

DRAFTAgenda Item Number : **2A****Request For Council Action**

Date Submitted	2014-08-12 15:31:14
Applicant	Jeff Peay - Park Planning Manager
Quick Title	Bid Award - Construction
Subject	Sand Hollow Wash Bridge & Trail Extension
Discussion	The project includes construction of a pedestrian crossing between Lava Flow Drive and Tuweep Dr. The connection includes re-use of a 60'™ pedestrian bridge, a boardwalk portion and asphalt trail. The additional trail construction will extend Sand Hollow Wash trail from the Sand Hollow Aquatic Center (SHAC) parking lot along the east side of the SHAC to Sunset Boulevard. The city received five (5) bids for the project; Interstate Rock Products, B. Hansen, Sunroc, JP Excavating, and Feller Enterprises. Feller Enterprises was the low bid at \$190,379.40 and JP Excavation was the next lowest at \$259,002.12.
Cost	\$190,379.40
City Manager Recommendation	Under estimate and within budget. Recommend approval for this project which will provide walking access to the SHAC, SCMS, SCHS, and our walking trail from Sunset and Tuweep Dr.
Action Taken	
Requested by	Jeff Peay - Park Pla
File Attachments	Sand Hollow Wash Crossing.pdf
Approved by Legal Department?	
Approved in Budget?	Amount:
Additional Comments	The project include a temporary wash crossing (Box Culverts) that will allow school kids to cross the wash during the bridge and trail construction. The school principle has been notified regarding the crossing and construction schedule and is supportive of the city's efforts to provide the infrastructure.
Attachments	Sand Hollow Wash Crossing.pdf

SAND HOLLOW WASH BRIDGE AND TRAIL EXTENSION INQUIRY # 14-0036

COVER SHEET
FOR
SAND HOLLOW WASH BRIDGE AND TRAIL EXTENSION
CITY OF ST. GEORGE
WASHINGTON COUNTY, UTAH



ROSENBERG
CIVIL ENGINEERS & LAND SURVEYORS



ENGINEER'S ACKNOWLEDGEMENT

I, JARED W. BATES, ST. GEORGE, UTAH DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF UTAH. I HAVE REVIEWED THE PLANS AND SPECIFICATIONS FOR THE SAND HOLLOW WASH BRIDGE AND TRAIL EXTENSION PROJECT AND I HEREBY CERTIFY THAT THE DESIGN OF THESE IMPROVEMENT PLANS WAS MADE UNDER MY DIRECTION AND SUPERVISION AND IS ACCURATELY REPRESENTED ON THESE PLANS.

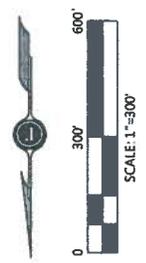
DATE: 7/24/2014

JARED W. BATES, P.E. *JWB* CERTIFICATE NO. 7886812

SHEET INDEX	
1	COVER
2	SUMMARY OF QUANTITIES
3	NOTE SHEET
A.1 - A.16	SCHEDULE A (SAND HOLLOW WASH BRIDGE)
B.1 - B.7	SCHEDULE B (SAND HOLLOW WASH TRAIL EXTENSION)



Know what's below.
Call before you dig.



AERIAL PHOTO DATE: MARCH 2012

Final Bid Tab

Sand Hollow Wash Bridge and Trail Extension
INQUIRY # 14-0036

BID SCHEDULE A Sand Hollow Wash Bridge

No.	Item	Unit	Estimated Quantity	Engineer's Estimate		Fuller Enterprises		JP Excavating		Sunroc		B. Hansen		Inletstate	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	Mobilization	Lump	1	\$5,400.00	\$5,400.00	\$6,000.00	\$6,000.00	\$12,000.00	\$12,000.00	\$5,000.00	\$5,000.00	\$2,500.00	\$2,500.00	\$8,375.00	\$8,375.00
2	Traffic Control & Site Access	Lump	1	\$2,500.00	\$2,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,255.00	\$1,255.00	\$2,500.00	\$2,500.00	\$3,555.00	\$3,555.00
3	Clear and Grub	Sq Yd	3,000	\$0.60	\$1,800.00	\$1.50	\$4,500.00	\$1.00	\$3,000.00	\$1.00	\$3,000.00	\$1.05	\$3,150.00	\$1.10	\$3,300.00
4	2.5" Asphalt	Sq Ft	6,970	\$1.75	\$12,197.50	\$1.75	\$12,197.50	\$1.60	\$11,152.00	\$1.60	\$11,152.00	\$1.75	\$12,197.50	\$1.55	\$10,803.50
5	Type II Roadbase - 6" Depth	Sq Ft	23,641	\$0.80	\$18,912.80	\$0.75	\$17,730.75	\$0.69	\$16,312.29	\$0.70	\$16,548.70	\$0.72	\$17,021.52	\$1.10	\$26,005.10
6	Earthwork	Cu Yd	797	\$4.00	\$3,188.00	\$4.60	\$3,666.20	\$5.00	\$3,985.00	\$3.85	\$3,062.45	\$3.15	\$2,508.35	\$6.95	\$5,508.35
7	Install Bollard (Furnished by Owner)	Each	500	\$350.00	\$175,000.00	\$300.00	\$150,000.00	\$330.00	\$165,000.00	\$313.00	\$156,500.00	\$500.00	\$150,000.00	\$500.00	\$150,000.00
8	Demolish and Remove Ex. Asphalt	Each	4	\$400.00	\$1,600.00	\$400.00	\$1,600.00	\$450.00	\$1,800.00	\$362.00	\$1,448.00	\$2.50	\$1,250.00	\$1.00	\$400.00
9	Install Trail Signage (Furnished by Owner)	Each	4	\$200.00	\$800.00	\$100.00	\$400.00	\$450.00	\$1,800.00	\$178.00	\$712.00	\$300.00	\$1,200.00	\$140.00	\$560.00
10	Trail Striping	Ln Ft	697	\$0.60	\$418.20	\$0.50	\$348.50	\$0.50	\$348.50	\$0.50	\$348.50	\$0.50	\$348.50	\$1.00	\$697.00
11	18" Poly Stormdrain w/ Erosion Protection	Ln Ft	80	\$21.00	\$1,680.00	\$20.00	\$1,600.00	\$20.00	\$1,600.00	\$18.00	\$1,440.00	\$30.00	\$2,400.00	\$31.65	\$2,532.00
12	12" PVC Stormdrain w/ Erosion Protection	Cu Yd	646	\$30.00	\$19,380.00	\$16.50	\$10,659.00	\$18.00	\$11,520.00	\$18.60	\$12,018.00	\$45.00	\$29,025.00	\$49.40	\$32,112.40
13	Rock Riprap - d50 = 24"	Cu Yd	39	\$20.00	\$780.00	\$25.00	\$975.00	\$25.00	\$975.00	\$25.00	\$975.00	\$25.00	\$975.00	\$25.00	\$975.00
14	30" Boulders	Ln Ft	300	\$3.50	\$1,050.00	\$5.00	\$1,500.00	\$5.00	\$1,500.00	\$5.00	\$1,500.00	\$5.00	\$1,500.00	\$5.00	\$1,500.00
15	Wash Diversion	Ln Ft	2	\$1,000.00	\$2,000.00	\$2,000.00	\$4,000.00	\$2,000.00	\$4,000.00	\$2,000.00	\$4,000.00	\$2,000.00	\$4,000.00	\$2,000.00	\$4,000.00
16	Temporary Wash Crossing	Lump	1	\$5,000.00	\$5,000.00	\$6,000.00	\$6,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$4,000.00	\$4,000.00	\$3,330.00	\$3,330.00
17	Install 60" Pedestrian Bridge	Lump	1	\$350.00	\$350.00	\$8,400.00	\$8,400.00	\$8,000.00	\$8,000.00	\$19,200.00	\$19,200.00	\$690.00	\$690.00	\$1,330.00	\$1,330.00
18	Concrete Abutments	Cu Yd	24	\$26,250.00	\$630,000.00	\$625.00	\$15,000.00	\$800.00	\$19,200.00	\$690.00	\$16,560.00	\$733.33	\$18,999.84	\$750.00	\$18,000.00
19	Concrete Abutments	Cu Yd	24	\$26,250.00	\$630,000.00	\$625.00	\$15,000.00	\$800.00	\$19,200.00	\$690.00	\$16,560.00	\$733.33	\$18,999.84	\$750.00	\$18,000.00
20	Barndwalk	Ln Ft	75	\$1,500.00	\$112,500.00	\$1,200.00	\$90,000.00	\$1,000.00	\$75,000.00	\$1,100.00	\$82,500.00	\$429.00	\$31,672.50	\$1,270.00	\$95,250.00
21	6" Micropile	Each	14	\$100.00	\$1,400.00	\$150.00	\$2,100.00	\$250.00	\$3,500.00	\$162.00	\$2,268.00	\$40.00	\$1,600.00	\$385.00	\$5,390.00
22	Safety Bailing	Ln Ft	50	\$100.00	\$5,000.00	\$150.00	\$7,500.00	\$250.00	\$12,500.00	\$162.00	\$8,100.00	\$40.00	\$2,000.00	\$130.00	\$6,500.00
23	Willow Cluster Pole Plantings	Each	72	\$170.00	\$12,240.00	\$80.00	\$5,760.00	\$400.00	\$28,800.00	\$95.00	\$6,840.00	\$40.00	\$2,880.00	\$113.20	\$8,157.60
24	Construction Limits Fence	Ln Ft	360	\$2.50	\$900.00	\$5.00	\$1,800.00	\$3.00	\$1,080.00	\$3.00	\$1,080.00	\$6.95	\$2,492.00	\$2.00	\$720.00
				Bid Schedule A Total		\$140,076.50		\$309,384.39		\$721,237.25		\$236,692.71		\$286,445.60	

BID SCHEDULE B Sand Hollow Wash Trail Extension

No.	Item	Unit	Estimated Quantity	Engineer's Estimate		Fuller Enterprises		JP Excavating		Sunroc		B. Hansen		Inletstate	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	Mobilization	Lump	1	\$2,000.00	\$2,000.00	\$4,000.00	\$4,000.00	\$3,000.00	\$3,000.00	\$3,200.00	\$3,200.00	\$5,580.00	\$5,580.00	\$6,660.00	\$6,660.00
2	Traffic Control & Site Access	Lump	1	\$2,000.00	\$2,000.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$800.00	\$800.00	\$6,250.00	\$6,250.00	\$2,100.00	\$2,100.00
3	Clear and Grub	Sq Yd	3,300	\$0.60	\$1,980.00	\$1.50	\$4,950.00	\$1.00	\$3,300.00	\$1.00	\$3,300.00	\$0.99	\$3,267.00	\$1.10	\$3,630.00
4	2.5" Asphalt	Sq Ft	8,846	\$1.75	\$15,480.50	\$1.75	\$15,480.50	\$1.60	\$14,153.60	\$1.60	\$14,153.60	\$1.75	\$15,480.50	\$1.55	\$13,711.30
5	Type II Roadbase - 6" Depth	Sq Ft	14,167	\$0.80	\$11,333.60	\$0.75	\$10,625.25	\$0.69	\$9,775.23	\$0.70	\$9,916.90	\$0.72	\$10,200.24	\$1.10	\$15,583.70
6	Earthwork	Cu Yd	782	\$4.00	\$3,128.00	\$4.60	\$3,597.20	\$5.00	\$3,910.00	\$3.90	\$3,069.75	\$3.15	\$2,462.45	\$6.95	\$5,408.35
7	Install Bollard (Furnished by Owner)	Each	2	\$350.00	\$700.00	\$300.00	\$600.00	\$300.00	\$600.00	\$513.00	\$1,026.00	\$500.00	\$1,000.00	\$500.00	\$1,000.00
8	Demolish and Remove Ex. Asphalt	Sq Ft	377	\$4.00	\$1,508.00	\$0.50	\$188.50	\$1.00	\$377.00	\$0.60	\$226.20	\$2.25	\$848.25	\$1.00	\$377.00
9	Install Trail Signage (Furnished by Owner)	Each	4	\$200.00	\$800.00	\$100.00	\$400.00	\$65.00	\$260.00	\$178.00	\$712.00	\$300.00	\$1,200.00	\$140.00	\$560.00
10	Trail Striping	Ln Ft	866	\$0.60	\$519.60	\$0.50	\$433.00	\$1.00	\$866.00	\$1.00	\$866.00	\$1.15	\$995.90	\$1.00	\$866.00
11	18" Poly Stormdrain w/ Erosion Protection	Ln Ft	55	\$22.00	\$1,210.00	\$20.00	\$1,100.00	\$20.00	\$1,100.00	\$31.00	\$1,705.00	\$45.00	\$2,475.00	\$33.30	\$1,827.15
12	12" PVC Stormdrain w/ Erosion Protection	Ln Ft	23	\$19.00	\$437.00	\$15.00	\$345.00	\$28.00	\$644.00	\$45.50	\$1,046.50	\$40.00	\$920.00	\$29.65	\$681.95
13	30" Boulders	Each	9	\$20.00	\$180.00	\$25.00	\$225.00	\$30.00	\$270.00	\$52.00	\$468.00	\$23.50	\$211.50	\$75.30	\$677.70
14	30" Boulders	Cu Yd	10	\$30.00	\$300.00	\$24.00	\$240.00	\$30.00	\$90.00	\$52.00	\$132.50	\$13.25	\$132.50	\$118.00	\$1,180.00
15	Rock Riprap - d50 = 6"	Ln Ft	210	\$50.00	\$10,500.00	\$15.00	\$3,150.00	\$23.00	\$4,830.00	\$26.00	\$5,460.00	\$4.80	\$1,008.00	\$24.00	\$5,040.00
16	Remove and Replace 6" Chain Link Fence	Ln Ft	204	\$15.00	\$3,060.00	\$23.00	\$4,692.00	\$13.00	\$2,652.00	\$13.00	\$2,652.00	\$19.00	\$3,876.00	\$22.00	\$4,488.00
17	Replace Sod & Irrigation	Sq Ft	400	\$3.00	\$1,200.00	\$3.00	\$1,200.00	\$3.00	\$1,200.00	\$3.00	\$1,200.00	\$2.50	\$1,000.00	\$3.30	\$1,320.00
				Bid Schedule B Total		\$52,081.70		\$49,817.83		\$57,388.00		\$62,895.79		\$71,796.35	

TOTAL BID SCHEDULES A & B

\$192,158.20 **\$259,002.12** **\$278,625.25** **\$299,488.50** **\$386,241.95**

DRAFTAgenda Item Number : **2B****Request For Council Action**

Date Submitted 2014-08-12 14:18:43

Applicant Courtney Stephens

Quick Title State Contract Award

Subject State Contract # MA1460 Warner Truck/Freightliner of Utah

Discussion This request is for the purchase of a new 2014 Freightliner 114SD Chassis Cab (10 wheel Dump) with DD113 Engine off the State Contract for the Water Dept.

Cost \$109974.00

City Manager Recommendation Approved as part of the current budget. Recommend approval.

Action Taken

Requested by Connie Hood

File Attachments

Approved by Legal Department?

Approved in Budget? **Amount:**

Additional Comments \$ 155,000 approved in the budget for this item plus the bed which has not been purchased yet.

Prepared for:
 Courtney Stevens
 State of Utah 2014
 4501 S 2700 W
 Salt Lake City, UT 84104
 Phone: 435-627-4040

Prepared by:
 Jeb Berg
 FREIGHTLINER OF UTAH
 2240 SOUTH 5370 WEST
 SALT LAKE CITY, UT 84120
 Phone: 801 978 8068

Q U O T A T I O N

State of Utah Contract Number MA1460

114SD CONVENTIONAL CHASSIS

SET FORWARD AXLE - TRUCK DETROIT DD13 12.8L 470 HP @ 1800 RPM, 2080 GOV RPM, 1650 LB/FT @ 1100 RPM ALLISON 4500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION MT-40-14X 40,000# R-SERIES TANDEM REAR AXLE TUFTRAC 40,000# 2-STAGE REAR SPRING SUSPENSION	DETROIT DA-F-20.0-5 20,000# FL1 71.0 KPI/3.74 DROP SINGLE FRONT AXLE 20,000# TAPERLEAF FRONT SUSPENSION 114 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB 5900MM (232 INCH) WHEELBASE 1/2X3.64X11-7/8 INCH STEEL FRAME (12.7MMX301.6MM/0.5X11.88 INCH) 120KSI 1525MM (60 INCH) REAR FRAME OVERHANG
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		PER UNIT		TOTAL
VEHICLE PRICE	TOTAL # OF UNITS (1)	\$	109,793 \$	109,793
EXTENDED WARRANTY		\$	0 \$	0
DEALER INSTALLED OPTIONS		\$	490 \$	490
CUSTOMER PRICE BEFORE TAX		\$	110,283 \$	110,283

TAXES AND FEES

FEDERAL EXCISE TAX (FET)	\$	(309.0)	\$	(309.0)
TAXES AND FEES	\$	0	\$	0
OTHER CHARGES	\$	0	\$	0

TRADE-IN

TRADE-IN ALLOWANCE	\$	(0)	\$	(0)
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BALANCE DUE		(LOCAL CURRENCY) \$	109,974 \$	109,974
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COMMENTS: Projected delivery on ___/___/___ provided the order is received before ___/___/___.
 APPROVAL: Please indicate your acceptance of this quotation by signing below: Customer:
 X _____ Date: ___/___/___.

Daimler Truck Financial

Financing that works for you.

See your local dealer for a competitive quote from Daimler Truck Financial, or contact us at Information@dtfoffers.com.

Daimler Truck Financial offers a variety of finance, lease and insurance solutions to fit your business needs. For more information about our products and services, visit our website at www.daimler-truckfinancial.com.



Prepared for:
Courtney Stevens
State of Utah 2014
4501 S 2700 W
Salt Lake City, UT 84104
Phone: 435-627-4040

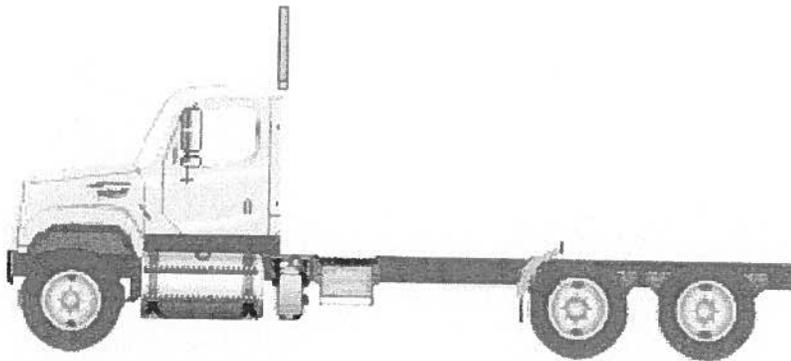
Prepared by:
Jeb Berg
FREIGHTLINER OF UTAH
2240 SOUTH 5370 WEST
SALT LAKE CITY, UT 84120
Phone: 801 978 8068

A proposal for
State of Utah 2014

Prepared by
FREIGHTLINER OF UTAH
Jeb Berg

Aug 07, 2014

**Freightliner 114SD
DD13 Allison 4500SD Chelsea Factory Installed PTO
Steel Wheels**



Components shown may not reflect all spec'd options and are not to scale

Application Version 8.6.123
Data Version PRL-08D.001
114SD Dump Truck Cab and Chassis



08/07/2014 11:02 AM

Page 1 of 17



Revision: 2

Purchasing Agent: Linda Crawford
(801) 538-3150 lindacrawford@utah.gov

Item: DETROIT DIESEL ENGINE AND ALLISON TRANSMISSION PARTS AND SERVICES

Vendor: 91491CD
Freightliner of Utah DbA Warner Truck Center
2240 South 5370 West
West Valley City, UT 84020

Remit to: See above

Internet Homepage: www.warnertc.com

Contact: Kirk Barfuss
Telephone: (801) 978-7901
Fax number: (801) 428-6565
Email: kbarfuss@warnertc.com

Reporting Type: Line Item

Brand/trade name: Detroit Diesel Corporation and Allison Transmissions

Price: See attached price list
Terms: Net 30 days
Effective dates: 07/12/2012 through 07/11/2017
Renewal options remaining: Three 1-yr renewals
Days required for delivery: 10 days
Price guarantee period: All rates, fees, charges, and discounts off parts lists are firm for one year.

Allison transmission parts prices are firm until Allison issues a new OE parts list which is expected to be in January of each year unless Allison changes current timing.

Detroit Diesel issues new parts lists throughout the year. Pricing for segments of their product line may change at different times of the year. Price changes for product-line segments are firm for one year after each change.

Minimum order: One Unit
Other conditions: Contract potentially renewable until 7/11/2017

Revision #2: Contract has been extended through 07/11/17.

Bid No. JV12065

This contract covers only those items listed in the price schedule. It is the responsibility of the agency to ensure that other items purchased are invoiced separately. State agencies will place orders directly with the vendor creating a PRC in Finet. Agencies will return to the vendor any invoice which reflects incorrect pricing.



**CITY OF ST. GEORGE
CAPITAL OUTLAYS
BUDGET 2014-15**

DEPARTMENT	ITEM	Amount Approved
Water Services	Source of Supply Improvements	
	Maintenance - Gunlock Well # 2	50,000
	Ledges Well - Relocate Chlorinator	30,000
	Ledges Well - Stainless Pump & Motor	60,000
	Irrigation - Improvements	
	New Meter pits	20,000
	Mall Drive Bridge	75,000
	Little Valley Pumps	8,000
	Sandberg Pump Station	8,000
	Bloomington Hills Irrigation Pumps	12,000
	Entrada Pump Station	15,000
	Sunbrook Pump Station	8,000
	Dixie River Crossing	30,000
	Replace Computers	1,500
	Bloomington Hills Pump Station	5,000
	SCADA Upgrades & Maint.	10,000
	Transmission & Distribution - Equipment	
	1) Replacement Trucks (2)	95,000
	2) Steel Tank for Water Truck	40,000
	Purchase Storage Tank Property	60,000
	14' Cargo Trailer	4,000
	Replacement computers	3,200
	Security Camera & Software	5,000
	3) Front End Loader (Annual Lease Option)	10,000
	4) Backhoe	105,000
	5) 10 Wheel Dump Truck	155,000
	Valve Machine for Service Truck	19,000
	Pipe Trailer 6) Double Axel Trailer	11,000
	4 Drive Plates 10'x8'x3/4"	7,000
	SCBA 1 full - 7 cylinders	8,300
	Compactor Wheels	3,200
	Transmission & Distribution - Improvements	
	Waterline Replacement- City Center	250,000
	Waterline Replacement- Dixie Downs	83,000
	Mall Drive Bridge Waterline	490,000
	Bloomington Hills Tank Line	180,000
	Waterline Replacement- 3050 East	70,000
	Cathodic - Pipeline Protection	175,000
	Regional Pipeline Payment	850,418
	Ledges Cliffs PRV	25,000
SCADA System	15,000	
Transmission & Dist. - Storage Tanks		
Industrial Tank	1,000,000	
Re-Floor Main Street Tank	40,000	

Dump
109,974
Bed
32,915

142,889

DRAFTAgenda Item Number : **2C****Request For Council Action**

Date Submitted	2014-08-11 12:17:38
Applicant	Jeff Peay - Park Planning Manager
Quick Title	Bid Award - Construction
Subject	Christensen Park Restroom & Pavement Replacement Project
Discussion	The project includes construction of a two family unit restroom, underground utility tie-ins, small detention basin, concrete curb and sidewalk repair and asphalt driveway and parking lot replacement. The city received seven bids for the project; Red Canyon Contractors, Sunroc, B. Hansen, JMI, Precision Development, Progressive Contracting Inc., and JP Excavation. B. Hansen was the low bid at \$131,221.20 and JP Excavation was the next lowest at \$131,991.85. JP Excavation is a local vendor and is within 5% of the low bid. They have confirmed in writing their willingness to do the project for \$131,221.20.
Cost	\$131,221.20
City Manager Recommendation	Recommend approval. This bid is for a larger scope of work at this park. The parking lot improvements, detention, and sidewalk repairs in addition to the restroom are the improvements. The increase in cost will be covered by impact fees.
Action Taken	
Requested by	Jeff Peay - Park Pla
File Attachments	<u>Christensen Park Bid Tab and Plan.pdf</u>

Approved by Legal Department?**Approved in Budget? Amount:**

Additional Comments The original scope of works for the project has changed which in turn has increased the cost of the project which is why there is a difference in the originally approved amount and the recommended bid price. Originally the restroom building was the only item to be included in the project. During the design and site analysis relating to the restroom facility, it was determined that several issues needed to be addressed and upgraded as part of the improvements. The grading in the parking lot needed to be changed, a detention basin provided, and resurfacing of the parking lot be completed in order for the site to drain correctly and provide longevity to the park infrastructure. These additional items have increased the overall cost of the project and were included in the bid. The difference between what was originally approved in the

budget and the recommended bid amount is \$23,721.20. We will be requesting additional funds to cover these costs in the next round of budget openings. Funds will be requested from the Park Impact Fund to cover these costs.

Attachments [Christensen Park Bid Tab and Plan.pdf](#)

CHRISTENSEN PARK RESTROOM PAVEMENT REPLACEMENT PROJECT
 BID TABULATION

No.	Item	Unit	Estimated Quantity	RED CANYON CONTRACTING			SUNROC			B. HANSEN			JMI			PRECISION DEVELOPMENT INC.			PCI			JP EXCAVATION		
				Unit Price	Total Price	Unit Price	Unit Price	Total Price	Unit Price	Unit Price	Total Price	Unit Price	Unit Price	Total Price	Unit Price	Unit Price	Total Price	Unit Price	Unit Price	Total Price	Unit Price	Unit Price	Total Price	
1	Mobilization	Lump	1	10,783.20	10,783.20	20,000.00	-	-	-	8,750.00	8,750.00	8,750.00	8,750.00	8,750.00	8,750.00	11,600.00	11,600.00	11,600.00	10,900.00	10,900.00	10,900.00	10,000.00	10,000.00	
2	Erosion Control Measure (BMPs)	Lump	1	2,489.31	2,489.31	2,075.00	2,000.00	2,000.00	2,000.00	1,440.00	1,440.00	1,440.00	1,440.00	1,440.00	1,440.00	3,480.00	3,480.00	3,480.00	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00	
3	Tree Protection	EA	7	83.40	633.80	111.00	200.00	140.00	140.00	114.00	114.00	114.00	114.00	114.00	798.00	798.00	798.00	798.00	100.00	100.00	100.00	700.00	700.00	
4	Purvis Asphalt Paving	SF	8408	0.22	1,849.76	0.12	1,006.98	0.25	2,102.00	0.57	4,792.56	0.87	5,633.36	0.20	1,681.80	0.39	448.97	448.97	4.00	4.00	4.00	2,942.80	2,942.80	
5	Remove concrete sidewalk, curb and gutter	SF	323	3.36	1,065.28	1.50	484.50	1.00	323.00	2.85	920.55	3.51	1,133.73	1.39	448.97	1.39	448.97	4.00	4.00	4.00	2,942.80	2,942.80		
6	Subgrade preparation	SF	8600	0.45	3,870.00	0.43	3,698.00	0.85	8,170.00	1.14	9,804.00	0.23	1,976.00	0.14	1,204.00	0.14	1,204.00	0.40	0.40	0.40	3,440.00	3,440.00		
7	Concrete curb & gutter	SF	46	16.80	772.80	29.70	1,366.20	23.00	1,098.00	24.00	1,104.00	11.70	538.20	19.87	914.02	19.87	914.02	25.00	25.00	25.00	1,150.00	1,150.00		
8	Concrete flatwork	SF	505	5.48	2,767.40	8.40	4,242.00	4.82	2,434.80	5.70	2,878.50	5.85	2,954.25	5.19	2,620.85	5.19	2,620.85	6.00	6.00	6.00	3,030.00	3,030.00		
9	Concrete Waterway	SF	103	9.58	986.84	18.00	1,734.00	9.60	978.00	10.26	1,063.78	10.53	1,084.59	8.86	922.88	8.86	922.88	15.00	15.00	15.00	1,545.00	1,545.00		
10	Pedestrian ramp with Truncated Dome	EA	2	1,061.20	2,122.40	1,321.00	2,642.00	2,200.00	4,400.00	456.00	912.00	877.50	1,755.00	1,051.25	2,102.50	2,102.50	2,102.50	700.00	700.00	700.00	1,400.00	1,400.00		
11	1" Water Service	LF	234	19.81	4,635.54	17.85	4,176.90	9.25	2,184.50	16.19	3,788.46	9.36	2,190.24	10.44	2,442.96	10.44	2,442.96	10.00	10.00	10.00	2,340.00	2,340.00		
12	1" Water Service tie in to 2" mainline	EA	1	996.94	996.94	586.00	586.00	2,125.00	2,125.00	570.00	570.00	702.00	702.00	2,600.58	2,600.58	2,600.58	350.00	350.00	350.00	350.00	350.00			
13	Wilkins RP Backflow Device, model #875XLU with insulated HOTRON enclosure	EA	1	3,356.67	3,356.67	2,965.00	2,965.00	3,250.00	3,250.00	3,078.00	3,078.00	1,755.00	1,755.00	3,779.81	3,779.81	3,779.81	2,900.00	2,900.00	2,900.00	2,900.00	2,900.00			
14	4" Sewer Lateral Service Line	LF	37	57.31	2,120.47	23.50	869.50	13.75	508.75	45.60	1,687.20	28.25	1,052.25	10.44	386.28	386.28	20.00	20.00	20.00	740.00	740.00			
15	4" Sewer Lateral Tie in to 12" Mainline	EA	1	318.18	318.18	770.00	770.00	525.00	525.00	570.00	570.00	409.50	409.50	5,800.00	5,800.00	5,800.00	800.00	800.00	800.00	800.00	800.00			
16	Sewer Clean Out	EA	1	353.29	353.29	602.00	602.00	425.00	425.00	285.00	285.00	585.00	585.00	232.00	232.00	232.00	450.00	450.00	450.00	450.00	450.00			
17	Collar Manhole	EA	1	369.60	369.60	513.00	513.00	750.00	750.00	570.00	570.00	292.50	292.50	886.00	886.00	886.00	500.00	500.00	500.00	500.00	500.00			
18	10 KVA Transformer	EA	1	6,479.09	6,479.09	6,122.00	6,122.00	5,315.00	5,315.00	5,130.00	5,130.00	4,169.88	4,169.88	6,100.44	6,100.44	6,100.44	5,800.00	5,800.00	5,800.00	5,800.00	5,800.00			
19	2" Power conduit from power meter	LF	170	11.52	1,958.40	10.85	1,844.50	8.38	1,594.80	11.40	1,938.80	5.67	963.90	10.85	1,844.50	1,844.50	11.00	11.00	11.00	1,270.00	1,270.00			
20	1" Power conduit from power meter	LF	170	1.08	183.60	1.00	170.00	0.88	149.60	7.86	1,356.60	4.96	775.20	1.02	173.40	173.40	1.00	1.00	1.00	170.00	170.00			
21	1" Power conduit from pavilion	LF	171	6.80	1,159.20	6.50	1,115.50	5.55	948.05	10.72	1,833.12	4.48	768.06	6.40	1,094.40	1,094.40	6.20	6.20	6.20	1,060.20	1,060.20			
22	Untreated base course, 6" thick Type II	SF	8155	1.08	8,807.40	0.80	4,925.00	0.90	7,339.50	1.01	8,238.55	0.85	7,747.25	0.78	6,442.45	6,442.45	0.67	0.67	0.67	5,483.85	5,483.85			
23	Asphalt Pavement, 3" thick	SF	8155	1.98	16,258.45	1.55	12,640.25	1.60	13,048.00	1.65	15,086.75	1.80	15,945.50	1.71	13,945.05	13,945.05	1.60	1.60	1.60	13,048.00	13,048.00			
24	Pavement Marking Line	LS	1	482.00	482.00	523.00	523.00	500.00	500.00	989.00	989.00	468.00	468.00	232.00	232.00	232.00	1,600.00	1,600.00	1,600.00	1,600.00	1,600.00			
25	Installation of owner provided wheelstops	EA	11	84.00	924.00	94.00	1,034.00	100.00	1,100.00	102.60	1,128.60	29.25	321.75	23.20	255.20	255.20	30.00	30.00	30.00	330.00	330.00			
26	Installation of owner provided sign posts and signs	EA	2	168.00	336.00	174.00	174.00	300.00	300.00	188.10	188.10	234.00	234.00	182.40	182.40	182.40	35.00	35.00	35.00	70.00	70.00			
27	Raterton Basin and drainage ditch	LS	1	4,256.00	4,256.00	4,153.00	4,153.00	4,500.00	4,500.00	3,182.00	3,182.00	2,457.00	2,457.00	2,320.00	2,320.00	2,320.00	1,500.00	1,500.00	1,500.00	1,500.00	1,500.00			
28	Restroom Building (complete)	LS	1	75,991.65	75,991.65	86,700.00	86,700.00	63,761.10	63,761.10	69,800.00	69,800.00	88,038.04	88,038.04	74,469.68	74,469.68	74,469.68	86,500.00	86,500.00	86,500.00	86,500.00	86,500.00			
				156,302.41	156,302.41	166,883.31	166,883.31	131,221.20	131,221.20	181,751.87	181,751.87	153,715.47	153,715.47	149,088.87	149,088.87	149,088.87	131,991.85	131,991.85	131,991.85	131,991.85	131,991.85			

0.05
6.561.06

local vendor preference

DRAFTAgenda Item Number : **6A****Request For Council Action**

Date Submitted 2014-08-13 16:53:31

Applicant Jessica Blevins

Quick Title Steps for Hope

Subject Consideration of a request to waive the Town Square use fee.

Discussion The Steps for Hope walk will be held at Town Square from 5:30 pm to 7:30 pm on October 9, 2014. This event is free to the public and all ages are welcome as participants will walk the block surrounding Town Square in a celebration of life for the Steps of Hope event.

Cost \$0.00

City Manager Recommendation Appears to be a good use of the Square. Recommend approval.

Action Taken

Requested by Bill Swensen

File Attachments [Steps for Hope CC .pdf](#)

Approved by Legal Department?

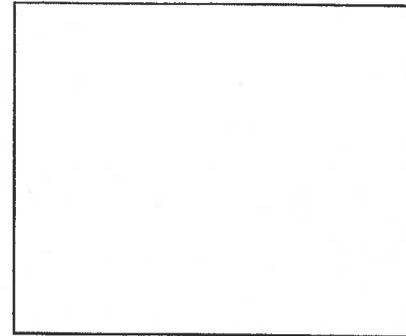
Approved in Budget? Amount:

Additional Comments

Attachments [Steps for Hope CC .pdf](#)

FOR OFFICE USE ONLY

Insurance Received:	Date Received:
Application Fee Paid	Date Paid:



**SPECIAL EVENT
PERMIT APPLICATION
CITY OF ST. GEORGE**

City of St. George Special Events
175 E. 200 North
St. George, UT 84770

Phone: (435) 627-4128
Fax: (435) 627-4430
events@sgcity.org

EVENT NAME: Steps for Hope

Applicant's Name: Jessica Blevins

Organization: Hope Pregnancy Care Center

Mailing Address: 391 E 500 S

City, State, Zip: St George UT 84790

Day Phone: 435 656 5331 Cell/other: 435 256 7536

E-mail: jessica@hopepregnancyutah.org

Event Web Address (if applicable):

Alternate contact name: Jennie Hmielewski Day Phone: 435 656 5331

Cell/other: E-mail: jennie@hopepregnancyutah.org

EVENT DETAILS

LOCATION Town Square

Location Details/Address: Town Square - 50 S main St.

Event	Date(s): <u>10/9/14</u>	Start time: <u>5:30pm</u>	End time: <u>7:30pm</u>
Set-up	Date(s): <u>10/9/14</u>	Start time: <u>3:00pm</u>	End time: <u>5:00pm</u>
Clean-up	Date(s): <u>10/9/14</u>	Start time: <u>7:30pm</u>	End time: <u>8:00pm</u>

Is this a recurring event? yes If yes, daily, weekly or other?

Is this a Annual Event? yes If yes, Same date and Place? 2nd Thurs. in Oct. - Town Square

TYPE OF ACTIVITY check all that apply:

<input type="checkbox"/> Cycling	<input type="checkbox"/> 5K	<input type="checkbox"/> Training Event	<input type="checkbox"/> Festival
<input type="checkbox"/> Film Production	<input type="checkbox"/> Parade	<input type="checkbox"/> Sporting	<input type="checkbox"/> 10K
<input type="checkbox"/> Block Party	<input type="checkbox"/> Religious	<input type="checkbox"/> Outdoors Sales	<input type="checkbox"/> Fun run
<input type="checkbox"/> Dance	<input type="checkbox"/> 1/2 Marathon	<input checked="" type="checkbox"/> Other: <u>fun walk/fundraiser</u>	

PARTICIPANTS

Number of participants expected: 250-300 Number of volunteers/event staff: 30

Open to the Public Private Group/Party

If event is open to the public, is it: Entrance Fee/Ticketed Event? Fee for Participants/Racers/Runners Only

SPECIAL EVENT PERMIT APPLICATION

EVENT _____

VENDORS/FOOD/ALCOHOL check all that apply

Vendors/merchants Quantity:
Vendors giving away products/services
Vendors selling products/food
Food given away, catered by restaurants/vendors, prepared on site
Alcoholic Beverages, beer stands, fenced in beer garden, liquor sales

TENTS/STAGES/STRUCTURES (include details on site map)

Tents/Pop-up Canopies Amount: 2 Dimensions: 12x12
Temporary Stage Dimensions:
Description of Tents/Canopies/Stage, etc.: Regular - white w/ poles

SITE SETUP/SOUND check all that apply (please include details on site map)

Fencing/Scaffolding
Barricades
Portable Sanitary Units
Music if yes, check all that apply Acoustic Amplified
PA/Audio system Type/Description: Small, portable
Fireworks / Fire Performances / Open Flame
Propane/Gas on site
Trash/Recycle bin coordination on site

ROAD & SIDEWALK USE (ENCROACHMENT PERMITS) You may begin to coordinate in advance with these contacts

Road Use Location:
Sidewalk Use Location: Tabernacle, Main, 200 W 100 S Will stay on sidewalks and follow pedestrian laws
Parade # of Floats:

SECURITY/OTHER

You may begin to coordinate in advance with these contacts:

Private Security/Officers Company name: # of Personnel: 4
Animals Quantity: What kind:
Motion Pictures/Videos Other:

My signature verifies that I have completed this application to the best of my knowledge and I am aware that I am responsible for paying for City services beyond "basic City services" (if applicable to my event).

Jessica Blevins
Print Applicant's Name

Jessica Blevins
Applicant's Signature

5/27/14
Date

Please do NOT include my event on the City Event Calendar Website

SPECIAL EVENT PERMIT APPLICATION



Description of Steps for Hope 2014

Vision: This year's event will be a celebration of life. Supporters are invited to join us in a walk around Town Square, share a BBQ and just have some fun celebrating the changed lives of our clients.

Where: Town Square

When: Thursday October 9, from 5:30-7:30pm

Route: We will walk the block surrounding Town Square- starting at the North side Tabernacle parking lot and heading west to 200 west, south to 100 south, east to Main Street, north to Tabernacle, then west on Tabernacle back to the start.

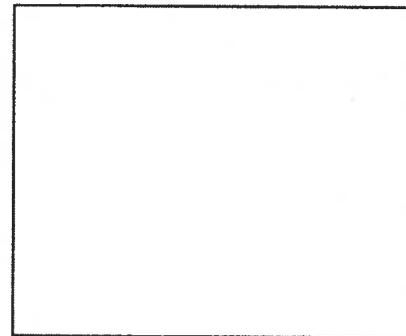
Fundraising: Participants are invited to come free of charge. All ages are welcome to attend. Participants are encouraged to make a donation or fill a baby bottle with change and bring it to the event. All donors will receive a t-shirt. All participants will receive a BBQ dinner after the walk. There will be no formal registration process. All Hope supporters (contact list of over 450) will be notified of the event in September and information will be made available through churches and other nonprofits in the community. Baby bottles will be available for pick up at Hope and the Hope Chest.

DRAFTAgenda Item Number : **6B****Request For Council Action**

Date Submitted	2014-08-13 16:06:09
Applicant	Gregg McArthur
Quick Title	Spookytown Fair
Subject	Consideration of a request to waive the Special Event permit fee. Consideration of a request to waive the Town Square use fee.
Discussion	The Spookytown Fair will be held at Town Square from 10 am to 6 pm on October 24-25, 2014. This community festival is free and open to the public. Partnering with the Washington County school District Foundation, this fall/Halloween event showcases everything Dixie and southern Utah has to offer
Cost	\$0.00
City Manager Recommendation	With our partners the Chamber and Washington County School District this seems to be a great event for the public and a good use of the Square.
Action Taken	
Requested by	Bill swensen
File Attachments	<u>Spookytown Fair CC .pdf</u>
Approved by Legal Department?	
Approved in Budget?	Amount:
Additional Comments	
Attachments	<u>Spookytown Fair CC .pdf</u>

FOR OFFICE USE ONLY

Insurance Received:	Date Received:
Application Fee Paid	Date Paid:



**SPECIAL EVENT
PERMIT APPLICATION
CITY OF ST. GEORGE**

City of St. George Special Events
175 E. 200 North
St. George, UT 84770

Phone: (435) 627-4128
Fax: (435) 627-4430
bill.swensen@sgcity.org

EVENT NAME: Spookytown Fair

Applicant's Name: Gregg McArthur

Organization: St. George Area Chamber of Commerce

Mailing Address: 97 East St. George Blvd.

City, State, Zip: St. George, UT 84770

Day Phone: 435-628-1650

Cell/other: 801-520-5566

E-mail: gregg@stgeorgechamber.com

Event Web Address (if applicable): spookytownfair.com

Alternate contact name: Susi Lafaele

Day Phone: 435-628-1650

Cell/other: 435-668-1352

E-mail: susi@stgeorgechamber.com

EVENT DETAILS

LOCATION Town Square

Location Details/Address: 50 S. Main Street in St. George

Event	Date(s): October 24-25, 2014	Start time: 10am	End time: 6pm
Set-up	Date(s): October 23, 2013	Start time: 1pm	End time: 10pm
Clean-up	Date(s): October 25, 2013	Start time: 6pm	End time: 11pm

Is this a recurring event? No

If yes; daily, weekly or other?

Is this a Annual Event? Yes

If yes; Same date and Place? Same date and location

TYPE OF ACTIVITY *check all that apply:*

<input type="checkbox"/> Cycling	<input type="checkbox"/> 5K	<input type="checkbox"/> Training Event	<input checked="" type="checkbox"/> Festival
<input type="checkbox"/> Film Production	<input type="checkbox"/> Parade	<input type="checkbox"/> Sporting	<input type="checkbox"/> 10K
<input type="checkbox"/> Block Party	<input type="checkbox"/> Religious	<input type="checkbox"/> Outdoors Sales	<input type="checkbox"/> Fun run
<input type="checkbox"/> Dance	<input type="checkbox"/> 1/2 Marathon	<input type="checkbox"/> Other:	

PARTICIPANTS

Number of participants expected: 5000

Number of volunteers/event staff: 25

Open to the Public

Private Group/Party

If event is open to the public, is it: Entrance Fee/Ticketed Event?

Fee for Participants/Racers/Runners Only

SPECIAL EVENT PERMIT APPLICATION

EVENT _____

VENDORS/FOOD/ALCOHOL check all that apply

Vendors/merchants Quantity: 100
Vendors giving away products/services
Vendors selling products/food
Food
given away
catered by restaurants/vendors
prepared on site
Alcoholic Beverages
beer stands
fenced in beer garden
liquor sales
SW Utah Health Dept., (435) 986-2580
Utah DABC, (801) 977-6800
Bus. Licensing, (435) 627-4740

TENTS/STAGES/STRUCTURES (include details on site map)

Tents/Pop-up Canopies Amount: 100 Dimensions: 10'x10' SG Fire Dept. (435) 627- 4150
Temporary Stage Dimensions: 20'x30'
Description of Tents/Canopies/Stage, etc.: Pop up canopies/tents for vendors, stage provided by Forevermore Events

SITE SETUP/SOUND check all that apply (please include details on site map)

Fencing/Scaffolding
Barricades (must obtain privately)
Portable Sanitary Units (must obtain privately)
Music if yes, check all that apply Acoustic Amplified
PA/Audio system Type/Description:
Fireworks / Fire Performances / Open Flame SG Fire Dept. (435) 627- 4150
Propane/Gas on site SG Fire Dept. (435) 627- 4150
Trash/Recycle bin coordination on site WCSW, (435) 673-2813

ROAD & SIDEWALK USE (ENCROACHMENT PERMITS) You may begin to coordinate in advance with these contacts

Road Use Location: SG City Public Works Dept., (435) 627-4050
Sidewalk Use Location: Will stay on sidewalks and follow pedestrian laws
Parade # of Floats:

SECURITY/OTHER

You may begin to coordinate in advance with these contacts:

Private Security/Officers Company name: # of Personnel:
Animals Quantity: What kind:
Drawing or Raffle SG City Legal Dept. Diana Hamblin, (435) 627-4606
Motion Pictures/Videos Other:

My signature verifies that I have completed this application to the best of my knowledge and I am aware that I am responsible for paying for City services beyond "basic City services" (if applicable to my event).

GRUOG McARTHUR Applicant's Signature Date 3/11/14

Please do NOT include my event on the City Event Calendar Website

EVENT DESCRIPTION

PLEASE DESCRIBE YOUR EVENT IN DETAIL ADD ANY ADDITIONAL INFORMATION OR PAGES

- *Please be sure to include any elements of your event that will help our review committee.*

In a new format and new partnership, the St. George Chamber of Commerce is planning to host Spookytown Fair at St. George Town Square, from 10 am to 6 pm on October 24-25, 2014. This community festival is free and open to the public. Partnering with the Washington County School District Foundation, this fall/Halloween event showcases everything Dixie and southern Utah has to offer, from local artists to small and large businesses alike and live entertainment and a children's play area. Fair attendees are encouraged to arrive in their Halloween costumes.



DRAFTAgenda Item Number : **6C****Request For Council Action****Date Submitted** 2014-08-14 16:54:17**Applicant** Dave Peterson**Quick Title** Sell of City Property**Subject** Consider a request to from the applicant to purchase City property located on the easterly portion of Lot 42 of Primrose Pointe Subdivision Phase 4. This area consists of 11,326 square feet.**Discussion** The way this lot was built verses the way it was designed they are different things. The building pad was built out beyond the Lot limits and the pad now encroaches onto City Property. This area is located in the Middleton Wash area and is outside the 100 Year Flood Plain. This area can only be used or claimed by Lot 42, it is useless to anyone else.**Cost** \$0.00**City Manager Recommendation** The original developer built the lot onto City property adjacent to the City trail. The excess property can only be used by lot 42 and does not appear to be needed for any City use. Without this property the lot 42 is very limited in getting a dwelling on it.**Action Taken****Requested by** Todd Jacobsen**File Attachments** [Purchase request \(Primrose\).pdf](#)**Approved by Legal Department?****Approved in Budget? Amount:****Additional Comments****Attachments** [Purchase request \(Primrose\).pdf](#)





BUSH & GUDGEELL, INC.
Engineers - Planners - Surveyors
200 East Lakeview Circle #4
St. George, Utah, 84778
Phone (435) 675-3337 / Fax (435) 675-3351

EXHIBIT A
PROPOSED LOT 42 EXTENDED AREA

DRAFTAgenda Item Number : **6D****Request For Council Action**

Date Submitted 2014-08-04 10:31:28**Applicant** PC**Quick Title** PC Report from August 12, 2014**Subject** Consider the report from the Planning Commission meeting held August 12, 2014.**Discussion** The action items for the City Council will be to set a public hearing date for a rezone request, consider 8-9 final plats, 2 preliminary plats, and 4 CUP requests which are listed separately on the agenda. (note that 2 of the CUP requests are for cell tower requests by Verizon).**Cost** \$0.00**City Manager Recommendation** Lots of plats and a couple of CUP's.**Action Taken****Requested by** Bob Nicholson**File Attachments****Approved by Legal Department?****Approved in Budget? Amount:****Additional Comments**

**CITY OF ST. GEORGE
WASHINGTON COUNTY, UTAH**

PLANNING COMMISSION REPORT: AUGUST 12, 2014
CITY COUNCIL MEETING: AUGUST 21, 2014

1. **PUBLIC HEARING TO BE ADVERTISED FOR SEPTEMBER 4, 2014**

Consider a zone change from A-1 (Agricultural 40,000 sq. ft. minimum lot size) and RE-12.5 (Residential Estate 12,500 sq. ft. minimum lot size) to RE-20 (Residential Estate 20,000 sq. ft. minimum lot size) on 46.67 acres. The property is located between 2580 East and 2790 South and the River Hollow Subdivision. The applicant is **MK Cox Development** and Rosenberg Associates is the representative. Case No. 2014-ZC-010. (Staff – Ray S.)

2. **FINAL PLATS (FP)**

- A. Consider approval of a final plat for “**Cornerstone Phase 1**” an eighteen (18) lot residential subdivision. The representative is Mr. Roger Bundy, R & B Surveying. The property is zoned R-1-10 (Single Family Residential 10,000 sq. ft. minimum lot size) and is located at the southwest corner of the intersection at Seegmiller Drive and 3000 East Street. Case No. 2014-FP-045. (Staff – Todd J.).
- B. Consider approval of a final plat for “**Meadow Valley Farms Phase 4**” a sixteen (16) lot residential subdivision. The representative is Brad Petersen, Development Solutions. The property is zoned RE-20 (Residential Estates 20,000 sq. ft. minimum lot size) and is located at 3910 South Street and 2420 East Street (Little Valley area). Case No. 2014-FP-041. (Staff – Todd J.).
- C. Consider approval of a final plat for “**Riverside Cliffs Phase 2**” a twenty-two (22) lot residential subdivision. The representative is Mr. Rob Reid, Rosenberg Associates. The property is zoned R-1-8 (Single Family Residential 8,000 sq. ft. minimum lot size) and is located at approximately 1220 South (between the Virgin River and Riverside Drive). Case No. 2014-FP-046. (Staff – Todd J.).
- D. Consider approval of a final plat for “**Sage Meadows Phase 3**” an eighteen (18) lot residential subdivision. The representative is Mr. Scott Woolsey, Alpha Engineering. The property is zoned R-1-10 (Single Family Residential 10,000 sq. ft. minimum lot size) and is located at 2940 East and approximately 1880 South (north of Crimson View Elementary School). Case No. 2014-FP-040. (Staff – Todd J.).
- E. Consider approval of a final plat for “**The Garages at Sun River Storage Phase 1**” a sixteen (16) unit subdivision final plat. The representative is Mr. Brandon Anderson, Rosenberg Associates. The property is zoned PD-C & PD-R (Planned Development Commercial and Residential) and is located west of Fire Station 8, which is on Bluegrass Way at approximately 1150 West (Sun River Development). Case No. 2014-FP-026. (Staff – Todd J.).

- F. Consider approval of a final plat for “**Sun River St George Phase 44**” a twenty-three (23) unit residential subdivision final plat. The representative is Mr. Brandon Anderson, Rosenberg Associates. The property is zoned PD-R (Planned Development Residential) and is located east of Perl Vista Drive and south of Angel Arch Drive at approximately 1400 West and 5000 South (in the Sun River Development). Case No. 2014-FP-032. (Staff Todd J.).
- G. Consider approval of a final plat for “**Sun River St George Phase 45**” a twenty-four (24) unit residential subdivision final plat. The representative is Mr. Brandon Anderson, Rosenberg Associates. The property is zoned PD-R (Planned Development Residential) and is located east of Perl Vista Drive and south of Angel Arch Drive at approximately 1400 West and 5100 South (in the Sun River Development). Case No. 2014-FP-033. (Staff Todd J.).
- H. Consider approval of a final plat for “**Jiffy Lube at River Road**” a one (1) lot commercial subdivision final plat. The representative is Mr. Brandon Anderson, Rosenberg Associates. The property is zoned PD-C (Planned Development Commercial) and is located at 1393 South River Road. Case No. 2014-FP-036. (Staff Todd J.).
- I. Consider approval of a final plat for “**Las Colinas Phase 4**” a seven (7) lot residential subdivision final plat. The representative is Mr. Brad Petersen, Development Solutions. The property is zoned PD-R (Planned Development Residential) and is located at Las Colinas Drive and 890 West Circle. Case No. 2014-FP-049. (Staff Todd J.).

3. **PRELIMINARY PLATS (PP)**

- A. Consider approval of a preliminary plat for “**Desert Crest**” a sixteen (16) lot residential subdivision. The applicant is Quality Development LLC and Mr. Ken Miller is the representative. The property is on 4.625 acres and is zoned PD-R (Planned Development Residential) and is located south of the Southern Parkway along South Desert Canyons Parkway. Case No. 2014-PP-032 (Staff Wes J.)
- B. Consider approval of a preliminary plat for “**Desert Rim**” a twenty-nine (29) lot residential subdivision. The applicant is Quality Development LLC and Mr. Ken Miller is the representative. The property is on 11.87 acres and is zoned PD-R (Planned Development Residential) and is located south of the Southern Parkway off of Desert Canyons Parkway. Case No. 2014-PP-033 (Staff Wes J.)

4. CONDITIONAL USE PERMITS (CUP)

- A. Consider a request for a Conditional Use Permit to use a **Landmark Site** (The Julia Graff Home) for a vacation rental. The property is located at 252 N Main Street and is zoned RCC (Residential Central City). The applicants are Mr. and Mrs. David Walker. Case No. 2014-CUP-015 (Staff – Ray S). *Note: Reference recent landmark designation approval by CC on 7/17/14.*
- B. Consider a request for a Conditional Use Permit to construct a **detached accessory structure** with a maximum ridge height of approximately eighteen feet two inches (18'-2") for a proposed RV / horse trailer / tractor storage building. The structure will be metal and have 1,050 sq. ft. (30 ft. x 35 ft.) The property is located at 3030 Sugar Leo in the Bloomington Ranches area and is zoned RE-37.5. The applicants are Mr. and Mrs. Danny Holt. Case No. 2014-CUP-016 (Staff – Ray S.)
- C. Consider a request for a Conditional Use Permit from 'Verizon Wireless' for permission to construct one (1) one hundred foot (100') high co-locatable wireless tower (mono pole cell tower), to construct a block wall enclosure, and to install related multiple equipment enclosures as a conditional use under Section 10-22-5 of the Zoning Ordinance. The property is zoned M-1 (Industrial), is generally located in the original industrial park on Red Hills Parkway east of Industrial Road (APN SG-IND-P-18-B), and the project is referred to as "**Verizon – UT4 Motor Home.**" Case No. 2014-CUP-011 (Staff – Ray S.).
- D. Consider a request for a Conditional Use Permit from 'Verizon Wireless' for permission to construct one (1) one hundred foot (100') high co-locatable wireless tower (mono pole cell tower), to construct a block wall enclosure, and to install related multiple equipment enclosures as a conditional use under Section 10-22-5 of the Zoning Ordinance. The property is zoned C-3 (General Commercial), is generally located at approximately 2014 E +/- Riverside Drive (next to Towne Storage) (APN SG-5-2-28-2306), and the project is referred to as "**Verizon – UT4 Airplane.**" Case No. 2014-CUP-017 (Staff – Ray S.)

PCR ITEM 2A

Final Plat

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

FINAL PLAT

Cornerstone Phase 1

Case No. 2014-FP-045

Request: Approval of a 18 Lot Residential Subdivision Final Plat

Representative: Roger Bundy, R&B Surveying
257 Prickley Pear Drive
Washington, UT 84780

Property: Located at the southwest corner of the intersection at Seegmiller Drive and 3000 East St.

Zone: R-1-10

Staff Comments: All aspects of this Final Plat were carefully looked at and reviewed by the Community Development Department staff, (which includes New Development Division staff and Planning & Zoning staff) and Legal Department staff and it meets all of the preliminary plat conditions and approvals.

P.C.: The Planning Commission recommends approval.

SURVEYOR'S CERTIFICATE

CORNERSTONE PHASE 1



LEGAL DESCRIPTION

THE FOLLOWING IS A TRUE AND CORRECT COPY OF THE ORIGINAL RECORD OF THE SURVEY AS FILED IN THE PUBLIC RECORDS OF THE COUNTY OF KANE, STATE OF UTAH, ON THIS 15TH DAY OF APRIL, 2010, AT 10:00 AM. THE ORIGINAL RECORD IS FILED IN BOOK 100, PAGE 100.

OWNER'S DEDICATION

THE UNDERSIGNED OWNER DOES HEREBY DEDICATE TO THE PUBLIC THE FOLLOWING DESCRIBED TRACT OF LAND HAVING LINED THE SAME TO BE SUBDIVIDED INTO LOTS, PUBLIC STREETS, AND EASEMENTS TO BE HEREINAFTER SHOWN AS:

CORNERSTONE PHASE 1

FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE UNDERSIGNED OWNER DOES HEREBY DEDICATE TO THE PUBLIC THE FOLLOWING DESCRIBED TRACT OF LAND HAVING LINED THE SAME TO BE SUBDIVIDED INTO LOTS, PUBLIC STREETS, AND EASEMENTS TO BE HEREINAFTER SHOWN AS:

GENERAL NOTES AND RESTRICTIONS

THESE NOTES AND RESTRICTIONS APPLY TO ALL LOTS AND ARE TO BE CONSIDERED PART OF THE LEGAL DESCRIPTION OF THE TRACT. THE OWNER DOES NOT WARRANT THE ACCURACY OF THE SURVEY OR THE SUITABILITY OF THE LAND FOR ANY PARTICULAR USE.

LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

ON THIS 15TH DAY OF APRIL, 2010, I, R. W. BUNDY, PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC, AND DECLARED THAT HE IS THE MANAGER OF THE LIMITED LIABILITY COMPANY AND THAT HE HAS READ AND UNDERSTANDS THE CONTENTS OF THE CERTIFICATE OF ORGANIZATION AND THE ARTICLES OF ORGANIZATION OF THE COMPANY AND THAT HE HAS AUTHORIZED AND AGREED TO SIGN THIS CERTIFICATE OF DEDICATION AND TO BE BOUND BY THE TERMS AND CONDITIONS THEREOF.

NOTARY PUBLIC FULL NAME:

NOTARY PUBLIC OFFICE: _____
 NOTARY PUBLIC LICENSE NO.: _____
 MY COMMISSION EXPIRES: _____
 (STAMP NOT REQUIRED IF ABOVE INFORMATION IS PROVIDED PER UTAH CODE, TITLE 4A, CHAPTER 1, SECTION 10)



LEGEND

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- 1/467680606094550985379252101001024" DASHED LINE: 1

PCR ITEM 2B

Final Plat

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

FINAL PLAT

Meadow Valley Farms Phase 4
Case No. 2014-FP-041

Request: Approval of a 16 Lot Residential Subdivision Final Plat

Representative: Brad Petersen, Development Solutions
120 East St. George Blvd, Suite #300
St. George, UT 84770

Property: Located at 3910 South St. and 2420 East St. (Little Valley Area)

Zone: RE-20

Staff Comments: All aspects of this Final Plat were carefully looked at and reviewed by the Community Development Department staff, (which includes New Development Division staff and Planning & Zoning staff) and Legal Department staff and it meets all of the preliminary plat conditions and approvals.

P.C.: The Planning Commission recommends approval.

PCR ITEM 2C

Final Plat

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

FINAL PLAT

Riverside Cliffs Phase 2
Case No. 2014-FP-046

Request: Approval of a 22 Lot Residential Subdivision Final Plat

Representative: Rob Reid, Rosenberg Associates
352 E. Riverside Drive #A2
St. George, UT 84790

Property: Located between 1840 East St. and 1930 East St. at approximately
1220 South (between the Virgin River and Riverside Drive)

Zone: R-1-8

Staff Comments: All aspects of this Final Plat were carefully looked at and reviewed
by the Community Development Department staff, (which includes
New Development Division staff and Planning & Zoning staff) and
Legal Department staff and it meets all of the preliminary plat
conditions and approvals.

P.C.: The Planning Commission recommends approval.

GENERAL NOTES AND RESTRICTIONS:

1. THIS PLAN IS A PART OF THE RECORDING INSTRUMENT AND IS SUBJECT TO ALL THE TERMS, CONDITIONS, RESTRICTIONS AND COVENANTS CONTAINED THEREIN.
2. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.
3. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.
4. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.
5. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.
6. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.
7. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.
8. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.
9. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.
10. THE SURVEY WAS MADE BY THE SURVEYOR AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS MADE BY HIM.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ 2018

ATTEST:

 PUBLIC NOTARY PUBLIC COMMISSIONED
 IN THE STATE OF UTAH

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT:

I, _____, FULL NAME SIGNATURE, _____
 COMMISSIONER NO. _____
 EXPIRATION DATE _____
 A PUBLIC NOTARY PUBLIC COMMISSIONED
 IN THE STATE OF UTAH

OWNERS DECLARATION:

WE, THE UNDERSIGNED, OWNERS OF THE ABOVE DESCRIBED REAL ESTATE, HEREBY CERTIFY THAT WE ARE THE LEGAL AND SOLE OWNERS OF SAID REAL ESTATE AND THAT WE HAVE THE FULL POWER AND AUTHORITY TO EXECUTE THIS INSTRUMENT AND TO CONVEY SAID REAL ESTATE TO THE CITY OF ST. GEORGE, UTAH, FOR THE PURPOSES SET FORTH HEREIN.

APPROVAL OF THE PLANNING AND ZONING OFFICIAL:

I, _____, PLANNING AND ZONING OFFICIAL, THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

ENGINEER'S APPROVAL:

I, _____, ENGINEER, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

APPROVAL AS TO FORM:

I, _____, CITY ATTORNEY, THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

APPROVAL AND ACCEPTANCE BY THE CITY OF ST. GEORGE, UTAH:

APPROVED AND ACCEPTED BY THE CITY OF ST. GEORGE, UTAH, ON THIS _____ DAY OF _____ 2018.

 CITY CLERK
 CITY OF ST. GEORGE

APPROVAL AND ACCEPTANCE BY THE TREASURER:

APPROVED AND ACCEPTED BY THE TREASURER OF THE CITY OF ST. GEORGE, UTAH, ON THIS _____ DAY OF _____ 2018.

 TREASURER
 CITY OF ST. GEORGE

APPROVAL AND ACCEPTANCE BY THE PLANNING AND ZONING OFFICIAL:

I, _____, PLANNING AND ZONING OFFICIAL, THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

ENGINEER'S APPROVAL:

I, _____, ENGINEER, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

APPROVAL AS TO FORM:

I, _____, CITY ATTORNEY, THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

MORTGAGEE CONSENT TO RECORD:

I, _____, MORTGAGEE, HEREBY CONSENT TO THE RECORDING OF THE ABOVE INSTRUMENT AND TO THE CONVEYANCE OF SAID REAL ESTATE TO THE CITY OF ST. GEORGE, UTAH, FOR THE PURPOSES SET FORTH HEREIN.

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT:

I, _____, FULL NAME SIGNATURE, _____
 COMMISSIONER NO. _____
 EXPIRATION DATE _____
 A PUBLIC NOTARY PUBLIC COMMISSIONED
 IN THE STATE OF UTAH

OWNERS DECLARATION:

WE, THE UNDERSIGNED, OWNERS OF THE ABOVE DESCRIBED REAL ESTATE, HEREBY CERTIFY THAT WE ARE THE LEGAL AND SOLE OWNERS OF SAID REAL ESTATE AND THAT WE HAVE THE FULL POWER AND AUTHORITY TO EXECUTE THIS INSTRUMENT AND TO CONVEY SAID REAL ESTATE TO THE CITY OF ST. GEORGE, UTAH, FOR THE PURPOSES SET FORTH HEREIN.

APPROVAL OF THE PLANNING AND ZONING OFFICIAL:

I, _____, PLANNING AND ZONING OFFICIAL, THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

ENGINEER'S APPROVAL:

I, _____, ENGINEER, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

APPROVAL AS TO FORM:

I, _____, CITY ATTORNEY, THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

SURVEYOR'S CERTIFICATE:

I, _____, SURVEYOR, HEREBY CERTIFY THAT I HAVE PERSONALLY EXAMINED THE ABOVE INSTRUMENT AND THAT IT IS A TRUE AND CORRECT COPY OF THE ORIGINAL INSTRUMENT AS FILED WITH ME.

LEGAL DESCRIPTION:

THE LEGAL DESCRIPTION OF THE ABOVE DESCRIBED REAL ESTATE IS AS FOLLOWS: _____

APPROVAL AND ACCEPTANCE BY THE CITY OF ST. GEORGE, UTAH:

APPROVED AND ACCEPTED BY THE CITY OF ST. GEORGE, UTAH, ON THIS _____ DAY OF _____ 2018.

 CITY CLERK
 CITY OF ST. GEORGE

APPROVAL AND ACCEPTANCE BY THE TREASURER:

APPROVED AND ACCEPTED BY THE TREASURER OF THE CITY OF ST. GEORGE, UTAH, ON THIS _____ DAY OF _____ 2018.

 TREASURER
 CITY OF ST. GEORGE

APPROVAL AND ACCEPTANCE BY THE PLANNING AND ZONING OFFICIAL:

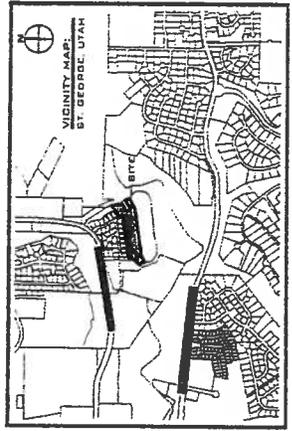
I, _____, PLANNING AND ZONING OFFICIAL, THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

ENGINEER'S APPROVAL:

I, _____, ENGINEER, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.

APPROVAL AS TO FORM:

I, _____, CITY ATTORNEY, THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE INSTRUMENT AND FIND IT TO BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE, UTAH, ORDINANCES AND ZONING REGULATIONS. I HEREBY APPROVE THIS INSTRUMENT AND RECOMMEND IT TO THE CITY OF ST. GEORGE, UTAH, FOR APPROVAL.



THE FINAL PLAT OF
RIVERSIDE CLIFFS
 SUBDIVISION
 - P H A S E 2 -

LOCATED IN THE SW 1/4 OF SEC. 33,
 TOWNSHIP 37N, RANGE 12E, MERIDIAN 11E,
 BALT LAKE BASE AND MERIDIAN IN THE CITY OF
 ST. GEORGE, WASHINGTON COUNTY, UTAH.

RECORDED NUMBER	RECORDED NUMBER
APPROVAL AND ACCEPTANCE BY THE CITY OF ST. GEORGE, UTAH	APPROVAL AND ACCEPTANCE BY THE CITY OF ST. GEORGE, UTAH
APPROVAL AND ACCEPTANCE BY THE TREASURER	APPROVAL AND ACCEPTANCE BY THE TREASURER
APPROVAL AND ACCEPTANCE BY THE PLANNING AND ZONING OFFICIAL	APPROVAL AND ACCEPTANCE BY THE PLANNING AND ZONING OFFICIAL
ENGINEER'S APPROVAL	ENGINEER'S APPROVAL
APPROVAL AS TO FORM	APPROVAL AS TO FORM
CITY ATTORNEY	CITY ATTORNEY
CITY CLERK	CITY CLERK
TREASURER	TREASURER
PLANNING AND ZONING OFFICIAL	PLANNING AND ZONING OFFICIAL
ENGINEER	ENGINEER
OWNER	OWNER
RECORDING DATE	RECORDING DATE
RECORDING TIME	RECORDING TIME
RECORDING OFFICE	RECORDING OFFICE
RECORDING FEE	RECORDING FEE
RECORDING TYPE	RECORDING TYPE
RECORDING STATUS	RECORDING STATUS
RECORDING NOTES	RECORDING NOTES



ROSENBERG ASSOCIATES
 255 E. 1000 S., SUITE 200
 ST. GEORGE, UTAH 84790
 PH: 435.675.0556 WWW.ROSENBERG.COM

PLAT, DWG
 DATE: 5-3-2014
 JOB NUMBER: 101
 SCALE: AS SHOWN

B.E.A.
 DESIGNER
 CHECKED

PCR ITEM 2D

Final Plat

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

FINAL PLAT

Sage Meadows Phase 3

Case No. 2014-FP-040

Request: Approval of an 18 Lot Residential Subdivision Final Plat

Representative: Scott Woolsey, Alpha Engineering
43 South 100 East #100
St. George, UT 84770

Property: Located at 2940 East and approximately 1880 South (North of the
Crimson View Elementary School)

Zone: R-1-10

Staff Comments: All aspects of this Final Plat were carefully looked at and reviewed
by the Community Development Department staff, (which includes
New Development Division staff and Planning & Zoning staff) and
Legal Department staff and it meets all of the preliminary plat
conditions and approvals.

P.C.: The Planning Commission recommends approval.

PCR ITEM 2E

Final Plat

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

FINAL PLAT

The Garages at Sun River Storage Phase 1

Case No. 2014-FP-026

Request: Approval of an 16 Unit Subdivision Final Plat

Representative: Brandon Anderson, Rosenberg Associates
352 E. Riverside Drive #A2
St. George, UT 84790

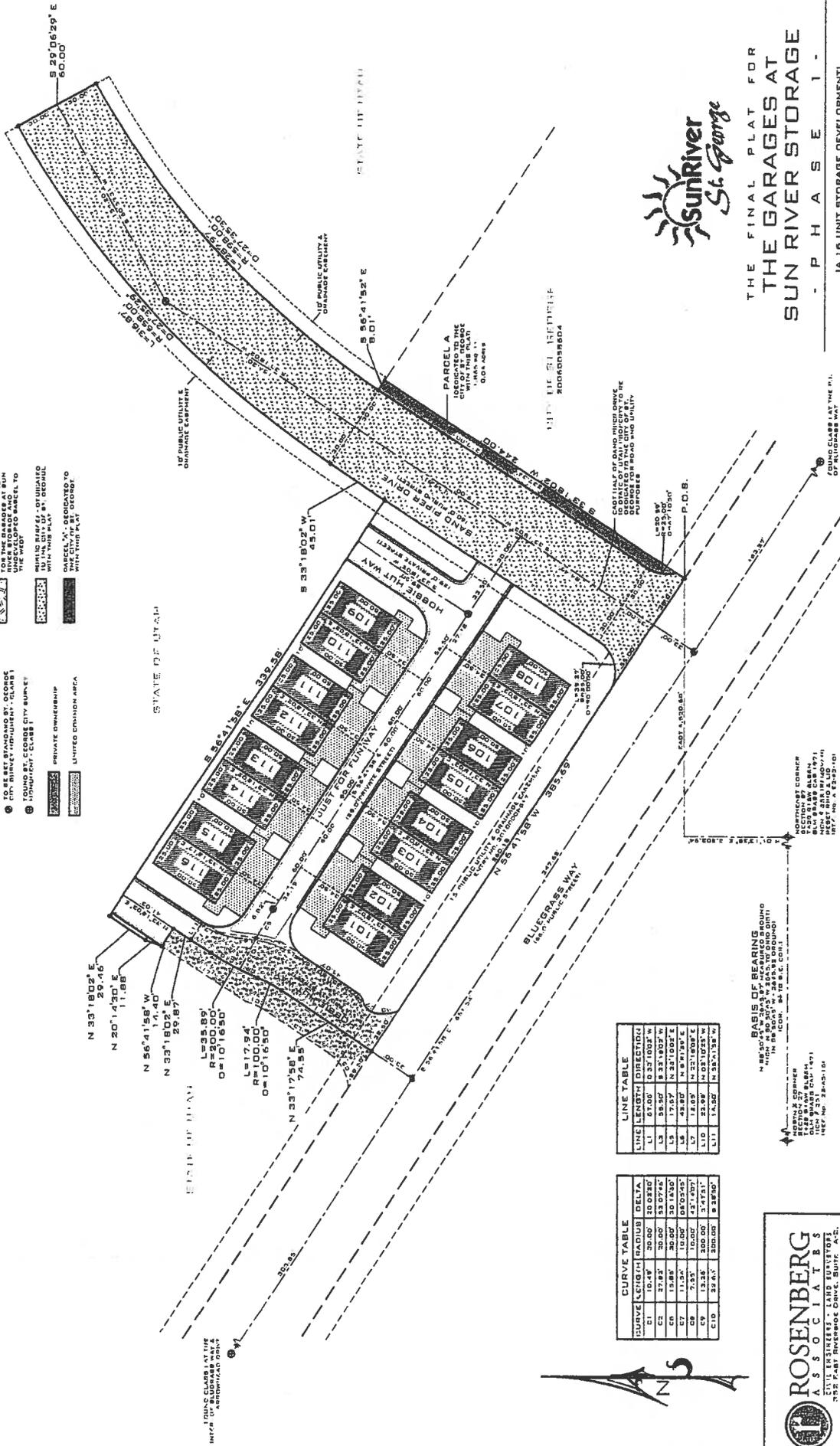
Property: Located west of Fire Station 8, which is on Bluegrass Way at approximately 1150 West (Sun River Development)

Zone: PD-C & PD-R

Staff Comments: All aspects of this Final Plat were carefully looked at and reviewed by the Community Development Department staff, (which includes New Development Division staff and Planning & Zoning staff) and Legal Department staff and it meets all of the preliminary plat conditions and approvals.

P.C.: The Planning Commission recommends approval.

- LEGEND**
- SECTION MONUMENTATION AS SHOWN AND DESCRIBED
 - NOTHING NOT FOR FILING
 - TO BE SET BY ANDAS BY GEORGE CITY SURVEY INSTRUMENT - (CLASS 1)
 - MONUMENT CLASS CITY SURVEY
 - PRIVATE OWNERSHIP
 - LIMITED EMISSION AREA
 - EMISION AREA
 - PARCELS USE COVERAGE FOR THE PARCELS AT SUN RIVER STORAGE UNDEVELOPED PARCEL TO THE WEST
 - UTAH CITY OF ST. GEORGE WITH THIS PLAN
 - PARCEL "A" - DEDICATED TO WITH THIS PLAN



LINE TABLE

LINE	LENGTH	DIRECTION
L1	61.00'	S 37° 10' 22" W
L2	38.50'	S 37° 10' 22" W
L3	17.57'	N 33° 1' 00" E
L4	38.50'	S 37° 10' 22" W
L5	38.50'	S 37° 10' 22" W
L6	38.50'	S 37° 10' 22" W
L7	38.50'	S 37° 10' 22" W
L8	38.50'	S 37° 10' 22" W
L9	38.50'	S 37° 10' 22" W
L10	38.50'	S 37° 10' 22" W
L11	14.20'	N 33° 1' 00" E

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	10.49'	30.00'	20.032°
C2	37.85'	30.00'	53.074°
C3	15.85'	30.00'	30.123°
C4	3.33'	10.00'	60.000°
C5	13.24'	300.00'	3.1751°
C10	33.47'	200.00'	8.382°

BASIS OF BEARING
 N 88° 50' 45" W 30.00' MEASURED FROM THE 1983 UTAH STATE PLAT (CON. 88 10 50 S.E. CORN.)

MONUMENT CORNER
 CLASS 1 BLK 1564-11, 1564-12, 1564-13, 1564-14, 1564-15, 1564-16, 1564-17, 1564-18, 1564-19, 1564-20, 1564-21, 1564-22, 1564-23, 1564-24, 1564-25, 1564-26, 1564-27, 1564-28, 1564-29, 1564-30, 1564-31, 1564-32, 1564-33, 1564-34, 1564-35, 1564-36, 1564-37, 1564-38, 1564-39, 1564-40, 1564-41, 1564-42, 1564-43, 1564-44, 1564-45, 1564-46, 1564-47, 1564-48, 1564-49, 1564-50, 1564-51, 1564-52, 1564-53, 1564-54, 1564-55, 1564-56, 1564-57, 1564-58, 1564-59, 1564-60, 1564-61, 1564-62, 1564-63, 1564-64, 1564-65, 1564-66, 1564-67, 1564-68, 1564-69, 1564-70, 1564-71, 1564-72, 1564-73, 1564-74, 1564-75, 1564-76, 1564-77, 1564-78, 1564-79, 1564-80, 1564-81, 1564-82, 1564-83, 1564-84, 1564-85, 1564-86, 1564-87, 1564-88, 1564-89, 1564-90, 1564-91, 1564-92, 1564-93, 1564-94, 1564-95, 1564-96, 1564-97, 1564-98, 1564-99, 1564-100.

ROSENBERG
 A S O C I A T E S
 SURVEYORS & ENGINEERS
 1000 EAST 1000 SOUTH, SUITE 200, ST. GEORGE, UTAH 84700
 PH: 435-724-1234 FAX: 435-724-1235

FILE NUMBER: 2012-0713
 JOB NUMBER: 1 - 20
 SCALE: S.E.A.
 CHECKED:

PCR ITEM 2F

Final Plat

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

FINAL PLAT

Sun River St. George Phase 44

Case No. 2014-FP-032

- Request:** Approval of an 23 Unit Subdivision Final Plat
- Representative:** Brandon Anderson, Rosenberg Associates
352 E. Riverside Drive #A2
St. George, UT 84790
- Property:** Located east of Pearl Vista Drive and south of Angel Arch Dr at approximately 1400 West and 5000 South (Sun River Development)
- Zone:** PD-R
- Staff Comments:** All aspects of this Final Plat were carefully looked at and reviewed by the Community Development Department staff, (which includes New Development Division staff and Planning & Zoning staff) and Legal Department staff and it meets all of the preliminary plat conditions and approvals.
- P.C.:** The Planning Commission recommends approval.

LINK TABLE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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CURVE TABLE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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CURVE TABLE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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GENERAL NOTES AND RESTRICTIONS:

1. These restrictions, covenants, conditions, and limitations are intended to be enforceable and shall run with the land. They shall be binding on all successors in title to the land, whether or not they are recorded.
2. All improvements, including but not limited to buildings, structures, and other improvements, shall be constructed in accordance with the applicable codes and ordinances of the City of St. George, Utah.
3. The owner shall maintain the property in accordance with the applicable codes and ordinances of the City of St. George, Utah.
4. The owner shall not use the property for any purpose other than that for which it is zoned.
5. The owner shall not use the property for any purpose that is prohibited by the applicable codes and ordinances of the City of St. George, Utah.
6. The owner shall not use the property for any purpose that is prohibited by the applicable codes and ordinances of the City of St. George, Utah.
7. The owner shall not use the property for any purpose that is prohibited by the applicable codes and ordinances of the City of St. George, Utah.
8. The owner shall not use the property for any purpose that is prohibited by the applicable codes and ordinances of the City of St. George, Utah.
9. The owner shall not use the property for any purpose that is prohibited by the applicable codes and ordinances of the City of St. George, Utah.
10. The owner shall not use the property for any purpose that is prohibited by the applicable codes and ordinances of the City of St. George, Utah.
11. The City of St. George requires certain project numbers to be submitted by the applicant to the City of St. George.
12. The City of St. George requires certain project numbers to be submitted by the applicant to the City of St. George.
13. All applicable laws shall be applied as written.

OWNER'S DECLARATION:

I, the undersigned, being the owner of the above described property, do hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief.

SUN RIVER ST. GEORGE, PHASE 4A

OWNER: SUN RIVER ST. GEORGE, PHASE 4A
 DEVELOPER: SUN RIVER ST. GEORGE, PHASE 4A
 ADDRESS: 16 23 UNIT PLANNED UNIT DEVELOPMENT, RANGE 16 WEST SALT LAKE BASE AND MERIDIAN, CITY OF ST. GEORGE, WASHINGTON COUNTY, UTAH.

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT:

On this _____ day of _____, 20____, I, the undersigned, being the duly authorized officer of the above named limited liability company, do hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief.

MORTGAGE CONSENT TO RECORD:

I, the undersigned, being the duly authorized officer of the above named mortgagee, do hereby consent to the recording of the above described mortgage.



SUN RIVER ST. GEORGE PHASE 4A

16 23 UNIT PLANNED UNIT DEVELOPMENT
 LOCATED IN SECTIONS 23 & 24, T12N, R16W, S10E,
 RANGE 16 WEST SALT LAKE BASE AND MERIDIAN,
 CITY OF ST. GEORGE, WASHINGTON COUNTY, UTAH.

SHEET 2 OF 2

ROSENBERG ASSOCIATES

REGISTERED PROFESSIONAL ENGINEERS
 352 EAST HAYWARD DRIVE, SUITE 100
 ST. GEORGE, UTAH 84770-4020
 PHONE: (435) 633-1234 FAX: (435) 633-1235
 WWW.ROSENBERG.COM

PROJECT NO. 16 23 UNIT PLANNED UNIT DEVELOPMENT
 SHEET NO. 2 OF 2
 DATE: 10/15/2010
 DRAWN BY: J. ROSENBERG
 CHECKED BY: J. ROSENBERG
 SCALE: AS SHOWN

ITEM 2G

Final Plat

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

FINAL PLAT

Sun River St. George Phase 45

Case No. 2014-FP-033

- Request:** Approval of an 24 Unit Subdivision Final Plat
- Representative:** Brandon Anderson, Rosenberg Associates
352 E. Riverside Drive #A2
St. George, UT 84790
- Property:** Located east of Pearl Vista Drive and south of Angel Arch Dr at approximately 1400 West and 5100 South (Sun River Development)
- Zone:** PD-R
- Staff Comments:** All aspects of this Final Plat were carefully looked at and reviewed by the Community Development Department staff, (which includes New Development Division staff and Planning & Zoning staff) and Legal Department staff and it meets all of the preliminary plat conditions and approvals.
- P.C.:** The Planning Commission recommends approval.

ITEM 2H Final Plat

PLANNING COMMISSION AGENDA REPORT: **08/12/2014**
CITY COUNCIL MEETING: **08/21/2014**

FINAL PLAT

Jiffy Lube at River Road

Case No. 2014-FP-036

Request: Approval of an 1 Lot Commercial Subdivision Final Plat

Representative: Brandon Anderson, Rosenberg Associates
352 E. Riverside Drive #A2
St. George, UT 84790

Property: Located at 1393 South River Road

Zone: PD-C

Staff Comments: All aspects of this Final Plat were carefully looked at and reviewed by the Community Development Department staff, (which includes New Development Division staff and Planning & Zoning staff) and Legal Department staff and it meets all of the preliminary plat conditions and approvals.

P.C.: The Planning Commission recommends approval.

PCR ITEM 2I (Addendum)

Final Plat

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

FINAL PLAT

Las Colinas Phase 4

Case No. 2014-FP-049

Request: Approval of a 7 Lot Residential Subdivision Final Plat

Representative: Brad Petersen, Development Solutions
120 East St. George Blvd, Suite #300
St. George, UT 84770

Property: Located at Las Colinas Dr and 890 West Circle

Zone: PD-R

Staff Comments: All aspects of this Final Plat were carefully looked at and reviewed by the Community Development Department staff, (which includes New Development Division staff and Planning & Zoning staff) and Legal Department staff and it meets all of the preliminary plat conditions and approvals.

P.C.: The Planning Commission recommends approval.

PCR ITEM 3A

Preliminary Plat

PLANNING COMMISSION AGENDA REPORT:
CITY COUNCIL MEETING:

08/12/2014
08/21/2014

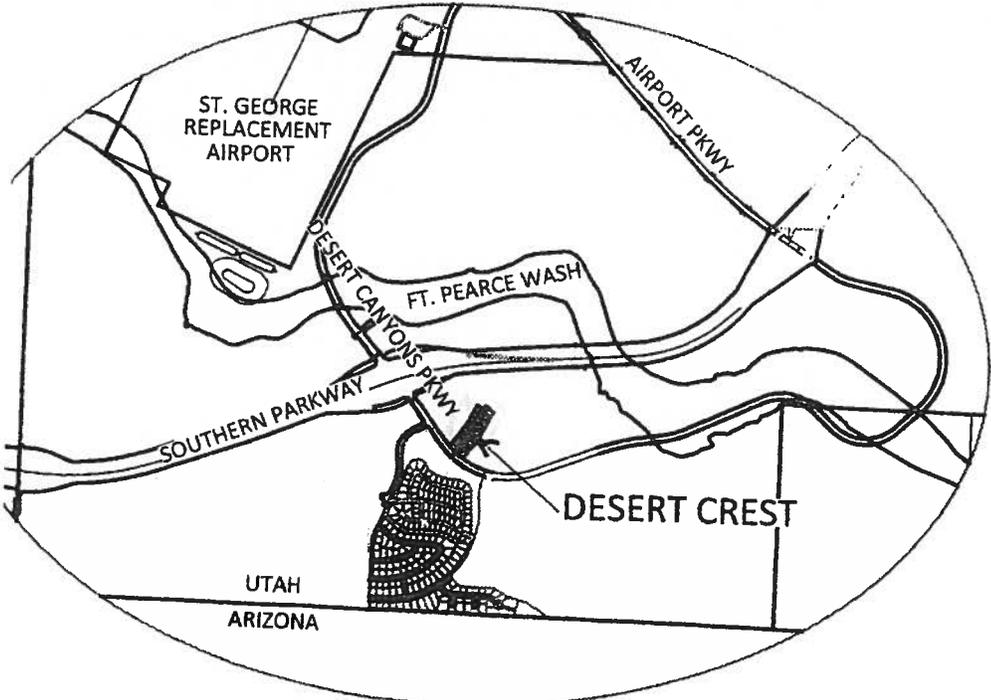
PRELIMINARY PLAT

Desert Crest

Case No. 2014-PP-032

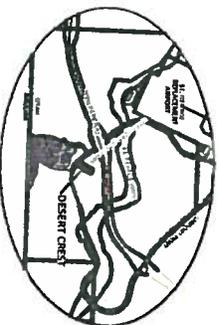
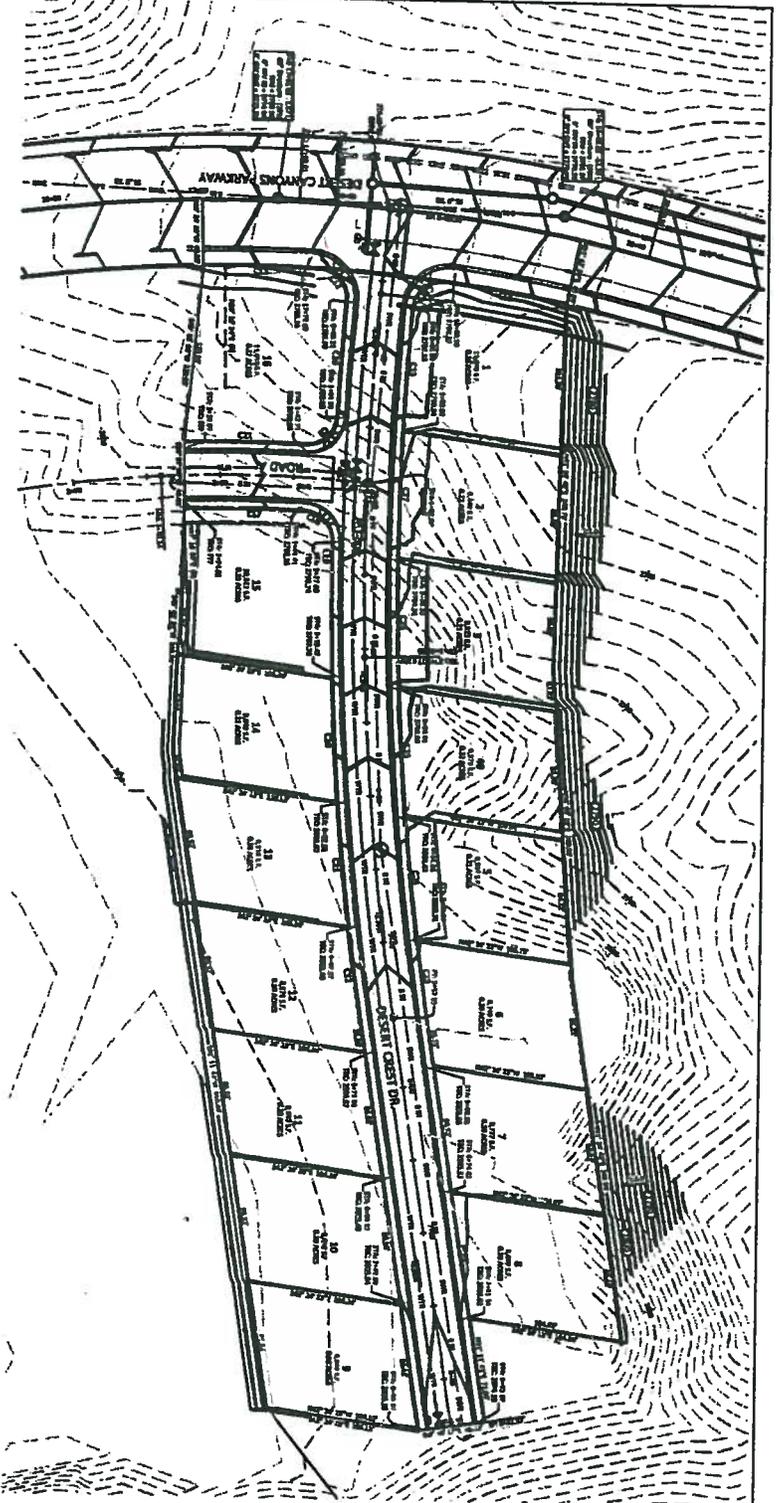
- Request:** A request to approve a 16 lot residential subdivision.
- Location:** The property is located near S. Desert Canyons Parkway and Rimrunner
- Property:** 4.625 acres
- Number of Lots:** 16
- Density:** 3.46 dwelling units per acre
- Zoning:** PD-8 and PD-12
- Adjacent zones:** This plat is surrounded by PD-8 on the south, west and east and PD-12 on the north.
- General Plan:** This plat is part of the Desert Canyons Master Plan and shown as residential on the General Plan with the density being defined on the approved Planned Development Zoning Map.
- Applicant:** Development Solutions
- Engineer:** Ken Miller
- Comments:**
1. The developer will be required to dedicate open space area with the final plat that is equal in size to 15% of the final plat area.
 2. Subject to Legal Department review.

DESERT CREST



Vicinity Map

NOT TO SCALE



BENCHMARK
 POINTS: CORNER SECTION 15, TOWNSHIP 43 NORTH, RANGE 23 WEST, LAND SALES & INVESTMENT CO. 2003 (PUNTA GORDA) 2003 (PUNTA GORDA)

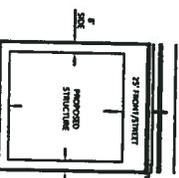
SITE DATA:
 ZONE: P-12
 SITE AREA: 4.25 ACRES
 NO. DWELLING UNITS: 18
 DENSITY: 1.46 D.U./AC

LEGEND

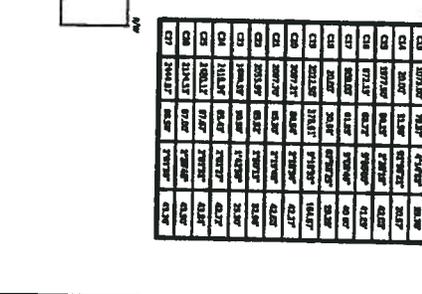
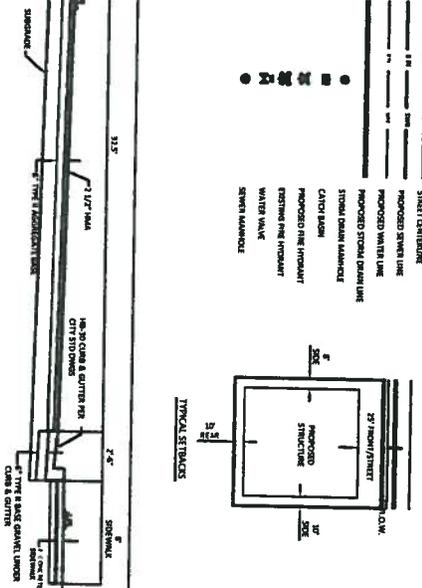
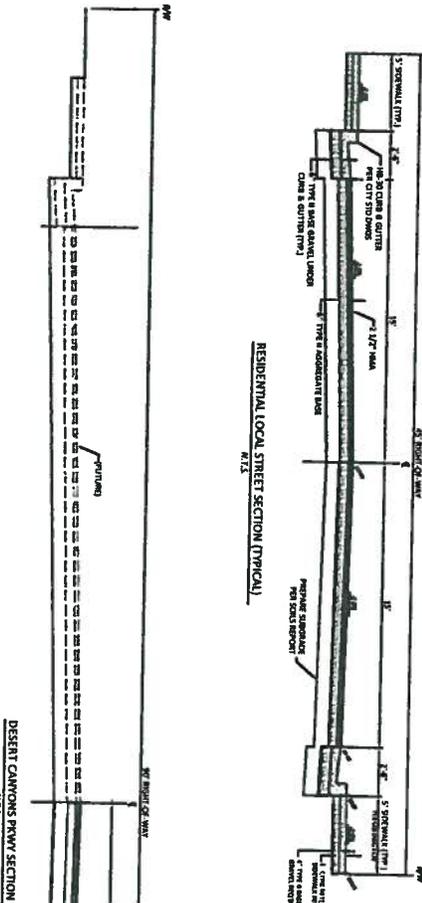
- SUBDIVISION BOUNDARY
- PLATS BOUNDARY
- PROPOSED CORNER & GUTTERS
- STREET CENTERLINE
- PROPOSED WATER LINE
- PROPOSED STORM DRAIN LINE
- STORM DRAIN MANHOLE
- CATCH BASIN
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- WATER VALVE
- SEWER MANHOLE

LEGAL DESCRIPTION:

BEING LOCATED IN APPROXIMATELY THE NORTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 43 NORTH, RANGE 23 WEST, SALT LAKE BASIN & MOUNTAIN COMPANY, 4.25 ACRES



GRID	BARBER	UTERBY	CHIL	TRUMBULL
C01	80.00'	13.00'	80.00'	13.00'
C02	80.00'	13.00'	79.99'	13.00'
C03	80.00'	13.00'	79.98'	13.00'
C04	80.00'	13.00'	79.97'	13.00'
C05	80.00'	13.00'	79.96'	13.00'
C06	80.00'	13.00'	79.95'	13.00'
C07	80.00'	13.00'	79.94'	13.00'
C08	80.00'	13.00'	79.93'	13.00'
C09	80.00'	13.00'	79.92'	13.00'
C10	80.00'	13.00'	79.91'	13.00'
C11	80.00'	13.00'	79.90'	13.00'
C12	80.00'	13.00'	79.89'	13.00'
C13	80.00'	13.00'	79.88'	13.00'
C14	80.00'	13.00'	79.87'	13.00'
C15	80.00'	13.00'	79.86'	13.00'
C16	80.00'	13.00'	79.85'	13.00'
C17	80.00'	13.00'	79.84'	13.00'
C18	80.00'	13.00'	79.83'	13.00'
C19	80.00'	13.00'	79.82'	13.00'
C20	80.00'	13.00'	79.81'	13.00'
C21	80.00'	13.00'	79.80'	13.00'
C22	80.00'	13.00'	79.79'	13.00'
C23	80.00'	13.00'	79.78'	13.00'
C24	80.00'	13.00'	79.77'	13.00'
C25	80.00'	13.00'	79.76'	13.00'
C26	80.00'	13.00'	79.75'	13.00'
C27	80.00'	13.00'	79.74'	13.00'
C28	80.00'	13.00'	79.73'	13.00'
C29	80.00'	13.00'	79.72'	13.00'
C30	80.00'	13.00'	79.71'	13.00'
C31	80.00'	13.00'	79.70'	13.00'
C32	80.00'	13.00'	79.69'	13.00'
C33	80.00'	13.00'	79.68'	13.00'
C34	80.00'	13.00'	79.67'	13.00'
C35	80.00'	13.00'	79.66'	13.00'
C36	80.00'	13.00'	79.65'	13.00'
C37	80.00'	13.00'	79.64'	13.00'
C38	80.00'	13.00'	79.63'	13.00'
C39	80.00'	13.00'	79.62'	13.00'
C40	80.00'	13.00'	79.61'	13.00'
C41	80.00'	13.00'	79.60'	13.00'
C42	80.00'	13.00'	79.59'	13.00'
C43	80.00'	13.00'	79.58'	13.00'
C44	80.00'	13.00'	79.57'	13.00'
C45	80.00'	13.00'	79.56'	13.00'
C46	80.00'	13.00'	79.55'	13.00'
C47	80.00'	13.00'	79.54'	13.00'
C48	80.00'	13.00'	79.53'	13.00'
C49	80.00'	13.00'	79.52'	13.00'
C50	80.00'	13.00'	79.51'	13.00'
C51	80.00'	13.00'	79.50'	13.00'
C52	80.00'	13.00'	79.49'	13.00'
C53	80.00'	13.00'	79.48'	13.00'
C54	80.00'	13.00'	79.47'	13.00'
C55	80.00'	13.00'	79.46'	13.00'
C56	80.00'	13.00'	79.45'	13.00'
C57	80.00'	13.00'	79.44'	13.00'
C58	80.00'	13.00'	79.43'	13.00'
C59	80.00'	13.00'	79.42'	13.00'
C60	80.00'	13.00'	79.41'	13.00'
C61	80.00'	13.00'	79.40'	13.00'
C62	80.00'	13.00'	79.39'	13.00'
C63	80.00'	13.00'	79.38'	13.00'
C64	80.00'	13.00'	79.37'	13.00'
C65	80.00'	13.00'	79.36'	13.00'
C66	80.00'	13.00'	79.35'	13.00'
C67	80.00'	13.00'	79.34'	13.00'
C68	80.00'	13.00'	79.33'	13.00'
C69	80.00'	13.00'	79.32'	13.00'
C70	80.00'	13.00'	79.31'	13.00'
C71	80.00'	13.00'	79.30'	13.00'
C72	80.00'	13.00'	79.29'	13.00'
C73	80.00'	13.00'	79.28'	13.00'
C74	80.00'	13.00'	79.27'	13.00'
C75	80.00'	13.00'	79.26'	13.00'
C76	80.00'	13.00'	79.25'	13.00'
C77	80.00'	13.00'	79.24'	13.00'
C78	80.00'	13.00'	79.23'	13.00'
C79	80.00'	13.00'	79.22'	13.00'
C80	80.00'	13.00'	79.21'	13.00'
C81	80.00'	13.00'	79.20'	13.00'
C82	80.00'	13.00'	79.19'	13.00'
C83	80.00'	13.00'	79.18'	13.00'
C84	80.00'	13.00'	79.17'	13.00'
C85	80.00'	13.00'	79.16'	13.00'
C86	80.00'	13.00'	79.15'	13.00'
C87	80.00'	13.00'	79.14'	13.00'
C88	80.00'	13.00'	79.13'	13.00'
C89	80.00'	13.00'	79.12'	13.00'
C90	80.00'	13.00'	79.11'	13.00'
C91	80.00'	13.00'	79.10'	13.00'
C92	80.00'	13.00'	79.09'	13.00'
C93	80.00'	13.00'	79.08'	13.00'
C94	80.00'	13.00'	79.07'	13.00'
C95	80.00'	13.00'	79.06'	13.00'
C96	80.00'	13.00'	79.05'	13.00'
C97	80.00'	13.00'	79.04'	13.00'
C98	80.00'	13.00'	79.03'	13.00'
C99	80.00'	13.00'	79.02'	13.00'
C100	80.00'	13.00'	79.01'	13.00'



DEVELOPMENT SOLUTIONS, INC.
 LAND PLANNERS, CIVIL ENGINEERS

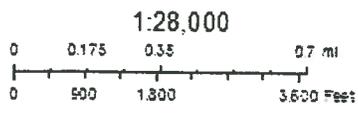
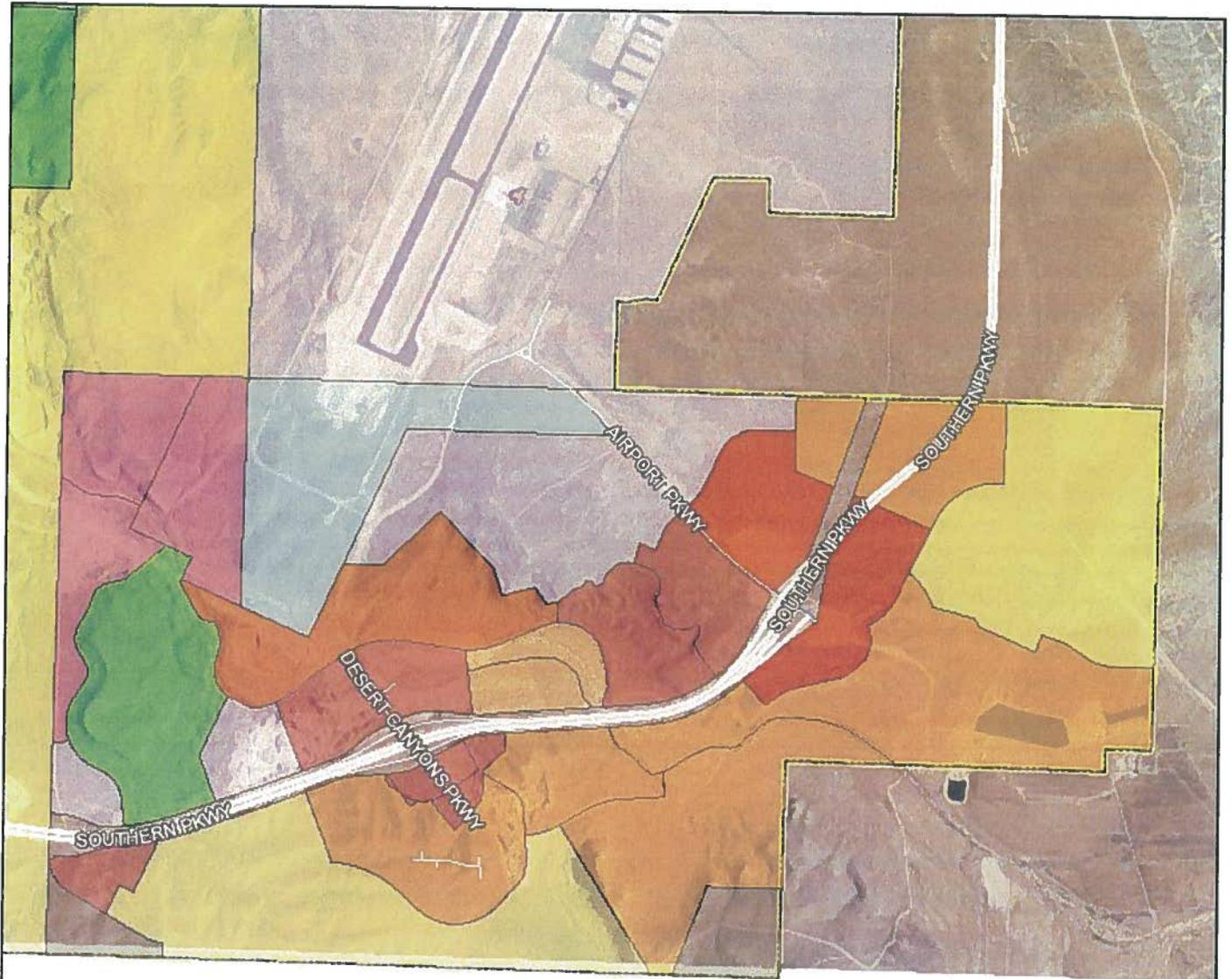
513
 4242 North 200 West, Suite 200, Provo, UT 84601
 Office: (435) 221-2121 • Fax: (435) 474-2523
 www.devsolutions.com

DATE: 04/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SCALE: 1" = 40'
 SHEET NUMBER: [Number]

DESERT CREST AT DESERT CANYONS

PRELIMINARY PLAT

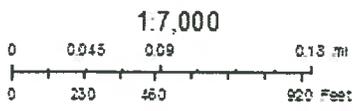
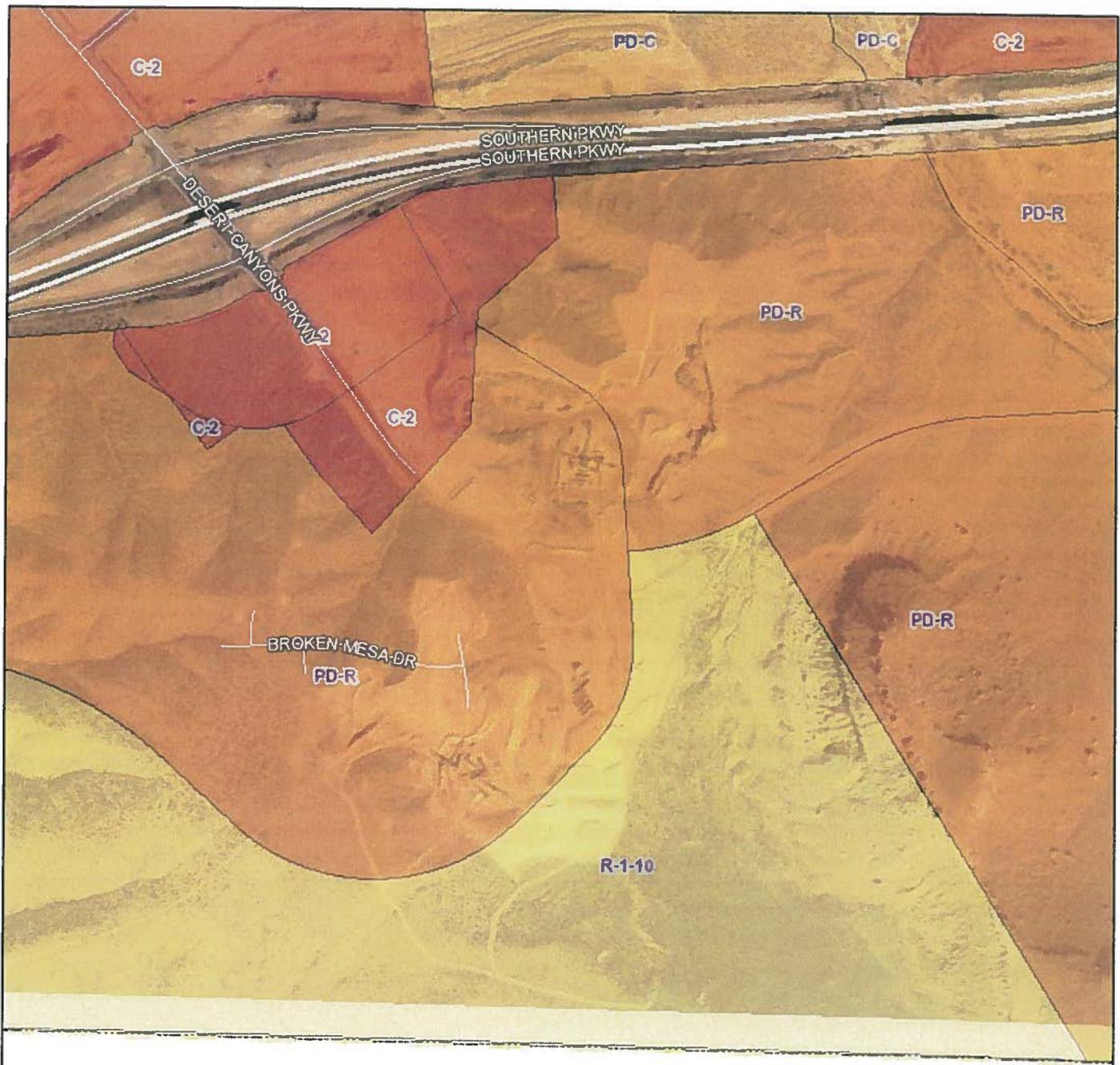
PROJECT NAME: [Name]
 SHEET NAME: [Name]



Desert Crest / Rim - Zoning

Made by the City of St. George GIS Department
SGCityMaps - <http://maps.sgcity.org/sgcitymaps>

August 4, 2014



Desert Crest / Rim - Zoning - Pic 2

Made by the City of St. George GIS Department
 SGCityMaps - <http://maps.sgcity.org/sgcitymaps>

August 4, 2014

PCR ITEM 3B

Preliminary Plat

PLANNING COMMISSION AGENDA REPORT:
CITY COUNCIL MEETING:

08/12/2014
08/21/2014

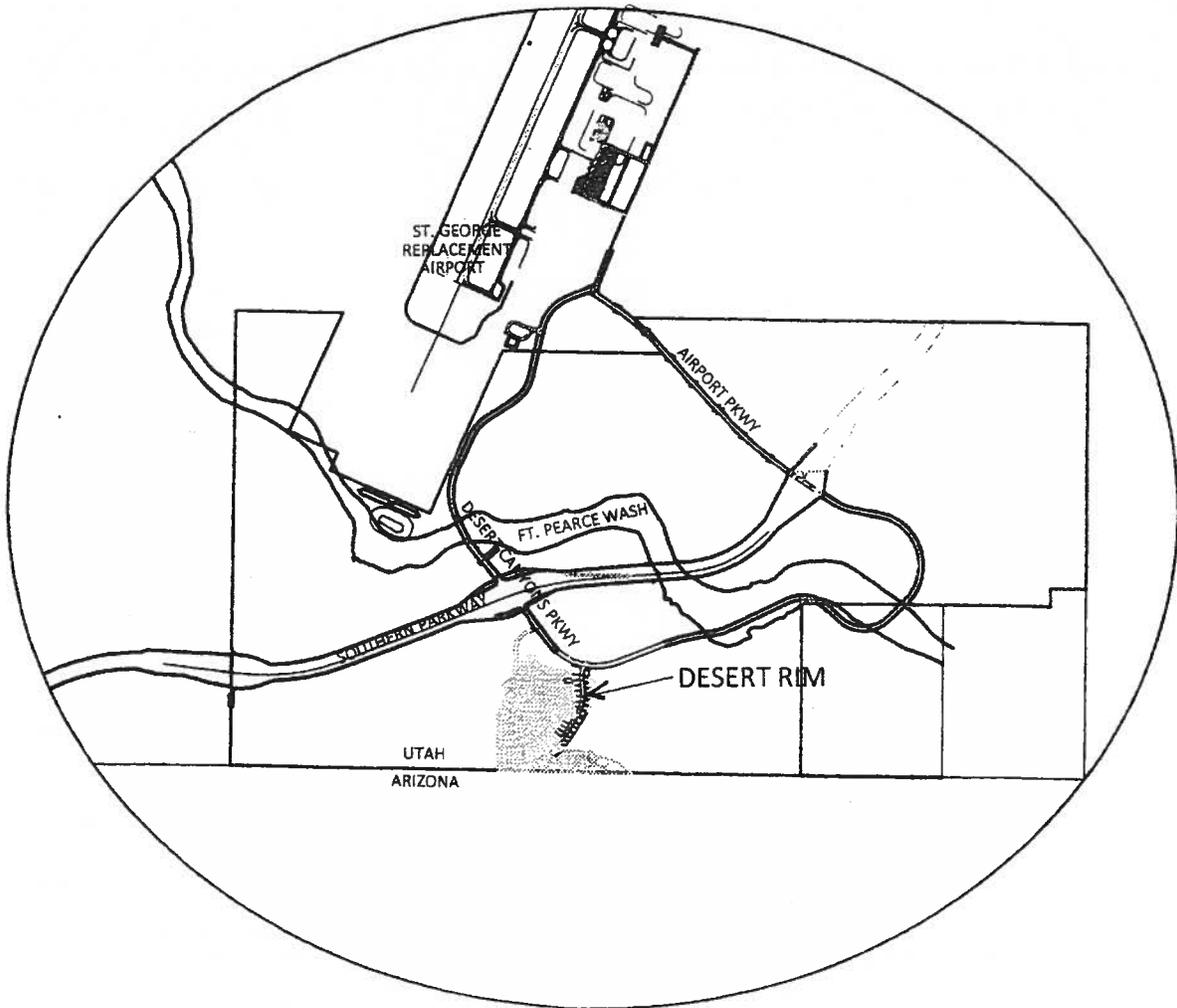
PRELIMINARY PLAT

Desert Rim

Case No. 2014-PP-033

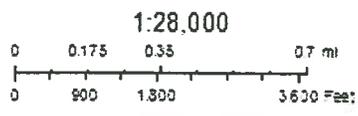
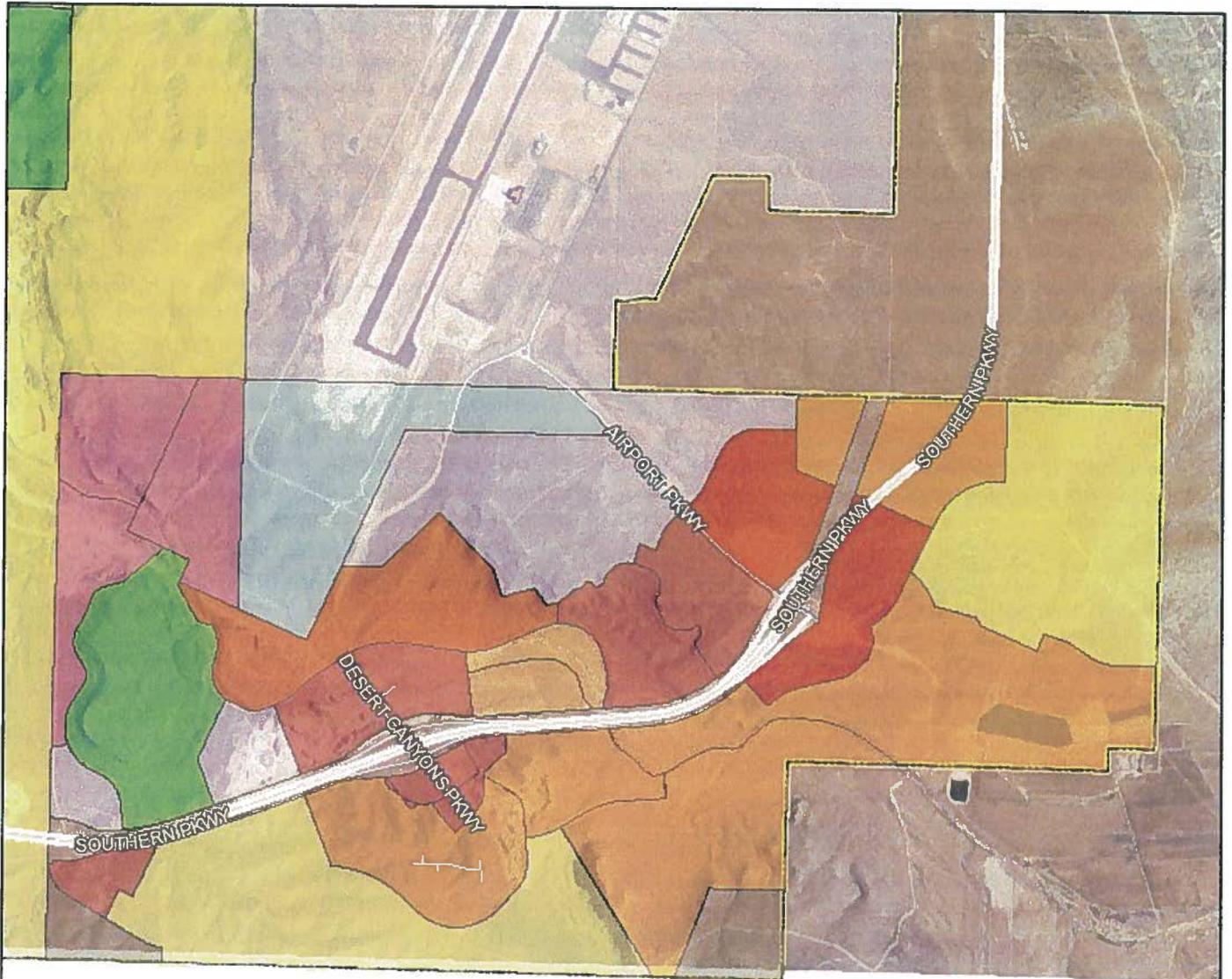
- Request:** A request to approve a 29 lot residential subdivision.
- Location:** The property is located near Rimrunner and Desert Canyons Parkway
- Property:** 11.87 acres
- Number of Lots:** 29
- Density:** 2.4 dwelling units per acre
- Zoning:** West side of Rimrunner Drive is PD-8 and east side is R-1-10
- Adjacent zones:** This plat is part of the Desert Canyons development and is located between zone PD-8 on the west and R-1-10 on the east.
- General Plan:** This plat is shown as residential on the General Plan with the density being defined on the approved Planned Development Zoning Map.
- Applicant:** Development Solutions
- Engineer:** Ken Miller
- Comments:**
1. The developer will be required to dedicate open space area with the final plat that is equal in size to 15% of the final plat area.
 2. Rimrunner Drive is a 66-foot roadway so lots that front this roadway will be required to have a circular drive.
 3. Subject to Legal Department review.

DESERT RIM



Vicinity Map

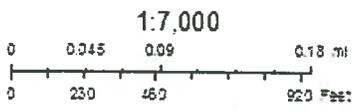
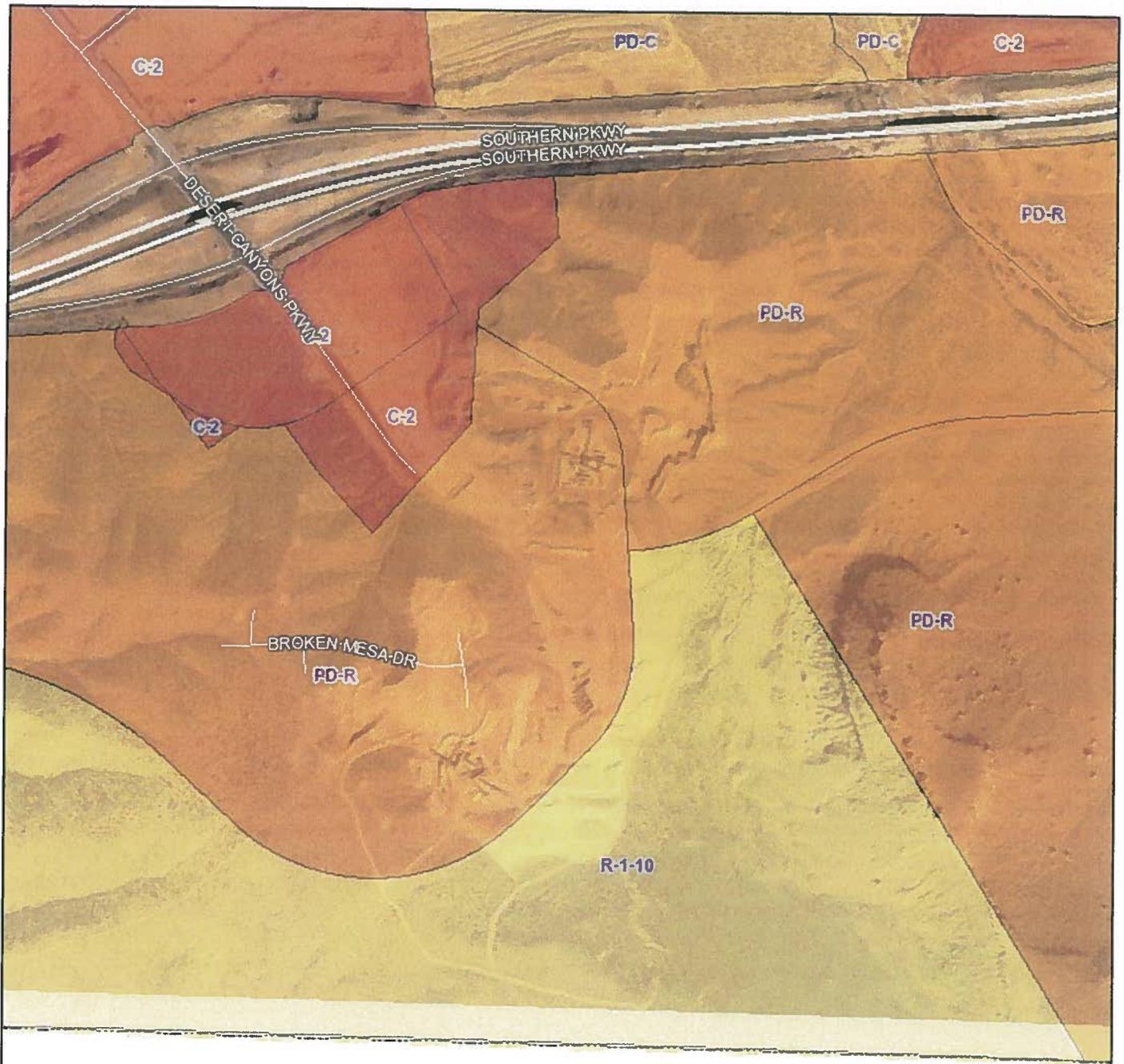
NOT TO SCALE



Desert Crest / Rim - Zoning

Made by the City of St. George GIS Department
SGCityMaps - <http://maps.sgcity.org/sgcitymaps>

August 4, 2014



Desert Crest / Rim - Zoning - Pic 2

Made by the City of St. George GIS Department
 SGCityMaps - <http://maps.sgcity.org/sgcitymaps>

August 4, 2014

Reference: From 2007 – an approved CUP for another landmark home. Reference for item **#6F** on the 8/21/204 CC agenda “CUP for Landmark property at 252 N Main St”

Note the conditions used at that time may be similar to this case



ACTION SUMMARY

Case No. 2007-CUP-009, a request to operate a Historic Landmark Home for phased commercial uses. The applicant proposes that in Phase I the home be operated as a guest inn and / or a vacation home with 4 suites. The applicant also proposed a future Phase II for a building expansion with 6 smaller suites. This site was previously approved as a landmark site at the April 5, 2007, City Council meeting. This pioneer era home is known as the “William H. Thompson Home” (built in 1871) and is located north of the Brigham Young home. The zoning is RCC (Residential Central City). The property is located at 212 North and 100 West. The APN is SG-732. The owner is Interstate Rock Products. The representative is Mr. Michael Madsen.

This request was approved with conditions by the City Council on June 7, 2007.

City Council conditions:

1. The applicant shall maintain and enhance the level of landscaping existing at the time of this approval.
2. On site parking shall be approved by city staff.
3. The applicant shall comply with the requirements of the City Traffic Engineer for access.
4. The applicant will comply with city code requirements for hotels, except a waiver is approved for no on-site manager, and rooms will not be required to be cleaned on a daily basis but only upon change of guests. A daily room cleaning service will be available to guests for a fee, and an off-site office will be maintained for record keeping and for guests and others to contact when necessary.
5. At a minimum once a week room cleaning shall occur.
6. Cleaning shall occur between any changes in guests.
7. If the building should revert back to a single family residence use no other uses will be permitted unless approved through a new separate CUP.
8. This location is not approved for office or retail use without the approval of a CUP for such use.

PCR ITEM 4A

Vacation Rental

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

Julia Graff Home – 252 N. Main Street
Case No. 2014-CUP-015

Request: A request to approve a conditional use permit to operate a vacation rental out of a Landmark Home Site. The home is known as the 'Julia Graff Home'

Applicant: David & Donna Walker
2438 Mountain Road
North Ogden, Utah 84414

Location: 252 N Main Street

Current Zone(s): RCC (Residential Central City)

Comments: The City Council recently approved this site as a Landmark Home Site at the July 17, 2014 City Council meeting.

The home was built in 1917 by Albert Miller and was then occupied by Julia Graff and her family until the late 1980's. The applicant has provided more detail in a narrative (see attached).

There is already a Plaque in front of the home placed by the Graff family in 2008 and this property is highlighted in the City of St. George 'Landmark & Historic Sites, 2nd Edition' book on Page 20.

It's the intention of the Property owner to use the home as a Vacation Rental property (See CUP Narrative – attached). The use would be similar to several other Historic Landmark properties in the City, such as the Heinrich Gubler home (Greene Manor) at 162 S. 300 West, the Arthur Miles home at 212 S. 200 East, the Thompson Mansion at 212 N. 100 West, and the James Bleak Home at 391 S. Main Street.

Note that the narrative states that a minimum of a 3 day stay is the target market for couples or small families with a maximum occupancy of 6 guests.

Noticing: Notice letters were sent to property owners within a 300 ft. radius and notice was posted in four (4) public places [on the City website, State website, and on two (2) bulletin boards in the City].

Ordinance(s): The Planning Commission was very supportive of the proposal, but spent considerable time discussing the distinction between the proposed vacation rental in a designated landmark home and the use as a B&B (Bed & Breakfast). Section 10-21-3.D permits a B&B but states that the owner must live in the residence. Due to the size of the home and the owner's intent not to reside there the owner does not wish to operate a B&B (but to rent the landmark home as a vacation rental instead). The City's Legal Department and the City Council will need to discuss the matter to come to a resolution. The ordinance sections listed below are provided for support. It may be that the Council would support the language under 10-21-3 that reads: . . . "*other commercial uses deemed appropriate by the city council . . .*"

In the **RCC zone**, Section 10-7F-2 "Permitted, Conditional, or Accessory Uses"; 10-7F-2.A reads: "*Any permitted, conditional or accessory use allowed under article B, single-family residential zones, of this chapter shall be considered the same in the RCC zone.*" (Note Article B is the standards for the R-1 zones)

In the **R-1 zones**; Section 10-7B-3"Conditional Uses"; the last paragraph reads "*Other uses recommended by the Planning Commission as being in harmony with the intent of the zone and similar in nature to the nature of the above listed uses. (Ord. 2007-01-004, 1-4-2007)*" The Planning Commission recommends to the council that a vacation rental in a designated landmark home be allowed to be used as a vacation rental as described in the applicant's narrative (see narrative) and is in harmony with other landmark homes in the R-1 zones previously approved.

Title 10 Chapter "**Conditional Uses**"; Section 10-17-8 reads: "*The Planning Commission may recommend approval or denial of the conditional use application to the city council in public meeting. In recommending approval of any conditional use, the Planning Commission shall suggest regulations and conditions as are necessary to protect the public health, safety, welfare and aesthetics of the city. (Ord. 2007-01-001, 1-4-2007).*"

Title 10 Chapter 21 “**Landmark Sites**” Section 10-21-3
“Conditional Uses for Landmark Sites” reads:

“The City Council, upon recommendation of the Planning Commission, may permit as a conditional use on landmark sites the following uses:

Offices and other commercial uses deemed appropriate by the city council provided the following conditions are satisfied:

- A. Substantial investment is made to upgrade the property.*
- B. Any renovation shall maintain or enhance the historic, architectural and aesthetic features of the property.*
- C. The proposed use shall generate only minimal traffic or parking demand as determined by the city council.*
- D. For bed and breakfast inns, the owner shall reside in the dwelling. (Note: This request is not ‘for’ a B&B)*

Failure to comply with any of the above conditions may result in the revocation of the conditional use permit and any business license related to the commercial use of the property. (Ord. 2006-04-003, 4-6-2006)

Title 10 Chapter 14 “Supplementary and Qualifying Regulations” Section 10-14-22 “**Short Term Rentals**”; Section 10-14-22.D ‘Single Family Residence requirements.’ It is staff’s opinion that this section applies to all single family residences proposed to have a vacation rental and are subject to those restrictions, but that a landmark home is subject instead to Section 10-21-3.

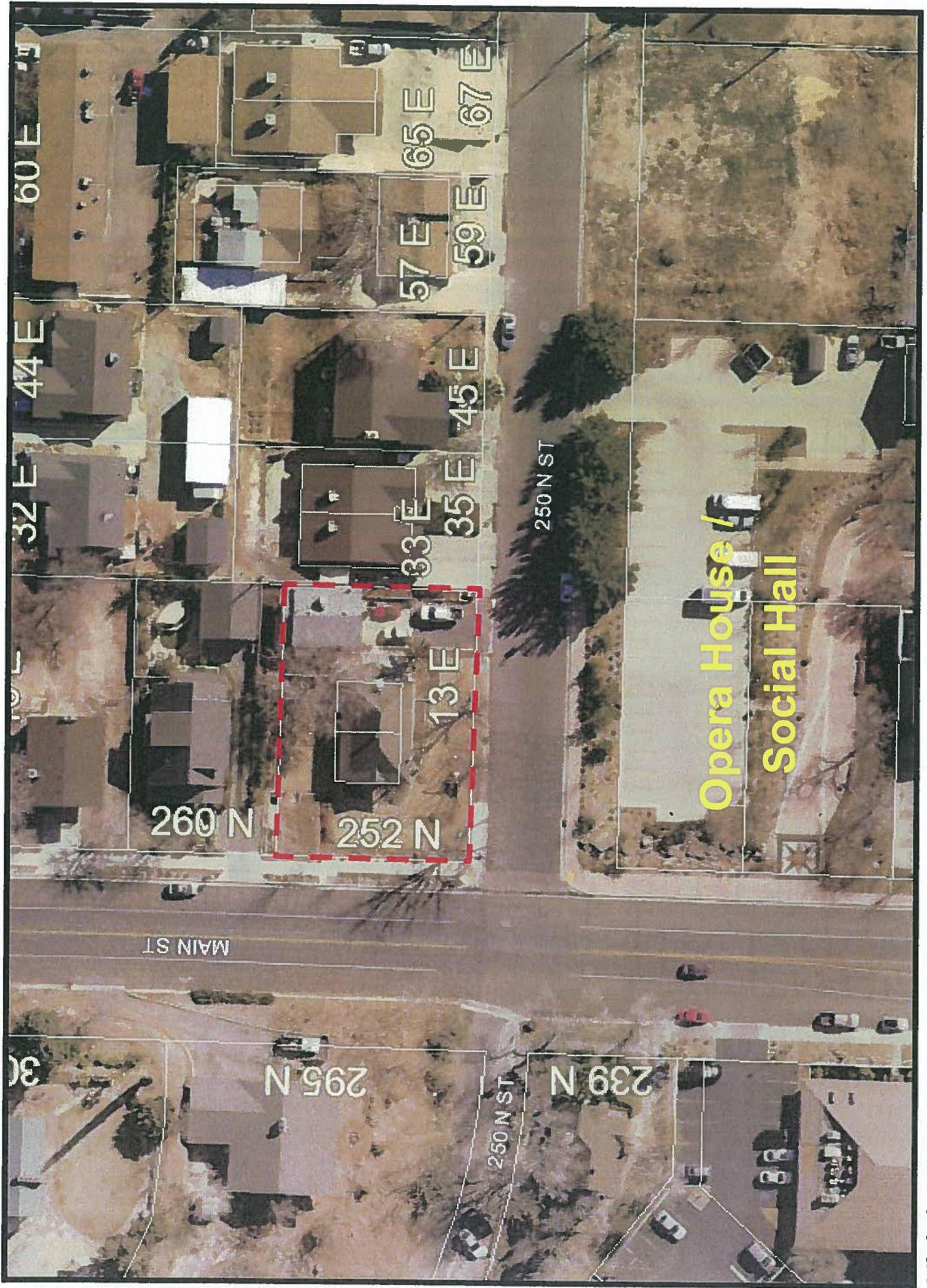
P.C.:

The Planning Commission recommends approval with the suggested findings listed below. The PC also wishes the council to emphasize Section 10-21-3.C to generate minimal traffic and control all parking to on-site, and subject to Legal Department review and approval.

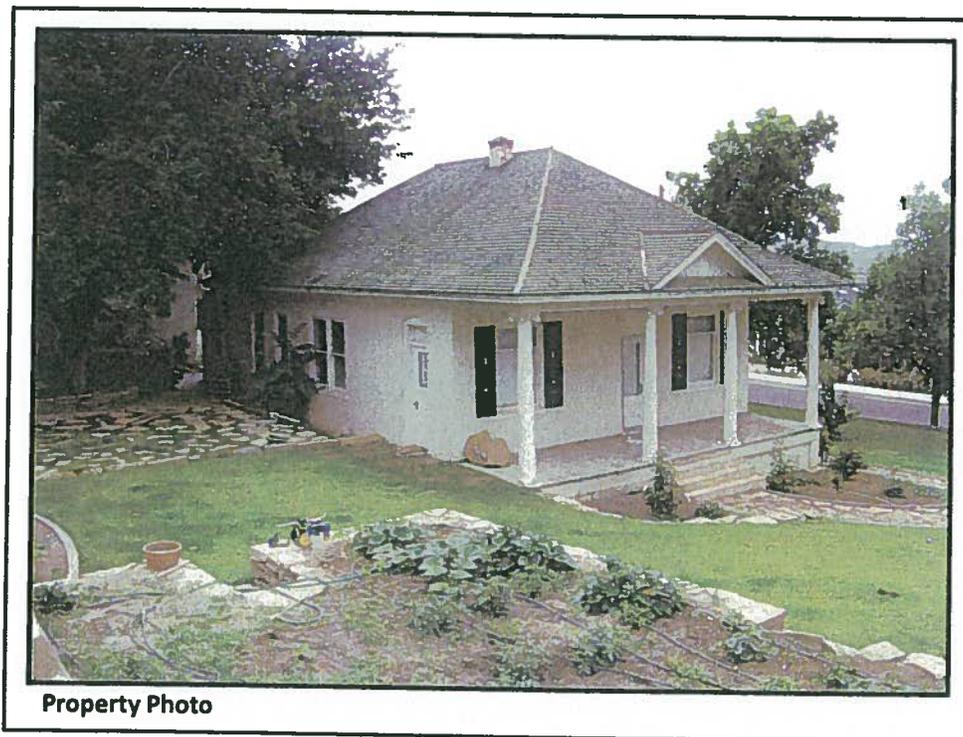
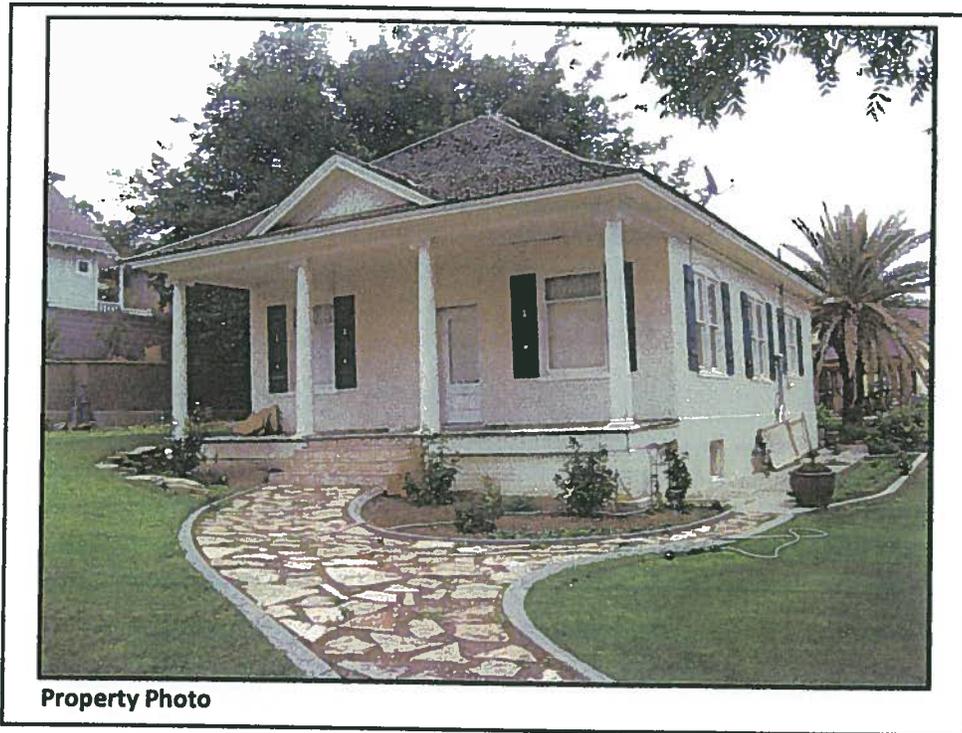
Findings: The following standards must be met to mitigate the reasonably anticipated detrimental effects **if imposed** as a condition of approval:

Yes	N/A	Category	Description
	N/A	A. Noise	1. Excessive noise (unwanted or undesired sound) can cause serious impacts to health, property values, and economic productivity. Conditional uses shall not impose excessive noise on surrounding uses. "Excessive noise" generally means noise that is prolonged, unusual, or a level of noise that in its time, place and use annoys, disturbs, injures or endangers the comfort, repose, health, peace or safety of others.
	N/A	B. Dust	1. Comply with all air quality standards, state, federal and local. 2. Use shall not create unusual or obnoxious dust beyond the property line.
	N/A	C. Odors	1. Comply with all air quality standards, state, federal and local. 2. Use shall not create unusual or obnoxious odors beyond the property line.
		D. Aesthetics	1. Blend harmoniously with the neighborhood so the use does not change the characteristics of the zone and the impact of the use on surrounding properties is reduced.
Discourage any on-street parking	N/A	E. Safety	1. Take the necessary measures to avoid or mitigate any safety problems created by the use, including problems due to traffic, rock fall, erosion, flooding, fire, hazardous materials, or related problems. 2. Uses shall not locate within the 100-year floodplain as identified by FEMA unless expressly recommended by the city engineer in conformance with city engineering standards and all state, local and federal laws.
Keep parking on site and regulate number of vehicles permitted		F. Traffic	1. Traffic increases due to the conditional use shall not cause streets or nearby intersections to fall more than one grade from the existing level of service grade or fall below a level of service "D". 2. Uses shall follow city access management standards and not create hazards to other drivers or pedestrians.

No change in existing height	N/A	G. Height	<p>1. Buildings shall fit into the overall context of the surrounding area.</p> <p>2. Photo simulations are required showing all sides of the building(s) and showing how the building fits into the surrounding area to include not less than five hundred feet (500') in all directions from the building and including its relationship to nearby ridges, hills, and buildings.</p>
	N/A	H. Hours of Operation	<p>1. Nonresidential uses operating in proximity to or within a residential zone shall limit hours of operation so as not to disturb the peace and quiet of the adjacent residential area.</p>
	N/A	I. Saturation / Spacing	<p>1. To the extent feasible, nonresidential uses allowed in residential zones as conditional uses shall be dispersed throughout the community rather than concentrated in certain residential areas.</p>
Maintain historical character of home.		J. Maintain Character and purpose of zone	<p>1. Uses shall be consistent with the character and purpose of the zone within which they are located.</p>
	N/A	K. Public Health	<p>1. Use shall comply with all sanitation and solid waste disposal codes.</p> <p>2. Use shall not create public health concerns. (Ord. 2007-01-001, 1-4-2007)</p>



Vicinity Map





Conditional Use Permit Application – 252 N. Main, The Julia Graff Home



Introduction:

The Julia Graff Home, located at 252 N. Main St, St George, Utah is a modest, but important example of a home characteristic of the early residents of St. George and embodies the architectural style and quality construction that typified the period. And its history is woven intricately into the fabric of this remarkable community.

Last month, the City Council designated this home as a landmark site in the City of St George. You will find more information about the house in "Landmark and Historic Sites, 2nd Edition 2011.

Overview:

The preservation of a historic structure does not come without cost and it is our request that the Julia Graff Home be granted a Conditional Use Permit as a vacation home to help defray the cost associated with maintaining its historic condition.

We believe that the location of the property, across the street from the "Old Social Hall" as we like to refer to it, and proximate to Ancestral Square, and down the street from the Brigham young home, make it an ideal location for a vacation property.

Additionally there are few residential properties that are found nearby, making this an ideal buffer between the busy commercial activities of old town St. George and the quiet neighborhoods to the north.

Our plan is to provide a unique historic home, close to all of the activities that downtown has to offer. We will require a minimum 3-day stay and our target market is couples or small families, with a maximum occupancy of 6 guests in the main home.

Our planned development of the property will commence fall 2014, and will utilize the small garage apartment as living quarters during the renovation. After renovations are complete, the garage apartment will continue its current use as a long term rental property, so there will be resident's onsite year round and the main home will be offered as a fully furnished vacation home.

This use is consistent with several other historic properties located nearby and seems an appropriate use of this property.

The owners, David & Donna Walker, from North Ogden, Utah, have extensive experience renovating historical buildings. They live in a 1933 Brick Bungalow that has been completely renovated and own a historical building in Brigham City, Utah.

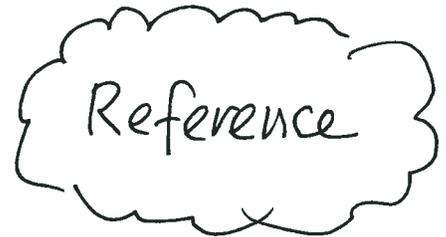
Request:

We respectfully request that the City Council grant a Conditional Use Permit for the Julia Graff Home as a vacation home.

Thanks for your kind consideration.

David & Donna Walker

CUP Narrative



THE CITY OF ST GEORGE
COMMUNITY DEVELOPMENT DEPARTMENT
175 EAST, 200 NORTH
ST GEORGE UTAH, 84770

ACTION SUMMARY

HISTORIC PRESERVATION COMMISSION AGENDA REPORT: 06/25/2014
CITY COUNCIL AGENDA REPORT: 07/17/2014

LANDMARK SITE DESIGNATION: CASE NO. 2014-HPC-001
Julia Graff Home – 252 N. Main Street

Case No. 2014-HPC-001, a request to designate the property at 252 N. Main Street as a City Landmark Site. The home is known as the 'Julia Graff Home' The property is located at 252 N. Main Street. David & Donna Walker are the Applicants. This request was APPROVED by the City Council (5-0) on July 17, 2014.

Landmark Commission Report – 252 N. Main, The Julia Graff Home



The Julia Graff Home, located at 252 N. Main St, St George, Utah is a modest, but important example of a home characteristic of the early residents of St. George and embodies the architectural style and quality construction that typified the period. And its history is woven intricately into the fabric of this remarkable community. We respectfully request that it be designated a Landmark Site.

The process of designating this home as a landmark site (historically significant) appears to have been started some time ago, as evidenced by its appearance in many historical documents, a prominently placed historical marker in the front yard, and publication in the Landmark Commission publication titled "Landmark and Historic Sites, 2nd Edition 2011. For reasons we cannot determine the landmark designation was not followed through to completion.

Overview:

The Julia Graff home sits on a .30 acre lot, which was divided from the original St. George City Survey Plat D BLK 3 (SG) Lot: 4. It was built in 1917 by Albert E. Miller, who also constructed the Dr. Pike home at 189 N Main (a Landmark Site). Albert E. Miller was a prominent citizen of St. George who later served multiple terms as mayor and constructed (or assisted in constructing) numerous other early St. George buildings. This fact alone is of historical significance, especially since 252 N. Main has not experienced significant additions or renovations from the original construction.

The style of the home is a Colonial Revival Bungalow, typified by prominent columns at the front entrance, arched brick keys over the windows and doors, and evenly spaced windows of matching size. The layout of the home is simple, but spacious given the square footage, with living, dining, and kitchen arranged in sequence from front to back on the south side of the home; and a parlor (with separate entry door), two bedrooms, and a bath found on the north side of the original home.

The original wood floors are still in good use today along with very interesting period cabinetry, doors, and trim.

An additional room located at the rear on the North side of the home, which served as a bath and/or laundry in later years was added, during its only know remodel. Remarkably, it appears to be the only major structural addition to the home from its original construction. This is significant as many of the older pioneer and historic homes have been added on numerous times (and often with very different architectural style).

There are four original doors in the home (main floor), the main entrance on the West, the Parlor on the North, and two back doors (bedroom and kitchen). This was unique among other homes and combined with the use of high ceilings and movable transoms above the interior doors provided improved ventilation. Numerous historical documents list this as the first home in St. George with this

Ref. Landmark Report
slit 1 of 3

architectural element.

The construction method is brick over adobe, approximately 30' wide and X 45' deep. It is built upon a foundation of black lava rocks, with a solid adobe wall, 12" wide, running the entire length of the home which divides the structure near center. The southern portion of the home has a basement which runs the entire length of the house and is well lit with 3 sets of windows facing south. The original home had two separate entrances into the basement and may very well have been used as separate living quarters for additional family members who lived there as adults. Both the 1920 and 1940 Census indicates adult children living with Julia.

The exterior of the home has a masonry finish, which in combination with the interior adobe walls, has weathered the extreme temperatures very well. The interior adobe wall not only provided structural support for the 16.5' span above the living, dining, and kitchen rooms; but undoubtedly provided significant thermal mass and temperature stability.

The roof is a simple gable with hips on the east and west end. It is interesting to note that the Dr. Pike home has no hipped roof, but rather extends over a more substantial porch and includes living space in the upper floor. It is likely that Julia simply had insufficient funds to pay for the extra room, which also created a more substantial appearing home.

The home is also indicated as the first in St. George to have closets in the bedrooms, although by today's standards they are quite small.

We submit that the home meets the Landmark Site qualities as described in the Property Information Narrative, below.

Property Information Narrative:

Section A: (Must meet all requirements)

1. Is it located within the boundaries of the City of St. George?
 - a. Yes, Property is at 252 N. Main
2. Is it a minimum of fifty (50) years old?
 - a. Yes, the home was constructed during WWI and is about 97 yrs old
3. Does it retain its historic integrity in that there are no major alterations or additions that have obscured or destroyed the significant historic features?
 - a. Yes, aside from a small addition that is not visible from the street and a back porch cover, the home is in its original condition insofar as we can determine.

Section B: (Must meet at least one of these requirements)

4. N/A - Not Listed in National Register of Historic Places
5. N/A - Not associated with significant city history
6. The Julia Graff house is associated with two significant individuals, the first being her son Emil Graff who became a very successful merchant and rancher in Washington County. The second being Albert E. Miller, the builder of this home and multi-term mayor of St. George.

7. The Julia Graff house is distinctive in several ways. It is reported to be the first home in St. George to incorporate high ceilings and movable transoms above the doors (which improved circulation and cooling), and it was the first home in St. George to have closets in bedrooms. Additionally, it was built by Albert E. Miller, who built or assisted in building many structures in St. George, including the Dr. Pike landmark home at 189 N. Main Street. Finally, the home seems to indicate an important transition in construction methods, from stick framing and wooden exterior or adobe exteriors, to a more permanent brick masonry exterior which is significantly more durable.
8. N/A - not an archaeological site

Without significant upgrades, which will destroy much of its historic nature, the home will not likely remain in its current condition as a primary residence. The most recent owners began modernizing the home by removing walls and period architectural elements. Fortunately this did not affect the home's exterior.

Our plan, indeed a contingency in the purchase contract, is to preserve and enhance the historic qualities of the home and obtain a conditional use permit as a long term vacation rental (no overnight stays less than 3 days).

We believe this will allow us to maintain the yard and gardens and home in pristine condition, while providing a unique destination in the heart of St. George, with minimal impact on full-time residents.

Respectfully submitted,

David & Donna Walker



252 N Main



0 170 340 510 ft.

Map center: 1033082, 10011697



Scale: 1:1,741

Legend

- Towns
- Municipalities
- Subdivisions
- ▭ Parcels
- ▭ Streets
- ▭ Major
- ▭ Minor
- ▭ Primary Route
- ▭ Secondary Route
- ▭ Trail
- ▭ Other Roads
- ▭ Waterbodies
- ▭ Water Courses
- ▭ MAJOR; PIPELINE; CANAL
- ▭ Other
- ▭ Parcel Ownership
- ▭ U.S. Forest Service
- ▭ Bureau of Land Management
- ▭ State of Utah
- ▭ Wilderness Area
- ▭ Shivwits Reservation
- ▭ National Park Service
- ▭ State Park
- ▭ Washington County
- ▭ Utah Division of Transportation
- ▭ Municipally Owned
- ▭ Water Conservancy District
- ▭ School District
- ▭ Utah Division of Wildlife Resources
- ▭ PICT 2009

This plat is furnished for information only. No liability is assumed by Assessor's or Recorder's Office as to correctness of such data.

- Washington County Recorder

Reference: From 2007 – an approved CUP for another landmark home. Reference for item **#6F** on the 8/21/204 CC agenda “CUP for Landmark property at 252 N Main St”

Note the conditions used at that time may be similar to this case



ACTION SUMMARY

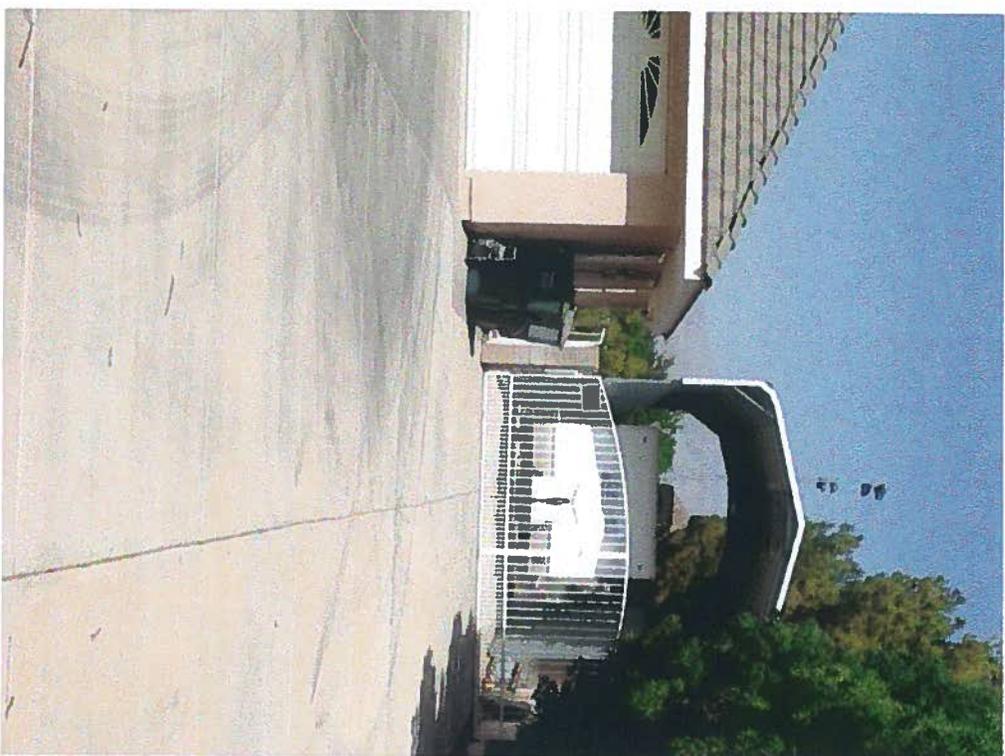
Case No. 2007-CUP-009, a request to operate a Historic Landmark Home for phased commercial uses. The applicant proposes that in Phase I the home be operated as a guest inn and / or a vacation home with 4 suites. The applicant also proposed a future Phase II for a building expansion with 6 smaller suites. This site was previously approved as a landmark site at the April 5, 2007, City Council meeting. This pioneer era home is known as the “William H. Thompson Home” (built in 1871) and is located north of the Brigham Young home. The zoning is RCC (Residential Central City). The property is located at 212 North and 100 West. The APN is SG-732. The owner is Interstate Rock Products. The representative is Mr. Michael Madsen.

This request was approved with conditions by the City Council on June 7, 2007.

City Council conditions:

1. The applicant shall maintain and enhance the level of landscaping existing at the time of this approval.
2. On site parking shall be approved by city staff.
3. The applicant shall comply with the requirements of the City Traffic Engineer for access.
4. The applicant will comply with city code requirements for hotels, except a waiver is approved for no on-site manager, and rooms will not be required to be cleaned on a daily basis but only upon change of guests. A daily room cleaning service will be available to guests for a fee, and an off-site office will be maintained for record keeping and for guests and others to contact when necessary.
5. At a minimum once a week room cleaning shall occur.
6. Cleaning shall occur between any changes in guests.
7. If the building should revert back to a single family residence use no other uses will be permitted unless approved through a new separate CUP.
8. This location is not approved for office or retail use without the approval of a CUP for such use.

Sugar Wv.



PCR ITEM 4B

CUP / Garage Height

PLANNING COMMISSION AGENDA REPORT: 08/12/2014
CITY COUNCIL MEETING: 08/21/2014

CONDITIONAL USE PERMIT Case No. 2014-CUP-016

Request: To construct a **detached accessory structure** with a maximum ridge height of approximately eighteen feet two inches (18'-2") for a proposed RV / horse trailer / tractor storage building. The structure will be metal and have 1,050 sq. ft. (30 ft. x 35 ft.)

Property: The property is located at 3030 Sugar Leo in the Bloomington Ranches.

Applicant: Mr. and Mrs. Holt
3030 Sugar Leo
St George, Utah 84790

Zoning: RE-37.5

Ordinance: Title 10, Chapter 7 Article A "Residential Estate Zones," Section 10-7A-4(B) reads: "*No accessory building shall be erected to a height greater than fifteen feet (15') unless reviewed by the Planning Commission and approved by the City Council as a conditional use permit.*" This structure will be approximately eighteen feet two inches (18'-2") to the ridge line, thus necessitating the purpose of this conditional use permit request.

Adj. Land: Single-family residences

Notice: Notice letters were sent to property owners within a 300 ft. radius and notice was posted in four (4) public places [on the City website, State website, and on two (2) bulletin boards in the City].

Comments:

1. The Planning Commission discussed this proposal at length. The primary concern was the aesthetics of using similar materials and colors as the primary residence. However, the zoning is RE (Residential Estate) and does not contain the language typically encountered with accessory structures which the PC & CC are accustomed with reviewing in the R-1 (Single Family) zones. Reference - in the R-1 zones; Section 10-7B-6.B "Detached Private Garages and Accessory Buildings"; Section 10-7B-6.B.8.b reads: "*Exterior shall look similar to the main structure by using the same building materials, colors, and design. (Ord. 2006-12-001, 12-7-2006)*". No such language exists in the RE zone.

2. The property is an interior lot with frontage & access on Sugar Leo.
3. The proposed detached structure will be setback 10 ft. from the side yard setback and will be approximately 70 ft. behind the existing home.
4. The proposed height to the ridge is eighteen feet two inches (18'-2") to accommodate an RV and other stored items.
5. The proposed structure will not encroach onto any City easements.
6. The detached structure will be constructed of metal with a brown roof ('Earth Brown') and beige ('Clay') sides to match the barn and residence. Staff encouraged the applicant to consider the possibility of treating the front of the building (as seen from Sugar Leo) with a more compatible surface material to match the home.

P.C.: The Planning Commission recommends approval with findings.

Findings: The following standards must be met to mitigate the reasonably anticipated detrimental effects **if imposed** as a condition of approval:

Yes	N/A	Category	Description
	N/A	A. Noise	1. Excessive noise (unwanted or undesired sound) can cause serious impacts to health, property values, and economic productivity. Conditional uses shall not impose excessive noise on surrounding uses. "Excessive noise" generally means noise that is prolonged, unusual, or a level of noise that in its time, place and use annoys, disturbs, injures or endangers the comfort, repose, health, peace or safety of others.
	N/A	B. Dust	1. Comply with all air quality standards, state, federal and local. 2. Use shall not create unusual or obnoxious dust beyond the property line.
	N/A	C. Odors	1. Comply with all air quality standards, state, federal and local. 2. Use shall not create unusual or obnoxious odors beyond the property line.
The detached structure will be constructed of metal. The colors will match the barn and home.		D. Aesthetics	1. Blend harmoniously with the neighborhood so the use does not change the characteristics of the zone and the impact of the use on surrounding properties is reduced.
	N/A	E. Safety	1. Take the necessary measures to avoid or mitigate any safety problems created by the use, including problems due to traffic, rock fall, erosion, flooding, fire, hazardous materials, or related problems. 2. Uses shall not locate within the 100-year floodplain as identified by FEMA unless expressly recommended by the city engineer in conformance with city engineering standards and all state, local and federal laws.

	N/A	F. Traffic	<p>1. Traffic increases due to the conditional use shall not cause streets or nearby intersections to fall more than one grade from the existing level of service grade or fall below a level of service "D".</p> <p>2. Uses shall follow city access management standards and not create hazards to other drivers or pedestrians.</p>
The detached structure will be approximately 18 feet in height.		G. Height	<p>1. Buildings shall fit into the overall context of the surrounding area.</p> <p>2. Photo simulations are required showing all sides of the building(s) and showing how the building fits into the surrounding area to include not less than five hundred feet (500') in all directions from the building and including its relationship to nearby ridges, hills, and buildings.</p>
	N/A	H. Hours of Operation	<p>1. Nonresidential uses operating in proximity to or within a residential zone shall limit hours of operation so as not to disturb the peace and quiet of the adjacent residential area.</p>
	N/A	I. Saturation / Spacing	<p>1. To the extent feasible, nonresidential uses allowed in residential zones as conditional uses shall be dispersed throughout the community rather than concentrated in certain residential areas.</p>
This detached structure is within the existing character of the residential estate zone.		J. Maintain Character and purpose of zone	<p>1. Uses shall be consistent with the character and purpose of the zone within which they are located.</p>
	N/A	K. Public Health	<p>1. Use shall comply with all sanitation and solid waste disposal codes.</p> <p>2. Use shall not create public health concerns. (Ord. 2007-01-001, 1-4-2007)</p>

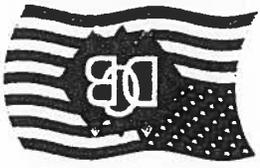
NARRATIVE

PROPOSED

Wendy Holt
3030 Sugar Leo Rd
St George, UT 84790

We have lived at this address for about 10 years. Our property size equals approximately 1.5 acres. We own a custom horse trailer and a new 2014 Tractor that sit in the hot St George sun. We want to provide a place to house these expensive items to protect them against the weather. In addition, we want to enhance the surroundings of our neighbors by providing a professionally designed and constructed building towards the back of our property. This will improve and organize the property since these items currently sit out in the open. The color selection will match that of our barn, as well as our home. It along with our barn, has direct emergency access along the south portion of the property.

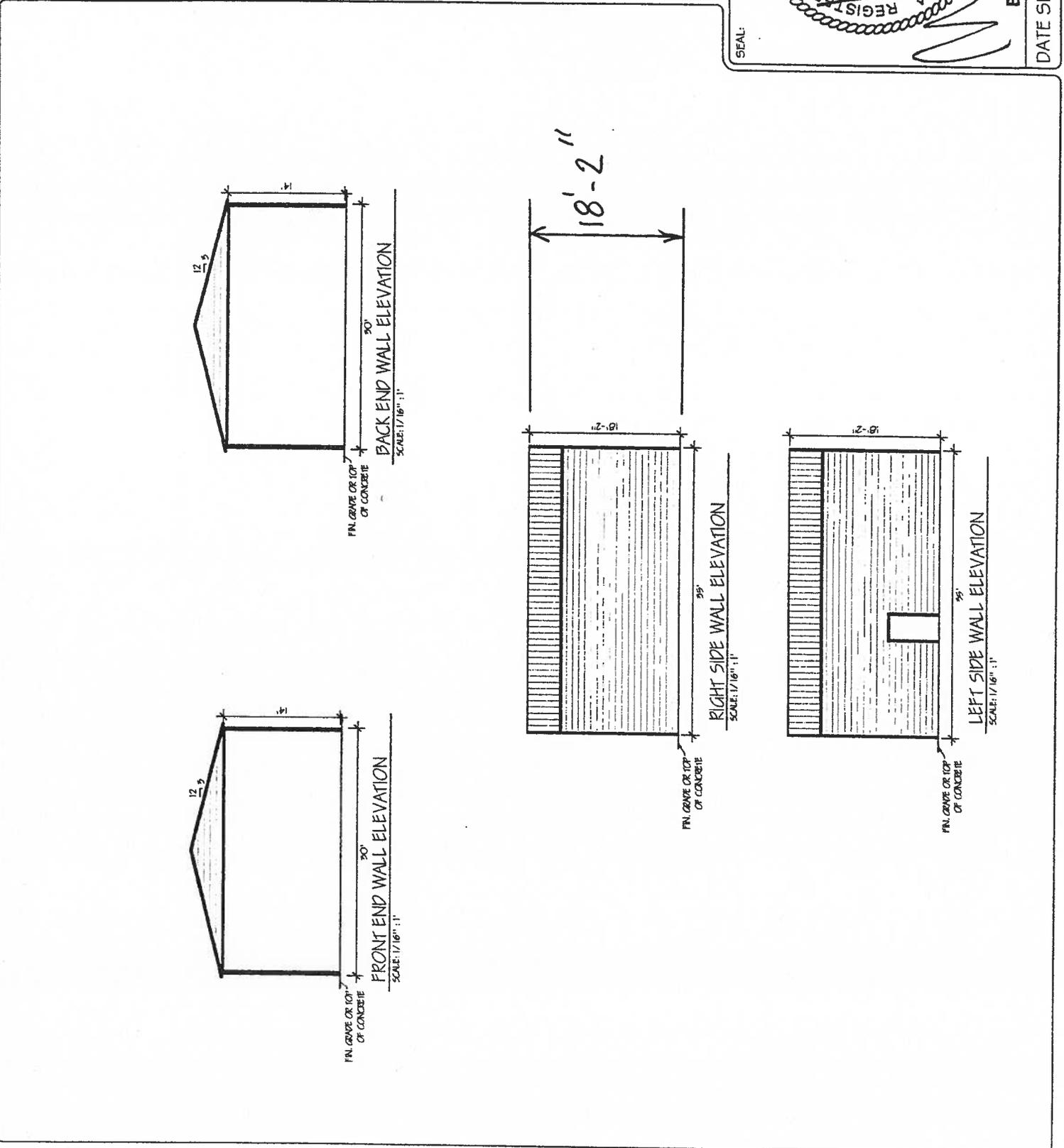
OWNER: WENDY HOLT	SHEET TITLE: ELEVATIONS
LOCATION: 3030 SUGARLEO ROAD ST GEORGE, UT 84790	PROJECT NO.: 230-14-0666
	DRAWN BY: OA
	DATE: 7/25/2014
	SHEET NO.: 2 OF 7


DB BUILDINGS, INC.
 Tel: 1-877-670-7678
 Fax: 1-801-224-0238

EXPIRES: 3/31/2015
 DATE SIGNED: JUL 25 2014

REGISTERED PROFESSIONAL ENGINEER
 No. 6314660
 OMAR A. ABU-YASEIN
 STATE OF UTAH

SEAL:



DATE: 7/25/2014 SHEET NO.: 1 OF 7
 DRAWN BY: OA
 PROJECT NO.: 230-14-0666
 SHEET TITLE: COVER SHEET
 OWNER: WENDY HOLT
 LOCATION: 3030 SUGAR LEO ROAD ST GEORGE, UT 84790

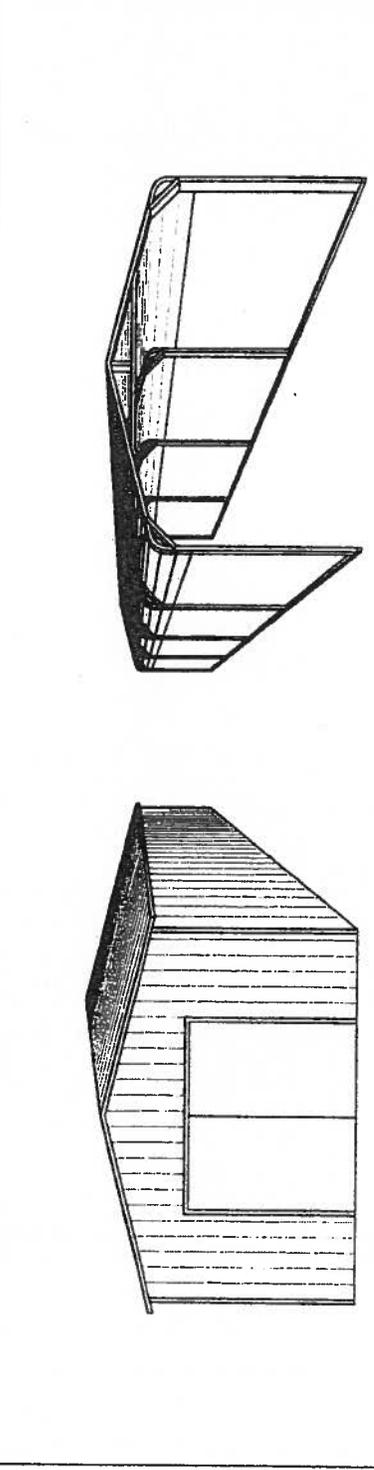
DREAM CARPORTS & BUILDINGS, INC.
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REGISTERED PROFESSIONAL ENGINEER
 No. 6314660
 OMAR A. ABU-YASEIN
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WENDY HOLT
 3030 SUGAR LEO ROAD
 ST GEORGE, UT 84790
 30' X 35' X 14'

DESIGN NOTES

- ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2012, OSHA, AISC 360, ASCE7-10, AWS D1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
- BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
- ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
- ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
- ALL FIELD CONNECTIONS SHALL BE TEKS #12 (1/4"X1/2").
- STEEL SHEATHING SHALL BE 29GA, CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=60KSI) OR EQ.
- ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
- STRUCTURAL TUBE 152 1/2"X2 1/2" - 14GA, IS EQUIVALENT TO 152 1/4"X2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.

DESIGN CRITERIA

- PREVAILING CODE: IBC 2012
 USE GROUP: U (CARPORTS, BARNS)
 RISK CATEGORY: I
 1. DEAD LOAD (D) D = 2.0 PSF
 2. ROOF LIVE / SNOW LOAD (Lr) Lr = 20 PSF
 3. SNOW LOAD (S) Ps = 30 PSF
 IMPORTANCE FACTOR Is = 0.80
 4. WIND LOAD (W) Vs = 105 MPH
 BASIC WIND SPEED C
 EXPOSURE C
 5. SEISMIC LOAD (E) O.4T6 / 0.254
 50s/ 50I
 DESIGN CATEGORY D
 IMPORTANCE FACTOR Ie = 1.00
- LOAD COMBINATIONS:
 1. D + (Lr OR S)
 2. D + (0.6W OR #0.7E)
 3. D + 0.75 (0.6W OR #0.7E) + 0.75 (Lr OR S)
 4. 0.6D + (0.6W OR #0.7E)

DRAWING INDEX

- COVER SHEET
- ELEVATIONS
- FLOOR PLAN & ANCHORS
- FRAME SECTION & DETAILS
- SIDE WALL FRAMING & DETAILS
- END WALL FRAMING & DETAILS
- FOUNDATION DETAILS

OWNER: WENDY HOLT
 LOCATION: 3030 SUGAR LEO ROAD
 ST GEORGE, UT 84790

SHEET TITLE: FRAME SECTION & DETAILS

PROJECT NO.: 230-14-0666

DRAWN BY: OA

DATE: 7/25/2014

SHEET NO.: 4 OF 7

DREAM CARPORTS & BUILDINGS, INC.



Tel: 1-877-670-7678
 Fax: 1-801-224-0238

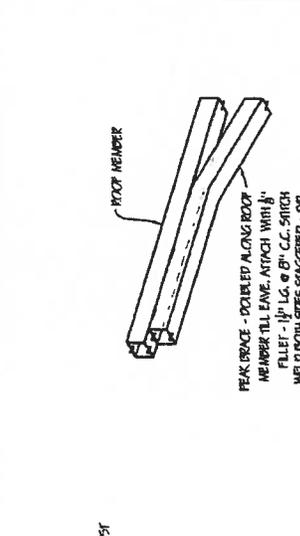
REGISTERED PROFESSIONAL ENGINEER
 No. 6314660
 OMAR A. ABU-YASEIN
 STATE OF UTAH

SEAL

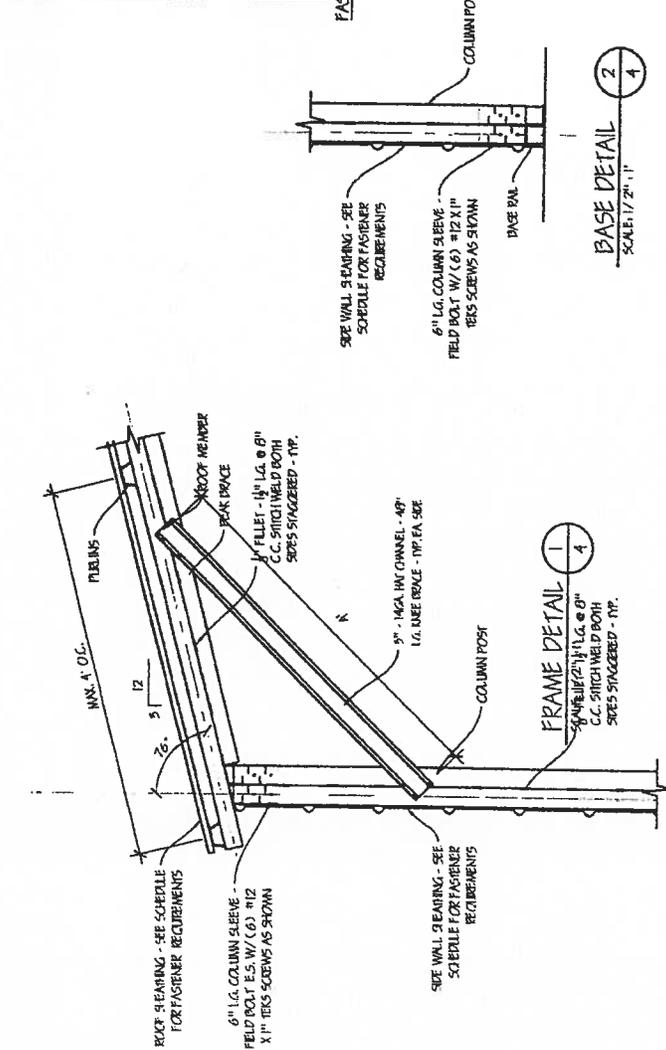
EXPIRES: 3/31/2015
 DATE SIGNED: JUL 25 2014

LOCATION	CORNER PANELS	SIZE LAPS	EDGE LAPS	EL SEWHERE
SPACING	6" C/C	MIN. 1	4" C/C	8" C/C

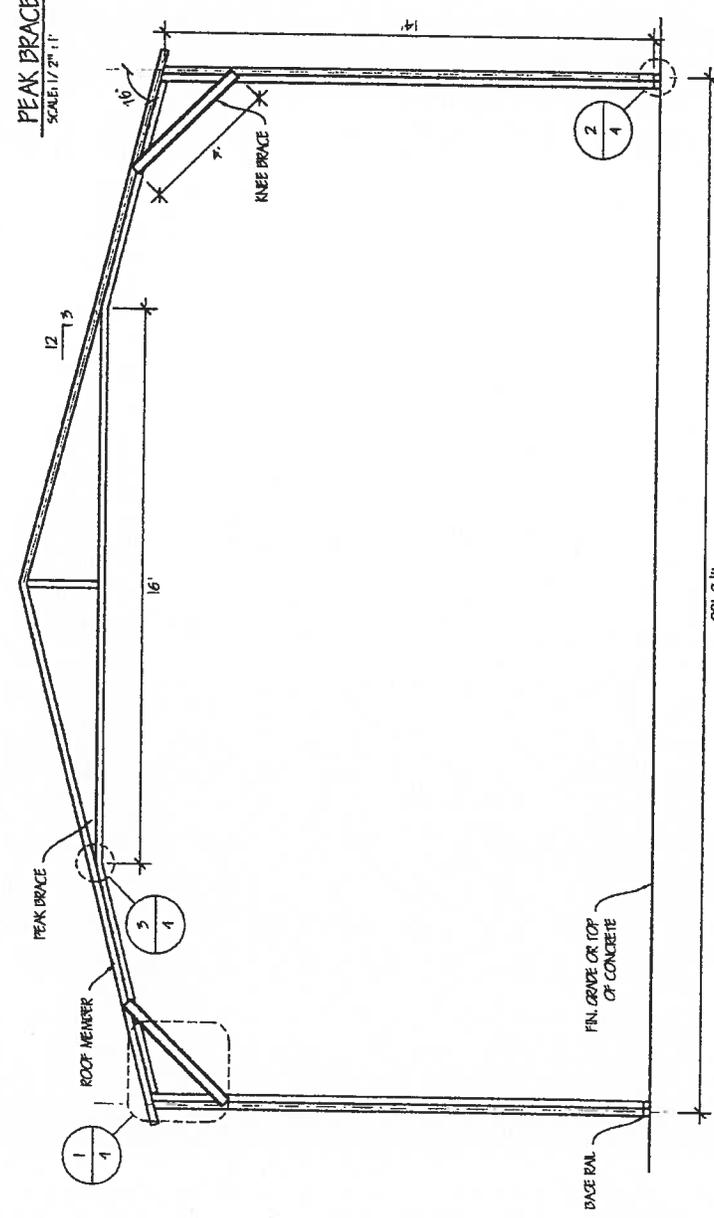
FASTENER TYPE	TESTS	1/2" SELF-DRILL SCREWS W/ NEOPRENE / STEEL WASHER
COLUMN POST	2" SQ. X 1/4" TUBE W/ 2" SQ. X 1/4" TUBE INSERT	
ROOF MEMBER	2" SQ. X 1/4" TUBE	
BASE RAIL	2" SQ. X 1/4" TUBE	
PEAK BRACE	2" SQ. X 1/4" TUBE	
KNEE BRACE	2" SQ. X 1/4" TUBE	
CONNECTOR SLEEVE	2" SQ. X 1/4" TUBE	
FURLINS	4" X 1/4" HAT CHANNEL	



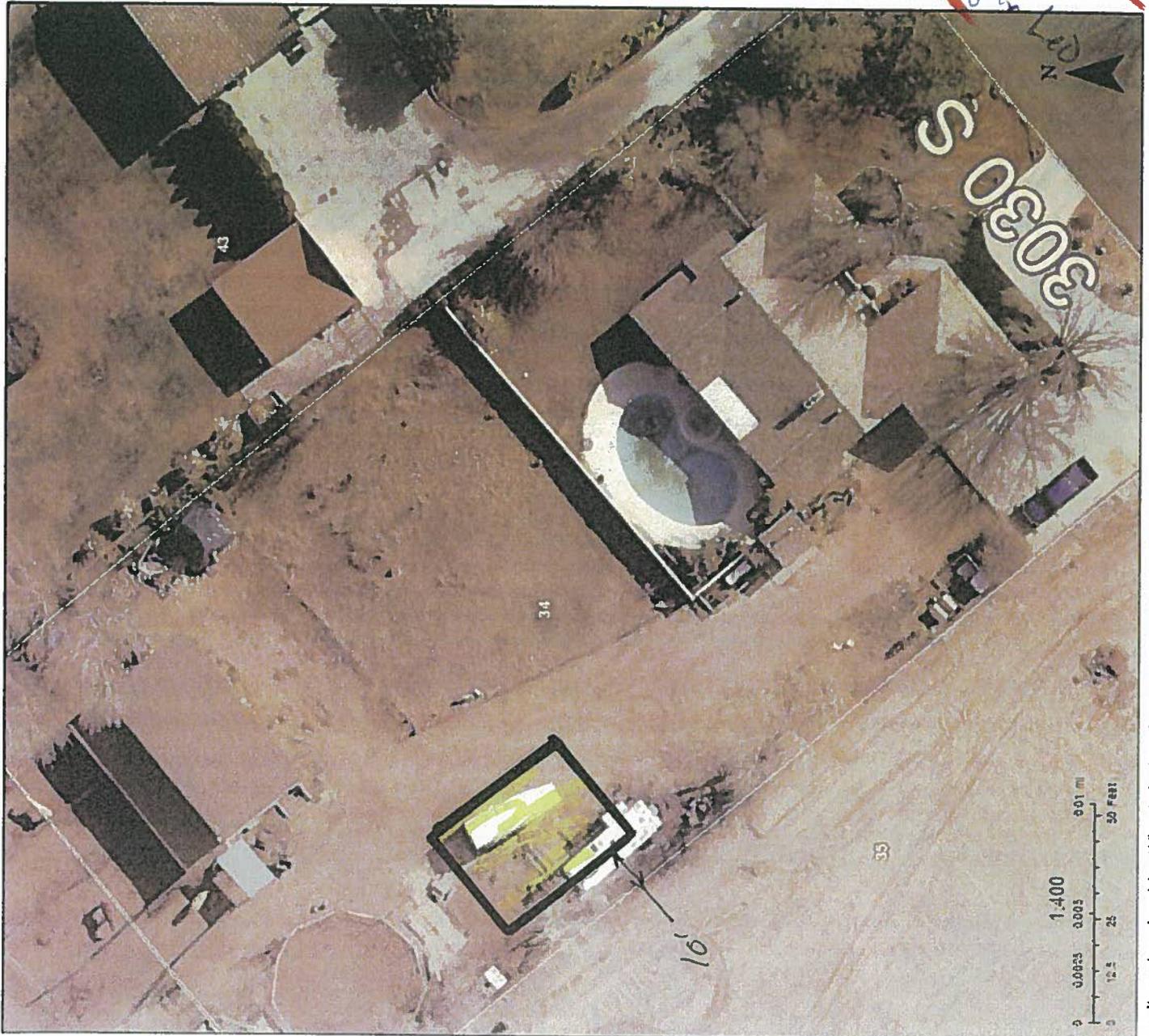
PEAK BRACE DETAIL
 SCALE: 1/2" = 1'

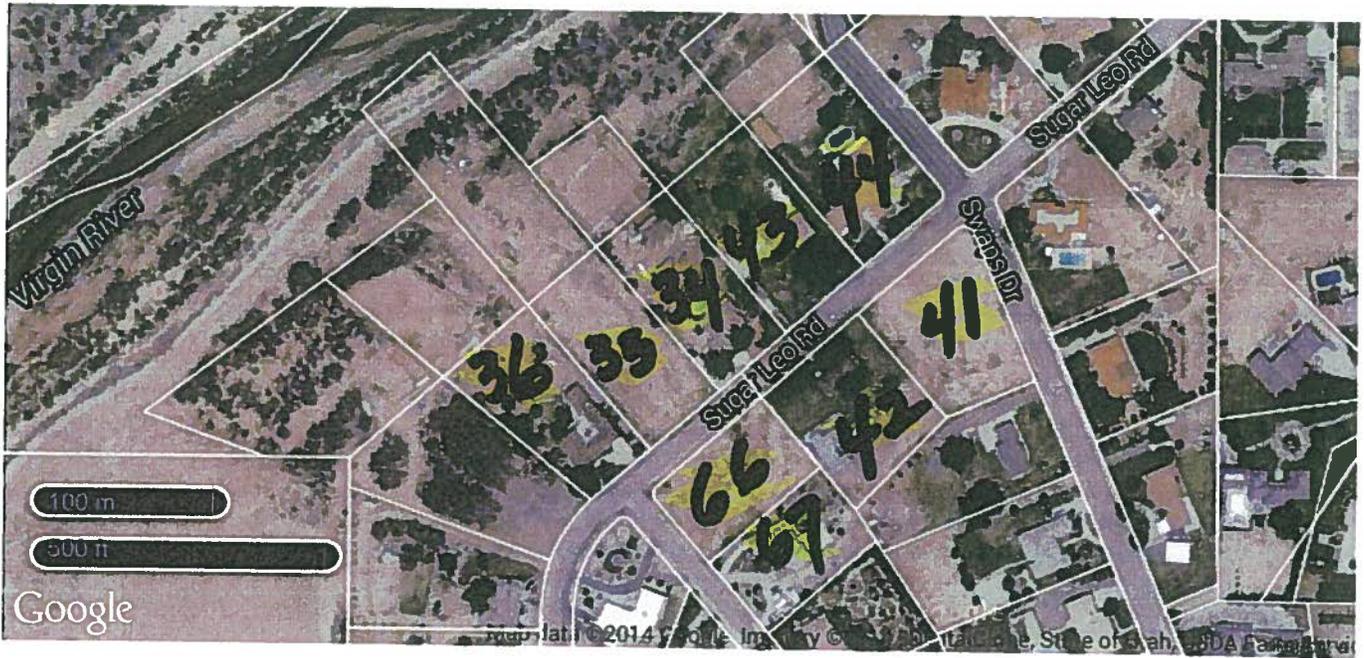


BASE DETAIL
 SCALE: 1/2" = 1'



FRAME SECTION
 SCALE: 3/16" = 1'





 Lot numbers

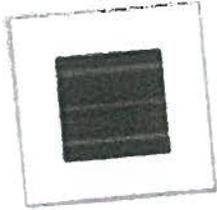


-  Proposed site
-  300' Radials

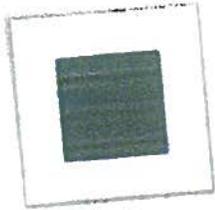
Phone

[Empty phone number input field]

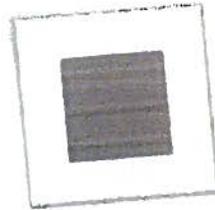
REQUEST CALL BACK



Black



Evergreen

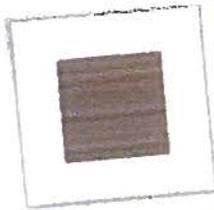


Quaker Gray



Clay

Sides



Earth Brown

Roof



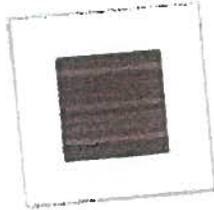
Pebble Beige



Slate Blue



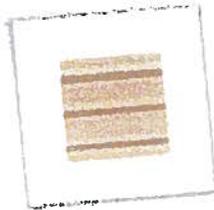
Barn Red



Burgundy



Pewter Gray

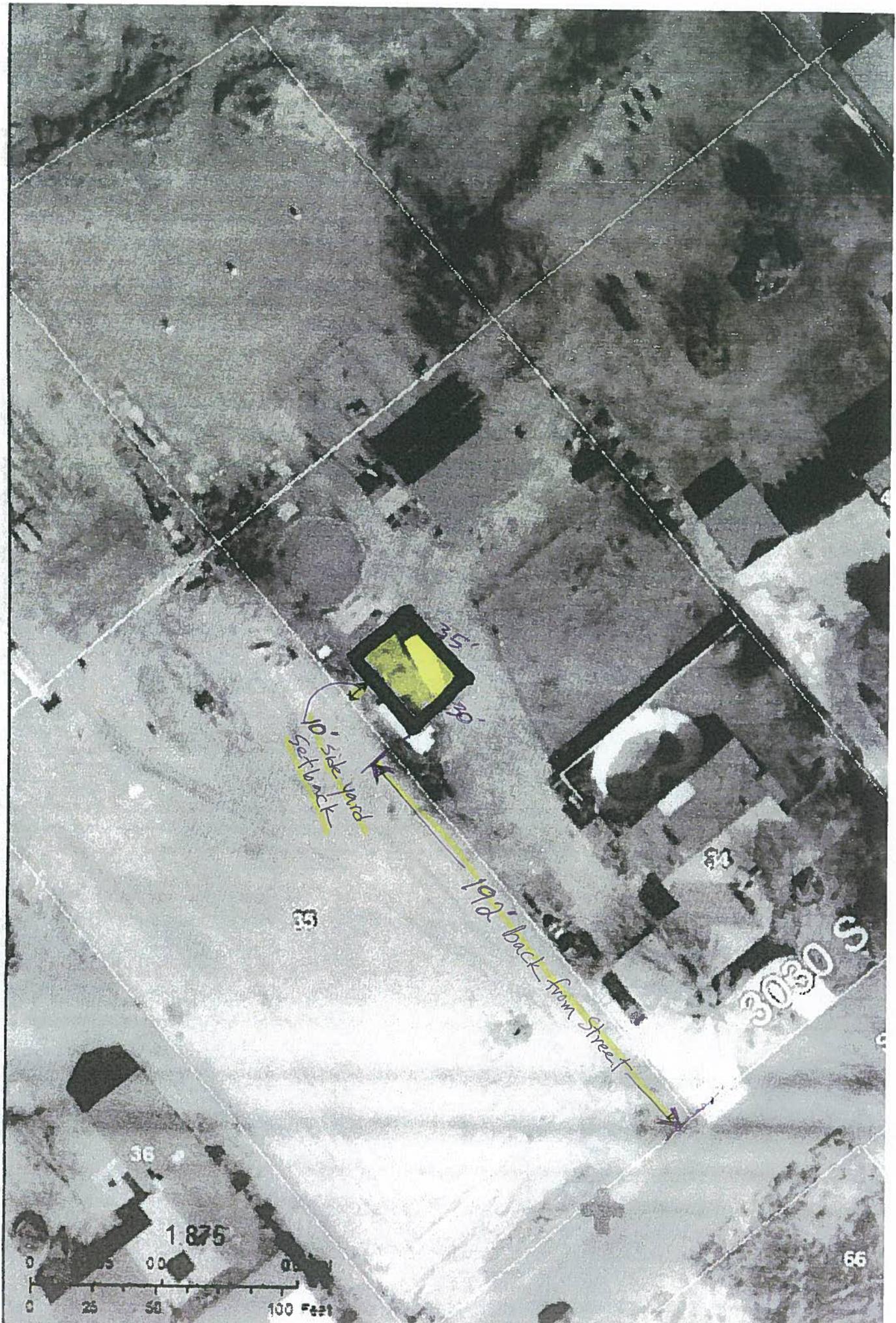


Rawhide



White

SHARE [Facebook icon] [Twitter icon] [Email icon]



35'
30'

10' side yard
setback

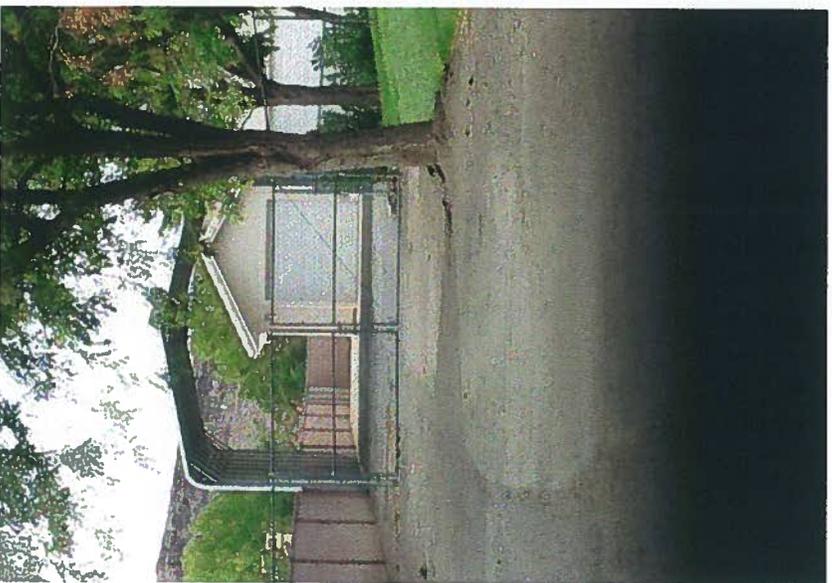
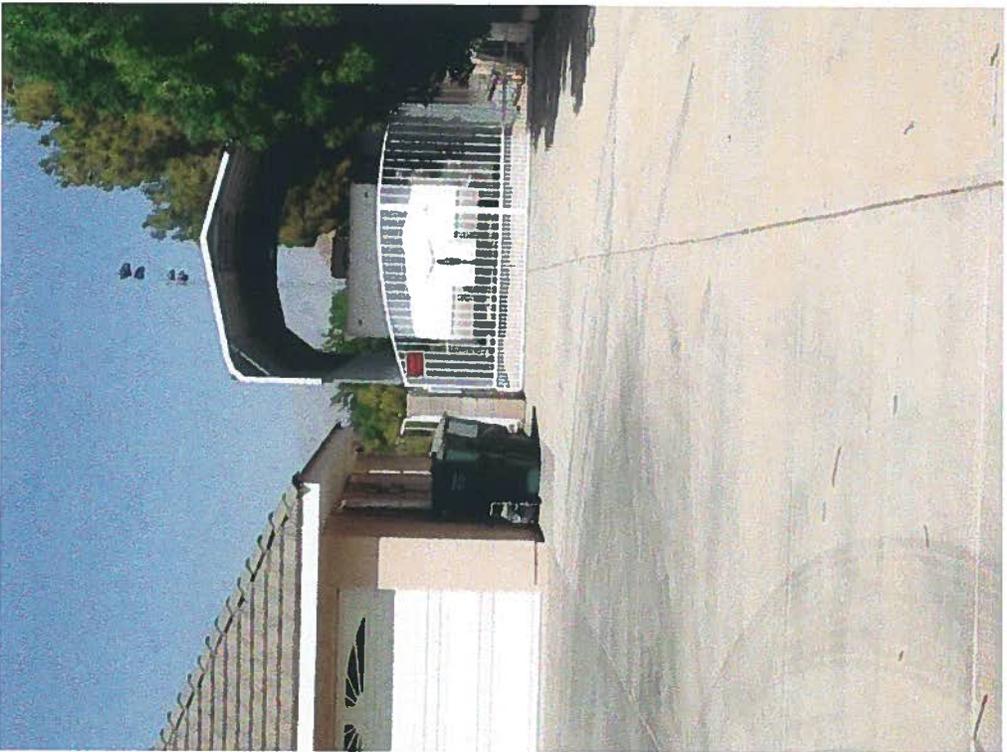
192' back from Street

3030 S

1875



66



PCR ITEM 4C

Cell Tower - CUP

PLANNING COMMISSION AGENDA REPORT: **06/10/2014 (Tabled)**
PLANNING COMMISSION AGENDA REPORT: **08/12/2014**
CITY COUNCIL MEETING: **08/21/2014**

CONDITIONAL USE PERMIT Case # 2014-CUP-011

- Request:** A conditional use permit to construct one (1) one hundred foot (100') high co-locatable wireless tower and to construct related multiple equipment enclosure(s).
- Project:** This project is called the "Verizon – UT4 Motor Home" and would consist of constructing one (1) co-locatable wireless tower with unmanned communications facilities.
- Background:** This item was heard at the June 10, 2014 PC meeting, but was tabled to allow the applicant time to return with a photo simulation as seen from the freeway.
- Related Case:** Reference wireless master plan - Case No. 2014-WMP-002 (*approved 2/11/2014 by Planning Commission*).
- Representative:** Mr. Jared White, Real Estate Specialist
Technology Associates
5710 South Green Street
Salt Lake City, Utah 84123
- APN:** SG-IND-P-18-B
- Zoning:** M1 (Industrial)
- Location:** Located in the original industrial park on Red Hills parkway east of Industrial Road.
- Area:** It is proposed to lease a 35 ft. x 40 ft area (1400 sq. ft.).
- Identification:** UT4 Motor Home
- Notice:** Notice letters were sent to property owners within a 300 ft. radius and notice was posted in four (4) public places [on the City website, State website, and on two (2) bulletin boards in the City].
- Height:** To construct a new one hundred foot (100') monopole wireless telecommunications facility.

Ordinance(s): Title 10, Chapter 22 “Wireless Telecommunication Facilities;”

Section 10-22-5: CONDITIONAL USES:

All wireless communication facilities other than those described in section 10-22-4 of this chapter as permitted uses shall be considered conditional uses and subject to review and approval as set forth in chapter 17 of this title. (1998 Document § 26-4)

(Note: A monopole exceeding thirty five feet (35’) in an industrial zone is not listed as a permitted use and thus requires a CUP).

10-22-6: FACILITY TYPES:

C. Monopole With Antennas And Antenna Support Structures: The maximum visible width of antennas and antenna mounting structures on a monopole shall not exceed eight feet (8’) in height or thirteen feet (13’) in width as viewed looking directly at the monopole at the same elevation as the antennas and antenna mounting structure (see figure 3 attached to the ordinance codified herein and on file in the city office). No such antenna shall be located within one hundred fifty feet (150’) of a residential zone unless approved by the planning commission. (1998 Document § 26-5; amd. 2003 Code)

(Note: This site is not within one hundred and fifty feet (150’) of any residences)

10-22-7: ADDITIONAL STANDARDS:

A. Height Limit: The height limit of any tower or pole is one hundred feet (100’). Each tower or pole shall require a conditional use permit, unless exempted in section 10-22-4 of this chapter.

(Note: The monopole may not exceed 100 ft. maximum, 100 ft. is requested)

B. Collocation: It is the policy of the city to encourage co-location of facilities wherever feasible. The burden will be on the applicant to demonstrate why collocation is not feasible.

(Note: This is a new site and co-location is proposed).

C. Prohibited Areas: Monopoles or towers shall not be allowed within any required front yard setback nor within any required landscaped area, buffer area or parking area.

(Note: This proposal is not in the front setback or landscape area).

E. Accessory Buildings to Antenna Structures: Accessory buildings to antenna structures must comply with the required setback, height and landscaping requirements of the zoning district in which they are located. Monopoles shall be fenced with a six foot (6') vinyl coated chainlink fence or other fencing as approved or required by the planning commission. The climbing pegs shall be removed from the lower twenty feet (20') of the monopole. All power lines on the lot leading to the accessory building and antenna structure shall be underground.

(Note: The applicant proposes a six foot (6') high chain link fence around the tower and shelters. All setbacks must be met.)

F. Historic Districts: Any antenna proposed for a location within a historic district or on a landmark site is subject to approval through the historic preservation commission and planning commission.

(Note: This is not in a historic district)

I. Engineering Review:

1. The city may, if it deems necessary, cause each site to be reviewed by a qualified electrical engineer. The costs shall be borne by the applicant. This review shall indicate whether or not the proposed facility will interfere with city, county or state communication facilities. In the event the new facility creates an electrical disturbance to these communication wavelengths, the applicant shall take the appropriate action to remove all interference generated by the new facility. Such remedial action may include changing the frequency that is broadcast or relocating the facility to a new location.

2. The electrical engineer may also review the submitted information to determine if other sites are available to achieve an equivalent signal distribution and not significantly affect the operation of the wireless communication facility. Such a review shall be made when an applicant indicates that no other acceptable site exists.

J. Permits: Prior to the construction of any facility, the applicant shall obtain the proper building permits, encroachment permits and other permits as required by city codes. (1998 Document § 26-6)

Narrative: The applicant has provided a brief narrative (see attached)

Comments: The city maintains a master plan for each wireless company in the Community Development Department. This site was shown on related Case No. 2014-WMP-002 (master plan – approved by council on February 11, 2014).

This applicant requests permission to establish one (1) new Verizon cell tower site.

The site could eventually be occupied by at least four (4) users (co-located) on one tower.

The proposed wall enclosure height of six feet (6') meets the maximum allowable height of six feet (6') that the City may permit. It is recommended that the applicant add earth tone slats to the chain link to help screen the site.

The applicant's goal is to increase coverage of wireless services to the area.

The proposed tower would be a steel monopole 100 feet high. Note that the maximum tower height permitted by code with an approved CUP is 100 ft. per Section 10-22-7.

An equipment shelter building for each client would be required on the site.

In addition to any conditions the Planning Commission recommends, CUP findings (attached below) will also be required.

P.C.: The Planning Commission recommends approval with findings.

Findings:

The following standards must be met to mitigate the reasonably anticipated detrimental effects **if imposed** as a condition of approval:

Yes	N/A	Category	Description
	X	A. Noise	1. Excessive noise (unwanted or undesired sound) can cause serious impacts to health, property values, and economic productivity. Conditional uses shall not impose excessive noise on surrounding uses. "Excessive noise" generally means noise that is prolonged, unusual, or a level of noise that in its time, place and use annoys, disturbs, injures or endangers the comfort, repose, health, peace or safety of others.
	X	B. Dust	1. Comply with all air quality standards, state, federal and local. 2. Use shall not create unusual or obnoxious dust beyond the property line.
	X	C. Odors	1. Comply with all air quality standards, state, federal and local. 2. Use shall not create unusual or obnoxious odors beyond the property line.

PC - determine if any aesthetic concerns		D. Aesthetics	1. Blend harmoniously with the neighborhood so the use does not change the characteristics of the zone and the impact of the use on surrounding properties is reduced.
Meet related fire and electrical codes		E. Safety	1. Take the necessary measures to avoid or mitigate any safety problems created by the use, including problems due to traffic, rockfall, erosion, flooding, fire, hazardous materials, or related problems. 2. Uses shall not locate within the 100-year floodplain as identified by FEMA unless expressly recommended by the city engineer in conformance with city engineering standards and all state, local and federal laws.
	X	F. Traffic	1. Traffic increases due to the conditional use shall not cause streets or nearby intersections to fall more than one grade from the existing level of service grade or fall below a level of service "D". 2. Uses shall follow city access management standards and not create hazards to other drivers or pedestrians.
A CUP is required for a height of 100ft.		G. Height	1. Buildings shall fit into the overall context of the surrounding area. 2. Photo simulations are required showing all sides of the building(s) and showing how the building fits into the surrounding area to include not less than five hundred feet (500') in all directions from the building and including its relationship to nearby ridges, hills, and buildings.
	X	H. Hours of Operation	1. Nonresidential uses operating in proximity to or within a residential zone shall limit hours of operation so as not to disturb the peace and quiet of the adjacent residential area.
	X	I. Saturation / Spacing	1. To the extent feasible, nonresidential uses allowed in residential zones as conditional uses shall be dispersed throughout the community rather than concentrated in certain residential areas
Is monopole location consistent with approved master plan		J. Maintain Character and purpose of zone	1. Uses shall be consistent with the character and purpose of the zone within which they are located.
	X	K. Public Health	1. Use shall comply with all sanitation and solid waste disposal codes. 2. Use shall not create public health concerns. (Ord. 2007-01-001, 1-4-2007)

SELECTED MINUTES FROM

**PLANNING COMMISSION
CITY OF ST. GEORGE
WASHINGTON COUNTY, UTAH
June 10, 2014 – 5:00 PM**

- D. Consider a request for a Conditional Use Permit from 'Verizon' for permission to construct one (1) one hundred foot (100') high co-locatable wireless tower (mono pole cell tower), to construct a block wall enclosure, and to install related multiple equipment enclosures as a conditional use under Section 10-22-5 of the Zoning Ordinance. The property is zoned M-1 (Industrial), is generally located in the original industrial park on Red Hills Parkway east of Industrial Road (APN SG-IND-P-18-B), and the project is referred to as "**Verizon – UT4 Motor Home.**" Case No. 2014-CUP-011.

Ray Snyder went through the PowerPoint.

Ray Snyder presented the following:

Verizon has submitted a photo simulation of the tower. They have done so but they have not submitted a view from the freeway. They can have more co-locators at this location due to height. Under the comments we do have a master plan as seen in February. The site could eventually be occupied by at least four (4) users (co-located) on one tower. The proposed wall enclosure height of six feet (6') meets the maximum allowable height of six feet (6') that the City may permit. It is recommended that the applicant add earth tone slats to the chain link to help screen the site. The applicant's goal is to increase coverage of wireless services to the area. The proposed tower would be a steel (galvanized) monopole 100 feet high. Equipment shelters would be required for any users. We have allowed cells towers in Fort Pierce before. Staff concerns are how close it is to the freeway and the visibility of it.

Tyler (Verizon Representative) noted the simulation is from 350 West. Clarification on the location; we were proposed in the southwest corner but there is a Rocky Mountain Power line there so we have to move to the southeast corner. The main question is why 100'? It's the same as before. This provides the full coverage. If we were to go lower we would need more sites. The 60' at Turtle was due to residences. As this is allowed by code at 100' and is in an industrial area, we chose it. It will be visible from the freeway. The towers are becoming to be like power poles where they're seen everywhere. It will be seen but no more than a power line and it does provide the coverage that the area demands. We want the very best coverage with the fewest towers. This tower offloads multiple towers and makes a significant difference.

Commissioner Diane Adams asked if the property is privately owned and what business is there.

Tyler (Verizon Representative) answered that it's a diesel mechanic shop. Commissioner Ro Wilkinson inserted that an industrial area is a good place to have a tower.

Commissioner Nathan Fisher agreed that it's a good area. We should take advantage of the 100' for co-location. Seeing the height from the freeway would have been nice. I would like to see it before approving it.

Ray Snyder commented that they did provide visuals from the other street but staff too would like to see it from the freeway. It can be tabled and brought back or it can be conditioned to be brought into staff before City Council.

Commissioner Todd Staheli agreed that a visual from the freeway would be beneficial and would like to table the item.

Deputy City Attorney Paula Houston added that the request is right across the freeway so there is nothing between the tower and freeway.

Commissioner Nathan Fisher addressed the applicant stating it's up to you. We can make a motion tonight or we can table.

Tyler (Verizon Representative) responded I would prefer to just bring it in for City Council but if you can't make the motion without seeing the freeway visual, it is what it is.

Commissioner Don Buehner asked if five votes would be needed for approval.

Commissioner Nathan Fisher responded four votes are needed to approve.

Tyler (Verizon Representative) decided to bring this request back with another application at a later date.

Item was tabled indefinitely.





UT4 Motor Home - Verizon site Pic 2 aerial

Made by the City of St. George GIS Department
SGCityMaps - <http://maps.sgcity.org/sgcitymaps>

January 17, 2014

1155 E

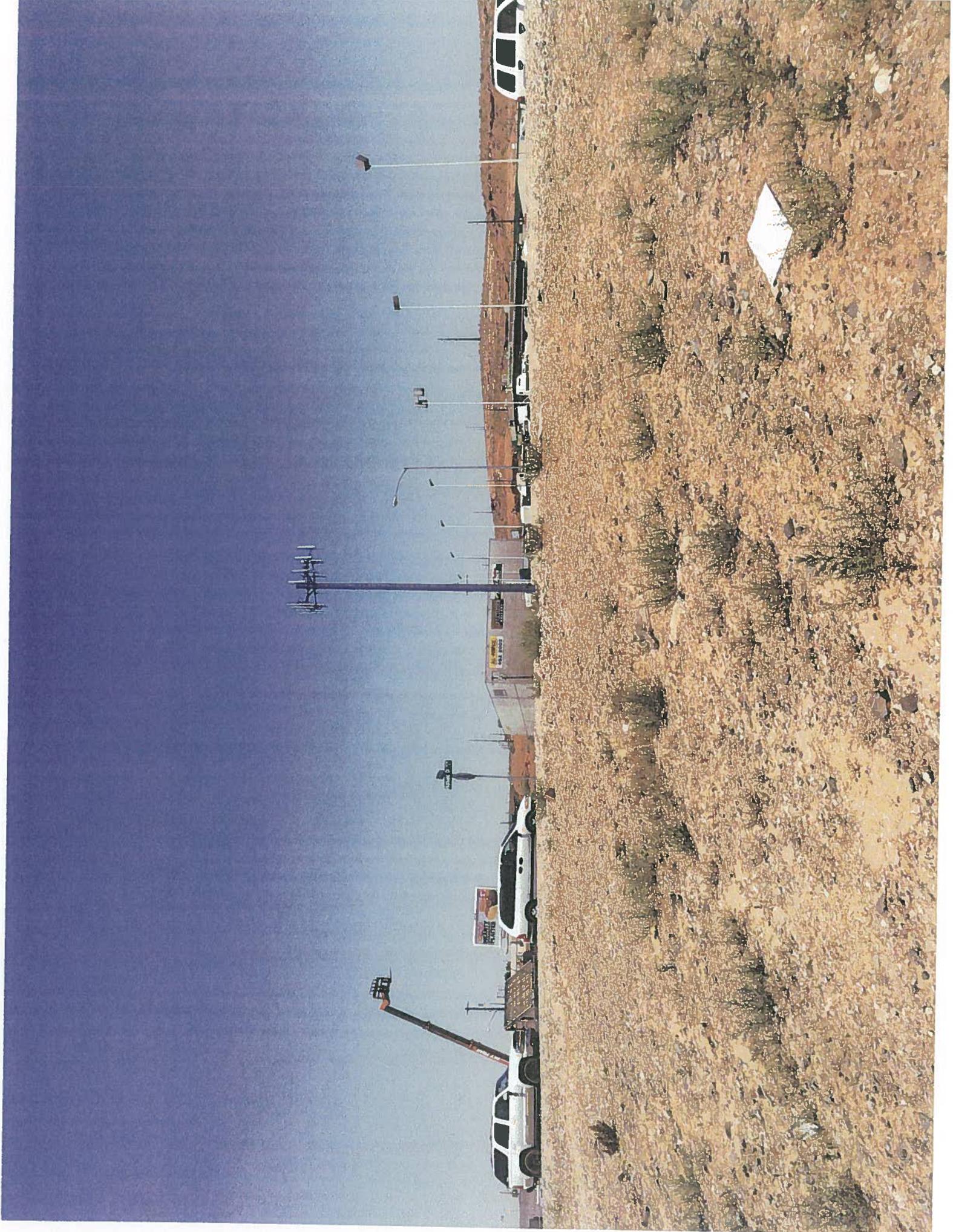
350 N ST

1150 E

RED HILLS PKWY







Approved
By Jared White 04/30/14 at 7:45 PM

verizon wireless

UT4 - MOTORHOME



VERIZON WIRELESS
1000 WEST JORDAN, UTAH 84095

TAFC

Technology Associates Engineering Corporation Inc.
TECHNOLOGY ASSOCIATES

UTAH MARKET OFFICE
8710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84114
CORPORATE OFFICE
3115 SOUTH WILSON AVENUE #110
CANYON, CALIFORNIA 92510

DESIGNED BY: JARED W
CHECKED BY: JARED W

REV	DATE	DESCRIPTION
0	04.30.14	ISSUED DRAWINGS

UT4 - MOTORHOME
SE SEC 20, T4SS, R15W
1150 EAST 3300 NORTH
ST GEORGE, UTAH 84770
--- RAINLAND SITE ---

SHEET TITLE
VICINITY MAP
GENERAL INFORMATION

SHEET NUMBER
T100

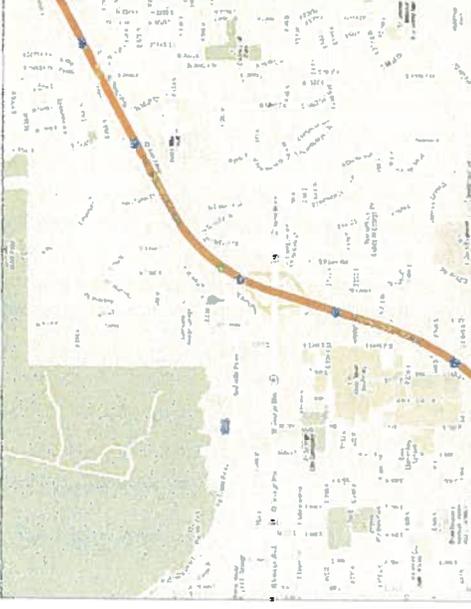
APPROVALS

VERIZON WIRELESS REPRESENTATIVE:
VERIZON WIRELESS BY: [Signature]
TAG NO. APPROVALS:
TAG CONSTRUCTION NUMBER:
SEE OTHER.

DRAWING INDEX

SHEET NO.	TITLE	SCALE	DATE
T100	TITLE SHEET, VICINITY MAP, GENERAL SEE INFORMATION		
SURV	SEE SURVEY		
C100	OVERALL SITE PLAN		
C101	ENLARGED SITE PLAN		
C200	SEE ELEVATIONS		

LOCATION MAP



DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

DRIVING DIRECTIONS

FROM THE WEST JORDAN OFFICE, TAKE I-15 SOUTH FOR 200 MILES TO THE 400 FOR ST GEORGE. FOLLOWED TO HIGHWAY 167 SOUTH CLARK CANYON. TAKE THE 400-NORTH AND TURN RIGHT ONTO ST GEORGE BOULEVARD AND HEAD WEST FOR 0.15 MILES TO 1000 WEST. TURN RIGHT ONTO 1000 WEST AND HEAD NORTH ONTO 1000 WEST. TURN LEFT ONTO 1000 WEST AND HEAD WEST TO THE SITE. TURN RIGHT ONTO 200 NORTH AND HEAD EAST FOR 200 FT. TO COURTYARD NEAR STAKEHOLDERS PROPERTY.

SITE INFORMATION

APPLICANT:
VERIZON WIRELESS
1000 WEST JORDAN, UTAH 84095

SITE ADDRESS:
1150 EAST 3300 NORTH
ST GEORGE, UTAH 84770

ZONING JURISDICTION:
BY GEORGE CITY

PROJECT DESCRIPTION:
VEB IS PROPOSING TO CONSTRUCT AN UNMANNED COMMUNICATIONS FACILITY CONSISTING OF ANTENNAS MOUNTED TO A NEW MOTORHOME WITH EQUIPMENT LOCATED INSIDE A 11'-6" X 25'-0" PROFESSIONAL EQUIPMENT RACKER.

TYPE OF CONSTRUCTION:
PRE-FAB SHEEDS, MONOPOLE, AND ANTENNAS

HANDICAP REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN OCCUPATION, HANDICAP ACCESS REQUIREMENTS DO NOT APPLY.

POWER COMPANY:
BY GEORGE CITY POWER.

CONTACT INFORMATION

SITE ACQUISITION:
TECHNOLOGY ASSOCIATES INC.
8710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84114
PHONE: 801-433-4833



UNDERGROUND SERVICE ALERT, CALL "BLUE STAKES OF UTAH" @ 811 OR 1-800-662-4111
THREE WORKING DAYS BEFORE YOU DIG





VERIZON WIRELESS
 4000 EAST PIONEER BLVD
 FORT WORTH, TEXAS 76102

TARC
 Technology Associates

UTAH MARKET OFFICE
 5170 WALK HOLE STREET
 SALT LAKE CITY, UTAH 84123
 CORPORATE OFFICE
 3114 EAST 1000 SOUTH
 CANYON, COLUMBIAN 82512

DRAWN BY: JAY C
 CHECKED BY: JAY C

REV	DATE	DESCRIPTION
0	04.25.2014	ISSUE DRAWINGS

UT4 - MOTORHOME
 SE SEC 20, T4S, R15W
 1150 EAST 350 NORTH
 ST GEORGE, UTAH 84770
 -- RAWLAND SITE --

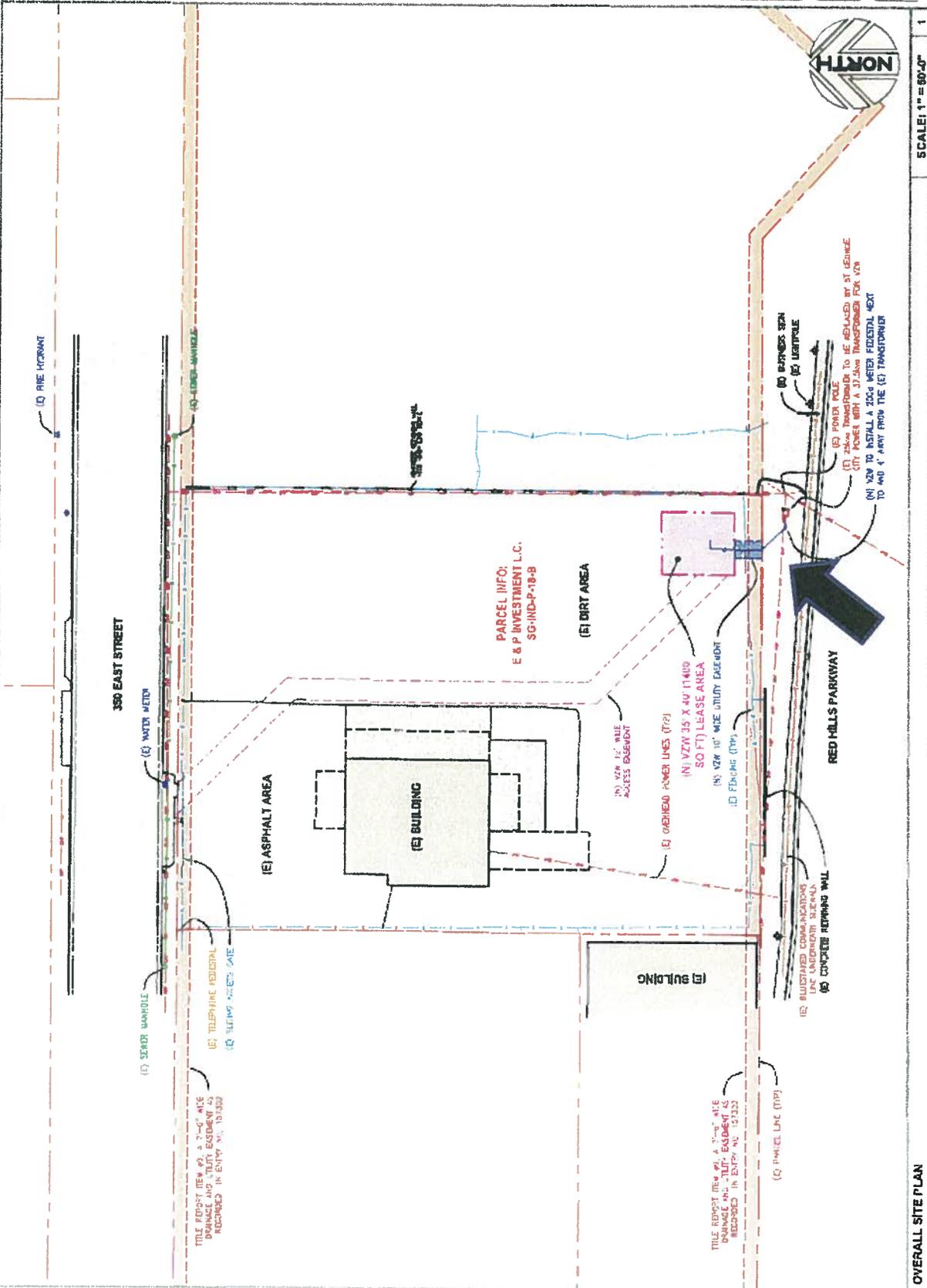
SHEET TITLE
 OVERALL SITE PLAN

SHEET NUMBER
C100



SCALE: 1" = 80'-0"

OVERALL SITE PLAN



TITLE REPORT REV #1, A 3"-0" WIRE
 DISTANCE AND TILT, EGGMENT AS
 INDICATED IN ENTRY NO. 101000

TITLE REPORT REV #1, A 3"-0" WIRE
 DISTANCE AND TILT, EGGMENT AS
 INDICATED IN ENTRY NO. 101000

(E) BURIED SIGN
 (E) UTILITY POLE
 (E) POND POLE
 (E) TRANSFORMER TO BE REMOVED BY ST GEORGE
 (E) POLE WITH 37' WIRE TRANSFORMER FOR 120
 (N) XOM TO INSTALL A 200A W/ATER FUSED, 480V
 TO AND 4' AWAY FROM THE (E) TRANSFORMER

(E) BLINDFAST COMMUNICATIONS
 LINE UNDERGROUND SIGNATURE
 (E) CONCRETE RETAINING WALL

(E) POWER LINE (172)

(N) VZW 12" WIRE
 ACCESS EGGMENT

(N) VZWN 35 X 40 FT (1000
 SQ FT) LEASE AREA
 (N) VZW 10" WIRE UTILITY EGGMENT
 (E) FIDUCIAL (174)

PARCEL INFO:
 E & P INVESTMENT L.C.
 SG-IND-P-18-B

(E) DIRT AREA

(E) ASPHALT AREA

(E) BUILDING

(E) BUILDING

350 EAST STREET

RED HILLS PARKWAY

(E) ARE NORMAL

(E) WATER METER

(E) SEWER MANHOLE

(E) TELEPHONE FIBER OPTICAL
 (E) TELEPHONE ACCESS GATE

SEWER SERVICE

ASAC INFORMATION SHEET 91:003

INFORMATION REGARDING SURVEY DATA SUBMITTED TO THE FAA

FAA Order 8260.19c requires proponents of certain proposed construction (located beneath instrument procedures) provide the FAA with a site survey and/or letter, from a licensed land surveyor, which certifies the site coordinates and the surface elevation at the site. On October 15, 1992, the FAA started using the North American Datum of 1983 (NAD-83), and therefore all site coordinates should be based on NAD-83. The FAA requires that the survey letter contain an accuracy statement that meets accuracy tolerances required by the FAA. The most requested tolerances are +/- 50 feet in the horizontal and +/- 20 feet in the vertical (2-C). When the site coordinates and/or site elevation can be certified to a greater accuracy than requested by the FAA, please do so.

In order to avoid FAA processing delays, the original site survey or certifying letter should be attached to the 7460 when it is filed at the FAA's regional office. It must be signed and sealed by the licensed land surveyor having performed or supervised the survey.

The FAA accuracy codes and a sample accuracy statement are listed below.

ACCURACY CODES:

<u>HORIZONTAL</u>		<u>VERTICAL</u>	
<u>Code</u>	<u>Tolerance</u>	<u>Code</u>	<u>Tolerance</u>
1	+/- 15 ft	A	+/- 3 ft
2	+/- 50 ft	B	+/- 10 ft
3	+/- 100 ft	C	+/- 20 ft
4	+/- 250 ft	D	+/- 50 ft
5	+/- 500 ft	E	+/- 125 ft
6	+/- 1000 ft	F	+/- 250 ft
7	+/- 1/2 NM	G	+/- 500 ft
8	+/- 1 NM	H	+/- 1000 ft
9	Unknown	I	Unknown

Date: APRIL 29, 2014

Re: UT4 MOTORHOME

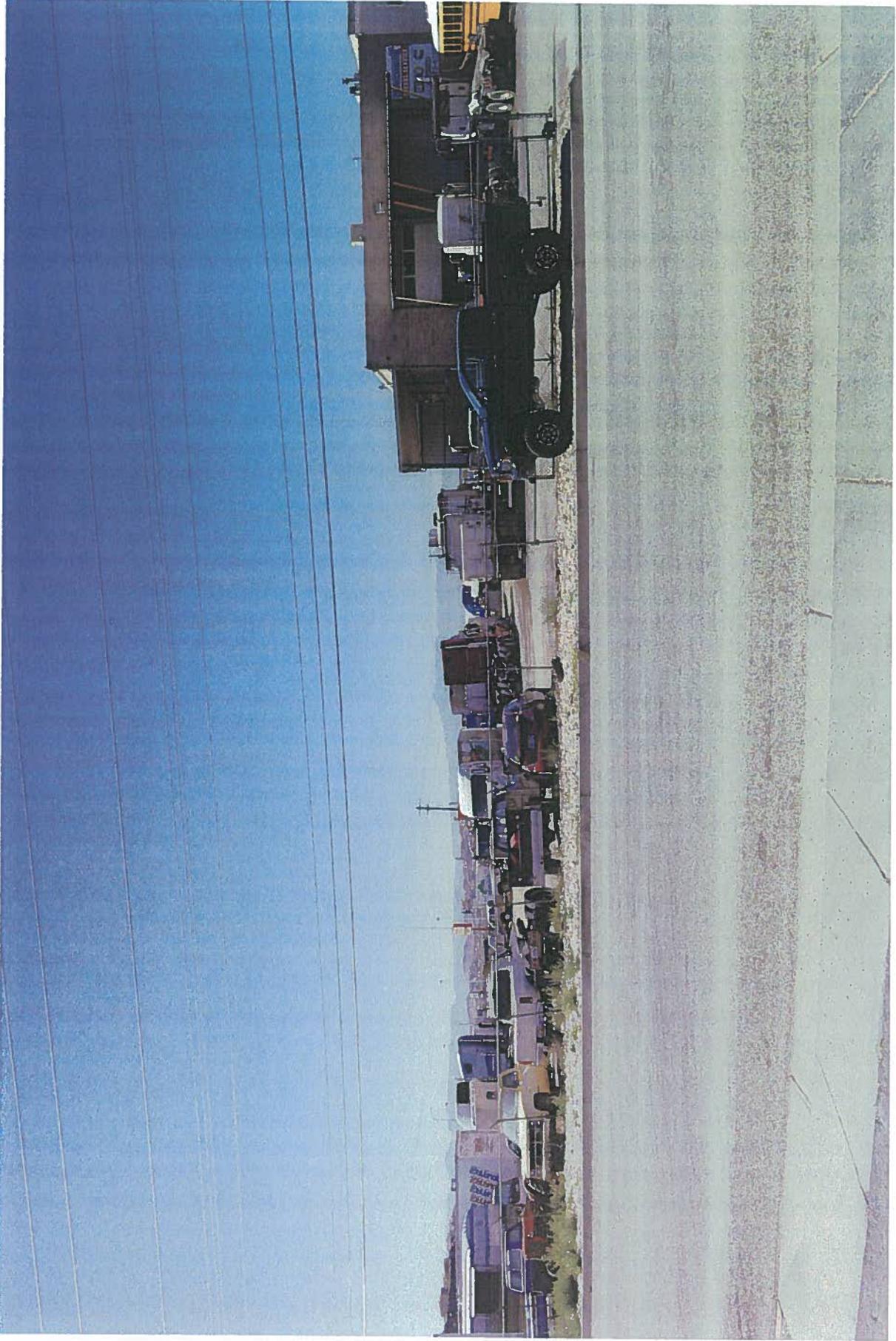
SE 1/4 OF SECTION 20, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE MERIDIAN
1150 EAST 350 NORTH, ST. GEORGE, UTAH 84770

I certify that the latitude of N 37°06'47.36", and the longitude of W 113°33'30.98", are accurate to within 15 feet horizontally and the site elevation of 2850.62 feet, AMSL (American Mean Sea Level), is accurate to within +/- 3 feet vertically. The horizontal datum (coordinates) are in terms of the North American Datum of 1983 (NAD-83) and are expressed as degrees, minutes and seconds, to the nearest (tenth/hundredth) of a second. The vertical datum (heights) are in terms of the (NAVD88) and are determined to the nearest foot.

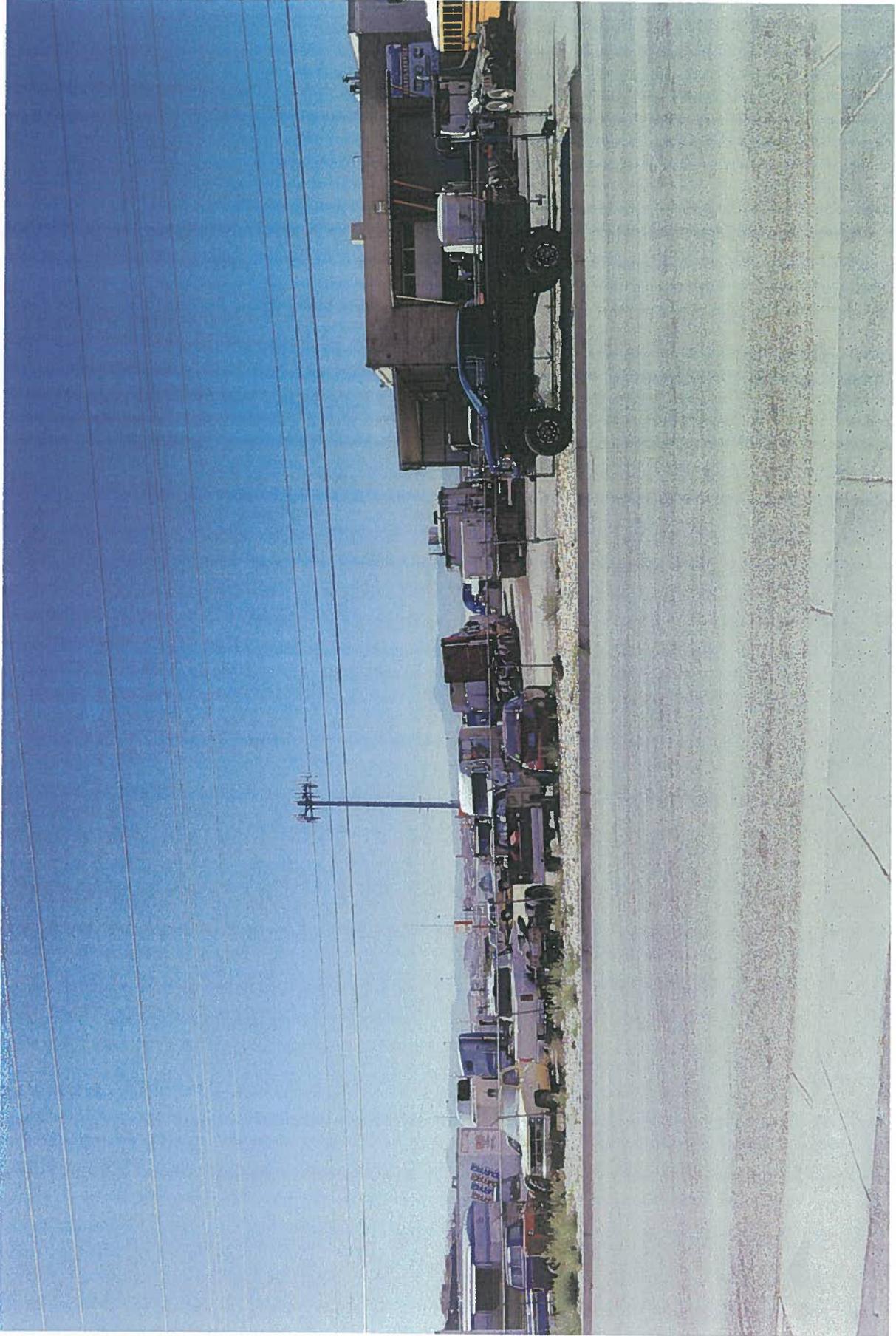


Professional Licensed Land Surveyor:
1-A FAA Letter

Jerry Fletcher, Utah LS no. 6436064



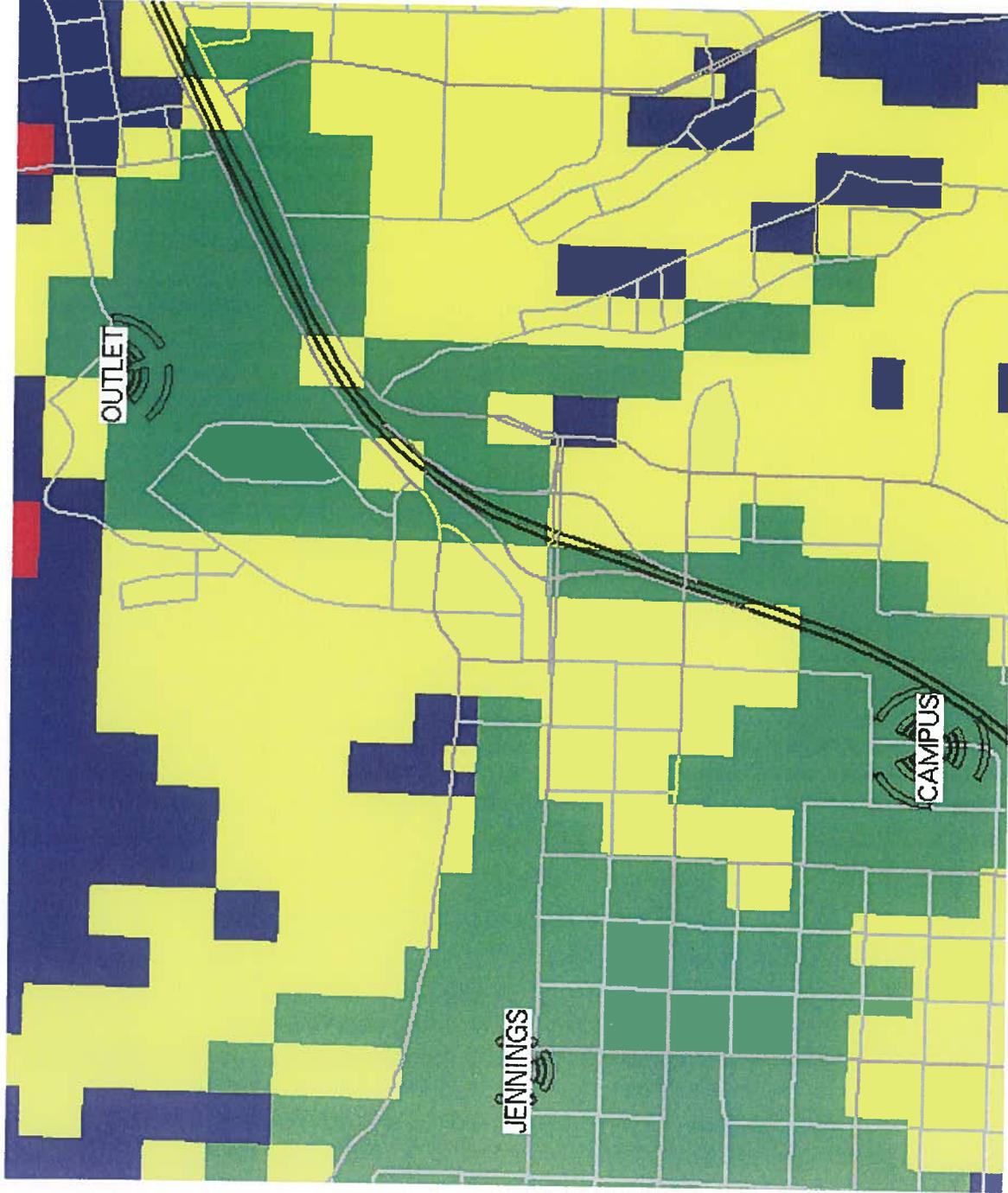
Before



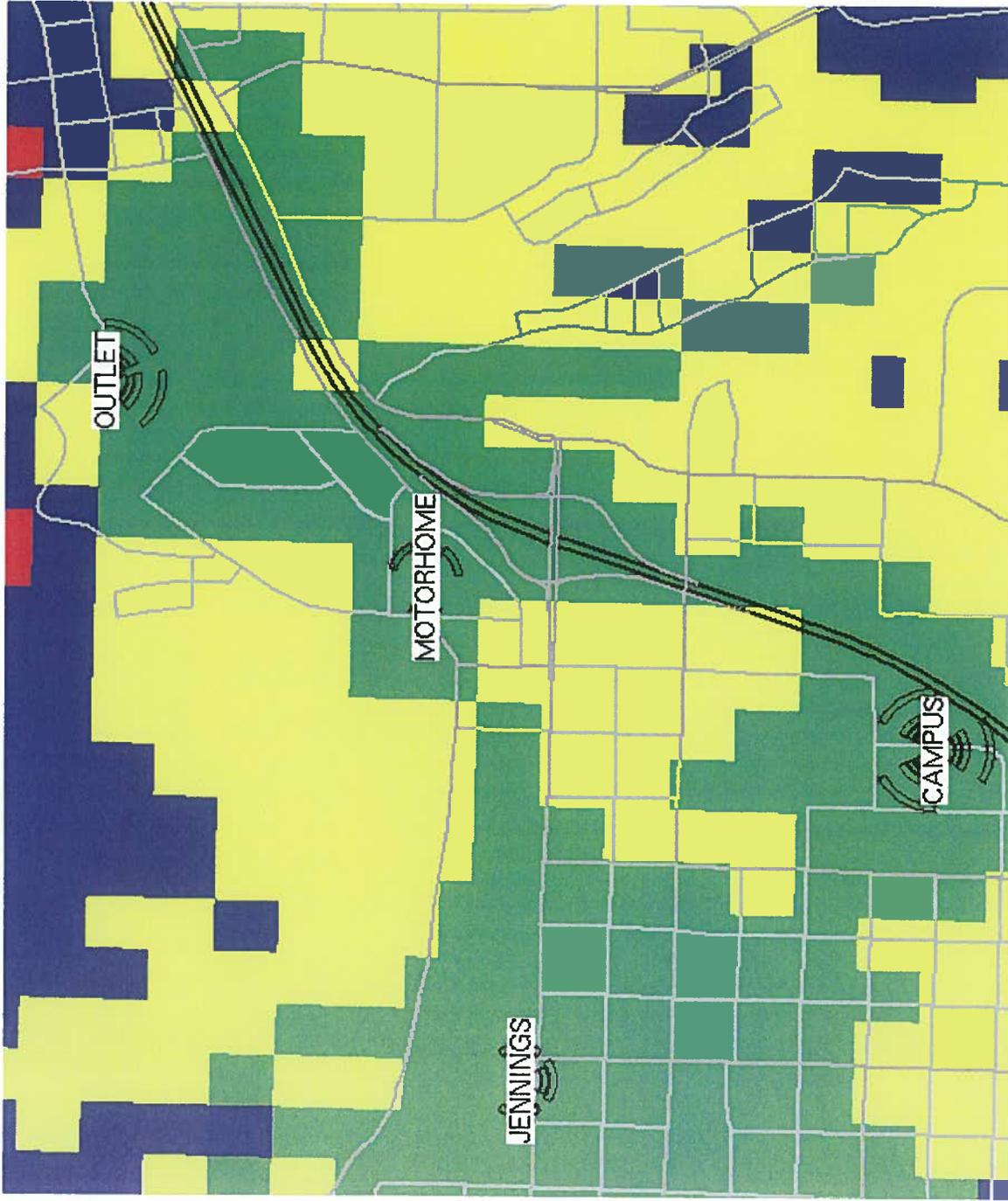
After

UT4 Motorhome

Existing 750 coverage
around the
Motorhome site.



Proposed 750 coverage including the Motorhome site.



LTE FL Coverage

7CL1

Cir: RSSI (dBm)

- >= -45
- >= -55
- >= -65
- >= -75
- >= -85
- >= -95

PCR ITEM 4D

Cell Tower - CUP

PLANNING COMMISSION AGENDA REPORT: **08/12/2014**
CITY COUNCIL MEETING: **08/21/2014**

CONDITIONAL USE PERMIT Case # 2014-CUP-017

- Request:** A conditional use permit to construct one (1) one hundred foot (100') high co-locatable wireless tower and to construct related multiple equipment enclosure(s).
- Project:** This project is called the "Verizon – UT4 Airplane" and would consist of constructing one (1) co-locatable wireless tower with unmanned communications facilities.
- Related Case:** Reference wireless master plan - Case No. 2014-WMP-002
(approved 2/11/2014 by Planning Commission).
- Representative:** Mr. Jared White, Real Estate Specialist
Technology Associates
5710 South Green Street
Salt Lake City, Utah 84123
- APN:** SG-5-2-28-2306
- Zoning:** C3 (General Commercial Zone)
- Location:** Located at approximately 2014 E +/- Riverside Drive (next to Town Storage).
- Notice:** Notice letters were sent to property owners within a 300 ft. radius and notice was posted in four (4) public places [on the City website, State website, and on two (2) bulletin boards in the City].
- Area / Access:** It's proposed to provide a 25 ft. wide access easement from Riverside Drive back to a leased area of 45 ft. x 45 ft. (2025 sq. ft.). The access easement is approximately 220 ft. long. Within the 25 ft. easement it is proposed to establish a 12 ft. wide road base (6 inches deep) driveway.
- Identification:** UT4 Motor Home
- Height:** To construct a new one hundred foot (100') monopole wireless telecommunications facility.

Ordinance(s): Title 10, Chapter 22 “Wireless Telecommunication Facilities;”

Section 10-22-5: CONDITIONAL USES:

All wireless communication facilities other than those described in section 10-22-4 of this chapter as permitted uses shall be considered conditional uses and subject to review and approval as set forth in chapter 17 of this title. (1998 Document § 26-4)

(Note: A monopole exceeding thirty five feet (35’) in a **commercial** zone is not listed as a permitted use and thus requires a CUP).

10-22-6: FACILITY TYPES:

C. Monopole With Antennas And Antenna Support Structures: The maximum visible width of antennas and antenna mounting structures on a monopole shall not exceed eight feet (8') in height or thirteen feet (13') in width as viewed looking directly at the monopole at the same elevation as the antennas and antenna mounting structure (see figure 3 attached to the ordinance codified herein and on file in the city office). No such antenna shall be located within one hundred fifty feet (150') of a residential zone unless approved by the planning commission. (1998 Document § 26-5; amd. 2003 Code)

(Note: This site is not within one hundred and fifty feet (150’) of any residences)

10-22-7: ADDITIONAL STANDARDS:

A. Height Limit: The height limit of any tower or pole is one hundred feet (100'). Each tower or pole shall require a conditional use permit, unless exempted in section 10-22-4 of this chapter.

(Note: The monopole may not exceed 100 ft. maximum, 100 ft. is requested)

B. Collocation: It is the policy of the city to encourage co-location of facilities wherever feasible. The burden will be on the applicant to demonstrate why collocation is not feasible.

(Note: This is a new site and co-location is proposed).

C. Prohibited Areas: Monopoles or towers shall not be allowed within any required front yard setback nor within any required landscaped area, buffer area or parking area.

(Note: This proposal is not in the front setback or landscape area).

E. Accessory Buildings to Antenna Structures: Accessory buildings to antenna structures must comply with the required setback, height and landscaping requirements of the zoning district in which they are located. Monopoles shall be fenced with a six foot (6') vinyl coated chainlink fence or other fencing as approved or required by the planning commission. The climbing pegs shall be removed from the lower twenty feet (20') of the monopole. All power lines on the lot leading to the accessory building and antenna structure shall be underground.

(Note: The applicant proposes a six foot (6') high chain link fence around the tower and shelters. All setbacks must be met.)

F. Historic Districts: Any antenna proposed for a location within a historic district or on a landmark site is subject to approval through the historic preservation commission and planning commission.

(Note: This is not in a historic district)

I. Engineering Review:

1. The city may, if it deems necessary, cause each site to be reviewed by a qualified electrical engineer. The costs shall be borne by the applicant. This review shall indicate whether or not the proposed facility will interfere with city, county or state communication facilities. In the event the new facility creates an electrical disturbance to these communication wavelengths, the applicant shall take the appropriate action to remove all interference generated by the new facility. Such remedial action may include changing the frequency that is broadcast or relocating the facility to a new location.

2. The electrical engineer may also review the submitted information to determine if other sites are available to achieve an equivalent signal distribution and not significantly affect the operation of the wireless communication facility. Such a review shall be made when an applicant indicates that no other acceptable site exists.

J. Permits: Prior to the construction of any facility, the applicant shall obtain the proper building permits, encroachment permits and other permits as required by city codes. (1998 Document § 26-6)

Comments:

The city maintains a master plan for each wireless company in the Community Development Department. This site was shown on related Case No. 2014-WMP-002 (master plan – approved by council on February 11, 2014).

This applicant requests permission to establish one (1) new Verizon cell tower site.

The site could eventually be occupied by at least four (4) users (co-located) on one tower.

The proposed wall enclosure height of six feet (6') meets the maximum allowable height of six feet (6') that the City may permit. It is recommended that the applicant add earth tone slats to the chain link to help screen the site.

The applicant's goal is to increase coverage of wireless services to the area.

The proposed tower would be a steel monopole 100 feet high. Note that the maximum tower height permitted by code with an approved CUP is 100 ft. per Section 10-22-7.

An equipment shelter building for each client would be required on the site.

In addition to any conditions the Planning Commission recommends, CUP findings (attached below) will also be required.

Findings:

The following standards must be met to mitigate the reasonably anticipated detrimental effects if imposed as a condition of approval:

Yes	N/A	Category	Description
	X	A. Noise	1. Excessive noise (unwanted or undesired sound) can cause serious impacts to health, property values, and economic productivity. Conditional uses shall not impose excessive noise on surrounding uses. "Excessive noise" generally means noise that is prolonged, unusual, or a level of noise that in its time, place and use annoys, disturbs, injures or endangers the comfort, repose, health, peace or safety of others.
	X	B. Dust	1. Comply with all air quality standards, state, federal and local. 2. Use shall not create unusual or obnoxious dust beyond the property line.
	X	C. Odors	1. Comply with all air quality standards, state, federal and local. 2. Use shall not create unusual or obnoxious odors beyond the property line.
PC - determine if any aesthetic concerns		D. Aesthetics	1. Blend harmoniously with the neighborhood so the use does not change the characteristics of the zone and the impact of the use on surrounding properties is reduced.
Meet related fire and		E. Safety	1. Take the necessary measures to avoid or mitigate any safety problems created by the use, including problems due to traffic, rockfall, erosion, flooding, fire, hazardous materials, or related

electrical codes			<p>problems.</p> <p>2. Uses shall not locate within the 100-year floodplain as identified by FEMA unless expressly recommended by the city engineer in conformance with city engineering standards and all state, local and federal laws.</p>
	X	F. Traffic	<p>1. Traffic increases due to the conditional use shall not cause streets or nearby intersections to fall more than one grade from the existing level of service grade or fall below a level of service "D".</p> <p>2. Uses shall follow city access management standards and not create hazards to other drivers or pedestrians.</p>
A CUP is required for a height of 100ft.		G. Height	<p>1. Buildings shall fit into the overall context of the surrounding area.</p> <p>2. Photo simulations are required showing all sides of the building(s) and showing how the building fits into the surrounding area to include not less than five hundred feet (500') in all directions from the building and including its relationship to nearby ridges, hills, and buildings.</p>
	X	H. Hours of Operation	<p>1. Nonresidential uses operating in proximity to or within a residential zone shall limit hours of operation so as not to disturb the peace and quiet of the adjacent residential area.</p>
	X	I. Saturation / Spacing	<p>1. To the extent feasible, nonresidential uses allowed in residential zones as conditional uses shall be dispersed throughout the community rather than concentrated in certain residential areas</p>
Is monopole location consistent with approved master plan		J. Maintain Character and purpose of zone	<p>1. Uses shall be consistent with the character and purpose of the zone within which they are located.</p>
	X	K. Public Health	<p>1. Use shall comply with all sanitation and solid waste disposal codes.</p> <p>2. Use shall not create public health concerns. (Ord. 2007-01-001, 1-4-2007)</p>

Verizon Wireless UT4 Airplane - Alt #1 Plat Map

Identify Results

Coordinate Position
NAD 1983 State Plane Utah South (Feet): 134742, 13004, 90

Parcels

View Geographic Data
Assessor Record Search

Account Number: 732216
Parcel Number: SG-5-2-28-2306
ZONES_TYPE: 5
COMMUNITY: ST GEORGE
Area: :0447.412862
em: :440.01329047E

Summary

Account# 0756275

Parcel #: SG-5-2-28-2306

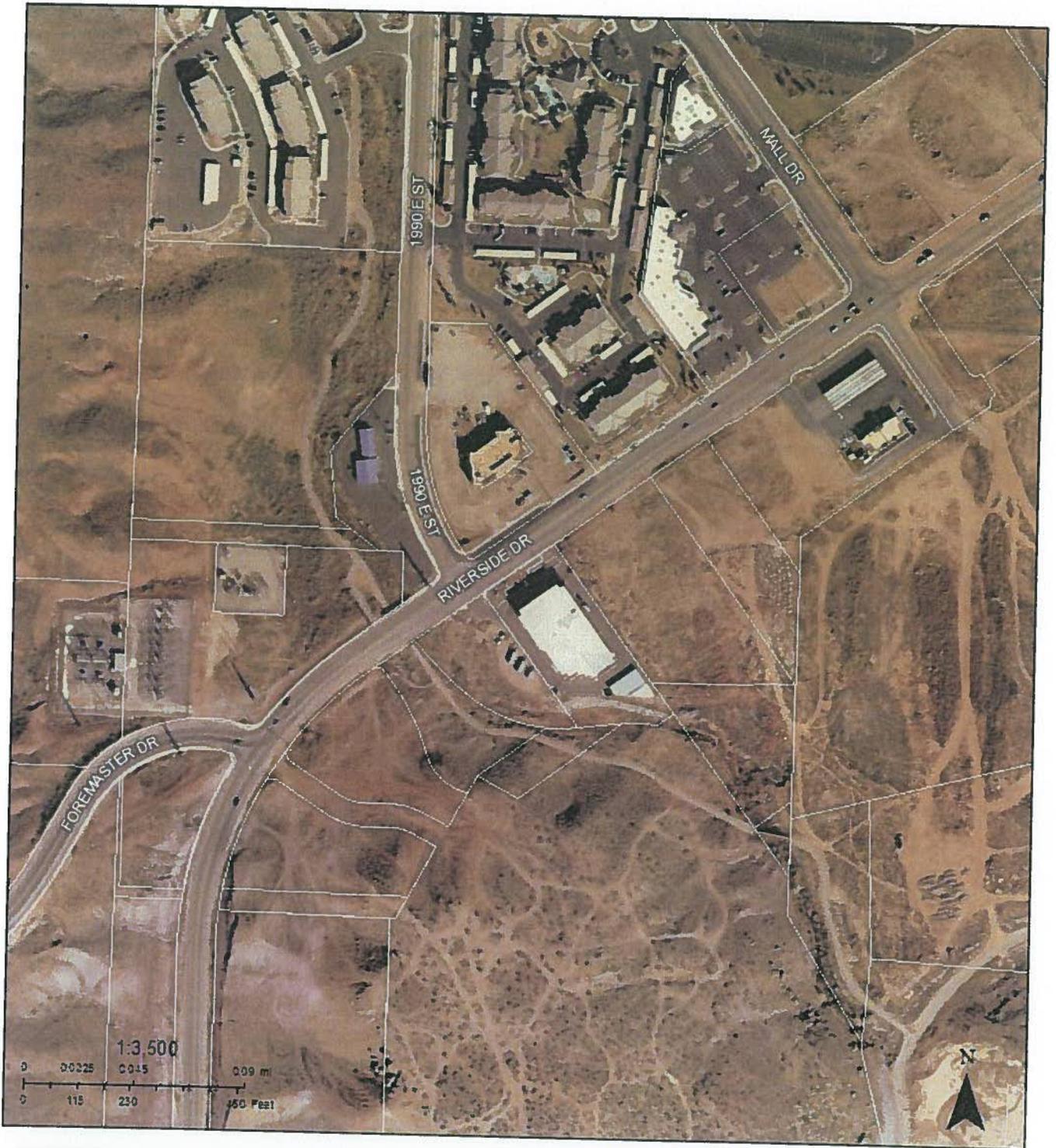
Situs :

Acres: 2.56

Version: 06/06/2013 06:56:15-115 PM to: MAX

Owner: SIMLEW L C

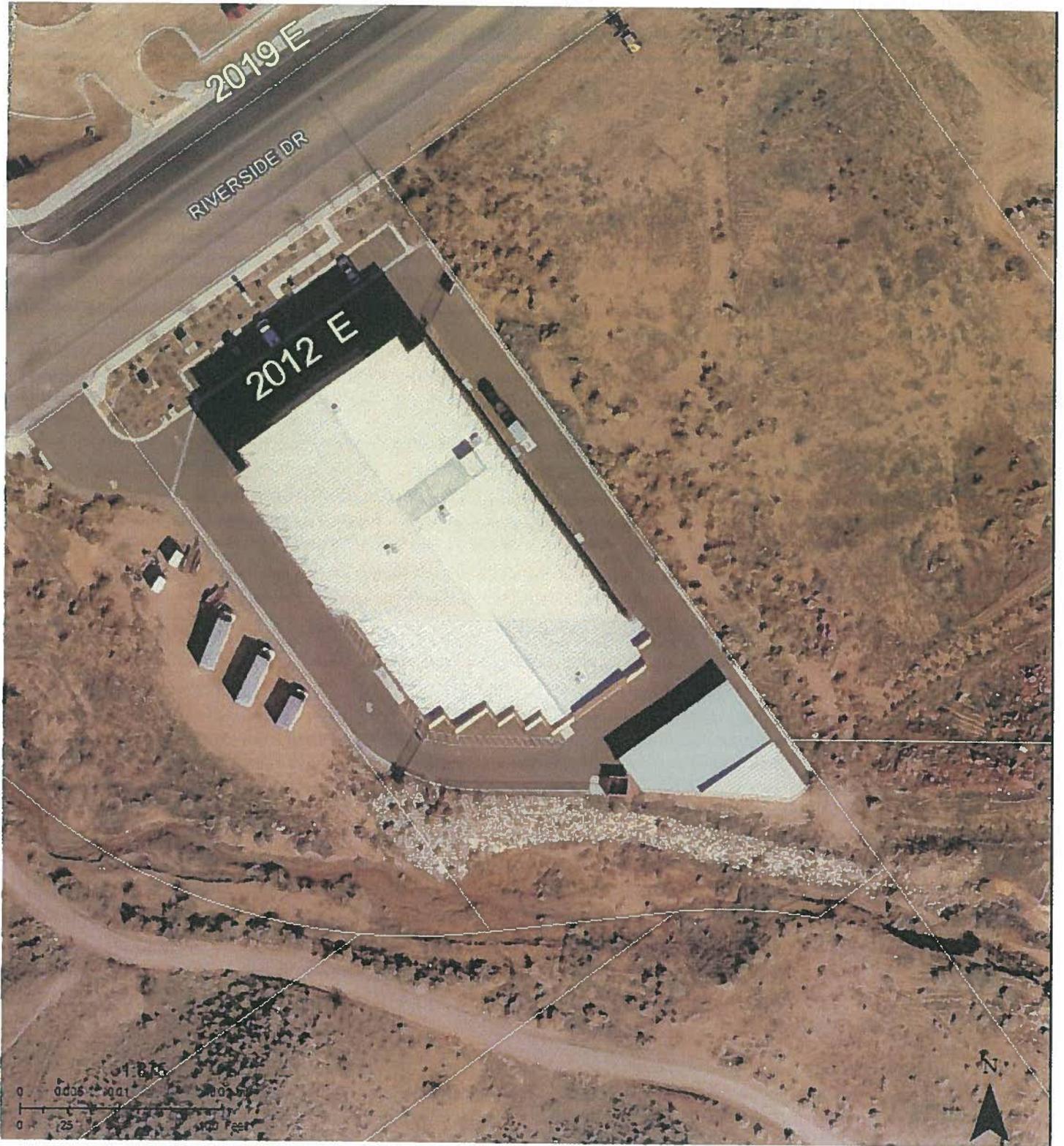
Legal: S: 28 T: 42S R: 15W BEG N0°54'14E 963.02 FT ALG SEC14 & ...



Vicinity Map

Made by the City of St. George GIS Department
SGCityMaps - <http://maps.sgcity.org/sgcitymaps>

August 1, 2014

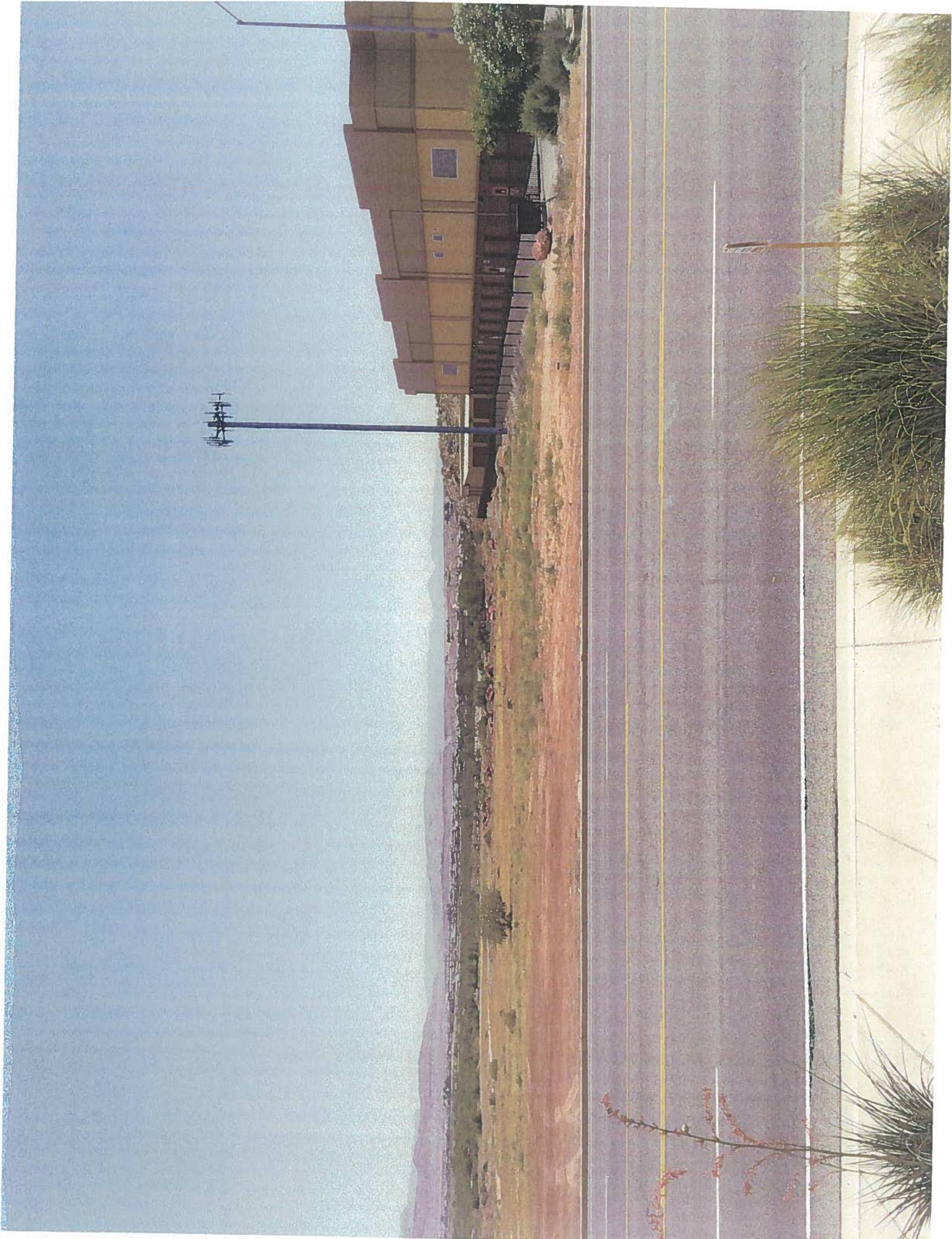


2019 E

RIVERSIDE DR

2012 E

0 0.005 0.01 0.02 0.04 0.08 0.16 0.32 0.64 1.28 2.56 5.12 10.24 20.48 40.96 81.92 163.84 327.68 655.36 1310.72 2621.44 5242.88 10485.76 20971.52 41943.04 83886.08 167772.16 335544.32 671088.64 1342177.28 2684354.56 5368709.12 10737418.24 21474836.48 42949672.96 85899345.92 171798691.84 343597383.68 687194767.36 1374389534.72 2748779069.44 5497558138.88 10995116277.76 21990232555.52 43980465111.04 87960930222.08 175921860444.16 351843720888.32 703687441776.64 1407374883553.28 2814749767106.56 5629499534213.12 11258999068426.24 22517998136852.48 45035996273704.96 90071992547409.92 180143985094819.84 360287970189639.68 720575940379279.36 1441151880758558.72 2882303761517117.44 5764607523034234.88 11529215046068469.76 23058430092136939.52 46116860184273879.04 92233720368547758.08 184467440737095516.16 368934881474191032.32 737869762948382064.64 1475739525896764129.28 2951479051793528258.56 5902958103587056517.12 11805916207174113034.24 23611832414348226068.48 47223664828696452136.96 94447329657392904273.92 188894659314785808547.84 377789318629571617095.68 755578637259143234191.36 1511157274518286468382.72 3022314549036572936765.44 6044629098073145873530.88 12089258196146291747061.76 24178516392292583494123.52 48357032784585166988247.04 96714065569170333976494.08 193428131138340667952988.16 386856262276681335905976.32 773712524553362671811952.64 1547425049106725343623905.28 3094850098213450687247810.56 6189700196426901374495621.12 12379400392853802748991242.24 24758800785707605497982484.48 49517601571415210995964968.96 99035203142830421991929937.92 198070406285660843983859875.84 396140812571321687967719751.68 792281625142643375935439503.36 1584563250285286751870879006.72 3169126500570573503741758013.44 6338253001141147007483516026.88 12676506002282294014967032053.76 25353012004564588029934064107.52 50706024009129176059868128215.04 101412048018258352119736256430.08 202824096036516704239472512860.16 405648192073033408478945025720.32 811296384146066816957890051440.64 1622592768292133633915780102881.28 3245185536584267267831560205762.56 6490371073168534535663120411525.12 12980742146337069071326240823050.24 25961484292674138142652481646100.48 51922968585348276285304963292200.96 103845937170696552570609926584401.92 207691874341393105141219853168803.84 415383748682786210282439706337607.68 830767497365572420564879412675215.36 1661534994731144841129758825350430.72 3323069989462289682259517650700861.44 6646139978924579364519035301401722.88 1329227995784915872903807060280545.76 2658455991569831745807614120561091.52 5316911983139663491615228241122183.04 10633823966279326983230456482244366.08 21267647932558653966460912964488732.16 42535295865117307932921825928977464.32 85070591730234615865843651857954928.64 170141183460469231731687303715909857.28 340282366920938463463374607431819714.56 680564733841876926926749214863639429.12 1361129467683753853853498429727278858.24 272225893536750770770699685945455771.68 544451787073501541541399371890911543.36 1088903574147003083082798743781823086.72 2177807148294006166165597487563646173.44 4355614296588012332331194975127292346.88 8711228593176024664662389950254584693.76 1742245718635204932932477990050916987.52 3484491437270409865864955980101833975.04 6968982874540819731729911960203667950.08 13937965749081639463459823920407335900.16 27875931498163278926919647840814671800.32 55751862996326557853839295681629343600.64 111503725992653115707678591363258687201.28 223007451985306231415357182726517374402.56 446014903970612462830714365453034748805.12 89202980794122492566142873090606949760.24 178405961588244985132285746181213899520.48 356811923176489970264571492362427799040.96 71362384635297994052914298472485559808.16 142724769270595988105828596944971119616.32 285449538541191976211657193889942239232.64 570899077082383952423314387779884478465.28 114179815416476790484662877555976895690.56 228359630832953580969325755111953791381.12 456719261665907161938651510223907582762.24 91343852333181432387730302044781516552.48 182687704666362864775460604089563033104.96 365375409332725729550921208179126066209.92 730750818665451459101842416358252132419.84 1461501637330902918203684832716504264839.68 292300327466180583640736966543300852967.36 584600654932361167281473933086601705934.72 1169201309864722334562947866173203411869.44 2338402619729444669125895732346406823738.88 4676805239458889338251791464692813647477.76 9353610478917778676503582929385627294955.52 1870722095783555735300716585877125458991.04 3741444191567111470601433171754250917982.08 7482888383134222941202866343508501835964.16 14965776766268445882405732687017003671928.32 29931553532536891764811465374034007343856.64 5986310706507378352962293074806801468771.28 11972621413014756705924586149613602937542.56 23945242826029513411849172299227205875085.12 47890485652059026823698344598454411750170.24 9578097130411805364739668919690882350034.48 19156194260823610729479337839381764700068.96 38312388521647221458958675678763529400137.92 76624777043294442917917351357527058800275.84 153249554086588885835834702715054117600551.68 306499108173177771671669405430108235201103.36 612998216346355543343338810860216470402206.72 122599643269271108668667762172043294080441.44 245199286538542217337335524344086588160882.88 490398573077084434674671048688173176321765.76 98079714615416886934934209737634635264353.12 19615942923083377386986841947526927052870.24 39231885846166754773973683895053854105740.48 78463771692333509547947367790107708211480.96 156927543384667019095894735580215416422961.92 31385508676933403819178947116043083284592.36 62771017353866807638357894232086166569184.72 125542034707733615276715788464172333138369.44 25108406941546723055343157692834466627673.88 50216813883093446110686315385668933255347.76 10043362776618689222137263077133786510669.52 20086725553237378444274526154267573021339.04 40173451106474756888549052308535146042678.08 80346902212949513777098104617070292085356.16 160693804425899027554196209234140584170712.32 321387608851798055108392418468281168341424.64 64277521770359611021678483693656233668284.96 128555043540719222043356967387312467336569.92 257110087081438444086713934774624934673139.84 51422017416287688817342786954924986934627.68 102844034832575377634685573909849973869255.36 205688069665150755269371147819699947738510.72 41137613933030151053874229563939989547702.16 82275227866060302107748459127879979095404.32 164550455732120604215496918255759958190808.64 329100911464241208430993836511519916381617.28 658201822928482416861987673023039826763234.56 131640364585696483372397534604607965352646.92 263280729171392966744795069209215930705293.84 526561458342785933489590138418431861410587.68 105312291668557186697918027683686372282117.36 210624583337114373395836055367372744564234.72 421249166674228746791672110734745489128469.44 84249833334845749358334422146949097825693.88 168499666669691498716668844293898195651387.76 33699933333938299743333768858779639130277.52 67399866667876599486667537717559278260555.04 134799733335753199373335075435118556521110.08 269599466671506398746670150870237113042220.16 53919893334301279749334030174047422608444.32 107839786668602559498668060348094845216888.64 21567957333720511899733612069618969043377.28 43135914667441023799467224139237938086754.56 86271829334882047598934448278475876173509.12 172543658669764095197868896556951752347018.24 34508731733952819039573779311390350469403.68 69017463467905638079147558622780700938807.36 138034926935811276158295117245561401877614.72 276069853871622552316590234491122803755229.44 55213970774324510463318046898224560751044.88 110427941548649020926636093796449121502089.76 220855883097298041853272187592898243004179.52 44171176619459608370654437518579648600835.04 88342353238919216741308875037159297201670.08 176684706477838433482617750074318594403340.16 35336941295567686696523550014863718880668.32 70673882591135373393047100029727437761336.64 141347765182270746786094200059454875522673.28 282695530364541493572188400118909751045346.56 56539106072908298714437680023781950209069.12 113078212145816597428875360047563900418138.24 22615642429163319485775072009512780083627.48 45231284858326638971550144019025560167254.96 90462569716653277943100288038051120334509.92 180925139433306555886200576076102240669019.84 36185027886661311177240115215220448133803.68 72370055773322622354480230430440896267607.36 14474011154664524470896046086088179253521.44 28948022309329048941792092172176358507042.88 57896044618658097883584184344352717014085.76 11579208923731619576716836868870543402817.52 23158417847463239153433673737741086805635.04 46316835694926478306867347475482173611270.08 92633671389852956613734694950964347222540.16 18526734277970591322746938990192869444508.32 37053468555941182645493877980385738889016.64 74106937111882365290987755960771477778033.28 148213874223764730581975511921542955556066.56 296427748447529461163951023843085911112133.12 59285549689505892232790204768617182222426.24 118571099379011784465580409537234364444852.48 237142198758023568931160819074468728889704.96 47428439751604713786232163814893745777940.92 94856879503209427572464327629787491555881.84 189713759006418855144928655259574983111763.68 37942751801283771028985730551914996622352.72 75885503602567542057971461103829993244705.44 151771007205135084115942922207659986489410.88 303542014410270168231885844415319972978821.76 60708402882054033646377168883063994595763.52 121416805764108067292754337766127989191527.04 24283361152821613458550867553225597838305.36 48566722305643226917101735106451195676610.72 97133444611286453834203470212902391353221.44 19426688922257290766840694042580478270642.88 38853377844514581533681388085160956541285.76 77706755689029163067362776170321913082571.52 155413511378058326134725552340643826165143.04 31082702275611665226945110468128765233028.08 62165404551223330453890220936257530466056.16 124330809102446660907780441872515060932112.32 24866161820489332181556088374503012186422.64 49732323640978664363112176749006024372845.28 99464647281957328726224353498012048745690.56 198929294563914657452448706996024097491381.12 39785858912782931490489741399204819498276.24 79571717825565862980979482798409638996552.48 159143435651131725961958965596819277993104.96 318286871302263451923917931193638555982209.92 63657374260452690384783586238727711196441.84 12731474852090538076956717247745542239288.36 25462949704181076153913434495491084478576.72 50925899408362152307826868990982168957153.44 101851798816724304615653737981964337914306.88 20370359763344860923130747596392867582861.36 40740719526689721846261495192785735165722.72 81481439053379443692522990385571470331445.44 162962878106758887385045980771142940662890.88 32592575621351777477009196154228588132578.16 65185151242703554954018392308457176265156.32 130370302485407109908036784616914352530312.64 26074060497081421981607356923382870506062.56 52148120994162843963214713846765741012125.12 10429624198832568792642942769353148202425.24 20859248397665137585285885538706296404850.48 41718496795330275170571771077412592809700.96 83436993590660550341143542154825185619401.92 16687398718132110068228708430965037123880.36 33374797436264220136457416861930074247760.72 66749594872528440272914833723860148495521.44 133499189745056880545829667447720296991042.88 26699837949011376109165933489544059398208.56 53399675898022752218331866979088118794417.12 106799351796045504436663733958176237588834.24 21359870359209100887332746791635247517766.48 42719740718418201774665493583270495035532.96 85439481436836403549330987166540990071065.92 170878962873672807098661974333081980142131.84 34175792574734561419732394866616396028426.36 68351585149469122839464789733232792056852.72 136703170298938245678929579466465584113705.44 273406340597876491357859158932931168227410.88 54681268119575298271571831786586233645481.76 109362536239150596543143663573172467290963.52 218725072478301193086287327146344934581927.04 43745014495660238617257465429268986916385.36 87490028991320477234514930858537973832770.72 174980057982640954469029861717075947665541.44 34996011596528190893805





verizon wireless

UT4 - AIRPLANE

verizon
wireless

VERIZON WIRELESS
1950 SOUTH JOHNSON STREET
WEST JORDAN, UTAH 84088

TAEC
Technology Associates Engineering Corporation Inc.
TECHNOLOGY ASSOCIATES

UTAH MARKET OFFICE
5710 SOUTH OGDEN STREET
SALT LAKE CITY, UTAH 84123

CORPORATE OFFICE
3115 SOUTH MAIN STREET, SUITE #110
CHULAHUA, CALIFORNIA 92018

DRAWN BY: JAY C
CHECKED BY: JARED W

REV	DATE	DESCRIPTION
0	04.24.2014	ZONING DRAWINGS

UT4 - AIRPLANE
SE SEC 28, T42S, R15W
2014& EAST RIVERSIDE DR
ST GEORGE, UTAH 84790
-- RAWLAND SITE --

SHEET TITLE
VICINITY MAP
GENERAL INFORMATION

SHEET NUMBER
T100

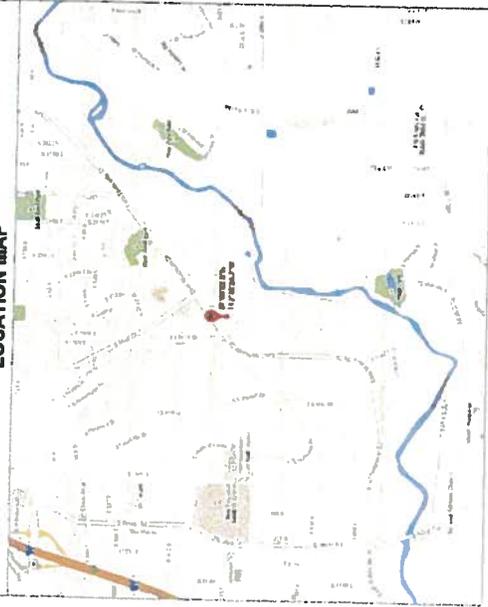
APPROVALS

VERIZON WIRELESS REPRESENTATIVE:
VERIZON WIRELESS BY ENGINEER:
TAEC SITE ACQUISITION:
TAEC CONSTRUCTION MANAGER:
SITE OWNER:

DRAWING INDEX

SHEET NO.	TITLE	REV	DATE
T100	TITLE SHEET, VICINITY MAP, GENERAL SITE INFORMATION	0	
SURV	SITE SURVEY	0	
C100	ORIGINAL SITE PLAN	0	
C101	ENLARGED SITE PLAN	0	
C200	SITE ELEVATIONS	0	

LOCATION MAP



DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS, AND EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL PROCEED WITH THE WORK OR BE RESPONSIBLE FOR SAME.

DRIVING DIRECTIONS

FROM THE 12th WEST JORDAN OFFICE, TAKE I-15 SOUTH FOR 267 MILES TO EXIT 60 FOR ST GEORGE BLVD TO FOR 0.57 MILES SOUTH OF CENTER OF TOWN. TAKE THE OFF-RAMP AND TURN LEFT ONTO ST GEORGE BLVD AND HEAD EAST FOR 0.57 MILES TO MAIN STREET. TURN RIGHT ONTO MAIN STREET AND HEAD SOUTH FOR 0.14 MILES TO MAIN STREET. TURN RIGHT ONTO MAIN STREET AND HEAD WEST TO THE VERIZON ACCESS INTO THE UNDERGROUND STATION ON THE RIGHT SIDE OF MAIN STREET. TURN INTO THE UNDERGROUND STATION AND THEN MAKE AN IMMEDIATE RIGHT AND FOLLOW THE EAST RAMP DOWN TO THE SITE LOCATION.

SITE INFORMATION

APPLICANT:
VERIZON WIRELESS
1950 SOUTH JOHNSON STREET
WEST JORDAN, UTAH 84088

SITE ADDRESS:
2014& EAST RIVERSIDE DRIVE
ST GEORGE, UTAH 84790

LATITUDE AND LONGITUDE:
N 37°05'32.54" N 113°22'20.06" W

ZONING JURISDICTION:
ST GEORGE CITY

PROJECT DESCRIPTION:
VERIZON WIRELESS TO CONSTRUCT AN UNMANNED COMMUNICATIONS FACILITY CONSISTING OF AN ANTENNA MOUNTED ON A 25'-3.5" PREPREFABRICATED EQUIPMENT SHELTER LOCATED INSIDE A 11'-6" X 25'-3.5" PREPREFABRICATED EQUIPMENT SHELTER

TYPE OF CONSTRUCTION:
PRE-FAB SHELTER, MONOPOLE, AND ANTENNAS

HANDICAP REQUIREMENTS:
IS LIMITED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS REQUIREMENTS BELIEVE APPLY.

POWER COMPANY:
ST GEORGE CITY POWER.

CONTACT INFORMATION

SITE ACQUISITION:
TECHNOLOGY ASSOCIATES ED, INC
5710 SOUTH OGDEN STREET
SALT LAKE CITY, UTAH 84123
CONTACT:
PHONE: 801-328-0863



UNDERGROUND SERVICE ALERT, CALL 'BLUE STAKES OF UTAH' @ 811 OR 1-800-662-4111
THREE WORKING DAYS BEFORE YOU DIG



ASAC INFORMATION SHEET 91:003

INFORMATION REGARDING SURVEY DATA SUBMITTED TO THE FAA

FAA Order 8260.19c requires proponents of certain proposed construction (located beneath instrument procedures) provide the FAA with a site survey and/or letter, from a licensed land surveyor, which certifies the site coordinates and the surface elevation at the site. On October 15, 1992, the FAA started using the North American Datum of 1983 (NAD-83), and therefore all site coordinates should be based on NAD-83. The FAA requires that the survey letter contain an accuracy statement that meets accuracy tolerances required by the FAA. The most requested tolerances are +/- 50 feet in the horizontal and +/- 20 feet in the vertical (2-C). When the site coordinates and/or site elevation can be certified to a greater accuracy than requested by the FAA, please do so.

In order to avoid FAA processing delays, the original site survey or certifying letter should be attached to the 7460 when it is filed at the FAA's regional office. It must be signed and sealed by the licensed land surveyor having performed or supervised the survey.

The FAA accuracy codes and a sample accuracy statement are listed below.

ACCURACY CODES:

<u>HORIZONTAL</u>		<u>VERTICAL</u>	
<u>Code</u>	<u>Tolerance</u>	<u>Code</u>	<u>Tolerance</u>
1	+/- 15 ft	A	+/- 3 ft
2	+/- 50 ft	B	+/- 10 ft
3	+/- 100 ft	C	+/- 20 ft
4	+/- 250 ft	D	+/- 50 ft
5	+/- 500 ft	E	+/- 125 ft
6	+/- 1000 ft	F	+/- 250 ft
7	+/- 1/2 NM	G	+/- 500 ft
8	+/- 1 NM	H	+/- 1000 ft
9	Unknown	I	Unknown

Date: JUNE 20, 2014

Re: UT4 AIRPLANE

SE 1/4 OF SECTION 28, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE MERIDIAN

I certify that the latitude of N 37°05'52.54", and the longitude of W 113°32'20.68", are accurate to within 15 feet horizontally and the site elevation of 2609.04 feet, AMSL (American Mean Sea Level), is accurate to within +/- 3 feet vertically. The horizontal datum (coordinates) are in terms of the North American Datum of 1983 (NAD-83) and are expressed as degrees, minutes and seconds, to the nearest (tenth/hundredth) of a second. The vertical datum (heights) are in terms of the (NAVD88) and are determined to the nearest foot.



Professional Licensed Land Surveyor:
I-A FAA Letter

Jerry Fletcher, Utah LS no. 6436064

verizon
wireless

VERIZON WIRELESS
1000 SOUTH PERRYWAY ROAD
WEST JORDAN, UTAH 84088

TABC
Technology Associates
TECHNOLOGY ASSOCIATES

UTAH MARKET OFFICE
8710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84125

CORPORATE OFFICE
3115 SOUTH BELLEVUE BLVD. SUITE #110
OAKLAND, CALIFORNIA 94612

DRAWN BY: JAY C
CHECKED BY: JARED W

NO.	DATE	DESCRIPTION
0	06/24/2014	ZONING DRAWINGS REVISION

UT4 - AIRPLANE
SE SEC 28, T42S, R1, SW
2014E EAST RIVERSIDE DR
ST GEORGE, UTAH 84780
-- RAWLAND SITE --

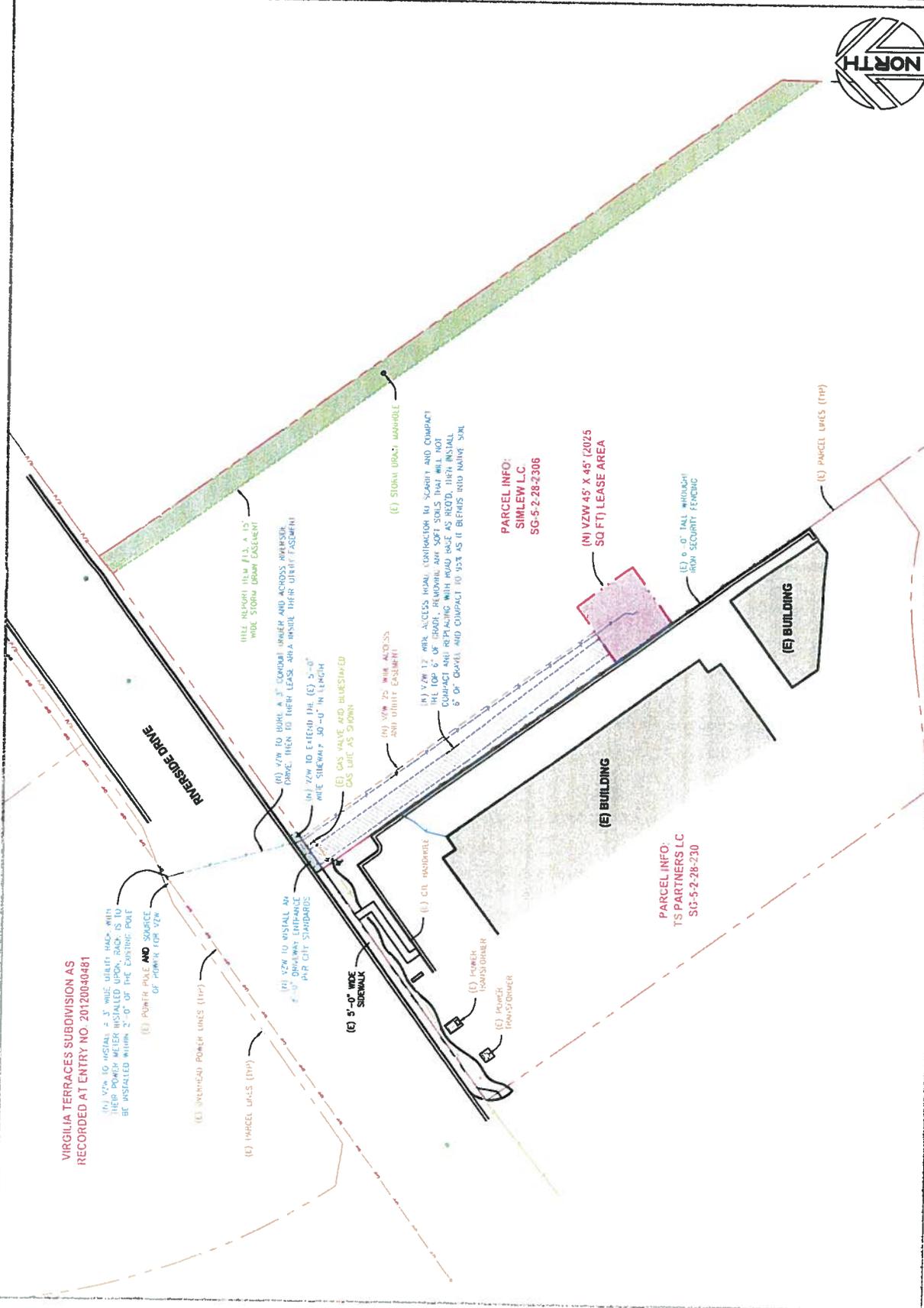
OVERALL SITE PLAN

SHEET TITLE
C100
SHEET NUMBER



SCALE: 1/4" = 10'-0"

OVERALL SITE PLAN



VIRGILIA TERRACES SUBDIVISION AS
RECORDED AT ENTRY NO. 20120040481

PARCEL INFO:
SIMLEW, L.C.
SG-5-2-28-2306

PARCEL INFO:
TS PARTNERS, LC
SG-5-2-28-230

(N) VZW 45' X 45' (2025)
SQ. FT. LEASE AREA

FILE THROUGH FROM 11.5' X 15'
WIDE STORM DRAIN COLLECTION

(N) VZW TO WORK 4" CONDUIT UNDER AND ACROSS WINDSTOP
DRAPE, THEN TO THEIR LEASE AREA INSIDE THEIR UTILITY (E) (ASB) (N)

(N) VZW TO EXTEND THE (E) 5'-0"
WIDE SIDEWALK 30'-0" IN LENGTH

(E) GAS VALVE AND BLUE-PAINTED
CROSS CURB AS SHOWN

(N) VZW 25' WIDE ACCESS
AND DRIVE EASTWARD

(E) STORM DRAIN MANHOLE

(E) 6'-0" TALL WHOLEHOLE
FROM SECURITY FENCING

(E) BUILDING

(E) BUILDING

(E) BUILDING

(E) PARCEL LINES (TYP)

(E) AMERICAN POWER LINES (TYP)

(E) PARCEL LINES (TYP)

(E) 5'-0" WIDE SIDEWALK

(E) CH. MANHOLE

(E) POWER HOUSE/OWNER

(E) POWER HOUSE/OWNER

RIVERSIDE DRIVE

(N) VZW TO INSTALL 2 3/4" WIDE UTILITY RACK WITH
THEIR POWER METER INSTALLED UPON. RACK IS TO
BE INSTALLED WITHIN 2'-0" OF THE EXISTING POLE

(E) POWER POLE AND SOURCE
OF POWER FOR VZW

verizon
wireless

VERIZON WIRELESS
FIELD SUPPORT PRESENTATION ROAD
WEST PINEBLVD, UTAH 84108

TABC
Technology Association of
California

TECHNOLOGY ASSOCIATES

UTAH MARKET OFFICE
8710 SOUTH
SALT LAKE CITY, UTAH 84114

CORPORATE OFFICE
3118 SOUTH WINDSOR AVENUE, SUITE #110
CHULAHUA, CALIFORNIA 92010

DRAWN BY: JAY C
CHECKED BY: JARED W

REV	DATE	DESCRIPTION
0	06.24.2014	ISSUE FOR PERMITS

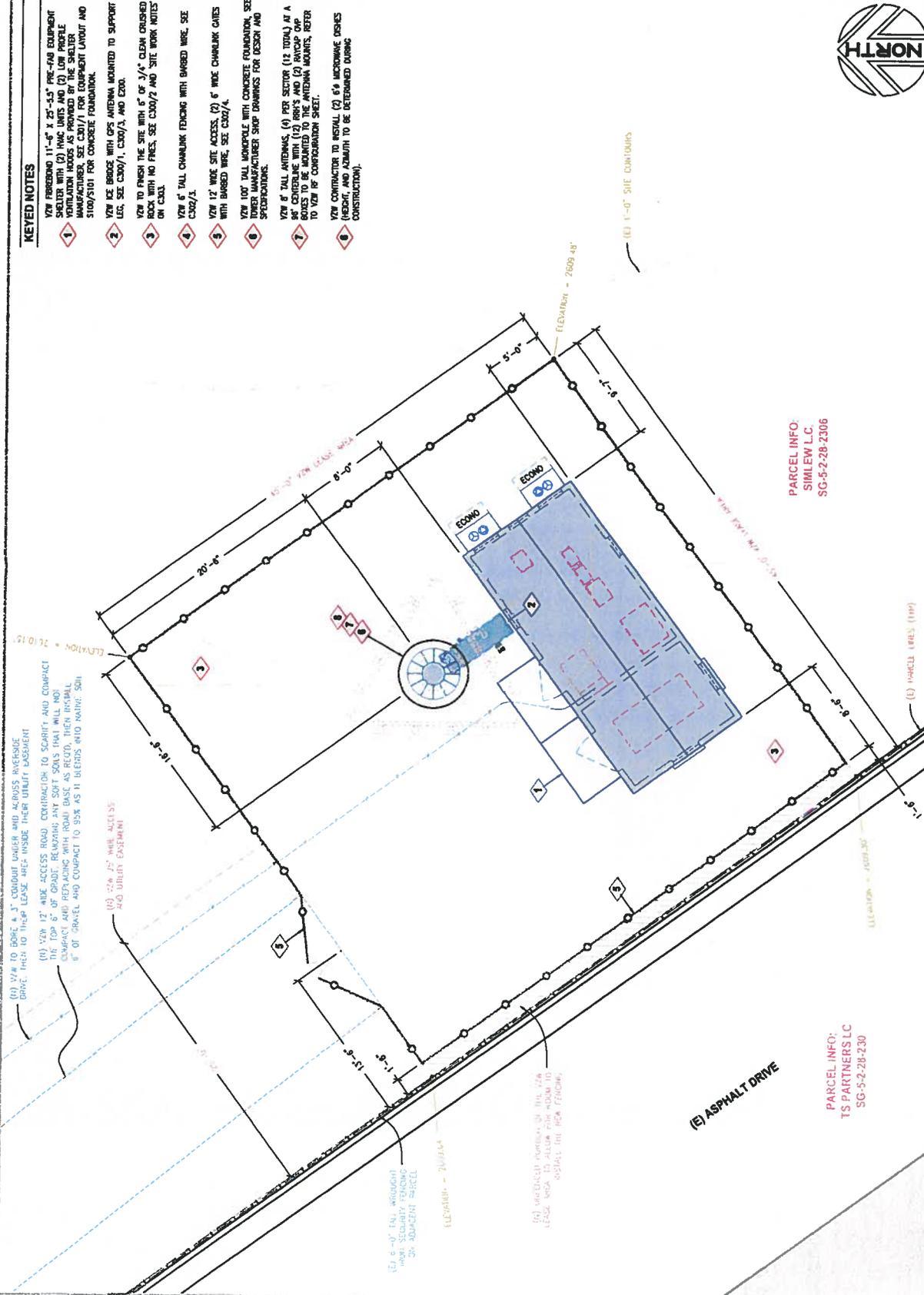
UTA - AIRPLANE
SE SEC 28, T42S, R1.5W
201444 EAST RIVERSIDE DR
ST GEORGE, UTAH 84790
-- RAWLAND SITE --

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C101

KEYED NOTES

- 1 VIEW PROPOSED 11'-0" x 21'-0" PRE-FAB EQUIPMENT SHELTER WITH (2) WIRE MOUNTS AND (2) WIRE MOUNTS. SEE C302/A FOR EQUIPMENT LAYOUT AND MANUFACTURER. SEE C301/A FOR EQUIPMENT LAYOUT AND MANUFACTURER. SEE C301/A FOR CONCRETE FOUNDATION.
- 2 VIEW ES BRCS WITH (2) ANTENNAS MOUNTED TO SUPPORT LEG. SEE C302/A, C302/A, AND C302/A.
- 3 VIEW TO FINISH THE SITE WITH 6" OF 3/4" CLEAN CRUSHED ROCK WITH NO FINES. SEE C300/2 AND 'SITE WORK NOTES' ON CDLL.
- 4 VIEW 6" TALL CHANNEL FENCING WITH BARBED WIRE. SEE C302/A.
- 5 VIEW 12" WIRE SITE ACCESS. (2) 6" WIRE CHANNEL GATES WITH BARBED WIRE. SEE C302/A.
- 6 VIEW 100' TALL MONOPILE WITH CONCRETE FOUNDATION. SEE TOWER MANUFACTURER SHOP DRAWINGS FOR DESIGN AND SPECIFICATIONS.
- 7 VIEW 6' TALL ANTENNAS (4) PER SECTOR (12 TOTAL) AT A HEIGHT OF 120' WITH (2) RAY'S AND (2) RAYCOP CHIP BOSS. SEE TOWER MANUFACTURER SHOP DRAWINGS. REFER TO VIEW OF CONSTRUCTION SHEET.
- 8 VIEW CONTRACTOR TO INSTALL (2) 6" MICROWAVE DISKS (HEIGHT, AND AZIMUTH TO BE DETERMINED DURING CONSTRUCTION).



PARCEL INFO:
SIMLEW L.C.
SG-5-2-28-2306

PARCEL INFO:
TS PARTNERS LC
SG-5-2-28-230



SCALE: 1/8" = 1'-0"

ENLARGED SITE PLAN



VERIZON WIRELESS
 100 SOUTH MAGNOLIA ROAD
 WEST JORDAN, UTAH 84086

T.A.B.C.
 Technology Associates Engineering Corporation, Inc.
TECHNOLOGY ASSOCIATES
 1714 MARKET OFFICE
 1714 MARKET OFFICE
 801 LAKE CITY, UTAH 84115
 CORPORATE OFFICE
 3115 SOUTH WENDOVER BLVD., SUITE #110
 OGDEN, CALIFORNIA 94620

DESIGN BY: JAY C
 CHECKED BY: JAY C W

0	08-24-2011	ZONING DRAWINGS
REV	DATE	DESCRIPTION

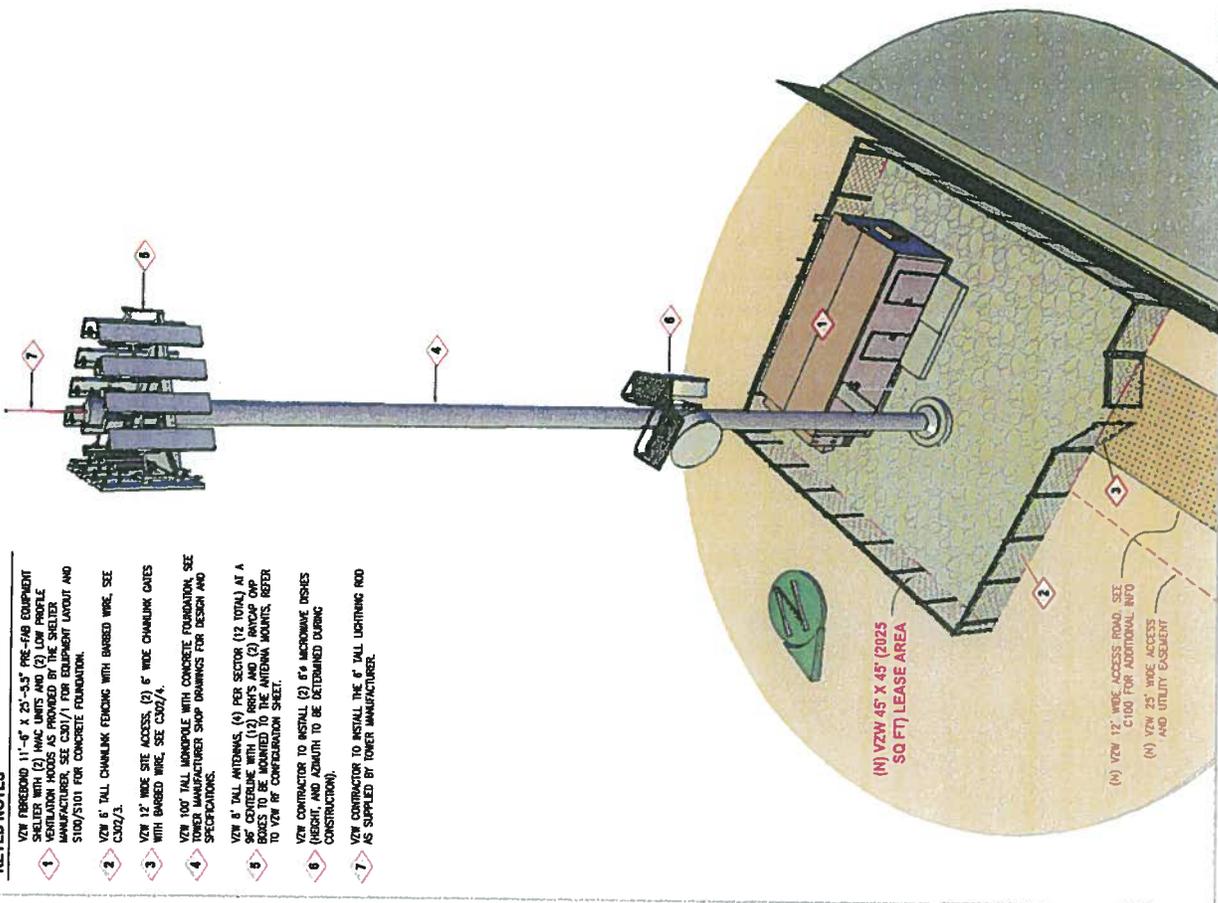
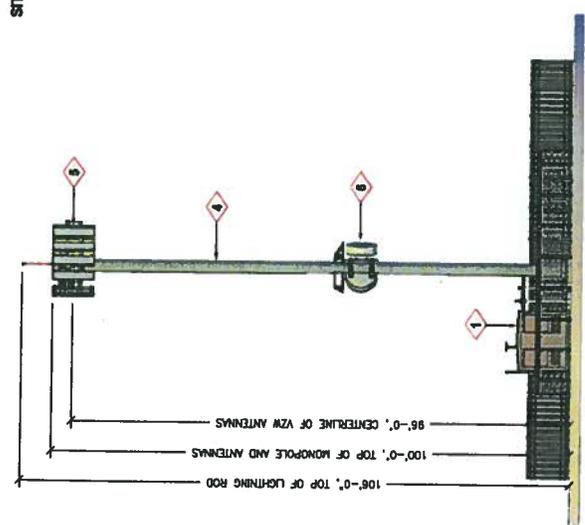
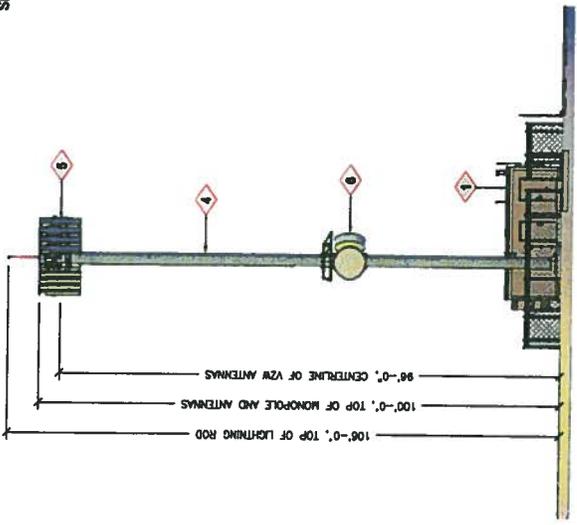
UTA -- AIRPLANE
 SE SEC. 28, T42S, R1.5W
 2014E EAST RIVERSIDE DR
 ST GEORGE, UTAH 84790
 -- RAWLAND SITE --

SHEET TITLE
SITE ELEVATIONS

SHEET NUMBER
C200

SITE ELEVATION
 LOOKING SOUTH

SITE ELEVATION
 LOOKING WEST



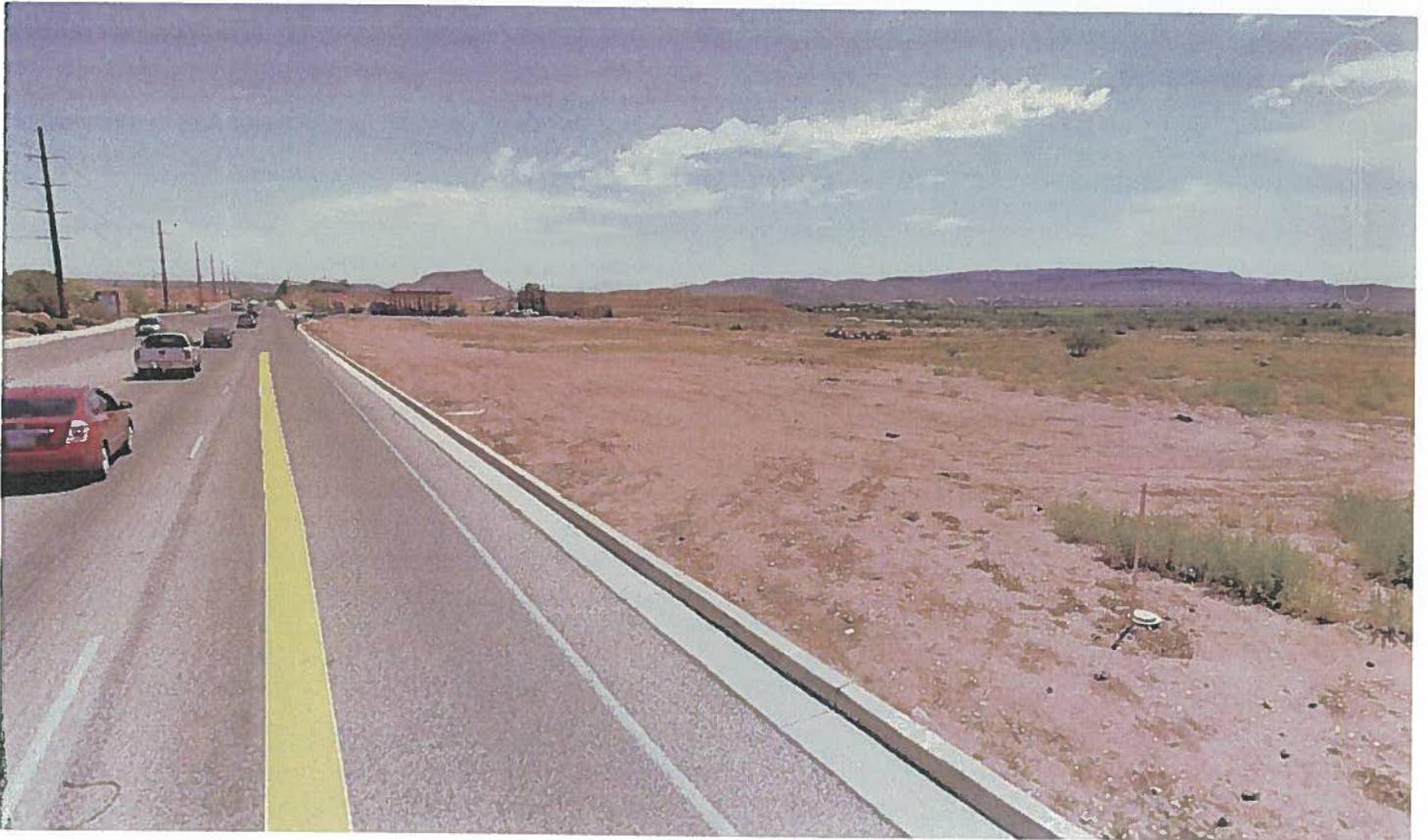
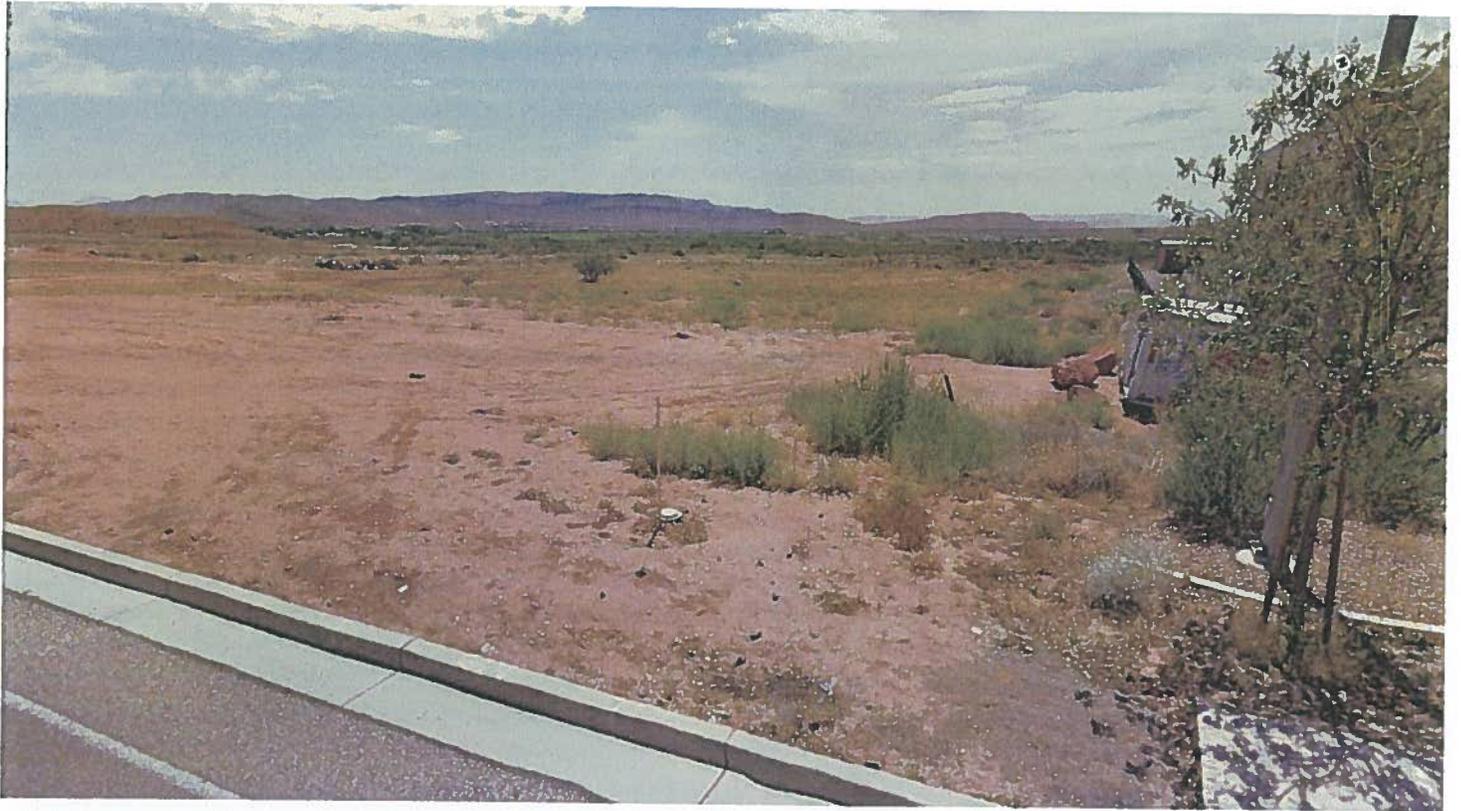
- KEYED NOTES**
- VZW PERSEUS 11'-6" X 24'-5 1/2" PRE-FAB COMPONENT SKELTER WITH (2) WAVE DIVERS AND (2) LOW PROFILE VENTILATION HOODS AS PROVIDED BY THE SKELTER MANUFACTURER, SEE C307/1 FOR EQUIPMENT LAYOUT AND S100/S101 FOR CONCRETE FOUNDATION.
 - VZW 8" TALL CHAINLINK FENCING WITH BARBED WIRE, SEE C307/3.
 - VZW 12" WIDE SITE ACCESS, (2) 6" WIDE CHAINLINK GATES WITH BARBED WIRE, SEE C307/4.
 - VZW 100' TALL MONOPOLE WITH CONCRETE FOUNDATION, SEE TOWER MANUFACTURER SHOP DRAWINGS FOR DESIGN AND SPECIFICATIONS.
 - VZW 8" TALL ANTENNAS, (4) PER SECTOR (12 TOTAL) AT A 96" CENTERLINE WITH (12) RPT'S AND (2) RAYCAP OMP ANTENNAS PER SECTOR. ANTENNA MOUNTS, REFER TO VZW RF CONFIGURATION SHEET.
 - VZW CONTRACTOR TO INSTALL (2) 6" MICROWAVE DISHES (HEIGHT, AND AZIMUTH TO BE DETERMINED DURING CONSTRUCTION).
 - VZW CONTRACTOR TO INSTALL THE 8" TALL LIGHTING ROD AS SUPPLIED BY TOWER MANUFACTURER.

(M) VZW 45' X 45' (2025 SQ FT) LEASE AREA

(N) VZW 12" WIDE ACCESS ROAD, SEE C100 FOR ADDITIONAL INFO

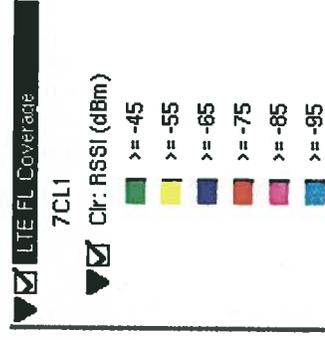
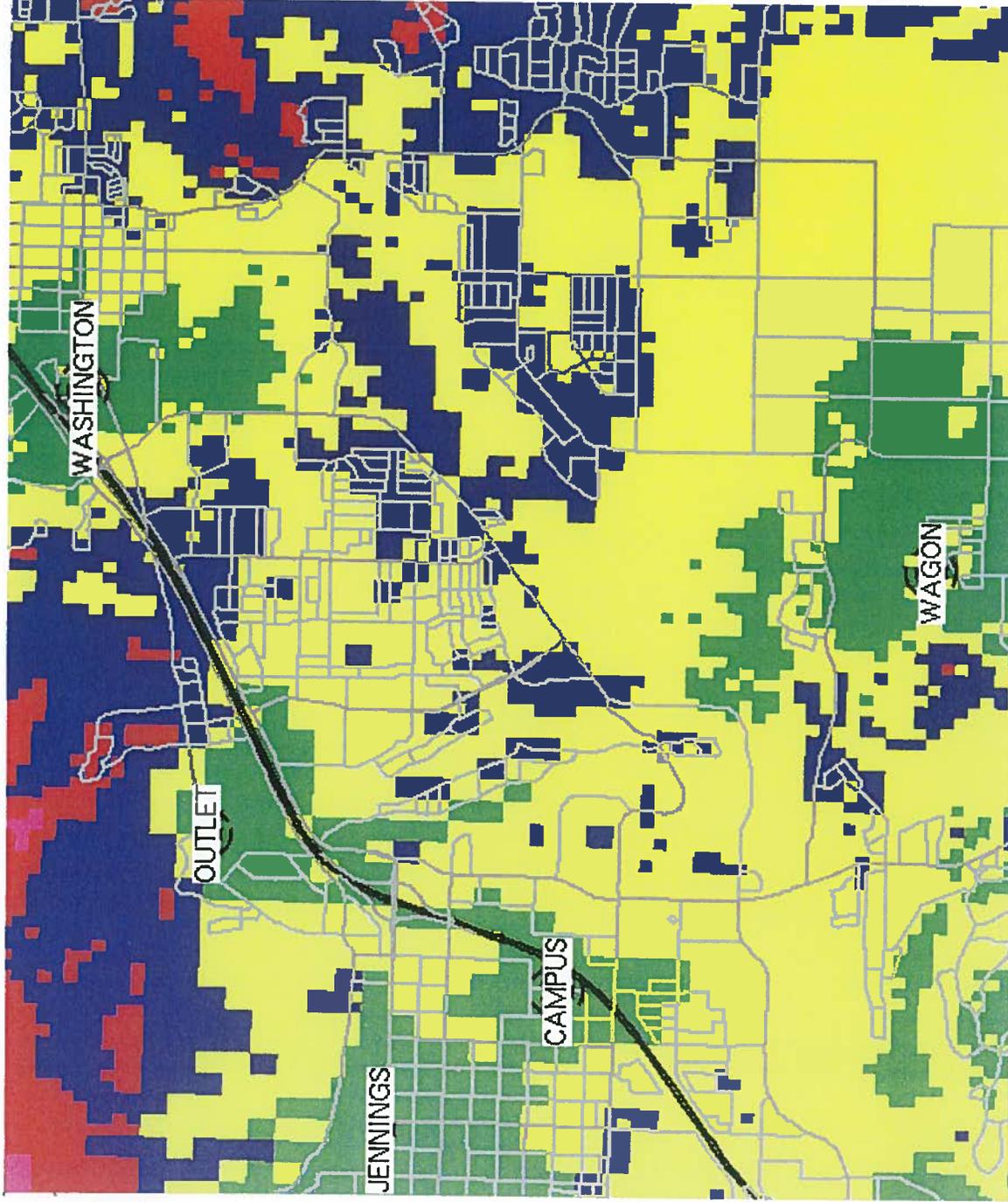
(M) VZW 25' WIDE ACCESS AND UTILITY EASEMENT



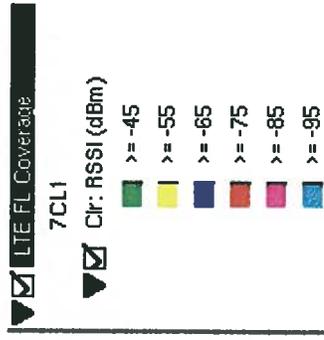
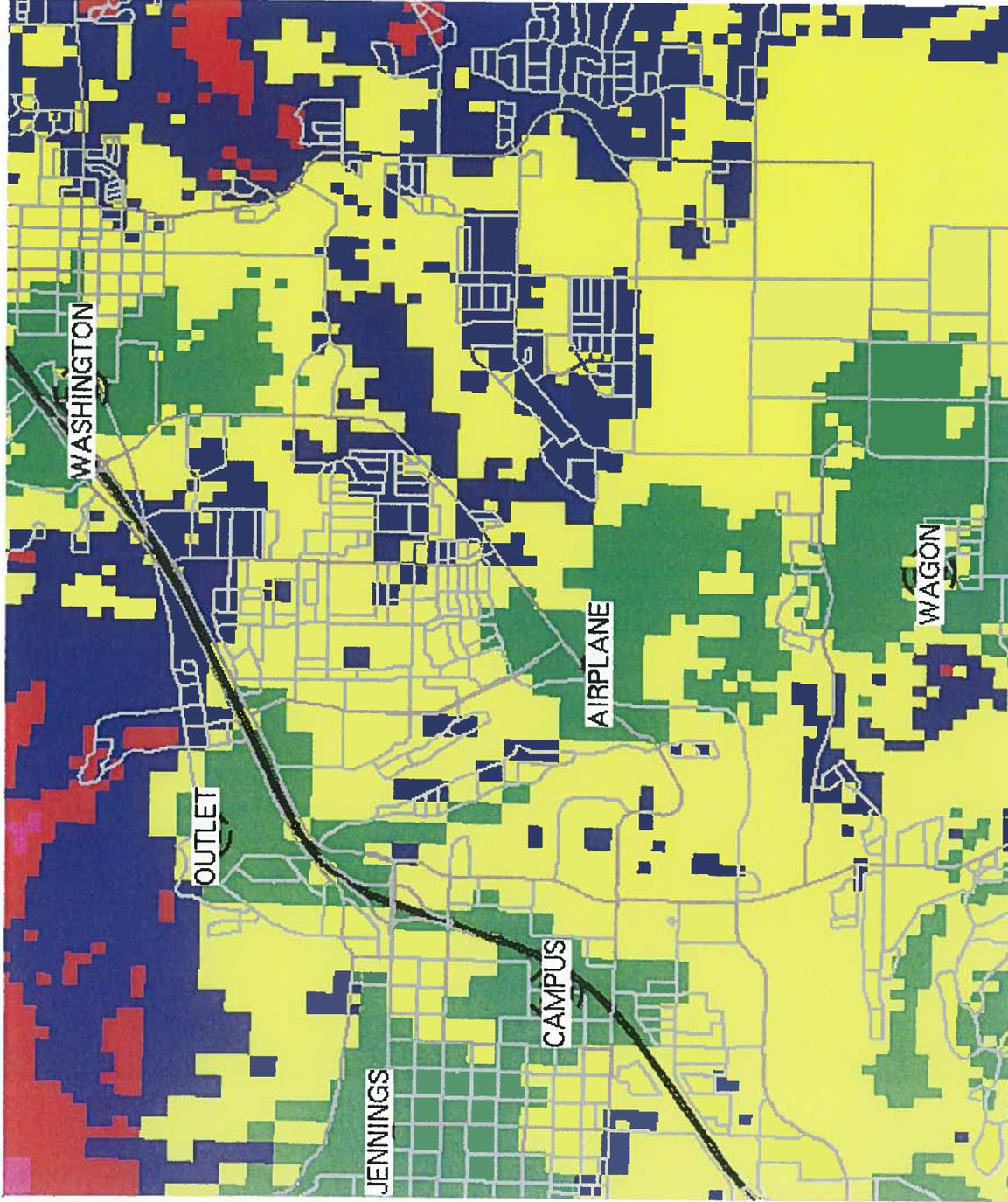


UT4 Airplane

Existing 750 coverage
around the Airplane
site.



Proposed 750 coverage including the Airplane site.



DRAFTAgenda Item Number : **6E****Request For Council Action**

Date Submitted 2014-08-04 12:17:14**Applicant** Mr. & Mrs. Danny Holt**Quick Title** CUP for detached RV garage in Bloomington Ranches**Subject** Consider a request for a conditional use permit to construct a detached RV garage with a height up to 18 feet 2 inches behind the applicant's home at 3030 Sugar Leo Drive in a RE-37.5 zone.**Discussion** The owner/applicant proposes to construct a detached garage behind his home in Bloomington Ranches (RE-37.5 zone) to house his RV, horse trailer, and tractor. The building height will be 18'2" to roof peak. The subdivision has large lots (3/4 acre +) with various detached barns / garages on various lots. The PC will consider this request on Aug 12th and make a recommendation to the Council.**Cost** \$0.00**City Manager Recommendation** Planning Commission recommends approval with the findings required for a CUP.**Action Taken****Requested by** Ray S/ BN**File Attachments****Approved by Legal Department?****Approved in Budget? Amount:****Additional Comments**

DRAFTAgenda Item Number : **6F****Request For Council Action****Date Submitted** 2014-08-04 11:59:40**Applicant** Mr. and Mrs. David Walker**Quick Title** CUP request for Landmark property at 252 N Main**Subject** Consider a request for a conditional use permit to use the Landmark Site property (Julia Graff Home) at 252 N. Main Street for a vacation rental. The property is zoned RCC with a Landmark Site designation.**Discussion** The home at 252 N. Main Street was recently designated as a City Landmark Site by the City Council. Under the zoning code provisions for Landmark properties the owners may request permission to use the property for commercial use. The applicants propose a vacation rental (short term rental) for the home, similar to the use approved for the 'Thompson Home' which is across the street from the Brigham Young home. The PC will consider this request on 8/12 and make a recommendation to the Council.**Cost** \$0.00**City Manager Recommendation** Fits into the City's goal for the downtown. The Planning Commission recommends approval with the concern expressed that applicant needs to keep the guest parking on site and not create parking issues with the neighborhood. Recommend approval.**Action Taken****Requested by** Bob N**File Attachments****Approved by Legal Department?****Approved in Budget? Amount:****Additional Comments**

DRAFTAgenda Item Number : **6G****Request For Council Action**

Date Submitted 2014-08-04 12:03:44

Applicant Verizon

Quick Title CUP for 100' tall monopole cell tower near Riverside Dr

Subject Consider a request to construct a 100' tall co-locatable monopole cell tower in a commercial C-3 zone at approximately 2014 East Riverside Drive, near the Town Storage business.

Discussion Verizon proposes to construct a 100' tall monopole cell tower near the Town Storage business at approximately 2014 E. Riverside Drive in a C-3 zone. The PC will consider this request on Aug 12th and make a recommendation to the Council.

Cost \$0.00

City Manager Recommendation Planning Commission recommends approval.

Action Taken

Requested by Ray S/ BN

File Attachments

Approved by Legal Department?

Approved in Budget? **Amount:**

Additional Comments

DRAFTAgenda Item Number : **6H****Request For Council Action**

Date Submitted 2014-06-10 16:30:31**Applicant** Verizon**Quick Title** CUP for 100' cell tower in M-1 zone (old ind park)**Subject** Consider a request for a Conditional Use Permit to construct a 100' tall mono pole cell tower in the St George Industrial Park (M-1 zone) and more specifically located at 1150 E. 350 N.**Discussion** Verizon proposes to construct a 100' tall mono-pole in the old industrial park located north of Red Hills Parkway at approximately 1150 East. The mono-pole will be capable of co-locating other cell antennas for other cell service providers. The PC tabled this request on June 10th and will re-consider this request on Aug 12th and make a recommendation to the City Council.**Cost** \$0.00**City Manager Recommendation** Planning Commission recommends approval after a lot of discussion and concern about the location adjacent to the freeway and the height.**Action Taken****Requested by** Ray S / BN**File Attachments****Approved by Legal Department?****Approved in Budget? Amount:****Additional Comments**

DRAFTAgenda Item Number : **61****Request For Council Action**

Date Submitted	2014-08-12 11:13:23
Applicant	Energy Services
Quick Title	Approval for the City to Join the UAMPS Resource Project
Subject	Approval for the City Energy Services to join the UAMPS Resource Project by executing the project agreement
Discussion	As per the UAMPS presentation in the recent work meeting, the Energy Services Staff is recommending the City enter into agreement with UAMPS to join the Resource Project. By joining this project, the City will be able to receive the data and updates regarding the Nu-Scale Nuclear Project and have priority rights to participate in the project if it goes to construction. If nothing materializes with the project, the City can terminate the project agreement within 30 days of a new UAMPS budget year. Right now the participation in the project will cost the City approx. \$40,000/yr
Cost	\$40,000/year
City Manager Recommendation	As discussed in the last work meeting this approval would allow the City to be in the loop as this possible energy source moves through the development process. Recommend approval.
Action Taken	
Requested by	P Solomon
File Attachments	<u>Resource Agreement - Los Alamos County.pdf</u>
Approved by Legal Department?	
Approved in Budget?	Amount:
Additional Comments	
Attachments	<u>Resource Agreement - Los Alamos County.pdf</u>

UTAH ASSOCIATED MUNICIPAL POWER SYSTEMS RESOURCE PROJECT AGREEMENT

The City of St. George hereby agrees to become a Participant in the Resource Project according to the following terms and conditions.

PURPOSE AND DESCRIPTION

Participation in the Resource Project enables the Participants to participate in the review of both supply-side and demand-side resources.

TERM

The term of this Agreement begins September 1, 2014 and extends through the earlier of: 1) the termination of the Resource Project, or 2) termination of this Agreement at the option of the Participant, which may be exercised by the Participant upon written notice to UAMPS, 30-days prior to the beginning of the budget year.

DUTIES AND OBLIGATIONS

UAMPS staff will review and analyze supply-side resources; e.g. thermal resource and non-capacity renewable resources; and review and analyze demand-side projects; e.g. conservation projects. Upon a positive analysis, UAMPS will recommend that a Project be formed.

COST OF ALLOCATION

Costs of administering this Agreement will be based on costs as approved by the Resource Project Management Committee and Board of Directors in the annual budget. Any costs expended in the preliminary investigating of new resources will be rebated, if and when, a specific Project is formed.

Allocation of costs will be based on the average of the percentage for each of the four allocators for all Project participants: 1) number of Customers based on the latest Annual Report; 2) equal share pro rata based on total amount of participants, 3) pool usage based on the total pooling dollars for the latest fiscal year; and 4) energy load based on the total energy served by UAMPS for the latest fiscal year. The allocation percentage will be updated annually during the budget process.

The City of St. George agrees to the provisions of this Agreement as indicated by the signature below.

Dated this _____ day _____, 2014.

CITY OF ST. GEORGE

UAMPS

By: _____

By: _____

Title: _____

Title: _____

DRAFTAgenda Item Number : **6J****Request For Council Action****Date Submitted** 2014-08-15 11:02:35**Applicant** Lin Alder**Quick Title** Energy Audit with McKinstry**Subject** Consider approval of an energy investment grade audit agreement with McKinstry Essention, LLC.

Discussion For the past year support services staff have been working with Siemens to determine if it would be in the be interest of the city to consider contracting with an energy performance contractor to perform an investment grade audit on a number of city facilities to see if there where significant savings that could be realized in energy consumption. State law requires that we follow a process in selecting a company rather than just selecting a company based on a preliminary audit of our facilities. We sent out an RFP to four energy performance companies that where on the state's pre-qualified list. Two responded. After reviewing their proposals staff is recommending that we enter into an agreement with McKinstry to do an investment grade audit of select facilities. This agreement does not include any projects that may occur as a result of the audit findings. There is no cost to the city should we decide to pursue cost-saving energy projects with McKinstry based on the audit findings. At that time we will come back to the council with a presentation and the findings before executing an agreement to proceed with reconstruction/improvements to city facilities.

Cost \$0.00**City Manager Recommendation** Result form Requests for Proposal.**Action Taken****Requested by** Marc Mortensen**File Attachments****Approved by Legal Department?****Approved in Budget? Amount:****Additional Comments**

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

AWARD OF BID:

Consider award of contract to Calumet Speciality Products to provide 505 tons of oil for the 2014 Chip Seal Project.

Purchasing Manager Connie Hood advised Calumet Speciality Products was low bidder in the amount of \$247,065 for 455 tons.

MOTION: A motion was made by Councilmember Bowcutt to award the contract to Calumet Specialty Products to provide the oil for the 2014 Chip Seal Project in the amount of \$247,065.

SECOND: The motion was seconded by Councilmember Randall.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

Councilmember Almquist commented that all material has been given to the Reuse Center and is used for other City projects. This is a great way to recycle concrete and is available for purchase.

Public Works Director Cameron Cutler stated that there is not much left at the Reuse Center. The majority of the concrete is being utilized on the Mall Drive Roadway project, saving the City approximately \$60,000.

AWARD OF BID:

Consider award of contract to Sunroc to provide 4,200 tons of aggregate for the 2014 Chip Seal Project.

Purchasing Manager Connie Hood advised there were 3 bids received. Sunroc provided the lowest bid at \$73,530 for 3,800 tons of aggregate.

MOTION: A motion was made by Councilmember Almquist to approve the product purchase for aggregate and delivery from Sunroc for \$73,530.

SECOND: The motion was seconded by Councilmember Bowcutt.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

AWARD OF BID:

Consider award of contract to J2T Peterson to provide 120 hours of Spreader Truck service for the 2014 Chip Seal Project.

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Purchasing Manager Connie Hood advised that J2T Peterson was the sole bidder at \$27,200 for 120 hours of spreader truck service.

MOTION: A motion was made by Councilmember Arial to award the contract to J2T Peterson to provide the spreader truck for \$27,200.
SECOND: The motion was seconded by Councilmember Hughes.
VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

FINAL PLATS:

Todd Jacobsen presented the final plat for 1) Mulberry Estates Phase 6, a 14-lot residential subdivision located at Crimson Ridge Drive and 3000 East, zoning is R-1-12; 2) Mulberry Estates Phase 7, an 8-lot residential subdivision located at approximately 3200 South and 3000 East, zoning is R-1-12; 3) Sycamore Phase 6, an 18-lot residential subdivision located at approximately 2650 East 3800 South, zoning is R-1-10; and 4) Maverik St. George Subdivision, a 1-lot commercial subdivision located at 1450 South and River Road, zoning is PD-C.

MOTION: A motion was made by Councilmember Almquist to approve the final plats.
SECOND: The motion was seconded by Councilmember Randall.
VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

FINAL PLAT AMENDMENT/ORDINANCE:

Consider approval of an ordinance amending the final plat to the Boulevard Centre Pad C Condominiums Amended to convert a portion of the common area into private ownership within the 2nd and 3rd floors of the building. Bob Hermandson, applicant.

Todd Jacobsen stated that the purpose of the amendment is to convert a portion of the common area into private ownership within the 2nd and 3rd floors of the building. The property is located at 162 North 400 East, building C, zoning is C-4.

MOTION: A motion was made by Councilmember Randall to approve the final plat amendment for the Boulevard Centre Pad C Condominiums Amended.
SECOND: The motion was seconded by Councilmember Hughes.
VOTE: Mayor Pike called for a roll call vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

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LOT LINE ADJUSTMENT/LOT SPLIT/LOT MERGER:

Todd Jacobsen presented the lot line adjustment, lot split and lot merger for St. George 730 LLC (Record of Survey for the Lakes Development) which is located west and south of the Sunbrook Development and the Green Valley area, zoning is R-1-10. The developers propose to rearrange the parcels and sell the pods. As the pods are sold, they will return with final plats.

ROADWAY DEDICATION PLATS:

Todd Jacobsen presented the roadway dedication plat for 1) Plantations Drive and Alienta Drive located west and south of the Sunbrook Development and the Green Valley area, zoning is R-1-10 and 2) Lago Vista Drive, Alienta Drive, Sentieri Vista Drive Road located west and south of the Sunbrook Development and the Green Valley area, zoning is R-1-10. Per the agreement, as the parcels are sold and developed, that is when the roadways will be built.

Rick Rosenberg, with Rosenberg and Associates, stated that St. George 730 LLC is the master developer. These pods, which vary in size, can be sold to a series of developers.

MOTION: A motion was made by Councilmember Hughes to approve the lot merger for Planning Commission item 3A for St. George 730 LLC and also the roadway dedication plan, Planning Commission items 3B and 3C.

SECOND: The motion was seconded by Councilmember Almquist.

Councilmember Almquist inquired about what would happen if a pod is purchased that is not connected to an immediate adjacent roadway.

Mr. Jacobsen stated that the roads are designed to connect to each pod. If the pod is further than where the road is build, they are required to build the road to the pod.

City Attorney Shawn Guzman explained that this request is subject to a development agreement with the developer. If they were to develop a pod, they would have to develop a roadway into the pod as well as the arterial streets.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PUBLIC HEARING/FINAL PLAT AMENDMENT/ORDINANCE:

Public hearing to consider a final plat amendment for the Stone Cliff Phase 8 subdivision changing the front yard setback from 25 feet to 20 feet. Clark Spilker, applicant.

Todd Jacobsen presented the final plat amendment for Stone Cliff Phase 8 subdivision. He explained that a number of the lots border the edge of the hill. The lots include slope area that runs off the hill, therefore the entire lot cannot be utilized to build a home. The request is to change the front yard setback from 25 feet to 20 feet allowed under the ordinance.

Mayor Pike opened the public hearing. There being no public comment, he closed the public hearing.

MOTION: A motion was made by Councilmember Arial to approve the final plat amendment for the Stone Cliff Phase 8 subdivision changing the front yard setback from 25 feet to 20 feet.

SECOND: The motion was seconded by Councilmember Bowcutt.

Councilmember Bowcutt inquired how many lots are involved with this amendment.

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Mr. Jacobsen stated that there are 10 lots.

VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PUBLIC HEARING/FINAL PLAT AMENDMENT/ORDINANCE:

Public hearing to consider a final plat amendment for the Meadow Valley Estates Phase 3 Subdivision to adjust the lot line between lots 114 and 115, vacate the public utility drainage easement and to grant a new public utility easement along the future roadway. Roger Bundy, applicant.

Todd Jacobsen presented the final plat amendment for Meadow Valley Estates Phase 3 Subdivision. He explained that the owner of lot 114 has landscaped onto lot 115, in this case, the owners of the two lots are mother and son. They have agreed to adjust the lot line between lots 114 and 115 to incorporate the landscape area, vacate the public utility drainage easement and to grant a new public utility easement along the future roadway. Zoning is RE-12.5. There are no utilities in the pavement currently.

Mayor Pike opened the public hearing. There being no public comment, he closed the public hearing.

MOTION: A motion was made by Councilmember Hughes to approve the final plat amendment for Meadow Valley Estates Phase 3 Subdivision with the lot line adjustment between lots 114 and 115 .

SECOND: The motion was seconded by Councilmember Arial.

VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

Councilmember Almquist asked City Attorney Shawn Guzman about property taxes, how does the County get notified.

City Attorney Shawn Guzman stated that when the final plat it is recorded, the County will make the necessary adjustments.

PUBLIC HEARING/FINAL PLAT AMENDMENT/ORDINANCE:

Public hearing to consider a final plat amendment for the Shinava Ridge Subdivision to move private ownership building pads 48 and 49 approximately 20 feet to the east. Kevan Bundy, applicant.

Todd Jacobsen presented the final plat amendment for the Shinava Ridge Subdivision. The purpose of the amendment is to move private ownership building pads 48 and 49 approximately 20 feet to the east, toward the cul-de-sac. The property is located at 2549 West Sinagua Trail. He explained that since the applicant did not receive 100% of the consents from the other parcel owners, a public hearing is required.

Councilmember Almquist stated that some of the lots that did not give consent are owned by the developer. He asked, of the eight consents received, if they are residents or neighbors to the lots within a certain distance.

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Mr. Jacobsen stated he did not know which eight property owners consented.

City Attorney Shawn Guzman advised he would like to make sure the correct terminology is being used. The law requires consent from those in the same plat. Additionally, he noticed a spelling error on the public hearing notice, therefore he advises to open and continue the public hearing until the next regular City Council meeting.

Councilmember Bowcutt asked if the common area would change.

Mr. Jacobsen stated that only the limited common area is being changed.

Mayor Pike opened the public hearing.

Hugh Larratt-Smith, owner of the two lots, stated that he bought the lots approximately three years ago. Originally, their plan was to build two homes, one on each lot. Both lots presented some challenges with respect to building. In December of 2001, they appeared before the Entrada Design Review Committee (EDRC) presenting a building plan. At that time, they were told that they needed to do some further design. Over the last two and a half years, they have developed a number of plans to make the lots buildable. They have gone before the Entrada Property Owner's Association (EPOA) as well as the EDRC with hopes of achieving a consensual plan that the committee supported. The EPOA and the EDRC has signed off on the amendment that is being proposed tonight. City planning staff reviewed and sign off on the amendment as well. The plan is respectful of the St. George building codes. In accordance with its protocol, the EPOA reached out to all neighbors explaining the amendment, eight responded.

Ronald Dallin, owner of lot 56, stated that he was made aware of the potential change in April. He mentioned that Utah Code 10-9a-606 1(a) and (ii) requires at least 75% of the lot or unit owners to agree to the change. His brother, who owns a lot in this subdivision received a letter early on, however, he received his letter almost a month later. He urged the Councilmembers not to approve this request until all of the required processes are taken care of. This amendment will affect him financially and moves the home directly in front of his view of Snow Canyon.

Brett Henke with Kuma Engineering clarified that with regard to the notification, Mr. Dallin was skipped on the list. As soon as he found out that his letter was missed, one was sent to him, postponing the process. There was not intent to sneak something past the residents, it was an oversight.

Councilmember Almquist inquired if the actual footprint moves. He would like to see a photo depicting the existing and future pad. Additionally, he is not sure that Mr. Dallin's view will be impacted.

Mr. Henke stated that the pad shifts forward toward the cul-de-sac. He has a google earth image showing where the pads will be placed. The rooftop will be below the ridgeline.

City Attorney Shawn Guzman advised that the Council is not approving the design of the house at this time. He clarified that the Council does not see the plans that show where the home will be placed. If the request is approved, the owners can build whatever is allowed to be built per the HOA and City ordinance.

Mr. Jacobsen presented photos which depict the original and moved position.

Mr. Henke commented that he has two additional photos however, due to technical difficulties, the photos would not load. He stated that lots 48 and 49 are not higher in elevation than lot 56. The ridge is approximately 17 feet; the HOA does not want to cut that down. The owners did not want to amend the plat, it was not their idea to move the pads forward.

Mayor Pike stated that since this item will be continued, Mr. Henke can return to the next meeting to bring the additional pictures.

Kate Larratt-Smith clarified that they have been involved with this process for several years. They have tried to be compliant and cooperate with the suggestions of the

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committees. This is not their favorite plan. She can sympathize with her neighbor, Mr. Dallin. The current plan allows for a 5-foot cut to the berm. There is a 17-foot cliff on their side of the lot that concerns her. She explained that their floor base is approximately 17 feet below the floor base of their neighbor and the maximum allowed height is 15 feet. Mr. Dallin's view may or may not be blocked. Currently, he has a 360-degree view, when a home is built on the south he will not have that same view. She is asking for a decision today as their lives have been put on hold economically.

Mr. Larratt-Smith stated that EDRC and the EPOA members include the former CFO of the Entrada Company as well as two real estate attorneys. He explained that during the process, the code that Mr. Dallin mentioned was not raised. Additionally, it is only applicable to common land. What they are addressing is limited common and private land. He asked if he can be allowed to show a picture that proves his neighbor's view will not be taken away.

City Attorney Shawn Guzman stated that since the picture was not included in the agenda packet and the public is not able to view it due to technical difficulties, he advised the applicant to wait until the next meeting to present the picture.

Mayor Pike explained that the public hearing will be continued due to a misspelling, therefore, the applicant can bring the picture back.

City Attorney Shawn Guzman commented that he agrees that State law applies to common area or community area, however, this is limited common area, therefore, the code referred to by Mr. Dallin does not apply. State code allows for an final plat amendment by advertising and holding a public hearing. A misspelling may seem like a technicality, however, he wants to make sure that the public hearing is advertised correctly. He stated that this is a separate process from the HOA process. If neighbors were not informed of the HOA meetings, they would need to address that with the HOA. The City Council has the latitude to either approve or deny this.

Mr. Larratt-Smith stated that the HOA signed the plan. He wished to reiterate that his lots are 17 feet lower than his objecting neighbor. Since they are not allowed to build higher than 15 feet, the neighbor's view will not be taken away.

Mayor Pike suggested to continue the public hearing.

MOTION: A motion was made by Councilmember Hughes to continue the public hearing to August 7, 2014.

SECOND: The motion was seconded by Councilmember Almquist.

VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

PUBLIC HEARING/FINAL PLAT AMENDMENT/ORDINANCE:

Public hearing to consider a final plat amendment for the Southgate Views Subdivision to merge lots 11 and 12 into one lot, vacate the public utility and drainage easement between said lots and to update Note #7 with regards to walkout basements. Bob Hermandson, applicant.

Todd Jacobsen presented the final plat amendment for Southgate View Subdivision. The purpose of the amendment is to merge lots 11 and 12 into one lot. Also, the public utility and drainage easement will be vacated.

Mayor Pike opened the public hearing. There being no public comment, he closed the public hearing.

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MOTION: A motion was made by Councilmember Hughes to approve the final plat amendment for Southgate View to merge lots 11 and 12 and to vacate the public drainage easement.

SECOND: The motion was seconded by Councilmember Randall.

VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PUBLIC HEARING/FINAL PLAT AMENDMENT/ORDINANCE:

Public hearing to consider a final plat amendment for the Primrose Pointe Subdivision Phase 3 amending the language in Note #9. Bob Hermandson, applicant.

Todd Jacobsen presented the request for a final plat amendment for the Primrose Pointe Subdivision Phase 3. With regard to the walkout basement note #9, the amended language includes: "unless otherwise approved by the City of St. George Public Works Department based on a site plan that meets all applicable City Standards, including but not limited to, grading and setback standards and requirements.". He explained that the note is being changed because there was a wall built in front of lot 2. If the owner was required to build a walkout basement, they would have to re-grade the entire lot.

Councilmember Almquist commented that there may be several lots that this applies to in that area.

Mayor Pike opened the public hearing. There being no public comment, he closed the public hearing.

MOTION: A motion was made by Councilmember Bowcutt to approve the final amendment for Primrose Pointe Subdivision Phase 3 changing the language on Note #9.

SECOND: The motion was seconded by Councilmember Arial.

VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PUBLIC HEARING/DESIGNATING HOME A CITY LANDMARK SITE:

Public hearing to consider designating the home at 252 North Main Street a City Landmark Site. David Walker, applicant.

Craig Harvey presented the request to designate the home at 252 North Main Street a City Landmark Site. The home is called the Julia Graff Home. He stated that the home was built in 1917 by Albert Miller and then occupied by Julia Graff and her family until the late 1980's. The intent of the proposed property owner is to pursue a conditional use permit to use the home as a vacation rental property similar to several other historic landmark properties of the City.

Councilmember Bowcutt asked who has applied for this request.

Mr. Harvey replied that the Historic Preservation Committee recommended approval, however Mr. Walker has applied as he is the prospective property owner.

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Scott Fuller, real estate agent for the applicant, stated that Mr. Walker has a history of restoring historical homes. His offer to purchase the property is contingent upon being able to restore the property.

Mr. Harvey explained that designating the home as a City landmark allows the owner to have limited commercial use if a conditional use permit is approved. Under the Landmark Ordinance, there are four requirements to designate the property as a landmark property. He outlined the requirements.

Mayor Pike opened the public hearing. There being no public comment, he closed the public hearing.

MOTION: A motion was made by Councilmember Almquist to designate the site at 252 North Main Street, commonly known as the Julia Graff Home, a Landmark Site in the City of St. George.

SECOND: The motion was seconded by Councilmember Bowcutt.

VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

**PUBLIC HEARING/BUDGET AMENDMENTS/RESOLUTION:
Public hearing to consider amendments to the 2014-2015 fiscal year budget.**

Budget and Financial Planning Manager Deanna Brklacich advised the budget opening includes: 1) To carry over the Tonaquint Nature Center Grading project approved in the prior fiscal year but were unable to complete due to fish and bird nesting non-construction timelines, delaying the project until FY 2015; 2) To carry over the Upgrade Lighting to LED Lighting project approved in the prior fiscal year but delayed pending a City facility-wide lighting efficiency study. The project is not ready to be completed; 3) To carry over the remaining unspent portion of the \$500,000 Small Community Airport Grant awarded FY2013 and primarily used to jump start the SGU to Denver flight and for advertising; 4) To budget for the purchase of merchandise, office, and snack bar equipment from the Golf Pros as part of the re-organization beginning July 1, 2014; 5) To reduce full-time salaries and increase part-time pro shop wages budgets due to re-organizing and moving Eron Deming to Southgate Golf, with his former position at Sunbrook to be back-filled by part-time employees; 6) To carry forward the 2013 Edward Byrnes Memorial Justice Assistance Grant (JAG) which was programmed for body-worn cameras and not expended during the prior fiscal years pending evaluation of vendors, which is now completed and the equipment is ready to be ordered; 7) To separate the CCJJ's budget (Drug Task Force State Grant) into two separate budgets and to adjust the revenue estimate from \$100,110 to \$106,000 based on the actual grant awards. The grants are the CCJJ/State Task Force Grant (STFG) and the State Asset Forfeiture Grant (SAFG); 8) To create the Fiscal Year 2014-15 expenditure and revenue budget for the St. George Resource Center (Switchpoint); 9) To carry over the Columbarium Niche Wall approved in the prior years budget, and ordered, but the vendor was unable to deliver on or before June 30, 2014; and 10) To budget for the refunding of the 2004 G.O. Refunding Bonds.

Mayor Pike stated that he feels it is appropriate to use the savings from refunding of the bond for the All Abilities Park.

Support Services Manager Marc Mortensen introduced Carol Hollowell, the Director of the Resource Center. He mentioned that millions of dollars have been received through grants. It is incredible to see what they have done so far.

Carol Hollowell presented a powerpoint presentation showing the progress of the Resource Center. To date, total volunteers hours are close to 2,000 hours. The name of the Resource Center is now SwitchPoint. She feels the name is appropriate since the concept is to help people by giving them new direction and having resources available for them.

The bulk of the federal grants received are 3-year grants and are for services that are not currently being offered in Washington County. The phone number for the facility will be 627-HOME.

Councilmember Hughes thanked Ms. Hollowell and Matt Loo for all of the work they have done. He has heard nothing but positive feedback from the community.

Ms. Hollowell stated that St. George is going to be a model for best practices.

Mayor Pike explained that this is not all about the City, there are several organizations involved. He mentioned that he and others have met with the Dixie Care and Share Board Members. Although they will not be in the building, they will be partnering with the City in other efforts. The City is very appreciative of what the Dixie Care and Share has done for the past 33 years.

Councilmember Hughes stated that he wished to clarify Item 4. He explained that the Golf Pros were previously independent contractors; however, they are now employees. The City has agreed to purchase some of their equipment and merchandise.

Mayor Pike explained that the City is trying to improve golf operations. Golf is a big boon economically to the community. The goal is to continue to operate in a way to attract people to come visit St. George.

Support Services Marc Mortensen stated that Director of Golf Operations Colby Cowan negotiated with the Golf Pros to purchase their equipment and merchandise. The items purchased were items that were absolutely needed. Additionally, not all items offered were purchased.

Mayor Pike opened the public hearing. There being no public comment, he closed the public hearing.

MOTION: A motion was made by Councilmember Almquist to adopt the resolution and approved the amendments to the 2014-15 budget as itemized through items 1-10.

SECOND: The motion was seconded by Councilmember Randall.

VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PRELIMINARY PLAT: 2.14

Wes Jenkins presented the preliminary plat for Tuscan Hills Phase 3A, a 7 lot residential subdivision located at Province Way and Plantations Drive, zoning is PD-R. Phase 5, which was approved recently, included amenities and open space that was to be dedicated. The open space has not been dedicated yet, therefore, staff has asked that the open space be dedicated as each plat is brought in for approval.

MOTION: A motion was made by Councilmember Bowcutt to approve the preliminary plat for Tuscan Hills Phase 3A.

SECOND: The motion was seconded by Councilmember Randall.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

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The vote was unanimous and the motion carried.

PRELIMINARY PLAT:

Wes Jenkins presented the preliminary plat for Red Storm Townhomes, a 12 unit residential subdivision located at approximately 1100 East and 500 South, zoning is R-3. Per the access management policy, the driveway for this project is too close to 500 South, however, the developer indicated that the site slopes from north to south so that if the units were located on the south of side of the project they would need to be elevated enough so as to prevent flooding in a large storm event. Because of the drainage concern and the low volume of expected traffic along 1100 East, the location of the proposed driveway was acceptable by staff. These units will be individual pads with common and limited common areas. Additionally, 30% of the project area shall be maintained as open space and a playground area will be required.

MOTION: A motion was made by Councilmember Arial to approve the preliminary plat for Red Storm Townhomes.

SECOND: The motion was seconded by Councilmember Hughes.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PRELIMINARY PLAT:

Wes Jenkins presented the preliminary plat for Hoopes Lane, a 3-lot residential subdivision located at 650 East 600 South, zoning is R-1-8. The applicant is proposing to subdivide the property into three lots, with two of the lots being flag lots. The two lots will be served by a 25-foot staff that will require a cross access and maintenance agreement. The developer came to the Planning staff a number of times. This is the best option.

MOTION: A motion was made by Councilmember Hughes to approve the preliminary plat for Hoopes Lane.

SECOND: The motion was seconded by Councilmember Bowcutt.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PRELIMINARY PLAT:

Wes Jenkins presented the preliminary plat for Hawthorn Estates, a 77-lot residential subdivision located at 3000 East Crimson Ridge Drive, zoning is R-1-10. The lots along 3000 East will be double fronting lots and will require a 10-foot landscape strip and a 6-foot high privacy wall. The developer has set aside property on the southeast corner of 3000 East and Crimson Ridge Drive for a future 4 acre neighborhood park. The lower half will be a detention basin with grassy areas. He mentioned that the developer is proposing lot size averaging.

Councilmember Bowcutt asked if there will be a block wall or some sort of barrier when the park is built.

Mr. Jenkins replied that the Parks Division will have to look at that when the park is designed.

Mayor Pike stated that he would like the Council to have an opportunity to see what the Parks Division proposes.

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MOTION: A motion was made by Councilmember Arial to approve the preliminary plat for Hawthorne Estates.
SECOND: The motion was seconded by Councilmember Bowcutt.
VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

CONDITIONAL USE PERMIT:

Consider approval of a conditional use permit to construct a detached RV garage with a height up to 21' at the residence located on lot 601 in the Stone Cliff Subdivision. S G Properties, applicants.

Ray Snyder presented the request for a conditional use permit to construct a detached RV garage with a maximum wall height of approximately 16', a single car garage with a wall height of 11', a storage area and an external outside fireplace. He explained that the property is a corner lot with frontage and access on Lepido Way. The proposed structure will have its east wall near View Point Drive, but will be setback behind the required 25' setback and will not encroach onto any City easements. Although the distance from the main dwelling residence will vary, it will be approximately 41'. There were three letters received in opposition. Those opposing are doing so because the garage will obstruct their views and also they are opposing the height of the garage. Because this is a conditional use permit, the Council will have to include the findings. The structure will have a similar finish material as the main dwelling, will be approximately 21' in height and is within the existing character of the zone.

Councilmember Almquist inquired about the height difference from View Point Drive to the highest point of the garage.

Brent Baxter, who represents SG Properties, stated that the 16' is measured from the lot, the height would be 5' higher if measuring from the street. The property owner has requested to build the RV garage and the other third car garage to comply with the HOA who has approved the request. The address of the home is 1845 East Lepido Way.

Councilmember Almquist commented that although there are ways to hide the garage, there are other tall homes in the area. The view across the street is to the east and to the north. He remembers that across from this home, there used to be a 15-foot rock pile.

Mr. Baxter stated that the detached garage will parallel View Point Drive.

MOTION: A motion was made by Councilmember Randall to approve the conditional use permit to construct a detached RV garage at Stone Cliff.
SECOND: The motion was seconded by Councilmember Hughes.
VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

CONDITIONAL USE PERMIT:

Consider approval of a conditional use permit to construct a detached RV garage with a height up to 18' at the residence located at 1006 South Five Sisters Drive. Scott and Michelle Stucki, applicants.

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Craig Harvey presented a request for a conditional use permit to construct a detached RV garage, with a private workshop, with a height of up to 18' at the residence located at 1006 South Five Sisters Drive. The garage will sit lower than neighboring homes and will be located in the rear yard approximately 43' from the main dwelling and 10' feet from the side property line and 10' from the rear property line. Originally the applicant requested a reduction in the side yard and rear setbacks, but as the Planning Commission discussed the request, it was determined that the code does not support such a reduction and 10' from both the side and rear are required. Findings include aesthetics, height and maintain character and purpose of zone. The garage will have a stucco and rock finish and tile roof and will be approximately 18' in height.

MOTION: A motion was made by Councilmember Hughes to approve the conditional use permit to allow the garage with a height of 18' for the residence at 1006 South Five Sisters Drive.

SECOND: The motion was seconded by Councilmember Almquist.

VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

COOPERATIVE AGREEMENT:

Consider approval of a cooperative agreement with UDOT to replace damaged stormwater drainage channel panels.

Support Services Manager Marc Mortensen advised that UDOT approached the City stating that if the City were to administer the project, the dollars can be stretched further. The project will be to replace the damaged grates on the west side of south Bluff Street. The City will install the drains and UDOT will pay the cost of the materials and will maintain them. The cost for the City is \$65,000

MOTION: A motion was made by Councilmember Bowcutt to approve the cooperative agreement with UDOT to replace damage stormwater drainage channel panels for \$65,000.

SECOND: The motion was seconded by Councilmember Almquist.

VOTE: Mayor Pike called for a roll call vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

TECHNICAL SERVICES AGREEMENT:

Consider approval of a technical services agreement with Buck Oliver for the Millcreek Generation Facility.

Energy Services Director Phil Solomon advised that the City had an O&M Agreement with GE for the Millcreek Facility. On June 30, 2014 GE terminated the agreement because they were moving a number of services to another division. The new division failed to negotiate in a timely manner. He explained that Buck Oliver, who was the GE representative on site, was let go. He is requesting to enter into an agreement with Mr. Oliver for one month of technical professional services. Mr. Oliver will assist in preparing request for proposals to get another entity for maintenance of the facility. The cost of the agreement is \$18,000 for the month of July.

Councilmember Bowcutt inquired if there are other companies, other than GE, that are available to provide this type of maintenance.

Mr. Solomon stated there is one other company located within the United States. All other companies that could meet the requirements are in foreign countries. Proposals will be sent to GE and Trans Canada Turbine.

City Attorney Shawn Guzman advised this item will be subject to approval of the Legal Department.

MOTION: A motion was made by Councilmember Hughes to approve the technical services agreement with Buck Oliver for the Millcreek Generation Facility subject to legal review.

SECOND: The motion was seconded by Councilmember Arial.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

MINUTES:

Consider approval of the minutes from the City Council meeting held on June 5, 2014.

MOTION: A motion was made by Councilmember Hughes.

SECOND: The motion was seconded by Councilmember Arial.

Councilmember Almquist stated that on page 2, with regard to the proposal, Mayor Pike's comments are not in the minutes. The comments include the fact that the City is not part of the project as yet and is not involved in the proposal. He can specifically remember someone saying that the proposal was brought to the City. Also, there was mention regarding the historic nature of the JCPenney building and he believes it is not on the historic register. When Judd's store was mentioned, the minutes state that "historic buildings do not need to be torn down, they can be restored.". Right after that, he remembers someone saying that this is not designated a historic building. Additionally, someone stated that it is not slated to be torn down, just remodeled.

Mayor Pike asked that the City Recorder listen to the recording and bring back the minutes for approval.

Councilmember Hughes withdrew his motion and Councilmember Arial withdrew her second.

MINUTES:

Consider approval of the minutes from the City Council meeting held on June 12, 2014.

MOTION: A motion was made by Councilmember Almquist.

SECOND: The motion was seconded by Councilmember Arial.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

MINUTES:

Consider approval of the minutes from the City Council meeting held on June 19, 2014.

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MOTION:
SECOND:
VOTE:

A motion was made by Councilmember Arial.
The motion was seconded by Councilmember Randall.
Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

ADJOURN:
MOTION:
SECOND:
VOTE:

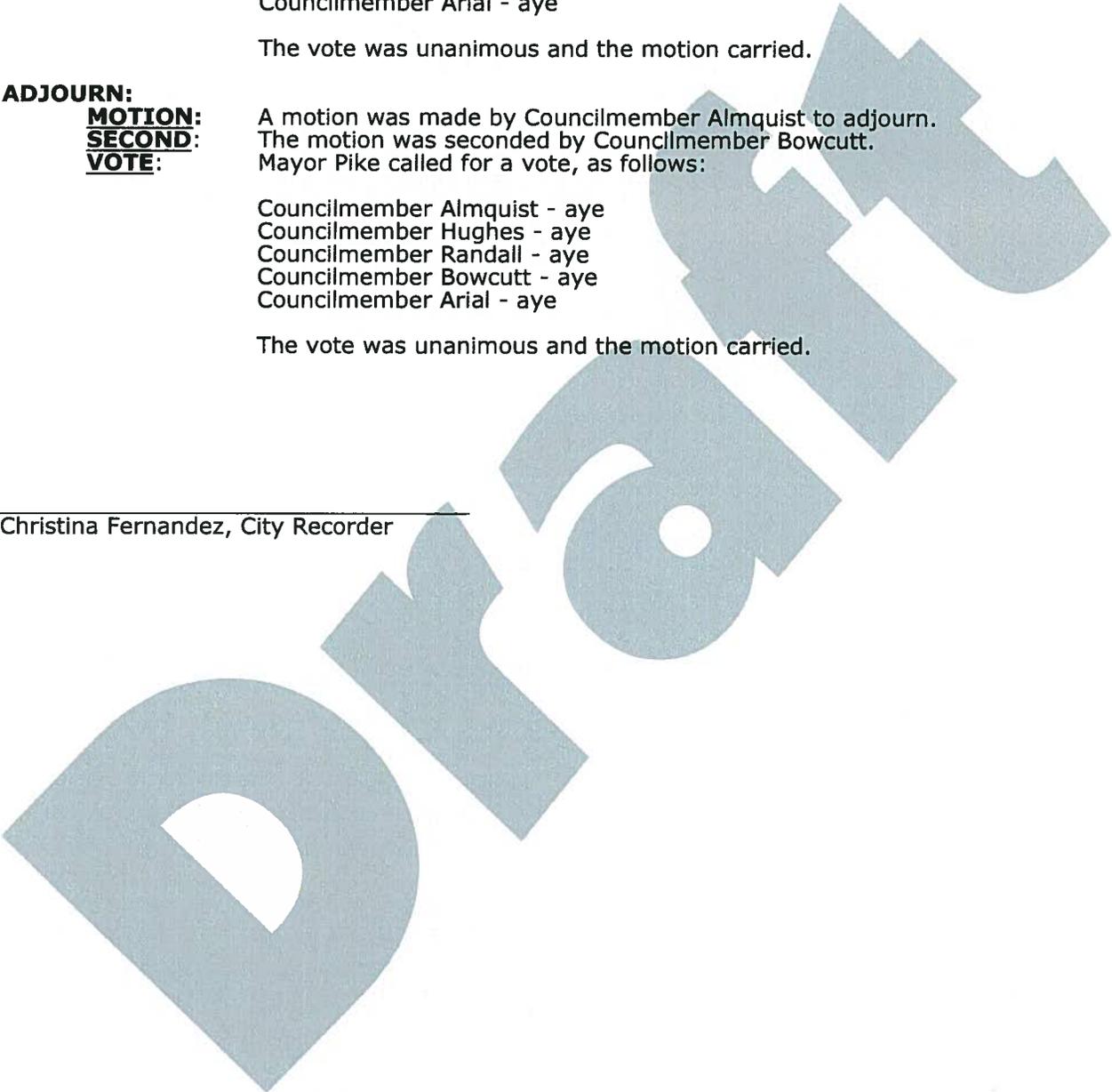
A motion was made by Councilmember Almquist to adjourn.
The motion was seconded by Councilmember Bowcutt.
Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

Christina Fernandez, City Recorder

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City Surveyor Todd Jacobsen presented the final plat for Cottam Cove Phase 1, A 25-lot residential subdivision located at approximately 2050 South and River Road, zoning is R-1-10.

Councilmember Almquist inquired about a detention pond.

John Henderson stated that there will be a detention pond that will be landscaped.

MOTION: A motion was made by Councilmember Randall to approve the final plat for Cottam Cove Phase 1.

SECOND: The motion was seconded by Councilmember Bowcutt.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PRESENTATION FROM UAMPS:

Jackie Coombs, with UAMPS, presented a PowerPoint presentation covering the following topics: UAMPS Overview; Load and Resource Forecast; St. George: Yearly Peak; St. George Monthly Peak Load; St. George Forecasted Load to Resource Comparison and Shortage/Surplus Results; St. George Forecasted Load and Resources, April 2014 - March 2015; St. George: Yearly Resource Usage; St. George: Resource Usage Breakdown - 1997; and St. George: Resource Usage Breakdown - 2007.

Energy Resource Manager James Van Fleet stated that the City has contracts with IPP and the Bonanza Coal Plant. Staff is trying to find other options to fill the base load.

Ms. Coombs continued with her PowerPoint presentation covering the following topics: St. George: Yearly Dollars Billed through UAMPS.

City Manager Gary Esplin stated that it is important to know that there will be a base load every year. Additionally, he explained when the City has extra power, staff tries to sell it to cut costs.

Ms. Coombs stated that base load is energy that is needed 24 hours a day, 7 days a week. There is a need for at least 40 megawatts. Because there is continued growth, approximately 55 megawatts of base load are needed to continue through the 2024 time frame. She explained that UAMPS would partner with the City to broker the power to make it economical. She continued with the PowerPoint presentation covering the following topics: Pool Project; UAMPS Monthly Average Flat Pool and Market Prices; Resource Allocation; Sales to Unplanned Pool; St. George Forecasted Average Load and Average Resources; Environmental Resource Type - 2013; Small Modular Resources; Features of SMRs; NuScale Power SMR; Size Comparison; Coolant Flow Driven by Physics; Reactor Building; Site Layout; Unprecedented Safety Features; and Resource Project. She explained how this parallels to the project being proposed on the Green River.

City Manager Gary Esplin stated that there will not be any base load in 10 years without an interim solution.

Ms. Coombs explained that new transmission is not necessary for at least 250 megawatts. There is capacity available as it will be the same line utilized for Idaho Power. She stated that there is adequate output for Utah. There are other players wanting to come in. She mentioned that the Department of Energy and the co-founder of the technology will be in Logan on Monday. Every technology has environmental risk.

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City Manager Gary Esplin stated that the cost of power averages about \$.07 per kilowatt hour, this project is over \$.08 per kilowatt. Even if the City were to use another power source, there would be a 25% increase. Power costs are going up.

Councilmember Hughes asked if the spent fuel will be stored on site.

Ms. Coombs stated that the spent fuel will be stored on site in a pool of water until it is cool enough to go to dry cast. She explained when it is time to sign the power sales contract, staff would have to forecast how much power is needed. In the interim, staff can buy and sell.

City Manager Gary Esplin stated that he and Phil Solomon, Energy Services Director, believe that the City should participate in the planning of this project.

Mayor Pike stated that this makes sense as the City cannot do alone.

Citizen Ed Baca stated that a new brush company indicated that he relocated his business to St. George because the cost of power here is 1/5 less than it was in California. He inquired if the City will lose such a favorable trend with regard to lower costs.

Ms. Coombs replied no. Although the cost of power will increase for the City, the cost in California will continue to go up as well.

DISCUSSION ON SHADE TREE ORDINANCE:

Parks Manager Larry Shane distributed a Tree Inventory Report and a copy of . Additionally, he presented a PowerPoint presentation covering the following topics: Shade Tree Identification Tools; Tree Inventory; 50% Trees Now Inventoried; All Trees Inventoried Now a Layer in Cityworks Maps; Can Go To Specific Tree; Health of Trees; Specific Search Criteria; Tree Identification Tags; and Cost for Tags.

Kevin Holyoak, Shade Tree Board member commented that the Shade Tree Ordinance is a great idea. He stated that it is frustrating that developers do not realize that when planting trees, there needs to be enough room for the roots to expand. Some of the trees on St. George Boulevard are struggling because the beds are not big enough.

City Manager Gary Esplin explained that when the trees on St. George Boulevard are replaced, staff is widening the beds to give the trees enough room to grow.

Mr. Shane continued with his PowerPoint presentation: Education Through the Shade Tree and Beautification Board.

City Attorney Shawn Guzman advised that if there is an approved landscape plan, the property owner would have to retain the landscape unless a request a change the landscaping is approved.

City Manager Gary Esplin commented that has been the staff's frustration. If an approved landscape plan includes trees in a parking lot and the trees are cut down, the City can make them replace the trees if the Council chooses to do so. He believes the ordinance either needs to be enforced or changed.

Mayor Pike explained that there are people who are not aware of the Shade Tree Ordinance. He believes there needs to be a public awareness campaign.

City Manager Gary Esplin stated there has to be education for the business owners. On River Road a plan was approved for 40 trees, now the business only has 20. He asked if the business owner should be required to put the other 20 trees back in.

Councilmember Randall and Mayor Pike both replied yes, the business owner should be required to re-plant the trees.

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Mr. Shane continued with his PowerPoint presentation covering the following topics: Trees Can Be Added to Property Title; Code Variances; Lost Trees Due to Neglect; Replace Missing Trees; and Give Them Room When Planning.

The Councilmembers discussed possible changes to Ordinance No. 7-1-1993.

Councilmember Almquist advised that section 2-5-6 states " the developer shall be responsible for new street tree plantings prior to receipt of a Certificate of Occupancy". If trees are required, they are required forever. With regard to section 2-5-9 which states "no person shall remove, prune, or otherwise seriously disturb a street tree or park tree without first receiving authorization", he does not believe people are aware of this requirement. He would like to have a notification sent to businesses notifying them of the ordinance. He mentioned locations throughout the City in which trees are either dead or have been removed recently.

City Manager Gary Esplin explained that per the Community Forestry Plan, certain species of trees are required to be planted on selected streets. Under commercial zoning, there is a requirement for specific landscaping.

City Attorney Shawn Guzman advised that if a developer plants a tree in a right-of-way, the tree becomes a City tree.

Councilmember Randall stated that business owners know of the landscaping requirements when they come in with a plan. She feels that when a business is sold and trees are removed, the Council needs to decide to either enforce the requirement or let it go.

Councilmember Bowcutt commented that he believes the knowledge is not there. Possibly, when a business license is issued, that is when the landscape requirements are mentioned. The City's responsibility is to let business owners know about the ordinance.

City Manager Gary Esplin stated that is the key of the tree identification. He believes that at least shade trees in major roads need to be marked.

Councilmember Randall asked Support Services Marc Mortensen to compose a letter that can be sent to business owners.

City Manager Gary Esplin mentioned a suggestion from Budget and Planning Manager Deanna Brklacich. The trees are being removed by either a tree removal company or a landscaper. He wondered if it would help to meet with those types of businesses informing them of the ordinance.

Councilmember Almquist suggested sending a letter to businesses that remove trees.

City Manager Gary Esplin advised that staff will come back to the next work meeting with an action plan on how to proceed.

City Attorney Shawn Guzman stated that he believes planters need to be looked at also.

Mayor Pike inquired if these requirements would apply to churches as well..

Councilmembers replied yes.

Councilmember Hughes stated that a landscaping plan should include the location of signs to prevent them from being hidden by trees in the future.

Councilmember Randall inquired about a tree phone app that was presented to the Shade Tree Board.

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Councilmember Almquist commented that the phone app is appropriate for what the presenter is suggesting.

City Manager Gary Esplin stated that there is no obligation to the City as the City would only sponsor the company. He asked for a copy of the inventory that will be on the app.

Mayor Pike also like the Board to discuss the Wittwer's issues. He encouraged the Board to work with them if there are points that make sense with regard to a different tree in front of their properties along St. George Boulevard.

REPORT FROM COUNCILMEMBERS:

Councilmember Arial mentioned that William Way made suggestions regarding payment options for utility payments. She wondered if there were other options for payments.

Finance Director Philip Peterson explained that the \$1.25 is charged by a thlrd party who hosts online utility payments. When a customer pays their bill, they will see two charges, one for the actual bill and the other to the company who takes care of the payments. Staff has looked at other options, however, the other companies are not compatible with the software the City uses. This particular entity works with our software, therefore, when a payment is made, it shows up in the software as a pending payment. This helps the customer service representatives with shut offs. There are other options available to customers that do not charge fees such as auto pay. He stated that the main reason people use the online payment rather than one of the other options is because it has the most flexibility. The City's discount rate is approximately 2.5%.

Mayor Pike asked Councilmember Arial to respond to Mr. Way.

Mr. Peterson stated that more and more people are using debit cards and do not have personal checks. Customers cannot use credit cards for anything other than utility payments. The City may eventually have to look at accepting credit card or debit card payments for other services.

Mayor Pike commented that the time to deal with this issue is now. Personally, he does not write checks any longer.

City Manager Gary Esplin stated that if credit cards are accepted for other services rates will have to be raised.

Councilmember Arial mentioned that the Arts Commission recently went through the grant process. It was very well organized and the final disposition was very fair.

Councilmember Almquist stated that anyone who has not gone to the Dinosaur Museum recently, needs to go there. Many changes have been made there that have made a big difference. Financially, they are doing much better. The Hillside Board has not done met recently as the ordinance allows reasonable activity on the hillside. Mosquito Abatement has been spraying near ponds. He mentioned that West Nile Virus is back in Utah.

Councilmember Arial thanked Spectrum reporter Dave DeMille for his excellent article regarding Hela Seegmiller Park.

Councilmember Almquist stated that when the Thompson Home was remodeled, they took out a lot of walls, he has the old lumber if it can be used at Seegmiller Park.

Leisure Services Director Kent Perkins stated that the wood can be used.

City Manager Gary Esplin stated that the Gardner's barns are being moved to Seegmiller Park. The \$200,000 that the City will be receiving from Dixie Power will cover almost all of the new projects at the park.

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Community Arts Administrator Gary Sanders mentioned that Bill Lundin suggested to restore old trucks and tractors that can be used.

Mr. Perkins advised that construction is slated to be done by the end of August. Staff is trying to simultaneously construct the historical pieces. They will be bringing in a designer for the exhibits.

Mr. Baca asked what the criteria is for donating to something to the City for the park. He stated that Dave Shrum mentioned possibly donating a windmill.

Mr. Perkins stated that if staff has ability to put it into context and inspect the item, they will accept the donation. He would jump at the chance to get one of Mr. Shrum's windmills for the park.

Councilmember Bowcutt commented that although the Planning Commission has been slow, there may be a couple of items that will face heavily on the Councilmembers.

Councilmember Hughes stated that he missed the last Animal Review Board and that the Housing Authority had someone graduate from the program.

Councilmember Randall mentioned that she would like to receive updates from Department Heads on different projects as she does from Marc Mortensen with regards to the Bluff Street Interchange

Mayor Pike read an email provided by Public Works Director Cameron Cutler updating the Councilmembers on Little Valley Road. The contractor has run into some issues. They hope to have the road open before school starts.

City Manager Gary Esplin advised that staff's recommendation is to solve the issues now rather than later. Rather than having the developer take the drain to the north, staff is suggesting taking it down Horseman's Park.

Mayor Pike continued reading Mr. Cutler's email updating the Councilmembers on Seegmiller Drive, 2000 South and Mall Drive Bridge and roadway. Additionally, there will be a traffic study to look at where stop lights may be needed. With regards to upcoming City Council meetings in August, the work meeting on the August 14, 2014 will be cancelled and the work meeting on August 28, 2014 will be with the Utah Film Commission. Due to the ULCT conference, the work meeting on September 11, 2014 will be cancelled. ~~230~~

Councilmember Randall stated that since Monday, she has received 53 signatures from citizens who would take a bus if there was a bus stop near the Doctors Free Clinic.

City Manager Gary Esplin explained that adding that stop would make for a 40 minute turn around time. He believes there are two choices, one of them being to do away with the current route on 900 South and move it down. There are a number of people who ride the bus to the soup kitchen. He will have Transit Manager Fred Davies do an analysis.

Councilmember Bowcutt suggested turning the route at the soup kitchen and then head over to the clinic. If the parking lot or the road behind the clinic can be extended, it may work.

Councilmember Almquist mentioned the vandalism that has been happening recently. He inquired if retailers have policies when minors come in and buy spray paint.

Police Chief Marlon Stratton stated that it is up to the store if they are going to sell spray paint to minors. The Gang Unit has visited with stores asking to inform them if they see anything suspicious.

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ADJOURN TO CLOSED SESSION:

MOTION: A motion was made by Councilmember Almquist to adjourn to a closed session to discuss land purchase.

SECOND: The motion was seconded by Councilmember Hughes.

VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

RECONVENE AND ADJOURN:

MOTION: A motion was made by Councilmember Hughes to reconvene and adjourn.

SECOND: The motion was seconded by Councilmember Arial.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

Christina Fernandez, City Recorder

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MOTION: A motion was made by Councilmember Hughes to approve the sale of 4.176 acres to St. George Hotel Investors, LLC for \$12 per square foot.

SECOND: The motion was seconded by Councilmember Randall.

VOTE: Mayor Pike called for a roll call vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

City Manager Gary Esplin mentioned that the first hotel will have 130 rooms and the second will have 95 rooms. Construction will start by February 1, 2015.

STREET CLOSURE:

Consider approval of a request to close 100 West from 200 South to 300 South for a Neighborhood Block Party event. Phil Packard, applicant.

Phil Packard, applicant, stated that the event will take place from 5:00 p.m. to 9:00 p.m. No alcohol will be allowed. Residents involved will be those from St. George Boulevard to 300 South from Main Street to Bluff Street. Additional parking will be at the LDS Chapel on Main Street. He spoke to almost all of the residents on 100 West, all are ok with the street closure.

MOTION: A motion was made by Councilmember Bowcutt to approve the street closure on 100 West from 200 South to 300 South for a Neighborhood Block Party.

SECOND: The motion was seconded by Councilmember Hughes.

Councilmember Almquist stated that the applicant also asked for fee waiver for the special event permit.

AMENDED MOTION:

Councilmember Bowcutt amended his motion to include a fee waiver for the special event permit.

SECOND: The amended motion was seconded by Councilmember Hughes.

VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

City Manager Gary Esplin asked Mr. Packard if the street will be physically blocked or will there be emergency vehicle access.

Mr. Packard stated that Utah Barricade will be closing the street and there will be emergency access.

CONDITIONAL USE PERMIT:

Consider approval of a conditional use permit for three buildings in a mixed-use project to have heights ranging from 54' to 50' located between 200 West and 300 West on the south side of Tabernacle Street. Dixie Sun Ventures Inc., applicant.

Community Development Project Coordinator explained that the request is for three buildings in a mixed-use project, called Joule Plaza, to have heights ranging from 54' to 50' located between 200 West and 300 West on the south side of Tabernacle Street in a C-4 zone. The main building on Tabernacle Street will be up to 54' to roof peak while the two interior buildings, located to the rear of the main building, would have heights of approximately 50'.

BUILDING DESIGN CONCEPTUAL SITE PLAN:

Mr. Nicholson stated that the applicant has requested approvals for the building design, conceptual site plan, residential density, a parking ratio of 1.5 parking spaces per residential unit and a waiver for guest parking. He presented a PowerPoint presentation containing photo simulations of the proposed project and parking requirement comparisons. Additionally, he presented a video showing a 360° view of the proposed development. Included in the staff report for the conditional use permit, is a listing of buildings in the area, that have comparable roof heights. Findings include aesthetics and height. Planning Commission recommends approval of the conditional use permit for the height. Density is proposed to be 129 apartment units on 3.9 acres which equals the density of 33 dwelling units per acre. Quite a bit of time was spent on building design. He showed the Councilmembers a materials board. The development meets the mixed-use code requirement that at least 50% of the ground floor area be used for commercial. Initially, parking was an issue; the Planning Commission discussed parking issues for two meetings. Staff compared St. Georges' parking option of 1.5 spaces per dwelling units with five other major Utah cities, most of which require less parking. This project is proposing 288 parking stalls. Planning Commission recommends a waiver on the guest parking because of the mixed use nature, stating that the 288 parking stalls is adequate. A couple of letters in opposition were received, one of them suggested making this building three stories rather than four. The proposed project is outside of the Historic District.

Wes Davis, representative for the applicant, stated that the proposed project will be located where Wilkinson Electric was. This is certainly an opportunity to re-energize the downtown area. They have studied the local market as well as other markets to look at what has been done in other areas. The plans meet or exceed requirements. A market study proposes a higher density than what they are proposing. Residents can walk to many amenities in the area. They have received good feedback from neighbors. In regards to the height, it falls in line with what is in the downtown area.

Councilmember Randall asked after looking at the study, how will that affect weekend parking.

Mr. Davis replied that when 100% of the residents are home, there will be 94 vacant stalls remaining in addition to off site parking. They are estimating 1½ parking stalls per unit. Most units are 1-2 bedroom, very few will have 3 bedrooms. Loading areas will be strategically planned on the property. He explained that the name Joule Plaza got its name for two reasons, the term joule is electrical measurement and a Wilkinson family ancestor had the nickname Joule. It seemed fitting since it is the old Wilkinson Electric store.

Councilmember Arial inquired about parking enforcement. She asked if the City has meter readers.

Mr. Davis explained that they anticipate identifying at least one parking stall for each residence in addition to other security measures. He visited other City's with similar projects, their parking requirements were adequate; however, he did not speak with any of the residents.

City Manager Gary Esplin stated that City ordinance states that on-street parking is limited to 24 hours. Washington County School District is having issues with parking because of persons visiting the courthouse who are using their parking areas. From a planning

standpoint, the City has tried to slow traffic down on Tabernacle. One option may be to look at angled parking for this project.

Councilmember Almquist inquired if there was any marketing research done to look at how many people may not want to own a car.

Mr. Davis stated that they did consider both walkability and the availability of bus services nearby.

Ben Rogers, architect for the project, stated that this type project does not have a precedent in Souther Utah, however, the mixed-use style of the project is used in other high urban areas. They have taken details from other projects, as well as some of the local architecture, and incorporate them into this project. Besides the 30% of ground dedicated for landscaping, they have also included 10,000 square feet for patio and green space elevated at different levels throughout the project. Finishes are intended to have a higher amount of brick on Tabernacle and 200 West. This is an opportunity to increase density.

Councilmember Randall commented that the design looks great; the project would be a bonus in the area.

Councilmember Arial commented that she is not opposed to the project; however she would rather it look more like when pioneers were here.

Mayor Pike commented that he likes the recesses and the colors are great. He feels the project will fit in well. With regard to the height, four stories will work given the surrounding buildings. This is the first time the mixed use concept will be tried in St. George.

City Manager Gary Esplin stated that one thing missing downtown is the density and bringing people who want to live in the downtown area. There is not a need for a lot of retail in the downtown area until you have the density to help support other uses in the downtown area. The only reason they can apply to reduce the parking requirement is because this project is in the mixed-use zone. The developer has been very good to work with. Although the project takes on characteristics of another city, it maintains the characteristics of St. George. This project is great for the downtown area.

Councilmember Almquist mentioned that one thing he looks for is where heating and cooling units will be. He inquired where the units will be for this project.

Mr. Rogers replied that the units will be on the roof and will be concealed by parapets.

Mayor Pike mentioned the biggest concern was parking. Planning Commission has recommended that the parking is sufficient.

Councilmember Hughes stated that he thinks the project is great, but parking concerns him.

City Manager Gary Esplin stated that he thinks there may be an issue when a retailer comes in and there is no parking available for the customer. He believes that policing the parking across the street may create a concern.

Mr. Davis advised that the development will have on-site property management. As property owners, they want to see a successful project. Additionally, they want to make sure the commercial aspect is successful.

Mayor Pike stated that it may get to the point to where the City has to monitor parking. There is more than one way to make it work.

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Mr. Davis advised that most of the residential and commercial parking is in the rear. The rentals will start at \$700 and will go up to \$1,000 per month.

MOTION: A motion was made by Councilmember Randall to approve the conditional use permit to have heights ranging from 54' to 50' located at 200 West 300 West.

SECOND: The motion was seconded by Councilmember Arial.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

Councilmember Hughes noted that the Planning Commission and the developers spent quite a bit of time seeing that the project be what staff wanted to see it.

MOTION: A motion was made by Councilmember Hughes to approve the building design and conceptual site plan for Joules Plaza.

SECOND: The motion was seconded by Councilmember Arial.

City Manager Gary Esplin noted that the action would include a waiver of the guest parking requirements.

AMENDED

MOTION: Councilmember Hughes amended his motion to include the stipulations of the Planning Commission as well as the parking waiver requirements for guest parking.

SECOND: The amended motion was seconded by Councilmember Arial.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PUBLIC HEARING/VACATE ROADWAY/ORDINANCE:

Public hearing to consider vacating a portion of 3000 East and all associated easements.

City Surveyor Todd Jacobsen presented the request to roadway and public utility easement vacation. He showed an aerial map. The parcel was retained and dedicated to the City when the original Cornerstone Subdivision was vacated. It was retained to make sure the City had enough right-of-way for the roadway and future equestrian. It has since been decided that it is not in the best interest of all to have the equestrian trail run along 3000 East Street; therefore, this dedicated area is no longer needed by the City.

Mayor Pike opened the public hearing. There being no public comment, he closed the public hearing.

MOTION: A motion was made by Councilmember Randall to approve the vacation of a portion of 3000 East and all associated easements.

SECOND: The motion was seconded by Councilmember Bowcutt.

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VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PUBLIC HEARING/FINAL PLAT AMENDMENT/ORDINANCE:

Public hearing to consider a final plat amendment for the Shinava Ridge Subdivision to move private ownership building pads 48 and 49 approximately 20 feet to the east. Kevan Bundy, applicant.

City Surveyor Todd Jacobsen advised this public hearing is a continuation from the July 17, 2014 City Council meeting for the Shinava Ridge final plat amendment. He presented a rendering showing the proposed movement of the pads. The property is located at 2549 West Sinagua Trail. The property owner wants to move the pads 20 feet closer to the cul-de-sac, since they are right up against the ridge line.

Mayor Pike stated that the request was continued because the renderings could not be seen due to technical difficulties.

Mr. Jacobsen mentioned that a few letters in opposition were received.

Councilmember Bowcutt stated that he visited the site. One of the arguments at the previous meeting was that moving the pads would block the view of Snow Canyon. He does not see how moving them would block that view.

Mayor Pike reopened the public hearing.

Ron Dallin, owner of lot 56, stated that since the last meeting he learned that there are 49 lots, 23 of which are either built on or in the process of being built on. His concern is that they live by a plat map given to them, not knowing that they can request to move the building envelope. If the other residents would have known, they would have done that. With regard to lots 48 and 49, their limited common property goes along the hill. If the pads are moved forward, it infringes on his privacy. He received a letter from the Entrada Design Review Committee (ERDC) which he says states that they were concerned with the legality of moving the property lines forward. He met with two attorneys in Utah Valley who advised him the committee cannot approve moving the pads. He asked that the City Attorney speak with these attorneys. The couple that bought these lots had the opportunity to look at other lots. He mentioned that he paid twice as much for his lot as the couple paid for those two lots. There is no question that he would retain his view of Snow Canyon. Open space has value to him as a home owner. He cannot see a compelling reason to move them as there are other options. As he looked at the plat map, he found that there are deep lots. He believes that if this is approved, the owners of the twenty-four empty lots will come in to request changes to the lots. He would like to make sure State law is followed. One of the attorneys he met with stated that this requires the vote of the entire community. There are a number of reasons to take more time in making a decision, including looking for other alternatives.

Councilmember Hughes asked Mr. Dallin what the impact would be to him if the owners were to build on the lots as they are now.

Mr. Dallin stated that at the last meeting, the Smith's stated that they are seventeen feet below his lot, however the actual height difference is approximately eight feet. Right now, he does not have a wall. If the pads are moved, he would have a wall right in front of his yard. All of the open space he thought he was going to have will be gone. He does

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not have a problem with the homes that are going in there, but he does not believe there is anyone that want this to happen to them. He believes that the Smith's are taking advantage of him, especially if the state statue is not being followed. A vote is required if taking common property to someone else's building envelope.

Councilmember Bowcutt mentioned that all of the homes built in that area would have the same height, therefore any home built will affect his view.

Mr. Dallin stated that the other homes will be further away. His issue is how close the home will be to his. He feels that having a home 65' away is too close. He will be able to see over the top of the home, but he will lose his privacy. When he built his home, the HOA was very specific on what color he could paint his home; however, they will allow homes to be moved closer to him.

Mayor Pike closed the pubic hearing.

City Attorney Shawn Guzman advised that staff is aware of the statue which addresses common area. There is a distinction between common area and limited common area. Limited common area is not open for anyone else in the HOA, common area is owned in common by everyone in the HOA. Limited open space is not open to the neighbors. The statute refers to common area, this plat refers to limited common area. The Council can distinguish, lot by lot, different reasons why they may approve or deny a request to change a lot.

Councilmember Almquist asked City Attorney Shawn Guzman if this request was action taken by the HOA, rather than the Smith's, to move the pads away from the edge.

City Attorney Shawn Guzman replied that in the previous public hearing, he recalls that the Smith's stated that they went through the process and Mr. Dallin stated that he was not aware the process was taking place. The HOA had not notified Mr. Dallin, he and his neighbors would have attended the meetings. If the HOA failed to follow their own internal process, that can be taken into consideration. The Smith's would have been the party requesting to move the pads. The request was approved by the HOA.

Councilmember Almquist believes It would be interesting to know if the same discussion would ensue had the Smith's requested to move their home further out. He believes there would be more view of the home on the lot left of Mr. Dallin's if the pads stay where they are.

City Manager Gary Esplin advised that would be the argument to leave the pads as they are. He does not know why the HOA is involved in this process. What is the benefit of moving the pads? Whatever the outcome, there will be someone who is unhappy.

Mayor Pike stated that he recalled the Smith's requested the movement because of their concerns with the slope.

Councilmember Bowcutt asked Mr. Dallin if there were markers that indicated that the entire hill was not taken away.

Mr. Dallin replied yes, there are markers that mark the property. The hill was not pushed back. He believes there is approximately 30-40 feet there.

Councilmember Bowcutt commented that the plat map shows much more space than the rendering does.

Mayor Pike commented that may be a problem if the HOA or developer did not represent the property correctly to the buyer.

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City Manager Gary Esplin stated that one option is to build the house smaller to get a larger back yard.

Councilmember Hughes stated that this is not the first time the Council has seen a request to make a change. It makes a lot of sense to say what is there, is there for a reason. Buyers need to know what they are buying. He does not feel the City needs to get in the middle of an HOA or a developer issue.

MOTION: A motion was made by Councilmember Arial to deny the ordinance amending the final plat for Shinava Ridge.

SECOND: The motion was seconded by Councilmember Randall.

VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

MEMORANDUM OF UNDERSTANDING:

Consider approval of a Memorandum of Understanding between the City and the Best Friends Animal Society with regard to the Community Cat Program.

City Manager Gary Esplin advised this item is a continuation of the current program. The Police Department recommends the arrangement.

City Attorney Shawn Guzman stated that since the year is more than half over, the MOU will go through December 31, 2015.

MOTION: A motion was made by Councilmember Randall to approve the MOU with Best Friends Animal Society through December 31, 2015.

SECOND: The motion was seconded by Councilmember Hughes.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

PROPERTY LEASE AGREEMENT:

Consider approval of a Property Lease Agreement with Helidyne.

Energy Services Director Phil Solomon stated that Helidyne is a local company with the potential to grow if they can prove their project. They propose to generate power off the compression inside a gas compressor. This application would be used for offshore oil and gas drilling rigs. He explained that Helidyne has a potential customer; however, that customer wants to make sure that the device works. Scott Hirschi has been involved to assist Helidyne. The proposal is that they will lease a portion of the power yard, tap into the gas line and build the test unit. Per the agreements, the City would receive any power that is generated and receive payment. The agreement is subject to legal review. Additionally, the City would be totally indemnified from anything that would happen. Helidyne will be required to have insurance and to follow protocol for gaining access to the power yard.

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Andrew Kerlin, Vice President of Helidyne, explained that the compressor runs off natural gas and it compresses natural gas and nitrogen. During the first phase, they will compress nitrogen and convert it to mechanical shaft power. Under full load test conditions, it will generate 60 kilowatts. The natural gas compressor is a piston type. They are compressing the gas for the off shore platforms that compress either natural gas or nitrogen on shore and then send it to the platform to send down the hole. Their potential customer is Pemex, the 5th largest oil producer in the world. They will be working with Dominion who is contracted to supply power to the platforms. If successful, they plan on relocating to the industrial park and will create 200 jobs. He explained that they need natural gas to power the gas compressor.

City Attorney Shawn Guzman advised the Legal Department has read and approved the agreement.

MOTION: A motion was made by Councilmember Hughes to approve the property lease with Helidyne.

SECOND: The motion was seconded by Councilmember Almquist.

VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

LOCAL GOVERNMENT CONTRACT:

Consider approval of a Local Government Contract with UDOT for Creamer and Noble to perform Construction Management on the Indian Hills Drive Project.

City Manager Gary Esplin stated that the contract with UDOT for Creamer and Noble to perform construction management of the Indian Hills Drive Project.

Mayor Pike advised that any petroglyphs in the area will not be disturbed.

MOTION: A motion was made by Councilmember Hughes to approve the local government contract with UDOT for Creamer and Noble to perform construction management on the Indian Hills Drive Project.

SECOND: The motion was seconded by Councilmember Bowcutt.

VOTE: Mayor Pike called for a vote, as follows:

Councilmember Almquist - aye
Councilmember Hughes - aye
Councilmember Randall - aye
Councilmember Bowcutt - aye
Councilmember Arial - aye

The vote was unanimous and the motion carried.

AGREEMENT:

Consider approval of an updated agreement between the City and the United States Department of Agriculture's Natural Resource Conservation Service.

City Engineer Jay Sandberg explained that on the east side of the Washington Fields area, there are three detention basins. The Natural Resource Conservation Service (NRCS) has funds to study the basins for flood control. In order to move forward with the study, the NRCS is requiring that the Watershed Work Plan agreement be updated. The biggest

change is adding the Washington County Flood Control Authority, who will take the lead role in management of upgrading and construction of the three basins.

City Manager Gary Esplin explained that if you drive along the new road by the Airport and look off to the west, you can see one of the basins. The City does not maintain the basins and they are not on City property; however, they protect City properties in the event of a flood.

Mr. Sandberg advised the agreement was reviewed and approved by the Legal Department.

Councilmember ALmquist stated that the basins are fairly old. It makes sense that they be updated.

MOTION: A motion was made by Councilmember Almquist to approve the updated agreement between St. George City and the United States Department of Agriculture's Natural Resource Conservation Service (NRCS), specifically that the NRCS request this work plan be updated and authorize the Mayor to sign.

SECOND: The motion was seconded by Councilmember Arial.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

APPOINTMENTS:

Mayor Pike recommended appointing Lorraine Mathies to the Animal Shelter Review Board.

MOTION: A motion was made by Councilmember Arial to appoint Lorraine Mathies to the Animal Shelter Review Board.

SECOND: The motion was seconded by Councilmember Randall.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

MINUTES:

Consider approval of the minutes from the City Council meeting held on June 5, 2014.

MOTION: A motion was made by Councilmember Arial to approve the minutes.

SECOND: The motion was seconded by Councilmember Almquist.

VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

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The vote was unanimous and the motion carried.

MINUTES:

Consider approval of the minutes from the City Council meeting held on July 10, 2014.

MOTION: A motion was made by Councilmember Arial to approve the minutes.
SECOND: The motion was seconded by Councilmember Hughes.
VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

ADJOURN TO CLOSED SESSION:

MOTION: A motion was made by Councilmember Almquist to discuss property issues.
SECOND: The motion was seconded by Councilmember Hughes.
VOTE: Mayor Pike called for a roll call vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

RECONVENE AND ADJOURN:

MOTION: A motion was made by Councilmember Randall to reconvene and adjourn.
SECOND: The motion was seconded by Councilmember Almquist.
VOTE: Mayor Pike called for a vote, as follows:

- Councilmember Almquist - aye
- Councilmember Hughes - aye
- Councilmember Randall - aye
- Councilmember Bowcutt - aye
- Councilmember Arial - aye

The vote was unanimous and the motion carried.

Christina Fernandez, City Recorder

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