



**RIVERDALE CITY PLANNING COMMISSION AGENDA
CIVIC CENTER - 4600 S. WEBER RIVER DR.
TUESDAY – SEPTEMBER 23, 2014**

6:00 p.m. – Work Session (City Council Conference Room)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items

- *Planning Commission discussion on Serving the Public Interest*

Presenter: Michael Eggett, Community Development Director

6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Open Communications

(This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes.)

C. Presentations and Reports

Community Development Report

D. Consent Items

1. Consideration of meeting minutes from:
September 9, 2014 Work Session
September 9, 2014 Planning Commission

E. Action Items

1. Preliminary review of Bravo Arts Academy proposal

*Presenters: Mike Ford, Riverdale Business Park Developer
Nate Reeve, Reeve Engineering*

F. Discretionary Items

G. Adjournment

- The public is invited to attend all Planning Commission meetings.
- In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Recorder at 394-5541 x 1232.
- This agenda has been properly posted and a copy provided to local news media.

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
September 23, 2014**

AGENDA ITEM: Work Session Items

SUBJECT: Planning Commission training article
 ○ *Serving the Public Interest*

PETITIONER: Per Community Development Director desire this item will be placed on the agenda as a permanent and regular item.

ACTION REQUESTED BY PETITIONER: Training document review

INFORMATION: *Serving the Public Interest*

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TRAINING TIPS FOR ELECTED AND APPOINTED OFFICIALS

Topic: ***Serving the Public Interest***

THIS TOPIC IS APPROPRIATE FOR:

- ✓ CITY COUNCIL
- ✓ PLANNING COMMISSION
- ✓ BOARD OF ADJUSTMENT

A definition of public interest will differ from issue to issue as no universal definition of public interest is possible nor practical. The "public" is in fact a myriad of "publics".

How a city addresses this dilemma within the planning process is by trying to identify who the "stakeholders" are. That is, who is impacted by this decision and how can they be involved in the process? Whether invited or not, the stakeholders will be involved in planning issues by insisting they be allowed to comment on proposals.

Given the stakeholder and staff comments, the planning decision makers must serve the public interest by being willing to question any proposal as to how it will affect the City residents and businesses, by determining if the proposed actions are good governmental policy, and by ensuring that the available information is adequate to make those determinations. Ultimately, the Council or Planning Commission must find a balance amongst opposing values and options, and make a decision.

Unfortunately, there are no "truths" in planning. Although it is desirable to base land use decision on a great deal of information and reasoned conclusions, often there are many unknowns and conclusions which require making value judgments.

Just as often, those value judgments must be made when several values important to the community are in conflict. Each of these values may be worthy on its own, but when it conflicts with other needs, difficult choices must be made and a balance reached. The key is to determining where the "balance" between these values lies. Reaching a balance between two opposing values is referred to as "balancing tests." Some of the typical balancing tests are:

- The neighborhood versus city-wide concerns
- Individual needs vs. community good

- Individual needs vs. public responsibility
- What decision makers want to do vs. what they have the power to do
- Attempting to find compromise amongst competing interests vs. each group wanting to realize its plans as they proposed them
- Who should pay for city services -- the city as a whole vs. only those who use the service?
- Wanting commercial services convenient to home vs. not wanting it next to you
- The need to be flexible vs. the need to be consistent so individuals know what to expect

As you approach a major issue, stop and ask yourself, "Who are the key stakeholders concerned or affected by this issue?" "Have they been notified of the meeting where this will be discussed?" and "How do we balance their concerns with those the City has?"

This is an important exercise to go through not only because it ensures the stakeholders are involved from the very beginning of the planning process, but also because **controversial issues are controversial because values are clashing.**

**RIVERDALE CITY
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AGENDA ITEM: B

SUBJECT: Open Communications

PETITIONER: Anyone Interested

ACTION REQUESTED BY PETITIONER: Open agenda item provided for any interested person to be able to speak about any topic.

INFORMATION: Per Governing Body desire, this item will be placed on the agenda as a permanent and regular item.

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**RIVERDALE CITY
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September 23, 2014**

AGENDA ITEM: C1

SUBJECT: Community Development Projects Status Report

ACTION REQUESTED BY PETITIONER: Information only.

INFORMATION: Opportunity for the Community Development Director to present any updates or information on follow-up issues to the Planning Commission.

[Community Development Report](#)

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COMMUNITY DEVELOPMENT PROJECTS STATUS REPORT

September 12, 2014

OPEN FOR BUSINESS



The Pelican Restaurant and Pub has opened at 4029 S. Riverdale Road in the former TGI Friday's building.



Ferguson plumbing supply is now open at 4761 S. 1150 W.



Honey Baked Ham has re-opened their store at 1083 W. Riverdale Road.

Seasonal Developments (Halloween)



Halloween City has opened at 4177 S. Riverdale Road.



Spirit Halloween Super Store has opened at 1070 W. Riverdale Road.



Castle of Chaos haunted house has opened at 1134 W. Riverdale Road.

NEW & ONGOING DEVELOPMENTS



Massage Envy Spa is planning to open in Riverdale at 4097 S. Riverdale Road.

Riverdale Business Park

Construction is nearing completion on a commercial retail building in the Riverdale Business Park located at 5175 South 1500 West.



Ken Garff Honda located at 950 W. Riverdale Road, is doing an interior remodel of their dealership.



**RIVERDALE CITY
PLANNING COMMISSION AGENDA
September 23, 2014**

AGENDA ITEM: D

SUBJECT: Consideration of meeting minutes from:
September 9, 2014 Work Session
September 9, 2014 Planning Commission

PETITIONER: City Recorder

ACTION REQUESTED BY PETITIONER: Approve minutes

INFORMATION: See attached minutes as follows:

[September 9, 2014 Work Session](#)

[September 9, 2014 Planning Commission](#)

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Minutes of the **Work Session** of the **Riverdale City Planning Commission** held Tuesday, **September 9, 2014** at 6:14 p.m. at the Riverdale Civic Center, 4600 South Weber River Drive.

Members Present: Blair Jones, Chairman
Steve Hilton, Commissioner
Kathy Eskelsen, Commissioner
Cody Hansen, Commissioner

Members Excused: Lori Fleming, Commissioner
David Gailey, Commissioner
Michael Roubinet, Commissioner

Others Present: Michael Eggett, Community Development Director; Ember Herrick, City Recorder and two members of the public Don L. Enlow, representing Christian Heritage School Association and Cannon Carter Randall, representing Good Foundations Academy.

Chairman Jones welcomed the Planning Commission members to the work session stating for the record that all were in attendance except for Commissioners Fleming, Gailey and Roubinet who are excused. Community Development Director Michael Eggett said Ferguson Plumbing and Massage Envy will open shortly and the Pelican Restaurant is open for business and the Honda dealership remodel is nearing completion.

Chairman Jones asked for any changes or corrections to the previous meeting minutes and none were noted.

Mr. Eggett said the only action item on tonight's agenda is a small subdivision request from Good Foundations Academy (GFA) and Christian Heritage School Association (CHSA). He said GFA will take over ownership of four acres where their school building is located and CHSA will retain ownership of a one acre parcel with a building that formerly served as a daycare behind GFA. Mr. Eggett said staff has reviewed the small subdivision request and there are no new roads being proposed and a reciprocal parking and sewer agreement between the two entities is in place so staff has no significant outstanding issues. Mr. Eggett said Public Works Director Shawn Douglas asked about the escrow for a new water lateral and Mr. Eggett said he got price estimates today. He said Don L. Enlow is present representing Christian Heritage School Association and Carter Randall representing Good Foundations Academy. Commissioner Hilton asked about shared utility payments and Mr. Randall said all utilities will be separated, the only outstanding utility is the water and that is why Mr. Eggett got the water lateral estimates. Mr. Eggett said the two schools have a shared sewer line but are independently responsible for the utility costs.

Chairman Jones asked for discretionary items and Commissioner Hansen asked about the status of the 17 acre parcel on River Park Drive that Riverdale City is in the process of purchasing for a future city park and Mr. Eggett said the due diligence period has been extended for approximately three weeks. There were no additional discretionary items noted.

Mr. Eggett said tonight's training document *Controversial Zoning Decisions* discusses how elected and appointed officials should handle the public mentality of "not in my backyard". He said the article recommends understanding current laws and ordinances to ensure they are up to date and govern the behaviors of officials and staff. Mr. Eggett said fee schedules should also be evaluated regularly and the city should have a list of experts that can be called on to offer advice when controversial subjects arise. He said a larger venue should be considered when public meeting are expected to be well attended and all open meeting laws should be complied with so that the public and petitioners feel proper procedure was followed and they have had a an opportunity to be heard. Mr. Eggett said cities should preparing in advance to deal with the controversial "not in my backyard" zoning requests. He asked for any questions or comments and none were noted.

There being no further business, the Planning Commission adjourned at 6:25 p.m.

Approved: September 23, 2014

Attest:

Blair Jones, Chairman

Ember Herrick, City Recorder



Minutes of the **Regular Meeting** of the **Riverdale City Planning Commission** held Tuesday, **September 9, 2014 at 6:30 p.m.** at the Riverdale Civic Center, 4600 South Weber River Drive.

Members Present: Blair Jones, Chairman
Steve Hilton, Commissioner
Kathy Eskelsen, Commissioner
Cody Hansen Commissioner

Members Excused: Lori Fleming, Commissioner
David Gailey, Commissioner
Michael Roubinet, Commissioner

Others Present: Michael Eggett, Community Development Director; Ember Herrick, City Recorder and two members of the public including Don L. Enlow, representing Christian Heritage School Association and Cannon Carter Randall, representing Good Foundations Academy.

A. Welcome & Roll Call

Chairman Jones welcomed everyone to the meeting and stated for the record all members of the Planning Commission are present except for Commissioners Fleming, Gailey and Roubinet who are all excused.

B. Open Communications

Chairman Jones said there are no members of the public present to speak during the open communications portion of the meeting.

C. Presentations and Reports

Community Development Director Michael Eggett said the only update to the Community Development Report is the anticipated openings of Massage Envy and Ferguson Plumbing. He said the Pelican Restaurant is currently open for business and the Ken Garff Honda remodel is near completion. Mr. Eggett said there will be a preliminary review of a proposal to build a Bravo Arts Academy on 1500 West as part of the Riverdale Business Park at the September 23, 2014 Planning Commission meeting. Commissioner Hansen asked which parcel the arts academy is considering for their location and Mr. Eggett said the building will take up the entire southwest lot of the business park. There were no additional questions or comments.

D. Consent Items

- 1. Consideration of meeting minutes from:
August 26, 2014 Work Session
August 26, 2014 Planning Commission**

Chairman Jones asked for any changes or corrections to the previous meeting minutes and none were noted.

Motion: Commissioner Hilton moved to approve the consent items. Commissioner Eskelsen seconded the motion.

There was no discussion on the motion.

Call the Question: The motion passed unanimously.

E. Action Items

1. Consideration of recommendation to the City Council for approval of Good Foundations Academy small subdivision

Mr. Eggett said the petitioners of this small subdivision request are Christian Heritage School Association (CHSA) represented tonight by Don L. Enlow and Good Foundation Academy (GFA) represented by Carter Randall. According to Mr. Eggett, the petition is to create a subdivision of four acres for GFA where their school building currently sits and for CHSA to retain one acre in the rear of the property where a building formerly used as a daycare sits. He said this is an A-1 agricultural zone permitting educational facilities and all staff concerns have been addressed by the petitioners. Mr. Eggett said the two schools will operate separately but have a joint parking and driveway access agreement that was reviewed by the city's engineer.

Commissioner Hilton asked why the two schools are subdividing the property and the applicants said the two schools have been operating independently for some time. Commissioner Hansen said he observed the schools today as classes were letting out and he asked if cross access use of a sidewalk to 1150 West has been addressed as part of the joint operating agreement between the two parties as this appears to be a busy thoroughway for pedestrians. Mr. Enlow and Mr. Randall noted the recommendation for inclusion in their agreement and Chairman Jones asked which entity will be responsible for snow removal on that sidewalk and Mr. Randall said it will be GFA. Commissioner Hansen asked how the neighborhood could be impacted if CHSA decides they want to do a curb cut so that vehicles leaving their one acre lot can exit via 1225 West instead of using the shared driveway with GFA to 1150 West. Mr. Eggett said this request is not part of the current petition and if CHSA wanted to do this in the future they would need to apply for a site plan amendment, subject to Planning Commission and City Council review.

Commissioner Hansen asked what other uses would be allowed in these buildings if they ceased to be educational facilities at some point in the future and Mr. Eggett said the uses are very limited in an A-1 zone to a home, educational or daycare use and anything else would require the petitioner to go through a rezone request. There were no additional questions or comments.

Motion: Commissioner Hansen moved to forward to the City Council a favorable recommendation for approval of Good Foundations Academy's small subdivision request with the addition of a sidewalk easement reflected as part of the approval. Commissioner Eskelsen seconded the motion.

There was no discussion on the motion.

Call the Question: The motion passed unanimously.

F. Discretionary Items

Chairman Jones asked for any discretionary items and Mr. Eggett asked for consensus to order Apple iPad Air tablets for the Planning Commission's use and support for the purchase was unanimous. Mr. Eggett said he will be attending the League of Cities and Towns conference September 10-12, 2014 in Salt Lake City with the intent to get planning information that he can use for future Planning Commission trainings. Mr. Randall asked Mr. Eggett about receiving the cost estimates document for the water lateral escrow and Mr. Eggett said he received the numbers and forwarded the document to City Engineer Scott Nelson for review. Mr. Eggett said

the document will be recorded as part of the subdivision plat with Weber County following a review by the engineer. No additional discretionary items were noted.

G. Adjournment

Motion: There being no further business to come before the Planning Commission, Commissioner Eskelsen moved to adjourn the meeting. Commissioner Hansen seconded the motion. The motion passed unanimously. The meeting adjourned at 6:41 p.m.

Approved: September 23, 2014

Attest:

Blair Jones, Chairman

Ember Herrick, City Recorder

DRAFT

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
September 23, 2014**

AGENDA ITEM: E1

SUBJECT: Preliminary review of Bravo Arts Academy proposal

PETITIONER: *Mike Ford, Riverdale Business Park Developer
and Nate Reeve, Reeve Engineering*

INFORMATION:

[Exec Summary Bravo Arts Prelim Site Plan – Planning Commission](#)

[PC Prelim Site Plan Review](#)

[Engineering Prelim Review letter –9-18-2014](#)

[Department Staff Reports – Bravo Arts Prelim](#)

[Bravo Arts App](#)

[Sewer Letter – Bravo Riverdale](#)

[Bravo – Development Agree](#)

[Bravo – Prelim Site Plan Complete](#)

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Planning Commission Executive Summary

For the Commission meeting on: 09-23-2014

Petitioner: MAFCO Riverdale, LLC (Mike Ford)

Summary of Proposed Action

Mike Ford has applied for a Preliminary Site Plan review of the Bravo Arts Academy as a proposed preschool/nursery school/education development located at approximately 5175 South 1500 West in a Planned Regional Commercial (CP-3) zone. This site plan is being proposed to combine lots 1 and 4 of the previously approved Hayward Subdivision and this combination will need to be resolved and reflected appropriately when recorded with Weber County, should this site plan be approved in the future. A public hearing is not required to consider this Site Plan proposal or to consider an amendment to a previously approved subdivision plat. Following the presentation and discussion of the proposal, the Planning Commission may make a motion giving preliminary approval of the Bravo Arts Academy site plan proposal (and its subsequent amendment to the Hayward Business Park Commercial Subdivision Plat), approval of the proposed site plan with any requested modifications, or not giving preliminary approval of the Bravo Arts Academy site plan. If preliminary approval was provided, then this matter could move forward to a future Final Site Plan review process with the Planning Commission.

Title 10 Ordinance Guidelines (Code Reference)

This Preliminary Site Plan review is regulated under City Code 10-21 "Subdivisions" and 10-25 "Development in All Zones", and is affected by City Codes 10-10B "Planned Commercial Zones (CP-1, CP-2, CP-3)", 10-13F "Special Use Districts - Hillside", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", 10-16 "Sign Regulations", and uses listed in 10-10A-4 "Commercial Zones (C-1, C-2, C-3)", which are all deemed conditional uses in Planned Commercial Zones (the conditional uses may be granted following City Council review and potential approval of the Development Agreement).

The proposed development parcels were previously established and subdivided in 2007-08 as Hayward Business Park, Lots 1 and 4. Since that time, the original applicant was not able to complete the original project intended for this site and the property went into default to the banking entity associated with the property. Mike Ford has since purchased this property in the hopes of developing the Hayward properties. The property is in a CP-3 zone which requires the developer of the site to participate in a development plan discussion with the City. Under City Code 10-10B-2, it states that the development plan should include an outline of uses indicated to be allowed in the CP-3 zone as part of the development plan approval. The developer has provided a draft development agreement that does list the intended uses for the proposed building spaces.

Attached with this executive summary is a document entitled "Preliminary Site Plan Review - Bravo Arts Academy (Hayward Subdivision Lots #1 and 4)"; this is a supplementary document addressing items on the Preliminary Site Plan application document. Also attached, following this executive summary, are comments from the Public Works Director, the Fire Chief and contracted City Engineer (the Police Chief provide no comments for discussion). The Planning Commission should discuss any concerns raised by these summaries.

The Planning Commission and the applicant need to be sensitive to the fact that this is a CP-3 zone and per 10-10B-6 of the City Code, this development needs to have an acceptable relationship to, and further the purposes of, the overall plan for this area of the City (i.e. aesthetic relationship to already existing

buildings, maintenance of facilities, etc).

There is a concern associated with the Landscaping Plan (sheet 10) for this site; the plan reflects a large portion of the property to the south of the building as "Existing Vegetation to Remain". This could become a major code enforcement concern for the City and the developer should clarify this statement and/or develop a more thorough landscaping plan for this section of the lot. There is also a concern regarding the building elevation in that no documentation has been provided thus far regarding the height, building materials, or overall aesthetic nature of the proposed structure listed in this site plan review. A building elevation drawing is key in determining architectural and aesthetic compatibility to other buildings and uses within this CP-3 zone area.

Additionally, the proposed plat and site plan reflect the joining of two lots into one large lot. As noted in the attached Preliminary Site Plan Review document, a plat sheet has not been provided regarding this site plan and is anticipated in order to appropriately reflect the joinder of lots 1 and 4 in the Hayward Subdivision. The petitioner should contact the Weber County Recorder/Surveyor's office to determine how best to prepare this new plat for recordation purposes. Per City and State Codes, there is no public hearing requirement for an amendment to a subdivision that doesn't adversely impact other owners in the subdivision or involve the vacation of a street, right-of-way, or easement.

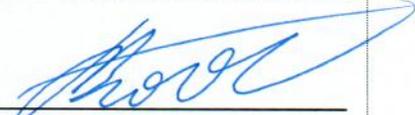
The Planning Commission is encouraged to briefly discuss signage plans with the petitioner to better understand how signage will work in this area; signage is regulated per City Code 10-16 (specifically section 8.(b.) for Commercial Districts); the applicant should be directed to adhere to this Code when contemplating signage.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission may make a motion giving preliminary approval of the Bravo Arts Academy site plan proposal (and its subsequent amendment to the Hayward Business Park Commercial Subdivision Plat), approval of the proposed site plan with any requested modifications, or not giving preliminary approval of the Bravo Arts Academy site plan. If preliminary approval was provided, then this matter could move forward to a future Final Site Plan review process with the Planning Commission.

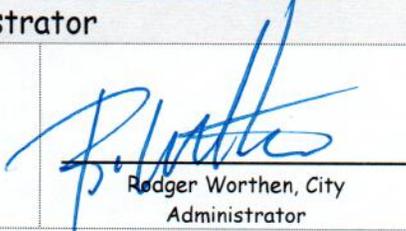
General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Commercial/Office/Business Park" and this proposed project would comply with this land use.

Legal Comments - City Attorney


Steve Brooks, Attorney

Administrative Comments - City Administrator


Rodger Worthen, City Administrator



Preliminary Site Plan Review – Bravo Arts Academy (Hayward Subdivision Lots #1 and #4), 5175 South 1500 West

Completed by Mike Eggett, Community Dev. Director on 9/17-18/2014

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed preliminary site plan review. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to provide preliminary site plan approval or not provide approval for the proposed Bravo Arts Academy site plan with any additional comments or concerns to be addressed by the developer.

Date Plan Submitted to City: <small>(Must be at least one week prior to Planning Commission meeting)</small>	September 9, 2014
Date Application Submitted to City:	September 9, 2014
Date Fee Paid:	Paid on September 9, 2014 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown
Owner’s name, address, and phone number	Mike Ford, 620 East 1700 South, Clearfield, Utah 84015, 801-644-5100 (on application)
Developer’s name, address, and phone number	MAFCO Riverdale, LLC – Mike Ford, 620 East 1700 South, Clearfield, Utah 84015, 801-644-5100
Approving agency’s name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; Blue Stakes Location number is on permit; no utility companies appear to be directly affected
Consulting Engineer’s name, address, and phone number	J. Nate Reeve, P.E. (Reeve & Assoc), 920 Chambers St, Suite 14, Ogden, Utah 84403, 801-621-3100
Licensed Land Surveyor’s name, address, phone number, signature, and seal	Reeve & Associates, Inc/ individual surveyor not identified ; Address & phone number same above; seal showing for Nate Reeve, signatures not shown
Date	Yes – September 3, 2014
Revision block with date and initials	Revision block shown

Sheet number and total sheets	Shown (10 total sheets)
<u>General</u>	
Street names	Shown – 1500 West 5175 South
Layouts of lots with lot numbers	Hayward Lots #1 and #4 – Lot numbers not shown identifying the lots
Adjacent tract ownership and tax identification numbers	Tract ownership names shown, Tax ID not shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is showing within allowed range
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Yes, shown but not identified and also shown on sheet 3 – "Existing Site Plan", 10 foot PUE not identified on either
Space for notes	Yes, notes and legend sheet provided as sheet 2
Contours	Yes, shown on sheets 3, 5, and 8
Public areas	Sidewalks, park strips shown, but not identified
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Scale not shown
<i>PLAT SHEET</i>	<u>Not provided at this time – defer to cover sheet</u>
<u>Title Block</u>	
Project name and address	Project name and address location shown
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	J. Nate Reeve (Reeves & Assoc), 920 Chambers St, Suite 14, Ogden ,Utah 84403, 801-621-3100
Date	Yes – September 3, 2014
Names of approving agents with titles, stamps, signatures, and license expiration dates	Names of approving agents, titles, stamps, signatures, and expiration dates anticipated as applicable to proposal
Names of approving departments (Attorney, Planning Commission, Mayor, Recorder)	Names of approving departments anticipated for future signatures
Consulting Engineer's stamp, signature, and license expiration date	Yes – Engineer agency's logo and contact information showing, signatures and expiration dates anticipated

<u>Layout</u>	
Street Names	Shown – 1500 West 5175 South
Layouts of lots with lot numbers	Hayward Lots #1 and #4 – Lot numbers not shown identifying the lots
Bearings and distances for all property lines and section ties	<u>Defer to City Engineer review</u>
Legal description	<u>Defer to City Engineer review</u>
Adjacent tract ownership and tax identification numbers	Tract ownership names shown, Tax ID not shown
Scale (minimum 1"=50')	Yes, scale is showing
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	<u>May not be applicable, anticipated if necessary</u>
Landscaping (location and type with area calculations)	Yes, provided on Sheet 10
Location of exterior lighting devices, signs, and outdoor advertising	Street light currently placed on corner of 1500 W 5175 S, no other exterior lighting devices, signs, or outdoor advertising showing (if planned)
Location of underground tanks, dumpsters, etc	No underground tanks appear to be needed; dumpster location is shown (2 dumpster enclosures provided in parking lot)
<u>Additional Information</u>	
Benchmark	<u>NA, plat not provided</u>
Basis of bearings	<u>NA, plat not provided</u>
Legend	<u>NA, plat not provided</u>
<i>PLAN AND PROFILE SHEETS</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	J. Nate Reeve (Reeves & Assoc), 920 Chambers St, Suite 14, Ogden ,Utah 84403, 801-621-3100
Date	Yes – September 3, 2014
Scale	Yes, scale is showing within allowed range
Revision block with date and initials	Revision block shown
Sheet number and total sheets	Shown (10 total sheets)

<u>General</u>	
North arrow	Yes
Street names	Shown – 1500 West 5175 South
Lot numbers	Hayward Lots #1 and #4 – Lot numbers not shown identifying the lots
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet 3
<u>Signage</u>	Not currently provided; may inquire regarding future signage intent
Height	Not available
Size	Not available
Locations	Not available
Colors	Not available
Lighting	Not available
<u>New and Existing Buildings</u>	
Height and Size	New building - Height = Unknown, no elevation image provided; Building size = approx. 20,000-21,000 sq. ft.; Existing fences and utility structures shown on sheet 3
Location, setbacks, and all dimensions	Yes, shown on proposed site plan (sheet 4); front setback - minimum 57.54 feet at nearest point; rear setback – minimum 30.33 feet at nearest point; north side setback – minimum 130.50 feet at nearest point; south side setback – minimum 232 feet at nearest point (not labeled); building dimensions/architectural renderings not provided
Type of construction	This information has not been provided and there are no details regarding the type of construction
Type of occupancy and proposed uses	Nursery school and preschool (daycare), Private Education (music and dance) as listed in Development Agreement
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	47.10% of site
Number of trees	13 trees, 62 shrubs, 87 perennials shown

Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping, and irrigation plan shown; gentle berming along the road, as required in 10-14-12 (B.)(2.) shown, concerned about existing vegetation to remain on south, inquire about plans
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the gravel mulch areas of building as well as some of the plantings; for more, inquire of the developer
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Location and height of fence placement meets all requirements of City Code; 6' fences will be installed
Materials proposed for construction	Unsure of fence material, may inquire
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	71 stalls are provided and shown; handicapped parking spaces are provided and shown; size meets city requirements; <u>adequate parking for use?</u>
Location of employees' parking, customer parking, and handicapped parking	Established as noted above
Internal circulation pattern	Not currently shown
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown at 20' and 24' wide respectively
Circulation pattern	Not currently shown
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Yes, shown on plans, not identified
Face of curb lines	Yes, this is shown
Centerline slope	Shown on page 3 and established per previous road development
Signing and striping	<u>Signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works if applicable;</u>
Light poles	Not showing existing light poles or proposed poles in parking lot or elsewhere on site
Street lights	Not currently shown as existing or proposed along roadway

Street name signs	<u>Signing installation should be coordinated with public works dept and paid for by applicant;</u>
Stop signs	<u>Signing installation should be coordinated with public works dept and paid for by applicant;</u>
UDOT approval (if required for project)	Not applicable for this application
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown as a 4'; 4" road base placement defined on sheet 7
Planting Strip	Yes, shown as 4.5'
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on sheet 5 and detail drawing on sheet 7
Slope of gutter	Shown on multiple sheets of plans
Manholes	Shown as already existing of multiple sheets
Invert elevations	Shown on multiple sheets, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets of plans
Ditches, location and ownership	No ditches or waterways of note shown
Approval to pipe, reroute or use	Other than future City approval, no other approval required, <u>defer to City Engineer</u>
Calculations for retention system	Shown on grading plan
Method of storm water clean-up	Shown on sheet 8 and 9 (Storm Water Pollution Prevention Plan Exhibit and Plan Details)
<u>New and Existing Sanitary Sewers</u>	
Manholes	Shown on multiple sheets of plans
Invert elevations	Shown on multiple sheets, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Water meter location shown, size of water meter not identified; type not shown. Location of new and existing valves shown. Fire hydrants existing and new not shown.
<u>New and Existing Gas Lines</u>	
Size and type	Existing gas lines, size and type not shown; new gas lines locations, size and type not shown
<u>New and Existing Electrical Lines</u>	

Size, location, and type	Existing power box locations shown; existing power lines, type, and size not shown; new electrical lines locations, size, and type not shown
Location of power poles	Existing power poles are shown
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone boxes shown, poles and associated manholes not shown if applicable
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Cable TV lines not shown and may not be applicable
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Shown on sheet 7 (Civil Details) with 9" road base
Cross section of curb and gutter (standard 30" high back)	Shown on sheet 7 (Civil Details), defer to City Engineer
Gutter inlet box with bicycle safe grate	Shown on sheet 5 (Grading Plan); defer to City Engineer
Cleanout box	Shown on sheet 5 (Grading Plan); defer to City Engineer
Thrust blocking	Shown on sheet 7 (Civil Details); defer to City Engineer
Special energy dissipating or drop manholes	None showing and may not be applicable
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical previously provided in 2007 as part of subdivision review at the time; no new soils reports have been provided and not much has changed since 2007
Drainage and runoff calculations	Yes, shown on sheet 5 (Grading Plan)
Water right transfer documentation	Review with Public Works
Copy of protective covenants, codes, and regulations for development	None provided or anticipated with this project; development agreement submitted
Eight (8) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested;
Building elevation renderings	None provided for review purposes
Corp of Engineers approval (if required)	Not applicable or required

Zoning compliance	Yes, CP-3, subject to approval of a Development Plan and Development Agreement document listing approved commercial uses within this development; Development Agreement draft has been submitted for review
RDA compliance (if applicable)	Not applicable in this matter
Use compliance	Yes, C-3 uses anticipated for this development; all approved uses, per CP-3 zoning language approval and development agreement approval
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works and Fire Department comments have been provided
Traffic study	Not currently provided; <u>likely not needed to provide any analysis unless otherwise requested</u>
All Planning Commission and City Staff conditions for approval have been met	<u>Currently being review by Planning Commission</u>

18 September 2014

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Bravo Arts Academy**
Subj: Site Plan

Dear Mike,

I have reviewed the above referenced site plan drawings and submit the following review comments, which should to be considered:

General Comments:

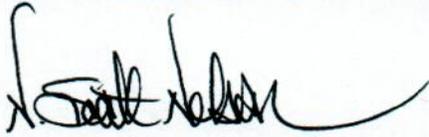
1. An **electronic copy** of the completed Site Plan drawings must be submitted to the Public Work Department via our office for record keeping upon completion and approval of the Site Plan drawings.
2. All deteriorated, damaged or missing surface improvements surrounding the perimeter of the development will need to be replaced or installed, i.e., curb and gutter, sidewalk, landscaping park strip improvements, street lights, fencing, etc.
3. The proposed Site Plan will be built over Lot #1 and Lot #4 of the Hayward Business Park Subdivision. If the lots have not been combined that action is needed.
4. An address for the Site is required.
5. The front or easterly property line needs to adjust to 12" west of the proposed new sidewalk.
6. Site lighting plans need to be submitted for review. The site lighting plans need to be prepared with consideration of the neighboring residential areas to the South and West.
7. Notes on the drawings need to indicate the project owners must maintain all park strips on city right-of-ways and all landscaping improvements to the sides and rear of the buildings and in the detention basin.

8. The handicap parking stalls and van access areas must be increased in size to be 10' wide. The 8' width stalls is too narrow for proper access. The standard vehicle parking stalls should be marked at 10' wide and 20' long.
9. An ADA ramp should be considered along the frontage of the proposed development near the intersection of 5175 South Street. This will allow the movement of pedestrians east & west across 1500 west. This suggestion needs the approval of the Public Works Director.
10. The depth of the existing sanitary sewer pipeline needs to be shown on the drawings. The existing sewer must have a minimum of 4' of coverage.
11. The storm water detention basin design will need to be based on a 100 year event and address the following:
 - The storm water detention basin should be landscaped with lawn sod in order to be properly maintained.
 - The storm water detention basin will need to be constructed with an emergency overflow spillway to the East.
 - The roof drainage should be piped directly to the detention basin or the nearest collection inlet/outlet box.
 - The detention basin will need to have a 12" minimum perimeter freeboard.
 - The detention basin floor needs to slope to the outlet control orifice box (1% is the minimum recommended slope).
 - The finish elevation contours are needed to be shown in the detention basin and labeled.
 - Upon discharge (down stream) of storm water from the inlet/outlet control orifice box a storm water (oil, trash, sediment) interceptor manhole should be installed as a storm water bmp feature. This manhole needs to be installed west of the sidewalk on private property and maintained by the developer.
12. I would recommend that the parking lot waterway be a minimum of 4' wide rather than 2' wide.
13. The finish asphalt ridge line in the parking lot should be shown with the finish elevation shown.
14. The existing sanitary sewer pipeline near the intersection of 5175 South and 1500 West on the westerly side of the roadway needs to be excavated and properly capped.
15. The new sanitary sewer service lateral needs to have a slope and material shown on the drawings. Generally the minimum sanitary sewer lateral diameter is 6-inches. We would support and recommend a 6" diameter service lateral over the 4" service lateral shown.
16. The retaining walls shown on the drawings at several locations need to be structurally designed. The design needs to be included with the basic site plan drawings.
17. A double check backflow device needs to be located and shown on the drawings for the irrigation needs of the site. Detail drawings of the irrigation connection are required

18. The developer will need to have a "Storm Water & Pollution Prevent Plan" registered with the State of Utah prior to construction.

Should you have any questions feel free to contact our office for clarifications.

Sincerely,
CEC, Civil Engineering Consultants, PLLC.

A handwritten signature in black ink, appearing to read "N. Scott Nelson", with a long, sweeping underline.

N. Scott Nelson, P.E.
City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official and Inspector

DEPARTMENTAL STAFF REPORTS – 9/16/2014

From: Shawn Douglas
Sent: Tuesday, September 16, 2014 3:17 PM
To: Mike Eggett
Subject: Bravo

Mike the following are the items I have for Bravo Arts Academy.

- 1-They need to show BMPS for the storm water system after the construction. They will also need to record the required storm water elements with plat.
- 2-There is no backflow assembly shown for the sprinkler system.
- 3-What BMPs will be used to control sediment, oils and flotables before they reach the city storm water system.
- 4-They need to provide for access to the existing sewer manholes for cleaning and repairs.
- 5-The concern for sewer capacity still exists, the city is currently trying to verify flows in this area. The developer offered to put in measures to reduce sewer flows from the development, what type of reduction in outflows will they be able to provide?

Shawn Douglas
Riverdale City Public Works
801-394-5541 Ext. 1217
Riverdale City
4600 S. Weber River Drive
Riverdale, UT 84405

From: Roger Bodily
Sent: Tuesday, September 16, 2014 11:34 AM
To: Mike Eggett
Subject: RE: Bravo Arts Academy

Mike

At this point, I do not have any major concerns. I have looked at the hydrant situation in the area and everything appears to be in order. I worked with Bravo Arts when they built the one in Clearfield... should be a great addition to our community...

Roger



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2014-05 DATE SUBMITTED: 9-9-2014

APPLICANT'S NAME: MIKE FORD

ADDRESS: 620 E. 1700 S.

PHONE: (801) 644-5100 TAX I.D. NO: 084930001

ADDRESS OF SITE: 5175 S & 1500 W.

APPLICANT'S INTEREST: OWNER

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 2.75 of property in the CP-3 zone in
(sq. ft./acreage)

accordance with the attached site plan.

[Signature]
Signature of Applicant

[Signature]
Signature of Property Owner

I authorize _____ to act as my representative in all matters relating to this application.

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per acre or portion of

Fee: \$ 550.00 Date paid: Sept. 9, 2014

Planning Commission set public hearing: Yes No Date of Public Hearing: _____

Planning Commission scheduled to hear this application for site plan approval on:

Date: _____ Decision of Commission: _____

City Council set public hearing: Yes No Date of Public Hearing: _____

City Council scheduled to hear this application for site plan approval on:

Date: _____ Decision of Council: _____

RIVERDALE CITY CORPORATION
4600 SOUTH WEBER RIVER DRIVE
RIVERDALE UT 84405

394-5541

Receipt No: 15.482932

Sep 9, 2014

FORD, MIKE

Previous Balance:	.00
MISCELLANEOUS - ZONING & SUBDIV. FEE	550.00
10-34-1500 ZONING & SUB. FEES	

Total:	550.00
--------	--------

CHECK	Check No: 1139	550.00
Total Applied:		550.00

Change Tendered:	.00
------------------	-----

Duplicate Copy

09/09/2014 04:45PM



September 9, 2014

Mike Eggett / Shawn Douglas
Riverdale City
4600 S. Weber River Drive
Riverdale, UT 84405

Subject: Bravo Arts Academy, 1500 West – Riverdale, UT.

Dear Mike and Shawn:

Per our meeting with the City to discuss the above referenced project we discussed the need to provide projected sanitary sewer flow rates. Based upon this requirement, we are providing the information below.

As recommended by Shawn, we analyzed the existing water consumption of the Bravo site in Clearfield, UT. We reviewed these water bills since the Clearfield and proposed Riverdale projects are similar in size. To obtain a realistic average demand of water consumption, we utilized the winter months when exterior irrigation was not in use. Based upon this averaging, the Clearfield facility is utilizing approximately 30,000 gallons per month or 1500 gallons per work day. In addition, the projected water use within Bravo is also outside of the average water use within this sewer contributory area which consists primarily of residential homes. Per Central Weber Sewer District, the average residential usage peaks are from 6:00am to 8:00 am and from 5:30pm to 9:00pm. The projected flows from the Bravo are from 8:00am to 5:00pm.

In 2007, the City approved the Hayward Business Park which Bravo is now included within. Lots #1 and #4 were approved to provide 25,600 s.f. of commercial space. This project would have generated approximately 28,200 gallons per month based upon projected designs and plumbing fixture counts.

Based upon the nature of the business, projected hours of water consumption, and previous City approvals, we conclude that the proposed Bravo Arts Academy will not negatively degrade the sewer system from what was previously accounted for and approved in this contributory area.

If you have any additional questions or concerns, please let me know.

Sincerely,
REEVE & ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'J. Nathan Reeve', is written over a horizontal line.

J. Nathan Reeve, PE
Principal / President
nreeve@reeve-assoc.com

Solutions You Can Build On™

Civil Engineering • Land Planning • Structural Engineering • Landscape Architecture • Land Surveying • Construction Surveying
4155 S. Harrison Blvd., Suite 310 • Ogden, Utah 84403 • Tel: 801-621-3100 • Fax: 801-621-2666
ogden@reeve-assoc.com • reeve-assoc.com

DEVELOPMENT AGREEMENT
MAFCO Riverdale LLC
BRAVO ARTS ACADEMY
LOCATED AT 5165 SOUTH AND 1500 WEST
RIVERDALE CITY, UTAH

This Development Agreement is entered into as of this ____ day of September, 2014, by and between MIKE FORD, as the developer of a project known as "BRAVO ARTS ACADEMY (old HAYWARD BUSINESS PARK LOTS1&4)" (the "Project"), located at 5165 South 1500 West in the City of Riverdale, a municipality and political subdivision of the State of Utah, by and through its City Council (the "City").

RECITALS:

A. Mike Ford is the developer of approximately 2.74 acres of real property located in the City of Riverdale, Weber County, Utah, known as the "BRAVO ARTS ACADEMY (old HAYWARD BUSINESS PARK LOTS 1&4)." The property consists of approximately 2.74 acres, the legal descriptions and map are attached as Exhibit A, parcels of which are zoned CP-3

B. Mike Ford is willing to design and develop the Project in a manner that is in harmony with, and intended to promote, the long-range policies; goals; and objectives of the City's general plan, zoning and development regulations, as more fully set forth below.

C. The City, acting pursuant to its authority under *Utah Code Annotated*, § 10-9a-101, *et seq.*, and in furtherance of its land use policies; goals; objectives; ordinances; resolutions; and regulations, has made certain determinations with respect to the proposed Project and, in the exercise of its legislative discretion, has elected to approve this Development Agreement.

NOW, THEREFORE, in consideration of the mutual covenants, conditions, and terms as more fully set forth below, MAFCO RIVERDALE LLC and the City hereby agree as follows:

1. **Approval of Overall Development Plan for Project.**

1.1 **Property Affected by This Agreement.** It is the intention and understanding of the parties that the development will comply with all requirements of zoning. The legal description of the Property contained within the Project boundaries is Hayward Business Park Lots 1&4. No additional property may be added to this description for purposes of this Agreement, except by written amendment to this Agreement executed and approved by the parties hereto. In the event that circumstances change, the parties may agreed to a deviation of the planned use and projected future phase site plans in a written amendment to this Agreement executed and approved by the parties hereto, with approval not unreasonably withheld.

1.2 **Planned Uses.** The planned uses in the Project, which have been approved as a part of the final site plan, include the following. All uses which are

substantially similar or incidental to those listed below shall be considered approved planned uses.

- a. Nursery school and preschool (daycare)
- b. Private Education (music and dance)

2. Reserved, Not used.

3. The Developer represents to the City that the Plat for this proposed Development complies with all City, county, state, and federal laws and regulations, including but not limited to: subdivision ordinances; zoning ordinances; and environmental regulations. This has been reviewed and approved by the City.

4. **Specific Architectural and Design Standards.** The Project shall comply with the specific architectural and design standards set forth below, in addition to the other applicable ordinances and regulations of Riverdale City.

4.1.1 **Landscaping Requirements.** Landscaping requirements shall include landscaping in the areas West of 1500 West and 5175 South.

4.1.2 Approval shall include the approved landscaping as shown, which is attached hereto and incorporated by this reference. Enlarged copies will be on file with the City. This plan includes the following information:
Landscape Area: 20% Business/Commercial Areas within (including public right-of-ways; landscape to include all green planting; decorative hardscape; and xeriscape.

4.1.3 Final Landscaping Plan. The final landscaping plan shall be submitted for review and approval and shall include the following terms and conditions:
a. The total area under development;
b. Designed by a registered Landscape Architect;
c. A list of plants and trees and their size and location.

4.2 **Architectural Standards.** The Project shall comply with the architectural standards, which are intended to ensure that the front, side, and rear exterior treatment of the buildings shall be as generally depicted on the enlarged exhibits on file with the City.

4.3 **Parking.** The Project shall comply with the proposed parking on the site plan and which shall be depicted on the final engineering and building plans.

4.4 reserved not used.

4.5 **Signs.** The Developer represents to the City that all signage for this proposed Development complies with all City, county, state, and federal

laws and regulations, including but not limited to: subdivision ordinances; zoning ordinances; jurisdictional codes; and environmental regulations. The City shall be responsible for enforcing said ordinances.

- 4.6 Utilities. Plans for water, sewer, streets, and storm drainage shall be reviewed and approved by the Design Review Committee. All utilities, including drainage systems; sewer; gas and water lines; electrical; telephone and communication wires and related equipment; irrigation ditches and/or pipes, shall, where possible, be installed and maintained underground. Developer shall, at developer's expense, prepare; grant; and deliver to the City, any and all necessary utility easements for any and all city owned utilities.
- 4.7 Equipment.
- a. Mechanical equipment (including, but not limited to components of plumbing, processing, heating, cooling, and ventilating systems) shall be appropriately screened when possible, as depicted on the approved site plan and related exhibits referenced herein, or as otherwise approved by the Design Review Committee.
 - b. Any necessary exterior components of such mechanical equipment shall be approved by the Design Review Committee and integrated to the extent reasonably possible as part of the architectural design features and colors.
 - c. Equipment, mechanical devices, electric transformers, utility pads, cable television and telephone boxes shall be appropriately screened, where possible, by vegetation, walls, fences, or otherwise enclosed in a manner harmonious with the overall architectural theme and character of the Project.
- 4.8 Additional Use Restrictions. The property shall not be used in such a manner as to create a nuisance to any adjacent sites such as, but not limited to, vibration; sound; electro-mechanical disturbance and radiation; air or water pollution; dust; emissions of noxious matter; or placement, dumping or blowing refuse, paper or other garbage.
- a. The Developer shall provide adequate sound attenuation, in accordance with the requirements of the Design Review Committee.
 - b. Outside speakers, pagers and sound or music systems of any kind or nature whatsoever are strictly prohibited unless the sounds are inaudible from any residential zone.
 - c. No vending machines or newspaper racks will be permitted outside of the building overhang area.
 - d. Lighting may not spill over to nearby residential areas and LED lights that use less energy are encouraged. These will include both shielded and directed lighting.

- e. The Developer and/or business owner is responsible for the perpetual maintenance of the common area landscaping, open space areas and common areas of the Plat and will provide that all landscaping (trees, plants, sod, etc.) within the Plat shall be maintained and remain alive and in good quality, and disease-free.

4.9 Substructures, Storage/Refuse Collections, Flags and Flag Poles, Etc.

- a. All outdoor storage shall be visually screened from access streets, freeways, and adjacent property.
- b. Refuse removal, trash collection, and lot sweeping shall occur between the hours of 7:00 a.m. and 10:00 p.m.

5. Vested Rights and Reserved Legislative Powers.

5.1 Vested Rights. Subject to the provisions of this Agreement, Mike Ford shall have the right to develop and construct the Project in accordance with the uses, densities, intensities, and general configuration of development approved by this Agreement, subject to compliance with the other applicable ordinances and regulations of Riverdale City.

5.2 Reserved Legislative Powers. Nothing in this Agreement shall limit the City's future exercise of its police power in enacting generally applicable land use laws after the date of this Agreement. Notwithstanding the retained power of the City to enact such legislation under the police powers, such legislation shall only be applied to modify the vested rights of Mike Ford under this Agreement based upon policies; facts; and circumstances meeting the compelling, countervailing public interest exception to the vested rights doctrine in the State of Utah. Any such proposed change affecting the vested rights of the Project shall be of general application to all development activity in the City and, unless the City declares an emergency, Developer shall be entitled to prior written notice and an opportunity to be heard with respect to the proposed change and its applicability to the Project under the compelling, countervailing public policy exception to the vested rights doctrine.

6. Design Review Committee.

6.1 The Design Review Committee shall meet on an as-needed basis to review final engineering and building plans for the Project. The Design Review Committee is authorized to grant building permit approval if the final engineering and building plans are in compliance with the provisions of this Agreement. In the event of a dispute between the Design Review Committee and the Developer, the issue (s) in dispute shall be submitted for a decision to the City Council. The Design Review Committee must review all aspects of the Project to ensure that it meets the plans approved by the Planning Commission and City Council. The Developer shall pay for any additional professional review of the projects as necessary.

- 6.2 Design Review Committed Membership and Organization. Unless otherwise listed by code, the Design Review Committee shall be:
- a. Mayor (or his designee);
 - b. City Administrator;
 - c. Building & Zoning Official;
 - d. City Planner;
 - e. Planning Commission Chairman (or his designee);
 - f. Community Development Director; and
 - g. Public Works Director.

The mayor or in his absence, the City Administrator, shall serve as Chairman of the Design Review Committee. The City Building Official shall ensure developer compliance with all decisions of the Design Review Committee. The Design Review Committee may consult with other City staff and retain the services of other consultants (such as an architect, landscape architect, or traffic engineer) as necessary to review technical compliance with the provisions of this Agreement.

7. Successors and Assigns.

7.1 Binding Effect. This Agreement shall be binding on the successors and assigns of Mike Ford in the ownership or development of any portion of the Project.

7.2 Assignment. Neither this Agreement nor any of the provisions, terms, or conditions hereof may be assigned to any other party, individual, or entity without assigning the rights, as well as the responsibilities, under this Agreement and without the prior written consent of the City, which consent shall not be unreasonably withheld. Any such request for assignment may be made by letter addressed to Riverdale City and the prior written consent of the City may also be evidenced by letter from the City to Mike Ford. This restriction on assignment is not intended to prohibit or impede the sale of parcels of fully improved, partially improved, or unimproved land by Mike Ford prior to construction of building improvement on the parcels, with Mike Ford retaining all rights and responsibilities under this Agreement. Upon completion of the development project, as defined herein, Developer shall not be required to seek approval for alienation of the project.

8. General Terms and Conditions.

8.1 Term of Agreement. The term of this Agreement shall be for a period of ten (10) years following the date of its adoption by the City Council, unless the Agreement is earlier terminated or its term modified by written amendment to this Agreement.

- 8.2 Agreement to Run With The Land. This Agreement may be recorded in the office of the Weber County Recorder against the Property and is intended to, and shall be, deemed to run with the land and shall be binding on all successors in the ownership of any portion of the Property.
- 8.3 Construction of Agreement. This Agreement shall be construed so as to effectuate the public purpose of implementing long-range planning objectives, obtaining public benefits, and protecting any compelling countervailing public interest, while providing reasonable assurances of continuing vested development rights.
- 8.4 State and Federal Law. The parties agree, intend, and understand that the obligations imposed by this Agreement are only such as are consistent with state and federal law. The parties further agree that if any provision of this Agreement becomes, in its performance, inconsistent with state or federal law, or is declared invalid, this Agreement shall be deemed amended to the extent necessary to make it consistent with state or federal law, as the case may be, and the balance of this Agreement shall remain in full force and effect.
- 8.5 Relationship of Parties and No Third-Party Rights. This Agreement does not create any joint venture, partnership, undertaking, or business arrangement between the parties hereto, nor any rights or benefits to third parties.
- 8.6 Laws of General Applicability. Where this Agreement refers to laws of general applicability to the Project, this Agreement shall be deemed to refer to other laws of Riverdale City.
- 8.7 Integration. This Agreement contains the entire agreement between the parties with respect to the subject matter hereof and integrates all prior conversations, discussions or understandings of whatever kind or nature and may only be modified by a subsequent writing duly executed and approved by the parties hereto.
- 8.8 Applicable Law. This Agreement is entered into under and pursuant to, and is to be construed and enforceable in accordance with, the laws of the State of Utah.

9. Miscellaneous provisions.

- 9.1. City Storm-Water Management Plan. To the extent allowable under the applicable Development Regulations, stormwater entering the subject Development will be collected and transported into the existing public

drainage system in accordance with those standards and conditions approved and accepted by the City.

9.1.1. Maintenance Agreement. The Developer and/or current business owner must execute an inspection and maintenance agreement that shall operate as a deed restriction binding on the current property owner and all subsequent property owners. The maintenance agreement shall:

- a. Assign responsibility for the maintenance and repair of the stormwater facility to the owner of the property upon which the facility is located and be recorded as such on the plat for the property by appropriate notation.
- b. Provide for a periodic inspection by the property owner for the purpose of documenting maintenance and repair needs and ensure compliance with the purpose and requirements of this chapter. The property owner will arrange for this inspection to be conducted by a registered professional engineer licensed to practice in the State of Utah who will submit a sealed report of the inspection to the public works department every two (2) years. It shall also grant permission to the City to enter the property at reasonable times and to inspect the stormwater facility to ensure that it is being properly maintained.
- c. Provided that the minimum maintenance and repair needs include, but are not limited to, the removal of silt; litter; and other debris, the cutting of grass; grass cutting and vegetation removal; and the replacement of landscape vegetation in detention and retention basins and inlets and drainage pipes and any other stormwater facilities. It shall also provide that the owner shall be responsible for additional maintenance and repair needs consistent with the needs and standards outlined in the maintenance plan.
- d. Provide that the maintenance needs must be addressed in a timely manner, on a schedule to be determined by the public works department and homeowners' association.
- e. Provide that if the property is not maintained or repaired within the prescribed schedule, the public works department shall have the maintenance and repair done at its expense and bill the same to the property owner(s). The maintenance agreement shall also provide that the public works department cost of performing the maintenance shall be a lien against the property.
- f. The City shall have the discretion to accept the dedication of any existing or future stormwater management facility, provided such

facility meets the requirements of this chapter, and includes adequate and perpetual access and sufficient areas, by easements or otherwise, for inspection and regular maintenance. Any stormwater facility accepted by the municipality must also meet the municipality's construction standards and any other standards and specifications that apply to the particular stormwater facility in question.

- 9.2. Development Site Clean Up. The Developer shall promptly clean up any and all dirt and debris deposited on public streets or public property as a result of construction activity on the Plat. If Developer fails to clean up such dirt and debris within forty-eight (48) hours of notification by the City, the City shall clean up said dirt and debris and agrees to pay the City's costs of such cleanup within thirty (30) days of billing.

10. Default.

10.1. Events of Default.

10.1.1. Upon the happening of one or more of the following events or conditions, Developer or City, as applicable, shall be in default ("Default") under this Agreement:

- a. A warranty, representation or statement made or furnished by Developer under this Agreement is intentionally false or misleading in any material respect when it was made;
- b. A determination by City made upon the basis of substantial evidence that Developer has not complied in good faith with one or more of the material terms or conditions of this Agreement;
- c. Any other act or omission, either by City or Developer, which (i) violates the terms of this Agreement, or (ii) materially interferes with the intent and objectives of this Agreement.

10.2. Procedure Upon Default.

10.2.1. Upon the occurrence of Default, the non-defaulting party shall give the other party thirty (30) days written notice specifying the nature of the alleged default and, when appropriate, the manner in which said Default must be satisfactorily cured. In the event that the Default cannot reasonably be cured within thirty (30) days, the defaulting party shall have such additional time as may be necessary to cure such default so long as the defaulting party takes action to begin curing such default within such thirty (30) day period and thereafter proceeds diligently to cure the default. After proper notice and expiration of said thirty (30) days or other

10.5. No Waiver. Failure of a party hereto to exercise any right hereunder shall not be deemed a waiver of any such right and shall not affect the right of such party to exercise at some future time said right or any other right it may have hereunder. Unless this Agreement is amended by vote of the City Council taken from the same formality as the vote approving this agreement, no officer, official or agent of City has the power to amend, or later modify this Agreement or waive any of its conditions as to bind City by making any promise or representation not contained herein.

10.6. Attorney's Fees. Should any party hereto employ an attorney for the purpose of enforcing this Agreement, or any judgment based on this Agreement, for any reason or in any legal proceeding whatsoever, including insolvency; bankruptcy; arbitration; declaratory relief; or other litigation, including appeals or rehearings, and whether or not an action has actually commenced, the prevailing party shall be entitled to receive from the other party thereto reimbursement for all attorney's fees and all costs and expenses. Should any judgment or final order be issued in any proceeding, said reimbursement shall be specified therein.

10.7. Notices.

All notices hereunder shall be given in writing by certified mail, postage prepaid, at the following addresses:

If to the City: Riverdale City Council
4600 South Weber Drive
Riverdale, Utah 84405
Fax No.: (801) 399-5784

With a copy to: Riverdale City Attorney
4600 South Weber Drive
Riverdale, Utah 84405
Fax No.: (801) 399-5784

If to Developer: MAFCO Riverdale LLC
c/o Mike Ford
620 E 1700 S
Clearfield, UT 84015

10.8. Effectiveness of Notices. Any notices sent by certified mail shall be effective on the date on which such notice is sent. Any party may change its address or notice by giving written notice to the other party in accordance with the provisions with this section.

10.9. Applicable Law. This Agreement is entered into under and pursuant to, and is to be construed and enforceable in accordance with, the laws of the State of Utah.

DATED as of the day and year first written above.

MAFCO Riverdale LLC

By _____
It's _____

RIVERDALE CITY

Attest:

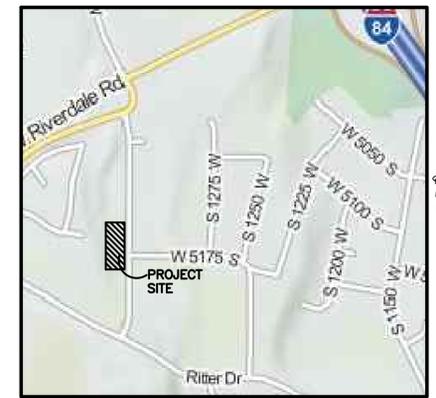
City Recorder

By
Mayor

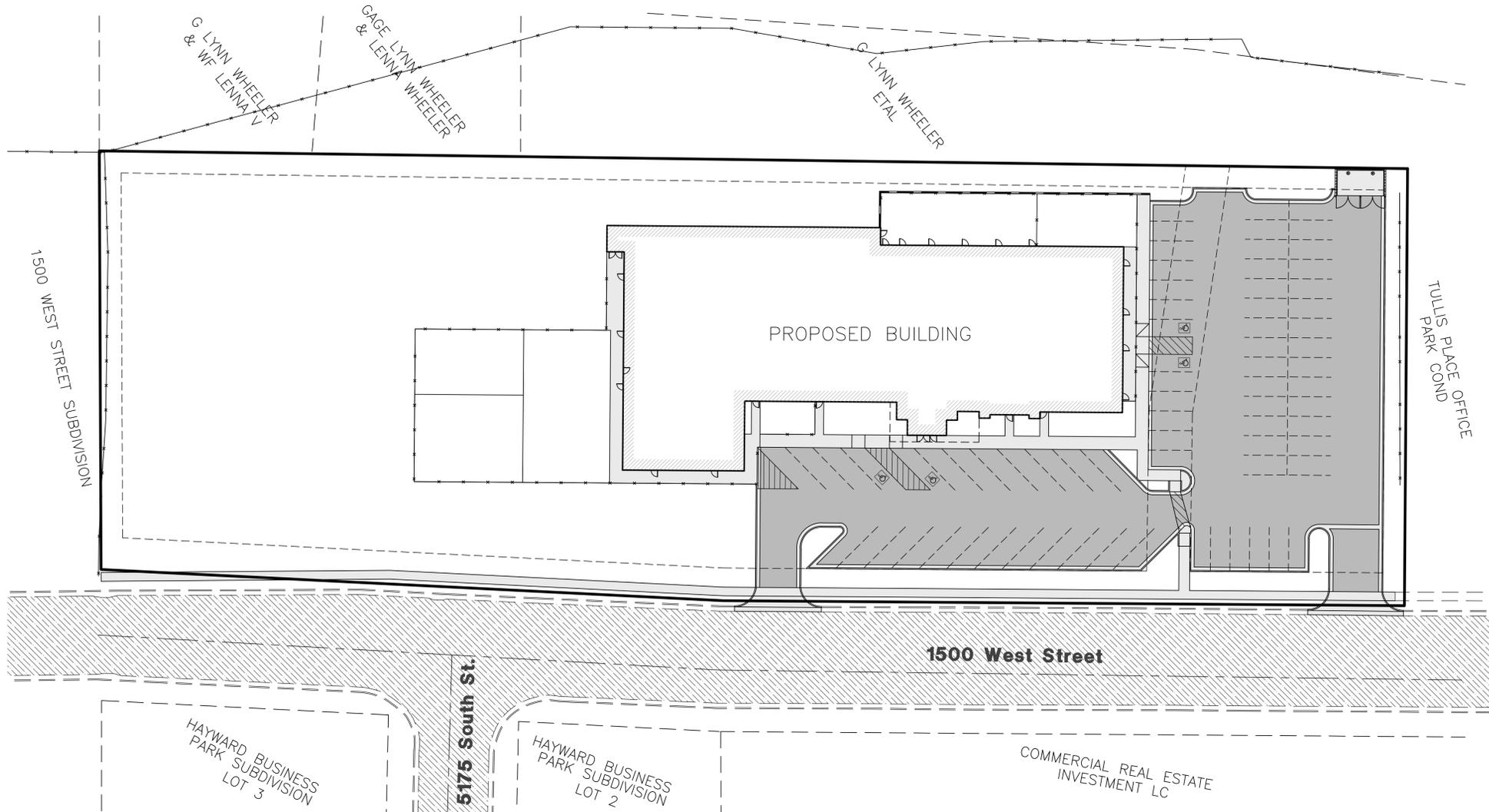
BRAVO ARTS ACADEMY

Site Plans

RIVERDALE CITY, WEBER COUNTY, UTAH
SEPTEMBER 2014



Vicinity Map
NOT TO SCALE



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- Sheet 4 - Proposed Site Plan
- Sheet 5 - Grading Plan
- Sheet 6 - Utility Plan
- Sheet 7 - Civil Details
- Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 9 - Storm Water Pollution Prevention Plan Details
- Sheet 10 - Landscape Plan

Site Information		
PARKING STALLS.....	71	
TOTAL AREA.....	119,893 s.f.	
BUILDING AREA.....	20,102 s.f.	16.77%
HARD SURFACED AREA.....	43,316 s.f.	36.13%
LANDSCAPE AREA.....	56,475 s.f.	47.10%

Approving Agency
RIVERDALE CITY
4600 SOUTH WEBER RIVER DRIVE
RIVERDALE UTAH 84405

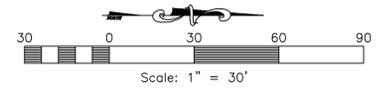
APPROVED _____ DATE _____

Engineer's Notice To Contractors
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Elevation Datum
SITE BENCHMARK:
BRASS CAP MONUMENT AT CENTER OF SECTION 13, T.5N., R.2W., SLB&M U.S. SURVEY SET IN 1988
GPS DERIVED ELEVATION = 4473.540'

Developer Contact:
MAFCO Riverdale, LLC
Mike Ford
620 East 1700 South
Clearfield, UT 84015
PH: (801) 644-5100

Blue Stakes Location Center
Call: Toll Free
1-800-662-4111
Two Working Days Before You Dig

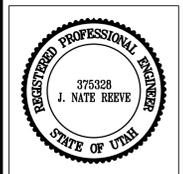


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LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

Bravo Arts Academy
RIVERDALE CITY, WEBER COUNTY, UTAH

Cover/Index Sheet



Project Info.
Engineer: J. NATE REEVE, P.E.
Drafted: R. HANSEN
Begin Date: SEPTEMBER 3, 2014
Name: BRAVO ARTS ACADEMY
RIVERDALE
SITE PLAN
Number: 4671-09

Sheet **10**
1 Sheets

General Notes:

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO UTILITY, FILL, CONCRETION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
- TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE

Utility Notes:

- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS). PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED, PRIOR TO COMMENCING ANY EXCAVATION WORK. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINKING GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- Spraying DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
- TRACKING STRAW PERPENDICULAR TO SLOPES
- INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

—W—	= PROPOSED CULINARY WATER LINE
—EX.W---	= EXISTING CULINARY WATER LINE
—SS—	= PROPOSED SANITARY SEWER LINE
—EX.SS---	= EXISTING SANITARY SEWER LINE
—SD—	= PROPOSED STORM DRAIN LINE
—EX.SD---	= EXISTING STORM DRAIN LINE
—LD—	= PROPOSED LAND DRAIN LINE
—EX.LD---	= EXISTING LAND DRAIN LINE
—SW—	= PROPOSED SECONDARY WATER LINE
—EX.SW---	= EXISTING SECONDARY WATER LINE
—IRR—	= PROPOSED IRRIGATION LINE
—EX.IRR---	= EXISTING IRRIGATION LINE
---OHP---	= EXISTING OVERHEAD POWER LINE
---TEL---	= EXISTING TELEPHONE LINE
---GAS---	= EXISTING NATURAL GAS LINE
—	= EXISTING EDGE OF PAVEMENT
× — ×	= FENCE LINE
— — — — —	= MASONRY BLOCK/RETAINING WALL
— — — — —	= DITCH/SWALE FLOWLINE
●	= PROPOSED FIRE HYDRANT
○	= EXISTING FIRE HYDRANT
●	= PROPOSED MANHOLE
○	= EXISTING MANHOLE
●	= PROPOSED SEWER CLEAN-OUT
X	= PROPOSED GATE VALVE
X	= EXISTING GATE VALVE
■	= PROPOSED WATER METER
■	= EXISTING WATER METER
■	= PROPOSED CATCH BASIN

Legend

□	= EXISTING CATCH BASIN	L.F.	= LINEAR FBET
⊙	= EXISTING SPRINKLER	NG	= NATURAL GRADE
⊕	= PLUG W/ 2" BLOW-OFF	O.C.	= ON CENTER
●	= AIR-VAC ASSEMBLY	PC	= POINT OF CURVE
▼	= PROPOSED REDUCER	PRC	= POINT OF REVERSE CURVE
⊥	= PLUG & BLOCK	PRVC	= POINT OF REVERSE VERTICAL CURVE
○	= STREET LIGHT	PT	= POINT OF TANGENT
⊥	= SIGN	PP	= POWER/UTILITY POLE
BLDG	= BUILDING	P.U.E.	= PUBLIC UTILITY BASEMENT
BVC	= BEGIN VERTICAL CURVE	R/C	= REBAR & CAP
C&G	= CURB & GUTTER	RCB	= REINFORCED CONCRETE BOX
CB	= CATCH BASIN	RCP	= REINFORCED CONCRETE PIPE
C.F.	= CUBIC FEET	RIM	= RIM OF MANHOLE
C.F.S.	= CUBIC FEET PER SECOND	R.O.W.	= RIGHT-OF-WAY
CL	= CENTERLINE	SD	= STORM DRAIN
DI	= DUCTILE IRON	SS	= SANITARY SEWER
EP	= EDGE OF PAVEMENT	SW	= SECONDARY WATER
EVC	= END VERTICAL CURVE	TOA	= TOP OF ASPHALT
FC	= FENCE CORNER	TBC	= TOP BACK OF CURB
FF	= FINISH FLOOR	TOE	= TOE OF SLOPE
FFE	= FINISH FLOOR ELEVATION	TOP	= TOP OF SLOPE
FG	= FINISHED GRADE	TOW	= TOP OF WALL
FH	= FIRE HYDRANT	TSW	= TOP OF SIDEWALK
FL	= FLOW LINE	VPI	= VERTICAL POINT OF INTERSECT.
GB	= GRADE BREAK	W	= CULINARY WATER
HDPE	= HIGH DENSITY POLYETHYLENE PIPE	WM	= WATER METER
INV	= INVERT		= EXISTING PAVEMENT
IRR	=IRRIGATION		= PROPOSED PAVEMENT
LD	= LAND DRAIN		= PROPOSED CONCRETE



REVISIONS	DESCRIPTION	DATE

Bravo Arts Academy
RIVERDALE CITY, WEBER COUNTY, UTAH

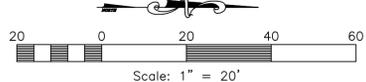
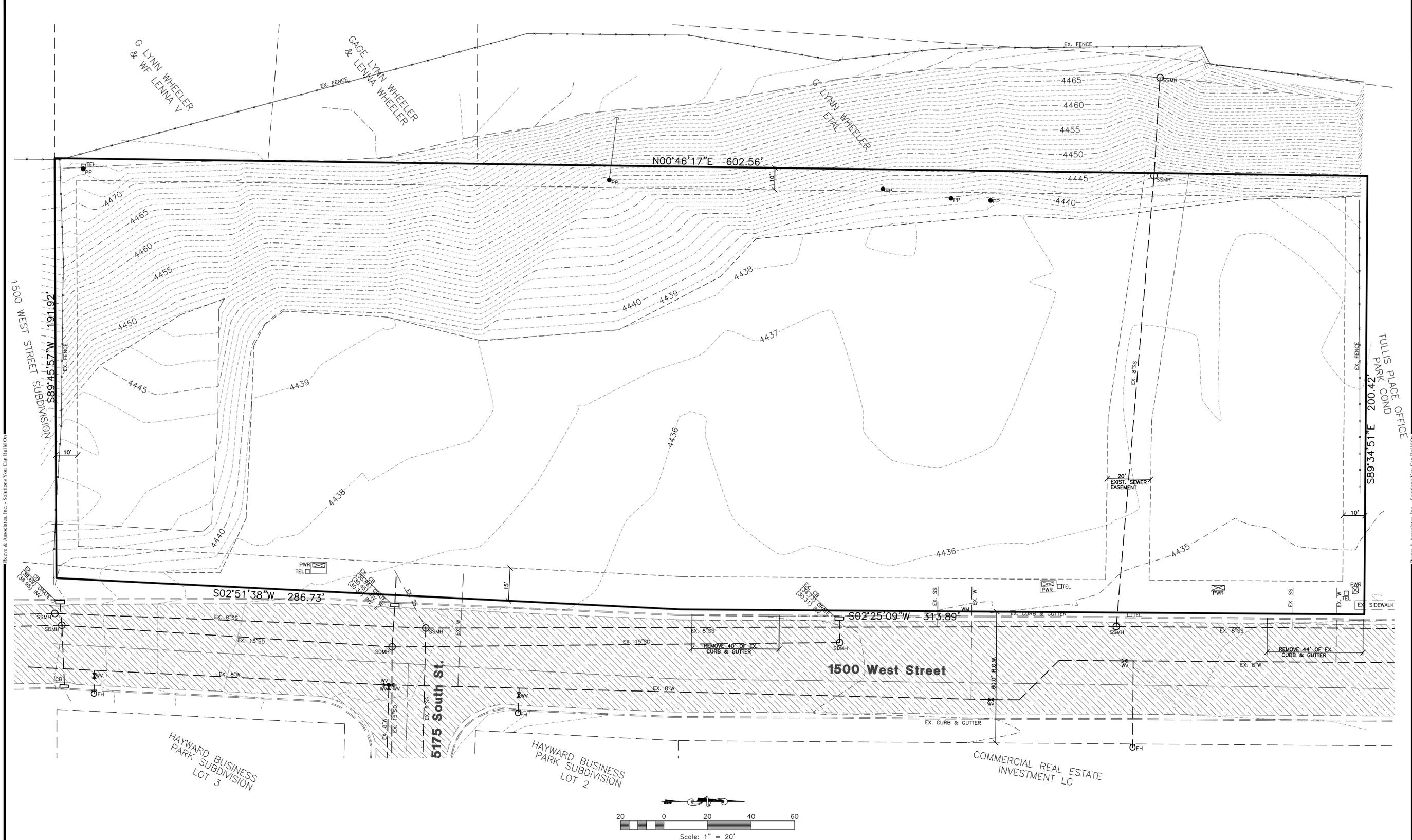
Notes & Legend Sheet



Project Info.

Engineer: J. NATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2014
 Name: BRAVO ARTS ACADEMY
 RIVERDALE
 SITE PLAN
 Number: 4671-09

Sheet	10
2	Sheets



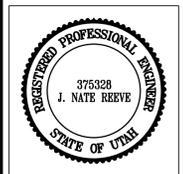
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 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

Bravo Arts Academy
 RIVERDALE CITY, WEBER COUNTY, UTAH

Existing Site Plan

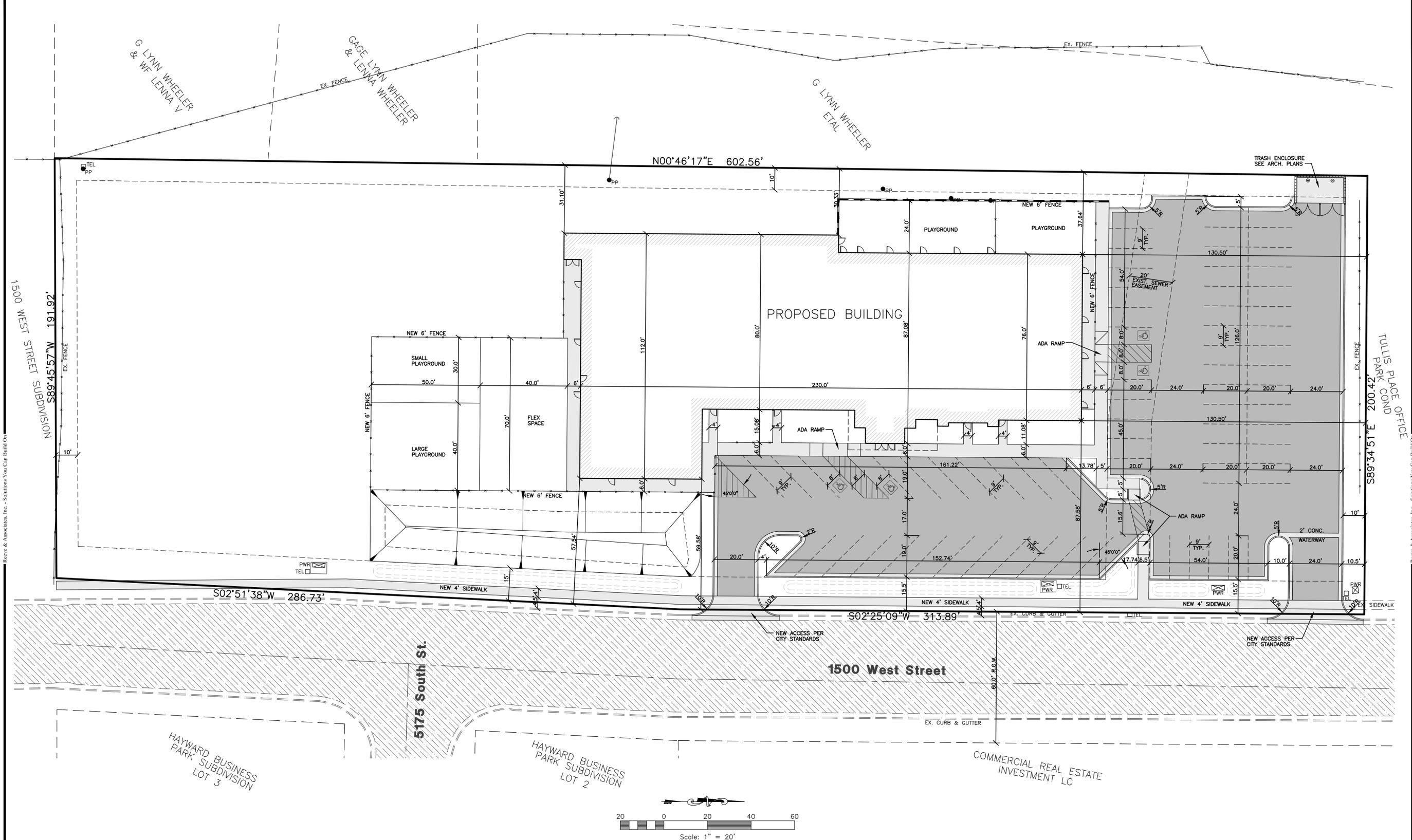
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Project Info.

Engineer: J. NATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2014
 Name: BRAVO ARTS ACADEMY
 RIVERDALE
 SITE PLAN
 Number: 4671-09

Sheet	10
3	Sheets



Reeve & Associates, Inc. - Solutions You Can Build On

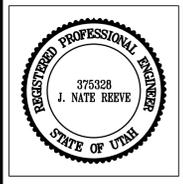
Reeve & Associates, Inc.
 920 CHAMBERS STREET, SUITE 14, OGDEN, UTAH 84403
 TEL: (801) 621-2100 FAX: (801) 621-2666 WWW.REEVE-ASSOC.COM
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

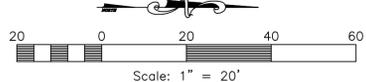
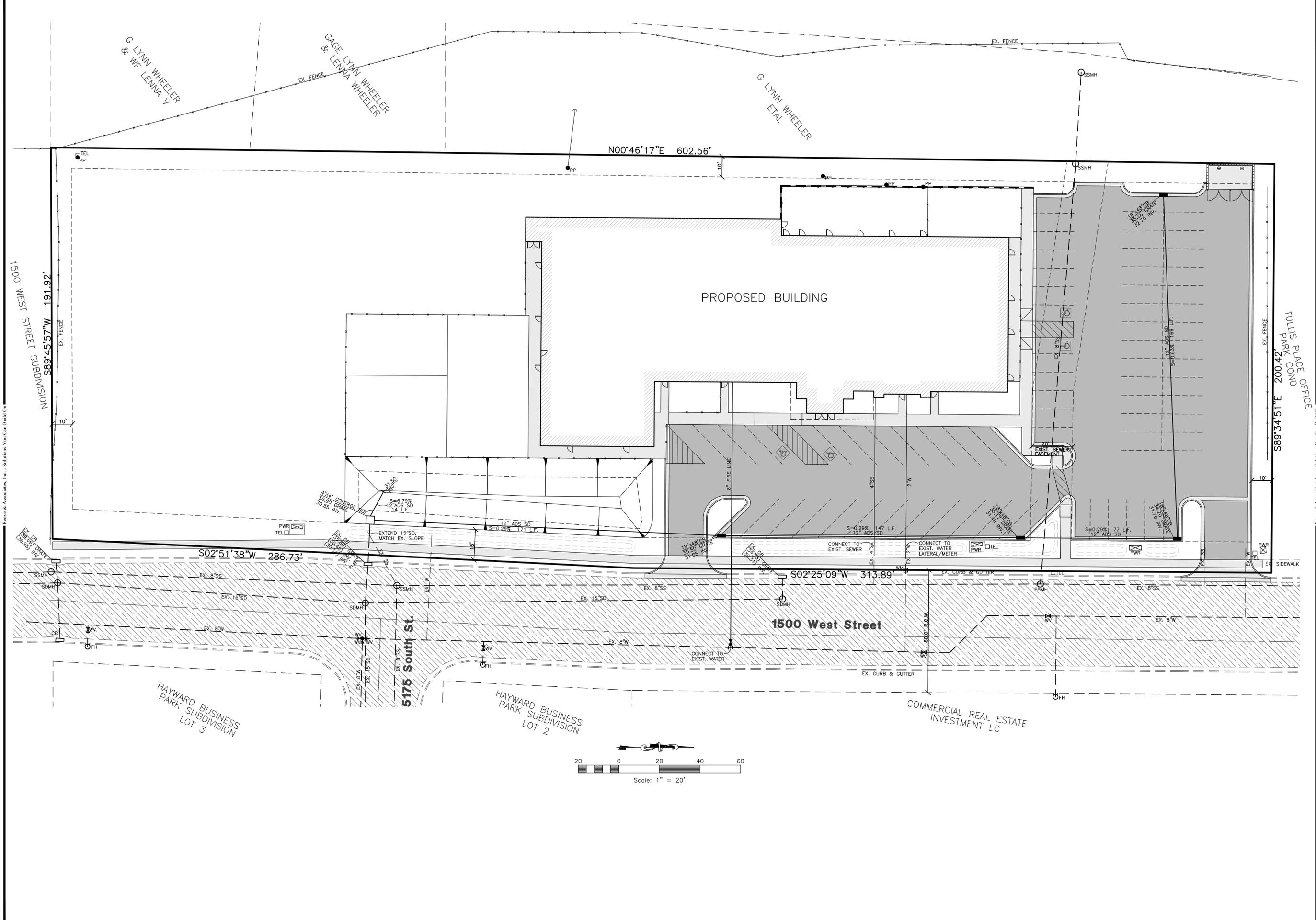
Bravo Arts Academy
 RIVERDALE CITY, WEBER COUNTY, UTAH

Proposed Site Plan

Reeve & Associates, Inc. - Solutions You Can Build On



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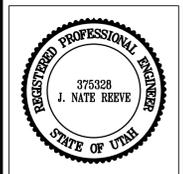


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REVISIONS	DESCRIPTION
DATE	

Bravo Arts Academy
 RIVERDALE CITY, WEBER COUNTY, UTAH

Utility Plan



Project Info.
 Engineer: J. NATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2014
 Name: BRAVO ARTS ACADEMY
 RIVERDALE
 SITE PLAN
 Number: 4671-09

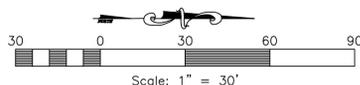
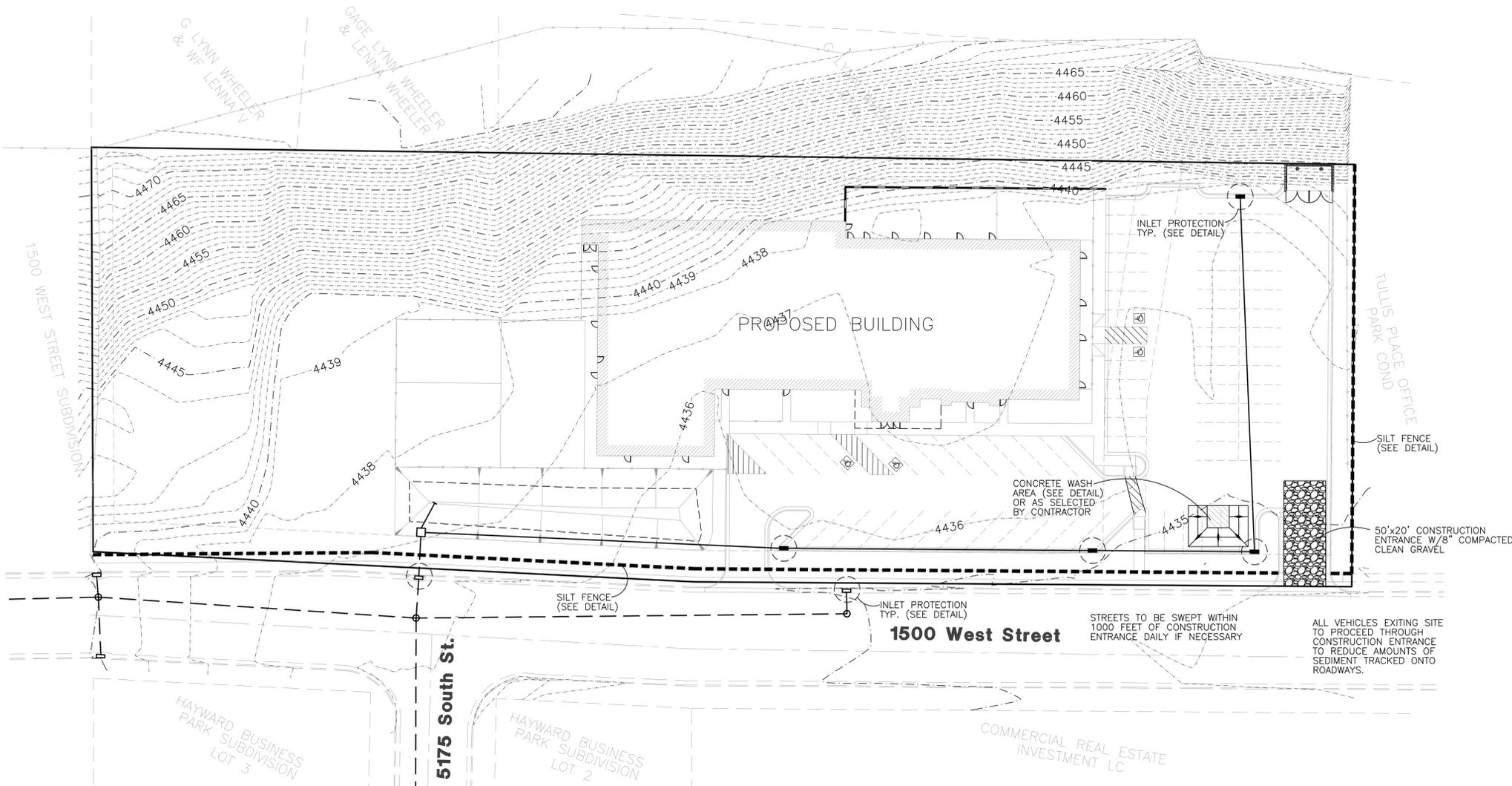
BRAVO ARTS ACADEMY

Storm Water Pollution Prevention Plan Exhibit

RIVERDALE CITY, WEBER COUNTY, UTAH
SEPTEMBER 2014



Vicinity Map
NOT TO SCALE



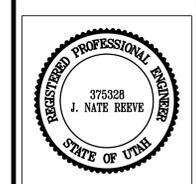
Construction Activity Schedule	
- PROJECT LOCATION.....	RIVERDALE CITY, WEBER COUNTY
- PROJECT BEGINNING DATE.....	SEPTEMBER 2014
- BMP'S DEPLOYMENT DATE.....	SEPTEMBER 2014
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....	MIKE FORD (801) 644-5100
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER	

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REVISIONS	DESCRIPTION
DATE	

Bravo Arts Academy
RIVERDALE CITY, WEBER COUNTY, UTAH

Storm Water Pollution Prevention Plan Exhibit



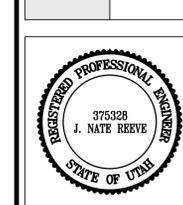
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Engineer:	J. NATE REEVE, P.E.
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	RIVERDALE
	SITE PLAN
Number:	4671-09

Sheet	10
8	Sheets

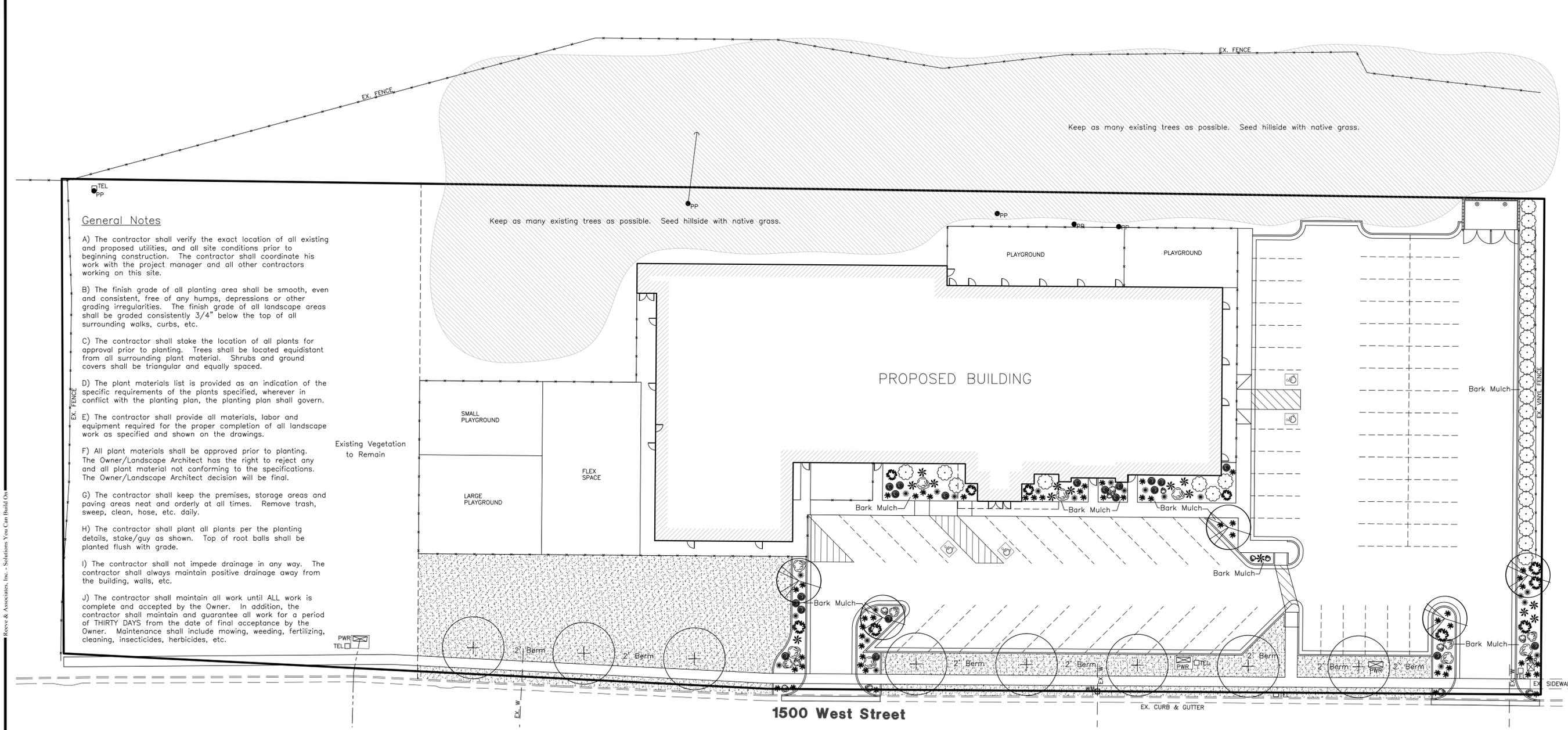
REVISIONS	DESCRIPTION

Bravo Arts Academy
 RIVERDALE CITY, WEBER COUNTY, UTAH

Landscape Plan



Project Info.
 Engineer: J. NATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2014
 Name: BRAVO ARTS ACADEMY
 RIVERDALE
 LANDSCAPE PLAN
 Number: 4671-09



- General Notes**
- A) The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on this site.
 - B) The finish grade of all planting area shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs, etc.
 - C) The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be triangular and equally spaced.
 - D) The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
 - E) The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
 - F) All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
 - G) The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
 - H) The contractor shall plant all plants per the planting details, stake/guy as shown. Top of root balls shall be planted flush with grade.
 - I) The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walls, etc.
 - J) The contractor shall maintain all work until ALL work is complete and accepted by the Owner. In addition, the contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing, cleaning, insecticides, herbicides, etc.

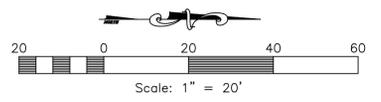
Plant Table

Quantity	Symbol	Scientific Name	Common Name	Planting Size
8	+	Acer freemanii 'Celzam'	Celebration Maple	2" cal.
5	⊗	Prunus cerasifera 'Thundercloud'	Thundercloud Plum	2" cal.

Quantity	Symbol	Scientific Name	Common Name	Planting Size
32	•	Euonymus alatus 'Compacta'	Dwarf Burning Bush	5 gal.
10	•	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5 gal.
20	•	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	5 gal.

Quantity	Symbol	Scientific Name	Common Name	Planting Size
14	•	Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.
52	•	Hemerocallis spp.	Daylily	1 gal.
21	•	Salvia 'May Night'	May Night Salvia	1 gal.

- Decorative Boulders
 - Turf Grass - To be sodded.
 - Existing Trees - Keep as many existing trees as possible. Seed hillside with native grass.
- NOTE: All beds shall have a 3" layer of Shredded Bark Mulch. Replenish as needed to maintain mulch depth.
 NOTE: Irrigation to be designed by owner's licensed landscape contractor. See sprinkler note.



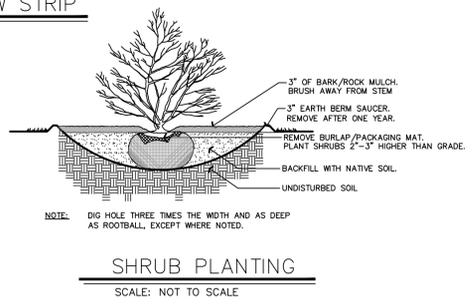
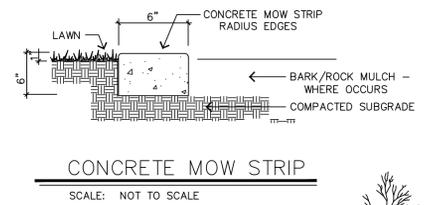
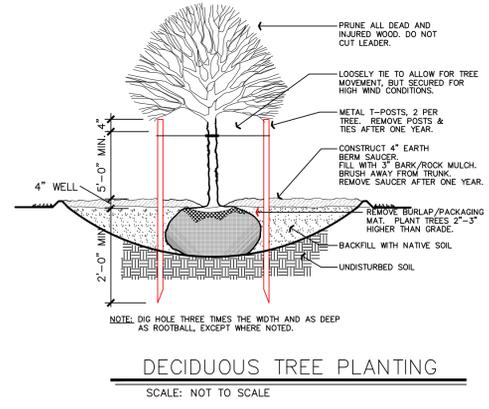
SPRINKLER NOTE

All Plant Material shown on the drawing shall be serviced by an Automatic Underground Irrigation System. The Contractor is to have a qualified Irrigation System specialist prepare a design for an Automatic Underground Irrigation System and submit drawings to the Engineer for approval at least 30 days prior to the system installation. Underground Irrigation System Drawings shall be prepared on 24"x36" sheet, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fittings and all other items required for proper installation of the system.

The Landscape Contractor shall be responsible for the installation of all irrigation sleeves prior to placement of hard improvements. Coordinate with the General Contractor.

The Landscape Contractor is to provide an Irrigation System connection (meter and backflow preventer assembly) to the waterline, as applicable, within State and Local jurisdictional codes. The Irrigation Contractor is responsible to coordinate this item with the Utility Contractor.

The Irrigation Control Box shall be located at the direction of the Project Manager.



**RIVERDALE CITY
PLANNING COMMISSION AGENDA
September 23, 2014**

AGENDA ITEM: F1

SUBJECT: Discretionary Items

PETITIONER: Elected, Appointed, and Staff

ACTION REQUESTED BY PETITIONER: Open agenda item provided for comments or discussion on discretionary items.

[BACK TO AGENDA](#)