



**RIVERDALE CITY PLANNING COMMISSION AGENDA
CIVIC CENTER - 4600 S. WEBER RIVER DR.
TUESDAY NOVEMBER 26, 2024**

6:00 p.m. – Planning Commission Work Session Meeting (Conference Room)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items -Planning Commission Training *to be determined*

6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Public Comment

This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes. No action will be taken during public comment.

C. Presentations and Reports

1. Community Development update.

D. Consent Items

1. [Consideration of Meeting Minutes from:](#)
October 22, 2024 Work Session
October 22, 2024 Regular Meeting

E. Action Items

1. [Consideration of recommendation to City Council for Expired Final Site Plan Re-Approval for Riverdale Apartments, located at 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.](#)

F. Comments

1. Planning Commission
2. City Staff

G. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted on this 22nd day of October, 2024 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at <http://www.riverdalecity.com/> and 3) the Public Notice Website: <http://www.utah.gov/pmn/index.html>.

Michelle Marigoni
Riverdale City Recorder

Minutes of the **Regular Session** of the Riverdale City **Planning Commission** held Tuesday, October 22, 2024, at 6:30 p.m., at the Civic Center, 4600 S Weber River Drive., Riverdale City, Weber County, Utah.

Present:

Commissioners:	Kent Anderson, Chair Rikard Hermann, Commissioner Wanda Ney, Commissioner Celeste Noland, Commissioner Randy Poulsen, Commissioner
City Employees:	Brandon Cooper, Community Development Director Michelle Marigoni, City Recorder
Excused:	Colleen Henstra, Commissioner Amy Ann Spiers, Vice Chair
Visitors:	Jake Tate Tim Snideman

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:30 p.m. Chair Anderson welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except for Commissioners Henstra and Spiers who were excused. Members of the city staff were also present.

B. Public Comment

Commissioner Anderson asked if any members of the public had comments. There were none.

C. Presentations and Reports

Mr. Cooper provided updates on upcoming projects and ongoing business developments:

- Changes to the 4400 South Roundabouts are conceptual, associated with the AFCU campus project, with no finalized plans. Jake Tate from AWA Engineering explained that the AFCU Master Plan aims to bring significant economic growth to the area. Roundabouts offer consistent traffic flow, but signals provide better control and timing for movement. Phasing out roundabouts will depend on traffic analysis and regional growth. Bridges will also be widened to accommodate increased traffic.
- Commissioner Hermann inquired whether multi-lane roundabouts could match the efficiency of signalized intersections. Mr. Tate acknowledged the possibility but noted the need for further research on their safety. Commissioners Noland and Poulsen raised concerns about safety risks, particularly regarding the nearby school. Mr. Tate assured them that traffic calming measures would be included in the planning.
- Chair Anderson asked if this issue would come before the Planning Commission. Mr. Cooper confirmed it would not, though some council members share similar concerns. He will collaborate with AWA and UDOT to gather more information.

D. Consent Items

1. Consideration of Meeting Minutes from:

September 24, 2024 Work Session
September 24, 2024 Regular Meeting

Chair Anderson asked if there were any corrections to the minutes. Commissioner Ney noted two missing words, and Commissioner Noland identified an adjustment in the welcome and roll call section. Commissioner Hermann moved to approve the consent items with corrections. Commissioner Noland seconded the motion, which passed unanimously in favor.

E. Action Items

1. **Consideration of recommendation to City Council for an Amended Subdivision Plat for the AFCU Corporate Campus Subdivision, located at 4646 South 1500 West, Riverdale Utah, as requested by America First Credit Union and AWA Engineering.**

Mr. Cooper introduced Jake Tate (AWA) and Tim Snideman (AFCU). He provided background on the proposal, noting additional property acquisition and city staff's recommendation for approval, subject to specific recommendations.

Discussion:

- Commissioner Poulsen inquired whether the tallest building met airport height restrictions. Mr. Snideman confirmed compliance following airport review.
- Commissioner Poulsen also asked about drainage issues on Riverdale Road. Mr. Tate explained drainage is being redirected to an existing retention pond, with additional drains installed during the hillside project.
- Chair Anderson suggested some questions were more relevant to the second agenda item. Commissioner Noland asked about four items needing corrections, all of which were addressed in the meeting packet.
- Mr. Cooper noted that due to the latest subdivision changes by the state, the Planning Commission is the land use authority and therefore will be the final decision on this item (not a recommendation to council).

Motion: Commissioner Poulsen moved to approve subject to any outstanding staff recommendations for the amended Subdivision Plat for the AFCU Corporate Campus Subdivision, located at 4646 South 1500 West, Riverdale Utah, as requested by America First Credit Union and AWA Engineering.

Second: Commissioner Hermann

Vote:

Commissioner Spiers:	Absent
Commissioner Ney:	Yes
Commissioner Anderson:	Yes
Commissioner Poulsen:	Yes
Commissioner Hermann:	Yes
Commissioner Henstra:	Absent
Commissioner Noland:	Yes

Motion passed unanimously.

2. **Consideration to forward a recommendation to City Council for Final Site Plan request for AFCU Hillside for property located at 4580 S 1500 W, Riverdale Utah, as requested by America First Credit Union and AWA Engineering.**

Mr. Cooper presented the site plan details.

Discussion:

- Commissioner Noland commended AFCU for their stewardship and project intentions.
- Commissioner Ney asked about water drainage in the hillside area. Mr. Tate confirmed measures involving a Geotech review and drainage solutions leading to a retention pond. Structural stabilization includes I-beams installed at varying depths, similar to those used in freeway bridges.
- Commissioner Ney also inquired about fencing between the freeway and terraces. Mr. Tate clarified the area is not public and accessible only to maintenance workers.
- Commissioner Hermann praised the landscaping and asked about potential non-commercial uses on campus. Mr. Tate mentioned plans for retail, restaurants, hotels, and on-site amenities, with ongoing discussions with UTA and UDOT about traffic mitigation.

Motion: Commissioner Noland moved to forward a favorable recommendation to City Council for Final Site Plan request for AFCU Hillside for property located at 4580 S 1500 W, Riverdale Utah, as requested by America First Credit Union and AWA Engineering, considering that all staff requirements are met.

Second: Commissioner Ney

Vote:

Commissioner Hermann:	Yes
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Commissioner Poulsen:	Yes
Commissioner Henstra:	Absent
Commissioner Spiers:	Absent
Commissioner Noland:	Yes
Commissioner Anderson:	Yes
Commissioner Ney:	Yes

Motion passed unanimously.

F. Comments

- Commissioner Ney discussed a KSL article, confirming Mr. Brooks' involvement in approving Mr. Cooper's statements. Mr. Cooper clarified discrepancies in the article and expressed the city's disappointment.
- Chair Anderson raised concerns about excessive lighting in the "At Home" parking lot.

G. Adjournment

As there was no further business to discuss, Commissioner Hermann moved to adjourn. Commissioner Ney seconded the motion. All were in favor and the Planning Commission meeting adjourned at 7:49 p.m.

Date Approved:

Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday October 22, 2024, at 6:00 p.m., at the Civic Center, 4600 S Weber River Dr, Riverdale City, Weber County, Utah.

Present:

Commissioners:	Kent Anderson, Chair Rikard Hermann, Commissioner Wanda Ney, Commissioner Celeste Noland, Commissioner Randy Poulsen, Commissioner
City Employees:	Brandon Cooper, Community Development Director Michelle Marigoni, City Recorder
Excused:	Colleen Henstra, Commissioner Amy Ann Spiers, Vice-Chair
Visitors:	

A. Welcome & Roll Call

The Planning Commission Work Session began at 6:06 p.m. Chair Anderson welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except for Commissioners Spiers and Henstra, who were excused. Members of the city staff were also present.

B. Public Comment

C. Presentations and Reports

Brandon Cooper updated the commission on the 1050 Roundabout. The cost estimate has increased, so Mr. Cooper requested additional funds from the WFRC who approved the entire amount with a 20% match. Commissioner Poulsen asked about relocation of the utilities in the intersection. Mr. Cooper noted that it would not be different than any other road.

Commissioner Hermann asked if the city could post something on social media regarding the roundabouts on 4400 South being removed and traffic signals installed. Mr. Cooper noted that any discussion of the roundabouts is preliminary at this point and has not been included in any plans or designs. If it gets to that point, public input would be part of the process.

D. Consent Items

1. Consideration of Meeting Minutes from:

October 8, 2024 Work Session
October 8, 2024 Regular Meeting

Chair Anderson asked if there were any changes or corrections to the minutes. Commissioner Ney noted there were two changes regarding missing words. Commissioner Noland also noted a change to the welcome and roll call section.

E. Action Items

1. Consideration of recommendation to City Council for an Amended Subdivision Plat for the AFCU Corporate Campus Subdivision, located at 4646 South 1500 West, Riverdale Utah, as requested by America First Credit Union and AWA Engineering.

The plat has been amended to capture a property that has been acquired by AFCU.

2. Consideration to forward a recommendation to City Council for Final Site Plan request for AFCU Hillside for property located at 4580 S 1500 W, Riverdale Utah, as requested by America First Credit Union and AWA Engineering.

The site plan will be related to Phase 1 of the AFCU development.

F. Comments

Mr. Cooper updated commissioners about the city utilizing a survey service and asked for ideas regarding survey questions and uses.

G. Adjournment

As there was no further business to discuss, the Planning Commission Work Session adjourned at 6:34 p.m.

Date Approved:

DRAFT

Body: Planning Commission

Topic: Riverside Flats Apartments – 671 West 4400 South
Site Plan Expiration – Re-Approval

Department: Community Development

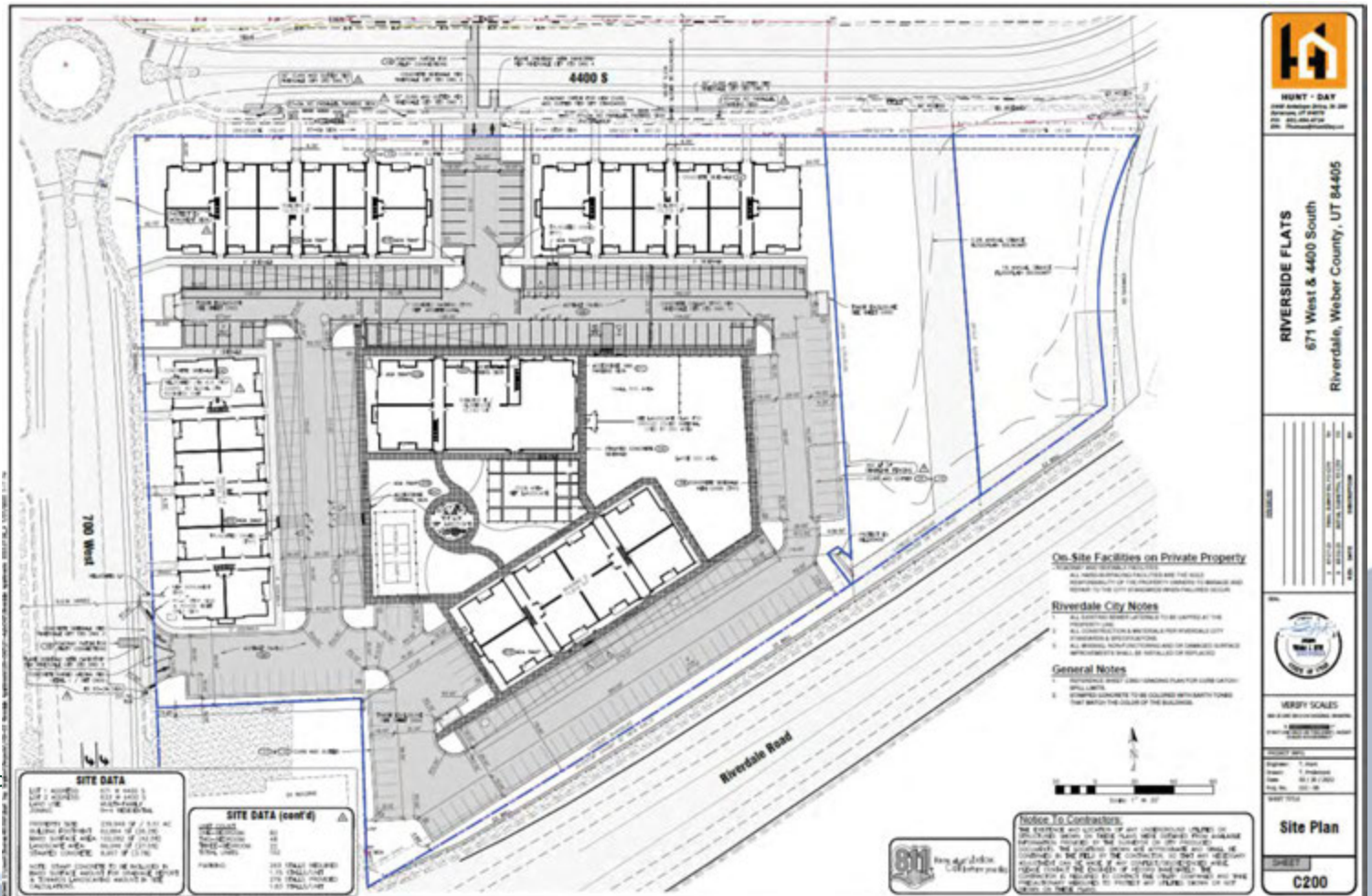
Director: Brandon Cooper

Staff/Presenter: Brandon Cooper

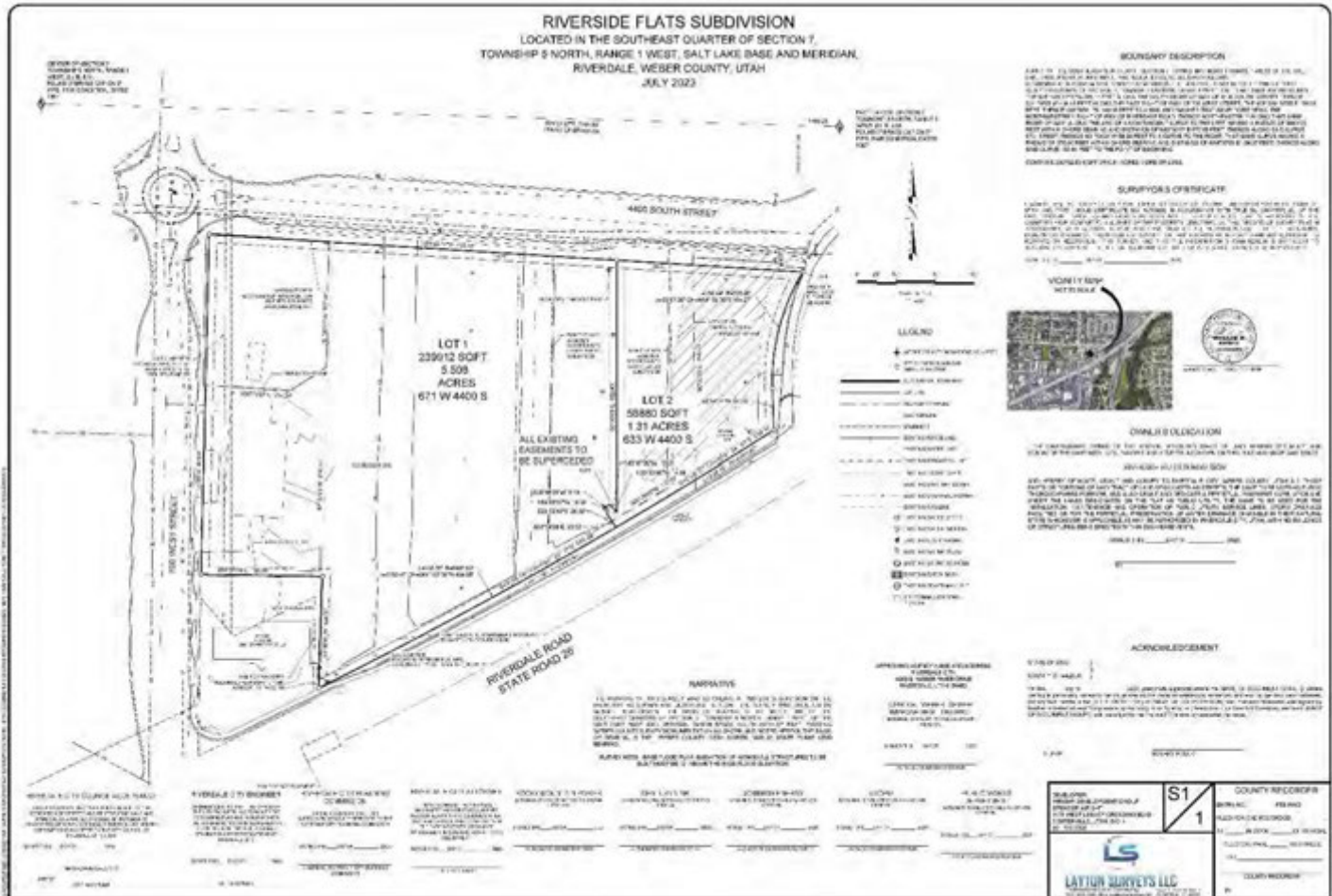
Contact: bcooper@riverdalecity.com

Executive Summary

On August 1, 2023, the Riverdale City Council granted Final Site Plan approval to Wright Development Group for the Riverside Flats Apartments project located at 671 W 4400 S (see below). Planning Commission's favorable recommendation and approval of a Conditional Use Permit occurred on May 23, 2023.



For reference, also on August 1, 2023, the Riverdale City Council granted Final Plat approval to Wright Development Group for the Riverside Flats Subdivision. That plat was set to expire on August 1, 2024, so Wright Development requested a plat extension for 6-months, or until February 1, 2025, which was granted by the Planning Commission on August 13th, 2024 (see image below for reference).



Riverdale City Code **10-25-5** states that:

“1. Approval of the preliminary site plan by the planning commission shall be valid for a maximum period of one year, unless, upon application of the developer, the planning commission grants an extension.

Failure to obtain a building permit within one year of the final site plan approval by the city council, of any site plan, shall terminate and cancel the prior site plan approval given, and any

vested rights thereunder will be lost, whereupon the planning commission may require that a new site plan be submitted and approval obtained pursuant to this section. Once the application has expired, in order to reintroduce the proposed site plan development, the owner or developer must submit a new application with all applicable fees.”

Wright Development has submitted a new application seeking the re-approval of the original site plan. Nothing in the original site plan or any corresponding documentation provided as a basis of approval has substantially changed since the original site plan approval was granted in August 2023.

Requested Timeline:

Planning Commission Meeting – November 26, 2024

City Council Meeting – December 3, 2024

Potential Actions:

Following the presentation and discussion of the proposal, the Planning Commission may make:

- 1) a motion providing a favorable recommendation to City Council for approval
- 2) a motion providing a favorable recommendation to City Council for approval with modifications
- 3) a motion to table the matter to a later date
- 4) a motion not recommending approval with the appropriate findings of fact

Staff Recommendation

Based on the recent approval by City Council of the Riverside Flats Final Site Plan, and finding that nothing substantial has changed on the plans since the original approval, Staff recommends that the Planning Commission provide a favorable recommendation to City Council for approval of the Riverside Flats Site Plan.

Attachments

Planning Commission Minutes – May 23, 2023

City Council Minutes – August 1, 2023

Approved Final Site Plan

Minutes of the **Regular Session** of the Riverdale City **Planning Commission** held Tuesday, May 23, 2023, at 6:30 p.m., at the Civic Center, 4600 S Weber River Drive., Riverdale City, Weber County, Utah.

Present:

Commissioners:	Kathy Eskelsen, Chair Kent Anderson, Vice Chair Amy Ann Spiers, Commissioner Rikard Hermann, Commissioner Celeste Noland, Commissioner Randy Poulsen, Commissioner
City Employees:	Mike Eggett, Community Development Michelle Marigoni, City Recorder
Excused:	Wanda Ney, Commissioner
Visitors:	Carol Cunningham

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:30 p.m. Chair Eskelsen welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except for Commissioner Ney and Commissioner Spiers, who were excused.

B. Public Comment

Chair Eskelsen asked if any public were present with comments.

Carolyn Cunningham, who lives off of 700 West, said the apartment complex will interfere with their lives due to the amount of traffic it will bring, as the roundabout is already a problem at high traffic times. It has become a problem in the morning and the afternoon and causing a safety concern. Traffic from Ogden cuts through at 700 West. The roundabout is a big problem, and the school is down the street, so the parents are trying to get through as well. Turning down 700 from Riverdale is also a problem with traffic. She has had to go all the way to Roy or 31st Street to get home. That many homes should not be added to the area, and she felt it has not been thought through. Deliveries to the meat business also contribute. She asked commissioners to go there in the mornings to see what it is like. She said what looks good on paper is not always good for people to deal with.

C. Presentations and Reports

Chair Eskelsen turned the time over to Mr. Eggett who reported the following:

- The General Plan Update final draft will be brought to the next commission meeting to schedule a public hearing, and hopefully to council in July. There have been some comments and suggestions on the website regarding the update.
- Legislative updates will be provided soon. The new subdivision process will eliminate city council reviews for single family, two family, and townhome subdivisions, leaving the decisions to administrative positions only.
- Cheddar's has advertised a mid-July opening.

D. Consent Items

1. Consideration of Meeting Minutes from April 25, 2023 Work Session, and April 25, 2023 Regular Meeting

Motion: Commissioner Hermann moved to approve the minutes from April 25, 2023

Second: Commissioner Anderson

All in favor, minutes approved.

E. Action Items

- 1. A. Consideration of Conditional Use Permit request for Automobile Sales and Service use by Tesla Riverdale, located at approximately 4851 South 1500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.**

Mr. Eggett went over the executive summary and items in the packet, noting that Jake Tate and Sam Moore would be present for the meeting and that the executive summary covers both items 1a and 1b. The conditional use element is required in the C3 zone to make sure there are no health, safety, or welfare concerns to adjacent properties. The Planning Commission is the decision-making body on conditional uses and the recommending body for the site plan.

Jake Tate with AWA Engineering approached the commission for questions regarding the conditional use request. There were no questions.

Motion: Commissioner Noland moved to approve the Conditional Use Permit request for Automobile Sales and Service use by Tesla Riverdale, located at approximately 4851 South 4500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.

Second: Commissioner Hermann

Commissioners Polled:
Commissioner Anderson: Yes
Commissioner Noland: Yes
Commissioner Hermann: Yes
Commissioner Spiers: Absent
Commissioner Ney: Absent
Commissioner Eskelsen: Yes
Commissioner Poulsen: Yes

Motion passes unanimously.

B. Consideration of recommendation to City Council for Final Site Plan request for Tesla Riverdale, located at approximately 4851 South 1500 West, Riverdale Utah 84405, as requested by 6S Development, LLC and AWA Engineering.

Mr. Eggett again stated that Mr. Tate was representing the project and went over the comments from the site plan review as included in the packet, as well as comments from staff and minimal comments from the city's engineer.

Mr. Tate again addressed the commission. Mr. Hermann asked about the stormwater retention system, and who would be responsible for maintenance if the property was to be sold. Mr. Tate explained that whoever the new property owner was would be responsible. Mr. Hermann asked if the schedule would be followed for maintenance or if there was a possibility of the maintenance being neglected. Mr. Eggett and Mr. Tate noted the long-term stormwater maintenance agreement is a recorded document which requires, by ordinance, the maintenance to be continued.

Commissioner Anderson commended Mr. Tate for such a clean plan.

Motion: Commissioner Anderson moved to favorably recommend approval to City Council for the Final Site Plan request for Tesla Riverdale, located at approximately 4851 South 4500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering pending any items listed by staff and the engineer are satisfied.

Second: Commissioner Noland

Commissioners Polled:
Commissioner Hermann: Yes
Commissioner Spiers: Absent
Commissioner Ney: Absent
Commissioner Eskelsen: Yes
Commissioner Poulsen: Yes
Commissioner Anderson: Yes
Commissioner Noland: Yes

Motion passes unanimously.

2. A. Consideration of Conditional Use Permit request for the development of Multiple-Family Residential Units in excess of 25 dwelling units, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

Mr. Eggett went over the executive summary and items in the packet, noting that the summary would address all three items for this project (2a, 2b, and 2c). The project does fit with the allowed zoning.

Logan Johnson approached. Commissioner Noland asked about the traffic and the entrance and exit being on 700 West. The traffic control porkchop was noted by staff that it may need to be redesigned. Mr. Johnson said there was no objection to modifying the porkchop to restrict the left-hand movements, as that was the intent. Mr. Eggett commented that public works and/or fire had a suggestion for it to be mountable. Mr. Johnson said he would be in contact with both regarding this.

Mr. Johnson addressed some of Ms. Cunningham's comments, explaining the results of the traffic study and noting the grade of the intersection would not change from a class C intersection. He felt the problems would be appropriately mitigated regarding traffic.

Mr. Anderson brought up a concern about an S curve in the project that may not accommodate a fire apparatus. Mr. Johnson said the standard fire truck size was used for the design. Mr. Eggett explained there may be larger trucks from surrounding agencies responding to assist with a problem in the development. Mr. Johnson said this was an addressable problem and he would communicate with the fire chief regarding this.

Motion: Commissioner Hermann moved to approve the Conditional Use Permit request for the development of Multi-Family Residential units in excess of 25 dwelling units, located at approximately 671 West 4400 South, Riverdale, Utah, as requested by Wright Development Group.

Commissioner Noland suggested modifying the motion to include the addressal of the concerns discussed, the porkchop and the S curve. This modification was accepted by Commissioner Hermann.

Second: Commissioner Noland

Commissioners Polled:

Commissioner Eskelsen:	Yes
Commissioner Noland:	Yes
Commissioner Poulsen:	Yes
Commissioner Anderson:	Yes
Commissioner Hermann:	Yes
Commissioner Spiers:	Absent
Commissioner Ney:	Absent

Motion passes unanimously.

B. Consideration of recommendation to City Council for Final Subdivision request for WDG Riverdale Subdivision, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

Mr. Eggett went over the comments from the subdivision plat as provided in the packet, noting public works did not have any concerns listed for the plat specifically. The city engineer had some clean-up items to be addressed on the plat. He noted a vacation plat may be required.

There were no questions regarding the plat recommendation for Mr. Johnson.

Commissioner Anderson stated for the record that comments from the community, such as those from Ms. Cunningham, are appreciated. He assured her that an earnest effort was made to meet the standards and address concerns, and that her comments were not unheard. Under the circumstances, the requirements are that the items meet code.

Motion: Commissioner Anderson moved to favorably recommend to City Council for Final Subdivision request for WDG Riverdale Subdivision, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group pending completion and addressal of concerns mentioned by staff and engineering.

Second: Commissioner Noland

Commissioners Polled:

Commissioner Ney:	Absent
Commissioner Eskelsen:	Yes
Commissioner Anderson:	Yes
Commissioner Poulsen:	Yes
Commissioner Noland:	Yes
Commissioner Hermann:	Yes
Commissioner Spiers:	Absent

Motion passes unanimously.

Mr. Eggett stated for the record that there were constraints due to property lines, but that lot 2 would be addressed later as a clean-up for the plat.

C. Consideration of recommendation to City Council for Final Site Plan request for Riverdale Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

Mr. Eggett went over the site plan review comments and staff comments as provided in the packet, including comments regarding the stormwater system and fire apparatus access as discussed in the previous items.

Commissioner Poulsen asked about the number of parking spaces and how parking would be enforced. Mr. Johnson stated the number of parking spaces meets the code and they feel comfortable about the parking being manageable. The onsite management will have the ability to enforce parking issues. He addressed some of the comments from the site plan review, noting that the signage was not included because they are hoping to have the bus stop moved and the sign placed in its current location. He was under the assumption that the landscaping plan was included and noted that it was available. The detention basin change was due to the higher level of groundwater, but any changes could be made to the materials if staff preferred. Standing water was not anticipated based on the Geotech information. The letter from the sewer district was received.

Mr. Hermann asked who would be maintaining the dog park area. Mr. Johnson said the tenants are required to clean up after their own dogs. Dog owners must be registered by fecal matter at a lab to later identify which dog owners did not clean up. The non-natural surfaces would be sanitized periodically.

Mr. Poulsen asked what the general jobs of the property managers would be. One full-time maintenance, one full-time leasing agent, and one part-time leasing agent. Someone will always be on site for repairs.

Mr. Eggett asked if there was a possibility for the moderate-income threshold. Mr. Johnson said the rents would meet it.

Motion: Commissioner Hermann moved to favorably recommend to City Council for Final Site Plan request for Riverdale Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group, with the understanding that all concerns by staff and engineering are addressed and approved.

Second: Commissioner Noland

Commissioners Polled:

Commissioner Spiers:	Absent
Commissioner Ney:	Absent
Commissioner Hermann:	Yes
Commissioner Noland:	Yes
Commissioner Eskelsen:	Yes
Commissioner Poulsen:	Yes
Commissioner Anderson:	Yes

Motion passes unanimously.

F. Comments

G. Adjournment

As there was no further business to discuss, Commissioner Noland moved to adjourn. This was seconded by Commissioner Anderson. All were in favor and the Planning Commission meeting adjourned at 7:36 p.m.

Date Approved: **6/13/2023**

Minutes of the Regular Meeting of the Riverdale City Council held Tuesday, August 1, 2023, at 6:00 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

City Council:	Braden Mitchell, Mayor Bart Stevens, Councilmember Steve Hilton, Councilmember (Webex) Anne Hansen, Councilmember (Webex) Karina Merrill, Councilmember
City Employees:	Steve Brooks, City Administrator/Attorney Cody Cardon, Business Administrator Mike Eggett, Community Development Director Scott Brenkman, Police Chief Michelle Marigoni, City Recorder
Excused:	Alan Arnold, Councilmember
Visitors:	

A. Welcome & Roll Call

The City Council Work Session meeting began at 5:30 p.m. Mayor Mitchell welcomed all in attendance and noted for the record that Councilmember Stevens was present, and Councilmembers Hilton, Hansen and Merrill were present via Webex. Councilmember Arnold was excused. Members of the city staff were also present.

B. Pledge of Allegiance

Mayor Mitchell invited Karina Merrill to lead the Pledge of Allegiance.

C. Invocation

Mayor Mitchell invited Steve Brooks to offer the invocation.

D. Public Comment

Mayor Mitchell invited public to speak. There was no public comment.

E. Presentations and Reports

1. Mayor's Report

The streetlights are all being replaced with LED lamps, which will pay for themselves within four years.

Mayor Mitchell asked to be notified when police and fire BBQs happen.

The local LDS church is doing a day of service on September 9. Alpine Church and the Riverdale Lyons Club will also participate. Mr. Douglas will find projects they can help with.

2. City Council Assignment Reports

3. Presentation – Utah Municipal Clerks Association (UMCA)

Denise Woods and Alicia Fairborne presented information about the UMCA and other recorders' groups, and recognized Michelle Marigoni for attaining her CMC designation.

F. Consent Items

1. Consideration to approve the City Council meeting minutes from July 18, 2023 Work Session and Regular Meeting.

Mayor Mitchell invited any corrections or comments regarding the above referenced meeting minutes.

MOTION: Councilmember Stevens moved to approve the meeting minutes with the previously discussed changes. Councilmember Merrill seconded the motion. There was not any discussion regarding this motion. The motion passed unanimously in favor.

G. Action Items

1. a) **Consideration of Ordinance #968 approving a Final Subdivision request for Riverside Flats Subdivision, located at approximately 671 West and 633 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.**

Mr. Eggett explained this subdivision would shift lines and move four lots into two lots for the 152 apartment units. The lots include the Carey's Cycle and Ken Garff parcels, in addition to the Lesley's parcels. He briefly went over the executive summary and other information included in the packet. Concerns from the city engineer and staff have been resolved.

MOTION: Councilor Merrill moved to approve Ordinance 968 approving a Final Subdivision request for Riverside Flats Subdivision, located at approximately 671 West and 633 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

SECOND: Councilor Hilton

ROLL CALL VOTE:

Councilor Hilton:	Yes
Councilor Hansen:	Yes
Councilor Stevens:	No
Councilor Arnold:	Absent
Councilor Merrill:	Yes

Motion passes with three in favor and one opposed.

- b) **Consideration of Final Site Plan request for Riverside Flats Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.**

Mr. Eggett noted the conditional use approval was reviewed and approved by the Planning Commission on May 23 2023, as well as a favorable recommendation on the site plan request on the same date. He went over the executive summary for this item and site plan information in the packet, noting all staff and engineering concerns had been addressed. A traffic study was also conducted and is available for councilors to view.

Mayor Mitchell spoke about being supportive of the development but had concerns about the cleanup efforts in the old Lesley's park. He informed Logan Johnson about the amount of public concern and complaints he had received and asked that some progress be made quickly. Mr. Johnson reported the partners wanted to have an approved site plan before spending the money on demolition.

Mr. Johnson reported that the bus stop would be moved and landscaped, which could help with parking congestion. Their marketing data shows the proposed amount of parking is adequate. Left turns in and out of the complex will be restricted. Mr. Stevens asked if there were garages, which there are not.

MOTION: Councilor Hilton moved to approve the Final Site Plan request for Riverside Flats Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

SECOND: Councilor Merrill

ROLL CALL VOTE:

Councilor Stevens:	No
Councilor Arnold:	Absent
Councilor Merrill:	Yes
Councilor Hansen:	Yes
Councilor Hilton:	Yes

Motion passes with three in favor and one opposed.

2. **Consideration to adjourn into a closed session pursuant to UCA 52-4-205 (c), to discuss pending or reasonably imminent litigation.**

MOTION: Councilor Stevens moved to adjourn to a closed session.

SECOND: Councilor Merrill

ROLL CALL VOTE:

Councilor Hansen:	Yes
Councilor Stevens:	Yes
Councilor Hilton:	Yes
Councilor Arnold:	Absent
Councilor Merrill:	Yes

Motion passes, the closed session began at 6:24 p.m.

In attendance: Mayor Mitchell, Councilor Stevens, Councilor Hilton, Councilor Hansen, Councilor Merrill, Steve Brooks Mike Eggett, Michelle Marigoni.

MOTION: Councilor Stevens moved to reopen the meeting.

SECOND: Councilor Merrill

ROLL CALL VOTE:

Councilor Arnold:	Absent
Councilor Merrill:	Yes
Councilor Hilton:	Yes
Councilor Hansen:	Yes
Councilor Stevens:	Yes

Motion passes, the meeting reopened at 6:49 p.m.

H. **Comments**

Mr. Stevens asked if the hedge on 4600 S by the crosswalk could be removed, as it is a safety concern.

Mr. Brooks reported the new Code Enforcement employee has started.

Ms. Hansen recommended encouraging the property owner on 700 West at least start cutting down weeds.

I. **Adjournment**

MOTION: Having no further business to discuss, Councilmember Merrill moved to adjourn. The motion was seconded by Councilmember Stevens all voted in favor. The meeting was adjourned at 6:55 p.m.

Date Approved: 8/15/2023

Project Revisions

1. 12/21/22 TP - SUBMITTAL FOR FIRST REVIEW.
2. 04/20/23 TP - CITY COMMENTS.
3. 09/16/23 TH - CITY COMMENTS.
4. 7/26/23 TH - CITY COMMENTS.

Riverside Flats

CIVIL CONSTRUCTION SET

APN# 06-015-0052, 06-015-0030, 06-334-0001, 06-334-0002
SECTION 7, TOWNSHIP 5 NORTH,
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
RIVERDALE, WEBER COUNTY, UTAH
MARCH, 2023

Project Directory

DEVELOPER:
WRIGHT DEVELOPMENT GROUP
SPENCER WRIGHT
1178 WEST LEGACY CROSSING BLVD
CENTERVILLE, UT 84014
PH: (801) 773-7339

SURVEYOR:
LAYTON SURVEYS
WILLIS LONG, PLS
1857 N 1000 W STE. 1,
CLEARFIELD, UT 84015
PH: (801) 663-1641

CIVIL ENGINEER (Project Contact):
HUNT DAY
THOMAS HUNT, PE
3445 ANTELOPE DRIVE
SYRACUSE, UT 84075
PH: (801) 664-4724

ARCHITECT:
ENVISION ARCHITECTURAL GROUP
GONZALO CALQUIN
1178 LEGACY CROSSING BLVD
CENTERVILLE, UT 84014
PH: (801) 510-2504

LANDSCAPE ARCHITECT:
LAND ARC
ZACH TAYLOR
P.O. BOX 92
125 E. 100 N.
HEBER CITY, UT 84032
PH: (435) 669-4414

PROPERTY OWNER(S):
GARFF PROPERTIES LLC
111 E BROADWAY STE 900
SALT LAKE CITY UT 84111
(801) 257-3135
H & H 39TH STREET LLC
PO BOX 526412
SALT LAKE CITY UT 84152
(801) 773-7339
SD DEVELOPMENT LLC
3515 W 2200 N
PLAIN CITY, UT 84044
(801) 698-6288

SITE DATA

LOT 1 ADDRESS: 671 W 4400 S
LOT 2 ADDRESS: 633 W 4400 S
LAND USE: MULTI-FAMILY
ZONING: R-4 RESIDENTIAL

PROPERTY SIZE: 239,949 SF / 5.51 AC
BUILDING FOOTPRINT: 62,864 SF (26.2%)
HARD SURFACE AREA: 102,082 SF (42.5%)
LANDSCAPE AREA: 66,046 SF (27.5%)
STAMPED CONCRETE: 8,957 SF (3.7%)

NOTE: STAMPED CONCRETE TO BE INCLUDED IN
HARD SURFACE AMOUNT FOR DRAINAGE REPORT
& TOWARDS OPEN SPACE AMOUNT IN SITE
CALCULATIONS.

UNIT COUNT
ONE-BEDROOM: 82
TWO-BEDROOM: 48
THREE-BEDROOM: 22
TOTAL UNITS: 152

PARKING:
263 STALLS REQUIRED
1.75 STALLS/UNIT
279 STALLS PROVIDED
1.83 STALLS/UNIT

Approving Agency

RIVERDALE CITY
4600 SOUTH WEBER DRIVE
RIVERDALE, UTAH 84405

APPROVED _____ DATE _____

Riverdale City Notes

1. ALL DETERIORATED, DAMAGED, OR MISSING SURFACE IMPROVEMENTS SURROUNDING THE PERIMETER OF THE DEVELOPMENT AND ON-SITE SHALL BE REPLACED OR INSTALLED, I.E. CURB & GUTTER, SIDEWALK, LANDSCAPING PARKING STRIP IMPROVEMENTS, ASPHALT PATCHING, LANDSCAPING REPLACEMENT, SITE LIGHTING, DUMPSTER SCREENING, CONCRETE IMPROVEMENTS, ETC...
2. ALL CONSTRUCTION & MATERIALS ARE TO BE PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS, CURRENT EDITION.

Flood Information

FLOOD ZONE DESIGN 'X' PER F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS 49057CD436F, DATED JUNE 2, 2015.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

Datum Information

SITE BENCHMARK:
FOUND BRASS CAP MONUMENT
CENTER OF SEC. 7, T.5N, R.1W, S.14M, U.S.
SURVEY DATED 1967
ELEVATION: 4353.54'

Geotech Report

DATED:
CMT GEOTECHNICAL LABORATORIES
2786 S. REDWOOD ROAD
WEST VALLEY CITY, UT 84119
PH: (801) 908-5859

Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801-664-4724
EH: Thomas@HuntDay.co

Sheet Index

- C001 - Cover Sheet
- C002 - Notes & Legend
- C100 - Existing Conditions
- C200 - Site Plan
- C201 - Fire Access
- C300 - Grading Plan
- C400 - Utility Plan
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- C601 - Drainage Details
- C602 - Trash Enclosure
- C604 - Civil Details
- C605 - City Details
- C606 - City Details
- C700 - SWPPP Exhibit
- C701 - SWPPP Details

Agency/Utility Contacts

PLANNING & ENGINEERING:
Community Development
4600 South Weber River Drive
Riverdale City, Utah 84405
Phone: (801) 394-5541

SEWER / WATER / STORM :
Riverdale Public Works
600 South Weber River Drive
Riverdale City, Utah 84405
Phone: (801) 394-5541

POWER COMPANY:
PacifiCorp
Customer Service Line
Phone: (888) 221-7070

TELEPHONE COMPANY:
Century Link
Customer Service Line
Phone: (844) 574-8124

FIRE DEPARTMENT:
Riverdale City Fire
4334 South Parker Drive
Riverdale, Utah 84405
Phone: (801) 394-7481

GAS SERVICE:
Dominion Energy
Customer Service Line
Phone: (866) 366-4357

CABLE TV:
Comcast
Customer Service Line
Phone: (800) 934-6489

Vicinity Map
SCALE: NOT TO SCALE



RIVERSIDE FLATS
671 West & 4400 South
Riverdale, Weber County, UT 84405

REV.	DATE	DISCUSSION	BY
1	07-27-23	FINAL SUBMITTAL TO CITY	TH
0	03-31-23	INITIAL SUBMITTAL TO CITY	TP



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY.

PROJECT INFO:
Engineer: T. Hunt
Drawn: T. Pridemore
Date: 03 / 20 / 2023
Proj. No. 102 - 08

SHEET TITLE

Cover Sheet

SHEET

C001

GENERAL NOTES

1.0 COMPLIANCE

- 1.1 ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- 1.2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, UNREVOKED EDITIONS OF THE FOLLOWING:
- INTERNATIONAL BUILDING CODES (IBC)
 - INTERNATIONAL PLUMBING CODES
 - STATE DRINKING WATER REGULATIONS
 - APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS
 - ADA ACCESSIBILITY GUIDELINES
- 1.3 ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

2.0 PERMITTING AND INSPECTIONS

- 2.1 PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 2.2 THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- 2.3 ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

3.0 COORDINATION AND VERIFICATION

- 3.1 ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 3.2 THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- 3.3 THE CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:
- LANDSCAPE PLANS
 - SITE ELECTRICAL PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S)
 - FIRE PROTECTION
 - ARCHITECTURAL SITE PLANS
 - ACCESSIBLE ROUTES
 - ETC.
- 3.4 THE CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

4.0 SAFETY AND PROTECTION

- 4.1 THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- 4.2 THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
- 4.3 THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OR SMO IMPROVEMENTS.
- 4.4 THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- 4.5 IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 4.6 THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- 4.7 THE CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- 4.8 THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- 4.9 THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- 4.10 WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- 4.11 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- 4.12 NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- 4.13 THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

5.0 MATERIALS

- 5.1 SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 +/- OR +/- 1% AIR ENTRAINED, UNLESS SPECIFIC OTHERWISE. SEE SPECIFICATION:
- SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4" THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
 - CONCRETE WATERWAYS, CURBS/WALKS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED 1/4" THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
 - UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
 - UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90% MIN. SUBGRADE).
 - ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
 - ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT.
 - ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (90%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE.
 - ASPHALT COMPACTION SHALL BE A MINIMUM 98%.
 - SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
 - AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
 - THICKNESS OVER 4" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

6.0 GRADING & SOILS

- 6.1 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- 6.2 ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
- 6.3 CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- 6.4 SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- 6.5 ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

7.0 UTILITIES

- 7.1 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- 7.2 THE CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NOT ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS OR HER WORK OR FORCE MAJEURE.
- 7.3 CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER FRONT IN BUILDING TO THE FIELD VESSELS. CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 7.4 THE CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- 7.5 CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.6 SANITARY SEWER MAINS AND LATERALS TO BE CO-CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- 7.7 STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.8 ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- 7.9 ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- 7.10 NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- 7.11 ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

8.0 SURVEY CONTROL

- 8.1 THE CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEY OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
- 8.2 THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- 8.3 THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

9.0 AMERICAN DISABILITIES ACT

- 9.1 PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
- ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.
 - ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
 - RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- 9.2 ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- 9.3 THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

10.0 EROSION CONTROL

- 10.1 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
- 10.2 THE CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.
- 10.3 WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
- 10.4 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
- 10.5 ALL ACCESS TO PROPERTY SHALL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION.

11.0 MAINTENANCE

- 11.1 ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.
- 11.2 THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.
- 11.3 SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
- 11.4 SEDIMENT TRACKS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE "SWEEPING" OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.
- 11.5 ANY EXPOSED SLOPE SHALL REMAIN UNDISTURBED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
 - TRACKING STRAW PERPENDICULAR TO SLOPES
 - INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

- SW LAT — = PROPOSED SECONDARY WATER LATERAL
- LD LAT — = PROPOSED LAND DRAIN LATERAL
- W LAT — = PROPOSED WATER LATERAL
- SS LAT — = PROPOSED SEWER LATERAL
- W/8 — = PROPOSED CULINARY WATER LINE
- EX-W — = EXISTING CULINARY WATER LINE
- SW/8 — = PROPOSED SECONDARY WATER LINE
- EX-SW — = EXISTING SECONDARY WATER LINE
- SS/8 — = PROPOSED SANITARY SEWER LINE
- EX-SS — = EXISTING SANITARY SEWER LINE
- SD/15 — = PROPOSED STORM DRAIN LINE
- EX-SD — = EXISTING STORM DRAIN LINE
- LD/8 — = PROPOSED LAND DRAIN LINE
- EX-LD — = EXISTING LAND DRAIN LINE
- IRR/18 — = PROPOSED IRRIGATION LINE
- EX-IRR — = EXISTING IRRIGATION LINE
- X — X — = FENCE LINE
- — — — = PROPERTY LINE
- — — — = 20' SETBACK
- — — — = EXISTING EASEMENT
- = TOP OF ENBANKMENT
- = PROPOSED FIRE HYDRANT
- = EXISTING FIRE HYDRANT
- = PROPOSED MANHOLE
- = EXISTING MANHOLE
- = PROPOSED SEWER CLEAN-OUT
- X = PROPOSED GATE VALVE
- X = EXISTING GATE VALVE
- ⌘ = PLUG & BLOCK
- = AIR VAC ASSEMBLY

- = PROPOSED WATER METER
- = EXISTING WATER METER
- = PROPOSED CATCH BASIN
- = EXISTING CATCH BASIN
- = PLUG W/ 2" BLOW-OFF
- ⬤ = STREET LIGHT
- ⬤ = SIGN
- BFE = BASEMENT FLOOR ELEVATION
- BLOG = BUILDING
- BOS = BOTTOM OF STAIRS
- BOT = BOTTOM OF WALL
- BP = BEGINNING POINT
- C&G = CURB & GUTTER
- CB = CATCH BASIN
- CF = CUBIC FEET
- CF2 = CUBIC FEET PER SECOND
- FF = FINISH FLOOR
- FFE = FINISH FLOOR ELEVATION
- FG = FINISHED GRADE
- FI = FIRE HYDRANT
- FL = FLOW LINE
- GB = GRADE BREAK
- INV = INVERT
- LF = LINEAR FEET
- NG = NATURAL GRADE
- NP = POINT OF CURVATURE
- PC = POWER/UTILITY POLE
- PRC = POINT OF RETURN CURVATURE
- PT = POINT OF TANGENCY
- PUE = PUBLIC UTILITY EASEMENT
- RCP = REINFORCED CONCRETE PIPE
- RM = RIM OF MANHOLE
- ROW = RIGHT-OF-WAY
- SD = STORM DRAIN
- SS = SANITARY SEWER
- TBC = TOP BACK OF CURB
- TOA = TOP OF ASPHALT
- TOC = TOP OF CONCRETE
- TOFF = TOP OF FINISHED FLOOR
- TOS = TOP OF STAIRS
- TOW = TOP OF WALL
- TSW = TOP OF SIDEWALK
- W = CULINARY WATER
- WM = WATER METER
- = EXISTING ASPHALT PAVEMENT
- = PROPOSED ASPHALT PAVEMENT
- = PROPOSED CONCRETE
- = PROPOSED GRAVEL
- 4800 = EXISTING CONTOUR GRADE
- 4800 = PROPOSED CONTOUR GRADE

Legend



HUNT & DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801-664-4724
EH: Thomas@HuntDayco

RIVERSIDE FLATS
671 West & 4400 South
Riverdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	07-27-23	FINAL SUBMITTAL TO CITY	TH
0	03-31-23	INITIAL SUBMITTAL TO CITY	TH

SEAL



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PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Date: 03 / 20 / 2023
Proj. No. 102 - 08

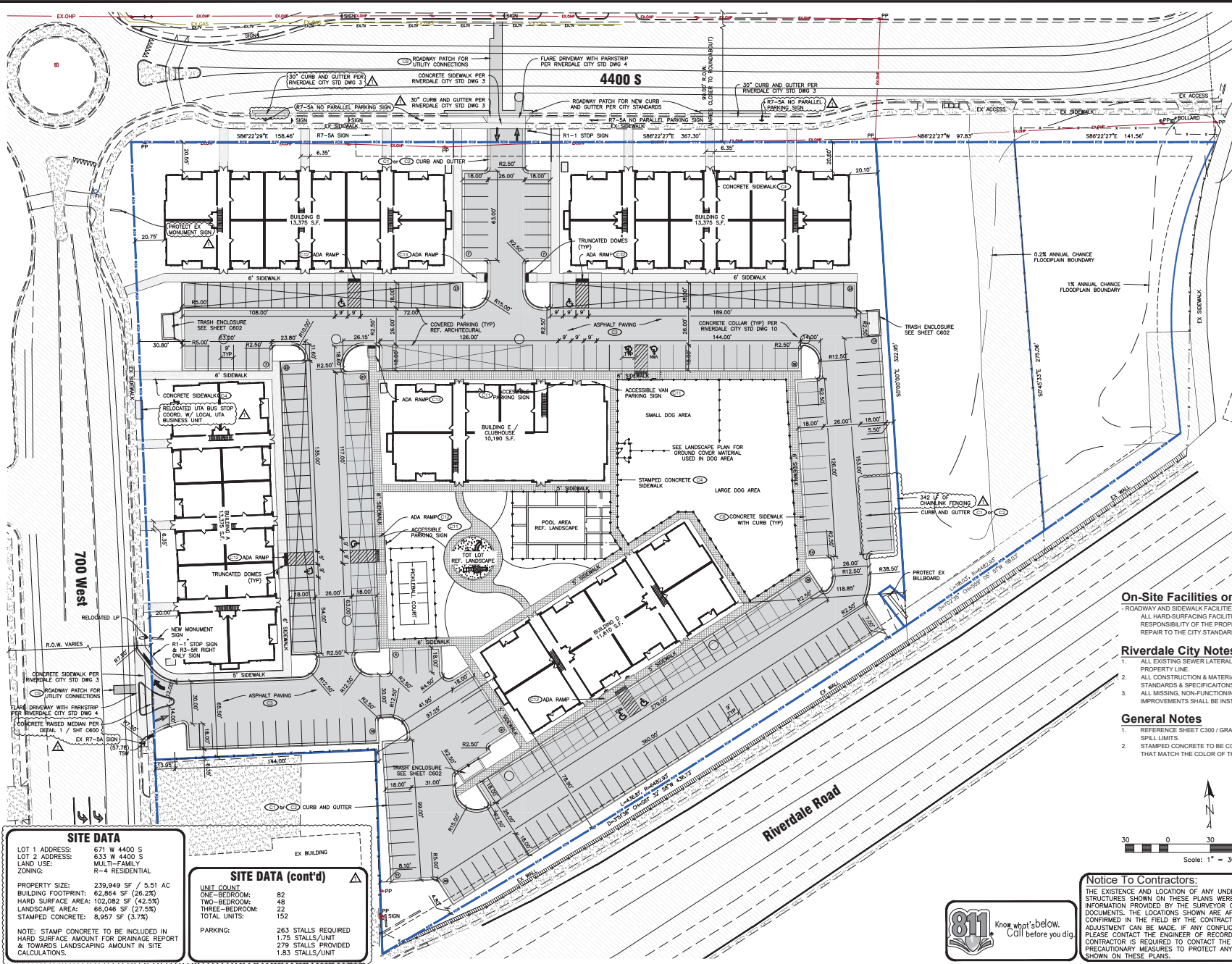
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Notes & Legend

SHEET

C002

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SITE DATA
LOT 1 ADDRESS: 671 W 4400 S
LOT 2 ADDRESS: 633 W 4400 S
LAND USE: MULTI-FAMILY
ZONING: R-4 RESIDENTIAL

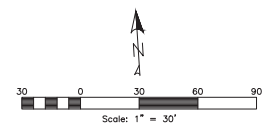
PROPERTY SIZE: 239,949 SF / 5.51 AC
BUILDING FOOTPRINT: 62,864 SF (26.2%)
HARD SURFACE AREA: 102,082 SF (42.5%)
LANDSCAPE AREA: 66,046 SF (27.5%)
STAMPED CONCRETE: 8,957 SF (3.7%)

NOTE: STAMP CONCRETE TO BE INCLUDED IN HARD SURFACE AMOUNT FOR DRAINAGE REPORT & TOWARDS LANDSCAPING AMOUNT IN SITE CALCULATIONS.

SITE DATA (cont'd)
UNIT COUNT
ONE-BEDROOM: 62
TWO-BEDROOM: 48
THREE-BEDROOM: 22
TOTAL UNITS: 132

PARKING: 263 STALLS REQUIRED
1.75 STALLS/UNIT
279 STALLS PROVIDED
1.83 STALLS/UNIT

- On-Site Facilities on Private Property**
- ROADWAY AND SIDEWALK FACILITIES:
 - ALL HARD-SURFACING FACILITIES ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.
- Riverdale City Notes**
- ALL EXISTING SEWER LATERALS TO BE CAPPED AT THE PROPERTY LINE.
 - ALL CONSTRUCTION & MATERIALS PER RIVERDALE CITY STANDARDS & SPECIFICATIONS.
 - ALL MISSING, NON-FUNCTIONING AND OR DAMAGED SURFACE IMPROVEMENTS SHALL BE INSTALLED OR REPLACED.
- General Notes**
- REFERENCE SHEET C300 / GRADING PLAN FOR CURB CATCH / SPILL LIMITS.
 - STAMPED CONCRETE TO BE COLORED WITH EARTH TONES THAT MATCH THE COLOR OF THE BUILDINGS.



Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



HUNT & DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801-664-4734
EH: Thomas@HuntDay.co

RIVERSIDE FLATS
671 West & 4400 South
Riverdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	07-27-23	FINAL SUBMITTAL TO CITY	TH
0	03-31-23	INITIAL SUBMITTAL TO CITY	TP

SEAL

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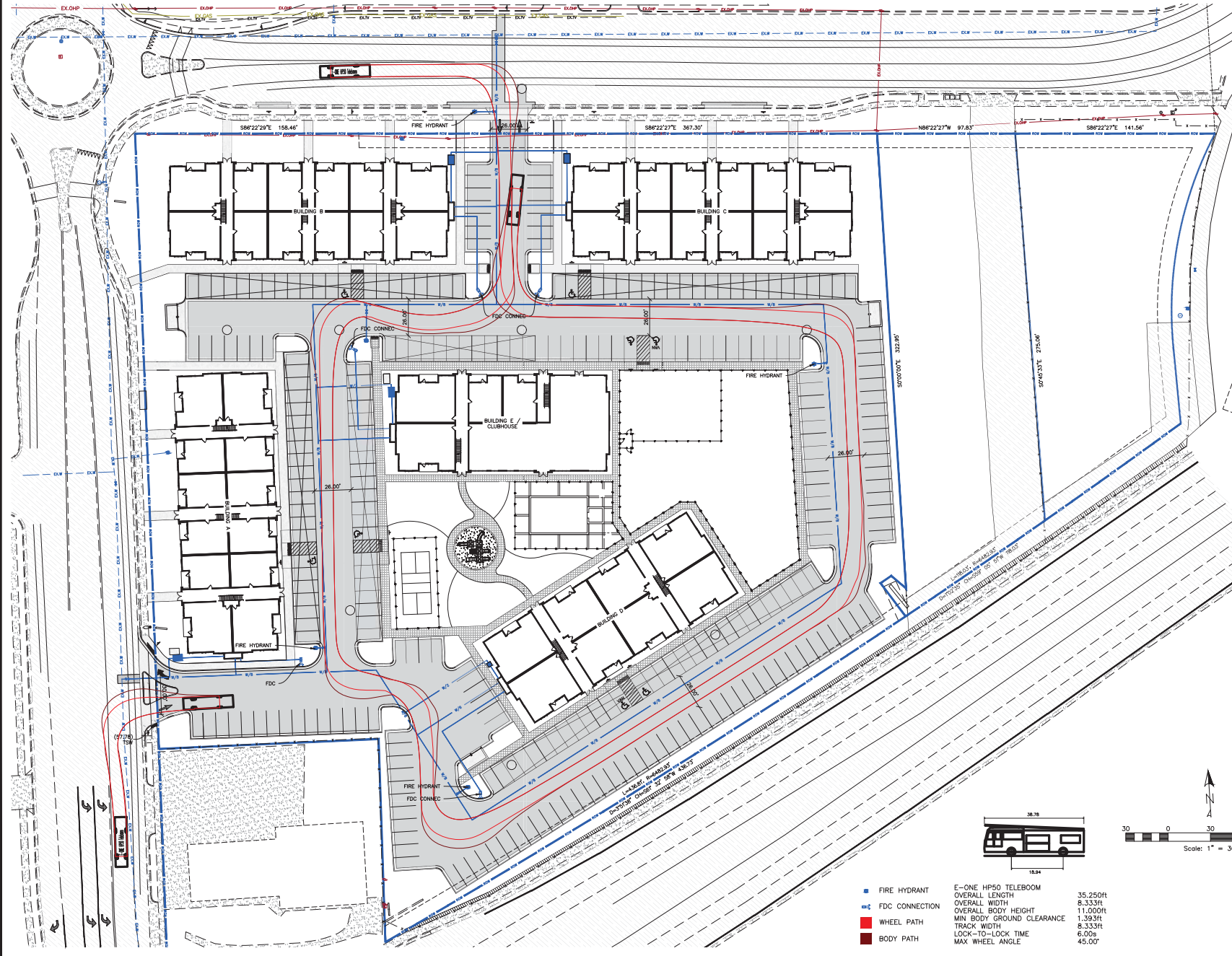
Engineer: T. Hunt
Drawn: T. Pridemore
Date: 03 / 20 / 2023
Proj. No. 102 - 08

Site Plan

SHEET

C200

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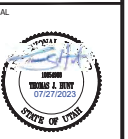
■ FIRE HYDRANT	E-ONE HP50 TELEBOOM	35.250ft
■ FDC CONNECTION	OVERALL LENGTH	8.333ft
■ WHEEL PATH	OVERALL WIDTH	11.000ft
■ BODY PATH	MIN BODY GROUND CLEARANCE	1.393ft
	TRACK WIDTH	8.333ft
	LOCK-TO-LOCK TIME	6.00s
	MAX WHEEL ANGLE	45.00°



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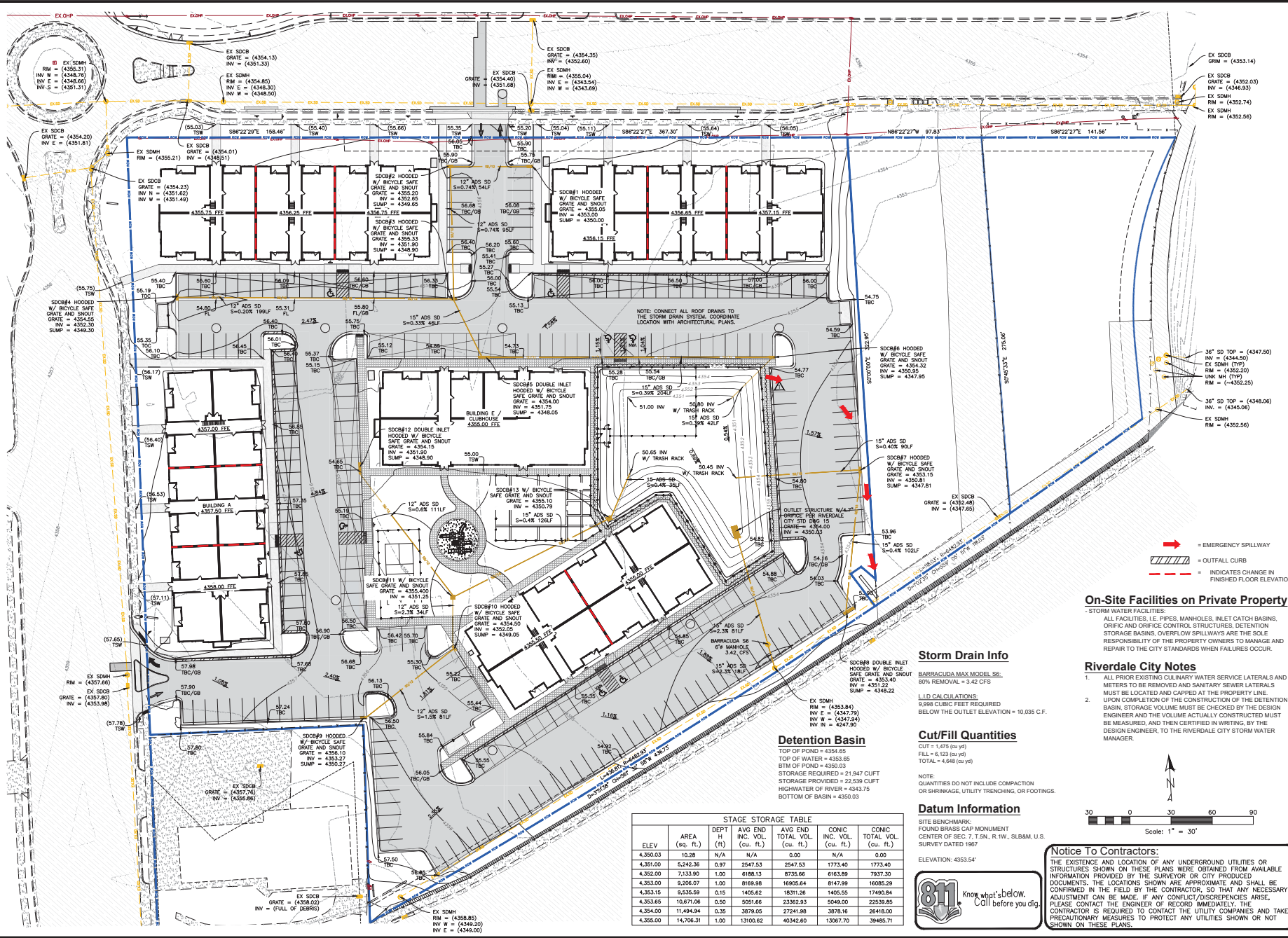
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Fire Access

SHEET

C201

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Syracuse, UT 84075
PH: 801-664-4724
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RIVERSIDE FLATS
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Riverdale, Weber County, UT 84405

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Date: 03 / 20 / 2023
Proj. No. 102 - 08

Grading Plan
SHEET
C300

On-Site Facilities on Private Property

STORM WATER FACILITIES:
ALL FACILITIES, I.E. PIPES, MANHOLES, INLET CATCH BASINS, ORFICE AND ORFICE CONTROL STRUCTURES, DETENTION STORAGE BASINS, OVERFLOW SPILLWAYS ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.

Riverdale City Notes

- ALL PRIOR EXISTING CULINARY WATER SERVICE LATERALS AND METERS TO BE REMOVED AND SANITARY SEWER LATERALS MUST BE LOCATED AND CARRIED AT THE PROPERTY LINE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE DETENTION BASIN, STORAGE VOLUME MUST BE CHECKED BY THE DESIGN ENGINEER AND THE VOLUME ACTUALLY CONSTRUCTED MUST BE MEASURED, AND THEN CERTIFIED IN WRITING, BY THE DESIGN ENGINEER, TO THE RIVERDALE CITY STORM WATER MANAGER.

Storm Drain Info

BARRACUDA MAX MODEL 56
80% REMOVAL = 3.42 CFS
L.I.D. CALCULATIONS:
9.98M CUBIC FEET REQUIRED
BELOW THE OUTLET ELEVATION = 10,035 C.F.

Cut/Fill Quantities

CUT = 1.475 (cu yd)
FILL = 6.123 (cu yd)
TOTAL = 4.648 (cu yd)

NOTE:
QUANTITIES DO NOT INCLUDE COMPACTION OR SHRINKAGE, UTILITY TRENCHING, OR FOOTINGS.

Datum Information

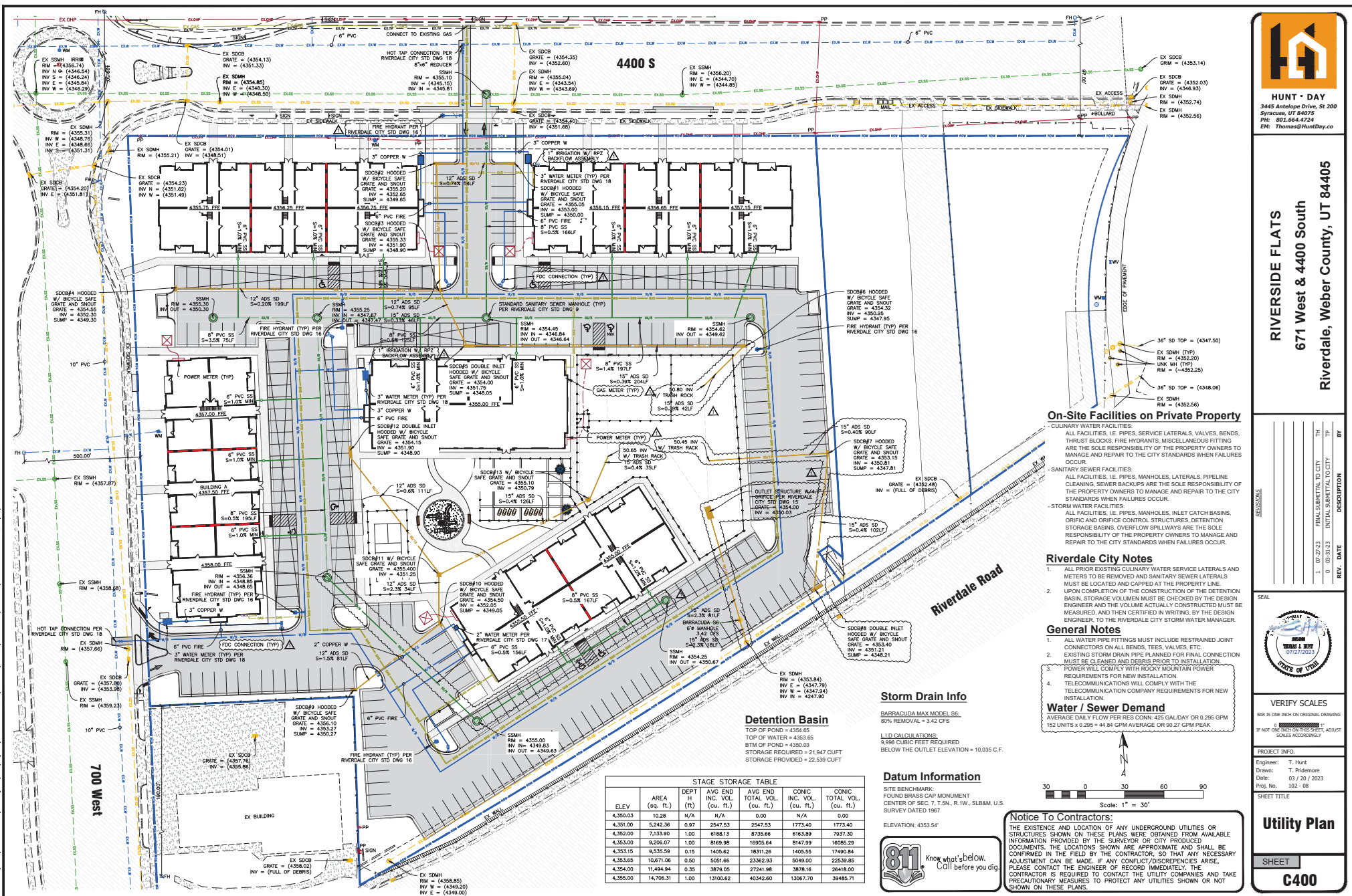
SITE BENCHMARK:
FOUND BRASS CAP MONUMENT
CENTER OF SEC. 7, T.5N., R.1W., S18M., U.S.
SURVEY DATED 1967



Detention Basin

TOP OF POND = 4354.65
TOP OF WATER = 4353.65
BTM OF POND = 4350.03
STORAGE REQUIRED = 21,297 CUFT
STORAGE PROVIDED = 22,258 CUFT
HIGHWATER OF RIVER = 4343.75
BOTTOM OF BASIN = 4350.03

STAGE STORAGE TABLE						
ELEV.	AREA (sq. ft.)	DEPT. H (ft.)	AVG. END INC. VOL. (cu. ft.)	AVG. END TOTAL VOL. (cu. ft.)	CONC. INC. VOL. (cu. ft.)	CONC. TOTAL VOL. (cu. ft.)
4,350.03	10.28	N/A	N/A	0.00	N/A	0.00
4,351.00	5,242.36	0.97	2547.53	2547.53	1773.40	1773.40
4,352.00	71,333.90	1.00	6188.13	6736.66	6163.89	7977.30
4,353.00	9,206.07	1.00	8169.96	16905.64	6147.99	16905.29
4,353.15	9,535.59	0.15	1405.62	18311.26	1405.55	17490.84
4,353.65	10,671.06	0.50	5051.66	23362.93	5049.00	22538.85
4,354.00	11,494.94	0.35	3878.05	27241.98	3878.16	26418.00
4,355.00	14,706.31	1.00	13100.62	40342.60	13067.70	39485.71




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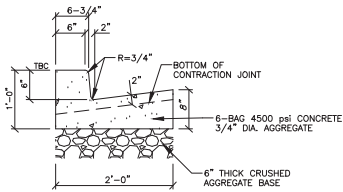
PROJECT INFO.	
Engineer:	T. Hunt
Drawn:	T. Pridemore
Date:	03 / 20 / 2023
Proj. No.	102 - 08
SHEET TITLE	

Utility Plan

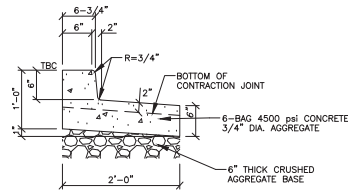
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C400

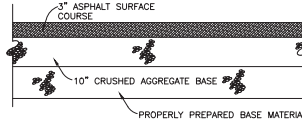
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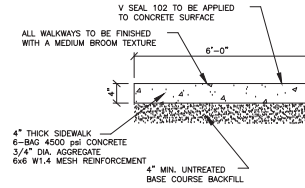
C1 On-Site Curb & Gutter
Scale: NTS



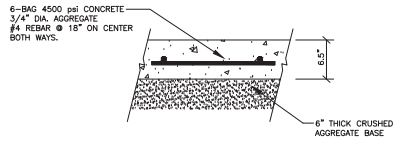
C2 On-Site Outfall Curb & Gutter
Scale: NTS



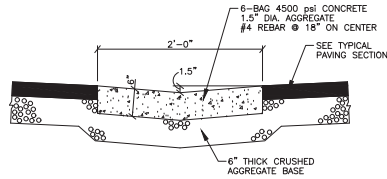
C3 Typical On-Site Asphalt Paving
Scale: NTS



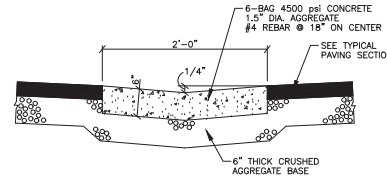
C4 Concrete Sidewalk
Scale: NTS



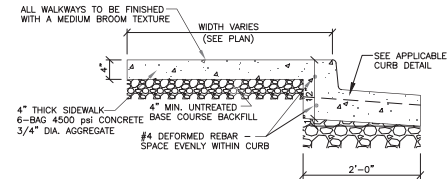
C5 Trash Enclosure Concrete Pad
Scale: NTS



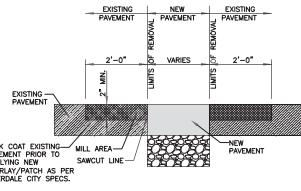
C6 2' Concrete Waterway
Scale: NTS



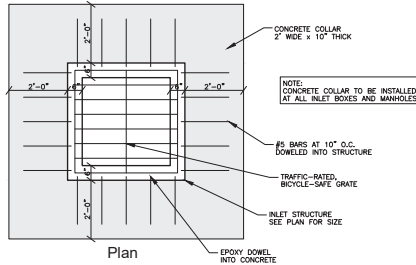
C7 2' Concrete Waterway thru ADA
Scale: NTS



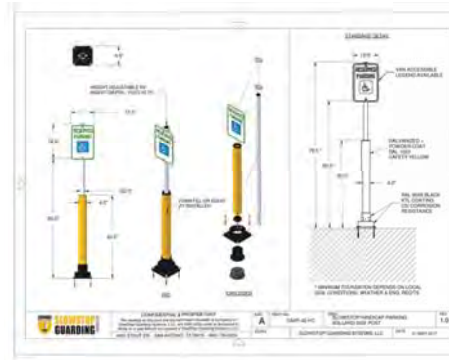
C8 Concrete Sidewalk with Curb
Scale: NTS



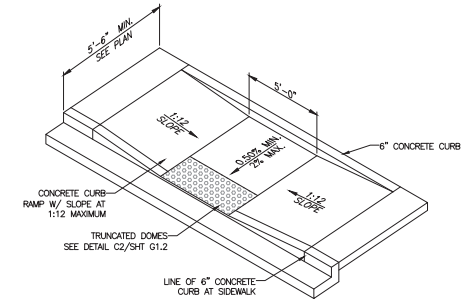
C9 Roadway Patch Detail
Scale: NTS



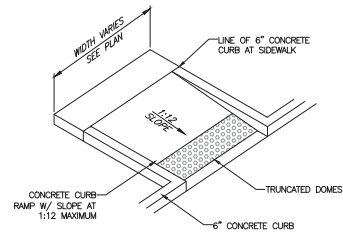
C10 Concrete Collar Detail
Scale: NTS



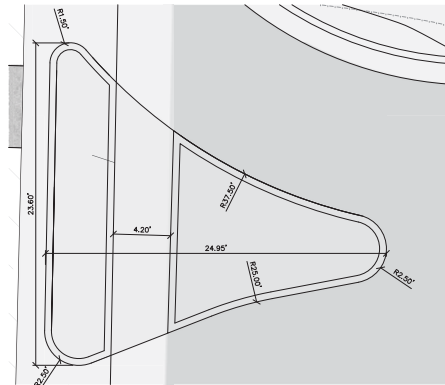
C11 ADA Parking Sign with Bollard
Scale: NTS



C12 ADA Ramp
Scale: NTS



C13 ADA Ramp at Roadway Crossing
Scale: NTS



1 Raised Concrete Median
Scale: NTS



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RIVERSIDE FLATS
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Riverdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	07-27-23	FINAL SUBMITTAL TO CITY	TH
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PROJECT INFO:
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Drawn: T. Pridemore
Date: 03 / 20 / 2023
Proj. No. 102 - 08

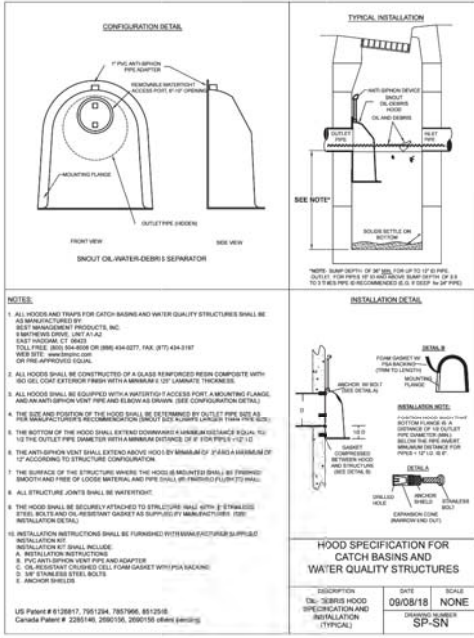
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Civil Details

SHEET

C600

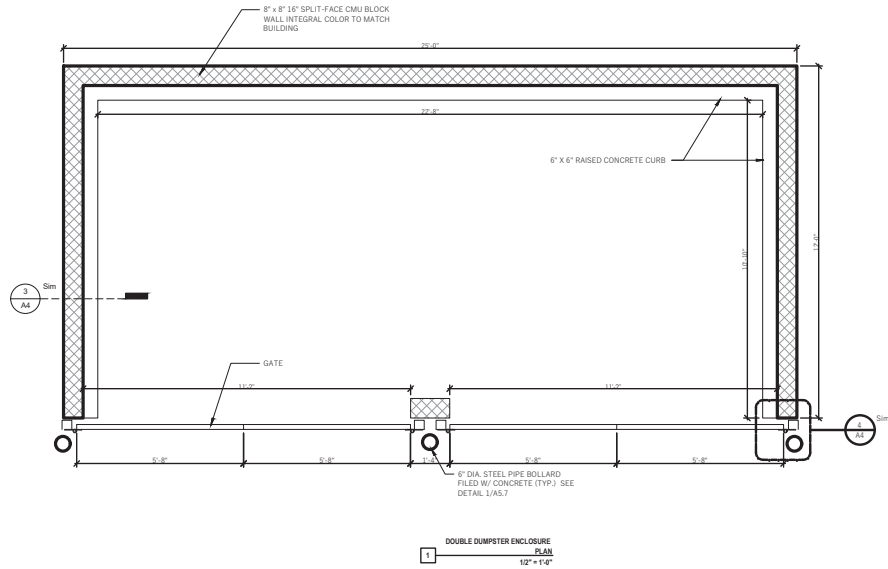
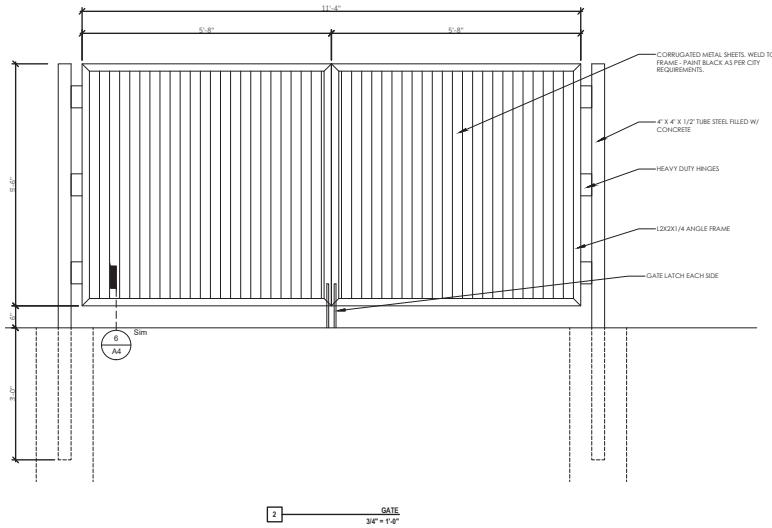
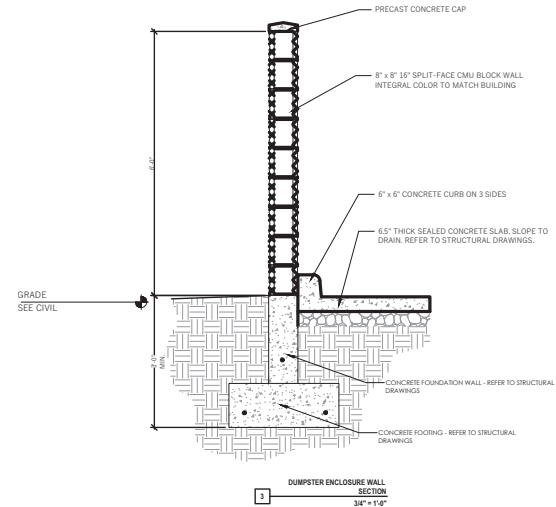
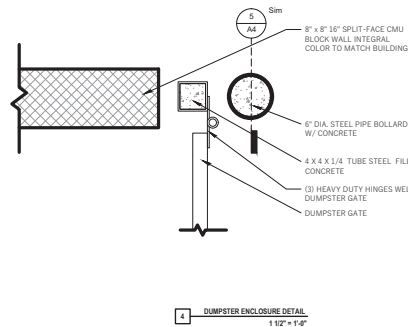
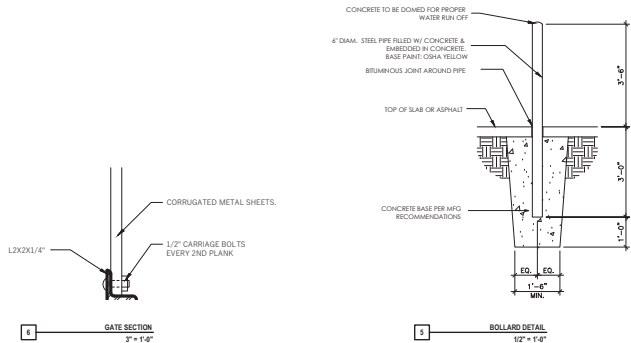
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT,
PREPARED BY CMT DATED FEBRUARY 6, 2023. GEOTECHNICAL
REPORT TO GOVERN & CONTROL.)



SUMMARY:			
LID required Retention Volume is	9,998	cubic feet	
The required Detention storage volume is	11,949	cubic feet	
	(difference between 100-year storm and LID retention)		
Orifice size is	4.7	inches	

[illegible]

(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT.
PREPARED BY CMT DATED FEBRUARY 6, 2023. GEOTECHNICAL
REPORT TO GOVERN & CONTROL.)



HUNT & DAY
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RIVERSIDE FLATS
671 West & 4400 South
Riverdale, Weber County, UT 84405

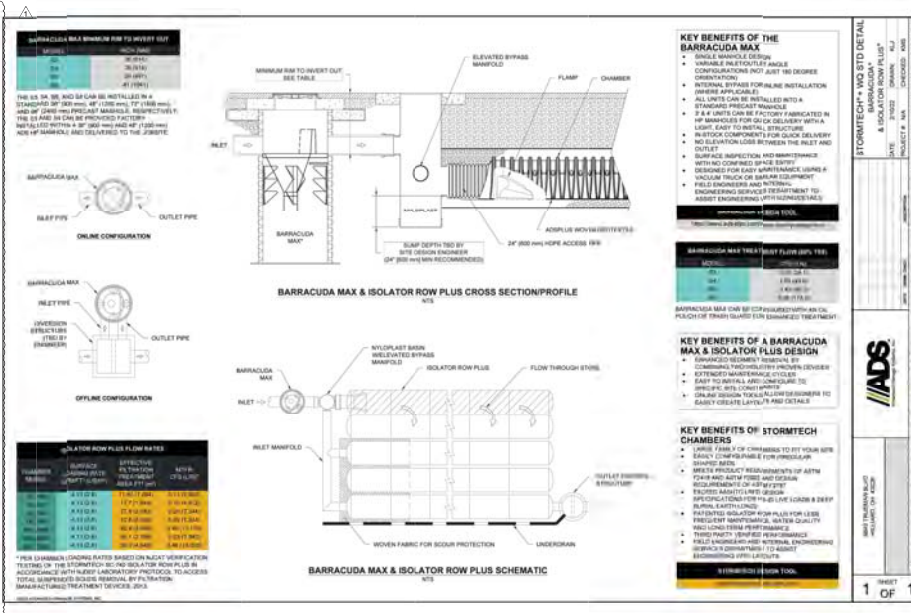
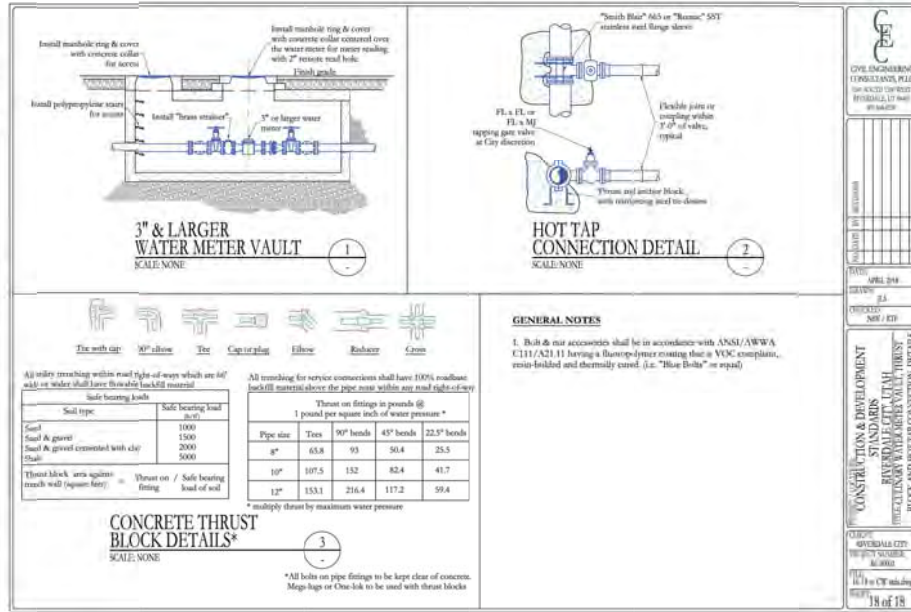
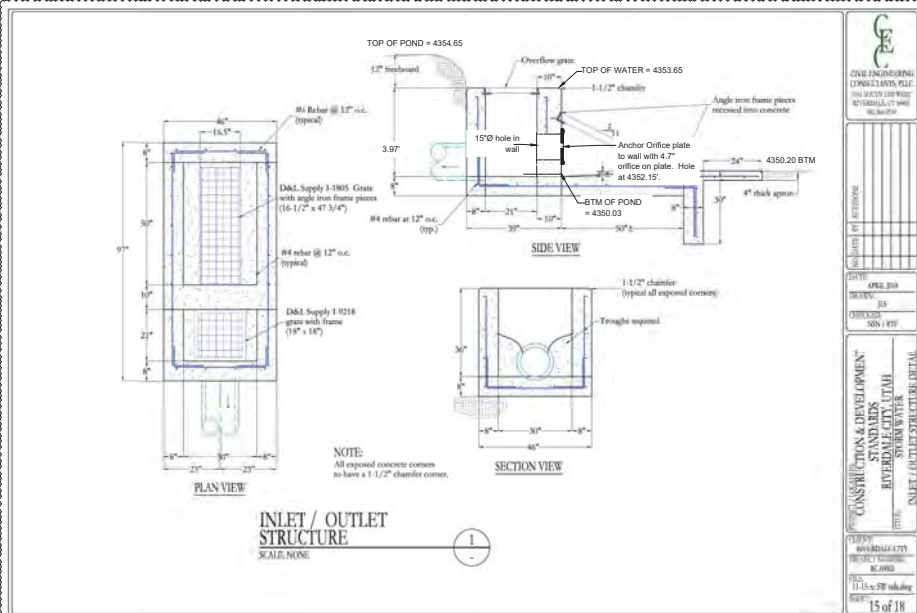
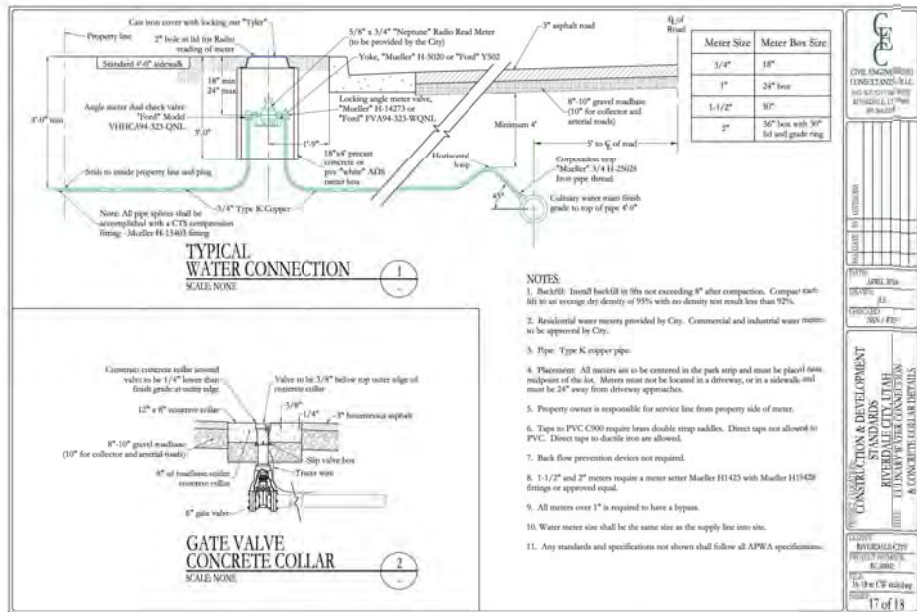
REV.	DATE	DISCUSSION	BY
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SHEET TITLE
Trash Enclosure Details
C602



HUNT & DAY
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RIVERSIDE FLATS
671 West & 4400 South
Riverdale, Weber County, UT 84405

REVISIONS

NO.	DATE	DESCRIPTION
1	02-27-23	FINAL SUBMITTAL TO CITY
2	03-21-23	INITIAL SUBMITTAL TO CITY

VERIFICATION

VERIFIED BY:

PROJECT INFO

Engineer: T. Hunt
Drawn: T. Pidmore
Date: 03/20/2023
Proj. No: 102-08

CITY DETAILS

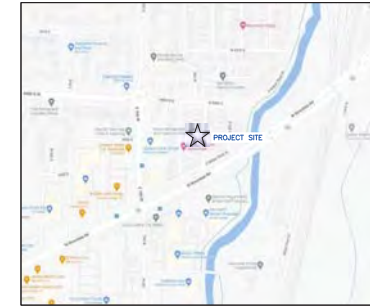
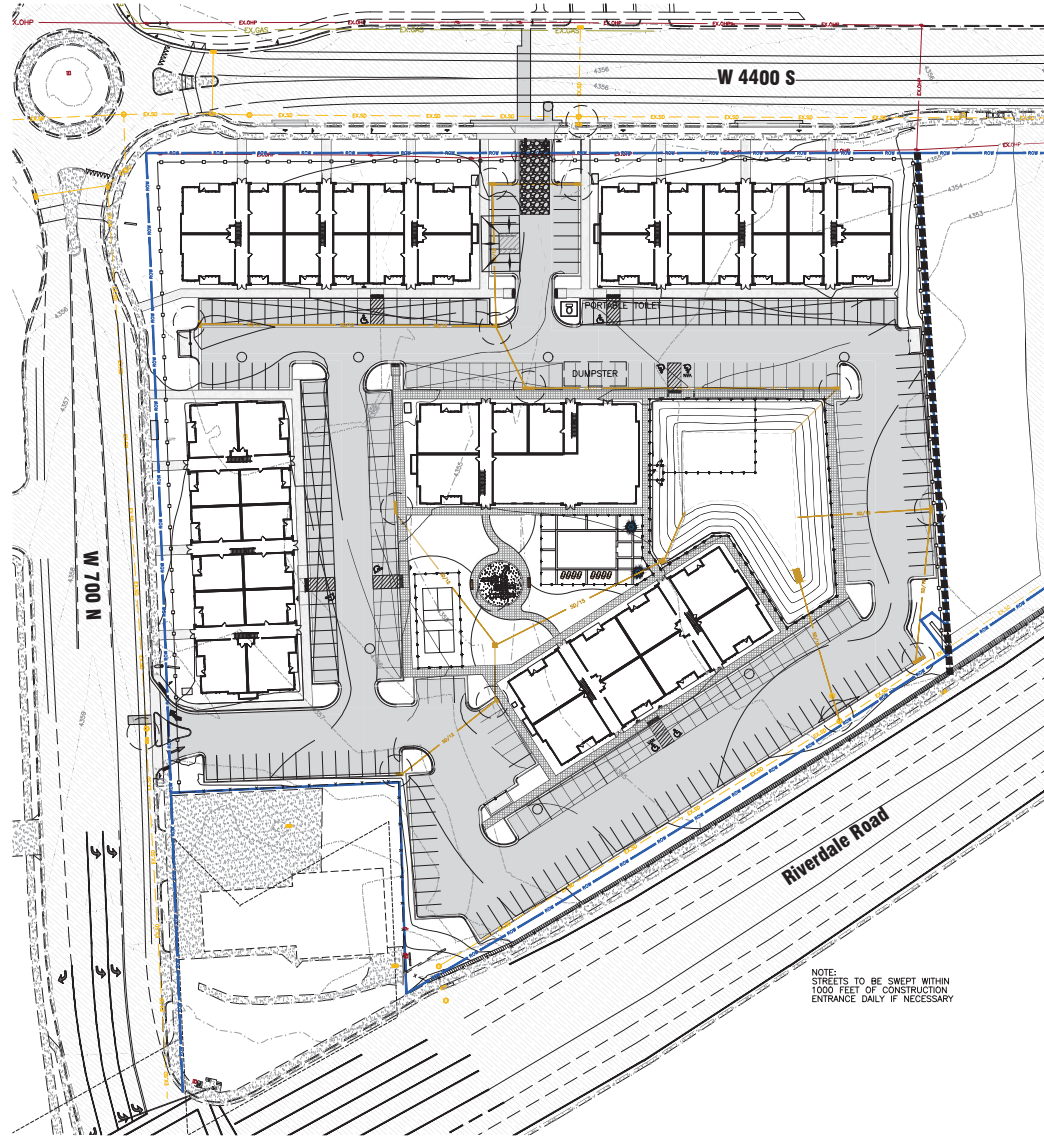
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C606

Riverdale Apartments






Storm Water Pollution Prevention Plan

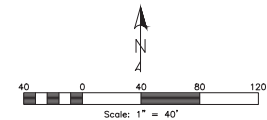
RIVERDALE, WEBER COUNTY, UT
MARCH 2023



Vicinity Map
NOT TO SCALE

STORM WATER BMP's

-  INLET PROTECTION
TYP. (SEE DETAIL)
-  SILT FENCE
(SEE DETAIL)
-  TEMPORARY
CONSTRUCTION FENCE
-  ALL VEHICLES EXITING SITE
TO PROCEED THROUGH
CONSTRUCTION ENTRANCE
TO REDUCE AMOUNTS OF
SEDIMENT TRACKED ONTO
ROADWAYS.
50'x20' CONSTRUCTION
ENTRANCE W/8" CLEAN
GRAVEL
SCALE: 1"=30'
-  CONCRETE WASH
AREA (SEE DETAIL)
OR AS SELECTED
BY CONTRACTOR
SCALE: 1"=30'



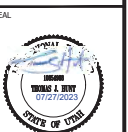
Developer Contact:
WRIGHT DEVELOPMENT GROUP
SPENCER WRIGHT
1178 WEST LEGACY CROSSING BLVD
CENTERTOWN, UT 84014
PH: (801) 773-7339



HUNT & DAY
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Syracuse, UT 84075
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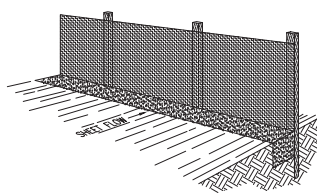
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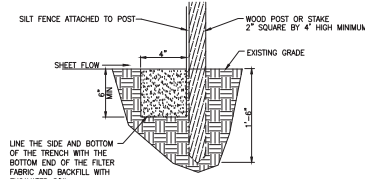
SHEET TITLE
**SWPPP
Exhibit**
C700

Notes:

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
2. THE CONTRACTOR SHALL REMOVE LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, FROM THE SITE ON A DAILY BASIS, OR AS A MINIMUM, PRIOR TO ANY ANTICIPATED STORM EVENT; OR OTHERWISE PREVENT SUCH MATERIAL FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
3. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLE WILL ENTER OR EXIT THE SITE. VEHICLE TRACKING CONTROL FACILITIES, SILT FENCE AND INLET PROTECTION WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY FOR PHASING OF THE WORK, UNTIL ALL WORK IS COMPLETE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING STREETS CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, THE CONTRACTOR SHALL REMOVE OFF-SITE ACCUMULATIONS OF SEDIMENT IMMEDIATELY TO MINIMIZE OFF SITE IMPACTS. AT NO TIME SHALL SEDIMENT BE WASHED DOWN UNPROTECTED INLETS INTO THE PUBLIC STORM SEWER SYSTEM.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED, AND SHALL REMOVE SEDIMENT FROM SEDIMENT TRAPS OR PONDS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. EXCEPT AS PROVIDED IN (A), (B), AND (C) BELOW, THE CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
(A) WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
(B) WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
(C) IN AND AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 0-10 INCHES), SEMI-ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 10-20 INCHES), AND AREAS EXPERIENCING DROUGHTS WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IS PRECLUDED BY SEASONAL AND CONDITIONS, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
7. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL IN PROPOSED PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
8. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED OR SEEDED PER PLAN.
9. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE LOCAL JURISDICTION MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ANY NECESSARY CHANGES AND POSTING ANY UPDATES TO THE PLANS AND RECORDING CHANGES IN THE STORMWATER POLLUTION PLAN DOCUMENT.
10. THIS PLAN IS ONLY TO BE USED FOR INSTALLATION OF EROSION CONTROL FACILITIES. DO NOT USE THIS PLAN FOR FINISH GRADING OR STORM SEWER CONSTRUCTION.
11. THE CONTRACTOR SHALL AMEND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHENEVER:
- THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN;
- INSPECTIONS OR INVESTIGATIONS BY SITE OPERATORS, LOCAL, STATE, OR FEDERAL OFFICIALS INDICATE THE SWPPP IS PROVIDING INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART II.B.1 OF THE PERMIT, OR IS OTHERWISE NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY; AND
- A NEW CONTRACTOR AND/OR SUBCONTRACTOR WILL IMPLEMENT A MEASURE OF THE SWPPP IN ORDER TO IDENTIFY THEIR ROLE AND RESPONSIBILITY FOR THE SWPPP. AMENDMENTS TO THE PLAN MAY BE REVIEWED BY THE EXECUTIVE SECRETARY (OR AUTHORIZED REPRESENTATIVE) IN THE SAME MANNER AS PART II.B.2 OF THE PERMIT.
12. THE CONTRACTOR SHALL KEEP A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, AND INCLUDE THIS INFORMATION IN THE SWPPP.
13. THE CONTRACTOR SHALL NOTE THAT FLUCTUATIONS OF THE GROUNDWATER TABLE MAY OCCUR DUE TO VARIOUS FACTORS NOT EVIDENT AT THE TIME OF PREPARATION OF THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY DEWATERING PERMITS REQUIRED FOR THE PROJECT.
14. THE PROJECT SITE IS IN FLOOD ZONE "X" WHICH DENOTES AREAS OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD.
15. THERE ARE NO SURFACE WATER FEATURES LOCATED ON THIS SITE.
16. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEES BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR SHALL CONTAIN AND TREAT ALL LEAKS AND SPILLS FROM ANY EQUIPMENT OR FACILITIES.
17. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE. CONCRETE TRUCK WASHING SHALL BE DONE AT THE LOCATION SHOWN.
18. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS TO CONTAIN AND CLEANUP FUEL OR CHEMICAL SPILLS AND LEAKS.
19. FUGITIVE DUST BLOWING FROM THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
20. NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
21. ALL MEASURES PRESENTED IN THE SWPPP SHALL BE INITIATED AS SOON AS PRACTICABLE.
22. IF THE GRAVEL CONSTRUCTION ENTRANCES ARE NOT EFFECTIVE IN REMOVING THE MAJORITY OF DIRT OR MUD FROM THE TIRES OF THE CONSTRUCTION VEHICLES, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER THE PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
23. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
24. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
25. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
27. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAIN CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
28. THE CONTRACTOR SHALL POST THESE PLANS AND THE SWPPP IN THE JOB TRAILER, LOG ALL CHANGES, AND UPDATE PLANS AND THE SWPPP AS REQUIRED.
29. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AND CONFORM TO ALL CITY AND STATE REQUIREMENTS FOR EROSION CONTROL AND STORM WATER PROTECTION.
30. IN THE UNLIKELY EVENT THAT A PHASE DOES NOT IMPROVE ACCESS AND/OR AN ACCESS ROAD IS CONSTRUCTED, BEST MANAGEMENT PRACTICES SHALL BE APPLIED IN ANY TEMPORARY OR PERMANENT STRUCTURES OR ACCESS POINTS.
31. THE CONTRACTOR SHALL COMPLETE WEEKLY INSPECTION FORMS FOR THE CITY'S RECORDS, COVERING WEEKLY INSPECTIONS AND MAINTENANCE.
32. EXISTING PERIMETER FENCING TO ACT AS CONSTRUCTION FENCING. IF PERIMETER FENCING IS REMOVED, A CONSTRUCTION SHALL BE INSTALLED UNTIL A NEW FENCE OR WALL IS CONSTRUCTED.



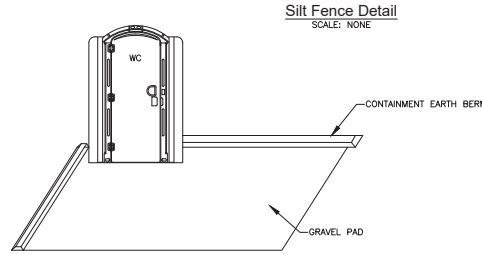
Perspective View



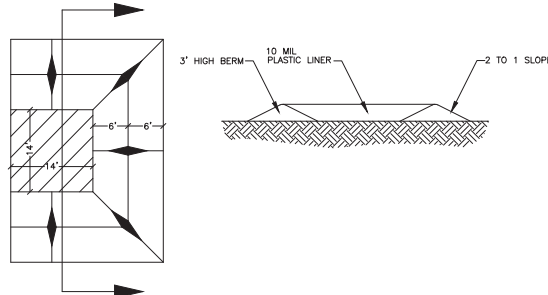
Section

Silt Fence Notes:

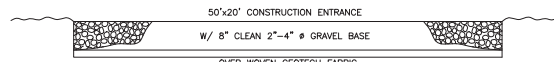
1. WHERE POSSIBLE, LAYOUT THE SILT FENCE 5' TO 10' BEYOND THE TOE OF THE SLOPE.
2. ALIGN THE FENCE ALONG THE CONTOUR AS CLOSE AS POSSIBLE.
3. WHEN EXCAVATING THE TRENCH, USE MACHINERY THAT WILL PRODUCE NO MORE THAN THE DESIRED DIMENSIONS.
4. AVOID USING JOINTS ALONG THE FENCE AS MUCH AS POSSIBLE. IF A JOINT IS NECESSARY, SPLICE THE SILT FENCE AT A POST WITH A 6" OVERLAP AND SECURELY FASTEN BOTH ENDS TO THE POST.
5. MAINTAIN A PROPERLY FUNCTIONING SILT FENCE THROUGHOUT THE DURATION OF THE PROJECT OR UNTIL DISTURBED AREAS HAVE BEEN VEGETATED.
6. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA.
7. WHEN PLACING FENCE ON SLOPES STEEPER THAN 2:1 SEE SWPPP REPORT.



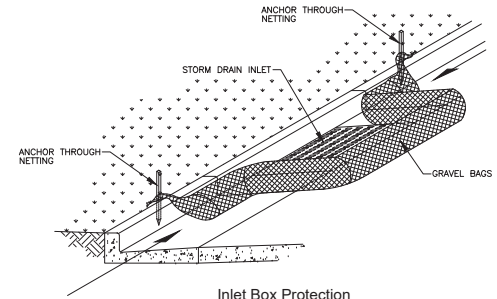
Portable Toilet



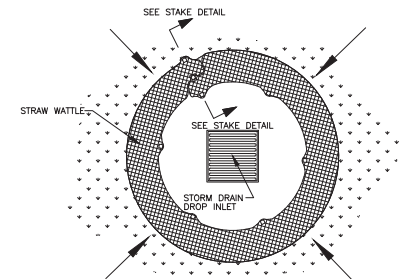
Concrete Washout Area
w/ 10 mil Plastic Liner



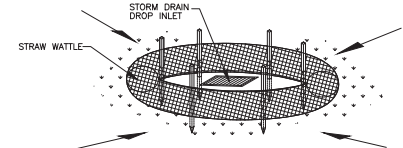
Cross Section 50' x 20' Construction Entrance



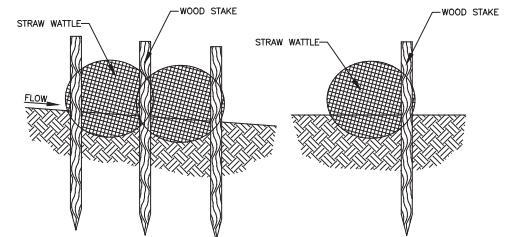
Inlet Box Protection



Plan View



Drop Inlet Protection



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EH: Thomas@HuntDay.co

RIVERSIDE FLATS
671 West & 4400 South
Riverdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	02-27-23	FINAL SUBMITTAL TO CITY	TH
0	03-31-23	INITIAL SUBMITTAL TO CITY	TP

SEAL



VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON ORIGINAL DRAWING, SCALES ACCORDINGLY

PROJECT INFO:
Engineer: T. Hunt
Drawn: T. Pridemore
Date: 03 / 20 / 2023
Proj. No. 102 - 08

SHEET TITLE

SWPPP
Notes

SHEET

C701