



ALPINE CITY PLANNING COMMISSION MEETING

NOTICE is hereby given that the **PLANNING COMMISSION** of Alpine City, Utah will hold a **Public Hearing and Regular Meeting at Alpine City Hall**, 20 North Main, Alpine, Utah on **Tuesday, August 19, 2014 at 7:00 pm** as follows:

I. GENERAL BUSINESS

- A. Welcome and Roll Call: Jason Thelin
- B. Prayer/Opening Comments: Bryce Higbee

II. PUBLIC COMMENT

Any person wishing to comment on any item not on the agenda may address the Planning Commission at this point by stepping to the microphone and giving his or her name and address for the record.

III. ACTION ITEMS

A. PUBLIC HEARING - Sprint Tower Site Plan

The Planning Commission will review a site plan for a cell tower upgrade that would include the installation of (2) antennas, (2) power junction cylinders, (2) fiber junction cylinders, (1) filter and (2) RRH. The site is located at 694 Rocky Mountain Drive (Shepherd's Hill).

B. PUBLIC HEARING - Questar Property Purchase and Conditional Use Site Plan

The Planning Commission will review a proposal from Questar Gas Company to acquire a portion (75' x 75' or .13 acres) of the 2.37 acre property which is currently designated as Public Open Space within the Swiss One Planned Residential Development, Phase I plat. The property is located at approximately 600 North Pfeifferhorn Drive.

C. PUBLIC HEARING - Sign Ordinance Amendment

The Planning Commission will review a proposal to amend the sign ordinance (Article 3.25).

D. David's Court Final Plat F- Approx. 355 East Healey Blvd. - Patterson Construction Inc.

The Planning Commission will review the final plat F for the proposed David's Court subdivision.

E. Heritage Hills Final Plat C Revisions

The Planning Commission will review some revisions to the Heritage Hills final plat C subdivision.

IV. COMMUNICATIONS

V. APPROVAL OF PLANNING COMMISSION MINUTES: July 15, 2014

ADJOURN

Chairman Jason Thelin
August 15, 2014

THE PUBLIC IS INVITED TO ATTEND ALL PLANNING COMMISSION MEETINGS. If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 5.

CERTIFICATION OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted in three public places within Alpine City limits. These public places being a bulletin board located inside City Hall at 20 North Main and located in the lobby of the Bank of American Fork, Alpine Branch, 133 S. Main, Alpine, UT; and the bulletin board located at The Junction, 400 S. Main, Alpine, UT. The above agenda notice was sent by e-mail to The Daily Herald located in Provo, UT a local newspaper circulated in Alpine, UT. This agenda is also available on the City's web site at www.alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html.

PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length, and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

Public Hearing v. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

ALPINE PLANNING COMMISSION AGENDA

SUBJECT: Sprint Cell Tower Site Plan - Sprint 2.5 Equipment Upgrade

FOR CONSIDERATION ON: 19 August 2014

PETITIONER: Crown Castle - Craig Chagnon

ACTION REQUESTED BY PETITIONER: Approve the Site Plan

APPLICABLE STATUTE OR ORDINANCE: Article 3.27 (Wireless Telecommunications)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

Sprint has submitted a site plan for review that would include the installation of (2) antennas, (2) power junction cylinders, (2) fiber junction cylinders, (1) filter and (2) RRH. The site is located at 694 Rocky Mountain Drive (Shepherd's Hill).

RECOMMENDED ACTION:

The Planning Commission review the proposed site plan for the Sprint 2.5 Equipment Upgrade and recommend to the City Council any conditions that they see fit.

Site Name: SHEPHERD'S HILL
Site Location: 694 Rocky Mountain Drive, Alpine, UT 84004
Tower Owner: Crown Castle
Project Applicant: Crown Castle
Project Name: Sprint 2.5 Equipment Upgrade

Scope of Work:

Application is for Sprint 2.5 equipment. Customer proposes to install (2) antennas, (2) power junction cylinders (PJC), (2) Fiber junction cylinders (FJC), (1) filter and (2) RRH.
Final configuration: (4) antennas, (2) lines (2) PJC's, (2) FJC's, (1) filter & (6) RRHs. No changes to the existing ground space/lease area.

Maintenance:

The subject site is a single-carrier site, so the anticipated maintenance schedule would be very light. As the facility operator, Crown Castle would visit the site once/year to perform scheduled inspections, brush clearance, and generally ensure that the facility is compliant. As Crown's tenant, it is anticipated that Sprint would visit the site perhaps 4 to 6 times annually. These inspections would be to inspect cellular ground equipment, antennas, coax cabling, electrical systems, etc. to ensure seamless and proper delivery of wireless services. Both inspections are done by standard trucks or similar vehicles. This facility is only 25-feet tall and is equipped with climbing pegs, so all tower and antenna inspections can be made without the need for a bucket truck to drive to the site.

Service Area:

The Sprint 2.5 project is a technology/network upgrade of the equipment on site. It will provide an increase in capacity and will provide faster service for the network users in this area. The service area of this tower is small, a mile or less in any direction. This is a unique location and it is a critical site providing immediate area coverage that would not otherwise be available.

Licenses and Permits:

Sprint has provided copies of three FCC Radio Station Licenses relating to their operations in Utah. Copies are attached accordingly:

- Call Sign WPOH363 – FCC Registration Number 0002049880
- Call Sign WQKT248 - FCC Registration Number 0002049880
- Call Sign KNLF272 – FCC registration Number 0002316545

A building permit issued by the City of Alpine, UT is the only permit anticipated as necessary for this project.

Radio Frequency Emissions:

Sprint has an excellent record of compliance with all applicable FCC radio frequency emission regulations and is committed to maintain their record as a leader within their industry.

Crown Castle agrees to comply with all applicable Federal Communication Commission RF requirements and regulations.

Liaison: Craig Chagnon / Crown Castle
5350 N. 48th St., Suite 305
Chandler, AZ 85226
801-979-9077
Craig.chagnon@crowncastle.com



2.5 EQUIPMENT DEPLOYMENT



SITE NAME

SHEPHERD'S HILL

SITE NUMBER / CROWN CASTLE BU#

SL54XC024 / 880636

SITE ADDRESS

694 ROCKY MTN DR.
ALPINE, UTAH 84004

SITE TYPE

EXISTING 32'-8" MONOPOLE



6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251



845 SOUTH MAIN, BOUNTIFUL, UTAH 84010
801-298-5777 FAX 801-298-1677

CODE

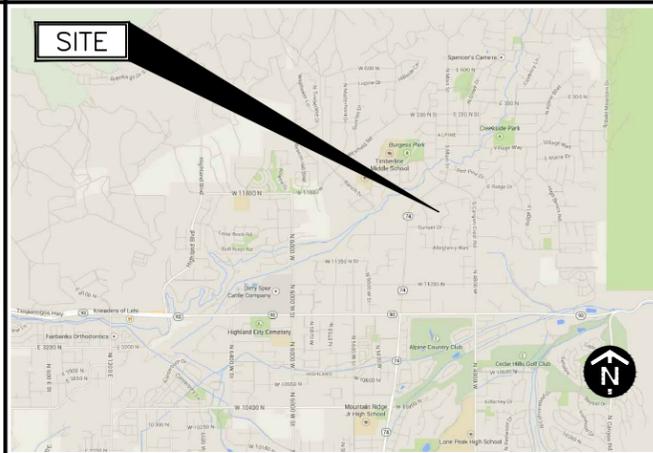
UTAH STATE CODE COMPLIANCE:
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THIS PLANS NEEDS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING CODE:
2012 INTERNATIONAL BUILDING CODE
WITH ALL LATEST/LOCAL AMENDMENTS

ELECTRICAL CODE:
2011 NATIONAL ELECTRIC CODE
WITH ALL LATEST/LOCAL AMENDMENTS

ACCESSIBILITY REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS REQUIREMENTS ARE NOT REQUIRED.

AREA MAP



PROJECT SUMMARY

SITE NAME: SHEPHERD'S HILL

SITE NUMBER: SL54XC024
CROWN CASTLE BU#: 880636
SITE ADDRESS: 694 ROCKY MTN DR
ALPINE, UTAH 84004

COUNTY: UTAH COUNTY
ZONING CLASSIFICATION: INDUSTRIAL
ZONING DISTRICT: ALPINE

SOURCE: SITE AUDIT
LATITUDE: 40.44410277° (NAD 83)
LONGITUDE: -111.77978611° (NAD 83)
GROUND ELEVATION: 5017'

PROPERTY/TOWER OWNER:
COMPANY: CROWN CASTLE USA, INC
CONTACT: CUSTOMER SERVICE
ADDRESS: 5350 NORTH 48TH STREET, SUITE 305
CHANDLER, AZ 85226-5141
EMAIL: N/A
PH: (480) 735-6900

SHEET INDEX

SHEET	DESCRIPTION	CHECKED BY:	JRC
T-1	TITLE SHEET	APPROVED BY:	TGS
SP-1	SPRINT SPECIFICATION	#	DATE
SP-2	SPRINT SPECIFICATION	0	05/28/14
A-1	OVERALL SITE PLAN	1	06/20/14
A-2	ENLARGED SITE PLAN	2	07/31/14
A-2A	EQUIPMENT LAYOUT		
A-3	TOWER ELEVATION AND ANTENNA LAYOUT		
A-4	SITE DETAILS		
A-5	NOT USED		
A-6	NOT USED		
A-7	CABLE AND COLOR CODING		
A-8	EQUIPMENT DETAILS		
E-1	AC POWER DISTRIBUTION		
E-2	AC & DC POWER DISTRIBUTION AND SCHEDULE		
E-3	GROUNDING DETAILS		

#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
1	06/20/14	100% STAMPED	NSW
2	07/31/14	100% STAMPED	NSW

PROJECT DESCRIPTION

- THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY
- THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE.
- THE SCOPE OF WORK CONSISTS OF MODIFYING THE EXISTING WIRELESS INSTALLATION:
- INSTALL (2) PANEL ANTENNAS
- INSTALL (2) NEW RRUS (REMOTE RADIO UNITS)
- INSTALL (1) NEXRAD RF, SEC 2

VICINITY MAP



SITE CONSTRUCTION MANAGER:

COMPANY: SPRINT SITE DEVELOPMENT/UTAH
CONTACT: JUSTIN R. NELSON
CELL #: (435) 232-5459
OFFICE #: (801) 685-5809

ENGINEERING FIRM:

COMPANY: SMITH HYATT ARCHITECTS
CONTACT: TOM SMITH
EMAIL: tom@smithhyatt.com
MAIN OFFICE: (801) 298-5777

POWER COMPANY

COMPANY: ROCKY MOUNTAIN POWER
CONTACT: CUSTOMER SERVICE
PHONE: 1-888-221-7070

AAV PROVIDER:

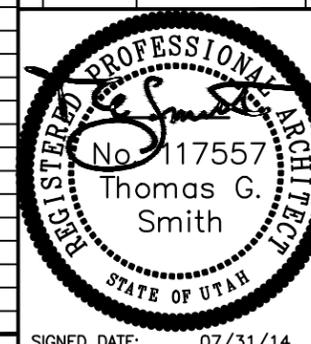
COMPANY: CUSTOMER SERVICE
CONTACT: (XXX) XXX-XXXX
PHONE:

CERTIFICATION STATEMENT:

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE.

LICENSED ARCHITECT - STATE OF UTAH

DATE SIGNED: 07/31/14
EXPIRES: 05/31/16
LICENSE#: 117557



SIGNED DATE: 07/31/14

SIGNATURE BLOCK

APPROVAL	SIGNATURE	DATE
SITE ACQ. MGR		
CONSTRUCTION MGR		
A&E MGR		
PLANNING CONS.		
RF MGR		
RF ENGINEER		
PROPERTY OWNER		
SPRINT REP.		
AVW MGR.		

DRIVING DIRECTIONS

SALT LAKE CITY INTERNATIONAL AIRPORT
TAKE THE I-80 E RAMP TO CITY CENTER/OGDEN/PROVO
KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR I-80 E AND MERGE ONTO I-80 E.
KEEP LEFT TO CONTINUE ON I-15 S
TAKE EXIT 284 TOWARD HIGHLAND ALPINE
KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR UTAH 92 AND MERGE ONTO UT-92 E
SLIGHT RIGHT ONTO UT-92
DESTINATION WILL BE ON THE LEFT

PROJECT TEAM

6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251
TEL: (913) 624-6000

APPLICANT

PROJECT MANAGER

ENGINEER

SITE NAME

SHEPHERD'S HILL

SITE I.D.

SL54XC024
880636

SITE ADDRESS

694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME

TITLE SHEET

SHEET NUMBER

T-1

THESE OUTLINE SPECIFICATIONS IN CONJUNCTION WITH THE SPRINT STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING CONTRACT DOCUMENTS AND THE CONSTRUCTION DRAWINGS DESCRIBE THE WORK TO BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR MEETING THE REQUIREMENTS OF SPRINT'S "STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES" IN REGARDS TO ALL WORK COMPLETED.

SECTION 01 100 – SCOPE OF WORK

THE WORK:
SHALL COMPLY WITH APPLICABLE NATIONAL CODES AND STANDARDS, LATEST EDITION, AND PORTIONS THEREOF.

PRECEDENCE:
SHOULD CONFLICTS OCCUR BETWEEN THE STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES INCLUDING THE STANDARD CONSTRUCTION DETAILS FOR WIRELESS SITES AND THE CONSTRUCTION DRAWINGS, INFORMATION ON THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE.

SITE FAMILIARITY:
CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

ON-SITE SUPERVISION:
THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DRAWINGS, SPECIFICATIONS AND DETAILS REQUIRED AT JOBSITE:
THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A FULL SET OF THE CONSTRUCTION DRAWINGS AT THE JOBSITE FROM MOBILIZATION THROUGH CONSTRUCTION COMPLETION.

- A. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. PROVIDE ALL MATERIALS AND LABOR AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING SYSTEM. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- B. CONTRACTOR SHALL NOTIFY SPRINT CONSTRUCTION MANAGER OF ANY VARIATIONS PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- C. MARK THE FIELD SET OF DRAWINGS IN RED, DOCUMENTING ANY CHANGES FROM THE CONSTRUCTION DOCUMENTS.
- D. GROUNDING NE-312-201
- E. SPRINT INTEGRATED CONSTRUCTION STANDARDS VERSION 4.0

METHODS OF PROCEDURE (MOPS) FOR CONSTRUCTION:
CONTRACTOR SHALL PERFORM WORK AS DESCRIBED IN

- A. COAX COLOR CODING SWEEPS AND FIBER TESTING TS-0200 AND EL-0568
- B. CABLE LABELING EN-2012-00
- C. APPLICABLE INSTALLATION MOPS IDENTIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS

SECTION 01 200 – COMPANY FURNISHED MATERIAL AND EQUIPMENT

COMPANY FURNISHED MATERIAL AND EQUIPMENT IS IDENTIFIED ON THE RF DATA SHEET IN THE CONSTRUCTION DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR SPRINT PROVIDED MATERIAL AND EQUIPMENT TO ENSURE IT IS PROTECTED AND HANDLED PROPERLY THROUGHOUT THE CONSTRUCTION DURATION.

CONTRACTOR RESPONSIBLE FOR RECEIPT OF SPRINT FURNISHED EQUIPMENT AT CELL SITE OR CONTRACTORS LOCATION. CONTRACTOR TO COMPLETE SHIPPING AND RECEIPT DOCUMENTATION IN ACCORDANCE WITH COMPANY PRACTICE.

SECTION 01 300 – CELL SITE CONSTRUCTION

NOTICE TO PROCEED:
NO WORK SHALL COMMENCE PRIOR TO COMPANY'S WRITTEN NOTICE TO PROCEED AND THE ISSUANCE OF WORK ORDER.

SITE CLEANLINESS:
CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE SITE ALL REMAINING RUBBISH, IMPLEMENTS, TEMPORARY FACILITIES, AND SURPLUS MATERIALS.

ALTERNATES: SECTION 01 400 – SUBMITTALS & TESTS

AT THE COMPANY'S REQUEST, ANY ALTERNATIVES TO THE MATERIALS OR METHODS SPECIFIED SHALL BE SUBMITTED TO SPRINTS CONSTRUCTION MANAGER FOR APPROVAL. SPRINT WILL REVIEW AND APPROVE ONLY THOSE REQUESTS MADE IN WRITING. NO VERBAL APPROVALS WILL BE CONSIDERED.

TESTS AND INSPECTIONS:

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTS, INSPECTIONS AND PROJECT DOCUMENTATION.
- B. CONTRACTOR SHALL ACCOMPLISH TESTING INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - 1. COAX SWEEPS AND FIBER TESTS PER TS-0200 REV 4 ANTENNA LINE ACCEPTANCE STANDARDS.
 - 2. AGL, AZIMUTH AND DOWNTILT PROVIDE AN AUTOMATED REPORT UPLOADED TO SITERRA USING A COMMERCIAL MADE-FOR THE PURPOSE ELECTRONIC ANTENNA ALIGNMENT TOOL (AAT). INSTALLED AZIMUTH, CENTERLINE AND DOWNTILT MUST CONFORM WITH RF CONFIGURATION DATA
 - 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIONS TO ANY WORK IDENTIFIED AS UNACCEPTABLE IN SITE INSPECTION ACTIVITIES AND/OR AS A RESULT OF TESTING.
 - 4. ALL TESTING REQUIRED BY APPLICABLE INSTALLATION MOPS.
- C. REQUIRED CLOSEOUT DOCUMENTATION INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 - 1. AZIMUTH, DOWNTILT, AGL FROM SUNSIGHT INSTRUMENTS – ANTENNA ALIGNMENT TOOL (AAT)
 - 2. SWEEP AND FIBER TESTS
 - 3. SCALABLE BARCODE PHOTOGRAPHS OF TOWER TOP AND INACCESSIBLE SERIALIZED EQUIPMENT
 - 4. ALL AVAILABLE JURISDICTIONAL PERMIT AND OCCUPANCY INFORMATION
 - 5. PDF SCAN OF REDLINES PRODUCED IN FIELD
 - 6. A PDF SCAN OF REDLINE MARK-UPS SUITABLE FOR USE IN ELECTRONIC AS-BUILT DRAWING PRODUCTION
 - 7. LIEN WAIVERS
 - 8. FINAL PAYMENT APPLICATION
 - 9. REQUIRED FINAL CONSTRUCTION PHOTOS
 - 10. CONSTRUCTION AND COMMISSIONING CHECKLIST COMPLETE WITH NO DEFICIENT ITEMS
 - 11. APPLICABLE POST NTP TASKS INCLUDING DOCUMENT UPLOADS COMPLETED IN SITERRA (SPRINTS DOCUMENT REPOSITORY OF RECORD).
 - 12. CLOSEOUT PHOTOGRAPHS AND CLOSEOUT CHECKLIST: SPRINT WILL PROVIDE SEPARATE GUIDANCE

SECTION 11 700 – ANTENNA ASSEMBLY, REMOTE RADIO UNITS AND CABLE INSTALLATION SUMMARY:

THIS SECTION SPECIFIES INSTALLATION OF ANTENNAS, RRU'S, AND CABLE EQUIPMENT, INSTALLATION, AND TESTING OF COAXIAL FIBER CABLE.

ANTENNAS AND RRU'S:
THE NUMBER AND TYPE OF ANTENNAS AND RRU'S TO BE INSTALLED IS DETAILED ON THE CONSTRUCTION DRAWINGS.

HYBRID CABLE:
HYBRID CABLE WILL BE DC/FIBER AND FURNISHED FOR INSTALLATION AT EACH SITE. CABLE SHALL BE INSTALLED PER THE CONSTRUCTION DRAWINGS AND THE APPLICABLE MANUFACTURER'S REQUIREMENTS.

JUMPERS AND CONNECTORS:
FURNISH AND INSTALL 1/2" COAX JUMPER CABLES BETWEEN THE RRU'S AND ANTENNAS. JUMPERS SHALL BE TYPE LDF 4, FLC 12-50, CR 540, OR FXL 540. SUPER-FLEX CABLES ARE NOT ACCEPTABLE. JUMPERS BETWEEN THE RRU'S AND ANTENNAS OR TOWER TOP AMPLIFIERS SHALL CONSIST OF 1/2 INCH FOAM DIELECTRIC, OUTDOOR RATED COAXIAL CABLE, MIN LENGTH FOR JUMPER SHALL BE 10"-0".

REMOTE ELECTRICAL TILT (RET) CABLES:

MISCELLANEOUS:
INSTALL SPLITTERS, COMBINERS, FILTERS PER RF DATA SHEET, FURNISHED BY SPRINT.

ANTENNA INSTALLATION:
THE CONTRACTOR SHALL ASSEMBLE ALL ANTENNAS ONSITE IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. ANTENNA HEIGHT, AZIMUTH, AND FEED ORIENTATION INFORMATION SHALL BE A DESIGNATED ON THE CONSTRUCTION DRAWINGS.

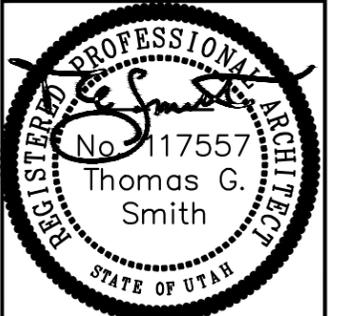
- A. THE CONTRACTOR SHALL POSITION THE ANTENNA ON TOWER PIPE MOUNTS SO THAT THE BOTTOM STRUT IS LEVEL. THE PIPE MOUNTS SHALL BE PLUMB TO WITHIN 1 DEGREE.
- B. ANTENNA MOUNTING REQUIREMENTS: PROVIDE ANTENNA MOUNTING HARDWARE AS INDICATED ON THE DRAWINGS.

HYBRID CABLE INSTALLATION:
A. THE CONTRACTOR SHALL ROUTE, TEST, AND INSTALL ALL CABLES AS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

- B. THE INSTALLED RADIUS OF THE CABLES SHALL NOT BE LESS THAN THE MANUFACTURER'S SPECIFICATIONS FOR BENDING RADII.
 - C. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE CABLES DURING HANDLING AND INSTALLATION.
 - 1. FASTENING MAIN HYBRID CABLES: ALL CABLES SHALL BE INSTALLED INSIDE MONOPOLE WITH CABLE SUPPORT GRIPS AS REQUIRED BY THE MANUFACTURER.
 - 2. FASTENING INDIVIDUAL FIBER AND DC CABLES ABOVE BREAKOUT ENCLOSURE (MEDUSA), WITHIN THE MMBS CABINET AND ANY INTERMEDIATE DISTRIBUTION BOXES:
 - a. FIBER: SUPPORT FIBER BUNDLES USING 1/2" VELCRO STRAPS OF THE REQUIRED LENGTH @ 18" OC. STRAPS SHALL BE UV, OIL AND WATER RESISTANT AND SUITABLE FOR INDUSTRIAL INSTALLATIONS AS MANUFACTURED BY TEXTOL OR APPROVED EQUAL.
 - b. DC: SUPPORT DC BUNDLES WITH ZIP TIES OF THE ADEQUATE LENGTH. ZIP TIES TO BE UV STABILIZED, BLACK NYLON, WITH TENSILE STRENGTH AT 12,000 PSI AS MANUFACTURED BY NELCO PRODUCTS OR EQUAL.
 - 3. FASTENING JUMPERS: SECURE JUMPERS TO THE SIDE ARMS OR HEAD FRAMES USING STAINLESS STEEL TIE WRAPS OR STAINLESS STEEL BUTTERFLY CLIPS.
 - 4. CABLE INSTALLATION:
 - a. INSPECT CABLE PRIOR TO USE FOR SHIPPING DAMAGE, NOTIFY THE CONSTRUCTION MANAGER.
 - b. CABLE ROUTING: CABLE INSTALLATION SHALL BE PLANNED TO ENSURE THAT THE LINES WILL BE PROPERLY ROUTED IN THE CABLE ENVELOP AS INDICATED ON THE DRAWINGS. AVOID TWISTING AND CROSSOVERS.
 - c. HOIST CABLE USING PROPER HOISTING GRIPS. DO NOT EXCEED MANUFACTURES RECOMMENDED MAXIMUM BEND RADIUS.
 - 5. GROUNDING OF TRANSMISSION LINES: ALL TRANSMISSION LINES SHALL BE GROUNDED AS INDICATED ON DRAWINGS.
 - 6. HYBRID CABLE COLOR CODING: ALL COLOR CODING SHALL BE AS REQUIRED IN TS 0200 REV 4.
 - 7. HYBRID CABLE LABELING: INDIVIDUAL HYBRID AND DC BUNDLES SHALL BE LABELED ALPHA-NUMERICALLY ACCORDING TO SPRINT CELL SITE ENGINEERING NOTICE – EN 2012-001, REV 1
- WEATHERPROOFING EXTERIOR CONNECTORS AND HYBRID CABLE GROUND KITS:**
- A. ALL FIBER & COAX CONNECTORS AND GROUND KITS SHALL BE WEATHERPROOFED.
 - B. WEATHERPROOFED USING ONE OF THE FOLLOWING METHODS. ALL INSTALLATIONS MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY BEST PRACTICES.
 - 1. COLD SHRINK: ENCOMPASS CONNECTOR IN COLD SHRINK TUBING AND PROVIDE A DOUBLE WRAP OF 2" ELECTRICAL TAPE EXTENDING 2" BEYOND TUBING. PROVIDE 3M COLD SHRINK CXS SERIES OR EQUAL.
 - 2. SELF-AMALGAMATING TAPE: CLEAN SURFACES. APPLY A DOUBLE WRAP OF SELF-AMALGAMATING TAPE 2" BEYOND CONNECTOR. APPLY A SECOND WRAP OF SELF-AMALGAMATING TAPE IN OPPOSITE DIRECTION. APPLY DOUBLE WRAP OF 2" WIDE ELECTRICAL TAPE EXTENDING 2" BEYOND THE SELF-AMALGAMATING TAPE.
 - 3. 3M SLIM LOCK CLOSURE 716: SUBSTITUTIONS WILL NOT BE ALLOWED.
 - 4. OPEN FLAME ON JOB SITE IS NOT ACCEPTABLE



CHECKED BY:	JRC		
APPROVED BY:	TGS		
#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
1	06/20/14	100% STAMPED	NSW
2	07/31/14	100% STAMPED	NSW



SIGNED DATE: 07/31/14

SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

SITE ADDRESS
**694 ROCKY MTN DR
ALPINE, UTAH 84004**

SHEET NAME
**SPRINT
SPECIFICATION**

SHEET NUMBER
SP-1

SECTION 11 800 – INSTALLATION OF MULTIMODAL BASE STATIONS (MMBS) AND RELATED EQUIPMENT

SUMMARY:

- A. THIS SECTION SPECIFIES MMBS CABINETS, POWER CABINETS, AND INTERNAL EQUIPMENT INCLUDING BY NOT LIMITED TO RECTIFIERS, POWER DISTRIBUTION UNITS, BASE BAND UNITS, SURGE ARRESTORS, BATTERIES, AND SIMILAR EQUIPMENT FURNISHED BY THE COMPANY FOR INSTALLATION BY THE CONTRACTOR (OFCI).
- B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS MATERIALS AND PROVIDE ALL LABOR REQUIRED FOR INSTALLATION EQUIPMENT IN EXISTING CABINET OR NEW CABINET AS SHOWN ON DRAWINGS AND AS REQUIRE BY THE APPLICABLE INSTALLATION MOPS.
- C. COMPLY WITH MANUFACTURERS INSTALLATION AND START-UP REQUIREMENTS

DC CIRCUIT BREAKER LABELING

- A. NEW DC CIRCUIT IS REQUIRED IN MMBS CABINET SHALL BE CLEARLY IDENTIFIED AS TO RRU BEING SERVICED

SECTION 26 100 – BASIC ELECTRICAL REQUIREMENTS

SUMMARY:

THIS SECTION SPECIFIES BASIC ELECTRICAL REQUIREMENTS FOR SYSTEMS AND COMPONENTS.

QUALITY ASSURANCE:

- A. ALL EQUIPMENT FURNISHED UNDER DIVISION 26 SHALL CARRY UL LABELS AND LISTINGS WHERE SUCH LABELS AND LISTINGS ARE AVAILABLE IN THE INDUSTRY.
- B. MANUFACTURERS OF EQUIPMENT SHALL HAVE A MINIMUM OF THREE YEARS EXPERIENCE WITH THEIR EQUIPMENT INSTALLED AND OPERATING IN THE FIELD IN A USE SIMILAR TO THE PROPOSED USE FOR THIS PROJECT.
- C. MATERIALS AND EQUIPMENT: ALL MATERIALS AND EQUIPMENT SPECIFIED IN DIVISION 26 OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL BE NEW, OF THE BEST QUALITY AND DESIGN, AND FREE FROM DEFECTS

SUPPORTING DEVICES:

- A. ALL EQUIPMENT FURNISHED UNDER DIVISION 26 SHALL CARRY UL LABELS AND LISTINGS WHERE SUCH LABELS AND LISTINGS ARE AVAILABLE IN THE INDUSTRY.
- B. MANUFACTURERS OF EQUIPMENT SHALL HAVE A MINIMUM OF THREE YEARS EXPERIENCE WITH THEIR EQUIPMENT INSTALLED AND OPERATING IN THE FIELD IN A USE SIMILAR TO THE PROPOSED USE FOR THIS PROJECT.
- C. MATERIALS AND EQUIPMENT: ALL MATERIALS AND EQUIPMENT SPECIFIED IN DIVISION 26 OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL BE NEW, OF THE BEST QUALITY AND DESIGN, AND FREE FROM DEFECTS

SUPPORTING DEVICES:

- A. MANUFACTURED STRUCTURAL SUPPORT MATERIALS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING:
 - 1. ALLIED TUBE AND CONDUIT
 - 2. B-LINE SYSTEM
 - 3. SUNISTRUT DIVERSIFIED PRODUCTS
 - 4. THOMAS & BETTS
- B. FASTENERS: TYPES, MATERIALS, AND CONSTRUCTION FEATURES AS FOLLOWS:
 - 1. EXPANSION ANCHORS: CARBON STEEL WEDGE OR SLEEVE TYPE.
 - 2. POWER-DRIVEN THREADED STUDS: HEAT-TREATED STEEL, DESIGNED SPECIFICALLY FOR THE INTENDED SERVICE.
 - 3. FASTEN BY MEANS OF WOOD SCREWS ON WOOD.
 - 4. TOGGLE BOLTS ON HOLLOW MASONRY UNITS.
 - 5. CONCRETE INSERTS OR EXPANSION BOLTS ON CONCRETE OR SOLID MASONRY.
 - 6. MACHINE SCREWS, WELDED THREADED STUDS, OR SPRING-TENSION CLAMPS ON STEEL.
 - 7. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE SHALL NOT BE PERMITTED.
 - 8. DO NOT WELD CONDUIT, PIPE STRAPS, OR ITEMS OTHER THAN THREADED STUDS TO STEEL STRUCTURES.
 - 9. IN PARTITIONS OF LIGHT STEEL CONSTRUCTION, USE SHEET METAL SCREWS.

SUPPORTING DEVICES:

- A. INSTALL SUPPORTING DEVICES TO FASTEN ELECTRICAL COMPONENTS SECURELY AND PERMANENTLY IN ACCORDANCE WITH NEC.
- B. COORDINATE WITH THE BUILDING STRUCTURAL SYSTEM AND WITH OTHER TRADES.
- C. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, FASTEN ELECTRICAL ITEMS AND THEIR SUPPORTING HARDWARE SECURELY TO THE STRUCTURE IN ACCORDANCE WITH THE FOLLOWING:
- D. ENSURE THAT THE LOAD APPLIED BY ANY FASTENER DOES NOT EXCEED 25 PERCENT OF THE PROOF TEST LOAD.
- E. USE VIBRATION AND SHOCK-RESISTANT FASTENERS FOR ATTACHMENTS TO CONCRETE SLABS.

ELECTRICAL IDENTIFICATION:

- A. UPDATE AND PROVIDE TYPED CIRCUIT BREAKER SCHEDULES IN THE MOUNTING BRACKET, INSIDE DOORS OF AC PANEL BOARDS WITH ANY CHANGES MADE TO THE AC SYSTEM.
- B. BRANCH CIRCUITS FEEDING AVIATION OBSTRUCTION LIGHTING EQUIPMENT SHALL BE CLEARLY IDENTIFIED AS SUCH AT THE BRANCH CIRCUIT PANELBOARD.

SECTION 26 200 – ELECTRICAL MATERIALS AND EQUIPMENT

CONDUIT:

- A. RIGID GALVANIZED STEEL (RGS) CONDUIT SHALL BE USED FOR EXTERIOR LOCATIONS ABOVE GROUND AND IN UNFINISHED INTERIOR LOCATIONS AND FOR ENCASED RUNS IN CONCRETE. RIGID CONDUIT AND FITTINGS SHALL BE STEEL, COATED WITH ZINC EXTERIOR AND INTERIOR BY THE HOT DIP GALVANIZING PROCESS. CONDUIT SHALL BE PRODUCED TO ANSI SPECIFICATIONS C80.1, FEDERAL SPECIFICATION WW-C-581 AND SHALL BE LISTED WITH THE UNDERWRITERS' LABORATORIES. FITTINGS SHALL BE THREADED – SET SCREW OR COMPRESSION FITTINGS WILL NOT BE ACCEPTABLE. RGS CONDUITS SHALL BE MANUFACTURED BY ALLIED, REPUBLIC OR WHEATLAND.
- B. UNDERGROUND CONDUIT IN CONCRETE SHALL BE POLYVINYLCHLORIDE (PVC) SUITABLE FOR DIRECT BURIAL AS APPLICABLE. JOINTS SHALL BE BELLED, AND FLUSH SOLVENT WELDED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL BE CARLON ELECTRICAL PRODUCTS OR APPROVED EQUAL.
- C. TRANSITIONS BETWEEN PVC AND RIGID (RGS) SHALL BE MADE WITH PVC COATED METALLIC LONG SWEEP RADIUS ELBOWS.
- D. EMT OR RIGID GALVANIZED STEEL CONDUIT MAY BE USED IN FINISHED SPACES CONCEALED IN WALLS AND CEILINGS. EMT SHALL BE MILD STEEL, ELECTRICALLY WELDED, ELECTRO-GALVANIZED OR HOT-DIPPED GALVANIZED AND PRODUCED TO ANSI SPECIFICATION C80.3, FEDERAL SPECIFICATION WW-C-563, AND SHALL BE UL LISTED. EMT SHALL BE MANUFACTURED BY ALLIED, REPUBLIC OR WHEATLAND, OR APPROVED EQUAL. FITTINGS SHALL BE METALLIC COMPRESSION. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE.
- E. LIQUID TIGHT FLEXIBLE METALLIC CONDUIT SHALL BE USED FOR FINAL CONNECTION TO EQUIPMENT. FITTINGS SHALL BE METALLIC GLAND TYPE COMPRESSION FITTINGS, MAINTAINING THE INTEGRITY OF CONDUIT SYSTEM. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE. MAXIMUM LENGTH OF FLEXIBLE CONDUIT SHALL NOT EXCEED 6- FEET. LFMC SHALL BE PROTECTED AND SUPPORTED AS REQUIRE BY NEC. MANUFACTURERS OF FLEXIBLE CONDUITS SHALL BE CAROL, ANACONDA METAL HOSE OR UNIVERSAL METAL HOSE, OR APPROVED EQUAL.
- F. MINIMUM SIZE CONDUIT SHALL BE 3/4 INCH (21MM).

HUBS AND BOXES:

- A. AT ENTRANCES TO CABINETS OR OTHER EQUIPMENT NOT HAVING INTEGRAL THREADED HUBS PROVIDE METALLIC THREADED HUBS OF THE SIZE AND CONFIGURATION REQUIRED. HUB SHALL INCLUDE LOCKNUT AND NEOPRENE O-RING SEAL. PROVIDE IMPACT RESISTANT 105 DEGREE C PLASTIC BUSHINGS TO PROTECT CABLE INSULATION.
- B. CABLE TERMINATION FITTINGS FOR CONDUIT
 - 1. CABLE TERMINATORS FOR RGS CONDUITS SHALL BE TYPE CRC BY O-Z/GEDNEY OR EQUAL BY ROX TEC.
 - 2. CABLE TERMINATORS FOR LFMC SHALL BE ETCO – CL2075; OR MADE FOR THE PURPOSE PRODUCTS BY ROXTEC.
- C. EXTERIOR PULL BOXES AND PULL BOXES IN INTERIOR INDUSTRIAL AREAS SHALL BE PLATED CAST ALLOY, HEAVY DUTY, WEATHERPROOF, DUST PROOF, WITH GASKET, PLATED IRON ALLOY COVER AND STAINLESS STEEL COVER SCREWS, CROUSE-HINDS WAB SERIES OR EQUAL.
- D. CONDUIT OUTLET BODIES SHALL BE PLATED CAST ALLOY WITH SIMILAR GASKETED COVERS. OUTLET BODIES SHALL BE OF THE CONFIGURATION AND SIZE SUITABLE FOR THE APPLICATION. PROVIDE CROUSE-HINDS FORM 8 OR EQUAL.
- E. MANUFACTURER FOR BOXES AND COVERS SHALL BE HOFFMAN, SQUARE "D", CROUSE-HINDS, COOPER, ADALET, APPLETON, O-Z GEDNEY, RACO, OR APPROVED EQUAL.

SUPPLEMENTAL GROUNDING SYSTEM

- A. FURNISH AND INSTALL A SUPPLEMENTAL GROUNDING SYSTEM TO THE EXTENT INDICATED ON THE DRAWINGS. SUPPORT SYSTEM WITH NON-MAGNETIC STAINLESS STEEL CLIPS WITH RUBBER GROMMETS. GROUNDING CONNECTORS SHALL BE TINNED COPPER WIRE, SIZES AS INDICATED ON THE DRAWINGS. PROVIDE STRANDED OR SOLID BARE OR INSULATED CONDUCTORS EXCEPTED AS OTHERWISE NOTED.
- B. SUPPLEMENTAL GROUNDING SYSTEM: ALL CONNECTIONS TO BE MADE WITH CAD WELDS, EXCEPT AT EQUIPMENT USE LUGS OR OTHER AVAILABLE GROUNDING MEANS AS REQUIRED BY MANUFACTURER; AT GROUND BARS USE TWO HOLE SPADES WITH NO OX.
- C. STOLEN GROUND-BARS: IN THE EVENT OF STOLEN GROUND BARS, CONTACT SPRINT CM FOR REPLACEMENT INSTRUCTION USING THREADED ROD KITS.

EXISTING STRUCTURE:

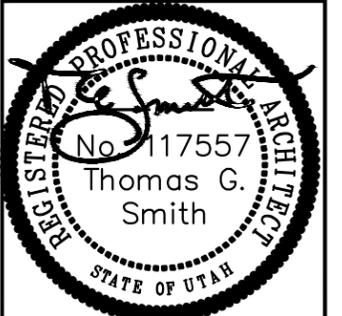
- A. EXISTING EXPOSED WIRING AND ALL EXPOSED OUTLETS, RECEPTACLES, SWITCHES, DEVICES, BOXES, AND OTHER EQUIPMENT THAT ARE NOT TO BE UTILIZED IN THE COMPLETED PROJECT SHALL BE REMOVED OR DE-ENERGIZED AND CAPPED IN THE WALL, CEILING, OR FLOOR SO THAT THEY ARE CONCEALED AND SAFE. WALL, CEILING, OR FLOOR SHALL BE PATCHED TO MATCH THE ADJACENT CONSTRUCTION.

CONDUIT AND CONDUCTOR INSTALLATION:

- A. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
- B. CONDUCTORS SHALL BE PULLED IN ACCORDANCE WITH ACCEPTED GOOD PRACTICE.



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APPROVED BY:	TGS		
#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
1	06/20/14	100% STAMPED	NSW
2	07/31/14	100% STAMPED	NSW



SIGNED DATE: 07/31/14

SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

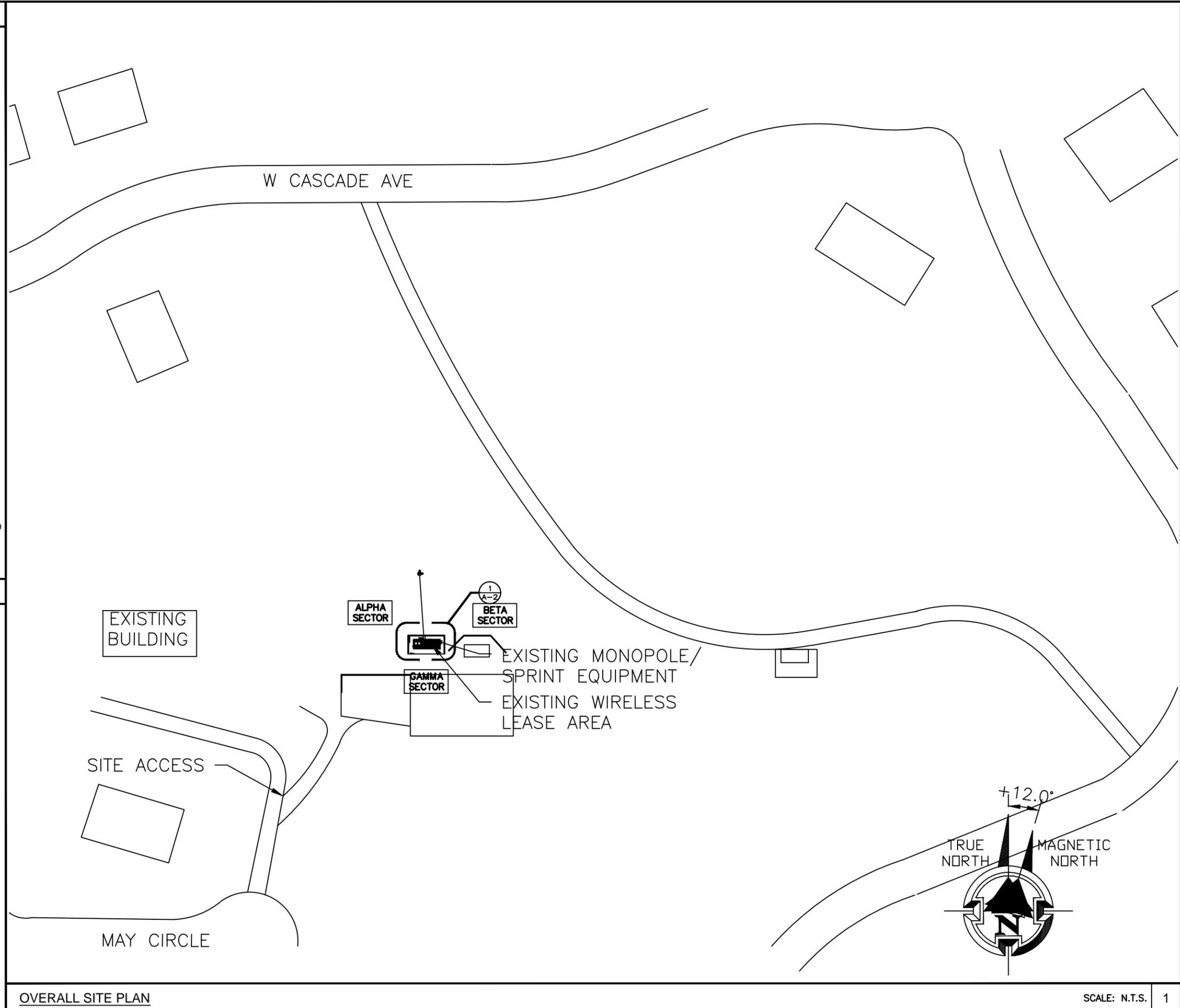
SITE ADDRESS
**694 ROCKY MTN DR
ALPINE, UTAH 84004**

SHEET NAME
**SPRINT
SPECIFICATION**

SHEET NUMBER
SP-2

ABBREVIATIONS	
A/C	AIR CONDITIONER
AFF	ABOVE FINISHED FLOOR
AGL	ABOVE GRADE LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BTS	BASE TRANSMISSION STATION
CAB	CABINET
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
DAP	DIVERSE ACCESS POINT
DWG	DRAWING
FT	FOOT (FEET)
EGB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
ELEV	ELEVATION
EMT	ELECTRICAL METALLIC TUBING
EQUIP	EQUIPMENT
(E)	EXISTING
FND	FOUNDATION
GALV	GALVANIZED
GAP	GROUND ACCESS POINT
GND	GROUND
GPS	GLOBAL POSITIONING SYSTEM
IN	INCH(ES)
LB (#)	POUND(S)
MAX	MAXIMUM
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
(N)	NEW
NEC	NATIONAL ELECTRICAL CODE
NOM	NOMINAL
NTS	NOT TO SCALE
NV	NETWORK VISION
OE/OT	OVERHEAD ELECTRIC/TELCO
POS	POSITION
RGS	RIGID GALVANIZED STEEL
RRU	REMOTE RADIO UNIT
SF	SQUARE FOOT
STL	STEEL
T & B	TOP & BOTTOM
T/	TOP
TBD	TO BE DETERMINED
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELCO
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W/	WITH
XFMR	TRANSFORMER

SYMBOLS	
	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	FENCE
	CHAINLINK
	WOOD
	WROUGHT IRON
	ELECTRIC OVERHEAD
	ELECTRIC UNDERGROUND
	FIBER OVERHEAD
	FIBER UNDERGROUND
	TELEPHONE OVERHEAD
	TELEPHONE UNDERGROUND
	DCPOWER
	SECTION REFERENCE



OVERALL SITE PLAN

SCALE: N.T.S. 1

Sprint
6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251

RAGE
DEVELOPMENT LLC

SMITH HYATT
ARCHITECTS
845 SOUTH MAIN, BOUNTIFUL, UTAH 84010
801-298-5777 FAX 801-298-1677

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SIGNED DATE: 07/31/14

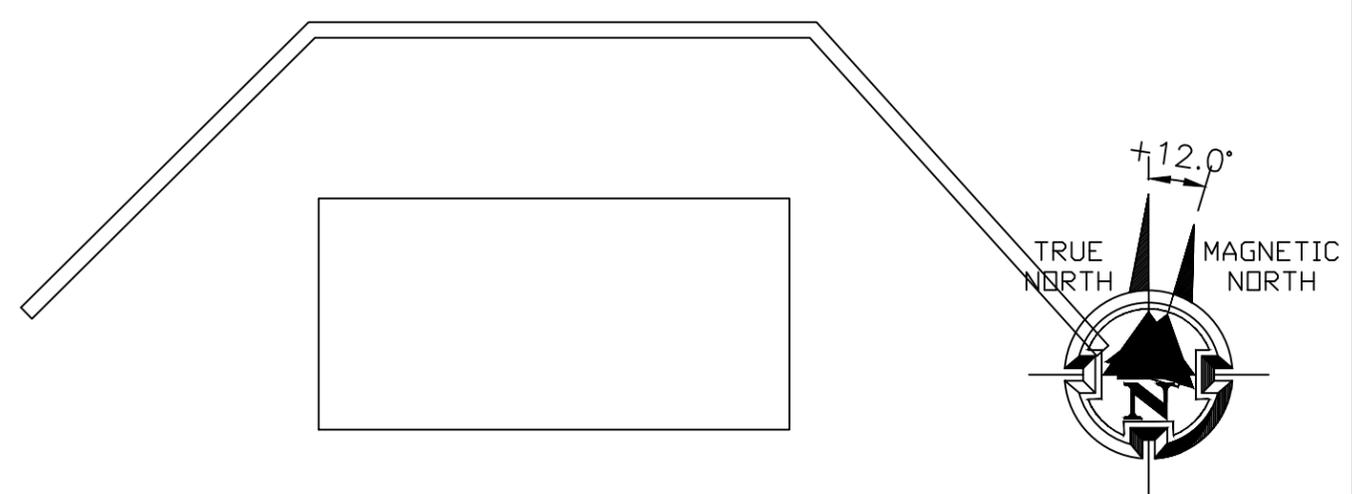
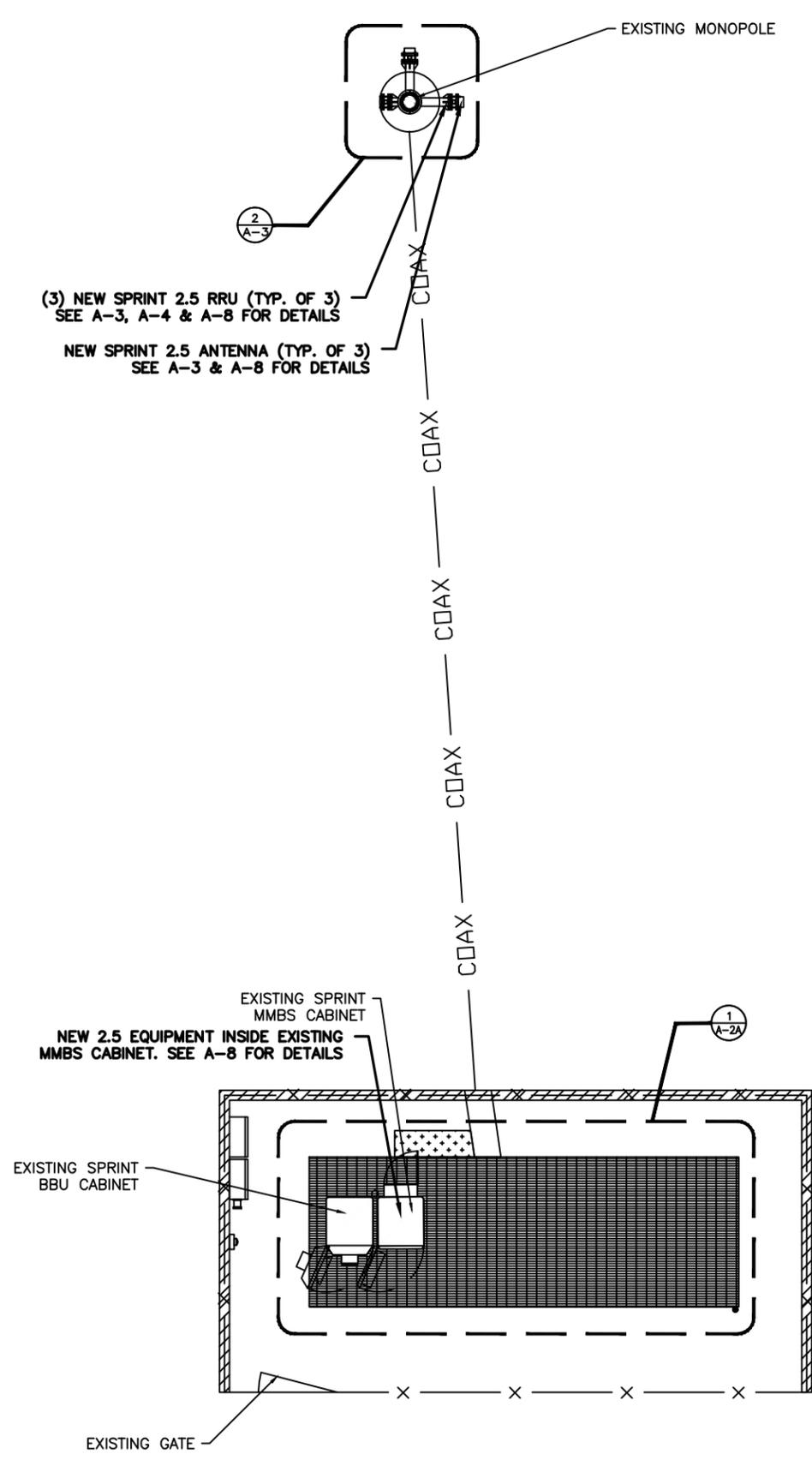
SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
**OVERALL
SITE PLAN**

SHEET NUMBER
A-1



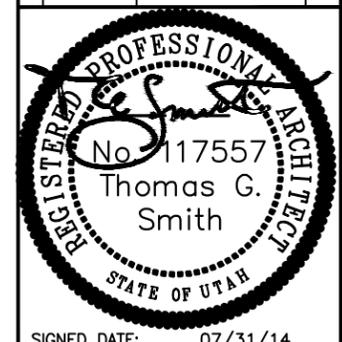
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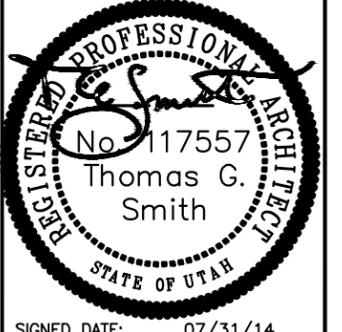
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SL54XC024
880636

SITE ADDRESS
 694 ROCKY MTN DR
 ALPINE, UTAH 84004

SHEET NAME
ENLARGED
SITE PLAN

SHEET NUMBER
A-2

CHECKED BY:	JRC		
APPROVED BY:	TGS		
#	DATE	DESCRIPTION	INT.
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SIGNED DATE: 07/31/14

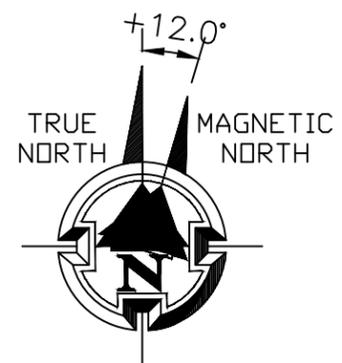
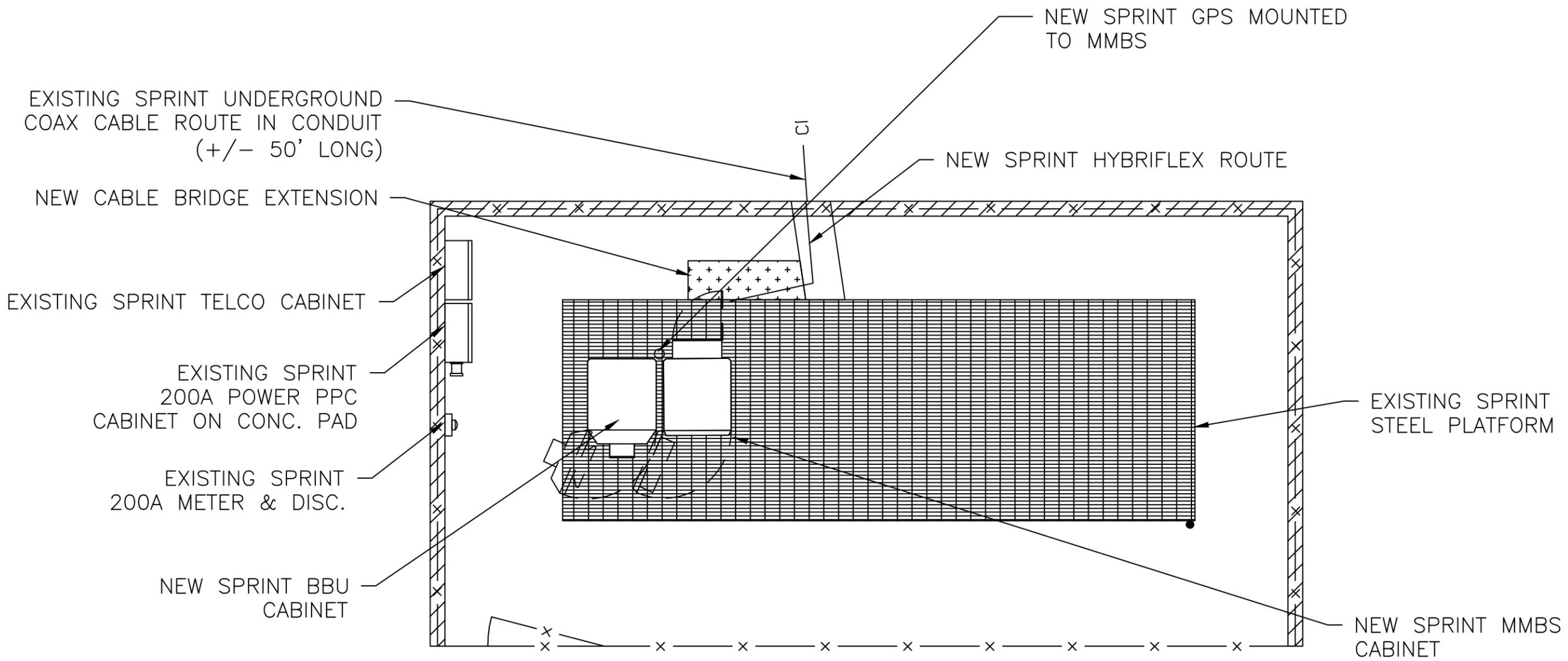
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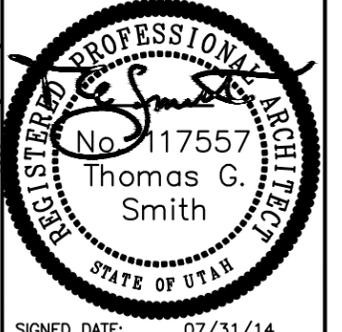
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SHEET NAME
EQUIPMENT LAYOUT

SHEET NUMBER
A-2A



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SHEET NAME
**TOWER
 ELEVATION &
 ANTENNA LAYOUT**

SHEET NUMBER

A-3

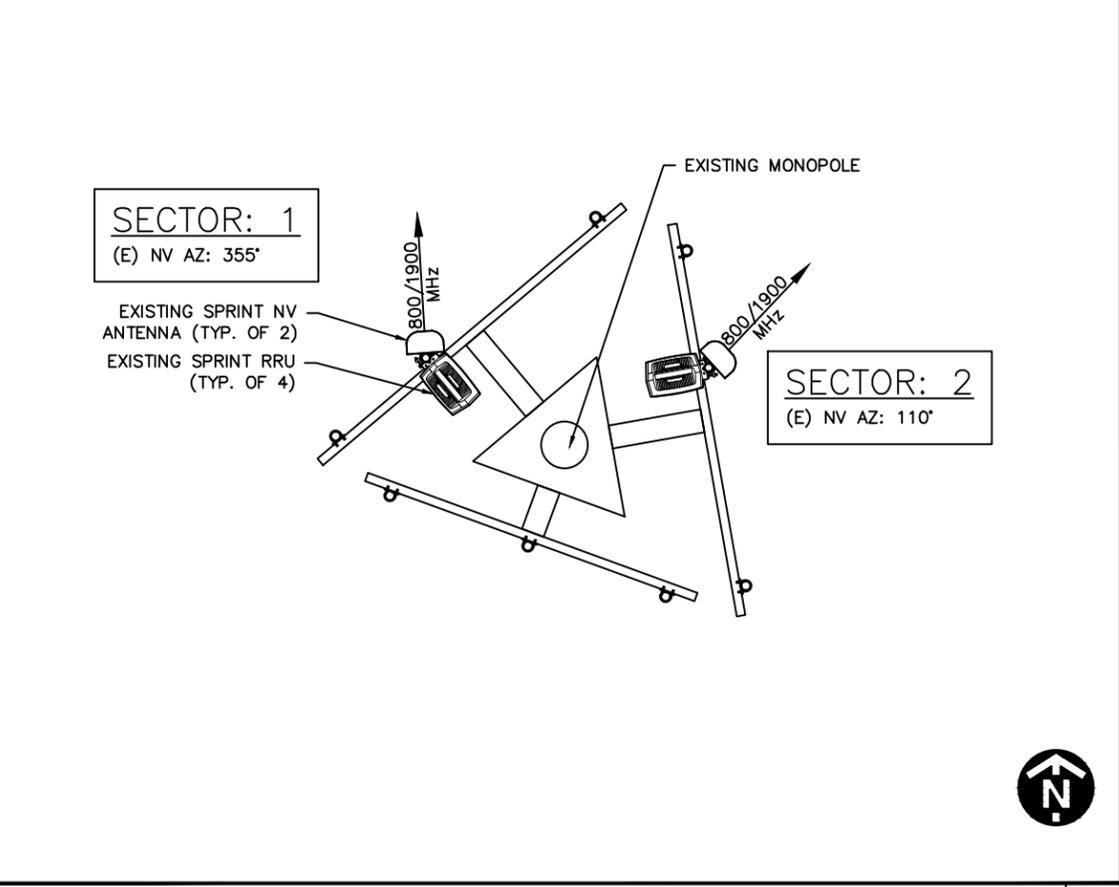
**STRUCTURAL NOTES/SPRINT
 STRUCTURAL SERVICES
 COMPLIANCE NOTE:**

1. STRUCTURAL CALCULATIONS FOR THE TOWER AND ANTENNA MOUNT STRUCTURE WERE PREPARED BY OTHERS AND THOSE CALCULATIONS CERTIFY THE CAPACITY OF THE TOWER STRUCTURE AND ANTENNA MOUNTS FOR THE DEPLOYMENT OF THE SPRINT 2.5 EQUIPMENT. CONTRACTOR TO COORDINATE WITH PROJECT MANAGER TO OBTAIN A COPY.
2. CONTRACTOR TO REFER TO STRUCTURAL CALCULATIONS OF THE TOWER FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF THE STRUCTURE SHALL BE MADE WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER

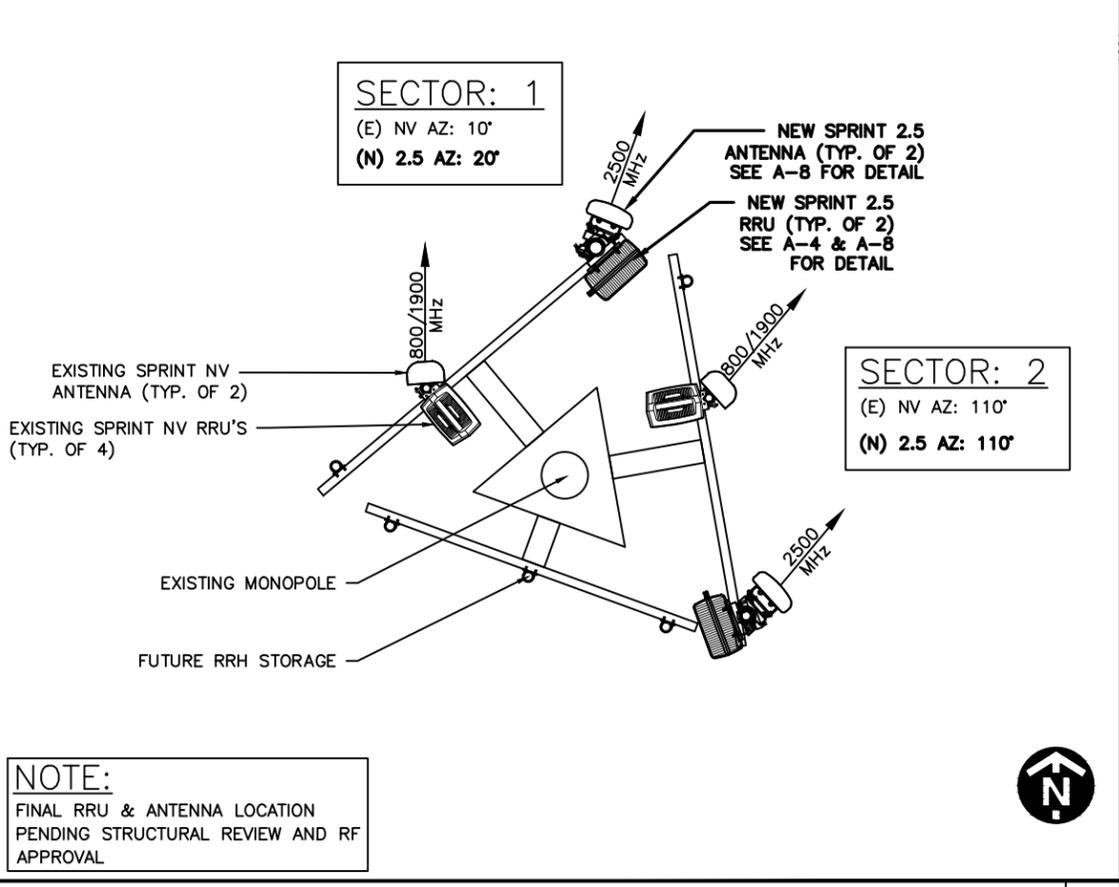
ANTENNA NOTES:

1. CONTRACTOR SHALL VERIFY WITH SPRINT REPRESENTATIVE THE LATEST REVISION TO THE RF INFORMATION.
2. ALL ANTENNA AZIMUTHS ARE TO BE TAKEN FROM TRUE NORTH.

**RF WARNING SIGNAGE &
 EMERGENCY SIGNAGE NOTE:**
 CONTRACTOR TO CONFIRM THAT THE SITE IS COMPLIANT WITH RF WARNING SIGNAGE & EMERGENCY SIGNAGE AS REQUIRED BY THE FEDERAL GUIDELINES CONTAINED WITHIN OET 65 BULLETIN & AS PER SPRINT GUIDELINES.

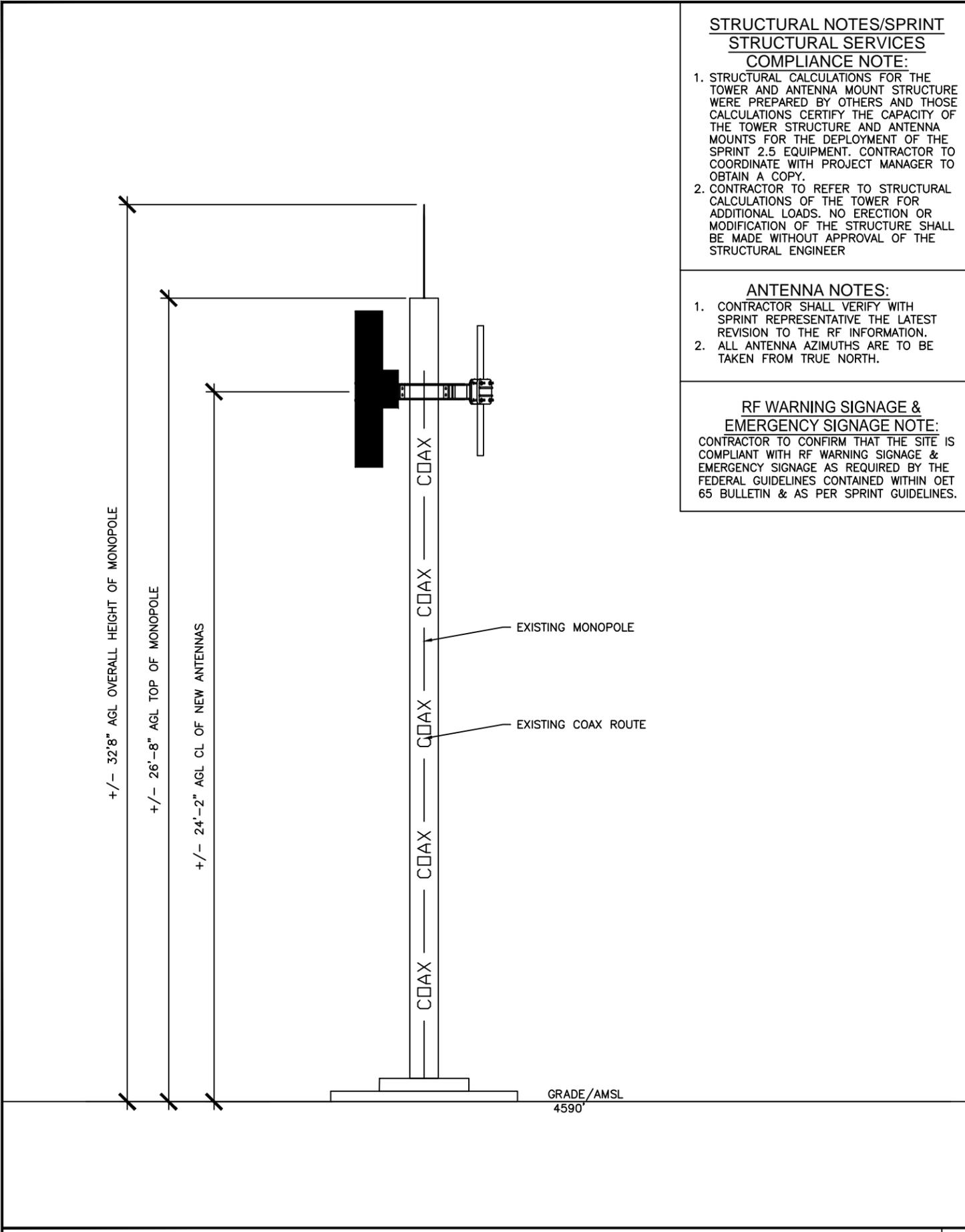


EXISTING ANTENNA & RRU LAYOUT SCALE: N.T.S. 2

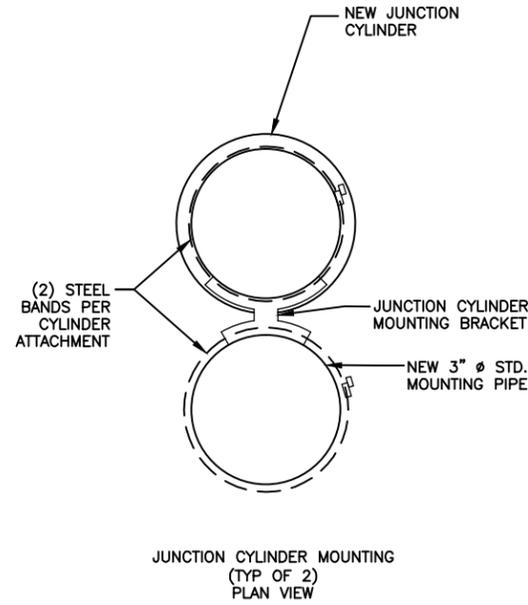
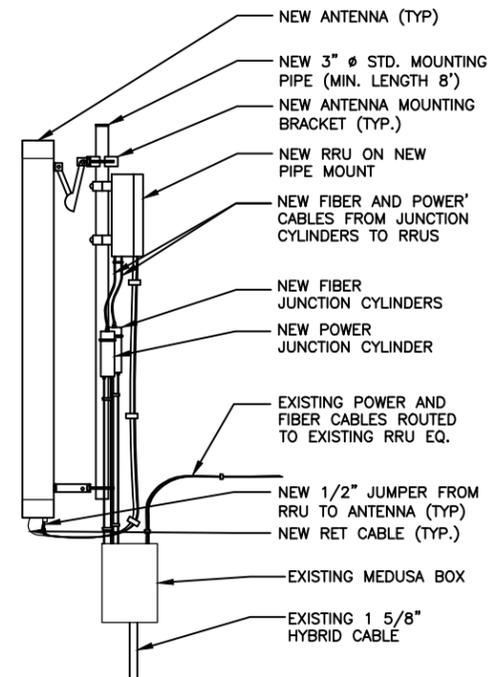


NOTE:
 FINAL RRU & ANTENNA LOCATION
 PENDING STRUCTURAL REVIEW AND RF
 APPROVAL

FINAL ANTENNA & RRU LAYOUT SCALE: N.T.S. 3



SITE ELEVATION SCALE: N.T.S. 1



FOR EXACT SIZES OF EQUIPMENT TO NEW ANTENNA & NEW RRU SEE A-8

ANTENNA, RRU AND JUNCTION CYLINDER MOUNTING DETAIL

SCALE: N.T.S. 1

NOT USED

SCALE: N.T.S. 2

NOT USED

SCALE: N.T.S. 3

NOT USED

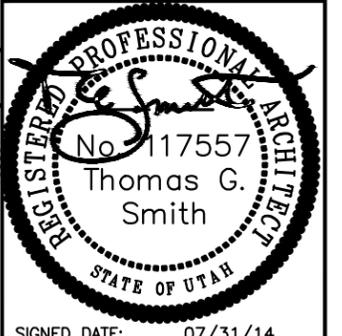
SCALE: N.T.S. 4

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SMITH HYATT ARCHITECTS
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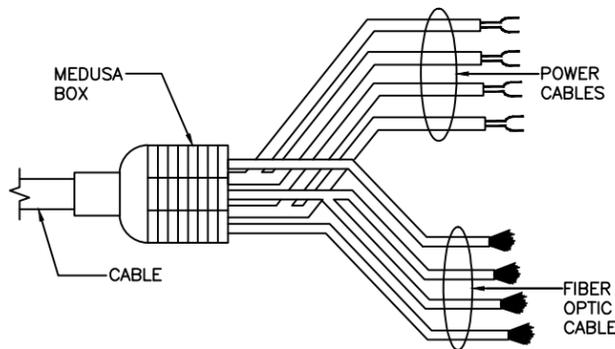
SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

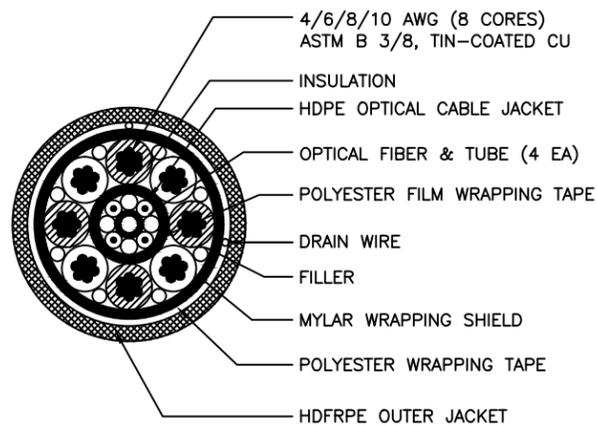
SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
SITE DETAILS

SHEET NUMBER
A-4



CABLE BENDING RADIUS
 20 x CABLE DIAMETER (DURING OPERATION)
 25 x CABLE DIAMETER (DURING INSTALLATION)
 1.2 LB PER FT CABLE WEIGHT

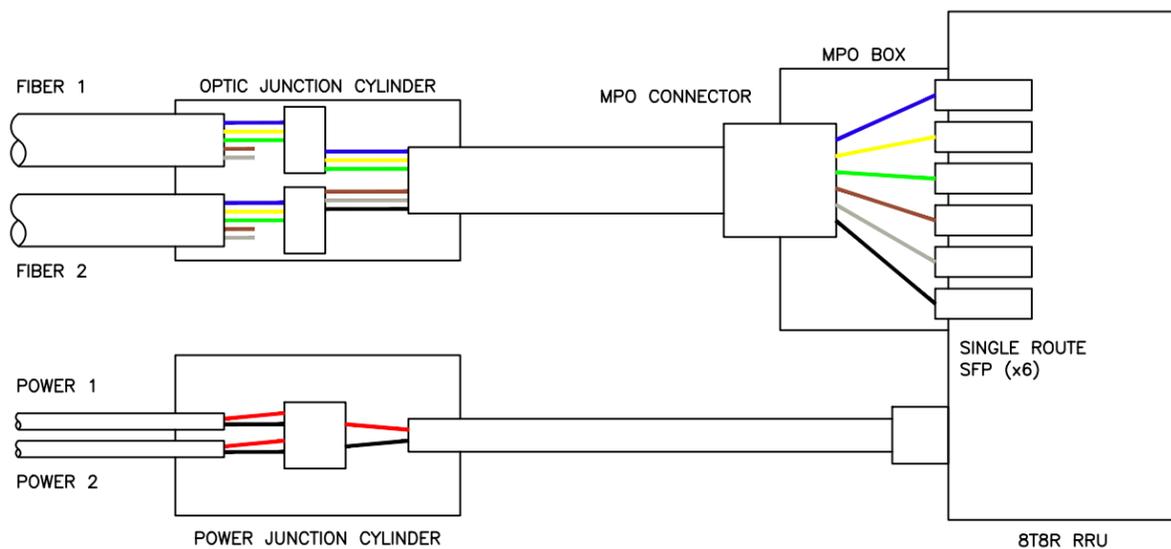


	TYPE 1	TYPE 1	TYPE 1
TOTAL LENGTH	~40m	~70m	~120m
HYBRID POWER CABLE CONFIGURATION	AWG 8 1 PAIR, AWG 10 3 PAIR	AWG 6 1 PAIR, AWG 8 3 PAIR	AWG 4 1 PAIR, AWG 6 3 PAIR
CABLE DIAMETER	32 mm	32 mm	36 mm
BENDING RADIUS	800 mm	800 mm	800 mm
OPTIC CABLE	LC/PC-TO-LCPC SINGLE MODE	LC/PC-TO-LCPC SINGLE MODE	LC/PC-TO-LCPC SINGLE MODE
RRU POWER CABLE SPEC	AWG 10, 4 PAIR	AWG 10, 4 PAIR	AWG 10, 4 PAIR
NON USE POWER AND OPTIC CABLE PROTECTION	2 PAIR POWER AND OPTIC CABLE WITH PE PIPE	2 PAIR POWER AND OPTIC CABLE WITH PE PIPE	2 PAIR POWER AND OPTIC CABLE WITH PE PIPE

HYBRID CABLE

SCALE: N.T.S. 1

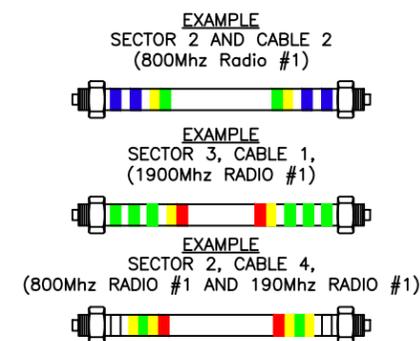
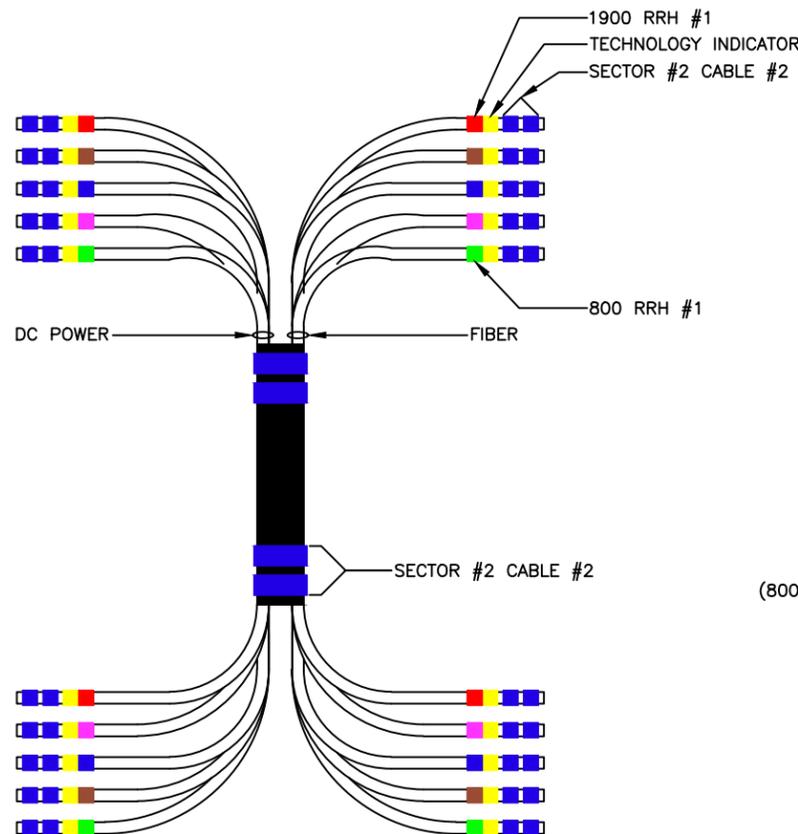
FUNCTIONAL DIAGRAM



CYLINDER SCHEMATIC DETAIL

SCALE: N.T.S. 2

TECHNOLOGY COLOR CODE	FIRST RING	SECOND RING
800 #1	YELLOW	GREEN
1900 #1	YELLOW	RED
1900 #2	YELLOW	BROWN
1900 #3	YELLOW	BLUE
1900 #4	YELLOW	GREY
800 #1	YELLOW	ORANGE
2500 #1	YELLOW	WHITE
2500 #2	YELLOW	PURPLE



2500MHz RADIO CALIBRATION CABLE COLOR CODE

2500MHz #1 CAL CABLE - SECTOR	CABLE	FIRST RING	SECOND RING	THIRD RING	FOURTH RING	FIFTH RING	SIXTH RING
1 ALPHA	1	YELLOW		YELLOW	WHITE		
2 BETA	2	YELLOW	YELLOW		YELLOW	WHITE	
3 GAMMA	3	YELLOW	YELLOW	YELLOW		YELLOW	WHITE
2500MHz #2 CAL CABLE - SECTOR	CABLE	FIRST RING	SECOND RING	THIRD RING	FOURTH RING	FIFTH RING	SIXTH RING
1 ALPHA	1	YELLOW		YELLOW	PURPLE		
2 BETA	2	YELLOW	YELLOW		YELLOW	PURPLE	
3 GAMMA	3	YELLOW	YELLOW	YELLOW		YELLOW	PURPLE

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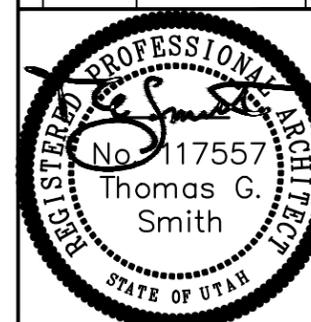
COLOR CODING

SCALE: N.T.S. 3



CHECKED BY: JRC
 APPROVED BY: TGS

#	DATE	DESCRIPTION	INT.
0	05/28/14	90% REVIEW	JRH
1	06/20/14	100% STAMPED	NSW
2	07/31/14	100% STAMPED	NSW



SIGNED DATE: 07/31/14

SITE NAME

SHEPHERD'S HILL

SITE I.D.

SL54XC024
880636

SITE ADDRESS

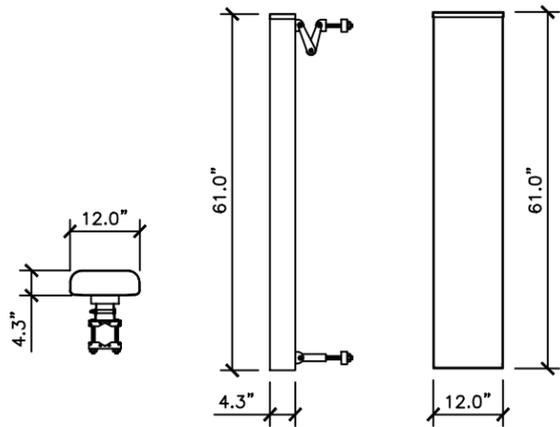
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME

CABLE AND
COLOR CODING

SHEET NUMBER

A-7



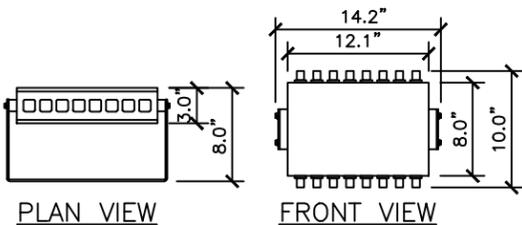
PLAN VIEW SIDE VIEW FRONT VIEW

KMW - ET-X-WM-18-65-8P
(EDTA) ELECTRICAL DOWNTILT ANTENNA

FREQUENCY RANGE	2496-2690 MHz
ANTENNA WEIGHT	36.4 Lbs
BRACKET WEIGHT	11.6 Lbs
TOTAL WEIGHT	48 Lbs

ANTENNA SPEC SCALE: 3/8" = 1'-0" 1

NOT USED SCALE: N.T.S. 2

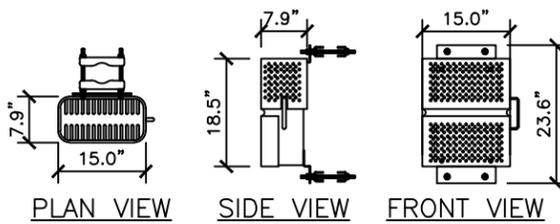


SAMSUNG - 2.5G8T8R RADAR FILTER

FREQUENCY RANGE	2496-2690 MHz
UNIT WEIGHT	22 Lbs

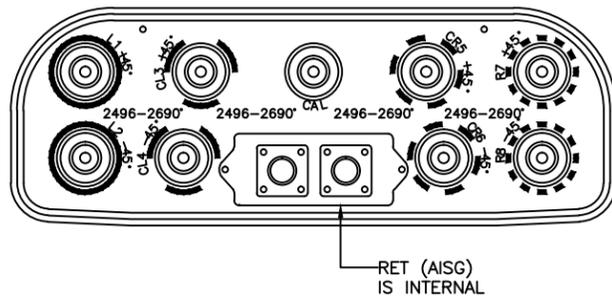
RRU FILTER SPEC SCALE: N.T.S. 5

NOT USED SCALE: N.T.S. 7



SAMSUNG - RRH-V3

FREQUENCY RANGE	2500 MHz
UNIT WEIGHT	59.5 Lbs
RRH BRACKET WEIGHT	12.32 Lbs
TOTAL WEIGHT	71.82 Lbs



KMW - ET-X-WM-18-65-8P

RRU SPEC SCALE: 3/8" = 1'-0" 6

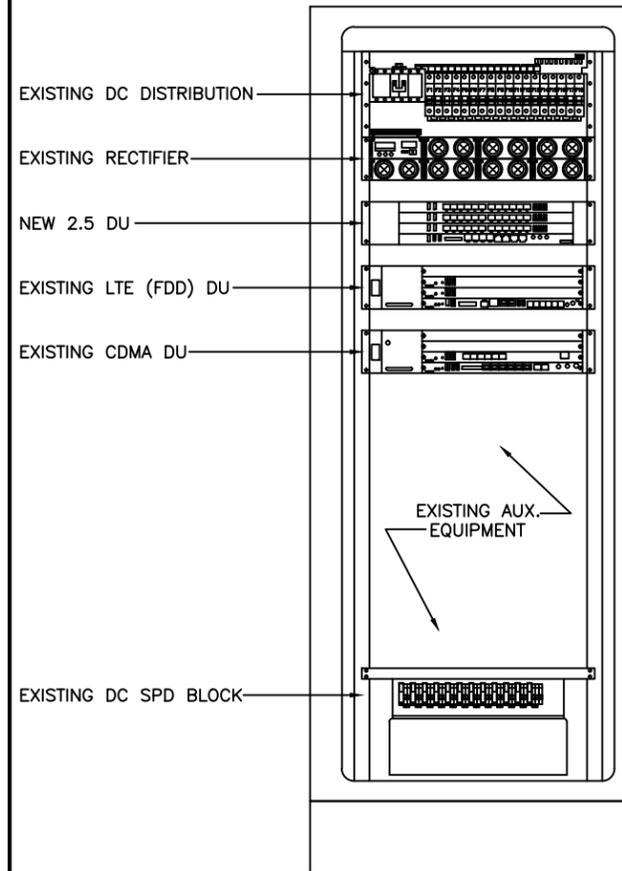
PORT LAYOUT SCALE: N.T.S. 8



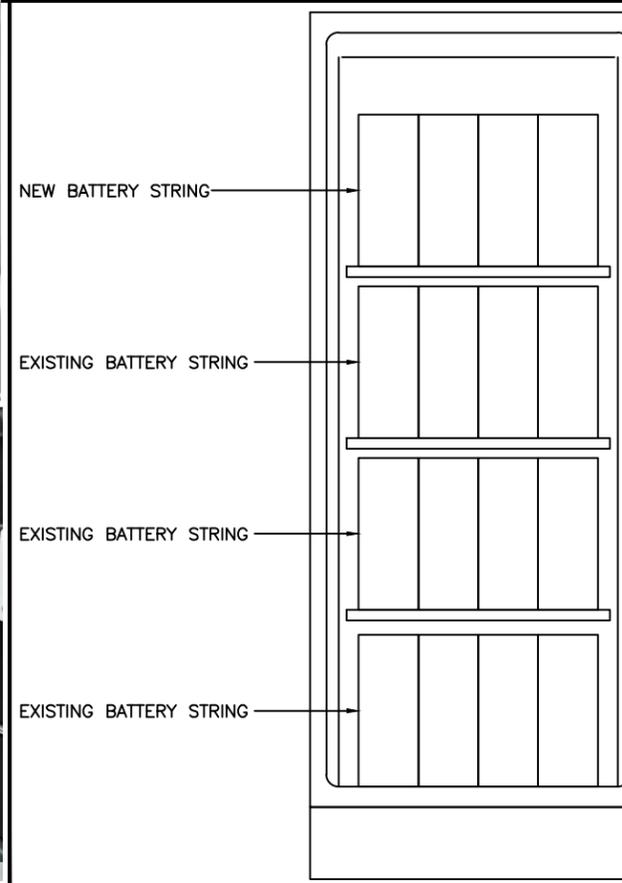
EXISTING MMBS CABINET SCALE: N.T.S. 3



EXISTING BBU CABINET SCALE: N.T.S. 9



EXISTING MMBS CABINET WITH 2.5 EQUIPMENT SCALE: N.T.S. 4



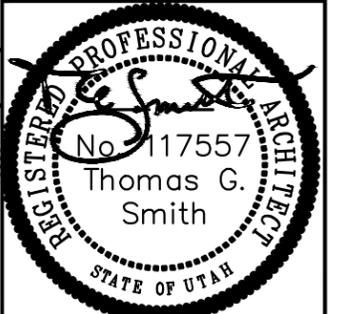
EXISTING BBU CABINET FOR 2.5 EQUIPMENT SCALE: N.T.S. 10

Sprint
6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251

RAGE
DEVELOPMENT LLC

SMITH HYATT
ARCHITECTS
845 SOUTH MAIN, BOUNTIFUL, UTAH 84010
801-298-5777 FAX 801-298-1677

CHECKED BY:	JRC		
APPROVED BY:	TGS		
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SL54XC024
880636

SITE ADDRESS

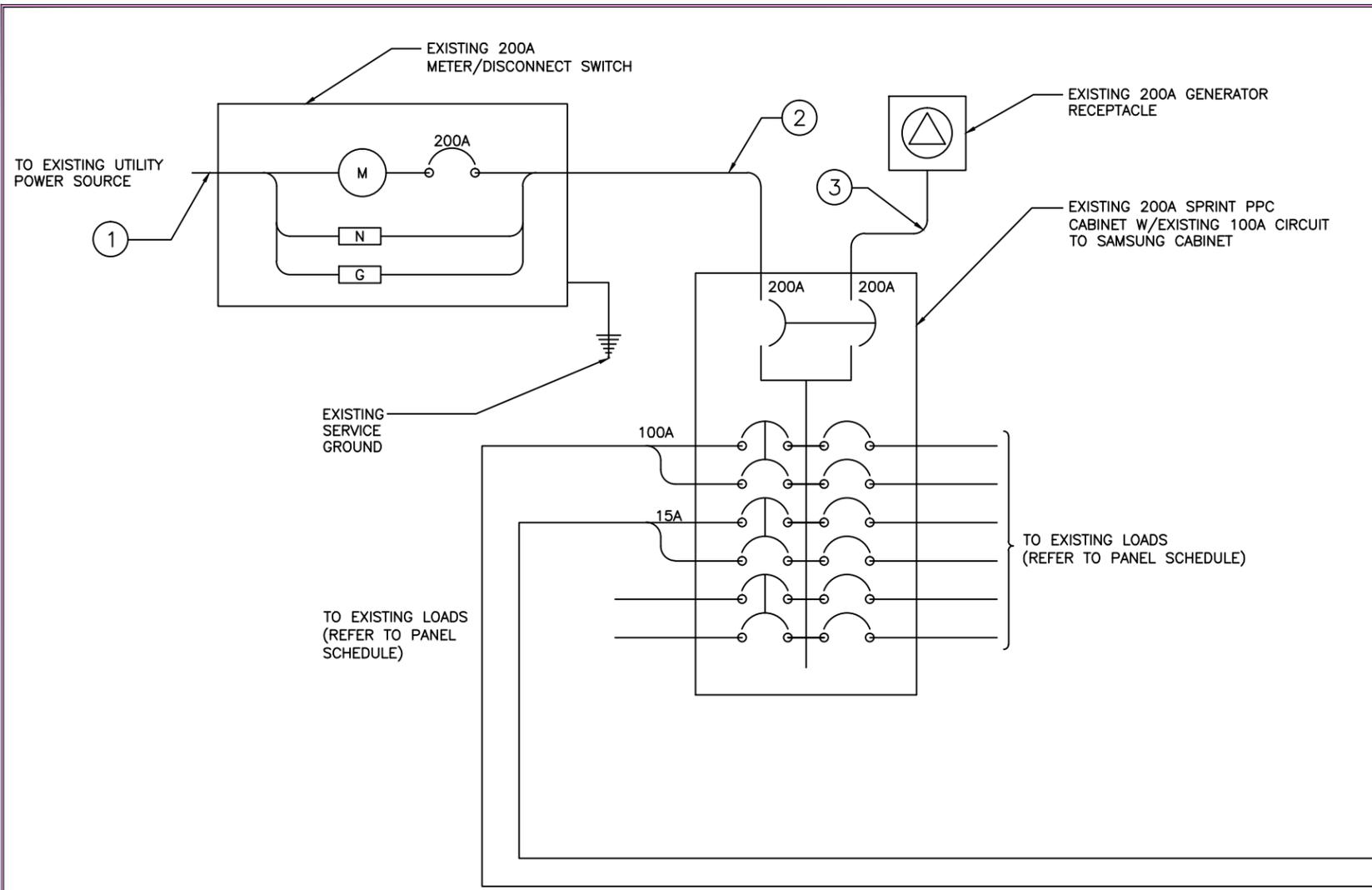
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME

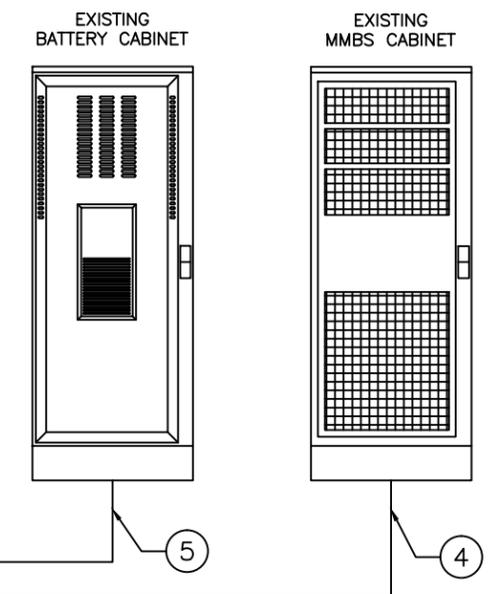
EQUIPMENT
DETAILS

SHEET NUMBER

A-8



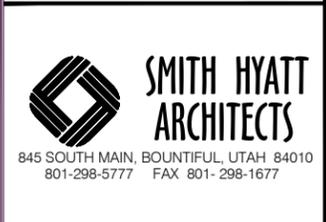
CIRCUIT SCHEDULE			
NO	FROM	TO	CONFIGURATION
①	UTILITY SOURCE	METER/DISCONNECT	EXISTING
②	METER/DISCONNECT	TRANSFER & LOAD CENTER	EXISTING
③	TRANSFER & LOAD CENTER	GENERATOR RECEPTACLE	EXISTING
④	TRANSFER & LOAD CENTER	EXISTING MMBS CABINET	EXISTING
⑤	TRANSFER & LOAD CENTER	EXISTING BATTERY CABINET	EXISTING



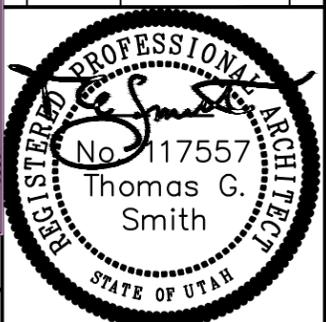
ELECTRICAL ONE-LINE DIAGRAM SCALE: N.T.S. 1

- ELECTRICAL NOTES**
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL LOCAL AND STATE CODE, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL POWER COMPANY FOR REQUIREMENTS OF POWER SERVICE LINE TO THE METER BASE. POWER SERVICE REQUIREMENT IS COMMERCIAL AC NOMINAL 120/208 VOLT OR 120/240 VOLT, SINGLE PHASE WITH 200 AMP RATING.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL TELEPHONE COMPANY FOR REQUIREMENTS OF "T1" SERVICE LINE TO TERMINATE AT THE PPC CABINET.
 - UNDERGROUND POWER AND TELCO SERVICE LINES SHALL BE ROUTED IN A COMMON TRENCH. ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 AND CONDUIT EXPOSED ABOVE GROUND SHALL BE RIGID GALVANIZED STEEL UNLESS OTHERWISE INDICATED.
 - ALL TELCO CONDUIT LINES SHALL BE 4" SCH. 40 PVC CONDUIT UNLESS OTHERWISE INDICATED. THE TELCO CONDUIT FROM THE PPC SHALL BE ROUTED AND TERMINATED AT DESIGNATED TELCO DEMARCATION OR 2-FEET OUTSIDE FENCED AREA, NEAR UTILITY POLE (IN FENCED AREA), OR END CAP OFF AND PROVIDE MARKER STAKE PAINTED BRIGHT ORANGE WITH DESIGNATION FOR TELCO SERVICE.
 - CONDUITS INSTALLED AT PCS EQUIPMENT ENDS PRIOR TO THE EQUIPMENT INSTALLATION SHALL BE STUBBED AND CAPPED AT 6" ABOVE GRADE OR PLATFORM. IF SERVICE LINES CAN'T BE INSTALLED INITIALLY, PROVIDE NYLON PULL CORD IN CONDUITS.
 - THE SPRINT CABINET, INCLUDING 200 AMP LOAD PANEL AND TELCO PANEL, SHALL BE PROVIDED BY OWNER AND INSTALLED BY THE CONTRACTOR. CONTRACTOR IS TO INSTALL BREAKER(S) NOT PROVIDED BY MANUFACTURER. SEE PANEL SCHEDULE ON THIS SHEET FOR BREAKER REQUIREMENTS.
 - LOCATION OF ELECTRIC METER AND DISCONNECT SWITCH TO BE COORDINATED BY ELECTRICAL CONTRACTOR AND FIELD CONSTRUCTION MANAGER.
 - #2 WIRE TO BE UTILIZED IN ELECTRIC SERVICE RUNS EXCEEDING 100'.
 - CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTORS FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
 - LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO ROUGH-IN.
 - THE CONDUIT RUNS AS SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATION AND ROUTING SHALL BE PER EXISTING FIELD CONDITIONS.
 - PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR REQUIRED BY NEC.
 - ALL CONDUITS SHALL BE MET WITH BENDS MADE IN ACCORDANCE WITH NEC TABLE 346-10. NO RIGHT ANGLE DEVICE OTHER THAN STANDARD CONDUIT ELBOWS WITH 12" MINIMUM INSIDE SWEEPS FOR ALL CONDUITS 2" OR LARGER.
 - ALL CONDUIT TERMINATIONS SHALL BE PROVIDED WITH PLASTIC THROAT INSULATING GROUNDING BUSHINGS.
 - ALL WIRE SHALL BE TYPE THWN, SOLID, ANNEALED COPPER UP TO SIZE #10 AWG (#8 AND LARGER SHALL BE CONCENTRIC STRANDED) 75 DEGREE C, (167 DEGREES F), 98% CONDUCTIVITY, MINIMUM #12.
 - ALL WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES AND CABINETS WITH APPROVED PLASTIC TAGS, ACTION CRAFT, BRADY, OR APPROVED EQUAL.
 - ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
 - CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION TO CONFLICTS. VERIFY WITH MECHANICAL CONTRACTOR AND COMPLY AS REQUIRED.
 - ALL PANEL DIRECTORIES SHALL BE TYPEWRITTEN NOT HAND WRITTEN.
 - INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, STARTERS, AND EQUIPMENT CABINETS.
 - THE CONTRACTOR SHALL PREPARE AS-BUILT DRAWINGS, DOCUMENT ANY AND ALL WIRING AND EQUIPMENT CONDITIONS AND CHANGES WHILE COMPLETING THIS CONTRACT. SUBMIT AT SUBSTANTIAL COMPLETION.
 - ALL DISCONNECT SWITCHES AND OTHER CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM (NO EXCEPTIONS.)
 - ALL ELECTRICAL DEVICES AND INSTALLATIONS OF THE DEVICES SHALL COMPLY WITH (ADA) AMERICANS WITH DISABILITIES ACT AS ADOPTED BY THE APPLICABLE STATE.
 - PROVIDE CORE DRILLING AS NECESSARY FOR PENETRATIONS OR RISERS THROUGH BUILDING. DO NOT PENETRATE STRUCTURAL MEMBERS WITHOUT CONSTRUCTION MANAGERS APPROVAL. SLEEVES AND/OR PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE PACKED WITH FIRE RATED MATERIAL WHICH SHALL MAINTAIN THE FIRE RATING OF THE WALL OR STRUCTURE. FILL FOR FLOOR PENETRATIONS SHALL PREVENT PASSAGE OF WATER, SMOKE, FIRE AND FUMES. ALL MATERIAL SHALL BE UL APPROVED FOR THIS PURPOSE.
 - ELECTRICAL CHARACTERISTICS OF ALL EQUIPMENT (NEW AND EXISTING) SHALL BE FIELD VERIFIED WITH THE OWNER'S REPRESENTATIVE AND EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN OF CONDUIT AND WIRE. ALL EQUIPMENT SHALL BE PROPERLY CONNECTED ACCORDING TO THE NAMEPLATE DATA FURNISHED ON THE EQUIPMENT (THE DESIGN OF THESE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND SOME EQUIPMENT CHARACTERISTICS MAY VARY FROM DESIGN AS SHOWN ON THESE DRAWINGS).
 - LOCATION OF ALL OUTLET, BOXES, ETC., AND THE TYPE OF CONNECTION (PLUG OR DIRECT) SHALL BE CONFIRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
 - SPLIT BREAKERS SHALL BE USED ON 120V LOADS IN THE EVENT THAT ADDITIONAL CIRCUIT SPACE IS REQUIRED FOR NEW EQUIPMENT.
 - PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENT ON E-1 REFLECTS MIGRATION PERIOD CIRCUMSTANCES. REFER TO E-4 FOR POST-MIGRATION PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENT IN WHICH EXISTING LEGACY EQUIPMENT HAS BEEN REMOVED.

ELECTRICAL NOTES SCALE: N.T.S. 2



CHECKED BY:	JRC		
APPROVED BY:	TGS		
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SIGNED DATE: 07/31/14

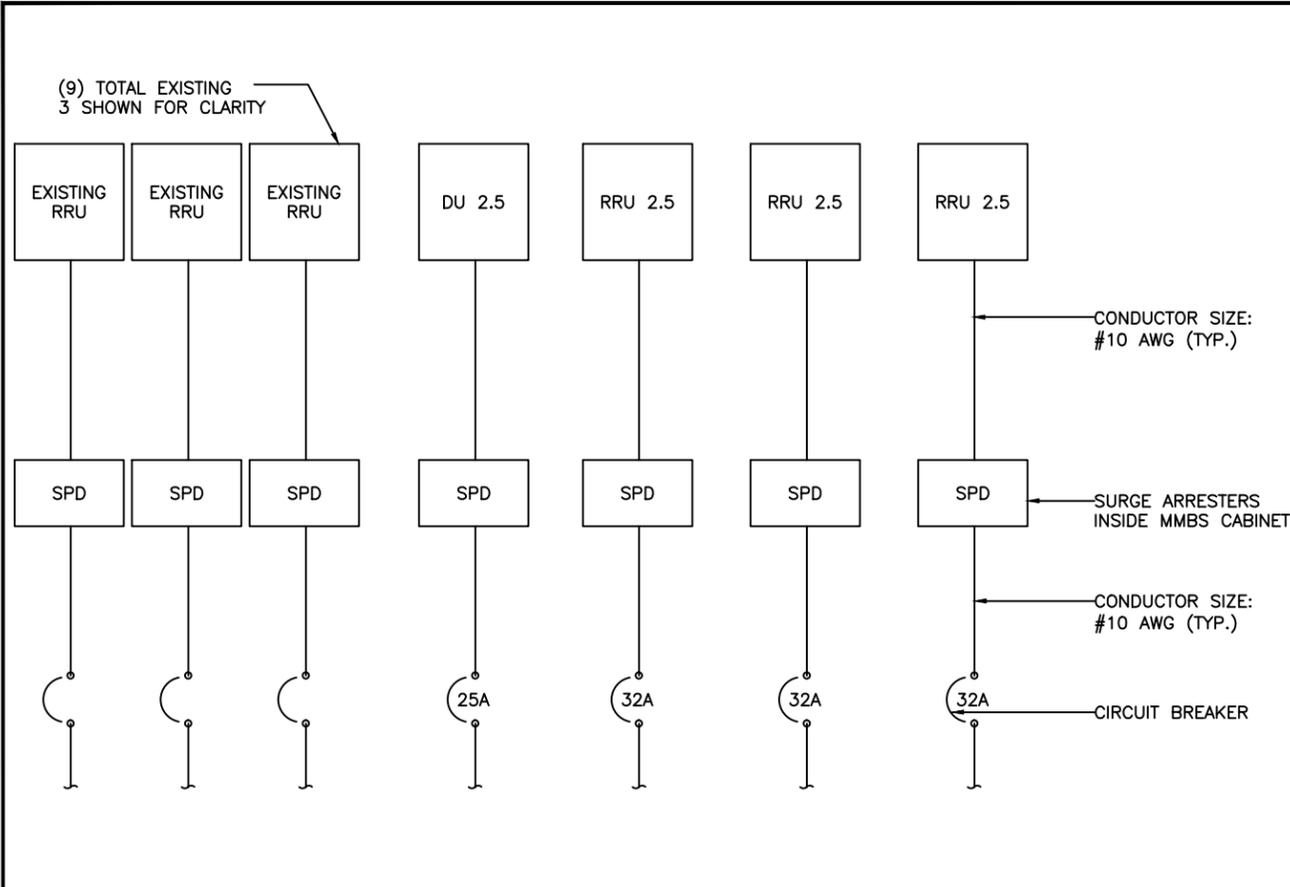
SITE NAME
SHEPHERD'S HILL

SITE I.D.
**SL54XC024
880636**

SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
**AC POWER
DISTRIBUTION**

SHEET NUMBER
E-1



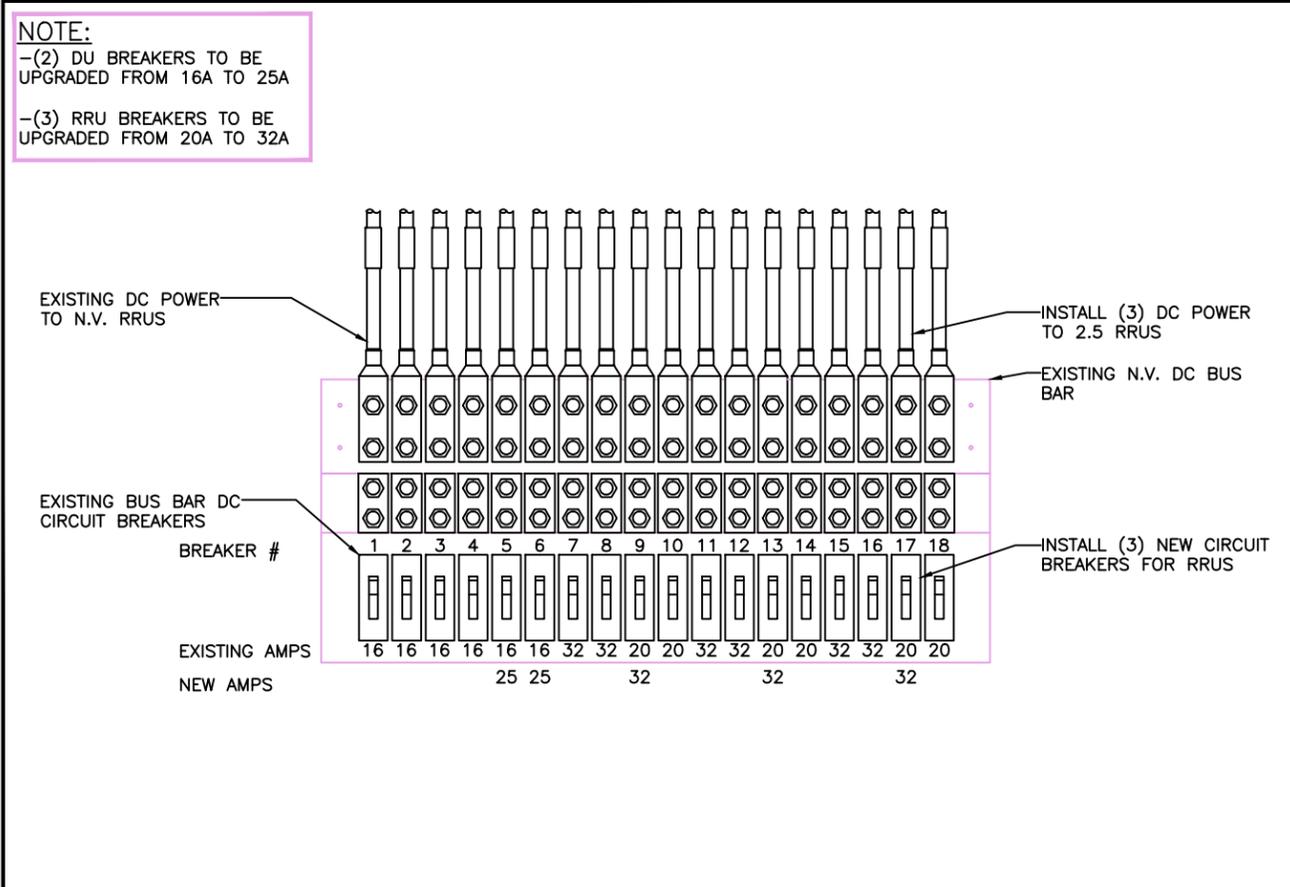
DC ONE LINE DIAGRAM SCALE: N.T.S. 1



EXISTING DC POWER DISTRIBUTION SCALE: N.T.S. 2



EXISTING AC PANEL SCALE: N.T.S. 3



TYPICAL DC POWER DISTRIBUTION SCALE: N.T.S. 4

AC PANEL SCHEDULE

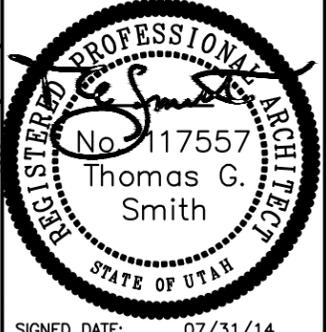
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2	07/31/14	100% STAMPED	NSW

AC PANEL SCHEDULE SCALE: N.T.S. 5



CHECKED BY: JRC
 APPROVED BY: TGS

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2	07/31/14	100% STAMPED	NSW



SIGNED DATE: 07/31/14

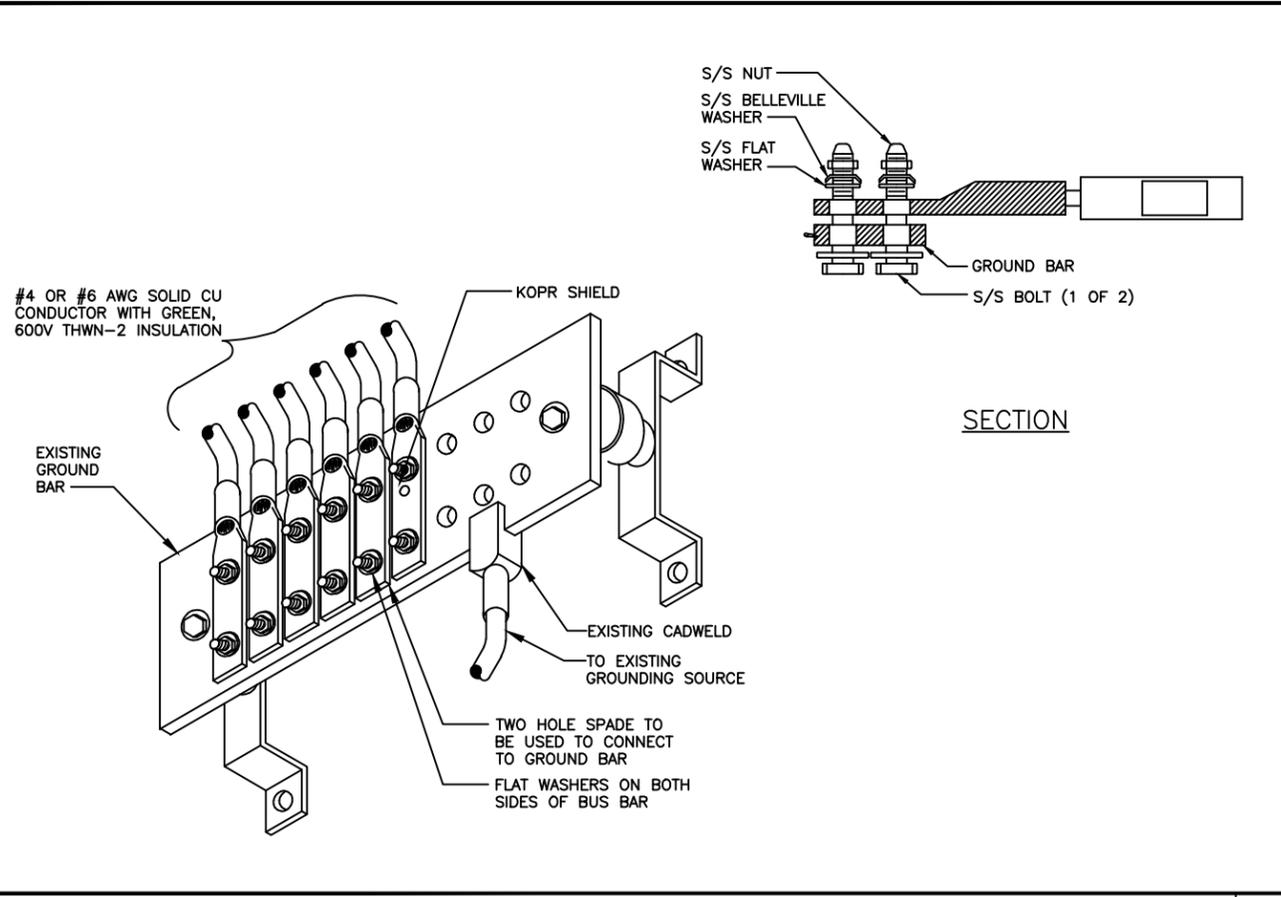
SITE NAME
SHEPHERD'S HILL

SITE I.D.
SL54XC024
880636

SITE ADDRESS
694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME
AC & DC POWER
DISTRIBUTION &
SCHEDULE

SHEET NUMBER
E-2



WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT

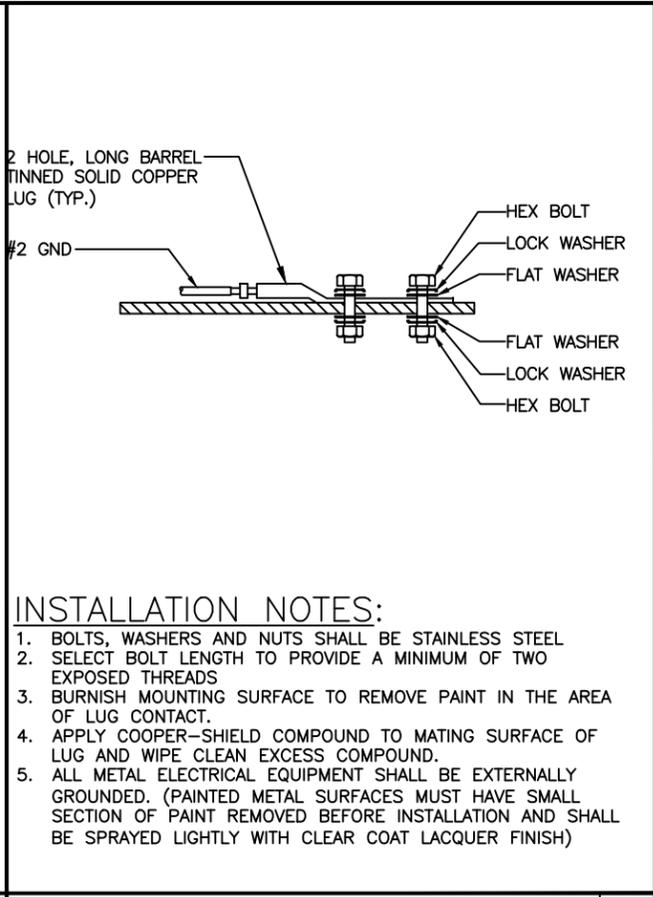
BURNDY GROUND LUG (SEE TABLE FOR SIZE AND MODEL)
NUT (TYP.)
LOCK WASHER (TYP.)
GROUND BAR
BOLT (TYP.)

HEAT SHRINK (CLEAR)
GROUNDING CONDUCTOR

BURNDY TWO HOLE LUG WITH LONG BARREL FOR #6 AWG STRANDED OR EQUIVALENT
BARE WIRE TO BE NO-OX AT BOTH ENDS
#6 AWG STRANDED GREEN INSULATED

NOTES:

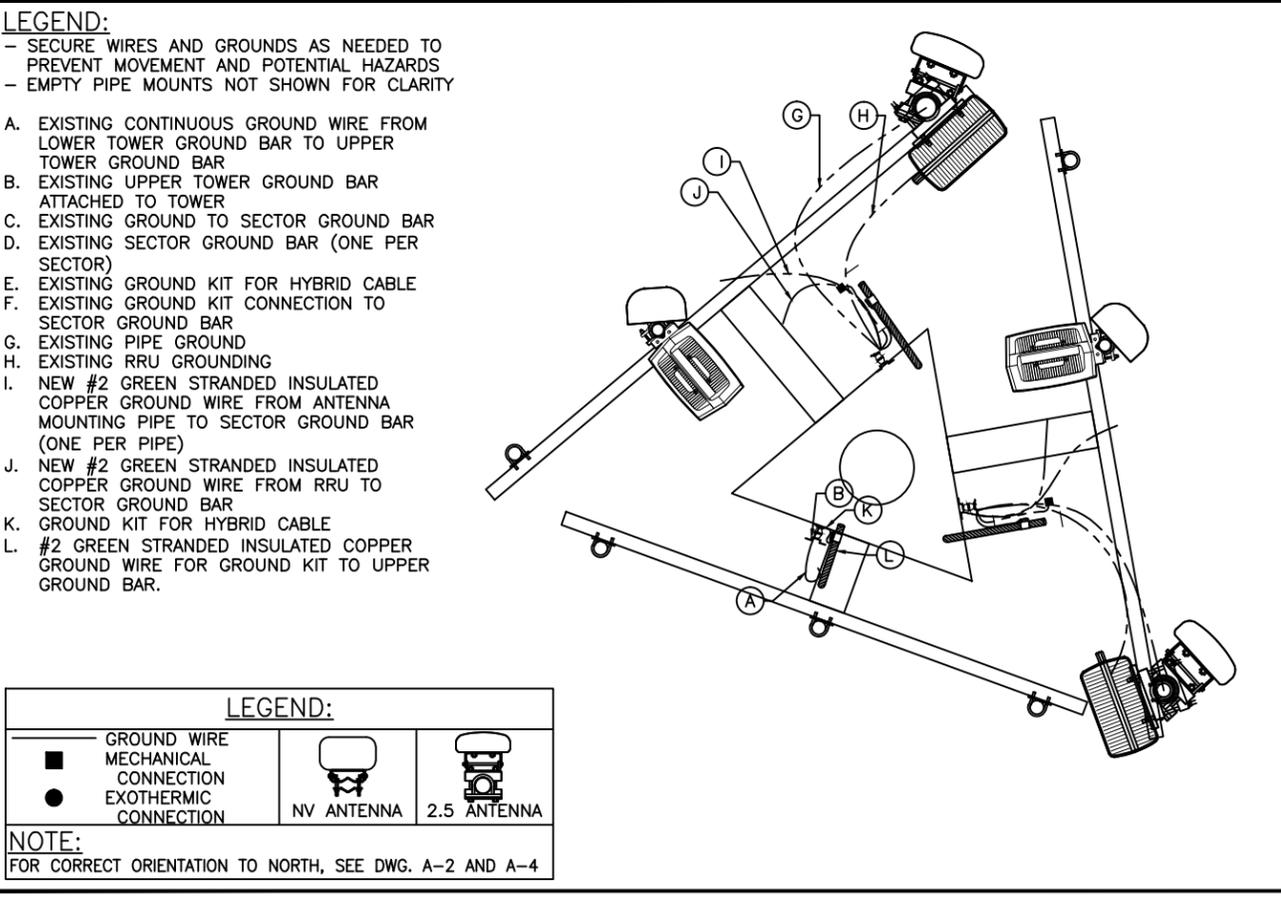
- ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.
- COPPER SHIELD, ANTIOX, CR NO-OX OR EQUIVALENT SHALL BE PLACE WHERE ALL DISSIMILAR METALS CONNECT.
- ALL LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



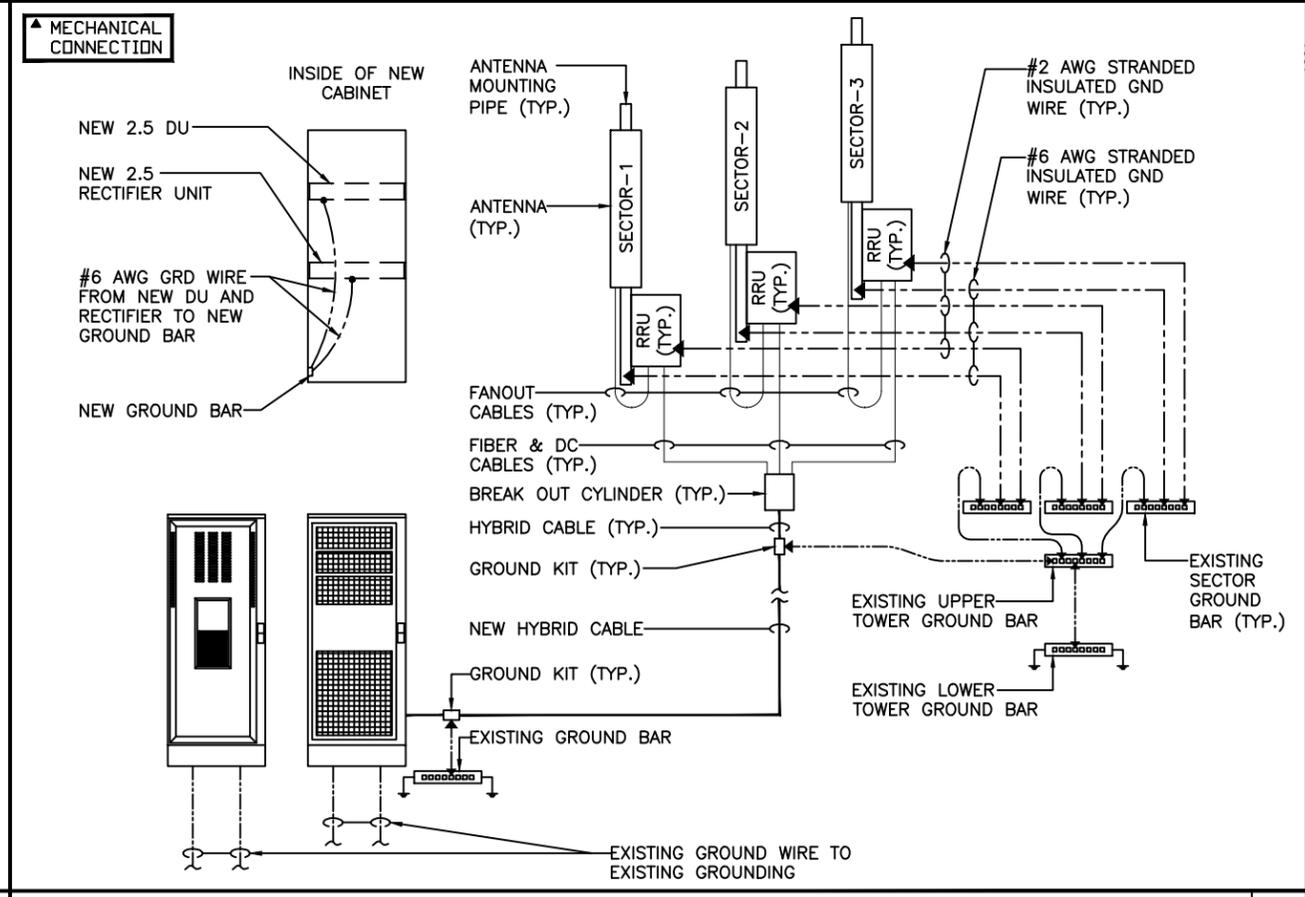
GROUNDING CONNECTION DETAIL SCALE: N.T.S. 1

MECHANICAL CONNECTION LUG SCALE: N.T.S. 2

FLAT SURFACE GROUNDING (TYP.) SCALE: N.T.S. 3



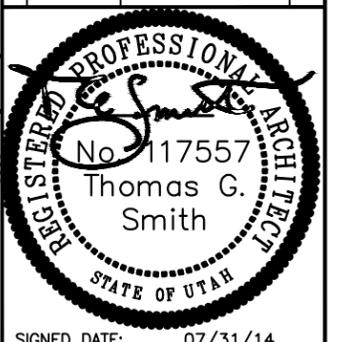
ANTENNA PLATFORM GROUNDING



GROUNDING RISER DIAGRAM SCALE: N.T.S. 5



CHECKED BY:	JRC		
APPROVED BY:	TGS		
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SHEPHERD'S HILL

SITE I.D.

**SL54XC024
880636**

SITE ADDRESS

694 ROCKY MTN DR
ALPINE, UTAH 84004

SHEET NAME

**GROUNDING
DETAILS**

SHEET NUMBER

E-3

ALPINE PLANNING COMMISSION AGENDA

**SUBJECT: Questar Gas Conditional Use Permit and Site Plan
Land Purchase of 0.13 acres, Easement Purchase of 0.35 acres**

FOR CONSIDERATION ON: 19 August 2014

PETITIONER: Questar Gas Company

ACTION REQUESTED BY PETITIONER: Approve the Conditional Use Permit and Site Plan with a condition that a recommendation is made by the Planning Commission and the City Council approves the selling of the proposed property

APPLICABLE STATUTE OR ORDINANCE: Section 3.16.4.2 (Open Space)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

Questar Gas has approached the city with an offer of \$120,000 dollars to purchase 0.13 acres of land and 0.35 acres of easement for the purpose of installing a natural gas metering facility and line in conjunction with their pipeline replacement project. Both pieces of property are Open Space land where an existing Questar Gas Easement exists. The City Council approved the idea of a potential sale July 8th, allowing the process to move forward. The facility is proposed at 600 North Pfeifferhorn Drive on a 2.37 acre piece of Alpine City owned Open Space. The property is in the CR-40,000 zone.

The proposed building is 8' x 8' x 8' in length, width and height. It will be located on the piece of property proposed to be bought. An 8' tall solid concrete fence is proposed to enclose the property. Improvements to the property would be a small section of paved driveway and graveled landscaping to cover the site (75' x 75' in total). These improvements would be within the 8' tall fenced area.

RECOMMENDED ACTION:

We recommend that approval of the proposed site plan be recommended provided that the following items are addressed:

- The sale of Open Space is recommended and approved
- Another storm drain be added to the south side of the property



Date: August 8, 2014

By: Jed Muhlestein, P.E. *JM*
Assistant City Engineer

**Subject: Questar Gas Conditional Use Permit & Site Plan Review
Land Purchase of 0.13 acres, Easement Purchase of 0.35 acres**

Background

Questar Gas has approached the city with an offer of \$120,000 dollars to purchase 0.13 acres of land and 0.35 acres of easement for the purpose of installing a natural gas metering facility and line in conjunction with their pipeline replacement project. Both pieces of property are Open Space land where an existing Questar Gas Easement exists. The City Council approved the idea of a potential sale July 8th, allowing the process to move forward. The facility is proposed at 600 North Pfefferhorn Drive on a 2.37 acre piece of Alpine City owned Open Space. The property is in the CR-40,000 Zone.

The proposed building is 8'x8'x8' in length, width, and height. It will be located on the piece of property proposed to be bought. An 8' tall solid concrete fence is proposed to enclose the property. Improvements to the property would be a small section of paved driveway and graveled landscaping to cover the site (75'x75' in total). These improvements would be within the 8' tall fenced area.

Street System

There would be no impact or improvements made to the existing street system. Some form of graveled road would be needed in the East Easement for property access. There are currently a few dirt roads in the area used to access the hillside. When traffic comes off the hill mud is tracked onto Pfefferhorn Drive. From a public works stand point, we would be in favor of a graveled entrance if, for nothing else, to reduce the amount of mud tracked onto city streets.

Sewer System

The proposed building would not require sewer service and therefore there would be no impact to

the sewer system.

Culinary Water System

The proposed building would not require water service and therefore there would be no impact to the water system.

Pressurized Irrigation System

The proposed landscaping does not require irrigation water. There would be no impact to the pressurized irrigation system.

Storm Water Drainage System

Grading and drainage for the property would be minimal. No new infrastructure would be required to be added to the city storm water system. The grading plan shows minimal grading to level an area for the building and driveway with erosion control materials and a small drain to take care of any onsite drainage. It is also recommended that a small drain be added to the south end of the property to ensure drainage does not flow from this property, to the property southward.

A UDPES permit would not be required for the site due to its small size, but a city Land Disturbance Permit will be required prior to construction to control the potential for dirt to be tracked onto the street during construction.

General Site Plan Requirements

- **Setbacks:** Where the proposed building site is not a regular residential lot with street frontage, the front setbacks are rather arbitrary. The proposed building and future proposed gas facility should be considered accessory buildings by code. They are both shown at approximately 13' from the boundary, which is greater than the 10' side yard setback requirement for an accessory building. An accessory building can be right on the property line if it met the criteria of section 3.4.5.2.4, which the proposed 8x8x8 building does. The future proposed building would be evaluated for setbacks when plans for it are brought forth for a building permit. The proposed plan appears to meet the setback requirements.

General Remarks

No water policy would be required for the property.

Because this is a proposal to buy Open Space from the city, section 3.16.4.2 of the Development Code applies which states, "*Land included in these parks shall not be disposed of in any manner or used for any other purpose than specified herein except after a recommendation of the Planning*

Commission and a public hearing and by a super majority vote of the City Council (4 positive votes are required)." From an engineering point of view we can recommend approval with the conditions as stated below. Whether or not the public, planning commission, and city council feel the property should be sold for the proposed use is not included as part of the Engineer's recommendation for approval.

RECOMMENDATION

We recommend that approval of the proposed site plan be recommended provided the following items are addressed:

- **The sale of Open Space is recommended and approved**
- **Another storm drain be added to the south side of the property**



Site Plan Application

20 North Main Alpine, UT 84004 • 801-756-6347 (Phone) • 801-756-1189 (Fax) • www.alpinecity.org

Contact Information

Applicant QUESTAR GAS COMPANY
Address PO BOX 45360
1140 WEST 200 SOUTH City RIVERTON State UT Zip 84145-0360
Phone 801-324-3737 **Fax** 801-324-3803 **Email** rick.hellstrom@questar.com
Engineer PSOMAS - Craig Ahrens

Address 4179 S RIVERBOAT RD STE200 City SLC State UT Zip 84123
Phone 801-270-5777 **Fax** 801-270-5782 **Email** cahrens@psomas.com

Representative RIK HELLSTROM - LEAD PROPERTY AGENT / KEVIN MULVEY CONSULTANT
 (Person who will be at City meetings to represent the proposed plan. If it is someone other than the applicant/engineer, please indicate his/her relationship to the project.)
Address PO BOX 45360
1140 WEST 200 SOUTH City RIVERTON State UT Zip 84145-0360
Phone 801-282-8153 **Fax** 801-324-3803 **Email** rick.hellstrom@questar.com

Send City Engineer's review comments to: Applicant Engineer Representative

Project Information

Name of Project QUESTAR GAS COMPANY METER STATION WA 1567
Project Address 600 N PFEIFFERTORN DR **Current Use** SEMI DEVELOPED PUBLIC OPEN SPACE (VACANT)
Project Size (in acres) LAND PURCHASE - 0.13 ACRES
EASEMENT - 0.35 ACRES **Current Zoning** _____
TOTAL

Source of Water Rights

Alpine Irrigation Shares: # of Primary Shares N/A # of Secondary Shares _____

Other Water Rights: Source _____ # of Acreage Feet _____

Requesting Cash in lieu of Water Rights Option

Site Plan Fee _____ **Amount Paid** _____ **Date Paid** _____
 (Actual cost of City Engineer's review + \$150.00 [\$250.00 for commercial site plans])

Applicant Signature [Signature] **Date** _____



Questar Gas Company

1140 West 200 South

P.O. Box 45360

Salt Lake City, UT 84145-0360

Tel 801 324 5555

RECEIVED AUG 04 2014

August 4, 2014

Attn: Jason Bond
Alpine City
20 North Main Street
Alpine, UT 84004

**RE: Conditional Use Permit and Site Plan Approval
Questar Gas Company**

Dear Jason,

Enclosed with this letter is a Site Plan Application for a natural gas metering facility which is proposed to be built in Alpine City. Questar Gas Company (QGC) is proposing to install a natural gas meter on property located at 600 North Pfeifferhorn Drive, which QGC is currently proposing to acquire from Alpine City.

The proposed gas flow meter is to be installed as part of QGC's pipeline replacement project in Utah County. The purpose of the meter station is to measure and monitor the flow of gas in the pipeline to ensure that minimum gas flow requirements are being sustained in this part of QGC's distribution system.

Also enclosed are submittal drawings for a Conditional Use Permit to install this facility. I would like request that the Conditional Use Permit and Site Plan approval for this facility be considered concurrently by the proper city authorities.

Please call me if you have any questions concerning this proposal or the pipeline replacement project.

Sincerely,

Rick Hellstrom
Lead Property Agent
(801) 324-3737

enclosures



Questar Gas Company
 1140 West 200 South
 P.O. Box 45360
 Salt Lake City, UT 84145-0360
 Tel 801 324 5555

August 1, 2014

RECEIVED AUG 04 2014

Attn: Jason Bond
 Alpine City
 20 North Main Street
 Alpine, UT 84004

**RE: Questar Gas Company
 Proposed Property Purchase**

Dear Jason,

This letter is in follow-up to the July 8th City Council Meeting, in which the council approved the potential sale of Alpine City property to Questar Gas Company (QGC).

QGC proposes to acquire a portion of the 2.37 acre property which is currently designated as Semi-Developed Public Open Space within the Swiss One Planned Residential Development, Phase 1 plat. The property is located at approximately 600 North Pfeifferhorn Drive.

The proposal is for QGC to acquire a 75' X 75' parcel (5,625.0 square feet, 0.13 acre) and easements being 25' in width (15, 521 square feet, less 3,029 square feet currently encumbered by QGC easement = 12,492 square feet, 0.29 acre) along the south and west portions of the property. The easements are for the construction of natural gas pipelines, power, drainage, access, etc. between the site and Pfeifferhorn Drive.

Using the current assessed values of adjoining properties in Alpine (\$5.50 – 7.50 per square foot) and in Highland (\$10.00 – 14.30 per square foot), QGC would offer as follows:

Property Purchase	5,625.0 square feet X \$10.00	=	\$56,250.00
Easement Purchase	12,492.0 square feet X \$10.00 X .50	=	<u>62,460.00</u>
			<u>\$118,710.00</u>

Based on the above calculations, with the easement valued at 50% of the assessed value, QGC hereby offers \$120,000.00 for the property and easement rights as outlined herein. Granting of the easement rights to be on the form enclosed with this offer, with the fee property transfer by Warranty Deed. This offer is contingent on QGC obtaining the necessary permits and approvals for a natural gas metering facility on the property.

Please call me if you have any questions concerning this proposal.

Sincerely,

Rick Hellstrom
 Lead Property Agent
 (801) 324-3737

enclosures

WHEN RECORDED MAIL TO:

Questar Gas Company
P.O. Box 45360, Right-of-way
Salt Lake City, UT 84145-0360
FL24/Alpine.cc

Space above for County Recorder's use
PARCEL I.D.#

RIGHT-OF-WAY AND EASEMENT AGREEMENT

ALPINE CITY, a municipal corporation of the State of Utah, Grantor, does hereby convey and warrant to QUESTAR GAS COMPANY, a corporation of the State of Utah, Grantee, its successors and assigns, for the sum of ONE DOLLAR (\$1.00) in hand paid and other good and valuable consideration, receipt of which is hereby acknowledged, a non-exclusive right-of-way and easement over, across, under and through the following land situated in Utah County, State of Utah (the "Land") and more particularly described as follows, to-wit:

Part of an entire tract of property, situate in the SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1, a subdivision located in the Northeast Quarter of Section 23, Township 4 South, Range 1 East, Salt Lake Base and Meridian.

The boundaries of said strip of land are described as follows:

Beginning at the most Northwest Corner of said subdivision; and running thence North 89°46'49" East 5.01 feet to the southwesterly boundary line of an existing 16 foot right of way and easement as conveyed by that certain Right of Way Grant recorded as Entry 14008:1947; thence along said southwesterly boundary line South 43°57'37" East 28.91 feet; thence South 00°13'11" East 164.59 feet; thence South 89°56'28" West 25.00 feet to the most westerly boundary line of said subdivision; thence North 00°13'11" West 185.41 feet along said westerly boundary line to the point of beginning. (Contains 4,427 square feet in area or 0.102 acre.)

Also, beginning at point on a southerly boundary line of said SWISS ONE

PLANNED RESIDENTIAL DEVELOPMENT PHASE 1 subdivision, said point being 260.41 feet South 00°13'11" East along a westerly boundary line of said subdivision and 75.00 feet North 89°56'28" East along a southerly boundary line of said subdivision from the most Northwest Corner of said subdivision; and running thence North 00°13'11" West 25.00 feet; thence North 89°56'28" East 178.12 feet; thence South 43°57'37" East 20.14 feet to the exterior boundary line of said subdivision; thence along said exterior boundary line the following four (4) courses and distances: (1) South 43°57'37" East 149.19 feet; thence (2) South 89°59'16" East 95.84 feet; thence (3) southerly 6.06 feet along the arc of a non-tangent 15.00-foot radius curve to the right, through a central angle of 23°09'15" (Note: Chord to said curve bears South 11°33'54" East for a distance of 6.02 feet); thence (4) South 00°00'44" West 19.10 feet; thence North 89°59'16" West 107.66 feet; thence North 43°57'37" West 162.00 feet to a point on the exterior boundary line of said subdivision; thence along said boundary line the following two (2) courses and distances: (1) North 00°03'32" West 5.27 feet; thence (2) South 89°56'28" West 172.49 feet to the point of beginning. (Contains 11,094 square feet in area or 0.255 acre.)

EASEMENT SCOPE: Grantor and Grantee agree that Grantee, its successors and assigns, shall be entitled to have and to hold the easement granted by this Easement Agreement (the "Easement") with the right of ingress to, egress from, and access on and along the right-of-way to construct, lay, maintain, operate, repair, alter, inspect, protect, make connections to, remove and replace pipelines, valves, valve boxes and install cathodic monitoring and mitigation facilities and other gas transmission and distribution facilities (hereinafter collectively called "Facilities").

The Easement shall also carry with it the right to use and improve existing roads, water drainage, and retaining walls and the right to the construction, operation, maintenance, repair, replacement, enlargement, and removal or electric utilities and all necessary or desirable accessories and appurtenances thereto, including without limitation: wires, fibers, cables and other conductors and conduits therefor; and pads, transformers, switches, cabinets, and vaults on, across, or under the surface of the land on or within the boundaries of the right of way.

During temporary periods, Grantee may use such portion of the property along and adjacent to said right-of-way as may be reasonably necessary in connection with construction, maintenance, repair, removal or replacement of the facilities. Grantor shall have the right to use said premises except for the purposes for which this right-of-way and easement is granted to Grantee, provided such use does not interfere with the facilities or any other rights granted to Grantee hereunder.

Without limiting the generality of the foregoing, Grantor and Grantee do hereby covenant, warrant and agree as follows:

1. Grantor shall not build or construct, nor permit to be built or constructed, over or across the right-of-way, any building, retaining walls, rock walls, footings or improvement which impairs the maintenance or operation of the Facilities.

2. Grantor shall not change the contour within the right-of-way without prior written consent of Grantee.

3. Grantor shall not plant, or permit to be planted, any deep rooted trees, or any vegetation with roots that may damage the Facilities, within the right-of-way, without prior written consent of Grantee.

4. Grantor shall not place personal property within the right-of-way that impairs the maintenance or operation of the Facilities.

5. Grantee shall have the right to cut and remove timber, trees, brush, overhanging branches, landscaping and improvements or other obstructions of any kind and nature which may injure or interfere with Grantee's use, occupation or enjoyment of this easement and right-of-way, without liability to Grantor, and without any obligation of restoration or compensation.

6. Grantee, following the installation or maintenance, of the facilities, shall restore the surface of the right-of-way and easement, and any improvements, to, as near as practicable, the condition of the surface, prior to said installation or maintenance.

7. Grantee agrees to release, indemnify, defend and hold harmless Grantor from and against any and all claims, liabilities, demands, actions, expenses or costs arising out of Grantee's use of the premises and where Grantee is found to be solely negligent.

SUCCESSORS and ASSIGNS: This right-of-way shall be binding upon and inure to the benefit of the successors and assigns of Grantor and the successors and assigns of Grantee, and may be assigned in whole or in part by Grantee.

It is hereby understood that any parties securing this grant on behalf of Grantee are without authority to make any representations, covenants or agreements not herein expressed.

IN WITNESS WHEREOF, Grantor has caused its corporate name and seal to be hereunto affixed this ____ day of _____, 20__.

ATTEST:

Clerk

ALPINE CITY

By: _____
Mayor

QUESTAR GAS COMPANY

By: _____
James B. Hasty, General Manager
Engineering and Project Management

STATE OF UTAH)
) ss.
COUNTY OF UTAH)

On the ____ day of _____, 20__ personally appeared before me _____, and _____ who, being duly sworn, did say that they are the _____ and _____, respectively, of _____, and that the foregoing instrument was signed on behalf of same.

Notary Public

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

The foregoing instrument was acknowledged before me this ____ day of _____, 2014, by James B. Hasty, General Manager Engineering and Project Management, of QUESTAR GAS COMPANY.

Notary Public

WHEN RECORDED MAIL TO:

Questar Gas Company
P.O. Box 45360, Right-of-way
Salt Lake City, UT 84145-0360
FL24/Alpine City Deed

Space above for County Recorder's use
PARCEL I.D.#

WARRANTY DEED

UT _____

ALPINE CITY, a municipal corporation organized and existing under the laws of the State of Utah, Grantor, does hereby **CONVEY** and **WARRANT** to **QUESTAR GAS COMPANY**, a Utah Corporation, Grantee, for the sum of **TEN DOLLARS** and other good and valuable consideration, the following described tract of land in Utah County, State of Utah:

A parcel of land being part of an entire tract of property, situate in the **SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1**, a subdivision located in the Northeast Quarter of Section 23, Township 4 South, Range 1 East, Salt Lake Base and Meridian. The boundaries of said parcel of land are described as follows:

Beginning at a Southwest corner of said **SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1** subdivision, said corner being 260.41 feet South 00°13'11" East from the most Northwest Corner of said subdivision; and running thence North 00°13'11" West 75.00 feet along the exterior boundary line of said subdivision; thence North 89°56'28" East 75.00 feet; thence South 00°13'11" East 75.00 feet to the exterior boundary line of said subdivision; thence South 89°56'28" West 75.00 feet along said exterior boundary line to the point of beginning. (Contains 5,625 square feet, 0.129 acre.)

Together with a right-of-way for access described as follows:

Beginning at point on a southerly boundary line of said **SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1** subdivision, said point being 260.41 feet South 00°13'11" East along a westerly boundary line of said subdivision and 75.00 feet North 89°56'28" East along a southerly boundary line of said subdivision from the most Northwest Corner of said subdivision; and running thence North 00°13'11" West 25.00 feet; thence North 89°56'28" East 178.12 feet; thence South 43°57'37" East 20.14 feet to the exterior boundary line

of said subdivision; thence along said exterior boundary line the following four (4) courses and distances: (1) South 43°57'37" East 149.19 feet; thence (2) South 89°59'16" East 95.84 feet; thence (3) southerly 6.06 feet along the arc of a non-tangent 15.00-foot radius curve to the right, through a central angle of 23°09'15" (Note: Chord to said curve bears South 11°33'54" East for a distance of 6.02 feet); thence (4) South 00°00'44" West 19.10 feet; thence North 89°59'16" West 107.66 feet; thence North 43°57'37" West 162.00 feet to a point on the exterior boundary line of said subdivision; thence along said boundary line the following two (2) courses and distances: (1) North 00°03'32" West 5.27 feet; thence (2) South 89°56'28" West 172.49 feet to the point of beginning. (Contains 11,094 square feet, 0.255 acre.)

WITNESS the hand of said Grantor, this ____ day of _____, 20 ____.

ALPINE CITY

Clerk

By: _____
Mayor

STATE OF UTAH)
) ss.
COUNTY OF UTAH)

On the ____ day of _____, 20____ personally appeared before me _____, and _____ who, being duly sworn, did say that they are the _____ and _____, respectively, of _____, and that the foregoing instrument was signed on behalf of same.

Notary Public

FEE PROPERTY DESCRIPTION

A PARCEL OF LAND BEING PART OF AN ENTIRE TRACT OF PROPERTY, SITUATE IN THE SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1, A SUBDIVISION LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

THE BOUNDARIES OF SAID PARCEL OF LAND ARE DESCRIBED AS FOLLOWS:

BEGINNING AT A SOUTHWEST CORNER OF SAID SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1 SUBDIVISION, SAID CORNER BEING 260.41 FEET SOUTH 00°13'11" EAST FROM THE MOST NORTHWEST CORNER OF SAID SUBDIVISION; AND RUNNING THENCE NORTH 00°13'11" WEST 75.00 FEET ALONG THE EXTERIOR BOUNDARY LINE OF SAID SUBDIVISION; THENCE NORTH 89°56'28" EAST 75.00 FEET; THENCE SOUTH 00°13'11" EAST 75.00 FEET TO THE EXTERIOR BOUNDARY LINE OF SAID SUBDIVISION; THENCE SOUTH 89°56'28" WEST 75.00 FEET ALONG SAID EXTERIOR BOUNDARY LINE TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PART PARCEL OF LAND CONTAINS 5,625 SQUARE FEET IN AREA OR 0.129 ACRE.

NORTH EASEMENT DESCRIPTION

A STRIP OF LAND FIFTY (25) FEET IN WIDTH SITUATE IN THE SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1, A SUBDIVISION LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. THE BOUNDARIES OF SAID STRIP OF LAND ARE DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHWEST CORNER OF SAID SUBDIVISION; AND RUNNING THENCE NORTH 89°46'49" EAST 5.01 FEET TO THE SOUTHWESTERLY BOUNDARY LINE OF AN EXISTING 16 FOOT RIGHT OF WAY AND EASEMENT AS CONVEYED BY THAT CERTAIN RIGHT OF WAY GRANT RECORDED AS ENTRY 14008:1947; THENCE ALONG SAID SOUTHWESTERLY BOUNDARY LINE SOUTH 43°57'37" EAST 28.91 FEET; THENCE SOUTH 00°13'11" EAST 164.59 FEET; THENCE SOUTH 89°56'28" WEST 25.00 FEET TO THE MOST WESTERLY BOUNDARY LINE OF SAID SUBDIVISION; THENCE NORTH 00°13'11" WEST 185.41 FEET ALONG SAID WESTERLY BOUNDARY LINE TO THE POINT OF BEGINNING.

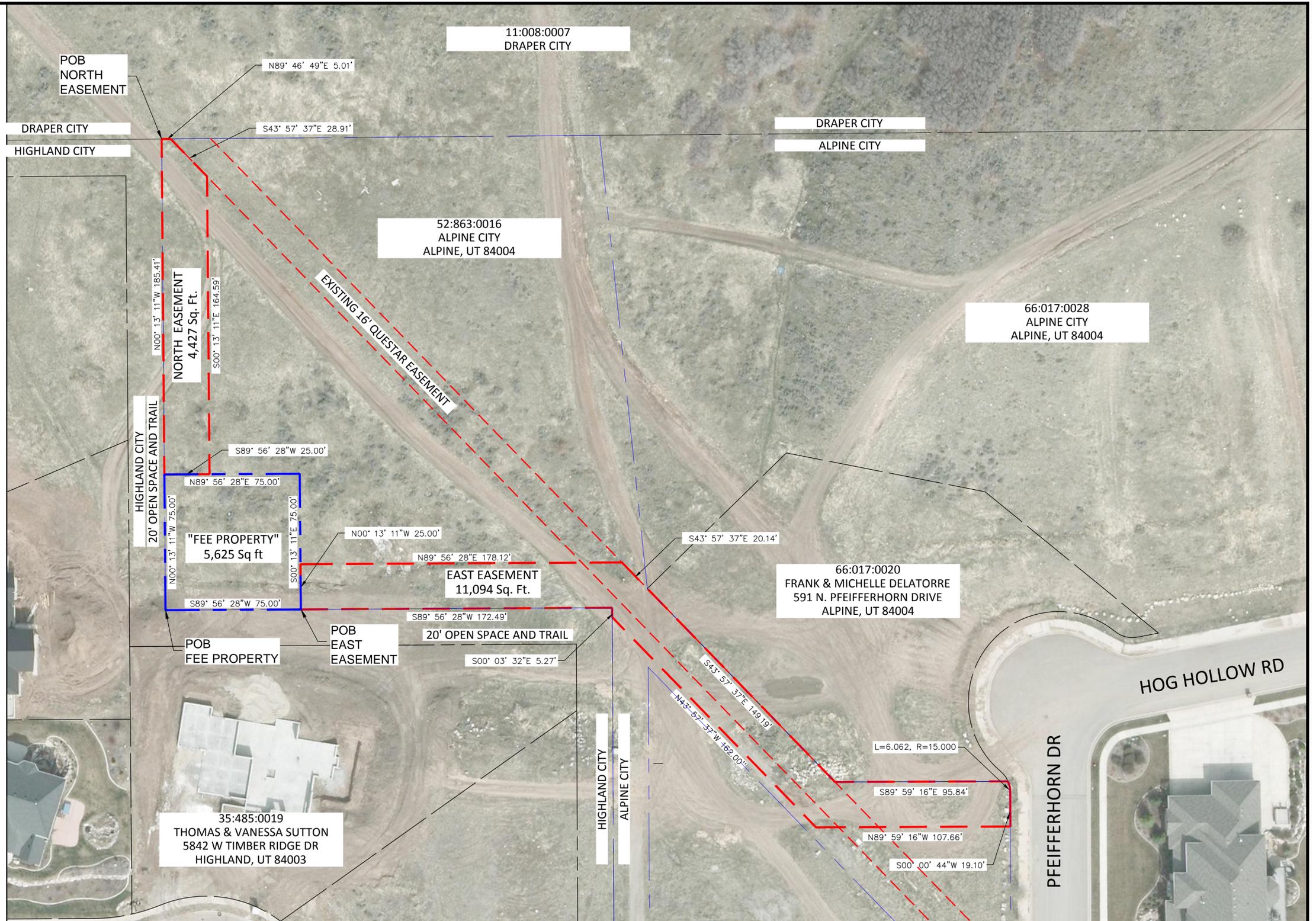
THE ABOVE DESCRIBED STRIP OF LAND CONTAINS 4,427 SQUARE FEET IN AREA OR 0.102 ACRE.

EAST EASEMENT DESCRIPTION

PART OF AN ENTIRE TRACT OF PROPERTY, SITUATE IN THE SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1, A SUBDIVISION LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. THE BOUNDARIES OF SAID PART OF AN ENTIRE TRACT ARE DESCRIBED AS FOLLOWS:

BEGINNING AT POINT ON A SOUTHERLY BOUNDARY LINE OF SAID SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT PHASE 1 SUBDIVISION, SAID POINT BEING 260.41 FEET SOUTH 00°13'11" EAST ALONG A WESTERLY BOUNDARY LINE OF SAID SUBDIVISION AND 75.00 FEET NORTH 89°56'28" EAST ALONG A SOUTHERLY BOUNDARY LINE OF SAID SUBDIVISION FROM THE MOST NORTHWEST CORNER OF SAID SUBDIVISION; AND RUNNING THENCE NORTH 00°13'11" WEST 25.00 FEET; THENCE NORTH 89°56'28" EAST 178.12 FEET; THENCE SOUTH 43°57'37" EAST 20.14 FEET TO THE EXTERIOR BOUNDARY LINE OF SAID SUBDIVISION; THENCE ALONG SAID EXTERIOR BOUNDARY LINE THE FOLLOWING FOUR (4) COURSES AND DISTANCES: (1) SOUTH 43°57'37" EAST 149.19 FEET; THENCE (2) SOUTH 89°59'16" EAST 95.84 FEET; THENCE (3) SOUTHERLY 6.06 FEET ALONG THE ARC OF A NON-TANGENT 15.00-FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 23°09'15" (NOTE: CHORD TO SAID CURVE BEARS SOUTH 11°33'54" EAST FOR A DISTANCE OF 6.02 FEET); THENCE (4) SOUTH 00°00'44" WEST 19.10 FEET; THENCE NORTH 89°59'16" WEST 107.66 FEET; THENCE NORTH 43°57'37" WEST 162.00 FEET TO A POINT ON THE EXTERIOR BOUNDARY LINE OF SAID SUBDIVISION; THENCE ALONG SAID BOUNDARY LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES: (1) NORTH 00°03'32" WEST 5.27 FEET; THENCE (2) SOUTH 89°56'28" WEST 172.49 FEET TO THE POINT OF BEGINNING.

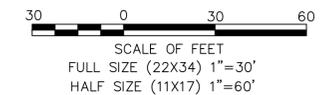
THE ABOVE DESCRIBED PART OF AN ENTIRE TRACT CONTAINS 11,094 SQUARE FEET IN AREA OR 0.255 ACRE.

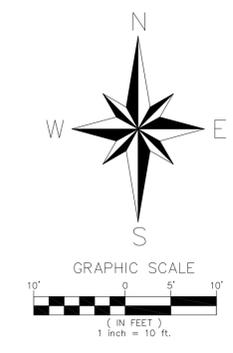
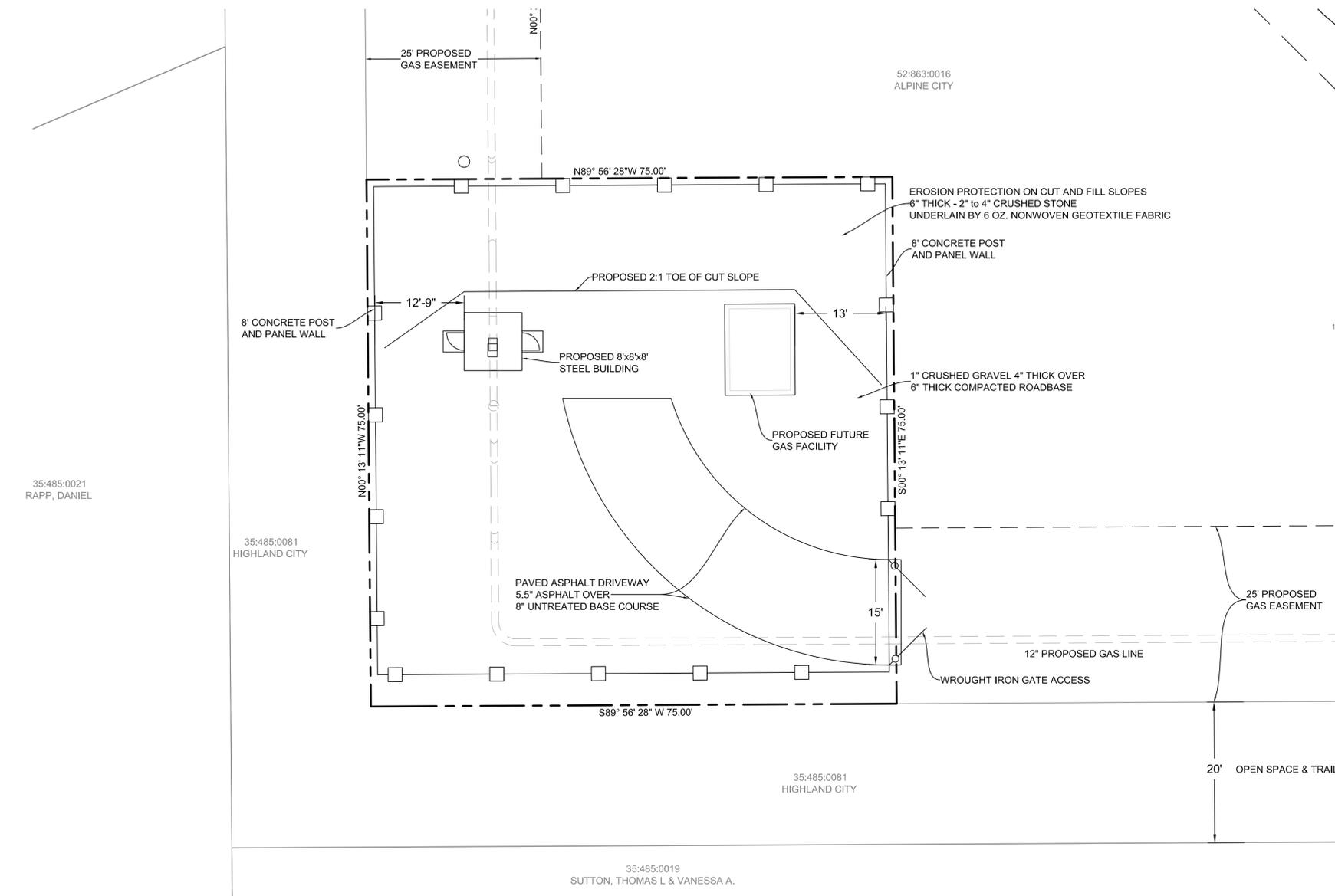


FEEDER LINE 24
EXHIBIT "A"
 Alpine City
 SWISS ONE PLANNED RESIDENTIAL DEVELOPMENT
 Provo, UT 84604

LEGEND

QUESTAR PURCHASE	---
NEW QUESTAR EASEMENT	- - - -
AS OCCUPIED DESCRIPTION	- - - -
SUBDIVISION BOUNDARY LINE	---
ADJOINER LOT LINE	---
LOT LINE/OPEN SPACE TRAIL LINE	---





GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LAND OF PUBLIC AND PRIVATE OWNERSHIP TO BE RESTORED TO ITS ORIGINAL STATE.
2. CONTRACTOR SHALL RETAIN AND PROTECT WHERE POSSIBLE ALL LANDSCAPING, TREES, EXISTING UTILITIES, DITCHES, CULVERTS, PAVEMENT, FENCING, ETC. EXCEPT WHERE REMOVAL OF SUCH ITEMS IS SPECIFICALLY CALLED FOR ON DRAWINGS. ANY DAMAGE CAUSED BY CONTRACTOR SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE. FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS.
7. THIS PLAN DOES NOT AUTHORIZE CLOSURE OF ANY ROAD OR STREET
8. CONSTRUCTION SHALL CONFORM TO ALPINE CITY DESIGN AND CONSTRUCTION STANDARDS.

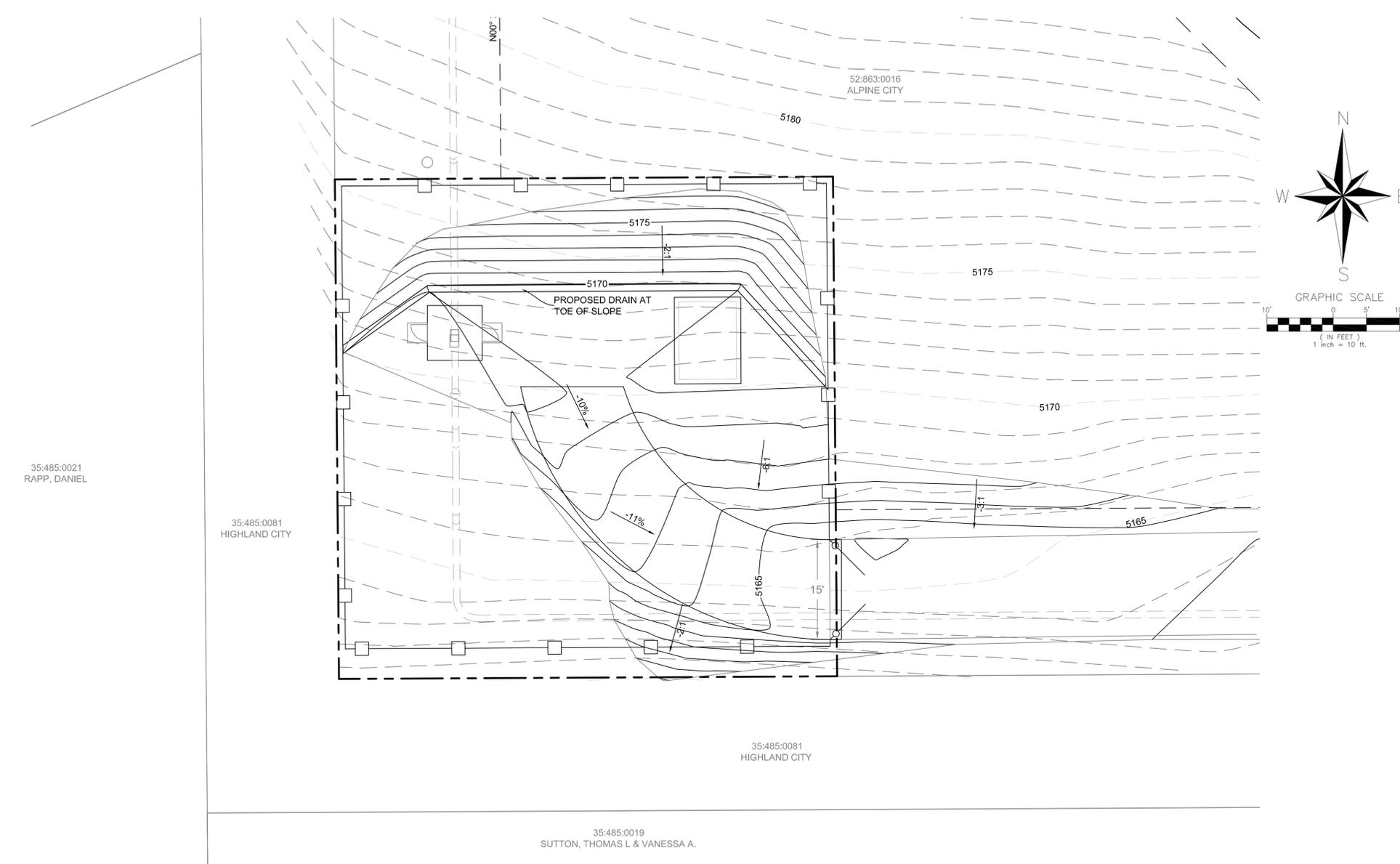
LEGEND

- EASEMENT LINE
- PROPOSED 8' CONCRETE POST AND PANEL WALL
- PROPERTY LINE
- - - EXISTING FENCE-CHAINLINK
- PROPOSED FENCE-8' WROUGHT IRON
- ADJOINER PROPERTY LINE

APPLICANT:
 QUESTAR GAS
 1140 WEST 200 SOUTH
 SALT LAKE CITY, UTAH
 RICK HELLSTROM
 801-324-3737
 rick.hellstrom@questar.com

ENGINEER:
 PSOMAS
 4179 SOUTH RIVERBOAT
 ROAD
 SUITE 200
 SALT LAKE CITY, UTAH
 CRAIG AHRENS
 801-270-5777
 800-270-5782 FAX
 cahrens@psomas.com

REFERENCE DRAWINGS			WORK ORDERS			REVISIONS				ENGINEERING RECORD				LINE NUMBER: FL-24 FACILITY: ALPINE METERING STATION TITLE: SITE PLAN DESCRIPTION: PFIEFERHORN DRIVE AND HOG HOLLOW ROAD ADDRESS:		
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	DATE	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: PSOMAS	SECTION: 23 T4S R 1E				
												ELEVATION: 5170'	ALPINE	UTAH	UTAH	
												LAT: LONG:				
												SCALE: 1"=10'				
THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF QUESTAR AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM QUESTAR.												DRAWING NUMBER	SHEET	REVISION		
												1	1	0		



GRADING AND DRAINAGE NOTES:

1. CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
2. IF DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE GEOTECHNICAL ENGINEER SHALL BE CONTACTED FOR RECOMMENDATIONS.
3. UNLESS OTHERWISE SHOWN, NO PROPOSED SLOPE SHALL EXCEED THREE (3) HORIZONTAL TO ONE (1) VERTICAL. ALL SLOPED AREAS MUST BE PROTECTED FROM EROSION.
4. EXISTING GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
5. PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
7. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
9. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
10. SITE WORK SHALL MEET OR EXCEED ALPINE CITY SITE SPECIFICATIONS.
11. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4000 psi.
12. SUBGRADE MATERIALS SHALL BE TESTED TO EVALUATE THE MECHANICAL STRENGTH OF THE PROPOSED ROADWAY SUBGRADE BY CALIFORNIA BEARING RATIO (CBR) PENETRATION TESTS. THE FINAL DETERMINATION FOR STRUCTURAL PAVEMENT SECTION SHALL BE DETERMINED FOLLOWING AN EVALUATION OF THESE TEST RESULTS.

LEGEND

- EASEMENT LINE
- PROPOSED 8' CONCRETE POST AND PANEL
- PROPOSED FENCE-8' WROUGHT IRON
- PROPERTY LINE
- x- EXISTING FENCE-CHAINLINK
- CURB AND GUTTER
- MAJOR CONTOUR LINE (EXISTING)
- MINOR CONTOUR LINE (EXISTING)
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE

APPLICANT:
 QUESTAR GAS
 1140 WEST 200 SOUTH
 SALT LAKE CITY, UTAH
 RICK HELLSTROM
 801-324-3737
 rick.hellstrom@questar.com

ENGINEER:
 PSOMAS
 4179 SOUTH RIVERBOAT
 ROAD
 SUITE 200
 SALT LAKE CITY, UTAH
 CRAIG AHRENS
 801-270-5777
 800-270-5782 FAX
 cahrens@psomas.com

REFERENCE DRAWINGS		WORK ORDERS		REVISIONS				ENGINEERING RECORD				LINE NUMBER: FL- 24 FACILITY: ALPINE METERING STATION TITLE: GRADING PLAN DESCRIPTION: PFIEFERHORN DRIVE AND HOG HOLLOW ROAD ADDRESS:			
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	DATE	NO	DESCRIPTION	DATE	BY	CHECK		SECTION: 23 T4S R 1E	CITY	COUNTY	STATE
												ELEVATION: 5170'	ALPINE	UTAH	UTAH
												LAT:			
												SCALE: 1"=10'			
THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF QUESTAR AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM QUESTAR.											DRAWING NUMBER	SHEET	REVISION		
												2	0		

Project: FL24 Replacement WA1567 Station



Location: 600 N. Pfefferhorn Dr.

Date: 8/14/2014

Subject: Ultrasonic Meter Steel Enclosure

By: D.Krumm



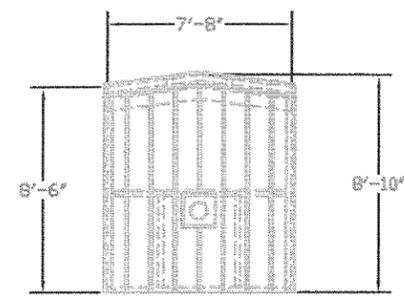
WA1567 Steel Enclosure - Door View



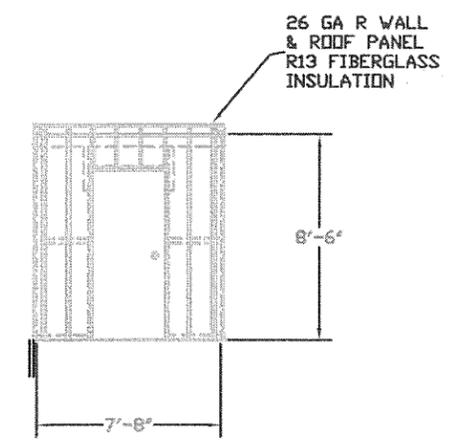
WA1567 Steel Enclosure - Side View

NOTES

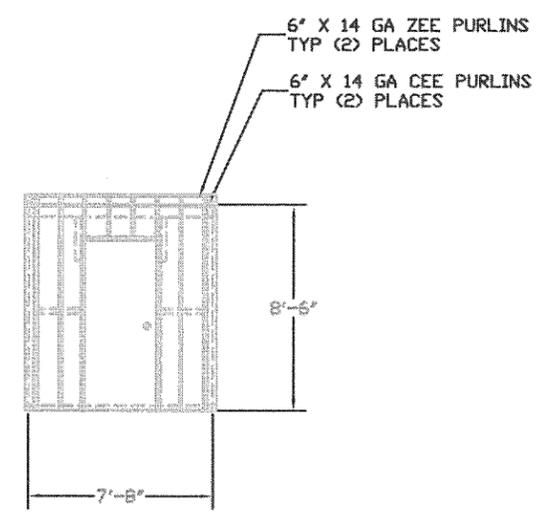
1. QUESTAR GAS CO., ALPINE, UTAH
2. FRAMING MEMBERS SHALL BE 14 GAUGE STEEL.
3. SIDING SHALL BE 26 GAUGE, PREPAINTED STEEL, ATTACHED TO FRAMING MEMBERS WITH RUST RESISTANT FASTENERS, COLOR PER CUSTOMER. (FULL LENGTH, NO HORIZONTAL LAPPED JOINTS)
4. ROOFING SHALL BE 26 GAUGE, PREPAINTED STEEL, ATTACHED TO FRAMING MEMBERS WITH RUST RESISTANT FASTENERS, COLOR PER CUSTOMER. (FULL LENGTH, NO HORIZONTAL LAPPED JOINTS)
5. STEEL FRAMING SHALL BE WELDED CONSTRUCTION, 1/8" FILLETS, BUTT, AND BEVEL WELDS PER STANDARD SHOP PRACTICE, EXCEPT AS NOTED.
6. CAULKING OR WEATHER SEAL SHALL BE INSTALLED AT BOTTOMS OF SIDING PANELS TO PREVENT RAIN WATER ENTRY.
7. DOOR SHALL BE CECD DOOR 18 GAUGE, PREPAINTED AND PAINTED, INSULATED STEEL PANEL, 1/2" INTEGRAL REINFORCING RIBS, AND BOTTOM WEATHERSEAL
8. ENCLOSURE SHALL BE ATTACHED TO THE EXISTING CONCRETE PAD WITH (4) 3/8" X 4" EXPANSION BOLTS & (5) 1/2" X 4" EXPANSION BOLTS.
9. ALL STRUCTURAL STEEL SHALL BE SHOP CLEANED AND GIVEN ONE COAT OF PRIMER, 2-3 MILS THICK, ZINC CHROMATE-IRON OXIDE
10. FASTENERS SHALL BE CORROSION RESISTING STEEL, NO. 12 # IF SELF-TAPPING TYPE AND NOT LESS THAN NO. 12 # IF SELF-DRILLING AND SELF-TAPPING
11. EXPOSED FASTENERS SHALL BE GASKETED OR HAVE GASKETED WASHERS ON THE EXTERIOR SIDE OF THE COVERING TO WATERPROOF THE PENETRATION. WASHER MATERIAL SHALL BE NEOPRENE OR EQUAL, 1/8" # AND 1/4" THICK. EXPOSED WALL FASTENERS SHALL BE COLOR FINISHED OR PROVIDED WITH PLASTIC COLOR CAPS TO MATCH THE COVERING.



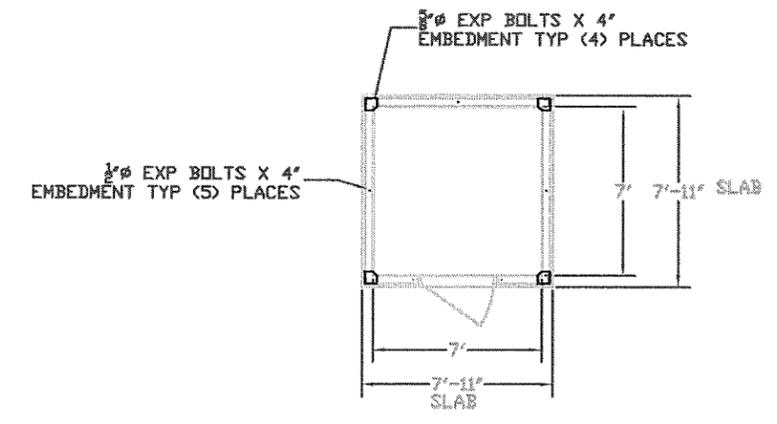
SIDE VIEW



FRONT VIEW



BACK VIEW



PLAN VIEW

QUESTAR GAS COMPANY 180 EAST 100 SOUTH SALT LAKE CITY, UTAH 84111				CONTRACT NO. APPROVALS DATE		BOETTCHER & SONS QUESTAR'S ALPINE METER STATION 7'-0" X 7'-0" X 8'-0" INSIDE BLDG	
SEE NOTES				DATE PLOTTED: 8/13/14		DWG NO. 14-101 SCALE: 3/16" = 1' SHEET 01	
ZONE	REV	DESCRIPTION	DATE	APPROVALS	REVISED	BY	DATE

ALPINE PLANNING COMMISSION AGENDA

SUBJECT: Proposed Sign Ordinance Amendment

FOR CONSIDERATION ON: 19 August 2014

PETITIONER: Terri Nitta

ACTION REQUESTED BY PETITIONER: Amend the Sign Ordinance

APPLICABLE STATUTE OR ORDINANCE: Article 3.25 (Sign Ordinance)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

Mrs. Nitta has prepared a document outlining some issues she sees with the Alpine City Sign Ordinance. See following pages.

RECOMMENDED ACTION:

The Planning Commission review the document submitted by Teri Nitta and consider making a recommendation to the City Council to amend the sign ordinance.

Atten; Alpine City Planner

8-4-14

Dear Mr. Bond,

Thank you for helping me with this inquiry to amending the sign ordinance. Below you will find the issues related to the sign ordinance which I feel need revision or amendment.

1. The sign regulations of Alpine City are extensive and confusing. The City needs to simplify and reformat its business, residential, other and public property sign posting regulations so that they are more easily searchable by citizens, thus more easily followed as well.
A. There needs to be separate sections such as (a) Business signs; permanent and temporary (b) Residential signs; temporary (c) Other signs; permanent, temporary, and (d) Conditions Permitting Commercial sign posting on public property. This way, the desired information is more readily available, less confusing and requires less time to search the ordinances for applicable information.

2. The current Alpine city sign ordinances do not allow residents/private property owners ANY personal sign posting rights! The Alpine City sign ordinance with regard to temporary signs, listed under; Temporary Signs 3.25.14, does not list residents as a permitted individual to post a sign on their own private property unless it is a campaign sign for a political candidate, which is listed under section 3.25.10 Election and Political Signs. If a resident is searching for allowable sign posting regulations for their private property, they must search through several sections to find any mention of residential allowances, and yet they will find that only political signs are allowed.

3.25.6.5 States that flags, banners, streamers and the like are not allowed to be used as signs or for the purposes to gain attention.

(Please see below- the Supreme Court case *Ladue v. Gilleo* regarding the unconstitutionality of restricting residents freedom of speech through sign restrictions.)

Banners are stated as permitted temporary signs but the applicable regulations referred to there (3.25.8.3.), only mention size, not to whom it is applicable. This regulation is listed under Commercial Business Signs suggesting only business banners are permitted. If it is allowable, residential banners should not be restricted to buildings alone but be allowed to be posted on private property fence lines, especially since there are currently three business banner signs posted on the public property fence line of Burgess Park, which is permitted by the city. Residents should be allowed the same freedom.

3. Home Occupation Signs; 3.25.11

"Home Occupation" is not defined in the definitions section of the ordinance. According to IRS law, a self employed individual can earn up to \$400 before they are required to file for taxes. This policy should be a consideration in Alpine City law, only requiring a Home Occupation license after \$400 of income is earned, or estimated to be earned. Otherwise, Alpine City is discouraging people from generating needed income by their own means- i.e. garage sales or any other minimal income source from their home. Residents should be allowed to post onsite, temporary signs to advertise (such as garage sale signs, products for sale signs, occasional hosted product party, etc.) as well as off site, time limited (48-72 hour garage sale signs, other signs, etc) and number limited (up to three) advertising signs, for these minimal income sources which are generally offered by the mothers of the household, and are generated from a home service or product, as long as the income is under \$400 for the taxable year. This would allow

Atten; Alpine City Planner

families who offer seasonal services or products but earn less than \$400 to advertise and assist in the support for their family.

4. 3.25.14.4- Church, Home Owners Association & School Informational signs; My issue with this ordinance is that the church signs are not allowed to be posted on residential or public property. This should be changed to allow church signs to be posted on private, residential property with the owners permission and public property within a time limitation of 24-48 hrs. This enables neighbors to remind and encourage church participation by the community. In our particular community, the majority of residents would welcome and have welcomed this practice for decades. Church signs have historically been allowed on public property street corners. I am sure you have not had any complaints to the contrary. As with any law or ordinance, our rules evolve and improve with time, and should not be too restrictive on the personality of our community. They must reflect our values and priorities as a distinct and united community. I think we sometimes forget the first amendment to the United States Constitution, which is the right of assembly and our local government (made up of fellow citizens) does not have the right to impede the free exercise of that amendment. We should be very careful to avoid government intrusion and be more active in the preservation of the rights of our citizens before they are all lost.

5. Enforcement;

3.25.16.1; This must be changed to allow residential signs and banners on private property and fence lines.

3.25.16.2 ; This must be changed to allow notification to property owners of any violation and provide a grace period before action is taken, unless the sign is offensive in nature or a hazard to safety.

3.25.16.4; This must be changed to require notification to private property owners before confiscation of sign (which is technically private property).

The grounds for requesting some of the amendments above, regarding the current Alpine City Sign Ordinance, stem from the restrictions made on residential, private property owners freedom of speech, freedom of assembly and rights of use of their own property within reasonable measures. It is my belief that government officials should make every effort to preserve the rights and freedoms of citizens in our community. Permissions given to business owners regarding sign postings and not given to residents and private property owners/tax payers, is an injustice that needs to be changed. Please see the below Court Case that supports some of the reasons for the aforementioned amendments and changes.

Thank you for your time and consideration. I have never proposed an amendment to anything in the past, so I am unaware of any format or required documentation etc., necessary for such. Please let me know if there is anything I have done in error or am missing from this proposal.

Sincerely, Teri Nitta

Atten; Alpine City Planner

1994 Supreme Court Case regarding residential sign rights and freedom of speech.

With respect to residents of Alpine City, the current sign ordinances are similar in their restrictions to that of the past sign ordinances of The City of Ladue, Missouri, in which the Supreme Court case;

City of Ladue v. Gilleo of 1994,
found the City's ordinances to be unconstitutional, violating rights of free speech. All quotes below are from the above stated Supreme Court case of 1994. See case law.lp.findlaw.com/scripts/getcase.pl?court=US&vol=000&invol=u10373

1994 City of Ladue v. Gilleo -Supreme Court Ruling Held;

The ordinance was found to violate residents right to free speech. (Pp. 4-16)

"An ordinance of petitioner City of Ladue bans all residential signs but those falling within one of ten exemptions, for the principal purpose of minimizing the visual clutter associated with such signs."

a- The city ordinance exemptions discriminate on the basis of the sign's messages, by permitting onsite commercial speech while prohibiting non-commercial messages. (Pp. 4-10)

b- Residential sign ordinances cannot "completely foreclose an important and distinct medium of expression to political, religious or personal messages." (Pp. 10-13)

c- "Time, place or manner" restrictions with regard to signs posted on residential or private property "fail because alternatives such as handbills and newspaper advertisements are inadequate substitutes for (this) important medium." "Displaying a sign from one's own residence often carries a message quite different from placing the same sign someplace else, or converting the same text or picture by other means, it provides information about the speakers identity, an important component of many attempts to persuade. Furthermore, the audience intended to be reached by a residential sign- neighbors- could not be reached nearly as well by other means." (Pp. 13-14)

d- "A special respect for individual liberty in the home has long been part of this Nation's culture and our law and has a special resonance when the government seeks to constrain a person's ability to speak there. In addition, residents self-interest in maintaining their own property values and preventing "visual clutter" in their yards and neighborhoods diminishes the danger of an "unlimited" proliferation of signs." (Pp 15-16)

Other Statements by the Court

"Our prior decisions have voiced particular concern with laws that foreclose an entire medium of expression. Although prohibitions foreclosing entire media may be completely free of content or viewpoint discrimination, the danger they pose to the freedom of speech is readily apparent- by eliminating a common means of speaking, such measures can suppress too much speech."

Residential signs are an unusually cheap and convenient form of communication. Even for the affluent, the added costs in money and time of taking out a newspaper advertisement, handing out leaflets on the street, or standing in front of one's house with a hand held sign may make the difference between participating and not participating in some public debate.

ALPINE PLANNING COMMISSION AGENDA

SUBJECT: David's Court Subdivision Final Plat F

FOR CONSIDERATION ON: 19 August 2014

PETITIONER: Patterson Construction

ACTION REQUESTED BY PETITIONER: Approve Final Plat F

APPLICABLE STATUTE OR ORDINANCE: Article 4.6 (Major Subdivisions)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

The proposed David's Court Subdivision consists of 15 lots on 16.42 acres. The lots range in size from 40,000 to 62,792 square feet. The development is located north of Healey Boulevard and east of Canyon Crest Road. The proposed development is in the CR-40,000 zone. This plan will require the vacation of David's Court Plats A, B & C to allow property lines to be adjusted to the current plan. The development is not located within any sensitive lands overlay zone. The developer is proposing to phase the project for construction. Plat F will consist of the easterly cul-de-sac and lots 1 thru 8. The remaining 7 lots will be phased in the future.

RECOMMENDED ACTION:

We recommend final approval of the proposed development with the following conditions:

- The Planning Commission recommend the driveway design for Lot 3
- The Developer meet the water policy
- The Developer acquire approvals for the Utility Notification Form
- The Developer address some redlines on the construction drawings and plat
- The Developer provides a construction cost estimate



Date: August 11, 2014

By: Jed Muhlestein, P.E. *JM*
Assistant City Engineer

**Subject: David's Court Subdivision – Final Review
15 lots on 16.42 acres**

Background

The proposed David's Court Subdivision consists of 15 lots on 16.42 acres. The lots range in size from 40,000 to 62,792 square feet. The development is located north of Healey Boulevard and east of Canyon Crest Road. The proposed development is in the CR-40,000 zone. This plan will require the vacation of David's Court Plats A, B, & C to allow property lines to be adjusted to the current plan. The development is not located within any sensitive lands overlay zone. The developer is proposing to phase the project for construction. Plat F will consist of the easterly cul-de-sac and lots 1 thru 8. The remaining 7 lots will be phased in the future.

Street System

The proposed development shows access from Healey Boulevard with two new cul-de-sacs. Both cul-de-sacs are less than 450' in length. All lots, except Lot 3, will have frontage on these new cul-de-sacs. Lot 3 has frontage and will access off Canyon Crest Road which is an arterial road. Lot 3 will be required to have a driveway design such that backing out onto Canyon Crest will not occur (Development Code 4.7.4.14) and will require the recommendation of DRC, Planning Commission, and approval of the City Council. A note is shown on the plat for this requirement. A note is also shown on the plat to move the driveway as far south along the frontage of Lot 3 as possible to give the proper sight distance for south bound traffic on Canyon Crest. The DRC recommends this approach for Lot 3. Previous redlines regarding street design have been addressed by the developer.

Sewer System

There is an existing 8-inch sewer line running in Healey Boulevard that can serve all but Lot 3 of the development. Some sewer laterals were installed northward off Healey Boulevard in

anticipation for the development and most will be used. There is one on Healey Blvd at the intersection of the proposed cul-de-sac Austin Circle that will be or will remain capped as it is in an un-usable location for the site plan. In order to provide sewer service to Lot 3 an extension of the sewer system in Canyon Crest would need to be built as the nearest sewer manhole to that lot is about 175' to the south. The sewer design is provided and approved. Redlines from Preliminary have been addressed.

Culinary Water System

The subdivision is well below the 5350 foot elevation, which is the highest elevation the existing water system can serve and still provide a minimum 40 psi required by ordinance. There is currently an 8-inch water line running in Healey Boulevard that can serve the development.

At Preliminary Review the topic of available fire flows was discussed. Based on the International Fire Code, which the City has adopted, fire flows dictate the size of home that can be built with or without having to install automatic fire sprinklers. After Preliminary Review the developer has upsized the proposed size of lines in the cul-de-sacs to provide enough fire flow to support a 7,700 square foot home in the easterly cul-de-sac and a 6,200 square foot home in the westerly without having to add automatic fire sprinklers. Whether or not automatic fire sprinklers are required is checked at the building permit stage.

Redlines from Preliminary have been addressed and the water design is acceptable. The Fire Marshall has approved the location of the proposed fire hydrants. 3/4-inch service lines with 3/4-inch water meters are shown to be constructed for each new lot where existing services cannot be utilized, including Lot 3 on Canyon Crest.

Pressurized Irrigation System

There is currently a 12-inch pressurized irrigation line running in Healey Boulevard that could serve the development. Additionally, there are five pressurized irrigation boxes on the north side of the Healey Boulevard, four are shown to be used, one will be removed. There is currently no service for Lot 3, one will have to be installed and connected to the 12-inch main line that is running in Canyon Crest. The construction drawings align with previous calculations on the pressurized water system model which show 6-inch lines serving the cul-de-sacs. 1 inch laterals will be required for each lot where they are not currently installed.

Storm Water Drainage System

A storm drain design was provided. It shows catchment at the lower end of each cul-de-sac with a 60-inch pipe used as underground storage which releases at a controlled rate into the existing system in Healey Blvd. Storm drain easements are provided for the city to perform routine maintenance when needed. There are some minor redlines on the storm drain design that need to be addressed.

A storm water pollution prevention plan would be required for the site addressing best management practices that will be implemented to control erosion on the site during construction. A UPDES and Land Disturbance Permit will be required prior to construction.

General Subdivision Remarks

A bond will be required for the necessary improvements. The developer is responsible to provide a cost estimate for the improvements. We will consider this when we prepare our bond estimate.

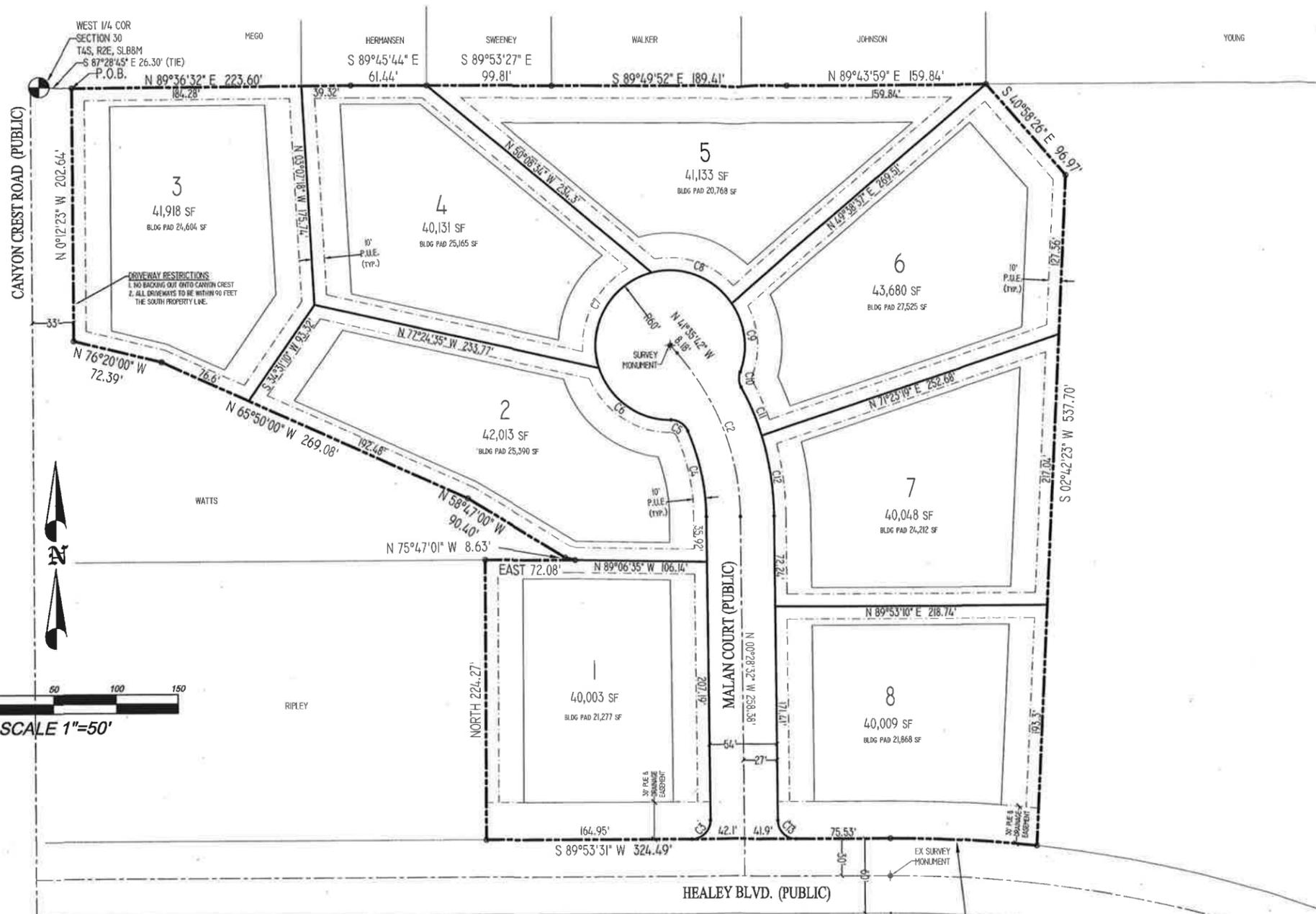
The water policy will need to be met for this development. The applicant shows they plan to use credits, which are acceptable.

We recommend that Final Approval of the proposed development be approve with the following conditions:

- **The Planning Commission recommend the driveway design for Lot 3**
- **The Developer meet the water policy**
- **The Developer acquire approvals for the Utility Notification Form**
- **The Developer address some redlines on the construction drawings and plat**
- **The Developer provides a construction cost estimate**

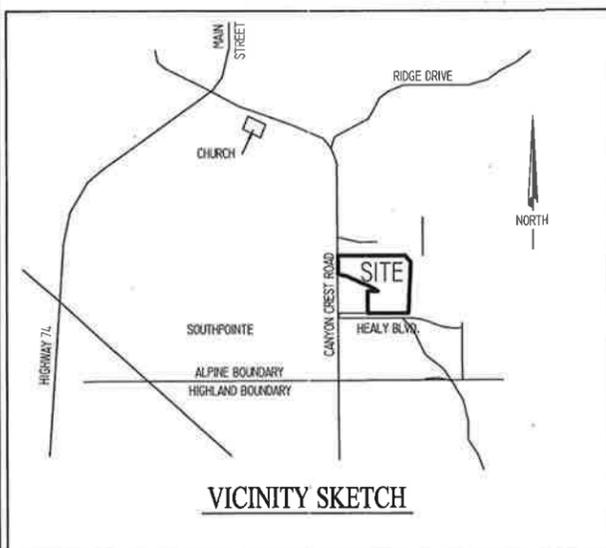
**DAVID'S COURT
PLAT "F"**

AND A VACATION OF DAVID'S COURT PLATS "A", "B" & "C"
LOCATED IN THE SW 1/4 OF SECTION 30, T4S, R2E, S.L.B.8M
ALPINE CITY, UTAH COUNTY, STATE OF UTAH



PLAT NOTES

- CURRENT ZONING: CR-40,000
- DESIGN CRITERIA FOR ELEVATION OF 5,000 FEET
- DESIGN CRITERIA FOR SNOW LOAD OF 45 LB/SF
- THE INTERNATIONAL FIRE CODE MAY REQUIRE FIRE SPRINKLERS BASED UPON THE SIZE OF HOME AND FIRE FLOW CAPACITY. A FIRE FLOW TEST MAY BE REQUIRED AT THE TIME OF BUILDING PERMIT.
- IF FIRE SPRINKLERS ARE PROPOSED THE FIRE FLOW REQUIREMENT IS REDUCED BY 50%.



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	1030.00	117.88	06°33'25"	117.81	N 86°49'46" W
C2	200.00	143.53	41°07'09"	140.47	N 21°02'07" W
C3	15.00	23.66	90°22'03"	21.28	N 44°42'29" E
C4	173.00	70.59	23°22'38"	70.10	N 12°09'51" W
C5	15.00	17.39	66°25'38"	16.43	N 57°03'59" W
C6	60.00	76.24	72°48'12"	71.21	N 53°52'42" W
C7	60.00	98.09	93°39'58"	87.52	N 29°21'23" E
C8	60.00	72.68	69°24'11"	68.32	S 69°06'33" E
C9	60.00	57.68	55°05'02"	55.49	S 06°51'57" E
C10	15.00	12.66	48°21'17"	12.29	S 03°30'04" E
C11	227.00	42.44	10°42'41"	42.38	S 22°19'22" E
C12	227.00	65.34	16°29'29"	65.11	S 08°43'17" E
C13	15.00	23.66	89°37'57"	21.15	S 45°17'31" E

ADDRESS TABLE	
LOT #	ADDRESS
1	SOUTH MALAN COURT
2	SOUTH MALAN COURT
3	SOUTH CANYON CREST ROAD
4	SOUTH MALAN COURT
5	SOUTH MALAN COURT
6	SOUTH MALAN COURT
7	SOUTH MALAN COURT
8	SOUTH MALAN COURT

APPROVAL AS TO FORM
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____
CITY ATTORNEY

RECEIVED AUG 12 2014

**DAVID'S COURT
PLAT "F"**
AND A VACATION OF DAVID'S COURT PLATS "A", "B" & "C"
LOCATED IN THE SW 1/4 OF SECTION 30, T4S, R2E, S.L.B.8M
ALPINE CITY, UTAH COUNTY, STATE OF UTAH

SCALE: 1"= 50_ FEET

SURVEYOR'S CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. _____ AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, OPEN SPACES, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE _____ SURVEYOR _____ (SEE SEAL, 86,099)

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS S 87°28'45" E FEET FROM THE WEST QUARTER CORNER OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SLB8M;
RUNNING THENCE N 89°36'32" E 223.60 FEET; THENCE S 89°45'44" E 61.44 FEET; THENCE S 89°53'27" E 99.81 FEET; THENCE S 89°49'52" E 189.41 FEET; THENCE N 89°43'59" E 159.84 FEET; THENCE S 40°58'26" E 96.97 FEET; THENCE S 02°42'23" W 537.70 FEET; THENCE ALONG THE ARC OF A NON-TANGENT 1030.00 FOOT RADIUS CURVE TO THE LEFT 117.88 FEET (CURVE HAS A CENTRAL ANGLE OF 06°33'25" AND A CHORD THAT BEARS N 86°49'46" W 117.81 FEET); THENCE S 89°53'31" W 324.49 FEET; THENCE NORTH 224.27 FEET; THENCE EAST 72.08 FEET; THENCE N 75°47'01" W 8.63 FEET; THENCE N 58°47'00" W 90.40 FEET; THENCE N 65°50'00" W 269.08 FEET; THENCE N 76°20'00" W 72.39 FEET; THENCE N 01°12'23" W 202.64 FEET TO THE POINT OF BEGINNING.
CONTAINING 16.25 ACRES OF LAND.
BASIS OF BEARINGS = STATE PLANE

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENTS THAT WE, ALL THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, OPEN SPACE, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH
ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES _____
NOTARY PUBLIC

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, OPEN SPACES, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED _____ CITY ENGINEER (SEE SEAL, 86,100) ATTEST _____ CLERK - RECORDER (SEE SEAL, 86,100)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE ALPINE CITY PLANNING COMMISSION.
DIRECTOR - SECRETARY _____ CHAIRMAN, PLANNING COMMISSION _____

ALPINE PLANNING COMMISSION AGENDA

SUBJECT: Heritage Hills Final Plat C Revisions

FOR CONSIDERATION ON: 19 August 2014

PETITIONER: Heritage Hills Inc.

ACTION REQUESTED BY PETITIONER: Approve Final Plat C Revisions

APPLICABLE STATUTE OR ORDINANCE: Article 4.6 (Major Subdivisions)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

Heritage Hills Final Plat C has already received final approval from the City Council. However, it has not been recorded yet and the developer is requesting that some minor modifications be made to the plat that adjust some lot lines but does not alter or change what was part of the final approval. More information regarding the adjustments can be seen on the following pages.

RECOMMENDED ACTION:

We recommend that the revised lot lines be recommended with the following conditions:

- The Developer meet the water policy
- The Developer provide a construction cost estimate

Memo



To: Alpine City Planning Commission
From: Jed Muhlestein, P.E. JM
Assistant City Engineer
Date: August 12, 2014
Subject: Heritage Hills Plat C – Revised Plat

As you are aware Heritage Hills Plat C has received Final Approval from the City Council. We recently received a revised plat from the developer. The only modifications made to the subdivision plan were some minor lot line adjustments which do not alter or change what was part of the final approvals. The construction drawings also remain unchanged. The adjustments can be noted as attached on the following page.

Open Space calculations went from 64.5% to 63.5%, still well within the required amount.

The Water Policy Requirements were met several years ago for this phase of Heritage Hills; the proposed changes will require a slight modification of the policy and the balance will need to be met.

A bond will be required for the necessary improvements. The developer is responsible to provide a cost estimate for the improvements. We will consider this when we prepare our bond estimate.

It is our recommendation that the revised lot lines be recommended and approved with the following conditions:

- The Developer meet the water policy
- The Developer provide a construction cost estimate

Alpine City Engineering
20 North Main • Alpine, Utah 84004
Phone/Fax: (801) 763-9862
E-mail: jed@alpinecity.org



August 14, 2014

Jason Bond, City Planner
Alpine City
20 North Main
Alpine, Utah 84004

**Subject: Heritage Hills Plat C - Water Requirement
16 lots on 40.41 acres**

Dear Jason:

We have calculated the water requirement for the Heritage Hills Plat C subdivision. The subdivision consists of 16 lots on 40.41 acres.

The developer will be required to provide 26.44 acre-feet of water to meet the water policy for the development.

Please contact me if you have any questions.

Sincerely,
ALPINE CITY

A handwritten signature in black ink, appearing to read "Jed Muhlestein", is written over a horizontal line.

Jed Muhlestein, P.E.
Assistant City Engineer

cc: File
Developer

Alpine City Engineering
20 North Main
Alpine, Utah 84004



Water Requirements
Heritage Hills Plat C
August 14, 2014

Lot	Area (sf)	Indoor Requirement (0.45 ac-ft per home)	Outdoor Requirement (1.66 ac-ft/acre)	Total (ac-ft)
301	23,302	0.45	0.89	1.34
302	48,632	0.45	1.85	2.30
303	20,877	0.45	0.80	1.25
304	27,880	0.45	1.06	1.51
305	33,801	0.45	1.29	1.74
306	43,561	0.45	1.66	2.11
307	34,865	0.45	1.33	1.78
308	30,554	0.45	1.16	1.61
309	23,749	0.45	0.91	1.36
310	25,247	0.45	0.96	1.41
311	31,841	0.45	1.21	1.66
312	39,313	0.45	1.50	1.95
313	37,787	0.45	1.44	1.89
314	32,967	0.45	1.26	1.71
315	27,243	0.45	1.04	1.49
316	23,139	0.45	0.88	1.33

Total 26.44

Jed Muhlestein, P.E.
Asistant City Engineer

POINT	NORTHING	EASTING
FP 1	776,500.79	1,924,080.72
FP 2	778,821.63	1,924,026.46
FP 3	777,834.66	1,924,030.67
FP 4	778,040.62	1,924,224.83
FP 5	778,252.84	1,924,142.07
FP 6	778,290.74	1,924,231.84
FP 7	778,367.75	1,924,314.92
FP 8	778,424.84	1,924,279.79
FP 9	778,369.94	1,924,190.57
FP 10	778,709.42	1,924,318.52
FP 11	778,911.60	1,924,183.64
FP 12	778,998.25	1,924,951.83
FP 13	778,974.93	1,923,363.59
FP 14	779,148.81	1,923,363.59
FP 15	779,125.60	1,922,778.01
FP 16	777,866.05	1,922,771.06
FP 17	777,809.50	1,922,768.40
FP 18	777,821.72	1,923,983.53

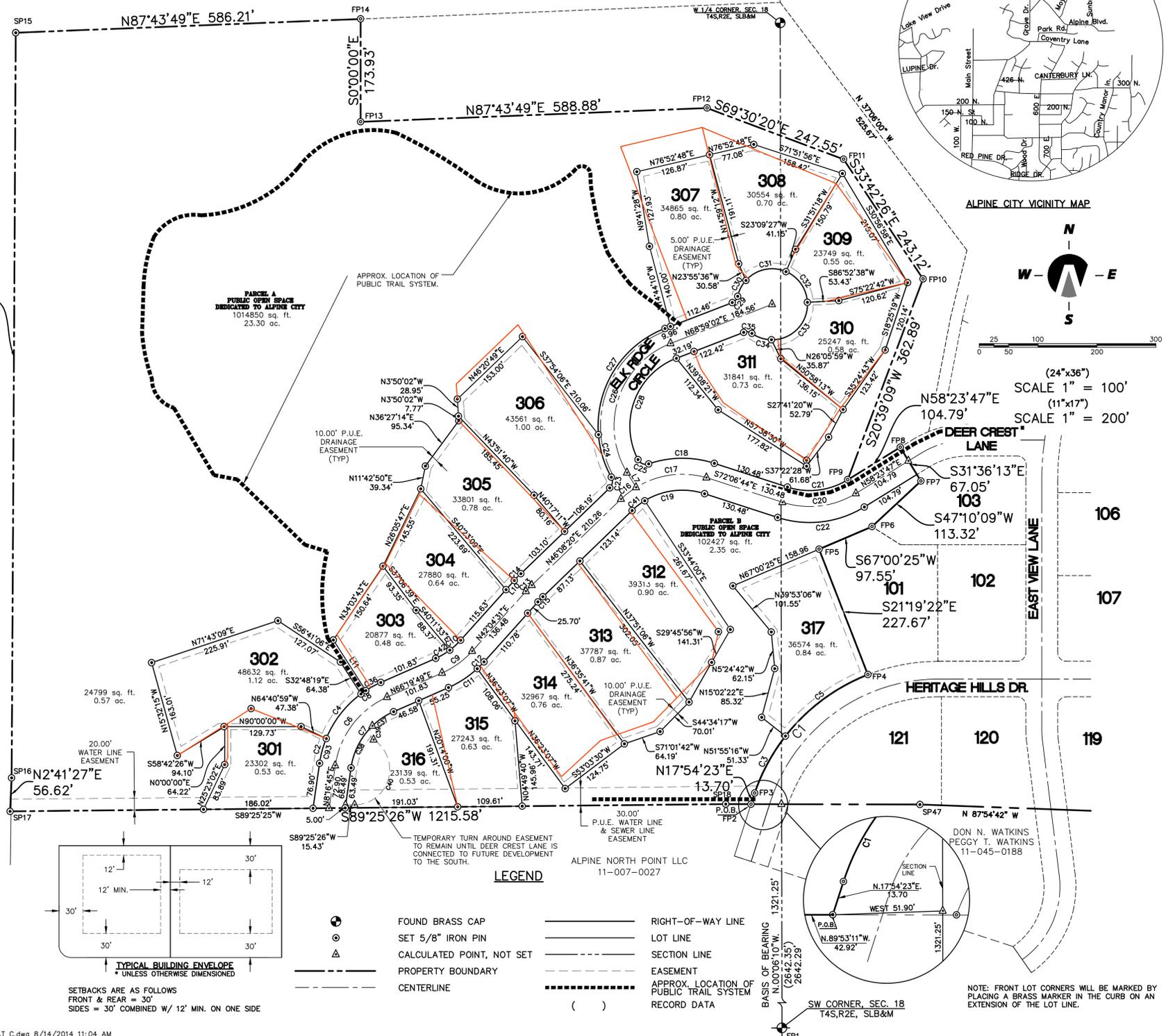
LINE	LENGTH	DIRECTION
L1	30.00'	N43°00'09"W
L2	30.00'	N23°09'27"E
L3	30.00'	N86°52'38"E
L4	30.00'	N9°04'15"W
L5	54.07'	S43°49'14"W
L6	52.79'	S27°41'20"W
L7	29.19'	N31°34'12"W

LOT NO.	ADDRESS
301	66 E. DEER CREST LANE
302	74 E. DEER CREST LANE
303	102 E. DEER CREST LANE
304	128 E. DEER CREST LANE
305	146 E. DEER CREST LANE
306	168 E. DEER CREST LANE
307	216 E. ELK RIDGE CIRCLE
308	238 E. ELK RIDGE CIRCLE
309	266 E. ELK RIDGE CIRCLE
310	293 E. ELK RIDGE CIRCLE
311	223 E. ELK RIDGE CIRCLE
312	173 E. DEER CREST LANE
313	153 E. DEER CREST LANE
314	137 E. DEER CREST LANE
315	117 E. DEER CREST LANE
316	91 E. DEER CREST LANE
317	1169 N. HERITAGE HILLS DR.
318	225 E. DEER CREST LANE
319	182 E. ELK RIDGE CIRCLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	292.63'	330.00'	283.13'	N43°18'35"E	50°48'24"
C2	43.41'	177.00'	43.31'	S15°18'21"W	14°03'12"
C3	116.32'	330.00'	115.72'	N28°00'16"E	20°11'47"
C4	96.91'	177.00'	95.70'	S38°01'03"W	31°22'11"
C5	176.30'	330.00'	174.21'	S53°24'29"W	30°36'37"
C6	151.98'	150.00'	145.56'	N37°18'17"E	58°03'04"
C7	124.62'	123.00'	119.36'	N37°18'17"E	58°03'04"
C8	10.01'	177.00'	10.01'	N55°19'19"E	31°4'21"
C9	63.50'	150.00'	63.03'	N54°12'10"E	24°15'18"
C10	24.51'	123.00'	24.47'	S47°46'59"W	11°24'57"
C11	58.52'	177.00'	58.26'	N56°51'28"E	18°56'41"
C12	16.40'	177.00'	16.40'	N44°43'49"E	51°8'37"
C13	14.19'	200.00'	14.18'	N44°06'25"E	4°03'49"
C14	16.10'	227.00'	16.10'	S44°06'25"W	4°03'49"
C15	12.27'	173.00'	12.27'	N44°06'25"E	4°03'49"
C16	32.18'	150.00'	32.12'	N52°17'04"E	12°17'28"
C17	129.48'	150.00'	125.50'	N83°09'32"E	49°27'27"
C18	113.46'	177.00'	111.53'	N89°31'23"E	36°43'45"
C19	111.07'	123.00'	107.34'	S82°01'05"W	51°44'22"
C20	129.57'	150.00'	125.58'	N83°08'31"E	49°29'29"
C21	106.25'	123.00'	102.97'	N83°08'31"E	49°29'29"
C22	152.89'	177.00'	148.18'	S83°08'31"W	49°29'29"
C23	19.70'	15.00'	18.32'	S83°03'32"W	75°15'36"
C24	75.72'	177.00'	75.14'	S16°51'57"E	24°30'39"
C25	21.35'	15.00'	19.60'	S68°03'24"E	81°34'09"
C26	263.25'	150.00'	230.74'	N18°42'25"E	100°33'14"
C27	227.35'	177.00'	212.04'	N32°11'12"E	73°35'39"
C28	206.64'	123.00'	183.18'	S20°51'21"W	96°15'22"
C29	14.65'	15.00'	14.07'	S41°00'42"W	55°56'39"
C30	30.56'	60.00'	30.23'	S27°37'50"W	29°10'55"
C31	74.28'	60.00'	69.63'	S77°41'22"W	70°56'10"
C32	66.73'	60.00'	63.34'	N34°58'57"W	63°43'10"
C33	89.58'	60.00'	87.86'	N43°56'41"E	94°08'07"
C34	35.52'	60.00'	35.00'	S72°01'47"E	33°54'56"
C35	14.65'	15.00'	14.07'	S83°02'38"E	55°56'39"
C36	29.00'	177.00'	28.97'	S61°38'09"W	9°23'19"
C37	43.45'	123.00'	43.23'	N56°12'36"E	20°14'25"
C38	81.17'	123.00'	79.71'	N27°11'05"E	37°48'39"
C39	26.92'	15.00'	23.45'	S51°9'27"E	102°49'41"
C40	153.06'	60.00'	114.81'	S16°20'34"W	146°09'43"
C41	27.05'	123.00'	27.00'	S52°26'23"W	12°36'06"
C42	27.56'	123.00'	27.50'	S59°54'38"W	12°50'21"

HERITAGE HILLS ALPINE PLAT "C"

NOV. 2013
DEVELOPER: HERITAGE HILLS INC.
CURRENT ZONE: CR-40,000



SURVEYOR'S CERTIFICATE
I, KIM WAYNE LUNDEBERG, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 354377. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS; HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION
A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 1 EAST AND THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS:
COMMENCING AT A BRASS MONUMENT MARKING THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE N.00°06'10"W. ALONG THE SECTION LINE A DISTANCE OF 1321.25 FEET AND WEST A DISTANCE OF 51.90 FEET TO THE POINT OF BEGINNING.
THENCE N.89°53'11"W. A DISTANCE OF 42.92 FEET; THENCE S.89°25'26"W. A DISTANCE OF 1215.58 FEET; THENCE N.02°41'27"E. A DISTANCE OF 56.62 FEET; THENCE N.00°18'59"E. A DISTANCE OF 1259.95 FEET; THENCE N.87°43'49"E. A DISTANCE OF 586.21 FEET; THENCE SOUTH A DISTANCE OF 173.93 FEET; THENCE N.87°43'49"E. A DISTANCE OF 588.98 FEET; THENCE S.69°30'20"E. A DISTANCE OF 247.55 FEET; THENCE S.33°42'26"E. A DISTANCE OF 243.12 FEET; THENCE S.20°39'09"W. A DISTANCE OF 362.89 FEET; THENCE N.58°23'47"E. A DISTANCE OF 104.79 FEET; THENCE S.31°36'13"E. A DISTANCE OF 67.05 FEET; THENCE S.47°10'09"W. A DISTANCE OF 113.32 FEET; THENCE S.67°00'25"W. A DISTANCE OF 97.55 FEET; THENCE S.21°19'22"E. A DISTANCE OF 227.67 FEET; TO A POINT OF CURVATURE OF A 330.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY A DISTANCE OF 292.83 FEET ALONG THE ARC OF SAID CURVE HAVING A CENTRAL ANGLE OF 80°48'24" AND A CHORD THAT BEARS S.43°18'35"W. A DISTANCE OF 283.13 FEET; THENCE S.17°54'23"W. A DISTANCE OF 13.70 FEET TO THE POINT OF BEGINNING. CONTAINING 40.41 ACRES OF LAND MORE OR LESS, CONTAINING 17 LOTS.

OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 20____.

ACKNOWLEDGMENT
STATE OF UTAH }
COUNTY OF UTAH } S.S.
ON THE _____ DAY OF _____, A.D. 20____
PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.
APPROVED _____ ATTEST _____
CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)
ACKNOWLEDGMENT
STATE OF UTAH }
COUNTY OF UTAH } S.S.
ON THE _____ DAY OF _____, A.D. 20____
PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)

PLAT "C"
HERITAGE HILLS ALPINE
LOCATED IN THE SE 1/4 OF SECTION 13, T4S, R1E, SLB&M & THE SW 1/4 OF SECTION 18, T4S, R2E, SLB&M
ALPINE CITY, UTAH COUNTY, UTAH
SCALE: 1" = 100 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL
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Northern ENGINEERING INC
ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT
1040 E. 800 N. OREM, UTAH 84097
(801) 802-8992

APPROVAL AS TO FORM:
APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 20____.
CITY ATTORNEY _____

BOARD OF HEALTH
APPROVED SUBJECT TO THE FOLLOWING CONDITIONS _____
CITY-COUNTY HEALTH DEPARTMENT _____

ROCKY MOUNTAIN POWER
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY PACIFICORP
PACIFICORP _____

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY OF ALPINE PLANNING COMMISSION.
DIRECTOR-SECRETARY _____ CHAIRMAN, PLANNING COMMISSION _____

R:\3-03-087-00 ALPINE BROWN NEW PHASE 3 FOLDER\CAD\Final\COMPACT FINAL PLAT C.dwg 8/14/2014 11:04 AM

POINT	NORTHING	EASTING
FP 1	776,500.79	1,924,080.72
FP 2	778,821.63	1,924,026.46
FP 3	777,834.66	1,924,030.67
FP 4	778,940.62	1,924,224.83
FP 5	778,252.84	1,924,142.07
FP 6	778,290.74	1,924,231.84
FP 7	778,367.75	1,924,314.92
FP 8	778,424.84	1,924,279.79
FP 9	778,369.94	1,924,190.57
FP 10	778,709.42	1,924,318.52
FP 11	778,911.60	1,924,183.64
FP 12	778,998.25	1,924,951.83
FP 13	778,974.93	1,923,363.59
FP 14	779,148.81	1,923,363.59
FP 15	779,125.60	1,922,778.01
FP 16	777,866.05	1,922,771.06
FP 17	777,809.50	1,922,768.40
FP 18	777,821.72	1,923,983.53

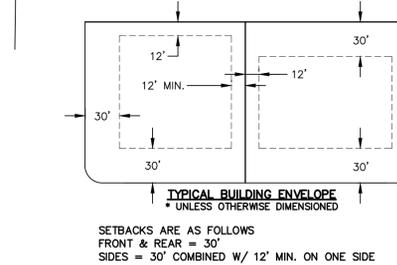
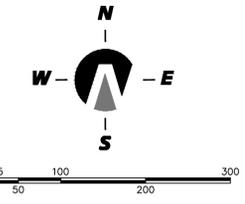
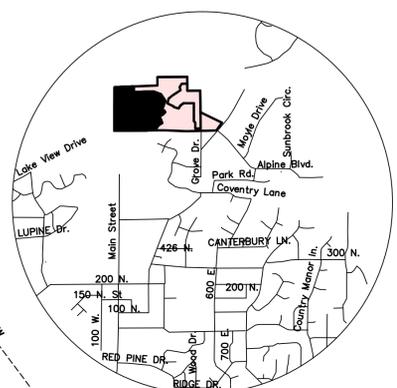
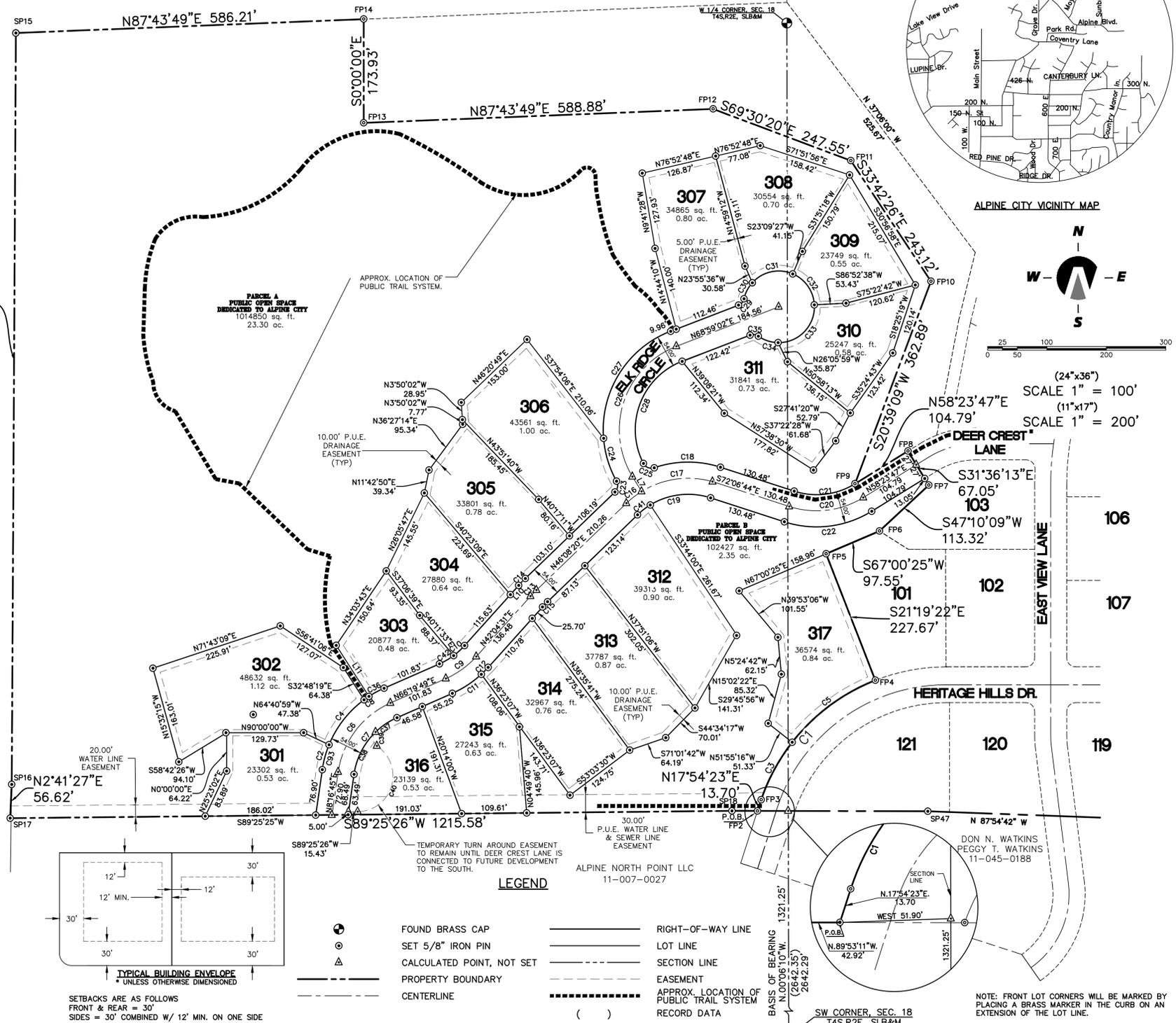
LINE	LENGTH	DIRECTION
L1	30.00'	N43°00'09"W
L2	30.00'	N23°09'27"E
L3	30.00'	N86°52'38"E
L4	30.00'	N9°04'15"W
L5	54.07'	S43°49'14"W
L6	52.79'	S27°41'20"W
L7	29.19'	N31°34'12"W

LOT NO.	ADDRESS
301	66 E. DEER CREST LANE
302	74 E. DEER CREST LANE
303	102 E. DEER CREST LANE
304	128 E. DEER CREST LANE
305	146 E. DEER CREST LANE
306	168 E. DEER CREST LANE
307	216 E. ELK RIDGE CIRCLE
308	238 E. ELK RIDGE CIRCLE
309	266 E. ELK RIDGE CIRCLE
310	293 E. ELK RIDGE CIRCLE
311	223 E. ELK RIDGE CIRCLE
312	173 E. DEER CREST LANE
313	153 E. DEER CREST LANE
314	137 E. DEER CREST LANE
315	117 E. DEER CREST LANE
316	91 E. DEER CREST LANE
317	1169 N. HERITAGE HILLS DR.

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	292.63'	330.00'	283.13'	N43°18'35"E	50°48'24"
C2	43.41'	177.00'	43.31'	S15°18'21"W	14°03'12"
C3	116.32'	330.00'	115.72'	N28°00'16"E	20°11'47"
C4	96.91'	177.00'	95.70'	S38°01'03"W	31°22'11"
C5	176.30'	330.00'	174.21'	S53°24'29"W	30°36'37"
C6	151.98'	150.00'	145.56'	N37°18'17"E	58°03'04"
C7	124.62'	123.00'	119.36'	N37°18'17"E	58°03'04"
C8	10.01'	177.00'	10.01'	N55°19'19"E	31°4'21"
C9	63.50'	150.00'	63.03'	N54°12'10"E	24°15'18"
C10	24.51'	123.00'	24.47'	S47°46'59"W	11°24'57"
C11	58.52'	177.00'	58.26'	N56°51'28"E	18°56'41"
C12	16.40'	177.00'	16.40'	N44°43'49"E	51°8'37"
C13	14.19'	200.00'	14.18'	N44°06'25"E	4°03'49"
C14	16.10'	227.00'	16.10'	S44°06'25"W	4°03'49"
C15	12.27'	173.00'	12.27'	N44°06'25"E	4°03'49"
C16	32.18'	150.00'	32.12'	N52°17'04"E	12°17'28"
C17	129.48'	150.00'	125.50'	N83°09'32"E	49°27'27"
C18	113.46'	177.00'	111.53'	N89°31'23"E	36°43'45"
C19	105.51'	123.00'	102.31'	S83°19'48"W	49°04'16"
C20	129.57'	150.00'	125.58'	N83°08'31"E	49°29'29"
C21	106.25'	327.00'	102.97'	N83°08'31"E	49°29'29"
C22	152.89'	177.00'	148.18'	S83°08'31"W	49°29'29"
C23	19.70'	15.00'	18.32'	S83°03'32"W	75°15'36"
C24	75.72'	177.00'	75.14'	S16°51'57"E	24°30'39"
C25	21.35'	15.00'	19.60'	S68°03'24"E	81°34'09"
C26	263.25'	150.00'	230.74'	N18°42'25"E	100°33'14"
C27	227.35'	177.00'	212.04'	N32°11'12"E	73°35'39"
C28	206.64'	123.00'	183.18'	S20°51'21"W	96°15'22"
C29	14.65'	15.00'	14.07'	S41°00'42"W	55°56'39"
C30	30.56'	60.00'	30.23'	S27°37'50"W	29°10'55"
C31	74.28'	60.00'	69.63'	S77°41'22"W	70°56'10"
C32	66.73'	60.00'	63.34'	N34°58'57"W	63°43'10"
C33	89.58'	60.00'	87.86'	N43°56'41"E	94°08'07"
C34	35.52'	60.00'	35.00'	S72°01'47"E	33°54'56"
C35	14.65'	15.00'	14.07'	S83°02'38"E	55°56'39"
C36	29.00'	177.00'	28.97'	S61°38'09"W	9°23'19"
C37	43.45'	123.00'	43.23'	N56°12'36"E	20°14'25"
C38	81.17'	123.00'	79.71'	N27°11'05"E	37°48'39"
C39	26.92'	15.00'	23.45'	S51°9'27"E	102°49'41"
C40	153.06'	60.00'	114.81'	S16°20'34"W	146°09'43"
C41	27.05'	123.00'	27.00'	S52°26'23"W	12°36'06"
C42	27.56'	123.00'	27.50'	S59°54'38"W	12°50'21"

HERITAGE HILLS ALPINE PLAT "C"

AUGUST 2014
 DEVELOPER: HERITAGE HILLS INC.
 CURRENT ZONE: CR-40,000



Symbol	Description
⊙	FOUND BRASS CAP
⊙	SET 5/8" IRON PIN
⊙	CALCULATED POINT, NOT SET
⊙	PROPERTY BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	SECTION LINE
---	EASEMENT
---	APPROX. LOCATION OF PUBLIC TRAIL SYSTEM RECORD DATA

LEGEND

FOUND BRASS CAP
 SET 5/8" IRON PIN
 CALCULATED POINT, NOT SET
 PROPERTY BOUNDARY
 CENTERLINE

RIGHT-OF-WAY LINE
 LOT LINE
 SECTION LINE
 EASEMENT
 APPROX. LOCATION OF PUBLIC TRAIL SYSTEM RECORD DATA

SURVEYOR'S CERTIFICATE

I, KIM WAYNE LUNDEBERG, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 354377. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS; HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE _____ KIM WAYNE LUNDEBERG, P.L.S.

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 1 EAST AND THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT A BRASS MONUMENT MARKING THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE N.0°06'10"W. ALONG THE SECTION LINE A DISTANCE OF 1321.25 FEET AND WEST A DISTANCE OF 51.90 FEET TO THE POINT OF BEGINNING.

THENCE N.89°53'11"W. A DISTANCE OF 42.92 FEET; THENCE S.89°25'26"W. A DISTANCE OF 1215.58 FEET; THENCE N.02°41'27"E. A DISTANCE OF 56.62 FEET; THENCE N.00°18'59"E. A DISTANCE OF 1259.95 FEET; THENCE N.87°43'49"E. A DISTANCE OF 586.21 FEET; THENCE SOUTH A DISTANCE OF 173.93 FEET; THENCE N.87°43'49"E. A DISTANCE OF 588.98 FEET; THENCE S.69°30'20"E. A DISTANCE OF 247.55 FEET; THENCE S.33°42'26"E. A DISTANCE OF 243.12 FEET; THENCE S.20°39'09"W. A DISTANCE OF 362.89 FEET; THENCE N.58°23'47"E. A DISTANCE OF 104.79 FEET; THENCE S.31°36'13"E. A DISTANCE OF 67.05 FEET; THENCE S.47°10'09"W. A DISTANCE OF 113.32 FEET; THENCE S.67°00'25"W. A DISTANCE OF 97.55 FEET; THENCE S.21°19'22"E. A DISTANCE OF 227.67 FEET; TO A POINT OF CURVATURE OF A 330.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY A DISTANCE OF 292.83 FEET ALONG THE ARC OF SAID CURVE HAVING A CENTRAL ANGLE OF 80°48'24" AND A CHORD THAT BEARS S.43°18'35"W. A DISTANCE OF 283.13 FEET; THENCE S.17°54'23"W. A DISTANCE OF 13.70 FEET TO THE POINT OF BEGINNING. CONTAINING 40.41 ACRES OF LAND MORE OR LESS, CONTAINING 17 LOTS.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREOF AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREOF FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 20____.

ACKNOWLEDGMENT

STATE OF UTAH }
 COUNTY OF UTAH } S.S.

ON THE _____ DAY OF _____, A.D. 20____
 PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED _____ ATTEST _____
 CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

ACKNOWLEDGMENT

STATE OF UTAH }
 COUNTY OF UTAH } S.S.

ON THE _____ DAY OF _____, A.D. 20____
 PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)

PLAT "C"
HERITAGE HILLS ALPINE
 LOCATED IN THE SE 1/4 OF SECTION 13, T4S, R1E, SLB&M & THE SW 1/4 OF SECTION 18, T4S, R2E, SLB&M

ALPINE CITY UTAH COUNTY, UTAH

SCALE: 1" = 100 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL

Northern ENGINEERING INC
 ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT

1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

APPROVAL AS TO FORM:

APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 20____.

CITY ATTORNEY _____

BOARD OF HEALTH

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS _____

CITY-COUNTY HEALTH DEPARTMENT _____

ROCKY MOUNTAIN POWER

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY PACIFICORP

PACIFICORP _____

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY OF ALPINE PLANNING COMMISSION.

DIRECTOR-SECRETARY _____ CHAIRMAN, PLANNING COMMISSION _____

R:\3-03-087-00 ALPINE BROWN\NEW PHASE 3 FOLDER\CAD\Final\FINAL PLAT C new 7-2014.dwg 8/14/2014 10:52 AM

**ALPINE CITY PLANNING COMMISSION MEETING at
Alpine City Hall, 20 North Main, Alpine, Utah
July 15, 2014**

I. GENERAL BUSINESS

A. Welcome and Roll Call: The meeting was called to order at 7:00pm by Vice-Chairman Jason Thelin. The following commission members were present and constituted a quorum.

Chairman:

Commission Members: Bryce Higbee, Steve Cospser, Jason Thelin, Chuck Castleton, Steve Swanson, Judi Pickell

Commission Members Not Present:

Staff: Rich Nelson, Jed Muhlestein, Marla Fox

Others: Annette Scott, Tyler Loong, Ken Berg

B. Prayer/Opening Comments: Judi Pickell

II. PUBLIC COMMENT

Tyler Loong said he is a tennis instructor at Creekside Park and all of his students are from Alpine. He asked if the signage could be changed to say that tennis lessons would be allowed if a court is open because there are many times when the courts are not being used. He said it was not fair to make the students wait until after ten o'clock if there were open courts earlier.

Tyler Loong also said kids should not be allowed to ride their bikes, rollerblades and skateboards on the tennis courts and asked that rules be made and enforced. He said the kids are hanging on the nets and writing on the courts and he is worried they will be ruined.

Bryce Higbee said it would be hard to enforce because if all the courts are being used for lessons, then the public is not going to ask a teacher to leave, they won't feel comfortable doing that and will go home. He said other sports are not allowed to run a business on Alpine property without approval and especially at Creekside Park. The Planning Commission discussed this issue and was split on being for and against private lessons.

III. PLANNING COMMISSION ELECTION OF CHAIR AND VICE-CHAIR

The Planning Commission will elect one of its members as Chair and a second member as Vice-Chair (Section 2.2.3.1)

Jason Thelin said he would like to see someone other than himself as the Chair or the Vice-Chair. Steve Cospser said he didn't think anyone else had the time that Jannicke Brewer had to put into the job. He said she was diligent with coming to meetings; she was up on all the ordinances and subdivisions and knew the City codes. He said he thought it was important to have a representative of the Planning Commission come to the City Council meetings.

The Planning Commission discussed different members of the board and why they thought they would be good for the position.

MOTION: Steve Cospser moved to nominate Jason Thelin to be the Planning Commission Chairman until the end of 2014.

Chuck Castleton seconded the motion. The motion was unanimous with 6 Ayes and 0 Nays. Bryce Higbee, Steve Cospser, Jason Thelin, Chuck Castleton, Steve Swanson and Judi Pickell all voted Aye.

MOTION: Chuck Castleton Nominated Judi Pickell as the Planning Commission Vice-Chairman.

Steve Cospser seconded the motion. The motion was unanimous with 6 Ayes and 0 Nays. Bryce Higbee, Steve Cospser, Jason Thelin, Chuck Castleton, Steve Swanson and Judi Pickell all voted Aye.

IV. ACTION ITEMS

A. David's Court Preliminary Plan

1 The proposed David's Court Subdivision consists of 15 lots on 16.42 acres. The lots range in size from 40,000 to
2 62,792 square feet. The development is located north of Healey Boulevard and east of Canyon Crest road. The
3 proposed development is in the CR-40,000 zone. This plan will require the vacation of David's Court Plats A, B, &
4 C to allow property lines to be adjusted to the current plan. The development is not located within any sensitive
5 lands overlay zone.

6
7 Jed Muhlestein said the new lot lines are in place and have been cleaned up since the last time this was before us due
8 to the new ordinance. Jed Muhlestein said the cul-de-sacs do meet the ordinance and meet the 450 feet restriction.
9 Stopping sight distances are required on a cul-de-sac but it is not in our ordinance to require stopping sight distances
10 for a private driveway backing out onto a street. He said while reviewing lot three and the sight distance, the
11 driveway should not be closer than 94 feet from the southern property line. Bryce Higbee said we can still require it
12 for safety reasons. Jed Muhlestein said we need to make it a requirement to build a circular driveway to prevent
13 backing out of the property. Steve Swanson said the homeowner would probably want a circular driveway to give
14 him a better opportunity to get out of the property. Bryce Higbee asked if we have any requirements for
15 landscaping. Jed Muhlestein said we have requirements for corner lots only.

16
17 Jed Muhlestein said there is already sewer coming off Healey Blvd that the subdivision will be connected to. On lot
18 three, the sewer line will have to be extended up Canyon Crest to serve that property. The water system is already on
19 Healey Blvd as well as some water meters. Lot 3 can connect to the line on Canyon Crest. Currently the
20 infrastructure can sustain homes up to 4800 square feet in size for the fire flow demand. The Fire Chief said he
21 needs 1500 gallons of water per minute because that is what the trucks can handle to fight a home fire. The fire code
22 states you need more than that to fight a home bigger than this.

23
24 Jason Thelin asked if the water pressure was better down in the area of this subdivision to allow bigger homes to be
25 built. Jed Muhlestein said the water pressure is the same and we need to have the approval of the Fire Marshall
26 because he didn't agree with the International Fire Code. Jed Muhlestein said Horrocks Engineering has based the
27 City's water model off of the International Fire Code and where it hasn't been able to be met, we have used fire
28 sprinklers; like in the wildland interface areas.

29
30 Steve Cospers asked if the water lines would have to all be change to a 10 inch line or could you feed a 10 inch line
31 off an 8 inch line. Jed Muhlestein said they could be connected but we need to talk to the Fire Marshall to see what
32 he is comfortable with. Rich Nelson said he would rather a decision be made and then work out this issue later.
33 Steve Swanson said once this is passed then this will be the new standard permanently going forward. Jason Thelin
34 said the process has always been the same but rule is that we go to the Fire Marshall for approval. Jed Muhlestein
35 said we may need to change our ordinance if the Fire Chief disagrees with the International Fire Code.

36
37 Jed Muhlestein said the water policy has to be met and if the land has been irrigated, water shares will need to be
38 used. The applicant would like to use credits instead and this is land that has been irrigated.

39
40 Jed Muhlestein said if we go against the National Standard and we get taken to court, we could be held responsible.
41 Steve Swanson said as a homeowner, he would want as much pressure as possible and didn't know why we would
42 want to do something less. Jason Thelin asked if that was a mistake on the Engineers part to put in an 8 inch pipe.
43 Jed Muhlestein said the pipe was laid many years ago and that was all that was called for at that time because
44 Horrocks Engineering based their model off of 3600 – 4800 square foot homes. Steve Swanson asked why we
45 wouldn't just change to a 10 in pipe. Jed Muhlestein the roads would all have to be torn up.

46
47 Steve Swanson asked what was written in the code. Jed Muhlestein said it is 40 PSI for all of our residents and 20
48 PSI for fire flow and this is based on the size of the home. The homes are being built larger now; most over 5000
49 square feet going up to 10,000 square feet. He said when someone comes in for a building permit you could say that
50 if a developer is building a home larger than 4800 square feet then they would be required to have fire sprinklers.

51
52 Ken Berg said the Water Model by State Standards states that the city has to provide a minimum of 40 PSI, and at
53 every fire hydrant the City should be able to provide 2000 gallons per minute at a minimum of 20 PSI throughout
54 the city. He said the State Code has not stayed up to standard with the International Fire Code. Jed Muhlestein said
55 he got a report back from Horrocks stating that the west cul-de-sac would have 2300 gallons per minute and the east
56 cul-de-sac would have 1960 gallons per minute. Ken Berg said modifications could be made to get more PSI to the

1 subdivision but they do meet State Code. Jed Muhlestein said the PSI capacity on the west cul-de-sac can handle a
 2 7700 square foot home and the east cul-de-sac can handle a 4800 square foot home. The Planning Commission had
 3 a discussion about these two cul-de-sacs and if the subdivision should be split in two to serve the different PSI
 4 capacity. They mentioned that the lots were one acre lots and most likely homes bigger than 4800 square feet will be
 5 built on them. They said if that is the case, then fire sprinklers would need to be required. Jed Muhlestein said if
 6 you put a 12 inch line in the east cul-de-sac, it would bump the square footage up to 6200. He said if you went any
 7 bigger than that, it wouldn't make a difference and you would have to lay a 12 inch pipe in Healey Blvd.

8
 9 Judi Pickell asked about lot 12 with the existing barn with a setback of 75 feet. She wanted to know if the
 10 homeowner who purchases lot 13 be notified of the setback. Ken Berg said there will be a buffer between the home
 11 and the barn that is not shown clearly on the map.

12
 13 Judi Pickell asked if the CBU mailboxes are required to be lit with a street light and if they could be moved off of
 14 Healey Blvd because it causes a traffic problem. She said her preference would be to have them be inside the cul-
 15 de-sacs. Ken Berg said the Post Office will put them where they want them. Judi Pickell asked if there could be two
 16 8 unit CBU's instead of one 16 unit. Rich Nelson said the Post Office will most likely put in one 16 unit because the
 17 carrier will only have to make one stop. Judi Pickell said Healey Blvd is a busy road and it makes more sense to put
 18 them in the cul-de-sacs. Ken Berg said he would be happy to place them there, but be prepared for the Post Office
 19 to put them where they want them.

20
 21 **MOTION:** Steve Cosper moved to recommend preliminary approval of the David's Court Subdivision with the
 22 following conditions:

- 23
- 24 1. A note be put on the plat to not allow backing out of the driveway onto Canyon Crest Drive on lot
- 25 three. A circular drive is required and it be moved to within 94 feet of the southern property line.
- 26 2. Fire Flow for homes meet the International Fire Code with final approval from the Fire Chief.
- 27 3. Water policy be met with agricultural water shares unless another agreement with the City has
- 28 been approved.
- 29 4. CBU Mailbox (Cluster Box Unit) be split in two eight units and be placed to the south side of Healey
- 30 Blvd across the street from the Malan and Austin cul-de-sacs.

31
 32 Ken Berg said the developer wants to bring this back in two phases. They want to start with lots one through eight
 33 and then bring the other cul-de-sac back at a later date. Judi Pickell said that's great because now the CBU will have
 34 to be put in as two units.

35
 36
 37 Chuck Castleton seconded the motion. The motion was unanimous and passed with 6 Ayes and 0 Nays. Bryce
 38 Higbee, Steve Cosper, Jason Thelin, Chuck Castleton, Steve Swanson, and Judi Pickell all voted Aye.

39 40 **IV. COMMUNICATIONS**

41
 42 Steve Cosper said the City Council approved the Eagle Points Subdivision Concept plan. The Planning Commission
 43 discussed the secondary access road, retaining walls, slope requirements and our PRD ordinance.

44
 45 Rich Nelson congratulated the new Chairman and Vice-Chairman.

46 47 48 **V. APPROVAL OF PLANNING COMMISSION MINUTES OF: June 17, 2014**

49
 50 **Motion:** Steve Cosper moved to approve the Planning Commission Minutes for June 3, 2014 subject to changes.

51
 52 Steve Swanson seconded the motion. The motion passed unanimously with 6 Ayes and 0 Nays. Bryce Higbee,
 53 Steve Cosper, Jason Thelin, Chuck Castleton, Steve Swanson and Judi Pickell all voted Aye.

54
 55 Jason Thelin stated that the Planning Commission had covered all of the items on the agenda and adjourned the
 56 meeting at 9:16pm.