



ALPINE CITY COUNCIL MEETING

NOTICE is hereby given that the **CITY COUNCIL** of Alpine City, Utah will hold a **Meeting** on **Tuesday, August 26, 2014 at 6:30 pm** at Alpine City Hall, 20 North Main, Alpine, Utah as follows:

I. CALL MEETING TO ORDER*

- A. **Roll Call:** Mayor Don Watkins
- B. **Prayer:** Will Jones
- C. **Pledge of Allegiance:** By Invitation

II. **PUBLIC COMMENT:** The public may comment on items that are not on the agenda.

III. CONSENT CALENDAR

- A. **Approve the minutes of July 22, 2014.**

IV. REPORTS AND PRESENTATIONS

V. ACTION/DISCUSSION ITEMS

- A. **Fort Canyon Parking:** The City Council will consider if they want to continue posting "No Parking" signs in Fort Canyon, increase the penalty for illegal parking, or work with residents on other possible solutions.
- B. **Sprint Cell Tower Upgrade Request:** The City Council will consider a request by Sprint to upgrade their cell tower on Shepherd's Hill.
- C. **Alpine Days Review:** The City Council will review the 2014 Alpine Days and discuss preliminary plans for the 2015 Alpine Days.
- D. **Food Trucks:** The City Council will discuss the existence of food trucks in Alpine City.
- E. **David's Court, Plat F - Final Plat Approval - Patterson Construction:** The City Council will consider approving the final plat for the proposed 8 lot subdivision located on the corner of Canyon Crest Road and Healey Blvd.
- F. **Heritage Hills, Plat C - Revised Final Plat - Downing Akins:** The City Council will consider approving a revised Plat C consisting of 16 lots to be accessed off Eastview Lane.

VI. STAFF REPORTS

VII. COUNCIL COMMUNICATION

VIII. **EXECUTIVE SESSION:** Discuss litigation, property acquisition or the professional character, conduct or competency of personnel.

ADJOURN

*Council Members may participate electronically by phone.

Don Watkins, Mayor
August 22, 2014

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder's Office at (801) 756-6241.

CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted in three public places within Alpine City limits. These public places being the bulletin board located inside City Hall at 20 North Main and located in the lobby of the Bank of American Fork, Alpine Branch, 133 S. Main, Alpine, UT; and the bulletin board located at The Junction, 400 S. Main, Alpine, UT. The above agenda notice was sent by e-mail to The Daily Herald located in Provo, UT, a local newspaper circulated in Alpine, UT. This agenda is also available on our web site at www.alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html

1 **ALPINE CITY COUNCIL MEETING**
2 **Alpine City Hall, 20 North Main**
3 **July 22, 2014**
4

5 **I. CALL MEETING TO ORDER:** Mayor Don Watkins called the meeting to order at 6:30 pm.
6

7 **A. Roll Call:** The following were present and constituted a quorum:
8

9 Mayor Don Watkins

10 Council: Will Jones, Roger Bennett, Kimberly Bryant, Lon Lott.

11 Council Members not present: Troy Stout

12 Staff: Rich Nelson, Charmayne Warnock, David Church, Shane Sorensen, Brian Gwilliam, Jason Bond

13 Others: Randy Sant, Tyler Long, Trisha Walker, Jen Berrett, Tyler Lum
14

15 **Prayer:** Roger Bennett

16 **Pledge of Allegiance:** Don Watkins
17

18 **II. PUBLIC COMMENT:** Tyler Lum said he taught tennis lesson in Creekside Park and saw the signs posted
19 which said no lessons were to be taught between the hours of 6 am to 10 am. He said he understood the reasoning
20 behind the signs and he understood that people were frustrated when they went to the park and saw the courts were
21 full. He said it was really only on Saturday that the courts were full. On Monday through Friday, they were not that
22 heavily used. He asked if the signs could say that residents had priority over lessons. He said it was beneficial to the
23 City to have someone on the courts a lot because often there were little kids rollerblading and skateboarding on the
24 courts which damaged them. If he was there he told them nicely they couldn't do that. He added that there was also a
25 problem with water pooling in the middle of the court which would eventually damage it. He said all of his students
26 lived in Alpine and lived close to the park. He lived in Highland.
27

28 Will Jones said he'd driven by the park on Saturday and it was packed. He didn't know how it was during the week.
29 Lon Lott asked how residents would know that lessons were being taught and would they be comfortable telling the
30 class to leave if they wanted to use the court? There needed to be some way to identify that.
31

32 Mayor Watkins said they were concerned about commercial use of the courts because they didn't want more
33 teachers and classes coming in. The citizens would not want the tennis courts, which were built for the residents' use
34 and maintained by tax dollars, to be tied up by someone using the courts for financial gain.
35

36 **III. CONSENT CALENDAR**
37

38 **A. Approve the minutes of July 8, 2014**
39

40 **MOTION:** Will Jones moved to approve the Consent Calendar. Kimberly Bryant seconded. Ayes: 4 Nays: 0. Will
41 Jones, Kimberly Bryant, Lon Lott, Roger Bennett voted aye. Motion passed.
42

43 **IV. REPORTS AND PRESENTIONS**
44

45 **V. ACTION/DISCUSSION ITEMS**
46

47 **A. Utah County Bookmobile Agreement 2014-2015:** Rich Nelson said the Agreement for bookmobile
48 service was the same as the last year's agreement . The cost was the same at \$13,200 and provided the same service.
49

50 **MOTION:** Kimberly Bryant moved to approve the Utah County Bookmobile Agreement for fiscal year 2014-2015.
51 Will Jones seconded. Ayes: 4 Nays: 0. Will Jones, Kimberly Bryant, Lon Lott, Roger Bennett voted aye. Motion
52 passed.
53

54 Will Jones said he would like to receive the statistical report on bookmobile use quarterly. He was told there was
55 only one class at Timberline that used the bookmobile. Alpine had the lowest rate of school use and the highest rate

1 of public use. He'd like to see the numbers on that. If that was the case, it would make sense to have the bookmobile
2 spend less time parked at the school and more time parked in a public location.
3

4 Rich Nelson said he would email them and ask for a quarterly report. He suggested they handle item C and move
5 item B to the end of the agenda.
6

7 **C. Tax Leakage Study Presentation and Approval of Contract:** Rich Nelson said the representatives of
8 Lewis, Young, Robertson & Burningham were present to explain their proposal for the Tax Leakage Study. The
9 Council had already approved the study at the meeting of June 24, 2014. The actual contract was on the agenda that
10 evening for approval.
11

12 Jason Burningham said he was the principal and owner of the group. His firm would be studying the potential
13 opportunities for retail development in Alpine and look at the dynamics of financial stability of the businesses. The
14 second step would be implementation. Randy Sant would talk about what they would do once the study was done.
15 He said the document was to be a living, breathing implemental plan.
16

17 Randy Sant was a former city manager and economic development director for Sandy and Salt Lake City. He said
18 they looked at potential tenants and got them interested in coming to Alpine. They looked at services the residents
19 demanded but they had to leave the community to spend their dollars because that service was not available in their
20 own community. He said they'd done a similar study for Mapleton. While Mapleton didn't currently have any types
21 of businesses that would be viable in their town, the city was able to plan ahead and set aside land for businesses that
22 would be viable in the future.
23

24 Mayor Watkins said he was not a proponent of the study but he was respectful of the Council's desire to have the
25 study done.
26

27 Jason Burningham gave a slide presentation on the study. Randy Sant talked about other communities such as
28 Kaysville which had increased their sales tax revenue after having the study done.
29

30 Rich Nelson said the concept of the study was that they would know what they should be doing in a certain area that
31 was right. If they didn't prepare for commercial uses, they would lose the opportunity when it arrived.
32

33 Kimberly Bryant asked what the cost of the study would be. Rich Nelson said it was \$10,500.
34

35 **MOTION:** Will Jones moved to approve the contract for a tax leakage study with Lewis, Young, Robertson &
36 Burningham. Lon Lott seconded. Ayes: 4 Nays: 0. Will Jones, Lon Lott, Roger Bennett, Kimberly Bryant voted
37 aye. Motion passed.
38

39 **D. Burgess Park Tennis Court Replacement Costs:** Rich Nelson said there were numerous complaints
40 about the tennis courts in Burgess Park. They were very expensive to repair, which explained why a lot of cities had
41 "dead" tennis courts.
42

43 Shane Sorensen said the cost of repairing courts came from the same professionals who built the courts in Creekside
44 Park. It would be about \$105,000. He added that there were also some issues with the courts on Creekside Park
45 because of the low spot mentioned earlier.
46

47 Don Watkins suggested that if they did repair the courts they enhance them for pickle ball games and make them
48 dual use courts. Pickle ball was a very popular game with for all ages.
49

50 There was a discussion about the possibility of using impact fees to upgrade the courts for the added use of pickle
51 ball. Mayor Watkins suggested they review the capital facilities plan at the next meeting and see if they wanted to
52 alter it to add in pickle ball courts. Lon Lott said he would feel better about spending that much money to repair the
53 courts if they could be used by a broader spectrum of people. Rich Nelson said he'd had a number of people come in
54 and asked if the courts could be converted to pickle ball courts.
55

1 **B. Resolution No. R2014-05, Amending the Consolidated Fee Schedule:** Rich Nelson said there were
 2 several changes that needed to be made to the Consolidated Fee Schedule related to sewer and water. They were:

- 3
- 4 • The Alpine City Sewer Impact Fee decreased from \$665 to 492.66
- 5 • The Timpanogos Special Service District (TSSD) Sewer Impact Fee decreased from \$3,812.00 to
- 6 \$2,563.00
- 7 • The culinary water monthly base rate increased from \$12.00 to \$13.00 for the first 8,000 gallons.
- 8 • The monthly sewer rate for the first 2,000 gallons increased from \$13.90 to \$14.40.
- 9 • The monthly sewer rate for each additional 1,000 gallons increased from \$3.55 to \$3.94.

10

11 Mr. Nelson explained that at the previous meeting, the Council had adopted the updated Sewer Master Plan which
 12 reduced the sewer impact fee. The previous year, the Council had approved a \$1 increase in the monthly base rate
 13 for culinary water. Timpanogos Special Service District had decreased the TSSD impact fee and increased the
 14 monthly rate for sewer service.

15

16 Roger Bennett asked about pumping costs for the Box Elder subdivision and other areas which used culinary water
 17 for outdoor watering since they didn't have pressurized irrigation. Did the fees cover the extra pumping costs?

18

19 Shane Sorensen said they did. He said that when the City built the pressurized irrigation system, they did a financial
 20 analysis to see if it made sense to provide PI water to Willow Canyon and Box Elder. They would have to build
 21 another tank and another pump station to pump PI water up to those area. They were already pumping culinary
 22 water up there. They concluded that it didn't make sense to have two systems pumping water to the higher areas so
 23 they used culinary water for both indoor and outdoor use. The rate for those users were kept at the same rate the City
 24 had prior to the construction of the PI system.

25

26 David Church said the residents in Box Elder revolted because they didn't have pressurized irrigation, so the Council
 27 lowered their rate because there was no way the City could pump water to them. Their rate was lower than the rest
 28 of the town, but they used more culinary water so they paid more.

29

30 **MOTION:** Will Jones moved to approve the Resolution No. R2014-05 Amending the Consolidated Fee Schedule
 31 with the changes as outlined. Lon Lott seconded. Ayes: 4 Nays: 0. Will Jones. Lon Lott, Kimberly Bryant, Roger
 32 Bennett voted aye. Motion passed.

33

34 VI. COUNCIL COMMUNICATION

35

36 Will Jones reported on Alpine Days. On Monday night they would have the family picnic, Marvin Payne's story-
 37 song, and a movie. There would be at least 8 food trucks that came to Creekside Park. The Youth Council would be
 38 selling ice cream. The rodeo was still on and was planned for Friday and Saturday evening.

39

40 Don Watkins said the Council would be riding on the covered wagon for the parade.

41

42 Trisha Walker asked that the Council attend Alpine's Got Talent, and as many other activities as they could.

43

44 Kimberly Bryant said the family dinners used to be huge but had fallen off. She suggested something like a chili
 45 cook-off. They could sell tickets and have people vote on the best chili.

46

47 Don Watkins said the Senior Dinner would be at the Alpine North Stake Center. Lon Lott said they wanted to make
 48 sure there were plenty of chairs for people. The previous year, people came in and didn't see a seat so they started
 49 leaving.

50

51 Will Jones said the Alpine Days fireworks would be at the park.

52

53 The discussion moved to fireworks for the 24th of July. People who lived in the areas of town where fireworks were
 54 prohibited were allowed to come to Creekside Park and set off their fireworks. Brian Gwilliam said it could become
 55 problematic. He had instructed his officers to close down the park at 11 pm. They needed to figure something out for
 56 next year. Lon Lott said the sprinklers in Creekside Park could be turned on remotely if things got out of hand.

1
2 The Council discussed the parking problem on the corner of East Mountain and High Bench Road, and whether or
3 not they should paint the curb red.
4

5 The Council also discussed the parking and trespassing problem up Fort Canyon. Chief Brian Gwilliam said the PD
6 had issued 120 parking citations up Fort Canyon in the last three months. It did not seem to be solving the issue. The
7 offenders just seemed to regard it as an entrance fee. He felt the officers were spending an inordinate amount of time
8 in just one area of the city because of this.
9

10 Will Jones said he had security guards posted at the gate because a group was filming a movie in the Sliding Rock
11 area. He said people were just going around the guards and going up there anyway. They discussed designating it as
12 a tow-away zone, then start towing or booting the cars.
13

14 **MOTION:** Will Jones moved to paint the curb on the corner of East Mountain Drive and High Bench Road red, and
15 he would do it. Roger Bennett seconded. Ayes: 4 Nays: 0. Will Jones, Roger Bennett, Lon Lott, Kimberly Bryant
16 voted aye. Motion passed.
17

18 Roger Bennett asked if the City had the No Parking signs for Canyon Crest Road. Shane Sorensen said they had
19 been ordered and should arrive shortly.
20

21 **VII. STAFF REPORTS**

22

23 Rich Nelson said the City would be surplus anything they didn't need.
24

25 Shane Sorensen said there were several projects that they would be bidding out, which were on the schedule. He said
26 that they wouldn't be holding a meeting on August 12, 2014 so he wanted the Council to know about it before the
27 bids went out.
28

29 **VIII. EXECUTIVE SESSION:** None held

30

31 **MOTION:** Kimberly Bryant moved to adjourn. Lon Lott seconded. Ayes: 4 Nays: 0. Motion passed.
32

33 The meeting was adjourned at 8:45 pm.
34
35
36

ALPINE CITY COUNCIL AGENDA

SUBJECT: Fort Canyon Parking

FOR CONSIDERATION ON: August 26, 2014

PETITIONER: Rich Nelson, City Administrator

ACTION REQUESTED BY PETITIONER: For the Council to review the parking issues up Ft. Canyon and decide on an approach to address those issue.

INFORMATION: For a number of years the parking of cars at the top of Fort Canyon so people can hike to Sliding Rock has been a problem, e.g. see the Berlin Wall type of gate at the end of the road. In the summer of 2013 the problem was exacerbated when KSL announced that Sliding Rock was one of the 4 natural swimming holes in Utah worth a visit. KSL later pulled Sliding Rock off the list but the word was out.

In August the residents at the end of the Ft. Canyon road asked the City to address the problem. The City met with the land owner. The solution eventually approved by the City Council was to turn all of Fort Canyon into a “No Parking” on the side of the road zone and to ticket those who violated the signs. The Canyon was eventually signed “No Parking” at the start of the canyon and at the top.

The police department has aggressively ticketed those who are parking illegally, which is probably not the best use of police resources. The residents of Fort Canyon who do not live at the top of the canyon have complained that it has made it hard for them to hold weddings, Book of Mormon readings, BYU student visits (a number of BYU Ward Bishops live up the canyon), have visitors, etc. without fear of getting ticketed. An arrangement was made with the residents that if they called the police department before the scheduled event that the police would not ticket them. That worked well when the families remembered to call the police department but upset them when they forgot to call and some of the people visiting them got tickets. Other residents have figured out ways to make a few dollars off of the problem.

The price of a parking ticket did not seem to deter a number of visitors, such ticket costing no more than taking the kids to the movies. Other Alpine residents felt that they have an historical right to visit Sliding Rock regardless of no parking and no trespassing signs.

This was made more difficult this summer when a major film crew moved into the area to film a pilot for a cable TV series.

As you can tell a lot has been going on.

Potential solutions have discussed but all have pluses and minuses.

The City is meeting with the land owner to discuss this in more detail on the 25th. A report of that meeting will be emailed to the Council and placed on the web site. Residents and concerned citizens have been invited to attend this meeting.

RECOMMENDED ACTION: *The Council needs to decide if they want to: continue on the same course; increase the penalty for violating the no parking prohibition; issue “allowed” parking stickers to all residents up the canyon; go into a joint venture with the land owners who are making money on the parking problem but who do not have a business license; or come up with a novel solution.*

ALPINE CITY COUNCIL AGENDA

SUBJECT: Sprint Cell Tower Site Plan - Sprint 2.5 Equipment Upgrade

FOR CONSIDERATION ON: 26 August 2014

PETITIONER: Crown Castle - Craig Chagnon

ACTION REQUESTED BY PETITIONER: Approve the Site Plan

APPLICABLE STATUTE OR ORDINANCE: Article 3.27 (Wireless Telecommunications)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

Sprint has submitted a site plan for review that would include the installation of (2) antennas, (2) power junction cylinders, (2) fiber junction cylinders, (1) filter and (2) RRH. The site is located at 694 Rocky Mountain Drive (Shepherd's Hill).

PLANNING COMMISSION MOTION:

Steve Swanson moved to recommend to City Council that the proposed Site Plan for Sprint 2.5 Equipment Upgrade go forward with the following recommendation:

1. Request that Sprint work with the residents to keep the site well maintained and landscaped.

Steve Cospers seconded the motion. The motion passed with 5 Ayes and 0 Nays. Steve Cospers, Jason Thelin, Chuck Castleton, Steve Swanson and Judi Pickell all voted Aye.

August 8, 2014

Dear Property Owner,

You have been identified as owning property within 500 feet of the boundaries of a proposed Sprint wireless telecommunication tower upgrade. This letter is to inform you that the Planning Commission will review a site plan for a cell tower upgrade that would include the installation of (2) antennas, (2) power junction cylinders, (2) fiber junction cylinders, (1) filter and (2) RRH. The site is located at 694 Rocky Mountain Drive (Shepherd's Hill).

The Planning Commission will hold a public hearing for this item Tuesday, August 19, 2014. The public meeting will be at 7:00 p.m. and is held at Alpine City Hall, 20 North Main in Alpine, Utah. This site plan will be presented to the Planning Commission that evening as an agenda item.

The public is invited to attend all Planning Commission meetings.

Sincerely,



Jason Bond
City Planner
(801) 756-6347 x 6
jbond@alpinecity.org



Site Name: SHEPHERD'S HILL
Site Location: 694 Rocky Mountain Drive, Alpine, UT 84004
Tower Owner: Crown Castle
Project Applicant: Crown Castle
Project Name: Sprint 2.5 Equipment Upgrade

Scope of Work:

Application is for Sprint 2.5 equipment. Customer proposes to install (2) antennas, (2) power junction cylinders (PJC), (2) Fiber junction cylinders (FJC), (1) filter and (2) RRH.
Final configuration: (4) antennas, (2) lines (2) PJC's, (2) FJC's, (1) filter & (6) RRHs. No changes to the existing ground space/lease area.

Maintenance:

The subject site is a single-carrier site, so the anticipated maintenance schedule would be very light. As the facility operator, Crown Castle would visit the site once/year to perform scheduled inspections, brush clearance, and generally ensure that the facility is compliant. As Crown's tenant, it is anticipated that Sprint would visit the site perhaps 4 to 6 times annually. These inspections would be to inspect cellular ground equipment, antennas, coax cabling, electrical systems, etc. to ensure seamless and proper delivery of wireless services. Both inspections are done by standard trucks or similar vehicles. This facility is only 25-feet tall and is equipped with climbing pegs, so all tower and antenna inspections can be made without the need for a bucket truck to drive to the site.

Service Area:

The Sprint 2.5 project is a technology/network upgrade of the equipment on site. It will provide an increase in capacity and will provide faster service for the network users in this area. The service area of this tower is small, a mile or less in any direction. This is a unique location and it is a critical site providing immediate area coverage that would not otherwise be available.

Licenses and Permits:

Sprint has provided copies of three FCC Radio Station Licenses relating to their operations in Utah. Copies are attached accordingly:

- Call Sign WPOH363 – FCC Registration Number 0002049880
- Call Sign WQKT248 - FCC Registration Number 0002049880
- Call Sign KNLF272 – FCC registration Number 0002316545

A building permit issued by the City of Alpine, UT is the only permit anticipated as necessary for this project.

Radio Frequency Emissions:

Sprint has an excellent record of compliance with all applicable FCC radio frequency emission regulations and is committed to maintain their record as a leader within their industry.

Crown Castle agrees to comply with all applicable Federal Communication Commission RF requirements and regulations.

Liaison: Craig Chagnon / Crown Castle
5350 N. 48th St., Suite 305
Chandler, AZ 85226
801-979-9077
Craig.chagnon@crowncastle.com



2.5 EQUIPMENT DEPLOYMENT



SITE NAME

SHEPHERD'S HILL

SITE NUMBER / CROWN CASTLE BU#

SL54XC024 / 880636

SITE ADDRESS

694 ROCKY MTN DR. ALPINE, UTAH 84004

SITE TYPE

EXISTING 32'-8" MONOPOLE



6100 SPRINT PARKWAY OVERLAND PARK, KS 66251

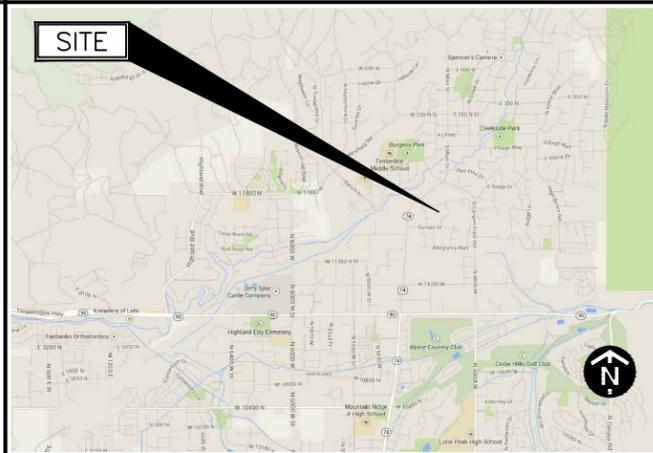


845 SOUTH MAIN, BOUNTIFUL, UTAH 84010 801-298-5777 FAX 801-298-1677

CODE

UTAH STATE CODE COMPLIANCE: ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THIS PLANS NEEDS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES. BUILDING CODE: 2012 INTERNATIONAL BUILDING CODE WITH ALL LATEST/LOCAL AMENDMENTS ELECTRICAL CODE: 2011 NATIONAL ELECTRIC CODE WITH ALL LATEST/LOCAL AMENDMENTS ACCESSIBILITY REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS REQUIREMENTS ARE NOT REQUIRED.

AREA MAP



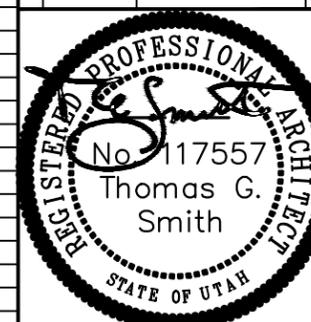
PROJECT SUMMARY

SITE NAME: SHEPHERD'S HILL SITE NUMBER: SL54XC024 CROWN CASTLE BU#: 880636 SITE ADDRESS: 694 ROCKY MTN DR ALPINE, UTAH 84004 COUNTY: UTAH COUNTY ZONING CLASSIFICATION: INDUSTRIAL ZONING DISTRICT: ALPINE SOURCE: SITE AUDIT LATITUDE: 40.44410277 (NAD 83) LONGITUDE: -111.77978611 (NAD 83) GROUND ELEVATION: 5017' PROPERTY/TOWER OWNER: COMPANY: CROWN CASTLE USA, INC CONTACT: CUSTOMER SERVICE ADDRESS: 5350 NORTH 48TH STREET, SUITE 305 CHANDLER, AZ 85226-5141 N/A (480) 735-6900

SHEET INDEX

Table with columns SHEET, DESCRIPTION, CHECKED BY, APPROVED BY, #, DATE, DESCRIPTION, INT.

Table with columns CHECKED BY, APPROVED BY, #, DATE, DESCRIPTION, INT.



PROJECT DESCRIPTION

- THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE. THE SCOPE OF WORK CONSISTS OF MODIFYING THE EXISTING WIRELESS INSTALLATION: INSTALL (2) PANEL ANTENNAS INSTALL (2) NEW RRUS (REMOTE RADIO UNITS) INSTALL (1) NEXRAD RF, SEC 2

VICINITY MAP



SITE CONSTRUCTION MANAGER:

COMPANY: SPRINT SITE DEVELOPMENT/UTAH CONTACT: JUSTIN R. NELSON CELL #: (435) 232-5459 OFFICE #: (801) 685-5809

ENGINEERING FIRM:

COMPANY: SMITH HYATT ARCHITECTS CONTACT: TOM SMITH EMAIL: tom@smithhyatt.com MAIN OFFICE: (801) 298-5777

POWER COMPANY

COMPANY: ROCKY MOUNTAIN POWER CONTACT: CUSTOMER SERVICE PHONE: 1-888-221-7070

AAV PROVIDER:

COMPANY: CUSTOMER SERVICE CONTACT: (XXX) XXX-XXXX PHONE:

CERTIFICATION STATEMENT:

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE.

LICENSED ARCHITECT - STATE OF UTAH

DATE SIGNED: 07/31/14 EXPIRES: 05/31/16 LICENSE#: 117557

SIGNED DATE: 07/31/14

SITE NAME

SHEPHERD'S HILL

SITE I.D.

SL54XC024 880636

SITE ADDRESS

694 ROCKY MTN DR ALPINE, UTAH 84004

SIGNATURE BLOCK

Table with columns APPROVAL, SIGNATURE, DATE

DRIVING DIRECTIONS

SALT LAKE CITY INTERNATIONAL AIRPORT TAKE THE I-80 E RAMP TO CITY CENTER/OGDEN/PROVO KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR I-80 E AND MERGE ONTO I-80 E. KEEP LEFT TO CONTINUE ON I-15 S TAKE EXIT 284 TOWARD HIGHLAND ALPINE KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR UTAH 92 AND MERGE ONTO UT-92 E SLIGHT RIGHT ONTO UT-92 DESTINATION WILL BE ON THE LEFT

PROJECT TEAM

Logos for Sprint, RAGE DEVELOPMENT LLC, and SMITH HYATT ARCHITECTS with roles: APPLICANT, PROJECT MANAGER, ENGINEER

SHEET NAME

TITLE SHEET

SHEET NUMBER

T-1

THESE OUTLINE SPECIFICATIONS IN CONJUNCTION WITH THE SPRINT STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING CONTRACT DOCUMENTS AND THE CONSTRUCTION DRAWINGS DESCRIBE THE WORK TO BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR MEETING THE REQUIREMENTS OF SPRINT'S "STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES" IN REGARDS TO ALL WORK COMPLETED.

SECTION 01 100 – SCOPE OF WORK

THE WORK:
SHALL COMPLY WITH APPLICABLE NATIONAL CODES AND STANDARDS, LATEST EDITION, AND PORTIONS THEREOF.

PRECEDENCE:
SHOULD CONFLICTS OCCUR BETWEEN THE STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES INCLUDING THE STANDARD CONSTRUCTION DETAILS FOR WIRELESS SITES AND THE CONSTRUCTION DRAWINGS, INFORMATION ON THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE.

SITE FAMILIARITY:
CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

ON-SITE SUPERVISION:
THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DRAWINGS, SPECIFICATIONS AND DETAILS REQUIRED AT JOBSITE:
THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A FULL SET OF THE CONSTRUCTION DRAWINGS AT THE JOBSITE FROM MOBILIZATION THROUGH CONSTRUCTION COMPLETION.

- A. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. PROVIDE ALL MATERIALS AND LABOR AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING SYSTEM. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- B. CONTRACTOR SHALL NOTIFY SPRINT CONSTRUCTION MANAGER OF ANY VARIATIONS PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- C. MARK THE FIELD SET OF DRAWINGS IN RED, DOCUMENTING ANY CHANGES FROM THE CONSTRUCTION DOCUMENTS.
- D. GROUNDING NE-312-201
- E. SPRINT INTEGRATED CONSTRUCTION STANDARDS VERSION 4.0

METHODS OF PROCEDURE (MOPS) FOR CONSTRUCTION:
CONTRACTOR SHALL PERFORM WORK AS DESCRIBED IN

- A. COAX COLOR CODING SWEEPS AND FIBER TESTING TS-0200 AND EL-0568
- B. CABLE LABELING EN-2012-00
- C. APPLICABLE INSTALLATION MOPS IDENTIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS

SECTION 01 200 – COMPANY FURNISHED MATERIAL AND EQUIPMENT

COMPANY FURNISHED MATERIAL AND EQUIPMENT IS IDENTIFIED ON THE RF DATA SHEET IN THE CONSTRUCTION DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR SPRINT PROVIDED MATERIAL AND EQUIPMENT TO ENSURE IT IS PROTECTED AND HANDLED PROPERLY THROUGHOUT THE CONSTRUCTION DURATION.

CONTRACTOR RESPONSIBLE FOR RECEIPT OF SPRINT FURNISHED EQUIPMENT AT CELL SITE OR CONTRACTORS LOCATION. CONTRACTOR TO COMPLETE SHIPPING AND RECEIPT DOCUMENTATION IN ACCORDANCE WITH COMPANY PRACTICE.

SECTION 01 300 – CELL SITE CONSTRUCTION

NOTICE TO PROCEED:
NO WORK SHALL COMMENCE PRIOR TO COMPANY'S WRITTEN NOTICE TO PROCEED AND THE ISSUANCE OF WORK ORDER.

SITE CLEANLINESS:
CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE SITE ALL REMAINING RUBBISH, IMPLEMENTS, TEMPORARY FACILITIES, AND SURPLUS MATERIALS.

ALTERNATES: SECTION 01 400 – SUBMITTALS & TESTS

AT THE COMPANY'S REQUEST, ANY ALTERNATIVES TO THE MATERIALS OR METHODS SPECIFIED SHALL BE SUBMITTED TO SPRINTS CONSTRUCTION MANAGER FOR APPROVAL. SPRINT WILL REVIEW AND APPROVE ONLY THOSE REQUESTS MADE IN WRITING. NO VERBAL APPROVALS WILL BE CONSIDERED.

TESTS AND INSPECTIONS:

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTS, INSPECTIONS AND PROJECT DOCUMENTATION.
- B. CONTRACTOR SHALL ACCOMPLISH TESTING INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - 1. COAX SWEEPS AND FIBER TESTS PER TS-0200 REV 4 ANTENNA LINE ACCEPTANCE STANDARDS.
 - 2. AGL, AZIMUTH AND DOWNTILT PROVIDE AN AUTOMATED REPORT UPLOADED TO SITERRA USING A COMMERCIAL MADE-FOR THE PURPOSE ELECTRONIC ANTENNA ALIGNMENT TOOL (AAT). INSTALLED AZIMUTH, CENTERLINE AND DOWNTILT MUST CONFORM WITH RF CONFIGURATION DATA
 - 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIONS TO ANY WORK IDENTIFIED AS UNACCEPTABLE IN SITE INSPECTION ACTIVITIES AND/OR AS A RESULT OF TESTING.
 - 4. ALL TESTING REQUIRED BY APPLICABLE INSTALLATION MOPS.
- C. REQUIRED CLOSEOUT DOCUMENTATION INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 - 1. AZIMUTH, DOWNTILT, AGL FROM SUNSIGHT INSTRUMENTS – ANTENNA ALIGNMENT TOOL (AAT)
 - 2. SWEEP AND FIBER TESTS
 - 3. SCALABLE BARCODE PHOTOGRAPHS OF TOWER TOP AND INACCESSIBLE SERIALIZED EQUIPMENT
 - 4. ALL AVAILABLE JURISDICTIONAL PERMIT AND OCCUPANCY INFORMATION
 - 5. PDF SCAN OF REDLINES PRODUCED IN FIELD
 - 6. A PDF SCAN OF REDLINE MARK-UPS SUITABLE FOR USE IN ELECTRONIC AS-BUILT DRAWING PRODUCTION
 - 7. LIEN WAIVERS
 - 8. FINAL PAYMENT APPLICATION
 - 9. REQUIRED FINAL CONSTRUCTION PHOTOS
 - 10. CONSTRUCTION AND COMMISSIONING CHECKLIST COMPLETE WITH NO DEFICIENT ITEMS
 - 11. APPLICABLE POST NTP TASKS INCLUDING DOCUMENT UPLOADS COMPLETED IN SITERRA (SPRINTS DOCUMENT REPOSITORY OF RECORD).
 - 12. CLOSEOUT PHOTOGRAPHS AND CLOSEOUT CHECKLIST: SPRINT WILL PROVIDE SEPARATE GUIDANCE

SECTION 11 700 – ANTENNA ASSEMBLY, REMOTE RADIO UNITS AND CABLE INSTALLATION SUMMARY:

THIS SECTION SPECIFIES INSTALLATION OF ANTENNAS, RRU'S, AND CABLE EQUIPMENT, INSTALLATION, AND TESTING OF COAXIAL FIBER CABLE.

ANTENNAS AND RRU'S:
THE NUMBER AND TYPE OF ANTENNAS AND RRU'S TO BE INSTALLED IS DETAILED ON THE CONSTRUCTION DRAWINGS.

HYBRID CABLE:
HYBRID CABLE WILL BE DC/FIBER AND FURNISHED FOR INSTALLATION AT EACH SITE. CABLE SHALL BE INSTALLED PER THE CONSTRUCTION DRAWINGS AND THE APPLICABLE MANUFACTURER'S REQUIREMENTS.

JUMPERS AND CONNECTORS:
FURNISH AND INSTALL 1/2" COAX JUMPER CABLES BETWEEN THE RRU'S AND ANTENNAS. JUMPERS SHALL BE TYPE LDF 4, FLC 12-50, CR 540, OR FXL 540. SUPER-FLEX CABLES ARE NOT ACCEPTABLE. JUMPERS BETWEEN THE RRU'S AND ANTENNAS OR TOWER TOP AMPLIFIERS SHALL CONSIST OF 1/2 INCH FOAM DIELECTRIC, OUTDOOR RATED COAXIAL CABLE, MIN LENGTH FOR JUMPER SHALL BE 10"-0".

REMOTE ELECTRICAL TILT (RET) CABLES:

MISCELLANEOUS:
INSTALL SPLITTERS, COMBINERS, FILTERS PER RF DATA SHEET, FURNISHED BY SPRINT.

ANTENNA INSTALLATION:
THE CONTRACTOR SHALL ASSEMBLE ALL ANTENNAS ONSITE IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. ANTENNA HEIGHT, AZIMUTH, AND FEED ORIENTATION INFORMATION SHALL BE A DESIGNATED ON THE CONSTRUCTION DRAWINGS.

- A. THE CONTRACTOR SHALL POSITION THE ANTENNA ON TOWER PIPE MOUNTS SO THAT THE BOTTOM STRUT IS LEVEL. THE PIPE MOUNTS SHALL BE PLUMB TO WITHIN 1 DEGREE.
- B. ANTENNA MOUNTING REQUIREMENTS: PROVIDE ANTENNA MOUNTING HARDWARE AS INDICATED ON THE DRAWINGS.

HYBRID CABLE INSTALLATION:
A. THE CONTRACTOR SHALL ROUTE, TEST, AND INSTALL ALL CABLES AS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

- B. THE INSTALLED RADIUS OF THE CABLES SHALL NOT BE LESS THAN THE MANUFACTURER'S SPECIFICATIONS FOR BENDING RADII.
- C. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE CABLES DURING HANDLING AND INSTALLATION.
 - 1. FASTENING MAIN HYBRID CABLES: ALL CABLES SHALL BE INSTALLED INSIDE MONOPOLE WITH CABLE SUPPORT GRIPS AS REQUIRED BY THE MANUFACTURER.
 - 2. FASTENING INDIVIDUAL FIBER AND DC CABLES ABOVE BREAKOUT ENCLOSURE (MEDUSA), WITHIN THE MMBS CABINET AND ANY INTERMEDIATE DISTRIBUTION BOXES:
 - a. FIBER: SUPPORT FIBER BUNDLES USING 1/2" VELCRO STRAPS OF THE REQUIRED LENGTH @ 18" OC. STRAPS SHALL BE UV, OIL AND WATER RESISTANT AND SUITABLE FOR INDUSTRIAL INSTALLATIONS AS MANUFACTURED BY TEXTOL OR APPROVED EQUAL.
 - b. DC: SUPPORT DC BUNDLES WITH ZIP TIES OF THE ADEQUATE LENGTH. ZIP TIES TO BE UV STABILIZED, BLACK NYLON, WITH TENSILE STRENGTH AT 12,000 PSI AS MANUFACTURED BY NELCO PRODUCTS OR EQUAL.
 - 3. FASTENING JUMPERS: SECURE JUMPERS TO THE SIDE ARMS OR HEAD FRAMES USING STAINLESS STEEL TIE WRAPS OR STAINLESS STEEL BUTTERFLY CLIPS.
 - 4. CABLE INSTALLATION:
 - a. INSPECT CABLE PRIOR TO USE FOR SHIPPING DAMAGE, NOTIFY THE CONSTRUCTION MANAGER.
 - b. CABLE ROUTING: CABLE INSTALLATION SHALL BE PLANNED TO ENSURE THAT THE LINES WILL BE PROPERLY ROUTED IN THE CABLE ENVELOP AS INDICATED ON THE DRAWINGS. AVOID TWISTING AND CROSSOVERS.
 - c. HOIST CABLE USING PROPER HOISTING GRIPS. DO NOT EXCEED MANUFACTURES RECOMMENDED MAXIMUM BEND RADIUS.
 - 5. GROUNDING OF TRANSMISSION LINES: ALL TRANSMISSION LINES SHALL BE GROUNDED AS INDICATED ON DRAWINGS.
 - 6. HYBRID CABLE COLOR CODING: ALL COLOR CODING SHALL BE AS REQUIRED IN TS 0200 REV 4.
 - 7. HYBRID CABLE LABELING: INDIVIDUAL HYBRID AND DC BUNDLES SHALL BE LABELED ALPHA-NUMERICALLY ACCORDING TO SPRINT CELL SITE ENGINEERING NOTICE – EN 2012-001, REV 1

WEATHERPROOFING EXTERIOR CONNECTORS AND HYBRID CABLE GROUND KITS:

- A. ALL FIBER & COAX CONNECTORS AND GROUND KITS SHALL BE WEATHERPROOFED.
- B. WEATHERPROOFED USING ONE OF THE FOLLOWING METHODS. ALL INSTALLATIONS MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY BEST PRACTICES.
 - 1. COLD SHRINK: ENCOMPASS CONNECTOR IN COLD SHRINK TUBING AND PROVIDE A DOUBLE WRAP OF 2" ELECTRICAL TAPE EXTENDING 2" BEYOND TUBING. PROVIDE 3M COLD SHRINK CXS SERIES OR EQUAL.
 - 2. SELF-AMALGAMATING TAPE: CLEAN SURFACES. APPLY A DOUBLE WRAP OF SELF-AMALGAMATING TAPE 2" BEYOND CONNECTOR. APPLY A SECOND WRAP OF SELF-AMALGAMATING TAPE IN OPPOSITE DIRECTION. APPLY DOUBLE WRAP OF 2" WIDE ELECTRICAL TAPE EXTENDING 2" BEYOND THE SELF-AMALGAMATING TAPE.
 - 3. 3M SLIM LOCK CLOSURE 716: SUBSTITUTIONS WILL NOT BE ALLOWED.
 - 4. OPEN FLAME ON JOB SITE IS NOT ACCEPTABLE



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SIGNED DATE: 07/31/14

SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

SITE ADDRESS
**694 ROCKY MTN DR
ALPINE, UTAH 84004**

SHEET NAME
**SPRINT
SPECIFICATION**

SHEET NUMBER
SP-1

SECTION 11 800 – INSTALLATION OF MULTIMODAL BASE STATIONS (MMBS) AND RELATED EQUIPMENT

SUMMARY:

- A. THIS SECTION SPECIFIES MMBS CABINETS, POWER CABINETS, AND INTERNAL EQUIPMENT INCLUDING BY NOT LIMITED TO RECTIFIERS, POWER DISTRIBUTION UNITS, BASE BAND UNITS, SURGE ARRESTORS, BATTERIES, AND SIMILAR EQUIPMENT FURNISHED BY THE COMPANY FOR INSTALLATION BY THE CONTRACTOR (OFCI).
- B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS MATERIALS AND PROVIDE ALL LABOR REQUIRED FOR INSTALLATION EQUIPMENT IN EXISTING CABINET OR NEW CABINET AS SHOWN ON DRAWINGS AND AS REQUIRE BY THE APPLICABLE INSTALLATION MOPS.
- C. COMPLY WITH MANUFACTURERS INSTALLATION AND START-UP REQUIREMENTS

DC CIRCUIT BREAKER LABELING

- A. NEW DC CIRCUIT IS REQUIRED IN MMBS CABINET SHALL BE CLEARLY IDENTIFIED AS TO RRU BEING SERVICED

SECTION 26 100 – BASIC ELECTRICAL REQUIREMENTS

SUMMARY:

THIS SECTION SPECIFIES BASIC ELECTRICAL REQUIREMENTS FOR SYSTEMS AND COMPONENTS.

QUALITY ASSURANCE:

- A. ALL EQUIPMENT FURNISHED UNDER DIVISION 26 SHALL CARRY UL LABELS AND LISTINGS WHERE SUCH LABELS AND LISTINGS ARE AVAILABLE IN THE INDUSTRY.
- B. MANUFACTURERS OF EQUIPMENT SHALL HAVE A MINIMUM OF THREE YEARS EXPERIENCE WITH THEIR EQUIPMENT INSTALLED AND OPERATING IN THE FIELD IN A USE SIMILAR TO THE PROPOSED USE FOR THIS PROJECT.
- C. MATERIALS AND EQUIPMENT: ALL MATERIALS AND EQUIPMENT SPECIFIED IN DIVISION 26 OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL BE NEW, OF THE BEST QUALITY AND DESIGN, AND FREE FROM DEFECTS

SUPPORTING DEVICES:

- A. ALL EQUIPMENT FURNISHED UNDER DIVISION 26 SHALL CARRY UL LABELS AND LISTINGS WHERE SUCH LABELS AND LISTINGS ARE AVAILABLE IN THE INDUSTRY.
- B. MANUFACTURERS OF EQUIPMENT SHALL HAVE A MINIMUM OF THREE YEARS EXPERIENCE WITH THEIR EQUIPMENT INSTALLED AND OPERATING IN THE FIELD IN A USE SIMILAR TO THE PROPOSED USE FOR THIS PROJECT.
- C. MATERIALS AND EQUIPMENT: ALL MATERIALS AND EQUIPMENT SPECIFIED IN DIVISION 26 OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL BE NEW, OF THE BEST QUALITY AND DESIGN, AND FREE FROM DEFECTS

SUPPORTING DEVICES:

- A. MANUFACTURED STRUCTURAL SUPPORT MATERIALS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING:
 1. ALLIED TUBE AND CONDUIT
 2. B-LINE SYSTEM
 3. SUNISTRUT DIVERSIFIED PRODUCTS
 4. THOMAS & BETTS
- B. FASTENERS: TYPES, MATERIALS, AND CONSTRUCTION FEATURES AS FOLLOWS:
 1. EXPANSION ANCHORS: CARBON STEEL WEDGE OR SLEEVE TYPE.
 2. POWER-DRIVEN THREADED STUDS: HEAT-TREATED STEEL, DESIGNED SPECIFICALLY FOR THE INTENDED SERVICE.
 3. FASTEN BY MEANS OF WOOD SCREWS ON WOOD.
 4. TOGGLE BOLTS ON HOLLOW MASONRY UNITS.
 5. CONCRETE INSERTS OR EXPANSION BOLTS ON CONCRETE OR SOLID MASONRY.
 6. MACHINE SCREWS, WELDED THREADED STUDS, OR SPRING-TENSION CLAMPS ON STEEL.
 7. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE SHALL NOT BE PERMITTED.
 8. DO NOT WELD CONDUIT, PIPE STRAPS, OR ITEMS OTHER THAN THREADED STUDS TO STEEL STRUCTURES.
 9. IN PARTITIONS OF LIGHT STEEL CONSTRUCTION, USE SHEET METAL SCREWS.

SUPPORTING DEVICES:

- A. INSTALL SUPPORTING DEVICES TO FASTEN ELECTRICAL COMPONENTS SECURELY AND PERMANENTLY IN ACCORDANCE WITH NEC.
- B. COORDINATE WITH THE BUILDING STRUCTURAL SYSTEM AND WITH OTHER TRADES.
- C. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, FASTEN ELECTRICAL ITEMS AND THEIR SUPPORTING HARDWARE SECURELY TO THE STRUCTURE IN ACCORDANCE WITH THE FOLLOWING:
- D. ENSURE THAT THE LOAD APPLIED BY ANY FASTENER DOES NOT EXCEED 25 PERCENT OF THE PROOF TEST LOAD.
- E. USE VIBRATION AND SHOCK-RESISTANT FASTENERS FOR ATTACHMENTS TO CONCRETE SLABS.

ELECTRICAL IDENTIFICATION:

- A. UPDATE AND PROVIDE TYPED CIRCUIT BREAKER SCHEDULES IN THE MOUNTING BRACKET, INSIDE DOORS OF AC PANEL BOARDS WITH ANY CHANGES MADE TO THE AC SYSTEM.
- B. BRANCH CIRCUITS FEEDING AVIATION OBSTRUCTION LIGHTING EQUIPMENT SHALL BE CLEARLY IDENTIFIED AS SUCH AT THE BRANCH CIRCUIT PANELBOARD.

SECTION 26 200 – ELECTRICAL MATERIALS AND EQUIPMENT

CONDUIT:

- A. RIGID GALVANIZED STEEL (RGS) CONDUIT SHALL BE USED FOR EXTERIOR LOCATIONS ABOVE GROUND AND IN UNFINISHED INTERIOR LOCATIONS AND FOR ENCASED RUNS IN CONCRETE. RIGID CONDUIT AND FITTINGS SHALL BE STEEL, COATED WITH ZINC EXTERIOR AND INTERIOR BY THE HOT DIP GALVANIZING PROCESS. CONDUIT SHALL BE PRODUCED TO ANSI SPECIFICATIONS C80.1, FEDERAL SPECIFICATION WW-C-581 AND SHALL BE LISTED WITH THE UNDERWRITERS' LABORATORIES. FITTINGS SHALL BE THREADED – SET SCREW OR COMPRESSION FITTINGS WILL NOT BE ACCEPTABLE. RGS CONDUITS SHALL BE MANUFACTURED BY ALLIED, REPUBLIC OR WHEATLAND.
- B. UNDERGROUND CONDUIT IN CONCRETE SHALL BE POLYVINYLCHLORIDE (PVC) SUITABLE FOR DIRECT BURIAL AS APPLICABLE. JOINTS SHALL BE BELLED, AND FLUSH SOLVENT WELDED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL BE CARLON ELECTRICAL PRODUCTS OR APPROVED EQUAL.
- C. TRANSITIONS BETWEEN PVC AND RIGID (RGS) SHALL BE MADE WITH PVC COATED METALLIC LONG SWEEP RADIUS ELBOWS.
- D. EMT OR RIGID GALVANIZED STEEL CONDUIT MAY BE USED IN FINISHED SPACES CONCEALED IN WALLS AND CEILINGS. EMT SHALL BE MILD STEEL, ELECTRICALLY WELDED, ELECTRO-GALVANIZED OR HOT-DIPPED GALVANIZED AND PRODUCED TO ANSI SPECIFICATION C80.3, FEDERAL SPECIFICATION WW-C-563, AND SHALL BE UL LISTED. EMT SHALL BE MANUFACTURED BY ALLIED, REPUBLIC OR WHEATLAND, OR APPROVED EQUAL. FITTINGS SHALL BE METALLIC COMPRESSION. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE.
- E. LIQUID TIGHT FLEXIBLE METALLIC CONDUIT SHALL BE USED FOR FINAL CONNECTION TO EQUIPMENT. FITTINGS SHALL BE METALLIC GLAND TYPE COMPRESSION FITTINGS, MAINTAINING THE INTEGRITY OF CONDUIT SYSTEM. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE. MAXIMUM LENGTH OF FLEXIBLE CONDUIT SHALL NOT EXCEED 6- FEET. LFMC SHALL BE PROTECTED AND SUPPORTED AS REQUIRE BY NEC. MANUFACTURERS OF FLEXIBLE CONDUITS SHALL BE CAROL, ANACONDA METAL HOSE OR UNIVERSAL METAL HOSE, OR APPROVED EQUAL.
- F. MINIMUM SIZE CONDUIT SHALL BE 3/4 INCH (21MM).

HUBS AND BOXES:

- A. AT ENTRANCES TO CABINETS OR OTHER EQUIPMENT NOT HAVING INTEGRAL THREADED HUBS PROVIDE METALLIC THREADED HUBS OF THE SIZE AND CONFIGURATION REQUIRED. HUB SHALL INCLUDE LOCKNUT AND NEOPRENE O-RING SEAL. PROVIDE IMPACT RESISTANT 105 DEGREE C PLASTIC BUSHINGS TO PROTECT CABLE INSULATION.
- B. CABLE TERMINATION FITTINGS FOR CONDUIT
 1. CABLE TERMINATORS FOR RGS CONDUITS SHALL BE TYPE CRC BY O-Z/GEDNEY OR EQUAL BY ROX TEC.
 2. CABLE TERMINATORS FOR LFMC SHALL BE ETCO – CL2075; OR MADE FOR THE PURPOSE PRODUCTS BY ROXTEC.
- C. EXTERIOR PULL BOXES AND PULL BOXES IN INTERIOR INDUSTRIAL AREAS SHALL BE PLATED CAST ALLOY, HEAVY DUTY, WEATHERPROOF, DUST PROOF, WITH GASKET, PLATED IRON ALLOY COVER AND STAINLESS STEEL COVER SCREWS, CROUSE-HINDS WAB SERIES OR EQUAL.
- D. CONDUIT OUTLET BODIES SHALL BE PLATED CAST ALLOY WITH SIMILAR GASKETED COVERS. OUTLET BODIES SHALL BE OF THE CONFIGURATION AND SIZE SUITABLE FOR THE APPLICATION. PROVIDE CROUSE-HINDS FORM 8 OR EQUAL.
- E. MANUFACTURER FOR BOXES AND COVERS SHALL BE HOFFMAN, SQUARE "D", CROUSE-HINDS, COOPER, ADALET, APPLETON, O-Z GEDNEY, RACO, OR APPROVED EQUAL.

SUPPLEMENTAL GROUNDING SYSTEM

- A. FURNISH AND INSTALL A SUPPLEMENTAL GROUNDING SYSTEM TO THE EXTENT INDICATED ON THE DRAWINGS. SUPPORT SYSTEM WITH NON-MAGNETIC STAINLESS STEEL CLIPS WITH RUBBER GROMMETS. GROUNDING CONNECTORS SHALL BE TINNED COPPER WIRE, SIZES AS INDICATED ON THE DRAWINGS. PROVIDE STRANDED OR SOLID BARE OR INSULATED CONDUCTORS EXCEPTED AS OTHERWISE NOTED.
- B. SUPPLEMENTAL GROUNDING SYSTEM: ALL CONNECTIONS TO BE MADE WITH CAD WELDS, EXCEPT AT EQUIPMENT USE LUGS OR OTHER AVAILABLE GROUNDING MEANS AS REQUIRED BY MANUFACTURER; AT GROUND BARS USE TWO HOLE SPADES WITH NO OX.
- C. STOLEN GROUND-BARS: IN THE EVENT OF STOLEN GROUND BARS, CONTACT SPRINT CM FOR REPLACEMENT INSTRUCTION USING THREADED ROD KITS.

EXISTING STRUCTURE:

- A. EXISTING EXPOSED WIRING AND ALL EXPOSED OUTLETS, RECEPTACLES, SWITCHES, DEVICES, BOXES, AND OTHER EQUIPMENT THAT ARE NOT TO BE UTILIZED IN THE COMPLETED PROJECT SHALL BE REMOVED OR DE-ENERGIZED AND CAPPED IN THE WALL, CEILING, OR FLOOR SO THAT THEY ARE CONCEALED AND SAFE. WALL, CEILING, OR FLOOR SHALL BE PATCHED TO MATCH THE ADJACENT CONSTRUCTION.

CONDUIT AND CONDUCTOR INSTALLATION:

- A. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
- B. CONDUCTORS SHALL BE PULLED IN ACCORDANCE WITH ACCEPTED GOOD PRACTICE.

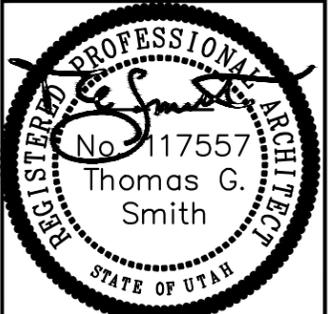


6100 SPRINT PARKWAY
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880636**

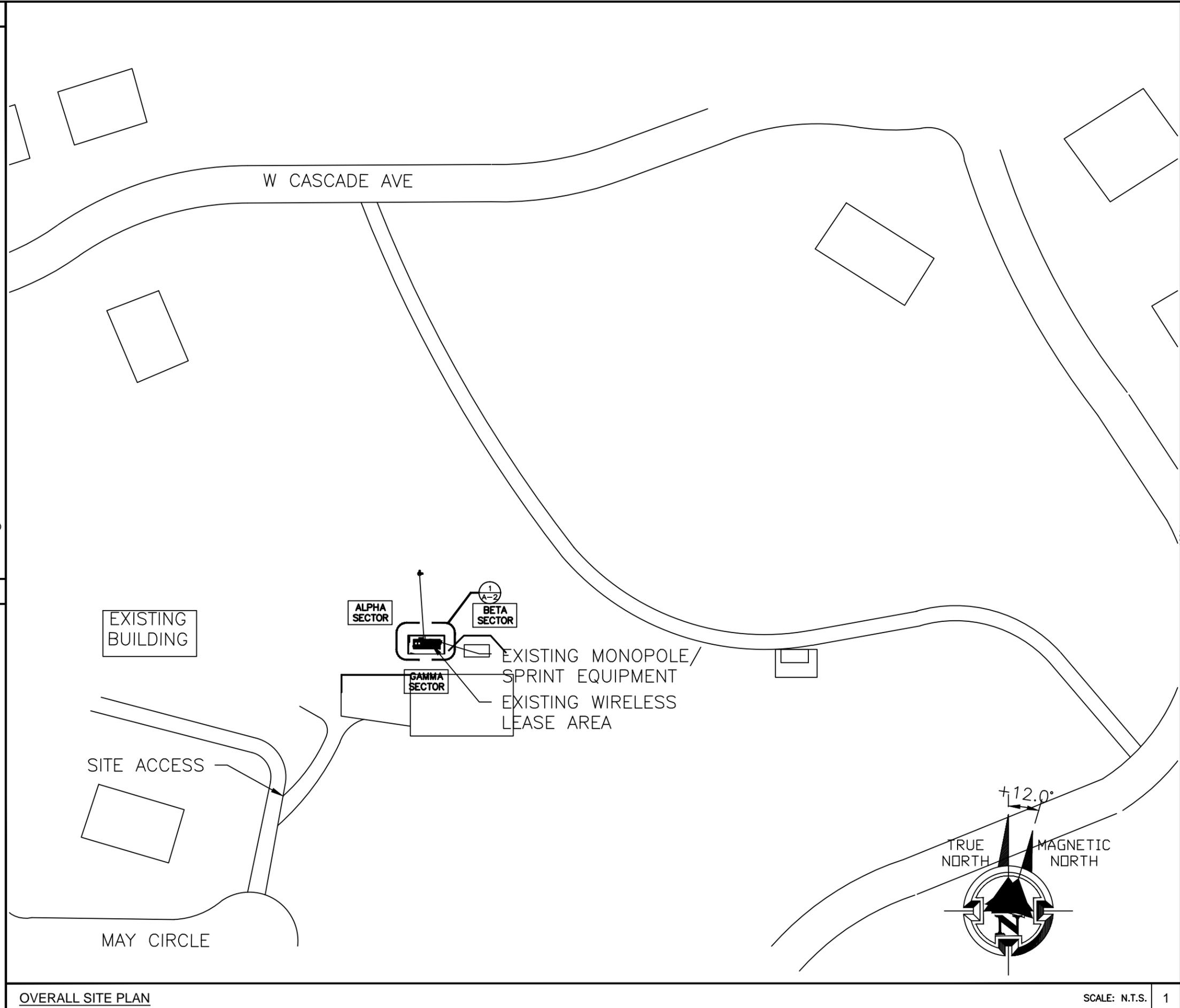
SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
**SPRINT
SPECIFICATION**

SHEET NUMBER
SP-2

ABBREVIATIONS	
A/C	AIR CONDITIONER
AFF	ABOVE FINISHED FLOOR
AGL	ABOVE GRADE LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BTS	BASE TRANSMISSION STATION
CAB	CABINET
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
DAP	DIVERSE ACCESS POINT
DWG	DRAWING
FT	FOOT (FEET)
EGB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
ELEV	ELEVATION
EMT	ELECTRICAL METALLIC TUBING
EQUIP	EQUIPMENT
(E)	EXISTING
FND	FOUNDATION
GALV	GALVANIZED
GAP	GROUND ACCESS POINT
GND	GROUND
GPS	GLOBAL POSITIONING SYSTEM
IN	INCH(ES)
LB (#)	POUND(S)
MAX	MAXIMUM
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
(N)	NEW
NEC	NATIONAL ELECTRICAL CODE
NOM	NOMINAL
NTS	NOT TO SCALE
NV	NETWORK VISION
OE/OT	OVERHEAD ELECTRIC/TELCO
POS	POSITION
RGS	RIGID GALVANIZED STEEL
RRU	REMOTE RADIO UNIT
SF	SQUARE FOOT
STL	STEEL
T & B	TOP & BOTTOM
T/	TOP
TBD	TO BE DETERMINED
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELCO
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W/	WITH
XFMR	TRANSFORMER

SYMBOLS	
	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	FENCE
	CHAINLINK
	WOOD
	WROUGHT IRON
	ELECTRIC OVERHEAD
	ELECTRIC UNDERGROUND
	FIBER OVERHEAD
	FIBER UNDERGROUND
	TELEPHONE OVERHEAD
	TELEPHONE UNDERGROUND
	DCPOWER
	SECTION REFERENCE



Sprint
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RAGE
 DEVELOPMENT LLC

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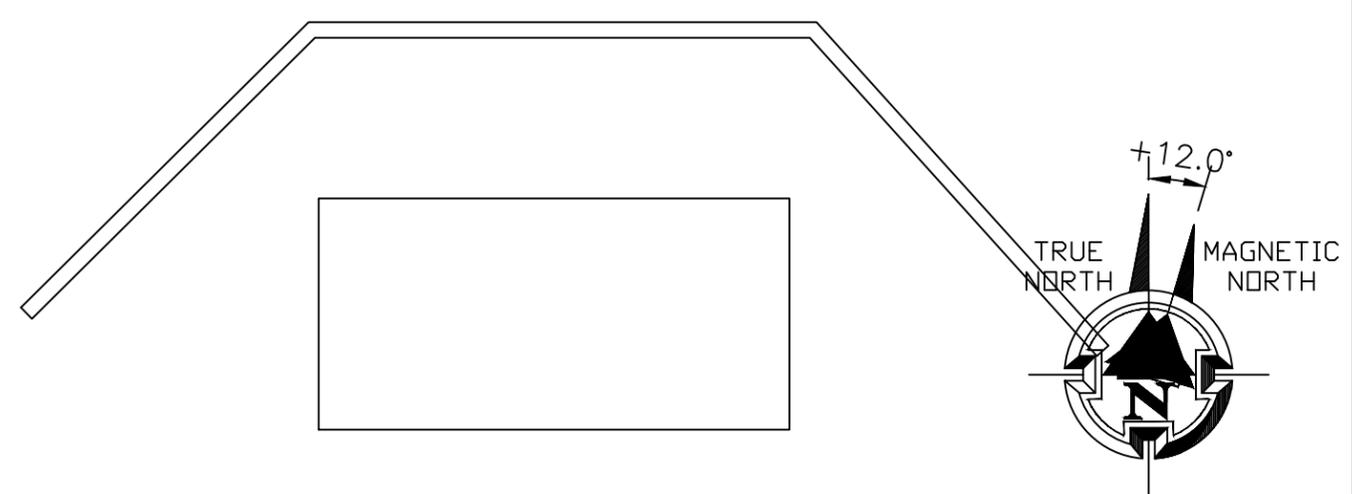
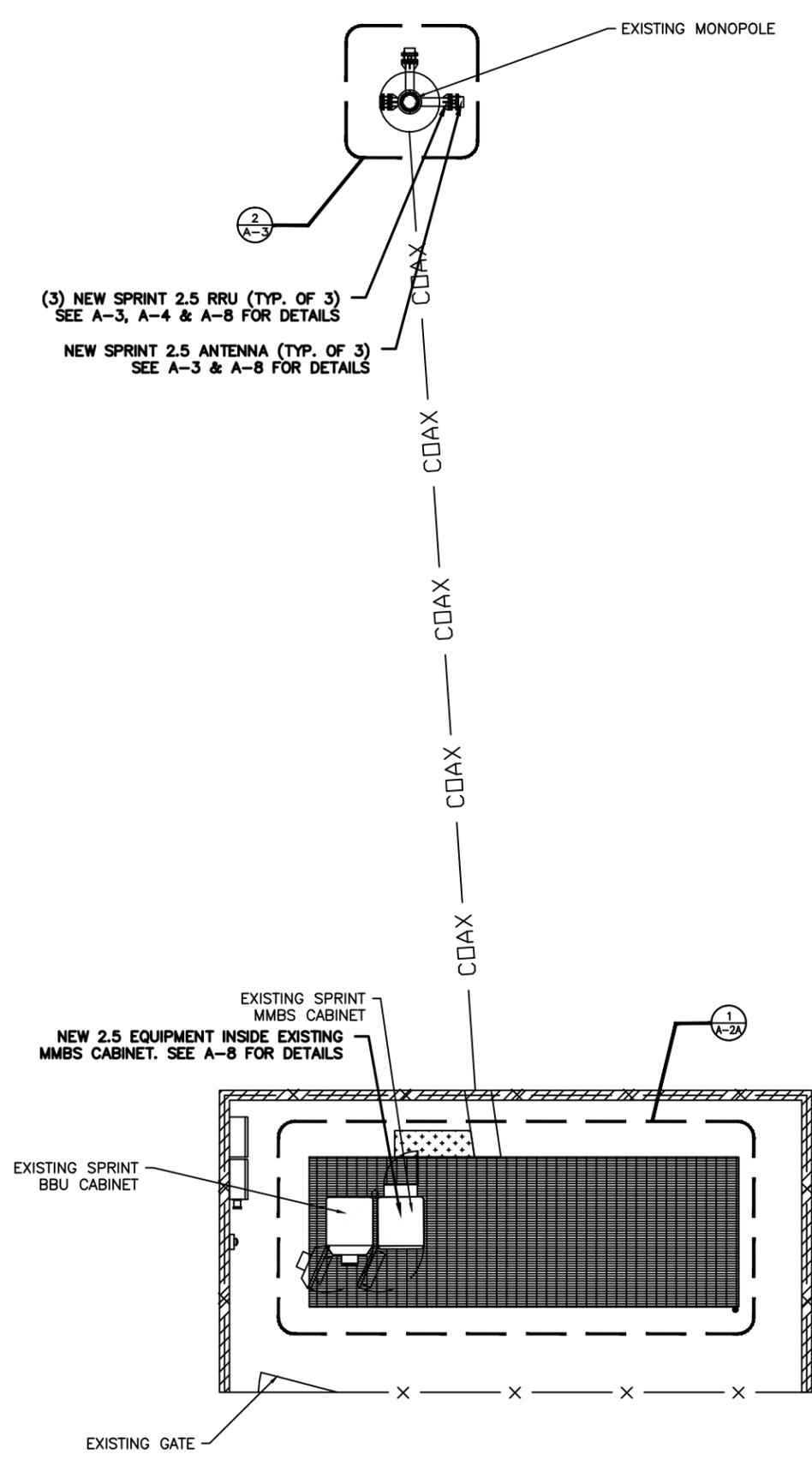
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 ALPINE, UTAH 84004

SHEET NAME
 OVERALL
 SITE PLAN

SHEET NUMBER
 A-1

OVERALL SITE PLAN

SCALE: N.T.S. 1



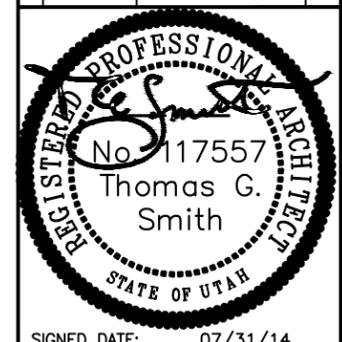
Sprint
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1	06/20/14	100% STAMPED	NSW
2	07/31/14	100% STAMPED	NSW



SIGNED DATE: 07/31/14

SITE NAME
SHEPHERD'S HILL

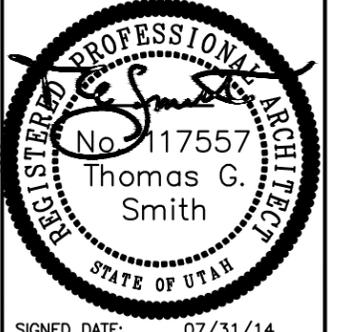
SITE I.D.
SL54XC024
880636

SITE ADDRESS
 694 ROCKY MTN DR
 ALPINE, UTAH 84004

SHEET NAME
ENLARGED
SITE PLAN

SHEET NUMBER
A-2

CHECKED BY:	JRC		
APPROVED BY:	TGS		
#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
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SIGNED DATE: 07/31/14

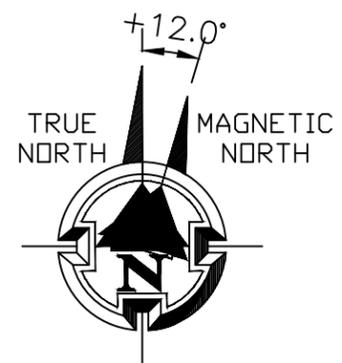
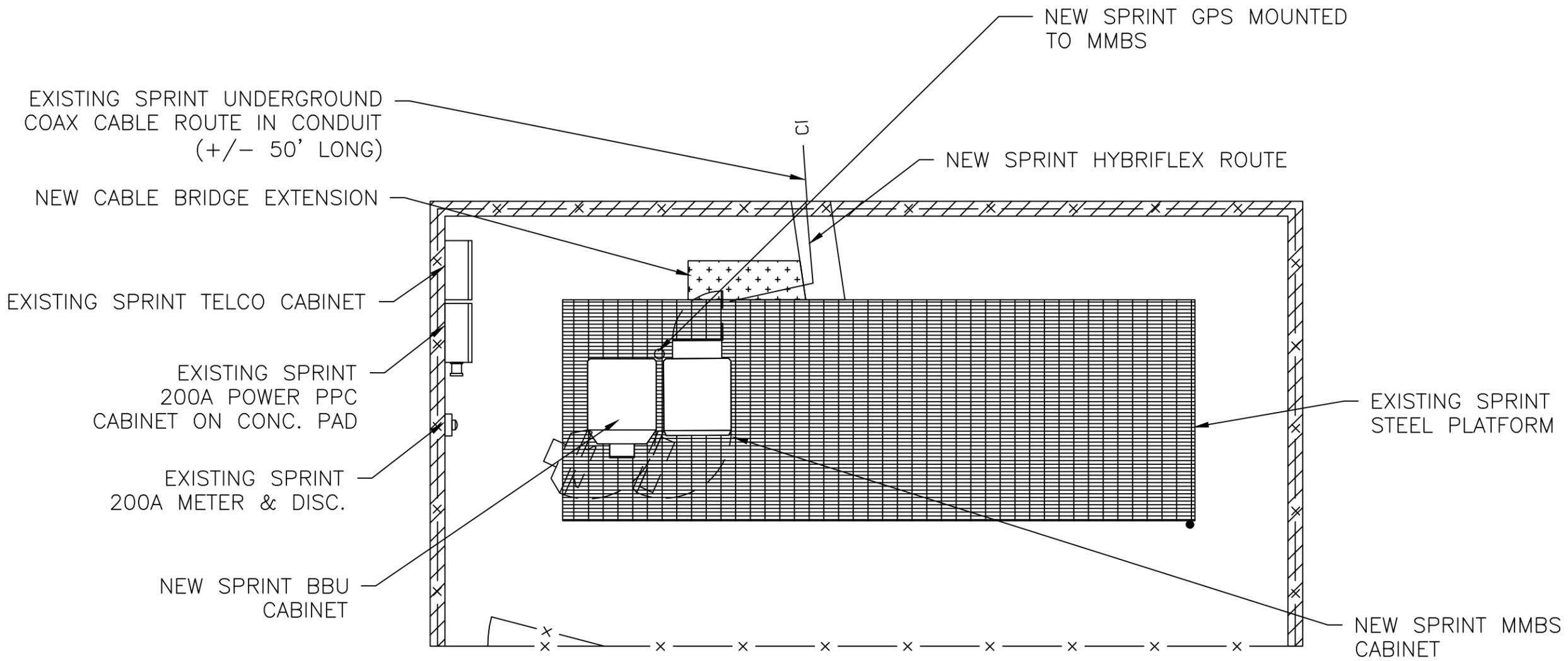
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SHEPHERD'S HILL

SITE I.D.
**SL54XC024
 880636**

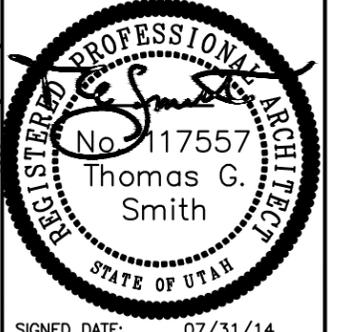
SITE ADDRESS
 694 ROCKY MTN DR
 ALPINE, UTAH 84004

SHEET NAME
**EQUIPMENT
 LAYOUT**

SHEET NUMBER
A-2A



CHECKED BY:	JRC		
APPROVED BY:	TGS		
#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
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SIGNED DATE: 07/31/14

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SHEPHERD'S HILL

SITE I.D.
**SL54XC024
 880636**

SITE ADDRESS
 694 ROCKY MTN DR
 ALPINE, UTAH 84004

SHEET NAME
**TOWER
 ELEVATION &
 ANTENNA LAYOUT**

SHEET NUMBER

A-3

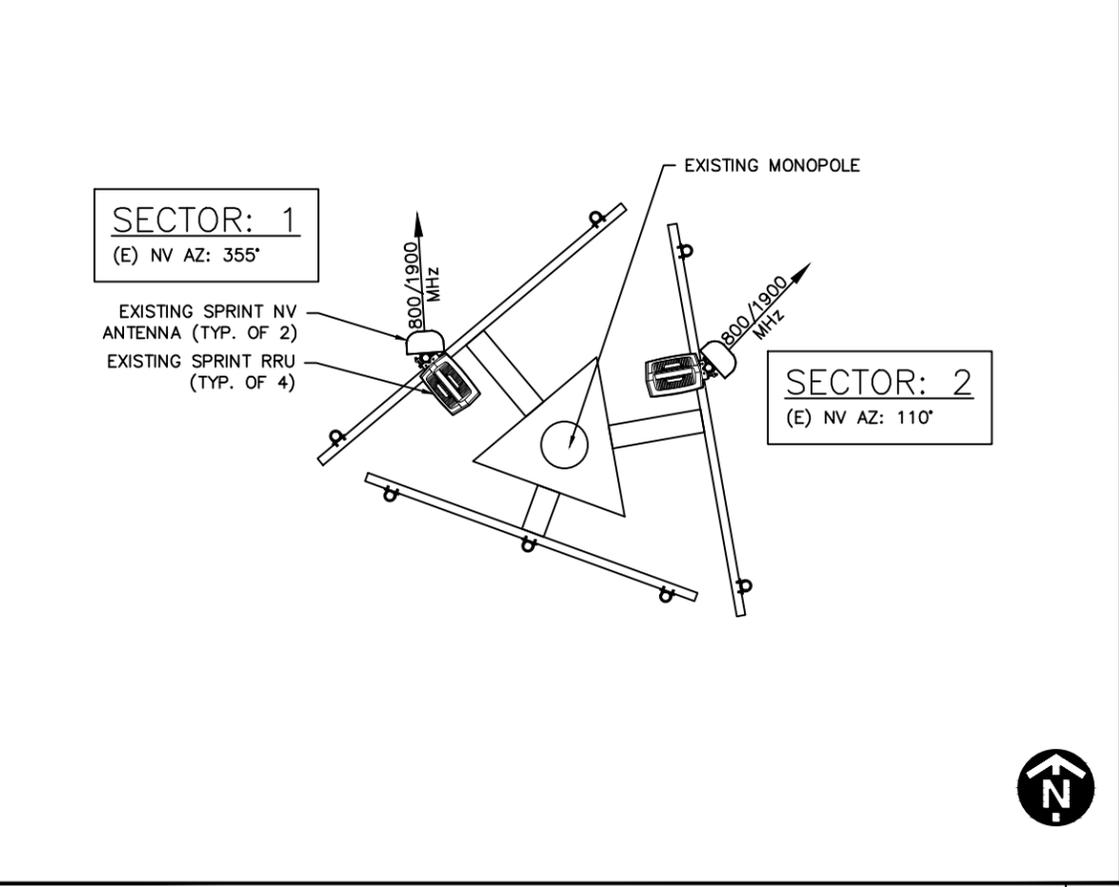
**STRUCTURAL NOTES/SPRINT
 STRUCTURAL SERVICES
 COMPLIANCE NOTE:**

1. STRUCTURAL CALCULATIONS FOR THE TOWER AND ANTENNA MOUNT STRUCTURE WERE PREPARED BY OTHERS AND THOSE CALCULATIONS CERTIFY THE CAPACITY OF THE TOWER STRUCTURE AND ANTENNA MOUNTS FOR THE DEPLOYMENT OF THE SPRINT 2.5 EQUIPMENT. CONTRACTOR TO COORDINATE WITH PROJECT MANAGER TO OBTAIN A COPY.
2. CONTRACTOR TO REFER TO STRUCTURAL CALCULATIONS OF THE TOWER FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF THE STRUCTURE SHALL BE MADE WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER

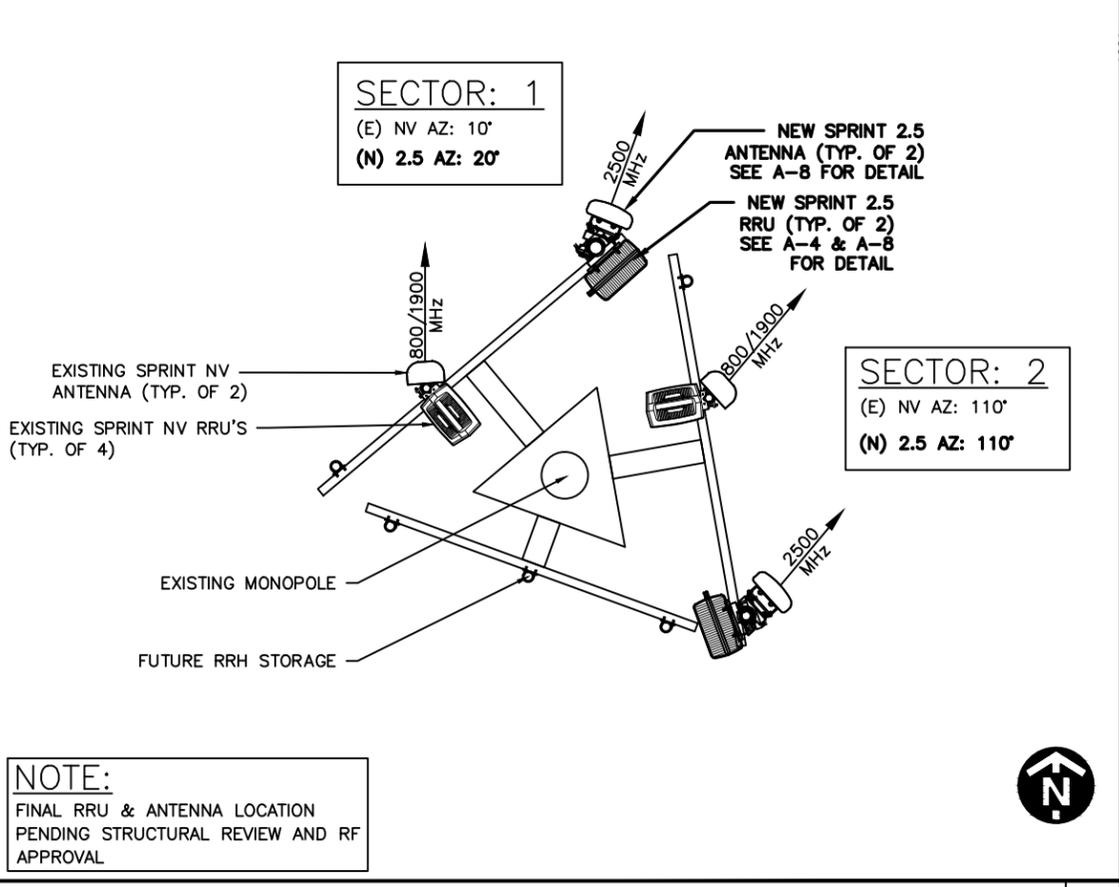
ANTENNA NOTES:

1. CONTRACTOR SHALL VERIFY WITH SPRINT REPRESENTATIVE THE LATEST REVISION TO THE RF INFORMATION.
2. ALL ANTENNA AZIMUTHS ARE TO BE TAKEN FROM TRUE NORTH.

**RF WARNING SIGNAGE &
 EMERGENCY SIGNAGE NOTE:**
 CONTRACTOR TO CONFIRM THAT THE SITE IS COMPLIANT WITH RF WARNING SIGNAGE & EMERGENCY SIGNAGE AS REQUIRED BY THE FEDERAL GUIDELINES CONTAINED WITHIN OET 65 BULLETIN & AS PER SPRINT GUIDELINES.

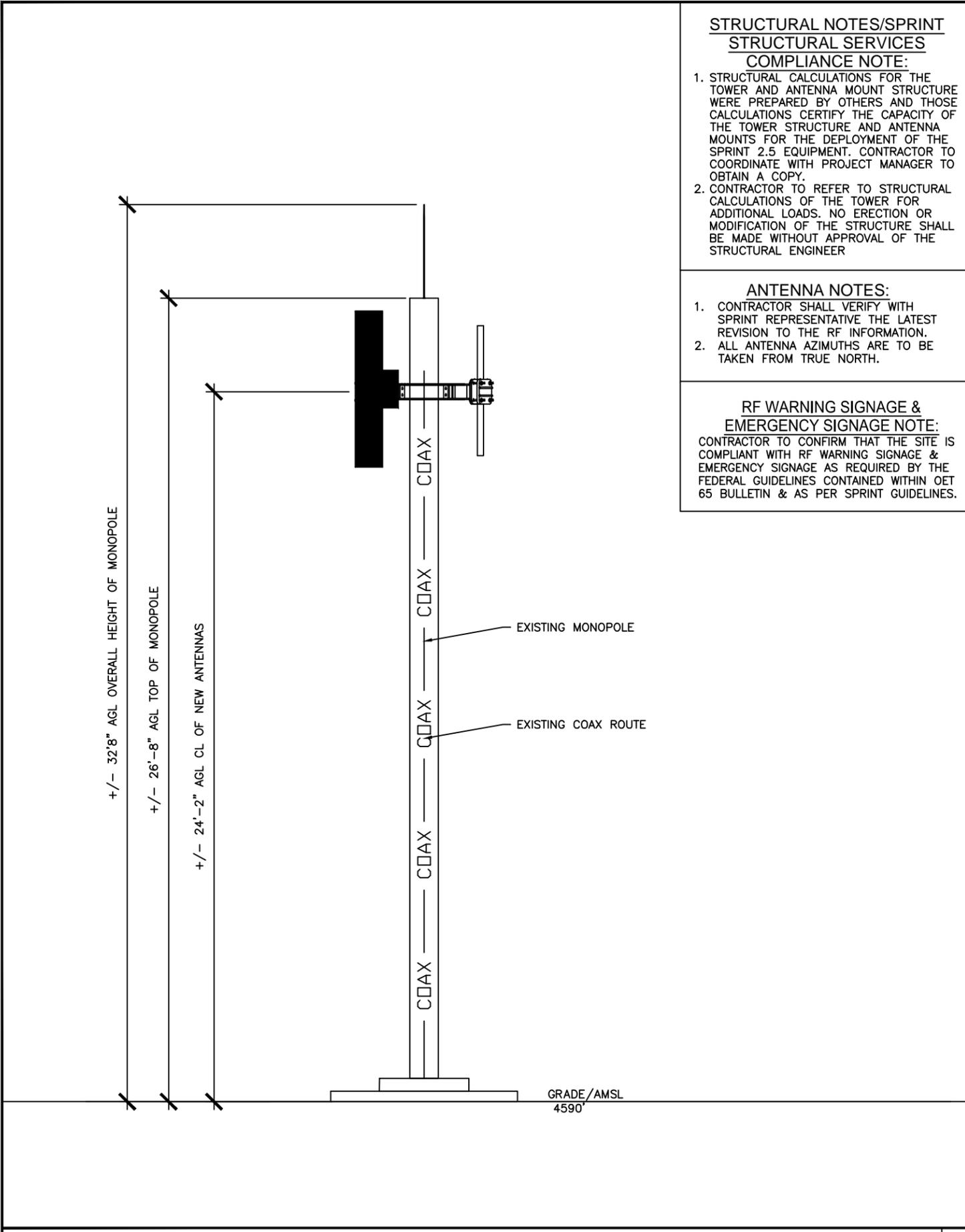


EXISTING ANTENNA & RRU LAYOUT SCALE: N.T.S. 2

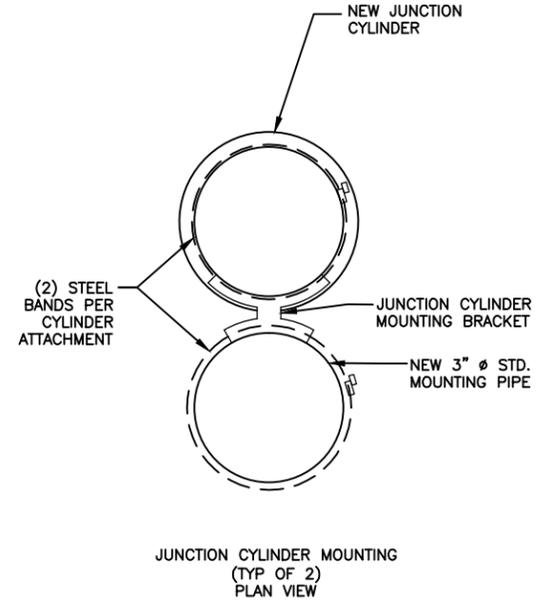
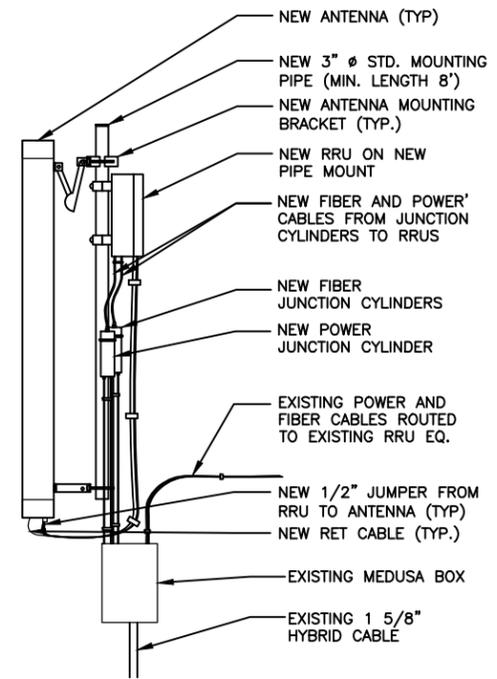


NOTE:
 FINAL RRU & ANTENNA LOCATION
 PENDING STRUCTURAL REVIEW AND RF
 APPROVAL

FINAL ANTENNA & RRU LAYOUT SCALE: N.T.S. 3



SITE ELEVATION SCALE: N.T.S. 1



FOR EXACT SIZES OF EQUIPMENT TO NEW ANTENNA & NEW RRU SEE A-8

Sprint
6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251



SMITH HYATT ARCHITECTS
845 SOUTH MAIN, BOUNTIFUL, UTAH 84010
801-298-5777 FAX 801-298-1677

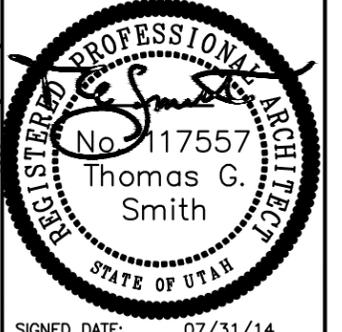
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ANTENNA, RRU AND JUNCTION CYLINDER MOUNTING DETAIL

SCALE: N.T.S. 1

NOT USED

SCALE: N.T.S. 2



SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
SITE DETAILS

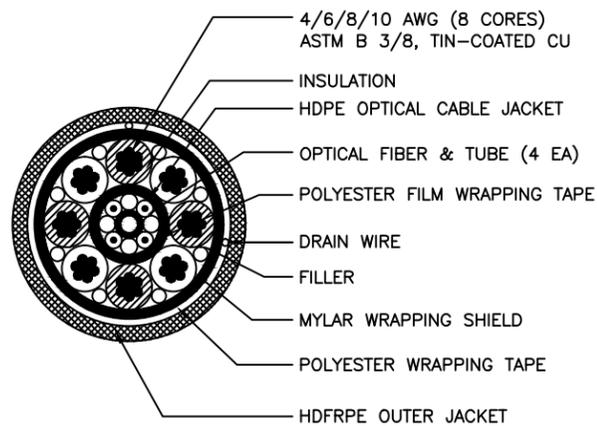
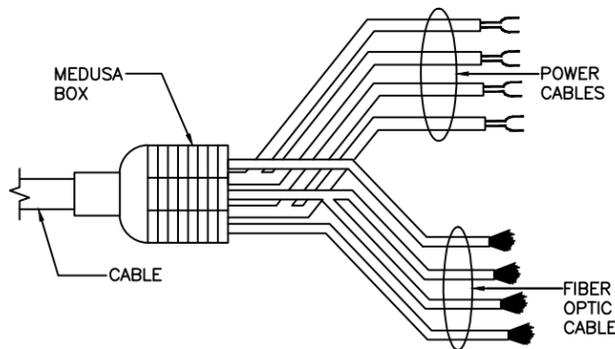
SHEET NUMBER
A-4

NOT USED

SCALE: N.T.S. 3

NOT USED

SCALE: N.T.S. 4



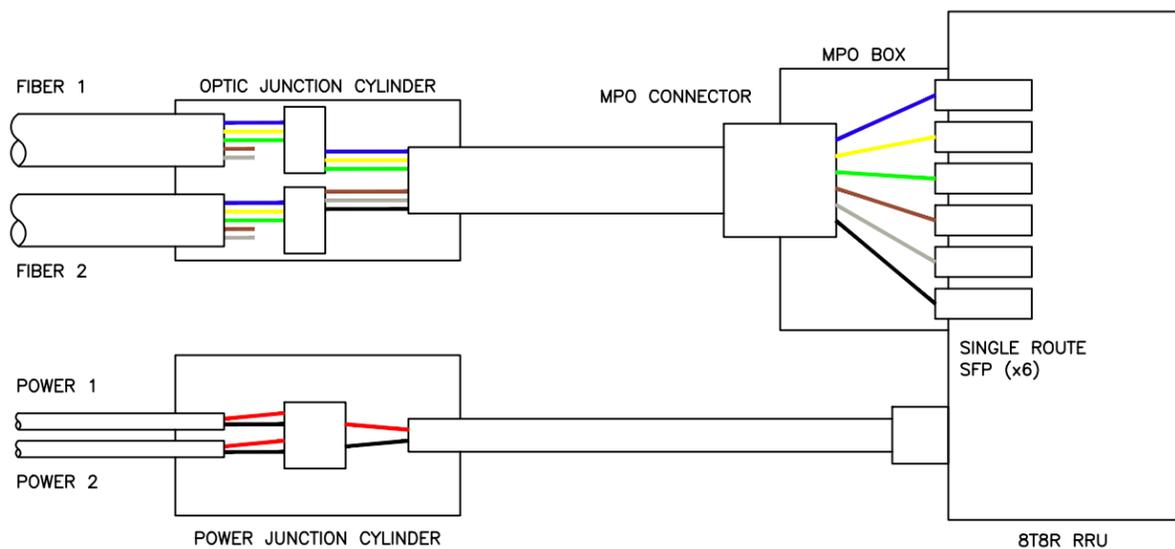
CABLE BENDING RADIUS
 20 x CABLE DIAMETER (DURING OPERATION)
 25 x CABLE DIAMETER (DURING INSTALLATION)
 1.2 LB PER FT CABLE WEIGHT

	TYPE 1	TYPE 1	TYPE 1
TOTAL LENGTH	~40m	~70m	~120m
HYBRID POWER CABLE CONFIGURATION	AWG 8 1 PAIR, AWG 10 3 PAIR	AWG 6 1 PAIR, AWG 8 3 PAIR	AWG 4 1 PAIR, AWG 6 3 PAIR
CABLE DIAMETER	32 mm	32 mm	36 mm
BENDING RADIUS	800 mm	800 mm	800 mm
OPTIC CABLE	LC/PC-TO-LCPC SINGLE MODE	LC/PC-TO-LCPC SINGLE MODE	LC/PC-TO-LCPC SINGLE MODE
RRU POWER CABLE SPEC	AWG 10, 4 PAIR	AWG 10, 4 PAIR	AWG 10, 4 PAIR
NON USE POWER AND OPTIC CABLE PROTECTION	2 PAIR POWER AND OPTIC CABLE WITH PE PIPE	2 PAIR POWER AND OPTIC CABLE WITH PE PIPE	2 PAIR POWER AND OPTIC CABLE WITH PE PIPE

HYBRID CABLE

SCALE: N.T.S. 1

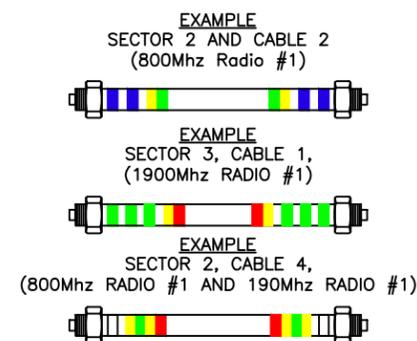
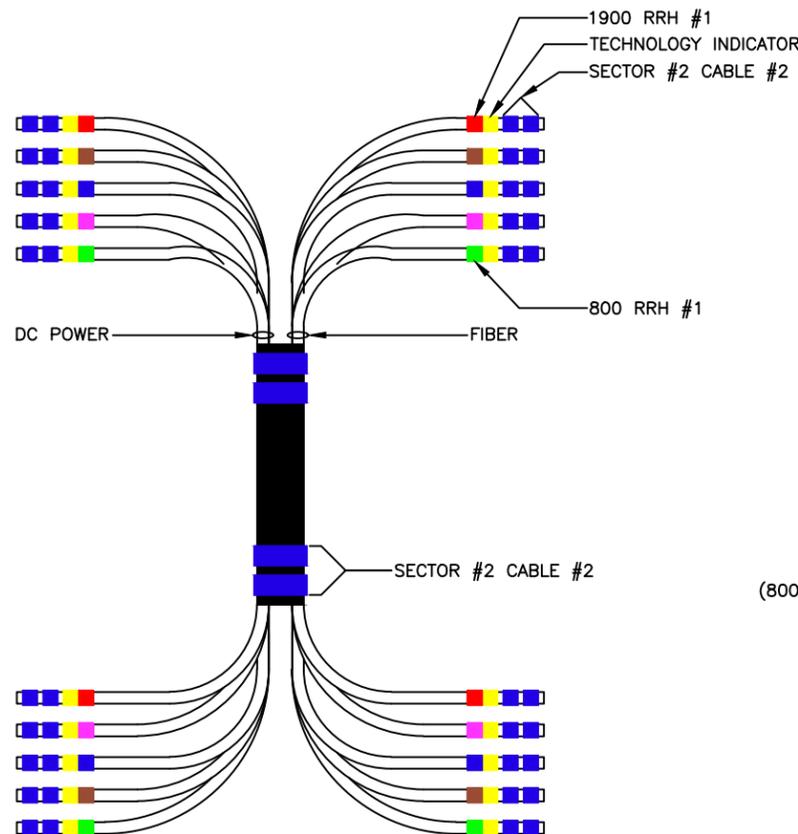
FUNCTIONAL DIAGRAM



CYLINDER SCHEMATIC DETAIL

SCALE: N.T.S. 2

TECHNOLOGY COLOR CODE	FIRST RING	SECOND RING
800 #1	YELLOW	GREEN
1900 #1	YELLOW	RED
1900 #2	YELLOW	BROWN
1900 #3	YELLOW	BLUE
1900 #4	YELLOW	GREY
800 #1	YELLOW	ORANGE
2500 #1	YELLOW	WHITE
2500 #2	YELLOW	PURPLE



2500MHz RADIO CALIBRATION CABLE COLOR CODE

2500MHz #1 CAL CABLE - SECTOR	CABLE	FIRST RING	SECOND RING	THIRD RING	FOURTH RING	FIFTH RING	SIXTH RING
1 ALPHA	1	YELLOW		YELLOW	WHITE		
2 BETA	2	YELLOW	YELLOW		YELLOW	WHITE	
3 GAMMA	3	YELLOW	YELLOW	YELLOW		YELLOW	WHITE
2500MHz #2 CAL CABLE - SECTOR	CABLE	FIRST RING	SECOND RING	THIRD RING	FOURTH RING	FIFTH RING	SIXTH RING
1 ALPHA	1	YELLOW		YELLOW	PURPLE		
2 BETA	2	YELLOW	YELLOW		YELLOW	PURPLE	
3 GAMMA	3	YELLOW	YELLOW	YELLOW		YELLOW	PURPLE

INFORMATION TAKEN FROM SPRINT'S TECHNICAL SPECIFICATIONS "ANTENNA TRANSMISSION LINE ACCEPTANCE STANDARDS, TS-0200 ISSUE 5, OCTOBER 2013, COPYRIGHT© 2013 SPRINT CORPORATION

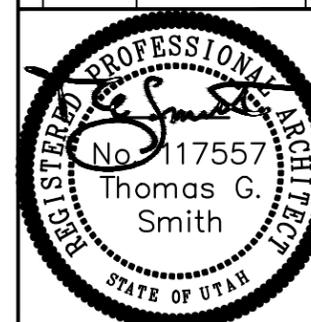
COLOR CODING

SCALE: N.T.S. 3



CHECKED BY: JRC
 APPROVED BY: TGS

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SIGNED DATE: 07/31/14

SITE NAME

SHEPHERD'S HILL

SITE I.D.

SL54XC024
880636

SITE ADDRESS

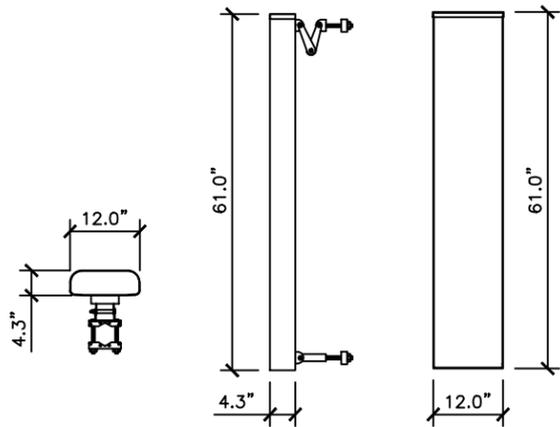
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME

CABLE AND
COLOR CODING

SHEET NUMBER

A-7



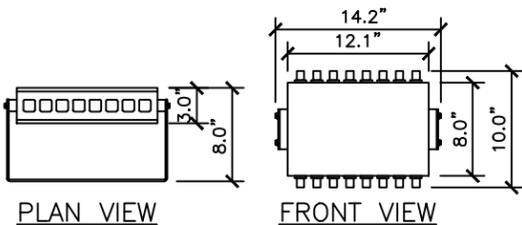
PLAN VIEW SIDE VIEW FRONT VIEW

KMW - ET-X-WM-18-65-8P
(EDTA) ELECTRICAL DOWNTILT ANTENNA

FREQUENCY RANGE	2496-2690 MHz
ANTENNA WEIGHT	36.4 Lbs
BRACKET WEIGHT	11.6 Lbs
TOTAL WEIGHT	48 Lbs

ANTENNA SPEC SCALE: 3/8" = 1'-0" 1

NOT USED SCALE: N.T.S. 2

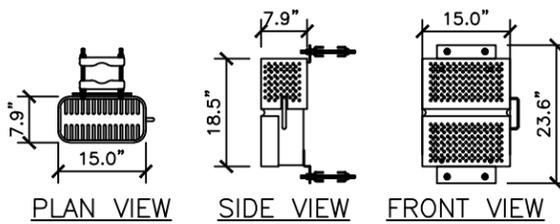


SAMSUNG - 2.5G8T8R RADAR FILTER

FREQUENCY RANGE	2496-2690 MHz
UNIT WEIGHT	22 Lbs

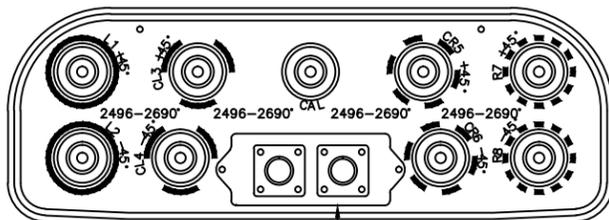
RRU FILTER SPEC SCALE: N.T.S. 5

NOT USED SCALE: N.T.S. 7



SAMSUNG - RRH-V3

FREQUENCY RANGE	2500 MHz
UNIT WEIGHT	59.5 Lbs
RRH BRACKET WEIGHT	12.32 Lbs
TOTAL WEIGHT	71.82 Lbs



KMW - ET-X-WM-18-65-8P

RRU SPEC SCALE: 3/8" = 1'-0" 6

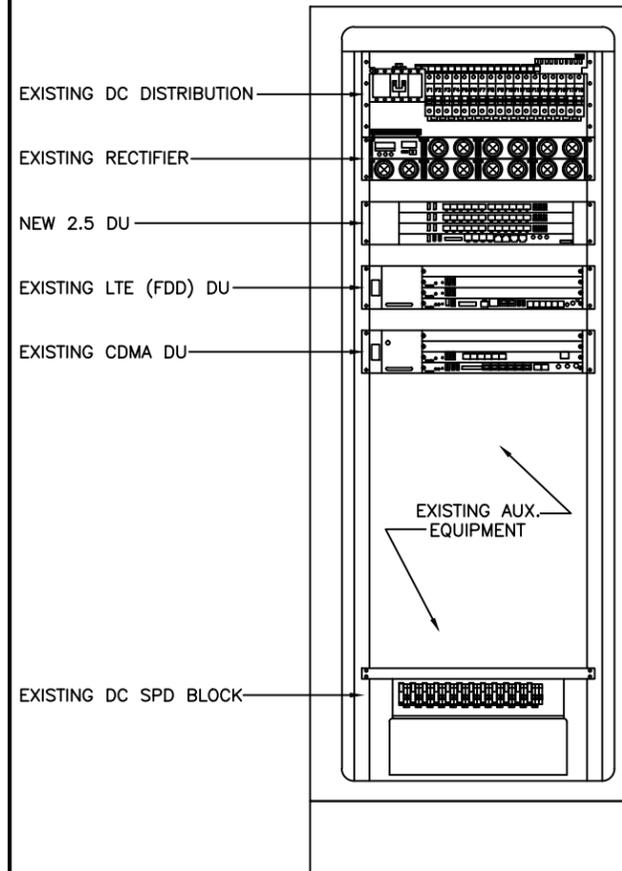
PORT LAYOUT SCALE: N.T.S. 8



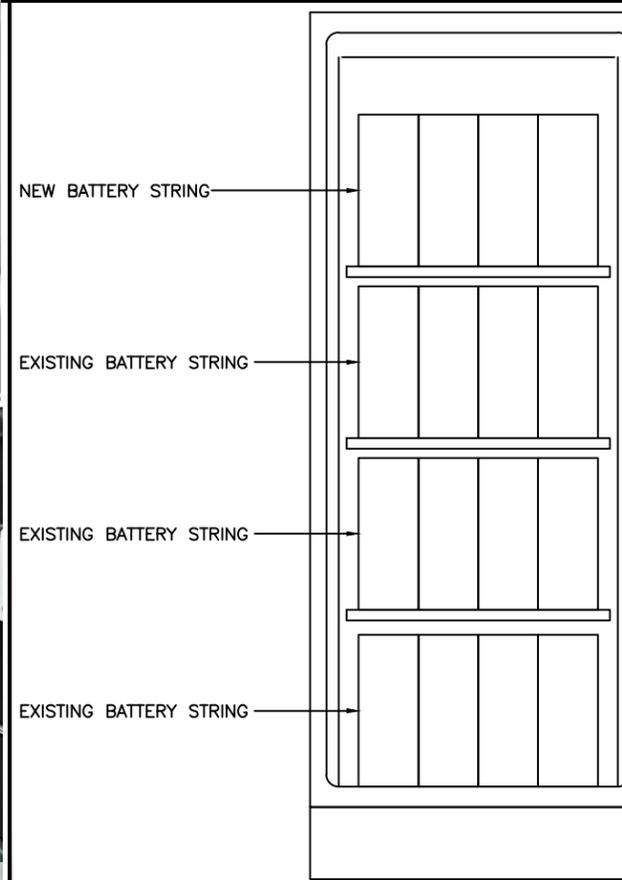
EXISTING MMBS CABINET SCALE: N.T.S. 3



EXISTING BBU CABINET SCALE: N.T.S. 9



EXISTING MMBS CABINET WITH 2.5 EQUIPMENT SCALE: N.T.S. 4



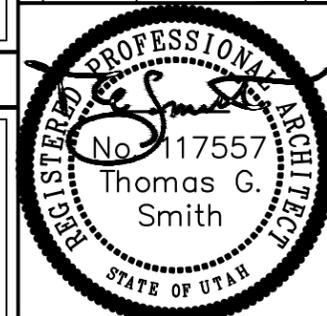
EXISTING BBU CABINET FOR 2.5 EQUIPMENT SCALE: N.T.S. 10

Sprint
6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251

RAGE
DEVELOPMENT LLC

SMITH HYATT
ARCHITECTS
845 SOUTH MAIN, BOUNTIFUL, UTAH 84010
801-298-5777 FAX 801-298-1677

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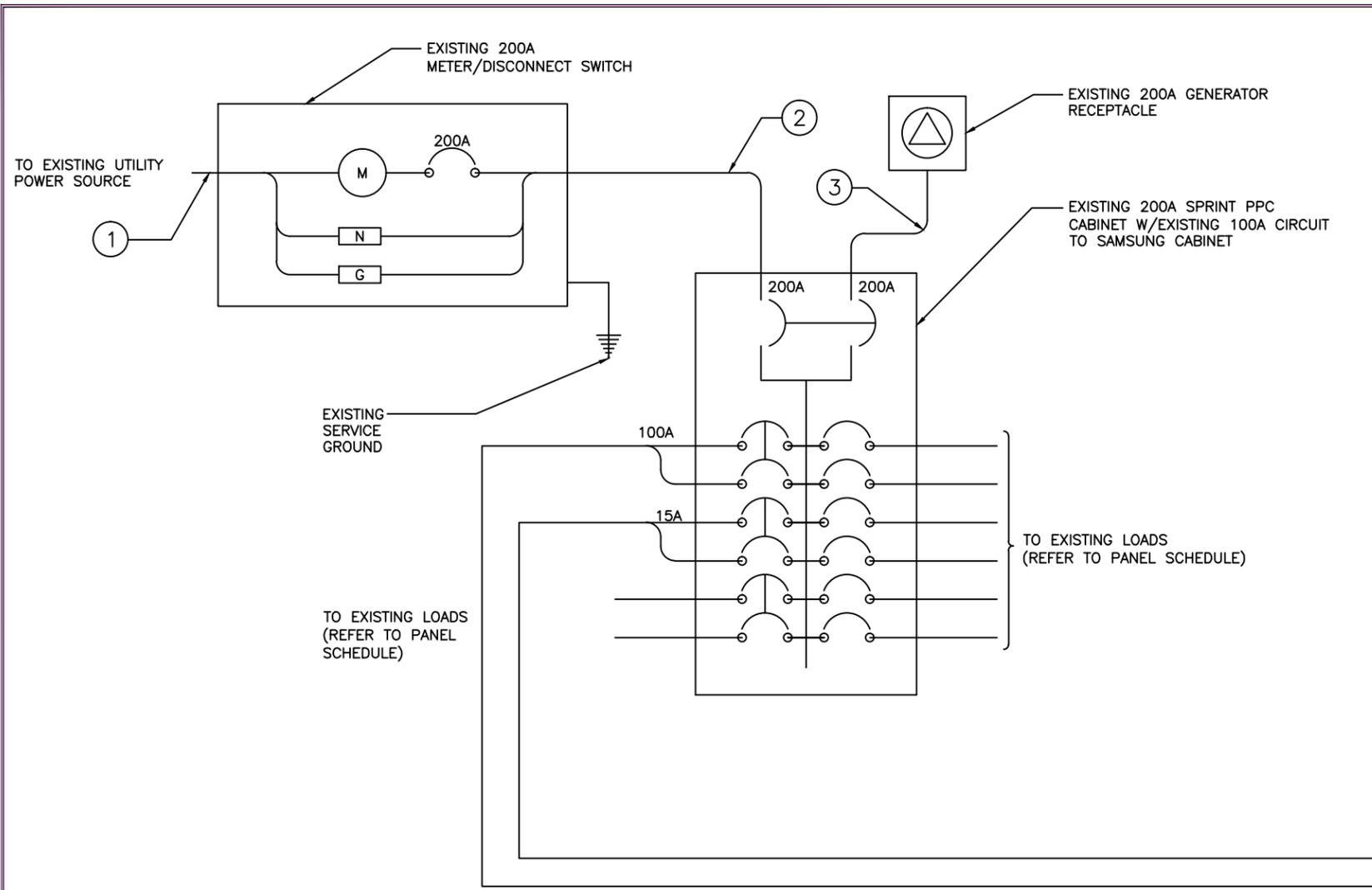
SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

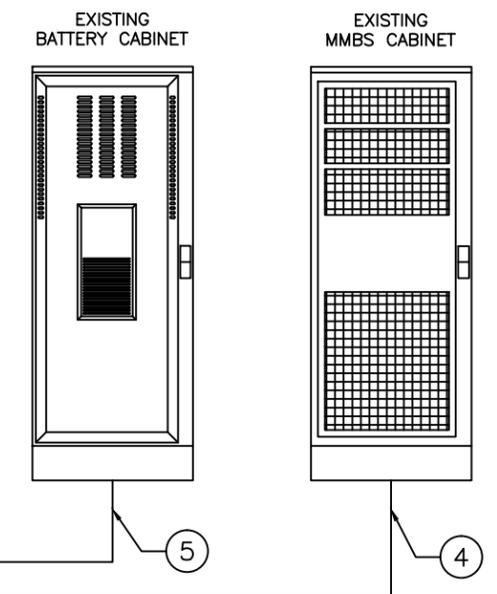
SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
**EQUIPMENT
DETAILS**

SHEET NUMBER
A-8



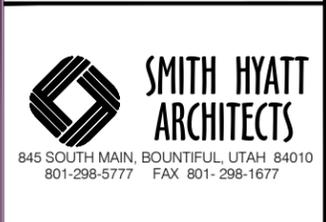
CIRCUIT SCHEDULE			
NO	FROM	TO	CONFIGURATION
①	UTILITY SOURCE	METER/DISCONNECT	EXISTING
②	METER/DISCONNECT	TRANSFER & LOAD CENTER	EXISTING
③	TRANSFER & LOAD CENTER	GENERATOR RECEPTACLE	EXISTING
④	TRANSFER & LOAD CENTER	EXISTING MMBS CABINET	EXISTING
⑤	TRANSFER & LOAD CENTER	EXISTING BATTERY CABINET	EXISTING



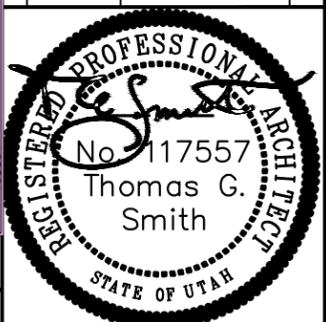
ELECTRICAL ONE-LINE DIAGRAM SCALE: N.T.S. 1

- ELECTRICAL NOTES**
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL LOCAL AND STATE CODE, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL POWER COMPANY FOR REQUIREMENTS OF POWER SERVICE LINE TO THE METER BASE. POWER SERVICE REQUIREMENT IS COMMERCIAL AC NOMINAL 120/208 VOLT OR 120/240 VOLT, SINGLE PHASE WITH 200 AMP RATING.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL TELEPHONE COMPANY FOR REQUIREMENTS OF "T1" SERVICE LINE TO TERMINATE AT THE PPC CABINET.
 - UNDERGROUND POWER AND TELCO SERVICE LINES SHALL BE ROUTED IN A COMMON TRENCH. ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 AND CONDUIT EXPOSED ABOVE GROUND SHALL BE RIGID GALVANIZED STEEL UNLESS OTHERWISE INDICATED.
 - ALL TELCO CONDUIT LINES SHALL BE 4" SCH. 40 PVC CONDUIT UNLESS OTHERWISE INDICATED. THE TELCO CONDUIT FROM THE PPC SHALL BE ROUTED AND TERMINATED AT DESIGNATED TELCO DEMARCATION OR 2-FEET OUTSIDE FENCED AREA, NEAR UTILITY POLE (IN FENCED AREA), OR END CAP OFF AND PROVIDE MARKER STAKE PAINTED BRIGHT ORANGE WITH DESIGNATION FOR TELCO SERVICE.
 - CONDUITS INSTALLED AT PCS EQUIPMENT ENDS PRIOR TO THE EQUIPMENT INSTALLATION SHALL BE STUBBED AND CAPPED AT 6" ABOVE GRADE OR PLATFORM. IF SERVICE LINES CAN'T BE INSTALLED INITIALLY, PROVIDE NYLON PULL CORD IN CONDUITS.
 - THE SPRINT CABINET, INCLUDING 200 AMP LOAD PANEL AND TELCO PANEL, SHALL BE PROVIDED BY OWNER AND INSTALLED BY THE CONTRACTOR. CONTRACTOR IS TO INSTALL BREAKER(S) NOT PROVIDED BY MANUFACTURER. SEE PANEL SCHEDULE ON THIS SHEET FOR BREAKER REQUIREMENTS.
 - LOCATION OF ELECTRIC METER AND DISCONNECT SWITCH TO BE COORDINATED BY ELECTRICAL CONTRACTOR AND FIELD CONSTRUCTION MANAGER.
 - #2 WIRE TO BE UTILIZED IN ELECTRIC SERVICE RUNS EXCEEDING 100'.
 - CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTORS FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
 - LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO ROUGH-IN.
 - THE CONDUIT RUNS AS SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATION AND ROUTING SHALL BE PER EXISTING FIELD CONDITIONS.
 - PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR REQUIRED BY NEC.
 - ALL CONDUITS SHALL BE MET WITH BENDS MADE IN ACCORDANCE WITH NEC TABLE 346-10. NO RIGHT ANGLE DEVICE OTHER THAN STANDARD CONDUIT ELBOWS WITH 12" MINIMUM INSIDE SWEEPS FOR ALL CONDUITS 2" OR LARGER.
 - ALL CONDUIT TERMINATIONS SHALL BE PROVIDED WITH PLASTIC THROAT INSULATING GROUNDING BUSHINGS.
 - ALL WIRE SHALL BE TYPE THWN, SOLID, ANNEALED COPPER UP TO SIZE #10 AWG (#8 AND LARGER SHALL BE CONCENTRIC STRANDED) 75 DEGREE C, (167 DEGREES F), 98% CONDUCTIVITY, MINIMUM #12.
 - ALL WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES AND CABINETS WITH APPROVED PLASTIC TAGS, ACTION CRAFT, BRADY, OR APPROVED EQUAL.
 - ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
 - CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION TO CONFLICTS. VERIFY WITH MECHANICAL CONTRACTOR AND COMPLY AS REQUIRED.
 - ALL PANEL DIRECTORIES SHALL BE TYPEWRITTEN NOT HAND WRITTEN.
 - INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, STARTERS, AND EQUIPMENT CABINETS.
 - THE CONTRACTOR SHALL PREPARE AS-BUILT DRAWINGS, DOCUMENT ANY AND ALL WIRING AND EQUIPMENT CONDITIONS AND CHANGES WHILE COMPLETING THIS CONTRACT. SUBMIT AT SUBSTANTIAL COMPLETION.
 - ALL DISCONNECT SWITCHES AND OTHER CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM (NO EXCEPTIONS.)
 - ALL ELECTRICAL DEVICES AND INSTALLATIONS OF THE DEVICES SHALL COMPLY WITH (ADA) AMERICANS WITH DISABILITIES ACT AS ADOPTED BY THE APPLICABLE STATE.
 - PROVIDE CORE DRILLING AS NECESSARY FOR PENETRATIONS OR RISERS THROUGH BUILDING. DO NOT PENETRATE STRUCTURAL MEMBERS WITHOUT CONSTRUCTION MANAGERS APPROVAL. SLEEVES AND/OR PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE PACKED WITH FIRE RATED MATERIAL WHICH SHALL MAINTAIN THE FIRE RATING OF THE WALL OR STRUCTURE. FILL FOR FLOOR PENETRATIONS SHALL PREVENT PASSAGE OF WATER, SMOKE, FIRE AND FUMES. ALL MATERIAL SHALL BE UL APPROVED FOR THIS PURPOSE.
 - ELECTRICAL CHARACTERISTICS OF ALL EQUIPMENT (NEW AND EXISTING) SHALL BE FIELD VERIFIED WITH THE OWNER'S REPRESENTATIVE AND EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN OF CONDUIT AND WIRE. ALL EQUIPMENT SHALL BE PROPERLY CONNECTED ACCORDING TO THE NAMEPLATE DATA FURNISHED ON THE EQUIPMENT (THE DESIGN OF THESE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND SOME EQUIPMENT CHARACTERISTICS MAY VARY FROM DESIGN AS SHOWN ON THESE DRAWINGS).
 - LOCATION OF ALL OUTLET, BOXES, ETC., AND THE TYPE OF CONNECTION (PLUG OR DIRECT) SHALL BE CONFIRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
 - SPLIT BREAKERS SHALL BE USED ON 120V LOADS IN THE EVENT THAT ADDITIONAL CIRCUIT SPACE IS REQUIRED FOR NEW EQUIPMENT.
 - PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENT ON E-1 REFLECTS MIGRATION PERIOD CIRCUMSTANCES. REFER TO E-4 FOR POST-MIGRATION PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENT IN WHICH EXISTING LEGACY EQUIPMENT HAS BEEN REMOVED.

ELECTRICAL NOTES SCALE: N.T.S. 2



CHECKED BY:	JRC		
APPROVED BY:	TGS		
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2	07/31/14	100% STAMPED	NSW



SIGNED DATE: 07/31/14

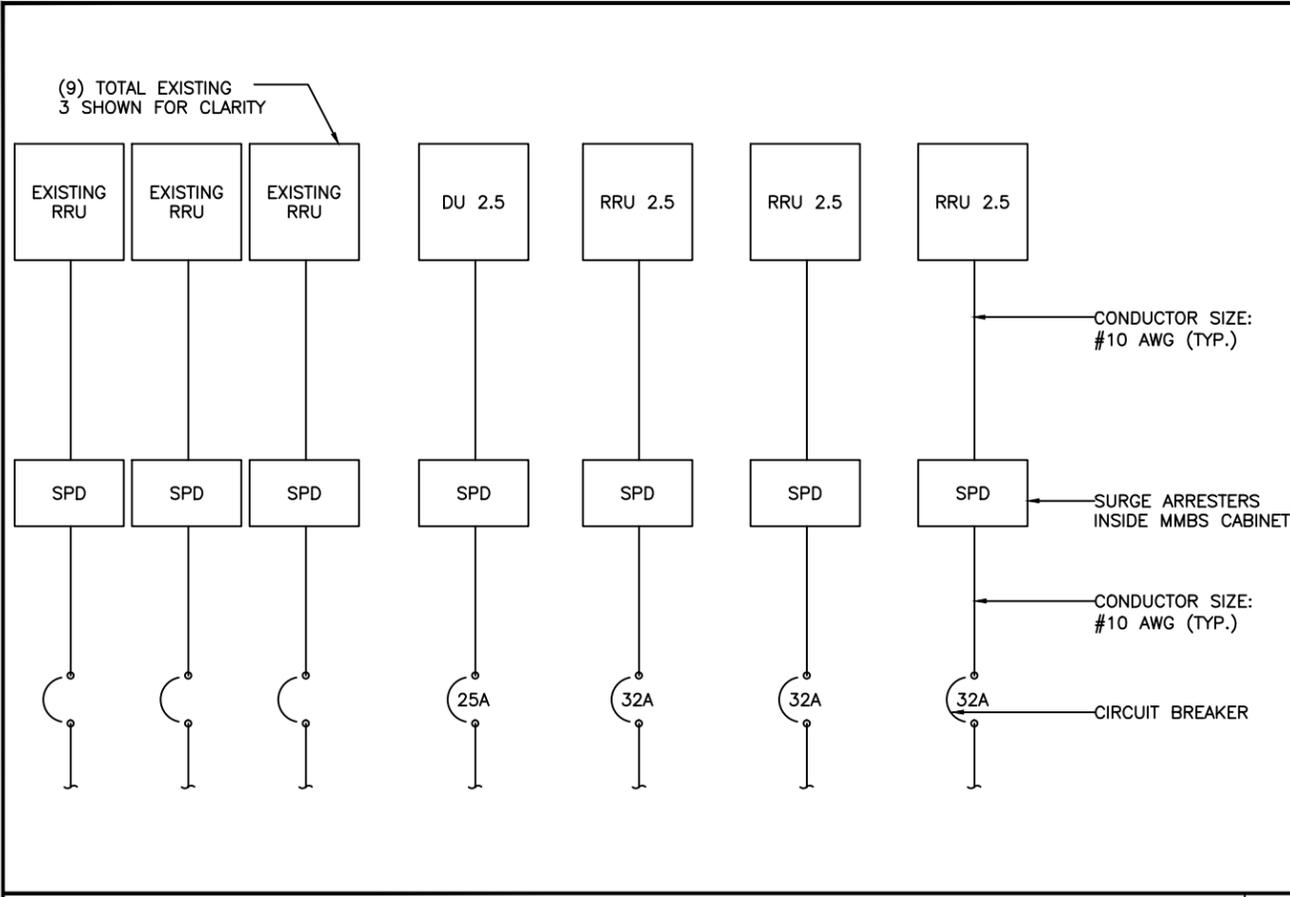
SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

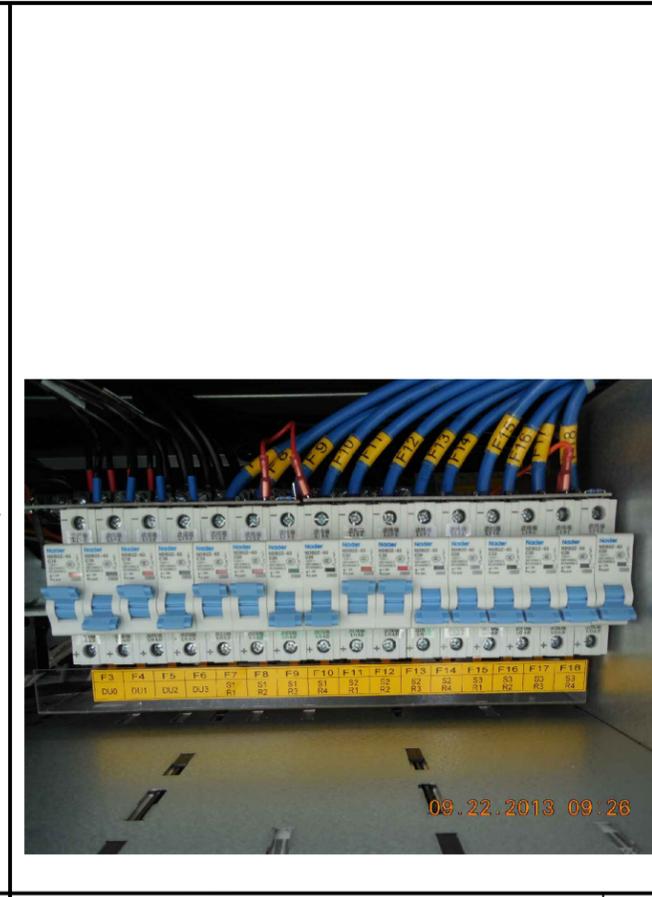
SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
**AC POWER
DISTRIBUTION**

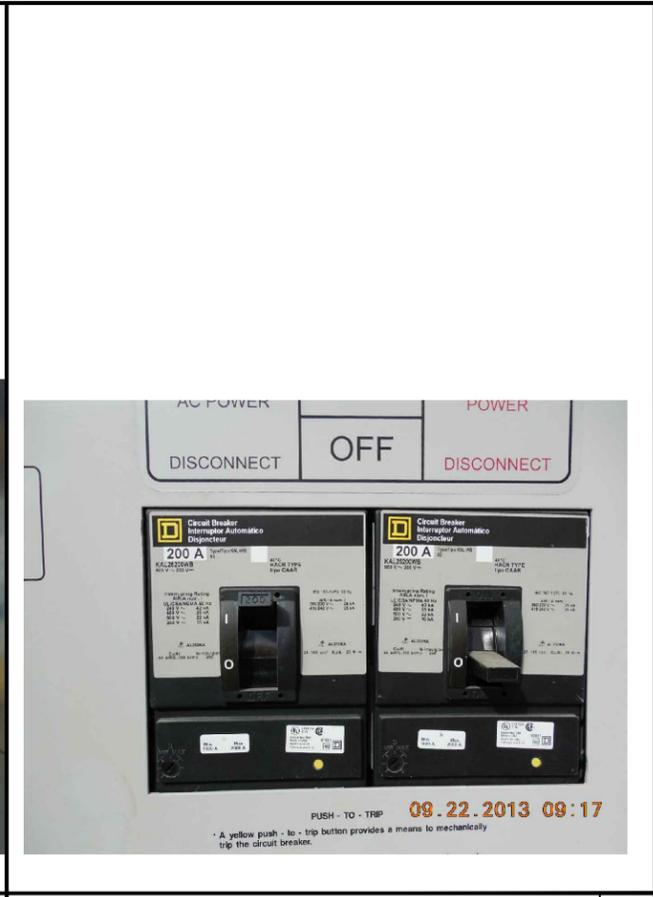
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E-1



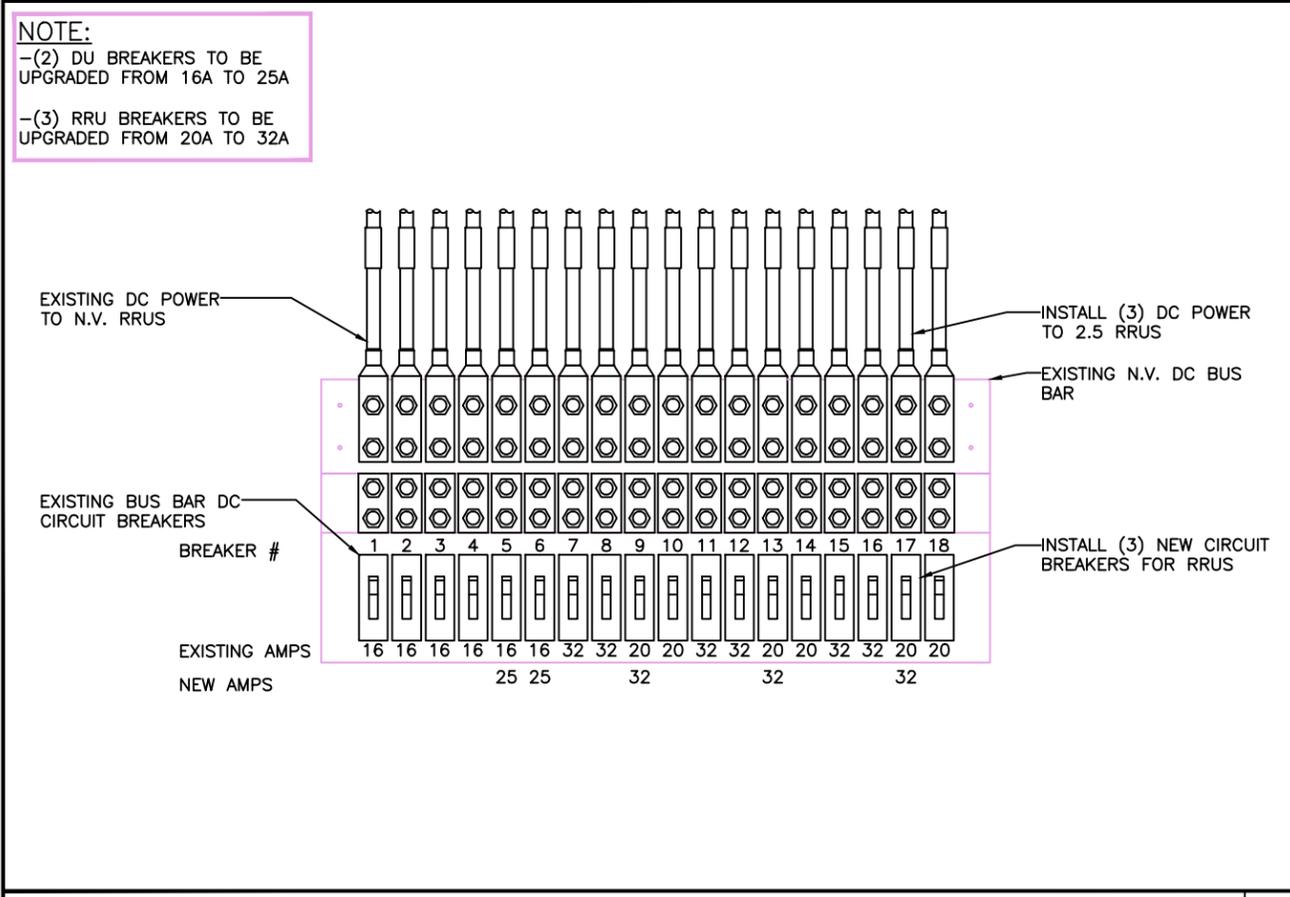
DC ONE LINE DIAGRAM SCALE: N.T.S. 1



EXISTING DC POWER DISTRIBUTION SCALE: N.T.S. 2



EXISTING AC PANEL SCALE: N.T.S. 3



TYPICAL DC POWER DISTRIBUTION SCALE: N.T.S. 4

AC PANEL SCHEDULE

#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
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SIGNED DATE: 07/31/14

SITE NAME: SHEPHERD'S HILL

SITE I.D.: SL54XC024 880636

SITE ADDRESS: 694 ROCKY MTN DR ALPINE, UTAH 84004

SHEET NAME: AC & DC POWER DISTRIBUTION & SCHEDULE

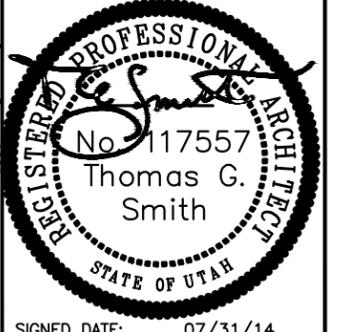
SHEET NUMBER: E-2

AC PANEL SCHEDULE SCALE: N.T.S. 5



CHECKED BY: JRC
 APPROVED BY: TGS

#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
1	06/20/14	100% STAMPED	NSW
2	07/31/14	100% STAMPED	NSW



SIGNED DATE: 07/31/14

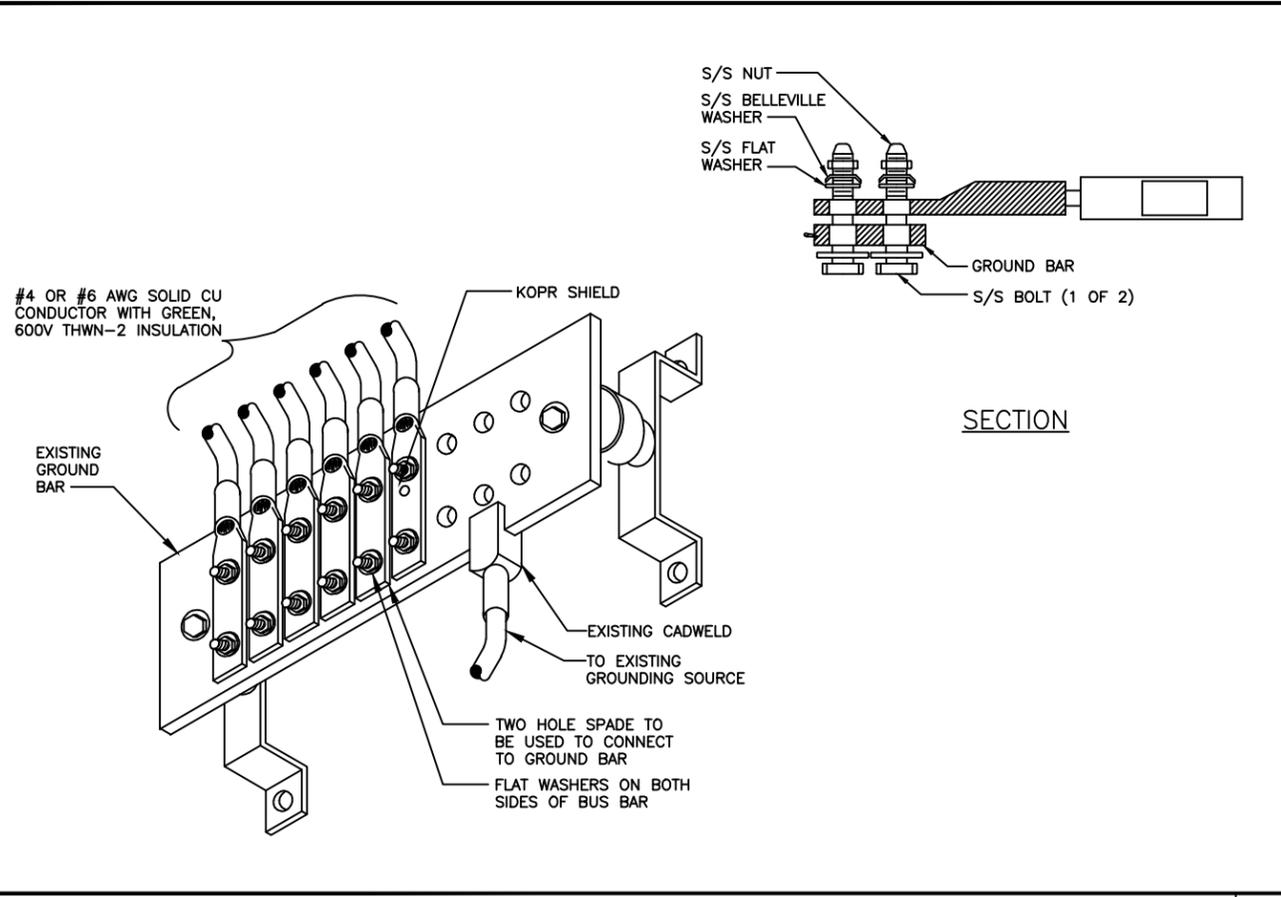
SITE NAME: SHEPHERD'S HILL

SITE I.D.: SL54XC024 880636

SITE ADDRESS: 694 ROCKY MTN DR ALPINE, UTAH 84004

SHEET NAME: AC & DC POWER DISTRIBUTION & SCHEDULE

SHEET NUMBER: E-2



WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT

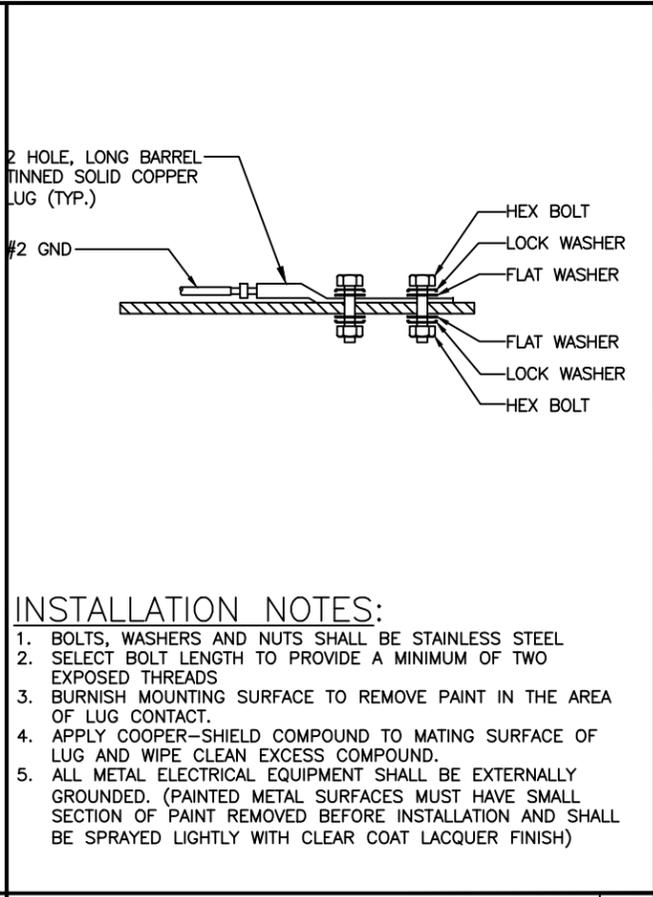
BURNDY GROUND LUG (SEE TABLE FOR SIZE AND MODEL)
NUT (TYP.)
LOCK WASHER (TYP.)
GROUND BAR
BOLT (TYP.)

HEAT SHRINK (CLEAR)
GROUNDING CONDUCTOR

BURNDY TWO HOLE LUG WITH LONG BARREL FOR #6 AWG STRANDED OR EQUIVALENT
BARE WIRE TO BE NO-OX AT BOTH ENDS
#6 AWG STRANDED GREEN INSULATED

NOTES:

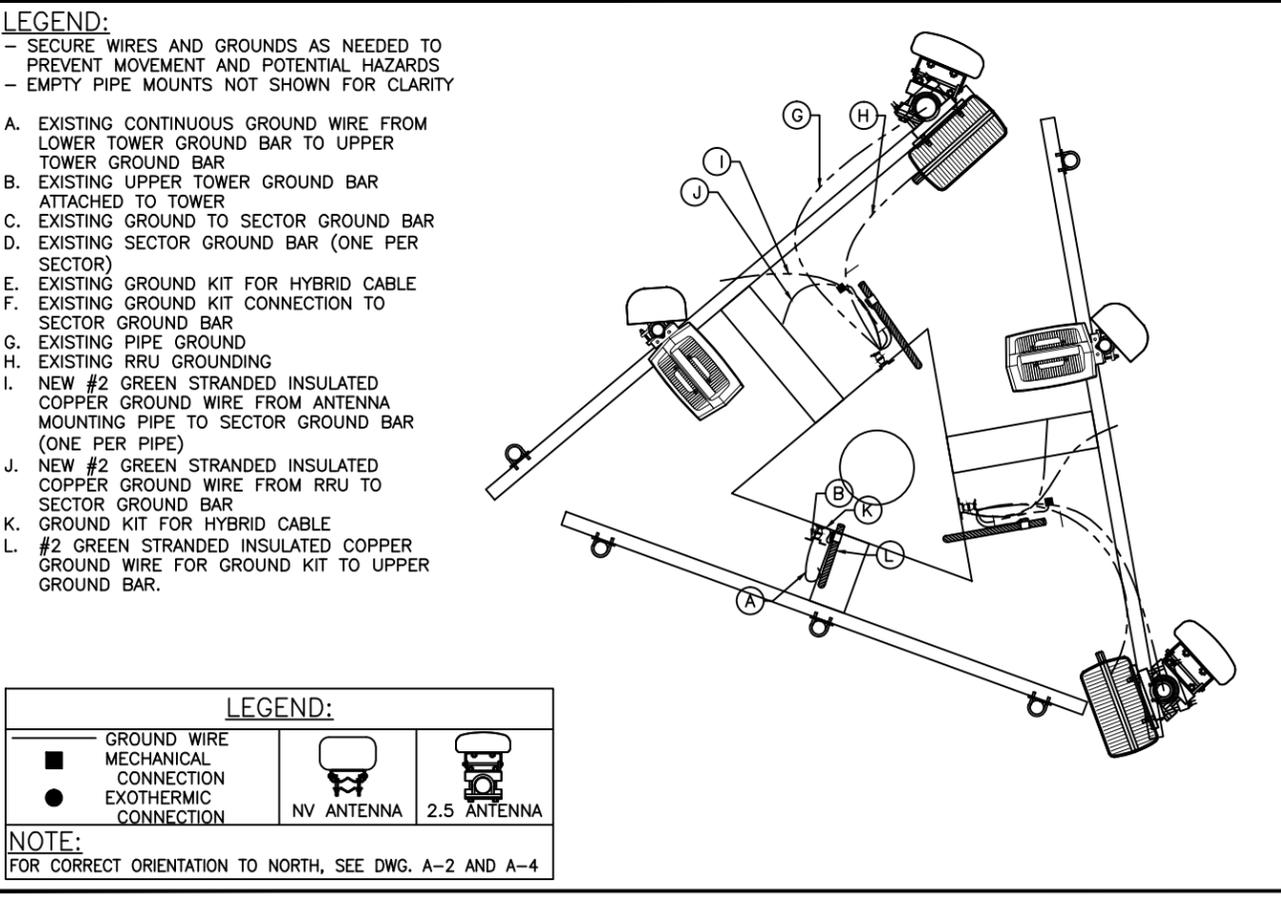
1. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.
2. COPPER SHIELD, ANTIOX, CR NO-OX OR EQUIVALENT SHALL BE PLACE WHERE ALL DISSIMILAR METALS CONNECT.
3. ALL LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



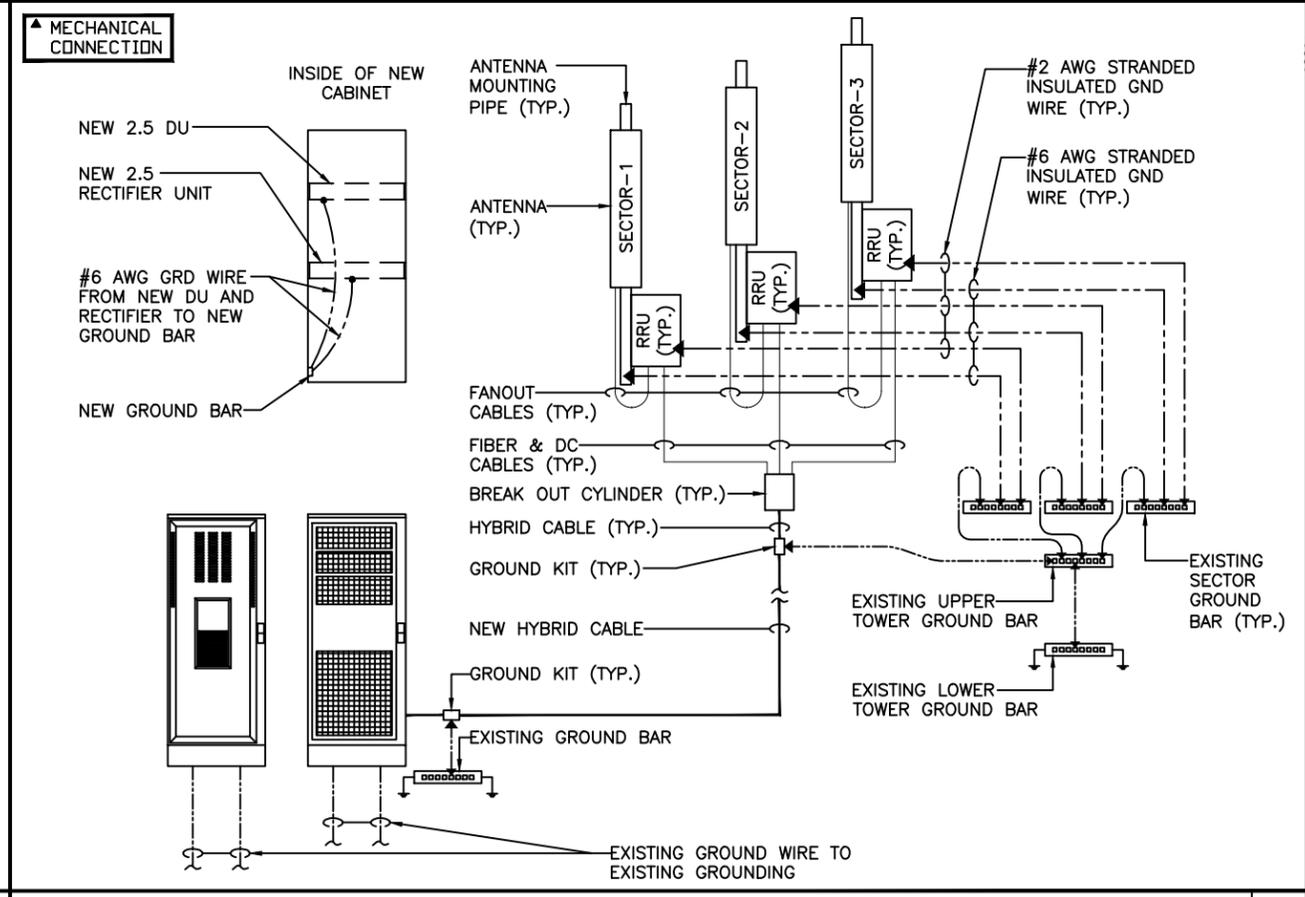
GROUNDING CONNECTION DETAIL SCALE: N.T.S. 1

MECHANICAL CONNECTION LUG SCALE: N.T.S. 2

FLAT SURFACE GROUNDING (TYP.) SCALE: N.T.S. 3



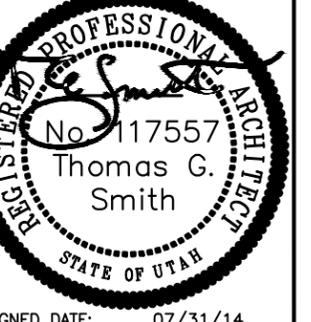
ANTENNA PLATFORM GROUNDING



GROUNDING RISER DIAGRAM SCALE: N.T.S. 5



CHECKED BY:	JRC		
APPROVED BY:	TGS		
#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
1	06/20/14	100% STAMPED	NSW
2	07/31/14	100% STAMPED	NSW



SHEPHERD'S HILL

SITE I.D.
SL54XC024
880636

SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
GROUNDING DETAILS

SHEET NUMBER
E-3

ALPINE CITY COUNCIL AGENDA

SUBJECT: Alpine Days Review

FOR CONSIDERATION ON: August 26, 2014

PETITIONER: Will Jones, Alpine City Council

ACTION REQUESTED BY PETITIONER: For Council discussion and direction

INFORMATION:

Alpine Days was a great success. It has been operated by Will Jones and Curry Jones for the last 3 years. Council Member Jones has indicated that this is the last year that he and Curry will be in charge of Alpine Days. A new Council Member leader needs to be selected and a plan to replace Curry needs to be approved.

This will also be a time to review what improvements for next year's Alpine Days should be instituted and if other directions should be looked at.

RECOMMENDED ACTION: For Council discussion and direction.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Food Trucks in Alpine City

FOR CONSIDERATION ON: August 22, 2014

PETITIONER: Rich Nelson, City Administrator

ACTION REQUESTED BY PETITIONER: For the Council to decide:

- 1. If they want food trucks in Alpine City and, if they do,**
- 2. Where and when should they be allowed**
- 3. Should ice cream trucks be allowed in the City and, if yes,**
- 4. Should they be able to operate citywide or only in the parks or in both**
- 5. If in the parks, which ones and for what hours**
- 6. How does all this affect the concession stand at Burgess Park**
- 7. If the City should allow outside tournaments and other activities (soccer, baseball, rugby, lacrosse, baseball, races in Lambert Park, music in the park, etc.) to be able to bring their own food operations into the City**
- 8. Who should be in charge of all of this**

INFORMATION: It has been the unwritten policy of the City to not allow food trucks of any kind in the City. The City has used the business license granting process to manage food trucks. During Alpine Days it was discovered that food trucks were popular as a night time eating option. The question then comes should they be allowed to operate in the City and, if yes, where and when. This then raises questions about ice cream trucks and city parks, the concession stand in Burgess Park, food trucks and outside tournaments and other activities and having people hire food trucks for parties at the parks. The City has allowed people who rent a pavilion from the City to bring in a food truck as long as the food truck didn't charge individuals for the food (the entity paid for the food as a total bill) and that they didn't sell their food to people not associated with the sponsoring event.

RECOMMENDED ACTION: *For Council decision on food truck issues.*

ALPINE CITY COUNCIL AGENDA

SUBJECT: David's Court Subdivision Final Plat F

FOR CONSIDERATION ON: 26 August 2014

PETITIONER: Patterson Construction

ACTION REQUESTED BY PETITIONER: Approve Final Plat F

APPLICABLE STATUTE OR ORDINANCE: Article 4.6 (Major Subdivisions)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

The proposed David's Court Subdivision consists of 15 lots on 16.42 acres. The lots range in size from 40,000 to 62,792 square feet. The development is located north of Healey Boulevard and east of Canyon Crest Road. The proposed development is in the CR-40,000 zone. This plan will require the vacation of David's Court Plats A, B & C to allow property lines to be adjusted to the current plan. The development is not located within any sensitive lands overlay zone. The developer is proposing to phase the project for construction. Plat F will consist of the easterly cul-de-sac and lots 1 thru 8. The remaining 7 lots will be phased in the future.

PLANNING COMMISSION MOTION:

Steve Cosper moved to recommend final approval of the proposed David's Court Subdivision Final Plat F with the following conditions:

1. The Planning Commission recommend a circular driveway design for Lot 3 to prevent backing out onto Canyon Crest.
2. The Developer meet the water policy.
3. The Developer acquire approvals for the Utility Notification Form.
4. The Developer address some redlines on the construction drawings and plat.
5. The Developer provides a construction cost estimate to access the bond.

Chuck Castleton seconded the motion. The motion passed with 5 Ayes and 0 Nays. Steve Cosper, Jason Thelin, Chuck Castleton, Steve Swanson and Judi Pickell all voted Aye.



Final Plat Application

20 North Main Alpine, UT 84004 • 801-756-6347 (Phone) • 801-756-1189 (Fax) • www.alpinecity.org

RECEIVED AUG 11 2014

Contact Information

Applicant PATTERSON CONSTRUCTION

Address 11038 N HIGHLAND BLVD #100 City HIGHLAND State UT Zip 84003

Phone 801 642-0419 Fax _____ Email obertpatterson05@gmail.com

Engineer BERG CIVIL ENGINEERING

Address 11038 N HIGHLAND BLVD #400 City HIGHLAND State UT Zip 84003

Phone 801 492-1277 Fax _____ Email ken@bergcivil.com

Representative BERG CIVIL ENGINEERING / KEN BERG

(Person who will be at City meetings to represent the proposed plan. If it is someone other than the applicant/engineer, please indicate his/her relationship to the project.)

Address 11038 N HIGHLAND BLVD #400 City HIGHLAND State UT Zip 84003

Phone 801 492 1277 Fax _____ Email ken@bergcivil.com

Send City Engineer's review comments to: Applicant Engineer Representative

Project Information

Name of Subdivision DAVID'S COURT PLAT "F"

Project Address WALAN COURT & HEALY BLVD Proposed Number of Lots 8

Project Size (in acres) 16.25 Current Zoning CR-40,000

Source of Water Rights

Alpine Irrigation Shares: # of Primary Shares _____ # of Secondary Shares _____

Other Water Rights: Source _____ # of Acreage Feet _____

Requesting Cash in lieu of Water Rights Option

Final Plat Fee \$820 ^{receipt} 5512 Amount Paid \$820 Date Paid 8-12-14
(Cost of Engineering Review + \$100.00 + \$90.00 per lot)

Applicant Signature [Signature] Date 8-11-14



Date: August 11, 2014

By: Jed Muhlestein, P.E. *JM*
Assistant City Engineer

**Subject: David's Court Subdivision – Final Review
15 lots on 16.42 acres**

Background

The proposed David's Court Subdivision consists of 15 lots on 16.42 acres. The lots range in size from 40,000 to 62,792 square feet. The development is located north of Healey Boulevard and east of Canyon Crest Road. The proposed development is in the CR-40,000 zone. This plan will require the vacation of David's Court Plats A, B, & C to allow property lines to be adjusted to the current plan. The development is not located within any sensitive lands overlay zone. The developer is proposing to phase the project for construction. Plat F will consist of the easterly cul-de-sac and lots 1 thru 8. The remaining 7 lots will be phased in the future.

Street System

The proposed development shows access from Healey Boulevard with two new cul-de-sacs. Both cul-de-sacs are less than 450' in length. All lots, except Lot 3, will have frontage on these new cul-de-sacs. Lot 3 has frontage and will access off Canyon Crest Road which is an arterial road. Lot 3 will be required to have a driveway design such that backing out onto Canyon Crest will not occur (Development Code 4.7.4.14) and will require the recommendation of DRC, Planning Commission, and approval of the City Council. A note is shown on the plat for this requirement. A note is also shown on the plat to move the driveway as far south along the frontage of Lot 3 as possible to give the proper sight distance for south bound traffic on Canyon Crest. The DRC recommends this approach for Lot 3. Previous redlines regarding street design have been addressed by the developer.

Sewer System

There is an existing 8-inch sewer line running in Healey Boulevard that can serve all but Lot 3 of the development. Some sewer laterals were installed northward off Healey Boulevard in

anticipation for the development and most will be used. There is one on Healey Blvd at the intersection of the proposed cul-de-sac Austin Circle that will be or will remain capped as it is in an un-usable location for the site plan. In order to provide sewer service to Lot 3 an extension of the sewer system in Canyon Crest would need to be built as the nearest sewer manhole to that lot is about 175' to the south. The sewer design is provided and approved. Redlines from Preliminary have been addressed.

Culinary Water System

The subdivision is well below the 5350 foot elevation, which is the highest elevation the existing water system can serve and still provide a minimum 40 psi required by ordinance. There is currently an 8-inch water line running in Healey Boulevard that can serve the development.

At Preliminary Review the topic of available fire flows was discussed. Based on the International Fire Code, which the City has adopted, fire flows dictate the size of home that can be built with or without having to install automatic fire sprinklers. After Preliminary Review the developer has upsized the proposed size of lines in the cul-de-sacs to provide enough fire flow to support a 7,700 square foot home in the easterly cul-de-sac and a 6,200 square foot home in the westerly without having to add automatic fire sprinklers. Whether or not automatic fire sprinklers are required is checked at the building permit stage.

Redlines from Preliminary have been addressed and the water design is acceptable. The Fire Marshall has approved the location of the proposed fire hydrants. 3/4-inch service lines with 3/4-inch water meters are shown to be constructed for each new lot where existing services cannot be utilized, including Lot 3 on Canyon Crest.

Pressurized Irrigation System

There is currently a 12-inch pressurized irrigation line running in Healey Boulevard that could serve the development. Additionally, there are five pressurized irrigation boxes on the north side of the Healey Boulevard, four are shown to be used, one will be removed. There is currently no service for Lot 3, one will have to be installed and connected to the 12-inch main line that is running in Canyon Crest. The construction drawings align with previous calculations on the pressurized water system model which show 6-inch lines serving the cul-de-sacs. 1 inch laterals will be required for each lot where they are not currently installed.

Storm Water Drainage System

A storm drain design was provided. It shows catchment at the lower end of each cul-de-sac with a 60-inch pipe used as underground storage which releases at a controlled rate into the existing system in Healey Blvd. Storm drain easements are provided for the city to perform routine maintenance when needed. There are some minor redlines on the storm drain design that need to be addressed.

A storm water pollution prevention plan would be required for the site addressing best management practices that will be implemented to control erosion on the site during construction. A UPDES and Land Disturbance Permit will be required prior to construction.

General Subdivision Remarks

A bond will be required for the necessary improvements. The developer is responsible to provide a cost estimate for the improvements. We will consider this when we prepare our bond estimate.

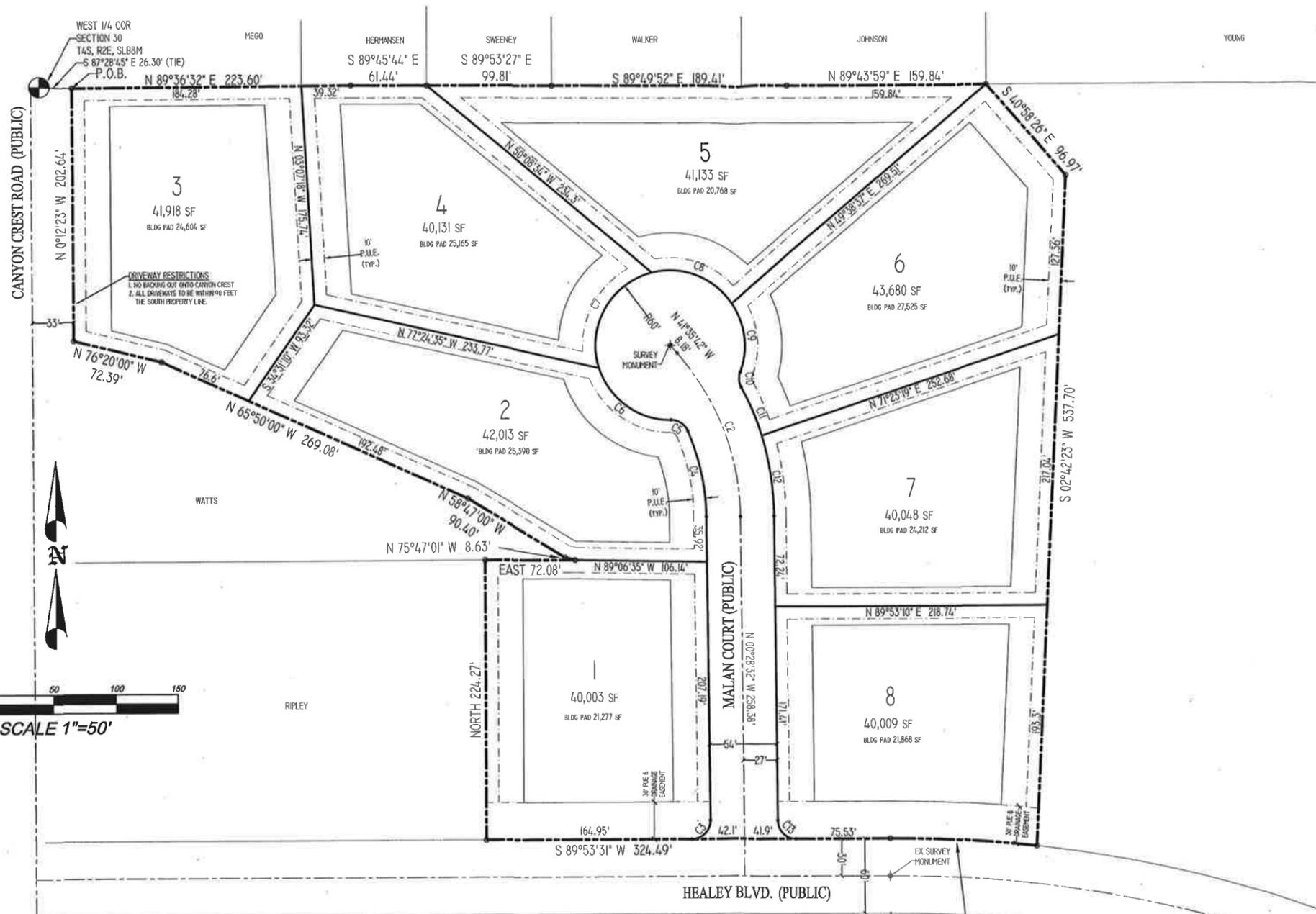
The water policy will need to be met for this development. The applicant shows they plan to use credits, which are acceptable.

We recommend that Final Approval of the proposed development be approve with the following conditions:

- **The Planning Commission recommend the driveway design for Lot 3**
- **The Developer meet the water policy**
- **The Developer acquire approvals for the Utility Notification Form**
- **The Developer address some redlines on the construction drawings and plat**
- **The Developer provides a construction cost estimate**

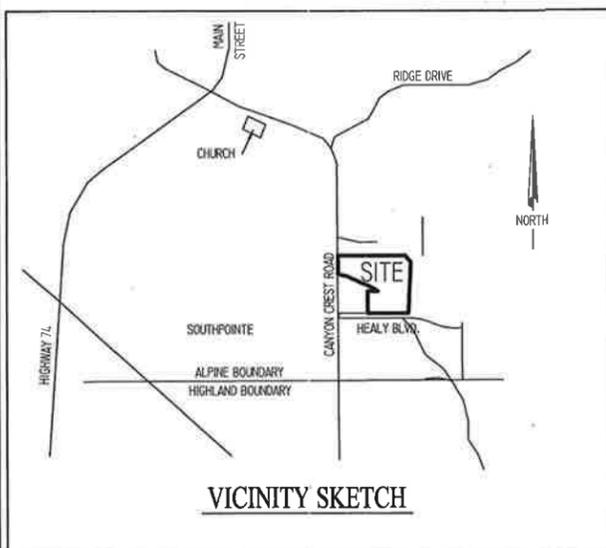
**DAVID'S COURT
PLAT "F"**

AND A VACATION OF DAVID'S COURT PLATS "A", "B" & "C"
LOCATED IN THE SW 1/4 OF SECTION 30, T4S, R2E, S.L.B.8M
ALPINE CITY, UTAH COUNTY, STATE OF UTAH



PLAT NOTES

- CURRENT ZONING: CR-40,000
- DESIGN CRITERIA FOR ELEVATION OF 5,000 FEET
- DESIGN CRITERIA FOR SNOW LOAD OF 45 LB/SF
- THE INTERNATIONAL FIRE CODE MAY REQUIRE FIRE SPRINKLERS BASED UPON THE SIZE OF HOME AND FIRE FLOW CAPACITY. A FIRE FLOW TEST MAY BE REQUIRED AT THE TIME OF BUILDING PERMIT.
- IF FIRE SPRINKLERS ARE PROPOSED THE FIRE FLOW REQUIREMENT IS REDUCED BY 50%.



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	1030.00	117.88	06°33'25"	117.81	N 86°49'46" W
C2	200.00	143.53	41°07'09"	140.47	N 21°02'07" W
C3	15.00	23.66	90°22'03"	21.28	N 44°42'29" E
C4	173.00	70.59	23°22'38"	70.10	N 12°09'51" W
C5	15.00	17.39	66°25'38"	16.43	N 57°03'59" W
C6	60.00	76.24	72°48'12"	71.21	N 53°52'42" W
C7	60.00	98.09	93°39'58"	87.52	N 29°21'23" E
C8	60.00	72.68	69°24'11"	68.32	S 69°06'33" E
C9	60.00	57.68	55°05'02"	55.49	S 06°51'57" E
C10	15.00	12.66	48°21'17"	12.29	S 03°30'04" E
C11	227.00	42.44	10°42'41"	42.38	S 22°19'22" E
C12	227.00	65.34	16°29'29"	65.11	S 08°43'17" E
C13	15.00	23.66	89°37'57"	21.15	S 45°17'31" E

ADDRESS TABLE	
LOT #	ADDRESS
1	SOUTH MALAN COURT
2	SOUTH MALAN COURT
3	SOUTH CANYON CREST ROAD
4	SOUTH MALAN COURT
5	SOUTH MALAN COURT
6	SOUTH MALAN COURT
7	SOUTH MALAN COURT
8	SOUTH MALAN COURT

APPROVAL AS TO FORM
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____
CITY ATTORNEY

SURVEYOR'S CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. _____ AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, OPEN SPACES, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE _____ SURVEYOR _____ (SEE SEAL, 86,099)

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS S 87°28'45" E FEET FROM THE WEST QUARTER CORNER OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SLB8M;
RUNNING THENCE N 89°36'32" E 223.60 FEET; THENCE S 89°45'44" E 61.44 FEET; THENCE S 89°53'27" E 99.81 FEET; THENCE S 89°49'52" E 189.41 FEET; THENCE N 89°43'59" E 159.84 FEET; THENCE S 40°58'26" E 96.97 FEET; THENCE S 02°42'23" W 537.70 FEET; THENCE ALONG THE ARC OF A NON-TANGENT 1030.00 FOOT RADIUS CURVE TO THE LEFT 117.88 FEET (CURVE HAS A CENTRAL ANGLE OF 06°33'25" AND A CHORD THAT BEARS N 86°49'46" W 117.81 FEET); THENCE S 89°53'31" W 324.49 FEET; THENCE NORTH 224.27 FEET; THENCE EAST 72.08 FEET; THENCE N 75°47'01" W 8.63 FEET; THENCE N 58°47'00" W 90.40 FEET; THENCE N 65°50'00" W 269.08 FEET; THENCE N 76°20'00" W 72.39 FEET; THENCE N 01°12'23" W 202.64 FEET TO THE POINT OF BEGINNING.
CONTAINING 16.25 ACRES OF LAND.
BASIS OF BEARINGS = STATE PLANE

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENTS THAT WE, ALL THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, OPEN SPACE, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH
ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES _____
NOTARY PUBLIC

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, OPEN SPACES, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED _____ CITY ENGINEER (SEE SEAL, 96,100) ATTEST _____ CLERK - RECORDER (SEE SEAL, 96,100)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE ALPINE CITY PLANNING COMMISSION.
DIRECTOR - SECRETARY _____ CHAIRMAN, PLANNING COMMISSION _____

RECEIVED AUG 12 2014
**DAVID'S COURT
PLAT "F"**
AND A VACATION OF DAVID'S COURT PLATS "A", "B" & "C"
LOCATED IN THE SW 1/4 OF SECTION 30, T4S, R2E, S.L.B.8M
ALPINE CITY, UTAH COUNTY, STATE OF UTAH

SCALE: 1"= 50_ FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK - RECORDER SEAL

ALPINE CITY COUNCIL AGENDA

SUBJECT: Heritage Hills Final Plat C Revisions

FOR CONSIDERATION ON: 26 August 2014

PETITIONER: Heritage Hills Inc.

ACTION REQUESTED BY PETITIONER: Approve Final Plat C Revisions

APPLICABLE STATUTE OR ORDINANCE: Article 4.6 (Major Subdivisions)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

Heritage Hills Final Plat C has already received final approval previously, however it has not been recorded yet and the developer is requesting that some minor modifications be made to the plat. He is adjusting some lot lines that will not alter or change what was part of the final approval. More information regarding the adjustments can be seen on the following pages.

PLANNING COMMISSION MOTION:

Judi Pickell moved to recommend approval of Heritage Hills Final Plat C with the revised lot lines with the following conditions:

1. The Developer meet the water policy.
2. The Developer provide a construction cost estimate.
3. Include the trail that was omitted

Steve Swanson seconded the motion. The motion was unanimous with 5 Ayes and 0 Nays. Steve Cosper, Jason Thelin, Chuck Castleton, Steve Swanson and Judi Pickell all voted Aye.

Memo



To: Alpine City Planning Commission
From: Jed Muhlestein, P.E. *JM*
Assistant City Engineer
Date: August 12, 2014
Subject: Heritage Hills Plat C – Revised Plat

As you are aware Heritage Hills Plat C has received Final Approval from the City Council. We recently received a revised plat from the developer. The only modifications made to the subdivision plan were some minor lot line adjustments which do not alter or change what was part of the final approvals. The construction drawings also remain unchanged. The adjustments can be noted as attached on the following page.

Open Space calculations went from 64.5% to 63.5%, still well within the required amount.

The Water Policy Requirements were met several years ago for this phase of Heritage Hills; the proposed changes will require a slight modification of the policy and the balance will need to be met.

A bond will be required for the necessary improvements. The developer is responsible to provide a cost estimate for the improvements. We will consider this when we prepare our bond estimate.

It is our recommendation that the revised lot lines be recommended and approved with the following conditions:

- **The Developer meet the water policy**
- **The Developer provide a construction cost estimate**

Alpine City Engineering
20 North Main • Alpine, Utah 84004
Phone/Fax: (801) 763-9862
E-mail: jed@alpinecity.org



August 14, 2014

Jason Bond, City Planner
Alpine City
20 North Main
Alpine, Utah 84004

**Subject: Heritage Hills Plat C - Water Requirement
16 lots on 40.41 acres**

Dear Jason:

We have calculated the water requirement for the Heritage Hills Plat C subdivision. The subdivision consists of 16 lots on 40.41 acres.

The developer will be required to provide 26.44 acre-feet of water to meet the water policy for the development.

Please contact me if you have any questions.

Sincerely,
ALPINE CITY

A handwritten signature in black ink, appearing to read "Jed Muhlestein", is written over a horizontal line.

Jed Muhlestein, P.E.
Assistant City Engineer

cc: File
Developer

Alpine City Engineering
20 North Main
Alpine, Utah 84004



Water Requirements
Heritage Hills Plat C
August 14, 2014

Lot	Area (sf)	Indoor Requirement (0.45 ac-ft per home)	Outdoor Requirement (1.66 ac-ft/acre)	Total (ac-ft)
301	23,302	0.45	0.89	1.34
302	48,632	0.45	1.85	2.30
303	20,877	0.45	0.80	1.25
304	27,880	0.45	1.06	1.51
305	33,801	0.45	1.29	1.74
306	43,561	0.45	1.66	2.11
307	34,865	0.45	1.33	1.78
308	30,554	0.45	1.16	1.61
309	23,749	0.45	0.91	1.36
310	25,247	0.45	0.96	1.41
311	31,841	0.45	1.21	1.66
312	39,313	0.45	1.50	1.95
313	37,787	0.45	1.44	1.89
314	32,967	0.45	1.26	1.71
315	27,243	0.45	1.04	1.49
316	23,139	0.45	0.88	1.33

Total 26.44

Jed Muhlestein, P.E.
Asistant City Engineer

POINT	NORTHING	EASTING
FP 1	776,500.79	1,924,080.72
FP 2	778,821.63	1,924,026.46
FP 3	777,834.66	1,924,030.67
FP 4	778,040.62	1,924,224.83
FP 5	778,252.84	1,924,142.07
FP 6	778,290.74	1,924,231.84
FP 7	778,367.75	1,924,314.92
FP 8	778,424.84	1,924,279.79
FP 9	778,369.94	1,924,190.57
FP 10	778,709.42	1,924,318.52
FP 11	778,911.60	1,924,183.64
FP 12	778,998.25	1,924,951.83
FP 13	778,974.93	1,923,363.59
FP 14	779,148.81	1,923,363.59
FP 15	779,125.60	1,922,778.01
FP 16	777,866.05	1,922,771.06
FP 17	777,809.50	1,922,768.40
FP 18	777,821.72	1,923,983.53

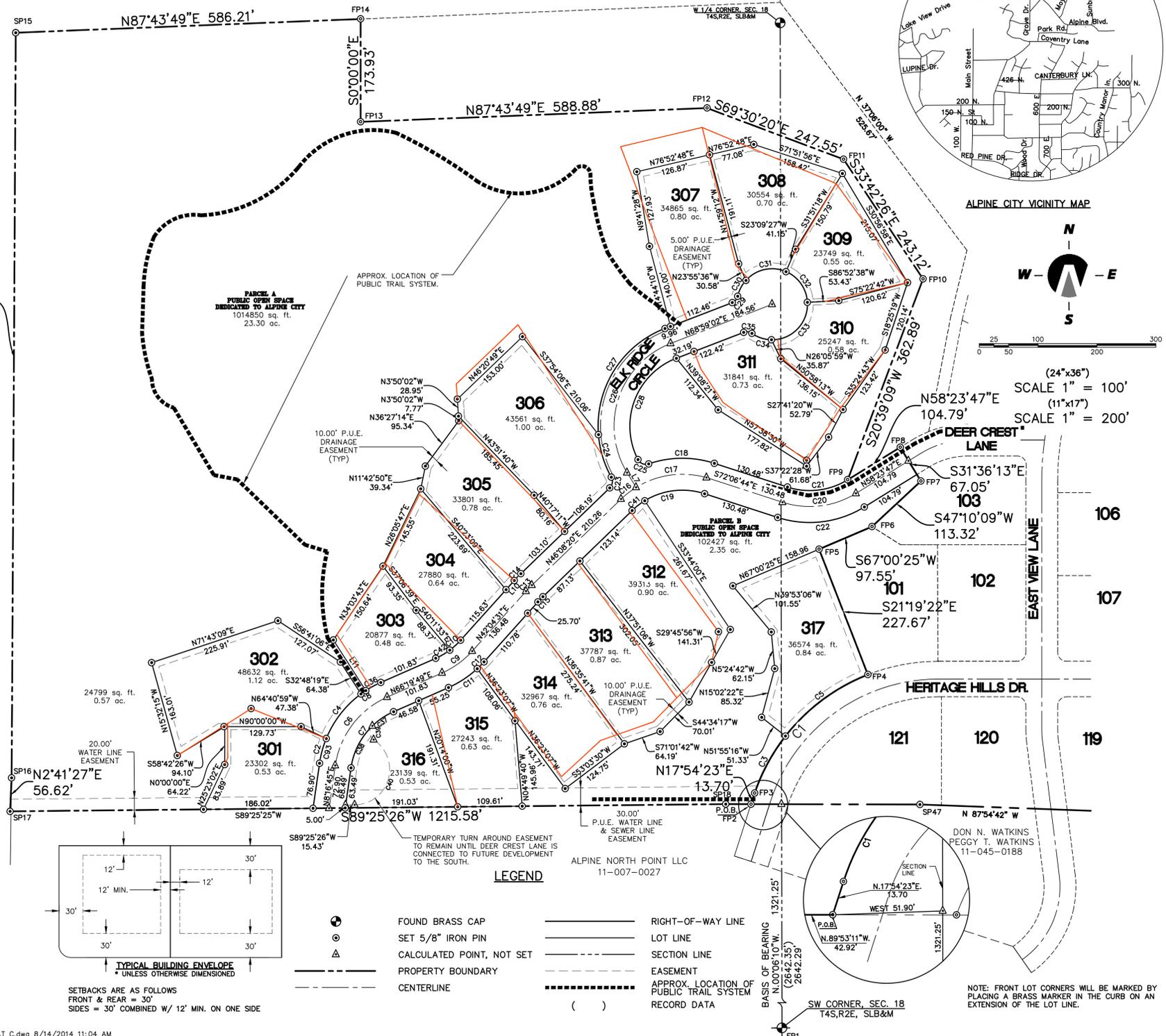
LINE	LENGTH	DIRECTION
L1	30.00'	N43°00'09"W
L2	30.00'	N23°09'27"E
L3	30.00'	N86°52'38"E
L4	30.00'	N9°04'15"W
L5	54.07'	S43°49'14"W
L6	52.79'	S27°41'20"W
L7	29.19'	N31°34'12"W

LOT NO.	ADDRESS
301	66 E. DEER CREST LANE
302	74 E. DEER CREST LANE
303	102 E. DEER CREST LANE
304	128 E. DEER CREST LANE
305	146 E. DEER CREST LANE
306	168 E. DEER CREST LANE
307	216 E. ELK RIDGE CIRCLE
308	238 E. ELK RIDGE CIRCLE
309	266 E. ELK RIDGE CIRCLE
310	293 E. ELK RIDGE CIRCLE
311	223 E. ELK RIDGE CIRCLE
312	173 E. DEER CREST LANE
313	153 E. DEER CREST LANE
314	137 E. DEER CREST LANE
315	117 E. DEER CREST LANE
316	91 E. DEER CREST LANE
317	1169 N. HERITAGE HILLS DR.
318	225 E. DEER CREST LANE
319	182 E. ELK RIDGE CIRCLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	292.63'	330.00'	283.13'	N43°18'35"E	50°48'24"
C2	43.41'	177.00'	43.31'	S15°18'21"W	14°03'12"
C3	116.32'	330.00'	115.72'	N28°00'16"E	20°11'47"
C4	96.91'	177.00'	95.70'	S38°01'03"W	31°22'11"
C5	176.30'	330.00'	174.21'	S53°24'29"W	30°36'37"
C6	151.98'	150.00'	145.56'	N37°18'17"E	58°03'04"
C7	124.62'	123.00'	119.36'	N37°18'17"E	58°03'04"
C8	10.01'	177.00'	10.01'	N55°19'19"E	31°4'21"
C9	63.50'	150.00'	63.03'	N54°12'10"E	24°15'18"
C10	24.51'	123.00'	24.47'	S47°46'59"W	11°24'57"
C11	58.52'	177.00'	58.26'	N56°51'28"E	18°56'41"
C12	16.40'	177.00'	16.40'	N44°43'49"E	51°8'37"
C13	14.19'	200.00'	14.18'	N44°06'25"E	4°03'49"
C14	16.10'	227.00'	16.10'	S44°06'25"E	4°03'49"
C15	12.27'	173.00'	12.27'	N44°06'25"E	4°03'49"
C16	32.18'	150.00'	32.12'	N52°17'04"E	12°17'28"
C17	129.48'	150.00'	125.50'	N83°09'32"E	49°27'27"
C18	113.46'	177.00'	111.53'	N89°31'23"E	36°43'45"
C19	111.07'	123.00'	107.34'	S82°01'05"W	51°44'22"
C20	129.57'	150.00'	125.58'	N83°08'31"E	49°29'29"
C21	106.25'	123.00'	102.97'	N83°08'31"E	49°29'29"
C22	152.89'	177.00'	148.18'	S83°08'31"W	49°29'29"
C23	19.70'	15.00'	18.32'	S83°03'32"W	75°15'36"
C24	75.72'	177.00'	75.14'	S16°51'57"E	24°30'39"
C25	21.35'	15.00'	19.60'	S68°03'24"E	81°34'09"
C26	263.25'	150.00'	230.74'	N18°42'25"E	100°33'14"
C27	227.35'	177.00'	212.04'	N32°11'12"E	73°35'39"
C28	206.64'	123.00'	183.18'	S20°51'21"W	96°15'22"
C29	14.65'	15.00'	14.07'	S41°00'42"W	55°56'39"
C30	30.56'	60.00'	30.23'	S27°37'50"W	29°10'55"
C31	74.28'	60.00'	69.63'	S77°41'22"W	70°56'10"
C32	66.73'	60.00'	63.34'	N34°58'57"W	63°43'10"
C33	89.58'	60.00'	87.86'	N43°56'41"E	94°08'07"
C34	35.52'	60.00'	35.00'	S72°01'47"E	33°54'56"
C35	14.65'	15.00'	14.07'	S83°02'38"E	55°56'39"
C36	29.00'	177.00'	28.97'	S61°38'09"W	9°23'19"
C37	43.45'	123.00'	43.23'	N56°12'36"E	20°14'25"
C38	81.17'	123.00'	79.71'	N27°11'05"E	37°48'39"
C39	26.92'	15.00'	23.45'	S51°9'27"E	102°49'41"
C40	153.06'	60.00'	114.81'	S16°20'34"W	146°09'43"
C41	27.05'	123.00'	27.00'	S52°26'23"W	12°36'06"
C42	27.56'	123.00'	27.50'	S59°54'38"W	12°50'21"

HERITAGE HILLS ALPINE PLAT "C"

NOV. 2013
DEVELOPER: HERITAGE HILLS INC.
CURRENT ZONE: CR-40,000



SURVEYOR'S CERTIFICATE
I, KIM WAYNE LUNDEBERG, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 354377. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS; HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION
A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 1 EAST AND THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS:
COMMENCING AT A BRASS MONUMENT MARKING THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE N.00°06'10"W. ALONG THE SECTION LINE A DISTANCE OF 1321.25 FEET AND WEST A DISTANCE OF 51.90 FEET TO THE POINT OF BEGINNING.
THENCE N.89°53'11"W. A DISTANCE OF 42.92 FEET; THENCE S.89°25'26"W. A DISTANCE OF 1215.58 FEET; THENCE N.02°41'27"E. A DISTANCE OF 56.62 FEET; THENCE N.00°18'59"E. A DISTANCE OF 1259.95 FEET; THENCE N.87°43'49"E. A DISTANCE OF 586.21 FEET; THENCE SOUTH A DISTANCE OF 173.93 FEET; THENCE N.87°43'49"E. A DISTANCE OF 588.98 FEET; THENCE S.69°30'20"E. A DISTANCE OF 247.55 FEET; THENCE S.33°42'26"E. A DISTANCE OF 243.12 FEET; THENCE S.20°39'09"W. A DISTANCE OF 362.89 FEET; THENCE N.58°23'47"E. A DISTANCE OF 104.79 FEET; THENCE S.31°36'13"E. A DISTANCE OF 67.05 FEET; THENCE S.47°10'09"W. A DISTANCE OF 113.32 FEET; THENCE S.67°00'25"W. A DISTANCE OF 97.55 FEET; THENCE S.21°19'22"E. A DISTANCE OF 227.67 FEET; TO A POINT OF CURVATURE OF A 330.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY A DISTANCE OF 292.83 FEET ALONG THE ARC OF SAID CURVE HAVING A CENTRAL ANGLE OF 80°48'24" AND A CHORD THAT BEARS S.43°18'35"W. A DISTANCE OF 283.13 FEET; THENCE S.17°54'23"W. A DISTANCE OF 13.70 FEET TO THE POINT OF BEGINNING. CONTAINING 40.41 ACRES OF LAND MORE OR LESS, CONTAINING 17 LOTS.

OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 20____.

ACKNOWLEDGMENT
STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____
PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED _____ ATTEST _____
CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

ACKNOWLEDGMENT
STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____
PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)

PLAT "C"
HERITAGE HILLS ALPINE
LOCATED IN THE SE 1/4 OF SECTION 13, T4S, R1E, SLB&M & THE SW 1/4 OF SECTION 18, T4S, R2E, SLB&M
ALPINE CITY, UTAH COUNTY, UTAH
SCALE: 1" = 100 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL
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Northern ENGINEERING INC
ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT
1040 E. 800 N. OREM, UTAH 84097 (801) 802-8992

APPROVAL AS TO FORM:
APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 20____.
CITY ATTORNEY _____

BOARD OF HEALTH
APPROVED SUBJECT TO THE FOLLOWING CONDITIONS _____
CITY-COUNTY HEALTH DEPARTMENT _____

ROCKY MOUNTAIN POWER
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY PACIFICORP
PACIFICORP _____

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY OF ALPINE PLANNING COMMISSION.
DIRECTOR-SECRETARY _____ CHAIRMAN, PLANNING COMMISSION _____

R:\3-03-087-00 ALPINE BROWN NEW PHASE 3 FOLDER\CAD\Final\COMPACT FINAL PLAT C.dwg 8/14/2014 11:04 AM

POINT	NORTHING	EASTING
FP 1	776,500.79	1,924,080.72
FP 2	778,821.63	1,924,026.46
FP 3	777,834.66	1,924,030.67
FP 4	778,940.62	1,924,224.83
FP 5	778,252.84	1,924,142.07
FP 6	778,290.74	1,924,231.84
FP 7	778,367.75	1,924,314.92
FP 8	778,424.84	1,924,279.79
FP 9	778,369.94	1,924,190.57
FP 10	778,709.42	1,924,318.52
FP 11	778,911.60	1,924,183.64
FP 12	778,998.25	1,924,951.83
FP 13	778,974.93	1,923,363.59
FP 14	779,148.81	1,923,363.59
FP 15	779,125.60	1,922,778.01
FP 16	777,866.05	1,922,771.06
FP 17	777,809.50	1,922,768.40
FP 18	777,821.72	1,923,983.53

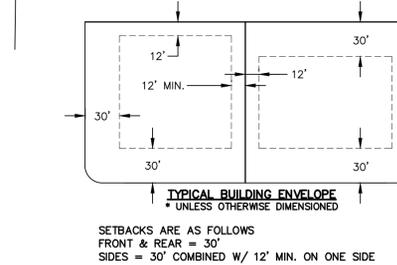
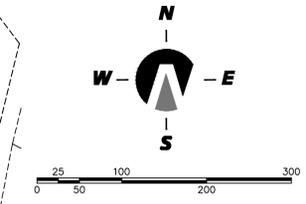
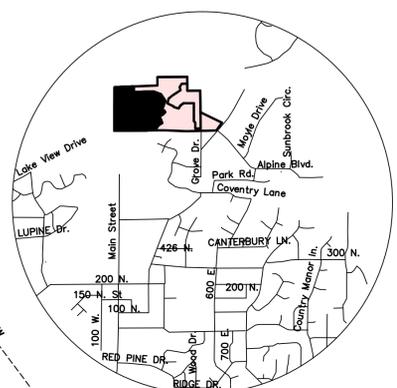
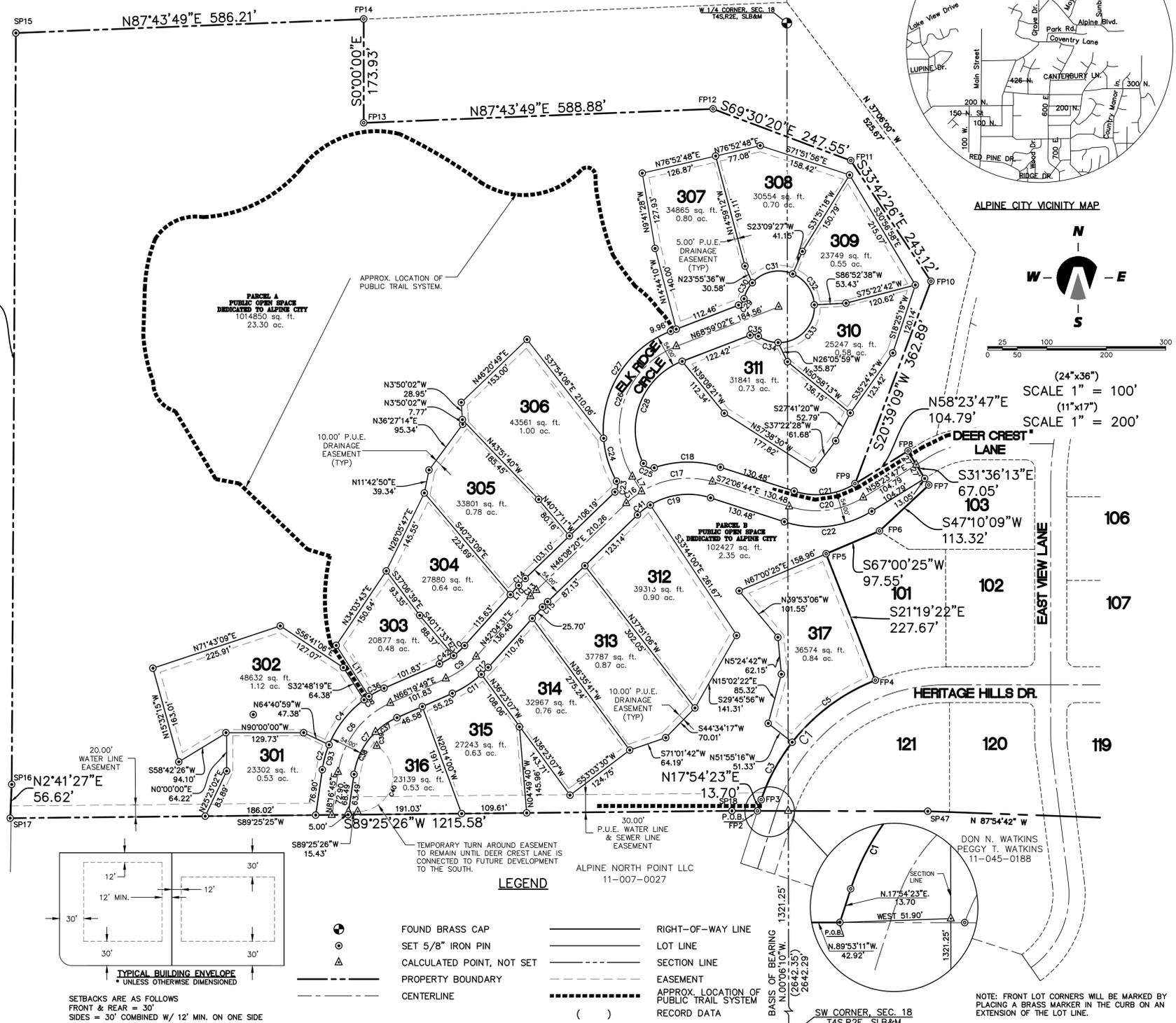
LINE	LENGTH	DIRECTION
L1	30.00'	N43°00'09"W
L2	30.00'	N23°09'27"E
L3	30.00'	N86°52'38"E
L4	30.00'	N9°04'15"W
L5	54.07'	S43°49'14"W
L6	52.79'	S27°41'20"W
L7	29.19'	N31°34'12"W

LOT NO.	ADDRESS
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302	74 E. DEER CREST LANE
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304	128 E. DEER CREST LANE
305	146 E. DEER CREST LANE
306	168 E. DEER CREST LANE
307	216 E. ELK RIDGE CIRCLE
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313	153 E. DEER CREST LANE
314	137 E. DEER CREST LANE
315	117 E. DEER CREST LANE
316	91 E. DEER CREST LANE
317	1169 N. HERITAGE HILLS DR.

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	292.63'	330.00'	283.13'	N43°18'35"E	50°48'24"
C2	43.41'	177.00'	43.31'	S15°18'21"W	14°03'12"
C3	116.32'	330.00'	115.72'	N28°00'16"E	20°11'47"
C4	96.91'	177.00'	95.70'	S38°01'03"W	31°22'11"
C5	176.30'	330.00'	174.21'	S53°24'29"W	30°36'37"
C6	151.98'	150.00'	145.56'	N37°18'17"E	58°03'04"
C7	124.62'	123.00'	119.36'	N37°18'17"E	58°03'04"
C8	10.01'	177.00'	10.01'	N55°19'19"E	31°4'21"
C9	63.50'	150.00'	63.03'	N54°12'10"E	24°15'18"
C10	24.51'	123.00'	24.47'	S47°46'59"W	11°24'57"
C11	58.52'	177.00'	58.26'	N56°51'28"E	18°56'41"
C12	16.40'	177.00'	16.40'	N44°43'49"E	51°8'37"
C13	14.19'	200.00'	14.18'	N44°06'25"E	4°03'49"
C14	16.10'	227.00'	16.10'	S44°06'25"W	4°03'49"
C15	12.27'	173.00'	12.27'	N44°06'25"E	4°03'49"
C16	32.18'	150.00'	32.12'	N52°17'04"E	12°17'28"
C17	129.48'	150.00'	125.50'	N83°09'32"E	49°27'27"
C18	113.46'	177.00'	111.53'	N89°31'23"E	36°43'45"
C19	105.51'	123.00'	102.31'	S83°19'48"W	49°04'16"
C20	129.57'	150.00'	125.58'	N83°08'31"E	49°29'29"
C21	106.25'	327.00'	102.97'	N83°08'31"E	49°29'29"
C22	152.89'	177.00'	148.18'	S83°08'31"W	49°29'29"
C23	19.70'	15.00'	18.32'	S83°03'32"W	75°15'36"
C24	75.72'	177.00'	75.14'	S16°51'57"E	24°30'39"
C25	21.35'	15.00'	19.60'	S68°03'24"E	81°34'09"
C26	263.25'	150.00'	230.74'	N18°42'25"E	100°33'14"
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C28	206.64'	123.00'	183.18'	S20°51'21"W	96°15'22"
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C30	30.56'	60.00'	30.23'	S27°37'50"W	29°10'55"
C31	74.28'	60.00'	69.63'	S77°41'22"W	70°56'10"
C32	66.73'	60.00'	63.34'	N34°58'57"W	63°43'10"
C33	89.58'	60.00'	87.86'	N43°56'41"E	94°08'07"
C34	35.52'	60.00'	35.00'	S72°01'47"E	33°54'56"
C35	14.65'	15.00'	14.07'	S83°02'38"E	55°56'39"
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C37	43.45'	123.00'	43.23'	N56°12'36"E	20°14'25"
C38	81.17'	123.00'	79.71'	N27°11'05"E	37°48'39"
C39	26.92'	15.00'	23.45'	S51°9'27"E	102°49'41"
C40	153.06'	60.00'	114.81'	S16°20'34"W	146°09'43"
C41	27.05'	123.00'	27.00'	S52°26'23"W	12°36'06"
C42	27.56'	123.00'	27.50'	S59°54'38"W	12°50'21"

HERITAGE HILLS ALPINE PLAT "C"

AUGUST 2014
 DEVELOPER: HERITAGE HILLS INC.
 CURRENT ZONE: CR-40,000



Symbol	Description
⊙	FOUND BRASS CAP
⊙	SET 5/8" IRON PIN
⊙	CALCULATED POINT, NOT SET
⊙	PROPERTY BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	SECTION LINE
---	EASEMENT
---	APPROX. LOCATION OF PUBLIC TRAIL SYSTEM RECORD DATA

LEGEND

SETBACKS ARE AS FOLLOWS
 FRONT & REAR = 30'
 SIDES = 30' COMBINED W/ 12' MIN. ON ONE SIDE

TEMPORARY TURN AROUND EASEMENT TO REMAIN UNTIL DEER CREST LANE IS CONNECTED TO FUTURE DEVELOPMENT TO THE SOUTH.

ALPINE NORTH POINT LLC
 11-007-0027

DON N. WATKINS
 PEGGY T. WATKINS
 11-045-0188

NOTE: FRONT LOT CORNERS WILL BE MARKED BY PLACING A BRASS MARKER IN THE CURB ON AN EXTENSION OF THE LOT LINE.

SURVEYOR'S CERTIFICATE

I, KIM WAYNE LUNDEBERG, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 354377. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS; HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE _____ KIM WAYNE LUNDEBERG, P.L.S.

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 1 EAST AND THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT A BRASS MONUMENT MARKING THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE N.0°06'10"W. ALONG THE SECTION LINE A DISTANCE OF 1321.25 FEET AND WEST A DISTANCE OF 51.90 FEET TO THE POINT OF BEGINNING.

THENCE N.89°53'11"W. A DISTANCE OF 42.92 FEET; THENCE S.89°25'26"W. A DISTANCE OF 1215.58 FEET; THENCE N.02°41'27"E. A DISTANCE OF 56.62 FEET; THENCE N.00°18'59"E. A DISTANCE OF 1259.95 FEET; THENCE N.87°43'49"E. A DISTANCE OF 586.21 FEET; THENCE SOUTH A DISTANCE OF 173.93 FEET; THENCE N.87°43'49"E. A DISTANCE OF 588.98 FEET; THENCE S.69°30'20"E. A DISTANCE OF 247.55 FEET; THENCE S.33°42'26"E. A DISTANCE OF 243.12 FEET; THENCE S.20°39'09"W. A DISTANCE OF 362.89 FEET; THENCE N.58°23'47"E. A DISTANCE OF 104.79 FEET; THENCE S.31°36'13"E. A DISTANCE OF 67.05 FEET; THENCE S.47°10'09"W. A DISTANCE OF 113.32 FEET; THENCE S.67°00'25"W. A DISTANCE OF 97.55 FEET; THENCE S.21°19'22"E. A DISTANCE OF 227.67 FEET; TO A POINT OF CURVATURE OF A 330.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY A DISTANCE OF 292.83 FEET ALONG THE ARC OF SAID CURVE HAVING A CENTRAL ANGLE OF 80°48'24" AND A CHORD THAT BEARS S.43°18'35"W. A DISTANCE OF 283.13 FEET; THENCE S.17°54'23"W. A DISTANCE OF 13.70 FEET TO THE POINT OF BEGINNING. CONTAINING 40.41 ACRES OF LAND MORE OR LESS, CONTAINING 17 LOTS.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREOF AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREOF FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 20____.

ACKNOWLEDGMENT

STATE OF UTAH }
 COUNTY OF UTAH } S.S.

ON THE _____ DAY OF _____, A.D. 20____
 PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED _____ ATTEST _____
 CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

ACKNOWLEDGMENT

STATE OF UTAH }
 COUNTY OF UTAH } S.S.

ON THE _____ DAY OF _____, A.D. 20____
 PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)

PLAT "C"
HERITAGE HILLS ALPINE

LOCATED IN THE SE 1/4 OF SECTION 13, T4S, R1E, SLB&M & THE SW 1/4 OF SECTION 18, T4S, R2E, SLB&M

ALPINE CITY UTAH COUNTY, UTAH

SCALE: 1" = 100 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL

Northern ENGINEERING INC
 ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT

1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

APPROVAL AS TO FORM:

APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 20____.

CITY ATTORNEY _____

BOARD OF HEALTH

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS _____

CITY-COUNTY HEALTH DEPARTMENT _____

ROCKY MOUNTAIN POWER

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY PACIFICORP

PACIFICORP _____

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY OF ALPINE PLANNING COMMISSION.

DIRECTOR-SECRETARY _____ CHAIRMAN, PLANNING COMMISSION _____

R:\3-03-087-00 ALPINE BROWN\NEW PHASE 3 FOLDER\CAD\Final\PLAT C new 7-2014.dwg 8/14/2014 10:52 AM