



**Wednesday, August 21, 2024
Development Review Committee**

DEVELOPMENT REVIEW COMMITTEE AGENDA

PUBLIC NOTICE is hereby given that the Development Review Committee of Spanish Fork, Utah, will hold a regular meeting at the City Council Chambers at Library Hall, 80 South Main Street, Second Floor, Spanish Fork, Utah, commencing at 10:00 a.m. This meeting is not available to attend virtually.

1. Approval of Minutes

A. August 7, 2024.

2. Site Plan

A. ATHENS INDUSTRIAL. This proposal involves the construction of two industrial office buildings to be located at 3586 North Main Street.

B. THE LANDING. This proposal involves the construction of an industrial building to be located at 3544 North Main Street.

C. HATCH WAREHOUSE AMENDMENT. This proposal involves modifications to a previously approved Site Plan for an industrial warehouse located at 3427 North 1150 West.

3. Minor Plat Amendment

A. OAKRIDGE COVE PLAT F AMENDMENT. This proposal involves subdividing one residential lot within the R-1-30 zone to create two lots located at 3235 East Hawk Drive.

4. Conditional Use Permit

A. AT&T AT HUNTERS CROSSING (2024). This proposal involves modifying a previously approved Conditional Use Permit for a cell tower located at 2025 East Canyon Road.

5. Concept Review

A. PACIFIC HORIZON CONCEPT.

B. ROOTS COFFEE CONCEPT.

6. Adjourn

Draft Minutes

Spanish Fork City Development Review Committee

80 South Main Street

Spanish Fork, Utah

August 7, 2024

Staff Members Present: **Chris Thompson**, Public Works Director; **Seth Perrins**, City Manager; **Dave Anderson**, Community Development Director; **Brandon Snyder**, Senior Planner; **David Mann**, Senior Planner; **Kasey Woodard**, Community Development Secretary; **Ian Bunker**, Associate Planner; **Vaughn Pickell**, City Attorney; **Joshua Nielsen**, Assistant City Attorney; **John Little**, Chief Building Official; **Byron Haslam**, Senior Engineer; **Marcie Clark**, Engineering Department Secretary; **Jered Johnson**, Engineering Division Manager; **Kevin Taylor**, Senior Power Utility Planner; **Jake Theurer**, Power and Light Superintendent; **Bart Morrill**, Parks Maintenance Supervisor; **Eddie Hales**, Fire and EMS Chief.

Citizens Present: Cody Brazell, John Sumsion, Yang Yang, Anthony Barthell.

Chris Thompson called the meeting to order at 10:00 a.m.

MINUTES

July 31, 2024

Vaughn Pickell **moved** to approve the minutes of July 31, 2024.

Dave Anderson **seconded** and the motion passed all in favor.

MINOR PLAT AMENDMENT

CANYON CREEK SHOPPING CENTER PHASE 5 PLAT B

Brandon Snyder stated the developer is acquiring the vacant property to the west of the Panda Express to develop it commercially. He stated the applicant provided a future concept plan for the vacant lots that features a hotel and a multi-tenant building. The applicant stated there will be additional development coming soon.

Jake Theurer spoke briefly about the existing power infrastructure and stated that there may be a conflict in the developer's approach. He suggests the applicant verify where the power infrastructure is located.

There were no additional comments.

Jered Johnson **moved** to approve the proposed Canyon Creek Shopping Center Phase 5 Plat B Minor Plat Amendment based on the following finding and subject to the following conditions:

Finding:

1. That the proposal conforms to the City's General Plan Designation and Zoning Map.

Conditions:

1. That the applicant meets the City's Development and Construction standards, zoning requirements, and other applicable City ordinances.
2. That the applicant addresses any red-lines.

Dave Anderson **seconded** and the motion **passed** all in favor.

There was a brief discussion with an attendee regarding the Mellor Subdivision and they were recommended to return when the item was listed on the agenda and they are welcome to attend the public meeting to discuss the proposal.

DISCUSSION

CENTER STREET AND CANYON ROAD

Chris Thompson stated that this conversation was being brought up to discuss whether the City would want to trade Center Street for Canyon Road. He would like to discuss the pros and cons of this proposal.

Brandon Snyder asked for clarification on whether the City owns Center Street and UDOT owns Canyon Road and this was confirmed as correct.

Chris Thompson stated that within the city's Master Plan, it anticipates this changing when the Center Street interchange is completed.

Jered Johnson stated that the City has constructed all projects and traffic control measures along Center Street in anticipation of this change.

Seth Perrins questions whether the City will be allowed to do what it has done in the past with shutting down Main and Center Street for parades and festivals. He understands that the festival locations can be changed if necessary.

Chris Thompson feels that the City may not want to shut down Center Street for festivals once the interchange is completed.

Seth Perrins acknowledged that when this is completed, Spanish Fork will have two major roads that do not belong to the city, being Main Street and Center Street, and he stated that this is what gives him pause. He ponders relinquishing control of both major roads that are in the center of the city. He stated that he has no issues with the two state roads connecting.

There was a brief discussion on the jurisdiction and whether the City wants to maintain control over these roads. There was further discussion on negotiating a jurisdictional transfer agreement that would allow for certain maintenance things to be traded off. Discussion ensued regarding Canyon Road being undeveloped and in need of curb, gutter, and sidewalk.

It was the general agreement of the Committee members that there needs to be further discussion on this matter.

BUILDING PERMITS FOR City PROJECTS

John Little stated that there has been a request on City projects, whether the City feels comfortable issuing permits when payment has not yet been received. He stated there have been previous instances that were time sensitive and development was held up due to financing. Typically, no building permits will be issued until payment has been received.

Chris Thompson feels that the City should feel comfortable that payment will be received, and that developments should not be held up waiting for financing.

Seth Perrins agreed.

There was a general agreement of the committee that City projects should not be delayed while waiting for the financing to come through on the project.

DUST, GARBAGE AND OTHER DEVELOPMENT IMPACTS

Dave Anderson stated there was an effort to have the City be more responsive to resident concerns when they are impacted by neighboring development. He stated that dust has become a regular complaint from property owners. He feels there is an opportunity to be more consistent and responsive to complaints and hold staff accountable.

John Little stated staff tries to keep an eye out for garbage and debris on job sites, but stated that dust has become a real concern and asks staff if there is any way to mitigate this concern by informing SWPPP inspectors and he stated that he will educate his building inspectors to be more aware.

Jered Johnson stated that he will work more with his SWPPP inspector and have them drive the sites more often to spray them to help keep the dust concern under control.

There was discussion about an additive that can be sprayed on the dirt to create a crust on the dirt so that it will not allow dust to be blown over job sites but it was stated this has not been done because the additive is an additional cost.

Dave Anderson stated that it will become a condition of approval for developments to maintain the dust on the site.

There was further discussion about potentially adding this practice into building standards and fining the offending developers that do not control fugitive dust on their job site.

AIRPORT OVERLAY ZONE

Dave Anderson stated that the Airport Manager reached out to him regarding this and he stated that he had Junior Planner Ian Bunker look into these state changes and it was stated this overlay would protect developments that would be located at the airport.

2024 TITLE 15 UPDATES

Dave Anderson spoke to the Committee and stated that the Community Development Department is reviewing the Municipal Code and he invited the staff members to provide feedback on Title 15 Land Use regulations and stated that if there is any portion of the code that requires further clarification, to please reach out to his Department to have this addressed.

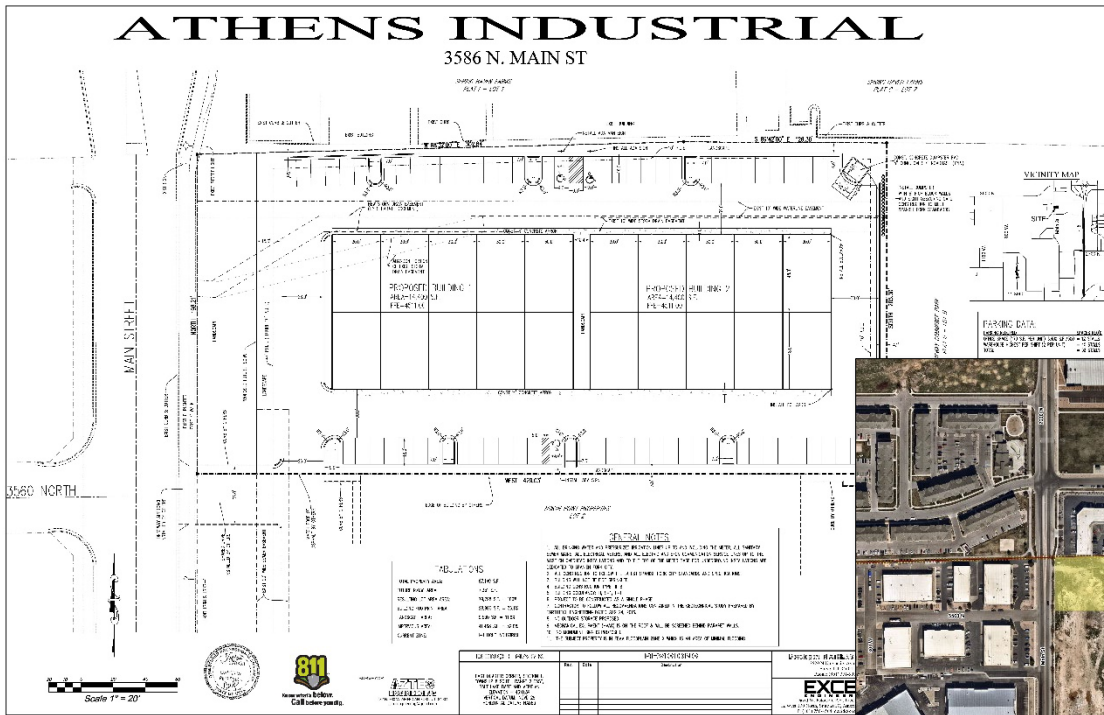
Jake Theurer moved to adjourn the meeting at 10:57 a.m.

Adopted:

Kasey Woodard
Community Development Division
Secretary



SPANISH FORK
COMMUNITY DEVELOPMENT



**Athens Industrial Site Plan
Approval Request**

August 21, 2024, Development Review Committee meeting.
Located at 3586 North Main Street, including approximately 2 acres.
The subject property is zoned I-1.
The applicant has requested that a Site Plan be approved for the development of an industrial site.

Key Issues

- 1. Easements.
- 2. Landscaping.
- 3. Utilities.

Recommendation

That the proposed Site Plan be approved based on the following finding and subject to the following conditions.

Finding

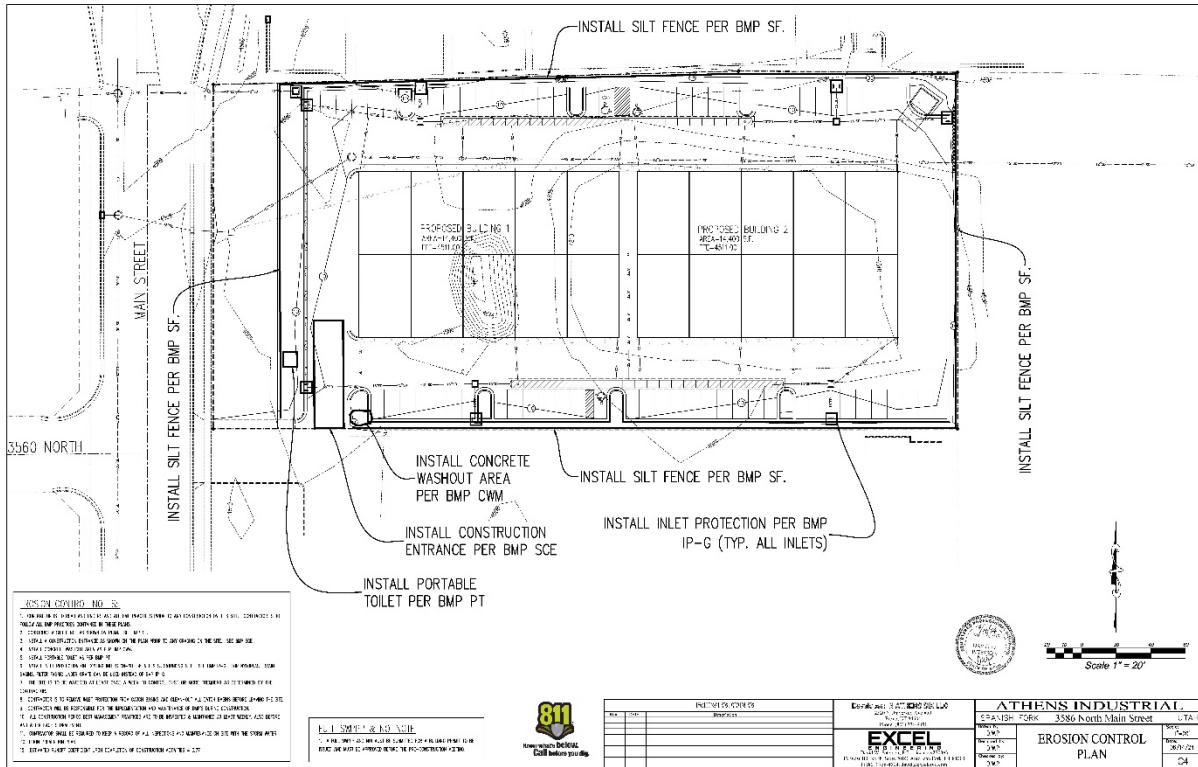
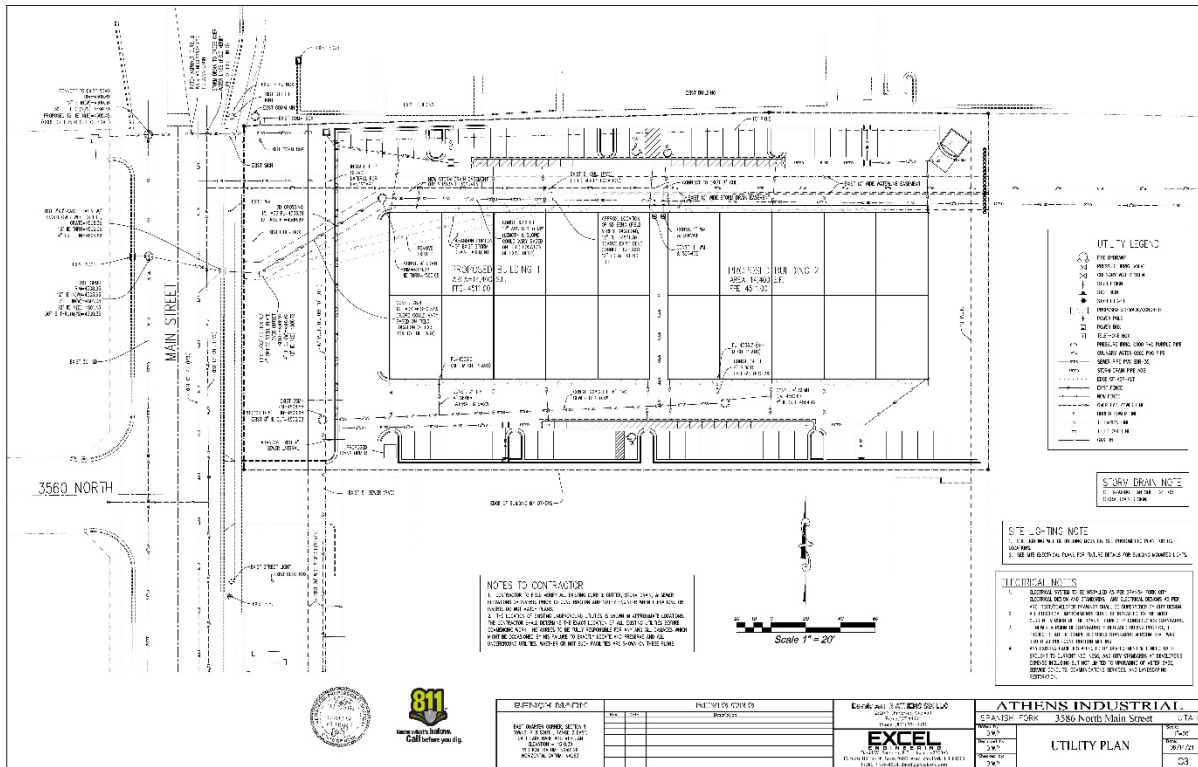
- 1. That the proposal conforms to the City's General Plan land use designation and Zoning Map.

Conditions

- 1. That the applicant meets the City's Development and Construction standards, zoning requirements, and other applicable City ordinances.
- 2. That the applicant addresses any red-lines.

Exhibits

- 1. Site Plan.
- 2. Landscape Plan.
- 3. Building Elevations.



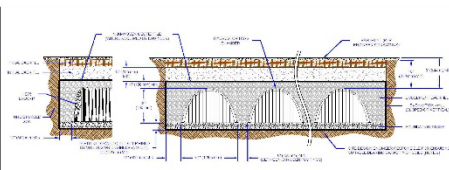
<p>BMP: Concrete Wash Management</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Wash water from concrete washers shall be collected into a concrete wash collection system. 2. Wash water shall be collected into a concrete wash collection system. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Wash water shall be collected into a concrete wash collection system. 2. Wash water shall be collected into a concrete wash collection system. 	<p>BMP: Oil Control</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Oil control devices shall be installed on all vehicles. 2. Oil control devices shall be installed on all vehicles. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Oil control devices shall be installed on all vehicles. 2. Oil control devices shall be installed on all vehicles. 	<p>BMP: Storm Protection Channel</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Storm protection channels shall be installed on all vehicles. 2. Storm protection channels shall be installed on all vehicles. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Storm protection channels shall be installed on all vehicles. 2. Storm protection channels shall be installed on all vehicles. 	<p>BMP: Load Draining</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Load draining systems shall be installed on all vehicles. 2. Load draining systems shall be installed on all vehicles. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Load draining systems shall be installed on all vehicles. 2. Load draining systems shall be installed on all vehicles. 	<p>BMP: Potable Toilets</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Potable toilets shall be provided for all workers. 2. Potable toilets shall be provided for all workers. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Potable toilets shall be provided for all workers. 2. Potable toilets shall be provided for all workers.
<p>BMP: Site Fencing</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Site fencing shall be installed around the construction site. 2. Site fencing shall be installed around the construction site. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Site fencing shall be installed around the construction site. 2. Site fencing shall be installed around the construction site. 	<p>BMP: Spill Cleanup</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Spill cleanup equipment shall be provided for all workers. 2. Spill cleanup equipment shall be provided for all workers. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Spill cleanup equipment shall be provided for all workers. 2. Spill cleanup equipment shall be provided for all workers. 	<p>BMP: Stabilized Construction Entrance</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Stabilized construction entrances shall be installed on all vehicles. 2. Stabilized construction entrances shall be installed on all vehicles. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Stabilized construction entrances shall be installed on all vehicles. 2. Stabilized construction entrances shall be installed on all vehicles. 	<p>BMP: Street Sweeping</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Street sweepers shall be used to clean the streets. 2. Street sweepers shall be used to clean the streets. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Street sweepers shall be used to clean the streets. 2. Street sweepers shall be used to clean the streets. 	



<p>PROJECT NO. 2024-001</p> <p>DATE: 08/21/2024</p>		<p>ATHENS INDUSTRIAL</p> <p>3886 North Main Street</p> <p>UTAH</p>
<p>EXCEL</p> <p>ENGINEERING</p> <p>1000 S. MAIN STREET, SUITE 100</p> <p>SPRINGDALE, UTAH 84661</p>		<p>BMP DETAILS</p> <p>DATE: 08/21/2024</p> <p>BY: [Signature]</p>

<p>STANDARD DRAWING</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Standard drawing showing a cross-section of a structure. 2. Standard drawing showing a cross-section of a structure. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Standard drawing showing a cross-section of a structure. 2. Standard drawing showing a cross-section of a structure. 	<p>STANDARD DRAWING</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Standard drawing showing a cross-section of a structure. 2. Standard drawing showing a cross-section of a structure. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Standard drawing showing a cross-section of a structure. 2. Standard drawing showing a cross-section of a structure. 	<p>ADA VAN SIGN DETAIL</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. ADA van sign detail showing a cross-section of a sign. 2. ADA van sign detail showing a cross-section of a sign. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. ADA van sign detail showing a cross-section of a sign. 2. ADA van sign detail showing a cross-section of a sign. 	<p>SPILL CURB</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Spill curb detail showing a cross-section of a curb. 2. Spill curb detail showing a cross-section of a curb. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Spill curb detail showing a cross-section of a curb. 2. Spill curb detail showing a cross-section of a curb.
<p>STANDARD DRAWING</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Standard drawing showing a cross-section of a structure. 2. Standard drawing showing a cross-section of a structure. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Standard drawing showing a cross-section of a structure. 2. Standard drawing showing a cross-section of a structure. 	<p>STANDARD DRAWING</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Standard drawing showing a cross-section of a structure. 2. Standard drawing showing a cross-section of a structure. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Standard drawing showing a cross-section of a structure. 2. Standard drawing showing a cross-section of a structure. 	<p>ADDITIONAL DETAIL</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Additional detail drawing showing a cross-section of a structure. 2. Additional detail drawing showing a cross-section of a structure. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Additional detail drawing showing a cross-section of a structure. 2. Additional detail drawing showing a cross-section of a structure. 	<p>SHOULDER DETAIL</p> <p>DESCRIPTION:</p> <ul style="list-style-type: none"> 1. Shoulder detail showing a cross-section of a shoulder. 2. Shoulder detail showing a cross-section of a shoulder. <p>DESIGN:</p> <ul style="list-style-type: none"> 1. Shoulder detail showing a cross-section of a shoulder. 2. Shoulder detail showing a cross-section of a shoulder.

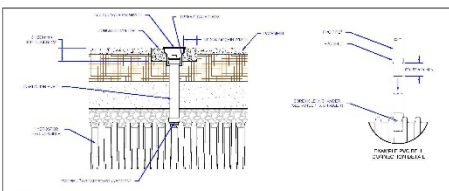
<p>PROJECT NO. 2024-001</p> <p>DATE: 08/21/2024</p>		<p>ATHENS INDUSTRIAL</p> <p>3886 North Main Street</p> <p>UTAH</p>
<p>EXCEL</p> <p>ENGINEERING</p> <p>1000 S. MAIN STREET, SUITE 100</p> <p>SPRINGDALE, UTAH 84661</p>		<p>DETAILS</p> <p>DATE: 08/21/2024</p> <p>BY: [Signature]</p>



NOTES:

1. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. THE INSULATION SHALL BE CONTINUOUS AND UNINTERRUPTED UNDER THE DECKING.
3. THE DECKING SHALL BE INSTALLED OVER THE INSULATION AND SHALL BE CONTINUOUS AND UNINTERRUPTED.
4. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
5. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

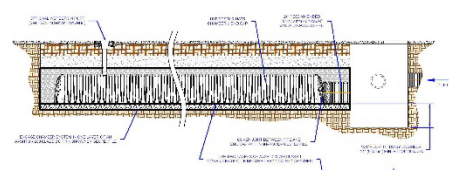
PRINGCO



NOTES:

1. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
3. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
4. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
5. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

PRINGCO




NOTES:

1. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
3. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
4. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
5. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

PRINGCO

* SEE KEYED NOTES ON 02 FOR PRINGCO SYSTEM DESIGN.

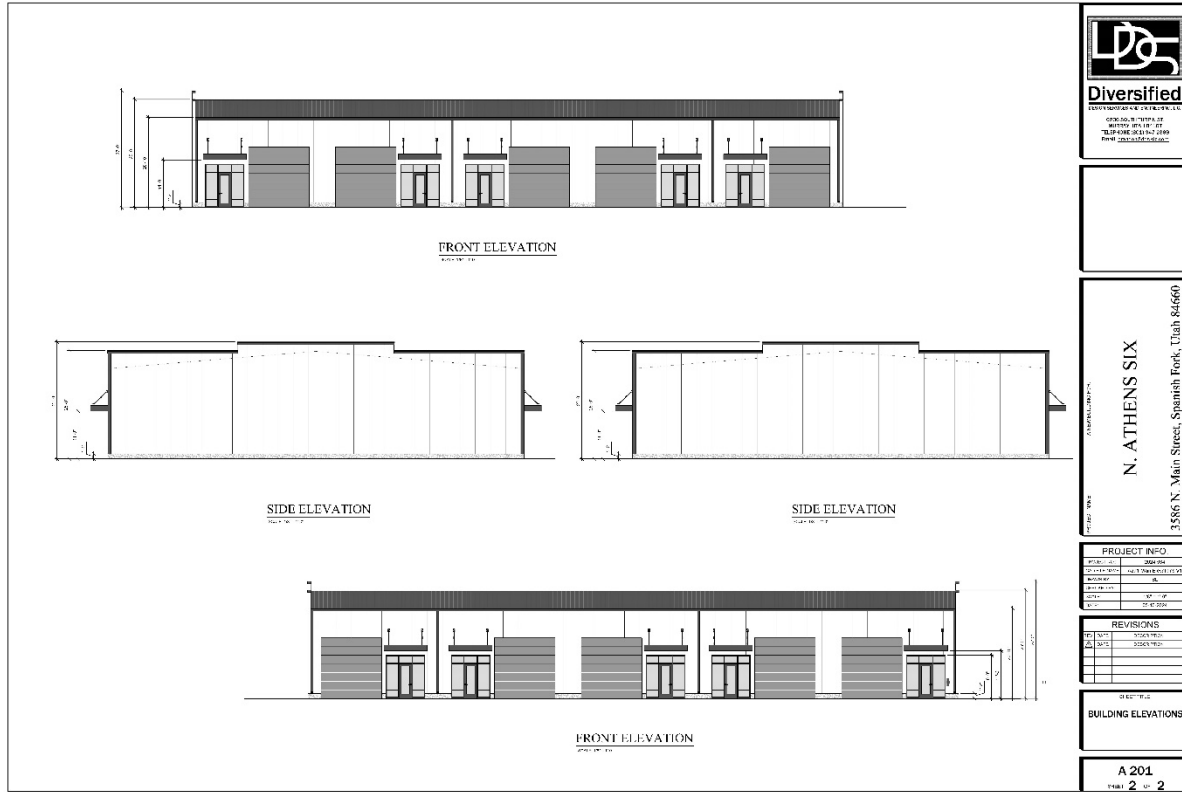


REV	DATE	DESCRIPTION

EXCEL

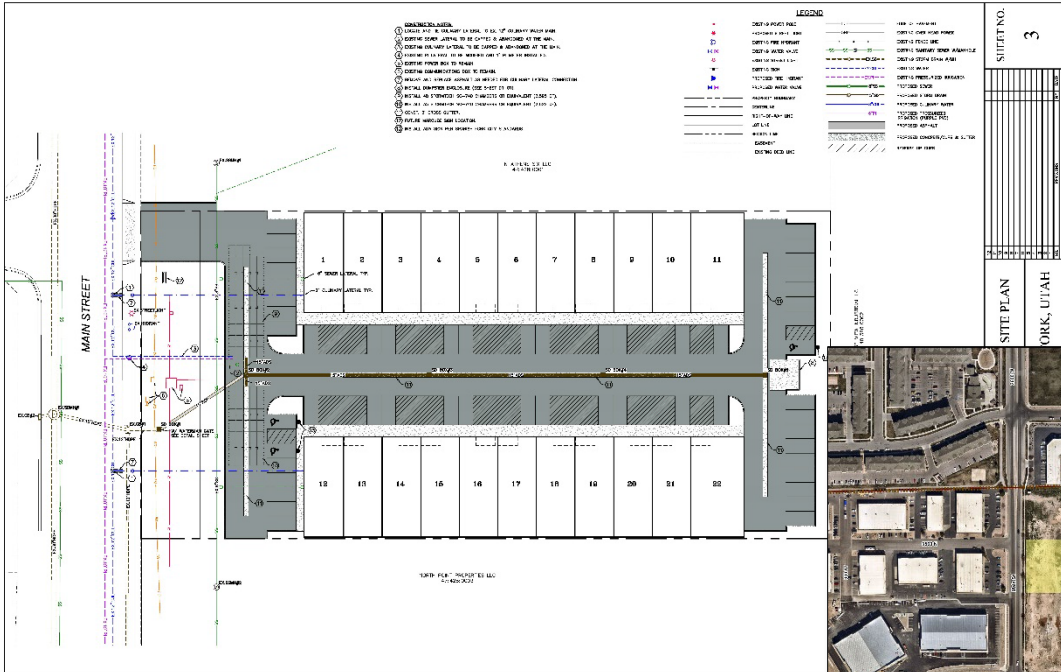
ENGINEERING & ARCHITECTURE

ATHENS INDUSTRIAL	
23AX10-206	3586 North Main Street
DATE	08/21
SCALE	AS SHOWN
PROJECT	DETAILS
DATE	07





SPANISH FORK
COMMUNITY DEVELOPMENT



The Landing Site Plan Approval Request

August 21, 2024, Development Review Committee meeting.
 Located at 3544 North Main Street, including approximately 2 acres.
 The subject property is zoned I-1.
 The applicant has requested that a Site Plan be approved for the development of an industrial site.

Key Issues

- 1. Easements.
- 2. Utilities.
- 3. Power.

Recommendation

That the proposed Site Plan be approved based on the following finding and subject to the following conditions.

Finding

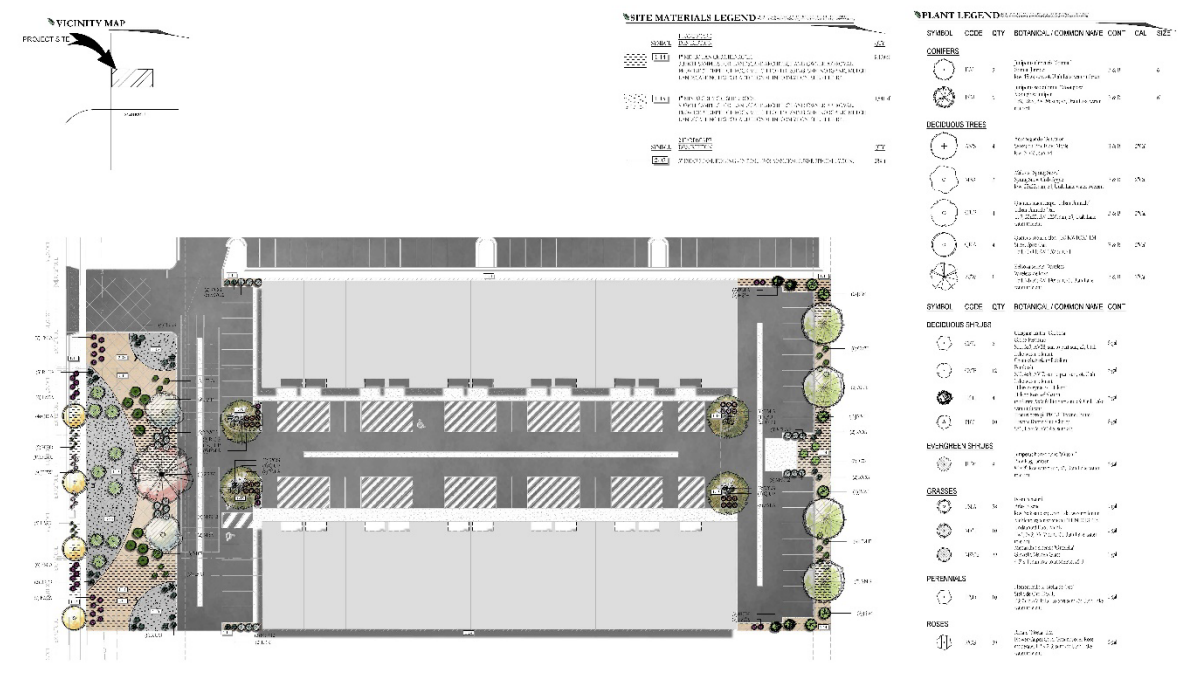
- 1. That the proposal conforms to the City's General Plan land use designation and Zoning Map.

Conditions

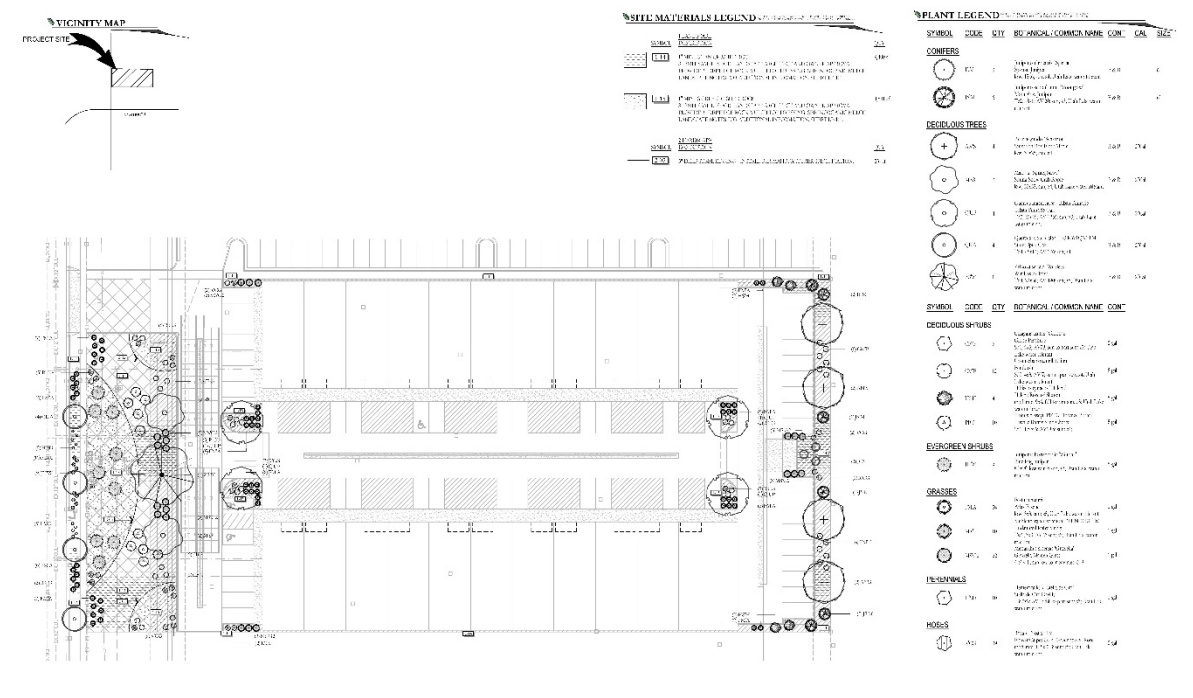
- 1. That the applicant meets the City's Development and Construction standards, zoning requirements, and other applicable City ordinances.
- 2. That the applicant addresses any red-lines.

Exhibits

- 1. Site Plan.
- 2. Landscape Plan.
- 3. Building Elevations.



<p>6/27/2024</p> <p>PROJECT NUMBER: UT24096</p> <p>DATE: 8/11/24</p> <p>SCALE: 1" = 10'-0"</p> <p>811</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p>	<p>THE LANDING</p> <p>3450 N.</p> <p>SPANISH FORK, UTAH</p>	<p>BRAD MORGAN</p> <p>BRAD MORGAN ARCHITECTS AND LANDSCAPE ARCHITECTS</p> <p>BRAD MORGAN</p> <p>BRAD MORGAN ARCHITECTS AND LANDSCAPE ARCHITECTS</p> <p>BRAD MORGAN ARCHITECTS AND LANDSCAPE ARCHITECTS</p>	<p>PKJ DESIGN GROUP</p> <p>LANDSCAPE ARCHITECTS</p> <p>PKJ DESIGN GROUP</p> <p>LANDSCAPE ARCHITECTS</p> <p>PKJ DESIGN GROUP</p> <p>LANDSCAPE ARCHITECTS</p>	<p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p>
---	--	--	---	---



<p>6/27/2024</p> <p>PROJECT NUMBER: UT24096</p> <p>DATE: 8/11/24</p> <p>SCALE: 1" = 10'-0"</p> <p>811</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p>	<p>THE LANDING</p> <p>3450 N.</p> <p>SPANISH FORK, UTAH</p>	<p>BRAD MORGAN</p> <p>BRAD MORGAN ARCHITECTS AND LANDSCAPE ARCHITECTS</p> <p>BRAD MORGAN</p> <p>BRAD MORGAN ARCHITECTS AND LANDSCAPE ARCHITECTS</p> <p>BRAD MORGAN ARCHITECTS AND LANDSCAPE ARCHITECTS</p>	<p>PKJ DESIGN GROUP</p> <p>LANDSCAPE ARCHITECTS</p> <p>PKJ DESIGN GROUP</p> <p>LANDSCAPE ARCHITECTS</p> <p>PKJ DESIGN GROUP</p> <p>LANDSCAPE ARCHITECTS</p>	<p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p> <p>UTAH STATE DEPARTMENT OF HERITAGE AND ARTS</p>
---	--	--	---	---

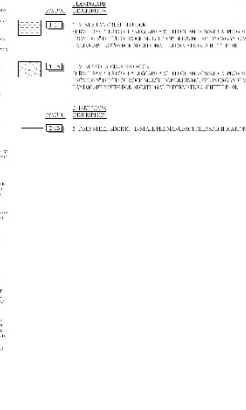
LANDSCAPE PLAN SPECIFICATIONS

1. GENERAL NOTES: ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SPANISH FORK, UTAH LANDSCAPE DESIGN AND MAINTENANCE MANUAL...

2. PLANTING SPECIFICATIONS: PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SPANISH FORK, UTAH LANDSCAPE DESIGN AND MAINTENANCE MANUAL...

3. MATERIALS: ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPANISH FORK, UTAH LANDSCAPE DESIGN AND MAINTENANCE MANUAL...

SITE MATERIALS LEGEND



PLANT LEGEND

Table with columns: SYMBOL, QUANTITY, CITY, BOTANICAL COMMON NAME, COM, CAL, SPEC. Lists various plant species and their quantities.

GENERAL LANDSCAPE NOTES

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SPANISH FORK, UTAH LANDSCAPE DESIGN AND MAINTENANCE MANUAL...

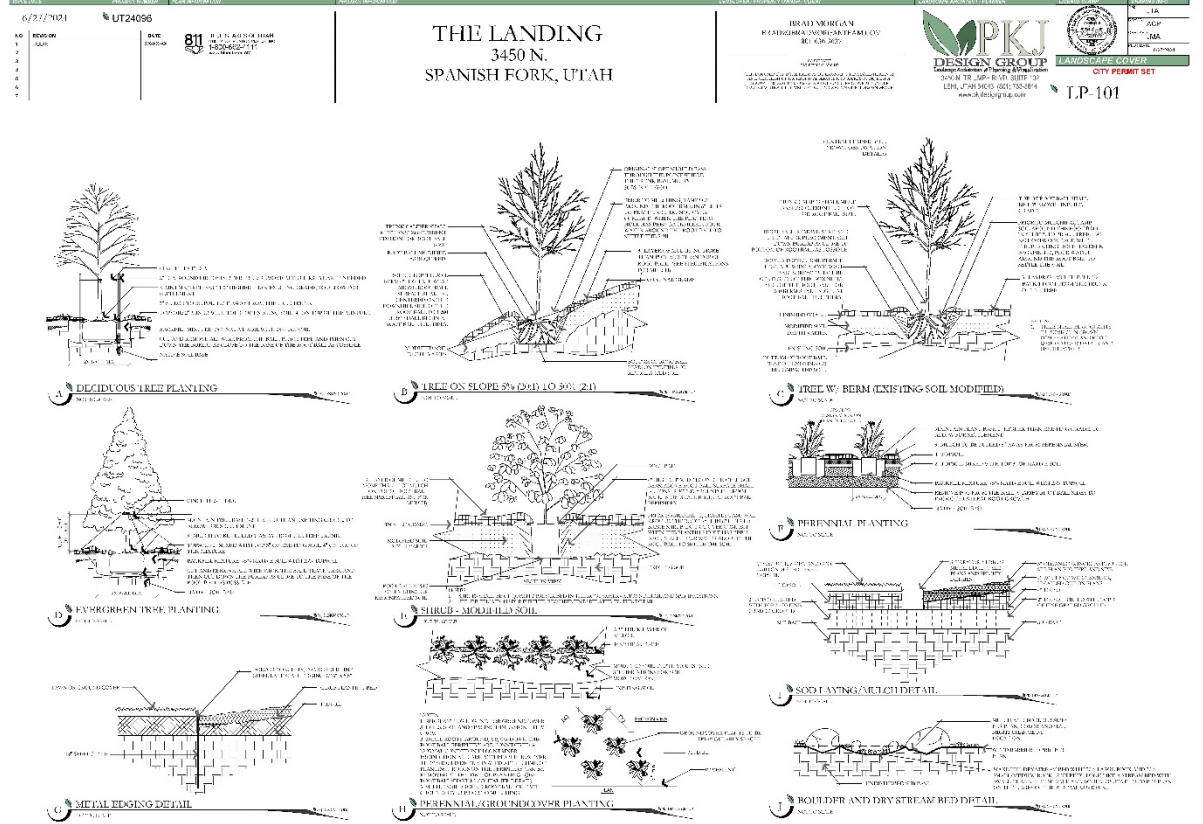
2. PLANTING SPECIFICATIONS: PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SPANISH FORK, UTAH LANDSCAPE DESIGN AND MAINTENANCE MANUAL...

3. MATERIALS: ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPANISH FORK, UTAH LANDSCAPE DESIGN AND MAINTENANCE MANUAL...

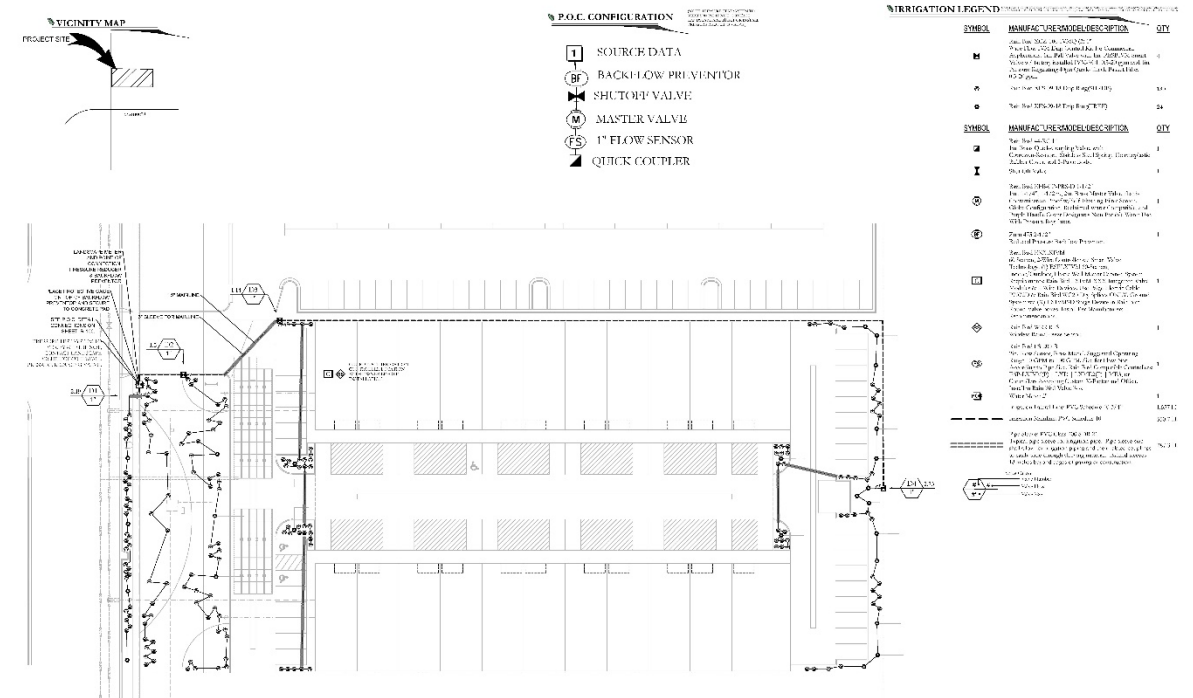
SITE REQUIREMENT CALCULATIONS



Project information header including address (3450 N. SPANISH FORK, UTAH), owner (BRAD MORGAN), and designer (PKJ DESIGN GROUP).



Project information header, identical to the one above.



6/21/2024 UT24096

811 CALL BEFORE YOU DIG

THE LANDING
3450 N.
SPANISH FORK, UTAH

BRAD MORGAN
REGISTERED PROFESSIONAL ENGINEER
No. 426362

PKJ DESIGN GROUP
Irrigation and Landscape Architecture
1501 N. MAIN ST. SUITE 100
LEHI, UT 84043 (801) 884-4444
www.pkjdesign.com

IRRIGATION OVERALL PLAN
CITY PERMIT SET
IR-100

IRRIGATION PLAN SPECIFICATIONS

1. GENERAL
2. MATERIALS
3. CONSTRUCTION
4. MAINTENANCE
5. TESTING
6. SCHEDULING
7. NOTES

IRRIGATION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE UTAH IRRIGATION ACT AND ALL APPLICABLE CODES AND ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LEHI.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY ENGINEER.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
5. ALL EXCAVATIONS SHALL BE PROTECTED AND RECONSTRUCTED TO ORIGINAL OR BETTER CONDITION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
8. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
10. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
12. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
13. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
14. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
15. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
16. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
17. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
18. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
19. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
20. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
21. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
22. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
23. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
24. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
25. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
26. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
27. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
28. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
29. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
30. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
31. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
32. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
33. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
34. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
35. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
36. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
37. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
38. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
39. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
40. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
41. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
42. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
43. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
44. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
45. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
46. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
47. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
48. THE CONTRACTOR SHALL PROVIDE A DETAILED AS-BUILT DRAWING UPON COMPLETION OF THE PROJECT.
49. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
50. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.

WATERING SCHEDULE

ZONE	WATERING DAYS	WATERING TIME	WATERING DURATION
1	MON, WED, FRI	5:00 AM - 6:00 AM	15 MIN
2	TUE, THU, SAT	5:00 AM - 6:00 AM	15 MIN
3	SUN	5:00 AM - 6:00 AM	15 MIN
4	MON, WED, FRI	6:00 AM - 7:00 AM	15 MIN
5	TUE, THU, SAT	6:00 AM - 7:00 AM	15 MIN
6	SUN	6:00 AM - 7:00 AM	15 MIN
7	MON, WED, FRI	7:00 AM - 8:00 AM	15 MIN
8	TUE, THU, SAT	7:00 AM - 8:00 AM	15 MIN
9	SUN	7:00 AM - 8:00 AM	15 MIN
10	MON, WED, FRI	8:00 AM - 9:00 AM	15 MIN
11	TUE, THU, SAT	8:00 AM - 9:00 AM	15 MIN
12	SUN	8:00 AM - 9:00 AM	15 MIN
13	MON, WED, FRI	9:00 AM - 10:00 AM	15 MIN
14	TUE, THU, SAT	9:00 AM - 10:00 AM	15 MIN
15	SUN	9:00 AM - 10:00 AM	15 MIN
16	MON, WED, FRI	10:00 AM - 11:00 AM	15 MIN
17	TUE, THU, SAT	10:00 AM - 11:00 AM	15 MIN
18	SUN	10:00 AM - 11:00 AM	15 MIN
19	MON, WED, FRI	11:00 AM - 12:00 PM	15 MIN
20	TUE, THU, SAT	11:00 AM - 12:00 PM	15 MIN
21	SUN	11:00 AM - 12:00 PM	15 MIN
22	MON, WED, FRI	12:00 PM - 1:00 PM	15 MIN
23	TUE, THU, SAT	12:00 PM - 1:00 PM	15 MIN
24	SUN	12:00 PM - 1:00 PM	15 MIN
25	MON, WED, FRI	1:00 PM - 2:00 PM	15 MIN
26	TUE, THU, SAT	1:00 PM - 2:00 PM	15 MIN
27	SUN	1:00 PM - 2:00 PM	15 MIN
28	MON, WED, FRI	2:00 PM - 3:00 PM	15 MIN
29	TUE, THU, SAT	2:00 PM - 3:00 PM	15 MIN
30	SUN	2:00 PM - 3:00 PM	15 MIN
31	MON, WED, FRI	3:00 PM - 4:00 PM	15 MIN
32	TUE, THU, SAT	3:00 PM - 4:00 PM	15 MIN
33	SUN	3:00 PM - 4:00 PM	15 MIN
34	MON, WED, FRI	4:00 PM - 5:00 PM	15 MIN
35	TUE, THU, SAT	4:00 PM - 5:00 PM	15 MIN
36	SUN	4:00 PM - 5:00 PM	15 MIN
37	MON, WED, FRI	5:00 PM - 6:00 PM	15 MIN
38	TUE, THU, SAT	5:00 PM - 6:00 PM	15 MIN
39	SUN	5:00 PM - 6:00 PM	15 MIN
40	MON, WED, FRI	6:00 PM - 7:00 PM	15 MIN
41	TUE, THU, SAT	6:00 PM - 7:00 PM	15 MIN
42	SUN	6:00 PM - 7:00 PM	15 MIN
43	MON, WED, FRI	7:00 PM - 8:00 PM	15 MIN
44	TUE, THU, SAT	7:00 PM - 8:00 PM	15 MIN
45	SUN	7:00 PM - 8:00 PM	15 MIN
46	MON, WED, FRI	8:00 PM - 9:00 PM	15 MIN
47	TUE, THU, SAT	8:00 PM - 9:00 PM	15 MIN
48	SUN	8:00 PM - 9:00 PM	15 MIN
49	MON, WED, FRI	9:00 PM - 10:00 PM	15 MIN
50	TUE, THU, SAT	9:00 PM - 10:00 PM	15 MIN
51	SUN	9:00 PM - 10:00 PM	15 MIN

2" MAINTENANCE ROUTING, CONTROL AND P.O.C. LOCATION OVERVIEW

6/21/2024 UT24096

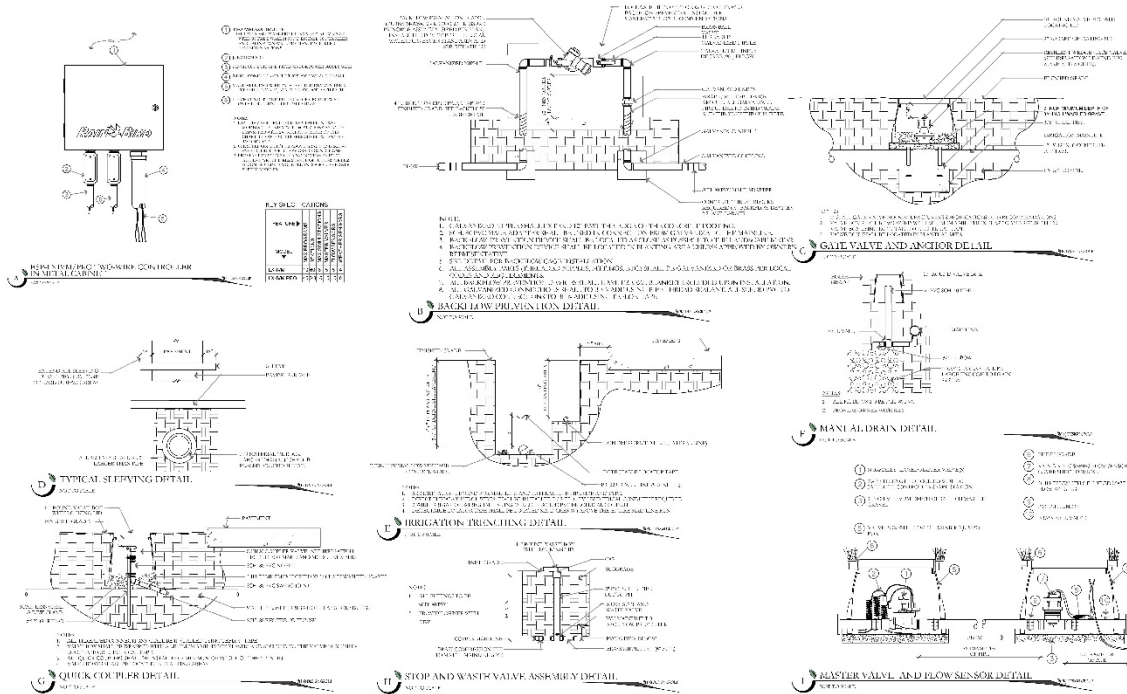
811 CALL BEFORE YOU DIG

THE LANDING
3450 N.
SPANISH FORK, UTAH

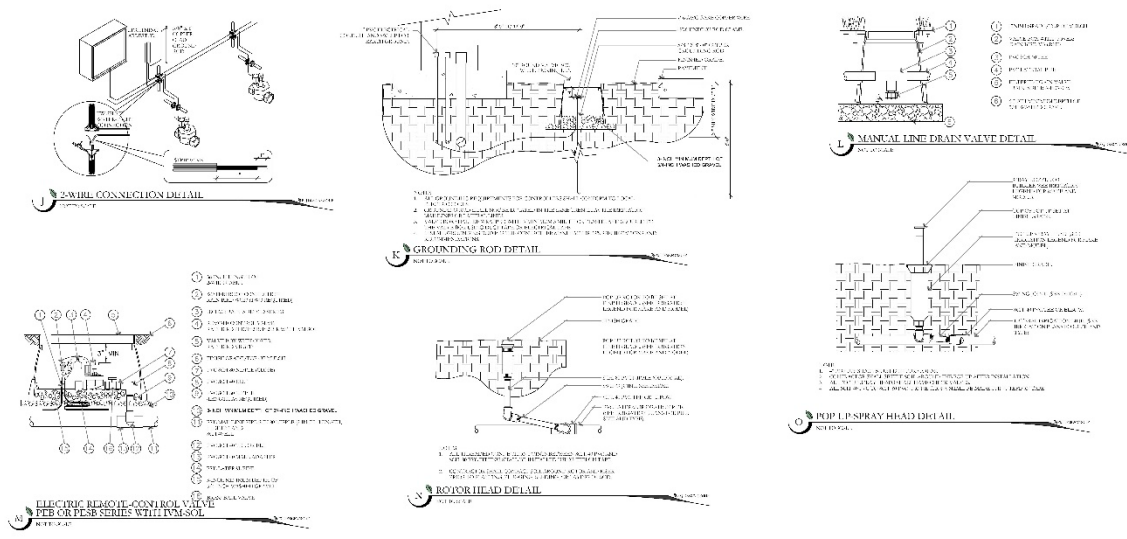
BRAD MORGAN
REGISTERED PROFESSIONAL ENGINEER
No. 426362

PKJ DESIGN GROUP
Irrigation and Landscape Architecture
1501 N. MAIN ST. SUITE 100
LEHI, UT 84043 (801) 884-4444
www.pkjdesign.com

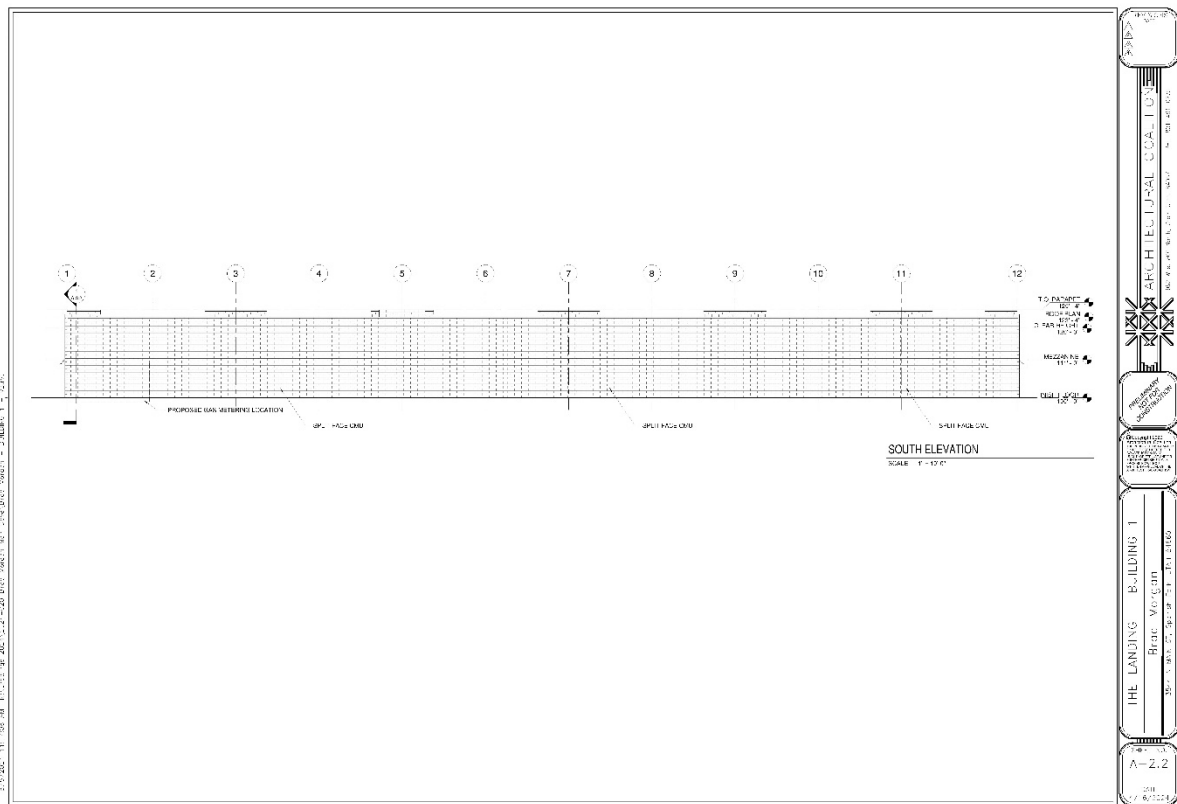
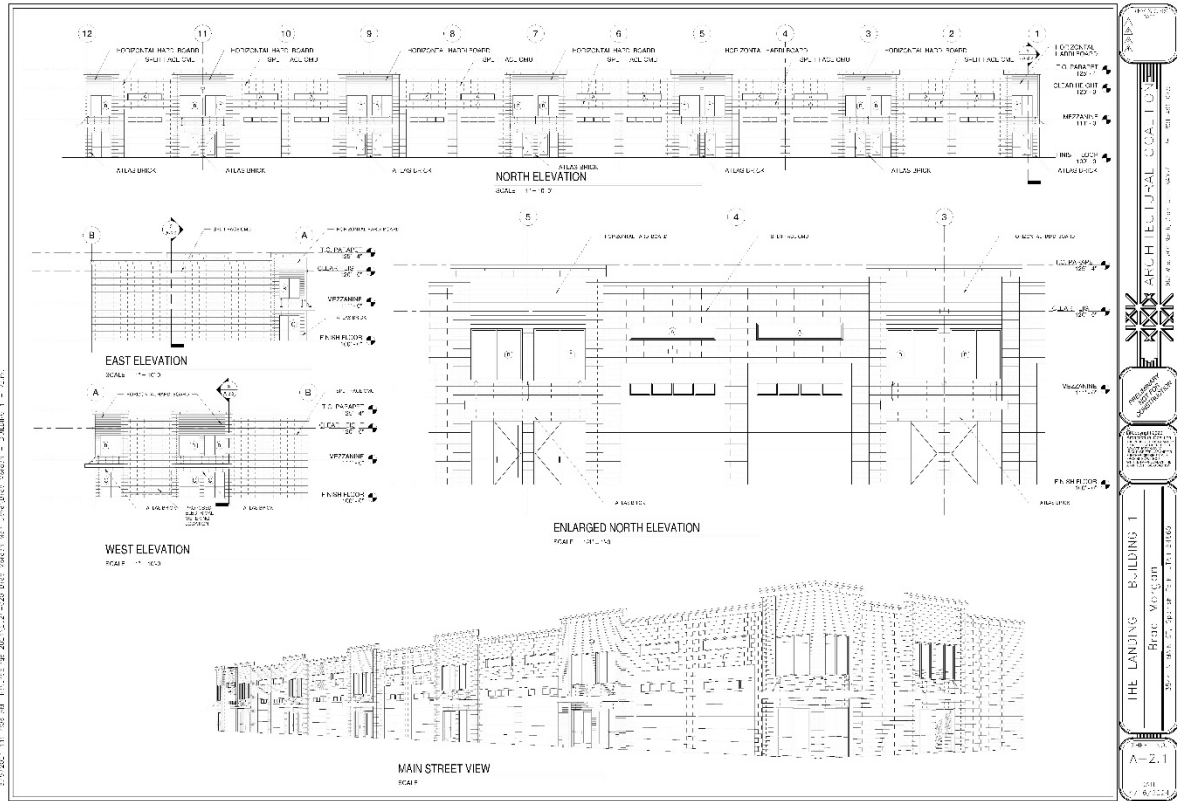
IRRIGATION OVERALL PLAN
CITY PERMIT SET
IR-101

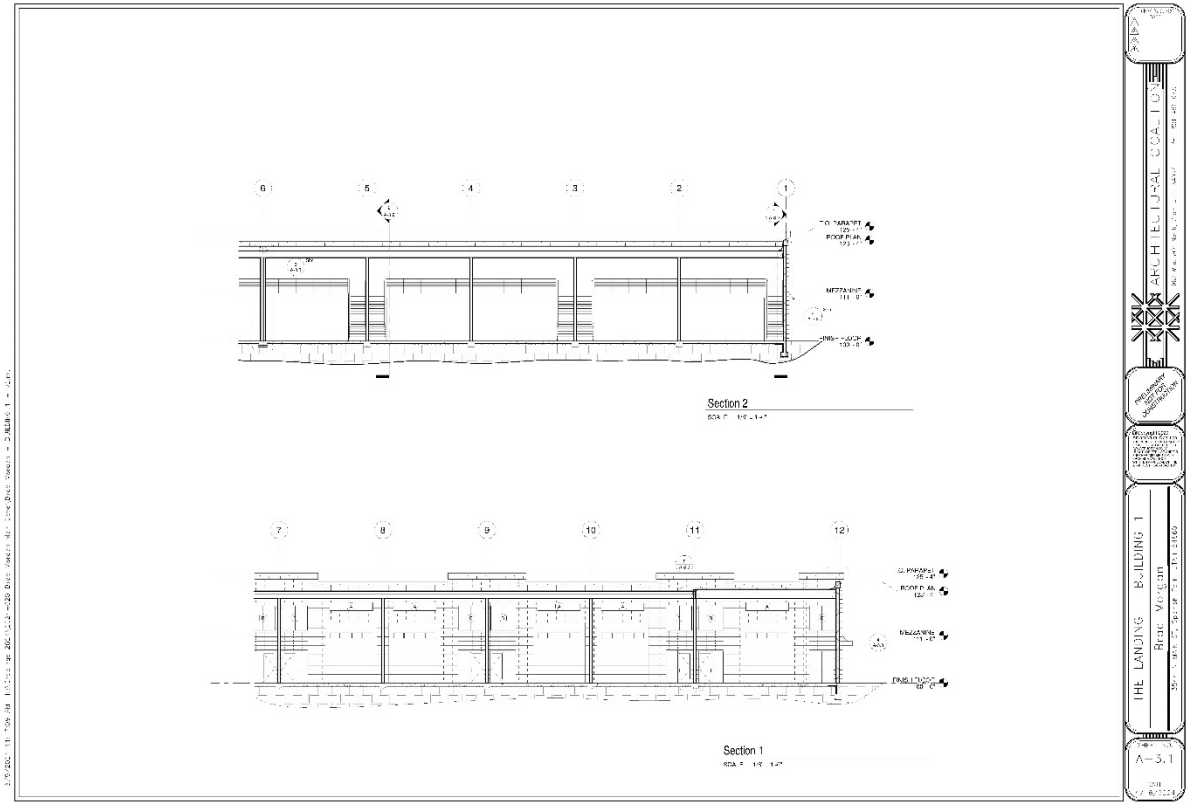


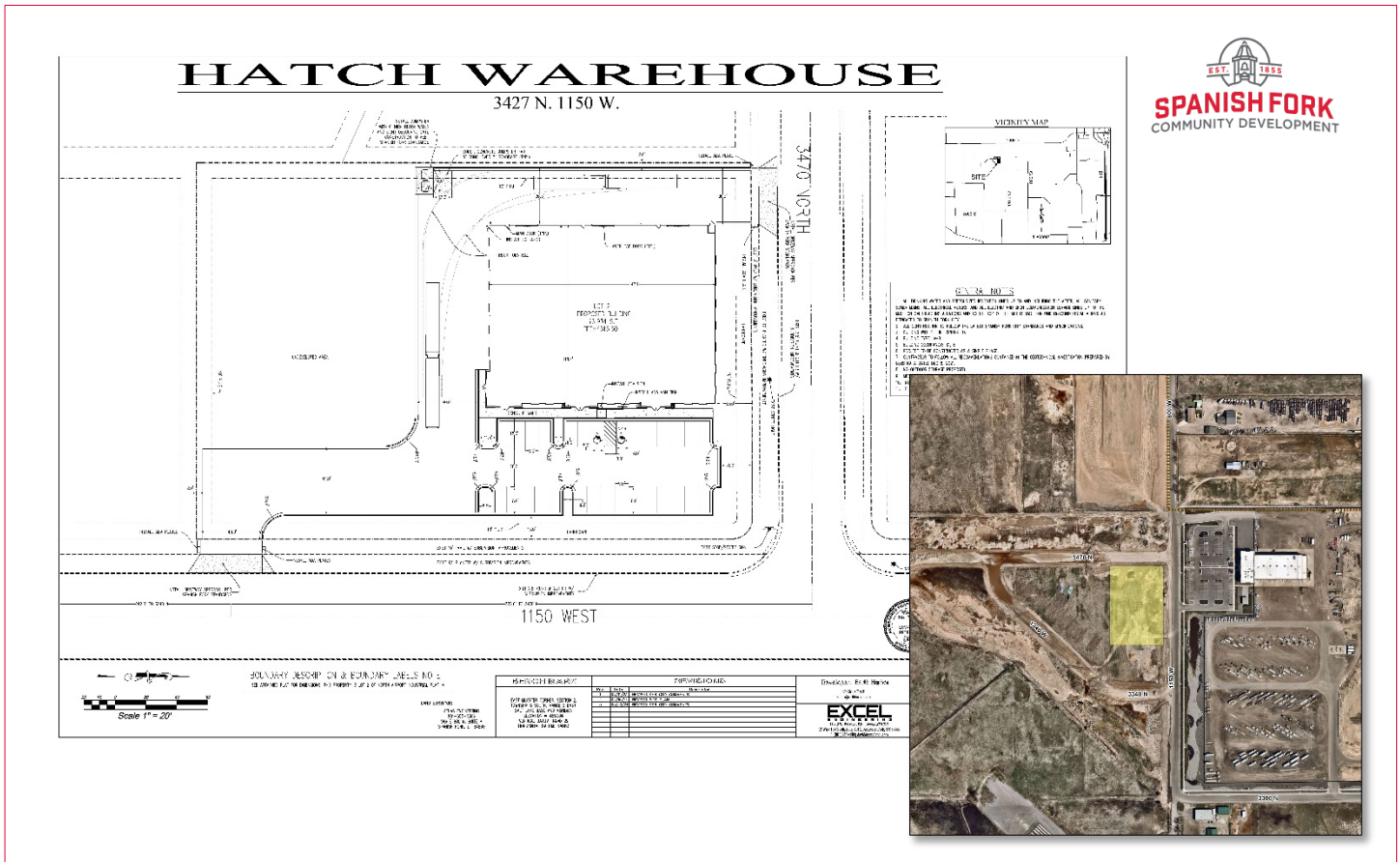
PROJECT NO: 6/21/2021	PROJECT NAME: UT24096	PROJECT LOCATION: 811	PROJECT DESCRIPTION: THE LANDING 3450 N. SPANISH FORK, UTAH	DESIGNER: BRAD MORGAN	DATE: 6/21/2021	PROJECT NO: 6/21/2021	PROJECT NAME: UT24096	PROJECT LOCATION: 811	PROJECT DESCRIPTION: THE LANDING 3450 N. SPANISH FORK, UTAH	DESIGNER: BRAD MORGAN	DATE: 6/21/2021	PROJECT NO: 6/21/2021	PROJECT NAME: UT24096	PROJECT LOCATION: 811	PROJECT DESCRIPTION: THE LANDING 3450 N. SPANISH FORK, UTAH	DESIGNER: BRAD MORGAN	DATE: 6/21/2021
-----------------------	-----------------------	-----------------------	---	-----------------------	-----------------	-----------------------	-----------------------	-----------------------	---	-----------------------	-----------------	-----------------------	-----------------------	-----------------------	---	-----------------------	-----------------



PROJECT NO: 6/21/2021	PROJECT NAME: UT24096	PROJECT LOCATION: 811	PROJECT DESCRIPTION: THE LANDING 3450 N. SPANISH FORK, UTAH	DESIGNER: BRAD MORGAN	DATE: 6/21/2021	PROJECT NO: 6/21/2021	PROJECT NAME: UT24096	PROJECT LOCATION: 811	PROJECT DESCRIPTION: THE LANDING 3450 N. SPANISH FORK, UTAH	DESIGNER: BRAD MORGAN	DATE: 6/21/2021	PROJECT NO: 6/21/2021	PROJECT NAME: UT24096	PROJECT LOCATION: 811	PROJECT DESCRIPTION: THE LANDING 3450 N. SPANISH FORK, UTAH	DESIGNER: BRAD MORGAN	DATE: 6/21/2021
-----------------------	-----------------------	-----------------------	---	-----------------------	-----------------	-----------------------	-----------------------	-----------------------	---	-----------------------	-----------------	-----------------------	-----------------------	-----------------------	---	-----------------------	-----------------







Hatch Warehouse Site Plan Approval Request

August 21, 2024, Development Review Committee meeting.
 Located at 3427 North 1150 West, including 2 acres.
 The subject property is zoned I-1.
 The applicant has requested that a Site Plan be approved.

Key Issues

- 1. Power.
- 2. Access.
- 3. Landscaping.
- 4. Dumpster Enclosure.
- 5. Future Phase.

Recommendation

That the proposed Site Plan be approved based on the following finding and subject to the following conditions.

Finding

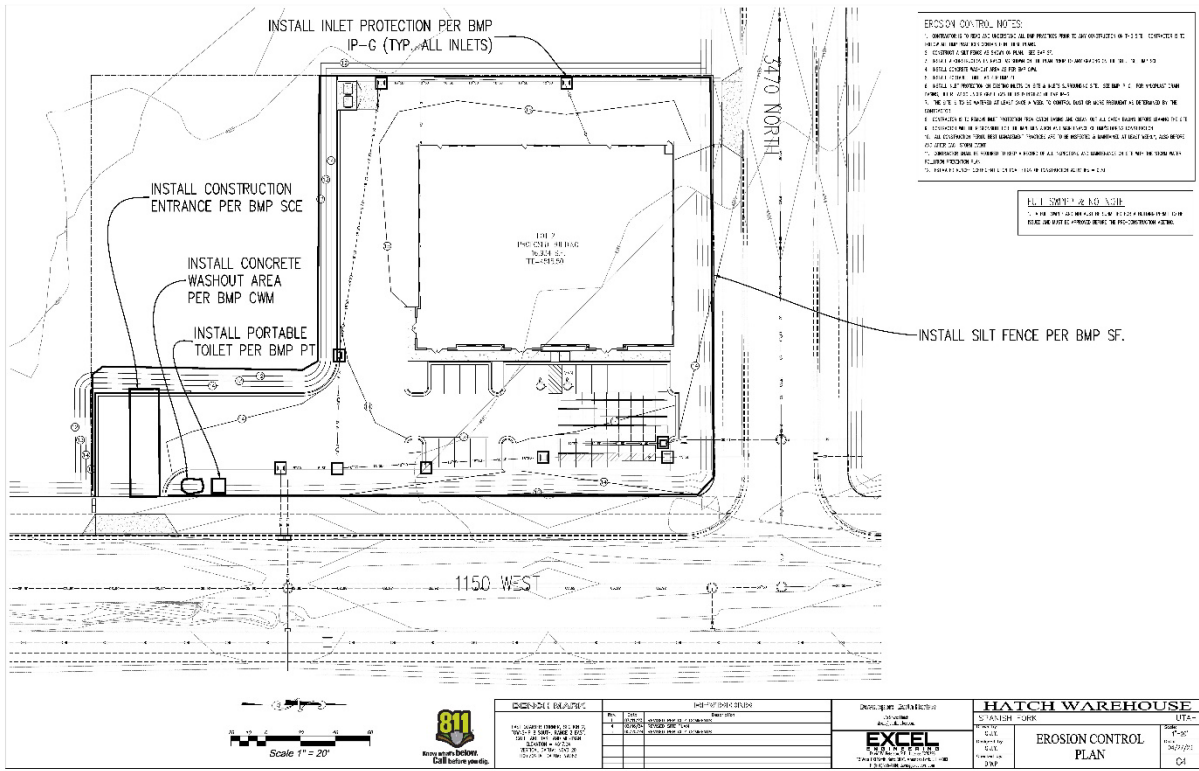
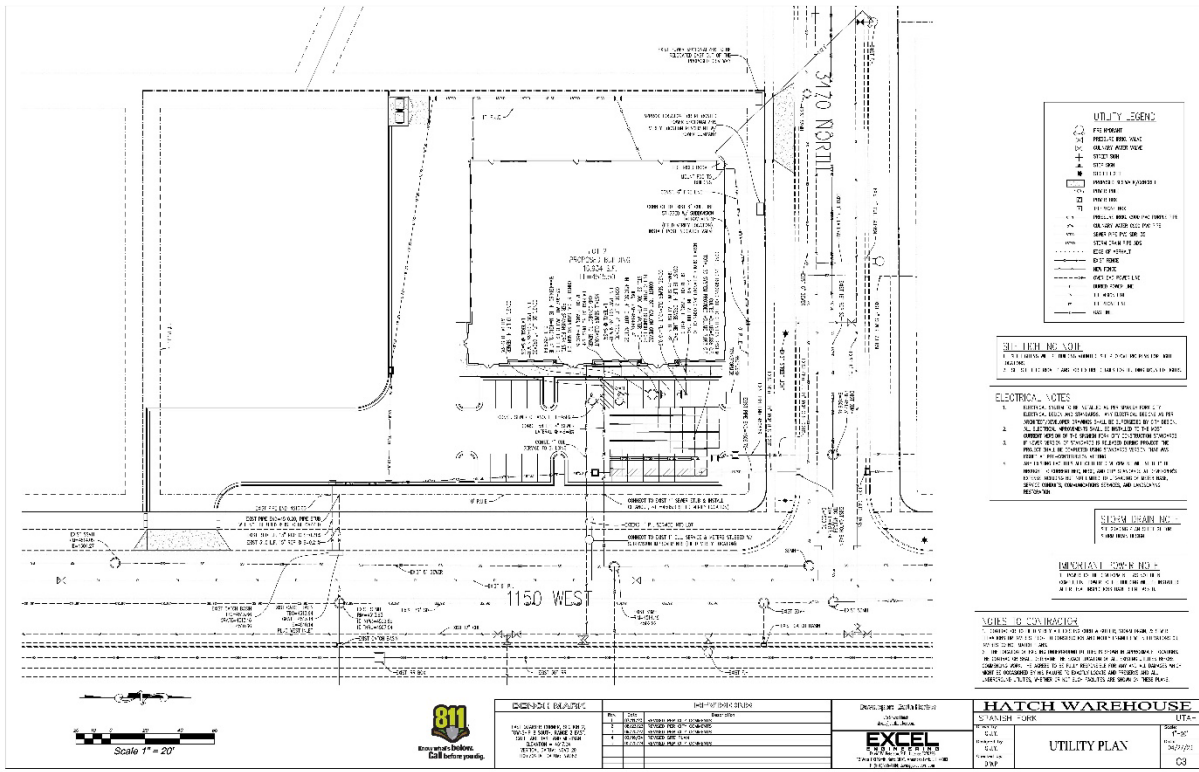
- 1. That the proposal conforms to the City's General Plan land use designation and Zoning Map.

Conditions

- 1. That the applicant meets the City's Zoning requirements and Construction Standards.
- 2. That the applicant addresses any red-lines.

Exhibits

- 1. Site Plan.
- 2. Building Elevations.
- 3. Landscaping.





GENERAL NOTES - ELEVATIONS	
1.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
2.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS

KEY NOTES	
1.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
2.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
3.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
4.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
5.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS

PROJECT NUMBER 22090
ISSUE DATE: 10/24/24
REVISIONS: 1. 10/24/24
PROJECT TITLE HATCH WAREHOUSE 3427 N. 1150 W. SPANISH FORK, UTAH 84660
ELEVATIONS A2.1
JZW ARCHITECTS



WWW.JZW.COM | 3427 N. 1150 W. | SPANISH FORK, UTAH 84660 | PHONE: 435.335.4334

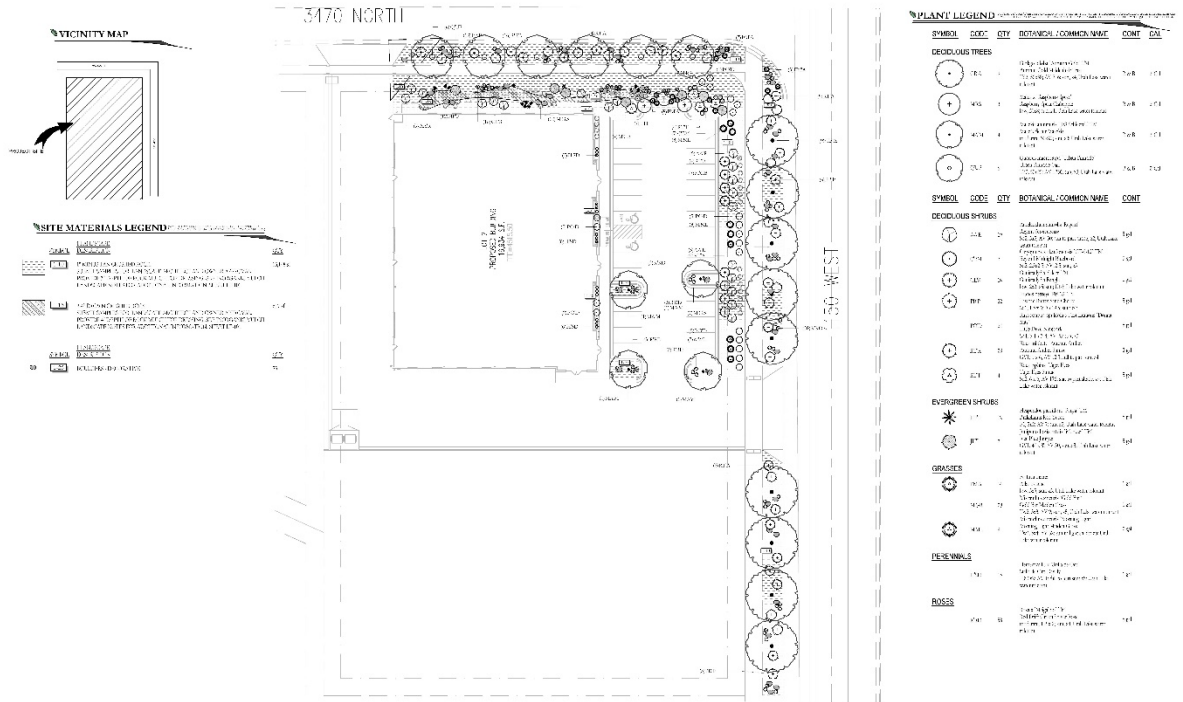
GENERAL NOTES - ELEVATIONS	
1.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
2.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS

KEY NOTES	
1.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
2.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
3.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS
4.	CONFORM TO THE UTAH ARCHITECTURAL BOARD REGULATIONS

PROJECT NUMBER 22090
ISSUE DATE: 10/24/24
REVISIONS: 1. 10/24/24
PROJECT TITLE HATCH WAREHOUSE 3427 N. 1150 W. SPANISH FORK, UTAH 84660
ELEVATIONS A2.2
JZW ARCHITECTS

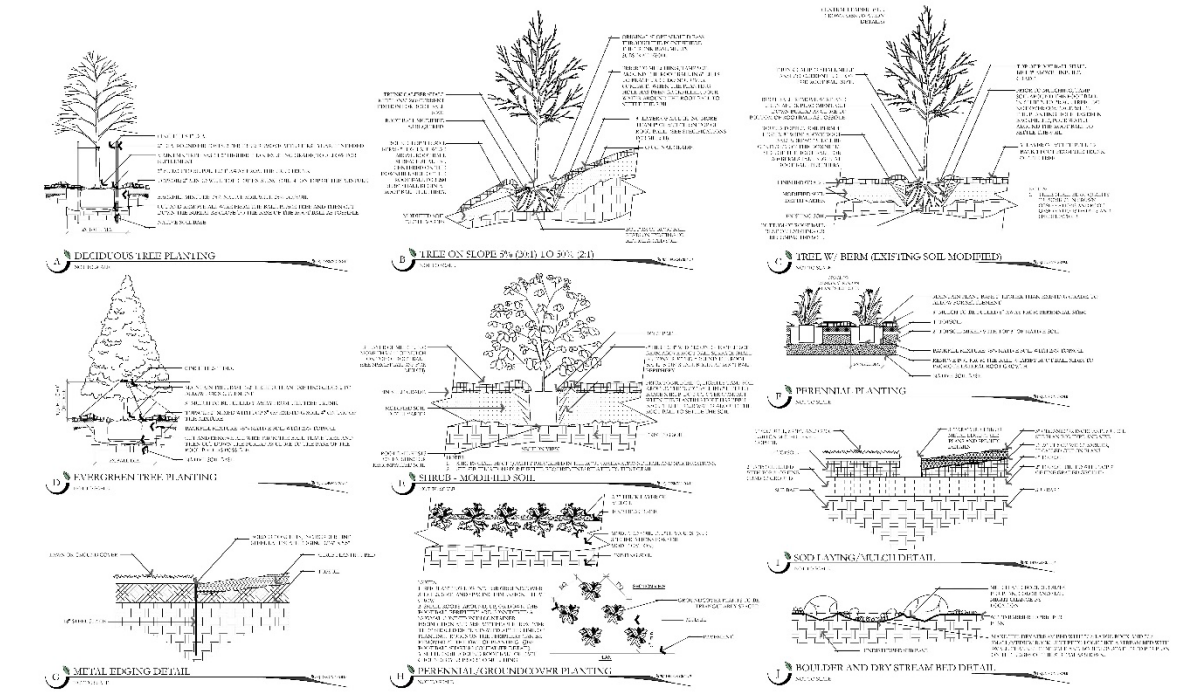


WWW.JZW.COM | 3427 N. 1150 W. | SPANISH FORK, UTAH 84660 | PHONE: 435.335.4334

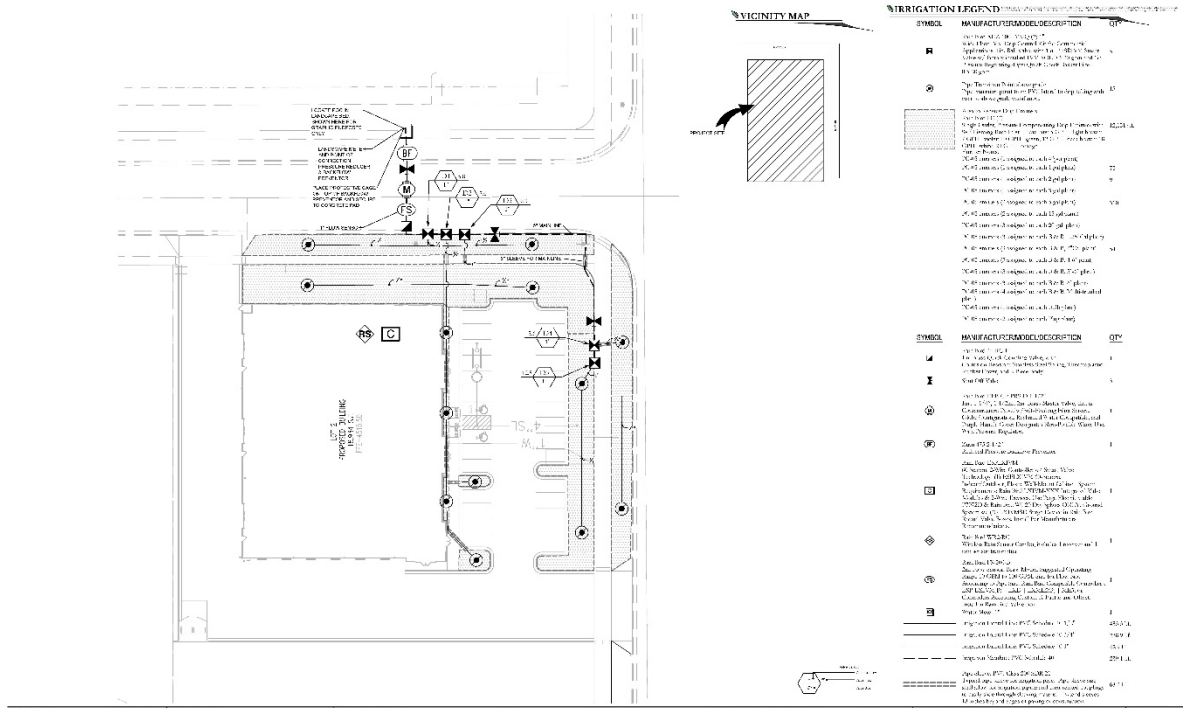


1/1/2024 UT24030
 811 UT 1150 WEST SPANISH FORK UT 84302
 HATCH WAREHOUSE 3427 N. 1150 W. SPANISH FORK, UTAH
 I2W ARCHITECTS ARCHITECTS
 127 S. MAIN ST. SUITE 100 SPANISH FORK, UT 84302
 PKJ DESIGN GROUP LANDSCAPE OVERALL PLAN
 127 S. MAIN ST. SUITE 100 SPANISH FORK, UT 84302
 CITY PERMIT SET TP-100

LANDSCAPE PLAN SPECIFICATIONS
 1.1 GENERAL NOTES
 1.2 MATERIALS
 1.3 PLANTING
 1.4 MAINTENANCE
 1.5 IRRIGATION
 1.6 LIGHTING
 1.7 FURNITURE
 1.8 SIGNAGE
 1.9 UTILITIES
 1.10 ACCESSIBILITY
 1.11 SAFETY
 1.12 ENVIRONMENTAL
 1.13 HISTORIC PRESERVATION
 1.14 OTHER
GENERAL LANDSCAPE NOTES
 1.15
 1.16
 1.17
 1.18
 1.19
 1.20
 1.21
 1.22
 1.23
 1.24
 1.25
 1.26
 1.27
 1.28
 1.29
 1.30
 1.31
 1.32
 1.33
 1.34
 1.35
 1.36
 1.37
 1.38
 1.39
 1.40
 1.41
 1.42
 1.43
 1.44
 1.45
 1.46
 1.47
 1.48
 1.49
 1.50
 1.51
 1.52
 1.53
 1.54
 1.55
 1.56
 1.57
 1.58
 1.59
 1.60
 1.61
 1.62
 1.63
 1.64
 1.65
 1.66
 1.67
 1.68
 1.69
 1.70
 1.71
 1.72
 1.73
 1.74
 1.75
 1.76
 1.77
 1.78
 1.79
 1.80
 1.81
 1.82
 1.83
 1.84
 1.85
 1.86
 1.87
 1.88
 1.89
 1.90
 1.91
 1.92
 1.93
 1.94
 1.95
 1.96
 1.97
 1.98
 1.99
 2.00
 2.01
 2.02
 2.03
 2.04
 2.05
 2.06
 2.07
 2.08
 2.09
 2.10
 2.11
 2.12
 2.13
 2.14
 2.15
 2.16
 2.17
 2.18
 2.19
 2.20
 2.21
 2.22
 2.23
 2.24
 2.25
 2.26
 2.27
 2.28
 2.29
 2.30
 2.31
 2.32
 2.33
 2.34
 2.35
 2.36
 2.37
 2.38
 2.39
 2.40
 2.41
 2.42
 2.43
 2.44
 2.45
 2.46
 2.47
 2.48
 2.49
 2.50
 2.51
 2.52
 2.53
 2.54
 2.55
 2.56
 2.57
 2.58
 2.59
 2.60
 2.61
 2.62
 2.63
 2.64
 2.65
 2.66
 2.67
 2.68
 2.69
 2.70
 2.71
 2.72
 2.73
 2.74
 2.75
 2.76
 2.77
 2.78
 2.79
 2.80
 2.81
 2.82
 2.83
 2.84
 2.85
 2.86
 2.87
 2.88
 2.89
 2.90
 2.91
 2.92
 2.93
 2.94
 2.95
 2.96
 2.97
 2.98
 2.99
 3.00
 3.01
 3.02
 3.03
 3.04
 3.05
 3.06
 3.07
 3.08
 3.09
 3.10
 3.11
 3.12
 3.13
 3.14
 3.15
 3.16
 3.17
 3.18
 3.19
 3.20
 3.21
 3.22
 3.23
 3.24
 3.25
 3.26
 3.27
 3.28
 3.29
 3.30
 3.31
 3.32
 3.33
 3.34
 3.35
 3.36
 3.37
 3.38
 3.39
 3.40
 3.41
 3.42
 3.43
 3.44
 3.45
 3.46
 3.47
 3.48
 3.49
 3.50
 3.51
 3.52
 3.53
 3.54
 3.55
 3.56
 3.57
 3.58
 3.59
 3.60
 3.61
 3.62
 3.63
 3.64
 3.65
 3.66
 3.67
 3.68
 3.69
 3.70
 3.71
 3.72
 3.73
 3.74
 3.75
 3.76
 3.77
 3.78
 3.79
 3.80
 3.81
 3.82
 3.83
 3.84
 3.85
 3.86
 3.87
 3.88
 3.89
 3.90
 3.91
 3.92
 3.93
 3.94
 3.95
 3.96
 3.97
 3.98
 3.99
 4.00
 4.01
 4.02
 4.03
 4.04
 4.05
 4.06
 4.07
 4.08
 4.09
 4.10
 4.11
 4.12
 4.13
 4.14
 4.15
 4.16
 4.17
 4.18
 4.19
 4.20
 4.21
 4.22
 4.23
 4.24
 4.25
 4.26
 4.27
 4.28
 4.29
 4.30
 4.31
 4.32
 4.33
 4.34
 4.35
 4.36
 4.37
 4.38
 4.39
 4.40
 4.41
 4.42
 4.43
 4.44
 4.45
 4.46
 4.47
 4.48
 4.49
 4.50
 4.51
 4.52
 4.53
 4.54
 4.55
 4.56
 4.57
 4.58
 4.59
 4.60
 4.61
 4.62
 4.63
 4.64
 4.65
 4.66
 4.67
 4.68
 4.69
 4.70
 4.71
 4.72
 4.73
 4.74
 4.75
 4.76
 4.77
 4.78
 4.79
 4.80
 4.81
 4.82
 4.83
 4.84
 4.85
 4.86
 4.87
 4.88
 4.89
 4.90
 4.91
 4.92
 4.93
 4.94
 4.95
 4.96
 4.97
 4.98
 4.99
 5.00
 5.01
 5.02
 5.03
 5.04
 5.05
 5.06
 5.07
 5.08
 5.09
 5.10
 5.11
 5.12
 5.13
 5.14
 5.15
 5.16
 5.17
 5.18
 5.19
 5.20
 5.21
 5.22
 5.23
 5.24
 5.25
 5.26
 5.27
 5.28
 5.29
 5.30
 5.31
 5.32
 5.33
 5.34
 5.35
 5.36
 5.37
 5.38
 5.39
 5.40
 5.41
 5.42
 5.43
 5.44
 5.45
 5.46
 5.47
 5.48
 5.49
 5.50
 5.51
 5.52
 5.53
 5.54
 5.55
 5.56
 5.57
 5.58
 5.59
 5.60
 5.61
 5.62
 5.63
 5.64
 5.65
 5.66
 5.67
 5.68
 5.69
 5.70
 5.71
 5.72
 5.73
 5.74
 5.75
 5.76
 5.77
 5.78
 5.79
 5.80
 5.81
 5.82
 5.83
 5.84
 5.85
 5.86
 5.87
 5.88
 5.89
 5.90
 5.91
 5.92
 5.93
 5.94
 5.95
 5.96
 5.97
 5.98
 5.99
 6.00
 6.01
 6.02
 6.03
 6.04
 6.05
 6.06
 6.07
 6.08
 6.09
 6.10
 6.11
 6.12
 6.13
 6.14
 6.15
 6.16
 6.17
 6.18
 6.19
 6.20
 6.21
 6.22
 6.23
 6.24
 6.25
 6.26
 6.27
 6.28
 6.29
 6.30
 6.31
 6.32
 6.33
 6.34
 6.35
 6.36
 6.37
 6.38
 6.39
 6.40
 6.41
 6.42
 6.43
 6.44
 6.45
 6.46
 6.47
 6.48
 6.49
 6.50
 6.51
 6.52
 6.53
 6.54
 6.55
 6.56
 6.57
 6.58
 6.59
 6.60
 6.61
 6.62
 6.63
 6.64
 6.65
 6.66
 6.67
 6.68
 6.69
 6.70
 6.71
 6.72
 6.73
 6.74
 6.75
 6.76
 6.77
 6.78
 6.79
 6.80
 6.81
 6.82
 6.83
 6.84
 6.85
 6.86
 6.87
 6.88
 6.89
 6.90
 6.91
 6.92
 6.93
 6.94
 6.95
 6.96
 6.97
 6.98
 6.99
 7.00
 7.01
 7.02
 7.03
 7.04
 7.05
 7.06
 7.07
 7.08
 7.09
 7.10
 7.11
 7.12
 7.13
 7.14
 7.15
 7.16
 7.17
 7.18
 7.19
 7.20
 7.21
 7.22
 7.23
 7.24
 7.25
 7.26
 7.27
 7.28
 7.29
 7.30
 7.31
 7.32
 7.33
 7.34
 7.35
 7.36
 7.37
 7.38
 7.39
 7.40
 7.41
 7.42
 7.43
 7.44
 7.45
 7.46
 7.47
 7.48
 7.49
 7.50
 7.51
 7.52
 7.53
 7.54
 7.55
 7.56
 7.57
 7.58
 7.59
 7.60
 7.61
 7.62
 7.63
 7.64
 7.65
 7.66
 7.67
 7.68
 7.69
 7.70
 7.71
 7.72
 7.73
 7.74
 7.75
 7.76
 7.77
 7.78
 7.79
 7.80
 7.81
 7.82
 7.83
 7.84
 7.85
 7.86
 7.87
 7.88
 7.89
 7.90
 7.91
 7.92
 7.93
 7.94
 7.95
 7.96
 7.97
 7.98
 7.99
 8.00
 8.01
 8.02
 8.03
 8.04
 8.05
 8.06
 8.07
 8.08
 8.09
 8.10
 8.11
 8.12
 8.13
 8.14
 8.15
 8.16
 8.17
 8.18
 8.19
 8.20
 8.21
 8.22
 8.23
 8.24
 8.25
 8.26
 8.27
 8.28
 8.29
 8.30
 8.31
 8.32
 8.33
 8.34
 8.35
 8.36
 8.37
 8.38
 8.39
 8.40
 8.41
 8.42
 8.43
 8.44
 8.45
 8.46
 8.47
 8.48
 8.49
 8.50
 8.51
 8.52
 8.53
 8.54
 8.55
 8.56
 8.57
 8.58
 8.59
 8.60
 8.61
 8.62
 8.63
 8.64
 8.65
 8.66
 8.67
 8.68
 8.69
 8.70
 8.71
 8.72
 8.73
 8.74
 8.75
 8.76
 8.77
 8.78
 8.79
 8.80
 8.81
 8.82
 8.83
 8.84
 8.85
 8.86
 8.87
 8.88
 8.89
 8.90
 8.91
 8.92
 8.93
 8.94
 8.95
 8.96
 8.97
 8.98
 8.99
 9.00
 9.01
 9.02
 9.03
 9.04
 9.05
 9.06
 9.07
 9.08
 9.09
 9.10
 9.11
 9.12
 9.13
 9.14
 9.15
 9.16
 9.17
 9.18
 9.19
 9.20
 9.21
 9.22
 9.23
 9.24
 9.25
 9.26
 9.27
 9.28
 9.29
 9.30
 9.31
 9.32
 9.33
 9.34
 9.35
 9.36
 9.37
 9.38
 9.39
 9.40
 9.41
 9.42
 9.43
 9.44
 9.45
 9.46
 9.47
 9.48
 9.49
 9.50
 9.51
 9.52
 9.53
 9.54
 9.55
 9.56
 9.57
 9.58
 9.59
 9.60
 9.61
 9.62
 9.63
 9.64
 9.65
 9.66
 9.67
 9.68
 9.69
 9.70
 9.71
 9.72
 9.73
 9.74
 9.75
 9.76
 9.77
 9.78
 9.79
 9.80
 9.81
 9.82
 9.83
 9.84
 9.85
 9.86
 9.87
 9.88
 9.89
 9.90
 9.91
 9.92
 9.93
 9.94
 9.95
 9.96
 9.97
 9.98
 9.99
 10.00
 10.01
 10.02
 10.03
 10.04
 10.05
 10.06
 10.07
 10.08
 10.09
 10.10
 10.11
 10.12
 10.13
 10.14
 10.15
 10.16
 10.17
 10.18
 10.19
 10.20
 10.21
 10.22
 10.23
 10.24
 10.25
 10.26
 10.27
 10.28
 10.29
 10.30
 10.31
 10.32
 10.33
 10.34
 10.35
 10.36
 10.37
 10.38
 10.39
 10.40
 10.41
 10.42
 10.43
 10.44
 10.45
 10.46
 10.47
 10.48
 10.49
 10.50
 10.51
 10.52
 10.53
 10.54
 10.55
 10.56
 10.57
 10.58
 10.59
 10.60
 10.61
 10.62
 10.63
 10.64
 10.65
 10.66
 10.67
 10.68
 10.69
 10.70
 10.71
 10.72
 10.73
 10.74
 10.75
 10.76
 10.77
 10.78
 10.79
 10.80
 10.81
 10.82
 10.83
 10.84
 10.85
 10.86
 10.87
 10.88
 10.89
 10.90
 10.91
 10.92
 10.93
 10.94
 10.95
 10.96
 10.97
 10.98
 10.99
 11.00
 11.01
 11.02
 11.03
 11.04
 11.05
 11.06
 11.07
 11.08
 11.09
 11.10
 11.11
 11.12
 11.13
 11.14
 11.15
 11.16
 11.17
 11.18
 11.19
 11.20
 11.21
 11.22
 11.23
 11.24
 11.25
 11.26
 11.27
 11.28
 11.29
 11.30
 11.31
 11.32
 11.33
 11.34
 11.35
 11.36
 11.37
 11.38
 11.39
 11.40
 11.41
 11.42
 11.43
 11.44
 11.45
 11.46
 11.47
 11.48
 11.49
 11.50
 11.51
 11.52
 11.53
 11.54
 11.55
 11.56
 11.57
 11.58
 11.59
 11.60
 11.61
 11.62
 11.63
 11.64
 11.65
 11.66
 11.67
 11.68
 11.69
 11.70
 11.71
 11.72
 11.73
 11.74
 11.75
 11.76
 11.77
 11.78
 11.79
 11.80
 11.81
 11.82
 11.83
 11.84
 11.85
 11.86
 11.87
 11.88
 11.89
 11.90
 11.91
 11.92
 11.93
 11.94
 11.95
 11.96
 11.97
 11.98
 11.99
 12.00
 12.01
 12.02
 12.03
 12.04
 12.05
 12.06
 12.07
 12.08
 12.09
 12.10
 12.11
 12.12
 12.13
 12.14
 12.15
 12.16
 12.17
 12.18
 12.19
 12.20
 12.21
 12.22
 12.23
 12.24
 12.25
 12.26
 12.27
 12.28
 12.29
 12.30
 12.31
 12.32
 12.33
 12.34
 12.35
 12.36
 12.37
 12.38
 12.39
 12.40
 12.41
 12.42
 12.43
 12.44
 12.45
 12.46
 12.47
 12.48
 12.49
 12.50
 12.51
 12.52
 12.53
 12.54
 12.55
 12.56
 12.57
 12.58
 12.59
 12.60
 12.61
 12.62
 12.63
 12.64
 12.65
 12.66
 12.67
 12.68
 12.69
 12.70
 12.71
 12.72
 12.73
 12.74
 12.75
 12.76
 12.77
 12.78
 12.79
 12.80
 12.81
 12.82
 12.83
 12.84
 12.85
 12.86
 12.87
 12.88
 12.89
 12.90
 12.91
 12.92
 12.93
 12.94
 12.95
 12.96
 12.97
 12.98
 12.99
 13.00
 13.01
 13.02
 13.03
 13.04
 13.05
 13.06
 13.07
 13.08
 13.09
 13.10
 13.11
 13.12
 13.13
 13.14
 13.15
 13.16
 13.17
 13.18
 13.19
 13.20
 13.21
 13.22
 13.23
 13.24
 13.25
 13.26
 13.27
 13.28
 13.29
 13.30
 13.31
 13.32
 13.33
 13.34
 13.35
 13.36
 13.37
 13.38
 13.39
 13.40
 13.41
 13.42
 13.43
 13.44
 13.45
 13.46
 13.47
 13.48
 13.49
 13.50
 13.51
 13.52
 13.53
 13.54
 13.55
 13.56
 13.57
 13.58
 13.59
 13.60
 13.61
 13.62
 13.63
 13.64
 13.65
 13.66
 13.67
 13.68
 13.69
 13.70
 13.71



1/1/2024 NO. 81 DATE: 8/11/2024 811 UTILITY LOCATIONS CITY OF SPANISH FORK 3427 N. 1150 W.	HATCH WAREHOUSE 3427 N. 1150 W. SPANISH FORK, UTAH	I2W ARCHITECTS 415 S. SYDNEY GARCIA SUITE 400 SPANISH FORK, UTAH 84643	LANDSCAPE ARCHITECTS 1501 N. 1150 W. SUITE 100 SPANISH FORK, UTAH 84643 www.pkjdesign.com	CITY PERMIT SET TP-501
---	---	---	--	----------------------------------



1/1/2024 NO. 81 DATE: 8/11/2024 811 UTILITY LOCATIONS CITY OF SPANISH FORK 3427 N. 1150 W.	HATCH WAREHOUSE 3427 N. 1150 W. SPANISH FORK, UTAH	I2W ARCHITECTS 415 S. SYDNEY GARCIA SUITE 400 SPANISH FORK, UTAH 84643	LANDSCAPE ARCHITECTS 1501 N. 1150 W. SUITE 100 SPANISH FORK, UTAH 84643 www.pkjdesign.com	CITY PERMIT SET TR-100
---	---	---	--	----------------------------------

IRRIGATION PLAN SPECIFICATIONS

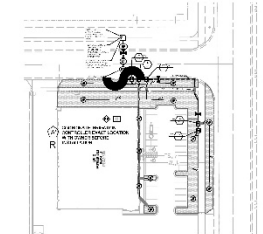
1.0 GENERAL
1.1 SUMMARY
1.2 RELATED SECTIONS
1.3 REFERENCES
1.4 NOTES
1.5 MATERIALS
1.6 CONSTRUCTION
1.7 MAINTENANCE

WATERING SCHEDULE

Table with columns for Day, Time, and Watering Status. Includes a legend for watering status.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO THE PLANTS...

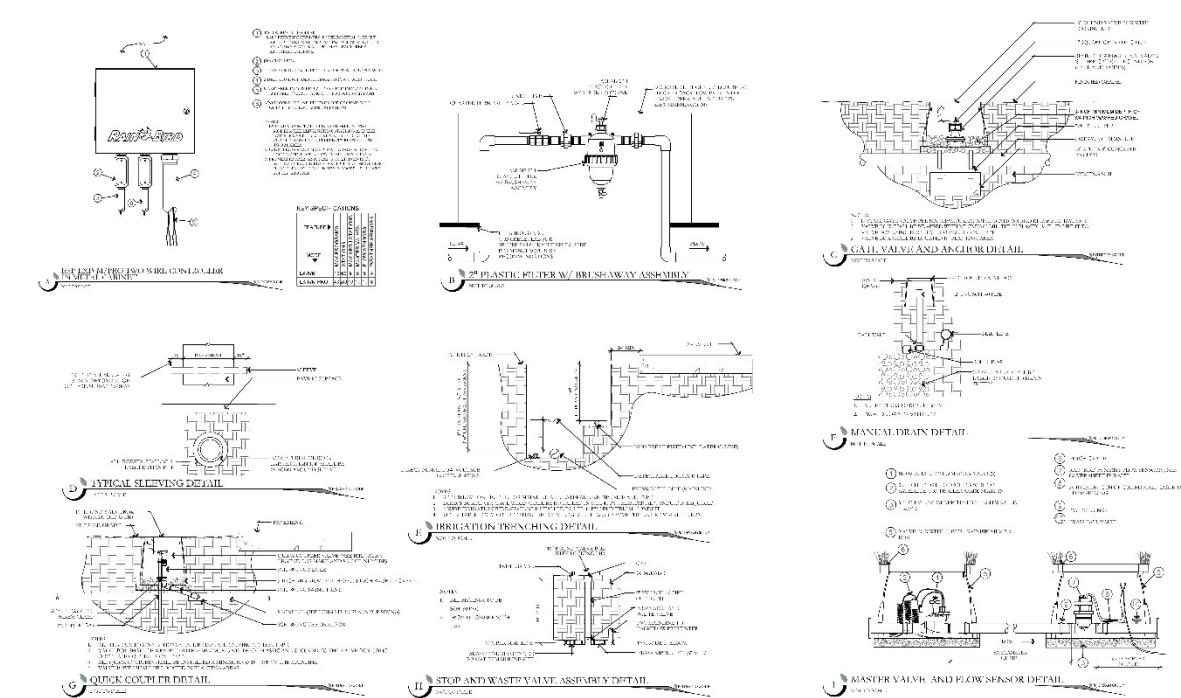


15' MAINTENANCE ROOM, CONTROLLER AND P.O.C. LOCATION OVERVIEW

Project information: 5/17/2014, UT24030, 811, and a north arrow.

HATCH WAREHOUSE
3427 N. 1150 W.
SPANISH FORK, UTAH

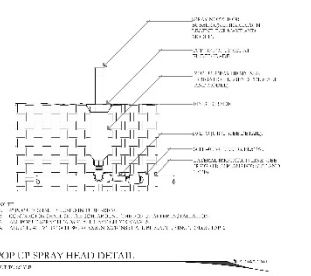
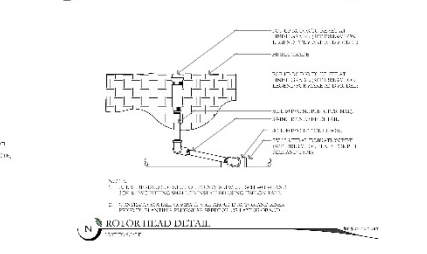
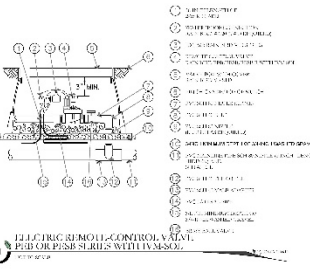
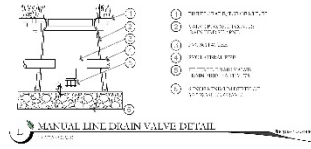
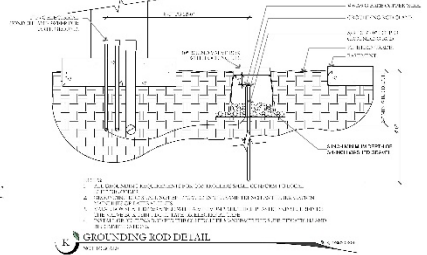
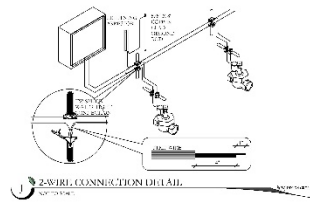
Architectural firm: PKJ DESIGN GROUP, IRRIGATION COVER, CITY PERMIT SET, IR-101.



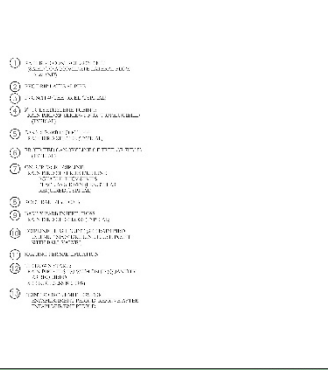
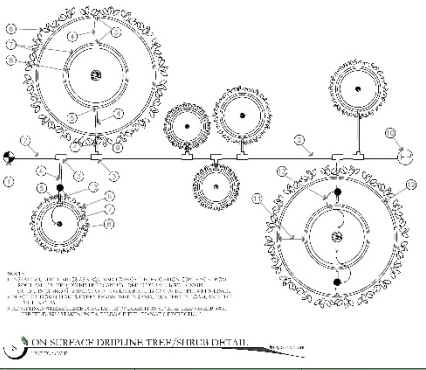
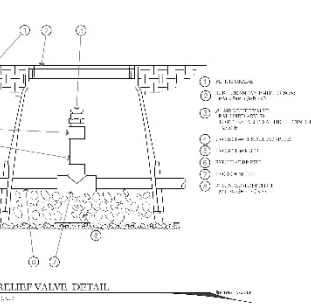
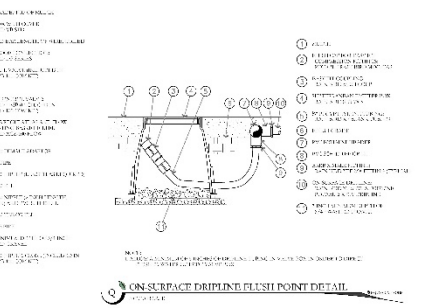
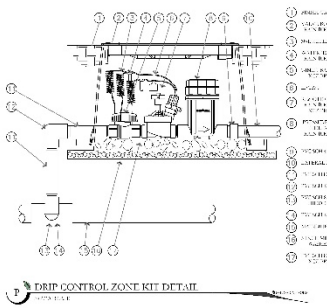
Project information: 5/22/2014, UT23063, 811, and a north arrow.

HATCH WAREHOUSE
3427 N. 1150 W.
SPANISH FORK, UTAH

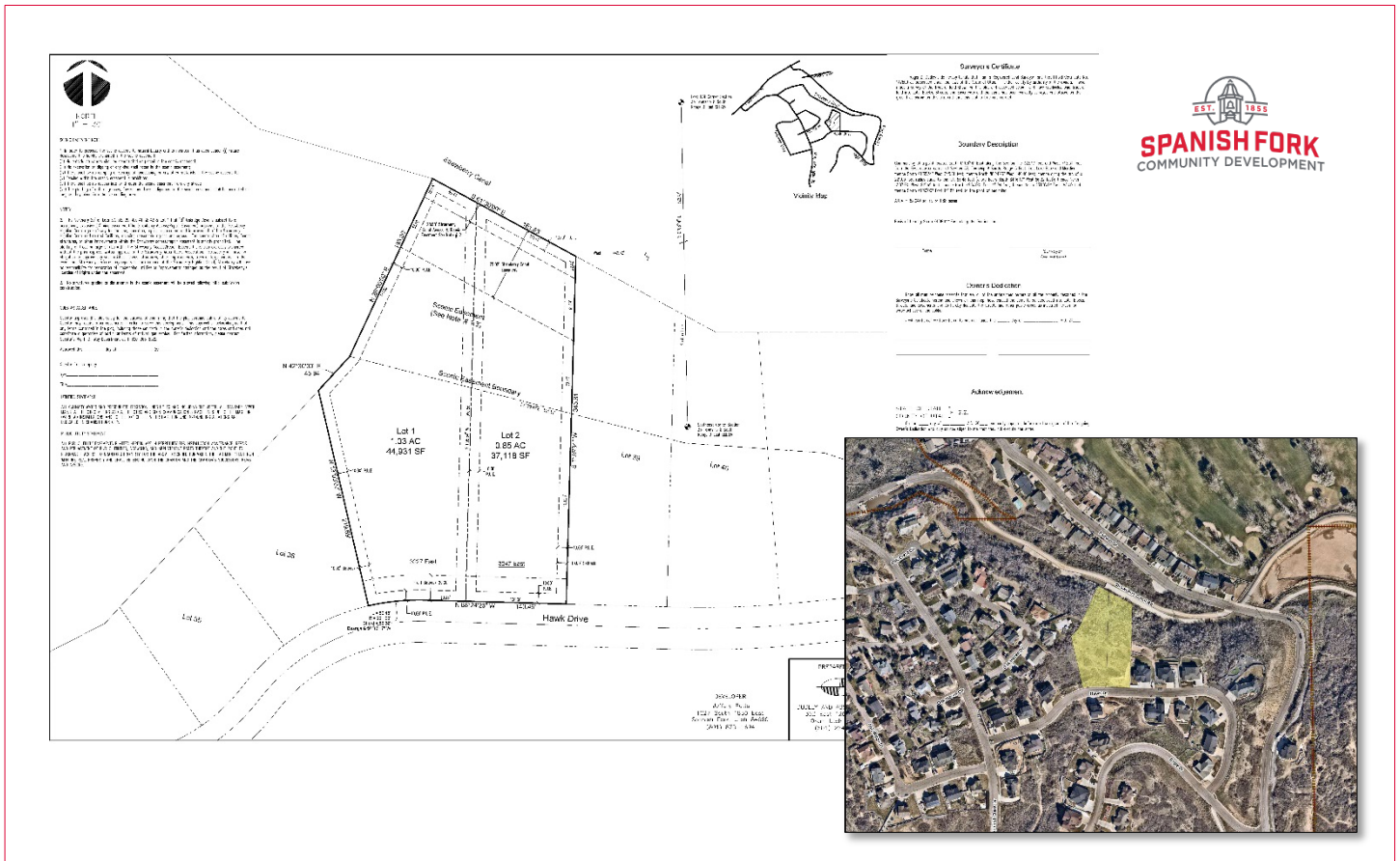
Architectural firm: PKJ DESIGN GROUP, IRRIGATION DETAILS, CITY PERMIT SET, IR-501.



DATE: 5/17/2024	PROJECT: UT24030	SCALE: 8 1/4\"/>
HATCH WAREHOUSE 3427 N. 1150 W. SPANISH FORK, UTAH		
I&W ARCHITECTS 475 S. 2500 W. GARCIA SUITE 400 WEST SALT LAKE CITY, UT 84119 TEL: 313.444.4444 WWW.I&WARCHITECTS.COM		 1000 N. 1500 W. SUITE 100 SALT LAKE CITY, UT 84119 TEL: 313.444.4444 WWW.PKJDESIGNGROUP.COM
IRRIGATION DETAILS CITY PERMIT SET IR-502		



DATE: 5/17/2024	PROJECT: UT24030	SCALE: 8 1/4\"/>
HATCH WAREHOUSE 3427 N. 1150 W. SPANISH FORK, UTAH		
I&W ARCHITECTS 475 S. 2500 W. GARCIA SUITE 400 WEST SALT LAKE CITY, UT 84119 TEL: 313.444.4444 WWW.I&WARCHITECTS.COM		 1000 N. 1500 W. SUITE 100 SALT LAKE CITY, UT 84119 TEL: 313.444.4444 WWW.PKJDESIGNGROUP.COM
IRRIGATION DETAILS CITY PERMIT SET IR-503		



**Oakridge Cove Plat F
Minor Plat Amendment Approval Request**

August 21, 2024, Development Review Committee meeting.
 Located at 3235 East Hawk Drive, including 1.88 acres.
 The subject property is zoned R-1-30 with Master Planned Development.
 The applicant has requested that a Minor Plat Amendment be approved in order to create 2 residential lots.

Key Issues

- 1. Easements.

Recommendation

That the proposed Minor Plat Amendment be approved based on the following finding and subject to the following conditions.

Finding

- 1. That the proposal conforms to the City's General Plan land use designation and Zoning Map.

Conditions

- 1. That the applicant meets the City's Development and Construction standards, zoning requirements, and other applicable City ordinances.
- 2. That the applicant addresses any red-lines.

Exhibits

- 1. Plat.

LEGEND

- EXISTING TOWER/HOBBS
- ACCESS ROAD
- EXISTING BUILDING
- POLE LINE
- TRUNKLINE LINE
- PROPERTY LINE
- EXISTENT LINE
- UTILITY POLE
- OVERHEAD WIRE

GENERAL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITIES COMPANY OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND NOTIFICATIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE ARIZONA CONSTRUCTION MANAGER IN WRITING OF ANY CONFLICT, CONCERN OR OBJECTION PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK UNDER CONTRACT OR BEFORE THE BID IS OPENED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY CONFLICTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF THE WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL NECESSARY EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE PROJECT SITE PRIOR TO SUBMITTING A BID TO NOTIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL MAINTAIN A "LEFT TURN YIELD" TO LEGAL ALL UTILITIES AND NOTIFY LAUDERDALE FACILITIES PROTECTIVE DEPARTMENT AT (800) 424-5555 PRIOR TO EXCAVATION AT SITE.
8. ANY UNDERGROUND UTILITIES OR STRUCTURES THAT EXIST BENEATH THE PROJECT AREA, CONTRACTOR MUST LOCATE IT AND CONTACT THE APPLICANT & THE OWNER'S REPRESENTATIVE.
9. NO SIGNIFICANT NOISE, SMOG, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
10. THE FACILITY IS UNARMED AND NOT INTENDED FOR HUMAN HABITATION (NO VANDAL ACCESS REQUIRED).
11. THE FACILITY IS UNARMED AND DOES NOT REQUIRE PORTABLE WATER OR SANITARY SEWER.
12. POWER TO THE FACILITY WILL BE MONITORED BY A SECURITY WARDEN.
13. THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR THIS INSTALLATION.
14. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED IN ANY FILL OR UNARMED AREA.
15. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES MUST BE IDENTIFIED IN THE WORK SHALL BE PROTECTED BY ALL TIES AND WARE. DIRECTED BY UTILITY OWNER. EXTREME CARE SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PILING MATERIALS OR MAKING TRENCHES.
16. THE AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITY SHALL BE GRADED AND RESTORED FOR CODE/LANDSCAPE REQUIREMENTS.
17. CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING SITE DURING CONSTRUCTION. THROUGH CORRIDOR, MANHOLES SHALL BE IN COMPLIANCE WITH THE LOCAL ORDINANCES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH THE MUNICIPALITY.
18. ALL NEW SIGNAGE SHALL BE PLACED ABOVE ALL NEW CONDUITS AT MAX 18" 5/8" DEPTH BELOW GRADE.
19. SEE CONTRACTOR RESPONSIBILITIES.
20. INSTALLATION OF POWER AND TELECOM CONDUIT FROM MULTI-GANG METER RACK AND TOWER ENCLOSURE.
21. INSTALLATION OF WIRE BUNDLE SUPPORT FROM AT&T LEASED AREA TO TOWER.
22. TOWER AND FEED LINE FROM AT&T GROUND EQUIPMENT TO ANTENNA MOUNT LOCATED ON TOWER.
23. AT&T ANTENNA TOWER AND APPROPRIATE FEED EQUIPMENT TO ANTENNA MOUNTING PLATFORM AT 190 FEET IN ACCORDANCE WITH AT&T FEEDS.

OVERALL SITE PLAN

AT&T
2505 E. CANYON RD.
SPANISH FORK, UT 84660

smartlink
1987 ANNAPOLIS STORAGE PARKWAY
ANNAPOLIS, MD 21401

Trylon
1825 W. WILLOW HILL LANE, SUITE 100
SPRING VALLEY, UT 84606
(360) 388-1241

PROFESSIONAL ENGINEER

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	1/10/24	100% CD	SP
2	1/16/24	100% CD	SP
3	1/16/24	100% CD	YL
4	1/16/24	100% CD	SP
5	1/16/24	100% CD	SP
6	1/16/24	100% CD	SP
7	1/16/24	100% CD	SP
8	1/16/24	100% CD	SP

AT&T 2505 E. Canyon Rd. Tower Modification 2024 Conditional Use Permit Approval Request

August 21, 2024, Development Review Committee meeting.
 Located at approximately 2505 East Canyon Road.
 The subject property is zoned P-F.
 The applicant has requested that a Conditional Use Permit be approved in order to allow for the construction of a new cell tower.

Key Issues

1. Potential impacts.
2. Site.
3. Lease Agreement.
4. Power Clearances.

Recommendation

That the proposed Conditional Use Permit be recommended for approval based on the following finding and subject to the following conditions.

Finding

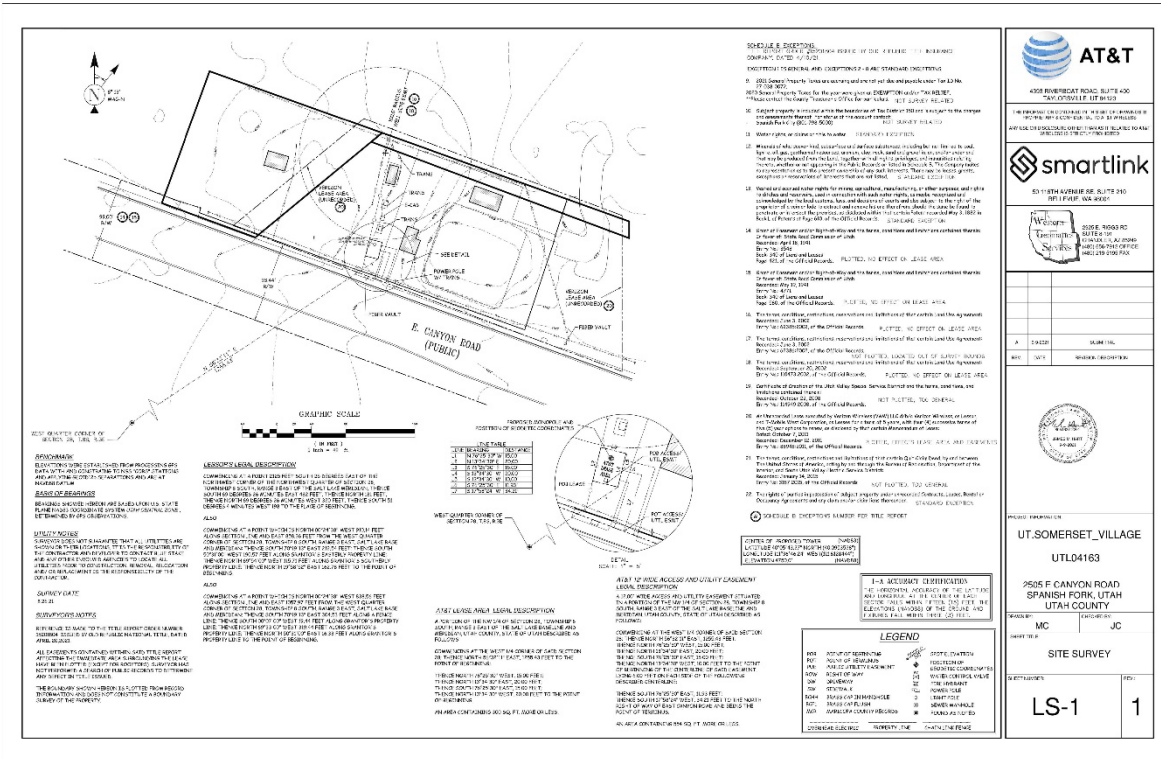
1. That the proposal conforms to the City's General Plan Designation and Zoning Map.

Conditions

1. That the applicant meets the City's Development and Construction standards, zoning requirements, and other applicable City ordinances.
2. That the applicant addresses any red-lines.
3. That the applicant notifies the Water and Power Departments a minimum of 48 hours prior to work commencing.
4. That work hours be limited to 8 am to 6 pm.
5. Verification with the City that there is a current lease agreement for the area.

Exhibits

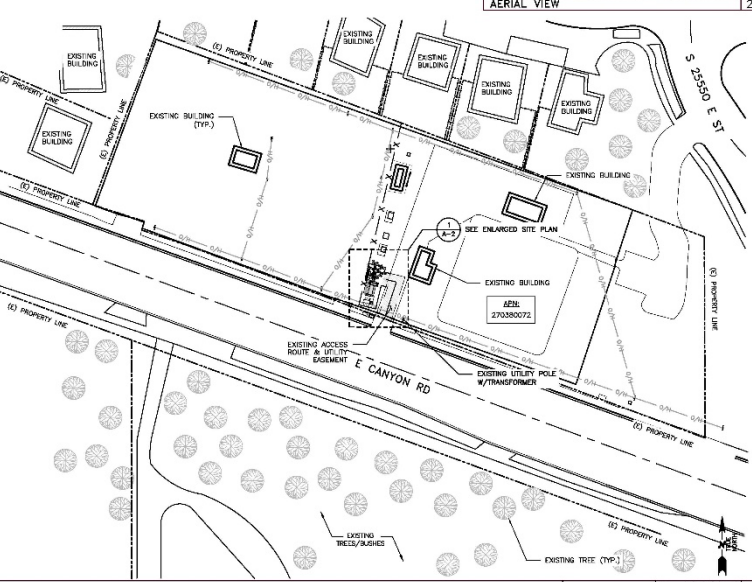
1. Plans.



LEGEND

- EXISTING TREES/BUSHES
- ACCESS ROAD
- EXISTING BUILDING
- FENCE LINE
- TREE/BUSH LINE
- PROPERTY LINE
- EXISTMENT LINE
- UTILITY POLE
- OVERHEAD WIRE

- GENERAL NOTES:**
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITIES COMPANY OR OTHER PUBLIC AUTHORITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AGENCIES.
 - THE CONTRACTOR SHALL NOTIFY THE AT&T CONSTRUCTION MANAGER IN WRITING OF ANY CONTACT, DISCORD OR OMISSION PRIOR TO THE SUBMISSION OF SDS OR PERFORMANCE OF WORK. MAJOR OMISSIONS OR ERRORS IN THE DOCUMENTS SHALL NOT INFLUENCE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DOCUMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
 - THE SCOPE OF THE WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - CONTRACTOR SHALL MAKE A UTILITY TANK ONLY TO LOCATE ALL UTILITIES AND NOTIFY UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION AT (800) 424-5659 PRIOR TO EXCAVATION AT SITE.
 - ANY UNDERGROUND UTILITIES OR STRUCTURES THAT EXIST BENEATH THE PROJECT AREA, CONTRACTOR MUST LOCATE IT AND CONTACT THE APPLICABLE & THE OWNER'S REPRESENTATIVE.
 - NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
 - THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
 - THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
 - POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
 - THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR THIS INSTALLATION.
 - NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED IN ANY FILL OR OUBANKMENT.
 - ALL EXISTING ACCESS, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHICH ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE DISRUPTED BY EXISTING OR NEW CONDUIT, REPAIR OR REPLACEMENT SHALL BE THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
 - THE AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITY SHALL BE GRASSED AND RESTORED FOR SOIL/VEGETATION REQUIREMENTS.
 - CONTRACTOR SHALL MINIMIZE OBSTRUCTION TO EXISTING SITE DURING CONSTRUCTION. EXISTING GENERAL REQUIREMENTS SHALL BE MAINTAINED WITH THE LOCAL ORDINANCES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH THE MUNICIPALITY.
 - UTILITY WARNING TAPE SHALL BE PLACED ABOVE ALL NEW CONDUITS AT MAX 18" DEPTH BELOW GRADE.
 - AT&T CONTRACTOR RESPONSIBILITIES:
 - INSTALLATION OF POWER AND TELECOM CONDUIT FROM MULTI-GANG METER RACK AND TELECOM CABINETS.
 - INSTALLATION OF WIRE GUIDE SUPPORT FROM AT&T LEASED AREA TO TOWER ROSE.
 - POWER AND FIBER LINES FROM AT&T DRILLING EQUIPMENT TO ANTENNA MOUNTING PLATFORM ON TOWER.
 - FOR ANTENNAS: RISE AND APPROPRIATE MOUNT EQUIPMENT TO ANTENNA MOUNTING PLATFORM AT RIG CENTER IN ACCORDANCE WITH AT&T WDS.



AT&T
2420 E. CANYON RD
SPANISH FORK, UT 84601

smartlink
1907 ANNAPOLIS EXCHANGE PARKWAY
ANNAPOLIS, MD 21401

Trylon
1855 W. WALNUT HILL LANE, SUITE 100
SPRINGFIELD, MO 65704
TEL: 417-882-1441

REVISIONS

REV	DATE	DESCRIPTION	BY
1	11/19/23	ISSUE FOR PERMITS	MP
2	04/04/24	ISSUE FOR PERMITS	DN
3	04/04/24	ISSUE FOR PERMITS	TEL
4	04/04/24	ISSUE FOR PERMITS	DN
5	04/04/24	ISSUE FOR PERMITS	DN
6	04/04/24	ISSUE FOR PERMITS	DN
7	04/04/24	ISSUE FOR PERMITS	DN
8	04/04/24	ISSUE FOR PERMITS	DN



SITE INFORMATION

LTE 1C/2C/3C/4C/5C/5G NR 1SR
UTL04163

SOMERSET VILLAGE

FA# 15201804
USID: 308018

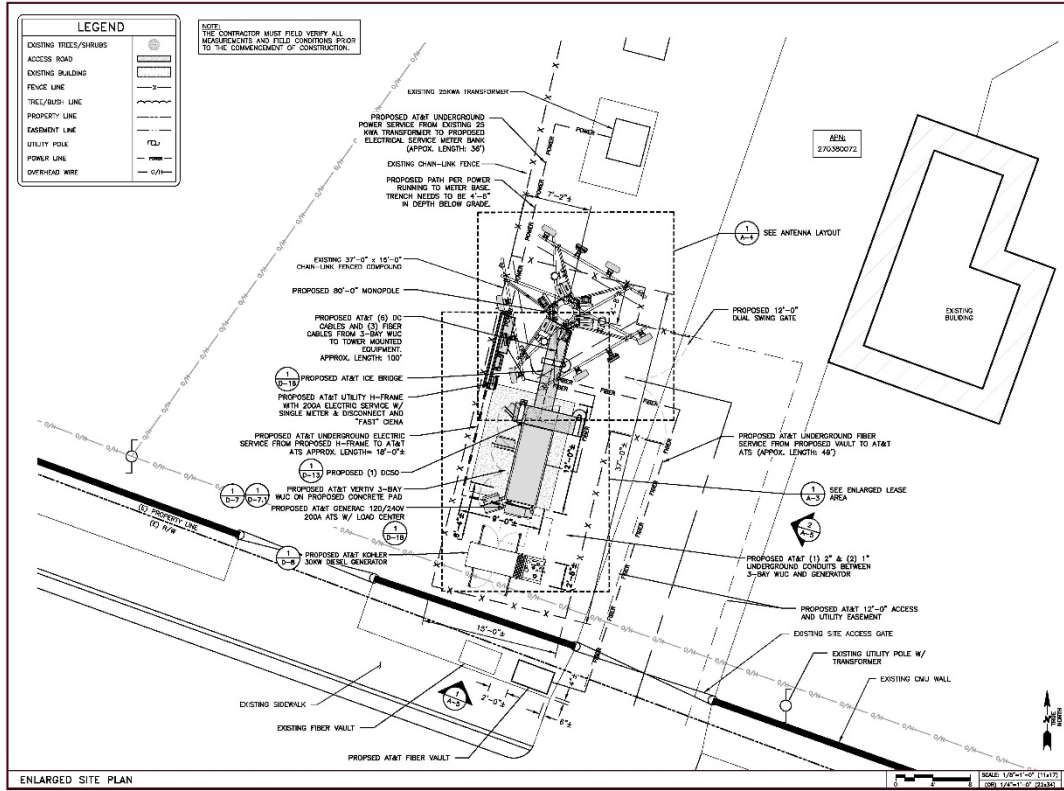
SITE ADDRESS:
2400 E. CANYON RD SPANISH FORK, UT 84601 UTAH COUNTY

SHEET DESCRIPTION

OVERALL SITE PLAN

SHEET NO.

A-1



AT&T
 7820 S. CENTER ST.
 CENTENNIAL, CO. 80112

smartlink
 1907 ANNAPOLIS EXCHANGE PARKWAY,
 ANNAPOLIS, MD 21401

Trylon
 1855 W. WALNUT HILL LANE, SUITE 100
 SPANISH FORK, UTAH 84660
 (801) 388-5431

DRAWING SCALES ARE INTENDED FOR 11x17 SIZE PLOTTED WITH S&P.

SUBMITTALS

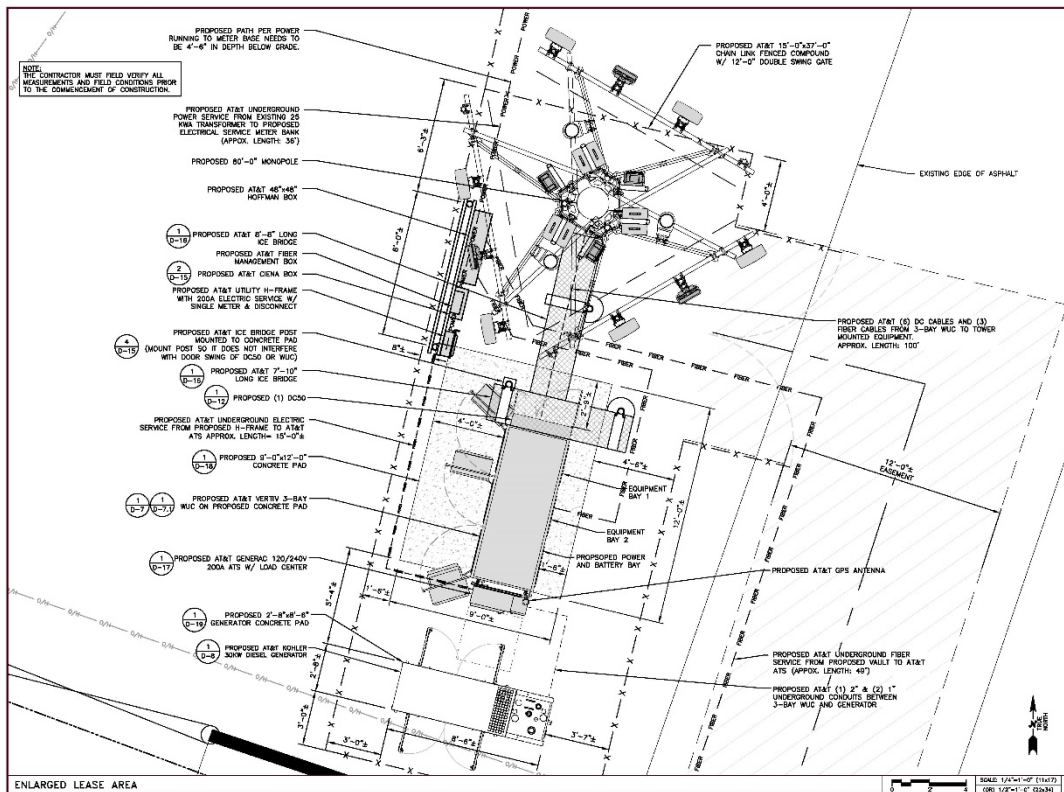
REV	DATE	DESCRIPTION	BY
1	11/16/20	100% CD	SP
2	10/16/21	100% CD	DN
3	10/16/21	100% CD	TEL
4	04/14/24	100% CD	DN
5	04/14/24	100% CD	DN
6	10/16/24	100% CD	DN
7	10/16/24	100% CD	DN
8	10/16/24	100% CD	DN

PROFESSIONAL ENGINEER
 7/30/2024
 No. 13231590-2303
 MICHAEL S. MOORE
 STATE OF UTAH

SITE INFORMATION
 LITE 1C/2C/3C/4C/5C/
 5G NR 15R
 UTL04163
 SOMERSET_VILLAGE
 F&B: 15201804
 USID: 308018
SITE ADDRESS:
 2489 E. CANYON RD SPANISH FORK, UT 84660
 UTAH COUNTY

SHEET DESCRIPTION
 ENLARGED SITE PLAN

SHEET NO.
 A-2



AT&T
 7820 S. CENTER ST.
 CENTENNIAL, CO. 80112

smartlink
 1907 ANNAPOLIS EXCHANGE PARKWAY,
 ANNAPOLIS, MD 21401

Trylon
 1855 W. WALNUT HILL LANE, SUITE 100
 SPANISH FORK, UTAH 84660
 (801) 388-5431

DRAWING SCALES ARE INTENDED FOR 11x17 SIZE PLOTTED WITH S&P.

SUBMITTALS

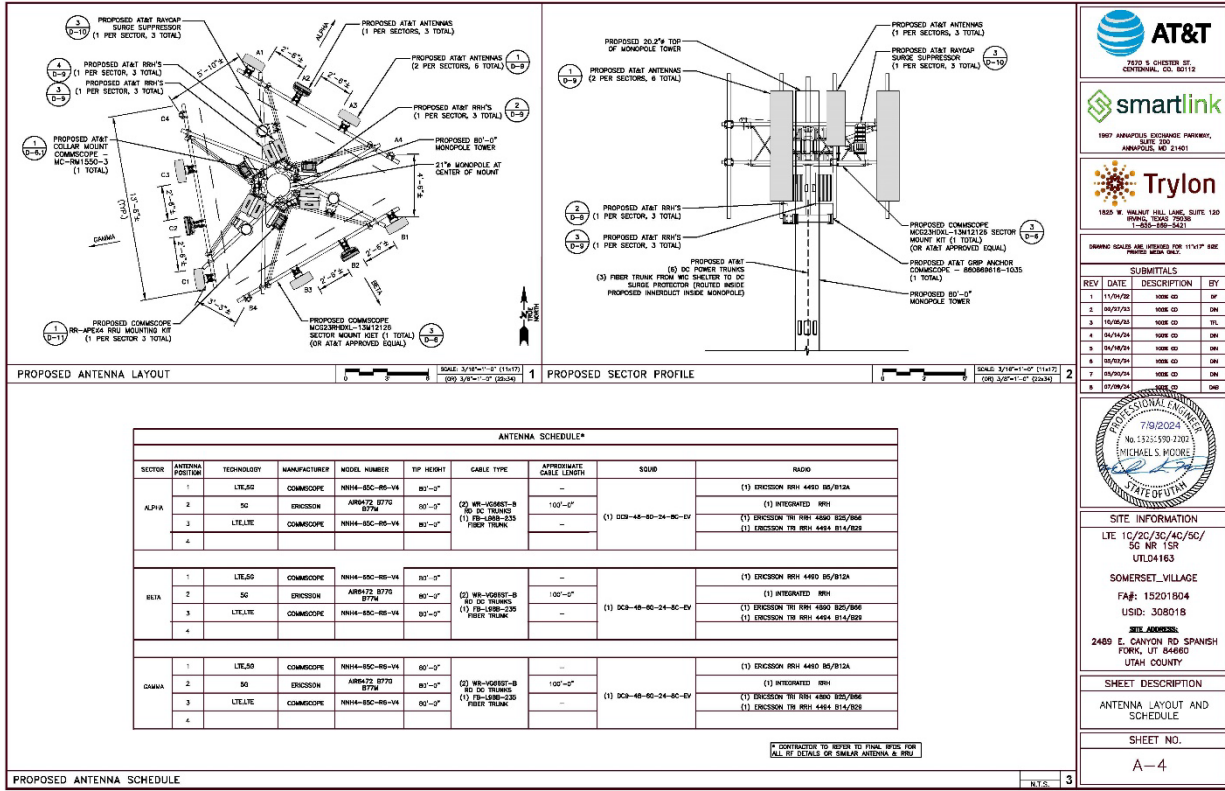
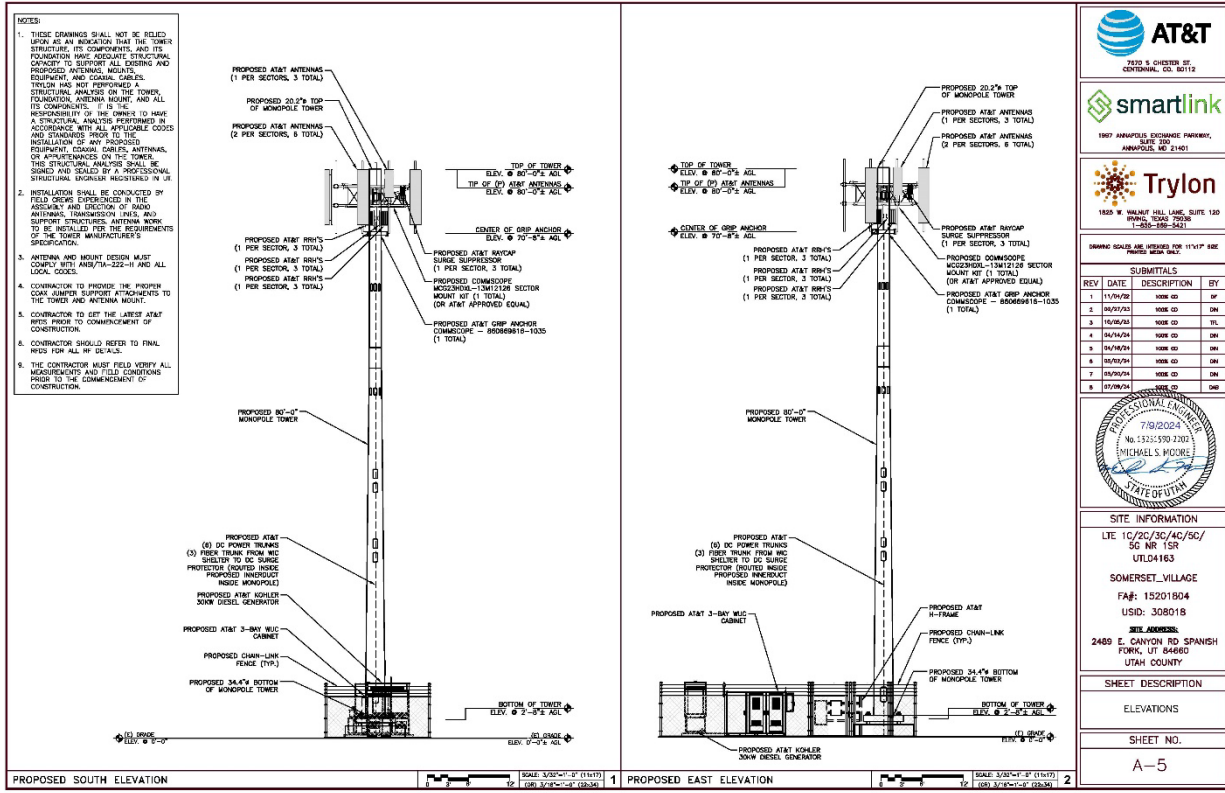
REV	DATE	DESCRIPTION	BY
1	11/16/20	100% CD	SP
2	10/16/21	100% CD	DN
3	10/16/21	100% CD	TEL
4	04/14/24	100% CD	DN
5	04/14/24	100% CD	DN
6	10/16/24	100% CD	DN
7	10/16/24	100% CD	DN
8	10/16/24	100% CD	DN

PROFESSIONAL ENGINEER
 7/30/2024
 No. 13231590-2303
 MICHAEL S. MOORE
 STATE OF UTAH

SITE INFORMATION
 LITE 1C/2C/3C/4C/5C/
 5G NR 15R
 UTL04163
 SOMERSET_VILLAGE
 F&B: 15201804
 USID: 308018
SITE ADDRESS:
 2489 E. CANYON RD SPANISH FORK, UT 84660
 UTAH COUNTY

SHEET DESCRIPTION
 ENLARGED LEASE AREA

SHEET NO.
 A-3

1. All dimensions are in inches.

F2020030 (3-Bay)

Equipment Bays Power/Battery Bay LED Outside Motion Light Lifting Attachment Points (4) GPS Pipe Mount

8000 W Heat Exchanger (for GPS Cable) 4-Port Rostec Assembly (for GPS Cable) (4.4 E.Z. Entry) 4-Port Rostec Assembly (for GPS Cable) (4.4 E.Z. Entry) ATS Conduit Entry ATS Mounting Location

2800 W Heat Exchanger Front Front Doors Cable Ports

Bottom

Rear Removable Rear Panels For-Mill Pockets (all four sides) Battery Compartment Ventilation Cable Ports Ground Pad Terminations Enclosure Grounding Terminals Cable Ports Ground Pad Terminations

7820 S CENTER ST.
CONTINENTAL, CO. 80112

1907 ANNAPOLIS EXCHANGE PARKWAY,
ANNAPOLIS, MD 21401

1800 W WALNUT HILL LANE, SUITE 100
SPRING, TEXAS 77380
1-888-888-2431

DRAWING SCALE: AS SHOWN FOR 11"X17" SIZE
PRINTED: 08/21/24

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/16/20	ISSUE FOR	SP
2	04/01/21	ISSUE FOR	DN
3	10/05/21	ISSUE FOR	TEL
4	04/14/24	ISSUE FOR	DN
5	04/14/24	ISSUE FOR	DN
6	04/15/24	ISSUE FOR	DN
7	04/15/24	ISSUE FOR	DN
8	07/08/24	ISSUE FOR	DN

7/9/2024
No. 1321590204
MICHAEL S. MOORE
STATE OF UTAH

SITE INFORMATION
LITE 1C/2C/3C/4C/5C/
5G NR 1SR
UTL04163
SOMERSET_VILLAGE
FAB: 15201804
USID: 308018
SITE ADDRESS:
2400 E. CANYON RD SPANISH
FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION
VERTIV 3-BAY WUC DETAIL

SHEET NO.
D-7

VERTIV 3-BAY WUC DETAIL N.T.S. 1

F2020030 (3-Bay)

GFCI Protected Convenience Outlet ECU (Environmental Control Unit)

Front Door Pocket with Fold-Down Laptop Tray

Battery Disconnect Circuit Breakers

ECU (Environmental Control Unit)

Three (3) Battery Shelves (battery compartment front panel removed in illustration)

7820 S CENTER ST.
CONTINENTAL, CO. 80112

1907 ANNAPOLIS EXCHANGE PARKWAY,
ANNAPOLIS, MD 21401

1800 W WALNUT HILL LANE, SUITE 100
SPRING, TEXAS 77380
1-888-888-2431

DRAWING SCALE: AS SHOWN FOR 11"X17" SIZE
PRINTED: 08/21/24

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/16/20	ISSUE FOR	SP
2	04/01/21	ISSUE FOR	DN
3	10/05/21	ISSUE FOR	TEL
4	04/14/24	ISSUE FOR	DN
5	04/14/24	ISSUE FOR	DN
6	04/15/24	ISSUE FOR	DN
7	04/15/24	ISSUE FOR	DN
8	07/08/24	ISSUE FOR	DN

7/9/2024
No. 1321590204
MICHAEL S. MOORE
STATE OF UTAH

SITE INFORMATION
LITE 1C/2C/3C/4C/5C/
5G NR 1SR
UTL04163
SOMERSET_VILLAGE
FAB: 15201804
USID: 308018
SITE ADDRESS:
2400 E. CANYON RD SPANISH
FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION
VERTIV 3-BAY WUC DETAIL

SHEET NO.
D-7.1

VERTIV 3-BAY WUC DETAIL N.T.S. 1

NOTE:
 1. IF TANK IS GENERAL ENCLOSURE, DIRECT FLOW TO TANK.
 2. TANK HAS 3" TO 5" GAPS TO SURROUND GENERATOR.

**30 KW MODEL 4266/4263
 REC'D & KW'd ALTERNATORS
 KOHLER DIESEL NO. 20017M**

KOHLER CO. METRIC PRO-E
 ADV-8705

AT&T
 7200 S CENTER ST.
 CENTENNIAL, CO. 80112

smartlink
 1907 ANNAPOLIS EXCHANGE PARKWAY,
 SUITE 200
 ANNAPOLIS, MD 21401

Trylon
 1800 W. WALNUT HILL LANE, SUITE 100
 IRVING, TEXAS 75038
 (972) 258-2421

PROFESSIONAL ENGINEER
 MICHAEL S. MOORE
 STATE OF UTAH

LITE 1C/2C/3C/4C/5C/
 5G NR 1SR
 UTL04163
 SOMERSET VILLAGE
 FA#: 15201804
 USID: 308018
SITE ADDRESS:
 2489 E. CANYON RD SPANISH
 FORK, UT 84660
 UTAH COUNTY

SHEET DESCRIPTION
 GENERATOR DETAILS

SHEET NO.
 D-8

MODEL	CAPACITY	HC D"	FC D"	FRONT	REAR	HT	WEIGHT
16750-C	850	64	90	185	304	84.0	375
16750-C	875	126	111	330	282.0	106.0	575
16750-C	898	128	119	355	269.0	74.0	578
16750-C	938	131	140	334	262.0	35.0	573
16750-C	967	79	143	419	44.4	86.0	577

TANK FITTINGS
 1. 1" NPT FILLER NECK WITH 1" NPT CAP & 1" NPT GASKET
 2. 1" NPT VENT WITH 1" NPT CAP & 1" NPT GASKET
 3. 1" NPT FILLER NECK WITH 1" NPT CAP & 1" NPT GASKET
 4. 1" NPT VENT WITH 1" NPT CAP & 1" NPT GASKET
 5. 1" NPT FILLER NECK WITH 1" NPT CAP & 1" NPT GASKET
 6. 1" NPT VENT WITH 1" NPT CAP & 1" NPT GASKET
 7. 1" NPT FILLER NECK WITH 1" NPT CAP & 1" NPT GASKET
 8. 1" NPT VENT WITH 1" NPT CAP & 1" NPT GASKET
 9. 1" NPT FILLER NECK WITH 1" NPT CAP & 1" NPT GASKET
 10. 1" NPT VENT WITH 1" NPT CAP & 1" NPT GASKET

STATE TANK

KOHLER CO. METRIC PRO-E
 ADV-8643

AT&T
 7200 S CENTER ST.
 CENTENNIAL, CO. 80112

smartlink
 1907 ANNAPOLIS EXCHANGE PARKWAY,
 SUITE 200
 ANNAPOLIS, MD 21401

Trylon
 1800 W. WALNUT HILL LANE, SUITE 100
 IRVING, TEXAS 75038
 (972) 258-2421

PROFESSIONAL ENGINEER
 MICHAEL S. MOORE
 STATE OF UTAH

LITE 1C/2C/3C/4C/5C/
 5G NR 1SR
 UTL04163
 SOMERSET VILLAGE
 FA#: 15201804
 USID: 308018
SITE ADDRESS:
 2489 E. CANYON RD SPANISH
 FORK, UT 84660
 UTAH COUNTY

SHEET DESCRIPTION
 GENERATOR DETAILS

SHEET NO.
 D-9

NNH4-65C-R6-V6

13. Dimensions: 498 mm (19.61 in) x 197 mm (7.76 in) x 473 mm (18.62 in)

Dimensions:

Width: 498 mm (19.61 in)

Depth: 197 mm (7.76 in)

Length: 473 mm (18.62 in)

Net Weight: 20.8 lbs

ERICSSON - R490 4490
 HEIGHT: 20.8 LBS
 SIZE (HxWxD): 15.12x17.45x6.77 IN.

7322 S CENTER ST
 CENTRAL, CO 80112

1927 ANNAPOLIS EXCHANGE PARKWAY,
 SUITE 100
 ANNAPOLIS, MD 21401

1925 N. WILMONT HILL LANE, SUITE 100
 SPANISH FORK, UTAH 84660
 1-888-888-5431

ISSUING SCALE: AS SHOWN FOR 11"x17" SIZE
 PLOTTED: 08/21/24

REV	DATE	DESCRIPTION	BY
1	11/16/23	100% CD	DF
2	10/10/23	100% CD	DM
3	10/10/23	100% CD	TEL
4	04/14/24	100% CD	DM
5	04/14/24	100% CD	DM
6	05/02/24	100% CD	DM
7	05/02/24	100% CD	DM
8	07/08/24	100% CD	DM

PROFESSIONAL ENGINEER
 7/9/2024
 No. 13351590-2303
 MICHAEL S. MOORE
 STATE OF UTAH

SITE INFORMATION

LTE 1C/2C/3C/4C/5C/
 5G NR 1SR
 UTL04163

SOMERSET_VILLAGE
 FAF: 15201804
 USID: 308018

SHEET DESCRIPTION

DETAILS

SHEET NO.

D-10

COMMSCOPE NNH4-65C-R6-V4

NOT TO SCALE 1

ERICSSON RRH 4490 B5/B12A DETAILS

NOT TO SCALE 2

ERICSSON - R490 4494
 HEIGHT: 20.8 LBS
 SIZE (HxWxD): 15.12x17.45x6.93 IN.

ERICSSON - R490 4490
 HEIGHT: 20.8 LBS
 SIZE (HxWxD): 15.12x17.45x6.93 IN.

ERICSSON RRH 4494 B14/B29 DETAILS

NOT TO SCALE 3

ERICSSON RRH 4890 B25/B66 DETAILS

NOT TO SCALE 4

CABINET ANCHORAGE DETAIL

PROPOSED 1/2" DIAMETER, HEAT TREAT STEEL TO ANCHOR WITH 3/8" DIA NOMINAL EMBEDMENT (SEE ECR-1917), TO BE INSTALLED A MINIMUM OF (1) IN EACH CORNER OF CABINET. SEE MANUFACTURER'S EQUIPMENT INSTALLATION MANUAL FOR ANCHOR LOCATIONS. IT IS ASSUMED THAT CABINET ANCHOR LOCATIONS HAVE BEEN OBTAINED/REFERENCE BY THE MANUFACTURER TO WITHSTAND SHEAR AND UPLIFT FORCES AS CALCULATED IN THIS DESIGN.

AIR 64TR B77G B77M, Wide band Product Specifications

Frequency	470-6000 MHz
Bandwidth	20 MHz
Power	100W
Gain	12 dBi
Efficiency	30%
Mounting	Flange mount
Weight	10.2 lbs
Dimensions	10.2 x 10.2 x 10.2 in

FCC Waiver status

1. This device is not certified for use in the United States.

2. This device is not certified for use in the United States.

3. This device is not certified for use in the United States.

4. This device is not certified for use in the United States.

5. This device is not certified for use in the United States.

7322 S CENTER ST
 CENTRAL, CO 80112

1927 ANNAPOLIS EXCHANGE PARKWAY,
 ANNAPOLIS, MD 21401

1925 N. WILMONT HILL LANE, SUITE 100
 SPANISH FORK, UTAH 84660
 1-888-888-5431

ISSUING SCALE: AS SHOWN FOR 11"x17" SIZE
 PLOTTED: 08/21/24

REV	DATE	DESCRIPTION	BY
1	11/16/23	100% CD	DF
2	10/10/23	100% CD	DM
3	10/10/23	100% CD	TEL
4	04/14/24	100% CD	DM
5	04/14/24	100% CD	DM
6	05/02/24	100% CD	DM
7	05/02/24	100% CD	DM
8	07/08/24	100% CD	DM

PROFESSIONAL ENGINEER
 7/9/2024
 No. 13351590-2302
 MICHAEL S. MOORE
 STATE OF UTAH

SHEET DESCRIPTION

DETAILS

SHEET NO.

D-11

RAYCAP DC9 OVER VOLTAGE PROTECTOR DOME COVER

DOMF SECURING BAND

RAYCAP SUPPORTED BASE ASSEMBLY

POWER CABLE INGRESS PORTS

CABLE TIE BAR

RAYCAP DC9 (SQUID)	
LENGTH (L)	18.28"
WIDTH (W)	10.24"
HEIGHT (H)	21.41"
TOTAL	
WEIGHT:	375/1M MOUNT: 16.0 LBS
	29.2 LBS
COMBINED WIND LOADING (SUSTAINED 1 GUST)	10x / LBS 213.6 LBS

DC9-48-60-24-8C-EV

TOP VIEW

7322 S CENTER ST
 CENTRAL, CO 80112

1927 ANNAPOLIS EXCHANGE PARKWAY,
 ANNAPOLIS, MD 21401

1925 N. WILMONT HILL LANE, SUITE 100
 SPANISH FORK, UTAH 84660
 1-888-888-5431

ISSUING SCALE: AS SHOWN FOR 11"x17" SIZE
 PLOTTED: 08/21/24

REV	DATE	DESCRIPTION	BY
1	11/16/23	100% CD	DF
2	10/10/23	100% CD	DM
3	10/10/23	100% CD	TEL
4	04/14/24	100% CD	DM
5	04/14/24	100% CD	DM
6	05/02/24	100% CD	DM
7	05/02/24	100% CD	DM
8	07/08/24	100% CD	DM

PROFESSIONAL ENGINEER
 7/9/2024
 No. 13351590-2302
 MICHAEL S. MOORE
 STATE OF UTAH

SHEET DESCRIPTION

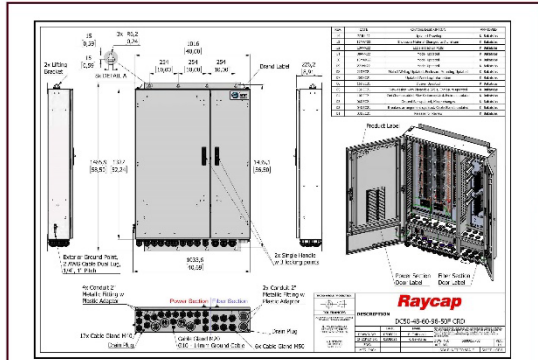
DETAILS

SHEET NO.

D-11

SURGE SUPPRESSOR DETAILS

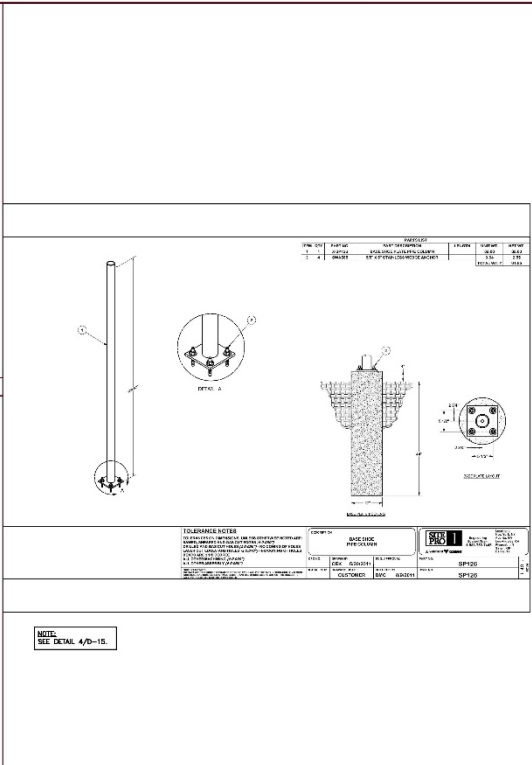
NOT TO SCALE 3



DC50-48-60-96-5DF CRO DETAILS 1



POWERSAFE SBS 190F BATTERIES DETAILS 2



ICE BRIDGE PIPE FOR CONCRETE PAD DETAIL 3

AT&T
7820 S. CHESTER ST.
CENTENNIAL, CO. 80112

smartlink
1907 ANNAPOLIS EXCHANGE PARKWAY,
ANNAPOLIS, MD 21401

Trylon
1805 W. WILMONT HILL LANE, SUITE 100
BRAND, TEXAS 77538
1-800-895-5421

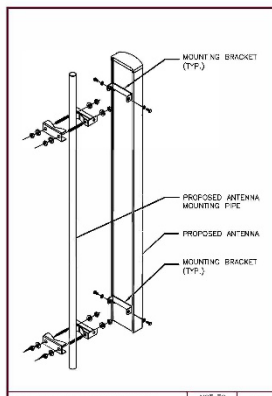
ISSUING SCALES ARE INTENDED FOR 11"x17" SIZE PLOTTED WITH A3.

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/16/20	100% CD	SP
2	10/19/21	100% CD	DN
3	10/16/23	100% CD	TEL
4	04/14/24	100% CD	DN
5	04/14/24	100% CD	DN
6	04/15/24	100% CD	DN
7	04/16/24	100% CD	DN
8	07/08/24	100% CD	DN

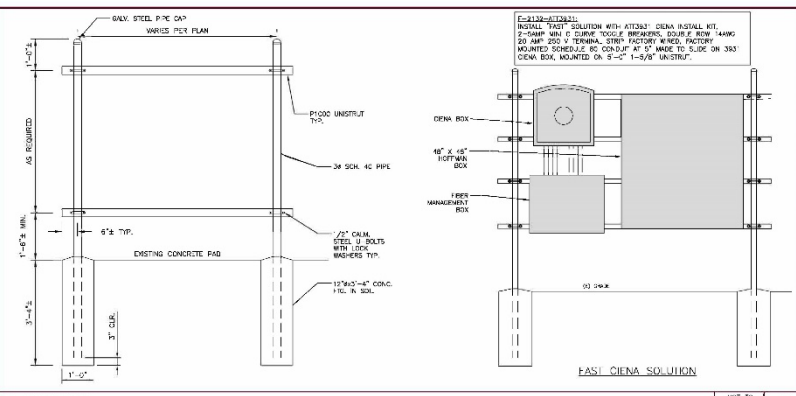
PROFESSIONAL ENGINEER
7/9/2024
No. 1575190-2252
MICHAEL S. MOORE
STATE OF UTAH

LITE 1C/2C/3C/4C/5C/
5G NR 15R
UTLD0163
SOMERSET_VILLAGE
FA#: 15201804
USID: 308018
SEE ADDRESS:
2499 E. CANYON RD SPANISH
FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION
DETAILS
SHEET NO.
D-14



ANTENNA MOUNTING DETAIL 1



H-FRAME DETAIL 2

AT&T
7820 S. CHESTER ST.
CENTENNIAL, CO. 80112

smartlink
1907 ANNAPOLIS EXCHANGE PARKWAY,
ANNAPOLIS, MD 21401

Trylon
1805 W. WILMONT HILL LANE, SUITE 100
BRAND, TEXAS 77538
1-800-895-5421

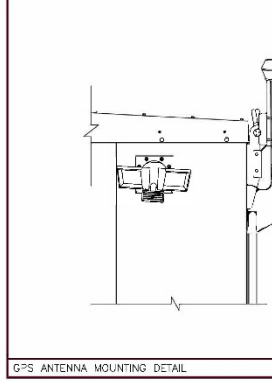
ISSUING SCALES ARE INTENDED FOR 11"x17" SIZE PLOTTED WITH A3.

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/16/20	100% CD	SP
2	04/27/23	100% CD	DN
3	10/16/23	100% CD	TEL
4	04/14/24	100% CD	DN
5	04/14/24	100% CD	DN
6	04/15/24	100% CD	DN
7	04/16/24	100% CD	DN
8	07/08/24	100% CD	DN

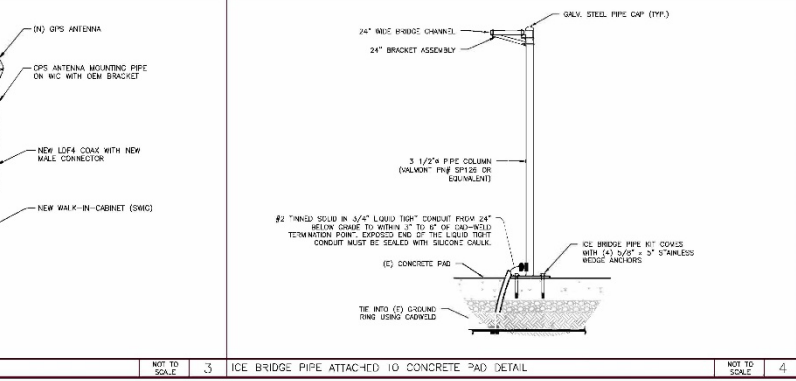
PROFESSIONAL ENGINEER
7/9/2024
No. 1575190-700
MICHAEL S. MOORE
STATE OF UTAH

LITE 1C/2C/3C/4C/5C/
5G NR 15R
UTLD0163
SOMERSET_VILLAGE
FA#: 15201804
USID: 308018
SEE ADDRESS:
2499 E. CANYON RD SPANISH
FORK, UT 84660
UTAH COUNTY

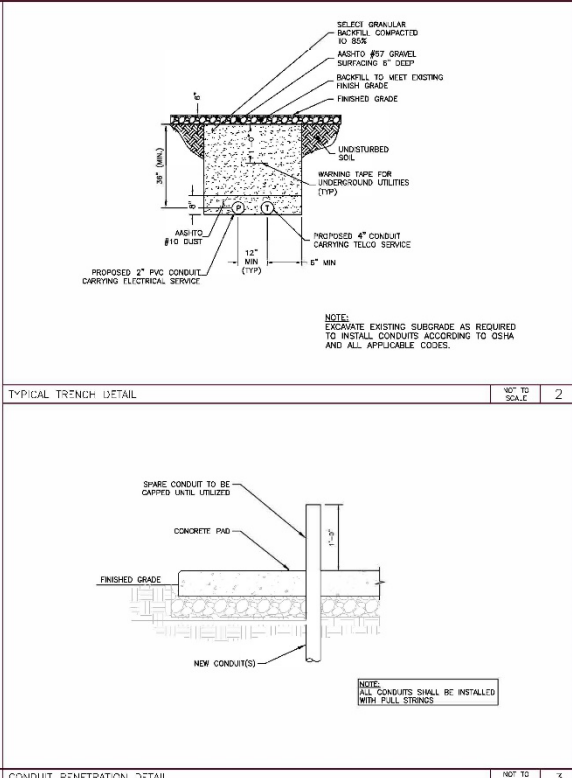
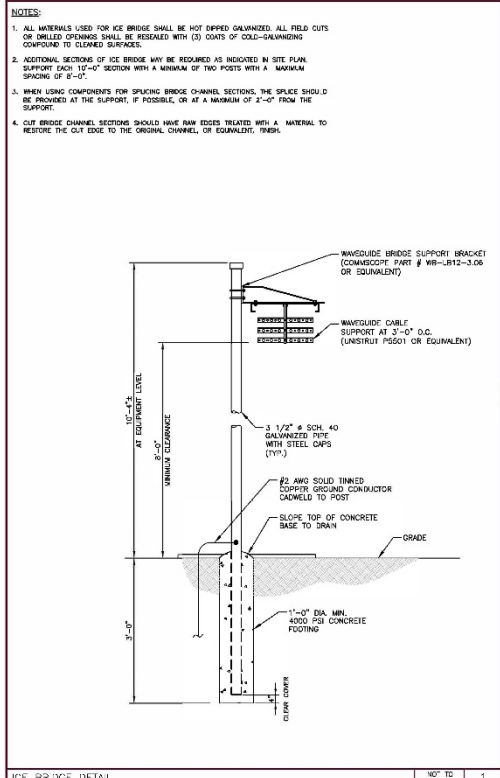
SHEET DESCRIPTION
DETAILS
SHEET NO.
D-15



GPS ANTENNA MOUNTING DETAIL 3



ICE BRIDGE PIPE ATTACHED TO CONCRETE PAD DETAIL 4



AT&T
7020 S CHESTON ST.
CENTENNIAL, CO 80112

smartlink
1907 ANNAPOLIS EXCHANGE PARKWAY,
ANNAPOLIS, MD 21401

Trylon
1925 W. WALNUT HILL LANE, SUITE 110
SPANISH FORK, MO 65238
1-888-888-8431

DRAWING SCALE: SEE NOTES FOR 11"x17" SIZE
PAGES: 1688-1691

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/09/20	100% CD	EP
2	04/29/21	100% CD	DM
3	10/05/21	100% CD	TEL
4	04/14/24	100% CD	DM
5	04/14/24	100% CD	DM
6	04/16/24	100% CD	DM
7	05/20/24	100% CD	DM
8	07/08/24	100% CD	DM

PROFESSIONAL ENGINEER
7/9/2024
No. 13351590-2302
MICHAEL S. MOORE
STATE OF UTAH

LIE 1'C/20'/30'/40'/50'/
5G NR 15R
UTL04163

SOMERSET_VILLAGE
FA#: 15201804
USID: 308018
SEE ADDRESS:
2499 E. CANYON RD SPANISH
FORK, UT 84680
UTAH COUNTY

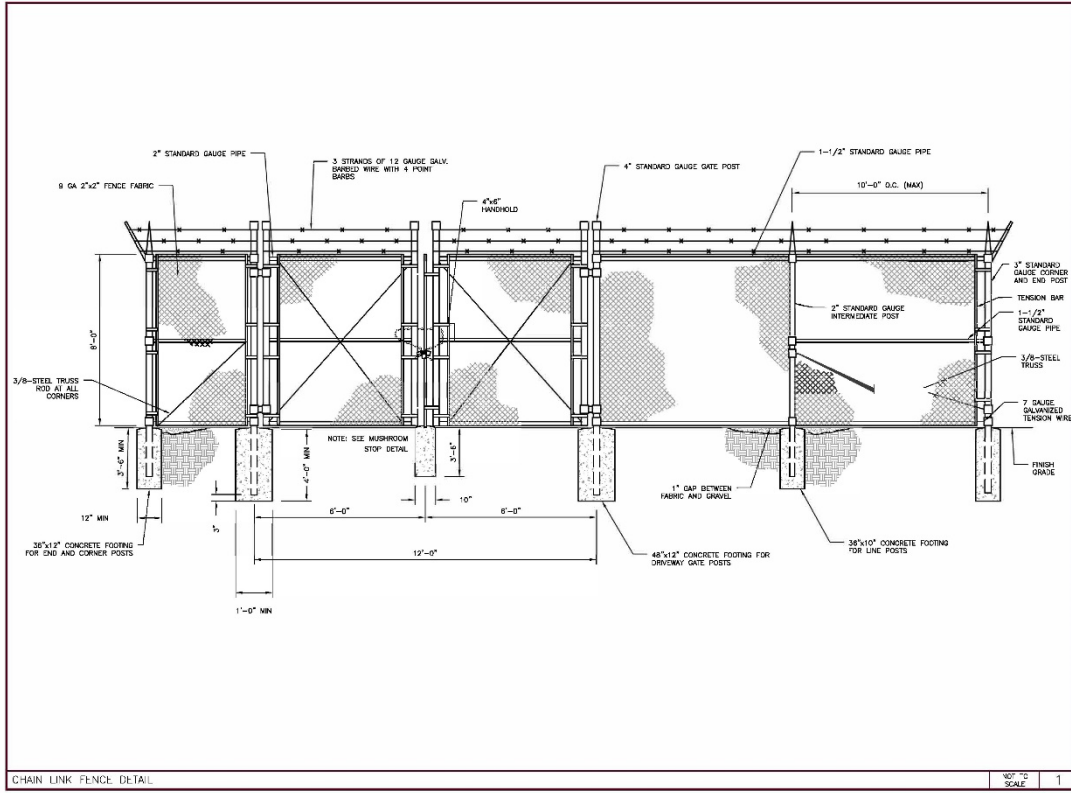
SHEET DESCRIPTION
DETAILS

SHEET NO.
D-16

ICE BRIDGE DETAIL

TYPICAL TRENCH DETAIL

SHEET NO. D-16



AT&T
7020 S CHESTON ST.
CENTENNIAL, CO 80112

smartlink
1907 ANNAPOLIS EXCHANGE PARKWAY,
ANNAPOLIS, MD 21401

Trylon
1925 W. WALNUT HILL LANE, SUITE 110
SPANISH FORK, MO 65238
1-888-888-8431

DRAWING SCALE: SEE NOTES FOR 11"x17" SIZE
PAGES: 1688-1691

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/09/20	100% CD	EP
2	04/29/21	100% CD	DM
3	10/05/21	100% CD	TEL
4	04/14/24	100% CD	DM
5	04/14/24	100% CD	DM
6	04/16/24	100% CD	DM
7	05/20/24	100% CD	DM
8	07/08/24	100% CD	DM

PROFESSIONAL ENGINEER
7/9/2024
No. 13351590-2302
MICHAEL S. MOORE
STATE OF UTAH

LIE 1'C/20'/30'/40'/50'/
5G NR 15R
UTL04163

SOMERSET_VILLAGE
FA#: 15201804
USID: 308018
SEE ADDRESS:
2499 E. CANYON RD SPANISH
FORK, UT 84680
UTAH COUNTY


SHEET DESCRIPTION
CHAIN LINK
FENCE DETAIL

SHEET NO.
D-17

CHAIN LINK FENCE DETAIL

SHEET NO. D-17

SHEET NO. D-17



Automatic Transfer Switches


GENERAC

Service Rated Automatic Transfer Switch with 20-40 Circuit Load Center

200 Amps, Single Phase Model: 18G1W200H43

GENERAC

Automatic Transfer Switches



Functions

All items are designed for use in accordance with the generator controller:

Input Voltage (VAC)	480V
Transfer to Generator (VAC)	5 Second Safety Shut, Adjustable Between 5 - 1,500 Seconds by a Qualified Electrician
Transfer to Utility (VAC)	10 Seconds
Output Voltage (VAC)	208V or 240V/208V
Line to Neutral Voltage (VAC)	~208V
Phase Sequence (VAC)	120/208V
Output Current (Amps)	100 Amps
Breaker	Rating - 100 Amps Single Pole Breaker Evaluation - 2 to 10 Breaker applications, depending on configuration

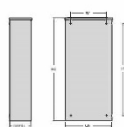
*When used in conjunction with an inverter generator.

Specifications

Item	Description
Model	18G1W200H43
Rating	200
Voltage	120/208, 120
Load Transfer Type (Automatic)	Open Transition Service Rated
Structure Type	6000A, 3in
Construction	ETL
Minimum Rating (Amps)	10000
Integrated Load Center	10-40

Dimensions, Weight, and Wire Ranges

Model	Height (in)	Width (in)	Depth (in)	Weight (lbs)	Wire Range
18G1W200H43	25.9	35.5	17.5	45	1/0-4/0



Description



Generac Transfer Switches are designed for use with single phase generators that utilize an Evolution™ or NetWise™ Controller. The 200 amp open transition switch is a single phase service with an integrated load center. An integrated load center with pass through type above branch circuit protection for subloadings. With a built-in branch circuit protection.

Standard Features

Service Rated Transfer Switches are housed in an aluminum Type 3B enclosure with electrocoat powder coated and baked paint. The heavy duty Generac Controller is an ETL recognized device designed for years of service. The controller at the generator handles all the starting, running, monitoring functions, and transfer commands. The integrated 20 amp load center accepts 1 to 25 (4 wire), 20/20, 20/20, or 20/20 circuit breakers from Generac, Murray, Square D, and others for the most flexible and cost effective design. Using transfer switches, the load center can be equipped to support up to 40 individual circuits. All outlets are covered by a 3 year limited warranty.

Load Management Technology

Through the use of the Integrated Smart 20™ (IS20™) three switches have the capability to manage up to four individual 15/20 (24 15/20 controlled) loads with no additional hardware. When used in tandem with external Smart Management Modules (SMM), a total of eight more loads can be managed, providing the most flexible efficient power management options available.





GENCO Power Systems, Inc. • 545 WISCONSIN STREET, SUITE 200 • WESTLAKE, UT 84086 • generac.com


©2018 Generac Power Systems, Inc. All rights reserved. All specifications are subject to change without notice. For full specifications see the product manual.

GENERAC INDEPENDENT LOAD CENTER


NOT TO SCALE 1



7202 S CHESTER ST.
CENTENNIAL, CO 80112



1927 ANNAPOLIS PINNACLE PARKWAY,
SUITE 200
ANNAPOLIS, MD 21401




1825 N. WALNUT HILL LANE, SUITE 110
SPRING HILL, TN 37074
1-888-388-2421

ISSUING SCALE AND WEIGHT FOR 11"x17" SIZE
PAPER WITH 3/4" GUT

SUBMITTALS

REV	DATE	DESCRIPTION	BY
1	11/04/20	100% CD	BT
2	04/27/21	100% CD	DN
3	10/05/21	100% CD	TL
4	04/14/24	100% CD	DN
5	04/16/24	100% CD	DN
6	05/02/24	100% CD	DN
7	05/20/24	100% CD	DN
8	07/18/24	100% CD	DN



LIC. 51315, RC 2201
MICHAEL S. MOORE
STATE OF UTAH

LITE 10/20/30/40/50/
5G NR 1SR
UTL04163

SOMERSET VILLAGE
FA#: 15201804
USD: 308018

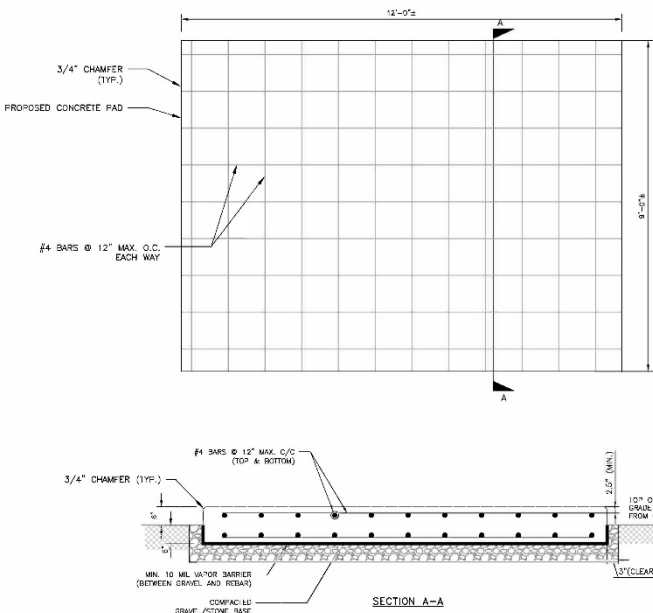
SEE ADDRESS:
2499 E. CANTON RD SPANISH
FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION

GENERAC INDEPENDENT
LOAD CENTER

SHEET NO.

D-18



3-BAY WUC CONCRETE PAD DETAILS

NOTES:


- MINIMUM CONCRETE STRENGTH (f'c) TO BE 4,000 psi UNLESS NOTED OTHERWISE. CONCRETE MIX SHALL BE DESIGNED BY A CERTIFIED LABORATORY. CONCRETE EXPOSED TO FREEZE-THAW CYCLES TO CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE I PORTLAND CEMENT WITH A WATER-TO-CEMENT RATIO (W/C) NOT TO EXCEED 0.45.
- CONCRETE PAD SHALL BEAR ON A MINIMUM OF 8" 2A STONE BASE COURSE (ABC) MATERIAL COMPACTED TO 98% OF MAXIMUM DENSITY DETERMINED BY ASTM D1557 (MODIFIED PROCTOR). MATERIAL SHOULD BE WITHIN 3% OF OPTIMUM MOISTURE AT TIME OF COMPACTION.
- ALL REINFORCING TO MAINTAIN 3" COVER WHEN CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.

CONCRETE STRENGTH: 4000psi


INSTALLER'S NOTE:
REINFORCING SHALL HAVE MINIMUM 3" CONCRETE COVER WHEN CAST AGAINST PERMANENTLY EXPOSED TO EARTH.

3-BAY WUC CONCRETE PAD DETAILS


NOT TO SCALE



7202 S CHESTER ST.
CENTENNIAL, CO 80112



1927 ANNAPOLIS PINNACLE PARKWAY,
SUITE 200
ANNAPOLIS, MD 21401




1825 N. WALNUT HILL LANE, SUITE 110
SPRING HILL, TN 37074
1-888-388-2421

ISSUING SCALE AND WEIGHT FOR 11"x17" SIZE
PAPER WITH 3/4" GUT

SUBMITTALS

REV	DATE	DESCRIPTION	BY
1	11/04/20	100% CD	BT
2	04/27/21	100% CD	DN
3	10/05/21	100% CD	TL
4	04/14/24	100% CD	DN
5	04/16/24	100% CD	DN
6	05/02/24	100% CD	DN
7	05/20/24	100% CD	DN
8	07/18/24	100% CD	DN



LIC. 51315, RC 2201
MICHAEL S. MOORE
STATE OF UTAH

LITE 10/20/30/40/50/
5G NR 1SR
UTL04163

SOMERSET VILLAGE
FA#: 15201804
USD: 308018

SEE ADDRESS:
2499 E. CANTON RD SPANISH
FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION

3-BAY WUC CONCRETE
PAD DETAILS

SHEET NO.

D-19

1 FOUNDATION PLAN
SCALE: 1" = 17' 0" = 1/2"

2 SECTION A-A
SCALE: 1" = 17' 0" = 1/2"

NOTES:

- ALL CONCRETE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI 318-14) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND (ACI 309) STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 308.1M, ACI 308.1R, ACI 308.1S, ACI 308.1T, ACI 308.1U, AND ACI 308.1V.
- MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 2500 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS METHODS STANDARDS ASTM C172, ASTM C31 AND ASTM C33 UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDING WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPICES SHALL BE CLASS "B" AND ALL JOISTS SHALL BE STANDARD, UNLESS NOTED OTHERWISE.
- DETAILING SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318-14-92).
- CHANGES ALL EXPOSED JOISTS OF CONCRETE 3/4" IN ACCORDANCE WITH ACI 308 SECTION 4.2.2 UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL BE ACCURATELY PLACED AND ADEQUATELY SECURED IN POSITION. LOCATION OF REINFORCEMENT SHALL BE INDICATED ON THE DRAWINGS. CONCRETE COVER SHALL DEPEND ON WHETHER CONCRETE IS PRE-CAST OR CAST IN PLACE.
- TOP OF FOUNDATION TO HAVE A FINISH FINISH.
- EXPOSED FINISH SURFACE IS NOT TO HOLD WATER.
- ALL SURFACES ARE TO BE CLEANED OF ANY RESIDUAL CONCRETE FROM SPLASHING OR SPELLS.

3 UTILITY BENCH
SCALE: 1" = 17' 0" N.E.L.S.

4 ANCHOR BOLT DETAIL
SCALE: 1" = 17' 0" N.S.

FUEL SIGN DETAIL

NFPA 704 DIESEL FUEL SIGN DETAIL

NO SMOKING / NO OPEN FLAMES DETAIL

EMERGENCY CONTACT SIGN

7320 S CENTER ST
CANTON, UT 84012

1907 ANNAPOLIS EXCHANGE PARKWAY
ANNAPOLIS, MD 21401

1855 W. WALNUT HILL LANE, SUITE 100
SPRING, TEXAS 75788
1-800-388-5431

DRAWING SCALES ARE REFERRED FOR 11x17 SIZE PLOTTED WITH SCALE			
SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/19/20	ISSUE FOR PER	MP
2	04/01/21	ISSUE FOR DN	DN
3	10/08/21	ISSUE FOR TEL	TEL
4	04/14/24	ISSUE FOR DN	DN
5	04/14/24	ISSUE FOR DN	DN
6	04/14/24	ISSUE FOR DN	DN
7	04/14/24	ISSUE FOR DN	DN
8	05/08/24	ISSUE FOR DED	DEB

SITE INFORMATION

ITE: 1G/2C/3C/4C/5C/5G NR 1SR
UTLD04163
SOMERSET VILLAGE
FA#: 15201804
USID: 308018
SITE ADDRESS:
2489 E. CANYON RD SPANISH FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION
GENERATOR CONCRETE PAD DETAILS
SHEET NO.
D-20

7320 S CENTER ST
CANTON, UT 84012

1907 ANNAPOLIS EXCHANGE PARKWAY
ANNAPOLIS, MD 21401

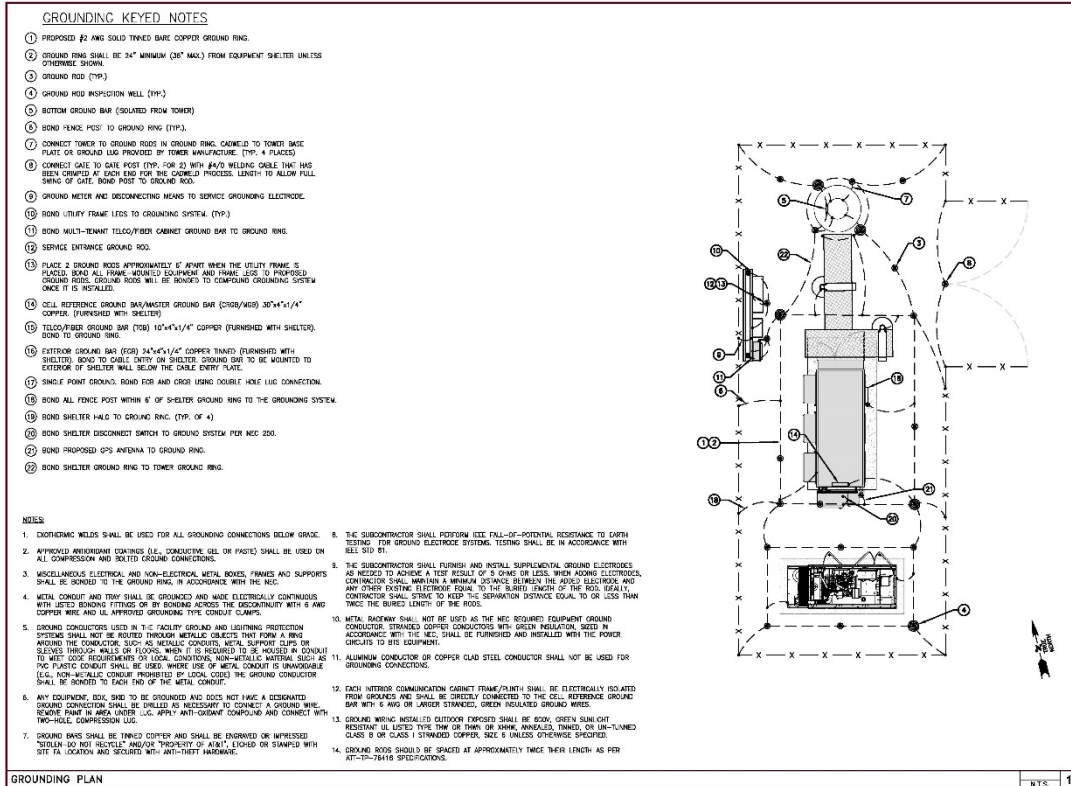
1855 W. WALNUT HILL LANE, SUITE 100
SPRING, TEXAS 75788
1-800-388-5431

DRAWING SCALES ARE REFERRED FOR 11x17 SIZE PLOTTED WITH SCALE			
SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/19/20	ISSUE FOR PER	MP
2	04/01/21	ISSUE FOR DN	DN
3	10/08/21	ISSUE FOR TEL	TEL
4	04/14/24	ISSUE FOR DN	DN
5	04/14/24	ISSUE FOR DN	DN
6	04/14/24	ISSUE FOR DN	DN
7	04/14/24	ISSUE FOR DN	DN
8	05/08/24	ISSUE FOR DED	DEB

SITE INFORMATION

ITE: 1G/2C/3C/4C/5C/5G NR 1SR
UTLD04163
SOMERSET VILLAGE
FA#: 15201804
USID: 308018
SITE ADDRESS:
2489 E. CANYON RD SPANISH FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION
SIGNAGE DETAILS
SHEET NO.
D-21



7820 S CENTER ST
CENTENNIAL, CO 80112

1907 ANNAPOLIS EXCHANGE PARKWAY
ANNAPOLIS, MD 21401

1800 W WALNUT HILL LANE, SUITE 100
SPANISH FORK, UTAH 84603
TEL: 435-392-2411

DRAWING SCALES ARE REFERRED FOR 11"X17" SIZE
PRINTED WITH 1/8" SCALE

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/19/20	ISSUE FOR PERMIT	SP
2	04/01/21	ISSUE FOR PERMIT	DN
3	10/08/21	ISSUE FOR PERMIT	TEL
4	04/14/24	ISSUE FOR PERMIT	DN
5	04/14/24	ISSUE FOR PERMIT	DN
6	04/14/24	ISSUE FOR PERMIT	DN
7	04/14/24	ISSUE FOR PERMIT	DN
8	05/09/24	ISSUE FOR PERMIT	DN

SITE INFORMATION

LITE 1C/2C/3C/4C/5C/
5G NR 1SR
UTLD04163

SOMERSET VILLAGE
FA# 15201804
USID: 308018

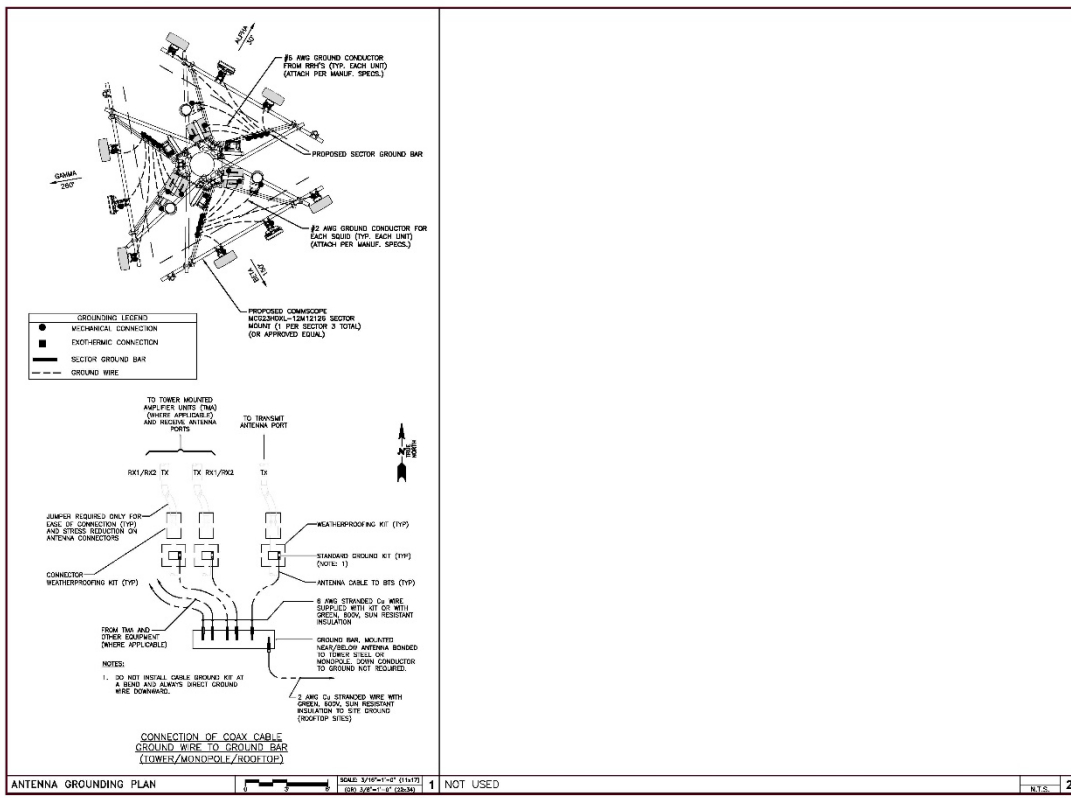
SITE ADDRESS:
2400 E. CANYON RD SPANISH FORK, UT 84603
UTAH COUNTY

SHEET DESCRIPTION

COMPOUND GROUNDING PLAN

SHEET NO.

G-1



7820 S CENTER ST
CENTENNIAL, CO 80112

1907 ANNAPOLIS EXCHANGE PARKWAY
ANNAPOLIS, MD 21401

1800 W WALNUT HILL LANE, SUITE 100
SPANISH FORK, UTAH 84603
TEL: 435-392-2411

DRAWING SCALES ARE REFERRED FOR 11"X17" SIZE
PRINTED WITH 1/8" SCALE

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
1	11/19/20	ISSUE FOR PERMIT	SP
2	04/01/21	ISSUE FOR PERMIT	DN
3	10/08/21	ISSUE FOR PERMIT	TEL
4	04/14/24	ISSUE FOR PERMIT	DN
5	04/14/24	ISSUE FOR PERMIT	DN
6	04/14/24	ISSUE FOR PERMIT	DN
7	04/14/24	ISSUE FOR PERMIT	DN
8	05/09/24	ISSUE FOR PERMIT	DN

SITE INFORMATION

LITE 1C/2C/3C/4C/5C/
5G NR 1SR
UTLD04163

SOMERSET VILLAGE
FA# 15201804
USID: 308018

SITE ADDRESS:
2400 E. CANYON RD SPANISH FORK, UT 84603
UTAH COUNTY

SHEET DESCRIPTION

GROUNDING PLAN

SHEET NO.

G-2

USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("A", "B") WITH 1" HIGH LETTERS.

UTILIZE EXISTING GROUND BAR OR WALL OR TOWER IF EXISTING GROUND BAR IS FULL THIS CONTRACTOR SHALL PROVIDE A NEW GROUND BAR.

MINIMUM BENDING RADIUS 6 INCHES (12 INCHES PREFERRED) TYPICAL

BRANCH, 2 AWG SOLID, BARE, TINNED COPPER GROUNDING CONDUCTOR

NO SLAG OR DEFORMITIES ALLOWED

PARALLEL EXOTHERMIC WELD (CADWELD® THERMOWELD™ OR EQUIVALENT), NO "T" (50°)-WELDS ALLOWED.

4"x1/4" SOLID COPPER BAR

INSULATOR

TWO-HOLE, LONG BARREL COMPRESSION LUG WITH #2 STRANDED COPPER CONDUCTOR AND 3/8"x3/8" THIN INSULATION TO GROUND BAR. NUTS AND CONDUCTOR TO WASTES GROUND BAR AND CONNECT WITH TWO-HOLE LUG.

EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION AND ATTACHED A LABEL FOR THE LABEL IDENTIFY THE GROUND BAR DESTINATION.

SECTION "P" - SLUGS PRODUCTS

CABLE ENTRY PORTS (OPTION PLATED) IDENTIFIER FRAMING (IF AVAILABLE) TELL GROUND BAR COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND 124V POWER SUPPLY RETURN BAR (S2) 480V POWER SUPPLY RETURN BAR (S2) RECTIFIER FRAMES

NOT TO SCALE 1

NOT TO SCALE 2

NOT TO SCALE 3

NOT TO SCALE 4

NOT TO SCALE 5

NOT TO SCALE 6

AT&T
7820 S CENTER ST.
CENTENNIAL, CO 80112

smartlink
1907 ANNAPOLIS EXCHANGE PARKWAY,
ANNAPOLIS, MD 21401

Trylon
1855 W. WALKER HILL LANE, SUITE 100
SPRING VALLEY, MO 64082

DRAWING SCALE: SEE REFERENCE FOR 11"x17" SIZE
PRINTED MEAS. ONLY.

SUBMITTALS

REV	DATE	DESCRIPTION	BY
1	11/19/20	1008 00	SP
2	04/01/21	1008 00	DN
3	10/26/23	1008 00	TEL
4	04/14/24	1008 00	DN
5	04/14/24	1008 00	DN
6	04/14/24	1008 00	DN
7	04/14/24	1008 00	DN
8	05/09/24	1008 00	DN

PROFESSIONAL ENGINEERING
7/9/2024
No. 1321-590-2303
MICHAEL S. MOORE
STATE OF UTAH
LICENSE NO. 46413

SITE INFORMATION
LTE 1C/2C/3C/4C/5C/
5G NR 15R
UTL04163
SOMERSET_VILLAGE
FA# 15201804
USID: 308018
SEE ADDRESS:
2489 E. CANYON RD SPANISH
FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION
COMPOUND GROUNDING
PLAN

SHEET NO.
G-3

MAINTAIN (2) EXPOSED THREADS MIN. (TYP)

HEAT SHRINK (CLEAR)

5/8" SPLIT WASHER (TYP)

5/8" FLAT WASHER (TYP)

GROUNDING CONDUCTOR

GROUND BAR

NUT (TYP)

"NO-OX" (TYP)

BOLT (TYP)

BLIND-TWO HOLE LUG WITH LONG BARREL FOR #6 STRANDED OR EQUIVALENT

BASE WIRE TO BE "NO-OX" AT BOTH ENDS

NOTES:

- ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL.
- COAT ALL SURFACES WITH ANTIOXIDANT COMPOUND BEFORE INSTALLATION.
- ALL EXPOSED EASILY ACCESSIBLE GROUND BARS SHALL BE TAGGED "NO HOT DISCONNECT".
- COAT ALL BARRELS WITH ANTIOXIDANT BEFORE CHIMING.

NOT TO SCALE 1

NOT TO SCALE 2

NOT TO SCALE 3

NOT TO SCALE 4

NOT TO SCALE 5

NOT TO SCALE 6

AT&T
7820 S CENTER ST.
CENTENNIAL, CO 80112

smartlink
1907 ANNAPOLIS EXCHANGE PARKWAY,
ANNAPOLIS, MD 21401

Trylon
1855 W. WALKER HILL LANE, SUITE 100
SPRING VALLEY, MO 64082

DRAWING SCALE: SEE REFERENCE FOR 11"x17" SIZE
PRINTED MEAS. ONLY.

SUBMITTALS

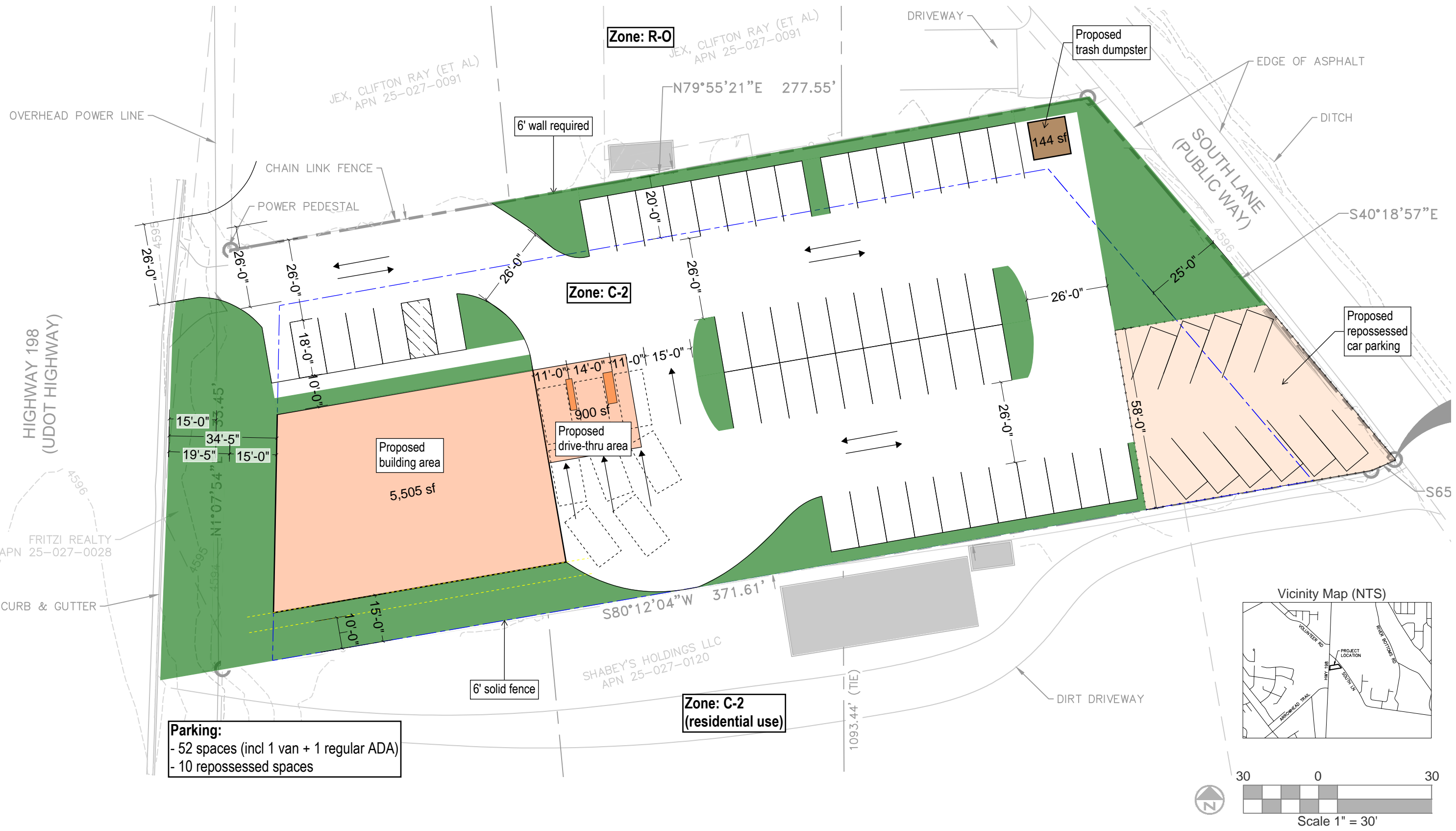
REV	DATE	DESCRIPTION	BY
1	11/19/20	1008 00	SP
2	04/01/21	1008 00	DN
3	10/26/23	1008 00	TEL
4	04/14/24	1008 00	DN
5	04/14/24	1008 00	DN
6	04/14/24	1008 00	DN
7	04/14/24	1008 00	DN
8	05/09/24	1008 00	DN

PROFESSIONAL ENGINEERING
7/9/2024
No. 1321-590-2303
MICHAEL S. MOORE
STATE OF UTAH
LICENSE NO. 46413

SITE INFORMATION
LTE 1C/2C/3C/4C/5C/
5G NR 15R
UTL04163
SOMERSET_VILLAGE
FA# 15201804
USID: 308018
SEE ADDRESS:
2489 E. CANYON RD SPANISH
FORK, UT 84660
UTAH COUNTY

SHEET DESCRIPTION
COMPOUND GROUNDING
PLAN

SHEET NO.
G-4



Pacific Horizon Credit Union - Main Branch

Conceptual Site Layout
July 30, 2024



Roots Coffee & Co.
Exterior Site Plan
90 W Center St., Spanish Fork, UT 84660

