking areas for customers and employees are not required to be behind a wall.
- g. All outside storage facilities shall be located on a properly drained site that is graded to ensure rapid drainage and to ensure that the site remains free from stagnant pools of water.
- h. A site drainage and grading plan shall be provided with adequate facilities to dispose of any runoff and any contaminants by a method that is approved by the South Salt Lake Public Works Department.
- i. Storage materials may not exceed the height of the eight foot wall
- j. All grounds and buildings shall be maintained free of insect and rodent harborage and infestation. Vehicle storage areas shall be maintained free of organic waste, or inappropriately stored flammable materials. Materials that are customary to the business shall be stored in accordance with applicable laws.
- k. Stored vehicles shall be stored in a unified organized manner.
- l. Storage areas shall not add to the contamination of the soil, alter ground water flow, create additional drainage runoff or alter topography in such a way that create hazards to the proposed site, adjoining properties, or the City.
- m. As part of the application for a conditional use permit for an automobile service and repair use, the applicant shall provide the City with a drainage collection and disposal plan for vehicle fluids that complies with all federal, state and local standards.

14. Bail bonds. Bail bond uses shall not be located any closer to residential zones than three hundred (300) feet as measured at the closest property lines. Such uses in the Gateway West Overlay District shall be located only along 900 West and at least one hundred fifty (150) feet from the edge of the right of way for 3300 South.

15. Comprehensive Mental Health or Substance Abuse Treatment Center (inpatient and outpatient). Uses shall not be located within 600 feet of any residential zone, public park or school as measured from the front door of the establishment to the nearest residential zoning boundary or property line of a school or park.

16. Convenience stores with fuel pumps.

- a. The pump islands of the convenience store may be erected in the front yard area provided the pumps are set back not less than twenty-four (24) feet from the right of way any street
- b. Hard-surfaced driveways leading to and from a pump island and other properly located service facilities permitted on the property shall be allowed in the front yard area provided that the driveways shall be defined by the construction of a concrete curb on the side adjoining the sidewalk. The area between the curb and the sidewalk shall be landscaped to comply with Title 17.25.
- c. A ten (10) foot distance shall be maintained between a driveway and the property line with which it is parallel or approximately parallel.
- d. All parking areas on the convenience store lot shall maintain the required landscaped front yard as provided in Title 17.25 and shall be bordered by concrete curbing.

17. Day Care - Adult. An adult daycare use shall be a commercial use and shall not include any overnight residential use. The hours of operation of an adult daycare use shall be limited from 6:00 a.m. to 8:00 p.m.

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18. Employment Agency and Temporary Staffing. Uses are limited to the office functions related to the placement of employees only. Where temporary staffing and employment agency uses involve construction and manufacturing industries, or any other uses where applicants and potential employees are required to come to the business location daily to view job opportunities and/or receive wages, the following additional requirements apply.

- a. Such facilities may not be located any closer to residential zones than six hundred (300) feet as measured at the closest property lines.
- b. An indoor waiting area must be provided for patrons of the service.
- c. The designated land use authority may impose such design conditions, use restraints and other requirements involving parking, landscaping, signage, hours of operation, etc., to mitigate any impacts caused by the service.

19. Mobile vending carts and trucks on private property. See Title 17.17

20. Garage and Yard Sales. See Title 5.26 for Business Licensing regulations

21. Category 1 and 2 Home Occupation Uses. See Title 17.07.040 and 17.03 (Definitions)

22. Horticulture and Produce Sales. See Title 17.17

23. Martial Arts Studio. When tournaments are associated with the martial arts use and the use is promoted as an event open to the general public then the martial arts studio and tournament uses are required to be located within the Entertainment Overlay District.

24. Massage Therapy. Uses must meet all State, County and local business and licensing regulations. Massage therapy uses may be allowed as a permitted use in the Commercial Corridor district when the use is associated with or connected to a medical, physical therapy, chiropractor, day spa or similar use as determined by the Community Development Director.

25. Outdoor Sales and Display. Except as specifically approved by the city or as allowed otherwise in this title, in all districts of the City all business of such uses (including the display of merchandise) is to be conducted wholly within a completely enclosed building with the exception of motor vehicle, boat, trailer or camper sales or rental, or the sales of horticulture products which shall meet the requirements as specified elsewhere in this title. The Community Development Director may approve outside display of merchandise or other outside business activities provided the following minimum standards are met:

- a. Any display or activity must not interfere with or cause difficulty in the safe movement of pedestrians.
- b. No display or activity shall take place in designated required parking or access areas or create any unsafe or difficult traffic movement.
- c. No display or activity shall create a public nuisance or be a hazard to public safety.
- d. Nothing herein shall be construed to prohibit otherwise allowed occasional and temporary sidewalk sale events that are in keeping with the intent of this section and the regulations of the city.

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26. Pawn Shop. Uses are subject to restrictions and regulations through the conditional use permit application process and licensing ordinances as found in Title 17.09. Such facilities may not be located any closer to residential zones than three hundred (300) feet as measured at the closest property lines. The number of pawn shop uses may not exceed one per every six thousand (6,000), or portion thereof, of the population of the city; See also Title 5.48

27. Temporary Portable Shipping Container. See Title 17.17

28. Urban Poultry. See Title 6.08

29. Secondhand Dealers. See Title 5.26 for Business Licensing regulations

30. Sexually Oriented Business. A Sexually Oriented Business must comply with the locational requirements as found in Title 5.56

31. Outside Vehicle Storage. For residential districts, outside vehicles storage shall follow the regulations as found in Title 10.10.

32. Outside Storage and Equipment Yards. For temporary outside storage in the Transit Oriented Development Overlay District see Title 17.13.130. For outside storage in the Light Industrial zone, all storage facilities shall install an 8-foot solid wall along the frontage of any public street. Facilities shall install, at a minimum, an 8-foot chain link privacy fence along property lines shared with other private property owners. Acceptable construction materials for walls shall be brick, ceramic tile, stone, precast concrete panel, concrete block, or other masonry materials deemed appropriate by the land use authority. All outside storage facilities shall provide hard surface cover for the entire storage and maneuvering areas with concrete, asphalt or other approved engineered dustless surface. Storage sites shall meet the following minimum requirements:

- a. Walls along public rights-of-way shall be set back from the property line a minimum of seven feet.
- b. Walls along public rights-of-way may be subject to higher design standards if deemed appropriate by the land use authority. The land use authority may impose increased or enhanced standards of style, height or durability of walls to comply with the goals and objectives of this title by the land use authority.
- c. The style, height or durability of walls may be enhanced or increased if deemed necessary to comply with the goals and objectives of this title by the land use authority.
- d. Notwithstanding the above requirements, parking areas for customers and employees are not required to be behind a wall.
- e. All outside storage facilities shall be located on a properly drained site that is graded to ensure rapid drainage and to ensure that the site remains free from stagnant pools of water.
- f. A site drainage and grading plan shall be provided with adequate facilities to dispose of any runoff and any contaminants by a method that is approved by the South Salt Lake Public Works Department.
- g. All grounds and buildings shall be maintained free of insect and rodent harborage and infestation. Outside automobile storage facilities shall be maintained free of organic waste, or inappropriately stored flammable materials. Materials that are customary to the business shall be stored in accordance with applicable laws.
- h. Storage may only exceed the height of the wall or fence when additional setbacks are provided. For every one foot above the allowed height of the wall or fence the applicant shall provide an additional five feet of setback from the property line.

- i. If storage exceeds the eight-foot height and is within one hundred fifty feet of a public street, additional screening shall include Two (2") inch caliper trees spaced no more than twenty-five feet apart and maintained with an adequate watering system.
- j. Materials shall be stored in a unified and organized manner.
- k. Storage areas shall not add to the contamination of the soil, alter ground water flow, create additional drainage runoff or alter topography in such a way that create hazards to the proposed site, adjoining properties, or the City
- l. Any area outside of a building used for any activity other than off-street parking and loading shall be completely enclosed within a light-tight visual barrier of a height sufficient to completely screen such activity from the street or from adjoining parcels. Such screening shall meet fencing and design review requirements of the city.

33. Substance/Outpatient Abuse Treatment Center. Such uses shall be for outpatient use only with no inpatient residential use. Subject to restrictions and regulations through the conditional use permit application process and licensing ordinances as found in Title 17.09. Such facilities may not be located any closer to residential zone, park or school than six hundred (600) feet as measured at the closest property. The distance shall be measured from the front door of the establishment to the nearest residential zoning boundary or property line of a school or park

34. Temporary Uses. See Title 17.17

35. Movie theaters. Subject to restrictions and regulations through the conditional use permit application process and licensing ordinances as found in Title 17.09. Such facilities may not be located any closer to residential zones than three hundred (300) feet as measured at the closest property lines, except that where State Street intercedes between the theater use and a residential zone, a reduction in the distance separation may be considered in the conditional use approval process by the designated land use authority.

36. Live Performance Theaters Including Concert Venues and Assembly Halls. Subject to restrictions and regulations through the conditional use permit application process and licensing ordinances as found in Title 17.09. Such facilities may not be located any closer to residential zones than three hundred (300) feet as measured at the closest property lines, except that where State Street intercedes between the theater use and a residential zone, a reduction in the distance separation may be considered in the conditional use approval process by the designated land use authority.

DATED this _____ day of _____, 2013.

BY THE CITY COUNCIL:

Irvin H. Jones Jr., Council Chair

ATTEST:

Craig D. Burton, City Recorder

City Council Vote as Recorded:

Fitts _____
Gold _____
Turner _____
Marshall _____
Rutter _____
Jones _____
Weaver _____

Transmitted to the Mayor's office on this _____ day of _____ 2013.

Craig D. Burton, City Recorder

MAYOR'S ACTION: _____

Dated this _____ day of _____, 2013.

Cherie Wood, Mayor

ATTEST:

Craig D. Burton, City Recorder

Effective 1 July 2012; Amended 12 December 2013