



CITY OF OREM
PLANNING COMMISSION MEETING
56 North State Street, Orem, Utah
July 17, 2024

*This meeting may be held electronically
to allow a Commission member to participate.*

3:30 PM PRE-MEETING – AGENDA REVIEW, CITY COUNCIL CONFERENCE ROOM, 56
NORTH STATE STREET, OREM, UT

- 1 Matt Taylor - Outdoor lighting regulations discussion (15 minutes)**
- 2 Presentation by John Dorny, Traffic Engineer, regarding traffic study criteria (30 minutes)**

4:30 PM REGULAR SESSION – CITY COUNCIL CHAMBERS

1. CALL TO ORDER
2. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION
3. 4:30 PM SCHEDULED ITEMS
 - 3.1 Plat Amendment – Approving the plat amendment of Hidden Meadows Planned Dwelling Group located generally at 103 East 800 South in the R6.5 zone.**
 - 3.2 Site Plan – Approving the site plan for Orem Art Lofts located generally at 841 South State Street in the C2 zone.**
4. MINUTES REVIEW AND APPROVAL
 - 4.1 Review and Approve minutes from July 3, 2024**
5. ADJOURN

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.
If you need a special accommodation to participate in the Planning Commission Meetings and Study Sessions,
please call the Development Services Office at least 3 working days prior to the meeting.
(Voice 801-229-7183)

This agenda is also available on the City's webpage at orem.org

CURRENT OREM CITY LIGHTING REGULATIONS

Article 17-7. Subdivision Regulations and Design Standards

17-7-15. Street Lighting.

Street lighting conduits and streetlights shall be installed according to the City's Street Lighting Standards and Specifications.

Article 22-2. Definitions

22-2-1. Definitions.

For the purpose of this Chapter, certain words and terms are defined as follows:

Security Lighting shall mean a planned system of lights designed to provide adequate illumination to discourage crime within a development and enhance the safety of patrons of the development.

Article 22-6. Residential Zones

22-6-9. Regulations Governing Particular Uses.

H. Private Schools (SLU Code 6813)

"9. Lighting on a building or lighting for parking or play areas shall be shielded downward to minimize the impact and glare to neighboring residential uses. No recreational areas that are part of the private school site plan shall be lighted after 10:00 p.m. or before 7:00 a.m."

Article 22-9. Manufacturing, Research and Development and Public Facilities Zones

22-9-9. Miscellaneous Regulations for Manufacturing, Research and Development and Public Facilities Zones.

D. No excessive or offensive dust, odor, smoke, intermittent light, or noise shall be emitted which is discernible beyond the zone boundary lines, except that which emanates from the movement of

automobiles. A premise shall be maintained in such a manner as to avoid unreasonable interference with adjacent uses and to avoid public nuisances.

F. All outdoor lighting shall be designed to minimize direct glare to adjoining residences.

Article 22-8. Commercial and Professional Office Zones

22-8-10. Miscellaneous Regulations for Commercial and Professional Office Zones.

B. Maintenance of Premise. No excessive dust, offensive odor, smoke, intermittent light, or noise shall be emitted which is discernible beyond the zone boundary lines, except that which emanates from the movement of motor vehicles. Premises shall be maintained in such a manner so as to avoid unreasonable interference with adjacent uses and to avoid public nuisances.

C. Site Lighting. All lighting shall be designed to minimize direct glare to adjoining residences.

Article 22-11. PD Zone

***THREE EXAMPLES**

22-11-13. PD-1 Zone, Between Center Street and 165 South Street and between Orem Boulevard and 200 West Street.

Lighting: Freestanding lighting fixtures of at least eight feet (8') in height and not to exceed twenty feet (20') in height and producing at least one (1) foot candle of illumination shall be installed and maintained along 165 South Street and 200 West Street. These lights shall be placed along the street right-of-way lines and designed to shine away from residential developments. The lighting shall be designed to discourage graffiti and enhance a crime prevention environment and shall not glare into adjacent residential areas. Lighting in parking areas shall not glare into adjacent residential areas.z

22-11-23. PD-11 Zone, 1430 South Sandhill Road.

Lighting Plan. A lighting plan shall be required. The plan shall be designed to discourage crime, enhance the safety of the residents and guests, prevent glare onto adjacent properties and enhance the appearance and design of the project. All outside lighting shown on the lighting plan, except for front and back door lighting shall be under the control and meter of the homeowners association. The lighting plan shall designate which lighting shall be commonly metered to the association or to the owner.

22-11-63. PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road

Lighting Plan. Any development in the PD-50 zone shall include a lighting plan. There shall be no direct glare onto adjacent properties. All parking lots shall be well lit and in accordance with Appendix “XX.”

The lighting plan shall be designed to:

discourage crime;

enhance the safety of the pedestrians and guests of the PD-50 development; and

enhance the appearance and design of the project.



OUTDOOR LIGHTING

Definitions and Examples

WORK SESSION GOALS

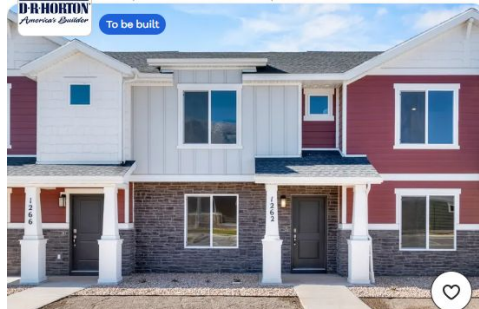
- The aim of this dialogue is to assess the breadth and depth of outdoor lighting's benefits and challenges within the Orem City community.
- Various topics will be referred to as “issues.”
- Over several meetings, the Planning Commission will formulate a recommendation to the Orem City Council.

Definitions / Common Language

- Purpose
 - A common frame of reference
 - Often a universal objective measurable standard.
 - Often an issue that is subjective and ambiguous, but through collective agreement a universal meaning is established.
 - Example: Low Income Housing

Definitions / Common Language

- Purpose
 - A common frame of reference
 - Often a universal objective measurable standard.
 - Often an issue that is subjective and ambiguous, but through collective agreement a universal meaning is established.
 - Example: Low Income Housing



Definitions / Common Language

- Purpose
 - A common frame of reference
 - Often a universal objective measurable standard.
 - Often an issue that is subjective and ambiguous, but through collective agreement a universal meaning is established.
 - Example: Low Income Housing



● House for sale
\$320,000 ↓ \$25k
3 bed 1 bath 1,560 sqft 6,970 sqft lot
146 E 400 N
Spanish Fork, UT 84660

Email Agent



● For sale
From \$329,990
3 bed 2 bath 1,311 sqft
Addison Plan, Summit Ridge Towns Community
Santaquin, UT 84655

Contact Builder



● Condo for sale
\$320,000
3 bed 2 bath 1,208 sqft 1,307 sqft lot
1249 W Cambria Way Unit 101
Pleasant Grove, UT 84062

Email Agent



● Pending
\$322,900
3 bed 2 bath 1,272 sqft
932 W Spider Green Way Unit 204
Saratoga Springs, UT 84045

Email Agent



FAMILY CITY USA

DISCUSSION ON OUTDOOR LIGHTING

Page 9 of 120

Definitions / Common Language

FY 2023 Income Limits Summary

FY 2023 Income Limit Area	Median Family Income Click for More Detail	FY 2023 Income Limit Category	Persons in Family							
			1	2	3	4	5	6	7	8
Provo- Orem, UT MSA	\$106,900	Very Low (50%) Income Limits (\$) Click for More Detail	34,700	39,650	44,600	49,550	53,550	57,500	61,450	65,450
		Extremely Low Income Limits (\$)* Click for More Detail	20,850	23,800	26,800	30,000	35,140	40,280	45,420	50,560
		Low (80%) Income Limits (\$) Click for More Detail	55,550	63,450	71,400	79,300	85,650	92,000	98,350	104,700

MFI Step by Step Calculation

1. The following are the 2021 American Community Survey 5-year median income estimate, margin of error, and sample size category for **Provo-Orem, UT MSA**:

Area	ACS ₂₀₂₁ 5-Year Median Income	ACS ₂₀₂₁ 5-Year Margin of Error	Ratio	Sample Size Category	Result
Provo-Orem, UT MSA	\$90,374	\$1,263	$\frac{\$1,263}{\$90,374} = 0.014$	6	0.014 < .5 and 6.0 >= 4 Reliable Estimate

2. Since there is a 1-year 2021 ACS estimate available, the margin of error of the estimate and the sample size category are checked for reliability:

Area	ACS ₂₀₂₁ 1-Year Median Income	ACS ₂₀₂₁ 1-Year Margin of Error	Ratio	Sample Size Category	Result
Provo-Orem, UT MSA	\$95,285	\$3,590	$\frac{\$3,590}{\$95,285} = 0.0377$	6	0.0377 < .5 and 6.0 >= 4 Use ACS₂₀₂₁ 1-Year Median Income

3. The calculation of the CPI Inflation Factor is as follows:

Area	FY2023 <u>CPI</u>	2021 Annual <u>CPI</u>	CPI Inflation Factor
Provo-Orem, UT MSA	303.948	270.971	$(303.948 / 270.971) =$ 1.1217

4. The FY 2023 median family income is estimated as follows:

Area	ACS ₂₀₂₁ 1-Year Estimate	<u>CPI</u> Inflation Factor	FY 2023 Area MFI Estimate
Provo-Orem, UT MSA	\$95,285	1.1217	$(\$95,285 * 1.1217) =$ \$106,881

5. In keeping with HUD policy, the median family income estimate is rounded to the nearest \$100:

Area	Unrounded FY 2023 MFI Estimate	Rounded FY 2023 MFI Estimate
Provo-Orem, UT MSA	\$106,881	\$106,900

Definitions / Common Language

- Purpose
 - A common frame of reference
 - Often a universal objective measurable standard.
 - Often an issue that is subjective and ambiguous, but through collective agreement a universal meaning is established.
 - Example: Glare



OR



Definition: Light Pollution

Artificially created light that is either:

- Unneeded,
- or
- Counterproductive to its intended purpose.

Simple Definition: Light Pollution

Artificially created light that is either:

- Unneeded,
- or
- Counterproductive to its intended purpose.

Simple Definition: Light Pollution

In other words:

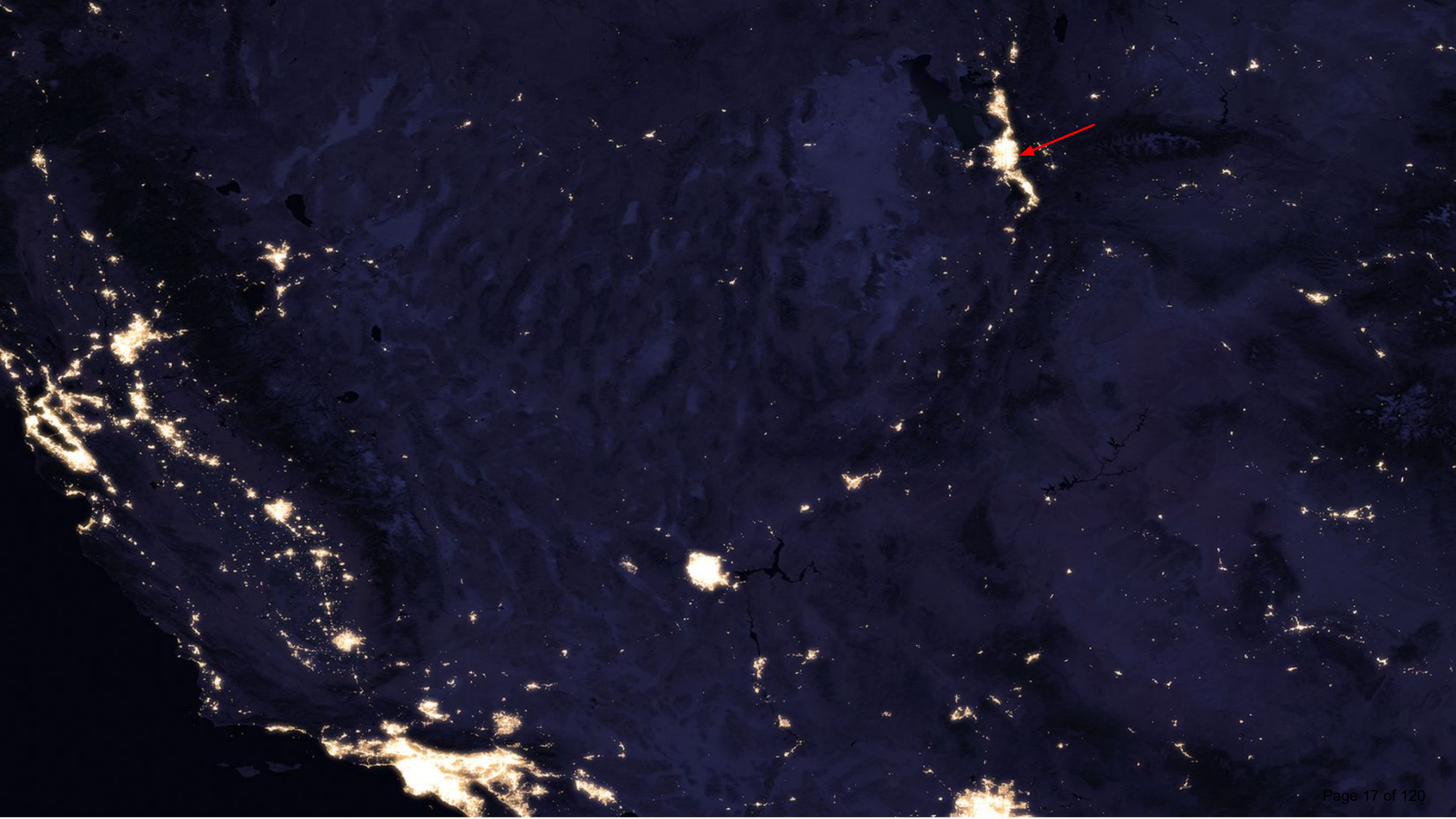
Light that isn't needed or wanted in our homes, relaxing, sleeping, while driving, relaxing, or other daily activities.

It can keep our eyes from seeing what we want to see.

It can result in wasted energy having been expended without providing real benefit, and an economic and environmental detriment







Definition: Light Trespass

The shining of light by a luminaire (light fixture + lamps [light bulbs]) beyond the boundaries of a property on which it is located.



Definition: Glare

An intense, blinding light.

The difficulty of seeing in the presence of bright light such as direct or reflected sunlight or artificial light such as car headlamps at night.



Definition: Discomfort Glare

Discomfort glare is a psychological sensation caused by high brightness (or brightness contrast) within the field of view, which does not necessarily impair vision.



Definition: Disability Glare

Disability glare impairs the vision of objects without necessarily causing discomfort often caused by the inter-reflection of light within the eyeball, reducing the contrast between task and glare source to the point where the task cannot be distinguished.



Definition: Over-illumination

The presence of lighting intensity that exceeds the levels necessary for a given activity or environment.



Definition: Color Temperature

The color of light emitted by a source, described in degrees Kelvin (K).

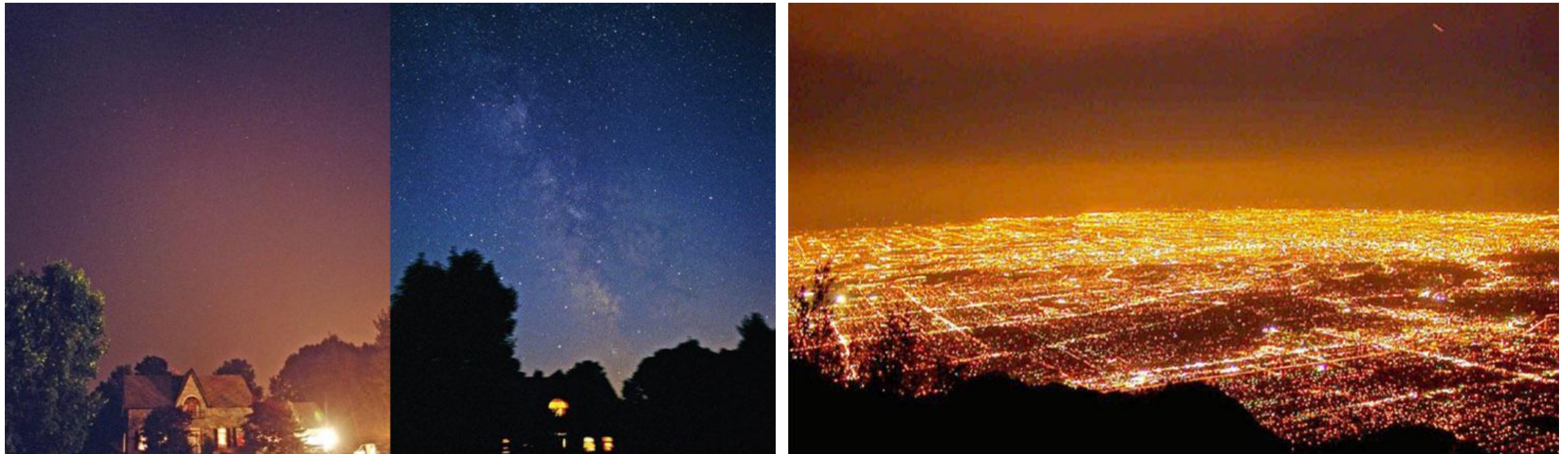
Warm Light

Blue Light



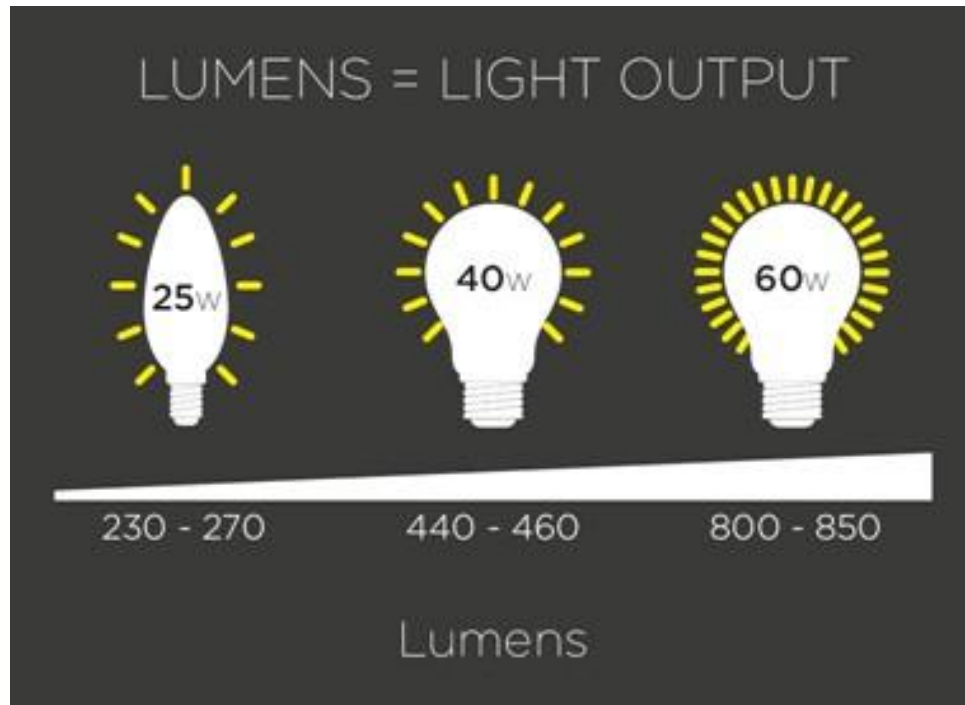
Definition: Sky Glow

The diffuse luminance of the night sky, apart from discrete light sources such as the Moon and visible individual stars. It is a commonly noticed aspect of light pollution.



Definition: Lumen (measurement)

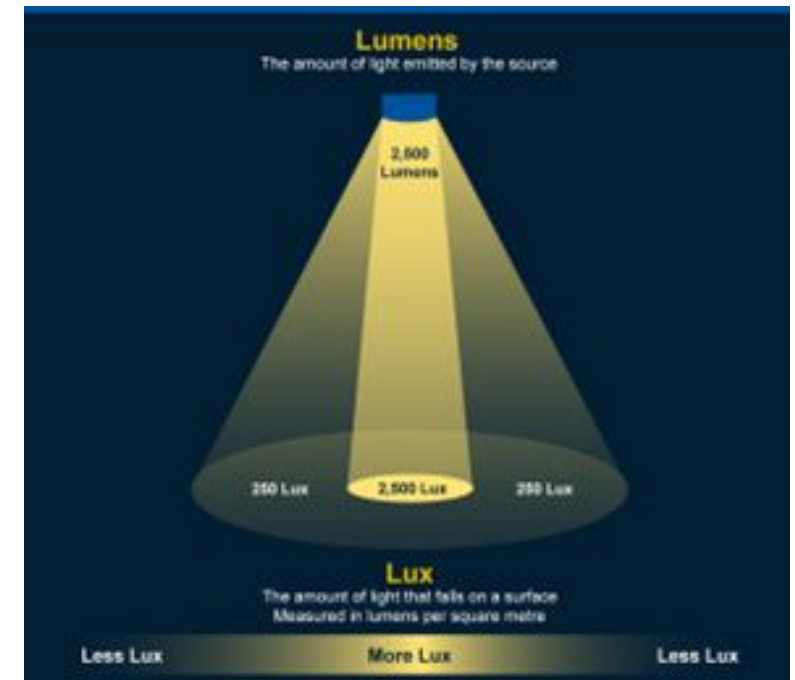
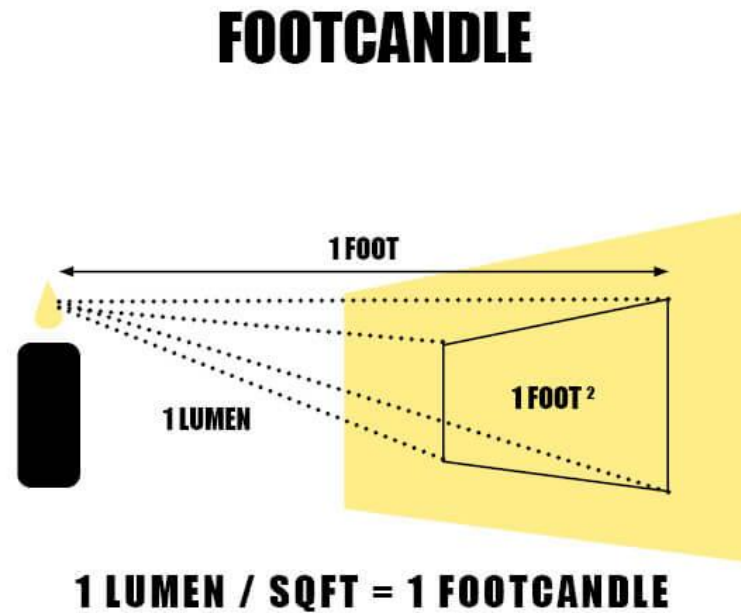
A measure how much light is given off by a source, such as a bulb.
The more lumens, the brighter the light source.



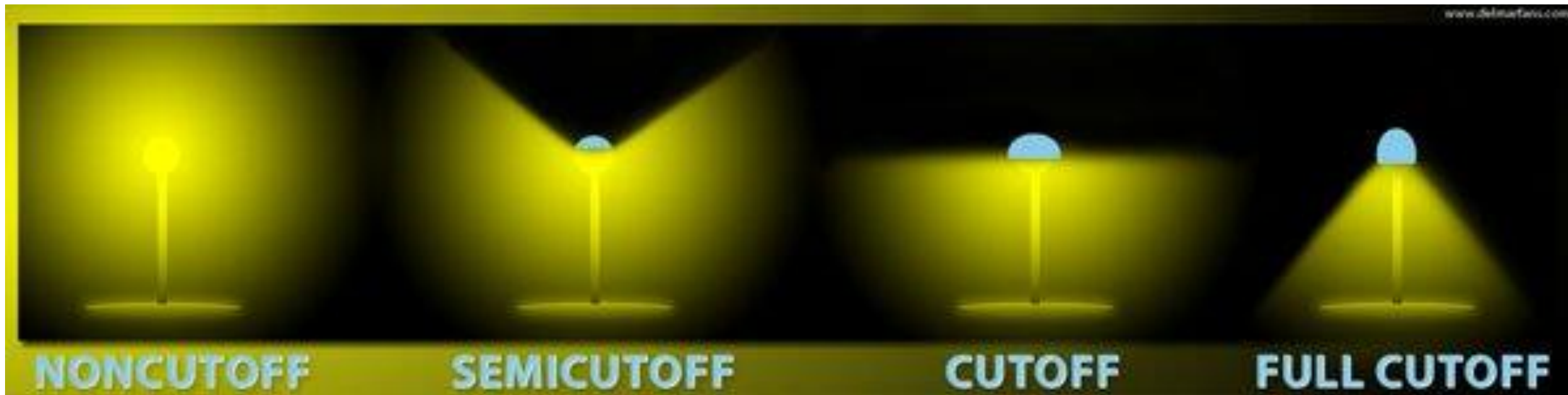
Lighting Facts Per Bulb	
Brightness	820 lumens
Estimated Yearly Energy Cost \$7.23	
Based on 3 hrs/day, 11¢/kWh	
Cost depends on rates and use	
Life	
Based on 3 hrs/day	1.4 years
Light Appearance	
Warm 2700 K Cool	
Energy Used	60 watts

Definition: Foot Candle / Lux (measurement)

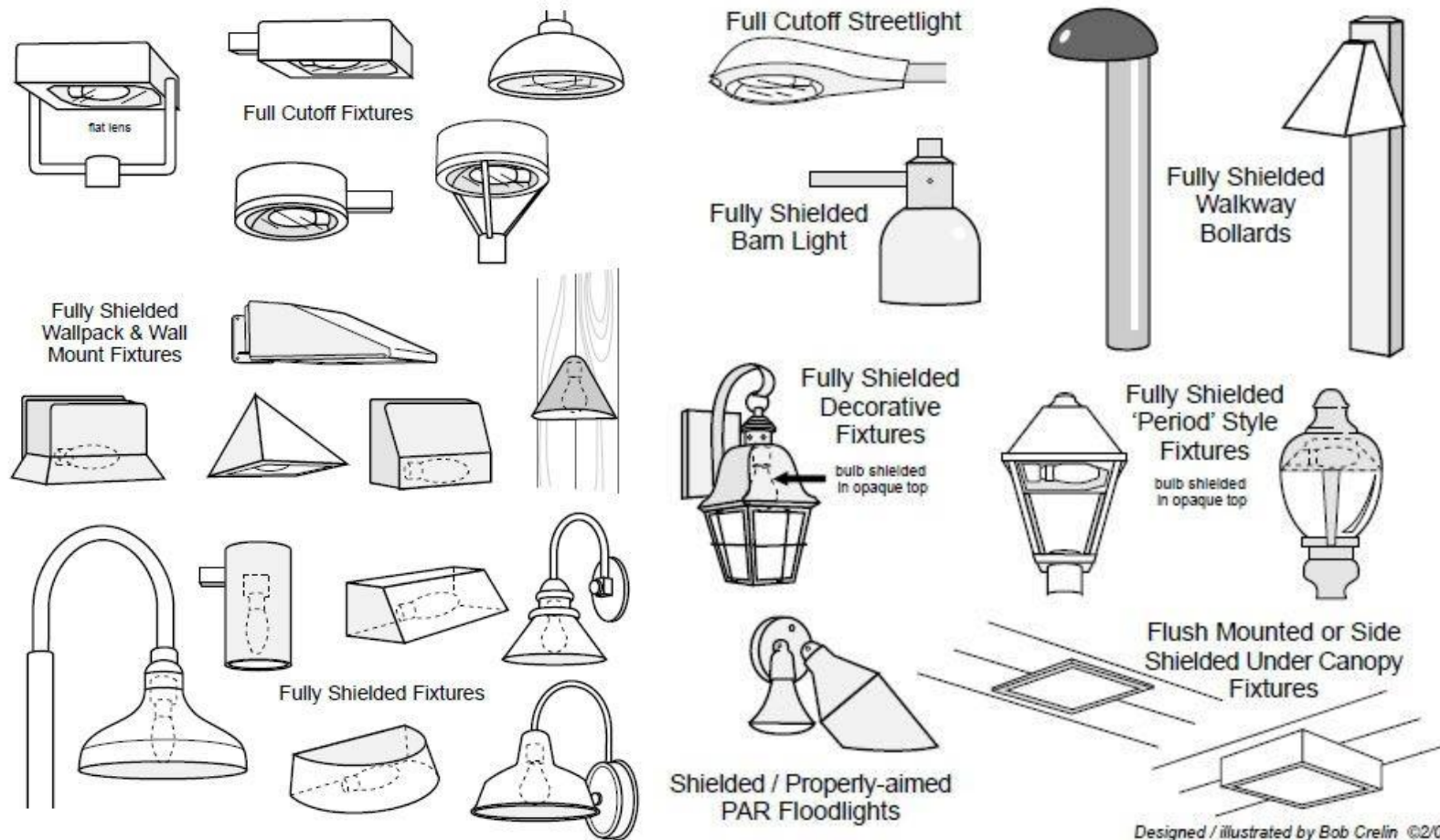
The diffuse luminance of the night sky, apart from discrete light sources such as the Moon and visible individual stars. It is a commonly noticed aspect of light pollution.



Fixture Types



Fixture Types



From The Ground Up I: Light Pollution Sources in Flagstaff, Arizona

Christian B. Luginbuhl, G. Wesley Lockwood, Donald R. Davis, Kevin Pick and Jennifer Selders



Publications of the Astronomical Society of the Pacific
Vol. 121, No. 876 (2009 February), pp. 185-203 (19 pages)

Published by:
[Astronomical Society of the Pacific](#)

We show that the adoption of the 1989 lighting code has reduced the growth of Flagstaff’s sky glow from an expected 43% without the code to just 17%, while the population has increased by about 25%. If all lighting in Flagstaff could be brought within the standards of the 1989 code, Flagstaff sky glow could be reduced to 64% of the 2003 value; if all lighting were fully shielded total output would be reduced to 47%. By far the majority of the improvement in reducing sky glow has resulted from the lumens per acre caps of the 1989 code; the shielding



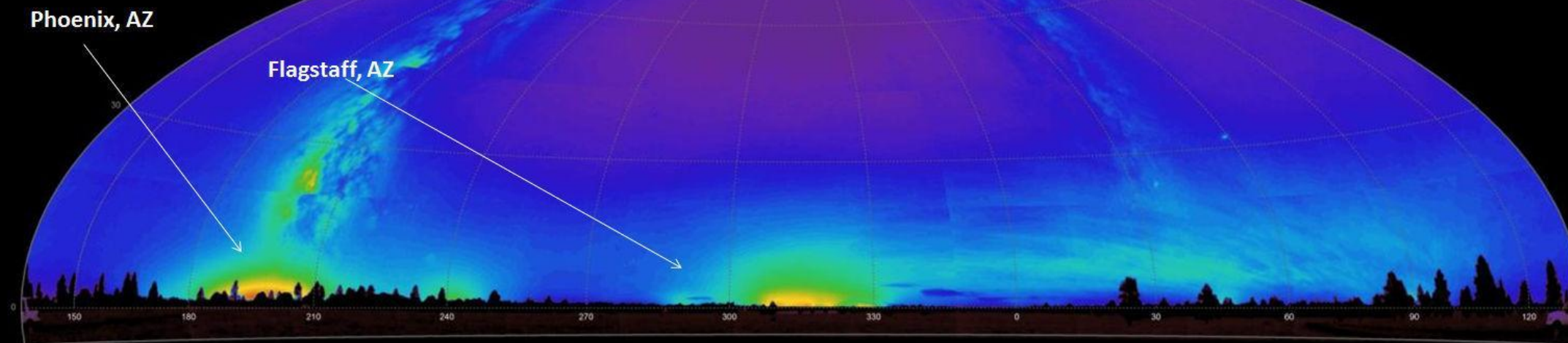
V magnitudes per square arc second

Flagstaff Population: 72,000

Ashurst Lake July 8 2016

V band sky brightness

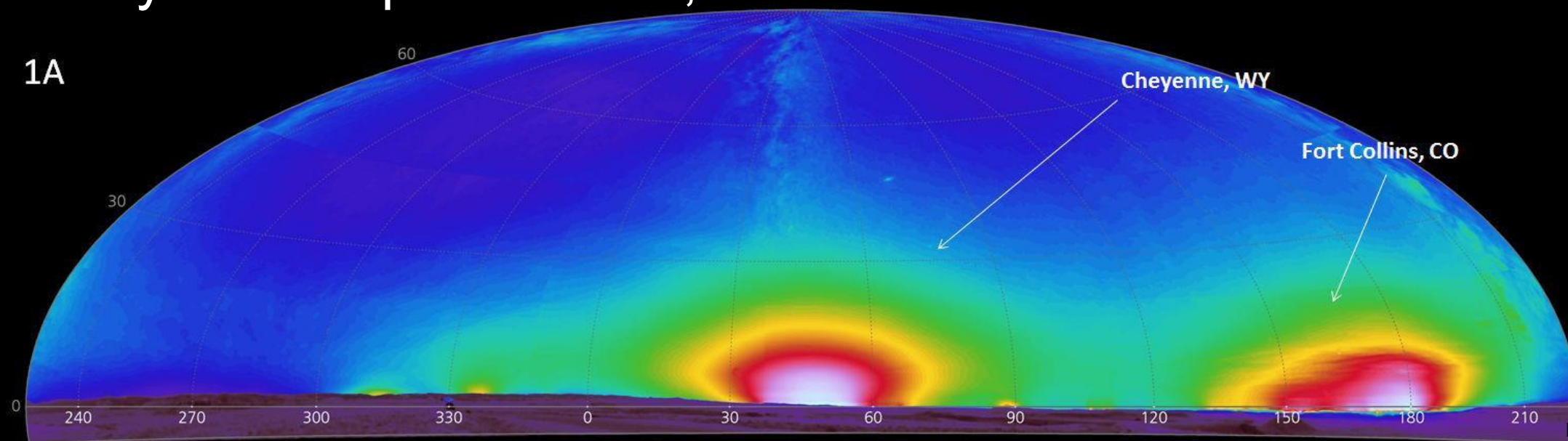
2A



Cheyenne Population: 64,000

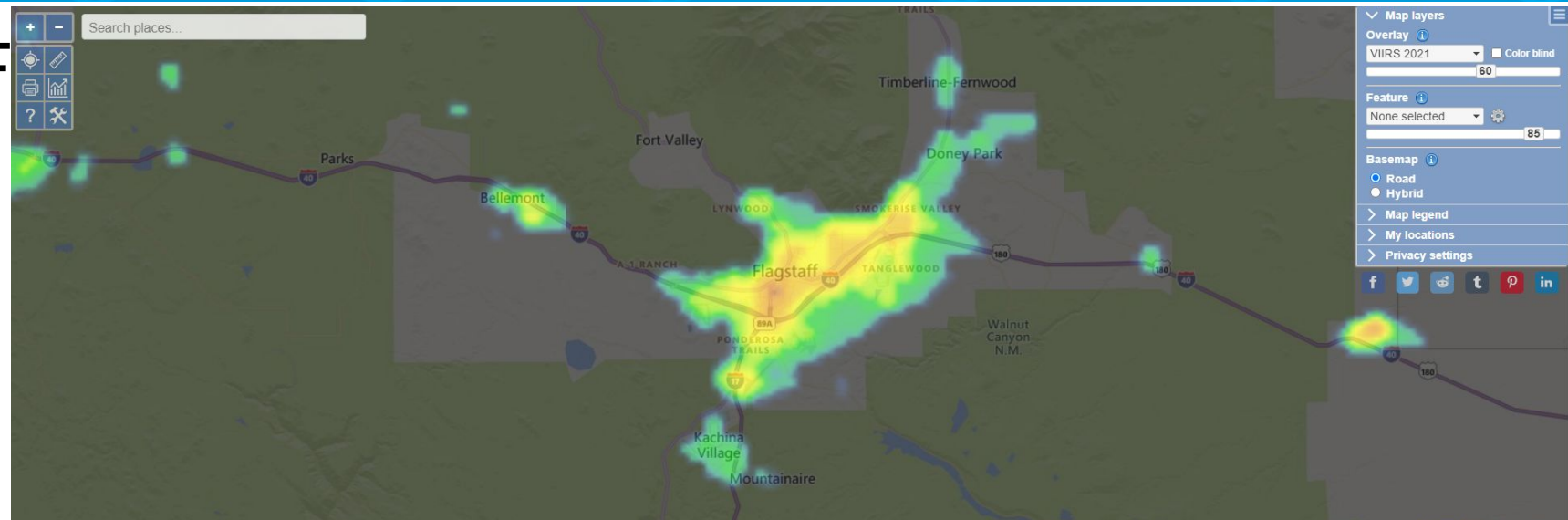
Soapstone Prairie Natural Area, Colorado August 2, 2016 23.9 hours LMT

1A



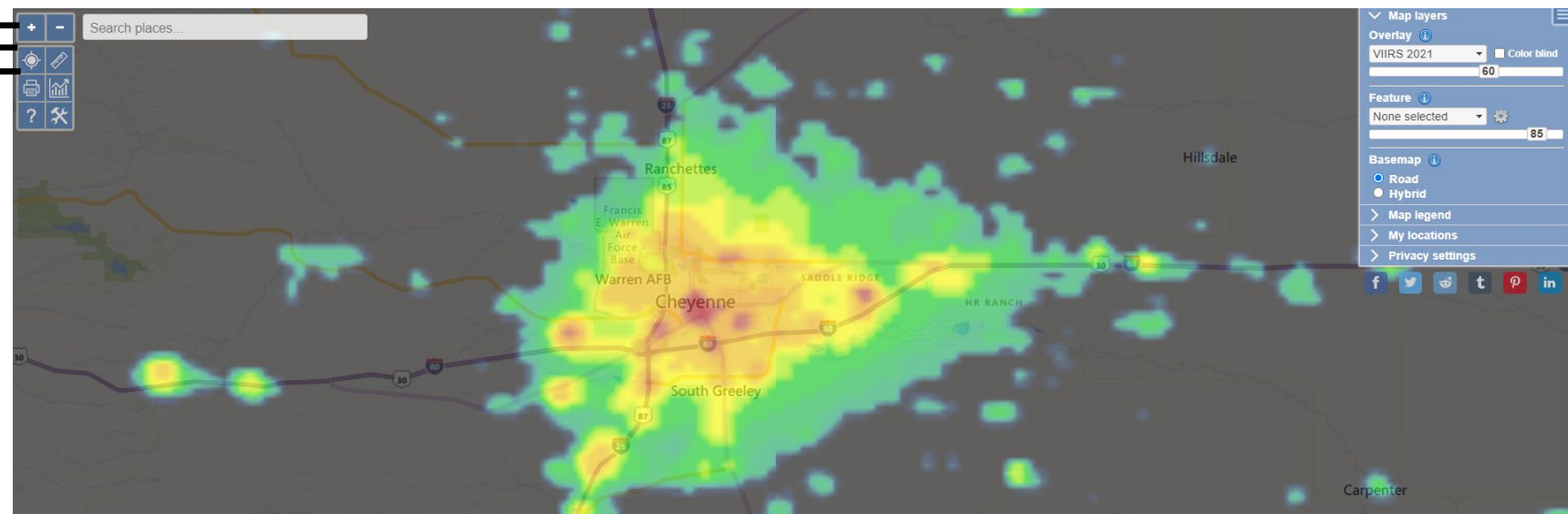
FLAGSTAFF

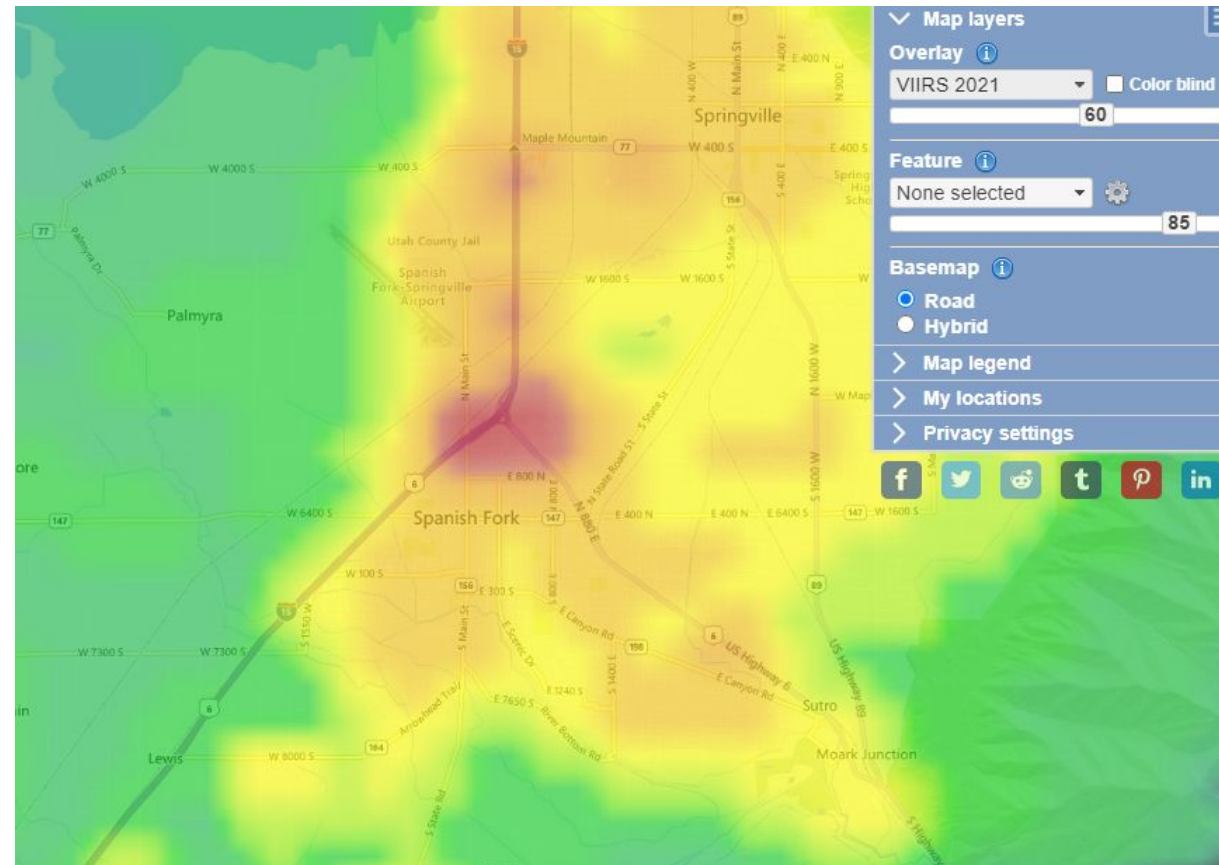
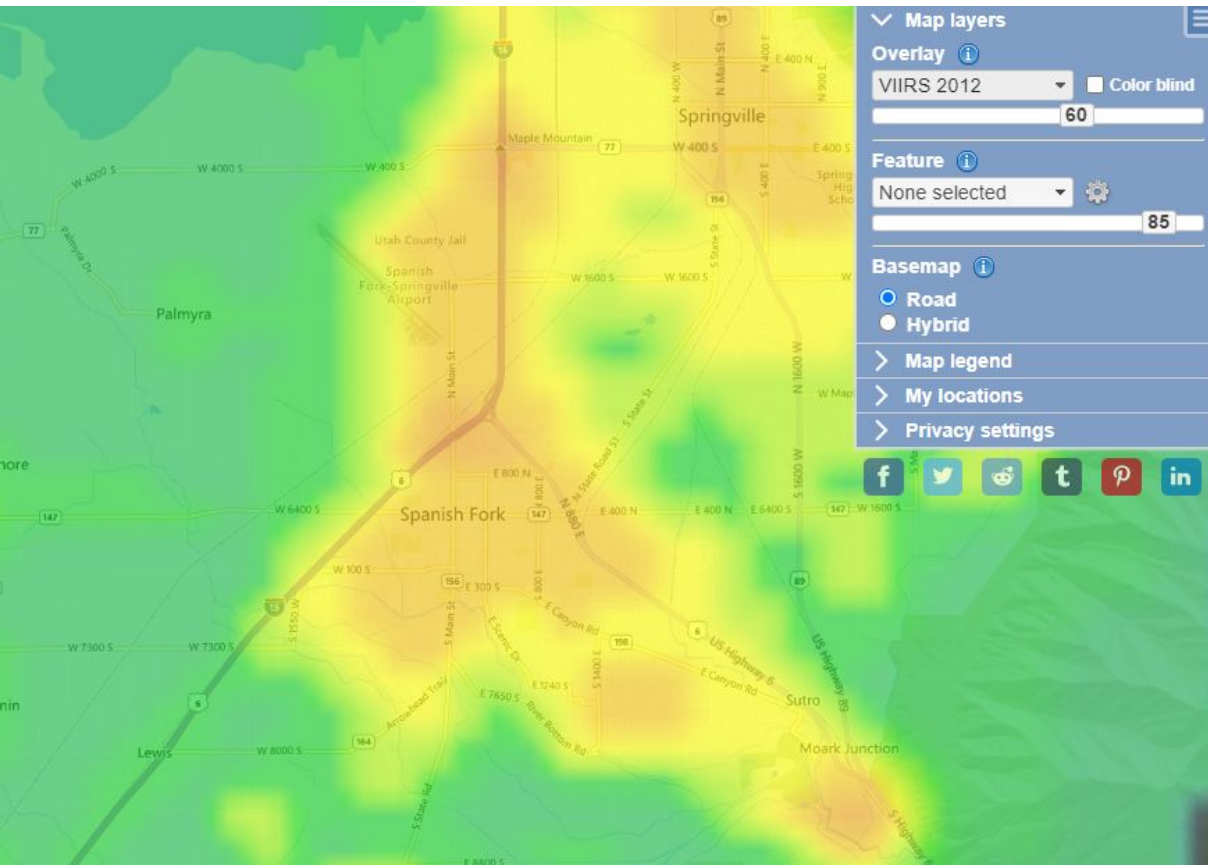
Population: 73,319



CHEYENNE

Population: 64,099





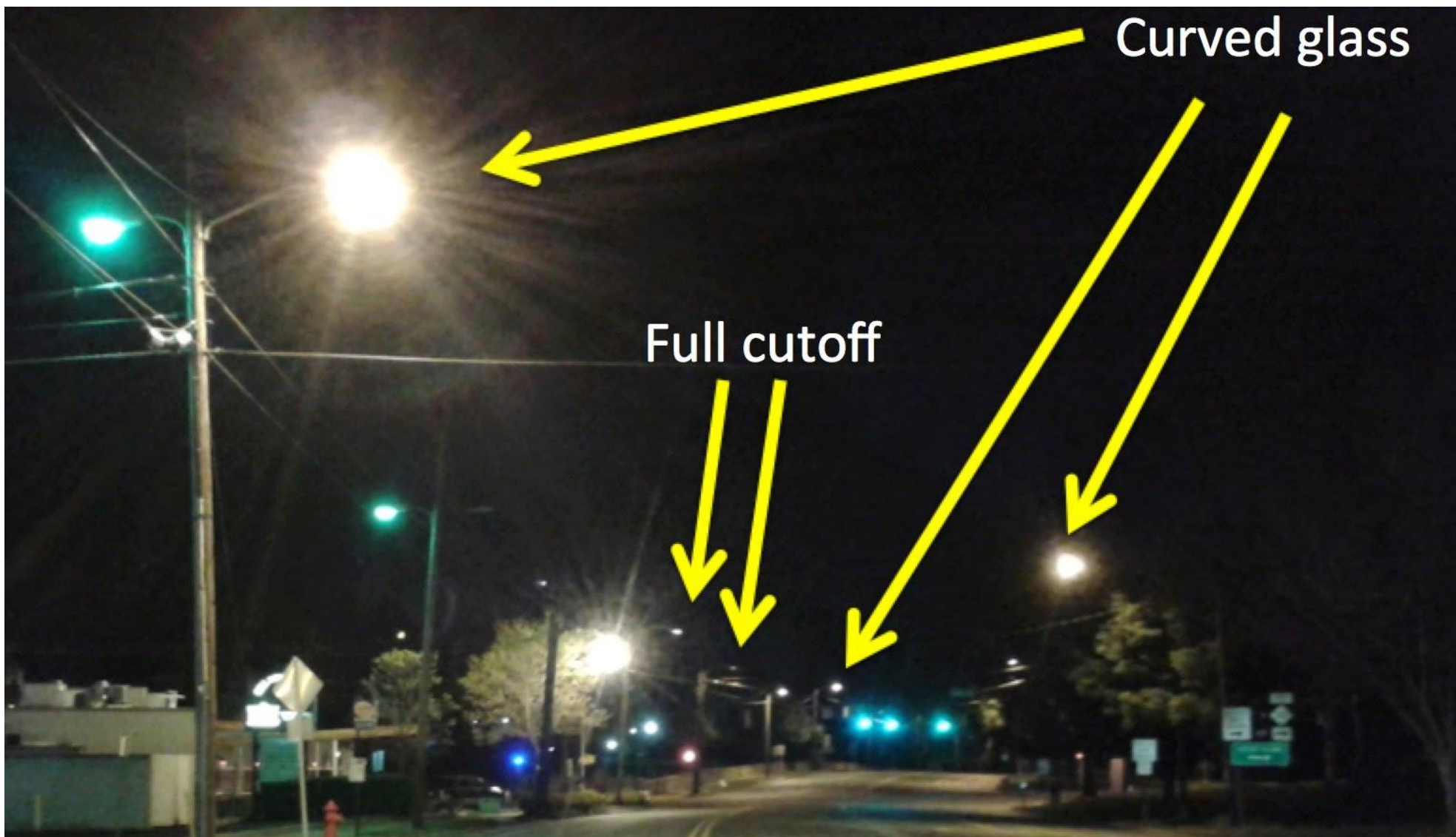
Tactics Can Address Multiple Issues/Goals

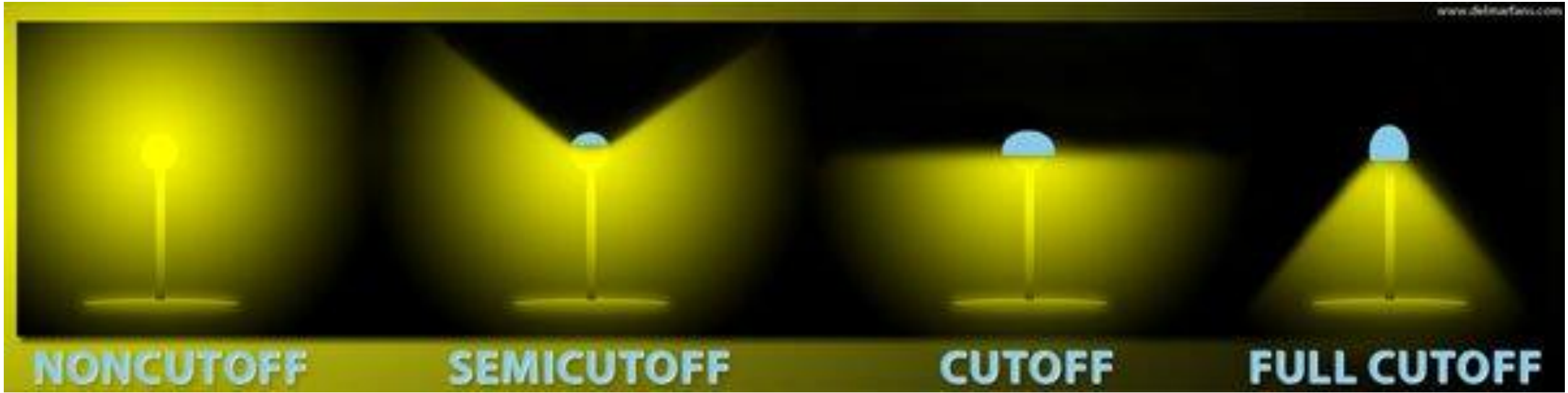
	Trespass	Glare	Health/ Safety	Energy	Skyglow
Full Cut-off Fixtures	X	X		X	X
Height Limitations	X	X	X		
Illumination Caps	X	X		X	X
Spectrum Control		X	X		
Automatic Timers				X	X
Photometric Plans	X	X	X	X	X

Full Cut-off Light Fixtures

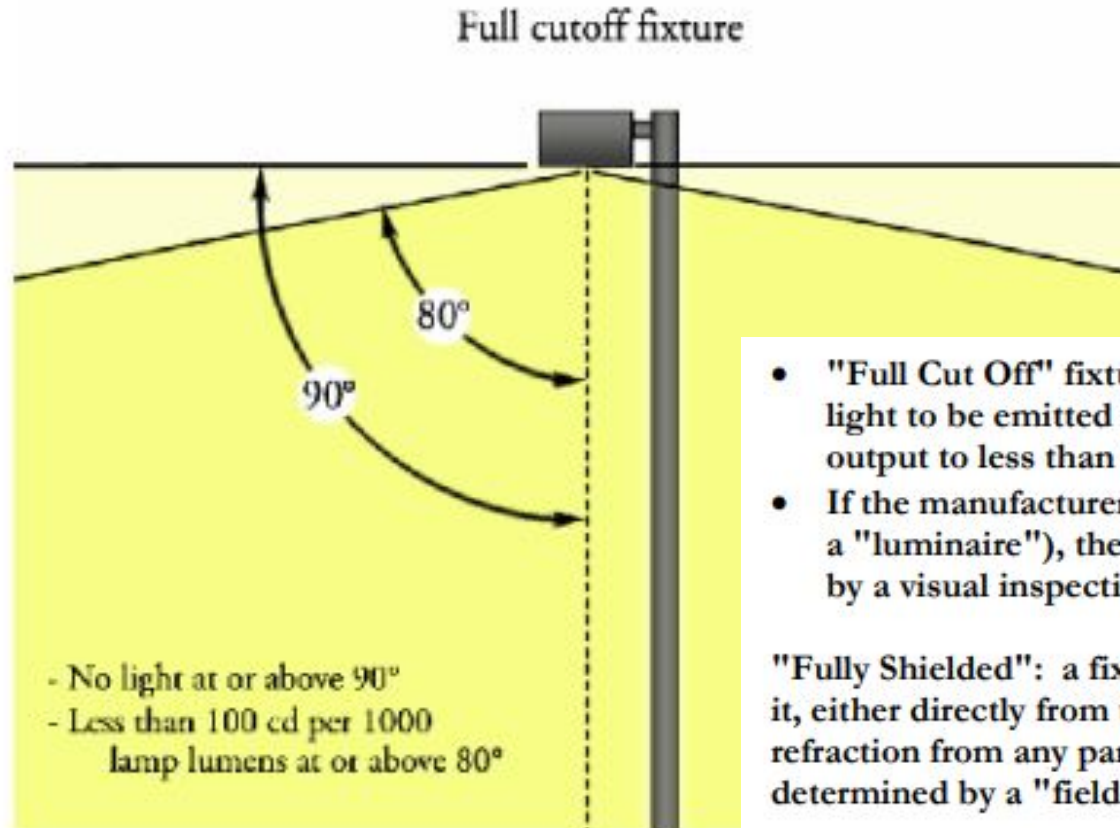






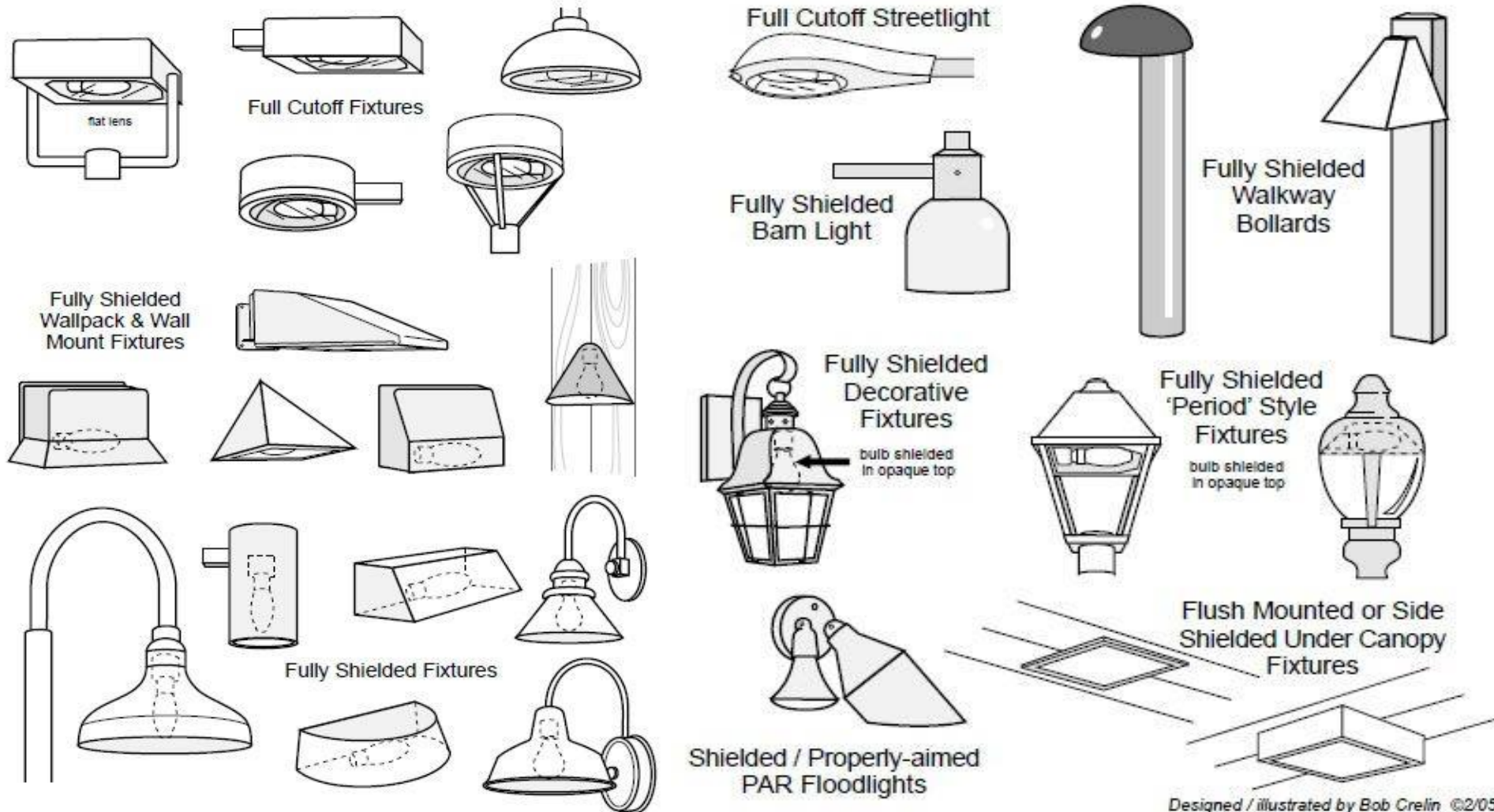


Definition of Acceptable Fixtures: "Full Cut Off", "Fully Shielded", and RLM shield.



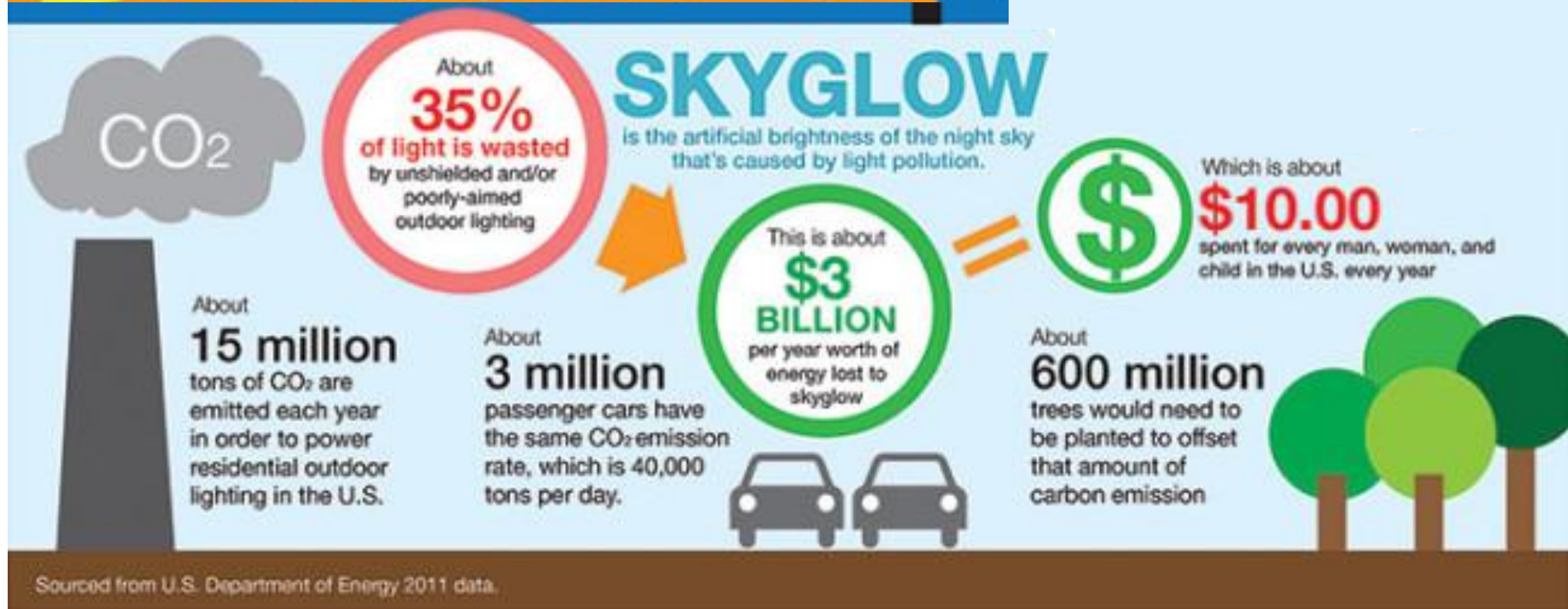
- "Full Cut Off" fixtures are independently certified by the manufacturers, and do not allow light to be emitted above the fixture and the fixture reduces glare by limiting the light output to less than 10% at and below 10 degrees below the horizontal.
- If the manufacturer is unable to provide the "cut off" characteristics for a fixture (also called a "luminaire"), the following definition needs to be met, which can usually be determined by a visual inspection:

"Fully Shielded": a fixture constructed and installed in such a manner that all light emitted by it, either directly from the lamp (bulb) or a diffusing element, or indirectly by reflection or refraction from any part of the fixture, is projected below the horizontal. This can be determined by a "field test" or a visual assessment of an operating sample.



ENERGY WASTE

What is light pollution costing us?



Tactics Can Address Multiple Issues

	Trespass	Glare	Health/ Safety	Energy	Skyglow
Require Full Cut-Off Light Fixtures	X	X	X	X	X
Establish Parking Lot Light Pole Height Limitations	X	X	X		
Cap the Maximum Illumination of a Commercial Site		X	X	X	X
Require Light Spectrum To Be Below 4000 Kelvin		X	X		
Require Non-Security Lighting To Shut Off After Business Hours		X	X	X	
Require Photometric Site Plans for all Commercial Development	X	X	X	X	X

Sources Consulted



Dark Sky Association



Illuminating Engineering Society of America



American Planning Association



Illinois Coalition of Responsible Lighting



Intermountain West Municipalities



Scores of Other Sources

Section 22-14-30

OUTDOOR LIGHTING

Lighting Standards for Non-Residential and Multi-Family Residential Properties

Regulations for multi-family residential properties and non-residential properties:

1. *Permitted Light Fixtures:* All outdoor light fixture lamps emitting more than 500 lumens (equivalent to a 45-watt incandescent bulb) shall be full cutoff, installed, and the lamp oriented according to manufacturer instructions.
2. *Height:* Light fixtures shall not exceed 18 feet in height and shall not exceed 12 feet in height within activity areas.
3. *Illumination.*
 - a. The average illumination at finished grade level shall be between 0.5 and 2.5 foot-candles.
 - b. No point on the property shall be illuminated more than 10 lumens per square foot.
 - c. Retail or industrial properties within the BP, C1, C2, C3, HS, PD, CM, M1, and M2 zones with nighttime operations shall have an average illumination at finished grade between 2 and 5 foot-candles.
 - d. At the property boundary, illumination at grade level shall not exceed 0.5 foot-candles.
 - e. Lighting shall increase its illumination by an even gradient toward activity areas, internal and street sidewalks, and driveway entrances to the site. Illumination shall maintain a uniformity ratio of 4:1 (average to minimum) in parking lots and 6:1 for other non-critical areas to ensure even distribution of light. Lighting shall be designed to avoid hotspots that reduce visual acuity.
 - f. Illumination shall increase by an even gradient toward activity areas, internal and street sidewalks, and driveway entrances. Illumination shall be designed to avoid hotspots that reduce visual acuity.
 - g. To avoid light trespass, illumination shall not exceed 0.1 foot-candle at five feet beyond the property lines not adjacent to a public street, measured five feet above grade level.
 - h. Total site illumination shall not exceed:
 - i. 75,000 lumens per net acre for properties within the BP, C1, CM, M1, M2, PD and PO zones.
 - ii. 75,000 lumens per net acre for non-residential uses within residential zones.
 - iii. 100,000 lumens per net acre for properties within the C2, C3, and HS zones.
 - iv. 100,000 lumens per net acre for retail uses within PD zones and office uses within PD zones within 400 feet of State Street and University Parkway.
4. *Spectrum:* No lamp shall exceed 4,000K and a minimum Color Rendering Index of 70 to ensure high-quality lighting.
5. *Adaptive Lighting Controls:* All lighting installations shall incorporate adaptive lighting controls, such as dimmers, timers, and motion sensors, to optimize energy efficiency and minimize light pollution.
6. *Walkways:* Pedestrian walkways shall be lighted with ground fixtures, bollards or light fixtures on poles.

E. Prohibited lighting.

The following lighting shall be prohibited:

1. Blinking, flashing, moving, revolving, flickering, changing intensity of illumination;
2. Uplighting of buildings, illumination of roofs and internal illumination of awnings;
3. Mercury vapor lights;
4. Search lights, laser source lights, or any similar high-intensity light except in emergencies as authorized by police, fire, or other emergency service personnel at their direction.
5. Any lamp or light fixture oriented or producing illumination in a manner that causes glare impeding a driver's safe operation of a vehicle, or shines at a residential window on an adjacent property with illumination exceeding five foot-candles three feet away from the wall housing the window.

F. Street lighting. Street lighting shall be governed by Section 17-7-15.

G. Lighting plan requirements.

1. *Lighting plans.* Lighting plans shall be required except for properties with single-family dwellings and existing multi-family dwellings with two units that do not jointly own common areas with other structures. The lighting plan shall include the following:

a. A site plan indicating the location of all light fixtures, both proposed and existing. The lighting plan shall include a photometric plan illustrating horizontal foot-candles with a minimum spacing of two by two feet and at five feet beyond the property line. The photometric plan shall be submitted on a 'maintained' basis one year after burn-in and state the light loss factors used in the calculation.

b. A description of each light fixture, lamp, support, shield, and mounting height for both proposed and existing lighting. The description shall include manufacturer's catalog cuts and illustrations, lighting fixture lamp types, wattages, and initial lumen outputs.

2. The lighting and photometric plan shall be prepared by a qualified lighting professional.

3. *Lamp or light fixture alteration.* Any alteration to a lamp or light fixture after a permit has been issued requires a change request submitted to the Development Review Committee. The request must include sufficient information to ensure compliance with this Section and must be received prior to making the alteration.

4. *Certification of installation.* For projects where the total initial lighting output equals or exceeds 50,000 lumens per acre, a qualified lighting professional must certify that the installed lighting conforms to the approved plans before a certificate of occupancy or business license is issued. Approval for use or issuance of a certificate of occupancy shall not be granted until this certification is submitted.

H. Definitions.

The following definitions shall apply to this Section:

"Accent architectural lighting" means lighting of building surfaces, landscape features, statues and similar items for decoration or ornamentation.

"Activity area" means walkways and open spaces, including but not limited to, where people walk or congregate, except parking lots.

"Floodlight" means a fixture or lamp designed to "flood" an area with light.

"Foot-candle" means a unit of measurement for the total amount of light cast on a surface (illumination). One foot-candle is equivalent to the illumination produced by a source of a candle at a distance of one-foot.

“Full cutoff light fixture” means a light fixture that restricts any illumination above the horizontal plane running through the lowest point where light is emitted. Minimal uplight caused by reflection from support structures is acceptable.

“Glare” means the sensation produced by a bright source within the visual field that is sufficiently brighter than the level to which eyes are adapted to cause annoyance, discomfort, or loss in visual acuity, performance and visibility. The magnitude of glare depends on such factors as size, position, brightness of the source, and on the brightness level to which the eyes are adapted.

“Hotspot” means an isolated pool of bright downlight that creates unneeded contrast resulting in seemingly dark areas immediately outside the hotspot area and may also increase glare.

“Incandescent lamp or light bulb” means an electric light with a wire filament heated to such a high temperature that it glows with visible light (incandescence).

“Illumination or illuminated” means a measurement of light expressed in foot-candles (fc) on a given surface resulting from light emitted from a lamp. One foot-candle is one lumen per square foot.

“Kelvin” means a unit of measurement used to measure the correlated color temperature (hue) of a specific light source. It is expressed in units of kelvin (K) and is available on data sheets and product packaging for most lighting sold in the United States.

“Lamp” means any self-contained light source, including incandescent, fluorescent, quartz halogen, LED, or arc type. This term may be used interchangeably with light source or light bulb.

“Light fixture” means the assembly that holds a lamp or lamps, including components designed to control light output, such as reflectors or refractors, the ballast, housing, and attachment parts.

“Light trespass” means a condition created when a lamp provides illumination beyond that allowed by this Section on any property other than the property on which the light is installed.

“Lumen” means a unit of measurement used to describe the actual amount of visible light which is produced by a lamp as specified by its manufacturer.

“Multifamily Residential Property” means a property with a multifamily dwelling structure as its primary land, including twin homes, duplexes, townhomes, and apartments.

“Net acre” means the area measured to the property lines of the parcel or lot after all deductions are made. Deductions include the area of streets and street dedications.

“Qualified lighting professional” means a person who both (a) is a professional engineer certified by the Utah State Division of Professional Licensing, and (b) has a professional certification from a legitimate, lighting-industry-recognized organization that requires recertification, current industry involvement and demonstrated knowledge in specific aspects of lighting.

“Single-Family Residential Property” means a property with a single-family dwelling structure as its primary land use as defined by Section 22-2-1.

“Skyglow” means the overhead glow from light emitted sideways and upwards.

“Spectrum.” See “Kelvin.”

“Visual acuity” means sharpness of vision, measured by the ability to discern letters or numbers at a given distance according to a fixed standard.

I. Applicability

1. Conformance Required

- a) New outdoor lighting, excluding single-family residential properties, shall comply with the regulations of this Section.

- b) Properties with joint-ownership common areas between single-family and multifamily residential properties shall comply with the regulations of this Section.

- c) If any regulation within this Section conflicts with federal or state regulations, or adopted building codes, the more restrictive provisions shall apply.

2. Modifications to Existing Structures or Land Uses

- New additions to buildings or expanded land use areas, excluding single-family residential properties, shall comply with the requirements of this Section.

3. Routine Maintenance

- a) Repairing any component of a light fixture, except the lamp, is permitted for all existing outdoor lighting fixtures.

- b) Lamps shall be replaced in accordance with the provisions of this Section. If a fixture cannot accommodate a compliant lamp, the fixture shall be replaced.

4. Lighting that Constitutes a Nuisance

- Any lighting that is prohibited by this Section constitutes a nuisance and is prohibited city-wide.

 Administrative	Planning Commission July 17, 2024	Item 3.1
	PLAT AMENDMENT – Approving the plat amendment of Hidden Meadows Planned Dwelling Group located generally at 103 East 800 South in the R6.5 zone.	Prepared By: Ailin Leon Applicant: Tayler Hendricks

NOTICES:

- Posted in 2 public places
- Posted on City webpage and City hotline
- Faxed to newspapers
- E-mailed to newspapers
- Posted at utah.gov/pmn

SITE INFORMATION:

- General Plan Designation:

Medium Density Residential

- Current Zone: **R6.5**
- Acreage: 0.29
- Neighborhood: **Stonewood**

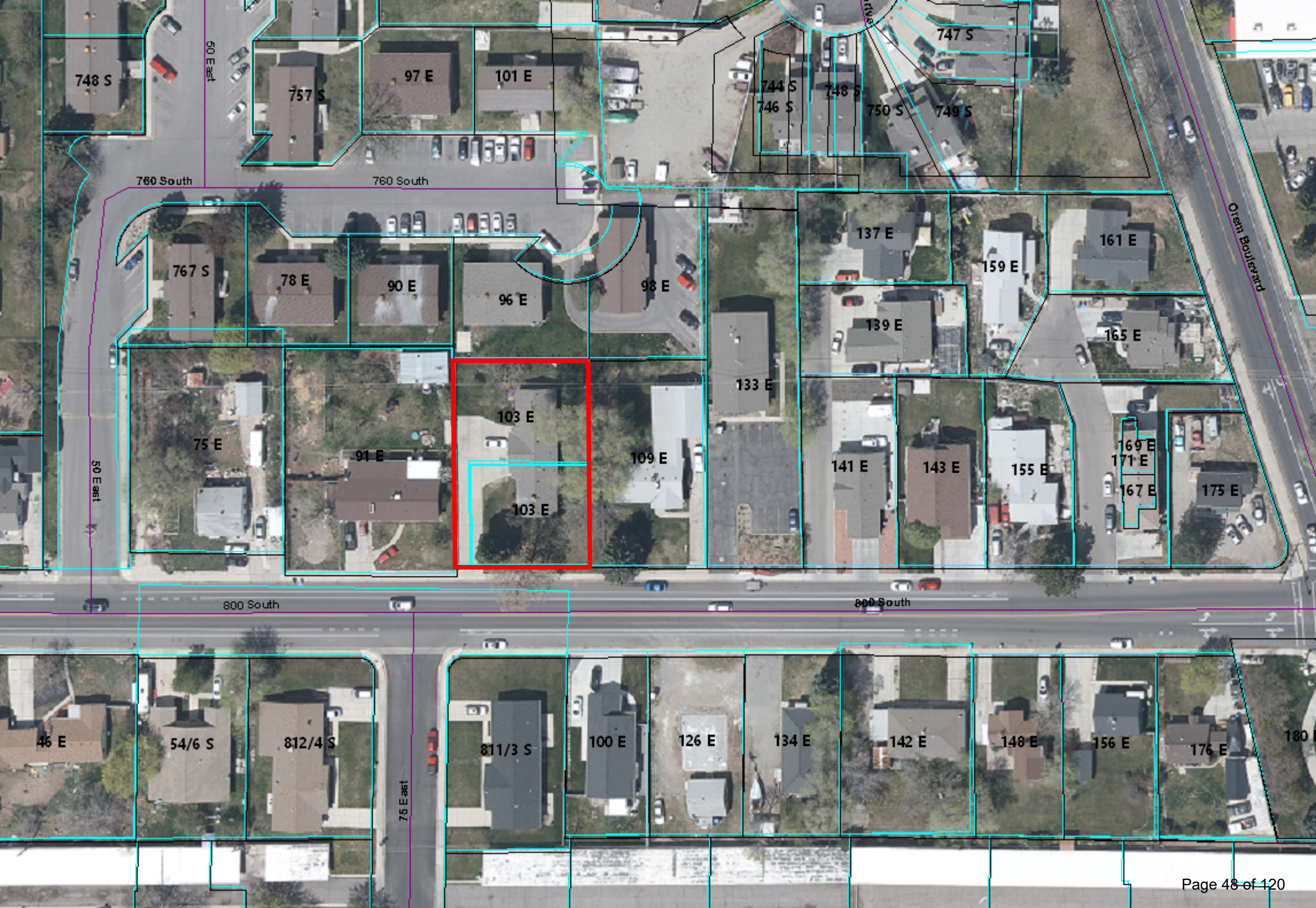
ACTION:

The Planning Commission is the final approving body for this item.

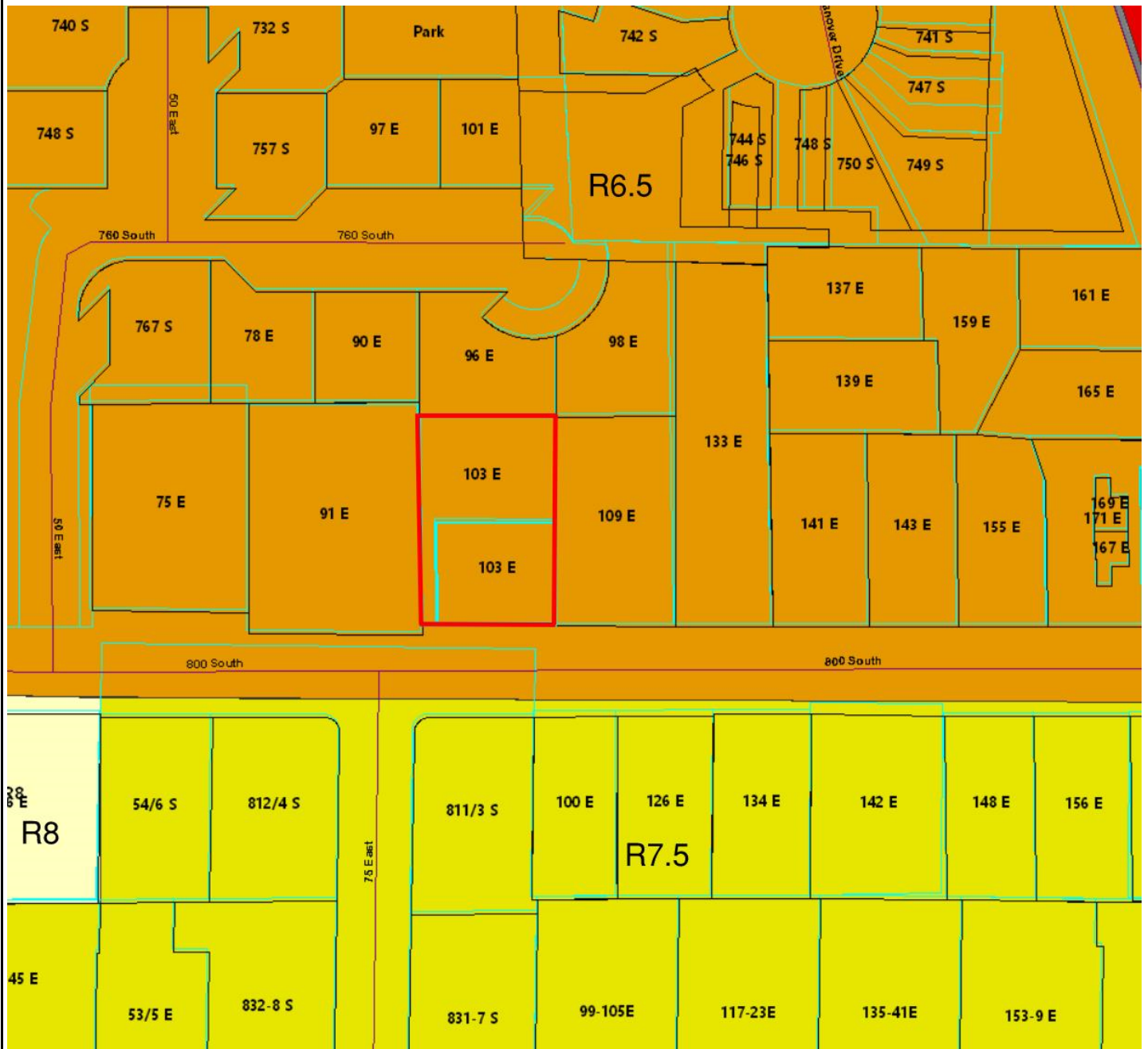
REQUEST: The applicant requests the Planning Commission approve the plat amendment of Hidden Meadows Planned Dwelling Group located generally at 103 East 800 South in the R6.5 zone .

BACKGROUND: The applicant is proposing to adjust the property line as the lot line currently runs through the middle of the garage. The structure was built in June of 1969. There will be an agreement recorded with the new plat that requires both properties to split utilities evenly if either of the properties were to be sold.

RECOMMENDATION: The Development Review Committee determined this request complies with the Orem City Code. Staff recommends the Planning Commission approve the plat amendment of Hidden Meadows Planned Dwelling Group located generally at 103 East 800 South in the R6.5 zone.



Hidden Meadows



Legend

Plat Amendment
Zone: R6.5
Acres: .29

NEIGHBORHOOD
Stonewood

 103 E 800 South
 Parcels

SURVEYOR'S CERTIFICATE

I, CLYDE R. NATOR, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 2532 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND HAVE THEREON CORRECTLY LAYED OUT, BOUND, AND DIVIDED THE SAME INTO BLOCKS, STREETS, ASSOCIATION PROPERTIES, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT EASEMENTS ARE PROVIDED FOR THE CONSTRUCTION AND USE OF THE MAIN TRUNK LINE OF THE UTILITY COMPANY OR BY HIDDEN MEADOWS HOME OWNERS' ASSOCIATION.

BOUNDARY	DESCRIPTION
----------	-------------

COMMENCING 5.90' NORTH & 298.24' EAST OF THE WEST 1/4 CORNER
OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 2 EAST,
SALT LAKE BASE & MERIDIAN; THENCE AS FOLLOWS:

[illegible]

JUNE 6, 1969
DATE

Clyde R. Naylor
SURVEYOR

OWNERS' DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREBY AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, ASSOCIATION PROPERTIES, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, WALKWAYS, AND OTHER ASSOCIATION PROPERTIES TO HIDDEN MEADOWS HOME OWNERS ASSOCIATION, A NON-PROFIT CORPORATION COMPOSED OF ALL LOT OWNERS IN THIS SUBDIVISION FOR THEIR PERPETUAL USE. ANY OF THE ROADS IN THIS PROPERTY WILL BE DEEDED TO THE CITY IN EXCHANGE FOR MAINTENANCE UPON THEIR REQUEST. THE UNDERSIGNED OWNERS OF THIS SUBDIVIDED PROPERTY ALSO HEREBY GUARANTEE THAT ALL STREETS, WALKWAYS AND OTHER COMMON AREAS SHOWN ON THE PRELIMINARY PLAN OF HIDDEN MEADOWS PLANNED DWELLING GROUP ON FILE WITH THE OREM CITY PLANNING COMMISSION WILL BE DEVELOPED AS SHOWN ON SAID PRELIMINARY PLAN AND WILL BE DEDICATED TO HIDDEN MEADOWS HOME OWNERS ASSOCIATION, A NON-PROFIT CORPORATION FOR THE PERPETUAL USE OF THE ASSOCIATION MEMBERS. OWNERSHIP OF INDIVIDUAL LOTS WITHIN THIS SUBDIVISION AND WITHIN THE TOTAL SUBDIVISION AREA SHOWN ON THE AFORESAID PRELIMINARY PLAN WILL REQUIRE LOTS OWNERS TO BELONG TO HIDDEN MEADOWS HOME OWNERS ASSOCIATION, A NON-PROFIT CORPORATION. HIDDEN MEADOWS HOME OWNERS ASSOCIATION WILL BE THE OWNER OF ALL STREETS, UTILITIES, WALKWAYS, AND OTHER COMMON AREAS WITHIN THE TOTAL PROJECT AND WILL BE RESPONSIBLE FOR MAINTENANCE OF THE SAME.

IN WITNESS WHEREOF WE HAVE SET OUR HANDS THIS 12th
DAY OF JUNE, A. D., 1969.

Elva N Pinner
John B. Pinner

ACKNOWLEDGEMENT

STATE OF UTAH }
COUNTY OF UTAH } S.S.

ON THE 12th DAY OF JUNE, A.D. 1969, PERSONALLY APPEARED
BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES 4-5-72

Clyde R. Maylor
NOTARY PUBLIC

APPROVALS
BOARD OF HEALTH

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS WATER
& SEWAGE DISPOSAL WILL BE PROVIDED BY HOOKUP TO
OREM CITY SYSTEMS

CITY - COUNTY HEALTH DEPARTMENT

OREM CITY COUNCIL APPROVA

Kingston M. Crawford
 MAYOR
 John W. Jones
 Paul A. ...
 ...
 ...

ENGINEER

I HEREBY CERTIFY THAT THE OUTSIDE BOUNDARY OF THIS SUBDIVISION MATHE-
MATICALLY CLOSES AND THAT THIS PLAT IS ACCEPTED AS SUFFICIENT.

APPROVED THIS 10th DAY OF JUNE A.D. 1969

Russell O'Brien
CITY ENGINEER

SECTION "A"

HIDDEN MEADOWS
PLANNED DWELLING GROUP

SUBDIVISION

OREM, _____ UTAH COUNTY, UTAH

SCALE: 1" = 30 FEET

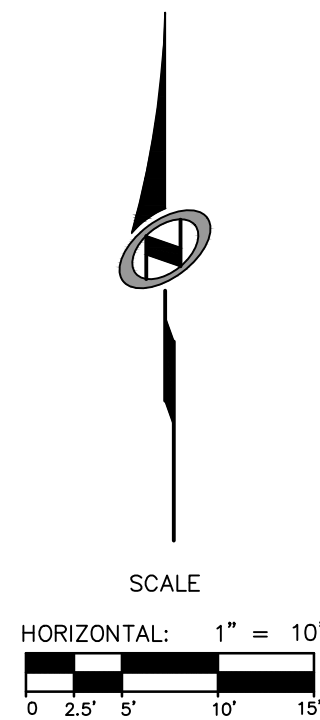
SECTION A HIDDEN MEADOWS PLANNED DWELLING GROUP
LOTS 12 AND 13 AMENDED

NORTHWEST ¼ OF SECTION 23, T 6 S. R. 2 E., SLB#M
103 E. 800 S. OREM, UTAH
APRIL, 2024

CASCADE RIDGE APARTMENTS LLC
41:027:0010
LOT 9

CASCADE RIDGE APARTMENTS LLC
41:027:0009
LOT 8
N89°45'00"E 92.28'

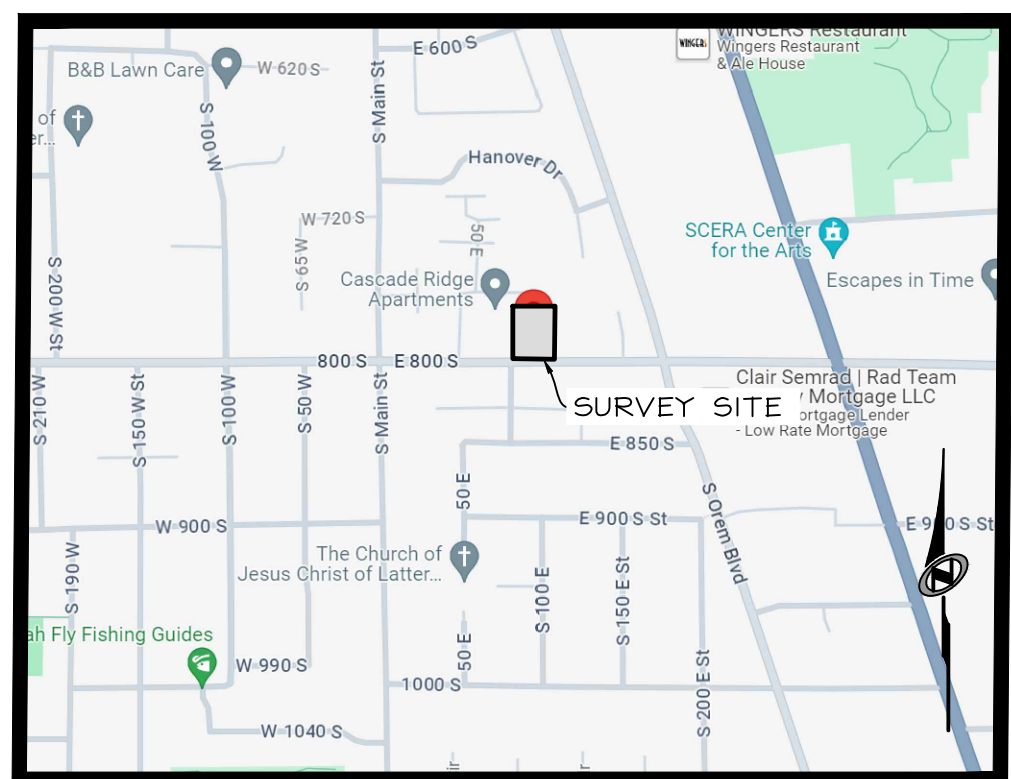
CASCADE RIDGE APARTMENTS LLC
41:027:0008
LOT 7



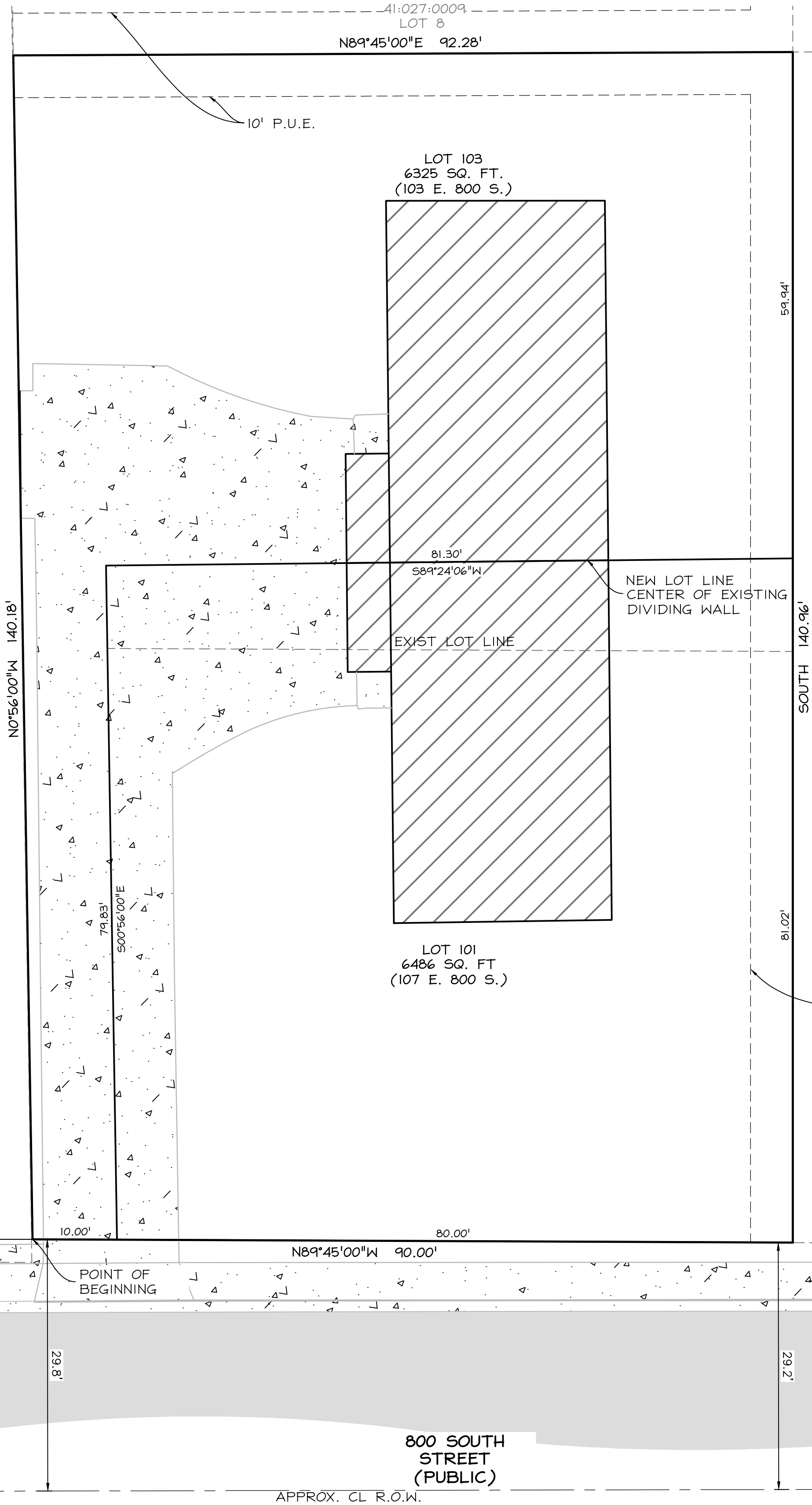
LEGEND

- BOUNDARY LINE
- ADJACENT PARCEL BOUNDARY
- PUBLIC UTILITY EASEMENT
- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING ASPHALT

RADER
18:048:0052
ENTRY:55252:2021



VICINITY MAP
N.T.S.



PLAT NOTES

DRIVEWAY NOTICE
NO DRIVEWAY OR DRIVE ACCESS SHALL BE CONSTRUCTED WITHIN TWENTY-FIVE FEET (25') OF AN EXISTING FENCE WHICH IS GREATER THAN THREE FEET (3') IN HEIGHT

PLAT VACATION NOTICE
THE CITY OF OREM IS SATISFIED THAT NEITHER THE PUBLIC NOR ANY PERSON WILL BE MATERIALLY INJURED BY THE PROPOSED VACATION OF LOT(S) 12 AND 13 - SECTION A HIDDEN MEADOWS PLANNED DWELLING GROUP SUBDIVISION, AND THAT THERE IS GOOD CAUSE FOR SAID VACATION. LOT(S) 12 AND 13, OF THE SECTION A HIDDEN MEADOWS PLANNED DWELLING GROUP SUBDIVISION ARE HEREBY VACATED.

ACKNOWLEDGEMENT

County of _____ STATE OF UTAH
On the _____ day of _____, 19____ personally appeared before me, _____
who being by me duly sworn or affirmed did say that _____ is/are the _____ of _____ and that the within owner's dedication was signed in behalf of said _____ by authority of _____ and the said _____ acknowledged to me that said _____ executed the same
MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____

EASEMENT AND DECLARATION OF SHARED
WATER/SEWER OBLIGATIONS

RECORDED ENTRY NO.

APPROVED AS TO FORM

CITY ATTORNEY

DATE:



SURVEYOR'S CERTIFICATE

I, ROBERT LAW, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 9679988, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS AND EASEMENTS, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

ALL OF LOTS 12 AND 13 - SECTION A HIDDEN MEADOWS PLANNED DWELLING GROUP. RECORDED MAP FILING NO. 789. JUNE 12, 1969 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWEST CORNER OF LOT 12, SECTION A, HIDDEN MEADOWS PLANNED DWELLING GROUP (MAP FILING NO. 789 JUNE 12, 1969); SAID POINT BEING NORTH, 6.48 FEET AND EAST, 578.93 FEET FROM THE WEST QUARTER CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN; (BASIS OF BEARING IS NORTH 00°47'08" WEST, 2659.97 FEET BETWEEN THE WEST QUARTER CORNER AND SOUTHWEST CORNER OF SAID SECTION 23; AND RUNNING THENCE ALONG THE EXISTING LOT 12 AND 13 LOT LINES FOR THE FOLLOWING FOUR (4) COURSES: NORTH 00°56'00" WEST, 140.18 FEET; THENCE NORTH 89°45'00" EAST, 92.28 FEET; THENCE SOUTH, 140.96 FEET; THENCE NORTH 89°45'00" WEST, 90.00 FEET TO THE POINT OF BEGINNING.

CONTAINS: 12,811 SQ. FT OR 0.29 ACRES MORE OR LESS
(2 LOTS)

Surveyor Name
(See Seal Below)

6/20/2024

Date:

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE DIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN THE WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 20____

ACCEPTANCE BY THE CITY OF OREM

THE CITY OF OREM, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS DAY OF _____, A.D. 20____

APPROVED _____
CITY ENGINEER
(SEE SEAL BELOW)

ATTEST _____
CITY RECORDER
(SEE SEAL BELOW)

APPROVED _____
DEVELOPMENT SERVICES DIRECTOR

PLANNING COMMISSION APPROVAL

APPROVED _____ DIRECTOR-SECRETARY APPROVED _____ PLANNING COMMISSION CHAIRPERSON

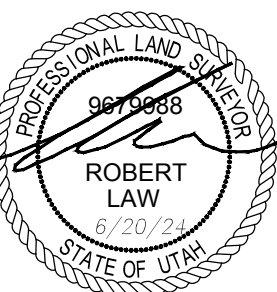
CONDITIONS OF APPROVAL

SECTION A HIDDEN MEADOWS PLANNED
DWELLING GROUP LOTS 12 AND 13
AMENDED

NORTHWEST ¼ OF SECTION 23, T 6 S. R. 2 E., SLB#M

OREM CITY, _____ UTAH COUNTY, UTAH

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-CO. ENGINEER SEAL CLERK-RECORDER SEAL



When Recorded Return To:
Tayler Hendricks
103 E 800 S
Orem, UT 84058

(Space Above for Recorder's Use Only)

EASEMENT AND DECLARATION OF SHARED WATER/SEWER OBLIGATIONS

This EASEMENT AND DECLARATION OF SHARED WATER/SEWER OBLIGATIONS (this “**Declaration**”) is made and executed as of the ____ day of _____ 2024 (the “**Effective Date**”) by TAYLER HENDRICKS, an individual (“**Declarant**”), for himself, his successors, and his assigns.

1. RECITALS

1.1. Declarant owns two units within a duplex located at 103 E 800 South in Orem, Utah.

1.2. The unit located on the north side of the duplex is referred to herein as the “**North Unit**” with the underlying real property the “**North Parcel**,” which comprises Tax Parcel 41:027:0013, legally described in Exhibit A, and depicted as Lot 12A in Exhibit C, which are both attached hereto and incorporated herein by this reference.

1.3. The unit located on the south side of the duplex is referred to herein as the “**South Unit**” with the underlying real property the “**South Parcel**,” which comprises tax parcel 41:027:0014, legally described in Exhibit B, and depicted as Lot 13A in Exhibit C, which are both attached hereto and incorporated herein by this reference.

1.4. The North Parcel and South Parcel are both currently owned by Declarant but will in the future be owned by separate owners (each an “**Owner**” or collectively the “**Owners**”).

1.5. The North Unit and South Unit share one sewer line from its connection with the city services (the “**Sewer Connection**”) to the junction where it splits to serve the respective Units (the “**Sewer Junction**”) along with an associated sewer meter (collectively, the “**Sewer Line**”).

1.6. The North Unit and South Unit share one water line from its connection with the city services (the “**Water Connection**”) to the junction where it splits to serve the respective Units (the “**Water Junction**”) along with an associated water meter (collectively, the “**Water Line**”).

1.7. The Sewer Connection and the Water Connection are collectively the “**Connections**”; the Sewer Junction and the Water Junction are collectively the “**Junctions**”; and the Sewer Line and the Water Line are collectively the “**Service Lines**.”

1.8. The portions of water and sewer lines beyond the Junctions between the Junctions and the points of use inside the respective units are hereinafter referred to as the “**Individual Service Lines**” and are not subject to the terms, conditions, and obligations in this Declaration.

1.9. Declarant desires that all current and future owners of the North Parcel and the South Parcel share equally in the use and the cost of the Service Lines pursuant to the terms of this Declaration.

1.10. The Service Lines traverse the South Parcel before entering the North Parcel.

1.11. Declarant desires to establish an easement and right of way (the “**Easement**”) for the benefit of the North Parcel across the South Parcel which extends ten (10) feet on either side of the Sewer Line and ten (10) feet on either side of the Water Line (the “**Easement Premises**”) pursuant to the terms and conditions of this Declaration.

1.12. The Easement and shared water/sewer obligations in this Declaration and its Exhibits hereto shall be enforceable equitable servitudes, shall run with the land, and shall be created and exist whether or not the North Parcel and South Parcel are under common ownership. This Declaration shall be binding on all future owners of the North Parcel and the South Parcel.

2. EASEMENT.

2.1. Declaration of Easement. Declarant does hereby declare, grant, establish, impose, and create, across the South Parcel for the benefit of North Parcel, a perpetual, nonexclusive Easement and right-of-way on over, under, across, and through the Easement Premises for the limited purpose of accessing, operating, maintaining, repairing, or replacing the Service Lines.

2.2. Common Right of Use. Each Owner is hereby granted and shall hold the right in common to use the Service Lines to serve the respective dwellings units of each such parcel.

3. SHARED SEWER/WATER OBLIGATIONS

3.1. Operation, Maintenance, and Repair. Unless otherwise agreed to by the Parties in writing, and subject to the North Parcel Owner’s right to reimbursement of the South Parcel Owner’s pro rata share of operation, maintenance, repair, and replacement costs, the North Parcel Owner shall have primary responsibility for the operation, maintenance, repair, and replacement of the Service Lines including:

3.1.1. Maintaining the Service Line utility account(s), connection(s), and meter(s) in the name of the North Parcel Owner;

3.1.2. Providing routine inspection, service, and ordinary maintenance to ensure continued safe and reliable operation of the well and water;

3.1.3. Arranging for necessary extraordinary repairs. Extraordinary repairs include, but are not limited to replacing significant system components due to wear, obsolescence, incrustation or corrosion, repairing or replacing any meter(s), connections, lines or any portion of the Service Lines;

3.1.4. Timely payment of all power bills and invoices for routine service, and ordinary maintenance and repairs (“**Ordinary Costs**”) and promptly providing the South Parcel Owner with copies of the same as they are received.

3.1.5. Coordinating with the South Parcel Owner the timely payment by the Owners of costs associated with extraordinary repairs (“**Extraordinary Costs**” together with Ordinary Costs, “**Costs**”).

3.2. Owner Rights. During any time that the North Parcel Owner is unable or unwilling to perform the above-responsibilities or during an emergency, and subject to the South Parcel Owner’s right to reimbursement of the North Parcel Owner’s pro rata share of costs, the South Parcel Owner may assume the responsibilities set forth in Section 3.1 above, and shall have full right of access to the Service Lines together with full power and authority to take any actions and enter into any agreements with contractors necessary to ensure the continued safe and reliable operation of the Service Lines. An emergency is a failure of the Service Lines to deliver water upon demand at a time when the North Parcel Owner is unable or unwilling to exercise primary responsibility or the Owners are otherwise unable to consult concerning the remedial action to be taken before the emergency causes damage to one or more of the Owners.

3.3. Reimbursement of Costs. Reimbursement of Ordinary Costs shall occur within seven (7) days after the reimbursing Owner’s receipt of copies of the associated bills or invoices. Except in the case of a bona fide emergency, no extraordinary repairs are to be made and no Extraordinary Costs are to be incurred without prior consultation between the Owners. The pro rata share of Extraordinary Costs shall be paid by both Owners before or when the costs are incurred based on bids, quotes, estimates or invoices, as the case may be. Any late fees, fines, or penalties incurred due to the North Parcel Owner’s failure to timely pay a Bill or invoice shall be the sole responsibility of the North Parcel Owner and shall not be split between the Owners.

3.4. Pro Rata Share. Unless and until otherwise agreed in writing, each Owner’s pro rata share of Costs shall be fifty percent (50%).

3.5. Collection of Unpaid Costs. If any Owner fails to pay its pro rata share of Costs, the Owner that paid the properly incurred Cost shall have (i) the right to charge such non-paying Owner interest at statutory rate for prejudgment interest, (ii) a lien on the Parcel of the defaulting Owner if such amounts remain unpaid for fifteen (15) days, for such unpaid amounts plus interest at the statutory rate and other amounts as more fully set forth herein, and (iii) any and all other rights and remedies provided at law or in equity for the collection of debts.

4. BINDING EFFECT/EQUITABLE SERVITUDE. The Parties hereby acknowledge and agree that, except as provided herein, the Easement and the rights and obligations conferred and imposed by Agreement are intended to, and do, constitute covenants that run with the land and shall inure to the benefit of and be binding upon the Parties and their

respective grantees, heirs, successors, and assigns. The terms, conditions, rights, and obligations contained in this Declaration and its Exhibits hereto shall be enforceable equitable servitudes and shall run with the land. This Declaration shall be binding on all future Owners of the North Parcel and the South Parcel.

5. NO CONDOMINIUM. By the execution and recording of this Declaration, Declarant is submitting to the provisions of the Condominium Ownership Act (Utah Code Ann. § 57-8-1, *et seq.*). This Declaration does not constitute a declaration as provided for in the Condominium Ownership Act and, except as otherwise amended by Declarant, the provisions of the Condominium Ownership Act shall not be applicable to the North and South Parcels, the North and South Units, or any portion thereof.

6. RECORDATION. This Easement Agreement shall be recorded in the real property records of Utah County, Utah.

7. ATTORNEYS' FEES. If any controversy, claim, or action is filed or instituted to enforce the terms and conditions of this Easement Agreement or arises from the breach of any provision hereof, the prevailing Party shall be entitled to receive from the other Party all costs, damages, and expenses, including reasonable attorneys' fees, incurred by the prevailing Party.

8. NO MERGER. The North Parcel and the South Parcel may be separately held, conveyed, devised, mortgaged, encumbered, leased, rented, used, occupied, improved or held under common ownership. Whether or not the North Parcel and the South Parcel are held under common ownership, the Easement and obligations in this Declaration will not merge with title to the properties. To the extent the Easement cannot be established while under common ownership, the Easement shall be deemed created on the day that such parcels are no longer under common ownership.

9. ENTIRE AGREEMENT. This Easement Agreement is the entire agreement between the Parties with respect to the matters covered hereby and supersedes all prior agreements between them, written or oral, including without limitation, the 1996 Well Agreement.

10. GENERAL. All Recitals and exhibits to this Agreement are hereby incorporated by reference as if set forth herein. The Parties agree that the facts set forth in the Recitals above are true and correct. This Agreement may be executed in counterparts, each of which is deemed an original but all of which constitute one and the same instrument; the signature pages may be detached from each counterpart and combined into one instrument. This Agreement may be amended only by written agreement executed by all Parties or their successors or assigns. No waiver of any right or remedy in the event of default hereunder shall constitute a waiver of such right or remedy in the event of any subsequent default. The laws of the State of Idaho shall govern this Agreement. The invalidity or unenforceability of any provision of this Agreement shall not affect the validity or enforceability of any other provision hereof. The headings of the several sections contained herein are for convenience only and do not explain, define, limit, amplify, or aid in the interpretation, construction, or meaning of the provisions of this Agreement.

[end of text; signature pages and exhibits follow]

IN WITNESS WHEREOF, Declarant has executed this Declaration as of the Effective Date.

“Declarant”

TAYLER HENDRICKS

STATE OF UTAH)
 : ss.
County of _____)

This instrument was acknowledged before me on the ____ day of _____ 2024, by
TAYLER HENDRICKS.

Notary Public

EXHIBIT A
Legal Description of the North Parcel (Lot 12A)

ALL OF LOT 103 OF THE PROPOSED SECTION A HIDDEN MEADOWS PLANNED DWELLING GROUP LOTS 12 AND 13 AMENDED PLAT MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWEST CORNER OF LOT 12, SECTION A, HIDDEN MEADOWS PLANNED DWELLING GROUP (MAP FILING NO. 789 JUNE 12, 1969); SAID POINT BEING NORTH, 6.48 FEET AND EAST, 578.93 FEET FROM THE WEST QUARTER CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN; (BASIS OF BEARING IS NORTH 00°47'08" WEST, 2659.97 FEET BETWEEN THE WEST QUARTER CORNER AND SOUTHWEST CORNER OF SAID SECTION 23; AND RUNNING THENCE ALONG THE EXISTING LOT 12 AND 13 LOT LINES FOR THE FOLLOWING THREE (3) COURSES: NORTH 00°56'00" WEST, 140.18 FEET; THENCE NORTH 89°45'00" EAST, 92.28 FEET; THENCE SOUTH, 59.94 FEET; THENCE SOUTH 89°24'06" WEST, 81.30 FEET; THENCE SOUTH 00°56'00" EAST, 79.83 FEET; THENCE NORTH 89°45'00" WEST, 10.00 FEET TO THE POINT OF BEGINNING.

CONTAINS: 6,325 SQ. FT. OR 0.145 ACRES MORE OR LESS

EXHIBIT B
Legal Description of the South Parcel (Lot 13A)

ALL OF LOT 101 OF THE PROPOSED SECTION A HIDDEN MEADOWS PLANNED DWELLING GROUP LOTS 12 AND 13 AMENDED PLAT MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF LOT 12, SECTION A, HIDDEN MEADOWS PLANNED DWELLING GROUP (MAP FILING NO. 789 JUNE 12, 1969); SAID POINT BEING NORTH, 6.48 FEET AND EAST, 578.93 FEET AND SOUTH 89°45'00" EAST, 10.00 FEET FROM THE WEST QUARTER CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN; (BASIS OF BEARING IS NORTH 00°47'08" WEST, 2659.97 FEET BETWEEN THE WEST QUARTER CORNER AND SOUTHWEST CORNER OF SAID SECTION 23; AND RUNNING THENCE NORTH 00°56'00" WEST, 79.83 FEET; THENCE NORTH 89°24'06" EAST, 81.30 FEET TO A POINT ON THE EAST LINE OF SAID LOTS 12 AND 13; AND RUNNING THENCE ALONG SAID EXISTING LOT LINES FOR THE FOLLOWING TWO (2) COURSES: SOUTH, 81.02 FEET; THENCE NORTH 89°45'00" WEST, 80.00 FEET TO THE POINT OF BEGINNING.

CONTAINS: 6,486 SQ. FT. OR 0.149 ACRES MORE OR LESS

EXHIBIT C
Depiction of North Parcel (Lot 12A) and South Parcel (Lot 13A)
(comprising the following page)

Street View





City Council Chambers, 56 N State Street

***** IMPORTANT DEVELOPMENT NOTICE *****

HIDDEN MEADOWS - PLAT AMENDMENT – Amending Lots 12 and 13 of Hidden Meadows Planned Dwelling Group located generally at 103 East 800 South in the R6.5 zone. The applicant is proposing to change a legal duplex into two legal units and to correct errors on the previous plat between the two properties. No physical changes will be made to the property.

Additional information can be viewed on orem.org/planning under "Current Planning (Public Hearing Notices)" tab.

This is not a public hearing so no public comment will be received at the meeting. If you have questions or comments please contact staff prior to the meeting.

SEARLE PROPERTIES LC
40 E 1120 N
AMERICAN FORK, UT 84003

Planning Commission
Wed, Jul 17, 2024
4:30 pm



City Council Chambers, 56 N State Street

***** IMPORTANT DEVELOPMENT NOTICE *****

HIDDEN MEADOWS - PLAT AMENDMENT – Amending Lots 12 and 13 of Hidden Meadows Planned Dwelling Group located generally at 103 East 800 South in the R6.5 zone. The applicant is proposing to change a legal duplex into two legal units and to correct errors on the previous plat between the two properties. No physical changes will be made to the property.

Additional information can be viewed on orem.org/planning under "Current Planning (Public Hearing Notices)" tab.

This is not a public hearing so no public comment will be received at the meeting. If you have questions or comments please contact staff prior to the meeting.

ADAMS, KENNETH H & ALISON (ET AL)
361 W 1200 N
AMERICAN FORK, UT 84003

Planning Commission
Wed, Jul 17, 2024
4:30 pm



orem.org/planning under "Current Planning (Public Hearing Notices)" tab



orem.org/planning under "Current Planning (Public Hearing Notices)" tab

BARRERA, JOEL GOMEZ
PO BOX 793
PLEASANT GROVE, UT 84062

WOLSEY, MARIE ELAINE WHITE
PO BOX 970264
OREM, UT 84097

SARATOGA VENTURES II LLC
%WILKINSON, MARK
6 RED PINE DR
ALPINE, UT 84004

STREET, JOSHUA & WILLIAM (ET AL)
10 E 800 S
OREM, UT 84058

BOWERS, JAMES A & SHERRIE (ET AL)
11 E 800 S
OREM, UT 84058

CHRIS KILLPACK
15 N 920 E
OREM, UT 84097

JOHNSON, JEFFERY KYLE
25 E 800 S
OREM, UT 84058

RUIZ, JORGE L
34 E 800 S
OREM, UT 84058

MARIA G TERRIQUEZ LIVING TRUST
04-21-2023 (ET AL)
38 E 800 S
OREM, UT 84058

DRAGONWOOD I LLC
--OR CURRENT RESIDENT--
39 E 850 SOUTH
OREM, UT 84058

SEARLE PROPERTIES LC
40 E 1120 N
AMERICAN FORK, UT 84003

TOMAY, TROY PAUL (ET AL)
46 E 800 S
OREM, UT 84058

GONZALEZ, MARTIN (ET AL)
47 E 800 S
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
51 E 740 SOUTH
OREM, UT 84058

TRUE NORTH LLC
--OR CURRENT RESIDENT--
53 E 850 SOUTH
OREM, UT 84058

FLANDERS, PHIL
54 E 800 S
OREM, UT 84058

JAMES HAWKES
55 WEST 500 SOUTH
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
63 E 740 SOUTH
OREM, UT 84058

PERAZZO, JACOB & SUSAN
70 E 850 S
OREM, UT 84058

FRAZIER, KEVIN R
70 N 1160 E
OREM, UT 84097

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
71 E 700 SOUTH
OREM, UT 84058

RHOADES, JANET L & JAMES
EUGENE (ET AL)
75 E 800 S
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
78 E 760 SOUTH
OREM, UT 84058

SMITH, PETER & EMBER NOELLE
--OR CURRENT RESIDENT--
82 E 850 SOUTH
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
85 E 740 SOUTH
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
90 E 760 SOUTH
OREM, UT 84058

HALL, WILLIAM MATTHEW
--OR CURRENT RESIDENT--
90 E 850 SOUTH
OREM, UT 84058

RADER, RUSSELL DWAYNE &
SUSANA GARCIA (ET AL)
91 E 800 S
OREM, UT 84058

SHORT, STEVEN EUGENE (ET AL)
92 N 750 W
OREM, UT 84057

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
96 E 760 SOUTH
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
97 E 760 SOUTH
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
98 E 760 SOUTH
OREM, UT 84058

SARATOGA VENTURES II LLC
--OR CURRENT RESIDENT--
98 E 850 SOUTH
OREM, UT 84058

DRAGONWOOD I LLC
--OR CURRENT RESIDENT--
99 E 850 SOUTH
OREM, UT 84058

O'KEEFE MICHAELYN
100 E 800 S
OREM, UT 84058

COMMON AREA
100 E CENTER ST
PROVO, UT 84606

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
101 E 750 SOUTH
OREM, UT 84058

JACOBSON, CHAD L & CHARLA R
101 S 1000 E
OREM, UT 84097

HENDRICKS, TAYLOR
103 E 800 S
OREM, UT 84058

HELENA KLEINLEIN
103 WEST 2170 SOUTH
OREM, UT 84058

SARATOGA VENTURES II LLC
--OR CURRENT RESIDENT--
108 E 850 SOUTH
OREM, UT 84058

MCALLISTER, TANNER (ET AL)
109 E 800 S
OREM, UT 84058

SUZCO PROPERTIES LLC
--OR CURRENT RESIDENT--
113 E 800 SOUTH
OREM, UT 84058

REHM, PETER H & RACHEL A
115 E 900 S
OREM, UT 84058

DRAGONWOOD I LLC
--OR CURRENT RESIDENT--
117 E 850 SOUTH
OREM, UT 84058

BALES, RUTHANN (ET AL)
--OR CURRENT RESIDENT--
122 E 850 SOUTH
OREM, UT 84058

LEIVA, ALICIA
124 HANOVER DR
OREM, UT 84058

MCGOWAN, MICHELE
126 HANOVER DR
OREM, UT 84058

SELYTIN, ALEXANDER D (ET AL)
--OR CURRENT RESIDENT--
126 E 800 SOUTH
OREM, UT 84058

MORRISON, BRENDA
128 HANOVER DR
OREM, UT 84058

TOWNSEND, SPENCER KIRK
132 S 1100 W
LEHI, UT 84043

BEESELEY, REBECCA A (ET AL)
134 E 800 S
OREM, UT 84058

SEARLE PROPERTIES LC
--OR CURRENT RESIDENT--
135 E 850 SOUTH
OREM, UT 84058

HAWKINS, ELIZABETH MARIE
137 E 800 S
OREM, UT 84058

FRAZIER, KEVIN R
--OR CURRENT RESIDENT--
138 E 850 SOUTH
OREM, UT 84058

HERRING, ISAAC M & DUAINE M (ET AL)
--OR CURRENT RESIDENT--
139 E 800 SOUTH
OREM, UT 84058

QUAN, WANG YUAN (ET AL)
--OR CURRENT RESIDENT--
141 E 800 SOUTH
OREM, UT 84058

SPEAKMAN, RON
--OR CURRENT RESIDENT--
142 E 800 SOUTH
OREM, UT 84058

ROBINSON, TYLER D
143 E 800 S
OREM, UT 84058

ALC LLC
--OR CURRENT RESIDENT--
148 E 800 SOUTH
OREM, UT 84058

PAYNE RENTAL PROPERTIES LLC
--OR CURRENT RESIDENT--
153 E 850 SOUTH
OREM, UT 84058

KITCHEN, STEVEN T & CALINE M
155 E 800 S
OREM, UT 84058

ALC LLC
--OR CURRENT RESIDENT--
156 E 800 SOUTH
OREM, UT 84058

JEFF LAMBSON
156 E 1060 N
OREM, UT 84057

ATENE, LEO & ANDREA
--OR CURRENT RESIDENT--
159 E 800 SOUTH
OREM, UT 84058

RICO, THERESA (ET AL)
161 E 800 S
OREM, UT 84058

PATTERSON, BRAYDEN (ET AL)
165 E 800 S
OREM, UT 84058

CROSSLEY, APRIL
167 E 800 S
OREM, UT 84058

GARDNER, RYANN
169 E 800 S
OREM, UT 84058

ADAMS, KENNETH H & ALISON (ET AL)
--OR CURRENT RESIDENT--
171 E 850 SOUTH
OREM, UT 84058

DAVE YOUNG
173 S COUNTRYSIDE LANE
OREM, UT 84058

BARRERA, JOEL GOMEZ
--OR CURRENT RESIDENT--
175 E 800 SOUTH
OREM, UT 84058

NIMER RENTAL PROPERTIES LC
%JUAREZ, VALERIE J
175 S 200 W
OREM, UT 84058

SKOWRON, BETTY L & SEAN
176 E 800 S
OREM, UT 84058

BARRY, JAY MACKEY & SUSANN (ET AL)
--OR CURRENT RESIDENT--
191 E 850 SOUTH
OREM, UT 84058

QUAN, WANG YUAN (ET AL)
196 E 1570 N
OREM, UT 84057

HERRING, ISAAC M & DUANE M (ET AL)
223 N 2520 W
PROVO, UT 84601

TRUE NORTH LLC
240 E CENTER ST
PROVO, UT 84606

LANAE MILLETT
288 W 1500 N
OREM, UT 84057

ATENE, LEO & ANDREA
%HABITAT FOR HUMANITY OF UTAH COUNTY
340 S OREM BLVD
OREM, UT 84058

ADAMS, KENNETH H & ALISON (ET AL)
361 W 1200 N
AMERICAN FORK, UT 84003

ELITE HOME GROUP LLC
432 W 700 N
OREM, UT 84057

HOUSING AUTHORITY OF UTAH COUNTY
485 N FREEDOM BLVD
PROVO, UT 84601

THOMAS MACDONALD
489 NORTH PALISADES DR
OREM, UT 84097

DRAGONWOOD I LLC
612 N BELLA VISTA DR
OREM, UT 84097

SELYTIN, ALEXANDER D (ET AL)
625 E 200 S
PLEASANT GROVE, UT 84062

MADELINE KOMEN
653 W. 1360 NORTH
OREM, UT 84057

CASCADE RIDGE APARTMENTS LLC
660 BLUEBIRD CANYON DR
LAGUNA BEACH, CA 92651

LEWIS, REBEKAH J
716 HANOVER DR
OREM, UT 84058

SHARETTE, MELISSA CHAMAIGNE
MONTANA & DARRELL RICHARD
718 S HANOVER DR
OREM, UT 84058

ORAZEM, GUY E & ROXANE M
720 S HANOVER DR
OREM, UT 84058

RIVERA, MARIO (ET AL)
727 HANOVER DR
OREM, UT 84058

BJBD LC
--OR CURRENT RESIDENT--
727 S MAIN
OREM, UT 84058

WITT, MICHAEL PHILLIP
728 S HANOVER DR
OREM, UT 84058

TRUE NORTH LLC
--OR CURRENT RESIDENT--
729 S 30 EAST
OREM, UT 84058

ASTORGA, J ROLAND
--OR CURRENT RESIDENT--
729 S HANOVER DR
OREM, UT 84058

BORJAS, RAMON A & ASIRIA O
731 HANOVER DR
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
732 S 50 EAST
OREM, UT 84058

JONES, SHERI LYNNE (ET AL)
733 S HANOVER DR
OREM, UT 84058

KENT, KYLE
734 HANOVER DR
OREM, UT 84058

HANSEEN, SYLVIA S
736 S HANOVER DR
OREM, UT 84058

WARD, PAULA
738 HANOVER DR
OREM, UT 84058

LUDWIG, KARL A & KARIE ELLEN
(ET AL)
--OR CURRENT RESIDENT--
739 S HANOVER DR
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
740 S 50 EAST
OREM, UT 84058

NIMER RENTAL PROPERTIES LC
--OR CURRENT RESIDENT--
740 S STATE ST
OREM, UT 84058

TILLEY, IRVIN & DORA GACIELA (ET
AL)
741 HANOVER DR
OREM, UT 84058

BAXLEY, LUCY-JANE
742 HANOVER DR
OREM, UT 84058

CASTILLO, DAYANA D (ET AL)
743 HANOVER DR
OREM, UT 84058

OKAMURA, MINAE
744 S HANOVER DR
OREM, UT 84058

STORY, MARNI & MICHAEL
745 S HANOVER DR
OREM, UT 84058

TRUE NORTH LLC
--OR CURRENT RESIDENT--
745 S MAIN ST
OREM, UT 84058

CASILLAS-TIENDA, JOSE JOEL
746 S HANOVER DR
OREM, UT 84058

WOLSEY, MARIE ELAINE WHITE
--OR CURRENT RESIDENT--
747 S HANOVER DR
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
748 S 50 EAST
OREM, UT 84058

ELIASON, EMILY
748 S HANOVER DR
OREM, UT 84058

KWOK, KAM WING (ET AL)
--OR CURRENT RESIDENT--
749 S HANOVER DR
OREM, UT 84058

DEMAL, JACQUES-ANDRE C
750 HANOVER DR
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
757 S 50 EAST
OREM, UT 84058

LUDWIG, KARL A & KARIE ELLEN
(ET AL)
758 S 300 W
OREM, UT 84058

CASCADE RIDGE APARTMENTS LLC
--OR CURRENT RESIDENT--
763 S 50 EAST
OREM, UT 84058

ELITE HOME GROUP LLC
--OR CURRENT RESIDENT--
765 S OREM BLVD
OREM, UT 84058

BARRY, JAY MACKEY & SUSANN (ET AL)
773 W 550 S
OREM, UT 84058

TRUE NORTH LLC
--OR CURRENT RESIDENT--
789 S MAIN ST
OREM, UT 84058

TOWNSEND, SPENCER KIRK
--OR CURRENT RESIDENT--
811 S 75 EAST
OREM, UT 84058

KWANG LI CHEN LLC
--OR CURRENT RESIDENT--
812 S 75 EAST
OREM, UT 84058

JS PROPERTIES 823 LLC
--OR CURRENT RESIDENT--
823 S MAIN ST
OREM, UT 84058

SHORT, STEVEN EUGENE (ET AL)
--OR CURRENT RESIDENT--
827 S MAIN
OREM, UT 84058

DRAGONWOOD I LLC
--OR CURRENT RESIDENT--
831 S 75 EAST
OREM, UT 84058

HOUSING AUTHORITY OF UTAH
COUNTY
--OR CURRENT RESIDENT--
832 S 75 EAST
OREM, UT 84058

TABARES, BEATRIS
835 S MAIN ST
OREM, UT 84058

CAIRNS, JOANNE
--OR CURRENT RESIDENT--
842 S 50 EAST
OREM, UT 84058

ALBRECHT, THOMAS J
856 S 50 E
OREM, UT 84058

RUBIO, VANESSA
858 S 50 E
OREM, UT 84058

JACOBSON, CHAD L & CHARLA R
--OR CURRENT RESIDENT--
861 S 50 EAST
OREM, UT 84058

DAVID SPENCER
899 NORTH 550 EAST
OREM, UT 84097

MURRAY LOW
904 S. 725 WEST
OREM, UT 84058

GERALD CRISMON
1069 S. 545 EAST
OREM, UT 84097

ALC LLC
%COX, LESA & ANDY
1124 E 50 S
OREM, UT 84097

JENN GALE
1144 E 920 N
OREM, UT 84097

HAYSAM SAKAR
1194 E. 1090 NORTH
OREM, UT 84097

SPEAKMAN, RON
1200 PASEO CAMARILLO # 100
CAMARILLO, CA 93010

HALL, WILLIAM MATTHEW
1338 N 600 W ST
OREM, UT 84057

RYAN CLARK
1405 N. 1430 WEST
PLEASANT GROVE, UT 84062

UTAH POWER & LIGHT COMPANY
1407 W N TEMPLE
SALT LAKE CITY, UT 84110

KWOK, KAM WING (ET AL)
1482 N 300 E
OREM, UT 84058

BJBD LC
1483 SPRINGDELL DR
PROVO, UT 84604

JS PROPERTIES 823 LLC
1565 S 300 W
OREM, UT 84058

MIKE CARPENTER
1734 NORTH 350 WEST
OREM, UT 84057

KWANG LI CHEN LLC
1825 N MAIN ST
MAPLETON, UT 84664

JASON BENCH
1911 N MAIN STREET
OREM, UT 84057-2101

ASTORGA, J ROLAND
2217 S CHESTNUT CIR
SARATOGA SPRINGS, UT 84045

BALES, RUTHANN (ET AL)
2444 S HONEYSUCKLE DR
SARATOGA SPRINGS, UT 84045

PAYNE RENTAL PROPERTIES LLC
2723 E WATER VISTA WAY
SANDY, UT 84093

SUZCO PROPERTIES LLC
9079 SILVER LAKE DR
CEDAR HILLS, UT 84062

SARATOGA VENTURES II LLC
12006 N CYPRUS DR
HIGHLAND, UT 84003

 Administrative	Planning Commission July 17, 2024	Item 3.2
	SITE PLAN – Approving the site plan for Orem Art Lofts located generally at 841 South State Street in the C2 zone.	Prepared By: Cheryl Vargas Applicant: Wright Development Group, Logan Johnson

NOTICES:

- Posted in 2 public places
- Posted on City webpage and City hotline
- Faxed to newspapers
- E-mailed to newspapers
- Posted at utah.gov/pmn
- Noticed 486 property owners with 1,000 ft.

SITE INFORMATION:

- General Plan Designation: **Community Commercial**
- Current Zone: **C2**
- Acreage: 4.48
- Neighborhood: **Hillcrest**

ACTION:

The Planning Commission is the final approving body for this item.

REQUEST: The applicant requests the Planning Commission approve the site plan for Orem Art Lofts located generally at 841 South State Street in the C2 zone.

BACKGROUND: The applicant is proposing to develop approximately 4.48 acres which will consist of a 4-story multi-family facility wrapped around a parking garage. This building will have 311 units and will comply with the conditions of the settlement agreement. The property is currently vacant and the new project will be new construction connecting to the sewer, water, storm drain, gas and power.

In 2018, five State Street Districts were enacted with specific zoning requirements for each District. The property at 841 South State Street was in the Arts District. While the property in question was in the Arts District, the owner had several meetings with staff over a period of a couple years regarding the zoning requirements for a multi-story structure with commercial and retail business on the first floor and residential apartments above. The applicant submitted a site plan application in July 2021 for a mixed-use project consisting of seven stories with a height of approximately 79 feet. Shortly thereafter, a moratorium on the development of residential units in the State Street District zones was put in place and the project was stopped.

Wright Development Group then filed a lawsuit against the City challenging the validity of the moratorium. City staff and the owner of the property conducted negotiations regarding a possible settlement of the lawsuit for the consideration of the Planning Commission and City Council. That settlement agreement was approved by the City Council on December 12, 2023.

Parking: Per the settlement agreement, they are required to have 2.09 parking stalls per unit for a total of 650 parking stalls in the 4-story parking structure. They are providing 656 parking stalls.

Architecture: It will be a 4-story multi-family residential complex with amenities. The materials will be glass, stone, LAP siding, Hardie panels and stucco. More than 85% of the units will have a balcony that is a minimum of 50 square feet.

Setbacks: The setbacks were met per the C2 zone requirements. From 400 East, there is seventeen feet (17') from back of curb to the building. From 900 South, there is twelve feet (12') from back of curb to the building. From State Street, there is thirty-one and one-half feet (31.5') from the back of curb to the building.

On the north side, abutting the commercial properties, there is five (5') from the property line to the building.

Landscaping: The applicant submitted a landscaping plan that complies with all applicable requirements.

Traffic: A Traffic Impact Study (TIS) for the Orem Art Lofts was performed by Hunt Day in December of 2023 and submitted by the applicant to the City of Orem. Residents in the adjacent neighborhood, and east of the proposed project, have voiced concerns regarding potential traffic from the project affecting their neighborhood. To further identify potential negative traffic effects on the neighborhood, from the Art Lofts project, the city commissioned an independent TIS performed for the Art Lofts (March 2024)

The two traffic study levels of service and driver delay results do not match each other. It is my professional opinion that the city commissioned TIS better represents traffic conditions witnessed on a daily basis. Due to the difficulty of accessing State Street during commute times, much of the project traffic will use 900 South to turn north on State Street, or use the signals at 400 East/800 South and State Street/800 South. Traffic to/from 800 East will use 400 East and 500 East if traveling to/from the east.

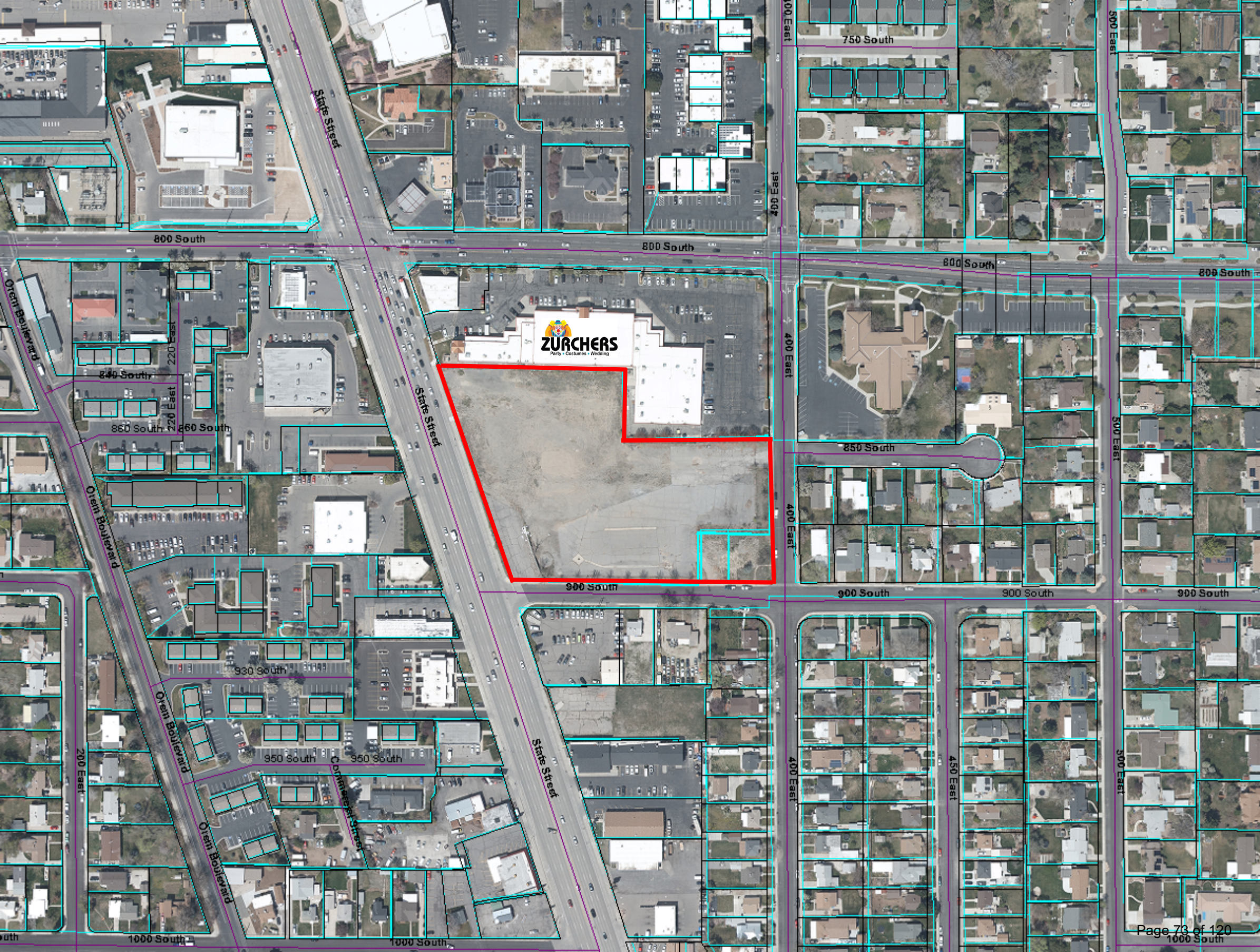
Engineering and Public Works have committed to the residents that we will monitor traffic changes in the neighborhood. We have gathered data before the project has started, and we will monitor traffic as the project becomes occupied. The residents will be presented changes and options to alleviate traffic changes in their neighborhood. Please see the [Orem Arts Lofts Development Traffic Study Comparison](#) for further details.

For a detailed recap of the settlement agreement items and compliance, please see the attached.

RECOMMENDATION: The Development Review Committee determined this request complies with the Orem City Code. Staff recommends the Planning Commission approve the site plan for Orem Art Lofts located generally at 841 South State Street in the C2 zone.

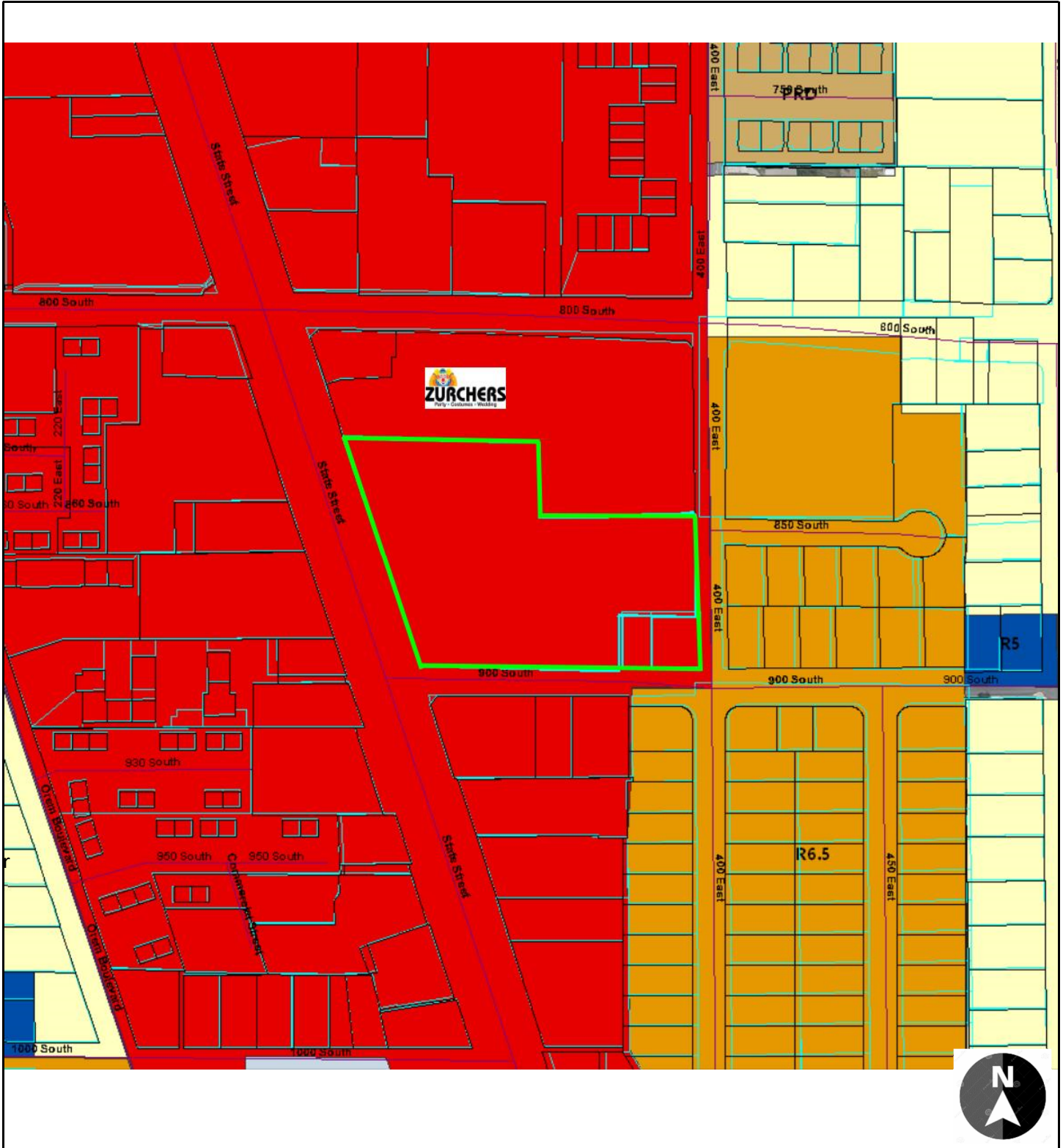
	AGREEMENT	SITE PLAN
Height	52'*	51' 4"
Residential Units	311	311
Parking Stalls	At least 650**	656
Rooftop Amenities	Not allowed between 10:00 pm & 7:00 am.	Acknowledged
Permitted Uses	All C2 zone permitted uses & multi-family residential use.	Multi-Family residential use
Setbacks	See Concept Plan***	Setbacks met per C2 zone
Architectural Features	Vertical breaks at least every 50' with minimum depth of 1'.	Vertical break every 50' with a minimum depth of 1'. Vertical break to extend over 75% of height.
Materials	Brick, split-face block, glass, stone and wood and standing seam metal for awnings****	Tier 1: Glass, stone, LAP siding, Hardie Panel (80%) Tier 2: Stucco (20%)
Entrances	One entrance intended for public, daily customer and/or resident use oriented toward a public street, public open space*****	Entrances provided on State Street, 900 South and 400 East
Windows & Awnings	At least 70% of each street-facing, ground story façade of commercial space shall consist of transparent window coverage*****	There will be no awnings and windows on the site plan have been approved
Balconies	Balconies consisting of a minimum area of 50 square feet shall be provided for at least 50% of all residential units.	Minimum 50 sf. More than 85% of units have a balcony
Drive-thru Structures	Drive-thru canopy structures shall be located only on the rear or a non-street facing façade.	There will be no drive-thru structures
Screening	Trash storage containers & dumpsters shall be completely screened from public view with a masonry wall at least 7' high*****	Screening provided around trash compactor. Transformers provided behind the building
Lighting	Designed to discourage crime, enhance safety and prevent direct glare onto adjacent properties.	Photometric plan submitted
Open Space	Minimum 20% of the lot dedicated to open space.	29.8% open space provided
Driveways & Accesses	Vehicular accesses shall be no more than 30' wide unless a wider access is necessary (shall not exceed 40' in width)*****	900 South & 400 East: 24 feet wide State Street: 28 feet wide
Traffic Study	A Traffic Impact Study shall be required in connection with any site plan for the property.	TIS completed in December 2023 Independent TIS completed in March 2024
Parking Lot Standards	1) Buildings shall face the street with parking lots on the side or rear.	4-Story parking structure fully wrapped by apartment building
	2) Parking lot light poles adjacent to residential zones shall be no closer than 50' to adjacent residential property line. Shielding and lighting directed down. Lightproof fencing is also required when adjacent to residentially zoned properties.	4-Story parking structure fully wrapped by apartment building
	3) Concrete curbs shall be provided between landscaped areas and off-street parking areas.	4-Story parking structure fully wrapped by apartment building

	AGREEMENT	SITE PLAN
Parking Structures	1) Street-facing façade of a parking structure must be "wrapped" with a habitable building designed and constructed for residential or commercial uses.*****	4-Story parking structure fully wrapped by apartment building
	2) Elevators and stairs shall be highlighted architecturally so visitors can easily access them.	Acknowledged
	3) Any signage attached to the parking structure shall be integrated with the architecture.	Acknowledged
	4) At a minimum, all street-facing facades of all parking structures shall be wrapped.	Off-street parking is within the building
	5) Shall be designed to minimize vehicle noise and odors. 6) Parking exceptions and parking modifications in Article 22-15 of the Orem City Code apply and a minimum of 25 bicycle parking stalls shall be provided.	4-Story parking structure fully wrapped by apartment building
Signs	All signs shall meet the standards provided in Article 14-3 of the City code.	Acknowledged
Landscaping	Provided and maintained as shown in the Approved Concept Plan.	See Landscape Plan
Utilities	All structures shall be served by the public sewer system and public water supply and placed underground.	Done - See utility plan
SWPPP	Shall be required in connection with the issuance of a building permit for construction.	Required before building permit
*Limited exception shall be made for a rooftop structure enclosing the stairway, elevator and lobby which may have a maximum height of 64'.		
**No fee, charge, deposit or other form of compensation (other than rent) may be required for the right to use required parking stalls. No penalty of any kind may be imposed upon a resident for parking in a required parking stall.		
***The area of any setback from a required sidewalk may not be used for parking, parking lot driveways, drive-thrus or drive-thru stacking except as shown on the Approved Concept Plan.		
****Aluminum composite material panel systems, stucco and exterior insulation and finishing systems-trim on ground-level facades and up to a maximum of 20% of street-facing façade.		
*****First priority assigned to State Street, the primary building shall have an entrance on 900 South.		
*****All awnings shall be durable canvas or standing seam metal.		
*****All electrical, utility & mechanical equipment (including on roofs) shall be fully screen from public view.		
*****Where a driveway crosses a public sidewalk, the driveway shall be a different stained color, texture, or paving material than the sidewalk to warn drivers of the possibility of pedestrians in the area.		
*****All other facades shall be wrapped with buildings and/or an external skin (or screen) designed to improve its visual appeal with the intent for parking structures to blend into surrounding buildings and not look like a parking structure.		



ZURCHERS
Party • Costumes • Wedding

Orem Art Lofts



Legend

Site Plan
Zone: C2
Acres: 4.48

NEIGHBORHOOD
Hillcrest

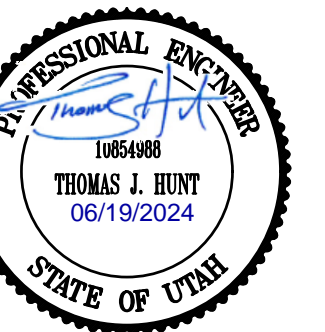
841 S State Street
 Parcels

Orem Art Loft

**041 South State Street,
Salt Lake City, Utah**

REV.	DATE	DESCRIPTION	BY
0	01-31-24	INITIAL SUBMITTAL TO CITY	TH
1	04-19-24	UPDATE TO CITY COMMENTS	TH
2	06-19-24	UPDATE TO CITY COMMENTS	TH

SEAL



BAR IS ONE INCH ON ORIGINAL DRAWING

0 1"

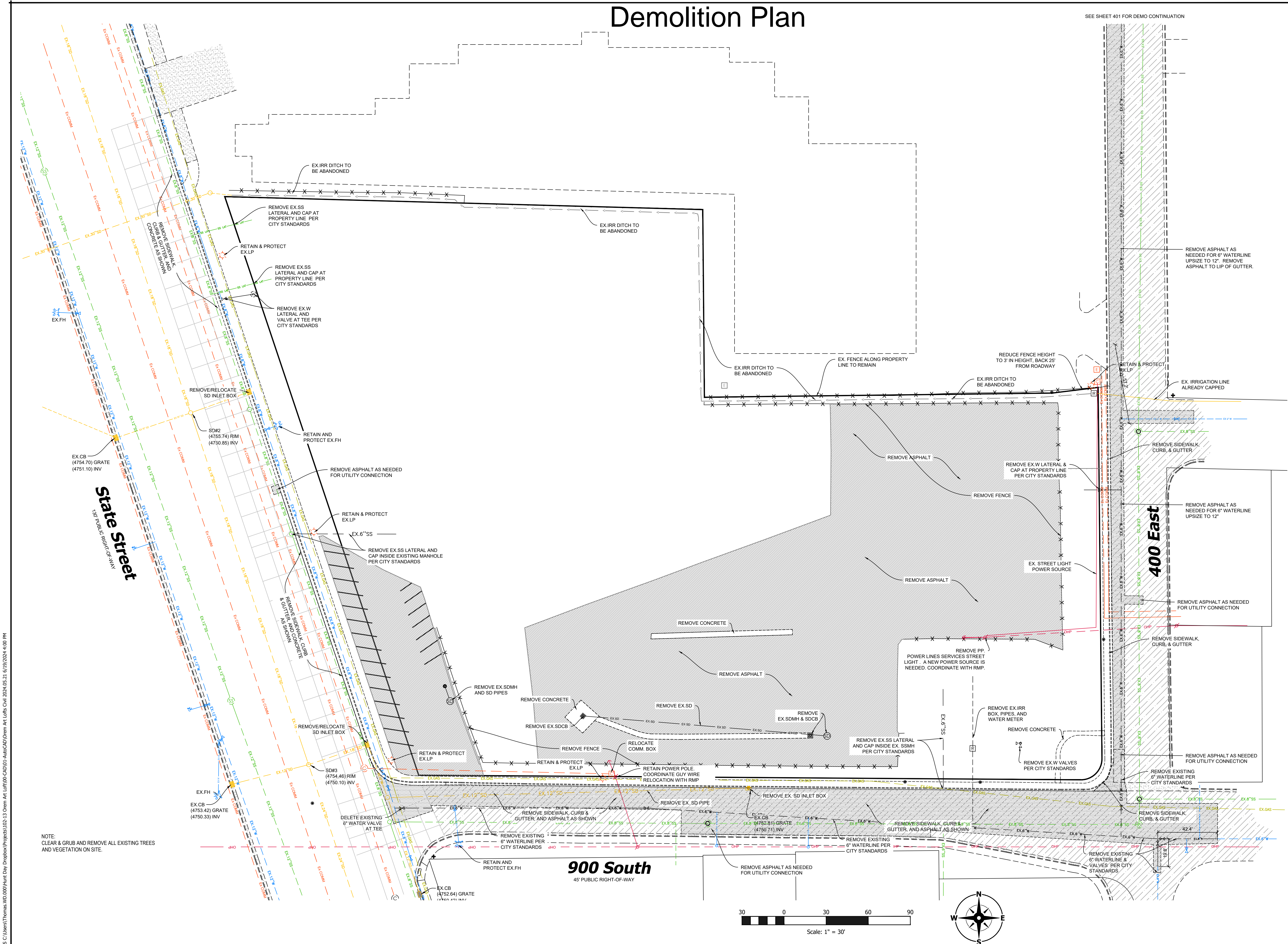
NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

Engineer: T. Hunt
Drawn: T. Pridemore
Date: 05 / 29 / 2023
Proj. No. 102 - 13

SHEET TITLE

SHEET NO.

C100



Site Plan

NOTES:

1. THE FIRE PROTECTION (FMS (FIRE HYDRANTS, WATER MAINS, ACCESS ROADS, ETC.) SHOWN ON THIS SITE PLAN ARE PRELIMINARY ONLY. DETAILED FIRE PROTECTION PLANS SHALL BE SUBMITTED WITH THE BUILDING PLANS FOR REVIEW BY THE CITY OF OREM FIRE PROTECTION DIVISION. SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE PLAN REVIEWS BY THE CITY OF OREM FIRE PREVENTION BUREAU MAY IDENTIFY ADDITIONAL FIRE PROTECTION REQUIREMENTS MANDATED BY THE INTERNATIONAL FIRE CODE. FIRE PROTECTION WATER VALVES SHALL BE INSTALLED AT THE CONSTRUCTION POINT WITH THE WATER MAIN LINES.
2. ALL LANDSCAPED AREAS SHALL BE INSTALLED UNDERGROUND SPRINKLER SYSTEMS WHICH INCLUDES A BACK FLOW ASSEMBLY TO THE BUILDING. BACK FLOW ASSEMBLIES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH SECTION 21-1-14 OF THE OREM CITY CODE. WATER METER SIZES SHALL BE DETERMINED BY THE CITY OF OREM. THE CITY OF OREM MAY REQUIRE A WATER METER TO BE INSTALLED IF THERE IS A REQUEST TO CHANGE THE WATER METER SIZE. WATER METERS SHALL BE LOCATED AT THE BACK OF SIDEWALK OR CURB IN AN AREA THAT IS ACCESSIBLE FOR READING AND SERVICING. WATER METERS SHALL BE LOCATED WITHIN AREAS ENCLOSED WITH FENCES OR WITHIN TEN FEET (10') OF ANY EXISTING OR PROPOSED STRUCTURE.
3. IF REQUIRED BY CHAPTER 20 OF THE OREM CITY CODE OR BY THE APPLICANT'S PERMIT FOR INDUSTRIAL WASTEWATER DISCHARGE, A SAMPLING MANHOLE AND FAT AND OIL SEPARATOR/GREASE TRAP SHALL BE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF OREM SPECIFICATIONS.
4. ALL SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE OREM CITY CODE.
5. ALL UTILITIES SHALL NOT BE LOCATED UNDER COVERED PARKING AREAS AND SHALL BE INSTALLED ACCORDING TO CHAPTER 21 OF THE OREM CITY CODE. UTILITIES SHALL NOT BE LOCATED LIMITED TO: WATER AND SEWER LATERALS, WATER AND SEWER MAINS, STORM WATER SUMPS, SEWER MANHOLES, WATER VALVES AND METERS, AND FIRE HYDRANTS.
6. ALL ROOF DRAINAGE SHALL BE ROUTED THROUGH ON-SITE STORM WATER MANAGEMENT FACILITIES OR TO LANDSCAPED AREAS.
7. AT THE TIME OF CONSTRUCTION, THE CITY OF OREM MAY DETERMINE BASED ON PROFESSIONAL EXPERIENCE AND JUDGMENT AND AT ITS SOLE DISCRETION, THE NEED FOR THE OWNER/DEVELOPER TO PAY FOR, REMOVE, OR REPLACE ANY EXISTING UTILITIES OR STRUCTURES, INCLUDING BUT NOT LIMITED TO: DRIVEWAYS, DRIVEWAYS, DECORATIVE CONCRETE, WHEELCHAIR RAMPS, ETC., OR ANY UNUSED DRIVE APPROACHES.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE OREM CONSTRUCTION STANDARDS AND SPECIFICATIONS. THE IMPROVEMENTS ARE WITHIN THE RIGHT OF WAY OF THE PROJECT, IN WHICH CASE THE CONSTRUCTION SHALL CONFORM TO UDOT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
9. NO DRIVEWAY OR DRIVE ACCESS MAY BE LOCATED WITHIN TWENTY-FIVE (25') OF AN EXISTING FENCE WHICH IS NOT A DRIVEWAY OR DRIVE ACCESS.
10. SAWCUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT.
11. CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX SLOPE FROM EDGE OF ASPHALT TO LIP OF GUTTER.

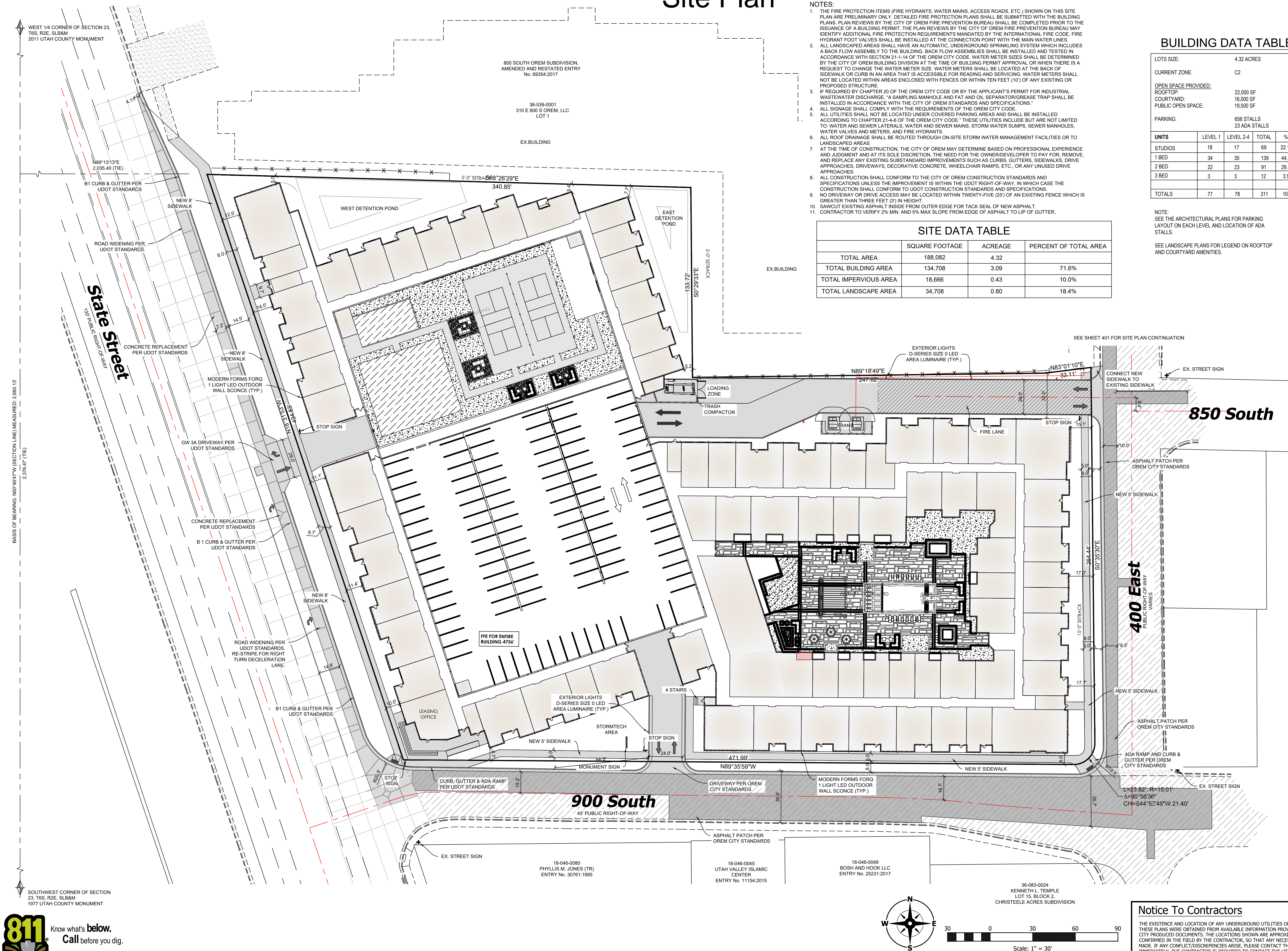
SITE DATA TABLE			
	SQUARE FOOTAGE	ACREAGE	PERCENT OF TOTAL AREA
TOTAL AREA	188,082	4.32	
TOTAL BUILDING AREA	134,708	3.09	71.6%
TOTAL IMPERVIOUS AREA	18,666	0.43	10.0%
TOTAL LANDSCAPE AREA	34,708	0.80	18.4%

BUILDING DATA TABLE

LOTS SIZE:		4.32 ACRES		
CURRENT ZONE:		C2		
OPEN SPACE PROVIDED:				
ROOFTOP:		22,000 SF		
COURTYARD:		16,000 SF		
PUBLIC OPEN SPACE:		19,500 SF		
PARKING:		656 STALLS 23 ADA STALLS		
UNITS	LEVEL 1	LEVEL 2-4	TOTAL	%
STUDIOS	18	17	69	22.19
1 BED	34	35	139	44.73
2 BED	22	23	91	29.33
3 BED	3	3	12	3.94
TOTALS	77	78	311	100%

NOTE:
SEE THE ARCHITECTURAL PLANS FOR PARKING
LAYOUT ON EACH LEVEL AND LOCATION OF ADA
STALLS.

SEE LANDSCAPE PLANS FOR LEGEND ON ROOFTOP
AND COURTYARD AMENITIES.



HUNT · DAY
45 Antelope Drive, St 200
Circleville, UT 84075
P: 801.664.4724
E: Thomas@HuntDay.co

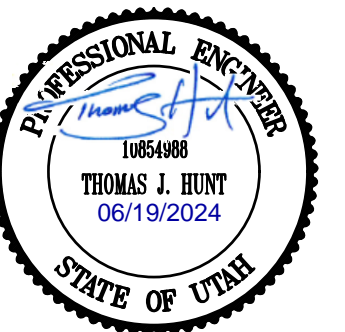
PROJECT TITLE

Orem Art Loft

**841 South State Street,
Salt Lake City, Utah**

<u>REVIEWS</u>			
REV.	DATE	DESCRIPTION	BY
2	06-19-24	UPDATE TO CITY COMMENTS	TH
1	04-19-24	UPDATE TO CITY COMMENTS	TH
0	01-31-24	INITIAL SUBMITTAL TO CITY	TH

L



VERIFY SCALES

AS ONE INCH ON ORIGINAL DRAWING

0 1
T ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

SUBJECT INFO.

Member: T. Hunt
 Town: T. Pridemore
 Date: 05 / 29 / 2023
 No. 102 - 13

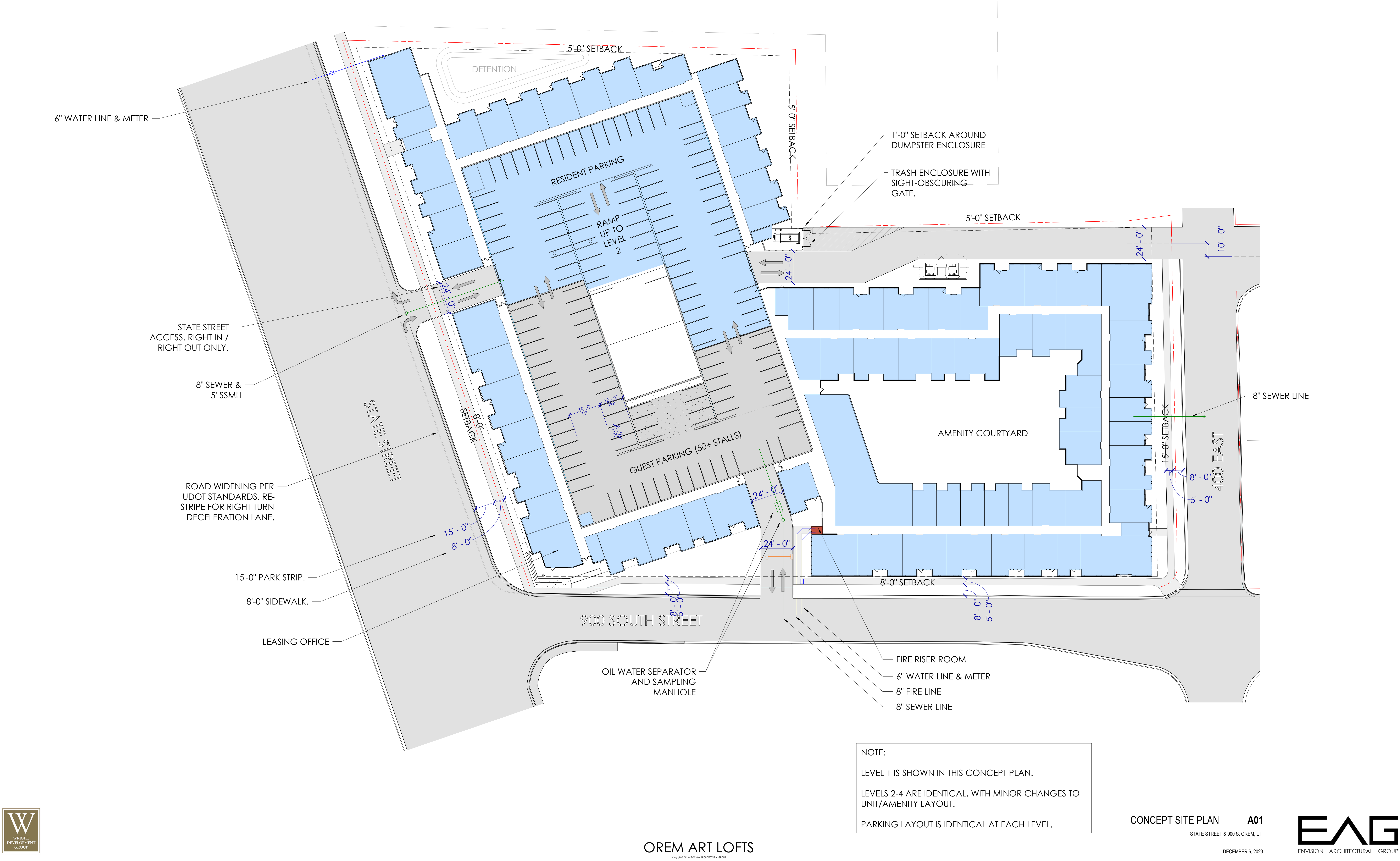
ET TITLE

Proposed Site Plan

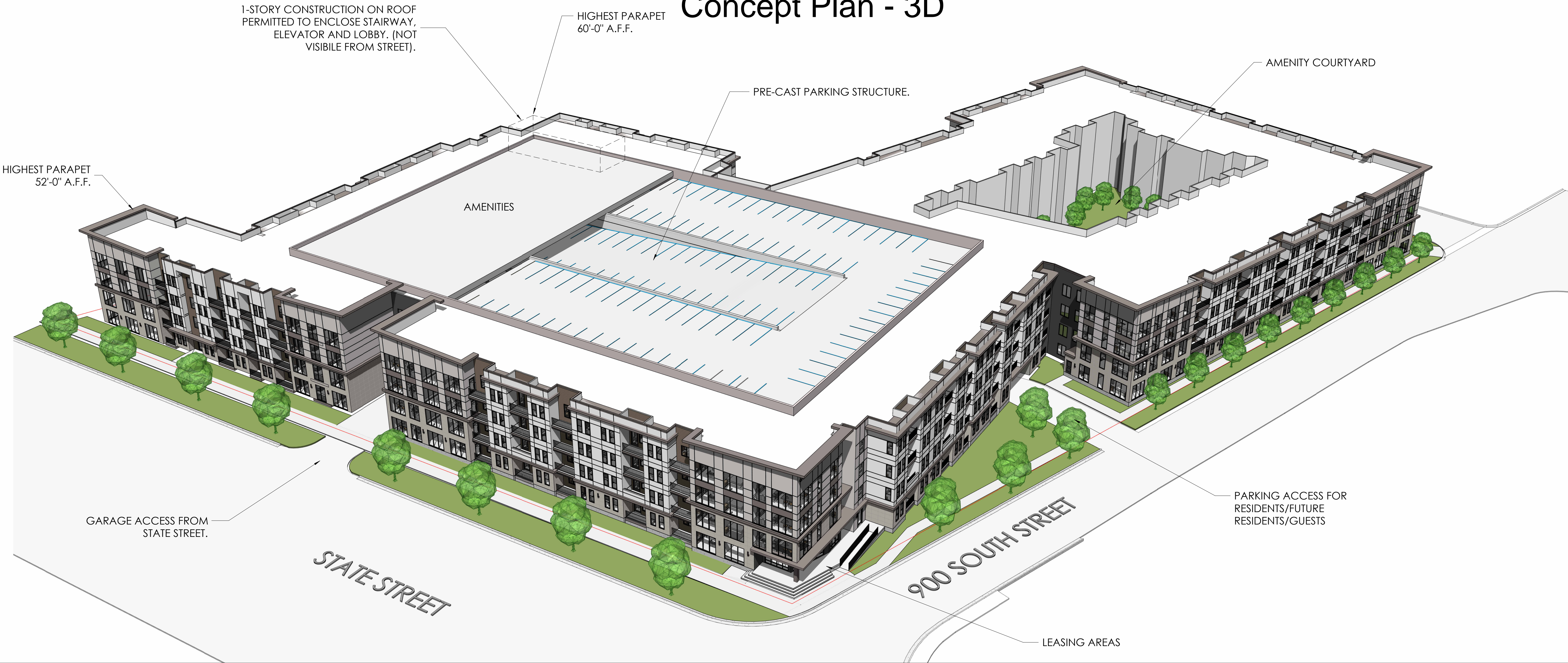
ET NO.

200

Concept Site Plan



Concept Plan - 3D



PROJECT INFO:			
LOT SIZE:	193,312 SF (4.44 ACRES)		
NUMBER OF STORIES:	4 STORIES		
DEVELOPMENT STANDARDS AND REQ'S (PER EXHIBIT C)			
A. HEIGHT:	52'-0" (64' MAX. ALLOWED ON STRUCTURE ABOVE PARKING STRUCTURE)		
B. RESIDENTIAL UNITS:	STUDIOS:	71 UNITS	(22.8%)
	ONE BEDROOM:	139 UNITS	(44.7%)
	TWO BEDROOM:	89 UNITS	(28.6%)
	<u>THREE BEDROOM:</u>	<u>12 UNITS</u>	<u>(3.9%)</u>
	311 UNITS		
C. PARKING STALLS:	650+ STALLS (4-STORY PARKING STRUCTURE) 2.09+ STALLS / UNIT		
D. ROOFTOP AMENITIES: ONLY USED BETWEEN 7 A.M. TO 10 P.M.			
E. PERMITTED USED:	MULTI-FAMILY RESIDENTIAL USE		

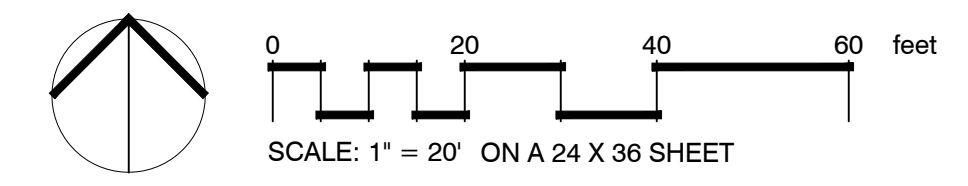
F. SETBACKS:	WEST SIDE (STATE ST.)	= 8'-0"
	SOUTH SIDE (900 S.)	= 8'-0"
	NORTH SIDE (WRAP)	= 5'-0"
	NORTH SIDE (EAST WING)	= 5'-0"
	NORTH SIDE (AT DUMPSTER)	= 1'-0"
	EAST SIDE (WRAP)	= 5'-0"
	EAST SIDE (400 E)	= 15'-0"
G. ARCHITECTURAL FEATURES:		
VERTICAL BREAK EVERY 50' WITH A MIN. DEPTH OF 1'. VERTICAL BREAK TO EXTEND OVER 75% OF HEIGHT.		
H. MATERIALS:		
TIER 1 MATERIALS: STONE, BRICK, SPLIT-FACE CMU, GLASS, FIBER CEMENT, ACM PANELS,		
TIER 2 MATERIALS: STUCCO, EIFS		
STREET FACING FACADES:		
	TIER 1	TIER 2
STATE STREET:	80 %	20 % (20 % MAX)
900 SOUTH:	81 %	19 % (20 % MAX)
400 EAST	86 %	14 % (20 % MAX)
NON-STREET FACING:		
NORTH ELV. - E. WING	46 %	54 % (75 % MAX)
EAST ELV. - N. WING	29 %	71 % (75 % MAX)
NORTH ELV. - N. WING	33 %	67 % (75 % MAX)

I. ENTRANCES:	ENTRANCES PROVIDED ON STATE STREET, 900 SOUTH AND 400 EAST.
J. WINDOWS & AWNINGS:	NOT APPLICABLE
K. BALCONIES:	MIN. 50 SF. MORE THAN 85% OF UNITS HAVE BALCONIES.
L. DRIVE-THROUGH:	NOT APPLICABLE
M. SCREENING:	SCREENING PROVIDED AROUND TRASH COMPACTOR. TRANSFORMERS PROVIDED BEHIND THE BUILDING.
N. LIGHTING:	LIGHTING PLAN TO BE PROVIDED.
O. OPEN SPACE:	20 % REQUIRED (38,988 SF)
	GROUND LEVEL: 41,122 SF
	ROOFTOP: 16,470 SF
	TOTAL OPEN SPACE: 57,592 SF (29.8 %)
P. DRIVEWAYS & ACCESSES:	PER CONCEPT PLAN.
Q. TRAFFIC STUDY:	TO BE PROVIDED
R. PARKING LOT STANDARDS:	NOT APPLICABLE
S. PARKING STRUCTURES:	4-STORY PARKING STRUCTURE FULLY WRAPPED BY APARTMENT BUILDING.

T. SIGNS:	SHALL MEET ARTICLE 14-3 OF OREM CITY CODE
U. LANDSCAPING:	PER CONCEPT LANDSCAPE PLAN. STREET TREES PER APPENDIX U OF THE OREM CITY CODE.
V. UTILITIES:	SERVED BY PUBLIC SEWER AND PUBLIC WATER. ALL UTILITIES SHALL BE UNDERGROUND.
W. SWPPP:	REQUIRED BEFORE BUILDING PERMIT.



e 79 of 120



Concept Landscape Plan



Concept Plan



OREM ART LOFTS

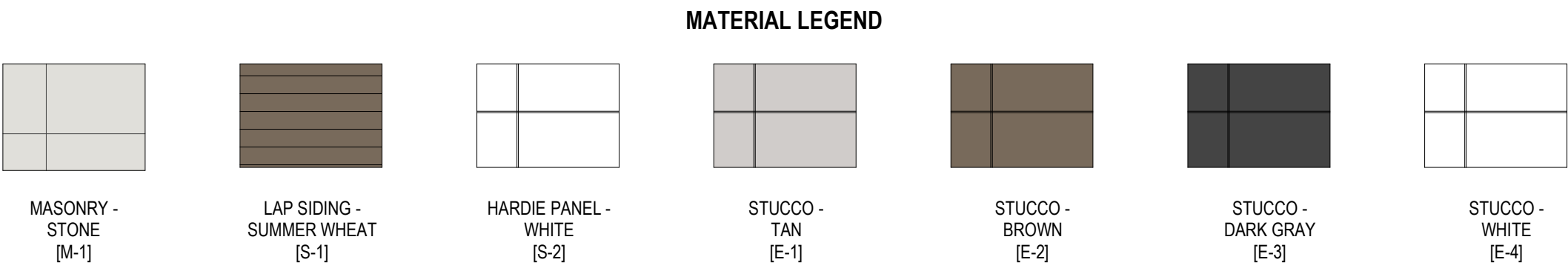
CONCEPT PLANS

STATE STREET & 900 S. OREM, UT

DECEMBER 6, 2023

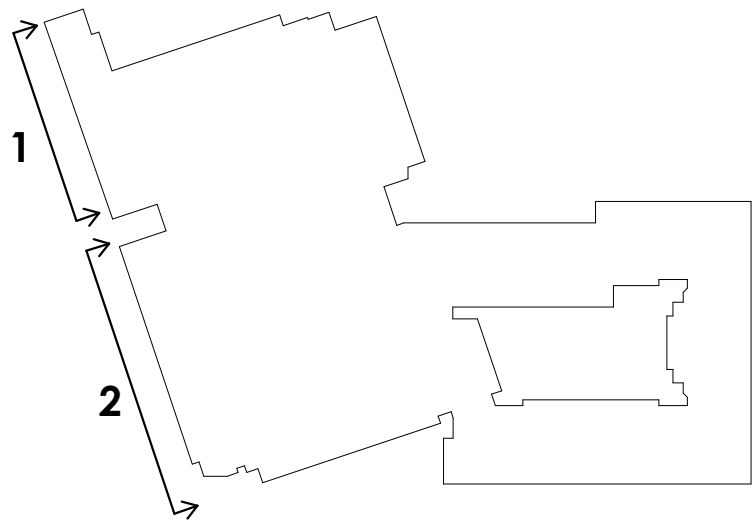


Elevations



STATE STREET ELEVATION MATERIALS:

TIER 1 MATERIALS:	
GLASS:	35%
STONE:	13%
LAP SIDING:	16%
HARDIE PANEL (WHITE):	16%
	80%
TIER 2 MATERIALS:	
STUCCO (TAN):	17%
STUCCO (WHITE):	0%
STUCCO (DARK GRAY):	3%
	20% (20% MAX)

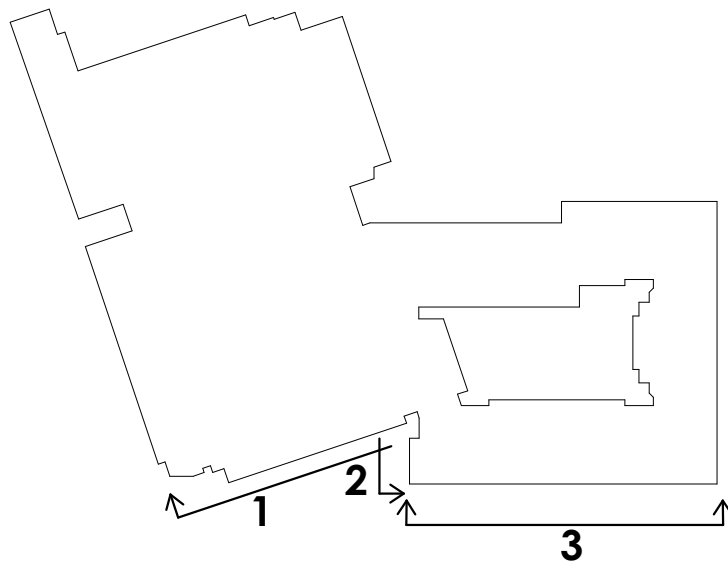
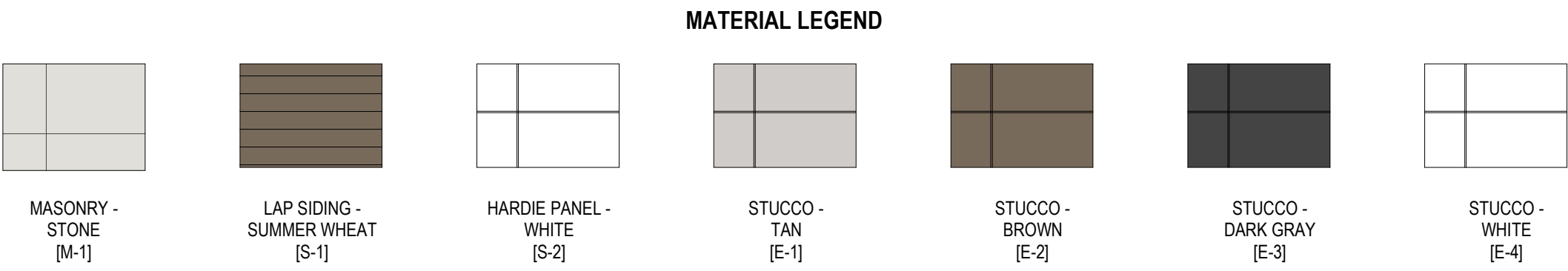


Elevations (continued)



900 SOUTH ELEVATION MATERIALS:

TIER 1 MATERIALS:	
GLASS:	32%
STONE:	12%
LAP SIDING:	13%
HARDIE PANEL (WHITE):	24%
	81%
TIER 2 MATERIALS:	
STUCCO (TAN):	14%
STUCCO (WHITE):	0%
STUCCO (DARK GRAY):	5%
	19% (20% MAX)



Elevations (continued)



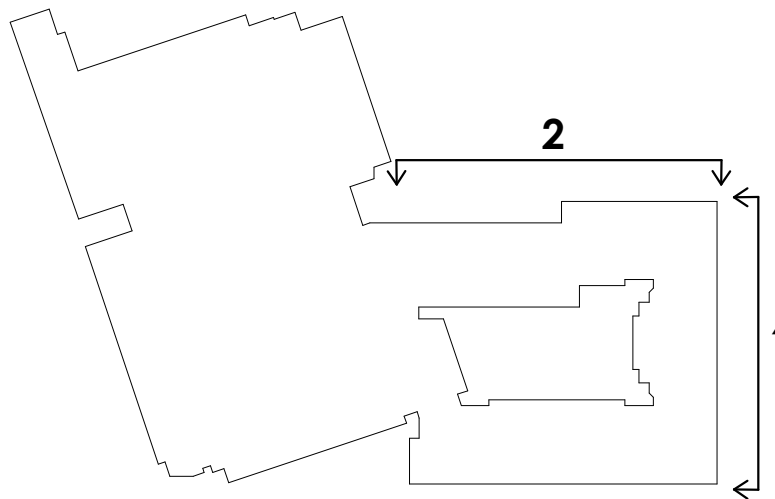
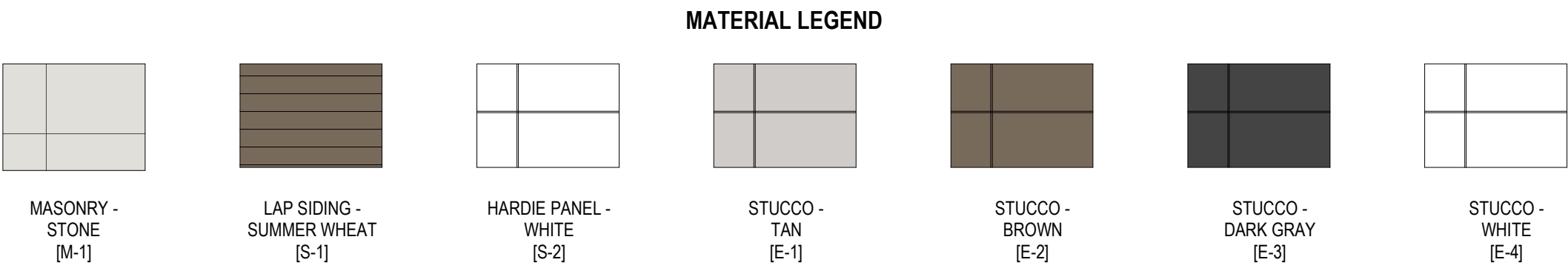
EAST WING - NORTH ELEVATION MATERIALS:

TIER 1 MATERIALS:	
GLASS:	24%
STONE:	15%
LAP SIDING:	7%
HARDIE PANEL (WHITE):	0%
	46%
TIER 2 MATERIALS:	
STUCCO (TAN):	6%
STUCCO (WHITE):	41%
STUCCO (DARK GRAY):	7%
	54% (75% MAX.)



EAST WING - EAST ELEVATION MATERIALS:

TIER 1 MATERIALS:	
GLASS:	29%
STONE:	13%
LAP SIDING:	15%
HARDIE PANEL (WHITE):	29%
	86%
TIER 2 MATERIALS:	
STUCCO (TAN):	10%
STUCCO (WHITE):	0%
STUCCO (DARK GRAY):	4%
	14% (20 % MAX)



Elevations (continued)



2 NORTH ELEVATION (NORTH WING)
3/32" = 1'-0"

NORTH WING - NORTH ELEVATION MATERIALS:

TIER 1 MATERIALS:	
GLASS:	19%
STONE:	14%
LAP SIDING:	0%
HARDIE PANEL (WHITE):	0%
	33%

TIER 2 MATERIALS:	
STUCCO (TAN):	6%
STUCCO (WHITE):	42%
STUCCO (DARK GRAY/BROWN):	19%
	67% (75% MAX)

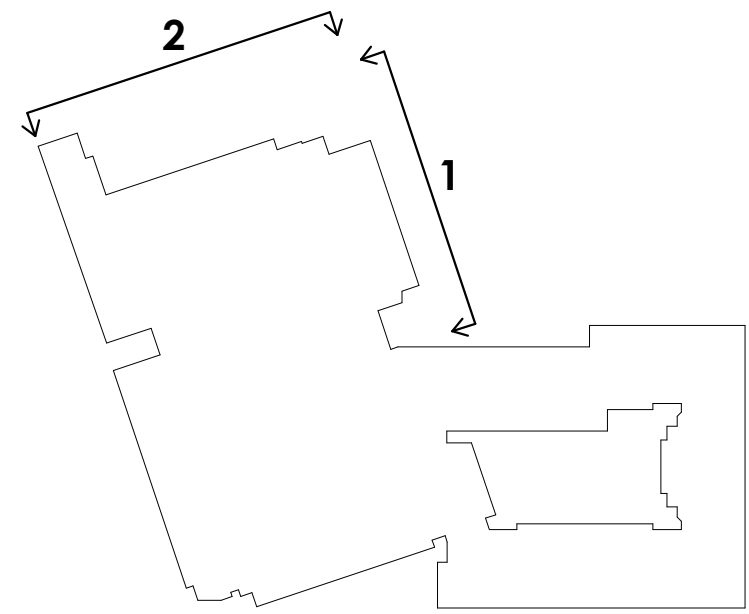
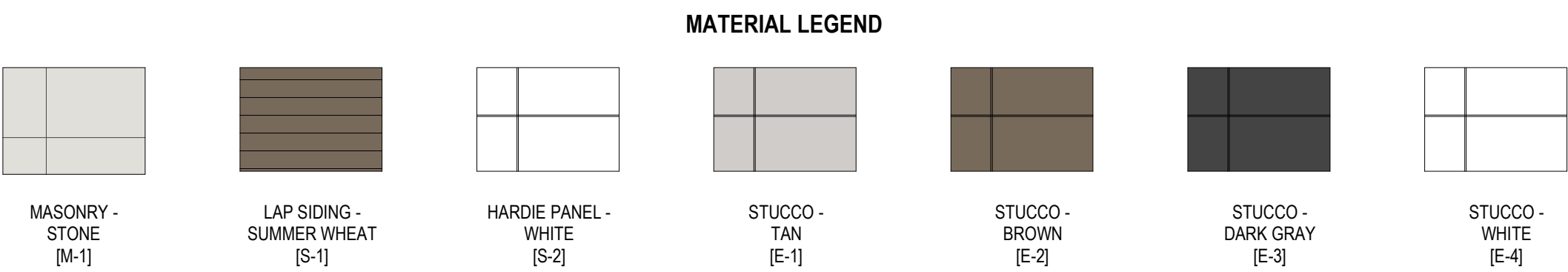


1 EAST ELEVATION (NORTH WING)
3/32" = 1'-0"

NORTH WING - EAST ELEVATION MATERIALS:

TIER 1 MATERIALS:	
GLASS:	18%
STONE:	11%
LAP SIDING:	0%
HARDIE PANEL (WHITE):	0%
	29%

TIER 2 MATERIALS:	
STUCCO (TAN):	0%
STUCCO (WHITE):	44%
STUCCO (DARK GRAY/BROWN):	27%
	71% (75% MAX)





To: Whom it May Concern
From: John A. Dorny

Date: 7/08/24

Subject: Orem Arts Lofts Development Traffic Study Comparisons

Background

A Traffic Impact Study (TIS) for the Orem Art Lofts was performed by Hunt Day in December of 2023 and submitted by the applicant to the City of Orem. Residents in the adjacent neighborhood, and east of the proposed project, have voiced concerns regarding potential traffic from the project affecting their neighborhood. Many years before the Lofts project was submitted to the city, residents and the city worked together to address traffic concerns in the neighborhood. The city has performed the following measures to address residents' concerns:

- Bulb-outs at some intersections were installed on 500 East (2008)
- At the request of the residents, bulb-outs at some intersections were removed on 500 East, (2023)
- **"Your Speed"** signs were installed on 500 East (early 2024)
- Narrow lanes were striped on 500 East (summer 2023)
- Stop sign was added at 1070 South and 500 East (fall 2023)
- **"No Mall Access"** signs were installed just east of State Street (2007-2022)

The city commissioned an independent TIS performed for the Art Lofts (March 2024). This memorandum compares the traffic study submitted by the Lofts applicant and the study commissioned by the city.

Plan for 500 East

Public Works and Engineering are considering various traffic calming options on 500 East, south of 800 South. We have reached out to a representative to be the spokesperson for the neighborhood. Once a traffic calming application is submitted, we will continue to work with residents on 500 East to formulate a plan. We are considering installing speed cushions. There are variations of these that allow fire truck wheel paths to pass through, such as the one shown below. As traffic increases over time, from the Lofts project, traffic will be monitored in this neighborhood.



Traffic Operations

In the traffic engineering profession, the main objective is to estimate the driver's experience and changes in safety at an intersection or on a roadway, in both the existing condition and in the future. To estimate these conditions, a long list of variables is considered and include traffic volumes, traffic growth, new roadways, turn pocket existence or length, lane width, signal timing, time of day, on-street parking, vehicle queuing, pedestrian use, among other variables. These values are entered into computer programs that follow the calculations in the Federally published *Highway Capacity Manual* (HCM). One of the main outputs is the average delay per vehicle at an intersection. These values are then presented in the form of a letter grade, A through F, known as Level of Service.

**Existing Level of Service**

The Level of Service (LOS) of both traffic studies in the “existing” condition (2023) were compared and are presented below.

Existing Conditions (2023)		
Intersection	Applicant TIS	Commissioned TIS
	Level of Service (AM/PM)	
State Street/800 South	B/C	C/E
State Street/900 South	B/C	C/F
800 South/Tiger Way (400 East)	B/A	A/B
900 South/Tiger Way (400 East)	A/A	A/A
800 South/500 East	n/a	C/F
900 South/500 East	n/a	A/A

In general, the applicant's traffic study estimates existing LOS to be much better than the traffic study commissioned by the city. The cells highlighted in yellow above show the most variation in service levels between the two studies. The applicant's traffic study also did not perform intersection analyses on 500 East. The LOS of F in the PM peak hours are due to vehicles trying to turn left on a major road with a high volume of cross traffic.

Future Level of Service

Both studies contain a 2038 (15-year condition) traffic condition, which represents existing traffic, surrounding traffic growth from other projects, and traffic from The Lofts. The result of the future conditions analysis is shown below.

Future Conditions (~2038)		
Intersection	Applicant TIS	Commissioned TIS
	Level of Service (AM/PM)	
State Street/800 South	B/C	C/E
State Street/900 South	C/D	D/F
800 South/Tiger Way (400 East)	B/B	A/B
900 South/Tiger Way (400 East)	A/A	A/A
800 South/500 East	n/a	C/F
900 South/500 East	n/a	A/A
State Street/Project Access	B/B	B/D

Again, the cells shown in yellow represent differences between the two studies or sub-standard LOS per city standards (LOS D is acceptable)



Breakdown

The city-commissioned traffic study generally shows service levels to be lower (worse) than the applicant's traffic study. These differences can sometimes be attributed to traffic counts being gathered at different times of the year or different days of the week. However, traffic along the State Street corridor is fairly consistent and should not vary by three letter grades. The three following intersections have an unfavorable LOS now and in the future.

State Street/800 South

This intersection is estimated to operate at LOS E in the existing condition and the future condition in the PM peak hour. This is understandable based on the commuter traffic in the area. Bringing this intersection to a LOS D or better would require the removal of many businesses and currently, the State is accepting a poor level of service on major corridors.

State Street/900 South

This intersection is estimated to operate at LOS F in the existing condition and the future condition in the PM peak hour. It is very common for unsignalized intersections along State Street to operate poorly during peak travel times. During peak times, it is nearly impossible to exit left out of 900 East and therefore this intersection operates at LOS F. To mitigate this, the roadway would need to be restricted to a right-in/right-out or something similar. However, the residents may not like this solution, as the intersection functions at a better LOS at other times of the day.

800 South/500 East

This intersection is estimated to operate at LOS F in the existing condition and the future condition in the PM peak hour, for the same reasons that roadways on State Street operate poorly. The left-turn movement from 500 East to 800 South takes so long that the operating LOS is poor. Mitigation would also require adding a right-in/right-out to restrict the left-out movements. However, the residents may not like this solution, as the intersection functions at a better LOS at other times of the day.

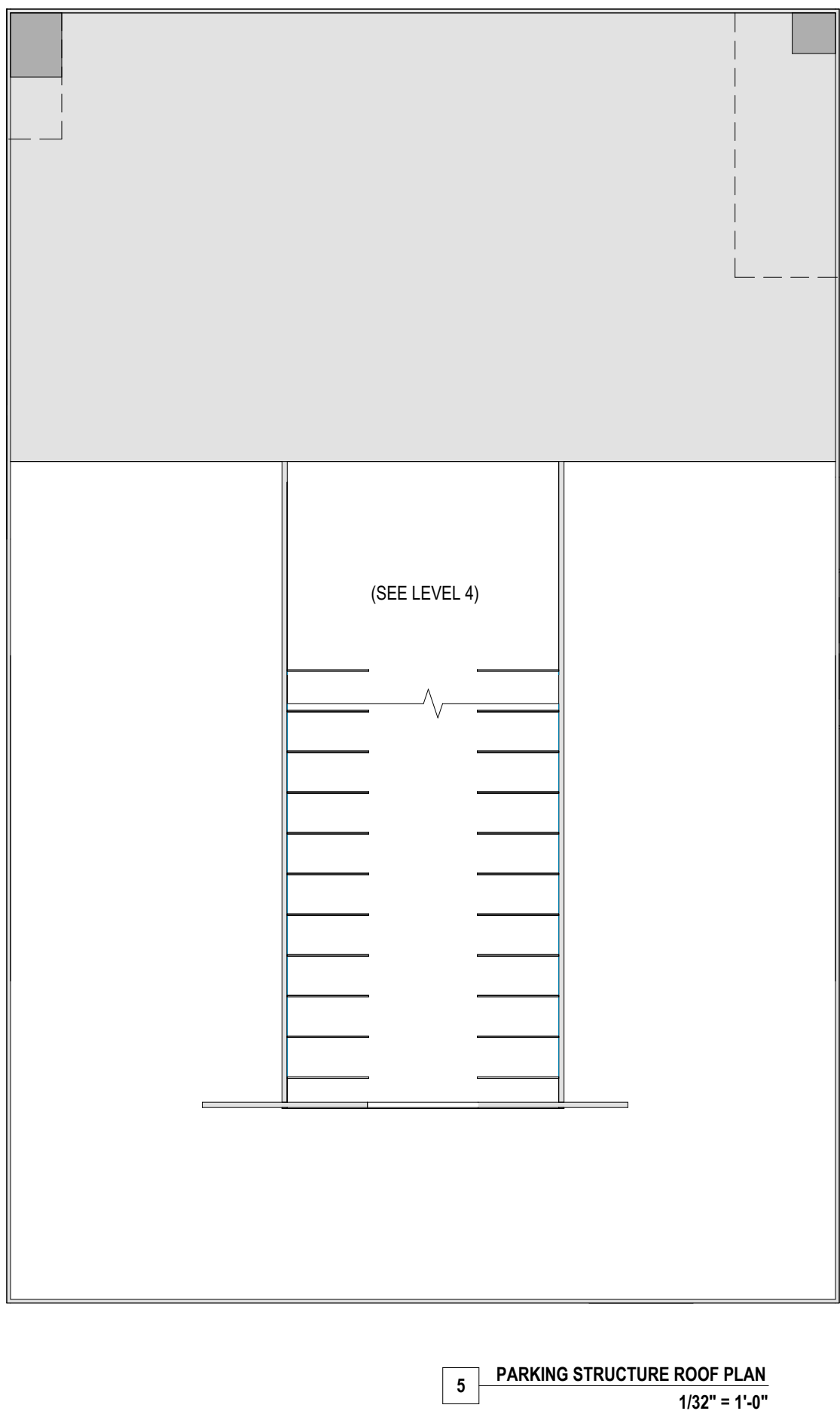
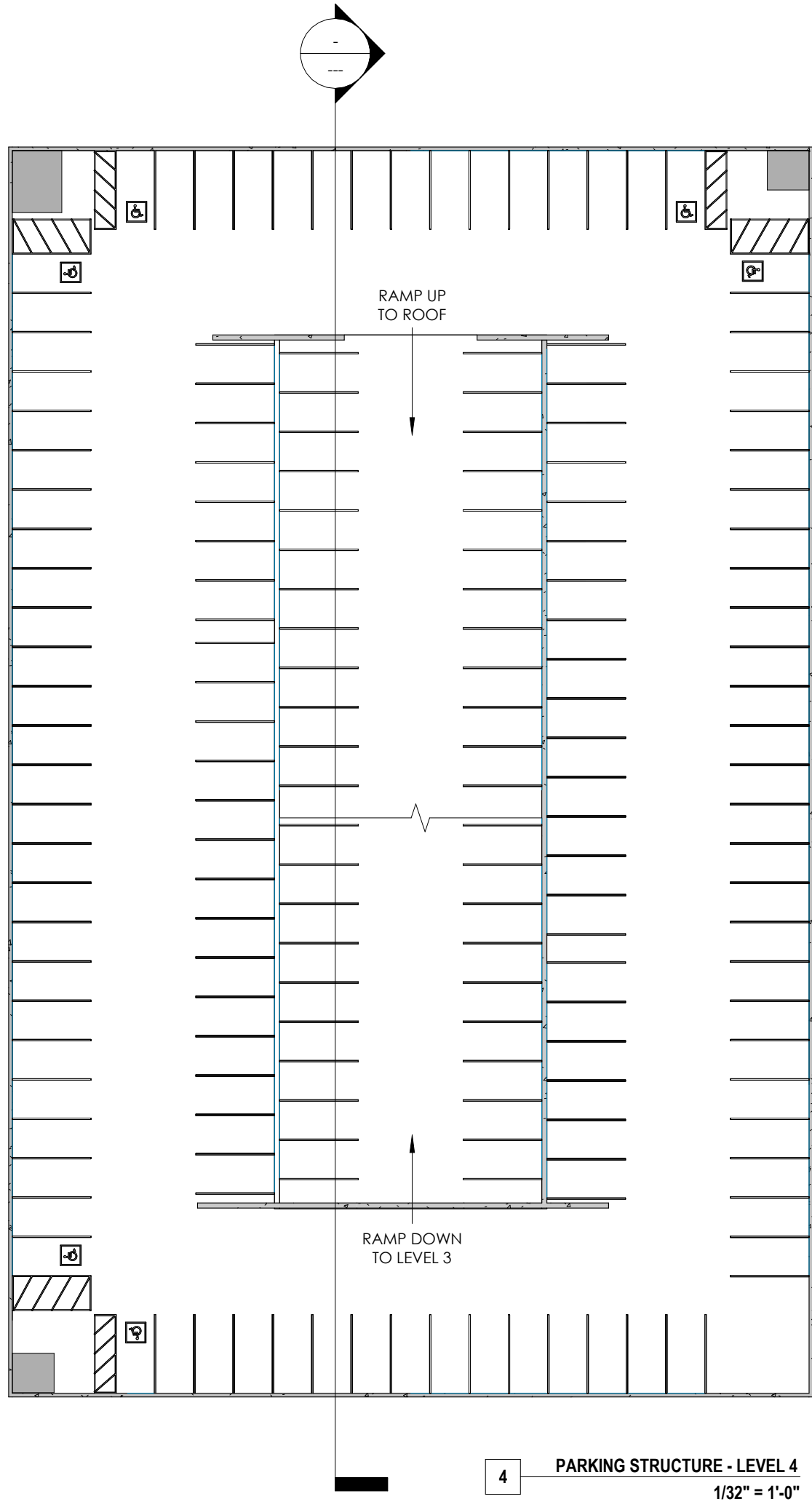
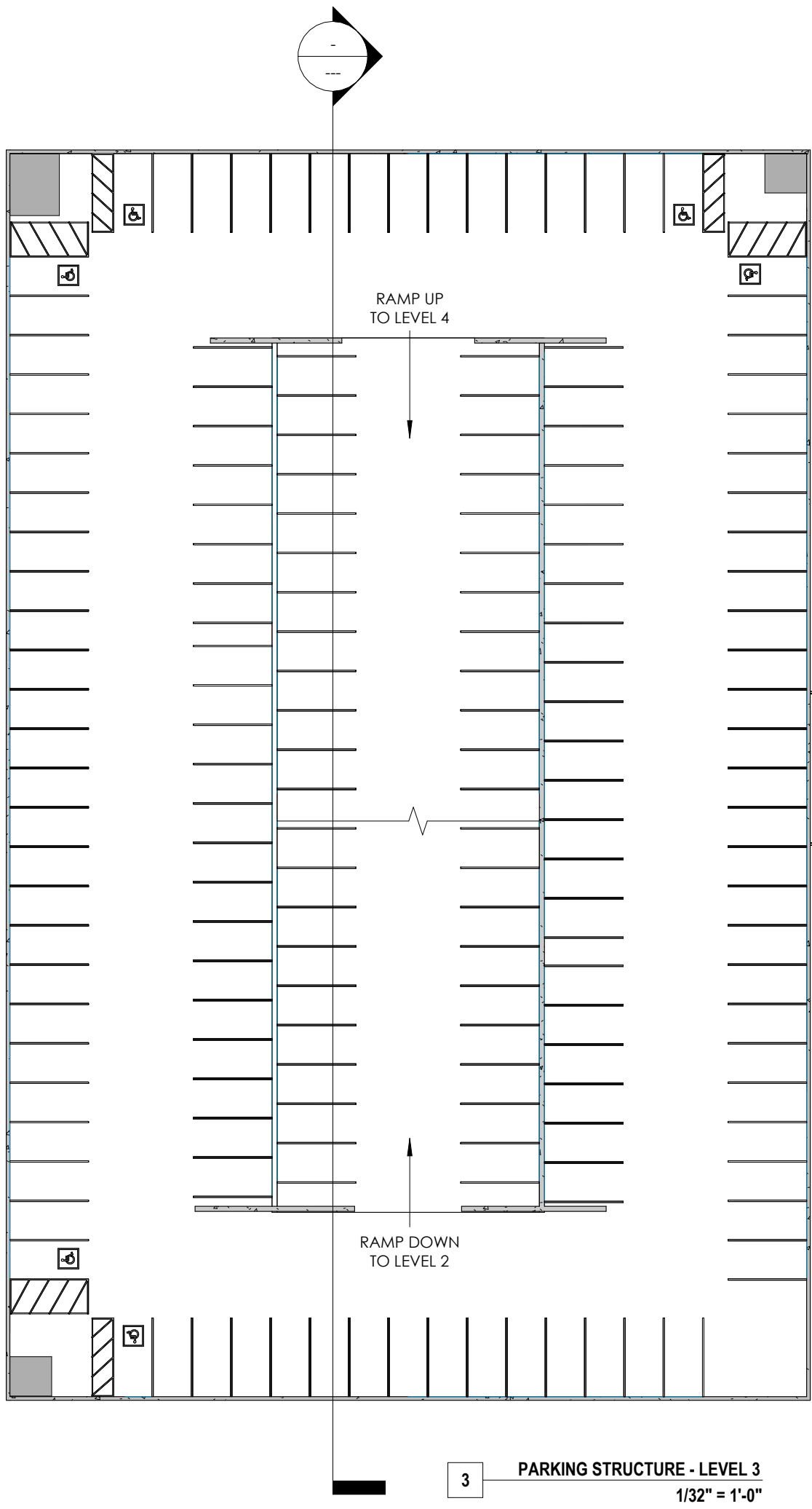
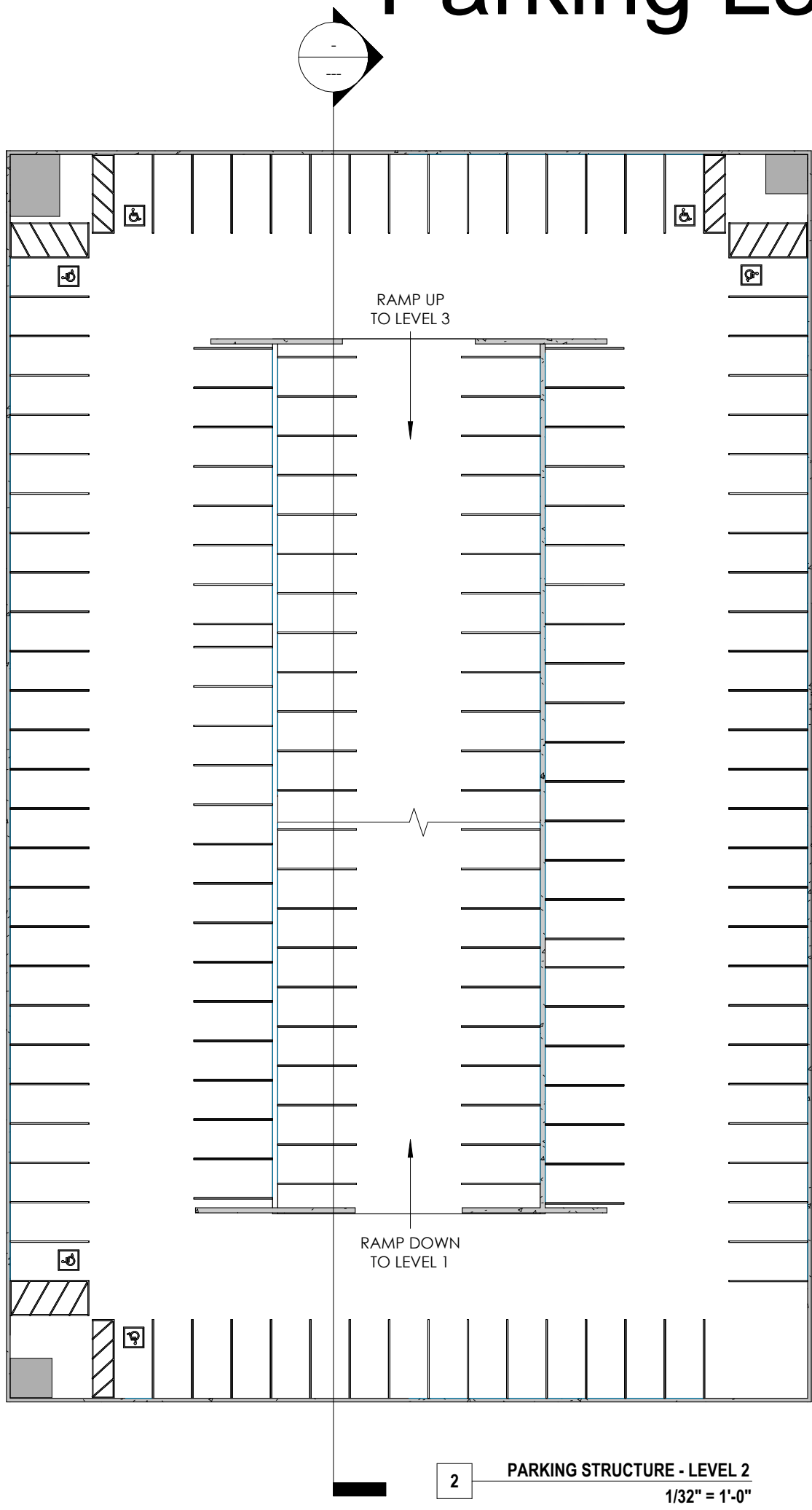
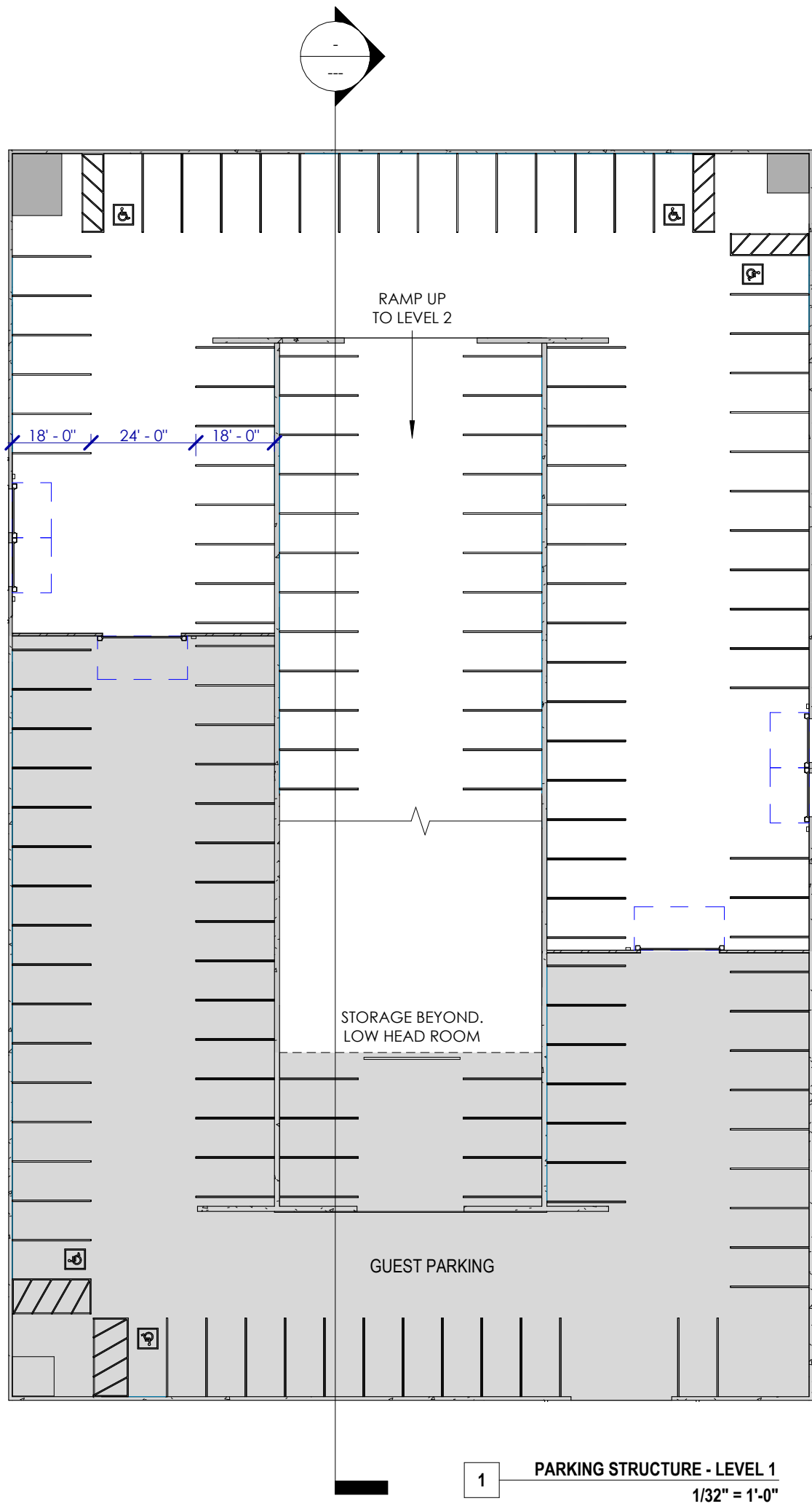


Conclusion

The two traffic study levels of service and driver delay results do not match each other. It is my professional opinion that the city commissioned TIS better represents traffic conditions witnessed on a daily basis. Due to the difficulty of accessing State Street during commute times, much of the project traffic will use 900 South to turn north on State Street, or use the signals at 400 East/800 South and State Street/800 South. Traffic to/from 800 East will use 400 East and 500 East if traveling to/from the east.

Engineering and Public Works have committed to the residents that we will monitor traffic changes in the neighborhood. We have gathered data before the project has started, and we will monitor traffic as the project becomes occupied. The residents will be presented changes and options to alleviate traffic changes in their neighborhood.

Parking Levels



PARKING - COMMERCIAL (1106.1)

NUMBER OF TOTAL STALLS PROVIDED	REQUIRED MINIMUM NUMBER OF ACCESSIBLE STALLS	ACCESSIBLE STALLS PROVIDED
60 (LEASING/GUEST STALLS IN PARKING STRUCTURE)	2	2

PARKING - RESIDENTIAL (1106.2)

1. IN GROUP R-2, OCCUPANCIES THAT ARE REQUIRED TO HAVE TYPE A OR TYPE B DWELLING UNITS, AT LEAST 2 PERCENT , BUT NOT LESS THAN ONE, OF EACH TYPE OF PARKING SPACE PROVIDED SHALL BE ACCESSIBLE.			
TYPES OF PARKING:	TOTAL STALLS	ACCESSIBLE STALLS REQUIRED (2%)	ACCESSIBLE STALLS PROVIDED
RESIDENTIAL STALLS (PARKING STRUCTURE)	596	12	14
3. WHERE AT LEAST ONE PARKING SPACE IS PROVIDED FOR EACH DWELLING UNIT, AT LEAST ONE ACCESSIBLE PARKING SPACE SHALL BE PROVIDED FOR EACH TYPE A UNIT . (7 TYPE A UNITS)		7	7

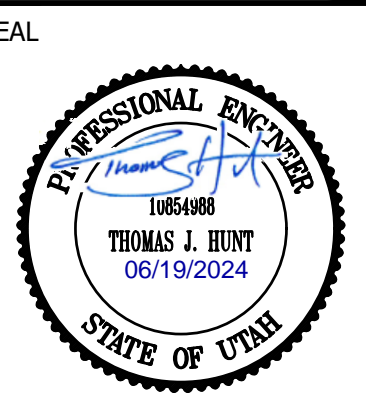
TOTAL STALLS (PARKING STRUCTURE)	656 (INCLUDES 23 ACCESSIBLE STALLS)
---	-------------------------------------



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

PROJECT TITLE
Orem Art Loft
841 South State Street,
Salt Lake City, Utah

REV.	DATE	DESCRIPTION	BY
2	06-19-24	UPDATE TO CITY COMMENTS	TH
1	04-19-24	UPDATE TO CITY COMMENTS	TH
0	01-31-24	INITIAL SUBMITTAL TO CITY	TH



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" = 20'
IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

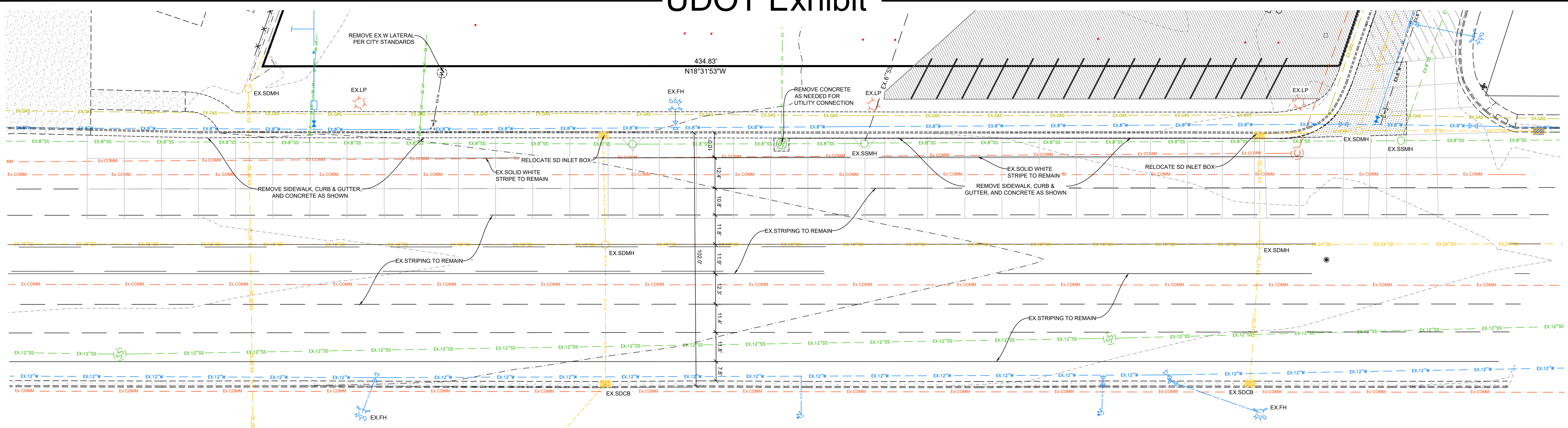
PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Date: 05 / 29 / 2023
Proj. No. 102 - 13

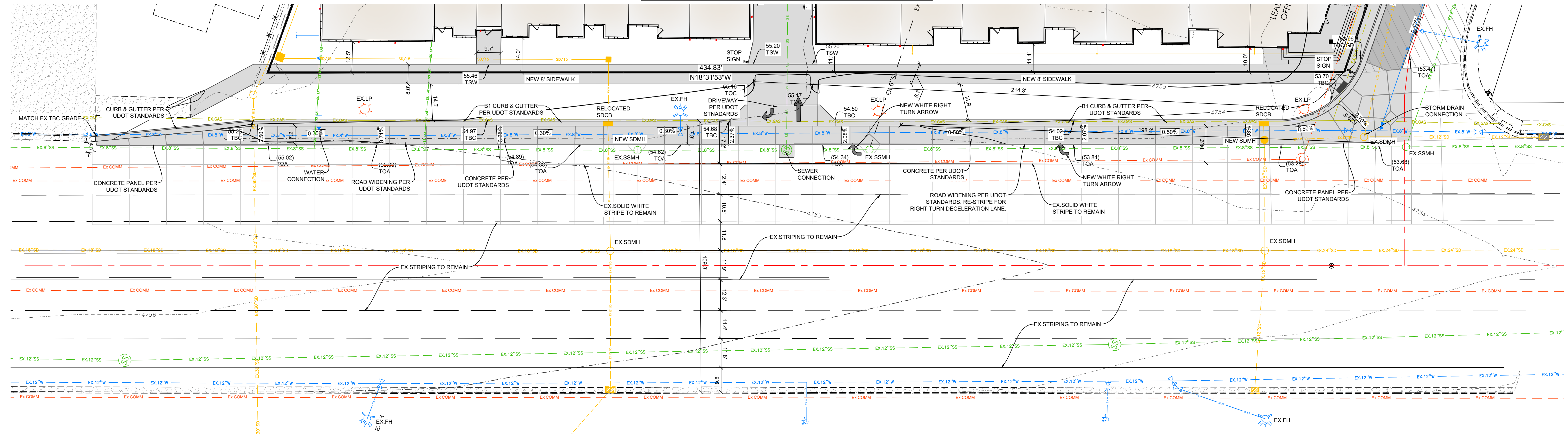
SHEET TITLE

**UDOT
Exhibit**

SHEET NO.
C500



STATE STREET - EXISTING



STATE STREET - PROPOSED WIDENING

NOTE:
1. SAWCUT EXISTING CONCRETE ON EXISTING JOINT LINE.
2. CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX SLOPE FROM EDGE OF CONCRETE TO LIP OF GUTTER

UDOT Notes:

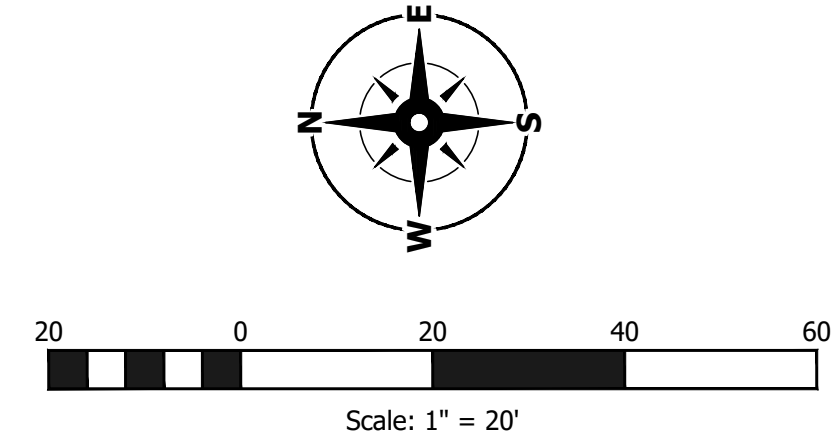
- ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATION SECTION OF THE ENCROACHMENT PERMIT.
- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
- OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
- COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

UDOT NOTE:
REPAIR OR REPLACE ANY DAMAGED CURB, GUTTER &/OR DRIVEWAY. CURB & GUTTER TO BE TYPE B1 CURB, DRIVEWAY TO BE CONSTRUCTED AS GW3A (2017 UDOT DRAWING)

ALL TRENCHES TO BE REPAIRED WITH CONCRETE FOUND IN THE DETAILS FOUND ON THE FOLLOWING SHEETS.

UTILITY WORK REQUIRES SEPARATE PERMITTING, CONTRACTOR TO APPLY DIRECTLY W/ UDOT AT LEAST 30 DAYS IN ADVANCE.

ANY DAMAGED PAINT STRIPING DURING CONSTRUCTION MUST BE REDONE.



Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



THOMAS C:\Users\Thomas.WD\OneDrive\Dropbox\Projects\102-13 Orem Art Loft\102-CAD\01-AutoCAD\Orem Art Loft.dwg 6/19/2024 4:00 PM

Utility Plan

SEE SHEET 401 FOR WATER LINE CONTINUATION

- NOTES:
- AT LEAST THREE FEET (3') OF HORIZONTAL SEPARATION AND ONE FOOT (1') VERTICAL SEPARATION MUST BE MAINTAINED FROM CITY UTILITIES.
 - ALL UTILITIES SHALL NOT BE INSTALLED UNDER COVERED PARKING AREAS AND SHALL BE INSTALLED ACCORDING TO CHAPTER 21-4-6 OF THE OREM CITY CODE.
 - EXISTING 8" WATER MAIN IN STATE STREET IS STEEL. SPECIAL FITTINGS AT THE CONNECTION POINTS WILL BE REQUIRED.
 - COORDINATE IRRIGATION CONNECTIONS FROM THE IRRIGATION PLANS. NOTE THAT AN RPZ BACKFLOW ASSEMBLY IS REQUIRED ON THE CONNECTION.
 - ROOF DRAINS ARE TO DAYLIGHT INTO LANDSCAPING. COORDINATE LOCATIONS WITH THE ARCHITECTURAL PLANS.
 - ROOF DRAINS THAT DAYLIGHT MUST BE EQUIPPED WITH A 3" WIDE X 5' LONG AREA OF 2"-5" MINUS RIP RAP.
 - FINAL ROOF TOP AMENITIES, PARKING GARAGE, AND COURTYARD DESIGNS/GRADING WILL BE COMPLETED BY THE ARCHITECT/MEP. FLOWS AND DRAIN BOXES ARE SHOWN SOLELY FOR THE PURPOSE TO SHOW WHERE EACH AREA IS DRAINING.
 - THE COURTYARD/POOL AREA IS TO DRAIN TO THE PUMP HOUSE LOCATION. COORDINATE WITH THE MEP/POOL DESIGNER.



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

PROJECT TITLE
Orem Art Loft

841 South State Street,
Salt Lake City, Utah

REV. DATE DESCRIPTION

REV.	DATE	DESCRIPTION
2	06-19-24	UPDATE TO CITY COMMENTS
1	04-19-24	UPDATE TO CITY COMMENTS
0	01-31-24	INITIAL SUBMITTAL TO CITY

REVISIONS

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Date: 05 / 29 / 2023
Proj. No. 102 - 13

SHEET TITLE

Utility Plan

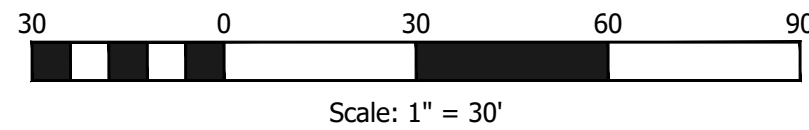
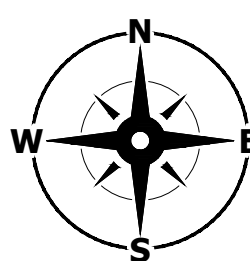
SHEET NO.

C400

State Street
18" PUBLIC RIGHT-OF-WAY

400 East

900 South



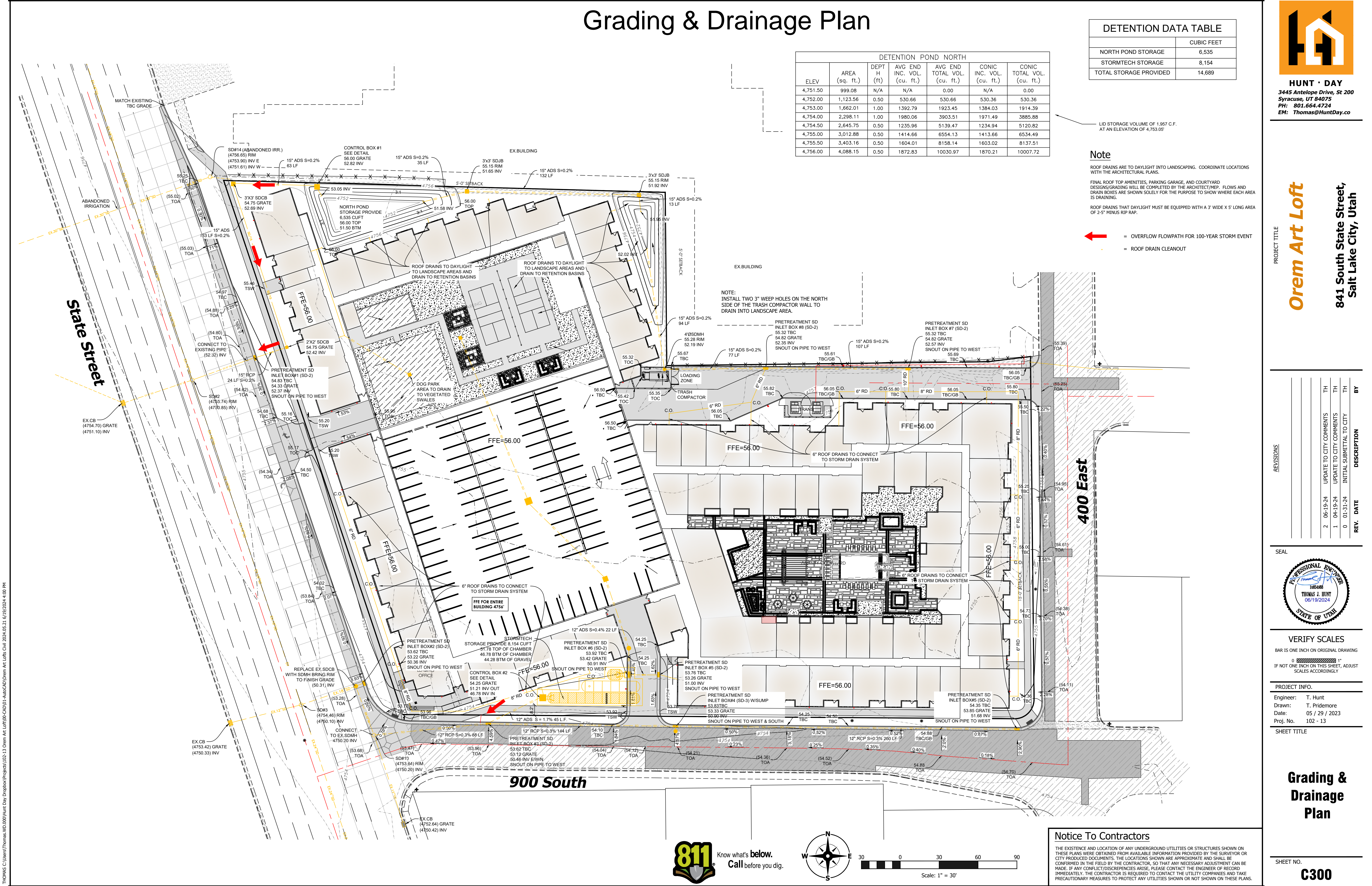
Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



Know what's below.
Call before you dig.

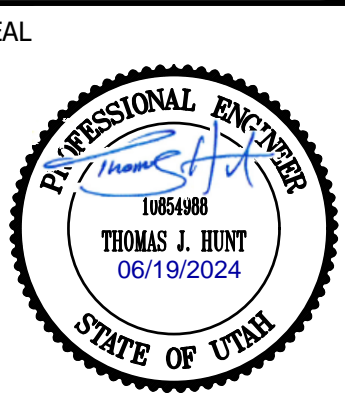
Grading & Drainage Plan



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

PROJECT TITLE
Orem Art Loft
841 South State Street,
Salt Lake City, Utah

REV.	DATE	DESCRIPTION	BY
2	06-19-24	UPDATE TO CITY COMMENTS	TH
1	04-19-24	UPDATE TO CITY COMMENTS	TH
0	01-31-24	INITIAL SUBMITTAL TO CITY	TH



VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" = 30'
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.
Engineer: T. Hunt
Drawn: T. Pridemore
Date: 05 / 29 / 2023
Proj. No. 102 - 13

Grading & Drainage Plan

SHEET NO.
C300

Photometric Plan

GENERAL NOTES

1. TENANT EXTERIOR DOORS ARE NOT CONSIDERED PATHS OF EGRESS.
2. PARKING LOT IS INTERIOR TO THE BUILDING.

Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	S		34	WAC Lighting	WS-W1724	LED Wall Sconce	1	1590	0.0	36.5629
	D		5	Lithonia Lighting	LDN6 30/20 LOGWR	6IN LDN, 3000K, 2000LM, WHITE, CR80	1	1813	0.9	22.52
	W		8	Lithonia Lighting	WPX2 LED 30K Mvolt	WPX2 LED wallpack 6000lm 3000K color temperature 120-277 Volt	1	5719	0.9	47.21

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	1.1 fc	23.1 fc	0.0 fc	N/A	N/A
Property Line	+	0.3 fc	3.4 fc	0.0 fc	N/A	N/A

OREM ART LOFTS

900 S. STATE STREET

OREM CITY, UTAH COUNTY, UTAH

STAMP

REVISIONS



PROJECT #: 24052
DRAWN BY: AP
CHECKED BY: AP
DATE: 7/03/2024
AMP ELECTRICAL ENGINEERING, LLC - 2024
SHEET TITLE:


SITE PHOTOMETRIC PLAN

ES001






1 SITE PHOTOMETRIC PLAN




SCALE: 1" = 30'-0"

Photometric Plan (continued)

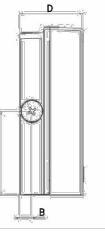
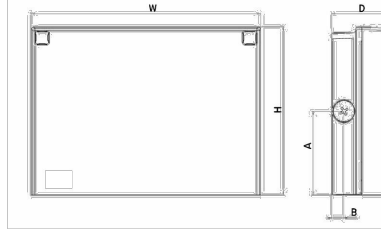


WPX LED Wall Packs





Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location	Weight
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm) 6.1 lbs (2.8 kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm) 8.2 lbs (3.7 kg)
WPX3	9.5" (24.1 cm)	13.6" (33.8 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm) 11.0 lbs (5.0 kg)

Ordering Information

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,550 lumens, 11W ¹	30K 3000K	None	Dark bronze
WPX1 LED P2	2,900 lumens, 24W	40K 4000K	Emergency battery backup, CEC compliant (4W, 0°C min) ²	White
WPX2 LED	6,000 lumens, 47W	50K 5000K	Emergency battery backup, CEC compliant (14W, -20°C min) ²	Black
WPX3 LED	9,200 lumens, 69W		Emergency battery backup, CEC compliant (14W, -20°C min) ²	Black

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine configurations consist of high-efficiency LEDs and LED lumen maintenance of LG/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection.
- Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V or PE options.

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows pole-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installation with LEDs facing downwards.


LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSAA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/customerresources/terms_and_conditions.aspx


Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

One Lithonia Way • Cary, Georgia 30013 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

WPX LED
Rev. 07/01/24



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3.34" total adjustment. Two combination 1/2" and 1/4" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out), No. 12 RWG conductors, rated for 90°C.

Accommodates 12"–24" post spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step MacAdam Ellipse; 80 CRI minimum, 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

A+ CAPABLE LUMINAIRE — This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning when used with Acuity Brands control products. All configurations of this luminaire are calibrated and tested to meet the Acuity Brands Specifications for chromatic consistency — including color rendering, color fidelity and color temperature tolerance around standard CIE chromaticity coordinates. To learn more about A+ standards, specifications, and testing visit www.acuitybrands.com/digital.

UGR — UGR < 22 for fixtures aimed at nadir with a cut-off equal to or less than 60deg, per CIE 117-1996 Discomfort Glare in Interior Lighting.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

LUMEN MAINTENANCE — 70% lumen maintenance at 60,000 hours. L70/60,000 hours

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product. Drivers are RoHS compliant.

GOVERNMENT PROCUREMENT — BAA — Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations.

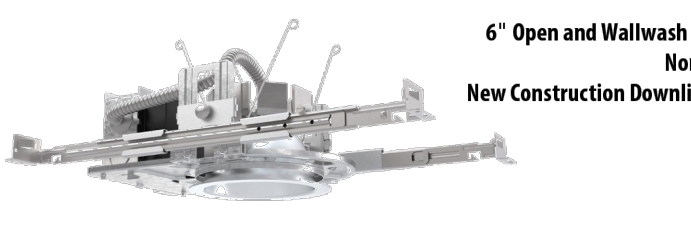
SABA — Build America Buy America. Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to www.acuitybrands.com/buy-american for additional information.



WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

LDN6 STATIC WHITE

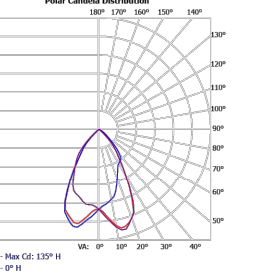
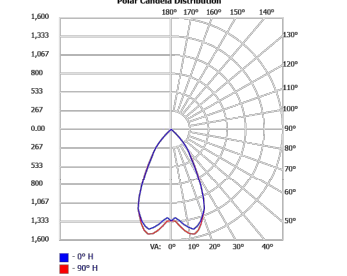


6' Open and Wallwash LED
Non-IC
New Construction Downlight



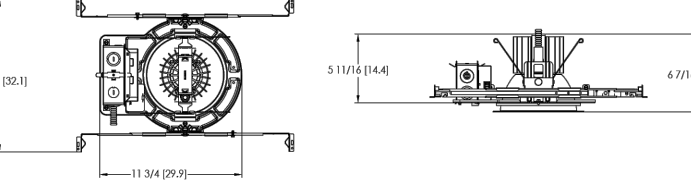
Open Trim Wallwash Trim

DISTRIBUTIONS

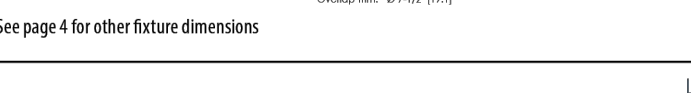


Open Wallwash


DIMENSIONS



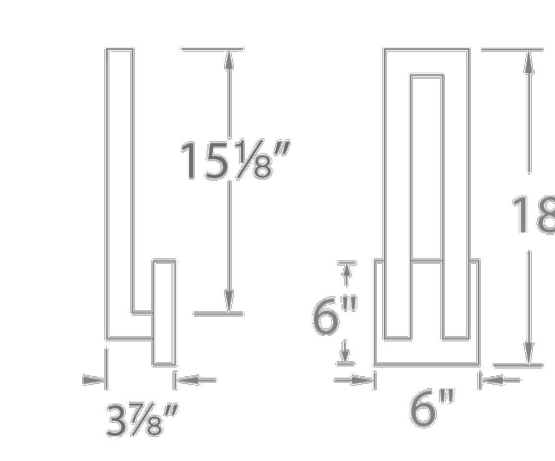
See page 4 for other fixture dimensions



LDN6



WS-W1718

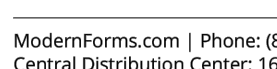


15 1/8" 18" 6" 6" 3 3/8"

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W1718 18"	3000K	Black	31.5W	1405	956
	3000K	BZ Bronze	31.5W	1405	956
	3000K	GH Graphite	31.5W	1405	956

Example: **WS-W1718-GH**
•For 277V special order, add an "F" before the finish: WS-W1718F-BK

For custom requests please contact customs@modernforms.com



COMMERCIAL OUTDOOR

ModernForms.com | Phone: (866) 810-6615 | Fax: (800) 526-2585
Central Distribution Center: 1600 Distribution Ct, Lithia Springs, GA 30122
Western Distribution Center: 1750 Archibald Avenue, Ontario, CA 91760

MODERN FORMS

OREM ART LOFTS


900 S. STATE STREET

OREM CITY, UTAH COUNTY, UTAH

STAMP

REVISIONS

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



AMP
Electrical Engineering, LLC
1699 Spring Creek Drive
Lehi, Utah
(801) 420-2153

PROJECT #:	24052
DRAWN BY:	AP
CHECKED BY:	AP
DATE:	7/03/2024
AMP ELECTRICAL ENGINEERING, LLC. - 2024	
SHEET TITLE:	
SITE PHOTOMETRIC SPEC SHEETS	
ES002	

Page 96 of 120

Neighborhood Meeting



Wright Development Group
Logan Johnson

1178 W Legacy Crossing Blvd, Ste. 100
Centerville, UT 84014
801-773-7339
logan@wrightdevelopment.com

July 20th, 2023

Re: Meadow Gold Dairy, Neighborhood Meeting

To Whom it May Concern,

Wright Development is holding a neighborhood meeting for a proposed development project located at 841 S State ST, Orem, UT 84097. The site is currently vacant. It was formerly used by Meadow Gold Dairy.

"Pursuant to Orem City Code Section 22-14-20(I), this meeting is being held to discuss the project with you. This is an opportunity for you to review the plans and provide input and recommendations regarding the project. This application has not yet been reviewed by the City and is subject to change during the review process."

The neighborhood meeting will be held at 6:30 PM on Thursday, August 3rd at:

SCERA Center for the Arts
Room 201 (2nd Floor)
745 South State
Orem, UT 84058

Plans will be made available, and representatives of the developer will be on site to answer questions and receive feedback.

For additional feedback, please contact logan@wrightdevelopment.com (801.773.7339).

Thank you.



Logan Johnson
Wright Development Group

Neighborhood Meeting Minutes:
8/3/2023

Applicant Logan Johnson with Wright Development had plans available via paper and on a projector screen. Approximately 25-30 residents attended. At least 2 city council members were present at some point during the meeting. The City Administrator and Attorney were also present.

Logan Johnson and Gonzalo Calquin from the development team were present.

The open house format turned into a group Q&A with the developer. Notes from the discussion are below:

Main concerns expressed:

1. While not unanimous, most of the people generally expressed a fundamental disagreement with the proposed land use. Many wanted typical state street commercial, or something other than what was proposed.
 - a. A repeated comment was that Orem was already one of the densest and largest cities in the State, and they felt that the time for high density residential had passed, especially so near to this neighborhood.
2. A lot of concern was expressed regarding on-street parking. Some ideas to address that include:
 - a. Make sure you have enough parking on site.
 - b. Consider eliminating first floor patios/balconies to discourage on street parking.
 - c. Consider building a fence around the street frontages to discourage on-street parking.
 - d. A few residents felt they value using the current on street parking and didn't think the area could handle more on street parking demand.
3. There was a suggestion to have the traffic study take a larger look at traffic impacts to the east (all the way to the Costco dead end potentially).
 - a. Traffic study needs to consider the demographic of the potential residents.
 - b. Traffic study needs to establish the already busy existing conditions, especially at peak hours.
 - c. Repeated comments about the crazy traffic through the neighborhood that exists right now to get to the light on 800.
4. Removing 1 or two levels from the building was expressed a number of times.
5. The access onto 400 was unpopular in this group. Most wanted only access on 900 and State. However, there was one gentleman who lived on 900 who preferred access only on state.
 - a. One idea suggested was to have the 400 E access be controlled for deliveries and garbage removal only.
6. There was a feeling by a few, some who left after 15 minutes or so, that the meeting was not helpful.



City Council Chambers, 56 N State Street

***** IMPORTANT DEVELOPMENT NOTICE *****

OREM ART LOFTS - SITE PLAN - Approving the site plan for Orem Art Lofts located generally at 841 South State Street in the C2 zone. The applicant is proposing to build a multi-family 4-story complex consisting of no more than 311 units. This project will wrap around the parking garage. This project complies with the conditions in the settlement agreement.

Additional information can be viewed on orem.org/planning under "Current Planning (Public Hearing Notices)" tab.

This is not a public hearing so no public comment will be received at the meeting. If you have questions or comments please contact staff prior to the meeting.

MOE, JON & MARILEE J
535 W 110TH 3144
NEW YORK, NY 10025

Planning Commission
Wed, Jul 17, 2024
4:30 pm



City Council Chambers, 56 N State Street

***** IMPORTANT DEVELOPMENT NOTICE *****

OREM ART LOFTS - SITE PLAN - Approving the site plan for Orem Art Lofts located generally at 841 South State Street in the C2 zone. The applicant is proposing to build a multi-family 4-story complex consisting of no more than 311 units. This project will wrap around the parking garage. This project complies with the conditions in the settlement agreement.

Additional information can be viewed on orem.org/planning under "Current Planning (Public Hearing Notices)" tab.

This is not a public hearing so no public comment will be received at the meeting. If you have questions or comments please contact staff prior to the meeting.

NIELSEN, BLAKE & MICHELLE S (ET AL)
22 TAVERN RD
STAFFORD, VA 22554

Planning Commission
Wed, Jul 17, 2024
4:30 pm



orem.org/planning under "Current Planning (Public Hearing Notices)" tab



orem.org/planning under "Current Planning (Public Hearing Notices)" tab

SONNTAG, RONALD (ET AL)
PO BOX 1121
CARY, NC 27512

SOUTHBAY HIGHLANDS LIMITED
PARTNERSHIP
%WALGREENS CO
PO BOX 1159
DEERFIELD, IL 60015

ORTON, DOUGLAS W & HELEN M
PO BOX 1200
OREM, UT 84059

CLOUD SPELL LLC
PO BOX 294
OREM, UT 84059

BARRERA, JOEL GOMEZ
PO BOX 793
PLEASANT GROVE, UT 84062

JC ROYAL GARDENS LLC (ET AL)
PO BOX 819
PROVO, UT 84603

HAAGAS PROPERTY MANAGEMENT
LC
PO BOX 95747
SOUTH JORDAN, UT 84095

8TH SOUTH CAR WASH LLC
PO BOX 970151
OREM, UT 84097

CSFW PROPERTIES LLC
PO BOX 970306
OREM, UT 84097

HIGH VALLEY PROPERTY HOLDINGS
LLC
%LAWRENCE, CHARLENE
PO BOX 970339
OREM, UT 84097

WORMLEY, DAVID A
PO BOX 970995
OREM, UT 84097

CABINLAND LLC
1 E CENTER STE 321
PROVO, UT 84606

CHRIS KILLPACK
15 N 920 E
OREM, UT 84097

NIELSEN, BLAKE & MICHELLE S (ET
AL)
22 TAVERN RD
STAFFORD, VA 22554

E & K PROPERTIES LLC
25 E MOUNTAIN VALE WY
WOODLAND HILLS, UT 84653

PRT PROPERTIES LLC
%THORLEY, PAUL
27 TETON DR
LINDON, UT 84042

S & W STATE STREET PROPERTIES
LC
%BABB, KRISTINE
33 S 1160 E
LINDON, UT 84042

SEARLE PROPERTIES LC
40 E 1120 N
AMERICAN FORK, UT 84003

CORP OF PRES BISHOP CHURCH OF
JESUS CHRIST OF LDS
50 E NORTH TEMPLE FL 22
SALT LAKE CITY, UT 84150

FRANDSEN, RUSSELL & MARALY
51 W CENTER ST # 404
OREM, UT 84057

JAMES HAWKES
55 WEST 500 SOUTH
OREM, UT 84058

FRAZIER, KEVIN R & HILDEGUNDE
70 N 1160 E
OREM, UT 84097

COMMON AREA
100 E CENTER ST
PROVO, UT 84606

HELENA KLEINLEIN
103 WEST 2170 SOUTH
OREM, UT 84058

SCOTT, FLOYD W & ANETTE W
119 MONOWOOD DR
FOLSOM, CA 95630

SMITH FAMILY HOLDINGS 2010 LLC
128 W 900 N STE D
SPANISH FORK, UT 84660

ALC LLC
--OR CURRENT RESIDENT--
156 E 800 SOUTH
OREM, UT 84058

FRAZIER, KEVIN R & HILDEGUNDE
--OR CURRENT RESIDENT--
156 E 850 SOUTH
OREM, UT 84058

JEFF LAMBSON
156 E 1060 N
OREM, UT 84057

CLEGG, ROBERT A & LAURIE
165 E 900 S
OREM, UT 84058

ADAMS, KENNETH H & ALISON (ET AL)
--OR CURRENT RESIDENT--
171 E 850 SOUTH
OREM, UT 84058

DAVE YOUNG
173 S COUNTRYSIDE LANE
OREM, UT 84058

BARRERA, JOEL GOMEZ
--OR CURRENT RESIDENT--
175 E 800 SOUTH
OREM, UT 84058

TUCKER, TAYLOR N & GEFREY T (ET AL)
175 E 900 S
OREM, UT 84058

NIMER RENTAL PROPERTIES LC
%JUAREZ, VALERIE J
175 S 200 W
OREM, UT 84058

SKOWRON, BETTY L & SEAN
176 E 800 S
OREM, UT 84058

FRAZIER, KAREN (ET AL)
--OR CURRENT RESIDENT--
176 E 850 SOUTH
OREM, UT 84058

ZCOM LLC
--OR CURRENT RESIDENT--
176 E 900 SOUTH
OREM, UT 84058

2 RICH LLC
--OR CURRENT RESIDENT--
183 E 840 SOUTH
OREM, UT 84058

PETERSON, MARK L
185 N MAIN ST
SPANISH FORK, UT 84660

MAVERIK INC
%REAL ESTATE
185 S STATE ST STE 800
SALT LAKE CITY, UT 84111

MARCUM, STEVEN K
188 S 1700 E
SPRINGVILLE, UT 84663

FRAZIER ENTERPRISES LLC
--OR CURRENT RESIDENT--
189 E 860 SOUTH
OREM, UT 84058

8TH SOUTH CAR WASH LLC
--OR CURRENT RESIDENT--
190 E 800 SOUTH
OREM, UT 84058

UAUSA UT LLC - 190 E 850 S
PROTECTED SERIES
--OR CURRENT RESIDENT--
190 E 850 SOUTH
OREM, UT 84058

BARRY, JAY MACKEY & SUSANN (ET AL)
--OR CURRENT RESIDENT--
191 E 850 SOUTH
OREM, UT 84058

FRAZIER ENTERPRISES LLC
193 E 860 S
OREM, UT 84058

CARINTHIA PROPERTIES LLC
--OR CURRENT RESIDENT--
194 E 860 SOUTH
OREM, UT 84058

DEXTER, WAYNE R & DONNA LEE
--OR CURRENT RESIDENT--
195 E 800 SOUTH
OREM, UT 84058

AB BLAKE LLC
--OR CURRENT RESIDENT--
195 E 840 SOUTH
OREM, UT 84058

BAKER, TRAVIS
195 E 900 S
OREM, UT 84058

ALLIANCE PROPERTIES LLC
--OR CURRENT RESIDENT--
199 E 840 SOUTH
OREM, UT 84058

ROCK CANYON CONDOS LLC (ET AL)
--OR CURRENT RESIDENT--
202 E 800 SOUTH
OREM, UT 84058

ROCK CANYON CONDOS LLC (ET AL)
202 E 800 S STE 102
OREM, UT 84058

E & K PROPERTIES LLC
--OR CURRENT RESIDENT--
203 E 860 SOUTH
OREM, UT 84058

SMITH FAMILY HOLDINGS 2010 LLC
--OR CURRENT RESIDENT--
204 E 860 SOUTH
OREM, UT 84058

E & K PROPERTIES LLC
--OR CURRENT RESIDENT--
207 E 860 SOUTH
OREM, UT 84058

SMITH FAMILY HOLDINGS 2010 LLC
--OR CURRENT RESIDENT--
208 E 860 SOUTH
OREM, UT 84058

ALLIANCE PROPERTIES LLC
--OR CURRENT RESIDENT--
211 E 840 SOUTH
OREM, UT 84058

SMITH, STANLEY & MARY KAYE
--OR CURRENT RESIDENT--
214 E 800 SOUTH
OREM, UT 84058

CREER, ANDREW
215 E 1000 S
OREM, UT 84058

SMITH, STANLEY & MARY KAYE
--OR CURRENT RESIDENT--
218 E 800 SOUTH
OREM, UT 84058

PANIN, ALEXANDER & MARINA
--OR CURRENT RESIDENT--
222 E 860 SOUTH
OREM, UT 84058

KAWAKAMI, PAUL W
--OR CURRENT RESIDENT--
226 E 860 SOUTH
OREM, UT 84058

WOMACK, STEPHEN GLEN (ET AL)
233 E 1000 S
OREM, UT 84058

UTAH VALLEY ISLAMIC CENTER
233 W 1060 S
OREM, UT 84058

SQUIRES, BRYAN
--OR CURRENT RESIDENT--
236 E 1000 SOUTH
OREM, UT 84058

BOLEY, KAY BENSON (ET AL)
239 S RIDGECREST DR
OREM, UT 84057

MATTHEWS, VICKI L
--OR CURRENT RESIDENT--
244 E 1000 SOUTH
OREM, UT 84058

SA PAGE PRPERTIES LLC
--OR CURRENT RESIDENT--
245 E 930 SOUTH
OREM, UT 84058

ROUGH COUNTRY HOLDINGS LLC
246 W 1340 N
OREM, UT 84057

MR INSURANCE LC
--OR CURRENT RESIDENT--
249 E 930 SOUTH
OREM, UT 84058

MR INSURANCE LC
251 E 930 S
OREM, UT 84058

KSC OREM OFFICE LLC
--OR CURRENT RESIDENT--
253 E 930 SOUTH
OREM, UT 84058

CHRISTIANSSEN, NANCY B
263 E 1000 S
OREM, UT 84058

SOLAR PROPERTIES LLC
--OR CURRENT RESIDENT--
266 E 930 SOUTH
OREM, UT 84058

BROWN LEGACY ESTATES LLC
267 E 1000 S
OREM, UT 84058

DICKERSON FAMILY LLC
--OR CURRENT RESIDENT--
270 E 930 SOUTH
OREM, UT 84058

EKINS, JEREL
--OR CURRENT RESIDENT--
272 E 1000 SOUTH
OREM, UT 84058

HATCH, JACE N
275 E 1000 S
OREM, UT 84058

SOLITUDE INVESTMENTS LLC
--OR CURRENT RESIDENT--
276 E 950 SOUTH
OREM, UT 84058

CSFW PROPERTIES LLC
--OR CURRENT RESIDENT--
277 E 930 SOUTH
OREM, UT 84058

283 E 950 S OREM LLC
--OR CURRENT RESIDENT--
277 E 950 SOUTH
OREM, UT 84058

SOLITUDE INVESTMENTS LLC
--OR CURRENT RESIDENT--
280 E 950 SOUTH
OREM, UT 84058

CSFW PROPERTIES LLC
--OR CURRENT RESIDENT--
281 E 930 SOUTH
OREM, UT 84058

283 E 950 S OREM LLC
--OR CURRENT RESIDENT--
281 E 950 SOUTH
OREM, UT 84058

J & E HOEN PROPERTIES LLC
--OR CURRENT RESIDENT--
285 E 950 SOUTH
OREM, UT 84058

WASATCH BEHAVIORAL HEALTH
SPECIAL SERVICE DISTRICT
--OR CURRENT RESIDENT--
286 E 930 SOUTH
OREM, UT 84058

VAN TASSEL, GLADE W (ET AL)
--OR CURRENT RESIDENT--
287 E 930 SOUTH
OREM, UT 84058

BROWN, KATHERINE A & CHAD J
287 E 1000 S
OREM, UT 84058

LANAE MILLETT
288 W 1500 N
OREM, UT 84057

MTN PROPERTIES LLC
--OR CURRENT RESIDENT--
289 E 950 SOUTH
OREM, UT 84058

WASATCH BEHAVIORAL HEALTH
SPECIAL SERVICE DISTRICT
--OR CURRENT RESIDENT--
290 E 930 SOUTH
OREM, UT 84058

CRANE, LORI DEE
--OR CURRENT RESIDENT--
291 E 930 SOUTH
OREM, UT 84058

MTN PROPERTIES LLC
291 E 950 S
OREM, UT 84058

BRODERICK & HENDERSON
CONSTRUCTION LC
--OR CURRENT RESIDENT--
293 E 950 SOUTH
OREM, UT 84058

LILIE MAY LLC
--OR CURRENT RESIDENT--
294 E 950 SOUTH
OREM, UT 84058

BRODERICK & HENDERSON
CONSTRUCTION LC
295 E 950 S
OREM, UT 84058

PHILLIPS, CAROLYN L (ET AL)
295 E 1000 S
OREM, UT 84058

KHE INVESTMENTS LLC
--OR CURRENT RESIDENT--
297 E 950 SOUTH
OREM, UT 84097

HIGH VALLEY PROPERTY HOLDINGS
LLC
--OR CURRENT RESIDENT--
301 E 1000 SOUTH
OREM, UT 84058

310 E 800 S OREM LLC (ET AL)
--OR CURRENT RESIDENT--
310 E 800 SOUTH
OREM, UT 84097

UNIVERSAL CAMPUS FEDERAL
CREDIT UNION
--OR CURRENT RESIDENT--
311 E 800 SOUTH
OREM, UT 84058

FLINDERS, MATTHEW P
--OR CURRENT RESIDENT--
333 E 720 SOUTH
OREM, UT 84058

CITY OF OREM THE
--OR CURRENT RESIDENT--
343 E 720 SOUTH
OREM, UT 84058

HUNSAKER, TODD E & TAMMY D
344 W 1420 S
PAYSON, UT 84651

SCERA CORPORATION
--OR CURRENT RESIDENT--
345 E 800 SOUTH
OREM, UT 84058

WALKER, JULANE
351 E 720 S
OREM, UT 84058

ALPINE CREDIT UNION
--OR CURRENT RESIDENT--
351 E 800 SOUTH
OREM, UT 84058

HIGH VALLEY PROPERTY HOLDINGS
LLC
--OR CURRENT RESIDENT--
359 E 1000 SOUTH
OREM, UT 84058

UNIVERSAL CAMPUS FEDERAL
CREDIT UNION
%ACCOUNTING/FACILITIES
360 W 4800 N
PROVO, UT 84604

ADAMS, KENNETH H & ALISON (ET
AL)
361 W 1200 N
AMERICAN FORK, UT 84003

SMITH, STANLEY & MARY KAYE
362 N 2000 W
PLEASANT GROVE, UT 84062

BOLEY, KAY BENSON (ET AL)
--OR CURRENT RESIDENT--
365 E 1010 SOUTH
OREM, UT 84097

BOSH AND HOOK LLC
366 E 900 S
OREM, UT 84097

PANIN, ALEXANDER & MARINA
370 N PFEIFFERHORN DR
ALPINE, UT 84004

HARGREAVES, MATTHEW & BONNIE
--OR CURRENT RESIDENT--
371 E 720 SOUTH
OREM, UT 84058

1031 PROS TITLEHOLDER 1206 LLC
--OR CURRENT RESIDENT--
371 E 800 SOUTH
OREM, UT 84058

ARMSTRONG, FRANK PHILIP &
REBECCA MC RAE BENNION
371 S PALISADE DR
OREM, UT 84097

STOX POSTING AND PUBLISHING
LLC
372 E 720 S
OREM, UT 84058

STOX POSTING AND PUBLISHING
LLC
--OR CURRENT RESIDENT--
374 E 720 SOUTH
OREM, UT 84058

EDWARDS, BRUCE
--OR CURRENT RESIDENT--
375 E 720 SOUTH
OREM, UT 84058

1031 PROS TITLEHOLDER 1206 LLC
--OR CURRENT RESIDENT--
375 E 800 SOUTH
OREM, UT 84058

CLOUD SPELL LLC
--OR CURRENT RESIDENT--
375 E 1010 SOUTH
OREM, UT 84097

HARRIS & TAYLOR LLC (ET AL)
--OR CURRENT RESIDENT--
378 E 720 SOUTH
OREM, UT 84058

PAH LLC
381 W 800 N
LINDON, UT 84042

HARRIS & TAYLOR (ET AL)
--OR CURRENT RESIDENT--
382 E 720 SOUTH
OREM, UT 84058

CHAMBERLAIN, BRADEN
384 E 1010 S
OREM, UT 84097

LUND INVESTMENTS LLC (ET AL)
--OR CURRENT RESIDENT--
385 E 800 SOUTH
OREM, UT 84058

WDG OREM COMMONS LLC
--OR CURRENT RESIDENT--
385 E 900 SOUTH
OREM, UT 84097

HARRIS & TAYLOR LLC (ET AL)
--OR CURRENT RESIDENT--
386 E 720 SOUTH
OREM, UT 84058

HARRISON, SCOTT J
--OR CURRENT RESIDENT--
387 E 720 SOUTH
OREM, UT 84058

CROPPER, GRAIG & LEWISA
395 E 720 S
OREM, UT 84058

WDG OREM COMMONS LLC
--OR CURRENT RESIDENT--
395 E 900 SOUTH
OREM, UT 84097

ASPINALL, KINA T
395 E 1010 S
OREM, UT 84097

ALLRED, GEORGE L & COLLETT G
(ET AL)
--OR CURRENT RESIDENT--
396 E 1010 SOUTH
OREM, UT 84097

ELDER, TERESA (ET AL)
--OR CURRENT RESIDENT--
400 E 1010 SOUTH
OREM, UT 84097

HIGHT, ERIN MARIAH & BARRY (ET
AL)
404 E 1010 S
OREM, UT 84097

AVILA, ANTONIO
--OR CURRENT RESIDENT--
407 E 800 SOUTH
OREM, UT 84097

NIELSEN, GAIL MCQUIVEY (ET AL)
--OR CURRENT RESIDENT--
409 E 1010 SOUTH
OREM, UT 84097

ULLOA, SARA T
411 E 750 S
OREM, UT 84097

STIKA, TAYLOR
413 E 750 S
OREM, UT 84097

BIRD, VICTORIA COMES OUT
414 E 750 S
OREM, UT 84097

PAH LLC
--OR CURRENT RESIDENT--
415 E 900 SOUTH
OREM, UT 84097

WALKER, DARREN K & TIFFANY C
416 E 750 S
OREM, UT 84097

SHELDON, LINDA A
416 E 900 S
OREM, UT 84097

WALTON, J TALMAGE & NIKKI
--OR CURRENT RESIDENT--
416 E 1010 SOUTH
OREM, UT 84097

MOE, JON & MARILEE J
--OR CURRENT RESIDENT--
420 E 850 SOUTH
OREM, UT 84097

WAGSTAFF, BRIAN & MARYBETH
425 E 750 S
OREM, UT 84097

POLATIS, TAYLOR J & AUBREE RAE
425 E 900 S
OREM, UT 84097

CHAVARRIA, VICTOR MANUEL (ET AL)
425 E 1010 S
OREM, UT 84097

FOGG, JOHN & JANELLE
426 E 750 S
OREM, UT 84097

FOSTER, ROBERT & JANEL
426 E 900 S
OREM, UT 84097

BECKSTRAND, VERLA VILATE (ET AL)
426 E 1010 S
OREM, UT 84097

YOUNG, APAULA SULIMONI
MOLIFUA
427 E 750 S
OREM, UT 84097

GRAF, BRIAN & SHARLA (ET AL)
428 E 750 S
OREM, UT 84097

BLACK SAILS INVESTMENTS LLC
430 E 850 S
OREM, UT 84097

ELITE HOME GROUP LLC
432 W 700 N
OREM, UT 84057

DORT, MARIE FENISE & BEDFORT
ILLENS (ET AL)
433 E 800 S
OREM, UT 84097

BRODERICK, JERRALD RICHARD &
HILLDRAFAY HEIDY
434 E 700 S
OREM, UT 84097

FLORES, FRANCISCO LOPEZ
435 E 900 S
OREM, UT 84097

ROWLEY, BETTY LOU
436 E 1010 S
OREM, UT 84097

SONNTAG, RONALD (ET AL)
--OR CURRENT RESIDENT--
439 E 750 SOUTH
OREM, UT 84097

DODDS, JAMES TERRY & CATHERINE
JO VANCE (ET AL)
440 E 750 S
OREM, UT 84097

CORP OF PRES BISHOP CHURCH OF
JESUS CHRIST OF LDS
--OR CURRENT RESIDENT--
440 E 800 SOUTH
OREM, UT 84097

NIELSEN, BLAKE & MICHELLE S (ET AL)
--OR CURRENT RESIDENT--
440 E 850 SOUTH
OREM, UT 84097

HAPPY DAY FAMILY TRUST LLC
441 E 750 S
OREM, UT 84097

HOLLY HERBERT FAMILY TRUST 03-
12-2021 (ET AL)
442 E 750 S
OREM, UT 84097

THOMPSON, TERRI SUE
444 E 700 S
OREM, UT 84097

STEVER, CLAUDIA A
445 E 1010 S
OREM, UT 84097

FOWLES, SHARLA
446 E 900 S
OREM, UT 84097

D&M BROADBENT PROPERTIES LLC
--OR CURRENT RESIDENT--
447 E 900 SOUTH
OREM, UT 84097

HUGHES, SPENCER R & KRISTINE (ET AL)
448 E 1010 S
OREM, UT 84097

ALVAREZ, XINNIA
450 E 850 S
OREM, UT 84097

WILSON, TYLER J (ET AL)
451 E 800 S
OREM, UT 84097

PLANTE, KENNETH L & KATHERINE
L
456 E 700 S
OREM, UT 84097

AHLBORN, ERNEST S & DOROTHY N
458 E 1010 S
OREM, UT 84097

QUINN, ALEX (ET AL)
459 E 900 S
OREM, UT 84097

GRANADOS, ERICK J & M CRISTINA
460 E 850 S
OREM, UT 84097

SWAIN, SCOTT POULSON & LEANN
ALLRED (ET AL)
465 E 850 S
OREM, UT 84097

MAULDIN, R KYLE & AMANDA
--OR CURRENT RESIDENT--
466 E 1010 SOUTH
OREM, UT 84097

WINN, STEPHEN KENT
468 E 700 S
OREM, UT 84097

MCCULLAGH, THOMAS S
471 E 800 S
OREM, UT 84097

CHRISTENSEN, DANE & BREONAH
471 E 900 S
OREM, UT 84097

JACOBSON, WENDY
475 E 800 S
OREM, UT 84097

WALKER, MARK J & CHRISTINA J
--OR CURRENT RESIDENT--
475 E 1010 SOUTH
OREM, UT 84097

JONES, JOYCE P (ET AL)
--OR CURRENT RESIDENT--
483 E 800 SOUTH
OREM, UT 84097

PADBURY, CARSON & BAYLEY
483 E 900 S
OREM, UT 84097

BYLUND, STERLING M & JANET T
484 E 700 S
OREM, UT 84097

THOMAS MACDONALD
489 NORTH PALISADES DR
OREM, UT 84097

HAPPY DAY FAMILY TRUST LLC
--OR CURRENT RESIDENT--
495 E 800 SOUTH
OREM, UT 84097

GLEDHILL, GABRIEL D & SARAH A
495 E 1010 S
OREM, UT 84097

KLEINLEIN PROPERTIES LLC
--OR CURRENT RESIDENT--
509 E 800 SOUTH
OREM, UT 84097

CUNNINGHAM, BRETTON
510 E 900 S
OREM, UT 84097

ALLRED, GEORGE L & COLLETT G
(ET AL)
510 W 120 N
OREM, UT 84057

MATTHEWS, VICKI L
511 W 3700 N
PROVO, UT 84604

CITY OF OREM
520 E 800 S
OREM, UT 84097

KOERNER, ROSALIE R
523 E 800 S
OREM, UT 84097

ADAMS, JERRY LEE
525 E 900 S
OREM, UT 84097

CAMPBELL, RACHEL
526 E 900 S
OREM, UT 84097

GESSEL, MARK H
533 E 1000 S
OREM, UT 84097

MOE, JON & MARILEE J
535 W 110TH 3144
NEW YORK, NY 10025

SPRAGUE, KYLER & ELLERY
543 E 800 S
OREM, UT 84097

ALVIS, LAURA A
549 E 800 S
OREM, UT 84097

DICKERSON FAMILY LLC
%DICKERSON, BRUCE R
560 S MAIN ST # 1
SPRINGVILLE, UT 84663

OREM BOULEVARD LLC
573 S 560 W
OREM, UT 84058

ASHTON, GARY L
580 E 3750 N
PROVO, UT 84604

310 E 800 S OREM LLC (ET AL)
590 S STATE ST
OREM, UT 84058

SA PAGE PRPERTIES LLC
600 SUNSET DR
SANTAQUIN, UT 84655

HARRISON, SCOTT J
607 E 445 S
OREM, UT 84097

BLAKE, SIMON & ANNE
617 N 800 E
PROVO, UT 84606

SQUIRES, BRYAN
638 S 650 W
FARMINGTON, UT 84025

TAYLOR AIR LLC
641 N 3800 W
SALT LAKE CITY, UT 84122

MADLINE KOMEN
653 W. 1360 NORTH
OREM, UT 84057

CUEVAS, SERGIO AARON &
SHAUNNA B (ET AL)
--OR CURRENT RESIDENT--
683 S 400 EAST
OREM, UT 84097

NIMER RENTAL PROPERTIES LC
--OR CURRENT RESIDENT--
690 S STATE
OREM, UT 84058

CITY OF OREM (ET AL)
--OR CURRENT RESIDENT--
701 S STATE ST
OREM, UT 84058

SUTTON, GLENN & DIANE (ET AL)
702 N 980 W
OREM, UT 84057

NADG NNN RIS (ORE-UT) LP
--OR CURRENT RESIDENT--
703 S STATE ST
OREM, UT 84058

LAUDIE, BENJAMIN & RAQUEL
713 S 400 E
OREM, UT 84097

HANSEN, H BENJAMIN & SARA
725 S 400 E
OREM, UT 84097

PETERSON, BRADLEY BURBIDGE &
ALICE LAREE
730 S 500 E
OREM, UT 84097

HERBERT, JEANETTE
736 W 550 S
OREM, UT 84058

NIMER RENTAL PROPERTIES LC
--OR CURRENT RESIDENT--
740 S STATE ST
OREM, UT 84058

PRT PROPERTIES LLC
--OR CURRENT RESIDENT--
744 S 400 EAST
OREM, UT 84058

SEW VINTAGE LLC
744 S STATE ST
OREM, UT 84058

SCERA CORPORATION
745 S SATE ST
OREM, UT 84058

SHARON COMMUNITY EDUCATION
AND RECREATION ASSOCIATION
745 S STATE
OREM, UT 84058

CE PROPERTY HOLDINGS LLC
748 E 100 S
PLEASANT GROVE, UT 84062

PRT PROPERTIES LLC
--OR CURRENT RESIDENT--
748 S 400 EAST
OREM, UT 84058

ROUGH COUNTRY HOLDINGS LLC
--OR CURRENT RESIDENT--
748 S STATE ST
OREM, UT 84058

WASATCH BEHAVIORAL HEALTH
SPECIAL SERVICE DISTRICT
750 N FREEDOM BLVD # 300
PROVO, UT 84601

REID, RICHARD M & SHAUNA L
751 S 500 E
OREM, UT 84097

OVESON, ANDREA A (ET AL)
--OR CURRENT RESIDENT--
752 S 500 EAST
OREM, UT 84097

HARRIS & TAYLOR LLC (ET AL)
--OR CURRENT RESIDENT--
754 S 400 EAST
OREM, UT 84058

JC ROYAL GARDENS LLC (ET AL)
--OR CURRENT RESIDENT--
756 S 400 EAST UNIT# 100-101
OREM, UT 84058

MANGUM, SANDRA STONEHOCKER
(ET AL)
764 S 500 E
OREM, UT 84097

ROBINSON, MARK W & DOREEN S
765 S 500 E
OREM, UT 84097

ELITE HOME GROUP LLC
--OR CURRENT RESIDENT--
765 S OREM BLVD
OREM, UT 84058

JC ROYAL GARDENS LLC (ET AL)
--OR CURRENT RESIDENT--
768 S 400 EAST
OREM, UT 84058

FRANDSEN, RUSSELL & MARALY
--OR CURRENT RESIDENT--
773 S 400 EAST
OREM, UT 84097

BARRY, JAY MACKEY & SUSANN (ET AL)
773 W 550 S
OREM, UT 84058

ROOS PROPERITES LLC
774 S 400 E
OREM, UT 84097

K COREM LLC (ET AL)
--OR CURRENT RESIDENT--
774 S STATE ST
OREM, UT 84058

JUDD, JOHN P & ESTHER S
775 S 500 E
OREM, UT 84097

NYSTROM, SUZANNE
776 S 500 E
OREM, UT 84097

ROOS PROPERITES LLC
--OR CURRENT RESIDENT--
778 S 400 EAST
OREM, UT 84058

OVESON, ANDREA A (ET AL)
782 REDFORD DR
PROVO, UT 84604

DEL CAMPO, NORMA MARTIN &
MARIO MARTIN
--OR CURRENT RESIDENT--
785 S 400 EAST
OREM, UT 84097

MAVERIK INC
--OR CURRENT RESIDENT--
795 S STATE ST
OREM, UT 84058

WASATCH PROFESSIONAL
BUILDINGS LLC
805 S STATE ST
OREM, UT 84097

TMJ AND SLEEP BUILDING LLC
--OR CURRENT RESIDENT--
812 S STATE ST
OREM, UT 84058

CROSS, EDWARD K & PATTY ANN S
817 S 500 E
OREM, UT 84097

BARBER, ERIC
818 19TH ST
SANTA MONICA, CA 90403

CABINLAND LLC
--OR CURRENT RESIDENT--
825 S 220 EAST
OREM, UT 84058

GREEN BIRD PROPERTIES LLC
--OR CURRENT RESIDENT--
829 S 220 EAST
OREM, UT 84058

GREEN BIRD PROPERTIES LLC
--OR CURRENT RESIDENT--
833 S 220 EAST
OREM, UT 84058

BARSH, STEPHEN JAMES
--OR CURRENT RESIDENT--
836 S 500 EAST
OREM, UT 84097

MOORE, JARED & JENNIFER
837 S 500 E
OREM, UT 84097

SANDERS, BRIAN P & ASHLEY A
838 S 550 E
OREM, UT 84097

CAPITAL COMMUNITY BANK INC
--OR CURRENT RESIDENT--
839 S 220 EAST
OREM, UT 84058

CARINTHIA PROPERTIES LLC
--OR CURRENT RESIDENT--
845 S 220 EAST
OREM, UT 84058

FLORES, OSCAR A & LOURDES L
845 S 550 E
OREM, UT 84097

FORSYTH, SHAUNA G
846 S 500 E
OREM, UT 84097

PARRY, JACOB A
847 S 500 E
OREM, UT 84097

HILLMAN, MARTIN EARL & JULIE
848 S 500 E
OREM, UT 84097

ECHOLS, GARREN (ET AL)
%WALKER, KARSTEN & JULIE
848 W 260 S
OREM, UT 84058

WHITTLE, NATALIE LYNN
850 S 550 E
OREM, UT 84097

SOUTHBAY HIGHLANDS LIMITED
PARTNERSHIP
--OR CURRENT RESIDENT--
850 S STATE ST
OREM, UT 84097

SOUTHERLAND, MATTHEW &
SANDRA
855 S 500 E
OREM, UT 84097

COMISH, CORT & BEATE
--OR CURRENT RESIDENT--
856 S 500 EAST
OREM, UT 84097

YODA BEST PROPERTIES LLC
857 E 930 N
PLEASANT GROVE, UT 84062

LONMAR ENTERPRISES LC
--OR CURRENT RESIDENT--
858 S STATE
OREM, UT 84097

WILDER, RUTH H
864 S 550 E
OREM, UT 84097

HUNSAKER, TODD E & TAMMY D
--OR CURRENT RESIDENT--
865 S 400 EAST
OREM, UT 84097

WILLIAMS, SEANNA S
865 S 500 E
OREM, UT 84097

CARLSON, SUSAN H (ET AL)
--OR CURRENT RESIDENT--
871 S OREM BL
OREM, UT 84058

PACE, CHARLES BRYON & HELEN
LOUISE
875 S 500 E
OREM, UT 84097

CARLSON, SUSAN H (ET AL)
--OR CURRENT RESIDENT--
875 S OREM BL
OREM, UT 84058

CADJAN, ARTHUR G & NANCY A
876 S 550 E
OREM, UT 84097

UAUSA UT LLC - 190 E 850 S
PROTECTED SERIES
881 BAXTER DR STE 100
SOUTH JORDAN, UT 84095

CARLSON, SUSAN H (ET AL)
--OR CURRENT RESIDENT--
883 S OREM BL
OREM, UT 84058

J6 PROPERTIES-I LC
883 W 1720 N
OREM, UT 84057

FARLEY, DAVID RICHARD & SHELLY
KIM
885 S 500 E
OREM, UT 84097

ZEICHNER HOLDINGS LLC
--OR CURRENT RESIDENT--
887 S OREM BL
OREM, UT 84058

ZEICHNER HOLDINGS LLC
887 S OREM BLVD
OREM, UT 84058

OREM BOULEVARD LLC
890 E 1100 S
OREM, UT 84097

EBRON, DIANA SAMALAUU &
HENRY SYLVESTER III
890 S 500 E
OREM, UT 84097

SCOTT, FLOYD W & ANETTE W
--OR CURRENT RESIDENT--
892 S 550 EAST
OREM, UT 84097

SEARLE PROPERTIES LC
--OR CURRENT RESIDENT--
893 S OREM BLVD
OREM, UT 84058

GLOVER, KAELA & JACOB
895 S 500 E
OREM, UT 84097

HERITAGE INVESTMENT GROUP LLC
--OR CURRENT RESIDENT--
898 STATE ST
OREM, UT 84097

HERITAGE INVESTMENT GROUP LLC
898 S STATE ST STE 100
OREM, UT 84097

DAVID SPENCER
899 NORTH 550 EAST
OREM, UT 84097

HERBERT, GARY R & JEANETTE (ET
AL)
--OR CURRENT RESIDENT--
900 S STATE
OREM, UT 84058

PGW HOLDINGS LLC
--OR CURRENT RESIDENT--
901 S OREM BLVD
OREM, UT 84058

PGW HOLDINGS LLC
--OR CURRENT RESIDENT--
903 S OREM BLVD
OREM, UT 84058

MURRAY LOW
904 S. 725 WEST
OREM, UT 84058

HERBERT, JEANETTE
--OR CURRENT RESIDENT--
904 S STATE
OREM, UT 84058

SNYDER, PAUL E & TERESA L
905 S 150 E
OREM, UT 84058

TUCKER PROPERTY MANAGEMENT
LLC
--OR CURRENT RESIDENT--
905 S OREM BLVD
OREM, UT 84058

TUCKER PROPERTY MANAGEMENT
LLC
--OR CURRENT RESIDENT--
907 S OREM BLVD
OREM, UT 84058

TEMPLE, KENNETH L (ET AL)
908 S 400 E
OREM, UT 84097

HEO HOLDINGS LLC
908 S STATE ST
OREM, UT 84097

BROWN, CHAD & KATIE (ET AL)
910 S 500 E
OREM, UT 84097

GOODMAN, KELLY & STEPHANIE
910 S 550 E
OREM, UT 84097

BARTHOLOMEW, JOSH
914 S 400 E
OREM, UT 84097

KEIL, RONYA VIOLETTE (ET AL)
915 S 150 E
OREM, UT 84058

DANKLEF, COLBY S
915 S 400 E
OREM, UT 84097

THOMPSON, TODD & CHAD
915 S 450 E
OREM, UT 84097

JONES, PHYLLIS M
--OR CURRENT RESIDENT--
915 S STATE
OREM, UT 84097

TAYLOR, MARSHA
916 S 200 E
OREM, UT 84058

WILDE, O JEFFERY & DIANE D (ET
AL)
--OR CURRENT RESIDENT--
921 S 400 EAST
OREM, UT 84097

MARY BARTHOLOMEW REVOCABLE
TRUST 09-03-2021 THE (ET AL)
922 S 400 E
OREM, UT 84097

CLARKE, TYSON (ET AL)
924 S 550 E
OREM, UT 84097

PETERSON, MARK L
--OR CURRENT RESIDENT--
925 S 200 EAST
OREM, UT 84058

THOMAS, JAY CHARLES (ET AL)
925 S 500 E
OREM, UT 84097

HORAN, GARY LYNN
926 S 200 E
OREM, UT 84058

MCCRARY, GLADE P & ASHLEE R
926 S 450 E
OREM, UT 84097

JOHNSON, ERIC LEE & STACEY
BOSWELL (ET AL)
--OR CURRENT RESIDENT--
927 S 450 EAST
OREM, UT 84097

GIFFORD, MELVA LYNDIA
930 S 400 E
OREM, UT 84097

ANDELIN, HENRY
930 S 500 E
OREM, UT 84097

LUMOS REALTY OREM LLC
--OR CURRENT RESIDENT--
930 S STATE
OREM, UT 84097

ESTES, BRETT & JENNETTE
931 S 400 E
OREM, UT 84097

WORK WELL CLINICS LLC
--OR CURRENT RESIDENT--
933 S OREM BLVD
OREM, UT 84058

ENGAR, LOGAN & TRAVIS
934 450 E
OREM, UT 84097

GATENBY, MARGARET E &
MARGARET E (ET AL)
935 S 450 E
OREM, UT 84097

MESSICK, LINDA JULEEN
935 S 500 E
OREM, UT 84097

BUCKO, JARED BENJAMIN & ARIA
LEIGHANN
936 S 200 E
OREM, UT 84058

KUNZLER, JOSHUA C & BRIAN C
938 S 400 E
OREM, UT 84097

BOREN, MIKALENE
939 S 400 E
OREM, UT 84097

WORK WELL CLINICS LLC
--OR CURRENT RESIDENT--
939 S OREM BLVD
OREM, UT 84058

ANDERSON, RICHARD DANA GUY &
RITA D
940 S 450 E
OREM, UT 84097

SUMMERHAYS, BRIANT H
--OR CURRENT RESIDENT--
940 S STATE
OREM, UT 84097

HAUG, NATHAN JOSIAH (ET AL)
941 S 200 E
OREM, UT 84058

RUIZ, LINDSAY
941 S 450 E
OREM, UT 84097

MBW PROPERTIES L C
943 S OREM BLVD
OREM, UT 84058

ARCHIBALD, MORGAN & SUNNI
944 S 550 E
OREM, UT 84097

KAWALA, JERZY Z & CONNIE
945 S 500 E
OREM, UT 84097

SHIRE INVESTMENTS LLC
--OR CURRENT RESIDENT--
946 S 200 EAST
OREM, UT 84058

MERRILL, MILO
946 S 400 E
OREM, UT 84097

SHELTON, TESSA
946 S 450 E
OREM, UT 84097

JOHNSON, DEBBIE
946 S 500 E
OREM, UT 84097

DUKES, AMBER RENEE & LEVI A
947 S 400 E
OREM, UT 84097

WALDRON, CYNTHIA L &
CHRISTOPHER M (ET AL)
947 S 450 E
OREM, UT 84097

MBW PROPERTIES L C
--OR CURRENT RESIDENT--
947 S OREM BLVD
OREM, UT 84058

CANCILLA, MARK
949 S 200 E
OREM, UT 84058

WEISS, ZACHARY SIMON (ET AL)
950 S 450 E
OREM, UT 84097

WORMLEY, DAVID A
--OR CURRENT RESIDENT--
950 S STATE
OREM, UT 84097

CRAWLEY, ADAM & EMILY
951 S 450 E
OREM, UT 84097

FRANCIS, FAMILY LLC
--OR CURRENT RESIDENT--
953 S OREM BLVD
OREM, UT 84058

J6 PROPERTIES-I LC
--OR CURRENT RESIDENT--
953 S STATE ST
OREM, UT 84097

DALEY, GABRIEL BLAKE & KRISTY
ANN
955 S 400 E
OREM, UT 84097

ROYLANCE, JOHN PATRICK & JOHN
A
955 S 450 E
OREM, UT 84097

KUNZLER, SARAH M
956 S 200 E
OREM, UT 84058

PIASKY, TIMOTHY B & TERESA (ET
AL)
--OR CURRENT RESIDENT--
956 S 400 EAST
OREM, UT 84097

OLD AS DIRT LLC
--OR CURRENT RESIDENT--
956 S 450 EAST
OREM, UT 84097

SHAW, DAVID O
956 S 500 E
OREM, UT 84097

FOX, SAMANTHA ROSE (ET AL)
957 S 500 E
OREM, UT 84097

LONMAR ENTERPRISES LC
959 SAGE DR
PLEASANT GROVE, UT 84062

EKINS, JEREL
959 W 1500 S
PROVO, UT 84061

WEBB, HOWARD L & KATHERYN H
960 S 550 E
OREM, UT 84097

LILIE MAY LLC
960 S CHEROKEE DR
PLEASANT GROVE, UT 84062

MARCUM, STEVEN K
--OR CURRENT RESIDENT--
961 S 200 EAST
OREM, UT 84058

FRANCIS, FAMILY LLC
--OR CURRENT RESIDENT--
961 S OREM BLVD
OREM, UT 84058

RODRIGUEZ, TAMARA
962 S 400 E
OREM, UT 84097

BRIATHWAITE (SIC), BENJAMIN
962 S 450 E
OREM, UT 84097

ARROYO, ANDRES (ET AL)
963 S 400 E
OREM, UT 84097

GOMEZ, GILBERTO (ET AL)
963 S 450 E
OREM, UT 84097

LAI, MUN KIN
965 S 500 E
OREM, UT 84097

DANIELS, ERIC
966 S 200 E
OREM, UT 84058

CERV, ANDREW & AMBER
966 S 500 E
OREM, UT 84097

FRANCIS, FAMILY LLC
--OR CURRENT RESIDENT--
967 S OREM BLVD
OREM, UT 84058

FILLMORE, HADEN M & KAITLYN
970 S 400 E
OREM, UT 84097

NELSON, JAN (ET AL)
970 S 450 E
OREM, UT 84097

DAYES, BARBARA JEAN (ET AL)
--OR CURRENT RESIDENT--
971 S 400 EAST
OREM, UT 84097

HARRISON, JASMINE MARYANN
971 S 450 E
OREM, UT 84097

URIBE TORRES INVESTMENTS LLC
971 S STATE ST
OREM, UT 84097

BASTIAN, KARMAN C & JOYCE
972 S 500 E
OREM, UT 84097

GREENHALGH, MARK (ET AL)
--OR CURRENT RESIDENT--
972 S 550 EAST
OREM, UT 84097

OREM BOULEVARD LLC
--OR CURRENT RESIDENT--
973 S OREM BLVD
OREM, UT 84058

VERKLER, HANS & CLARK
--OR CURRENT RESIDENT--
975 S 200 EAST
OREM, UT 84058

BARBER, ERIC
--OR CURRENT RESIDENT--
976 S 200 EAST
OREM, UT 84058

HIGH VALLEY PROPERTY HOLDINGS
LLC
--OR CURRENT RESIDENT--
976 S STATE ST
OREM, UT 84097

VERKLER, HANS & CLARK
977 S 200 E
OREM, UT 84058

OREM BOULEVARD LLC
--OR CURRENT RESIDENT--
977 S OREM BLVD
OREM, UT 84058

FISH, DAVID A & TIFFANY A
978 S 400 E
OREM, UT 84097

SUTTON, AUSTIN
978 S 450 E
OREM, UT 84097

CENTURION HOMES LLC
978 S COMMERCIAL ST
OREM, UT 84058

STEVENSON, KYLE W
979 S 400 E
OREM, UT 84097

WRIGHT, KARA & GEORGE 979 S 450 E OREM, UT 84097	RONALD P FAKLER FAMILY LIMITED PARTNERSHIP THE --OR CURRENT RESIDENT-- 983 S STATE OREM, UT 84097	PGW HOLDINGS LLC 984 S 930 W PAYSON, UT 84651
WALL, CHRIS --OR CURRENT RESIDENT-- 984 S STATE OREM, UT 84097	SHIRE INVESTMENTS LLC 985 POLE DR HEBER CITY, UT 84032	ESCAMILLAACOSTA, JOSE C (ET AL) 985 S 200 E OREM, UT 84058
FORD, MICHAEL R & CATHY V 985 S 500 E OREM, UT 84097	ARMSTRONG, FRANK PHILIP & REBECCA MC RAE BENNION --OR CURRENT RESIDENT-- 986 S 450 EAST OREM, UT 84097	LEANY, TRAVIS & AMIE 986 S 500 E OREM, UT 84097
HANSEN, STEVE & JUDY 987 S 400 E OREM, UT 84097	WAGSTAFF, CHAD 987 S 450 E OREM, UT 84097	MELDRUM, LYNDIA (ET AL) 988 S 400 E OREM, UT 84097
BOYNTON, RODNEY B & VICKI G (ET AL) 992 S 500 E OREM, UT 84097	BARLOW, SYNTHIA (ET AL) 995 S 500 E OREM, UT 84097	SHELL, COBY 1000 S 400 E OREM, UT 84097
CARD, DAVID WAYNE & VALLIE DAWN (ET AL) 1000 S 450 E OREM, UT 84097	CE PROPERTY HOLDINGS LLC --OR CURRENT RESIDENT-- 1001 S 400 EAST OREM, UT 84097	CLARK, CRAIG M & LORI B --OR CURRENT RESIDENT-- 1001 S 450 EAST OREM, UT 84097
FREE, W DAVID & KRISTINE K (ET AL) --OR CURRENT RESIDENT-- 1002 S 500 EAST OREM, UT 84097	JAMB HOLDINGS LLC --OR CURRENT RESIDENT-- 1002 S STATE OREM, UT 84097	SUMMERHAYS, BRIANT H 1006 S STATE ST OREM, UT 84097
SUMMERHAYS, BRIANT H --OR CURRENT RESIDENT-- 1008 S STATE ST OREM, UT 84097	WOOD, BRYTON 1009 S 450 E OREM, UT 84097	WALTON, TALMAGE KALEB (ET AL) 1015 S 500 E OREM, UT 84097
ORTON, DOUGLAS W & HELEN M --OR CURRENT RESIDENT-- 1015 S OREM BLVD OREM, UT 84058	ECHOLS, GARREN (ET AL) --OR CURRENT RESIDENT-- 1019 S OREM BLVD OREM, UT 84058	S & W STATE STREET PROPERTIES LC --OR CURRENT RESIDENT-- 1020 S STATE ST OREM, UT 84058
WALTON, J TALMAGE & NIKKI 1027 S 545 E OREM, UT 84097	HAAGAS PROPERTY MANAGEMENT LC --OR CURRENT RESIDENT-- 1032 S STATE OREM, UT 84097	WILDE, O JEFFERY & DIANE D (ET AL) 1032 W 1020 N PROVO, UT 84604

YODA BEST PROPERTIES LLC
--OR CURRENT RESIDENT--
1033 S STATE
OREM, UT 84097

SUTTON, GLENN & DIANE (ET AL)
--OR CURRENT RESIDENT--
1035 S OREM BLVD
OREM, UT 84058

SA PAGE PRPERTIES LLC
--OR CURRENT RESIDENT--
1039 S OREM BLVD
OREM, UT 84058

ZCOM LLC
1048 E 275 N
OREM, UT 84097

MAULDIN, R KYLE & AMANDA
1060 E 800 S
OREM, UT 84097

GERALD CRISMON
1069 S. 545 EAST
OREM, UT 84097

ALC LLC
%COX, LESA & ANDY
1124 E 50 S
OREM, UT 84097

WORK WELL CLINICS LLC
%WOSNIK, KELLY
1125 W CENTER ST
OREM, UT 84057

JENN GALE
1144 E 920 N
OREM, UT 84097

CLARK, CRAIG M & LORI B
1165 OLD CHASE AVE
EL CAJON, CA 92020

WDG OREM COMMONS LLC
1178 W LEGACY CROSSING BLVD
STE 100
CENTERVILLE, UT 84014

HAYSAM SAKAR
1194 E. 1090 NORTH
OREM, UT 84097

OLD AS DIRT LLC
1215 GRAND AVE
PROVO, UT 84604

JOHNSON, ERIC LEE & STACEY
BOSWELL (ET AL)
1278 PACIFIC ST
MONTEREY, CA 93940

K COREM LLC (ET AL)
%WEDGEWOOD HILLS INC
1325 HOWARD AVE # 609
BURLINGAME, CA 94010

DEXTER, WAYNE R & DONNA LEE
1360 S 740 E
OREM, UT 84097

FLINDERS, MATTHEW P
1369 E 330 N
PLEASANT GROVE, UT 84062

RYAN CLARK
1405 N. 1430 WEST
PLEASANT GROVE, UT 84062

UTAH POWER & LIGHT COMPANY
1407 W N TEMPLE
SALT LAKE CITY, UT 84110

ELDER, TERESA (ET AL)
1411 N 3250 W
PROVO, UT 84601

HARGREAVES, MATTHEW & BONNIE
1424 E 1510 S
SPANISH FORK, UT 84660

FREE, W DAVID & KRISTINE K (ET AL)
1424 E MCLELLAN RD
MESA, AZ 85203

2 RICH LLC
1467 S 825 W
LEHI, UT 84043

D&M BROADBENT PROPERTIES LLC
1503 N 1980 W
PROVO, UT 84604

ALPINE CREDIT UNION
1510 N STATE ST
OREM, UT 84057

FRANCIS, FAMILY LLC
1548 W 1825 N
PROVO, UT 84604

PIASKY, TIMOTHY B & TERESA (ET AL)
1575 CASA GRANDE ST
PASADENA, CA 91104

KSC OREM OFFICE LLC
1690 E MAPLE ST
MAPLETON, UT 84664

MIKE CARPENTER
1734 NORTH 350 WEST
OREM, UT 84057

J & E HOEN PROPERTIES LLC
1798 N 80 E
OREM, UT 84057

LUND INVESTMENTS LLC (ET AL)
1851 E 750 S
SPRINGVILLE, UT 84663

WASATCH BEHAVIORAL HEALTH
SPECIAL SERVICE DISTRICT
1881 W 900 N
LEHI, UT 84043

JASON BENCH
1911 N MAIN STREET
OREM, UT 84057-2101

DAYES, BARBARA JEAN (ET AL)
2174 S RUGER DR
SARATOGA SPRINGS, UT 84045

GREENHALGH, MARK (ET AL)
2285 EL RANCHO VISTA
FULLERTON, CA 92833

RONALD P FAKLER FAMILY LIMITED
PARTNERSHIP THE
2572 STONEBURY LOOP RD
SPRINGVILLE, UT 84663

GREEN BIRD PROPERTIES LLC
2595 E 3300 S
SALT LAKE CITY, UT 84109

CRANE, LORI DEE
2602 W 14865 S
BLUFFDALE, UT 84065

KHE INVESTMENTS LLC
2734 N PARKVIEW CT
LEHI, UT 84043

AB BLAKE LLC
2755 JUNIPER CIR
NORTH LOGAN, UT 84341

CARINTHIA PROPERTIES LLC
2813 W COUNTRY CLASSIC DR
BLUFFDALE, UT 84065

FRAZIER, KAREN (ET AL)
%CUMMINGS, CHYNNA
2881 SHADY VIEW CIR
LEHI, UT 84043

COMISH, CORT & BEATE
3004 IROQUOIS DR
PROVO, UT 84604

NADG NNN RIS (ORE-UT) LP
3131 MCKINNEY AVE STE L10
DALLAS, TX 75204

CAPITAL COMMUNITY BANK INC
3280 N UNIVERSITY AV
PROVO, UT 84604

CUEVAS, SERGIO AARON &
SHAUNNA B (ET AL)
3325 W 1775 N
PLAIN CITY, UT 84404

283 E 950 S OREM LLC
3765 W 12280 S
RIVERTON, UT 84065

JONES, JOYCE P (ET AL)
3883 N LITTLE ROCK DR
PROVO, UT 84604

JAMB HOLDINGS LLC
3990 E RIGGS RD STE 1
CHANDLER, AZ 85249

TUCKER PROPERTY MANAGEMENT
LLC
4114 N 200 E
PROVO, UT 84604

UTAH DEPARTMENT OF
TRANSPORTATION
4501 S 2700 W
SALT LAKE CITY, UT 84114

UTAH DEPARTMENT OF
TRANSPORTATION
4501 S 2700 W
SALT LAKE CITY, UT 84119

1031 PROS TITLEHOLDER 1206 LLC
5414 W DAYBREAK PARKWAYPMB
246
SOUTH JORDAN, UT 84009

PGW HOLDINGS LLC
6066 W VALLEY VIEW DR
HIGHLAND, UT 84003

ALLIANCE PROPERTIES LLC
6619 W NORMANDY WAY
HIGHLAND, UT 84003

EDWARDS, BRUCE
6707 FAIRFAX DR
PROVO, UT 84604

SOLAR PROPERTIES LLC
7884 S COOLIDGE ST
MIDVALE, UT 84047

AVILA, ANTONIO
9204 S BRIGHTON VIEW DR
SANDY, UT 84070

BARSH, STEPHEN JAMES
9283 N CANYON RD
CEDAR HILLS, UT 84062

JONES, PHYLLIS M
9503 S ORTON RD
SALEM, UT 84653

KAWAKAMI, PAUL W
10017 N MYSTIC CIR
AMERICAN FORK, UT 84003

SOLITUDE INVESTMENTS LLC
11137 CREEK LEDGE LN
SALT LAKE CITY, UT 84121

WALL, CHRIS
11186 S 5600 W
PAYSON, UT 84651

VAN TASSEL, GLADE W (ET AL)
12930 S FORT ST
DRAPER, UT 84020

LUMOS REALTY OREM LLC
13526 MUHLENBURG WAY
RIVERTON, UT 84065

WALKER, MARK J & CHRISTINA J
23926 N DUVALL RD
WOODINVILLE, WA 98077

**DRAFT CITY OF OREM
PLANNING COMMISSION MEETING MINUTES
07.03.24**

The following items are discussed in these minutes:

- **PUBLIC HEARING – MAP AMENDMENT - Amending Article 22-5-3(A) and the zoning map of the City of Orem by rezoning the property located generally at 375 East 1600 North from the R8 zone to the PRD zone (approximately 2.30 acres) and amending Appendix KK of the Orem City code. – Negative recommendation to City Council**
- **PUBLIC HEARING – MAP AMENDMENT - Amending Article 22-5-3(A) and the zoning map of the City of Orem by rezoning the property located generally at 1573 North 275 West from the R8 zone to the PRD zone (approximately 1.91 acres) and amending Appendix KK of the Orem City code. – Negative recommendation to City Council**

STUDY SESSION

Place: City Council Conference Room

At 3:30 p.m.

Those present: Mike Carpenter, Gerald Crismon, James Hawkes, Madeline Komen, Haysam Sakar and Rod Erickson Planning Commission members; Ryan L. Clark, Assistant City Manager/Development Services Director; Jason W. Bench, Assistant Development Services Director; Ailin Leon, Associate Planner; Grant Allen and Matt Taylor, Senior Planners Gary McGinn, Legal Counsel; David Spencer, City Council Liaison

Those excused: Cheryl Vargas, Associate Planner; Taggart Bowen, Acting City Engineer; John Dorny Transportation Engineer.

1. Economic Development Update presented by Kathi Lewis, Economic Development Division Manager
2. Jason Bench - Discussion about the difference between C2 and C3 zones

REGULAR MEETING

Place: Orem City Council Chambers

At 4:33 p.m. Chair Komen called the Planning Commission meeting to order and asked Mr.Hawkes , Planning Commission member, to offer the invocation.

Those present: Mike Carpenter, Gerald Crismon, James Hawkes, Madeline Komen, Haysam Sakar and Rod Erickson Planning Commission members; Ryan L. Clark, Assistant City Manager/Development Services Director; Jason W. Bench, Assistant Development Services Director; Ailin Leon, Associate Planner; Grant Allen and Matt Taylor, Senior Planners Gary McGinn, Legal Counsel; Taggart Bowen, Acting City Engineer; John Dorny Transportation Engineer; David Spencer, City Council Liaison

Those excused: Cheryl Vargas, Associate Planner.

Chair Komen asked Mr. Bench to introduce **Agenda Item 3.1.**

DRAFT Planning Commission minutes for July 3, 2024



Agenda Item 3.1 is a request by Julie Smith for the Planning Commission to forward a recommendation to the City Council to amend Article 22-5-3(A) and the zoning map of the City of Orem by rezoning the property located generally at 375 East 1600 North from the R8 zone to the PRD zone (approximately 2.30 acres) and amending Appendix KK of the Orem City code.

Staff Presentation: The applicant is proposing to rezone the current property from the R8 zone to the PRD zone to permit the building of 10 single family homes.

Currently the parcel is zoned in the R8 zone, which is zoned to permit 7 lots instead of the proposed 10. The proposed PRD zone would meet the requirements such as the height of the structures, the street width, buffered sidewalks, parking stalls among other requirements as listed in the Orem City code. ([Click here for recording](#))

Recommendation: Staff Recommends the Planning Commission forward a recommendation to the City Council to amend Article 22-5-3(A) and the zoning map of the City of Orem by rezoning the property located generally at 375 East 1600 North from the R8 zone to the PRD zone (approximately 2.30 acres) and amending Appendix KK of the Orem City code.

Chair Komen asked if the Planning Commission had any questions for Mr. Bench. Several questions were asked regarding the alternate R8 concept plan that was presented along with the varying lot sizes. There was a discussion about the differing uses of Accessory Dwelling Units in the R8 and PRD zones. ([Click here for recording](#))

Chair Komen invited the applicant to come forward. Julie Smith and Corey Turner introduced themselves. The owners gave a history of the property and explained why they were proposing a PRD on both pieces of land. There was a discussion about the surrounding neighbors' concerns that were brought to the attention of Ms. Smith during the neighborhood meeting. The cost and sizes of the homes were discussed. ([Click here for recording](#))

Chair Komen opened the public hearing and invited those from the audience who had come to speak to this item to come forward to the microphone. The following residents came forward to express their thoughts and concerns about this project; Thomas Thirstin, Stephanie Visnew, Ken Millet, Paul Millet, Lyn Pulley, Tacy Zinger and William B. ([Click here for recording](#))

Chair Komen directed the questions that were directed to the developer. Planning Commission members had additional questions for the developer. ([Click here for recording](#))

Planning Commission Action: The motion is listed following item 3.2.



Agenda Item 3.2 is a request by Julie Smith for the Planning Commission to forward a recommendation to the City Council to amend Article 22-5-3(A) and the zoning map of the City of Orem by rezoning the property located generally at 1573 North 275 West from the R8 zone to the PRD zone (approximately 1.91 acres) and amending Appendix KK of the Orem City code.

Staff Presentation: The applicant is proposing to rezone the current property from the R8 zone to the PRD zone to permit the building of 10 single family homes. Currently the parcel is zoned in the R8 zone, which is zoned to permit 6 lots instead of the proposed 10. The proposed PRD zone would meet the requirements such as the height of the structures, the street width, buffered sidewalks, parking stalls among other requirements as listed in the Orem City code. ([Click here for recording](#))

Recommendation: Staff Recommends the Planning Commission forward a recommendation to the City Council to amend Article 22-5-3(A) and the zoning map of the City of Orem by rezoning the property located generally at 1573 North 275 West from the R8 zone to the PRD zone (approximately 1.91 acres) and amending Appendix KK of the Orem City code.

DRAFT Planning Commission minutes for July 3, 2024

Chair Komen asked if the Planning Commission had any questions for Mr. Bench. Chair Komen asked if there was a distance requirement between the guest parking stalls and unit 10. There was further discussion about parking and the concerns of residents in the surrounding neighborhoods as well as questions about landscaping. There was a discussion about the authorized use of Accessory Dwelling Units in the R8 zone. ([Click here for recording](#))

The developer was the same for item 3.1 and item 3.2 and was present to answer any questions.

Chair Komen opened the public hearing and invited those from the audience who had come to speak to this item to come forward to the microphone. The following residents came forward to express their thoughts and concerns; Debbie Tucker, Stephanie Visnew, Nicole Smith, Tyler Smith, Paul Millet, Thomas Thirstin, Sean Cutler, Blair Tucker, Tacy Zinger, Ken Millet, Lyn Pulley ([Click here for recording](#))

Chair Komen closed the public hearing and asked the applicants the questions that were asked during the public hearing. Planning Commission members had additional statements and questions for the applicants. ([Click here for recording](#))

Planning Commission Action item 3.1: Mr. Erickson moved to forward a negative recommendation to the City Council to amend Article 22-5-3 (A) and the zoning map of the City of Orem by rezoning the property located generally at 375 East 1600 North From the R8 zone to the PRD zone (approximately 2.30 acres) and amending Appendix KK of the Orem City code. Mr. Hawkes seconded the motion. Those voting aye: Mike Carpenter, Gerald Crismon, James Hawkes, Madeline Komen, Rod Erickson and Haysam Sakar. The motion passed unanimously.

Planning Commission Action item 3.2: Mr. Erickson moved to forward a negative recommendation to the City Council to amend Article 22-5-3 (A) and the zoning map of the City of Orem by rezoning the property located generally at 1573 North 275 West From the R8 zone to the PRD zone (approximately 1.91 acres) and amending Appendix KK of the Orem City code. Mr. Hawkes seconded the motion. Those voting aye: Mike Carpenter, Gerald Crismon, James Hawkes, Madeline Komen, Rod Erickson and Haysam Sakar. The motion passed unanimously.

Minutes: The Planning Commission reviewed the minutes from the previous meeting. Chair Komen then called for a motion to approve the minutes of June 19, 2024. Mr. Hawkes moved to approve the meeting minutes for June 19, 2024. Mr. Sakar seconded the motion. Those voting aye: Mike Carpenter, Gerald Crismon, James Hawkes, Madeline Komen, Rod Erickson and Haysam Sakar. The motion passed unanimously.

Adjourn: Chair Komen called for a motion to adjourn. Mr. Hawkes moved to adjourn. Mr. Erickson seconded the motion. Those voting aye: Mike Carpenter, Gerald Crismon, James Hawkes, Madeline Komen, Rod Erickson and Haysam Sakar. The motion passed unanimously.

Adjourn: 6:03 p.m.

Ryan L. Clark
Planning Commission Secretary

Approved: