



Millcreek Planning Commission Meeting Agenda

Public Notice is hereby given that the Planning Commission of Millcreek will assemble in a regular public meeting on Wednesday, **17 July 2024** at City Hall, 1330 E. Chambers Avenue, Millcreek, Utah 84106, commencing at **5:00 p.m.**

5:00 p.m. – Regular Meeting

1. Public Hearings

- 1.1 Consideration of **ZM-24-005**, Request to Rezone from R-1-10 (Residential Single Family) to R-M (Residential Multi-family) to Allow for a 6-Unit Residential Development **Location:** 4181 S 900 E **Applicant:** Dale Bennett **Planner:** Carlos Estudillo
- 1.2 Consideration of **ZM-24-008**, Request to Rezone from A-1 and A-2 (Agricultural) to M (Manufacturing) **Location:** 4100 S 700 W **Applicant:** Jason Boal **Planner:** Carlos Estudillo
- 1.3 Consideration of **ZT-24-010**, Amending Code 19.76.190 Regarding Building Heights **Planner:** Robert May
- 1.4 Consideration of **ZT-24-011**, Amending Code 19.76.080 Regarding Lots and Buildings on Private Rights-of-Way **Planner:** Robert May
- 1.5 Consideration of **ZT-24-012**, New Code Proposal Regarding Affordable Housing Incentives **Planner:** Robert May
- 1.6 Consideration of **ZT-24-013**, New Code Proposal Regarding Professional Studies and Plans for Land Use Developments **Planner:** Robert May

2. Commission Business

- 2.1 Approval of June 19, 2024 Regular Meeting Minutes
- 2.2 Updates from the Planning and Zoning Director

3. Calendar of Upcoming Meetings

- City Council Mtg. 7/22/24 7:00 p.m.
- City Council and Planning Commission Special Mtg. 7/29/24 5:00 p.m.
- East Mill Creek Community Council Mtg., 8/1/24, 7:00 p.m.
- Mt. Olympus Community Council Mtg., 8/5/24, 6:00 p.m.
- Millcreek Community Council Mtg., 8/6/24, 6:30 p.m.
- Canyon Rim Citizens Association Mtg., 8/7/24, 6:30 p.m.
- Historic Preservation Commission Mtg., 8/8/24, 6:00 p.m.
- City Council Mtg. 8/12/24 7:00 p.m.
- Planning Commission Mtg., 8/21/24, 5:00 p.m.

4. Adjournment

The Planning Commission public meeting is a public forum where the Planning Commission receives comment from applicants, the public, applicable agencies and staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Actions may include: approval, approval with conditions, denial of legislative items, continuance, or recommendation to other bodies as applicable.

In accordance with the Americans with Disabilities Act, Millcreek will make reasonable accommodation for participation in the meeting. Individuals may request assistance by contacting the ADA Coordinator, 801-214-2751 or adainfo@millcreekut.gov, at least 48 hours in advance of the meeting.

The meeting will be live streamed via the City's website at: <https://www.millcreekut.gov/373/Meeting-Live-Stream>. Public comment can be submitted before or during the meeting via the City's website at: <https://www.millcreekut.gov/FormCenter/Contact-Us-5/Public-Comments->

[61](#). The Commission may convene in an electronic meeting. Commissioners may participate from remote locations and may be connected to the electronic meeting by GoToMeeting, Zoom, or telephonic communications. The anchor location will be City Hall.

THE UNDERSIGNED DULY APPOINTED CITY RECORDER FOR THE MUNICIPALITY OF MILLCREEK HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS EMAILED OR POSTED TO:

City Hall

City Website

Utah Public Notice Website

Those Listed on the Agenda

<https://www.millcreekut.gov/>

<http://pmn.utah.gov>

DATE: July 10, 2024

CITY RECORDER: Elyse Sullivan

Agenda items may be moved in order, sequence, and time to meet the needs of the Planning Commission.

Millcreek City Hall
1330 E Chambers Ave
Millcreek, Utah 84106
millcreekut.gov



Planning & Zoning
(801) 214-2700
planner@millcreekut.gov

ZM-24-005

Planning Commission Staff Report

Meeting Date: 7/17/2024

Applicant: Dale Bennett

Re: Request to Rezone Property

Property Address: 4181 S 900 E

Zone: From R-1-10 to R-M

Prepared By: Carlos Estudillo, Planner

Scope of Decision: **Discretionary.** This is a legislative matter, to be decided by the Millcreek City Council upon receiving a recommendation from the Community Council(s) and the Millcreek Planning Commission. Your recommendation can be broad in scope, but should consider prior adopted policies, especially the Millcreek General Plan.

REQUEST AND SYNOPSIS

The applicant is seeking to rezone a property located at 4181 S 900 E from the R-1-10 (Residential Single-family) Zone to R-M (Residential Multi-family). The purpose of the rezone is to allow a six-unit residential development, with the intention of subdividing them for owner occupancy.

A development agreement may accompany this application to ensure that the proposed site plan is executed as approved. Conditions to be subjected to Community Council and Planning Commission's recommendation.

GENERAL PLAN CONSIDERATIONS

GOAL N-1: Preserve and enhance the physical elements that define each neighborhood's character.

Strategy 1.5: Ensure that new infill development is compatible with existing neighborhoods by regulating structure sizes and heights; building forms and materials; yard setbacks; streetscape character; height and bulk transitions; buffering; and other factors.

The Subject Property is a new infill development which can be made to be compatible if, the zoning

change is accompanied by a development agreement which will help ensure comparable densities, building forms, setbacks, buffering, and other factors.

GOAL N-2: Strive for a variety of housing choices in types, styles, and costs of housing throughout Millcreek.

Strategy 1.4: Support development projects in centers and mixed-use corridors that provide a variety of housing types and sizes to serve a range of demographic sectors and meet the needs of residents and families through various life stages and income levels.

If granted, R-M Zone would allow for six residential units, all three-bedroom units.

EXISTING CONDITIONS & FINDINGS:

1. **Existing Conditions.** The Subject Property involves five parcels comprising approximately .43 acres. The Subject Property contains existing residential structures, all of which will be removed if approved for further development of the property.
2. **Land Use Designation.** The Subject Property is within the “Neighborhood 1” land use designation – which envisions neighborhoods comprised of “Single-family detached homes, typically 1 – 6 dwelling units per acre.”
3. **Zoning.** The Subject Property is currently within the R-1-10 Zone. Properties within the vicinity surrounding the Subject Property are within the R-M (North), R-2-10 (west), R-1-5 (west) and R-1-10 (east & south) zones.
4. **Surrounding Uses.** Properties surrounding the Subject Property consist of small-scale multi-family housing stock, in addition to duplexes and small-scale single-family housing. Most of the R-1-10 zone to the east is occupied by Salt Lake County, in the form of open space.
5. **Densities.** The R-1-10 Zone would allow a total of approximately two (2) units (1-6 units per acre), whereas the R-M Zone would allow up to nine (9) units (2,000 sf per unit). The applicant is asking for six (6) total units, which is comparable to the development just north, located at 4179 S 900 E.
6. **Proposal.**
 - a. The applicant is proposing six (6) residential units that would be within the maximum height allowed of thirty-five (35) feet, with the intention of subdividing them for owner occupancy.
 - b. Landscaping to be subject to MKZ 19.77 (Landscape standards). Applicant currently meets the 40% open space requirement.
 - c. Parking to be subjected to MKZ 19.80 (Parking and Mobility Standards). Each unit will be provided with a two-car garage. The applicant is also proposing three guest parking stalls, meeting the parking requirements set forth in MKZ.19.80
 - d. The Subject Property has single access from 900 East, measuring to be 25’ in width. Reviewed and accepted by Unified Fire.

- e. The R-M Zone does not require owner occupied housing however the applicant has verbally mentioned that they intend to create a “for sale” product which may help Millcreek meet certain house goals.
 - f. All development will be required to meet the **minimum zoning and land use ordinances**; to which the concept plan may likely evolve from what is currently presented for this rezone application.
7. **Ownership.** The units are intended to be subdivided into individual ownership.
8. **Management.** Applicant intends to place units under a HOA.
9. **Traffic.** A traffic study was not commissioned by the city, as six residential units do not present any significant impact on the 900 E corridor.
10. **Development Agreement:** A development agreement may best ensure the type, scale, orientation, dedication, utilities easements, access, phasing, and other aspects pertaining to the future development of these properties, where the underlying zoning and land use ordinances may be insufficient; Therefore, a development agreement may be considered to ensure development design and layout of the property. Staff would like the Planning Commission to discuss the following, potential development agreement items:
- a. Architecture.
 - b. Density
 - c. Owner Occupancy.

RECOMMENDATIONS:

Neighborhood Meeting – A neighborhood meeting was held at City Hall on February 27th at 5:30 PM. Neighbors within 600’ of the subjected property were notified. An approximate sixteen people showed up with the following comments:

- 1. Most neighbors just don’t want their property values to go down.
- 2. Density will bring traffic concerns to the neighborhood.
- 3. Affordability. Neighbors are concerned with a potential idea of low-income housing being proposed. This project does not propose low-income or subsidized housing.
- 4. Short term rentals (Airbnb) concerns.
- 5. Long-term rentals concerns.
- 6. Neighborhood safety and homelessness concerns.
- 7. Desire for owner occupancy.

Millcreek Community Council Meeting – The Millcreek Community Council held a meeting on July 2nd, whereupon seven of the nine (7-2) members made a did not recommend approving the rezone of the subject property from the R-1-10 Zone to the R-M zone. Some of the reasons being:

- a. Neighborhood compatibility

- b. Density
- c. Need for general plan amendment to accommodate project.

Conclusions –

1. A Multifamily residential use would NOT be in harmony with the current land use designation because the general plan designation for this lot is under “*Neighborhood 1*”, which its primary intended use is accommodate single-family homes in low-density neighborhoods. This application would need a General Plan Amendment.
2. Additional research in neighborhood compatibility must be provided by the applicant to demonstrate variety of compliance with the goals and strategies of the Millcreek General Plan.
3. The proposal will meet the requirements set forth in MKZ 19.44 (Multi-family Residential zone), 19.77 (Landscape standards) and 19.80 (Parking and Mobility Standards).
4. A development agreement may best ensure the type, scale, style, materials, orientation, dedication, utilities easements, access, phasing, and other aspects pertaining to the future development of these properties, where the underlying zoning and land use ordinances may be insufficient; Therefore, a development agreement may be in place to ensure development design and layout of the property.
5. All development will be required to meet the minimum zoning and land use ordinances; to which the concept plan may likely evolve from what is currently presented for this rezone application.

Staff Recommendation – Based on the findings, conclusions and recommendations listed above, staff recommends continuance of application file #ZM-24-005 to a later date, to allow the applicant and City staff to work out a design or density that would be better supported by the neighborhood and General Plan.

MODEL MOTION

I move to continue application file #ZM-24-005 to a later date, to allow the applicant and City staff to work out a design or density that would be better supported by the neighborhood and General Plan.

SUPPORTING DOCUMENTS

- Application package

LETTER OF INTENT

April 25, 2024

To: Millcreek Planning Department

Attn: Carlos Estudillo, Planning Permit Technician

Dear Carlos,

The intent of this submittal is to change the land use and zoning in this area to what it was several years ago. There are currently many properties along 900 East Street that are higher density than the R-1-10 zone allows for. Due to this location, being directly on 900 East, a heavily traveled corridor within Millcreek, we believe converting this property from the R-1-10 zone to the RM zone is in line with what we believe is currently in place and with what we believe are future plans for areas on these higher traffic streets within Millcreek. Many of the properties in the area including the property to the north, which is a condominium project, are higher density and non-conforming to their current zone of R-1-10. Due to the need for more housing, the governor of Utah has asked the cities to allow for more housing. We believe this is an excellent location for this to happen. Our intent is to have the property rezoned and then provide a "for sale" townhome project with 3 or 4 bedroom homes that will be attractive to this neighborhood.

If you have any questions, please feel free to reach out.

Sincerely yours,

Dale & Vicki Bennett

Bennett Properties, LLC

Brandon Wixom

Wixoco 401k Plan, LLC



Millcreek Community Development
3330 South 1300 East
Millcreek, Utah 84106
Phone: (801) 214-2750

ESSENTIAL QUESTIONS FOR ZONING MAP AMENDMENTS, DEVELOPMENT AGREEMENTS, AND CITY INITIATIVES

The Millcreek Together general plan identifies essential questions at the end of each chapter of the plan. These questions will help the community councils, planning commission, and city council make findings as they make a decision regarding a zoning map amendment, development agreement, or city initiative.

Realizing that not all these questions will be applicable to every decision, these questions should be considered as a tool to focus on and provide implementation of each theme identified in the general plan.

Unique Neighborhoods

Does the project or initiative...

1. Support adopted and relevant small area and neighborhood plans?

NEIGHBORHOODS ARE THE BACKBONE OF THE COMMUNITY. THIS PROJECT ALLOWS MILLCREEK TO ADD MORE RESIDENTIAL HOMES WITH A HIGHER DENSITY BECAUSE 900 E IS A BUSY CORRIDOR OR MAJOR COLLECTOR. THIS PROJECT WILL HELP SATISFY THE GOVERNOR'S REQUEST FOR MORE HOUSING

2. Encourage additional investment or reinvestment in neighborhoods?

REDEVELOPMENT ALONG MAJOR COLLECTORS WILL MOTIVATE OTHER HOMEOWNERS AND INVESTORS TO ALSO IMPROVE THEIR PROPERTY. THE CURRENT STATUS OF THIS PROPERTY HAS A NEGATIVE IMPACT ON THE NEIGHBORHOOD BECAUSE THE HOME IS FUNCTIONALLY OBSOLETE AND THE HUGE YARD IS FULL OF WEEDS. WE WANT TO BUILD A HIGH QUALITY AND ATTRACTIVE PLACE FOR SIX FAMILIES TO CALL HOME.

3. Positively contribute to a diversity of affordable housing choices?

WE FEEL THAT MANY YOUNG FAMILIES AND WORKING PROFESSIONALS WOULD BE ATTRACTED TO THIS PROJECT BECAUSE THEY WILL HAVE IMPRESSIVE VIEWS OF THE MOUNTAINS, ADJACENT TO FUTURE COUNTY PARK, WALKABLE DISTANCE TO RESTAURANTS AND SHOPPING, AND PROXIMITY TO BUS STOP. THESE HOMES WILL SELL FOR APPROXIMATELY \$650,000.

4. Stay within the existing mass, scale, and height of the immediate neighborhood?

THIS PROJECT IS SIMILAR TO MANY PROPERTIES ALONG THE 900 EAST CORRIDOR TO THE NORTH ARE CONDOS. WE HAVE PROVIDED ADEQUATE SET BACKS AND LIMITED THE HEIGHT OF THE BUILDING TO JUST THREE LEVELS

5. Create options for new gathering areas or centers where possible?

6. Support the redevelopment of blighted and/or underperforming properties?

THE CURRENT STATUS OF THE PROPERTY IS BLIGHTED AND UNDERPERFORMING. THIS PROJECT WILL ATTRACT PEOPLE THAT APPRECIATE BEAUTIFUL MILLCREEK AND LOVE BEING PART OF THEIR COMMUNITY. SHOPPING, ENTERTAINMENT AND RECREATION ARE ACCESSIBLE AND CONVENIENT

7. Enhance the connection of neighborhoods to trails, parks, recreation, and open spaces?

THIS PROJECT WILL HAVE A PATH OR TRAIL THAT WILL CONNECT 900 EAST TO THE FUTURE COUNTY PARK. THIS WILL ALLOW PEOPLE ACCESS TO WALKING AND BIKING TRAILS.

8. Enhance cultural, historical, educational, and/or human service opportunities to support neighborhoods?

Thriving Economy

Does the project or initiative...

1. Advance the Goals and Policies of the Economic Development Plan?

POOR PROPERTY MAINTENANCE AND STRUCTURAL DETERIORATION CAN DEGRADE NEIGHBORHOOD QUALITY AND LOWER PROPERTY VALUES. THIS PROJECT WILL HELP THE ECONOMY THRIVE BY ATTRACTING PEOPLE THAT WANT TO LIVE AND WORK IN MILLCREEK. THIS PROJECT IS WITHIN WALKING DISTANCE TO A MAJOR EMPLOYMENT/COMMERCIAL AREA OF MILLCREEK

2. Support the retention of existing Millcreek businesses?

THIS PROJECT SUPPORTS THE RETENTION OF EXISTING MILLCREEK BUSINESSES. PEOPLE ATTRACTED TO THIS PROJECT ARE MORE OF THE CREATIVE CLASS. THEY WILL LIVE, SHOP, WORK AND INVEST IN THE COMMUNITY.

3. Help attract new businesses in targeted business sectors?

4. Create or enhance a built environment with amenities that will help attract new, skilled talent to Millcreek?

THIS PROJECT HAS BEEN DESIGNED TO APPEAL TO YOUNG FAMILIES AND WORKING PROFESSIONALS. THE LAYOUT AND FLOOR PLANS ARE VERY FUNCTIONAL. EV HOOKUPS WILL BE IN EVERY GARAGE. THE LARGE COVERED DECKS WILL HAVE SPECTACULAR VIEWS.

5. Support the creation of new, high-paying and livable wage jobs?

6. Contribute to effective and efficient use of City resources?

IMPACT FEES WILL HELP GIVE THE CITY RESOURCES TO MAKE MORE INVESTMENTS IN STREETS, INFRASTRUCTURE, AND PUBLIC SPACES.

7. Provide for balanced budgets and financial stability for the City over the long-term?

THIS PROJECT WILL INCREASE THE NUMBER OF PROPERTY TAX PAYERS FROM ONE TO SIX WHICH WILL HELP PROVIDE FINANCIAL STABILITY OVER THE LONG-TERM.

8. Promote renewable, sustainable, and environmentally healthy/friendly business practices and products?

9. Support or align with regional business attraction and retention efforts?

10. Have a positive impact on the educational competitiveness of Millcreek?

11. Result in construction and / or renovation that is compatible with the existing mass, scale, and height of the immediate neighborhood?

THIS PROJECT IS VERY COMPATIBLE WITH WHAT IS ALREADY BUILT AND WHAT HAS BEEN APPROVED TO BE BUILT ALONG THE 900 EAST CORRIDOR.

Vibrant Gathering Places

Does the project or initiative...

1. Support the overall focus of the Vibrant Gathering Places vision?
2. Support the continued development/redevelopment of the City Center, Meadowbrook Center, or Village Centers?

3. Result in additional infill, development, or redevelopment of appropriate types in appropriate locations?

THE LOCATION 4181 S 900 E IS APPROPRIATE FOR A HIGH QUALITY
"FOR SALE" TOWNHOME PROJECT

4. Provide a range of opportunities for transportation access, interconnection of urban centers and enhanced demand and feasibility for multimodal transportation options?

THIS LOCATION HAS AN EXISTING BUS STOP, SIDEWALKS, AND A PATH TO
THE FUTURE PARK.

5. Result in well designed, well integrated and compatible development?

6. Include, result in or support the creation of new or enhanced places for community interaction?

7. Enhance connections to and integrate with the City's green infrastructure networks including trails, parks, open space, adjacent communities and public lands?

THIS PROJECT WILL ENHANCE THE CITY'S GREEN INFRASTRUCTURE NETWORK
BY CREATING A TRAIL/PATHWAY TO PUBLIC LANDS. THE TRAIL WILL
RUN ALONG OUR SOUTH PROPERTY LINE AND CONNECT THE PUBLIC
TO THE PARK WHICH IS DIRECTLY EAST OF OUR PROPERTY.

8. Support or incorporate cultural, historical, educational, and/or human service opportunities?
9. Result in places that are inclusive, adaptable, sustainable and resilient?

Great Connections

Does the project or initiative...

1. Support the overall focus of the Great Connections theme?

YES, THE PROJECT SUPPORTS THE FOCUS OF THE GREAT CONNECTIONS THEME.

2. Contribute positively to increased mobility throughout the City, and particularly related to east/west transportation needs?

THIS PROJECT POSITIVELY INCREASES MOBILITY THROUGHOUT THE CITY. THE PUBLIC WILL BE ABLE TO ACCESS THE FUTURE PARK WICH WILL ALLOW PEOPLE TO SAFELY WALK OR RIDE BIKES EAST OR WEST FROM APPROX. 1500 EAST TO 700 EAST.

3. Specifically contribute in any way to enhanced transit?

4. Contribute to enhanced non-motorized transportation systems, connections with them or their use?

5. Result in fiscally sustainable additions or other changes to the transportation network?

6. Have a positive impact on walkability?

7. Support the quality of the environment, including air quality, water quality, and dark skies.

YES, THIS PROJECT WILL HAVE EV HOOKUPS IN EVERY GARAGE. WE WANT TO ENCOURAGE THE USE OF ELECTRIC VEHICLES TO HELP REDUCE EMISSIONS. WE WILL ALSO PLANT SEVERAL TREES TO PRODUCE MORE OXYGEN

Health and Environment

Does the project or initiative...

1. Support the overall focus on the Health and Environment theme?

YES

2. Incorporate green building principles?

THIS PROJECT WILL USE MODERN AND GREEN BUILDING PRINCIPLES. THE APPLIANCES WILL BE ENERGY EFFICIENT. EV HOOKUPS WILL BE IN EVERY UNIT.

3. Enhance pedestrian connectivity in Millcreek?

THIS PROJECT HAS A BUS STOP AND SIDEWALKS MAKING IT EASY TO GET ON PUBLIC TRANSPORTATION OR WALK/BIKE TO YOUR LOCAL DESTINATION.

4. Protect or expand Millcreek's urban tree canopy?

SEVERAL TREES WILL BE PLANTED TO EXPAND MILLCREEK'S URBAN TREE CANOPY

Outdoor Lifestyle

Does the project or initiative...

1. Support the overall focus on the Outdoor Lifestyle theme?

THIS PROJECT SUPPORTS THE OVERALL FOCUS ON THE OUTDOOR LIFESTYLE THEME AS FOLLOWS: AMAZING MOUNTAIN VIEWS WILL BE ENJOYED THROUGH THE WINDOW AND THE HUGE COVERED DECK

2. Positively contribute to the safety, security and well-being of residents, and those who use park or open space facilities?

THE DECKS WILL OVERLOOK THE FUTURE PARK AND CONTRIBUTE TO SAFETY AND SECURITY OF THOSE WHO USE THE PARK SIMPLE BECAUSE OWNERS WILL HAVE A WATCHFUL EYE ON THINGS AND CAN REPORT ANYTHING OUT OF THE ORDINARY TO THE POLICE.

3. Encourage additional investment or reinvestment in surrounding areas?

THIS PROJECT WILL BE BEAUTIFUL AND WELL BUILT. IT WILL MOTIVATE OTHERS TO UPDATE OR REDEVELOP THEIR PROPERTY.

4. Contribute to the connectivity within and between neighborhoods, particularly for walkability, access to multimodal transportation alternatives, and contribution to the feasibility of alternative modes?

MILLCREEK HAS A DESIRED RECREATIONAL ROUT THAT WILL CONNECT SEVERAL REGIONAL PARKS. OUR PATHWAY OR TRAIL WILL COMPLIMENT THIS RECREATIONAL ROUT AND BE AN ASSET TO MILLCREEK

5. Enhance the connection to the outdoors, trails, parks, natural areas and green infrastructure?

THE CONNGCTION TO THE OUTDOOR WILL BE ENHANCED AS A WALKABLE TRAIL WILL ALLOW NEIGHBORS ACCESS FROM 900 EAST TO THE FUTURE COUNTY PARK (BIG COTTONWOOD REGIONAL PARK)

6. Increase parks in needed areas of the City?

7. Increase the number of trails along the foothills, Mill Creek Canyon and Neff's Canyon?

Enriched Culture

Does the project or initiative...

1. Support the overall focus on our Enriched Culture theme?

YES

2. Add value or help establish a cultural identity within the City?

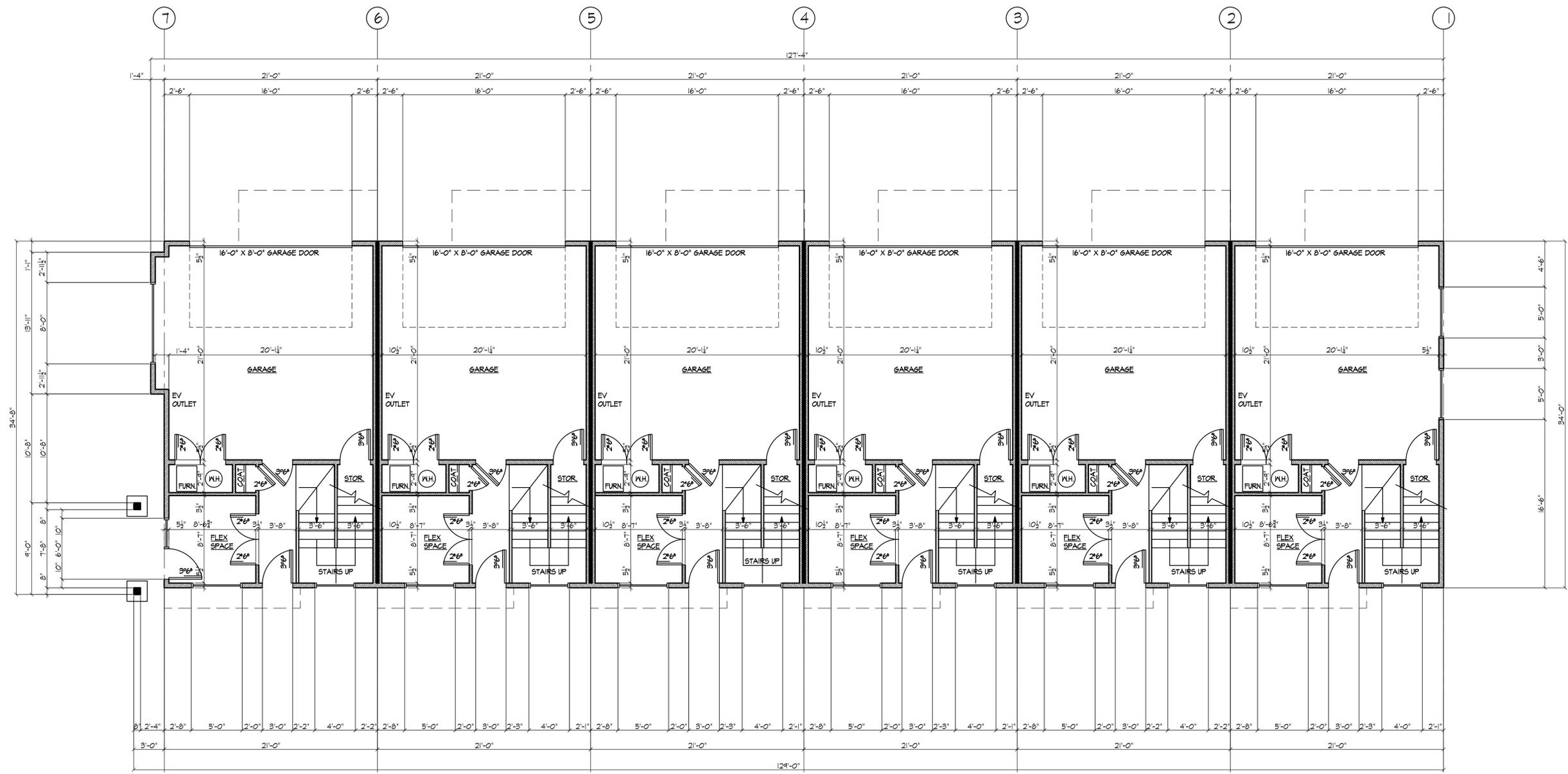
THE CULTURE OF THE CITY THIS PROJECT WILL ESTABLISH IS A CULTURE OF HOME OWNERS THAT LOVE THE OUTDOORS AND WANT TO LIVE, WORK, AND RECREATE IN THE CITY FOREVER

3. Preserve or incorporate the historic assets of the City or promote this legacy?

4. Provide cultural services, opportunities or access to underserved populations or neighborhoods?

5. Incorporate public art in association with this action or decision?

6. Support the enhancement of centers of lifelong learning and innovation in the City?



| UNIT SIZE |
|-----------------------------|-----------------------------|-----------------------------|-----------------------------|-----------------------------|-----------------------------|
| MAIN FLOOR 264 S.F. |
| 2ND FLOOR 768 S.F. |
| 3RD FLOOR 800 S.F. |
| TOTAL SQ. FOOTAGE 1832 S.F. |

MAIN FLOOR PLAN
SCALE 3/16"=1'-0"

	MAIN FLOOR PLAN	
	DATE: 04-11-2024	JOB # 240623
	PROJECT: THE PRESERVE ON 9TH 4181 SOUTH 900 EAST	MILLCREEK, UTAH



UNIT SIZE	
MAIN FLOOR	264 S.F.
2ND FLOOR	168 S.F.
3RD FLOOR	800 S.F.
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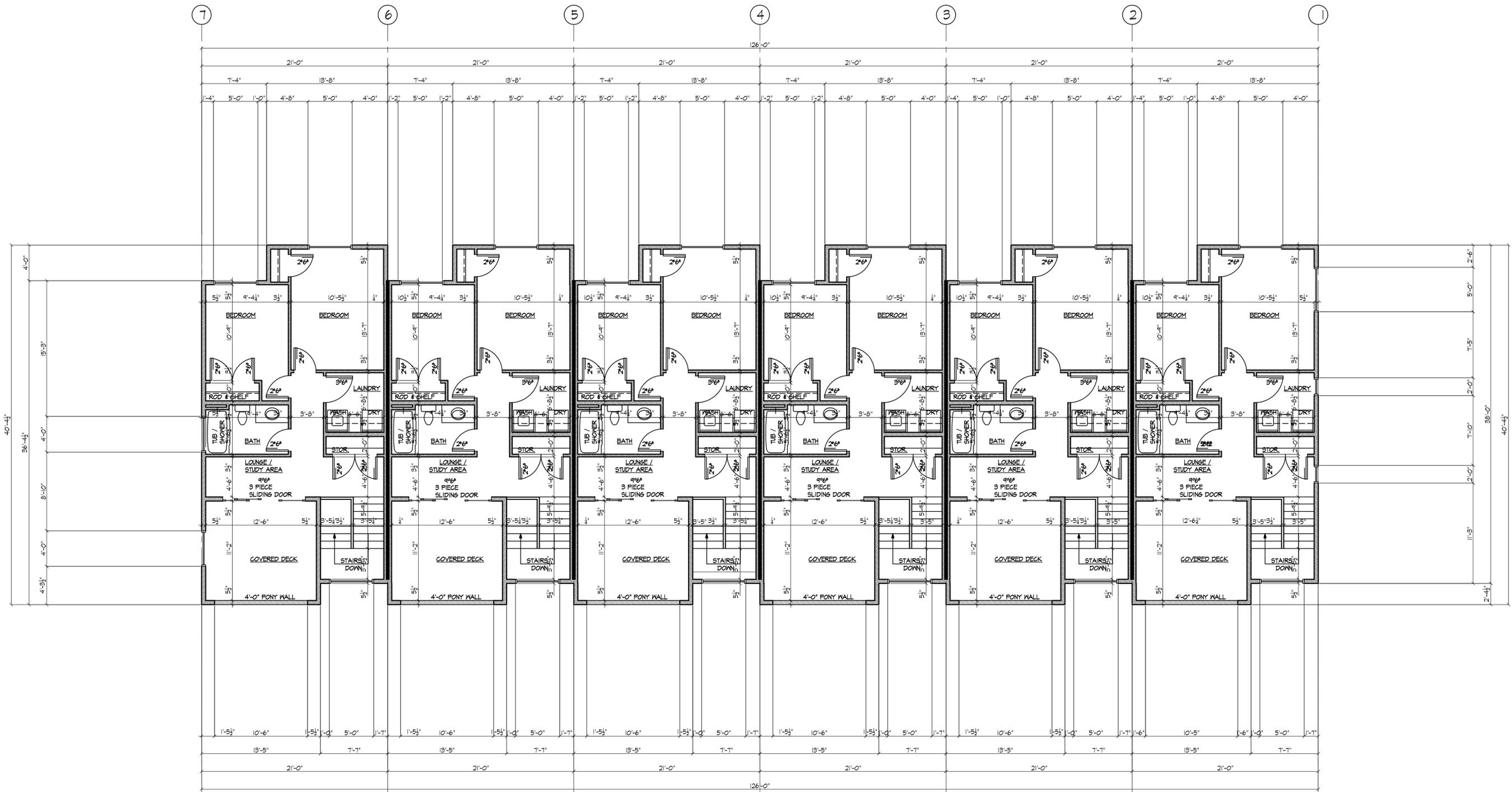
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2ND FLOOR PLAN

SCALE 3/16"=1'-0"

	2ND FLOOR PLAN	
	DATE: 04-11-2024	JOB # 240623
	PROJECT: THE PRESERVE ON 9TH	
	4181 SOUTH 900 EAST	MILLCREEK, UTAH



UNIT SIZE	
MAIN FLOOR	264 S.F.
2ND FLOOR	760 S.F.
3RD FLOOR	800 S.F.
TOTAL SQ. FOOTAGE	1832 S.F.

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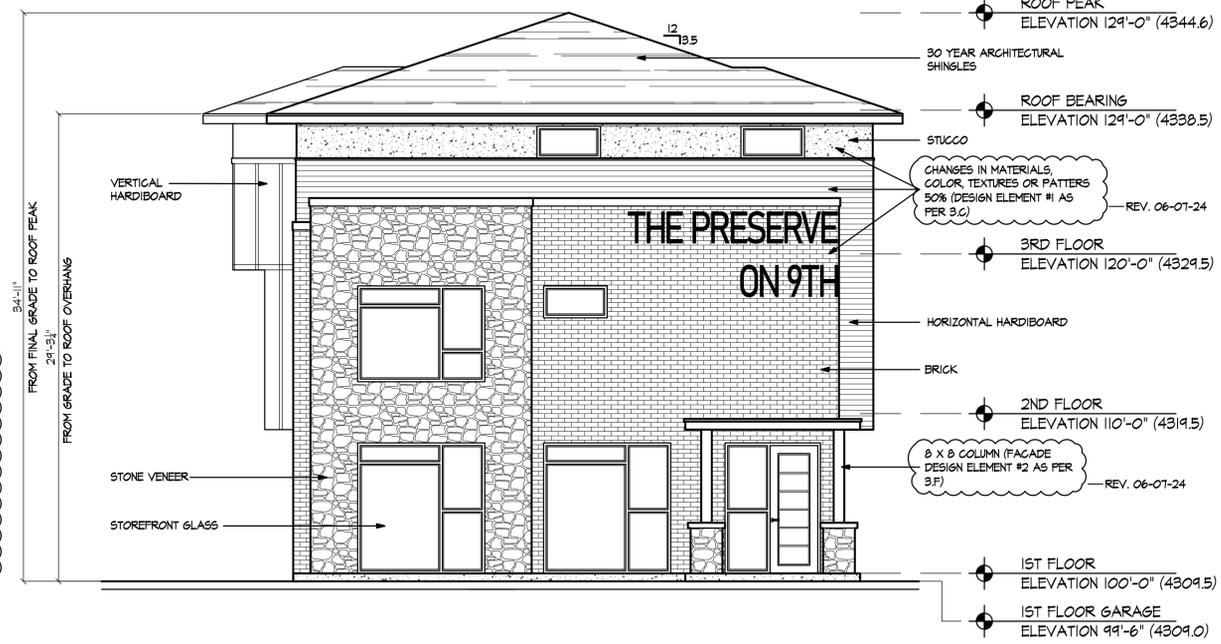
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3RD FLOOR PLAN
SCALE 3/16"=1'-0"

	3RD FLOOR PLAN	
	DATE: 04-11-2024	JOB # 240623
PROJECT:	THE PRESERVE ON 9TH	
4181 SOUTH 900 EAST	MILLCREEK, UTAH	3
www.jb-designgroup.com	801-668-5852	

FACADE VARIATIONS PERCENTAGES		
BRICK	351 SQ. FT.	43%
STONE	225 SQ. FT.	28%
VERTICAL HARDIEBOARD	54 SQ. FT.	7%
HORIZONTAL HARDIEBOARD	123 SQ. FT.	15%
STUCCO	62 SQ. FT.	7%
TOTAL W/O WINDOWS	815 SQ. FT.	
WINDOWS & DOORS	251 SQ. FT.	
TOTAL	1066 SQ. FT.	

REV. 06-01-24



FRONT EXTERIOR ELEVATION
SCALE 3/16"=1'-0"



FACADE VARIATIONS PERCENTAGES		
BRICK	1480 SQ. FT.	56%
VERTICAL HARDIEBOARD	860 SQ. FT.	33%
HORIZONTAL HARDIEBOARD	140 SQ. FT.	6%
STUCCO	120 SQ. FT.	5%
TOTAL W/O WINDOWS	2600 SQ. FT.	
WINDOWS & DOORS	448 SQ. FT.	
TOTAL	3548 SQ. FT.	

REV. 06-01-24

SIDE EXTERIOR ELEVATION
SCALE 3/16"=1'-0"

www.jb-designgroup.com 801-668-5852

FRONT & SIDE ELEVATIONS

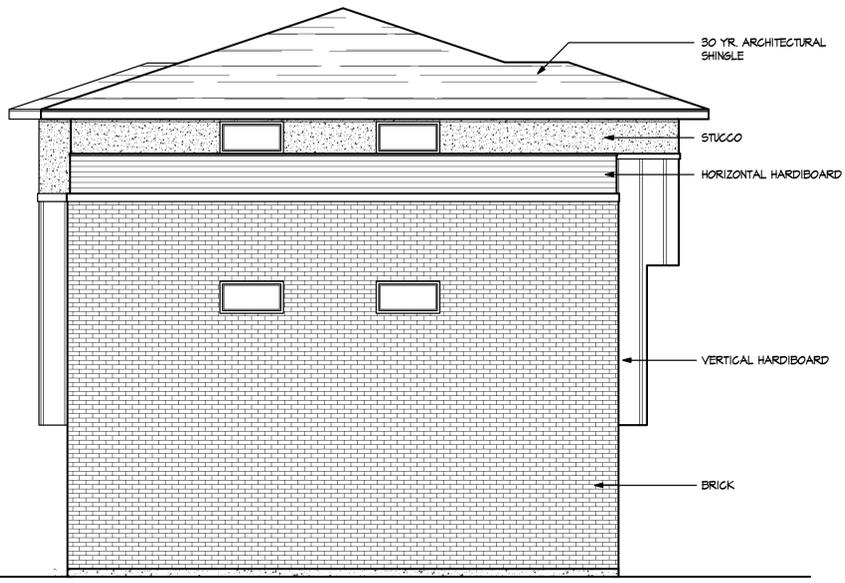
DATE: 04-23-2024 JOB #: 240623

PROJECT: THE PRESERVE ON 9TH 4181 SOUTH 900 EAST MILLCREEK, UTAH

4

FACADE VARIATIONS PERCENTAGES		
BRICK	746 SQ. FT.	78%
VERTICAL HARDIEBOARD	12 SQ. FT.	1%
HORIZONTAL HARDIEBOARD	06 SQ. FT.	0%
STUCCO	76 SQ. FT.	7%
TOTAL W/O WINDOWS	1030 SQ. FT.	
WINDOWS & DOORS	32 SQ. FT.	
TOTAL	1062 SQ. FT.	

REV. 06-01-24



BACK EXTERIOR ELEVATION

SCALE 3/16"=1'-0"



FACADE VARIATIONS PERCENTAGES		
BRICK	904 SQ. FT.	42%
VERTICAL HARDIEBOARD	1102 SQ. FT.	44%
HORIZONTAL HARDIEBOARD	54 SQ. FT.	2%
STUCCO	150 SQ. FT.	7%
TOTAL W/O WINDOWS	2210 SQ. FT.	
WINDOWS & DOORS	1338 SQ. FT.	
TOTAL	3548 SQ. FT.	

REV. 06-01-24

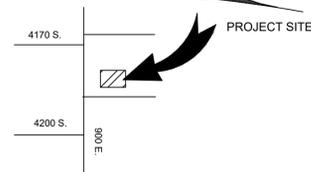
SIDE EXTERIOR ELEVATION

SCALE 3/16"=1'-0"

	BACK & SIDE ELEVATIONS		<div style="font-size: 2em; font-weight: bold; border: 1px solid black; padding: 5px;">5</div>
	DATE: 04-23-2024 PROJECT: THE PRESERVE ON 9TH 4181 SOUTH 900 EAST	JOB # 240623 MILLCREEK, UTAH	

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VICINITY MAP

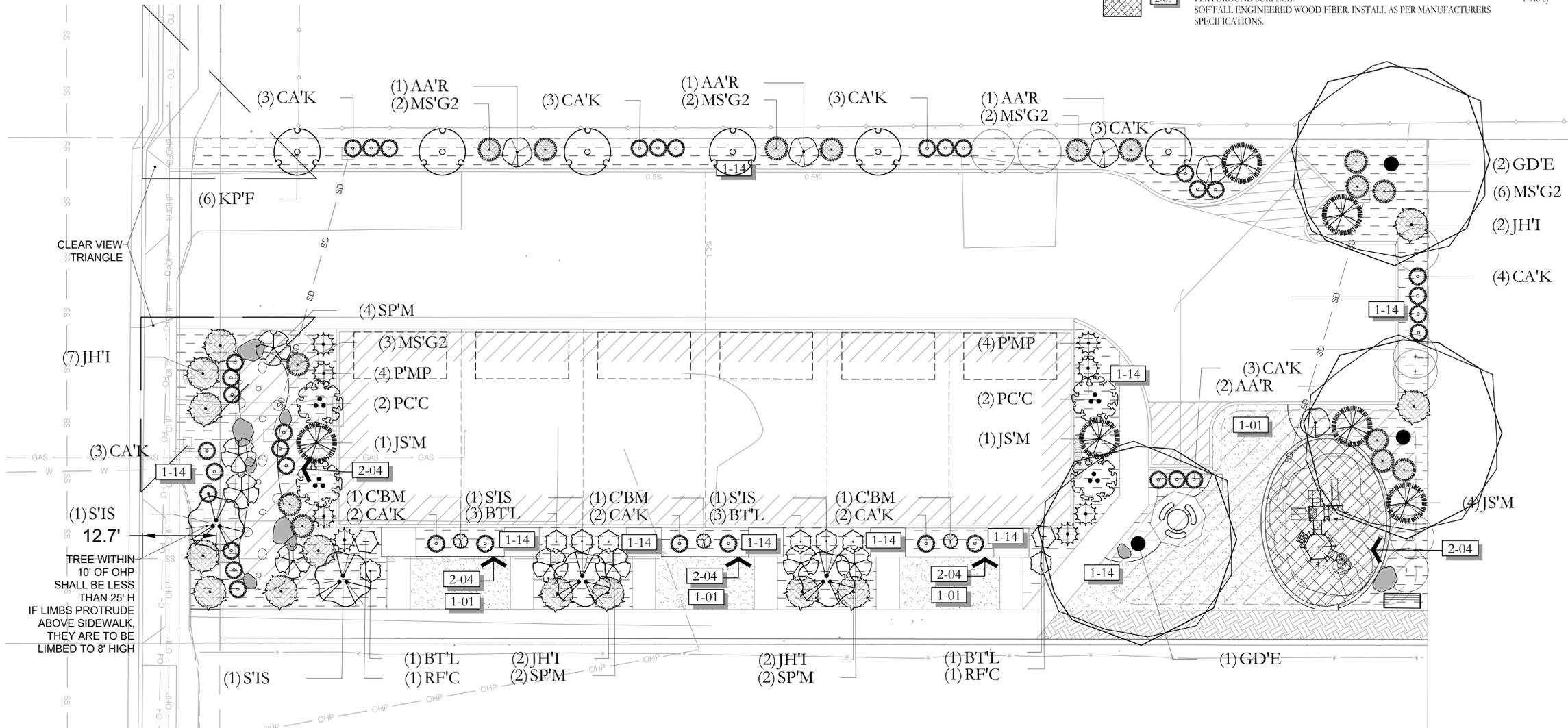


SITE MATERIALS LEGEND

- 1-01 1,090 sf SODDED LAWN AREA
LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH DROUGHT TOLERANT KENTUCKY BLUE GRASS OR APPROVED EQUAL. SEE SOD LANDSCAPE NOTES FOR FURTHER INFORMATION. SHEET LP-101.
- 1-14 4,156 sf 1" MINUS TAN CRUSHED ROCK
SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.
- 1-23 277 sf 4-6" GREY CRUSHED ROCK.
SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 6" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.
- 2-01 5 BOULDERS- DECORATIVE
2' ROUND SUBMIT COLOR SAMPLES FOR ARCHITECT AND OWNER APPROVAL. SEE PLACEMENT INSTRUCTIONS ON DETAIL SHEET LP-501.
- 2-02 4 BOULDERS- DECORATIVE
3' ROUND SUBMIT COLOR SAMPLES FOR ARCHITECT AND OWNER APPROVAL. SEE PLACEMENT INSTRUCTIONS ON DETAIL SHEET LP-501.
- 2-04 161 lf 6" CONCRETE MOW CURB
SEE DETAIL SHEET FOR ADDITIONAL INFORMATION. SHEET LP-501.
- 2 HARDSCAPE DESCRIPTION
- 2-07 17.46 cy PLAYGROUND SURFACE.
SOF FALL ENGINEERED WOOD FIBER. INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

PLANT LEGEND

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
CONIFERS				
	JSM	6	Juniperus scopulorum 'Moonglow' Moonglow Juniper Tc2, 18x8; AV 20; sun; z3; Utah Lake water tolerant HZ: 2	B & B 6'
DECIDUOUS TREES				
	GD'E	3	Gymnocladus dioica 'Espresso' Kentucky Coffeetree Td2; 50x35; AV 490; fun; z4; Utah Lake water tolerant HZ 2	B & B 2"Cal
	KPF	6	Koeleria paniculata 'Fastigata' Columnar Goldenrain Tree Td2; 25x8; AV 176; sun; z5; Utah Lake water tolerant HZ: 2	B & B 2"Cal
	S'IS	4	Syringa reticulata 'Ivory Silk' Ivory Silk Japanese Tree Lilac Moderate; 20-25'x12-15'; sun; z3; Utah Lake water tolerant. HZ: 3	B & B 2"Cal
DECIDUOUS SHRUBS				
	AA'R	5	Amelanchier alnifolia 'Regent' Regent Serviceberry Sd2; 5x5; AV 50; sun to part shade; z2; Utah Lake water tolerant HZ 2	5 gal
	BT'L	8	Berberis thunbergii 'Baileiri' TM Limoncello Barberry Sd3; 4x4; AV28; full to partial sun; z4 HZ 3	5 gal
	C'BM	3	Caryopteris x clandonensis 'CT-9-12' TM Beyond Midnight Bluebeard Sd2; 2.5x2.5; AV12.5; sun; z5 HZ.2	5 gal
	PCC	4	Prunus x cistena Purple Leaf Sand Cherry Moderate; 10-12'x8'; sun; z2 HZ: 2	5 gal
	RF'C	2	Rhamnus frangula 'Columnaris' Tall Hedge Buckthorn moderate; 15x4; sun; z2; Utah Lake water tolerant. HZ 3	5 gal
	SP'M	8	Syringa patula 'Miss Kim' Miss Kim Lilac Sd2; 5x6; AV12.5; sun; z4; Utah Lake water tolerant HZ 2	5 gal
EVERGREEN SHRUBS				
	JH'I	13	Juniperus horizontalis 'Monber' TM Ice Blue Juniper GV1; 4' x 8'; AV 50; sun; z3; Utah Lake water tolerant. HZ:1	5 gal
	PMP	8	Pinus mugo 'Mops' Mops Mugo Pine Moderate; 3'x5'; sun; z2; Utah Lake water tolerant; slow HZ: 2	5 gal
GRASSES				
	CA'K	37	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass Tw2; 4x3; AV 7; sun; z4; Utah Lake water tolerant. HZ:2	1 gal
	MS'G2	15	Miscanthus sinensis 'Graziella' Graziella Maiden Grass 4-5' x 4'; sun low to moderate; z5-9; HZ: 2	1 gal



ISSUE DATE 6/6/2024	PROJECT NUMBER UT24064	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT WIXACO 401K PLAN, LLC ATT: BRANDON WIXOM 801-864-2626 BWIXOM@GMAIL.COM	LANDSCAPE ARCHITECT / PLANNER PKJ DESIGN GROUP	LICENSE STAMP 	DRAWING INFO PLOT DATE: 6/6/2024																									
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>XXXX</td> <td>XX-XX-XX</td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> </tbody> </table>		NO.	REVISION	DATE	1	XXXX	XX-XX-XX	2			3			4			5			6			7					<h2 style="margin: 0;">THE PRESERVE ON 9TH</h2> <p style="margin: 0;">4181 S. 900 E. MILLCREEK, UTAH</p>			<p style="margin: 0;">PKJ DESIGN GROUP Landscape Architecture • Planning & Visualization</p> <p style="margin: 0;">3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 753-5644 www.pkjdesigngroup.com</p>	
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<p style="margin: 0;">COPYRIGHT: PKJ DESIGN GROUP</p> <p style="margin: 0; font-size: small;">THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS PROPERTY OF PKJ DESIGN GROUP. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PKJ DESIGN GROUP.</p>																																

LANDSCAPE OVERALL PLAN
CITY PERMIT SET
LP-100

EXISTING AND NEW LANDSCAPE AREA

SYMBOL	SITE MATERIAL	REMAINING CREDIT: 36" x 3 = 108" REMOVED INCHES: 109"
	EXISTING TREES TO REMAIN AND TO PROTECT (36") (1) 9" TREES = 9" (2) 5" TREES = 10" (1) 3" TREE = 3" (1) 10" TREES = 10" (2) 2" TREE = 4"	PROVIDE 1" REPLACEMENT TREE
	EXISTING TREES TO BE REMOVED (109") (2) 2" TREES = 4" (3) 4" TREES = 12" (2) 5" TREES = 10" (2) 10" TREES = 20" (2) 8" TREES = 16" (3) 6" TREES = 18" (1) 11" TREE = 11" (1) 1" TREE = 1" (1) 14" TREE = 14" (1) 3" TREE = 3"	

EXISTING TREE NOTES

TREE PROTECTION AND PRESERVATION

INTRODUCTION: THIS IS INTENDED TO GUIDE THE GENERAL CONTRACTOR AND SUB-CONTRACTORS CREWS AND OWNER IN THE PROTECTION OF TREES LOCATED ON PROJECT SITE, AND SHALL BE IN COMPLIANCE WITH FOLLOWING SPECIFICATIONS. ALL PEOPLE THAT WORK AROUND TREES ARE RESPONSIBLE TO PROTECT THE TREES FROM UNNECESSARY INJURY THAT WOULD DECREASE THEIR VALUE. TREE ROOTS OFTEN SPREAD 2-3 TIMES WIDER THAN THE DRIP-LINE OF THE CANOPY AND 90% OF A TREE'S ROOTS ARE FOUND IN THE TOP 2 FEET OF SOIL. THESE FACTS ILLUSTRATE WHY IT IS SO IMPORTANT TO USE CARE WHEN WORKING NEAR EXISTING TREES.

- A. TREE PROTECTION GUIDELINES FOR CONSTRUCTION SITES**
- PRIOR TO INITIATION OF DEMOLITION AND CONSTRUCTION WORK THAT WILL AFFECT TREES ON PROPERTY, THE FOLLOWING TREE PROTECTION PLAN SHOULD BE IMPLEMENTED, WHICH PROVIDES FOR THE FOLLOWING INFORMATION:
- TREE PROTECTION PRACTICES MAY INCLUDE, BUT ARE NOT LIMITED TO: PRUNING BRANCHES AND ROOTS, TEMPORARILY FENCING OFF AREA AROUND THE ROOTING ZONE, WRAPPING TRUNKS TO PREVENT WOUNDS, SPREADING WOOD CHIPS OR GRAVEL TO REDUCE SOIL COMPACTION, ENSURING PROPER TREE IRRIGATION IS PROVIDED THROUGHOUT THE TERM OF THE PROJECT, AND ADDING WELL-COMPOSTED ORGANIC MATTER TO THE TREE'S GROWING LOCATION FOLLOWING CONSTRUCTION.
 - TREE PLANTING WORK SHALL BE DONE IN ACCORDANCE WITH LATEST LOCAL CODES, IE: BEST MANAGEMENT PRACTICES (BMP), ANSI Z133.1, AND ANSI A300. DIRECTIONS PROVIDED IN AUTHORIZING PERMITS SHALL BE FOLLOWED.
 - ANY TREE TO REMAIN THAT IS IRREPARABLY DAMAGED DUE TO CONSTRUCTION ACTIVITIES SHALL BE REMUNERATED AT COST TO CONTRACTOR RESPONSIBLE FOR DAMAGES. THE VALUE OF ALL TREES TO REMAIN SHALL BE ESTABLISHED IN WRITING AND AGREED UPON BY ALL PARTIES INVOLVED PRIOR TO CONSTRUCTION ACTIVITIES.
 - ANY TREES TO REMAIN ON-SITE AND ON ADJACENT PROPERTIES THAT ARE DAMAGED DUE TO CONSTRUCTION ACTIVITIES THAT ARE REPLACEMENTS SHALL BE REPLACED WITH TREE OF SAME SPECIES, CALIPER SIZE AND SIMILAR SHAPE AT THE EXPENSE OF CONTRACTOR RESPONSIBLE FOR DAMAGE.
 - TREES BEING PRESERVED DURING ALL CONSTRUCTION ACTIVITIES SHALL HAVE A TREE PROTECTION ZONE (TPZ), WHICH IS NO LESS THAN THE WIDTH OF THE DRIP-LINE OF THE TREE'S CANOPY, CLEARLY MARKED WITH A CONTINUOUS CHAIN LINK PROTECTIVE FENCE, OR OWNER APPROVED EQUIVALENT, PRIOR TO ANY DEMOLITION, CLEARING, TRENCHING OR TUNNELING PROJECTS COMMENCEMENT.
 - HEAVY EQUIPMENT SHALL NOT BE ALLOWED INSIDE THE TREE PROTECTION ZONE. ALL HEAVY EXCAVATIONS SHALL BE MADE BY EQUIPMENT FROM OUTSIDE OF THIS ZONE.
 - BUILDING MATERIAL, TOPSOIL, CHEMICALS, OR FILL SHALL NOT BE STOCKPILED IN THE TREE PROTECTION ZONE OR IN THE DRIP-LINE OF ANY TREE THAT IS SCHEDULED FOR PRESERVATION.
 - PRIOR TO CONSTRUCTION, THE TREE PROTECTION ZONE WILL BE DESIGNATED BY PLAN AND IN COORDINATION WITH BLUE STAKES, OWNER, LANDSCAPE ARCHITECT AND/OR CITY URBAN FORESTER. THE SIZE AND SHAPE OF THE ZONE WILL DEPEND ON THE TREE SPECIES SENSITIVITY TO IMPACT, THE HEALTH AND AGE OF THE TREE, AND ROOT AND CROWN CONFORMATION AND DEVELOPMENT CONSTRAINTS.
 - TRENCHING SHOULD BE PERFORMED IN ACCORDANCE WITH THE STANDARDS LISTED ABOVE. WHEN LARGE SCAFFOLD ROOTS ARE ENCOUNTERED WHILE TRENCHING, HAND DIGGING AND BRIDGING OF THE ROOTS SHALL BE DONE. IN SITUATIONS WHERE A ROOT HAS BEEN DAMAGED, A CLEAN CUT SHALL BE MADE ON THE ROOT AT THE EDGE OF THE TRENCH CLOSEST TO THE TREE TRUNK.
 - TUNNELING OR BORING SHOULD BE DONE WHENEVER WORK MUST BE DONE WITHIN THE TREE PROTECTION ZONE. TUNNELING OR BORING IN THE TREE PROTECTION ZONE MUST BE AT LEAST 2 FEET DEEP.
 - EXCAVATION INVOLVING ROOT CUTS SHOULD BE DONE RAPIDLY. CUTS ON TREE ROOTS SHALL BE SMOOTH AND CLEAN. THE TRENCH SHOULD BE BACKFILLED AS QUICKLY AS POSSIBLE TO PREVENT THE EXPOSED ROOTS FROM DRYING OUT AND THE TREE SHOULD BE WATERED IMMEDIATELY. IF TREES ARE TO REMAIN EXPOSED FOR MORE THAN FOUR TO SIX HOURS, THEY MUST BE COVERED WITH BURLAP AND KEPT MOIST AT ALL TIMES.
 - FOR TREES WITH A TRUNK DIAMETER IN EXCESS OF SIX INCHES, TUNNELING OR BORING SHOULD REPLACE TRENCHING ACCORDING TO THE FOLLOWING MINIMUM DISTANCES FROM THE FACE OF THE TREE TRUNK IN ANY DIRECTION.
 - 1" TO 2" TREE: 12"
 - 3" TO 4" TREE: 18"
 - 5" TO 6" TREE: 24"
 - 7" TO 8" TREE: 30"
 - 9" TO 10" TREE: 36"
 - 11" TO 12" TREE: 42"
 - 13" TO 14" TREE: 48"
 - 15" TO 16" TREE: 54"
 - 17" TO 18" TREE: 60"
 - 19" TO 20" TREE: 66"
 - 21" TO 22" TREE: 72"
 - 23" TO 24" TREE: 78"
 - 25" TO 26" TREE: 84"
 - 27" TO 28" TREE: 90"
 - 29" TO 30" TREE: 96"
 - 31" TO 32" TREE: 102"
 - 33" TO 34" TREE: 108"
 - 35" TO 36" TREE: 114"
 - 37" TO 38" TREE: 120"
 - 39" TO 40" TREE: 126"
 - 41" TO 42" TREE: 132"
 - 43" TO 44" TREE: 138"
 - 45" TO 46" TREE: 144"
 - 47" TO 48" TREE: 150"
 - 49" TO 50" TREE: 156"
 - 51" TO 52" TREE: 162"
 - 53" TO 54" TREE: 168"
 - 55" TO 56" TREE: 174"
 - 57" TO 58" TREE: 180"
 - 59" TO 60" TREE: 186"
 - 61" TO 62" TREE: 192"
 - 63" TO 64" TREE: 198"
 - 65" TO 66" TREE: 204"
 - 67" TO 68" TREE: 210"
 - 69" TO 70" TREE: 216"
 - 71" TO 72" TREE: 222"
 - 73" TO 74" TREE: 228"
 - 75" TO 76" TREE: 234"
 - 77" TO 78" TREE: 240"
 - 79" TO 80" TREE: 246"
 - 81" TO 82" TREE: 252"
 - 83" TO 84" TREE: 258"
 - 85" TO 86" TREE: 264"
 - 87" TO 88" TREE: 270"
 - 89" TO 90" TREE: 276"
 - 91" TO 92" TREE: 282"
 - 93" TO 94" TREE: 288"
 - 95" TO 96" TREE: 294"
 - 97" TO 98" TREE: 300"
 - 99" TO 100" TREE: 306"
 - 101" TO 102" TREE: 312"
 - 103" TO 104" TREE: 318"
 - 105" TO 106" TREE: 324"
 - 107" TO 108" TREE: 330"
 - 109" TO 110" TREE: 336"
 - 111" TO 112" TREE: 342"
 - 113" TO 114" TREE: 348"
 - 115" TO 116" TREE: 354"
 - 117" TO 118" TREE: 360"
 - 119" TO 120" TREE: 366"
 - 121" TO 122" TREE: 372"
 - 123" TO 124" TREE: 378"
 - 125" TO 126" TREE: 384"
 - 127" TO 128" TREE: 390"
 - 129" TO 130" TREE: 396"
 - 131" TO 132" TREE: 402"
 - 133" TO 134" TREE: 408"
 - 135" TO 136" TREE: 414"
 - 137" TO 138" TREE: 420"
 - 139" TO 140" TREE: 426"
 - 141" TO 142" TREE: 432"
 - 143" TO 144" TREE: 438"
 - 145" TO 146" TREE: 444"
 - 147" TO 148" TREE: 450"
 - 149" TO 150" TREE: 456"
 - 151" TO 152" TREE: 462"
 - 153" TO 154" TREE: 468"
 - 155" TO 156" TREE: 474"
 - 157" TO 158" TREE: 480"
 - 159" TO 160" TREE: 486"
 - 161" TO 162" TREE: 492"
 - 163" TO 164" TREE: 498"
 - 165" TO 166" TREE: 504"
 - 167" TO 168" TREE: 510"
 - 169" TO 170" TREE: 516"
 - 171" TO 172" TREE: 522"
 - 173" TO 174" TREE: 528"
 - 175" TO 176" TREE: 534"
 - 177" TO 178" TREE: 540"
 - 179" TO 180" TREE: 546"
 - 181" TO 182" TREE: 552"
 - 183" TO 184" TREE: 558"
 - 185" TO 186" TREE: 564"
 - 187" TO 188" TREE: 570"
 - 189" TO 190" TREE: 576"
 - 191" TO 192" TREE: 582"
 - 193" TO 194" TREE: 588"
 - 195" TO 196" TREE: 594"
 - 197" TO 198" TREE: 600"
 - 199" TO 200" TREE: 606"
 - 201" TO 202" TREE: 612"
 - 203" TO 204" TREE: 618"
 - 205" TO 206" TREE: 624"
 - 207" TO 208" TREE: 630"
 - 209" TO 210" TREE: 636"
 - 211" TO 212" TREE: 642"
 - 213" TO 214" TREE: 648"
 - 215" TO 216" TREE: 654"
 - 217" TO 218" TREE: 660"
 - 219" TO 220" TREE: 666"
 - 221" TO 222" TREE: 672"
 - 223" TO 224" TREE: 678"
 - 225" TO 226" TREE: 684"
 - 227" TO 228" TREE: 690"
 - 229" TO 230" TREE: 696"
 - 231" TO 232" TREE: 702"
 - 233" TO 234" TREE: 708"
 - 235" TO 236" TREE: 714"
 - 237" TO 238" TREE: 720"
 - 239" TO 240" TREE: 726"
 - 241" TO 242" TREE: 732"
 - 243" TO 244" TREE: 738"
 - 245" TO 246" TREE: 744"
 - 247" TO 248" TREE: 750"
 - 249" TO 250" TREE: 756"
 - 251" TO 252" TREE: 762"
 - 253" TO 254" TREE: 768"
 - 255" TO 256" TREE: 774"
 - 257" TO 258" TREE: 780"
 - 259" TO 260" TREE: 786"
 - 261" TO 262" TREE: 792"
 - 263" TO 264" TREE: 798"
 - 265" TO 266" TREE: 804"
 - 267" TO 268" TREE: 810"
 - 269" TO 270" TREE: 816"
 - 271" TO 272" TREE: 822"
 - 273" TO 274" TREE: 828"
 - 275" TO 276" TREE: 834"
 - 277" TO 278" TREE: 840"
 - 279" TO 280" TREE: 846"
 - 281" TO 282" TREE: 852"
 - 283" TO 284" TREE: 858"
 - 285" TO 286" TREE: 864"
 - 287" TO 288" TREE: 870"
 - 289" TO 290" TREE: 876"
 - 291" TO 292" TREE: 882"
 - 293" TO 294" TREE: 888"
 - 295" TO 296" TREE: 894"
 - 297" TO 298" TREE: 900"
 - 299" TO 300" TREE: 906"
 - 301" TO 302" TREE: 912"
 - 303" TO 304" TREE: 918"
 - 305" TO 306" TREE: 924"
 - 307" TO 308" TREE: 930"
 - 309" TO 310" TREE: 936"
 - 311" TO 312" TREE: 942"
 - 313" TO 314" TREE: 948"
 - 315" TO 316" TREE: 954"
 - 317" TO 318" TREE: 960"
 - 319" TO 320" TREE: 966"
 - 321" TO 322" TREE: 972"
 - 323" TO 324" TREE: 978"
 - 325" TO 326" TREE: 984"
 - 327" TO 328" TREE: 990"
 - 329" TO 330" TREE: 996"
 - 331" TO 332" TREE: 1002"
 - 333" TO 334" TREE: 1008"
 - 335" TO 336" TREE: 1014"
 - 337" TO 338" TREE: 1020"
 - 339" TO 340" TREE: 1026"
 - 341" TO 342" TREE: 1032"
 - 343" TO 344" TREE: 1038"
 - 345" TO 346" TREE: 1044"
 - 347" TO 348" TREE: 1050"
 - 349" TO 350" TREE: 1056"
 - 351" TO 352" TREE: 1062"
 - 353" TO 354" TREE: 1068"
 - 355" TO 356" TREE: 1074"
 - 357" TO 358" TREE: 1080"
 - 359" TO 360" TREE: 1086"
 - 361" TO 362" TREE: 1092"
 - 363" TO 364" TREE: 1098"
 - 365" TO 366" TREE: 1104"
 - 367" TO 368" TREE: 1110"
 - 369" TO 370" TREE: 1116"
 - 371" TO 372" TREE: 1122"
 - 373" TO 374" TREE: 1128"
 - 375" TO 376" TREE: 1134"
 - 377" TO 378" TREE: 1140"
 - 379" TO 380" TREE: 1146"
 - 381" TO 382" TREE: 1152"
 - 383" TO 384" TREE: 1158"
 - 385" TO 386" TREE: 1164"
 - 387" TO 388" TREE: 1170"
 - 389" TO 390" TREE: 1176"
 - 391" TO 392" TREE: 1182"
 - 393" TO 394" TREE: 1188"
 - 395" TO 396" TREE: 1194"
 - 397" TO 398" TREE: 1200"
 - 399" TO 400" TREE: 1206"
 - 401" TO 402" TREE: 1212"
 - 403" TO 404" TREE: 1218"
 - 405" TO 406" TREE: 1224"
 - 407" TO 408" TREE: 1230"
 - 409" TO 410" TREE: 1236"
 - 411" TO 412" TREE: 1242"
 - 413" TO 414" TREE: 1248"
 - 415" TO 416" TREE: 1254"
 - 417" TO 418" TREE: 1260"
 - 419" TO 420" TREE: 1266"
 - 421" TO 422" TREE: 1272"
 - 423" TO 424" TREE: 1278"
 - 425" TO 426" TREE: 1284"
 - 427" TO 428" TREE: 1290"
 - 429" TO 430" TREE: 1296"
 - 431" TO 432" TREE: 1302"
 - 433" TO 434" TREE: 1308"
 - 435" TO 436" TREE: 1314"
 - 437" TO 438" TREE: 1320"
 - 439" TO 440" TREE: 1326"
 - 441" TO 442" TREE: 1332"
 - 443" TO 444" TREE: 1338"
 - 445" TO 446" TREE: 1344"
 - 447" TO 448" TREE: 1350"
 - 449" TO 450" TREE: 1356"
 - 451" TO 452" TREE: 1362"
 - 453" TO 454" TREE: 1368"
 - 455" TO 456" TREE: 1374"
 - 457" TO 458" TREE: 1380"
 - 459" TO 460" TREE: 1386"
 - 461" TO 462" TREE: 1392"
 - 463" TO 464" TREE: 1398"
 - 465" TO 466" TREE: 1404"
 - 467" TO 468" TREE: 1410"
 - 469" TO 470" TREE: 1416"
 - 471" TO 472" TREE: 1422"
 - 473" TO 474" TREE: 1428"
 - 475" TO 476" TREE: 1434"
 - 477" TO 478" TREE: 1440"
 - 479" TO 480" TREE: 1446"
 - 481" TO 482" TREE: 1452"
 - 483" TO 484" TREE: 1458"
 - 485" TO 486" TREE: 1464"
 - 487" TO 488" TREE: 1470"
 - 489" TO 490" TREE: 1476"
 - 491" TO 492" TREE: 1482"
 - 493" TO 494" TREE: 1488"
 - 495" TO 496" TREE: 1494"
 - 497" TO 498" TREE: 1500"
 - 499" TO 500" TREE: 1506"
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 - 533" TO 534" TREE: 1608"
 - 535" TO 536" TREE: 1614"
 - 537" TO 538" TREE: 1620"
 - 539" TO 540" TREE: 1626"
 - 541" TO 542" TREE: 1632"
 - 543" TO 544" TREE: 1638"
 - 545" TO 546" TREE: 1644"
 - 547" TO 548" TREE: 1650"
 - 549" TO 550" TREE: 1656"
 - 551" TO 552" TREE: 1662"
 - 553" TO 554" TREE: 1668"
 - 555" TO 556" TREE: 1674"
 - 557" TO 558" TREE: 1680"
 - 559" TO 560" TREE: 1686"
 - 561" TO 562" TREE: 1692"
 - 563" TO 564" TREE: 1698"
 - 565" TO 566" TREE: 1704"
 - 567" TO 568" TREE: 1710"
 - 569" TO 570" TREE: 1716"
 - 571" TO 572" TREE: 1722"
 - 573" TO 574" TREE: 1728"
 - 575" TO 576" TREE: 1734"
 - 577" TO 578" TREE: 1740"
 - 579" TO 580" TREE: 1746"
 - 581" TO 582" TREE: 1752"
 - 583" TO 584" TREE: 1758"
 - 585" TO 586" TREE: 1764"
 - 587" TO 588" TREE: 1770"
 - 589" TO 590" TREE: 1776"
 - 591" TO 592" TREE: 1782"
 - 593" TO 594" TREE: 1788"
 - 595" TO 596" TREE: 1794"
 - 597" TO 598" TREE: 1800"
 - 599" TO 600" TREE: 1806"
 - 601" TO 602" TREE: 1812"
 - 603" TO 604" TREE: 1818"
 - 605" TO 606" TREE: 1824"
 - 607" TO 608" TREE: 1830"
 - 609" TO 610" TREE: 1836"
 - 611" TO 612" TREE: 1842"
 - 613" TO 614" TREE: 1848"
 - 615" TO 616" TREE: 1854"
 - 617" TO 618" TREE: 1860"
 - 619" TO 620" TREE: 1866"
 - 621" TO 622" TREE: 1872"
 - 623" TO 624" TREE: 1878"
 - 625" TO 626" TREE: 1884"
 - 627" TO 628" TREE: 1890"
 - 629" TO 630" TREE: 1896"
 - 631" TO 632" TREE: 1902"
 - 633" TO 634" TREE: 1908"
 - 635" TO 636" TREE: 1914"
 - 637" TO 638" TREE: 1920"
 - 639" TO 640" TREE: 1926"
 - 641" TO 642" TREE: 1932"
 - 643" TO 644" TREE: 1938"
 - 645" TO 646" TREE: 1944"
 - 647" TO 648" TREE: 1950"
 - 649" TO 650" TREE: 1956"
 - 651" TO 652" TREE: 1962"
 - 653" TO 654" TREE: 1968"
 - 655" TO 656" TREE: 1974"
 - 657" TO 658" TREE: 1980"
 - 659" TO 660" TREE: 1986"
 - 661" TO 662" TREE: 1992"
 - 663" TO 664" TREE: 1998"
 - 665" TO 666" TREE: 2004"
 - 667" TO 668" TREE: 2010"
 - 669" TO 670" TREE: 2016"
 - 671" TO 672" TREE: 2022"
 - 673" TO 674" TREE: 2028"
 - 675" TO 676" TREE: 2034"
 - 677" TO 678" TREE: 2040"
 - 679" TO 680" TREE: 2046"
 - 681" TO 682" TREE: 2052"
 - 683" TO 684" TREE: 2058"
 - 685" TO 686" TREE: 2064"
 - 687" TO 688" TREE: 2070"
 - 689" TO 690" TREE: 2076"
 - 691" TO 692" TREE: 2082"
 - 693" TO 694" TREE: 2088"
 - 695" TO 696" TREE: 2094"
 - 697" TO 698" TREE: 2100"
 - 699" TO 700" TREE: 2106"
 - 701" TO 702" TREE: 2112"
 - 703" TO 704" TREE: 2118"
 - 705" TO 706" TREE: 2124"
 - 707" TO 708" TREE: 2130"
 - 709" TO 710" TREE: 2136"
 - 711" TO 712" TREE: 2142"
 - 713" TO 714" TREE: 2148"
 - 715" TO 716" TREE: 2154"
 - 717" TO 718" TREE: 2160"
 - 719" TO 720" TREE: 2166"
 - 721" TO 722" TREE: 2172"
 - 723" TO 724" TREE: 2178"
 - 725" TO 726" TREE: 2184"
 - 727" TO 728" TREE: 2190"
 - 729" TO 730" TREE: 2196"
 - 731" TO 732" TREE: 2202"
 - 733" TO 734" TREE: 2208"
 - 735" TO 736" TREE: 2214"
 - 737" TO 738" TREE: 2220"
 - 739" TO 740" TREE: 2226"
 - 741" TO 742" TREE: 2232"
 - 743" TO 744" TREE: 2238"
 - 745" TO 746" TREE: 2244"
 - 747" TO 748" TREE: 2250"
 - 749" TO 750" TREE: 2256"
 - 751" TO 752" TREE: 2262"
 - 753" TO 754" TREE: 2268"
 - 755" TO 756" TREE: 2274"
 - 757" TO 758" TREE: 2280"
 - 759" TO 760" TREE: 2286"
 - 761" TO 762" TREE: 2292"
 - 763" TO 764" TREE: 2298"
 - 765" TO 766" TREE: 2304"
 - 767" TO 768" TREE: 2310"
 - 769" TO 770" TREE: 2316"
 - 771" TO 772" TREE: 2322"
 - 773" TO 774" TREE: 2328"
 - 775" TO 776" TREE: 2334"
 - 777" TO 778" TREE: 2340"
 - 779" TO 780" TREE: 2346"
 - 781" TO 782" TREE: 2352"
 - 783" TO 784" TREE: 2358"
 - 785" TO 786" TREE: 2364"
 - 787" TO 788" TREE: 2370"
 - 789" TO 790" TREE: 2376"
 - 791" TO 792" TREE: 2382"
 - 793" TO 794" TREE: 2388"
 - 795" TO 796" TREE: 2394"
 - 797" TO 798" TREE: 2400"
 - 799" TO 800" TREE: 2406"
 - 801" TO 802" TREE: 2412"
 - 803" TO 804" TREE: 2418"
 - 805" TO 806" TREE: 2424"
 - 807" TO 808" TREE: 2430"
 - 809" TO 810" TREE: 2436"
 - 811" TO 812" TREE: 2442"
 - 813" TO 814" TREE: 2448"
 - 815" TO 816" TREE: 2454"
 - 817" TO 818" TREE: 2460"
 - 819" TO 820" TREE: 2466"
 - 821" TO 822" TREE: 2472"
 - 823" TO 824" TREE: 2478"
 - 825" TO 826" TREE: 2484"
 - 827" TO 828" TREE: 2490"
 - 829" TO 830" TREE: 2496"
 - 831" TO 832" TREE: 2502"
 - 833" TO 834" TREE: 2508"
 - 835" TO 836" TREE: 2514"
 - 837" TO 838" TREE: 2520"
 - 839" TO 840" TREE: 2526"
 - 841" TO 842" TREE: 2532"
 - 843" TO 844" TREE: 2538"
 - 845" TO 846" TREE: 2544"
 - 847" TO 848" TREE: 2550"
 - 849" TO 850" TREE: 2556"
 - 851" TO 852" TREE: 2562"
 - 853" TO 854" TREE: 2568"
 - 855" TO 856" TREE: 2574"
 - 857" TO 858" TREE: 2580"
 - 859" TO 860" TREE: 2586"
 - 861" TO 862" TREE: 2592"
 - 863" TO 864" TREE: 2598"
 - 865" TO 866" TREE: 2604"
 - 867" TO 868" TREE: 2610"
 - 869" TO 870" TREE: 2616"
 - 871" TO 872" TREE: 2622"
 - 873" TO 874" TREE: 2628"
 - 875" TO 876" TREE: 2634"
 - 877" TO 878" TREE: 2640"
 - 879" TO 880" TREE: 2646"
 - 881" TO 882" TREE: 2652"
 - 883" TO 884" TREE: 2658"
 - 885" TO 886" TREE: 2664"
 - 887" TO 888" TREE: 2670"
 - 889" TO 890" TREE: 2676"
 - 891" TO 892" TREE: 2682"
 - 893" TO 894" TREE: 2688"
 - 895" TO 896" TREE: 2694"
 - 897" TO 898" TREE: 2700"
 - 899" TO 900" TREE: 2706"
 - 901" TO 902" TREE: 2712"
 - 903" TO 904" TREE: 2718"
 - 905" TO 906" TREE: 2724"
 - 907" TO 908" TREE: 2730"
 - 909" TO 910" TREE: 2736"
 - 911" TO 912" TREE: 2742"
 - 913" TO 914" TREE: 2748"
 - 915" TO 916" TREE: 2754"
 - 917" TO 918" TREE: 2760"
 - 919" TO 920" TREE: 2766"
 - 921" TO 922" TREE: 2772"
 - 923" TO 924" TREE: 2778"
 - 925" TO 926" TREE: 2784"
 - 927" TO 928" TREE: 2790"
 - 929" TO 930" TREE: 2796"
 - 931" TO 932" TREE: 2802"
 - 933" TO 934" TREE: 2808"
 - 935" TO 936" TREE: 2814"
 - 937" TO 938" TREE: 2820"
 - 939" TO 940" TREE: 2826"
 - 941" TO 942" TREE: 28

LANDSCAPE PLAN SPECIFICATIONS

- PART I - GENERAL**
- SUMMARY**

A. THIS SECTION INCLUDES LANDSCAPE PROCEDURES FOR THE PROJECT INCLUDING ALL LABOR, MATERIALS, AND INSTALLATION NECESSARY, BUT NOT LIMITED TO, THE FOLLOWING:

 - SITE CONDITIONS
 - GUARANTEES
 - MAINTENANCE
 - SOIL AMENDMENTS
 - FINE GRADING
 - LANDSCAPE EDGING
 - FURNISH AND INSTALLING PLANT
 - TURF PLANTING
 - WEED BARRIER
 - SITE CONDITIONS**

A. EXAMINATION: BEFORE SUBMITTING A BID, EACH CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, SHALL VISIT THE SITE OF THE WORK, SHALL FULLY INFORM THEMSELVES AS TO ALL EXISTING CONDITIONS AND LIMITATIONS, AND SHALL INCLUDE IN THE BIDDING COST OF ALL ITEMS REQUIRED BY THE CONTRACT DOCUMENTS ARE AT A VARIANCE WITH THE APPLICABLE LAWS, BUILDING CODES, RULES, REGULATIONS, OR CONTAIN OBVIOUS ERRONEOUS OR UNCOORDINATED INFORMATION, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE PROJECT REPRESENTATIVE AND THE NECESSARY CHANGES SHALL BE ACCOMPLISHED BY ADDENDUM.

B. PROTECTION: CONTRACTOR TO CONDUCT THE WORK IN SUCH A MANNER TO PROTECT ALL EXISTING UNDERGROUND UTILITIES OR STRUCTURES. CONTRACTOR TO REPAIR OR REPLACE ANY DAMAGED UTILITY OR STRUCTURE USING IDENTICAL MATERIALS TO MATCH EXISTING AT NO EXPENSE TO THE OWNER.

C. IRRIGATION SYSTEM: DO NOT BEGIN PLANTING UNTIL THE IRRIGATION SYSTEM IS COMPLETELY INSTALLED, IS ADJUSTED FOR FULL COVERAGE AND IS COMPLETELY OPERATIONAL.
 - PERMITS**

A. BLUE STAKE / DIG LINE: WHEN DIGGING IS REQUIRED, "BLUE STAKE" OR "DIG LINE" THE WORK SITE AND IDENTIFY THE APPROXIMATE LOCATION OF ALL KNOWN UNDERGROUND UTILITIES OR STRUCTURES.
 - PLANT DELIVERY, QUALITY, AND AVAILABILITY**

A. UNAUTHORIZED SUBSTITUTIONS WILL NOT BE ACCEPTED. IF PROOF IS SUBMITTED THAT SPECIFIC PLANTS OR PLANT SIZES ARE UNOBTAINABLE, WRITTEN SUBSTITUTION REQUESTS WILL BE CONSIDERED FOR THE NEAREST EQUIVALENT PLANT OR SIZE. ALL SUBSTITUTION REQUESTS MUST BE MADE IN WRITING AND PREFERABLY BEFORE THE BID DUE DATE.
 - FINAL INSPECTION**

A. ALL PLANTS WILL BE INSPECTED AT THE TIME OF FINAL INSPECTION PRIOR TO RECEIVING A LANDSCAPE COMPLETION CERTIFICATE FOR CONFORMANCE TO SPECIFIED PLANTING PROCEDURES, AND FOR GENERAL APPEARANCE AND VITALITY. ANY PLANT NOT APPROVED BY THE PROJECT REPRESENTATIVE WILL BE REJECTED AND REPLACED IMMEDIATELY.
 - LANDSCAPE SUBSTANTIAL COMPLETION**

A. A SUBSTANTIAL COMPLETION CERTIFICATE WILL ONLY BE ISSUED BY THE PROJECT REPRESENTATIVE FOR "LANDSCAPE AND IRRIGATION" IN THEIR ENTIRETY. SUBSTANTIAL COMPLETION WILL NOT BE PROPORTIONED TO BE DESIGNATED AREAS OF A PROJECT.
 - MAINTENANCE**

A. PLANT MATERIAL: THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL PLANTED MATERIALS IN A HEALTHY AND GROWING CONDITION FOR 30 DAYS AFTER RECEIVING A LANDSCAPE SUBSTANTIAL COMPLETION AT WHICH TIME THE GUARANTEE PERIOD COMMENCES. THIS MAINTENANCE IS TO INCLUDE MOWING, WEEDING, CULTIVATING, FERTILIZING, MONITORING WATER SCHEDULES, CONTROLLING INSECTS AND DISEASES, RE-GUYNING AND STAKING, AND ALL OTHER OPERATIONS OF CARE NECESSARY FOR THE PROMOTION OF ROOT GROWTH AND PLANT LIFE SO THAT ALL PLANTS ARE IN A CONDITION SATISFACTORY AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR FAILURE TO MONITOR WATERING OPERATIONS AND SHALL REPLACE ANY AND ALL PLANT MATERIAL THAT IS LOST DUE TO IMPROPER APPLICATION OF WATER.
 - GUARANTEE**

A. GUARANTEE: A GUARANTEE PERIOD OF ONE YEAR SHALL BEGIN FROM END OF MAINTENANCE PERIOD AND FINAL ACCEPTANCE FOR TREES, SHRUBS, AND GROUND COVERS. ALL PLANTS SHALL GROW AND BE HEALTHY FOR THE GUARANTEE PERIOD AND TREES SHALL LIVE AND GROW IN ACCEPTABLE UPRIGHT POSITION. ANY PLANTS NOT ALIVE IN POOR HEALTH, OR IN POOR CONDITION AT THE END OF THE GUARANTEE PERIOD WILL BE REPLACED IMMEDIATELY. ANY PLANT WILL ONLY NEED TO BE REPLACED ONCE DURING THE GUARANTEE PERIOD. CONTRACTOR TO PROVIDE DOCUMENTATION SHOWING WHERE EACH PLANT TO BE REPLACED IS LOCATED. ANY OUTSIDE FACTORS, SUCH AS VANDALISM OR LACK OF MAINTENANCE ON THE PART OF THE OWNER, SHALL NOT BE PART OF THE GUARANTEE.

PART II - PRODUCTS

GENERAL LANDSCAPE NOTES

- GRADING AND DRAINAGE REQUIREMENTS**
- AS PER CODE, ALL GRADING IS TO SLOPE AWAY FROM ANY STRUCTURE. SURFACE OF THE GROUND WITHIN 10 FEET OF THE FOUNDATION SHOULD DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM FALL OF 6"
 - AS PER CODE, FINISHED GRADE WILL NOT DRAIN ON NEIGHBORING PROPERTIES
 - A MINIMUM OF 6" OF FOUNDATION WILL BE LEFT EXPOSED AT ALL CONDITIONS
 - LANDSCAPE CONTRACTOR TO MAINTAIN OR IMPROVE FINAL GRADE AND PROPER DRAINAGE ESTABLISHED BY EXCAVATOR, INCLUDING BUT NOT LIMITED TO ANY MAINTENANCE, PRESERVATION, OR RECONSTRUCTION OF SLOPES, BERMS, AND SWALES.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CORRECT ANY DAMAGED OR IMPROPER WATERFLOW OF ALL SWALES, BERMS, OR GRADE
 - DEVICES FOR CHANNELING ROOF RUN-OFF SHOULD BE INSTALLED FOR COLLECTION AND DISCHARGE OF RAINWATER AT A MINIMUM OF 10' FROM THE FOUNDATION, OR BEYOND THE LIMITS OF FOUNDATION WALL BACKFILL, WHICHEVER DISTANCE IS GREATER
- GENERAL LANDSCAPE NOTES**
- LANDSCAPE CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED PRIOR TO DIGGING. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT CONTRACTORS EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
 - DURING THE BIDDING AND INSTALLATION PHASES, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
 - ALL PLANT MATERIAL SHALL BE PLANTED ACCORDING TO ANSI STANDARDS WITH CONSIDERATION TO INDIVIDUAL SOIL AND SITE CONDITIONS, AND NURSERY CARE AND INSTALLATION INSTRUCTIONS.
 - SELECTED PLANTS WILL BE ACCORDING TO THE PLANT LEGEND. IF SUBSTITUTIONS ARE NECESSARY, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO LAYING SOD.
 - SHOULD THE SITE REQUIRE ADDITIONAL TOPSOIL, REFER TO SOIL TEST WHEN MATCHING EXISTING SOIL. IF A MATCHING SOIL IS NOT LOCATABLE, A 6" DEPTH OF SANDY LOAM TOPSOIL, MIXED PRIOR TO SPREADING WITH 1% ORGANIC MATTER, CAN BE INCORPORATED INTO THE EXISTING SOIL USING THE FOLLOWING DIRECTIONS: SCARIFY TOP 6" OF EXISTING SUBSOIL AND INCORPORATE 5" OF NEW COMPOST ENRICHED TOPSOIL. SPREAD REMAINING TOPSOIL TO REACH FINISHED GRADE.
 - EDGING, AS INDICATED ON PLAN, IS TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS. ANY TREES LOCATED IN LAWN MUST HAVE A 4-6" TREE RING OF THE SAME EDGING.
- LAWN/GRASS AREA**
- SOD**
 - ALL LAWN AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED HYDROSEEDING. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT (4') DIAMETER TREE RING COVERED WITH GROUND-LATE BROWN BARK MULCH, NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.
 - SEED**
 - SOIL TEST SOIL FOR ADEQUATE FERTILITY. ANY WEEDS CURRENTLY ON THE SITE SHALL BE REMOVED BY EITHER MECHANICAL MEANS SUCH AS HAND PULLING OR SPRAYING WITH AN HERBICIDE SUCH AS GLYPHOSATE MIXED WITH A SURFACTANT. HERBICIDES SHOULD BE APPLIED BY A CERTIFIED PESTICIDE APPLICATOR. COMPACTED SOIL SHALL BE SCARIFIED TO A DEPTH OF 18 INCHES BEFORE ADDING 6" OF WEED FREE TOPSOIL WITH HIGH ORGANIC MATTER. FINE LEVEL ALL AREAS PRIOR TO HYDROSEEDING AND SET THE GRADE FOR POSITIVE DRAINAGE. TOPSOIL SHOULD BE SOFT AT TIME OF APPLICATION. FERTILIZER IS TO BE ADDED WHEN HYDROSEEDING. REFER TO SOIL TEST RESULTS AND HYDROSEEDING CONTRACTOR FOR APPLICATION RATES.
 - SEED:** USE SEED MIXES AS SPECIFIED BY LANDSCAPE ARCHITECT OF PURE LIVE SEED (PLS) ON A BASIS/ACRE. THE OPTIMUM TIME TO PANT IS NOVEMBER THROUGH FEBRUARY. DO NOT SOW HEAVY SNOWPACK. SEED WILL LAY DORMANT AND BE READY TO GERMINATE ONCE THE GROUND THAWs AND WARMS IN LATE WINTER. IF SEEDING IN LATE FALL IS NOT POSSIBLE, SEED BEFORE APRIL 1. CONTACT SUBMIT SEED. DARRELL@SUMMITSEEDING.COM 435-709-8003.
 - APPLICATION:** HYDROSEEDING SHALL CONSIST OF SEED, TACKIFIER, WOOD FIBER MULCH AND FERTILIZER IN A WATER BASED SLURRY. TANK MOUNTED SLURRY TANK SHALL HAVE CONTINUOUS AGITATION. THE PUMP ON THE TRUCK WILL FORCE THE SLURRY THROUGH A TOP MOUNTED DISCHARGE NOZZLE (TOWER). USE 2000 POUNDS WOOD FIBER MULCH AND 50-100 POUNDS OF TACKIFIER PER ACRE.
 - IRRIGATION:** ALL AREAS MUST BE KEPT MOIST WITHOUT PUDDLES OR RUNOFF USING FREQUENT DAYTIME WATER CYCLES. ADJUST AND MONITOR SPRINKLERS AND CLOCK TO ACHIEVE PROPER IRRIGATION.
 - IF PERMANENT IRRIGATION IS NOT PLANNED, TEMPORARY IRRIGATION IS REQUIRED AT THE FOLLOWING SCHEDULE: FOR 8 WEEKS SOIL SHALL REMAIN DAMP DURING ESTABLISHMENT PERIOD WITHOUT PUDDLING ON SOIL SURFACE. APPLY WATER APPROXIMATELY THREE TIMES A DAY FOR 5-7 MINUTES FOR EACH IRRIGATION EVENT DEPENDING ON TEMPERATURE AND TIME OF YEAR. A SPARSE DENSITY IS EXPECTED. CONTINUE TEMPORARY IRRIGATION FOR ONE YEAR EVENTUALLY REDUCING WATER APPLICATION TO ONCE A WEEK, THEN ONCE EVERY TWO WEEKS TO FINALLY ONCE A MONTH. MONITOR PROGRESS OF ESTABLISHMENT AND ADJUST SPRINKLERS ACCORDINGLY. THE GOAL IS TO CREATE A HEALTHY STAND OF GRASSES WITH LITTLE TO NO IRRIGATION.
 - WEED CONTROL AND MAINTENANCE:** MANDATORY WEED CONTROL IS REQUIRED TO REDUCE COMPETITION AND WEED SEED PRODUCTION. WEEDS MUST BE KEPT UNDER CONTROL BY MECHANICALLY PULLING OR CHEMICALLY SPRAYING AS DIRECTED BY THE APPLICATOR. APPLY A BROADLEAF HERBICIDE BIENNUEALLY AND ESTABLISH A CONSISTENT REGIMEN OF MOWING AND FERTILIZING TO PREVENT WEEDS FROM PRODUCING SEED. MOW ONCE IN THE SPRING AND ONCE IN THE FALL BEFORE FERTILIZATION. FERTILIZER OPTION IS SUSTAIN 4-4-4 DEPENDING ON SOIL FERTILITY. DO NOT MOW SHORTER THAN 4 INCHES. BAG ALL CUTTINGS TO REMOVE WEED SEED FROM PROPERTY. KEEP WEEDS CUT DOWN AND DO NOT LET THEM GO TO SEED. WEED SEED PRODUCTION IS THE GEAR FOR WHEN TO MOW, WHICH GENERALLY OCCURS IN APRIL OR MAY AS WELL AS EARLY FALL DEPENDING ON TEMPERATURE AND MOISTURE. THIS PROCEDURE WILL BE REQUIRED UNTIL A HEALTHY STAND OF GRASSES IS EVIDENT AND COMPETING WELL WITH WEEDS. EXPECT FROM 1 TO 3 YEARS.
 - PROGNANCS BIOTIC SOIL MEDIA:** WHERE CONDITIONS MAY PROHIBIT ADDING TOPSOIL, PROGNANCS BIOTIC SOIL MEDIA SHOULD BE APPLIED BY HYDROSEEDER AT 3500 LBS/ACRE WITH SEED AND FERTILIZER PRIOR TO THE APPLICATION OF WOOD MULCH (2000 LBS/ACRE) COMBINED WITH TACKIFIER (50-100 LBS/ACRE).
 - ADDING FORBS:** SHRUBS AND PERENNIALS, BY SEED OR CONTAINER, CAN BE ADDED ONCE WEEDS ARE UNDER CONTROL AND HERBICIDE IS NO LONGER NEEDED. USUALLY 1-2 YEARS AFTER HYDROSEEDING.

- LANDSCAPE MATERIALS**

A. TREE STAKING: ALL TREES SHALL BE STAKED FOR ONE YEAR WARRANTY PERIOD. ALL TREES NOT PLUMB SHALL BE REPLACED. STAKED TREES SHALL USE VINYL TREE TIES AND TREE STAKES TWO (2) INCH BY TWO (2) BY EIGHT (8) FOOT COMMON PINE STAKES USED AS SHOWN ON THE DETAILS.

B. TREE WRAP: TREE WRAP IS NOT TO BE USED.

C. MULCH/ROCK: SEE PLANS. ALL PLANTER BEDS TO RECEIVE A MINIMUM 3" LAYER FOR TREES, SHRUBS, AND PERENNIALS AND 1" FOR GROUND COVERS.

D. WEED BARRIER: DEWITT 5 OZ. WEED BARRIER FABRIC, MANUFACTURED BY DEWITT COMPANY, DEWITTCOMpany.COM OR APPROVED EQUAL.

E. TREE, SHRUB, AND GRASS BACKFILL MIXTURE: BACKFILL MIXTURE TO BE 75% NATIVE SOIL AND 25% TOPSOIL, THOROUGHLY MIXED TOGETHER PRIOR TO PLACEMENT.

F. TOPSOIL REQUIRED FOR TURF AREAS, PLANTER BEDS AND BACKFILL MIXTURE. ACCEPTABLE TOPSOIL SHALL MEET THE FOLLOWING STANDARDS:

 - PH: 5.5-7.5
 - EC (ELECTRICAL CONDUCTIVITY): < 20 MMHOS PER CENTIMETER
 - SAR (SODIUM ABSORPTION RATION): < 30
 - % OM (PERCENT ORGANIC MATTER): < 5%
 - TEXTURE (PARTICLE SIZE PER USDA SOIL CLASSIFICATION): SAND < 70%; CLAY < 30%; SILT < 70%; STONE FRAGMENTS (GRAVEL OR ANY SOIL PARTICLE GREATER THAN TWO (2) MM IN SIZE) < 5% BY VOLUME.

G. TURF SOD: ALL SOD SHALL BE 18 MONTH OLD AS SPECIFIED ON PLANS (OR APPROVED EQUAL) THAT HAS BEEN CUT FRESH THE MORNING OF INSTALLATION. ONLY SOD THAT HAS BEEN GROWN ON A COMMERCIAL SOD FARM SHALL BE USED. ONLY USE SOD FROM A SINGLE SOURCE.

H. LANDSCAPE CURB EDGING: SIX (6) INCHES BY FOUR (4) INCHES EXTRUDED CONCRETE CURB MADE UP OF THE FOLLOWING MATERIALS:

 - WASHED MORTAR SAND FREE OF ORGANIC MATERIAL.
 - PORTLAND CEMENT (SEE CONCRETE SPEC. BELOW FOR TYPE)
 - REINFORCED FIBER - SPECIFICALLY PRODUCED FOR COMPATIBILITY WITH AGGRESSIVE ALKALINE ENVIRONMENT OF PORTLAND CEMENT-BASED COMPOSITES.
 - ONLY POTABLE WATER FOR MIXING.

I. LANDSCAPE METAL EDGING: 5.5" STEEL EDGING WITH 15" DOWELS INTO THE GROUND FOR STABILIZATION.

PART III - EXECUTION

- GRADING**

A. TOPSOIL PREPARATION: GRADE PLANTING AREAS ACCORDING TO THE GRADING PLAN. ELIMINATE UNEVEN AREAS AND LOW SPOTS. PROVIDE FOR PROPER GRADING AND DRAINAGE.

B. TOPSOIL PLACEMENT: SLOPE SURFACE AWAY FROM BUILDING AT TWO (2) PERCENT SLOPE WITH NO POCKETS OF STANDING WATER. ESTABLISH FINISH GRADES OF ONE (1) INCHES FOR PLANTERS BELOW GRADE OF ADJACENT PAVED SURFACE. PROVIDE NEAT, SMOOTH, AND UNIFORM FINISH GRADES. REMOVE SURPLUS SUB-SOIL AND TOPSOIL FROM THE SITE.

C. COMPACTION: COMPACTION UNDER HARD SURFACE AREAS (ASPHALT PATHS AND CONCRETE SURFACES) SHALL BE NINETY-FIVE (95) PERCENT. COMPACTION UNDER PLANTING AREAS SHALL BE BETWEEN EIGHTY-FIVE (85) AND NINETY (90) PERCENT.
- TURF GRADING**

A. THE SURFACE ON WHICH THE SOD IS TO BE LAID SHALL BE FIRM AND FREE FROM FOOTPRINTS, DEPRESSIONS, OR UNDULATIONS OF ANY KIND. THE SURFACE SHALL BE FREE OF ALL MATERIALS LARGER THAN 1/2" IN DIAMETER.

B. THE FINISH GRADE OF THE TOPSOIL ADJACENT TO ALL SIDEWALKS, MOW STRIPS, ETC. PRIOR TO THE LAYING OF SOD, SHALL BE SET SUCH THAT THE CROWN OF THE GRASS SHALL BE AT THE SAME LEVEL AS THE ADJACENT CONCRETE OR HARD SURFACE. NO EXCEPTIONS.
- PLANTING OPERATIONS**

A. REVIEW THE EXACT LOCATIONS OF ALL TREES AND SHRUBS WITH THE PROJECT REPRESENTATIVE FOR APPROVAL PRIOR TO THE DIGGING OF ANY HOLES. PREPARE ALL HOLES ACCORDING TO THE DETAILS ON THE DRAWINGS.

B. WATER PLANTS IMMEDIATELY UPON ARRIVAL AT THE SITE. MAINTAIN IN MOIST CONDITION UNTIL PLANTED.

C. BEFORE PLANTING, LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. DO NOT PLACE PLANTS ON OR NEAR UTILITY LINES.

D. THE TREE PLANTING HOLE SHOULD BE THE SAME DEPTH AS THE ROOT BALL, AND TWO TIMES THE DIAMETER OF THE ROOT BALL.

E. TREES MUST BE PLACED ON UNDISTURBED SOIL AT THE BOTTOM OF THE PLANTING HOLE.

F. THE TREE HOLE DEPTH SHALL BE DETERMINED SO THAT THE TREE MAY BE SET SLIGHTLY HIGH OF FINISH GRADE, 1" TO 2" ABOVE THE BASE OF THE TRUNK FLARE, USING THE TOP OF THE ROOT BALL AS A GUIDE.

G. PLANT IMMEDIATELY AFTER REMOVAL OF CONTAINER FOR CONTAINER PLANTS.

H. SET TREE ON SOIL AND REMOVE ALL BURLAP, WIRE BASKETS, TWINE, WRAPPINGS, ETC. BEFORE

SITE MATERIALS LEGEND

- BEGINNING AND BACKFILLING OPERATIONS. DO NOT USE PLANTING STOCK IF THE BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
- APPLY VITAMIN B-1 ROOT STIMULATOR AT THE RATE OF ONE (1) TABLESPOON PER GALLON.
 - UPON COMPLETION OF BACKFILLING OPERATION, THOROUGHLY WATER TREE TO COMPLETELY SETTLE THE SOIL AND FILL ANY VOIDS THAT MAY HAVE OCCURRED. USE A WATERING HOSE, NOT THE AREA IRRIGATION SYSTEM. IF ADDITIONAL PREPARED TOPSOIL MIXTURE NEEDS TO BE ADDED, IT SHOULD BE A COURSER MIX AS REQUIRED TO ESTABLISH FINISH GRADE AS INDICATED ON THE DRAWINGS.
 - THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. ALL CUTS, SCARS, AND BRUISES SHALL BE PROPERLY TREATED ACCORDING TO THE DIRECTION OF THE PROJECT REPRESENTATIVE. PROPER PRUNING TECHNIQUES SHALL BE USED. DO NOT LEAVE STUBS AND DO NOT CUT THE LEADER BRANCH. IMPROPER PRUNING SHALL BE CAUSE FOR REJECTION OF THE PLANT MATERIAL.
 - PREPARE A WATERING CIRCLE OF 2' DIAMETER AROUND THE TRUNK. FOR CONIFERS, EXTEND THE WATERING WELL TO THE DRIP LINE OF THE TREE CANOPY. PLACE MULCH AROUND THE PLANTED TREES.
 - TURF - SOD LAYING
 - TOP SOIL AMENDMENTS: PRIOR TO LAYING SOD, COMMERCIAL FERTILIZER SHALL BE APPLIED AND INCORPORATED INTO THE UPPER FOUR (4) INCHES OF THE TOPSOIL AT A RATE OF FOUR POUNDS OF NITROGEN PER ONE THOUSAND (1,000) SQUARE FEET. ADJUST FERTILIZATION MIXTURE AND RATE OF APPLICATION AS NEEDED TO MEET RECOMMENDATIONS GIVEN BY TOPSOIL ANALYSIS. INCLUDE OTHER AMENDMENTS AS REQUIRED.
 - FERTILIZATION: THREE WEEKS AFTER SOD PLACEMENT FERTILIZE THE TURF AT A RATE OF 1/2 POUND OF NITROGEN PER 1000 SQUARE FEET. USE FERTILIZER SPECIFIED ABOVE. ADJUST FERTILIZATION MIXTURE AND RATES TO MEET RECOMMENDATIONS GIVEN BY TOPSOIL ANALYSIS.
 - SOD AVAILABILITY AND CONDITION: SOD IS TO BE DELIVERED TO THE SITE IN GOOD CONDITION. IT IS TO BE INSPECTED UPON ARRIVAL AND INSTALLED WITHIN 24 HOURS. SOD IS TO BE MOIST AND COOL TO ENSURE THAT DECOMPOSITION HAS NOT BEGUN AND IS TO BE FREE OF PESTS, DISEASES, OR BLEMISHES. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FURNISHING AND LAYING ALL SOD REQUIRED ON THE PLANS. HE SHALL FURNISH NEW SOD AS SPECIFIED ABOVE AND LAY IT SO AS TO COMPLETELY SATISFY THE INTENT AND MEANING OF THE PLANS AND SPECIFICATION AT NO EXTRA COST TO THE OWNER. IN THE CASE OF ANY DISCREPANCY IN THE AMOUNT OF SOD TO BE REMOVED OR AMOUNT TO BE USED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPORT SUCH TO THE PROJECT REPRESENTATIVE PRIOR TO COMMENCING THE WORK.
 - DSOD LAYING: THE SURFACE UPON WHICH THE NEW SOD TO BE LAID WILL BE PREPARED AS SPECIFIED IN THE DETAIL AND BE LIGHTLY WATERED BEFORE LAYING. AREAS WHERE SOD IS TO BE LAID SHALL BE CUT TRIMMED, OR SHAPED TO RECEIVE FULL WIDTH SOD (MINIMUM TWELVE (12) INCHES). NO PARTIAL STRIP OR PIECES WILL BE ACCEPTED.
 - E. SOD SHALL BE TAMPED LIGHTLY AS EACH PIECE IS SET TO ENSURE THAT GOOD CONTACT IS MADE BETWEEN EDGES AND ALSO THE GROUND. IF VOIDS OR HOLES ARE DISCOVERED, THE SOD PIECE(S) IS (ARE) TO BE RAISED AND TOPSOIL IS TO BE USED TO FILL IN THE AREAS UNTIL LEVEL. SOD LAD ON ANY SLOPED AREA SHALL BE ANCHORED WITH WOODEN DOWELS OR OTHER MATERIALS WHICH ARE ACCEPTED BY THE GRASS SOD INDUSTRY.
 - F. SOD SHALL BE ROLLED WITH A ROLLER THAT IS AT LEAST 50% FULL IMMEDIATELY AFTER INSTALLATION TO ENSURE THE FULL CONTACT WITH SOIL IS MADE.
 - G. APPLY WATER DIRECTLY AFTER LAYING SOD. RAINFALL IS NOT ACCEPTABLE.
 - H. WATERING OF THE SOD SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR BY WHATEVER MEANS NECESSARY TO ESTABLISH THE SOD IN AN ACCEPTABLE MANNER TO THE END OF THE MAINTENANCE PERIOD. IF AN IRRIGATION SYSTEM IS IN PLACE ON THE SITE, BUT FOR WHATEVER REASON, WATER IS NOT AVAILABLE IN THE SYSTEM, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO WATER THE SOD BY WHATEVER MEANS, UNTIL THE SOD IS ACCEPTED BY THE PROJECT REPRESENTATIVE.
 - PROTECTION OF THE NEWLY LAID SOD SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ACCEPTABLE VISUAL BARRIERS, TO INCLUDE BARRICADES SET APPROPRIATE DISTANCES WITH STRINGS OR TAPES BETWEEN BARRIERS, AS AN INDICATION OF NEW WORK. THE CONTRACTOR IS TO RESTORE ANY DAMAGED AREAS CAUSED BY OTHERS INCLUDING VEHICULAR TRAFFIC, EROSION, ETC., UNTIL SUCH TIME AS THE LAWN IS ACCEPTED BY THE OWNER.
 - ALL SOD THAT HAS NOT BEEN LAID WITHIN 24 HOURS SHALL BE DEEMED UNACCEPTABLE AND WILL BE REMOVED FROM THE SITE.
 - WEED BARRIER**

A. FOR THE HEALTH OF THE SOIL AND THE MICROORGANISMS, WEED BARRIER IS NOT RECOMMENDED. IF USE IS REQUIRED OR REQUESTED, DO NOT PLACE IN ANNUAL OR GRASS AREAS.

B. CUT WEED BARRIER BACK TO THE EDGE OF THE PLANT ROOTBALL.

C. OVERLAP ROWS OF FABRIC MIN. 6"

D. STABLE FABRIC EDGES AND OVERLAPS TO GROUND.
- END OF SECTION

SYMBOL	DESCRIPTION	QTY
	1-01 SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH DROUGHT TOLERANT KENTUCKY BLUE GRASS OR APPROVED EQUAL. SEE SOD LANDSCAPE NOTES FOR FURTHER INFORMATION. SHEET LP-101.	1,090 sf
	1-14 1" MINUS TAN CRUSHED ROCK SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	4,156 sf
	1-23 4-4" GREY CRUSHED ROCK SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 6" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	277 sf
SYMBOL	DESCRIPTION	QTY
	2-01 BOULDERS - DECORATIVE 2" ROUND SUBMIT COLOR SAMPLES FOR ARCHITECT AND OWNER APPROVAL. SEE PLACEMENT INSTRUCTIONS ON DETAIL SHEET LP-501..	5
	2-02 BOULDERS - DECORATIVE 3" ROUND SUBMIT COLOR SAMPLES FOR ARCHITECT AND OWNER APPROVAL. SEE PLACEMENT INSTRUCTIONS ON DETAIL SHEET LP-501.	4
	2-04 6" CONCRETE MOW CURB SEE DETAIL SHEET FOR ADDITIONAL INFORMATION. SHEET LP-501.	161 lf
SYMBOL	DESCRIPTION	QTY
	2-07 PLAYGROUND SURFACE. SOD FALF ENGINEERED WOOD FIBER. INSTALL AS PER MANUFACTURERS SPECIFICATIONS.	17.46 cy

PLANT LEGEND

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	JSM	6	Juniperus scopulorum 'Moonglow' Moonglow Juniper Tc2, 18x8; AV 20; sun; z3; Utah Lake water tolerant HZ: 2	B & B 6'
	GD'E	3	Gymnocladus dioica 'Espresso' Kentucky Coffeetree Td2, 25x35; AV 490; fun; z4; Utah Lake water tolerant HZ: 2	B & B 2" Cal
	KPF	6	Koeleruteria paniculata 'Fastigiatia' Columnar Goldenrain Tree Td2, 25x8; AV 176; sun; z5; Utah Lake water tolerant HZ: 2	B & B 2" Cal
	SIS	4	Syringa reticulata 'Ivory Silk' Ivory Silk Japanese Tree Lilac Moderate; 20-25x12-15'; sun; z3; Utah Lake water tolerant. HZ: 3	B & B 2" Cal

DECIDUOUS SHRUBS

	AA'R	5	Aemelandhier alnifolia 'Regent' Regent Serviceberry Sd2; 5x5; AV 50; sun to part shade; z2; Utah Lake water tolerant HZ 2	5 gal
	BT'L	8	Berberis thunbergii 'Ball'erin' TM Limoncello Barberry Sd3; 4x4; AV28; full to partial sun; z4 HZ 3	5 gal
	CBM	3	Caryopteris x clandonensis 'C1-9-12' TM Beyond Midnight Bluebeard Sd2; 2.5x2.5; AV12.5; sun; z5 HZ:2	5 gal
	PC'C	4	Prunus x cistena Purple Leaf Sand Cherry Moderate; 10-12x8'; sun; z2 HZ: 2	5 gal
	RFC	2	Rhamnus frangula 'Columnaris' Tall Hedge Buckthorn Moderate; 15x4; sun; z2; Utah Lake water tolerant. HZ: 3	5 gal
	SPM	8	Syringa patula 'Miss Kim' Miss Kim Lilac Sd2; 5x6; AV12.5; sun; z4; Utah Lake water tolerant HZ 2	5 gal

EVERGREEN SHRUBS

	JH'I	13	Juniperus horizontalis 'Moenber' TM Icee Blue Juniper GV1; 4" x 8'; AV 50; sun; z3; Utah Lake water tolerant. HZ:1	5 gal
	PMP	8	Pinus mugo 'Mops' Mops Mugo Pine Moderate; 5x5'; sun; z2; Utah Lake water tolerant; slow HZ: 2	5 gal

GRASSES

	CA'K	37	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass Tw2; 4x3; AV 7; sun; z4; Utah Lake water tolerant. HZ:2	1 gal
	MS'G2	15	Miscanthus sinensis 'Graziella' Graziella Maiden Grass 4-5' x 4'; sun low to moderate; z5-9; HZ: 2	1 gal

SITE REQUIREMENT CALCULATIONS

STREET FRONTAGE	REQUIRED:	PROVIDED:
900 EAST		
1 TREE / 40 FT (35 LN FT W/OUT DRIVE AND CLEAR VIEW)	1	1
TREE COUNT: 4,318 SQ FT BLDG		
1.25 TREES / 1000 SQ FT. GROUND FLOOR BLDG	6	6
1 SHRUB / 4 LIN. FT. BLDG FOUNDATION (322)	81	83
BUFFER TREES: 1/25' (292)	12	12
LAWN PERCENTAGE:	<20% OUTSIDE REC. AREAS	17.7% (1,088 SF)
TOTAL LANDSCAPE AREA: 6,138 SQ FT		
DIVERSITY PERCENTAGE: <33% OF EACH TREE SPECIES		
SHRUB HYDROZONE:		
PERCENTAGE ZONE 3: 10%		
PERCENTAGE ZONE 2: 90%		
TREE HYDROZONE:		
PERCENTAGE ZONE 3: 21%		
PERCENTAGE ZONE 2: 79%		

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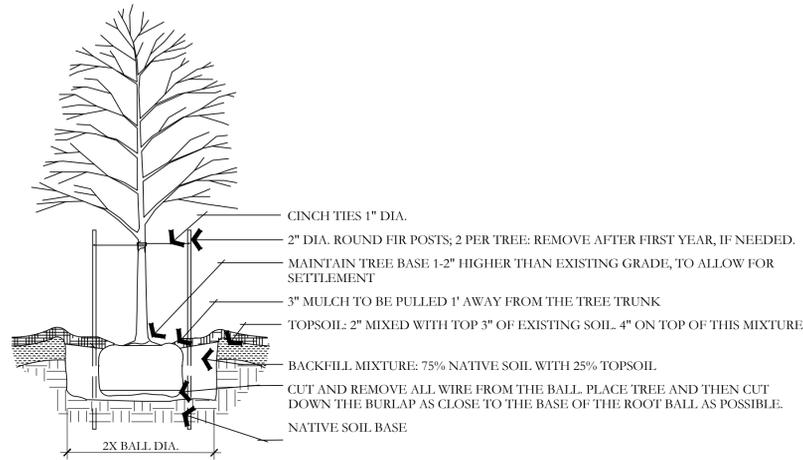


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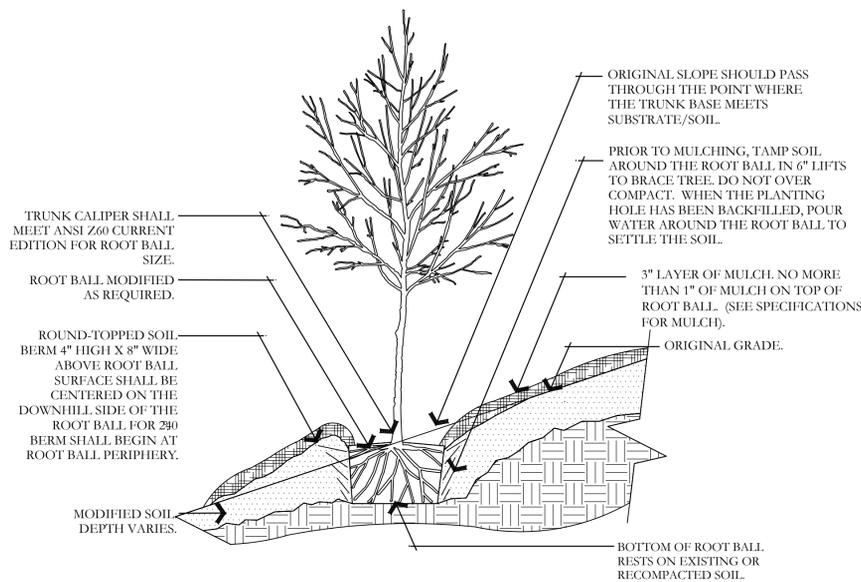
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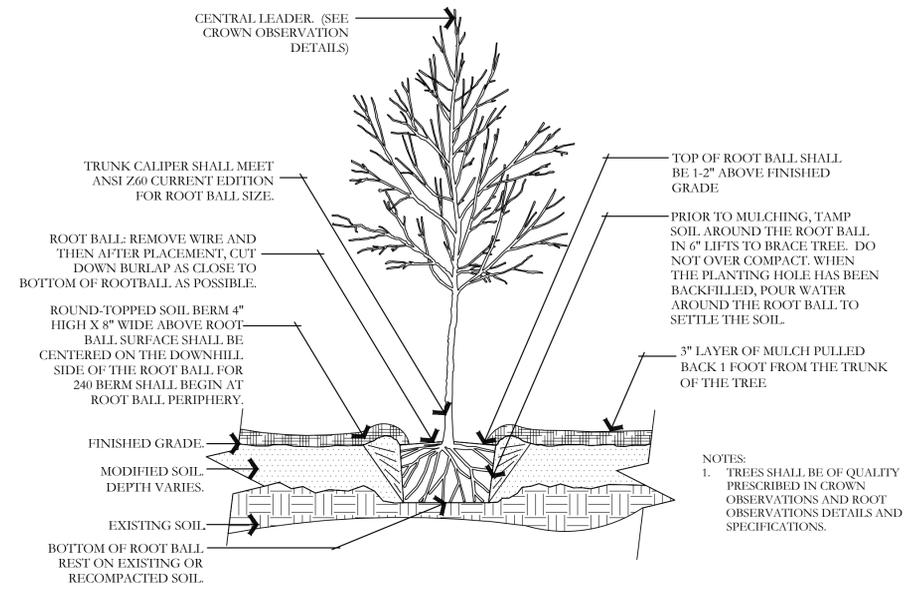
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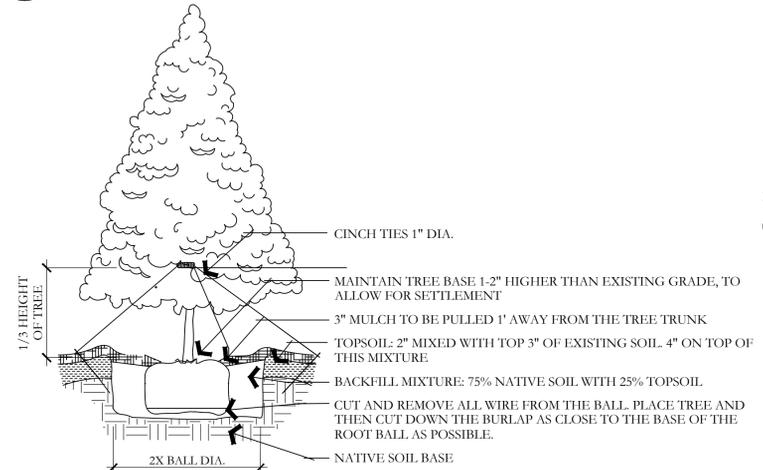
A DECIDUOUS TREE PLANTING
NOT TO SCALE



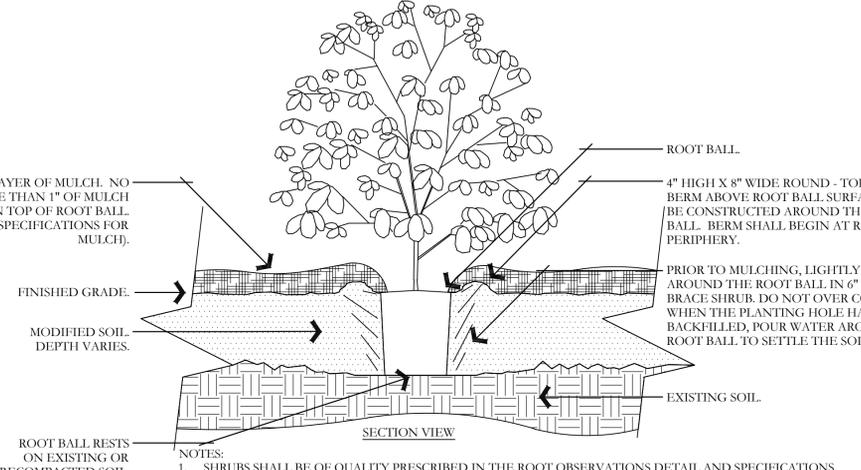
B TREE ON SLOPE 5% (20:1) TO 50% (2:1)
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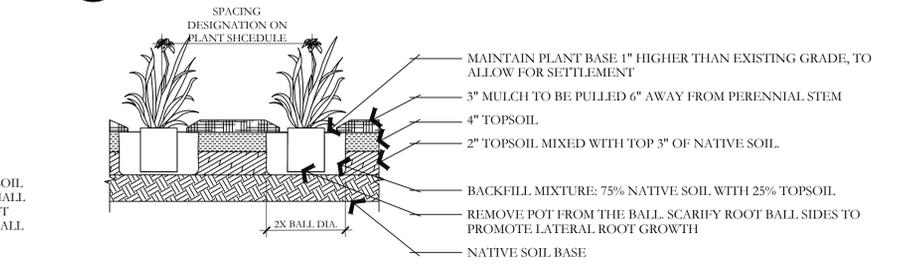
C TREE W/ BERM (EXISTING SOIL MODIFIED)
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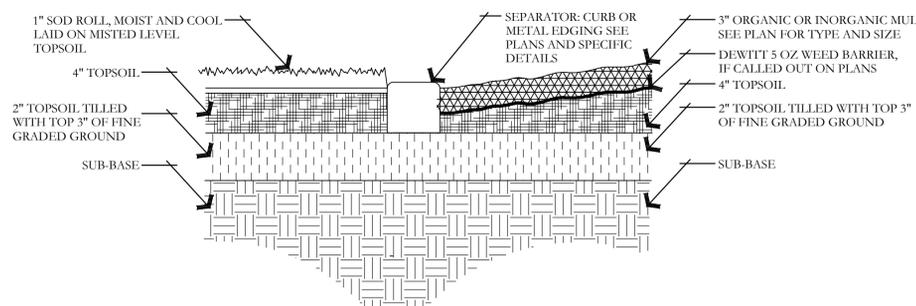
D EVERGREEN TREE PLANTING
NOT TO SCALE



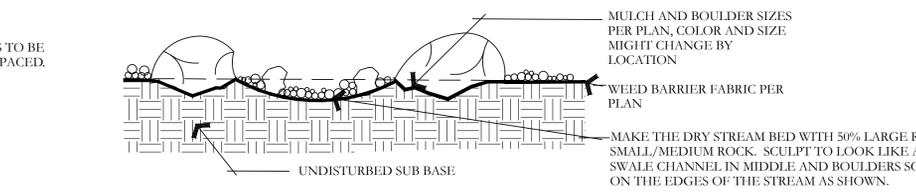
E SHRUB - MODIFIED SOIL
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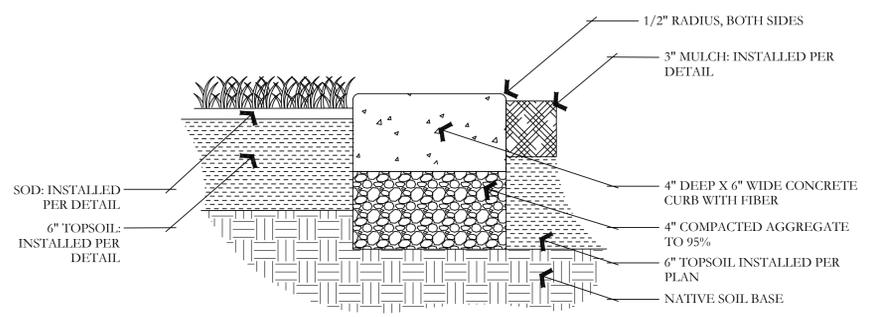
F PERENNIAL PLANTING
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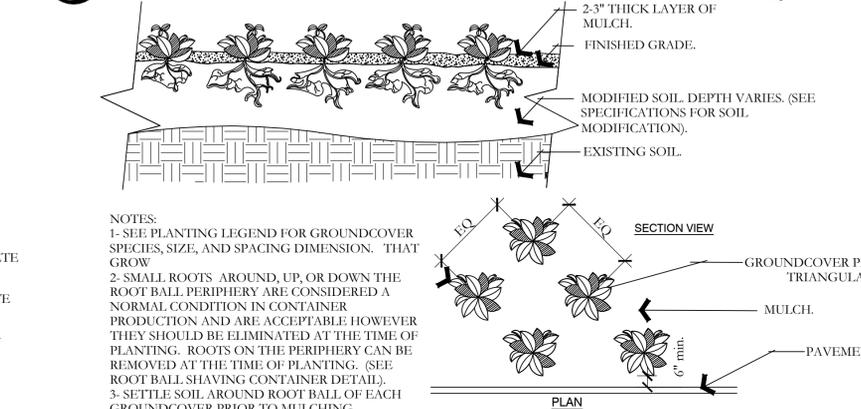
I SOD LAYING/MULCH DETAIL
NOT TO SCALE



J BOULDER AND DRY STREAM BED DETAIL
NOT TO SCALE



G CONCRETE MOWCURB
NOT TO SCALE



H PERENNIAL/GROUNDCOVER PLANTING
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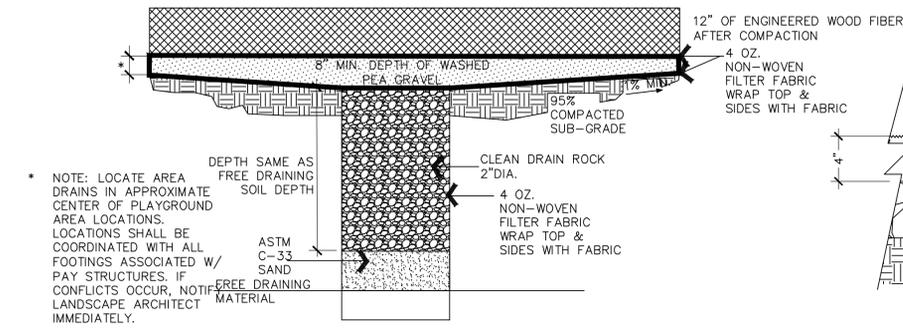
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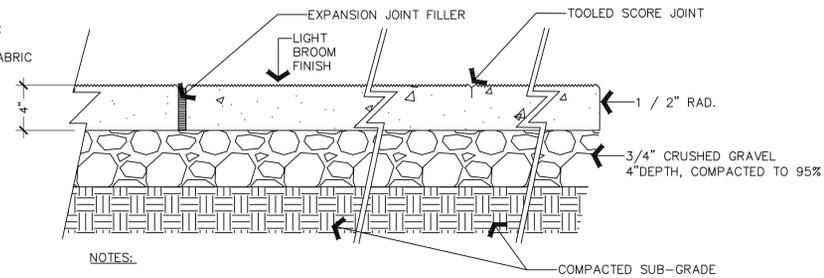
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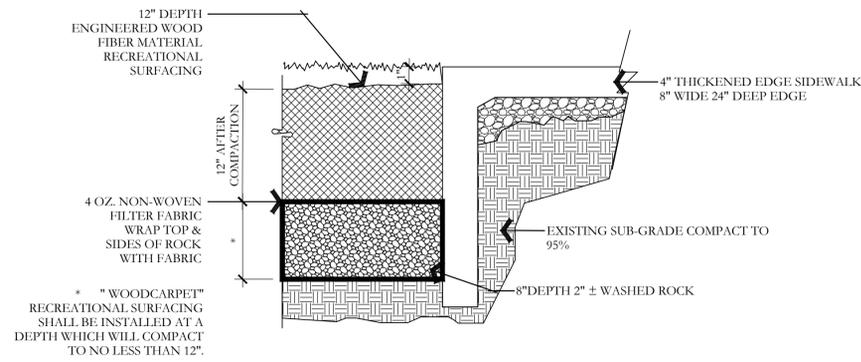
K AREA DRAIN DETAIL

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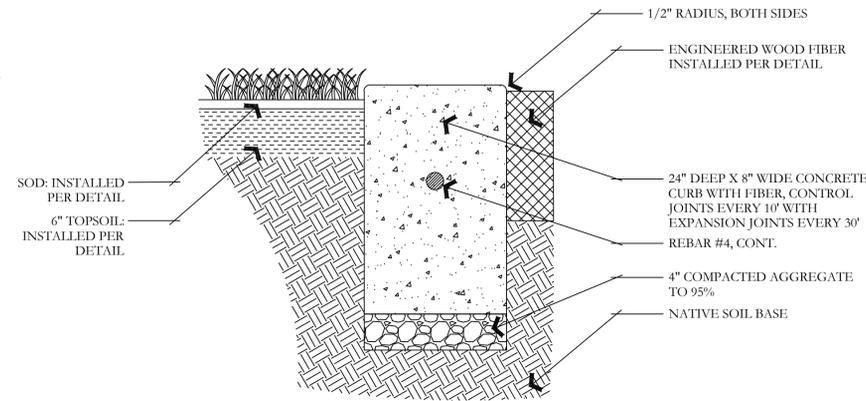
L CONCRETE FLATWORK DETAIL

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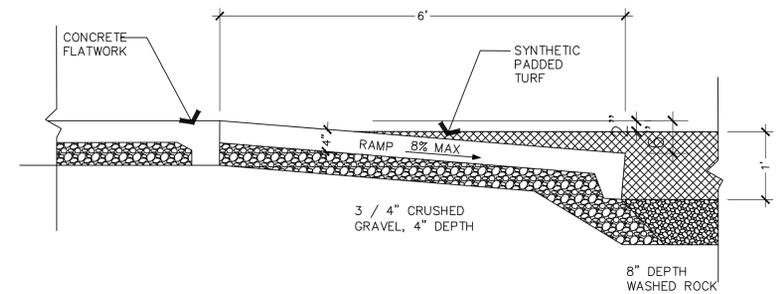
M ENGINEERED WOOD FIBER SAFETY SURFACING

NOT TO SCALE



N PLAYGROUND EDGING

NOT TO SCALE



O ADA RAMP

NOT TO SCALE

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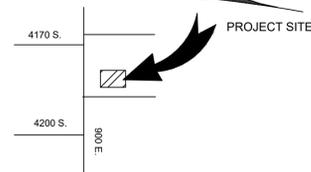
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VICINITY MAP



P.O.C. CONFIGURATION

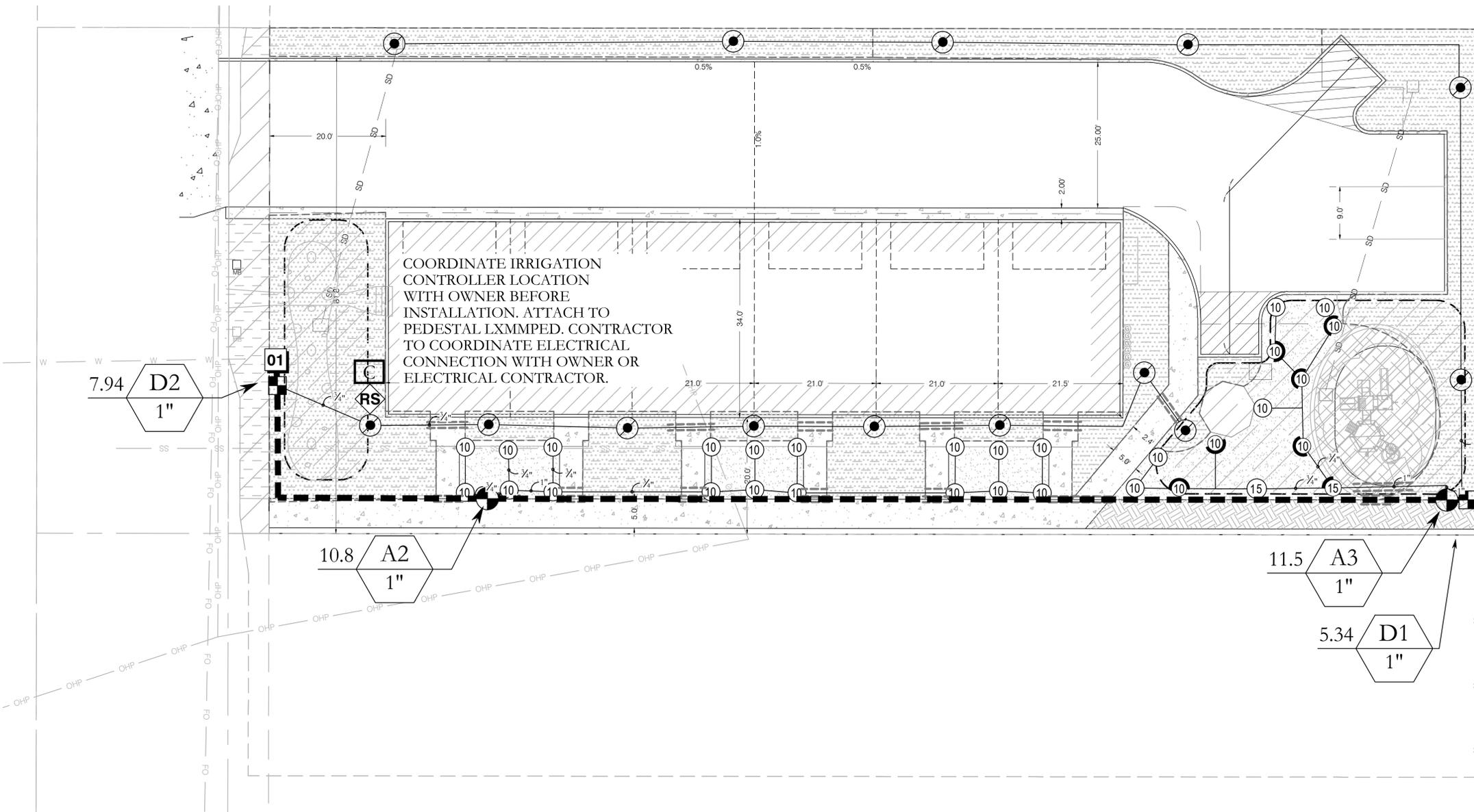
(NOTE: PRESSURE TEST SYSTEM TO VERIFY 80 PSI. IF NOT, CONTACT LANDSCAPE ARCHITECT OR INSTALL PRESSURE REDUCING VALVE.)

- 01** SOURCE DATA
- BF** BACKFLOW PREVENTOR
- X** SHUTOFF VALVE
- M** MASTER VALVE
- FS** 1" FLOW SENSOR
- QUICK COUPLER

- FS** Rain Bird FS-200-B
2in. Flow Sensor, Brass Model. Suggested Operating Range 10 GPM to 100 GPM. Size for Flow Not According to Pipe Size. Rain Bird Compatible Controllers: ESP-LXIVM(P) | LXID | LXME2(P) | ME3, or Controllers Accepting Custom K-Factor and Offset. Install in Rain Bird Valve Box. Water Meter 2" 1
 - XX** Irrigation Lateral Line: PVC Schedule 40 3/4" 726.6 l.f.
 - Irrigation Lateral Line: PVC Schedule 40 1" 33.4 l.f.
 - Irrigation Mainline: PVC Schedule 40 228.5 l.f.
 - Pipe Sleeve: PVC Class 200 SDR 21
Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction. 107.2 l.f.
- Valve Callout
 # Valve Number
 # Valve Flow
 # Valve Size

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
.....	Rain Bird 1806-U-SAM-PRS U10 Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2in. NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	6	30
.....	Rain Bird 1806-U-SAM-PRS U15 Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2in. NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	1	30
.....	Rain Bird 1806-U-SAM-PRS HE-VAN Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2in. NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	24	30
■	Rain Bird X CZ-100-PRF 1" Medium Flow Drip Control Kit, 1in. DV valve, 1in. pressure regulating filter, 40psi pressure regulator. 5 GPM-20 GPM.	2	
●	Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	14	
.....	Area to Receive Drip Emitters Rain Bird PC (2) Single Outlet, Pressure Compensating Drip Emitters with Self-Piercing Barb Inlet. Flow rate: 5 GPH=light brown; 7 GPH=violet; 10 GPH=green; 12 GPH=dark brown; 18 GPH=white; 24 GPH=orange. Emitter Notes: PC-05 emitters (1 assigned to each flat plant) PC-05 emitters (1 assigned to each 4" pot plant) PC-05 emitters (1 assigned to each 1 gal plant) PC-05 emitters (1 assigned to each 2 gal plant) PC-05 emitters (2 assigned to each 3 gal plant) PC-05 emitters (2 assigned to each 5 gal plant) PC-05 emitters (3 assigned to each 15 gal plant) PC-05 emitters (3 assigned to each 20 gal. plant) PC-05 emitters (3 assigned to each B & B, 1.25" Cal plant) PC-05 emitters (3 assigned to each B & B, 2" Cal plant) PC-05 emitters (3 assigned to each B & B, 4-6' plant) PC-05 emitters (3 assigned to each B & B, 5'-6' plant) PC-05 emitters (3 assigned to each B & B, 6' plant) PC-05 emitters (3 assigned to each B & B, 7'-9' plant) PC-05 emitters (3 assigned to each B & B, 8'-10' plant) PC-05 emitters (4 assigned to each B & B, Multi-trunked plant) PC-05 emitters (4 assigned to each Bulb plant) PC-05 emitters (4 assigned to each Plug plant)	4,156 s.f.	
●	Rain Bird DVF 1" Standard configuration, electric remote control valve. Plastic residential in 1in.. With Flow Control.	2	
■	Rain Bird 44-RC 1" 1in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 2-Piece Body.	1	
X	Shut Off Valve	1	
M	Rain Bird EFB-CP-PRS-D 1-1/2" 1in., 1-1/4", 1-1/2in., 2in. Brass Master Valve, that is Contamination Proof w/Self-Flushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover Designates Non-Potable Water Use. With Pressure Regulator.	1	
BF	Zurn 475 2-1/2" Reduced Pressure Backflow Preventer.	1	
C	Rain Bird ESP4ME3 4 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. INK WiFi Module and Flow Sensor Ready.	1	
FS	Rain Bird WR2-RFS Wireless Rain/Freeze Sensor.	1	



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IRRIGATION PLAN SPECIFICATIONS

IRRIGATION SPECIFICATIONS

PART 1 - GENERAL

1.1 SUMMARY

Work to be done includes all labor, materials, equipment and services required to complete the Project irrigation system as indicated on the Construction Drawings, and as specified herein. Includes but is not limited to: Furnishing and installing underground and above ground sprinkler system complete with any accessories necessary for proper function and operation of the system. All plant material on the Project shall be irrigated. Remove and dispose of any existing sprinkler system components which are disturbed during the construction process and are not to be saved. Restoration of any altered or damaged existing landscape to original state and condition.

1.2 SYSTEM DESCRIPTION

A.Design of irrigation components: Locations of irrigation components on Construction Drawings may be approximate. Piping, sleeving and/or other components shown on Construction drawings may be shown schematically for graphic clarity and demonstration of component groupings and separations. All irrigation components shall be placed in landscaped areas, with the exception of pipe and wire in sleeving under hardscapes. Actual routing of pipe, wire or other components may be altered due to site conditions not accounted for in the design process.

B.Construction requirements: Actual placement may vary as required to achieve a minimum of 100% coverage without overexposure onto hardscape, buildings or other features.

C.Layout of Irrigation Components: During layout and staking, consult with Owner Approved Representative (hereafter referred to as OAR) to verify proper placement of irrigation components, and to provide Contractor recommendations for changes where revisions may be advisable. Small or minor adjustments to system layout are permissible to avoid existing field obstructions such as utility boxes or street light poles. Contractor shall place remote control valves in groups as practical to economize on quantity of manifold isolation valves. Quick coupler valves shall be placed with manifold groups and protected by manifold isolation valves. Quick coupler valves are shown on Construction Documents in approximate locations.

1.3 DEFINITIONS

A.Water Supply: Culinary water piping and components, furnished and installed by others to provide irrigation water to this Project, including but not limited to backflow preventer, saddles, nipples, spools, shut off valves, corporation stop valves, water meters, pressure regulation valves, and piping upstream of (or prior to) the Point of Connection.

B.Point of Connection: Location where the Contractor shall tie into the water supply. May require backflow preventer, saddle, nipples, spools, isolation valves or Stop and Waste valve for landscape irrigation needs and use.

C.Main Line Piping: Pressurized piping downstream of the Point of Connection to provide to remote control valves and quick couplers. Normally under constant pressure.

D. Lateral Line Piping: Circuit piping downstream of remote control valves to provide water to sprinkler heads, drip systems or bubblers.

1.4 REFERENCES

A.The following standards will apply to the work of this Section:

- ASTM-American Society for Testing and Materials
- IA - The Irrigation Association: Main BMP Document, Landscape Irrigation Scheduling and Water Management Document.

1.5 SUBMITTALS

A.At least thirty (30) days prior to ordering of any materials, the Contractor shall provide manufacturer catalog cut sheet and current printed specifications for each element or component of the irrigation system. Submittals shall be in three ring binders or other similar bound form. Provide five copies of submittals to OAR for distribution. Place cover or index sheet 24 indicating order in submittal document. No material shall be ordered, delivered or any work preceeded in the field until the required submittals have been reviewed in its entirety and stamped approved. Delivered material shall match the approved samples.

B. Operation and Maintenance Manual:

- At least thirty (30) days prior to final inspection, the Contractor shall provide Operation and Maintenance manual to OAR, containing:
 - Manufacturer catalog cut sheet and current printed specifications for each element or component of the irrigation system.
 - Parts list for each operating element of the system
 - Manufacturer printed literature on operation and maintenance of operating elements of the system.
- Section listing instructions for overall system operation and maintenance. Include directions for Spring Start-up and Winterization.
- Project Record Copy
 - Maintain at project site one copy of all project documents clearly marked "Project Record Copy". Mark any deviation in material installation on Construction drawings. Maintain and update drawing at least weekly. Project Record Copy to be available to OAR on demand.
 - Completed Project As-Built Drawings

1. Prior to final inspection, prepare and submit to OAR accurate as-built drawings including 2 wire path and junction box locations.

2. Show detail and dimension changes made during installation. Show significant details and dimensions that were not shown in original Contract Documents.

3. Field dimension locations of sleeving, points of connection, main line piping, wiring runs not contained in main line pipe trenches, valves and valve boxes, quick coupler valves.

4. Dimensions are to be taken from permanent constructed surfaces, features, or finished edges located at or above finished grade.

5. Controller Map: upon completion of system, place in each controller a color coded copy of the area that controller services; indicating zone number, type of plant material and location on project that zone covers.

1.6 QUALITY ASSURANCE

A.Acceptance: Do not install work in this section prior to acceptance by OAR.

B.Regulatory Requirements: All work and materials shall be according to any and all rules, regulations or codes, whether they are State or Local laws and ordinances. Contract documents, drawings or specifications may not be construed or interpreted to permit work or materials not conforming to the above codes.

C.Adequate Water Supply: Water supply to this Project exists, installed by others. Connections to these supply lines shall be by this Contractor. Verify that proper connection is available to supply line and is of adequate size. Verify that secondary connection components may be installed if necessary. Perform static pressure test prior to commencement of work at supplied POC. Notify OAR in writing of problems encountered and pressure reading prior to proceeding.

D. Workmanship and Materials:

- It is the intent of this specification that all material herein specified and shown on the construction documents shall be of the highest quality available and meeting the requirements specified.
- All work shall be performed in accordance with the best standards of practice relating to the trade.

E. Contractor Qualifications:

- Contractor shall provide document or resume including at least the following items:
 - That Contractor has been installing sprinklers on commercial projects for five previous consecutive years.
 - Contractor is licensed to perform Landscape and Irrigation construction in the State of this Project.
 - Contractor is bondable for the work to be performed.
 - References of five projects of similar size and scope completed within the last five years. Three of the projects listed shall be local.
 - Listing of suppliers where materials will be obtained for use on this Project.
- Project site Foreman or Supervisor has at least five consecutive years of commercial irrigation installation experience. This person shall be a current Certified Irrigation Contractor in good standing as set forth by the Irrigation Association. This person shall be on Project site at least 75% of each working day.
- Evidence that Contractor currently employs workers in sufficient quantities to complete Project within time limits that are established by the Contract.
- All General laborers or workers on the Project shall be previously trained and familiar with sprinkler installation and have a minimum of one-year experience. Those workers performing tasks related to PVC pipe shall have certificates designated below.

2.0 MANIFOLDS

A.Action Manifold fittings shall be used to create unions on both sides of each control valve, allowing the valve to be removed from the box without cutting piping. Valves shall be located in boxes with ample space surrounding them to allow access for maintenance and repair. Where practical, group remote control valves in close proximity, and protect each grouping with a manifold isolation valve as shown in details. Manifold Main Line (or Sub-Main Line) and all manifold components and isolation valves shall be at least as large as the largest diameter lateral served by the respective manifold.

2.1 REMOTE CONTROL VALVES

A.Remote control valves shall be as specified on the drawings. Remote control valves shall be located separately and individually in separate control boxes.

2.2 MANUAL CONTROL VALVES

A.During delivery, installation and storage of materials for Project, all materials shall be protected from contamination, damage, vandalism, and prolonged exposure to sunlight. All material stored at Project site shall be neatly organized in a

compact arrangement and storage shall not disrupt Project Owner or other trades on Project site. All material to be installed shall be handled by Contractor with care to avoid leakage or damage. Damaged materials attributed to Contractor shall be replaced with new at Contractor's expense.

2.3 SEQUENCING

A.Perform site surveys, research utility records, contact utility location services. The Contractor shall familiarize himself with all hazards and utilities prior to work commencement. Install sleeving prior to installation of concrete, paving or other permanent site elements. Irrigation system Point of Connection components, backflow prevention and pressure regulation devices shall be installed and operational prior to all downstream components. All main lines shall be thoroughly flushed of all debris prior to installation of any sprinkler heads.

2.4 WARRANTY

A.Contractor shall provide one year Warranty. Warranty shall cover all materials, workmanship and labor. Warranty shall include filling and/or repairing depressions or replacing turf or other plantings due to settlement of irrigation trenches or irrigation system elements. Valve boxes, sprinklers or other components settled from original finish grade shall be restored to proper grade. Irrigation system shall have been adjusted to provide proper, adequate coverage of irrigated areas.

2.5 OWNERS INSTRUCTION

A.After system is installed, inspected, and approved, instruct Owner's Representatives in complete operation and maintenance procedures. Coordinate instruction with references to previously submitted Operation and Maintenance Manual.

2.6 MAINTENANCE

- Furnish the following items to Owner's Representative:
 - Two quick coupler keys with hose swivels.
 - One of each type or size of quick coupler valve and remote control valve. Five percent of total quantities used of each sprinkler and sprinkler nozzle.
- Provide the following services:
 - Winterize entire irrigation system installed under this contract. Winterize by 'blow-out' method using compressed air. Compressor shall be capable of minimum of 175 CFM. This operation shall occur at the end of first growing season after need for plant irrigation but prior to freezing. Compressor shall be capable of evacuating system of all water pressure regulation devices. Compressor shall be regulated to not more than 60 PSI. Start up system the following spring after danger of freezing has passed. Contractor shall train Owner's Representative in proper start-up and winterization procedure.

2.7 OTHER PRODUCTS

A.Substitution of equivalent products is subject to the Landscape Architect or OAR's approval and must be designated as accepted in writing.

a. The Contractor shall provide materials to make the system complete and operational.

3. EXECUTION

3.1 PREPARATION

A.Contractor shall repair or replace work damaged by irrigation system installation. If damaged work is new, repair or replacement shall be performed by the original installer of that work. The existing landscape of this work that Contractor shall remain in place. Contractor shall protect and work around existing plant material. Coordination of trench and valve locations shall be laid out for the OAR prior to any excavation operation. Plant material deemed damaged by the OAR shall be replaced with new plant material at Contractor's expense. Contractor shall not cut existing tree roots larger than 2" to install this Project. Route pipe, wire and irrigation elements around tree canopy drip line to minimize damage to tree roots. Contractor shall have no part of existing system used by other portions of site landscape without water for more than 24 hours at a time.

3.2 TRENCHING AND BACKFILLING

A.Pulling of pipe shall not be permitted on this project. Over excavate trenches both in width and depth. Ensure base of trench is rock or debris free to protect pipe and wire. Grade trench base to ensure flat, even support of piping. Backfill with clean soil or import material. Contractor shall backfill no less than 2" around entire pipe with clean, rock free fill. Main line piping and fittings shall not be backfilled until OAR has inspected and pipe has passed pressure testing. Perform balance of backfill operation to eliminate any settling.

3.3 SLEEVING

A.Sleeve all piping and wiring that pass under paving or hardscape features. Wiring shall be placed in separate sleeving from piping. Sleeves shall be positioned relative to structures or obstructions to allow for pipe or wire within to be removed if necessary.

3.4 GRADES AND DRAINAGE

A.Place irrigation pipe and other elements at uniform grades. Winterization shall be by evacuation with compressed air. Automatic drains shall not be installed on this Project. Manual drains shall only be installed at POC where designated on Construction Drawings.

3.5 PVC PIPE

A.Install pipe to allow for expansion and contraction as recommended by pipe manufacturer.

B.Install main line pipes with 18" of cover, lateral line pipes with 12" of cover.

C.Drawings show digrammatic or conceptual location of piping. Contractor shall install piping to minimize change of direction, avoid placement under large trees or large shrubs, avoid placement under hardscape features.

D. Plastic pipe shall be cut squarely. Burrs shall be removed. Spigot ends of pipes 3" and larger shall be beveled.

E. Pipe shall not be glued unless ambient temperature is at least 50 degrees F. Pipe shall not be glued in rainy conditions unless properly vented. All solvent weld joints shall be assembled using IPS 7-11 glue and 170 primer according to manufacturer's specification, no exceptions. All workers performing glue operations shall provide evidence of certification. Glued main pipe shall cure a minimum of 24 hours prior to being energized. Lateral lines shall cure a minimum of 2 hours prior to being energized and shall not remain under constant pressure unless cured for 24 hours.

F. Appropriate thrust blocking shall be performed on fittings 3" and larger. All threaded joints shall be wrapped with Teflon tape or paste unless directed by product manufacturer or sealing by on-tig.

3.6 CONTROLLERS

A.All grounding for pedestal controllers shall be as directed by controller manufacturer and ASIC guidelines, not to exceed a resistance reading of 5 OHMS.

B. Locate controllers in protected, inconspicuous places, when possible. Coordinate location of pedestal controllers with Landscape Architect to minimize visibility.

C. Coordinate location of wall mount controllers with building or electrical Contractor to facilitate electrical service and future maintenance needs. Wall mount shall be securely fastened to ceiling. If exterior mounted, wall mount controllers shall have electrical service wire and field control wire in separate, appropriate sized weatherproof electrical conduit, PVC pipe shall not be used.

D. Wiring under hardscape surfaces shall be placed continuously in conduit. Contractor shall be responsible to coordinate sleeving needs for conduit or sweeps elbows from exterior to interior of building.

E. Pedestal controllers shall be placed upon VIT-Strong Box Quick Pad as per manufacturer's recommendations. Controllers shall be oriented such that Owner's Representative maintenance personnel may access easily and perform field system tests efficiently.

F. Place Standard valve box at base of controller or nearby to allow for three to five feet of slack field control wire to be placed at each controller. This Contractor shall provide conduit access if needed for Electrical Contractor. Electrical supply and installation, as well as hook-up to controller shall be by this Contractor.

G. Electrical contractor is in charge of providing 1.5" conduit from controller to outside landscape area. Provide power and room for controller. Provide ethernet to hardware power into the controller.

3.7 VALVES

A. Isolation valves, remote control valves, and quick coupler valves shall be installed according to manufacturer recommendation and Contract Specifications and Details.

B. Valve boxes shall be set over valves so that all parts of the valve can be reached for service.

C. Valve box and lid shall be set to be flush with finished grade. Only one remote control valve may be installed in a Carson 1419124 box. Place a minimum of 4" of 5/8" washed gravel beneath valve box for drainage. Bottom of remote control valve shall be a minimum of 2" above gravel.

3.8 SPRINKLER HEADS

A.No sprinkler shall be located closer than 6" to walls, fences, or buildings.

B. Heads adjacent to walks, curbs, or paths shall be located at grade and 2" away from hardscape.

C. Control valves shall be opened. Then fully flush lateral line pipe and swing joints prior to installation of sprinklers.

D. Spray heads shall be installed and flushed again prior to installation of nozzles.

E. Contractor shall be responsible for adjustment if necessary due to grade changes during landscape construction.

3.9 FIELD QUALITY CONTROL

A. Main line pipes shall not be backfilled or accepted until the system has been tested for 2 hours at 100 psi.

B. Main line pressure test shall include all pipe and components from the point of connection to the upstream side of remote control valves. Test shall include all manifold components under constant pressure. Pressure may be tested in sections that can be isolated.

C. Contractor shall provide pressurized water pump to increase or boost pressure where existing static pressure is less than

A.Quick coupler valve shall be attached to the manifold sub-main line using a Lasco G17S212 swing joint assembly with snap-lock outlet and brass stabilizer elbow. Quick coupler valve shall be placed within a Carson 10" round valve box. Top of quick coupler valve cover shall allow for complete installation of valve box lid, but also allow for insertion and operation of key. Base of quick coupler valve and top of quick coupler swing joint shall be encased in 3/4" gravel. Contractor shall not place quick coupler valves further than 200 feet apart, to allow for spot watering or supplemental irrigation of new plant material. Quick coupler valve at POC shall not be eliminated or relocated.

2.12 LATERAL LINE PIPE

A.All lateral piping shall be Schedule 40 PVC, solvent weld, and bell end. Lateral pipe shall be buried with 12-18" of cover typically. Lateral pipe shall be 3/2", 1", 1/2", 1/2" or 2" in size as indicated on Construction Drawings.

2.13 LATERAL LINE FITTINGS

A.All lateral line fittings shall be S/40 PVC

2.14 Spray Sprinklers

A.Spray head sprinklers shall be as specified on the drawings. Nozzles shall be as specified on the drawings.

2.15 RAIN BIRD VALVE BOXES

A.Carson valve boxes shall be used on this project. Sizes are as directed in these Specifications, detail sheets or plan sheets. Valve boxes shall be centered over the control valve or element they cover. Valve box shall be sized large enough to allow ample room for services access, removal or replacement of valve or element. Valve box shall be set to flush to finish grade of topsoil or barked areas. Contractor shall provide extensions or stack additional valve boxes as necessary to bring grade level box pit to proper grade.

2.16 IMPORT BACKFILL

A.All main line pipe, lateral line pipe and other irrigation elements shall be bedded and backfilled with clean soil, free of rocks 1" and larger. Contractor shall furnish and install additional backfill material as necessary due to rocky conditions. Trenches and other elements shall be compacted and/or water settled to eliminate settling. Debris from trenching operations us-able for fill shall be removed from project and disposed of properly by Contractor.

2.17 OTHER PRODUCTS

A.Substitution of equivalent products is subject to the Landscape Architect or OAR's approval and must be designated as accepted in writing.

a. The Contractor shall provide materials to make the system complete and operational.

3. EXECUTION

3.1 PREPARATION

A.Contractor shall repair or replace work damaged by irrigation system installation. If damaged work is new, repair or replacement shall be performed by the original installer of that work. The existing landscape of this work that Contractor shall remain in place. Contractor shall protect and work around existing plant material. Coordination of trench and valve locations shall be laid out for the OAR prior to any excavation operation. Plant material deemed damaged by the OAR shall be replaced with new plant material at Contractor's expense. Contractor shall not cut existing tree roots larger than 2" to install this Project. Route pipe, wire and irrigation elements around tree canopy drip line to minimize damage to tree roots. Contractor shall have no part of existing system used by other portions of site landscape without water for more than 24 hours at a time.

3.2 TRENCHING AND BACKFILLING

A.Pulling of pipe shall not be permitted on this project. Over excavate trenches both in width and depth. Ensure base of trench is rock or debris free to protect pipe and wire. Grade trench base to ensure flat, even support of piping. Backfill with clean soil or import material. Contractor shall backfill no less than 2" around entire pipe with clean, rock free fill. Main line piping and fittings shall not be backfilled until OAR has inspected and pipe has passed pressure testing. Perform balance of backfill operation to eliminate any settling.

3.3 SLEEVING

A.Sleeve all piping and wiring that pass under paving or hardscape features. Wiring shall be placed in separate sleeving from piping. Sleeves shall be positioned relative to structures or obstructions to allow for pipe or wire within to be removed if necessary.

3.4 GRADES AND DRAINAGE

A.Place irrigation pipe and other elements at uniform grades. Winterization shall be by evacuation with compressed air. Automatic drains shall not be installed on this Project. Manual drains shall only be installed at POC where designated on Construction Drawings.

3.5 PVC PIPE

A.Install pipe to allow for expansion and contraction as recommended by pipe manufacturer.

B.Install main line pipes with 18" of cover, lateral line pipes with 12" of cover.

C.Drawings show digrammatic or conceptual location of piping. Contractor shall install piping to minimize change of direction, avoid placement under large trees or large shrubs, avoid placement under hardscape features.

D. Plastic pipe shall be cut squarely. Burrs shall be removed. Spigot ends of pipes 3" and larger shall be beveled.

E. Pipe shall not be glued unless ambient temperature is at least 50 degrees F. Pipe shall not be glued in rainy conditions unless properly vented. All solvent weld joints shall be assembled using IPS 7-11 glue and 170 primer according to manufacturer's specification, no exceptions. All workers performing glue operations shall provide evidence of certification. Glued main pipe shall cure a minimum of 24 hours prior to being energized. Lateral lines shall cure a minimum of 2 hours prior to being energized and shall not remain under constant pressure unless cured for 24 hours.

F. Appropriate thrust blocking shall be performed on fittings 3" and larger. All threaded joints shall be wrapped with Teflon tape or paste unless directed by product manufacturer or sealing by on-tig.

3.6 CONTROLLERS

A.All grounding for pedestal controllers shall be as directed by controller manufacturer and ASIC guidelines, not to exceed a resistance reading of 5 OHMS.

B. Locate controllers in protected, inconspicuous places, when possible. Coordinate location of pedestal controllers with Landscape Architect to minimize visibility.

C. Coordinate location of wall mount controllers with building or electrical Contractor to facilitate electrical service and future maintenance needs. Wall mount shall be securely fastened to ceiling. If exterior mounted, wall mount controllers shall have electrical service wire and field control wire in separate, appropriate sized weatherproof electrical conduit, PVC pipe shall not be used.

D. Wiring under hardscape surfaces shall be placed continuously in conduit. Contractor shall be responsible to coordinate sleeving needs for conduit or sweeps elbows from exterior to interior of building.

E. Pedestal controllers shall be placed upon VIT-Strong Box Quick Pad as per manufacturer's recommendations. Controllers shall be oriented such that Owner's Representative maintenance personnel may access easily and perform field system tests efficiently.

F. Place Standard valve box at base of controller or nearby to allow for three to five feet of slack field control wire to be placed at each controller. This Contractor shall provide conduit access if needed for Electrical Contractor. Electrical supply and installation, as well as hook-up to controller shall be by this Contractor.

G. Electrical contractor is in charge of providing 1.5" conduit from controller to outside landscape area. Provide power and room for controller. Provide ethernet to hardware power into the controller.

3.7 VALVES

A. Isolation valves, remote control valves, and quick coupler valves shall be installed according to manufacturer recommendation and Contract Specifications and Details.

B. Valve boxes shall be set over valves so that all parts of the valve can be reached for service.

C. Valve box and lid shall be set to be flush with finished grade. Only one remote control valve may be installed in a Carson 1419124 box. Place a minimum of 4" of 5/8" washed gravel beneath valve box for drainage. Bottom of remote control valve shall be a minimum of 2" above gravel.

3.8 SPRINKLER HEADS

A.No sprinkler shall be located closer than 6" to walls, fences, or buildings.

B. Heads adjacent to walks, curbs, or paths shall be located at grade and 2" away from hardscape.

C. Control valves shall be opened. Then fully flush lateral line pipe and swing joints prior to installation of sprinklers.

D. Spray heads shall be installed and flushed again prior to installation of nozzles.

E. Contractor shall be responsible for adjustment if necessary due to grade changes during landscape construction.

3.9 FIELD QUALITY CONTROL

A. Main line pipes shall not be backfilled or accepted until the system has been tested for 2 hours at 100 psi.

B. Main line pressure test shall include all pipe and components from the point of connection to the upstream side of remote control valves. Test shall include all manifold components under constant pressure. Pressure may be tested in sections that can be isolated.

C. Contractor shall provide pressurized water pump to increase or boost pressure where existing static pressure is less than

100 psi.

D. Schedule testing with OAR 48 hours in advance for approval.

E. Leaks or defects shall promptly be repaired or rectified at the Contractors expense and retested until able to pass testing.

F. Grounding resistance at pedestal controller shall also be tested and shall not exceed 5 OHMS.

3.10 ADJUSTMENT

A.Sprinkler heads shall be adjusted to proper height when installed. Changes in grade or adjustment of head height after installation shall be considered a part of the original contract and Contractor's expense.

B. Adjust all sprinkler heads for arc, radius, proper trim and distribution to cover all landscaped areas that are to be irrigated.

C. Adjust sprinklers so they do not water buildings, structures, or other hardscape features.

D. Adjust run times of station to meet needs of plant material the station services.

3.11 CLEANING

A. Contractor shall be responsible for cleanliness of jobsite. Work areas shall be swept cleanly and picked up daily.

B. Open trenches or hazards shall be protected with yellow caution tape.

C. Contractor is responsible for removal and disposal of offsite trash and debris generated as a result of this Project.

D. OAR shall perform periodic as well as a final cleanliness inspection.

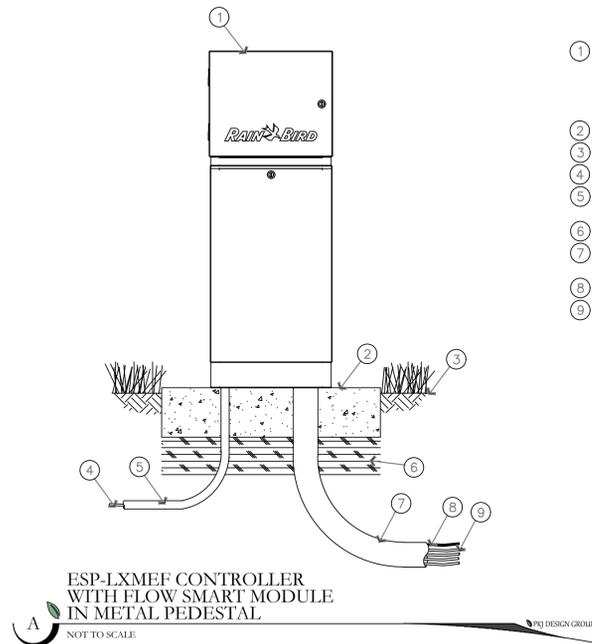
E. Contractor shall leave Project in at least a 'broom clean' condition.

END OF SECTION

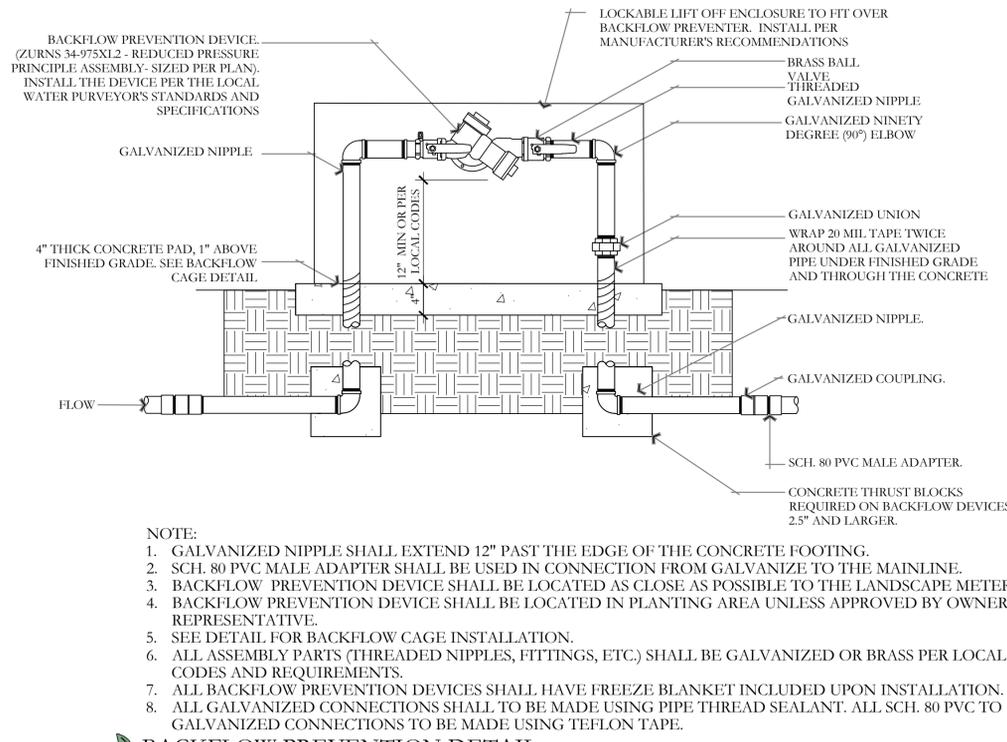
IRRIGATION NOTES

- BEFORE WORK IS TO COMMENCE, BLUE STAKES/DIG LINE IS TO BE CALLED AND NOTIFIED. IF ANY DAMAGE TO UTILITIES HAPPEN DURING CONSTRUCTION, THE CONTRACTOR SHALL REPAIR IT AT THEIR EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS IN ACCORDANCE WITH CITY AND/OR COUNTY CODES AND COMPLY WITH SPECIFICATIONS AND DRAWINGS.
- INVESTIGATE TO MAKE SURE THAT THE IRRIGATION SYSTEM IS, IN FACT, BEING CONNECTED TO A CULINARY SYSTEM. IF IT IS NOT CONNECTED TO CULINARY, CONTACT THE OWNER AND LANDSCAPE ARCHITECT TO COORDINATE A SECONDARY SYSTEM AND REQUIRED COMPONENTS.
- VERIFY THAT THE POINT OF CONNECTION IS IN THE CORRECT LOCATION BEFORE INSTALLATION. ALL CONNECTIONS ON THIS PROJECT ARE TO BE CULINARY WATER AND SHOULD BE NOTED AS SUCH; THEREFORE, ALL PARTS MUST MEET WATER STANDARDS THAT PERTAIN TO CULINARY WATER USE. A BACKFLOW PREVENTOR AND RPZ AS SPECIFIED.
- ON OCCASION AND FOR GRAPHIC PURPOSES ONLY, THE IRRIGATION SYSTEM MIGHT BE SHOWN IN HARDSCAPE AREAS. THIS IRRIGATION IS TO BE PLACED IN LANDSCAPED AREAS ON THE PROPERTY SITE.
- CONTRACTOR SHALL USE ONLY COMMERCIAL GRADE IRRIGATION PRODUCTS. THIS INCLUDES PIPE TO BE SCHEDULE 40 PVC OR BETTER. NO POLY PIPE IS TO BE USED UNLESS BLACK POLY IS CALLED OUT FOR WIRE SLEEVING. FITTINGS UP TO 1 1/2" MUST BE SCHEDULE 40 OR BETTER. FITTINGS LARGER THAN 1 1/2" SHALL BE SCHEDULE 80 OR BETTER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION.
- MAIN LINES SHALL BE A MINIMUM OF 24" DEEP AND LATERAL LINES A MINIMUM OF 12" DEEP. NO ROCK GREATER THAN 1/2" DIAMETER SHALL BE ALLOWED IN TRENCHES. TRENCHING BACKFILL MATERIAL SHALL BE COMPACTED TO PROPER FINISHED GRADE.
- NO IRRIGATION MAIN LINE MAY BE LOCATED WITHIN 5 FEET OF ANY STRUCTURE.
- TO AVOID PIPE DAMAGE, ADJUST LOCATION OF PIPE TO NOT BE DIRECTLY UNDER PLANT MATERIALS. VALVE BOXES ARE PREFERRED TO BE IN PLANTER BEDS INSTEAD OF THE LAWN. SYSTEM IS TO BE WINTERIZED IN THE LATE FALL.
- PLAN INDICATES 100% OR BETTER HEAD TO HEAD COVERAGE. SHOULD CONTRACTOR FIND DISCREPANCIES DUE TO NECESSARY FIELD ADJUSTMENTS, CONTACT LANDSCAPE ARCHITECT FOR IRRIGATION CORRECTION.
- DRIP IRRIGATION TO BE INSTALLED PER DETAILS. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS. TUBING SHOULD REST TOWARD OUTER EDGE OF ROOTBALL AND NOT AGAINST TRUNK OF PLANT.
- A QUICK COUPLER SHALL BE INSTALLED AT POINT OF CONNECTION TO ALLOW BLOW OUT OF SYSTEM BY AIR COMPRESSOR AT END OF EACH SEASON.
- INSTALL SLEEVES FOR ALL PIPES AND WIRE CONDUIT THAT ARE PLACED UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE BEING PLACED INTERNALLY. WIRE CONDUIT SHALL BE INSTALLED IN CLASS 200 PIPE. AT ANY DIRECTIONAL CHANGE THAT OCCURS, A JUNCTION BOX IS TO BE PLACED.
- CONDUITS CAN NOT BE SHARED BY WATER AND ELECTRICAL LINES. ALL WIRE TO BE PUT IN PVC CONDUIT. ALL WIRE CONNECTIONS TO BE PLACED IN A VALVE BOX. ALL WIRE CONNECTIONS TO USE WATERPROOF WIRE CONNECTORS WITH AT LEAST 3" OF EXTRA WIRE. PROVIDE PLENTY OF EXTRA WIRE AT EVERY DIRECTIONAL CHANGE. INSULATE 14 GAUGE COPPER. TO BE USED FOR ALL CONTROL WIRES AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO INSTALL LIGHTNING ARRESTOR AND GROUNDING RODS ON SITE PER MANUFACTURERS RECOMMENDATIONS. SEE DETAILS.
- CONTRACTOR TO SEPARATE SYSTEM (CONTROLLER, VALVES, AND DIFFERENT COLORED WIRE) FROM CITY MAINTAINED PROPERTY AND HOA/OWNER MAINTAINED PROPERTY.
- DUCT TAPE ALL SLEEVES TO PREVENT SOIL OR OTHER DEBRIS ENTERING PIPE. IDENTIFY ALL SLEEVES BY WOOD OR PVC STAKES AND SPRAY PAINT WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- TO PREVENT EROSION AND LOW POINT DRAINAGE CONTRACTOR SHALL INSTALL CHECK VALVES
- LOCATE SPRAY HEADS NO CLOSER THAN 6" FROM WALLS, FENCES OR BUILDINGS AND 2" AWAY FROM WALKS, PATHS OR CURBS.
- PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING. CONTACT LANDSCAPE ARCHITECT/OWNER AT THIS TIME FOR COMPLIANCE.
- CONTRACTOR TO CONSULT WITH OWNER ON EXACT LOCATION OF CONTROLLER. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR AND OWNER FOR THE POWER SUPPLY. INSTALL ALL PER MANUFACTURERS SPECIFICATIONS. CONTRACTOR SHALL INSTALL A RAIN SENSOR WITH THE CONTROLLER UNLESS OTHERWISE DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
- LATERAL LINES SHALL BE NO SMALLER THAN 3/4" LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES DO NOT EXCEED THE SUGGESTED GPM LISTED BELOW:

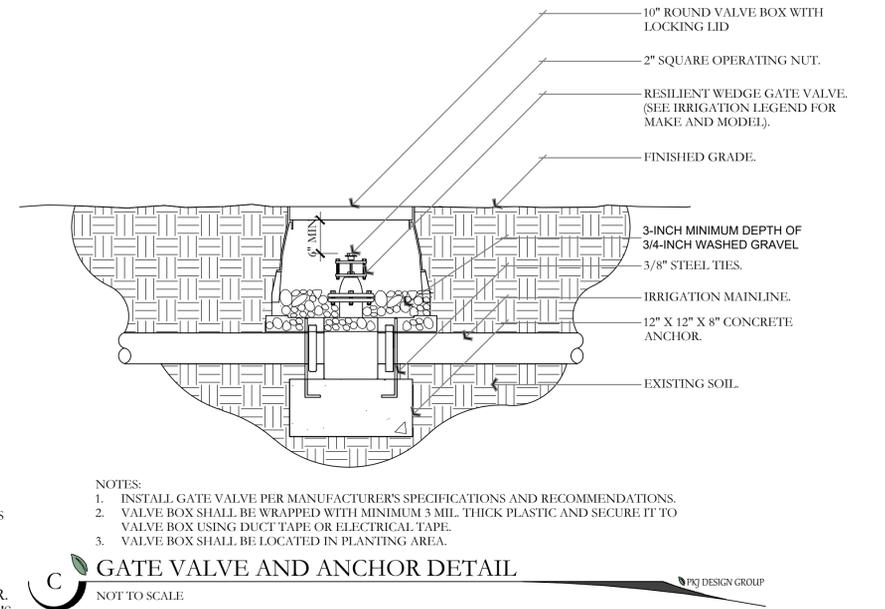
I	3/4"	8 GPM
II	1"	12 GPM
III	1	



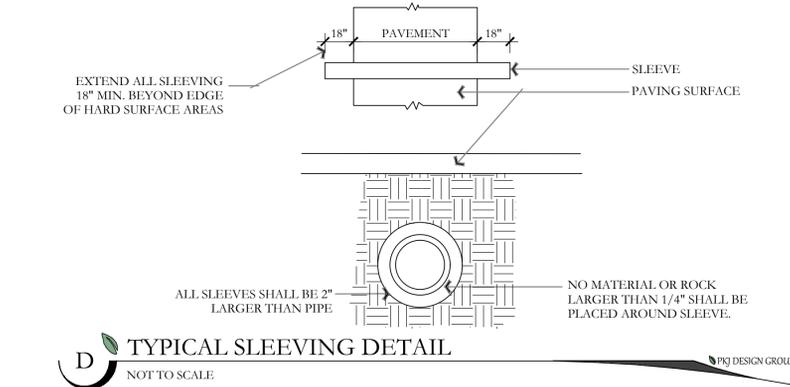
- 1 IRRIGATION CONTROLLER: RAIN BIRD ESP-LXMEF CONTROLLER WITH FLOW SMART MODULE IN 1XMM METAL CABINET AND LXMMPEL METAL PEDESTAL. INSTALL CONTROLLER, CABINET AND PEDESTAL PER MANUFACTURER'S RECOMMENDATIONS.
 - 2 CONCRETE PAD: 6-INCH MINIMUM THICKNESS
 - 3 FINISH GRADE
 - 4 POWER SUPPLY WIRE
 - 5 1-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR POWER SUPPLY
 - 6 COMPACTED SUBGRADE
 - 7 3-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR STATION WIRES
 - 8 FLOW SENSOR WIRE (PE 39, 89 OR 54) TO FLOW SENSOR
 - 9 MASTER VALVE AND REMOTE CONTROL VALVE WIRES
- NOTES:
 1. ESP-LXMEF CONTROLLER IS AVAILABLE IN 8- OR 12-STATION BASE MODELS. ADDITIONAL MODULES IN 4-, 8- AND 12-STATION VERSIONS MAY BE ADDED TO BRING THE CONTROLLER UP TO 48 STATIONS MAXIMUM.
 2. FOR EASE OF INSTALLATION INTO A CONTROLLER WITH MORE THAN 24 STATIONS, INSTALL A JUNCTION BOX AT THE BASE OF CONTROLLER AND TRANSITION LARGER VALVE AND COMMON WIRES FROM FIELD TO 18-AWG MULTI-CONDUCTOR WIRE TO BE USED IN CONTROLLER.
 3. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



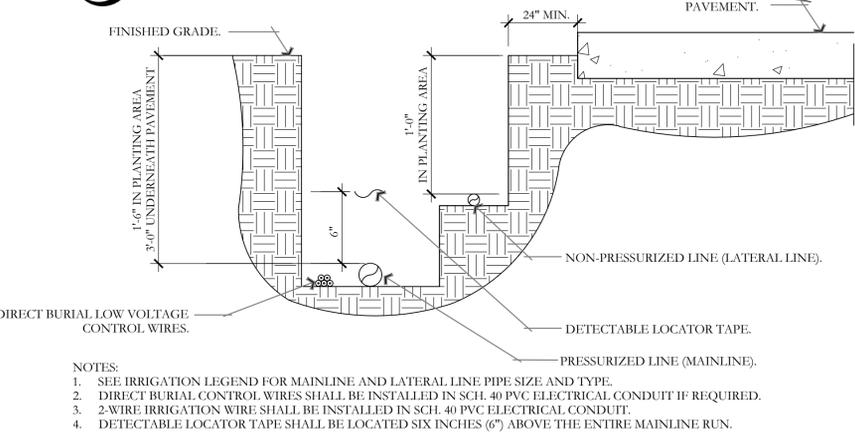
- BACKFLOW PREVENTION DEVICE (ZURNS 34-975XL2 - REDUCED PRESSURE PRINCIPLE ASSEMBLY - SIZED PER PLAN). INSTALL THE DEVICE PER THE LOCAL WATER PURVEYOR'S STANDARDS AND SPECIFICATIONS
- LOCKABLE LIFT OFF ENCLOSURE TO FIT OVER BACKFLOW PREVENTER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- BRASS BALL VALVE THREADED GALVANIZED NIPPLE
- GALVANIZED NIPPLE
- 12" MIN. OR PER LOCAL CODES
- 4" THICK CONCRETE PAD, 1" ABOVE FINISHED GRADE. SEE BACKFLOW CAGE DETAIL
- GALVANIZED UNION
- WRAP 20 MIL TAPE TWICE AROUND ALL GALVANIZED PIPE UNDER FINISHED GRADE AND THROUGH THE CONCRETE
- GALVANIZED NIPPLE
- GALVANIZED COUPLING
- SCH. 80 PVC MALE ADAPTER
- CONCRETE THRUST BLOCKS REQUIRED ON BACKFLOW DEVICES 2.5" AND LARGER.
- NOTE:
 1. GALVANIZED NIPPLE SHALL EXTEND 12" PAST THE EDGE OF THE CONCRETE FOOTING.
 2. SCH. 80 PVC MALE ADAPTER SHALL BE USED IN CONNECTION FROM GALVANIZED TO THE MAINLINE.
 3. BACKFLOW PREVENTION DEVICE SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE LANDSCAPE METER.
 4. BACKFLOW PREVENTION DEVICE SHALL BE LOCATED IN PLANTING AREA UNLESS APPROVED BY OWNER'S REPRESENTATIVE.
 5. SEE DETAIL FOR BACKFLOW CAGE INSTALLATION.
 6. ALL ASSEMBLY PARTS (THREADED NIPPLES, FITTINGS, ETC.) SHALL BE GALVANIZED OR BRASS PER LOCAL CODES AND REQUIREMENTS.
 7. ALL BACKFLOW PREVENTION DEVICES SHALL HAVE FREEZE BLANKET INCLUDED UPON INSTALLATION.
 8. ALL GALVANIZED CONNECTIONS SHALL TO BE MADE USING PIPE THREAD SEALANT. ALL SCH. 80 PVC TO GALVANIZED CONNECTIONS TO BE MADE USING TEFLON TAPE.



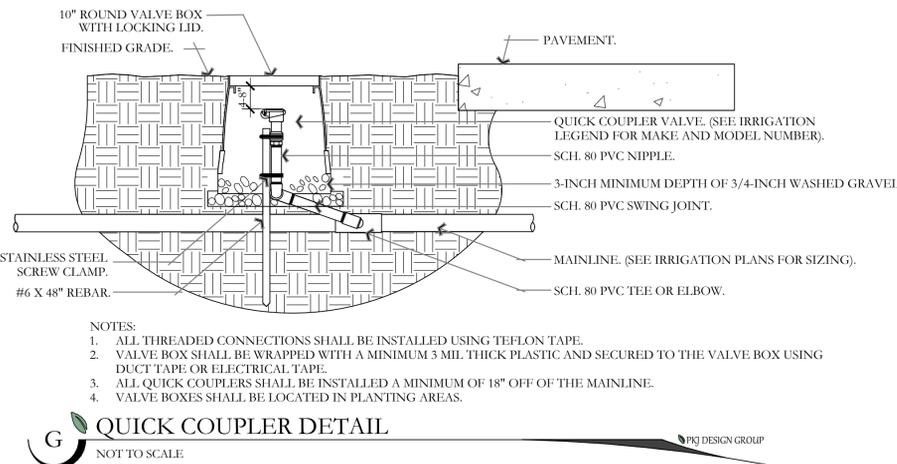
- 10" ROUND VALVE BOX WITH LOCKING LID
- 2" SQUARE OPERATING NUT
- RESILIENT WEDGE GATE VALVE (SEE IRRIGATION LEGEND FOR MAKE AND MODEL)
- FINISHED GRADE
- 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 3/8" STEEL THES.
- IRRIGATION MAINLINE
- 12" X 12" X 8" CONCRETE ANCHOR
- EXISTING SOIL
- NOTES:
 1. INSTALL GATE VALVE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 2. VALVE BOX SHALL BE WRAPPED WITH MINIMUM 3 MIL THICK PLASTIC AND SECURE IT TO VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
 3. VALVE BOX SHALL BE LOCATED IN PLANTING AREA.



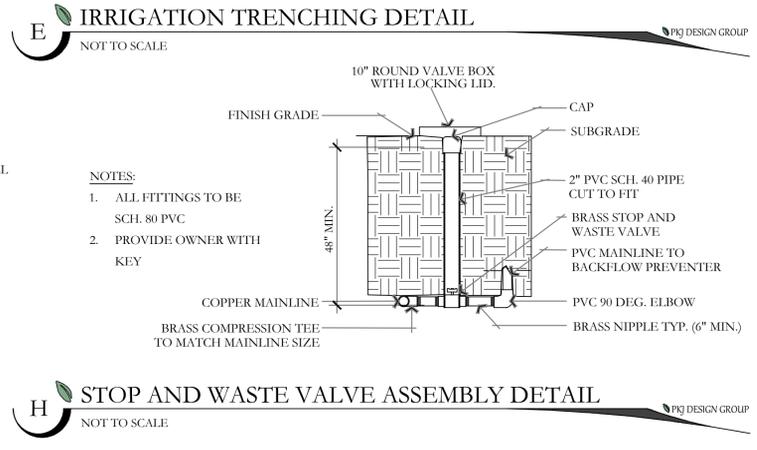
- EXTEND ALL SLEEVING 18" MIN. BEYOND EDGE OF HARD SURFACE AREAS
- PAVEMENT
- 18"
- SLEEVE
- PAVING SURFACE
- NO MATERIAL OR ROCK LARGER THAN 1/4" SHALL BE PLACED AROUND SLEEVE.
- ALL SLEEVES SHALL BE 2" LARGER THAN PIPE



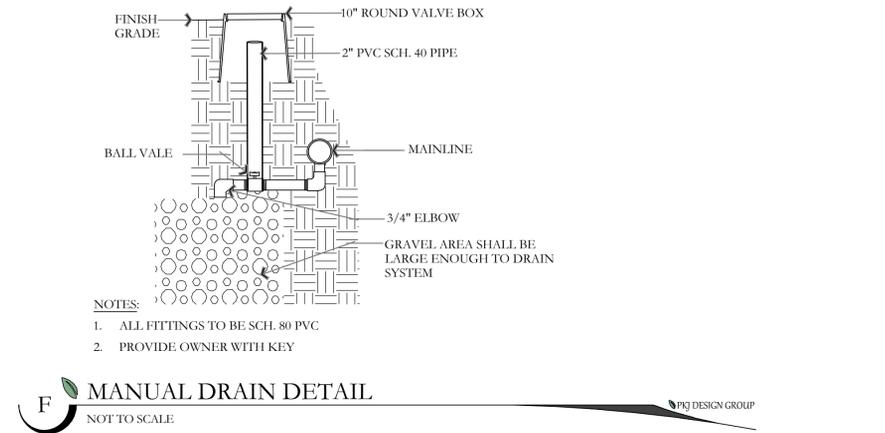
- FINISHED GRADE
- 24" MIN.
- PAVEMENT
- 1'-6" IN PLANTING AREA
- 3'-0" UNDERNEATH PAVEMENT
- 1'-0" IN PLANTING AREA
- NON-PRESSURIZED LINE (LATERAL LINE)
- DIRECT BURIAL LOW VOLTAGE CONTROL WIRES
- DETECTABLE LOCATOR TAPE
- PRESSURIZED LINE (MAINLINE)
- NOTE:
 1. SEE IRRIGATION LEGEND FOR MAINLINE AND LATERAL LINE PIPE SIZE AND TYPE.
 2. DIRECT BURIAL CONTROL WIRES SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT IF REQUIRED.
 3. 2-WIRE IRRIGATION WIRE SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT.
 4. DETECTABLE LOCATOR TAPE SHALL BE LOCATED SIX INCHES (6") ABOVE THE ENTIRE MAINLINE RUN.



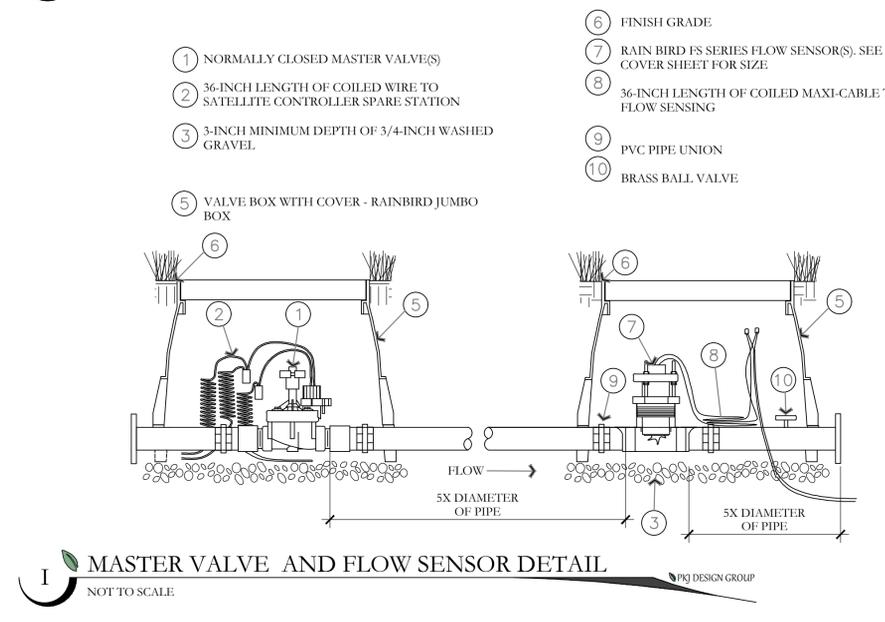
- 10" ROUND VALVE BOX WITH LOCKING LID
- FINISHED GRADE
- PAVEMENT
- QUICK COUPLER VALVE (SEE IRRIGATION LEGEND FOR MAKE AND MODEL NUMBER)
- SCH. 80 PVC NIPPLE
- 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- SCH. 80 PVC SWING JOINT
- STAINLESS STEEL SCREW CLAMP
- #6 X 48" REBAR
- MAINLINE (SEE IRRIGATION PLANS FOR SIZING)
- SCH. 80 PVC TEE OR ELBOW
- NOTE:
 1. ALL THREADED CONNECTIONS SHALL BE INSTALLED USING TEFLON TAPE.
 2. VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
 3. ALL QUICK COUPLERS SHALL BE INSTALLED A MINIMUM OF 18" OFF OF THE MAINLINE.
 4. VALVE BOXES SHALL BE LOCATED IN PLANTING AREAS.



- 10" ROUND VALVE BOX WITH LOCKING LID
- FINISHED GRADE
- CAP
- SUBGRADE
- 2" PVC SCH. 40 PIPE CUT TO FIT
- BRASS STOP AND WASTE VALVE
- PVC MAINLINE TO BACKFLOW PREVENTER
- PVC 90 DEG. ELBOW
- BRASS NIPPLE TYP. (6" MIN.)
- COPPER MAINLINE
- BRASS COMPRESSION TEE TO MATCH MAINLINE SIZE
- NOTE:
 1. ALL FITTINGS TO BE SCH. 80 PVC
 2. PROVIDE OWNER WITH KEY



- FINISH GRADE
- RAIN BIRD FS SERIES FLOW SENSOR(S). SEE COVER SHEET FOR SIZE
- 36-INCH LENGTH OF COILED WIRE TO SATELLITE CONTROLLER SPARE STATION
- 36-INCH LENGTH OF COILED MAXI-CABLE TO FLOW SENSING
- PVC PIPE UNION
- BRASS BALL VALVE
- 3-1/2" MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- VALVE BOX WITH COVER - RAINBIRD JUMBO BOX
- NOTE:
 1. ALL FITTINGS TO BE SCH. 80 PVC
 2. PROVIDE OWNER WITH KEY



- 1 NORMALLY CLOSED MASTER VALVE(S)
- 2 36-INCH LENGTH OF COILED WIRE TO SATELLITE CONTROLLER SPARE STATION
- 3 3-1/2" MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 5 VALVE BOX WITH COVER - RAINBIRD JUMBO BOX
- 6 FINISH GRADE
- 7 RAIN BIRD FS SERIES FLOW SENSOR(S). SEE COVER SHEET FOR SIZE
- 8 36-INCH LENGTH OF COILED MAXI-CABLE TO FLOW SENSING
- 9 PVC PIPE UNION
- 10 BRASS BALL VALVE
- 5X DIAMETER OF PIPE
- 5X DIAMETER OF PIPE
- FLOW

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
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6/6/2024 UT24064

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THE PRESERVE ON 9TH
 4181 S. 900 E.
 MILLCREEK, UTAH

WIXACO 401K PLAN, LLC
 ATT: BRANDON WIXOM
 801-864-2626
 BWIXOM@GMAIL.COM

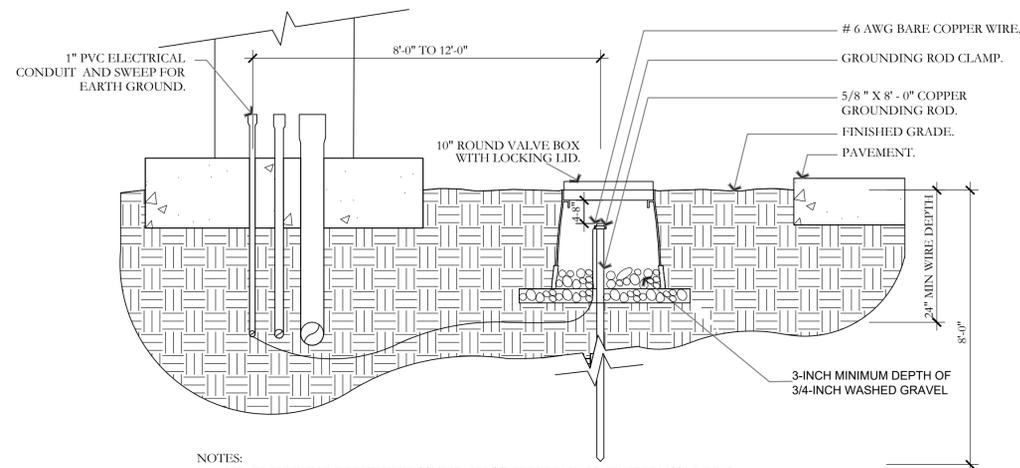
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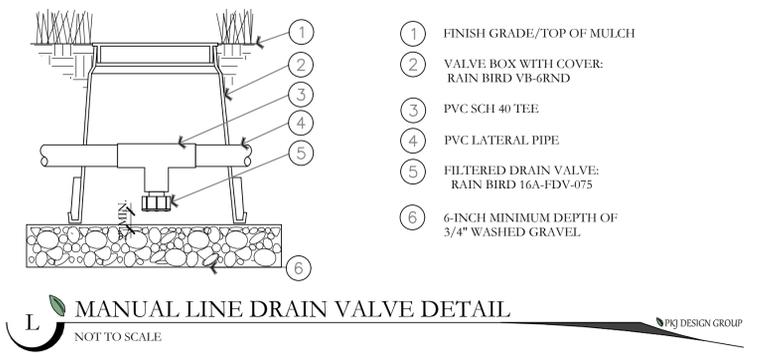
IRRIGATION DETAILS
 CITY PERMIT SET

IR-501

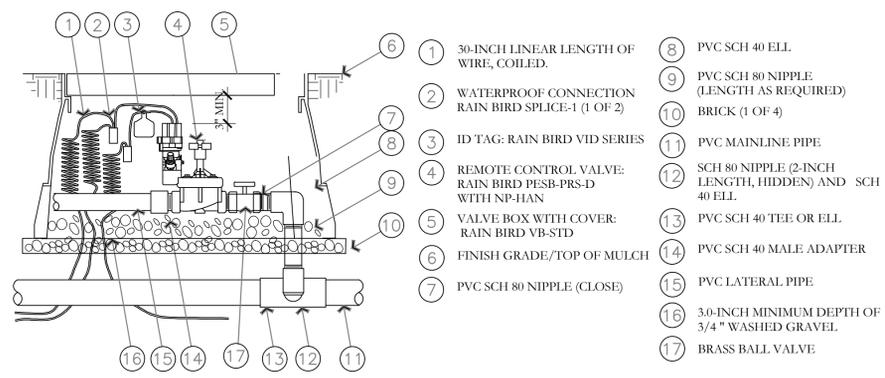


- NOTES:
1. ALL GROUNDING REQUIREMENTS FOR CONTROLLERS SHALL CONFORM TO LOCAL ELECTRIC CODES.
 2. GROUNDING ROD SHALL NOT BE LOCATED IN THE SAME TRENCH AS THE IRRIGATION MAINLINES OR LATERAL LINES.
 3. VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
 4. INSTALL GROUNDING ROD PER THE CONTROLLER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

K GROUNDING ROD DETAIL
NOT TO SCALE

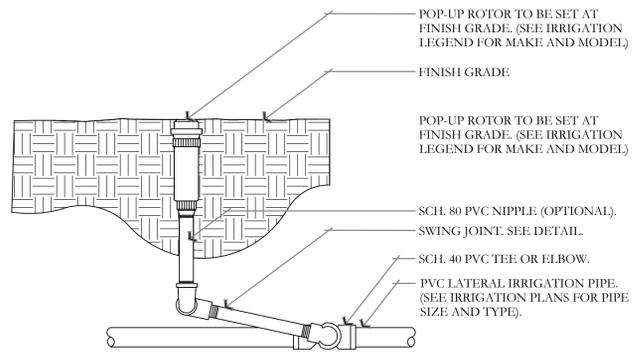


L MANUAL LINE DRAIN VALVE DETAIL
NOT TO SCALE



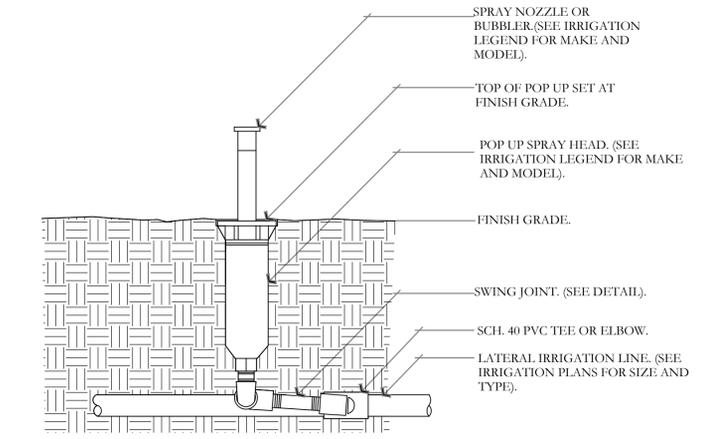
1. 30-INCH LINEAR LENGTH OF WIRE, COILED.
2. WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
3. ID TAG: RAIN BIRD VID SERIES
4. REMOTE CONTROL VALVE: RAIN BIRD PESB-PRS-D WITH NP-HAN
5. VALVE BOX WITH COVER: RAIN BIRD VB-STD
6. FINISH GRADE/TOP OF MULCH
7. PVC SCH 80 NIPPLE (CLOSE)
8. PVC SCH 40 ELL
9. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
10. BRICK (1 OF 4)
11. PVC MAINLINE PIPE
12. SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
13. PVC SCH 40 TEE OR ELL
14. PVC SCH 40 MALE ADAPTER
15. PVC LATERAL PIPE
16. 3/4-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
17. BRASS BALL VALVE

M ELECTRIC REMOTE-CONTROL VALVE DETAIL
NOT TO SCALE



- NOTES:
1. ALL THREADED CONNECTION POINTS BETWEEN SCH. 40 PVC AND SCH. 80 PVC FITTING SHALL BE INSTALLED USING TEFLON TAPE.
 2. CONTRACTOR SHALL COMPACT SOIL AROUND ROTOR AND RISER PRIOR TO PLANTING, PLUGGING, SEEDING, OR LAYING OF SOD.

N ROTOR HEAD DETAIL
NOT TO SCALE



- NOTE:
1. 4" POP UPS SHALL BE USED IN TURF AREAS.
 2. CONTRACTOR SHALL SETTLE SOIL AROUND THE POP UP AFTER INSTALLATION.
 3. ALL POP UP SPRAY HEADS SHALL HAVE CHECK VALVES.
 4. ALL SCH. 40 PVC TO SCH. 80 PVC CONNECTIONS SHALL BE MADE USING TEFLON TAPE.

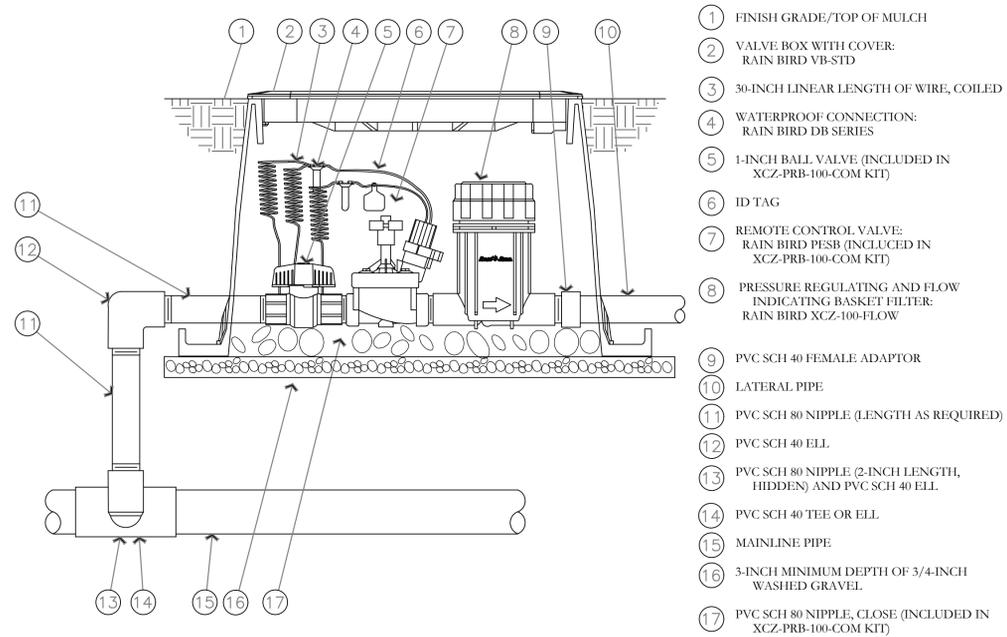
O POP UP-SPRAY HEAD DETAIL
NOT TO SCALE

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO	
6/6/2024	UT24064			WIXACO 401K PLAN, LLC ATT: BRANDON WIXOM 801-864-2626 BWIXOM@GMAIL.COM	PKJ DESIGN GROUP		PM: JTA DRAWN: ACP CHECKED: JMA PLOT DATE: 6/6/2024	
NO.	REVISION	DATE	<div style="text-align: center;"> <h2>THE PRESERVE ON 9TH</h2> <p>4181 S. 900 E. MILLCREEK, UTAH</p> </div>					
1	XXXX	XX-XX-XX						
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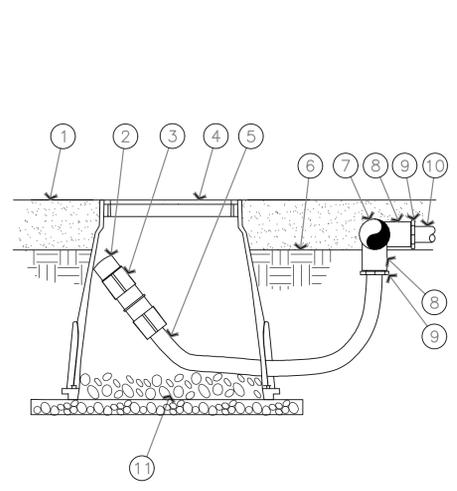
PKJ
DESIGN GROUP
Landscape Architecture • Planning • Visualization
3450 N. TRIUMPH BLVD, SUITE 102
LEHI, UTAH 84043 (801) 753-5644
www.pkjdesigngroup.com

IRRIGATION DETAILS
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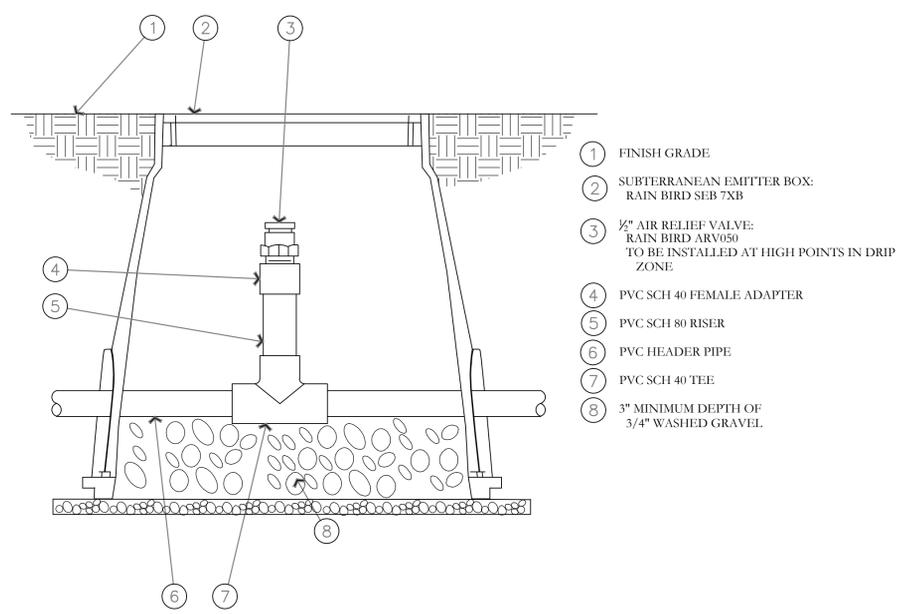
- ① FINISH GRADE/TOP OF MULCH
- ② VALVE BOX WITH COVER: RAIN BIRD VB-STD
- ③ 30-INCH LINEAR LENGTH OF WIRE, COILED
- ④ WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- ⑤ 1-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT)
- ⑥ ID TAG
- ⑦ REMOTE CONTROL VALVE: RAIN BIRD PERS (INCLUDED IN XCZ-PRB-100-COM KIT)
- ⑧ PRESSURE REGULATING AND FLOW INDICATING BASKET FILTER: RAIN BIRD XCZ-100-FLOW
- ⑨ PVC SCH 40 FEMALE ADAPTOR
- ⑩ LATERAL PIPE
- ⑪ PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- ⑫ PVC SCH 40 ELL
- ⑬ PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- ⑭ PVC SCH 40 TEE OR ELL
- ⑮ MAINLINE PIPE
- ⑯ 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- ⑰ PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT)

P DRIP CONTROL ZONE KIT DETAIL
NOT TO SCALE



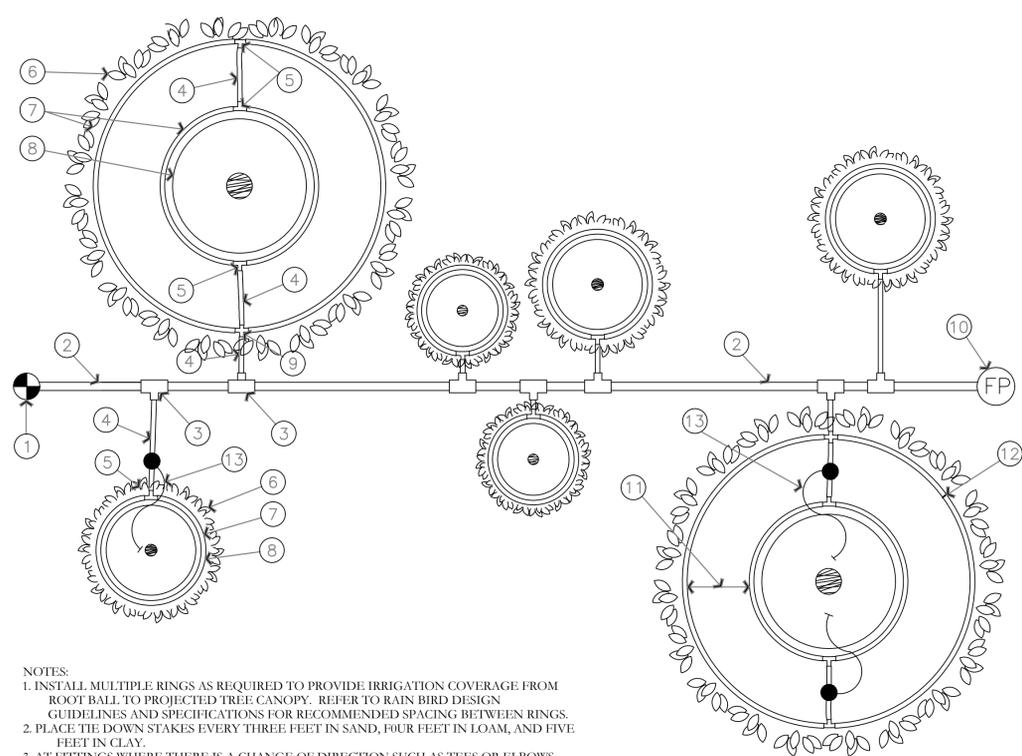
- ① MULCH
- ② FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS: POTABLE:RAIN BIRD MDCFCAP
- ③ EASY FIT COUPLING: RAIN BIRD MDCFCOUP
- ④ SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- ⑤ 1/2" POLYETHYLENE TUBING: RAIN BIRD XF-BLANK TUBING
- ⑥ FINISH GRADE
- ⑦ PVC EXHAUST HEADER
- ⑧ PVC SCH 40 TEE OR EL
- ⑨ BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
- ⑩ ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV DRIPLINE
- ⑪ 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL

Q ON-SURFACE DRIPLINE FLUSH POINT DETAIL
NOT TO SCALE



- ① FINISH GRADE
- ② SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- ③ 1/2" AIR RELIEF VALVE: RAIN BIRD ARV050 TO BE INSTALLED AT HIGH POINTS IN DRIP ZONE
- ④ PVC SCH 40 FEMALE ADAPTER
- ⑤ PVC SCH 80 RISER
- ⑥ PVC HEADER PIPE
- ⑦ PVC SCH 40 TEE
- ⑧ 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

R AIR RELIEF VALVE DETAIL
NOT TO SCALE



- ① RAIN BIRD CONTROL ZONE KIT (SIZED TO ACCOMMODATE LATERAL FLOW DEMAND)
- ② PVC DRIP LATERAL PIPE
- ③ PVC SCH 40 TEE OR EL (TYPICAL)
- ④ 1/2" POLYETHYLENE TUBING: RAIN BIRD XF SERIES-S FOR COPPER SHEILD (TYPICAL)
- ⑤ BARB X BARB INSERT TEE: RAIN BIRD XFF-TEE (TYPICAL)
- ⑥ PROJECTED CANOPY LINE OF TREE OR SHRUB (TYPICAL)
- ⑦ ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV SERIES PLACE AS SHOWN (LENGTH AS REQUIRED, TYPICAL)
- ⑧ ROOT BALL (TYPICAL)
- ⑨ BARB X BARB INSERT CROSS: RAIN BIRD XFD-CROSS (TYPICAL)
- ⑩ DRIPLINE FLUSH POINT (SEE RAIN BIRD DETAIL: "XFCV DRIPLINE FLUSH POINT WITH BALL VALVE")
- ⑪ SPACING PER SPECIFICATION
- ⑫ TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED, SEE NOTES 2-3 BELOW)
- ⑬ POINT SOURCE EMITTERS FOR ESTABLISHMENT PERIOD. REMOVE AFTER ESTABLISHMENT PERIOD.

NOTES:
 1. INSTALL MULTIPLE RINGS AS REQUIRED TO PROVIDE IRRIGATION COVERAGE FROM ROOT BALL TO PROJECTED TREE CANOPY. REFER TO RAIN BIRD DESIGN GUIDELINES AND SPECIFICATIONS FOR RECOMMENDED SPACING BETWEEN RINGS.
 2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

S ON-SURFACE DRIPLINE TREE/SHRUB DETAIL
NOT TO SCALE

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
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BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org			THE PRESERVE ON 9TH 4181 S. 900 E. MILLCREEK, UTAH		PKJ DESIGN GROUP Landscape Architecture & Planning & Visualization 3450 N. TRIUMPH BLVD, SUITE 102 LEHI, UTAH 84043 (801) 753-5644 www.pkjdesigngroup.com		IRRIGATION DETAILS CITY PERMIT SET IR-503

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Atkinson Disposal LLC

746 West 2250 North

West Bountiful, Utah 84087



June 6, 2024

Dear Sirs:

This is to confirm that the property size of the proposed 6-plex will be adequate for the garbage truck of Atkinson Disposal to service the property. Atkinson Disposal uses a small rear load garbage truck that can easily access small spaces. The driver does not need extra room to turn the truck around while on the property. The truck can be pulled in or backed into the location. The truck will be able to access the dumpster at any location on the property.

Any more questions, please feel free to call.

Keith Atkinson
Atkinson Disposal
801-597-8489



ZM-24-008

Planning Commission Staff Report

Meeting Date: 7/17/2024

Applicant: Jason Boal

Re: Request to Rezone Property

Property Address: 4100 S 650 W

Zone: From A-1/A-2 to M

Prepared By: Carlos Estudillo, Planner

Scope of Decision: **Discretionary.** This is a legislative matter, to be decided by the Millcreek City Council upon receiving a recommendation from the Community Council(s) and the Millcreek Planning Commission. Your recommendation can be broad in scope, but should consider prior adopted policies, especially the Millcreek General Plan.

REQUEST AND SYNOPSIS

The applicant is proposing to rezone the northern portion of an 8.17 acres lot, generally located at 4100 S 700 W, from the Agricultural zone (A-1 & A-2) to the Manufacturing Zone (M). No development is currently proposed, as the application's purpose is to consolidate the current zoning of the lot into one zone (Manufacturing zone). Historically, the property has been utilized for the following uses, including:

- Trucking and storage business
- Overnight rental and storage of truck, trailer, and automobile equipment.
- Truck, trailer and automobile repair.
- Warehousing

GENERAL PLAN CONSIDERATIONS

GOAL E-2: Cultivate a business culture that allows existing establishments to grow in place, draw new firms to Millcreek and encourages more homegrown enterprises.

Strategy 2.1: Continue land regulations that allow for a diverse mix of workplace types, including non-traditional and flexible

workspaces, such as co-working facilities.

Subject Property is an existing and thriving business. The potential rezone would consolidate the manufacturing uses currently present, extending the envisioned land regulations specified in the future land use Map and General Plan (Light-manufacturing).

EXISTING CONDITIONS & FINDINGS:

1. The Subject Property involves five parcels comprising approximately 8.17 acres. The subjected properties are the following:
 - a. 650 W 4100 S
 - b. 640 W 4100 S
 - c. 4075 S 700 W
 - d. 4066 S 700 W
 - e. 4058 S 700 W
2. Land Use Designation. The Subject Property is within the “Light Manufacturing” land use designation – which envisions neighborhoods comprised of “A range of employment uses, including a wide range of commercial uses, small-scale manufacturing, light industrial, processing, wholesaling, flex space.
3. Zoning. The Subject Property is currently within the M (Manufacturing) zone, as well as the A-1 (Agricultural Zone) and A-2 Zone (Agricultural Zone). Properties within the vicinity surrounding the subject property are within the A-1 (north and west), A-2 (north) and M to the east.
4. Surrounding Uses. Properties surrounding the Subject Property consist of multi-family housing stock, agricultural parcels, and manufacturing issues. Sunnyvale Park is located north of the subjected property.
5. Access. In a future application, the Community Council will be considering the land swap/vacation of a portion of 700 W, along the property’s frontage, with the purpose of realigning the right-of-way to match existing improvements, through the dedication of the swapped land.
6. Concept Proposal. No development is currently proposed, as the application’s purpose is to consolidate the current zoning of the lot into one zone (Manufacturing zone).

RECOMMENDATIONS:

Neighborhood Meeting – The applicant held a neighborhood meeting on June 18th. Most comments pertained to multi-family development and road extension (700 W).

Millcreek Community Council Meeting – The Millcreek Community Council held a meeting on July 2nd, whereupon seven of the nine (7-2) members made a positive recommendation to approve the rezone of the Subject Property from the A-1/A-2 Zone to the M Zone, as proposed. Some of the discussed items during the meeting were:

- a. Contemplation of a future change in land use to accommodate a potential multi-family project in the subjected property.

Staff Recommendation - Based on the findings and conclusions listed above, Staff recommends that the Planning Commission take public comments and recommend the City Council approve application file number ZM-24-008, as presented, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

MODEL MOTION

I move that the Planning Commission recommend **approval** of application file number ZM-24-008, as presented.

SUPPORTING DOCUMENTS

- **Submission letter and package.**

Snell & Wilmer

15 WEST SOUTH TEMPLE
SUITE 1200
GATEWAY TOWER WEST
SALT LAKE CITY, UT 84101
801.257.1900 P
801.257.1800 F

Jason Boal, AICP
(801) 257-1917
jboal@swlaw.com

June 24, 2024

Millcreek City Council
1330 East Chambers Avenue
Millcreek, UT 84106

Re: Petition for Zoning Map Amendment for the property located at 650 W 4100 S, Salt Lake County, Utah, parcel nos. – 15-36-351-056, 15-36-351-057, 15,35,400,091, 15-35-400-090, 15-35-400-058.

On behalf of 650 MILLCREEK PARTNERS, LLC, the owner of the five (5) parcels located at 650 W 4100 S (“**Property**”) which are also known as parcel nos.: 15-36-351-056, 15-36-351-057, 15,35,400,091, 15-35-400-090, 15-35-400-058, in Millcreek City, as shown in **Exhibit A**, we are submitting this petition for a Zoning Map Amendment to change the zoning designation of these parcels. We are requesting the zoning designation for the entire area of these properties be changed to M, Light Industrial. The majority of the property is currently zoned M, but there are portions on the north and west boundary that are zone A-1 and A-2. This petition is submitted pursuant to Millcreek City Code § 19.90.

The Millcreek City Zoning Code allows a property owner to initiate a zoning map amendment, by submitting an application for the amendment to the Millcreek City Planning Commission. *See* Millcreek City Code § 19.90.010. This letter and the attachments will satisfy the required information needed to be included in a rezone petition, specifically:

1. A letter of intent, which describes the purpose for the amendment;
2. Street address and legal description of the property;
3. DRC Comments;
4. Land Use Application Form;
5. General Plan Questionnaire;
6. Property Owner Affidavit;
7. Neighborhood meeting notice and sign in sheet;
8. Site plans drawn to scale (where applicable); and
9. Required fees.

Snell & Wilmer

Millcreek City Council

June 24, 2024

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1. The purpose for the amendment.

Zoning designations

Currently and historically, the Property has been used for industrial uses. However, the property has split zoning designations, between: M (Light Industrial), A-1 (Agricultural) and A-2 (Agriculture), as shown in **Exhibit B**. The adjacent property to the east has similar split zoning with A-2 and M designations. The properties to the north, and west are zoned as Agriculture. The property to the south is in Murray City limits and zoned Transit Oriented Development (TOD). The purpose statement of the M district is:

A. Purpose of M, Light Manufacturing Zone

The purpose of the Light Manufacturing Zone is to provide areas for light manufacturing, warehousing, and commercial uses as allowed in the C-3 zone in an aesthetically attractive setting.

B. Definitions. Light manufacturing: Manufacturing conducted predominately within an enclosed building predominantly from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, mixing/blending/compounding, treatment, research, testing and packaging of such products, and associated services, storage, sales (retail and wholesale) and distribution of such products, which minimizes noise, odors, vibration, hazardous waste materials, waste water runoff, or particulates that could be considered a nuisance to neighboring properties.

Warehousing: the storage of raw, in-process and finished materials within an enclosed structure or building, including retail and wholesale activities, which does not produce noise, odors, vibrations, hazardous waste materials or particulates that will cause detrimental effects to neighboring properties.

See Millcreek City Code § 19.66.010.

We are requesting that the approximately 8.17 acres, consisting of the five (5) parcels located at the 650 W 4100 S, have one (1) zoning designation, which is Light Industrial, to be consistent with the current and historical uses, as shown in **Exhibit C**.

It is assumed that the zoning boundaries which split this parcel are a remnant of Salt Lake County zoning, prior to Millcreek City's incorporation. This request does not seek to modify the use of the properties, rather to ensure the entire property is managed through one (1) set of zoning standards, as opposed to three (3). Although there are no

Snell & Wilmer

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plans for redevelopment of the site at this time, the review of even minor site improvements, such as fencing will be difficult when three (3) different sets of regulations, such as setbacks, landscaping and buffering will need to be reviewed and complied with.

Millcreek City General Plan

This property is located in the Light Manufacturing District of Millcreek City's Future Land Use Map, which is found in the Millcreek Together General Plan. The future land use designation is shown in **Exhibit D**. This area is intended to provide "A range of employment uses, including a wide range of commercial uses, small-scale manufacturing, light industrial, processing, wholesaling, flex space." This aligns with the historic, current and future uses of the property.

Unfortunately, the zoning map boundaries do not conform with the Future Land Use Map. This is a main reason we are seeking the rezone.

2. Street address and legal description of the property

The Property includes these addresses:

1. 650 W 4100 S - Parcel # 15-36-351-056
2. 640 W 4100 S - Parcel # 15-36-351-057,
3. 4075 S 700 W – Parcel # 15-35-400-091,
4. 4066 S 700 W – Parcel # 15-35-400-090, and
5. 4058 S 700 W – Parcel # 15-35-400-058.

The legal description of the property to be rezoned is as follows:

A PARCEL OF LAND LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 36 AND THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, MILLCREEK CITY, SALT LAKE COUNTY, UTAH; SAID PARCEL OF LAND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT BEING NORTH 00°10'00" WEST 22.06 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 36; SAID SOUTHWEST CORNER OF SECTION 36 BEING SOUTH 89°57'26" WEST 1372.52 FEET FROM A WITNESS CORNER ALONG THE CENTERLINE OF 500 WEST STREET; SAID WITNESS CORNER ALONG THE CENTERLINE OF 500 WEST STREET BEING SOUTH 00°08'27" EAST 1754.44 FEET FROM A MONUMENT AT THE INTERSECTION OF 500 WEST AND 3900 SOUTH STREET; SAID MONUMENT AT THE INTERSECTION OF 500 WEST AND 3900 SOUTH STREET BEING SOUTH

Snell & Wilmer

Millcreek City Council

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89°54'15" EAST 1575.39 FEET FROM A MONUMENT AT THE INTERSECTION OF 700 WEST AND 3900 SOUTH STREET;
THENCE WEST 238.14 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 04°37'20" WEST 94.01 FEET; THENCE NORTH 00°34'48" EAST 95.91 FEET TO THE BEGINNING OF A 670 FOOT RADIUS CURVE TO THE RIGHT; THENCE ALONG SAID CURVE 210.08 FEET (CHORD: NORTH 09°33'45" EAST 209.22 FEET); THENCE NORTH 18°32'42" EAST 49.80 FEET TO THE BEGINNING OF A 130 FOOT RADIUS CURVE TO THE LEFT; THENCE ALONG SAID CURVE 30.22 FEET (CHORD: NORTH 08°19'01" EAST 30.15 FEET); THENCE NORTH 01°39'27" EAST 170.08 FEET; THENCE NORTH 87°29'30" EAST 11.39 FEET TO THE SOUTHWEST CORNER OF THE VALLEY WELL SUBDIVISION AS ENTRY NUMBER 11164021 IN BOOK 2011P AT PAGE 41 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING TWO (2) COURSES: 1) NORTH 87°29'30" EAST 458.39 FEET; 2) THENCE SOUTH 86°20'30" EAST 130.31 FEET TO THE WESTERLY LINE OF A CERTAIN SPECIAL WARRANTY DEED AS ENTRY NUMBER 14170397 IN BOOK 11454 AT PAGE 2168 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE SOUTH 00°02'30" EAST 508.60 FEET ALONG SAID WESTERLY LINE TO THE NORTHERLY LINE OF A CERTAIN WARRANTY DEED AS ENTRY NUMBER 13229103 IN BOOK 10917 AT PAGE 5867 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE WEST 414.23 FEET ALONG SAID NORTHERLY LINE TO THE WESTERLY LINE OF SAID WARRANTY DEED AS ENTRY NUMBER 13229103; THENCE SOUTH 00°02'30" EAST 2.35 FEET ALONG SAID WESTERLY LINE; THENCE SOUTH 89°57'30" WEST 0.70 FEET; THENCE SOUTH 00°02'30" EAST 1.32 FEET; THENCE NORTH 89°58'05" WEST 0.36 FEET; THENCE SOUTH 00°10'00" EAST 142.94 FEET TO THE POINT OF BEGINNING.

CONTAINS: 354,104.92 SQ. FT. OR 8.129 ACRES

3. Description of the use of the property.

Historically, the Property has been utilized for industrial uses, including:

- A "trucking and storage business" that consists of truck, trailer, heavy equipment, and automotive storage.
- Overnight rental and storage of truck, trailer, equipment, and automotive.
- Truck, trailer, tractor, equipment, and automotive sales and leasing, including tire sales, service, and repair.
- Outdoor storage of equipment and construction materials appurtenant to primary use.
- Metal warehousing and disposal.
- General warehousing and office use.

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- Fabrication manufacturing and as a laydown yard.
- Caretaker dwelling.
- Truck transfer company and terminal including dispatch.
- Truck, trailer, equipment, and automotive impound lot.
- Light manufacturing of parts and equipment for trucks, trailers, and automotive uses.
- Fuel distribution appurtenant to primary use.

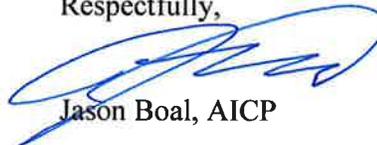
Currently, there are no plans to redevelop the property. Any use of the property will be consistent with the historic uses of the property. If the uses of the property were to change, the new use would need to be a permitted or conditional use in the M Zone.

4. A site plan drawn to scale (where applicable).

There are no proposed changes to the property associated with this rezone. Attached is a survey which identifies the current improvements of the site.

We look forward to the opportunity to have our application heard by you at a public hearing in conformance with Millcreek City Code § 21A.50.040.F.

Respectfully,



Jason Boal, AICP

CC 650 MILLCREEK PARTNERS, LLC
Craig Jenson, Snell & Wilmer

Attachments:

1. Land Use Application Form;
2. General Plan Questionnaire;
3. Property Owner Affidavit;
4. Neighborhood meeting notice and sign in sheet;
5. Site plans drawn to scale (where applicable); and
6. Required fees.

EXHIBIT A
Property Location

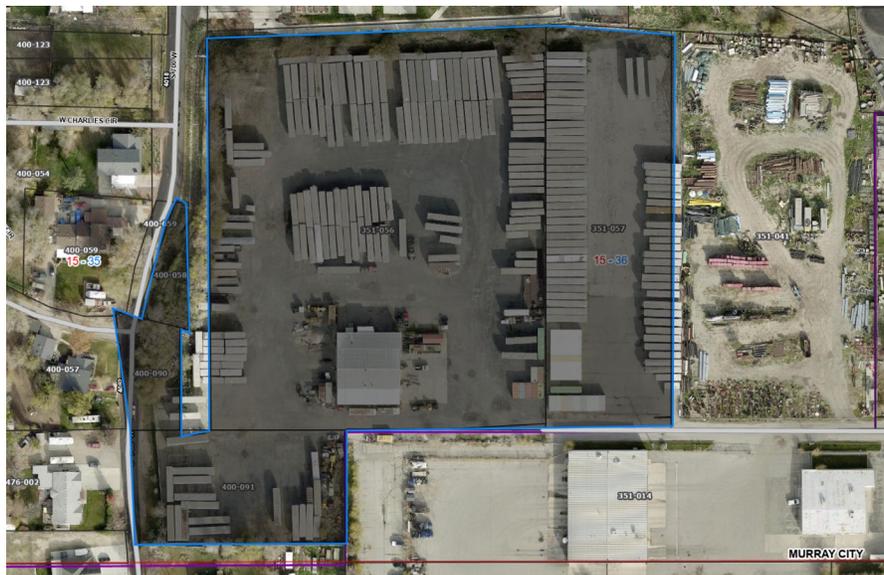
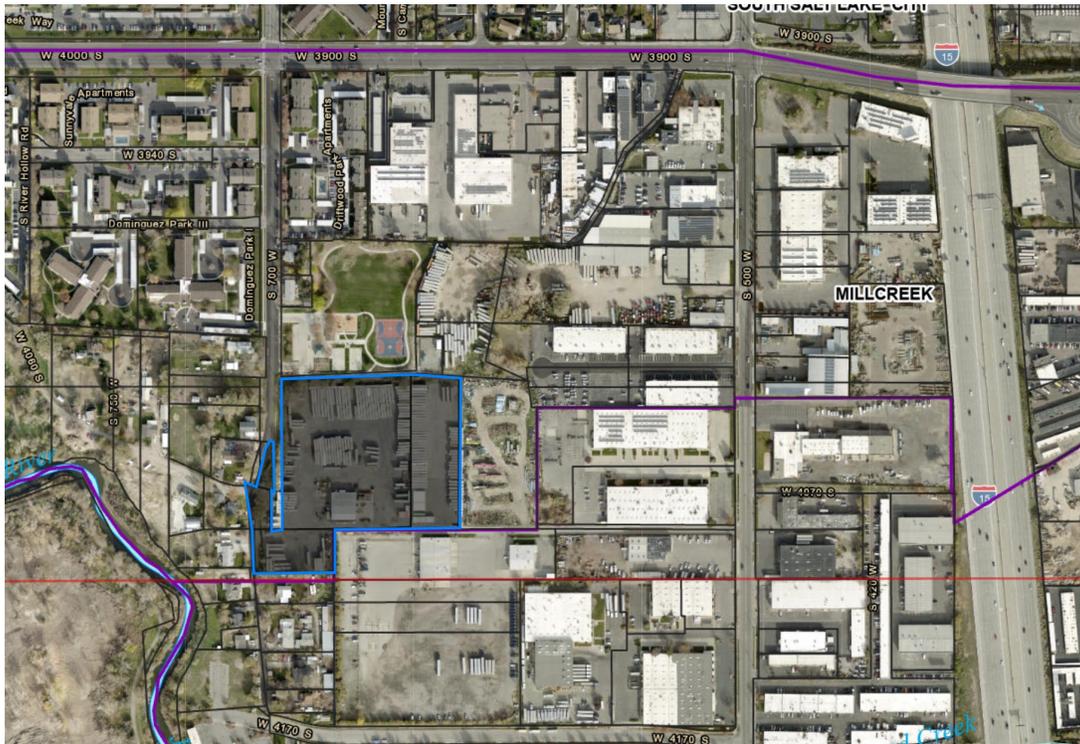


EXHIBIT B Current Zoning

650 W 4100 S, Millcreek – Rezone
Existing Zoning Map



EXHIBIT C
Proposed Zoning

650 W 4100 S, Millcreek – Rezone
Proposed Zoning Map

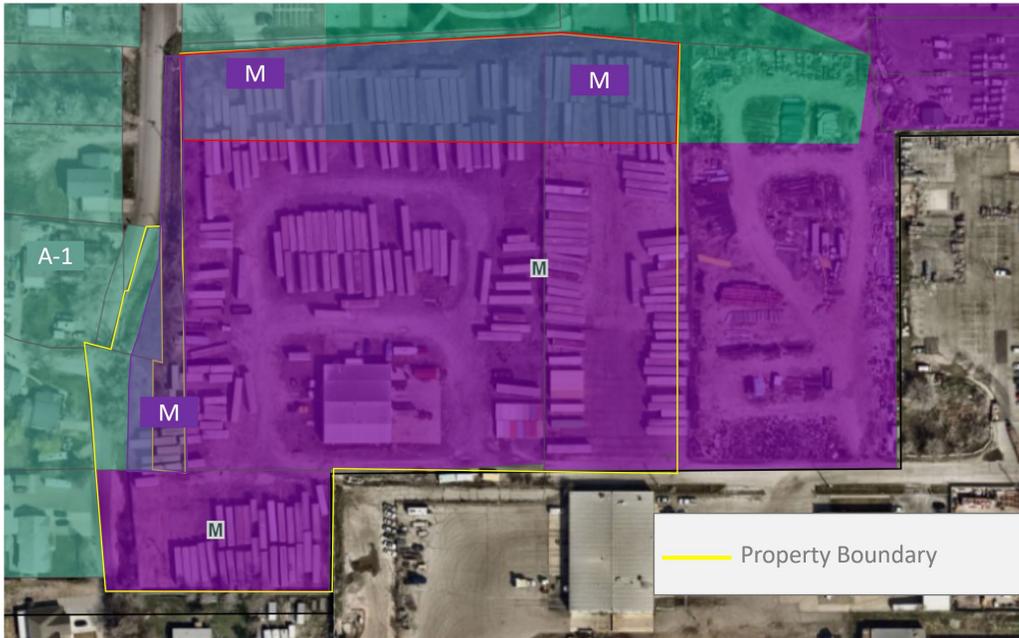
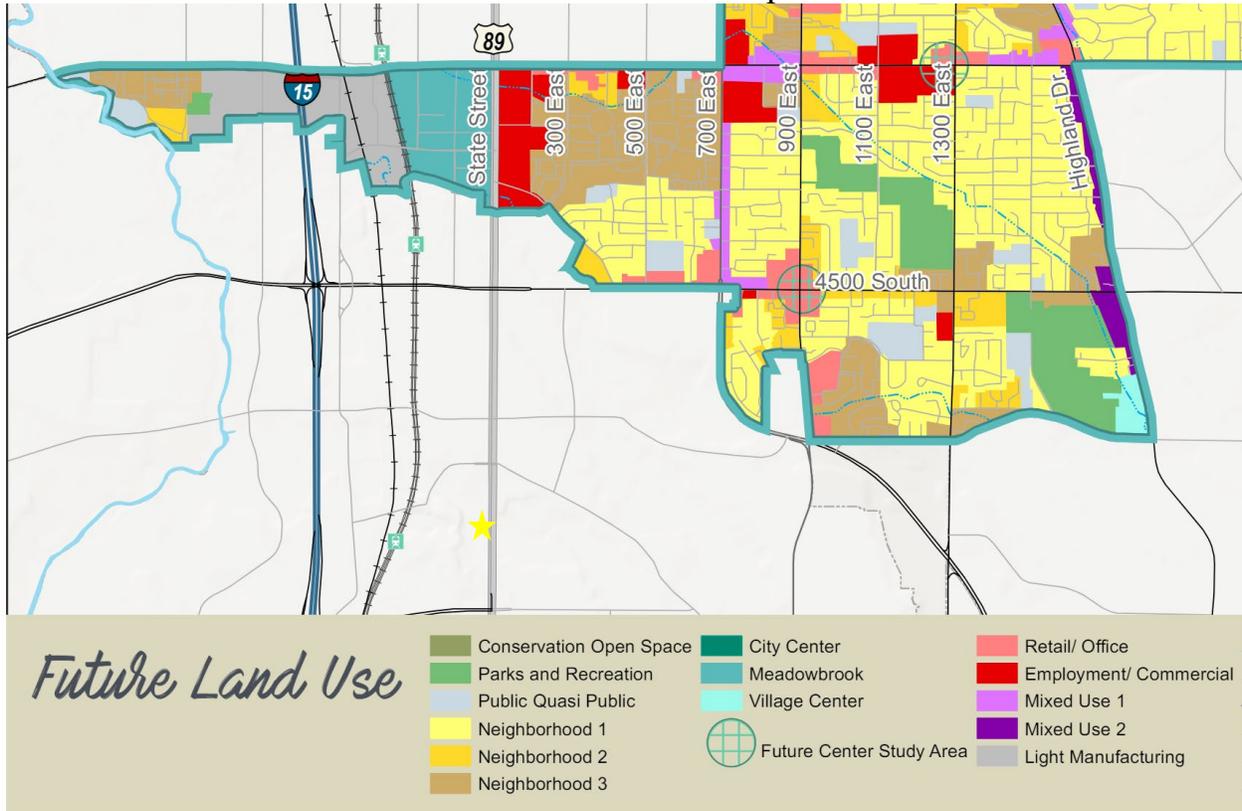


EXHIBIT D Future Land Use Map



Attachment 1
Land Use Application Form



Millcreek Planning & Zoning
 1330 E Chambers Ave
 Millcreek, Utah 84106
 (801) 214-2700

LAND USE AND DEVELOPMENT APPLICATION

OFFICE USE ONLY	File Number		Zone	
	Date Received		Community Council	

Property Address		Parcel No.	
Name of Project		Project Size in SF	

Please describe your request. Include Supplemental Application if Required. Add additional pages if necessary.

New Development

Modify Existing Development

Other

- Accessory Dwelling Unit
- Conditional Use
- Development Agreement
- PUD (# units _____)
- Rezone
- Sign
- Site Plan Review
- Subdivision (# lots ____)

- Lot Consolidation
- Lot Line Adjustment
- Subdivision Amendment

- Appeal of a Land Use Decision
- Exception Request: _____
- General Plan Amendment
- Nonconforming Use
- Noncomplying Structure
- RCOZ B Approval
- RCOZ C Special Exception
- Reasonable Accommodation
- Research Request
- Street Vacation
- Text Amendment
- Variance

PLANNING REVIEW PERIOD

Each application is subject to a planning review period. Upon payment of all applicable fees and submission of a complete land use application for an approval that requires a public meeting, planning staff will have a review period of fifteen business days to review the application for substantial compliance with all the requirements of applicable ordinances before scheduling the application for the first public meeting or hearing. If staff requires additional information, clarification or an updated application submittal as part of their review, the time to provide the additional information, clarification, or submittal will be in addition to the review period. Staff will schedule your application at the first available public meeting after the review period concludes.



Millcreek Planning & Zoning

1330 E Chambers Ave
Millcreek, Utah 84106
(801) 214-2700

APPLICANT'S NAME:

First _____ Last _____ Initial _____

Address _____ City _____ State _____ ZIP _____

Phone _____ Email _____

PROPERTY OWNER(S) – Note: A signed affidavit is required of all property owner(s).

First _____ Last _____ Initial _____

Address 2 TOWN PL STE 220 City Bryn Mawr State PA ZIP 19010

Phone _____ Email _____

PROFESSIONALS _____ Engineer _____ Architect _____ Other

Company _____ Contact _____

Address _____ City _____ State _____ ZIP _____

Phone _____ Email _____

Applicant hereby authorizes the city to reproduce this application and all documents attached to the application for staff, officials, and the interested public. Applicant further authorizes city staff to access the property for inspections and assessments as required as part of an application review.

Applicant's Signature: Jeff Pustizzi Date: 5/20/2024

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Attachment 2
General Plan Questionnaire



Millcreek Community Development
3330 South 1300 East
Millcreek, Utah 84106
Phone: (801) 214-2750

ESSENTIAL QUESTIONS FOR ZONING MAP AMENDMENTS, DEVELOPMENT AGREEMENTS, AND CITY INITIATIVES

The Millcreek Together general plan identifies essential questions at the end of each chapter of the plan. These questions will help the community councils, planning commission, and city council make findings as they make a decision regarding a zoning map amendment, development agreement, or city initiative.

Realizing that not all these questions will be applicable to every decision, these questions should be considered as a tool to focus on and provide implementation of each theme identified in the general plan.

Unique Neighborhoods

Does the project or initiative...

1. Support adopted and relevant small area and neighborhood plans?
2. Encourage additional investment or reinvestment in neighborhoods?
3. Positively contribute to a diversity of affordable housing choices?
4. Stay within the existing mass, scale, and height of the immediate neighborhood?

5. Create options for new gathering areas or centers where possible?
6. Support the redevelopment of blighted and/or underperforming properties?
7. Enhance the connection of neighborhoods to trails, parks, recreation, and open spaces?
8. Enhance cultural, historical, educational, and/or human service opportunities to support neighborhoods?

Thriving Economy

Does the project or initiative...

1. Advance the Goals and Policies of the Economic Development Plan?
2. Support the retention of existing Millcreek businesses?
3. Help attract new businesses in targeted business sectors?

4. Create or enhance a built environment with amenities that will help attract new, skilled talent to Millcreek?
5. Support the creation of new, high-paying and livable wage jobs?
6. Contribute to effective and efficient use of City resources?
7. Provide for balanced budgets and financial stability for the City over the long-term?
8. Promote renewable, sustainable, and environmentally healthy/friendly business practices and products?
9. Support or align with regional business attraction and retention efforts?
10. Have a positive impact on the educational competitiveness of Millcreek?
11. Result in construction and / or renovation that is compatible with the existing mass, scale, and height of the immediate neighborhood?

Vibrant Gathering Places

Does the project or initiative...

1. Support the overall focus of the Vibrant Gathering Places vision?
2. Support the continued development/redevelopment of the City Center, Meadowbrook Center, or Village Centers?
3. Result in additional infill, development, or redevelopment of appropriate types in appropriate locations?
4. Provide a range of opportunities for transportation access, interconnection of urban centers and enhanced demand and feasibility for multimodal transportation options?
5. Result in well designed, well integrated and compatible development?
6. Include, result in or support the creation of new or enhanced places for community interaction?
7. Enhance connections to and integrate with the City's green infrastructure networks including trails, parks, open space, adjacent communities and public lands?

8. Support or incorporate cultural, historical, educational, and/or human service opportunities?
9. Result in places that are inclusive, adaptable, sustainable and resilient?

Great Connections

Does the project or initiative...

1. Support the overall focus of the Great Connections theme?
2. Contribute positively to increased mobility throughout the City, and particularly related to east/west transportation needs?
3. Specifically contribute in any way to enhanced transit?
4. Contribute to enhanced non-motorized transportation systems, connections with them or their use?
5. Result in fiscally sustainable additions or other changes to the transportation network?

6. Have a positive impact on walkability?

7. Support the quality of the environment, including air quality, water quality, and dark skies.

Health and Environment

Does the project or initiative...

1. Support the overall focus on the Health and Environment theme?

2. Incorporate green building principles?

3. Enhance pedestrian connectivity in Millcreek?

4. Protect or expand Millcreek's urban tree canopy?

Outdoor Lifestyle

Does the project or initiative...

1. Support the overall focus on the Outdoor Lifestyle theme?
2. Positively contribute to the safety, security and well-being of residents, and those who use park or open space facilities?
3. Encourage additional investment or reinvestment in surrounding areas?
4. Contribute to the connectivity within and between neighborhoods, particularly for walkability, access to multimodal transportation alternatives, and contribution to the feasibility of alternative modes?
5. Enhance the connection to the outdoors, trails, parks, natural areas and green infrastructure?
6. Increase parks in needed areas of the City?
7. Increase the number of trails along the foothills, Mill Creek Canyon and Neff's Canyon?

Enriched Culture

Does the project or initiative...

1. Support the overall focus on our Enriched Culture theme?
2. Add value or help establish a cultural identity within the City?
3. Preserve or incorporate the historic assets of the City or promote this legacy?
4. Provide cultural services, opportunities or access to underserved populations or neighborhoods?
5. Incorporate public art in association with this action or decision?
6. Support the enhancement of centers of lifelong learning and innovation in the City?

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June 24, 2024
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Attachment 3
Property Owner Affidavit



Millcreek Planning & Zoning
 1330 E Chambers Ave
 Millcreek, Utah 84106
 (801) 214-2700
 millcreekut.gov

AFFIDAVIT – Property Owner

Pennsylvania
 STATE OF ~~UTAH~~ }

Philadelphia } ss
 COUNTY OF ~~SALT LAKE~~ }

I (we) 650 SALT LAKE PARTNERS, LLC being duly sworn, depose and say that

I (we) am (are) the owner(s) of the property(s) located at:

650 W 4100 S

My (our) signature below attests that I (we) have reviewed the proposal by Snell & Wilmer, LLP
 requesting review and approval of the rezone of the property to M-1

and that I (we) consent to the statements and information provided in the attached plans and exhibits
 and that all information presented is true and correct to the best of my (our) knowledge.

Property Owner 650 SALT LAKE PARTNERS, LLC

Property Owner J. Jeff Pusizzi

Subscribed and sworn to me this 24th day of June, 2024.

Commonwealth of Pennsylvania - Notary Seal
 CAITLIN A COTTRELL - Notary Public
 Philadelphia County
 My Commission Expires June 27, 2027
 Commission Number 1353720

Notary: Caitlin A Cottrell
 Residing in Salt Lake County, Utah
Philadelphia, Pennsylvania

Millcreek City Council
June 24, 2024
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Attachment 4
Neighborhood Meeting Notice & Sign in Sheet

Snell & Wilmer

15 WEST SOUTH TEMPLE
SUITE 1200
GATEWAY TOWER WEST
SALT LAKE CITY, UT 84101
801.257.1900 P
801.257.1800 F

Jason Boal
(801) 257-1917
jboal@swlaw.com

June 5, 2024

RE: *Neighborhood Meeting Notice for Proposed Rezone in your Neighborhood*

To whom it may concern,

You are invited to a neighborhood meeting to discuss a proposed rezone we are proposing near your property. The purpose of the meeting is to discuss the proposal answer any questions and listen to your feedback and suggestions.

Project Summary:

Alterra Property Group is submitting a request to Millcreek City to rezone a portion of the property located at 650 W 4100 S from Agriculture (A-1 and A-2) to Light Industrial (M-1). This proposal is to modify the zoning map so that this property has one zoning designation, as opposed to three. There is no proposed development or change in use of the property associated with this rezone.

Meeting Date: June 19, 2024

Meeting Time: 5:30 pm to 6:30 pm

Meeting Location: Sunnyvale Park Pavilion (4013 S 700 W, Millcreek, UT 84120) weather permitting.

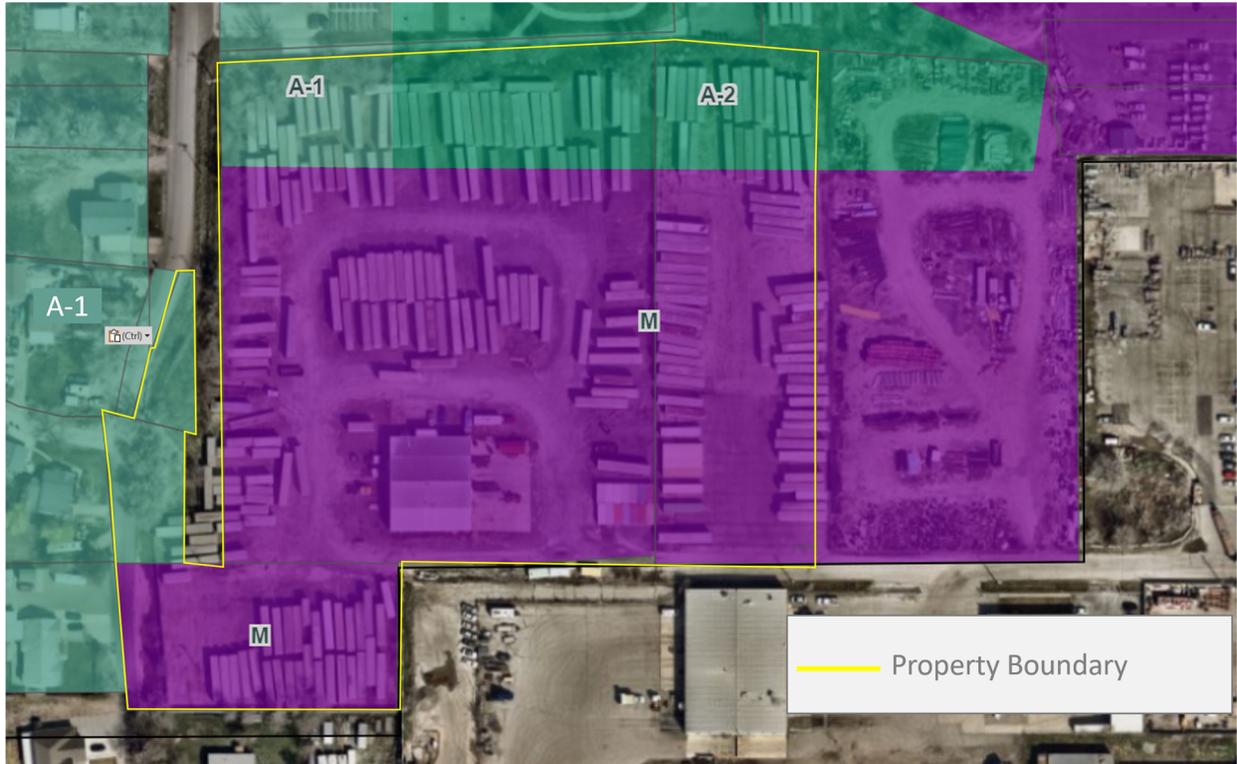
If weather is not suitable for the outside meeting, it will be held at 650 W 4100 S, Millcreek, UT 84120

If you would like to contact us ahead of the meeting, please feel free to reach out to Jason Boal at **801.257.1917** or **jboal@swlaw.com**. We look forward to hearing from you.

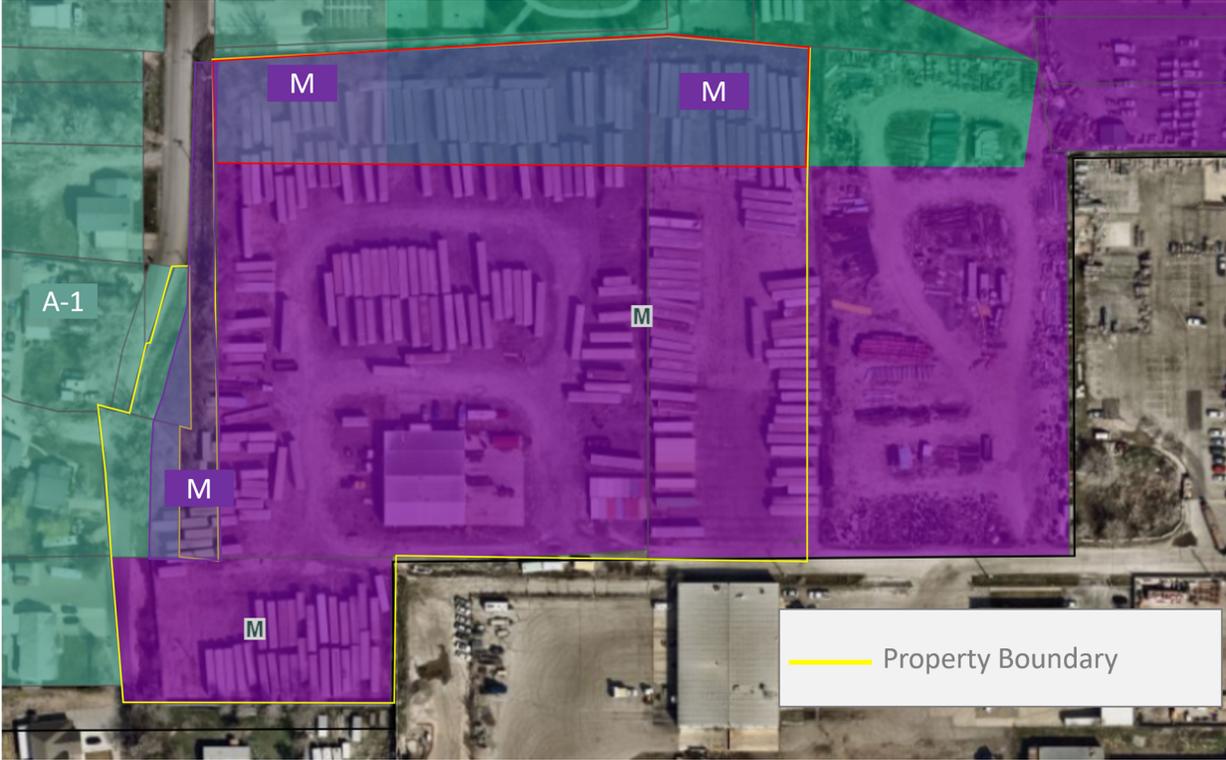
Thank you,

Jason Boal, AICP

Existing Zoning:



Proposed Zoning:



	Name	Address	Phone	Email
1	Brandi Southard	4088 S. 700 W.	435-512-9248	bsbunni@gmail.com
2	Seen Southard	4088 S. 700 W		
3	Angela Kirsling	750 W 4060 S	801-263-9413	angela.kirsling@gmail.com
4				
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Millcreek City Council
June 24, 2024
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Attachment 5
Site Plan/Site Survey

SCHEDULE BII EXCEPTIONS

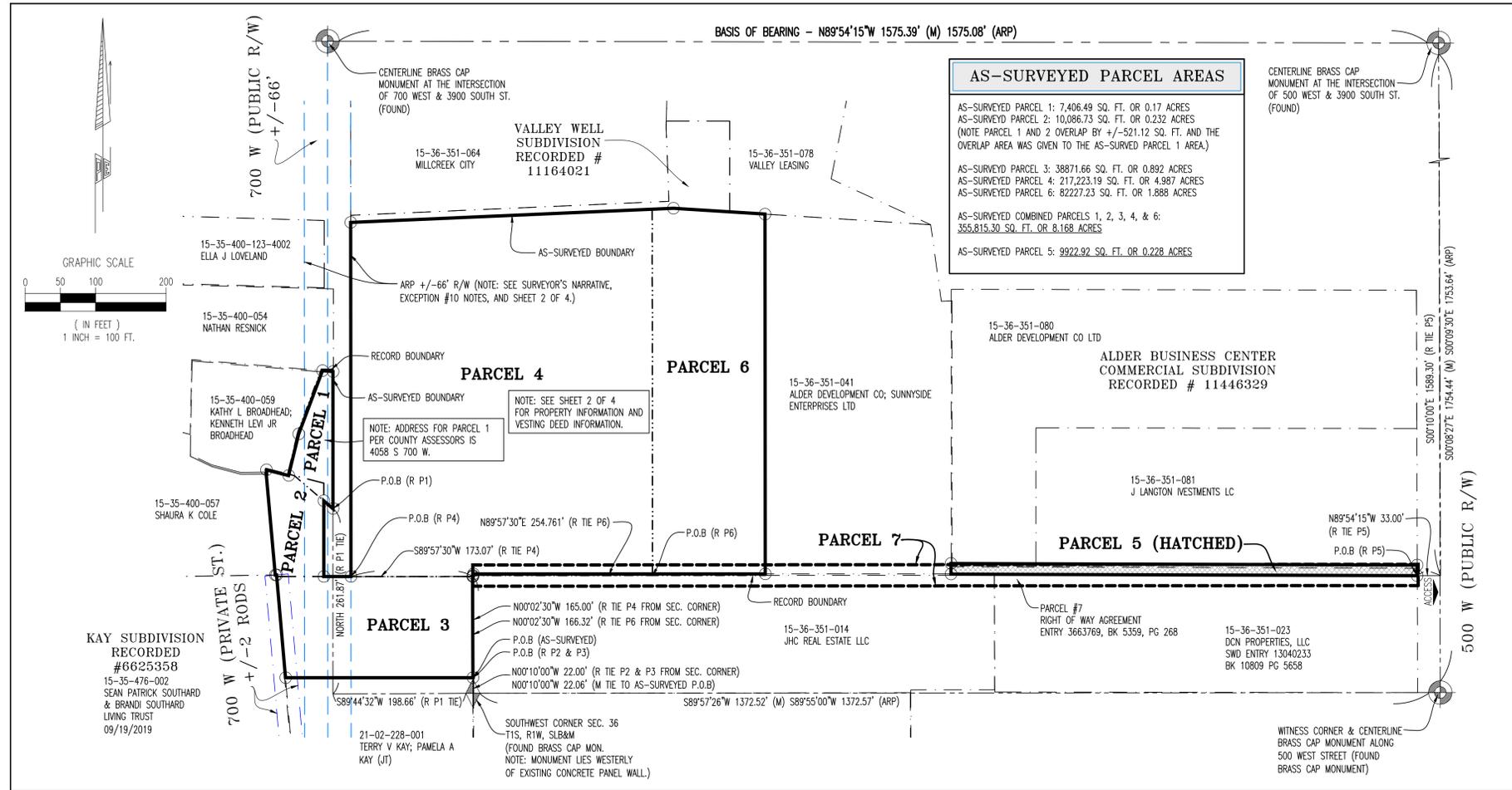
NOTE: EXCEPTIONS 1-11 ARE NOT SURVEY MATTERS & ARE NOT SHOWN HEREON.

- 10 (Affects Parcels 1, 2, 3, and 4)
Subject to 700 West Street.
[700 WEST STREET IS A +/-66' PUBLIC RIGHT OF WAY ACCORDING TO THE SALT LAKE COUNTY AREA REFERENCE PLAT. PHYSICAL EVIDENCE SHOWS THAT 700 WEST STREET WAS NOT CONSTRUCTED IN THE INTENDED +/-66' RIGHT OF WAY AREA. KAY SUBDIVISION - LOT 2 AMENDED, KAY SUBDIVISION, AND A CERTAIN WARRANTY DEED AS ENTRY 4877841 IN BOOK 6195 AT PAGE 1288 CALL OUT A SURVEY PREPARED BY RICHARD P. SORENSON THAT IDENTIFIES 700 WEST AS A +/-2 ROD PRIVATE STREET (INGRESS & EGRESS EASEMENT). SURVEYOR WAS UNABLE TO LOCATE SAID SURVEY BY RICHARD P. SORENSON AS SURVEY WAS NOT RECORDED WITH THE COUNTY AND SAID SURVEYOR HAS PASSED AWAY.]
- 11 Water Line Agreement in favor of Salt Lake County Recreation Board recorded January 15, 1954 as Entry No. 1357697 in Book 1059 at Page 551.
[ITEM CROSSES RECORD PARCELS 1 & 2, AS SHOWN HEREON.]
- 12 An easement over, across or through the land for sewer (interceptor line) pipeline facilities and incidental purposes, as granted to Central Valley Water Reclamation Facility, a regional entity by instrument recorded May 10, 1981 as Entry No. 3622120 in Book 5311 at Page 1152 of Official Records.
[A 20' REGIONAL INTERCEPTOR EASEMENT CROSSES PARCEL 4, AS SHOWN HEREON. A TEMPORARY 61.32' CONSTRUCTION AND 47' CONSTRUCTION EASEMENT ALSO CROSSES THE SUBJECT PROPERTY, AS SHOWN HEREON.]
- 13 An easement over, across or through the land for sewer (interceptor line) pipeline facilities and incidental purposes, as granted to Central Valley Water Reclamation Facility, a regional entity by instrument recorded May 10, 1981 as Entry No. 3622122 in Book 5311 at Page 1158 of Official Records.
[A 20' REGIONAL INTERCEPTOR EASEMENT CROSSES RECORD PARCELS 1 & 2, AS SHOWN HEREON. A TEMPORARY 40' WIDE CONSTRUCTION EASEMENT ALSO CROSSES THE SUBJECT PROPERTY, AS SHOWN HEREON.]
- 14 (Affects Parcels 5 and 6)
Right of Way Agreement creating a 30 foot right of way recorded April 6, 1982 as Entry 3663769 in Book 5359 at Page 268 of Official Records.
[ITEM IS ONE AND THE SAME AS EASEMENT PARCEL 7 AND IS SHOWN HEREON AS SUCH.]
- 15 (Affects Parcel 5)
An easement over, across or through the land for gas transmission and distribution facilities and incidental purposes, as granted to Mountain Fuel Supply Company, a corporation of the State of Utah, its successors and assigns by instrument recorded November 1, 1982 as Entry No. 3725345 in Book 5416 at Page 2574 of Official Records.
[30' GAS LINE EASEMENT CROSSES PARCELS 4, 5, & 6, AS SHOWN HEREON.]
- 16 Agreement recorded May 6, 1982 as Entry No. 4013146 in Book 5604 at Page 2356 of Official Records.
[A 15' SEWER AND FLOOD CONTROL EASEMENT CROSSES PARCEL 4, AS SHOWN HEREON.]
- 17 (Affects Parcel 6)
Subject to three (3) rights of way as disclosed by that certain Warranty Deed recorded November 8, 1984 as Entry No. 4014391 in Book 5605 at Page 1867 of Official Records.
[3 RIGHT OF WAY EASEMENTS CROSS THE SUBJECT PROPERTY, AS SHOWN HEREON. ONE OF SAID RIGHT OF WAY EASEMENTS IS ONE IN THE SAME AS PARCEL 7 AND IS SHOWN HEREON AS SUCH.]
- 18 An easement over, across or through the land for sewerage pipeline facilities and incidental purposes, as granted to Salt Lake County Cottonwood Sanitary District, a public corporation of Utah by instrument recorded November 1, 1989 as Entry No. 4842812 in Book 6172 at Page 1633 of Official Records.
[ITEM CROSSES PARCEL 4, AS SHOWN HEREON.]
- 19 An easement over, across or through the land for power lines facilities and incidental purposes as granted to Murray City Corporation, its successors and assigns by instrument recorded February 23, 1990 as Entry No. 4884715 in Book 6200 at Page 209 of Official Records.
[ITEM CROSSES PARCEL 5, AS SHOWN HEREON.]
- 20 An easement over, across or through the land for sewer (interceptor line) pipeline facilities and incidental purposes, as granted to Central Valley Water Reclamation Facility, a regional entity by instrument recorded August 1, 1995 as Entry No. 6131366 in Book 7197, at Page 668 of Official Records.
[ITEM IS ONE IN THE SAME AS EXCEPTION #13 AND IS SHOWN HEREON AS SUCH.]
- 21 A resolution proposing to create a special improvement district known as Unified Fire Service Area with power and authority to impose assessments for improvements, provisions, restrictions, and/or requirements as disclosed by document recorded September 23, 2020 as Entry No. 13402840 in Book 11024 at Page 6363 of Official Records.
[ITEM BLANKETS THE SUBJECT PROPERTY IN NATURE, NOT SHOWN HEREON.]
- 22 Easements and rights of way which are not shown in public records.
[A 2 ROD PRIVATE STREET IS CALLED OUT BY DEED, ENTRY #4877841, BOOK #6195, PAGE #1288. ALSO, A 15' WATERLINE EASEMENT IS CALLED OUT BY EASEMENT DOCUMENT ENTRY #1357699, BOOK #1059, PAGE #555.]

ALTA/NSPS LAND TITLE SURVEY

LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 36 & SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, MILLCREEK CITY, SALT LAKE COUNTY, UTAH

BASIS OF BEARING & P.O.B TIE DETAILS



AS-SURVEYED PARCEL AREAS

AS-SURVEYED PARCEL 1: 7,406.49 SQ. FT. OR 0.17 ACRES
AS-SURVEYED PARCEL 2: 10,086.73 SQ. FT. OR 0.232 ACRES
(NOTE: PARCEL 1 AND 2 OVERLAP BY +/-521.12 SQ. FT. AND THE OVERLAP AREA WAS GIVEN TO THE AS-SURVED PARCEL 1 AREA.)

AS-SURVEYED PARCEL 3: 38871.66 SQ. FT. OR 0.892 ACRES
AS-SURVEYED PARCEL 4: 217,223.19 SQ. FT. OR 4.987 ACRES
AS-SURVEYED PARCEL 6: 82227.23 SQ. FT. OR 1.888 ACRES

AS-SURVEYED COMBINED PARCELS 1, 2, 3, 4, & 6:
355,815.30 SQ. FT. OR 8.168 ACRES

AS-SURVEYED PARCEL 5: 9922.92 SQ. FT. OR 0.228 ACRES

MISCELLANEOUS NOTES

- MN1 ADDRESS AS OBSERVED: 4058, 4066, 4075 S 700 W; 4082 S 500 W; 640, 650 W 4100 S, SALT LAKE CITY, UT.
- MN2 AT THE TIME OF SURVEY, THERE WAS NO OBSERVED EVIDENCE OF NEW CONSTRUCTION OR ROAD WIDENING.
- MN3 AT THE TIME OF SURVEY, THERE WAS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- MN4 AT THE TIME OF SURVEY, SURVEYOR DID NOT FIND EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- MN5 AT THE TIME OF SURVEY, THERE WAS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- MN6 AT THE TIME OF SURVEY, THERE WAS NO EVIDENCE OF CEMETERIES, GRAVE SITES, AND/OR BURIAL GROUNDS LOCATED ON THE SURVEYED PROPERTY.
- MN7 SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAYS.
- MN8 THE SUBJECT PROPERTY HAS INDIRECT PUBLIC ACCESS TO 500 WEST STREET (PUBLIC RIGHT OF WAY) VIA PARCEL 7 (PRIVATE RIGHT OF WAY).
- MN9 PARCEL 1 AND 2 DEED DESCRIPTIONS OVERLAP. PARCEL 1 HAS A CLOSURE ERROR OF +/-0.27'. PARCEL 3 HAS A CLOSURE ERROR OF +/-2.14'. OTHER DEED OVERLAPS AND GAPS WITH ADJOINING PARCELS ARE CALLED OUT IN THE SIGNIFICANT OBSERVATIONS.
- MN10 PARCEL 7, ENTRY NUMBER 3663769 IN BOOK 5359 AT PAGE 268, IS AN OFFSITE RIGHT OF WAY AGREEMENT/EASEMENT THAT BENEFITS THE SUBJECT PROPERTY. ALSO, EXCEPTION #17, +/-30' RIGHT OF WAY EASEMENT AS ENTRY NUMBER 4014391 IN BOOK 5605 AT PAGE 1867, IS AN OFFSITE EASEMENT THAT BENEFITS THE SUBJECT PROPERTY.
- MN11 PER INFORMATION PROVIDED BY CLIENT, ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENT OF RECORD.
- MN12 THIS SURVEY WAS MADE IN ACCORDANCE WITH THE LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF UTAH.
- MN13 SEE ZONING INFORMATION FOR EXISTING PARKING INFORMATION.
- MN14 SURVEYOR WAS NOT PROVIDED WITH UTILITY PRINTS BY CLIENT PURSUANT TO TABLE A ITEM 11(A).

FLOOD NOTE

BY GRAPHICAL PLOTTING ONLY, THIS PROPERTY IS PARTIALLY LOCATED WITHIN ZONE X, ZONE AH, AND OTHER AREAS OF FLOOD HAZARD OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 4903500291G, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 25, 2009 AND IS PARTIALLY LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONE X: NON SPECIAL FLOOD HAZARD AREA
ZONE AH: SPECIAL FLOOD HAZARD AREA
OTHER AREAS OF FLOOD HAZARD: 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.

ZONING INFORMATION

PREPARED BY: PZR
DATED: 3/4/2024
PZR SITE NUMBER: 170654-1

CURRENT ZONING DESIGNATION: MILLCREEK: "M" LIGHT MANUFACTURING, "A-1" AGRICULTURAL AND "A-2" AGRICULTURE DISTRICTS. MURRAY CITY: "M-C" MANUFACTURING GENERAL DISTRICT

ADJACENT ZONING DESIGNATIONS: NORTH: "A-1" and "A-2"; SOUTH: "A-1" and "M-C"; EAST: "M-C"; AND WEST: "A-1"

BUILDING SET-BACK LINES:
FRONT: 20 FEET
INTERIOR SIDE/REAR: 20 FEET ADJACENT TO RESIDENTIAL ZONING; OTHERWISE 10 FEET
EXISTING 4100 S: 32.5 FEET
EXISTING: 163 FEET MINIMUM
MIN BUILDING HEIGHT: 1 STORY; MAX BUILDING HEIGHT: 100 FEET AND 35 FEET

PARKING SPACE FORMULA: MANUFACTURING AND INDUSTRIAL USE: 1 SPACE PER 3 EMPLOYEES, PLUS 1 SPACE PER COMPANY VEHICLE. TOTAL REQUIRED = 12 SPACES.
NOTE: AT THE TIME OF SURVEY THERE WERE NO OBSERVED STRIPED PARKING STALLS.

SURVEYOR'S NARRATIVE

THIS SURVEY WAS REQUESTED BY NVS FOR THE PURPOSE OF ESTABLISHING THE BOUNDARY AND PHYSICAL IMPROVEMENTS OF THE PROPERTY LOCATED AT 4058, 4066, 4075 S 700 W; 4082 S 500 W; 640, 650 W 4100 S, SALT LAKE CITY, UT.

THE BASIS OF BEARING IS N89°54'15"W FROM A CENTERLINE BRASS CAP MONUMENT AT THE INTERSECTION OF 500 WEST STREET AND 3900 SOUTH STREET TO A BRASS CAP MONUMENT AT THE INTERSECTION OF 700 WEST STREET AND 3900 SOUTH STREET.

THE SUBJECT PROPERTY VESTING DEEDS CREATE MULTIPLE GAPS AND OVERLAPS WITH ADJOINING PROPERTY OWNERS. AN AS-SURVEYED DESCRIPTION OF PARCELS 1, 2, 3, 4, & 6 HAS BEEN PROVIDED ELIMINATING THE OVERLAPS WITH ADJOINING PROPERTY OWNERS.

THE KAY SUBDIVISION PLAT CALLS OUT TO A 2 ROD PRIVATE STREET WHICH ENDS JUST NORTHERLY OF SAID SUBDIVISION. THE SALT LAKE COUNTY AREA REFERENCE PLATS CALL OUT A +/-66' RIGHT OF WAY FOR 700 WEST STREET. PORTIONS OF THE STREET HAVE NOT BEEN DEDICATED NOR HAVE AN INGRESS/EGRESS EASEMENT PROVIDED.

SEE NOTE FOR EXCEPTION #10 AND SHEET 2 OF 4 FOR AS-SURVEYED DESCRIPTION.

LEGAL

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED HEREON SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

UTILITY NOTE

SEE SHEET 2 OF 4 FOR UTILITY PROVIDER INFORMATION.

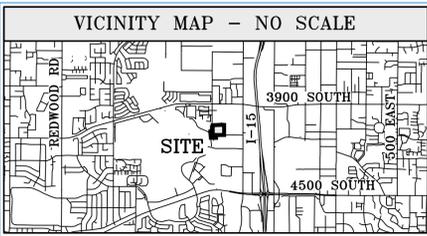
LEGEND OF SYMBOLS & ABBREVIATIONS

TEST STATION	WATER VALVE	SIGHT LIGHT
POWER POLE	FIRE HYDRANT	STORM MANHOLE
COMM./ELEC. MANHOLE	WATER MANHOLE	STORM INLET
ELECTRIC METER / BOX	GAS METER	CURB STORM INLET
CABLE BOX	ACCESS TO PUBLIC RIGHT OF WAY	SANITARY SEWER
WATER METER	MONUMENT	GAS MANHOLE
INDICATES HANDICAPPED PARKING	P.O.B - POINT OF BEGINNING	CORNER NOT SET
SCHEDULE B EXCEPTION	R - RECORD	
SECTION CORNER	M - MEASURED	
	P1 - PARCEL 1	
	P2 - PARCEL 2	
	P3 - PARCEL 3	
	P4 - PARCEL 4	
	P5 - PARCEL 5	
	P6 - PARCEL 6	
	P7 - PARCEL 7	
	L&E - LESS & EXCEPTING	
	SWD - SPECIAL WARRANTY DEED	
	WD - WARRANTY DEED	
	QCD - QUIT-CLAIM DEED	
	AS SURVEYED METES AND BOUNDS	
	(N49°36'00"W 17.18')	
	(N49°36'00"W 17.18') - RECORD METES AND BOUNDS	

LINE TABLE

AS-SURVEYED BOUNDARY	BUILDING
RECORD BOUNDARY	OVERHEAD POWER
ADJACENT BOUNDARY	EXCEPTION
PARCEL 7	15
CURB & GUTTER	FENCE LINE
PARKING STRIPES	WALL
EDGE OF ASPHALT	DRAINAGE DITCH
CULINARY WATER	ARP R/W WIDTH
SS	RIGHT OF WAY
GAS	STORM DRAIN
IRR	TELECOMMUNICATIONS
E	FIBER OPTICS

PETERSON ENGINEERING P.C.
7107 SOUTH 400 WEST, STE #1
MIDVALE, UT 84047
Phone: 801-255-3503
JOB #: A-24-007



RECORD DESCRIPTION

The land referred to in this commitment is located in Salt Lake County, Utah and is described as:

PARCEL 1: 058 [P1]
Beginning at a point South 89°44'32" West 198.66 feet and North 261.87 feet from the Southeast corner of Section 35, Township 1 South, Range 1 West, Salt Lake Base and Meridian, and running thence North 49°36' West 71.52 feet; thence North 72°04' West 7.65 feet; thence North 80°43' West 2.50 feet to the Easterly edge of an existing asphalt road; thence along said Easterly edge North 13°34'16" East 61.30 feet and North 20°39'14" East 94.50 feet; thence South 89°03' East 16.56 feet; thence South 196.59 feet to the point of beginning.

PARCEL 2: 090 [P2]
Beginning at a point which is 22.0 feet North 0°10'00" West from the Southeast corner of Section 35, Township 1 South, Range 1 West, Salt Lake Base and Meridian, and running thence North 0°10'00" West 143.0 feet; thence West 211.20 feet; thence North 133.20 feet; thence North 75°45'00" West 85.0 feet; thence South 51°04'44" East 297.08 feet; thence East 268.32 feet; more or less, to the point of beginning.

Less and Excepting therefrom the following: [L&E P2]
Beginning at a point that is North 0°10' West 22.0 feet from the Southeast corner of Section 35, Township 1 South, Range 1 West, Salt Lake Base and Meridian, and running thence North 0°10' West 143.0 feet; thence West 278.72 feet; thence South 51°04'44" East 143.53 feet; thence East 268.32 feet to the point of beginning.

PARCEL 3: 091 [P3]
Beginning at a point that is North 0°10' West 22.0 feet from the Southeast corner of Section 35, Township 1 South, Range 1 West, Salt Lake Base and Meridian, and running thence North 0°10' West 143.0 feet; thence West 278.72 feet; thence South 51°04'44" East 143.53 feet; thence East 268.32 feet to the point of beginning.

PARCEL 4: 056 [P4]
Beginning at a point on the East right of way line of 700 West Street, said point being North 0°02'30" West along the section line 165.00 feet and South 89°57'30" West 173.07 feet from the Southwest corner of Section 36, Township 1 South, Range 1 West, Salt Lake Base and Meridian, and running thence North 0°02'30" West along said East right of way line 500.65 feet; thence North 87°29'30" East 428.228 feet; thence South 0°02'30" East 517.761 feet; thence South 89°57'30" West 254.761 feet to the West line of said Section 36; thence South 0°02'30" East along said line 1.32 feet; thence South 89°57'30" West 173.07 feet to the point of beginning.

Subject to a right of way over the South 16.32 feet of the West 173.07 feet thereof.

Together with a non-exclusive right of way as created by that certain Right of Way Agreement recorded April 6, 1982 as Entry No. 3663769 in Book 5359 at Page 268 of Public Records.

PARCEL 5: 043 [P5]
Beginning at a point on the West line of 500 West Street, said point being located South 0°10' East 1589.3 feet and North 89°54'15" West 33 feet from a Salt Lake County Monument located at the intersection of 500 West Street and 3900 South Street, and running thence North 0°10' West 15 feet; thence North 89°48'20" West 661.51 feet; thence South 15 feet; thence South 89°48'20" East 661.19 feet to the point of beginning.

Said point of beginning also being South 0°10' East 407.88 feet from the Northeast corner of Lot 12, Block 12, Ten Ace Plat "A", BFS.

PARCEL 6: 057 [P6]
Beginning North 0°02'30" West 166.32 feet and North 89°57'30" East 254.761 feet from the Southwest corner of Section 36, Township 1 South, Range 1 West, Salt Lake Base and Meridian, and running thence North 0°02'20" West 517.761 feet; thence North 87°29'30" East 30.152 feet; thence South 86°20'30" East 130.315 feet; thence South 0°02'30" East 510.64 feet; thence South 89°57'30" West 160.169 feet to the point of beginning.

PARCEL 7: [P7]
Together with the appurtenant rights appurtenant to Parcel 6 above, as granted by that certain Right of Way Agreement recorded April 6, 1982 as Entry No. 3663769 in Book 5359 at Page 268 of Official Records.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS DESCRIBED IN THE TITLE COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER 22-5008 AB, BEARING AN EFFECTIVE DATE OF FEBRUARY 27, 2024 AT 7:30 AM.

ALTA/NSPS LAND TITLE SURVEY

ALTERRA - SLC
NV5 PROJECT NO. 202304767, 001
4058, 4066, 4075 S 700 W; 4082 S 500 W; 640, 650 W 4100 S, SALT LAKE CITY, UT

BASED UPON TITLE COMMITMENT NO. 22-5008 AB
PREPARED BY CHICAGO TITLE INSURANCE COMPANY
BEARING AN EFFECTIVE DATE OF FEBRUARY 27, 2024 AT 7:30 AM

SURVEYOR'S CERTIFICATION
TO: CHICAGO TITLE INSURANCE COMPANY; NATIONAL TITLE AGENCY OF UTAH, INC.; 650 SALT LAKE PARTNERS, LLC, A DELAWARE LIMITED LIABILITY COMPANY; ALTERRA IOS ACQUISITIONS III, LLC; NATIONAL TITLE AGENCY OF UTAH AND CHICAGO TITLE INSURANCE COMPANY; AND BOCK & CLARK, AN NVS CORPORATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEY, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6A, 6B, 7A, 7B1, 7C, 8, 9, 10, 11A, 11B, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON:
FEBRUARY 8, 2024

MARCH 14, 2024

DAVID D. PETERSON
REGISTRATION NO. 295720
IN THE STATE OF UTAH
DATE OF SURVEY: FEBRUARY 19, 2024
LAST REVISION: MARCH 14, 2024
NV5 NETWORK REFERENCE NO. 202304767-001-RLS



Bock & Clark Corporation
an NV5 Company

NV5

Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com mayhelpyou@bockandclark.com www.NV5.com

SURVEY ZONING ENVIRONMENTAL ASSESSMENT

ALTA/NSPS LAND TITLE SURVEY

LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 36 & SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, MILLCREEK CITY, SALT LAKE COUNTY, UTAH

AS-SURVEYED DESCRIPTION PARCELS 1, 2, 3, 4, & 6

A PARCEL OF LAND LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 36 AND THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, MILLCREEK CITY, SALT LAKE COUNTY, UTAH; SAID PARCEL OF LAND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT BEING NORTH 00°10'00" WEST 22.06 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 36; SAID SOUTHWEST CORNER OF SECTION 36 BEING SOUTH 89°57'26" WEST 1372.52 FEET FROM A WITNESS CORNER ALONG THE CENTERLINE OF 500 WEST STREET; SAID WITNESS CORNER ALONG THE CENTERLINE OF 500 WEST STREET BEING SOUTH 00°08'27" EAST 1754.44 FEET FROM A MONUMENT AT THE INTERSECTION OF 500 WEST AND 3900 SOUTH STREET; SAID MONUMENT AT THE INTERSECTION OF 500 WEST AND 3900 SOUTH STREET BEING SOUTH 89°54'15" EAST 1575.39 FEET FROM A MONUMENT AT THE INTERSECTION OF 700 WEST AND 3900 SOUTH STREET;

THENCE WEST 265.91 FEET FROM THE POINT OF BEGINNING ALONG THE NORTHERLY LINE OF A CERTAIN WARRANTY DEED AS ENTRY 11652835 IN BOOK 10144 AT PAGE 973 AT THE SALT LAKE COUNTY RECORDERS OFFICE TO THE EASTERLY LINE OF THE KAY SUBDIVISION AS ENTRY NUMBER 6625358 IN BOOK 97-4P AT PAGE 122 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE NORTH 04°58'54" WEST 145.72 FEET ALONG SAID EASTERLY LINE OF SAID KAY SUBDIVISION TO THE NORTHEAST CORNER OF SAID SUBDIVISION; THENCE SOUTH 89°07'07" WEST 1.77 FEET ALONG THE NORTHERLY LINE OF SAID KAY SUBDIVISION; THENCE NORTH 05°10'44" WEST 143.46 FEET TO THE SOUTHERLY LINE OF A CERTAIN QUIT CLAIM DEED AS ENTRY NUMBER 12661389 IN BOOK 10620 AT PAGE 7556 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING THREE (3) COURSES: 1) NORTH 89°13'00" EAST 0.71 FEET; 2) NORTH 05°10'44" WEST 5.73 FEET; 3) THENCE SOUTH 75°45'00" EAST 32.50 FEET TO THE EASTERLY LINE OF SAID QUIT CLAIM DEED AS ENTRY NUMBER 12661389; THENCE ALONG SAID EASTERLY LINE THE FOLLOWING TWO (2) COURSES: 1) NORTH 13°43'16" EAST 60.36 FEET TO A POINT ON THE EASTERLY EDGE OF AN EXISTING ASPHALT ROAD; 2) THENCE NORTH 20°39'14" EAST 95.75 FEET TO THE SOUTHERLY LINE OF A CERTAIN WARRANTY DEED AS ENTRY NUMBER 13811273 IN BOOK 11261 AT PAGE 5059 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE SOUTH 85°10'30" EAST 15.03 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 193.84 FEET; THENCE NORTH 49°36'00" WEST 17.18 FEET; THENCE SOUTH 107.06 FEET; THENCE EAST 38.49 FEET; THENCE NORTH 00°02'30" WEST 500.53 FEET TO THE SOUTHERLY LINE OF THE VALLEY WELL SUBDIVISION AS ENTRY NUMBER 11164021 IN BOOK 2011P AT PAGE 41 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING TWO (2) COURSES: 1) NORTH 87°29'30" EAST 458.39 FEET; 2) THENCE SOUTH 88°20'30" EAST 130.31 FEET TO THE WESTERLY LINE OF A CERTAIN SPECIAL WARRANTY DEED AS ENTRY NUMBER 14170397 IN BOOK 11454 AT PAGE 2168 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE SOUTH 00°02'30" EAST 508.60 FEET ALONG SAID WESTERLY LINE TO THE NORTHERLY LINE OF A CERTAIN WARRANTY DEED AS ENTRY NUMBER 13229103 IN BOOK 10917 AT PAGE 5867 AT THE SALT LAKE COUNTY RECORDERS OFFICE; THENCE WEST 414.23 FEET ALONG SAID NORTHERLY LINE TO THE WESTERLY LINE OF SAID WARRANTY DEED AS ENTRY NUMBER 13229103; THENCE SOUTH 00°02'30" EAST 2.35 FEET ALONG SAID WESTERLY LINE; THENCE SOUTH 89°57'30" WEST 0.70 FEET; THENCE SOUTH 00°02'30" EAST 1.32 FEET; THENCE NORTH 89°58'05" WEST 0.36 FEET; THENCE SOUTH 00°10'00" EAST 142.94 FEET TO THE POINT OF BEGINNING.

AS-SURVEYED PARCELS 1, 2, 3, 4, & 6 CONTAIN:
355,815.30 SQ. FT. OR 8.168 ACRES

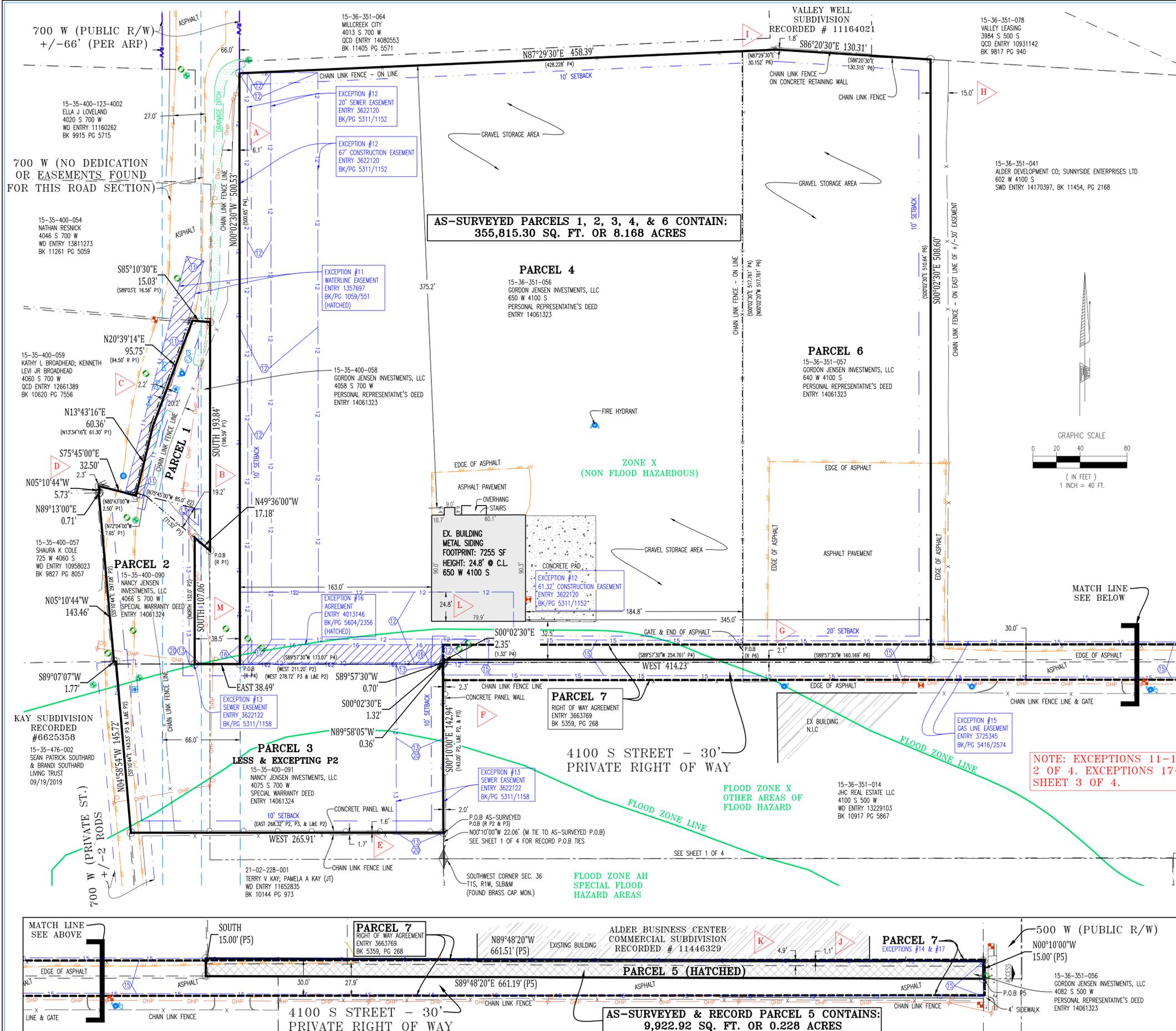
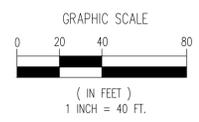
PARCEL 4
15-36-351-056
GORDON JENSEN INVESTMENTS, LLC
650 W 4100 S
PERSONAL REPRESENTATIVE'S DEED
ENTRY 14061323

PARCEL 6
15-36-351-057
GORDON JENSEN INVESTMENTS, LLC
640 W 4100 S
PERSONAL REPRESENTATIVE'S DEED
ENTRY 14061323

SIGNIFICANT OBSERVATIONS

- A** EXISTING CHAIN LINK FENCE LINE EXTENDS WESTERLY +/-6.1 FEET BEYOND THE WESTERLY BOUNDARY LINE OF THE SUBJECT PROPERTY, AS SHOWN HEREON.
- B** PARCEL 1 & 2 OVERLAP BY +/- 19.2', AS SHOWN HEREON.
- C** RECORD PARCEL 1 OVERLAPS WITH PARCEL 15-35-400-059 BY +/-2.2', AS SHOWN HEREON. AS SURVEYED DESCRIPTION RUNS ALONG SAID PARCEL 15-35-400-059 BOUNDARY.
- D** RECORD PARCEL 2 OVERLAPS WITH PARCEL 15-35-400-059 BY +/-2.3', AS SHOWN HEREON. AS SURVEYED DESCRIPTION RUNS ALONG SAID PARCEL 15-35-400-059 BOUNDARY.
- E** EXISTING CHAIN LINK FENCE LINE EXTENDS SOUTHERLY +/-1.7' BEYOND THE SOUTHERLY BOUNDARY LINE OF THE SUBJECT PROPERTY. OWNERSHIP OF SAID FENCE LINE IS UNKNOWN.
- F** EXISTING CONCRETE PANEL WALL EXTENDS +/-2.3' EASTERLY BEYOND THE SUBJECT PROPERTY EASTERLY BOUNDARY LINE, AS SHOWN HEREON. OWNERSHIP OF SAID CONCRETE PANEL WALL IS UNKNOWN.
- G** THE SUBJECT PROPERTY RECORD DESCRIPTION OVERLAPS WITH PARCEL 15-36-351-0140 BY +/- 2.1', AS SHOWN HEREON.
- H** EXISTING CHAIN LINK FENCE LINE EXTENDS EASTERLY +/-15.0' BEYOND THE EASTERLY BOUNDARY LINE OF THE SUBJECT PROPERTY, AS SHOWN HEREON. SAID FENCE LINE RUNS ALONG THE EASTERLY LINE OF A +/-30' RIGHT OF WAY EASEMENT. OWNERSHIP OF SAID FENCE LINE IS UNKNOWN.
- I** EXISTING CHAIN LINK FENCE LINE AND CONCRETE RETAINING WALL EXTENDS NORTHERLY +/-1.8' BEYOND THE NORTHERLY BOUNDARY LINE OF THE SUBJECT PROPERTY, AS SHOWN HEREON. OWNERSHIP OF SAID FENCE LINE IS UNKNOWN.
- J** EXISTING BUILDING EXTENDS +/-1.1' SOUTHERLY BEYOND THE NORTHERLY BOUNDARY LINE OF PARCEL 5, AS SHOWN HEREON.
- K** ALDER BUSINESS CENTER COMMERCIAL SUBDIVISION AS ENTRY NUMBER 11446329 OVERLAPS WITH PARCEL #5 +/-4.9', AS SHOWN HEREON.
- L** EXCEPTION #12 CROSSES THROUGH AN EXISTING BUILDING ON THE SUBJECT PROPERTY +/-24.8 FEET, AS SHOWN HEREON.
- M** DEED GAP OF +/-38.5 FEET BETWEEN RECORD PARCEL 1 AND RECORD PARCEL 4. OWNERSHIP OF AREA BETWEEN SAID PARCELS IS UNKNOWN.

NOTE: EXCEPTIONS 11-16 ARE SHOWN ON SHEET 2 OF 4. EXCEPTIONS 17-22 ARE SHOWN ON SHEET 3 OF 4.



PARCEL 3
LESS & EXCEPTING P2
15-35-476-002
SEAN PATRICK SOUTHARD & BRANDI SOUTHARD LIVING TRUST
09/19/2019

PARCEL 7
RIGHT OF WAY AGREEMENT
ENTRY 3663769
BK 5359, PG 268

4100 S STREET - 30'
PRIVATE RIGHT OF WAY

FLOOD ZONE X
OTHER AREAS OF FLOOD HAZARD

FLOOD ZONE AH
SPECIAL FLOOD HAZARD AREAS

AS-SURVEYED & RECORD PARCEL 5 CONTAINS:
9,922.92 SQ. FT. OR 0.228 ACRES

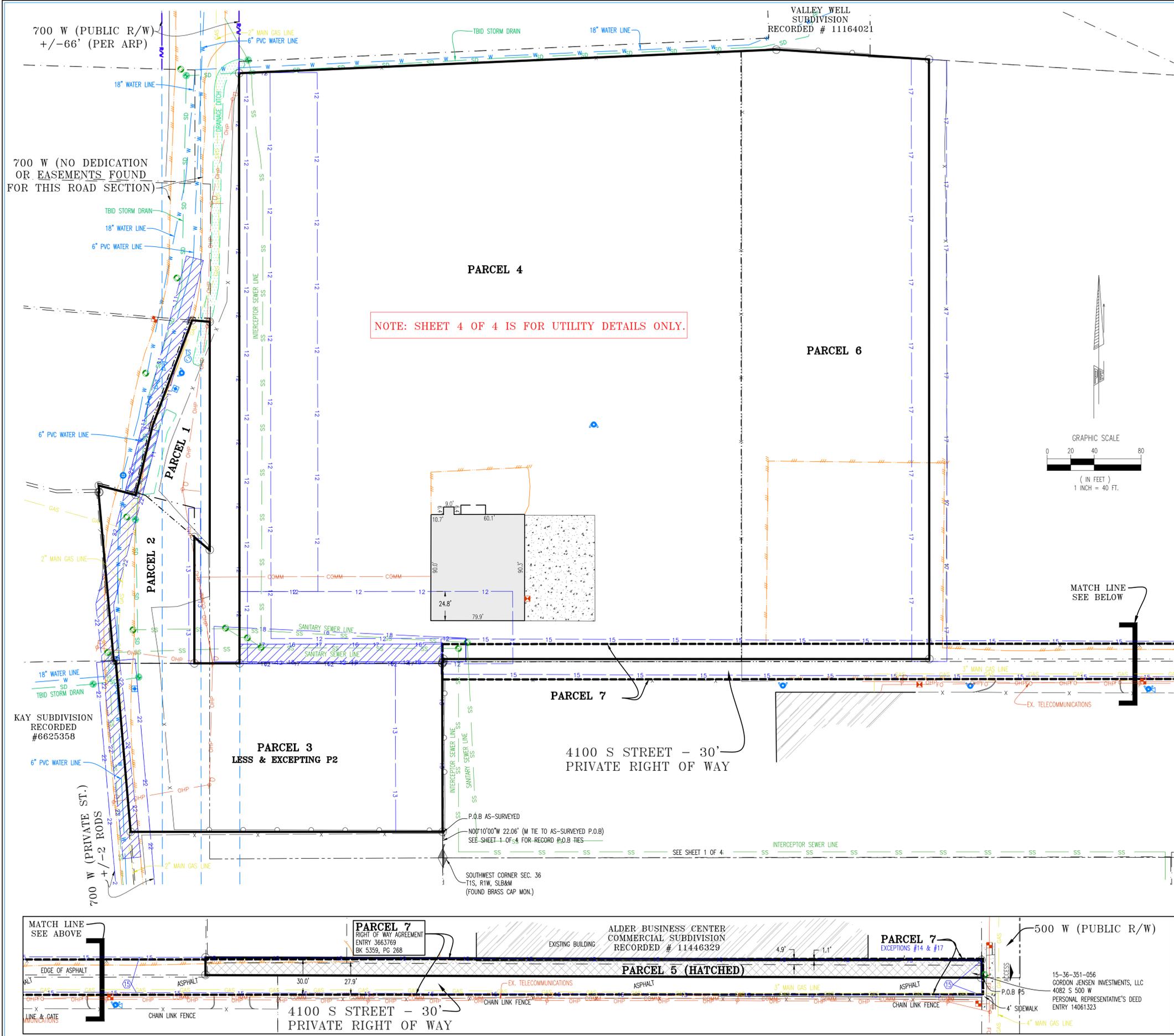
Bock & Clark Corporation NV5 NETWORK REFERENCE NO. 202304767-001-RLS
an NV5 Company

NV5

Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com mayhelpyou@bockandclark.com www.NV5.com

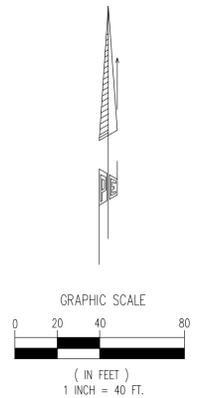
ALTA/NSPS LAND TITLE SURVEY

LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 36 & SOUTHEAST QUARTER OF SECTION 35,
TOWNSHIP 1 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
MILLCREEK CITY, SALT LAKE COUNTY, UTAH



UTILITY INFORMATION			
NOTE: SURVEYOR REQUESTED BLUE STAKES TO MARK THE SUBJECT PROPERTY. SURVEYOR ALSO CONTACTED UTILITY PROVIDERS FOR UTILITY PRINTS FOR ADDITIONAL INFORMATION. AN ADDITIONAL SITE VISIT WAS CONDUCTED 3/13/2024 TO LOCATED MARKINGS PROVIDED BY BLUE STAKES.			
UTILITY PROVIDER	CONTACT	PRINTS PROVIDED	MARKED IN FIELD
COMCAST	514-644-2333	YES	NO
COTTONWOOD IMPROVEMENT DISTRICT	801-943-7671	YES	YES
LUMEN/CENTURYLINK	385-479-7345	YES	NO
CENTRAL VALLEY	801-973-9100	YES	NO
WATER R.F.			
FIRSTDIGITAL TELECOM	801-456-1095	YES	YES
GOOGLE FIBER	801-503-8245	YES	NO
JORDAN VALLEY	801-585-4500	YES	NO
WATER C.O.			
KEARNS IMPROVEMENT DISTRICT	801-912-0282	NO	NO
MURRAY CITY POWER	801-270-2403	YES	NO
MURRAY CITY SEWER	801-270-2403	YES	YES
MURRAY CITY STORM	801-270-2442	YES	NO
MURRAY CITY WATER	801-270-2403	YES	NO
MT. OLYMPUS IMPROVEMENT DISTRICT	801-262-2904	YES	NO
DOMINION ENERGY UTAH	801-324-3970	YES	YES
ROCKY MOUNTAIN POWER	801-886-7007	YES	NO
SOUTH SALT LAKE CITY	801-412-3210	YES	NO
TAYLORSVILLE BENNON	801-968-9081	YES	YES
I.D.			
UTOPIA FIBER	801-613-3854	YES	YES
ZAYO FIBER SOLUTIONS	719-216-8508	NO	NO

NOTE: BEFORE ANY CONSTRUCTION IS PERFORMED ON THE SUBJECT PROPERTY LOCATIONS OF UTILITIES SHALL BE VERIFIED BY BLUE STAKES.



NOTE: SHEET 4 OF 4 IS FOR UTILITY DETAILS ONLY.

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3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

NV5 NETWORK REFERENCE NO. 202304767-001-RLS



PLANNING COMMISSION STAFF REPORT

To: Planning Commission

Meeting Date: July 17th, 2024

RE: Amendments to the Supplementary Regulations Chapter as part of the zoning code update.

File: ZT-24-010 (Building Height)
ZT-24-011 (Lots and Building on Private Street or Lane)
ZT-24-012 (Affordable Housing) **NEW**
ZT-24-013 (Required Studies and Plans) **NEW**

Applicant: City, Robert May, Long Range Planning Manager

SCOPE

The city planning and zoning department is undertaking a comprehensive amendment of the [Supplementary Regulations Chapter 19.76](#) of the zoning ordinance. These amendments aim to address planning challenges, entice moderate income housing, and establish clear guidelines for development projects. With the exception of the following four sections below that deal with development on private right of way and building height, the other sections of the Supplementary Regulations Chapter will remain the same but relocated to more applicable areas of the municipal code.

[19.76.080 Lots And Buildings On Private Rights-Of-Way](#)
[19.76.170 Height Limitations; Buildings Less Than One Story](#)
[19.76.190 Height Limitations; Exceptions](#)
[19.76.200 Additional Height Allowed When](#)

The primary focus of these amendments is to consolidate building height limitations/exceptions and definition of Building Height¹, clarify regulations concerning Lots and Buildings on a Private Right of Way, and introduce two new chapters: Affordable Housing and Required Studies and Plans. The final outcome of the proposed amendments will consist of the following chapters, each with a separate file number:

1. ZT-24-010 (Building Height)
2. ZT-24-011 (Lots and Building on Private Street or Lane)
3. ZT-24-012 (Affordable Housing)
4. ZT-24-013 (Required Studies and Plans)

¹Definition of Building Height is more accurately labeled as "Building, Height Of" in the [Definitions Chapter 19.04](#).



Staff is requesting that the planning commission review and make a recommendation to the City Council for each of the proposed chapters.

SUMMARY OF PROPOSED AMENDMENTS

ZT-24-010 Building Height

Proposed Changes.

1. Consolidates the Height Limitations/Exceptions sections with the “Height of Building” definition.
2. Clarification added to definition of Building Height for when original grade is not readily apparent.
3. Revised the non-residential use projections to be consistent with the City Center Overlay Zone.
4. Updated template changes integrating with other updated codes.
5. An improved illustration clarifying where original grade is measured.

Staff Objective and Findings

The staff’s goal of the proposed Building Heights chapter is to condense the regulations governing how Millcreek regulates building heights into one chapter. Changes include adding criteria for determining when original grade is not readily apparent and updating the height exceptions language. By establishing predetermined criteria, the burden placed on the planning department is removed. Revising the height exceptions ensures consistency with the code and includes a maximum height cap. While mostly a housekeeping attempt, staff finds that the proposed Building Height chapter aligns with staff’s commitment to the public by providing clear and concise ordinances.

ZT-24-011 Lots and Building on Private Street or Lane

Proposed Changes.

1. Exchanged “Right of Way” with “Street or Lane.”
2. A table distinguishing between existing and new private streets or lane requirements.
3. Exchanges minimum lot area of one- half acre to the minimum area of the zone and included standards for when certain requirements must be met.
4. Updated template changes integrating with other updated codes.



Staff Objectives and Findings

The current language governing lots and buildings on a private right of way is outdated (from 1953), poorly written, and no longer functions accurately given the current lot characteristics. Millcreek has a fair amount of existing private streets or lanes that are substandard to today's private street or lane standards. Existing language is confusing and outdated and does not align with adopted private road standards or lot characteristics. Staff finds the proposed draft of the Lots and Buildings on a Private Right of Way Street or Lane modifies the requirements for existing private streets or lanes and introduces more modern and updated requirements for new private streets and lanes. The amendments will define clear standards for existing and new development, while ensuring safe and adequate access for emergency services and residents.

ZT-24-012 Affordable Housing

Proposed Changes.

1. A distinct chapter specifically addressing affordable housing incentives.
2. Geared to be attractive to different development types and AMI targets.
3. Includes specific limitations and restrictions for each incentive.
4. Preserves viable commercial intersections.
5. Integrated to be consistent with other updated templates and current code requirements.

Staff Objectives and Findings

The Affordable Housing Chapter is geared towards increasing the supply of affordable housing in Millcreek. The primary method is by incentivizing developers through density bonuses, increased elevation, streamlined permitting processes, etc. While Millcreek has continually been committed to promoting affordable housing development, a large driver propelling the proposed Affordable Housing Chapter is due to satisfying the states moderate income housing requirements. Baked into Millcreek's moderate income housing plan are adopted strategies designed to increase the supply of affordable housing units. Each adopted strategy has specific implementation actions and benchmarks in which the city must meet, or at minimum demonstrate the city's progression on a yearly basis through its mandated moderate income housing report. Staff finds that the proposed Affordable Housing chapter supports Millcreek's efforts in implementing the adopted MIH strategies. Staff finds that the proposed Affordable Housing chapter is a sound attempt at attracting moderate income housing, including deeply affordable housing.



ZT-24-013 Required Studies

Proposed Changes.

1. A new chapter specifically aimed at strengthening when the city can require a study or plan.
2. Includes a comprehensive table that outlines the description of study/plan, when the study/plan is required, and the scale and boundaries for which the study/plan should include.
3. More formally, supports the city's ability to ensure that development projects are thoroughly evaluated for their impact on the community and environment.
4. Integrated to be consistent with other updated templates and current code requirements.

Staff Objectives and Findings

Ensures that larger scale development projects are thoroughly evaluated for their impact on the community and environment. Helps promote informed decision-making targeted at minimizing any detrimental impacts. Staff finds that the proposed Required Studies chapter will help reduce detrimental impacts on the surrounding community by ensuring that potential impacts are assessed and mitigated. Larger scale developments can place substantial demands on local infrastructure and services, such as roads, schools, and emergency services. Staff finds that by requiring a professional study or plan can help staff evaluate the capacity of existing infrastructure and services to accommodate the new development, identify necessary upgrades, and propose measures to ensure that the development is sustainable and beneficial to the community without overburdening existing resources.

STAFF FINDINGS *(per ordinance)*

ZT-24-010 Building Height. *Staff finds that the proposed Building Height chapter aligns with staff's commitment to the public by providing clear and concise language.*

ZT-24-011 Lots and Buildings on Private Street or Lane. *Staff finds the proposed draft of the Lots and Buildings on a Private Right of Way Street or Lane modifies the requirements for existing private streets or lanes and introduces more modern and updated requirements for new private streets and lanes. The amendments will define clear standards for existing and new development, while ensuring safe and adequate access for emergency services and residents.*



ZT-24-012 Affordable Housing. Staff finds that the proposed Affordable Housing chapter supports Millcreek's efforts in implementing the adopted MIH strategies. Staff finds that the proposed Affordable Housing chapter is a sound attempt at attracting moderate income housing, including deeply affordable housing.

ZT-24-013 Required Studies. Staff finds that the proposed Required Studies chapter will help reduce detrimental impacts on the surrounding community by ensuring that potential impacts are assessed and mitigated. Larger scale developments can place substantial demands on local infrastructure and services, such as roads, schools, and emergency services. Staff finds that by requiring a professional study or plan can help staff evaluate the capacity of existing infrastructure and services to accommodate the new development, identify necessary upgrades, and propose measures to ensure that the development is sustainable and beneficial to the community without overburdening existing resources.

COMMUNITY COUNCIL RECOMMENDATION

Mount Olympus Community Council

ZT-24-012 Affordable Housing Chapter

The Mount Olympus Community Council voted unanimously (6-0) to **recommend approval** of the affordable housing ordinance, as presented, with these major exceptions:

1. The proposed 100' maximum height incentive for buildings to be used for affordable housing should be limited to the following zones:
 - a. Mixed Development (MD) zone – note: the current maximum height is currently 72' with the option for greater height, subject to a conditional use application, for all allowed uses.
 - b. Light Manufacturing zone – note: the current maximum height is already 100' for all allowed uses.
 - c. Commercial zones, but only within ¼ mile of a transit station. Other than this one exception, it is inappropriate to allow structures up to 100' in height in any commercial zone.

ZT-24-013 Required Studies Chapter

The Mount Olympus Community Council voted unanimously (6-0) to **recommend approval** as proposed.

ZT-24-001 Lots and Buildings on a Private Street or Lane Chapter

The Mount Olympus Community Council voted unanimously (6-0) to **recommend approval** as proposed.

ZT-24-010 Building Height Limitations; Exceptions, Chapter

The Mount Olympus Community Council voted unanimously (6-0) to **recommend approval** as proposed.



Millcreek Community Council

ZT-24-012 Affordable Housing Chapter

The Millcreek Community Council voted (7-1) to **recommend approval** with the condition that the affordable housing chapter be reviewed and amended as better data reveals itself. While MCC members agreed that the proposed Affordable Housing chapter was crucial in satisfying the state mandated implementation actions regarding the moderate-income housing adopted strategies, members expressed the following concerns:

1. Staff's proposed incentives were disproportionate and only incentivized affordable housing on the west side. Some members are concerned that all the new density is being targeted in their district.
2. Data from the Zions Housing Report. Some council members expressed concern about the data, specifically data showing deficit of housing units targeted at deeply affordable housing 30% AMI.
3. Some community council members expressed concern that incentives were largely aimed at incentivizing moderate income housing at %50 AMI+ and not nearly enough towards deeply affordable housing at 30% AMI.

Staff and Community Council members discussed in great depth what the proposed Affordable Housing chapter could achieve and what it may not. The majority of the members expressed a desire that incentives should lean towards attracting deeply affordable housing at 30% AMI, which is identified in the Zions Housing Report as being the largest deficit of housing units. MCC members would also like to explore other potential incentives such as additional density when adjacent to a park or other civic infrastructure. Staff noted that the proposed draft was largely created to satisfy the state mandated requirements for increasing moderate income housing units but was also geared the incentives towards the types of affordable housing applications it mostly receives. The largest and fastest was to increase affordable housing units is to incentivize development where it can make the most impact. Staff added that affordable housing developers are aiming their projects in areas that allow the most density and are within close proximity to transit station, which are located in the west portion of the city.

ZT-24-013 Required Studies Chapter

The Millcreek Community Council voted (8-0) to **recommend approval** as proposed.

ZT-24-001 Lots and Buildings on a Private Street or Lane Chapter

The Millcreek Community Council voted (8-1) to **recommend approval** as proposed. One member abstained from vote due to not reviewing the draft.

ZT-24-010 Building Height Limitations; Exceptions, Chapter

The Millcreek Community Council voted unanimously (9-0) to **recommend approval** as proposed.



Canyon Rim Citizens Association

The Canyon Rim Citizens Association did not meet for their regularly scheduled July meeting due to the Fourth of July Holiday. Staff sent copies of the proposed text amendments to each member and asked kindly to submit their responses individually or collectively. Only one individual response was received. It expressed that they had reviewed all the proposed code changes, do not have any additional comments, and would recommend the adoption of each change.

East Mill Creek Community Council

The East Millcreek Community Council did not meet for their regularly scheduled July meeting due to the Fourth of July Holiday. In exchange, they plan to hold their July meeting on the 11th. Staff will include their recommendation and meeting discussion at the Planning Commission meeting On July 17th.

ATTACHMENTS

1. Draft of proposed Building Heights Chapter
2. Draft of proposed Lots and Buildings on Private Lane or Street Chapter
3. Draft of proposed Affordable Housing Chapter
4. Draft of proposed Required Studies Chapter
5. Link to Current [Supplementary Regulations Chapter](#)
6. Link to [General Plan](#). See Moving Forward Chapter 4 (pg. 109) to review adopted moderate income housing strategies.
7. [Zions Housing Report](#)

18.72 Building Height

18.72.010 Purpose.

- A. The purpose of this Chapter is to determine how building height is measured and how it is applied.

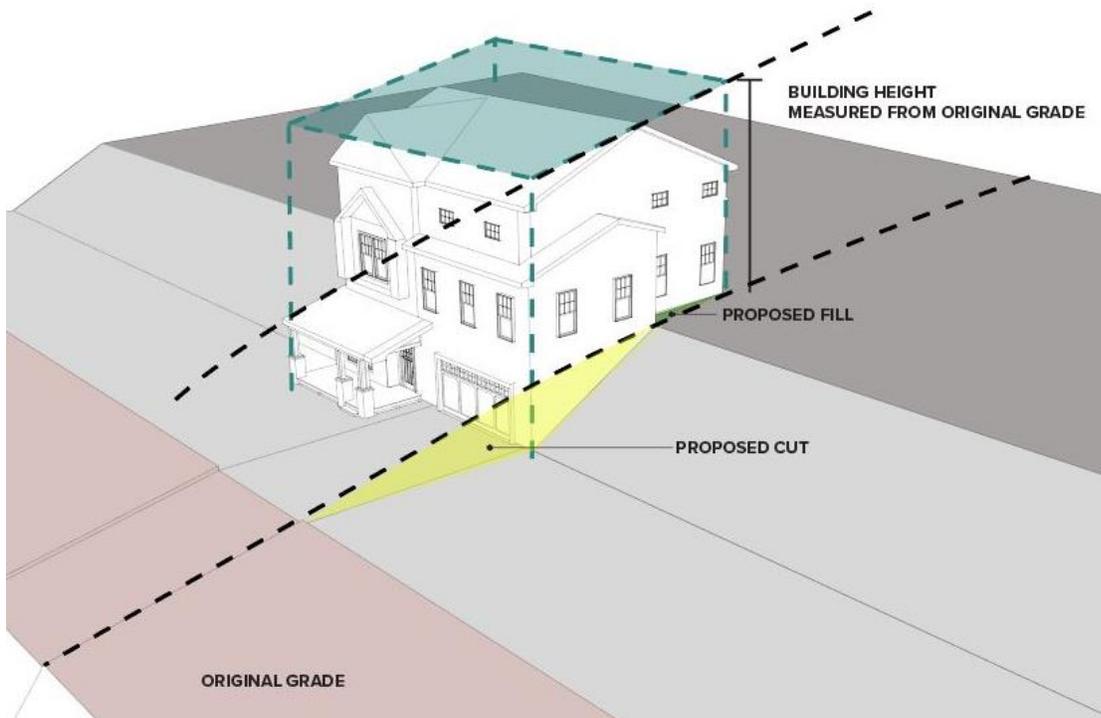
18.72.020 Applicability.

- A. This Chapter is applicable to all zones throughout Millcreek.

18.72.030 Measurement of Building Height

- A. The height of a building is measured as the vertical distance above the lowest original grade at any point on the perimeter of the building to the highest point.
- B. The highest point includes the coping of a flat roof, or to the deck line of a mansard roof, or to the highest point of pitched or hipped roofs, or gambrel roofs.
- C. Buildings may be stepped to accommodate the slope of the terrain provided that each step shall be at least twelve feet in horizontal dimension. The height of each stepped building segment shall be measured as required in subsection A.

Figure 18.85.031 Measurement of Height



- D. The original grade is the elevation of the ground surface in its natural state before any human-caused alterations including but not limited to grading, excavation or filling, excluding improvements required by zoning or subdivision ordinances. When the elevation of the original ground surface is not readily apparent, the Planning Director shall determine the elevation of original grade using one of the following methods:
1. The original grade established related to the most recent building permit activity on the property.
 2. Referencing original grade where the developed area appears to meet the undeveloped portions of the land. The estimated grade shall tie into the elevation and slopes of adjoining properties without creating a need for new retaining wall, abrupt differences in the visual slope and elevation of the land or redirecting the flow of runoff water.

18.72.040 Non-Residential Use Projections

- A. For non-residential uses, roof structures for the housing of elevators, stairways, ventilating fans or similar equipment required to operate and maintain the building, and fire or parapet walls, skylights, shade structures (awnings, fabric roof coverings, wood and metal open frame structures, etc.), towers (where required by City ordinances), flagpoles, chimneys, stealth wireless or television installations, theater lofts, solar panels, may be erected above the height limits prescribed in this chapter, but no space above the height limit shall be allowed for the purpose of providing additional habitable floor space. No such structures except towers and solar panels, may be located closer than 10 feet to edge of the building. The maximum increase in height for the above features shall not be greater than 14 feet.
- B. Public or semipublic utility buildings, when authorized in a zone, may be erected to a height not exceeding forty (40) feet if the building is set back from each otherwise established building line at least one foot for each additional foot of building height above the normal height limit required for the zone in which the building is erected.

18.XX Lots and Buildings On Private Street or Lane

A. Purpose. The requirements as set forth in this chapter shall determine the minimum development regulations for lots and buildings on existing and new private street or lane. Private streets or lanes existing prior to the adoption of this code shall otherwise be determined as an existing private street or lane and subject to the requirements of this chapter.

B. Minimum Requirements.

1. Existing Private Street or Lane;

- a. Pavement Width. Minimum pavement width shall be twenty (20) feet
- b. Lot Size Requirement. Any lot fronting on a private street or lane shall be a minimum area of one-half acre.
- c. Building Setback. The minimum setback from the center of the private street or lane to the front line of any building shall be 50 feet.

2. New Private Street or Lane;

- a. Pavement Width. Minimum pavement width shall be twenty-five (25) feet.
- b. Lot Size Requirement. Any lot or parcel fronting on a private street or lane must meet minimum lot width and area requirements of the zone.
- c. Building Setback. The minimum setback from the center of the private street or lane to the front line of any building shall be 50 feet.

C. Required Improvements.

1. Any development on a new or existing private street requires the following improvements as determined by the Public Works Department.
 - a. Curb
 - b. Gutter
 - c. Sidewalk (minimum one sidewalk extending the length of private street or lane connecting to a public right-of-way).
2. Any development on a new or existing private street requires improvements as determined by the Public Works Department.

Table 18.XX.XX Lots and Building on Private Street or Lane

Table 18.XX.XX Lots and Buildings on Private Street or Lane					
	<i>Minimum lane or Street Pavement Width</i>	<i>Minimum Lot Size</i>	<i>Building Setback</i>	<i>Required Improvements</i>	<i>Exception</i>
Existing Private Lane or Street	2 Lanes / 20 ft.	Minimum required of zone	Minimum 50 ft. from center of street or lane	Varies upon approval / curb and gutter/ sidewalk	May be reduced by permit from the Land Use Hearing Officer
New Private Lane or Street	2 Lanes / 25 ft.	Minimum required of zone	Minimum 50 ft. from center of street or lane	Varies upon approval / curb and gutter/ sidewalk	N/A

D. Exceptions.

1. A reduction in the above requirements may be permitted by the land use hearing officer for an existing private *street* or lane only.

18.88 Affordable Housing

18.88.10 Purpose.

- A. The purpose of this Chapter is to determine how affordable housing incentives are applied and are intended to encourage the development of affordable housing. The provisions within this section are intended to facilitate the construction of affordable housing by allowing more inclusive development than would otherwise be permitted in the base zoning districts. Housing constructed using the incentives is intended to be compatible in form with the neighborhood and provide safe and comfortable places to live and play.

18.88.20 Applicability.

- A. This Chapter is applicable to all zones where residential development is allowed throughout Millcreek.
- B. For the purposes of this chapter, qualifying affordable income housing development must provide affordable housing to a specific target population with a household income less than or equal to 80 percent of Salt Lake County's area median income (AMI) for a time period of at least 30 years, and must be the recipient of a low-income housing tax credit or other public funding.
- C. For the purposes of this chapter, a *Deed Restriction Agreement* is a written agreement or amendment to a written agreement between a municipality and one or more parties that regulates or controls the use or development of a specific area of land to ensure that the affordability of the development is preserved in perpetuity. OR "*Deed restrictions are recorded covenants against a property that "run with the land," remaining in effect upon repeated sale or transfer*".

18.88.30 Affordable Housing Income Types and Scale

- A. Affordable Income Housing Types
 1. "**Very Low-income housing**" means housing occupied or reserved for occupancy by households with a gross household income equal to or less than 30% of the median gross income for households of the same size in the county in which the housing is located.

2. **"Low-income housing"** means housing occupied or reserved for occupancy by households with a gross household income between 30% - 50% of the median gross income for households of the same size in the county in which the housing is located.
3. **"Moderate income housing"** means housing occupied or reserved for occupancy by households with a gross household income between 50% - 80% of the median gross income for households of the same size in the county in which the housing is located.

B. Affordable Housing Scale Type

1. **Completely Affordable.** Complete means 100% of the units are deemed qualifying affordable income housing.
2. **Mixed Affordable.** Mixed means at least 25% of the units are deemed qualifying affordable income housing.

18.88.40 Incentive Types for Qualifying Affordable Housing Developments

A. Incentive Types for Qualifying Affordable Housing Developments Table.

Table 18.88.40 Incentive Types

Table 18.88.40 Incentive Types		
<i>Incentive</i>	<i>Description</i>	<i>Limitations and Restrictions</i>
Density Bonus	Allowance for increased number of residential units	<p><i>Does not apply in any A-1 Zone, R-1-6 Zone, R-1-8 Zone, R-1-10 Zone, and R-1-21 Zones.</i></p> <p><i>a.</i></p> <p><i>An increase in density of 50% for Completely Affordable developments deemed Very Low/ Low Income Housing.</i></p> <p><i>b.</i></p> <p><i>An increase in density of 25% for Mixed Affordable developments deemed Moderate Income Housing.</i></p> <p><i>c.</i></p> <p><i>A maximum increase in density of 25% for Mixed/ Completely Affordable developments deemed Moderate Income Housing.</i></p> <p><i>d.</i></p>

<p>Increased Building Elevation</p>	<p>Allowance for increased building elevation</p>	<p>a. <i>Developments located in the R-4, RM, A-1, R-1-3, R-1-4, R-1-5 and R-2 Zones, a maximum increase of building height up to 10 feet for Completely or Mixed Affordable developments deemed Moderate Income Housing.</i></p> <p>b. <i>Developments located in the MD or C Zones, a maximum increase of building height to 100 feet for Completely Affordable developments deemed Moderate Income Housing when within ½ mile from a transit station.</i></p>
<p>Open Space Reduction</p>	<p>Allowance for an open space reduction</p>	<p>a. <i>Does not apply in A-1, R-1, and R-2 Zones.</i></p> <p>b. <i>Developments located in the MD or C Zones, a reduction of required open space up to 20% for Completely Affordable developments deemed Moderate Income Housing.</i></p> <p>c. <i>Developments located in the R-4 or RM Zones, a reduction of required open space up to 10% for Completely/Mixed Affordable developments deemed Moderate Income Housing.</i></p>
<p>Ground floor commercial requirements waived</p>	<p>Waiving of ground-floor commercial requirements where Mixed-Use developments are required</p>	<p>a. <i>Does not apply to developments located within 300 feet of a major intersection.</i></p> <p>b. <i>Developments located in the R-4, MD, or C Zones; ground floor commercial is waived 100% for Completely Affordable developments deemed Moderate Income Housing.</i></p> <p>c. <i>Developments located in the R-4, MD, or C Zones; ground floor commercial is reduced by 50% for Mixed Affordable developments deemed Moderate Income Housing.</i></p>

<p>Development Fee Waiver</p>	<p>The waiving of development fees includes application fees, building permit fees, bonding fees, and impact fees.</p>	<p>a. 100% of development fees are waived for Completely Affordable developments deemed Low/Very Low-income Housing.</p> <p>b. 50% of development fees are waived for Completely Affordable developments deemed Moderate Income Housing.</p> <p>c. 75% of development fees are waived for Mixed Affordable developments where 25% of units are deemed Very Low/Low Income Housing.</p>
<p>Streamlined Application Process</p>	<p>Accelerated review process</p>	<p>a. Completely Affordable and Mixed Affordable developments located in the RM, MD or C Zones deemed Very Low-, Low-, and Moderate-Income Housing are a permitted use,</p>
<p>Parking Reduction</p>	<p>Allowance for a reduction in the minimum parking requirements</p>	<p>See MKZ Chapter 18.XX.XX</p>

B. Incentive Type Table Notes.

1. Additional units due to the increase in density shall meet all off-street parking requirements unless the development meets #2 of the Incentive Type Table Notes.
2. For developments located within ½ mile of a transit station or within the boundaries of a village center per the Millcreek General Plan, any parking required per the Chapter 19.80 Parking and Mobility Requirements due to additional density accumulated may be reduced by 15%.
3. All developments utilizing any incentive type within this chapter shall be secured by a Deed Restriction Agreement and shall be imposed on each parcel of real property designated within development boundaries.

18.88.50 General Standards of Applicability

- A. The use and development of Affordable Housing is also subject to other applicable chapters in the zoning ordinance, including all health codes, building codes, and engineering standards, etc.
- B. Standards in other chapters may apply. In the event there is language elsewhere in MKZ 18 that conflicts with language in this chapter, the more restrictive standard prevails.
- C. All developments that utilize and benefit from one or more of the incentive types located in Section 18.88.40 Incentive Types for Qualifying Affordable Housing Developments of this Chapter shall participate in a Deed Restriction Agreement that is placed on the property where such development utilizing incentive by the city.
 - 1. Deed restriction agreement shall be recorded to the subject property at the Salt Lake County Recorder's Office prior to city approval or certificate of occupancy, whichever comes first.
 - 2. Deed Restriction Agreements shall not terminate for a period of no less than thirty years.

(The section below will be moved into the procedures chapter)

Affordable Housing Approval Process and Procedures.

- A. All requirements of this title shall apply.
- B. Zoning Incentives: Applicants using the zoning incentives in this chapter shall submit a zoning incentives application and provide the following information:
 - 1. The applicant's name, address, telephone number and interest in the property to which the incentives shall apply.
 - 2. The owner's name, address, and telephone number, if different than the applicant, and the owner's signed consent to the filing of the application.
 - 3. The street address, tax parcel number and legal description of the subject property.

4. The zoning classification, zoning district boundaries and present use of the subject property.
 5. A site plan illustrating the location of all proposed buildings and structures, accessory, and principal, showing the number of stories and height, dwelling type, if applicable, major elevations and the total square footage of the floor area by proposed use and any additional information required for site plan review set forth in 19.02.080 (Site Plans And Building Elevations Required; Contents).
 6. The total number of dwelling units in the project, the number of affordable units, the number of bedrooms in the affordable units, the location of the affordable units, and level of affordability; and
 7. Any additional information required by the Planning Director to demonstrate compliance with the requirements of this chapter, as applicable.
- C. Following the submittal of a complete zoning incentives application, the applicant shall submit the required application and documentation needed to schedule a development review team (DRT) meeting. All requirements and conditions established from the (DRT) shall be completed by the applicant prior to obtaining preliminary approval.
- D. Preliminary approval shall authorize the preparation, filing and processing of applications for any permits or approval that may be required by the city, including, but not limited to, a building permit. No permits shall be issued until final approval is obtained pursuant to this Chapter. Preliminary approval shall be valid for a period of one year.

18.XX Required Studies and Plans

18.XX.XX Purpose

- A. This chapter establishes requirements for professional studies to be conducted as part of the application process for land use permits. This chapter establishes a rigorous framework for evaluating and mitigating potential negative impacts of land use developments through comprehensive professional studies. For the purposes of this chapter, the term “Studies” or “Study” shall also mean other professional documentation required such as but not limited to reports, analysis, plans, and surveys.

18.XX.XX Applicability

- A. This chapter applies to proposed developments seeking a building permit or land use approval where the potential for negative impacts increases. Required Studies are listed more specifically in subsection 18.XX.XX Study Types and shall be submitted with land use application.

18.XX.XX Study and Plan Requirements

- A. **Study Preparation.** Each study shall be prepared by a qualified professional in the respective field, licensed or certified as appropriate by state or professional standards. Studies shall be based on methodologies recognized by professional organizations and industry standards approved by the city.
- B. **Commission of Study.** At applicant's expense, the City shall commission the applicable study from a pool of licensed professional engineers, architects, and surveyors. The applicant shall pay the fee for the study prior to the commencement of the study. The City shall not begin the commencement of the study until the estimated fee is paid in full.
- C. **Scope of Study.** The scope of the study, including the analysis methodology needed to accurately analyze negative impacts and to propose recommended mitigation measures, shall be determined by the qualified professional performing the study and approved by the City. The Planning Director may modify the scope of the study if determined to be in the best interest of the City.

- D. **Submission Requirements.** Applicant shall submit a pdf copy of the study or plan with the required land use application.

18.XX. XX Study Types (Description, When Required, and Scope Boundaries)

A. Traffic Impact Study.

1. Description
<p>a. A traffic impact study is a, but not limited to, detailed analysis of existing and anticipated traffic impacts generated by the proposed development, including but not limited to vehicular, pedestrian, cyclist movements, and drive through stacking.</p>
2. Required When
<p>a. Proposed developments that generate fifty (50) or more added (new) peak hour two-way trips to or from the site during the adjacent roadway’s peak hours or the development’s peak hours.</p> <p>b. Proposed developments that include a drive-through</p> <p>c. Proposed developments where current traffic problems or concerns in the local area such as an offset intersection, a high number of traffic accidents, etc. exist. (City’s discretion)</p> <p>d. Proposed developments in a sensitive area where the adjacent neighborhoods or public in general may perceive an adverse impact. (City’s discretion)</p> <p>e. Proposed developments where site specific problems or concerns that may be aggravated by the proposed development (City’s discretion)</p>
3. Scope Boundaries
<p>a. All proposed developments that generate fewer than 200 trips during any peak hour shall have a study parameter of 1,000 feet measured from proposed access drive(s). Does not include proposed developments with a drive-through located on less than 1/2 acre.</p> <p>b. All proposed developments that include a drive-through shall have a study parameter of 660 feet measured from proposed access drive(s).</p> <p>c. All proposed developments that generate between 200-500 trips during any peak hour shall have a study parameter of 1/2 mile measured from proposed access drive(s).</p> <p>d. All proposed developments that generate more than 500 trips during any peak hour shall have a study parameter of 1 mile measured from proposed access drive(s).</p>

B. Trip Generation Study

1. Description
a. A description of the project and a calculation of the anticipated trips generated including distribution and assignment.
2. Required When
a. All proposed developments that generate fewer than 25 trips during any peak hour.
b. Proposed developments that include a drive-through.
3. Scope Boundaries
a. All proposed developments that generate fewer than 25 trips during any peak hour shall have a study parameter of 660 feet measured from proposed access drive(s).

C. Shade Study

1. Description
a. A study to evaluate the movement of the sun across a site and understand how shadows cast by nearby buildings, trees, or other objects will impact solar access and natural lighting.
2. Required When
a. Any proposed development requesting an increase in height and or massing that exceeds the minimum height and spatial requirements of the Millcreek Zoning Code.
b. City's discretion.
3. Scope Boundaries
a. Entire scope of development, including all affected properties.

D. Photometric Study

1. Description
a. A photometric study is a digital simulation of how light from a fixture will spread out in a space. It's a key step in the lighting design process for many construction sites, including offices, restaurants, and shopping centers.
2. Required When
a. All proposed developments in the C-2 and C-3 Zones with interior street lights.
b. All proposed developments in the IF Zone with interior street lights.
c. All proposed commercial or manufacturing developments adjacent to a residential use or zone.
3. Scope Boundaries
a. Entire scope of development including adjacent streets.

E. Parking and Mobility Study

1. Description
a. Study to provide recommendations for new parking requirements for selected land uses associated with new development. Typically based on ITE standards, local parking counts, and proximity to existing and future transit.
2. Required When
a. Proposed developments with unlisted uses.
b. Proposed Shared Parking.
c. Valet Parking Program.
d. Any development application requesting a reduction in the minimum parking requirements listed in MKZ 19.80
3. Scope Boundaries
a. Entire scope of development.
b. Subject to all requirements located in MKZ Chapter 19.80.

F. Sign Illuminance Study

1. Description
a. A study that establishes illumination levels projected from illuminated signs and analyzes light trespass and glare impacts from sign lighting. The study includes an existing site analysis measuring light trespass and glare at all property boundaries of the site location.
2. Required When
a. All proposed illuminated signs.
3. Scope Boundaries
a. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.

G. Noise Study

1. Description
a. A study that assesses the impact of all existing noise sources on residential development, including industrial or commercial stationary sources, transportation noise sources, and new noise sources from the proposed development.
2. Required When

<ul style="list-style-type: none"> a. Any zone map amendment or change of use where a commercial or industrial use is being proposed adjacent to a residential use or zone. b. City's Discretion.
3. Scope Boundaries
<ul style="list-style-type: none"> a. Entire scope of development. Not to exceed minimum Salt Lake County Health Department standards for residential developments.

18.XX. XX Plan Types

Plan Types: Description, Required When, and Minimum Plan Requirement

A. Circulation and Access Plan

1. Description
<ul style="list-style-type: none"> a. A Circulation and Access Plan is to identify a proposed project's potential traffic conflicts generated by proposed access points and vehicular, pedestrian, and bicycle routes. The circulation plan shall show adjacent roads, access points, primary travel routes, drop off and pick up areas, stacking and queuing areas, connections with adjacent properties, and pedestrian and bicycle routes
2. Required When
<ul style="list-style-type: none"> a. All proposed developments that includes the use of a drive-through, car wash, or vehicle bay. b. Projects that require a traffic study per subsection A of this Chapter. c. Projects that include proposed private streets in residential areas. d. City discretion.
3. Minimum Plan Requirements
<ul style="list-style-type: none"> a. The Circulation and Access Plan shall show adjacent roads, access points, primary travel routes, drop off and pick up areas, stacking and queuing areas, connections with adjacent properties, and pedestrian and bicycle routes.

B. Operations Plan

1. Description
a. An Operations Plan is to identify the potential sound, vibration, light, glare, odor, crime, hazardous materials, fire, and environmental impacts generated by a use or project based on the operational nature, scale, or practices of an establishment.
2. Required When
a. All proposed developments listed as a conditional use.
b. City discretion
3. Minimum Plan Requirements
a. The Operations Plan shall include the following information, if applicable: date of commencement of operations; proposed hours and days of operation; a general description of the operation; a projection of the number of persons on site (e.g., employees and customers); types of accessory uses anticipated; hazardous materials to be used or produced on site; and all other relevant information to describe the nature, scale, practices of the establishment.

C. Rehabilitation and Containment Plan

1. Description
a. A Rehabilitation and Containment Plan shall be prepared by a qualified expert documenting hazardous materials to be stored, used, or produced in significant quantities and the policies and practices to prevent and contain the accidental or inappropriate discharge of those materials. The plan shall demonstrate that the proposed use will comply with all State and Federal requirements and that the public and the environment will be protected from hazardous conditions.
2. Required When
a. All proposed developments listed as a conditional use.
b. All proposed developments that involve significant quantities of hazardous materials.
c. City discretion.
3. Minimum Plan Requirements
a. The plan shall demonstrate that the proposed use will comply with all State and Federal requirements and that the public and the environment will be protected from hazardous conditions
b. A rehabilitation plan shall also include actions that will be taken upon cessation of activities or uses involving potentially hazardous materials to ensure that the site is free from hazardous materials for future activities or uses.

18.XX.XX General Standards of Applicability

- A. Standards in other chapters may apply. In the event the regulations of this chapter conflict with other regulations of this Title, the more restrictive regulations shall apply.



**Minutes of the
Millcreek Planning Commission
June 19, 2024
5:00 p.m.
Regular Meeting**

The Planning Commission of Millcreek, Utah, met in a regular public meeting on Wednesday, June 19, 2024, at City Hall, located at 1330 E. Chambers Avenue, Millcreek, Utah 84106. The meeting was conducted electronically and live streamed via the City's website with an option for online public comment.

PRESENT:

Commissioners

Shawn LaMar, Chair
Victoria Reid, Vice Chair (excused)
Steven Anderson (left at 7:27pm)
David Hulsberg (absent)
Christian Larsen (excused)
Nils Per Lofgren
Diane Soule
Dwayne Vance
Ian Wright

City Staff

Elyse Sullivan, City Recorder
Francis Lilly, Planning & Zoning Director
Brad Sanderson, Current Planning Manager
Kurt Hansen, Facilities Director
John Brems, City Attorney
Jake Green, Development Review Specialist
Robert May, Long Range Planning Manager

Attendees: Jeff Fraza, Chase Freebairn, Jill Shea, Marcia Walke, Julee Millard, Rich Matheson, Mark Morris, Steve Thompson, John Morris, Jeff Krstyeu, Erin McCormack, Hannah Bybee Byers, Sam Wang, Jim Davis, Corey Pederson, Kevn Schehrer, Sherry Daniels, Renate Podegraez, Peggy Allsop, Steve Coleman, Anny S., Gaylynn Boyack, Angela Wary, Kari Nielson, Brian Nielson, Joel Bown, Rick and Tammy Miher, Pat Schehrer, Alexandra Miller, Crayton Walker, Patrick Nielson, T. Carter, Cori Semon

REGULAR MEETING – 5:00 p.m.

TIME COMMENCED – 5:00 p.m.

Chair LaMar called the meeting to order and read a statement describing the duties of the Planning Commission.

1. Public Hearings

1.1 Consideration of SDA-24-003, Request for a Subdivision Amendment for 10 Properties within Plats A and B of the Cove on Mt. Olympus Subdivision Applicant: Richard Matheson Planner: Brad Sanderson

Brad Sanderson said the proposal seeks to realign property lines between several individual residential lots and certain common areas throughout the subdivision; more specifically this would affect Lot 4 within Plat A and Lots 11, 16, 17, 18, 23, 24, 26, 29, 30, and 31 within Plat B. Subsequently, many common areas would be reduced, while many of the adjoining residential lots would increase in size, as they would be absorbing portions of the common

areas, as reflected on the proposed amended plat. Sanderson showed and described to the commission the original and proposed plats. Staff recommended approval of the subdivision amendment subject to all tax clearance being resolved. There was one property owner that had a significant tax lien on the property. He noted that the city noticed the public hearing more than what was legally required. He noticed that he failed to list lot 26 as being included in the staff report, but it would be consolidated. He had received a number of emails from residents. From those outside of the subdivision, they asked what was happening, and from those within the subdivision, they were in favor of the application. He told the commission to make any decisions based on state and Millcreek code. He did receive one or two emails in opposition of the proposal.

Rich Matheson, HOA/applicant, appreciated staff. He said the land conveyances had already taken place over the last couple of decades. This would conform the plat to the conveyances.

Chair LaMar opened the public hearing.

Mark Morris represented a property owner, Mr. McGillis, who owns two lots within the subdivision. His client has concerns about what is being proposed. The conveyances were done by quit claim deeds. The CC&Rs provide an easement through the common areas that appertains to every lot owner (100%). The HOA conveyed the property to property owners but did not have a title to the easements to convey the common area. His client filed a lawsuit in district court to declare the conveyances void. There is ongoing litigation. He understands that the plat amendment purports to extinguish the easements that the HOA never had the ability to convey away and did not purport to convey. This was not done with warranty deeds. He proposed that it was premature for the planning commission to approve the subdivision amendment.

John Morris, representing three property owners in the subdivision, said a temporary restraining order was filed against the HOA moving forward with the plat amendment but the judge denied that motion earlier that day. He suggested there was no basis for delay of the subdivision amendment based on the judge's ruling. He said some property owners accepted common area property from the HOA to alleviate a burden on the HOA.

Chair LaMar acknowledged the commission had received emails received from the public and read several that had been received that afternoon from Brian and Kari Nielson, Holly Parkin, and Craig and Shelly Stahle expressing support for the proposal.

Alexandra Miller expressed favor for the proposal. She said it would bring the community in compliance with the city code and bring to rest disgruntlement from one property owner.

Chair LaMar closed the public hearing.

John Brems said the amended subdivision would require signatures from all the property owners. The requirement had been met per the title report. There were technical problems with the notice the city sent out. The Open and Public Meetings Act notice requires 24 hours' notice through the Planning Commission agenda. The agenda identified 10 properties though 11 were involved. Code requires that people be put on reasonable notice of the change. The land use notice that was mailed did not identify the individual lots, just the general property.

Sanderson said the problem missing the 11th lot was his mistake. Brems considered it a harmless error. He noted there was a lis pendens on the properties, lawsuit over title. The commission can wait for it to be resolved or not. The lis pendens does not go away if they approve the subdivision. If there is an easement created by the CC&Rs, it will still be there after the subdivision amendment. The statute says the planning commission may deny a request if all tax, interest, and penalties have not been paid and one of the properties owes taxes. The lien would stay with the property regardless of what the commission does. Commissioner Vance asked if the subdivision amendment could be approved subject to the removal of the lien. Brems said it could. Commissioner Wright asked how long the lien had been on the property. Brems said it was recorded in December 2022.

Chair LaMar reopened the public hearing.

Rich Matheson said it was a significant IRS lien, not on property taxes or city taxes. Commissioner Soule asked how many lots were in the subdivision. Matheson said 27. Mark Morris said the city attorney noted that any easement on the properties before the plat amendment would remain after the plat amendment. He thought the amendment would eliminate easements through the areas that were conveyed to the properties. His view was that any plat would need to be signed by all whose property interests were impacted. The HOA's easements belong to everyone in the HOA, so the plat should require the signature of every property owner whose interests are affected, not just the 11 properties. Commissioner Vance asked on the purported nature of the easements. Morris read from article 5 of the subdivision CC&Rs stating they were the nonexclusive right and easement of use and enjoyment into the common areas, and ingress and egress to owners. Commissioner Wright asked who maintained the areas. Morris did not know, it was up to the property owners, not the HOA. Matheson said some of the common area was the mountainside, it is not developed/buildable.

Patrick Nielson did not see anyone in the subdivision access the common areas.

Chair LaMar closed the public hearing.

Brems clarified that statute acknowledged all taxes, not just property taxes. Federal tax liens are still taxes. He did not know why these easements existed in the first place. In his opinion, the easements would remain as they were created by the CC&Rs and not the plat. Commissioner Vance said the amendment was not vacating anything, just changing boundary lines. Commissioner Soule asked when the latest conveyance was made. Matheson said 2017. Commissioner Soule commented on the steepness of the property. She felt the land was useless and did not see a problem with the amendment. Commissioner Vance said the amendment complied with code, any hang ups would be purported easements in the declaration and the tax lien. He considered that the lien be released as a condition of approval. Commissioner Wright said the lien did not merit hesitation. The land was not maintained by the HOA and the use may not be used as intended. Commissioner Lofgren said there was no legitimate reason to deny the amendment. He did not want to hold the other property owners hostage on account of one person's taxes. Commissioner Anderson agreed. He heard that 2/3 of a majority can convey open space and it has happened. Chair LaMar was in favor of what had been presented.

Commissioner Soule moved that the Planning Commission approve the subdivision amendment for Plat A & B of The Cove on Mt. Olympus P.U.D., application file number SDA-24-003, as proposed, based on the findings and the facts and discussion of the meeting. Commissioner Wright seconded. Chair LaMar called for the vote. Chair LaMar voted yes, Commissioner Anderson voted yes, Commissioner Lofgren voted yes, Commissioner Soule voted yes, Commissioner Vance voted yes, and Commissioner Wright voted yes. The motion passed unanimously.

1.2 Consideration of ZM-24-004, Request to Rezone from R-2-8 Medium Density Residential Zone to R-M Multifamily Residential Zone Location: 950 E Grape Ivy Way Applicant: Chase Freebairn Planner: Brad Sanderson

Brad Sanderson said the applicant is proposing to rezone 1.5 acres of property generally located at 950 East Grape Ivy Way from the (R-2-8) Medium Density Residential Zone to the (R-M) Multifamily Residential Zone. The subject property contains three existing residential structures along with other accessory structures, all of which are proposed to be removed upon further development of the property. The property is within the “Neighborhood 2” land use designation in the General Plan, which envisions neighborhoods comprised of “single-family detached homes on smaller lots, duplexes, triplexes, townhomes, and smaller multifamily buildings”. This Neighborhood 2 land use specifies densities ranging between 6 and 18 units per acre with 2-3 story buildings. The property is connected to 900 East through a single access. This access is through an existing 30-foot-wide access easement across the northern portion of the Grape Ivy HOA property. Subsequently, if approved, the applicant intends to develop the property as a 20 residential unit townhome development, in accordance with Millcreek’s zoning and development standards as follows:

- Twenty (20) residential townhome style units comprised within four separate buildings per the concept plan provided.
- The proposal includes a variety of 1-, 2-, and 3- bedroom units.
- Each unit would include a minimum of 2 car garages.
- Open space percentages and amenities shall be as required by the R-M Zone.
- For Ownership.
- Reconstruct much of Grape Ivy Way.

Sanderson presented the zoning map, Future Land Use map, density map, proposed site plan, proposed landscape plan, and renderings of the proposed buildings to the commission. He presented the conclusions and recommendations of the geologic study and the traffic study. There were no recommended mitigation measures from either study. He said the proposed zone would allow for 13 units per acre. The proposal met General Plan Goal N-1 through strategy 1.5 and Goal N-2 through strategy 1.4.

A neighborhood meeting was held on March 21, 2024, and Sanderson said the neighbors and developers seemed to come to an understanding on a fair amount of items. The Millcreek Community Council made a positive recommendation (7-4 vote) to approve the application subject to a development agreement to include the following items:

- Limit building heights to 35’ tall and require the materials and colors per the concept elevation plans.
- Require a new six-foot-tall perimeter privacy fence surrounding the CW Urban development.

- Require extra trees along the west side of the subject property, per the concept landscape plan.
- Require a minimum 15 side yard building setback along the west property line per the concept site plan.
- Require the applicant to plat the units via a subdivision, providing owner occupied housing as a “for sale” product.
- No Short-term Rentals

Sanderson said staff recommended approval of the application subject to a development agreement, which would include considerations on a 20 unit limit, building height limit of 35 feet tall, a 6-foot masonry fence, extra trees on the west side, a minimum 15 foot side yard building setback, individual ownership, improving Grape Ivy Way, and emergency vehicular access recommended by the fire department. If the rezone was approved, the applicant would bring a subdivision application back to the commission to provide for individual ownership. Sanderson noted each unit would have 2 car garages. There would be guest parking stalls on Grape Ivy Way and inside the development.

Commissioner Vance asked if the need for the rezone was based on density. Sanderson confirmed.

Chase Freebairn, applicant, wants a safe neighborhood. He felt the project could clean up the area. He appreciated the city’s assistance and the neighborhood’s input.

Commissioner Wright asked if the only single-family residences in the area were the ones being proposed to be removed. Freebairn confirmed. Commissioner Wright asked what the lowest height and density would be for the developers. Freebairn said what was being proposed, 20 units. The maximum height is 35 feet. Commissioner Wright asked about the height of the units to the west of the property. It was mentioned about 25 feet, two stories. Chair LaMar asked about perimeter fencing. Freebairn needed to clarify the new fencing, but if existing fencing was on their property, it would be replaced.

Chair LaMar opened the public hearing.

Marcia Walke, Grape Ivy Way, said she was a landscape painter. She questioned the rezone when duplexes could be built. She said this would destroy the last piece of green in west Millcreek. She said there was a fault line on the property.

Cori Semon, Grape Ivy Way, said in 2019 the planning commission decided to not allow 22 units on the property because of density. She pointed out the ingress/egress for the community behind her house being very narrow. She struggled with the proposed number of units.

Erin McCormack said in 2019, 22 units were considered excessive. The planning commission unanimously voted no to the requested rezone then for 22 units. She said that applicant rescinded their application. She acknowledged how narrow the roadway was. All of the high density was being put in the same area of the city. If the developer could not make fewer units work economically, it should not be a problem for the existing residents.

Hannah Bybee Byers expressed concerns with high density, parking, traffic, privacy, noise, and light pollution.

Jeff Fraza, HOA President, said the HOA owned Grape Ivy Way up to the property line. He noted that it has become increasingly difficult to turn onto 900 East from Grape Ivy Way.

Julee Millard expressed concern with public safety access, based on personal experience. She said people do not put cars in the garage, so the surface parking count should be greater. She was against the rezone.

Chair LaMar closed the public hearing.

Commissioner Wright asked about the access to the north on 3745 S. Sanderson said it would be emergency access, 3745 S is a private road. Chair LaMar asked about sidewalks on both sides of Grape Ivy Way since it was wider than 25 feet wide (Millcreek code 19.78.030). Jake Green said the code did not acknowledge existing access. Sanderson thought the sidewalk could be on either side. He showed the commission the private street cross section. Commissioner Soule asked if the existing duplex had sidewalks. Sanderson confirmed but said it was in poor condition. Green said the fire code allowed 20-foot-wide streets. The 30-foot right-of-way matched public street standards. Chair LaMar brought up tree replacement. Sanderson said as many trees as possible would be preserved. The applicant would be required to have an arborist assess the trees. He also said that the hammerhead turnaround was approved by Unified Fire Authority. The traffic study recommended no parking on the north side and no designated parking on the south side of Grape Ivy. There is also a recommendation to widen the radius from Grape Ivy onto 900 East to create clear vision. Chair LaMar asked about a minimum width for drivability. Sanderson said there should be enough space for two travel lanes and parking on one side. McCormack noted the parking on the south side of Grape Ivy Way had painted stalls and parking had been ongoing there since the community was built in 1999.

Commissioner Vance asked what density the rezone would allow without a development agreement. Sanderson said 32 units. Chair LaMar said the commission in 2019 did not have enough information to make an informed decision. Commissioner Lofgren confirmed that the density and heights of the proposal met the Neighborhood 2 designation in the General Plan. Chair LaMar said this proposal makes more sense than the 2019 proposal. Commissioner Vance thought 20 units was a good balance for a rezone in the area. Chair LaMar was in favor of the rezone and then figuring out details in the conditional use.

Brems felt some conditions may be better suited to a zone condition than a development agreement. He said new legislation requires development agreements be treated the same as a zoning change. He said he and the public had not seen a drafted development agreement. He said the problem was how to keep the units "for sale". Density could be a zoning condition. He was not sure if individual platting could be a zoning condition. Lilly said setback, height, and use could be zoning conditions. The commission discussed expirations of development agreements. Brems said if development agreements are not acted upon, the zone reverts to A-1. Sanderson said if the rezone was approved, an application for a conditional use permit and a subdivision would come back before the commission.

Commissioner Lofgren moved that the Planning Commission recommend approval of application file number ZM-24-004, subject to a development agreement to include the recommended items as recommended by staff or preferably as zoning conditions if possible. Commissioner Vance seconded. Chair LaMar called for the vote. Chair LaMar voted yes, Commissioner Anderson voted yes, Commissioner Lofgren voted yes, Commissioner Soule voted yes, Commissioner Vance voted yes, and Commissioner Wright voted yes. The motion passed unanimously.

The commission took a break from 7:10-7:27pm. Commissioner Anderson left the meeting.

1.3 Consideration of ZT-24-004, Update to Millcreek's Wireless Telecommunications Code Planner: Brad Sanderson

Brad Sanderson said the current code on wireless telecommunications involved anything from a roof mount, wall mount, and freestanding structure. He said the code proposal would impose conditions that the commission would have otherwise imposed for a conditional use. Permitted uses would have design standards. He highlighted recent Federal Communications Commission (FCC) developments that necessitate updates to the local code to align with federal standards. Sanderson explained that the proposed code amendments aim to streamline the approval process for telecommunication facilities by integrating necessary federal regulations directly into local codes, thereby avoiding repeated negotiations for each installation.

Sanderson detailed the proposed changes, starting with personal transmission equipment such as satellite dish antennas, emphasizing a preference for limiting their size and placement on residential properties to minimize visual impact. He then moved on to commercial transmission equipment, discussing new guidelines for ground equipment placement near residential zones to mitigate noise and visual disruption. Sanderson underscored the importance of sound studies for equipment close to residential areas to ensure compliance with noise regulations.

The discussion then turned to different types of telecommunication facilities, including wall mounts, roof mounts, and freestanding structures. Sanderson proposed stricter guidelines for wall and roof mounts to improve aesthetic integration with existing buildings. Regarding freestanding structures, he explained the introduction of a new category for stealth freestanding structures under 45 feet tall, intended to blend into neighborhood environments without overshadowing residential areas. He showed the commission pictures of freestanding stealth structures, such as flag poles, light poles, a large tree and cactus, a water tower, a boulder, and a clock tower.

Sanderson highlighted proposed changes for monopoles, including increased setback requirements from residential properties and restrictions on height to address community concerns and align with federal guidelines. He acknowledged challenges related to federal mandates that allow modifications to approved tower heights without local consent, a concern echoed by community councils advocating for stricter height limits. The Federal Communications Commission has determined that a modification substantially changes the physical dimensions of a wireless tower or base station under 47 U.S.C. 1455(a) if it meets one of six enumerated criteria under 47 C.F.R. 1.6100.

Commissioner Soule highlighted a local example of companies not removing unused poles. She recommended the city get ahead of that problem. Sanderson said that would be a private property issue unless the poles were on public or quasi-public property. Chair LaMar asked if a monopole could also be stealth. Sanderson said yes. Poles over 60 feet in height are monopoles, but they could still be stealth. The surrounding environment has a lot to do with stealth. Sanderson provided an example of a recent 60-foot-tall pole near Home Depot, emphasizing how effective design and surrounding vegetation can influence the visual impact of telecommunication structures. He highlighted the importance of context in determining appropriate stealth measures to mitigate aesthetic concerns in residential areas.

The conversation then shifted to setback requirements for tall structures under the proposed code, with Sanderson explaining that the setback would be determined based on the height of the pole. Chair LaMar asked about the distance from surrounding residential. Sanderson addressed concerns about proximity to residential areas and the discretion granted to the planning director under the proposed code to adjust requirements in certain situations to accommodate local conditions like existing tree cover or terrain features. Regarding technical specifications for wall-mounted antennas, Sanderson responded to questions about the optimal distance from the building and potential impacts on transmission quality. He clarified that the proposed reduction in distance from 48 inches to 24 inches is unlikely to affect transmission capabilities significantly, as antennas can be adjusted for optimal projection even when mounted closer to the structure. Sanderson addressed inquiries about amateur radio antennas, clarifying that such installations fall outside the scope of the telecommunications code and are not subject to its regulations. He underscored that while the code aims to regulate commercial telecommunications infrastructure, it does not extend to personal amateur radio installations or residential satellite dishes beyond basic height and placement restrictions. HAM radios were exempt. Commissioner Soule brought up an example of multiple satellites on roofs.

Chair LaMar opened the public hearing.

Steve Thompson, Granite School District, expressed concern about how proposed telecommunications code changes would affect the District's existing cell tower sites in Millcreek. He confirmed having two towers, both under 60 feet, one at Churchill Junior High School and another at Crestview Elementary School, with one designed to resemble a pine tree and the other a standard pole structure. Thompson sought reassurance that these installations would comply with the new regulations, particularly focusing on stealth antennas, as they also plan potential future installations at Skyline High School. He highlighted challenges in managing contracts with service providers like AT&T, emphasizing the need for efficient removal processes when contracts end, citing recent experiences with tower decommissioning due to corporate consolidations. Thompson also discussed industry trends towards micro sites and a hub-and-spoke approach to cell tower deployment, anticipating fewer large towers and more distributed small cell sites in urban areas. He sought clarification on whether regulatory constraints would limit his ability to install multiple antennas at close proximity locations like Skyline High School's stadium lights, given providers' preferences for separate infrastructure to avoid co-location.

Sanderson said stealth poles did not have a separation requirement. Chair LaMar asked if “stealth” was defined. Sanderson said the premise was concealment, it would be case by case, but staff could attempt to define it.

Chair LaMar closed the public hearing.

Commissioner Vance said a 60-foot limitation made sense. Stealth towers should blend, not make them more obvious to being a cell tower.

Commissioner Vance, based on the staff report and the content therein, including the recommendations, findings, and conclusions, moved that the Planning Commission make a positive recommendation to the City Council to approve the application file ZT-24-004 as proposed. Commissioner Lofgren seconded. Chair LaMar called for the vote. Chair LaMar voted yes, Commissioner Lofgren voted yes, Commissioner Soule voted yes, Commissioner Vance voted yes, and Commissioner Wright voted yes. The motion passed unanimously.

1.4 Consideration of ZT-24-002, Update to Millcreek’s Procedures Chapter Planner: Francis Lilly

Francis Lilly said application procedures, roles of public bodies, and noticing requirements are found in different sections of Millcreek code. Staff recommended placing these requirements into a single sequence of chapters. He provided an update on proposed changes to application procedures within the city's code. He highlighted the current inconsistencies and ambiguities stemming from various provisions written at different times. The ordinance aims to consolidate these into clear chapters, each addressing specific aspects of application procedures. Lilly emphasized the document's utility as a comprehensive reference for understanding the steps and requirements associated with different types of applications, from rezoning to minor amendments. He noted improvements in clarity and the addition of summary tables to facilitate easier navigation and understanding. Lilly also discussed enhancements to public engagement processes, such as requiring neighborhood meetings and ensuring consistent notification to Community Councils. Overall, the ordinance represents a significant effort to streamline processes and enhance transparency for applicants and stakeholders alike.

Lilly recommended adding a section to administrative approvals on reasonable accommodations. He showed the commission tables on land use authority designations, roles of recommending bodies by application type, and meeting and noticing requirements. The Mount Olympus Community Council and Canyon Rim Citizens Association unanimously voted in favor of the adoption of the proposed code as written. The Millcreek Community council voted unanimously for adoption of the proposal subject to the addition of language to ensure that an applicant required to conduct a neighborhood meeting gives email notice to the relevant community councils one week prior to the meeting. The East Mill Creek Community Council (EMCCC) voted unanimously in favor of the proposal subject to typographical corrections suggested by the EMCCC chair.

Staff finds that:

- The Application Procedures Ordinance provides a consolidated, clear, and understandable roadmap for application approval procedures, for the benefit of applicants, staff, and reviewing and recommending bodies.

- The use of consistent language throughout the Application Procedures Ordinance will aid in discussion and interpretation of expectations regarding applications with applicants and reviewing and recommending bodies.
- The inclusion of summary tables for application procedures requiring public meetings and notice will aid in readability and in the consistent enforcement of application requirements.
- The delineation of administrative and legislative actions, and the corresponding recommendations, complies with Utah State statutes.

Lilly said staff would create a web portal for applicants walking through the application steps. Chair LaMar asked about a site plan review. Lilly said a site plan review is typically for commercial uses, but it is done for structural alteration, relandscaping, adding or changing parking, or anything that is a permitted use that does not require planning commission review. Chair LaMar asked about reasonable accommodations. Lilly said they happen for financial and therapeutic reasons for people caring for those with disabilities. The disability could be mental, physical, or recovery from a substance use disorder needing to exceed the base requirements in the zone for occupancy. That is where group homes come from. A group home of four or fewer unrelated adults do not need a reasonable accommodation because it fits within the code definition of a “family.” For therapeutic reasons, many group homes like to have six or seven residents plus a resident manager. Group homes want to be in a residential environment or some sort of institutional setting that is adjacent to a residential environment. Federal case law has created the requirement of providing reasonable accommodation subject to conditions for these uses. Commissioner Soule asked about “signs of sufficient size” being unspecific. Lilly said the language came from state code.

Chair LaMar opened the public hearing.

There were no comments.

Chair LaMar closed the public hearing.

Commissioner Soule moved that the Planning Commission recommend that the City Council adopt the proposed Application Procedures Ordinance, file number ZT-24-002, subject to the addition of an application procedure for reasonable accommodations and an additional technical review by staff and the City Attorney. Commissioner Lofgren seconded. Chair LaMar called for the vote. Chair LaMar voted yes, Commissioner Lofgren voted yes, Commissioner Soule voted yes, Commissioner Vance voted yes, and Commissioner Wright voted yes. The motion passed unanimously.

2. Commission Business

2.1 Oaths of Office for Commissioner Ian Wright and Commissioner Diane Soule

The city recorder administered the oaths of office to the reappointed commissioners.

2.2 Approval of May 15, 2024 Regular Meeting Minutes

Chair LaMar moved to approve the May 15, 2024 meeting minutes as presented in the packet. Commissioner Soule seconded. Chair LaMar called for the vote. Chair LaMar voted yes, Commissioner Lofgren voted yes, Commissioner Soule voted yes, Commissioner Vance voted yes, and Commissioner Wright voted yes. The motion passed unanimously.

2.3 Updates from the Planning and Zoning Director

Francis Lilly said the code update was almost done. Robert May noted he would be proposing a draft affordable housing ordinance. The city has incentivized affordable housing through rezoning property near transit stations, adopting reduced parking requirements, utilizing community reinvestment area funds to offset impact fees, amending the R Zone and Residential Compatibility Overlay Zone (RCOZ), and revising the accessory dwelling unit (ADU) ordinance. He proposed other incentives, such as density bonuses, increased building elevations, open space reduction, ground floor requirements waived, fee waivers, streamlined application process, and parking reductions. The limitations and restrictions would identify when the incentives could apply. He reported that the Murray North Station Area Plan was adopted and will now go through the certification process with the Wasatch Front Regional Council (WFRC). WFRC granted Millcreek and South Salt Lake City funding for the Meadowbrook Station Area Plan, so that process will start soon.

Commissioner Soule thanked Lilly for the City Center development summary he emailed to the commission.

3. Calendar of Upcoming Meetings

- City Council Mtg. 6/24/24 7:00 p.m.
- Mt. Olympus Community Council Mtg., 7/1/24, 6:00 p.m.
- Millcreek Community Council Mtg., 7/2/24, 6:30 p.m.
- Canyon Rim Citizens Association Mtg., 7/3/24, 6:30 p.m.
- East Mill Creek Community Council Mtg., TBD
- City Council Mtg. 7/8/24 7:00 p.m.
- Historic Preservation Commission Mtg., 7/11/24, 6:00 p.m.
- Planning Commission Mtg., 7/17/24, 5:00 p.m.

ADJOURNED: Commissioner Lofgren moved to adjourn the meeting at 8:31 p.m. Commissioner Wright seconded. Chair LaMar voted yes, Commissioner Lofgren voted yes, Commissioner Soule voted yes, Commissioner Vance voted yes, and Commissioner Wright voted yes. The motion passed unanimously.

APPROVED: _____ **Date**
 Shawn LaMar, Chair

Attest: _____
 Elyse Sullivan, Recorder