

MEMORANDUM AGREEMENT REGARDING FIBER PROJECT

THIS MEMORANDUM AGREEMENT REGARDING FIBER PROJECT (the “Agreement”) is made and entered into this 11th day of September, 2024 by and between the Town of Springdale, whose address is 118 Lion Boulevard, P.O. Box 187, Springdale, UT 84767 (“Town”) and South Central Communications, Inc., whose address is 318 North 100 East, Kanab, UT 84741 (“SCC”). The Town and SCC may be collectively referred to as the “Parties” or a “Party,” as the case may be.

RECITALS

A. The Town desires to obtain broadband internet throughout the current residential areas in the Town.

B. SCC is a competitive local exchange carrier certificated to provide voice service in the State of Utah, and SCC also provides broadband internet services, which are not regulated by the Utah Public Service Commission.

C. SCC has offered to build out the fiber network throughout the current residential areas in the Town (the “Fiber Project”), with the exception of the Anasazi Plateau Subdivision.

D. SCC’s financial return on investment (“ROI”) models indicate that the Fiber Project, as designed by SCC, is short for a sustainable capital investment (the “Funding Gap”). In order to make the Fiber Project sustainable based on the ROI models, SCC requires that the Town provide a cash contribution to help cover the Funding Gap (the “Town’s Funding Requirement”) as set forth below. In addition to the cash contribution, SCC also requires that the Town lease SCC a 50’ x 50’ piece of real property (the “Property”) to be used by SCC for an equipment building (the “Telecommunications Equipment and Ground Lease,” attached hereto as Exhibit A), for \$1.00 for an initial term of ninety-nine (99) years.

E. Subject to the terms and conditions set forth below, the Town and SCC desire to enter into this Agreement whereby the Town will authorize SCC to construct the Fiber Project, the Town will provide the Town’s Funding Requirement, will lease to SCC for an initial term of ninety-nine years, a 50’ x 50’ parcel of property to be used by SCC for a central office building and related fiber equipment (the “Central Office”), and will grant easements and rights-of-way as necessary to enable SCC to construct, install, maintain, operate, locate, relocate, repair, and replace SCC’s Facilities, as defined below, to enable SCC to provide Communication Services as defined herein.

NOW, THEREFORE, for and in consideration of the foregoing, the mutual covenants set forth herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

Section 1. **Facilities.** “Facilities” mean the communications network designed, constructed, installed, owned or operated by or on behalf of SCC, comprised of a Central Office, a backup generator, pad, propane tank, fiber, wires, cables, conduits, inner duct, handholes, PON cabinets, splice vaults, optical or electronic equipment, and related fixtures and facilities required for the transmission of voice, data, video, or other signals.

Section 2. **Design and Construction of the Fiber Project.** SCC shall design, install, and construct, or cause to be designed, installed, and constructed, the Facilities comprising the Fiber Project reasonably necessary to provide broadband service available throughout the residential areas of the Town, not including the Anasazi Plateau Subdivision (which already has broadband service). Subject to applicable Town ordinances and provisions of state and federal law, SCC has sole discretion to determine the methods it uses to design, construct, install, and complete the Fiber Project, including the use of existing available conduits, micro-trenching, Matilda, vibratory plow, underground drilling, missiling, and hand work.

The Central Office shall be designed, constructed and installed to meet current Town ordinances, including a stucco exterior and a corrugated rusted tin fence as set forth in Exhibit B. Provided that SCC has sole discretion (except as noted in the foregoing paragraph) to design, construct, and install the Fiber Project, including the Central Office, the parties acknowledge and agree that the Town's Funding Requirement shall be \$195,348.00. Except as set forth on any Addendum, Facilities shall be constructed and installed in accordance with industry standards, Town ordinances, and state and federal laws. The Parties understand, acknowledge, and agree that the Facilities shall be, and remain, at all times the sole and exclusive property of SCC.

Section 3. SCC shall have the right to:

- (i) Design, install, operate, maintain, repair, and replace its Facilities; and
- (ii) Provide Communications Services as set forth in Section 6.

Section 4. **Construction Materials.** The Parties acknowledge that construction of the Fiber Project will require a materials staging area and may create left over materials, e.g., trenched asphalt materials, earth from digging, etc. The Town agrees to allow SCC to store its materials on Town property in locations determined by the Parties. The Town will also provide SCC a location for dumping fill dirt which may be excavated by SCC during construction of the Fiber Project and the Central Office.

Section 5. **Real Property Lease.** The Town, at the Town's sole expense, is responsible for providing a 50' x 50' parcel of real property (located as described on Exhibit C) (the "Leased Property") to SCC by lease for a term of 99 years in the form attached hereto as Exhibit A. SCC will construct and install the Central Office (an approximate 12' x 20' building), Facilities, and related equipment upon the Leased Property (e.g., backup generator, propane tank, cabinets, vaults).

Section 6. **Access to Facilities.** The Town will provide SCC twenty-four (24) hour access, seven (7) days a week to the Property and the Facilities for the purpose of installing, maintaining, repairing, and replacing the Facilities.

Section 7. **Maintenance.** SCC, its successors and assigns shall have sole responsibility for maintenance, repair, alteration, removal, relocation, operation, replacement, and location (pursuant to Blue Stakes laws) of the Facilities and costs therefor. Additionally, cost to repair damage to the Facilities caused by a Party or a third party shall be the responsibility of that Party or the third party. The Parties shall contact Blue Stakes prior to any construction or excavation on or near the Facilities.

Section 8. **Grant of Easements and Access Rights.** If necessary to complete the build-out of the Fiber Project, the Town shall grant and convey to SCC via a separate Grant of Easement executed by the Parties and recorded in the official records of the Washington County Recorder:

(a) Whenever necessary, and where there are no existing recorded public utility easements, the Town shall grant and convey to SCC a perpetual, non-exclusive easement and right-of-way over Town-owned property (SCC will be required to obtain any necessary easements or rights-of-way over privately owned property) for the purpose of constructing, installing, operating, maintaining, repairing, altering, enlarging, inspecting, relocating or replacing the Facilities to be constructed in the Town (the “Facilities Easement”); and

(b) the right of ingress and egress to and from the Property, within any Facilities Easements, and to all Facilities located on and within the Town, twenty-four (24) hours per day, seven (7) days per week, by means of existing or future roads installed by the Town.

Section 9. **Communication Services.**

(a) SCC will make the following Communication Services available: high speed internet access with a service package of at least 1000/100 Mbps for residential service and at least 50/50 Mbps for business service. The services will be provided to such businesses or residents who subscribe to such Communication Services from SCC pursuant to a service contract to be executed between the customer and SCC. SCC will waive the installation fee for customers who sign up for service during the construction of the project. Communication Services shall be provided in compliance with applicable federal and state law and local franchise agreements. SCC shall have sole responsibility for the technologies used to deliver the Communication Services.

(b) SCC shall operate and maintain the Facilities to achieve typical operation at the design capacity of the Facilities.

(c) Communication Services in Section 9(a) will be offered consistent with SCC’s general service offerings (price, equipment, and speeds) at the time the customer signs up for the Communication Services. The Parties acknowledge that the prices for Communication Services can change at any time at SCC’s sole discretion.

Section 10. **Default.** In the event of any alleged failure to perform any obligation under this Agreement (“Default”), the non-defaulting Party shall give the alleged defaulting Party written notice thereof, which notice shall include a description of the acts required to cure the same with reasonable specificity. The defaulting Party shall have a period of thirty (30) days within which to cure such Default, which period shall be extended to the extent reasonably necessary to complete such cure so long as the cure was commenced within thirty (30) days after such notice is given and thereafter prosecuted with due diligence (not to exceed ninety (90) days unless otherwise agreed to in writing by the Parties). Any prohibited conduct under this Agreement may be enjoined and this Agreement shall be specifically enforceable. In the event of a material uncured default hereunder, the non-defaulting Party may pursue the remedies available in law or equity. The prevailing Party in any action to interpret or enforce the provisions of this Agreement will be awarded its attorney fees and costs, which will be paid by the non-prevailing Party.

Section 10. **Force Majeure.** No Party shall be liable to another Party for any failure of performance under this Agreement due to causes beyond its control, including, but not limited to: acts of God, fire, flood or other catastrophes; adverse weather conditions; material or facility shortages or unavailability not resulting from such Party's failure to timely place orders; lack of transportation; the imposition of any governmental codes, ordinances, laws, rules, regulations or restrictions (except for SCC's compliance with Town ordinances as noted elsewhere in this Agreement); national emergencies; pandemic; insurrections, riots, or wars; strikes, lock-outs, work stoppages or other labor difficulties; provided however, that said time period shall be extended for only the actual amount of time said Party is so delayed. The Party affected by the event of Force Majeure shall notify the other Parties within ten (10) days of the occurrence of the event. An act or omission shall not be deemed to be beyond its control if committed, omitted, or caused by such Party, or its employees, officers, agents, or affiliates, or by any corporation or other business entity that holds a controlling interest in said Party, whether held directly or indirectly. The acts or omissions of one Party that delay or otherwise adversely affect another Party shall be deemed to be beyond the control of the delayed or otherwise adversely affected Party.

Section 11. **Assignment.** Neither Party shall assign, transfer, or otherwise dispose of this Agreement or any of its rights, benefits, or interests under this Agreement without the prior written consent of the other Party. Such consent shall not be unreasonably withheld, conditioned, or delayed. No assignment of this Agreement shall operate to discharge the assignor of any duty or obligation hereunder without the written consent of another Party. Notwithstanding the foregoing, SCC may assign all its rights and obligations under this Agreement, without the consent of the Town, to its parent corporation, to its subsidiary corporation, to a subsidiary of its parent corporation, to its survivor in connection with a corporate reorganization, to any corporation or other legal business entity acquiring all or substantially all the assets of SCC, or to any corporation or other legal entity into which it is merged or consolidated.

Section 12. **No Waiver.** The failure of a Party to enforce or insist upon compliance with any of the terms or conditions of this Agreement shall not constitute a general waiver or relinquishment of any such terms or conditions, but the same shall be and remain, at all times, in full force and effect.

Section 13. **Notice.** All notices or other communications required or permitted hereunder shall be made in writing and shall be delivered in person or overnight carrier or sent by registered or certified mail in the United States mail, postage prepaid. All notices shall be deemed to have been given when received by the designated persons at the following addresses:

TOWN:

Town Manager
PO Box 187/118 Lion Blvd
Springdale, UT 84767

SCC:

318 North 100 East
Kanab, UT 84741

Such addresses may be changed by notice to the other Party given in the same manner as above provided.

Section 14. **Modifications**. No subsequent agreement between the Town and SCC concerning the subject matter of this Agreement shall be effective or binding unless it is made in writing. No representation, promise, inducement, or statement of intention has been made by any Party that is not embodied herein.

Section 15. **Severability**. If any term, covenant, or condition in this Agreement shall, to any extent, be invalid or unenforceable in any respect under the laws governing this Agreement, the remainder of this Agreement shall not be affected thereby, and each term, covenant or condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

Section 16. **Relationship of Parties; Third Party Beneficiary**. The relationship between the Town and SCC shall not be that of partners, agents or joint venturers for one another, and nothing contained in this Agreement shall be deemed to constitute a partnership or agency agreement between them for any purposes, including, but not limited to federal income tax purposes. Nothing in this Agreement is intended to provide any legal rights to anyone not an executing party of this Agreement.

Section 17. **Governing Law**. The validity, performance, and construction of these terms and conditions hereunder shall be governed by the laws of the State of Utah.

Section 18. **Conflicts**. This Agreement is made subject to all present and future valid orders, rules, and regulations of any regulatory body having jurisdiction over the subject matter hereof, and to the laws of the United States of America or any of its states having jurisdiction. In addition, this Agreement shall be subject to all applicable federal and state tariffs or price lists filed by SCC. In the event this Agreement or any of its provisions shall be found contrary to, or in conflict with, any such order, rule, regulation, law, or tariff, this Agreement shall be deemed modified to the extent necessary to comply with any such order, rule, regulation, law, or tariff, and shall be modified in such a way as the Parties hereto mutually agree is consistent with the form, intent, and purpose of its surviving provisions. In the event any such regulatory agency having jurisdiction over the subject matter of this Agreement either (i) refuses or otherwise fails to approve the provision of Communication Services by SCC as contemplated hereunder or (ii) withdraws, or otherwise terminates, any previous approval, then this Agreement shall terminate and the Parties hereto shall be released of all obligations hereunder except for the payment of any outstanding construction charges or charges for Communication Services as provided herein.

Section 19. **Indemnification**. The Parties agree to indemnify, hold harmless, and defend one another, their affiliates, and their directors, officers, shareholders, members, employees, owners and agents from and against any and all claims, causes of action, damages, fines, judgments, penalties, costs, liabilities, losses or expenses, (including, without limitation, attorney's fees, court costs, and any other costs of litigation) brought by any person or entity (not a party to or an affiliate of a party to this Agreement) that is caused by or arises from the Party's breach of any obligation of this Agreement; the Party's violation of law; any claim of injury or death, loss, or damage to property caused by or relating to any work or action done, required or permitted by the Party under this Agreement; or any negligent acts or omissions or willful

misconduct by the Party. This indemnification shall survive the expiration or termination of this Agreement.

Section 20. **Cooperation**. Each Party shall cooperate with the other Parties to comply with any provision of this Agreement.

Section 21. **Headings**. The Paragraph headings in this Agreement are for reference purposes only and shall not affect in any way the meaning or interpretation of this Agreement.

Section 22. **Entire Agreement**. This writing, any Addenda hereto, and any Grant of Easement provided pursuant to this Agreement constitute the entire Agreement between the Parties as to the subject matter hereof and supersedes and merges all prior discussions and agreements between the Parties hereto.

Section 22. **Counterparts; Electronic Delivery**. This Agreement may be executed in any number of counterparts, each of which, when executed and delivered, whether by electronic mail or otherwise, shall be deemed an original, but all of which together shall constitute one and same instrument.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their duly authorized officers as of the Effective Date first above written.

Dated this 11th day of September 2024.

TOWN:

Town of Springdale

SCC:

South Central Communications, Inc.

By: Barbara Bruno

Title: Mayor

By: _____

Title: _____

Attest:

By: Aren Emerson

Title: Town Clerk

EXHIBIT A

Telecommunications Facilities and Ground Lease

TELECOMMUNICATIONS FACILITIES AND GROUND LEASE AGREEMENT

THIS TELECOMMUNICATIONS FACILITIES AND GROUND LEASE AGREEMENT (the "Lease") is made and entered into this 11th day of September, 2024 (the "Lease Date") by and between the Town of Springdale, whose address is 118 Lion Boulevard, P.O. Box 187, Springdale, UT 84767 ("Landlord") and South Central Communications, Inc., whose address is 45 North 100 West, Escalante, UT 84726 ("Tenant").

SUMMARY OF FUNDAMENTAL LEASE TERMS

This Summary of Fundamental Lease Terms is for ease of reference only. In the event of any conflict between any Fundamental Lease Terms and the remainder of this Lease, the remainder of this Lease shall in all instances be controlling.

Landlord:	Town of Springdale
Tenant:	South Central Communications, Inc.
Tenant Notice Address:	45 North 100 West, P.O. Box 555, Escalante, UT 84726, Attn: Michael East
Leased Premises Address:	See Attachment (50'x50' parcel), with access
Rent Commencement:	per Section 2a.
Initial Term:	99 years
Renewal Terms:	One (1) Renewal Option
Permitted Use:	Telecommunications equipment central office and transmission facilities, per Section 5 below
Rent:	\$1.00 Total Lease Payment
Rent Payment Address:	118 Lion Boulevard, P.O. Box 187, Springdale, UT 84767
Landlord Notice Address:	118 Lion Boulevard, P.O. Box 187, Springdale, UT 84767

COMPLETE LEASE TERMS

FOR AND IN CONSIDERATION of the rents to be paid hereunder, and of the mutual terms, provisions, covenants and agreements set forth herein, the receipt and sufficiency of which is hereby acknowledged, Landlord does hereby lease unto Tenant and Tenant does hereby lease from Landlord the Leased Premises identified hereinafter for the Term and rents identified hereinafter, and upon and subject to the other terms, conditions and provisions set forth hereinafter:

1. Leased Premises. The Leased Premises consists of a tract of land located within the property of Landlord at 226 Paradise Road, Springdale, Utah, (the "Landlord Property"). The location and dimensions of the Leased Premises upon the Landlord Property is depicted more fully on Exhibit "1" attached hereto and incorporated herein.
2. Term.
 - a. Initial Term. The Initial Term of this Lease shall commence upon Tenant's satisfactory completion of Inspections (the "Commencement Date"). The Term of this Lease shall extend from the Commencement Date for an Initial Term of ninety-nine (99) years thereafter (the "Initial Term") and for such successive Renewal Terms as are hereinafter granted by Landlord and exercised by Tenant.
 - b. Renewal Terms. Provided Tenant is not in default (past the expiration of applicable notice and cure periods) at the expiration of the Initial Term or at the expiration of the initial Renewal Term (as the case may be), this Agreement shall automatically renew on the same terms and conditions for one (1) successive Renewal Term of ninety nine (99) years (a "Renewal Term"), unless Tenant provides notice that it will not renew at least sixty (60) days prior to the expiration of the Initial Term.
3. Lease Fee. In consideration of Landlord entering into this Lease with Tenant and in further consideration of the rights and obligations set forth in the Memorandum Agreement, Tenant shall pay to Landlord a fee of

ONE DOLLAR (\$1.00) the "Lease Fee". The Lease Fee is due by Tenant within thirty (30) days of the Commencement Date, unless waived by the Landlord.

4. Title and Quiet Possession. Landlord warrants and covenants to Tenant that Landlord is vested with fee simple title to the Leased Premises, subject to all record easements, rights of way, restrictions, covenants and conditions of title and such matters as would be revealed by a current accurate survey, title examination and inspection of the Leased Premises as of the date of this Lease. Tenant shall peacefully and quietly have and enjoy possession of the Leased Premises without any encumbrance or hindrance by, from or through Landlord, except that Landlord shall have the right to enter upon the Leased Premises at any time for inspection purposes so long as such entry shall in no way disrupt or interfere with the operation of the Facilities (as defined below).
5. Use and Condition of Leased Premises. Tenant accepts the Leased Premises in its AS IS – WHERE IS condition. The Leased Premises shall be used for the sole purpose of (a) installation, operation, maintenance, repair, and/or replacement of telecommunications equipment and transmissions facilities (the "Facilities") upon or within a physical facility ("Central Office") to be installed by Tenant upon the Leased Premises in connection with Tenant's operation of a fiber optic telecommunications system, and (b) for the storage of tools, parts, replacement Facilities, fiber reels, and other telecommunications related equipment.
6. Ownership of Central Office and Facilities. The Central Office and Facilities are and shall be Tenant's sole property and shall be removed by Tenant from the Leased Premises within thirty (30) days after the effective date of the expiration or earlier termination of this Lease, weather permitting.
7. Permit Notification. In conjunction with Tenant's commencement of any permit application submittals for the Central Office and/or Facilities, Tenant shall submit to Landlord such information as Landlord shall require for permitting purposes and use of the Premises, including without limitation the proposed Central Office and Facilities location, size, elevations, dimensions, height, materials, colors, exterior appearance, and telecommunications system routing. Furthermore, in the event that Tenant shall elect at any time during the Term to replace or modify the Central Office and/or all or any of the Facilities in any material respect, Tenant shall submit to Landlord, prior to Tenant's commencement of any permit application submittals for the replacement or modification of the Central Office and/or the Facilities, such information as Landlord shall request with respect thereto, including without limitation proposed Central Office and/or Facilities replacements, modifications, location, size, elevations, dimensions, height, materials, colors, exterior appearance, and electrical service routing.
8. Permitting. Tenant, at its cost, shall apply for all governmental permits necessary for the construction, installation, and operation of the Central Office and the Facilities. Landlord shall reasonably cooperate in all Tenant applications for permits for the construction, installation, and operation of the Central Office and the Facilities, so long as Landlord shall incur no liability or cost thereby, except as may be provided for in the Memorandum Agreement re Fiber Project executed by the parties.
9. Access. The Leased Premises shall include a non-exclusive appurtenant leasehold right and license for purposes of (a) vehicular and pedestrian access to and from the Leased Premises, (b) installing electrical power and back-up power systems to the Leased Premises, and (c) installing diverse fiber optic conduit points of entry from the nearest public right-of-way to and from the Leased Premises, all to be at such locations over, under, upon and across such portions of the Landlord Property as Landlord shall designate from time to time. Tenant shall have unrestricted access to the Leased Premises.
10. Electrical Service. Tenant shall arrange at its sole cost and expense for all electrical power service to the Central Office and the Facilities to be separately installed and metered in Tenant's name alone, subject to the right of Landlord to approve, in its reasonable discretion, the location and manner of such installation.
11. Facilities Installation. Landlord grants to Tenant the right to enter upon the Landlord Property for the purposes of installing and erecting the Central Office and the Facilities on the Leased Premises, so long as such entry, installation and/or erection shall not unreasonably interfere with (a) the conduct of Landlord's business upon the Landlord Property, and (b) access to the Landlord Property. The erection and installation

of the Central Office and the Facilities upon the Leased Premises shall be carried out in a good and workmanlike manner, in compliance with all normal and customary safety precautions, and with a duly secured work site.

12. Maintenance. Tenant shall at all times maintain the Central Office, the Facilities and the Leased Premises in good and clean condition and repair, in accordance and compliance with all applicable laws and regulations applicable to Tenant's particular manner of use of the Leased Premises, with all applicable permits and governmental approvals, and with all requirements of this Lease. All maintenance of the Central Office and the Facilities upon the Leased Premises shall be carried out in a good and workmanlike manner, in compliance with all normal and customary safety precautions.
13. Early Termination. Tenant shall have the right at any time to terminate this Lease, provided Tenant sends to Landlord sixty (60) days prior written notice of Tenant's intent to terminate ("Early Termination Notice").
14. Condition at Surrender. At the expiration or other termination of this Lease, Tenant agrees to surrender and deliver up the Leased Premises in good and clean condition, comparable or superior to the condition of the Leased Premises as of the Lease Date and coordinated with the immediately surrounding Landlord Property, normal wear and tear and damage by the elements excepted.
15. Indemnification. Tenant agrees to and shall indemnify and hold Landlord harmless from and against any and all liabilities, judgments, demands, causes of action, claims, losses, damages, costs and/or expenses, including reasonable attorneys' fees, to person or property arising out of or resulting from any negligence of the Tenant or its agents, employees, or workmen in the design, construction, installation, erection, operation, maintenance, servicing, repair or removal of the Central Office or the Facilities. In the event that any action or proceeding is brought against Landlord for which Tenant is obligated to indemnify or defend Landlord pursuant to this Section, Tenant, upon notice from Landlord, shall defend such action or proceeding by counsel reasonably acceptable to Landlord.
16. Assignability. This Lease is assignable by Landlord and shall inure to the benefit of and shall be binding upon the Landlord's successors and assigns. Tenant shall have the right to assign this Lease without Landlord's prior written consent to (i) any entity controlled, controlling or under common control with Tenant, (ii) a purchaser of all or substantially all of the assets of Tenant, or (iii) any entity into which Tenant is merged or consolidated.
17. Eminent Domain. Landlord and Tenant shall each give immediate written notice to the other party of its receipt of any notification of the exercise of the power of eminent domain that affects the Leased Premises. In the event the Leased Premises, or any portion of the Landlord Property that may encompass the Leased Premises, is condemned or taken as a result of the exercise of the power of eminent domain by any governmental entity having jurisdiction thereof, this Lease shall terminate as of the effective date of such condemnation or taking, and Tenant at its sole cost shall remove the Central Office and the Facilities from the Leased Premises. In such event, Landlord alone shall be entitled to all compensation from the condemning authority attributable to the real property that may encompass the Leased Premises; provided only that Tenant shall be entitled to seek separate compensation from the condemning authority (to the extent allowable by law) for any residual value of the Central Office and/or the Facilities and for any compensable loss of revenues therefrom.
18. Taxes. Tenant shall pay all property taxes and assessments that may become due upon or with respect to the Central Office and the Facilities. Landlord shall be responsible for the payment of all property taxes and assessments attributable to the underlying land that comprises the Leased Premises.
19. Compliance with Law. Tenant shall construct, install, erect, operate, service, maintain, and repair the Central Office and the Facilities in full compliance with all applicable laws, ordinances, regulations, and governmental rules and regulations, together with all recorded covenants, restrictions and easements. In the event that Tenant shall be unable to obtain all necessary governmental permits, consents and approvals to

enable Tenant to complete the initial construction, erection, installation, maintenance and operation of the Central Office and the Facilities, then Tenant shall have the right to terminate this Lease without further liability to Landlord upon written notice of termination to Landlord prior to the end of the Inspection Period.

20. Notices. Except as expressly provided otherwise herein, all notices, requests, demands and other communications allowed, made or required to be made pursuant to the terms of this Lease shall be in writing and shall be deemed to be given or made when personally delivered (including personal delivery by Federal Express or other nationally recognized overnight private courier service) or three (3) business days after being deposited in the United States mail, registered or certified, postage prepaid, return receipt requested, or the next business day when given by fax or email to such fax and email addresses that may be furnished by one party to the other in writing for such purposes (provided that any fax or email delivery shall be followed within one business day thereafter by one or the other permitted means of physical delivery). Notices required or permitted hereunder shall be addressed in any such event to the party to whom such communication is directed at the Notice address as is set forth herein for such party or at such other address as may hereafter be designated in writing by either party hereto.
21. Governing Law; Consent to Jurisdiction. The parties agree that this Lease shall be governed and construed in accordance with the laws of the State of Utah. Any action or proceeding relating to this Lease shall be brought in and subject to the jurisdiction of any state or federal court of competent jurisdiction of the State of Utah.
22. Severability. Landlord and Tenant agree that each paragraph of this Lease is severable from the remainder. If any portion of this Lease shall be void or unenforceable, the remainder of the Lease shall continue in full force and effect to the extent allowable by law.
23. Default. The occurrence of any of the following events shall constitute an event of default under this Lease: (a) the failure of Tenant to pay when due any installment of rent or additional rent within five (5) days of the due date thereof, and such failure is not cured within five (5) business days following written notice thereof from Landlord to Tenant, or (b) the failure of Tenant to fulfill any other term, covenant, condition, requirement or provision of this Lease within thirty (30) days following written notice of such failure to Tenant.
24. Remedies. In the event of any default under this Lease, after expiration of any applicable notice and cure periods, the non-defaulting party may exercise any of the rights and remedies available at law or in equity.
25. Attorneys' Fees and Costs. Should either party bring an action pertaining to this Lease against the other party, whether at law, in equity, or by arbitration, the prevailing party shall be entitled to recover from the other party reasonable attorneys' fees, investigation costs, fees of experts, re-leasing and brokerage fees, and other reasonable legal fees and court costs incurred by the prevailing party in such action.
26. Entire Agreement. The parties agree that there are no prior or contemporaneous agreements with respect to the subject matter of this Lease. This Lease, and the leasehold rights contained herein, run with the Landlord Property for the duration of the Term of this Lease. Tenant may record a Memorandum of this Lease containing such terms as shall be reasonably acceptable to Landlord, which Landlord hereby agrees to sign at Tenant's request. This Lease embodies the entire agreement between the parties and may not be modified in any respect, except in writing, signed by the parties hereto.
27. Waiver of Consequential Damages. IN NO EVENT WILL EITHER PARTY BE LIABLE UNDER ANY CIRCUMSTANCES TO THE OTHER PARTY FOR SPECIAL, INDIRECT, PUNITIVE, INCIDENTAL, EXEMPLARY OR CONSEQUENTIAL DAMAGES OR LOSSES, INCLUDING LOST PROFITS, LOSS OF BUSINESS OPPORTUNITY OR OTHER SIMILAR DAMAGES RESULTING FROM OR ARISING OUT OF THIS AGREEMENT, BY STATUTE, IN TORT OR CONTRACT.

IN WITNESS WHEREOF, the parties have hereunto executed these presents the day and year first above written.

Dated this ____ day of _____, 20____.

LANDLORD:
Town of Springdale

By: Barbara Bruno
Title: Mayor

Attest:

By: Aren Emerson
Title: Town Clerk

Dated this ____ day of _____, 20____.

TENANT:
South Central Communications, Inc.

By: _____
Title: _____

Exhibit 1 to Lease

To be attached separately and made apart thereof

Quarter: NW Quarter: SE Section: 29 Township: 41S,
Range: 10W, SALT LAKE BASE & MERIDIAN.

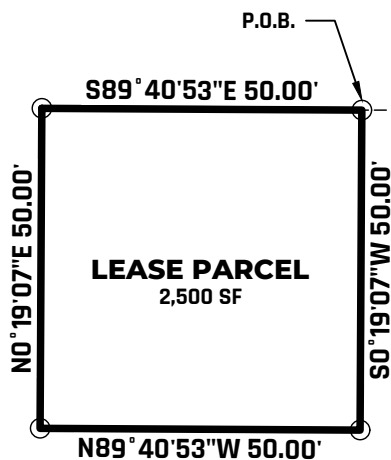
County: WASHINGTON State: Utah

PARCEL ID: S-160-NP



~SPRINGDALE TOWN~
PARCEL ID S-160-NP

FOUND WCBC 1978
LS4266 CE 1/16TH
COR. SEC. 29, R41W,
R10W, SLB&M



902.74'
BASIS OF BEARING N0°19'07"E 1359.67' (1/16TH COR TO 1/16TH COR)

~REDHAWK AT SPRINGDALE SUBDIVISION~

EDGE OF
EX-GRAVEL ROAD

BLM POWER SUBSTATION PARCEL
PER BOOK 388, PAGE 46-47
WASHINGTON COUNTY RECORDS

EX-POWER
SUB-STATION

FOUND 5/8" REBAR
SE 1/16TH COR. SEC. 29,
T41S, R10W, SLB&M

PROJECT NAME: SPRINGDALE TOWN LEASE PARCEL TO
SOUTH CENTRAL COMMUNICATION

Drawn by: Go Civil Engineering
Scale : 1" = 30'

EXHIBIT B

This drawing should be used only as a representation of the location of the lease parcel being conveyed. The exact location of all structures, lines and appurtenances could be subject to change.

EXHIBIT B
Central Office Depiction



856 Sage Drive, Cedar City, UT 84720

435.263.0000

SCBroadband.com

SC Broadband Fiber Facility Site

226 Paradise Road, Springdale Utah

It is the intent of SC Broadband to place a Fiber Facility building at the location of 226 Paradise Road in Springdale, Utah. The below information and images depict the building size, construction, and appearance.

SIZE – The size of the building is 12' wide by 20' long and approximately 10' tall.

CONSTRUCTION / APPEARANCE – See attached manufacturer's specifications sheet. Also note that to meet Springdale's external materials requirements SC Broadband has agreed to purchase the building, have it placed where it will be permanently located and then apply stucco with a color that is allowed in the acceptable colors found in the Munsell Book of Color.

FRONT AND SIDE VIEWS





856 Sage Drive, Cedar City, UT 84720

435.263.0000

SCBroadband.com

REAR VIEW





856 Sage Drive, Cedar City, UT 84720

435.263.0000

SCBroadband.com

INSIDE VIEWS



INDEX OF SHEETS

0-0	COVER SHEET
0-1	CODE SUMMARY
0-2	ITEMS LIST
0-3	SCHEDULES
1-0	EXTERIOR ELEVATION "A & C"
1-1	EXTERIOR ELEVATION "B"
1-2	EXTERIOR ELEVATIONS "D"
2-0	FLOOR PLAN
2-1	FLOOR PLAN EQUIPMENT LAYOUT #1
2-2	FLOOR PLAN EQUIPMENT LAYOUT #2
3-0	REFLECTED CEILING PLAN - ELECTRICAL
3-1	REFLECTED CEILING PLAN - MECHANICAL
4-0	INTERIOR ELEVATION "A & C"
4-1	INTERIOR ELEVATION "B"
4-2	INTERIOR ELEVATIONS "D"
5-0	*ELECTRICAL SCHEMATIC
5-1	LOW VOLTAGE WIRING
6-0	*FOUNDATION PLAN
6-1	*FOUNDATION PLAN (12'-3" X 20'-4")
7-0	CABLE TRAY DETAILS
7-1	CURVED CABLE TRAY DETAILS
7-2	GROUNDING AND GROUND BAR DETAILS
S0-0	STRUCTURAL SPECIFICATIONS
S1-0	FINISH DETAILS
S1-1	STRUCTURAL DETAILS
S2-0	STRUCTURAL LAYOUT - FLOOR
S3-0	STRUCTURAL LAYOUT - ROOF
S4-0	STRUCTURAL LAYOUT - END PANELS "A & C"
S4-1	STRUCTURAL LAYOUT - SIDE PANEL "B"
S4-2	STRUCTURAL LAYOUT - SIDE PANEL "D"

* = DENOTES SHEETS WHICH MAY CONTAIN FIELDWORK

NOTE: NOT ALL SHEETS LISTED ABOVE ARE INCLUDED IN "CUSTOMER" SET

DESIGN PARAMETERS

ROOF LIVE LOAD: 93 PSF
FLOOR LIVE LOAD: 208 PSF
GROUND SNOW LOAD: 102 PSF
WIND SPEED: 150 MPH/EXPOSURE C
SEISMIC ZONE FOR SBC & UBC: 4
SEISMIC DESIGN CATEGORY FOR IBC: D
OBC: USE GROUP - III; SITE CLASS - D
CONCRETE f'c: 5000 PSI AT 28 DAYS
CONCRETE UNIT WEIGHT: 110 PCF
MODEL MAY BE MIRROR IMAGE
SEE SHEET 0-1 FOR CODE SUMMARY

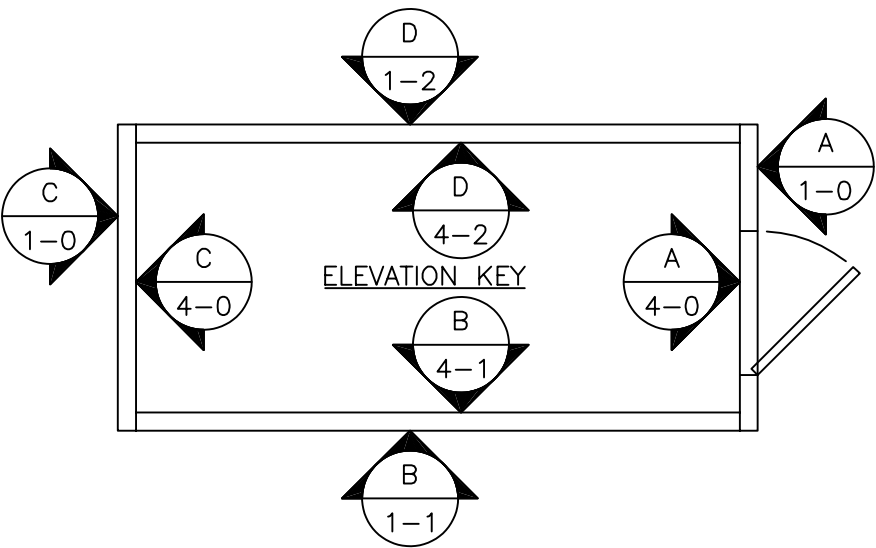
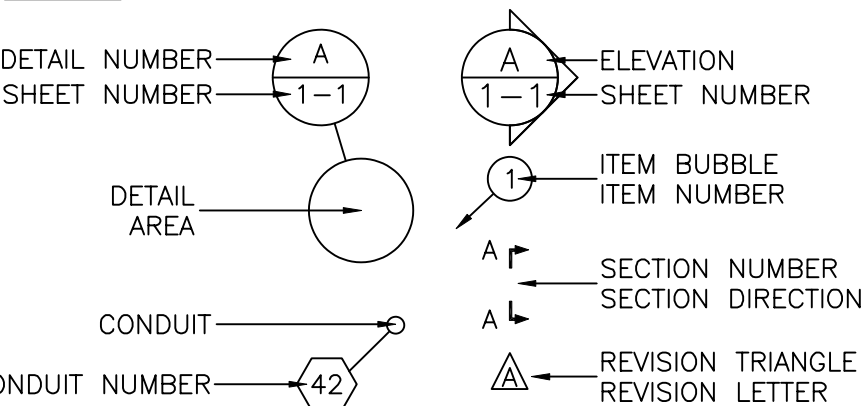
PHYSICAL PROPERTIES

SHELTER DIMENSIONS: 11'-3"w X 19'-4"
SHIPPING DIMENSIONS: 11'-11"w X 21'-10"l X 10'-6 1/2"h
INTERIOR DIMENSIONS: 10'-2"w X 18'-3"l X 9'-4 3/4"h
SHELTER WEIGHT: 47,500 lbs

ABBREVIATIONS

A	AMPS	LV	LOW VOLTAGE
@	AT	MFG	MANUFACTURER
BCW	BARE COPPER WIRE	MISC	MISCELLANEOUS
BLK	BLACK	NEC	NATIONAL ELECTRIC CODE
BLU	BLUE	NEG	NEGATIVE
BRN	BROWN	NEMA	NATIONAL ELECTRIC MANUFACTURER'S ASSOCIATION
BLDG	BUILDING	NOM	NOMINAL
BOCA	BUILDING OFFICIALS CODE ADMINISTRATION	NO	NOMINALLY OPEN
C/C	CENTERLINE	NC	NOMINALLY CLOSED
CKT	CENTER TO CENTER	NTS	NOT TO SCALE
CONC	CONCRETE	OR	ORANGE
CU YD	CUBIC YARD	OD	OUTSIDE DIAMETER/OUTSIDE DIMENSION
DIA/Ø	DIAMETER	OSB	ORIENTED STRAND BOARD
DIM	DIMENSION	P	POLE
DP	DOUBLE POLE	PDC	POWER DISTRIBUTION CABINET
DPDT	DOUBLE POLE DOUBLE THROW	POS	POSITIVE
DPST	DOUBLE POLE SINGLE THROW	LB	POUND (S)
DT	DOUBLE THROW	PSF	POUNDS PER SQUARE FOOT
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
EA	EACH	QTY	QUANTITY
EGR	EQUIPMENT GROUND RING	RECPT	RECEPTACLE
ELEC	ELECTRIC/ELECTRICAL	RECT	RECTIFIER
EMT	ELECTRICAL METALLIC TUBING	REBAR	REINFORCING STEEL BAR
ENT	ELECTRICAL NON-METALLIC TUBING	REQ'D.	REQUIRED
ELEV	ELEVATION	REV	REVISION
EQUIP	EQUIPMENT	R	RIGHT
EXT	EXTERIOR	RH	RIGHT HAND
FMLC	FLEXIBLE METALLIC LIQUID TIGHT CONDUIT	SHT	SHEET
FNLC	FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT	1Ø	SINGLE PHASE
FND	FOUNDATION	SPDT	SINGLE POLE DOUBLE THROW
FRP	FIBERGLASS REINFORCED POLYESTER	SPST	SINGLE POLE SINGLE THROW
FS	FIRE SUPPRESSION	SW	SINGLE POLE SWITCH
GALV	GALVANIZED	SQ FT	SQUARE FEET
GEN	GENERATOR	SQ IN	SQUARE INCH
GRN	GREEN	STD	STANDARD
GND	GROUND	SBC	STANDARD BUILDING CODE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	SW	SWITCH
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	TEMP	TEMPERATURE
HOR	HORIZONTAL	TSTAT	THERMOSTAT
IAW	IN ACCORDANCE WITH	3Ø	THREE PHASE
IN	INCH	3P	THREE POLE
ID	INSIDE DIAMETER/INSIDE DIMENSION	3W	THREE WIRE
INSUL	INSULATION	TYP	TYPICAL
INT	INTERIOR	UL	UNDERWRITERS LABORATORIES INC.
IMC	INTERNATIONAL MECHANICAL CODE	UBC	UNIFORM BUILDING CODE
IPC	INTERNATIONAL PLUMBING CODE	UMC	UNIFORM MECHANICAL CODE
IG	ISOLATED GROUND	VENT	VENTILATION
JB	JUNCTION BOX	V	VOLT
KW	KILOWATT	W	WATTS
KO	KNOCKOUT	WP	WEATHER PROOF
L	LEFT	WLD	WELDED
LH	LEFT HAND	WWF	WELDED WIRE FABRIC
LTG	LIGHT/LIGHTNING	WHT	WHITE
LL	LIVE LOAD	W/O	WITHOUT
		YEL	YELLOW

SYMBOLS



ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion Wireless Industry
Solutions for the

Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:

11'-3" X 19'-4"
CONCRETE SHELTER
COVER SHEET

FILENAME: USA/SUSA020-0	
SCALE: N.T.S.	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03
SHEET NO./PART NO.: 0-0	
DRAWING NO.: SUSA02	REV: C

C	ACM	5/20/04	REVISED PHYSICAL PROPERTIES	VGH	5/20/04
REV	BY	DATE	DESCRIPTION	APP.BY	DATE

STATE	CODE SUMMARY	USE GROUP	CONST. TYPE
ALABAMA	2003 INTERNATIONAL BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2003 INTERNATIONAL ENERGY CONSERVATION CODE 2005 NATIONAL ELECTRICAL CODE	S-2	V-B
ALASKA	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
ARIZONA	2003 INTERNATIONAL BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
ARKANSAS	1997 STANDARD BUILDING CODE 1997 STANDARD MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	S-2	VI-UNP
CALIFORNIA	1997 UNIFORM BUILDING CODE 1997 UNIFORM MECHANICAL CODE 1996 NATIONAL ELECTRICAL CODE CALIFORNIA TITLE 25	S-2	V-N
COLORADO	2003 INTERNATIONAL BUILDING CODE W/ MOD. 2003 INTERNATIONAL MECHANICAL CODE 2003 INTERNATIONAL ENERGY CONSERVATION CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
CONNECTICUT	1996 BOCA NATIONAL BUILDING CODE 1996 CT BASIC BUILDING CODE SUPPLEMENT 1996 INTERNATIONAL MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	B	5B
DELAWARE	1996 BOCA NATIONAL BUILDING CODE 1996 BOCA MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	B	5B
DISTRICT OF COLUMBIA	1996 BOCA NATIONAL BUILDING CODE 1996 INTERNATIONAL MECHANICAL CODE 1996 NATIONAL ELECTRICAL CODE	B	5B
FLORIDA	2004 FLORIDA BUILDING CODE 2002 NATIONAL ELECTRICAL CODE	S-2	VI-UNP
GEORGIA	2000 I.B.C. WITH 2005 GA AMENDMENTS 2000 I.M.C. WITH 2005 GA AMENDMENTS 2000 I.E.C.C. WITH 2005 GA AMENDMENTS 2002 N.E.C. WITH 2005 GA AMENDMENTS	S-2	VI-UNP
IDAHO	2003 INTERNATIONAL BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
ILLINOIS	1996 BOCA NATIONAL BUILDING CODE 1996 INTERNATIONAL MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	B	5B
INDIANA	2000 INTERNATIONAL BUILDING CODE W/ AMEND. 2000 INTERNATIONAL MECH. CODE W/ AMEND. 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
IOWA	1994 UNIFORM BUILDING CODE 1994 UNIFORM MECHANICAL CODE 1996 NATIONAL ELECTRICAL CODE	S-2	V-N
KANSAS	1997 UNIFORM BUILDING CODE 1997 UNIFORM MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	S-2	V-N
KENTUCKY	2002 KENTUCKY BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	B	5B

NOTES

- THIS SHELTER NOT INTENDED FOR HUMAN HABITATION
- OCCUPANT LOAD = 0, OHIO = 2
- SPECIAL CONDITIONS: N/A
- PERMISSIBLE TYPES OF GASES: N/A
- SHELTER IS DESIGNED TO MEET HIGHER SNOW AND WIND LOADS. SHELTER HAS NO COUNTY PLACEMENT RESTRICTION IN THE STATE OF MARYLAND.
- STATE INSIGNIA LABEL/DECAL IS LOCATED NEAR MAIN ELECTRICAL SERVICE PANEL.
- DOOR MUST BE MINIMUM 90 MINUTE FIRE RATED IF USED IN 2 HOUR FIRE RATED SHELTER.
- ENERGY CODE EVALUATION BASE ON 2000 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2001 SUPPLEMENT.
- NOT SUBJECT TO FLORIDA FIRE SAFETY CODE.
- SHELTER HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF CHICAGO MUNICIPAL CODE.
- ACCESS TO SHELTER SHALL COMPLY WITH MARYLAND ACCESSIBILITY CODE COMAR .05.02.02.07/ADAAG SECTION 4.1.2.
- ALL WELDS SHALL BE VERIFIED BY SPECIAL INSPECTION SHOWING CONFORMANCE TO THE DESIGN DRAWINGS AND SPECIFICATIONS.

STATE	CODE SUMMARY	USE GROUP	CONST. TYPE
LOUISIANA	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	S-2	V-B
MAINE	1996 BOCA NATIONAL BUILDING CODE 1996 BOCA MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	B	5B
MARYLAND	2003 INTERNATIONAL BUILDING CODE W/ MOD. 2003 INTERNATIONAL MECHANICAL CODE 2003 INTERNATIONAL PLUMBING CODE 2002 NATIONAL ELECTRICAL CODE 2002 MARYLAND ACCESSIBILITY CODE 2000 NFPA 101 LIFE SAFETY CODE W/ AMD.	S-2	V-B
MASSACHUSETTS	6TH MA STANDARD BUILDING CODE 2005 MA ELECTRICAL CODE	S-2	V-B
MICHIGAN	2003 MICHIGAN BUILDING CODE 2003 MICHIGAN MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	U	V-B
MINNESOTA	2005 MINNESOTA STATE BLDG CODE (2003 IBC) 2000 MINNESOTA MECHANICAL CODE (CHAPTER 1346, 1991 UMC WITH AMENDMENTS) 2002 NATIONAL ELECTRICAL CODE 2000 MINNESOTA ENERGY CODE (CHAPTER 7676 & 7678)	S-2	V-B
MISSISSIPPI	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
MISSOURI	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	S-2	V-B
MONTANA	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	S-2	V-B
NEBRASKA	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
NEVADA	2003 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL BUILDING CODE 1997 UNIFORM BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2000 INTERNATIONAL MECHANICAL CODE 1997 UNIFORM MECHANICAL CODE 1996 NATIONAL ELECTRICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2 S-2 S-2	V-B V-B V-N
NEW HAMPSHIRE	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	B	5B
NEW JERSEY	2000 INTERNATIONAL BUILDING CODE AS AMENDED 2000 INTERNATIONAL MECH. CODE W/ NJ AMEND. 2002 NATIONAL ELECTRICAL CODE AS AMENDED 1995 CABO MODEL ENERGY CODE W/ NJ AMEND.	S-2	V-B
NEW MEXICO	2003 NEW MEXICO COMMERCIAL BUILDING CODE 2003 NEW MEXICO MECHANICAL CODE 2003 NEW MEXICO ELECTRICAL CODE	B	5B
NEW YORK	2002 BUILDING CODE OF NEW YORK STATE 2002 MECHANICAL CODE OF NEW YORK STATE 2002 ELECTRICAL CODE OF NEW YORK STATE	S-2	V-B
NORTH CAROLINA	2002 NORTH CAROLINA BUILDING CODE 2002 NORTH CAROLINA MECHANICAL CODE 2005 NORTH CAROLINA ELECTRICAL CODE	S-2	V-B

- BUILDING CATEGORY II (PER ASCE TABLE 1-1).
- APPLICABLE INTERNAL PRESSURE COEFFICIENT (NOT APPLICABLE) - THESE SHELTERS CONFORM TO THE REQUIREMENTS OF SECTION 1606.2 "SIMPLIFIED PROVISIONS FOR LOW RISE BUILDINGS
- WIND IMPORTANCE FACTOR - IW = 1.00
- THIS SHELTER IS AN "ENCLOSED STRUCTURE."
- EXTERIOR COMPONENTS AND CLADDING POSITIVE AND NEGATIVE PRESSURES IN TERMS OF PSF - SEE TABLE BELOW:
ROOF ZONE 1: 18.9 -53.7 (100 SF EFFECTIVE WIND AREA)
ROOF ZONE 2: 21.8 -88.5 (20 SF EFFECTIVE WIND AREA)
ROOF ZONE 3: 23.2 -147.9 (10 SF EFFECTIVE WIND AREA)
WALL ZONE 4: 49.3 -55.1 (200 SF EFFECTIVE WIND AREA)
WALL ZONE 5: 55.1 -72.5 (30 SF EFFECTIVE WIND AREA)
- THESE PLANS ARE DESIGNED TO BE USED FOR THE CONSTRUCTION OF COMMERCIAL MODULAR UNITS, IN ACCORDANCE WITH CA HEALTH AND SAFETY CODE SECTION 18028, 1991 UBC, 1993 NEC, ANSI A117.1-1986.

STATE	CODE SUMMARY	USE GROUP	CONST. TYPE
NORTH DAKOTA	2003 INTERNATIONAL BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2003 INTERNATIONAL ENERGY CONSERVATION CODE 2005 NATIONAL ELECTRICAL CODE	S-2	V-B
OHIO	2002 OHIO BUILDING CODE 2002 OHIO MECHANICAL CODE 2005 NATIONAL ELECTRICAL CODE	S-2	5B
OKLAHOMA	2003 INTERNATIONAL BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
OREGON	2003 INTERNATIONAL BLDG. CODE W/ AMEND. 2003 INTERNATIONAL MECH. CODE W/ AMEND. 2002 NATIONAL ELECTRICAL CODE 2004 OREGON STRUCTURAL SPECIALTY CODE	S-2	V-B
PENNSYLVANIA	2003 INTERNATIONAL BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2005 NATIONAL ELECTRICAL CODE	S-2	V-B
RHODE ISLAND	2003 IBC WITH RHODE ISLAND AMENDMENTS 2003 IMC WITH RHODE ISLAND AMENDMENTS 2003 IECC WITH RHODE ISLAND AMENDMENTS 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
SOUTH CAROLINA	2003 INTERNATIONAL BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
SOUTH DAKOTA	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
TENNESSEE	2003 INTERNATIONAL BUILDING CODE (IBC) 2003 INTERNATIONAL MECHANICAL CODE (IMC) 2002 NATIONAL ELECTRICAL CODE (NEC) 2003 IECC	S-2	VI-UNP
TEXAS	2003 INTERNATIONAL BUILDING CODE 2003 INTERNATIONAL MECHANICAL CODE 2003 IECC 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
UTAH	1997 UNIFORM BUILDING CODE 1998 INTERNATIONAL MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	S-2	V-N
VERMONT	1996 BOCA NATIONAL BUILDING CODE 1996 BOCA NATIONAL MECHANICAL CODE 1996 NATIONAL ELECTRICAL CODE	B	5B
VIRGINIA	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	B	5B
WASHINGTON	2003 INTERNATIONAL BUILDING CODE W/ AMEND. 2003 INTERNATIONAL MECH. CODE W/ AMEND. 2002 NATIONAL ELECTRICAL CODE	B	5B
WEST VIRGINIA	2000 INTERNATIONAL BUILDING CODE 2000 INTERNATIONAL MECH. CODE 2002 NATIONAL ELECTRICAL CODE	S-2	V-B
WISCONSIN	2000 INTERNATIONAL BUILDING CODE W/ AMEND. 2000 INTERNATIONAL MECH. CODE W/ AMEND. 1999 NATIONAL ELECTRICAL CODE	S-2	V-B
WYOMING	1997 UNIFORM BUILDING CODE 1997 UNIFORM MECHANICAL CODE 1999 NATIONAL ELECTRICAL CODE	S-2	V-N

SEAL

I hereby certify that this engineering document was prepared by me or my direct supervision and that I am a duly licensed professional Engineer under the laws of the State of Iowa.

signature date
Printed or typed name
My license renewal date is December 31, _____
Pages or sheets covered by my seal: _____
Date issued: _____

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.



CUSTOMER:

U.S. CELLULAR

PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
CODE SUMMARY

FILENAME: USA/SUSA0-1	
SCALE: N.T.S.	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03
SHEET NO./PART NO.: 0-1	
DRAWING NO.: SUSA02	REV: C

ITEM LIST

NO.	QTY	U/M	PART NO.	DESCRIPTION
1	1	EA.	900002	LOADCENTER, 30 SP., 200A, M.X-FER, TVSS, NORTHERN TECHNOLOGIES
2	2	EA.	410205	POWER ENTRY, 2" X 8" GALVANIZED RIGID NIPPLE
3	1	EA.	400022	GENERATOR RECEPTACLE, 100A, 3W3P, CROUSE HINDS #AR1031-S22
4	1	EA.	410276	1 1/4" X 8" EMT NIPPLE CAP #170064 ON EXTERIOR
5	2	EA.	-	FLOOR BLOCKOUT, 8" X 25 1/2"
6	1	EA.	430084	INTERIOR LIGHT SWITCH, SPST, W/ 4" X 4" JB
7	1	EA.	540183	TELCO GROUND BAR, 2" X 14" X 1/4", TINNED
8	4	EA.	430034	DUPLEX RECEPTACLE, 20A, 125V
9	1	EA.	430033	GFCI RECEPTACLE, 20A, 120V, WITH 2" X 4" WP JB, W/ COVER 430384
10	1	EA.	CUSTOMER	TOWER LIGHT CONTROLLER, OPTIONAL, SUPPLIED BY CUSTOMER
11	1	EA.	470003	EXTERIOR LIGHT FIXTURE, 100W HPS WITH PHOTOCCELL
12	2	EA.	470057	INT. LIGHT FIXTURE, 4', DUAL BULB. FLUOR., T8, W/BULB PN 470058, W/ELECT. BALLAST
13	1	EA.	530010	WAVEGUIDE ENTRY PORT, 16 PORT, 4"
14	1	EA.	520100	HVAC #2, 3 TON, 10 KW, EUBANK
15	1	EA.	520100	HVAC #1, 3 TON, 10 KW, EUBANK
16	2	EA.	460100	THERMOSTAT, SINGLE STAGE, HEAT/COOL
17	1	EA.	460101	LOW TEMPERATURE ALARM, DAYTON 2E206
18	1	EA.	460101	HIGH TEMPERATURE ALARM, DAYTON 2E206
19	1	EA.	490000	MAGNETIC DOOR ALARM CONTACTS
20	1	EA.	490005	SMOKE DETECTOR, 24V, PHOTOELECTRIC, SENTROL
21	1	EA.	CUSTOMER	ALARM BLOCK, CUSTOMER SUPPLIED
22	1	EA.	350008	TELCO BOARD, 3/8" X 4'-0" X 4'-0" CDX, WITH FRP COVER
23	2	EA.	510011	HAT BRACKET, TO MOUNT ITEM 52 TO WALL
24	1	EA.	500009	3670 DOOR, FRAME, & HARDWARE
25	1	EA.	570006	DOOR CANOPY, COMPOSITE, 2' X 4'
26	1	EA.	504503	DOOR LOCKSET, DEADBOLT, BEST BRAND
27	176	FT.	400050	HALO RING AND DROPS, #2 STRANDED GREEN COPPER WIRE
28	7	EA.	170004	GROUNDING PENETRATIONS, 1 1/4" SCH 40 PVC CAST @ 45'
29	1	EA.	480000	LETTER TRAY
30	1	EA.	400009	DOOR GROUND STRAP, 1/2" BRAIDED, 14" LONG
31	58	FT.	510000	CABLE TRAY, 12", ZINC CHROMATE
32	3	FT.	410119	CONDUIT, 1" LFMC
33	11	EA.	510069	CABLE TRAY HANGING ASSEMBLY, 12"
34	1	EA.	410155	CONNECTOR, LFMC, 1"
35	1	EA.	170002	TELCO ENTRY, 4" SCH 40 PVC COUPLING
36	9	EA.	430005	JUNCTION BOX, 4" X 4"
37	1	EA.	410207	4" X 4" JB W/1/2" X 8" RIGID NIPPLE
38	4	EA.	410201	JUNCTION BOX, 4" X 4", W/ 1/2" X 8 1/2" RIGID NIPPLE
39	1	EA.	480088	SHELF, 20", WALL MOUNT
40	4	EA.	510003	CABLE TRAY WALL MOUNTING ANGLE, 1 3/4" X 1 3/4", PAINTED
41	2	EA.	540182	GROUND BAR, 4" X 20" X 1/4" COPPER, TINNED
42	1	EA.	693017	ICE SHIELD, 2" X 2" X 1/4" ANGLE
43	8	FT.	400050	EQUIPMENT DROPS, #2 GREEN STRANDED COPPER WIRE
44	65	FT.	400073	GROUND JUMPERS, #4 GREEN STRANDED COPPER WIRE
45	3	FT.	510001	CABLE TRAY, 6", GOLD CHROMATE
46	1	EA.	410184	4" X 4" JB, W/ 1/2" X 7 1/2" RIGID NIPPLE
47	1	FT.	410112	CONDUIT, 1/2" LFMC, 6'-0" LENGTHS
48	1	EA.	410111	CONDUIT, 3/4" LFMC, 6'-6" LENGTHS
49	1	EA.	410117	CONNECTOR, 1/2" LFMC, STRAIGHT
50	3	EA.	410139	CONNECTOR, 3/4" LFMC, STRAIGHT
51	1	EA.	510085	CABLE TRAY, HORIZONTAL 90° BEND
52	1	EA.	510100	CABLE TRAY, VERTICAL 90° BEND
53	2	EA.	510084	CABLE TRAY, Y-JUNCTION
54	4	EA.	430034	DUPLEX RECEPTACLE, 20A, 125V
55	1	EA.	410224	1 1/2" X 8" RIGID NIPPLE W/CAP #170063
56	1	EA.	CUSTOMER	FIRE EXTINGUISHER, 10lb, DRY CHEMICAL, CUSTOMER SUPPLIED
57	4	EA.	400099	GROUND BAR DROPS,#2 SOLID TINNED CAD WELDED, 15'-0"
58	2	EA.	400099	WAVEGUIDE GROUND STRAP, #2 SOLID TINNED CAD WELDED, 8"
59	1	EA.	430008	BOX, 6" X 6" X 4", SCREW COVER, NEMA 1, FOR RECTIFIERS
60	1	EA.	410280	1/2" X 5 1/2" RIGID NIPPLE

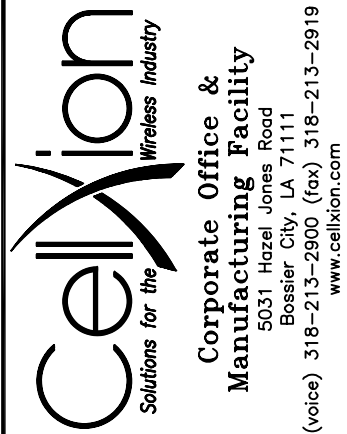
61	2	EA.	470057	INT. LIGHT FIXTURE, 4', DUAL BULB, FLOUR., T8, W/BULB PN 470058, W/ELECT. BALLAST
62	1	EA.	430084	INTERIOR LIGHT SWITCH, SPST, W/4" X4" JB
63	1	EA.	504103	DOOR, PEEP HOLE
64	1	EA.	430003	BOX, JUNCTION, 4", OCTAGON
65	5	EA.	510137	UNISTRUT, 4"
66		EA.		
67		EA.		
68		EA.		
69		EA.		
70		EA.		

OPTIONAL ITEM LIST

[illegible]

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.



CUSTOMER:

U.S. CELLULAR

PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
ITEMS LIST

FILENAME:
USA/SUSA020-2

SCALE:	TOLERANCE:
NTS	

DRWN. BY: G. BRINKMAN	DATE: 09/29/03
--------------------------	-------------------

CHK. BY: V. HASSELL	DATE: 09/29/03
------------------------	-------------------

ENG. BY: K. BARNETT	DATE: 09/29/03
------------------------	-------------------

APP. BY: J. ENGI	DATE: 09/29/03
---------------------	-------------------

SHEET NO./PART NO.:
0-2

DRAWING NO.: SUSA02	REV: C
-------------------------------	------------------

C	LCS	5/18/04	REV. QTY OF ITEMS 36, 38; REV. DESCRIPTION OF ITEM 39	VGH	5/18/04
B	LCS	10/28/03	ADDED ITEM 65; REVISED ITEMS 8, 36 & 54 QTY'S	VGH	10/28/03
A	SMH	10/15/03	ADDED ITEM #65	VGH	10/15/03
REV	BY	DATE	DESCRIPTION	APP. BY	DATE

DOOR HARDWARE SCHEDULE

QTY	U/M	PART NO.	DESCRIPTION
3	EA.	504000	DOOR HINGES, SS
1	EA.	504100	CLOSER, SARGENT 1104, ALUM.
1	EA.	504113	HOLD OPEN, T-LATCH, 6" SS
1	EA.	504102	BUMPER, RUBBER STOP, BROWN
1	SET	504200	WEATHER STRIPPING, MAGNETIC
1	EA.	504401	THRESHOLD, 48", 2 PCS, ALUMINUM
1	EA.	504300	LOCKGUARD, 10", SS
1	SET	504422	DOOR SHOE, 42", BOTTOM, 216AV, W/ RAINGUARD
2	EA.	504503	PULL HANDLE, CHROME
1	EA	570000	DOOR CANOPY, 48" PAINTED TO MATCH TRIM
1	EA.	504400	DRIP CAP, 48"
1	EA.	504555	DOOR STRIKER

FINISH SCHEDULE

EXTERIOR			
	WALLS		EXPOSED AGGREGATE
	ROOF		LATEX ROOF COATING
	METALS		PPG, URETEK PAINT, CUSTOM COLOR MATCH
INTERIOR			
	WALLS		
		INSULATION	1 3/4" R-MAX NAILABLE BASE-TX
		WOOD	7/16" OSB SHEATHING
		EXPOSED	5/32" WOOD PANELING
	CEILING		
		INSULATION	2 1/4" R-MAX NAILABLE BASE-TX
		WOOD	7/16" OSB SHEATHING
		EXPOSED	5/32" WOOD PANELING
	FLOOR		
		EXPOSED	.100 VINYL TILE, CONGOLEUM CX-14, COLOR "WHITE/LIGHT PEBBLE"

EQUIPMENT LABEL SCHEDULE

QTY	U/M	PART NO.	DESCRIPTION
1	EA.	420006	LABEL, "GFCI"
1	EA.	420007	LABEL, "ALARM BLOCK"
1	EA.	420009	LABEL, "INTERIOR LIGHT"
1	EA.	420010	LABEL, "AC PANEL"
1	EA.	420011	LABEL, "LOW TEMP"
1	EA.	420012	LABEL, "THERMOSTAT #1"
1	EA.	420013	LABEL, "THERMOSTAT #2"
1	EA.	420015	LABEL, "HIGH TEMP"
1	EA.	420017	LABEL, "HVAC #2"
1	EA.	420018	LABEL "HVAC #1"
1	EA.	420023	LABEL, "TRANSFER SWITCH"
1	EA.	420037	LABEL, "TVSS"
1	EA.	420025	LABEL, BRASS GREEN, 6" X 12"
1	EA.	420041	LABEL, "ARC FLASH AND SHOCK WARNING"

BREAKER SCHEDULE

QTY	U/M	PART NO.	DESCRIPTION
2	EA.	400077	BREAKER, SQ D, 2P, 60A, PLUG IN
6	EA.	400076	BREAKER, SQ D, 2P, 30A, PLUG IN
3	EA.	400080	BREAKER, SQ D, 1P, 20A, PLUG IN
1	EA.	400181	BREAKER, SQ D, 1P, 15A, PLUG IN
	EA.		
	EA.		
	EA.		
	EA.		

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion

Solutions for the

Wireless Industry

Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

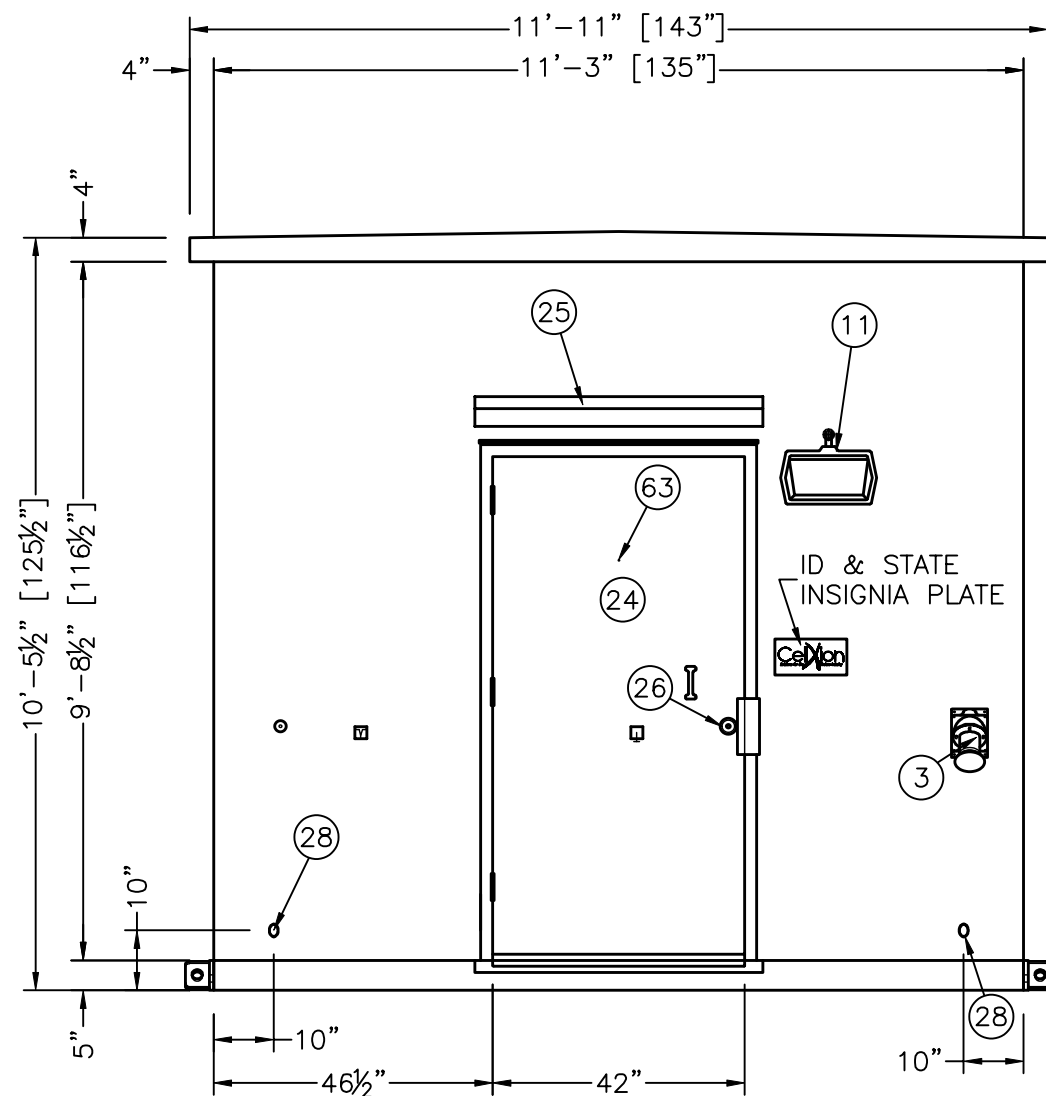
CUSTOMER:

U.S. CELLULAR

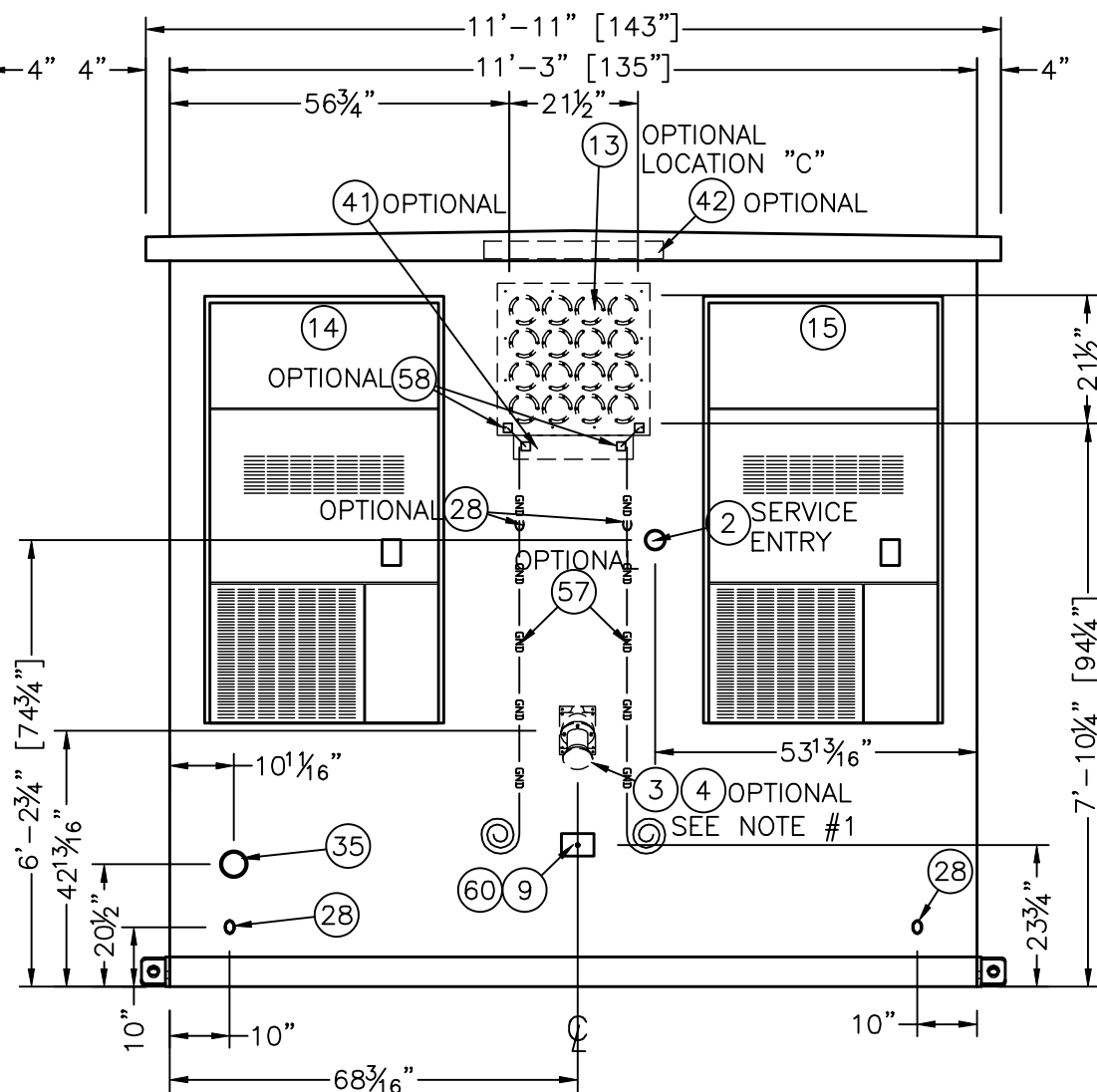
PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
SCHEDULES

FILENAME: USA/SUSA020-3	
SCALE: N.T.S.	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03
SHEET NO./PART NO.: 0-3	
DRAWING NO.: SUSA02	REV: C

C	ACM	5/20/04	REVISED DOOR HARDWARE, FINISH, & LABEL SCHEDULES	VGH	10/15/03
A	SMH	10/15/03	UPDATED THRESHOLD & DRIP CAP	VGH	10/15/03
REV	BY	DATE	DESCRIPTION	APP.BY	DATE



EXTERIOR ELEVATION "A"



EXTERIOR ELEVATION "C"

NOTE:

1. INSTALL ITEM #4 WHEN ITEM #3 IS NOT REQUIRED.

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC, IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion
Solutions for the Wireless Industry
Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:

11'-3" X 19'-4"
CONCRETE SHELTER
EXTERIOR ELEVATIONS
PANELS "A & C"

FILENAME:

USA/SUSA021-0

SCALE:

3/8"=1'-0"

TOLERANCE:

DRWN. BY:

G. BRINKMAN

DATE:

09/29/03

CHK. BY:

V. HASSELL

DATE:

09/29/03

ENG. BY:

K. BARNETT

DATE:

09/29/03

APP. BY:

J. ENGI

DATE:

09/29/03

SHEET NO./PART NO.:

1-0

DRAWING NO.:

SUSA02

REV:

C

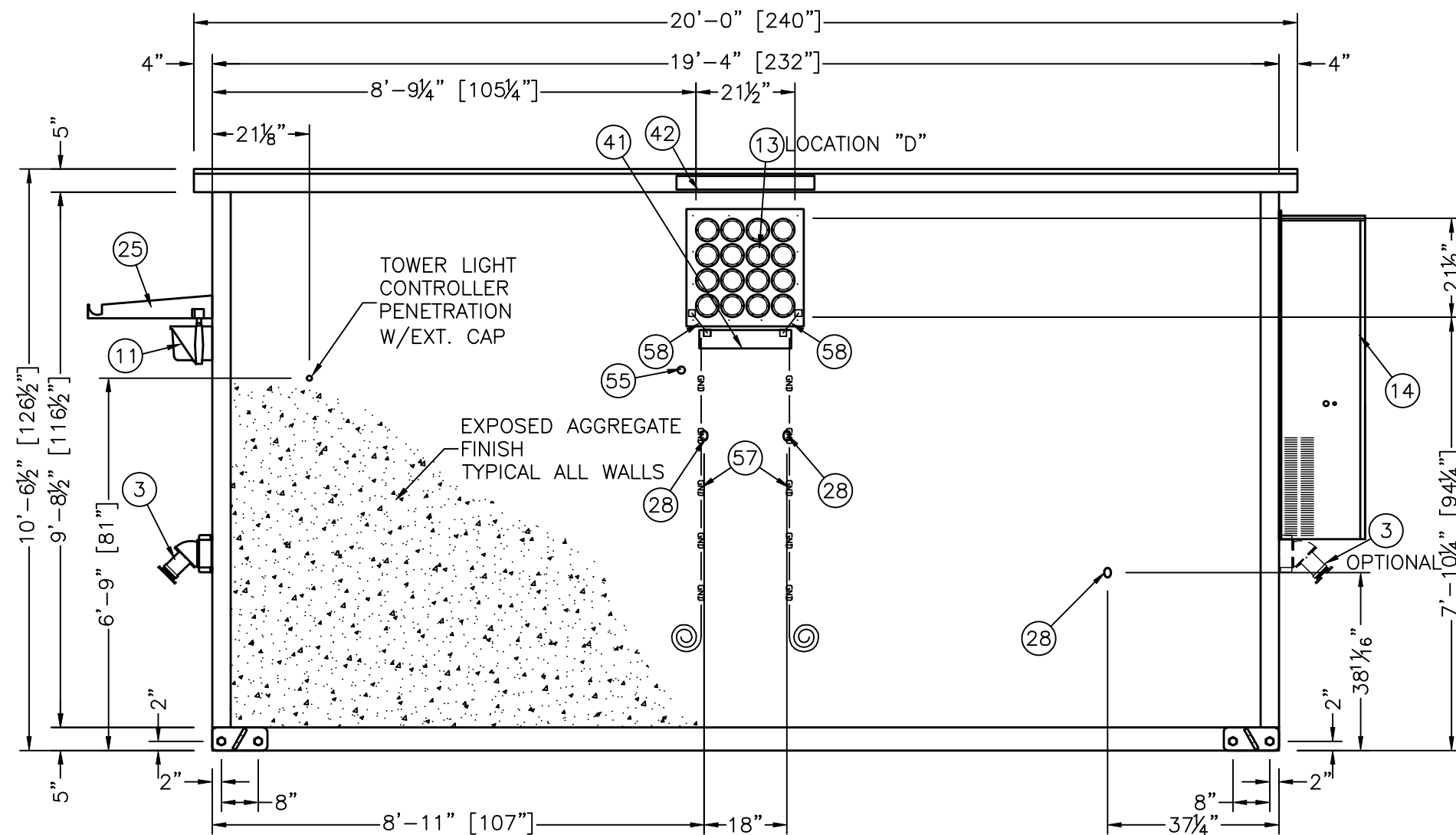
THIS DRAWING IS THE CONFIDENTIAL
PROPERTY AND CONTAINS TRADE
SECRETS OF CELLXION, LLC. ANY
USE OF THESE DRAWINGS OR THE
INFORMATION CONTAINED HEREIN
FOR ANY REASON OTHER THAN AS
EXPRESSLY AUTHORIZED BY
CELLXION, LLC. IS STRICTLY
PROHIBITED. THIS DRAWING HAS
BEEN DISTRIBUTED WITH THE
UNDERSTANDING THAT ANYONE
RECEIVING OR OTHERWISE OBTAINING
POSSESSION OF IT WILL BE
EXPRESSLY NOTIFIED OF ITS
CONFIDENTIAL NATURE.



PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
EXTERIOR ELEVATION
SIDE PANEL "B"

FILENAME: <i>USA/SUSA021-1</i>	
SCALE: <i>3/8"=1'-0"</i>	TOLERANCE:
DRWN. BY: <i>G. BRINKMAN</i>	DATE: <i>09/29/03</i>
CHK. BY: <i>V. HASSELL</i>	DATE: <i>09/29/03</i>
ENG. BY: <i>K. BARNETT</i>	DATE: <i>09/29/03</i>
APP. BY: <i>J. ENGI</i>	DATE: <i>09/29/03</i>
SHEET NO./PART NO.: <i>1-1</i>	
DRAWING NO.: <i>SUSA02</i>	REV: <i>C</i>

[illegible]



EXTERIOR ELEVATION "D"

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion Solutions for the Wireless Industry

Corporate Office & Manufacturing Facility

5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:

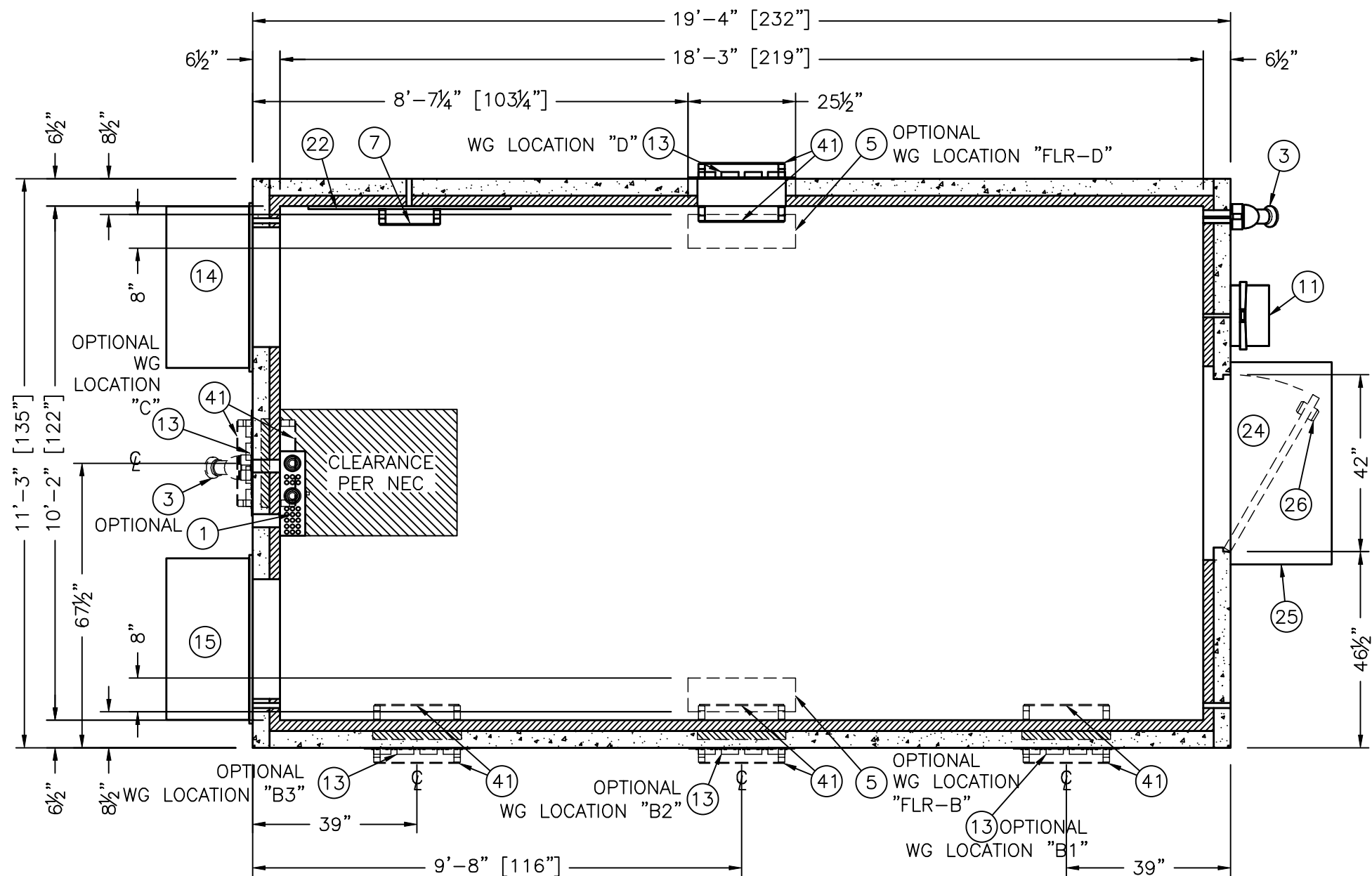
11'-3" X 19'-4"
CONCRETE SHELTER
EXTERIOR ELEVATION
END PANEL "D"

FILENAME:
USA/SUSA021-2

SCALE: 3/8"=1'-0"	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03

SHEET NO./PART NO.:
1-2

DRAWING NO.: SUSA02	REV: C
------------------------	-----------



FLOOR PLAN
217.50 SQ. FT. EXTERIOR
186.72 SQ. FT. INTERIOR

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.



Solutions for the Wireless Industry

Corporate Office & Manufacturing Facility

5031 Hazel Jones Road
Bossier City, LA 71111

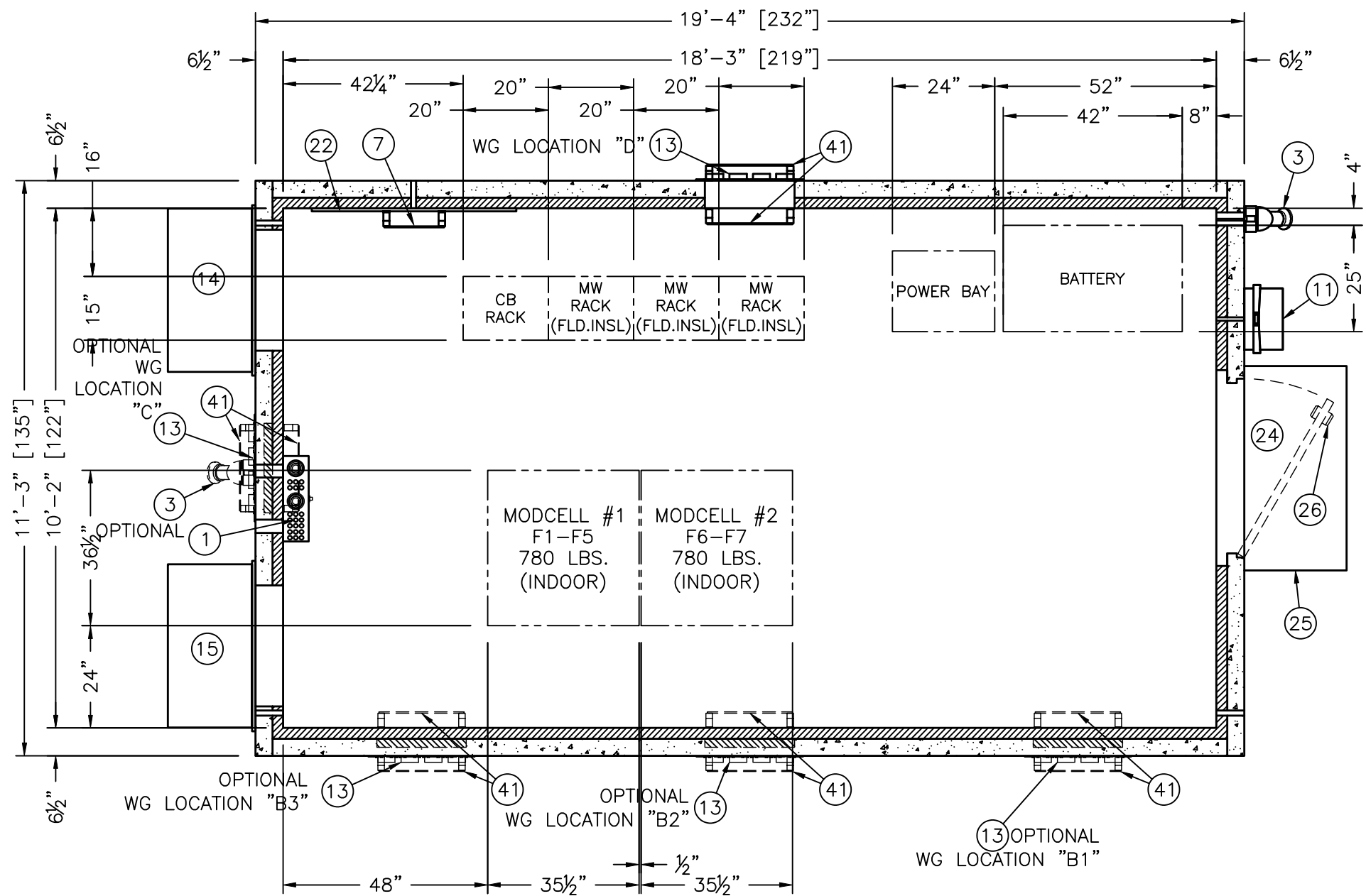
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:
U.S. CELLULAR

PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
FLOOR PLAN

FILENAME: USA/SUSA022-0	
SCALE: 3/8"=1'-0"	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03
SHEET NO./PART NO.: 2-0	
DRAWING NO.: SUSA02	REV: C

C	ACM	5/20/04	REVISED WALL THICKNESS	VGH	5/20/04
REV	BY	DATE	DESCRIPTION	APP. BY	DATE



FLOOR PLAN – EQUIPMENT LAYOUT #2

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Corporate Office & Manufacturing Facility

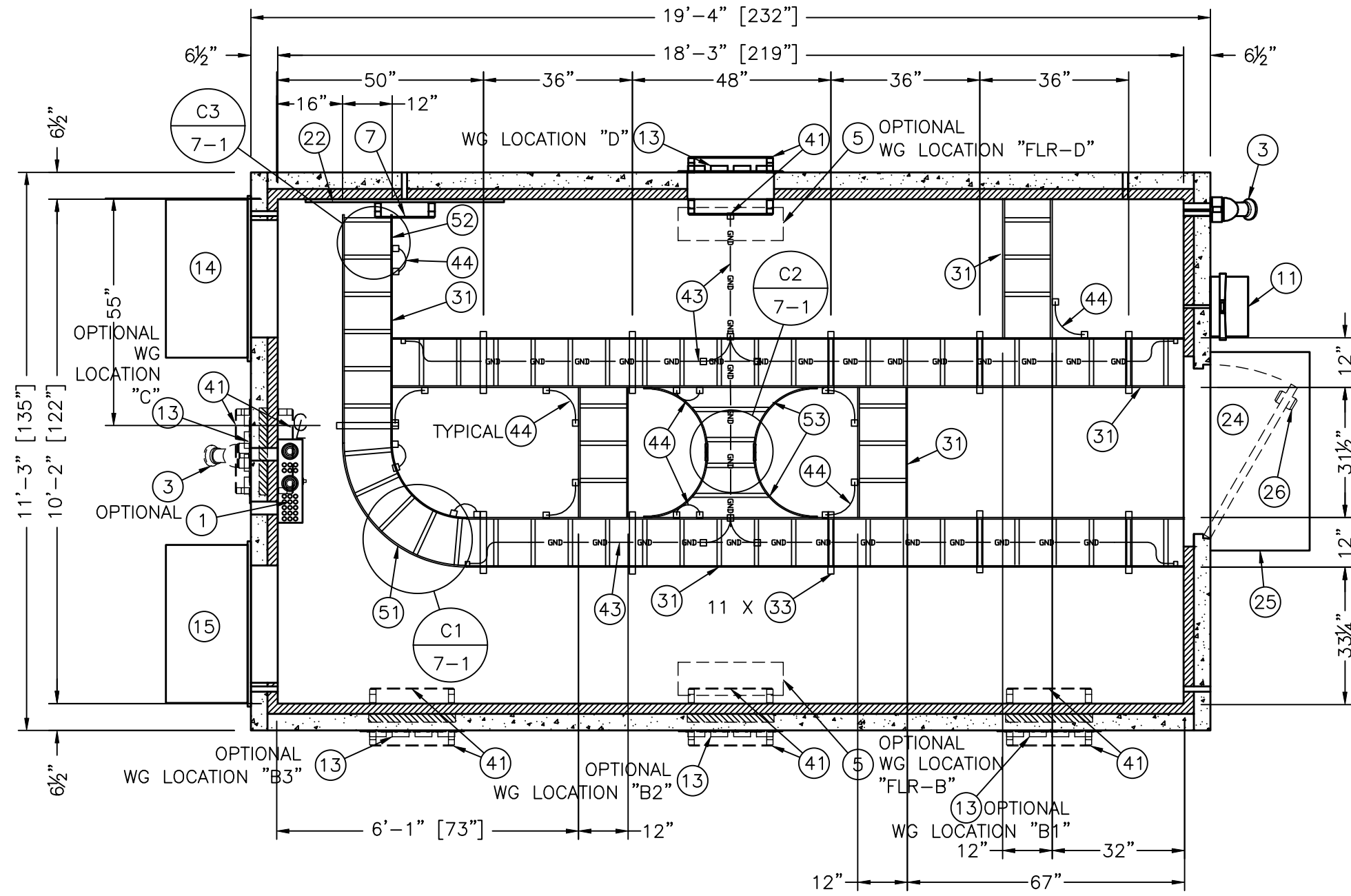
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:
U.S. CELLULAR

PROJECT:
11'-3" X 19'-4" CONCRETE SHELTER FLOOR PLAN EQUIPMENT LAYOUT #2

FILENAME: USA/SUSA022-2	
SCALE: 3/8"=1'-0"	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03
SHEET NO./PART NO.: 2-2	
DRAWING NO.: SUSA02	REV: C

C	ACM	5/20/04	REVISED WALL THICKNESS	VGH	5/20/04
REV	BY	DATE	DESCRIPTION	APP. BY	DATE



NOTES:

1. ALL CONDUIT TO BE 3/4" EMT, UNLESS OTHERWISE NOTED.
2. PLACEMENT OF ELECTRICAL EQUIPMENT TO BE DETERMINED BY AVAILABILITY OF PREMADE KNOCK-OUTS OR PENETRATION REQUIREMENTS.
3. CABLE TRAY GROUNDING JUMPERS ARE SHOWN AS REFERENCE ONLY - LOCATION MAY VARY.

LEGEND:

1. — GND — = HALO GROUND WIRE AND DROPS TO BE #2 STRANDED GREEN COPPER WIRE, EQUIPMENT DROPS TO BE #2 STRANDED GREEN COPPER WIRE AND JUMPERS TO BE #4 STRANDED GREEN COPPER WIRE.

C	LCS	5/19/04	REVISED CABLE TRAY	VGH	5/19/04
REV	BY	DATE	DESCRIPTION	APP. BY	DATE

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion

Solutions for the Wireless Industry

Corporate Office & Manufacturing Facility

5031 Hazel Jones Road

Bossier City, LA 71111

(voice) 318-213-2900 (fax) 318-213-2919

www.cellxion.com

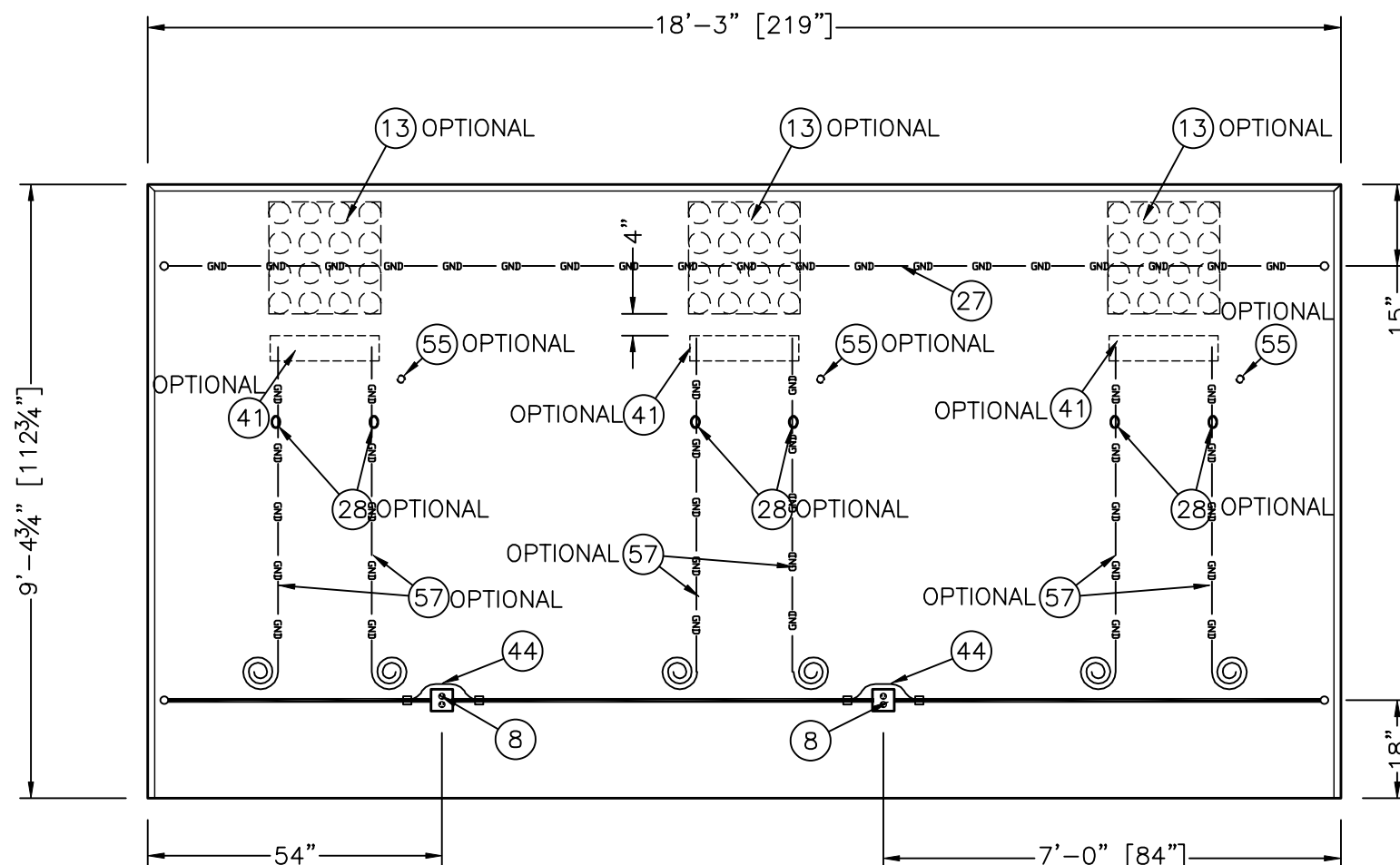
CUSTOMER:

U.S. CELLULAR

PROJECT:

11'-3" X 19'-4"
CONCRETE SHELTER
REFLECTED CEILING VIEW
MECHANICAL

FILENAME: USA/SUSA023-1	
SCALE: 3/8"=1'-0"	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03
SHEET NO./PART NO.: 3-1	
DRAWING NO.: SUSA02	REV: C



INTERIOR ELEVATION "B"

NOTES:

1. ALL CONDUIT TO BE 3/4" EMT, UNLESS OTHERWISE NOTED.
2. PLACEMENT OF ELECTRICAL EQUIPMENT TO DETERMINED BY AVAILABILITY OF PREMADE KNOCK-OUTS OR PENETRATION REQUIREMENTS.

LEGEND:

1. — LV — = LOW VOLTAGE CONDUIT TO BE 1/2" EMT UNLESS OTHERWISE NOTED.
2. — GND — = HALO GROUND WIRE AND DROPS TO BE #2 STRANDED GREEN COPPER WIRE, EQUIPMENT DROPS TO BE #2 GREEN STRANDED COPPER WIRE AND JUMPERS TO BE #4 STRANDED GREEN COPPER WIRE.

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion Wireless Industry
Solutions for the
Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

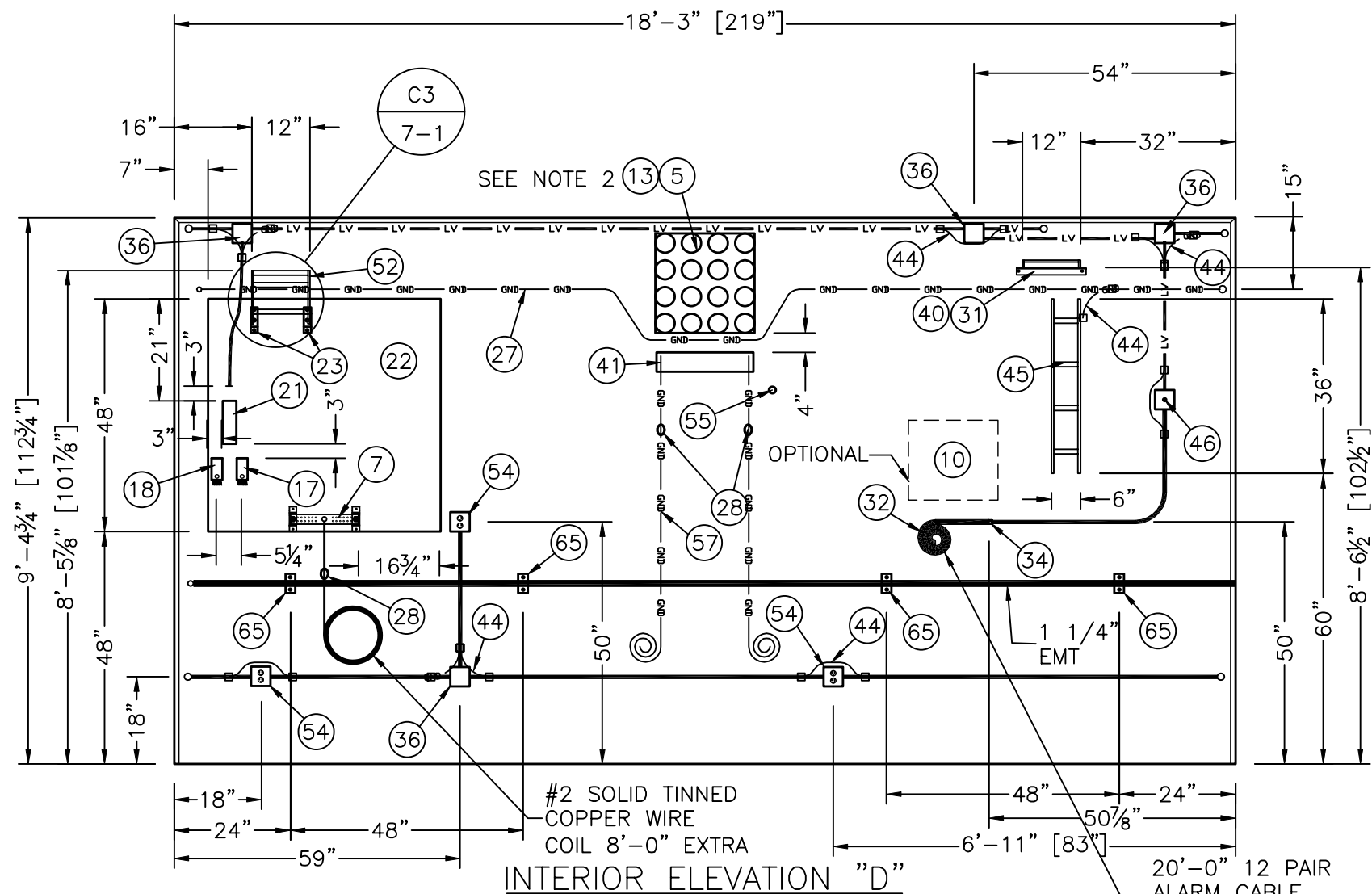
CUSTOMER:

U.S. CELLULAR

PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
INTERIOR ELEVATION
SIDE PANEL "B"

FILENAME: USA/SUSA024-1	
SCALE: 3/8"=1'-0"	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03
SHEET NO./PART NO.: 4-1	
DRAWING NO.: SUSA02	REV: C

C	LCS	5/19/04	REMOVED CABLE TRAY FROM ELEV. "B"	VGH	5/19/04
REV	BY	DATE	DESCRIPTION	APP. BY	DATE



NOTES:

- ALL CONDUIT TO BE 3/4" EMT, UNLESS OTHERWISE NOTED. 2. PLACEMENT OF ELECTRICAL EQUIPMENT TO DETERMINED BY AVAILABILITY OF PREMADE KNOCK-OUTS OR PENETRATION REQUIREMENTS.
- FOR WALL D WAVEGUIDE CONFIGURATION, MOUNT ITEMS 13 AND 41. MOUNT ITEM 5 CENTER WALL D.

LEGEND:

- LV — = LOW VOLTAGE CONDUIT TO BE 1/2" EMT UNLESS OTHERWISE NOTED.
- GND — = HALO GROUND WIRE AND DROPS TO BE #2 STRANDED GREEN COPPER WIRE, EQUIPMENT DROPS TO BE #2 GREEN STRANDED COPPER WIRE AND JUMPERS TO BE #4 STRANDED GREEN COPPER WIRE.

C	ACM	5/20/03	REVISED WALL THICKNESS	VGH	5/20/03
B	LCS	10/28/03	ADDED ITEMS 65	VGH	10/28/03
A	SMH	10/15/03	CHG'D ITEM NUMBER OF DUPLEX BY TELCO BOARD	VGH	10/15/03
REV	BY	DATE	DESCRIPTION	APP. BY	DATE

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion Wireless Industry
Solutions for the

Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:

11'-3" X 19'-4"
CONCRETE SHELTER
INTERIOR ELEVATION
SIDE PANEL "D"

FILENAME: USA/SUSA024-2	
SCALE: 3/8"=1'-0"	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/29/03
CHK. BY: V. HASSELL	DATE: 09/29/03
ENG. BY: K. BARNETT	DATE: 09/29/03
APP. BY: J. ENGI	DATE: 09/29/03
SHEET NO./PART NO.: 4-2	

DRAWING NO.: SUSA02	REV: C
------------------------	-----------

NOTES:

1. CONDUCTOR COLORS ARE AS FOLLOWING:

120/240 SINGLE PHASE

PHASE "A" = BLACK

PHASE "B" = RED

NEUTRAL = WHITE

120/208 THREE PHASE

PHASE "A" = BLACK

PHASE "B" = RED

PHASE "C" = BLUE

NEUTRAL = WHITE

277/480 THREE PHASE

PHASE "A" = YELLOW

PHASE "B" = BROWN

PHASE "C" = ORANGE

NEUTRAL = GRAY

ALL ELECTRICAL GROUND = GREEN

ALL ISOLATED GROUND = GREEN/YELLOW STRIPE

ALL SWITCHED = VIOLET

2. ALL CONDUCTORS (UNLESS OTHERWISE NOTED) TO BE STRANDED THHN, THWN OR THW.

3. ALL CONDUIT TO BE 3/4" EMT UNLESS OTHERWISE NOTED.

4. ALL CONDUCTOR AMPACITIES ARE BASED ON TABLE 310-16 NATIONAL ELECTRICAL CODE.

5. CONDUIT FILL BASED ON CHAPTER 9 - NATIONAL ELECTRICAL CODE.

6. PLACEMENT OF ELECTRICAL COMPONENTS TO BE DETERMINED BY THE AVAILABILITY OF PRE-MADE KNOCKOUTS AND/OR PENETRATION REQUIREMENTS.

7. DASHED LINES (-----) DENOTE FIELD WORK.

8. ALL CIRCUITS ON 25 AMP THROUGH 60 AMP BREAKER MUST USE #10 GROUND CONDUCTOR PER NEC TABLE 1996: 250-95; 1999: 250-122; 2002: 250.122.

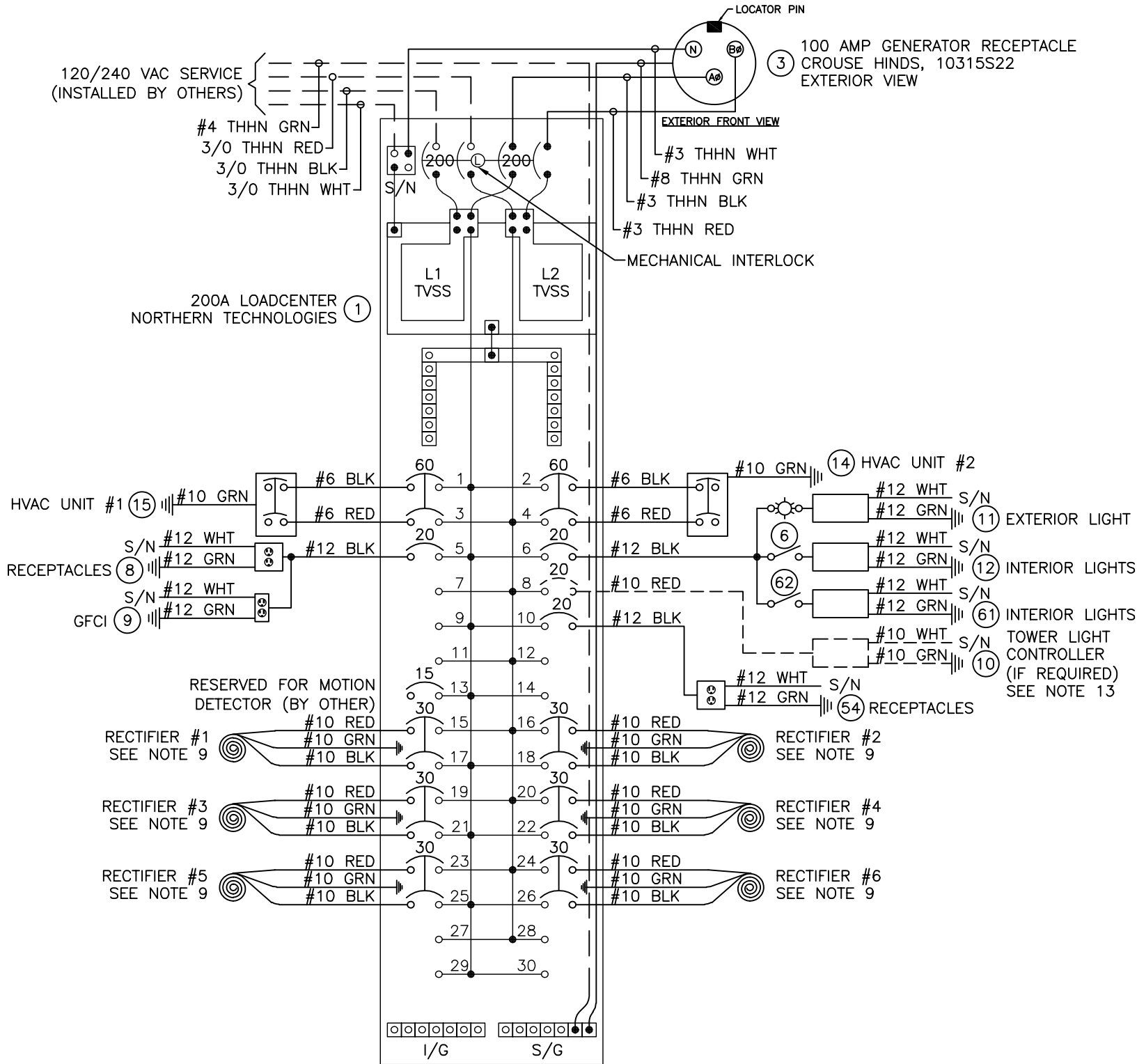
9. CONDUCTORS SMALLER THAN 4 AWG MUST HAVE CORRECT COLOR INSULATION. CONDUCTORS 4 AWG AND LARGER MAY BE RE-IDENTIFIED BY COLORED TAPE. BLACK INSULATED CONDUCTOR SHALL BE THE ONLY COLOR TO BE RE-IDENTIFIED. IF CONDUCTORS ARE RE-IDENTIFIED, IDENTIFICATION MUST BE APPLIED IN THREE INCH (3") WRAPS, MINIMUM EVERY THREE FEET (3'-0"). RE-IDENTIFICATION SHALL BE VISIBLE BY OPENING ANY ENCLOSURE. WHITE, GRAY AND GREEN CONDUCTORS SHALL NOT BE RE-IDENTIFIED.

10. PULL RECTIFIER CONDUCTORS TO ITEM 59 ON CEILING. COIL AND TAG 4'-0" EXTRA AT END OF CONDUIT. RECTIFIER #1, 2 CONDUITORS BE PULL IN ONE CONDUIT. RECTIFIERS #3, 4 CONDUITORS TO BE PULLED IN ONE CONDUIT. RECTIFIER #5, 6 CONDUCTORS TO BE PULLED IN ONE CONDUIT.

11. SERVICE GROUND CONDUCTORS TO GENERATOR RECEPTACLE TO BE TERMINATED TO GROUND SCREW LOCATED ON RECEPTACLE HOUSING.

12. TRANSFER TO EMERGENCY POWER MUST BE DONE MANUALLY. BEFORE TRANSFER, PANEL LOAD MUST BE REDUCED TO LESS THAN 100 AMPS.

13. PULL CONDUCTORS TO ITEM 54 CLOSEST TO ITEM 10. COIL AND TAG 6" EXTRA FOR FUTURE USE.



ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion
Solutions for the Wireless Industry
Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:

11'-3" X 19'-4"
CONCRETE SHELTER
ELECTRICAL SCHEMATIC

FILENAME:

USA/SUSA025-0

SCALE:

N.T.S.

TOLERANCE:

DRWN. BY:

G. BRINKMAN

DATE:

09/29/03

CHK. BY:

V. HASSELL

DATE:

09/29/03

ENG. BY:

K. BARNETT

DATE:

09/29/03

APP. BY:

J. ENGI

DATE:

09/29/03

SHEET NO./PART NO.:

5-0

DRAWING NO.:

SUSA02

REV:

C

B	LCS	10/28/03	REMOVED CKT 7	VGH	10/28/03
A	SMH	10/15/03	ADDED CIRCUIT 7	VGH	10/15/03
REV	BY	DATE	DESCRIPTION	APP. BY	DATE

DOOR INTRUSION ALARM
THE MAGNETIC DOOR ALARM IS WIRED NORMALLY CLOSE. CONTACTS CLOSE UPON DOOR CLOSURE. WHEN DOOR IS OPEN, CONTACTS OPEN SENDING AN ALARM.

HVAC #1 FAIL
WHEN HIGH PRESSURE OR LOW PRESSURE SWITCHES ACTIVATE THE LOCK OUT RELAY, THE ALARM CONTACTS WILL OPEN SENDING AN ALARM.

HVAC #2 FAIL
WHEN HIGH PRESSURE OR LOW PRESSURE SWITCHES ACTIVATE THE LOCK OUT RELAY, THE ALARM CONTACTS WILL OPEN SENDING AN ALARM.

HIGH TEMPERATURE ALARM
THE HIGH TEMP. ALARM IS SET TO OPEN ON TEMPERATURE INCREASE (OR RISE). SET POINT = 85° F

LOW TEMPERATURE ALARM
THE LOW TEMP. ALARM IS SET TO OPEN ON TEMPERATURE DECREASE (OR FALL). SET POINT = 45° F

TVSS PANEL
FOR SURGE ARRESTER ALARM, CONNECT TO COMMON AND NORMALLY CLOSED TERMINAL BLOCKS. NORMALLY CLOSED CONTACTS WILL BE CLOSED IN NORMAL POWER CONDITIONS. CONTACTS WILL OPEN IF TVSS PANEL FAILS.

#22 SOLID RED
#22 SOLID BLK

#22 SOLID RED
#22 SOLID BLK

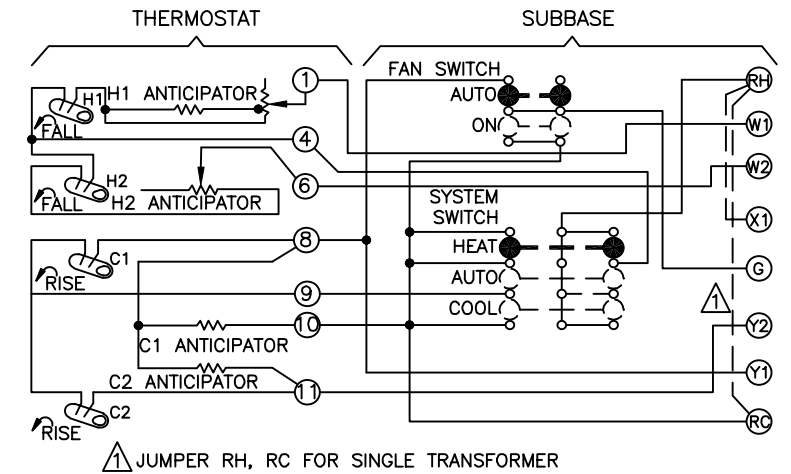
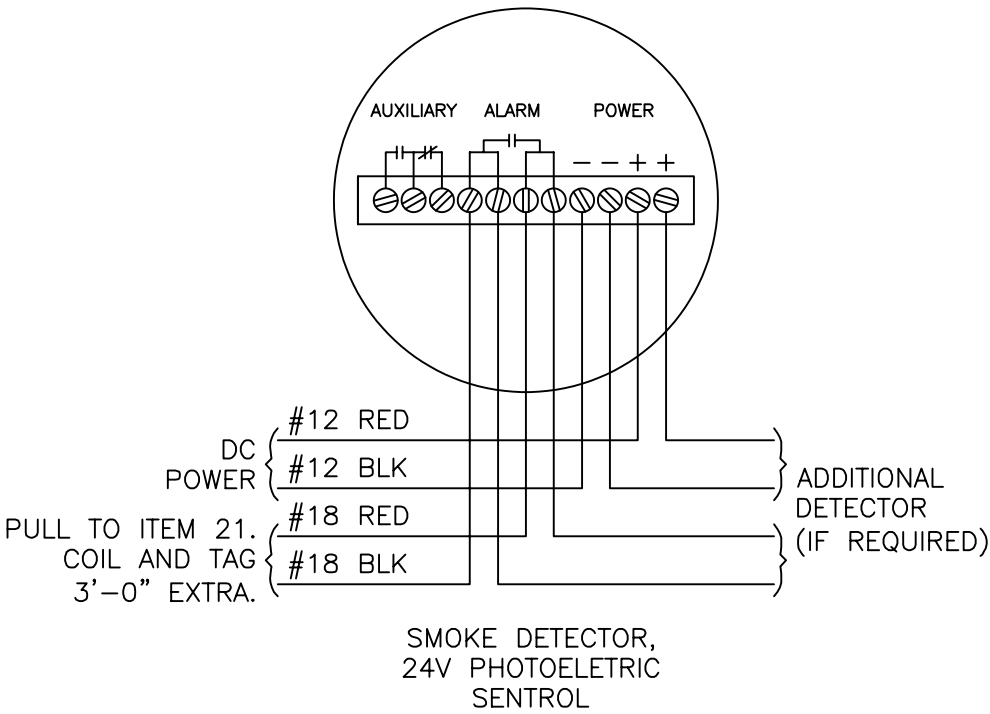
#22 SOLID RED
#22 SOLID BLK

#22 SOLID RED
#22 SOLID BLK

#22 SOLID RED
#22 SOLID BLK

#22 SOLID RED
#22 SOLID BLK

PULL TO ITEM 21. COIL AND TAG 3'-0" EXTRA



ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

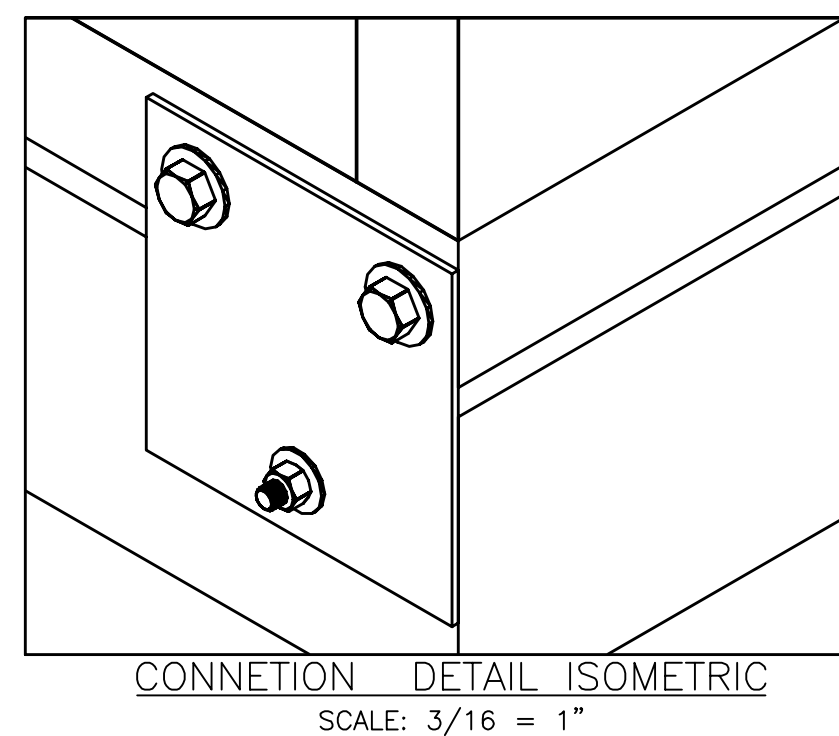
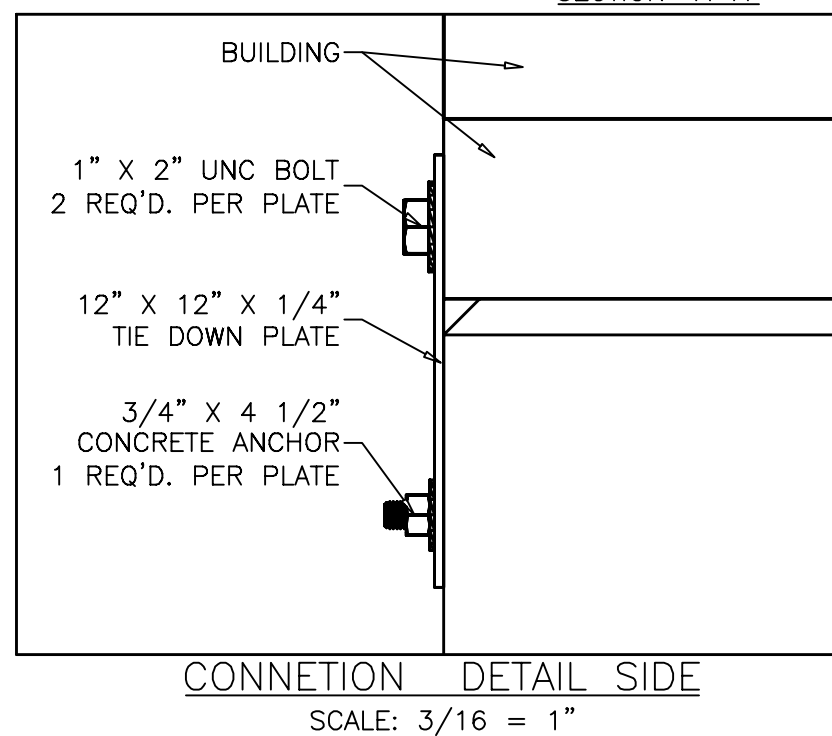
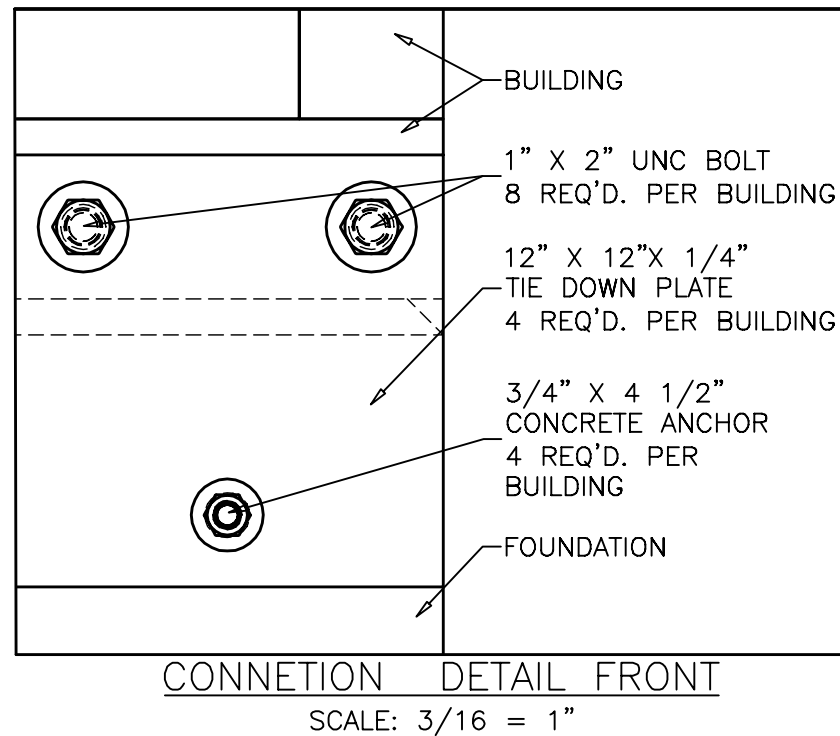
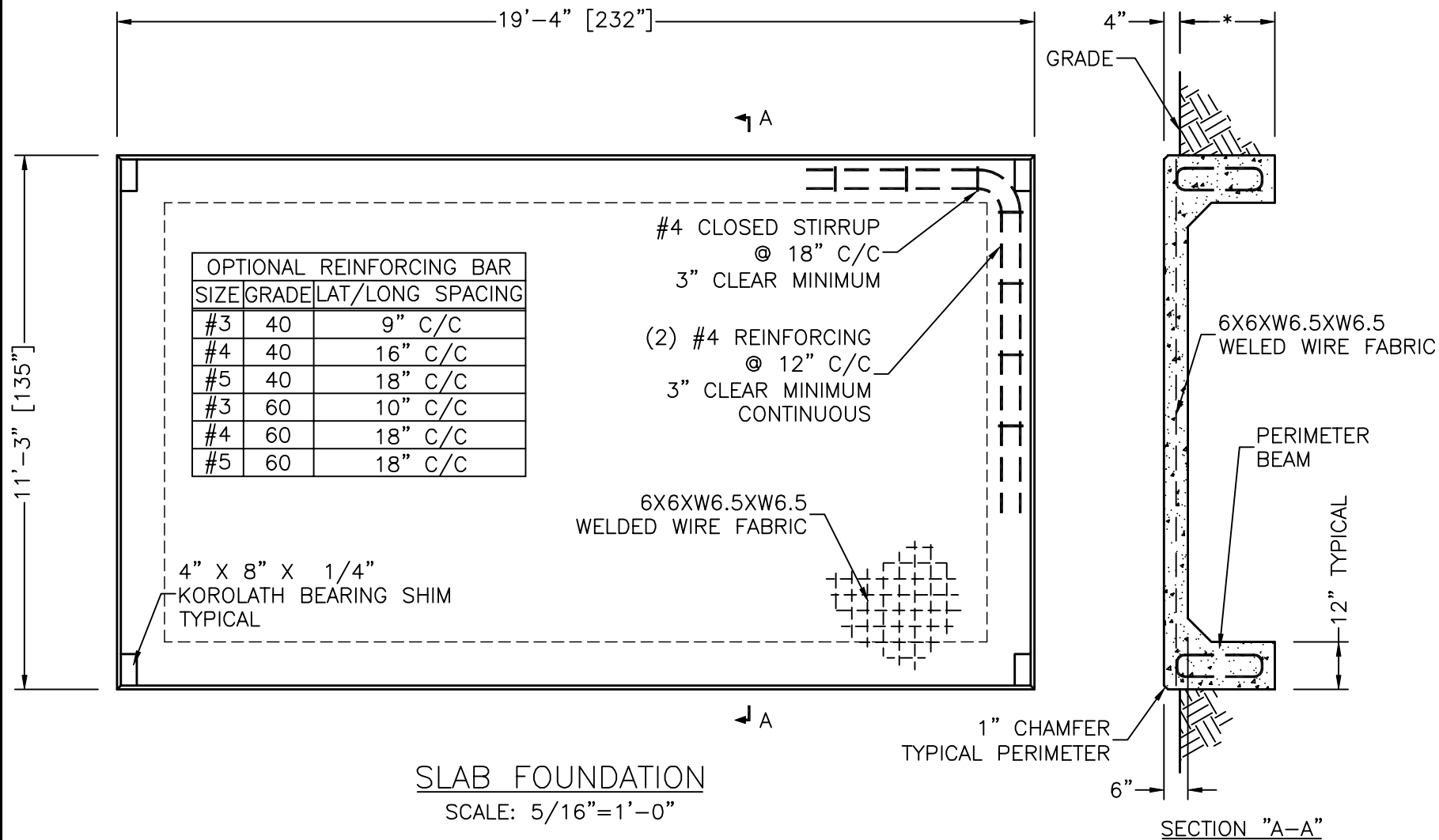
Cellxion
Solutions for the Wireless Industry
Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
LOW VOLTAGE WIRING

FILENAME:
USA/SUSA025-1
SCALE:
1" = 1"
TOLERANCE:
DRWN. BY:
G. BRINKMAN
DATE:
09/30/03
CHK. BY:
V. HASSELL
DATE:
09/30/03
ENG. BY:
K. BARNETT
DATE:
09/30/03
APP. BY:
J. ENGI
DATE:
09/30/03
SHEET NO./PART NO.:
5-1
DRAWING NO.:
SUSA02
REV:
C



NOTES:

1. WELDED WIRE FABRIC OR OPTIONAL REINFORCING BAR MAY BE USED AS AVAILABLE. SEE CHART FOR SIZE, GRADE, AND SPACING OF REBAR.
2. * = 24" MINIMUM, BUT MAY VARY AS REQUIRED PER: LOCAL CODE, FROST LINE, AND/OR SOIL BEARING CAPACITY.
3. FINAL FOUNDATION DESIGN IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
4. SLAB TOLERANCE IS $\pm 1/4$ "
5. ADDITIONAL ENGINEERING REVIEW IS REQUIRED IF THE SHELTER FOUNDATION IS PLACED ON SOIL WITH A BEARING CAPACITY LESS THAN 2000 PSF.
6. ALL REBAR TO BE GRADE 40 MINIMUM UNLESS OTHERWISE SPECIFIED.
7. W6.5 AS SPECIFIED FOR THE WWF HAS 0.288" DIAMETER.
8. WWF IS 60 KSI MINIMUM.
9. OVERLAP SPLICES ARE ALLOWED FOR REINFORCING BAR, USE 18" MINIMUM LAP.
10. ALL REQUIRED TIE DOWN PLATES, SHIMS, BOLTS, AND ANCHORS SHALL BE PLACED INSIDE SHELTER PRIOR TO SHIPMENT FROM MANUFACTURER.
11. CONCRETE STRENGTH, $F'_c = 3000$ PSI @ 28 DAYS.

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion
Solutions for the Wireless Industry

Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:

11'-3" X 19'-4"
CONCRETE SHELTER
FOUNDATION PLAN

FILENAME:

USA/SUSA026-0

SCALE:

NOTED

TOLERANCE:

DRWN. BY:

G. BRINKMAN

DATE:

09/30/03

CHK. BY:

V. HASSELL

DATE:

09/30/03

ENG. BY:

K. BARNETT

DATE:

09/30/03

APP. BY:

J. ENGI

DATE:

09/30/03

SHEET NO./PART NO.:

6-0

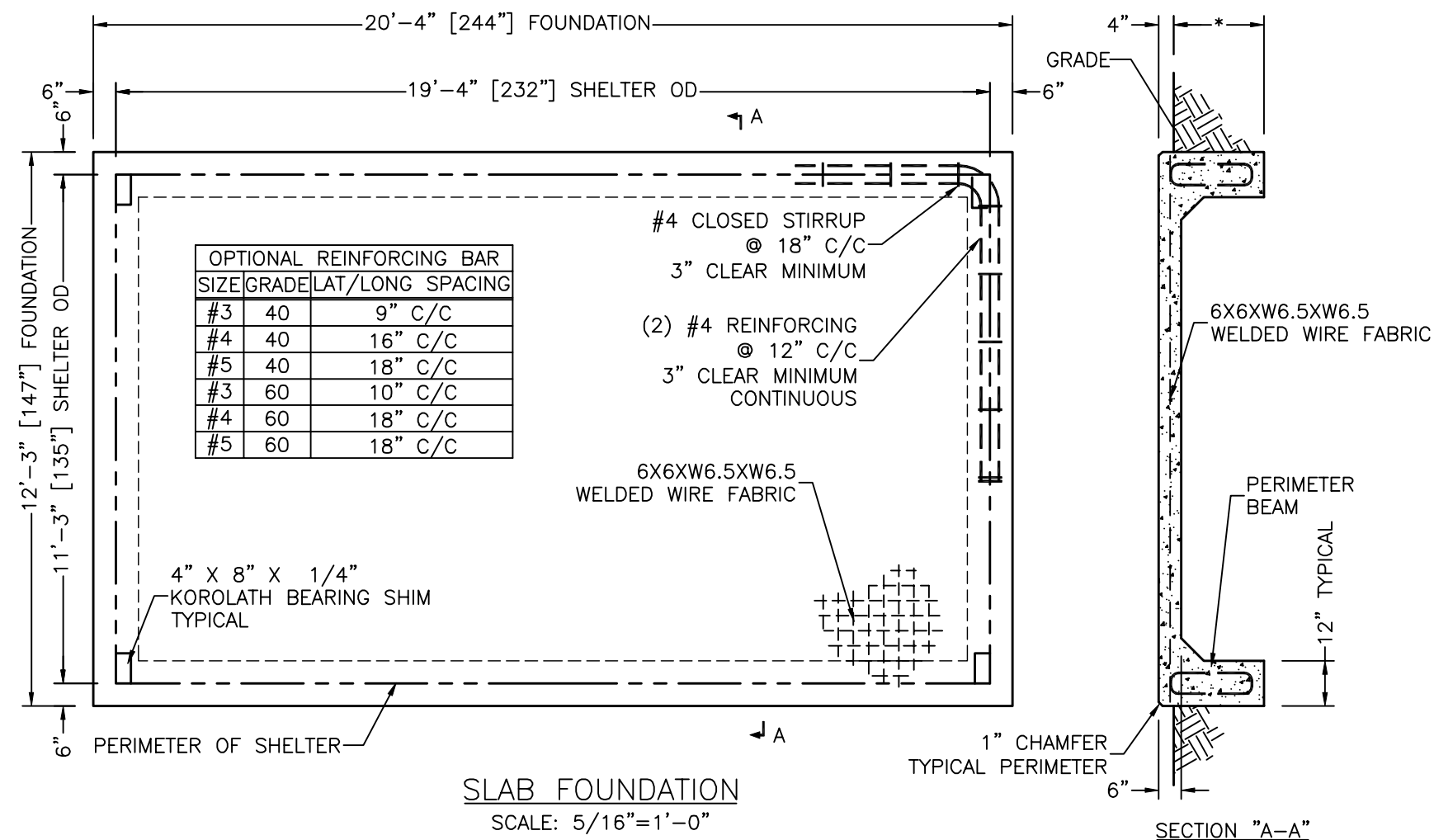
DRAWING NO.:

SUSA02

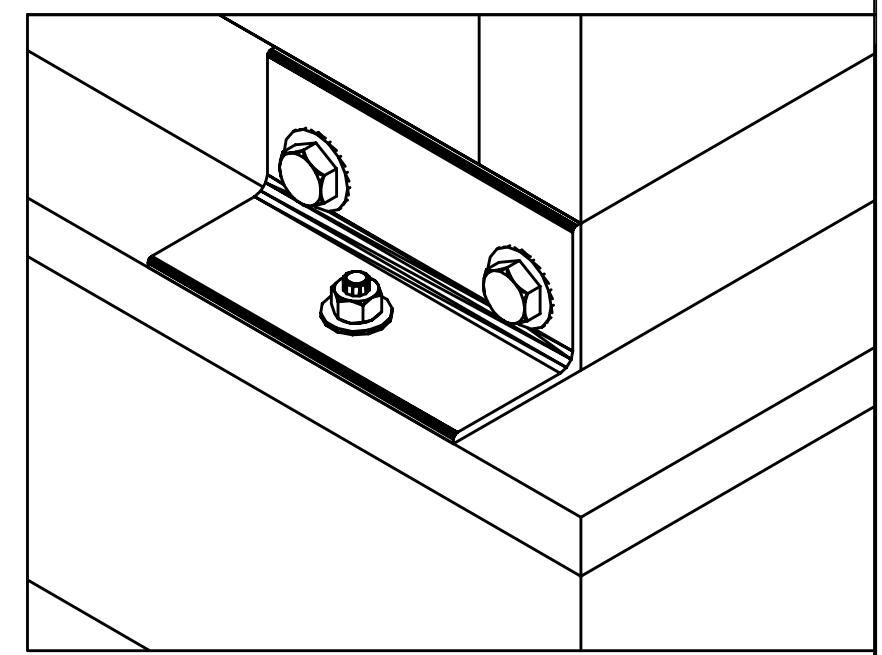
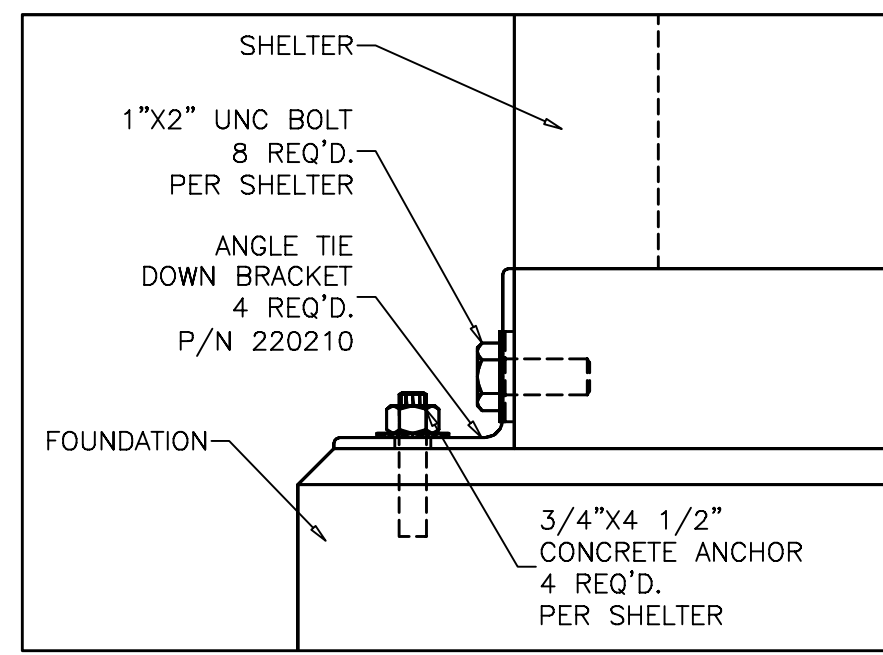
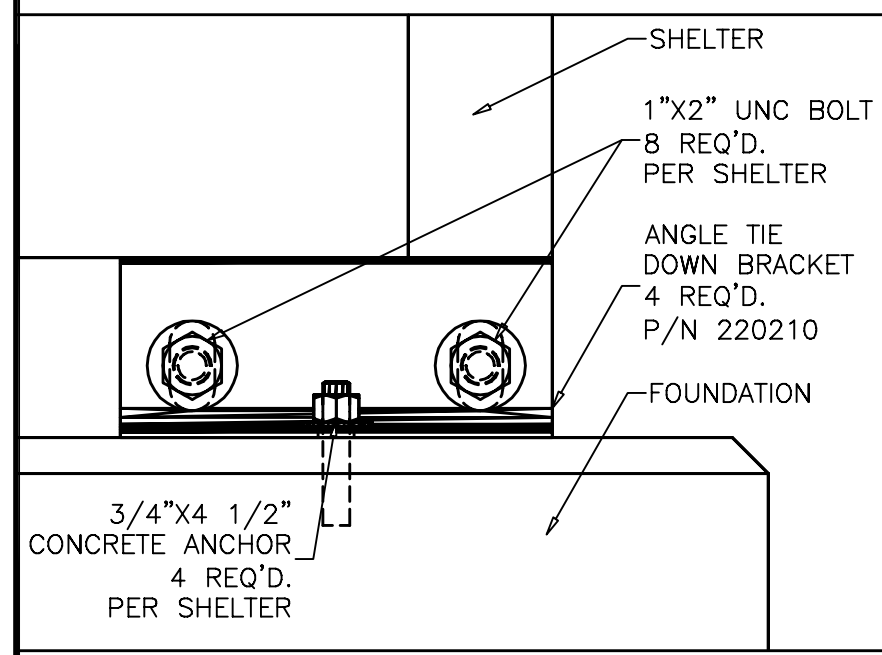
REV:

C

C	ACM	5/20/03	UPDATED TIEDOWN	VGH	5/20/03
REV	BY	DATE	DESCRIPTION	APP. BY	DATE



- NOTES:**
1. WELDED WIRE FABRIC OR OPTIONAL REINFORCING BAR MAY BE USED AS AVAILABLE. SEE CHART FOR SIZE, GRADE, AND SPACING OF REBAR.
 2. * = 24" MINIMUM, BUT MAY VARY AS REQUIRED PER: LOCAL CODE, FROST LINE, AND/OR SOIL BEARING CAPACITY.
 3. FINAL FOUNDATION DESIGN IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
 4. SLAB TOLERANCE IS $\pm 1/4"$
 5. ADDITIONAL ENGINEERING REVIEW IS REQUIRED IF THE SHELTER FOUNDATION IS PLACED ON SOIL WITH A BEARING CAPACITY LESS THAN 2000 PSF.
 6. ALL REBAR TO BE GRADE 40 MINIMUM UNLESS OTHERWISE SPECIFIED.
 7. W6.5 AS SPECIFIED FOR THE WWF HAS 0.288" DIAMETER.
 8. WWF IS 60 KSI MINIMUM.
 9. OVERLAP SPLICES ARE ALLOWED FOR REINFORCING BAR, USE 18" MINIMUM LAP.
 10. ALL REQUIRED TIE DOWN PLATES, SHIMS, BOLTS, AND ANCHORS SHALL BE PLACED INSIDE SHELTER PRIOR TO SHIPMENT FROM MANUFACTURER.
 11. CONCRETE STRENGTH, $F'_c = 3000$ PSI @ 28 DAYS.



ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion
Solutions for the Wireless Industry

Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:
U.S. CELLULAR

PROJECT:
11'-3" X 19'-4" CONCRETE SHELTER FOUNDATION PLAN (12'-3" X 20'-4")

FILENAME:
USA/SUSA026-1

SCALE: NOTED	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/30/03
CHK. BY: V. HASSELL	DATE: 09/30/03
ENG. BY: K. BARNETT	DATE: 09/30/03
APP. BY: J. ENGI	DATE: 09/30/03

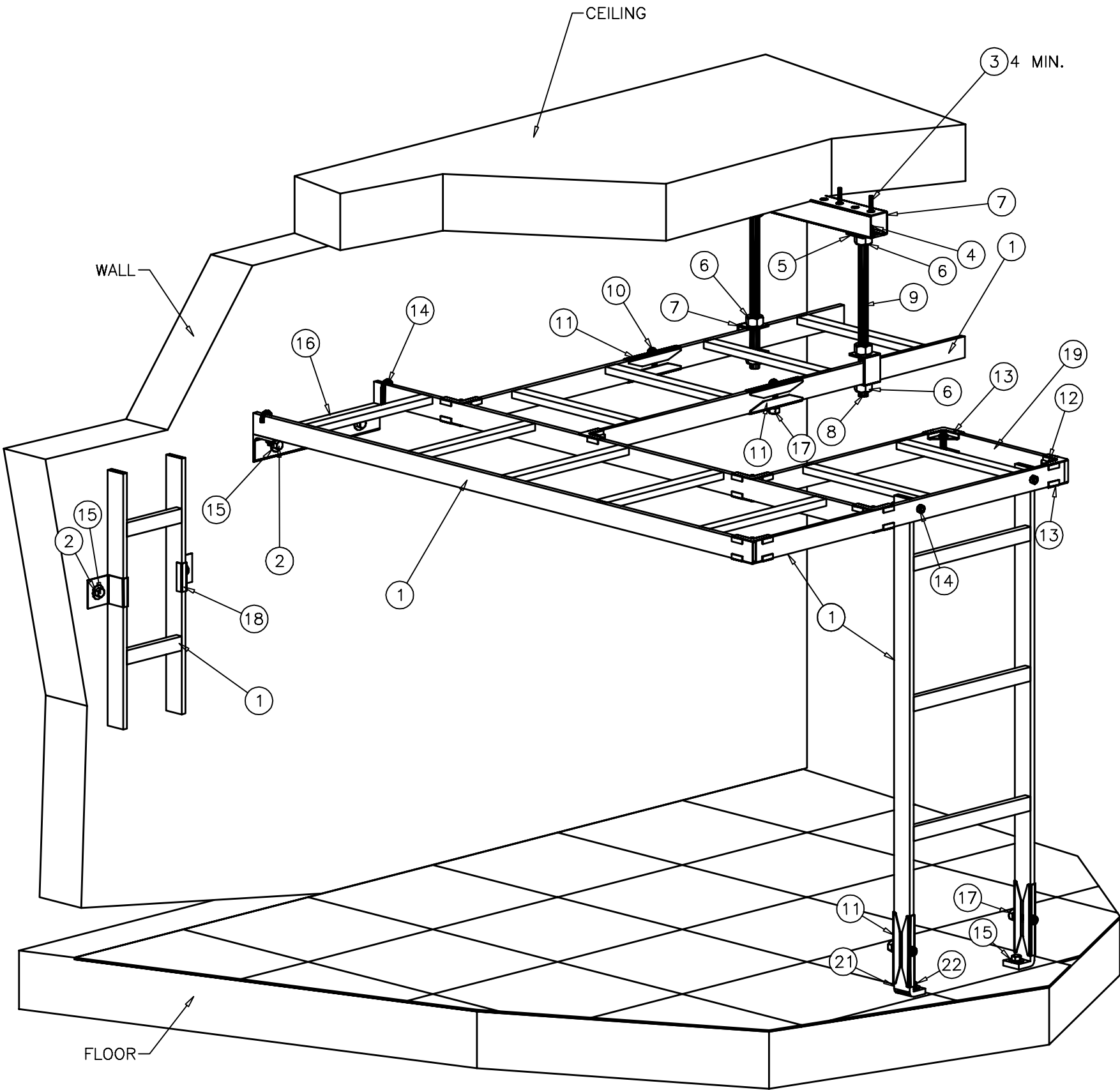
SHEET NO./PART NO.:
6-1

DRAWING NO.: SUSA02	REV: C
------------------------	-----------

MATERIAL LIST		
ITEM NO.	DESCRIPTION	PART NO.
1	CABLE TRAY (SIZE VARIES)	VARIES
2	3/8" X 2" LAG SCREW	164263
3	#6 X 1 1/4" GALV. SCREW	168022
4	5/8" SPRING LESS TWIRL NUT	168048
5	5/8" SQ. YELLOW ZINC WASHER	510012
6	5/8" HEX YELLOW ZINC NUT	510013
7	HANGING BRACKET	510011
8	5/8" ALL-THREAD CAP	510021
9	5/8" ZINC PLATED ALL-THREAD	168025
10	3/8" X 2 1/4" BOLT	510010
11	STRAIGHT CLAMP	510010
12	3/8" X 1 1/2" BOLT	510002
13	CORNER CLAMP	510002
14	1/4" X 2 1/4" J-BOLT	510004
15	3/8" FLAT WASHER	168038
16	WALL ANGLE (SIZE VARIES)	VARIES
17	3/8" HEX NUT	168039
18	WALL S CLAMP	510014
19	CLOSING BAR	VARIES
20	1/4" X 1" FENDER WASHER	168052
21	CABLE LADDER, FLOOR BRACKET	510074
22	SLEEVE ANCHOR, 5/16"x1 1/2"	168055
23		
24		
25		

NOTES:

1. PARTS AND DETAILS SHOWN ARE TYPICAL. SOME PARTS AND DETAILS MAY BE OMITTED FROM SHELTER.
2. CABLE TRAY FINISH, SIZES AND LOCATION MAY VARY. REFER TO CEILING VIEW, INTERIOR ELEVATIONS AND/OR ITEM LIST FOR LOCATIONS AND SIZES.
3. HANGING BRACKET ASSEMBLY MAY VARY IN LOCATION.
4. CLOSING BARS ARE USED TO TERMINATED CABLE TRAY RUN AS REQUIRED.



ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion

Solutions for the Wireless Industry

Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:

11'-3" X 19'-4"
CONCRETE SHELTER
CABLE TRAY DETAILS

FILENAME:
USA/SUSA027-0

SCALE: TOLERANCE:

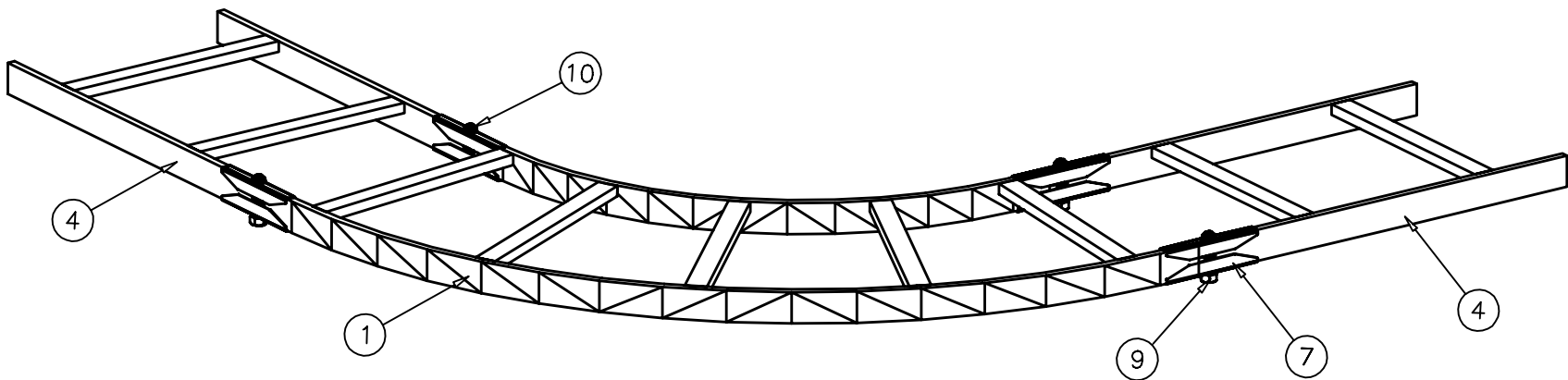
DRWN. BY: G. BRINKMAN	DATE: 09/30/03
CHK. BY: V. HASSELL	DATE: 09/30/03
ENG. BY: K. BARNETT	DATE: 09/30/03
APP. BY: J. ENGI	DATE: 09/30/03

SHEET NO./PART NO.:
7-0

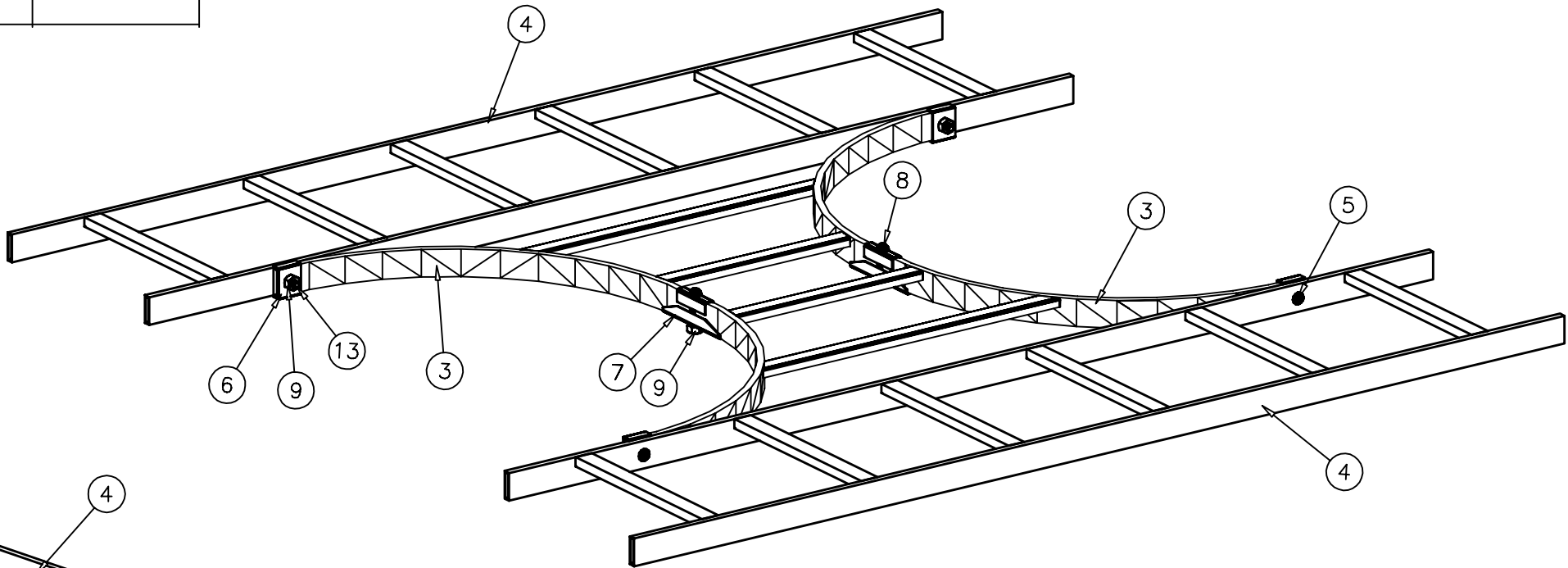
DRAWING NO.:
SUSA02

REV:
C

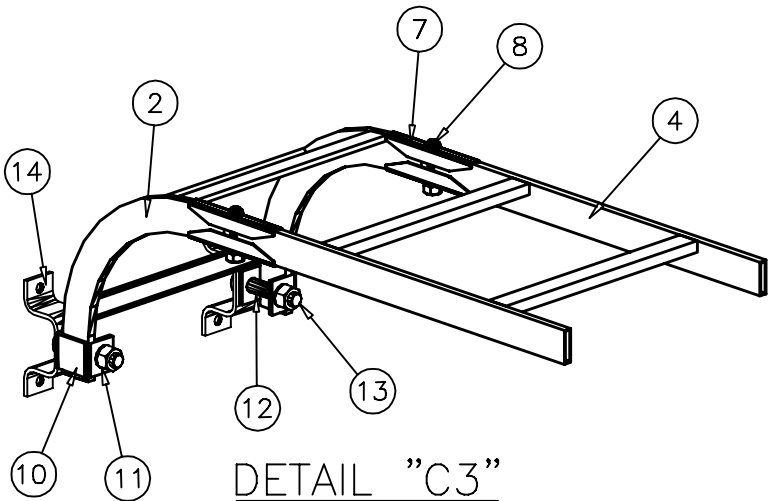
MATERIAL LIST		
ITEM NO.	DESCRIPTION	PART NO.
1	CT, HORIZONTAL 90° BEND, 12"	900007
2	CT, VERTICAL 90° BEND, 12"	900008
3	CT, Y-JUNCTION, 12"	900009
4	CABLE TRAY, 12"	510000
5	BOLT, 3/8" X 1 1/2"	510002
6	AUXILIARY CLIP	510027
7	STRAIGHT CLAMP	510010
8	BOLT, 3/8" X 2 1/4"	510010
9	HEX NUT, 3/8"	168039
10	HANGING BARCKET	510011
11	HEX NUT, 5/8", YELLOW ZINC	510013
12	HEX BOLT, 5/8" X 3"	168028
13	ALL-THREAD CAP, 5/8"	510021
14	HAT BRACKET	510016
15		
16		
17		
18		
19		
20		
21		
22		



DETAIL "C1"



DETAIL "C2"



DETAIL "C3"

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC, IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion

Solutions for the Wireless Industry

Corporate Office & Manufacturing Facility

5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

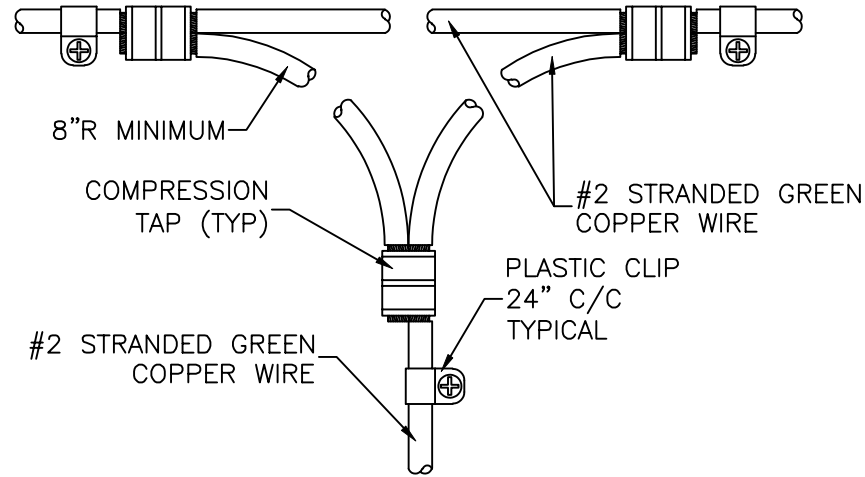
U.S. CELLULAR

PROJECT:

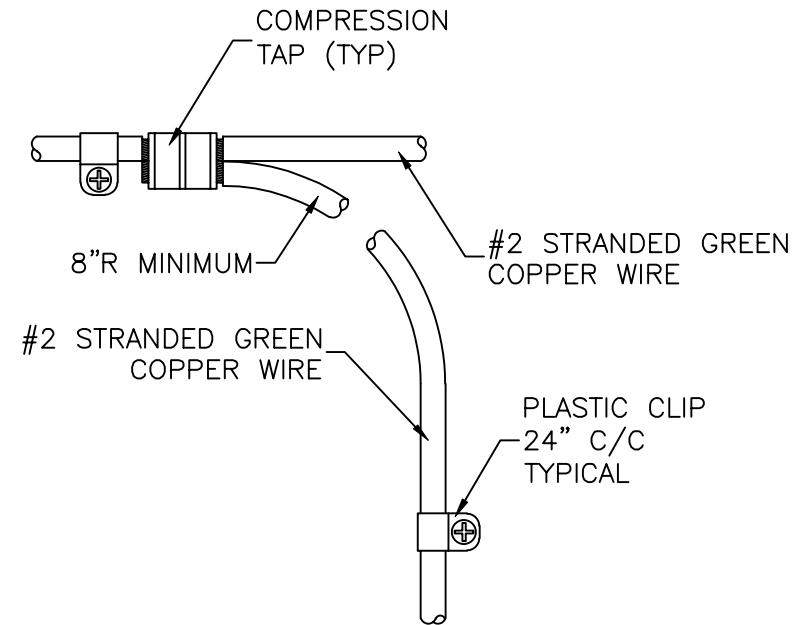
11'-3" X 19'-4"
CONCRETE SHELTER
CURVED CABLE
TRAY DETAILS

FILENAME: USA/SUSA027-1	
SCALE: N.T.S.	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/30/03
CHK. BY: V. HASSELL	DATE: 09/30/03
ENG. BY: K. BARNETT	DATE: 09/30/03
APP. BY: J. ENGI	DATE: 09/30/03
SHEET NO./PART NO.: 7-1	
DRAWING NO.: SUSA02	REV: C

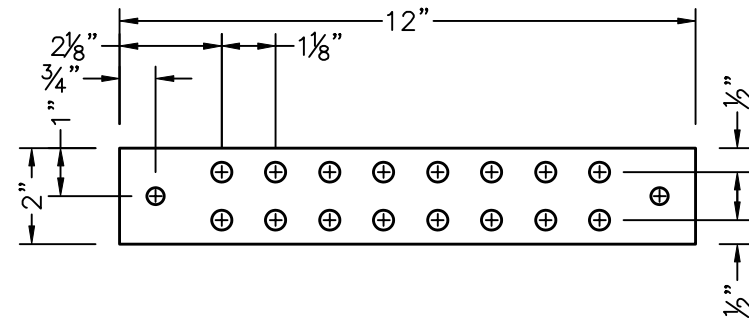
C	LCS	5/19/04	REVISED DETAIL "C-2"	VGH	5/19/04
REV	BY	DATE	DESCRIPTION	APP.BY	DATE



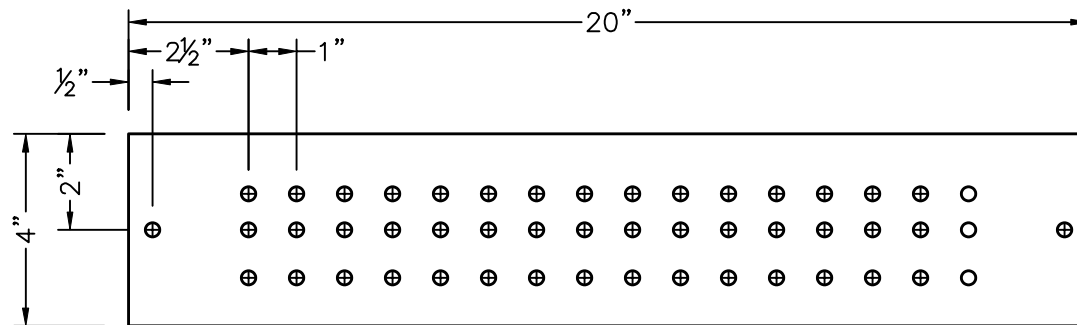
DETAIL "G1"
N.T.S.



DETAIL "G2"
N.T.S.



TELCO GROUND BAR



INTERIOR & EXTERIOR GROUND BAR

GROUND BAR DETAILS
3"=1'

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion Wireless Industry
Solutions for the
Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
GROUNDING AND
GROUND BAR DETAILS

FILENAME: USA/SUSA027-2	
SCALE: N.T.S.	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/30/03
CHK. BY: V. HASSELL	DATE: 09/30/03
ENG. BY: K. BARNETT	DATE: 09/30/03
APP. BY: J. ENGI	DATE: 09/30/03
SHEET NO./PART NO.: 7-2	
DRAWING NO.: SUSA02	REV: C

GENERAL NOTES:

- 1.) ALL STEEL FABRICATION AND INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL AND AWS D1.1 SPECIFICATIONS.
- 2.) ALL WELDING SHALL BE MIG TYPE WITH THE FOLLOWING OPERATING SETTINGS.
- WIRE SIZE -----0.35
WIRE FEED SPEED (in/min) -----5
VOLTAGE, DC (+) -----18.5
AMPERAGE, DC -----140
TRAVEL SPEED (in/min) -----10-12
SHIELDING GAS -----75/25
- 3.) STRUCTURAL STEEL SPECIFICATIONS:
- STEEL DECK AND COLD FORMED SHAPES ASTM A446 GRADE D
STRUCTURAL SHAPES ASTM A36
HIGH STRENGTH BOLTS, ASTM A325
OTHER BOLTS, SAE J429 GRADE 5
STRUCTURAL TUBING ASTM A500 GRADE B
- 4.) ALL CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (A.C.I.) BUILDING CODES 318 & 211, AND ASTM STANDARDS C-172, C-31, C-39, AND PROVISIONS OF C-94.
- 5.) ALL PRECAST STRUCTURAL LIGHTWEIGHT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS.
- 6.) ALL REINFORCING STEEL BARS SHALL BE DOMESTIC, NEW BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60 SPECIFICATIONS.
- 7.) CONCRETE COVERAGE OVER ALL REINFORCING STEEL SHALL BE A MINIMUM OF 3/4".
- 8.) ALL REBAR SHALL BE TIED 100% AT THE PERIMETER, AND 50% ELSEWHERE.
- 9.) ALL REBAR WIRE TIES TO BE 16 GAUGE.
- 10.) FIBROUS REINFORCED LIGHTWEIGHT CONCRETE MAY BE USED IN THE ROOF AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS. FIBER REINFORCEMENT MAY BE USED IN THE FLOOR IF DESIRED. IN ORDER TO MAKE BATCHING OPERATION MORE EFFICIENT.
- 11.) CELLXION CONCRETE EQUIPMENT SHELTERS ARE DESIGNED TO CONTAIN COMMUNICATION EQUIPMENT AND ARE INTENDED TO BE UNMANNED.
- 12.) WELD PLATE CONNECTIONS SHALL BE SPACED AT 4'-8" MAXIMUM ON THE FLOOR AND ROOF PANELS. THIS DIMENSION SHALL BE MAINTAINED EXCEPT IN CASES WHERE OPENINGS PROHIBIT.
- 13.) TOLERANCES SHALL BE AS FOLLOWS:
PANEL THICKNESS - $\pm 1/8"$
PANEL SIZE - $\pm 1/16"$
PANEL SQUARENESS - $\pm 1/8"$ AGREEMENT ON DIAGONALS
LOCATION OF BLOCKOUTS & PVC'S - $\pm 1/4"$
BLOCKOUT DIMENSIONS - $+1/4"$, $-0"$
PVC SIZE - USE TRADE SIZE AS LISTED ON PROJECT DRAWINGS
- 14.) SECTIONS & DETAILS MAY BE FOUND ON THE FOLLOWING SHEETS.

GENERAL: THESE REBAR SIZES AND SPACINGS REPRESENT THE MINIMUM AMOUNT FOR ALL CASTING PLANS. PROJECT DRAWINGS MAY REQUIRE REINFORCEMENT IN ADDITION TO CELLXION STANDARDS.

ROOF PANEL: #4 (SHORT AXIS) 12" O.C. AND #4 (LONG AXIS) AT 18" O.C.

WALL PANEL: #4 AT PERIMETER AND 4x4-W4.5xW4.5 MESH THROUGHOUT.

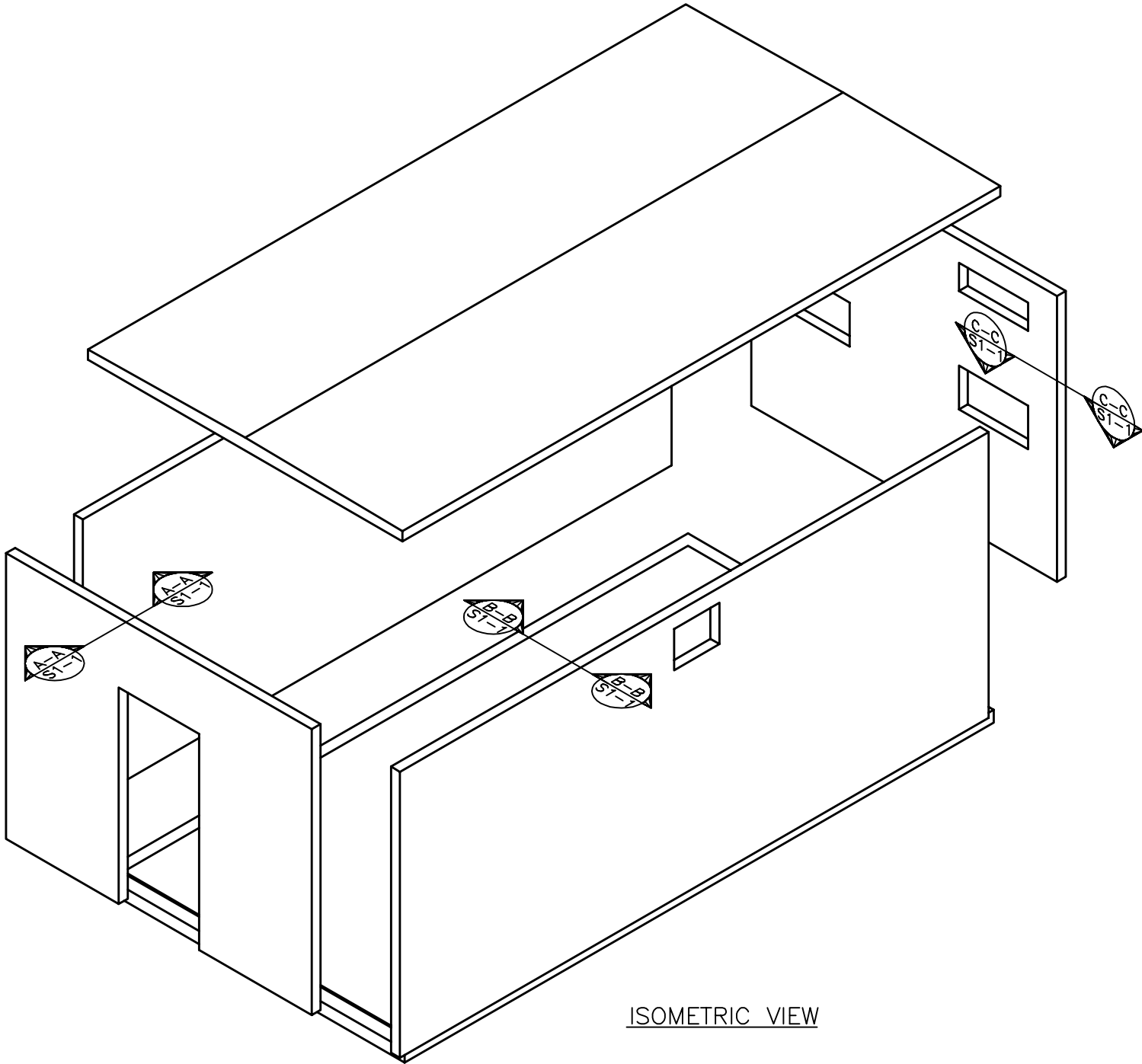
WALL OPENINGS: SEE DETAIL P & Q (SHEET NO. 6)

FLOOR: (2)-#6 (SHORT AXIS) EACH RIB, #6 (LONG AXIS) EACH RIB AND AT PERIMETER. DECK: 4x4-W4.5xW4.5 MESH.

WELD PLATES : 1/4"x3"x3", A36 STEEL.

SEALANT APPLICATION

- STEP 1. URETHANE SEALANT REQUIRED ON ALL JOINTS.
- STEP 2. ROOF MEMBRANE
APPLY SEALER TO ROOF PER MFG. DIRECTIONS.
USE 1 GALLON PER 70 SQ. FEET.
- STEP 3. APPLY AGGREGATE SEALER TO EXTERIOR WALLS.
USE 1 GALLON PER 200 SQ. FEET.
- STEP 4. USE TEXTURED SEALER ON ALL SMOOTH EXPOSED SURFACES. USE CEMENTITIOUS GRAY PAINT.



ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

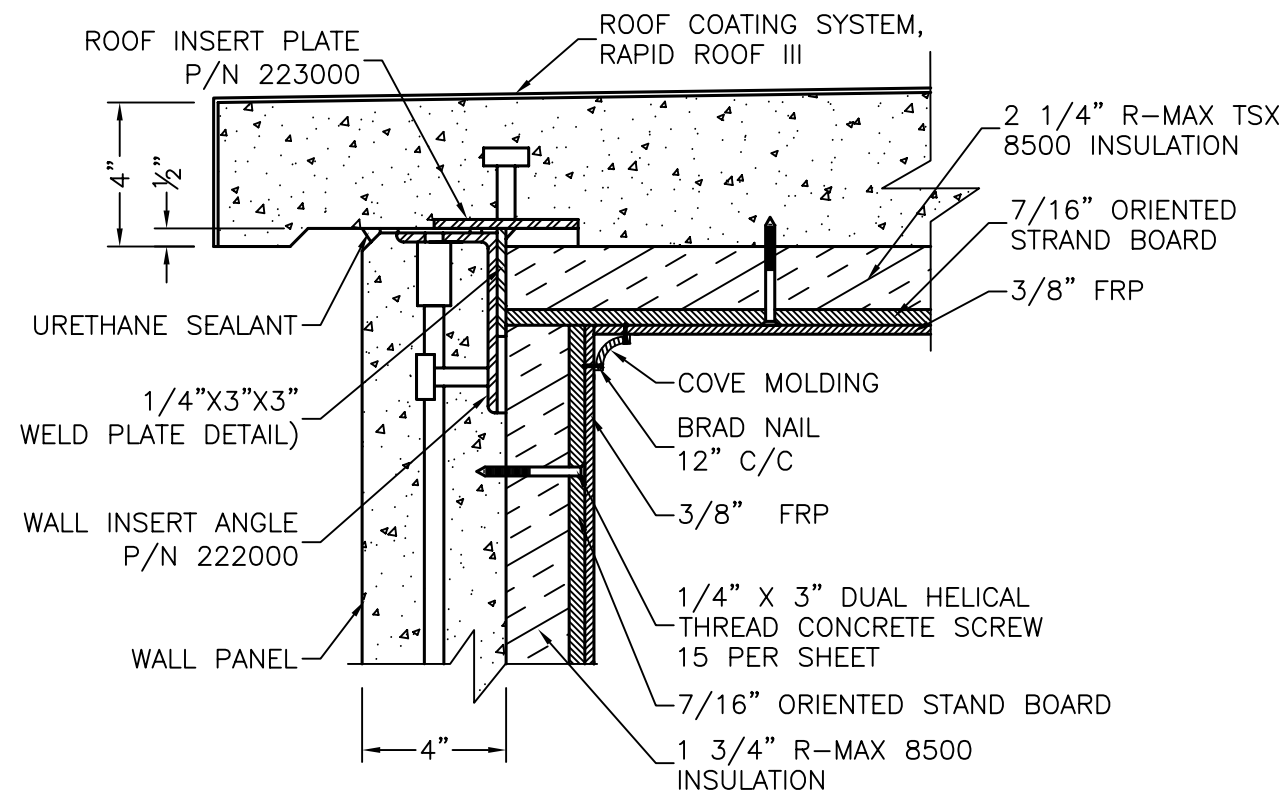
Cellxion
Solutions for the Wireless Industry
Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

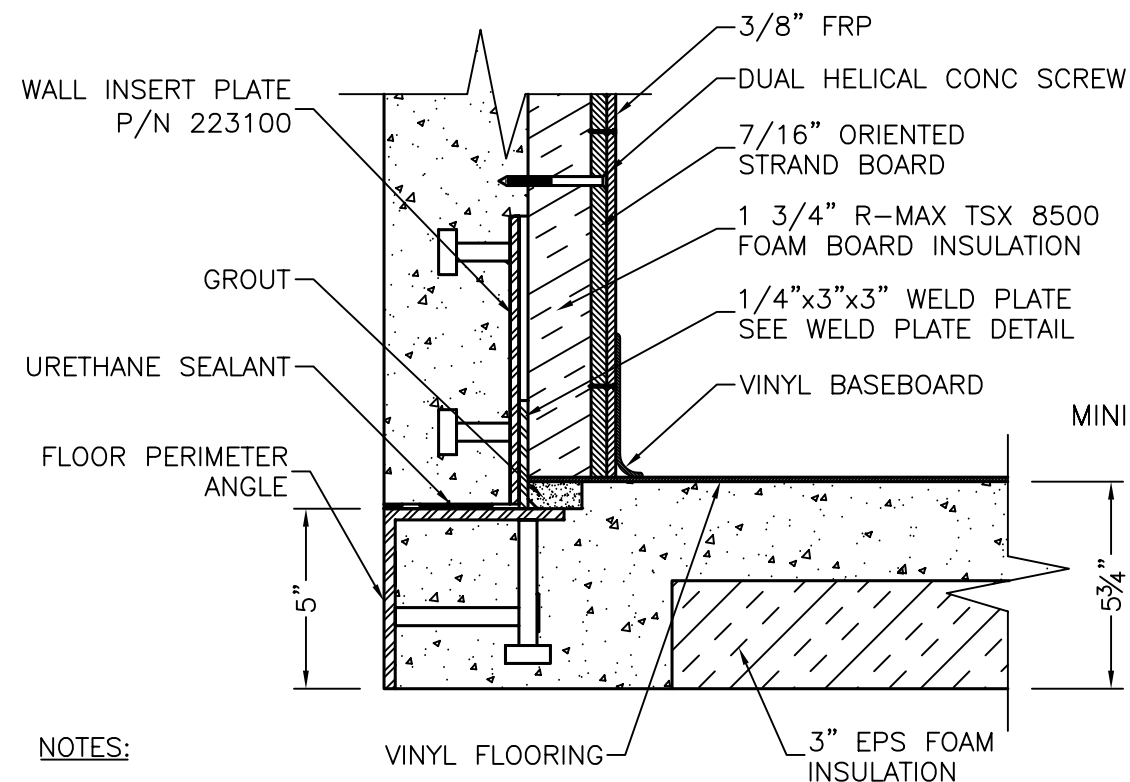
U.S. CELLULAR

PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
STRUCTURAL
SPECIFICATIONS

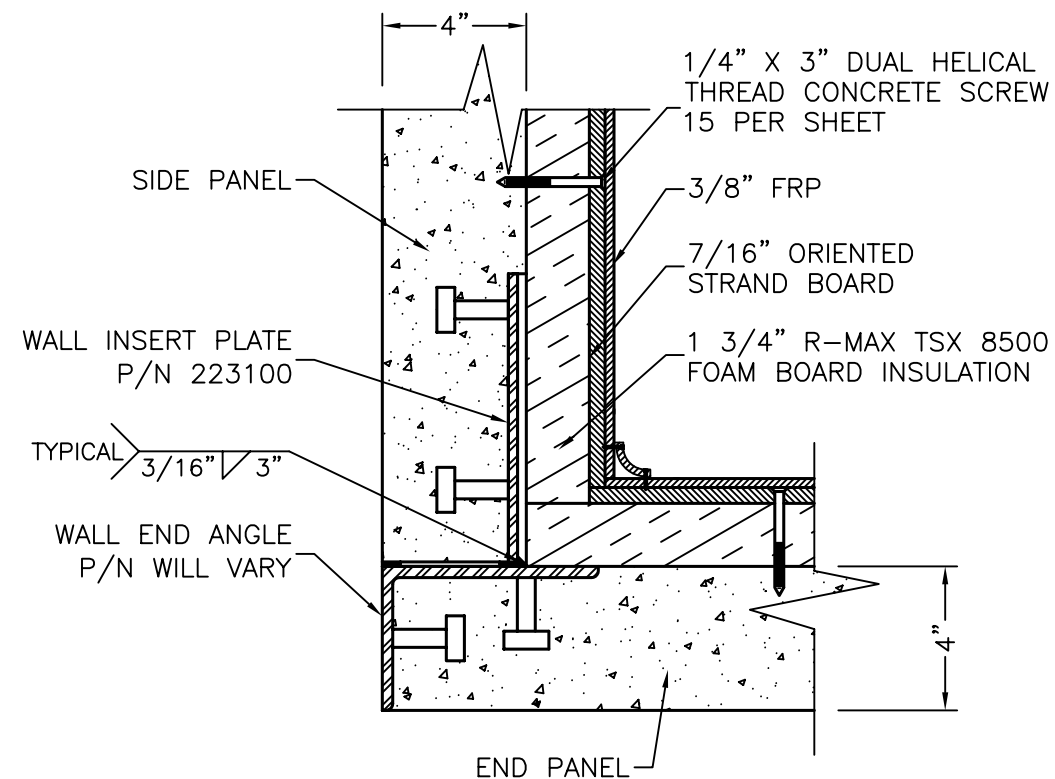
FILENAME: USA/SUSA02S0-0	
SCALE: N.T.S.	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/30/03
CHK. BY: V. HASSELL	DATE: 09/30/03
ENG. BY: K. BARNETT	DATE: 09/30/03
APP. BY: J. ENGI	DATE: 09/30/03
SHEET NO./PART NO.: S0-0	
DRAWING NO.: SUSA02	REV: C



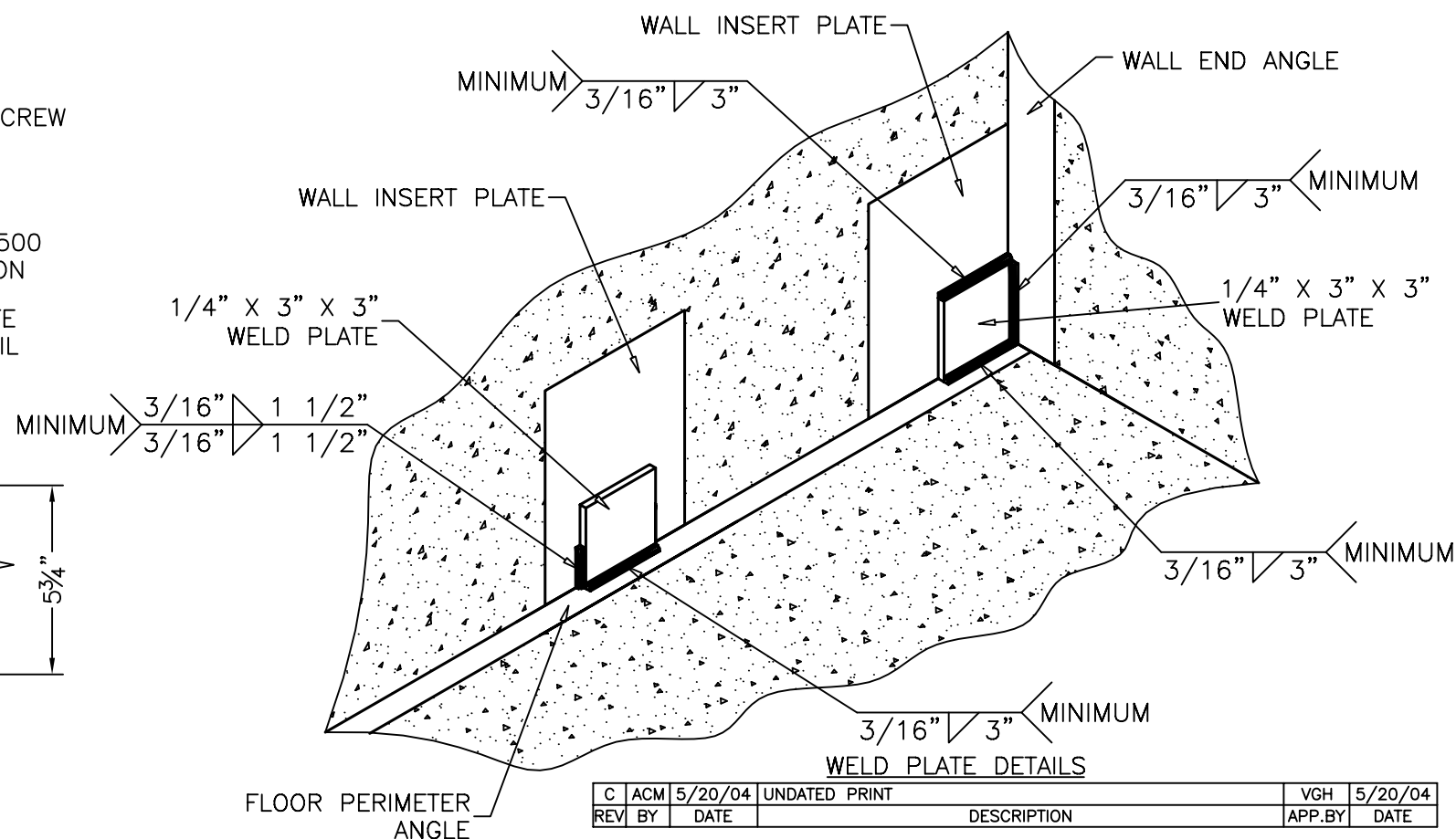
SECTION "F1"
WALL/ROOF CONNECTION



SECTION "F2"
WALL/FLOOR CONNECTION



SECTION "F3"
WALL/WALL CONNECTION



NOTES:

- FRP HAS A FLAMESPREAD OF 195.

ENGINEER SEAL

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLXION, LLC. ANY USE OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLXION, LLC. IS STRICTLY PROHIBITED. THIS DRAWING HAS BEEN DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF IT WILL BE EXPRESSLY NOTIFIED OF ITS CONFIDENTIAL NATURE.

Cellxion
Solutions for the Wireless Industry

Corporate Office & Manufacturing Facility
5031 Hazel Jones Road
Bossier City, LA 71111
(voice) 318-213-2900 (fax) 318-213-2919
www.cellxion.com

CUSTOMER:

U.S. CELLULAR

PROJECT:
11'-3" X 19'-4"
CONCRETE SHELTER
FINISH DETAILS

FILENAME: USA/SUSA02S1-0	
SCALE: N.T.S.	TOLERANCE:
DRWN. BY: G. BRINKMAN	DATE: 09/30/03
CHK. BY: V. HASSELL	DATE: 09/30/03
ENG. BY: K. BARNETT	DATE: 09/30/03
APP. BY: J. ENGI	DATE: 09/30/03
SHEET NO./PART NO.: S1-0	
DRAWING NO.: SUSA02	REV: C

C	ACM	5/20/04	UNDATED PRINT	VGH	5/20/04
REV	BY	DATE	DESCRIPTION	APP.BY	DATE



3 Peaks Fence and Landscaping LLC

(435) 263-0737
terrencem@scbroadband.com

ESTIMATE	#95
TOTAL	

CONTACT US
2373 N Wonser Ln
Cedar City, UT 84721

(435) 590-1137
3peaksfence@gmail.com

ESTIMATE

Services	qty	unit price	amount
Rusty Corrugated Steel Fence Installation Install 170' of 6' rusty corrugated steel fencing with cedar wood posts and rails at Springdale site. Includes one 12' double gate and all materials and installation.	1.0		
Terms and Conditions -This estimate is good for 30 days from the time of receipt. -1/2 down deposit is required to accept bid and secure materials. -Materials will be ordered at time of deposit and will be delivered and kept on site where the fence is to be installed until installation. -Property owner is responsible to stake out property lines. 3 Peaks Fence and Landscaping LLC is not responsible to locate property lines. -3 Peaks Fence and Landscaping LLC will contact Bluestakes (811) to have the underground utilities marked before beginning the project. - 3 Peaks Fence and Landscaping LLC is not responsible for locating or repairing sprinkler lines. - Fence line + 10' away must be cleared of all debris and obstacles (except buildings and other permanent things) or additional charges may be added for removal/displacement of things that are in the way. -3 Peaks Fence and Landscaping LLC is not responsible for damage to items left within 10' of the fence line. -Any changes to the original estimate must be submitted in writing (text/email is fine) and a change order will be made to make up the difference in price/materials/labor. -If there are utility lines along the fence line price may be changed to accommodate the extra time and effort needed for digging carefully by hand without equipment. This will be discussed with customer before work commences. -Please let us know if you have any questions about this estimate.	1.0		

Services subtotal:

Subtotal

Total



EXHIBIT C

Legal Description of Leased Premises

SPRINGDALE TOWN LEASE PARCEL DESCRIPTION

BEGINNING A POINT S00°19'07"W 902.74 FEET ALONG THE 1/16TH SECTION LINE AND N90°00'00"W 62.05 FEET FROM THE CENTER EAST 1/16TH CORNER OF SECTION 29, T41S, R10W, SLB&M; THENCE S00°19'07"W 50.00 FEET; THENCE N89°40'53"W 50.00 FEET; THENCE N00°19'07"E 50.00 FEET; THENCE S89°40'53"E 50.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,500 SQUARE FEET OR 0.06 ACRES, MORE OR LESS.