



Planning Commission Meeting
Thursday, September 25, 2014
Meeting held at the Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs

AGENDA

Regular Session commencing at 6:30 P.M.

Regular Meeting

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input – Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.
4. Public Hearing and Possible Recommendation: Site Plan and Conditional Use for Vista Heights located at 612 West Pony Express Parkway, Evans and Association Architects, applicant. Presented by Sarah Carroll.
5. Public Hearing and Possible Recommendation: Preliminary Plat for Mallard Bay located at between 2800 South and 3000 South and Redwood Road, Holmes Homes, applicant. Presented by Sarah Carroll. **(Item Continued from the September 11, 2014 Planning Commission meeting)**
6. Approval of Reports of Action.
7. Approval of Minutes:
 1. September 11, 2014.
8. Commission Comments.
9. Director's Report.
10. Adjourn.

*Public comments are limited to three minutes. Please limit repetitive comments.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.



**Site Plan and Conditional Use
Vista Heights (LDS Church Building)
September 25, 2014
Public Hearing**

Report Date:	September 18, 2014
Applicant/Owner:	Evans and Associates Architecture
Location:	612 West Pony Express Parkway
Major Street Access:	Pony Express Parkway
Parcel Number(s) & Size:	66:300:0009 (~4.59 acres)
Parcel Zoning:	R-3, Low Density Residential
Adjacent Zoning:	A, PC
Current Use of Parcel:	Vacant
Adjacent Uses:	Middle School, Agricultural
Previous Meetings:	Minor Subdivision review by PC, 6-12-11 Concept Plan review by PC, 6-12-14 Concept Plan review by CC, 7-1-14
Previous Approvals:	Minor Subdivision approved by CC, 7-5-11
Land Use Authority:	City Council
Future Routing:	Public meeting with City Council
Author:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for review of a Site Plan and Conditional Use Permit for the Vista Heights Stake Center, located at 612 West Pony Express Parkway. The site includes a church building, a pavilion, a storage building, and associated parking and landscaping.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment and discuss the proposed Site Plan and Conditional Use, and choose from the options in Section "H" of this report. Options include forwarding a positive recommendation with conditions to the City Council, continuing the application, or recommending denial to the City Council.

B. Background:

The Concept plan was reviewed by the Planning Commission on June 12, 2014 and by the City Council on July 1, 2014. Recommendations made at those meetings included:

- o Use the City standard light poles and fixtures in the parking lots
- o Move the main access points further apart
- o Stub a connection within the parking lot to the east, to provide cross access between sites.

- The Planning Commissioners were generally supportive of the requested reduction in sod. One Commissioner did not support it to the extent requested.
- The City Council was generally supportive of the reduction of sod because of the increase in plant materials.
- Trees were recommended in some of the grass areas to create shade when Sunday school classes come outside.

Minutes from those meetings are attached. Some of the recommendations were incorporated into the site plan; the City standard lighting is shown, and one of the access points was shifted to the west. The applicant was not able to provide a stub to the east because there will be a six foot tall retaining wall along the east property line. Trees were not added to the grass areas.

C. Specific Request:

This is a request for site plan and conditional use permit approval of a proposed LDS church to be located at 612 West Pony Express Parkway.

D. Process:

Section 19.13.04 of the City Code states that Site Plans and Conditional Uses require City Council approval after the Planning Commission holds a public hearing and forwards a recommendation. The City Code also requires that an applicant hold a neighborhood meeting for any non-residential development proposal adjacent to developed property in a residential zone. This project is not adjacent to developed property in a residential zone.

E. Community Review:

Per 19.13.04 of the City Code, this item has been noticed in *The Daily Herald*, and each property owner within 300 feet of the subject property was sent a letter at least ten calendar days prior to this meeting. As of the completion of this report, no public comment has been received.

F. General Plan:

The General Plan designates this area for Institutional/Civic development and states "Activities in the institutional areas will vary greatly and shall include schools, libraries, hospitals, public buildings or facilities and other land-uses that provide essential services to the general public."

Finding: consistent. The proposed use is a church building which will offer religious services to the general public.

G. Code Criteria:

The requirements for the R-3 zone are outlined in Section 19.04.13. The parking requirements are in Chapter 19.09. The Site Plan requirements are in Chapter 19.14, and the Conditional Use standards are in Chapter 19.15. Pertinent sections of these Chapters and sections are reviewed below.

Permitted or Conditional Uses: complies. Section 19.04.13(2 & 3) lists all of the permitted and conditional uses allowed in the R-3 zone. Churches are a conditional use in the R-3 zone. The conditional use standards are reviewed later in this report.

Minimum Lot Sizes: complies. 19.04.13(4) states that the minimum lot size for non-residential uses is one acre. The subject property is 4.59 acres. Some of the property will be dedicated towards the Pony Express Parkway right of way, but this will not result in a lot that is less than one acre in size.

Setbacks and Yard Requirements: complies. Section 19.04.13(5) outlines the setbacks required by the R-3 zone. These requirements are:

Front: Not less than twenty-five feet.
Sides: 8/20 feet (minimum/combined)
Rear: Not less than twenty-five feet
Corner: Front 25 feet; Side abutting street 20 feet

The setbacks indicated on the plans exceed these requirements.

Parking: complies. Section 19.09.11 outlines the parking requirements for churches and requires one stall per three seats, but allows this requirement to be exceeded by more than 25%. The chapel includes 286 seats, requiring 96 parking stalls. 261 parking stalls are provided, exceeding the requirement.

Fencing: complies. Section 19.06.09 requires fencing along property lines abutting open space, parks, trails, and easement corridors. In addition, fencing may also be required adjacent to undeveloped properties. On Sheet C4.11, notes 12 and 13 are related to fencing and indicate that the chain link fence on the east property line will remain, and the chain link fence on the north and west property lines will be replaced with a six foot tall vinyl privacy fence; thus, meeting the requirement for fencing adjacent to undeveloped properties.

Trash storage: complies. Section 19.14.04 requires trash storage areas to be comparable with the proposed building and surrounding structures. Sheet C5.21 includes details for the dumpster enclosure and it meets these requirements.

Open Space: complies. The City Code requires a minimum 15% open space. This church will be serving nearby residents and park space has already been provided within the nearby developments. The proposed plans indicate 37% of the site will be landscaped.

Sensitive Lands: complies. No sensitive lands exist on the site.

Landscaping: up for discussion. The landscape plans indicate 69,024 square feet of landscaping which requires 28 deciduous trees at 2.5" caliper, 23 evergreen trees at 6 feet in height, 89 shrubs, and 50% turf. The code states "The City Council shall have the authority to adjust these standards as circumstances dictate."

The applicant is requesting the sod requirement be reduced to 33% sod for this site. In exchange for this reduction they are willing to exceed all of the plant count requirements and are proposing: 99 deciduous trees at 2.5" caliper, 25 evergreen trees at 7'-8' height, 630 five-gallon shrubs, 70 perennial plants and 78 grasses.

Landscaping in Parking Areas: can comply. Section 19.09.08 requires a 10 foot berm between parking areas and the public street, a landscape island every 10 stalls, and landscape boundary strips of eight feet.

The grading plans do not indicate a berm in the landscaping between the public right of way and the parking stalls. This has been added as a condition of approval in Section "I" of this report. There are landscape islands every 10 stalls. The landscape boundary strips exceed eight feet on all sides.

Lighting: complies. Section 19.14.04(7)(iii) states "All streetlights and interior parking lot lights shall meet the City's adopted design standards for lighting." The plans indicate City standard lighting.

Access: up for discussion. This type of development requires two points of access to meet Fire Code Requirements. However, the access locations do not meet access spacing requirements for full-movement accesses on Arterial roadways (see Engineering report). The City reserves the right to construct an island in the Center of Pony Express Parkway in the future, which could

reduce one of the access points to right in/right out movements only. In order address concerns over spacing that were expressed during the concept plan review, the applicant increased the distance between the access points.

Conditional Use Review:

19.15.04. Determination.

1. The Planning Commission may only permit a Conditional Use to be located within a zone where the particular Conditional Use is listed as a Conditional Use by the use regulations of this Title.
2. A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the standards contained in this Chapter.
3. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with the standards contained in this Chapter, the conditional use may be denied.

Finding: complies. The proposed church is located in the R-3 zone which lists “church” as a conditional use. Mitigation measures are reviewed under “General standards and Considerations Governing Conditional uses” below. The reasonably detrimental effects of the proposed conditional use are minimal and can be mitigated by meeting the site requirements for developments in the R-3 zone.

19.15.05. General Standards and Considerations Governing Conditional Uses.

In reviewing an application for a Conditional Use permit, the Planning Department shall apply the following considerations and standards:

1. The siting of the structure or use, and in particular:
 - a. the adequacy of the site to accommodate the proposed use or building and all related activities;
 - b. the location and possible screening of all outdoor activities;
 - c. the relation of the proposed building or use to any adjoining building with particular attention to protection of views, light, air, and peace and quiet;
 - d. the location and character of any display of goods and services; and
 - e. the size, nature, and lighting of any signs.

Staff finding: complies. The site is located in an R-3 zone where churches are anticipated as conditional uses. The site is designed to accommodate the proposed use. The site will have a 6’ tall privacy fence on the north and west property lines and has a 6’ tall existing chain link fence on the east property line that was installed by Alpine School District. There are no adjoining building; thus, the protection of vies, light, air, and peace and quiet are not required. There will not be any displays. The signs include a small sign on the front of the building that is built into the face, with the name of the religion; the sign is not lit.

2. Traffic circulation and parking, and in particular:
 - a. the type of street serving the proposed use in relation to the amount of traffic expected to be generated;
 - b. the adequacy, convenience, and safety of provisions for vehicular access and parking, including the location of driveway entrance and exits; and
 - c. the amount, timing, and nature of traffic generated by the proposed conditional use.

Staff finding: complies. The City Engineer has reviewed the site and the circulation. The existing street that will serve the proposed use is Pony Express Parkway which is an arterial road on the Streets Master Plan. During the Concept Plan review it was recommended that the accesses be further apart. The plans indicate that the western access has been moved further to the west. The site exceeds the parking required by Code as reviewed earlier in this report. The access locations have been reviewed by the City Engineer, and in the future

there is a possibility that one of the access may be reduced from a full-movement access to a right in/right out access; however, the location of the accesses as proposed contributes to the adequacy, convenience, and safety of vehicular movement through the site. The amount of traffic generated by the site varies throughout the week and is at its peak on Sundays, when the neighboring uses have minimal traffic. The proposed site is laid out in a configuration that will accommodate the anticipated traffic.

3. The compatibility of the proposed conditional use with its environment, and in particular:
 - a. the number of customers or users and the suitability of the resulting activity level to the surrounding uses;
 - b. hours of operation;
 - c. adequacy of provisions for the control of any off-site effects such as noise, dust, odors, light, or glare, etc.;
 - d. adequacy of provisions for protection of the public against any special hazards arising from the intended use;
 - e. the expected duration of the proposed building, whether temporary or permanent, and the setting of time limits when appropriate; and the degree to which the location of the particular use in the particular location can be considered a matter of public convenience and necessity.

Staff finding: complies. The proposed church is a compatible use in the R-3 zone and will serve the nearby residents. The proposed church will have a membership of approximately 300-600 people per ward, but attendance at Sunday meetings will vary and will not include all members. During the Concept review the question was raised about parking during stake conference and the applicant indicated that stake conference is now broadcast to multiple buildings so that all the participants do not need to attend at this building. The hours of operation will vary depending on the activities being held. Seminary will also be conducted at this location for the Middle School students. The operations will not create off-site noise, dust, odors, light, or glare. No special hazards are proposed. The proposed location offers an additional church building for nearby residents. The building is expected to be permanent.

4. The Conditional Use shall meet the following standards:
 - a. the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity;
 - b. the use will be consistent with the intent of the land use ordinance and comply with the regulations and conditions specified in the land use ordinance for such use;
 - c. the use will be consistent with the character and purposes stated for the land use zone involved and with the adopted Land Use Element of the General Plan;
 - d. the use will not result in a situation which is cost ineffective, administratively infeasible, or unduly difficult to provide essential services by the City, including roads and access for emergency vehicles and residents, fire protection, police protection, schools and busing, water, sewer, storm drainage, and garbage removal; and
 - e. the proposed use will conform to the intent of the City of Saratoga Springs General Plan.

Staff finding: complies. The proposed church will not be detrimental to the health, safety, or general welfare of persons in the area but will offer a new church building for religious services. The proposed site can comply with the land use ordinance requirements and regulations as reviewed earlier in this report. The proposed use will not result in a situation that is cost ineffective to the City. The proposed use conforms to the intent of the General plan as outlined in Section G of this report.

5. When necessary, the City Council may attach conditions to ensure compatibility with the surrounding area and to mitigate harmful effects. Such conditions may include the following:
 - a. additional parking;

- b. water, sewer, and garbage facilities;
- c. landscape screening to protect neighboring properties;
- d. requirements for the management and maintenance of the facilities;
- e. changes in layout or location of uses on the lot; and
- f. any other condition the City Council finds necessary to reasonably ensure that the proposed Conditional Use will comply with the standards noted above.

Staff finding: additional mitigation is not necessary. The site plan indicates adequate parking for the proposed use, a dumpster location, and landscaping as required by code which will buffer the activities. Changes to the layout were recommended during the concept review and have been incorporated into the site plan.

- 6. The City Council shall make its decision based upon the facts presented for the record; expressions of support or protest alone shall not constitute the basis of approval or denial.

H. Recommendation and Alternatives:

After evaluating the required standards for developments in the R-3 zone and the conditional use criteria, staff recommends that the Planning Commission conduct a public hearing and make the following motion:

Recommended Motion:

"Based upon the evidence and explanations received today, I move that the Planning Commission forward a positive recommendation to the City Council for approval of the Vista Heights Site Plan and Conditional Use Permit on property located at 612 West Pony Express Parkway, with the findings and conditions below:

Findings:

- 1. The proposed site plan and conditional use are consistent with the General Plan as explained in the findings in Section "F" of this report, which findings are incorporated herein by this reference.
- 2. The proposed site plan and conditional use meets or can conditionally meet all the requirements in the Land Development Code as explained in the findings in Section "G" of this report, which findings are incorporated herein by this reference.

Conditions:

- 1. That all requirements of the City Engineer be met, including those listed in the attached staff report.
- 2. That all requirements of the Fire Chief be met.
- 3. The grading plans shall include a berm in the landscaping between the public right of way and the parking stalls.
- 4. Any other conditions as articulated by the Planning Commission:

Alternative Motions:

Alternative Motion A

"I move to **continue** the item to another meeting, with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

Alternative Motion B

"Based upon the evidence and explanations received today and the following findings, I move that the Planning Commission forward a negative recommendation to the City Council to deny

the Vista Heights site plan and conditional use on property located at 612 West Pony Express Parkway. Specifically I find that the following standards and/or code requirements have not been met:"

List Specific Code Standards and Requirements:

I. Exhibits:

1. Engineering Report
2. Zoning / Location map
3. PC minutes, 6/12/14
4. CC minutes, 7/1/14
5. Proposed Elevations
6. Site Plan
7. Landscape Plans
8. Lighting Plans

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Vista Heights
Date: September 25, 2014
Type of Item: Site Plan and Conditional Use



Description:

A. Topic: The Applicant has submitted a Site Plan and Conditional Use application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Evans and Associates Architecture
Request: Site Plan and Conditional Use Approval
Location: 612 West Pony Express Parkway
Acreage: Approx. 4.59 Acres

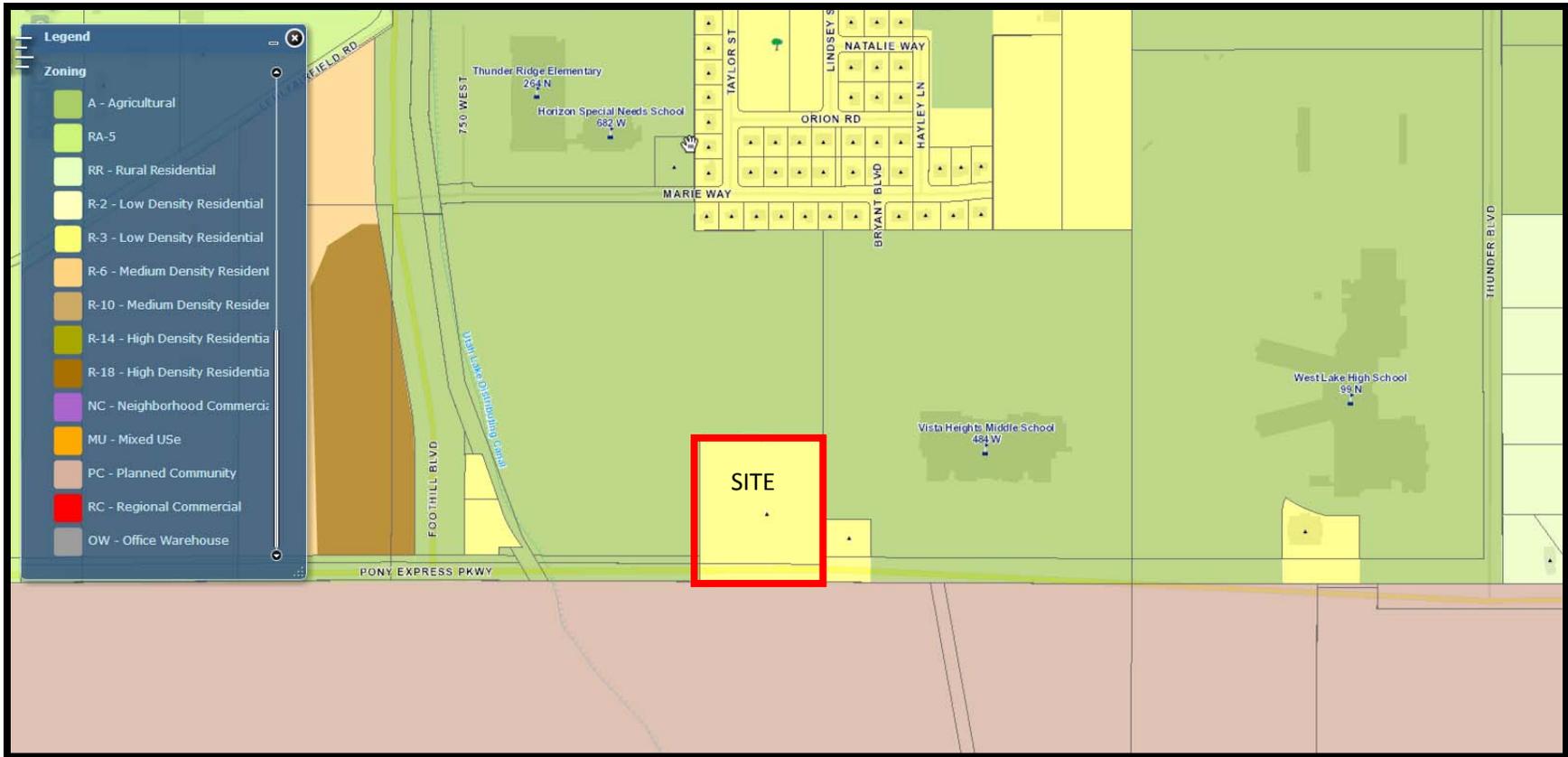
C. Recommendation: Staff recommends the approval of Site Plan and Conditional Use subject to the following conditions:

D. Conditions:

- A. Meet all engineering conditions and requirements in the construction of the project. Review and inspection fees must be paid and a bond posted as per the City's Development Code prior to any construction being performed on the project. Impact and water fees are due when pulling the building permit.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Submit easements for all public utilities not located in the public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction of these plats.
- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.

- G. Final plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Developer shall provide fire flow calculations to verify each proposed hydrant can meet minimum state and city standards. Fire Flow tests may be required by the Saratoga Springs Fire Chief prior to acceptance of the water system and prior to the commencement of the warranty period.
- J. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- K. Developer shall provide a road dedication plat to create a 90-ft ROW for Pony Express Parkway.
- L. Developer shall provide to the City easements as per City standards for all onsite utility lines not in the public ROW and record easements for all offsite utility lines. Plat shall reference all offsite easements (outside the boundaries of the plat) by entry number.
- M. Developer shall provide the full frontage improvements of Pony Express Parkway including, but not limited to, road widening, sidewalk, drive approaches, curb and gutter, storm drainage, Collector street lights, hydrants and waterlines, and landscaping. Items that are anticipated to be built by the City as part of the widening project scheduled for 2015 may be bonded for in lieu of completion. If completed by the City these bonded items will be released with no warranty bond required, if the widening project for some reason does not occur in 2015, these improvements will need to be completed by the applicant or their assignee.
- N. Developer shall provide and record a cross access easement with the property to the east to facilitate a possible connection in the future for a shared access from Pony Express Parkway.
- O. Developer shall facilitate and install adequate pedestrian facilities for on-site circulation and for access to sidewalks along adjacent ROW's and adjacent properties.
- P. Developer shall provide casing for waterlines and any other applicable utilities that are proposed to run under retaining walls. No other structures may be placed on top of such utilities or within their easements.

- Q. Access spacing onto pony express parkway shall comply with the standards outlined in the City's adopted Transportation Master Plan. Right-in/out access shall be designed in a manner acceptable to the City Engineer and the City shall have the right to make any future modifications necessary to the site or the adjacent ROW to control such access.
- R. On-site lighting shall be City Standard commercial style street lights and lighting shall be provided along Pony Express parkway as per the City Standard Collector Street Light at all access locations and at spacing not to exceed 300' along the frontage.
- S. Developer shall provide a record an easement from the Alpine School District for the offsite sewer lateral prior to beginning such work and before the City will inspect or accept the improvement. Lateral must meet State requirements including the installation of cleanouts at spacing not to exceed 100'.
- T. The developer shall provide a berm along the property frontage with Pony Express Parkway a minimum of 2' in height and side slopes that do not exceed 3:1.
- U. Developer shall submit and receive approval on a traffic control plan prior to commencing any work within the Public ROW.



ZONING/LOCATION MAP

**City of Saratoga Springs
Planning Commission Meeting
June 12, 2014**

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Planning Commission Minutes

Present:

Commission Members: Jeff, Cochran, Jarred Henline, Kirk Wilkins, Sandra Steele, Hayden Williamson, Kara North

Staff: Kimber Gabryszak, Sarah Carroll, Scott Langford, Nicolette Fike, Jeremy Lapin, Kevin Thurman

Others: Teri Smith, Davidi Call, Jolayne Call, Susan Palmer, Ronald Johnston, Gaila Meyers, T. Meyers, LomeLee McKinnen, Barbara Raines, Ty Shepherd, Nancy Hart, J.C. Hart, Nancy Kramar, Krisel Travis, Tim Cullins, Gary Hadfield, Susan Hadfield, Charlie Heaton, Fred Jepson, Judy Jepson, Leah Hansen, Henry Barlow, Neil Infanger, Pam Infanger, Susan Petersen, Doug Graber, Viren Prins, Daniel Prins, Thane Smith, Scott Dunn

9. Concept Plan for Vista Heights located at 612 West Pony Express Parkway, Evans and Associate Architects, applicant.

Sarah Carroll – presented concept plan for a church located at this site, and staff findings.

Paul Evans for applicant – was present to answer any questions

Sandra Steele – thought the lighting should conform to city standards. She recommended pushing the North access road out further to the west as they were too close and that there could be a stub for a future access. She is not in favor of decreasing turf as much as proposed.

Hayden Williamson – wondered what the plan for overflow parking would be.

Kirk Wilkins – feels the xeriscaping would be nice and likes the more trees and shrubs. He would like to see west openings be pushed out to the next drive isle also.

Jarred Henline – feels the lights should match. He has no problem with reduction to landscape but wanted a higher percentage of 2-1/2' caliper trees, as staff requested.

Jeff Cochran – is in favor of the xeriscaping. He agrees that lighting needs to be standardized and that drive be moved further west.

Paul Evans - addressed some commission questions. They would prefer not to provide access to the east as they are unsure as to when the area to the east would be used. Church standard landscaping has been a maximum of 35% sod and they don't like to do more, most current churches in the area were to that standard. In lighting standard, he will pass that on. As for overflow, their parking met standards for the church and didn't feel a need for any more parking for overflow as now each building is used for Stake conferences. He felt they had discussed moving the west access before with staff and thinks it would be fine. Disability stalls on north side are a little further away to meet grade standards.

Kara North returned via Facetime.

City of Saratoga Springs
City Council Meeting - Work Session
July 01, 2014

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Present:

Mayor: Jim Miller

Council Members: Michael McOmber, Shellie Baertsch, Rebecca Call, Stephen Willden, Bud Poduska

Staff: Mark Christensen, Kimber Gabryszak, Kyle Spencer, Owen Jackson, Kevin Thurman, Jeremy Lapin, Sarah Carroll, Chelese Rawlings, Jess Campbell, Andrew Burton

Others: Jennifer Klingonsmith, Sue Alexander, Doug Graham, Bill Gaskill, Ryan Poduska, Bob Krejci, Cari Krejci, K. Becraft, Terry Looock, Nancy Hart, Colleen Reep, Billie Hawkins, Christine Redding, Steve Maddox, Ray Dawson, Scott Dunn, Will Scott, Krisel Travis, Wally Smith, Teri Smith, Gaila Myers, Stan Steele, Sandy Steele, Mike Hathorne, Thane Smith, Barbara Raineo

5. Concept Plan for Vista Heights Church located at approximately 600 West Pony Express Parkway, Evans and Associates Architecture, applicant.

Sarah Carroll presented the Concept Plan. She noted the recommendations from Planning Commission. The applicant requested that they exchange 50% sod for 35.7% and extra trees.

Councilwoman Call noted the reason for the required turf is for keeping the heat down and with the huge increase in shrubs and trees; she feels this still meets the needs of the city. She agrees that the applicant ought to comply with code on lighting and agreed that the west access ought to be moved further west.

Councilman Poduska asked if there were chain link fences currently around the site.

Sarah Carroll responded that there is a chain link around the School and around and agricultural property to the west. But anything they put in could not be chain link

Councilman Willden was fine with the landscape reduction and proposed parking. He does encourage them to meet city standards on lighting.

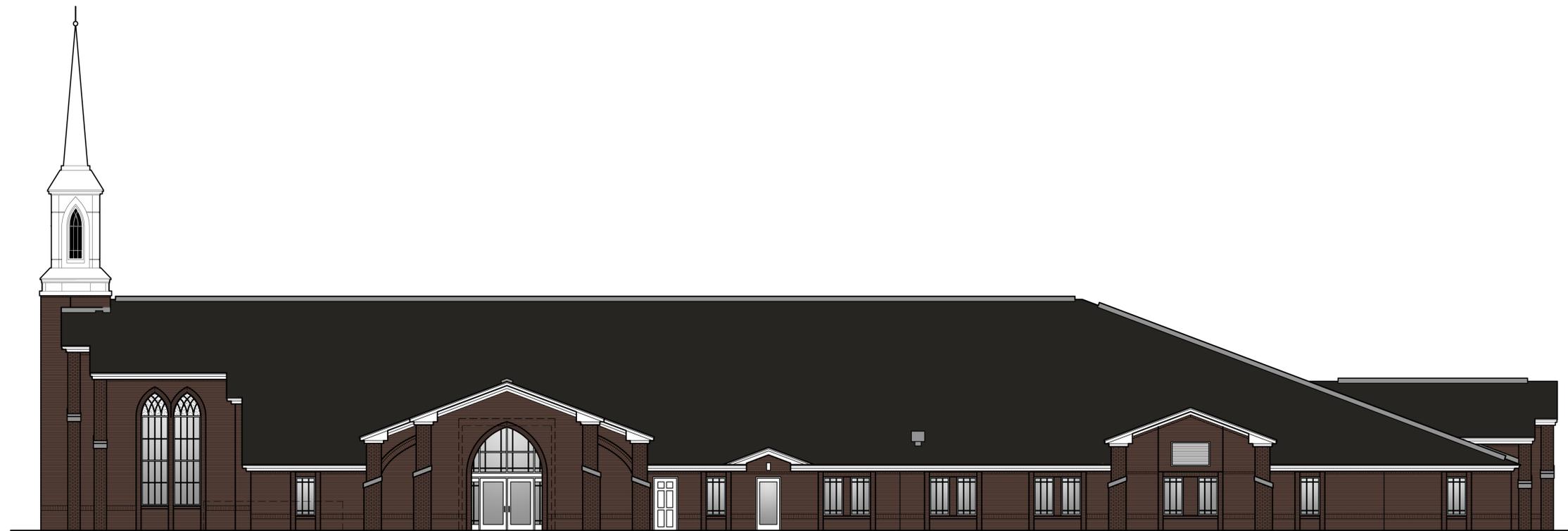
Councilwoman Baertsch asked if some of the trees could be in grass areas. She also noted to increase some of the trees to a 2 ½ in. caliper per code

Councilman McOmber liked the better variety of church designs. He likes the increased amount of trees and expressed desire that the drive entrances be widened.

Mayor Miller would like current city standards be met with lighting.



① ELEVATION
1/8" = 1'-0"



② ELEVATION
1/8" = 1'-0"

Architect / Engineer:

Stamp:

Project Name

Project Address

Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Project Number:

Plan Series:

HET-SAS-09-05

Property Number:

Sheet Title:

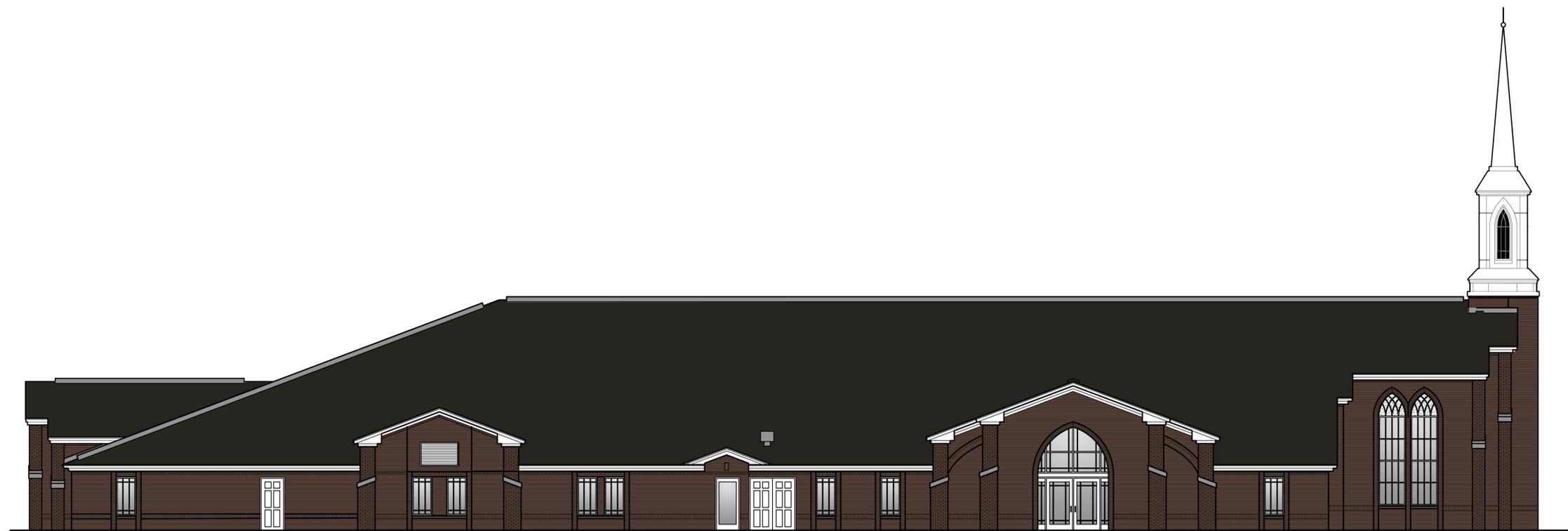
BUILDING
ELEVATIONS

Sheet:

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① ELEVATION
1/8" = 1'-0"



② ELEVATION
1/8" = 1'-0"

Architect / Engineer:

Stamp:

Project Name

Project Address

Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Project Number:

Plan Series:

HET-SAS-09-05

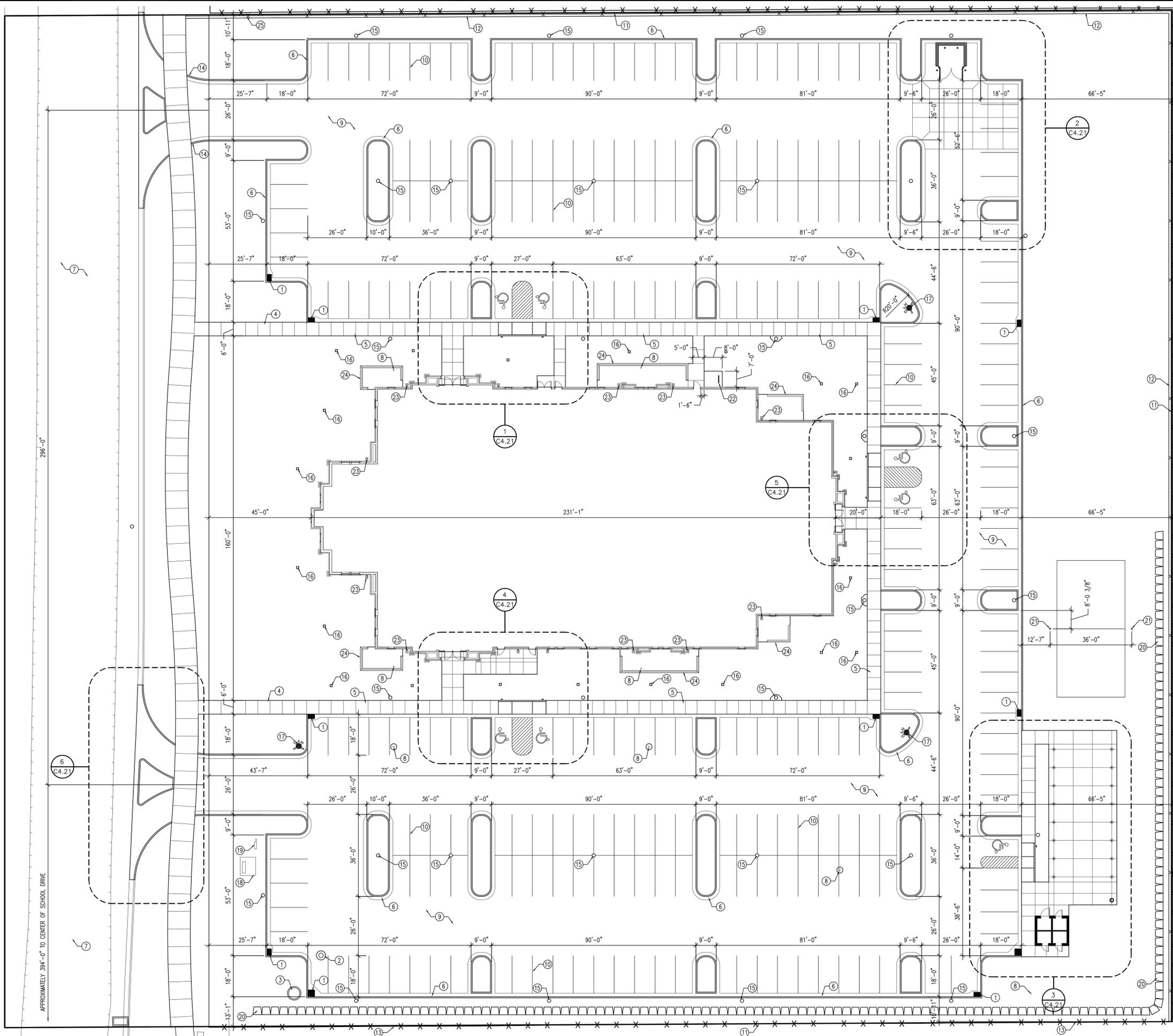
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BUILDING
ELEVATIONS

Sheet:

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KEYED NOTES

1. CATCH BASIN - SEE SITE GRADING AND DRAINAGE PLAN AND C5.13
2. CLEANOUT BOX - SEE SITE GRADING AND DRAINAGE PLAN AND A/C5.13 SIMILAR
3. VORTSENTRY HYDRAULIC TREATMENT SYSTEM - SEE SITE GRADING AND DRAINAGE PLAN
4. CONCRETE WALK - SEE D/C5.12
5. COMBINATION CONCRETE SIDEWALK-CURB AND GUTTER - SEE B/C5.11 AND C/C5.11
6. CONCRETE CURB AND GUTTER - SEE E/C5.11 AND F/C5.11
7. EXISTING ASPHALT ROAD TO REMAIN - PROTECT DURING CONSTRUCTION
8. CLEAN OUT TO GRADE - SEE E/C5.12 AND GRADING AND DRAINAGE PLAN - PROVIDE A 1'-0" WIDE CONCRETE COLLAR AROUND CLEAN OUTS LOCATED IN ASPHALT PARKING LOT
9. ASPHALT PAVEMENT - SEE C/C5.12
10. 4" WIDE PAINTED PARKING STRIPS - TYPICAL
11. PROPERTY LINE
12. REMOVE EXISTING CHAINLINK FENCE - PROVIDE AND INSTALL A 6'-0" TALL VINYL PRIVACY FENCE WITH CONCRETE MOW STRIP - SEE J/C5.12
13. EXISTING CHAINLINK FENCE TO REMAIN - PROTECT DURING CONSTRUCTION
14. TAPER CONCRETE CURB TO ASPHALT LEVEL AT DRIVE ENTRANCES - SEE F/C5.13
15. LIGHT POLE - SEE ELECTRICAL
16. YARD DRAIN - SEE D/C5.13 AND GRADING AND DRAINAGE PLAN
17. FIRE HYDRANT - SEE UTILITY PLAN
18. TRANSFORMER - SEE ELECTRICAL
19. CT CABINET - SEE ELECTRICAL
20. REDI-ROCK RETAINING WALL - SEE GRADING AND DRAINAGE PLAN
21. VOLLEYBALL SLEEVES
22. BICYCLE RACK - SEE K/C5.12
23. DOWNSPOUT CATCH BASIN - SEE K/C5.13 AND GRADING AND DRAINAGE PLAN
24. MECHANICAL ENCLOSURE - SEE B/C5.21
25. 3'-0" TALL VINYL PRIVACY FENCE WITH CONCRETE MOW STRIP EXTEND FROM SIDEWALK TO 30'-0" FROM THE RIGHT OF WAY

GENERAL NOTES

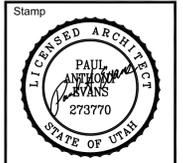
1. CONCRETE RADII ARE 4'-0" UNLESS NOTED OTHERWISE
2. COORDINATE ALL SITE WORK WITH ALL OTHER CONTRACT DOCUMENTS
3. ALL APPLICABLE ELEMENTS OF THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO
4. PARKING STALLS ARE 9'-0" X 18'-0" UNLESS NOTED OTHERWISE.
5. ALL NOTED ITEMS ARE NEW UNLESS NOTED OTHERWISE.

SITE INFORMATION

ON SITE IMPROVEMENTS	SQ. FT.	ACRES	
TOTAL PARCEL AREA	188,444	4.326	100%
BUILDING AREAS			
CHAPEL	23,975		
STORAGE BUILDING	190		
IMPERVIOUS AREAS			
CONCRETE - WALKS, PADS, APRONS	11,892	0.273	6.31%
CONCRETE CURB & GUTTER (LF)	3,444		
ASPHALT	79,943	1.835	42.42%
TOTAL LANDSCAPE AREA	66,798	1.533	35.45%
OFF SITE IMPROVEMENTS			
CONCRETE - WALKS, PADS, APRONS	0	0	
CONCRETE CURB & GUTTER (LF)	0		
ASPHALT	0	0	
OFF SITE LANDSCAPE AREA	8,758	0.201	
TOTAL PARKING SPACES PROVIDED			
REGULAR	254 STALLS		
ACCESSIBLE	2 STALLS		
VAN ACCESSIBLE	5 STALLS		
TOTAL SPACES PROVIDED	261 STALLS		

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"



A New Meetinghouse for:
Vista Heights & Saratoga Springs UT Crossroads Stake
 600 West Pony Express Parkway
 Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

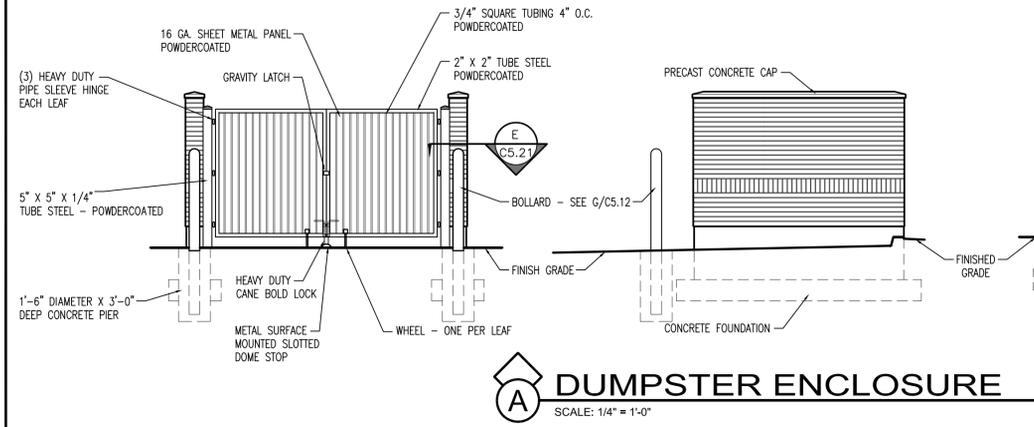
Revisions	Description	Date
Mark	Conditional Use/Site Plan Sub.	6/30/2014

Project Number: M4-06
 Plan Series: HET-SAS-09-05 (Style A)
 Property Number: 500-4730
 Date: February 1, 2014

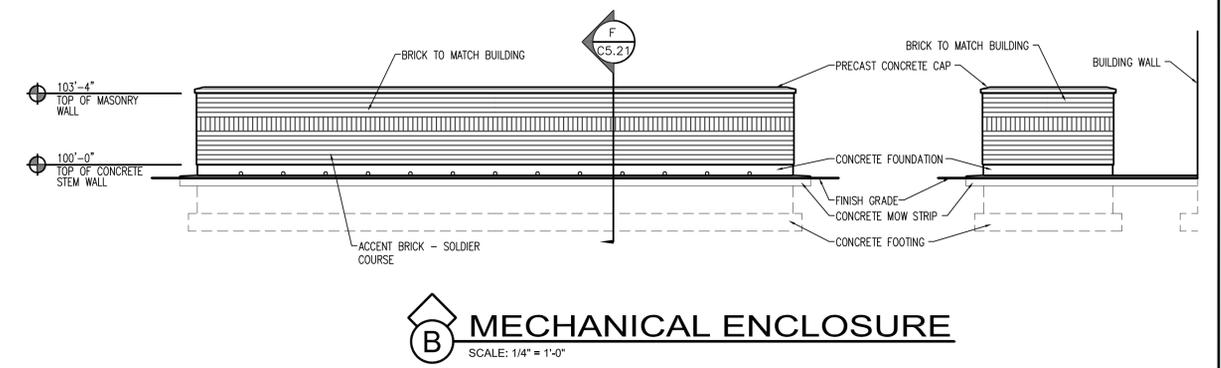
Sheet Title:
 ARCHITECTURAL SITE PLAN

Sheet:
C4.11

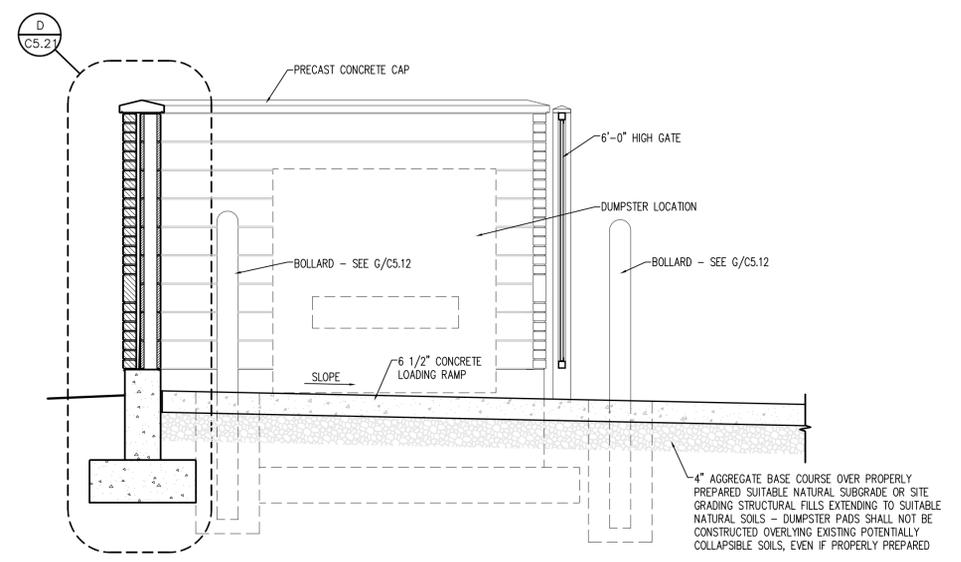
APPROXIMATELY 394'-0" TO CENTER OF SCHOOL DRIVE



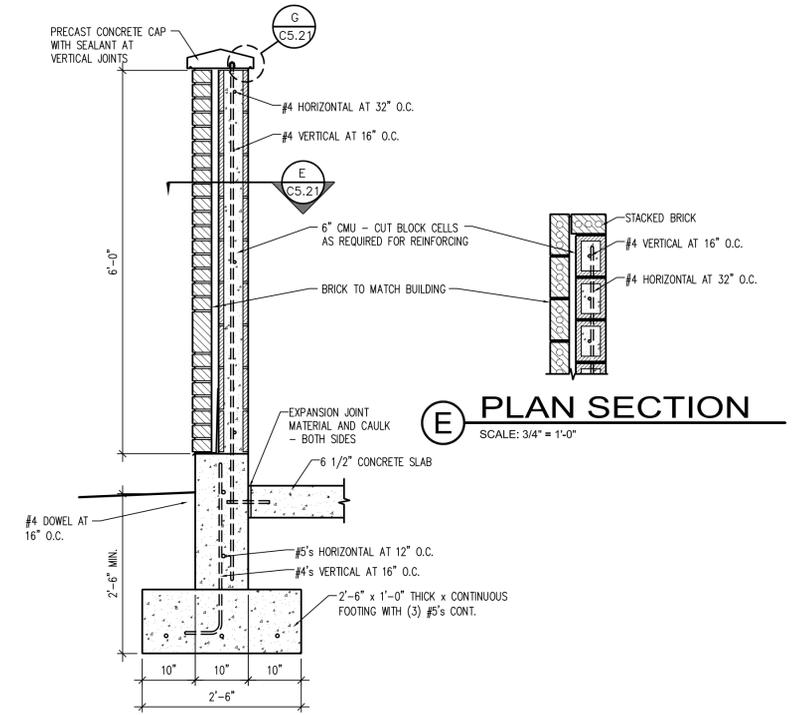
A DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



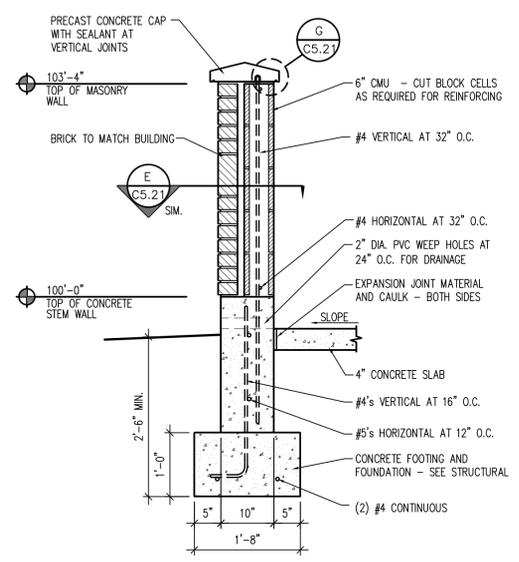
B MECHANICAL ENCLOSURE
SCALE: 1/4" = 1'-0"



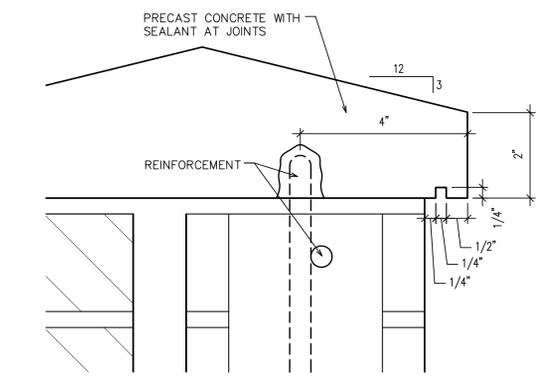
C DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



D DUMPSTER ENCLOSURE
SCALE: 3/4" = 1'-0"



F MECHANICAL ENCLOSURE
SCALE: 3/4" = 1'-0"



G SECTION
SCALE: 6" = 1'-0"

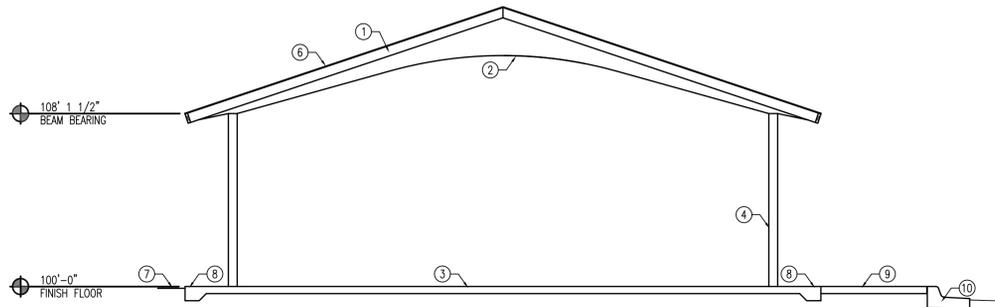
Revisions	Description	Date	Mark
	Conditional Use/Site Plan Sub.	6/30/2014	

Project Number	14-06
Plan Series	HET-SAS-09-05 (Style A)
Property Number	500-4730
Date	February 1, 2014

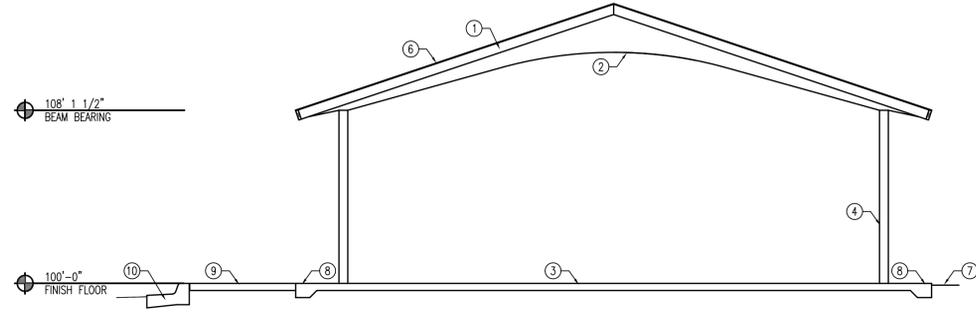
Sheet Title
MECHANICAL AND DUMPSTER ENCLOSURE DETAILS

- GENERAL NOTES**
- SEE SITE PLAN FOR WALK LOCATIONS AND WIDTH
 - 1" PRIOR TO PLANTING - 2" PRIOR TO SODDING

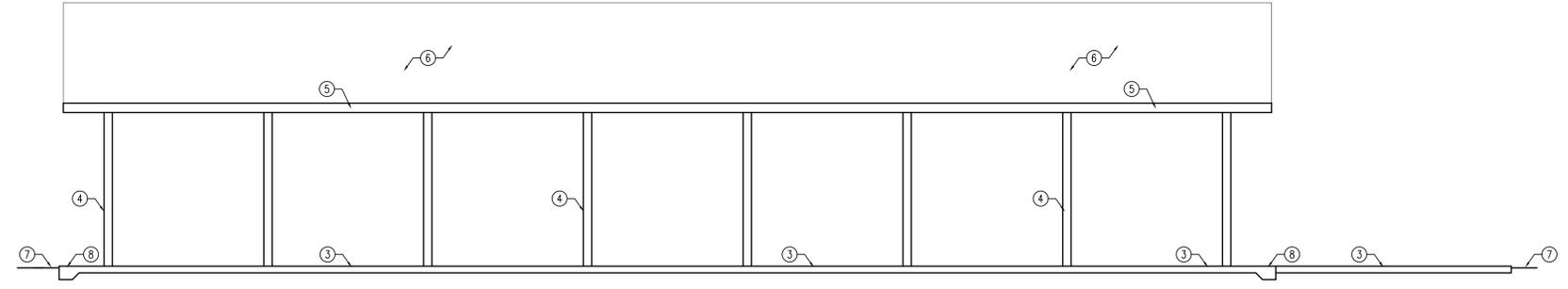
Sheet
C5.21



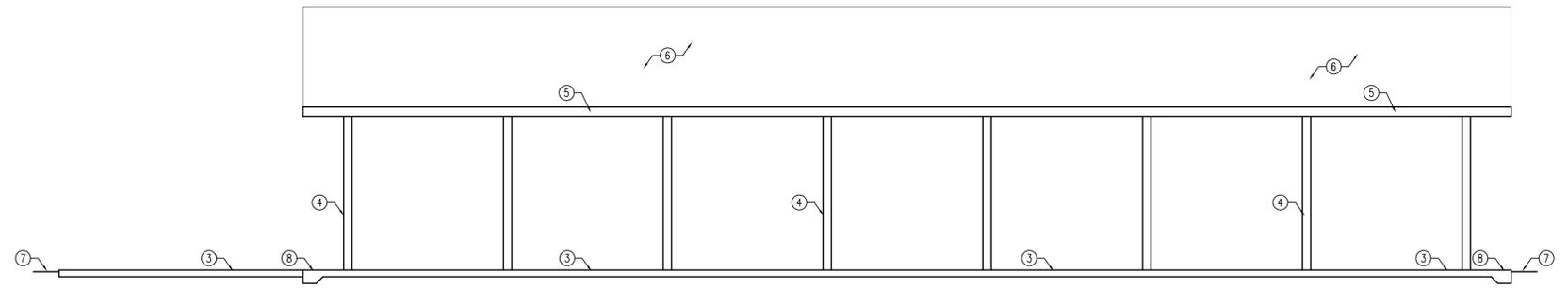
A ELEVATION
SCALE: 1/4" = 1'-0"



C ELEVATION
SCALE: 1/4" = 1'-0"



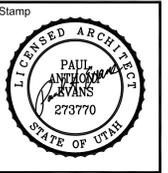
B ELEVATION
SCALE: 1/4" = 1'-0"



D ELEVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES

1. PREFINISHED METAL FASCIA OVER WOOD FASCIA - SEE B/C9.3
2. GLU-LAM BEAM - SEE RCP SHEET 1 OF 2
3. CONCRETE SLAB - SEE A/C9.3 AND RCP SHEET 1 OF 2
4. STEEL COLUMN - SEE RCP SHEET 1 OF 2 - TOUCH UP PAINT AS NECESSARY AFTER CONSTRUCTION
5. PREFINISHED METAL FASCIA OVER WOOD FASCIA - SEE C/C9.3
6. FIBERGLASS SHINGLE ROOFING - SEE RCP SHEET 1 OF 2
7. FINISH GRADE
8. THICKENED EDGE OF CONCRETE SLAB - SEE RCP SHEET 1 OF 2
9. CONCRETE WALK - SEE C4.21 FOR CONTINUATION
10. CONCRETE CURB AND GUTTER - SEE C5.11



A New Meetinghouse for:
Vista Heights & Saratoga Springs UT Crossroads Stake
600 West Pony Express Parkway
Saratoga Springs, Utah

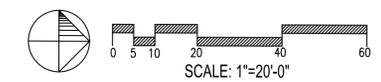
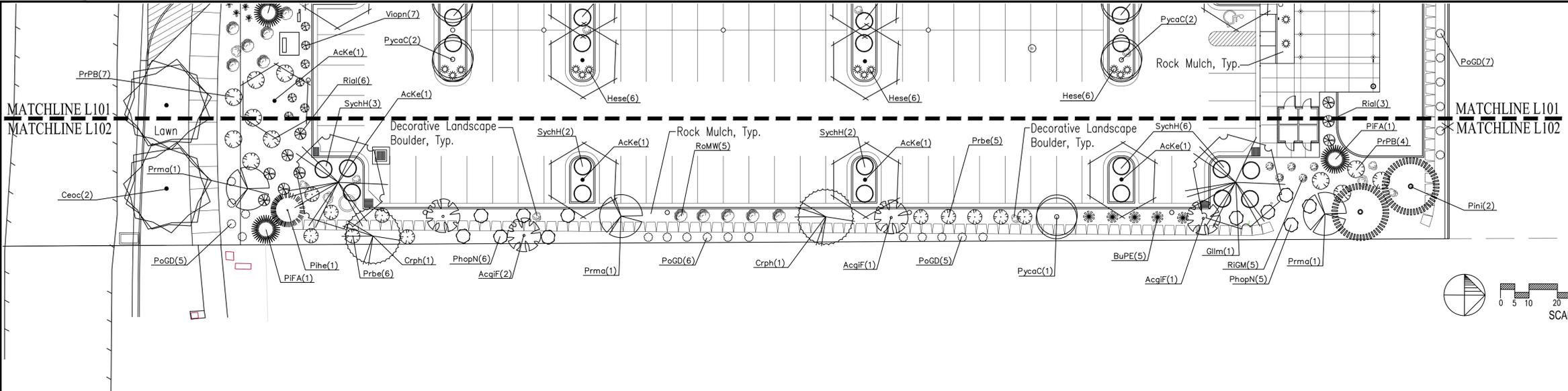
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Mark	Date	Description
		6/20/2014	Conditional Use/Site Plan Sub.

Project Number: 14-06
Plan Series: HET-SAS-09-05 (Style A)
Property Number: 500-4730
Date: February 1, 2014

Sheet Title:
PAVILION EXTERIOR ELEVATIONS

Sheet:
C9.02



PLANTING SCHEDULE

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
Broadleaf Deciduous					
AcgIF	AcgIF	Acer ginnala 'Flame' (multi-stem)	Flame Amur Maple (clump)	6'-8' Ht.	15
AcKe	AcKe	Acer x truncatum 'Warrenred'	Pacific Sunset Maple	2.5"-Cal	26
Ceoc	Ceoc	Celtis occidentalis	Common Hackberry	2.5"-Cal	7
Crph	Crph	Crataegus phaenopyrum	Washington Hawthorn	2.5"-Cal	9
FrPa	FrPa	Fraxinus pennsylvanica 'Patmore'	Patmore Ash	2.5"-Cal	5
Glim	Glim	Gleditsia triacanthos 'Imperial'	Imperial Honeylocust	2.5"-Cal	8
Prma	Prma	Prunus mackii	Amur Chokecherry	2.5"-Cal	10
PycaC	PycaC	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2.5"-Cal	19
Conifer Evergreen					
PiFA	PiFA	Picea glauca densata	Black Hills Spruce	7'-8' Ht.	13
Pihe	Pihe	Pinus heldrichii leucodermis	Bosnian Redcone Pine	7'-8' Ht.	6
Pini	Pini	Pinus nigra	Austrian Pine	7'-8' Ht.	6
Perennial					
HePM	HePM	Hemerocallis 'Pardon Me'	Pardon Me Daylily	1-Gal	22
HeSt	HeSt	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	1-Gal	48
Grass					
Hese	Hese	Helictrotrichon sempervirens	Blue Oat Grass	1-Gal	78
Shrub					
BuPE	BuPE	Buddleia davidii 'Purple Emperor'	Purple Emperor Butterfly Bush	5-Gal	23
PhopN	PhopN	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	5-Gal	40
PimuP	PimuP	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5-Gal	14
PoGD	PoGD	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	5-Gal	56
Prbe	Prbe	Prunus besseyi	Western Sand Cherry	5-Gal	24
PrPB	PrPB	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	5-Gal	20
RaGL	RaGL	Rhus aromatica 'Grow Low'	Grow Low Sumac	5-Gal	24
Rial	Rial	Ribes alpinum	Alpine Currant	5-Gal	65
RIGM	RIGM	Ribes alpinum 'Green Mound'	Green Mound Currant	5-Gal	26
RoMR	RoMR	Rosa 'Meidiland Red'	Meidiland Red Rose	5-Gal	23
RoMW	RoMW	Rosa 'Meidiland White'	Meidiland White Rose	5-Gal	29
SychH	SychH	Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	5-Gal	68
Viopn	Viopn	Viburnum opulus nanum	Dwf. European Cranberry	5-Gal	65
VrAl	VrAl	Viburnum x rhytidophloides 'Alleghany'	Leatherleaf Viburnum	5-Gal	5

DESIGN CRITERIA

Climate	U.S. Hardiness Zone 5
Zoning Ordinance	Saratoga Springs City
Water Availability	NA
Soil Type	See Soils Report
Solar Orientation	See North Arrow
Utilities	See Utility Plan
Slopes	See Grading Plan
Site Layout	Road bordered
Wind	South Prevailing
Setbacks/Easements	NA
Microclimates	NA
Soil ph	See Soils Report
Lawn Area	33% of Total Landscape (22,833 sq. ft.)*

* Park Strip landscape of 4,257 sq. ft. NOT included in this total

CNA INFORMATION

Total Site Area	4.3 acres*
Shrubs/Groundcover	46,191 sq. ft.
Total Landscape Area	69,024 sq. ft. (37%)*
Trees On Site	124

* Park Strip landscape of 4,257 sq. ft. NOT included in this total

PLANT COVERAGE TABLE

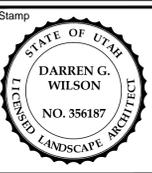
	Shrub-Mature Coverage	Tree-Coverage Intent
Street Frontage	~% (25-50%)	Frame Building
Primary Entries	~% (30-55%)	Frame Entry
Building Perimeter	~% (25-45%)	Accent Building
Perimeter Sides	~% (10-25%)	Screen Lot
Perimeter Rear	~% (10-25%)	Screen Lot

CITY REQUIREMENTS

Landscape Element	Required	Per Plan
Deciduous Trees	--	99
Evergreen Trees	--	25
Shrubs (incl. Grasses & Perennials)	--	630
Drought Tolerant	Recommended	587 (78%)

NOTES:

- Screened Top Soil to be implemented in all new planting areas at the following depths: 12" in all shrub beds, 5" in all lawn areas.
- Lawn to be a Kentucky Bluegrass Blend (min. 3 varieties) and be implemented as sod.
- 6"x6" flat concrete curbing to be implemented between all shrub bed and lawn areas as shown on plan.
- Cobble Rock Mulch to be 1-1/2" size "South town" from Nephi Sandstone, Nephi, Utah. Implement Cobble Rock in planter beds at a 3" depth over weed barrier fabric.
- Cobble Rock Mulches to be clean and free of debris, placed at uniform depth, and raked smooth.
- DeWitt #5 Landscape Fabric to be implemented in all shrub beds prior to cobble rock implementation. Follow manufactureres installation instructions.
- Trees in lawn areas to have a 36" diameter grass free ring around the trunk and have a 2" depth of shredded bark mulch implemented.
- Landscape Boulders to be 3'-4' size and match color of cobble rock mulch. Bury boulders minimum 6" in ground. (48 Total)
- No landscaping or other obstruction in excess of 3 feet above finished grade shall be implemented in clear view triangles.



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 Saratoga Springs, Utah

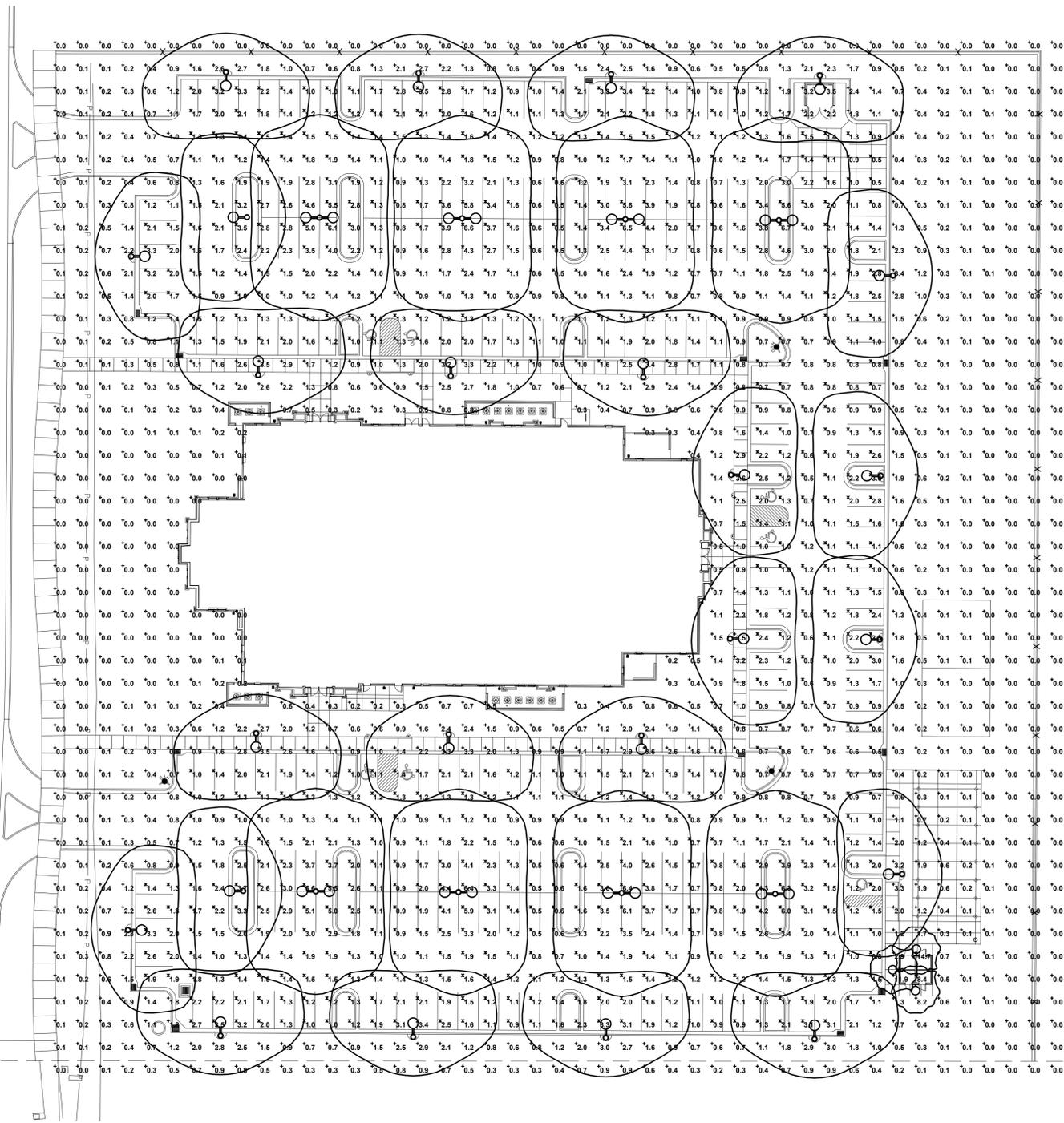
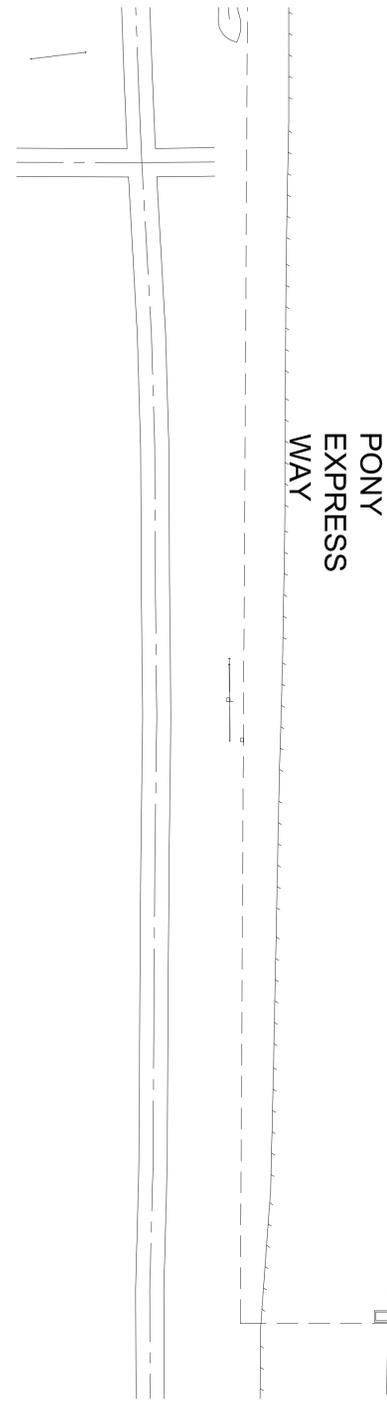
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Mark	Date	Description
		6/20/2014	Conditional Use/Site Plan Sub

Project Number: 14-06
 Plan Series: HET-SAS-09-05 (Style A)
 Property Number: 500-4730
 Date: February 1, 2014

Sheet Title:
LANDSCAPE PLAN

Sheet:
L102



ELECTRICAL SITE ILLUMINATION PLAN

SCALE: 1" = 30'-0"



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.0 fc	6.7 fc	0.0 fc	N / A	N / A
Parking Lot	X	1.6 fc	6.7 fc	0.5 fc	13:4:1	3:2:1

- SARATOGA CITY LIGHTING NOTES**
- POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
 - THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY. ALL EXTERIOR LIGHTINGS SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE CITY.



evans + associates architecture
11576 south lake street, suite 103b, paper, utah 84020
phone 801-525-6272 fax 801-525-6271



A New Meetinghouse for:
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600 West Pony Express Parkway
Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

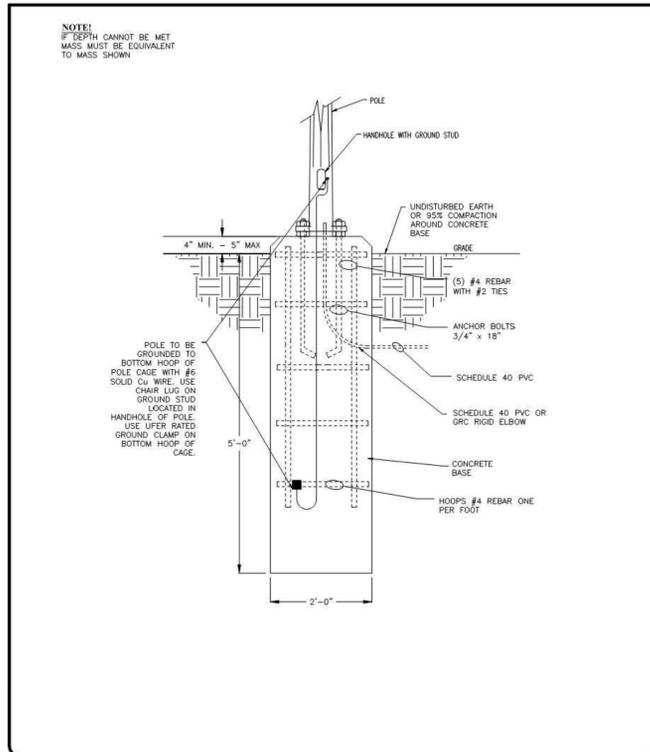
Revisions	Mark	Date	Description
		6/30/2014	Conditional Use/Site Plan Sub.

Project Number: 14-06
Plan Series: HET-SAS-09-05 (Style A)
Property Number: 500-4730
Date: February 1, 2014

Sheet Title:
ELECTRICAL SITE ILLUMINATION PLAN

Sheet:
C3.02

240 East Morris Ave, Suite 200
South Salt Lake City, UT 84115
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F (801) 534-1000
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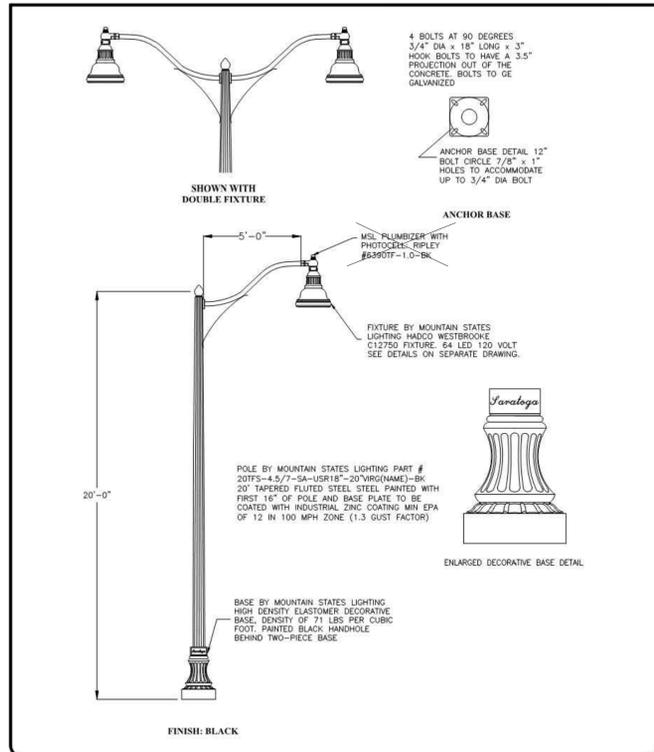


**CONCRETE BASE DETAIL
20' STREET LIGHT
COLLECTOR
/ COMMERCIAL**

DATE: APRIL 2014	REVISION: BY: COMMENTS:
DRAWING NAME: LP-2B	
DRAWN BY: CJG	
CHECKED: APPROVED:	

SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET LIGHTS
LP-2B

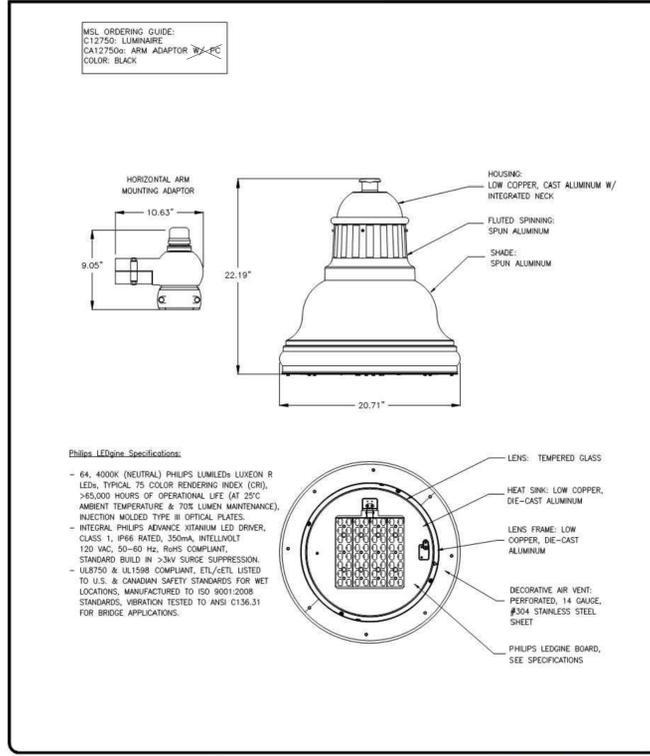


**20' STREET LIGHT
COLLECTOR
/ COMMERCIAL**

DATE: APRIL 2014	REVISION: BY: COMMENTS:
DRAWING NAME: LP-2	
DRAWN BY: CJG	
CHECKED: APPROVED:	

SARATOGA SPRINGS CITY

STANDARD DETAILS
STREET LIGHTS
LP-2

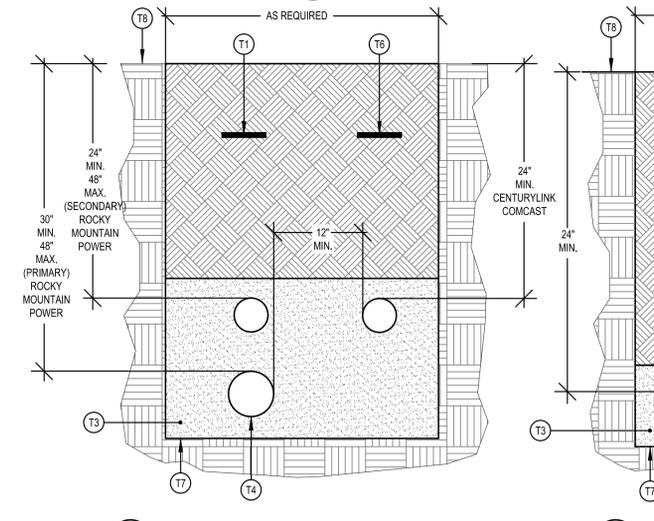
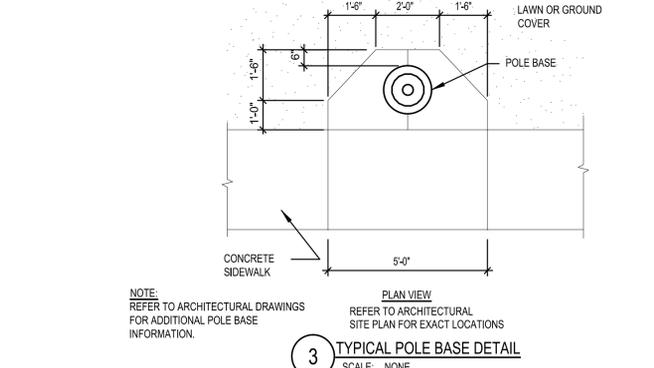


**LUMINAIRE
COLLECTOR/
COMMERCIAL
STREET LIGHT**

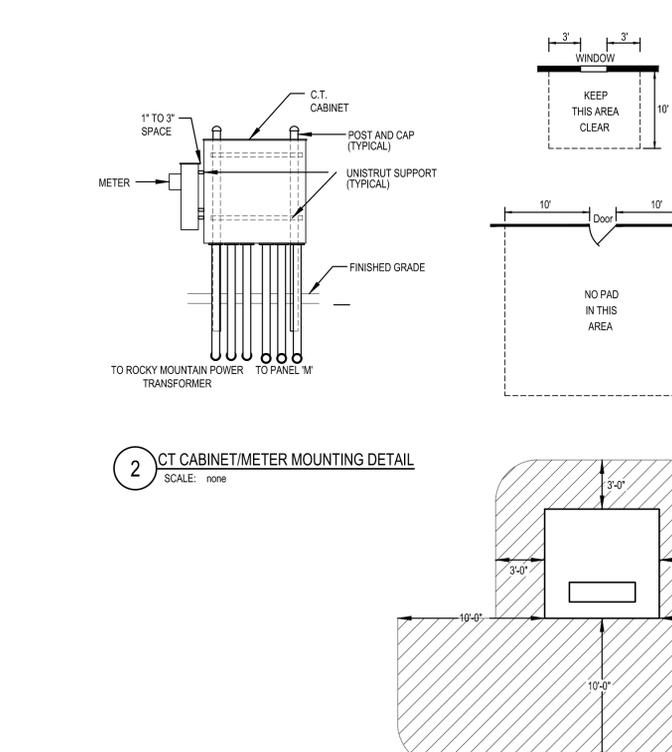
DATE: APRIL 2014	REVISION: BY: COMMENTS:
DRAWING NAME: LP-2C	
DRAWN BY: CJG	
CHECKED: APPROVED:	

SARATOGA SPRINGS CITY

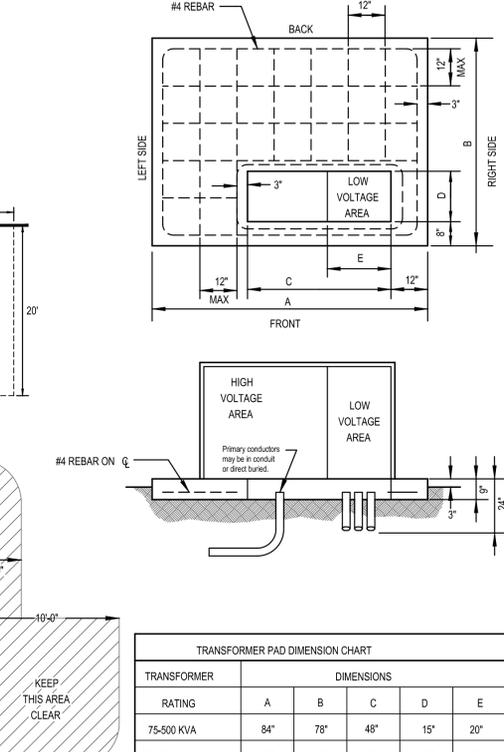
STANDARD DETAILS
STREET LIGHTS
LP-2C



7 TRENCH DETAIL - JOINT USE
SCALE: NONE
ROCKY MOUNTAIN POWER / CENTURYLINK / COMCAST (JOINT USE)

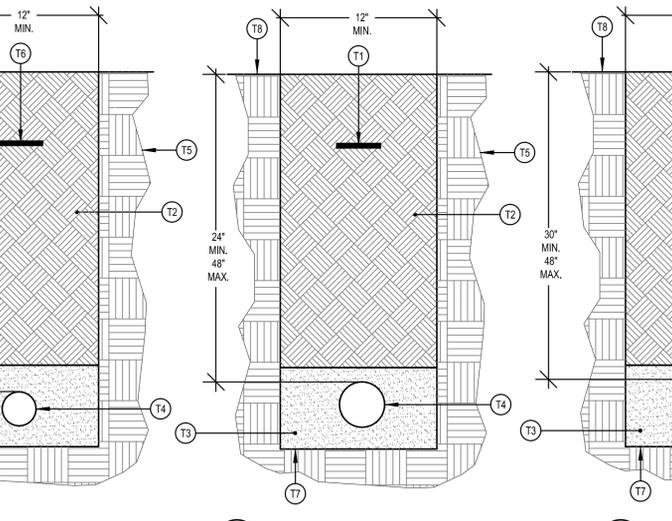


2 CT CABINET/METER MOUNTING DETAIL
SCALE: none



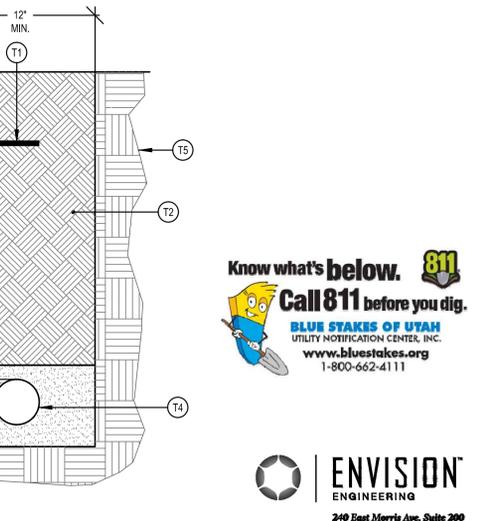
1 ROCKY MOUNTAIN POWER TRANSFORMER PAD DETAIL
SCALE: NONE

- TRENCHING KEYED NOTES:** (T8)
- MARKER TAPE WITH TRACER WIRE LABELED, "CAUTION BURIED ELECTRIC CONDUITS BELOW" DIRECTLY OVER POWER CONDUITS 6" MINIMUM BELOW GRADE.
 - CLEAN BACKFILL CONTAINING NO ROCKS LARGER THAN 4" DIA.
 - BACKFILL MATERIAL WITHIN 4" TO 6" OF CONDUIT SHALL PASS THROUGH A 3/4" SIEVE FRAME OR SAND WITHOUT ANY SHARP OR FOREIGN OBJECTS.
 - ALL CONDUITS SHOWN SHALL BE SCHEDULE 40 PVC.
 - UNDISTURBED EARTH.
 - MARKER TAPE WITH TRACER WIRE LABELED, "CAUTION BURIED DATA/COMMUNICATION CONDUIT BELOW" DIRECTLY OVER DATA/COMM CONDUITS.
 - TRENCHES SHALL BE A UNIFORM DEPTH FOR ENTIRE LENGTH OF TRENCH SO CONDUITS CAN SIT FLAT (HORIZONTAL) WITH THE GROUND.
 - FINISHED GRADE.



6 TRENCH DETAIL
SCALE: NONE
CENTURYLINK / COMCAST

- TRENCHING GENERAL NOTES:**
- PROVIDE PULL 1/4" NYLON ROPES IN ALL CONDUITS.
 - HORIZONTAL AND VERTICAL SEPARATION BETWEEN CONDUIT SHALL BE MAINTAINED BY INSTALLING HIGH IMPACT SPACERS WITH HORIZONTAL INTERVALS OF EIGHT FEET.
 - ALL MARKER TAPE SHALL CONTAIN #10 TRACER WIRE.
 - REFER TO THE ROCKY MOUNTAIN POWER SIX STATE ESR FOR ADDITIONAL INFORMATION.
 - VERIFY ALL REQUIREMENTS WITH CENTURYLINK AND COMCAST PRIOR TO TRENCHING.



4 TRENCH DETAIL
SCALE: NONE
ROCKY MOUNTAIN POWER (PRIMARY POWER)

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STATE OF UTAH

A New Meetinghouse for:
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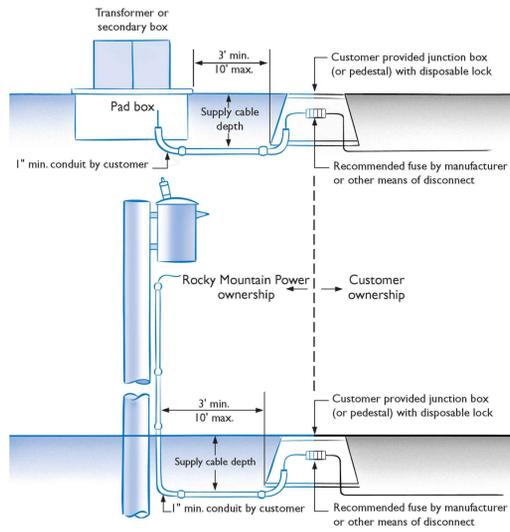
Revisions	Description	Date	Mark
	Conditional Use/See Plan Sub.	6/30/2014	

Project Number: 14-06
Plan Series: HET-SAS-09-05 (Style A)
Property Number: 500-4730
Date: February 1, 2014

Sheet Title
**ELECTRICAL SITE PLAN
DETAILS**

Sheet
C3.03

Streetlight Point-of-Disconnect Diagram



Customer is responsible for:

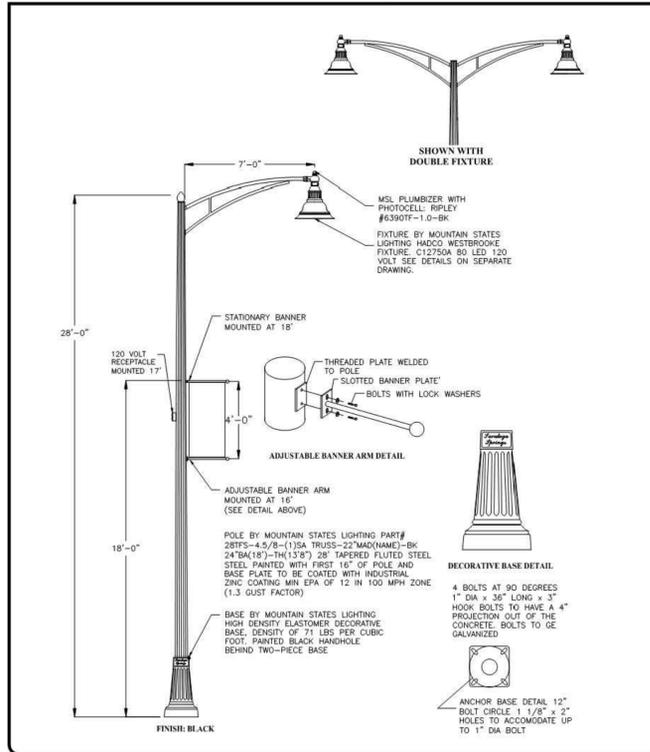
- Providing and installing a junction box or pedestal, conduit, fusing and customer-owned wire. The junction box or pedestal must be strong enough for incidental traffic areas
- Coordinating with Rocky Mountain Power on junction box or pedestal location and all digging within the vicinity of Rocky Mountain Power facilities
- Ensuring that construction of new or remodeled installations conform to applicable provisions of the NEC State Rules, as well as city and county codes

Rocky Mountain Power is responsible for:

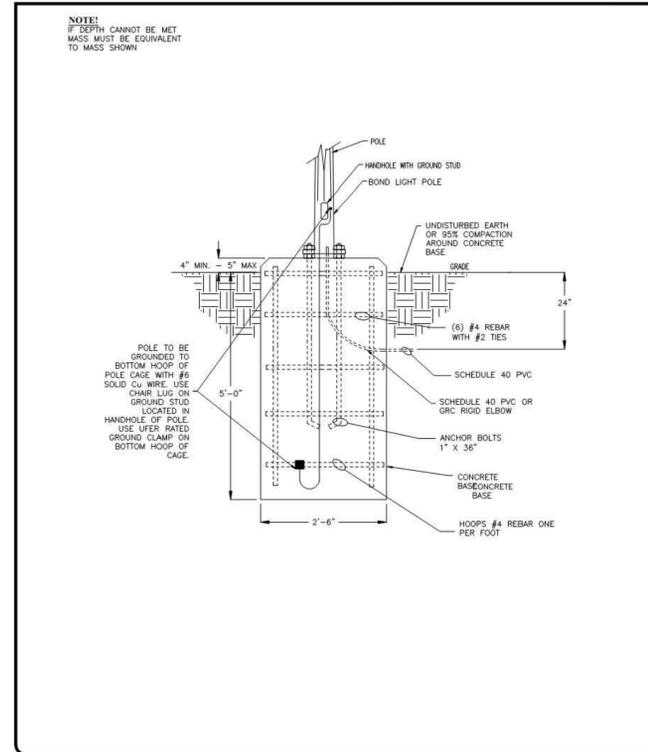
- Installing and connecting wire from Rocky Mountain Power facilities to the point of disconnect.



212



DATE	REVISION	STANDARD DETAILS
APRIL 2014	REVISED BY COMMENTS	STREET LIGHTS
DESIGNED BY LP-3B		
DRAWN BY	SARATOGA SPRINGS CITY	LP-3A
CHECKED / APPROVED		



DATE	REVISION	STANDARD DETAILS
APRIL 2014	REVISED BY COMMENTS	STREET LIGHTS
DESIGNED BY LP-3B		
DRAWN BY	SARATOGA SPRINGS CITY	LP-3B
CHECKED / APPROVED		

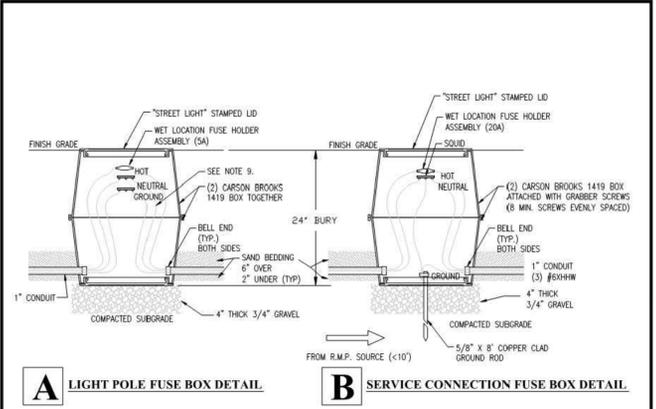
SARATOGA SPRINGS CITY STREET LIGHT NOTES:

1. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SARATOGA SPRINGS CITY STANDARDS AND N.E.C. (NATIONAL ELECTRIC CODE). A STREET LIGHT PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO SARATOGA SPRINGS CITY AND BE APPROVED PRIOR TO CONSTRUCTION. NO DEVIATION OF STREETLIGHT, PULL BOXES, CONDUITS, ETC. LOCATIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY ENGINEER OR HIS/HER REPRESENTATIVE.
2. LOCATION OF THE STREET LIGHT POLE.
 - a. SHALL NOT BE INSTALLED WITHIN 5 FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE SUCH THAT IT DOES NOT HINDER THE OPERATION OF THE FIRE HYDRANT AND WATER LINE OPERATION VALVES.
 - b. SHALL BE A MINIMUM OF 5 FEET FROM ANY TREE, UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE CITY ENGINEER. BRANCHES MAY NEED TO BE PRUNED AS DETERMINED BY THE ENGINEERING INSPECTOR IN THE FIELD AT THE TIME OF INSTALLATION.
 - c. SHALL NOT BE INSTALLED WITHIN 5 FEET FROM THE EDGE OF ANY DRIVEWAY.
3. ANTI-SEIZE LUBRICANT SHALL BE USED ON ALL COVER BOLTS AND GROUND BOX BOLTS.
4. ALL SERVICE POINT(S) SHALL BE COORDINATED WITH ROCKY MOUNTAIN POWER AND WHENEVER POSSIBLE BE LOCATED NEAR THE CENTER OF THE CIRCUIT. SERVICE POINT(S) SHALL BE SHOWN ON THE PLANS.
5. IT SHALL BE REQUIRED THAT IN THE ABSENCE OF AN EXISTING WORKABLE CIRCUIT TO ATTACH TO, THAT ALL INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR OPERATION OF THE CIRCUITS IN THIS CASE DEVELOPER AND/OR HIS ENGINEER SHALL CONTACT ROCKY MOUNTAIN POWER.
6. THE CONTRACTOR SHALL FURNISH A COMPLETE SERVICE TO THE TRANSFORMERS AND CONTROL SYSTEMS IF REQUIRED ON THE PLANS AND/OR IS DEEMED NECESSARY BY ROCKY MOUNTAIN POWER AND/OR SARATOGA SPRINGS CITY.
7. A STREET LIGHT PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO SARATOGA SPRINGS CITY AND BE APPROVED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A 10 DAY BURN TEST OF THE STREET LIGHTS AFTER THEY ARE CONNECTED AND ENERGIZED BY ROCKY MOUNTAIN POWER. THIS TEST SHALL BE COORDINATED AND WITNESSED BY A SARATOGA SPRINGS CITY ENGINEERING INSPECTOR.
9. EACH STREETLIGHT SHALL HAVE ITS OWN PHOTO CELL INDEPENDENT OF A MASTER CONTROL.
10. REFER TO THE CURRENT VERSION OF THE SARATOGA SPRINGS CITY STREET LIGHTING REQUIREMENTS.



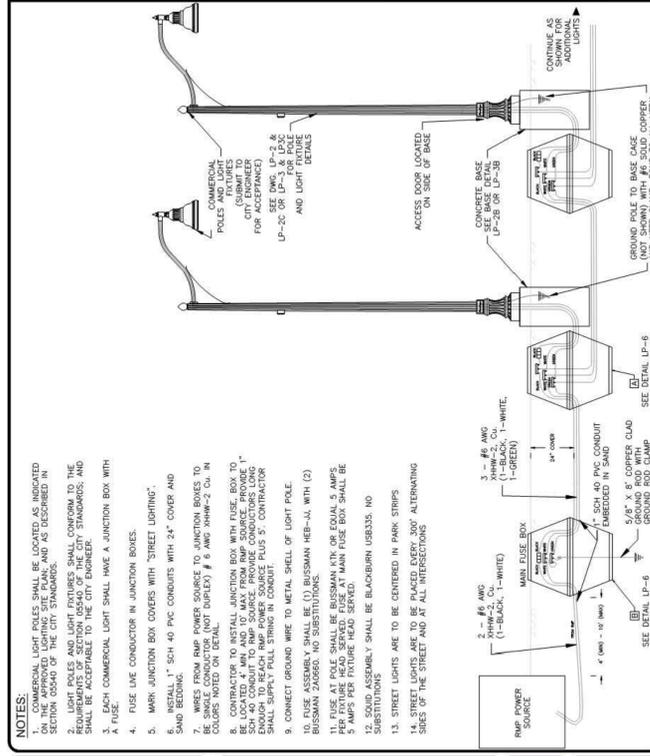
A New Meetinghouse for:
Vista Heights & Saratoga Springs UT Crossroads Stake
 600 West Pony Express Parkway
 Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

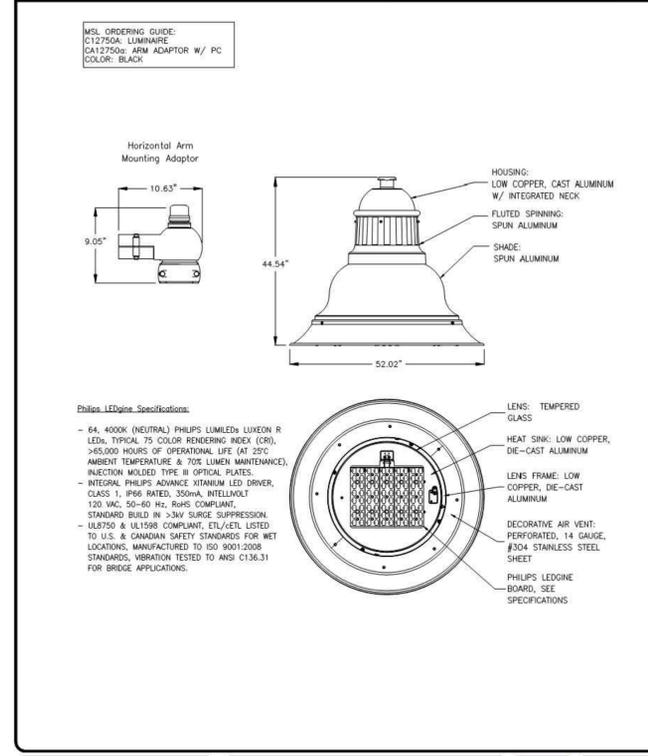


- NOTES:**
1. FUSE BOX / SLICE BOX ASSEMBLY SHALL BE (2) CARSON BROOKS 1419 BOLTED TOGETHER "CLAMHELL" STYLE. DRILL 1/4" HOLES IN EVERY CELL OF LID ON BOTTOM SIDE TO ALLOW DRAINAGE. INSTALL BOX ASSEMBLY ON 4" OF 3/4" GRAVEL. NO SUBSTITUTES.
 2. FUSE ASSEMBLY SHALL BE (1) BUSSMAN HEB-JJ PN. 44229 WITH (2) BUSSMAN 2A0660. NO SUBSTITUTES.
 3. WIRE CONNECTOR SHALL BE BLACKBURN USB335 SOLID PN. 2136122. NO SUBSTITUTES.
 4. TERMINATE CONDUIT IN BOXES WITH BELL ENDS ATTACHED TO END OF CONDUITS.
 5. ALL WIRE SHALL BE #6 CU XHHW UNLESS NOTED OTHERWISE.
 6. 5/8" X 8" GROUND ROD REQUIRED AT SERVICE CONNECTION FUSE BOX.
 7. LIGHT POLE FUSE BOX SHALL BE WITHIN 4' DOWNSTREAM OF POLE.
 8. SERVICE CONNECTION FUSE BOX SHALL BE WITHIN 10' OF ROCKY MOUNTAIN POWER (RMP) SOURCE. CONFIRM INSTALLATION REQUIREMENTS WITH ROCKY MOUNTAIN POWER REPRESENTATIVE AND PACIFICORP'S LATEST SIX STATES ELECTRICAL SERVICE REQUIREMENTS DOCUMENT.
 9. IF FIXTURE IS NOT INDICATED FOR INSTALLATION WITH CURRENT CONTRACT ONLY CONDUIT IS REQUIRED. SOME CONDUCTORS INDICATED MAY BE INSTALLED WITH FIXTURE UPGRADES.
 10. SERVICE FUSE TO BE BUSSMAN KTK AND SIZED 5 AMPS PER FIXTURE. POLE FUSE TO BE BUSSMAN KTK 5 AMP PER FIXTURE.

DATE	REVISION	STANDARD DETAILS
APRIL 2014	REVISED BY COMMENTS	LANDSCAPING
DRAWING NAME LP-6		
DRAWN BY KTL	SARATOGA SPRINGS CITY	LP-6
CHECKED / APPROVED		



DATE	REVISION	STANDARD DETAILS
APRIL 2014	REVISED BY COMMENTS	STREET LIGHTS
DRAWING NAME LP-5		
DRAWN BY KTL	SARATOGA SPRINGS CITY	LP-5
CHECKED / APPROVED		



DATE	REVISION	STANDARD DETAILS
APRIL 2014	REVISED BY COMMENTS	STREET LIGHTS
DRAWING NAME LP-3C		
DRAWN BY KTL	SARATOGA SPRINGS CITY	LP-3C
CHECKED / APPROVED		



Revisions	Description
Mark	Date
	6/30/2014
	Conditional Use/See Plan Sub.

Project Number 14-06
 Plan Series HET-SAS-09-05 (Style A)
 Property Number 500-4730
 Date February 1, 2014

Sheet Title
 STREET LIGHT DETAILS

Sheet
C3.04



**Preliminary Plat
Mallard Bay
September 25, 2014
Public Hearing**

Report Date:	September 18, 2014
Applicant/Owner:	Curtis Leavitt
Location:	Approximately 2800-3000 South Redwood Road
Major Street Access:	Redwood Road
Parcel Number(s) & Size:	16:001:0018 (33.365 acres); 59:012:0022 (38 acres); 59:012:0007 (2.31 acres); abandoned parcel under negotiation, located between Beverly Bay LLC ownership parcels near Redwood Road (~1.446): 75.121 total acres
Parcel Zoning:	R-3, Low Density Residential
Adjacent Zoning:	R-3, R-3 PUD
Current Use of Parcel:	Vacant
Adjacent Uses:	Lakeside SSD Master Plan (north), Fox Hollow Master Plan (west), Utah Lake (east), undeveloped R-3 zoning (south)
Previous Meetings:	4/24/14, PC review of Concept Plan 5/6/14, CC review of Concept Plan
Previous Approvals:	All previous approvals have expired
Land Use Authority:	City Council
Future Routing:	Public meeting with City Council
Author:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for preliminary plat approval of the Mallard Bay development, located at approximately 2800-3000 South Redwood Road. The site is comprised of a total of 75.12 acres and is zoned R-3, Low Density Residential. The R-3 zone permits up to 3 units per acre. The plans indicate 178 single family lots that are 10,000 square feet and larger, including 4 flag lots. The plans also indicate 12.49 acres of open space, of which 5.54 acres (45% is sensitive lands). The applicant is proposing manicured landscaping for: two park areas around and including the detention basins, the trail along Redwood Road, and a small triangle in the southwest corner that is adjacent to the Redwood Road trail. The remaining open space is proposed to remain native. The applicant is requesting that the City accept all of the open space as public open space. This request is reviewed under Section "I" of this report.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment and discuss the proposed preliminary plat, and choose from the options in Section "J" of this report. Options include forwarding a positive recommendation with conditions to the City Council, continuing the item, or forwarding a recommendation for denial to the City Council.

B. Background:

The concept plans were presented under the project name of "Lakeside Estates" and were reviewed by the Planning Commission on April 24, 2014 and by the City Council on May 6, 2014. Minutes from those meetings are attached. During the concept review concern was expressed over the access locations for the driveways that would be adjacent to the median. The applicant has removed the median near the entrance to address this concern. The comment was also made that the driveways should be placed as far from Redwood Road as possible. This has been addressed in the conditions in Section "J" of this report.

It was also recommended that the detention areas be combined and that the trailhead be located in the center of the project, rather than in a cul-de-sac. The applicant has reviewed the request to combine the detention basins into a larger park area and they have stated that the drainage system cannot be designed to accommodate this request. They are now proposing trail head parking at both locations.

There was also a suggestion to move the central detention basin to the south so that it lines up with the main access road in the development and creates a view corridor to the lake when on that road. The applicant reviewed this request but was not able to move the detention basin and has indicated that the grading of the project will not allow for this.

The changes from Concept to Preliminary include: reducing the lot count from 183 to 178 to meet all lot size requirements; removal of the center islands from the access locations; addition of two pedestrian connections between blocks; reconfiguration of lots in the southwest corner to add a cul-de-sac rather than a stub street because there is a drainage channel culvert directly south of this that will make a through street difficult in this location; stubbing Preening Way rather than Waddling Court; reconfiguration of the lots between Yellow Bill Drive and Drake Avenue to address maximum block length and improve lot depth; changes to the lot configuration and open space configuration in the northeast corner of the property; and, the creation of lot 311, including a proposal to re-align the drainage channel in that location and move it to the south.

The open space in the project consists of:

- the lakeshore trail and abutting native open space along with two manicured detention basin/park areas;
- the Redwood Road trail area which will be manicured open space along with a small piece of manicured open space abutting the trail corridor near the south end of the development;
- the drainage channel and the trail segment and in the northwest corner, which is proposed to remain native vegetation;
- and, three trail connections between blocks.

There is a total of 12.49 acres of open space (17.38% of the project area), of which 3.63 acres is proposed to be manicured landscaping, including the two park/detention basins and the Redwood Road trail. The applicant is requesting that the City accept all of the proposed open space as public open space. This request is reviewed in Section "I" of this report. Staff has suggested some amenities for the park spaces, which the applicant has included in the plans. Additional suggestions are also made in Section "I" and included as conditions in section "J" of this report.

For the purpose of calculating open space requirements, 1.75 acres for the Redwood Road right of way and 1.48 acres that is below the normal water level of the lake has been subtracted from the total land area (75.12 acres), resulting in a **net total of 71.89 acres and a requirement for 10.78 acres of open space**. The plans include 12.49 acres of open space (17.37% of 71.89 acres) and exceed the 15% requirement.

For the purpose of calculating density, the sensitive lands (5.54 acres) have been subtracted from the net total (71.89 acres), resulting in **66.35 acres**. The project density is 178 units within 66.35 acres, or **2.68 units per acre**.

C. Specific Request:

This is a request for approval of the preliminary plat, the phasing plan and the conceptual open space plans.

D. Process:

Section 19.13.04 of the City Code states that Preliminary Plats require a public hearing with the Planning Commission and that the City Council is the approval authority.

***Staff finding: complies.** After a public hearing with the Planning Commission the application will be forwarded to the City Council.*

E. Community Review:

Per 19.13.04 of the City Code, this item has been noticed in *The Daily Herald*, and each residential property within 300 feet of the subject property was sent a letter at least ten calendar days prior to this meeting. As of the completion of this report, the City has not received any public comment regarding this application.

F. General Plan:

The General Plan designates this area for Mixed Lakeshore development; however, the property is zoned R-3, Low Density Residential. Residential uses are allowed within the Mixed Lakeshore development. The General Plan states that Mixed Lakeshore developments will "maintain and enhance public access to the lakeshore and associated facilities (trails, beaches, boardwalks)."

Finding: consistent. The General Plan allows residential development within Mixed Lakeshore land use and encourages developments that provide public access to the lakeshore. The proposed development is residential and provides access to the lakeshore, along with a lakeside trail.

G. Code Criteria:

Section 19.12.03 of the City Code states, "All subdivisions are subject to the provisions of Chapter 19.13, Development Review Process". The following criteria are pertinent

requirements for Preliminary Plats listed in Sections 19.12 (Subdivision Requirements) and 19.04.13 (R-3 Requirements) of the City Code.

Permitted or Conditional Uses: complies. Section 19.04.13(2 & 3) lists all of the permitted and conditional uses allowed in the R-3 zone. The preliminary plat shows residential building lots which are supported as a permitted use in the R-3 zone.

Minimum Lot Sizes: complies. 19.04.13(4) states that the minimum lot size for residential lots is 10,000 square feet. The plans comply with this requirement.

Section 19.12.16(2)(f) states corner lots for residential uses shall be platted ten percent larger than interior lots in order to facilitate conformance with the required street setback for both streets. The corner lots are all 11,000 square feet or larger.

Minimum Lot Width: complies. Every lot in this zone shall be 70 feet in width at the front building setback. The proposed lots are a minimum of 70 feet wide at the front building setback.

Minimum Lot Frontage: can comply. Every lot in this zone shall have at least 35 feet of frontage along a public street. All of the lots, except the proposed flag lots meet this requirement. The flag lots are reviewed below.

Percent of Flag Lots: complies. Section 19.12.06(2)(c)(iii) allows up to 5% of the total lots to be flag lots. There are 178 lots, and 4 are proposed to be flag lots (Lots 101, 119, 614, 909). Flag lots require a staff that is 30 feet wide; the proposed lots appear to comply with this requirement and this has been added as a condition of approval in Section "J" of this report.

Maximum Height of Structures, Maximum Lot Coverage, Minimum Dwelling Size: can comply. No structure in the R-3 zone shall be taller than 35 feet. Maximum lot coverage in the R-3 zone is 50%. The minimum dwelling size in the R-3 zone is 1,250 square feet of living space above grade. These requirements will be reviewed by the building department with each individual building permit application.

Setbacks and Yard Requirements: complies. Section 19.04.13(5) outlines the setbacks required by the R-3 zone. These requirements are:

Front: Not less than twenty-five feet.

Sides: 8/20 feet (minimum/combined)

Rear: Not less than twenty-five feet

Corner: Front 25 feet; Side abutting street 20 feet

The lot setback detail on the preliminary plat indicates compliance with these requirements.

Fencing: up for discussion. Section 19.06.09 requires fencing along property lines abutting open space, parks, trails, and easement corridors. The Code also states that in an effort to promote safety for citizens using these trail corridors and security for home owners, fences shall be semi-private. There is a pending ordinance in place that may allow privacy fencing along trail corridors that are adjacent to arterial roadways.

The attached fencing plan indicates a two-rail vinyl fence along the lakeshore trail, the park areas, the drainage channel, and the pedestrian trails in-between blocks. A 6' solid decorative precast concrete fence is proposed along the Redwood Road trail adjacent to lots that back the trail, and a two-rail fence is proposed between the Redwood Road right of way and the drainage channel.

Discussion:

Redwood Road trail: The applicant is proposing a 6' tall decorative pre-cast concrete fence in this location. In other areas of the City a wrought iron style aluminum fence has been used along the Redwood Road trail to create an open feel. The conditions in Section "J" require a wrought iron style aluminum fence which is consistent with existing fencing along the Redwood Road corridor. However, the Planning Commission and City Council may wish to discuss this further.

Lakeshore trail: a two-rail fence will maintain the open-feel and views along the lakeshore; however, future home owners may want taller fences in this location which could lead to inconsistent fencing along the trail corridor in the future. In either case, a concrete mow-strip is required below the fence; this has been included as a condition of approval. 6' tall semi-private fencing is recommended for the side yards that abut park space; however, fences in the front setback may not exceed a height of three feet. This has been included as a condition of approval.

Pedestrian paths between blocks: two-rail fencing is proposed in this location. Staff recommends 6' semi-private fences in the side and rear yards and 3' semi-private fences in the front setback areas. This has been included as a condition of approval.

Drainage channels: There are portions of drainage channels on both the north and south ends of the project. A two-rail fence is proposed along the Redwood Road frontage. It may be appropriate to leave off the fencing in this location and separate the manicured and native landscaping with a mow strip. 6' tall semi-private fencing is recommended behind lots 214, 215, 216.

Signage: up for discussion. Code Section 19.18.08.4. allows residential entry feature signs for each major entrance into the development. This section does not limit the size of the sign, but requires that the sign be constructed of natural materials such as wood, brick, and stone. The sign is required to be incorporated into the landscaping with four feet of landscaping extending beyond the sign.

A large entry monument is proposed to identify the development as shown in the attached plans; however, an HOA is not proposed. The monument sign includes a concrete base, brick, concrete caps, iron cattails, and bronze Mallards. The sign is 6-18 feet tall.

Pros of the entry sign: The sign identifies development and creates a nice entry feature. There are other developments in the City that do not have an entry sign and residents have requested one (Jacobs Ranch).

Cons of the entry sign: There is no HOA to maintain it long term. If it is vandalized, there is no one responsible to clean it up, repair it, or replace stolen features. (Example: The entry sign in Sunrise Meadows was stolen and has not been replaced.)

Staff recommends that the Planning Commission and City Council discuss the proposed sign and include a condition in the motion related to the sign. An alternative option could be to incorporate a smaller entry sign into the fence that will be installed along Redwood Road.

Open Space: *The applicant is requesting that the City accept all of the open space as public open space; this request is reviewed under Section "J" of this report.* The R-3 zone requires 15% of the total project area to be installed as open space to be either public or common space not reserved in individual lots. Such open space shall meet the definition in Section 19.02.02 which states:

"Open space":

- a. means an open, landscaped, and improved area that:
 - i. is unoccupied and unobstructed by residential or commercial buildings, setbacks between buildings, parking areas, and other hard surfaces that have no recreational value;
 - ii. provides park or landscaped areas that meet the minimum recreational needs of the residents of the subdivision;
- b. includes parks, recreational areas, gateways, trails, buffer areas, berms, view corridors, entry features, or other amenities that facilitate the creation of more attractive neighborhoods;
- c. may include hard surfaced features such as swimming pools, plazas with recreational value, sports courts, fountains, and other similar features with recreational value, as well as sensitive lands with recreational value, subject to the limitations stated in the definition of sensitive lands, within a development that have been designated as such at the discretion of the Planning Commission and City Council; and
- d. may not include surplus open space located on another lot unless such surplus open space was previously approved as part of an overall site plan, development agreement, or plat approval.

Finding: can comply. For the purpose of calculating open space requirements, 1.75 acres for the Redwood Road right of way and 1.48 acres of land below the normal water level of the lake has been subtracted from the total land area (75.12 acres), resulting in a **net total of 71.89 acres and a requirement for 10.78 acres of open space.** The plans include 12.49 acres of open space (17.37% of 71.89 acres) and exceed the 15% requirement.

Of the 12.49 acres of open space, 3.63 acres are proposed to be manicured with turf, including the two park/detention basins (0.74 and 0.61 acres) and the Redwood Road trail. The landscape areas that are to be improved are shown in the attached landscape plans. The proposed amenities are the trailhead parking areas, the trails, and the two manicured park/detention areas. The plans indicate compliance with the requirement for 15% open space, but the code also requires "parks or landscape areas that meet the minimum recreational needs of the residents."

When the plans were originally submitted they did not include the two 20'x20' pavilions, the restroom, or the log play features. Staff recommended these amenities and the applicant has added them to the plans. In addition to these items, and in order to be consistent with what other neighborhoods have

provided to meet the needs of their residents, it is recommended that three park benches be added to the northern trailhead park and that additional natural play structures be added to the central trailhead park. Staff recommends that the attached open space plans be considered conceptual plans, and that the final plans be approved with each respective final plat. This will allow further review for compliance with City standards.

The amount of amenities and the request for City ownership are reviewed under Section "J" of this report.

Sensitive Lands: complies. Credit toward meeting the open space requirement may be given for sensitive lands per the following code criteria (19.04.13.12.):

- a. Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development and no development credit shall be given for sensitive lands.
- b. All sensitive lands shall be placed in protected open space.
- c. Sensitive lands may be used for credit towards meeting the minimum open space requirements. However, no more than fifty percent of the required open space area shall be comprised of sensitive lands.

Sensitive Lands are defined in Section 19.02.02 as: "land and natural features including canyons and slopes in excess of 30%, ridge lines, natural drainage channels, streams or other natural water features, wetlands, flood plains, landslide prone areas, detention or retention areas, debris basins, and geologically sensitive areas."

The sensitive lands in this project are the drainage channel, the wetlands, the 100 year flood plain along the lake, and the proposed detention basins, which are a total of 5.54 acres (45% of the total open space). For the purpose of calculating density, the sensitive lands (5.54 acres) have been subtracted from the net total (71.89 acres), resulting in **66.35 acres**. The project density is 178 units within 66.35 acres, or **2.68 units per acre**. No more than 50% of the required open space is comprised of sensitive lands.

H. Phasing: complies. Section 19.12.02(6) requires City Council approval of phasing plans and states "If the construction of various portions of any development is proposed to occur in stages, then the open space or recreational facilities shall be developed in proportion to the number of dwellings intended to be developed during any stage of construction." The proposed phasing plan, included below, indicates that the cumulative total for each phase is at or above 15% of the project area.

	Lots	Area	Open Space provided	% Open Space	Cummulative Area	Cummulative Open Space	Cummulative Open Space %
Phase 1	20 Lots	8.20 acres	1.36 acres	16.59%	8.2 acres	1.36 acres	16.59%
Phase 2	27 Lots	11.57 acres	2.85 acres	24.63%	19.77 acres	4.21 acres	21.29%
Phase 3	19 Lots	7.84 acres	0.67 acres	8.55%	27.61 acres	4.88 acres	17.67%
Phase 4	18 Lots	9.52 acres	2.77 acre	29.10%	37.13 acres	7.65 acres	20.60%
Phase 5	18 Lots	6.10 acres	0.00 acres	0.00%	43.23 acres	7.65 acres	17.70%
Phase 6	20 Lots	10.68 acres	3.97 acres	37.17%	53.91 acres	11.62 acres	21.55%
Phase 7	25 Lots	8.15 acres	0.00 acre	0.00%	62.06 acres	11.62 acres	18.72%
Phase 8	11 Lots	2.64 acres	0.00 acre	0.00%	64.7 acres	11.62 acres	17.96%
Phase 9	20 Lots	7.19 acres	0.87 acre	12.10%	71.89 acres	12.49 acres	17.37%
Totals	178 Lots	71.89 acres	12.49 acres	17.37%			

The narrative below has been copied from the landscape plans and outlines the open space improvements that will occur with each phase.

Phasing Plan . Mallard Bay . Saratoga Springs, Utah . Holmes Homes	
NARRATIVE	
Phase One:	The Redwood Road Trail Corridor will be improved and dedicated. This corridor will consist of 1,530 lineal feet of eight foot wide concrete trail; and manicured landscaping consisting of trees, shrubs and lawns.
Phase Two:	The balance of the Redwood Road Trail Corridor will be improved and dedicated, including 1,086 lineal feet of trail. The natural drainage channel adjacent to the trail corridor will be improved and dedicated. This drainage channel includes an 8ft. wide concrete trail extending to the project boundary.
Phase Three:	This phase includes 225 lineal feet of the Utah Lake Shoreline Trail.
Phase Four:	The Central Lake detention basin (which was constructed in conjunction with phase one to provide runoff detention) will be improved as a park and landscaped with lawn and trees. The park includes a 20 ft. square picnic pavilion and a restroom with 2 toilets and 2 sinks. The restroom building will be split-face block with a metal roof. Parking stalls adjacent to the street will be constructed. 1,110 lineal feet of the Utah Lake Shoreline Trail will be constructed. This trail will connect the Central Lake detention basin park with the project's southern boundary.
Phase Five:	The first four phases of development have banked sufficient open space for this phase.
Phase Six:	The north end of the Lake Shore Trail—consisting of 1,330 lineal feet of trail—will be constructed with this phase of development. This trail will connect the Central Lake Park and the north boundary of the project. A trail connection to the drainage channel trail will be constructed to the project boundary.
Phase Seven:	The open space required for this phase of development also has been banked with previous phases of work.
Phase Eight:	The open space required for this phase of development also has been banked with previous phases of work.
Phase Nine:	The North Lake detention basin (constructed along with Phase Two in order to accommodate detention of runoff water) will be developed into a park area. The park will include walkways and a 20 ft. square picnic pavilion and will be landscaped with lawns and trees. A parking lot will also be constructed.

With Phase 4, staff recommends additional natural play structures and a drinking fountain attached to the restroom building.

With Phase 9, staff recommends 3 park benches along the trail

- I. **Open Space Ownership and Maintenance: up for discussion.** The applicant is requesting that all of the proposed open space be dedicated to the City as public open space. They do not intend to create an HOA and would like to offer the open space to the City. An evaluation of the public benefit, along with a review of the Parks, Recreation, Trails, and Open Space Master Plan is provided below in order to aid in evaluating this request.

If the City Council determines that the proposed open space areas are to be public open space, staff recommends that the City Council approve the conceptual open space plans with the condition that the final plans are to be approved with the final plat for each phase of development; this has been added as a condition of approval in Section "J" of this report. This will allow staff to review the landscape plans and amenities against the City's standards, specifications, and requirements.

Parks, Recreation, Trails, and Open Space Master Plan:

In order to evaluate the request for the City to accept the parks as public parks, The Parks, Recreation, Trails, and Open Space Master Plan, adopted November 15, 2011, is referenced below.

GOALS: Page ix outlines the goals. Goals that are applicable to this request are below:

- Goal 1.0 Assure that residents of Saratoga Springs have access to parks and park facilities.

- Goal 3.0 Provide adequate park acreage in new development areas.

- Goal 4.0 Pursue the development of parks and facilities that take advantage of the unique opportunities in Saratoga Springs to create a mountain/lake/river destination recreation area

- Goal 7.0 Identify, preserve, and develop open space and natural features to provide for a diversity of uses, locations, and focal points for the City.

PARKS:

Page 2-9 states "the current level of service (LOS) is 4.78 acres of park land per 1,000 population. If the 20.46 acres of City-owned park land that are not constructed at present are added, the LOS rises to 5.93 acres per 1,000 population". Only public parks in the City are considered when determining level of service.

Discussion: The proposed development includes 178 lots. The City's current households have 4.01 persons per unit. Based on this ratio, the estimated population of this development will be 714 people. A LOS of 4.78 acres per 1000 population requires 3.41 acres of park space for 714 people. A LOS of 5.93 acres per 1000 population requires 4.23 acres of park space for 714 people. If the proposed park spaces are City owned rather than HOA owned, the parks will add to the level of service within the City.

Page 2-12 states "As the community grows, more parks and open spaces are needed to provide the diversity and quantity of facilities desired by residents. In order to serve residents at the current level into the future, when new parks are planned and developed they should be Community Parks that are generally of a larger size – at least 20 acres or more to accommodate the desired sports fields and other intensive activities, and other Community parks that may be smaller, but that together provide for a minimum of 5.03 acres per 1000 population." *(3.59 acres for 714 people)*

Page 2-7 provides definitions and states "Community Parks focus on community-based recreational needs, as well as preserving unique landscapes and open spaces, and creating opportunities for special uses. They allow for group activities and sporting

events, and offer recreational opportunities for active and passive uses. They are generally larger than Pocket Parks but may vary in size depending on the availability, configuration, and uses. Community Parks that are less than five acres in size have a service area of one-half mile (1/2 mile), and Community Parks larger than five acres have a service area of one mile, or approximately a 10-minute walk or 20-minute walk respectively. Individuals may also be likely to drive or bike to Community Parks as well, thus parking is generally provided. Community Parks are the backbone of the public park system and should continue to be so, requiring more Community Park development as the community grows.”

Page 2-13, states “Pocket parks do not serve the needs of the City residents generally and are difficult and costly for the City to maintain. In the future, pocket parks may be provided as a neighborhood amenity by a subdivision development if owned and maintained by an HOA. However, they do not serve the needs of the community at-large and are not considered in analyzing the desired level of service for public parks in Saratoga Springs.” On Page 2-7 pocket parks are defined as parks that are generally less than one acre (1 acre) in size and generally serve small residential areas and not the community at-large.

Discussion: There are two small parks (under 1 acre each) proposed in this development. Although the manicured areas are 0.74 and 0.61 acres, the overall open space area along the lake, including the native areas, the trail, and the park areas, is 8.28 acres. While the parks do not meet the requirements for Community Parks, and based on the size of the manicured area, fall within the category of pocket parks, they are intended to provide trailhead parking and access to the lakeshore trail which will benefit the community at-large. Because parking is provided and they are adjacent to the lakeshore trail system, a community benefit has evolved. The applicant has added most of the amenities recommended by staff, which contributes to the creation of a community wide benefit. Inclusion of the recommended amenities creates a space for trail users to stop for a picnic and play time and/or restroom break while using the trail.

Page 5-2 outlines the level of development for Community Parks and states “A desired level of development for each five acres of park land was discussed in Chapter 3 based on the average number of various improvements in the eleven (11) existing community parks. A small park of five acres would need these facilities. If the park is larger in size – 20 acres – the quantity shown in the table would need to be multiplied by four. Table 5-2 on the pg [included below] summarizes the quantity of facilities desires in each developed five acres of park land, keeping in mind that there may be situations where more or less are desired or feasible.”

Discussion: The amenities proposed include the trails, the trailhead park/detention areas, and the trailhead parking. The manicured areas along the lake equate to total of 1.35 acres. The overall lakefront open space is 8.28 acres. The applicant has requested that the City accept the open

Table 5-2 – Improvements Desired Per Each Five Acres of Developed Park Land

FACILITIES	IMPROVEMENTS DESIRED PER FIVE ACRES
Trees	varies
Pavilions	1
Picnic tables	8
Benches	4
BBOs	2
Open turf areas	4 ac
Walking paths	1
Playgrounds	1
Playing fields	2
Drinking fountains	1
Restroom	1
BB/VB Courts	1
Parking	20
Boat ramp/marina/beach	depends on location

space as public open space. Based on the desired improvements per each five acres of land, the recommendation for two 20'x20' pavilions with picnic tables, a restroom with a drinking fountain, park benches, and passive/natural play features is reasonable.

In order to meet Goal 7.0, Policy 7.1 identifies the need to "Maintain and preserve as much undeveloped land with unique natural features as possible, but at a minimum the current LOS is 1.97 acres per 1,000 residents."

Discussion: The plans indicate preservation of a portion of a drainage corridor and the sensitive lands along the lake.

TRAILS:

Page 4-1 states "Approximately 71 percent of all respondents use the City's trail system, and trails are rated above 4 on a scale of 1-5 in importance to the community." Page 4-2 states "The trails that are most often used include: Redwood Road trails, Harvest Hills public and Home Owners Association (HOA) private trails, lakefront trails, and local mountain trails. Page xi, states "Based on the 2010 Census population of 17,781, the current level of service for City-owned trails is 0.62 mile per 1,000 population." Page xii states "Based on the current LOS for trails in Saratoga Springs, the City should provide about 33 miles of trails by 2030".

Page 4-2 states "Top improvements recommended for the current trail system are to link neighborhoods with the trail system and to connect gaps in the existing trails."

Discussion: The plans include segments of the Redwood Road trail and the lakeshore trail. The proposed park areas will function as trail-head parks for the lakeshore trail. As additional development occurs to the north and south of this project, the trail systems will eventually be complete and link together.

J. Recommendations and Alternatives:

Staff recommends that the Planning Commission review the Preliminary Plat and select from the options below.

Recommended Motion:

"I move that the Planning Commission forward a positive recommendation to the City Council to approve the Mallard Bay Preliminary Plat, located at approximately 2800-3000 South Redwood Road, with the findings and conditions below:

Findings:

1. Prior to the Planning Commission review of the Preliminary Plat, this item was noticed as a public hearing in the *Daily Herald*; and notices were mailed to all property owners within 300 feet of the subject property.
2. The proposed preliminary plat is consistent with the General Plan as explained in the findings in Section "F" of this report, which findings are incorporated herein by this reference.
3. The proposed preliminary plat meets or can conditionally meet all the requirements in the Land Development Code as explained in the findings in Section "G", and "H" of this report, which findings are incorporated herein by this reference.

Conditions:

1. For lots directly abutting the intersection of the access roads and Redwood Road, driveways shall be placed as far from Redwood Road as possible.
 2. The final plat shall include a note that requires driveway access for lots 110, 111, and 213 to be from the east side of the lot.
 3. Flag lots shall include a 30 foot wide staff.
 4. A concrete mow strip is required below all fencing.
 5. A 6' tall wrought iron style aluminum fence shall be installed along Redwood Road.
 6. A fence is not needed between the Redwood Road right of way and the drainage channel. However, a concrete mow strip shall separate the manicured and native landscaping.
 7. 6' tall semi-private fencing shall be installed along the side yards that abut manicured park space; however, the fencing must step down to three feet in the front yard setbacks. This applies to lots 811, 920, 910, and 909.
 8. For the paths between blocks, 6' tall semi-private fencing shall be installed along the side and rear yards. Fencing within the front yard setback shall not exceed a height of three feet; 2-rail vinyl fencing is acceptable within the front setback.
 9. 6' tall semi-private fencing shall be installed behind lots 214, 215, 216.
 10. Three park benches shall be added along the lakeshore trail in the northern park.
 11. A drinking fountain shall be included with the restrooms in the central park.
 12. Additional natural play features shall be added to the central park.
 13. The attached open space plans are conceptually approved.
 14. Final approval of the open space, landscape, and amenities plans will occur with the final plat for each respective phase. The plans shall comply with City standards. Amenities and restrooms standards will be based on precedent in existing City parks.
 15. The amenities in Phase 4 shall include: a restroom with a drinking fountain, a 20'x20' picnic pavilion with picnic tables, and passive/natural play features in the manicured park area. The details for these amenities shall be provided with the final plat application for this phase and shall comply with City standards.
 16. The amenities in Phase 9 shall include: a 20'x20' picnic pavilion with picnic tables, and 3 park benches. The details for these amenities shall be provided with the final plat application for this phase. The details for these amenities shall be provided with the final plat application for this phase and shall comply with City standards.
 17. After recordation of the final plat, installation of the open space improvements and amenities, and after the warranty period, the City will accept the open space as public open space and will maintain it in perpetuity.
 18. Entry Sign: (as recommended by Planning Commission)
 19. Any other conditions as articulated by the Planning Commission:
-

K. Exhibits:

- | | |
|--------------------------|-------------------------|
| 1. Engineering Report | 8. Flag Lot Layout Plan |
| 2. Zoning / Location map | 9. Landscape Summary |
| 3. PC Minutes, 4/24/14 | 10. Open Space Legend |
| 4. CC Minutes, 5/6/14 | 11. Fencing Plan |
| 5. Concept Plan | 12. Entry Sign |
| 6. Preliminary Plat | 13. Landscape Plans |
| 7. Phasing Plan | |

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer

Subject: Mallard Bay

Date: September 25, 2014

Type of Item: Preliminary Plat



Description:

A. Topic: The Applicant has submitted a preliminary plat application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Curtis Leavitt
Request: Preliminary Plat Approval
Location: Approx. 2800-3000 South Redwood Road
Acreage: 75.15 acres - 183 lots

C. Recommendation: Staff recommends the approval of preliminary plat subject to the following conditions:

D. Conditions:

- A. The developer shall prepare final construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to commencing construction.
- B. Developer shall bury and/or relocate the power lines that are within this plat.
- C. All roads shall be designed and constructed to City standards and shall incorporate all geotechnical recommendations as per the applicable soils report.
- D. Developer shall provide end of road and end of sidewalk signs per MUTCD at all applicable locations.
- E. Developer shall provide turn-around's at all temporary dead ends greater than 150-ft compliant with International Fire Code and City Standards.
- F. Developer shall provide a finished grading plan for all roads and lots and shall stabilize and reseed all disturbed areas.
- G. Developer shall provide plans for and complete all improvements within pedestrian corridors.
- H. Meet all engineering conditions and requirements as well as all Land Development Code requirements in the preparation of the final plat and construction drawings. All

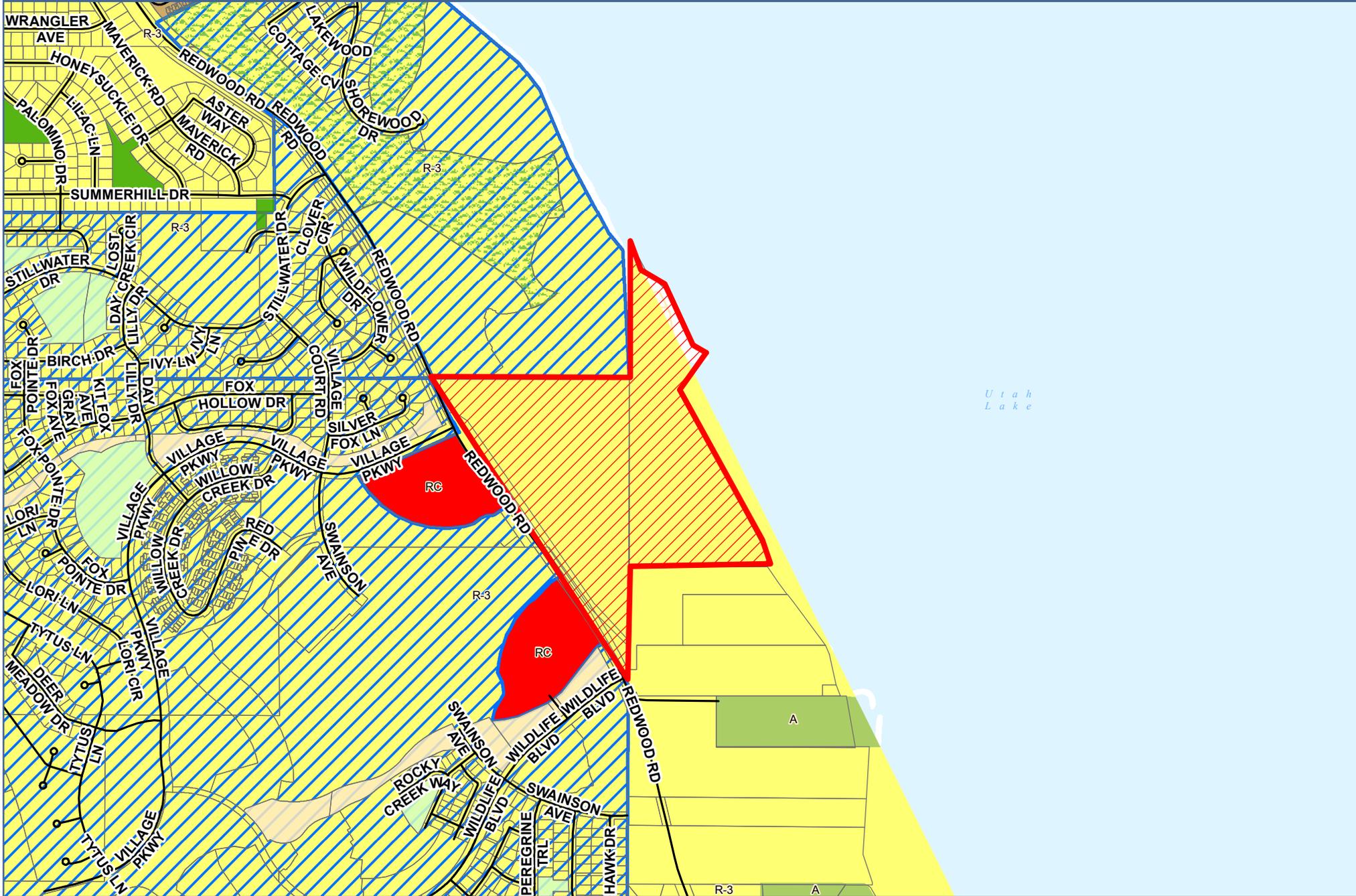
application fees are to be paid according to current fee schedules.

- I. All review comments and redlines provided by the City Engineer during the preliminary process are to be complied with and implemented into the final plat and construction plans.
- J. Developer shall prepare and submit easements for all public facilities not located in the public right-of-way
- K. Final plats and plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and shall identify an acceptable location for storm water detention. All storm water must be cleaned as per City standards to remove 80% of Total Suspended Solids and all hydrocarbons and floatables.
- L. Project shall comply with all ADA standards and requirements.
- M. Developer shall provide a revised geotechnical report that provides lab calculated CBR values.
- N. Developer shall provide full sewer capacity calculations including but not limited to pipe alignments and slopes, hydraulic analysis for each pipe, contributing areas, etc.
- O. All documents that provide engineering design and/or calculations shall be stamped and signed by a licensed engineer.
- P. Developer shall ensure that all concerns redlined in the Drainage study be addressed, corrected, and approved by the City Engineer.
- Q. Developer shall improve and dedicate, to City standards, the required half width of Redwood Road along the entire frontage.
- R. Developer shall coordinate with and provide a letter from the Army Corps of Engineers to ensure any drainage channel proposed to be modified is not under the Army Corps (ACOE) jurisdiction. No work shall be performed without the proper permits from the ACOE or other applicable agencies.
- S. Developer shall provide and install formal landscaping and irrigation systems in all, detention basins areas.
- T. Developer shall provide a lakeshore and drainage corridor trails in accordance with the City's trails Masterplan. The lakeshore trail shall be above the 100-yr high water elevation in all locations and immediately adjacent to property lines where possible.
- U. Developer shall ensure all sensitive lands are placed in protected open space an out of residential lots.
- V. Developer shall preserve natural drainages to the maximum extent practical and shall maintain a minimum setback of 100-ft from top of bank to the nearest structure unless

adequate erosion control mitigation can be provided to justify the use of a lesser setback on the recorded plat. All trails and home finish floor elevations shall be a minimum of 2-ft above the 100-yr high water elevation of any adjacent drainage, lake, or waterway.

- W. Developer shall provide a comprehensive storm water model showing the 100-yr flow high water boundary along the natural drainages as well as a minimum freeboard of 2'. No lot shall contain any part of the drainage below the top of existing bank or the 2-ft freeboard boundary, whichever is the greater distance from the drainage flow line.
- X. Any culverts installed in the natural drainages shall be designed to convey the 1'00-yr flow with a minimum freeboard of 18 inches.
- Y. Developer shall provide a sewer feasibility study identifying how sewer service will be provided to all lots in the subdivision as well as identify minimum, average and peak flows from the recordation of the first plat through build out. Final construction drawings shall not be approved nor Final plat status granted until a complete sewer design is submitted to and accepted by the City and all applicable easements are recorded. A bond for all offsite work shall be posted prior to commencing construction.
- Z. If a new sewer lift station is proposed by the developer as part of the sewer feasibility study the new sewer lift station must be in a location that is acceptable to the City and provides service for the maximum amount of the land between Redwood Road and Utah Lake. The design and construction costs of the lift station are the responsibility of the Developer. The Lift station shall be bonded for and constructed with the first plat that has lots requiring its use for sewer service.
- AA. Developer shall show on final construction drawings and build with each plat all master planned infrastructure as directed by the City Engineer including a 10-inch culinary water main and an 8 inch secondary water main. Utility mains shall be extended to the boundaries of each plat to facilitate future connections.
- BB. Developer shall provide a traffic study to determine the necessary improvements to existing and proposed roads to provide an acceptable level of service for the proposed project.
- CC. Developer shall provide wetland delineation from a qualified professional and comply with all local, state, and federal requirements regarding their disturbance.

Location Map





CITY OF SARATOGA SPRINGS

Planning Commission Meeting

Thursday, April 24, 2014

Meeting held at the Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs

MINUTES

Work Session 6:32 P.M.

Present:

Commission Members: Jeff Cochran, Kara North, Eric Reese, Kirk Wilkins, Sandra Steele and Hayden Williamson

Absent Commission Member: Jarred Henline

Staff: Lori Yates, Kimber Gabryszak, Sarah Carroll, Scott Langford Kevin Thurman

Others: Chris Norman, Carolyn Norman, Chuck Bearce, Gary Kirschbauky, Joe Hayes, Barbara Raines, Ronald Johnston, Mark Babbit, Krisel Travis, Ryan Poduska, Loma McKinnon, Neil and Pam Infanger

7. Concept Plan for Lakeside Estates located between 2800 South and 3009 South and Redwood Road, Curtis Leavitt, applicant.

Sarah Carroll presented the concept plan for Lakeside Estates. The plan shows two access points. A drainage channel will be required and trails have been included.

Sandra Steele the access to the north of the development shows a median is the intent for individuals to make a U-turn to enter onto Redwood Road.

Sarah Carroll indicated that it appears to be the intent.

Sandra Steele doesn't like that proposed arrangement. The driveways located near Redwood Road should be located as far east as possible. She recommended that the lot located east of that be taken off the loop road. Sandra asked if the space next to the trail is a parking lot.

Sarah Carroll stated yes.

Hayden Williamson indicated that he too is concerned with the lot that is located near the entrance of the development, this may create several issue but is pleased with the overall concept plan.

Eric Reese asked if the trail continues to the north.

Sarah Carroll said yes.

Kirk Wilkins thanked the developer for the not requesting a zone change and had no further comments regarding this project.

Kara North agrees with the secondary access off of Redwood Road and agrees that the two lots east of the north entrance is a concern which was indicated by Commissioner Steele.

Jeff Cochran suggested that staff review the access of those two lots near Redwood Road. The other Commissioner have expressed concern with this matter. Suggested turning the two lots into one which would provide better access in and out of the development.

**City of Saratoga Springs
City Council Meeting
May 6, 2014**

Meeting held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Policy Session

Present:

Mayor: Jim Miller

Council Members: Michael McOmber, Shellie Baertsch, Rebecca Call, Stephen Willden, Bud Poduska

Staff: Scott Langford, Mark Christensen, Kimber Gabryszak, Kyle Spencer, Owen Jackson, Kevin Thurman, Jeremy Lapin, Sarah Carroll, Chelese Rawlings, Jess Campbell, Andrew Burton

Others: K. Becraft, S. Alexander, Larry Whiting, Chris Porter, J. Klingonsmith, Lars Anderson, Christian Or, Bruce Baird, Susan Palver, Ronald Jonhston, Brandon Beutlie, Larry N. Johnson, Vance Twitchell, M.Brown, Mark Babbit, John Kollman, Gary Kirschbaum

10. Concept Plan for Lakeside Estates located at approximately 2800-3000 South Redwood Road, Curtis Leavitt, applicant.

Sarah Carroll - Review of Plan.

Councilwoman Baertsch - clarification - with road coming in from Redwood Road, does it connect with wildlife bld and where would it be?

Sarah Carroll - road will be stubbed to be completed at some time, to connect when future development comes in.

Councilman Poduska - individual homes along lakefront, wind-surfers use a point along there and wonders if there is access.

Sarah Carroll - shows access on plat in 3 locations. Cul-de-sac will have parking as well as lake access.

Councilman Poduska - recommends that it does stay preserved.

Sarah Carroll, clarification on possible road shift to line up with other subdivisions as per UDOT.

Councilman Willden- agrees with Planning Commission recommendations and agrees it will be great to have lake access there.

Councilwoman Baertsch - as long as driveways are as far as possible from Redwood Road it won't be as problematic. With open space with trail head at north end and where none of the detention areas are very usable, wonders if they could be combined. A trail head would be more convenient nearer a main road, and not have as much traffic through so much of the neighborhood.

Councilman McOmber - if the road does move, he would like to see it go all the way through, with lots shifting as well and not jog, as it becomes a view corridor. There is already a development already called Lakeside, so it will need to be changed.

Councilwoman Call- asked on some of the open space is sensitive land so does credit still meet requirement?

Sarah Carroll - Sensitive lands can be up to 1/2 of required space.

Councilwoman Call - thanks to staff for reports that clarify. Agrees with Councilwoman Baertsch on trail head in the corner, feels neighbors would not like it. Appreciates incorporation of lake shore. Feels it's a great subdivision for the city.

Mike Kelly, Applicant - on trailhead, he is clarifying there are 3 trail head access, parking at the one on the end of view corridor. Another is a little north with no parking, and one on the end at the cul-de-sac where people can park off the road. What would council like to see in the trail heads

Councilwoman Baertsch - parking is necessary because it will draw people from all over. Perhaps move it from the cul-de-sac to a more efficient access area with less impact on residents. It might open view corridor more.

Councilwoman Call – they could maybe take out a lot and incorporate it into detention basin for trail/parking. We don't want to deprive developer of buildable lots but looking into the future we don't want residents complaining about too many people through the neighborhood and creating parking problems. She feels the developer has already done a great job with thinking of several access points. Glad that development is embracing the lake.

Sarah Carroll - asked applicant to explain their reason for choosing areas they did.

Mike Kelly - selected the location of trails based on the roadway, the detention basin, which is already a spot that needs little grade change, and the corner trail is based on configuration of lots.

Sarah Carroll - could the detention be moved and still provide drainage that is needed?

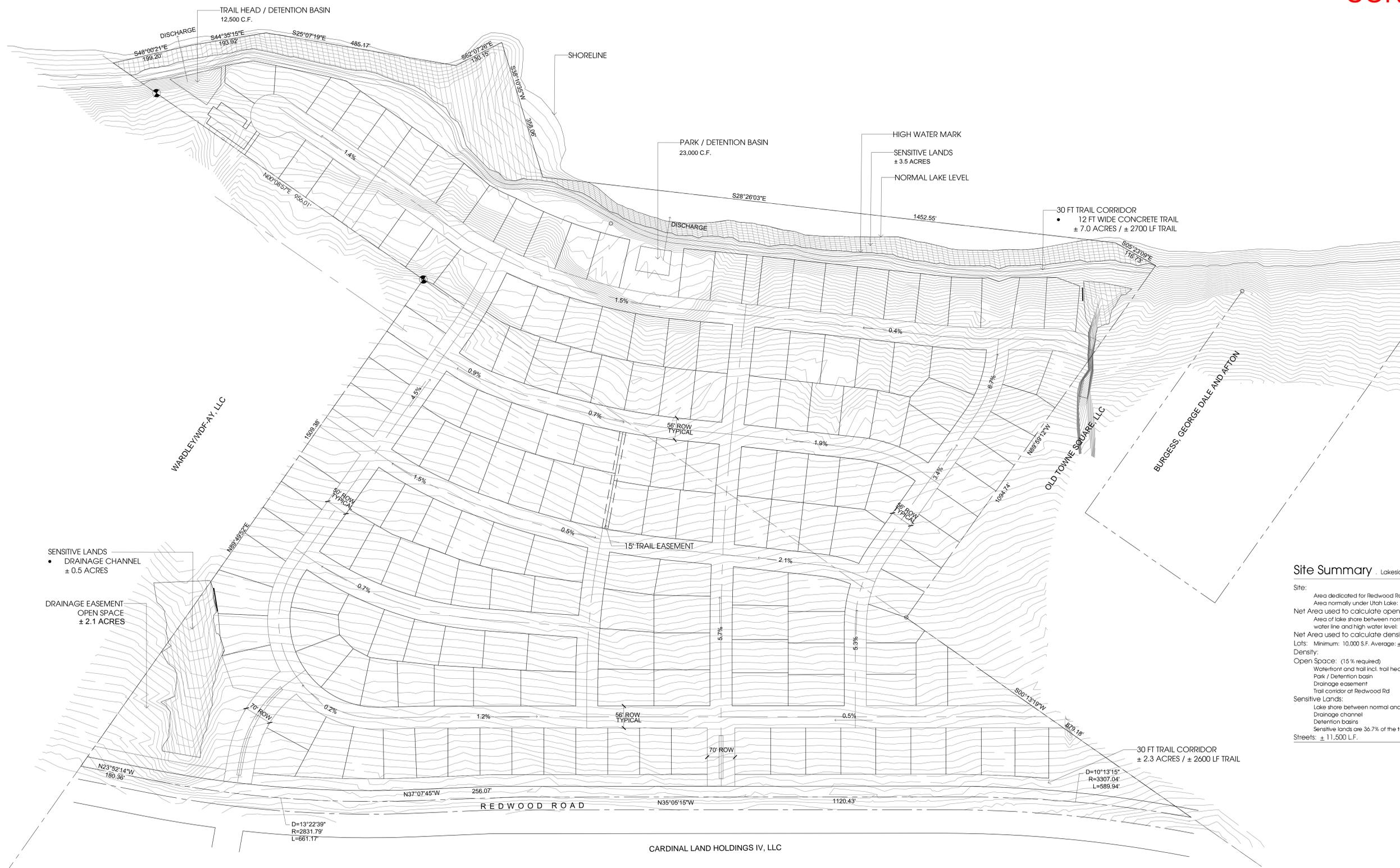
Councilwoman Call - on detention basin off center, could the front of it be parking stalls?

Mike Kelly - said if they would allow parking spaces that back onto street it would work better.

Jeremy Lapin – there is concern by Public Works because of road plows, but that was when the stalls were directly off asphalt, if there was an extended drive approach they may find it more acceptable. Council felt it should be looked into.

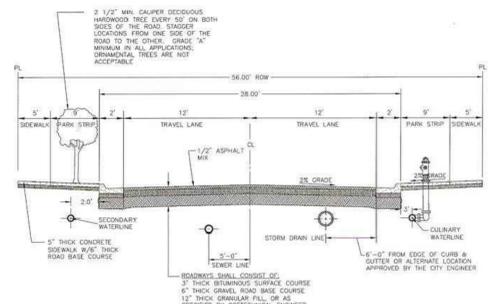
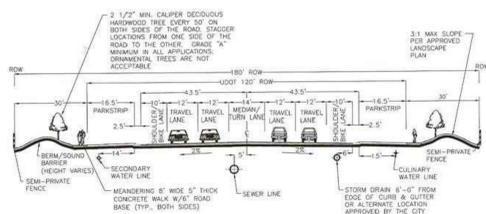
Sarah Carroll - basically the goal is to possibly create a park at the view corridor, increasing parking there and out of the cul-de-sac.

Councilwoman Call – if the north corner could be turned into building lot, she is suggesting that as a trade for other parking and a trail move.

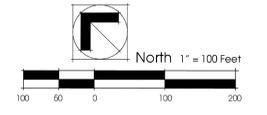


Site Summary

Lakeside Estates - Saratoga Springs, Utah - Holmes Homes	
Site:	± 75.15 Acres
Area dedicated for Redwood Road:	± 1.75 Acres
Area normally under Utah Lake:	± 1.56 Acres
Net Area used to calculate open space %:	± 71.84 Acres
Area of lake shore between normal water line and high water level:	± 5.4 Acres
Net Area used to calculate density:	± 66.44 Acres
Lots: Minimum: 10,000 S.F. Average: ± 10,700 S.F.	183 Lots
Density:	2.75 Units/Acre
Open Space: (15% required):	± 12.0 Acres 16.7%
Waterfront and trail incl. trail head:	± 7.0 acres
Park / Detention basin:	± 0.4 acres
Drainage easement:	± 2.1 acres
Trail corridor at Redwood Rd:	± 2.2 acres
Sensitive Lands:	± 4.6 Acres 38.5%
Lake shore between normal and high water:	± 3.5 acres
Drainage channel:	± 0.5 acres
Detention basins:	± 0.3 acres
Sensitive lands are 36.7% of the total open space shown	
Streets: ± 11,500 L.F.	± 15.03 Acres



VICINITY PLAN
NOT TO SCALE



Revised 23 April 2014
Revised 9 April 2014
22 MARCH 2014
Concept Plan

LAKESIDE ESTATES

Saratoga Springs, Utah
HOLMES HOMES · 126 WEST SEGO LILY DRIVE, SUITE 250 · SANDY, UTAH

MAJOR ATERIAL ROADWAY 180' RIGHT-OF-WAY	DATE: FEBRUARY 2014 DRAWN BY: MJK CHECKED BY: KAW DESIGNED BY: KAW APPROVED BY: [Signature]	REVISIONS: NO. 1: [Description] NO. 2: [Description] NO. 3: [Description]	STANDARD DETAILS: STREET PLANNING ST-11
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RESIDENTIAL ROADWAY 56' RIGHT-OF-WAY	DATE: FEBRUARY 2014 DRAWN BY: MJK CHECKED BY: KAW DESIGNED BY: KAW APPROVED BY: [Signature]	REVISIONS: NO. 1: [Description] NO. 2: [Description] NO. 3: [Description]	STANDARD DETAILS: STREET PLANNING ST-8
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REQUIRED PLAT NOTES

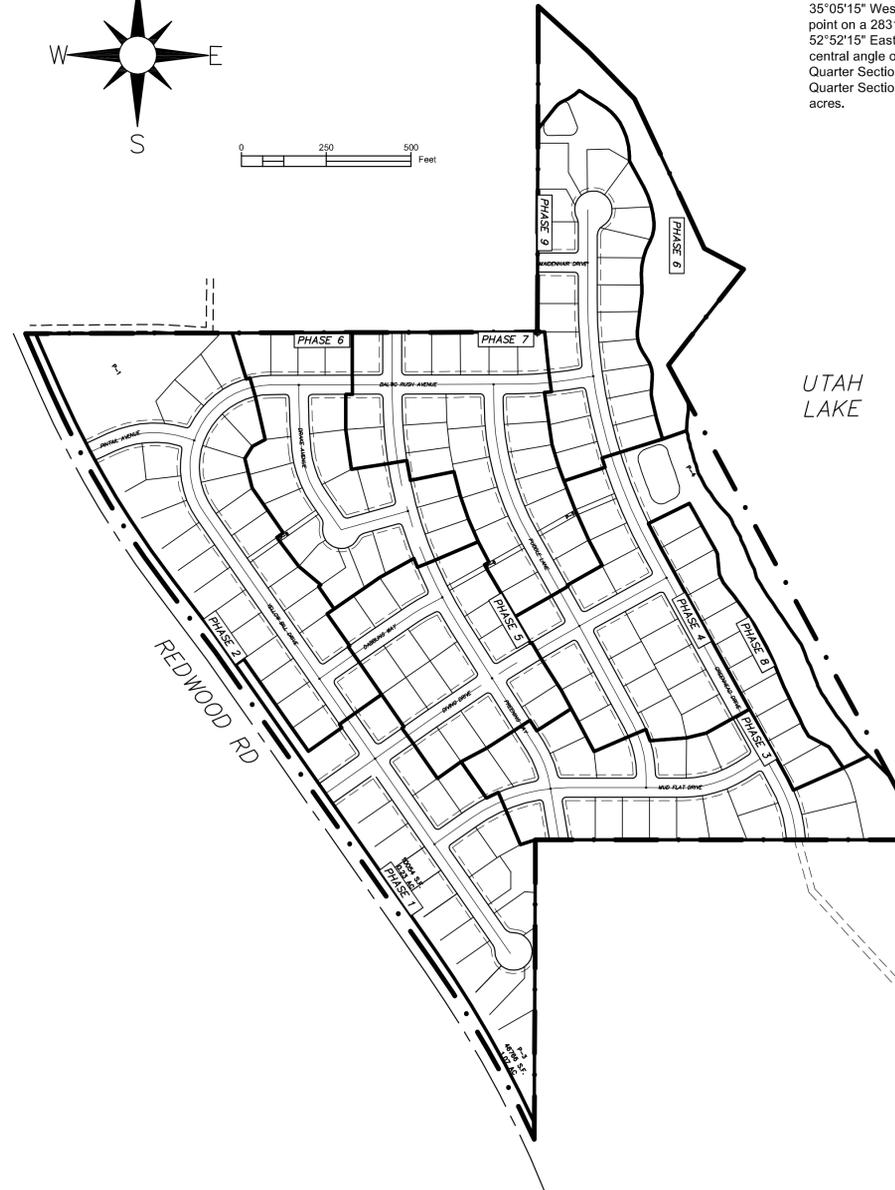
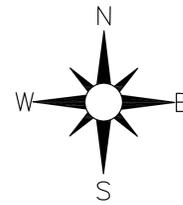
- 1-PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT APPROVAL WAS GRANTED ON THE ___ DAY OF _____, 20__.
- 2-THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS, AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
- 3-PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- 4-PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT, OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
- 5-BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING; ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS; AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
- 6-ALL BONDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD-PARTY BENEFICIARY OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING ANY ACTION UNDER ANY BOND OR BOND AGREEMENT.
- 7-THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
- 8-ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT
- 9-ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- 10-IF SUBDIVISION HAS PRIVATE STREETS, PLAT MUST DESIGNATE STREET AS "PRIVATE" AND INCLUDE STATEMENT "NO CITY MAINTENANCE IS PROVIDED ON PRIVATE STREETS"
- 11-IF CONDO OR HOA ASSOCIATION IS INVOLVED PLAT MUST INCLUDE STATEMENT "LOTS/UNITS ARE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S"

MALLARD BAY

LOCATED IN A PORTION OF THE EAST QUARTER OF SECTION 12,
TOWNSHIP 6 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

BOUNDARY DESCRIPTION

Beginning at East Quarter Corner of Section 12, Township 6 South, Range 1 West, Salt Lake Base and Meridian (basis of bearings is North 89°49'52" East between the West Quarter Corner and the East Quarter Corner of said Section 12) and running thence North 00°08'57" East along the Section line through a meander corner monument 956.01 feet more or less to the Utah Lake boundary; thence South 48°00'21" East 199.20 feet; thence along the Utah Lake boundary as established by a stipulation dated January 24, 2006, Entry No. 8392-2006, of official records the following (6) courses: South 44°35'15" East 193.92 feet, and South 25°07'19" East 485.17 feet, and South 62°07'28" East 130.15 feet, and South 38°10'35" West 358.06 feet, and South 28°28'03" East 1452.55 feet, and South 05°23'09" East 116.73 feet; thence North 89°59'12" West 1094.74 feet to the East line of said Section 12; thence South 00°13'19" West 879.18 feet along said East line to the Easterly right-of-way of Redwood Road and a point on a 3307.04 foot radius non tangent curve to the left, (radius bears South 65°08'00" West); thence along said Easterly line the following (6) courses: along the arc of said curve 589.94 feet through a central angle of 10°13'15", and North 35°05'15" West 1120.43 feet, and North 37°07'45" West 256.07 feet to a point on a 2831.79 foot radius tangent curve to the right, (radius bears North 52°52'15" East), and along the arc of said curve 661.17 feet through a central angle of 13°22'39", and North 23°52'14" West 180.36 feet to the Quarter Section Line; thence North 89°49'52" East 1509.38 feet along said Quarter Section Line to the point of beginning. Property contains 75.121 acres.



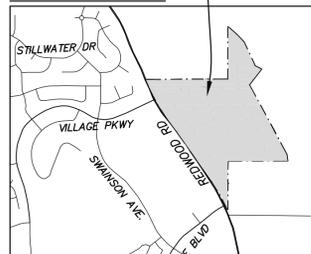
UTAH LAKE

REDWOOD RD

LEGEND

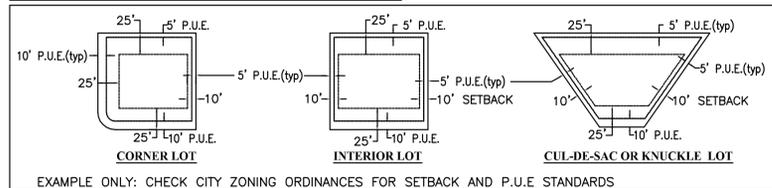
- | | |
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| <ul style="list-style-type: none"> 3 2 EXISTING SECTION CORNER (FOUND) 10 11 (AS DESCRIBED) PHASE 1 BOUNDARY LINE STREET CENTERLINE PROPOSED STREET MONUMENT MONUMENT TO MONUMENT TIE PROPOSED FIRE HYDRANT PROPOSED STREET LIGHT PARCEL DEDICATION TO SARATOGA SPRINGS EXISTING RIGHT-OF-WAY OVER THE WEST 33.00 FEET OF THE PROPERTY IN SECTION 2 BUILDING SETBACK LINE PUBLIC UTILITY EASEMENTS | <p>DATE OF PREPARATION</p> |
|--|----------------------------|

VICINITY MAP



PROJECT SITE

TYPICAL SETBACK & P.U.E. DETAILS



BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii).

QUESTAR GAS COMPANY Approved this ___ day of _____, A.D. 20__	ROCKY MOUNTAIN POWER Approved this ___ day of _____, A.D. 20__
QUESTAR GAS COMPANY	ROCKY MOUNTAIN POWER
COMCAST CABLE TELEVISION Approved this ___ day of _____, A.D. 20__	CENTURY LINK Approved this ___ day of _____, A.D. 20__
COMCAST CABLE TELEVISION	QWEST

SURVEYOR'S CERTIFICATE

I, _____, do hereby certify that I am a registered Land Surveyor and that I hold a license, Certificate No. _____, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct. I also certify that I have filed, or will file within 90 days of the recording of this plat, a map of the survey I have completed with the Utah County Surveyor.

BOUNDARY DESCRIPTION

A parcel of land situated in the East Quarter of Section 12, Township 6 South, Range 1 West, Salt Lake Base and Meridian, said parcel being more particularly described as follows: _____

See text to the left.

Acres: 75.121, # of lots 178

18 Sept, 2014
Date _____ Surveyor's Name _____
License no. _____

OWNER'S DEDICATION

Know all men by these presents that _____, the undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as

MALLARD BAY

do hereby dedicate for the perpetual use of the public and/or City all parcels of land, easements, right-of-way, and public amenities shown on this plat as intended for public and/or City use. The owner(s) voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the City from any damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.

In witness whereof _____ have hereunto set this ___ day of _____, A.D. 20__.

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of Utah

On the ___ day of _____, A.D. 20__, personally appeared before me, the undersigned Notary Public, in and for the County of Utah in said State of Utah, the signer() of the above Owner's dedication, ___ in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

My commission expires: _____ Notary Public residing at _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of UTAH

On the ___ day of _____, A.D., 20__ personally appeared before me ___ and, who being by me duly sworn did say each for himself, that he, the said ___ is the President and he the said ___ is the Secretary of _____ Corporation, and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors and said ___ and ___ each duly acknowledged to me that said Corporation executed the same and that the seal affixed is the seal of said Corporation.

My commission expires: _____ Notary Public residing at _____

APPROVAL BY LEGISLATIVE BODY

The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
This ___ day of _____, A.D. 20__.

City Mayor _____ Attest _____
City Recorder
(See Seal Below)

MALLARD BAY

LOCATED IN A PORTION OF THE _____ QUARTER OF SECTION
____, TOWNSHIP ____ SOUTH, RANGE ____ WEST,
SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

ENGINEERING/SURVEYING TITLE BLOCK	FIRE CHIEF APPROVAL Approved by the Fire Chief on this ___ day of _____, A.D. 20__ _____ CITY FIRE CHIEF	PLANNING COMMISSION REVIEW Reviewed by the Planning Commission on this ___ day of _____, A.D. 20__ _____ CHAIRMAN, PLANNING COMMISSION	SARATOGA SPRINGS ENGINEER APPROVAL Approved by the City Engineer on this ___ day of _____, A.D. 20__ _____ CITY ENGINEER	SARATOGA SPRINGS ATTORNEY Approved by Saratoga Springs Attorney on this ___ day of _____, A.D. 20__ _____ SARATOGA SPRINGS ATTORNEY	LEHI CITY POST OFFICE Approved by Post Office Representative on this ___ day of _____, A.D. 20__ _____ LEHI CITY POST OFFICE REPRESENTATIVE	SURVEYORS SEAL NOTARY PUBLIC SEAL CIVIL ENGINEERS SEAL CLERK-RECORDER SEAL
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PRELIMINARY PLAT



CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHD BRG	DELTA
1	300.00	226.35	118.87	221.02	S86°34'54"W	43°13'44"
2	1028.00	154.88	77.58	154.73	S85°30'36"W	08°37'55"
3	240.00	522.63	458.78	425.32	S27°26'29"W	124°46'10"
4	5000.00	33.56	16.78	33.56	S61°05'13"W	00°23'04"
5	5000.00	299.58	149.83	299.53	S59°10'42"W	03°25'58"
6	5000.00	222.45	111.24	222.43	S56°11'14"W	02°32'57"
7	328.00	200.12	103.28	197.03	N72°32'06"E	34°57'24"
8	325.00	185.96	95.60	183.43	N73°37'17"E	32°47'02"
9	1800.00	261.56	131.01	261.33	S59°13'10"W	08°19'33"
10	860.00	455.04	232.98	449.75	S15°40'00"E	30°18'57"
11	1250.00	706.08	362.74	696.73	S16°21'22"E	32°21'51"
12	700.00	235.72	118.99	234.61	S22°53'28"E	19°17'38"
13	800.00	408.70	208.92	404.27	S14°48'34"E	29°16'17"
14	328.00	164.46	84.00	162.74	S14°21'24"E	28°43'42"
15	2000.00	134.19	67.12	134.17	N30°50'54"W	03°50'40"
16	1200.00	608.83	311.12	602.32	N14°23'29"W	29°04'10"
17	240.00	297.75	171.45	279.02	S54°17'04"W	71°04'59"
18	240.00	224.88	121.46	216.74	S08°06'01"E	53°41'11"
19	1800.00	124.75	62.40	124.73	S61°23'49"W	03°58'15"
20	1800.00	136.81	68.44	136.78	S57°14'03"W	04°21'18"
21	328.00	76.91	38.63	76.74	S83°17'45"W	13°26'07"
22	328.00	123.20	62.34	122.48	S65°49'02"W	21°31'17"
23	1200.00	166.90	83.58	166.77	S03°50'28"E	07°58'08"
24	1200.00	441.93	223.50	439.44	S18°22'33"E	21°06'03"
25	2000.00	128.67	64.36	128.65	S30°46'10"E	03°41'10"
26	2000.00	5.52	2.76	5.52	S32°41'30"E	00°09'29"
27	335.00	78.21	39.28	78.03	S78°29'31"E	13°22'34"
28	268.00	73.45	36.95	73.22	N34°02'43"E	15°42'07"
29	268.00	74.94	37.72	74.70	N49°54'27"E	16°01'20"
30	268.00	74.83	37.66	74.58	N65°55'01"E	15°59'49"
31	268.00	74.16	37.32	73.92	N81°50'34"E	15°51'15"
32	1000.00	64.36	32.19	64.35	N87°58'56"E	03°41'15"
33	1000.00	86.30	43.18	86.27	N83°39'59"E	04°56'40"
34	1228.00	76.09	38.06	76.08	N04°45'57"W	03°33'01"
35	1228.00	67.17	33.59	67.16	N01°25'25"W	03°08'02"
36	55.00	65.64	37.37	61.81	N34°02'51"W	68°22'54"
37	30.50	36.40	20.72	34.28	N34°02'51"W	68°22'54"
38	55.00	65.23	37.06	61.47	N34°07'09"E	67°57'07"
39	55.00	64.66	36.65	61.00	S44°00'06"E	67°21'21"
40	55.00	9.94	4.99	9.93	S05°08'41"E	10°21'29"
41	1172.00	61.94	30.98	61.93	S01°22'14"E	03°01'41"
42	1172.00	87.69	43.87	87.67	S05°01'41"E	04°17'13"
43	1172.00	86.57	43.30	86.55	S09°17'16"E	04°13'55"
44	1172.00	86.15	43.10	86.13	S13°30'34"E	04°12'42"
45	1172.00	85.70	42.87	85.68	S17°42'37"E	04°11'23"
46	1972.00	7.62	3.81	7.62	S29°02'13"E	00°13'17"
47	1972.00	41.43	20.72	41.43	S32°10'07"E	01°12'14"
48	1972.00	83.25	41.63	83.25	S30°21'26"E	02°25'08"
49	30.50	28.95	15.67	27.88	S59°57'45"E	54°23'02"
50	55.00	27.62	14.11	27.33	S72°46'10"E	28°46'12"
51	55.00	97.27	67.11	85.08	S07°43'15"E	101°19'38"
52	55.00	85.76	54.37	77.33	N62°11'44"W	89°20'19"
53	353.00	86.54	43.49	86.32	S63°13'49"W	14°02'45"
54	55.00	22.02	11.16	21.87	N06°03'30"W	22°56'10"
55	30.50	20.32	10.56	19.95	N13°40'50"W	38°10'49"
56	353.00	70.16	35.19	70.04	S75°56'48"W	11°23'14"
57	353.00	51.50	25.80	51.46	N85°49'12"E	08°21'35"
58	299.98	36.22	18.13	36.20	S86°33'15"W	06°55'07"
59	300.00	96.07	48.45	95.66	S73°55'15"W	18°20'57"
60	300.00	50.74	25.43	50.67	S59°54'06"W	09°41'24"
61	55.00	74.43	44.17	68.88	N87°59'52"W	77°32'21"
62	3364.04	53.74	26.87	53.74	S32°13'48"E	00°54'55"
63	30.50	19.07	9.86	18.76	N17°01'46"W	35°49'40"
64	3364.04	109.11	54.56	109.11	S33°37'00"E	01°51'30"
65	55.00	48.10	25.71	46.59	N24°10'19"W	50°06'46"
66	3364.04	31.80	15.90	31.80	S34°49'00"E	00°32'30"
67	30.50	18.96	9.80	18.65	S31°40'40"W	35°36'53"
68	55.00	160.32	483.25	109.29	N82°37'21"W	167°00'50"
70	2774.79	80.03	40.02	80.02	S36°18'16"E	01°39'09"
71	268.00	63.03	31.66	62.89	N28°12'19"W	13°28'33"
72	2774.79	112.91	56.46	112.90	S34°18'45"E	02°19'53"
73	2774.79	110.14	55.08	110.14	S32°00'35"E	02°16'27"
74	268.00	70.00	35.20	69.80	N13°59'05"W	14°57'55"
75	265.00	114.12	57.96	113.24	N84°14'59"W	24°40'27"
76	268.00	82.73	41.70	82.41	N02°20'30"E	17°41'16"
77	265.00	85.31	43.03	84.95	S74°11'25"W	18°26'45"
78	2774.79	95.35	47.68	95.35	S29°53'17"E	01°58'08"
79	1772.00	34.18	17.09	34.18	S55°36'33"W	01°06'18"
80	1772.00	94.71	47.36	94.69	S57°41'34"W	03°03'44"
81	1772.00	95.22	47.62	95.21	S60°45'48"W	03°04'44"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHD BRG	DELTA
82	1278.00	104.06	52.06	104.03	N30°12'20"W	04°39'55"
83	1772.00	33.39	16.70	33.39	S62°50'33"W	01°04'47"
84	5028.00	98.79	49.40	98.79	N56°34'48"E	01°07'33"
85	5028.00	84.92	42.46	84.92	N55°31'59"E	00°58'04"
86	5028.00	11.98	5.99	11.98	N54°58'52"E	00°08'12"
87	4972.00	106.08	53.04	106.08	S56°31'41"W	01°13'21"
88	672.00	68.55	34.30	68.52	N29°36'57"W	05°50'41"
89	4972.00	88.17	44.09	88.17	S55°24'31"W	01°00'58"
90	356.00	34.41	17.22	34.39	N57°49'32"E	05°32'15"
91	356.00	71.37	35.80	71.25	N66°20'14"E	11°29'10"
92	672.00	157.74	79.23	157.38	N19°58'08"W	13°26'57"
93	728.00	74.18	37.12	74.15	S16°09'48"E	05°50'17"
94	356.00	55.37	27.74	55.31	N85°33'29"E	08°54'39"
95	728.00	71.58	35.82	71.55	S21°53'57"E	05°38'00"
96	728.00	82.50	41.29	82.46	S27°57'44"E	06°29'35"
97	4972.00	118.83	59.42	118.82	S58°28'09"W	01°22'10"
98	728.00	16.89	8.45	16.89	S31°52'24"E	01°19'46"
99	4972.00	123.04	61.52	123.04	S59°51'46"W	01°25'04"
100	300.00	49.62	24.87	49.57	N23°58'55"W	09°28'40"
101	300.00	100.80	50.88	100.32	N09°37'04"W	19°15'02"
102	4972.00	5.40	2.70	5.40	S61°14'53"W	00°03'44"
103	356.00	21.20	10.60	21.20	S27°00'53"E	03°24'44"
104	356.00	79.07	39.70	78.90	S18°56'45"E	12°43'31"
105	356.00	78.23	39.27	78.07	S06°17'17"E	12°35'27"
106	297.00	60.95	30.58	60.84	N84°08'04"E	11°45'27"
107	298.94	115.57	58.52	114.85	N67°08'39"E	22°09'02"
108	2028.00	102.55	51.29	102.54	N30°22'30"W	02°53'50"
109	1228.00	82.74	41.39	82.73	N26°59'46"W	03°51'38"
110	1228.00	84.82	42.43	84.80	N23°05'13"W	03°57'27"
111	1228.00	84.83	42.43	84.81	N19°07'45"W	03°57'29"
112	1228.00	84.79	42.41	84.78	N15°10'20"W	03°57'23"
113	1056.00	71.35	35.69	71.34	S83°07'47"W	03°52'17"
114	1228.00	86.58	43.31	86.56	N11°10'27"W	04°02'22"
115	1056.00	87.74	43.90	87.72	S87°26'45"W	04°45'38"
116	772.00	81.79	40.94	81.76	S03°12'33"E	06°04'14"
117	772.00	87.30	43.70	87.25	S09°29'02"E	06°28'44"
118	772.00	87.30	43.70	87.25	S15°57'46"E	06°28'44"
119	772.00	87.30	43.70	87.25	S22°26'31"E	06°28'44"
120	772.00	50.71	25.37	50.70	S27°33'48"E	03°45'50"
121	5028.00	123.06	61.54	123.06	N59°52'21"E	01°24'08"
122	828.00	44.69	22.35	44.69	N27°53'56"W	03°05'34"
123	828.00	80.00	40.03	79.97	N23°35'04"W	05°32'09"
124	828.00	80.00	40.03	79.97	N18°02'55"W	05°32'09"
125	828.00	80.00	40.03	79.97	N12°30'46"W	05°32'09"
126	828.00	80.00	40.03	79.97	N06°58'37"W	05°32'09"
127	828.00	58.31	29.17	58.30	N02°11'29"W	04°02'07"
128	1222.00	74.19	37.11	74.18	S01°54'48"E	03°28'43"
129	1222.00	86.50	43.27	86.48	S05°40'50"E	04°03'21"
130	1222.00	86.50	43.27	86.48	S09°44'10"E	04°03'21"
131	1222.00	86.50	43.27	86.48	S13°47'31"E	04°03'21"
132	1222.00	86.50	43.27	86.48	S17°50'51"E	04°03'21"
133	1222.00	86.50	43.27	86.48	S21°54'12"E	04°03'21"
134	1222.00	86.50	43.27	86.48	S25°57'33"E	04°03'21"
135	1222.00	86.50	43.27	86.48	S30°00'53"E	04°03'21"
136	1222.00	10.57	5.28	10.57	S32°17'25"E	00°29'44"
137	5028.00	122.02	61.01	122.02	N58°28'34"E	01°23'26"
138	1828.00	18.85	9.43	18.85	N63°05'13"E	00°35'27"
139	1278.00	140.22	70.18	140.15	N22°13'08"W	06°17'11"
140	1278.00	106.96	53.51	106.93	N16°40'41"W	04°47'43"
141	1278.00	86.67	43.35	86.65	N12°20'16"W	03°53'08"
142	1278.00	80.00	40.01	79.99	N08°36'06"W	03°35'12"
143	1278.00	80.00	40.01	79.99	N05°00'55"W	03°35'12"
144	1278.00	67.99	34.00	67.98	N01°41'52"W	03°02'53"
145	832.00	86.74	43.41	86.70	S03°29'43"E	05°58'25"
146	832.00	88.70	44.39	88.66	S09°32'10"E	06°08'30"
147	832.00	90.92	45.51	90.87	S15°43'15"E	06°15'40"
148	832.00	93.74	46.92	93.70	S22°04'46"E	06°27'21"
149	832.00	80.12	40.09			

NARRATIVE

- Phase One: The Redwood Road Trail Corridor will be improved and dedicated. This corridor will consist of 1,530 lineal feet of eight foot wide concrete trail; and manicured landscaping consisting of trees, shrubs and lawns.
- Phase Two: The balance of the Redwood Road Trail Corridor will be improved and dedicated, including 1,086 lineal feet of trail. The natural drainage channel adjacent to the trail corridor will be improved and dedicated. This drainage channel includes an 8ft. wide concrete trail extending to the project boundary.
- Phase Three: This phase includes 225 lineal feet of the Utah Lake Shoreline Trail.
- Phase Four: The Central Lake detention basin (which was constructed in conjunction with phase one to provide runoff detention) will be improved as a park and landscaped with lawn and trees. The park includes a 20 ft. square picnic pavilion and a restroom with 2 toilets and 2 sinks. The restroom building will be split-face block with a metal roof. Parking stalls adjacent to the street will be constructed.
1,110 lineal feet of the Utah Lake Shoreline Trail will be constructed. This trail will connect the Central Lake detention basin park with the project's southern boundary.
- Phase Five: The first four phases of development have banked sufficient open space for this phase.
- Phase Six: The north end of the Lake Shore Trail—consisting of 1,330 lineal feet of trail—will be constructed with this phase of development. This trail will connect the Central Lake Park and the north boundary of the project. A trail connection to the drainage channel trail will be constructed to the project boundary.
- Phase Seven: The open space required for this phase of development also has been banked with previous phases of work.
- Phase Eight: The open space required for this phase of development also has been banked with previous phases of work.
- Phase Nine: The North Lake detention basin (constructed along with Phase Two in order to accommodate detention of runoff water) will be developed into a park area. The park will include walkways and a 20 ft. square picnic pavilion and will be landscaped with lawns and trees. A parking lot will also be constructed.

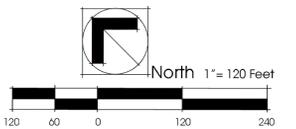
Mallard Bay . Phasing Plan

Area of property within boundary	75.12 Acres
Area of land above normal lake water level (see note 1 below)	73.64 Acres
Area dedicated for Redwood Road	1.75 Acres
Net area of property for development (Area used to calculate open space percentages)	71.89 Acres

	Lots	Area	Open Space provided	% Open Space	Cummulative Area	Cummulative Open Space	Cummulative Open Space %
Phase 1	20 Lots	8.20 acres	1.36 acres	16.59%	8.2 acres	1.36 acres	16.59%
Phase 2	27 Lots	11.57 acres	2.85 acres	24.63%	19.77 acres	4.21 acres	21.29%
Phase 3	19 Lots	7.84 acres	0.67 acres	8.55%	27.61 acres	4.88 acres	17.67%
Phase 4	18 Lots	9.52 acres	2.77 acre	29.10%	37.13 acres	7.65 acres	20.60%
Phase 5	18 Lots	6.10 acres	0.00 acres	0.00%	43.23 acres	7.65 acres	17.70%
Phase 6	20 Lots	10.68 acres	3.97 acres	37.17%	53.91 acres	11.62 acres	21.55%
Phase 7	25 Lots	8.15 acres	0.00 acre	0.00%	62.06 acres	11.62 acres	18.72%
Phase 8	11 Lots	2.64 acres	0.00 acre	0.00%	64.7 acres	11.62 acres	17.96%
Phase 9	20 Lots	7.19 acres	0.87 acre	12.10%	71.89 acres	12.49 acres	17.37%
Totals	178 Lots	71.89 acres	12.49 acres	17.37%			

Number of Lots in development 178 Lots
 Net area of property less area designated as sensitive lands 5.54 Acres (see open space exhibit)
 (Net area used to calculate density) 66.31 Acres
 Density 2.67 Units/acre

- Note 1: Parcel P-4 = 9.76 acres
- Phase 3 open space = 0.67 acres
- Phase 4 open space = 2.77 acres
- Phase 6 open space = 5.77 acres
- Phase 9 open space = 0.87 acres
- Area below normal lake level = 1.48 acres
- Note 2: Phase one open space includes parcel P-3, which is 1.07 acres plus 0.29 acres of parcel P-2 for a total of 1.36 acres
- Note 3: Phase two includes the balance of parcel P2 (0.78 - 0.29 to phase 1 = 0.49 acres) plus parcel P-1 which is 2.36 acres
0.49 + 2.36 = 2.85 acres



SHEET LS - 1
 Revised 18 September 2014
 Revised 11 SEPTEMBER 2014
 REVISED 9 SEPTEMBER 2014
 21 AUGUST 2014
 Phasing Plan

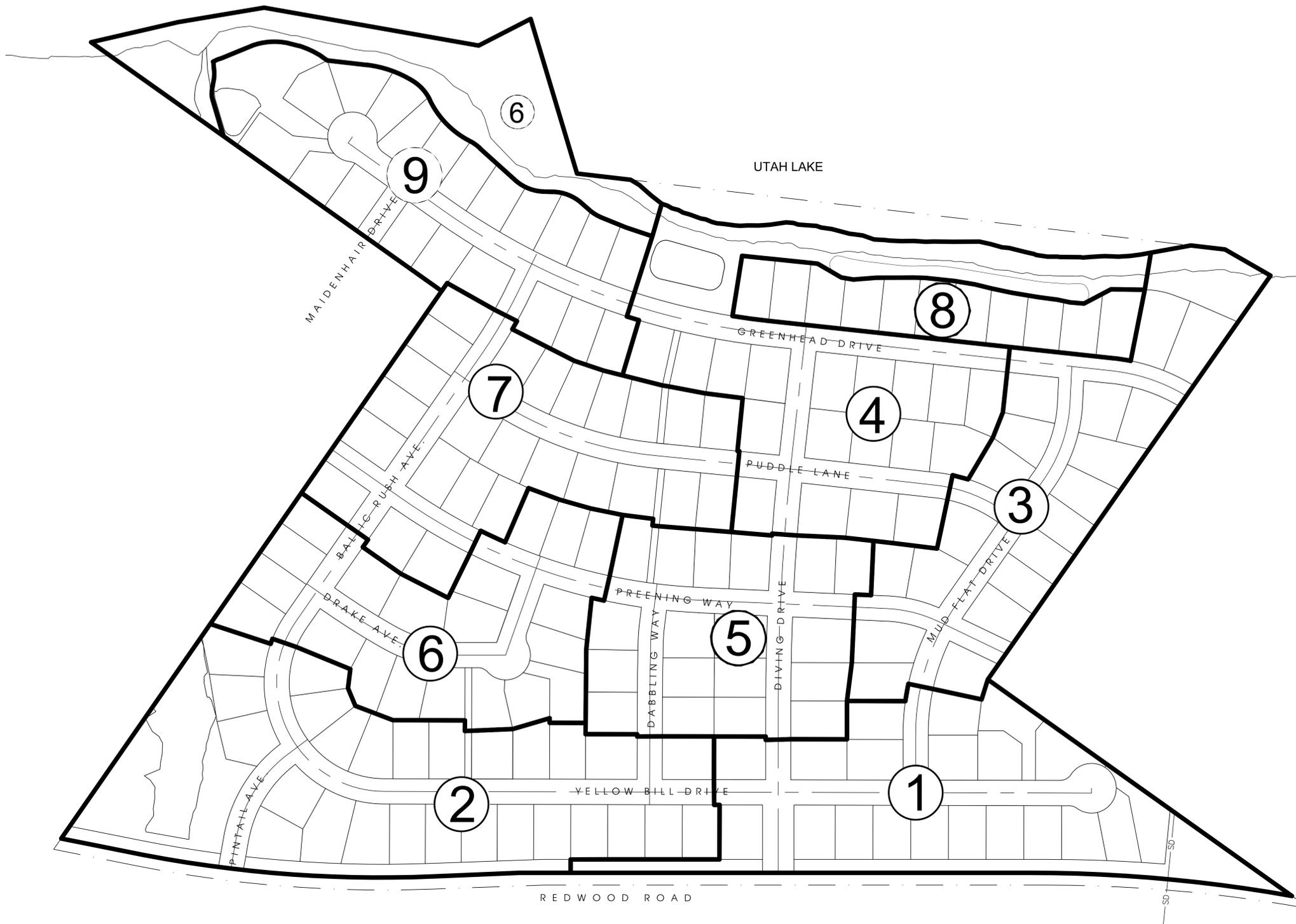
MALLARD BAY

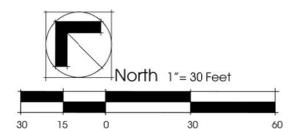
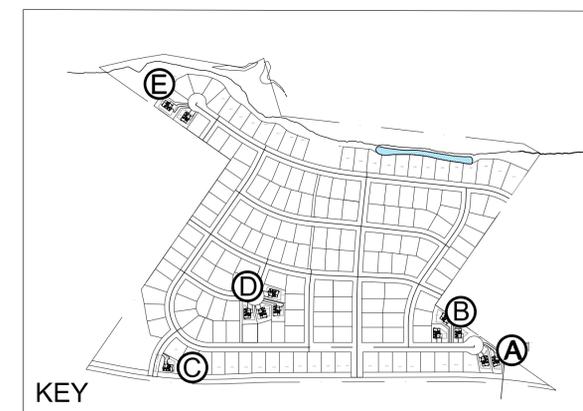
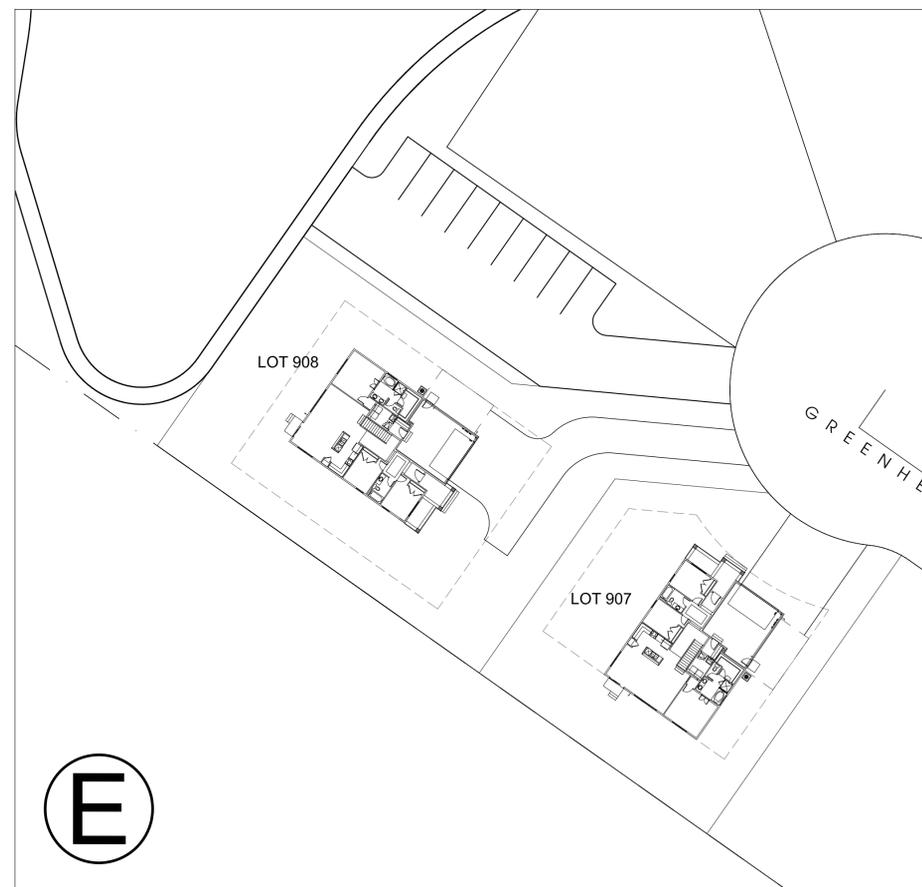
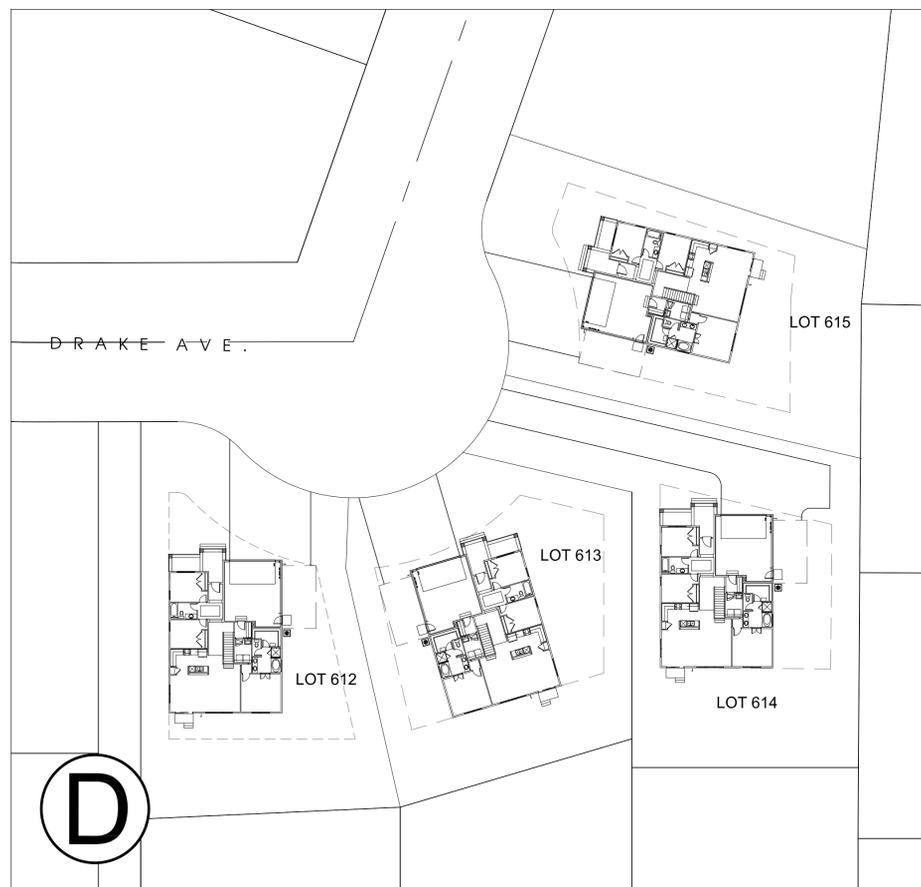
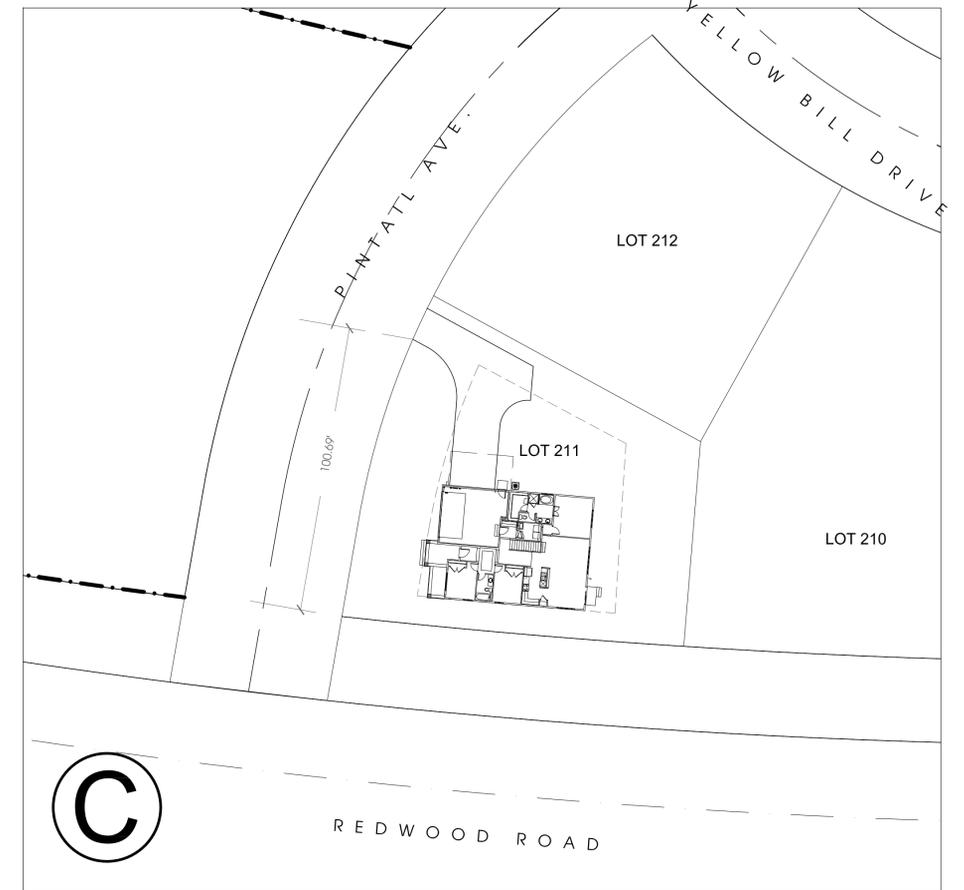
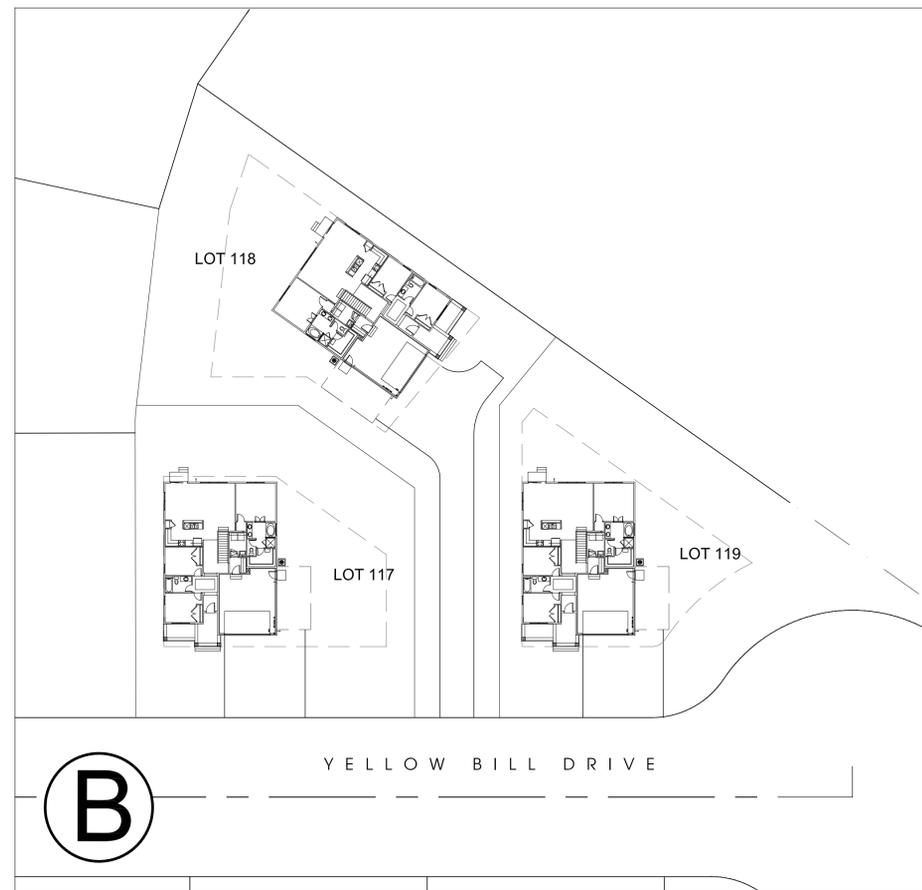
Saratoga Springs, Utah
 HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



R. MICHAEL KELLY
 CONSULTANTS

LAND PLANNING . LANDSCAPE ARCHITECTURE
 P.O. Box 469, Millville, UT 84326 435.753.2955





SHEET LS - 2
 Revised 11 SEPTEMBER 2014
 21 AUGUST 2014
 Lot Fit Studies: Flag Lots
 Phase 6

MALLARD BAY

Saratoga Springs, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



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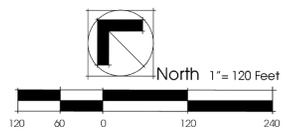


Landscape Summary . Mallard Bay

Total Landscape area (Acres)	544,065 square feet	(12.49 Acres)															
Total Landscape area preserved or re-vegetated as native (Acres)	383,275 square feet	(8.86 Acres) 70.4 %															
Total manicured Landscape area (Acres)	158,111 square feet	(3.63 Acres) 29.6 %															
<table border="0"> <tr> <td>Redwood Road trail corridor</td> <td>91,165 s.f.</td> <td></td> </tr> <tr> <td>Central Lake Park and detention basin</td> <td>31,900 s.f.</td> <td></td> </tr> <tr> <td>North Lake Park and detention basin</td> <td>35,046 s.f.</td> <td></td> </tr> </table>			Redwood Road trail corridor	91,165 s.f.		Central Lake Park and detention basin	31,900 s.f.		North Lake Park and detention basin	35,046 s.f.							
Redwood Road trail corridor	91,165 s.f.																
Central Lake Park and detention basin	31,900 s.f.																
North Lake Park and detention basin	35,046 s.f.																
Total Landscape area in turf (Acres)	109,915 square feet	(2.52 Acres)															
<table border="0"> <tr> <td>Redwood Road trail corridor</td> <td>62,050 s.f.</td> <td></td> </tr> <tr> <td>Central Lake Park and detention basin</td> <td>23,119 s.f.</td> <td></td> </tr> <tr> <td>North Lake Park and detention basin</td> <td>24,746 s.f.</td> <td></td> </tr> </table>			Redwood Road trail corridor	62,050 s.f.		Central Lake Park and detention basin	23,119 s.f.		North Lake Park and detention basin	24,746 s.f.							
Redwood Road trail corridor	62,050 s.f.																
Central Lake Park and detention basin	23,119 s.f.																
North Lake Park and detention basin	24,746 s.f.																
Percentage of manicured landscape area	69.5 %																
Number of Trees	91																
Number of drought-tolerant trees	0	0 %															
Number of Shrubs	370																
Number of drought-tolerant shrubs	332	89.7 %															
Total number of trees and shrubs	461																
Number of drought-tolerant trees and shrubs	332	72.0 %															
Trees <table border="0"> <tr> <td>14</td> <td>Acer platanoides 'Emerald Queen'</td> <td>Emerald Queen Maple</td> </tr> <tr> <td>44</td> <td>Fraxinus pennsylvanica 'Cimmaron'</td> <td>Cimmaron Ash</td> </tr> <tr> <td>26</td> <td>Platanus acerifolia 'Bloodgood'</td> <td>London Plane Tree</td> </tr> <tr> <td>7</td> <td>Tilia tomentosa 'Sterling Silver'</td> <td>Sterling Silver Linden</td> </tr> </table>			14	Acer platanoides 'Emerald Queen'	Emerald Queen Maple	44	Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Ash	26	Platanus acerifolia 'Bloodgood'	London Plane Tree	7	Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden			
14	Acer platanoides 'Emerald Queen'	Emerald Queen Maple															
44	Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Ash															
26	Platanus acerifolia 'Bloodgood'	London Plane Tree															
7	Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden															
Shrubs <table border="0"> <tr> <td>38</td> <td>Cornus sericea</td> <td>Red Osier Dogwood</td> </tr> <tr> <td>20</td> <td>Cotoneaster lucida</td> <td>Hedge Cotoneaster</td> </tr> <tr> <td>134</td> <td>Panicum virgatum 'Heavy Metal'</td> <td>Heavy Metal Switch Grass</td> </tr> <tr> <td>96</td> <td>Pennisetum a. 'Hamel'</td> <td>Fountain Grass</td> </tr> <tr> <td>82</td> <td>Rhus aromatica 'Grow Low'</td> <td>Grow Low Sumac</td> </tr> </table>			38	Cornus sericea	Red Osier Dogwood	20	Cotoneaster lucida	Hedge Cotoneaster	134	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	96	Pennisetum a. 'Hamel'	Fountain Grass	82	Rhus aromatica 'Grow Low'	Grow Low Sumac
38	Cornus sericea	Red Osier Dogwood															
20	Cotoneaster lucida	Hedge Cotoneaster															
134	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass															
96	Pennisetum a. 'Hamel'	Fountain Grass															
82	Rhus aromatica 'Grow Low'	Grow Low Sumac															

Legend . Mallard Bay

- MANICURED LANDSCAPE**
This area consists of Trees, shrubs and lawns. There is one area within the Redwood Road trail corridor and two parks located near the lakefront.
 - Applicant proposes dedication of these areas to the City.
 - Lawn areas to be irrigated with spray heads.
 - Shrub areas to be irrigated with drip system.
- NATIVE LANDSCAPE**
The majority of these areas is preserved native vegetation with areas (e.g., detention basins or areas disturbed by construction) revegetated using the city's Native Seed Mix. These areas are sometimes enhanced with sparse tree plantings, but an overriding goal along the lake is to preserve views to the lake.
 - Applicant proposes dedication of these areas to the City.
 - Revegetated areas may require an irrigation system to aid in the establishment of seed.
- WETLANDS**
These areas have been delineated by the city as wetlands and are to be undisturbed and preserved. They will be included within the native landscape areas.
 - Applicant proposes dedication of these areas to the City.
- 8 FT. WIDE CONCRETE TRAIL
- 6 FT. WIDE CONCRETE TRAIL



SHEET LS - 1
 11 SEPTEMBER 2014
 21 AUGUST 2014
 Phasing Plan

MALLARD BAY

Saratoga Springs, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



TOTAL OPEN SPACE

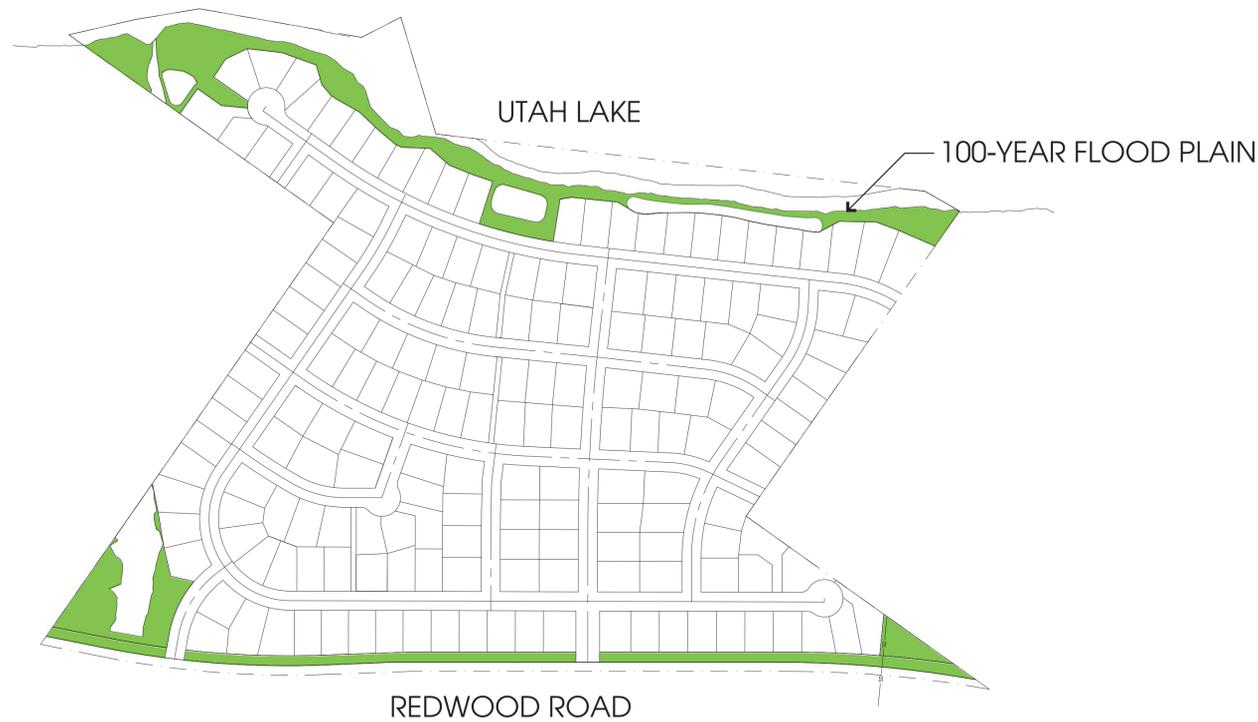
12.49 ACRES
 100%
 17.38% OF TOTAL (15% MIN. REQUIRED)



SENSITIVE LANDS

5.54 ACRES
 45% OF TOTAL OPEN SPACE

- INCLUDES:
- SHORE TO 100-YEAR FLOOD PLAIN
 - WETLANDS
 - DRAINAGE
 - DETENTION



NET OPEN SPACE

6.95 ACRES
 55% OF TOTAL OPEN SPACE



NOT TO SCALE

SHEET LS - 4
 Revised 9 SEPTEMBER 2014
 21 AUGUST 2014
 Open Space Exhibits

MALLARD BAY

Saratoga Springs, Utah
 HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 .
 SANDY, UTAH



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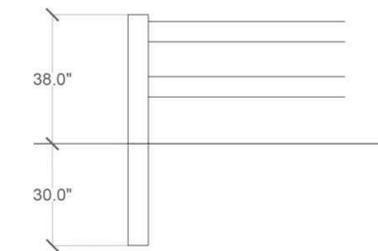
Fencing Legend · Mallard Bay

— 2-rail Vinyl Fence: As manufactured by Bufftech, P.O. Box 860, Valley Forge, PA, and available from Best Vinyl, 525 Suth 850 East, Lehi, Utah, 801.356.2233. 5,115 lineal feet required

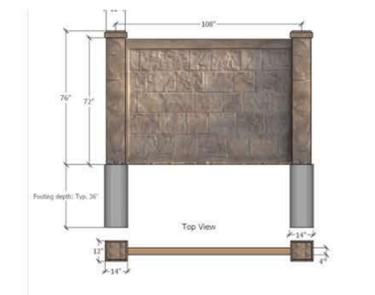
CertaGrain Texture
Color: Sierra Blend

— 6 ft. RhinoRock Concrete Fence: As manufactured by RhinoRock, Provo, Utah, 801.735.8877, rhinorock.com. 1,958 lineal feet required

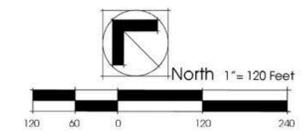
Color: Dialogue



Detail
2-rail Vinyl Fence
Not to Scale



Detail
RhinoRock Fence
Not to Scale

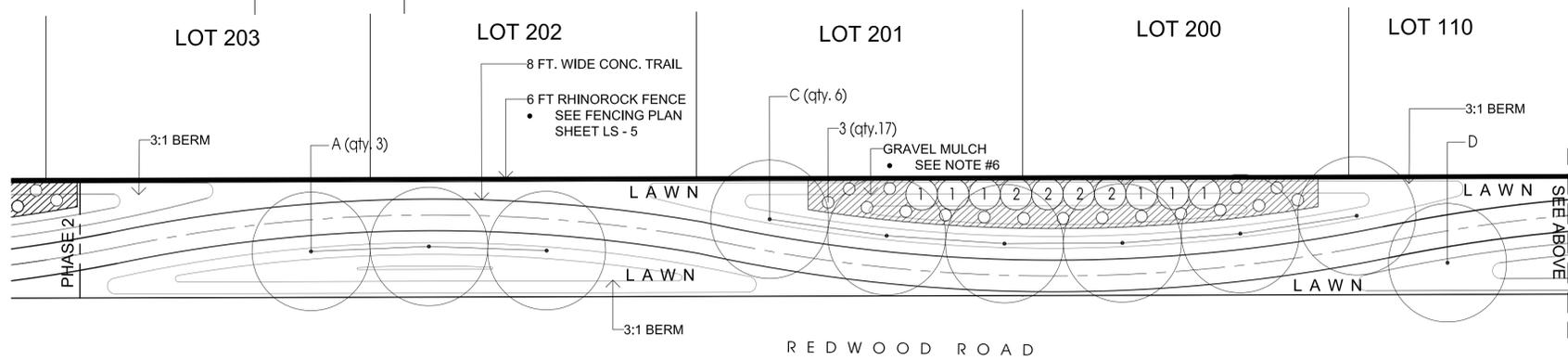
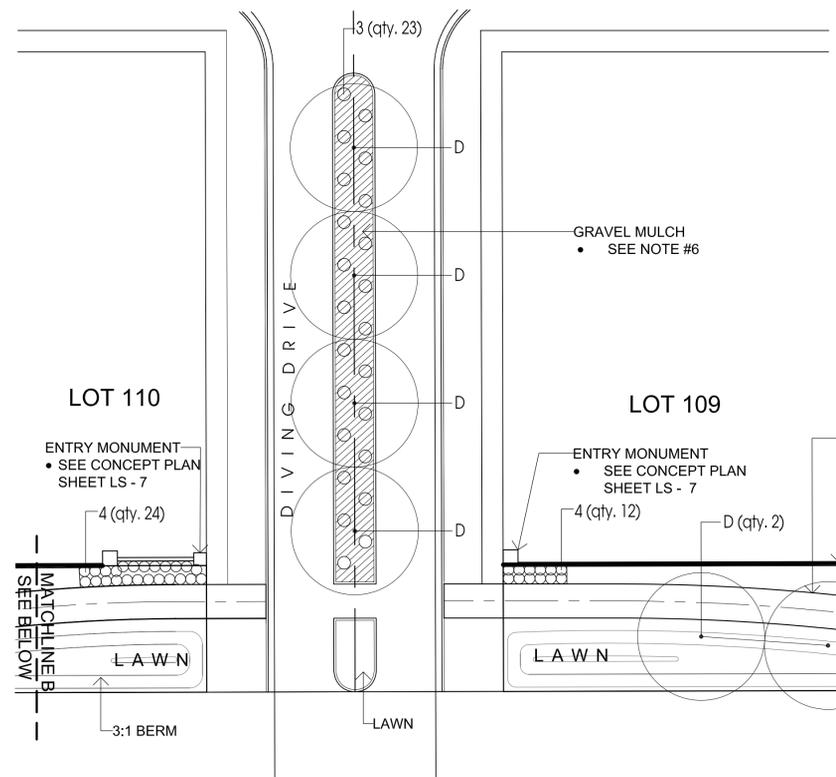
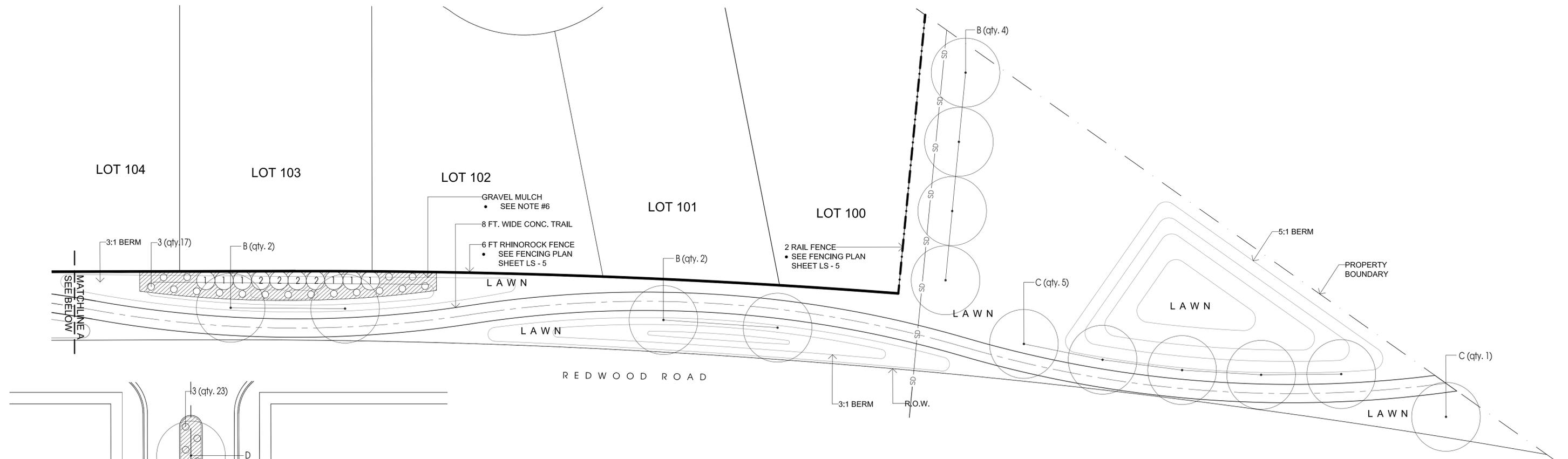


SHEET LS - 5
Revised 9 SEPTEMBER 2014
21 AUGUST 2014
Fencing Plan

MALLARD BAY

Saratoga Springs, Utah

HOLMES HOMES · 126 WEST SEGO LILY DRIVE, SUITE 250 · SANDY, UTAH

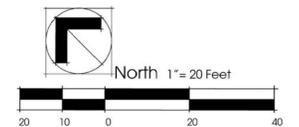


Plant List: Phase One . Mallard Bay . Saratoga Springs, Utah . Holmes Homes

QTY	KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE
6	A	Trees	Acer platanoides 'Emerald Queen'	Emerald Queen Maple	2 1/2" cal.
8	B	Trees	Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Ash	2 1/2" cal.
18	C	Trees	Platanus acerifolia 'Bloodgood'	London Plane Tree	2 1/2" cal.
7	D	Trees	Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden	2 1/2" cal.
18	1	Tall Shrubs	Cornus sericea	Red Osier Dogwood	5 gal.
12	2	Tall Shrubs	Cotoneaster lucida	Hedge Cotoneaster	5 gal.
74	3	Ornamental grasses	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	1 gal.
36	4	Ornamental grasses	Pennisetum a. 'Hameln'	Fountain Grass	1 gal.
0	5	Groundcover	Rhus aromatica 'Grow Low'	Grow Low Sumac	1 gal.

Planting Notes

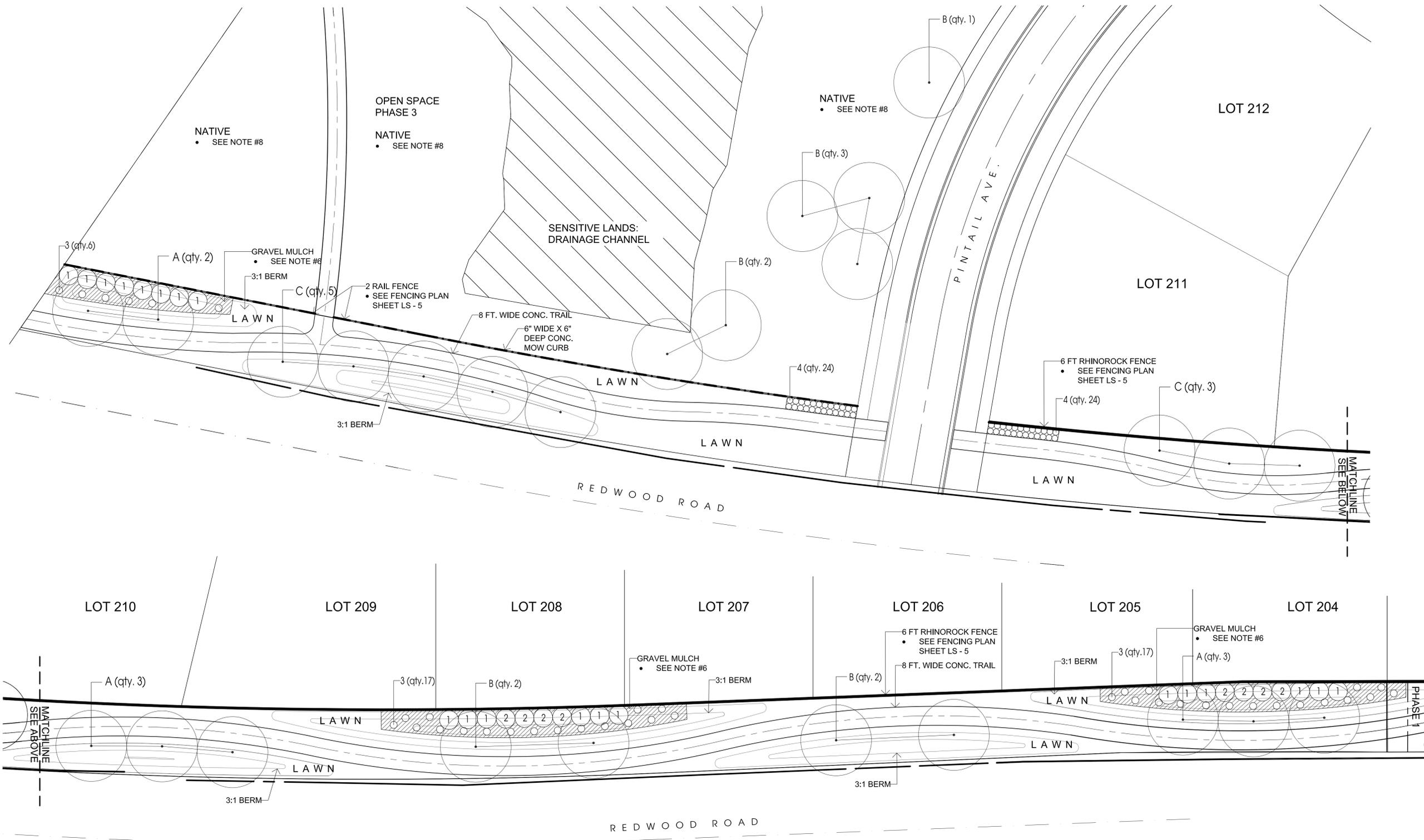
1. Provide and place four (4) inches of topsoil over all lawn areas and eighteen (18) inches over shrub beds prior to commencement of planting operations. The top of sod or soil shall be on (1) inch below edge of sidewalks or curb and gutter.
2. Backfill for all planting pits shall be topsoil or native material excavated from the pit.
3. At shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
4. Install weed barrier fabric over all shrub beds.
5. Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
6. Provide and install 3/4" crushed rock mulch (labeled "gravel") to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
7. All lawn areas shall be installed with sod consisting of primarily *Poa praeatensis*: *Kentucky Bluegrass* species.
8. Areas identified on the planting plan as "Native" are to be protected from disturbance during construction. Any areas disturbed during construction are to be restored and revegetated with the Native Grass Mix and per the city specification.
9. All landscaping is covered by a warranty per the city specification.
10. Refer to the City of Saratoga Springs Specification, Section 02726: Landscaping and Section 02727: Restoring Native Area.



SHEET LS - 6
 Revised 11 SEPTEMBER 2014
 21 AUGUST 2014
 Planting Plan: Phase 1

MALLARD BAY

Saratoga Springs, Utah
 HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



Plant List: Phase Two . Mallard Bay . Saratoga Springs, Utah . Holmes Homes

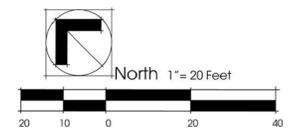
QTY	KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE
8	A	Trees	<i>Acer platanoides</i> 'Emerald Queen'	Emerald Queen Maple	2 1/2" cal.
10	B		<i>Fraxinus pennsylvanica</i> 'Cimmaron'	Cimmaron Ash	2 1/2" cal.
8	C		<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree	2 1/2" cal.
0	D		<i>Tilia tomentosa</i> 'Sterling Silver'	Sterling Silver Linden	2 1/2" cal.
20	1	Tall Shrubs	<i>Cornus sericea</i>	Red Osier Dogwood	5 gal.
8	2		<i>Cotoneaster lucida</i>	Hedge Cotoneaster	5 gal.
40	3	Ornamental grasses	<i>Panicum virgatum</i> 'Heavy Metal'	Heavy Metal Switch Grass	1 gal.
48	4		<i>Pennisetum a.</i> 'Hameln'	Fountain Grass	1 gal.
0	5	Groundcover	<i>Rhus aromatica</i> 'Grow Low'	Grow Low Sumac	1 gal.

Planting Notes

- Provide and place four (4) inches of topsoil over all lawn areas and eighteen (18) inches over shrub beds prior to commencement of planting operations. The top of sod or soil shall be on (1) inch below edge of sidewalks or curb and gutter.
- Backfill for all planting pits shall be topsoil or native material excavated from the pit.
- At shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
- Install weed barrier fabric over all shrub beds.
- Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
- Provide and install 3/4" crushed rock mulch (labeled "gravel") to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
- All lawn areas shall be installed with sod consisting of primarily *Poa praeetensis*; *Kentucky Bluegrass* species.
- Areas identified on the planting plan as "Native" are to be protected from disturbance during construction. Any areas disturbed during construction are to be restored and revegetated with the Native Grass Mix and per the city specification.
- All landscaping is covered by a warranty per the city specification.
- Refer to the City of Saratoga Springs Specification, Section 02726: Landscaping and Section 02727: Restoring Native Area.

Native Grass Mix . Type 3 (Short) . Mallard Bay . Saratoga Springs

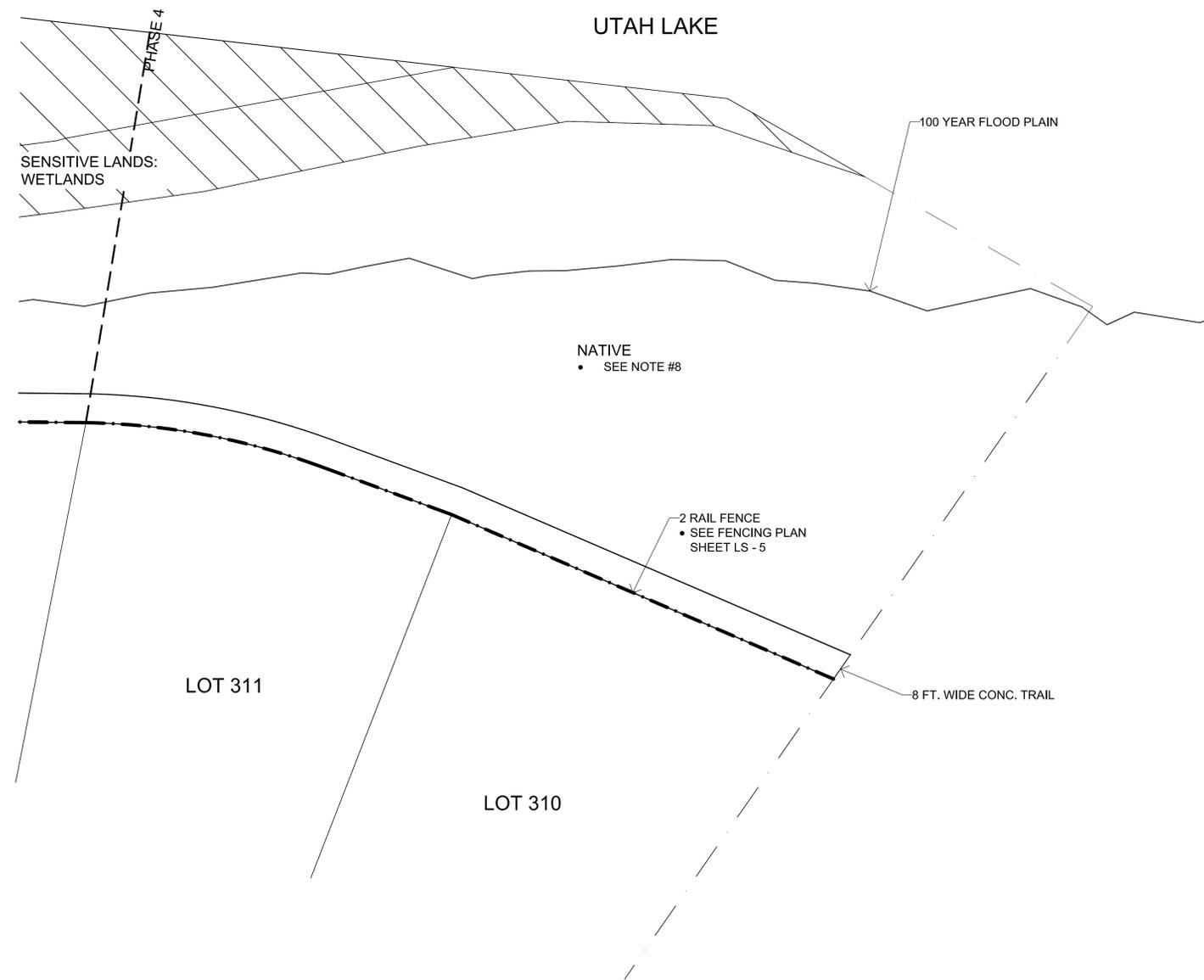
BOTANICAL NAME	COMMON NAME	RATE: PLS/Acre	
<i>Bouteloua gracilis</i>	Blue Grama	4.0	30.77%
<i>Festuca ovina</i>	Sheep Fescue	5.0	38.46%
<i>Poa snabergii</i>	Sandberg Bluegrass	4.0	30.77%
TOTAL:		13.0	100.0%



SHEET LS - 8
 Revised 11 SEPTEMBER 2014
 21 AUGUST 2014
 Planting Plan: Phase 2

MALLARD BAY

Saratoga Springs, Utah
 HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



Plant List: Phase Three . Mallard Bay . Saratoga Springs, Utah . Holmes Homes

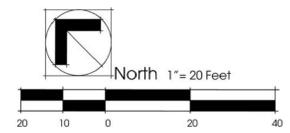
QTY	KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE
0	A	Trees	Acer platanoides 'Emerald Queen'	Emerald Queen Maple	2 1/2" cal.
0	B		Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Ash	2 1/2" cal.
0	C		Platanus acerifolia 'Bloodgood'	London Plane Tree	2 1/2" cal.
0	D		Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden	2 1/2" cal.
0	1	Tall Shrubs	Cornus sericea	Red Osier Dogwood	5 gal.
0	2		Cotoneaster lucida	Hedge Cotoneaster	5 gal.
0	3	Ornamental grasses	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	1 gal.
0	4		Pennisetum a. 'Hameln'	Fountain Grass	1 gal.
0	5	Groundcover	Rhus aromatic 'Grow Low'	Grow Low Sumac	1 gal.

Native Grass Mix . Type 3 (Short) . Mallard Bay . Saratoga Springs

BOTANICAL NAME	COMMON NAME	RATE: PLS/Acre	PERCENT
Bouteloua gracilla	Blue Grama	4.0	30.77%
Festuca ovina	Sheep Fescue	5.0	38.46%
Poa sndbergii	Sandberg Bluegrass	4.0	30.77%
TOTAL:		13.0	100.0%

Planting Notes

1. Provide and place four (4) inches of topsoil over all lawn areas and eighteen (18) inches over shrub beds prior to commencement of planting operations. The top of sod or soil shall be on (1) inch below edge of sidewalks or curb and gutter.
2. Backfill for all planting pits shall be topsoil or native material excavated from the pit.
3. At shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
4. Install weed barrier fabric over all shrub beds.
5. Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
6. Provide and install 3/4" crushed rock mulch (labeled 'gravel') to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
7. All lawn areas shall be installed with sod consisting of primarily *Poa praeiensis* Kentucky Bluegrass species.
8. Areas identified on the planting plan as "Native" are to be protected from disturbance during construction. Any areas disturbed during construction are to be restored and revegetated with the Native Grass Mix and per the city specification. All landscaping is covered by a warranty per the city specification.
9. All landscaping is covered by a warranty per the city specification.
10. Refer to the City of Saratoga Springs Specification, Section 02726: Landscaping and Section 02727: Restoring Native Area.

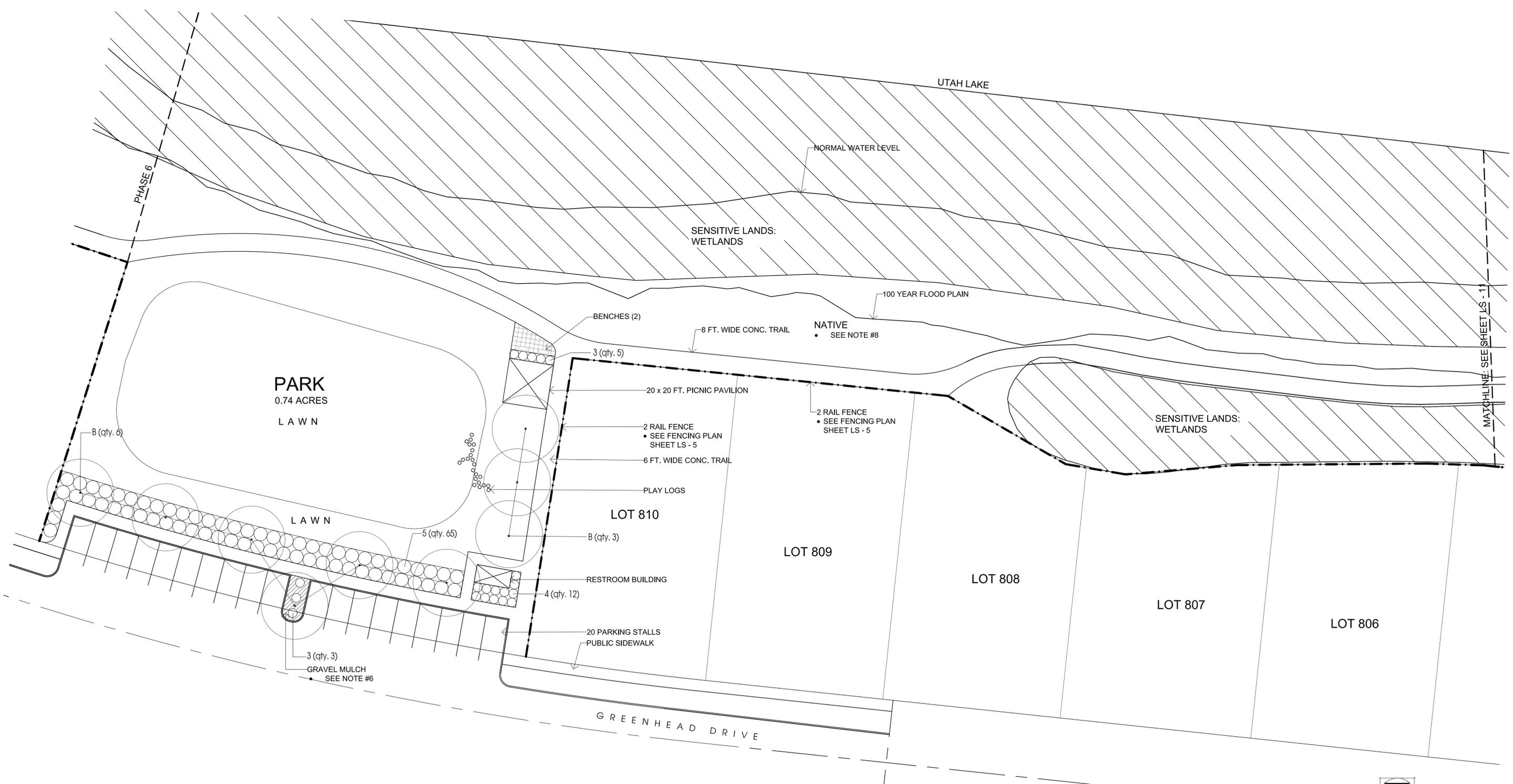


SHEET LS - 9
 Revised 11 SEPTEMBER 2014
 21 August 2014
 Planting Plan: Phase 3

MALLARD BAY

Saratoga Springs, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



Plant List: Phase Four . Mallard Bay . Saratoga Springs, Utah . Holmes Homes

QTY	KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE
0	A	Trees	Acer platanoides 'Emerald Queen'	Emerald Queen Maple	2 1/2" cal.
9	B		Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Ash	2 1/2" cal.
0	C		Platanus acerifolia 'Bloodgood'	London Plane Tree	2 1/2" cal.
0	D		Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden	2 1/2" cal.
0	1	Tall Shrubs	Cornus sericea	Red Osier Dogwood	5 gal.
0	2		Cotoneaster lucida	Hedge Cotoneaster	5 gal.
8	3	Ornamental grasses	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	1 gal.
12	4		Pennisetum a. 'Hameln'	Fountain Grass	1 gal.
65	5	Groundcover	Rhus aromatic 'Grow Low'	Grow Low Sumac	1 gal.

Native Grass Mix . Type 3 (Short) . Mallard Bay . Saratoga Springs

BOTANICAL NAME	COMMON NAME	RATE: PLS/Acre	%
Bouteloua gracilla	Blue Grama	4.0	30.77%
Festuca ovina	Sheep Fescue	5.0	38.46%
Poa sndbergii	Sandberg Bluegrass	4.0	30.77%
TOTAL:		13.0	100.0%

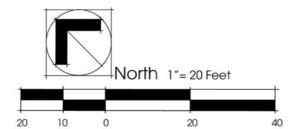
Planting Notes

- Provide and place four (4) inches of topsoil over all lawn areas and eighteen (18) inches over shrub beds prior to commencement of planting operations. The top of sod or soil shall be on (1) inch below edge of sidewalks or curb and gutter.
- Backfill for all planting pits shall be topsoil or native material excavated from the pit.
- At shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
- Install weed barrier fabric over all shrub beds.
- Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
- Provide and install 3/4" crushed rock mulch (labeled 'gravel') to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
- All lawn areas shall be installed with sod consisting of primarily *Poa praelensis*: Kentucky Bluegrass species.
- Areas identified on the planting plan as "Native" are to be protected from disturbance during construction. Any areas disturbed during construction are to be restored and revegetated with the Native Grass Mix and per the city specification.
- All landscaping is covered by a warranty per the city specification.
- Refer to the City of Saratoga Springs Specification, Section 02726: Landscaping and Section 02727: Restoring Native Area.



PICNIC SHELTER

This illustration shows deck and railing which are not to be included.

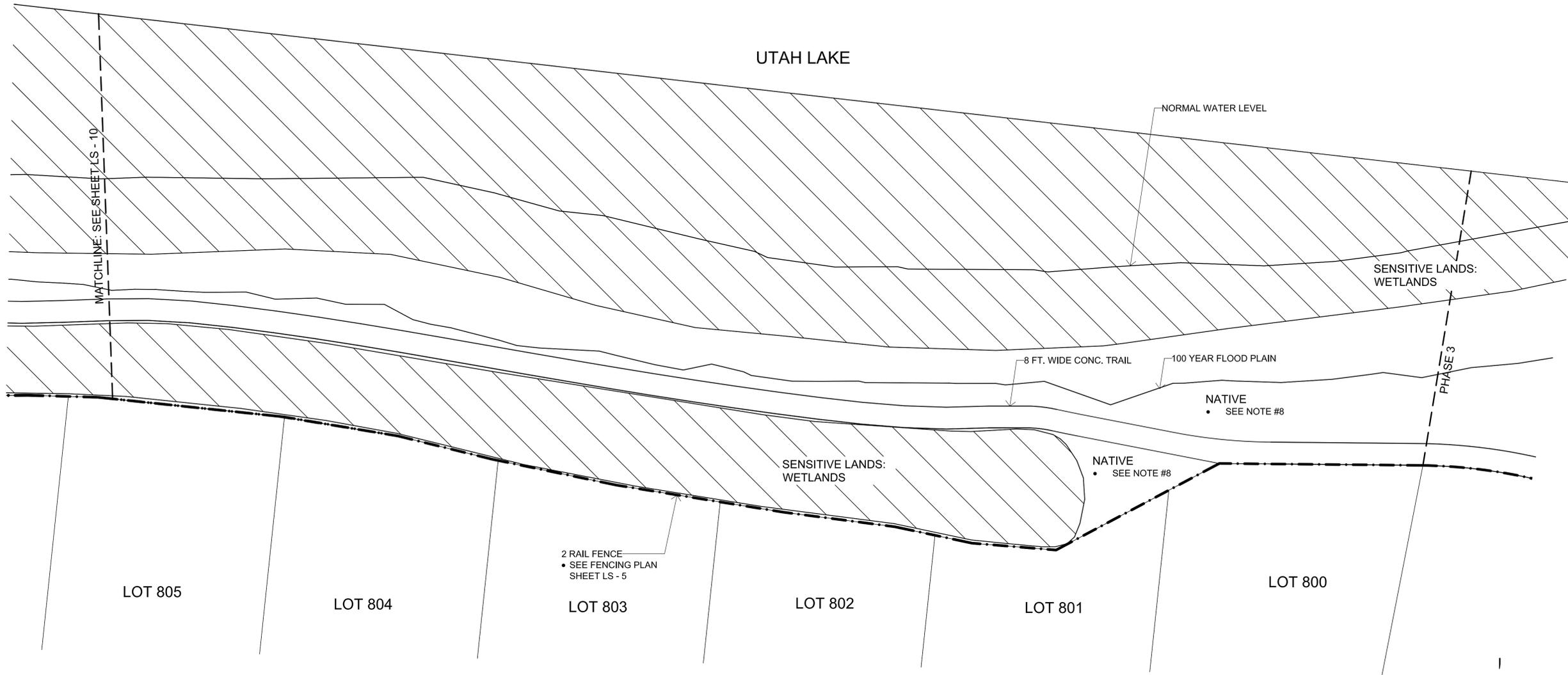


SHEET LS - 10
 Revised 11 SEPTEMBER 2014
 21 AUGUST 2014
 Planting Plan: Phase 4

MALLARD BAY

Saratoga Springs, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



Plant List: Phase Four . Mallard Bay . Saratoga Springs, Utah . Holmes Homes

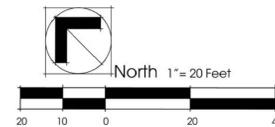
QTY	KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE
0	A	Trees	Acer platanoides 'Emerald Queen'	Emerald Queen Maple	2 1/2" cal.
9	B		Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Ash	2 1/2" cal.
0	C		Platanus acerifolia 'Bloodgood'	London Plane Tree	2 1/2" cal.
0	D		Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden	2 1/2" cal.
0	1	Tall Shrubs	Cornus sericea	Red Osier Dogwood	5 gal.
0	2		Cotoneaster lucida	Hedge Cotoneaster	5 gal.
8	3	Ornamental grasses	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	1 gal.
12	4		Pennisetum a. 'Hameln'	Fountain Grass	1 gal.
65	5	Groundcover	Rhus aromatica 'Grow Low'	Grow Low Sumac	1 gal.

Native Grass Mix . Type 3 (Short) . Mallard Bay . Saratoga Springs

BOTANICAL NAME	COMMON NAME	RATE: PLS/Acre	PERCENT
Bouteloua gracilla	Blue Grama	4.0	30.77%
Festuca ovina	Sheep Fescue	5.0	38.46%
Poa snodgrassii	Sandberg Bluegrass	4.0	30.77%
TOTAL:		13.0	100.0%

Planting Notes

- Provide and place four (4) inches of topsoil over all lawn areas and eighteen (18) inches over shrub beds prior to commencement of planting operations. The top of sod or soil shall be on (1) inch below edge of sidewalks or curb and gutter.
- Backfill for all planting pits shall be topsoil or native material excavated from the pit.
- At shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
- Install weed barrier fabric over all shrub beds.
- Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
- Provide and install 3/4" crushed rock mulch (labeled "gravel") to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
- All lawn areas shall be installed with sod consisting of primarily *Poa praeetensis* Kentucky Bluegrass species.
- Areas identified on the planting plan as "Native" are to be protected from disturbance during construction. Any areas disturbed during construction are to be restored and revegetated with the Native Grass Mix and per the city specification.
- All landscaping is covered by a warranty per the city specification.
- Refer to the City of Saratoga Springs Specification, Section 02726: Landscaping and Section 02727: Restoring Native Area.

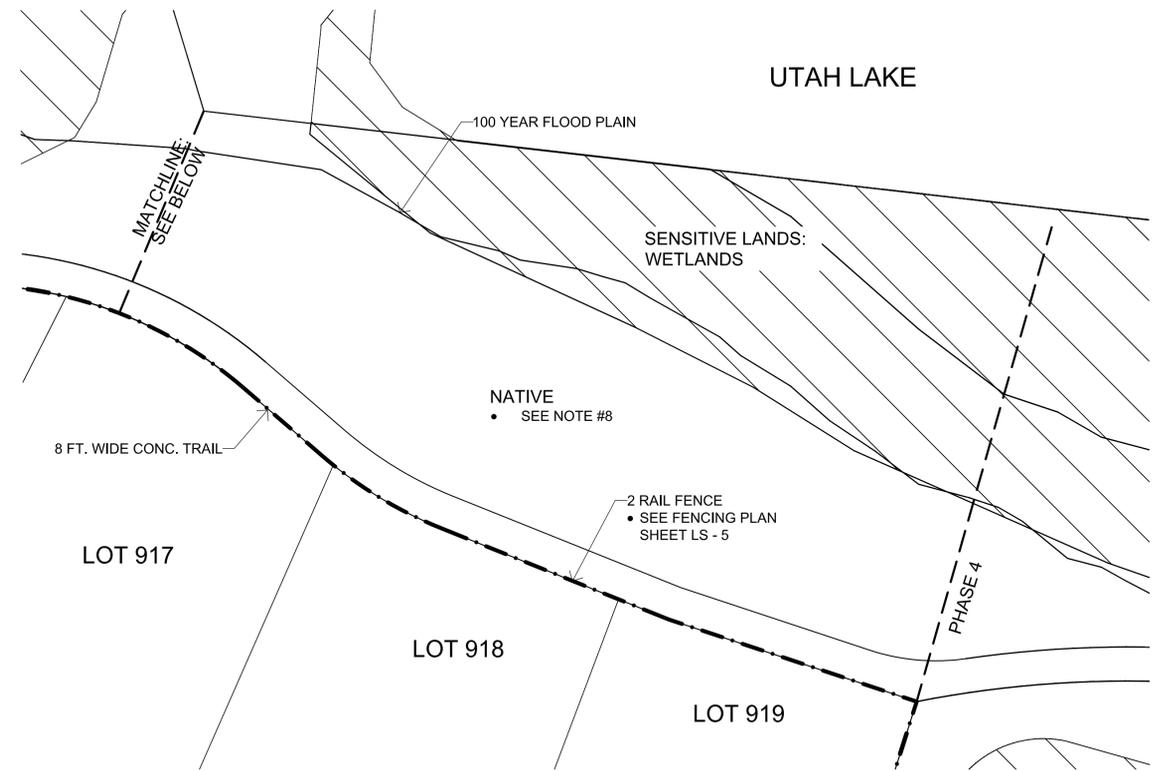
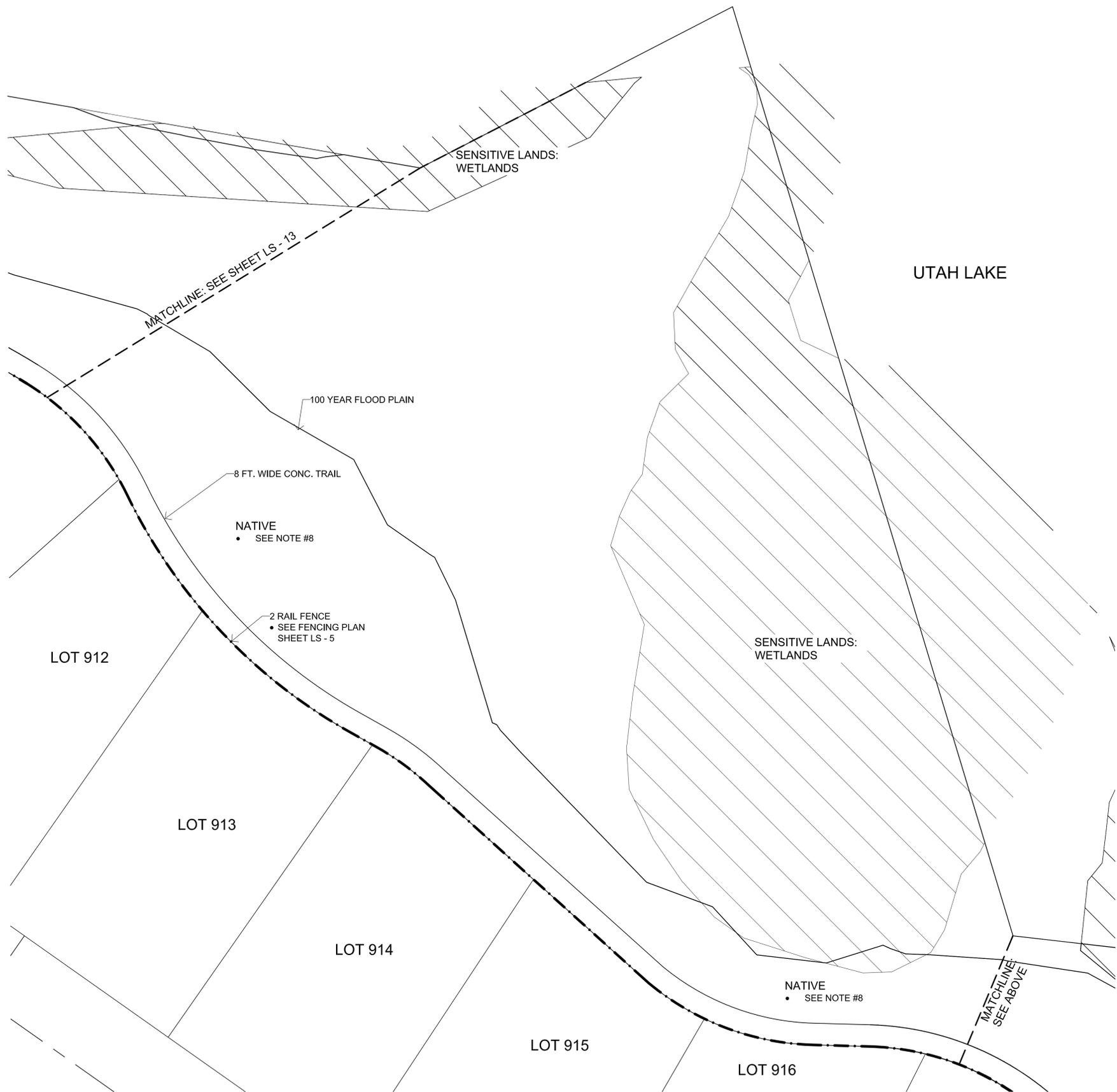


SHEET LS - 11
 Revised 11 SEPTEMBER 2014
 21 AUGUST 2014
 Planting Plan: Phase 4

MALLARD BAY

Saratoga Springs, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



Native Grass Mix . Type 3 (Short) . Mallard Bay . Saratoga Springs

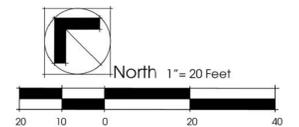
BOTANICAL NAME	COMMON NAME	RATE PLS/Acre	
Bouteloua gracilis	Blue Grama	4.0	30.77%
Festuca ovina	Sheep Fescue	5.0	38.46%
Poa snyderi	Sandberg Bluegrass	4.0	30.77%
TOTAL:		13.0	100.0%

Plant List: Phase Six . Mallard Bay . Saratoga Springs, Utah . Holmes Homes

QTY	KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE
0	A	Trees	Acer platanoides 'Emerald Queen'	Emerald Queen Maple	2 1/2" cal.
0	B		Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Ash	2 1/2" cal.
0	C		Platanus acerifolia 'Bloodgood'	London Plane Tree	2 1/2" cal.
0	D		Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden	2 1/2" cal.
0	1	Tall Shrubs	Cornus sericea	Red Osier Dogwood	5 gal.
0	2		Cotoneaster lucida	Hedge Cotoneaster	5 gal.
0	3	Ornamental grasses	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	1 gal.
0	4		Pennisetum a. 'Hamel'	Fountain Grass	1 gal.
0	5	Groundcover	Rhus aromatica 'Grow Low'	Grow Low Sumac	1 gal.

Planting Notes

- Provide and place four (4) inches of topsoil over all lawn areas and eighteen (18) inches over shrub beds prior to commencement of planting operations. The top of sod or soil shall be on (1) inch below edge of sidewalks or curb and gutter.
- Backfill for all planting pits shall be topsoil or native material excavated from the pit.
- All shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
- Install weed barrier fabric over all shrub beds.
- Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
- Provide and install 3/4" crushed rock mulch (labeled 'gravel') to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
- All lawn areas shall be installed with sod consisting of primarily *Poa pratensis*: Kentucky Bluegrass species.
- Areas identified on the planting plan as "Native" are to be protected from disturbance during construction. Any areas disturbed during construction are to be restored and revegetated with the Native Grass Mix and per the city specification.
- All landscaping is covered by a warranty per the city specification.
- Refer to the City of Saratoga Springs Specification, Section 02726: Landscaping and Section 02727: Restoring Native Area.



SHEET LS - 12
 Revised 11 SEPTEMBER 2014
 21 AUGUST 2014
 Planting Plan: Phase 6

MALLARD BAY

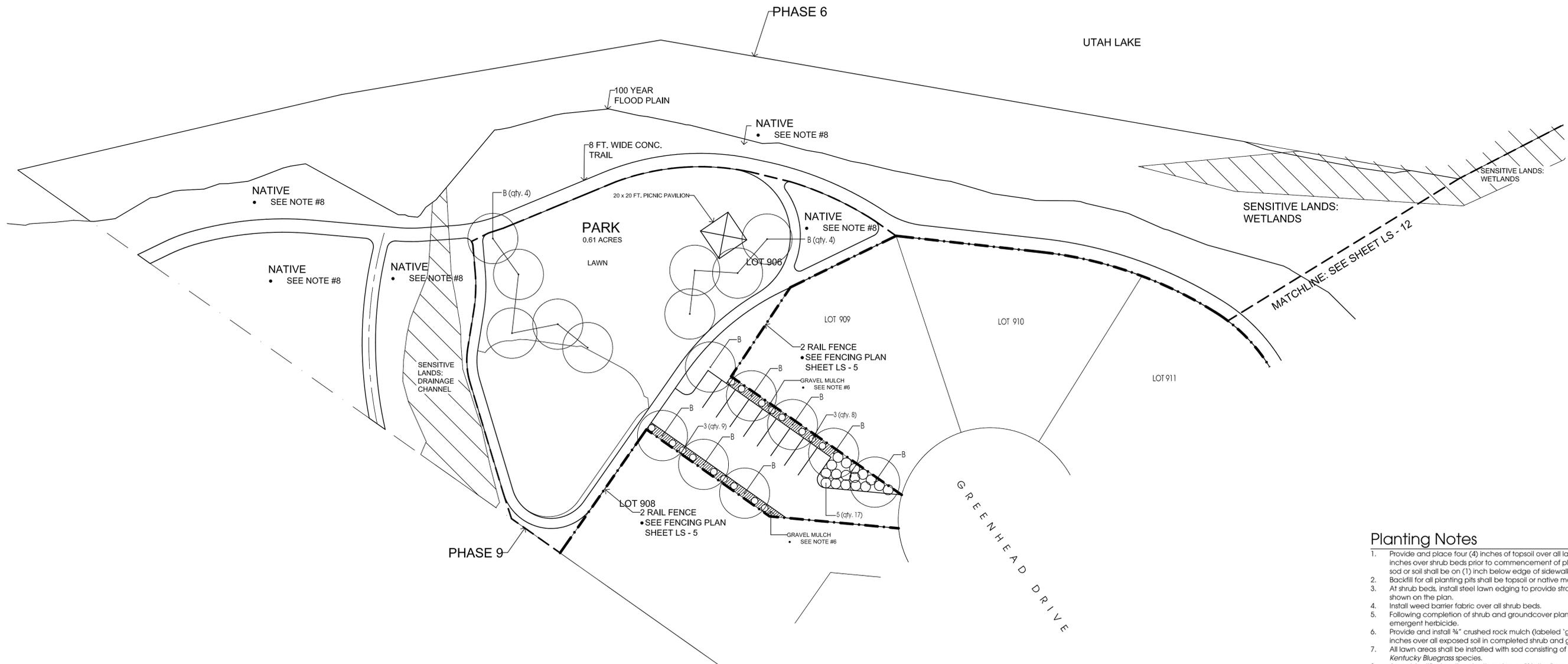
Saratoga Springs, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



R. MICHAEL KELLY
 CONSULTANTS

LAND PLANNING • LANDSCAPE ARCHITECTURE
 P.O. Box 469, Millville, UT 84326 435.753.2955



Planting Notes

1. Provide and place four (4) inches of topsoil over all lawn areas and eighteen (18) inches over shrub beds prior to commencement of planting operations. The top of sod or soil shall be on (1) inch below edge of sidewalks or curb and gutter.
2. Backfill for all planting pits shall be topsoil or native material excavated from the pit.
3. At shrub beds, install steel lawn edging to provide straight lines or smooth curves as shown on the plan.
4. Install weed barrier fabric over all shrub beds.
5. Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
6. Provide and install 3/4" crushed rock mulch (labeled "gravel") to a depth of two (2) inches over all exposed soil in completed shrub and groundcover beds.
7. All lawn areas shall be installed with sod consisting of primarily *Poa praeetensis*: *Kentucky Bluegrass* species.
8. Areas identified on the planting plan as "Native" are to be protected from disturbance during construction. Any areas disturbed during construction are to be restored and revegetated with the Native Grass Mix and per the city specification.
9. All landscaping is covered by a warranty per the city specification.
10. Refer to the City of Saratoga Springs Specification, Section 02726: Landscaping and Section 02727: Restoring Native Area.

Plant List: Phase Six . Mallard Bay . Saratoga Springs, Utah . Holmes Homes

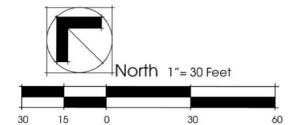
QTY	KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE
0	A	Trees	<i>Acer platanoides</i> 'Emerald Queen'	Emerald Queen Maple	2 1/2" cal.
0	B		<i>Fraxinus pennsylvanica</i> 'Cimmaron'	Cimmaron Ash	2 1/2" cal.
0	C		<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree	2 1/2" cal.
0	D		<i>Tilia tomentosa</i> 'Sterling Silver'	Sterling Silver Linden	2 1/2" cal.
0	1	Tall Shrubs	<i>Cornus sericea</i>	Red Osier Dogwood	6 gal.
0	2		<i>Cotoneaster lucida</i>	Hedge Cotoneaster	6 gal.
0	3	Ornamental grasses	<i>Panicum virgatum</i> 'Heavy Metal'	Heavy Metal Switch Grass	1 gal.
0	4		<i>Pennisetum a.</i> 'Hameln'	Fountain Grass	1 gal.
0	5	Groundcover	<i>Rhus aromatica</i> 'Grow Low'	Grow Low Sumac	1 gal.

Plant List: Phase Nine . Mallard Bay . Saratoga Springs, Utah . Holmes Homes

QTY	KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE
0	A	Trees	<i>Acer platanoides</i> 'Emerald Queen'	Emerald Queen Maple	2 1/2" cal.
17	B		<i>Fraxinus pennsylvanica</i> 'Cimmaron'	Cimmaron Ash	2 1/2" cal.
0	C		<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree	2 1/2" cal.
0	D		<i>Tilia tomentosa</i> 'Sterling Silver'	Sterling Silver Linden	2 1/2" cal.
0	1	Tall Shrubs	<i>Cornus sericea</i>	Red Osier Dogwood	6 gal.
0	2		<i>Cotoneaster lucida</i>	Hedge Cotoneaster	6 gal.
17	3	Ornamental grasses	<i>Panicum virgatum</i> 'Heavy Metal'	Heavy Metal Switch Grass	1 gal.
0	4		<i>Pennisetum a.</i> 'Hameln'	Fountain Grass	1 gal.
17	5	Groundcover	<i>Rhus aromatica</i> 'Grow Low'	Grow Low Sumac	1 gal.

Native Grass Mix . Type 3 (Short) . Mallard Bay . Saratoga Springs

BOTANICAL NAME	COMMON NAME	RATE: PLS/Acre	
<i>Bouteloua gracilis</i>	Blue Grama	4.0	30.77%
<i>Festuca ovina</i>	Sheep Fescue	5.0	38.46%
<i>Poa sdnbergii</i>	Sandberg Bluegrass	4.0	30.77%
TOTAL:		13.0	100.0%



PICNIC SHELTER

This illustration shows deck and railing which are not to be included.

SHEET LS - 13
 Revised 11 SEPTEMBER 2014
 21 AUGUST 2014
 Planting Plan: Phases 6 & 9

MALLARD BAY

Saratoga Springs, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



R. MICHAEL KELLY
 CONSULTANTS

LAND PLANNING • LANDSCAPE ARCHITECTURE
 P.O. Box 469, Millville, UT 84326 435.753.2955

City of Saratoga Springs
Planning Commission Meeting
September 11, 2014

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Planning Commission Minutes

Present:

Commission Members: Jarred Henline, Kirk Wilkins, Sandra Steele, Eric Reese, Kara North

Staff: Kimber Gabryszak, Nicolette Fike, Scott Langford

Others: Jennifer Zirkes, Wayne Anderson, Tavah Babcock, Bob Krejei, Justin Coerg, Kevin Tenney

Excused: Jeff Cochran, Hayden Williamson

Call to Order - 6:32 p.m. by Vice Chairman Eric Reese

Pledge of Allegiance - led by Kirk Wilkins

Roll Call – Quorum was present

Public Input Open by Eric Reese

No comment at this time.

Public Input Closed by Eric Reese

4. Public Hearing and Possible Recommendation: Home Occupation for Little Redd Preschool located at 77 Nine Iron Court, Tavah Babcock, applicant.

Scott Langford presented the application for the preschool.

Tavah Babcock brought a letter from the neighbor indicating that they are ok with the preschool using their driveway, but Tavah has asked all the parents to not use the neighbor driveway as a courtesy measure.

Sandra Steele is ok with the preschool because of the circular driveway so that children do not have to be on the street. She asked if the kids are dropped off to walk in.

Tavah Babcock indicated that they were.

Sandra Steele wanted to add the conditions of no additional employees, and that they must receive approval of the Health Department, and that there be no function where all the parents are parked at once, like a graduation.

Kirk Wilkins was in favor of the application.

Kara North had no concerns and thought it looked good.

Jarred Henline was fine with the plan and did not agree with commissioner Steele's suggestions for additional conditions.

Eric Reese asked if she could see parents when they pulled up from the preschool.

Tavah Babcock said there was a back door and that people walked around to pick their kids up. Parents park in the visitor spots in the middle of the cul-de-sac and she hasn't had any complaint from neighbors so far.

Public Hearing Open by Eric Reese

No comments at this time.

Public Hearing Closed by Eric Reese

Motion by Sandra Steele that Based upon the evidence and explanations received today and the findings listed in the staff report, that the Planning Commission approve a conditional use permit to allow for a home occupation for the Little Redd Preschool on property located at 77 Nine Iron Court, subject to the following conditions: that a business license must be obtained prior to operation, The home occupation shall comply with all of the standards listed in Section 19.08.02 of the Land Development Code. No more

than 7 children may attend any one class. It must receive the approval of the Utah Department of Health, and there be no congregate function of all parents of all classes. - *No second was obtained.*

Motion by Jarred Henline that Based upon the evidence and explanations received today and the findings listed in the staff report, I move that the Planning Commission approve a conditional use permit to allow for a home occupation for the Little Redd Preschool on property located at 77 Nine Iron Court, subject to the three conditions in the staff report. Second by Kara North.

Sandra Steele said there are other requirements in the code they need to put in.
It was indicated that those were requirements by code and not needed in the motion.

Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

5. Public Hearing and Possible Recommendation: Home Occupation for Tumble Bugs Gymnastics located at 3362 South Hawk Drive, Clint and Jennifer Zirker applicant.

Scott Langford presented the application for the gym. They believe due to the staggering of times that the impact of drop off and pick up is lessened.

Jennifer Zirker clarified there were 4 classes on Monday and Tuesday but there were 15 min between classes.

Public Hearing Open by Eric Reese

No comments at this time.

Public Hearing Closed by Eric Reese

Jarred Henline asked for clarification of the classes and times.

Jennifer Zirker replied with the times and that the closes between classes was about 15 minutes.

Jarred Henline would approve the application as presented.

Kara North appreciated the gap in times but thought it would benefit from a wider gap between classes. She would approve the application.

Kirk Wilkins also wanted to know that she would always have a gap and asked the highest number of children.

He was in favor of the application.

Jennifer Zirker replied 5 children plus her own child in class.

Sandra Steele was concerned about the parking of parents, especially for recitals.

Jennifer Zirker replied that her insurance wouldn't allow recitals.

Eric Reese asked about how the kids and parents entered the gym.

Jennifer Zirker replied there was a back door into the basement.

Motion by Kara North that Based upon the evidence and explanations received today and the findings listed in the staff report, I move that the Planning Commission approve a conditional use permit to allow for a home occupation for the Tumble Bug Gymnastic class on property located at 3362 South Hawk Drive, subject to the conditions listed in staff with a correction to item 3 maximum or no more than 4 per classes per day and no congregate events. Second by Sandra Steele Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

6. Public Hearing: Preliminary Plat for Mallard Bay located at between 2800 South and 3000 South and Redwood Road, Holmes Homes, applicant.

Continued to the September 25, 2014 Planning Commission meeting

Item 8 was pulled out of order to accommodate a person who needed to speak on the issue.

8. Public Hearing and Possible Recommendation: Code Amendments for Chapter 19.05, Supplementary Regulations regarding swimming pool setbacks to the City of Saratoga Springs Land Development Code.

Kimber Gabryszak presented the proposed Code amendments. This came about because of a recent application. The code was that it was allowed in rear of side yard but with a 5 foot setback. But in the case of a corner lot the setback was 25 feet. The new code would be that a pool is only allowed in rear and side yard (not street side) area, no closer than 5 feet from lot line all around.

Public Hearing Open by Eric Reese

Justin Coerg said he couldn't find a corner lot in the city that where a pool would be possible.

Kevin Tenney felt the code did not make any sense when his neighbors could put a pool almost up to his fence and he would have had a 25 foot setback.

Public Hearing Closed by Eric Reese

Sandra Steele had a concern that a pool would be in a side yard near a neighbor's window and the noise problems that would cause. If it was in the rear yard there was a lot more space between the pool and a neighboring rear yard house. She thinks if we let up too much on this code that we will have to give in to more code changes for sports courts and such. She couldn't support it where there were larger utility easements. She also feels that on many lots if it was allowed to go in a side yard that there would be a 6 foot fence in someone's front yard. She thinks there was a good reason that the code was the way it was. She is also worried about lighting next to a neighbor. She offers a compromise that if it was next to a neighbor's garage she would be ok with it. Also, if it were behind the rear plain of the adjacent house, she could support it.

Eric Reese asked what she thinks about a conditional use. Sandra deferred to Kimber.

Kimber Gabryszak said she wouldn't like to see it as a conditional use because it's a large process and expense. They may want to consider putting in extra conditions like no lights after a certain hour.

Kara North noted that there is a city noise ordinance anyway.

Kirk Wilkins noted growing up around a lot of pools; he wanted to know the logic behind why a corner lot could not have had a pool in the side yard where the neighbor would be able too next to him. He would be in support of decreasing the restriction.

Kara North asked for clarification from Sandra Steele about her concern with the noise and that there could be noise from kids playing anyway.

Sandra Steele feels the noise difference is higher.

Kara North asked Kimber about where it was not allowed in the Public Utility Easement, are they allowed to get permission from the Utility commission to build it only 5 ft. from the fence

Kimber Gabryszak replied they could apply to get the easement changed on their plat from 10' to 5'.

Kara North then said she had no problem with it.

Jarred Henline asked Kimber if the other cities had similar ordinances.

Kimber Gabryszak replied that she had looked at other cities, not necessarily adjacent cities. There were similar set back requirements that were uniform on all lots.

Jarred Henline thought it was publicly noticed and people aren't here to complain and he is in favor of the change in the code. It's a big financial risk to people to change the easement if need and he would approve it without the line about shall not be located within any public utility easement because that would be at their risk.

Justin Coerg noted that in his experience most people like pools, that it increases property values all around.

Sandra Steele asked why there were easements all over with differing sizes and usually there is nothing in them.

Kimber Gabryszak responded that they do a lot of coordination with surrounding cities, PUE's was something one of the other cities was dealing with and she said two of the cities had done away with them internally on the lots. It is something on their list to look at.

Eric Reese wouldn't worry about the noise so much and that he would be good with passing it.

Motion by Kara North Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendment to Section 19.05, with the Findings and Conditions within the report with the exception to subsection d.

Kimber clarified that they wanted to remove section d. “**Remove criteria d. regarding public utility easement.**”

Kara said yes.

Seconded by Jarred Henline.

Sandra Steele asked about fencing.

Kimber Gabryszak said the code would keep the 6 foot fence out of the front yard plain of the neighbors.

Kara North didn't think fencing was something to add on this amendment.

Jason Coerg questioned if they removed it than they wouldn't have to get the easements removed?

Kimber Gabryszak said they would still technically need to because it was shown on the plat.

Aye: Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Nay: Sandra Steele. Motion passed 4 to 1.

Jarred Henline asked hypothetically that if a lot has been there with a fence before the adjacent lot is built and if they built behind the current fence that it should be an exception for that.

Kimber Gabryszak noted that in that case they wouldn't do too much unless it was causing a public health and safety issue.

7. Public Hearing and Possible Recommendation: Code Amendments for Title 19 of the City of Saratoga Springs Land Development Code.

Kimber Gabryszak presented the proposed Code amendments. There were some possible additions of Contract Services Office and Outdoor/Vehicle Storage. There wasn't any industrial currently zoned in the city. She continued through the other sections and the proposed amendments 19.05.11 was all new as per discussions with Commissioners previously.

Kirk Wilkins asked to clarify where the height was measured on a hip or gable roof.

Kimber replied that it was measured by the mean between the eaves and ridge. Mansard was on the top. She then continued with changes.

Sandra Steele asked why a conditional use in Office Warehouse on a Contract Services Office.

Kimber Gabryszak answered because it was a use that could have a lot of impact for instance if it was near a residence. They could make it a permitted use in that zone.

Sandra Steele thought that was what an office warehouse ought to be.

Kimber Gabryszak replied they would do it.

Sandra asked why Self Storage was conditional use.

Kimber Gabryszak replied that is the way it was already so they left it.

Kirk Wilkins said he would like it to remain conditional especially if it was next to residential. He questioned some places where it said opaque fence instead of solid.

Kimber Gabryszak said they could change it to opaque where it was elsewhere.

Sandra Steele was afraid where it talked about housing of animals that someone would come in and say a chicken was not an animal.

Kirk Wilkins noted that it said a shed roof shall not drain on an adjacent property and would a rain gutter comply with that.

Kimber said yes. She asked about leaving in 6 ft. fence requirement for accessory buildings.

Jarred thought back to back yard was good and grandfather any existing structures in and start enforcement from here forward.

Kirk Wilkins asked about the solid fences and if people who had a semi solid fence could they not have a shed? He would like to not restrict those that choose to build a metal fence.

Kimber Gabryszak replied that this applies only to those that build within the setback.

Sandra Steele thought the solid fence would lessen the impact of the view to neighbors. She would like to keep the opaque fence.

Kirk Wilkins would like to have the rod iron and opaque or back yard to back yard have equal rights.

Kara North agrees with Commissioner Wilkins.

Jarred Henline would like to allow whatever type of fence, not necessarily solid. Many Neighborhoods have their own requirements and whatever they require should be fine.

Public Hearing Open by Eric Reese

Wayne Anderson spoke to the Contract Services Office change to the code. He was looking to relocate his business to Saratoga Springs and had looked at entering application for rezoning; they found there was nothing to really cover their type of business, so they were asking to the code to allow their type of business. (Asphalt repaving and concrete work) They would have a fence and equipment in a back area, business in the front with a shop behind.

Public Hearing Closed by Eric Reese

Kimber Gabryszak noted that this situation would be a combination of Outdoor storage and Contract Services. They have to do a General Plan amendment and a zone change but that wasn't feasible without this code amendment.

Sandra Steele asked why there wasn't any industrial use allowed.

Kimber Gabryszak said there are no spaces on the current General Use Land map for industrial but there are areas that could be changed to that. She showed the area that Mr. Anderson was looking at. She noted other areas where they haven't been able to address the outdoor storage or contractor services in the past and staff recognized it might be a need. She noted the changes proposed to 19.15 on Conditional Use Permits. She asked if commission would be amenable to having the 5 year limit with rolling extensions only on Vehicle Storage as opposed to Outdoor storage as well.

Eric Reese indicated that they were.

Kirk Wilkins noted that Conditional Use meant that it would be a case by case basis, so they would see the plans before it was approved, so the question today was whether or not they open themselves up to this type of plan.

Kimber Gabryszak continued with more code changes in Landscaping and Fencing. She noted that recently Council had approved a similar thing for Legacy Farms where when the fence was along a road they could have a privacy fence. The traffic along the road would provide the eyes on the open space.

Sandra Steele was concerned that a private fence would obstruct the view to the lake. Part of the reason they went along with it on Legacy Farms was because of the big berm.

Kirk Wilkins asked about semi-private fencing and those owners being allowed to gain any privacy.

Kimber Gabryszak said this new code would allow that when along a road. The standard now is that when along open space it needs to be semiprivate, but not necessarily short. Those along a open space corridor that was not along a road would still need semi-private fences.

Sandra Steele would not like to have the view of the lake along Redwood Road being potentially blocked because of a high private fence.

Kimber Gabryszak replied they could hold Redwood Road to a higher standard and give it its own code requirement for semiprivate along highways. To have it be Semi-private along arterials, and privacy along others.

Kirk Wilkins asked about parallel fencing where a semiprivate fence is not sufficient for security.

Kimber Gabryszak noted they had this problem currently. With this code change they could work with the city to replace the fence. This would prohibit them from putting a fence inside of another.

Kimber Gabryszak continued with the amendments in the remaining sections. 19.09 – Parking, 19.11 – Lighting, 19.12 – Subdivisions, 19.13 – Development Review Processes, 19.14 – Site Plan Review. She then reviewed suggestions and comments by commissioners.

Sandra Steele asked chair if they could separate the motions by chapters.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.02 with the findings and conditions found in the staff report. Second by Sandra Steele Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.04 with

the findings and conditions in the Staff Report, with the additional condition that Contractor Use be permitted in Office Warehouse Zone. Second by Kara North. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.05 with the findings and conditions found in the Staff Report, with the additional conditions that the language regarding animals state that it is animals and birds, that the fence language in 19.05.11.3.k be removed and that added language in 19.05.11.3 be put in place to specify back to back yards, and that a recommendation be forwarded to the City Council to grandfather in those which are non-compliant with these changes or are in the current process of being built as well. Second by Kirk Wilkins Aye: Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Nay: Sandra Steele. Motion passed 4 to 1.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.06 with the findings and conditions found in the Staff Report, including a change be made that only semi-private fencing be required along arterial roads. Second by Kara North. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.09 with the findings and conditions found in the Staff Report, Seconded by Kara North. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.12 with the findings and conditions as found in the Staff Report. Second by Kara North. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.13 with the findings and conditions found in the Staff Report. Seconded by Kirk Wilkins. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.14 with the findings and conditions found in the Staff Report. Seconded by Kirk Wilkins. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

Motion by Jarred Henline, Based upon the evidence and explanations received today, I move to forward a positive recommendation to the City Council for the proposed amendments to Section 19.15 with the findings and conditions as outlined in the Report. Seconded by Sandra Steele. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

9. Approval of Reports of Action.

Kimber Gabryszak reviewed the actions. 19.05, she reviewed comments by Commissioners and the positive recommendation to Council.

Motion by Jarred Henline to accept the Reports of Action as presented tonight by Kimber, Seconded by Kara North. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

10. Approval of Minutes:

1. August 28, 2014.

Motion by Jarred Henline to approve the minutes for August 28, 2014. Seconded by Kara North. Aye: Sandra Steele, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.

11. Commission Comments.

No Comments at this time.

12. Director's Report.

Kimber Gabryszak reviewed Council actions from their last meeting. She apprised Commissioners of what would be coming up on their agenda. She updated the Commission on current projects.

Meeting adjourned by Vice Chairman Eric Reese

Adjourn 8:53 pm

Date of Approval

Planning Commission Chair
Jeff Cochran

Lori Yates, City Recorder