



**NOTICE OF A REGULAR  
PLANNING COMMISSION MEETING**

**October 2, 2024, at 6:00 PM**

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PUBLIC NOTICE is hereby given that the Vineyard Planning Commission will hold a regularly scheduled Planning Commission meeting on Wednesday, October 2, 2024, at 6:00 PM, in the City Council Chambers at City Hall, 125 South Main Street, Vineyard, UT. This meeting can also be viewed on our [live stream page](#).

- 1. CALL TO ORDER/INVOCATION/INSPIRATIONAL THOUGHT/PLEDGE OF ALLEGIANCE**
- 2. PRESENTATIONS/RECOGNITIONS/AWARDS/PROCLAMATIONS**
- 3. PUBLIC COMMENTS PC**

Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing.
- 4. CONSENT ITEMS**
  - 4.1. Approval of the August 7th, 2024 Planning Commission Meeting Draft Minutes**
  - 4.2. Approval of the August 21st, 2024 Planning Commission Draft Minutes.**
- 5. BUSINESS ITEMS**
  - 5.3. 2024 Planning Commission Chair & Vice-Chair Re-Election**
  - 5.4. Minor Site Plan Amendment & Conditional Use Permit Application - Enigma 3, 197 E 1600 N**
  - 5.5. LDS Church Site Plan and Conditional Use Permit - Holdaway Fields**
  - 5.6. Public Hearing: Zoning Text Amendment to allow for pharmacy drive-thrus within the Downtown Vineyard (Town Center) Special Purpose Zoning Code**
  - 5.7. Site Plan: Utah City Block 13c**
  - 5.8. Sign Standard Waiver - Wendy's**
  - 5.9. Public Hearing: Rezone of Lot 6545 (New Fire Station Lot) in the Cottonwoods Neighborhood from R-1-8 to Public Facilities**

**5.10. Public Hearing: Rezone of 145 N Geneva Road from Regional Mixed Use (RMU) to Geneva Road Mixed Use (GRMU) District. (POSTPONED)**

**6. WORK SESSION**

No work items were submitted.

**7. STAFF, COMMISSION, AND COMMITTEE REPORTS**

**8. ADJOURNMENT**

The next regularly scheduled meeting is October 16th, 2024.

The public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Madison Reed, Planning Technician, at least 24 hours prior to the meeting by calling (385)204-2531 or email at madisonr@vineyardutah.org.

The foregoing notice and agenda were posted on the Utah Public Notice Website and Vineyard Website, posted at Vineyard City Hall, and delivered electronically to city staff and each member of the Planning Commission.

**AGENDA NOTICING COMPLETED ON:**

September 27th, 2024

**CERTIFIED (NOTICED) BY:**

/s/ Madison Reed

Madison Reed, Planning Technician





**MINUTES OF A REGULAR PLANNING  
COMMISSION MEETING MINUTES  
Vineyard City Council Chambers  
125 South Main Street, Vineyard, Utah  
August 7, 2024, at 6:00 PM**

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**ATTENDENCE:**

**COMMISSIONERS PRESENT:** Vice-Chair Bryce Brady, Graden Ostler, and Caden Rhotton

**STAFF PRESENT:** Cache Hancey, Senior Planner and Representation for Community Development Director in place of Morgan Brim; Anthony Fletcher, Planner; Madison Reed, Planning Technician; Naseem Ghandour, Public Works Director;

**OTHERS PRESENT:** Bronson Tatton with Flagborough, Resident Daria Evans, Jordan Christensen, and BJ Laterveer with Flagborough.

**1.  CALL TO ORDER/ INVOCATION/ PLEDGE OF ALLEGIANCE**

The meeting was called to order at 6:04 by Commissioner Graden Ostler and he led a prayer.

**2. PUBLIC COMMENTS PLANNING COMMISSION**

There were no public comments.

**3.  CONSENT ITEMS**

**3.1. Approval of the 05.01.24 Planning Commission Meeting Draft Minutes**

**3.2. Approval of the 04.03.24 Planning Commission Meeting Draft Minutes**


 VICE-CHAIR BRYCE BRADY MOTIONED TO MOVE THE MINUTE APPROVAL TO THE NEXT MEETING AT 6:06PM. COMMISSIONER CADEN RHOTTON SECONDED.


**4. BUSINESS ITEMS**


There were no business items.

46 5.  **WORK SESSION**


47  
48 **5.1. Utah City Blocks 4, 13, and 18 Site Plan Work Session**

49  
50  Planner Cache Hancey introduced the applicant and the project. He discussed the  
51 progress of the staff reviews.

52  
53  Bronson Tatton and BJ Laterveer with Flagborough presented a map of the blocks  
54 and provided updates on the progress. Mr. Tatton began with block 4D for the grocery  
55 store and he briefed the details. He provided the site plan as well as the layout of the  
56 grocery store and the pharmacy. Mr. Tatton included the elevations.

57  
58  Planner Hancey asked about the visibility of the entrance.

59  
60 Mr. Laterveer commented on the paseo and the prominence as well as the design and  
61 visibility.

62  
63  Vice-Chair Brady asked about how many levels the future parking lot will be.

64  
65 Mr. Tatton responded in saying that they do not know yet and that it is dependent on  
66 future progress. He briefed the other buildings.

67  
68  Planner Hancey prompted comments.

69  
70  Commissioner Rhoton asked for clarification on future development.

71  
72 Mr. Laterveer noted that it will be continuous construction for a connected building.


73  
74  Commissioner Ostler asked for clarification on retail corner.

75  
76 Mr. Laterveer responded in listing ideas for this area including restaurants or retail or  
77 something that can be adapted.

78  
79  Mr. Tatton discussed activating use and outdoor seating.










80  
81 Commissioner Ostler asked about access for that corner.









82  
83 Mr. Tatton responded in saying that they have planned it to be independent from the  
84 grocery store.

85  
86  Resident Daria Evans asked about the pharmacy drive thru and noted that she feels it  
87 would be very beneficial for older communities.


88  
89 Planner Hancey comments why this comment is important as the planning department is  
90 working on a zoning text amendment to make the drive thru compliant. He outlined this  
91 process.

92


93  Vice-Chair Brady expressed confusion on why this was not in the plans.  
94  
95 Planner Hancey discussed the landscaping.  
96  
97 Vice-Chair Brady commented on the orientation of the building and drive thru for  
98 simplicity.  
99  
100  Jordan Christensen asked about bike parking.  
101  
102 Mr. Tatton noted the plan for bike parking and discussed a bike-share program they are  
103 working on called Green Bike.  
104  
105 Vice-Chair Brady commented on the plans.  
106  
107  Mr. Tatton added parking updates they have planned.  
108  
109 Vice-Chair Brady asked about the code's timeline for landscaping with temporary  
110 parking lots.  
111  
112 Planner Hancey commented on the timeline of the temporary parking and landscaping.  
113  
114  Mr. Tatton transitioned to introduce the block 13c. He introduced the plans and  
115 details.  
116  
117 Mr. Laterveer commented on the amenities included.  
118  
119  Mr. Tatton described the landscaping site plan and discussed connectivity of the  
120 paseo.  
121  
122 Mr. Laterveer described the elevations. He noted the amenities throughout these plans.  
123  
124  Vice-Chair Brady asked if there will commercial space.  
125  
126 Mr. Tatton responded in saying that it is intended to be public  
127  
128 Vice-Chair Brady asked if people could rent it out.  
129  
130  Mr. Laterveer noted that it has not been set up that way, but more of a working  
131 space for residents.  
132  
133 Mr. Tatton provided clarification on the layout and discussed the hierarchy.  
134  
135  Planner Hancey presented the renderings.  
136  
137  Vice-Chair Brady asked questions about the units.  
138

139 Mr. Laterveer noted that they are two separate units. Bronson discussed these units in the  
140 renderings.  
141  
142 Mr. Tatton discussed the garage doors for the maker's space.  
143  
144  Planner Hancey pointed out that the ground floor units have access to the street as  
145 well as an interior hallway system.  
146  
147 Mr. Tatton noted that the different buildings try to appeal to different desires.  
148  
149 Mr. Laterveer noted they all the buildings will always have exterior access.  
150  
151  Mr. Tatton discussed parking for block 13c.  
152  
153  Commissioner Rhotton asked about how the parking will be enforced.  
154  
155 Mr. Tatton responded that they are making sure they are enforcing it.  
156  
157  Vice-Chair Brady asked if they have the parking plan yet.  
158  
159 Mr. Tatton responded in saying that they are doing studies and that these exhibits are the  
160 groundwork for the parking studies.  
161  
162  Vice-Chair Brady expressed concern for getting the parking plan set before the  
163 certificate of occupancy.  
164  
165 Mr. Tatton noted that they have 500 stalls.  
166  
167 Vice-Chair Brady asked about the parking study.  
168  
169 Planner Hancey discussed the parking study.  
170  
171  Vice-Chair Brady clarified his question about parking: How the people parking  
172 their currently will be handled?  
173  
174 Planner Hancey discussed the enforcement and noted the process of getting the parking  
175 permits.  
176  
177  Mr. Tatton transitioned to blocks 13b and 18c. He discussed the details for 13b.  
178  
179 Mr. Laterveer provided context on the purpose of the buildings and focus for the  
180 demographic. He discussed some of the intentional spaces targeted for this group.  
181  
182  Mr. Tatton discussed the amenities and their target for the demographic. He noted  
183 these amenities in the plans.  
184  
185 Mr. Laterveer added the reason behind the layout.


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 Vice-Chair Brady asked for clarification in the drawing

Mr. Laterveer noted that that space is the cross section of the bridge.

 Commissioner Ostler asked about the build quality and how aesthetic.

Mr. Laterveer discussed that their build is up to the market rate; it is kept affordable but keep up with quality.

 Vice-Chair Brady asked how many square feet these units are.


Mr. Laterveer discussed the layout of the units.


 Mr. Tatton provided the unit sizes. There are 12 unit types and there are different layouts.

Planner Hancey showed the renderings.

 Mr. Laterveer discussed design intentions and noted the orientation of each wall.

Mr. Tatton noted that all sides are visible and that they are trying to find the best area to put things like trash and electrical.


 Mr. Tatton discussed the landscaping and Planner Hancey showed the renderings for the landscape.

 Vice-Chair Brady asked about the gating.


Mr. Tatton discussed the paseo and the fence.

 Vice-Chair Brady asked about the market or commercial area.

Mr. Tatton clarified that they allocated space for a commercial inclusion. Mr. Laterveer discussed the intention behind this area.


 Resident Daria Evans asked about the noise being close to the road.

Mr. Laterveer discussed that it is not a big concern because of how infrastructure can mitigate those things and highlighted some infrastructure in future progress to help with this.


 Ms. Evans commented on the aesthetic of some apartments. Mr. Tatton and Mr. Laterveer discussed the balcony rails and the intention with the light color.

Vice-Chair Brady commented on his appreciation of the project.

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 Planner Hancey asked about parking for the commercial space.


Bronson responded in saying that they imagine a timed parking to not stall circulation.

 Commissioner Rhotton noted the need for bike storage for spaces like this.

Planner Hancey noted the bike storage areas nearby.

 Mr. Laterveer discussed all of the factors present.

Mr. Tatton noted the number of bike racks.

 Planner Hancey provided an update on the process for these moving forward.

## 5.2. Vineyard Fire Station #35

 Planner Hancey presented the fire station. He showed the plans and discussed the materials for the façade.

Public Works Director Naseem Ghandour noted that they do plan to do the façade red.

 Commissioner Ostler asked about the size of the garage.

Planner Hancey provided details on the garage use.


 Commissioner Ostler asked about the acreage of the land.

Planner Hancey responded in saying that it was 2 lots consolidated down to 1 equating 0.29 acers for the entire lot.


 Commissioner Ostler asked about the lot number and address.

Planner Hancey provided the number being lot 6545 and he noted the orientation of the fire house. Planner Hancey provided the address: 226 W 80 S.

Planner Hancey discussed the landscaping and sidewalk access. He noted that concerns for parking will be discussed.

 Vice-Chair Brady noted the need for revisions of signage for parking.

Planner Hancey addressed the safety plan on how to provide notice to the community. He discussed the level of awareness surrounding safety and community disruptions.

 Commissioner Ostler asked about the safety beacons and their locations in the neighborhood.

279 Staff Engineer Patrick James noted that they would be on either side of the station and  
280 noted pavement markings.


281  
282  Planner Hancey mentioned the inclusion of a monument sign.


283  
284 Vice-Chair Brady asked about the curbing.

285  
286 Engineer James noted it would be the same.


287  
288 A discussion about the curbs ensued.

289  
290 Planner Hancey presented the renderings and provided details.


291  
292  Planner Hancey noted that the garage is considered an accessory structure and how  
293 that is compliant with the city code.

294  
295  Vice-Chair Brady commented on the requirement for the setback.


296  
297 Planner Hancey acknowledged the need for further review.


298  
299  Commissioner Ostler asked about the estimated frequency of calls.

300  
301 Planner Hancey noted the national standard being 5 minutes and 30 seconds, but that  
302 Vineyard is at 6 minutes and 23 seconds. A fire station here would give a response time  
303 of under 4 minutes.

304  
305  Planner Anthony Fletcher noted that this will be presented in 2 weeks at the next  
306 planning commission meeting and will need a conditional use permit.

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309 **6.  STAFF, COMMISSION, AND COMMITTEE REPORTS**


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311  Planner Fletcher provided an update on the TAG grant and its corresponding project. The  
312 RPF was sent out and they have met with the consultants.

313  
314  Planner Hancey noted the trail repavement that was completed. He noted the progress  
315 toward Tucker Row. Commissioner Ostler asked about connections.


316  
317  Planner Hancey discussed plans for trails with Utah Trail Network.

318  
319 Commissioner Rhotton asked if it would be on the South side.

320  
321 Planner Hancey responded in providing the layout. He discussed the progress.

322  
323  Public Works Director Ghandour mentioned that the public works streets team installed a  
324 new no turn on red sign which will enhance safety specifically for schools. He announced that  
325 there will be a test for a flasher near Vineyard Elementary to enhance safety.

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 Planner Hancey introduced a parking improvement.

7.  **ADJOURNMENT**

The meeting was adjourned at 7:28pm.

**MINUTES CERTIFIED COMPLETE ON:**

**CERTIFIED (NOTICED) BY:** /s/. Madison Reed

Madison Reed, Planning Technician

DRAFT





**MINUTES OF A REGULAR  
PLANNING COMMISSION MEETING  
Vineyard City Council Chambers  
125 South Main Street, Vineyard, Utah  
August 21, 2024, at 6:00 PM**

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**ATTENDENCE:**

**COMMISSIONERS PRESENT:** Vice-Chair Bryce Brady, Graden Ostler, Nathan Steele, and Chris Bramwell. Brad Fagg joined the meeting during business item 5.2 and Chris Bramwell joined the meeting during item 5.1.

**STAFF PRESENT:** Cache Hancey, Senior Planner; Anthony Fletcher, Planner; Morgan Brim, Community Development Director; Brian Vawdrey, Parks and Recreation Director; Naseem Ghandour, Public Works Director; and Madison Reed, Planning Technician.

**OTHERS PRESENT:** Kathryn Schwarz with Enigma, Bronson Tatton with Flagborough, and Paul Kenny with CRSA. Residents Russell Evans, Daria Evans, Karen Corneleius, Jared Klundt, Abby Tatton, David Lauret, and Darlene Price.

**1.  CALL TO ORDER/INVOCATION/PLEDGE OF ALLEGIANCE**

Vice-Chair Bryce Brady called the meeting to order at 6:02pm. Commissioner Nathan Steele provided an invocation and led the pledge of allegiance.

**3. PUBLIC COMMENTS**

There were no public comments.

**4.  CONSENT ITEMS**

**4.1. Approval of the April 3rd, 2024 Planning Commission Meeting Minutes**

**4.2. Approval of the May 1st, 2024 Planning Commission Meeting Minutes**


**4.3. Approval of June 5th, 2024 Planning Commission Meeting Minutes**

**4.4. Approval of the July 17, 2024 Planning Commission Meeting Minutes**

50  **Motion:** COMMISSIONER STEELE MOVED TO APPROVE THE MINUES AT  
51 6:03PM. COMMISSIONER GRADEN OSTLER SECONDED. THOSE WHO VOTED YES:  
52 BRADY, OSTLER, STEELE. THE VOTE CARRIED UNANIMOUSLY.  
53

54 5.  **BUSINESS ITEMS**


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57 **5.1. Public Hearing: Parks and Recreation Master Plan**  
58

59  Senior Planner Cache Hancey provided an introduction for this. He updated the commission  
60 of the progress on the document.

61  
62 Vice-Chair Brady clarified its run more like a work session.

63  
64 Parks and Recreation Director Brian Vawdrey acknowledged that it will be done in October.


65  
66 Vice-Chair Brady postponed the public hearing but welcomed public comments.  
67

68  Paul Kenney with CRSA provided an introduction on the Parks and Recreation Master Plan.  
69 He outlined the process and where they are at: step three. Mr. Kenney outlined existing  
70 conditions and information gathered from the public outreach. He provided a map of some master  
71 plans in the nearby area they looked at for recommendations. The priorities were outlined. Mr.  
72 Kenney provided the steps they will take moving forward with the process and what it will  
73 provide for the master plan, specifically impact fees.

74  
75 Commissioner Chris Bramwell joined the meeting at 6:07pm.  
76

77  Commissioner Bramwell asked about when new development would need to pay.  
78


79 Community Development Director Morgan Brim discussed how impact fees are assessed and  
80 when they would be pulled.  
81

82  Vice-Chair Brady asked if we had a breakdown of the age population.  
83


84 Director Brim said that we have the census information.  
85

86 Mr. Kenney said that they have some, however it is skewed and behind where they have the  
87 estimates.  
88


89 Director Brim noted that there is a population of students that may not live in the area.  
90


91  Vice-Chair Brady commented on the 10 year priority that activities for kids are things that  
92 will get outgrown and mentioned that he felt that a skate park was more urgent. This would give  
93 activities for older kids as he felt that this was an immediate need.  
94

95 Commissioner Steele agreed. He asked a question about the areas of immediate priority and if we  
96 had plans yet.  
97

98  Director Vawdrey noted that these are guidelines. He noted it was West of Gammon Park.  
99 He added that the feedback they got from the public was to add fields and community gardens but  
100 that the funding was not there yet.


101 Commissioner Steele clarified that as the plans come up, they will be shared with the public.  
102  
103

104  Director Brim discussed funding.  
105

106  Vice-Chair Brady restated that activities for teenage kids needs to be a priority.  
107


108 Director Brim asked Mr. Kenney to explain the effort to hit different populations.  
109

110 Mr. Kenney noted that the age group was 18-30. He noted that most of the people polled were  
111 parents. Mr. Kenney added that this is a baseline.  
112

113  Commissioner Steele noted census data that included 36% of people were under the age of  
114 18. He agreed that teenaged populations are an immediate need.  
115

116 Director Brim said that there is time to do targeted outreach.  
117


118 Commissioner Steele recommended that the field on Saturdays is when you would find the most  
119 teenaged people. Vice-Chair Brady recommended a sign or visual aid to get attention.  
120

121  Mr. Kenney clarified that they did flyer with QR codes, but they could do that again.  
122

123 Director Vawdrey asked if the intention was to get teenaged feedback.  
124

125 Commissioner Brady noted he wanted more feedback from that age group.  
126

127 Commissioner Steele recommended informing the people that register for activities with this  
128 information or surveys.  
129


130  Vice-Chair Brady said he was going to hold off on the public hearing but that public  
131 comments were welcomed.  
132

133 Vice-Chair Brady asked where they got the data.  
134


135 Commissioner Steele said 2022 census.  
136

137 Director Brim discussed the accuracy of this data.  
138


139 Planner Hancey noted that they use Certificates of Occupancy to generate numbers. He discussed  
140 the calculation and future processes for number calculations.  
141


142  Resident Daria Evans mentioned that she liked the idea of a skate park and noted that if they  
143 were going to move the community center to the North then that would open a good space for this  
144 type of recreation.  
145

146 Resident Darlene Price appreciated the skate park and recommended a dirt bike park but  
147 expressed concern for if it will be monitored or if they will have to sign waivers.  
148


149  Resident Karen Cornelius asked a question about how much of a project would be covered  
150 by impact fees and how much comes from the budget. She also commented on Ms. Evans'

151 comment and discussed the age of people in the area. She also asked about the survey regarding  
152 survey software.  
153

154  Resident Jared Clute appreciated the skate parks and wanted to push the disc golf inclusion.  
155  
156 Vice-Chair Brady addressed the comments.  
157


158  Mr. Kenney did the survey through survey monkey.  
159


160 Planner Hancey noted that they did not have access to our Qualtrics.  
161

162  Vice-Chair Brady discussed how the developer conducts their work and why they may have  
163 not used Vineyard's survey software.  
164


165 Vice-Chair Brady discussed the age that would use skate parks. He added that a place like that in  
166 Utah City could be a good benefit.  
167


168 Director Brim commented that he has experienced business at skate parks with different age  
169 ranges.  
170

171  Director Brim discussed where the skate park has land reserved.  
172

173  **Motion:** COMMISSIONER STEELE MOVED TO POSTPONE THE PUBLIC  
174 HEARING AT 6:42PM TO A LATER DATE. COMMISSIONER BRAMWELL SECONDED.  
175


176 Commissioner Brad Fagg joined the meeting at 6:42pm.  
177

178 **5.2.  Public Hearing: Zoning Text Amendment for Event Centers in the Flex Office**  
179 **Industrial Zone - Ordinance 2024-10**  
180


181  Director Brim introduced the Zoning Text Amendment (ZTA) and the business, Enigma 3.  
182 He briefed the purpose of the business and intentions for events. He discussed what the ZTA  
183 would change. He exemplified some conditions around vehicular travel. Staff recommended  
184 approval. He acknowledged the Zoning Code review that may adjust the table.  
185

186 Vice-Chair Brady asked if they recommend approval if it would come up at a later date.  
187


188 Director Brim described the process. He also introduced the applicant who was present at the  
189 meeting.  
190

191  Commissioner Steele asked about the completion of the documentation.  
192

193 Director Brim noted that it would be fixed and clear and finalized before it made it to City  
194 Council.  
195


196  Commissioner Bramwell asked if it was already running.  
197

198 Kathryn Schwarz with Enigma 3 said no it is not currently running events.  
199


200  Vice-Chair Brady asked what kind of events.

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Ms. Schwarz gave an example of a private employee party. They want small events.


 Commissioner Steele noted there is no definition for an event center.

Director Brim noted that that could be found in the definitions section, but that it could be added. He outlined the process.

 Commissioner Steele noted that the vagueness could not protect us and commented that the version brought to the city council should have a definition.

Director Brim noted that the definition can be added. He asked if he needed that tonight or if that is something that could be brought back.

Commissioner Steele is comfortable with approving this as a condition. Vice-Chair Brady agreed.

 Vice-Chair Brady clarified that this is a recommendation.


 **Motion:** COMMISSIONER BRAMWELL MOTIONED TO OPEN UP A PUBLIC HEARING. COMMISSIONER FAGG SECONDED.

There were no public comments.

 **Motion:** COMMISSIONER FAGG MOTIONED TO CLOSE THE PUBLIC HEARING AT 6:55PM. COMMISSIONER STEELE SECONDED.


 **Motion:** COMMISSIONER STEELE MOVED TO RECOMMEND APPROVAL WITH A CONDITIONAL USE PERMIT AND INCLUSION OF A DEFINITION OF EVENT CENTER AT 6:55PM. COMMISSIONER FAGG SECONDED. ROLL FOR YES WENT AS FOLLOWS: OSTLER, STEEL, BRADY, BRAMWELL, AND FAGG. THE VOTE CARRIED UNANIMOUSLY.

### 5.3. Utah City Block 4 (Bella's Market) Site Plan


 Planner Anthony Fletcher presented the Bella's market location and introduced the zoning area. He discussed the parking and size of the grocery store. He provided the site plan and landscape plan and noted conditions for more information on the landscaping. Planner Fletcher provided the elevations. He also provided visual aids to provide perspective. He included the condition as he recommended approval with conditions.

The conditions are as follows: the applicant shall provide an updated and detailed landscaping plan to meet the minimum required percentage of landscaping for the site, provide a detailed photometric plan, meet all building design requirements, areas where pedestrian walkways cross driveways shall be constructed of stamped and/ or raised concrete or other material and designed to differentiate the area as a pedestrian/ vehicle interface, the applicant shall comply with all requirements provided by the Fire Marshal regarding fire access and maximize the safety and convenience of pedestrian flow throughout the site, the applicant pays any outstanding fees and makes any redline corrections, the applicant is subject to all federal, state, and local laws, and all submitted plans that include a proposed drive-thru shall be subject to the approval of a zoning text amendment.


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 Bronson Tatton with Flagborough clarified circulation around the square-about because of a median installation coming in 15-20 years.


Commissioner Steele reiterated that this is upon build-out to control traffic better in the future when there is more traffic.

 Mr. Tatton noted that as it is built now, the median is open.


Planner Hancey provided a visual aid for clarity.

 Vice-Chair Brady asked for clarification on access to the grocery store.

Mr. Tatton highlighted the two (2) points of access.

 Vice-Chair Brady asked which street is going over Vineyard Connector.

Mr. Tatton answered by saying Ben Street.


 Vice-Chair Brady discussed the circulation.

 Planner Fletcher provided the process to implement the drive thru and that it is not a part of this application.

Planner Fletcher provided the sample motion.


 Commissioner Ostler asked Mr. Tatton for a timeline.

Mr. Tatton discussed groundbreaking in this year (Oct/ Nov) for a 9 month build, Certificate of Occupancy in 2025.

 Commissioner Steele asked about a paseo and its landscaping.


Planner Fletcher said it is a part of the conditions.

Mr. Tatton provided clarification.

 Commissioner Steele asked about the conditions and what is included.


Planner Hancey clarified the lots involved.

Commissioner Steele wanted the condition to be straight forward.

 Commissioner Bramwell asked about the travel patterns for the trucks.

Mr. Tatton noted that the trucks come in the morning. He mentioned that there are two (2) loading docks.


Commissioner Bramwell expressed concern for the trucks and the drive thru.

302  Mr. Tatton discussed the entrances. He acknowledged the challenge for the four-sided  
303 building because there is no back of house.


304  
305  Vice-Chair Brady asked about directional access.

306  
307 Mr. Tatton said you can turn left.

308  
309 Vice-Chair Brady initiated conversation about the drive-thru with Mr. Tatton.

310  
311  Commissioner Steele clarified that the drive thru is a future discussion

312  
313 Vice-Chair Brady opened up for questions.

314  
315  Ms. Price asked for clarification on the loading and unloading.

316  
317 Vice-Chair Brady was repeating and answering Ms. Price's questions as she asked them.

318  
319 Ms. Price asked how the trucks pulled in.

320  
321 Vice-Chair Brady noted that the trucks back in.


322  
323 Ms. Price clarified the road they access the docs from. She asked if Vineyard will have a problem  
324 with traffic and the trucks backing in.

325  
326 Vice-Chair Brady noted that the trucks will come in very early in the morning which should not  
327 effect the traffic too much. He also acknowledged the concern for traffic on Avery street.

328  
329  Mr. Tatton discussed the separate entrances.

330  
331 Commissioner Steele reiterated that the drive thru is not a part of this application.


332  
333 Mr. Tatton acknowledged the point of conflict.

334  
335  Vice-Chair Brady discussed the finish on all sides of the building and how that effects the  
336 truck loading issue. He discussed the level of traffic on this road.

337  
338 Mr. Tatton noted why the drive thru is not included.

339  
340  Planner Fletcher discussed the process for the drive thru.

341  
342 Vice-Chair Brady invited people to come and offer opinions for that future plan.

343  
344  Ms. Evans expressed disappointment in the circulation. She expressed concern for the  
345 residents' sleep during loading and unloading time. She also asked about the parking for the  
346 residents.

347  
348 Vice-Chair Brady asked Mr. Tatton if there was a concern with the trucks.


349  
350 Mr. Tatton noted that the loading is enclosed. He added that the lower three (3) stories are  
351 amenity space in the residential space.

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Planner Hancey noted the residential is a future discussion.

 Commissioner Bramwell asked if there would be safety precautions for the truck exiting.


Mr. Tatton noted that it would be a good addition.

Planner Hancey noted this could be added as a condition.

 Commissioner Fagg noted back up alarms could be an irritant.

The grocery store is coming in before the residential.

Planner Fletcher added working with staff on potential safety concerns as a condition.

 Sarah Cameron asked about the hours of the pharmacy.

 Russel Evans commented that the trucks come when they come. He expressed poor planning.

 Ms. Cornelius noted that the push for four-sided finish could pose problems. She also noted that there are still a lot of question marks.

Vice-Chair Brady asked for the specific questions.

Ms. Cornelius expressed concern for all of these concerns that have been addressed.

 Commissioner Bramwell discussed the Harmons in Salt Lake and how they navigate truck traffic and loading.

Mr. Tatton noted that their parking is above.

Planner Hancey provided a visual aid.


Mr. Tatton noted that this is similar to what they are implementing.


 Ms. Cornelius asked if Bella's was going to pull out without a drive-thru.

Mr. Tatton noted that they own Bella's.


Discussion about the drive-thru ensued.

Planner Hancey provided the process and opportunity for comments.

 Commissioner Steele shared his liking for this plan. He expressed that this is a downtown area.

 **Motion:** COMMISSIONER STEELE MOTIONED TO APPROVE THIS APPLICATION WITH THE RECOMMENDED CONDITIONS AT 7:39PM. COMMISSIONER FAGG SECONDED. THOSE IN FAVOR VOTED YES: OSTLER, BRADY, STEEL, BRAMWELL, AND FAGG. THE VOTE CARRIED UNANIMOUSLY.




403  Planner Hancey noted they the conditions are important and briefed the public on how they  
404 are handled


405  
406

407 **5.4.  Vineyard Fire Station #35 Site Plan and Conditional Use Permit**

408

409  Planner Hancey presented the fire station and discussed the changes that were made. He  
410 provided a map to orient the location at 226 W 80 S. He noted that it will look like a house. He  
411 showed the landscape plan. Planner Hancey discussed parking and the garage. He noted the issue  
412 with the garage and mentioned that this is listed as a condition.

413

414  Vice-Chair Brady asked about the setback on the north side.

415

416 Planner Hancey noted 18 feet.

417

418 Vice-Chair Brady asked about the process after the rezone.


419

420 Planner Hancey noted it would have to be rezoned.

421

422 Planner Hancey provided the elevations for the public. He noted that this will be brick.


423

424  Commissioner Ostler asked if there was going to be a fire pole.


425

426 Planner Hancey noted a monument sign.

427

428  **Motion:** COMMISSIONER STEELE MOVED TO APPROVE THE APPLICATION AS  
429 PRESENTED AT 7:47PM. COMMISSIONER FAGG SECONDED. THOSE IN FAVOR  
430 VOTED YES: OSTLER, BRADY, STEELE, BRAMWELL, AND FAGG. THE VOTE  
431 CARRIED UNANIMOUSLY.

432

433  Planner Hancey noted that construction wanted to be started soon. He noted requests for  
434 future signage. It is about a one (1) year construction.

435

436 **6. WORK SESSION**

437

438 No work items were submitted.


439

440 **7.  STAFF, COMMISSION, AND COMMITTEE REPORTS**

441

442 **7.1.  ULI Housing Summit**


443

444  Planner Hancey noted the intention to discuss trainings. He presented the experience about  
445 the housing conference in Salt Lake City. He discussed the drive for construction to keep up with  
446 demand. He discussed the drive for renters to get to home ownership.

447

448  Public Works Director Naseem Ghandour addressed construction at the trail. He introduced  
449 concrete projects around the city.

450

451  Vice-Chair Brady asked about the bylaws for Development Review Committee.

452

453 Planner Hancey said no.


454

455 Vice-Chair Brady asked about voting.

456

457 Planner Hancey said he could look into this.

458

459  Vice-Chair Brady noted that we need to get the election for a new chair on the agenda.

460

461 Planner Hancey acknowledged that he was planning on getting it on the next agenda.

462

463 **8.  ADJOURNMENT**

464

465 The meeting was adjourned at 7:52 pm.

466

467 **MINUTES CERTIFIED COMPLETE ON:**

468

469

470 **CERTIFIED (NOTICED) BY:** /s/. Madison Reed

471

Madison Reed, Planning Technician

472

DRAFT



## VINEYARD PLANNING COMMISSION STAFF REPORT

**Meeting Date:** October 2, 2024

**Agenda Item:** 2024 Planning Commission Chair & Vice-Chair Re-Election

**Department:** Community Development

**Presenter:** Cache Hancey

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**Background/Discussion:**

With the resignation of the current chair of the planning commission, it is necessary to elect a new chair and vice-chair to finish out the 2024 calendar year. Only sitting members (non-alternates) are eligible for nominations.

**Fiscal Impact:**

No fiscal impact.

**Recommendation:**

**Sample Motion:**

"I move to nominate ... as the chair and ... as the vice-chair of the Vineyard City Planning Commission"

**Attachments:**

None



## VINEYARD PLANNING COMMISSION STAFF REPORT

**Meeting Date:** October 2, 2024

**Agenda Item:** Minor Site Plan Amendment & Conditional Use Permit Application - Enigma 3, 197 E 1600 N

**Department:** Community Development Department

**Presenter:** Cache Hancey

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### **Background/Discussion:**

At the last city council meeting, event space in the flex office industrial (FOI) zone was changed from a non-permitted use to a conditional use at the request of Enigma 3. They have recently applied for the conditional use permit and minor site plan applications to allow for their property to be used as an event center.

Enigma 3 currently operates out of the eastern half of the building located at 197 E 1600 N. Their equipment rental facility takes up half of their space, leaving roughly 9,000 sq/ft of space available for event rental. The event space includes bathrooms, a kitchen, two green rooms, and a large event space. The kitchen is designed for catering preparation and heating, and not for cooking. An architectural review of the existing structure was completed earlier this year to ensure that the building was fit for an event space. From the review, it was determined that the maximum occupancy of the event space is 300 people. A condition of approval has been included.

The applicant has proposed using the dirt lot to the north of the property as event parking. Event attendees will be directed to the parking entrance by a traffic coordinator. The parking lot will consist of 90 stalls, which is 45 stalls above their required minimum. There are an additional 41 parking stalls that surround the building that include 2 ADA stalls that will be available for use. Due to the location of the ADA stalls, access for their use must be available for all times that any event is ongoing, or their site needs to include ADA stalls closer to the event entrance. There are 3 lights proposed to be placed in the parking lot to provide lighting at night. A pedestrian crossing is located to the west of the parking lot that will include reflective signage to alert drivers of crossing pedestrians.

Due to most events taking place on weekends and in the evenings, semi-truck traffic should not create a conflict with the proposed site. Any additional signage will be reviewed and approved through a separate building permit. Currently, no additional signage has been proposed.

### Conditions:

- Due to the use of a dirt parking lot, the parking striping may not be clear. A traffic coordination plan must be submitted prior to business licensing approval.
- The event space must be limited to 300 people or fewer.
- Parking must be contained on site, including the parking wrapping the building and the dirt lot to the north. ADA access must be provided at all times, either through allowing

the use of the south entrance doors or by creating new ADA stalls closer to the main entrance on the north. The ADA code states that ADA stalls "must be located on the shortest accessible route to the accessible entrance"

**Fiscal Impact:**

Events may provide additional direct and indirect sales tax revenue for the city. It will also help an existing business make better use of their property.

**Recommendation:**

Staff recommends approval of the site plan amendment and conditional use permit with the proposed conditions.

**Sample Motion:**

"I move to approve the site plan amendment and conditional use permit application as proposed by Katie Schwarz of Enigma 3 with the conditions as presented"

**Attachments:**



1. Enigma 3 Site Plan

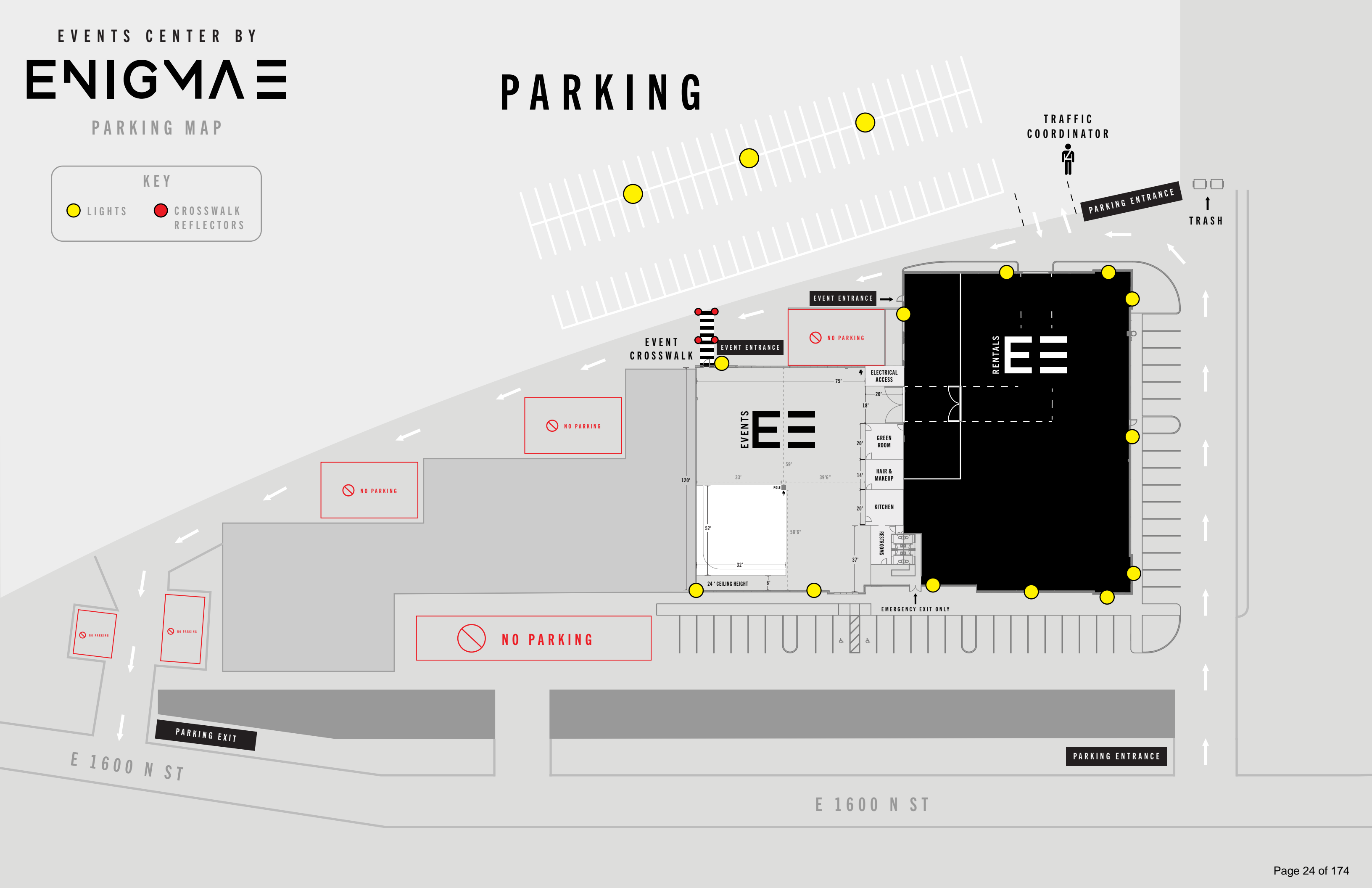
EVENTS CENTER BY  
**ENIGMA**

PARKING MAP

**PARKING**

**KEY**

-  LIGHTS
-  CROSSWALK REFLECTORS





## VINEYARD PLANNING COMMISSION STAFF REPORT

**Meeting Date:** October 2, 2024

**Agenda Item:** LDS Church Site Plan and Conditional Use Permit - Holdaway Fields

**Department:** Community Development

**Presenter:** Anthony Fletcher

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### **Background/Discussion:**

The Church of Jesus Christ of Latter-day Saints is proposing to construct a new meetinghouse on the parcel located on the northeast corner of Main Street and 400 South in Vineyard, Utah. The proposed project will be located in the special purpose zoning district of Holdaway Fields, which requires a conditional use permit since religious/ assembly place uses are not outright permitted in the zone.

This meetinghouse will be 22,637 sf and consist of a chapel with 310 seating capacity, cultural hall, offices, and classrooms for religious use. The elevations will consist of brick veneer and asphalt shingles. A 30'-0" x 60'-0" pavilion will also be constructed on the east side of the site with picnic tables to allow for outdoor activities for the church. An asphalt parking lot with 269 total parking spaces has been provided with 12 bicycle parking. An enclosed masonry dumpster enclosure with brick veneer and a metal gate has been provided to screen the dumpster. The landscaping consists of lawn area, rock mulch, trees and shrubs that are drought tolerant and will fit into the neighborhood. The meetinghouse usage is mainly on Sundays and weekday evenings.

Pedestrian access to the meetinghouse will be located off of Main Street via a sidewalk with painted crosswalks across the driveways and off of 400 South with sidewalks directly to the public way. Access to the pavilion is also provided by a sidewalk directly to the public road.

No parking will be permitted along Main Street and 400 South. The landscaping and use of rock mulch has been provided to help discourage anyone from parking along the street.

The applicant is seeking approval of a Site Plan and Conditional Use Permit.

### **Review Summary**

Total Parcel Area: 4.305 Acres

Building Areas: 12.9%

- Meetinghouse: 22,637 sf

- Pavilion: 1,462 sf

- Storage Building: 236 sf

Landscape Areas: 30.1%

- Total: 56,473 sf

- Shrub/Groundcover: 45,780 sf (581 shrubs)

- Lawn: 10,693 sf

- Trees: 63 (49 deciduous / 14 evergreen)

Impervious Areas: 56.1%

### **Fiscal Impact:**

### **Recommendation:**

Staff recommends approval of the Site Plan and Conditional Use Permit for the propose church

building within the Holdaway Fields special purpose zoning district provided the following conditions are met:

**Conditions**

- 1. The applicant shall meet all building design requirements.
- 2. The applicant shall update details of the bicycle rack to meet the requirements in Vineyard as indicated in Vineyard Zoning Code 15.38.030.2(h)(ii) - Bicycle Rack General Requirement.
- 3. The applicant shall observe the city's 'Nuisances General' ordinance outlined in the Municipal Code, Section 8.08.101(C)(2)(p).
- 4. The applicant shall comply with all requirements provided by the Fire Marshal regarding fire access and maximize the safety and convenience of pedestrian flow throughout the site.
- 5. The applicant pays any outstanding fees and makes any redline corrections as may come up during the Planning Commission Meeting.
- 6. The applicant is subject to all federal, state, and local laws.

**Sample Motion:**

"I move to approve the site plan and Conditional Use Permit as requested by Chad Spencer, the applicant, with the conditions as stated."

**Attachments:**

- 1. LDS Church Project summary - Holdaway Fields
- 2. LDS Church Landscaping Plan - Holdaway Fields
- 3. Holdaway Fields LDS Church Exterior Elevations
- 4. Holdaway LDS Church- Storm Drain Report
- 5. Holdaway Fields LDS Church Site Plan





## NARRATIVE

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DATE:	September 25, 2024
PROJECT:	Vineyard 10 & Vineyard UT Stake
PROJECT ADDRESS:	57 East 400 South Vineyard, Utah

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To Whom it May Concern,

The Church of Jesus Christ of Latter-day Saints is proposing to construct a new meetinghouse on the parcel located on the northeast corner of Main Street and 400 South in Vineyard, Utah. This meetinghouse will 22,637 sf and consist of a chapel, cultural hall, offices and classrooms for religious use. The elevations will consist of brick veneer and asphalt shingles. A 30'-0" x 60'-0" pavilion will also be constructed on the east side of the site with picnic table to allow for outdoor activities for the church. An asphalt parking lot with 269 total parking spaces has been provided. An enclosed masonry dumpster enclosure with brick veneer and a metal gate have been provided to screen the dumpster. The landscaping consists of lawn area, rock mulch, trees and shrubs that are drought tolerant and will fit into the neighborhood. The meetinghouse usage is mainly on Sundays and weekday evenings. Attached are the water and sewer demands for this building.

Pedestrian access to the meetinghouse will be located off of Main Street via a sidewalk with painted crosswalks across the driveways and off of 400 South with sidewalks directly to the public way. The access to the pavilion is also provided with a sidewalk directly to the public way.

No parking will be permitted along Main Street and 400 South. The landscaping and use of rock mulch has been provided to help discourage anyone from parking along the street.

Total Parcel Area: 4.305 Acres

Building Areas: 12.9%

- Meetinghouse: 22,637 sf
- Pavilion: 1,462 sf
- Storage Building: 236 sf

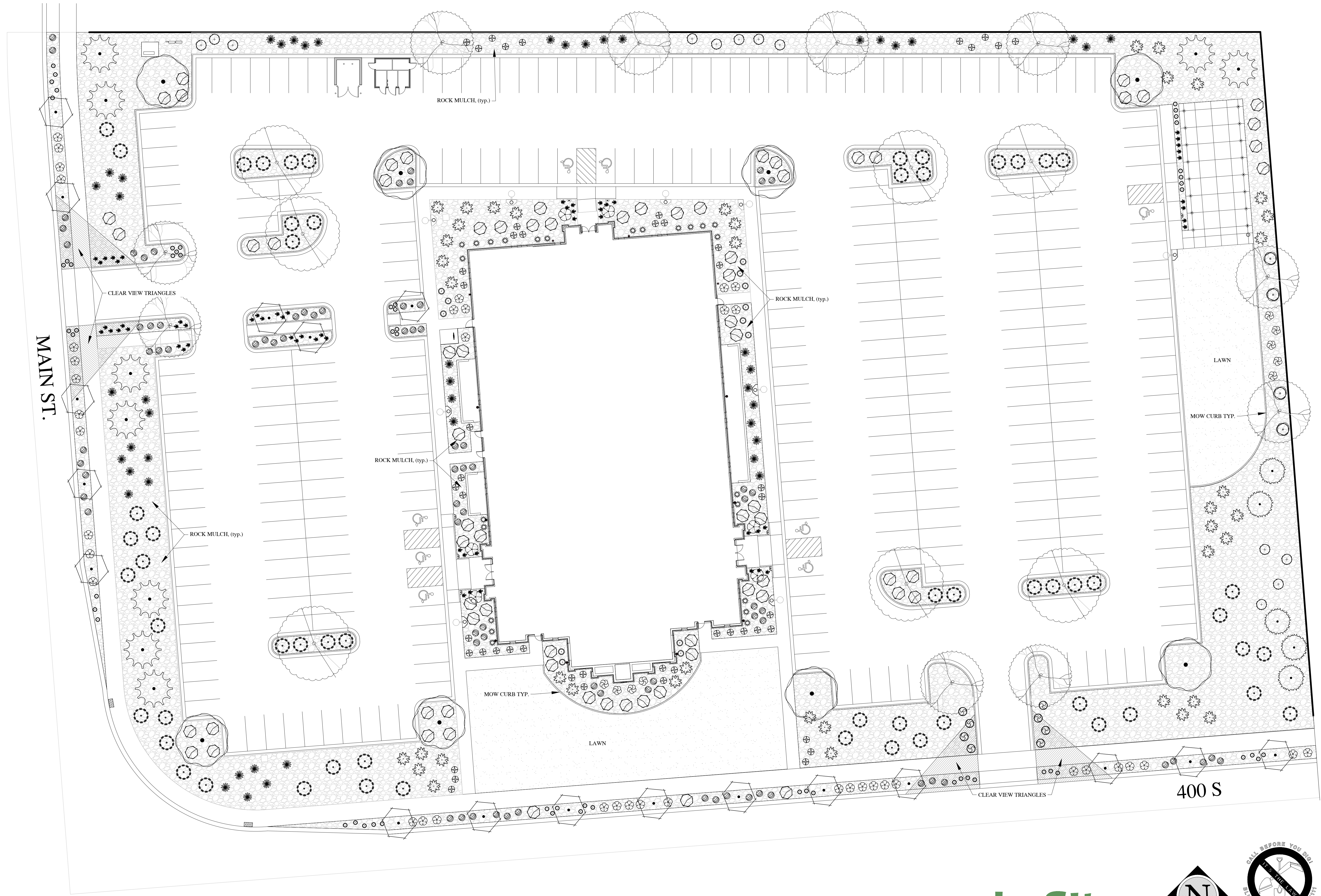
Landscape Areas: 30.1%

- Total: 56,473 sf
- Shrub/Groundcover: 45,780 sf (581 shrubs)
- Lawn: 10,693 sf
- Trees: 63 (49 deciduous / 14 evergreen)

Impervious Areas: 56.1%

Thanks,  
Chad Spencer  
ea architecture



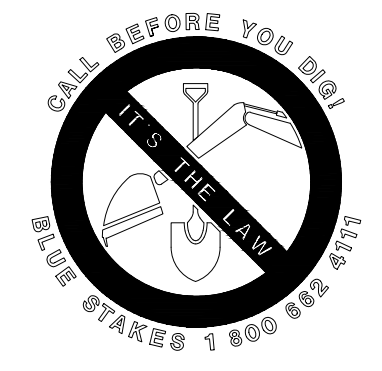
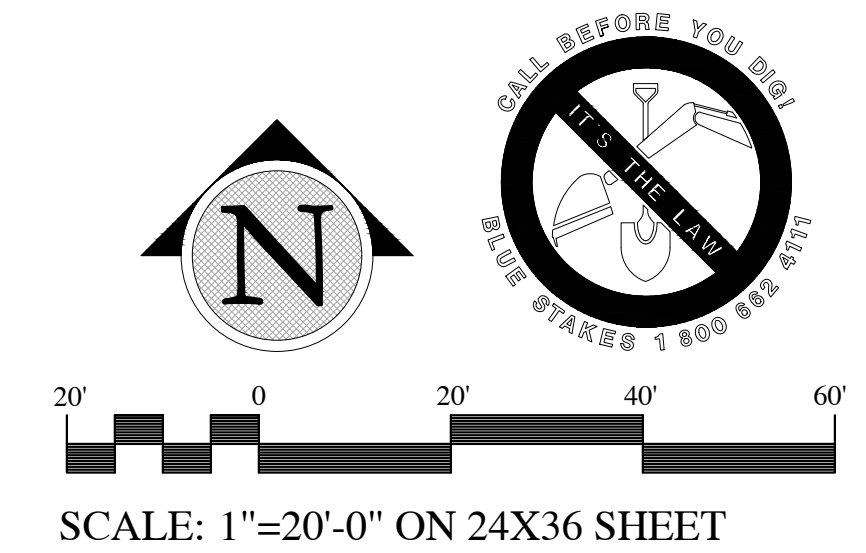


Revisions	Date	Description

Project Number	23-85
Plan Series	Heritage 23-1
Property Number	501-6747-23010101
Date	August 19, 2024

Sheet Title  
**LANDSCAPE PLAN**

Sheet  
**LS1.0**





## DESIGN CRITERIA

ECO-REGION	10.1 NORTHERN COLD DESERT
CLIMATE	U.S. HARDINESS ZONE 5
ZONING ORDINANCE	VINEYARD CITY
WATER AVAILABILITY	CULINARY WATER
SOIL TYPE	CLAY LOAM
SLOPES	SEE GRADING PLAN
WIND	SOUTH PREVAILING
SETBACKS/EASEMENTS	NA
MICROCLIMATES	NA
SOIL PH	7.6
LAWN AREA	19% OF TOTAL LANDSCAPE (10,693 SQ. FT.)*
UNDEVELOPED	NA
PROPERTY IRRIGATION SYSTEM	AUTOMATED SYSTEM WITH SMART CONTROLLER

\* PARK STRIP LANDSCAPE OF 4,464 SQ. FT. NOT INCLUDED IN THIS TOTAL

## LANDSCAPE DATA

TOTAL SITE AREA	192,869 SQ.FT.*	4.43 ACRES
TOTAL LANDSCAPE AREA	56,473 SQ.FT.*	29.3%
SHRUBS/GROUND COVER	45,780 SQ.FT.	80.6%
LAWN AREA	10,693 SQ.FT.	19.4% (20% MAX. PER CODE)
TREES ON SITE	63	
	TOTAL REQ'D = NA	PROVIDED = 63
	DECIDUOUS REQ'D = NA	PROVIDED = 49
	EVERGREEN REQ'D = NA	PROVIDED = 14
	SHRUBS REQ'D = NA	PROVIDED = 581
	DROUGHT TOLERANT REQ'D = NA	
	DROUGHT TOLERANT PROVIDED = (80%)	

\* PARK STRIP LANDSCAPE OF 4,464 SQ.FT. NOT INCLUDED IN THIS TOTAL

## PLANT COVERAGE TABLE

	SHRUB MATURE COVERAGE	ACTUAL % COVERAGE	TREE COVERAGE INTENT	TREE COUNT
STREET FRONTAGE	25-50%	49%	FRAME BUILDING	4
PRIMARY ENTRIES	30-50%	44%	FRAME ENTRY	6
BUILDING PERIMETER	25-45%	35%	ACCENT BUILDING	20
PERIMETER SIDES	5-15%	14%	SCREEN LOT	23
PERIMETER REAR	5-15%	12%	SCREEN LOT	10

## SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING LIFTED.
- LAY SOD IN ROWS WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
- LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.
- AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 POUND SOD ROLLER. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.
- WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 4" OF TOPSOIL.
- PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRESPASSING, EROSION AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.

## LANDSCAPE NOTES:

- STOCK PILED, SCREENED TOP SOIL TO BE IMPLEMENTED IN ALL NEW PLANTING AREAS AT THE FOLLOWING DEPTHS: 12" IN ALL SHRUB BEDS, 5" IN ALL LAWN AREAS.
- LAWN TO BE A DESERT SAGE BLUEGRASS BLEND (MIN. 3 VARIETIES) AND BE IMPLEMENTED AS SOD.
- 6" x 6" FLAT CONCRETE CURBING TO BE IMPLEMENTED BETWEEN ALL SHRUB BED AND LAWN AREAS AS SHOWN ON PLAN.
- ROCK MULCH TO BE 1" SIZE 'SOUTHTOWN' CRUSHED ROCK FROM UTAH LANDSCAPE ROCK IN NEPHIL, UTAH. IMPLEMENT IN AREA SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.
- ROCK MULCH TO BE CLEAN AND FREE OF DIRT AND DEBRIS. PLACED AT A UNIFORM DEPTH, AND RAKED SMOOTH.
- DEWITT 5.0 OZ. LANDSCAPE FABRIC TO BE IMPLEMENTED IN ALL SHRUB BEDS AND BENEATH ROCK MULCH PRIOR TO MULCH INSTALLATION. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- NO LANDSCAPING OR OTHER OBSTRUCTION IN EXCESS OF 3' ABOVE FINISHED GRADE SHALL BE IMPLEMENTED IN CLEAR VIEW TRIANGLES.
- MATERIAL QUANTITIES AND COUNTS ON LEGENDS AND NOTES ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR RESPONSIBLE TO VERIFY ALL COUNTS AND QUANTITIES ON PLANS.
- ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.

## BROADLEAF DECIDUOUS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	ACER TRUNCATUM 'KEITHSFORM'	8	2" CAL.
	NORWEGIAN SUNSET MAPLE		
	CARPINUS CAROLINIANA 'RISING FIRE'	18	2" CAL.
	RISING FIRE AMERICAN HORNBEAM		
	GINKGO BILOBA 'GOLDSPIRE'	6	10 GAL.
	GOLDSPIRE GINKGO		
	GLEDTISIA TRIACANTHOS 'IMPERIAL'	10	2" CAL.
	IMPERIAL HONEYLOCUST		
	ZELKOVA SERRATA 'GREEN VASE'	7	2" CAL.
	GREEN VASE ZELKOVA		

## CONIFER / EVERGREEN LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	PICEA GLAUCA DENSATA	9	6-7 TALL
	BLACK HILLS SPRUCE		
	PICEA OMORIKA	5	6-7 TALL
	SERBIAN SPRUCE		

## PERENNIAL LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	HEMEROCALLIS X 'ROSY RETURNS'	61	1 GAL.
	ROSY RETURNS DAYLILY		

## GRASS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	24	1 GAL.
	FEATHER REED GRASS		
	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE'	71	1 GAL.
	BLUE OAT AVENA GRASS		

## SHRUB LEGEND

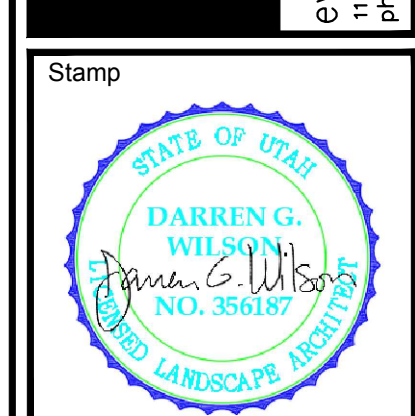
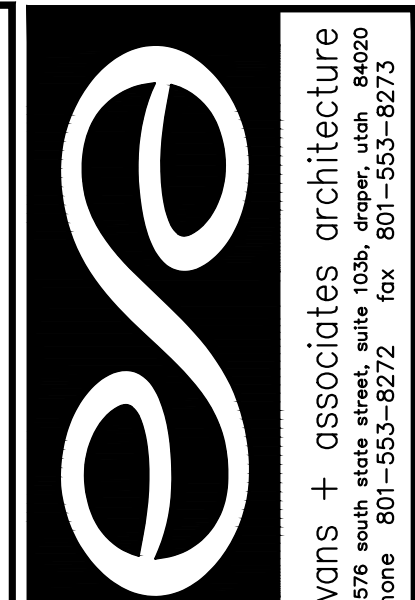
SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	BUDDLEIA X 'FLUTTERBY PETITE'	50	2 GAL.
	DWARF BUTTERFLY BUSH		
	CERCOCARPUS INTRICATUS*	12	5 GAL.
	LITTLELEAF MOUNTAIN MAHOGANY		
	CORNUS ALBA 'BAILHALO'	4	5 GAL.
	IVORY HALO DOGWOOD		
	FORSYTHIA X 'COURTASOL'	8	5 GAL.
	GOLD TIDE FORSYTHIA		
	HIBISCUS SYRIACUS 'ANTONG TWO'	9	5 GAL.
	LIL' KIM ROSE OF SHARON		
	JUNIPERUS SABINA 'SCANDIA'	40	5 GAL.
	SCANDIA JUNIPER		
	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'	48	5 GAL.
	LITTLE DEVIL NINEBARK		
	PRUNUS BESSEYI 'PAWNEE BUTTES'	74	5 GAL.
	PAWNEE BUTTES SAND CHERRY		
	ROSA X 'MEICOUBLAN'	41	5 GAL.
	WHITE MEIDLAND SHRUB ROSES		
	RIBES ALPINUM 'GREEN MOUND'	81	5 GAL.
	GREEN MOUND CURRANT		
	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	58	5 GAL.
	HANCOCK CORALBERRY (LOW-SPREADING)		

## GROUNDCOVERS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY
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	ROCK MULCH TO BE 1" SIZE 'SOUTHTOWN' CRUSHED ROCK FROM UTAH LANDSCAPE ROCK IN NEPHIL, UTAH. IMPLEMENT IN AREA SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.	PER PLAN
	DESERT SAGE BLUEGRASS FROM CHANSHARE SOD FARMS. INSTALL PER SOD LAYING NOTES	SOD ROLLS



A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
 Parcel -  
 400 South Main Street  
 Vineyard, Utah

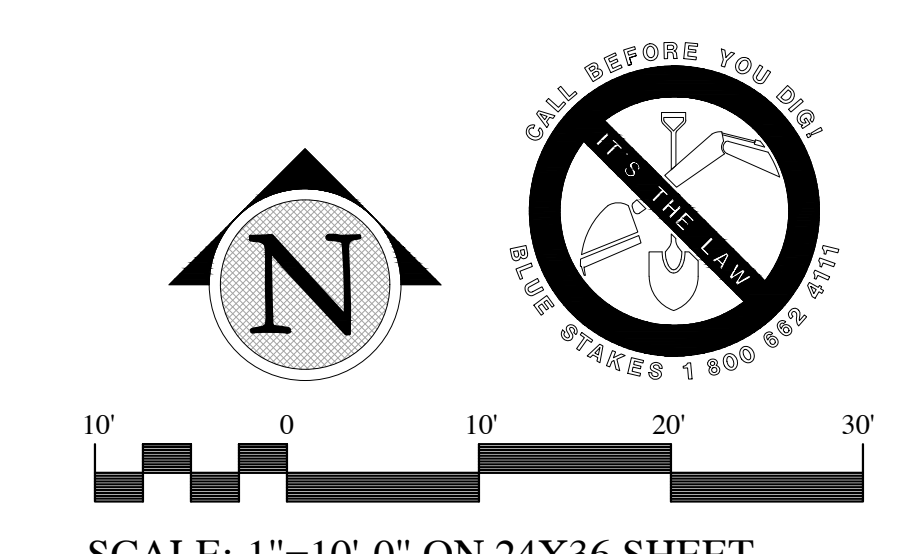
Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description
Mark	Date

Project Number	23-85
Plan Series	Heritage 23-1
Property Number	501-6747-23010101
Date	August 19, 2024

Sheet Title  
**LANDSCAPE LEGEND**

Sheet  
**LS1.1**



SCALE: 1"=10'-0" ON 24X36 SHEET

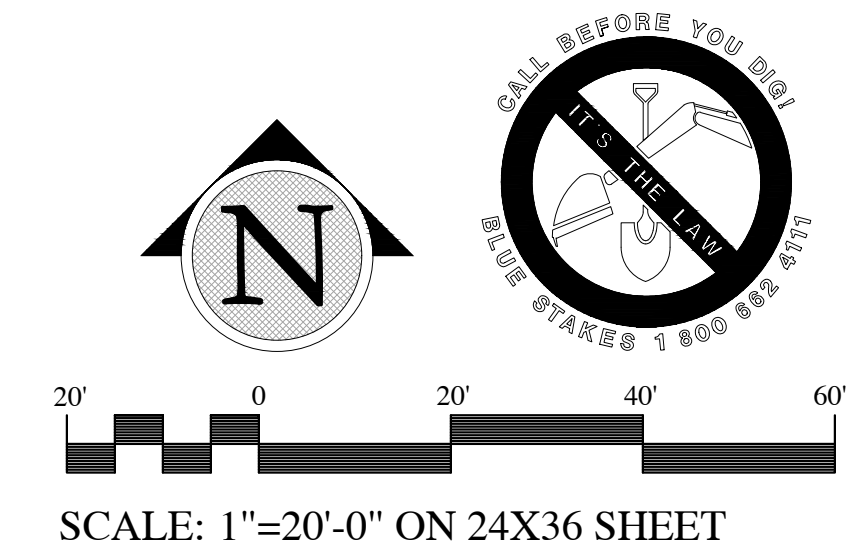
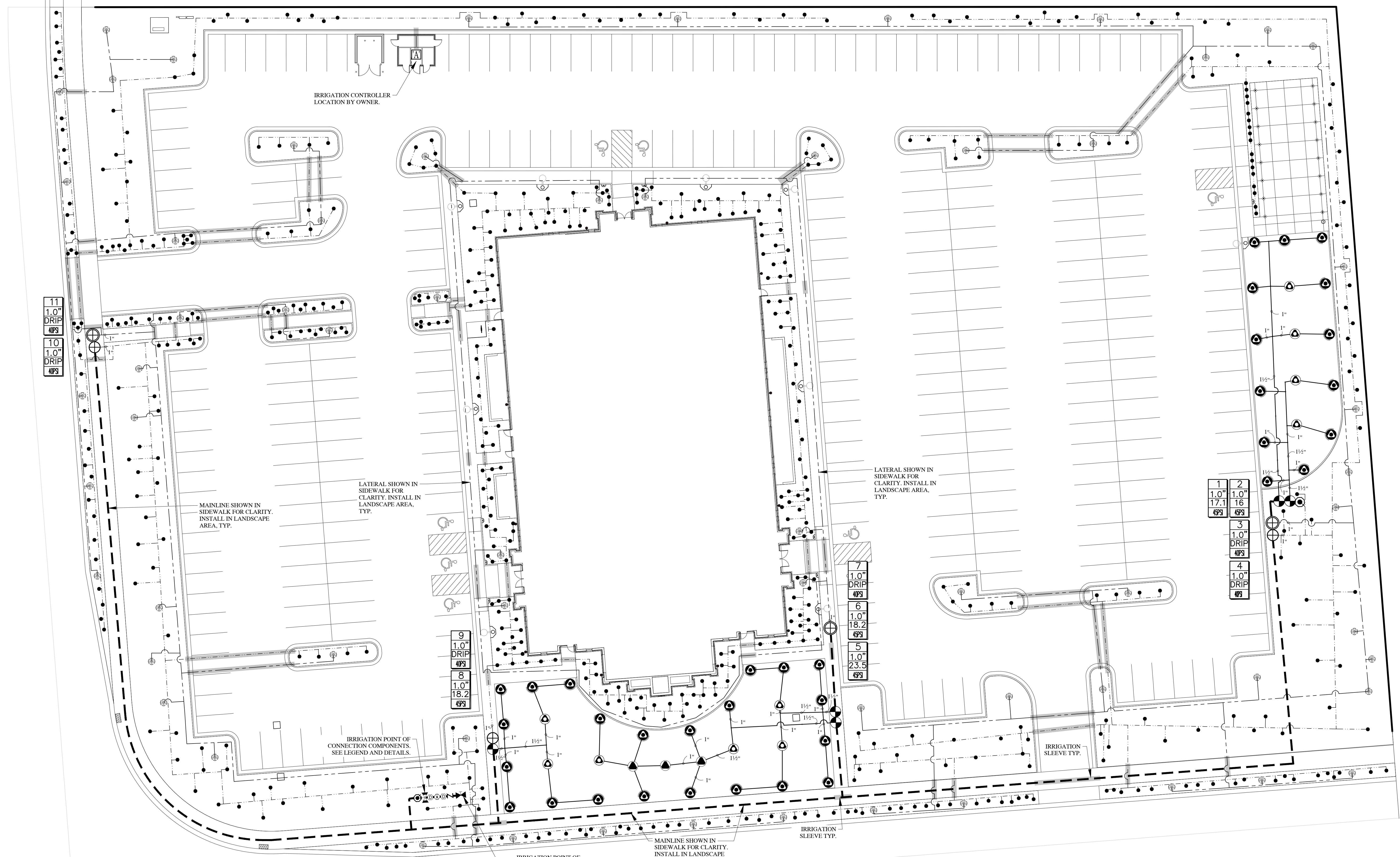


Revisions	Description
Mark	Date

Project Number	23-85
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Sheet Title  
**IRRIGATION PLAN**

Sheet  
**LS2.0**



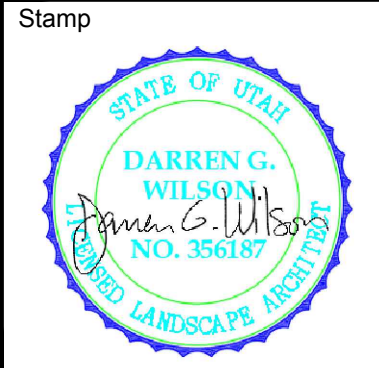
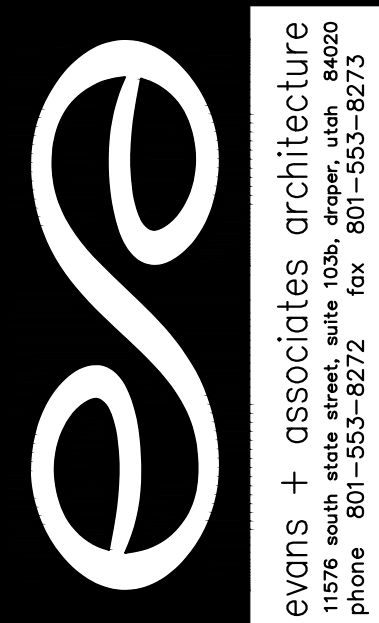


# IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM							DRIP GPH	DETAILS	REMARKS
					Q	T	H	TT	TQ	F				
●	RAINBIRD XB-PC	FULL	--	30	--	--	--	--	--	2.0	15, 16	SEE LEGEND BELOW FOR ADDITIONAL INFORMATION.		
Ⓢ	DRIPLINE: NETAHM TLCV-09-12	FULL	--	30	--	--	--	--	--	9/12"	12, 14	ADJUST NOZZLES AS NEEDED TO KEEP WATER OFF SIDEWALK, ASPHALT AND BUILDING.		
▲	RAIN BIRD 1806-PRS POP-UP ROTARY 18	FULL	13' - 18'	45	.5	--	--	--	--	1.85	18, 19	NEEDED TO KEEP WATER OFF SIDEWALK, ASPHALT AND BUILDING.		
▲	RAIN BIRD 1806-PRS POP-UP ROTARY 24	Q.H.F.	17' - 24'	45	.84	--	1.68	--	--	3.48	18, 19			
A	CONTROLLER: WEATHERTRAK ET PRO3 (WTPRO3-C-12-CWM)										8, 11, 20	COORDINATE LOCATION WITH OWNER		
N	1" RAINBIRD QUICK COUPLER VALVE, MODEL 44-LRC										4	IN 10" RND. VALVE BOX		
Ⓢ	1-1/2" WILKENS 375B RPZ BACKFLOW PREVENTOR IN GUARDSHACK ENCLOSURE										9	IN STRONGBOX ENCLOSURE		
Ⓢ	REMOTE CONTROL VALVE: RAINBIRD PEB-PRS-D AUTOMATIC CONTROL VALVE; SIZE PER PLAN										21	JUMBO VALVE BOX		
Ⓢ	DRIP CONTROL ZONE KIT: RAINBIRD XCZ-075-PRF OR XCZ-100-PRB-COM PER PLANS										17	JUMBO VALVE BOX		
Ⓢ	DRIP CONTROL ZONE KIT: RAINBIRD XCZ-075-PRF OR XCZ-100-PRB-COM PER PLANS (FOR TREES)										17	JUMBO VALVE BOX		
Ⓢ	1-1/2" STOP & WASTE TO BE INSTALLED BY GENERAL CONTRACTOR. SEE CIVIL DRAWINGS.										7	BY GENERAL CONTRACTOR		
Ⓢ	HYDROMETER: NETAHM LHM1STGI-MEL (WITH PE-393 FLOW SENSOR CABLE)										7, 10	REFERENCE DETAILS		
Ⓢ	DRAIN VALVE: GRACO WELD TOP										5, 7	REFERENCE DETAILS		
Ⓢ	ISOLATION VALVE										7	REFERENCE DETAILS		
Ⓢ	MAINLINE: 1-1/2" SCH 40 PVC OR OTHERWISE NOTED.										1, 2	REFERENCE DETAILS		
Ⓢ	LATERAL LINE FOR ROTORS AND/OR SPRAYS: SCHEDULE 40 PVC										1, 2	REFERENCE DETAILS		
Ⓢ	TREE DRIP LATERAL LINE (SIZE AS REQUIRED)										1, 2	REFERENCE DETAILS		
Ⓢ	SHRUB DRIP LATERAL LINE (SIZE AS REQUIRED)										1, 2	REFERENCE DETAILS		
Ⓢ	SCH. 40 PVC SLEEVE (SIZE TO MIN. 2X DIA. OF PIPE WITHIN THE SLEEVE). ADD ADDITIONAL SLEEVES AS REQ.										3	REFERENCE DETAILS		
NOT SHOWN	WIRE CHASE, SIZE TO BE TWICE THE DIA. OF THE WIRE BUNDLE WITHIN DOWN TO 1" DIA. MIN.										8, 11	REFERENCE DETAILS		
NOT SHOWN	14 GAUGE SOLID COPPER SINGLE STRAND WIRE.										8, 11	REFERENCE DETAILS		

# IRRIGATION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
- PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
- CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
- CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE FOR ALL LAWN AREAS. VAN AND/OR U-SERIES NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDED HEAD TO HEAD COVERAGE AND/OR TO MINIMIZE OVER SPRAY ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPE TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- MAIN LINE SHALL BE 1-1/2" SCH. 40 PVC (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 1" SCH. 40 PVC UNLESS NOTED ON PLAN. PVC PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1" PIPE MAX., 1-1/2" PIPE MAX., 3/8" GPM (DO NOT USE 3" PIPE OR 1-1/4" PIPE ON THIS PROJECT). ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING BOULDERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
- PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES AND SHRUBS PER PLANTING PLAN. DO NOT LOCATE VALVE BOXES IN LAWN AREAS IF POSSIBLE.
- AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
- ALL SPRINKLERS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
- INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS. VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
- DRIP LINES SHALL BE RAINBIRD XBS OR XT-700 TUBING DRIP PIPE. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" DRIP PIPING. FOR DRIP AREAS REQUIRING 4-8GPM USE 3/4" DRIP PIPING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
- CONTRACTOR TO INSTALL RAIN BIRD XED-09-12 ON-SURFACE DRIP LINE FOR GROUNDCOVERS, FLAGSTONE PLANTINGS AND ANNUAL PLANTING AREAS AS NEEDED. MODIFY DRIP ZONES AS NECESSARY TO PROVIDE ADEQUATE COVERAGE TO ALL LANDSCAPED AREAS.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPEC.
- IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE RPZ PER MANUFACTURER SPECS. INSTALL THE RPZ AND PRESSURE REDUCER IN A LOCKING METAL CABINET. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
- INSTALL THE PRS-D OPTION FOR SPRAY VALVES IF THE STATIC PRESSURE AT SPRAY HEADS EXCEEDS 70 PSI.



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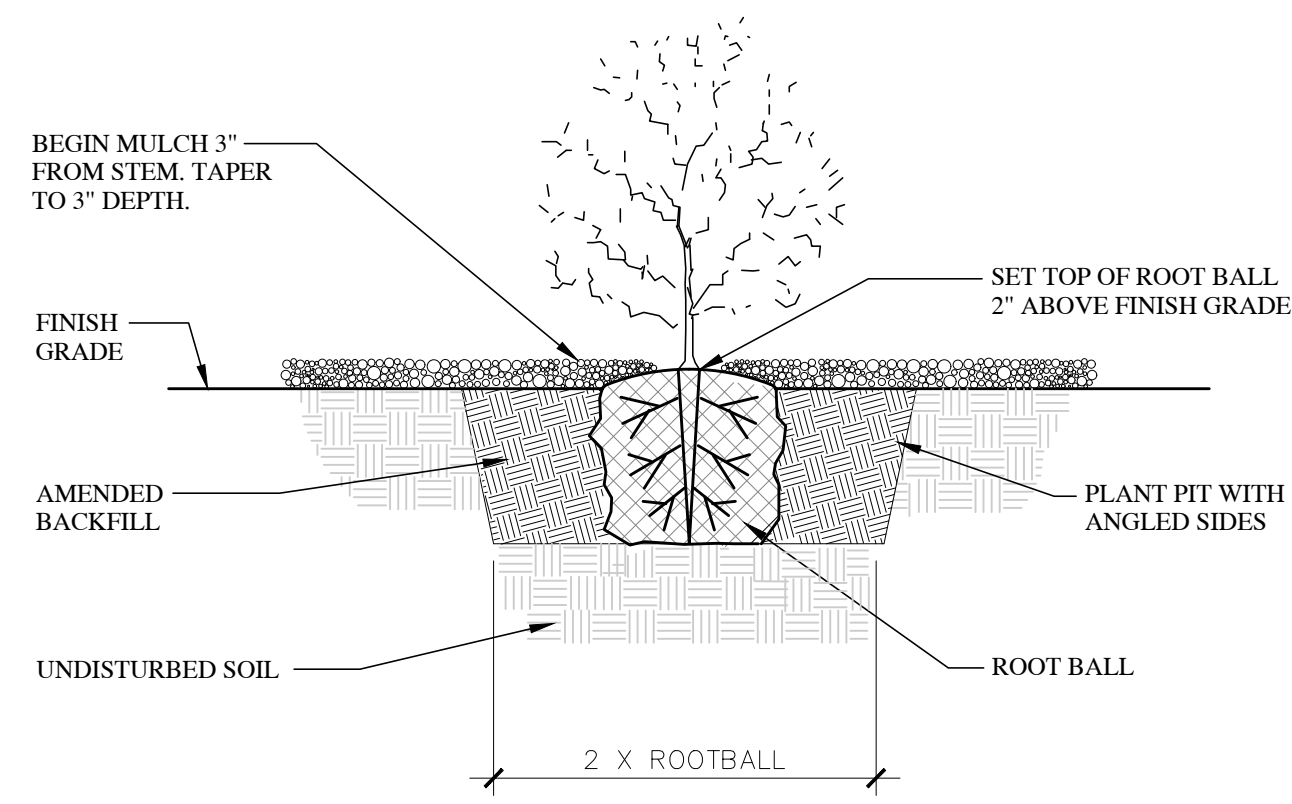
Revisions	Date	Description
Mark		

Project Number: 23-85  
 Plan Series: Heritage 23-1  
 Property Number: 501-6747-23010101  
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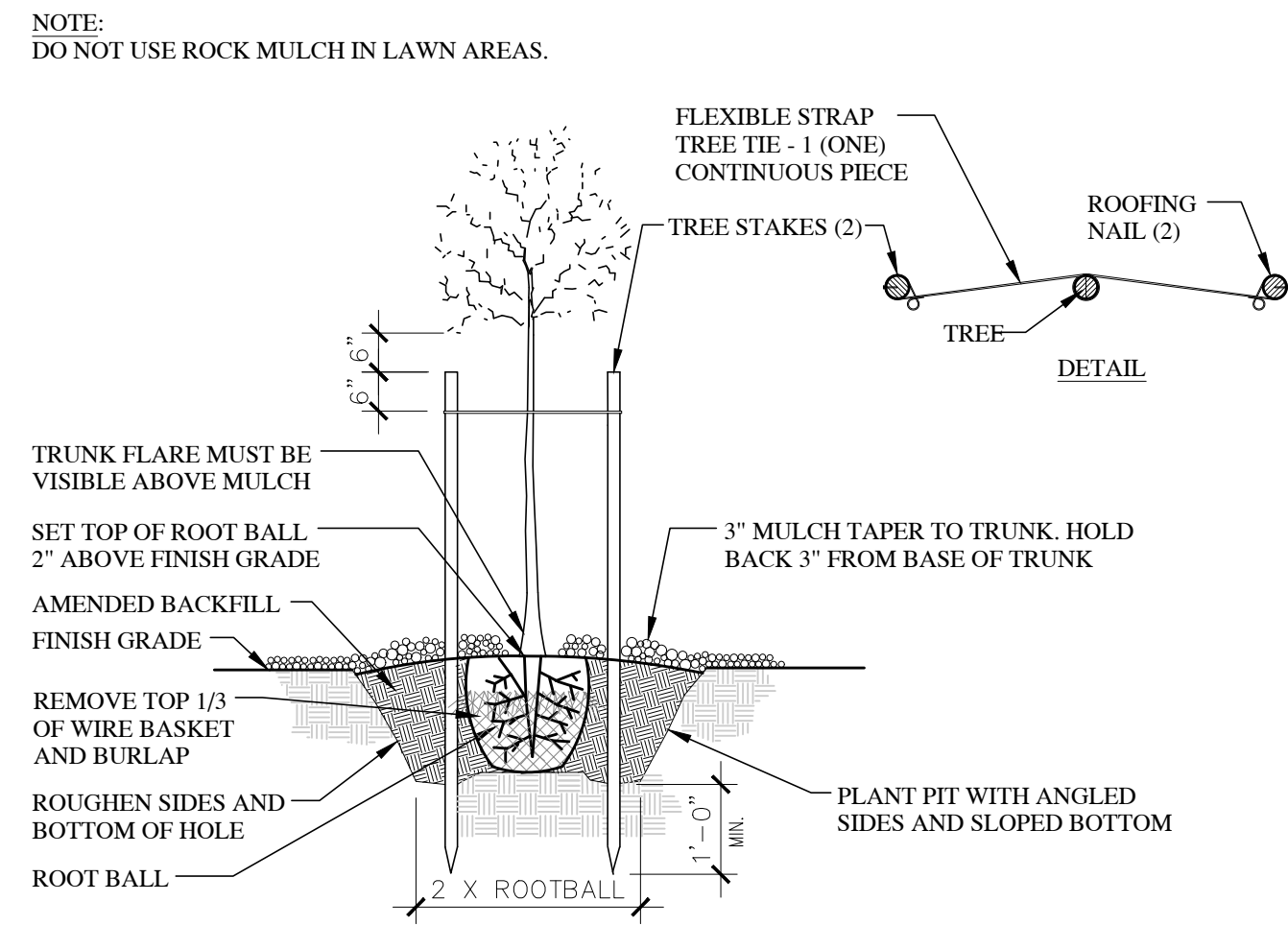
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**IRRIGATION LEGEND AND NOTES**

Sheet:  
**LS2.1**

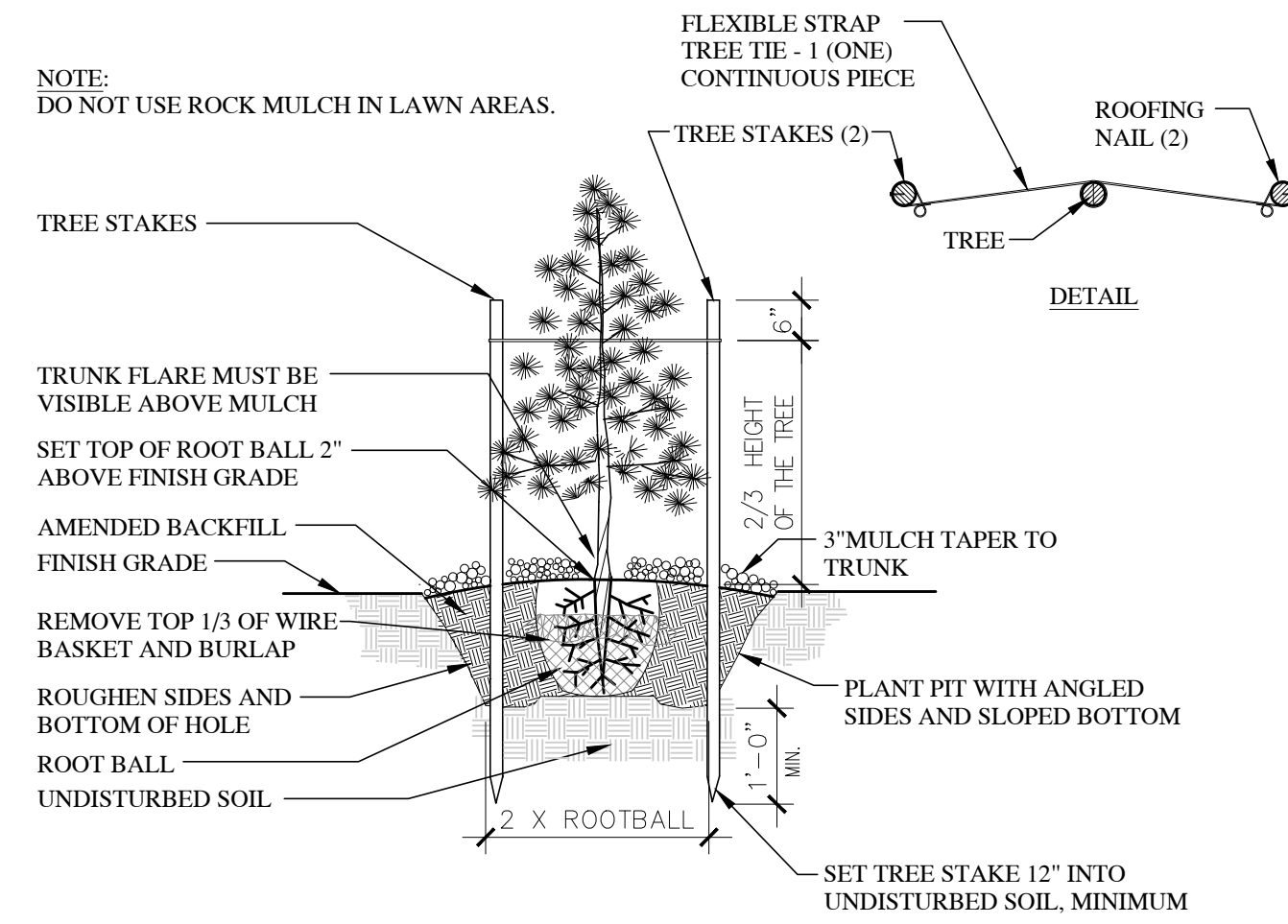




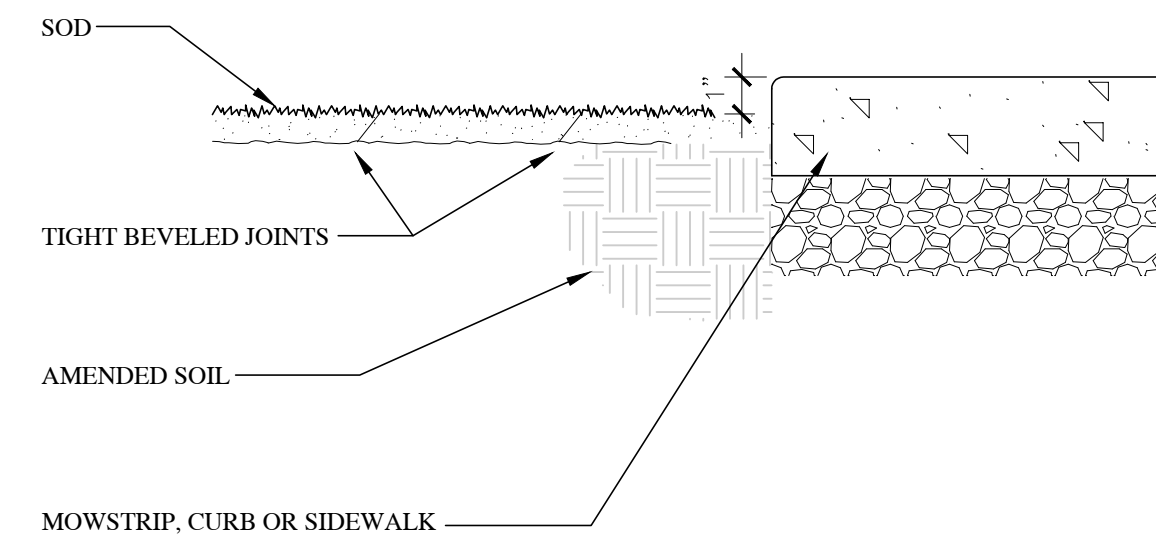
1 SHRUB PLANTING SCALE: NTS



2 TREE PLANTING AND STAKING SCALE: NTS

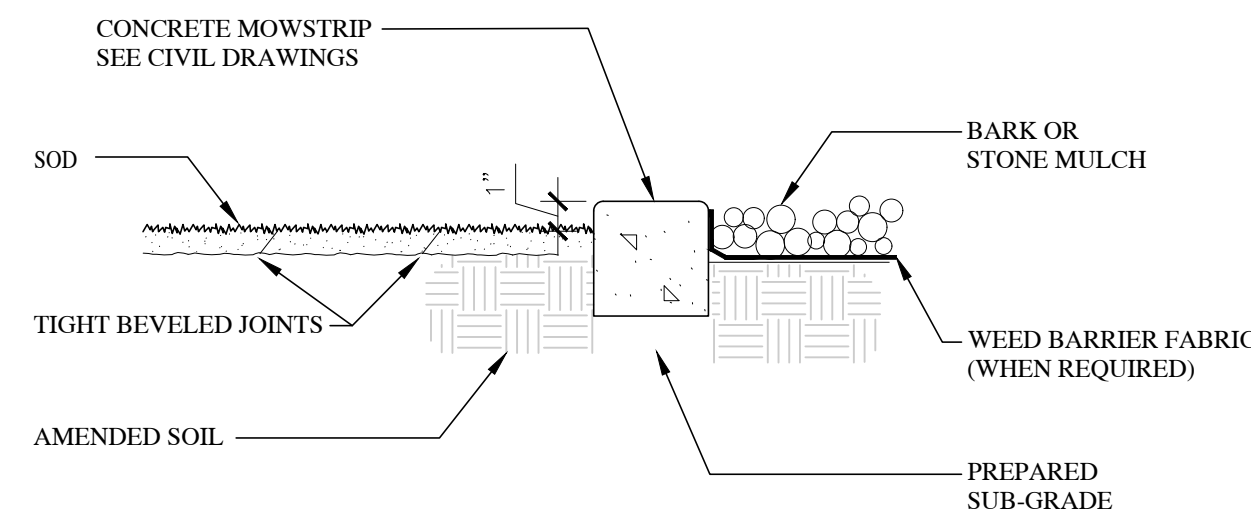


3 CONIFER PLANTING AND STAKING SCALE: NTS



4 SOD INSTALLATION SCALE: NTS

- NOTES:
1. MOWSTRIP TO BE CAST-IN-PLACE AND POURED USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
  2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
  3. MAXIMUM 1/2" WIDTH VARIATION.
  4. PRECISELY FOLLOW LAYOUT AS SHOWN ON MOWSTRIP/EDGING DIMENSION PLAN.
  5. RAISE THE LAWN GRADE 1" WHEN SEEDING.



5 CONCRETE MOWSTRIP SCALE: NTS

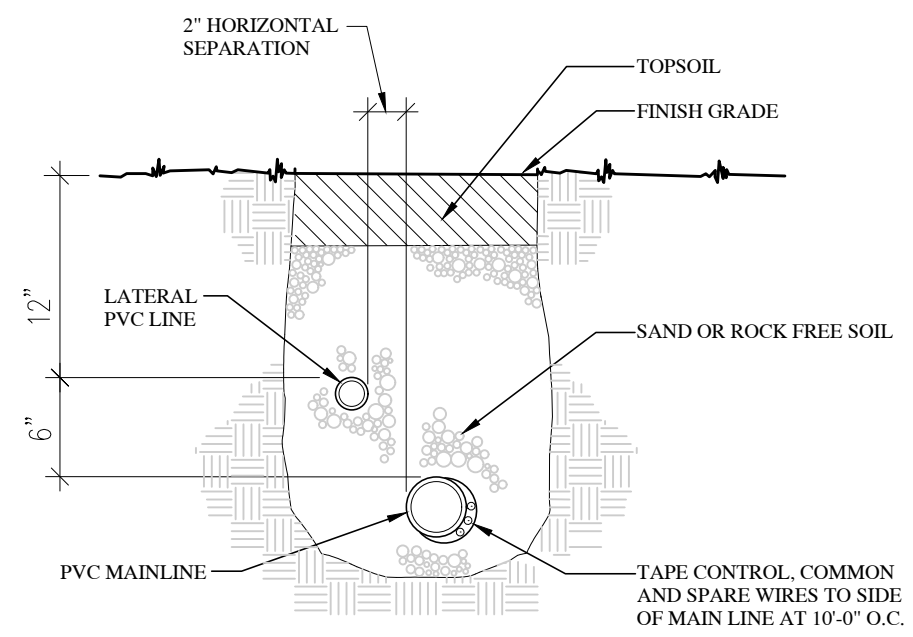
Revisions	Date	Description

Project Number  
23-85  
Plan Series  
Heritage 23-1  
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501-6747-23010101  
Date  
August 19, 2024

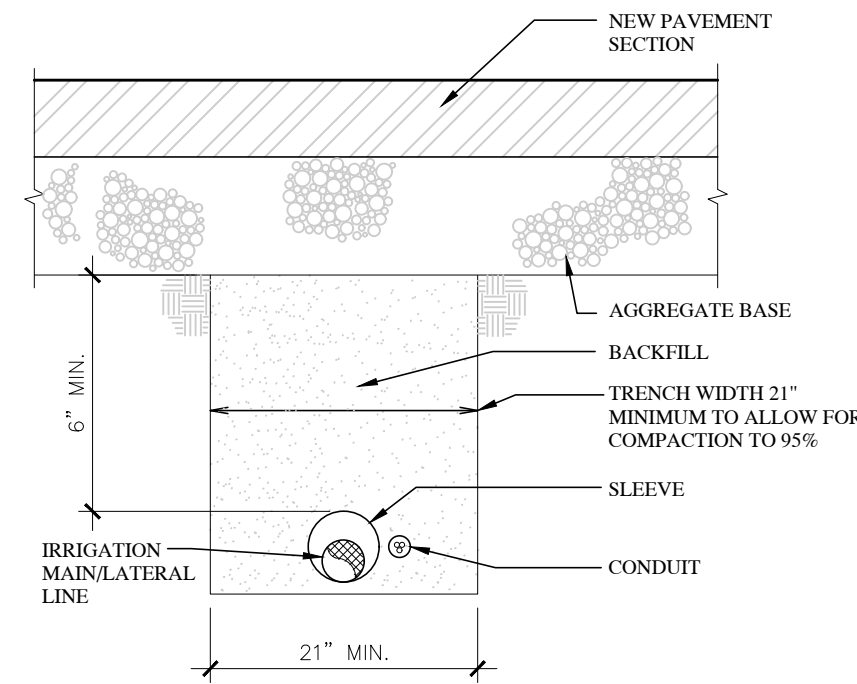
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**PLANTING DETAILS**

Sheet  
**LS3.0**

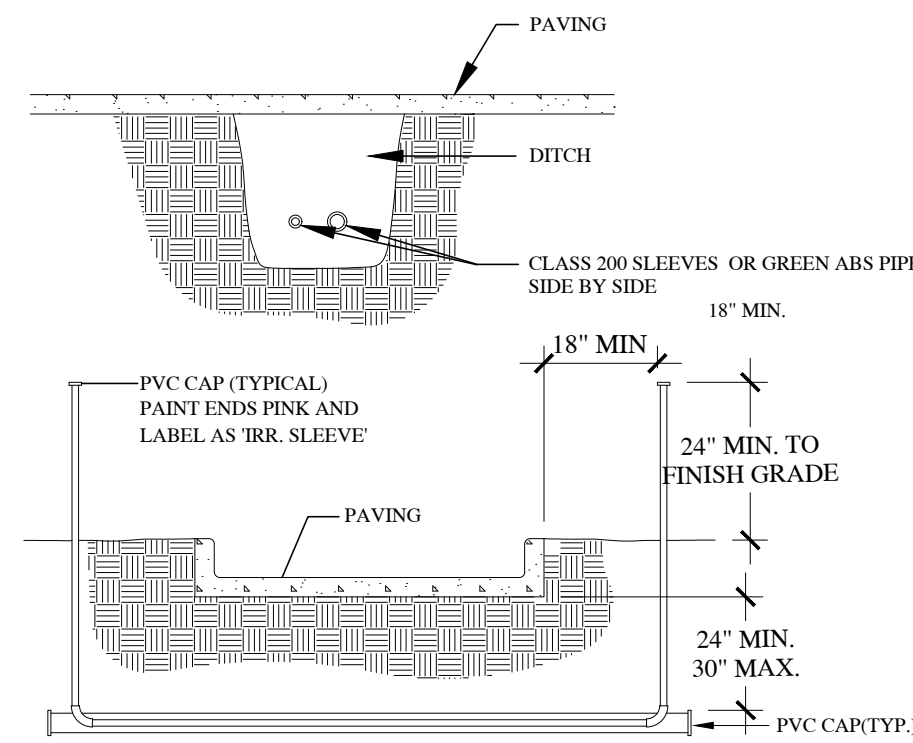




1 TRENCH SECTION - CONVENTIONAL WIRE SYS. SCALE: NTS

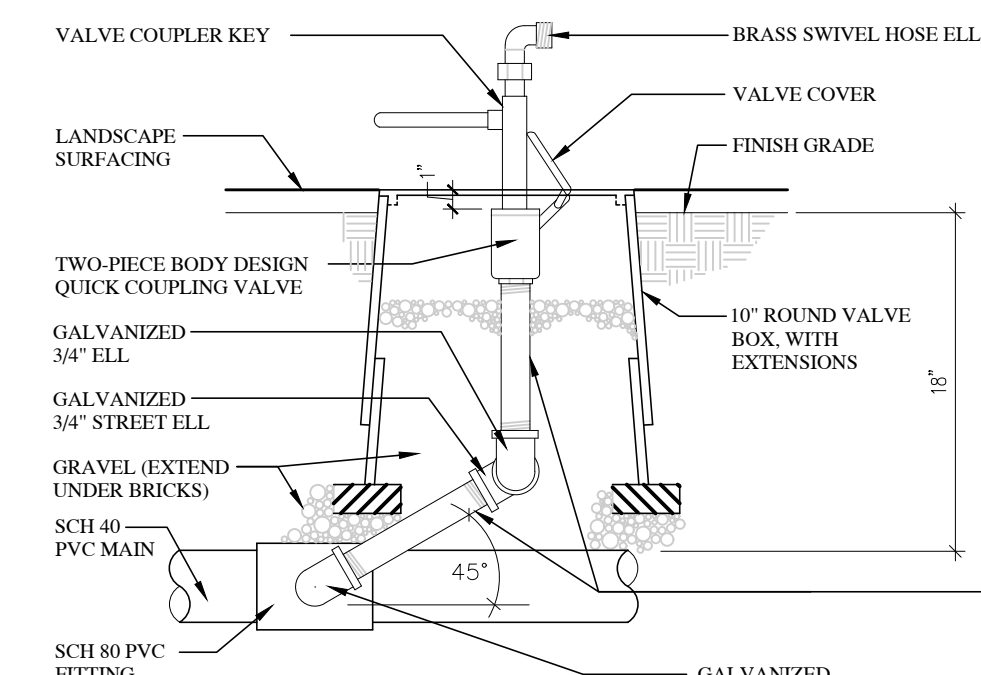


2 MISC. PIPE TRENCH: NEW PAVEMENT AREAS SCALE: NTS

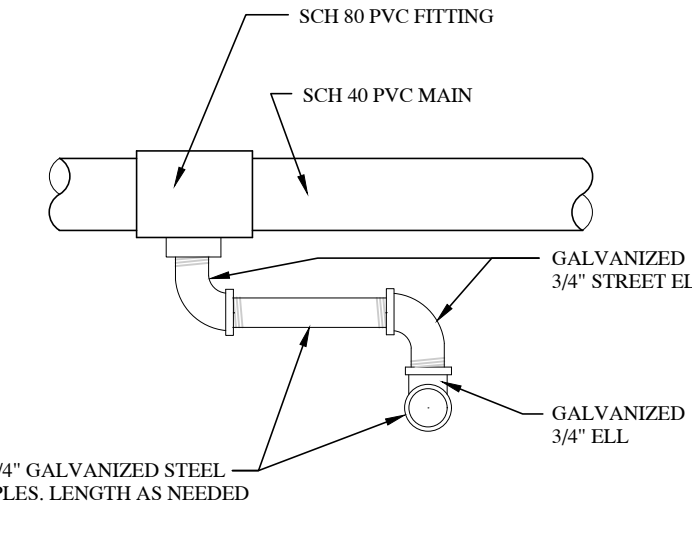


NOTE:  
1. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.  
2. ALL SLEEVES INSTALLED SHALL BE PUT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.

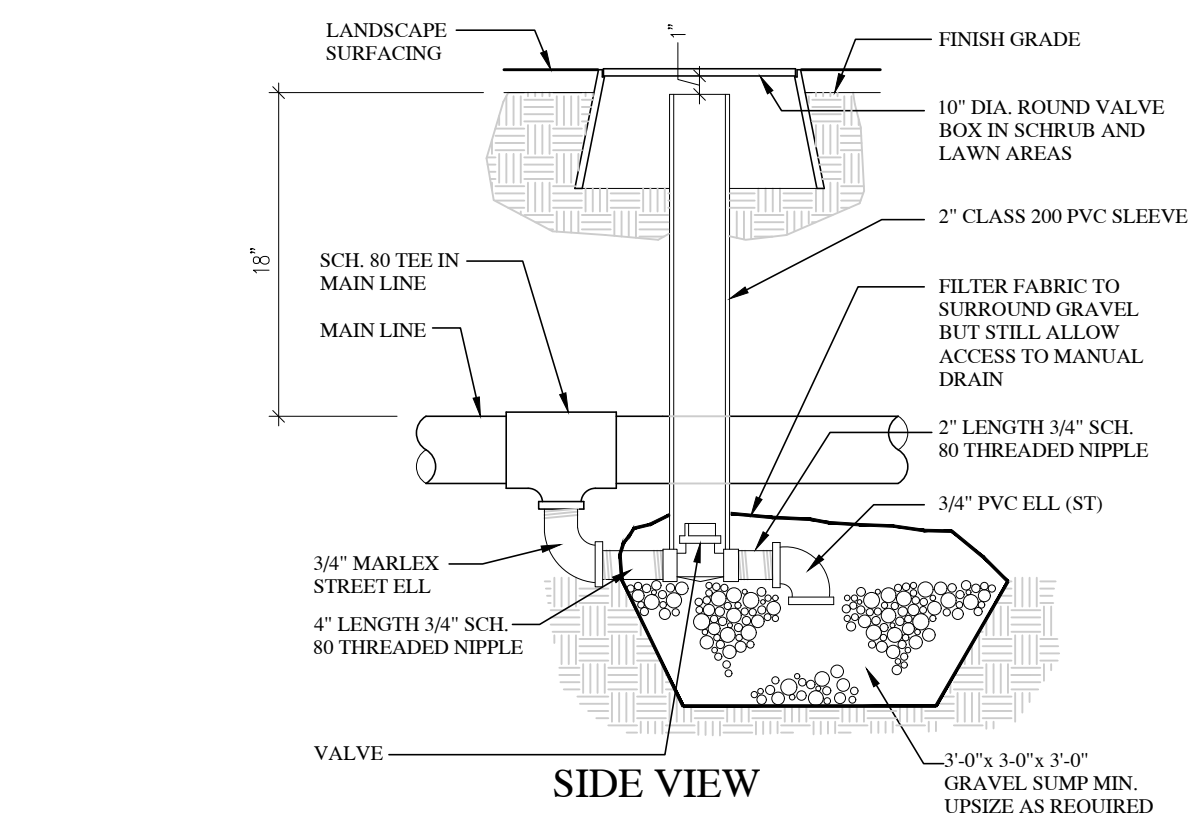
3 SLEEVING SCALE: NTS



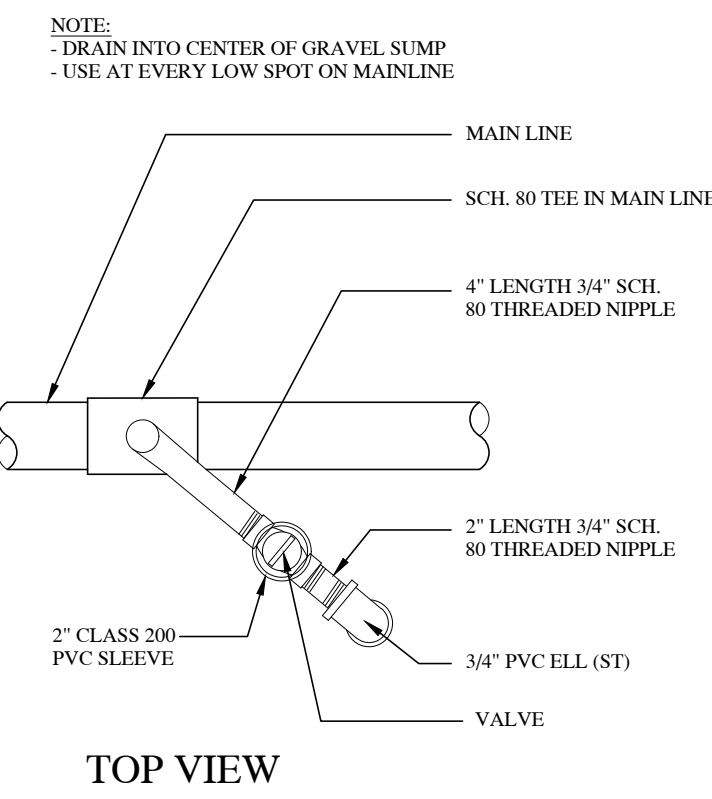
4 QUICK COUPLING VALVE SCALE: NTS



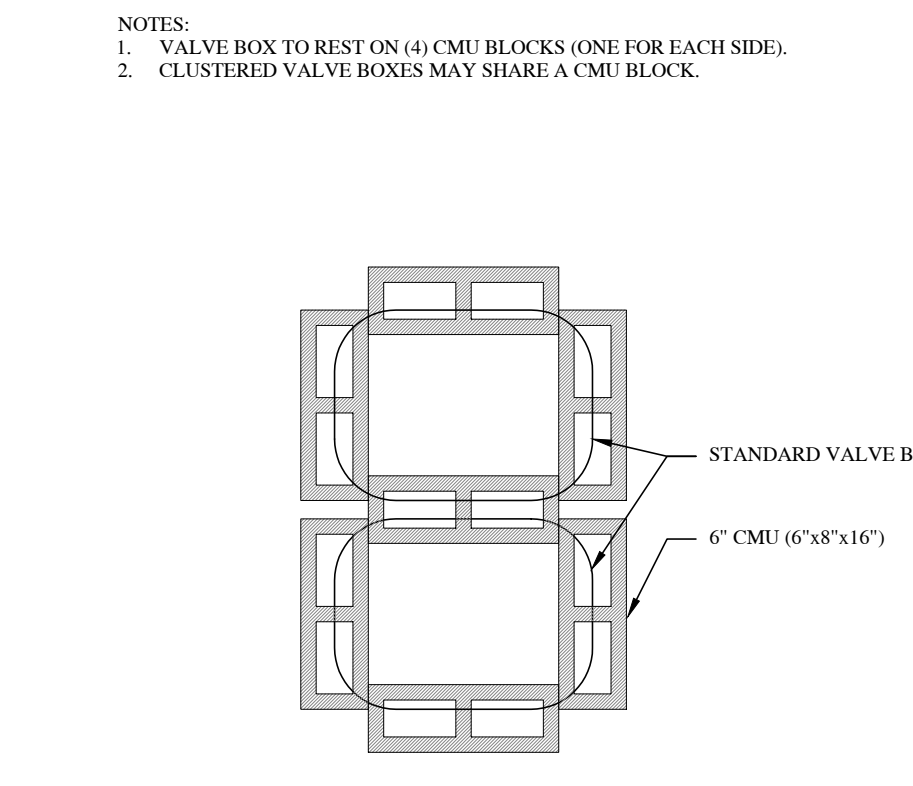
TOP VIEW



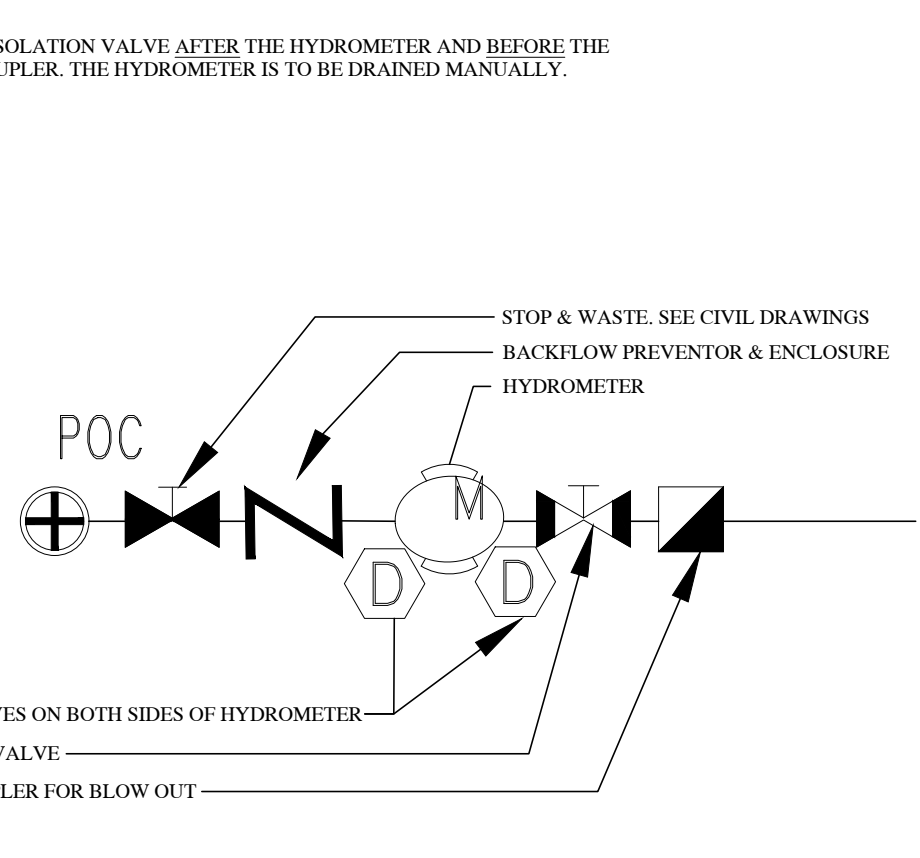
5 MAINLINE MANUAL DRAIN VALVE SCALE: NTS



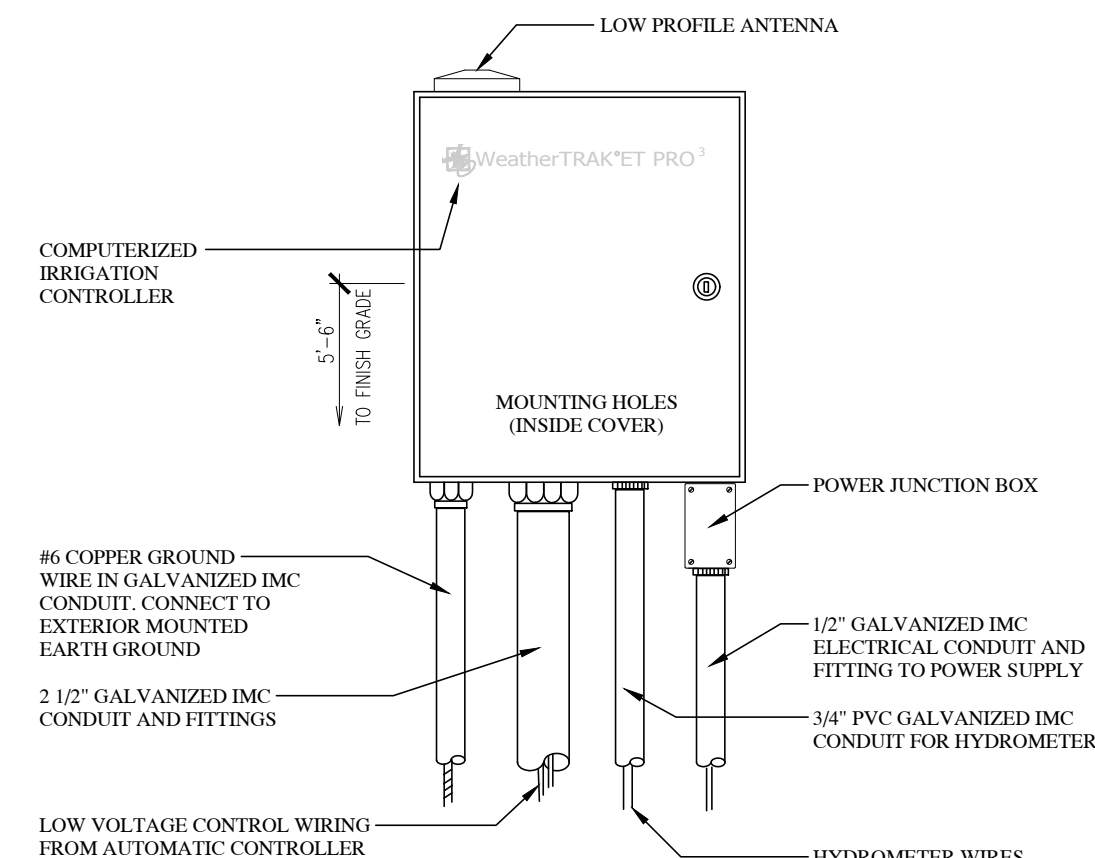
TOP VIEW



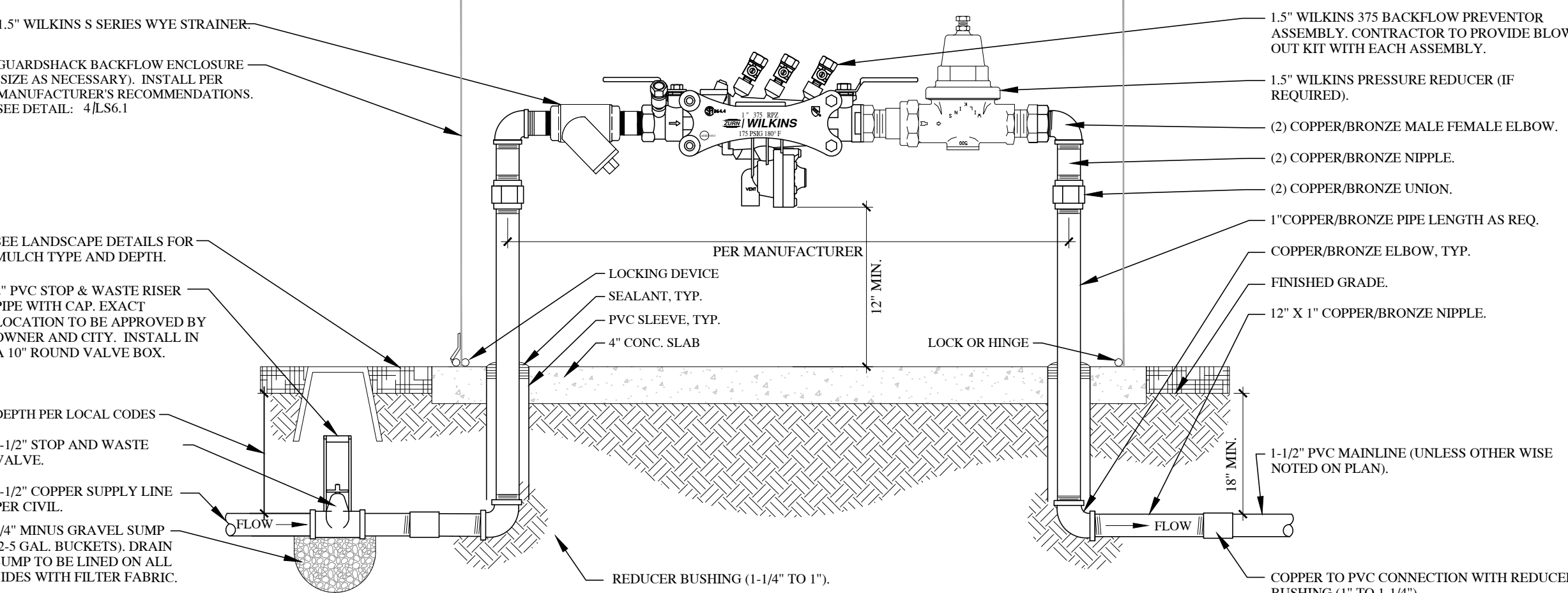
6 CMU PLACEMENT SCALE: NTS



7 POC W/BACKFLOW SCHEMATIC LAYOUT SCALE: NTS



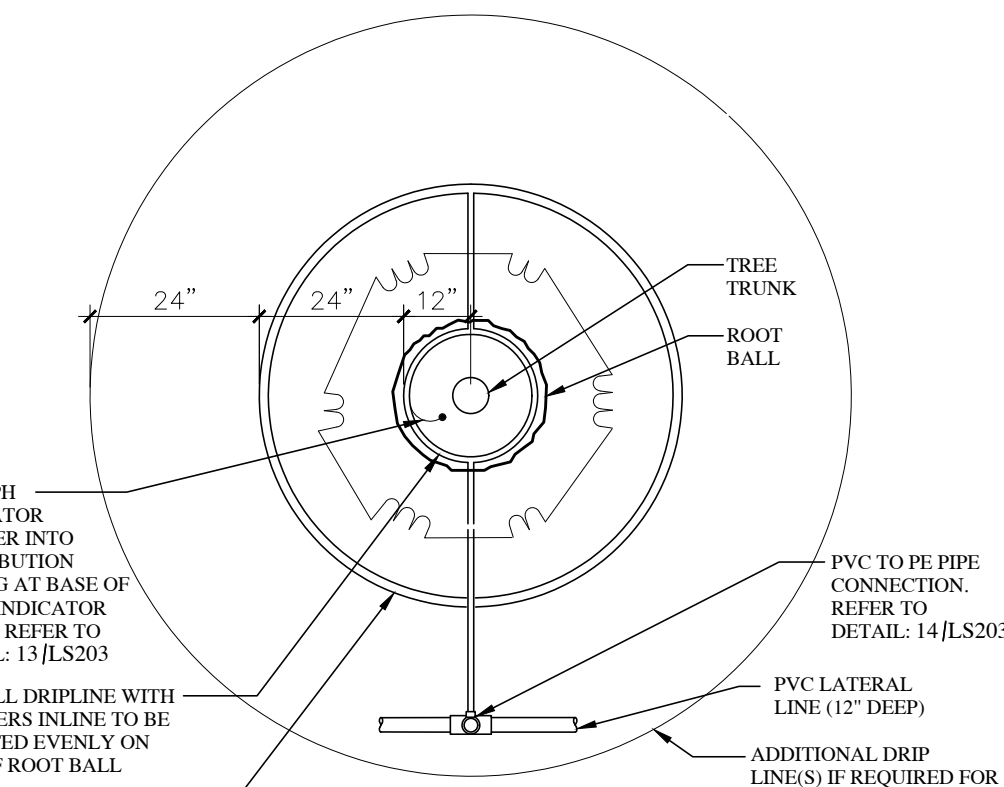
8 SMART CONTROLLER - WEATHER TRAK SCALE: NTS



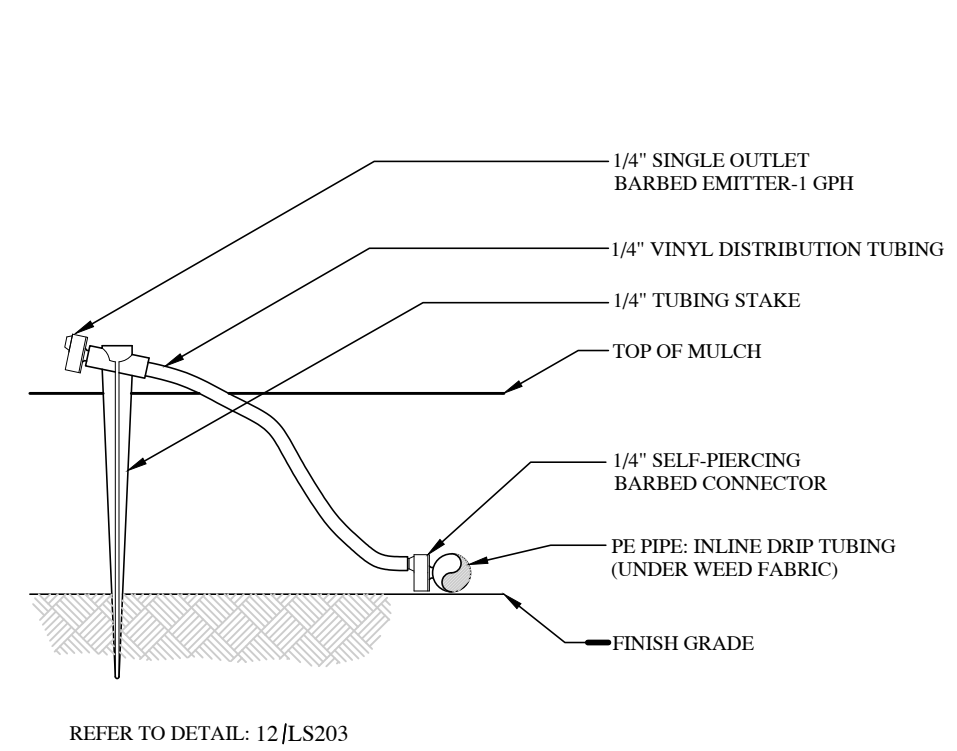
9 1.5" BACKFLOW PREVENTOR SCALE: NTS

BACKFLOW PREVENTOR NOTES:  
1. EQUIPMENT TO BE INSTALLED AT A MINIMUM OF 24" FROM ANY STRUCTURES OR HARDSCAPING.  
2. WHEN UNIT IS NEXT TO STRUCTURE (i.e. WALL BUILDING, ETC.) MOUNT TEST COCKS ON SIDE AWAY FROM STRUCTURE.  
3. PROVIDE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON HOW TO DRAIN ENTIRE BACKFLOW UNIT TO PREVENT FREEZING. CONTRACTOR TO PROVIDE BLOW OUT KIT FROM MANUFACTURER.  
4. CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY FOR PROPER RPZ INSTALLATION.  
5. RPZ TO BE WINTERIZED AS NECESSARY TO PREVENT FREEZING. INSULATION IS REQUIRED TO PREVENT RPZ FROM FREEZING TEMPERATURES BEFORE SYSTEM IS BLOWN OUT FOR THE SEASON. CONTRACTOR SHALL INSTALL INSULATION BLANKET FOR RPZ.  
6. WHERE CORROSION IS POSSIBLE, USE A DIELECTRIC UNION WHEREVER A COPPER-BASED METAL (COPPER, BRASS, BRONZE) IS JOINED TO AN IRON-BASED METAL (IRON, GALVANIZED STEEL, STAINLESS STEEL).  
7. CONTRACTOR SHALL TEST WATER SUPPLY TO ENSURE THERE IS AT LEAST 90 PSI AND 23 GPM AVAILABLE AT THE POC PRIOR TO BEGINNING WORK ON THE SYSTEM.

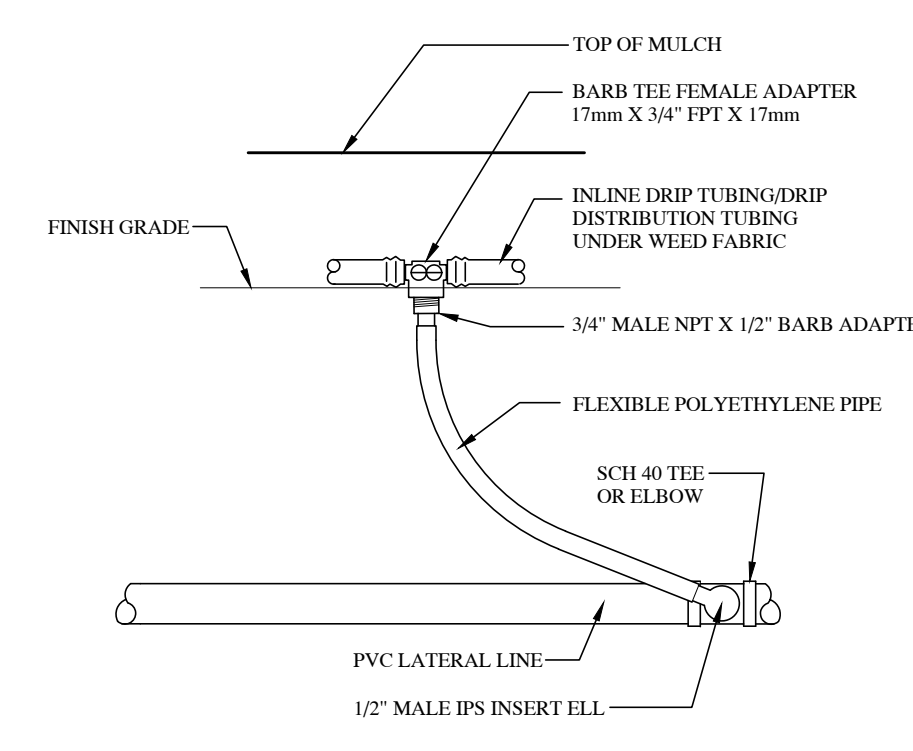
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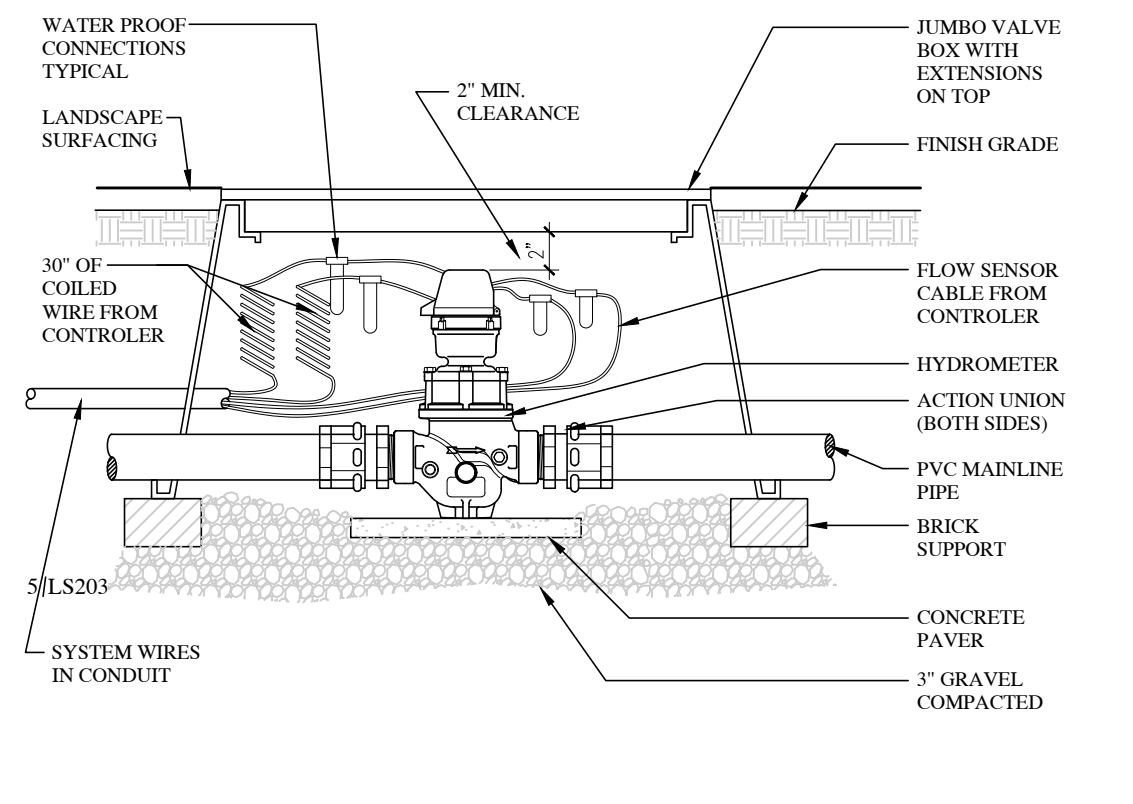
12 TREE DRIP - PLAN VIEW (PLANTER AREAS) SCALE: NTS



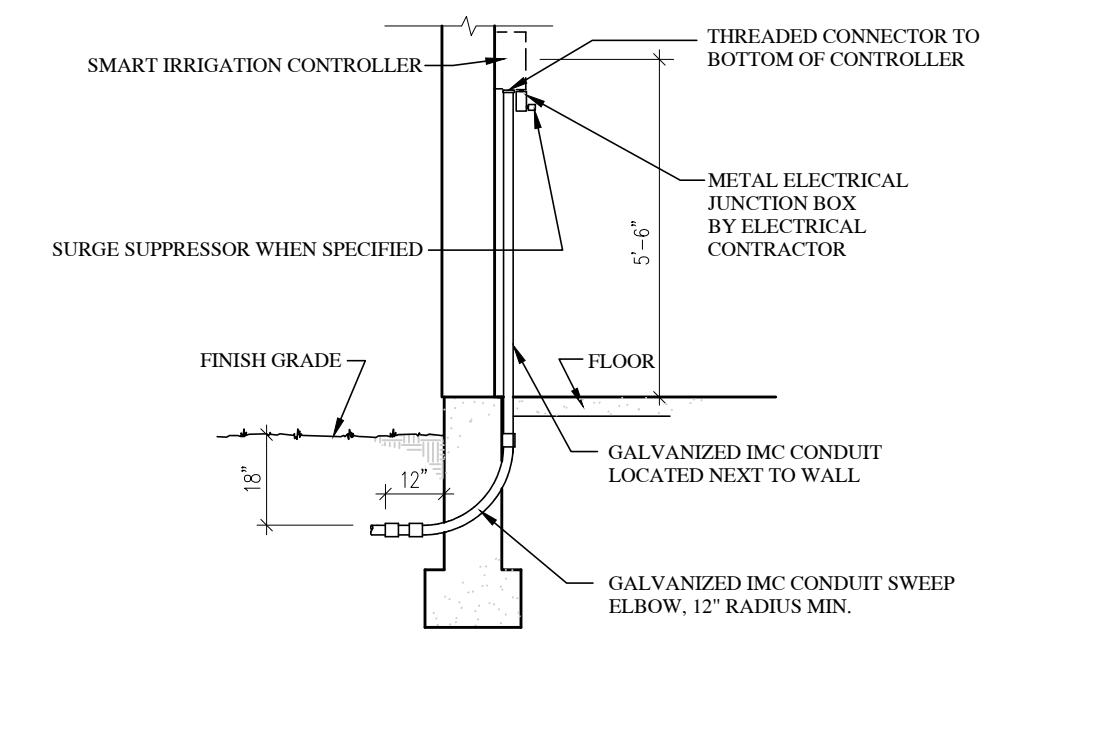
13 INDICATOR EMITTER SCALE: NTS



14 PVC TO BE PIPE CONNECTION SCALE: NTS



10 HYDROMETER SCALE: NTS



11 IRRIGATION CONTROLLER - INTERIOR MOUNT SCALE: NTS

NOTE:  
1. CONNECT EMITTER DIRECTLY INTO IN-LINE DRIP TUBING.  
2. THIS IS AN INDICATOR ONLY EMITTER TO BE USED AT EACH TREE RING AND AREA WHERE IN-LINE TUBING IS INSTALLED.  
3. 1/4" TUBING LENGTH MINIMUM 14", MAXIMUM 24".

NOTE:  
1. USE AT TREE RINGS ONLY.  
2. LIMIT 1 VALVE PER BOX.  
3. 10" MIN. LATERAL LINE DEPTH AT VALVE BOX, 12" MIN. LATERAL LINE DEPTH EVERYWHERE ELSE.  
4. PROVIDE MIN. 2" CLEARANCE BETWEEN CONDUIT AND CMU BLOCK.

NOTE: LOCATE EMITTER ON BLDG OR FENCE SIDE OF PLANT.

15 DRIP EMITTER INSTALLATION SCALE: NTS



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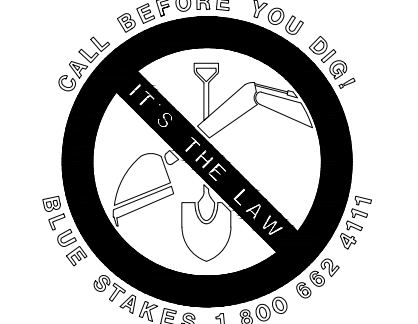
Project Number 23-85  
Plan Series Heritage 23-1  
Property Number 501-6747-23010101  
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Sheet Title

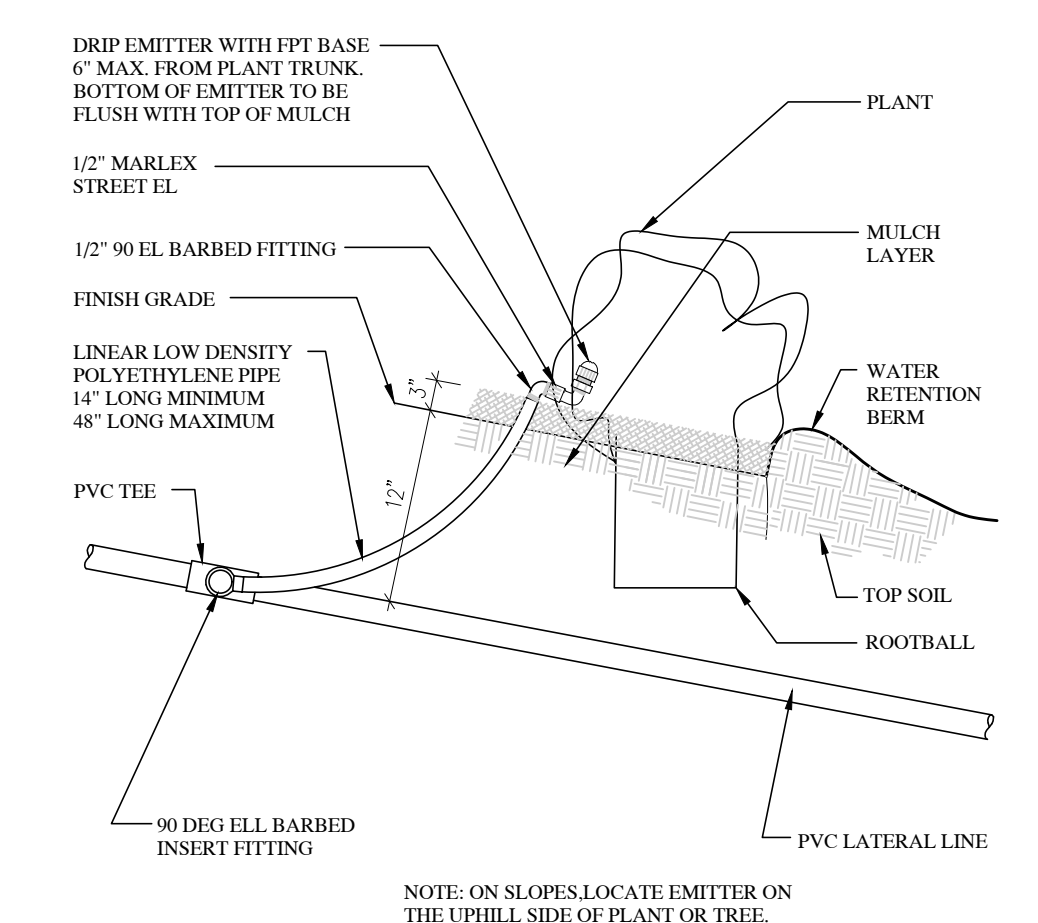
IRRIGATION DETAILS

Sheet

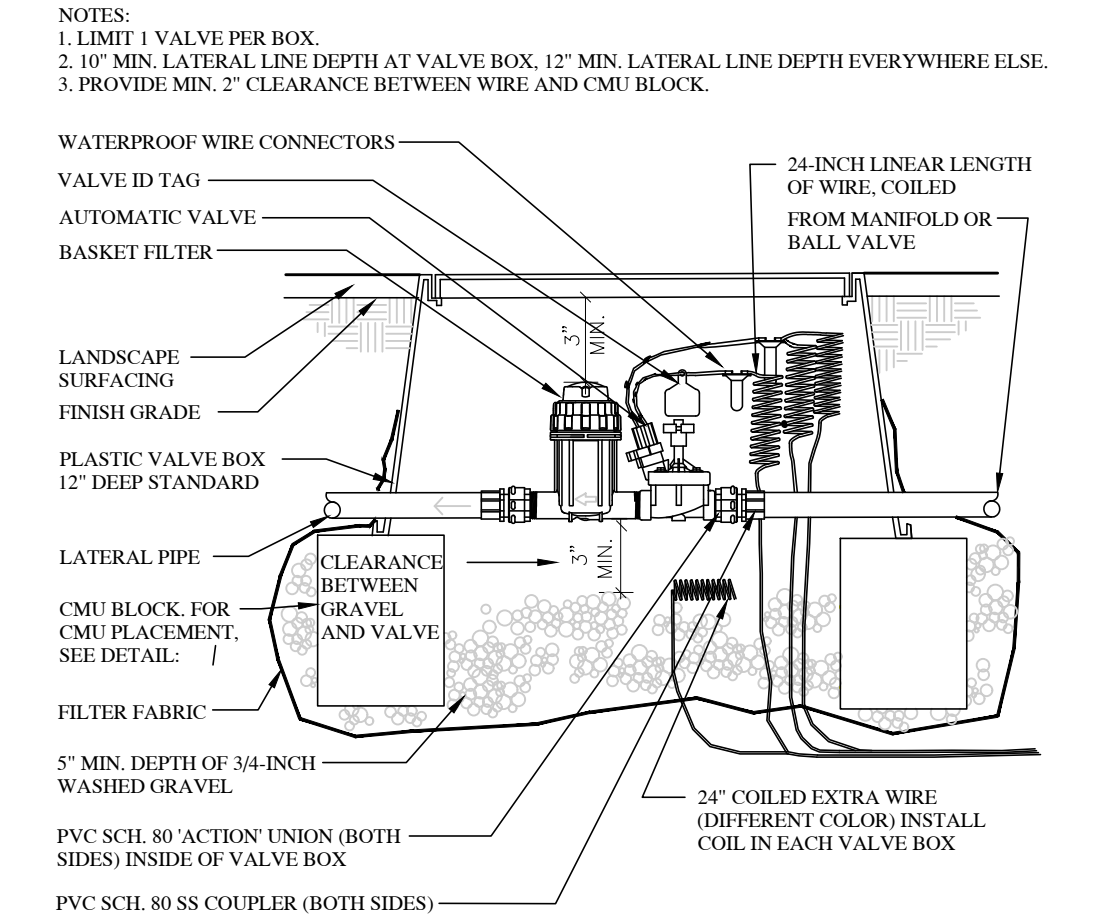
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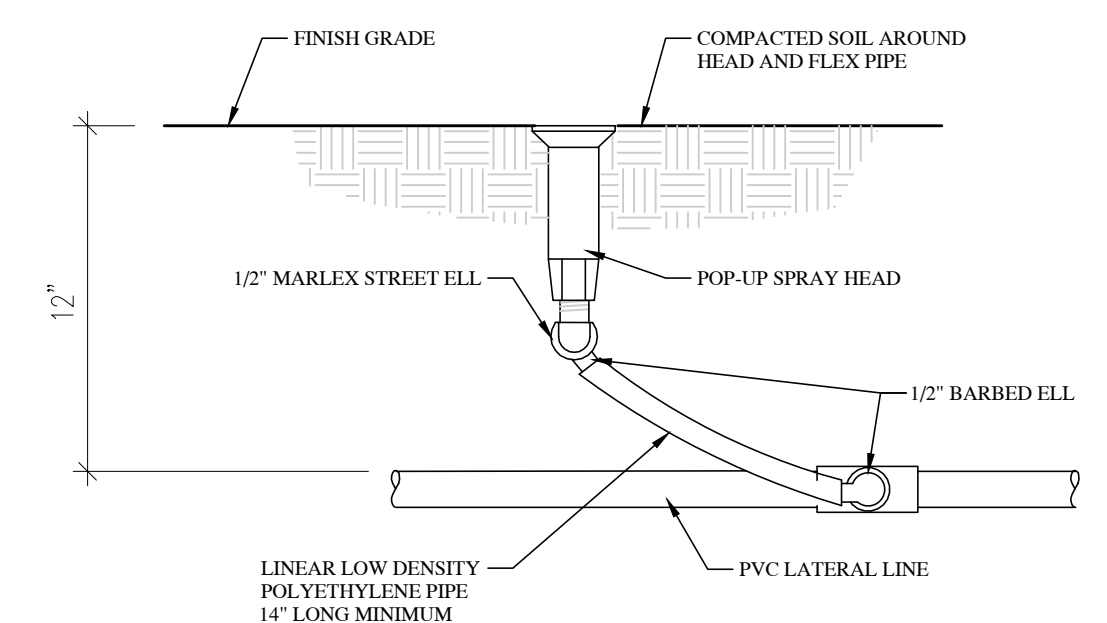




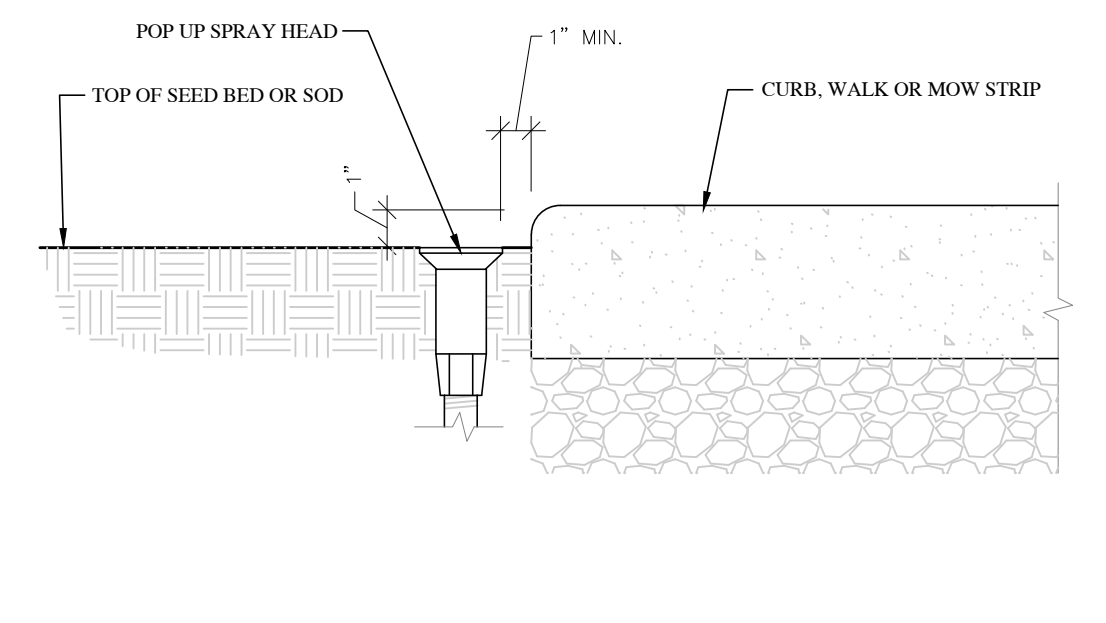
**16 DRIP EMITTER - INSTALLATION ON SLOPE**  
SCALE: NTS



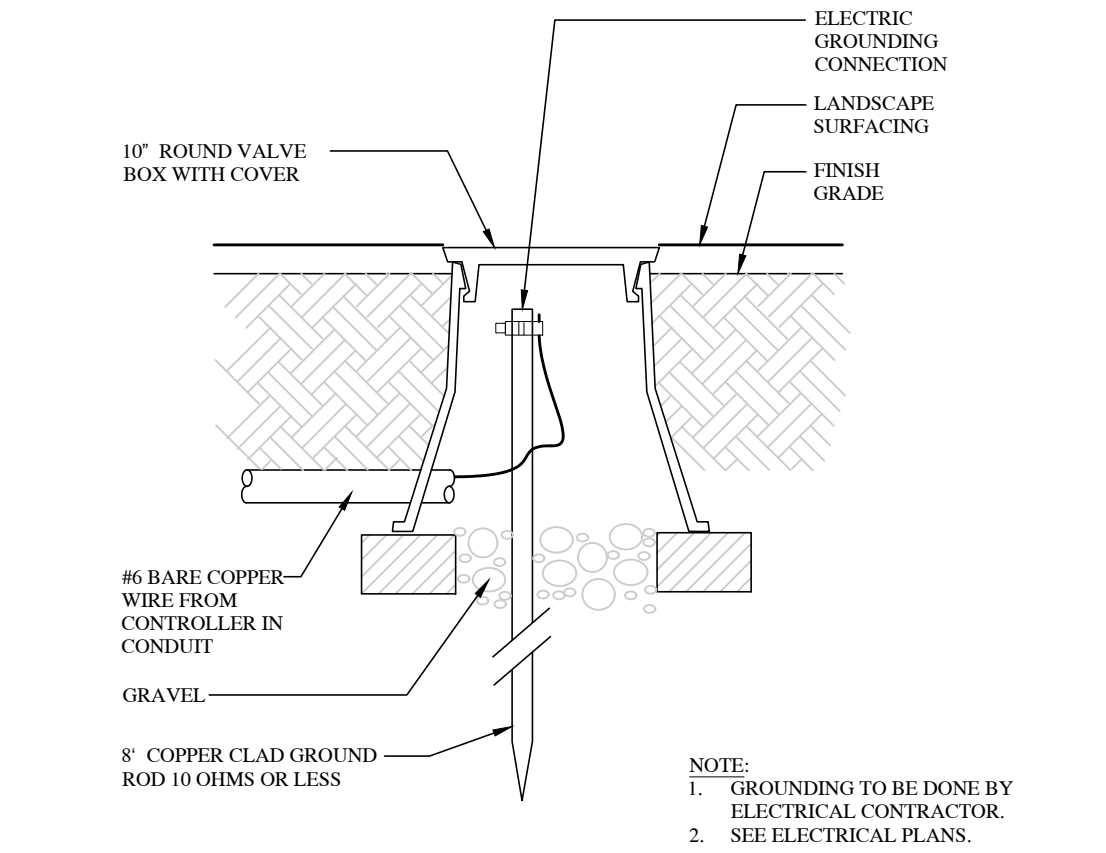
**17 DRIP VALVE SECTION - CONVENTIONAL WIRE**  
SCALE: NTS



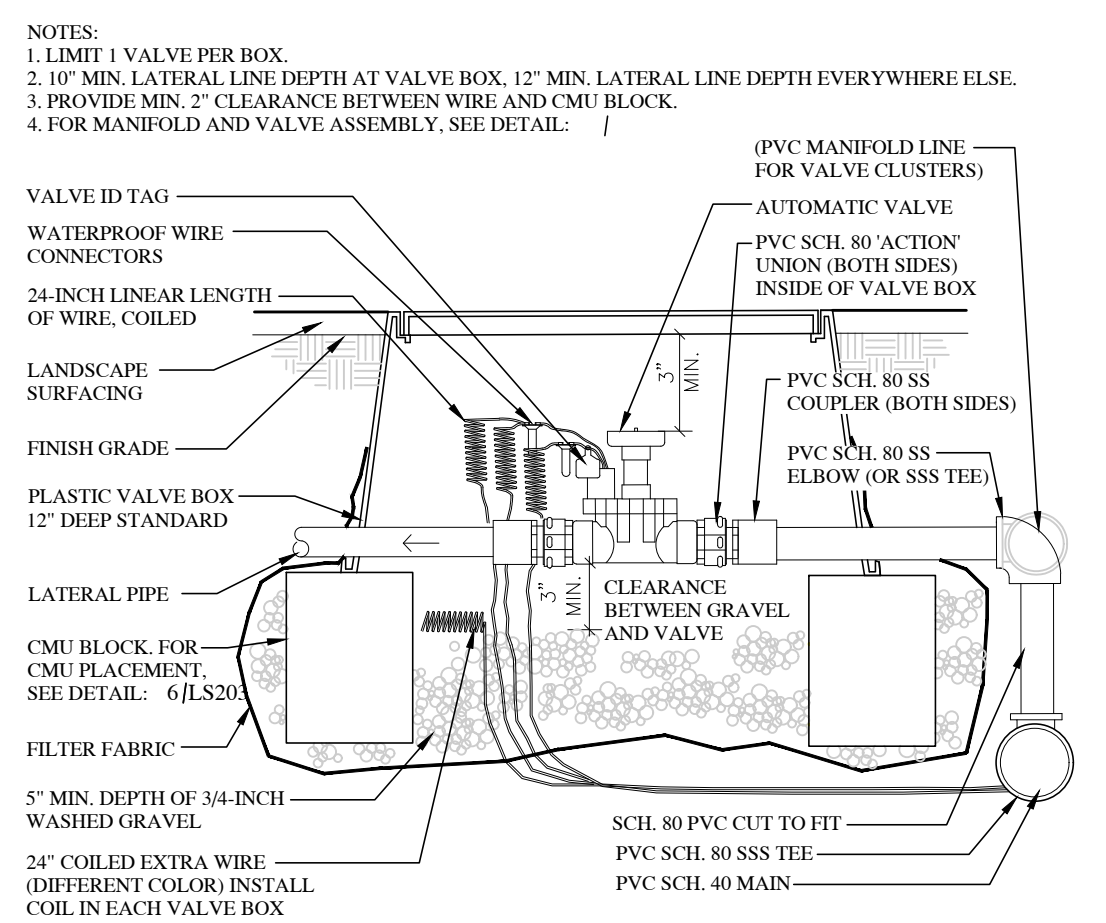
**18 SPRAY AND ROTARY HEAD ASSEMBLY**  
SCALE: NTS



**19 SPRAY HEAD OR ROTOR NEXT TO CURB / WALK**  
SCALE: NTS



**20 LIGHTNING GROUNDING ROD**  
SCALE: NTS



**21 AUTOMATIC VALVE - CONVENTIONAL WIRE**  
SCALE: NTS



**22 DRIP VALVE SECTION - CONVENTIONAL WIRE**  
SCALE: NTS



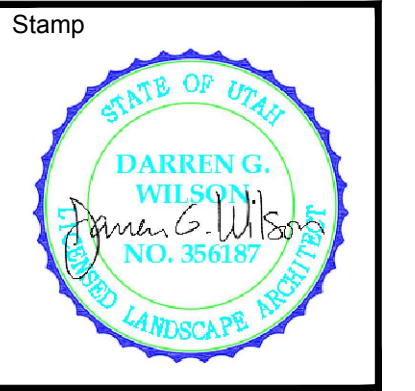
**23 SPRAY AND ROTARY HEAD ASSEMBLY**  
SCALE: NTS



**24 SPRAY HEAD OR ROTOR NEXT TO CURB / WALK**  
SCALE: NTS



**25 LIGHTNING GROUNDING ROD**  
SCALE: NTS



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Revisions	Mark	Date	Description

Project Number: 23-05  
Plan Series: Heritage 23-1  
Property Number: 501-6747-23010101  
Date: August 19, 2024

Sheet Title:  
**IRRIGATION DETAILS**

Sheet:  
**LS4.1**



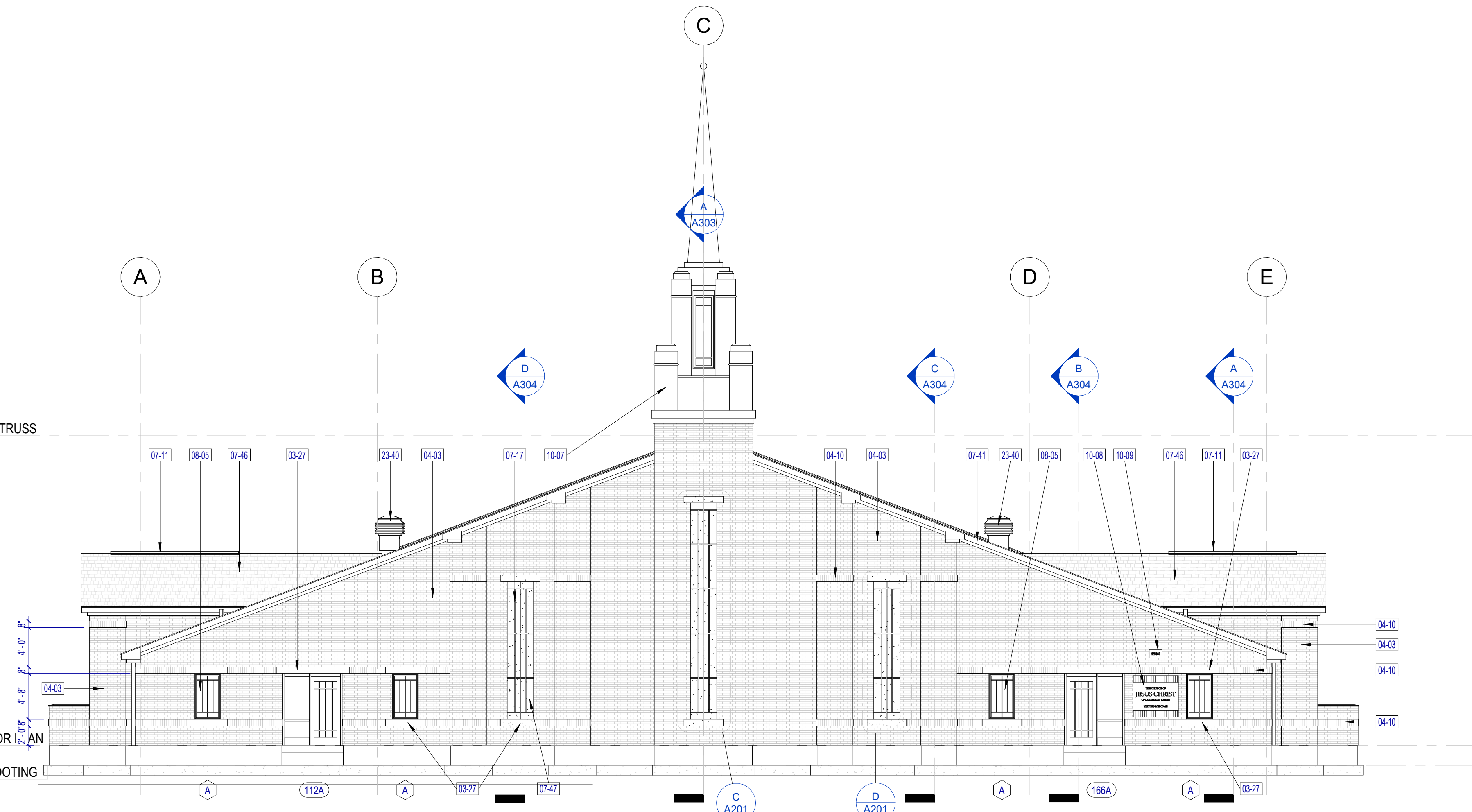


T.O. STEEPLE  
170' - 0"

RIDGE OF TRUSS  
131' - 6"

MAIN FLOOR PLAN  
100' - 0"

TOP OF FOOTING  
98' - 0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

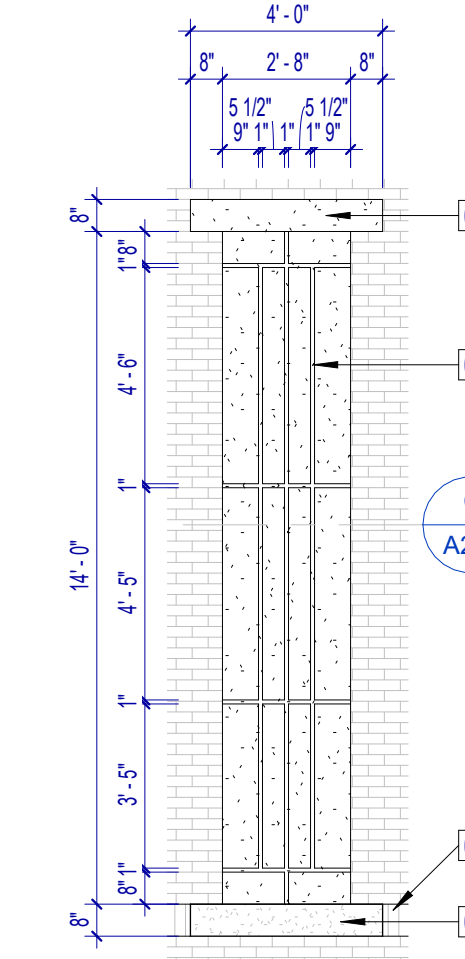
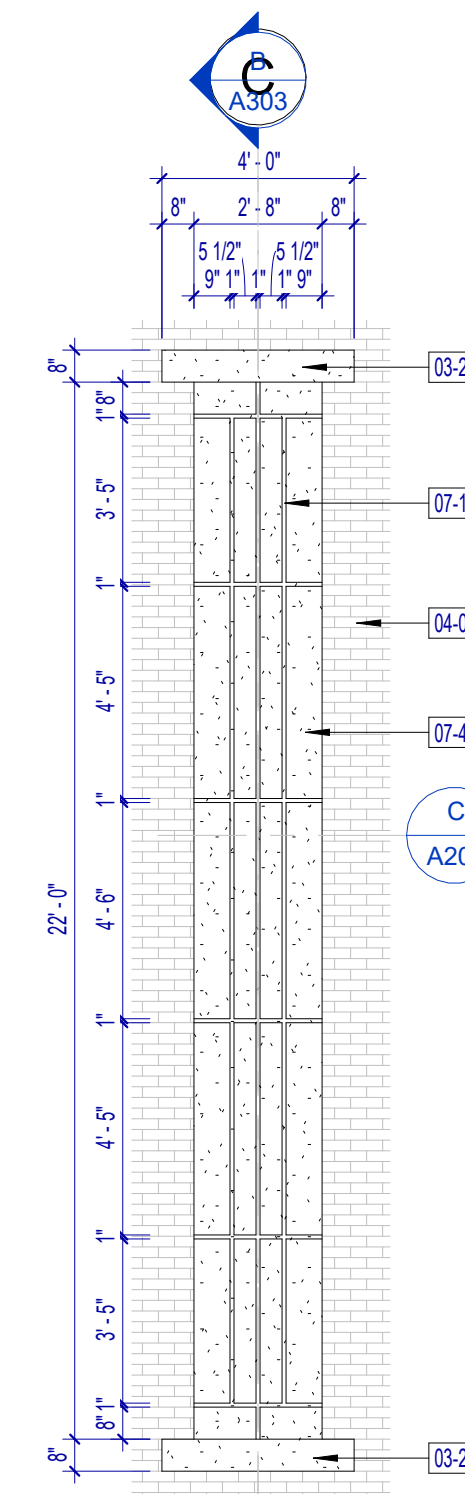
**A**

**EIFS DETAIL**  
SCALE: 1/4" = 1'-0"

**C**

**EIFS DETAIL**  
SCALE: 1/4" = 1'-0"

**D**

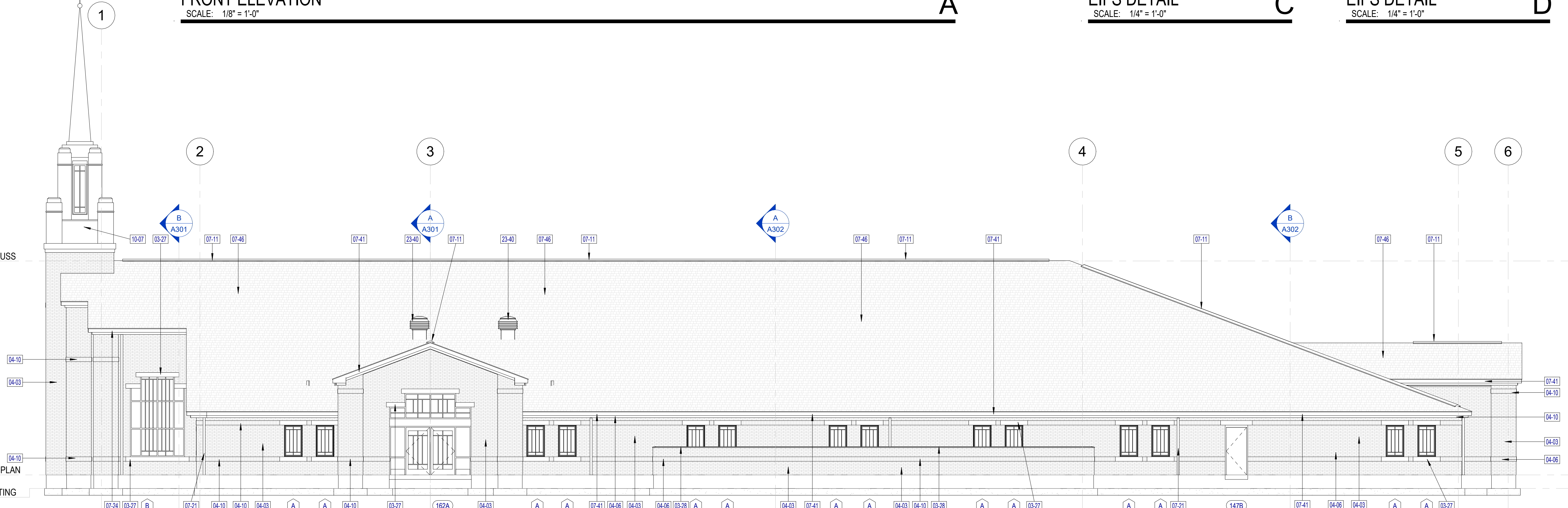


T.O. STEEPLE  
170' - 0"

RIDGE OF TRUSS  
131' - 6"

MAIN FLOOR PLAN  
100' - 0"

TOP OF FOOTING  
98' - 0"



**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"

**B**

**General Notes**

- 1. SEE A601 FOR DOOR SCHEDULE.
- 2. SEE A603 FOR WINDOW TYPES.
- 3. INSTALL SECONDARY UNDERLAYMENT OVER THE ENTIRE ROOF.

**Keyed Notes**

- 03-27 PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
- 03-28 PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS
- 04-03 BRICK VENEER MASONRY; RUNNING BOND; SEE DETAILS
- 04-06 ACCENT BRICK VENEER MASONRY; SOLDIER COURSE; SEE DETAILS
- 07-11 ALUMINUM RIDGE VENT; SEE B.E./A122
- 07-17 WATER-MANAGED EIFS ARCHITECTURAL SCORING JOINT; SEE DETAILS
- 07-21 ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
- 07-24 ALUMINUM GUTTERS AND DOWNSPOUTS; SEE DETAILS
- 07-41 ALUMINUM SHEET METAL FASCIA, FLASHING & TRIM. SEE A&D/A122
- 07-46 COMPOSITE ASPHALT SHINGLES. SEE DETAILS & SPECIFICATIONS
- 07-47 WATER-MANAGED EIFS EXTERIOR WALL FINISH SYSTEM. SEE DETAILS & SPECIFICATIONS
- 08-05 VINYL FRAMED FIXED WINDOW. SEE DOOR AND WINDOW SCHEDULES AND DETAILS
- 10-07 ALUMINUM STEEPLE. SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
- 10-08 STONE MEETINGHOUSE SIGN. SEE D&E/A203
- 10-09 BUILDING ADDRESS SIGN. SEE F&G/A203
- 23-40 HVAC PENTHOUSE. SEE MECHANICAL



Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

A New Meetinghouse for  
**Vineyard 10 &**  
57 East 400 South  
Vineyard, Utah

Project Number: 23-85

Property Number: 501-6747-23010101

12/7/2023

Exterior Elevations

**A201**

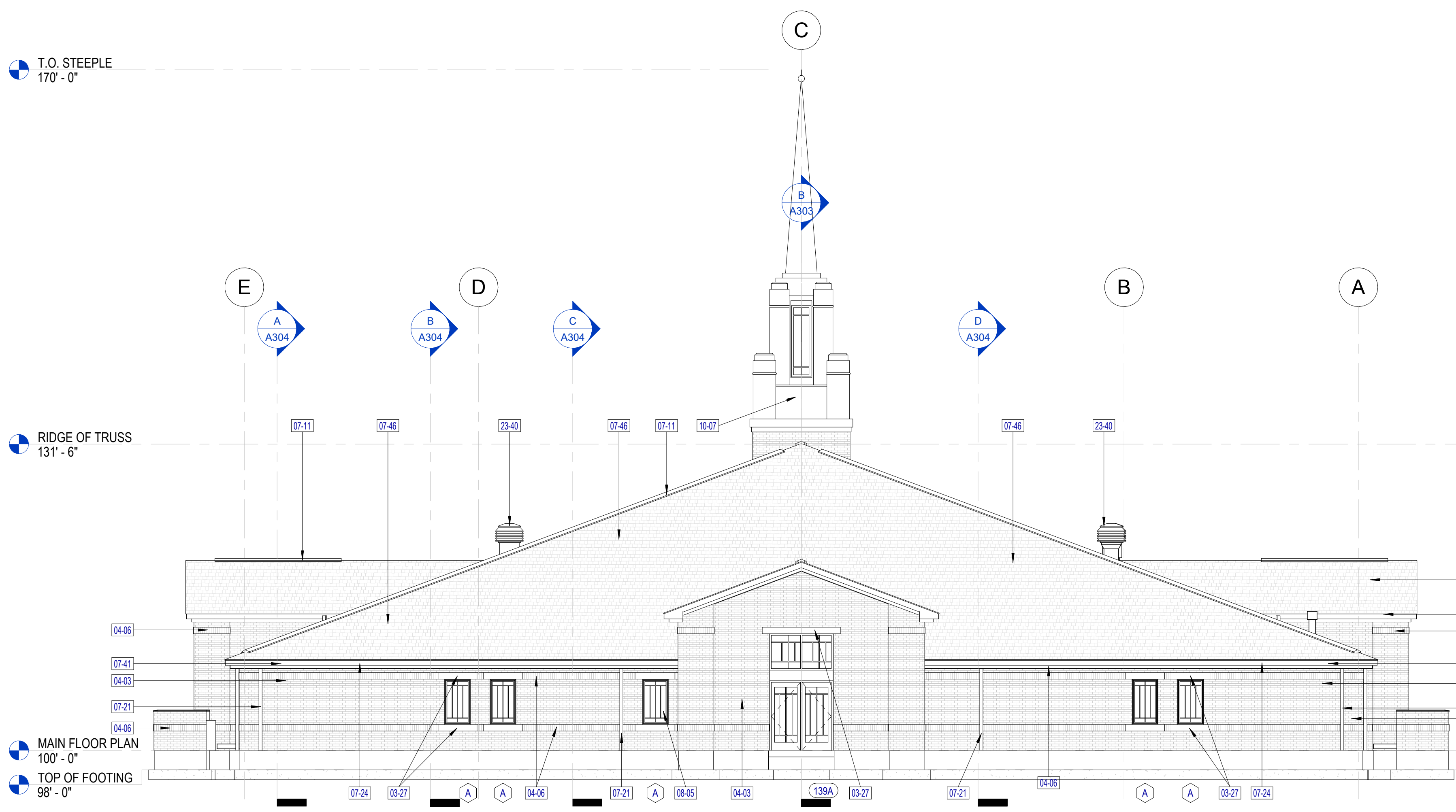


**General Notes**

1. SEE A601 FOR DOOR SCHEDULE.
2. SEE A603 FOR WINDOW TYPES.
3. INSTALL SECONDARY UNDERLAYMENT OVER THE ENTIRE ROOF.

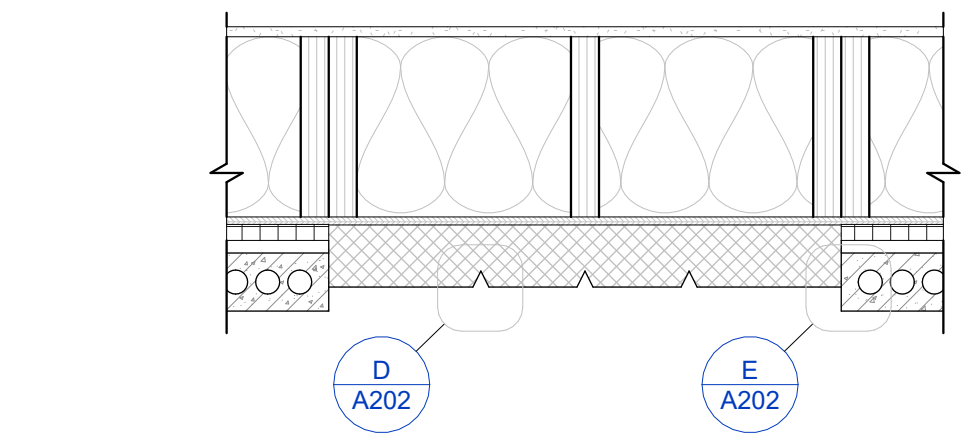
**Keyed Notes**

- 03-17 EPOXY COATED CONCRETE REINFORCING; SEE STRUCTURAL
- 03-27 PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
- 03-28 PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS
- 04-03 BRICK VENEER MASONRY; RUNNING BOND; SEE DETAILS
- 04-06 ACCENT BRICK VENEER MASONRY
- 04-10 ACCENT BRICK VENEER MASONRY; SOLDIER COURSE; SEE DETAILS
- 07-11 ALUMINUM RIDGE VENT; SEE B.E.F/A122
- 07-21 ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
- 07-24 ALUMINUM GUTTERS AND DOWNSPOUTS; SEE DETAILS
- 07-41 ALUMINUM SHEET METAL FASCIA, FLASHING & TRIM; SEE A&D/A122
- 07-46 COMPOSITE ASPHALT SHINGLES; SEE DETAILS & SPECIFICATIONS
- 08-05 VINYL FRAMED FIXED WINDOW; SEE DOOR AND WINDOW SCHEDULES AND DETAILS
- 10-07 ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
- 23-40 HVAC PENTHOUSE; SEE MECHANICAL

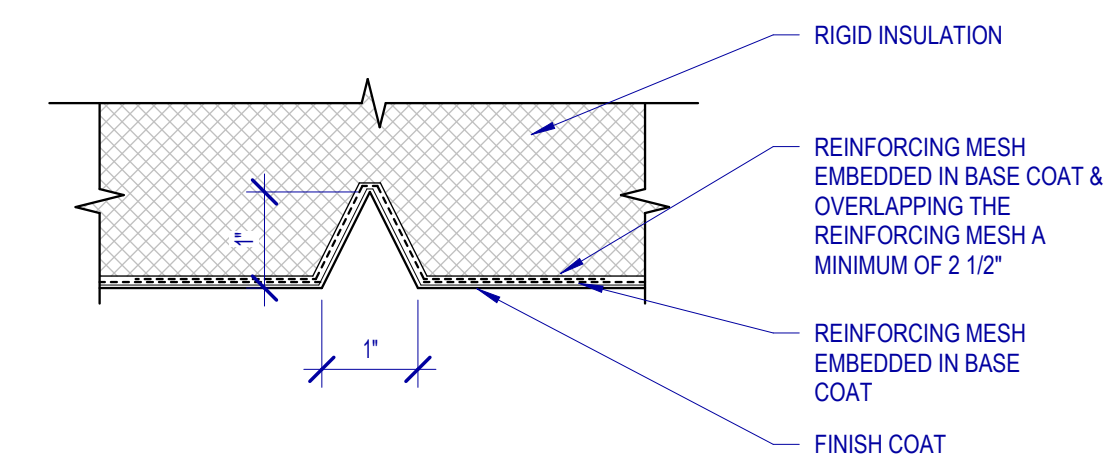


**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

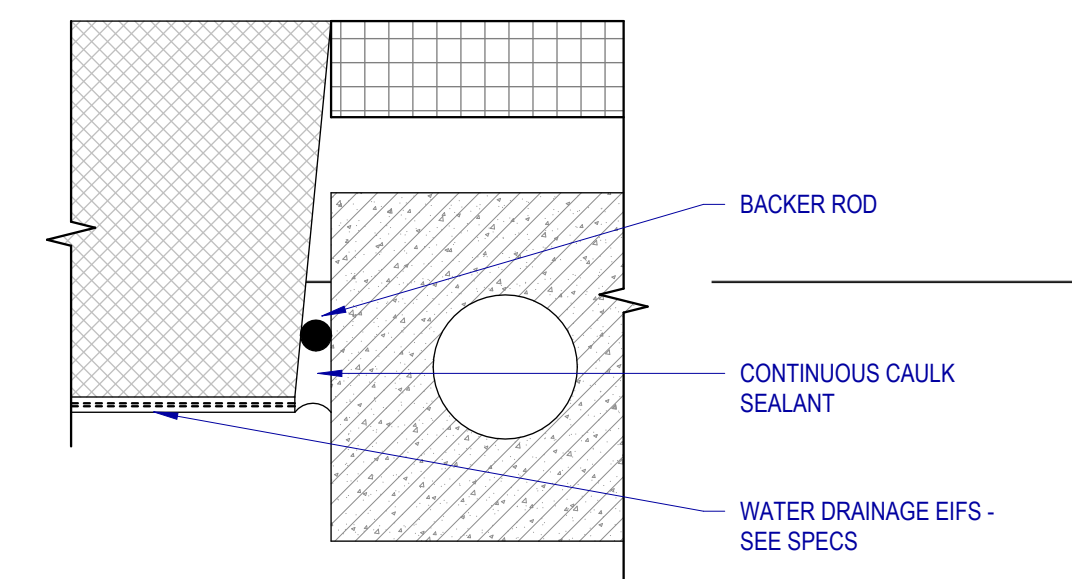
**A**



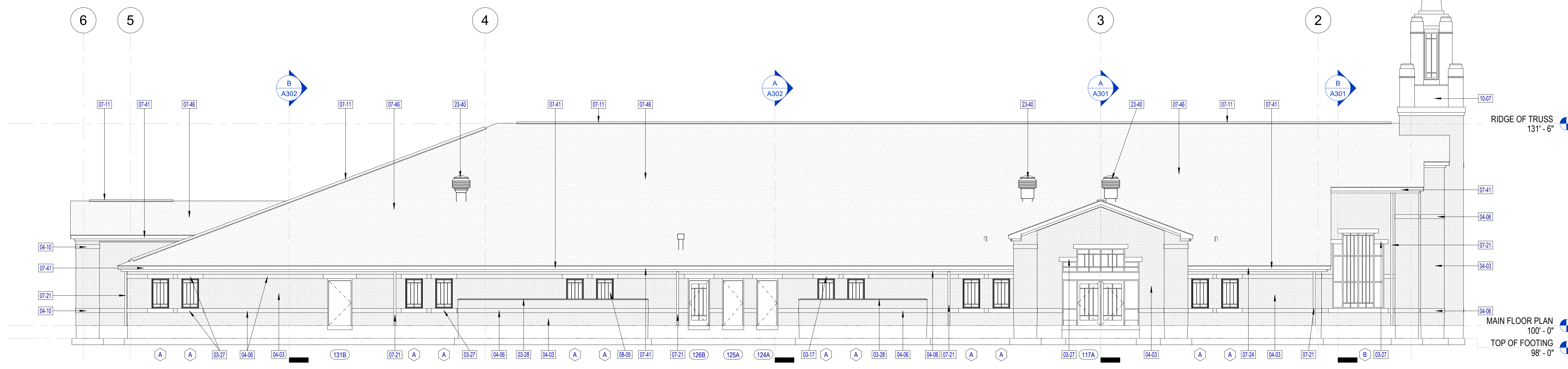
**EIFS - SECTION C**  
SCALE: 1" = 1'-0"



**EIFS - ENLARGED REVEAL DETAIL D**  
SCALE: 6" = 1'-0"



**EIFS - ENLARGED EDGE DETAIL E**  
SCALE: 6" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

**B**



Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

A New Meetinghouse for  
**Vineyard 10 &**  
57 East 400 South  
Vineyard, Utah

Project Number: 23-85

Property Number: 501-6747-23010101

12/7/2023

Exterior Elevations

**A202**

Vineyard 10 Stake Church site

80<sup>th</sup> Percentile Storm Drain Calculations  
December 1, 2023

**80th Percentile storm calculations:**

Vineyard requires that the 80<sup>TH</sup> percentile storm be infiltrated into the ground as part of their storm water management LID measures. Per the approved storm drainage plans for Holdway Fields Phase 1c, this church site lot will retain the 80<sup>th</sup> percentile storm on-site in underground retention. A storm drain pipe was stubbed into this lot to convey overflow from larger storm events directly to Utah Lake.

Per the Utah State LID manual, the Vineyard rainfall depth is 0.50 inches.

$$WQV = RdA$$

$$R = 0.91(0.733) - 0.0204 = 0.647$$

$$d = 0.50 \text{ inches}$$

$$A = 187,506 \text{ s.f.}$$

$$WQV = (0.647)(0.50 \text{ inches})(1 \text{ foot} / 12 \text{ inches})(187,506 \text{ s.f.}) = 5,055 \text{ c.f.}$$

This volume is the total required 80<sup>th</sup> percentile volume amount.

**Conclusion:**

The storm water chambers will infiltrate the 80<sup>th</sup> percentile storm, when the volume is exceeded, it will overflow and discharge from the site through the overflow pipe.





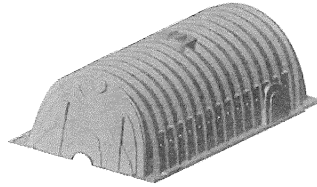
# CULTEC Stormwater Design Calculator

Date:	December 01, 2023
<b>Project Information:</b>	
Vineyard 10 Stake Church Site	
Vineyard	

<b>Calculations Performed By:</b>	
David Peterson, P.E. Excel Engineering, Inc.	

## RECHARGER 330XLHD

Recharger 330XLHD Chamber Specifications		
Height	30.5	inches
Width	52.0	inches
Length	8.50	feet
Installed Length	7.00	feet
Bare Chamber Volume	52.21	cu. feet
Installed Chamber Volume	81.74	cu. feet



Breakdown of Storage Provided by Recharger 330XLHD Stormwater System		
Within Chambers	3,177.53	cu. feet
Within Feed Connectors	-	cu. feet
Within Stone	2,046.52	cu. feet
<b>Total Storage Provided</b>	<b>5,224.1</b>	<b>cu. feet</b>
Total Storage Required	5000.00	cu. feet

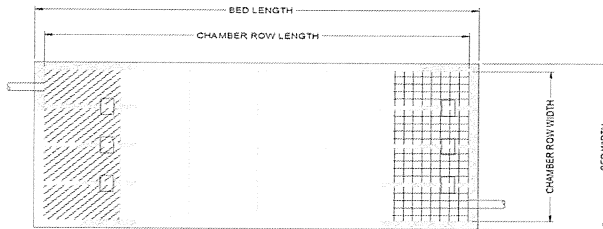
## Materials List

Recharger 330XLHD		
<b>Total Number of Chambers Required</b>	<b>60</b>	<b>pieces</b>
Separator Row Chambers	15	pieces
Starter Chambers	4	pieces
Intermediate Chambers	52	pieces
End Chambers	4	pieces
HVLV FC-24 Feed Connectors	0	pieces
CULTEC No. 410 Non-Woven Geotextile	778	sq. yards
CULTEC No. 4800 Woven Geotextile	112	feet
Stone	189	cu. yards

Separator Row Qty Included in Total

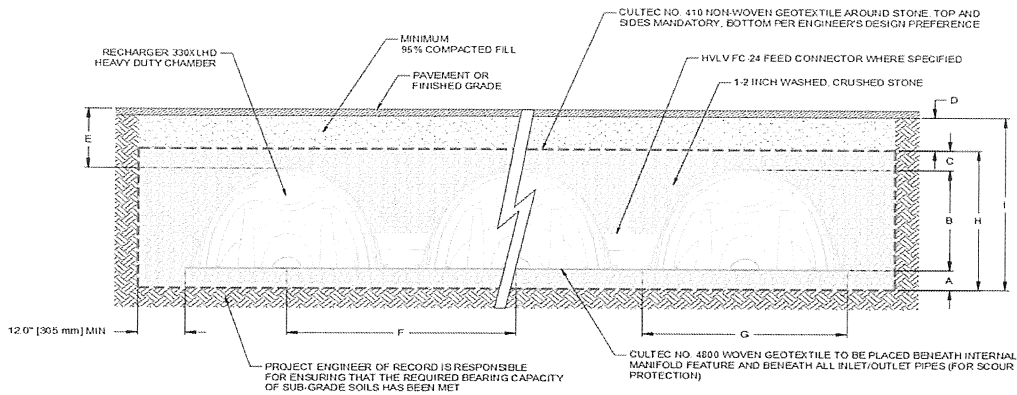
Based on External Pipe Manifold

## Bed Detail



Bed Layout Information		
Number of Rows Wide	4	pieces
Number of Chambers Long	15	pieces
Chamber Row Width	19.58	feet
Chamber Row Length	106.50	feet
Bed Width	21.58	feet
Bed Length	108.50	feet
Bed Area Required	2341.79	sq. feet
Length of Separator Row	106.50	feet

Bed detail for reference only. Not project specific. Not to scale.



Conceptual graphic only. Not job specific.

Cross Section Table Reference			
<b>A</b>	Depth of Stone Base	<b>6.0</b>	inches
<b>B</b>	Chamber Height	<b>30.5</b>	inches
<b>C</b>	Depth of Stone Above Units	<b>6.0</b>	inches
<b>D</b>	Depth of 95% Compacted Fill	<b>10.0</b>	inches
<b>E</b>	Max. Depth Allowed Above the Chamber	<b>12.00</b>	feet
<b>F</b>	Chamber Width	<b>52.0</b>	inches
<b>G</b>	Center to Center Spacing	<b>5.08</b>	feet
<b>H</b>	Effective Depth	<b>3.54</b>	feet
<b>I</b>	Bed Depth	<b>4.38</b>	feet

**Holdaway Fields Phase 1c**

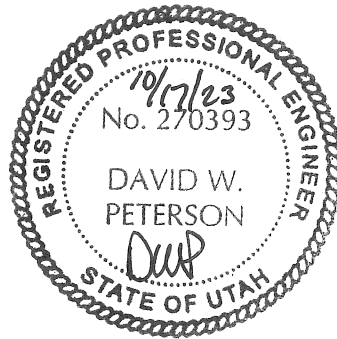
Final Storm Drain report

October 17, 2023

Prepared by:

David W. Peterson, P.E.

Excel Engineering, Inc.



Storm Drain Summary:

Holdaway Fields Phase 1c is currently farming fields. It will be developed into a church site with a public road extension along the south property boundary. There is no storm runoff from adjacent properties that is flowing onto this property. There are no upstream flows that will impact this site. The storm runoff from this property will eventually be discharged onto the shore of Utah Lake which is located to the west of this project. The roadway from this phase will be retained in the temporary retention pond that was constructed with phase 1a. That temporary pond was already sized to include the roadway area from this phase. The church site lot will retain the 80<sup>th</sup> percentile storm on-site in underground retention. A storm drain pipe was stubbed into this lot to convey overflow from larger storm events directly to Utah Lake.

The storm drain report for Phase 1 and the overall storm drain report for all of Holdaway Fields has been attached. These reports discuss the storm drain design for the project in more detail including the pipe sizing and 100-year flow conveyance.

## Appendix

- *Holdaway Fields Phase 1 Final Storm Drain Report from 8/16/22*
- *Holdaway Farms Preliminary Storm Drain Report from 5/26/22 (Subdivision name was changed)*

**Holdaway Fields Phase 1**

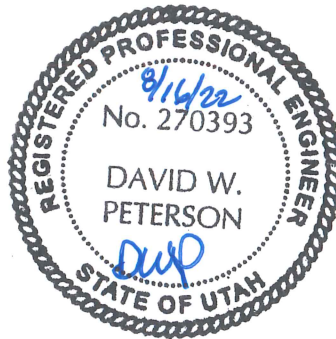
Final Storm Drain report

August 16, 2022

Prepared by:

David W. Peterson, P.E.

Excel Engineering, Inc.





## Introduction:

Holdaway Fields Phase 1 is currently farming fields. It will be developed into a residential subdivision. There is no storm runoff from adjacent properties that is flowing onto this property. There are no upstream flows that will impact this site. The storm runoff from this property will eventually be discharged onto the shore of Utah Lake which is located to the west of this project. However, with this phase of construction, it will be retained in temporary retention ponds.

## Proposed Project Facilities

Phase 1 of this subdivision will flow into temporary retention ponds. These temporary ponds will be removed with future phases and the subdivision will eventually drain into an underground retention system and then discharge into Utah Lake. See the attached preliminary storm drain report for a full description of the future storm drain plans.

Phase 1 was divided into three subareas that correspond with the three temporary retention ponds. The temporary retention ponds were sized to store the 100-year storm and include the future subdivision areas that will flow into them. The attached Phase 1 subarea map shows the delineation of the subareas.

The rational formula was used to calculate the required storage volume. The pervious and impervious areas were calculated with the respective c-values assigned. The overall c-value for the subdivision was determined to be 0.44. This was determined in the preliminary storm drain report. A c-value of 0.44 was used for subareas 1 and 3. A c-value of 0.6 was used for subarea 2 since it has a higher percentage of roadway area.

The temporary retention ponds were sized to store the 100-year storm event with one foot of freeboard. The calculations for the retention pond sizing are shown on the attached spreadsheets.

## Hydraulic Calculations

The *10-year Peak Flow Storm Drain Pipe Calculations* are included in the preliminary storm drain report along with the subarea maps and explanation of calculations.

All pipes have been adequately sized to convey the 10-year storm to the proposed retention ponds.

### Groundwater elevation

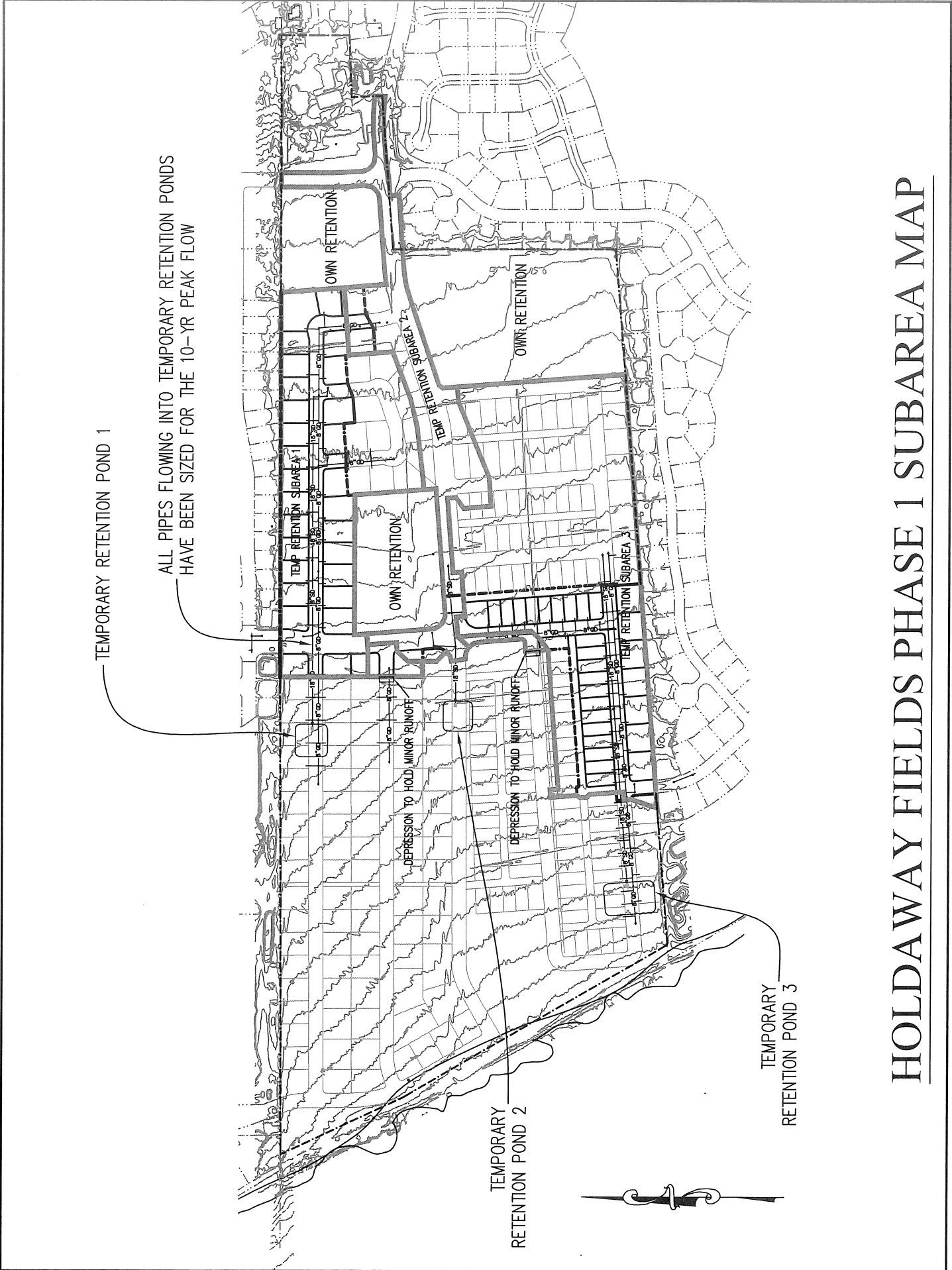
Based on the geotechnical report performed for this site, ground water was encountered ~8 feet below the existing ground surface in the areas where the retention ponds are proposed. The bottom of the retention ponds should be well above the ground water with the ponds being 4 feet deep.

### Conclusion

The retention ponds in Holdway Fields Phase 1 have been sized to store the 100-year storm event. The pipes have been sized to convey the 10-year storm event to the retention ponds.

## Appendix

- *Holdaway Fields Phase 1 Subarea Map*
- *Holdaway Fields Temporary Retention Pond 1 – 100-year storm water calculations*
- *Holdaway Fields Temporary Retention Pond 2 – 100-year storm water calculations*
- *Holdaway Fields Temporary Retention Pond 3 – 100-year storm water calculations*
- *Holdway Farms Preliminary Storm Drain Report from 5/26/22 (Subdivision name was changed)*



# HOLDAWAY FIELDS PHASE 1 SUBAREA MAP

## Holdway Fields Temporary Retention Pond 1 100-year storm water calculations

16-Aug-22

The storm drain calculations were performed using the rational method.

### Hydrologic Calculations

#### CA CALCULATION

	C	Area (sf)	C * A
Subdivision Area	0.44	571751	251570
Total CA		571751	251570

The assumed percolation rate used was 60 minutes per inch.

The infiltration area will be the average depth surface area of the pond.

The infiltration area is 12,440 s.f.

The infiltration rate = (12,440 s.f.)(1 inch/60 min.)(1 ft/12 inch)(1 min./60 sec.) = 0.29 cfs

### Retention Volume sizing calculations

Lapsed Time (min.)	Rainfall intensity (in/hr)	Total Rainfall (in)	Rainfall Volume (cu.ft.)	Release Volume (cu.ft.)	Required Storage (cu.ft.)
A	B	C	D	E	F
5	6.16	0.51	10762	86	10675
10	4.69	0.78	16387	173	16214
15	3.87	0.97	20283	259	20024
30	2.60	1.30	27253	518	26735
60	1.61	1.61	33752	1037	32716
120	0.87	1.74	36478	2073	34404
180	0.59	1.77	37107	3110	33997
360	0.31	1.86	38993	6220	32773
720	0.18	2.16	45283	12440	32843
1440	0.10	2.40	50314	24880	25434

Required Retention Storage = 34,404 cf

Notes:

A, B, & C are based upon Vineyard rainfall data

D = C / (12 inches/foot) x total acreage of site x 43,560 sf/acre x run-off coefficient, where Q=CIA and V=CiA

E = allowable release rate x A x 60 sec.

F = D - E to determine storage volume

### Retention pond

Elevation	Volume (cf)	
4510	50,062	1' foot of freeboard
4509	34,922	Top of water surface
4508	21,598	
4507	9,991	
4506	0	Bottom of Pond

### Discussion

- Retention basin provides storage volume of 34,922 cf which exceeds required storage volume of 34,404 cf

**Holdway Fields Temporary Retention Pond 2**  
**100-year storm water calculations**

16-Aug-22

The storm drain calculations were performed using the rational method.

**Hydrologic Calculations**

CA CALCULATION

	C	Area (sf)	C * A
Subdivision Area	0.6	324648	194789
Total CA		324648	194789

The assumed percolation rate used was 60 minutes per inch.

The infiltration area will be the average depth surface area of the pond.

The infiltration area is 10,300 s.f.

The infiltration rate = (10,300 s.f.)(1 inch/60 min.)(1 ft/12 inch)(1 min./60 sec.) = 0.24 cfs

**Retention Volume sizing calculations**

Lapsed Time (min.)	Rainfall intensity (in/hr)	Total Rainfall (in)	Rainfall Volume (cu.ft.)	Release Volume (cu.ft.)	Required Storage (cu.ft.)
A	B	C	D	E	F
5	6.16	0.51	8333	72	8261
10	4.69	0.78	12688	143	12545
15	3.87	0.97	15705	215	15490
30	2.60	1.30	21102	429	20673
60	1.61	1.61	26134	858	25276
120	0.87	1.74	28244	1717	26528
180	0.59	1.77	28731	2575	26156
360	0.31	1.86	30192	5150	25042
720	0.18	2.16	35062	10300	24762
1440	0.10	2.40	38958	20600	18358

Required Retention Storage = 26,528 cf

Notes:

A, B, & C are based upon Vineyard rainfall data

D = C / (12 inches/foot) x total acreage of site x 43,560 sf/acre x run-off coefficient, where Q=CiA and V=CiA

E = allowable release rate x A x 60 sec.

F = D - E to determine storage volume

**Retention pond**

Elevation	Volume (cf)	
4508	41,502	1' foot of freeboard
4507	28,742	Top of water surface
4506	17,638	
4505	8,091	
4504	0	Bottom of Pond

**Discussion**

- Retention basin provides storage volume of 28,742 cf which exceeds required storage volume of 26,528 cf

**Holdway Fields Temporary Retention Pond 3**  
**100-year storm water calculations**

16-Aug-22

The storm drain calculations were performed using the rational method.

**Hydrologic Calculations**

CA CALCULATION

	C	Area (sf)	C * A
Subdivision Area	0.44	919657	404649
Total CA		919657	404649

The assumed percolation rate used was 60 minutes per inch.

The infiltration area will be the average depth surface area of of the pond.

The infiltration area is 20,136 s.f.

The infiltration rate = (20,136 s.f.)(1 inch/60 min.)(1 ft/12 inch)(1 min./60 sec.) = 0.47 cfs

**Retention Volume sizing calculations**

Lapsed Time (min.)	Rainfall intensity (in/hr)	Total Rainfall (in)	Rainfall Volume (cu.ft.)	Release Volume (cu.ft.)	Required Storage (cu.ft.)
A	B	C	D	E	F
5	6.16	0.51	17310	140	17170
10	4.69	0.78	26358	280	26079
15	3.87	0.97	32625	420	32205
30	2.60	1.30	43837	839	42998
60	1.61	1.61	54290	1678	52612
120	0.87	1.74	58674	3356	55318
180	0.59	1.77	59686	5034	54652
360	0.31	1.86	62721	10068	52653
720	0.18	2.16	72837	20136	52701
1440	0.10	2.40	80930	40272	40658

Required Retention Storage = 55,318 cf

Notes:

A, B, & C are based upon Vineyard rainfall data

D = C / (12 inches/foot) x total acreage of site x 43,560 sf/acre x run-off coefficient, where Q=CIA and V=CiA

E = allowable release rate x A x 60 sec.

F = D - E to determine storage volume

**Retention pond**

Elevation	Volume (cf)	
4500	80,846	1' foot of freeboard
4499	57,170	Top of water surface
4498	35,870	
4497	16,847	
4496	0	Bottom of Pond

**Discussion**

1. Retention basin provides storage volume of 57,170 cf which exceeds required storage volume of 55,318 cf

Holdaway Farms

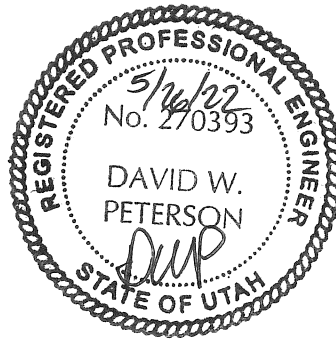
Preliminary Storm Drain report

May 26, 2022

Prepared by:

David W. Peterson, P.E.

Excel Engineering, Inc.





## Introduction:

This property is currently farming fields. It will be developed into a residential subdivision. There is no storm runoff from adjacent properties that is flowing onto this property. There are no upstream flows that will impact this site. The storm runoff from this property will be retained and discharged onto the shore of Utah Lake which is located to the west of this project.

## Proposed Project Facilities

This subdivision will pipe the majority of the storm water to the southwest side of the overall project into an underground retention system that has an overflow box. This system will retain the 80<sup>th</sup> percentile storm for the entire subdivision and directly release everything over that. The storm drain piping has been designed to convey the 10-year peak storm in pipes to the retention system and bypass the 100-year storm from the retention system to the discharge location.

An underground StormTrap system will store the runoff while the 80<sup>th</sup> percentile storm is infiltrated into the ground. The majority of the runoff from the subdivision will flow directly into the retention system. A portion of the subdivision (Subarea 6 – see the attached subarea map) will flow directly to the treatment device and discharge point without going into the retention system. This design was due to the location of the discharge point in addition to spreading out some of the peak flows over a longer period by passing the northwest area before all of the rest of the flows from the subdivision arrive.

The top of water elevation in the underground retention system is 4497.67. The 36” overflow pipe flowline is set at an elevation of 4497.78 to allow overflow runoff for an event greater than the 80<sup>th</sup> percentile storm. Once the storm water reaches that overflow elevation, it will flow out of the overflow box where it will then flow to the northwest corner of the subdivision to the treatment device and then on the shore of Utah Lake.

## 80<sup>th</sup> Percentile storm calculations

$$V = CAI$$

$$CA = 1,738,533 \text{ sf (see 100-yr storm water calcs)}$$

$$I = 0.50 \text{ inches}$$

$$V = (1,738,533 \text{ sf})(0.50 \text{ inches})(1 \text{ foot} / 12 \text{ inches}) = 72,439 \text{ c.f}$$

### Hydraulic Calculations

The *10-year Peak Flow Storm Drain Pipe Calculations* are included in the appendix.

This site has been divided into subareas. The attached subarea map shows those areas.

All pipes have been adequately sized to convey the 10-year storm to the proposed retention area. The site has also been designed to pass the 100-year peak flow from the retention area to the discharge point on the shore of Utah Lake.

The peak flow for each subarea was determined using the rational method. The time of concentration was calculated using the Kinematic Wave formula by determining the longest travel path of the combined subareas contributing to that portion of storm drain pipe. The attached 'Time of Concentration Table' shows the time of concentration for each subarea and/or combined subarea. The sizes of storm drain pipes throughout this subdivision have been sized and checked to verify sufficient capacity for the 10-year storm event and the 100-yr event in some areas. The attached 'Rational Formula Table' shows the peak flow calculations as well as the required pipe sizes of slopes of the storm drain pipes.

### Groundwater elevation

Based on the geotechnical report performed for this site, ground water was encountered 10 feet below the existing ground surface in the area where the underground retention is proposed. The bottom of the retention system has been designed to be approximately 2.5' above the ground water.

### Storm water treatment

A 10K Bay Separator device has been proposed for this subdivision. All storm water flowing onto the shore of Utah Lake will pass through the treatment device prior to flowing into Utah Lake. It has a treatment capacity of 21.8 cfs which is greater than the 2-year peak storm of 17.6 cfs. It has a bypass capacity of 100 cfs which is greater than the 100-year peak flow of 56.0 cfs.

### Conclusion

The proposed subdivision retention system has been sized to retain the 80<sup>th</sup> percentile storm. The pipes in this subdivision have been sized to convey the 10-year storm event to the retention system and pass the 100-year event to the discharge point on the shore of Utah Lake.

## Appendix

DISCHARGE ONTO SHORE OF UTAH LAKE

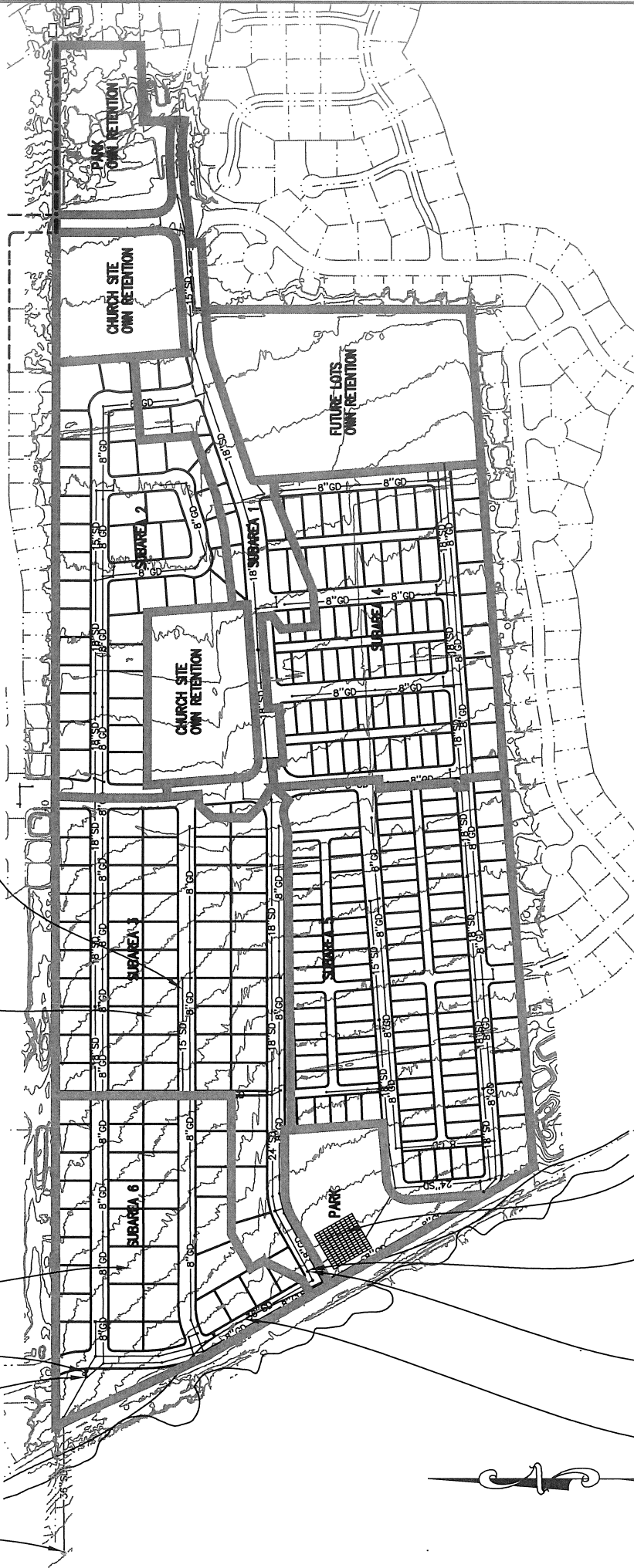
LAND DRAIN CONNECTS INTO STORM DRAIN SYSTEM AT THIS LOCATION

10K BAY SEPARATOR TREATMENT DEVICE (TREATMENT CAPACITY OF 21.8 CFS & BYPASS CAPACITY OF 100 CFS)

SUBAREA 6 FLOWS UNDETAINED TO DISCHARGE LOCATION (PIPES SIZED FOR 100-YR PEAK)

SUBAREAS 1-5 FLOW IN UNDERGROUND RETENTION SYSTEM

ALL PIPES FLOWING INTO RETENTION SYSTEM HAVE BEEN SIZED FOR THE 10-YR PEAK FLOW



TOP OF WATER ELEV IN UNDERGROUND SYSTEM=4497.67

VOLUME GREATER THAN 80TH% STORM OVERFLOWS AT ELEV=4497.78

OVERFLOW BOX (36\"/>

OVERFLOW PIPE SIZED FOR THE 100-YR PEAK FLOW

# HOLDAWAY FARMS SUBAREA MAP

**Holdway Farms**  
**100-year storm water calculations**  
26-May-22

The storm drain calculations were performed using the rational method.

**Hydrologic Calculations**

CA CALCULATION

	C	Area (sf)	C * A
Park Area	0.15	161421	24213
Roadway Area*	0.74	1191598	881783
Lot Impervious	0.85	632054	537246
Lot Landscape	0.15	1968609	295291
Total CA		3953682	1738533

\*-Roadway 'C' value was set based on the local roadway cross section of 56'.  
'C' values were assigned based on the width of the planter strip, walk, & asphalt areas and the composite 'C' was determined to be 0.74.

**Holdaway Farms - 10-year Storm - Rational Formula Table**

C = Runoff Coefficient  
 I (10-yr) = Intensities were taken from NOAA Atlas 14, Volume 1, Version 1, for this area  
 Assume manning's n=0.012

Subarea	Total area (s.f.)	Total area (acres)	C	CA
Subarea 1	318563	7.31	0.59	4.28
Subarea 2	529623	12.16	0.45	5.50
Subarea 3	813656	18.68	0.45	8.32
Subarea 4	667432	15.32	0.38	5.81
Subarea 5	901062	20.69	0.49	10.04
Subarea 6	561925	12.90	0.42	5.40
Park	161421	3.71	0.15	0.56

Combined Subareas	Tc (min.)	I in/hr	QI (cfs) Combined	Minimum Pipe Slope	Pipe size required (in.)	Pipe Capacity (cfs)
Subarea 2	45	1.07	5.9	0.005	18	8.1
Subarea 1	45	1.07	4.6	0.005	18	8.1
Subarea 1,2,3	60	0.83	15.0	0.005	24	17.3
Subarea 4	45	1.07	6.2	0.005	18	8.1
Subarea 4.5	60	0.83	13.2	0.005	24	17.3
Subarea 6 direct to Utah Lake (100-yr)	45	1.93	10.4	0.005	24	17.3
Subareas 1-5 & Park leaving StormTrap to Utah Lake (100-yr)	60	1.61	55.6	0.006	36	56.0

\*-Time of concentration was taken from the Time of Concentration Table in the appendix and was rounded to the nearest Tc associated with the intensity table (i.e. 15,30, 45, or 60 minutes).

### Holdway Farms Time of Concentration Table

Subarea(s)	Lot/Overland Flow			tc (Minutes)	Street Flow			tc (Minutes)	Total tc (Minutes)
	L	N	I		S	L	N		
100-yr Subarea 6 to Utah Lake	100	0.45	2.60	0.01	1800	0.012	3.87	0.005	16.76
100-yr from StormTrap to Utah Lake	100	0.45	2.60	0.01	3500	0.012	2.60	0.005	29.29

\*-The time of concentration was calculated using the Kinematic Wave formula and is the longest amount of time it takes for water to travel from the upper portion to the lower portion of the combined subareas listed. The Total tc used in the Rational Formula Table (see appendix) is the Total tc value rounded to the nearest standard Rainfall Intensity measurement as shown in the appendix (ie 15 min, 30 min, etc.)

### Holdway Farms 10-year Time of Concentration Table

Subarea(s)	Lot/Overland Flow			tc (Minutes)	Street Flow			tc (Minutes)	Total tc (Minutes)
	L	N	I		S	L	N		
Subarea 2	100	0.45	1.34	0.01	1333	0.012	2.00	0.005	18.23
Subarea 1	100	0.45	1.34	0.01	1541	0.012	2.00	0.005	19.89
Subarea 1,2,3	100	0.45	1.34	0.01	3554	0.012	1.34	0.005	38.54
Subarea 4	100	0.45	1.34	0.01	1466	0.012	2.00	0.005	19.30
Subarea 4,5	100	0.45	1.34	0.01	3062	0.012	1.34	0.005	35.24

\*-The time of concentration was calculated using the Kinematic Wave formula and is the longest amount of time it takes for water to travel from the upper portion to the lower portion of the combined subareas listed. The Total tc used in the Rational Formula Table (see appendix) is the Total tc value rounded to the nearest standard Rainfall Intensity measurement as shown in the appendix (ie 15 min, 30 min, etc.)

CADENCE HOMES  
JOB NO. 1377-015-21

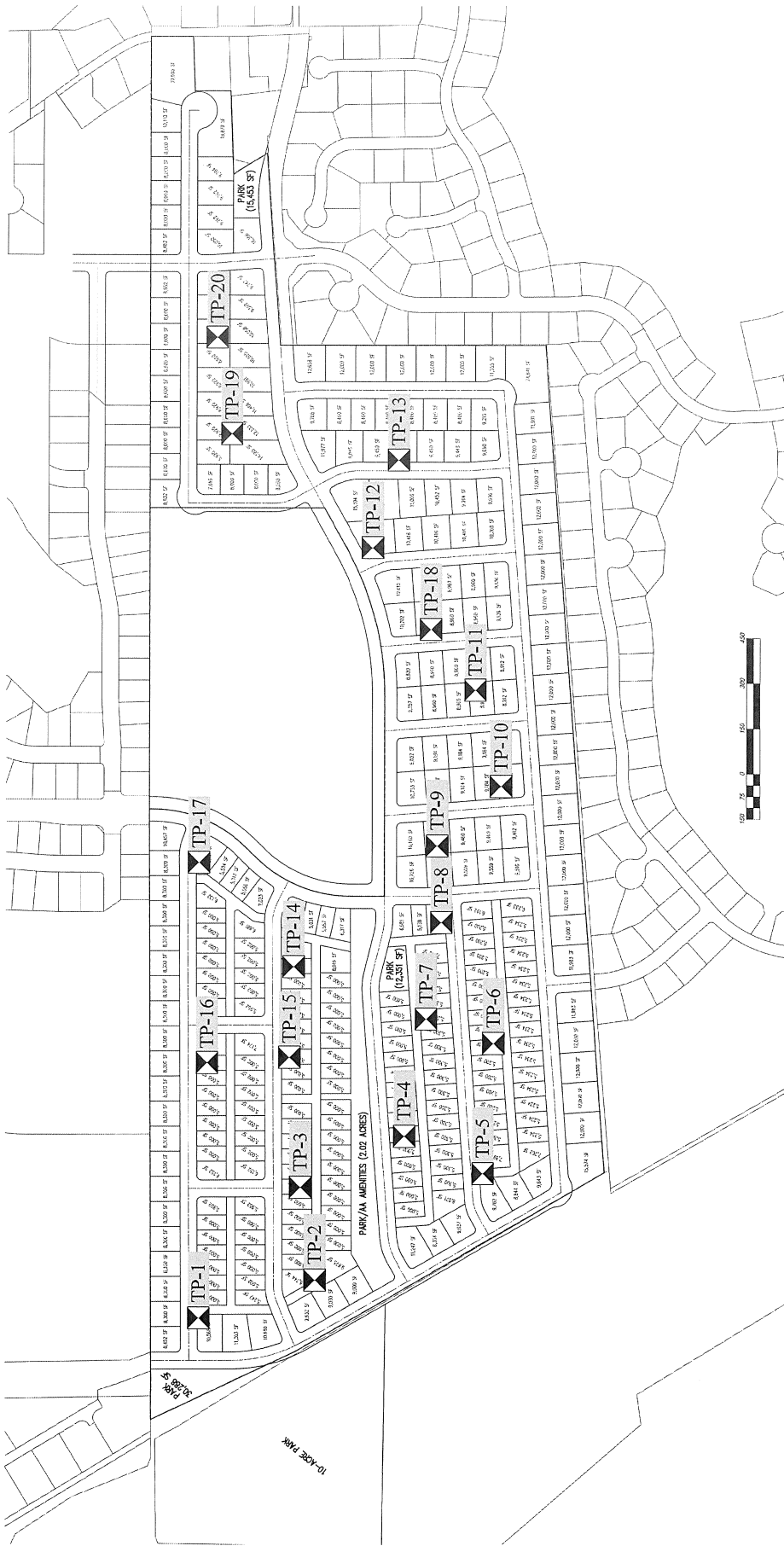


FIGURE 2  
SITE PLAN  
**GSH**

REFERENCE:  
ADAPTED FROM DRAWING ENTITLED  
"VINEYARD PROJECT" BY EXCEL ENGINEERING  
DATED 12/08/20





# TEST PIT LOG

TEST PIT: TP-5

Page: 1 of 1

CLIENT: Cadence Homes

PROJECT NUMBER: 1377-015-21

PROJECT: Proposed Vineyard Subdivision

DATE STARTED: 5/6/21

DATE FINISHED: 5/6/21

LOCATION: Near 3200 North Holdaway Road, Vineyard, Utah

GSH FIELD REP.: NLW

EXCAVATING METHOD/EQUIPMENT: 6-ton Kubota

GROUNDWATER DEPTH: 10.0' (5/6/21)

ELEVATION: ---

WATER LEVEL	U S C S	DESCRIPTION	DEPTH (FT.)	SAMPLE SYMBOL	MOISTURE (%)	DRY DENSITY (PCF)	% PASSING 200	LIQUID LIMIT (%)	PLASTICITY INDEX	REMARKS
		Ground Surface	0							
	CL	SILTY CLAY with some fine to medium sand; major roots (top soil) to 6"; brown								6" loose/disturbed dry very stiff
		grades light brown	5		23.5	99				slightly moist stiff
			10							saturated medium stiff
		End of exploration at 12.0'. No significant sidewall caving. Installed 1.25" diameter slotted PVC pipe to 12.0'.	15							
			20							
			25							

See Subsurface Conditions section in the report for additional information.

FIGURE 3E

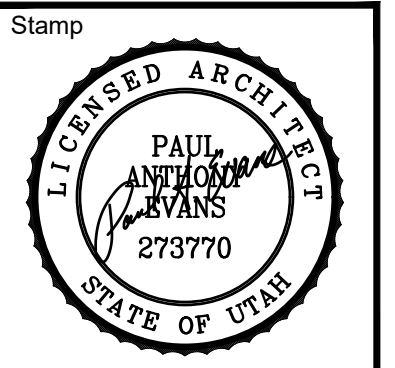
# A New Meetinghouse for: Vineyard 10 & Vineyard UT Stake

Consultant	Consultant Name	Address	Contact	Phone	Fax	E-mail
ARCHITECT:	<b>Evans &amp; Associates Architecture</b>	11576 South State Street #103B	Draper, Utah 84020	<b>Chad Spencer</b>	(801) 553-8272 (801) 553-8273	<i>chad@studio-ea.com</i>
CIVIL ENGINEER:	<b>Excel Engineering, Inc.</b>	12 West 100 North #201	American Fork, Utah 84003	<b>David Peterson</b>	(801) 756-4504 (801) 756-4511	<i>david@excelcivil.com</i>
LANDSCAPE ARCHITECT:	<b>In Site Design Group</b>	17 North 470 West	American Fork, Utah 84003	<b>Darren Wilson</b>	(801) 756-5043 (801) 756-5279	<i>darren@isdgllc.com</i>
ELECTRICAL ENGINEER:	<b>Envision Engineering</b>	240 East Morris Avenue, Suite 200	Salt Lake City, Utah 84115	<b>Scott Kingery</b>	(801) 534-1130 (801) 534-1080	<i>skingery@envisioneng.com</i>

Vicinity Map



evans + associates architecture  
11576 south state street, suite 103b, draper, utah 84020  
phone (801) 553-8272 fax (801) 553-8273



A New Meetinghouse for:  
**Vineyard 10 &  
Vineyard UT Stake**  
57 East 400 South  
Vineyard, Utah

Project for:  
**THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS**

DRAWING INDEX			
General	G101	Cover Sheet	Landscaping LS100 Landscape Plan
Site Development	1 of 1	Survey	LS101 Landscape Legends
	C100	Cover Sheet (Off-Site)	LS200 Irrigation Plan
	C101	Site Plan (Off-Site)	LS201 Irrigation Legend and Notes
	C102	Street Tree Plan (Off-Site)	LS202 Landscape Details
	C103	Overall Utility Plan (Off-Site)	LS400 Irrigation Details
	C104	Overall Grading and Drainage Plan (Off-Site)	LS401 Irrigation Details
	C105	400 South Plan/Profile (Off-Site)	
	C106	Erosion Control Plan (Off-Site)	
	C107	Roadway Cross Sections and Site Details (Off-Site)	
	C201	Grading and Drainage Plan	
	C202	Utility Plan	
	C203	Erosion Control Plan	
	C204	Cultec Details	
	C301	Electrical Site Plan	
	C302	Electrical Site Illumination Plan	
	C303	Electrical Site Plan Details	
	C401	Architectural Site Plan	
	C411	Enlarged Architectural Site Plans	
	C412	Enlarged Architectural Site Plans	
	C413	Enlarged Architectural Site Plans	
	C414	Enlarged Architectural Site Plans	
	C415	Enlarged Architectural Site Plans	
	C501	Site Details	
	C502	Site Details	
	C503	Site Details	
	C504	Site Details	
	C811	Pavilion Plans Views	
	C812	Pavilion Plan Views	
	C813	Pavilion Section and Detail Views	
	C814	Pavilion Roof Views and Details	
	ST101	Storage Building	

Revisions	Mark	Description	Date	Addendum #1
	△		09/07/2024	

Project Number  
23-85  
Plan Series  
Heritage 23-1  
Property Number  
501-6747-23010101  
Date  
May 1, 2023

Sheet Title  
  
COVER SHEET

Sheet  
**G101**





**PARCEL DESCRIPTION**

Beginning at a point located South 89°46'04" West along section line 2003.90 feet from the South Quarter Corner of Section 17, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence South 4°25'36" East 149.87 feet; thence South 85°34'24" West 587.50 feet; thence North 4°25'36" West 364.94 feet; thence along the arc of a 500.00 foot radius curve to the right 38.65 feet through a central angle of 4°25'46" (chord bears North 2°12'43" West 38.64 feet); thence North 0°00'10" East 1.77 feet; thence North 89°59'04" East 587.61 feet; thence South 4°25'36" East 210.25 feet to the point of beginning.  
Area = 5.162 Acres

**SURVEYOR'S NARRATIVE**

The Basis of Bearing for this survey is South 89°46'04" West along Section Line from the South Quarter Corner of Section 17, Township 6 South, Range 2 East, Salt Lake Base and Meridian to the Southwest Corner of said Section 17, said bearing being the record NAD83 bearing. All parcel bearings have been rotated to match the NAD83 coordinate system. Both monuments were located as shown on county file sheets. The purpose of this survey was to determine an overall boundary and locate existing improvements to facilitate a property exchange within parcels 18:021:0014, 18:021:0016 and 18:015:0163. Property within this parcel is the remainder of parcel 18:015:0163 after the property exchange. The original area of parcel 18:015:0163 was 19.989 acres. After the property exchange the total acreage of the three parcels is 19.991 acres. Boundary markers have been set at all corners of the subject property.

**ALTA / NSPS TABLE "A"**

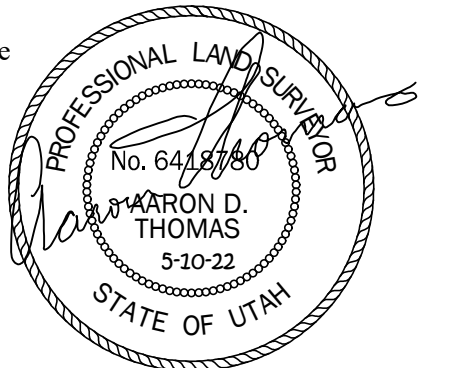
3. FLOOD ZONE CLASSIFICATION FEMA FIRM PANELS 49049C0340F & 49049C0320F EFFECTIVE JUNE 19, 2020. ZONE X - OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN.
4. GROSS LAND AREA TOTAL AREA = 5.162 ACRES.
5. VERTICAL RELIEF S QTR COR. SEC. 17 = 4533.89'
- 6a. CURRENT ZONING CLASSIFICATION A-1, AGRICULTURE
7. EXISTING BUILDINGS NO BUILDINGS ON SITE.
8. SUBSTANTIAL FEATURES NO IMPROVEMENTS ON SITE.
9. PARKING AREAS NO PARKING AREAS ON SITE.
11. LOCATION OF UTILITIES VISIBLE & MARKED - SEE MAP. UTILITIES WERE LOCATED BASED ON VISIBLE STRUCTURES AND OTHER VISIBLE EVIDENCES. NO GUARANTEE IS GIVEN THAT ADDITIONAL UTILITIES DO NOT EXIST ON THE SITE WHICH ARE NOT VISIBLE OR MARKED ON THE GROUND. IT IS RECOMMENDED THAT BLUESTAKES BE CALLED PRIOR TO ANY EXCAVATION.
14. NEAREST STREET SITE IS AT AN INTERSECTION AS SHOWN ON MAP.
15. PHOTOGRAMMETRIC MAPPING CONTOURS GENERATED BY AERIAL MAPPING WITH RTK DRONE.
16. RECENT EARTHWORK NONE FOUND.
17. PROPOSED CHANGES IN STREETS PROPOSED FUTURE TITLE LINES AS SHOWN ON MAP.
- 17b. RECENT ROADWAY CONSTRUCTION NONE FOUND.
- SIGNS OF SOLID WASTE DUMP NONE FOUND.
- WETLANDS NONE DEFINED OR ANTICIPATED.

**SURVEYOR'S CERTIFICATION**

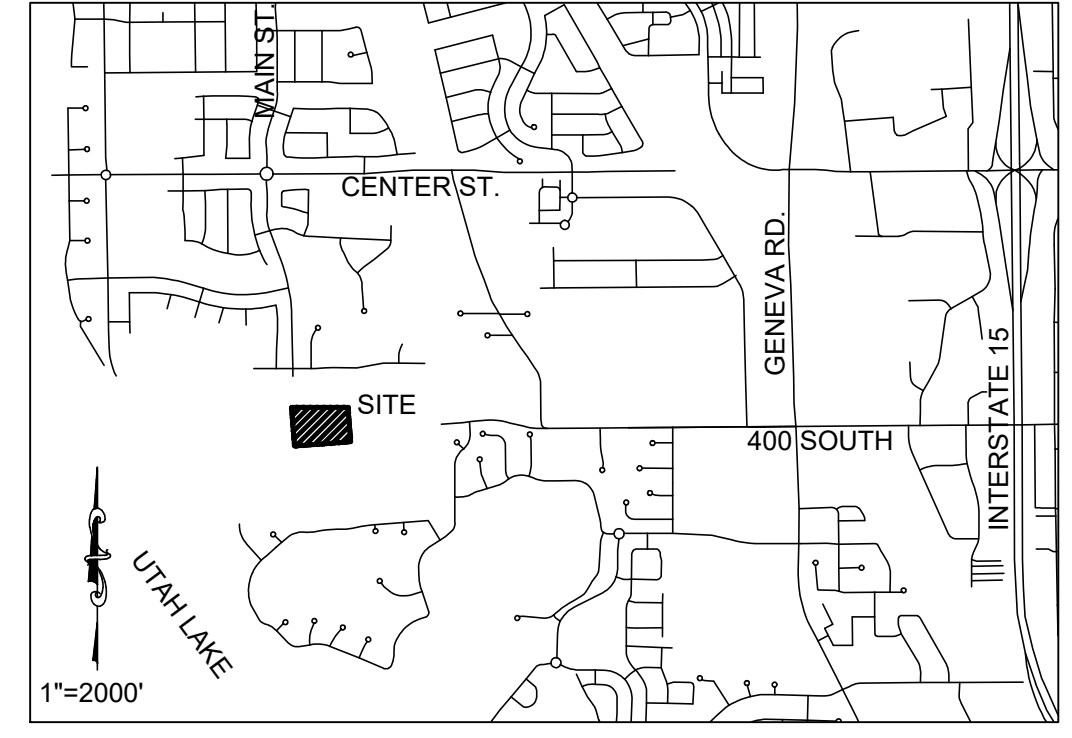
I Aaron D. Thomas, do hereby certify that I am a Professional Land Surveyor, licensed to practice in the State of Utah, holding license number 6418780, and that in May 2022, I made a survey of the property described on this plat.

This survey was made in conformity with generally accepted local surveying practices. It does not guarantee title to the lines set, nor purport to show all easements of record nor is it proof of ownership.

*Aaron D. Thomas*  
AARON D. THOMAS - PLS NO. 6418780

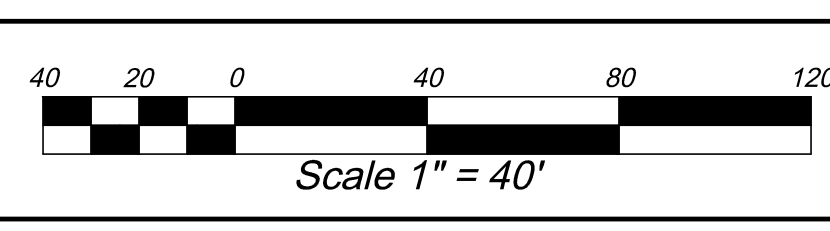


**VICINITY MAP**



**PLAT LEGEND**

---	PARCEL BOUNDARIES
---	NEIGHBOR TITLES
---	FUTURE TITLE LINES
---	CENTERLINE ROAD
---	CONCRETE
---	FENCE LINE
---	SANITARY SEWER
---	STORM DRAIN
---	WATER LINE
---	POWER LINE
---	PHONE / FIBER OPTIC
---	GAS LINE
---	CONTOUR LINE



**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	500.00	38.65	4°25'46"	38.64	N 2°12'43" W

**SURVEY TYPE: BOUNDARY SURVEY**

ADDRESS +/- 400 SOUTH & MAIN STREET

CITY: VINEYARD COUNTY: UTAH STATE: UTAH

SURVEYOR: **AZTEC ENGINEERING INC.**  
732 N. 780 W.  
AMERICAN FORK, UT. 84003  
AZTECENGINEERING@GMAIL.COM

PREPARED FOR:  
THE CHURCH OF JESUS CHRIST  
OF LATTER-DAY SAINTS,  
A UTAH CORPORATION SOLE

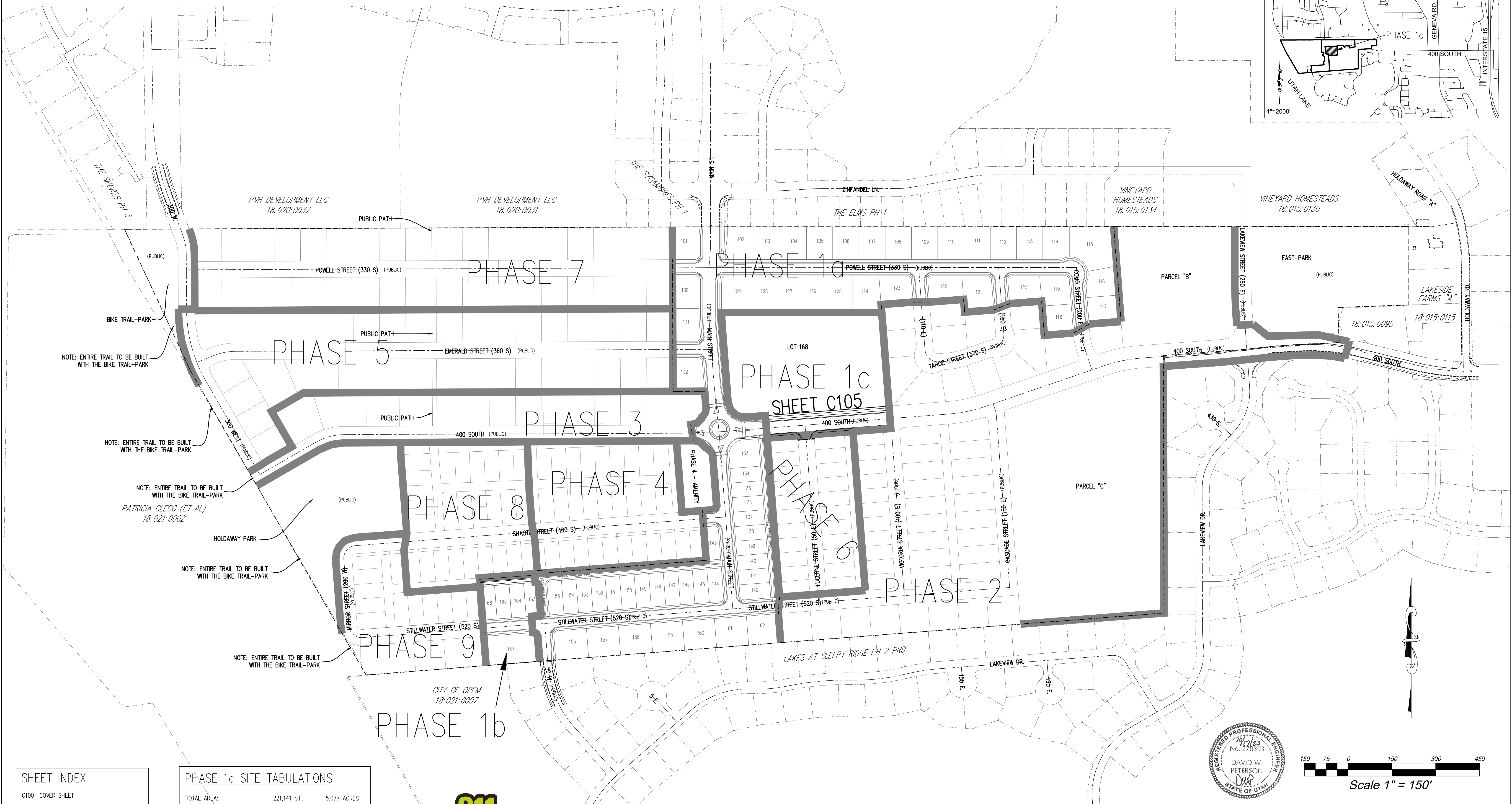
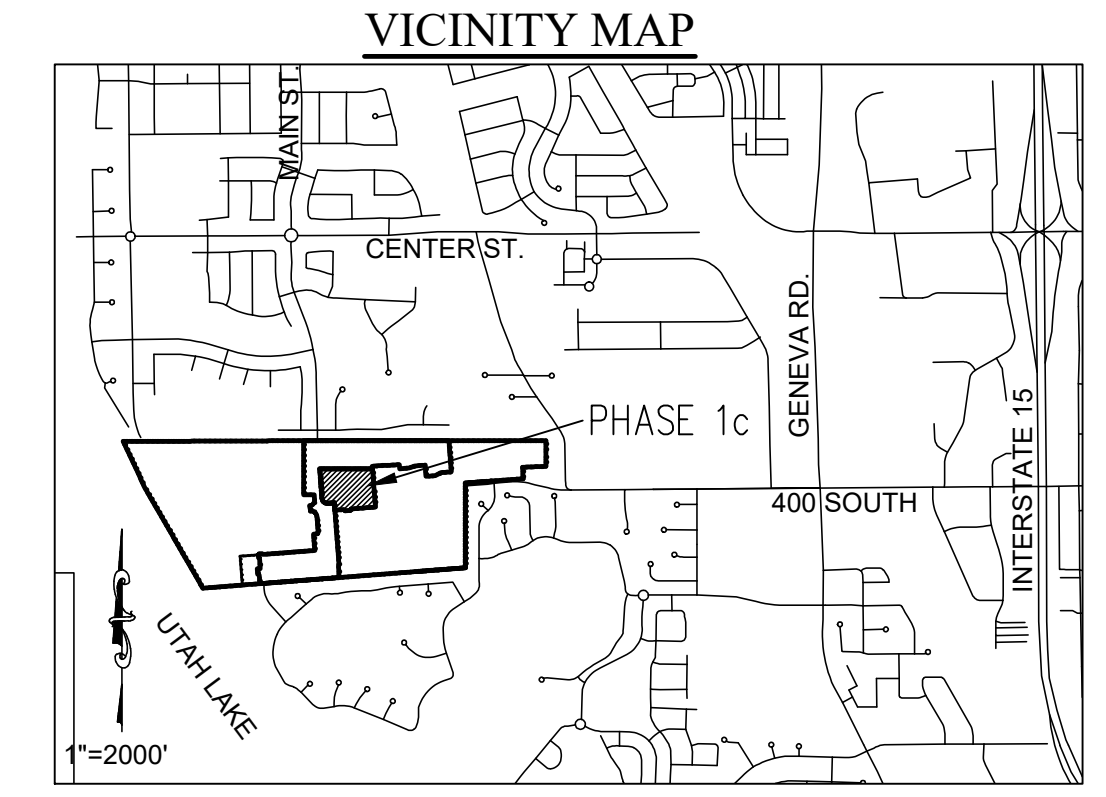
**PARCEL 18:015:0163 REMAINDER**

LOCATED IN SECTIONS 17 & 20,  
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SLB&M

SHEET:	1 OF 1
DATE:	MAY 10, 2022
SCALE:	1"=40'



# HOLDAWAY FIELDS PHASE 1c



NOTE: ENTIRE TRAIL TO BE BUILT WITH THE BIKE TRAIL-PARK

NOTE: ENTIRE TRAIL TO BE BUILT WITH THE BIKE TRAIL-PARK

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**SHEET INDEX**

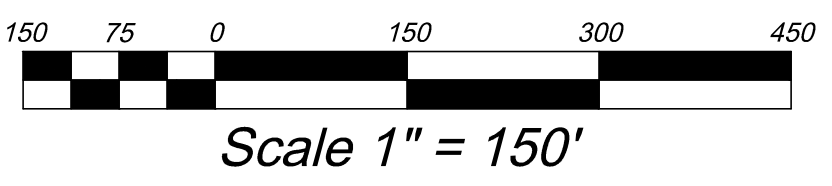
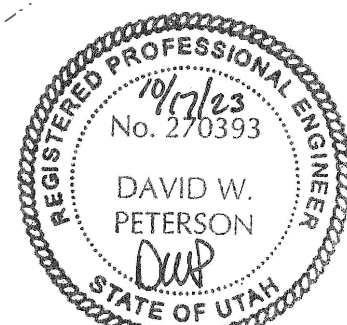
C100	COVER SHEET
C101	SITE PLAN
C102	STREET TREE PLAN
C103	OVERALL UTILITY PLAN
C104	OVERALL GRADING & DRAINAGE PLAN
C105	400 SOUTH PLAN/PROFILE
C106	EROSION CONTROL PLAN
C107	ROAD CROSS SECTIONS & SITE DETAILS

**PHASE 1c SITE TABULATIONS**

TOTAL AREA:	221,141 S.F.	5.077 ACRES
PUBLIC ROW DEDICATION AREA:	33,635 S.F.	0.772 ACRES
PUBLIC PATH DEDICATION AREA:	0 S.F.	0 ACRES
PUBLIC PARK DEDICATION AREA:	0 S.F.	0 ACRES
TOTAL LOT AREA:	187,506 S.F.	4.305 ACRES
PRIVATE DRIVE AREA:	0 S.F.	0 ACRES
PRIVATE PARK AREA:	0 S.F.	0 ACRES



SURVEYOR: **AZTEC ENGINEERING**  
732 N. 700 W. AMERICAN FORK, UT. 84003  
aztecengineering@gmail.com



**REVISIONS**

Rev.	Date	Description

Developer/Property Owner: **RYAN BYBEE**  
Phone: 801-616-2300

**EXCEL ENGINEERING**  
David W. Peterson, P.E., License #270393  
12 West 100 North, Suite 201C, American Fork, UT 84003  
P: (801) 756-4504; david@excelcivil.com

<b>HOLDAWAY FIELDS</b>		UTAH
VINEYARD	PHASE 1c	Scale: 1"=150'
Drawn by: D.W.P.	<b>COVER SHEET</b>	Date: 10/17/23
Designed by: D.W.P.		C100
Checked by: D.W.P.		





S 1/4 SEC 17  
T6S, R2E, SLB&M  
ELEV = 4533.89

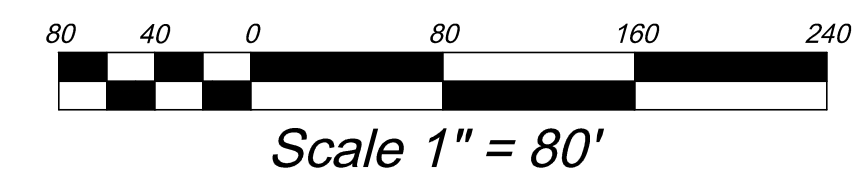
NOTE: PARKING LOT OF CHURCH WILL PROVIDE FIRE TURN-AROUND AREA UNTIL FUTURE PHASES ARE CONSTRUCTED

- GENERAL NOTES**
1. ALL CONSTRUCTION TO BE IN CONFORMANCE WITH VINEYARD STANDARDS AND SPECIFICATIONS.
  2. GEOTECHNICAL REPORT, SOILS TESTS, & PAVEMENT DESIGN ARE PROVIDED AT TIME OF THIS FINAL PLAT SUBMITTAL.

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	15.00	23.56	90°0'0"	21.21	S 40°34'24" W
C2	15.00	23.56	90°0'0"	21.21	N 49°25'36" W
C3	56.00	87.96	90°0'0"	79.20	N 49°25'36" W
C4	461.50	37.46	4°39'4"	37.45	N 2°6'4" W

**PLAT NOTE:**  
SEE FINAL PLAT FOR LEGAL DESCRIPTION & SETBACK & EASEMENT DIAGRAMS.



**REVISIONS**

Rev.	Date	Description

Developer/Property Owner: RYAN BYBEE  
Phone: 801-616-2300

**EXCEL ENGINEERING**  
David W. Peterson, P.E., License #270393  
12 West 100 North, Suite 201C, American Fork, UT 84003  
P: (801) 756-4504; david@excelcivil.com

**HOLDAWAY FIELDS**

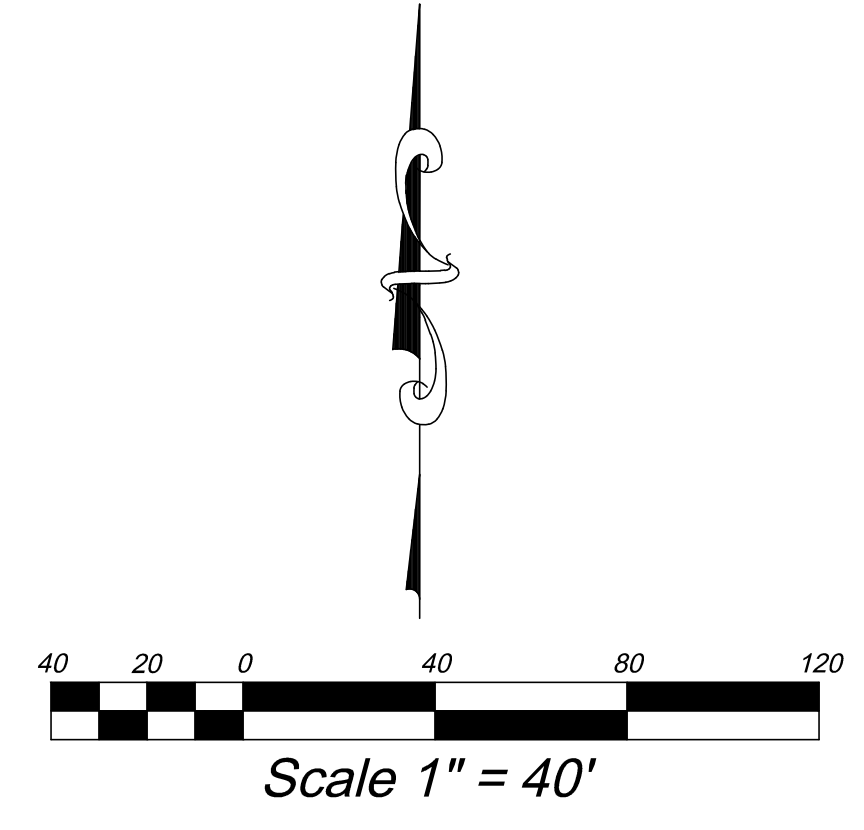
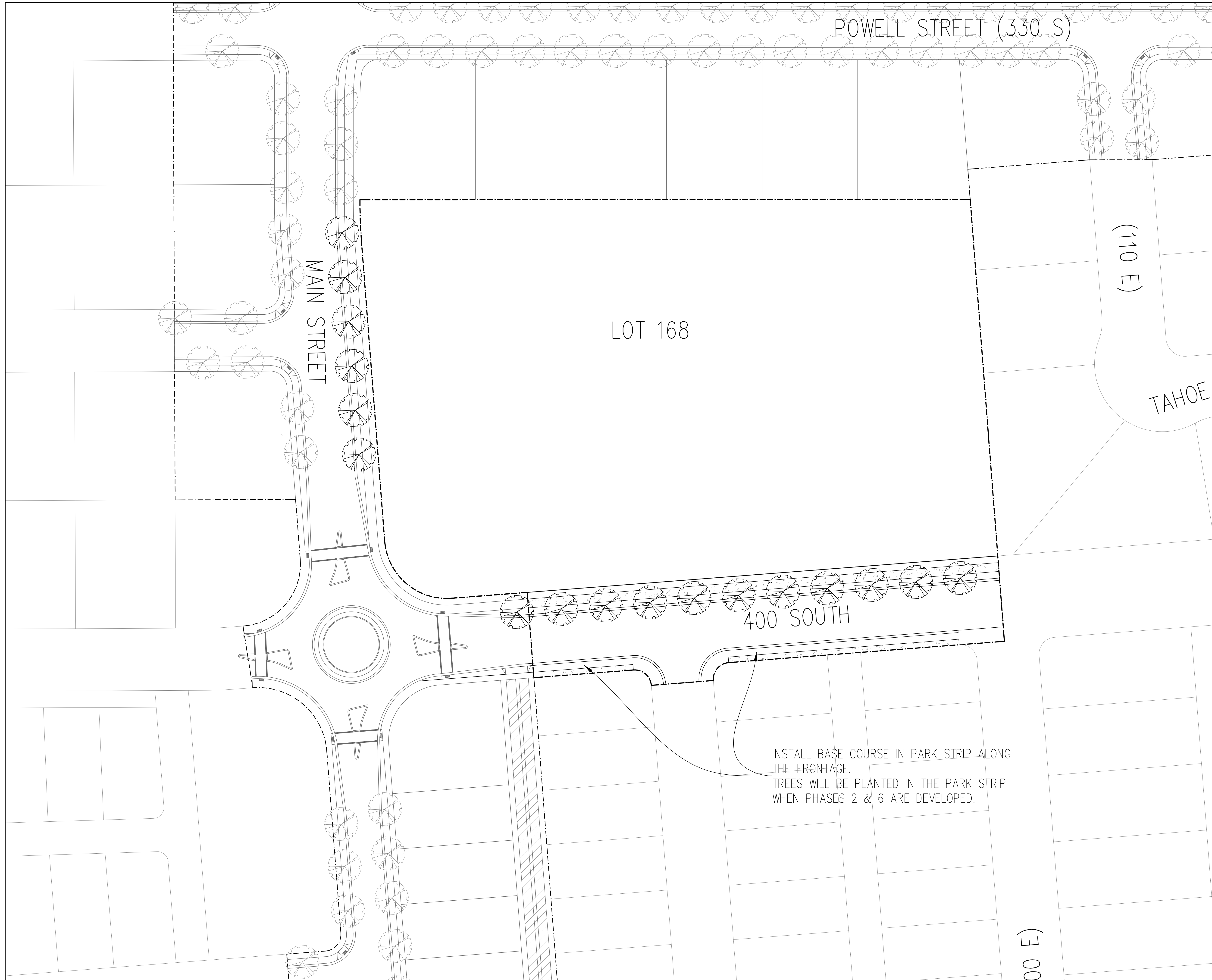
VINEYARD PHASE 1c UTAH

Drawn by: G.J.Y.  
Designed by: G.J.Y.  
Checked by: D.W.P.

**SITE PLAN**

Scale: 1" = 80'  
Date: 10/17/23  
C101





**TREE PLACEMENT NOTE**  
 EXACT SPACING AND LOCATION OF STREET TREES FOR THIS LOT WILL BE DETERMINED AFTER THE DRIVEWAY LOCATION FOR THIS LOT IS INSTALLED. TREES SHALL NOT BE PLANTED ON TOP OF UTILITIES/LATERALS/METERS.

- TREE VARIETIES PROPOSED**
- PROPOSED STREET TREES
1. ELM, LACEBARK\*
  2. ZELKOVA\*
  3. HORNBEAM, EUROPEAN\*
  4. GOLDEN RAINTREE\*
- PROPOSED OPEN SPACE AND PARK AREA TREES
1. OAK, BUR
  2. ELM, LACEBARK
  3. HACKBERRY
  4. ZELKOVA
  5. GINGKO, BILOBA
- \* THESE TREES ARE INCLUDED IN THE VINEYARD CITY TREE AND LANDSCAPE MANUAL FOR 6' PARK STRIPS. HOWEVER, LANDSCAPE CONTRACTOR IS TO REVIEW TREE TYPE W/ THE CITY ARBORIST.

INSTALL BASE COURSE IN PARK STRIP ALONG THE FRONTAGE. TREES WILL BE PLANTED IN THE PARK STRIP WHEN PHASES 2 & 6 ARE DEVELOPED.

SURVEYOR: **AZTEC ENGINEERING**  
 David W. Peterson, P.E., License #270393  
 732 N. 780 W. AMERICAN FORK, UT. 84003  
 aztecengineering@gmail.com

Developer/Property Owner: RYAN BYBEE  
 Phone: 801-616-2300

**EXCEL ENGINEERING**  
 David W. Peterson, P.E., License #270393  
 12 West 100 North, Suite 201C, American Fork, UT 84003  
 P: (801) 756-4504; david@excelcivil.com

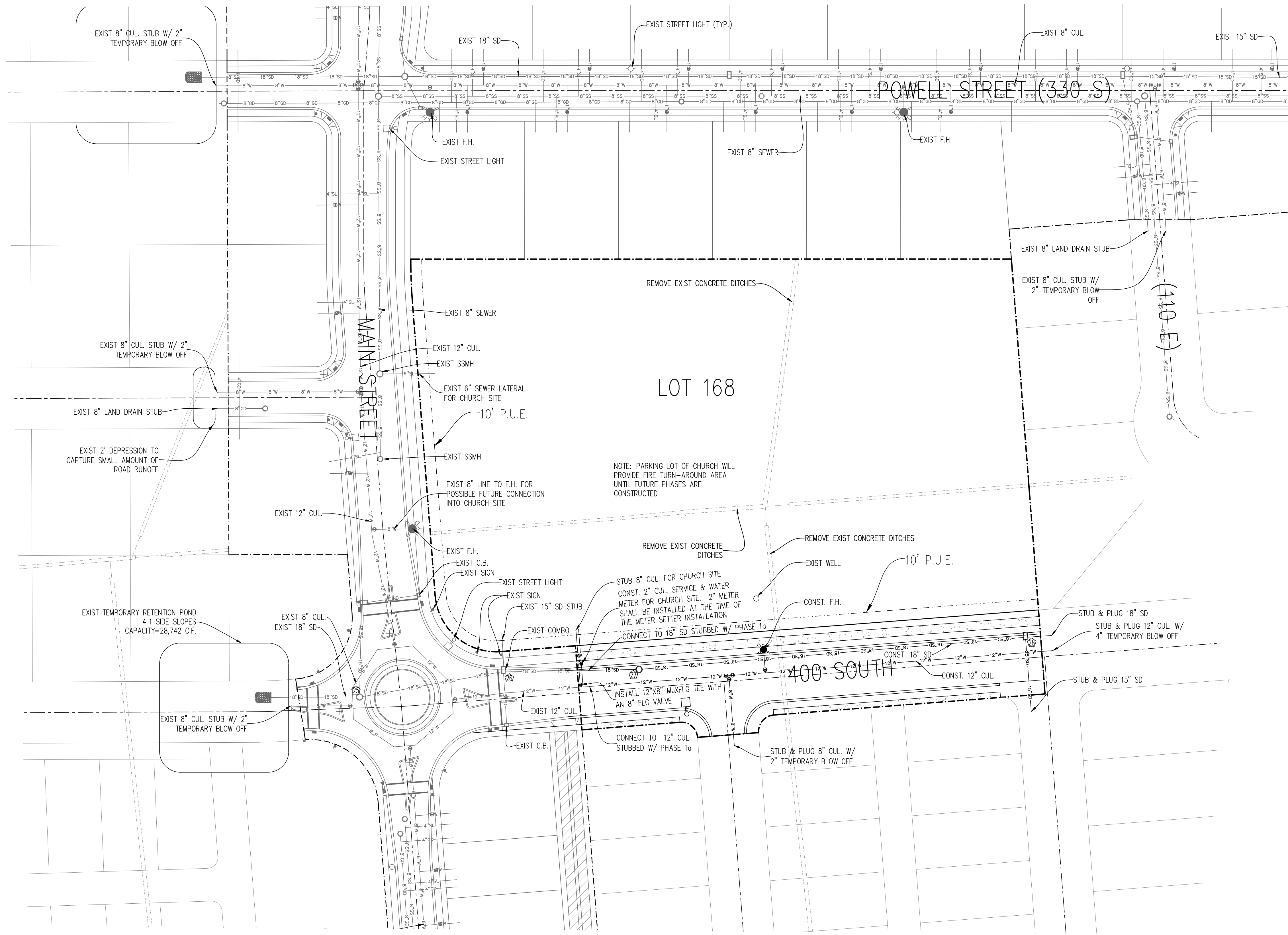
REVISIONS		
Rev.	Date	Description

**HOLDAWAY FIELDS**

VINEYARD PHASE 1c UTAH

Drawn by: G.J.Y.	<b>STREET TREE PLAN</b>	Scale: 1"=40'
Designed by: G.J.Y.		Date: 10/17/23
Checked by: D.W.P.		C102





NOTE: PARKING LOT OF CHURCH WILL PROVIDE FIRE TURN-AROUND AREA UNTIL FUTURE PHASES ARE CONSTRUCTED

UTILITY LEGEND	
	FIRE HYDRANT
	INSTALL VINEYARD STREET LIGHT 3 (12' HIGH 70 W 4000K OUTPUT)
	INSTALL VINEYARD STREET LIGHT 1 (20' HIGH 105 W 4000K OUTPUT)
	8" W CULINARY WATER
	8" SS SEWER PIPE PVC SDR-35
	16" SD STORM DRAIN PIPE RCP
	8" CD LAND DRAIN PIPE PVC
	EDGE OF ASPHALT
	EXIST FENCE
	OVERHEAD POWER LINE
	BURIED POWER LINE
	STORM DRAIN/ LAND DRAIN LABEL (SEE PROFILE SHEETS)
	SEWER LABEL (SEE PROFILE SHEETS)
	INTERSECTION SIGN
	STOP SIGN/YIELD SIGN
	CULINARY VALVE
	WATER METER

Developer/Property Owner: RYAN BYBEE  
Phone: 801-616-2300



REVISIONS

Rev.	Date	Description

HOLDAWAY FIELDS

VINEYARD	PHASE 1c	UTAH
Drawn by: G.J.Y.	<b>OVERALL UTILITY PLAN</b>	Scale: 1"=50'
Designed by: G.J.Y.		Date: 10/17/23
Checked by: D.W.P.		C103

**UTILITY NOTE:**  
NO TRANSFORMERS MAY BE PLACED TO BLOCK TRAIL CONNECTIONS.

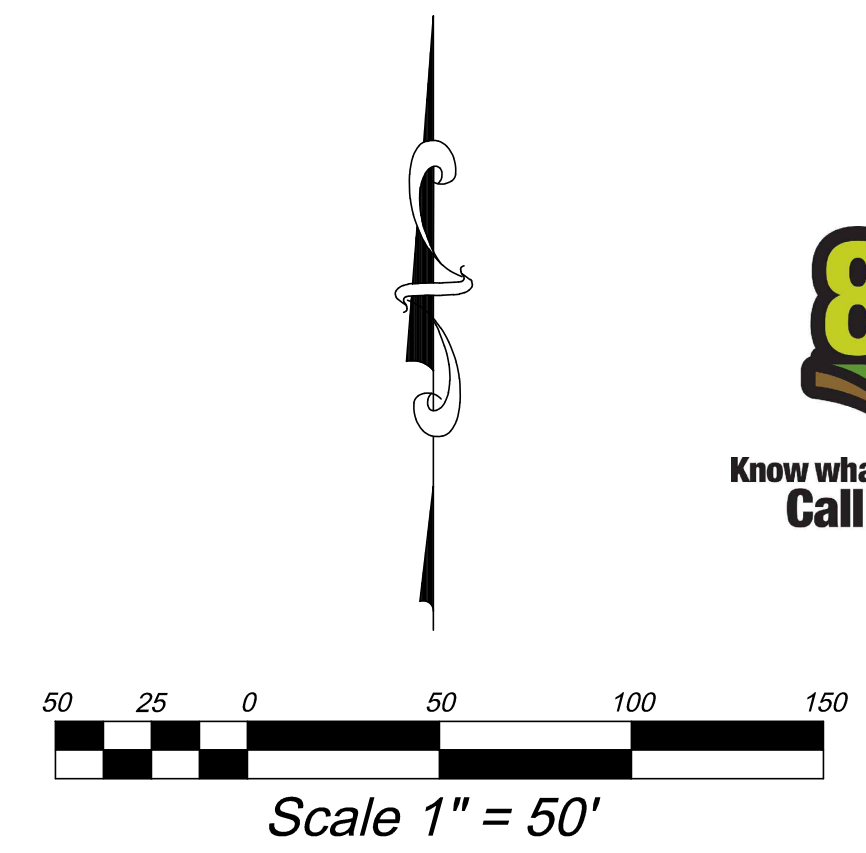
**POWER CONNECTION NOTE:**  
POWER WILL CONNECT INTO THE EXISTING POWER LOCATIONS IN MAIN ST & 30 WEST. COORDINATE POWER DESIGN & CONNECTIONS WITH ROCKY MOUNTAIN POWER.

**SEWER & SD DESIGN:**  
SEE PROFILE SHEETS FOR SEWER & STORM DRAIN DESIGN

**EXIST WELL NOTE:**  
EXISTING WELL LOCATIONS SHOWN ON THIS PLAN ARE PER THE UTAH DIVISION OF WATER RIGHTS WELL LOGS. EXISTING WELLS ARE TO BE ABANDONED AND CAPPED BY A LICENSED WELL DRILLER, EXCEPT WHERE NOTED OTHERWISE.

**CONSTRUCTION STORM WATER NOTE:**  
THE RETENTION BASINS THAT WERE CONSTRUCTED WITH PHASES 1a & 1b ARE TEMPORARY. THE PERMANENT RETENTION/DETENTION STORAGE SYSTEMS WILL BE CONSTRUCTED WITH PHASE 3 AS IS SHOWN ON THE PRELIMINARY PLAN.

**WATER/SEWER LATERAL NOTE:**  
LOCATION OF LATERALS ARE TO BE COORDINATED W/ THE HOME BUILDER PRIOR TO INSTALLATION TO ENSURE THAT SERVICES DO NOT CONFLICT W/ PROPOSED DRIVEWAYS.







DRAINAGE NOTE:  
GRADE LOT SO THAT NO STORM RUNOFF  
FLOWS ONTO AN ADJACENT LOT. STORM  
RUNOFF FROM LOT IS BE RETAINED.

**GRADING LEGEND**

FFE	FINISHED FLOOR ELEV.
BOW	BACK OF WALK
GB	GRADE BREAK
TC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
TA	TOP OF ASPHALT
EA	EDGE OF ASPHALT
RIM	RIM ELEVATION
FL	FLOWLINE
EG	EXIST GROUND
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
<--->	DIRECTION OF DRAINAGE
X (00.00)	EXISTING ELEVATION
00.00 TBC	PROPOSED ELEVATION
---4508---	EXISTING CONTOUR
OO	PROPOSED CONTOUR

**GRADING NOTE**  
SEE SPOT ELEVATIONS & GRADE SLOPE LABELS  
ALONG ROADWAYS ON PROFILE SHEETS

**SD DESIGN:**  
SEE PROFILE SHEETS FOR STORM DRAIN DESIGN

Developer/Property Owner: **RYAN BYBEE**  
Phone: 801-616-2300

**EXCEL**  
ENGINEERING  
David W. Peterson, P.E. License #270393  
12 West 100 North, Suite 201C, American Fork, UT 84003  
P: (801) 756-4504; david@excelcivil.com

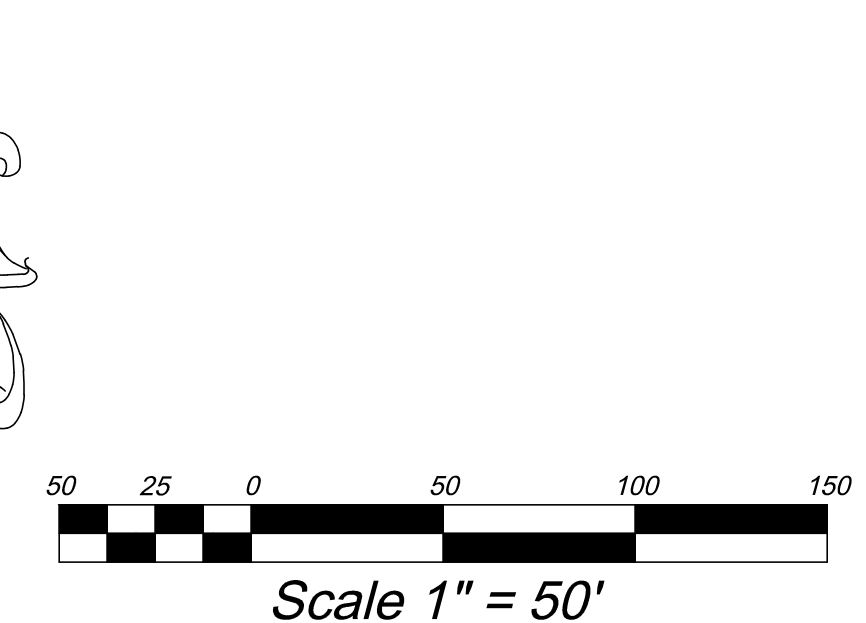
REVISIONS		
Rev.	Date	Description

<b>HOLDAWAY FIELDS</b>		
VINEYARD	PHASE 1c	UTAH
Drawn by: G.J.Y.	<b>OVERALL GRADING &amp; DRAINAGE PLAN</b>	Scale: 1"=50'
Designed by: G.J.Y.		Date: 10/17/23
Checked by: D.W.P.		C104

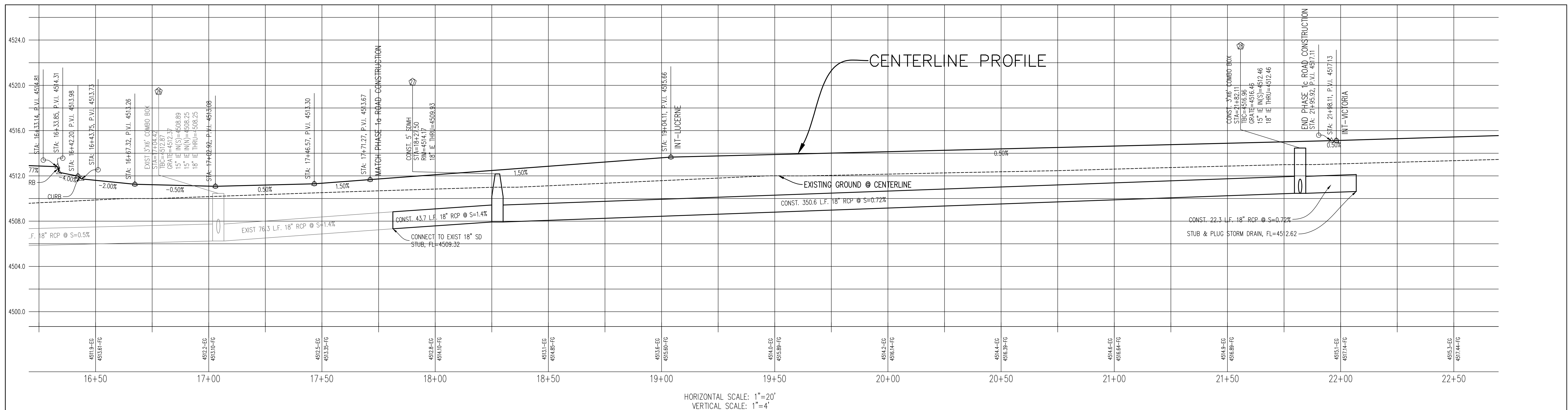
**STORM DRAIN KEYED NOTES** ®

1-24. OMITTED  
25-28. SEE PROFILE SHEETS  
29. CONST. 66.0 L.F. 15" RCP @ S=0.4% STUB FOR FUTURE CONNECTION,  
FL=45012.73

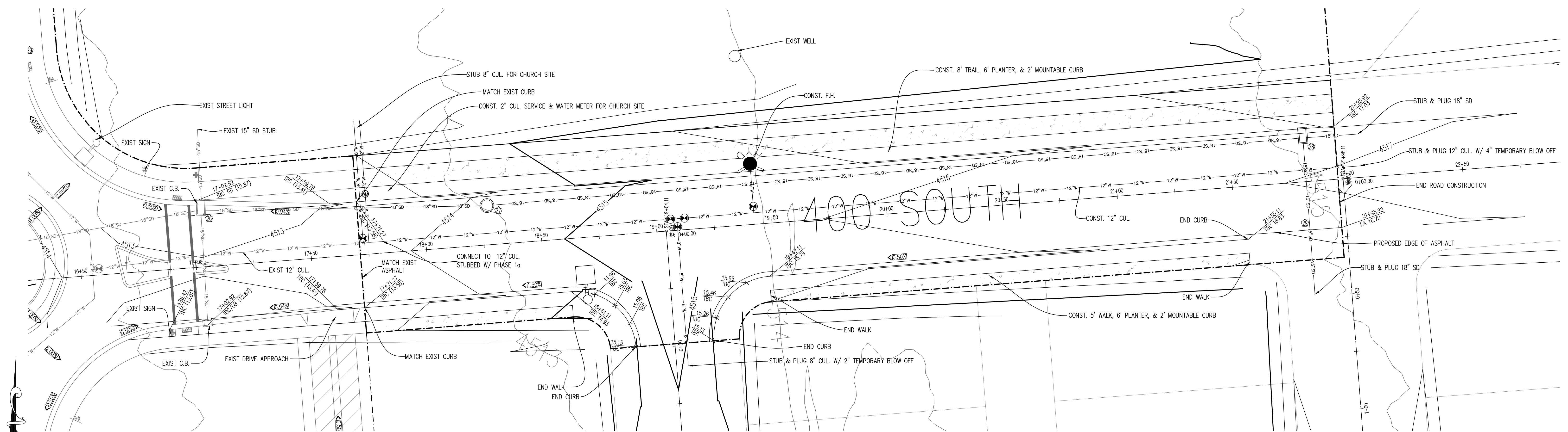
**CONSTRUCTION STORM WATER NOTE:**  
THE RETENTION BASINS THAT WERE CONSTRUCTED WITH PHASES 1a & 1b ARE  
TEMPORARY. THE PERMANENT RETENTION/DETENTION STORAGE SYSTEMS WILL  
BE CONSTRUCTED WITH PHASE 3 AS IS SHOWN ON THE PRELIMINARY PLAN.





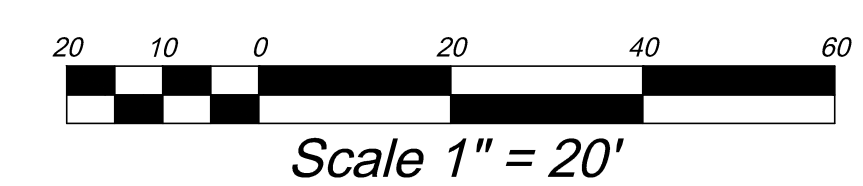


HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=4'



**400 SOUTH PLAN/PROFILE**

**STORM DRAIN KEYED NOTES**  
 1-24. OMITTED  
 25-28. SEE PROFILE SHEETS  
 29. CONST. 66.0 L.F. 15" RCP @ S=0.4%, STUB FOR FUTURE CONNECTION, FL=45012.73



REVISIONS		
Rev.	Date	Description

Developer/Property Owner: **RYAN BYBEE**  
 Phone: 801-616-2300

**EXCEL ENGINEERING**  
 David W. Peterson, P.E., License #270393  
 12 West 100 North, Suite 201C, American Fork, UT 84003  
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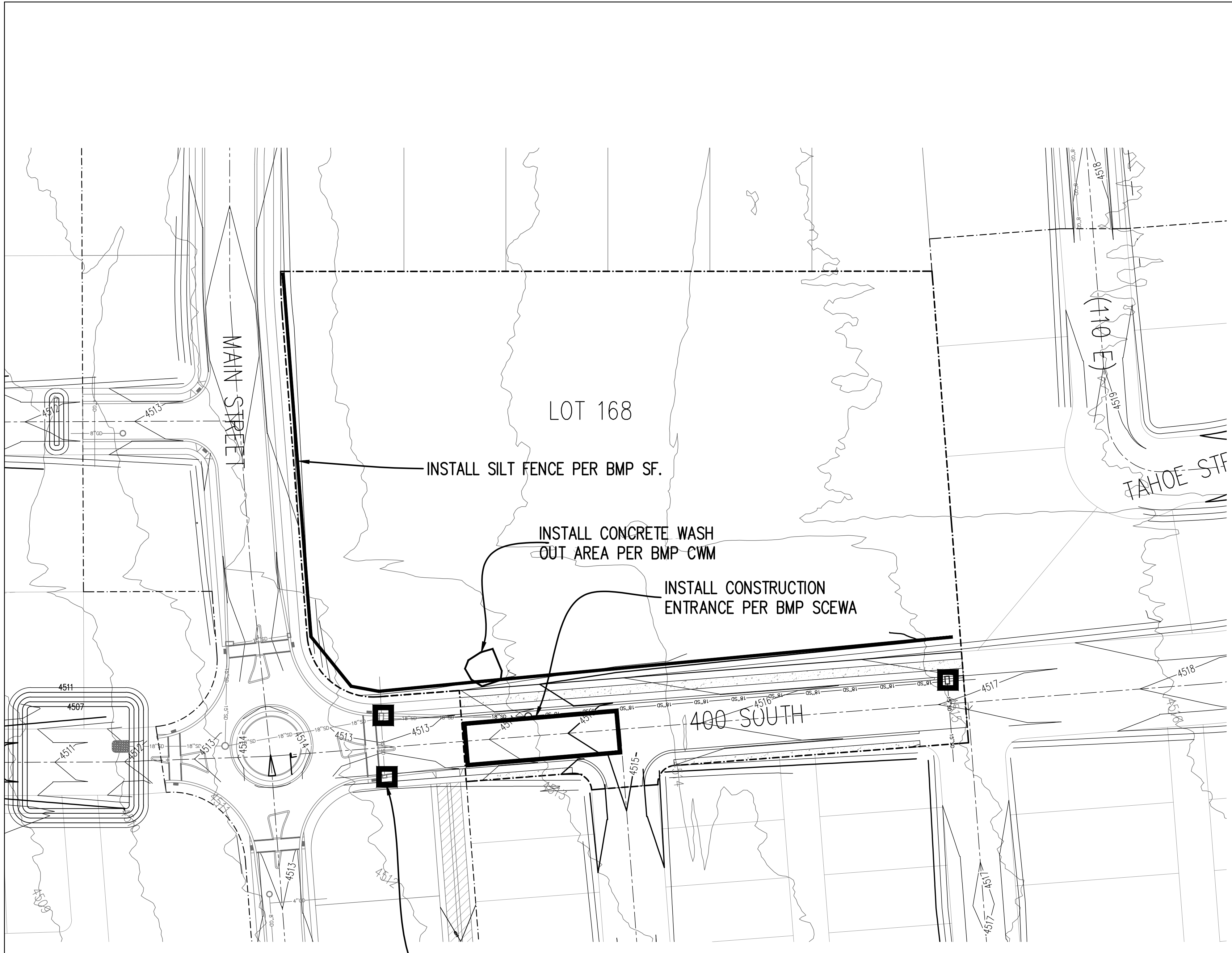
**HOLDAWAY FIELDS**  
 VINEYARD PHASE 1c UTAH

Drawn by: G.J.Y.  
 Designed by: G.J.Y.  
 Checked by: D.W.P.

**400 SOUTH PLAN/PROFILE**

Scale: 1"=20'  
 Date: 10/17/23  
 C105





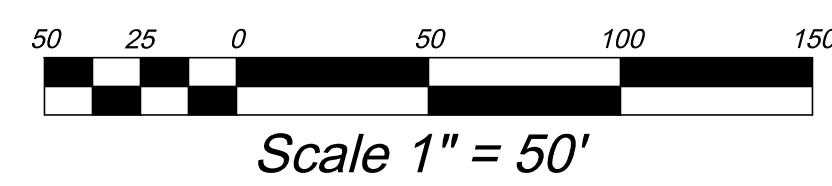
INSTALL SILT FENCE PER BMP SF.

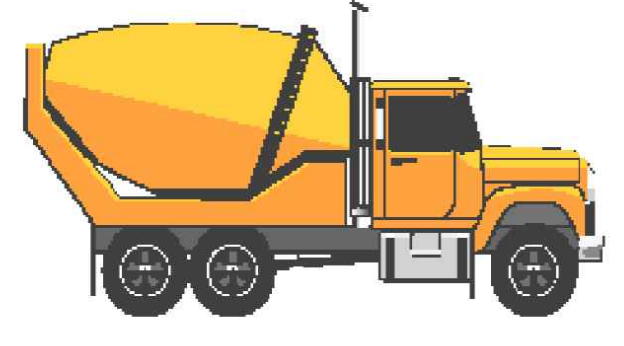
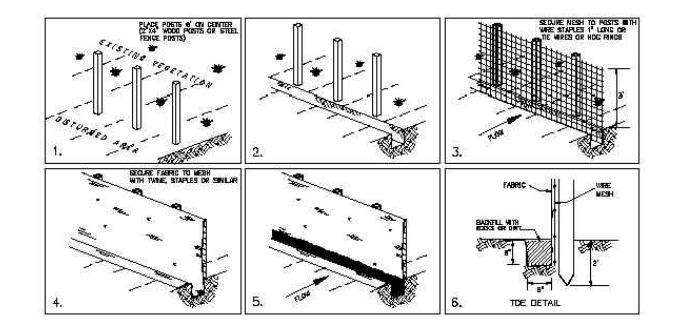
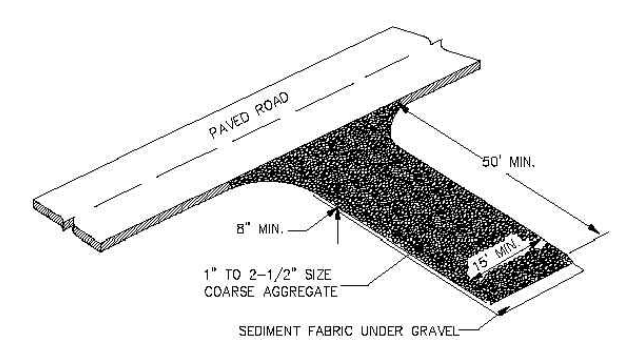
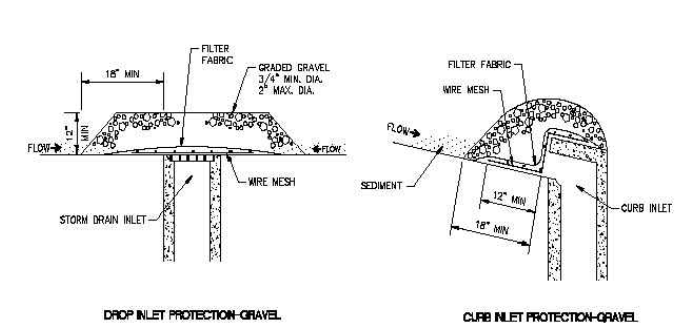
INSTALL CONCRETE WASH OUT AREA PER BMP CWM

INSTALL CONSTRUCTION ENTRANCE PER BMP SCEWA

INSTALL INLET PROTECTION PER BMP IPG (TYP. ALL INLETS)

- EROSION CONTROL NOTES:**
- CONTRACTOR IS TO READ AND UNDERSTAND ALL BMP PRACTICES PRIOR TO ANY CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO FOLLOW ALL BMP PRACTICES CONTAINED IN THESE PLANS.
  - CONSTRUCT A SILT FENCE AS SHOWN ON THE PLAN PER BMP SF.
  - INSTALL A CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN PER BMP SCEWA.
  - INSTALL CONCRETE WASH OUT AREA PER BMP CWM.
  - INSTALL INLET PROTECTION ON CATCH BASINS PER BMP IPG.
  - CONTRACTOR TO WATER SITE AT LEAST WEEKLY OR MORE FREQUENTLY AS NEEDED TO CONTROL DUST POLLUTION.
  - CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE.
  - CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.



<p><b>BMP: Concrete Waste Management</b> CWM</p>  <p><b>OBJECTIVES</b></p> <ul style="list-style-type: none"> <li>Housekeeping Practices</li> <li>Contain Waste</li> <li>Minimize Disturbed Areas</li> <li>Stabilize Disturbed Areas</li> <li>Protect Slopes/Channels</li> <li>Control Site Perimeter</li> <li>Control Internal Erosion</li> </ul> <p><b>DESCRIPTION:</b> Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.</p> <p><b>APPLICATIONS:</b> This technique is applicable to all types of sites.</p> <p><b>INSTALLATION/APPLICATION CRITERIA:</b></p> <ul style="list-style-type: none"> <li>Store dry and wet materials under cover, away from drainage areas.</li> <li>Avoid mixing excess amounts of fresh concrete or cement on-site.</li> <li>Perform washout of concrete trucks off-site or in designated areas only.</li> <li>Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.</li> <li>Do not allow excess concrete to be dumped on-site, except in designated areas.</li> <li>When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier Information sheet.)</li> <li>Train employees and subcontractors in proper concrete waste management.</li> </ul> <p><b>LIMITATIONS:</b></p> <ul style="list-style-type: none"> <li>Off-site washout of concrete wastes may not always be possible.</li> </ul> <p><b>MAINTENANCE:</b></p> <ul style="list-style-type: none"> <li>Inspect subcontractors to ensure that concrete wastes are being properly managed.</li> <li>If using a temporary pit, dispose hardened concrete on a regular basis.</li> </ul> <p><b>TARGETED POLLUTANTS</b></p> <ul style="list-style-type: none"> <li>Sediment</li> <li>Nutrients</li> <li>Toxic Materials</li> <li>Oil &amp; Grease</li> <li>Floatable Materials</li> <li>Other Waste</li> </ul> <p><b>IMPLEMENTATION REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>High Impact</li> <li>Medium Impact</li> <li>Low or Unknown Impact</li> </ul> <p><b>IMPLEMENTATION REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>Capital Costs</li> <li>O&amp;M Costs</li> <li>Maintenance</li> <li>Training</li> </ul> <p>Adapted from Salt Lake County BMP Fact Sheet</p>	<p><b>BMP: Silt Fence</b> SF</p>  <p><b>OBJECTIVES</b></p> <ul style="list-style-type: none"> <li>Housekeeping Practices</li> <li>Contain Waste</li> <li>Minimize Disturbed Areas</li> <li>Stabilize Disturbed Areas</li> <li>Protect Slopes/Channels</li> <li>Control Site Perimeter</li> <li>Control Internal Erosion</li> </ul> <p><b>DESCRIPTION:</b> A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.</p> <p><b>APPLICATION:</b></p> <ul style="list-style-type: none"> <li>Perimeter control: place barrier at downgradient limits of disturbance</li> <li>Sediment barrier: place barrier at toe of slope or soil stockpile</li> <li>Protection of existing waterways: place barrier near top of stream bank</li> <li>Inlet protection: place fence surrounding catchbasins</li> </ul> <p><b>INSTALLATION/APPLICATION CRITERIA:</b></p> <ul style="list-style-type: none"> <li>Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.</li> <li>Secure wire mesh (1/4 gage min. With 6 inch openings) to upslope side of posts. Attach with heavy duty 1 1/2 inch long wire staples, tie wires or hog rings.</li> <li>Cut fabric to required width, unroll along length of barrier and slope over barrier. Secure fabric to mesh with wire, staples, or similar, with trailing edge extending into anchor trench.</li> <li>Backfill trench over filter fabric to anchor.</li> </ul> <p><b>LIMITATIONS:</b></p> <ul style="list-style-type: none"> <li>Recommended maximum drainage area of 0.5 acre per 100 feet of fence</li> <li>Recommended maximum upgradient slope length of 150 feet</li> <li>Recommended maximum uphill grade of 2:1 (50%)</li> <li>Recommended maximum flow rate of 0.5 cfs</li> <li>Ponding should not be allowed behind fence</li> </ul> <p><b>MAINTENANCE:</b></p> <ul style="list-style-type: none"> <li>Inspect immediately after any rainfall and at least daily during prolonged rainfall.</li> <li>Look for runoff bypassing ends of barriers, or undercutting barriers.</li> <li>Repair or replace damaged areas of the barrier and remove accumulated sediment.</li> <li>Reanchor fence as necessary to prevent shortcutting.</li> <li>Remove accumulated sediment when it reaches 1/2 the height of the fence.</li> </ul> <p><b>TARGETED POLLUTANTS</b></p> <ul style="list-style-type: none"> <li>Sediment</li> <li>Nutrients</li> <li>Toxic Materials</li> <li>Oil &amp; Grease</li> <li>Floatable Materials</li> <li>Other Waste</li> </ul> <p><b>IMPLEMENTATION REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>High Impact</li> <li>Medium Impact</li> <li>Low or Unknown Impact</li> </ul> <p><b>IMPLEMENTATION REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>Capital Costs</li> <li>O&amp;M Costs</li> <li>Maintenance</li> <li>Training</li> </ul> <p>Adapted from Salt Lake County BMP Fact Sheet</p>
<p><b>BMP: Stabilized Construction Entrance and Wash Area</b> SCEWA</p>  <p><b>OBJECTIVES</b></p> <ul style="list-style-type: none"> <li>Housekeeping Practices</li> <li>Contain Waste</li> <li>Minimize Disturbed Areas</li> <li>Stabilize Disturbed Areas</li> <li>Protect Slopes/Channels</li> <li>Control Site Perimeter</li> <li>Control Internal Erosion</li> </ul> <p><b>DESCRIPTION:</b> A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface. The area can be used to spray off vehicles before they leave the site.</p> <p><b>APPLICATIONS:</b> At any point of ingress or egress of a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.</p> <p><b>INSTALLATION/APPLICATION CRITERIA:</b></p> <ul style="list-style-type: none"> <li>Clear and grub area and grade to provide maximum slope of 2%.</li> <li>Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).</li> <li>Place coarse aggregate, 1 to 2 1/2 inches in size, to a minimum depth of 8 inches.</li> <li>Provide water to the area that can be used to spray off vehicles as needed to prevent the tracking of mud off of the construction site. This may not be needed during dry periods of work, but is needed when construction is proceeding under wet conditions.</li> <li>Provide berms as needed to prevent sediment laden wash water from entering storm water facilities or other water bodies, or leaving the site.</li> </ul> <p><b>LIMITATIONS:</b></p> <ul style="list-style-type: none"> <li>Requires periodic top dressing with additional stones.</li> <li>Should be used in conjunction with street sweeping on adjacent public right-of-way.</li> <li>Must be situated such that waste water does not run off site.</li> </ul> <p><b>MAINTENANCE:</b></p> <ul style="list-style-type: none"> <li>Inspect daily for loss of gravel or sediment buildup.</li> <li>Inspect adjacent roadway for sediment deposit and clean by shoveling and sweeping.</li> <li>Repair entrance and replace gravel as required to maintain control in good working condition.</li> <li>Expand stabilized area as required to accommodate traffic and prevent erosion of driveways.</li> </ul> <p><b>TARGETED POLLUTANTS</b></p> <ul style="list-style-type: none"> <li>Sediment</li> <li>Nutrients</li> <li>Toxic Materials</li> <li>Oil &amp; Grease</li> <li>Floatable Materials</li> <li>Other Waste</li> </ul> <p><b>IMPLEMENTATION REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>High Impact</li> <li>Medium Impact</li> <li>Low or Unknown Impact</li> </ul> <p><b>IMPLEMENTATION REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>Capital Costs</li> <li>O&amp;M Costs</li> <li>Maintenance</li> <li>Training</li> </ul> <p>Adapted from Salt Lake County BMP Fact Sheet</p>	<p><b>BMP: Inlet Protection - Gravel</b> IPG</p>  <p><b>OBJECTIVES</b></p> <ul style="list-style-type: none"> <li>Housekeeping Practices</li> <li>Contain Waste</li> <li>Minimize Disturbed Areas</li> <li>Stabilize Disturbed Areas</li> <li>Protect Slopes/Channels</li> <li>Control Site Perimeter</li> <li>Control Internal Erosion</li> </ul> <p><b>DESCRIPTION:</b> Placement of gravel filter over inlet to storm drain to filter storm water runoff.</p> <p><b>APPLICATION:</b> Construct at inlets in paved or unpaved areas where upgradient areas is to be disturbed by construction activities.</p> <p><b>INSTALLATION/APPLICATION CRITERIA:</b></p> <ul style="list-style-type: none"> <li>Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.</li> <li>Place filter fabric over the mesh. Filter fabric should be selected based on soil type.</li> <li>Place graded gravel, to a minimum depth of 12 inches, over the filter fabric and extending 18 inches past the grate in all directions.</li> </ul> <p><b>LIMITATIONS:</b></p> <ul style="list-style-type: none"> <li>Recommended for maximum drainage area of one acre.</li> <li>Excess flows may bypass the inlet requiring down gradient controls.</li> <li>Ponding will occur at inlet.</li> </ul> <p><b>MAINTENANCE:</b></p> <ul style="list-style-type: none"> <li>Inspect inlet protection after every large storm event and at a minimum of once monthly.</li> <li>Remove sediment accumulated when it reaches 4-inches in depth.</li> <li>Replace filter fabric and clean or replace gravel if clogging is apparent.</li> </ul> <p><b>TARGETED POLLUTANTS</b></p> <ul style="list-style-type: none"> <li>Sediment</li> <li>Nutrients</li> <li>Toxic Materials</li> <li>Oil &amp; Grease</li> <li>Floatable Materials</li> <li>Other Waste</li> </ul> <p><b>IMPLEMENTATION REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>High Impact</li> <li>Medium Impact</li> <li>Low or Unknown Impact</li> </ul> <p><b>IMPLEMENTATION REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>Capital Costs</li> <li>O&amp;M Costs</li> <li>Maintenance</li> <li>Training</li> </ul> <p>Adapted from Salt Lake County BMP Fact Sheet</p>

REVISIONS		
Rev.	Date	Description

Developer/Property Owner: **RYAN BYBEE**  
Phone: 801-616-2300

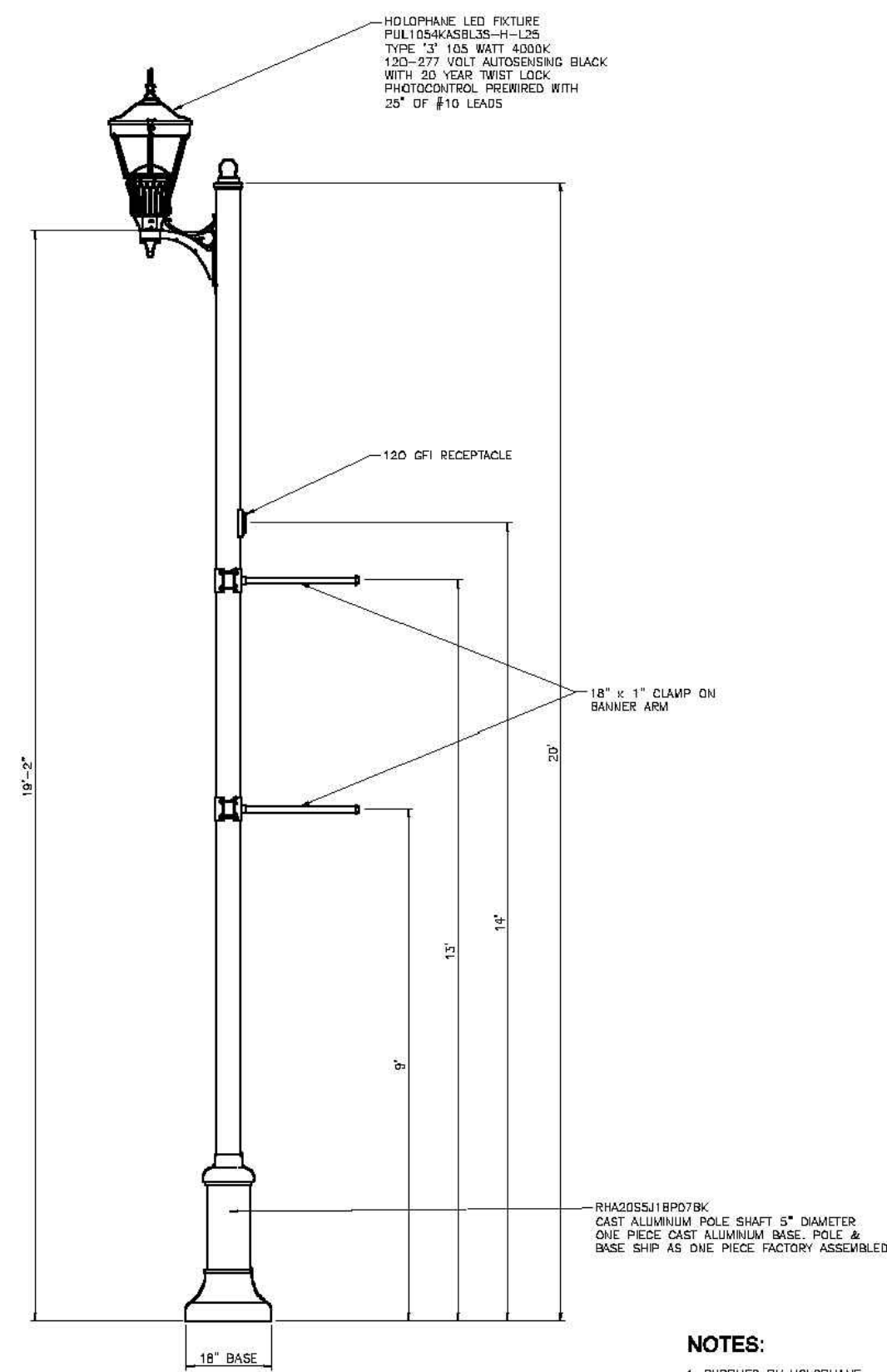
**EXCEL ENGINEERING**  
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12 West 100 North, Suite 201C, American Fork, UT 84003  
P: (801) 756-4594; david@excelcivil.com

**HOLDAWAY FIELDS**  
VINEYARD UTAH

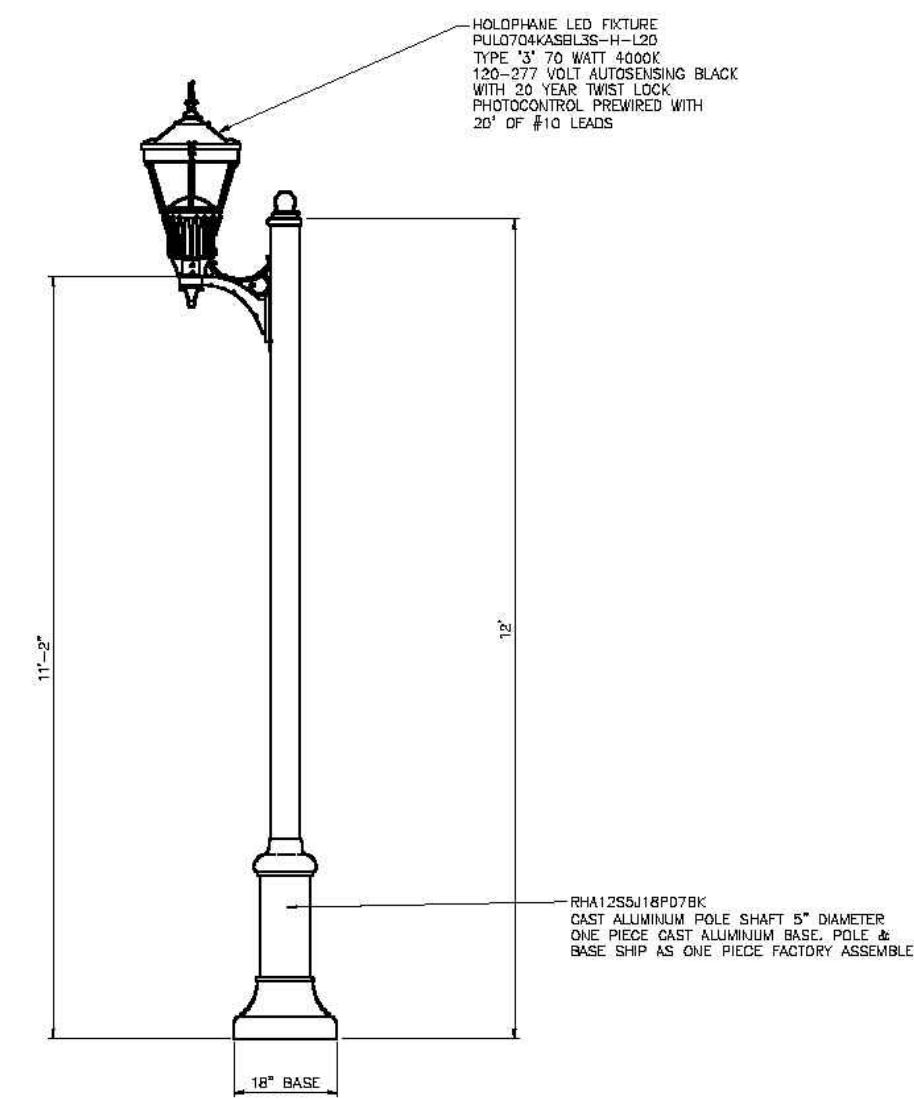
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Checked by: D.W.P.

**EROSION CONTROL PLAN**  
C106

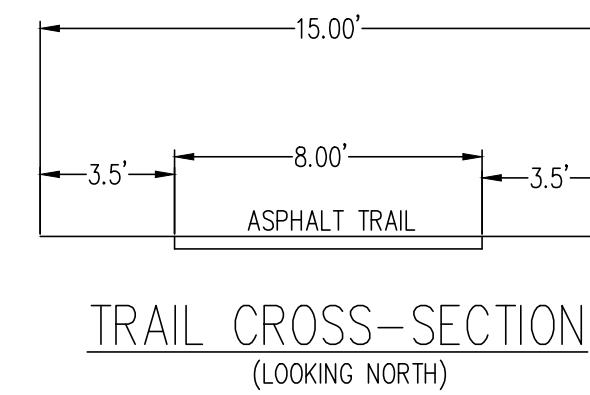
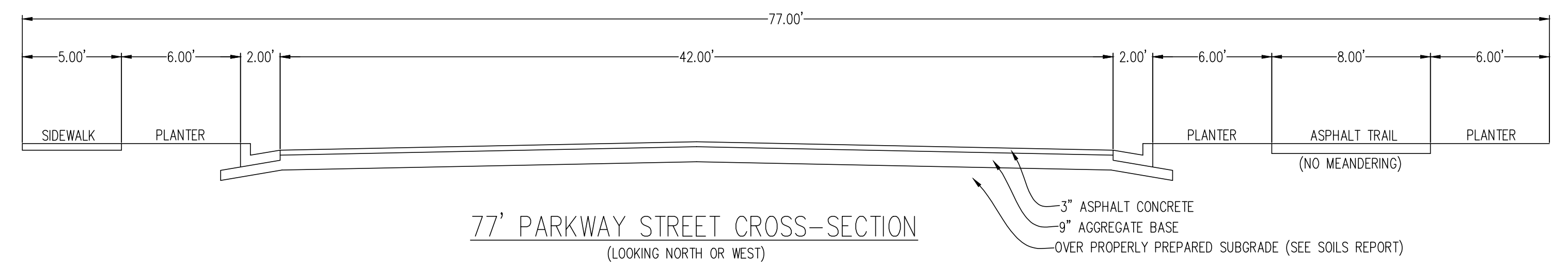
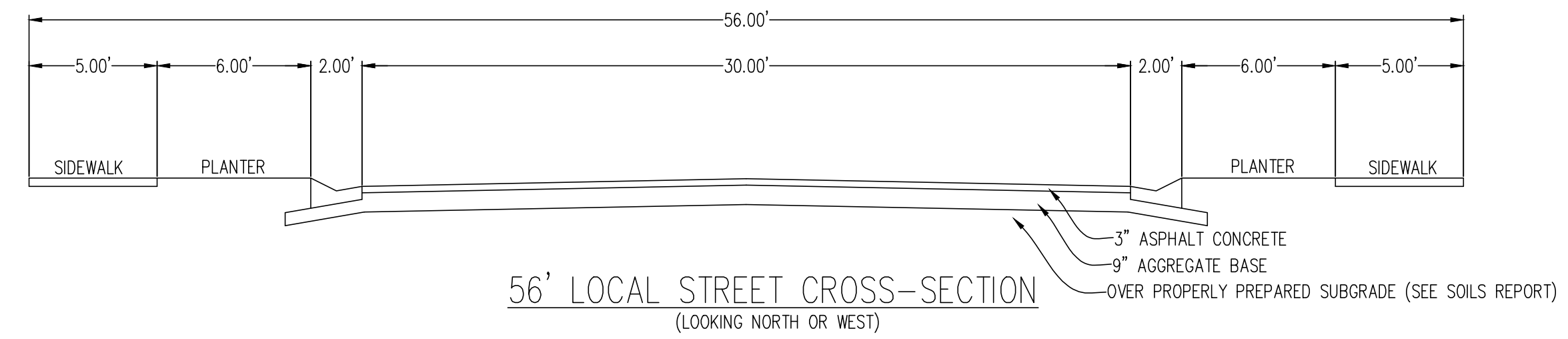




**NOTES:**  
1. SUPPLIED BY HOLDWAY.



**NOTES:**  
1. SUPPLIED BY HOLDWAY.



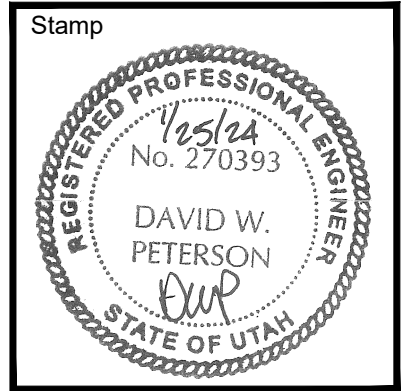
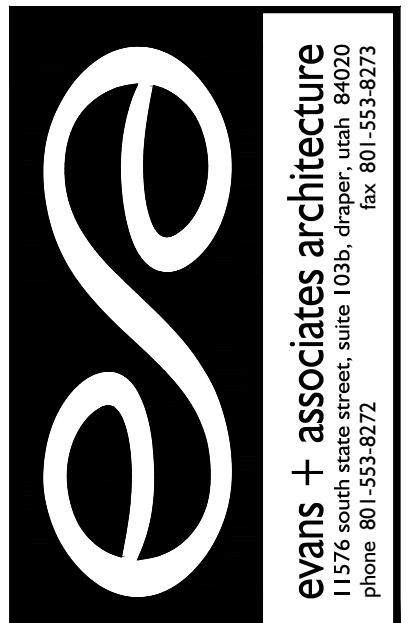
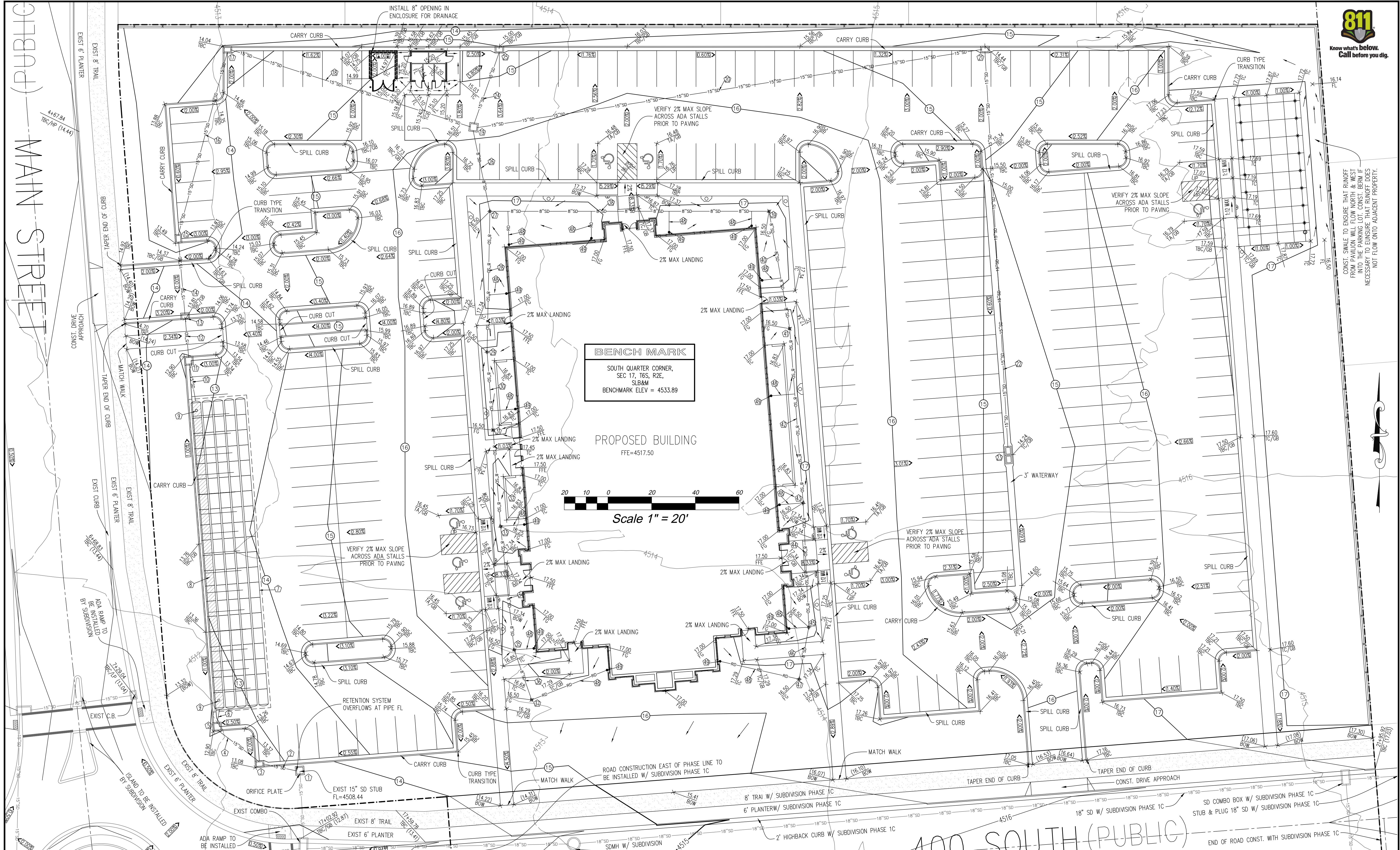
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TOWN OF VINEYARD		DATE: 10/17/23	
PROJECT NO. 2023-001		SCALE: AS SHOWN	
DATE: 10/17/23		DRAWN BY: G.J.Y.	
CHECKED BY: G.J.Y.		DATE: 10/17/23	

STATEMENT OF WORK		DESIGN NO. 28	
TOWN OF VINEYARD		DATE: 10/17/23	
PROJECT NO. 2023-001		SCALE: AS SHOWN	
DATE: 10/17/23		DRAWN BY: G.J.Y.	
CHECKED BY: G.J.Y.		DATE: 10/17/23	

REVISIONS		
Rev.	Date	Description

Developer/Property Owner: RYAN BYBEE Phone: 801-616-2300		<b>HOLDWAY FIELDS</b>	
VINEYARD PHASE 1c		UTAH	
Drawn by: G.J.Y.	 David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201C, American Fork, UT 84003 P: (801) 756-4504; david@excelcivil.com	Scale: NTS	
Designed by: G.J.Y.		Date: 10/17/23	
Checked by: D.W.P.		C107	
<b>ROADWAY CROSS SECTIONS &amp; SITE DETAILS</b>		ROADWAY CROSS SECTIONS & SITE DETAILS	





A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
 Parcel: 400 South Main Street  
 Vineyard, Utah

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description

Project Number: 23-85  
 Plan Series: Heritage 23-1  
 Property Number: 501-6747-23010101  
 Date: May 1, 2023  
 Sheet Title:

**GRADING & DRAINAGE PLAN**  
 Sheet  
**C201**

**STORM DRAIN KEYED NOTES**

- CONNECT TO EXIST 15" SD STUB & CONST. 3'X3' BOX W/ 4.5" ORIFICE PLATE OVER SOUTH OUTLET, RIM=4513.79, 15" IE (N/W)=4509.38 (THIS IS THE RETENTION OVERFLOW ELEVATION), 15" IE OUT(S)=4508.44, BOTTOM OF BOX=4507.44
- CONST. 15.8 L.F. 15" ADS HP STORM PIPE @ S=0.50%
- CONST. 2'X3' CATCH BASIN (NO FACE INLET), TBC=4513.08, GRATE=4512.58, 15" IE THRU=4509.30
- CONST. 24.1 L.F. 15" ADS HP STORM PIPE @ S=0.60%
- CONST. 3'X3' CATCH BASIN (NO FACE INLET) W/ SNOOT 18" OVER OUTLET, TBC=4512.90, GRATE=4512.40, 15" IE THRU=4509.15, BOTTOM OF BOX=4506.02
- CONST. 6.6 L.F. 15" ADS HP STORM PIPE @ S=6.0%
- CONST. CULTIC UNDERGROUND STORAGE SYSTEM WITH (100) RECHARGER 330XLHD CHAMBERS. INSTALL 9" OF STONE BETWEEN CHAMBERS, 6" ABOVE CHAMBERS AND 6" OF STONE UNDER SYSTEM. SYSTEM STORES 8,588 CUBIC FEET. TOP OF GRAVEL=4511.04, TOP OF CHAMBERS=4510.54, BOTTOM OF CHAMBERS=4508.00, BOTTOM OF GRATE=4507.50, ~GROUND WATER ELEV=4506, 15" IE (N/S)=4508.75, 15" IE (N)=4508.25. DO NOT INSTALL UNDER ROUND SYSTEM. INSTALL PER CULTIC STANDARD DETAILS AND SPECIFICATIONS. STORMTECH AND OTHER STORM WATER CHAMBERS ARE ALLOWED; HOWEVER, THEY ARE TO BE SUBMITTED TO EXCEL ENGINEERING TO BE REVIEWED, AND FOUND TO COMPLY WITH ALL PERTINENT DESIGN PARAMETERS PRIOR TO APPROVAL AND INSTALLATION.

- CONST. SEPARATOR ROW
- CONST. INSPECTION PORT
- CONST. 17.2 L.F. 15" ADS HP STORM PIPE @ S=1.2%
- CONST. 3'X3' CATCH BASIN (NO FACE INLET) W/ SNOOT 18" OVER OUTLET, TBC=4512.90, GRATE=4512.40, 15" IE THRU=4509.15, BOTTOM OF BOX=4506.02
- CONST. 18.0 L.F. 15" ADS HP STORM PIPE @ S=0.65%
- CONST. 2'X3' CATCH BASIN (NO FACE INLET), TBC=4513.81, GRATE=4513.31, 15" IE THRU=4508.57
- CONST. 33.0 L.F. 15" ADS HP STORM PIPE @ S=0.65%
- CONST. 2'X3' CATCH BASIN (NO FACE INLET), TBC=4513.49, GRATE=4512.99, 15" IE THRU=4508.78
- CONST. 87.0 L.F. 15" ADS HP STORM PIPE @ S=0.60%
- CONST. 2'X3' CATCH BASIN (NO FACE INLET), TBC=4514.04, GRATE=4513.54, 15" IE THRU=4509.30
- CONST. 115.2 L.F. 15" ADS HP STORM PIPE @ S=0.50%
- CONST. 3'X3' BOX, GRATE=4515.80, 8" IE IN=4510.46, 15" IE THRU=4509.88
- CONST. 233.8 L.F. 15" ADS HP STORM PIPE @ S=0.40%
- CONST. 2'X3' CATCH BASIN (NO FACE INLET), TBC=4514.44, GRATE=4513.94, 15" IE THRU=4510.82
- CONST. 181.4 L.F. 15" ADS HP STORM PIPE @ S=0.30%
- CONST. DOUBLE 2'X3' CATCH BASIN (NO FACE INLET), GRATE=4514.12, 15" IE OUT=4511.37
- CONST. 35.0 L.F. 15" ADS HP STORM PIPE @ S=3.9%

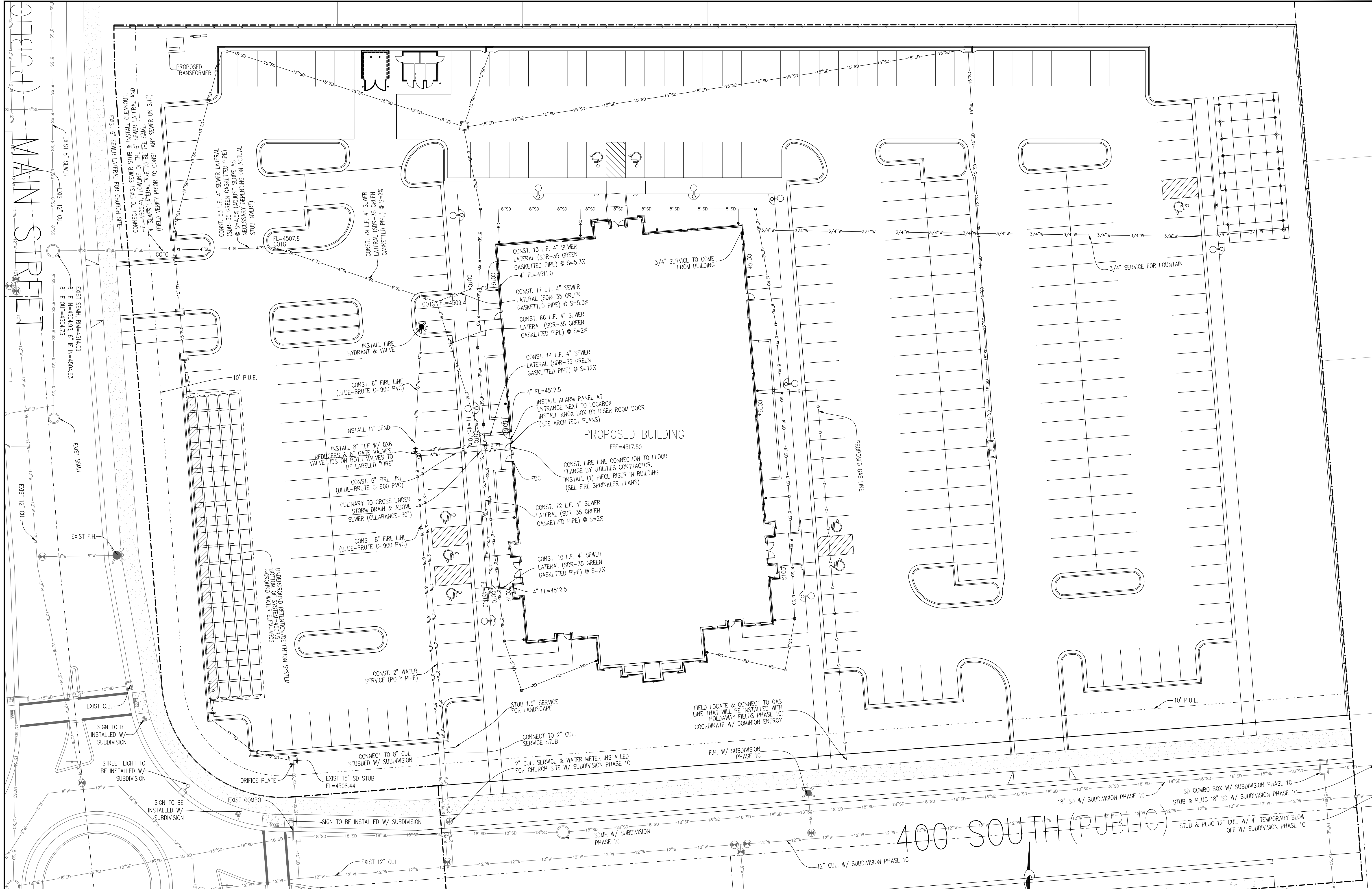
- CONST. 2'X3' CATCH BASIN (NO FACE INLET), TBC=4515.00, GRATE=4514.50, 15" IE THRU=4511.25
- CONST. 37.8 L.F. 8" ADS N-12 PIPE @ S=4.7%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE THRU=4513.25
- CONST. 64.4 L.F. 8" ADS N-12 PIPE @ S=1.0%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE THRU=4512.94
- CONST. 36.0 L.F. 8" ADS N-12 PIPE @ S=0.8%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE THRU=4513.23
- CONST. 44.0 L.F. 8" ADS N-12 PIPE @ S=0.8%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.00, 8" IE THRU=4513.59
- CONST. 56.9 L.F. 8" ADS N-12 PIPE @ S=0.8%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE THRU=4514.05
- CONST. 24.2 L.F. 8" ADS N-12 PIPE @ S=0.8%

- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE OUT=4514.25
- CONST. 127.8 L.F. 8" ADS N-12 PIPE @ S=0.6%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE THRU=4513.03
- CONST. 54.5 L.F. 8" ADS N-12 PIPE @ S=0.6%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE THRU=4513.36
- CONST. 80.0 L.F. 8" ADS N-12 PIPE @ S=0.6%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE THRU=4513.84
- CONST. 56.9 L.F. 8" ADS N-12 PIPE @ S=0.6%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE THRU=4514.18
- CONST. 24.2 L.F. 8" ADS N-12 PIPE @ S=0.6%
- CONST. 10" NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE\*, TOP OF MULCH=4516.50, BASE OF GRATE=4516.25, 8" IE OUT=4514.33
- CONST. 6" ADS @ S=1% MIN. CONNECT TO DRAIN BASIN OR INTO PIPE WITH INSERTA TEE (SEE PLAN VIEW)
- CONST. DOWNSPOUT COLLECTION BOX, SEE DETAIL A/C503

**GRADING LEGEND**

FFE	FINISHED FLOOR ELEV.	FG	FINISHED GRADE
BOW	BACK OF WALK	TW	TOP OF WALL
GB	GRADE BREAK	BW	BOTTOM OF WALL
TC	TOP OF CONCRETE	IE	INVERT ELEVATION
TBC	TOP BACK OF CURB	→	DIRECTION OF DRAINAGE
TA	TOP OF ASPHALT	(00.00)	EXISTING ELEVATION
RIM	RIM ELEVATION	(00.00) B.C.	PROPOSED ELEVATION
FL	FLOWLINE	-4800-	EXISTING CONTOUR
EG	EXIST GROUND	(00.00)	PROPOSED CONTOUR
LIP	LIP OF CURB	(00.00)	STORM DRAIN KEYED NOTE





**WATER NOTES:**  
 1. FERROCOUPLINGS ARE NOT ALLOWED TO BE USED, EXCEPT FOR DISSIMILAR PIPE TYPES, I.E. CAST TO PVC.  
 2. MIN. 14 GAUGE TRACER WIRE TO BE TAPED TO THE TOP OF THE WATER LINES.  
 3. THERE MUST BE 10" MIN. SEPARATION BETWEEN TREE/DEEP-ROOTED VEGETATION AND FIRE HYDRANTS OR WATER METERS.

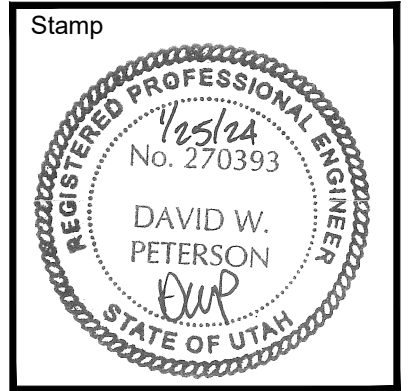
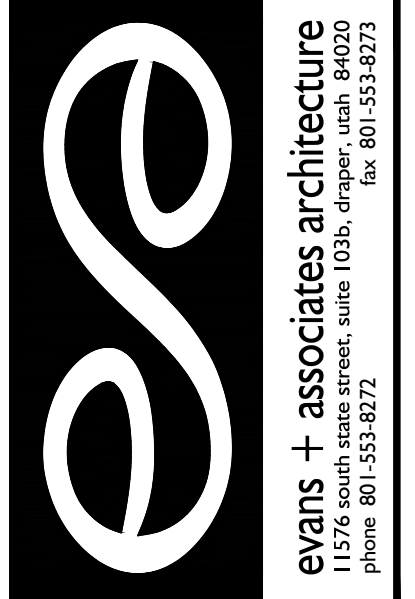
**BENCH MARK**  
 SOUTH QUARTER CORNER,  
 SEC 17, T6S, R2E,  
 SL&M  
 BENCHMARK ELEV = 4533.89

**UTILITY (WATER & SEWER) IMPACT STUDY NOTE:**  
 A UTILITY (WATER & SEWER) IMPACT STUDY WAS PERFORMED FOR THE ENTIRE HOLDAWAY FIELDS SUBDIVISION. THIS CHURCH SITE WAS INCLUDED IN THAT STUDY.

**TRANSPORTATION IMPACT STUDY NOTE:**  
 A TRANSPORTATION IMPACT STUDY WAS PERFORMED FOR THE ENTIRE HOLDAWAY FIELDS SUBDIVISION. THIS CHURCH SITE WAS INCLUDED IN THAT STUDY.

**STORM DRAIN DESIGN NOTE:**  
 SEE SHEETS C201 FOR STORM DRAIN DESIGN.

**EXISTING UTILITY NOTE:**  
 UTILITIES THAT ARE LABELED 'EXIST' HAVE ALREADY BEEN INSTALLED WITH HOLDAWAY FIELDS PHASE 1A. UTILITIES LABELED 'W/ SUBDIVISION PHASE 1C' HAVE NOT BEEN INSTALLED AT THIS TIME, BUT WILL BE INSTALLED IN NEAR FUTURE.



A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
 Parcel: 400 South Main Street  
 Vineyard, Utah

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

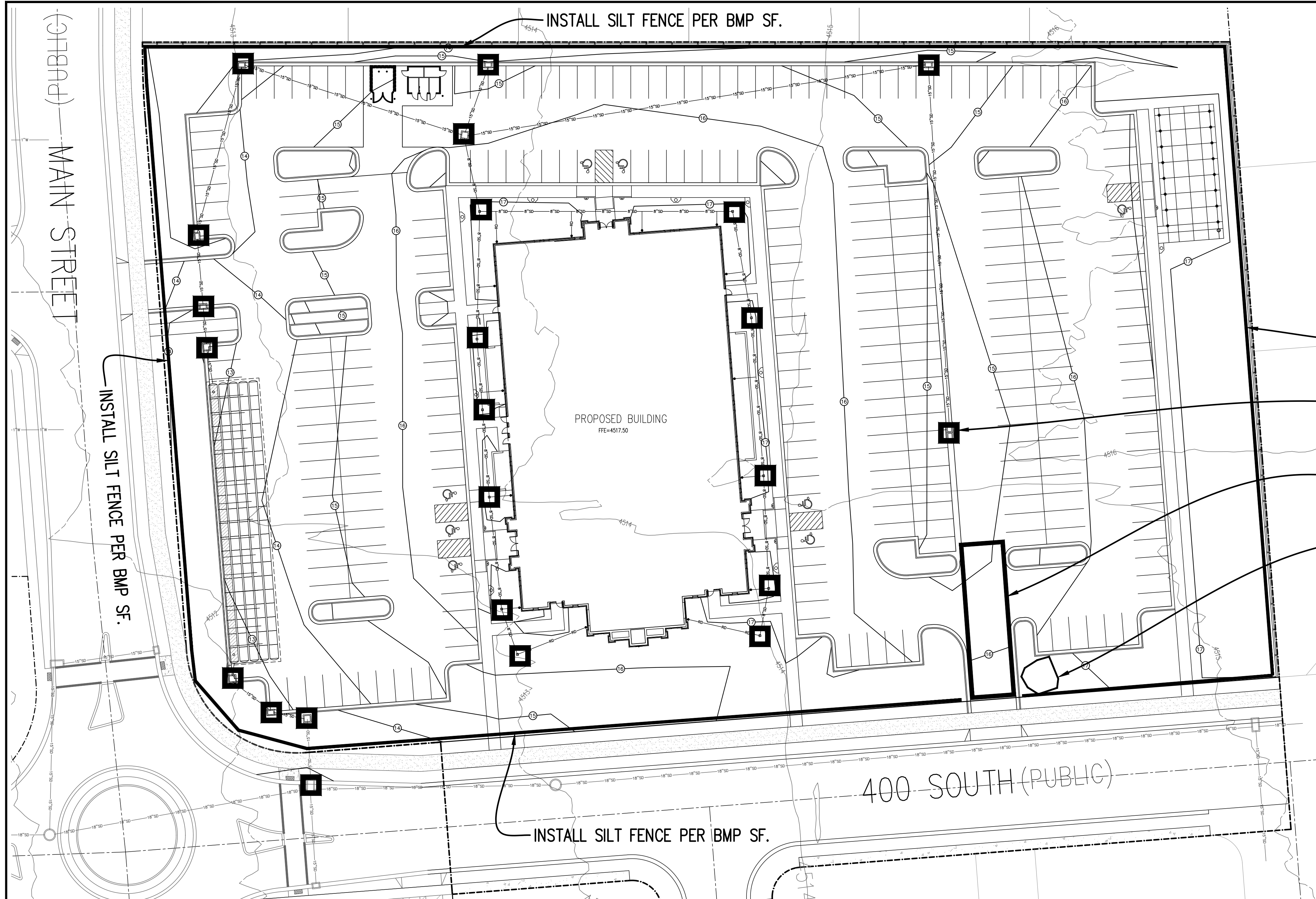
Revisions	Description
Mark	Date

Project Number: 23-35  
 Plan Series: Heritage 23-1  
 Property Number: 501-6747-23010101  
 Date: May 1, 2023

Sheet Title:  
**UTILITY PLAN**

Sheet:  
**C202**



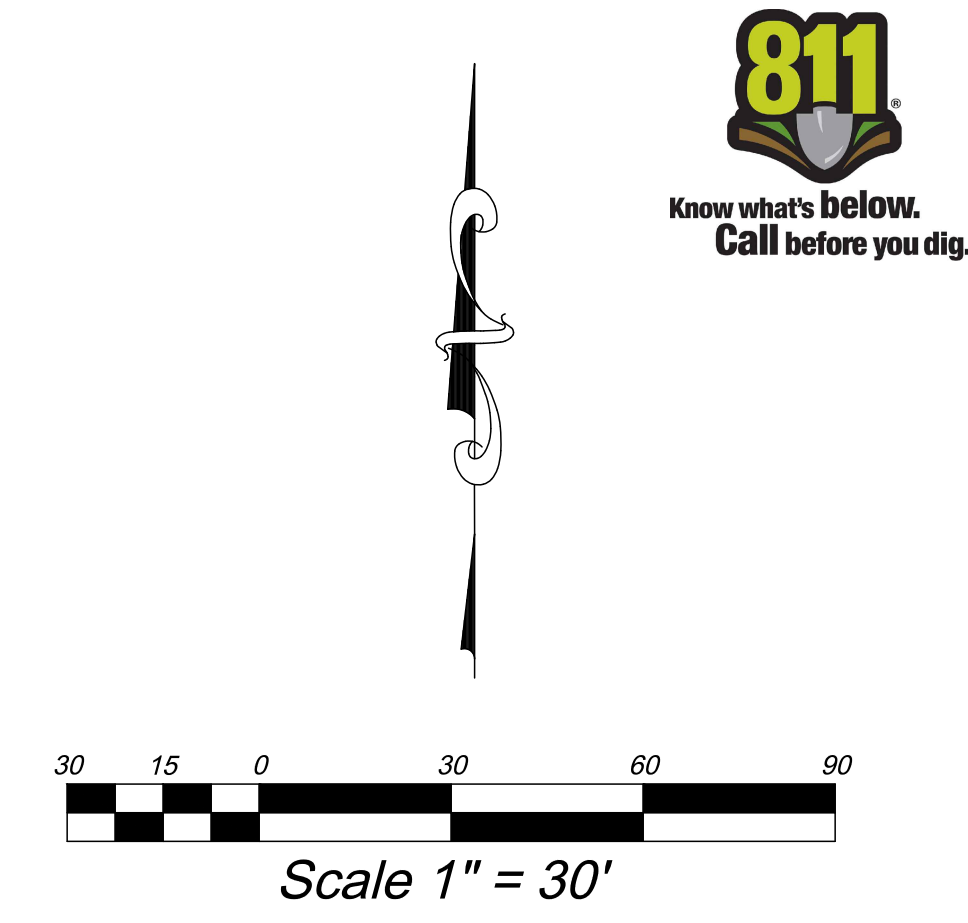


**EROSION CONTROL NOTES:**

1. CONTRACTOR IS TO READ AND UNDERSTAND ALL BMP PRACTICES PRIOR TO ANY CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO FOLLOW ALL BMP PRACTICES CONTAINED IN THESE PLANS.
2. CONSTRUCT A SILT FENCE AS SHOWN ON THE PLAN PER BMP SF.
3. INSTALL A CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN PER BMP SCEWA.
4. INSTALL CONCRETE WASH OUT AREA PER BMP CWM.
5. INSTALL INLET PROTECTION ON CATCH BASINS PER BMP IPG.
6. CONTRACTOR TO WATER SITE AT LEAST WEEKLY OR MORE FREQUENTLY AS NEEDED TO CONTROL DUST POLLUTION.
7. CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE.
8. CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.

**SWPPP TEMPLATE & NOI NOTE:**  
 COMPLETE CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN AND STATE NOI WILL BE DEFERRED UNTIL A CONTRACTOR FOR THIS PROJECT HAS BEEN SELECTED. ONCE THE CONTRACTOR HAS BEEN SELECTED, A SWPPP AND NOI WILL BE SUBMITTED TO THE CITY.

INSTALL SILT FENCE PER BMP SF.  
 INSTALL INLET PROTECTION PER BMP IPG (TYP. ALL INLETS)  
 INSTALL CONSTRUCTION ENTRANCE PER BMP SCEWA  
 INSTALL CONCRETE WASH OUT AREA PER BMP CWM



**BMP: Concrete Waste Management** CWM

**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
 Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

**APPLICATIONS:**  
 This technique is applicable to all types of sites.

**INSTALLATION/APPLICATION CRITERIA:**

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a berm or level area. (See Earth Berm Barrier information sheet.)
- Train employees and subcontractors in proper concrete waste management.

**LIMITATIONS:**

- Off-site washout of concrete wastes may not always be possible.

**MAINTENANCE:**

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

**IMPLEMENTATION REQUIREMENTS**

- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLICATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

**BMP: Silt Fence** SF

**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
 A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

**APPLICATIONS:**

- Perimeter control: place barrier at downgradient limit of disturbance
- Sediment barrier: place barrier at toe of slope or soil stockpile
- Protection of existing waterways: place barrier near top of stream bank
- Inlet protection: place fence surrounding catch basins

**INSTALLATION/APPLICATION CRITERIA:**

- Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.
- Secure wire mesh (14 gauge min. with 6 inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, tie wires or hog rings.
- Cut fabric to required width, unroll along length of barrier and drop over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
- Backfill trench over filter fabric to anchor.

**LIMITATIONS:**

- Recommended maximum drainage area of 0.5 acre per 100 feet of fence
- Recommended maximum upgradient slope length of 150 feet
- Recommended maximum uphill grade of 2:1 (50%)
- Recommended maximum flow rate of 0.5 cfs
- Flooding should not be allowed behind fence

**MAINTENANCE:**

- Inspect immediately after any rainfall and at least daily during prolonged rainfall. Look for runoff bypassing ends of barriers or undersluffing barriers.
- Repair or replace damaged areas of the barrier and remove accumulated sediment.
- Reanchor fence as necessary to prevent shortcutting.
- Remove accumulated sediment when it reaches 1/2 the height of the fence.

**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

**IMPLEMENTATION REQUIREMENTS**

- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLICATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

**BMP: Stabilized Construction Entrance and Wash Area** SCEWA

**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
 A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to a paved surface. The area can be used to spray off vehicles before they leave the site.

**APPLICATIONS:**

- At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

**INSTALLATION/APPLICATION CRITERIA:**

- Clear and grub area and grade to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- Place coarse aggregate, 1 to 2 1/2 inches in size, to a minimum depth of 8 inches.
- Provide water to the area that can be used to spray off vehicles as needed to prevent the tracking of mud off of the construction site. This may not be needed during dry periods of work, but is needed when construction is proceeding under wet conditions.
- Provide berming as needed to prevent sediment laden wash water from entering storm water facilities or other water bodies, or leaving the site.

**LIMITATIONS:**

- Requires periodic top dressing with additional stones.
- Should be used in conjunction with street sweeping on adjacent public right-of-way.
- Must be situated such that waste water does not run off site.

**MAINTENANCE:**

- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by shoveling and sweeping.
- Repair entrance and replace gravel as required to maintain control in good working condition.
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

**TARGETED POLLUTANTS**

- Sediment
- Nutrient
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

**IMPLEMENTATION REQUIREMENTS**

- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLICATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

**BMP: Inlet Protection - Gravel** IPG

**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
 Placement of gravel filter over inlet to storm drain to filter storm water runoff.

**APPLICATIONS:**  
 Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed by construction activities.

**INSTALLATION/APPLICATION CRITERIA:**

- Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
- Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- Place graded gravel, to a minimum depth of 12 inches, over the filter fabric and extending 18 inches past the grate in all directions.

**LIMITATIONS:**

- Recommended for maximum drainage area of one acre.
- Excess flows may bypass the inlet requiring down gradient controls.
- Flooding will occur at inlet.

**MAINTENANCE:**

- Inspect inlet protection after every large storm event and at a minimum of once monthly.
- Remove sediment accumulated when it reaches 4 inches in depth.
- Replace filter fabric and clean or replace gravel if clogging is apparent.

**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

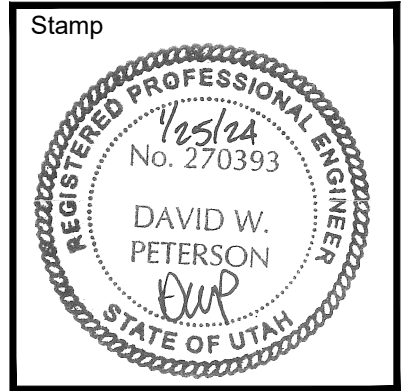
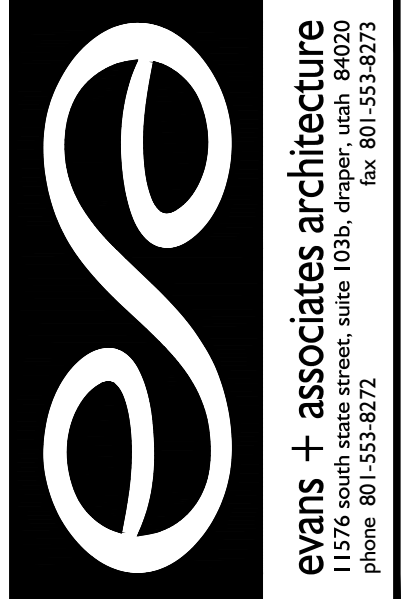
**IMPLEMENTATION REQUIREMENTS**

- High Impact
- Medium Impact
- Low or Unknown Impact

**IMPLICATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low



A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
 Parcel: -  
 400 South Main Street  
 Vineyard, Utah

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description
Mark	Date

Project Number: 23-85  
 Plan Series: Heritage 23-1  
 Property Number: 501-6747-23010101  
 Date: May 1, 2023

Sheet Title:  
**EROSION CONTROL PLAN**

Sheet:  
**C203**



**CULTEC RECHARGER® 330XLHD PRODUCT SPECIFICATIONS**

**GENERAL**  
CULTEC RECHARGER 330XLHD CHAMBERS ARE DESIGNED FOR ON-SITE STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF UNDERGROUND RUNOFF.

**CHAMBER PARAMETERS**

1. THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT, USA (203-775-4416 OR 1-800-428-5832).
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER SHALL BE ARCHED IN SHAPE.
4. THE CHAMBER SHALL BE OPEN BOTTOMED.
5. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330XLHD SHALL BE 30.5 INCHES (775 mm) TALL, 52 INCHES (1321 mm) WIDE AND 8.5 FEET (2.59 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 330XLHD SHALL BE 7 FEET (2.13 m).
7. MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 24 INCHES (600 mm) HDPE.
8. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL DIMENSIONS OF EACH SIDE PORTAL SHALL BE 10.5 INCHES (267 mm) HIGH BY 11.5 INCHES (292 mm) WIDE. MAXIMUM ALLOWABLE OUTER DIAMETER (O.D.) PIPE SIZE IN THE SIDE PORTAL IS 11.75 INCHES (298 mm).
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 18 INCHES (457 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330XLHD CHAMBER SHALL BE 7.459 FT<sup>3</sup> / FT (0.683 m<sup>3</sup> / m) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 330XLHD SHALL BE 52.213 FT<sup>3</sup> / UNIT (1.476 m<sup>3</sup> / UNIT) - WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT<sup>3</sup> / FT (0.085 m<sup>3</sup> / m) - WITHOUT STONE.
12. THE RECHARGER 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
14. THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
15. THE RECHARGER 330XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
16. THE RECHARGER 330XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 24.2 INCHES (614 mm) WIDE.
17. THE RECHARGER 330XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 24.2 INCHES (614 mm) WIDE.
18. THE RECHARGER 330XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
19. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
21. THE CHAMBER SHALL HAVE A 6 INCH (152 mm) DIAMETER RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE MIDDLE OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
22. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
23. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
24. THE CHAMBER SHALL BE DESIGNED AND MANUFACTURED TO MEET THE MATERIAL AND STRUCTURAL REQUIREMENTS OF ASTM F83-2019, INCLUDING RESISTANCE TO ASBESTOS AND H-20 HIGHWAY LIVE LOADS, WHEN INSTALLED IN ACCORDANCE WITH CULTEC'S INSTALLATION INSTRUCTIONS.
25. THE CHAMBER SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE SPECIFICATIONS OF NSAI IRISH AGREEMENT BOARD CERTIFICATE FOR CULTEC ATTENUATION AND INFILTRATION.
26. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.66 m).
27. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

**CULTEC HVLV FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS**

**GENERAL**  
CULTEC HVLV FC-24 FEED CONNECTOR (OR) ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER CHAMBERS.

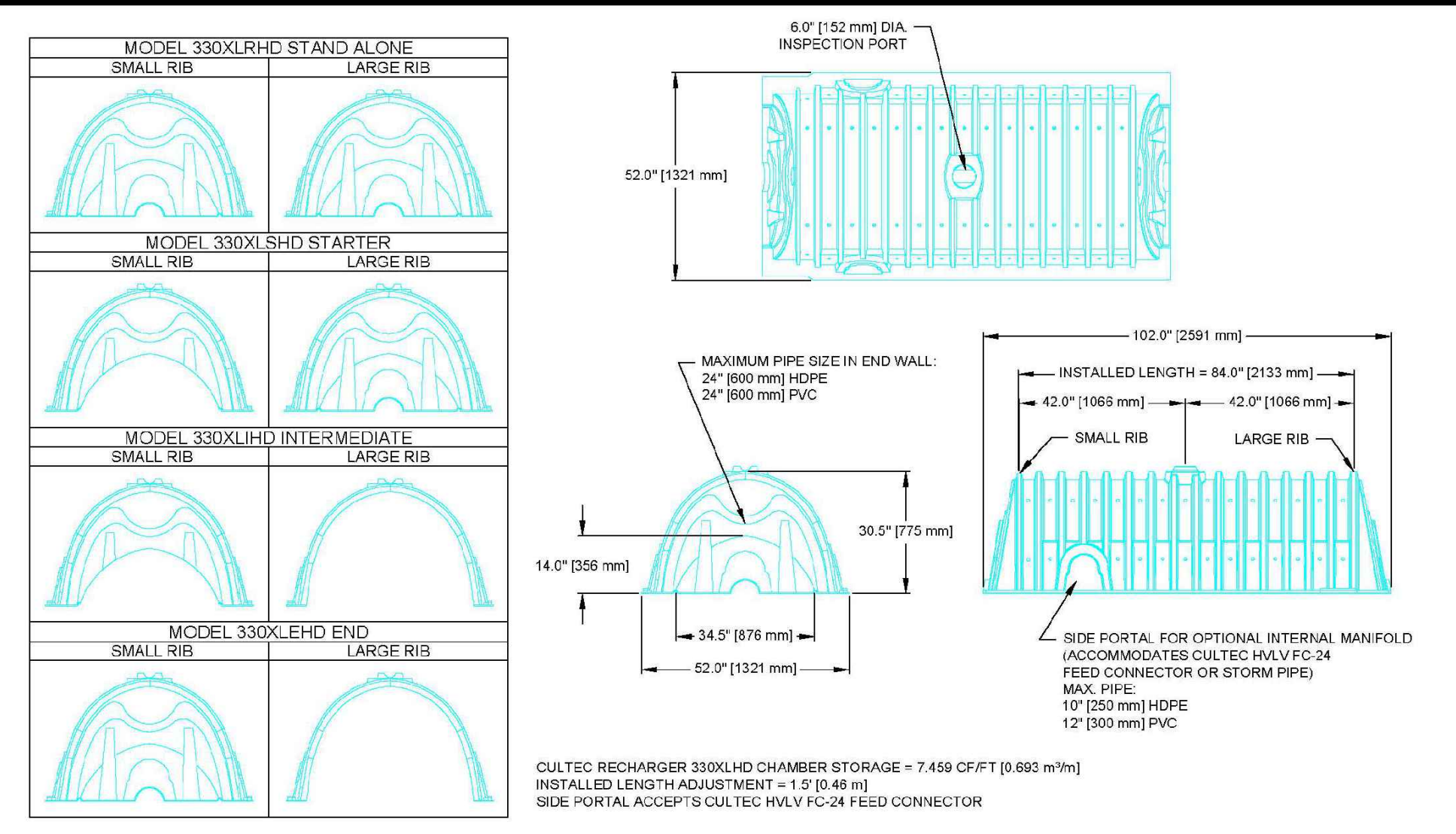
**CHAMBER PARAMETERS**

1. THE CHAMBER SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832).
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER SHALL BE ARCHED IN SHAPE.
4. THE CHAMBER SHALL BE OPEN BOTTOMED.
5. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 18 INCHES (457 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
6. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT<sup>3</sup> / FT (0.085 m<sup>3</sup> / m) - WITHOUT STONE.
7. THE HVLV FC-24 FEED CONNECTOR CHAMBER SHALL HAVE 2 CORRUGATIONS.
8. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS.
9. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
10. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.

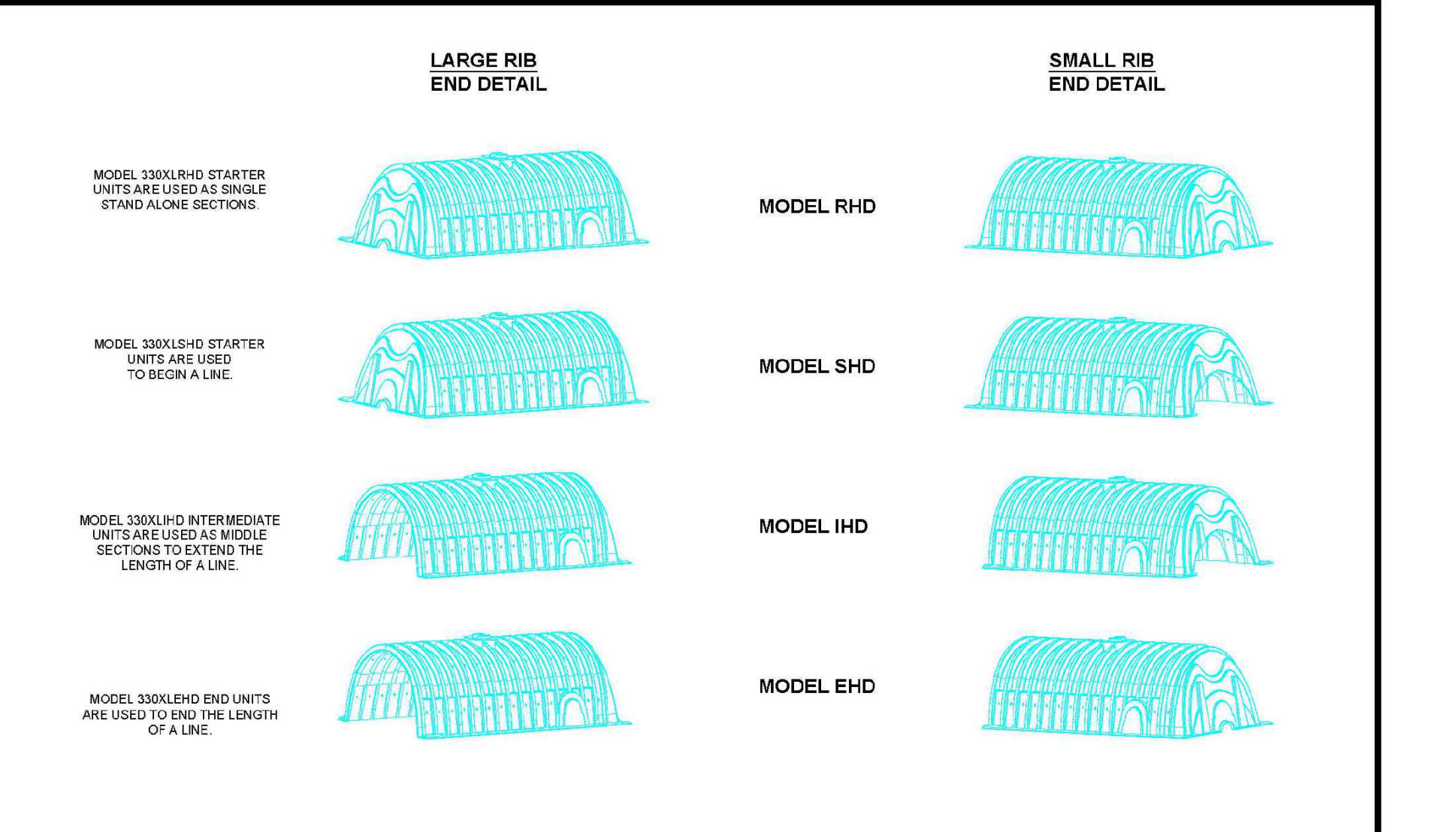
**CULTEC NO. 410™ NON-WOVEN GEOTEXTILE**  
CULTEC NO. 410™ NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER® STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.

**GEOTEXTILE PARAMETERS**

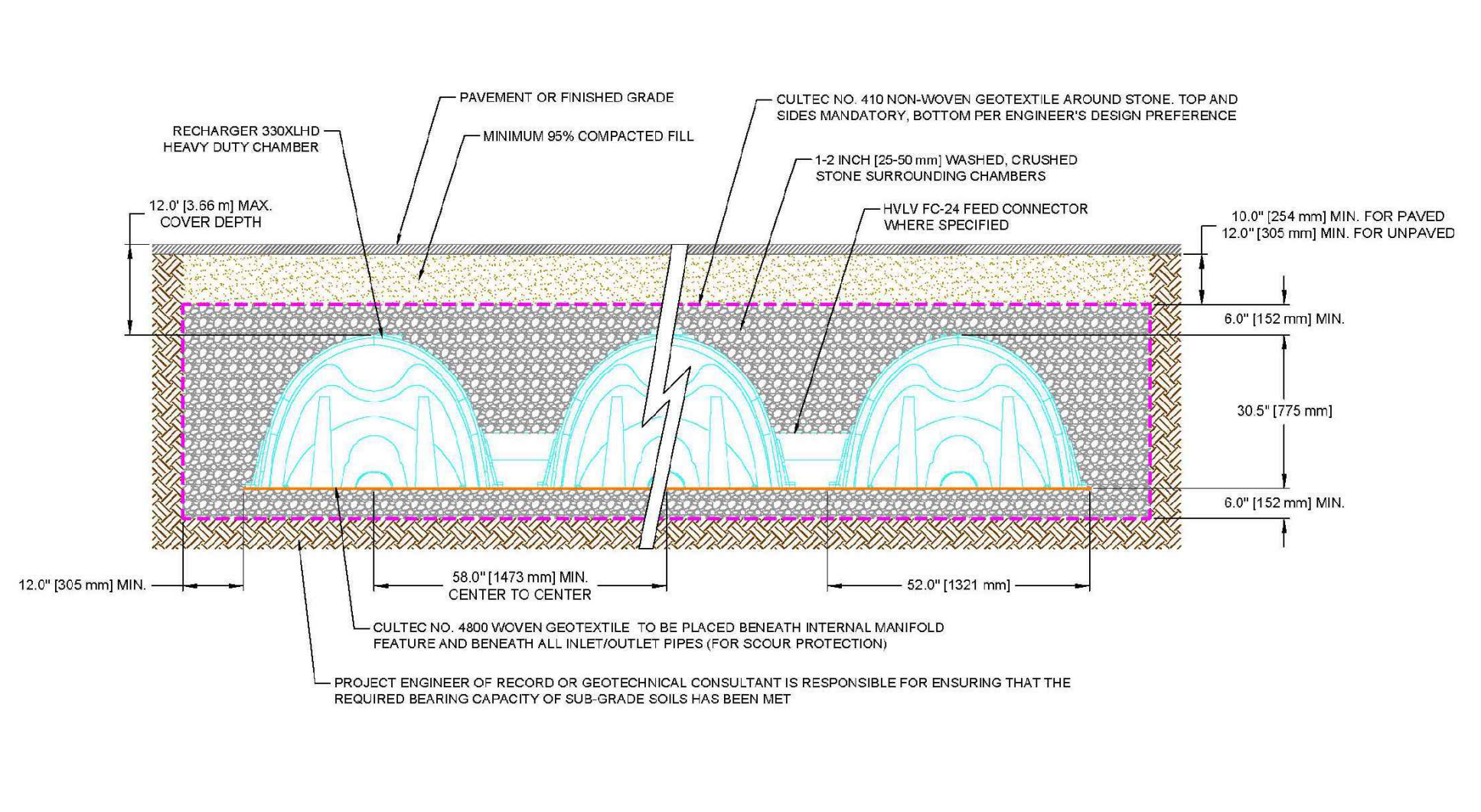
1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832).
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM D4632 TESTING METHOD.
4. THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE A HULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3786 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM D4633 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 3-40 LBS (151.3 N) PER ASTM D6241 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 50 LBS (222 N) PER ASTM D4633 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A UCS VALUE OF 70 U.S. SIEVE (0.212 MM) PER ASTM D4751 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/5SF (5500 L/MIN/5M) PER ASTM D4951 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4991 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A TENSILE RESISTANCE VALUE OF 4.5 OZ/5Y (142 GM) PER ASTM D4951 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
14. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 5,070 X 5,070 LBS/FT (74 X 74 KN/M) PER ASTM D4951 TESTING METHOD.
15. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4951 TESTING METHOD.
16. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 2% STRAIN OF 960 X 1,096 LBS/FT (14 X 16 KN/M) PER ASTM D4951 TESTING METHOD.
17. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 5% STRAIN OF 2,740 X 2,740 LBS/FT (40 X 40 KN/M) PER ASTM D4951 TESTING METHOD.
18. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4951 TESTING METHOD.
19. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
20. THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D4633 TESTING METHOD.
21. THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 U.S. STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
22. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4951 TESTING METHOD.
23. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT (470 LPM/M) PER ASTM D4951 TESTING METHOD.
24. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4951 TESTING METHOD.
25. THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4355 TESTING METHOD.



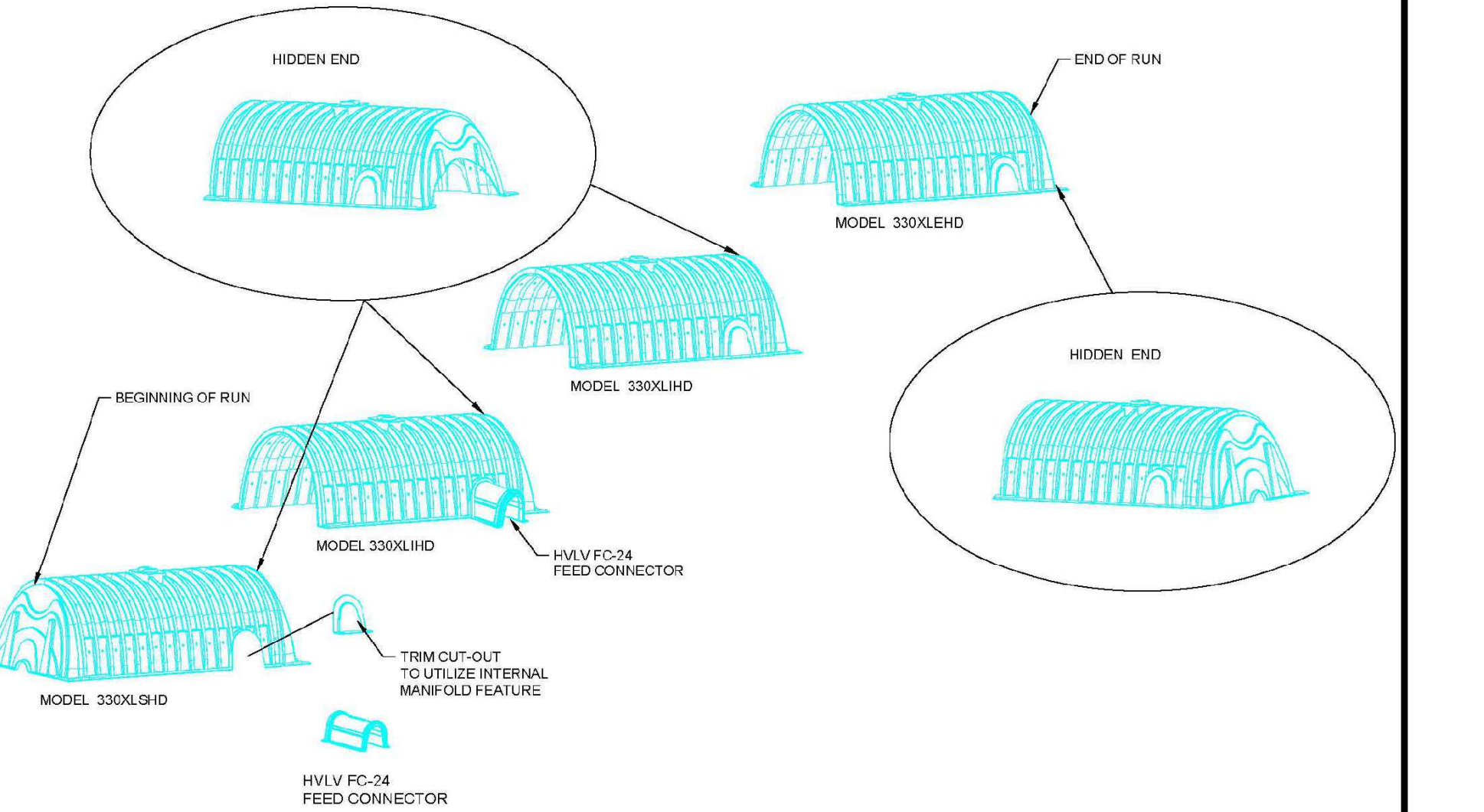
**CULTEC RECHARGER 330XLHD HEAVY DUTY THREE VIEW**



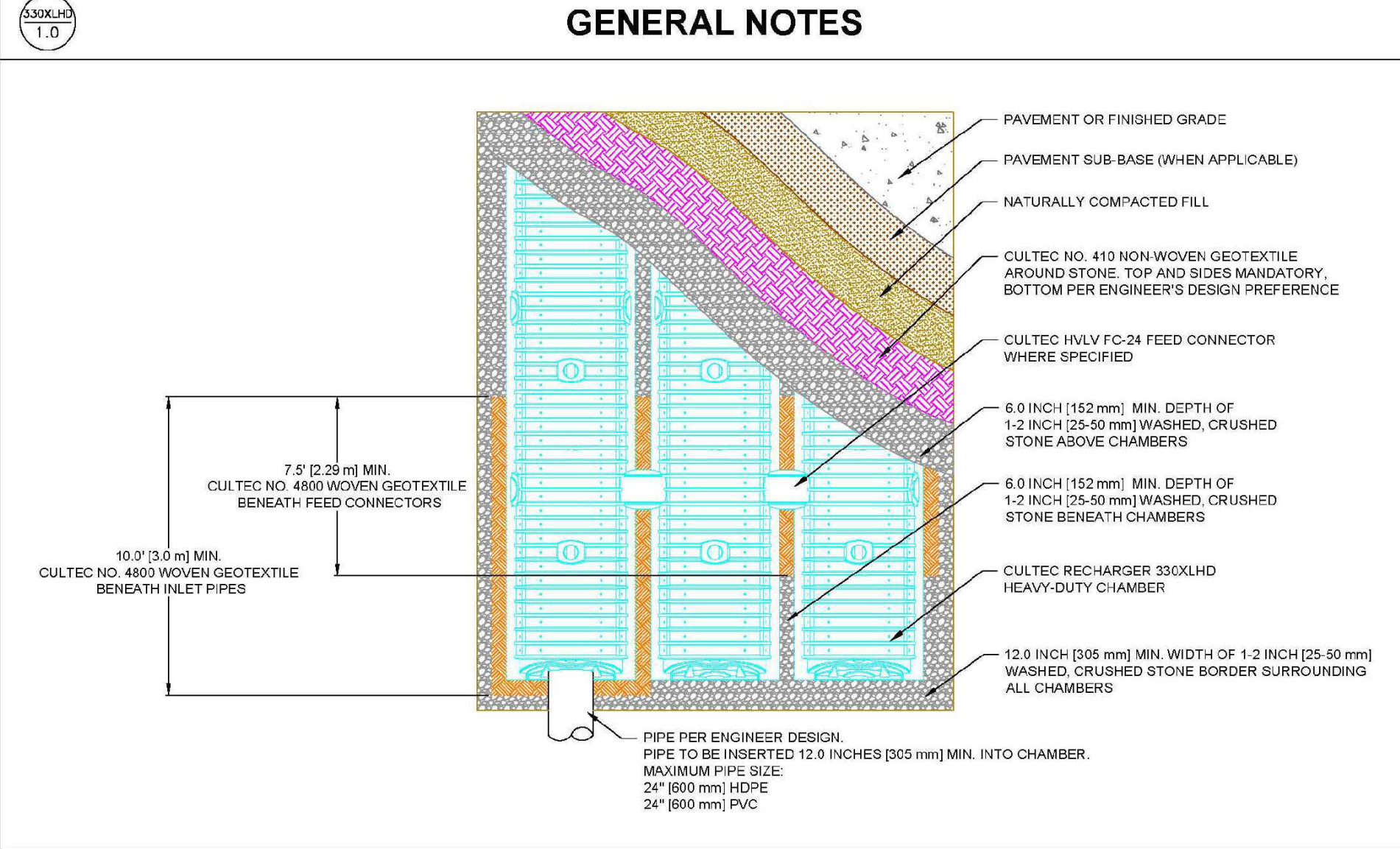
**CULTEC RECHARGER 330XLHD HEAVY DUTY END DETAIL INFORMATION**



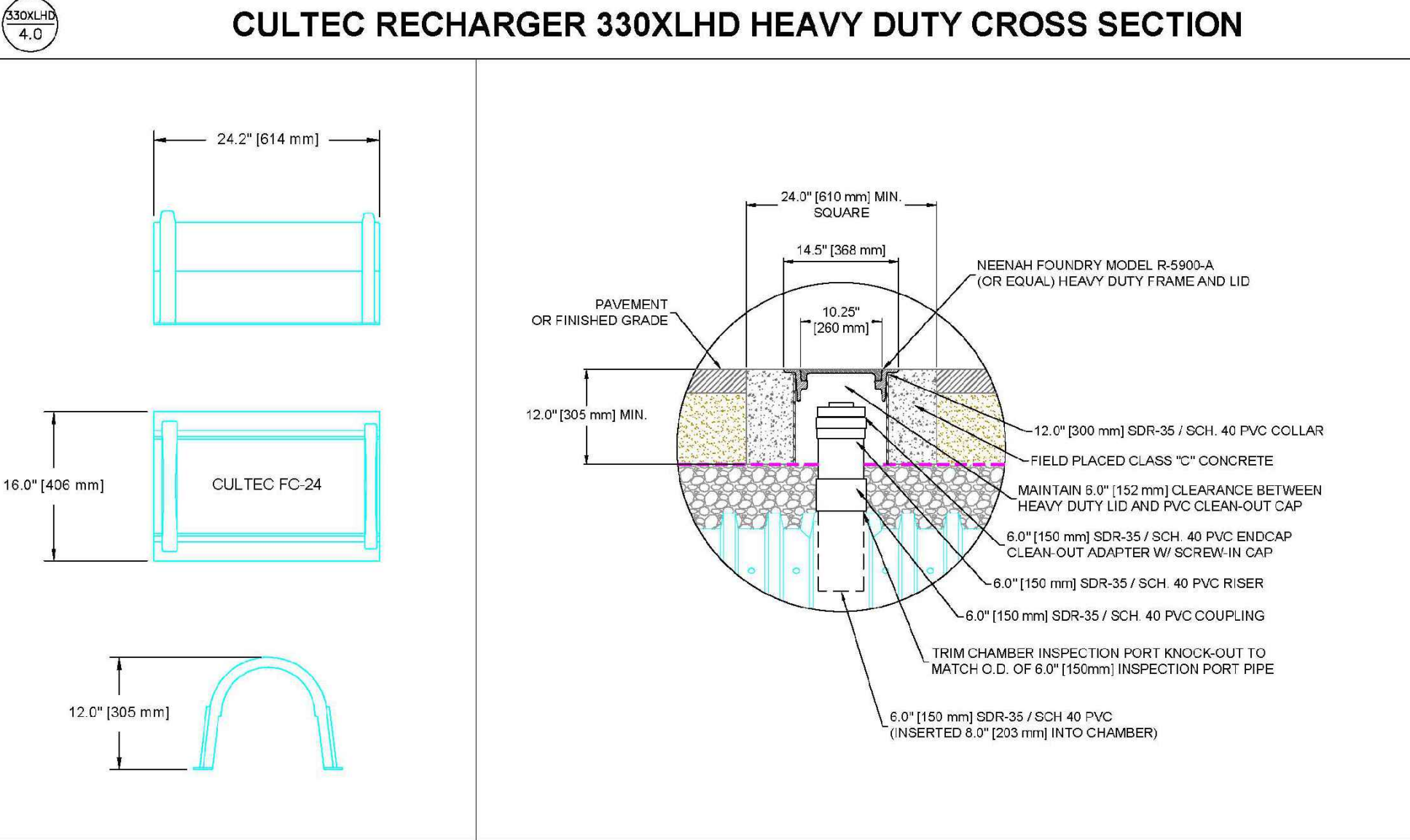
**CULTEC RECHARGER 330XLHD HEAVY DUTY CROSS SECTION**



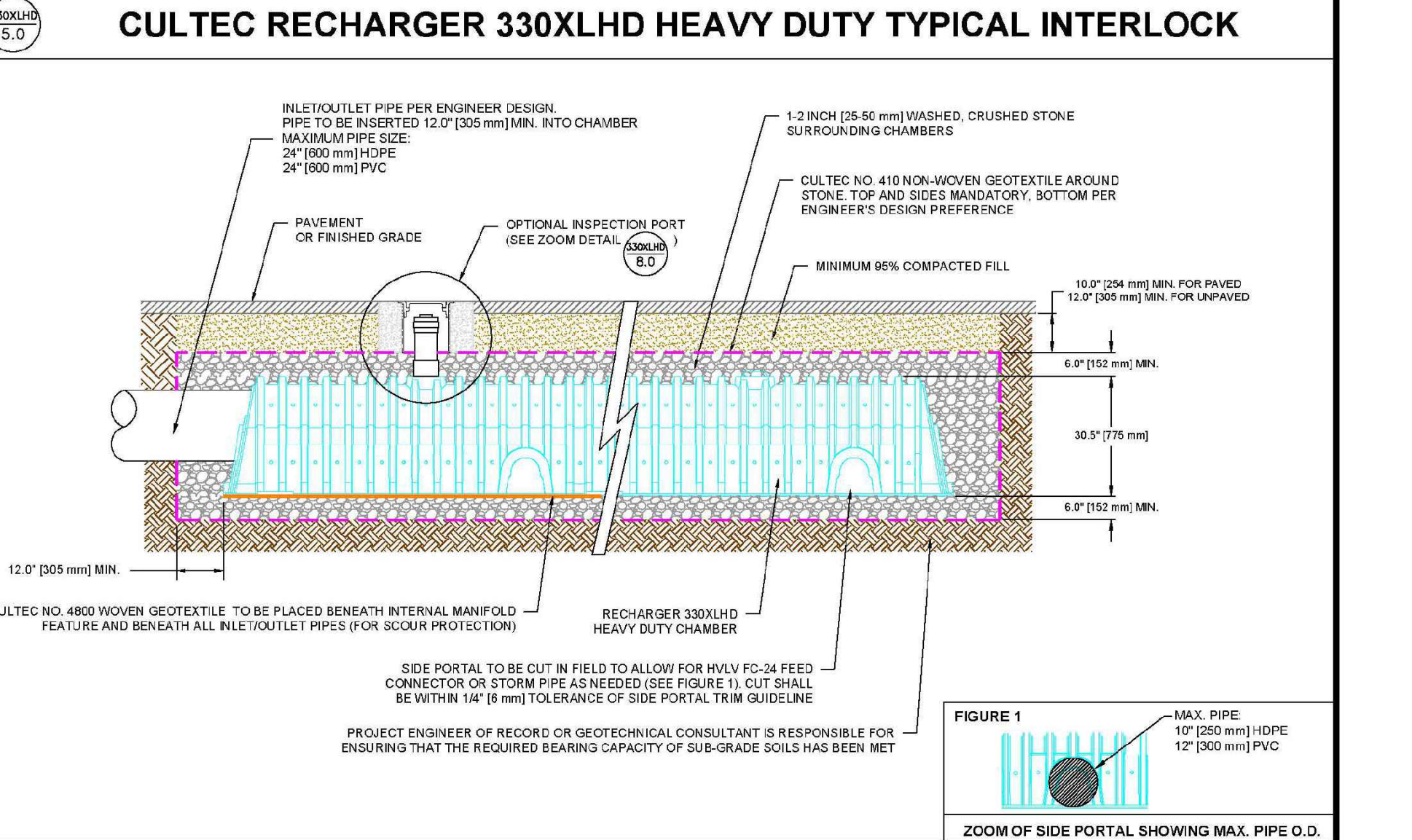
**CULTEC RECHARGER 330XLHD HEAVY DUTY TYPICAL INTERLOCK**



**CULTEC RECHARGER 330XLHD HEAVY DUTY PLAN VIEW**



**OPTIONAL INSPECTION PORT - ZOOM DETAIL**



**CULTEC INTERNAL MANIFOLD - OPTIONAL INSPECTION PORT DETAIL**

**CULTEC, Inc.**  
Subsurface Stormwater Management Systems  
P.O. Box 280  
878 Federal Road  
Brookfield, CT 06804  
www.cultec.com

PH: (203) 775-4416  
PH: (800) 4-CULTEC  
FX: (203) 775-1462  
tech@cultec.com

THIS DRAWING WAS PREPARED TO SUPPORT THE PROJECT ENGINEER OF RECORD FOR THE PROPOSED SYSTEM. IT IS THE ULTIMATE RESPONSIBILITY OF THE PROJECT ENGINEER OF RECORD TO ENSURE THAT THE CULTEC SYSTEM DESIGN IS IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. IT IS THE PROJECT ENGINEER OF RECORD'S RESPONSIBILITY TO ENSURE THAT THE CULTEC PRODUCTS ARE DESIGNED IN ACCORDANCE WITH CULTEC'S MINIMUM REQUIREMENTS. CULTEC DOES NOT APPROVE PLANS, SIZING, OR SYSTEM DESIGNS.

RECHARGER 330XLHD  
DETAIL SHEET  
TRAFFIC APPLICATION

CULTEC STORMWATER CHAMBER			
PROJECT NO:	DATE:	2019	
DESIGNED BY: CULTEC, INC	CHECKED BY: TECH		
SCALE: N.T.S.	SHEET NO:	1 OF 1	

evans + associates architecture  
11576 south state street, suite 103b, draper, utah 84020  
phone 801-939-9621 fax 801-939-9620

Stamp  
REGISTERED PROFESSIONAL ENGINEER  
No. 270393  
DAVID W. PETERSON  
EIT  
STATE OF UTAH

A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
Parcel: 400 South Main Street  
Vineyard, Utah

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description	Date	Mark

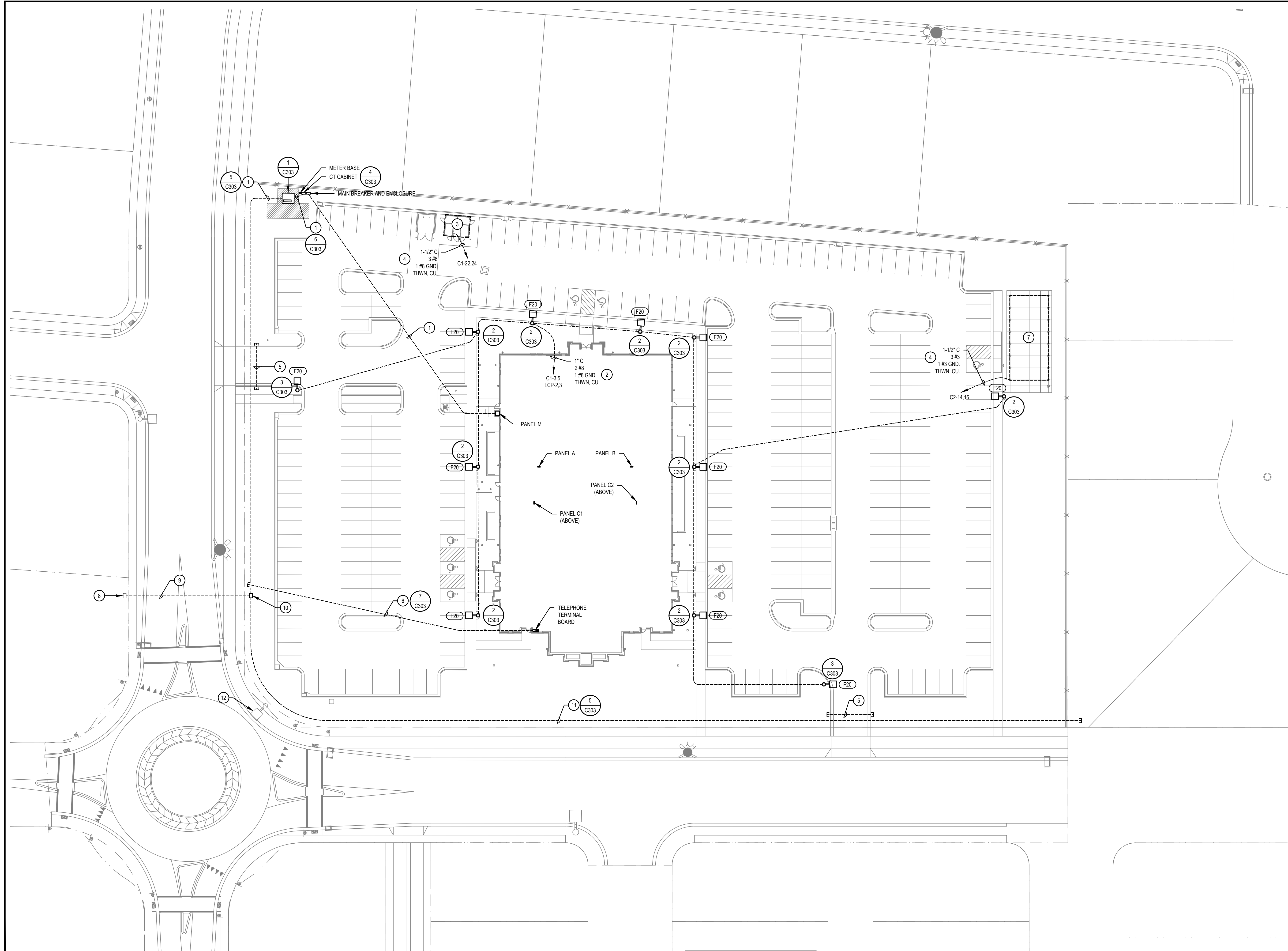
Project Number: 23-85  
Plan Series: Heritage 23-1  
Property Number: 501-6747-230101  
Date: May 1, 2023

Sheet Title: CULTECH DETAILS

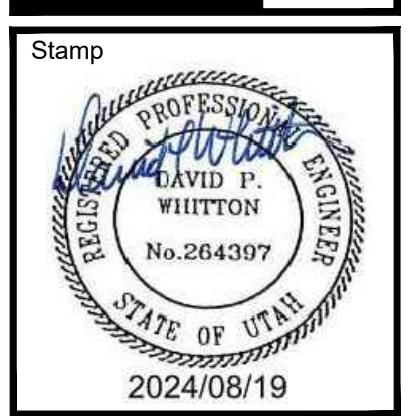
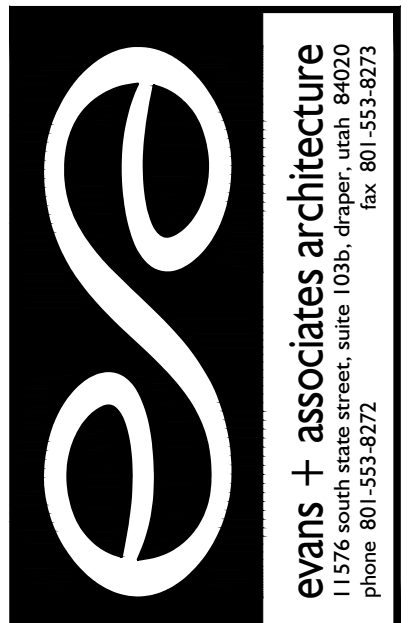
Sheet: C204

\* SEE KEYED NOTES ON C201 FOR CULTEC SYSTEM DESIGN.





- GENERAL NOTES**
- ALL CONDUITS THAT ARE ROUGHED-IN UNDER THE SLAB SHALL BE PLACED UNDER THE VAPOR BARRIER.
  - ALL BELOW GRADE CONDUITS AND LIGHT POLE CONDUITS SHALL BE PLACED BELOW THE GRAVEL BASE. DO NOT INSTALL CONDUIT ON TOP OF GRAVEL, DIRECTLY BELOW THE SIDEWALK / BUILDING SLAB OR WITHIN THE GRAVEL BASE.
- UTILITY REQUIREMENTS**
- BURY CONDUITS PER UTILITY REQUIREMENTS. REFER TO SHEET C303 FOR TYPICAL TRENCHING REQUIREMENTS.
  - VERIFY AND COMPLY WITH ALL ROCKY MOUNTAIN POWER, COMCAST, AND CENTURYLINK REQUIREMENTS.
  - OWNER TO PAY ALL LINE EXTENSION FEES, UNDERGROUND FEES, AND ALL MISC. FEES CHARGED BY ROCKY MOUNTAIN POWER AND LUMEN.
- EXTERIOR LIGHTING CONTROLS**
- ALL NONESSENTIAL EXTERIOR LIGHTING SHALL ONLY CONTINUE IN OPERATION UNTIL 11:00 P.M. OR FOR AS LONG AS OPEN OR AREA IS IN ACTIVE USE AND SHALL REMAIN OFF UNTIL DAYLIGHT THE FOLLOWING DAY; HOWEVER, THOSE LIGHTING FIXTURES TURNED OFF MAY BE SET TO FUNCTION UTILIZING A MOTION DETECTION SYSTEM.
- KEYED NOTES #**
- REFER TO ONE-LINE DIAGRAM FOR CONDUIT AND CONDUCTOR REQUIREMENTS.
  - ROUTE THROUGH LIGHTING CONTROL PANEL. SEE DIAGRAM ON SHEET E607 FOR ADDITIONAL INFORMATION.
  - REFER TO ELECTRICAL DRAWINGS FOR STORAGE BUILDING ELECTRICAL REQUIREMENTS.
  - SEAL CONDUITS AS REQUIRED SO WATER DOES NOT RUN BACK INTO THE BUILDING.
  - TWO (2) 4" CONDUIT SLEEVES.
  - EXTEND ONE (1) 4" CONDUITS WITH TRUE TAPES FROM THE TELEPHONE TERMINAL BOARD TO THE LOCATION SHOWN. UTILIZE LONG SWEEP ELBOWS. COORDINATE EXACT STUB LOCATION AND ALL REQUIREMENTS WITH LUMEN PRIOR TO ANY ROUGH-IN.
  - PROVIDE ALL REQUIRED CONDUIT, BRANCH CIRCUITS, EIGHT (8) LIGHT FIXTURES (F28), FOUR (4) RECEPTACLES WITH WEATHERPROOF COVERS, LOCKABLE NON-FUSED, NEMA 3R, 30A, 2 POLE DISCONNECT AND 0-60 MINUTE TIMER SWITCH WITH WEATHERPROOF FOR LIGHTING CONTROLS FOR PAVILION. REFER TO THE PAVILION DRAWINGS FOR LOCATIONS, QUANTITIES AND OTHER REQUIREMENTS. SEE E601 FOR FIXTURE REQUIREMENTS.
  - EXISTING ROCKY MOUNTAIN POWER GROUND SLEEVE.
  - EXISTING 6" ROCKY MOUNTAIN POWER CONDUIT.
  - NEW ROCKY MOUNTAIN POWER GROUND SLEEVE. CONFIRM EXACT LOCATION AND ALL REQUIREMENTS WITH ROCKY MOUNTAIN POWER PRIOR TO ANY ROUGH-IN.
  - EXTEND A 6" CONDUIT FROM THE NEW ROCKY MOUNTAIN POWER GROUND SLEEVE TO 10'-0" PAST THE PROPERTY LINE. NEW CONDUIT AND INSTALLATION TO COMPLY WITH ALL ROCKY MOUNTAIN POWER STANDARDS AND REQUIREMENTS.
  - EXISTING STREET LIGHT. PROTECT FROM DAMAGE DURING ALL PHASES OF THE CONSTRUCTION.



A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
 Parcel: 400 South Main Street, Vineyard, Utah

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description
Mark	Date

Project Number: 23-85  
 Plan Series: Heritage 23-1  
 Property Number: 501-6747-23010101  
 Date: August 19, 2024

Sheet Title:  
**ELECTRICAL SITE PLAN**

Sheet:  
**C301**



ROCKY MOUNTAIN POWER REPRESENTATIVE:  
 ALAN YOUNG  
 801.756.1205

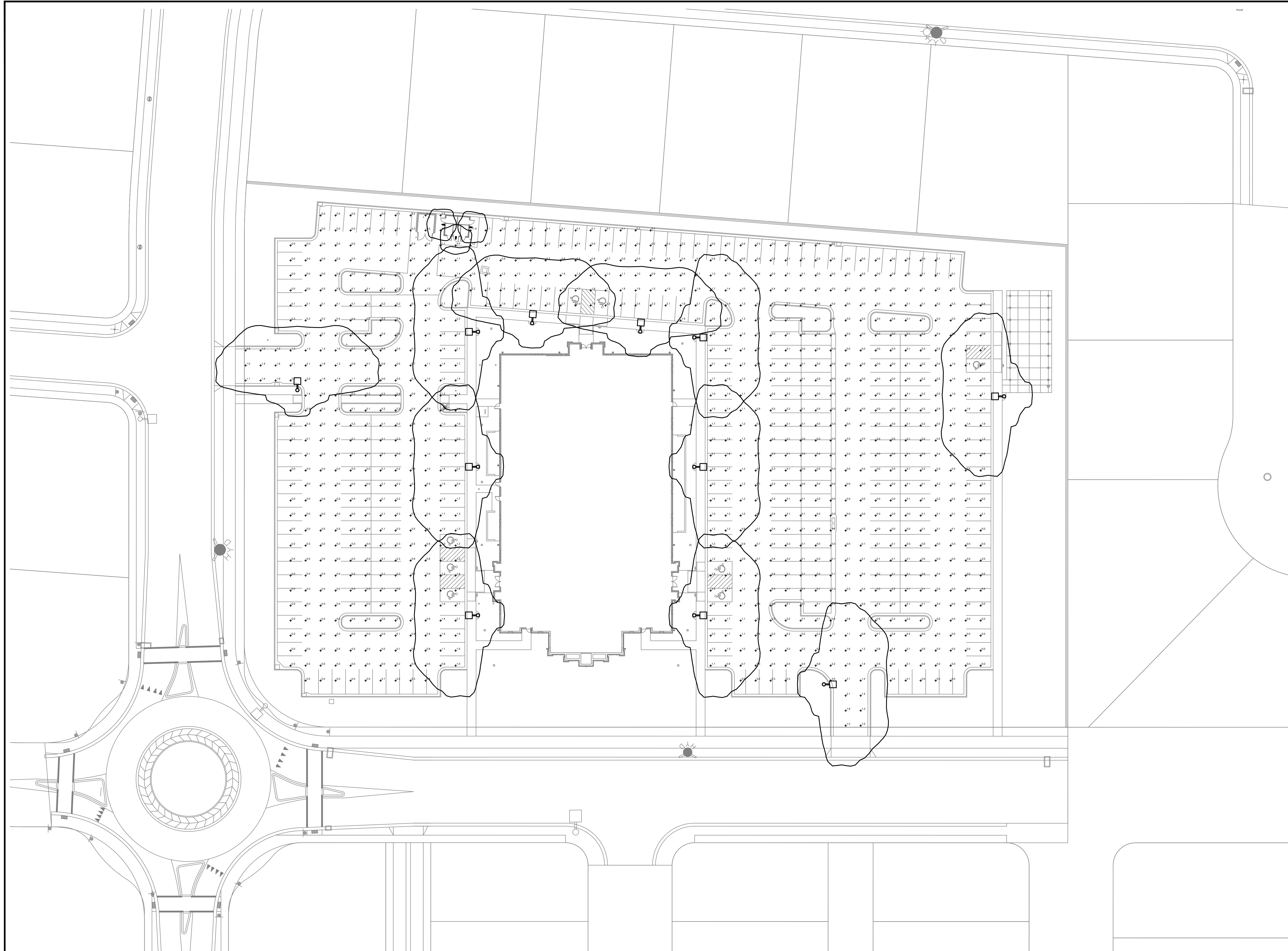
LUMEN REPRESENTATIVE:  
 JAMES CHIDESTER  
 385.479.7345

**ELECTRICAL SITE PLAN**

SCALE: 1" = 30'-0"







**ELECTRICAL SITE ILLUMINATION PLAN**

SCALE: 1" = 30'-0"



**ENVISION**  
ENGINEERING

240 East Morris Ave., Suite 200  
South Salt Lake City, UT 84115

• (801) 594-1130  
• (801) 594-1080

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ENV: 2023-201.00

**evans + associates architecture**  
11576 south lake street, suite 103b, draper, utah, 84020  
phone (801) 559-9612 fax (801) 559-9613

Stamp

2024/08/19

A New Meetinghouse for:  
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Parcel: -  
400 South Main Street  
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Mark	Date	Description

Project Number  
23-85  
Plan Series  
Heritage 23-1  
Property Number  
501-6747-23010101  
Date  
August 19, 2024

Sheet Title

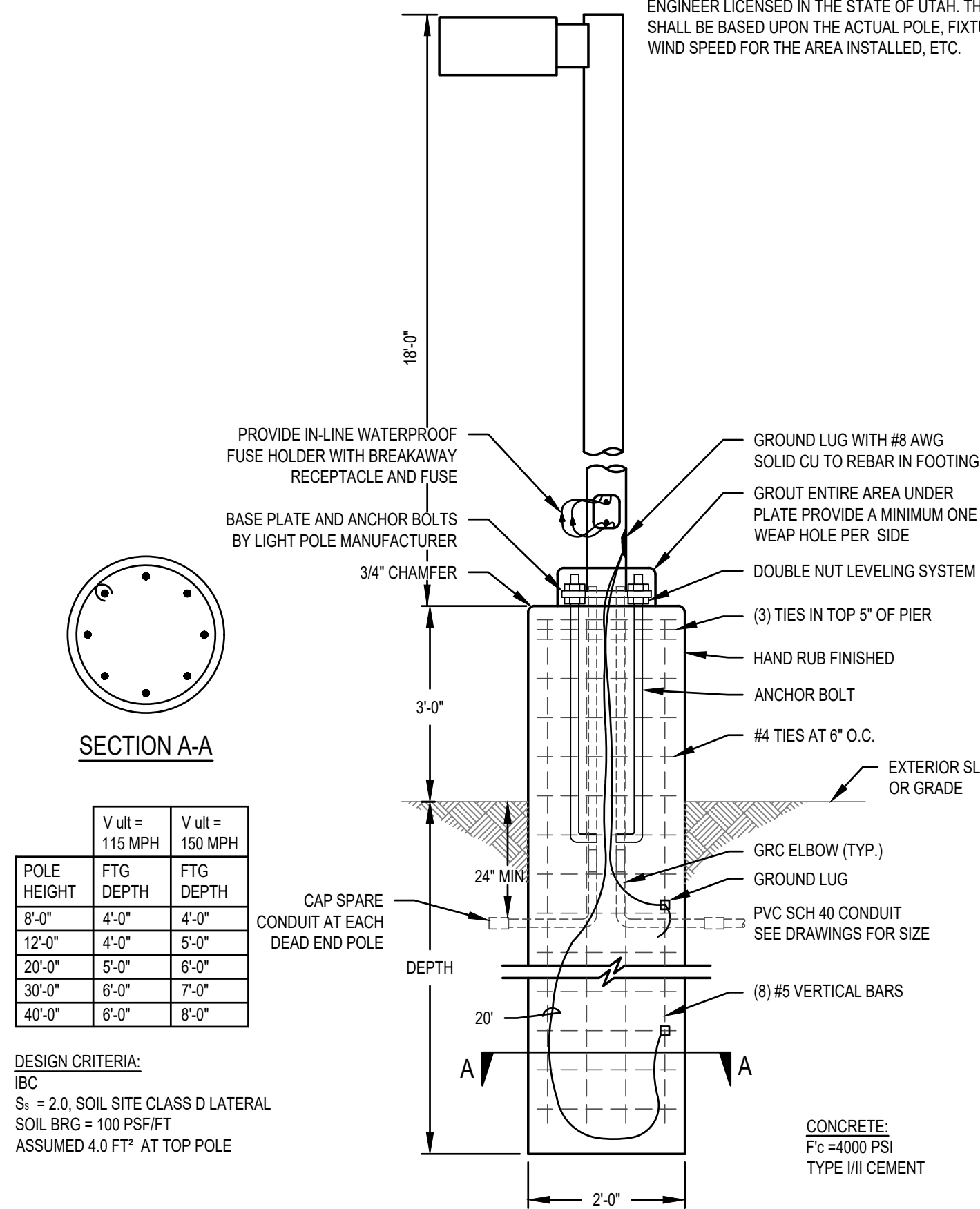
ELECTRICAL SITE ILLUMINATION PLAN

Sheet

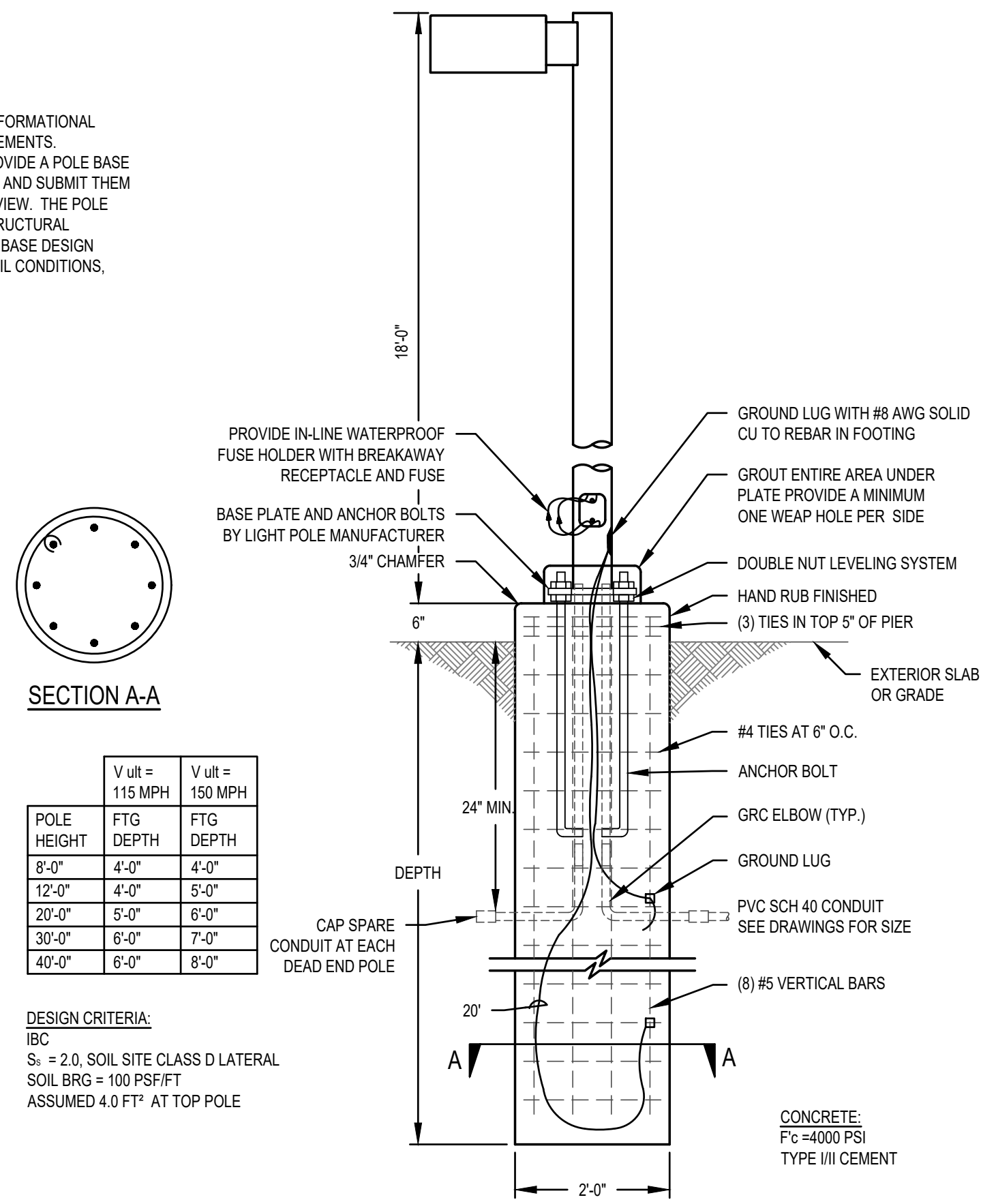
**C302**



NOTE:  
DESIGN SHOWN FOR CONCRETE POLE BASES IS FOR INFORMATIONAL PURPOSES ONLY TO CONVEY THE NECESSARY REQUIREMENTS. ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO PROVIDE A POLE BASE DESIGN AND ASSOCIATED STRUCTURAL CALCULATIONS AND SUBMIT THEM TO THE ENGINEER AS A DEFERRED SUBMITTAL FOR REVIEW. THE POLE BASE DESIGN SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF UTAH. THE POLE BASE DESIGN SHALL BE BASED UPON THE ACTUAL POLE, FIXTURE, SOIL CONDITIONS, WIND SPEED FOR THE AREA INSTALLED, ETC.



3 BOLTED LIGHT POLE BASE DETAIL - PARKING AREA  
SCALE: NONE



2 TYPICAL POLE BASE DETAIL  
SCALE: NONE

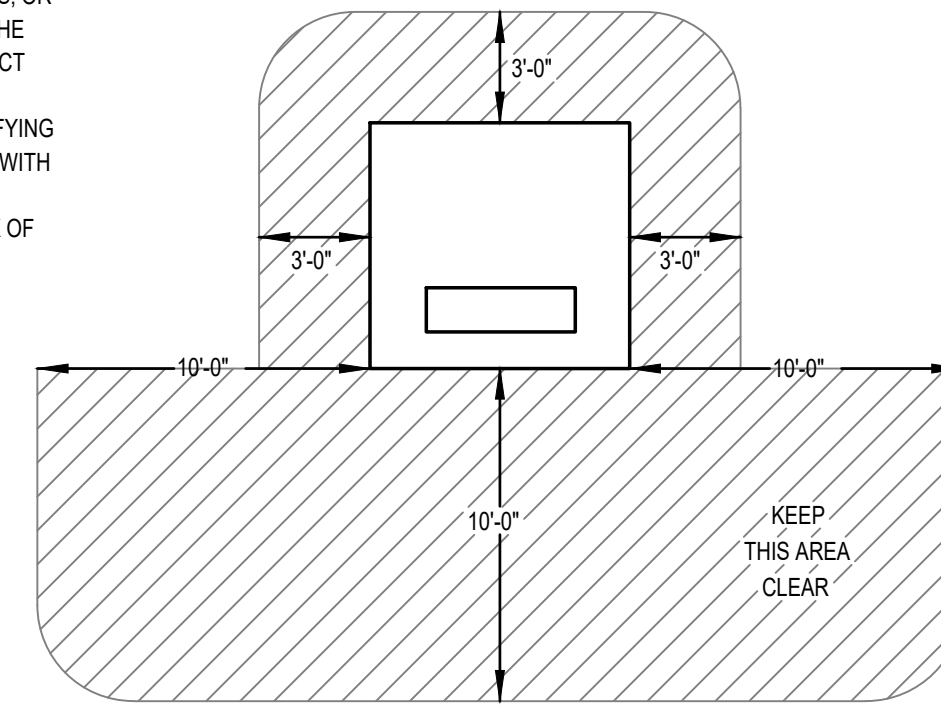
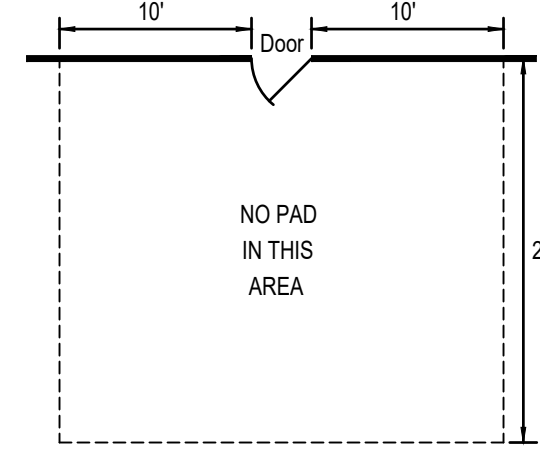
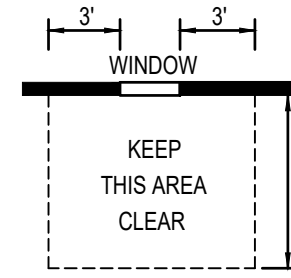
UTILITY COORDINATION REQUIREMENTS:

THE ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL REQUIREMENTS AND LOCATIONS TO EXTEND CONDUITS FOR UTILITY USE WITHIN 2 WEEKS OF THE CONTRACT AWARD. THE CONTRACTOR SHALL NOT ROUGH-IN ANY CONDUITS UNTIL THE UTILITY COORDINATION IS COMPLETE AND ALL LOCATIONS ARE KNOWN. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT AND THE ENGINEER A WRITTEN SIGNED STATEMENT, INCLUDING A SKETCH OF LOCATIONS, FROM THE UTILITY COMPANY NOTIFYING THEM THAT THEY HAVE COORDINATED AND VERIFIED ALL REQUIREMENTS. IF THE CONTRACTOR DOES NOT COORDINATE AND VERIFY THE REQUIREMENTS WITH THE UTILITIES OR PROVIDE A WRITTEN STATEMENT FROM THE UTILITY COMPANY TO THE ARCHITECT AND ENGINEER ALL CHANGES DO TO LACK OF COORDINATION WILL BE DONE AT NO ADDITIONAL EXPENSE TO THE OWNER.

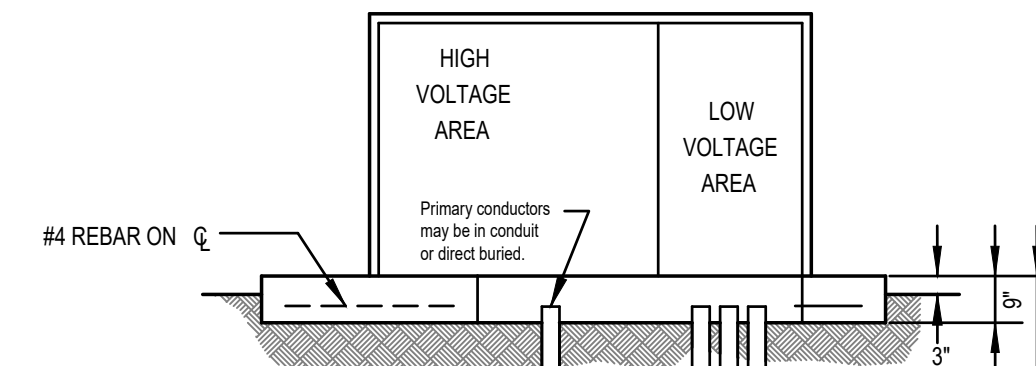
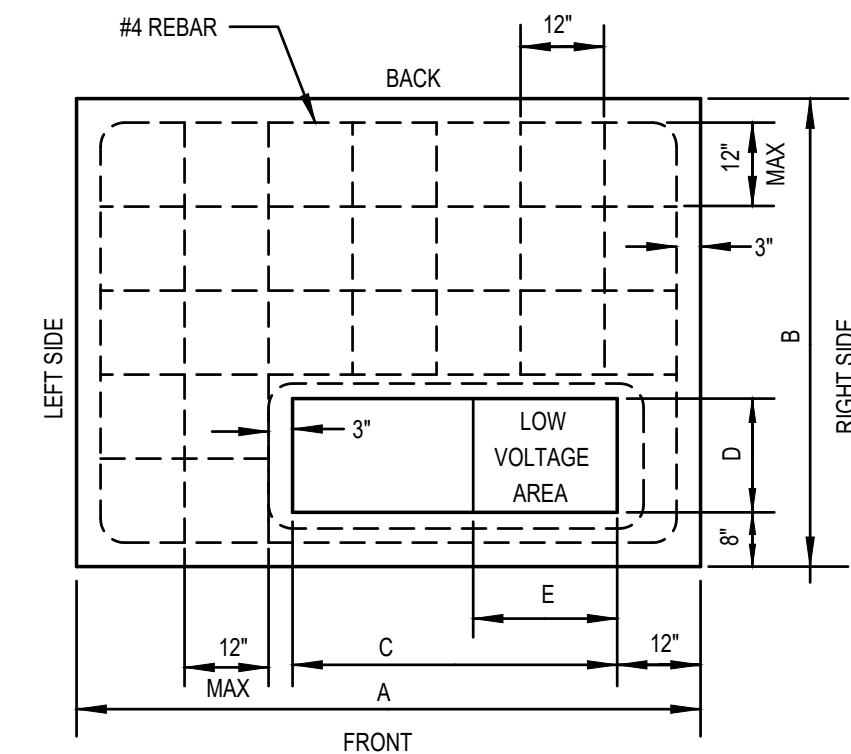
THE ELECTRICAL CONTRACTOR SHALL ORGANIZE A PRE-CONSTRUCTION MEETING INCLUDING THE UTILITY AND GENERAL CONTRACTOR TO COORDINATE AND VERIFY ALL REQUIREMENTS. WITHIN 2 WEEKS OF THE CONTRACT AWARD, COORDINATION ITEMS INCLUDE BUT ARE NOT LIMITED TO:

- GENERAL UTILITY REQUIREMENTS AND DIVISION OF SCOPE OF WORK
- CONDUIT AND TRENCHING REQUIREMENTS
- CONDUIT ROUTING
- UTILITY EQUIPMENT PADS AND SUB-BASE REQUIREMENTS
- UTILITY CLEARANCE REQUIREMENTS
- EQUIPMENT SCREEN WALLS, EQUIPMENT ENCLOSURES, AND EQUIPMENT YARDS
- COORDINATION WITH OTHER UTILITIES OR EXISTING CONDITIONS
- AVAILABLE FAULT CURRENT CALCULATIONS (POWER UTILITY ONLY)
- UTILITY REQUIRED SITE OBSERVATIONS
- SCHEDULING OF UTILITY INSTALLATIONS

THE CONTRACTOR SHALL NOT ROUGH-IN ANY CONDUITS, EQUIPMENT PADS, OR SIMILAR ITEMS UNTIL THE UTILITY COORDINATION IS COMPLETE AND ALL THE LOCATIONS ARE KNOWN. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT AND ENGINEER A WRITTEN, SIGNED STATEMENT, INCLUDING A SKETCH OF EQUIPMENT AND CONDUIT LOCATIONS, FROM THE UTILITY COMPANY NOTIFYING THEM THAT THEY HAVE COORDINATED AND VERIFIED ALL REQUIREMENTS WITH THE UTILITIES AND PROVIDE A WRITTEN STATEMENT FROM THE UTILITY COMPANY TO THE ARCHITECT AND ENGINEER. ALL CHANGES DUE TO LACK OF COORDINATION WILL BE PROVIDED AT NO ADDITIONAL EXPENSE TO THE OWNER.

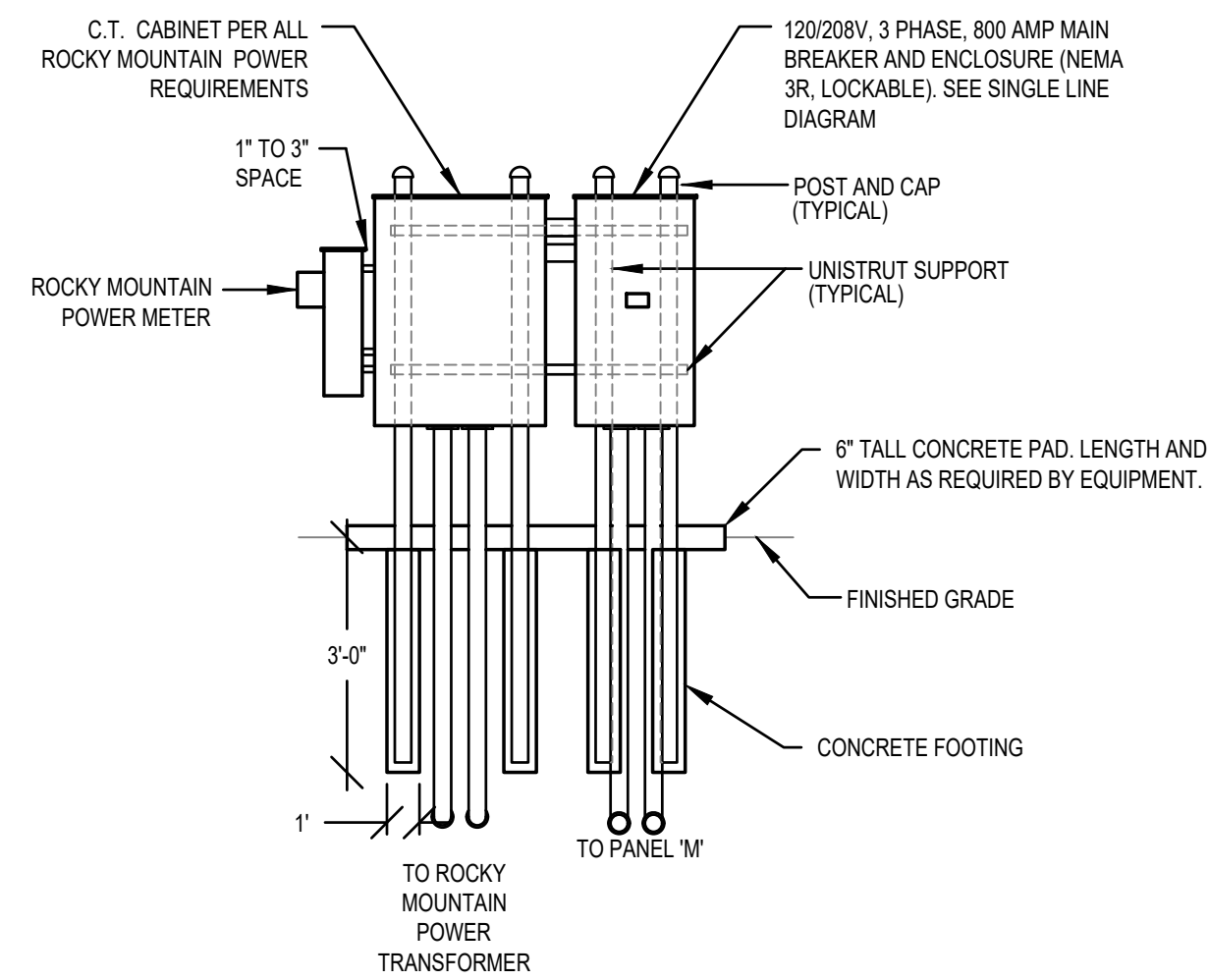


1 ROCKY MOUNTAIN POWER TRANSFORMER PAD DETAIL  
SCALE: NONE



TRANSFORMER RATING	A	B	C	D	E
75-500 KVA	84"	78"	48"	15'	20'
750-2500 KVA	96"	82"	60"	16'	30'

COORDINATE ALL REQUIREMENTS WITH ROCKY MOUNTAIN POWER. REFER TO THE CURRENT ESR MANUAL FOR ALL PAD AND CLEARANCE REQUIREMENTS.



4 CT CABINET/METER AND MAIN BREAKER MOUNTING DETAIL  
SCALE: NONE

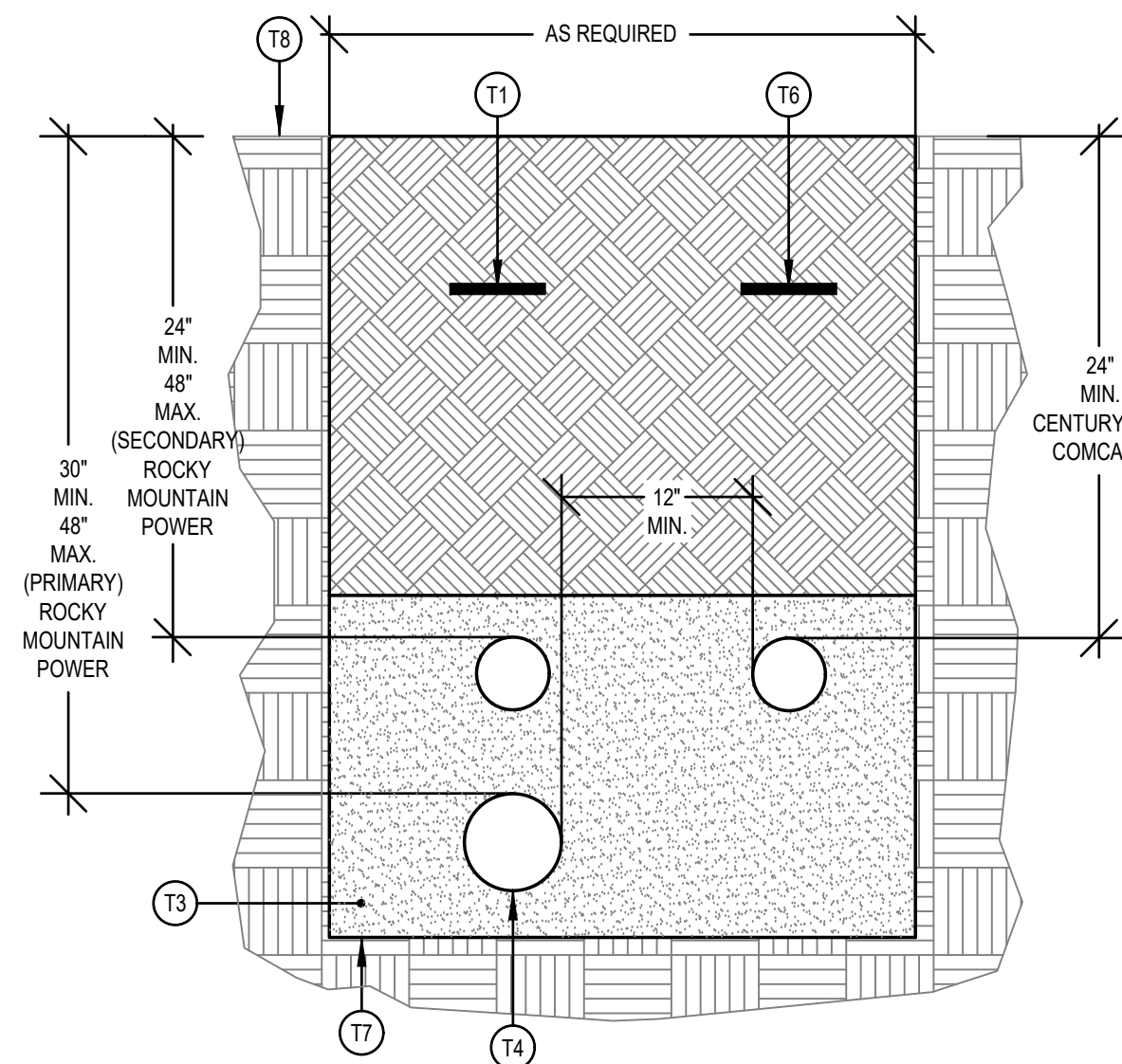
NOTE:  
DESIGN SHOWN FOR CONCRETE CONCRETE PAD AND FOOTING ARE FOR INFORMATIONAL PURPOSES ONLY TO CONVEY THE NECESSARY REQUIREMENTS. ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO PROVIDE A CONCRETE PAD / FOOTING DESIGN AND ASSOCIATED STRUCTURAL CALCULATIONS AND SUBMIT THEM TO THE ENGINEER AS A DEFERRED SUBMITTAL FOR REVIEW. THE CONCRETE PAD / FOOTING DESIGN SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF UTAH. THE CONCRETE PAD / FOOTING DESIGN SHALL BE BASED UPON THE PANELBOARD SIZE / WEIGHT, SOIL CONDITIONS, ETC.

TRENCHING KEYED NOTES:

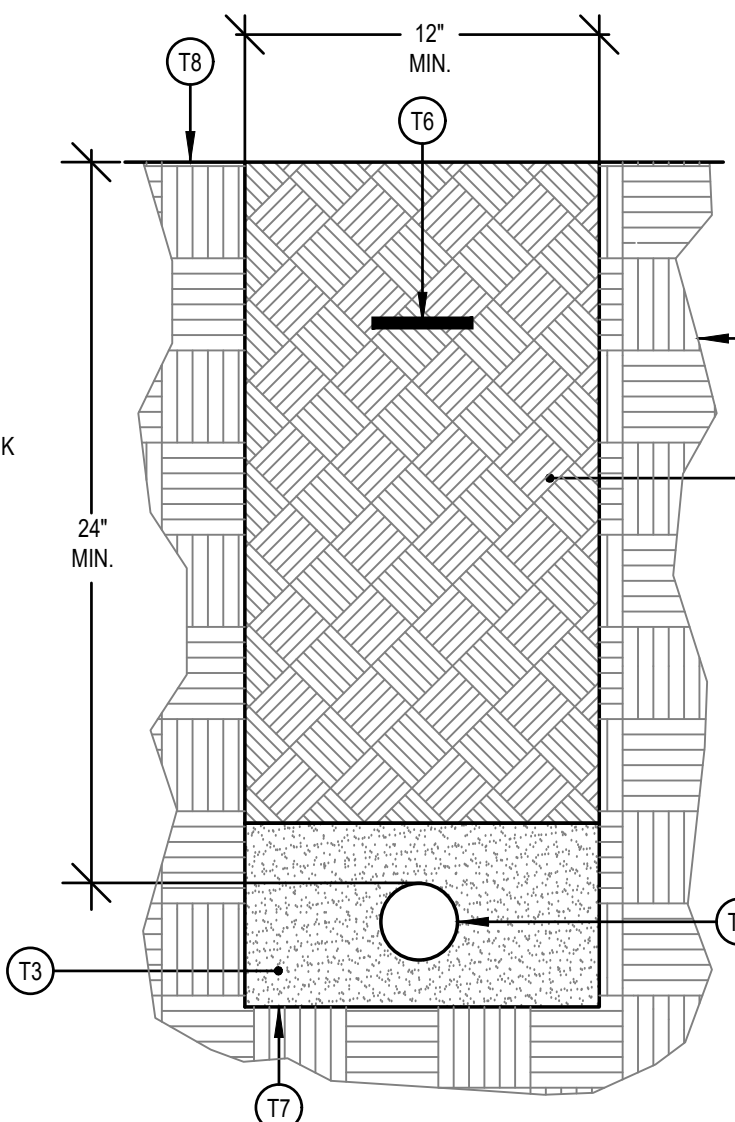
1. MARKER TAPE WITH TRACER WIRE LABELED, "CAUTION BURIED ELECTRIC CONDUITS BELOW" DIRECTLY OVER POWER CONDUITS 6" MINIMUM BELOW GRADE.
2. CLEAN BACKFILL CONTAINING NO ROCKS LARGER THAN 4" DIA.
3. BACKFILL MATERIAL WITHIN 4" TO 6" OF CONDUIT SHALL PASS THROUGH A 3/4" SIEVE FRAME OR SAND WITHOUT ANY SHARP OR FOREIGN OBJECTS.
4. ALL CONDUITS SHOWN SHALL BE SCHEDULE 40 PVC. SEE SITE PLANS AND ONE-LINE DIAGRAM FOR SIZE AND QUANTITY.
5. UNDISTURBED EARTH.
6. MARKER TAPE WITH TRACER WIRE LABELED, "CAUTION BURIED DATA/COMMUNICATION CONDUIT BELOW" DIRECTLY OVER DATA/COMM CONDUITS.
7. TRENCHES SHALL BE A UNIFORM DEPTH FOR ENTIRE LENGTH OF TRENCH SO CONDUITS CAN SIT FLAT (HORIZONTAL) WITH THE GROUND.
8. FINISHED GRADE.

TRENCHING GENERAL NOTES:

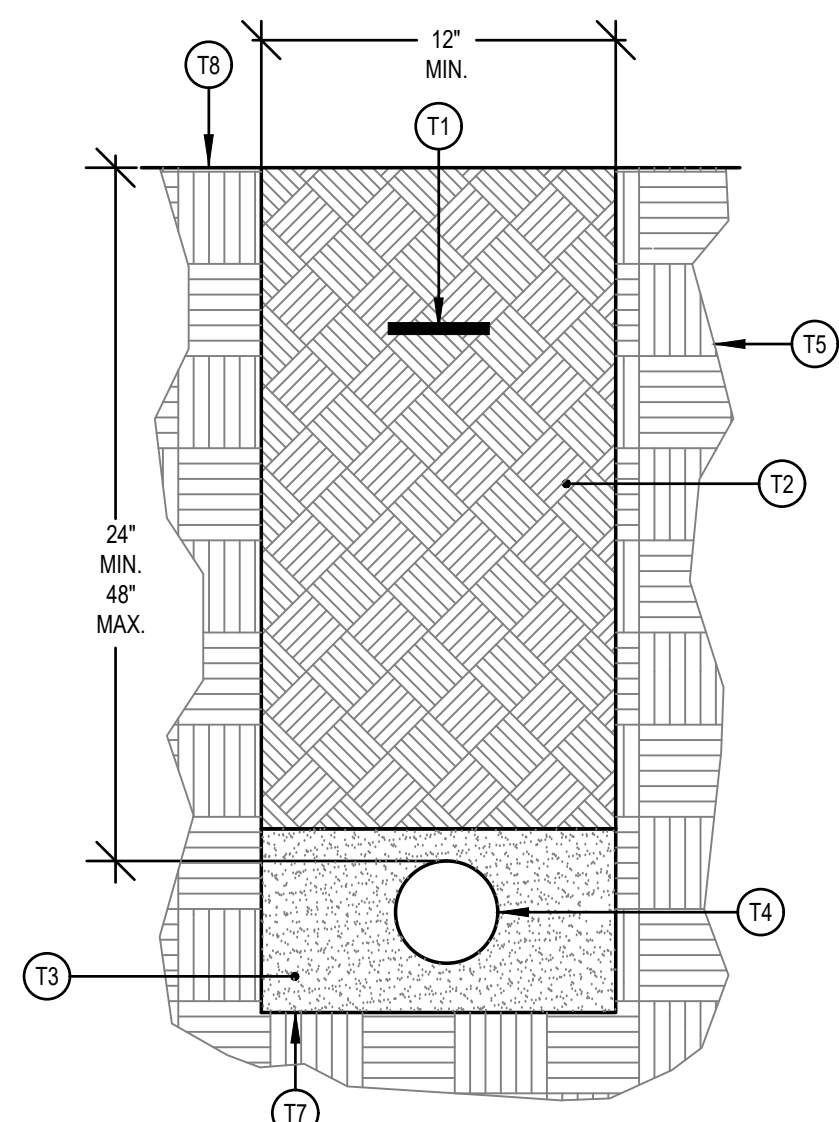
1. PROVIDE PULL 1/4" NYLON ROPES IN ALL CONDUITS.
2. HORIZONTAL AND VERTICAL SEPARATION BETWEEN CONDUIT SHALL BE MAINTAINED BY INSTALLING HIGH IMPACT SPACERS WITH HORIZONTAL INTERVALS OF EIGHT FEET.
3. ALL MARKER TAPE SHALL CONTAIN #10 TRACER WIRE.
4. REFER TO THE ROCKY MOUNTAIN POWER SIX STATE ESR MANUAL FOR ADDITIONAL INFORMATION.
5. VERIFY ALL REQUIREMENTS WITH DIRECT COMMUNICATIONS PRIOR TO TRENCHING.



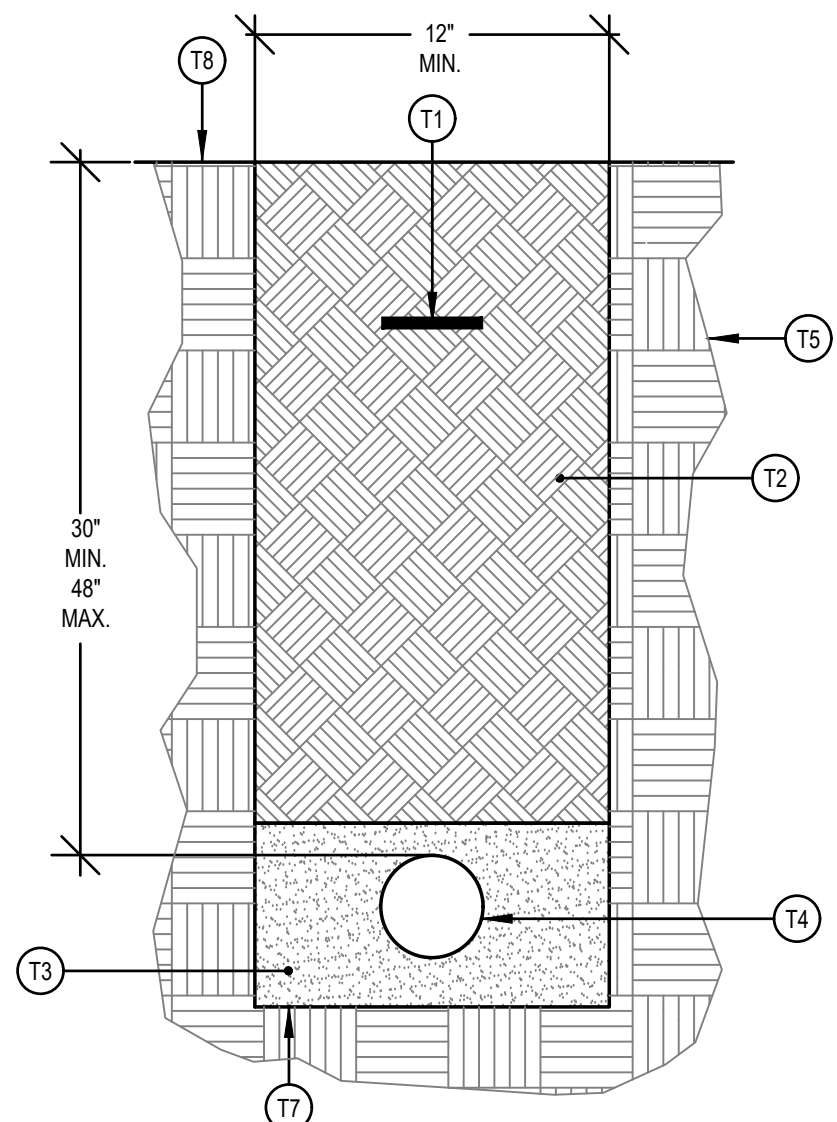
8 TRENCH DETAIL - JOINT USE  
SCALE: NONE  
ROCKY MOUNTAIN POWER / CENTURYLINK / COMCAST (JOINT USE)



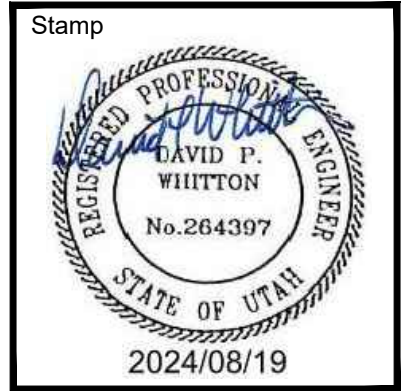
7 TRENCH DETAIL  
SCALE: NONE  
CENTURYLINK / COMCAST



6 TRENCH DETAIL  
SCALE: NONE  
ROCKY MOUNTAIN POWER (SECONDARY POWER)



5 TRENCH DETAIL  
SCALE: NONE  
ROCKY MOUNTAIN POWER (PRIMARY POWER)



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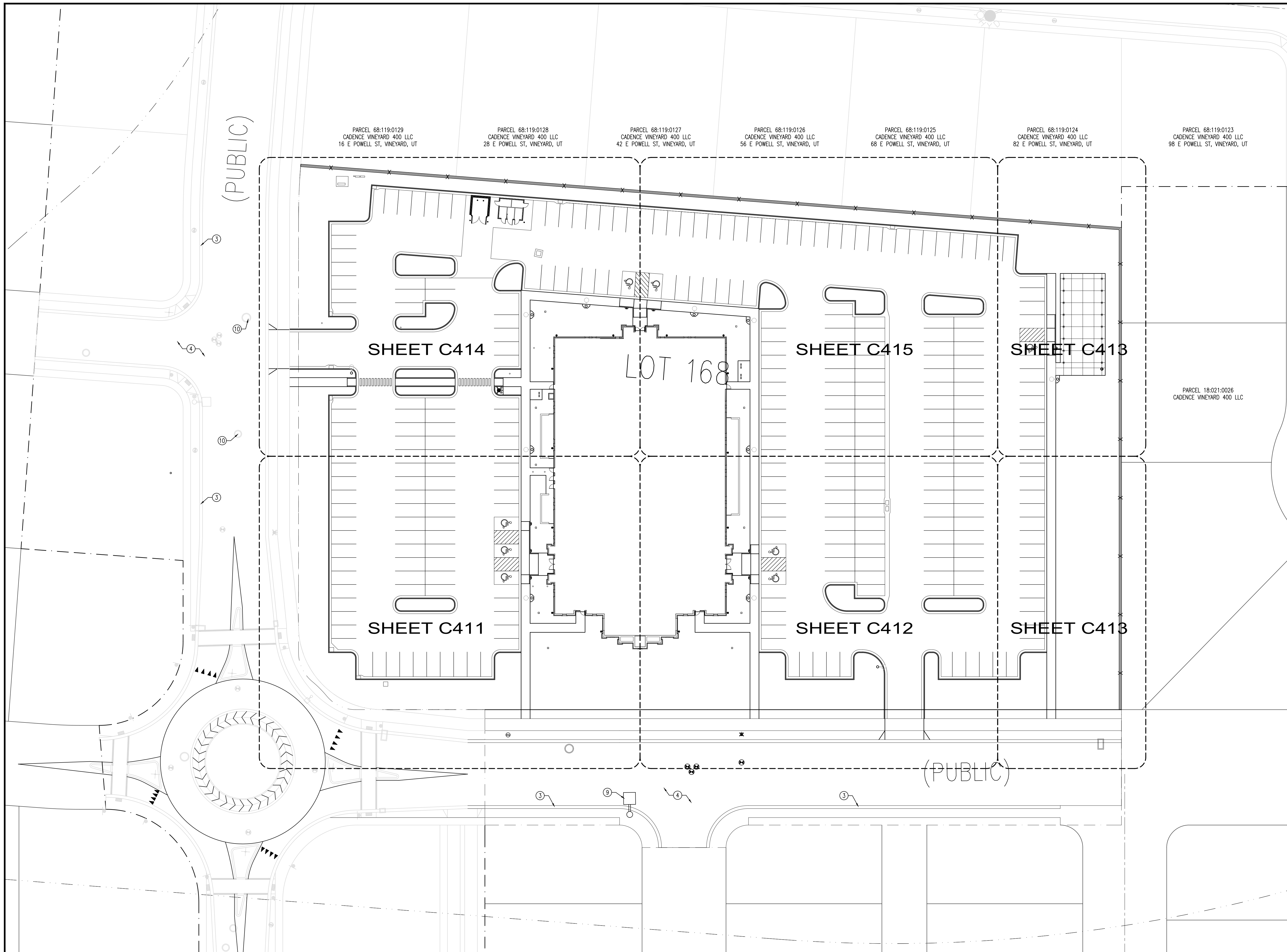
Revisions	Description	Mark	Date

Project Number: 23-85  
Plan Series: Heritage 23-1  
Property Number: 501-6747-23010101  
Date: August 19, 2024

Sheet Title:  
ELECTRICAL SITE PLAN DETAILS

Sheet:  
**C303**





- KEYED NOTES**
- EXISTING FIRE HYDRANT TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING CONCRETE WALK TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING CONCRETE CURB AND GUTTER TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING ASPHALT PAVING TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING STORM DRAIN MANHOLE TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING STORM DRAIN CATCH BASIN TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING WATER METER TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING SIGNAGE TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING LIGHT POLE TO REMAIN; PROTECT DURING CONSTRUCTION
  - EXISTING SANITARY SEWER MANHOLE TO REMAIN; PROTECT DURING CONSTRUCTION
  - DRIVE APPROACH PER VINEYARD CITY STANDARDS
  - COMBINATION CONCRETE SIDEWALK-CURB AND GUTTER; SEE B/C501
  - CONCRETE CURB AND GUTTER; SEE C/C501 AND D/C501
  - ASPHALT PAVEMENT; SEE A/C502
  - 4" WIDE PAINTED PARKING STRIPS; TYPICAL
  - PROPERTY LINE
  - TAPER CONCRETE CURB TO SIDEWALK LEVEL AT DRIVE ENTRANCES; TYPICAL, BOTH SIDES; SEE G/C501
  - DOWNSPOUT CATCH BASIN; SEE C201 AND A/C503
  - MECHANICAL ENCLOSURE; SEE E/C504 AND F/C504
  - CONCRETE WALK; SEE A/C501
  - TRANSFORMER; SEE ELECTRICAL
  - METER BASE, MAIN BREAKER AND CT CABINET; SEE ELECTRICAL
  - STORM DRAIN CATCH BASIN; SEE C201 AND C503
  - STORM DRAIN BOX; SEE C201
  - STORM DRAIN NYLOPLAST YARD DRAIN WITH DOWMED GRATE; SEE C201 AND C503
  - CLEAN OUT TO GRADE; SEE C203 AND K/C502
  - CONCRETE PAVEMENT; SEE D/C502
  - CONCRETE ENTRY; TYPICAL; SEE H/C501
  - MAIN ELECTRICAL PANEL WITH CONCRETE PAD; SEE ELECTRICAL
  - ACCESSIBLE STALL SIGNAGE; SEE B/C502
  - VAN ACCESSIBLE STALL SIGNAGE; SEE B/C502
  - PAINTED ACCESSIBLE SIGN
  - PAINTED ACCESSIBLE AISLE
  - LIGHT POLE WITH CONCRETE APRON; SEE ELECTRICAL
  - CONCRETE ACCESSIBLE RAMP; K/C501
  - BIKE RACK WITH CONCRETE PAD; SEE J/C502
  - 6"-0" HIGH VINYL FENCE WITH MOW STRIP; SEE G/C502
  - STORAGE BUILDING; SEE STORAGE BUILDING DRAWINGS
  - DUMPSTER ENCLOSURE; SEE C/C504
  - BOLLARD; C/C502
  - PAVILION WITH CONCRETE PAD; SEE PAVILION DRAWINGS
  - DRINKING FOUNTAIN; SEE UTILITY PLAN
  - FIRE HYDRANT ON CONCRETE PAD; SEE UTILITY PLAN
  - ACCESSIBLE CONCRETE RAMP
  - PAINTED CROSSWALK

**SITE INFORMATION**

TOTAL PARCEL AREA: 187,506 SF / 4.305 ACRES

**BUILDING AREAS**

- CHAPEL: 22,637 SF
- PAVILION: 1,428 SF
- STORAGE BUILDING: 236 SF

ASPHALT AREA: 93,649 SF / 49.1%

CONCRETE (WALKS, PADS, CURB, GUTTER): 11,644 SF / 6.2%

LANDSCAPING: 56,473 SF / 30.1%

**PARKING STALLS REQUIRED**

1 STALL FOR 4 FIXED SEATS

300 SEATS IN CHAPEL = 75 STALLS

**TOTAL PARKING STALLS PROVIDED**

REGULAR: 261 STALLS

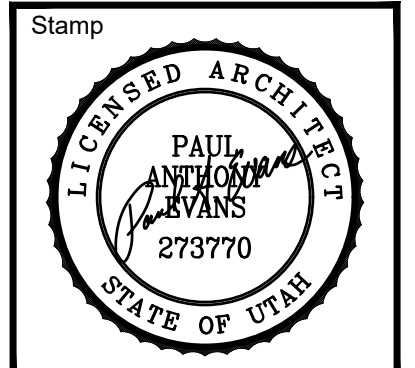
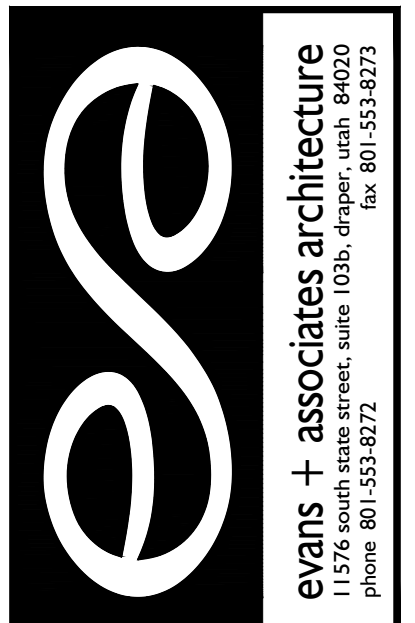
ACCESSIBLE: 6 STALLS

VAN ACCESSIBLE: 2 STALLS

TOTAL SPACES PROVIDED: 269 STALLS

**ARCHITECTURAL SITE PLAN**

SCALE: 1" = 30'-0"



A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**

57 East 400 South  
Vineyard, Utah

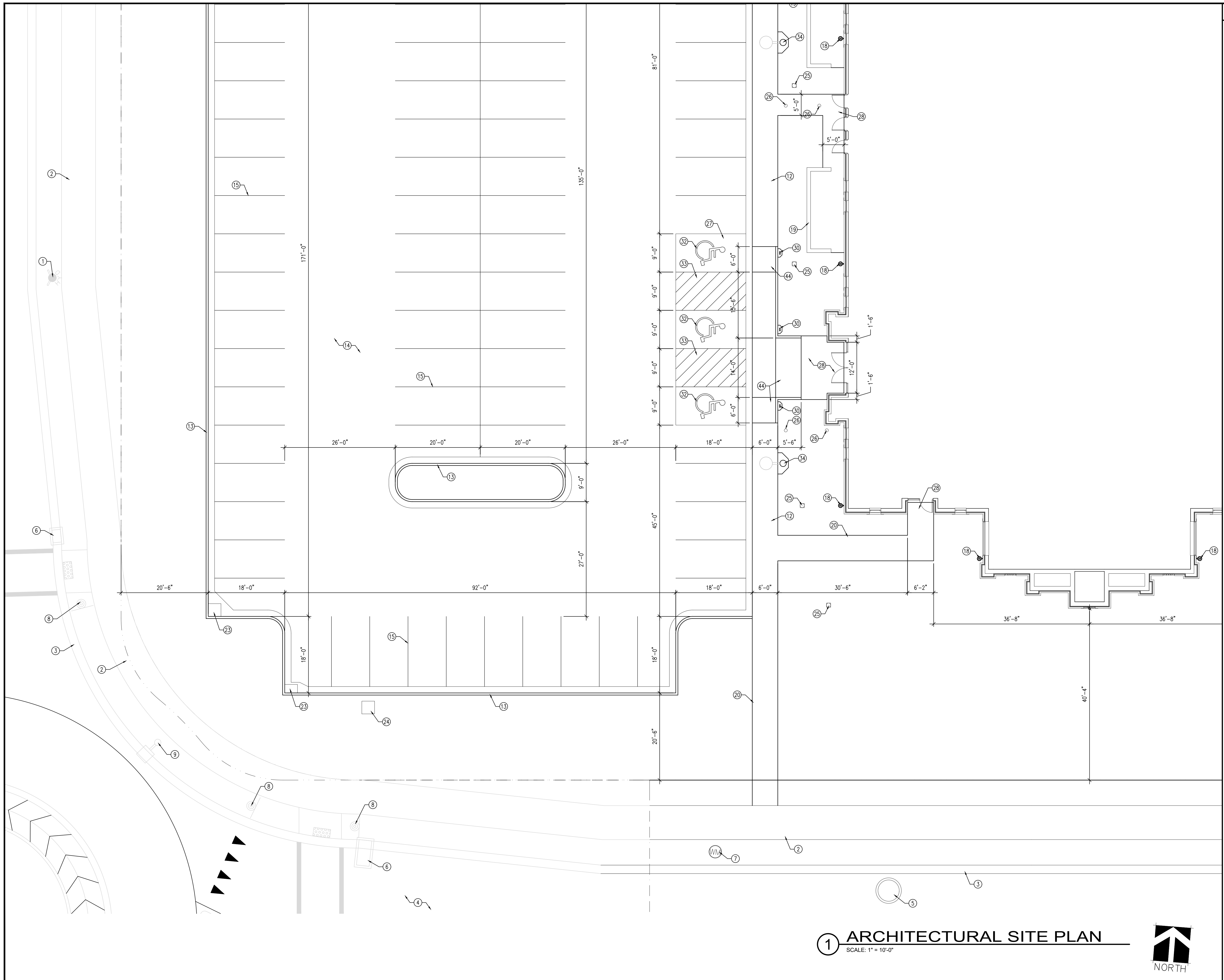
Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description	Addendum #1
Mark	Date	09/07/2024

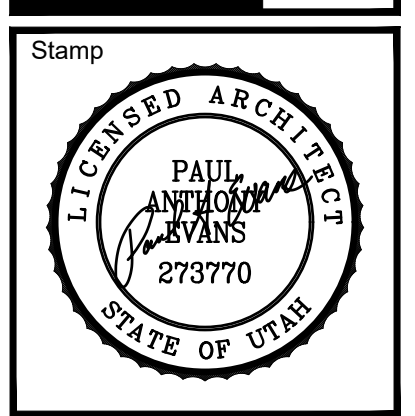
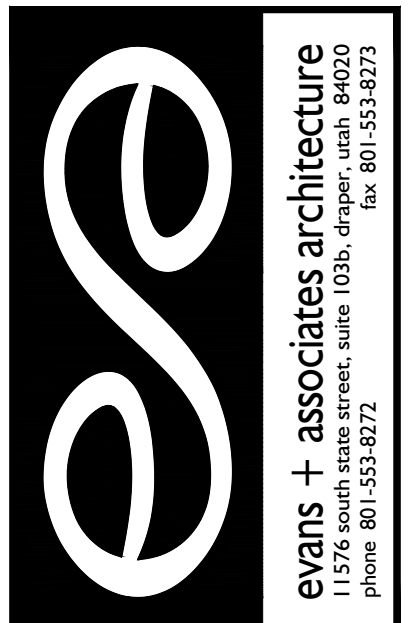
Project Number: 23-85  
Plan Series: Heritage 23-1  
Property Number: 501-6747-23010101  
Date: May 1, 2023

Sheet Title:  
**ARCHITECTURAL SITE PLAN**

Sheet:  
**C401**



- KEYED NOTES**
1. EXISTING FIRE HYDRANT TO REMAIN; PROTECT DURING CONSTRUCTION
  2. EXISTING CONCRETE WALK TO REMAIN; PROTECT DURING CONSTRUCTION
  3. EXISTING CONCRETE CURB AND GUTTER TO REMAIN; PROTECT DURING CONSTRUCTION
  4. EXISTING ASPHALT PAVING TO REMAIN; PROTECT DURING CONSTRUCTION
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  12. COMBINATION CONCRETE SIDEWALK-CURB AND GUTTER; SEE B/C501
  13. CONCRETE CURB AND GUTTER; SEE C/C501 AND D/C501
  14. ASPHALT PAVEMENT; SEE A/C502
  15. 4" WIDE PAINTED PARKING STRIPS; TYPICAL
  16. PROPERTY LINE
  17. TAPER CONCRETE CURB TO SIDEWALK LEVEL AT DRIVE ENTRANCES; TYPICAL BOTH SIDES; SEE G/C501
  18. DOWNSPOUT CATCH BASIN; SEE C201 AND A/C503
  19. MECHANICAL ENCLOSURE; SEE E/C504 AND F/C504
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  38. STORAGE BUILDING; SEE STORAGE BUILDING DRAWINGS
  39. DUMPSTER ENCLOSURE; SEE C/C504
  40. BOLLARD; C/C502
  41. PAVILION WITH CONCRETE PAD; SEE PAVILION DRAWINGS
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  43. FIRE HYDRANT ON CONCRETE PAD; SEE UTILITY PLAN
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A New Meetinghouse for:  
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Project for:  
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Revisions	Description	Addendum #1
Mark	Date	09/07/2024
1		

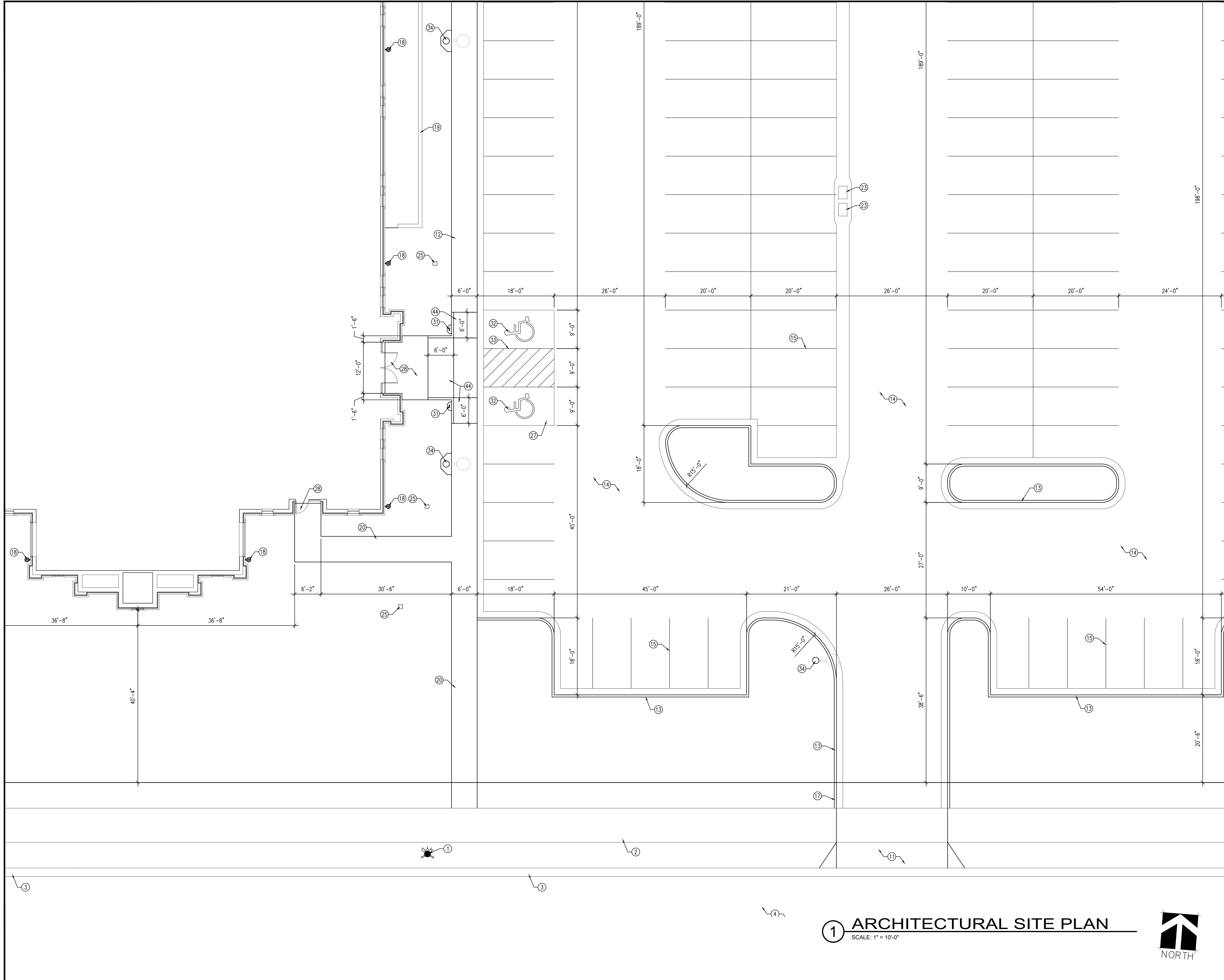
Project Number  
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Sheet Title  
  
ENLARGED ARCHITECTURAL  
SITE PLAN

Sheet  
**C411**

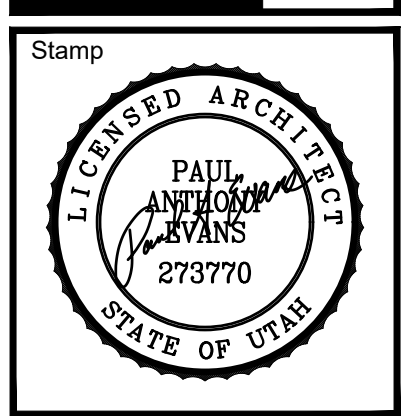
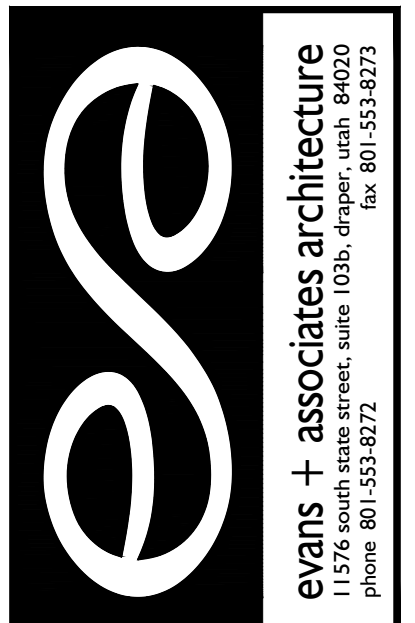
**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 10'-0"





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  - CONCRETE CURB AND GUTTER; SEE C/C501 AND D/C501
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  - 4" WIDE PAINTED PARKING STRIPS; TYPICAL
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  - TAPER CONCRETE CURB TO SIDEWALK LEVEL AT DRIVE ENTRANCES; TYPICAL BOTH SIDES; SEE G/C501
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  - 6'-0" HIGH VINYL FENCE WITH MOW STRIP; SEE G/C502
  - STORAGE BUILDING; SEE STORAGE BUILDING DRAWINGS
  - DUMPSTER ENCLOSURE; SEE C/C504
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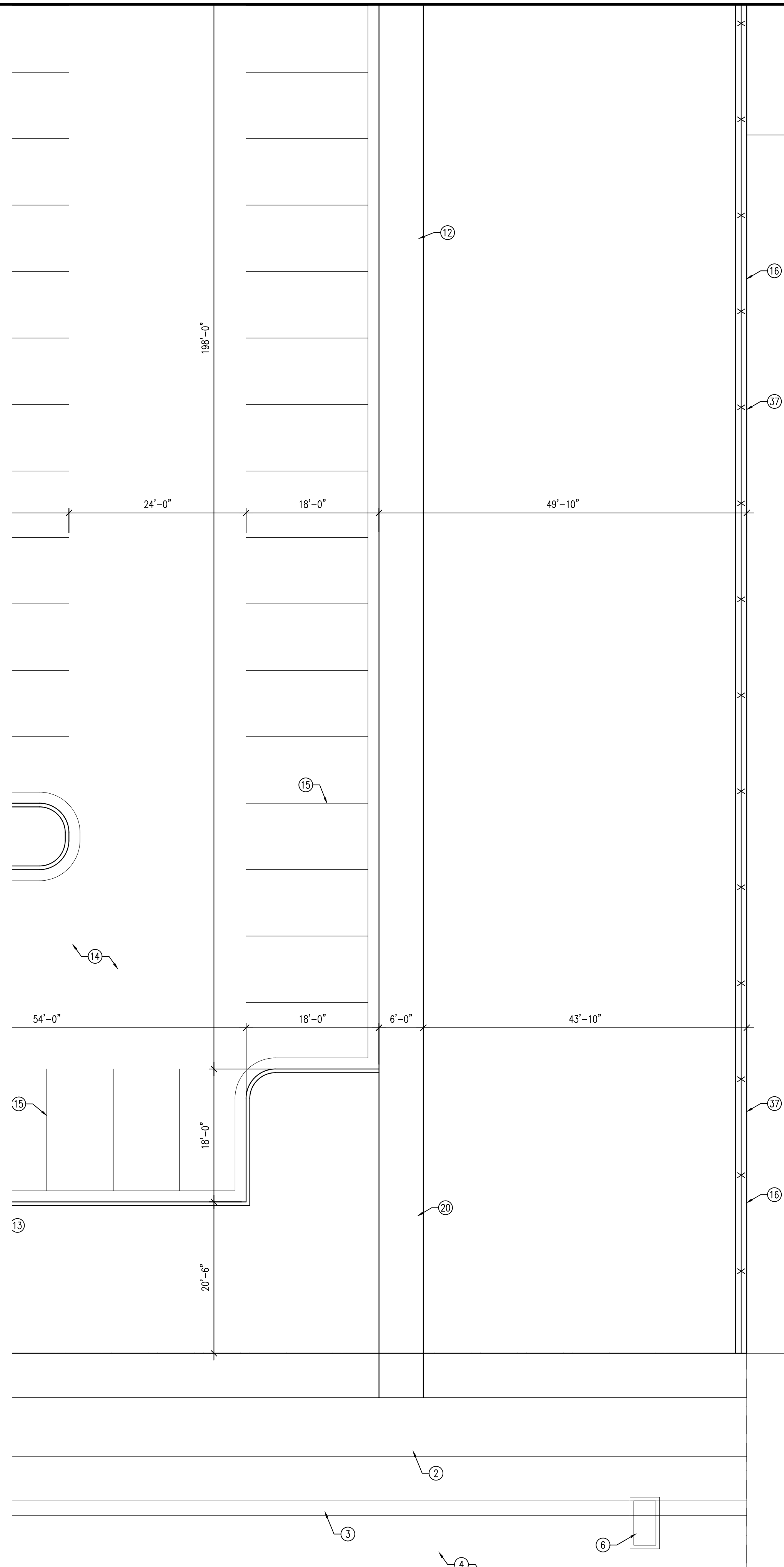
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ENLARGED ARCHITECTURAL SITE PLAN

Sheet  
**C412**

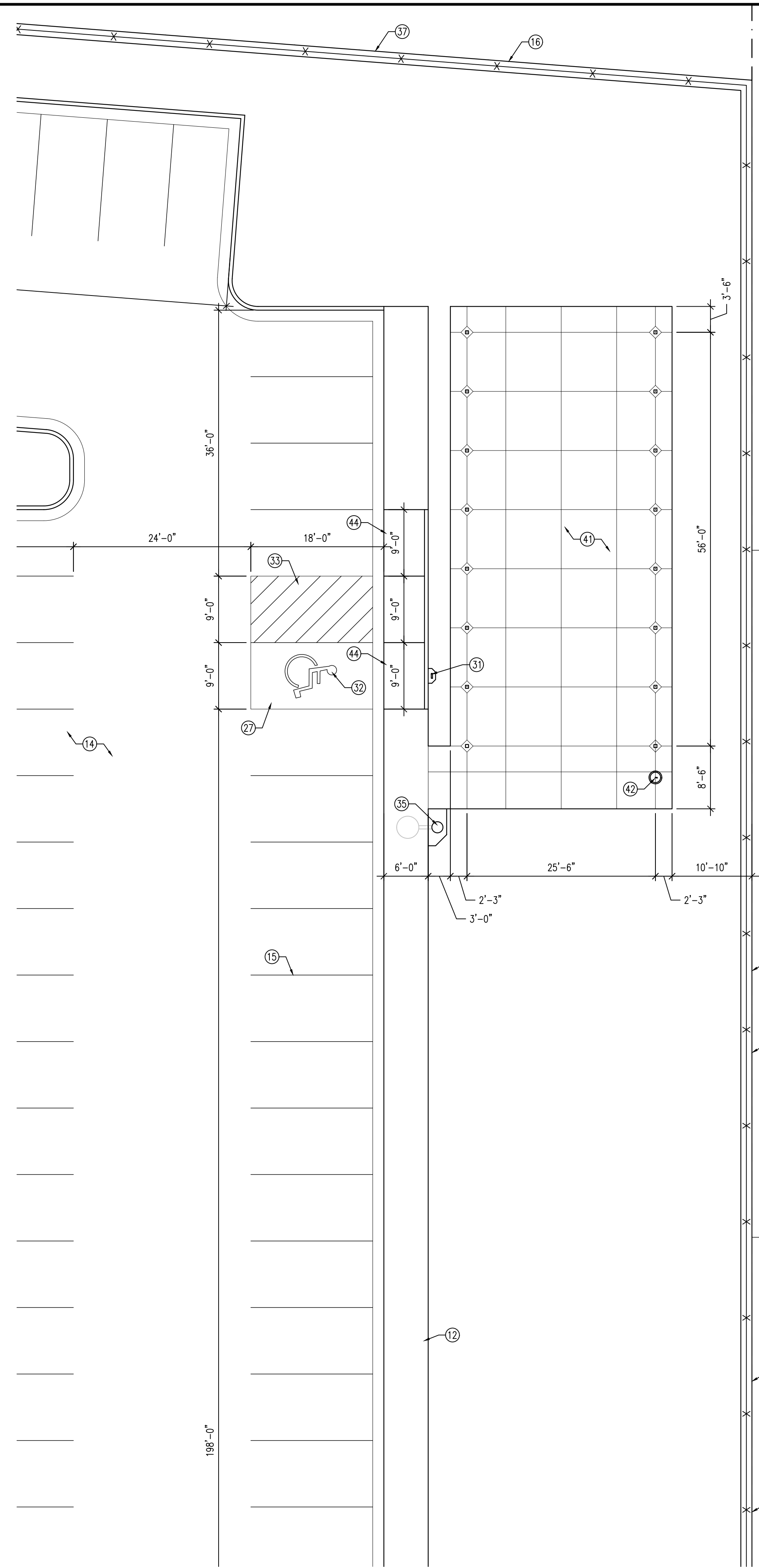
# 1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"





**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 10'-0"



**2 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 10'-0"



**KEYED NOTES**

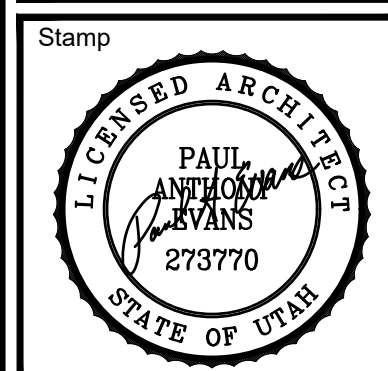
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evans + associates architecture  
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phone 801-939-9612 fax 801-939-9613



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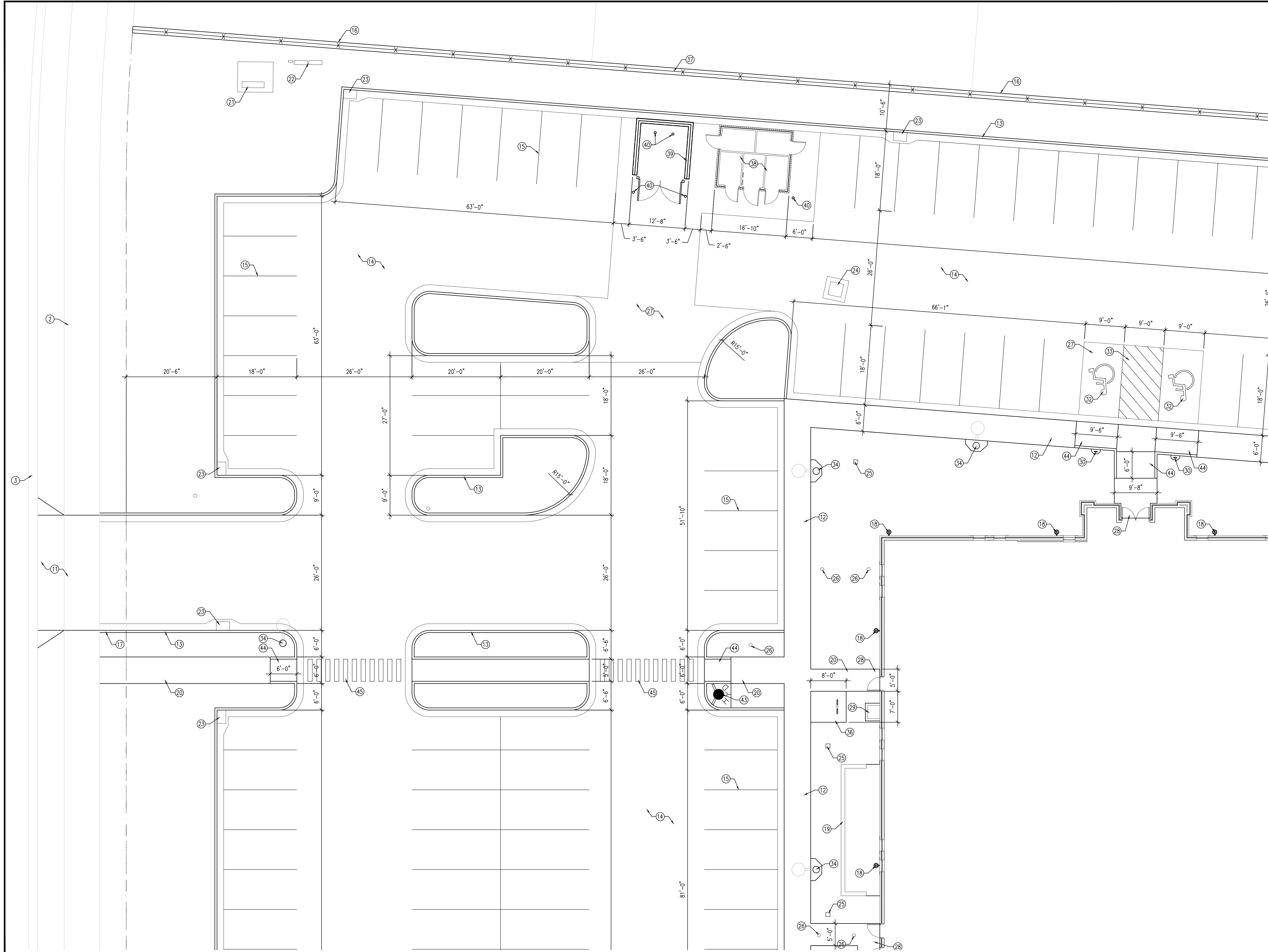
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Project Number: 23-85  
Plan Series: Heritage 23-1  
Property Number: 501-6747-23010101  
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Sheet Title:  
ENLARGED ARCHITECTURAL SITE PLAN

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**C413**



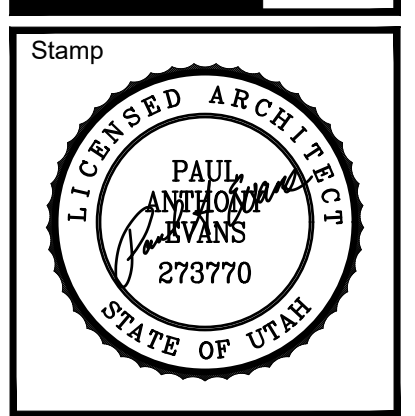
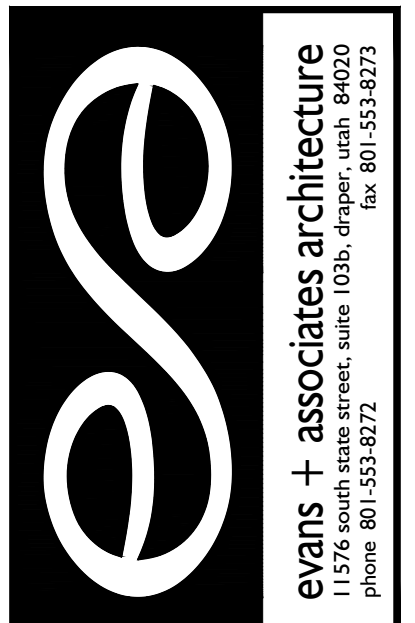


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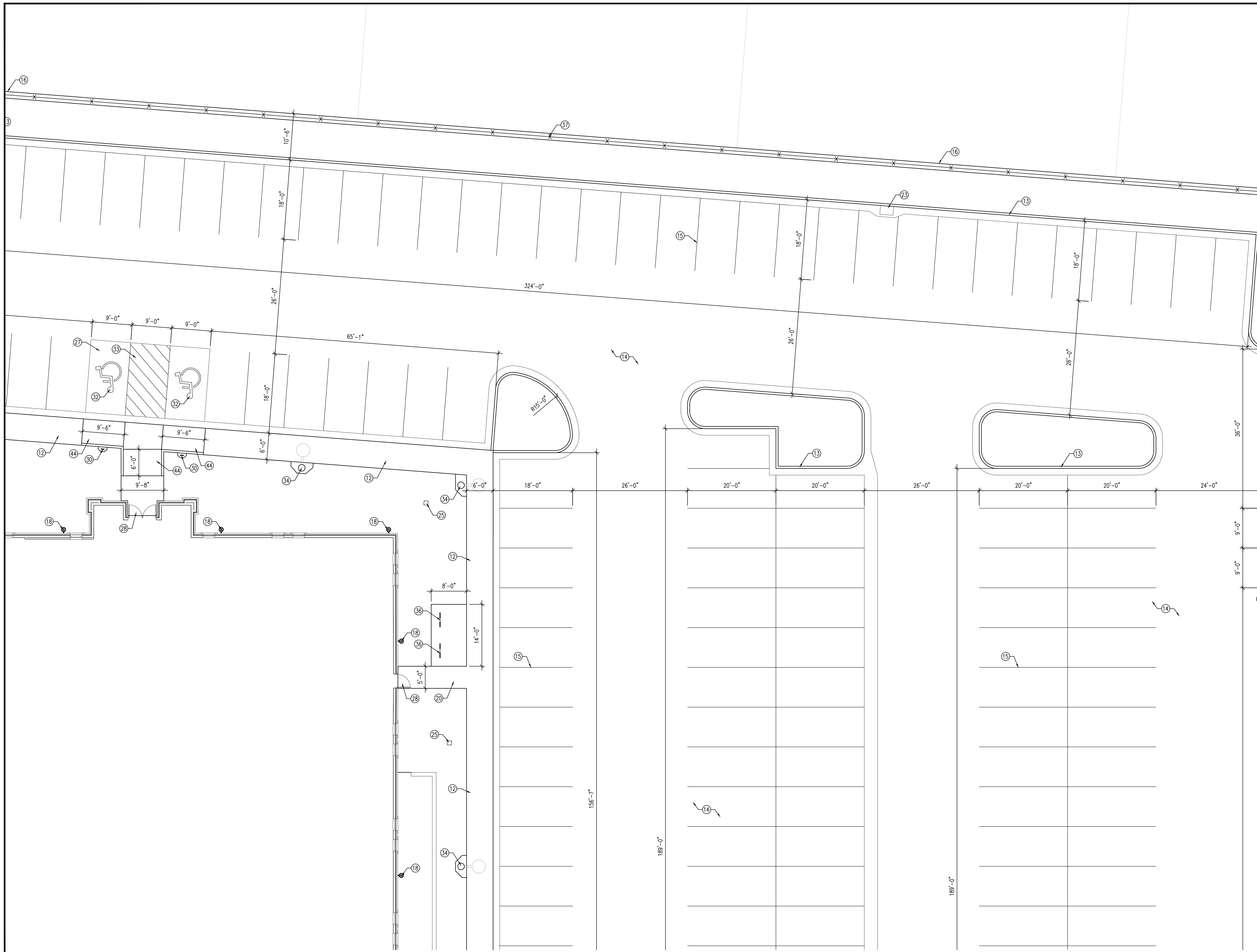
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**1 ARCHITECTURAL SITE PLAN**  
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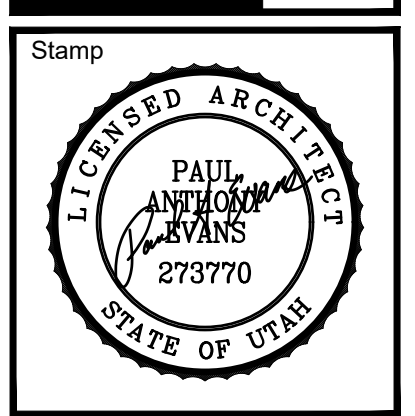


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Project Number: 23-85  
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 Property Number: 501-6747-23010101  
 Date: May 1, 2023

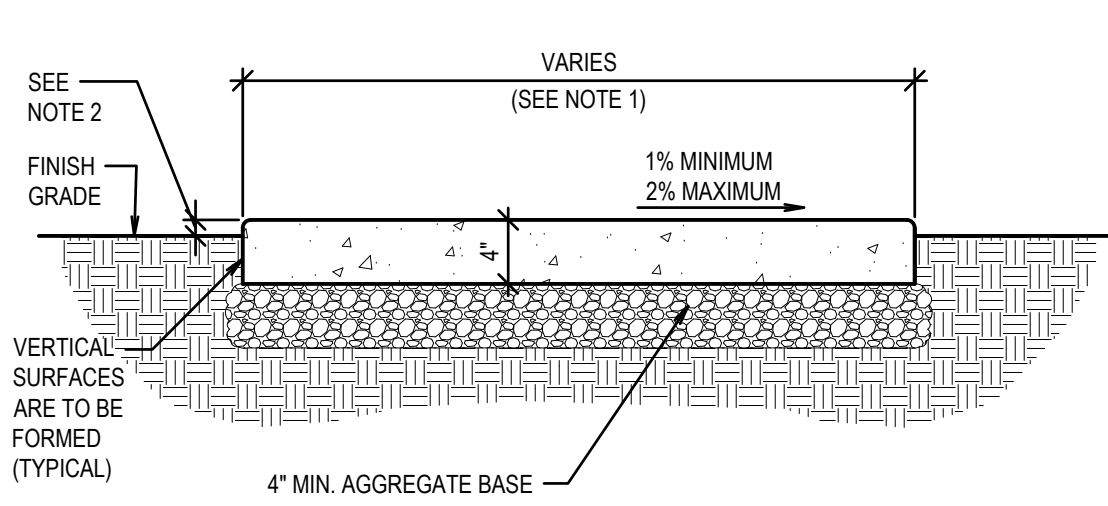
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 ENLARGED ARCHITECTURAL SITE PLAN

Sheet:  
**C415**

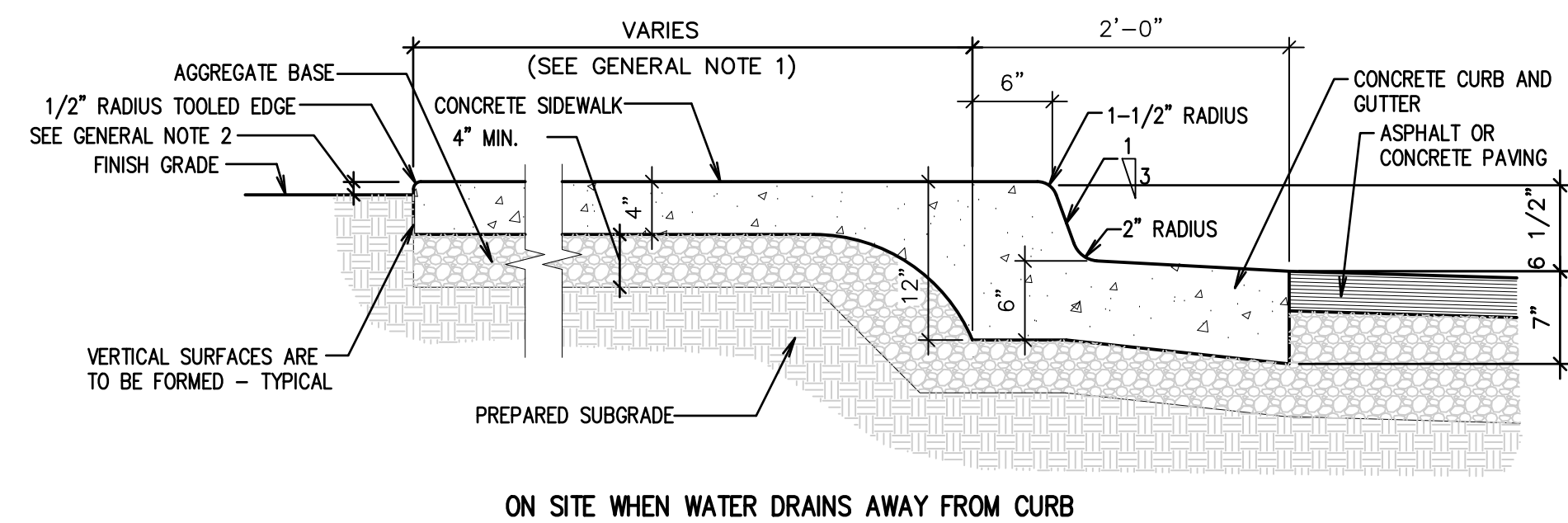
**1 ARCHITECTURAL SITE PLAN**  
 SCALE: 1" = 10'-0"



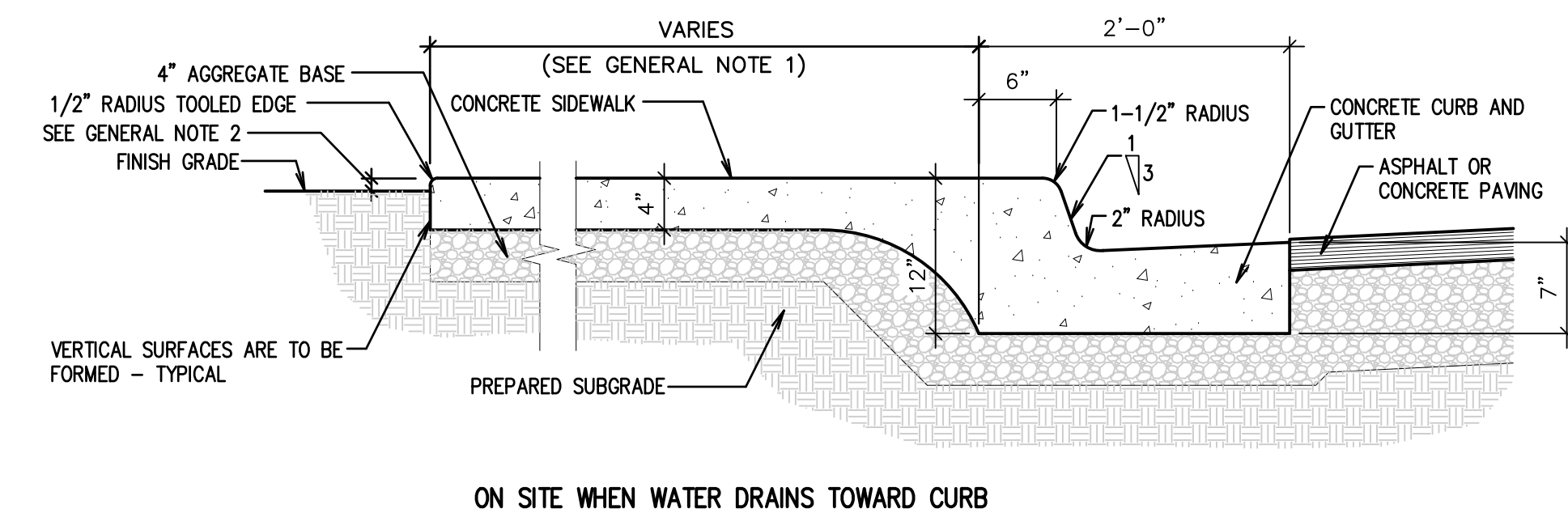




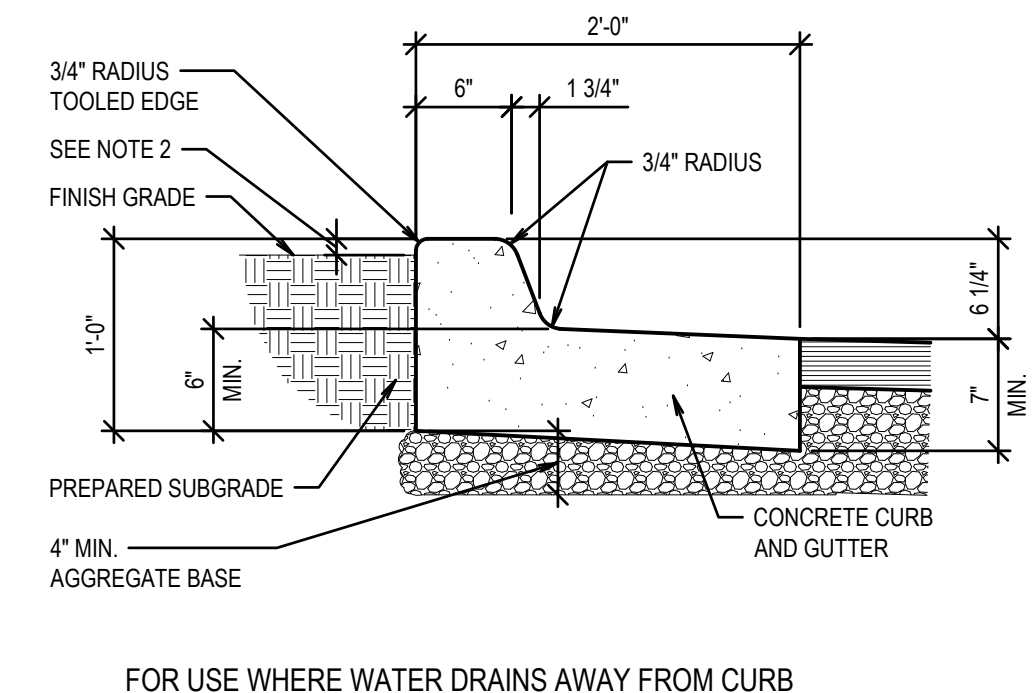
**A** SIDEWALK DETAIL



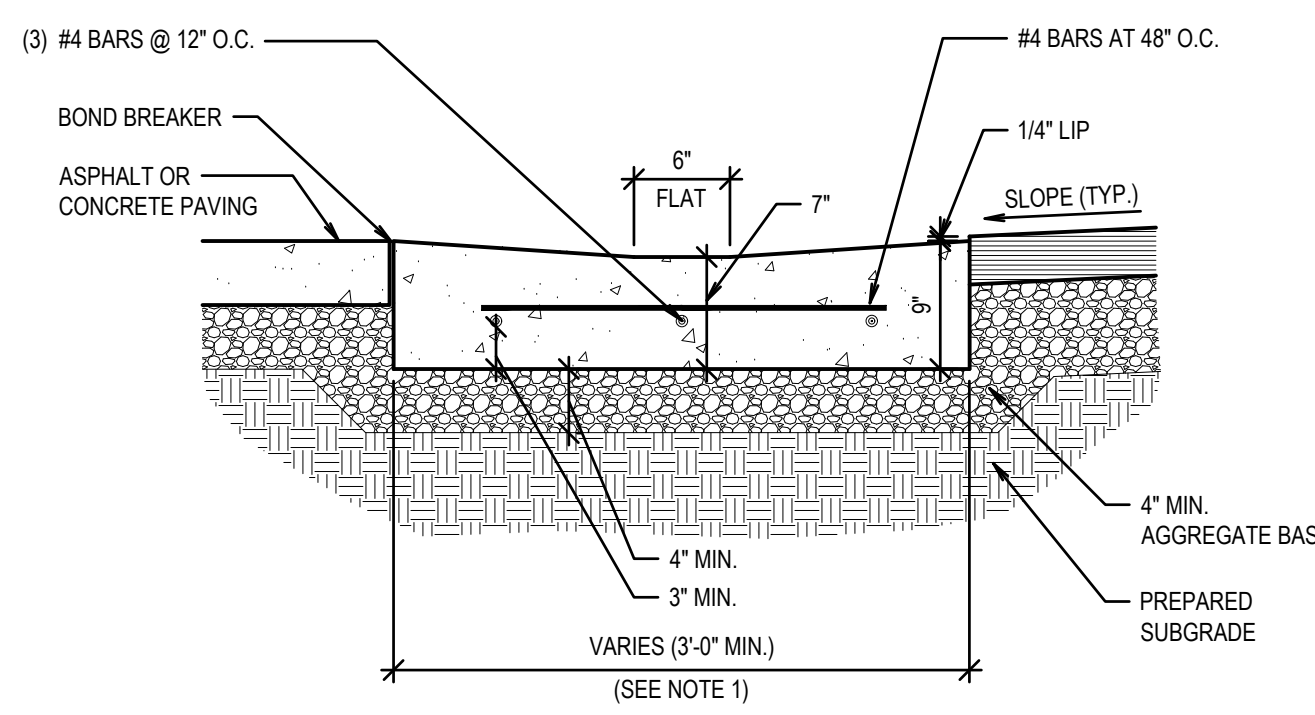
**B** INTEGRAL SIDEWALK, CURB AND GUTTER



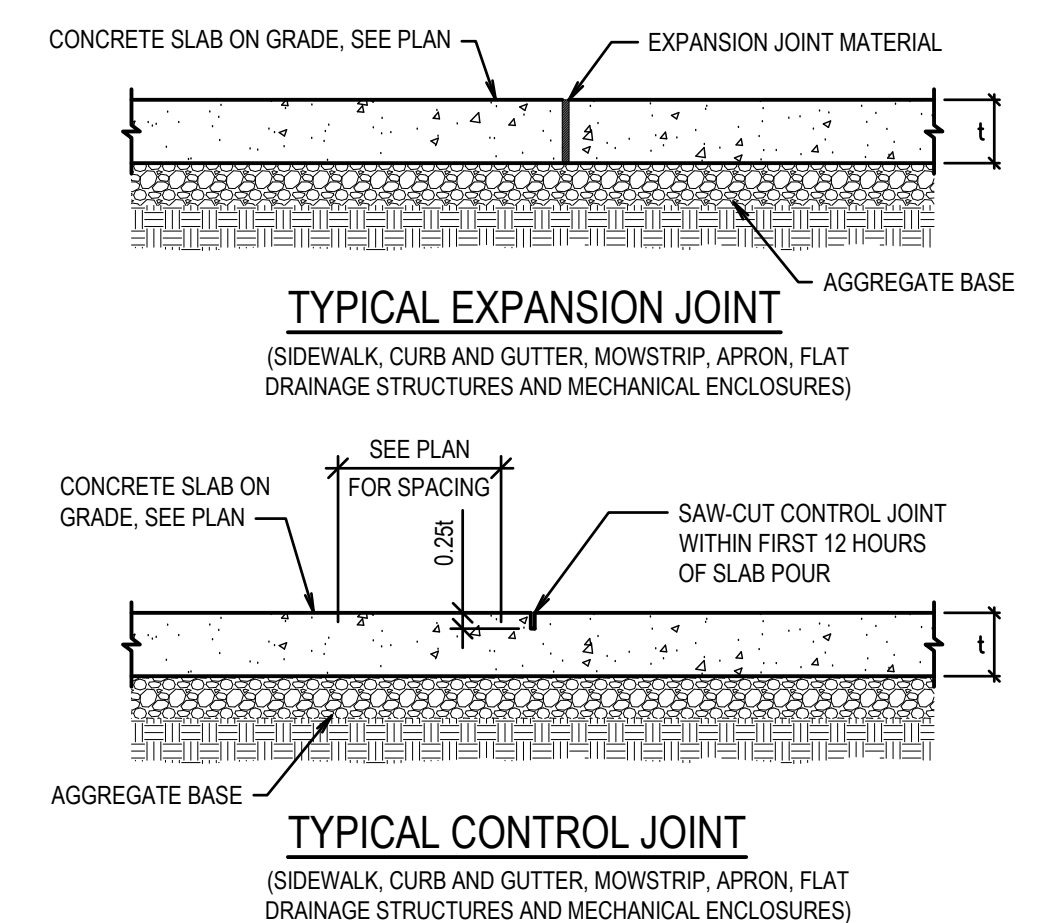
**C** CURB AND GUTTER - IN FLOW



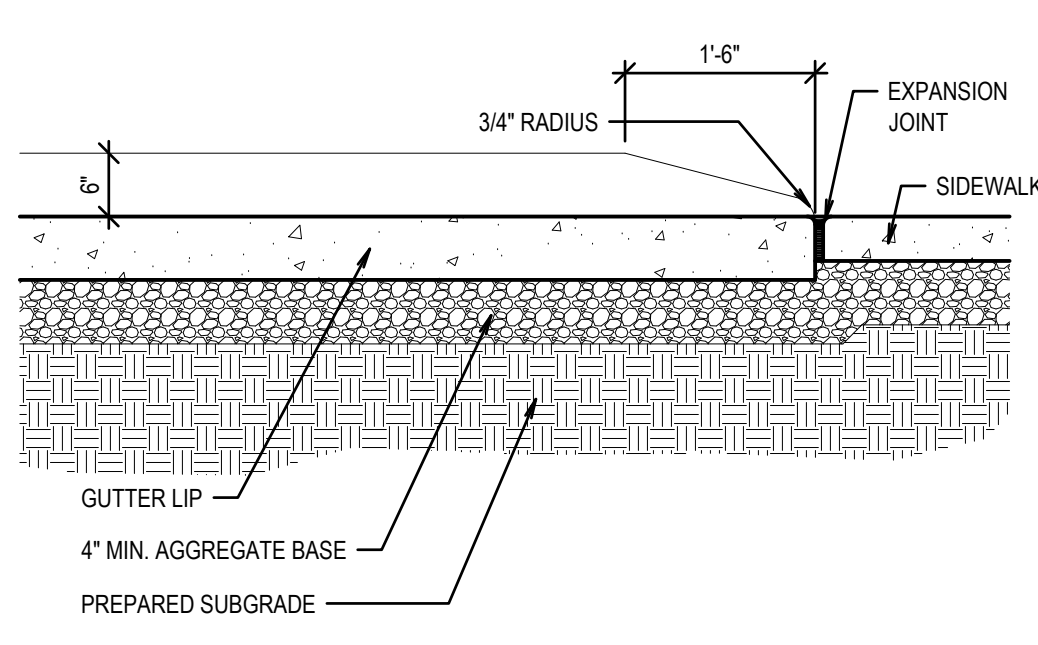
**D** CURB AND GUTTER - OUT FLOW



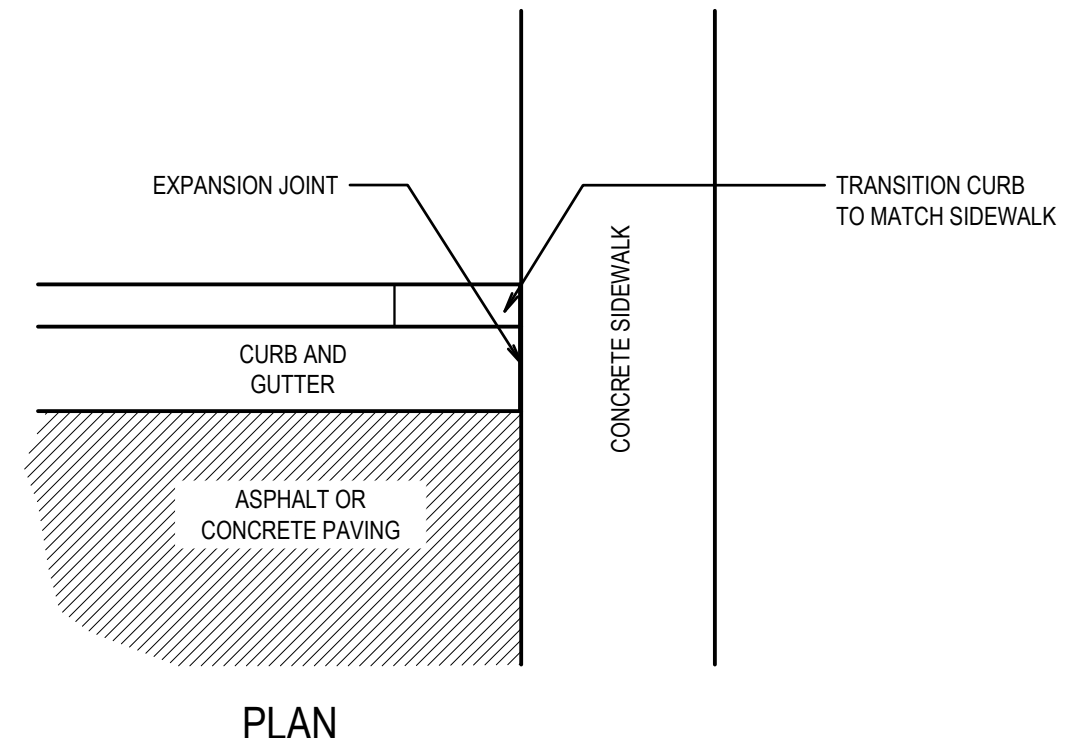
**E** CONCRETE WATERWAY - FLAT DRAINAGE STRUCTURE



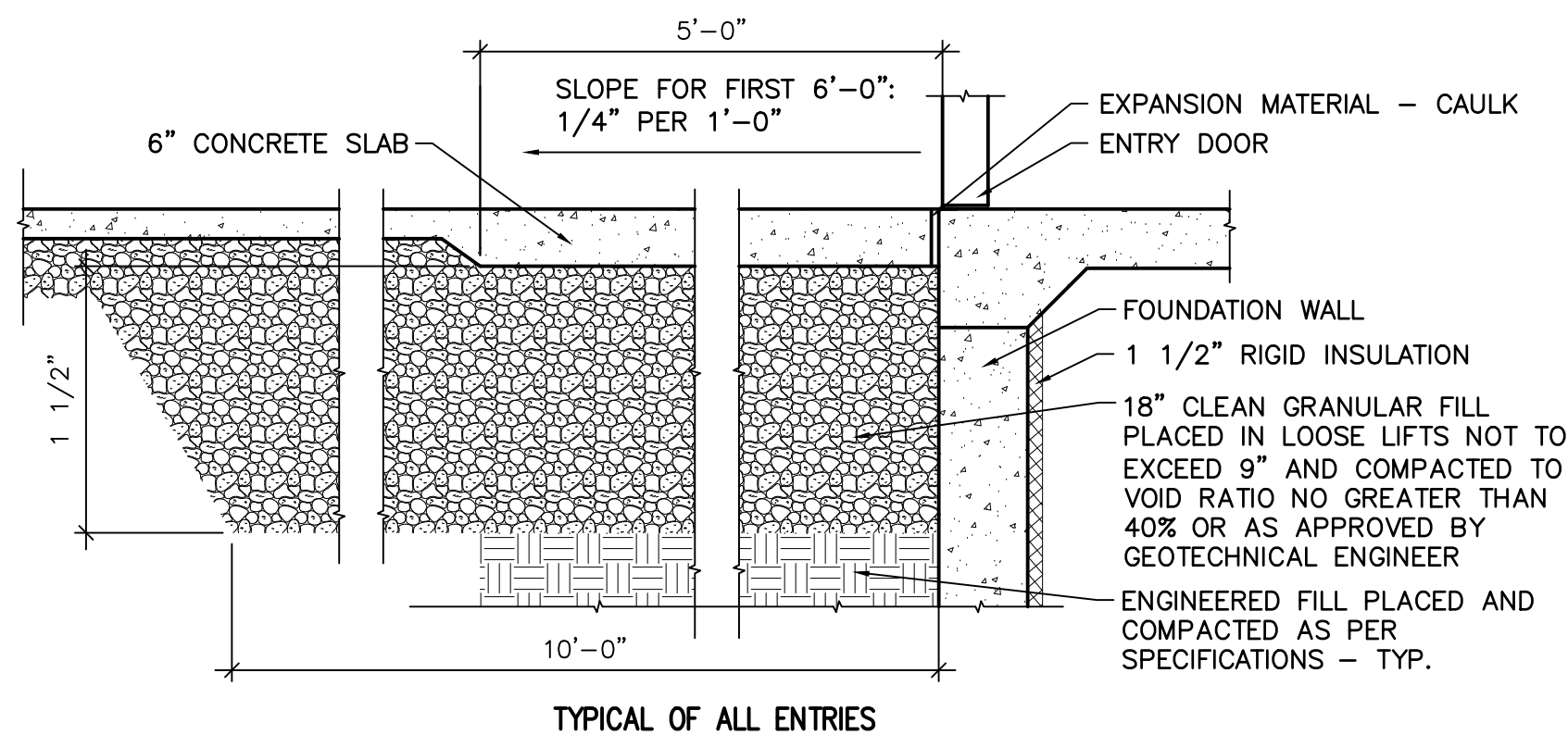
**F** EXPANSION AND CONTROL JOINT



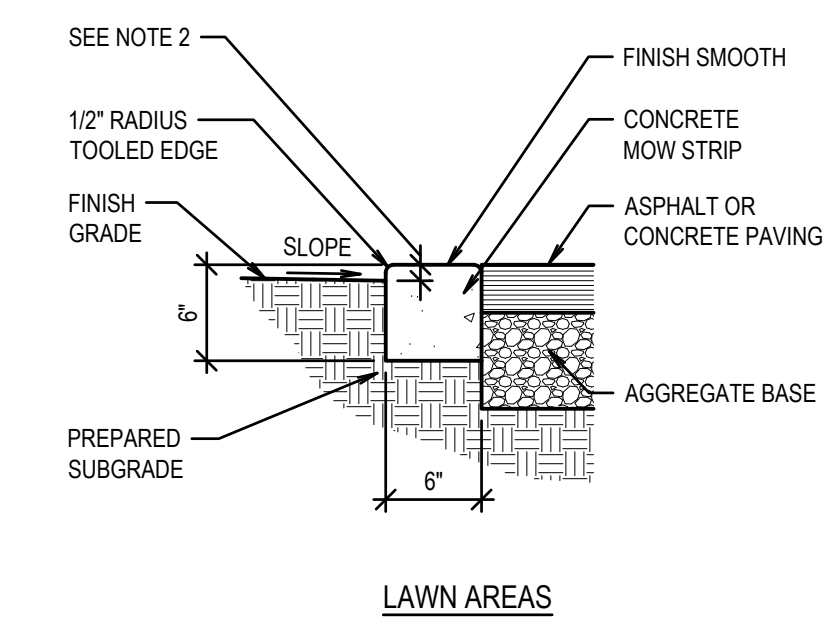
**G** CURB TRANSITION



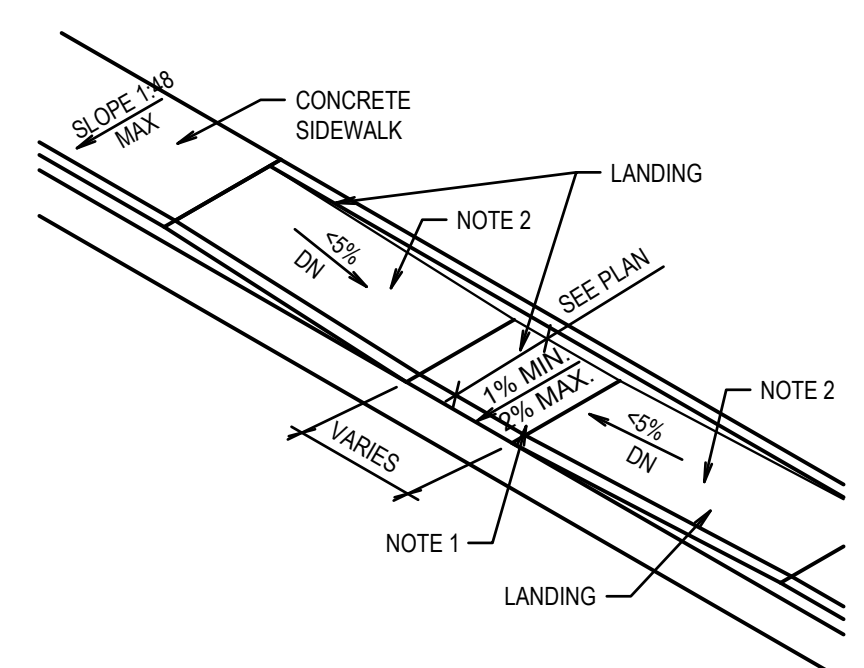
**H** ENTRY DETAIL



**I** ENTRY DETAIL



**J** MOW STRIP

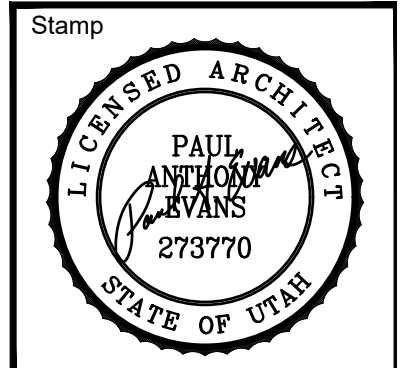
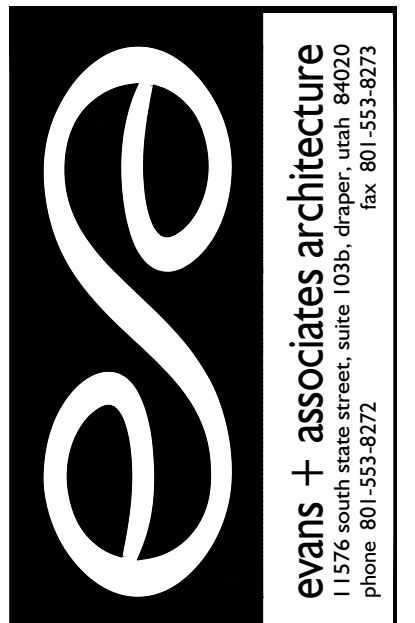


**K** ACCESSIBLE SLOPED WALK DETAILS

- NOTES:**
- UNLESS REQUIRED OTHERWISE BY THE AUTHORITY HAVING JURISDICTION, USE A LIGHT BROOM FINISH ON RAMP AND LANDINGS TO MATCH THE FINISHES ON THE SIDEWALKS.
  - 5% (MAXIMUM) IN DIRECTION OF TRAVEL. LIMIT CROSS SLOPE ON SIDEWALKS 2%.
  - ALL LANDINGS MUST HAVE 1:48 CROSS SLOPE AND RUNNING SLOPE. LANDING MUST BE AS WIDE AS THE RAMP.
  - CROSS SLOPE ON RAMP MUST BE 1:48 OR LESS.
  - COUNTER SLOPES OF ADJOINING GUTTERS AND PAVING ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20 (5%), ALTHOUGH CODE ALLOWS A 17/12H (8.33%) SLOPE.

**GENERAL NOTES**

- SEE SITE PLAN FOR APRON, MOW STRIP AND SIDEWALK LOCATIONS AND WIDTHS.
- 1" PRIOR TO SEEDING, 2" PRIOR TO SODDING AND 4" IN PLANTING AREAS.
- EXPANSION JOINT MATERIAL SHALL BE RECESSED 1/4" WHERE SEALANT IS NOT APPLIED, AND 1/2" WHERE SEALANT IS APPLIED.
- EXTERIOR CONCRETE: USE 4,500 PSI. MIN. IF EXPOSED TO FREEZE-THAW CYCLES AND/OR DE-ICER SALTS. USE 3,000 PSI MIN. OTHERWISE EXCEPT USE 4,000 PSI AT CONCRETE PAVING.
- CONTRACTOR TO INSTALL EXPANSION AND CONTROL JOINTS AS REQUIRED PER THE SPECIFICATIONS.
- ALL AGGREGATES SHALL SATISFY ASTM AND DEPARTMENT OF TRANSPORTATION STRENGTH AND DURABILITY REQUIREMENTS. GRANITE AGGREGATES ARE PREFERRED BUT HIGH QUALITY LIMESTONE AGGREGATES ARE ACCEPTABLE. SEE SPECIFICATION.
- ALL REINFORCING BARS ARE TO BE EPOXY COATED, IN CONCRETE CURBS, GUTTERS, SIDEWALKS, PAVING, BASINS.



A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
 Parcel: 400 South Main Street  
 Vineyard, Utah

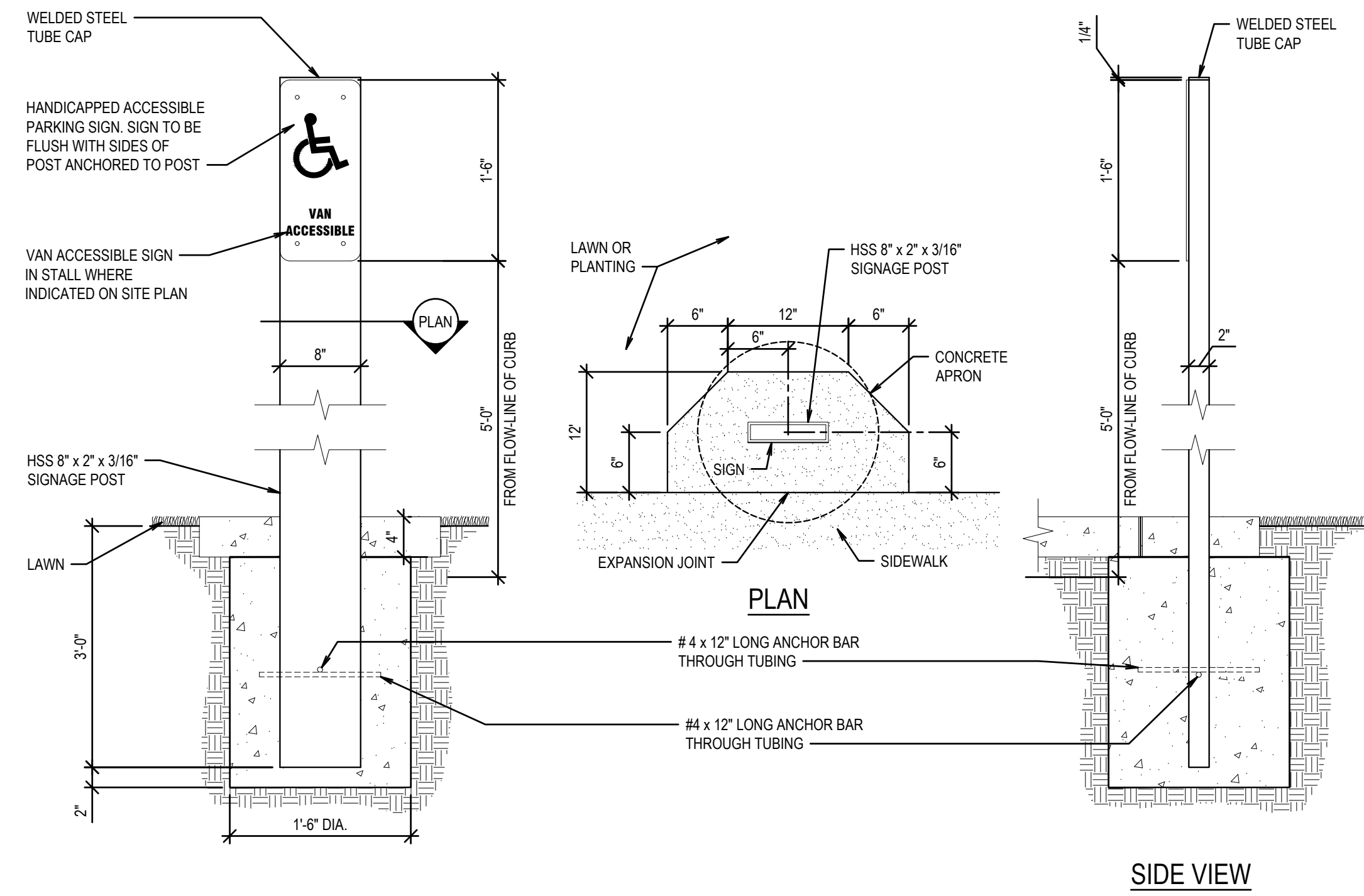
Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description	Date	Mark

Project Number: 23-85  
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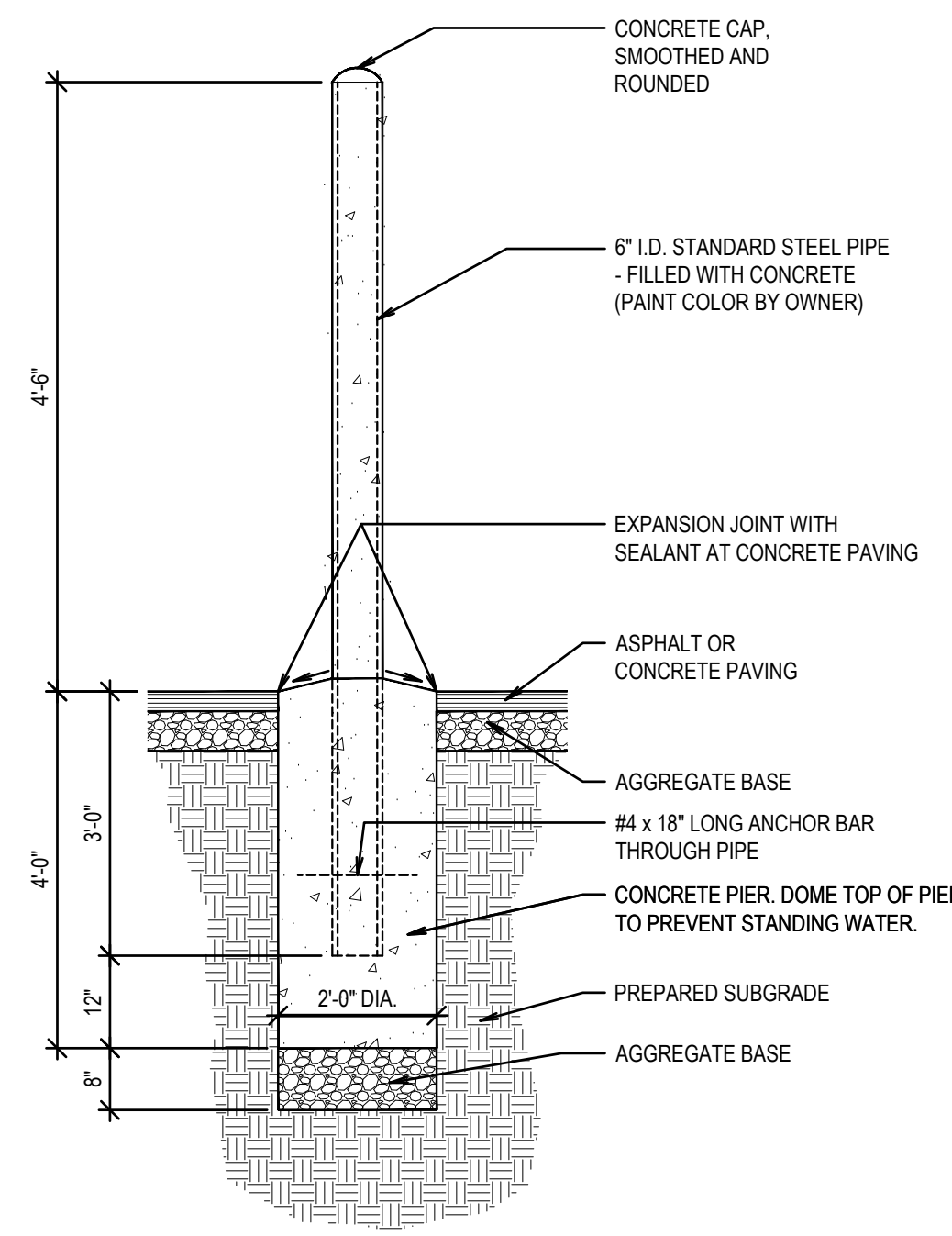
Sheet Title:  
 SITE DETAILS

Sheet:  
**C501**



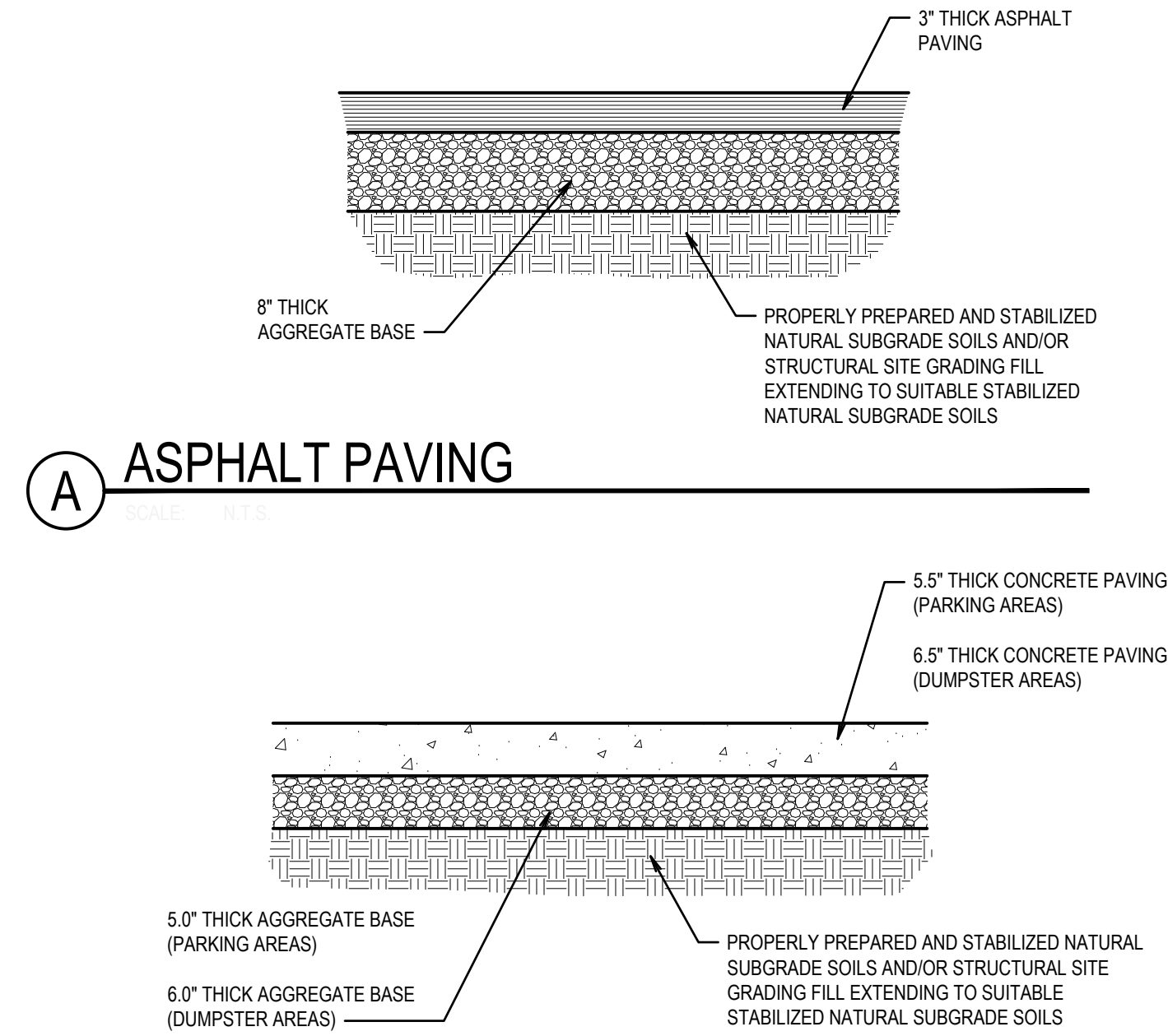
**B** ACCESSIBLE STALL SIGN (TRAFFIC SIGNAGE)

STEEL PER DIVISION 05  
INSTALL PER DIVISION 03

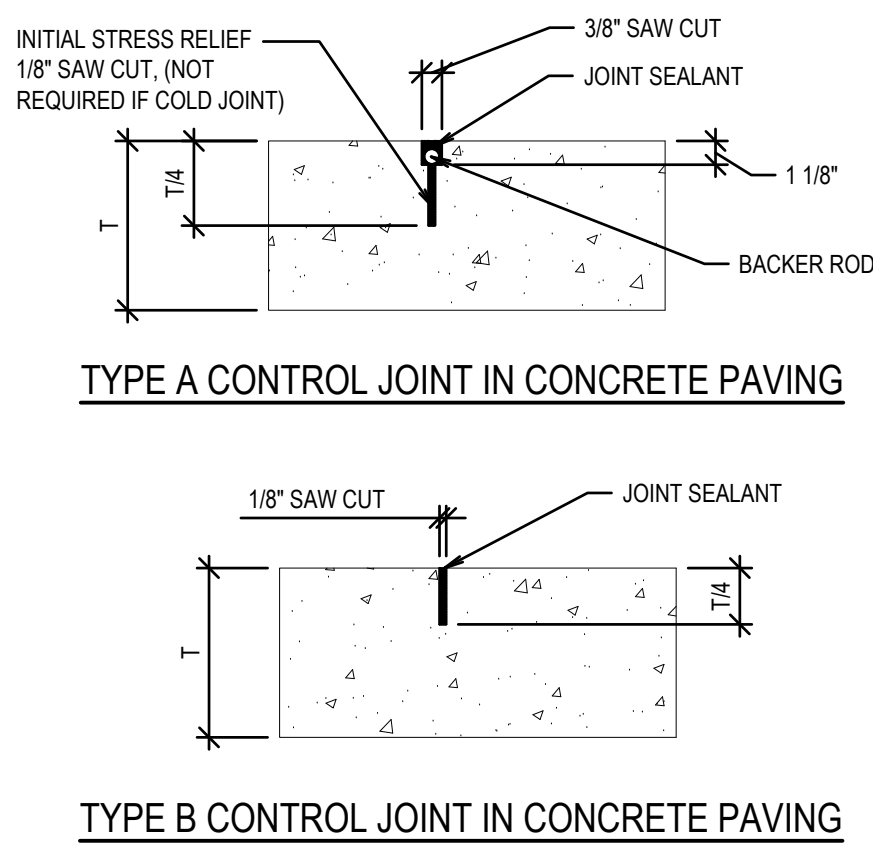


**C** CONCRETE BOLLARD

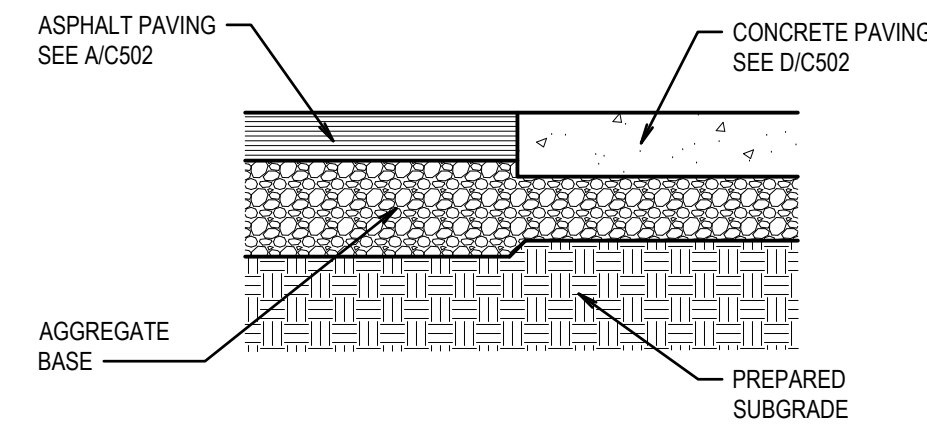
STEEL PER DIVISION 05  
INSTALL PER DIVISION 03



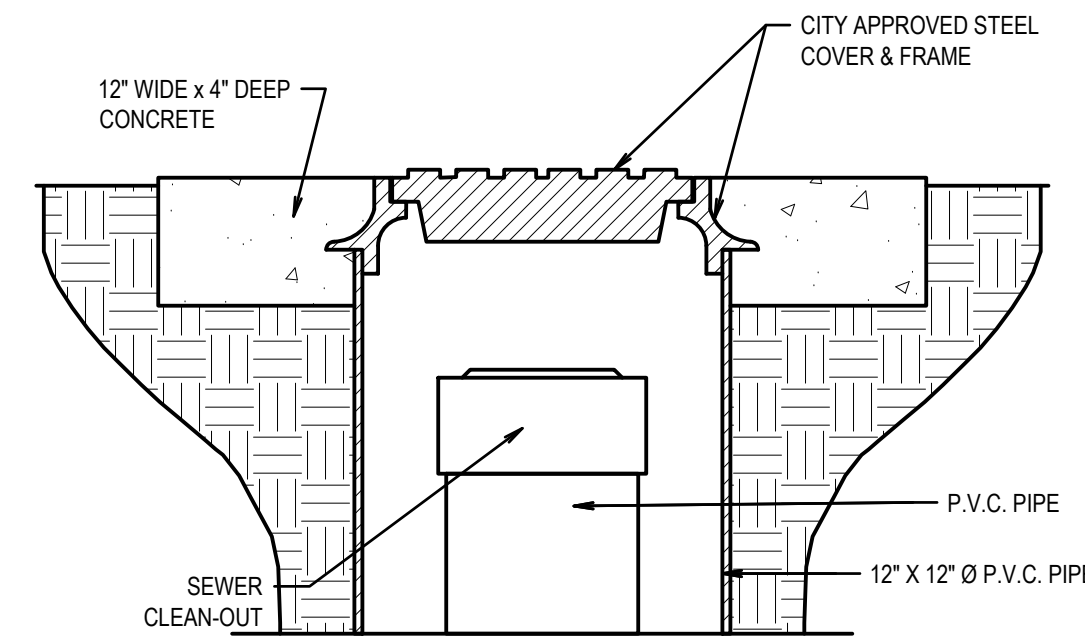
**D** CONCRETE PAVING



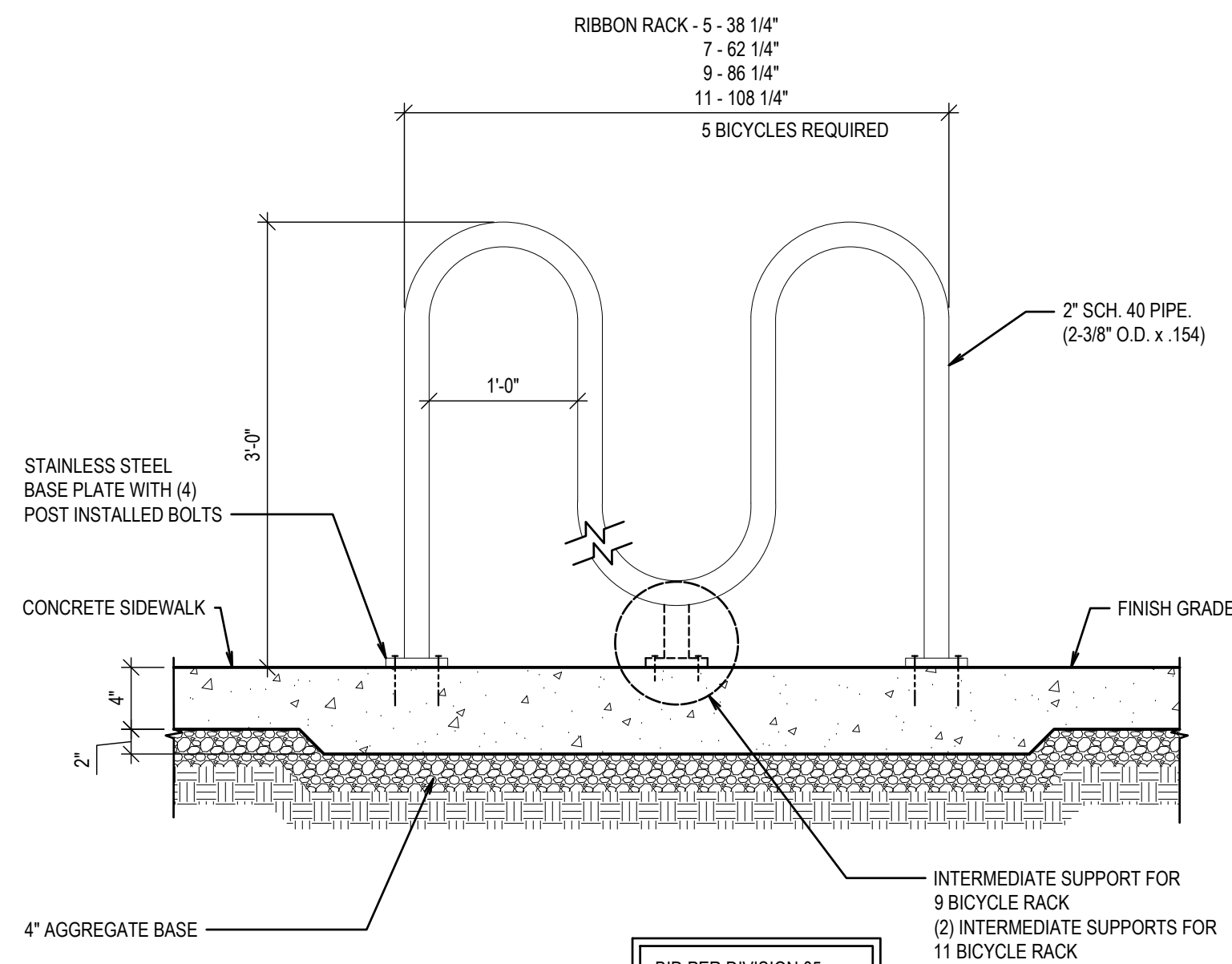
**E** CONCRETE PAVING JOINT DETAILS



**F** JOINT BETWEEN ASPHALT AND CONCRETE PAVING

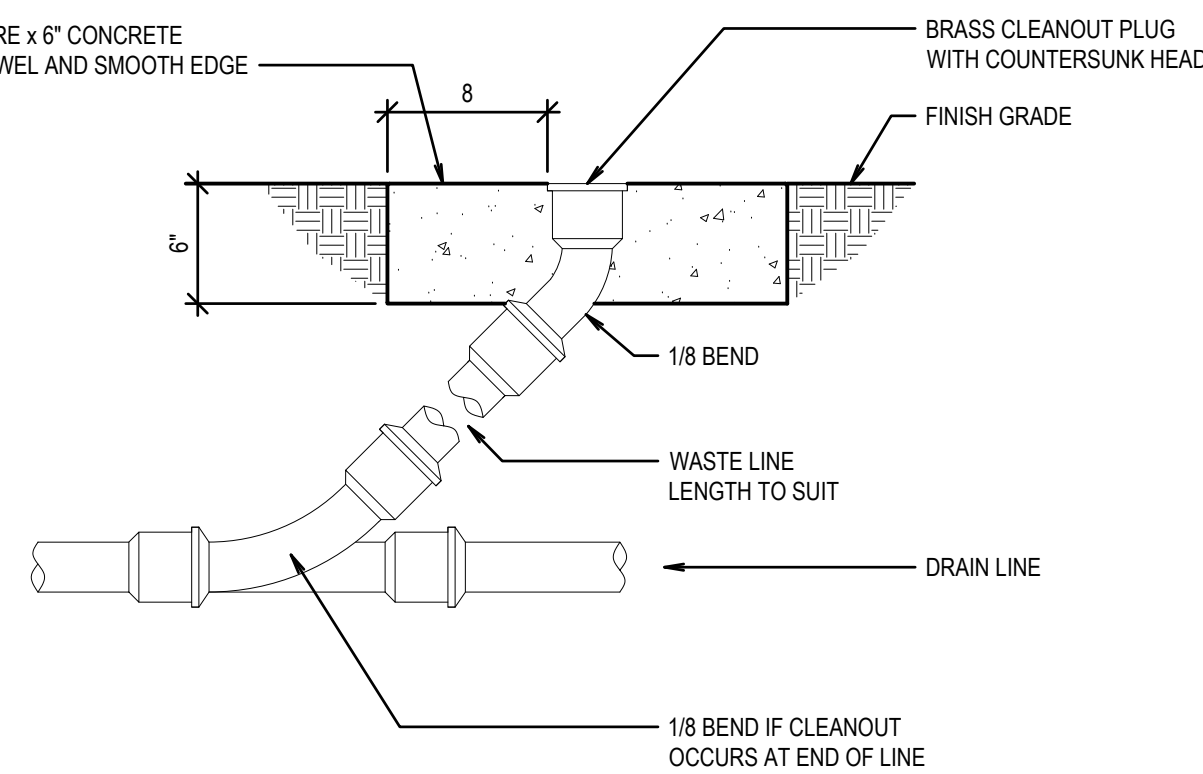


**H** SEWER CLEAN-OUT

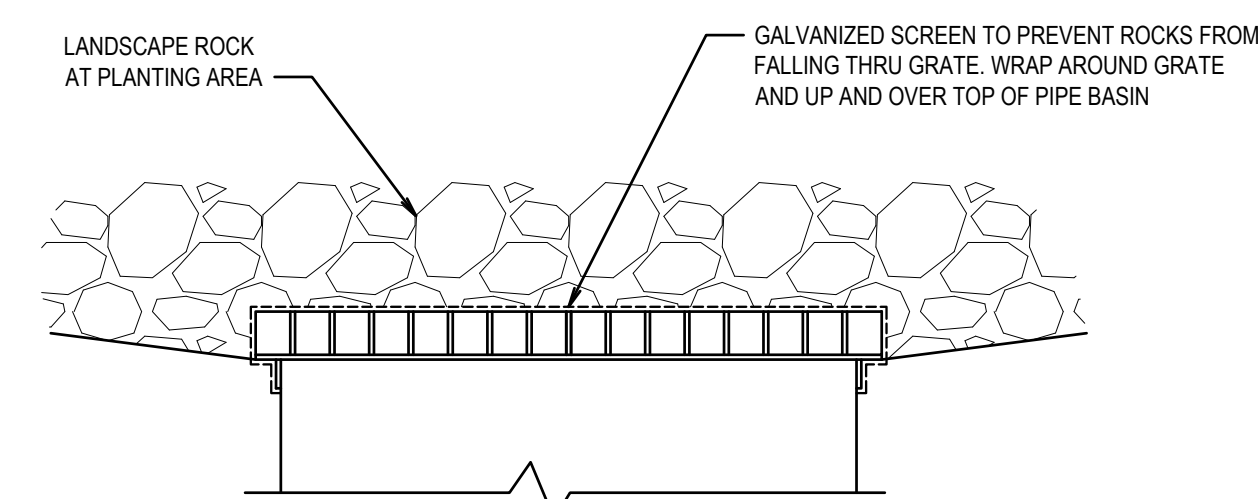


**J** BICYCLE RACK DETAIL

BID PER DIVISION 05  
INSTALL PER DIVISION 03



**K** CLEAN-OUT



**L** AREA DRAIN SCREEN AT ROCK MULCH

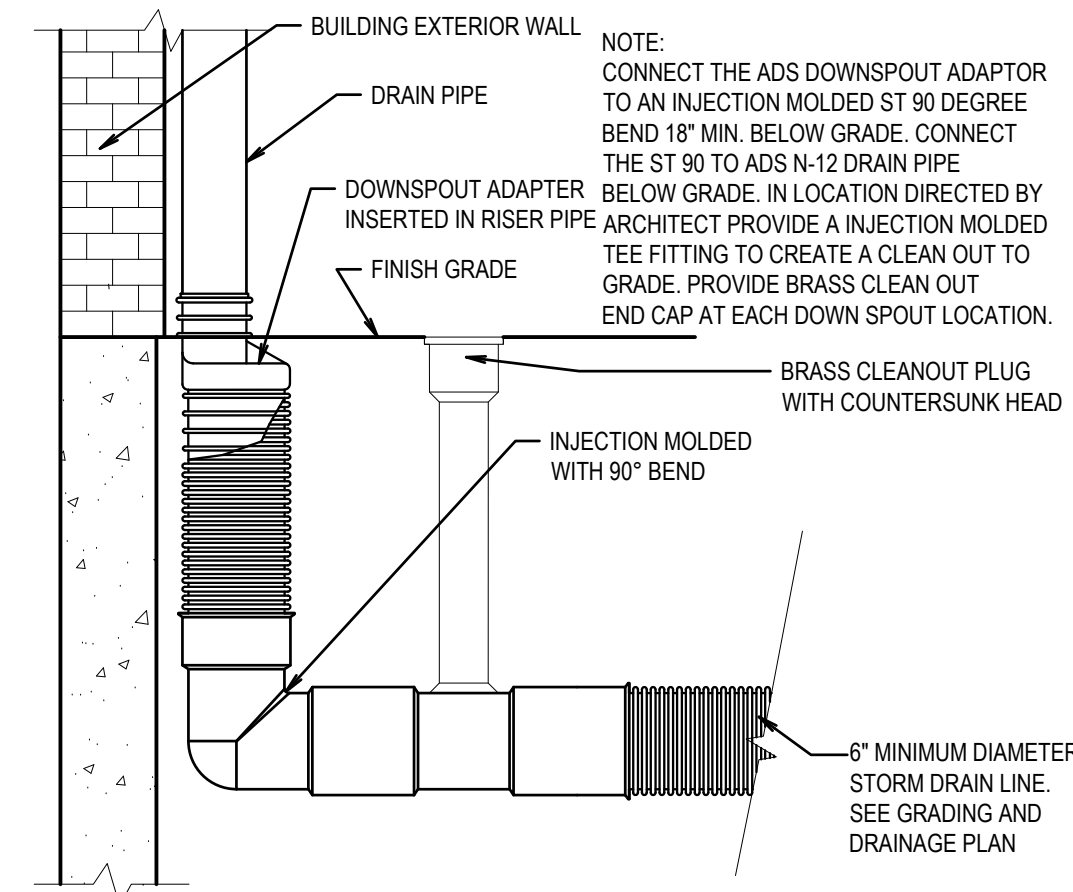
NOTE: (DIAMETER OF BASIN DETERMINED BY NUMBER OF PIPES IN AND OUT)

Revisions	Description	Date	Mark

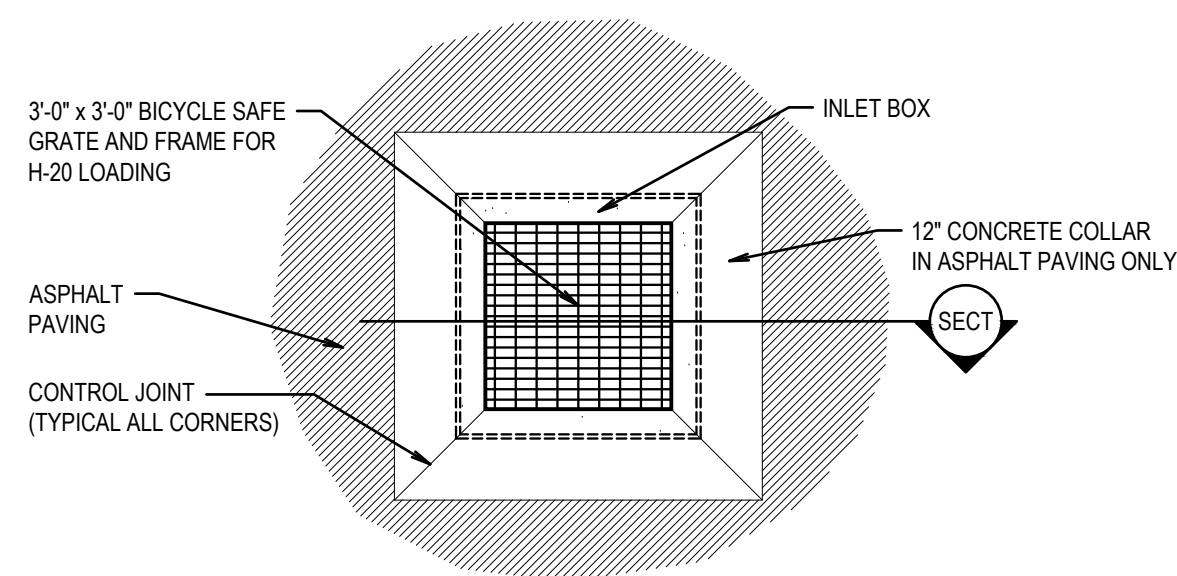
Project Number: 23-85  
Plan Series: Heritage 23-1  
Property Number: 501-6747-23010101  
Date: May 1, 2023

Sheet Title:  
**SITE DETAILS**

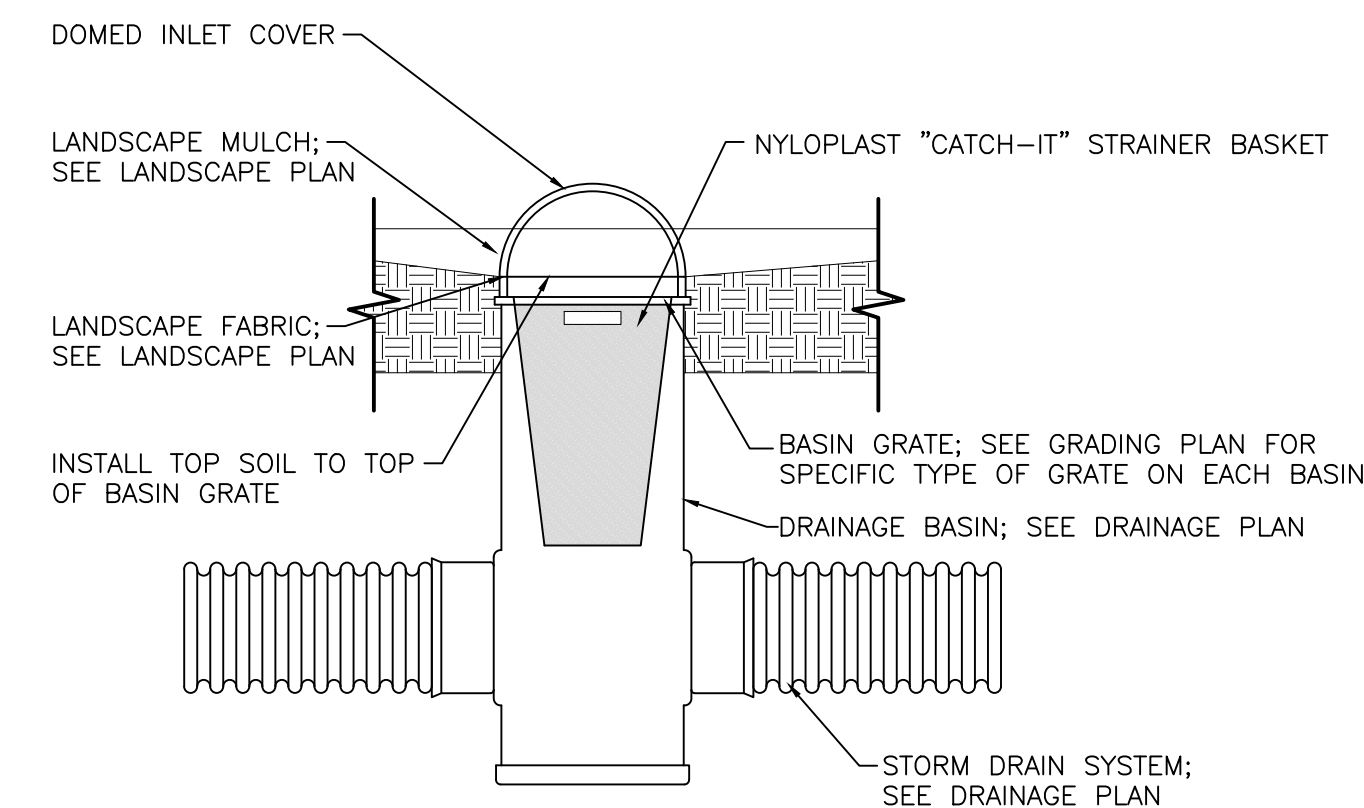
Sheet:  
**C502**



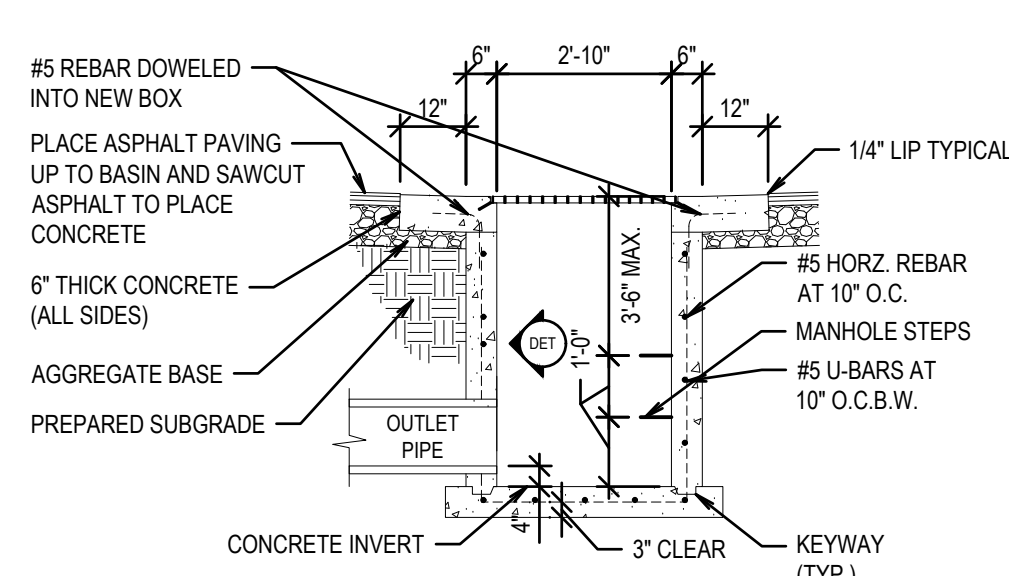
**A** ROOF DRAIN CONNECTION



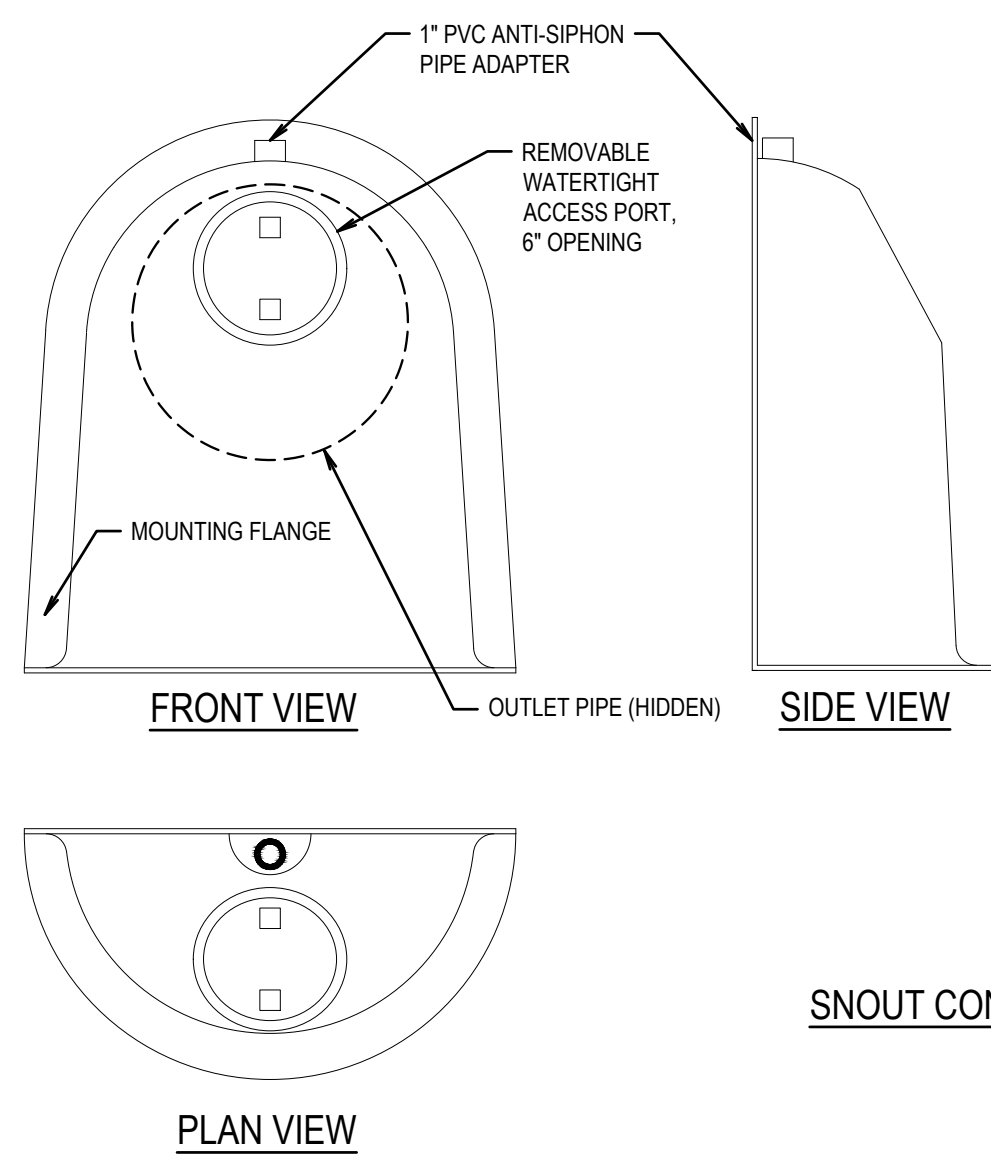
**C** INLET BOX IN ASPHALT WITH 12" CONCRETE COLLAR



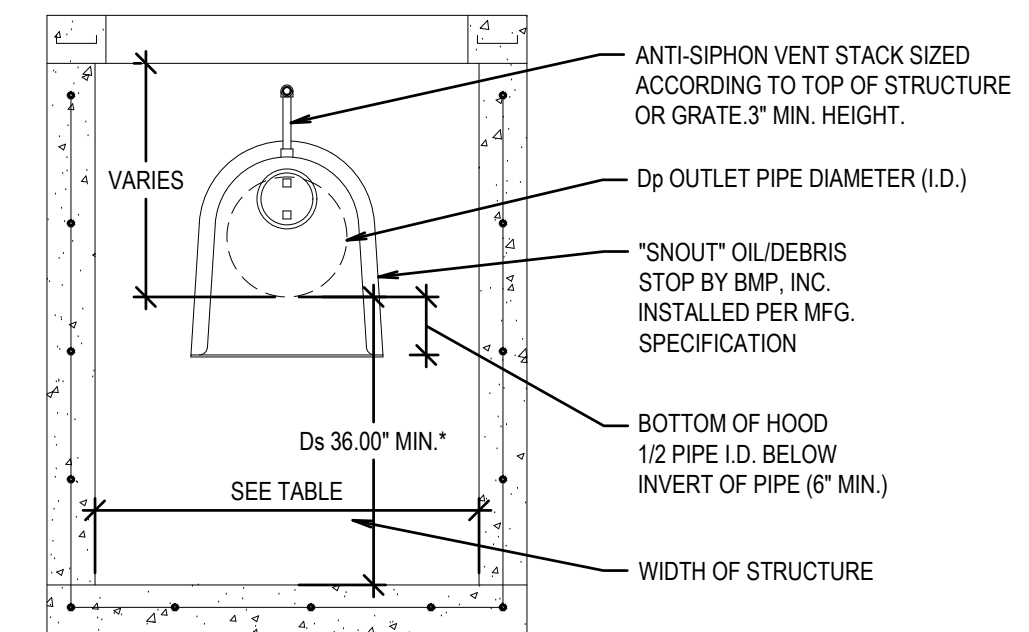
**B** AREA NYLOPLAST DRAIN BOX



**E** STORM GRATE AND DRAIN DETAILS



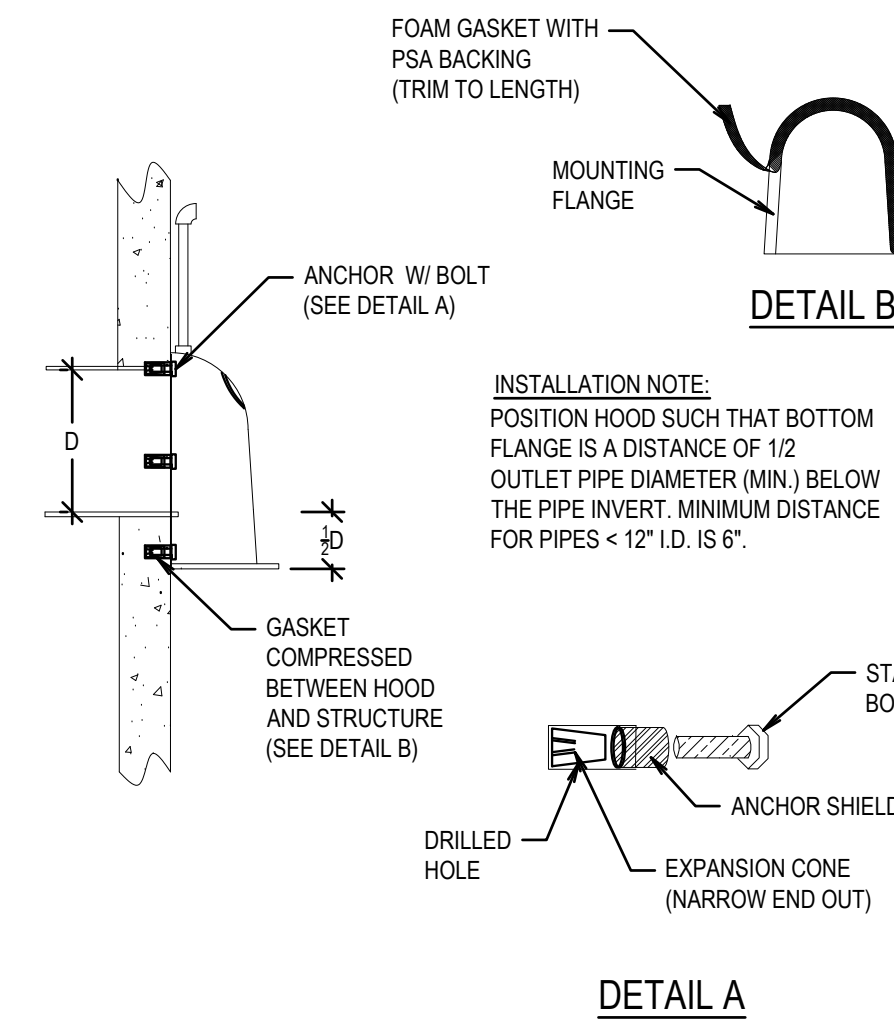
**D** SNOOT OIL-WATER DEBRIS SEPARATOR



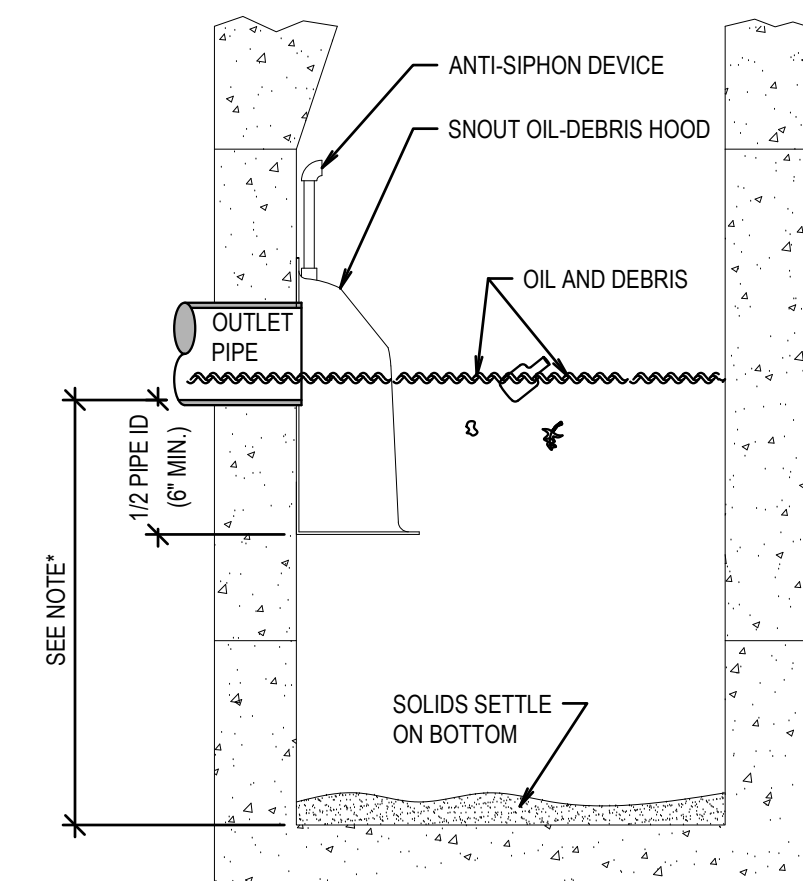
**F** TYPICAL INSTALLATION

**SPECIFICATIONS:**

- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 53 MT. ARCHER RD. LYME, CT 06371 (860) 434-0277, (860) 434-3195 FAX TOLL FREE: (800) 504-8008 OR (888) 354-7585 WEB SITE: www.bmpinc.com OR PRE-APPROVED EQUAL.
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125\"/>



**G** DETAIL A



**H** SNOOT OIL-WATER DEBRIS SEPARATOR

**SIZING EXAMPLES:**

OUTLET HOLE SIZE	SNOOT SIZE	STRUCTURE SIZE
11.9\"/>		

NOTE: USE ONLY \"F\" SERIES SNOOTS FOR RECTANGULAR OR SQUARE STRUCTURES, AVAILABLE IN 12\", 18\", 24\", 30\", 48\", AND 96\"/>

US Patent # 6126817

**HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES**

DESCRIPTION	DATE	SCALE
OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)	09/08/00	NONE
	DRAWING NUMBER	SP-SN

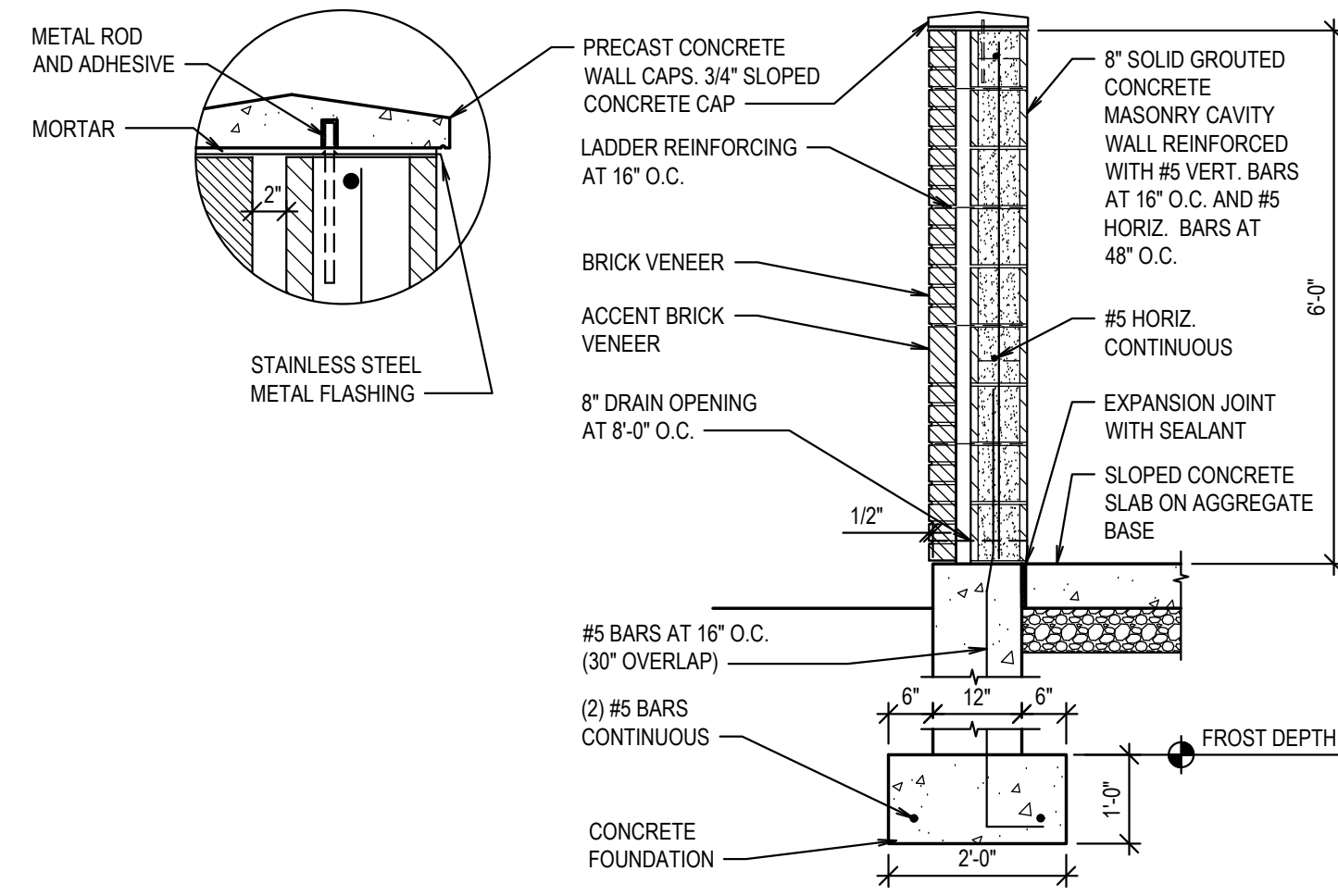
Revisions	Description	Date	Mark

Project Number: 23-85  
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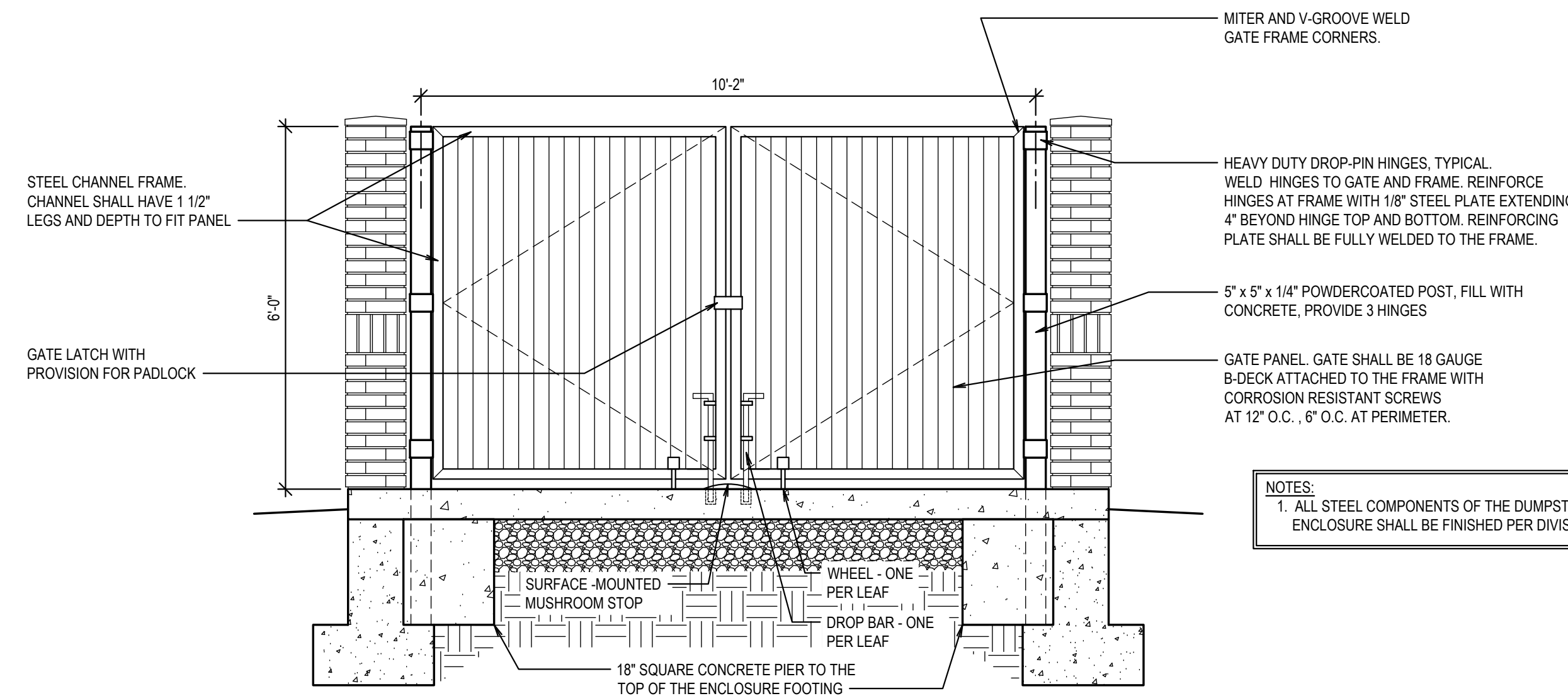
Sheet Title:  
**SITE DETAILS**

Sheet:  
**C503**

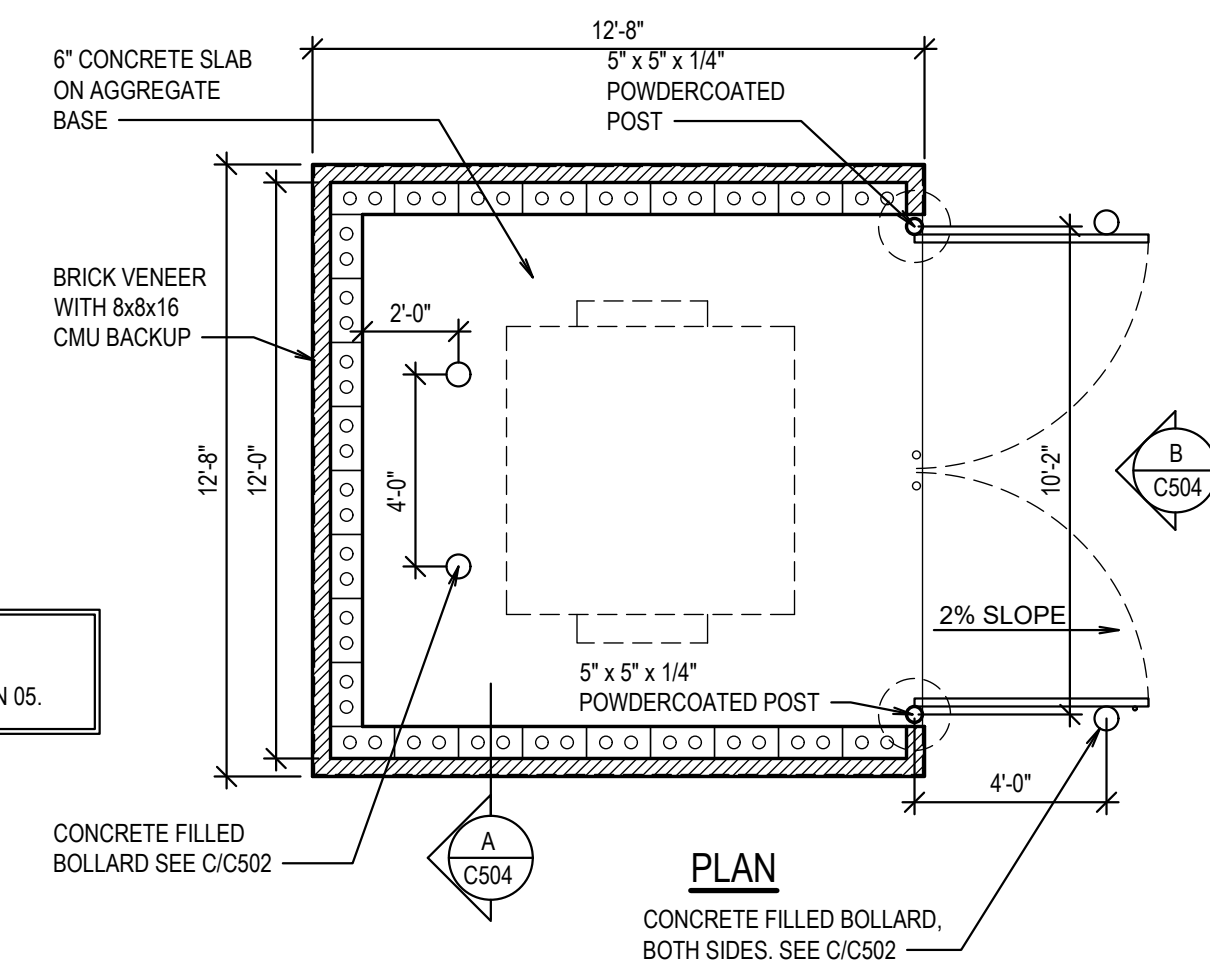




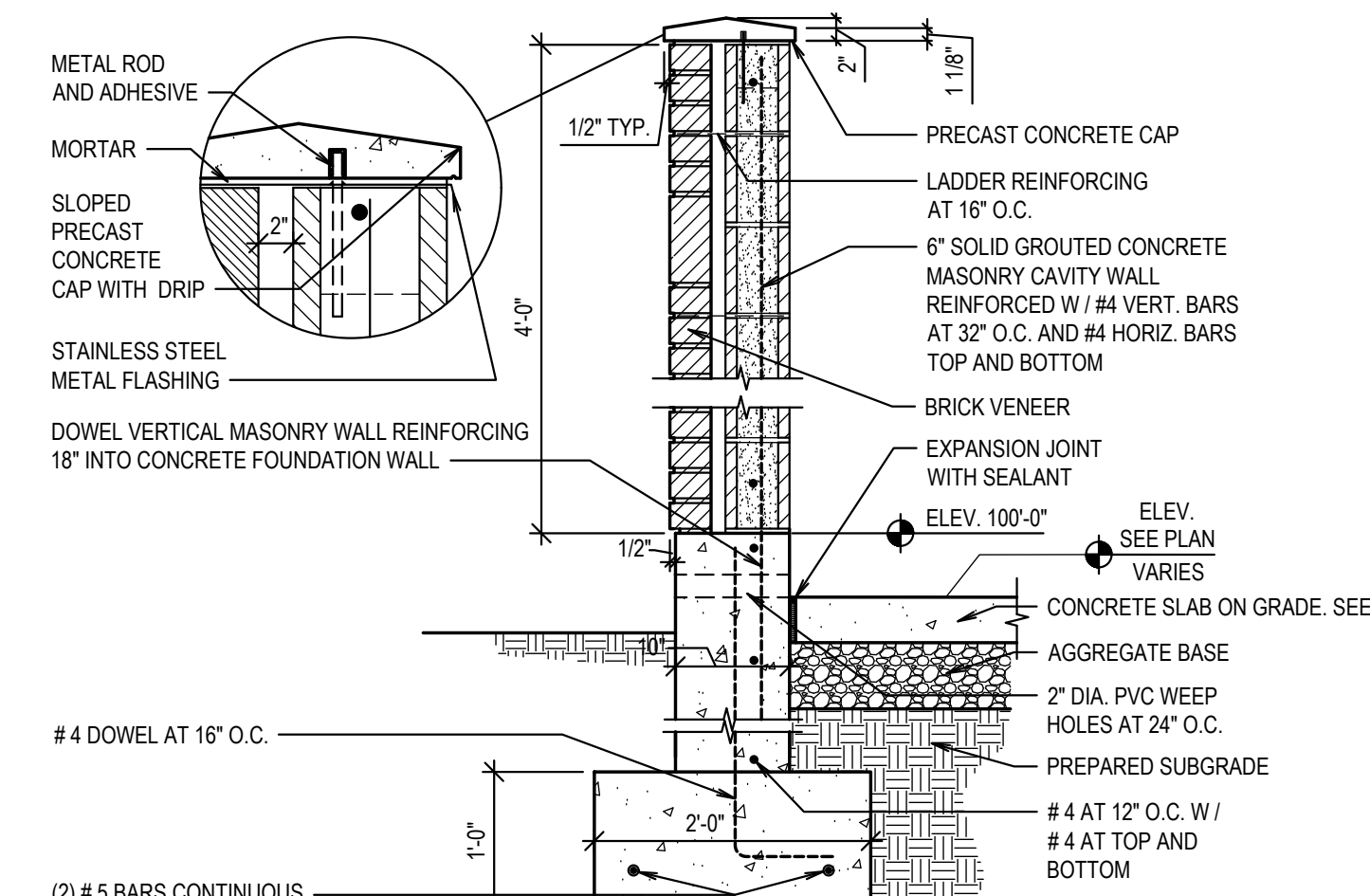
**A** MASONRY WALL DUMPSTER ENCLOSURE  
SCALE: N.T.S.



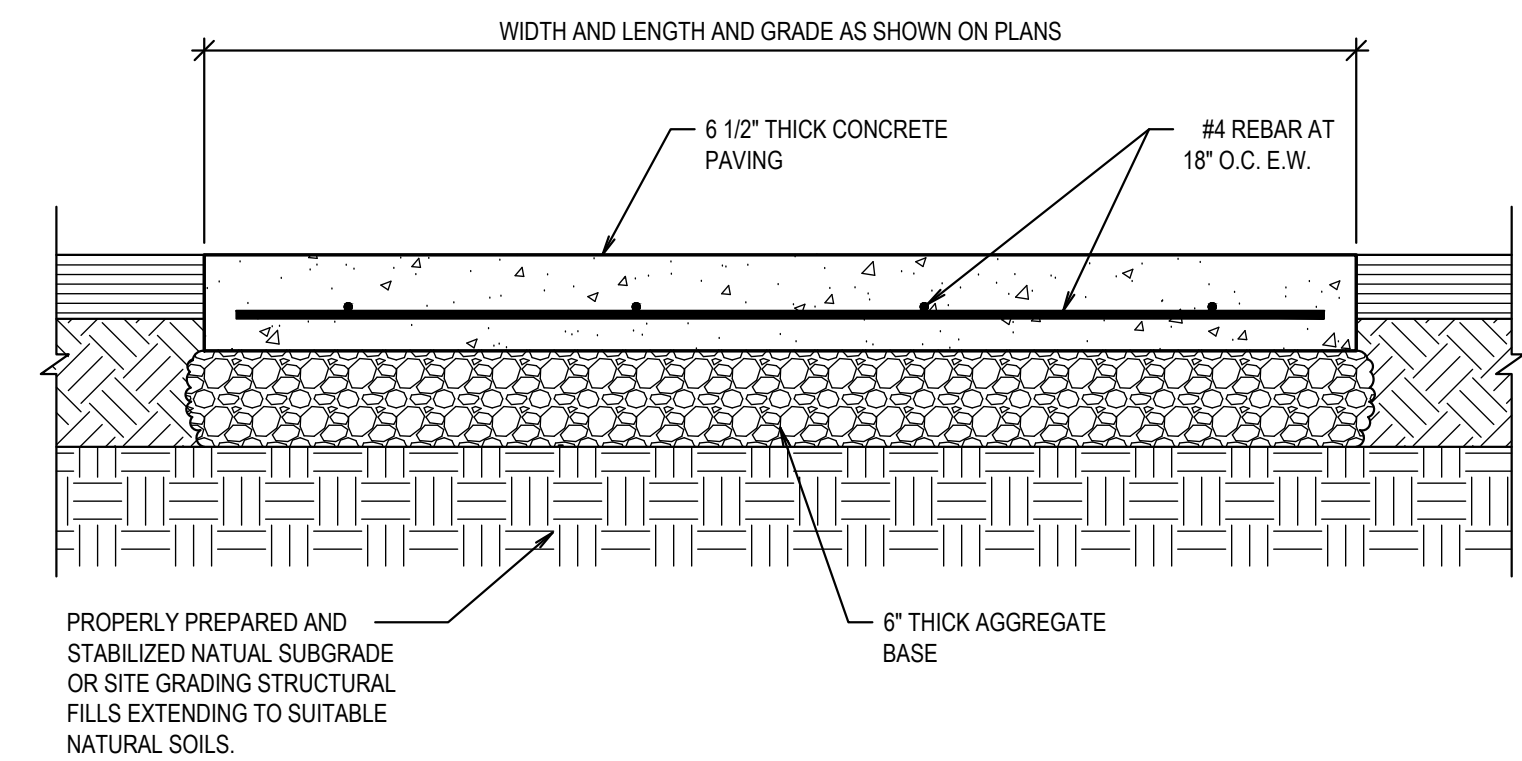
**B** MASONRY WALL DUMPSTER GATE  
SCALE: N.T.S.



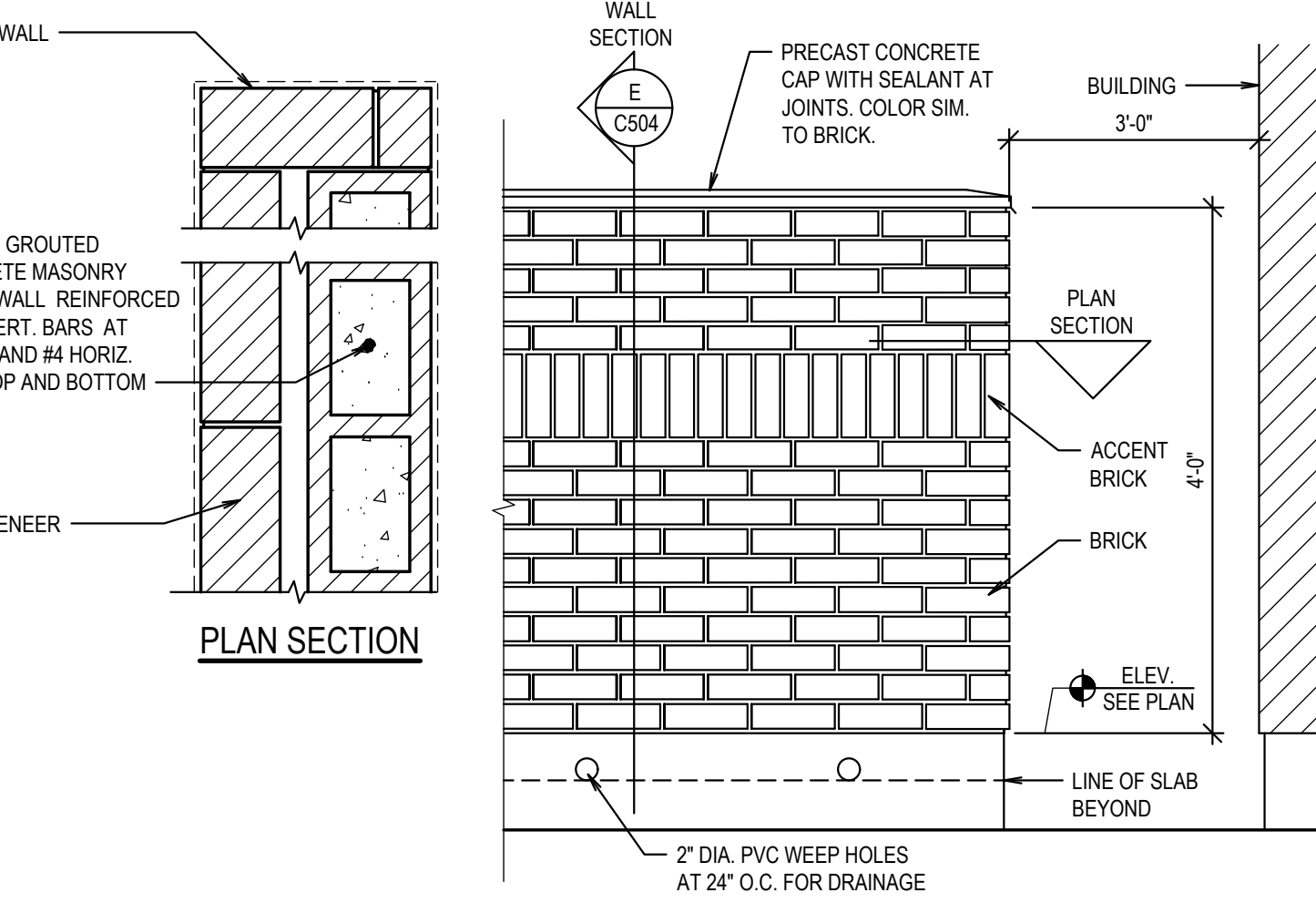
**C** MASONRY WALL DUMPSTER ENCLOSURE  
SCALE: N.T.S.



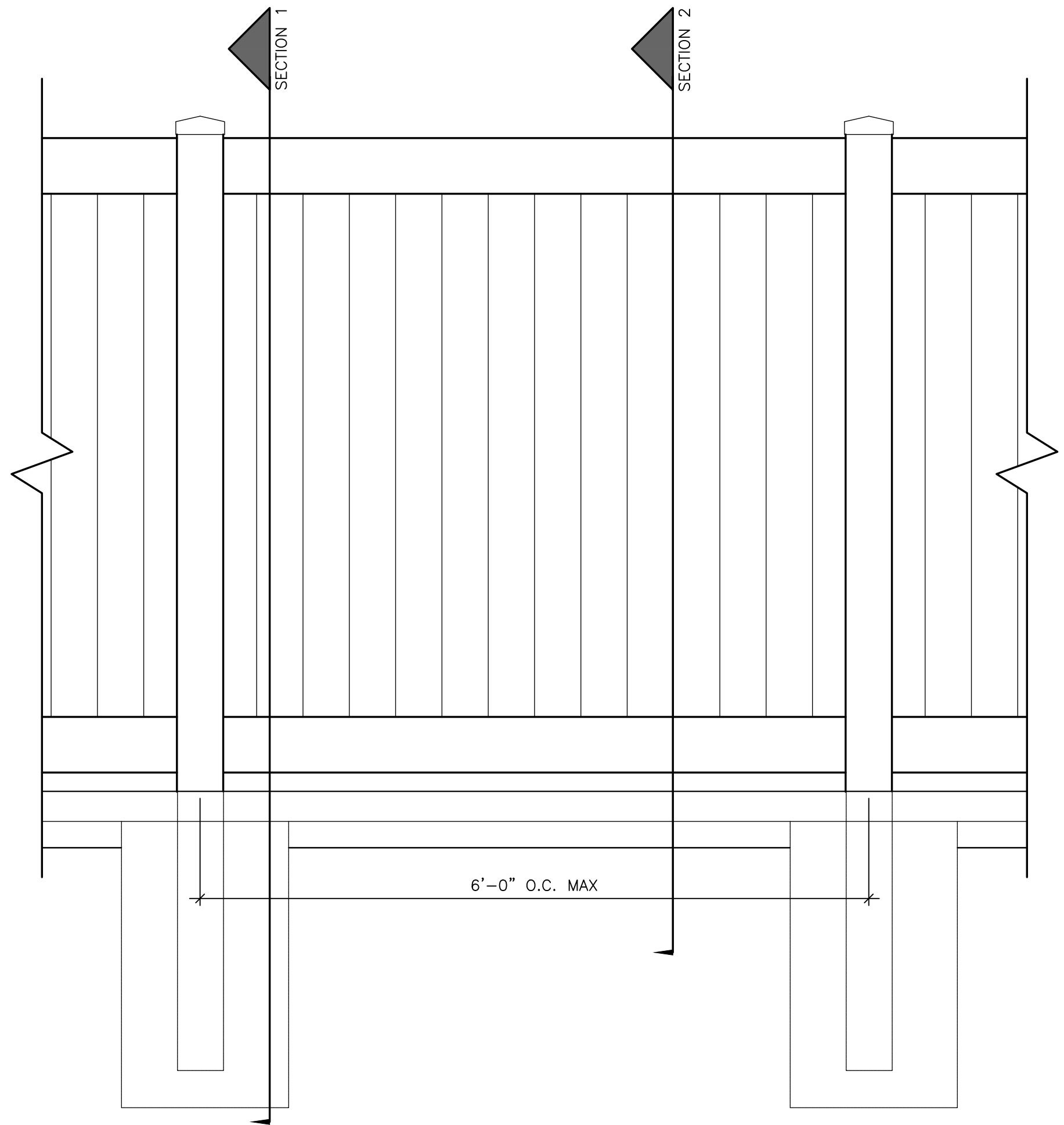
**E** MASONRY WALL MECHANICAL ENCLOSURE  
SCALE: N.T.S.



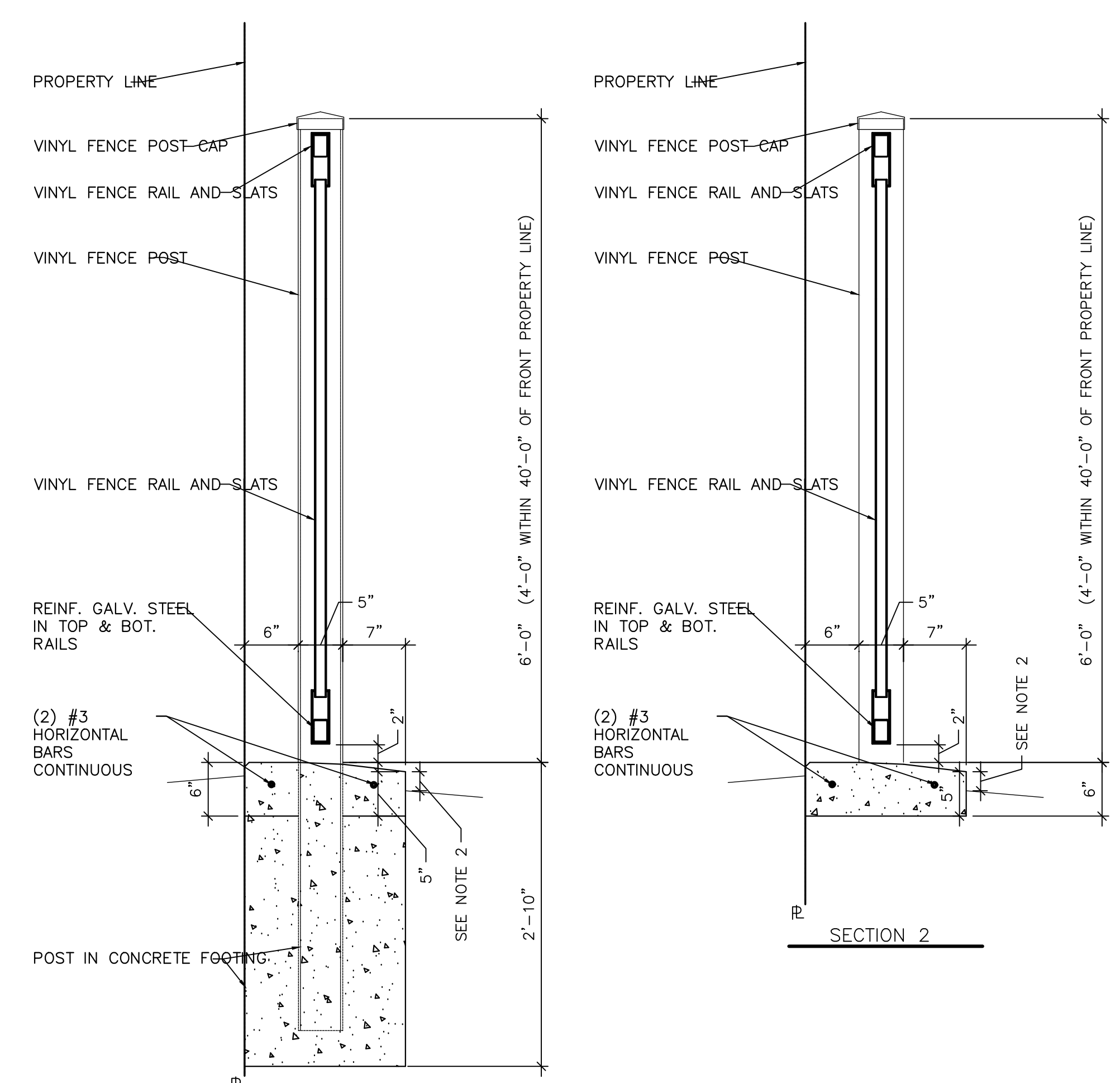
**G** DUMPSTER PAD SECTION  
SCALE: N.T.S.



**F** MASONRY WALL MECH. ENCLOSURE ELEV.  
SCALE: N.T.S.



**J** FENCE  
1" = 1'-0"



Revisions	Description	Date	Mark

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Sheet Title  
SITE DETAILS

Sheet  
**C504**



DESIGN CRITERIA:

- 2021 INTERNATIONAL BUILDING CODE WITH STATEWIDE AMENDMENTS
- TYPE OF CONSTRUCTION: TYPE II-B.
- BUILDING USE: ASSEMBLY A-3
- BUILDING OCCUPANCY CATEGORY: II
- BUILDING HEIGHT: PER PLANS
- BUILDING VOLUME: 19,800 CU. FT.
- NO. OF OCCUPANTS: 120
- ROOF DEAD LOAD - 11 PSF PLUS FRAMING WEIGHT
  - SHINGLES AND FELT: 3.5 PSF
  - DIAPHRAGM SHEATHING: 2.3 PSF
  - WOOD DECK: 4.0 PSF
  - MISCELLANEOUS: 1.2 PSF
- ROOF LIVE LOAD - 20 PSF
- SNOW LOAD
  - P<sub>g</sub>: 30 PSF (GROUND SNOW LOAD)
  - P<sub>f</sub> = 0.7 \* P<sub>g</sub> \* C<sub>e</sub> \* C<sub>t</sub> \* I<sub>s</sub> = 23 PSF (ROOF SNOW LOAD)
  - BUILDING ELEVATION: 4764 3FT
  - P<sub>s</sub> = P<sub>f</sub> C<sub>s</sub>
    - C<sub>s</sub>: 1.0 FOR A 4:12 PITCH
    - P<sub>s</sub>: 23 PSF
- WIND LOAD (ULTIMATE)
  - V<sub>3s</sub>: 103 MPH
  - EXPOSURE: C
  - W: 1.00
- SEISMIC LOAD (ULTIMATE)
  - I<sub>e</sub>: 1.00
  - S<sub>s</sub>: 1.28
  - S<sub>1</sub>: 0.46
  - S<sub>ds</sub>: 1.03
  - S<sub>d1</sub>: 0.56
  - D<sub>0</sub>: 1.25
  - C<sub>d</sub>: 2.5
  - SITE CLASS: D
  - SEISMIC DESIGN CATEGORY: D
  - R: 1.25 (CANTILEVERED STEEL COLUMNS)
  - EQUIVALENT LATERAL FORCE PROCEDURE
  - C<sub>s</sub> = 0.82
- ALLOWABLE SOIL BEARING PRESSURE:
  - 2500 PSF
  - ALLOWABLE FOUNDATION AND LATERAL PRESSURE = 100 PSF/FT BELOW NATURAL GRADE (TABLE 1806.2 OF 2021 IBC).
  - USE CONSTRAINED CONDITIONS FOR CONCRETE PIERS
  - COORDINATE ALL SITE GRADING AND SOIL WORK WITH THE SOILS REPORT.

PAVILION CONSTRUCTION SEQUENCE NOTES:

- VERIFY PERMIT REQUIREMENTS BEFORE SIGNING CONTRACTS.
  - BUILDING PERMIT
  - PLANNING OR CONDITIONAL USE PERMIT
  - OBTAIN REQUIRED USE PERMIT
- REMOVE ALL VEGETATION, ROCKS, OUTCROPPINGS, AND TREES FROM LOCATION OF PAVILION SLAB. STRIP 6" OF TOP SOIL.
- LEVEL PAVILION BUILDING AREA. AVOID GRADING THAT ALLOWS WATER TO DRAIN TOWARD PAVILION.
- DIG COLUMN CAISSONS.
- PLACE COLUMN CAISSON FORMS AND SET REINFORCING STEEL.
- SET COLUMN ANCHOR BOLTS USING PLYWOOD TEMPLATE OF APPROXIMATELY THE SAME SIZE AS COLUMN BASE PLATE TO INSURE BOLT LOCATION ACCURACY.
- PLACE CONCRETE IN CAISSON FORMS FROM BOTTOM OF PIER UP TO A LEVEL 1-1/2" BELOW BOTTOM OF COLUMN BASE PLATE. LET CONCRETE CURE 7 DAYS.
- SET HSS COLUMNS OVER PRE-SET ANCHOR BOLTS ALLOWING COLUMNS TO REST ON LEVELING NUTS AND 1/4"x 3" PLATE WASHERS. LEVELING NUTS ARE TO BE USED TO SET COLUMNS PLUMB AND TRUE AND AT CORRECT BEARING HEIGHT TO RECEIVE GLU-LAM BEAMS.
- AFTER COLUMNS ARE SET PLUMB AND TRUE, VERIFY ACCURACY OF DIMENSIONS BETWEEN COLUMNS AND SECURE COLUMNS IN PLACE USING 1/4"x 3" PLATE WASHERS UNDER NUTS, TIGHTEN NUTS WITH ADDITIONAL 1/4 TURN PAST SNUG.
- THE WEIGHT OF GLU-LAM BEAMS IS APPROXIMATELY 500 POUNDS EACH. SOME FORM OF MECHANICAL HOIST IS RECOMMENDED FOR SETTING BEAMS ON TOP OF STEEL TUBE COLUMNS.
- NOTCH A 1"x 1" HOLE AT TOP OF BEAMS NEAR CENTER PEAK FOR ELECTRICAL CONDUIT TO PASS THROUGH.
- LIFT GLU-LAM BEAMS AND SET EACH END IN THE COLUMN SADDLE PLATES.
- ANCHOR BEAMS IN SADDLES WITH (8) SIMPSON SDS25112 WOOD SCREWS.
- ONCE GLU-LAM BEAMS ARE SET AND SECURELY BOLTED, ADEQUATELY BRACE EACH BEAM USING 2x LUMBER TO PREVENT BEAMS FROM OVERTURNING UNTIL ROOF DECK AND ROOF SHEATHING ARE SECURELY ANCHORED IN PLACE.
- SET 2x8 TONGUE AND GROOVE ROOF DECK WITH COMMON OR RING SHANK NAILS IN ACCORDANCE WITH SUPPLIERS' RECOMMENDATIONS.
- INSTALL 2x6 FASCIA BOARD AROUND ENTIRE ROOF PERIMETER. ALIGN TOP OF FASCIA BOARD WITH TOP OF ROOF DECKING.
- INSTALL WOOD ROOF SHEATHING OVER 2x8 TONGUE AND GROOVE ROOF DECK AT 45 DEGREES AS SHOWN IN ROOF DIAPHRAGM DETAIL.
- LAY 30 POUND FELT UNDERLAYMENT OVER ENTIRE ROOF STARTING AT FASCIA DRIP EDGE, OVERLAP EACH ROLL 6" AS FELTS ARE LAID UP TO RIDGE.
- INSTALL PRE-FINISHED METAL DRIP EDGING ON ALL PERIMETER EDGES OF ROOF.
- INSTALL FIBERGLASS SHINGLES OVER ROOF UNDERLAYMENT AND PRE-FINISHED METAL DRIP EDGING. FOLLOW MANUFACTURER'S INSTRUCTIONS.
- PLACE NON-SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON-SHRINK GROUT EDGES TO 45 DEGREES.
- PLACE REMAINDER OF CONCRETE SLAB ANY TIME AFTER GLU-LAM BEAMS, ROOF DECKING, AND PLYWOOD ROOF SHEATHING ARE SECURELY IN PLACE.
- FINISH TOP SURFACE OF CONCRETE SLAB WITH A LIGHT BROOM FINISH.
- AS SOON AS CONCRETE HAS CURED ENOUGH TO SUPPORT AN EARLY ENTRY SAW (4-6 HOURS AFTER PLACEMENT), CUT CONTROL JOINTS IN SLAB TOP SURFACE. DEPTH OF CONTROL JOINTS IS TO BE 1" DEEP.
- INSTALL MEMBRANE CURING ON CONCRETE SLAB.
- PLACE NON-SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON-SHRINK GROUT EDGES TO 45 DEGREES.
- ALL STEEL COLUMNS, SADDLES, BOLTS, AND BASE PLATES TO BE POWDER COATED TOUCH-UP FINISH PAINTING BY OTHERS.
- STAIN ALL EXPOSED WOOD.

SITE PREPARATION:

- REMOVE ALL ORGANIC MATERIAL AND TOPSOIL FROM PAVILION AREA. VERIFY SUITABILITY OF SUBGRADE. FOUNDATIONS ARE TO BE ON UNDISTURBED, NATURAL SOIL OR ENGINEERED FILL EXTENDING TO SUITABLE UNDISTURBED NATURAL SOILS
- PLACE FOOTINGS/CAISSONS IN FIRM UNDISTURBED NATURAL SUBGRADE (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- COMPACT SUBGRADE AND FILL UNDER CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557 (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- INSTALL AND COMPACT 6 INCH GRANULAR BASE BENEATH CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557.

UTILITIES:(BY OTHERS)

- INSTALL PLUMBING LINE FOR COLD WATER.
- INSTALL ELECTRICAL LIGHTS, BOXES, CONDUITS, AND SWITCHES.

SPECIFICATIONS:

SCOPE- ONE EACH 30 FOOT BY 60 FOOT PAVILION WITH MINIMUM 4 INCH THICK CONCRETE SLAB. PROVIDE SHINGLES, ROOFING FELTS, FASCIA, SHEATHING, ROOF FRAMING, BEAMS, SOFFIT, CONNECTION HARDWARE, COLUMNS, CONCRETE SLAB, CONCRETE CAISSONS AND FINISHES TO CONSTRUCT COMPLETE PAVILION.

PAVILION HAS BEEN DESIGNED AS A FREE STANDING, OPEN STRUCTURE. RE-ENGINEER PAVILION IF WALLS ARE ADDED, IF STRUCTURE IS TO ADJOIN ANOTHER STRUCTURE, OR IF OTHER SUCH MODIFICATIONS ARE MADE. PROPERLY BRACE WOOD BEAMS AND MEMBERS UNTIL COMPLETE STRUCTURAL SYSTEM HAS BEEN CONSTRUCTED.

CONCRETE:

- CONCRETE SLAB ON GRADE IS TO BE REINFORCED AND BE 4" MINIMUM THICK. INSTALL WITH CRACK CONTROL JOINTS AS SHOWN. SURFACE IS TO HAVE A BULL FLOAT FINISH AND BE LIGHTLY BROOMED.
- EDGE OF SLAB IS TO BE THICKENED TO 8" WIDE AND BE REINFORCED WITH (2) #4 CONTINUOUS BARS. LAP SPLICES 24"
- PROVIDE DEFORMED REINFORCING STEEL BARS CONFORMING TO ASTM A615 WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. SECURELY ANCHOR REINFORCING STEEL, AND PROVIDE CLEARANCES, IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- MINIMUM CONCRETE MIX DESIGN REQUIREMENTS:
  - COMPRESSIVE STRENGTH OF CONCRETE TO BE 4,500 PSI AT 28 DAYS.
  - MAX W/C: 0.45
  - 6% (+/-1.5%) AIR ENTRAINMENT.
  - CEMENT TYPE II/V
  - DESIGNED FOR THE FOLLOWING EXPOSURE CATEGORIES AND CLASSES:
    - F2, S1 (PER ACI 318 TABLE 4.2.1)
    - LIMIT SLUMP TO 4" (+/-1")
  - VERIFY STRENGTH REQUIREMENTS AND CEMENT TYPE REQUIREMENTS WITH THE GEOTECHNICAL EVALUATION REPORT.
  - ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
  - SLAB TO BE SEALED WITH WEATHERWORKER J-29A CONCRETE SEALER, BY DAYTON SUPERIOR CORPORATION. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
  - MEMBRANE CONCRETE CURING: USE CLEAR CURE J7wb BY DAYTON SUPERIOR CORPORATION. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.

STRUCTURAL STEEL:

- ALL STEEL PLATES TO BE ASTM A36
- STEEL TUBES TO BE ASTM A500, GRADE B, F<sub>y</sub> = 46,000 PSI
- ALL WELDING IS TO BE DONE IN ACCORDANCE WITH LATEST AWS STANDARDS. IF WELDS ARE NOT SPECIFIED, ALL WELDS ARE TO DEVELOP THE FULL STRENGTH OF ALL COMPONENT PARTS.
- ALL BOLTS ARE TO BE ASTM A325 EXCEPT THAT ANCHOR BOLTS ARE TO BE ASTM F1554 GRADE 55.
- ALL EXPOSED BOLTS ARE TO BE PAINTED TO MATCH STRUCTURE.
- ALL HOLES IN STEEL TO BE 1/16" LARGER THAN THE DIAMETER OF THE CONNECTING BOLT UNLESS NOTED OTHERWISE.
- ALL FABRICATED STEEL IS TO BE PRIMED AND FINISH POWDER COATED.

WOOD:

- GLU-LAM BEAMS:
  - SOUTHERN YELLOW PINE
  - 24F-V3 STRESS COMBINATION
  - 2-INCH NOMINAL THICK LAMINATIONS
  - 5" MINIMUM WIDTHS
  - RESORCINOL ADHESIVE
  - DOUBLE PITCHED AND TAPERED
  - ARCHITECTURAL APPEARANCE GRADE
  - STAIN AND SEAL FINISH
  - ROOF PITCH IS TO BE 4 VERTICAL TO 12 HORIZONTAL (4:12)
  - MATERIALS, MANUFACTURE AND QUALITY CONTROL OF GLUE LAMINATED BEAMS SHALL BE IN CONFORMANCE WITH "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS - STRUCTURAL GLUED LAMINATED TIMBER" ANSI/AITC A190.1.
  - MEMBERS SHALL BE MARKED WITH AN AITC OR APA/EWS QUALITY MARK AND, IN ADDITION, AN AITC OR APA/EWS CERTIFICATE OF CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/AITC A190.1.
  - FACTORY SEAL BEAMS AND INDIVIDUALLY WRAP FOR PROTECTION IN TRANSIT, STORAGE, AND ERECTION.
  - TEMPORARY STORAGE SHALL CONSIST OF LEVELED BLOCKS, WELL OFF GROUND, SEPARATION WITH WOOD STRIPS FOR AIR CIRCULATION AROUND EACH MEMBER, COVER TOP AND SIDES WITH MOISTURE RESISTANT PAPER.
  - USE NON-MARRING SLINGS WHEN HANDLING, DRY-IN ROOF AS SOON AS ERECTED.
  - PROTECTIVE WRAPPING SHALL REMAIN ON BEAMS UNTIL DECK HAS BEEN INSTALLED AND SHINGLES APPLIED.
- ROOF FRAMING
  - USE GALVANIZED NAILS.
  - 2x6 FASCIA: NO. 1 SOUTHERN YELLOW PINE, KILN DRIED, CHROMATED COPPER ARSENATE PRESSURE TREATED (0.4 PCF), SURFACED ON FOUR SIDES, AND STAINED. FASCIA IS TO BE FREE OF ANY GROOVES OR INCISIONS.
    - MITER ENDS OF FASCIA AT CORNERS
    - BUTT FASCIA ONLY AT BEAM ENDS
    - FASTEN FASCIA TO BEAM WITH NOT LESS THAN THREE 16d COMMON, GALVANIZED NAILS AT EACH BEAM JUNCTION AT EAVE AND TO OUTLOOKERS WITH TWO 16d COMMON, GALVANIZED NAILS AT EACH RAKE.
  - 2x8 ROOF DECK:
    - DOUGLAS FIR LARCH, SINGLE TONGUED AND GROOVED, SPECIFIED LENGTH, CENTER MATCHED, EDGE VEEED TWO SIDES, KILN DRIED, AND STAINED - NO. 2 GRADE
    - DECK FURNISHED IN SPECIFIED LENGTHS SO ALL JOINTS OCCUR OVER BEAMS - RANDOM LENGTH DECK IS UNACCEPTABLE. DECK SHALL BE INSTALLED WITH A 2 SPAN CONDITION, MINIMUM.
    - INSTALL IN ACCORDANCE WITH SUPPLIER'S SPECIFICATIONS USING 16d COMMON OR RING SHANK NAILS. MINIMUM. NAILING SHALL BE FACE NAILED USING (3) NAILS AT EACH BEARING POINT WITH A 4TH NAIL DIAGONALLY THROUGH THE TONGUE OF THE DECKING MEMBER. NAILS MUST PENETRATE 1-1/2 INCHES INTO SOLID WOOD.
    - INSTALL WITH TONGUES UP ON SLOPED ROOFS.
- ROOF SHEATHING:
  - 7/16" THICK PLYWOOD OR ORIENTED STRAND BOARD COMPLYING WITH STANDARD PS-1 OF THE AMERICAN PLYWOOD ASSOCIATION APA/ANSI A199.1. APPROPRIATE APA STAMP IDENTIFYING FOLLOWING REQUIREMENTS: 24/0 SPAN INDEX RATING, EXTERIOR EXPOSURE, 18 PERCENT MAXIMUM MOISTURE CONTENT WHEN FABRICATED.
  - INSTALL DIRECTLY OVER WOOD TONGUE AND GROOVE ROOF DECKING IN 4'x8' PANELS AT 45 DEGREES TO DECKING. STAGGER PANEL JOINTS APPROXIMATELY 4'-0" AND GAP JOINTS 1/4 INCH. STAPLE AROUND PERIMETER OF EACH PANEL WITH STAPLES AT 2" O.C. PER LINEAR FOOT. STAPLE WITHIN FIELD OF EACH PANEL WITH (2) ROWS OF STAPLES AT 8" O.C.
  - PROTECT SHEATHING WITH 30 POUND FELT IMMEDIATELY AFTER INSTALLATION

ROOF SYSTEM

- 50 YEAR ASPHALT SHINGLE by OWENS CORNING WITH A LIFETIME WARRANTY
- PROFILE NOMINAL SIZE: 13"x 39 3/8"
- EXPOSURE: 5 5/8"
- COLOR AS PER OWNER FROM MANUFACTURERS STANDARD COLOR SELECTION.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- PROVIDE EDGE AND TERMINATION DETAIL COMPONENTS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTY.

STAIN:

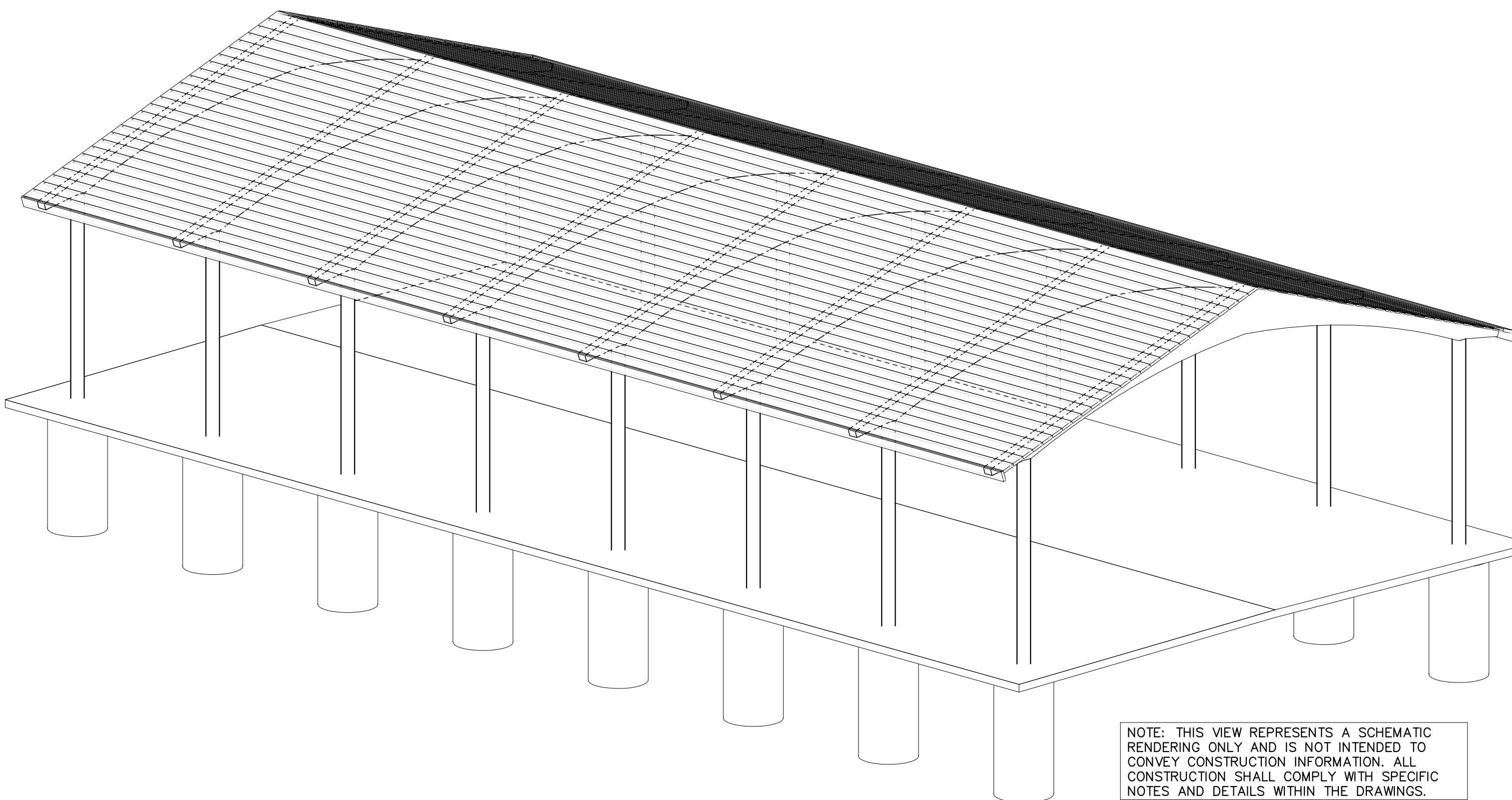
- BEAMS, DECK, AND FASCIA SHALL BE FACTORY STAINED WITH "OLYMPIC" SEMI-TRANSPARENT STAIN. BEAMS AND FASCIA TO BE STAINED NO. 708 WALNUT, DECK TO BE STAINED NO. 911 CAPE COD GRAY OR AS SELECTED BY OWNER.

ELASTOMERIC JOINT SEALANTS:

- PROVIDE SIKASIL-728 NS NON-SAG SILICONE SEALANT AT SAW CUT JOINTS AND COLD JOINTS.
- PROVIDE DOW CORNING 791 SILICONE WEATHERPROOFING SEALANT AT COLUMN/CONCRETE JOINT.
- CLEAN AND PREPARE SURFACES.
- USE PROPER PRIMER AND BACKING MATERIALS AS REQUIRED TO INSTALL SEALANTS.
- PROVIDE MASKING AND TEST STRIPS AS NEEDED.
- INSTALL ALL RELATED SEALANTS AND MATERIALS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

PLUMBING AND ELECTRICAL:(BY OTHERS)

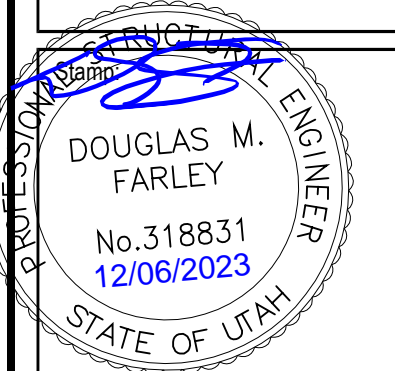
- COORDINATE PLUMBING AND ELECTRICAL REQUIREMENTS WITH ARCHITECTURAL AND CITE PLANS, BY OTHERS.



NOTE: THIS VIEW REPRESENTS A SCHEMATIC RENDERING ONLY AND IS NOT INTENDED TO CONVEY CONSTRUCTION INFORMATION. ALL CONSTRUCTION SHALL COMPLY WITH SPECIFIC NOTES AND DETAILS WITHIN THE DRAWINGS.

Supplier:

**SMITH**  
STEELWORKS



30'x60' Glulam Pavilion  
Kit 1 Option A  
400 South Main Street  
Vineyard, Utah

Project for:  
THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS

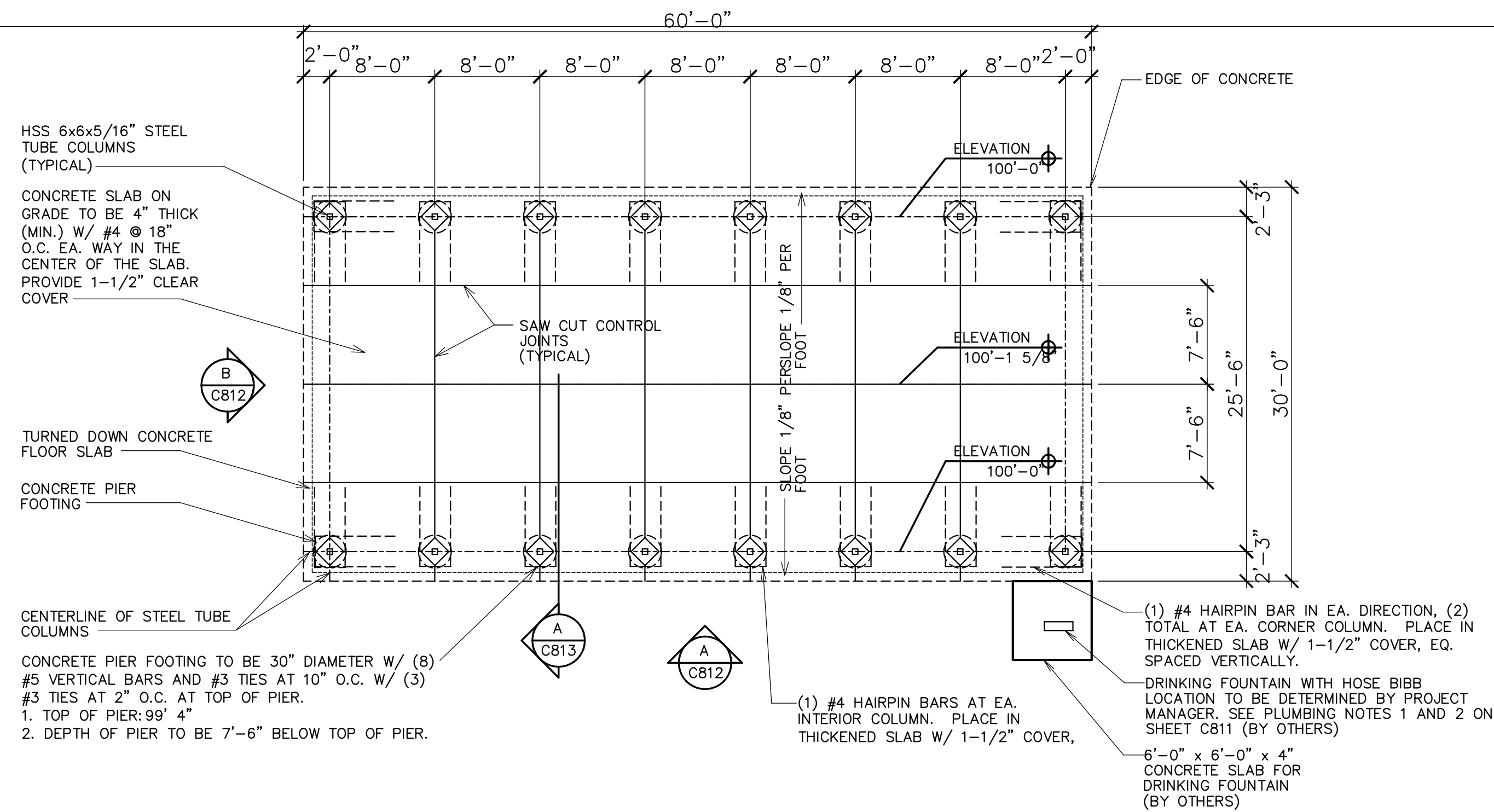
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Project Number:  
Plan Series:  
Property Number:

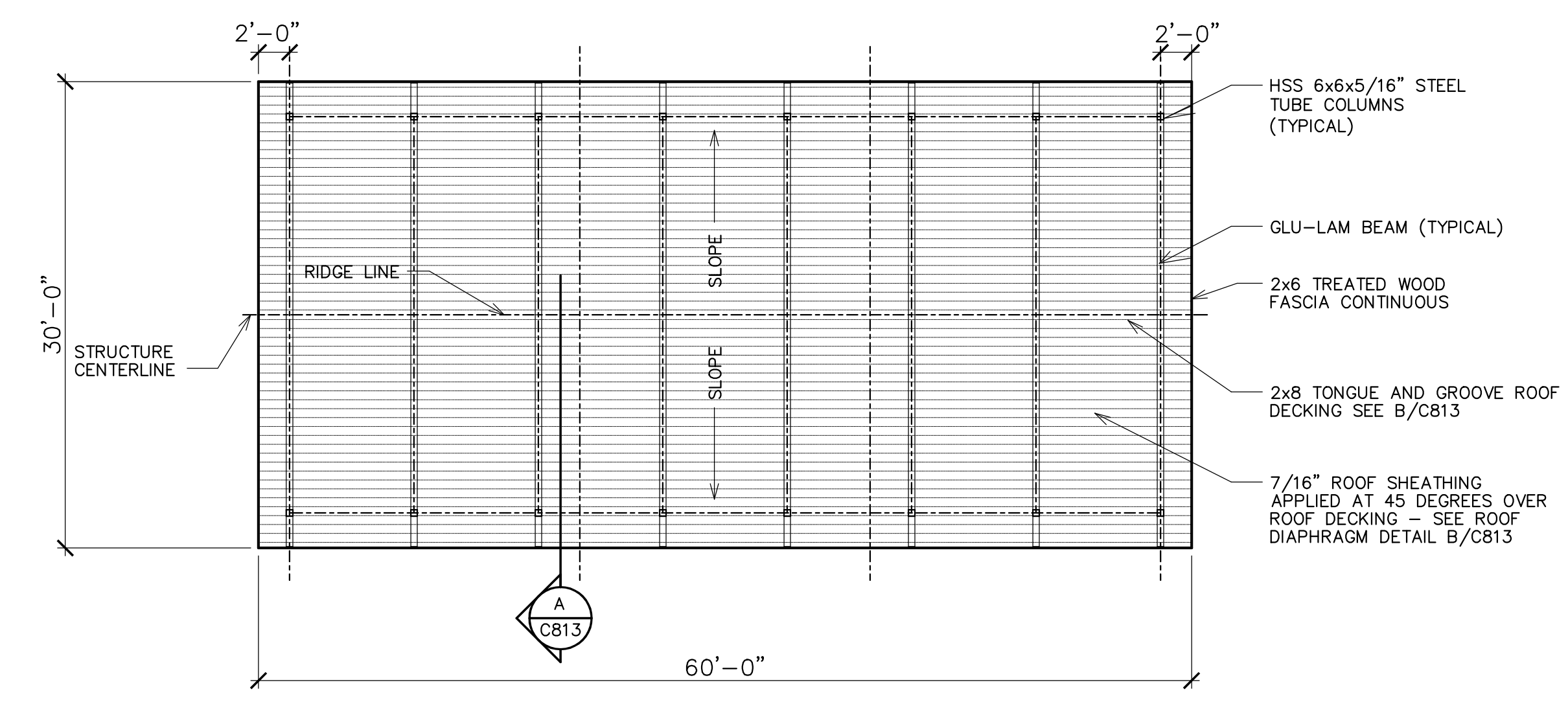
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**PLAN VIEWS**

Sheet:  
**C811**

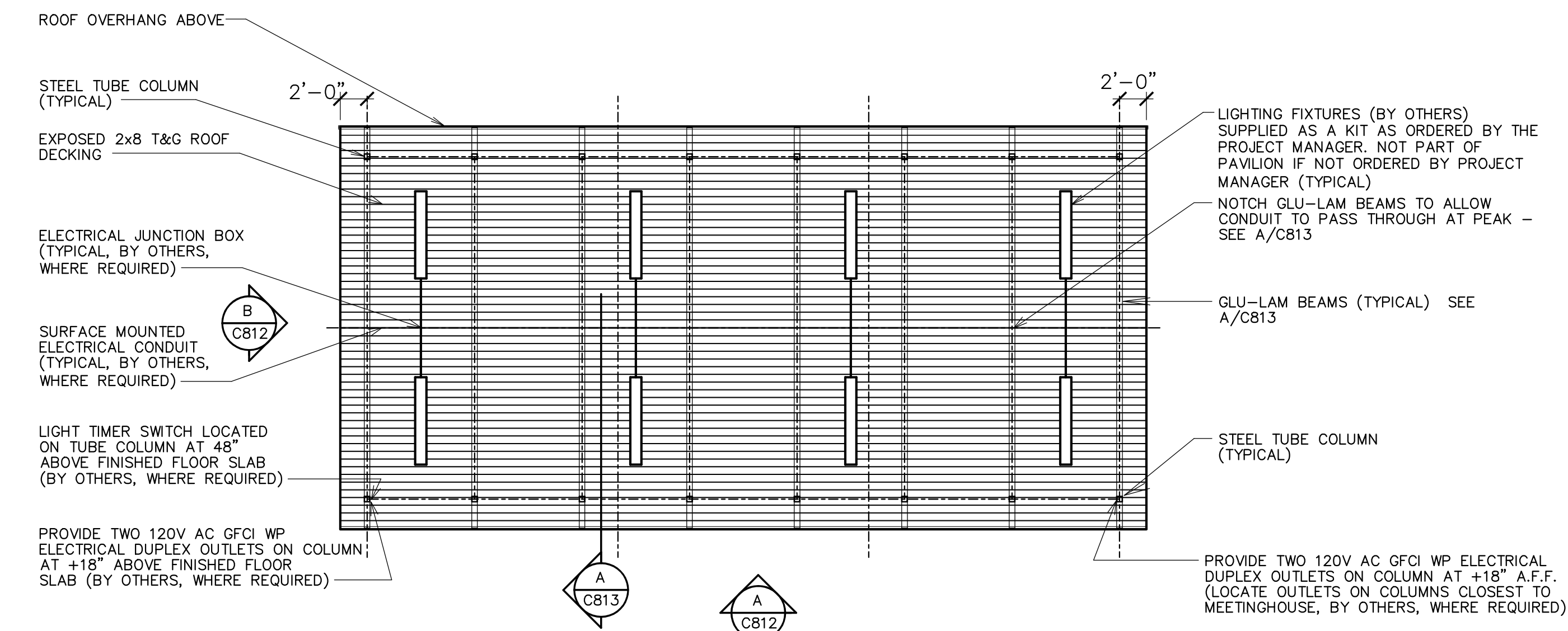




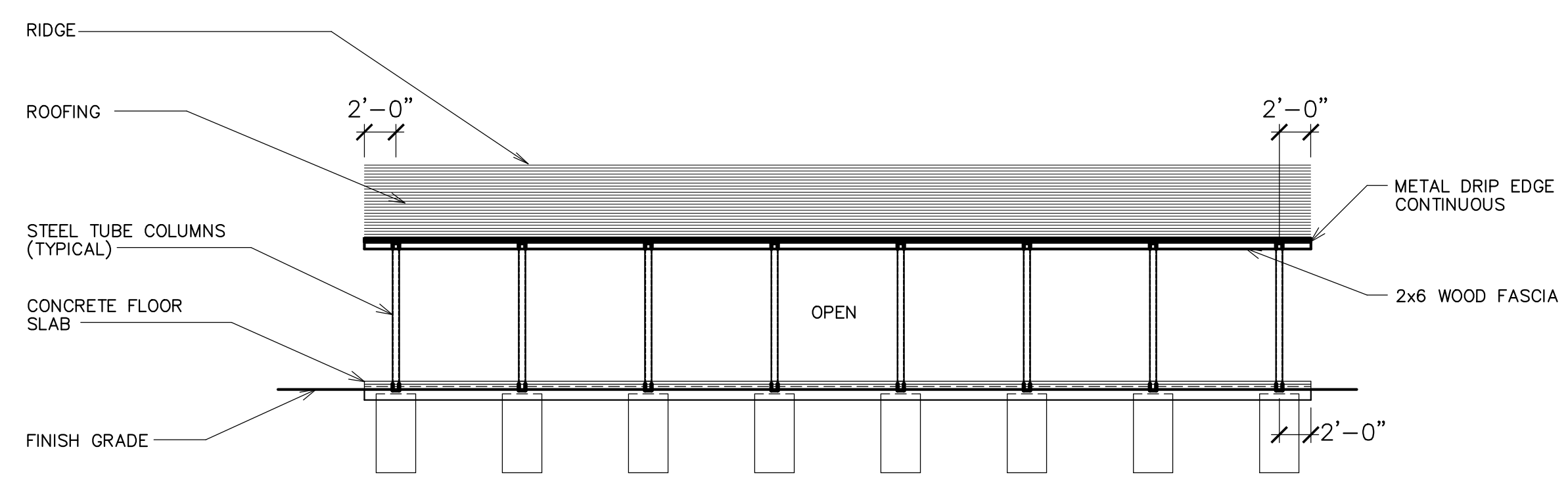
**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



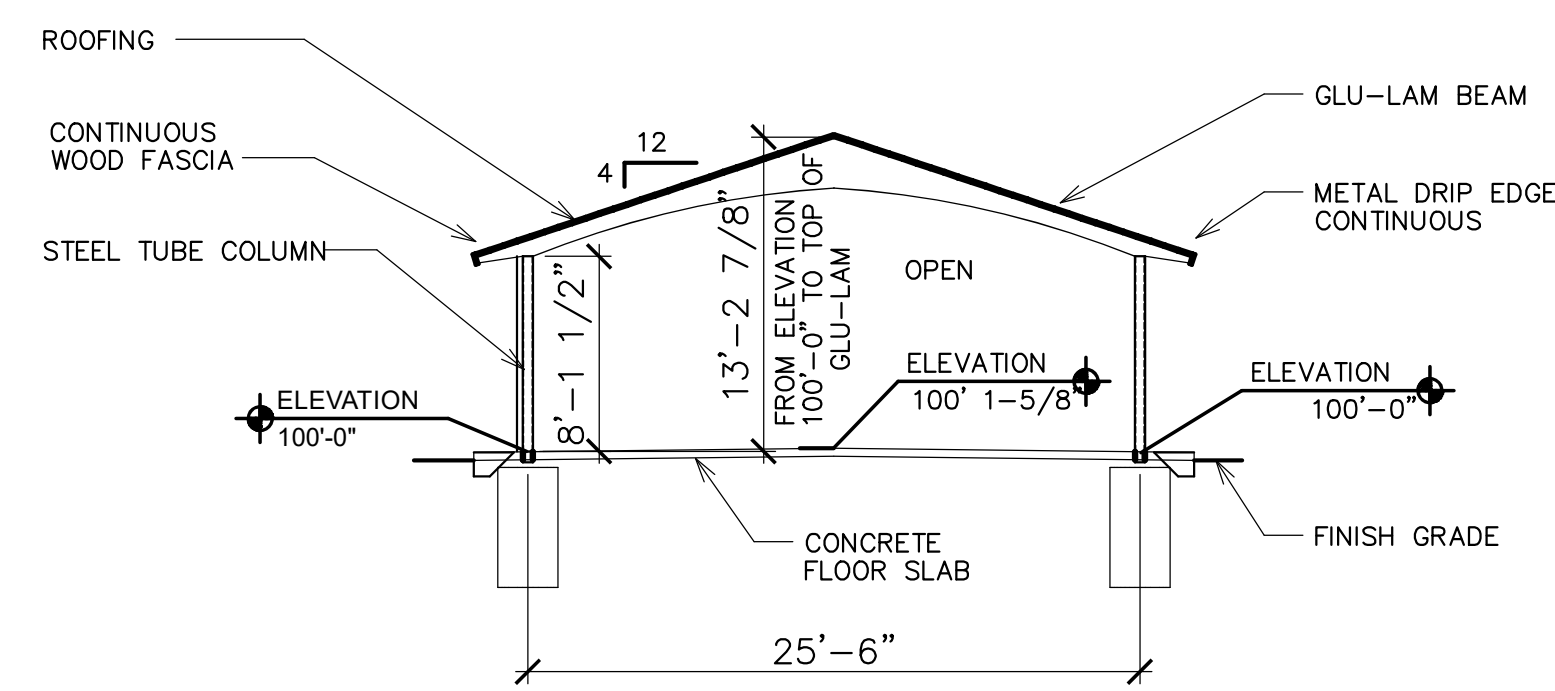
**2 ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



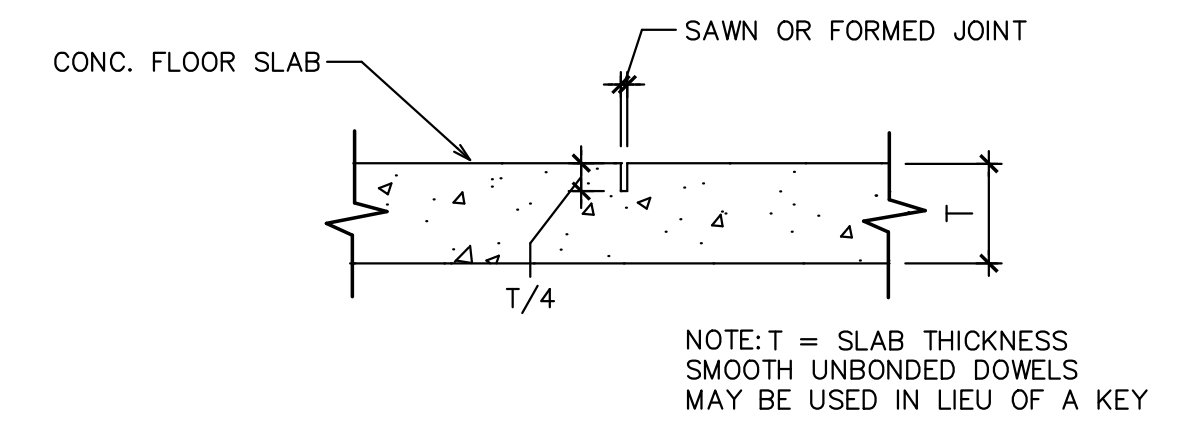
**3 REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"



**A SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**B END ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 CONTROL JOINT DETAIL**  
SCALE: 1/4" = 1'-0"

Supplier:

**SMITH**  
STEELWORKS

ENGINEER  
DOUGLAS M. FARLEY  
No. 318831  
12/06/2023  
STATE OF UTAH

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

30'x60' Glulam Pavilion  
Kit 1 Option A  
400 South Main Street  
Vineyard, Utah

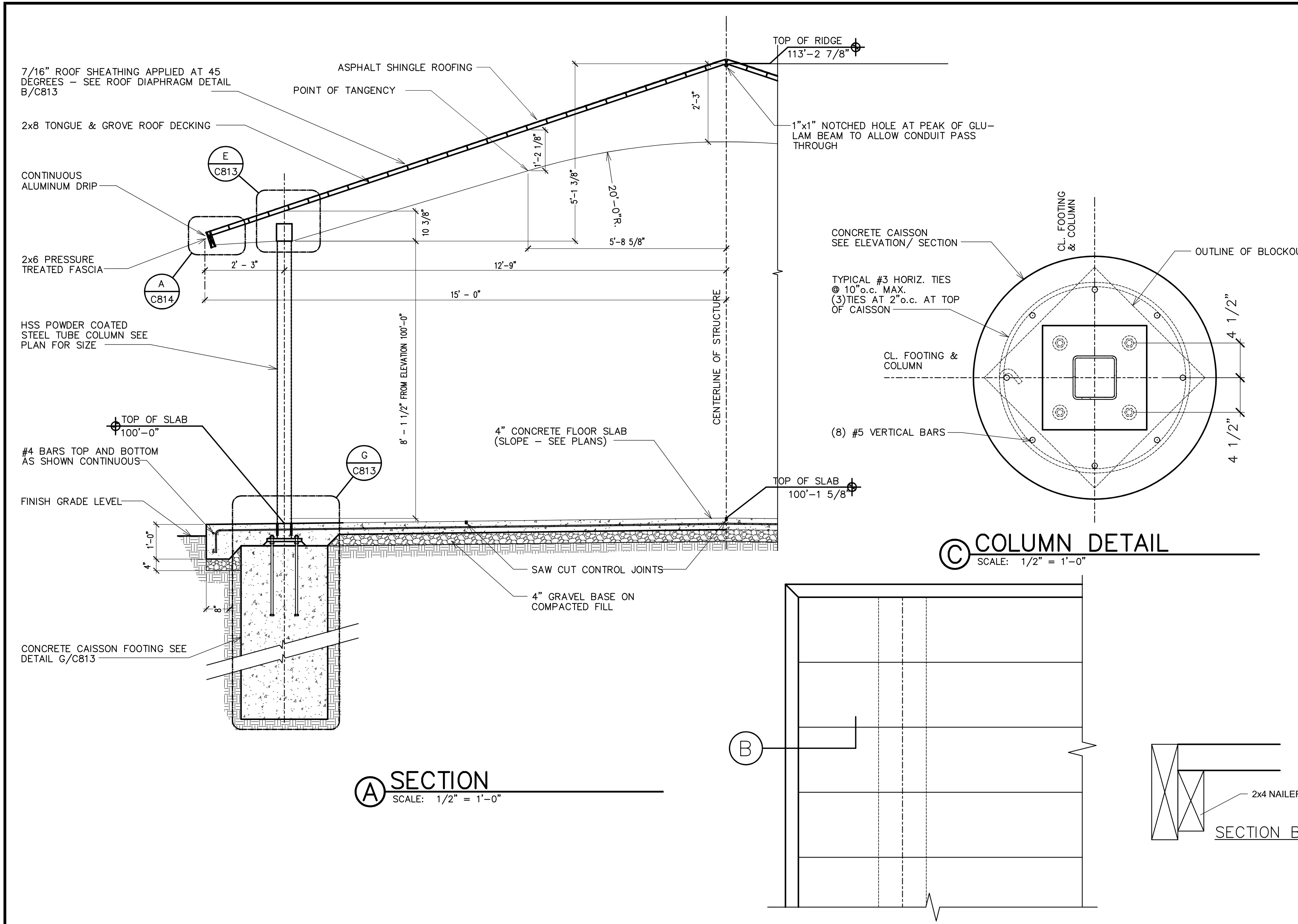
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Plan Series:  
Property Number:

Mark	Date (year)	Description

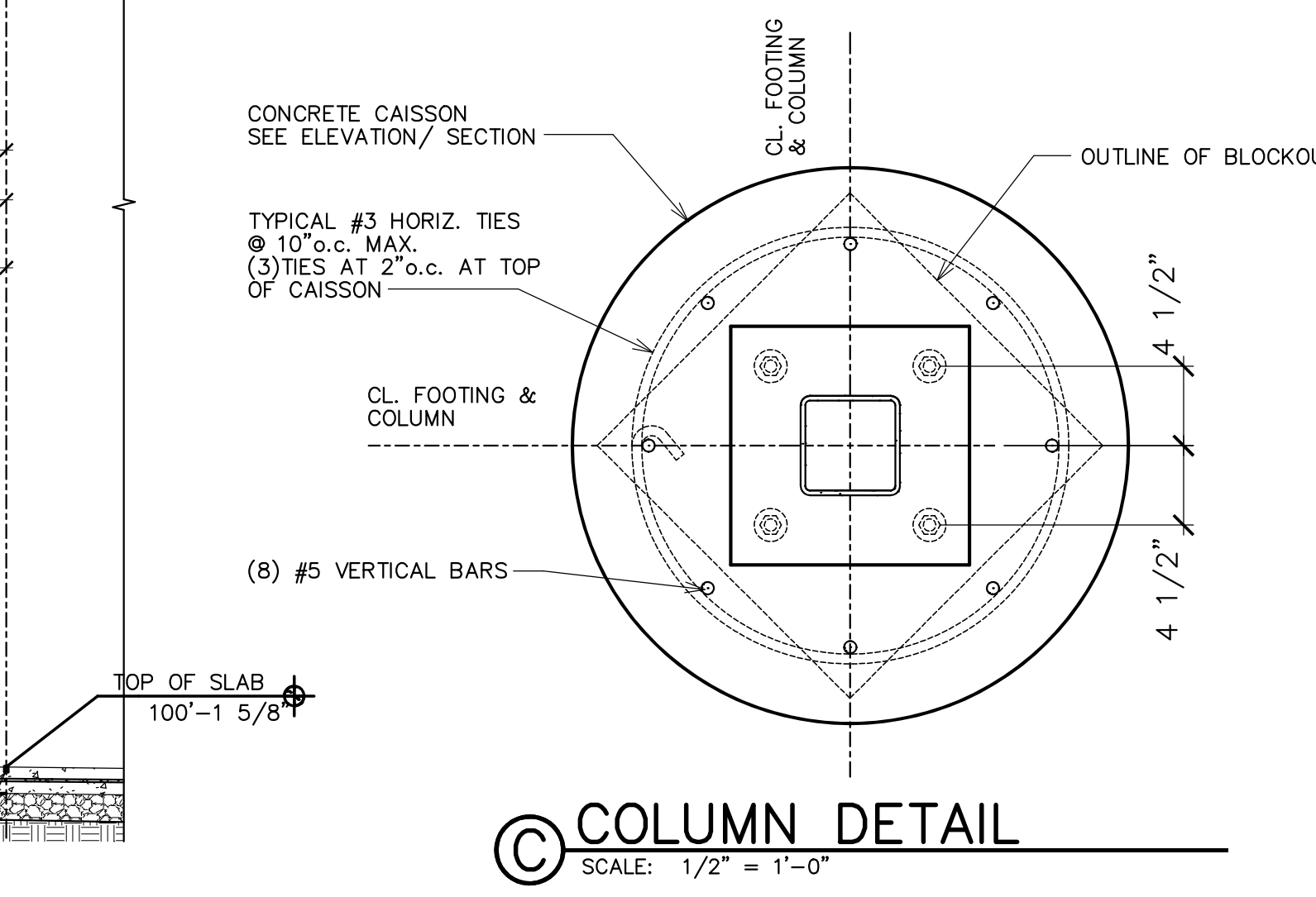
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**C812**

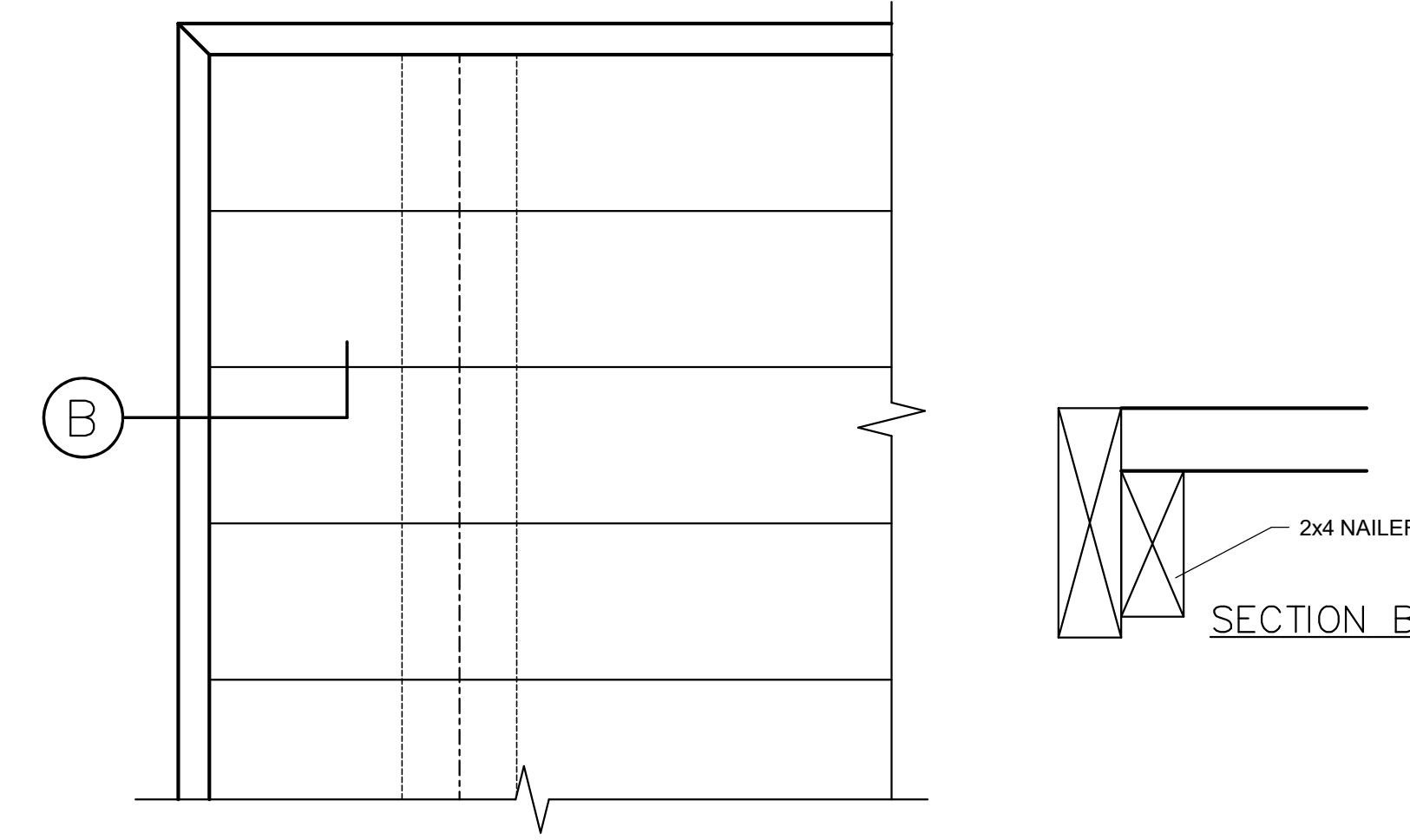




**A SECTION**  
SCALE: 1/2" = 1'-0"

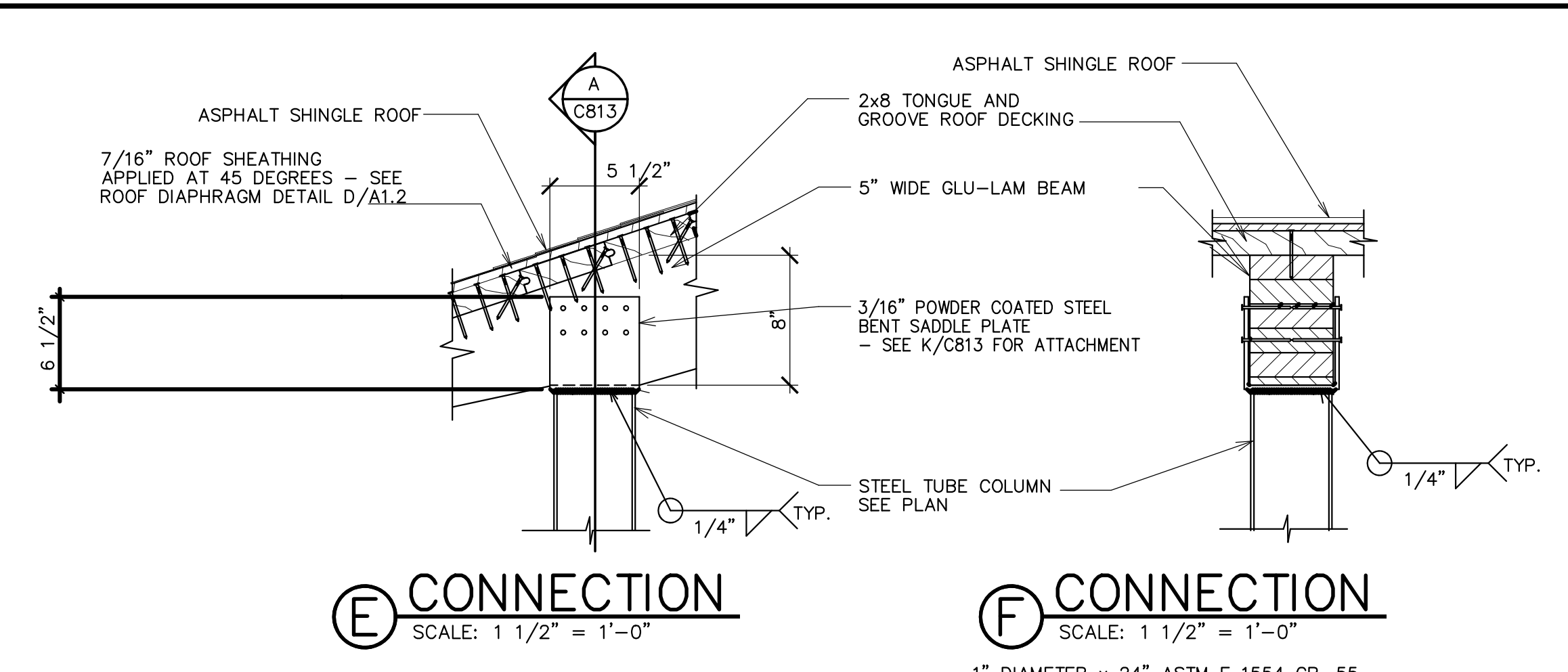


**C COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"



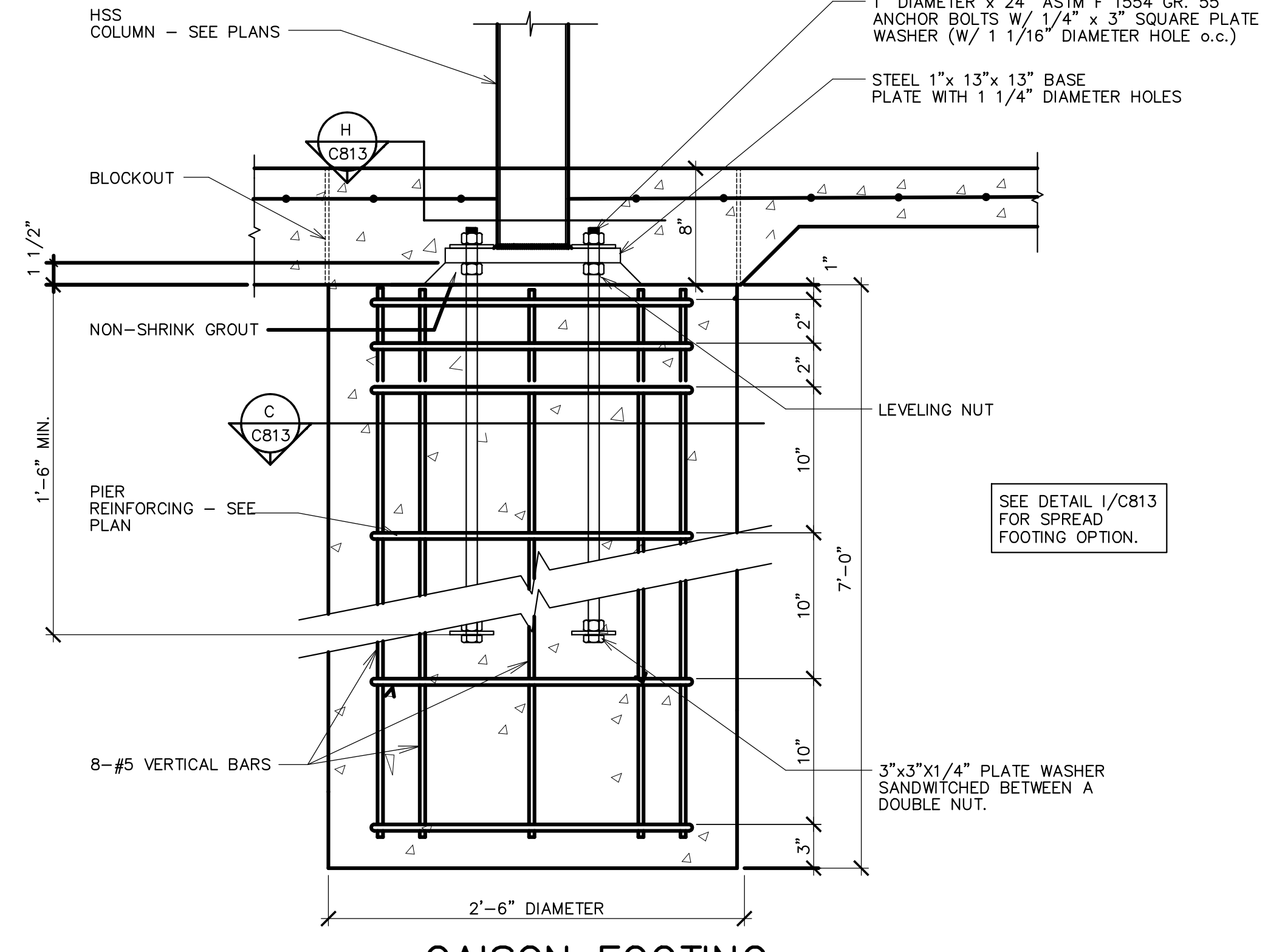
**SECTION B**

MITER ENDS OF FASCIA AT CORNERS. BUTT FASCIA ONLY AT BEAM ENDS. FASTEN FASCIA TO BEAMS W/ (3) 10d NAILS AT EACH JUNCTION AND TO DECK @ 12" o.c. (SIDES) AND 6 3/4" o.c. (ENDS)

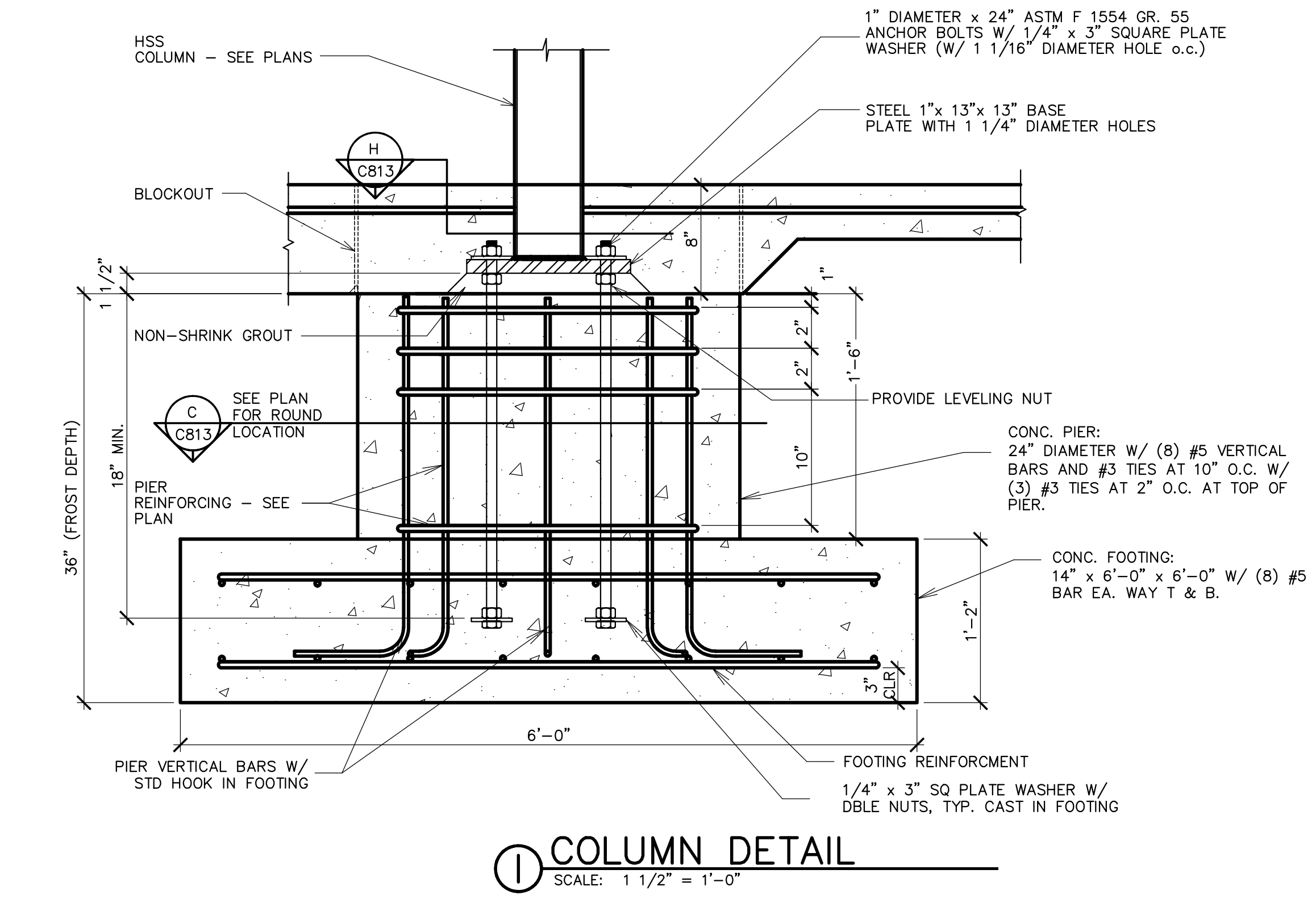


**E CONNECTION**  
SCALE: 1 1/2" = 1'-0"

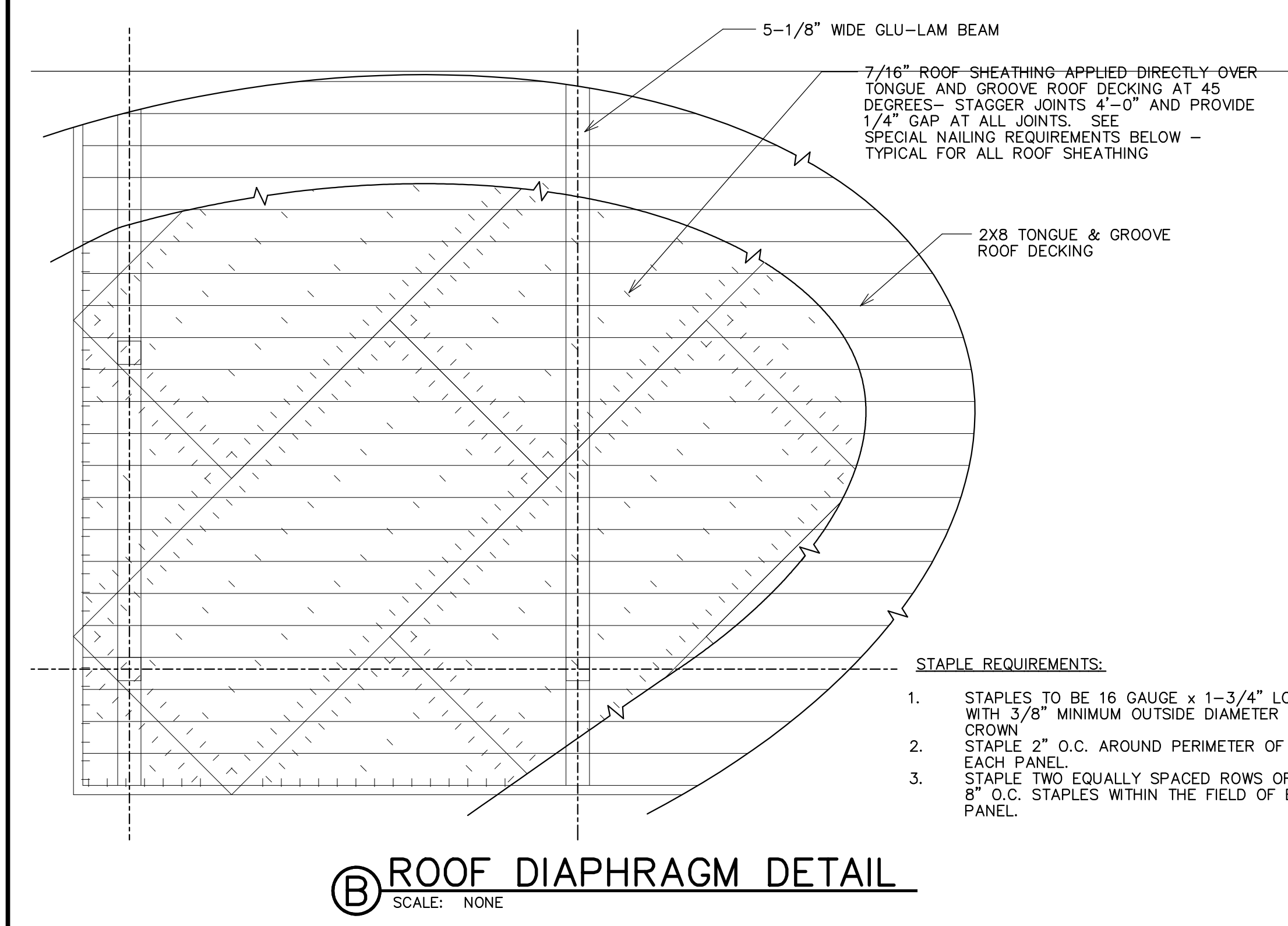
**F CONNECTION**  
SCALE: 1 1/2" = 1'-0"



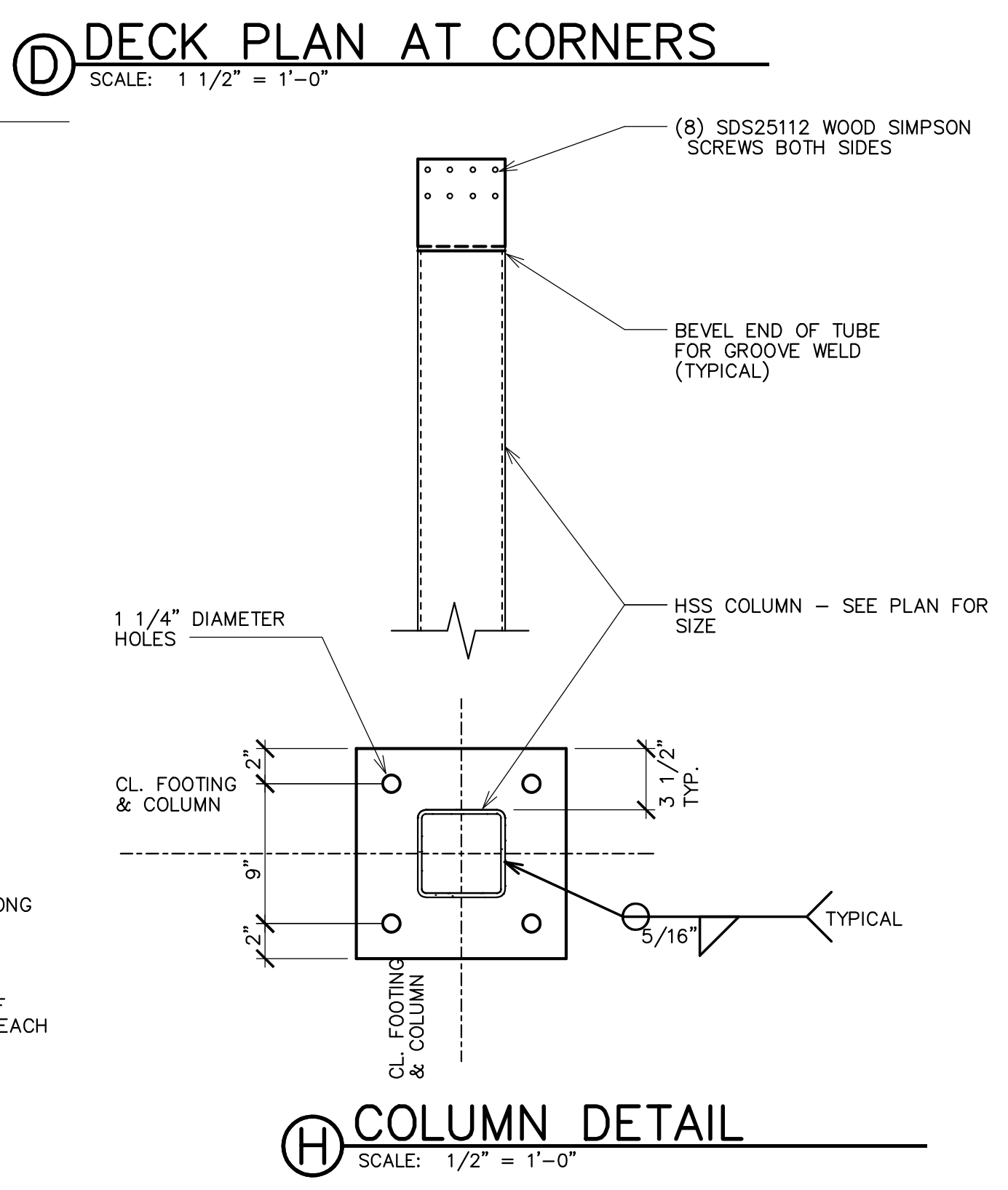
**G CAISSON FOOTING**  
SCALE: 1/2" = 1'-0"



**H COLUMN DETAIL**  
SCALE: 1 1/2" = 1'-0"

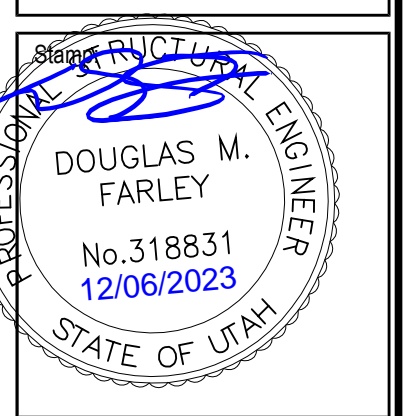


**B ROOF DIAPHRAGM DETAIL**  
SCALE: NONE



**D DECK PLAN AT CORNERS**  
SCALE: 1 1/2" = 1'-0"

- STAPLE REQUIREMENTS:**
1. STAPLES TO BE 16 GAUGE x 1-3/4" LONG WITH 3/8" MINIMUM OUTSIDE DIAMETER CROWN
  2. STAPLE 2" O.C. AROUND PERIMETER OF EACH PANEL
  3. STAPLE TWO EQUALLY SPACED ROWS OF 8" O.C. STAPLES WITHIN THE FIELD OF EACH PANEL.



Project for:  
**30'x60' Glulam Pavilion Kit 1 Option A**  
400 South Main Street  
Vineyard, Utah

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

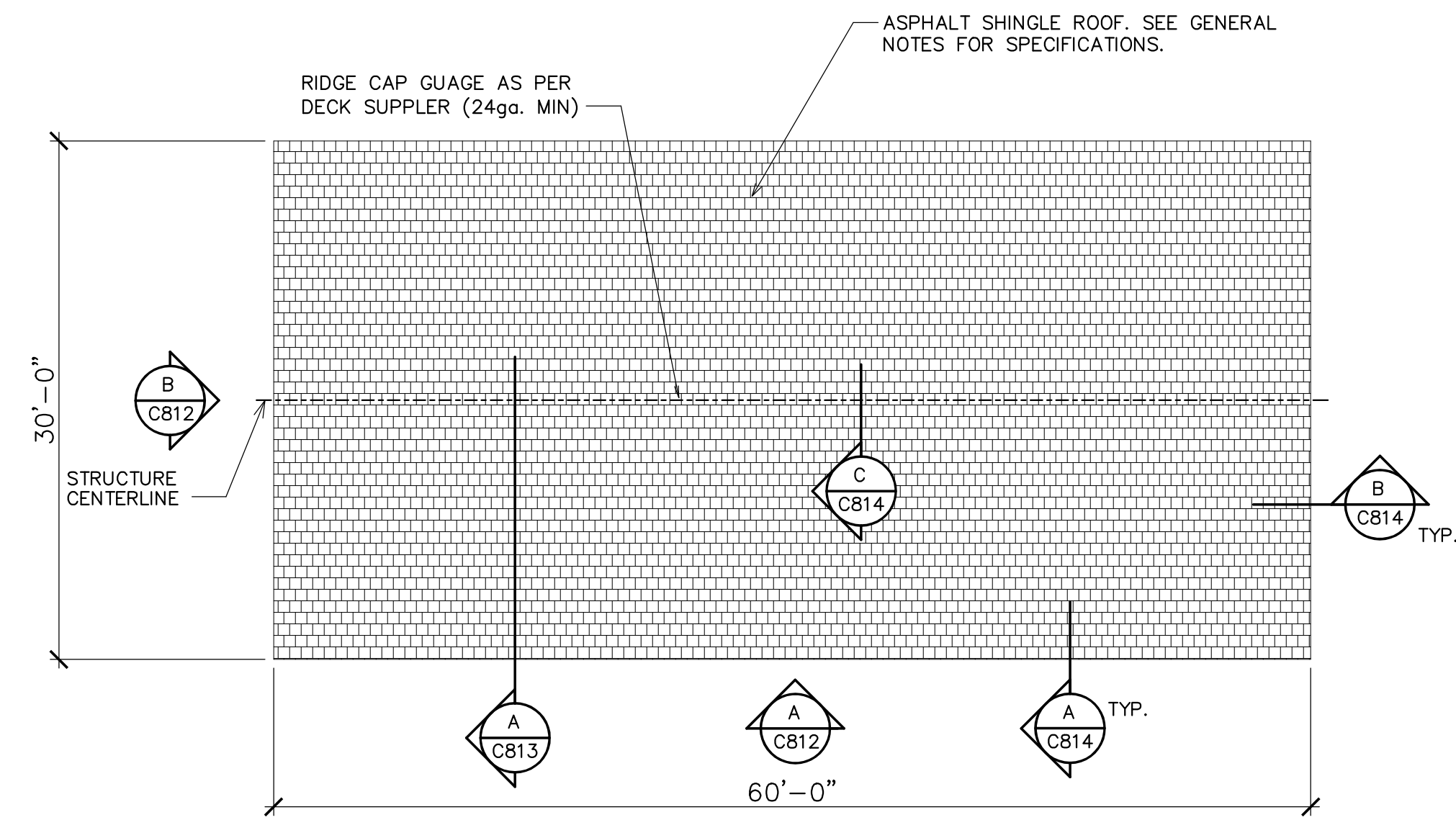
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Project Number:  
Plan Series:  
Property Number:

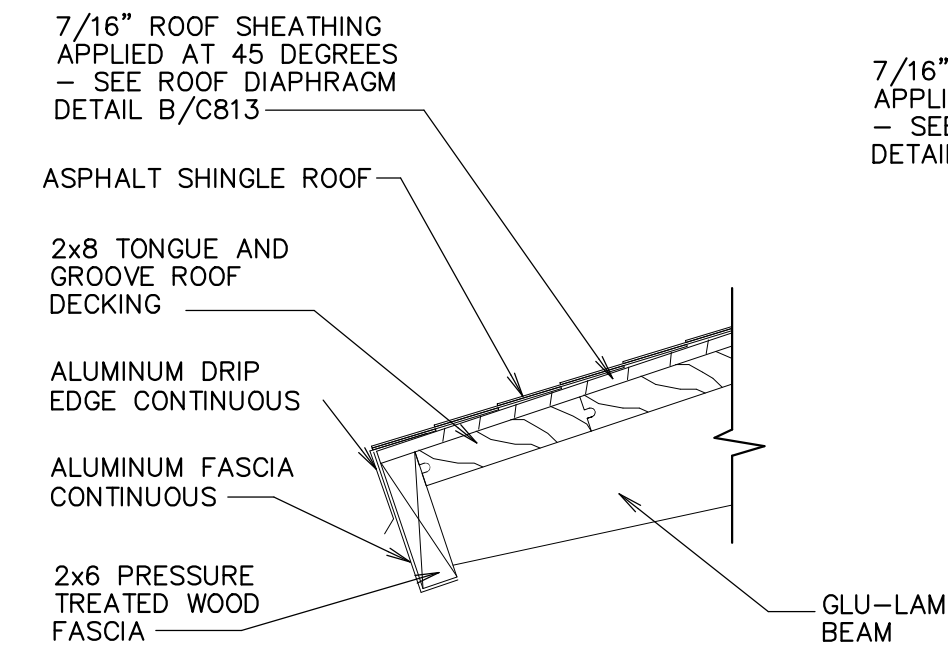
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**SECTION AND DETAIL VIEWS**

Sheet:  
**C813**

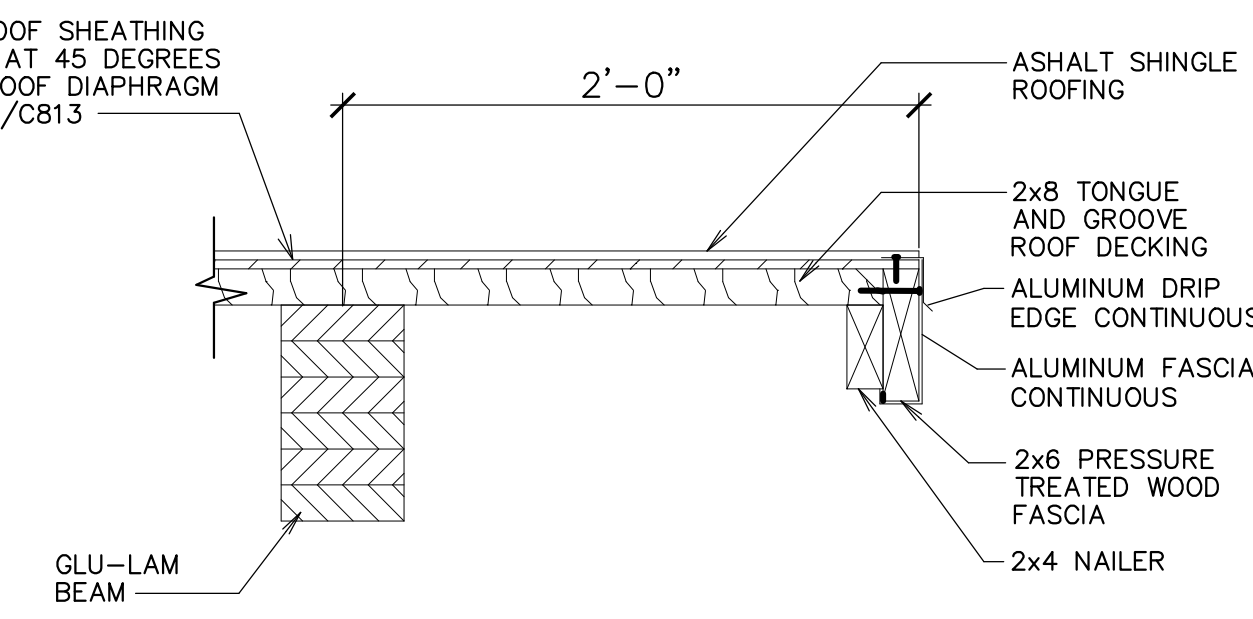




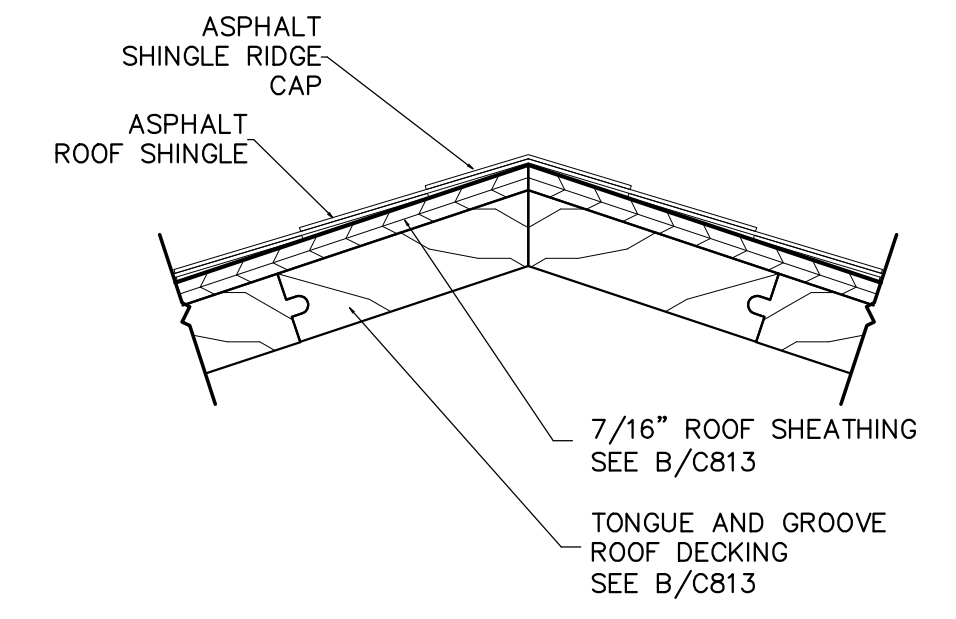
**① ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**Ⓐ FASCIA DETAIL**  
SCALE: 1 1/2" = 1'-0"



**Ⓑ RAKE DETAIL**  
SCALE: 1 1/2" = 1'-0"



**Ⓒ RIDGE CAP DETAIL**  
SCALE: 3" = 1'-0"

Supplier:

# SMITH

STEELWORKS

30'x60' Glulam Pavilion  
Kit 1 Option A  
400 South Main Street  
Vineyard, Utah

Project for:  
**THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS**

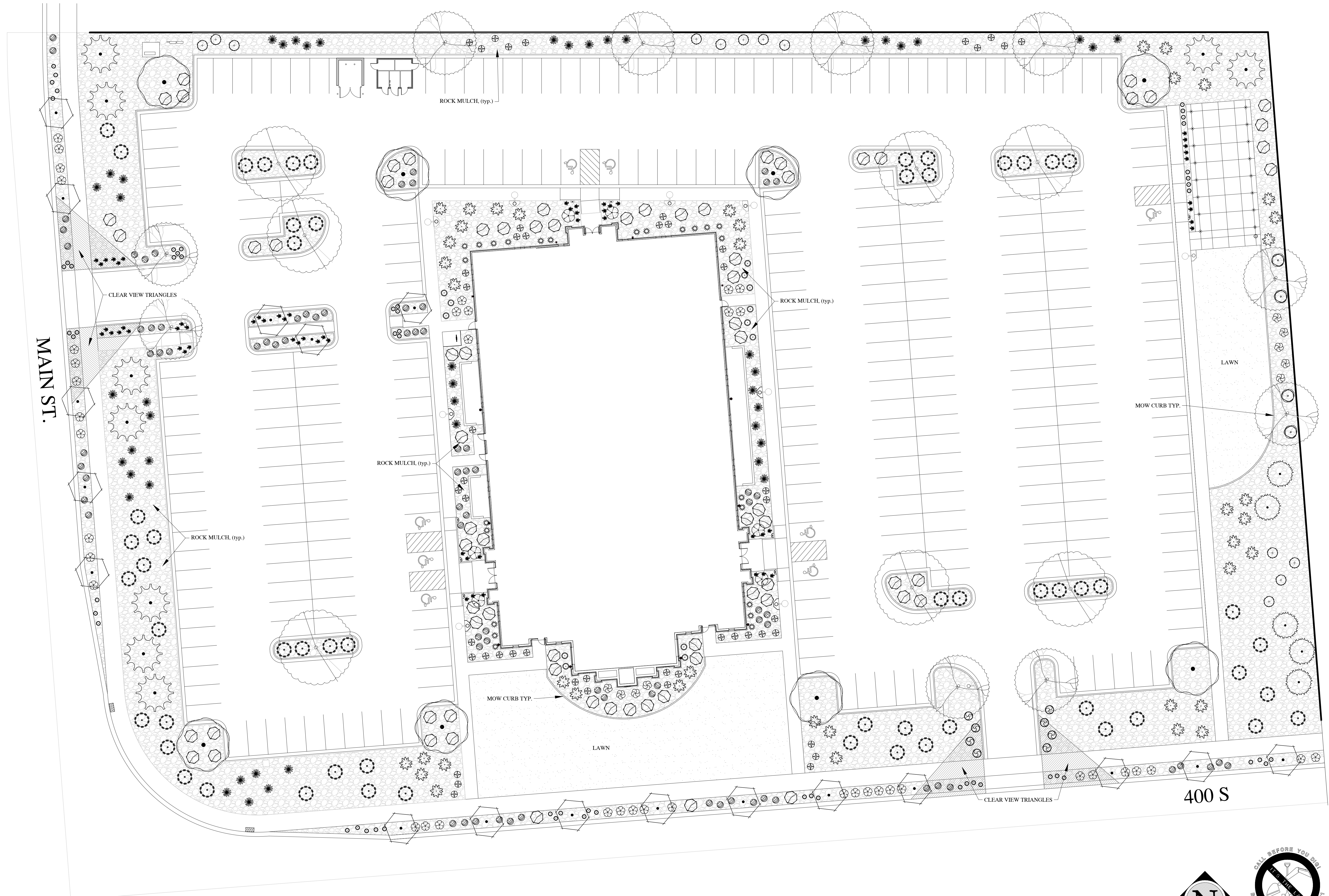
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Project Number:  
Plan Series:  
Property Number:

Sheet Title:  
**ROOF VIEWS  
AND DETAILS**

Sheet:  
**C814**



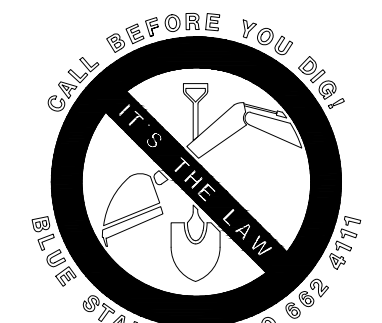
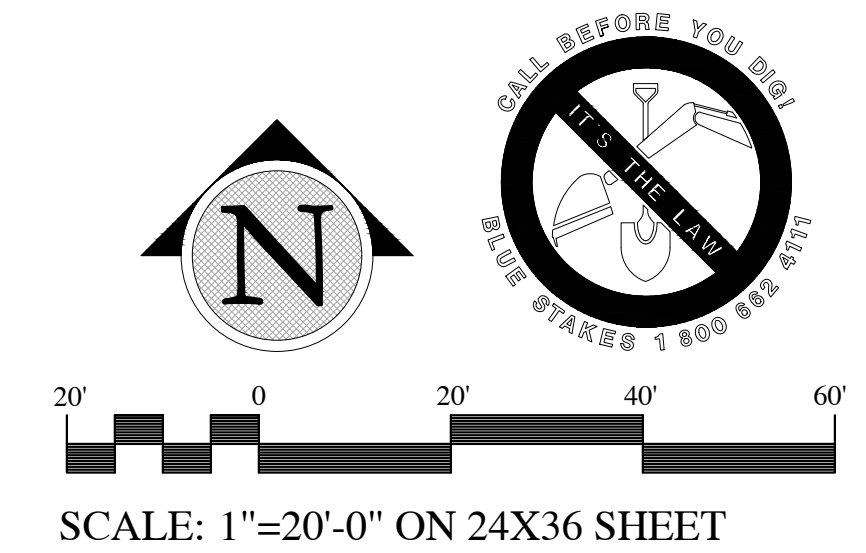


Revisions	Date	Description

Project Number 23-85
Plan Series Heritage 23-1
Property Number 501-6747-23010101
Date August 19, 2024

Sheet Title  
**LANDSCAPE PLAN**

Sheet  
**LS1.0**





## DESIGN CRITERIA

ECO-REGION	10.1 NORTHERN COLD DESERT
CLIMATE	U.S. HARDINESS ZONE 5
ZONING ORDINANCE	VINEYARD CITY
WATER AVAILABILITY	CULINARY WATER
SOIL TYPE	CLAY LOAM
SLOPES	SEE GRADING PLAN
WIND	SOUTH PREVAILING
SETBACKS/EASEMENTS	NA
MICROCLIMATES	NA
SOIL PH	7.6
LAWN AREA	19% OF TOTAL LANDSCAPE (10,693 SQ. FT.)*
UNDEVELOPED	NA
PROPERTY IRRIGATION SYSTEM	AUTOMATED SYSTEM WITH SMART CONTROLLER

\* PARK STRIP LANDSCAPE OF 4,464 SQ. FT. NOT INCLUDED IN THIS TOTAL

## LANDSCAPE DATA

TOTAL SITE AREA	192,869 SQ.FT.*	4.43 ACRES
TOTAL LANDSCAPE AREA	56,473 SQ.FT.*	29.3%
SHRUBS/GROUND COVER	45,780 SQ.FT.	80.6%
LAWN AREA	10,693 SQ.FT.	19.4% (20% MAX. PER CODE)
TREES ON SITE	63	
	TOTAL REQ'D = NA	PROVIDED = 63
	DECIDUOUS REQ'D = NA	PROVIDED = 49
	EVERGREEN REQ'D = NA	PROVIDED = 14
	SHRUBS REQ'D = NA	PROVIDED = 581
	DROUGHT TOLERANT REQ'D = NA	
	DROUGHT TOLERANT PROVIDED = (80%)	
ADDITIONAL INFO	NA	

\* PARK STRIP LANDSCAPE OF 4,464 SQ.FT. NOT INCLUDED IN THIS TOTAL

## PLANT COVERAGE TABLE

	SHRUB MATURE COVERAGE	ACTUAL % COVERAGE	TREE COVERAGE INTENT	TREE COUNT
STREET FRONTAGE	25-50%	49%	FRAME BUILDING	4
PRIMARY ENTRIES	30-50%	44%	FRAME ENTRY	6
BUILDING PERIMETER	25-45%	35%	ACCENT BUILDING	20
PERIMETER SIDES	5-15%	14%	SCREEN LOT	23
PERIMETER REAR	5-15%	12%	SCREEN LOT	10

## SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING LIFTED.
- LAY SOD IN ROWS WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
- LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.
- AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 POUND SOD ROLLER. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.
- WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 4" OF TOPSOIL.
- PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRESPASSING, EROSION AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.

## LANDSCAPE NOTES:

- STOCK PILED, SCREENED TOP SOIL TO BE IMPLEMENTED IN ALL NEW PLANTING AREAS AT THE FOLLOWING DEPTHS: 12" IN ALL SHRUB BEDS, 5" IN ALL LAWN AREAS.
- LAWN TO BE A DESERT SAGE BLUEGRASS BLEND (MIN. 3 VARIETIES) AND BE IMPLEMENTED AS SOD.
- 6" x 6" FLAT CONCRETE CURBING TO BE IMPLEMENTED BETWEEN ALL SHRUB BED AND LAWN AREAS AS SHOWN ON PLAN.
- ROCK MULCH TO BE 1" SIZE 'SOUTHTOWN' CRUSHED ROCK FROM UTAH LANDSCAPE ROCK IN NEPHIL, UTAH. IMPLEMENT IN AREA SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.
- ROCK MULCH TO BE CLEAN AND FREE OF DIRT AND DEBRIS, PLACED AT A UNIFORM DEPTH, AND RAKED SMOOTH.
- DEWITT 5.0 OZ. LANDSCAPE FABRIC TO BE IMPLEMENTED IN ALL SHRUB BEDS AND BENEATH ROCK MULCH PRIOR TO MULCH INSTALLATION. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- NO LANDSCAPING OR OTHER OBSTRUCTION IN EXCESS OF 3' ABOVE FINISHED GRADE SHALL BE IMPLEMENTED IN CLEAR VIEW TRIANGLES.
- MATERIAL QUANTITIES AND COUNTS ON LEGENDS AND NOTES ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR RESPONSIBLE TO VERIFY ALL COUNTS AND QUANTITIES ON PLANS.
- ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.

## BROADLEAF DECIDUOUS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	ACER TRUNCATUM 'KEITHSFORM' NORWEGIAN SUNSET MAPLE	8	2" CAL.
	CARPINUS CAROLINIANA 'RISING FIRE' RISING FIRE AMERICAN HORNBEAM	18	2" CAL.
	GINKGO BILOBA 'GOLDSPIRE' GOLDSPIRE GINKGO	6	10 GAL.
	GLEDTISIA TRIACANTHOS 'IMPERIAL' IMPERIAL HONEYLOCUST	10	2" CAL.
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	7	2" CAL.

## CONIFER / EVERGREEN LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
--------	----------------------------	-----	------

	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE	9	6-7 TALL
	PICEA OMORIKA SERBIAN SPRUCE	5	6-7 TALL

## PERENNIAL LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	HEMEROCALLIS X 'ROSY RETURNS' ROSY RETURNS DAYLILY	61	1 GAL.
--	---	----	--------

## GRASS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	24	1 GAL.
	HELICTOTRICHON 'SEMPERVIRENS' BLUE OAT AVENA GRASS	71	1 GAL.

## SHRUB LEGEND

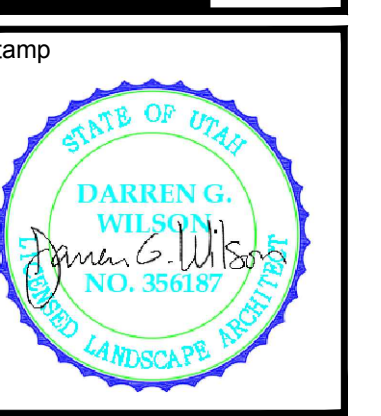
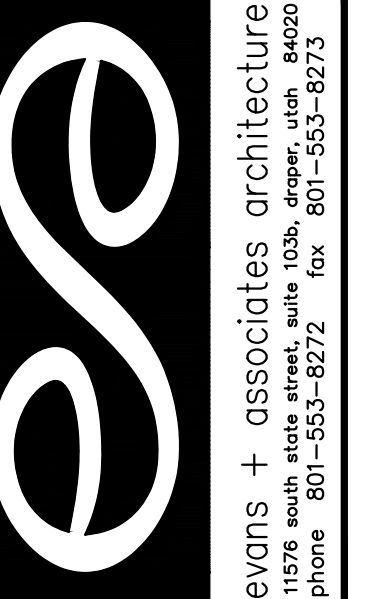
SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
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	BUDDLEIA X 'FLUTTERBY PETITE' DWARF BUTTERFLY BUSH	50	2 GAL.
	CERCOCARPUS INTRICATUS* LITTLELEAF MOUNTAIN MAHOGANY	12	5 GAL.
	CORNUS ALBA 'BAILHALO' IVORY HALO DOGWOOD	4	5 GAL.
	FORSYTHIA X 'COURTASOL' GOLD TIDE FORSYTHIA	8	5 GAL.
	HIBISCUS SYRIACUS 'ANTONG TWO' LIL' KIM ROSE OF SHARON	9	5 GAL.
	JUNIPERUS SABINA 'SCANDIA' SCANDIA JUNIPER	40	5 GAL.
	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' LITTLE DEVIL NINEBARK	48	5 GAL.
	PRUNUS BESSEYI 'PAWNEE BUTTES' PAWNEE BUTTES SAND CHERRY	74	5 GAL.
	ROSA X 'MEICOUBLAN' WHITE MIDLAND SHRUB ROSES	41	5 GAL.
	RIBES ALPINUM 'GREEN MOUND' GREEN MOUND CURRANT	81	5 GAL.
	SYMPHORICARPOS X CHENAULTII 'HANCOCK' HANCOCK CORALBERRY (LOW-SPREADING)	58	5 GAL.

## GROUNDCOVERS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY
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	ROCK MULCH TO BE 1" SIZE 'SOUTHTOWN' CRUSHED ROCK FROM UTAH LANDSCAPE ROCK IN NEPHIL, UTAH. IMPLEMENT IN AREA SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.	PER PLAN
	DESERT SAGE BLUEGRASS FROM CHANSHARE SOD FARMS. INSTALL PER SOD LAYING NOTES	SOD ROLLS



A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
Parcel -  
400 South Main Street  
Vineyard, Utah

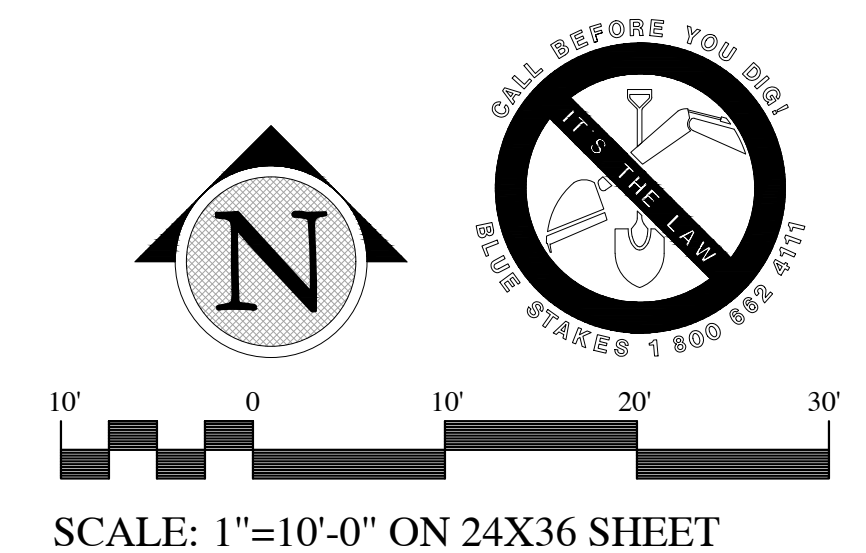
Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description
Mark	Date

Project Number	23-85
Plan Series	Heritage 23-1
Property Number	501-6747-23010101
Date	August 19, 2024

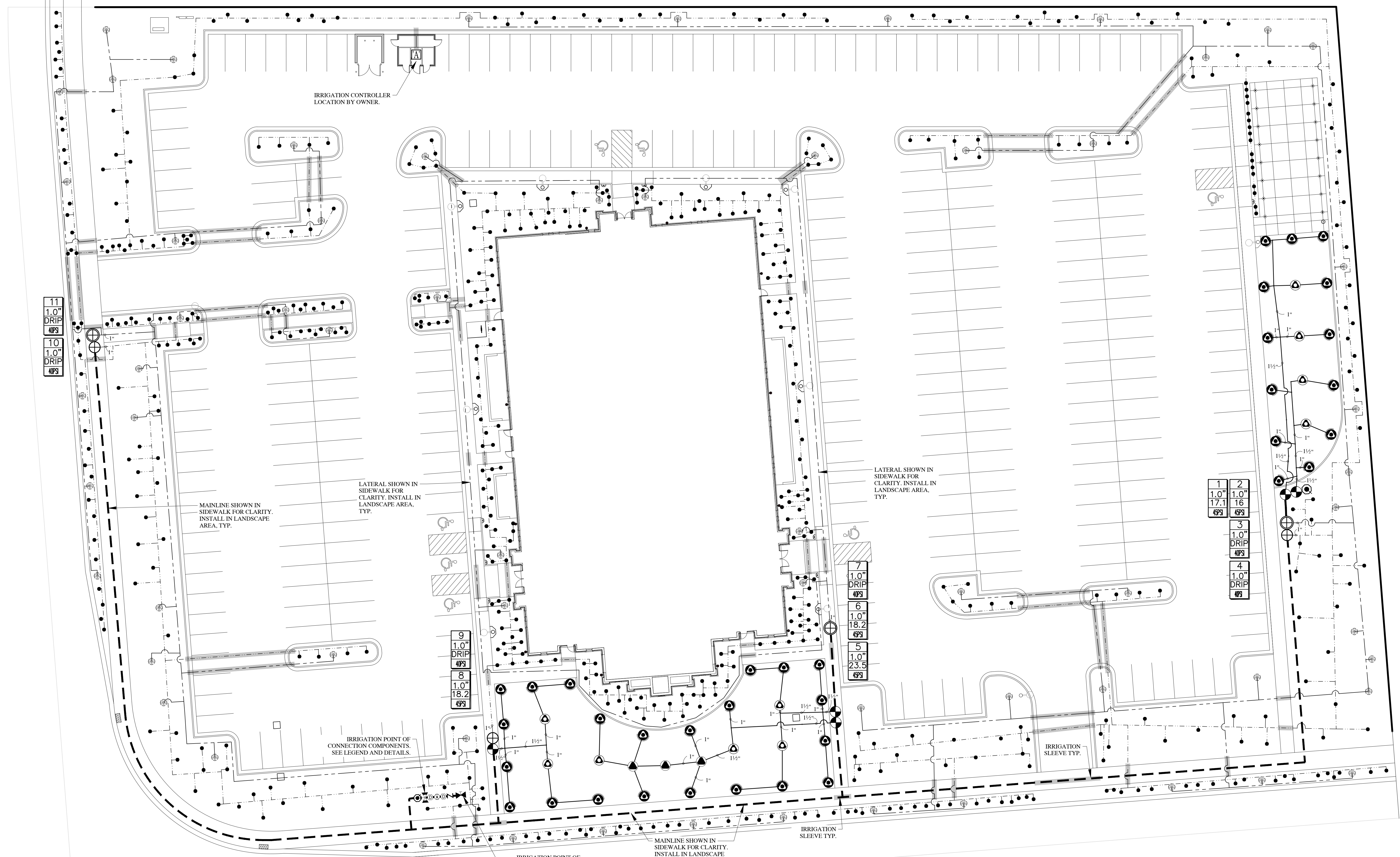
Sheet Title  
**LANDSCAPE LEGEND**

Sheet  
**LS1.1**



SCALE: 1"=10'-0" ON 24X36 SHEET





11	1.0"	DRIP	4PS
10	1.0"	DRIP	4PS

MAINLINE SHOWN IN SIDEWALK FOR CLARITY. INSTALL IN LANDSCAPE AREA, TYP.

LATERAL SHOWN IN SIDEWALK FOR CLARITY. INSTALL IN LANDSCAPE AREA, TYP.

LATERAL SHOWN IN SIDEWALK FOR CLARITY. INSTALL IN LANDSCAPE AREA, TYP.

9	1.0"	DRIP	4PS
8	1.0"	DRIP	4PS
7	1.0"	DRIP	4PS

6	1.0"	DRIP	4PS
5	1.0"	DRIP	4PS

1	1.0"	DRIP	4PS
2	1.0"	DRIP	4PS
3	1.0"	DRIP	4PS
4	1.0"	DRIP	4PS

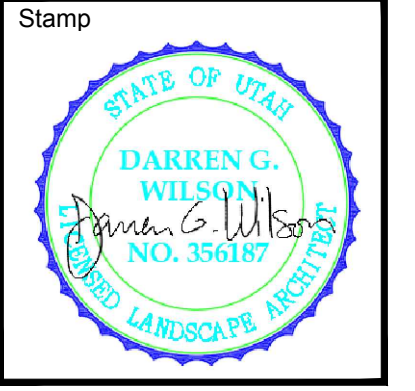
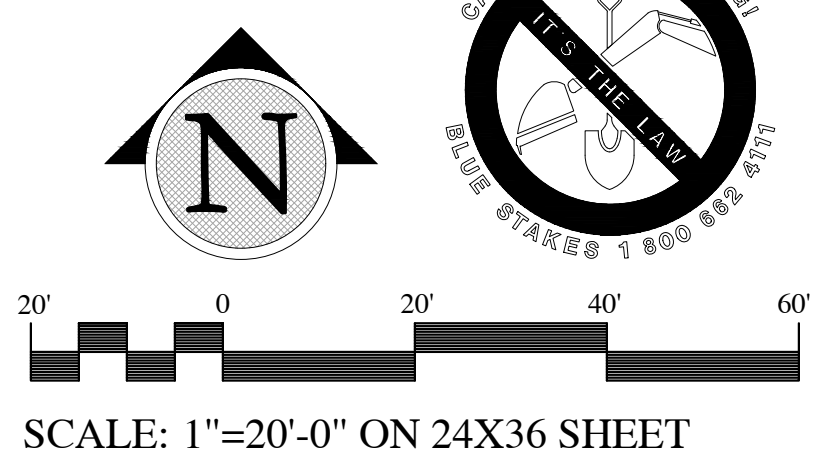
IRRIGATION POINT OF CONNECTION COMPONENTS. SEE LEGEND AND DETAILS.

IRRIGATION POINT OF CONNECTION BY GENERAL CONTRACTOR.

MAINLINE SHOWN IN SIDEWALK FOR CLARITY. INSTALL IN LANDSCAPE AREA, TYP.

IRRIGATION SLEEVE TYP.

IRRIGATION SLEEVE TYP.



A New Meetinghouse for:  
**Vineyard 10 & Vineyard UT Stake**  
 Parcel: 400 South Main Street  
 Vineyard, Utah

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

Revisions	Description
Mark	Date

Project Number: 23-85  
 Plan Series: Heritage 23-1  
 Property Number: 501-6747-23010101  
 Date: August 19, 2024

Sheet Title:  
**IRRIGATION PLAN**

Sheet:  
**LS2.0**

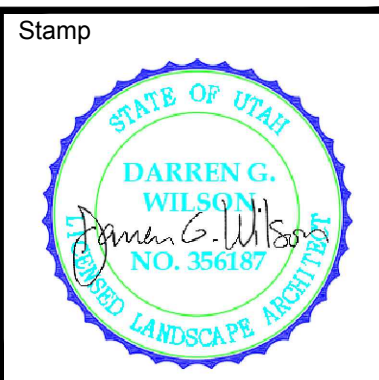
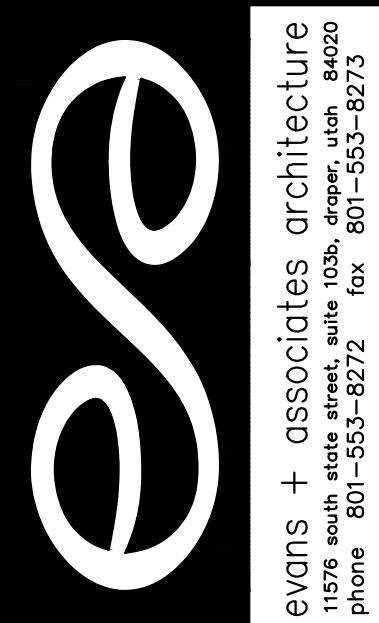


# IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM							DRIP GPH	DETAILS	REMARKS
					Q	T	H	TT	TQ	F				
●	RAINBIRD XB-PC	FULL	--	30	--	--	--	--	--	2.0	15, 16	SEE LEGEND BELOW FOR ADDITIONAL INFORMATION.		
Ⓢ	DRIPLINE: NETAHM TLCV-09-12	FULL	--	30	--	--	--	--	--	9/12"	12, 14	ADJUST NOZZLES AS NEEDED TO KEEP WATER OFF SIDEWALK, ASPHALT AND BUILDING.		
▲	RAIN BIRD 1806-PRS POP-UP ROTARY 18	FULL	13' - 18'	45	.5	--	--	--	--	1.85	18, 19	NEEDED TO KEEP WATER OFF SIDEWALK, ASPHALT AND BUILDING.		
▲	RAIN BIRD 1806-PRS POP-UP ROTARY 24	Q.H.F.	17' - 24'	45	.84	--	1.68	--	--	3.48	18, 19			
A	CONTROLLER: WEATHERTRAK ET PRO3 (WTPRO3-C-12-CWM)										8, 11, 20	COORDINATE LOCATION WITH OWNER		
N	1" RAINBIRD QUICK COUPLER VALVE, MODEL 44-LRC										4	IN 10" RND. VALVE BOX		
Ⓢ	1-1/2" WILKENS 375B RPZ BACKFLOW PREVENTOR IN GUARDSHACK ENCLOSURE										9	IN STRONGBOX ENCLOSURE		
Ⓢ	REMOTE CONTROL VALVE: RAINBIRD PEB-PRS-D AUTOMATIC CONTROL VALVE; SIZE PER PLAN										21	JUMBO VALVE BOX		
Ⓢ	DRIP CONTROL ZONE KIT: RAINBIRD XCZ-075-PRF OR XCZ-100-PRB-COM PER PLANS										17	JUMBO VALVE BOX		
Ⓢ	DRIP CONTROL ZONE KIT: RAINBIRD XCZ-075-PRF OR XCZ-100-PRB-COM PER PLANS (FOR TREES)										17	JUMBO VALVE BOX		
Ⓢ	1-1/2" STOP & WASTE TO BE INSTALLED BY GENERAL CONTRACTOR. SEE CIVIL DRAWINGS.										7	BY GENERAL CONTRACTOR		
Ⓢ	HYDROMETER: NETAHM LHM1STGI-MEL (WITH PE-393 FLOW SENSOR CABLE)										7, 10	REFERENCE DETAILS		
Ⓢ	DRAIN VALVE: GRACO WELD TOP										5, 7	REFERENCE DETAILS		
Ⓢ	ISOLATION VALVE										7	REFERENCE DETAILS		
Ⓢ	MAINLINE: 1-1/2" SCH 40 PVC OR OTHERWISE NOTED.										1, 2	REFERENCE DETAILS		
Ⓢ	LATERAL LINE FOR ROTORS AND/OR SPRAYS: SCHEDULE 40 PVC										1, 2	REFERENCE DETAILS		
Ⓢ	TREE DRIP LATERAL LINE (SIZE AS REQUIRED)										1, 2	REFERENCE DETAILS		
Ⓢ	SHRUB DRIP LATERAL LINE (SIZE AS REQUIRED)										1, 2	REFERENCE DETAILS		
Ⓢ	SCH. 40 PVC SLEEVE (SIZE TO MIN. 2X DIA. OF PIPE WITHIN THE SLEEVE). ADD ADDITIONAL SLEEVES AS REQ.										3	REFERENCE DETAILS		
NOT SHOWN	WIRE CHASE, SIZE TO BE TWICE THE DIA. OF THE WIRE BUNDLE WITHIN DOWN TO 1" DIA. MIN.										8, 11	REFERENCE DETAILS		
NOT SHOWN	14 GAUGE SOLID COPPER SINGLE STRAND WIRE.										8, 11	REFERENCE DETAILS		

# IRRIGATION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
- PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
- CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
- CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE FOR ALL LAWN AREAS. VAN AND/OR U-SERIES NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDED HEAD TO HEAD COVERAGE AND/OR TO MINIMIZE OVER SPRAY ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPE TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- MAIN LINE SHALL BE 1-1/2" SCH. 40 PVC (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 1" SCH. 40 PVC UNLESS NOTED ON PLAN. PVC PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1" PIPE MAX., 1-1/2" PIPE MAX., 3/8"PM (DO NOT USE 3/8" PIPE OR 1-1/4" PIPE ON THIS PROJECT). ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING BOULDERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
- PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES AND SHRUBS PER PLANTING PLAN. DO NOT LOCATE VALVE BOXES IN LAWN AREAS IF POSSIBLE.
- AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
- ALL SPRINKLERS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
- INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS. VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
- DRIP LINES SHALL BE RAINBIRD XBS OR XT-700 TUBING DRIP PIPE. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" DRIP PIPING. FOR DRIP AREAS REQUIRING 4-8GPM USE 3/4" DRIP PIPING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
- CONTRACTOR TO INSTALL RAIN BIRD XED-09-12 ON-SURFACE DRIP LINE FOR GROUNDCOVERS, FLAGSTONE PLANTINGS AND ANNUAL PLANTING AREAS AS NEEDED. MODIFY DRIP ZONES AS NECESSARY TO PROVIDE ADEQUATE COVERAGE TO ALL LANDSCAPED AREAS.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPEC.
- IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE RPZ PER MANUFACTURER SPECS. INSTALL THE RPZ AND PRESSURE REDUCER IN A LOCKING METAL CABINET. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
- INSTALL THE PRS-D OPTION FOR SPRAY VALVES IF THE STATIC PRESSURE AT SPRAY HEADS EXCEEDS 70 PSI.



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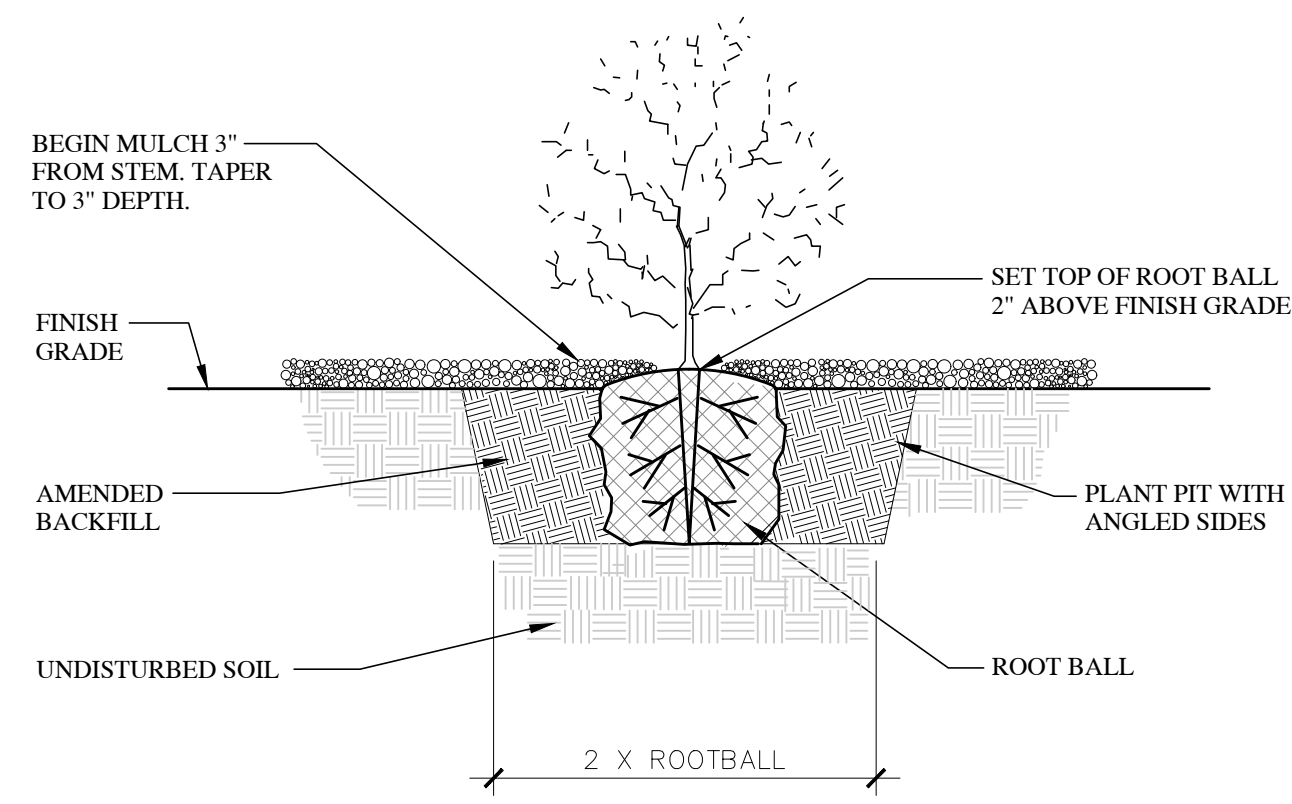
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Project Number: 23-85  
 Plan Series: Heritage 23-1  
 Property Number: 501-6747-23010101  
 Date: August 19, 2024

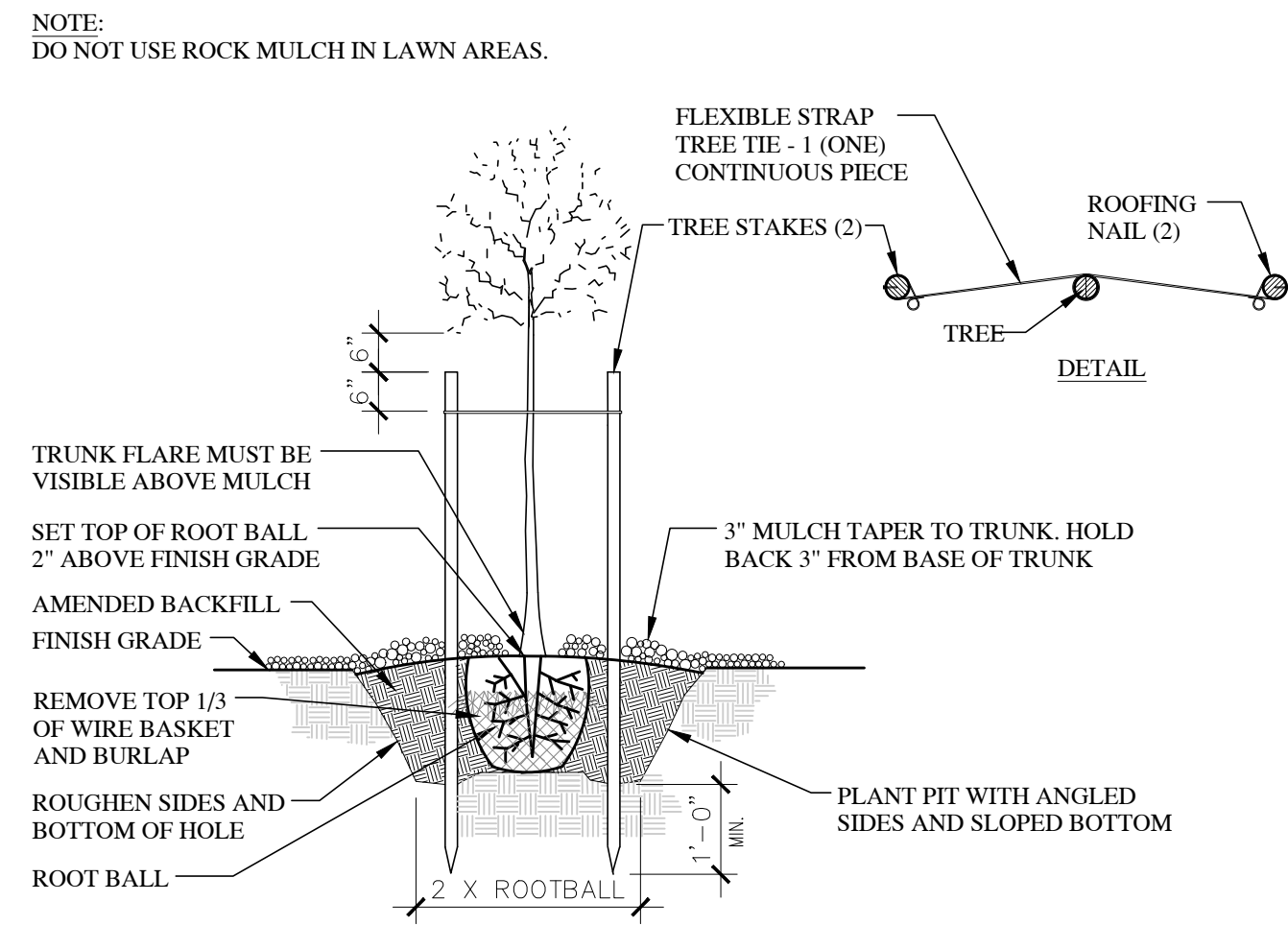
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Sheet:  
**LS2.1**

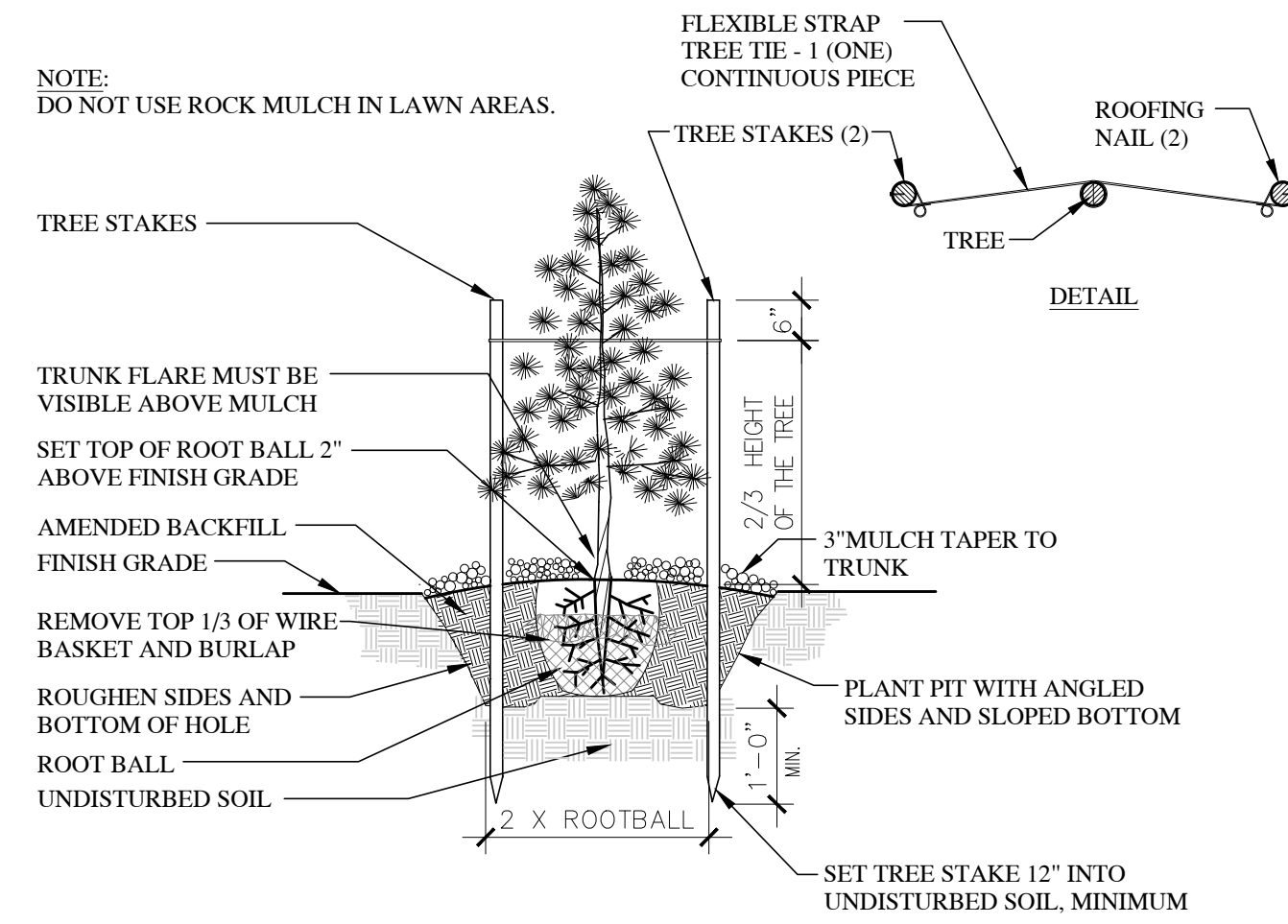




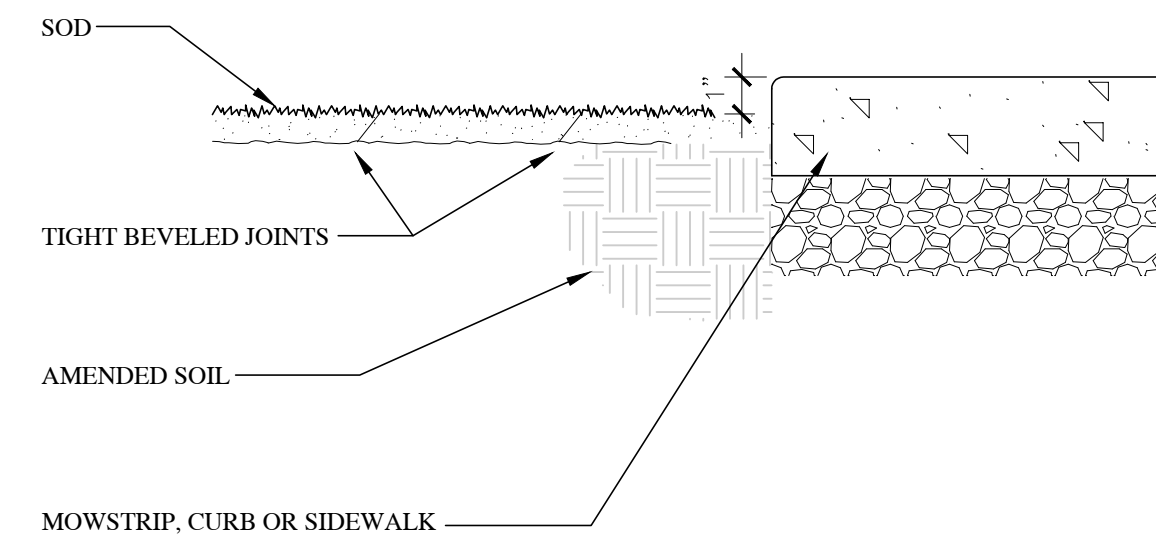
1 SHRUB PLANTING SCALE: NTS



2 TREE PLANTING AND STAKING SCALE: NTS

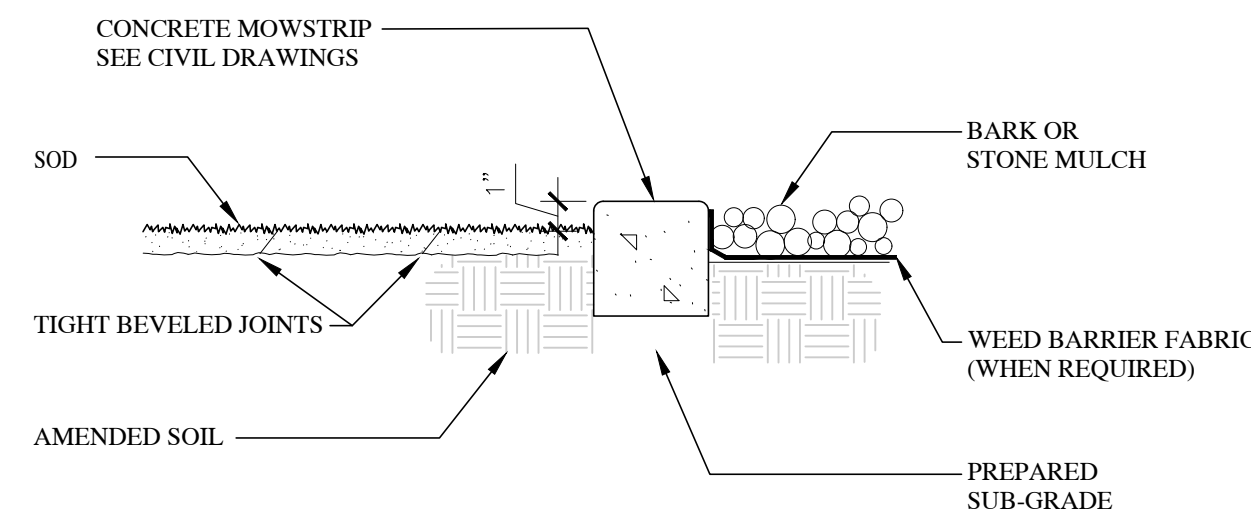


3 CONIFER PLANTING AND STAKING SCALE: NTS



4 SOD INSTALLATION SCALE: NTS

- NOTES:
1. MOWSTRIP TO BE CAST-IN-PLACE AND POURED USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
  2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
  3. MAXIMUM 1/2" WIDTH VARIATION.
  4. PRECISELY FOLLOW LAYOUT AS SHOWN ON MOWSTRIP/EDGING DIMENSION PLAN.
  5. RAISE THE LAWN GRADE 1" WHEN SEEDING.



5 CONCRETE MOWSTRIP SCALE: NTS

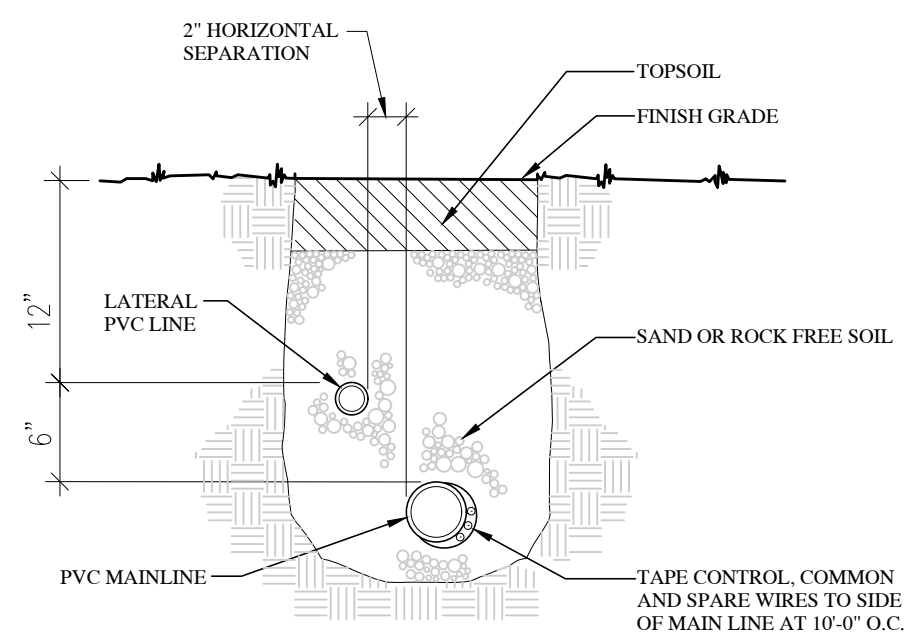
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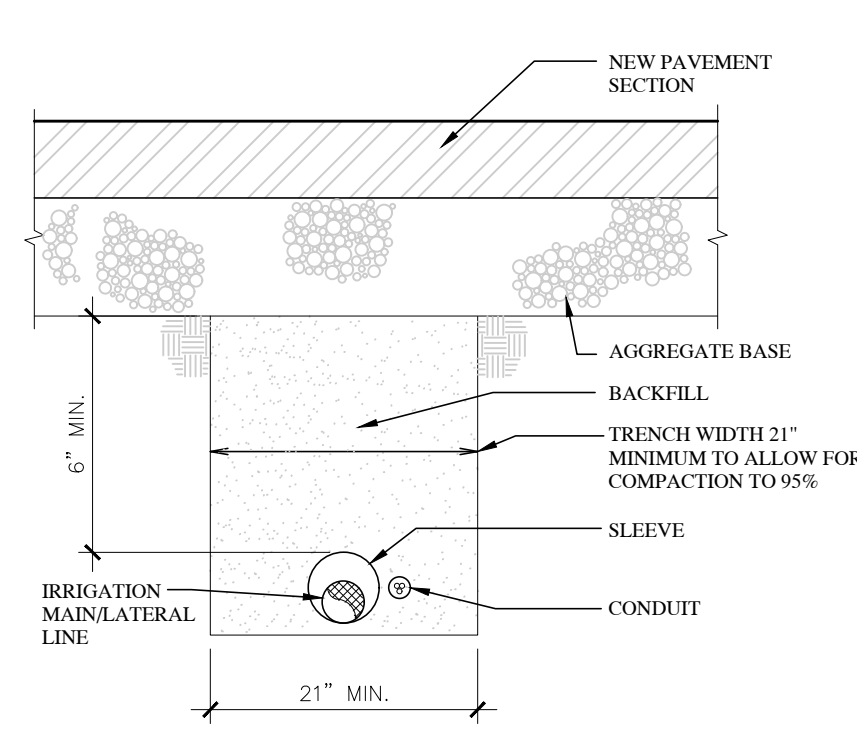
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Sheet  
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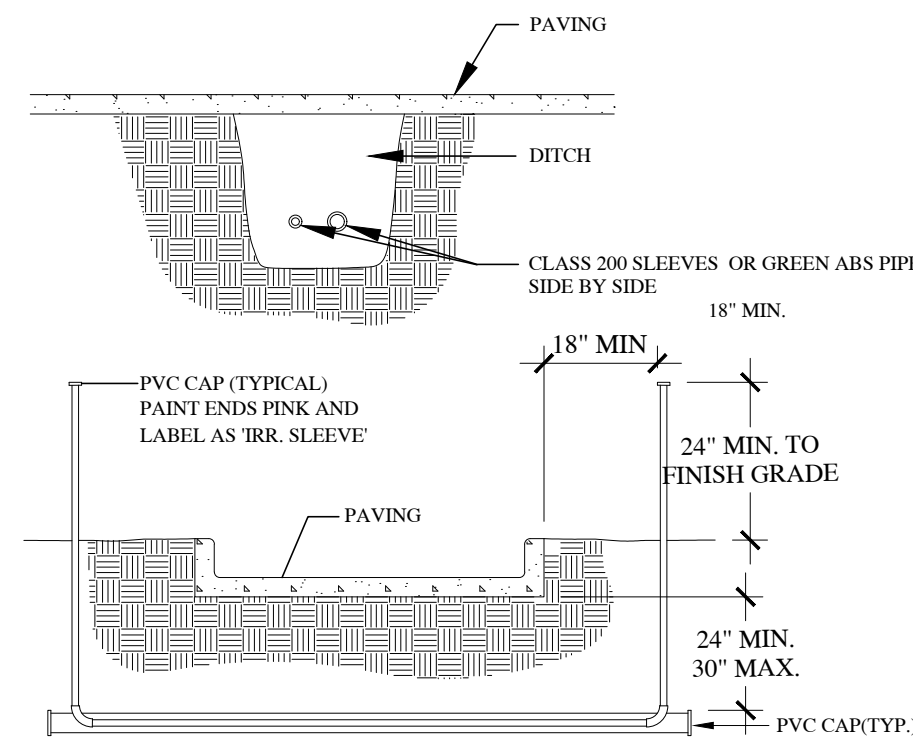




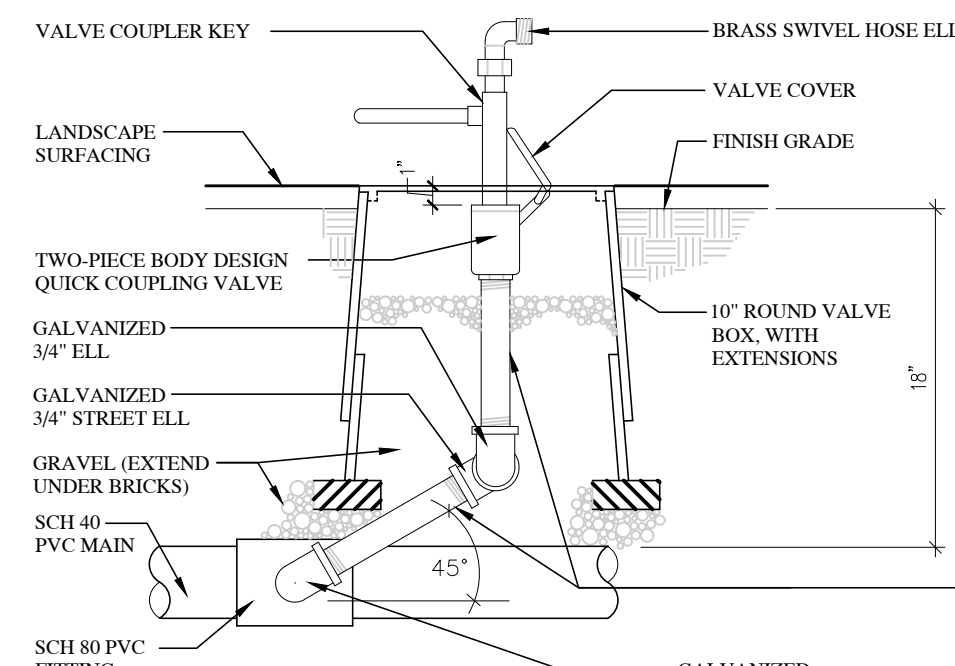
1 TRENCH SECTION - CONVENTIONAL WIRE SYS. SCALE: NTS



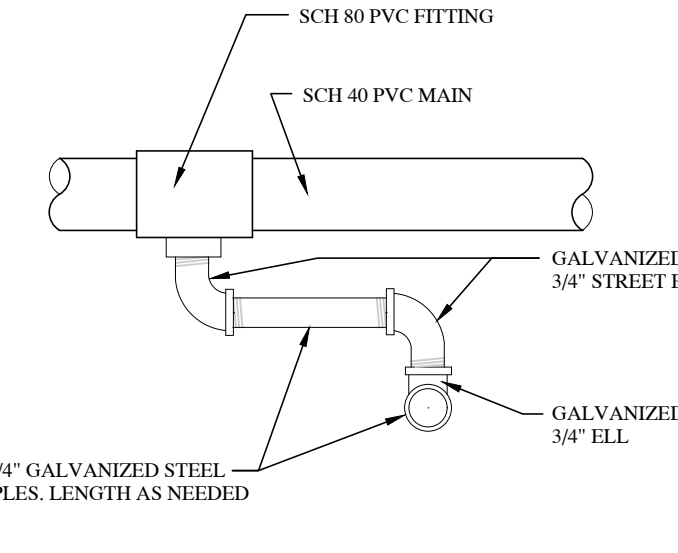
2 MISC. PIPE TRENCH: NEW PAVEMENT AREAS SCALE: NTS



3 SLEEVING SCALE: NTS

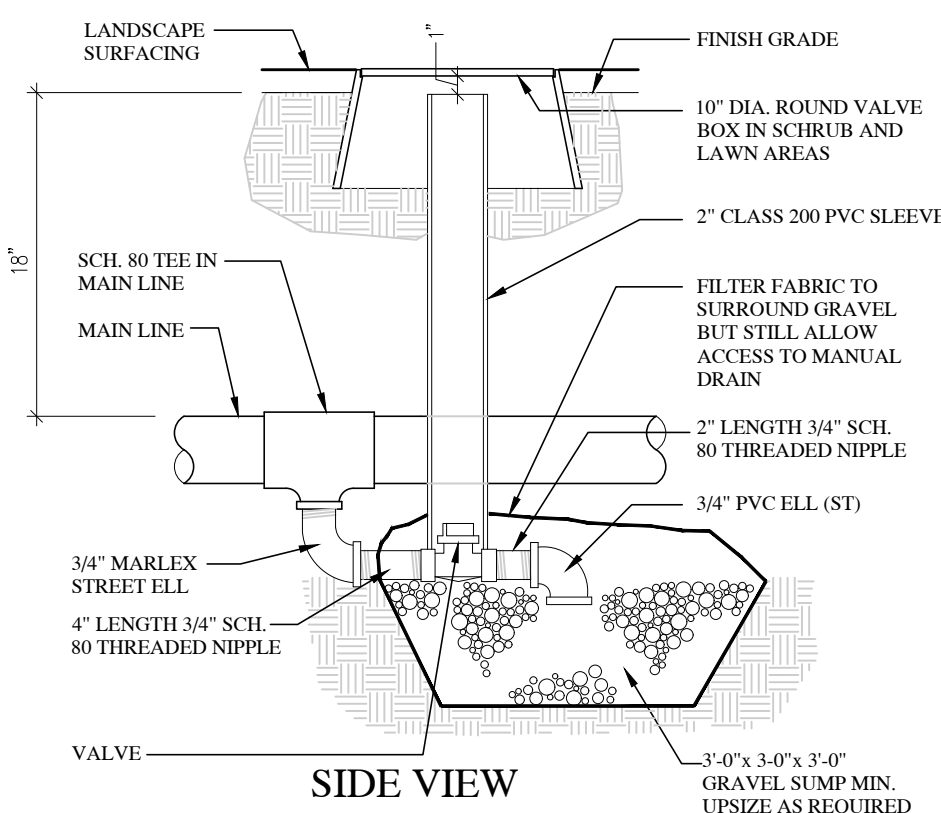


4 QUICK COUPLING VALVE SCALE: NTS

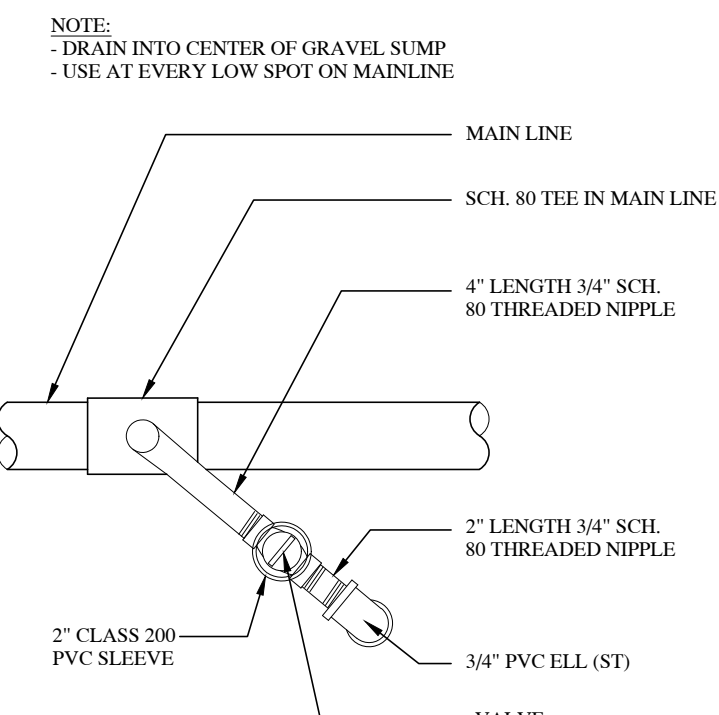


TOP VIEW

SCALE: NTS



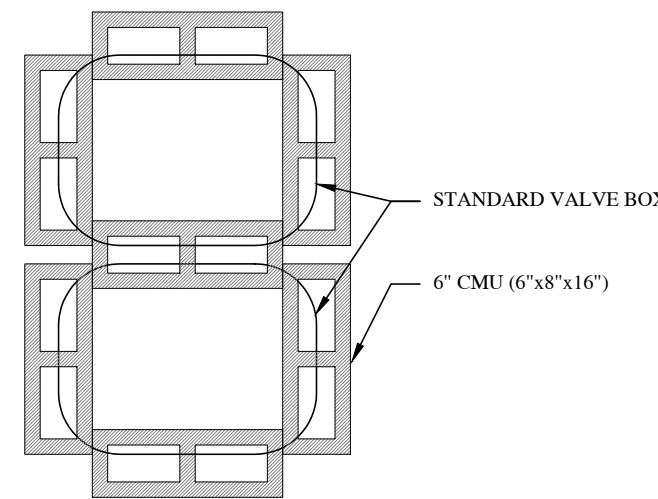
SIDE VIEW



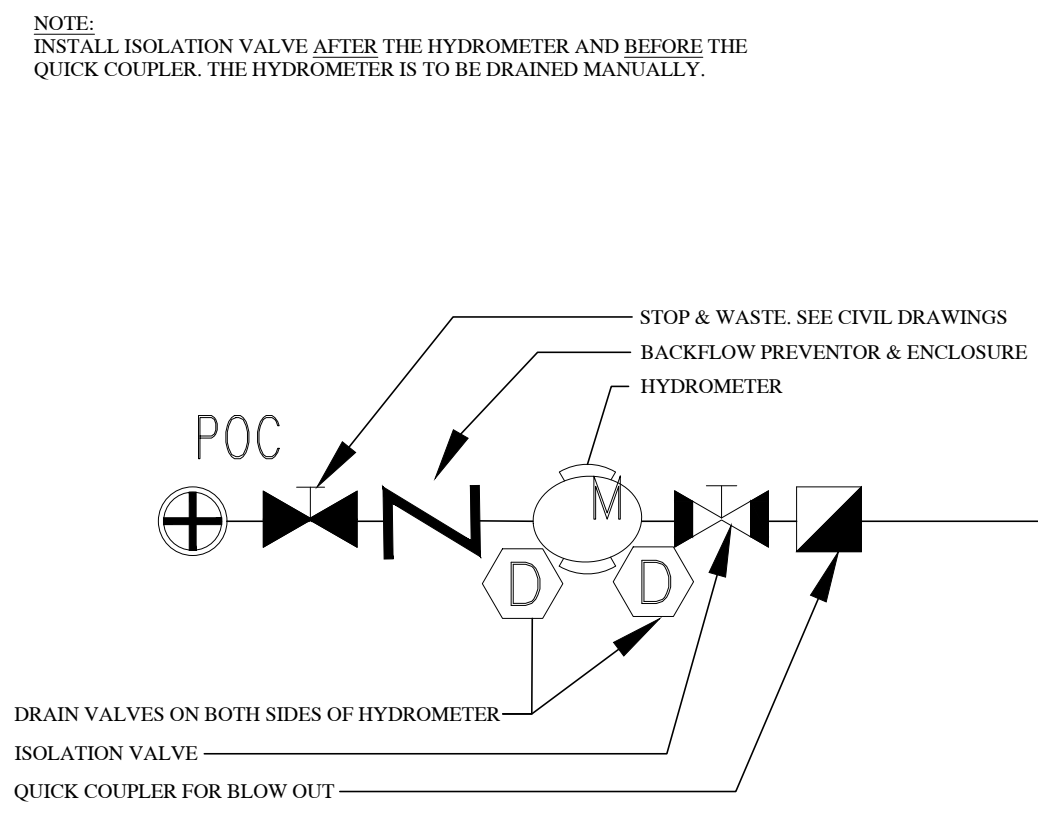
TOP VIEW

SCALE: NTS

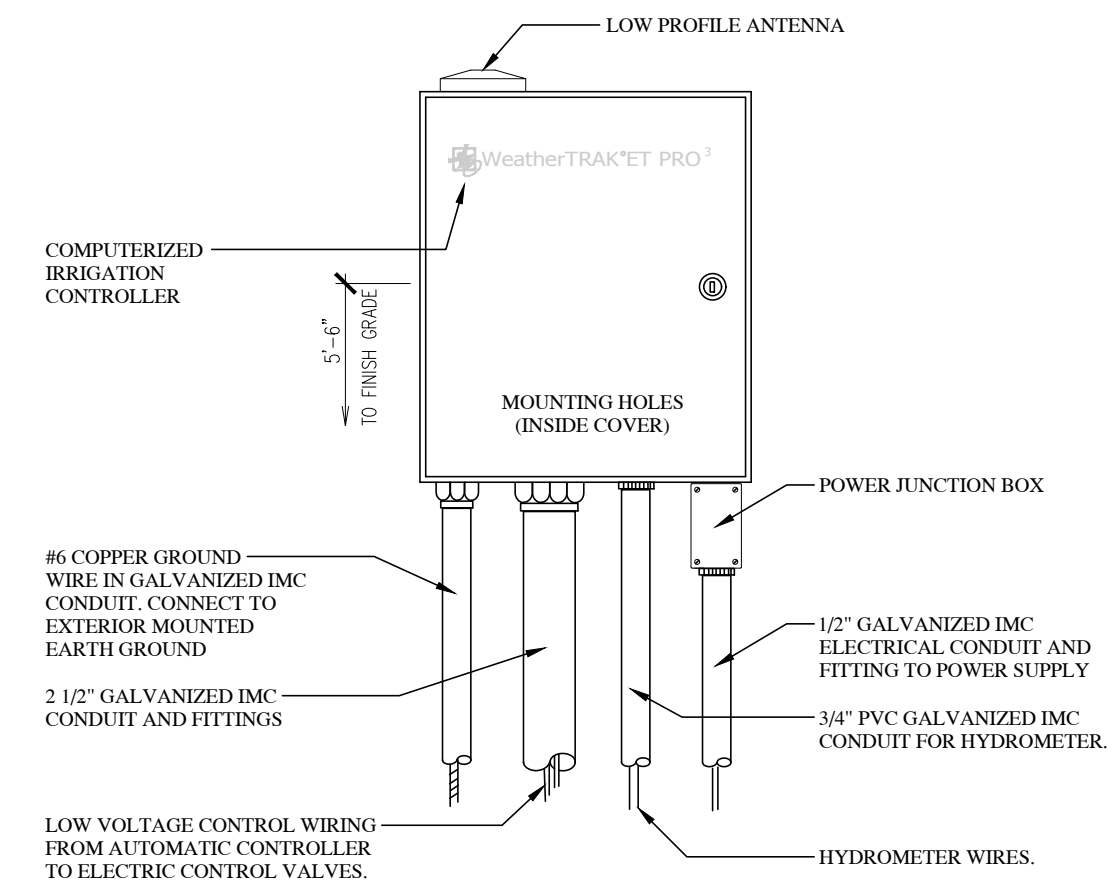
NOTES:  
1. VALVE BOX TO REST ON (4) CMU BLOCKS (ONE FOR EACH SIDE).  
2. CLUSTERED VALVE BOXES MAY SHARE A CMU BLOCK.



6 CMU PLACEMENT SCALE: NTS

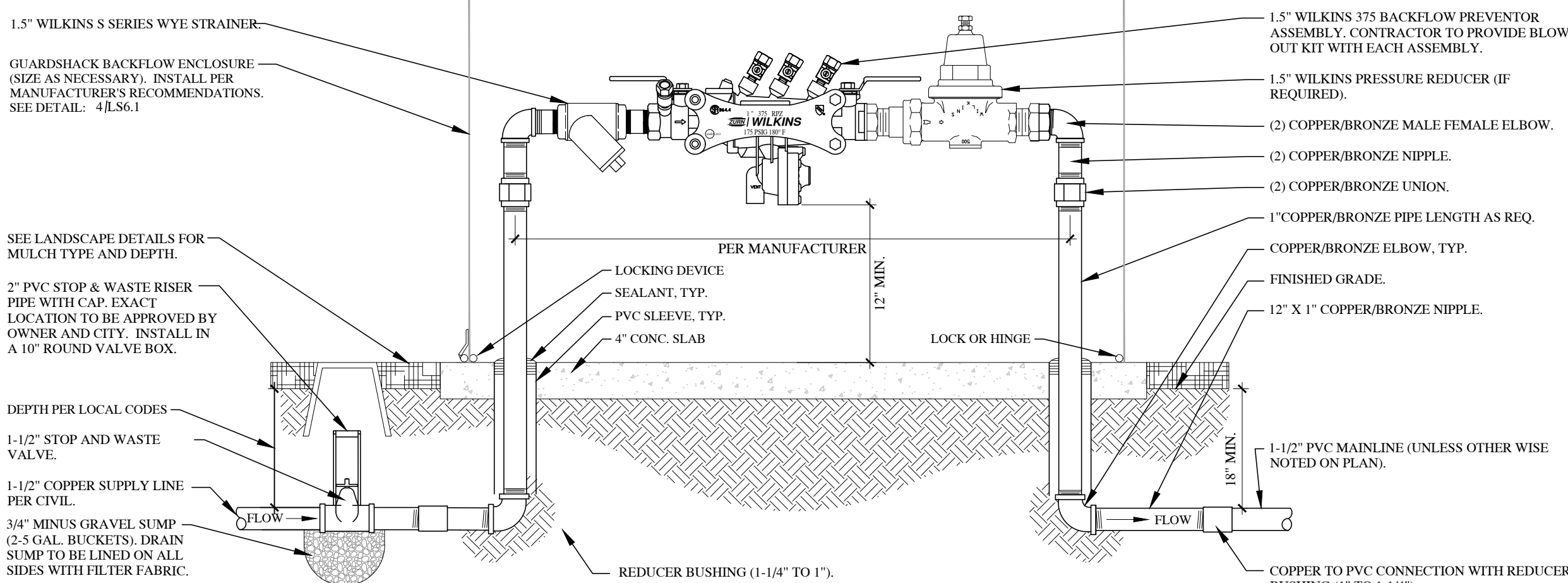


7 POC W/BACKFLOW SCHEMATIC LAYOUT SCALE: NTS



8 SMART CONTROLLER - WEATHER TRAK SCALE: NTS

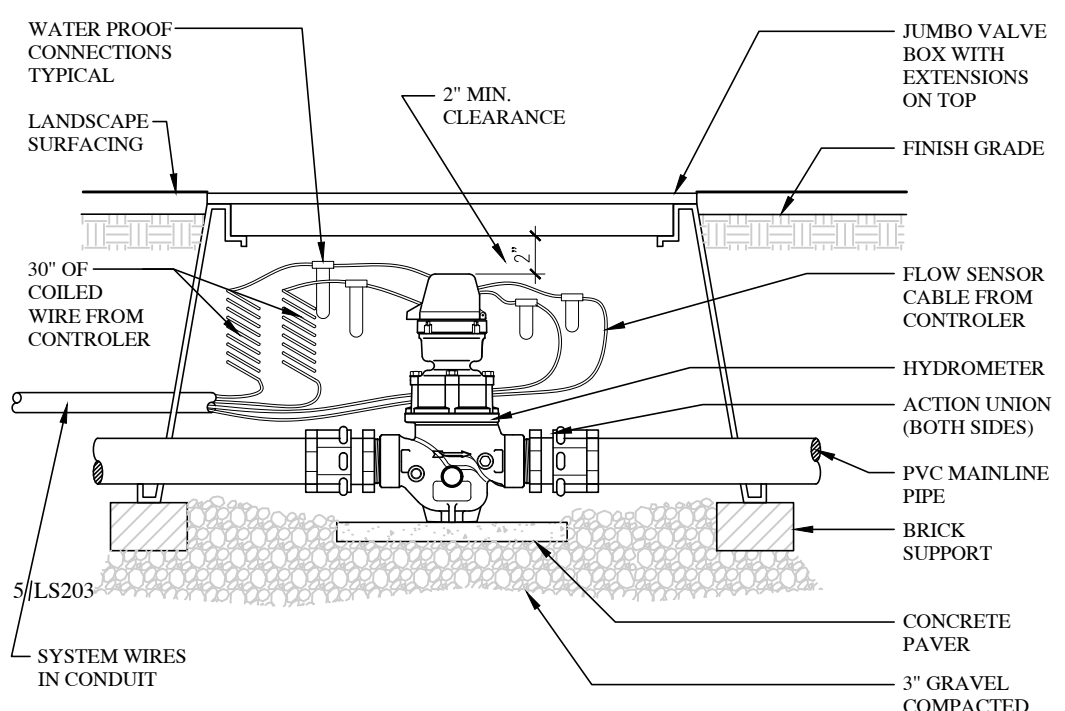
5 MAINLINE MANUAL DRAIN VALVE SCALE: NTS



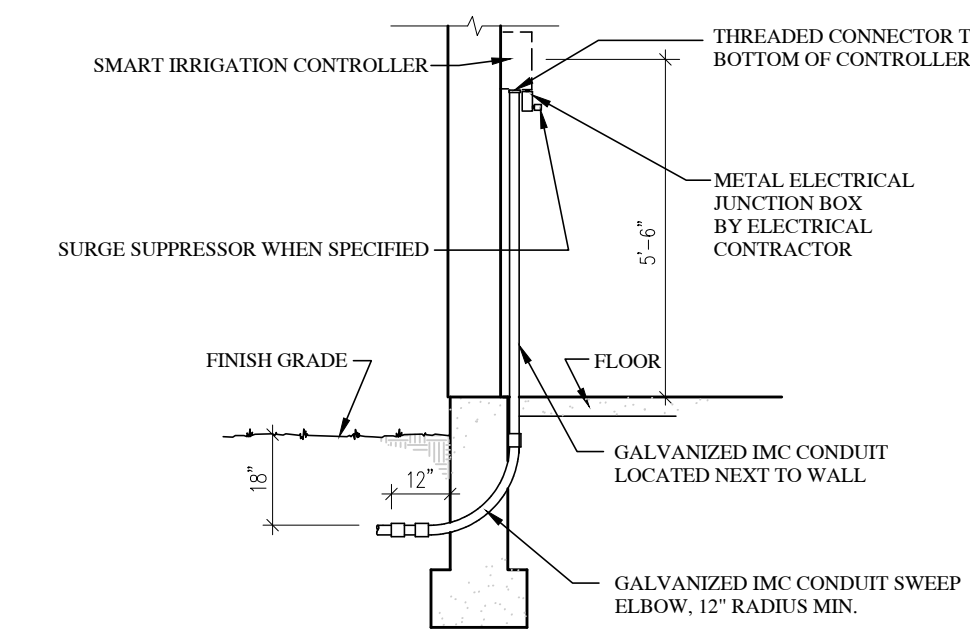
9 1.5" BACKFLOW PREVENTOR SCALE: NTS

BACKFLOW PREVENTOR NOTES:  
1. EQUIPMENT TO BE INSTALLED AT A MINIMUM OF 24" FROM ANY STRUCTURES OR HARDSCAPING.  
2. WHEN UNIT IS NEXT TO STRUCTURE (i.e. WALL, BUILDING, ETC.) MOUNT TEST COCKS ON SIDE AWAY FROM STRUCTURE.  
3. PROVIDE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON HOW TO DRAIN ENTIRE BACKFLOW UNIT TO PREVENT FREEZING. CONTRACTOR TO PROVIDE BLOW OUT KIT FROM MANUFACTURER.  
4. CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY FOR PROPER RPZ INSTALLATION.  
5. RPZ TO BE WINTERIZED AS NECESSARY TO PREVENT FREEZING. INSULATION IS REQUIRED TO PREVENT RPZ FROM FREEZING TEMPERATURES BEFORE SYSTEM IS BLOWN OUT FOR THE SEASON. CONTRACTOR SHALL INSTALL INSULATION BLANKET FOR RPZ.  
6. WHERE CORROSION IS POSSIBLE, USE A DIELECTRIC UNION WHEREVER A COPPER-BASED METAL (COPPER, BRASS, BRONZE) IS JOINED TO AN IRON-BASED METAL (IRON, GALVANIZED STEEL, STAINLESS STEEL).  
7. CONTRACTOR SHALL TEST WATER SUPPLY TO ENSURE THERE IS AT LEAST 90 PSI AND 23 GPM AVAILABLE AT THE POC PRIOR TO BEGINNING WORK ON THE SYSTEM.

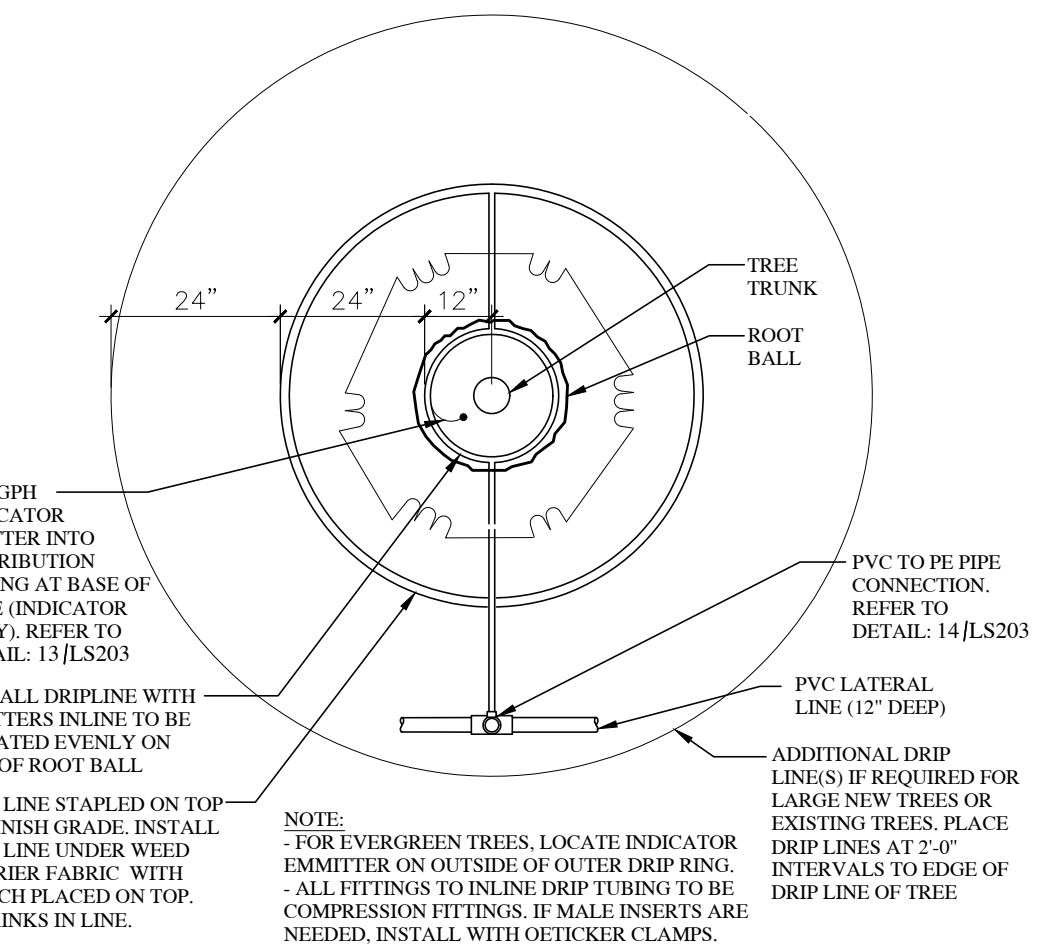
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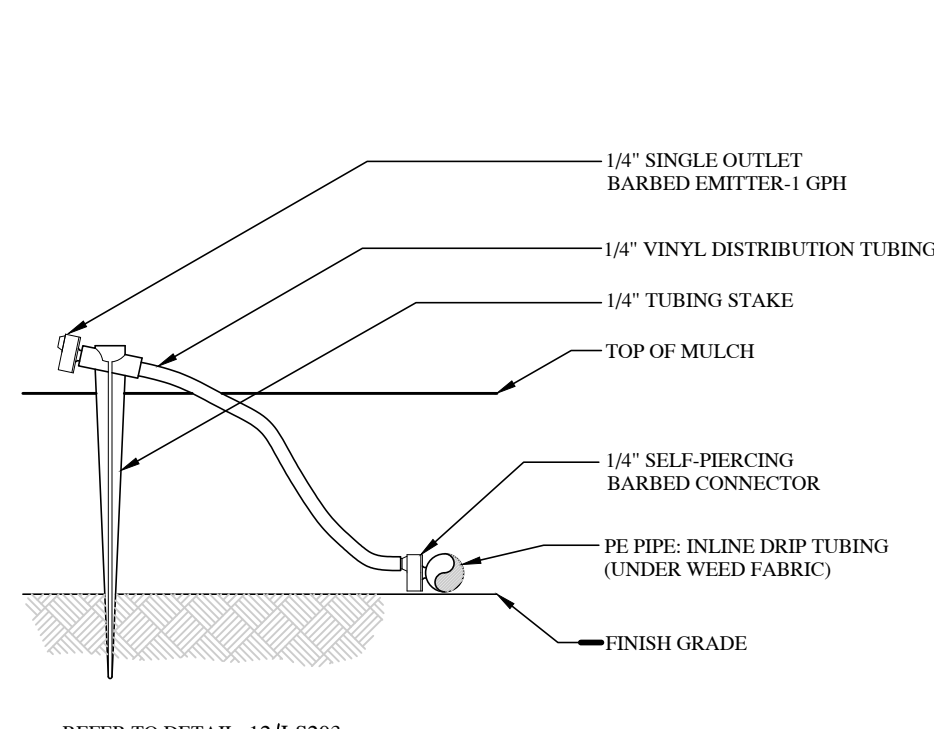
10 HYDROMETER SCALE: NTS



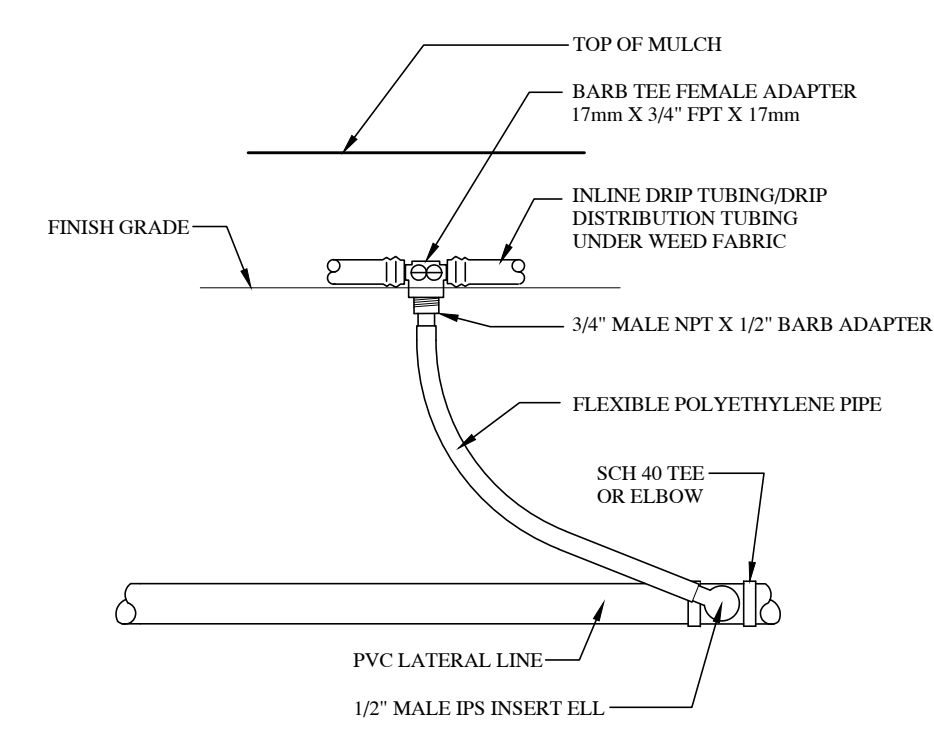
11 IRRIGATION CONTROLLER - INTERIOR MOUNT SCALE: NTS



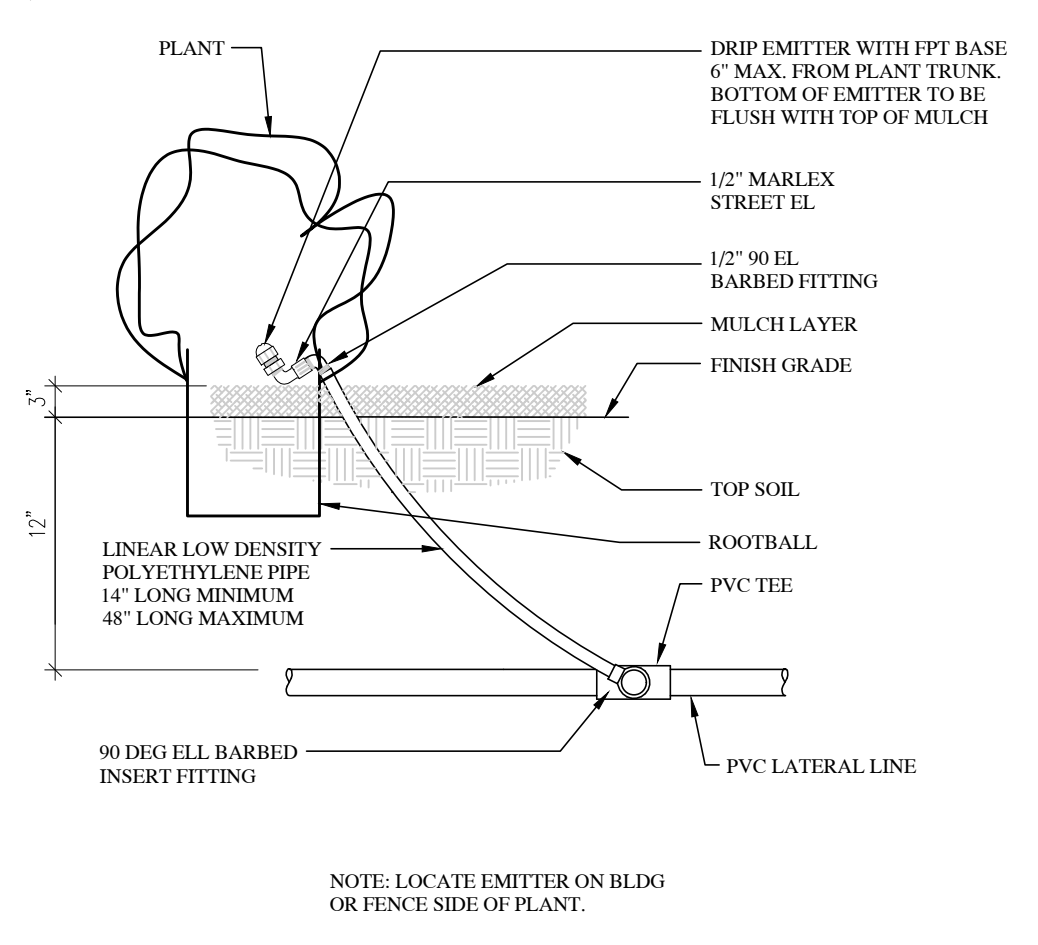
12 TREE DRIP - PLAN VIEW (PLANTER AREAS) SCALE: NTS



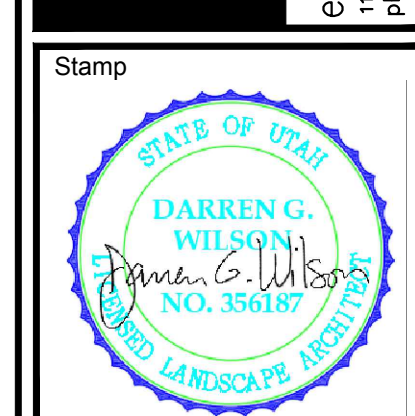
13 INDICATOR EMITTER SCALE: NTS



14 PVC TO BE PIPE CONNECTION SCALE: NTS



15 DRIP EMITTER INSTALLATION SCALE: NTS



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Project Number 23-85  
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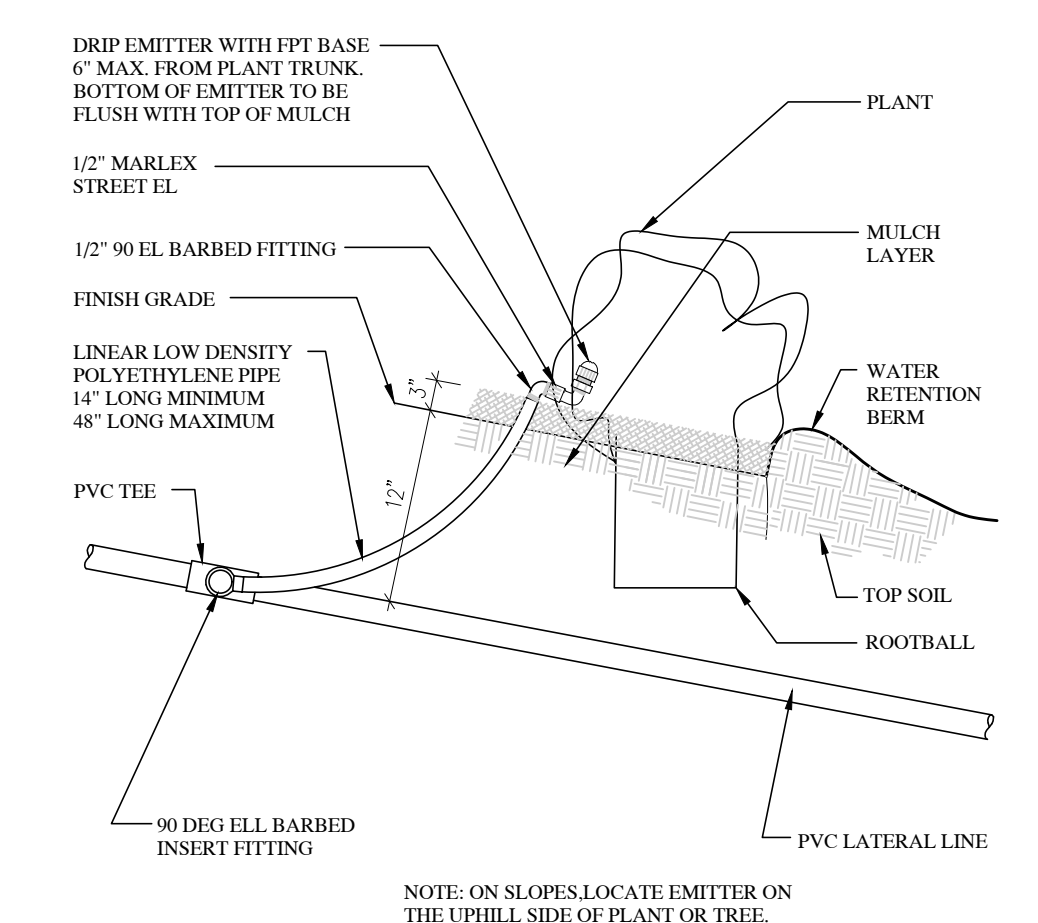
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**IRRIGATION DETAILS**

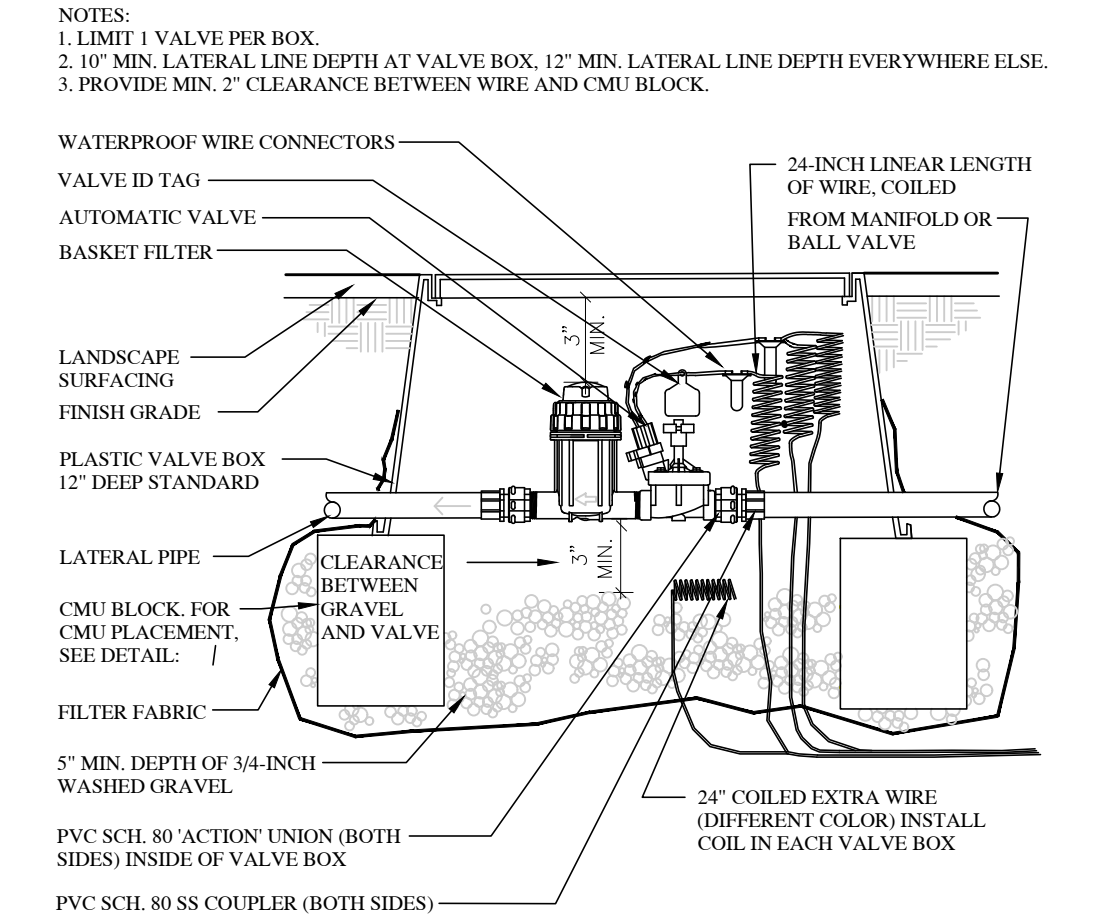
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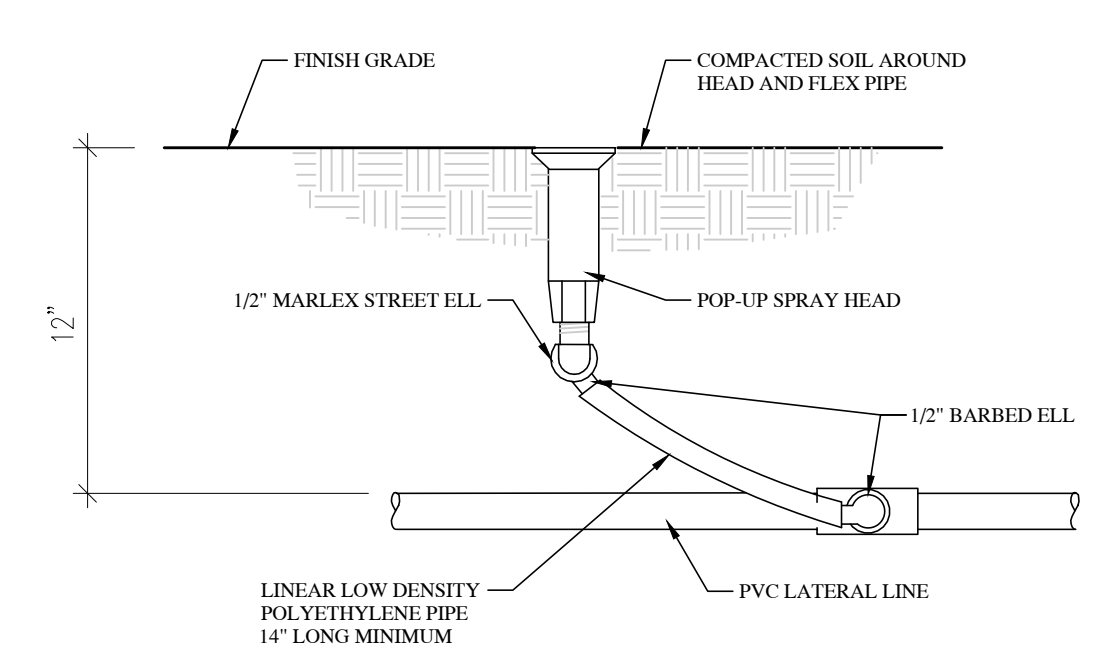




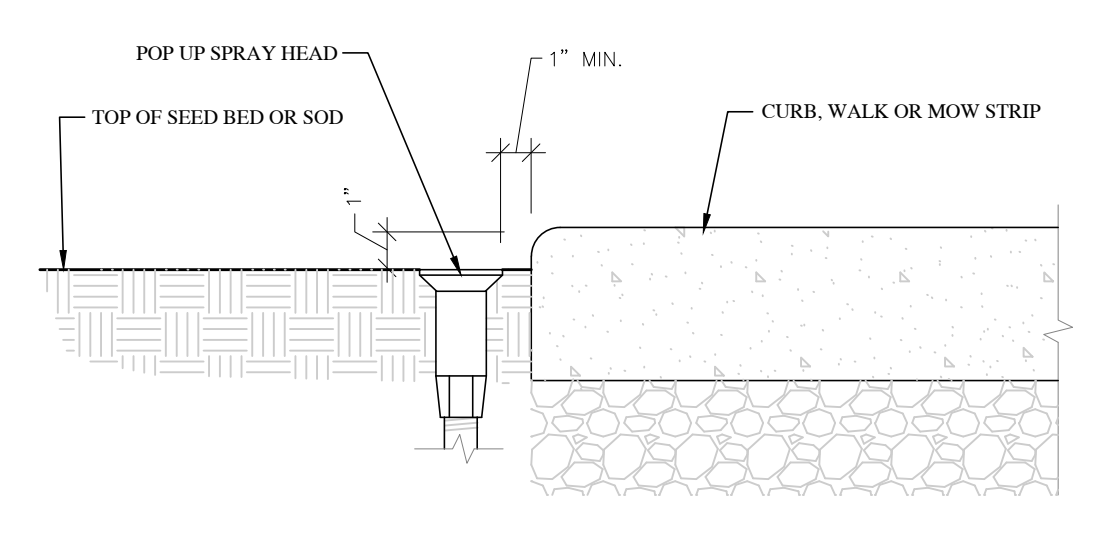
16 DRIP EMITTER - INSTALLATION ON SLOPE SCALE: NTS



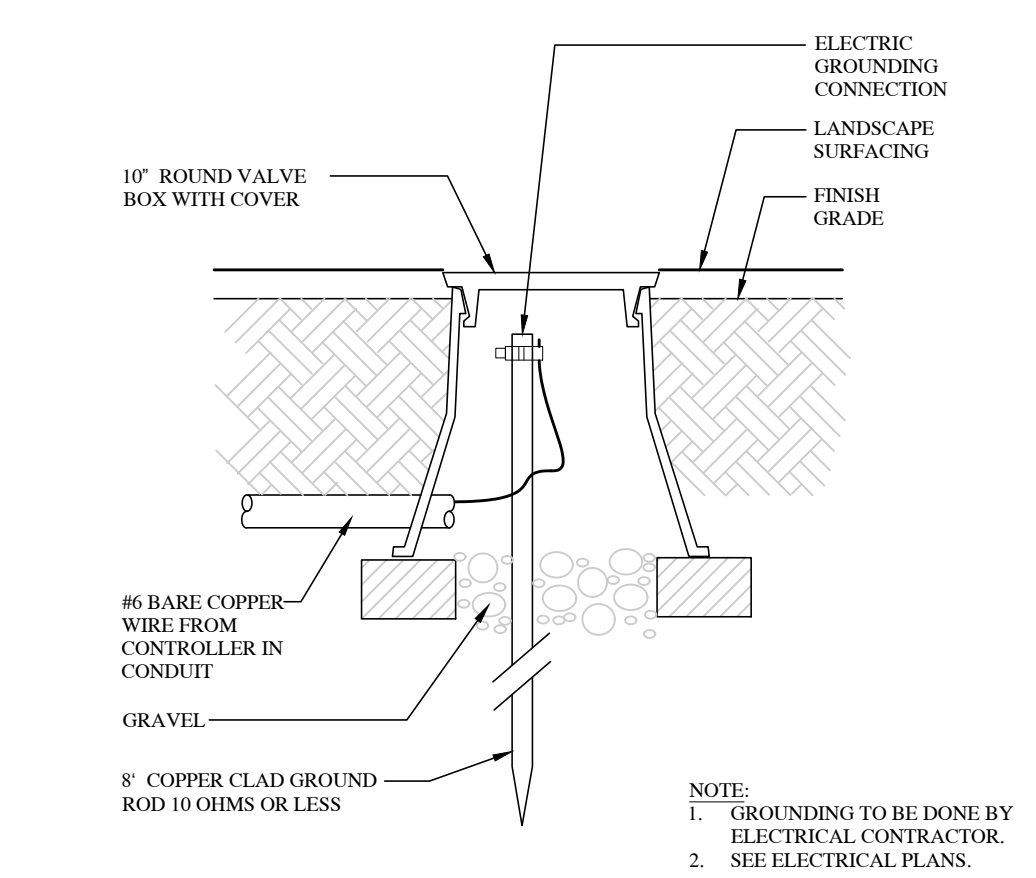
17 DRIP VALVE SECTION - CONVENTIONAL WIRE SCALE: NTS



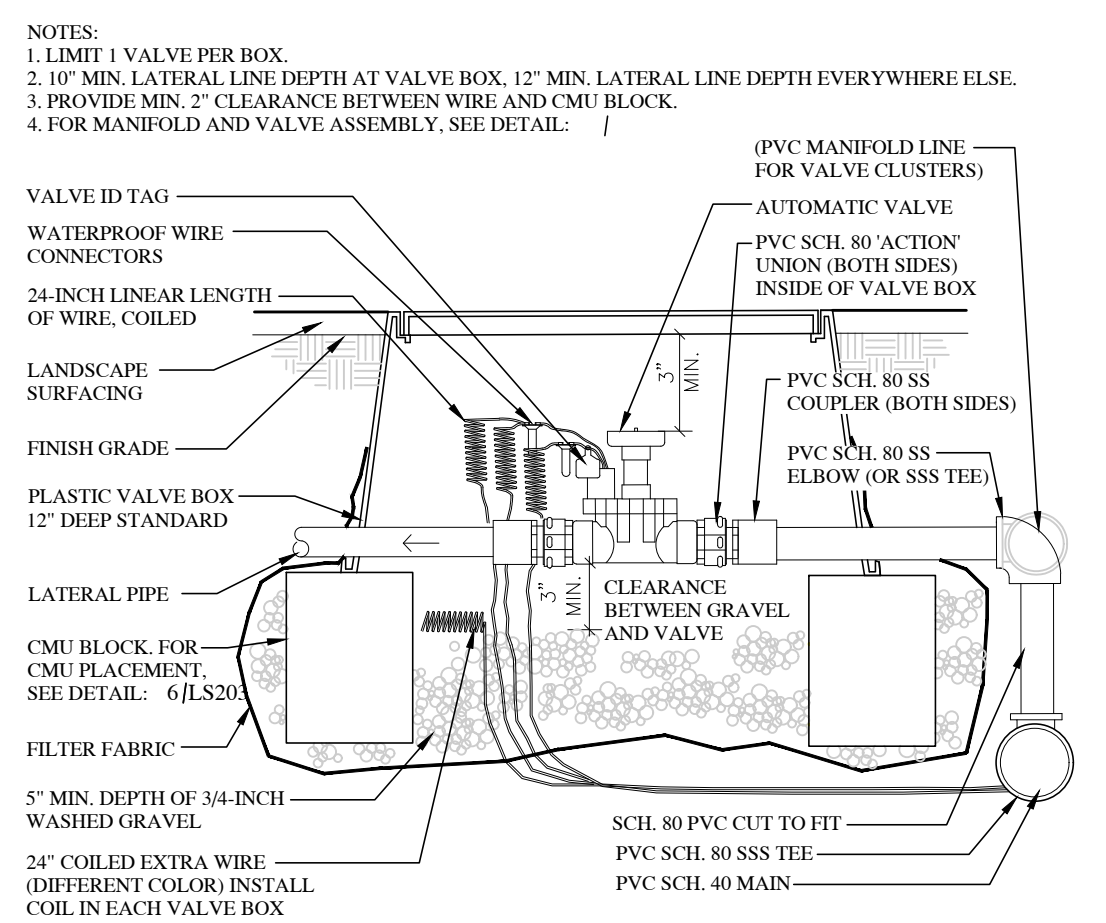
18 SPRAY AND ROTARY HEAD ASSEMBLY SCALE: NTS



19 SPRAY HEAD OR ROTOR NEXT TO CURB / WALK SCALE: NTS



20 LIGHTNING GROUNDING ROD SCALE: NTS



21 AUTOMATIC VALVE - CONVENTIONAL WIRE SCALE: NTS



22 DRIP VALVE SECTION - CONVENTIONAL WIRE SCALE: NTS



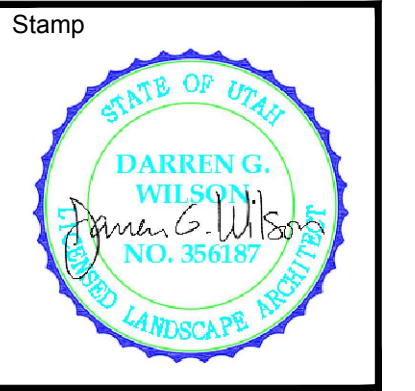
23 SPRAY AND ROTARY HEAD ASSEMBLY SCALE: NTS



24 SPRAY HEAD OR ROTOR NEXT TO CURB / WALK SCALE: NTS



25 LIGHTNING GROUNDING ROD SCALE: NTS



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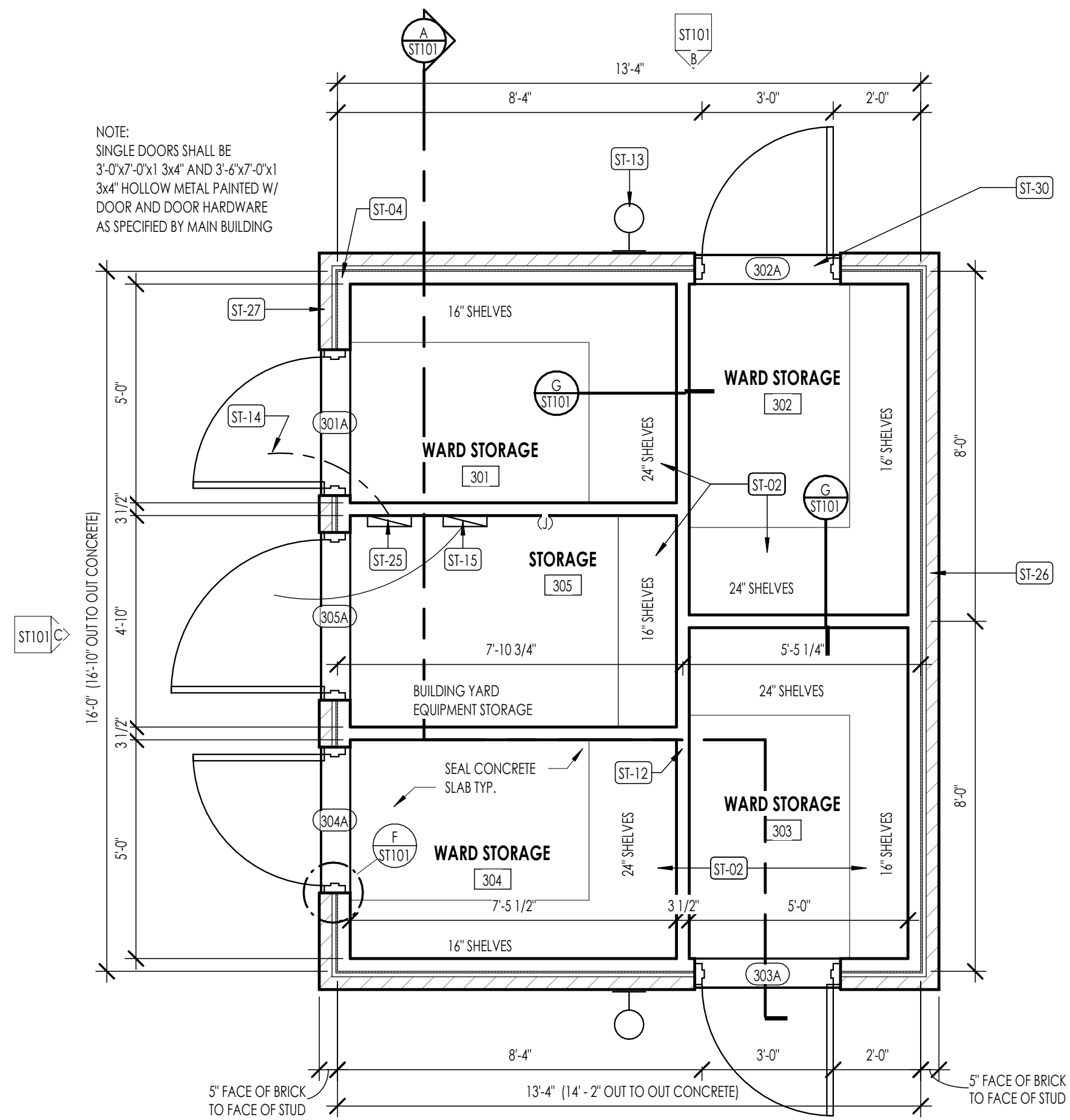
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 Property Number: 501-6747-23010101  
 Date: August 19, 2024

Sheet Title:  
**IRRIGATION DETAILS**

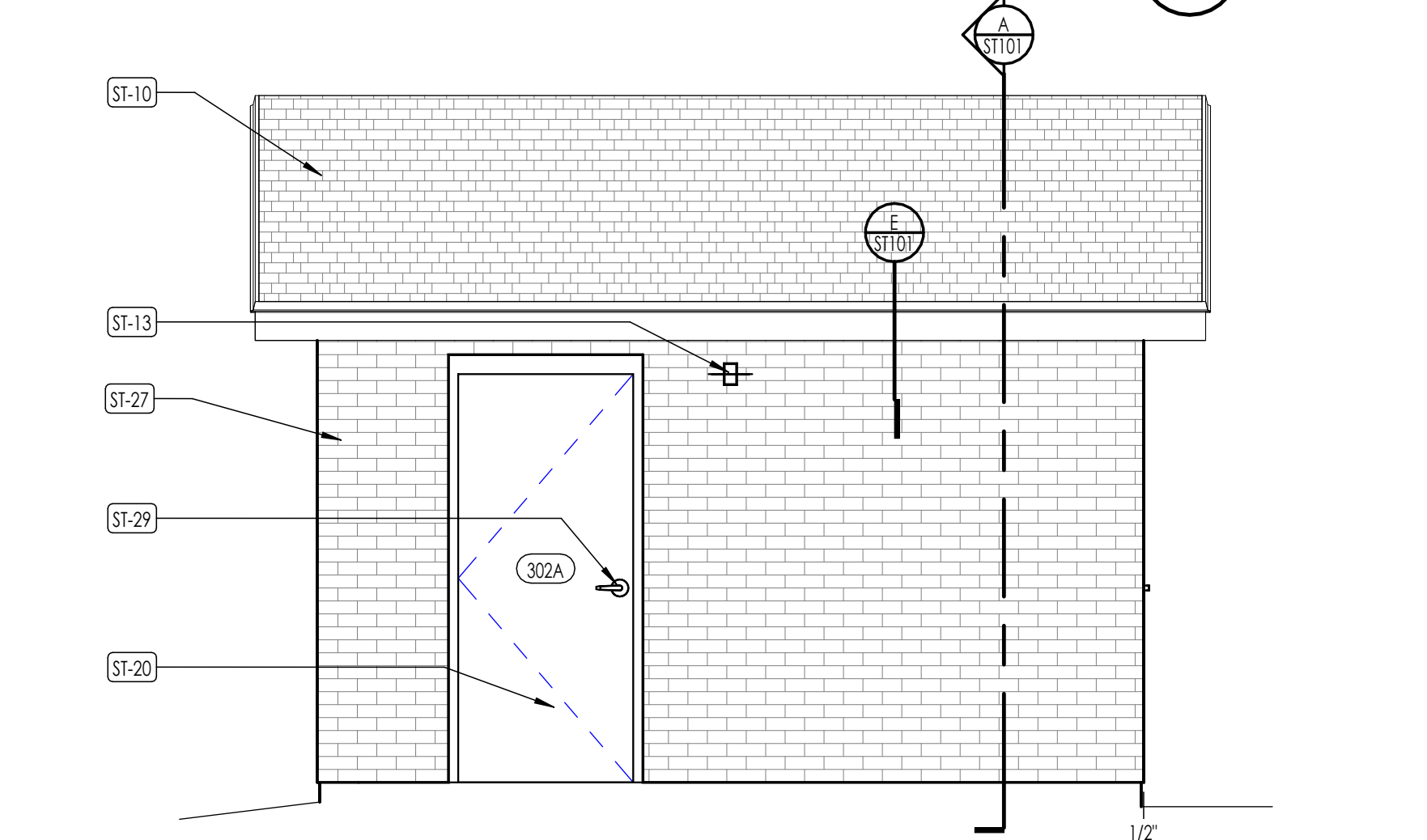
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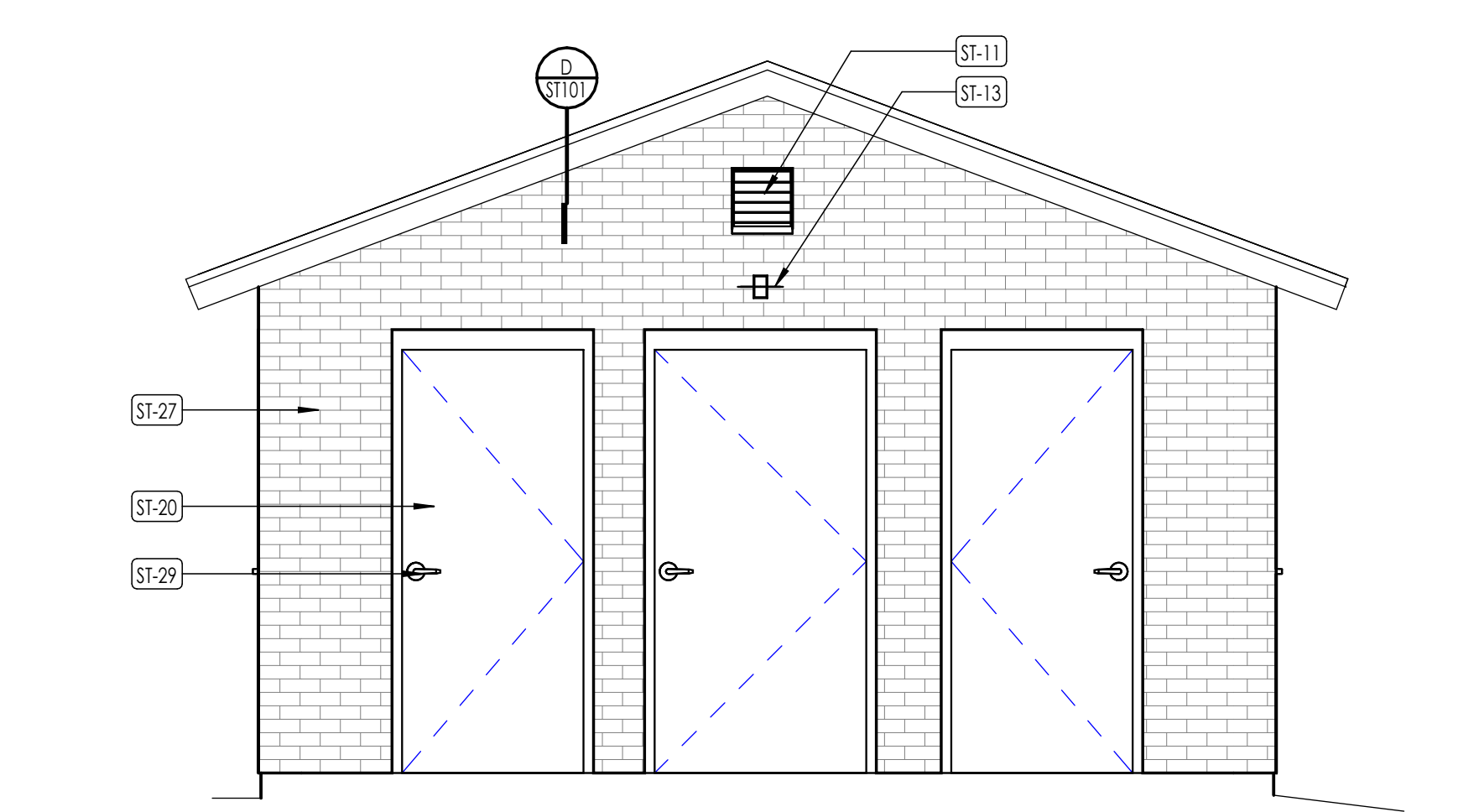




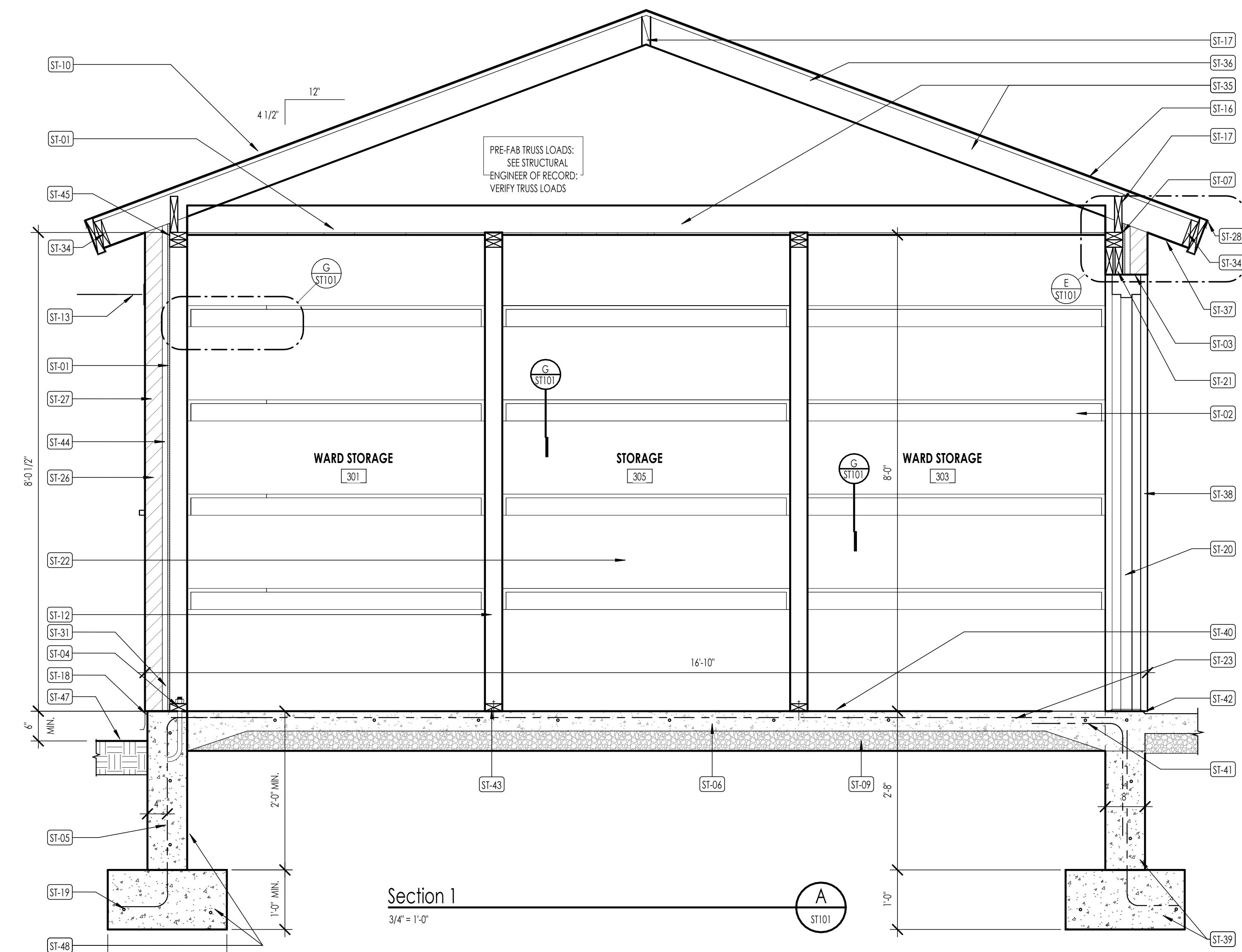
FLOOR PLAN  
3/8" = 1'-0"



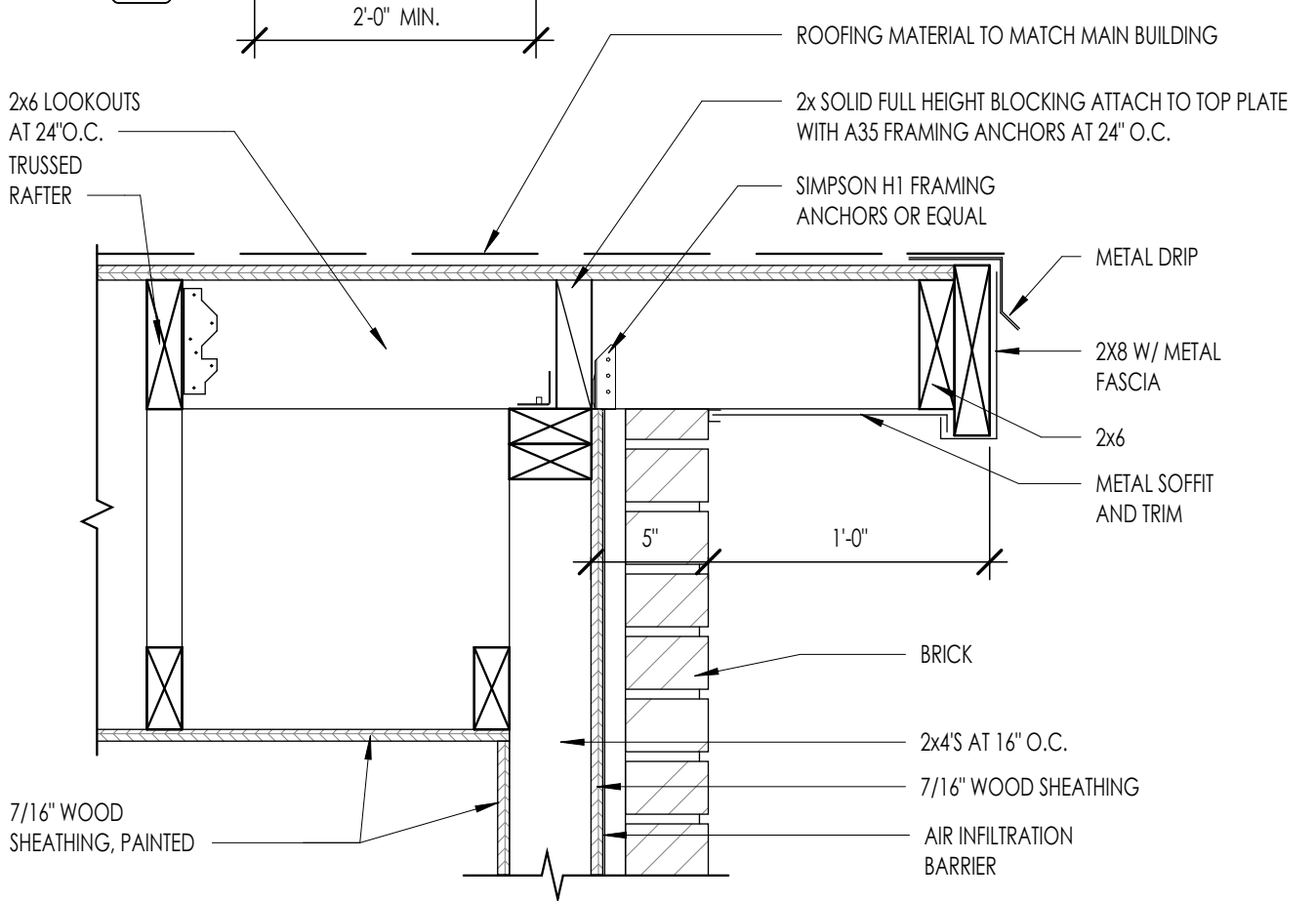
NORTH ELEVATION  
3/8" = 1'-0"



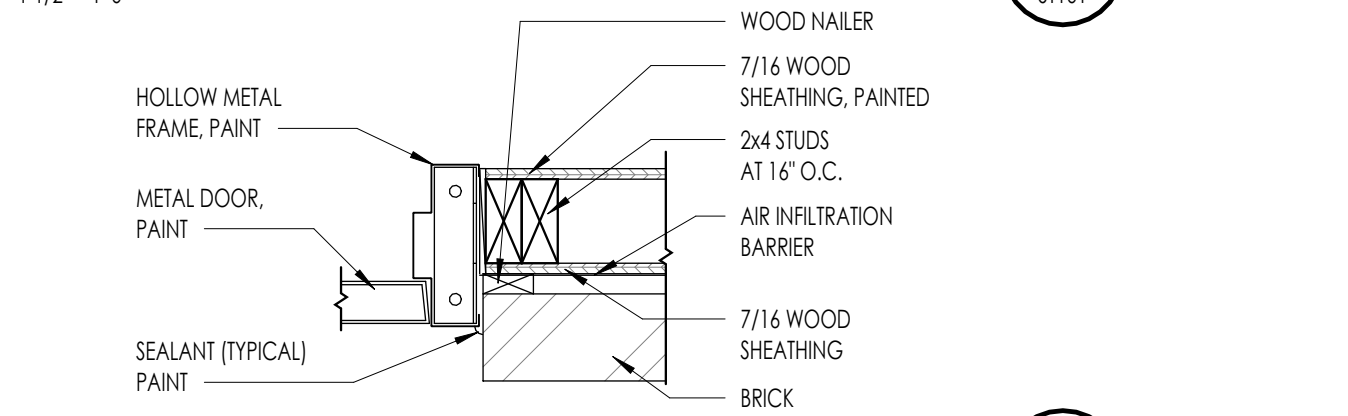
WEST ELEVATION  
3/8" = 1'-0"



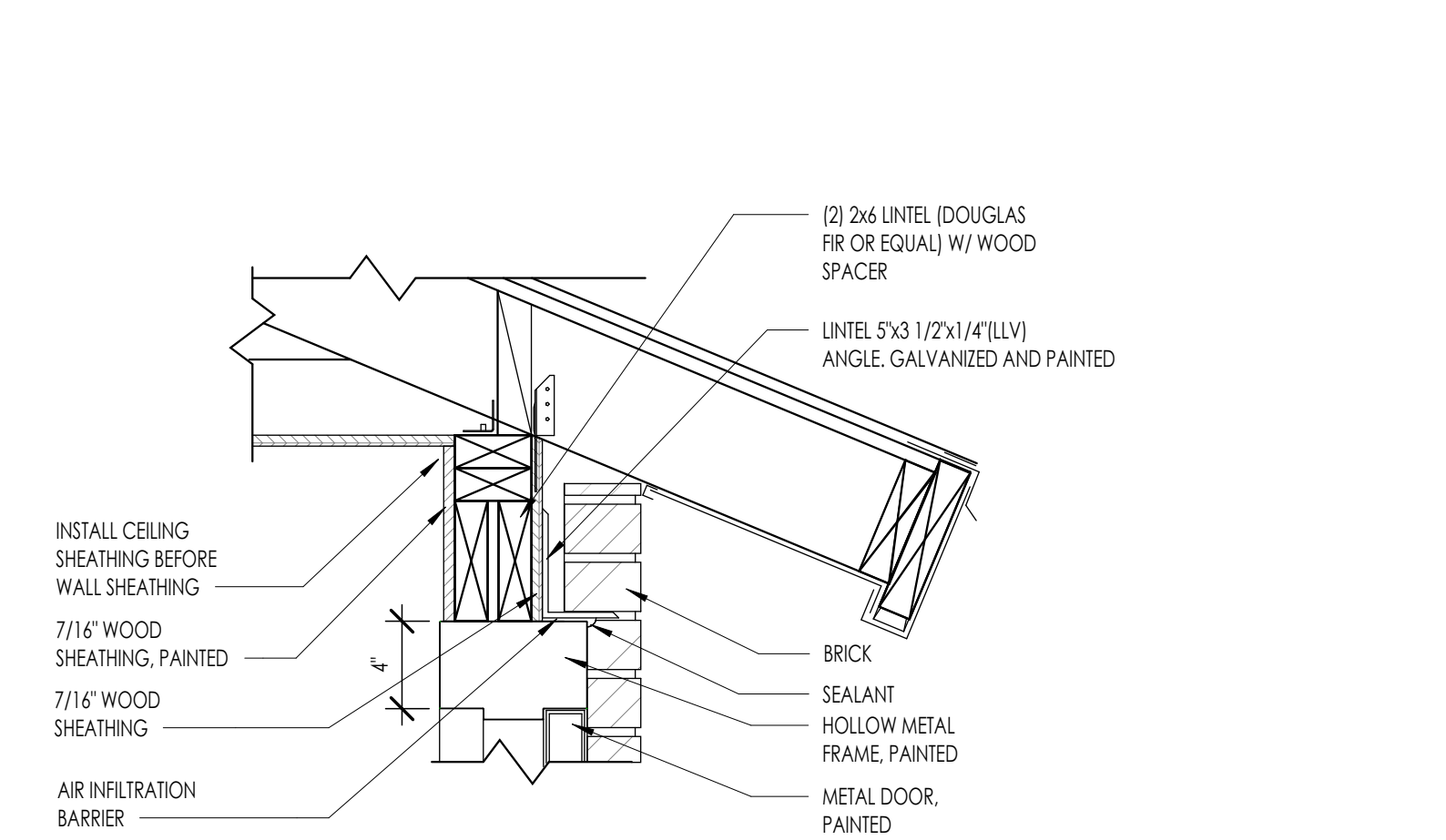
Section I  
3/4" = 1'-0"



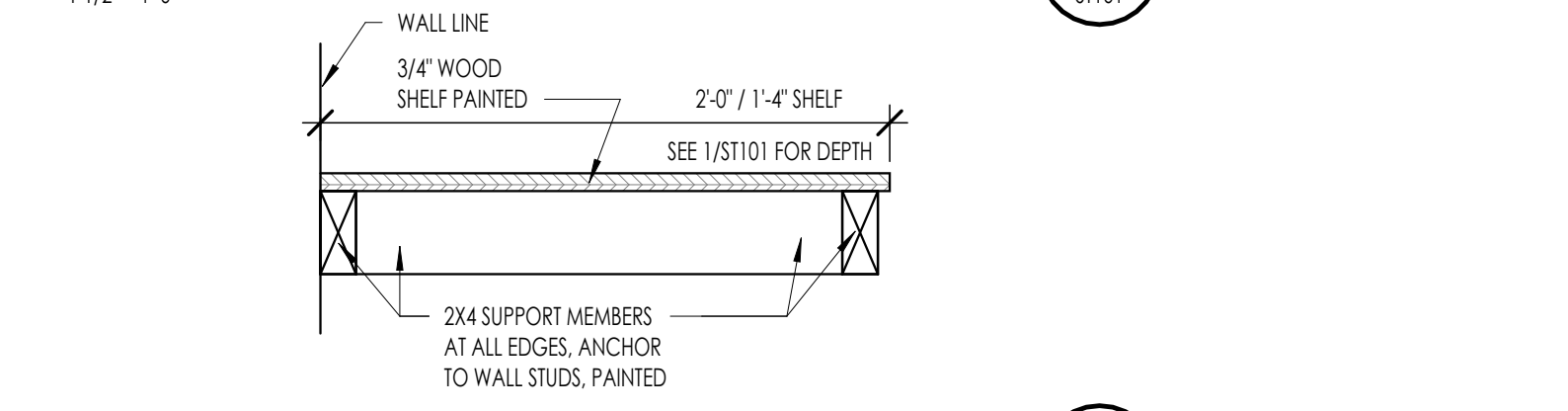
EAVE  
1 1/2" = 1'-0"



JAMB  
1 1/2" = 1'-0"



HEAD  
1 1/2" = 1'-0"



SHELF SECTION  
1 1/2" = 1'-0"

MARK	ROOM NUMBER	SINGLE/PAIR	TYPE	WIDTH	HEIGHT	THICKNESS	FRAME TYPE	DOOR SCHEDULE			FIRE RATING	HARDWARE GROUP	KEYING	REMARKS
								HEAD	JAMB	THRESHOLD				
301A	301	S	M	3'-0"	7'-0"	1 3/4"	4	E/ST101	F/ST101		1	AA8	BUILDING YARD EQUIPMENT STORAGE	
302A	302	S	M	3'-0"	7'-0"	1 3/4"	4	E/ST101	F/ST101		1	AA9	WARD STORAGE	
303A	303	S	M	3'-0"	7'-0"	1 3/4"	4	E/ST101	F/ST101		1	AA10	WARD STORAGE	
304A	304	S	M	3'-0"	7'-0"	1 3/4"	4	E/ST101	F/ST101		1	AA11	WARD STORAGE	
305A	305	S	M	3'-6"	7'-0"	1 3/4"	4	E/ST101	F/ST101		1	AA12	WARD STORAGE	

HATCH PATTERN	DESCRIPTION
[Hatch]	POURED IN PLACE CONCRETE
[Hatch]	WOOD STUD WALL
[Hatch]	ASPHALT ROOFING, SEE SPECIFICATIONS
[Hatch]	MASONRY VENEER, SEE SPECIFICATIONS

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
  - SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
  - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

**FLOOR PLAN KEY NOTES**

Specification Keynote	Instructional Keynote
#< Key Note Info	#< Key Note Info

KEYNOTE INSTRUCTIONAL	
ST-01	7/16" WOOD SHEATHING W/ APA SPAN RATING OF 24/0 MINIMUM. NAIL W/ 8d NAILS AT 6" O.C. AT PANEL EDGES AND 8d NAILS AT 4" O.C. AT INTERMEDIATE SUPPORTS TYPICAL.
ST-02	FIXED SHELVING (4 SHELVES EQUAL SPACING)
ST-03	LINTEL 5x3 1/2x1 1/4" (LLV) ANGLE, GALVANIZED AND PAINTED
ST-04	2x4 SILL PLATE W/ 1/2" DIA. x 6" EMBEDMENT ANCHOR BOLTS AT 32" O.C. MAX. (MAXIMUM 12" FROM CORNER)
ST-05	#4 AT 16" O.C. EACH WAY HORIZ. AND VERTICAL. CONCRETE SHALL BE 4500 PSI STRENGTH AT 28 DAYS
ST-06	4" CONCRETE SLAB WITH #4 BARS AT 18" O.C. EACH WAY WITH 1" CLEAR TO TOP OF SLAB. CONCRETE SHALL BE 3000 PSI AT 28 DAYS
ST-07	SIMPSON HI FRAMING ANCHORS OR EQUAL AT EACH TRUSS END TYPICAL
ST-09	4" THICK GRAVEL BASE COMPACTED TO 95% OF STANDARD PROCTOR
ST-10	ROOFING MATERIAL TO MATCH MAIN BUILDING
ST-11	METAL WALL LOUVER L5 W/ INSECT SCREEN (BOTH ENDS OF BUILDING)
ST-12	2x4 STUD WALLS AT 16" O.C. (TYP.)
ST-13	LOW-PROFILE LED LIGHT - ONE CENTERED ON 3 ELEVATIONS WITH DOORS
ST-14	INSTALL CONDUIT FOR SPRINKLING SYSTEM CONTROLS. COORDINATE WITH INSTALLER FOR LOCATION. REFER TO IRRIGATION PLANS FOR REQUIREMENTS.
ST-15	30 AMP-1P SERVICE RATED DISCONNECT.
ST-16	19/32" ROOF SHEATHING W/ APA SPAN RATING OF 40/20 MINIMUM. NAIL W/ 8d NAILS AT 6" O.C. AT PANEL EDGES, AND 8d NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS. NAIL SHEATHING TO BLOCKING W/ 8d NAILS AT 6" O.C.
ST-17	2x SOLID FULL HEIGHT BLOCKING, SHAPE TOP TO MATCH ROOF SLOPE. ATTACH TO TOP PLATE WITH A35 FRAMING ANCHORS AT 24" O.C.
ST-18	PRE-FINISHED METAL DRIP EDGE WITH HEMMED EDGE- PROVIDE WEEP VENTS AT 32" O.C. AT BASE OF MASONRY FINISH GRADE
ST-19	(2) #4 CONTINUOUS. CONCRETE SHALL BE 3000 PSI STRENGTH AT 28 DAYS
ST-20	METAL DOOR AND FRAME PAINTED
ST-21	(2) 2x6 HEADER (DOUGLAS FIR OR EQUAL) W/ WOOD SPACER
ST-22	PAINTED WALL AND CEILING SHEATHING
ST-23	CONCRETE FLOOR SLAB SEALED (TYP.)
ST-25	AUTOMATIC IRRIGATION CONTROLLER
ST-26	BRICK W/ METAL TIES AT 16" O.C. EA. WAY
ST-27	BRICK TO MATCH MAIN BUILDING
ST-28	METAL DRIP AND FASCIA
ST-29	DEAD BOLT AND LOCK SET. (TYP.)
ST-30	METAL THRESHOLD
ST-31	MORTAR GUARD IN WALL CAVITY
ST-34	2x6 CONTINUOUS
ST-35	2x6 MIN. TOP AND BOTTOM CHORDS
ST-36	TRUSSED RAFTERS AT 24" O.C. - SEE STRUCTURAL FOR TRUSS LOADING
ST-37	METAL SOFFIT AND TRIM
ST-38	BRICK BEYOND
ST-39	VERIFY FOOTING AND FOUNDATION CONFIGURATION AND DEPTH WITH SOILS REPORT
ST-40	CONCRETE FLOOR SLAB SEALED (TYP.)
ST-41	#4 DOWEL 12/16" @ 18" O.C. AT ALL OPENINGS
ST-42	SLOPE CONCRETE SLAB AT DOOR AS SHOWN
ST-43	POWDER-ACTUATED FASTENERS AT 16" O.C.
ST-44	AIR INFILTRATION BARRIER
ST-45	(2) 2x4 TOP PLATE
ST-47	FINISH GRADE
ST-48	WHERE POSSIBLE, CHANGE THE STRIP FOOTING AND FOUNDATION WALL TO A DOWNTURNED SLAB IF IT WOULD RESULT IN FOUNDATION COST SAVINGS

**CODE REVIEW**

Allowable height, stories, and area (Table 504.3, 504.4, 506.2) - VB, Not Sprinklered				
Occupancy	Height (ft)	Story	Area (sf)	
S-1	40	1	9,000	
Actual height, stories and area				
Occupancy	Height (ft)	Story	Area (sf)	
S-1	11'-9"	1	214	
Table 1004.1.2 Maximum Floor Area Allowances Per Occupant				
Occupant Load: 214/300 = 0.71 = 1 occupant				
Building is unconditioned - no heating or cooling				

Revision Schedule		
#	Description	Date

ea architecture  
11576 South State Street, Suite 103b  
Draper, Utah 84020

Project for:  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

**Vineyard 10 &**

Vineyard, Utah

Project Number: 23-85  
 Property Number: 501-6747-23010101  
 September 4, 2023  
 Storage Building

**ST101**



## VINEYARD PLANNING COMMISSION STAFF REPORT

**Meeting Date:** October 2, 2024

**Agenda Item:** Public Hearing: Zoning Text Amendment to allow for pharmacy drive-thrus within the Downtown Vineyard (Town Center) Special Purpose Zoning Code (Ordinance 2024-13)

**Department:** Community Development

**Presenter:** Anthony Fletcher

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### **Background/Discussion:**

During the Site Plan review process of the Utah City Grocery store (Bella's Market), the applicant expressed interest in including a pharmacy drive-thru as an accessory use to the proposed grocery store (i.e., primary building use). The current zoning code for the Vineyard Downtown area does not permit pharmacy drive-thrus, hence the application of a text amendment to accommodate the proposed use.

The applicant's primary intention for proposing a pharmacy drive-thru is to enhance customer experience and convenience, streamline service, and reduce congestion inside the grocery store to which the drive-thru will be incidental upon.

Staff researched and reviewed requirements and best practices within the Salt Lake and Utah Valley to inform the recommendations on requirements and design standards best suited for the Vineyard.

The applicant will still be required to go through the city process and the requirements of a site plan amendment for approval before they can proceed with construction and inclusion of the pharmacy drive-thru.

Below is the text amendment being proposed by the applicant:

[\(Special Purpose Zoning District 3.10.050\(4\) - Additional Design and Mix Standards\)](#)

**4. Drive-thru.** Drive-thrus and their means of access must be located behind buildings relative to streets. *The following are exceptions to this standard:*

- a. Hotel drop-offs are not considered drive-thrus.
- b. *Pharmacies that are incidental to the primary use of a building may be located and accessed off of the sides of the building relative to streets with the following standards. Queuing Distance: a minimum queuing distance of 60' is required.*
  - i. *The queuing distance does not include any space that is designated for vehicular or pedestrian circulation. The measurement of this distance shall be from the service window to the entry point of the drive-thru aisle.*
  - ii. *Drive-thru aisles shall have a minimum of twelve-foot (12') width.*
  - iii. *Each entrance and exit of aisles and direction of traffic flow shall be clearly designated by signs and pavement markings.*
  - iv. *Pedestrian Walkway Protection: Any drive-thru that is accessed by crossing a pedestrian walkway must include adequate signage to prevent the blocking of any pedestrian walkway.*



See research summary table below:

<b>Location</b>	<b>Stacking Distance</b>	<b>Number of lanes</b>	<b>Drive up v. Tubes</b>	<b>Location on Building</b>	<b>Notes</b>
Utah City Proposed	80	1	Drive Up	Left Side	
Smiths (Orem Center St.)	75	1	Tubes	Front	
Maceys (Provo State St.)*	60	1	Drive up	Left Side	Has up to 230ft stacking distance if needed. 60ft protected stacking
Walmart (Pleasant Grove Market)	40	1	Drive up	Left Side	
Harmons (Orem 800 N)	50	2	Drive up	Left Side	Has 2 lanes but one is closed? Not sure how it has access as there are not tubes.
Smiths (Lehi 80 Timp Hwy)	80	1	Drive up	Front	
Harmons (Draper)	60	2	Both	Left Side	
Harmons (Draper 2)	60	2	Both	Left Side	
Walmart (South Jordan)	75	2	Tubes	Right Side	

**Urban Stores**

Harmons (Daybreak)	No Pharmacy Drive Thru
Lees (4th West SLC)	No Pharmacy
Harmons (City Creek)	No Pharmacy Drive Thru

**Fiscal Impact:**

**Recommendation:**

Staff recommends the Planning Commission to move forward with a recommendation to approve the proposed zoning text amendment.

**Sample Motion:**

"I move to recommend approval of the proposed zoning text amendment as presented to the City Council"

**Attachments:**

1. Ord\_2024-13



**VINEYARD  
ORDINANCE 2024-13**

**AN ORDINANCE OF THE CITY OF VINEYARD, UTAH, AMENDING THE  
VINEYARD ZONING ORDINANCE SECTION 3.10.050 ADDITIONAL DESIGN  
AND MIX STANDARDS**

**WHEREAS**, Title 10, Chapter 9a Municipal Land Use, Development and Management Act of Utah Municipal Code, permits Vineyard to ensure the health, safety, and welfare of the community through local land use planning and the adoption of land use ordinances; and

**WHEREAS**, Vineyard is authorized to amend the city zoning ordinance pursuant to Utah Municipal Code 10-9a-102(2); and

**WHEREAS**, the Planning Commission held a public hearing on October 2, 2024, and after fully considering public comments and staff recommendations, recommended approval to the Vineyard City Council; and

**WHEREAS**, the Vineyard City Council, having reviewed the proposed text amendment, held a public hearing on October 9, 2024; and

**WHEREAS**, the Vineyard City Council having considered the recommendation of the Planning Commission and submitted comments from the public, having determined that it is in the best interest of the public to adopt the proposed text amendment to the zoning ordinance.

**NOW THEREFORE**, be it ordained by the Council of the Vineyard, in the State of Utah, as follows:

**SECTION 1:            AMENDMENT** “3.10.050 Additional Design And Mix Standards” of the Vineyard Special Purpose Zoning Districts is hereby *amended* as follows:

**AMENDMENT**

**3.10.050 Additional Design And Mix Standards**

The following outlines Downtown Vineyard design standards that affect a building’s appearance and place cohesiveness. They improve the physical quality of buildings, enhance the pedestrian experience, and protect the character of the neighborhood.

**1. Materials and Color**

- a. Primary Facade Materials. 80% of each facade shall be constructed of primary materials.
  - i. Permitted primary building materials include high quality, durable,

natural materials such as stone, brick, fiber, cement board, shingles, architectural concrete, panel siding, architectural metal panels and glass, or stucco. Other high-quality synthetic materials may be approved during the site plan process with an approved sample and examples of successful, high-quality local installations.

- b. Secondary Facade Materials. Secondary materials are limited to details and accents and include gypsum reinforced fiber concrete for trim and cornice elements; and metal for beams, lintels, trim, and ornamentation.
  - i. The City Planner may accept materials not covered in this chapter and modify the exterior materials and colors requirements if architectural improvement is clearly demonstrated.
- c. Roof Materials. Acceptable roof materials include 300 pound or better, dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate, and ceramic tile. “Engineered” wood or slate may be approved during the site plan process with an approved sample and examples of successful, high-quality local installations. Rooftop solar panels are permitted.
- d. Appropriate Grade of Materials. Commercial-quality doors, windows, and hardware shall be used on all Building with the exception of the Mansion, Townhouse, and the small-lot single-family buildings. Fiber cement board may be substituted for wood.
- e. Prohibited materials list: vinyl or aluminum siding, highly reflective metal, mirrored windows, plain cement block.

## 2. Awnings, and Shutters

- a. Awnings. All awnings shall be canvas or metal. Plastic awnings are not permitted. Awning types and colors for each building face shall be coordinated. Awning side panels are prohibited.
- b. Shutters. If installed, shutters, whether functional or not, shall be sized for the windows. If closed, the shutters shall not be too small for complete coverage of the window. Shutters shall be wood or metal. Engineered wood or fiber cement products may be approved during the site plan process with an approved sample and examples of successful, high-quality local installations.

## 3. Livable Balconies, Patios, and Porches. The following applies in all locations where balconies, patios, and/ or porches are incorporated into the facade design facing any street or parking lot.

- a.
- b. Connection to Building. Balconies that are not integral to the facade shall be independently secured and unconnected to other balconies.
- c. Railings. May vary and may promote privacy within the balcony; railings do not have to be open.
- d. Projection of Balconies. Balconies may project into the setback as permitted, but not over the public ROW.

e.

## 4. Drive-thru. Drive-thrus and their means of access must be located behind buildings relative to streets. The following are exceptions to this standard:



- a. Hotel drop-offs are not considered drive-thrus.
  - b. Pharmacies that are incidental to the primary use of a building may be located and accessed off of the sides of the building relative to streets with the following standards
    - i. Queuing Distance: a minimum queuing distance of 60' is required. The queuing distance does not include any space that is designated for vehicular or pedestrian circulation. The measurement of this distance shall be from the service window to the entry point of the drive-thru aisle.
    - ii. Drive-thru aisles shall have a minimum of twelve-foot (12') width.
    - iii. Each entrance and exit of aisles and direction of traffic flow shall be clearly designated by signs and pavement markings.
    - iv. Pedestrian Walkway Protection: Any drive-thru that is accessed by crossing a pedestrian walkway must include adequate signage to prevent the blocking of any pedestrian walkway.
5. **Pedestrian Circulation.** Walkability principles shall be adhered to on site and shall include pathways to the Lake Promenade Street through the proposed development at a minimum of 500' intervals or as specified in the passages and pathways plan, Figure 3.10.050(1). These pathways shall be an intuitive route and include pedestrian cues such as distinct paving, lighting, signage, and landscaping. Pathways must be at least 12' wide, but may include wider pedestrian streets and emergency vehicle accessways. Where connecting to Lake Road, viewsheds to the lake must be integrated into the pathway design and siting.
6. **Meters and Equipment Placement.** Equipment shall be screened from view and not located on a public street, except as approved by the City Engineer.
7. **Waste Containers.** Waste Containers shall be located below ground when feasible. Where below-ground collection is not feasible, and where waste containers are to be located outside of a building footprint, waste containers shall be located out of public view, a minimum of 10' from any public right-of-way property line and screened with landscaping or a structure built of durable materials, such as brick.
8. **Building Mixes in the DTS, DTMU, and LFCD Districts.** The following requirements will expire in the DTS and DTMU when the total square footage of non-residential use exceeds 1,000,000 square feet between DTS and DTMU districts.
- a. Building Mixes in the DTS District. Residential development will be permitted to the degree that the total proposed and existing residential gross square footage is equal to or less than 80% of the total amount of anticipated building square footage of the DTS District over the 15-year period after the effective date of this Code.
  - b. Building Mixes in the DTMU District. Residential development will be permitted to the degree that the total proposed and existing residential gross square footage is equal to or less than 75% of the total amount of anticipated building square footage of the DTMU District over the 15-year period after the effective date of this Code.
  - c. Building Mixes in the Lake Front Commercial District. Until 75,000 square feet of non-residential space is constructed, residential development will be

permitted to the degree that the total proposed and existing residential gross square footage is equal to or less than 30% of the total amount of anticipated building square footage of the Lake Front Commercial District over the 15 year period after the effective date of this Code.

9. **Amenity Requirements.** Multi-family units, excluding the Lake Front Residential district, must meet the following amenity levels of service, within public or private spaces. If the following amenity levels of service will not be installed at the time of building completion, a certificate of occupancy shall be issued for the building only upon (1) a showing that the necessary amenities are planned in an upcoming development phase and (2) upon the posting of a bond in the estimated amount of the required amenity improvements. The term of the bonding for the completion of the required amenity shall not exceed 12 months.

Each item shall be well maintained and kept operational and built to a public, commercial, or industry standard:

- a. *Three residential amenities are required within 1/8 mile of all residents including but not limited to the following list*
- i. secure bicycle storage (must be covered and must be under surveillance, or within public view)
  - ii. Community gathering area (may be inside private building or in the public realm - if outside must include some type of overhead shade structure)
  - iii. Meeting room (must include tables and chairs)
  - iv. Outdoor dining (must include tables and chairs and a defined edge)
  - v. Commercial grade playground (must be IPEMA Certified)
  - vi. Commercial grade water feature (commercial grade fountain, spray park, perennial stream, reflection pool, or water garden for stormwater detention, or other approved water related feature)
  - vii. Commercial grade barbecue (must include space for seating)
  - viii. Pocket parks (must meet the standards of 3.12.050 Commons or Courtyard)
  - ix. Commons or Courtyard (must meet the standards of 3.12.050 Commons or Courtyard)
  - x. City approved public art installation
  - xi. Cultural or historic monumentation
  - xii. Electric Vehicle (EV) charging stations (must accommodate a minimum of two vehicles)
- b. Three of the following amenities are required within 1/4 mile of residential uses including but not limited to the following list:
- i. Fitness center (must include free weights, machines, or programmed classes)
  - ii. Commercial grade outdoor fitness equipment
  - iii. Swimming pool
  - iv. hot tub
  - v. Commercial grade splash pad



- vi. Sports court
  - vii. Plazas (must meet the standards in 3.12.030 Plazas)
  
  - viii. Rooftop patio or garden
  - ix. Community garden
  - x. Dog park
- c. Additional amenities may be added to the list with the approval of the City Planner and Planning Commission at the site plan review.
10. Ground Floor Non-Residential. Non-residential uses are required along the ground floor of buildings as indicated in Figure 3.10.050(2) and as follows:
- a. Depth. Non-Residential uses must extend a minimum of 30' from the frontage line identified into the depth of the building.
  - b. Active space. The first 15' of depth along the frontage line identified must be active space, which includes storage and equipment rooms and closets, restrooms, and private offices.



Figure 3.10.050(1). Pedestrian Ways



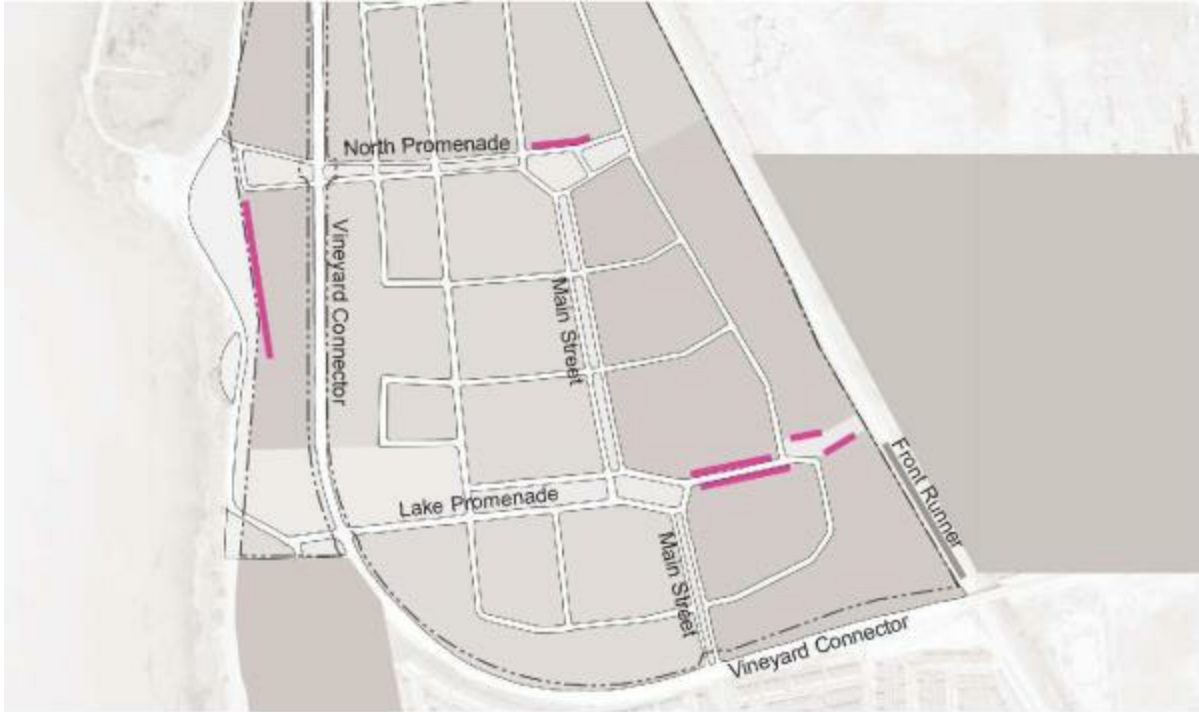


Figure 3.10.050(2). Required Ground Floor Residential

**SECTION 2:**            **REPEALER CLAUSE** All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

**SECTION 3:**            **SEVERABILITY CLAUSE** Should any part or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinances a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

**SECTION 4:**            **EFFECTIVE DATE** This Ordinance shall be in full force and effect from October 9, 2024 and after the required approval and publication according to law.

PASSED AND ADOPTED BY THE VINEYARD COUNCIL

\_\_\_\_\_.

	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Mayor Julie Fullmer	_____	_____	_____	_____
Sara Cameron	_____	_____	_____	_____
Jacob Holdaway	_____	_____	_____	_____
Amber Rasmussen	_____	_____	_____	_____
Mardi Sifuentes	_____	_____	_____	_____

Presiding Officer

Attest

\_\_\_\_\_  
Julie Fullmer, Mayor, Vineyard

\_\_\_\_\_  
Pamela Spencer, City Recorder,  
Vineyard





## VINEYARD PLANNING COMMISSION STAFF REPORT

**Meeting Date:** October 2, 2024  
**Agenda Item:** Site Plan: Utah City Block 13c  
**Department:**  
**Presenter:**

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### **Background/Discussion:**

Utah Consists consists of 350 acres bounded by the Utah Provo Main Rail Line to the east, Utah Lake on the west, 800 North to the South and the Lindon Marina on the north. The first phase of the downtown, consisting of 50 acres was developed by Edge Homes located within the Lakefront Residential subdistrict. Block 13C is located at the corner of Charles Street and Third Avenue in Utah City, within the Downtown Mixed- Use District (DTMU). Blocks 5, 6, 8, and 14 have previously been approved by the Planning Commission.

The applicant, Flagborough, is proposing development of Block 13C within the Downtown Mixed- Use district (DTMU). The proposal consist of 342 units.

The first several units of Utah City are planned to be constructed with primarily surface parking. converting to building pads or structured parking. [Section 3.14.010.2.d](#) of the Special Purpose Zoning District Code allows for parking lots as a temporary use. If the temporary parking lot is not developed as a parking structure, building, or open space within seven years from the date of approval, the property owner shall submit a new parking lot plan with a 25% increase of landscaping coverage as required by code.

Block 13c meets the requirements as outlined in [Section 3.10 Building Standards](#) including, but not limited to, the building siting, height, street façade requirements, entrances, materials, and amenity requirements. The amenities include an outdoor kitchen, sculptural play space, a lobby, a clubroom, and more.

Block 13c has a 7-story tower along 3rd Avenue, with a maximum height of 83' 5 1/2". The rest of the building is a maximum height of 5 stories. It has many different facade types with various clots and materials. The materials include stone tile, stucco, bicker, metal panel, glass, and precast concrete. Block 13c also has a variety of entrance types including, storefronts, gallery's, porches, and arcade.

Block 13c has 431 off street parking spaces and 57 stall of street parking for a total of 488 stalls. This meets the minimum requirement of 488 stalls. A breakdown of the parking requirements can be found in the attachments.

### **Fiscal Impact:**

### **Recommendation:**

Staff recommends approval of the site plan, provided the following conditions are met.

1. The applicant pays any outstanding fees and makes any redline corrections.
2. The applicant is subject to all federal, state, and local laws.
3. The landscape plan is reviewed and approved during the technical review.
4. A land disturbance permit (LDP) is obtained.
5. A full review of civil drawings is completed during the LDP review.

**Sample Motion:**

"I move to recommend approval of the site plan for Utah City Block 13c with the conditions as outlined by staff."

**Attachments:**

1. 6548966b3a044a3030\_Utah\_City\_13c\_Site\_Plan\_Narrative
2. 5466832ed5aa7c8\_Context\_Plan\_-\_6.27.2024
3. 366832ed552954\_Vineyard\_Block\_13C\_-\_CIVIL
4. 6547966be9f1b7f928\_UC13C\_-\_Amenities\_Diagram
5. 6548466be9ed4074c6\_UC13C\_-\_Transparency\_Diagram
6. 6549666b69d1c850f8\_240628\_B13C\_Landscape\_Illustrative\_Site\_Plan\_v2
7. 3866832ed629f74\_02\_-\_UC13C\_-\_50DD\_-\_Landscape
8. 23472.A Parking Exhibit
9. 23067 Parking Summary
10. 6601266b69e761bc71\_Title\_Commitment\_GT-ORT\_Refi-Land-ExtendedLP\_AMD2





# FLAGSHIP

## Utah City Block 13c Site Plan Application Narrative

July 1st, 2024

Vineyard City Staff & Planning Commission,

Utah City Block 13c is located between a paseo (north boundary), Third Avenue (east boundary), Charles Street (south boundary) and Second Avenue (west boundary). It is located in the Downtown Mixed-Use district within the Downtown Vineyard special purpose zoning district. Building 13c is a block north of the Promenade. Consistent with the master plan, paseos have been designed as an integral part of block 13 creating pedestrian only pathways moving north/south and east/west. In addition to the paseos, we are proposing the following amenities:

### Indoor

- Lobby
- lobby library
- lobby event space
- co-work space
- fitness
- maker space (indoor/outdoor)
- co-work center
- private work pods
- club space
- private dining room
- clubroom outdoor deck
- bike room
- ski room

### Outdoor

- Outdoor Kitchen
- Shaded lawn
- Sculptural Play Space
- Fireplace with seating
- Outdoor seating in courtyards and paseos
- bike racks

This building is primarily a residential use with 342 units. The building has a 7-story portion along 3rd Avenue and the balance of the building to the west is 5-stories. Parking will be provided in temporary surface parking lots and will transition into structured parking in block 13a at a later date. We will likely work with the City on sharing a parking structure associated with the City Hall building. For now, the temporary surface parking lots will be located on Block 10b, 13a, and 14a. Given these parking lots are temporary, we are proposing limited landscape improvements to the interior lots similar to what was done on Blocks 5 & 6. Lighting will also be provided in a temporary condition during the surface parking period.

We are proposing a deferred submittal on the landscape plans and photometric plans. We will provide a preliminary plant list, a table showing landscape area, but final planting and irrigation plans are proposed

to be submitted at the land disturbance or building permit stage of approval. Preliminary photometric plans will also be provided with the site plan approval, but final electrical and lighting design will be submitted with the building permit as well.

We anticipate construction beginning next year and lasting 18 to 24 months. We anticipate the eastern 7-story residential bar will be completed first, and the remaining 5-story portion of the building finishing later. We are working closely with building officials and fire marshal to make sure all fire and safety considerations are being met in the design of the two portions of the buildings.

We are excited to be bringing these uses to Vineyard City and look forward to your comments and upcoming discussions.

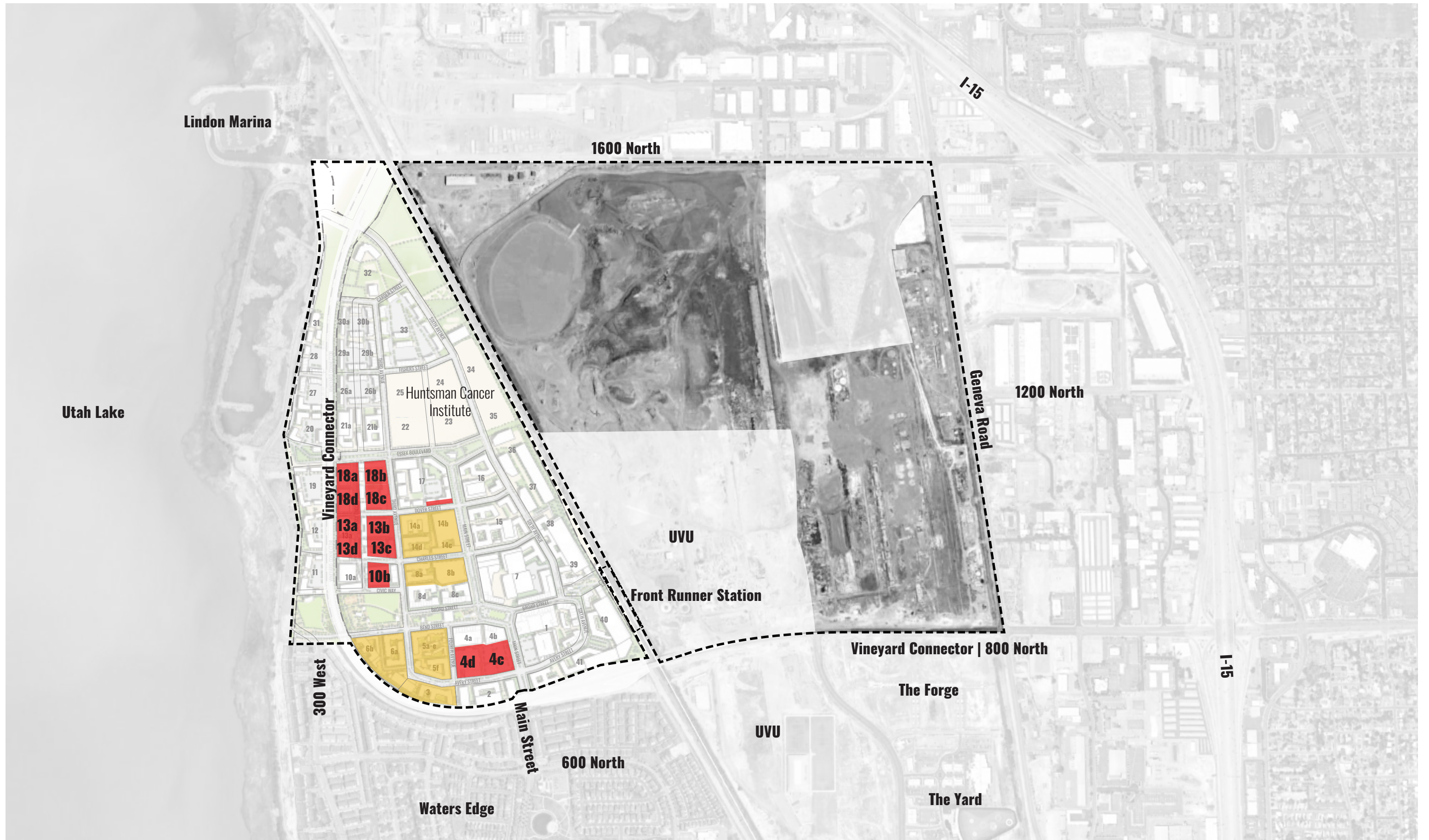
Best,

A handwritten signature in black ink, appearing to read "Bronson Tatton". The signature is fluid and cursive, with a large initial "B" and "T".

Bronson Tatton

***Utah City Director of Planning and Design***



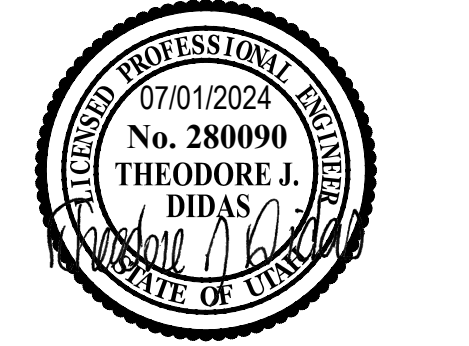
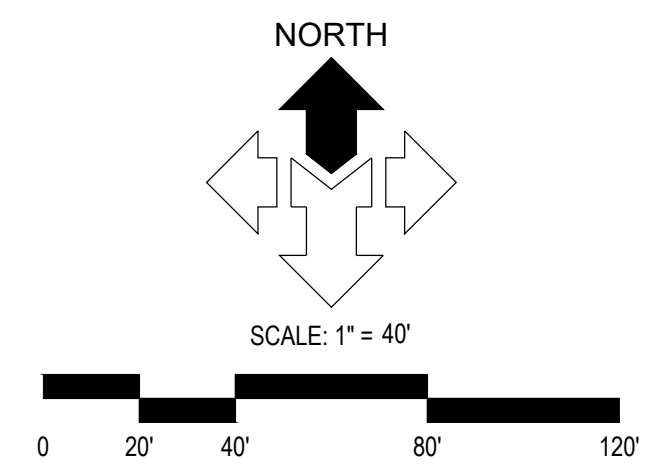




# VINEYARD STATION - BLOCK 13 BLDG 13C

## 100% DESIGN DEVELOPMENT PLANS

VINEYARD, UTAH



**Vineyard Station - Block 13 Bldg 13C**  
Woodbury Corporation & Flagship Homes  
Vineyard, UT

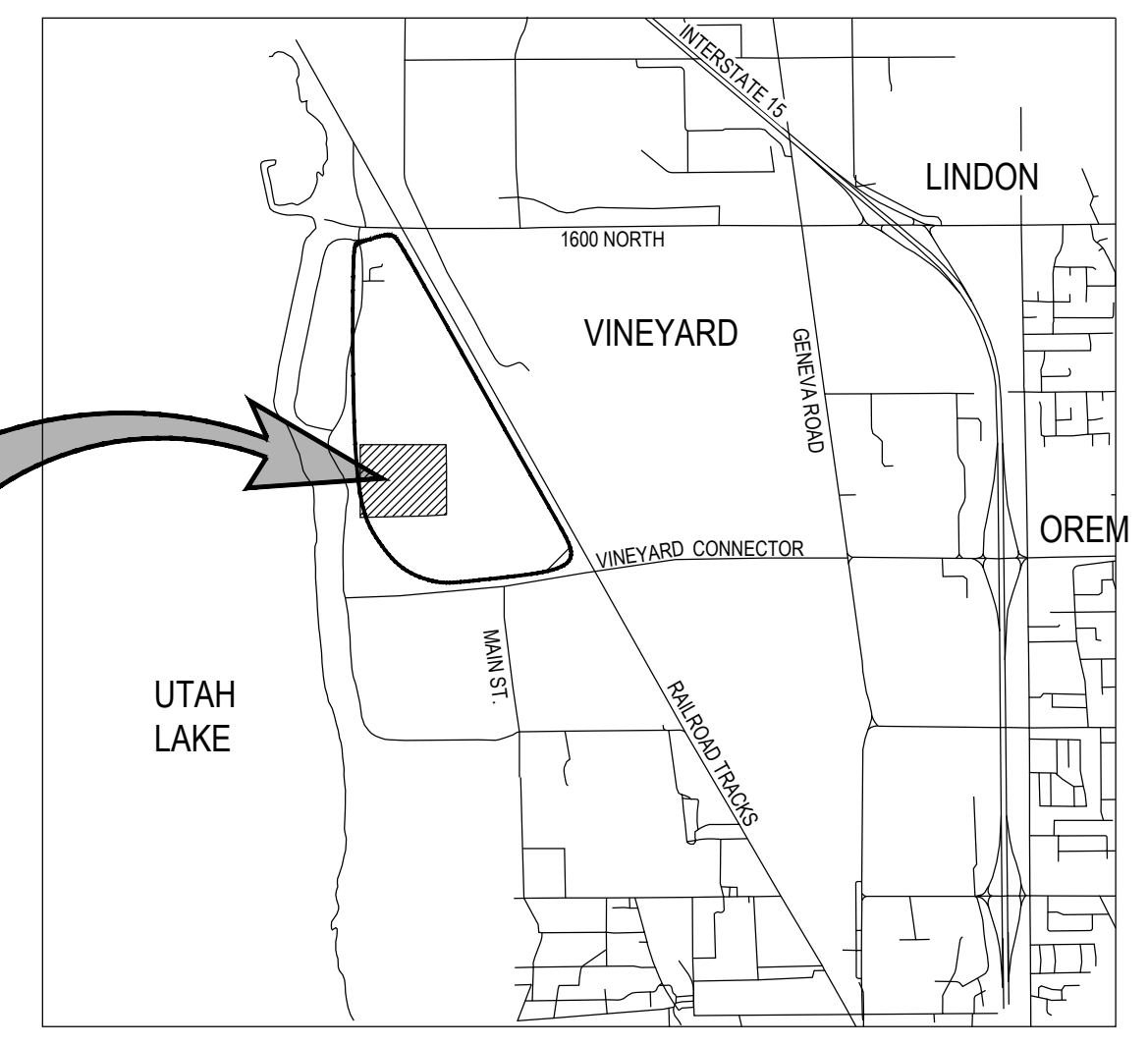
Date  
26 JUNE 2024  
Revisions

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Project No.  
24005-13C

**C0.00**  
CIVIL COVER SHEET



VICINITY MAP  
N.T.S.

SITE

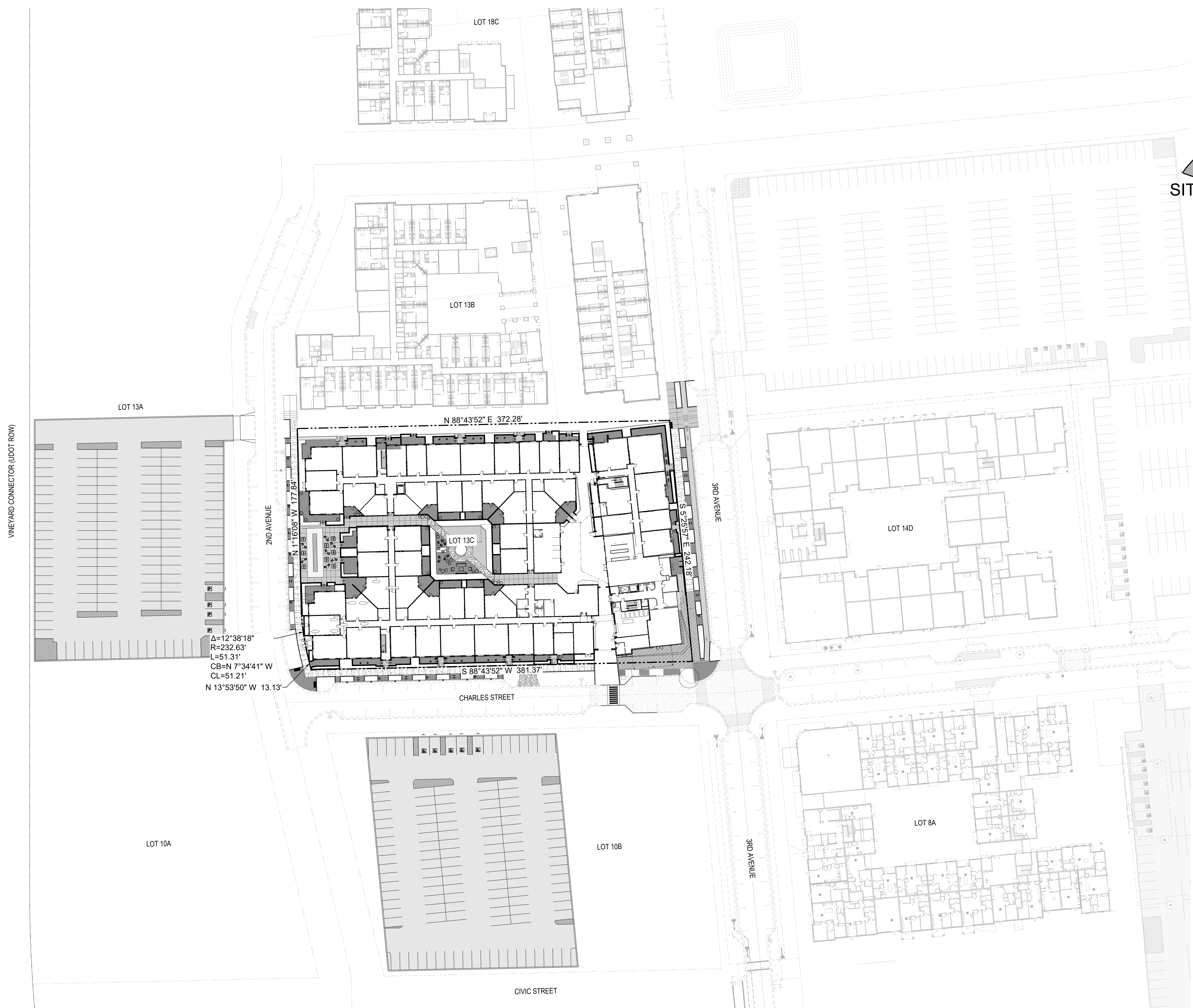
**DRAWING INDEX**

SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	OVERALL CIVIL SITE PLAN
C1.02	CIVIL SITE PLAN
C2.01	GRADING AND DRAINAGE PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS

ALL WORK AND MATERIALS FOR WATER MUST CONFORM TO VINEYARD CITY STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER MUST CONFORM TO VINEYARD CITY STANDARDS AND SPECIFICATIONS

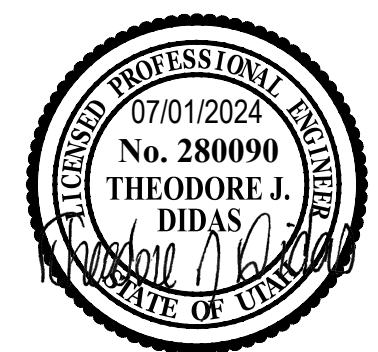
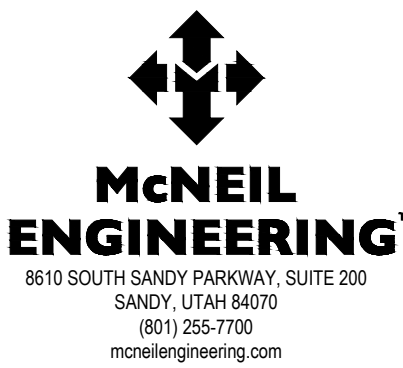
ALL WORK AND MATERIALS MUST CONFORM TO APWA STANDARDS AND SPECIFICATIONS



**Blue Stakes of UTAH811**  
#utah811

**NOTICE!**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.





GENERAL NOTES

- 1.1 COMPLIANCE 1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS. 2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES. 3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL. 1.2 PERMITTING AND INSPECTIONS 1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGUN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES. 2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION. 3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS. 1.3 COORDINATION & VERIFICATION 1. ALL DIMENSIONS, GRADES/SLIP TITLES SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OR ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. IF, NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. 2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR OMISSIONS OR ERRORS THAT CAN BE EASILY OBSERVED. 3. CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDINGS, MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDINGS, INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLW/WOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED. 1.4 SAFETY AND PROTECTION 1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. 2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS. 3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC. 4. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS, DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OR SAID IMPROVEMENTS. 5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF OPERATIONS. 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS. 7. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF VISITORS AND VISUALITY. ALL CONSTRUCTION SIGNING, BARRICADEING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. 8. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS. 9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. 10. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED. 11. WORK IN PUBLIC STREETS MUST BE PROCEEDED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC. 12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. 13. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY. 14. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR. 1.5 MATERIALS 1. SITE CONCRETE SHALL BE A MINIMUM 8.5 BAG/MY, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 1+ CR. 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION A. SLABS ON GRADE WILL BE TYPICALLY SCORED. (4" THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 7 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DESIRED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. B. CONCRETE WATERWAYS, CURB/WALLS, MONOTRIPS, CURBS AND GUTTERS, ETC. WILL TYPICALLY BE SCORED (4" THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET. C. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE WILL HAVE A MINIMUM 6" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE. D. UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90% SUBGRADE). E. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROODMUD ANY "FLATTERING" OR NEW CONCRETE WILL BE ONE WHILE IT IS STILL "GREEN". F. ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION). 2. ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 2" OVER 8" OF COMPACTED (95% ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS AND DETAIL BY SHEET G50. A. ASPHALT COMPACTION SHALL BE A MINIMUM 98% (MARSHALL DESIGN). B. SURFACE COURSE SHALL BE 1/2" MINUS. NO DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE. C. AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION. D. THICKNESSES OVER 1/4" WILL BE LAD IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN. 1.6 GRADING / SOILS 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. OR IN THE SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. 3. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 90% MIN. OF MAXIMUM DENSITY, MOSTLY SOIL CONTENT AT THE TOP OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. 4. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOIL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. 5. SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC. 6. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

GENERAL NOTES: CONTINUED

- 1.7 UTILITIES 1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. 2. CONTRACTOR TO VERIFY BY POT-HOILING BOTH THE HORIZONTAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. 3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS. 4. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOILING A MINIMUM OF 30 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKE MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION. 5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS. 6. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS. 7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS. 8. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS. 9. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUDED SMOOTH WITH A NON-SHRENK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX. 10. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY. 11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION. 1.8 SURVEY CONTROL 1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS. 2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES. 3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. 1.9 AMERICAN DISABILITIES ACT 1. PEDESTRIAN/ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS: "ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM CROSS SLOPE. "RAMPS SHALL HAVE A 5.0% (1:20) MAXIMUM RUNNING SLOPE. "RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE. 2. ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM SURFACE SLOPE IN ANY DIRECTION. 3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

Table with columns for Abbreviation and Description. Includes items like AC ACRE, ADA AMERICAN WITH DISABILITIES ACT, ATMS ADVANCED TRAFFIC MGMT. SYSTEM, etc.

ABBREVIATIONS

Table with columns for Abbreviation and Description. Includes items like GM GAS METER, GMH GAS MANHOLE, GUY GUY WIRE, etc.

NEW EXISTING

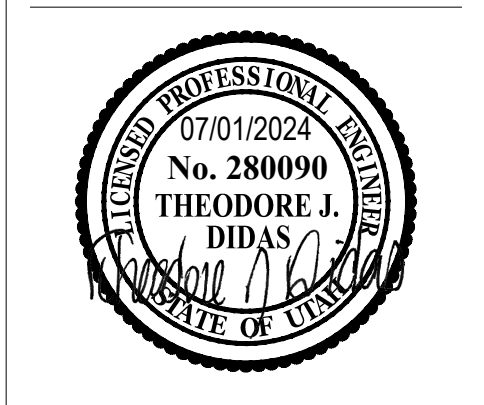
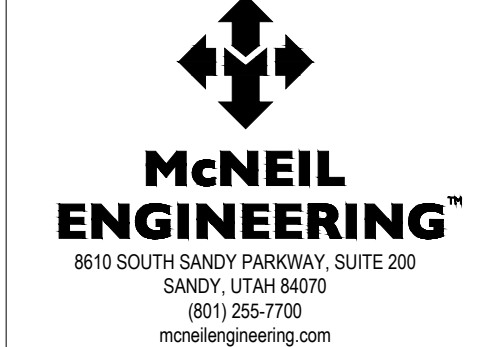
Table with columns for NEW and EXISTING, listing various symbols and their corresponding utility types like MONUMENT LINE, CENTER LINE, SUBJECT PROPERTY LINE, etc.

LEGEND

Table with columns for NEW and EXISTING, listing symbols for various utility types and features like SECTION CORNER (FOUND), SECTION CORNER (NOT FOUND), STREET MONUMENT, BRASS CAP MONUMENT, etc.

Table with columns for NEW and EXISTING, listing symbols for various utility types and features like POWER POLE, UTILITY POLE, ATMS CABLE, CABLE TV LINE, etc.





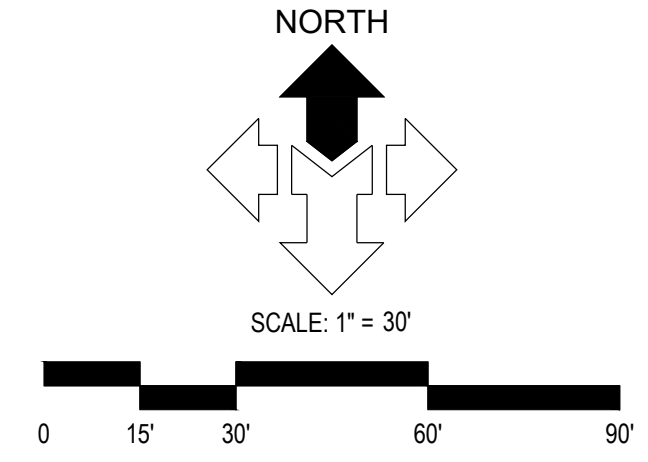
**Vineyard Station - Block 13 Bldg 13C**  
Woodbury Corporation & Flagship Homes  
Vineyard, UT

Date  
26 JUNE 2024  
Revisions

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Project No.  
24005-13C

**C1.01**  
OVERALL CIVIL  
SITE PLAN

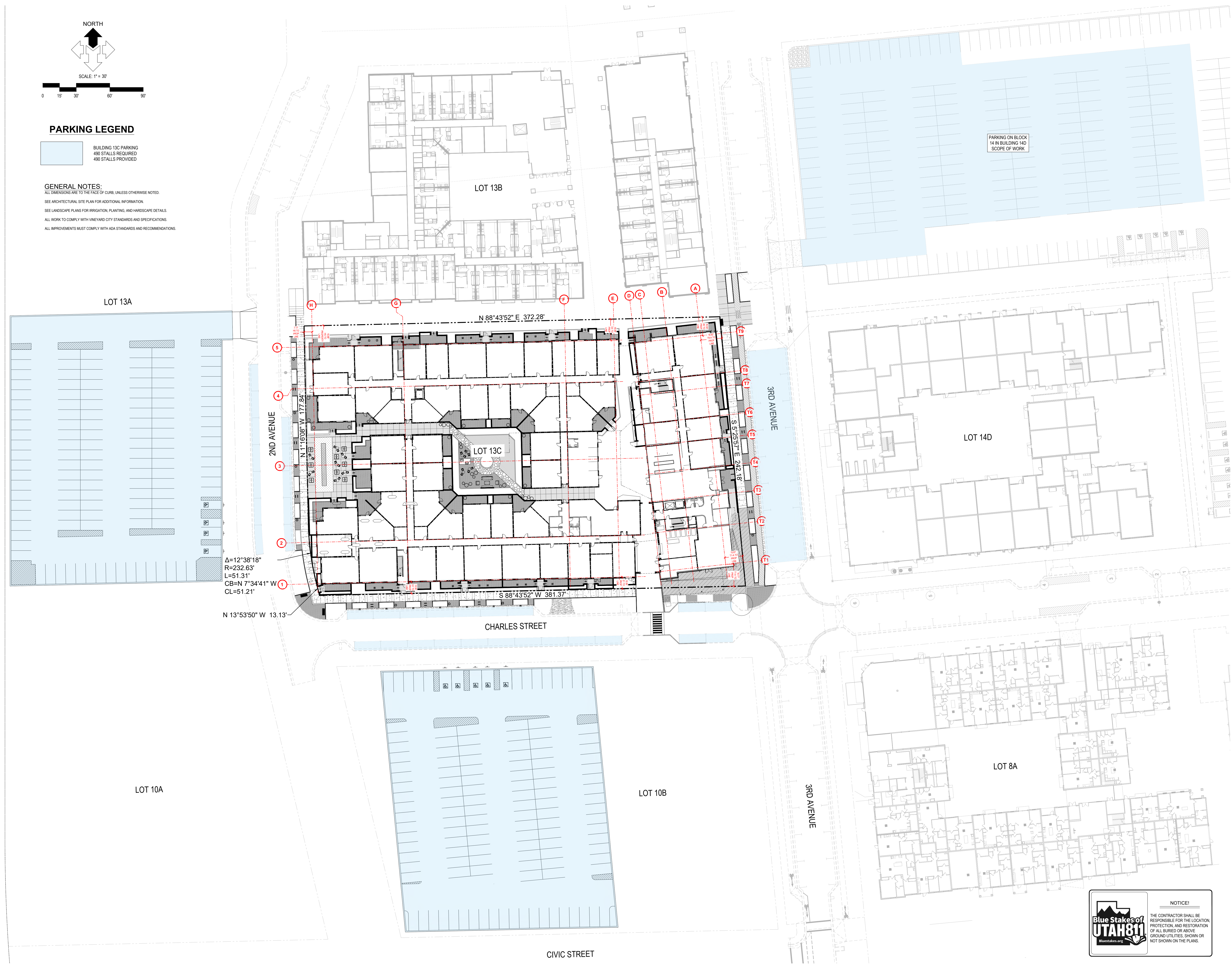


**PARKING LEGEND**

BUILDING 13C PARKING  
490 STALLS REQUIRED  
490 STALLS PROVIDED

**GENERAL NOTES:**  
ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.  
SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.  
SEE LANDSCAPE PLANS FOR IRRIGATION, PLANTING, AND HARDSCAPE DETAILS.  
ALL WORK TO COMPLY WITH VINEYARD CITY STANDARDS AND SPECIFICATIONS.  
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

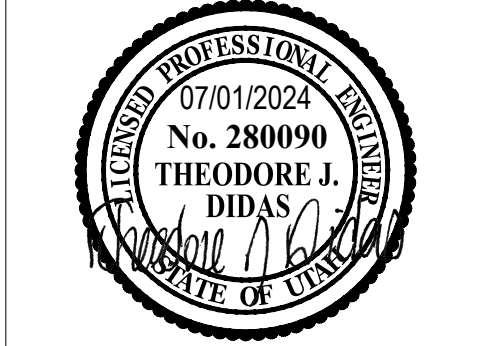
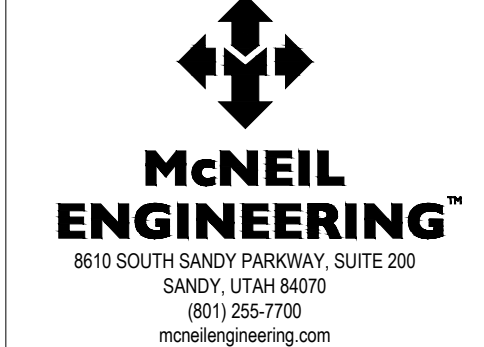
VINEYARD CONNECTOR (UDOT ROW)



**Blue Stakes of UTAH811**  
#bluestakes.org

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**Vineyard Station - Block 13 Bldg 13C**  
Woodbury Corporation & Flagship Homes  
Vineyard, UT

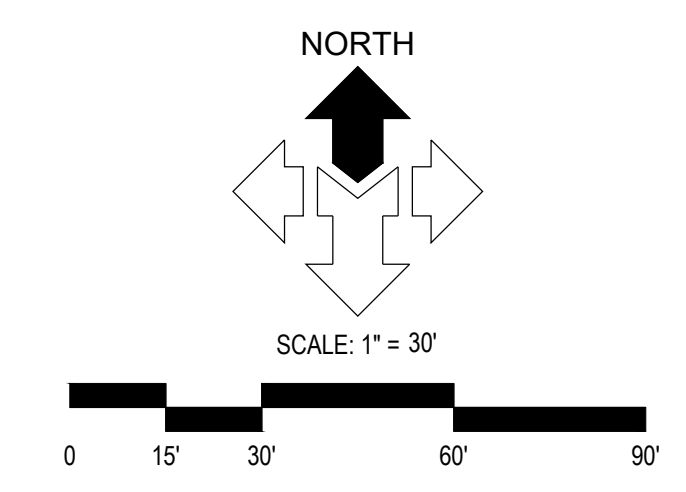
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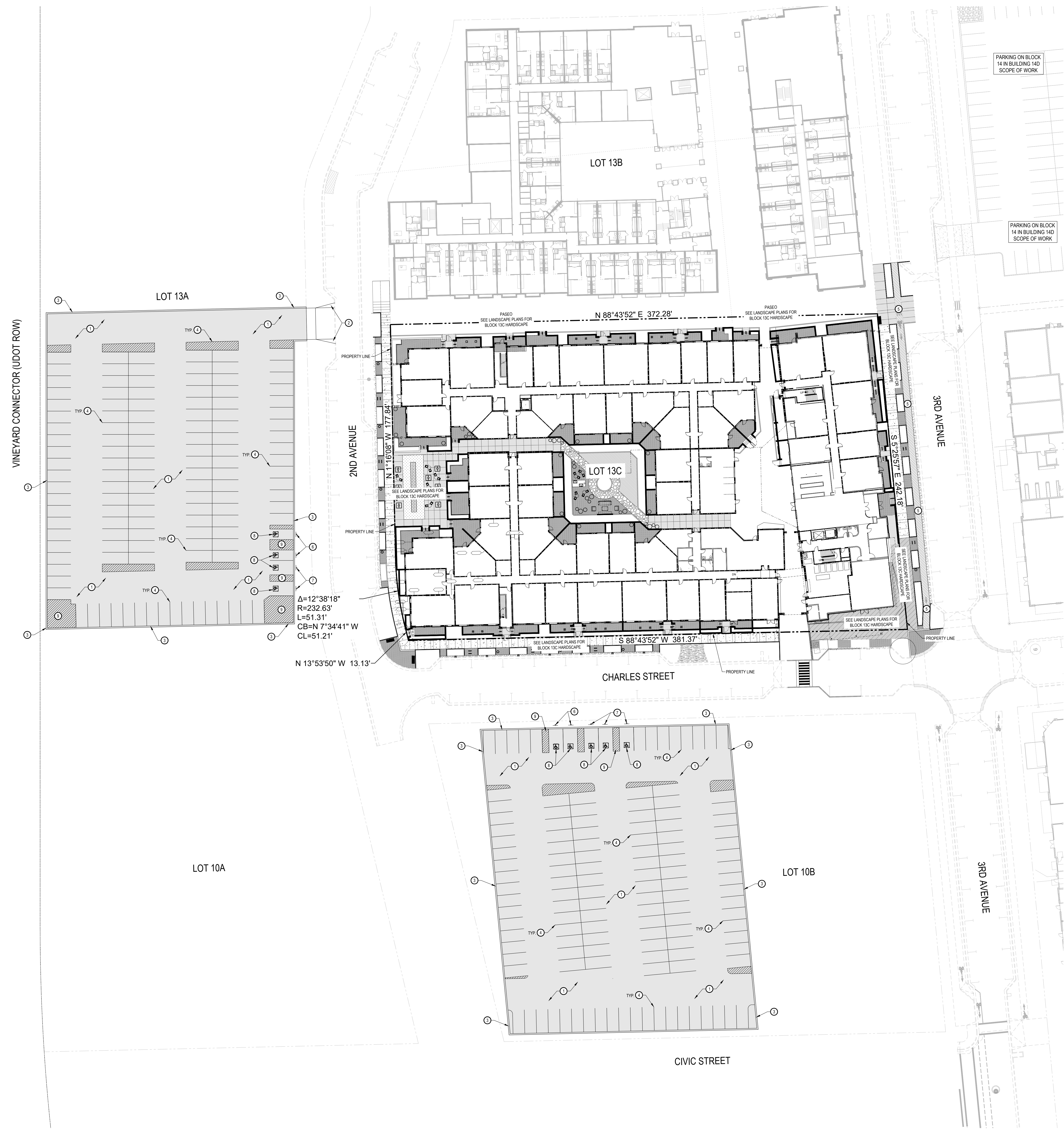
**C1.02**

CIVIL  
SITE PLAN



- GENERAL NOTES:**  
ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.  
SEE LANDSCAPE SITE PLAN FOR ADDITIONAL SITE MATERIALS AND INFORMATION.  
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.  
ALL WORK TO COMPLY WITH VINEYARD CITY STANDARDS AND SPECIFICATIONS.  
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- KEYED NOTES:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- ① 3" THICK STANDARD DUTY ASPHALT PAVEMENT WITH 6" GRANULAR BASE PER DETAIL 'A1', SHEET C5.02.
  - ② FLARED CONCRETE DRIVE APPROACH PER VINEYARD CITY STANDARD DETAIL 6 ON SHEET C5.01.
  - ③ 12" WIDE, 6" TALL ASPHALT CURB.
  - ④ 4" WIDE SOLID WHITE PARKING STRIP STRIPES.
  - ⑤ 5' WIDE BIKE LANE, 3" THICK STANDARD DUTY ASPHALT PAVEMENT WITH 6" GRANULAR BASE PER DETAIL 'A1', SHEET C5.02.
  - ⑥ VAN ACCESSIBLE ADA PARKING SIGN, SEE DETAIL 'B3', SHEET C5.02.
  - ⑦ ADA PARKING SIGN, SEE DETAIL 'B3', SHEET C5.02.
  - ⑧ PAINTED ADA SYMBOL, SEE DETAIL 'A3', SHEET C5.02.
  - ⑨ 4" WIDE SOLID WHITE PEDESTRIAN STRIP STRIPES.

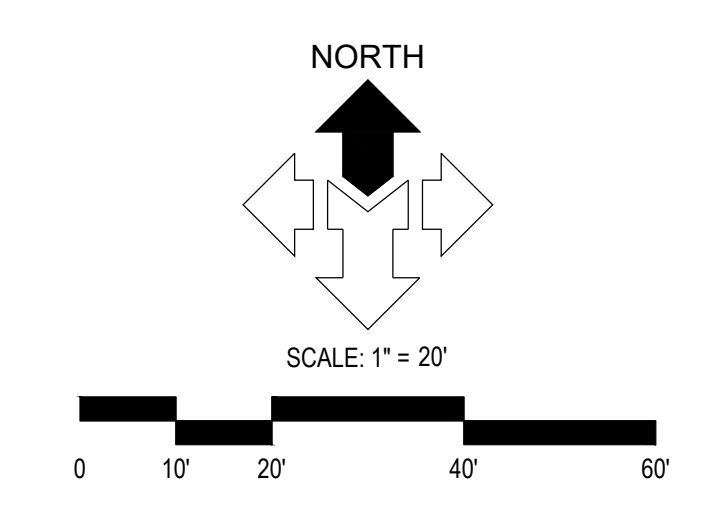
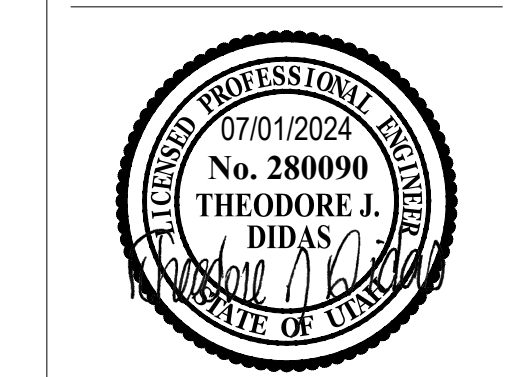
**PARKING TABULATION:**  
PROVIDED PARKING STALLS: 490  
PROVIDED ADA ACCESSIBLE STALLS: 9  
TOTAL PARKING STALLS: 490 STALLS



**Blue Stakes of UTAH811**  
flaestakes.org

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.





**GENERAL NOTES:**  
SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF AVAILABLE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER. VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.10 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

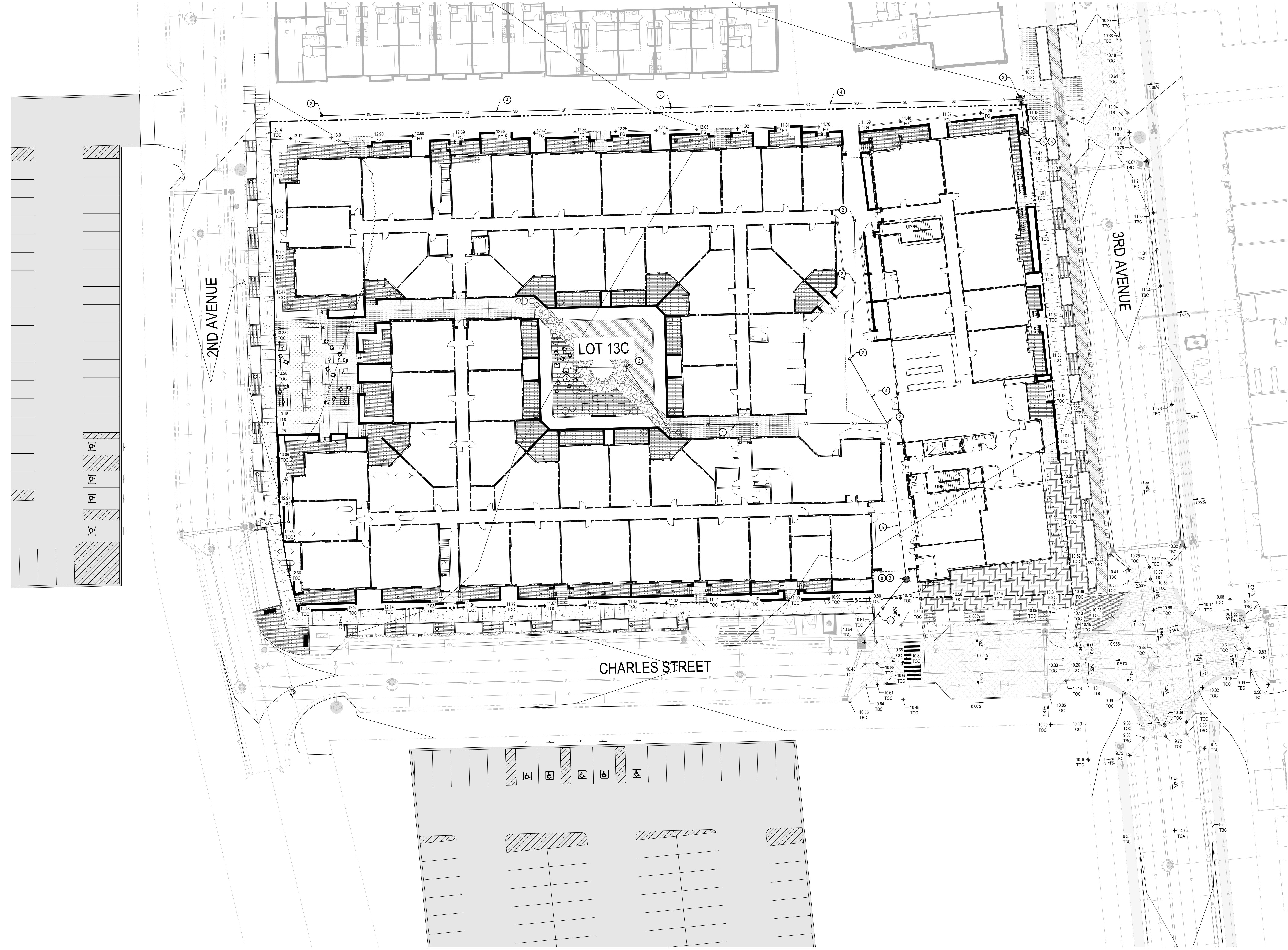
CONTRACTOR TO FIELD VERIFY BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINE OR STRUCTURE. CONTRACTOR TO REPORT ANY DESIGN DISCREPANCIES IN HORIZONTAL OR VERTICAL LOCATIONS TO ENGINEER. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND/OR REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE, OR FOR ANY WORK HAVING TO BE DONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.

CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES AND WORK UPSTREAM ALL PROPOSED CONNECTIONS TO EXISTING UTILITY LINES OR STRUCTURES ARE TO BE FIELD VERIFIED FOR BOTH VERTICAL AND HORIZONTAL LOCATION, PRIOR TO CONSTRUCTING ANY NEW UTILITY LINE OR STRUCTURE. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK HAVING TO BE DONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.

ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALLS, IF ANY ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

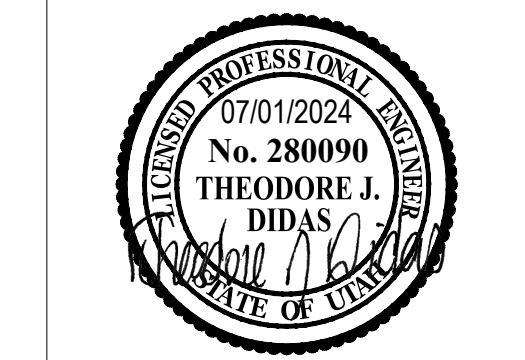
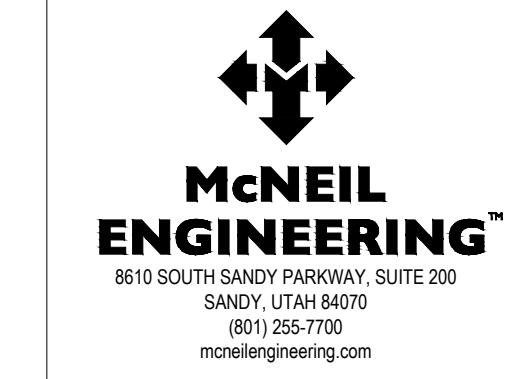
**KEYED NOTES:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
- ② STORM DRAIN INLET BASIN WITH DECORATIVE GRATE PER DETAIL 'A2' ON SHEET C2.02.
- ③ COORDINATE WITH LANDSCAPE PLANS FOR PEDESTRIAN SAFE GRATE. HDPE PIPE MINIMUM SLOPE OF 0.20%. CONNECT TO PIPES WITH INSERTA TEE OR APPROVED EQUAL.
- ④ STORM DRAIN CLEANOUT BOX. SEE DETAIL 'C5', SHEET C2.02.
- ⑤ 8" DIAMETER HDPE STORM DRAIN LINE. SEE APWA PLANS NO. 381 & 382 FOR TRENCHING DETAIL.
- ⑥ 12" DIAMETER HDPE STORM DRAIN LINE. SEE APWA PLANS NO. 381 & 382 FOR TRENCHING DETAIL.
- ⑦ 12" HDPE ROOF DRAIN LINE AT 1.5% MINIMUM SLOPE. SEE PLUMBING PLAN FOR CONNECTION TO THE BUILDING. CONNECT TO STORM DRAIN LINE WITH INSERTA TEE OR APPROVED EQUAL.
- ⑧ STORM CLEANOUT PER DETAIL 'B4' ON SHEET C2.02.
- ⑨ INSTALL SHOUT OIL/WATER DEBRIS SEPARATOR OVER OUTLET PIPE PER DETAIL 'A5', SHEET C2.01.



**Blue Stakes of UTAH811**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.





**Vineyard Station - Block 13 Bldg 13C**  
Woodbury Corporation & Flagship Homes  
Vineyard, UT

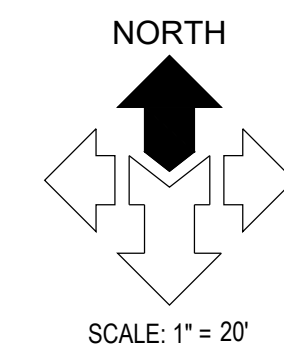
Date  
26 JUNE 2024  
Revisions

Drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.

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Project No.  
24005-13C

**C4.01**  
CIVIL SITE UTILITY PLAN

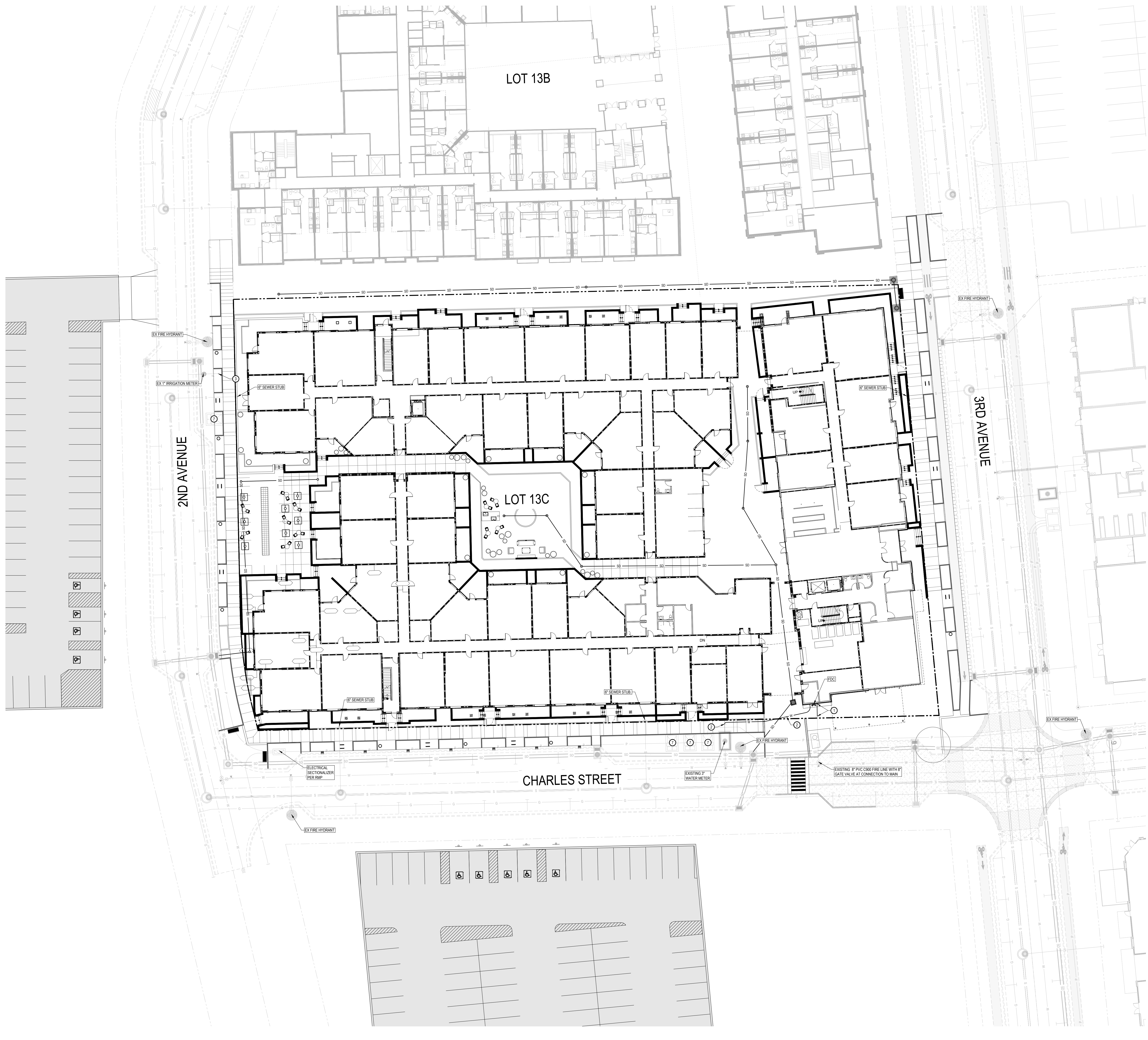


**GENERAL NOTES:**

CONTRACTOR IS TO COORDINATE ALL SITE UTILITIES WITH PLUMBING DRAWINGS.  
ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH VINEYARD CITY STANDARDS & SPECIFICATIONS.  
ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH VINEYARD CITY STANDARDS & SPECIFICATIONS.  
CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.  
A MINIMUM COVER OF 48-INCHES IS REQUIRED ON ALL SEWER LINES.  
CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW COMMUNICATION / DATA FACILITIES TO BUILDING WITH UTILITY PROVIDER.  
CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW NATURAL GAS FACILITIES TO BUILDING WITH DOMINION ENERGY AND MECHANICAL PLANS.  
LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.  
CONTRACTOR TO FIELD VERIFY BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINE OR STRUCTURE. CONTRACTOR TO REPORT ANY DESIGN DISCREPANCIES IN HORIZONTAL OR VERTICAL LOCATIONS TO ENGINEER. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND/OR REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE, OR FOR ANY WORK HAVING TO BE DONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.  
CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES AND WORK UPSTREAM. ALL PROPOSED CONNECTIONS TO EXISTING UTILITY LINES OR STRUCTURES ARE TO BE FIELD VERIFIED FOR BOTH VERTICAL AND HORIZONTAL LOCATION. PRIOR TO CONSTRUCTING ANY NEW UTILITY LINE OR STRUCTURE, ANY DESIGN DISCREPANCIES ARE TO BE REPORTED TO ENGINEER. PRIOR TO CONSTRUCTION NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK HAVING TO BE DONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.  
UTILITY PROVIDERS:  
WATER: VINEYARD CITY  
SEWER: VINEYARD CITY TAMPANOGOS SPECIAL SERVICE DISTRICT  
NATURAL GAS: DOMINION ENERGY  
ELECTRICAL POWER: ROCKY MOUNTAIN POWER  
TELEPHONE: CENTURY LINK COMCAST

**KEYED NOTES:**

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- ① 8" BLUE PVC C-800 DR-18 FIRE LINE, INCLUDING ALL FITTINGS AND THRUST BLOCKING, TRENCHING PER VINEYARD CITY PLANS NO. 13 ON SHEET C5.01 AND THRUST BLOCKING PER VINEYARD CITY PLANS NO. 18 ON SHEET C5.01. SEE DETAIL "A" THIS SHEET FOR FIRE RISER DETAIL, COORDINATE RISER LOCATION IN THE BUILDING WITH PLUMBING AND FIRE PLANS.
  - ② CONTINUE 3" CTS SDR9 POLY OULINARY WATER PIPE TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
  - ③ CONTINUE 1" LANDSCAPE SERVICE PER VINEYARD CITY STD DRAWING 19'. SEE LANDSCAPE PLANS FOR POINT OF CONNECTION AND BACK FLOW PREVENTION DEVICE. INSTALL 1" TYPE BACKFLOW PREVENTER PER VINEYARD STANDARDS AND SPECIFICATIONS. ALL BACKFLOW PREVENTERS SHALL BE TESTED PRIOR TO FINAL INSPECTION.
  - ④ SANITARY SEWER CLEANDOUT, PER VINEYARD CITY PLAN NO. 20.
  - ⑤ 8" PVC SDR-35 SANITARY SEWER LINE, INCLUDING ALL FITTINGS. SEE VINEYARD CITY PLANS NO. 20 AND NO. 13 FOR PIPING AND TRENCHING. 1.0% MINIMUM SLOPE.
  - ⑥ APPROXIMATE LOCATION OF NEW NATURAL GAS FACILITIES. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY DOMINION ENERGY WITH OTHER CONSTRUCTION.
  - ⑦ APPROXIMATE LOCATION OF ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR DETAILS.

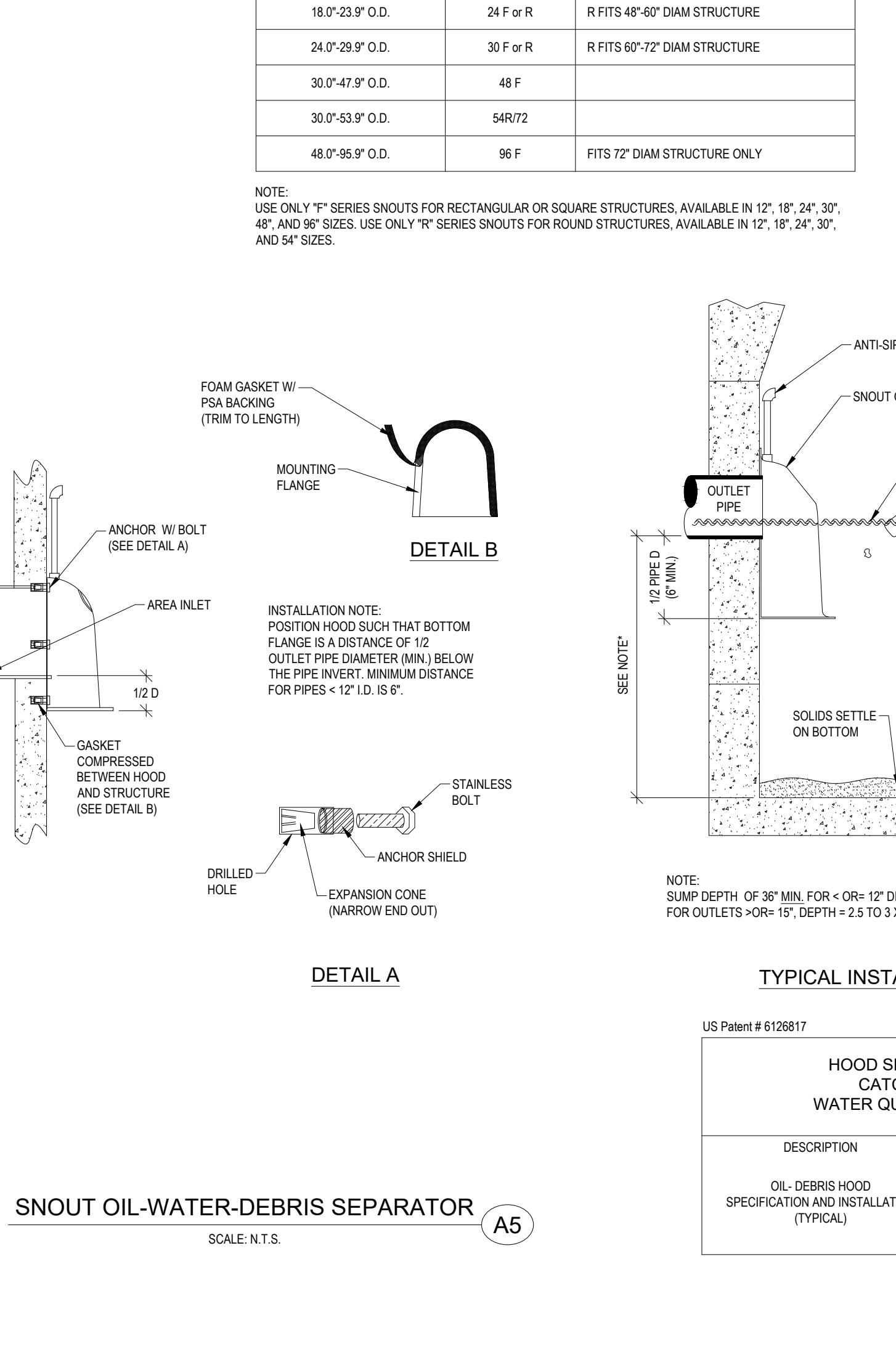
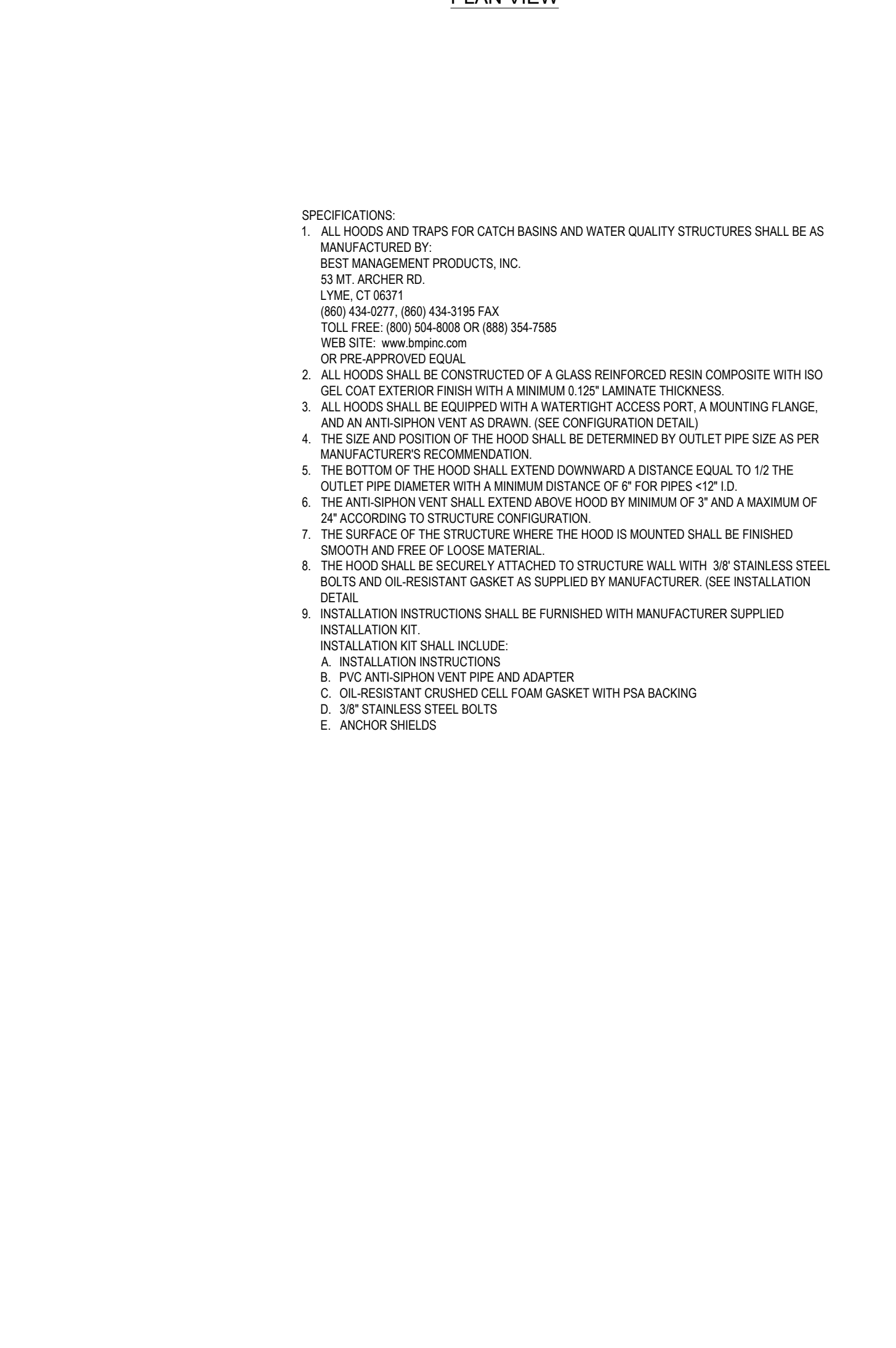
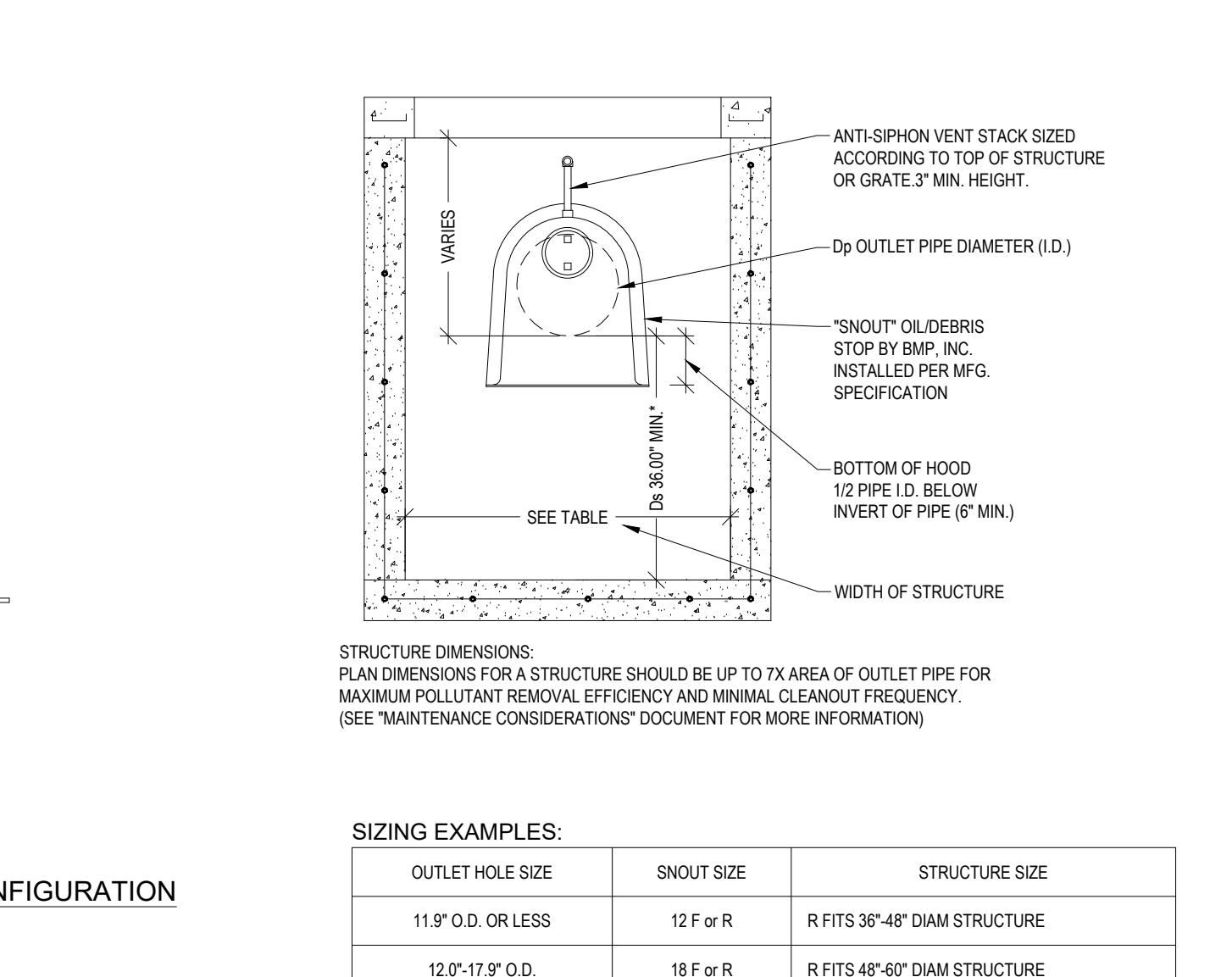
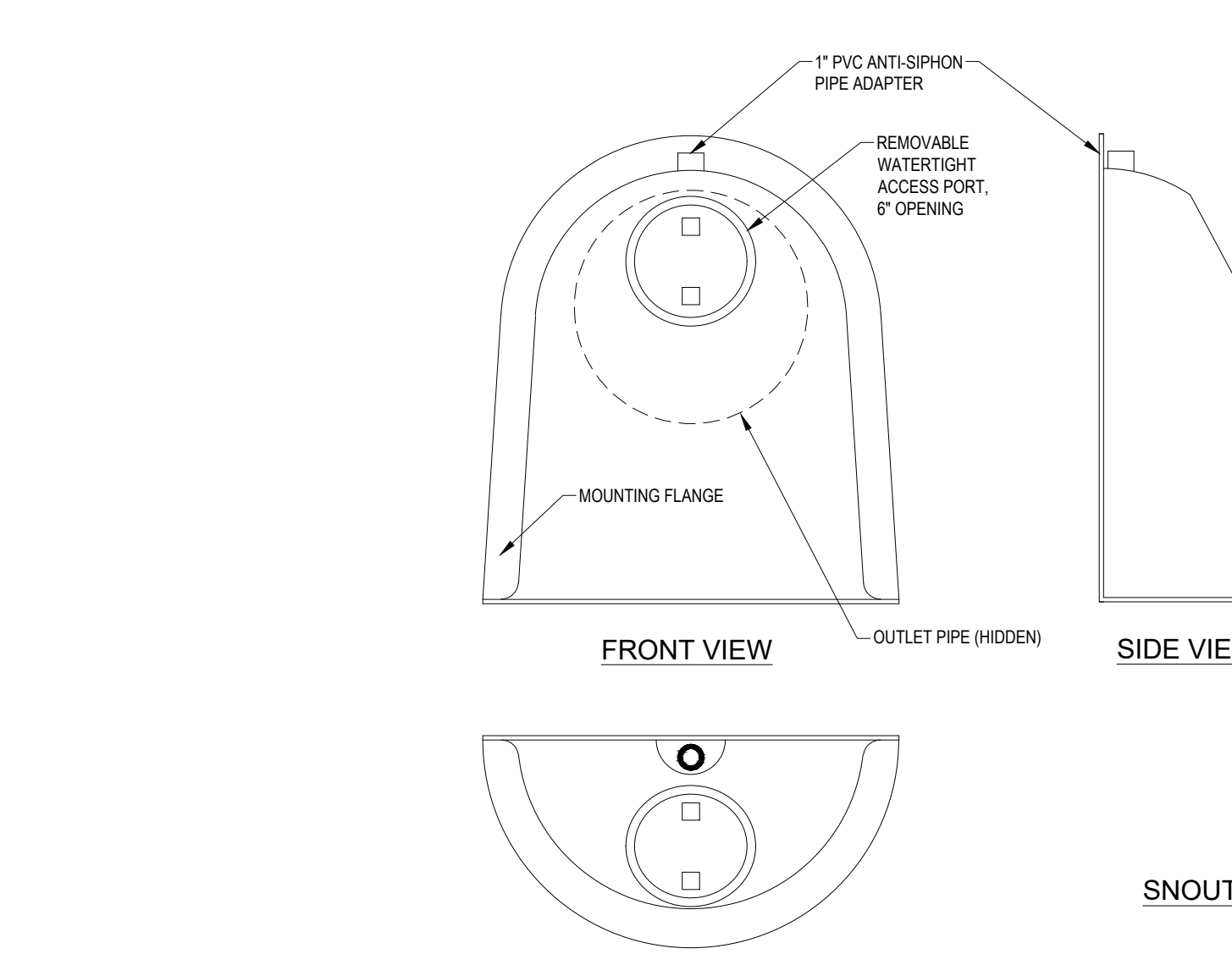
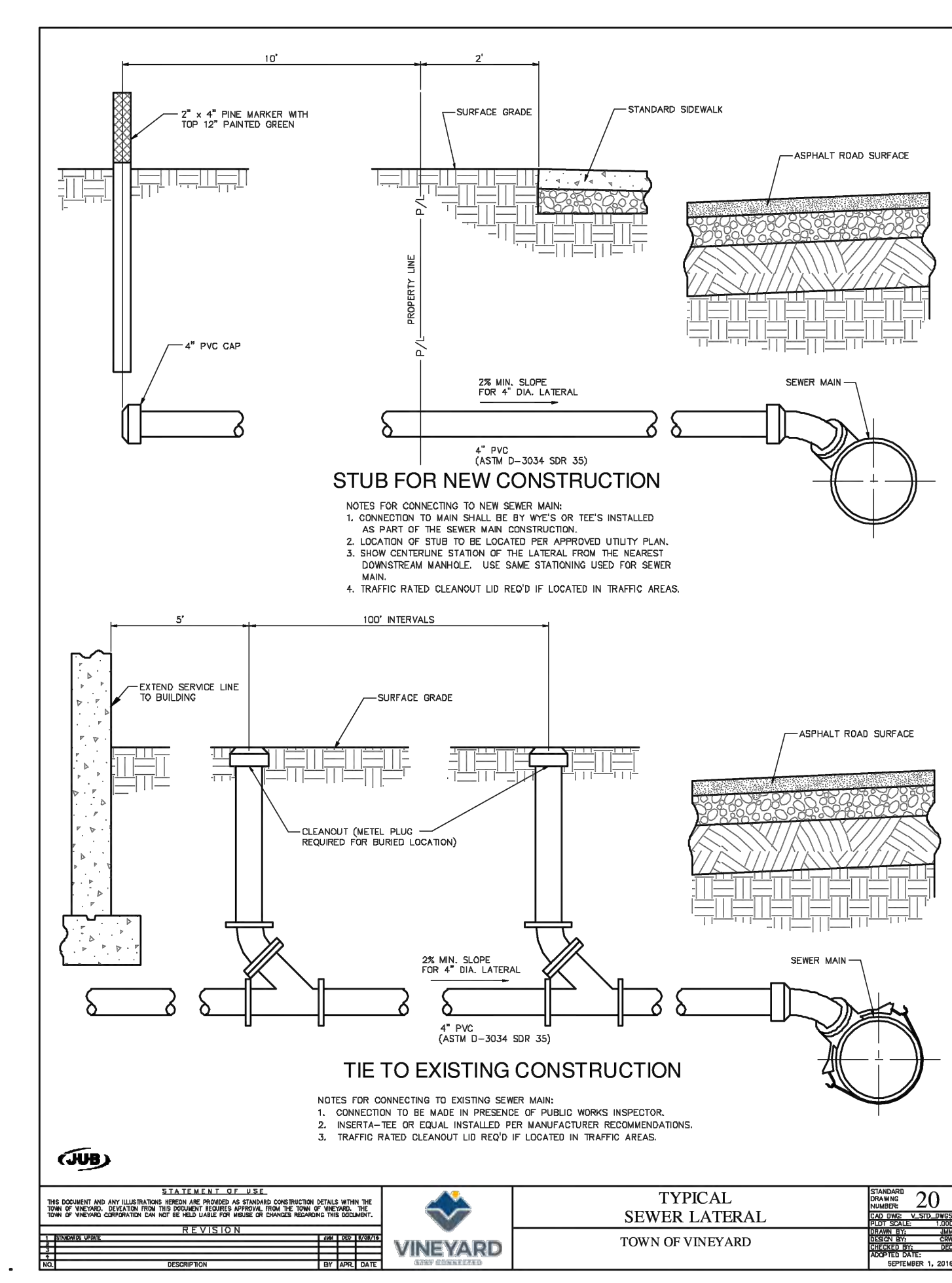
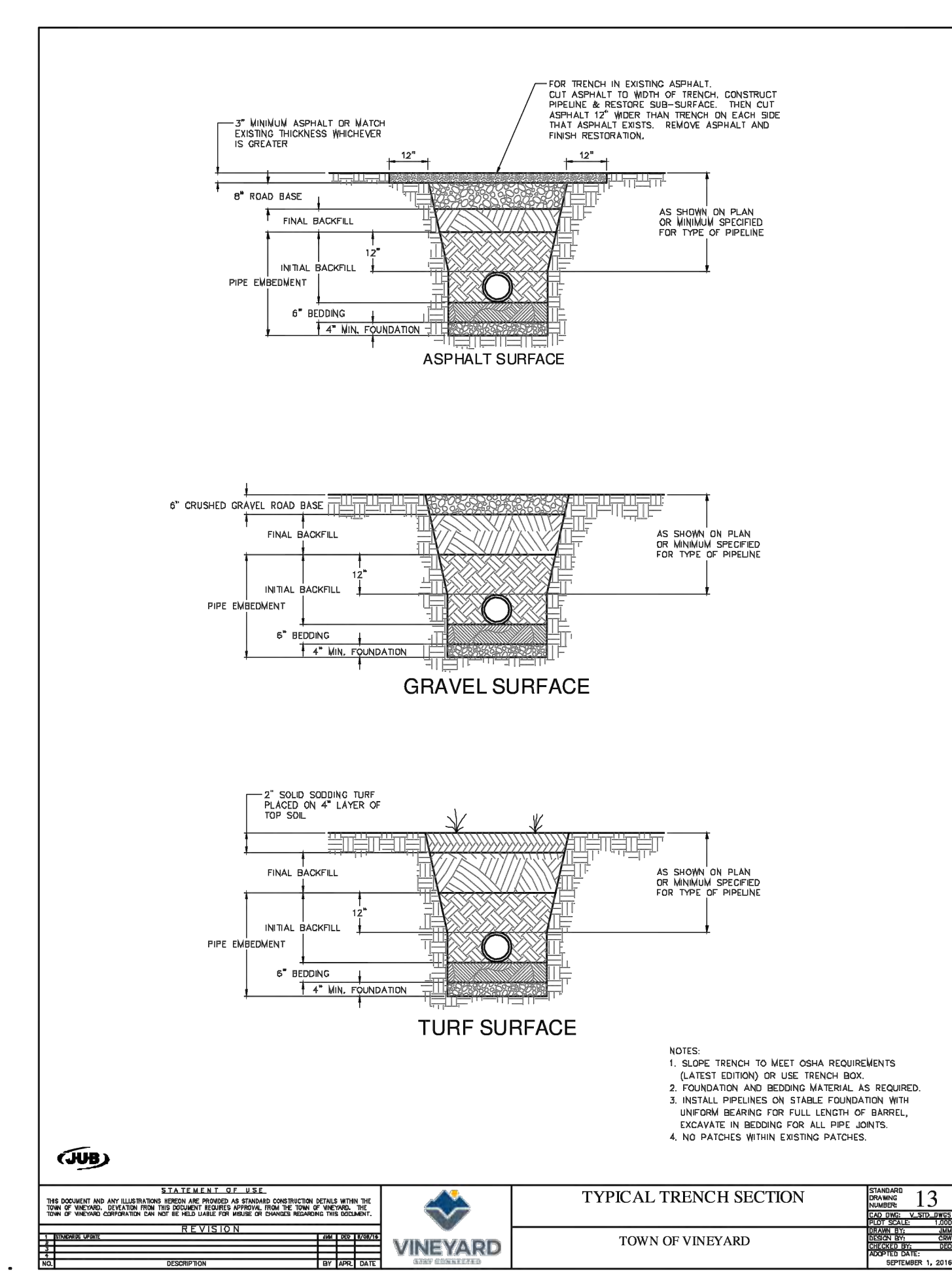
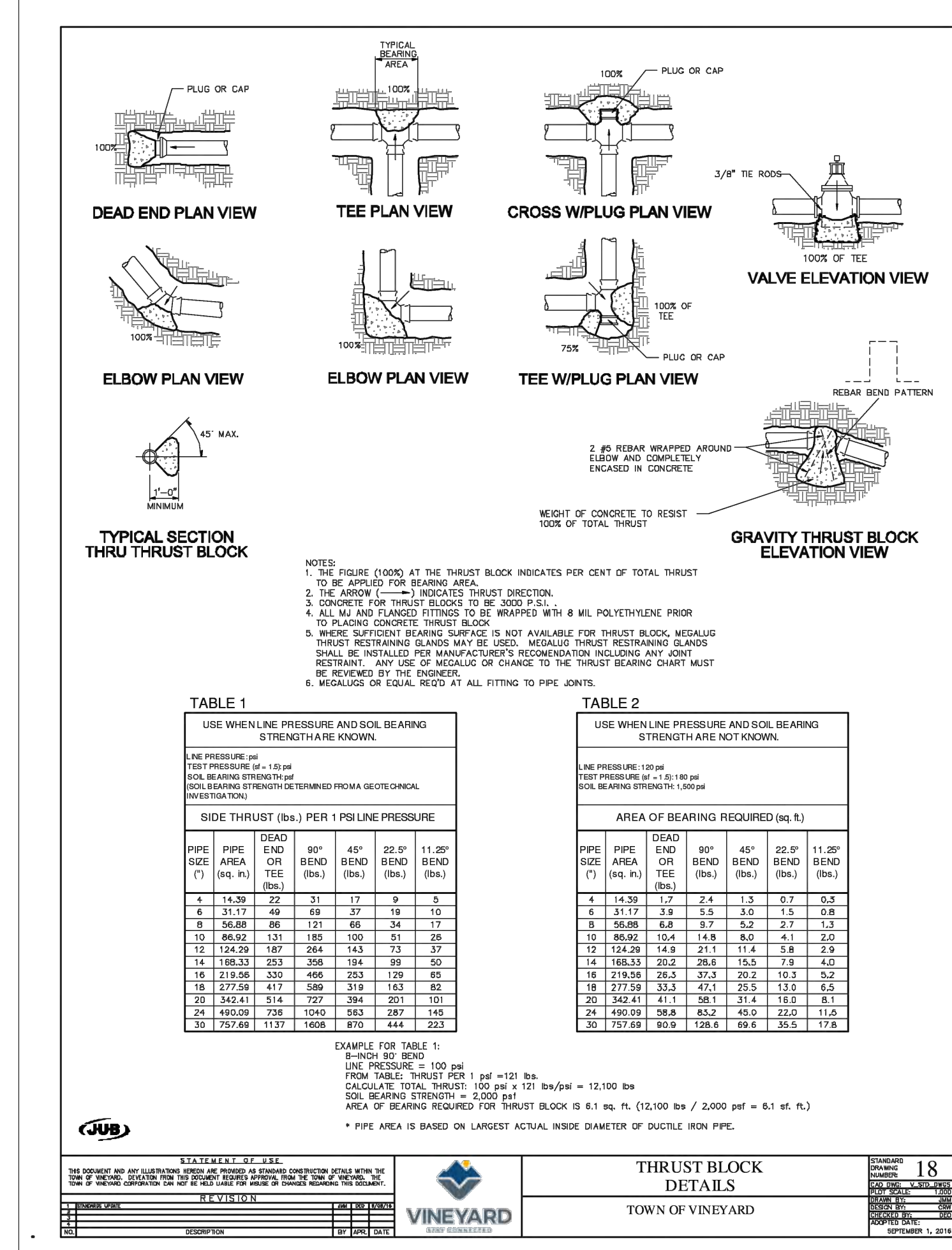
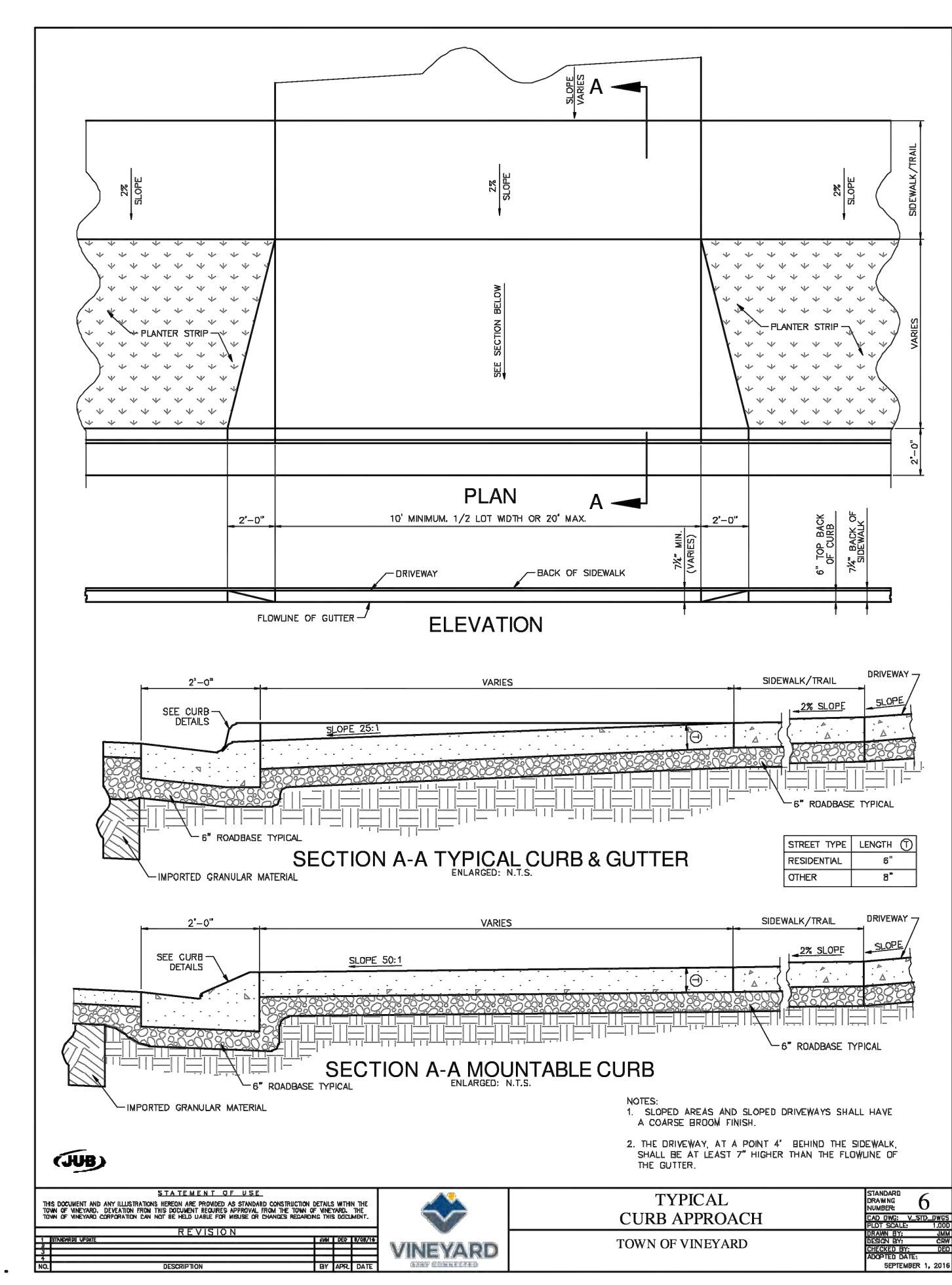


**Blue Stakes of UTAH811**  
bluestakes.org

**NOTICE!**

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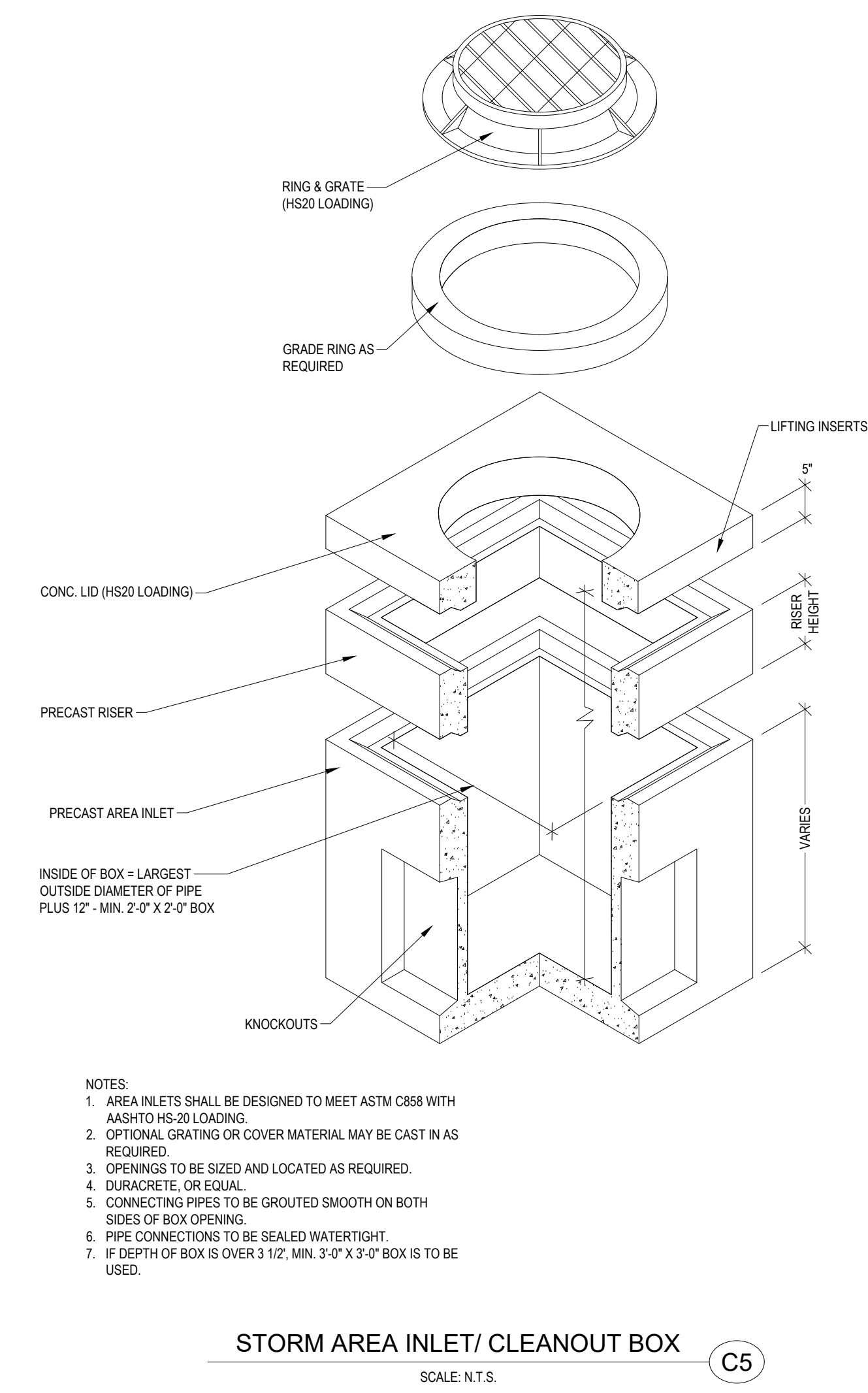
SNOUT OIL-WATER-DEBRIS SEPARATOR (A5)  
 SCALE: N.T.S.

HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES (A5)  
 SCALE: N.T.S.

SNOUT OIL-WATER-DEBRIS SEPARATOR (A5)  
 SCALE: N.T.S.

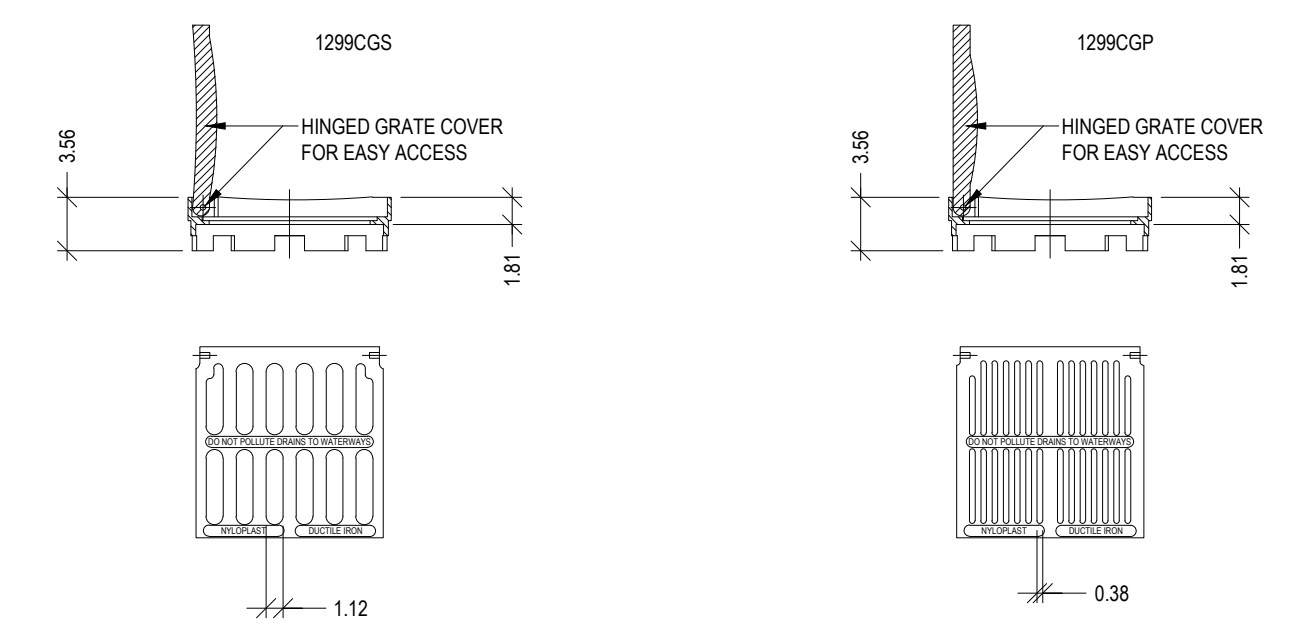
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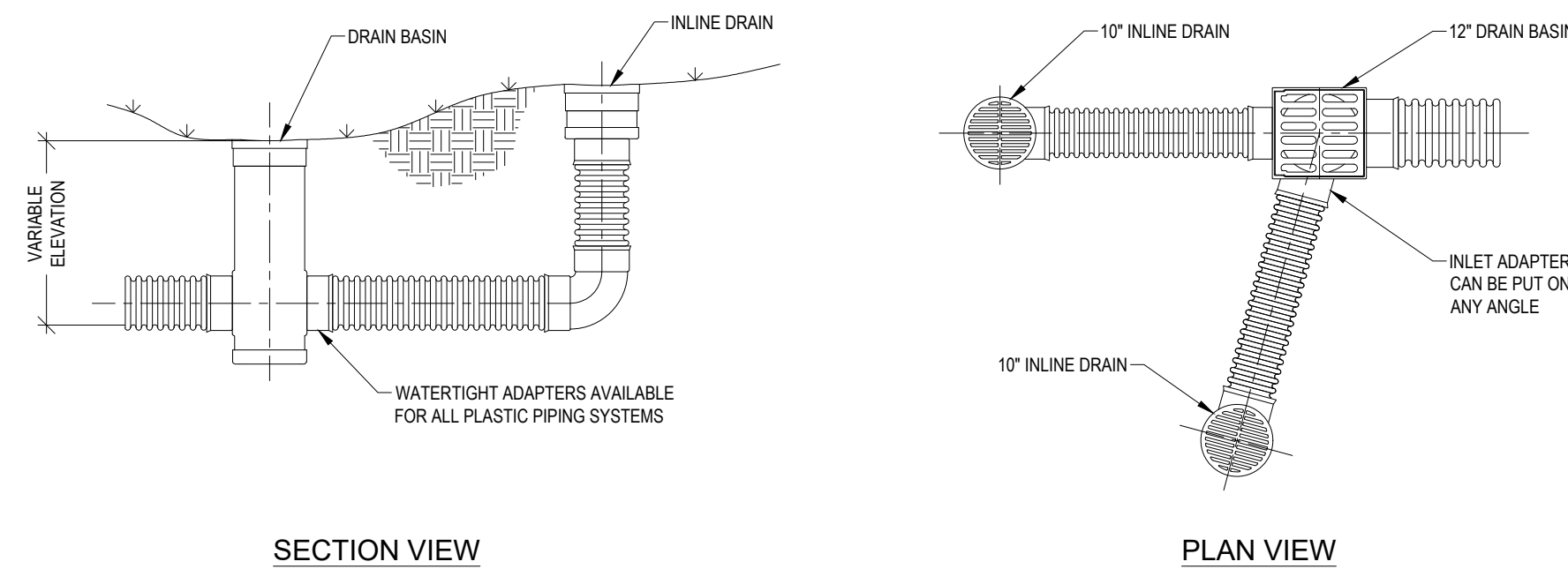
**NYLOPLAST 12" GRATES/COVERS**  
STANDARD GRATE MEETS H-20 LOAD RATING.  
PEDESTRIAN GRATE MEETS H-10 LOAD RATING.  
QUALITY MATERIALS SHALL CONFORM TO ASTM A336 GRADE 70-50-05 & A48-CLASS 30B.  
MATERIAL: DUCTILE IRON GRATE W/CAST IRON FRAME.  
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT.  
LOCKING DEVICE AVAILABLE UPON REQUEST.

12" BASIN	
ADAPTER SIZE	MINIMUM ANGLE BETWEEN ADAPTERS
4" x 4"	55°
4" x 6"	55°
4" x 8"	65°
4" x 10"	75°
4" x 12"	85°
6" x 6"	65°
6" x 8"	75°
6" x 10"	85°
6" x 12"	95°
8" x 8"	85°
8" x 10"	88°
8" x 12"	102°
10" x 10"	90°
10" x 12"	115°
12" x 12"	150°

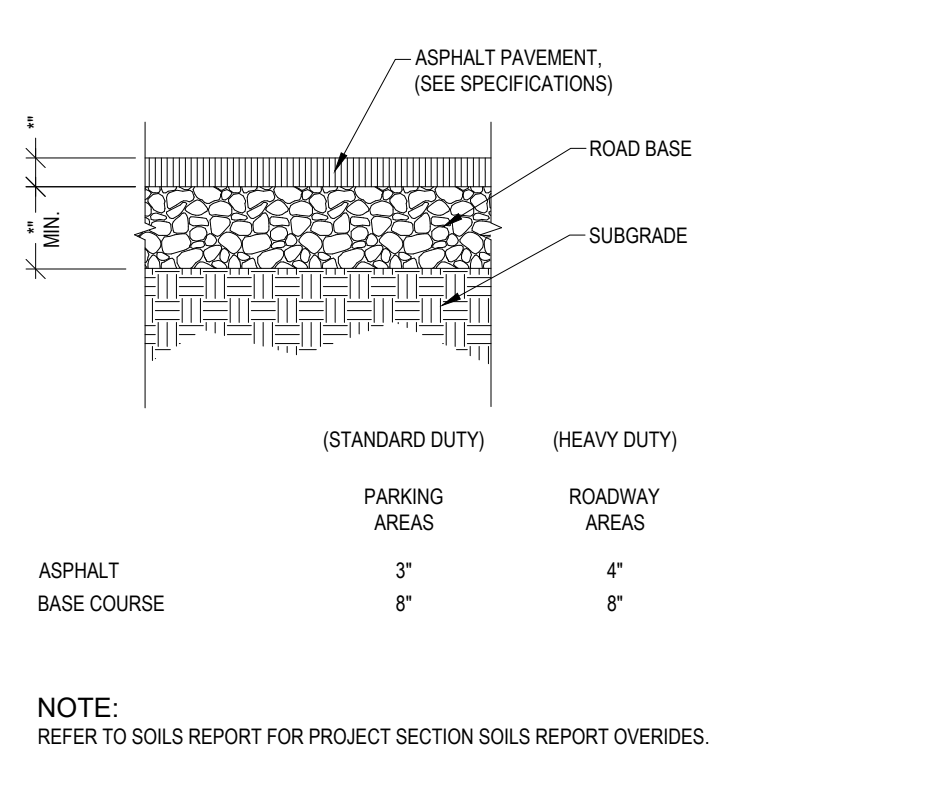
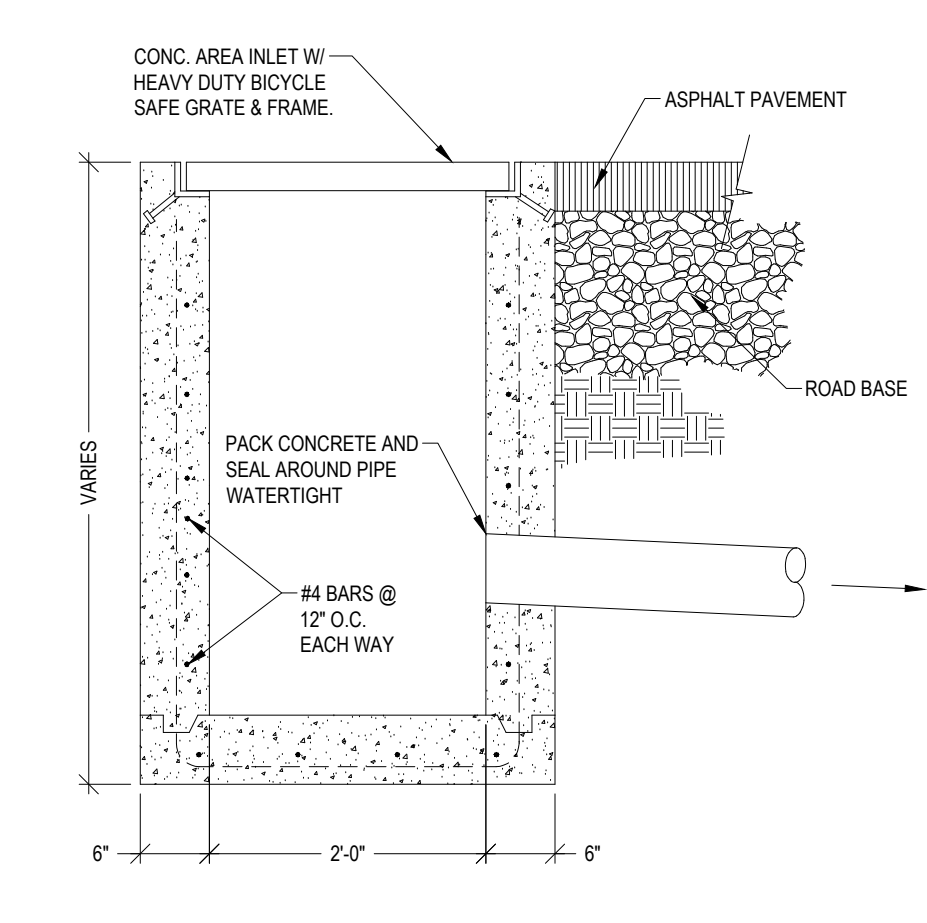
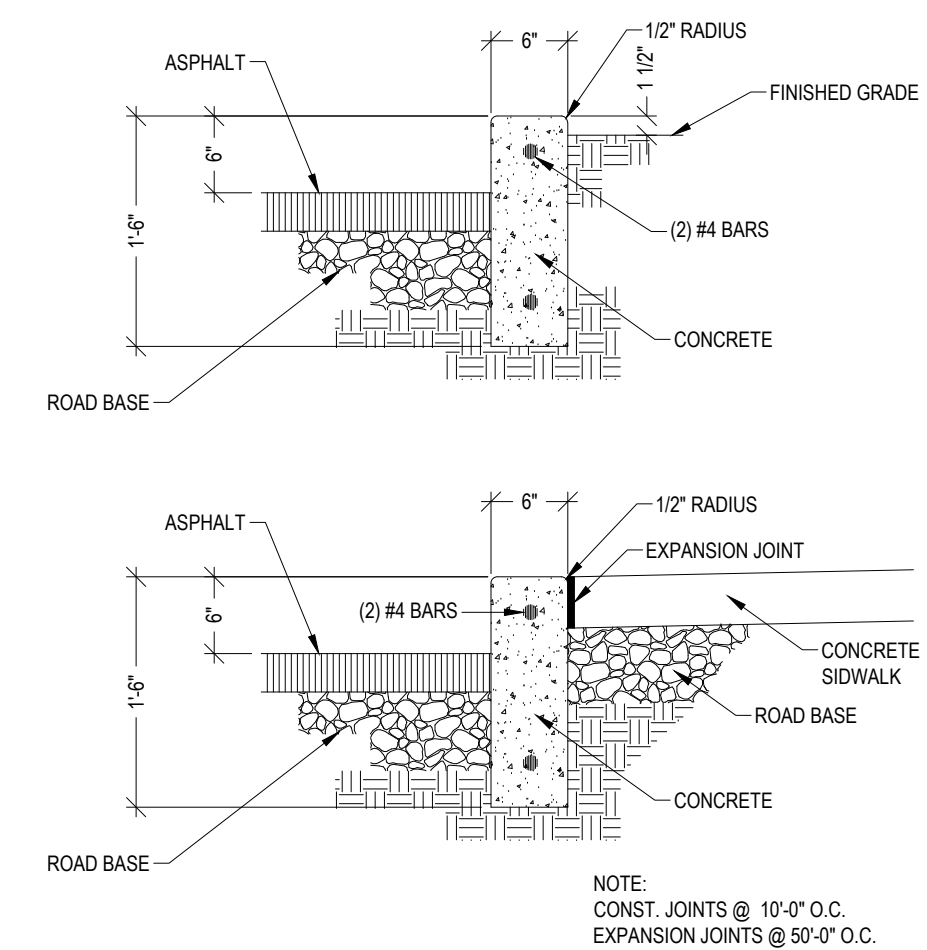
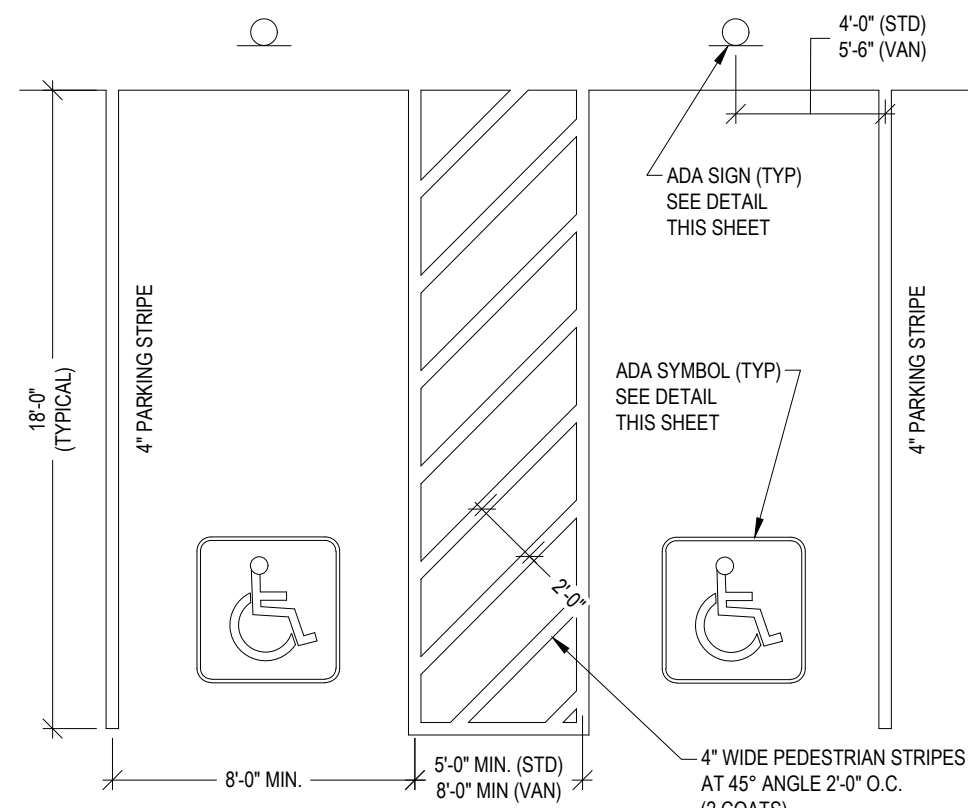
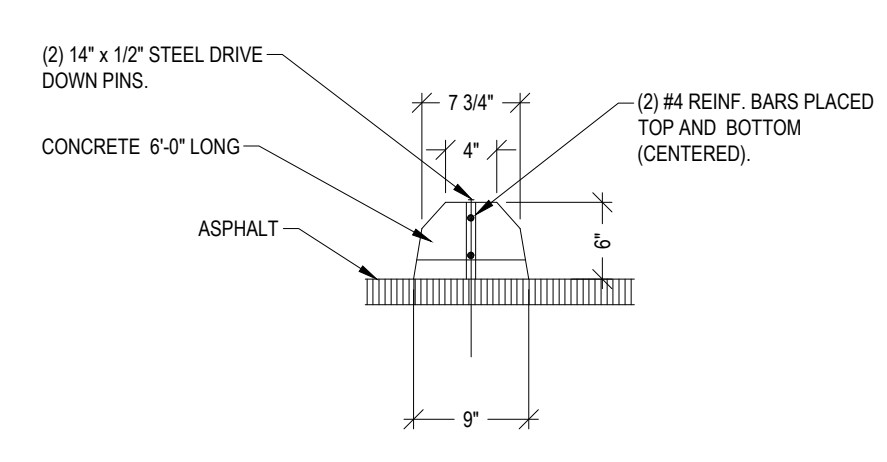
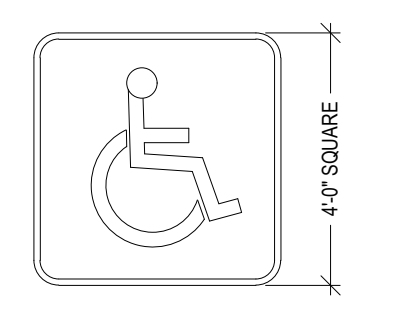
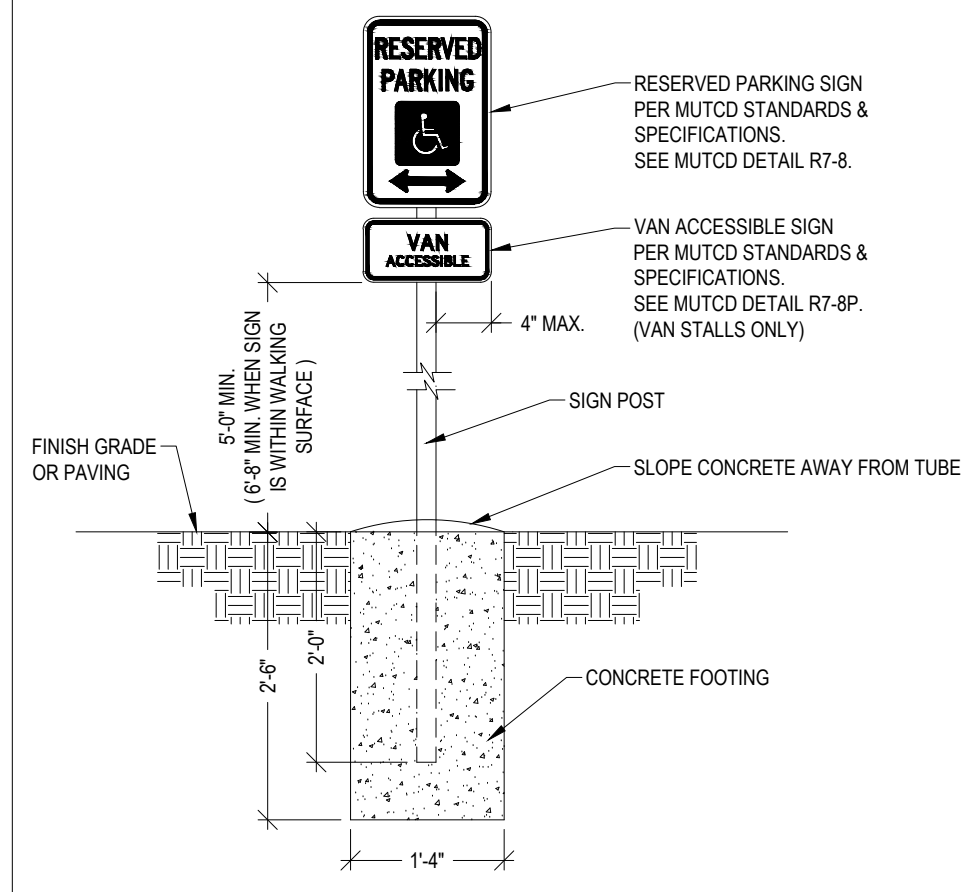
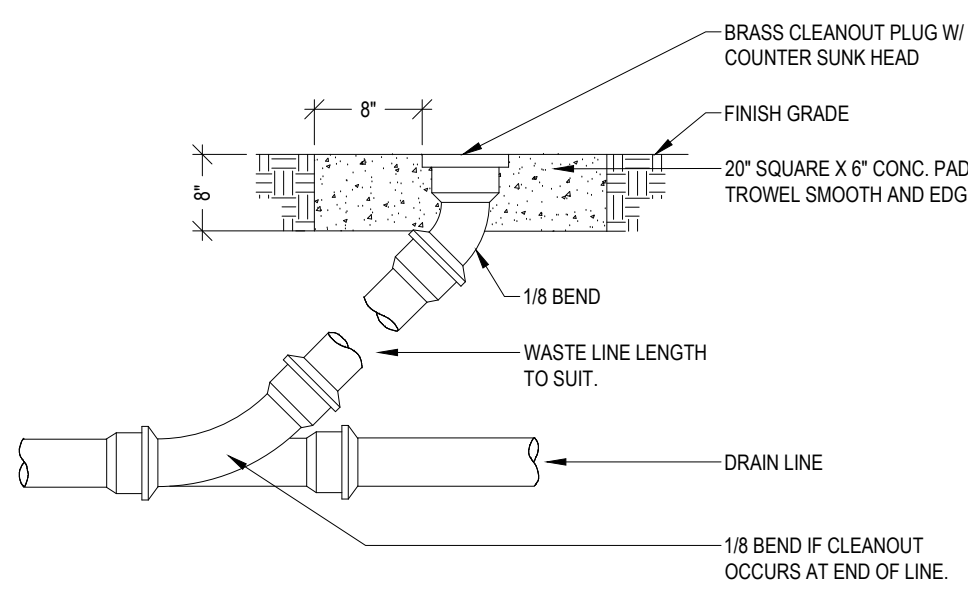


**STANDARD GRATE**  
APPROX. DRAIN AREA = 60 SQ. IN.  
APPROX. WEIGHT WITH FRAME = 40.88 LBS.

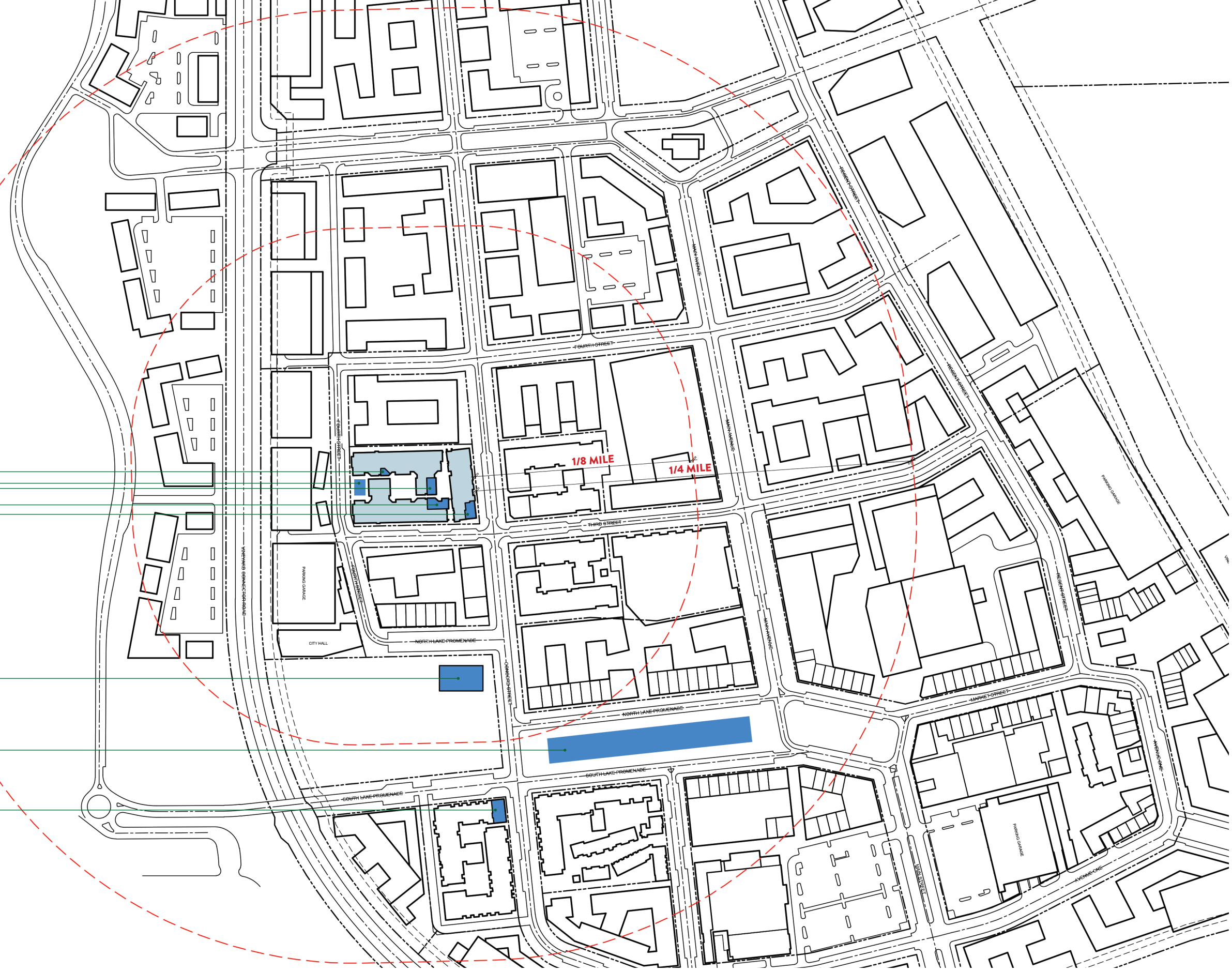
**PEDESTRIAN GRATE**  
APPROX. DRAIN AREA = 50 SQ. IN.  
APPROX. WEIGHT WITH FRAME = 35.94 LBS.



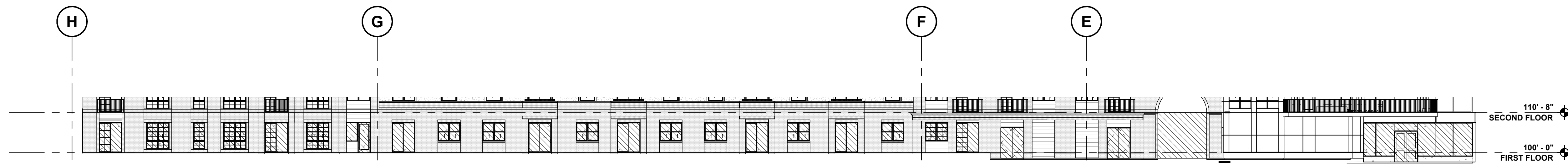
**DRAIN BASIN / INLINE DRAIN DETAIL**  
SCALE: N.T.S. A5



- SECURED BICYCLE STORAGE
- POCKET PARK
- COMMUNITY GATHERING AREA
- FITNESS CENTER
- COMMUNITY GATHERING AREA
  
- SWIMMING POOL & HOT TUB
  
- SPORT COURTS
  
- FITNESS CENTER



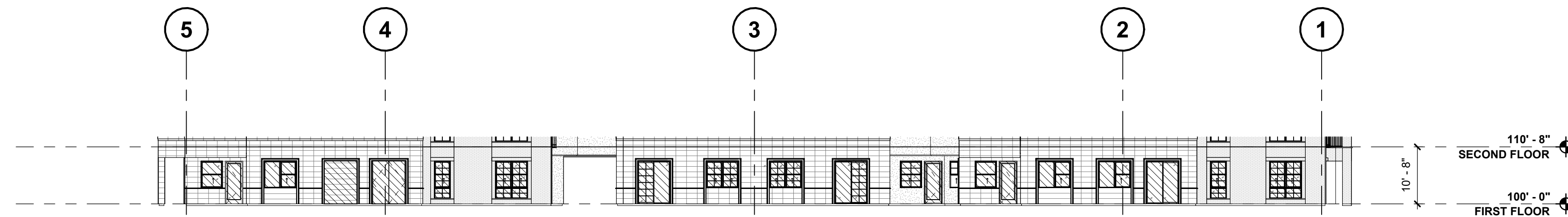




LEVEL 1  
 DOOR = 148  
 SLIDING DOOR = 417  
 WINDOW = 404  
 STOREFRONT = 217  
 PASEO = 158  
 TOTAL = 1344  
 WALL AREA = 4257

**01 SOUTH ELEVATION - LEVEL 1**

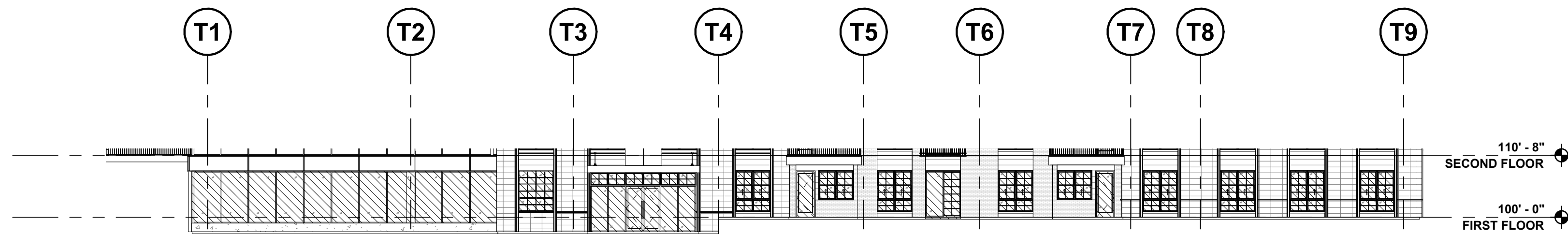
SCALE: 1/16" = 1'-0" REF:



LEVEL 1  
 DOOR = 130  
 SLIDING DOOR = 145  
 WINDOW = 340  
 STOREFRONT = 0  
 TOTAL = 615  
 WALL AREA = 2228

**02 WEST ELEVATION - LEVEL 1**

SCALE: 1/16" = 1'-0" REF:



LEVEL 1  
 DOOR = 47  
 SLIDING DOOR = 48  
 WINDOW = 440  
 STOREFRONT = 609  
 TOTAL = 1144  
 WALL AREA = 2496

**03 EAST ELEVATION - LEVEL 1**

SCALE: 1/16" = 1'-0" REF:

**LEGEND**



TRANSPARENCY TABLE			
ELEVATION (STREET FACING ONLY)	OPENING AREA	WALL AREA	PERCENTAGE
SOUTH	1344	4257	32%
WEST	615	2228	28%
EAST	1144	2496	48%
TOTAL	3103	8981	35%



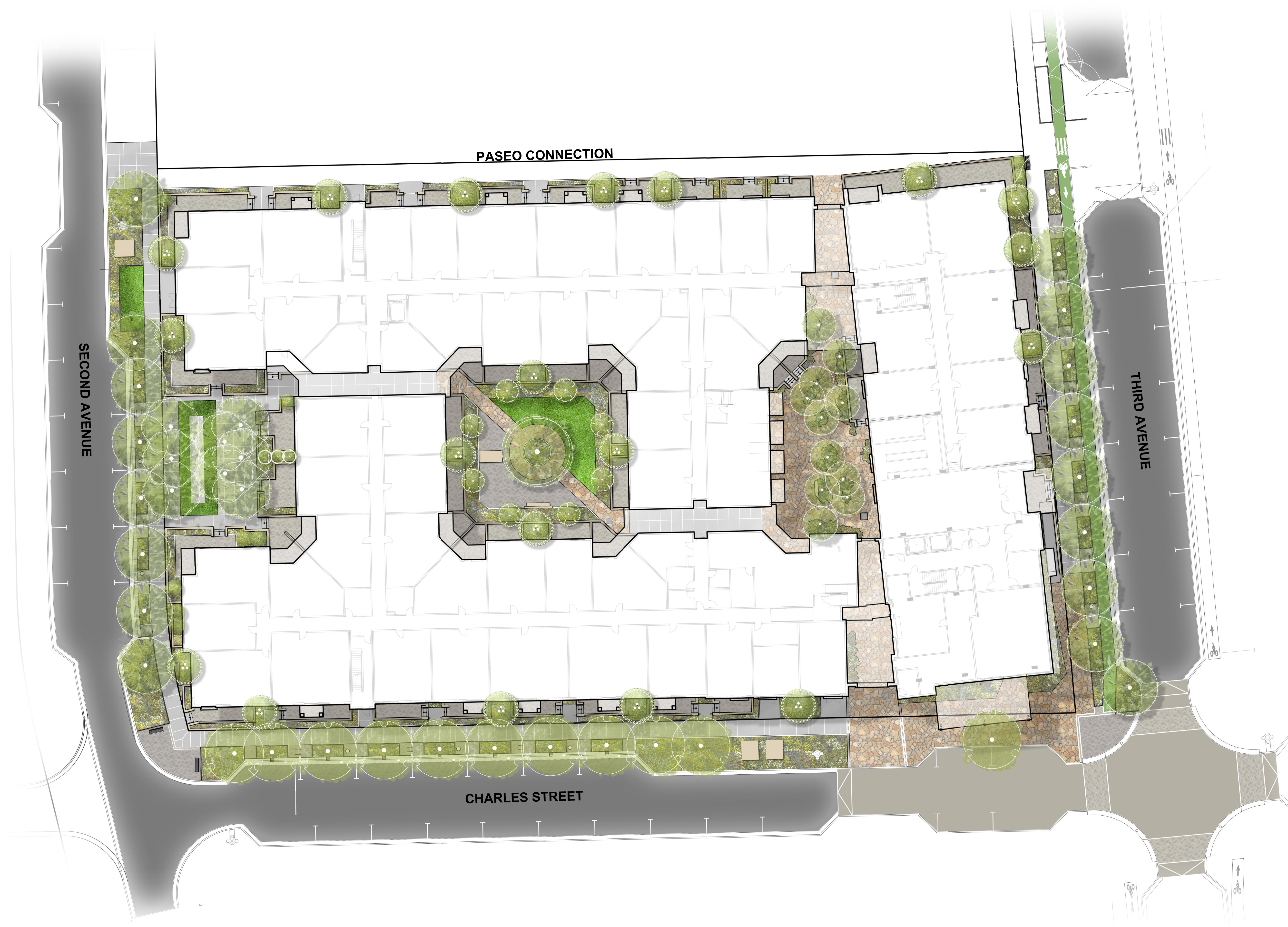
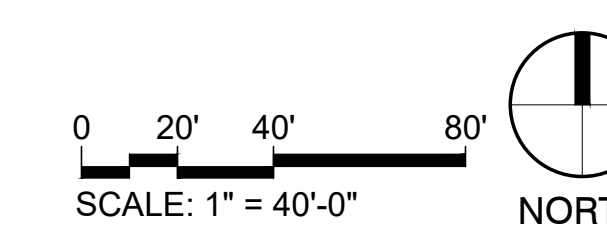
BLOCK 13B

PASEO CONNECTION

BLOCK 14D

BLOCK 08A

BLOCK 10

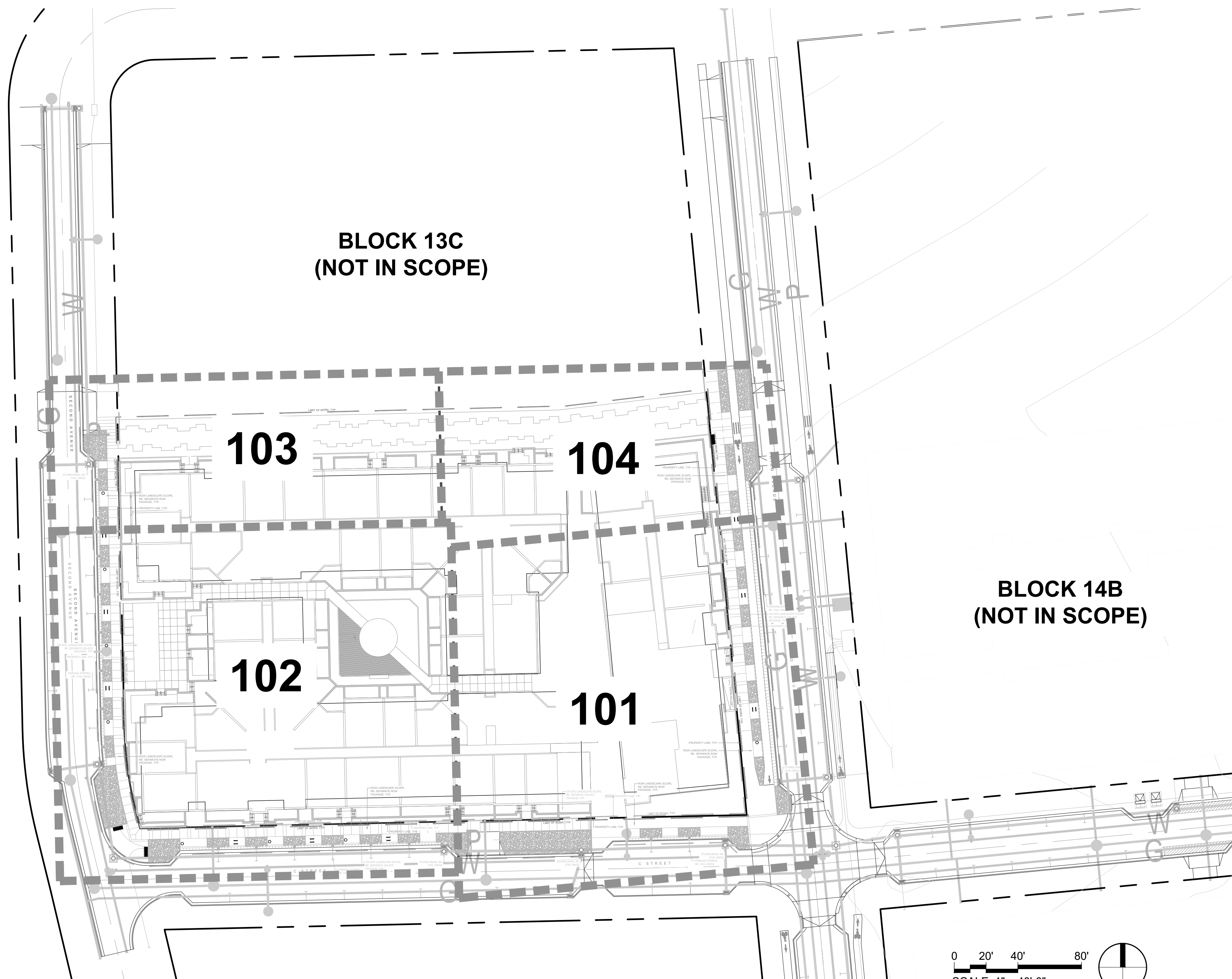




# VINEYARD MULTIFAMILY BLOCK 13B - ON SITE

50% DESIGN DEVELOPMENT

SHEET KEY PLAN:



## LAYOUT NOTES

- VERIFY EXISTING SITE INFORMATION INCLUDING, BUT NOT LIMITED TO STREET GRADES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS TAKEN FROM THE CIVIL ENGINEER'S DRAWINGS.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
- TAKE ALL DIMENSIONS FROM BACK OF CURB, FACE OF WALL OR BUILDING, AND CENTERLINE OF TREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS CALLED OUT AS 'EQUAL' OR 'EQ' ARE EQUIDISTANT MEASUREMENTS.
- WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSIONS. DO NOT SCALE DRAWINGS, IF THERE IS A QUESTION REGARDING DIMENSIONS, CONTACT DIG STUDIO FOR VERIFICATION.
- ALL ANGLES TO MATCH THOSE NOTED ON DRAWING AND ALL LINES OF PAVING TO BE PARALLEL UNLESS OTHERWISE NOTED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON DRAWINGS.
- REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- CONCRETE SLABS OR FOOTINGS SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS AND FOOTINGS WHERE SHOWN ON THE PLAN.
- PROVIDE EXPANSION JOINTS IN CONCRETE PAVING A MAXIMUM DISTANCE OF 30' ON CENTER, EACH WAY, AND AT ALL INTERSECTIONS, WHERE NEW CONCRETE ABUTS EXISTING CONCRETE PAVING, BUILDINGS, CURBS, WALLS, AND COLUMNS UNLESS OTHERWISE NOTED.
- PROVIDE CONTROL JOINTS EVENLY SPACED BETWEEN EXPANSION JOINTS AS SHOWN ON DRAWINGS, EXCEPT WHERE SPECIAL SCORE JOINT PATTERN IS SPECIFIED.
- SLEEVES AND CONDUITS SHALL BE INSTALLED A MINIMUM OF 18 INCHES BELOW FINISHED GRADE AND SHALL EXTEND 12 INCHES BEYOND BACK OF CURBS, WALLS, AND PAVING.
- COORDINATE AND FIELD VERIFY ALL SLEEVING LOCATIONS FOR ALL UTILITY, ELECTRICAL, AND IRRIGATION PRIOR TO CONSTRUCTION.
- PROPOSED TREES IN THE RIGHT-OF-WAY SHALL BE PRE-APPROVED BY THE CITY FORESTER'S OFFICE, OUTSIDE OF 3' CORNER SIGHT TRIANGLES AND 10' FROM EDGE OF DRIVEWAYS, ALLEYS AND HYDRANTS.

## GRADING NOTES

- EMPLOY A LICENSED SURVEYOR TO ESTABLISH ALL GRADE AND WORK LINES. HAVE LANDSCAPE ARCHITECT REVIEW GRADE STAKES PRIOR TO FINAL GRADING.
- ALL PROPOSED GRADES SHALL MEET AND BLEND WITH EXISTING GRADES AT PROJECT LIMITS AND AT CURBS SIDEWALKS AND ROADWAYS. EXISTING ELEVATIONS INDICATED ON PLANS SHALL BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- EROSION CONTROL - SEE CIVIL ENGINEERING DRAWINGS FOR CONTRACTOR RESPONSIBILITIES, MEANS, AND METHODS.
- CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION WHEN IT BECOMES EVIDENT THAT UNFORESEEN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR DECISION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- ALL LANDSCAPE GRADES ARE BASED UPON ELEVATIONS SHOWN ON THE CIVIL ENGINEER'S DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH ALL GRADING OPERATIONS.
- MAINTAIN POSITIVE DRAINAGE, UNLESS SPECIFICALLY DESIGNED FOR PONDING, AT ALL TIMES. MINIMUM 2% SLOPE IN PLANTED AREAS.
- ALL WALKS SHALL HAVE A MAXIMUM 2% CROSS SLOPE TO ENSURE POSITIVE DRAINAGE OFF OF TRAVELED SURFACE.
- MAXIMUM SLOPES ON WALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL, WITHOUT A HANDRAIL.
- SUBSURFACE DRAINAGE LINES SHALL BE PLACED WITH A MINIMUM OF 12" COVER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING INVERT ELEVATIONS AT ALL DRAINS AND PIPE DEPTHS TO ENSURE POSITIVE DRAINAGE AT THE SLOPE INDICATED TO THE OUTLET SHOWN ON THE PLANS.
- NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR ACTUAL OR CLAIMED DISCREPANCY BETWEEN EXISTING GRADE AND THOSE SHOWN ON PLANS AFTER CONTRACTOR HAS ACCEPTED EXISTING GRADES AND MOVED ONTO SITE.

## TEAM INFORMATION:

OWNER/DEVELOPER:  
WOODBURY CORPORATION  
2733 E PARLEYS WAY  
SUITE 300  
SALT LAKE CITY, UT 84109  
801-485-7770  
CONTACT: MACK WOODBURY

FLAGSHIP HOMES  
3005 1350 E S 2ND FL  
LEHI, UT 84043  
801-485-7770  
CONTACT: NATE HUTCHINSON

ARCHITECT:  
NELSEN PARTNERS, INC.  
905 CONGRESS AVENUE  
AUSTIN, TX 78701  
512-457-8400  
CONTACT: MATTHEW BEATON

LANDSCAPE ARCHITECT:  
DIG STUDIO INC.  
3003 N. CENTRAL AVE., SUITE 800  
PHOENIX, AZ 85012  
602-595-4101  
CONTACT: LAUREN JARRETT

CIVIL & STRUCTURAL ENGINEER:  
MCNEIL ENGINEERING  
8610 SANDY PARKWAY, SUITE 200  
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801-23-5151  
CONTACT:  
MECH: RYAN BOOGAARD  
ELECTRICAL: SPENCER C. LITTLE

## ABBREVIATIONS

ALT	ALTERNATE	LOW	LIMIT OF WORK
APPROX	APPROXIMATE	LP	LOW POINT
ARCH	ARCHITECT (URAL)	MAX	MAXIMUM
AD	AREA DRAIN	MECH	MECHANICAL
ASPH	ASPHALT	MEMB	MEMBRANE
BTWN	BETWEEN	MTL	METAL
BC	BOTTOM OF CURB	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BOC	BACK OF CURB	MSRY	MASONRY
BR	BOTTOM OF RAMP	NIC	NOT IN CONTRACT
BS	BOTTOM OF STEPS	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	OC	ON CENTER(S)
CIP	CAST IN PLACE	PA	PLANTING AREA
CIR	CIRCLE	PED	PEDESTRIAN
CJ	CONTROL JOINT	PG	PROPOSED GRADE
CLR	CLEAR	PIP	POUR IN PLACE
CL	CENTER LINE	PL	PROPERTY LINE
CONC	CONCRETE	PT	POINT OF TANGENCY
CONST	CONSTRUCTION	PVMY	PAVEMENT
CONT	CONTINUOUS	QTY	QUANTITY
CP	CENTER POINT	R	RADIUS
CTR	CONTRACTOR	RIM	RIM ELEVATION
DEMO	DEMOLISH, DEMOLITION	REF	REFER(ENCE)
DI	DRAIN INLET	REQD	REQUIRED
DIA	DIAMETER	ROW	RIGHT OF WAY
DIM	DIMENSION	SCHED	SCHEDULED
DTL	DETAIL	SF	SQUARE FEET
DWG	DRAWING(S)	SHT	SHEET
EA	EACH	SIM	SIMILAR
EG	EXISTING GRADE	SPEC(S)	SPECIFICATION(S)
ELEC	ELECTRICAL		SPECIFIED
ELEV	ELEVATION	STA	STATION
EJ	EXPANSION JOINT	STD	STANDARD
EQ	EQUAL	SQ	SQUARE
EWf	ENGINEERED WOOD FIBER	SS	STAINLESS STEEL
EXIST	EXISTING	STD	STANDARD
FOC	FACE OF CURB	STL	STEEL
FFE	FINISH FLOOR ELEVATION	TC	TOP OF CURB
FG	FINISH GRADE	TF	TOP OF FENCE
FL	FLOW LINE	TG	TOP OF GRATE
FOW	FACE OF WALL	TP	TANGENT POINT
FS	FINISH SURFACE	TR	TOP OF RAMP
GB	GRADE BREAK	TW	TOP OF WALL
GALV	GALVANIZED	THK	THICK(NESS)
HB	HOSE BIB	VERT	VERTICAL
HT	HEIGHT	VOL	VOLUME
HORIZ	HORIZONTAL	WWF	WELDED WIRE FABRIC
HP	HIGH POINT	WWM	WELDED WIRE MESH
IN	INCHES	W	WITH
INCL	INCLUDE(S), (D), (ING)	W/O	WITHOUT
INV	INVERT OF PIPE	WYP	W/OUT
L	LENGTH, LONG		TYPICAL

## ABBREVIATION SYMBOLS

∠	ANGLE
⊕	CENTERLINE
∅	DIAMETER
°	DEGREES
±	PLUS/MINUS

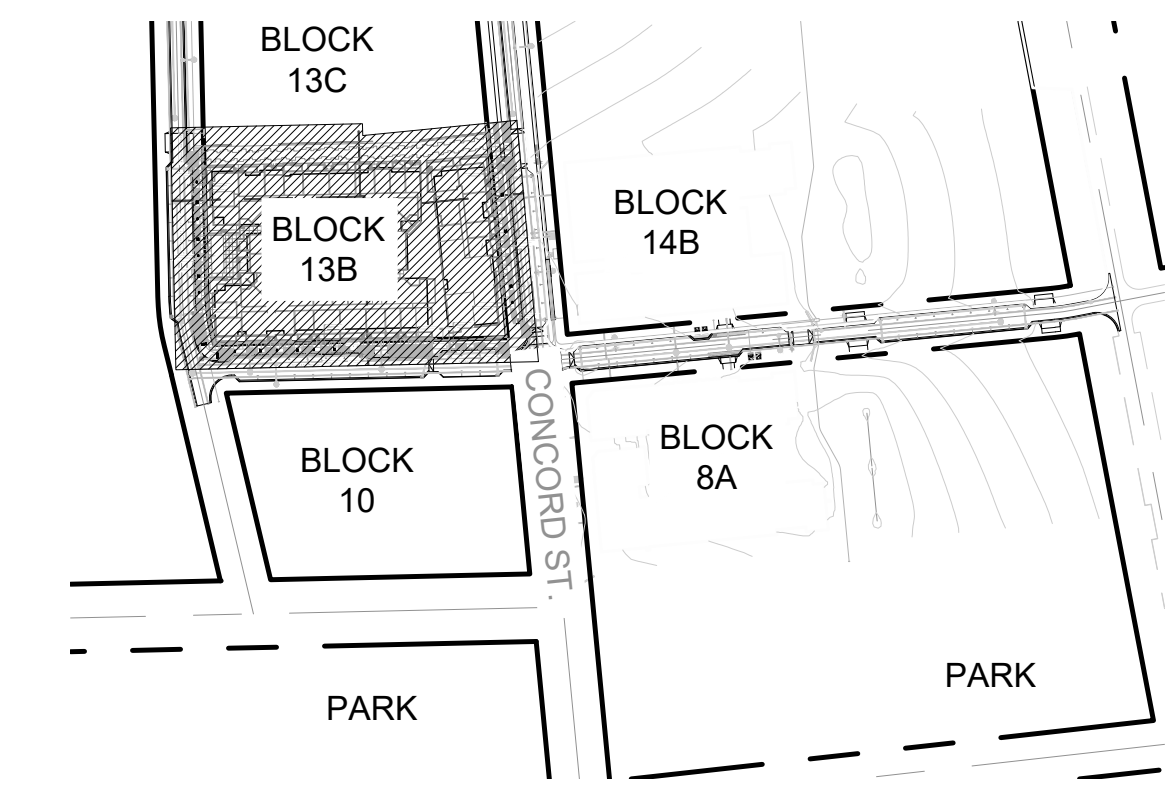
## ADDITIONAL LANDSCAPE NOTE

- ROOT BARRIERS SHALL BE INSTALLED AT ALL TREE PLANTINGS WITHIN 10 FEET OF WATER LINES.

## MAINTENANCE RESPONSIBILITY

ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN PUBLIC RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS SHALL BE THE RESPONSIBILITY OF THE OWNER.

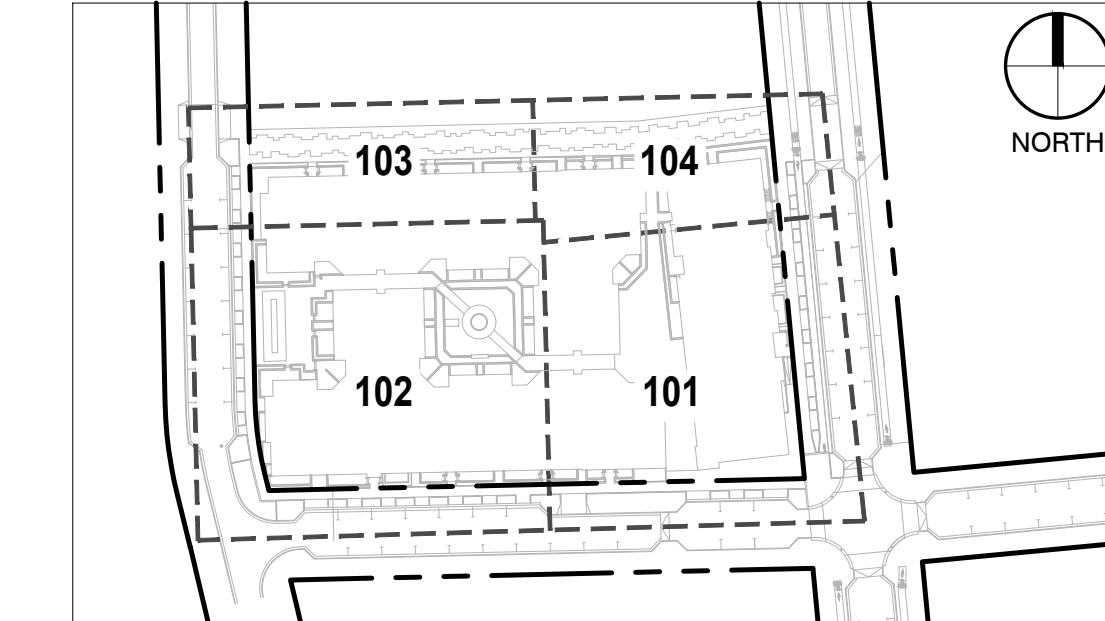
## VICINITY MAP



## SHEET INDEX

DESCRIPTION	NO.
LANDSCAPE COVER SHEET	LC100
MATERIALS SCHEDULE	LM100
MATERIALS PLAN	LM101
MATERIALS PLAN	LM102
MATERIALS PLAN	LM103
MATERIALS PLAN	LM104
PERSPECTIVE IMAGES	LS301
PLANTING SCHEDULE	LP100
PLANTING PLAN	LP101
PLANTING PLAN	LP102
PLANTING PLAN	LP103
PLANTING PLAN	LP104

## KEY MAP



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FLAGBOROUGH  
VINEYARD, UTAH

Date  
05/07/2024  
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Project No.  
24005

LANDSCAPE  
COVER SHEET  
**LC100**



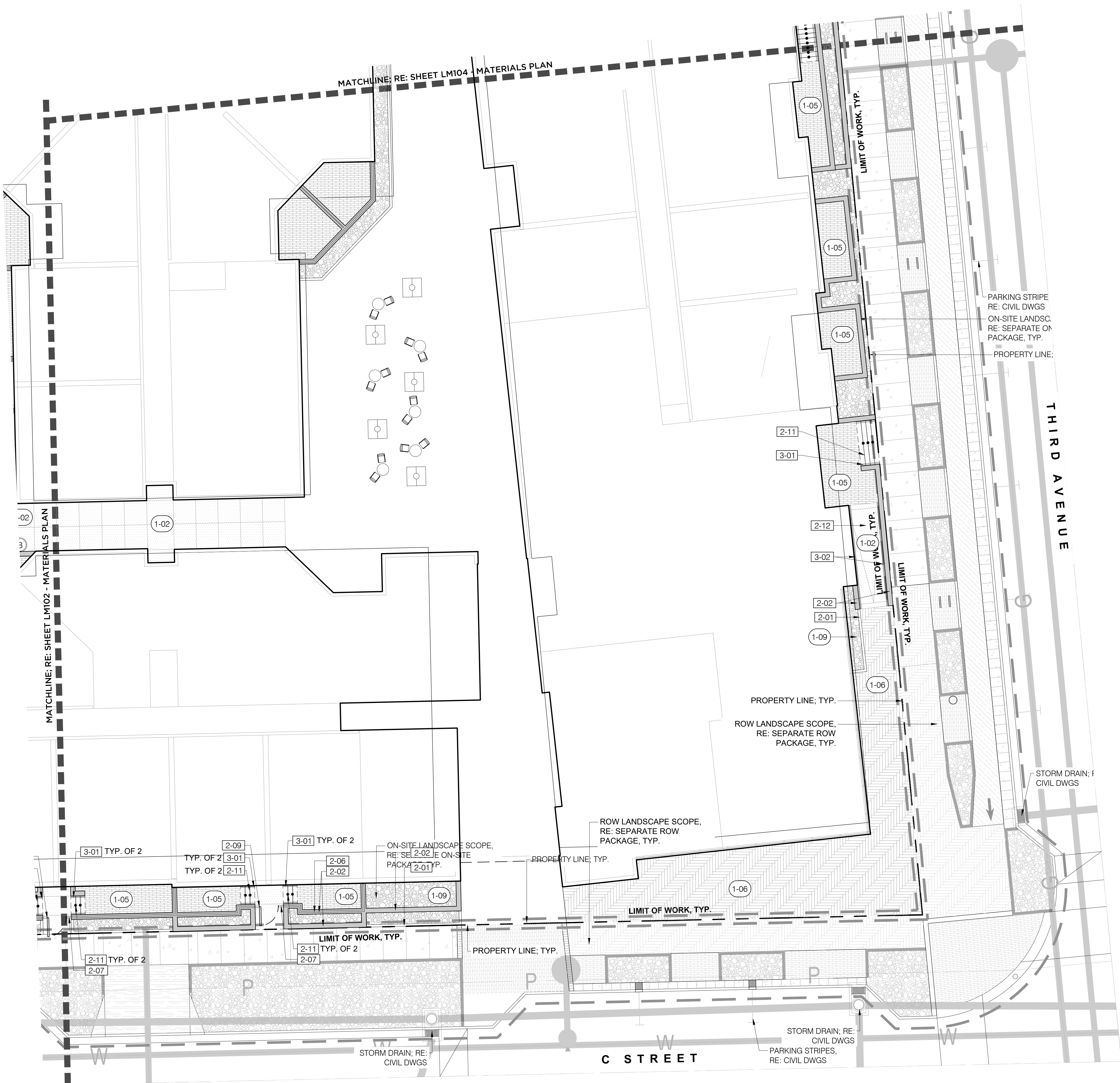
**REFERENCE NOTES SCHEDULE**

1 - PAVING & SURFACING											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	THICKNESS	SUBMITTAL	SHOP DRAWING	MOCK-UP
1-02	CONCRETE PAVING TYPE B (PEDESTRIAN)	4,259 SF	/	DAYTON PRODUCTS / DAVIS COLORS	TOP CAST 25	EXPOSED AGGREGATE	SAN DIEGO BUFF	PER DETAIL	X		X
1-04	PRECAST CONC. PAVER TYPE A (PEDESTRIAN)	812 SF	/	ACKERSTONE	4X16 RUNNING BOND	SMOOTH, MICRO CHAMFER	STANDFORD SAND	8 CM	X		X
1-05	PRECAST CONC. PAVER TYPE B (PEDESTRIAN)	7,523 SF	/	ACKERSTONE	4X16 RUNNING BOND	SMOOTH, MICRO CHAMFER	MESA BIEGE	8 CM	X		X
1-06	PRECAST CONC. PAVER TYPE C (PEDESTRIAN)	1,481 SF	/	ACKERSTONE	3X18 HERRINGBONE	33% SHOTBLAST, 33% SMOOTH, 33% SHOTBLAST AND GRIND	LIGHT SLATE	8 CM	X		
1-08	NATURAL STONE PAVER TYPE A (PEDESTRIAN)	734 SF	/	DELTA STONE	4'X4' STACKED BOND SANDSTONE PAVERS	SANDBLAST	MOUNTAIN VALLEY NATURAL	8 CM	X		X
1-09	1'-3" DECORATIVE ROCK MULCH	4,865 SF		BLACK BUTTE MINING	DECORATIVE ROCK MULCH	WASHED AND RAKED	HONEYCOMB	1" - 3"	X		X
1-10	3/8"-3/4" DECORATIVE ROCK MULCH	201 SF		BLACK BUTTE MINING	DECORATIVE ROCK MULCH	WASHED AND RAKED	HONEYCOMB	3/8"-3/4"	X		X
1-12	SYNTHETIC TURF (STANDARD)	807 SF		SYNLAWN	PLAY PREMIUM - 80 OZ.		FIELD GREEN / LIME & TURF GREEN	1-1/2"	X		
1-13	SYNTHETIC TURF (PLAY)	787 SF									
2 - WALLS & FENCES											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	HEIGHT	SUBMITTAL	SHOP DRAWING	MOCK-UP
2-01	CURB TYPE 1	898 LF		DAYTON SUPERIOR	TOP CAST 05 BLUE	ACID ETCH	NATURAL GREY	RE: DTL	X		X
2-02	WALL TYPE 1 (PATIO) FINISH TO MATCH ARCH	1,868 LF						RE: DTL	X		X
2-05	PATIO FENCE TYPE 1	163 LF						18"	X	X	
2-06	PATIO FENCE TYPE 2	609 LF						24"	X	X	
2-07	PATIO FENCE TYPE 3	15 LF						36"	X	X	
2-08	PATIO PRIVACY SCREEN	54 LF									
2-09	PATIO FENCE GATE	8						4'	X	X	
2-11	CIP CONCRETE STEPS TYPE 1	259 LF									
2-12	CIP CONCRETE RAMP	20 LF									
3 - METALS											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	SIZE	SUBMITTAL	SHOP DRAWING	MOCK-UP
3-01	HANDRAIL (STAIRS)	228 LF				STAINLESS STEEL			X	X	
3-02	HANDRAIL (RAMP)	44 LF									
5 - FURNISHINGS											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	SIZE	SUBMITTAL	SHOP DRAWING	SAMPLE
5-01	TREE GRATE	13									
5-02	WALHOLLA SCULPTURAL PLAY STRUCTURE	1		GORIC	WALLHOLLA				X	X	
5-03	CHAIR TYPE A	34		LANDSCAPE FORMS	PARC CENTRE		METALIC BRONZE		X		
5-04	TABLE TYPE A	17		LANDSCAPE FORMS	PARC CENTRE; 30" ROUND		METALIC BRONZE		X		
5-06	PLANTER POT TYPE A	8		ATELIER VIERKANT	OF		WHITE	OF70	X		
5-07	PLANTER POT TYPE B	13		ATELIER VIERKANT	OF		WHITE	OF80	X		
5-08	PLANTER POT TYPE C	5		ATELIER VIERKANT	OF		WHITE	OF90	X		
5-09	LOUNGE SEATING TYPE A	1		DEDON	TIBBO 3-SEAT		WARM GRAY		X		
5-10	LOUNGE SEATING TYPE B	2		DEDON	TIBBO LOUNGE CHAIR XL		WARM GRAY		X		
5-11	COFFEE TABLE	1		DEDON	TIBBO COFFEE TABLE L				X		



**REFERENCE NOTES SCHEDULE**

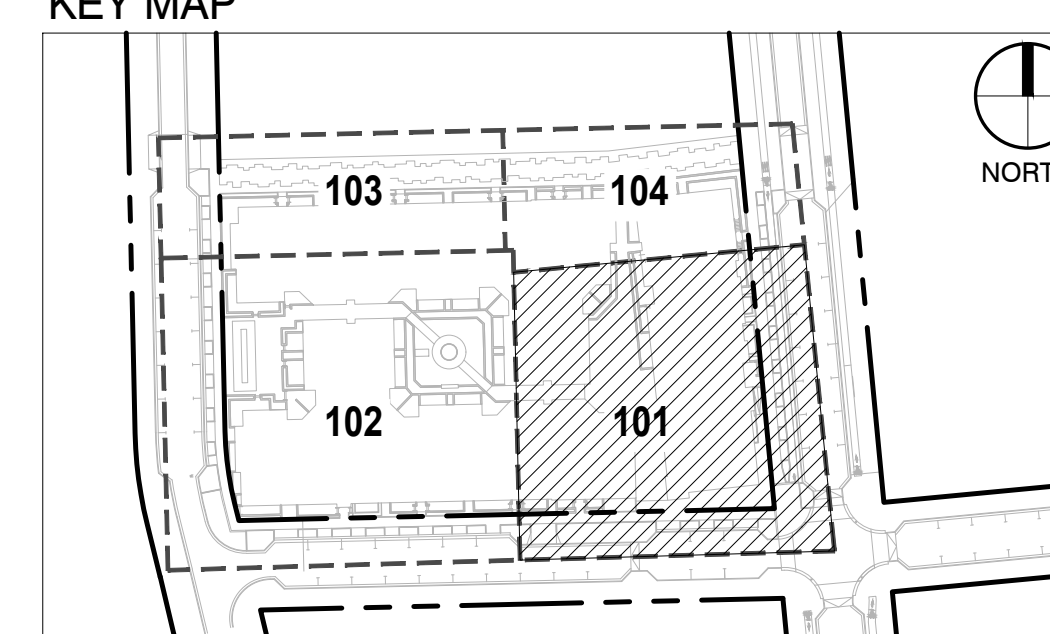
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CODE	DESCRIPTION	DETAIL
3-01	HANDRAIL (STAIRS)	
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5-10	LOUNGE SEATING TYPE B	
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**LAYOUT LEGEND**

SYMBOL	DESCRIPTION
---	LIMIT OF WORK
- - - -	EXPANSION JOINT
---	CONTROL JOINT
⚡	EV CHARGING
□	POLE LIGHT (DUAL)
○	POLE LIGHT (SINGLE)
●	BOLLARD
⊗	STORM DRAIN
⊕	FIRE HYDRANT

**KEY MAP**



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Project No.  
24005

**MATERIALS PLAN**  
**LM101**

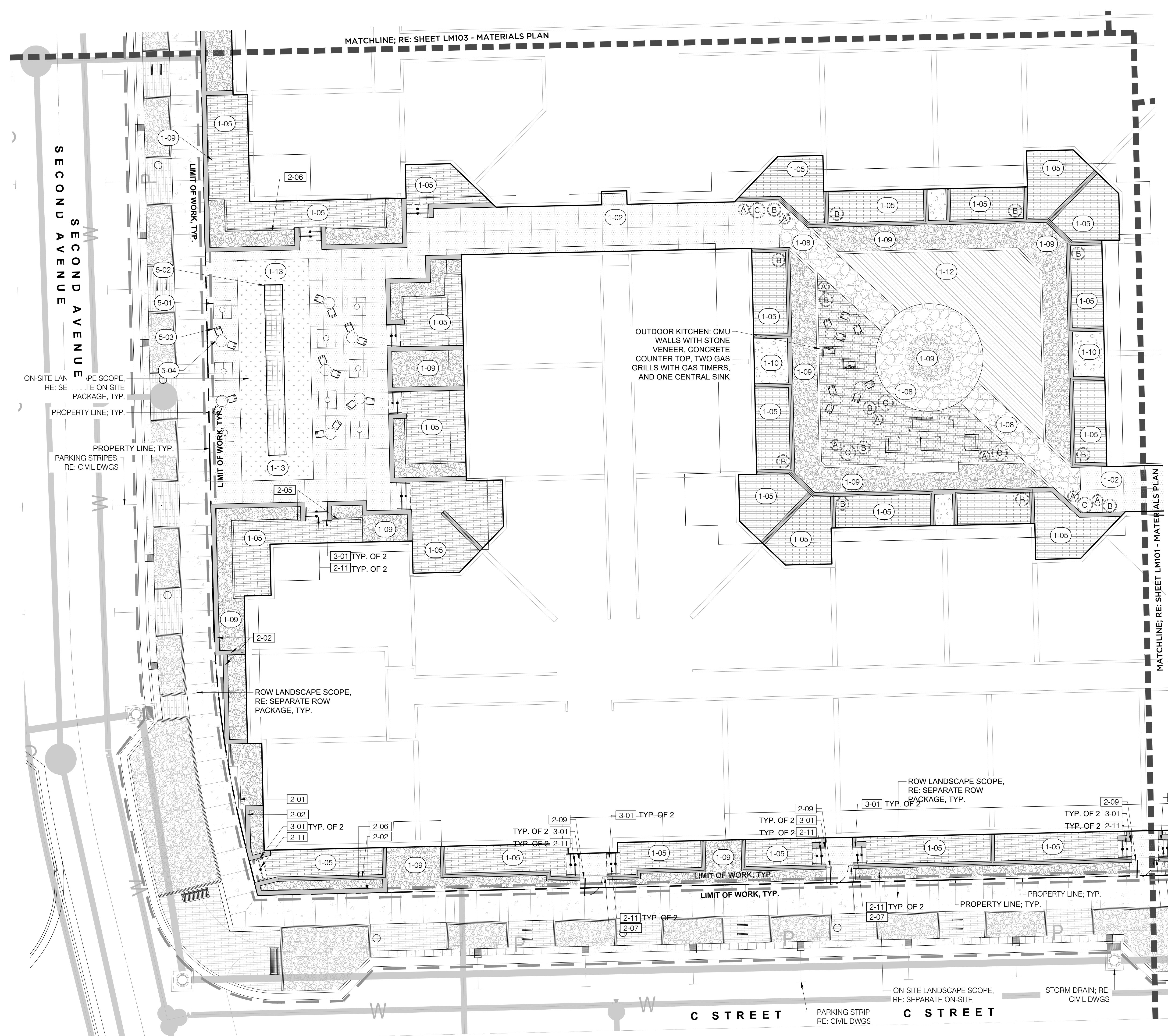
**1 MATERIALS PLAN**  
ViewportScale





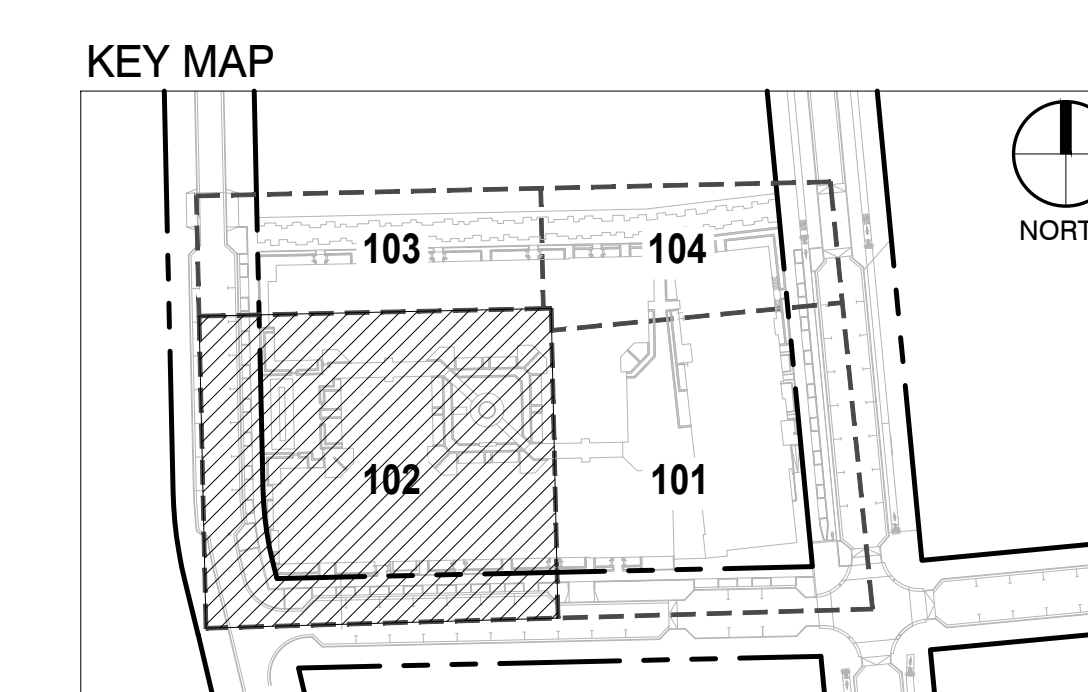
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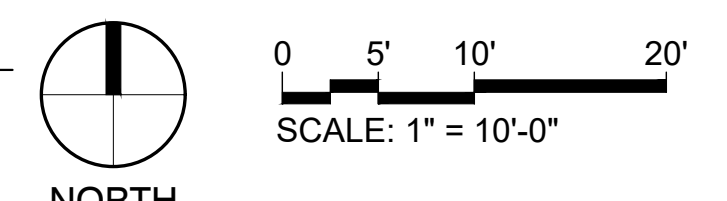
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**MATERIALS PLAN**  
**LM102**

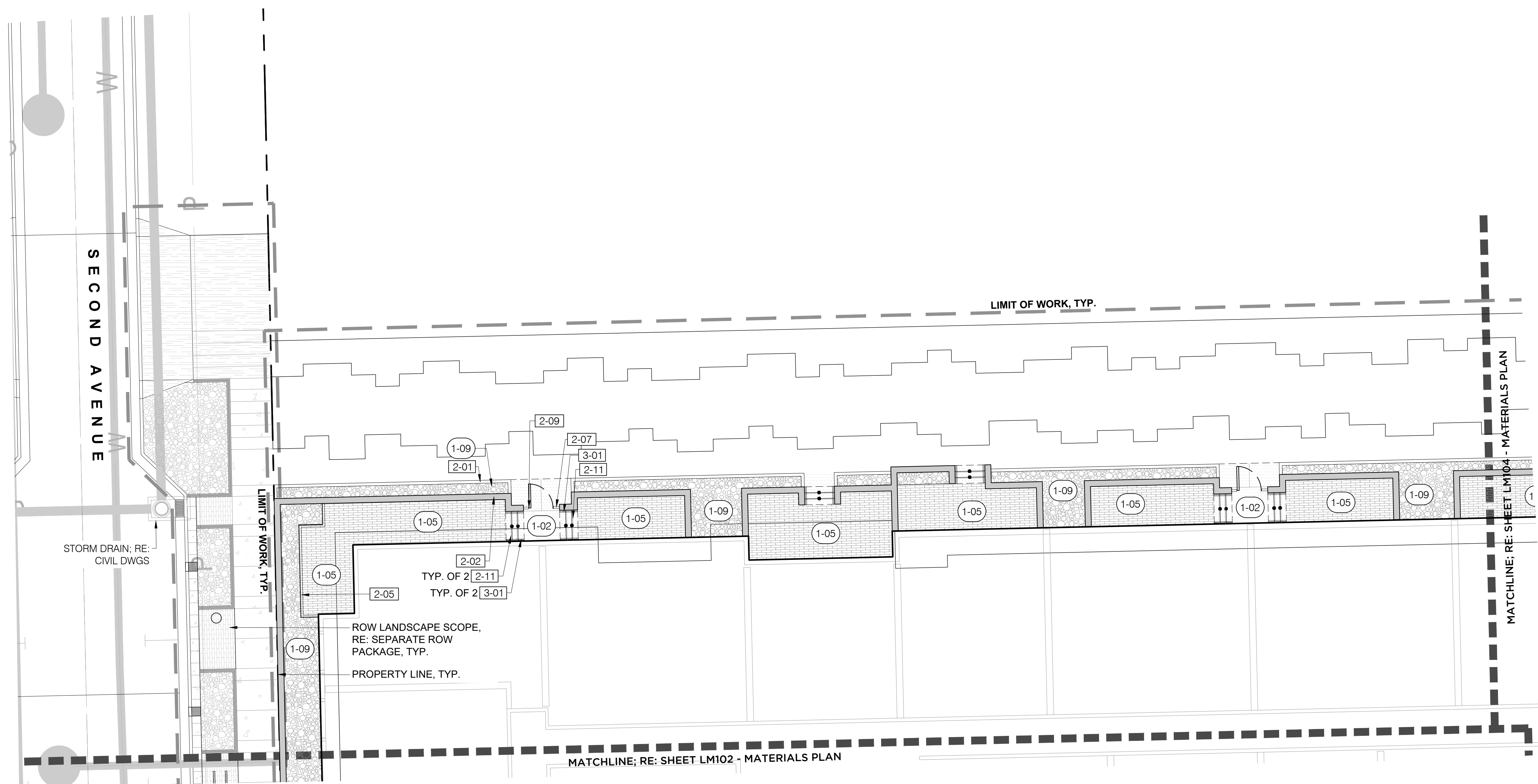
**1 MATERIALS PLAN**  
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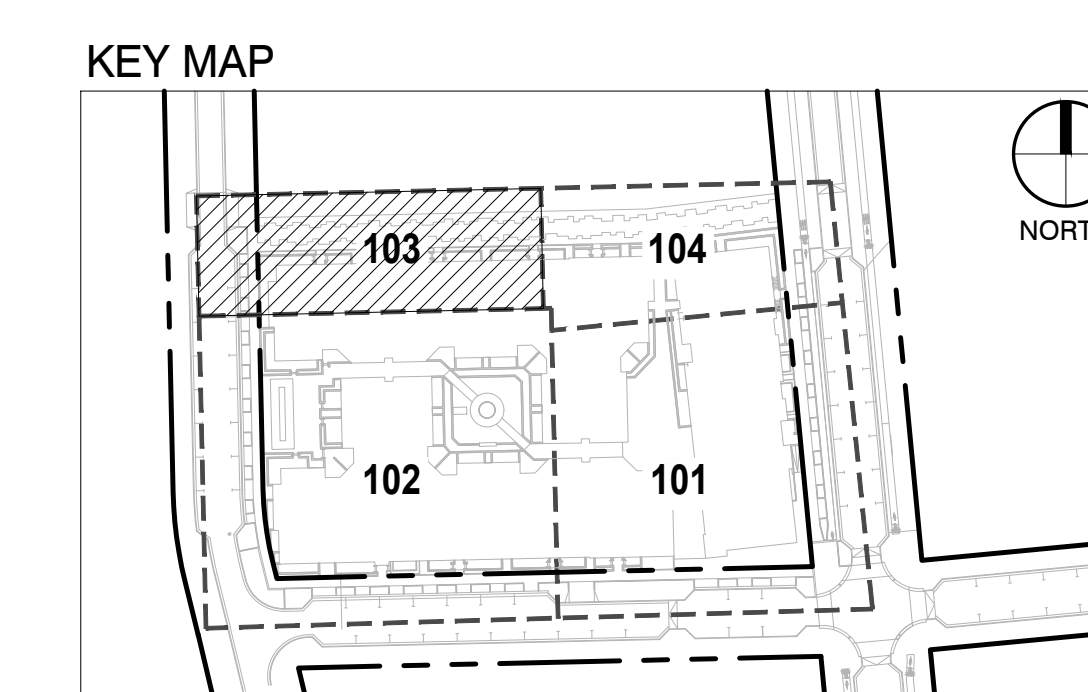
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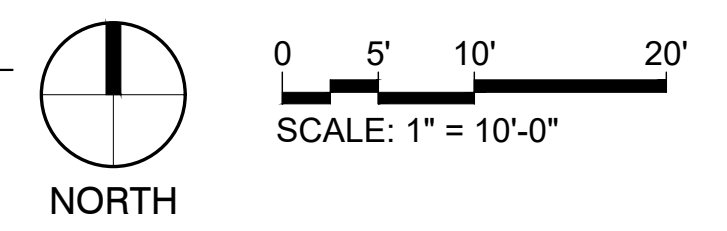


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**1 MATERIALS PLAN**  
ViewportScale

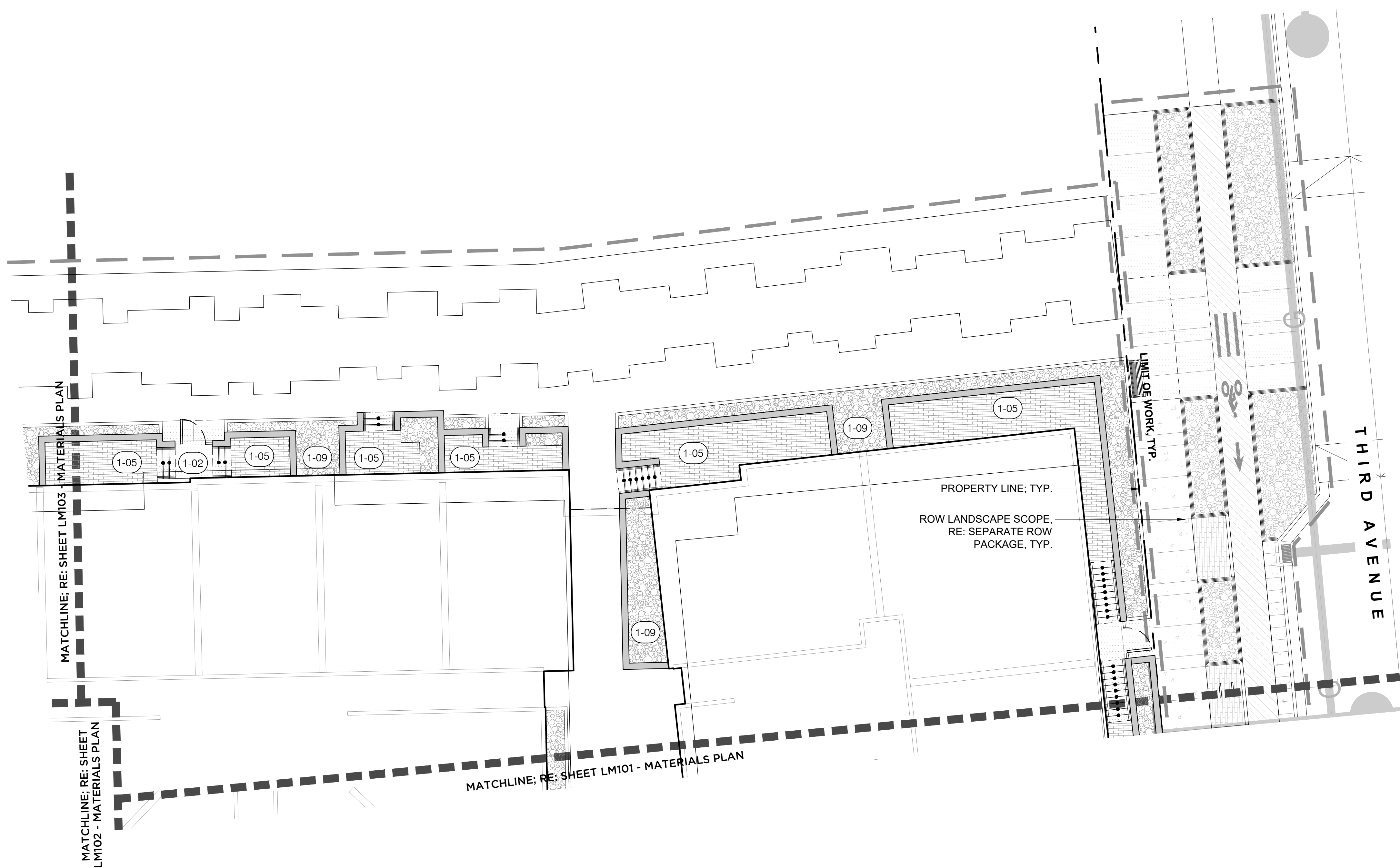


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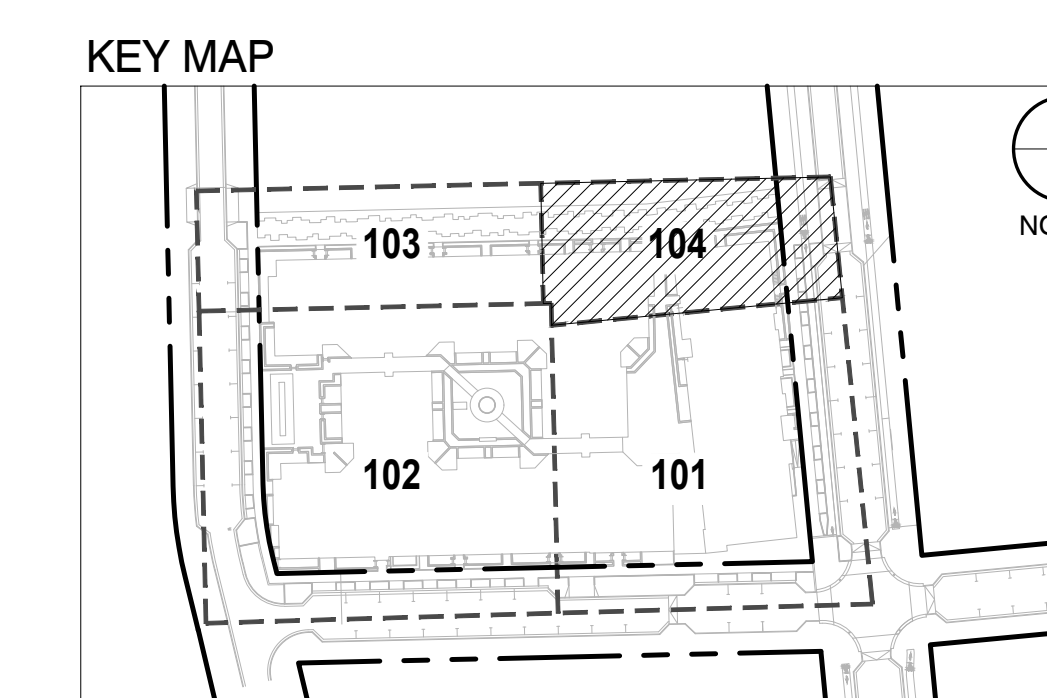
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**1 MATERIALS PLAN**  
ViewportScale



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**MATERIALS PLAN**  
**LM104**



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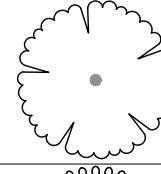
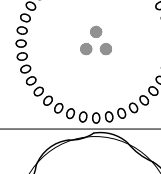
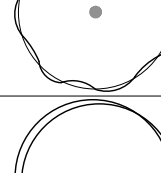
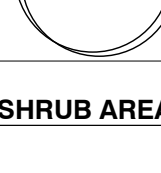
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Project No.  
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**PLANTING  
SCHEDULE  
LP100**

PLANT SCHEDULE				
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
<b>TREES</b>				
	CAR LCS	8	CARPINUS BETULUS 'LUCAS' LUCAS EUROPEAN HORNBEAM	24" BOX
	CER HEA	12	CERCIS CANADENSIS 'HEARTS OF GOLD' HEARTS OF GOLD EASTERN REDBUD	10' HT. B&B
	GLE INE	13	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' SKYLINE® HONEY LOCUST	2.5" CAL
	SS	1	SALVAGED SPECIMEN TREE SALVAGED SPECIMEN TREE	96" BOX
<b>SHRUB AREAS</b>				
	SHR B13	5,151 SF	SHRUBS B13	VARIES



PLANT LEGEND			
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<b>TREES</b>			
	CAR LCS	CARPINUS BETULUS 'LUCAS' LUCAS EUROPEAN HORNBEAM	24" BOX
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	GLE INE	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' SKYLINE® HONEY LOCUST	2.5' CAL
	SS	SALVAGED SPECIMEN TREE SALVAGED SPECIMEN TREE	96" BOX
<b>SHRUB AREAS</b>			
	SHR B13	SHRUBS B13	VARIES

PLANT SC	
SYMBOL	CO
<b>TREES</b>	
	AC
	GL
	UL
<b>ACCENTS</b>	
	BC
	CA
	FE
	HE
	SC
<b>DECIDUOUS SHRUB</b>	
	CA
	CC
<b>EVERGREEN SHRUB</b>	
	M
<b>PERENNIALS</b>	
	PE
	SE

Date  
05/07/2024  
Revisions

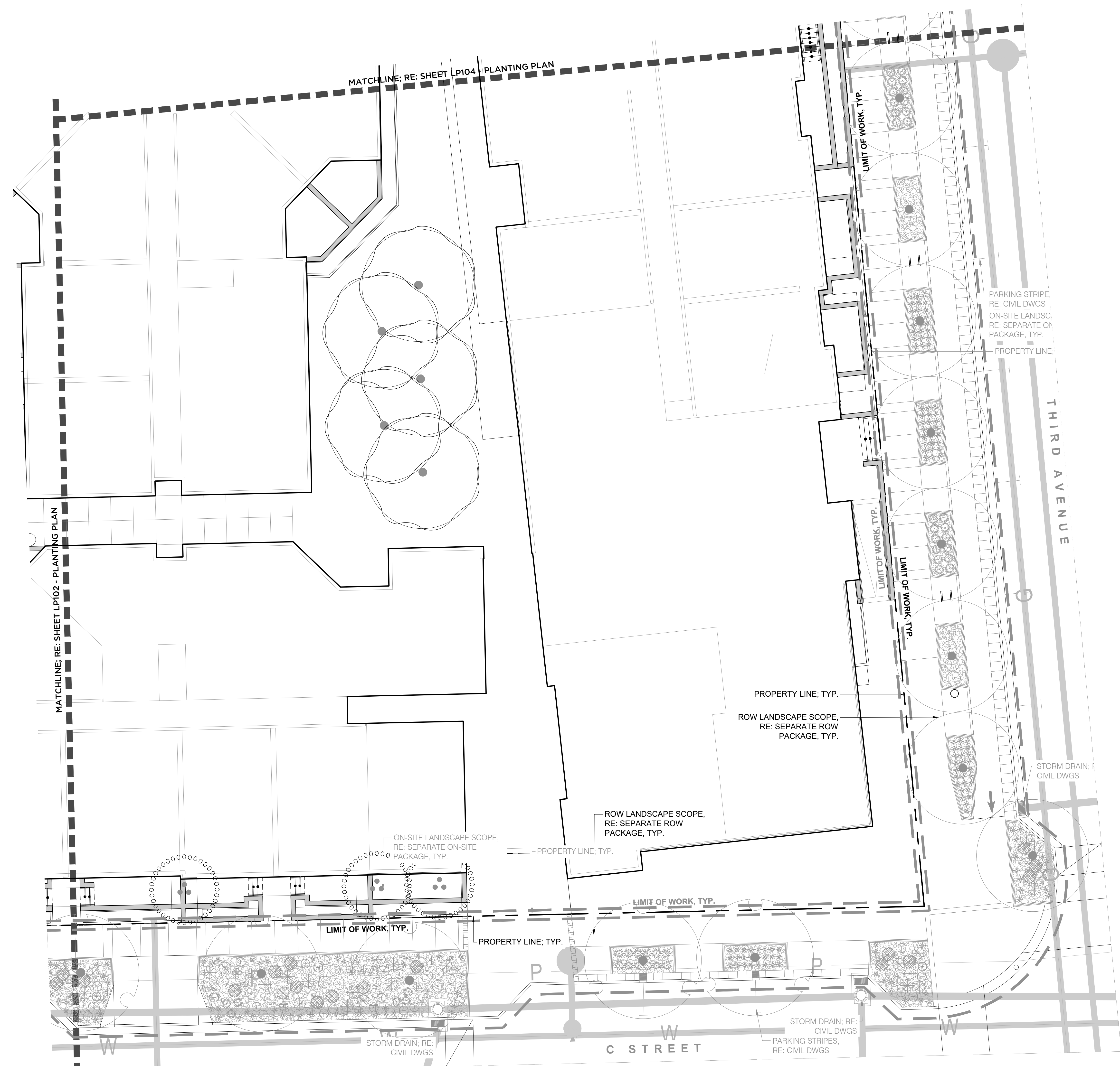
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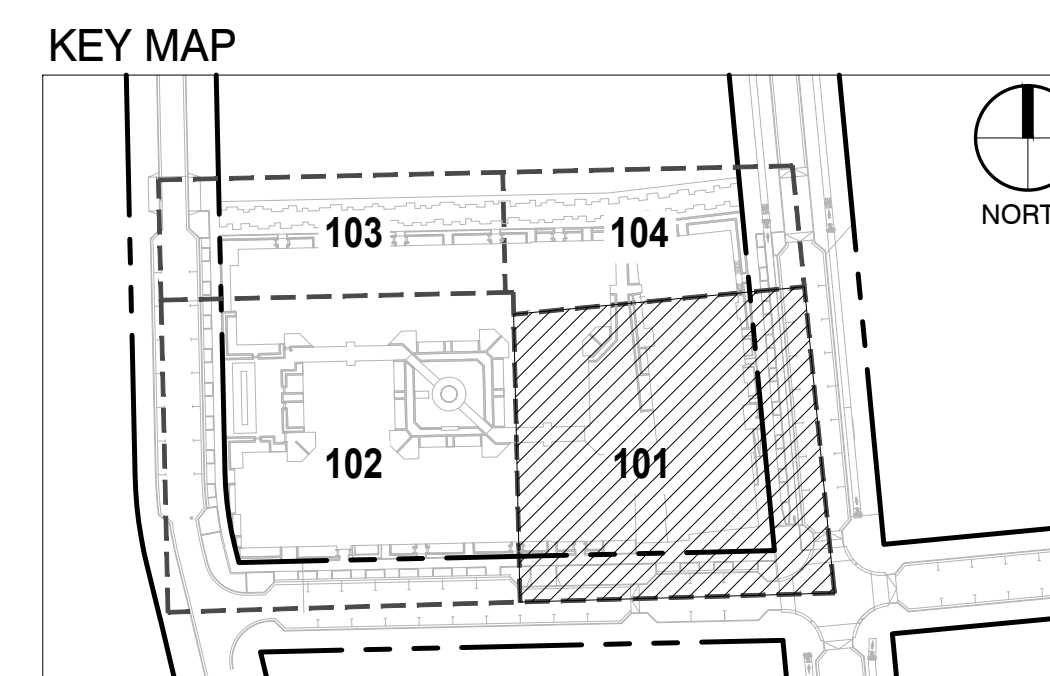
Project No.  
24005

PLANTING PLAN

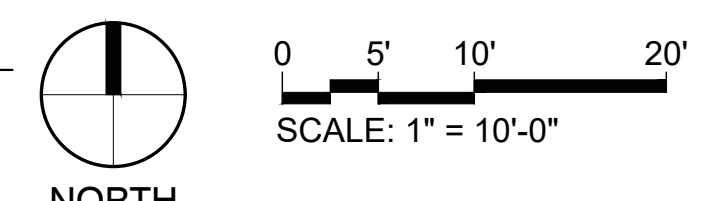
LP101



LAYOUT LEGEND	
SYMBOL	DESCRIPTION
	LIMIT OF WORK
	EXPANSION JOINT
	CONTROL JOINT
	EV CHARGING
	POLE LIGHT (DUAL)
	POLE LIGHT (SINGLE)
	BOLLARD
	STORM DRAIN
	FIRE HYDRANT



1 PLANTING PLAN  
ViewportScale

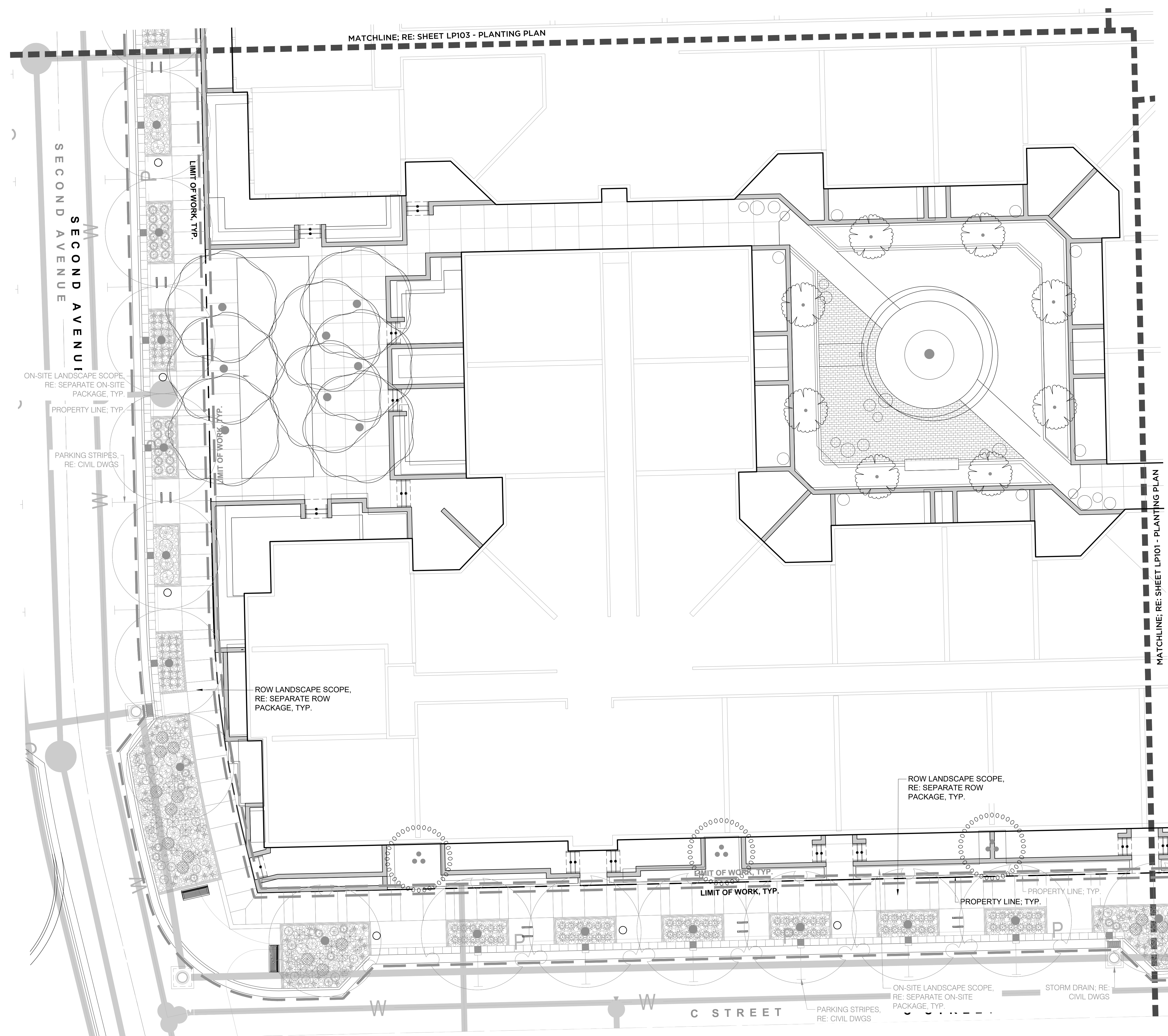




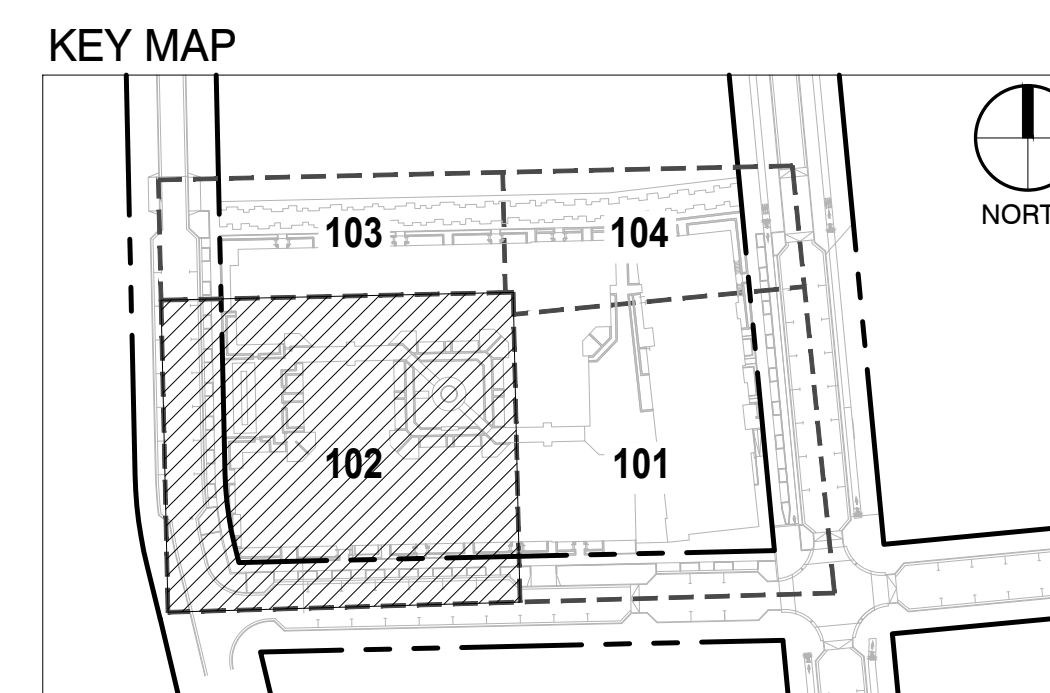
PLANT LEGEND			
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE
<b>TREES</b>			
	CAR LCS	CARPINUS BETULUS 'LUCAS' LUCAS EUROPEAN HORNBEAM	24" BOX
	CER HEA	CERCIS CANADENSIS 'HEARTS OF GOLD' HEARTS OF GOLD EASTERN REDBUD	10' HT, B&B
	GLE INE	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' SKYLINE® HONEY LOCUST	2.5' CAL
	SS	SALVAGED SPECIMEN TREE SALVAGED SPECIMEN TREE	96" BOX
<b>SHRUB AREAS</b>			
	SHR B13	SHRUBS B13	VARIES

PLANT SC	
SYMBOL	CO
<b>TREES</b>	
	AC
	GL
	UL
<b>ACCENTS</b>	
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	SC
<b>DECIDUOUS SHRUB</b>	
	CA
	CC
<b>EVERGREEN SHRUB</b>	
	M
<b>PERENNIALS</b>	
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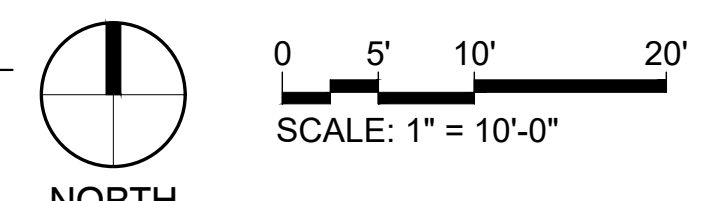
Date  
05/07/2024  
Revisions



LAYOUT LEGEND	
SYMBOL	DESCRIPTION
	LIMIT OF WORK
	EXPANSION JOINT
	CONTROL JOINT
	EV CHARGING
	POLE LIGHT (DUAL)
	POLE LIGHT (SINGLE)
	BOLLARD
	STORM DRAIN
	FIRE HYDRANT



**1 PLANTING PLAN**  
ViewportScale



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Project No.  
24005

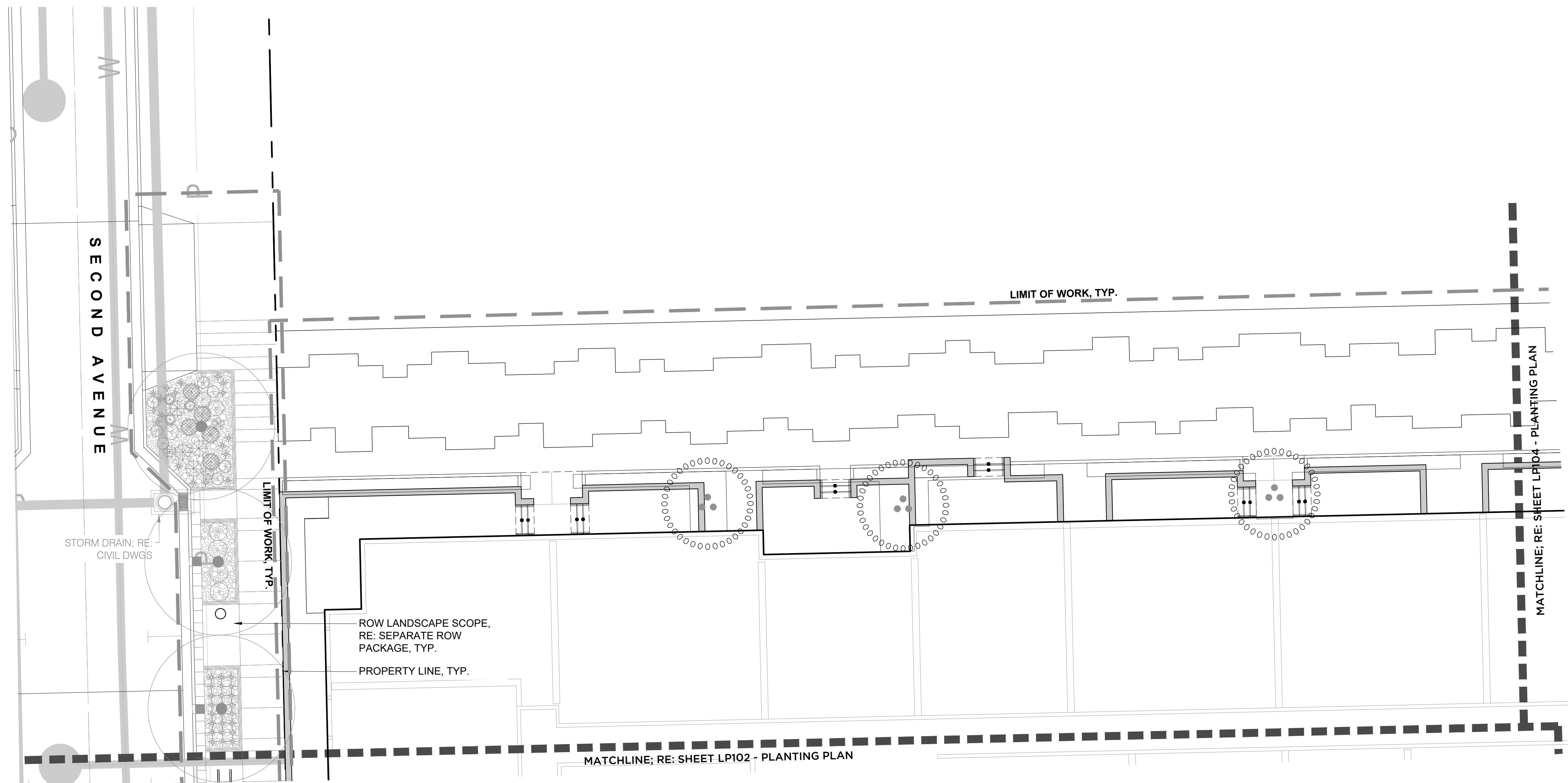
PLANTING PLAN  
**LP102**



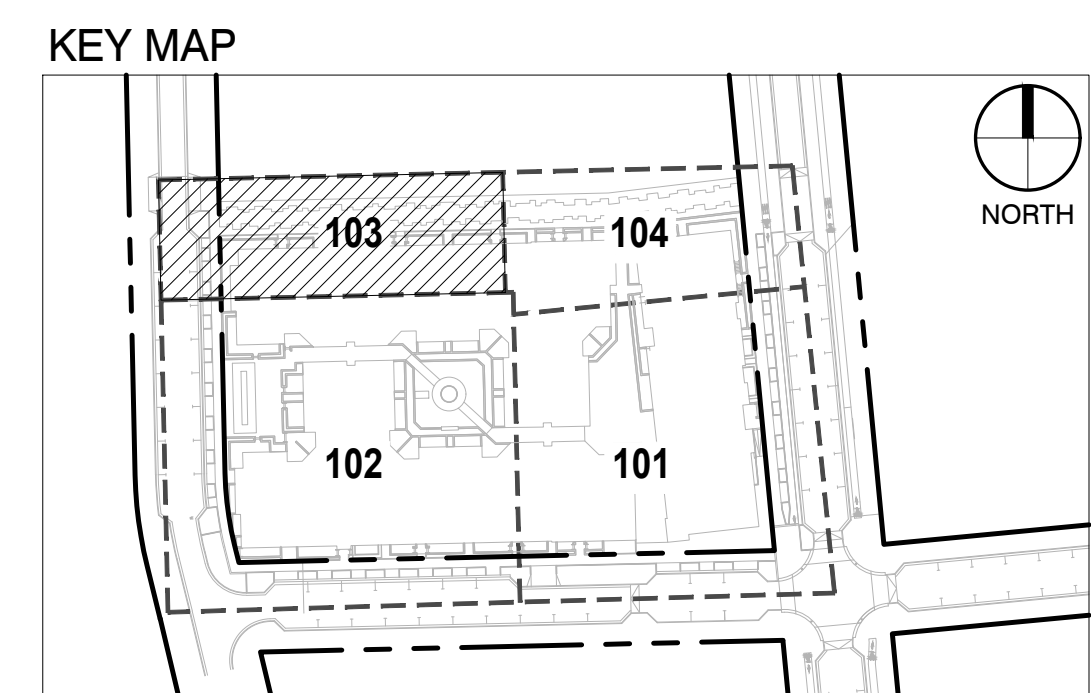
PLANT LEGEND			
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE
<b>TREES</b>			
	CAR LCS	CARPINUS BETULUS 'LUCAS' LUCAS EUROPEAN HORNBEAM	24" BOX
	CER HEA	CERCIS CANADENSIS 'HEARTS OF GOLD' HEARTS OF GOLD EASTERN REDBUD	10' HT, B&B
	GLE INE	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' SKYLINE® HONEY LOCUST	2.5' CAL
	SS	SALVAGED SPECIMEN TREE SALVAGED SPECIMEN TREE	96" BOX
<b>SHRUB AREAS</b>			
	SHR B13	SHRUBS B13	VARIES

PLANT SC	
SYMBOL	CO
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<b>ACCENTS</b>	
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	SC
<b>DECIDUOUS SHRUB</b>	
	CA
	CC
<b>EVERGREEN SHRUB</b>	
	M
<b>PERENNIALS</b>	
	PE
	SE

Date  
05/07/2024  
Revisions



LAYOUT LEGEND	
SYMBOL	DESCRIPTION
	LIMIT OF WORK
	EXPANSION JOINT
	CONTROL JOINT
	EV CHARGING
	POLE LIGHT (DUAL)
	POLE LIGHT (SINGLE)
	BOLLARD
	STORM DRAIN
	FIRE HYDRANT



**1 PLANTING PLAN**  
ViewportScale



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Project No.  
24005

PLANTING PLAN

**LP103**

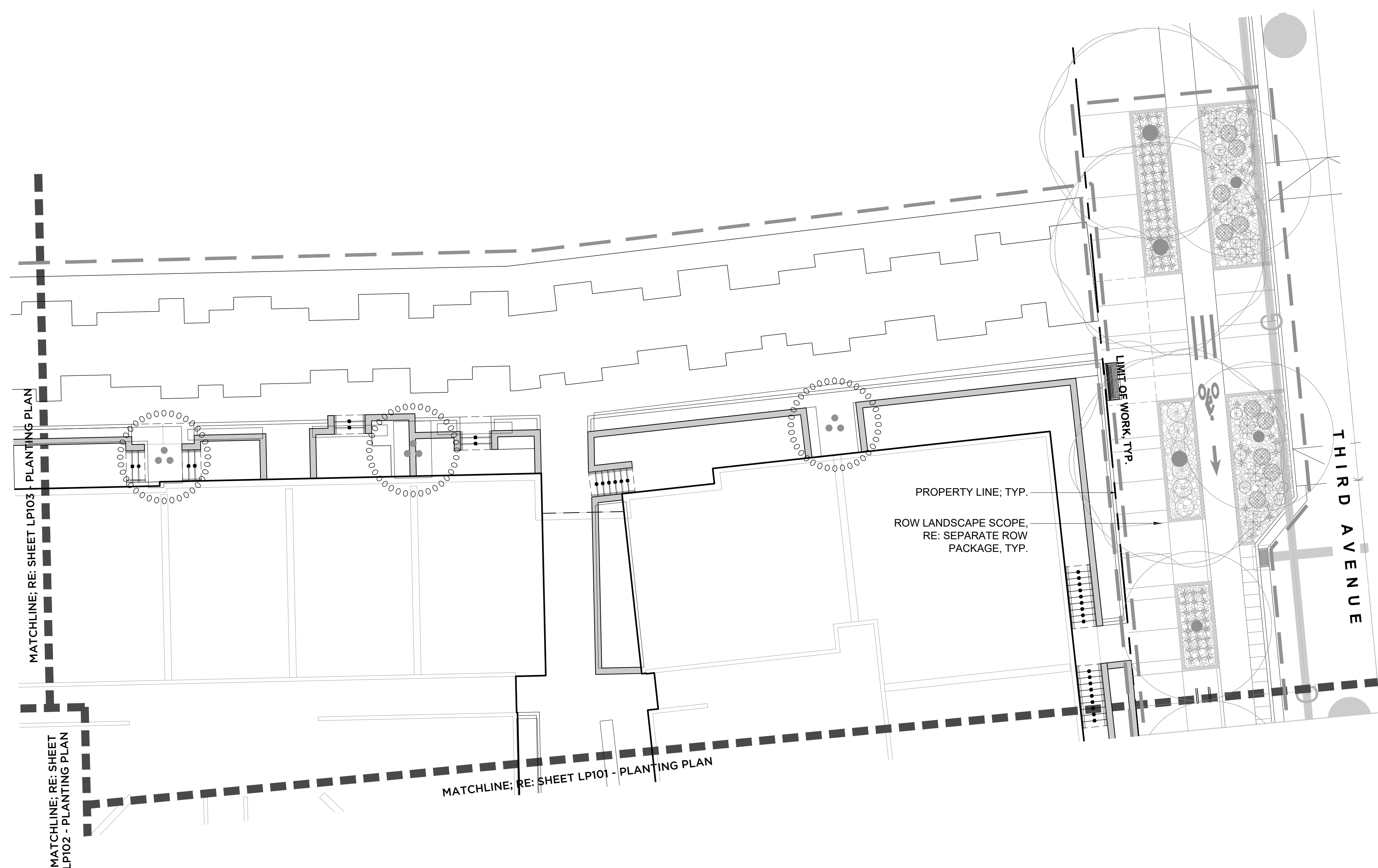


PLANT LEGEND			
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE
<b>TREES</b>			
	CAR LCS	CARPINUS BETULUS 'LUCAS' LUCAS EUROPEAN HORNBEAM	24" BOX
	CER HEA	CERCIS CANADENSIS 'HEARTS OF GOLD' HEARTS OF GOLD EASTERN REDBUD	10' HT, B&B
	GLE INE	GLEDTISIA TRIACANTHOS INERMIS 'SKYCOLE' SKYLINE® HONEY LOCUST	2.5' CAL
	SS	SALVAGED SPECIMEN TREE SALVAGED SPECIMEN TREE	96" BOX
<b>SHRUB AREAS</b>			
	SHR B13	SHRUBS B13	VARIES

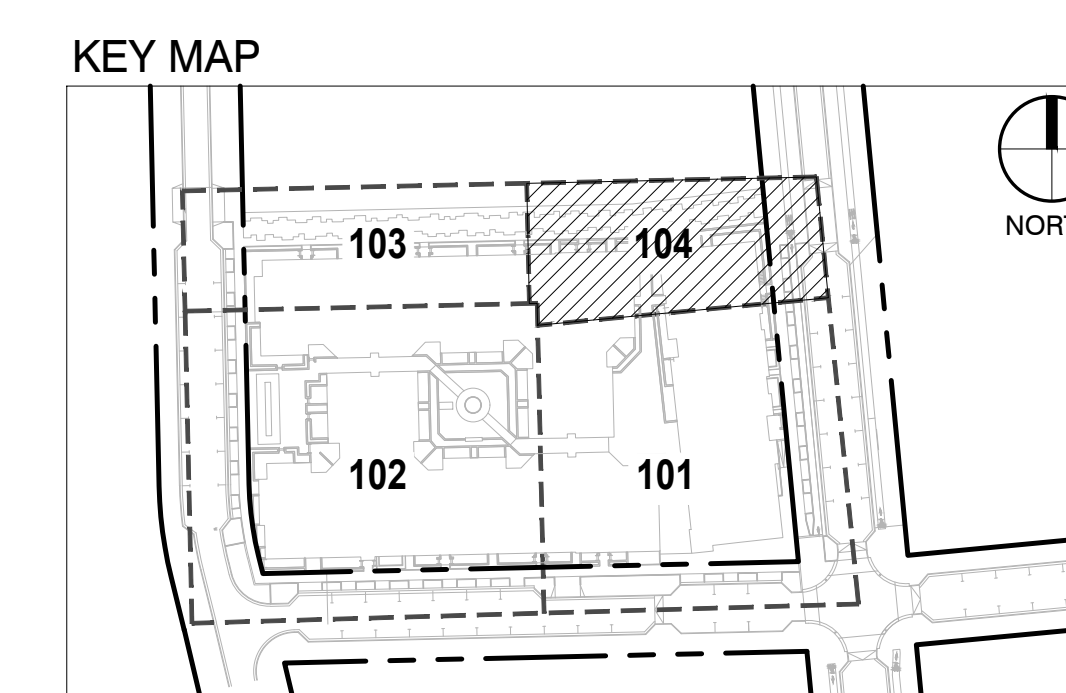
PLANT SC	
SYMBOL	CO
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<b>ACCENTS</b>	
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<b>DECIDUOUS SHRUB</b>	
	CA
	CC
<b>EVERGREEN SHRUB</b>	
	M
<b>PERENNIALS</b>	
	PE
	SE

UTAH CITY | BLOCK 13C  
FLAGBOROUGH  
VINEYARD, UTAH

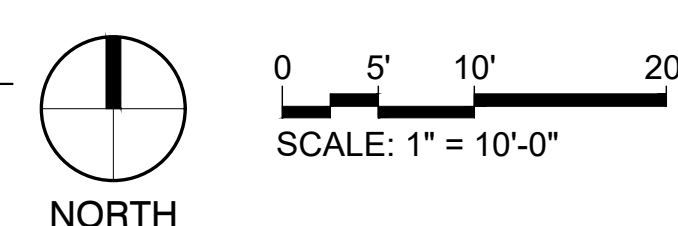
Date  
05/07/2024  
Revisions



LAYOUT LEGEND	
SYMBOL	DESCRIPTION
	LIMIT OF WORK
	EXPANSION JOINT
	CONTROL JOINT
	EV CHARGING
	POLE LIGHT (DUAL)
	POLE LIGHT (SINGLE)
	BOLLARD
	STORM DRAIN
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**1 PLANTING PLAN**  
ViewportScale



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Project No.  
24005

PLANTING PLAN

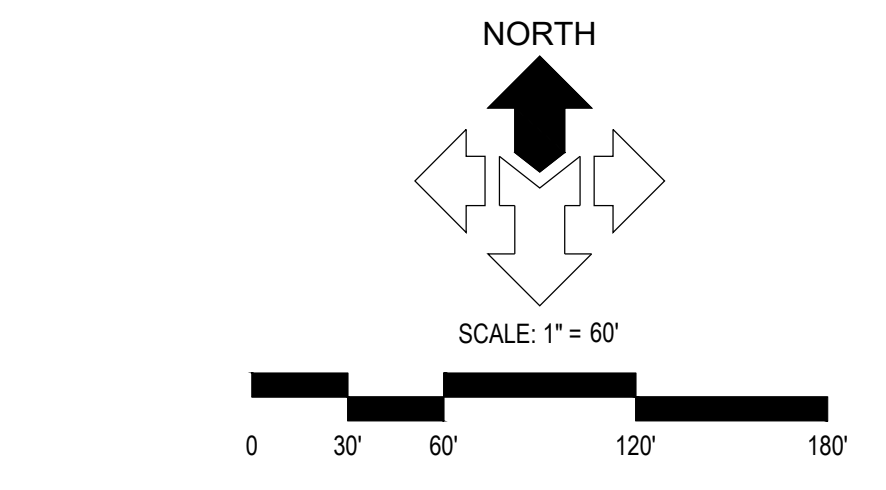
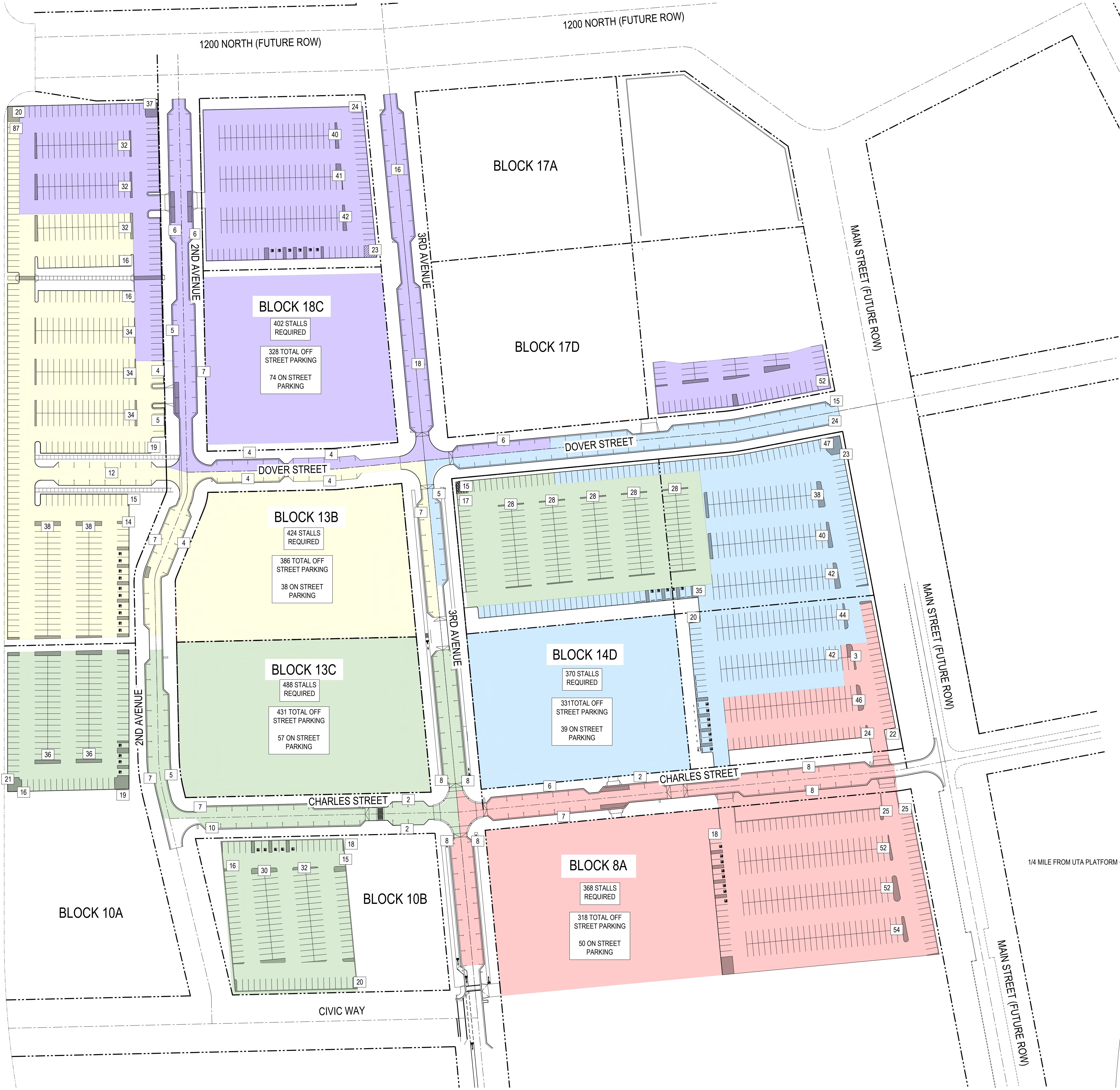
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VINEYARD CONNECTOR

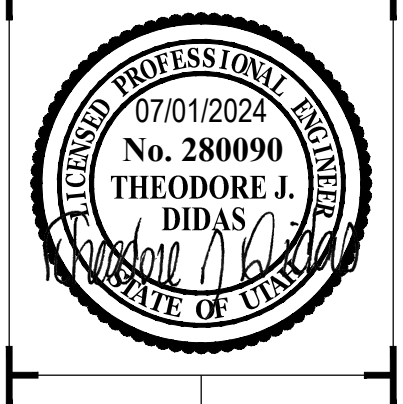
VINEYARD CONNECTOR



**PARKING SUMMARY**

NAME	PARKING REQUIRED	OFF STREET PARKING PROVIDED	ON STREET PARKING PROVIDED	TOTAL PROVIDED
8A	368	318	50	368
13B	424	386	38	424
13C	488	431	57	488
14D	370	331	39	370
18C	402	341	74	415
<b>TOTAL</b>	<b>2052</b>		<b>TOTAL PROVIDED</b>	<b>2065</b>

**MCNEIL ENGINEERING**  
 Economic and Sustainable Designs. Professionals You Know and Trust.  
 8410 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.355.7700 mcneilingeering.com  
 Civil Engineering • Consulting & Landscape Architecture  
 Structural Engineering • Land Surveying & HDS



**VINEYARD STATION PARKING EXHIBIT**  
 VINEYARD, UTAH

**REVISIONS**

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO: 23472.B  
 DESIGNED BY: TJO  
 CHECKED BY: TJO  
 DATE: 07-01-2024

THIS PARKING EXHIBIT DOES NOT ACCOUNT FOR ANY LANDSCAPE REQUIREMENTS.

**NOTICE!**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

**PARKING EXHIBIT**



**VINEYARD STATION  
PARKING SUMMARY**

	Studios	Parking Required (1.5 per Unit)	1-Bed	Parking Required (1.5 per Unit)	2-Bed	Parking Required (2 per Unit)	Total Beds	Subtotal Residential Parking Required	Guest Parking (0.25 per Unit)	Retail Bldg Area (SF)	Retail Parking (1 per 500 SF)	TOTAL PARKING REQUIRED	Parking Reduction (0.40 per unit) *	PARKING REQUIRED including Reduction
<b>Block 8A</b>	27	40.5	113	169.5	92	184.0	324	394.0	58.0	4,187	8.4	<b>460</b>	92.8	<b>367.6</b>
<b>Block 14D</b>	27	40.5	115	172.5	92	184.0	326	397.0	58.5	4,187	8.4	<b>464</b>	93.6	<b>370.3</b>
<b>Block 13C</b>	72	108.0	218	327.0	52	104.0	394	539.0	85.5		0.0	<b>625</b>	136.8	<b>487.7</b>
<b>Block 13B</b>	260	390.0	39	58.5	11	22.0	321	470.5	77.5		0.0	<b>548</b>	124.0	<b>424.0</b>
<b>Block 18C</b>	255	382.5	43	64.5		0.0	298	447.0	74.5		0.0	<b>522</b>	119.2	<b>402.3</b>
<b>TOTAL</b>												<b>2,618</b>	566.4	<b>2,052</b>

\* This is Parking Summary of Parking Required based on Vineyard City code including Parking Reductions for the following:

- 0.10 for Unbundled Parking
  - 0.15 for Transit Passes
  - 0.05 for Bike Lockers
  - 0.10 for Project Controlled On-Street Parking
- 
- 0.40** Total Reduction per Unit



Escrow / closing inquiries should be directed to:  
Rachel Wilson, Escrow Officer  
385-388-7495 / Rachel@GTTtitle.net  
1250 E. 200 S., Suite 1C, Lehi, UT 84043

**ALTA COMMITMENT FOR TITLE INSURANCE**  
*issued by*  
**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

**NOTICE**

**IMPORTANT-READ CAREFULLY**

THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

**COMMITMENT TO ISSUE POLICY**

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Florida Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within six (6) months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

*Issuing Agent:*

**GRIFFITHS & TURNER / GT TITLE SERVICES INC.**

A Utah Title Insurance Agency  
1250 E. 200 S., Suite 1C  
Lehi, UT 84043  
P: 801-224-1500 | F: 801-766-4011 | www.GTTtitle.com

**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

A Stock Company  
1408 North Westshore Blvd., Suite 900, Tampa, FL, 33607  
(612) 371-1111 / www.OldRepublic.com

By:   
Tyler J. Turner, President

By  President  
Attest  Secretary

*Transaction Identification Data, For Reference Purposes Only:*

Commitment Number: **L55424E**  
Tax Parcel No(s): **17-026-0055**  
Property Address(es):  
**ADDRESS UNASSIGNED, VINEYARD, UT 84059**





*Escrow / closing inquiries should be directed to:*  
**Rachel Wilson, Escrow Officer**  
**385-388-7495 / Rachel@GTTtitle.net**  
**1250 E. 200 S., Suite 1C, Lehi, UT 84043**

**COMMITMENT FOR TITLE INSURANCE**

*Transaction Identification Data, for which the Company assumes no liability as set forth in Commitment Condition 5.e.:*

Commitment No.: **L55424E**  
Issuing Agent: Griffiths & Turner / GT Title Services, Inc.  
Title Officer: Robby Williams  
Underwriter: Old Republic National Title Insurance Co.  
Tax Parcel No(s): **17-026-0055**  
Property Address(es): **ADDRESS UNASSIGNED, VINEYARD, UT 84059**

**SCHEDULE A**

1. Commitment Date: **January 4, 2024**, 7:59 AM
2. Policy to be issued:  
2021 ALTA Loan Policy  
Proposed Amount of Insurance: \$ Fee: \$  
Endorsements (if any): TBD Fee: \$TBD  
Estate/Interest to be insured: Fee Simple  
Proposed Insured:
3. The estate or interest in the Land at the Commitment Date is Fee Simple.
4. The Title is, at the Commitment Date, vested in:  
**FLAGBOROUGH L.L.C., a Delaware limited liability company**
5. The Land is located in **UTAH** County, State of Utah and is described as follows:  
**See Attached Exhibit "A"**



Information for Reference Purposes Only:

Parcel Number(s): 17-026-0055

Property Address(es):

ADDRESS UNASSIGNED, VINEYARD, UT 84059

**EXHIBIT "A"**

The Land is situated in **UTAH** County, State of Utah and is described as follows:

**BOUNDARY DESCRIPTION  
UTAH CITY PHASE 3  
BOUNDARY**

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN, VINEYARD CITY, UTAH, SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOW:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 7; THENCE NORTH A DISTANCE OF 32859.13 FEET; THENCE WEST A DISTANCE OF 710.32 FEET TO THE REAL POINT OF BEGINNING.

THENCE S.83°57'01"W. A DISTANCE OF 744.73 FEET; THENCE S.05°17'58"E. A DISTANCE OF 1.00 FEET; THENCE S.83°57'01"W. A DISTANCE OF 589.89 FEET TO A POINT OF CURVATURE OF A 1376.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 152.00 FEET, SAID CURVE HAVING CENTRAL ANGLE OF 06°19'45" AND A CHORD THAT BEARS N.25°02'43"W. A DISTANCE OF 151.92 FEET; THENCE S.68°05'51"W. A DISTANCE OF 69.64 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF THE VINEYARD CONNECTOR ROAD, SAID POINT ALSO BE A POINT OF CURVATURE OF A 1447.50-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 552.80 FEET ALONG SAID RIGHT OF WAY, SAID CURVE HAVING A CENTRAL ANGLE OF 21°52'52" AND A CHORD THAT BEARS N.10°56'26"W. A DISTANCE OF 549.45 FEET; THENCE NORTH A DISTANCE OF 766.97 FEET; THENCE EAST A DISTANCE OF 288.87 FEET; THENCE N.88°43'52"E. A DISTANCE OF 322.05 FEET; THENCE N.86°42'51"E. A DISTANCE OF 78.05 FEET; THENCE N.84°34'03"E. A DISTANCE OF 431.08 FEET TO A POINT OF CURVATURE OF A 233.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 21.91 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 05°23'15" AND A CHORD THAT BEARS N.81°52'26"E. A DISTANCE OF 21.90 FEET; THENCE N.79°10'48"E. A DISTANCE OF 272.81 FEET; THENCE S.10°49'12"E. A DISTANCE OF 1136.98 FEET; THENCE S79°10'48"W. A DISTANCE OF 106.00 FEET; THENCE S.10°49'12"E. A DISTANCE OF 206.91 FEET; THENCE S.06°02'59"E. A DISTANCE OF 43.50 FEET TO THE POINT OF BEGINNING CONTAINING 47.63 ACRES.



### **SCHEDULE B, PART I – Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company. NOTE: In the event, the transaction, for which this commitment is furnished, cancels, the minimum cancellation fee will be \$200.00.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Provide releases, reconveyances, or other instruments, acceptable to the Company, including payment of any amounts due, removing the encumbrances shown in Schedule B, Part II that are objectionable to the Proposed Insured.
6. Provide the Company with copies of appropriate agreements, resolutions, certificates, or other evidence needed to identify the parties authorized to execute the documents creating the interest to be insured.
7. Provide the Company with any information regarding personal property taxes which may have been assessed or are due and payable which could become a lien on the Land.

Additional Requirements, which must be met (if any):

### **SCHEDULE B, PART II—Exceptions**

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I--Requirements are met.
2. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
3. Any facts, rights, interest or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
4. Easements, claims of easements or encumbrances which are not shown by the Public Records.
5. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title including discrepancies, conflicts in boundary lines, shortage in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records.
6. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.

**NOTE:** Upon compliance with the Company's underwriting requirements, Exceptions 1-7 will be omitted from any Expanded Loan Policy or Policy with Extended Coverage to be issued based on this Commitment.

8. Taxes for the present year and thereafter. Taxes for the year **2023** are **PAID** in the amount of **\$24.84**. Parent County Tax Parcel Number(s): **17-026-0047**.

**New County Tax Parcel Number(s): 17-026-0055.**

[\(view\)](#)

**\*\*\*NOTE: The Property/Land appears to currently be taxed under a special property tax exemption/discount/reduction/credit/prepayment status. The County Tax Assessor/Treasurer and other interested parties should be consulted to determine the appropriate manner of handling the property taxes at closing.\*\*\***

9. The Land is within the boundaries of **VINEYARD, UTAH COUNTY, UTAH** and is therein located within **Tax District 95, The Timpanogos Special Service District**, and is subject to any charges and assessments levied thereunder.
10. Easements, restrictions, covenants, conditions, notes, building set-back lines, and rights of ways for roads, ditches, canals, streams, rivers, telephones and transmission lines, drainage, utilities or other incidental purposes, over, under or across the Land, which are of record or which may be ascertained by an inspection or accurate survey, including, without limitation, any easements, notes, restrictions, building site requirements, setback lines, or rights of way contained in the official plat map(s) of record.

(Continued)



**SCHEDULE B, PART II—Exceptions (Continued)**

11. Any water rights, claims or title to water in or under the Land.
12. Any and all outstanding oil, gas, mineral rights, and/or mining rights, etc., including, but not limited to, the right of the proprietor of a vein or lode to extract his ore therefrom should the same be found to penetrate or intersect the premises, and the right of ingress and egress for the use of said rights or interests. The Company makes no representation as to the present ownership of any such rights or interests. There may be leases, grants, exceptions or reservations of such rights or interests that are not listed.
13. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title, including discrepancies, conflicts in boundary lines, shortage in area, party walls, or any other facts that would be disclosed by an accurate and complete land survey of the Land.
14. Subject to any **Rollback Tax Assessment** which may be levied pursuant to the 1969 Farmland Assessment Act as evidenced by that certain Application for Assessment and Taxation of Agricultural Land recorded April 21, 2022 as Entry No. 49532:2022.  
[\(view\)](#)
15. Subject to any **Rollback Tax Assessment** which may be levied pursuant to the 1969 Farmland Assessment Act as evidenced by that certain Withdrawal of Application for Assessment and Taxation of Agricultural Land recorded November 13, 2023 as Entry No. 73991:2023.  
[\(view\)](#)
16. Notice of Adoption of Urban Renewal Project Area Plan and the terms, conditions and limitation contained therein, recorded April 20, 2011 as Entry No. 30240:2011.  
[\(view\)](#)
17. Reservations contained in Warranty Deed (controlled access) and the terms, conditions and limitations contained therein, recorded December 21, 2009 as Entry No. 130287:2009.  
[\(view\)](#)
18. The terms, conditions, and effects of that certain Easement in favor of Utah Department Of Transportation recorded in the official records of the UTAH County Recorder's Office on December 21, 2009 as Entry No. 130288:2009.  
[\(view\)](#)
19. The terms, conditions, and effects of that certain Easement in favor of The City Of Vineyard recorded in the official records of the UTAH County Recorder's Office on March 29, 2022 as Entry No. 38916:2022.  
[\(view\)](#)
20. The terms and conditions of that certain Notice of Creation of Housing and Transit Reinvestment Zone recorded January 11, 2023 as Entry No. 1908:2023.  
[\(view\)](#)
21. The terms, conditions, and effects of that certain Easement in favor of Rocky Mountain Power recorded in the official records of the UTAH County Recorder's Office on August 4, 2022 as Entry No. 87290:2022.  
[\(view\)](#)

(Continued)



**SCHEDULE B, PART II—Exceptions (Continued)**

**22. Deed of Trust**, summarized as follows:

Recorder's Entry No.: 204052:2021  
Date Recorded: December 8, 2021  
Date of Document: December 3, 2021  
Dollar Amount: \$35,000,000.00  
Borrower/Trustor: ANDERSON GENEVA LLC  
Lender: BANK OF UTAH  
Beneficiary: BANK OF UTAH  
Trustee: BANK OF UTAH

[\(view\)](#)



## **ADDITIONAL NOTICES, NOTES & INFORMATION**

### **UTILITY SERVICE CHARGES AND ASSESSMENTS**

The Land may be serviced by districts, service companies and/or municipalities, which assess charges for water, sewer, electricity and any other utilities, etc., which are not covered by this Commitment or insured under the Policy or Policies.

### **ALTA HOMEOWNER'S POLICY DEDUCTIBLES**

If an ALTA Homeowner's Policy is issued, the Policy will contain deductible amounts and maximum liability amounts relating to Covered Risks 16, 18, 19 and 21; and your deductible amounts and our maximum dollar limit of liability will be shown in Schedule A of the Policy. The Company will provide a pro-forma policy upon request.

### **PLAT MAP**

The map attached or included herewith, if any, may or may not be a survey of the Land. The Company expressly disclaims any liability for loss or damage which may result from reliance on said map except to the extent coverage for such loss or damage is expressly provided by the terms and provisions of the Policy (and endorsement(s), if any) to which this map is attached.

### **JUDGMENT LIENS**

We have checked the Public Records for outstanding judgment liens entered against the relevant parties as they may relate to the the Land. Except as is otherwise indicated in Schedule B, Part I or Part II, no judgment liens appear of record that would have lien priority over the Mortgage of a Proposed Insured.

## COMMITMENT CONDITIONS

### 1. DEFINITIONS

- a. *"Discriminatory Covenant"*: Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
  - b. *"Knowledge"* or *"Known"*: Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
  - c. *"Land"*: The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term "Land" does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
  - d. *"Mortgage"*: A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
  - e. *"Policy"*: Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
  - f. *"Proposed Amount of Insurance"*: Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
  - g. *"Proposed Insured"*: Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
  - h. *"Public Records"*: The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term "Public Records" does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
  - i. *"State"*: The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term "State" also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
  - j. *"Title"*: The estate or interest in the Land identified in Item 3 of Schedule A.
2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
3. The Company's liability and obligation is limited by and this Commitment is not valid without:  
(a) the Notice; (b) the Commitment to Issue Policy; (c) the Commitment Conditions; (d) Schedule A; (e) Schedule B, Part—Requirements; (f) Schedule B, Part II—Exceptions; and (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

### 4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.

### 5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - i. comply with the Schedule B, Part I—Requirements;
  - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
  - iii. acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

[Continued On Next Page]



### **COMMITMENT CONDITIONS — Continued**

**6. LIABILITY OF THE COMPANY BASED ON THIS COMMITMENT; CHOICE OF LAW & CHOICE OF FORUM**

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.
- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- d. The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- e. Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

**7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

**9. CLAIMS PROCEDURES**

This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.

**10. CLASS ACTION**

ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

**11. ARBITRATION**

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Amount of Insurance is \$2,000,000 or less may be arbitrated at the election of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.



## VINEYARD PLANNING COMMISSION STAFF REPORT

**Meeting Date:** October 2, 2024  
**Agenda Item:** Sign Standard Waiver - Wendy's  
**Department:** Community Development Department  
**Presenter:** Cache Hancey

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### **Background/Discussion:**

Wendy's site plan was approved in May of 2024. A building permit and land disturbance permit have been issued for the project. As the applicant submitted a building permit for the sign package, a sign standard waiver was noted as required before moving forward due to the number of wall signs proposed. Vineyard Zoning Code allows for a maximum of 4 wall signs unless additional signs are approved through a sign standard waiver.

The applicant is proposing a total of 6 wall signs, 2 on each elevation except for the west. The proposed signs fall within the design and size standards set forth in the zoning code. The purpose of the additional signage is to provide wayfinding, such as the Delivery Pickup location, as well as marketing for the building. Because there are no signs proposed on the west elevation, impacts to surrounding residential areas are minimal.

There is also a monument sign proposed to be placed along Geneva Road which does not require approval through the sign standard waiver.

### **Fiscal Impact:**

No fiscal impact.

### **Recommendation:**

Staff recommends approval of the sign standard waiver.

### **Sample Motion:**

"I move to approve the sign standard waiver application for the Wendy's development located at 145 N. Geneva Road as requested by Ross McArthur with Permits 2U LLC."

### **Attachments:**

1. Sign Package



# Sign Package



**FLYNN**  
RESTAURANT GROUP

**Wendy's - Flynn**  
145 North Geneva Road  
Vineyard, UT  
July 3, 2024



**YOUR BRAND AT ITS BEST™**

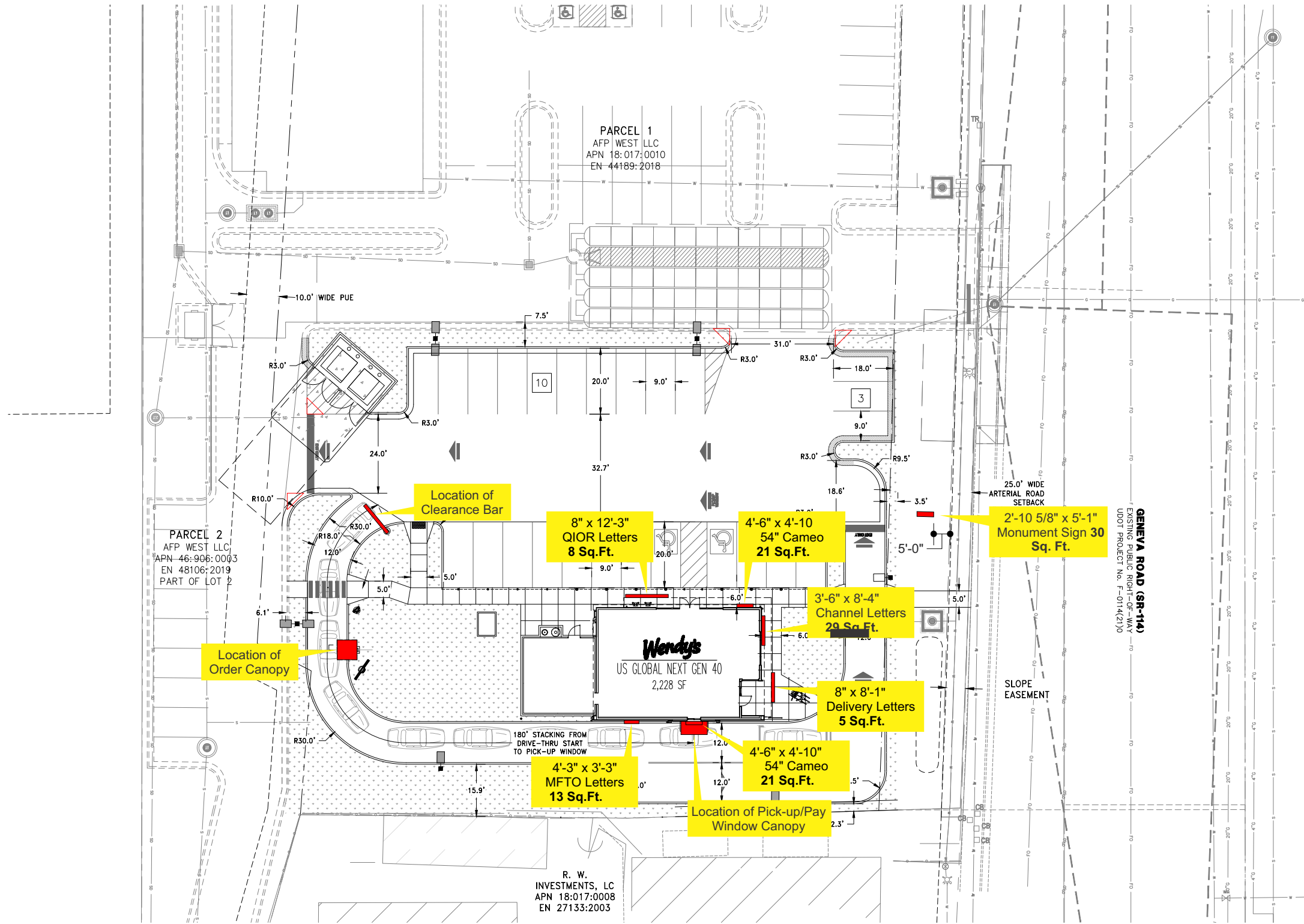
**1-800-967-2553**  
**www.allenindustries.com**

**Customer Approval / Signature**

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Smart 2.0	
ACM and Color:	N/A
Soffitt / Parapet:	N/A
Corrugation & Trim:	N/A
Lighting:	N/A
QIOR:	QIOR & D-PU - FCO Letters On Custom Canopy
Drive Thru And Building Elements:	Canopy - SMART Silver 96" (1) Custom Canopy (1) "W" Entry Feature (1) Clearance Bar - New (1) Order Station Canopy - New (1)
Exterior Signage:	42" Flush Mount White - Channel Letters 42NC (1/Front) 54" Flush Mount Cameo (1/Main) 54" Flush Mount Cameo (1/DT) Made Fresh to Order Pin Letters (between pay & pick up windows) QIOR & D-PU - FCO Letters On Custom Canopy Monument - New

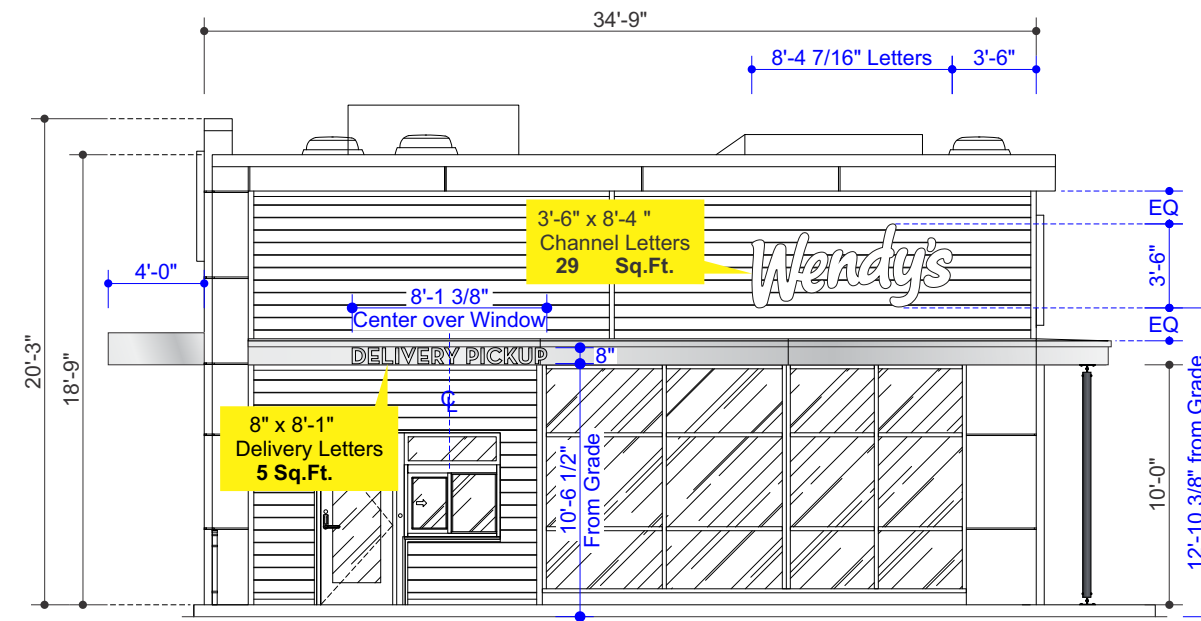
FIELD SURVEY REQUIRED  
Prior to Release to Production



Site Plan  
Scale: 1"=35'-0"



**FIELD SURVEY REQUIRED**  
Prior to Release to Production



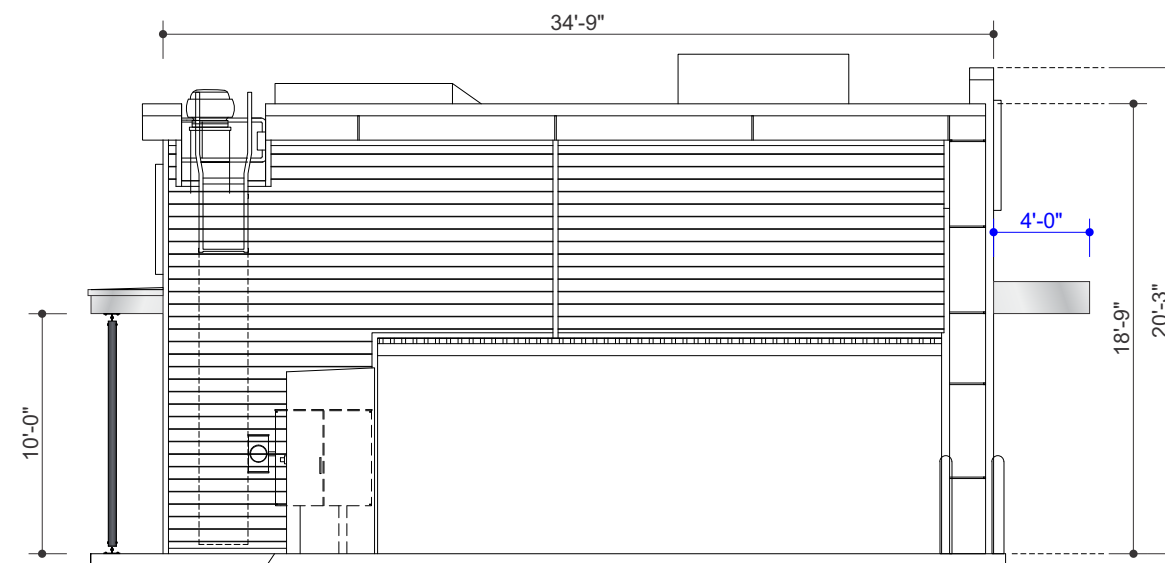
**Front Elevation**  
Scale: 1/8"=1'-0"

East Elevation

Building 20'-3" high

**Color Specifications**

Azko Nobel "Brushed Silver"  
Silver MICA MNC 4mm CLR



**Rear Elevation**  
Scale: 1/8"=1'-0"

West Elevation

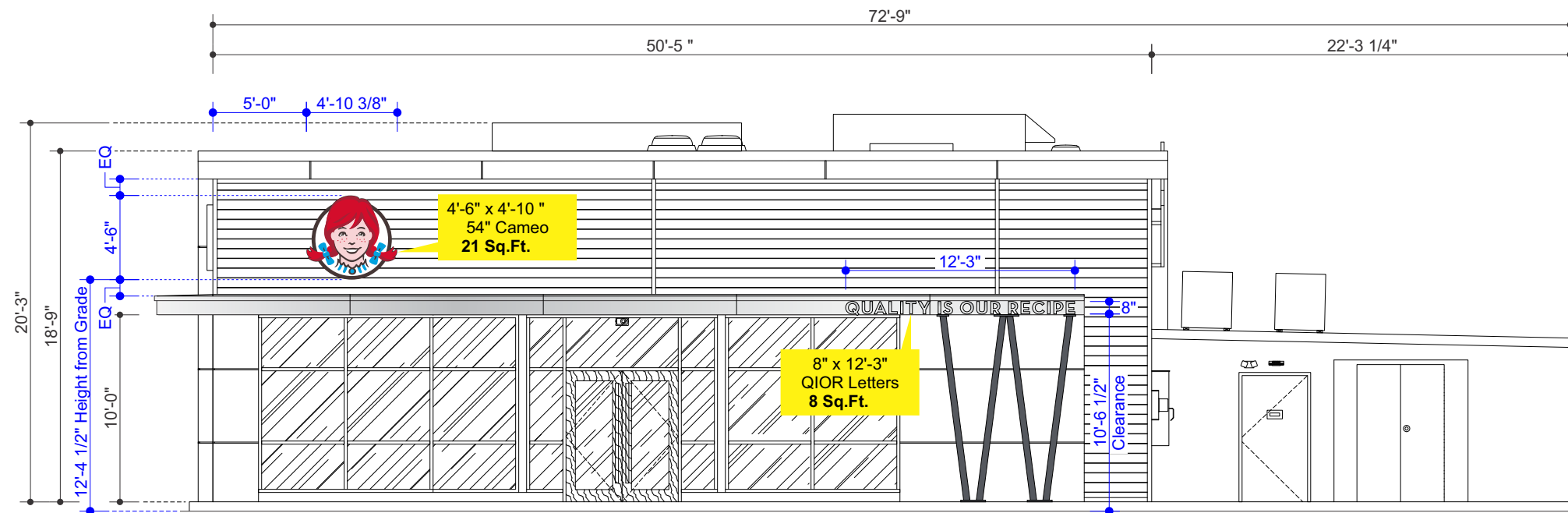


Electric Sign  
Complies with  
UL48

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



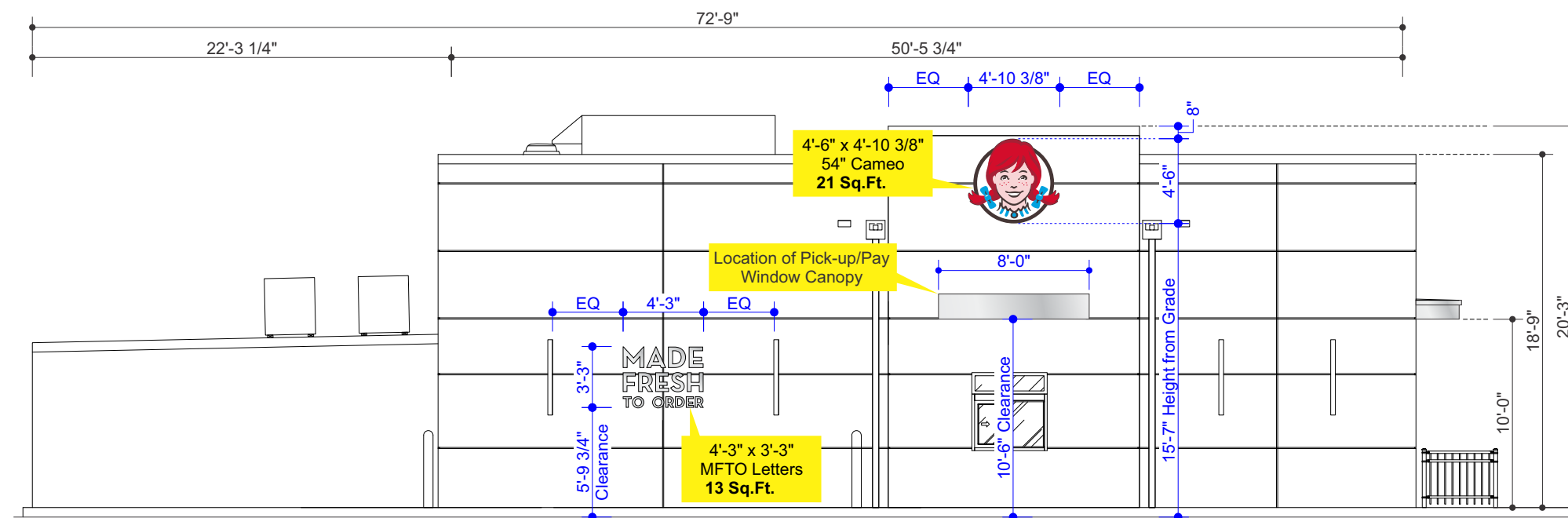
**FIELD SURVEY REQUIRED**  
Prior to Release to Production



**Right Elevation**  
Scale: 1/8"=1'-0"

**Color Specifications**

- Azko Nobel "Brushed Silver"
- Silver MICA MNC 4mm CLR



**South Elevation**

**Left Elevation**  
Scale: 1/8"=1'-0"

**Allen Industries** MET E212503 Electric Sign Complies with UL48  
 THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.  
 GROUND ELECTRICAL CONNECTIONS

**Allen Industries**  
YOUR BRAND AT ITS BEST™  
**1-800-967-2553**  
www.allenindustries.com

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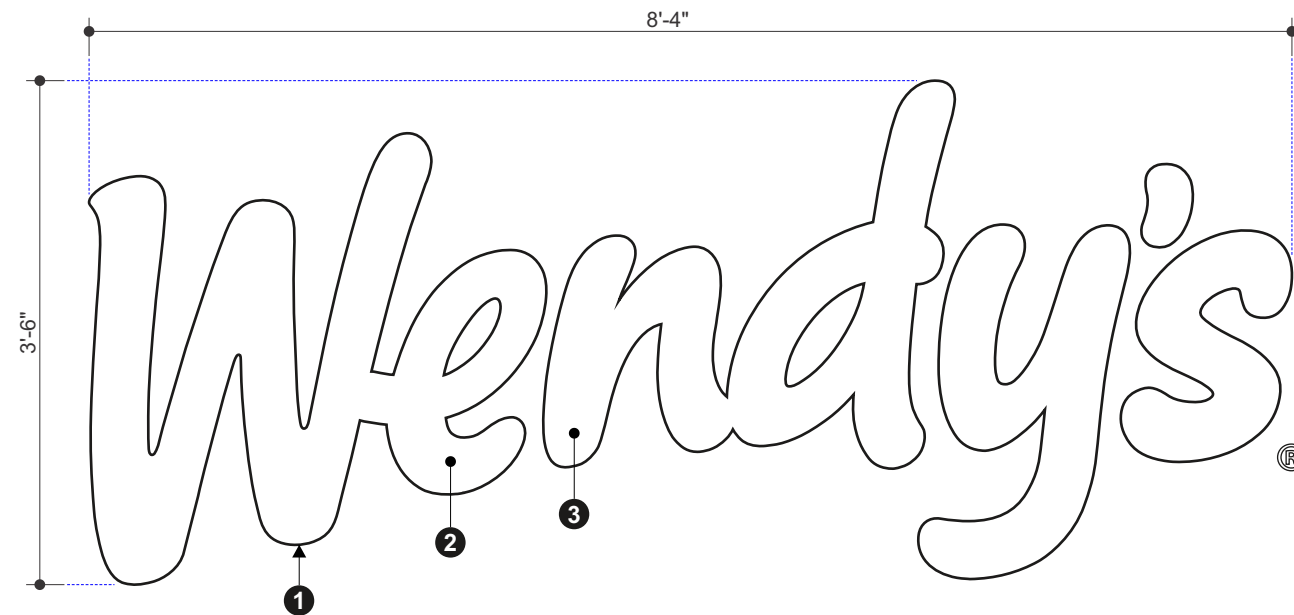
**Client:**  
Wendy's  
#14368  
**Address:**  
145 North Geneva Road  
Vineyard, UT 84059

**Date:** 06/18/24  
**Estimate #:** E17358  
**Job #:** -  
**Page #:** 4 of 18  
**File Name:** WEN-E17358\_Vineyard, UT\_201  
**Sales:** House  
**Design:** PN  
**PM:** NS

#	Date	Description
1	07/03/24	Various Revisions
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

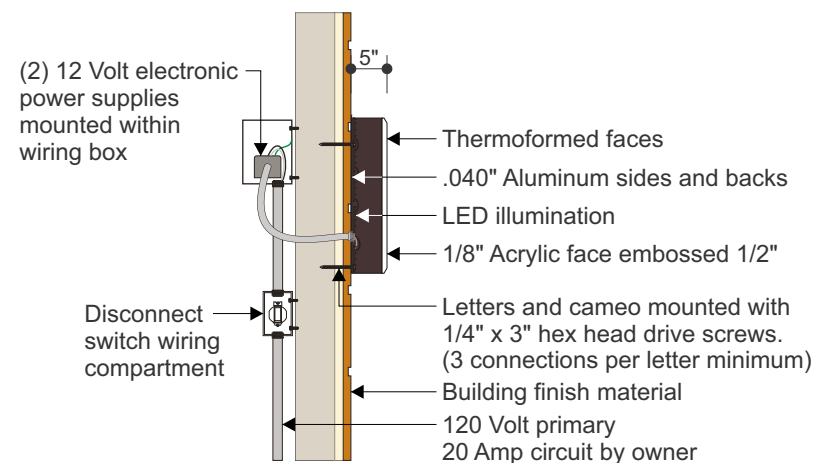
Initial	Client Review Status
JK	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____
-	Approval Date: _____





**Front View**  
Scale: 3/4"=1'-0"

▶ 29.29 sq. ft. nearest rectangle.



**MATERIALS**

- ① Letters returns - 4-3/4" deep .040" aluminum.
- ② Letters faces - thermoformed white acrylic.
- ③ Illumination - white LEDs.\*

\*Total electrical load = 2.4 amps. Requires 1-20 amp circuit @ 120v/60Hz.

**MOUNTING HARDWARE CHART**

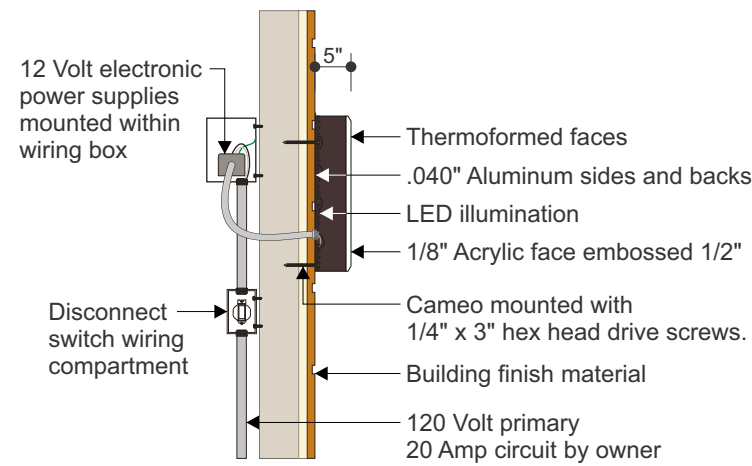
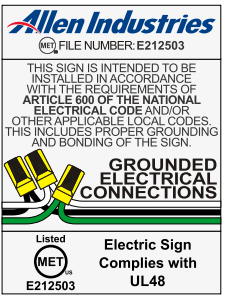
	Masonry	Wood	Metal
3/8" Lags with Shields Threaded Rod Thru Wall	●	●	●
3/8" Lags with Shields	●		
3/8" Lag Bolts		●	
3/8" Toggle Bolts			●

**Note:**

1.) Threaded rod will be provided standard.  
All other hardware is to be provided by the installer as required.

**COLORS & FINISHES**

- Brown (PMS 439C - outline)
- Blue (PMS 299C - bow, shirt, brooch)
- Flesh (PMS 698C - face, neck)
- Red (PMS 186C - hair, freckles)
- Dark Red (PMS 201C - hair outline)
- White (cameo face, letters)



**MATERIALS**

- ① 1/8" Acrylic face with 1/2" embossment.
- ② Illumination - white LEDs.\*
- ③ Appropriate fasteners for wall material (Shown Thru Bolted)

\*Total electrical load = 1.2 amps. Requires 1-20 amp circuit @ 120v/60Hz.

MOUNTING HARDWARE CHART			
	Masonry	Wood	Metal
3/8" Lags with Shields Threaded Rod Thru Wall	●	●	●
3/8" Lags with Shields	●		
3/8" Lag Bolts		●	
3/8" Toggle Bolts			●

**Note:**  
1.) Threaded rod will be provided standard.  
All other hardware is to be provided by the installer as required.

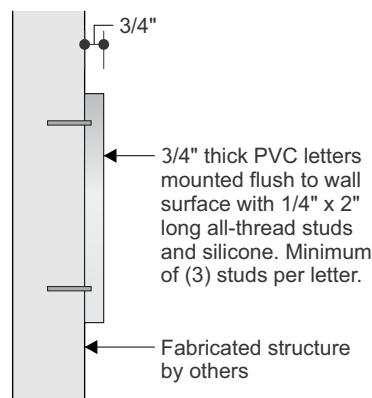
**COLORS & FINISHES**

- Brown (PMS 439C - outline)
- Blue (PMS 299C - bow, shirt, brooch)
- Flesh (PMS 698C - face, neck)
- Red (PMS 186C - hair, freckles)
- Dark Red (PMS 201C - hair outline)
- White (cameo face)





13.81 Sq Ft

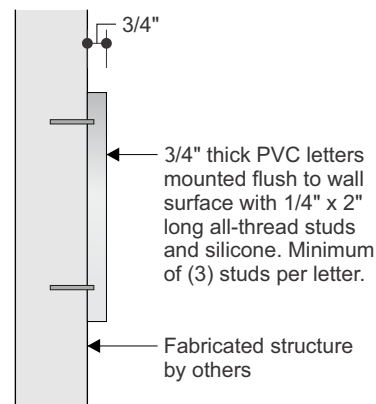
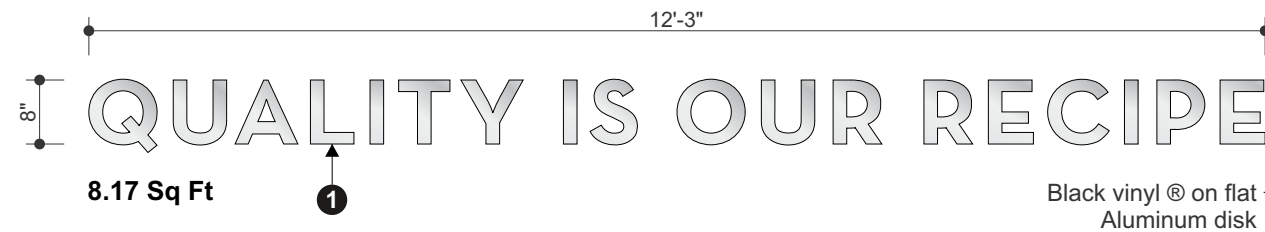


**MATERIALS**

- 1 3/4" Thick PVC letters

**COLORS & FINISHES**





**MATERIALS**

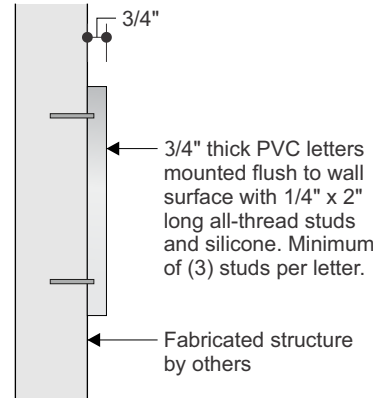
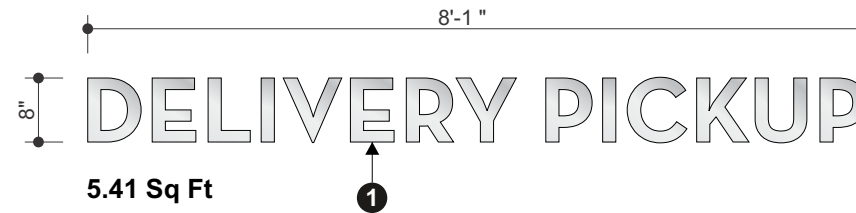
- ① 3/4" Thick PVC letters

**COLORS & FINISHES**

-  SW-7067 Cityscape
-  RAL9006 Silver

#	Date	Description	Initial
1	07/03/24	Various Revisions	JK
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-





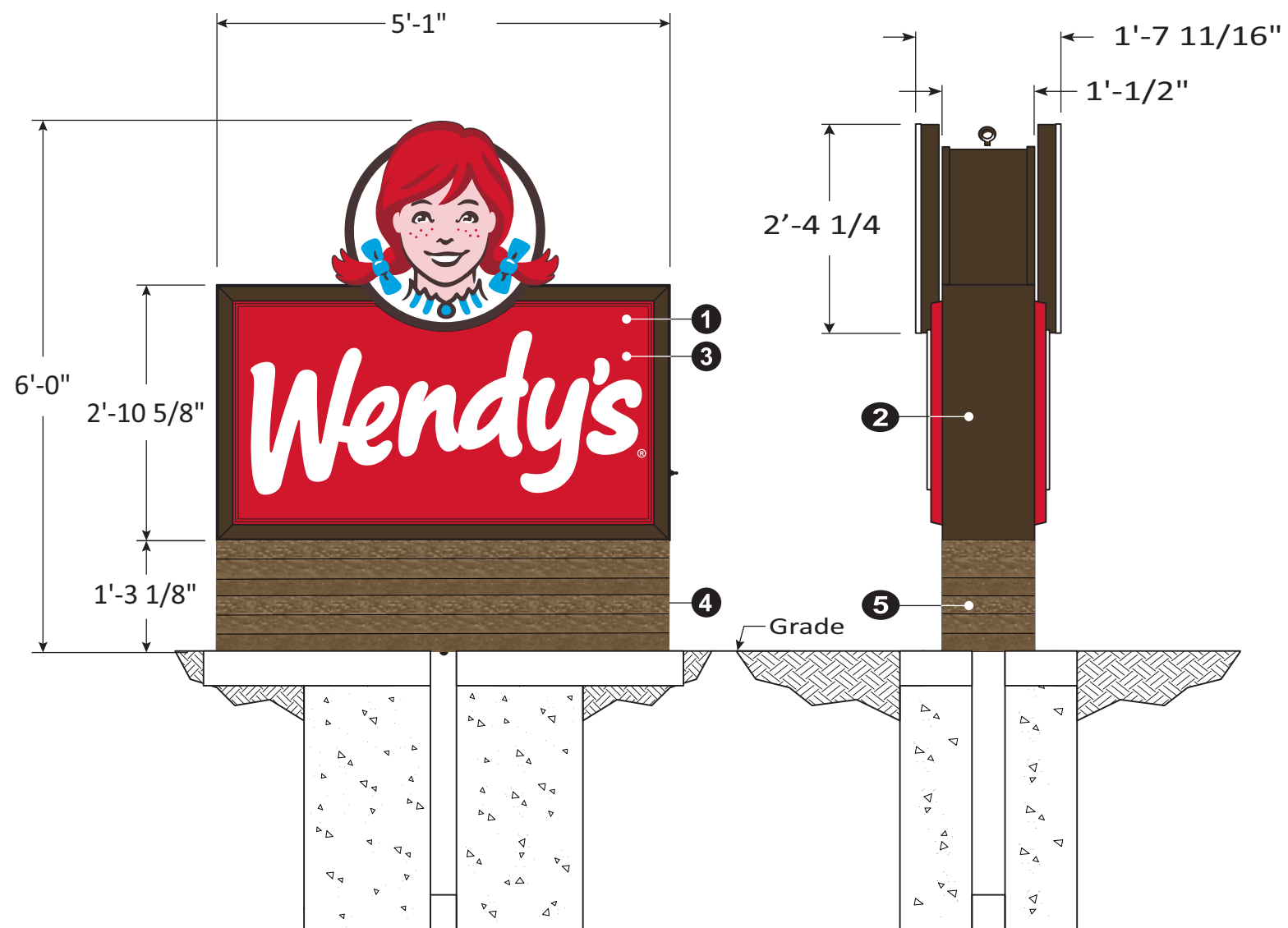
**MATERIALS**

- ① 3/4" Thick PVC letters

**COLORS & FINISHES**

- SW-7067 Cityscape
- RAL9006 Silver

#	Date	Description	Initial
1	07/03/24	Various Revisions	JK
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-



**MATERIALS**

- ① Illumination - white LEDs\*
- ② Cabinet - 12 1/2" deep extruded aluminum with 2 1/2" aluminum retainers
- ③ Face - (2) 1 3/4" deep thermoformed .177" acrylic with 1/2" deep embossed copy
- ④ 43 1/2" Schedule 40 sign pole stubbed out of sign 18" and shimmed to fit ground pole at 5'-1/4" long
- ⑤ Nichiha base by others

Requires (1) 20 amp circuit @ 120V/60Hz (all components UL listed)

Actual: 29.56 ft<sup>2</sup> | Nearest Rectangle: 40.29 ft<sup>2</sup>

- PMS 186c - hair, freckles
- PMS 201c - hair, outline
- PMS 698c - face, neck
- PMS 299c - bow, shirt, brooch
- PMS 439c - outline
- Dark Bronze ALC #313 - cover
- White

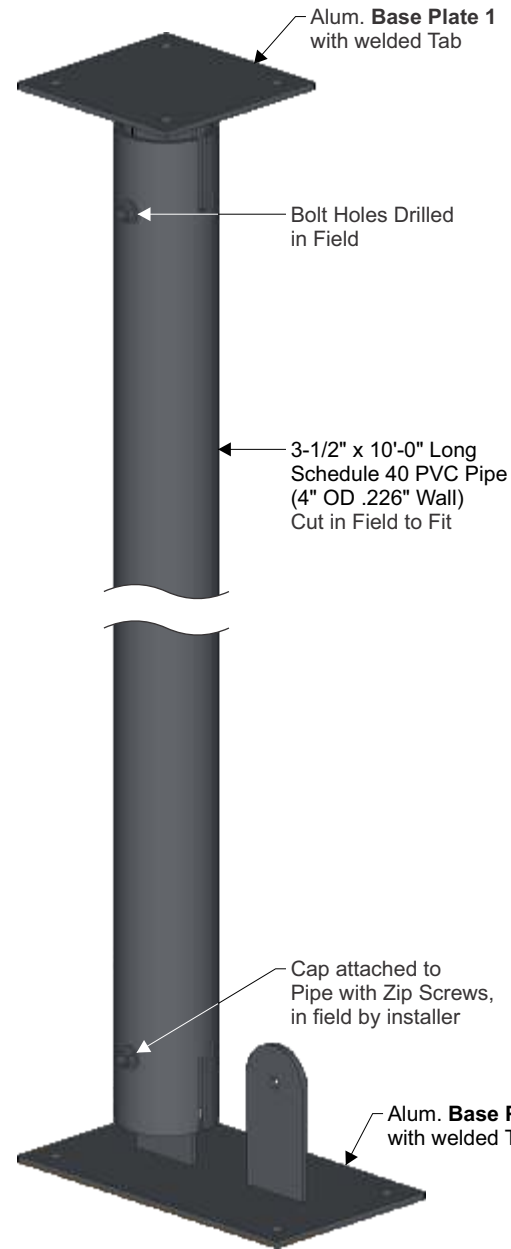
**Front Elevation**  
Scale: 1/8"=1'-0"

**30 Sq Ft**

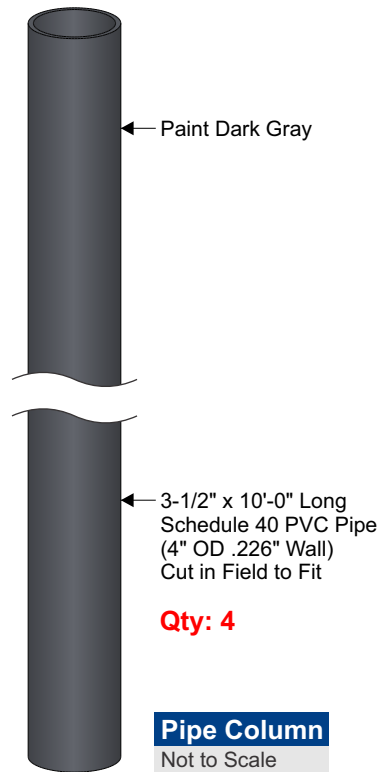


# "W" Entry Feature - VE

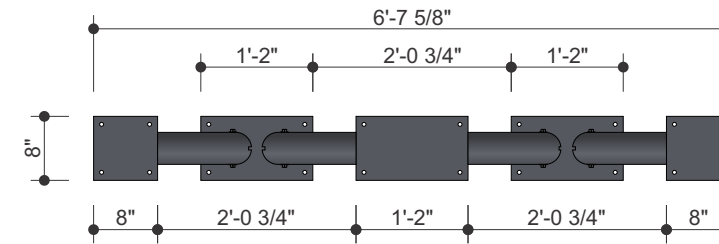
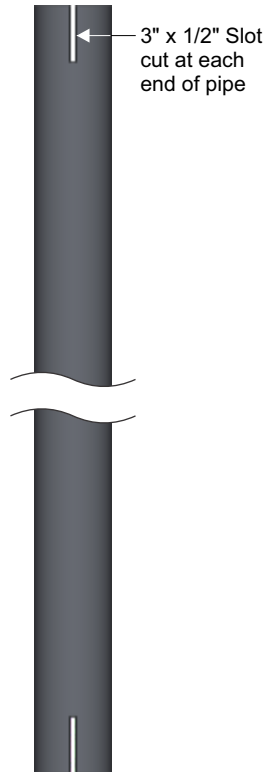
Non-Structural, Decorative



**Pipe Column Detail**  
Not to Scale



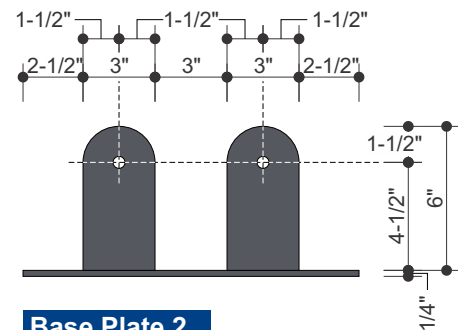
**Pipe Column**  
Not to Scale



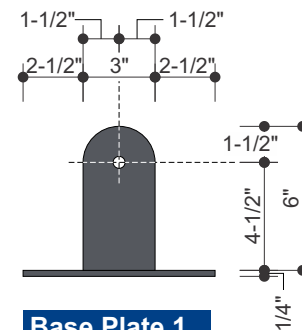
**Top Elevation**  
Scale: 1/2"=1'-0"

**Color Specifications**

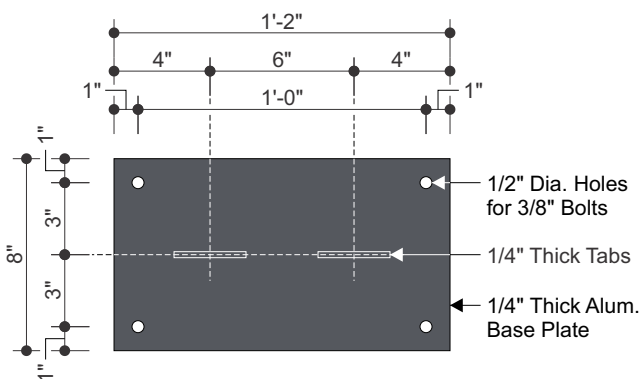
- Dark Gray Paint SW7674 "Peppercorn"



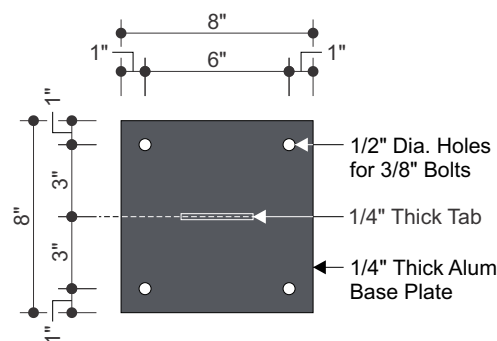
**Base Plate 2**  
Scale: 1-1/2"=1'-0"



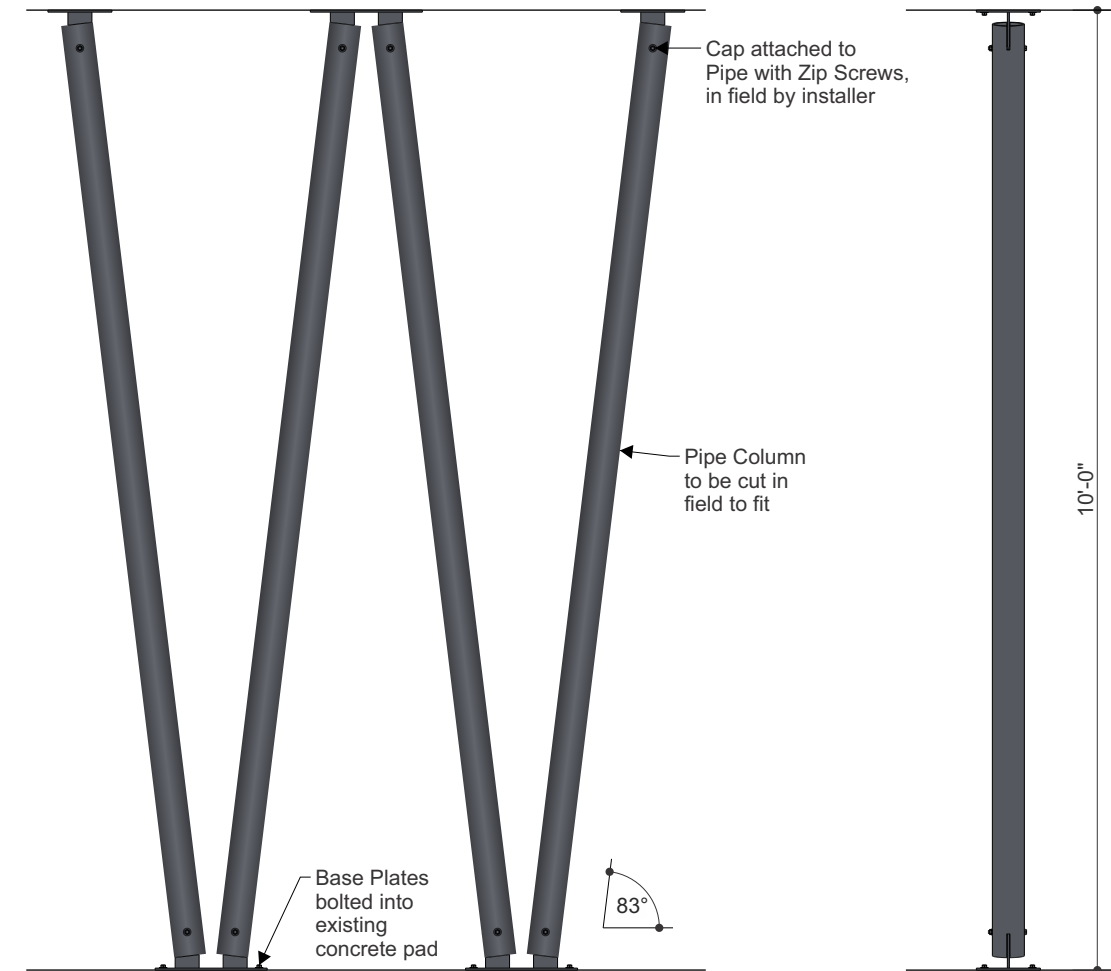
**Base Plate 1**  
Scale: 1-1/2"=1'-0"



**Base Plate 2** Qty: 3  
Scale: 1-1/2"=1'-0"



**Base Plate 1** Qty: 2  
Scale: 1-1/2"=1'-0"



**Front Elevation**  
Scale: 1/2"=1'-0"

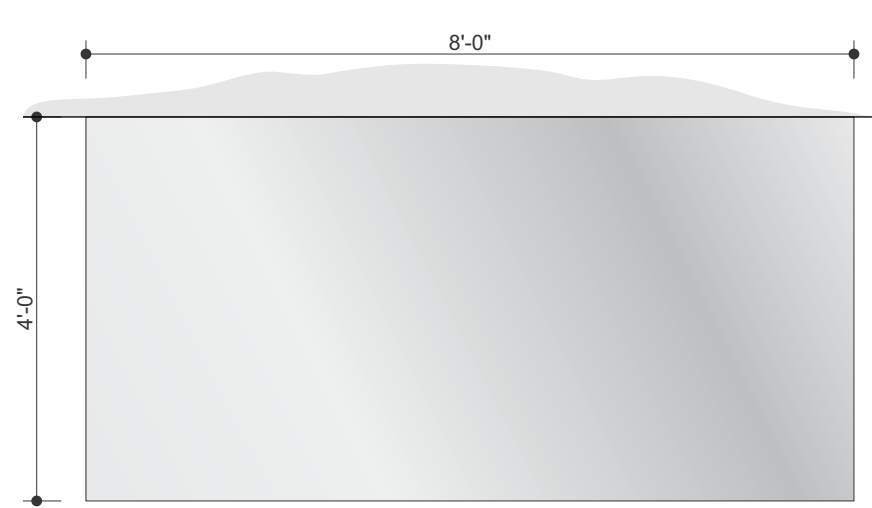
**Side Elevation**  
Scale: 1/2"=1'-0"

#	Date	Description
1	07/03/24	Various Revisions
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

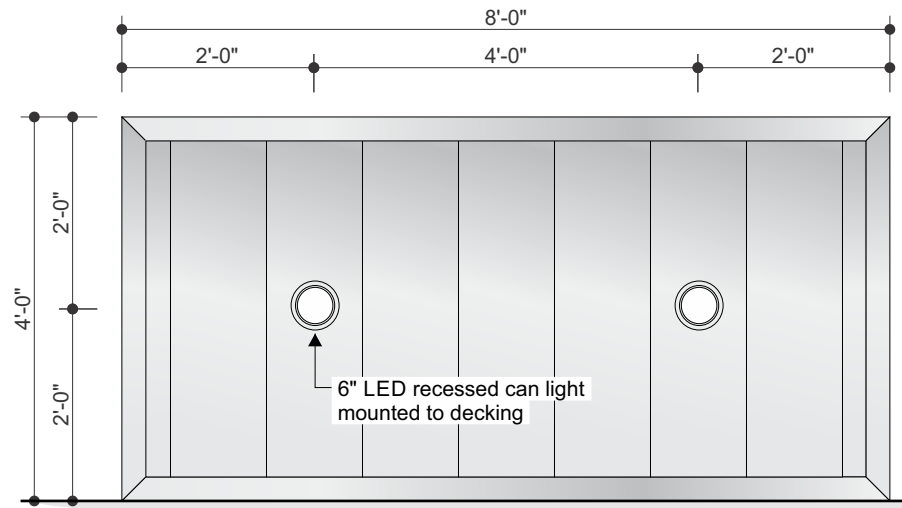
Initial	Client Review Status
JK	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____
-	Approval Date: _____

# Wendy's 8'-0" Silver Wall Canopy

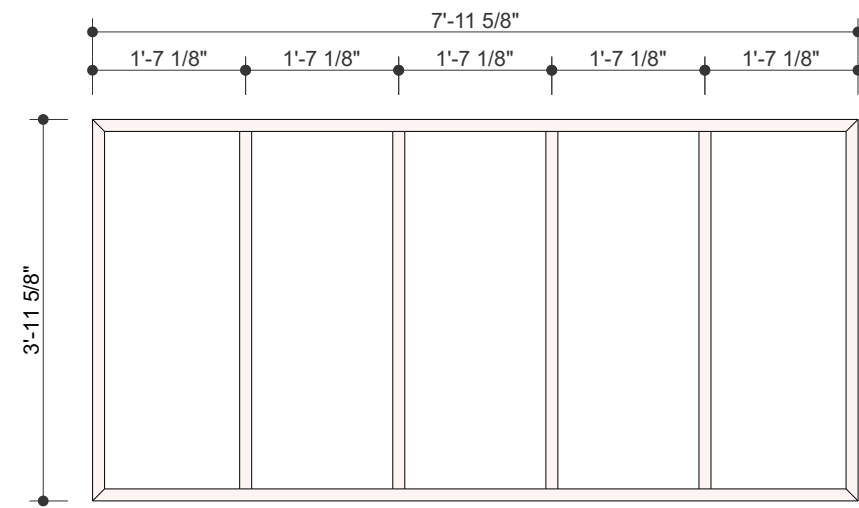
## Production Details



**Top View**  
Scale: 1/2"=1'-0"



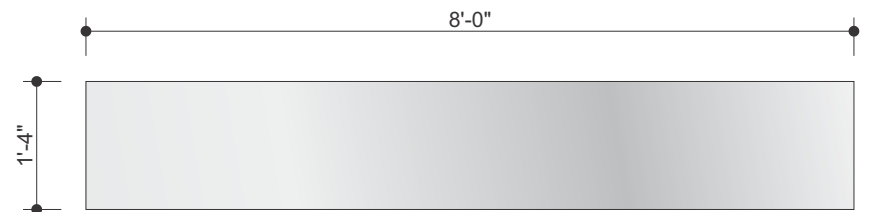
**Bottom View**  
Scale: 1/2"=1'-0"



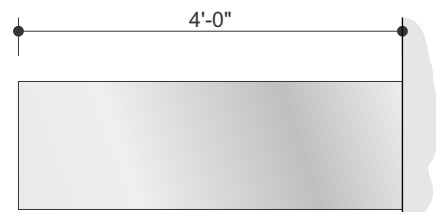
**Frame Top View**  
Scale: 1/2"=1'-0"

**Color Specifications**

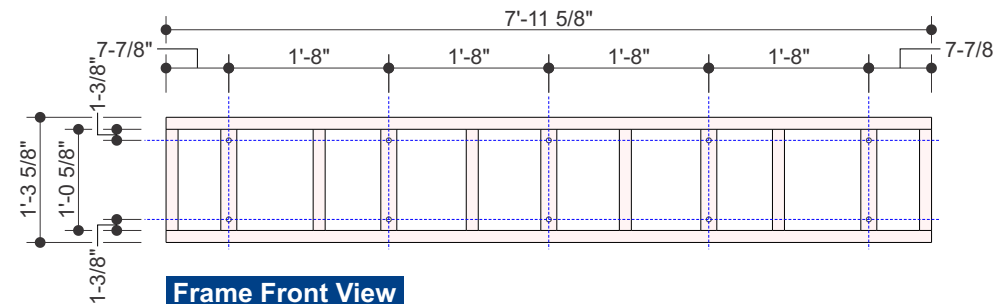
- Azko Nobel "Brushed Silver"
- Silver MICA MNC 4mm CLR



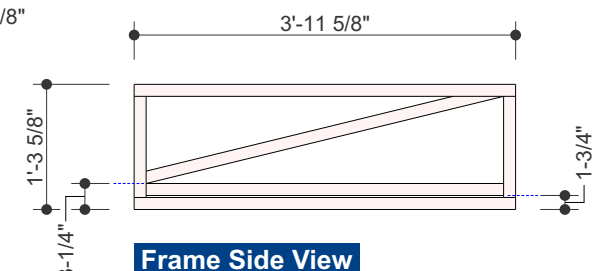
**Front View**  
Scale: 1/2"=1'-0"



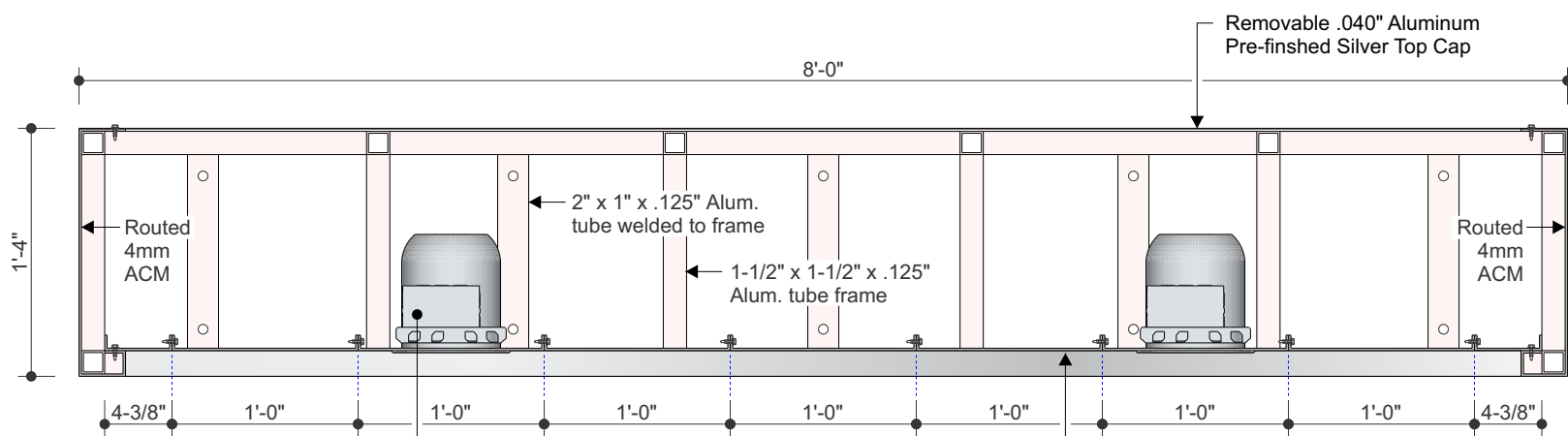
**Side View**  
Scale: 1/2"=1'-0"



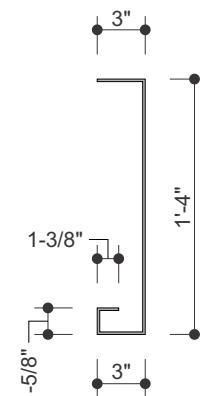
**Frame Front View**  
Scale: 1/2"=1'-0"



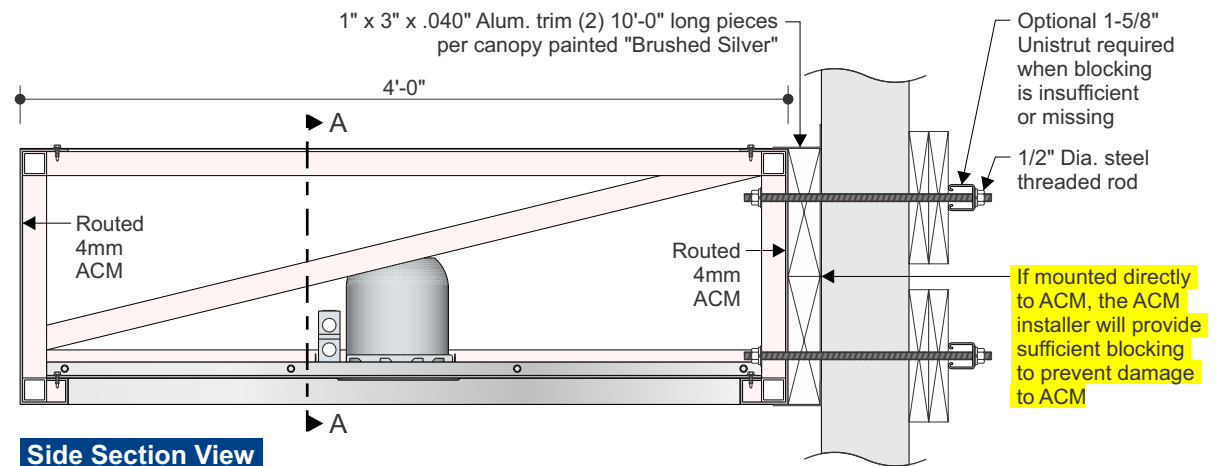
**Frame Side View**  
Scale: 1/2"=1'-0"



**Section View A-A**  
Scale: 1"=1'-0"



**Front, Side & Rear ACM**  
Scale: 1"=1'-0"



**Side Section View**  
Scale: 1"=1'-0"

If mounted directly to ACM, the ACM installer will provide sufficient blocking to prevent damage to ACM



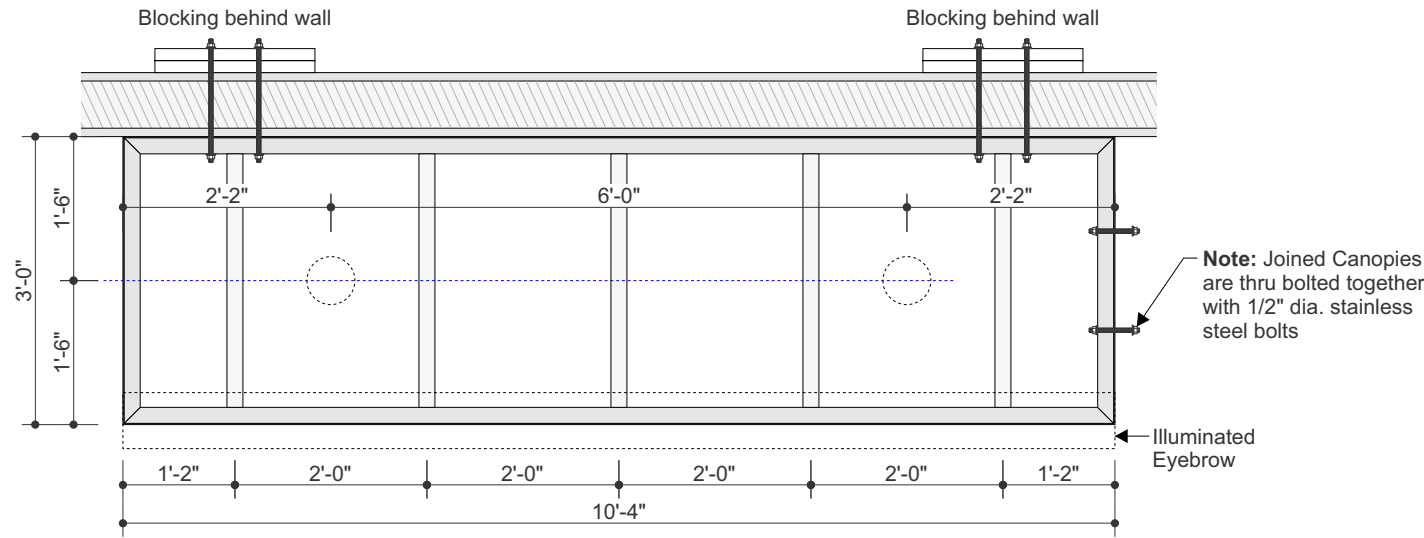


# Custom Entrance Canopy

Production Details

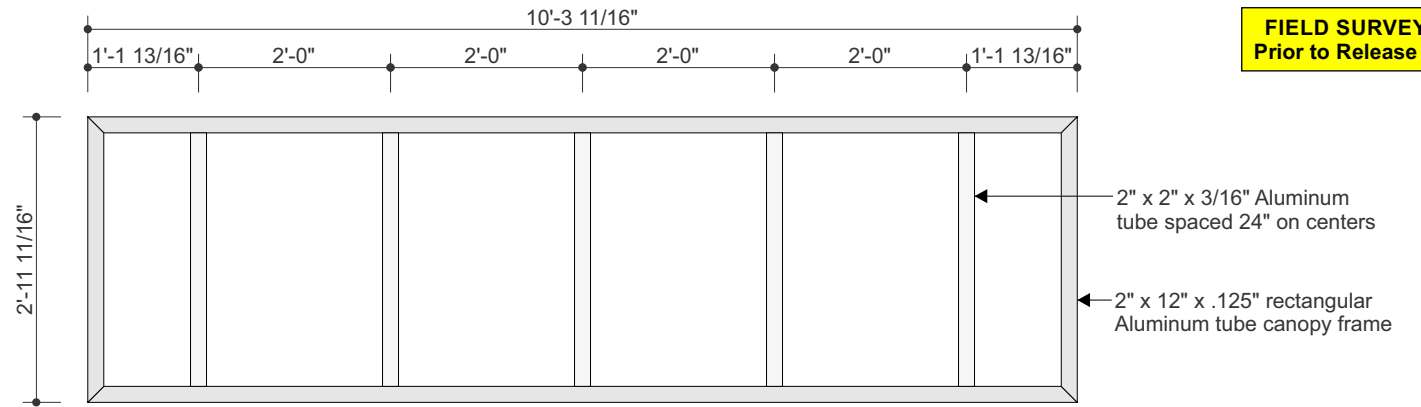
Quantity: 5

**FIELD SURVEY REQUIRED**  
Prior to Release to Production



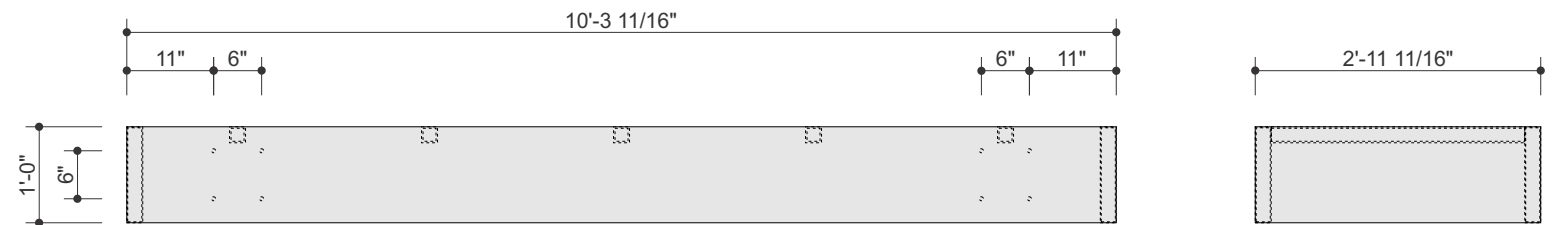
**Top View Detail - Typical**

Scale: 1/2"=1'-0"



**Frame Top View**

Scale: 1/2"=1'-0"



**Frame Front View**

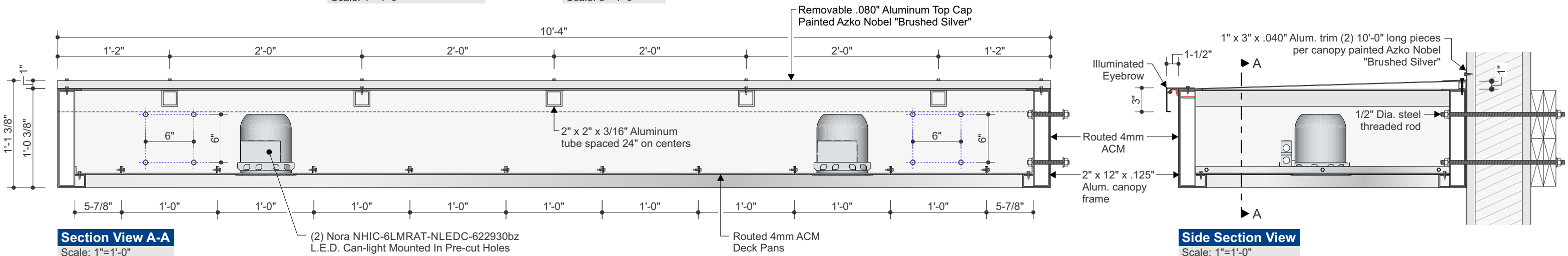
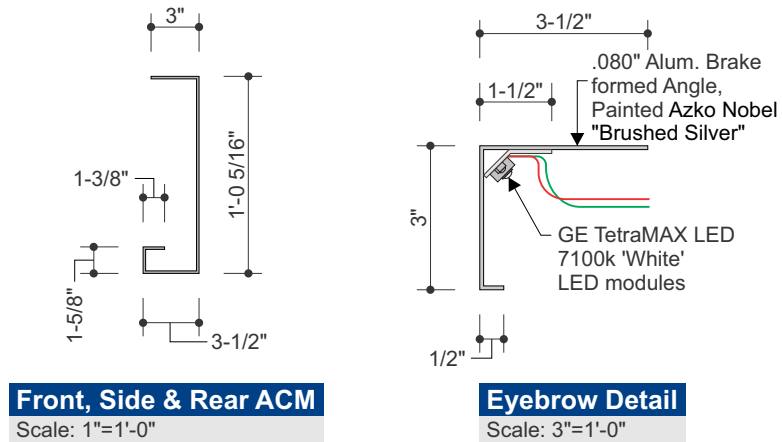
Scale: 1/2"=1'-0"

**Frame Side View**

Scale: 1/2"=1'-0"

**Color Specifications**

- Azko Nobel "Brushed Silver"
- Silver MICA MNC 4mm CLR



**Allen Industries** FILE NUMBER: E212503

Listed MET E212503 Electric Sign Complies with UL48

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**GROUNDING ELECTRICAL CONNECTIONS**

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Client: **Wendy's #14368**  
Address: **145 North Geneva Road Vineyard, UT 84059**

Date:	Estimate #:	Job #:	Page #:
06/18/24	E17358	-	14 of 18
File Name: <b>WEN-E17358_Vineyard, UT_201</b>			
Sales:	Design:	PM:	
House	PN	NS	

#	Date	Description
1	07/03/24	Various Revisions
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

Initial	Client Review Status
JK	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____ Approval Date: _____

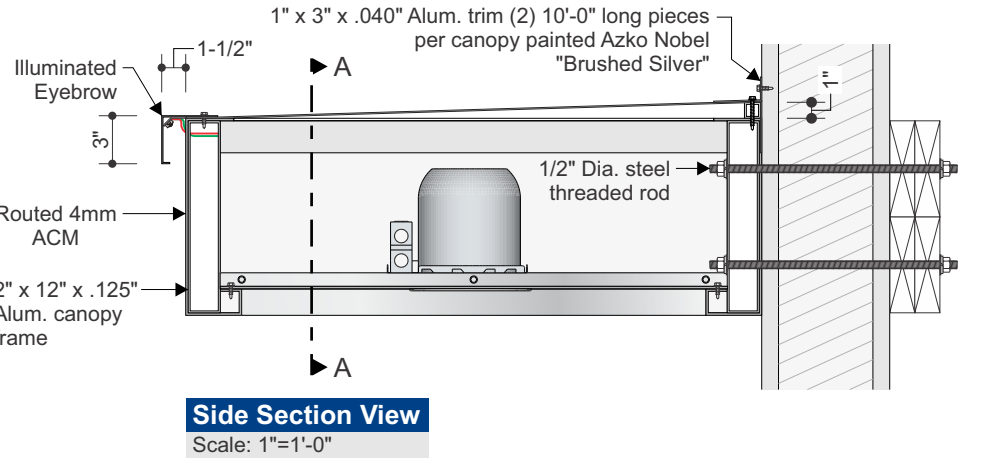
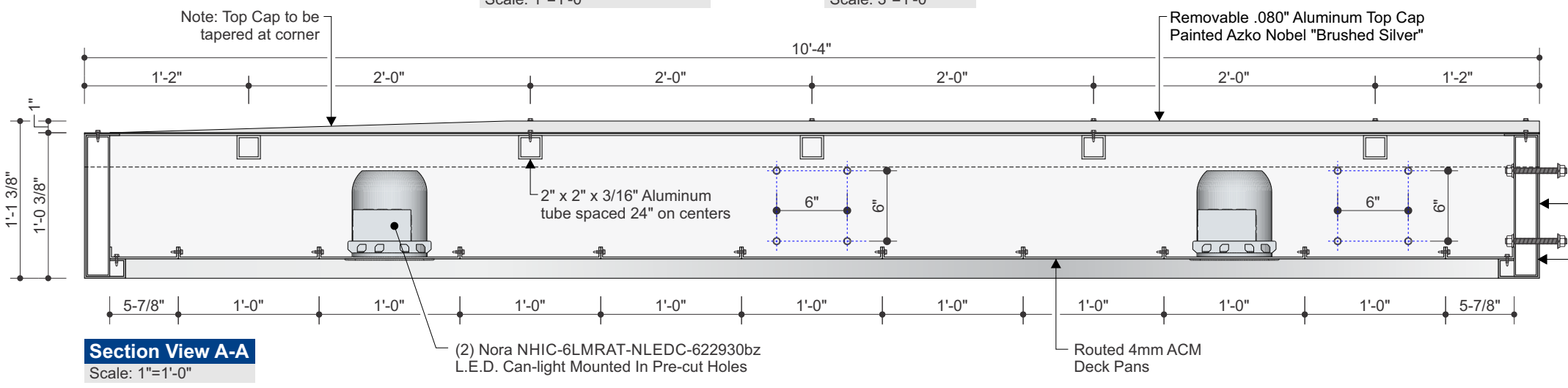
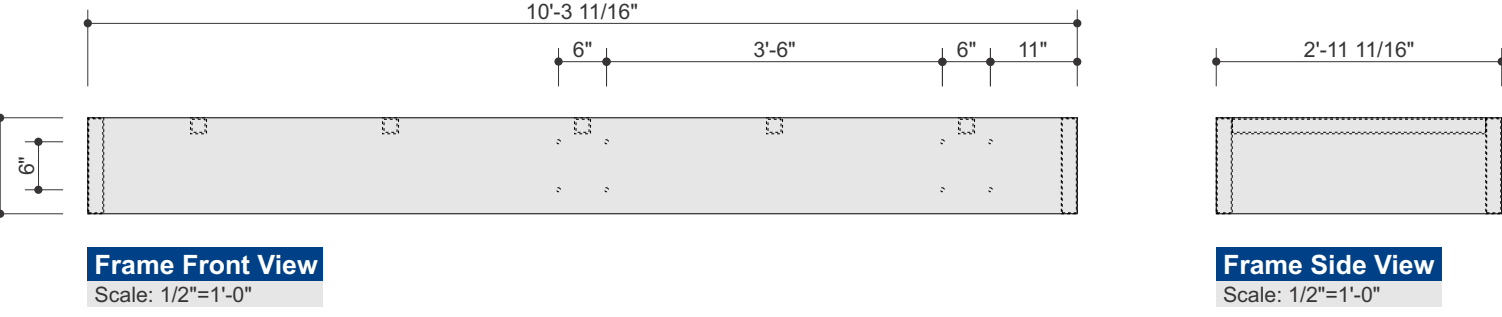
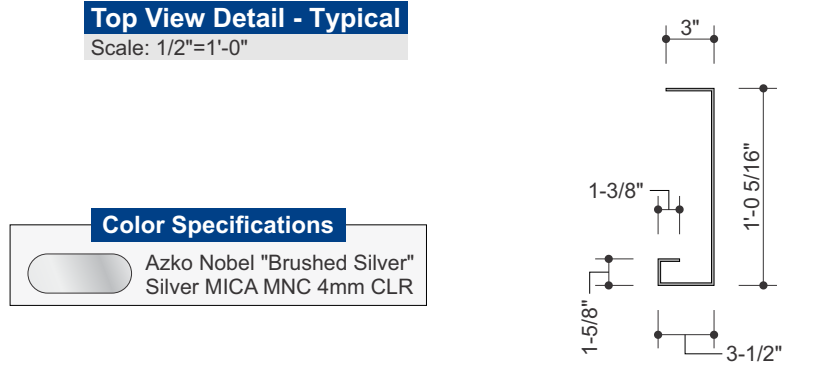
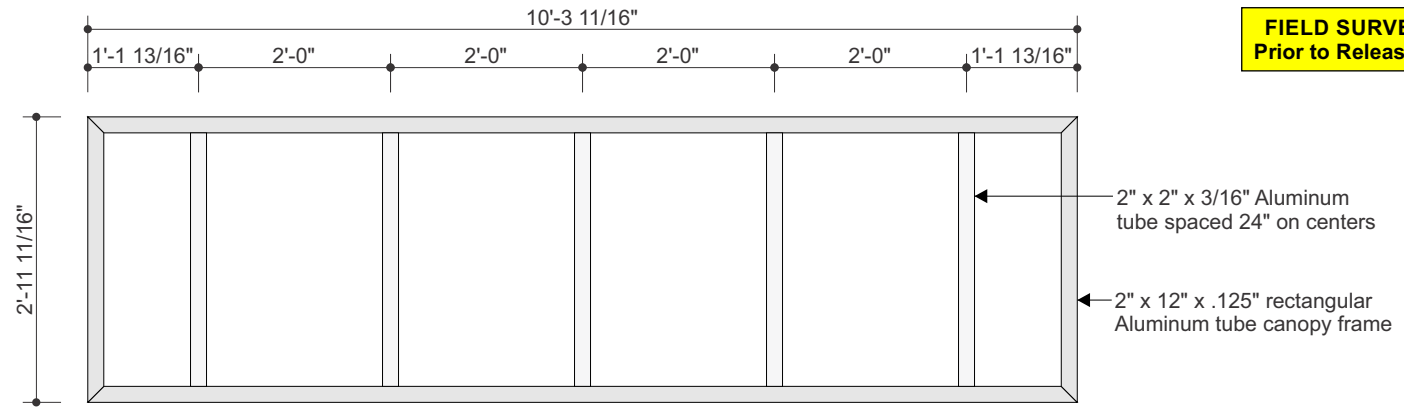
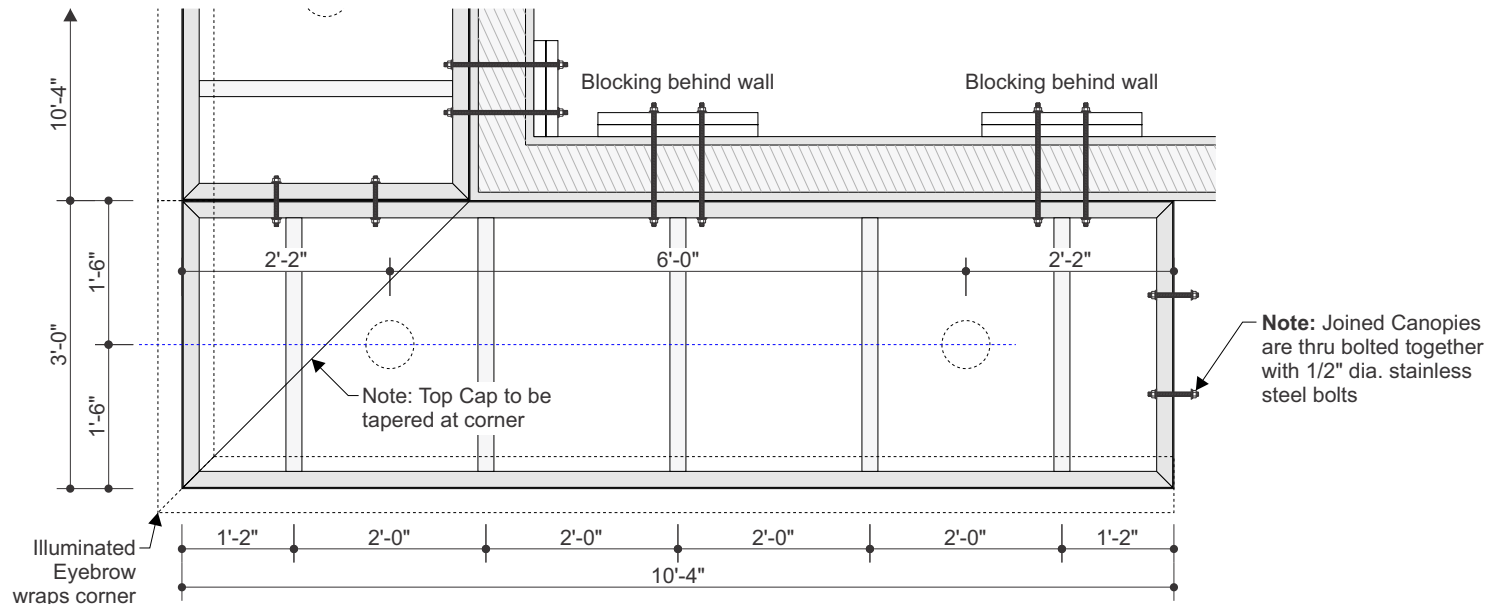


# Custom Corner Canopy

Production Details

Quantity: 1

**FIELD SURVEY REQUIRED**  
Prior to Release to Production



**Allen Industries** FILE NUMBER: E212503

**Electric Sign** Complies with **UL48**

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

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**Client:**  
Wendy's  
#14368

**Address:**  
145 North Geneva Road  
Vineyard, UT 84059

**Date:** 06/18/24  
**Estimate #:** E17358  
**Job #:** -  
**Page #:** 15 of 18

**File Name:**  
WEN-E17358\_Vineyard, UT\_201

**Sales:** House  
**Design:** PN  
**PM:** NS

#	Date	Description	Initial
1	07/03/24	Various Revisions	JK
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

**Client Review Status**  
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

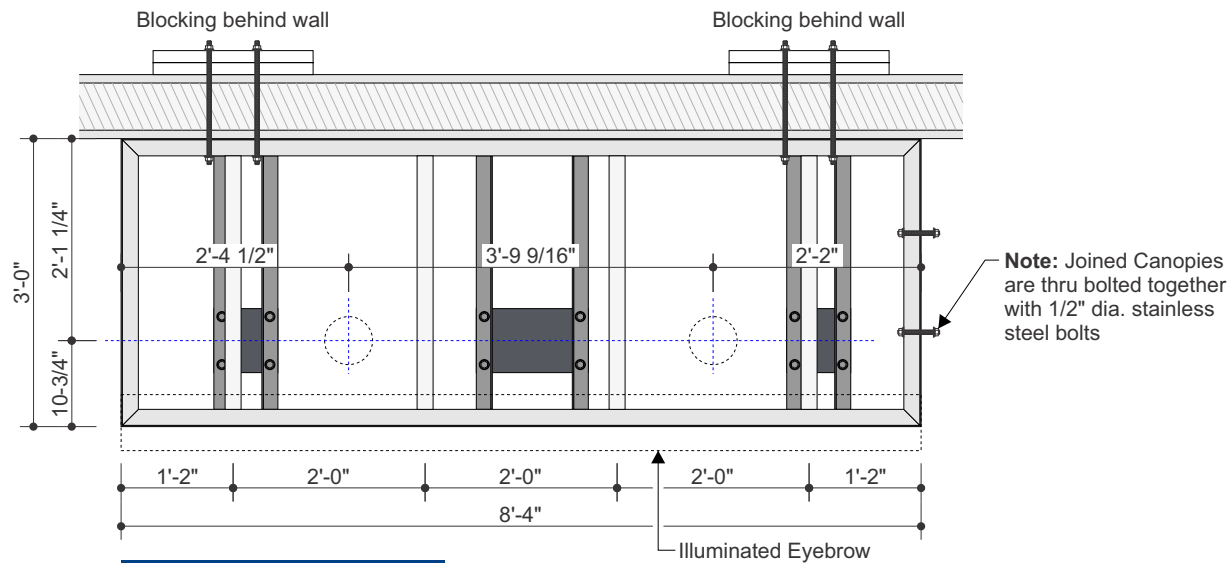
Client Signature: \_\_\_\_\_ Approval Date: \_\_\_\_\_

# Custom Right End Canopy

Production Details

Quantity: 1

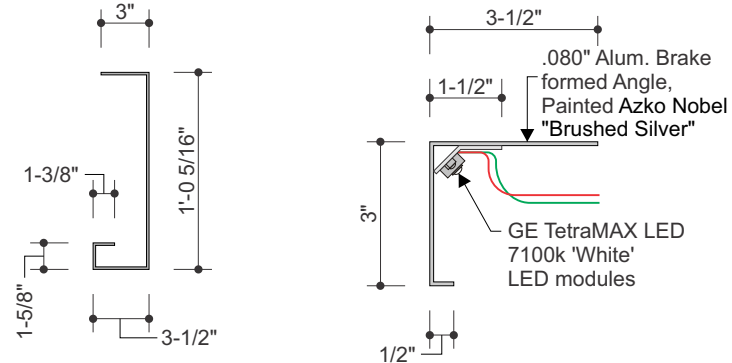
**FIELD SURVEY REQUIRED**  
Prior to Release to Production



**Top View Detail - Typical**  
Scale: 1/2"=1'-0"

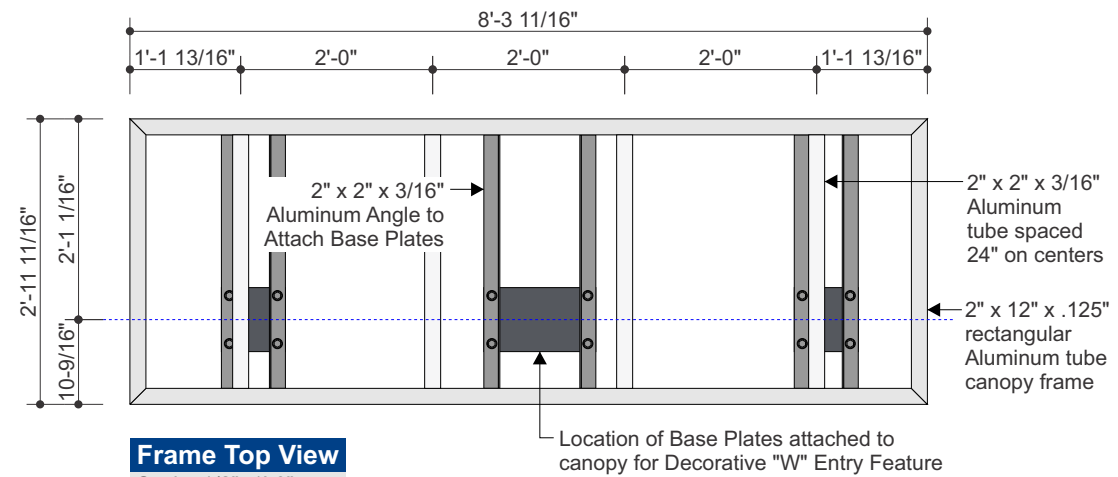
**Color Specifications**

Azko Nobel "Brushed Silver"  
Silver MICA MNC 4mm CLR

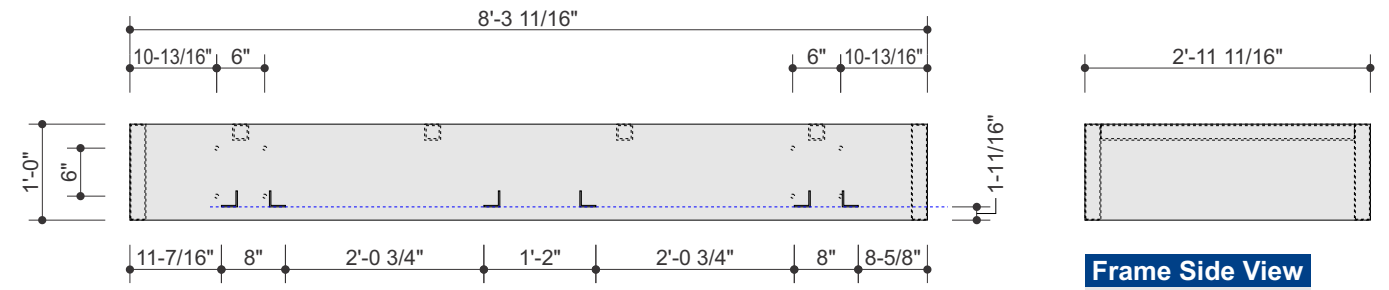


**Front, Side & Rear ACM**  
Scale: 1"=1'-0"

**Eyebrow Detail**  
Scale: 3"=1'-0"

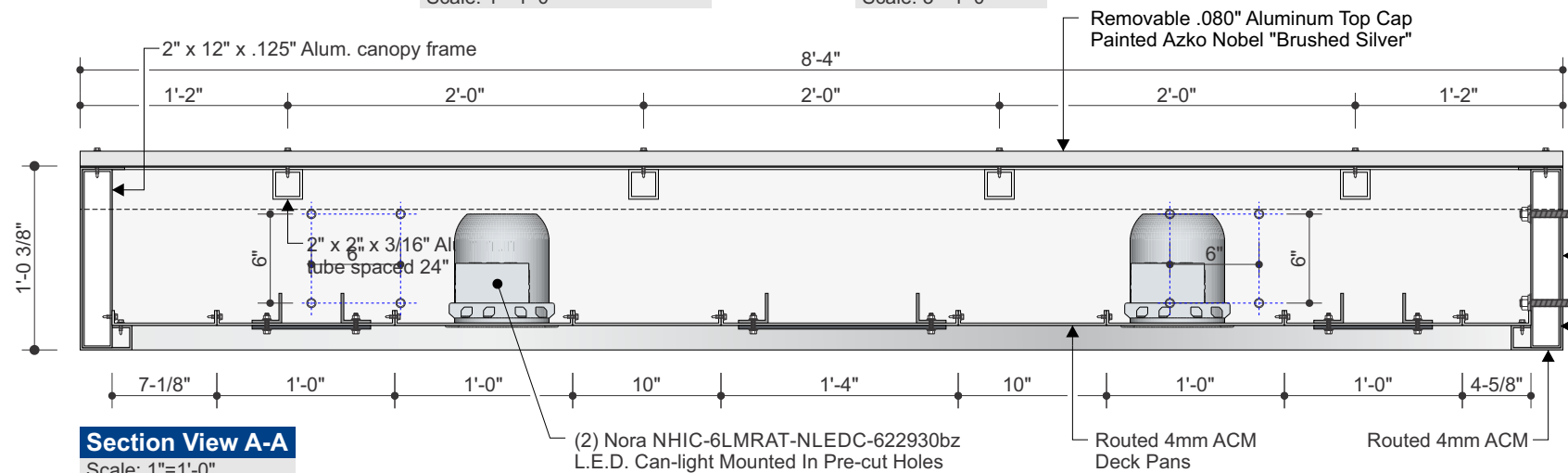


**Frame Top View**  
Scale: 1/2"=1'-0"

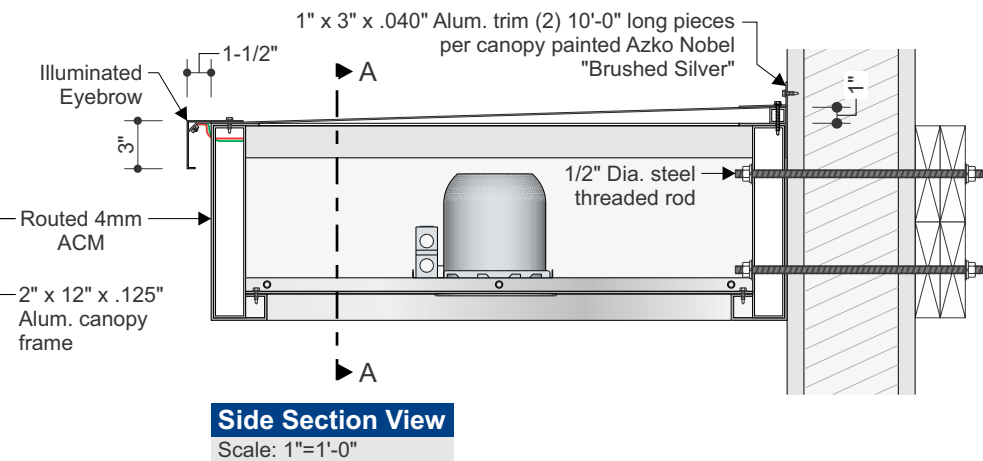


**Frame Front View**  
Scale: 1/2"=1'-0"

**Frame Side View**  
Scale: 1/2"=1'-0"



**Section View A-A**  
Scale: 1"=1'-0"



**Side Section View**  
Scale: 1"=1'-0"

**Allen Industries** FILE NUMBER: E212503

Listed MET E212503 Electric Sign Complies with UL48

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Client: **Wendy's #14368**  
Address: **145 North Geneva Road, Vineyard, UT 84059**

Date: <b>06/18/24</b>	Estimate #: <b>E17358</b>	Job #: <b>-</b>	Page #: <b>16 of 18</b>
File Name: <b>WEN-E17358_Vineyard, UT_201</b>			
Sales: <b>House</b>	Design: <b>PN</b>	PM: <b>NS</b>	

#	Date	Description
1	07/03/24	Various Revisions
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

Initial	Client Review Status
JK	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____
-	Approval Date: _____

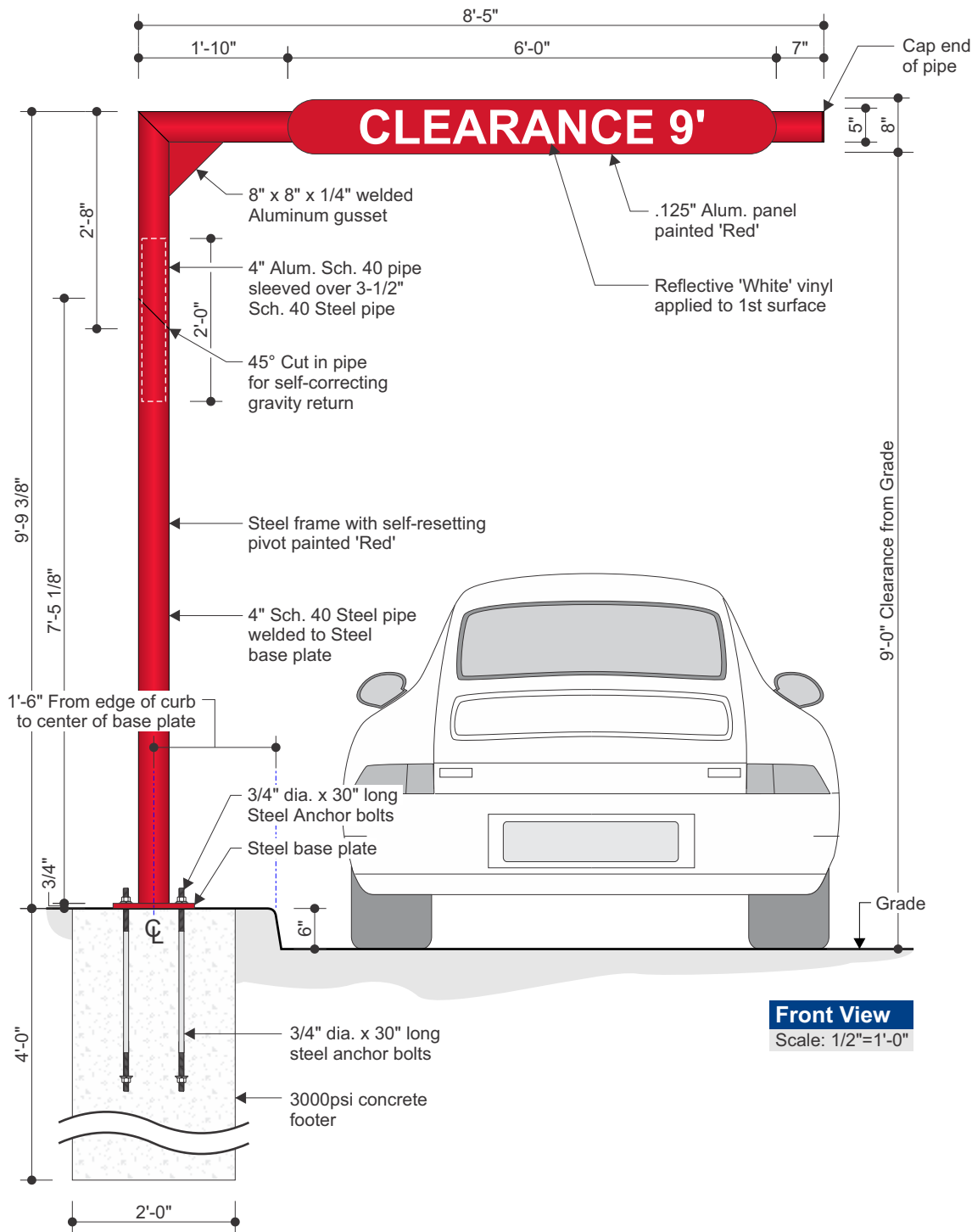


# Clearance Bar

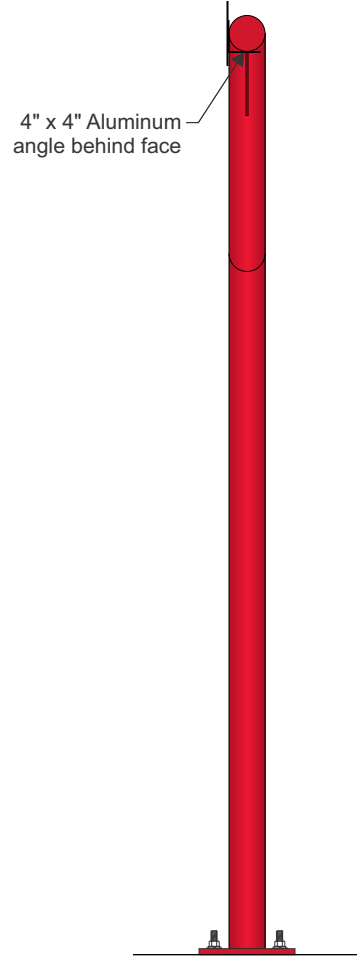
## Production Details



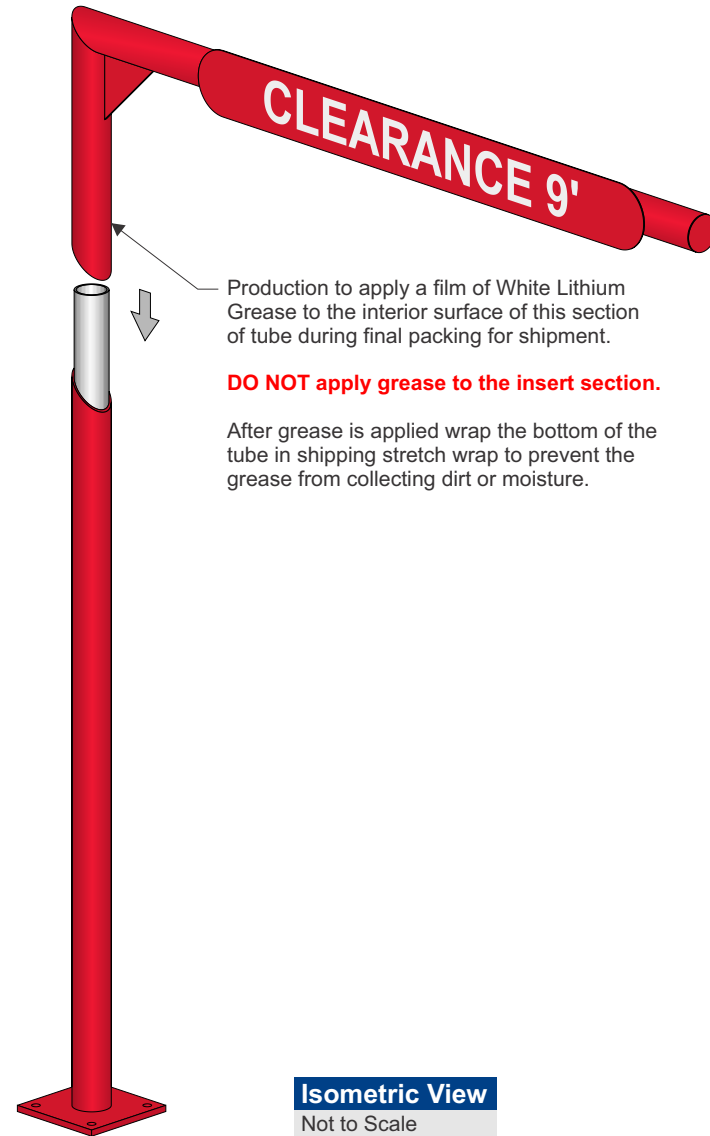
**Plan View**  
Scale: 1/2"=1'-0"



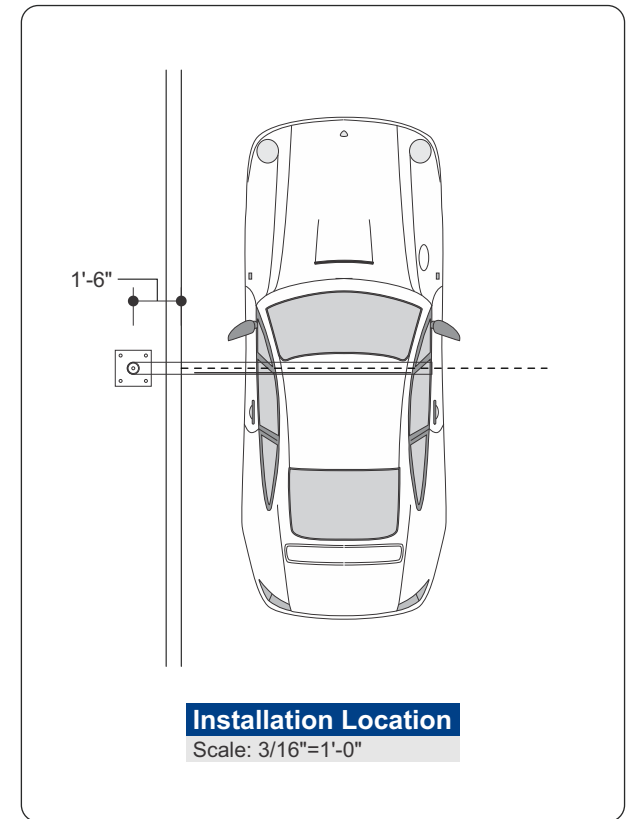
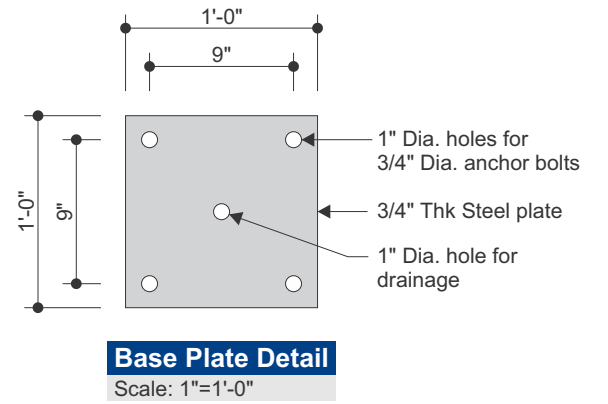
**Front View**  
Scale: 1/2"=1'-0"



**Side View**  
Scale: 1/2"=1'-0"

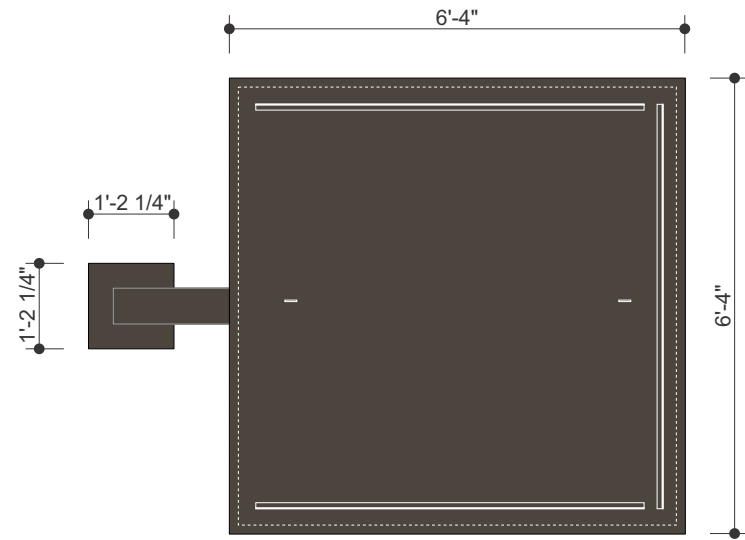


**Isometric View**  
Not to Scale



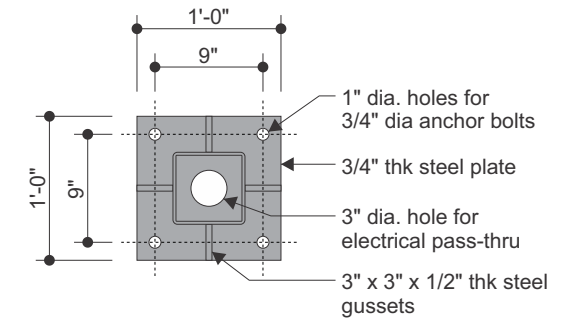
**Color Specifications**

- Paint: Akzo Nobel to match PMS 186C 'Red'
- Vinyl: 3M 5100-10 'White' Reflective

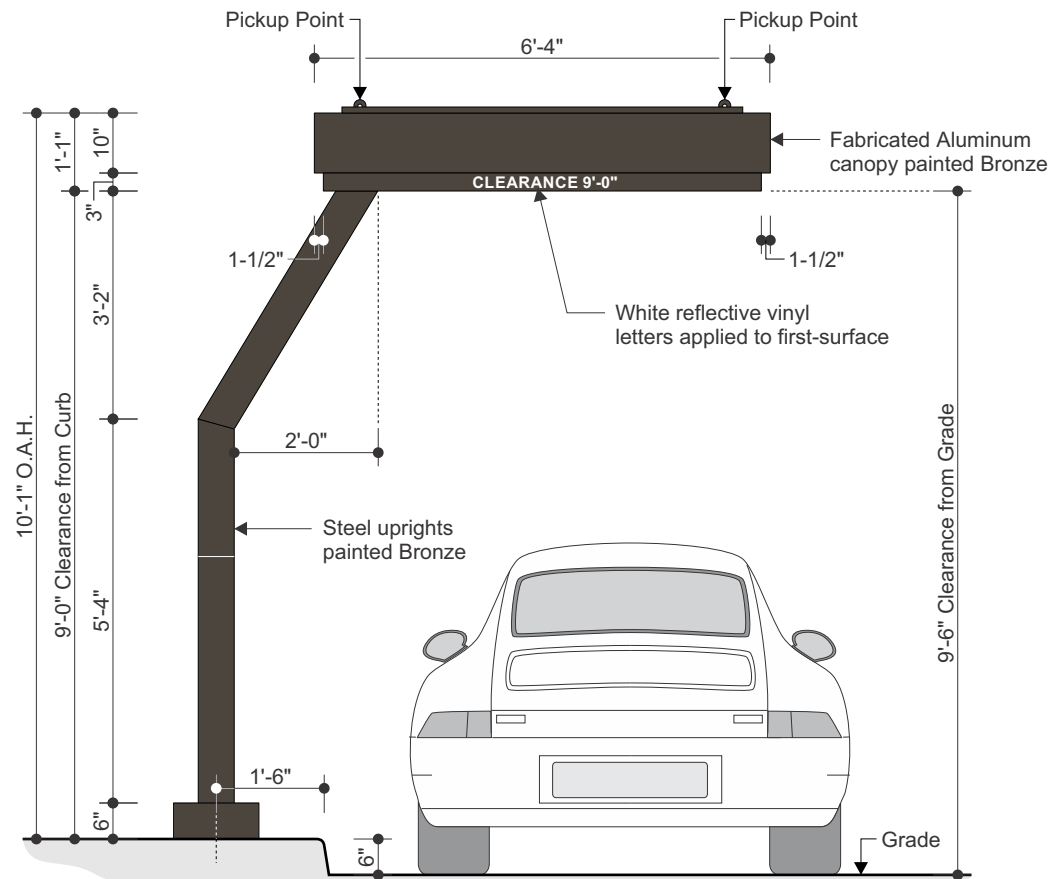


**Top View**  
Scale: 3/8"=1'-0"

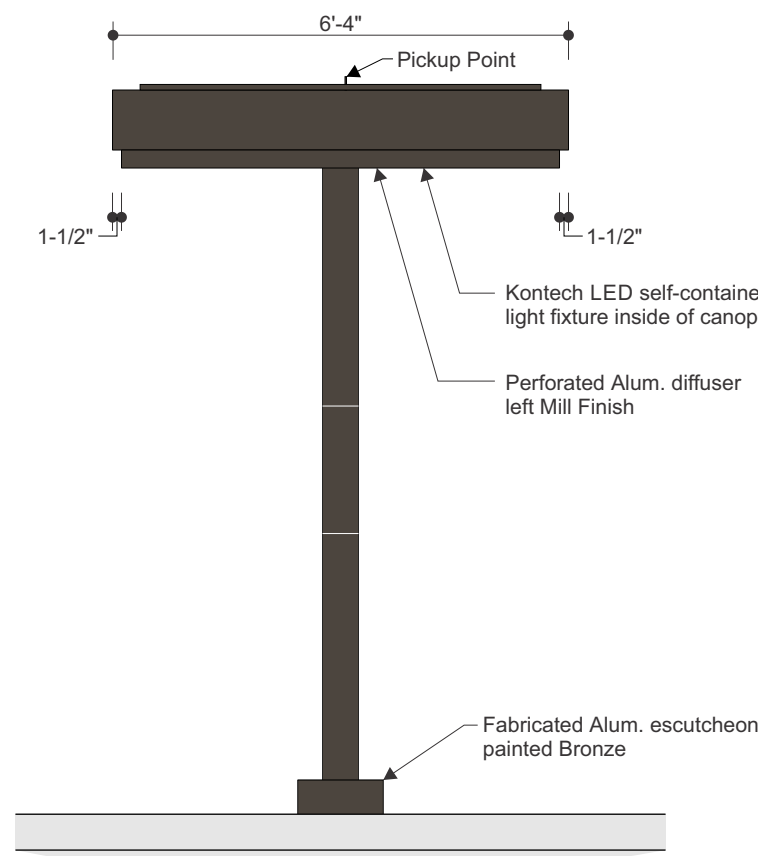
Color Specifications	
Paint	Akzo Nobel to match Alcoa Reynolux "Classic Bronze"
Vinyl	3M 5100-10 'White' Reflective



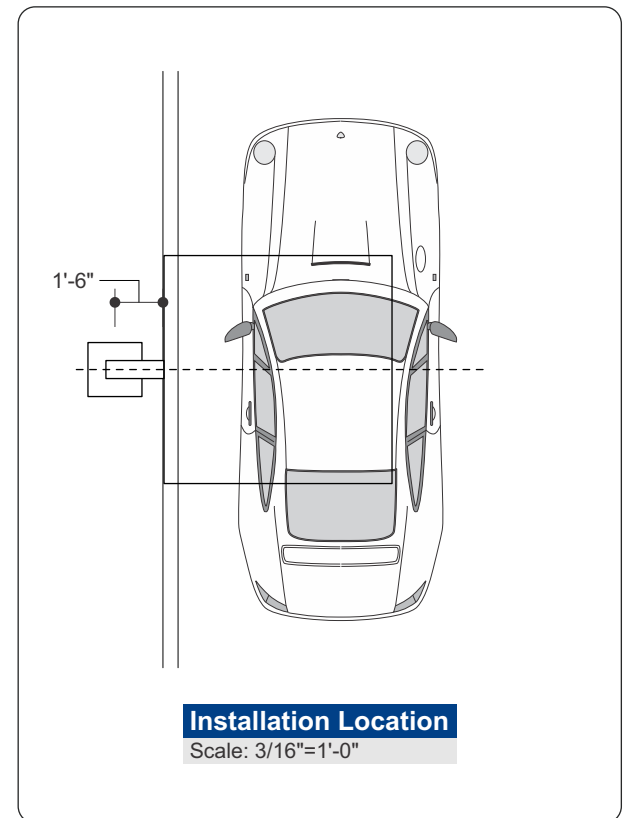
**Base Plate Detail**  
Scale: 3/4"=1'-0"



**Approach View**  
Scale: 3/8"=1'-0"



**End View**  
Scale: 3/8"=1'-0"



**Installation Location**  
Scale: 3/16"=1'-0"

**Allen Industries**  
FILE NUMBER: E212503

Listed MET E212503 Electric Sign Complies with UL48

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**GROUNDING ELECTRICAL CONNECTIONS**

#	Date	Description
1	07/03/24	Various Revisions
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

Initial	Client Review Status
JK	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
-	Client Signature: _____
-	Approval Date: _____





## VINEYARD PLANNING COMMISSION STAFF REPORT

**Meeting Date:** October 2, 2024

**Agenda Item:** Public Hearing: Rezone of Lot 6545 (New Fire Station Lot) in the Cottonwoods Neighborhood from R-1-8 to Public Facilities (Ordinance 2024-14)

**Department:** Community Development Department

**Presenter:** Cache Hancey

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### **Background/Discussion:**

Due to the use of this lot changing from residential to public use for the fire station, staff has proposed that this property be zoned to Public Facilities. The Public Facilities zone currently encompasses all civic lots, such as city hall, the public works yard, and all educational facilities. Due to the unique nature of the detached garage, its height would require additional setbacks on the west side than what has been approved on the site plan. With a rezone to public facilities, that will no longer be an issue. Because the property to the west is the Rocky Mountain Power corridor, there are minimal impacts from the increased height of the detached garage.

In the future, if the fire station is converted back to residential use, the city will need to rezone the property back to the original zoning. All existing structures would remain.

### **Fiscal Impact:**

No fiscal impact is related to this rezone.

### **Recommendation:**

Staff recommends approval of the rezone.

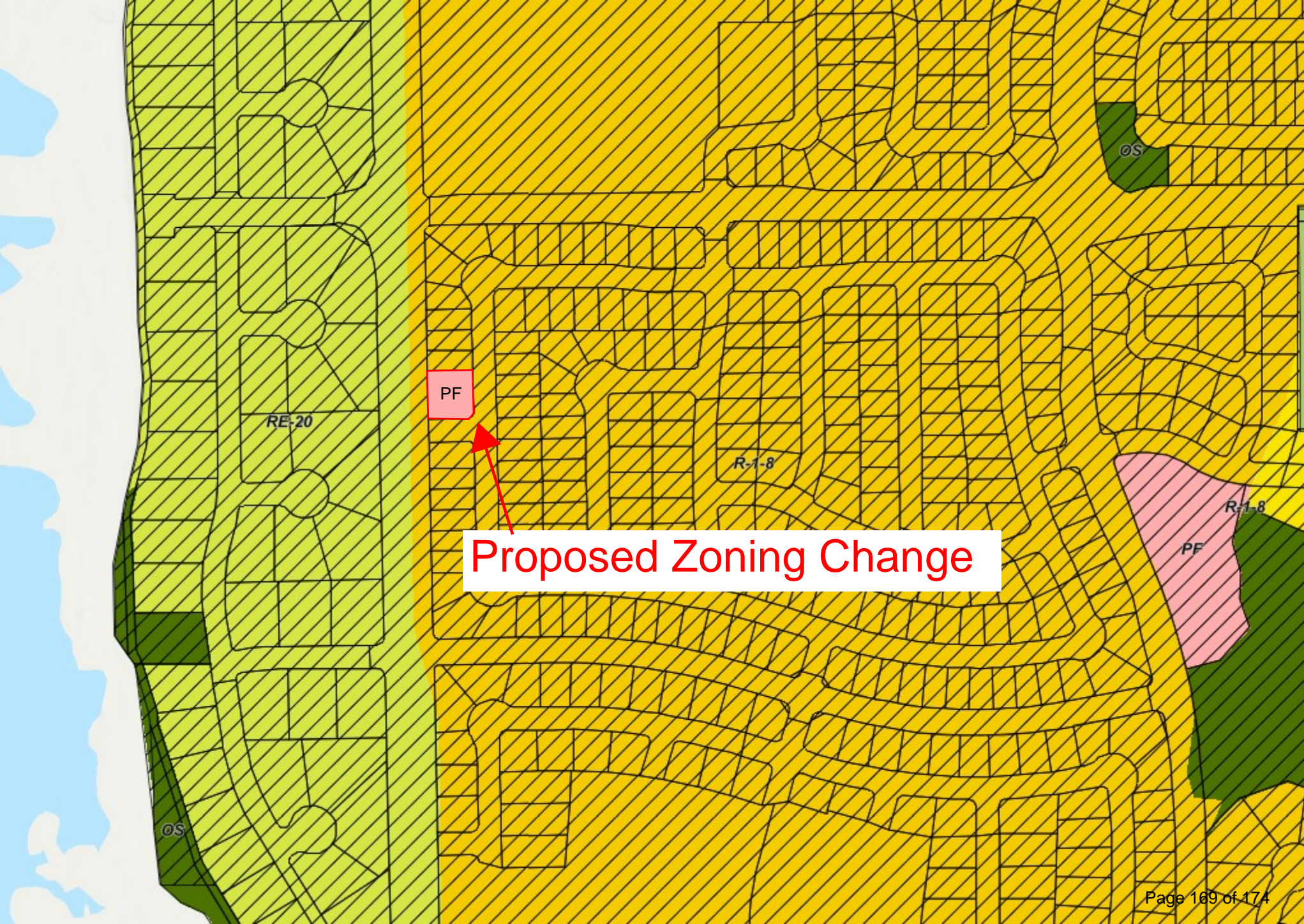
### **Sample Motion:**

"I move to approve the city-initiated application to rezone Lot 6545 (New Fire Station Lot) in the Cottonwoods Neighborhood from R-1-8 to Public Facilities"

### **Attachments:**

1. Fire Station Zoning Map
2. Ordinance 2024-14





PF

RE-20

R-1-8

OS

R-1-8

PF

OS

Proposed Zoning Change



**VINEYARD  
ORDINANCE 2024-14**

**AN ORDINANCE OF THE CITY OF VINEYARD, UTAH, AMENDING THE  
VINEYARD ZONING ORDINANCE SECTION 3.15.12 ESTABLISHMENT OF  
DISTRICTS AND ZONING TABLES**

**WHEREAS**, Title 10, Chapter 9a Municipal Land Use, Development, and Management Act of the Utah Municipal Code, permits Vineyard to ensure the health, safety and welfare of the community through local land use planning and the adoption of land use ordinances; and

**WHEREAS**, Vineyard is authorized to amend the City's Zoning Ordinance pursuant to Utah Municipal Code 10-9a-102(2); and

**WHEREAS**, the Planning Commission held a public hearing on October 2, 2024 and after fully considering public comment and staff recommendations, recommended approval to the Vineyard City Council; and

**WHEREAS**, the Vineyard City Council, having reviewed the proposed text amendments, held a public hearing on October 9, 2024; and

**WHEREAS**, the Vineyard City Council having considered the recommendation of the Planning Commission and submitted comments and testimony from the public, having determined that it is in the best interest of the public and adopt the proposed text amendments to the Zoning Ordinance.

**NOW THEREFORE**, be it ordained by the Council of the Vineyard, in the State of Utah, as follows:

**SECTION 1:**        **AMENDMENT** “15.12.040 Vineyard Zoning Map” of the Vineyard Zoning Code is hereby *amended* as follows:

AMENDMENT

15.12.040 Vineyard Zoning Map

1. The boundaries of these zoning districts are established as shown in the official Vineyard Zoning Map adopted by the Vineyard City Council, as amended, which map is made a part of this ordinance.

Unless otherwise designated on the zoning map, district boundary lines are lot lines; the centerlines of streets, alleys, railroad rights of way, municipal corporate lines; or other lines drawn to scale on the zoning map.

Where a lot is divided at the effective date hereof, or by subsequent amendments, by a zoning district boundary line, the less restrictive zoning requirements may be extended not more than twenty-five feet (25') into the more restrictive zoning district adjacent to the zoning district boundary line.

Interpretation of the exact location of a zone district boundary shall be resolved by the commission, by reference to the zoning map of the city.

Zoning Map





**SECTION 2: REPEALER CLAUSE** All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

**SECTION 3: SEVERABILITY CLAUSE** Should any part or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinances a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

**SECTION 4: EFFECTIVE DATE** This Ordinance shall be in full force and effect from October 9, 2024 and after the required approval and publication according to law.

PASSED AND ADOPTED BY THE VINEYARD COUNCIL

\_\_\_\_\_.

	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Mayor Julie Fullmer	_____	_____	_____	_____
Sara Cameron	_____	_____	_____	_____
Jacob Holdaway	_____	_____	_____	_____
Amber Rasmussen	_____	_____	_____	_____
Mardi Sifuentes	_____	_____	_____	_____

Presiding Officer

Attest

\_\_\_\_\_  
Julie Fullmer, Mayor, Vineyard

\_\_\_\_\_  
Pamela Spencer, City Recorder,  
Vineyard





VINEYARD PLANNING COMMISSION STAFF REPORT

**Meeting Date:** October 2, 2024

**Agenda Item:** Public Hearing: Rezone of 145 N Geneva Road from Regional Mixed Use (RMU) to Geneva Road Mixed Use (GRMU) District. **(POSTPONED)**

**Department:** Community Development Department

**Presenter:** Cache Hancey

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**Background/Discussion:**

This public hearing and business item will be considered at a later date. A new public notice will be issued for the public hearing.

**Fiscal Impact:**

**Recommendation:**

**Sample Motion:**

**Attachments:**

None