



GREATER SALT LAKE
**Municipal Services
District**
PLANNING & DEVELOPMENT SERVICES

File # PER2024-0001079

APPLICATION FOR SLOPE WAIVER SUMMARY AND RECOMMENDATION

Public Body: Salt Lake County Planning Commission

Meeting Date: July 10th, 2024

Parcel ID: Parcel # [28123280060000](#)

Acreage: 5.60

Current Zone: FR-20 (FCOZ)

Property Address: 3870 Alta Approach Road

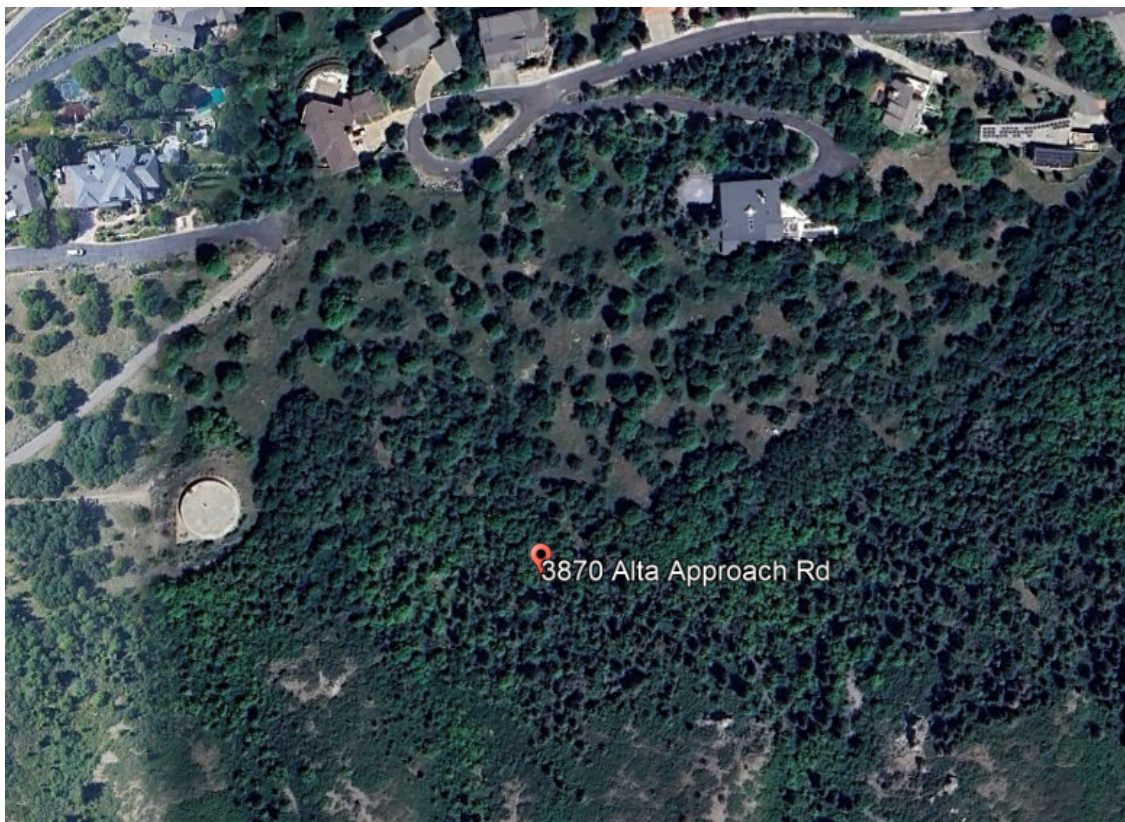
Request: Request for slope waiver to develop on slopes over 30% (under 40%)

Planner: Jim Nakamura

Planning Staff Recommendation: Approval

Applicant Name: Bill Van Sickle

SITE & VICINITY DESCRIPTION



Request: Slope waiver, slopes exceeding 30% slopes (under 40%), single-family dwelling on a lot of record.

The property is located near the end of Alta approach road on the South side of the road (above) The subject property is platted as Lot 12 of the Alta approach PUD (exhibit B) which was platted in 1987, prior to enactment of Chapter 19.72, the Foothills and Canyons Overlay Zone, and its limits on development of steeper slopes.

APPLICATION DESCRIPTION

Mr. Van Sickle, the applicant/architect, is requesting a slope waiver for siting of a single-family dwelling to be located on slopes exceeding 30% grade (under 40% grade) located in the Foothills and Canyons overlay zone.

ISSUES OF CONCERN

The MSD Planning Staff has not found any significant concerns associated with this proposal.

STANDARDS AND FINDINGS

Standard: 19.72.060

D. Waiver of Slope Protection Standards for Lots of Record.

1. The planning commission may only waive or modify the following slope protection standards as applied to development on lots of record and in subdivisions that were approved prior to the effective date of this chapter:
 - a. Slope protection standards prohibiting development on slopes greater than thirty percent or in ridge line protection areas, as set forth above.
 - b. Limitations on the crossing of slopes greater than thirty percent by any street, road, private access road or other vehicular route, as addressed in Subsection [19.72.080](#).
2. The planning commission may only waive these standards upon satisfaction of the following criteria:
 - a. Strict compliance with the above slope protection standards.
 - i. Renders the site undevelopable, or

Findings: *As shown on the proposed site plan and slope analysis the majority of the parcel is in excess of 30%. Based on slope analysis (Exhibit C) development of a new single-family home within the areas of 30% or less would be deemed unreasonable.*

- ii. Results in substantial economic hardship not created by the applicant or otherwise self-imposed, or

Findings: *See finding in (i) above. Applicant did not create this substantial economic hardship; the lot existed prior to enactment of the Foothills Canyons and Overlay Zone and its limits on development of steeper slopes.*

- iii. Results in a building location that requires excessive grading, vegetation removal, or driveway distances in conflict with the purposes of this chapter; and
 - b. The development substantially conforms to all other development, site design, and environmental standards of this chapter and in all other applicable ordinances and codes.

Findings: *The proposed development (Exhibit D) has met the conceptual requirements of the Foothills/canyons overlay zone and subsequently will be reviewed for technical compliance.*

Request: Slope waiver, slopes exceeding 30% slopes (under 40%), single-family dwelling on a lot of record.

3. In granting a waiver from slope and ridge line protection standards, the planning commission may impose reasonable conditions to mitigate the impacts, if any, that the planning commission determines the proposed development has on adjacent properties and the surrounding environment.

Findings: *MSD staff has not identified any negative impacts that the proposed development has on adjacent properties or the surrounding environment.*

4. Notwithstanding its discretion to grant waivers for lots of record from the slope protection standards set forth in this chapter, in no case shall the planning commission permit development other than roads on slopes greater than forty percent.

Findings: *MSD staff has determined that the proposed single-family development will not be located on slopes exceeding 40% (Exhibit C)*

PLANNING STAFF RECOMMENDATION

Based on the findings stated above, the MSD Planning Staff recommends that Salt Lake County Planning Commission grant approval for a Waiver of Slope Protection for lot #12 of the Alta Approach PUD. With the condition that the application meet the requirements of the Foothills/canyons overlay zone and other applicable regulations pursuant to staff review for technical compliance.

ATTACHMENTS:

1. Exhibit A (Site Plan)
2. Exhibit B (Alta approach PUD)
3. Exhibit C (Slope Analysis)
4. Exhibit D (conceptual architectural plans)
5. Exhibit E (grading/drainage plan)



SITE SUMMARY TABLE		
DESCRIPTION	AREA (SQ)	PERCENTAGE
PAVEMENT	4.208	2%
ROOF	4.446	2%
LANDSCAPING	166.164	98%
TOTAL SITE	186.160	
	432.42955	100%

1. ALL ABOUT DIVERSITY: After the consensus-building activities are completed, the facilitator can lead a discussion about the importance of diversity in the workplace.
2. ALL ABOUT DIVERSITY: After the consensus-building activities are completed, the facilitator can lead a discussion about the importance of diversity in the workplace.
3. ALL ABOUT DIVERSITY: After the consensus-building activities are completed, the facilitator can lead a discussion about the importance of diversity in the workplace.
4. ALL ABOUT DIVERSITY: After the consensus-building activities are completed, the facilitator can lead a discussion about the importance of diversity in the workplace.
5. ALL ABOUT DIVERSITY: After the consensus-building activities are completed, the facilitator can lead a discussion about the importance of diversity in the workplace.
6. ALL ABOUT DIVERSITY: After the consensus-building activities are completed, the facilitator can lead a discussion about the importance of diversity in the workplace.
7. ALL ABOUT DIVERSITY: After the consensus-building activities are completed, the facilitator can lead a discussion about the importance of diversity in the workplace.

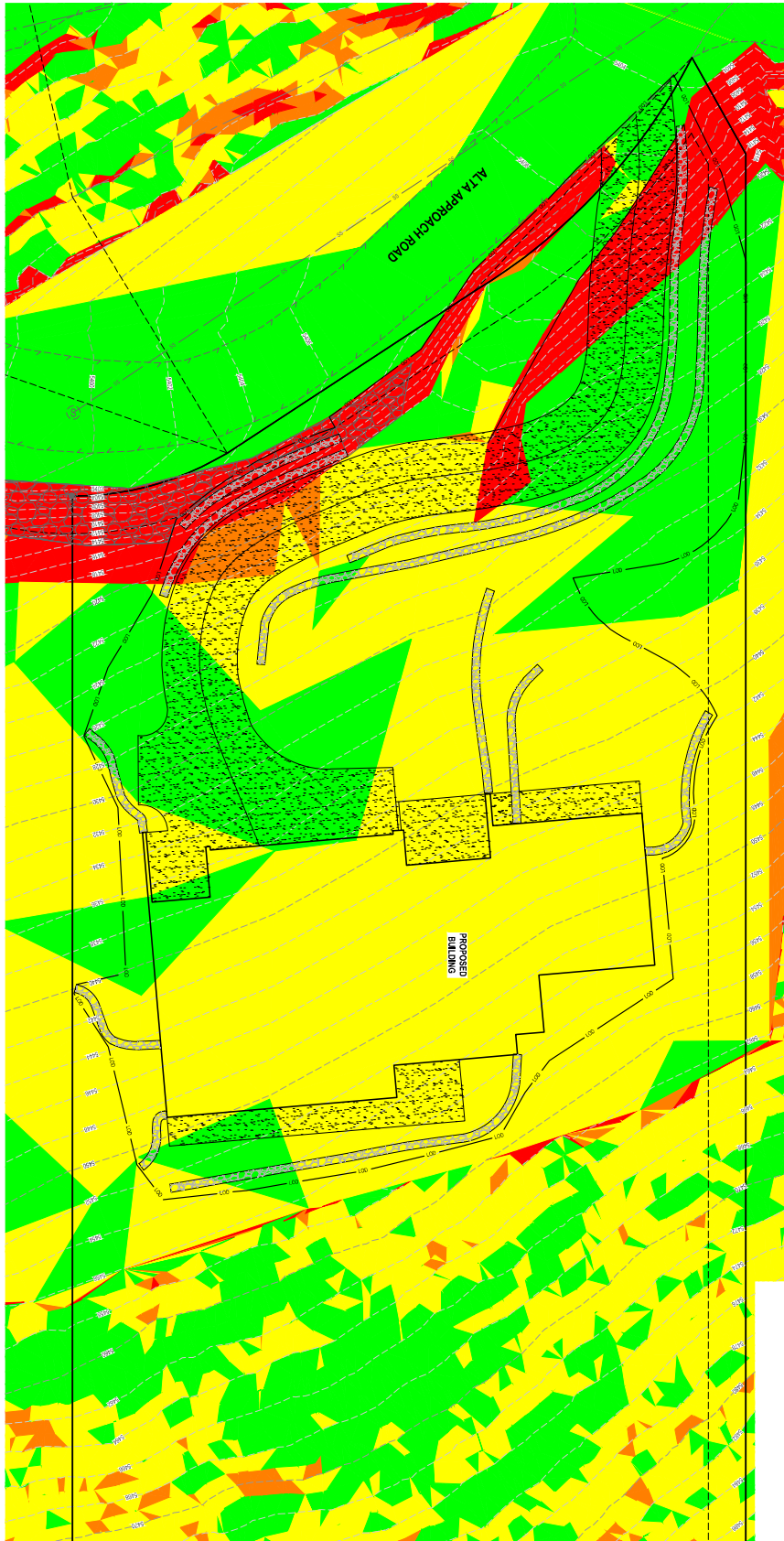
- ① 4" THICK CONCRETE PAVEMENT WITH 4" THICK UNGRADED BASE COURSE
- ② ROCK RETAINING WALL PER DETAIL, 10'-00". SEE FOUNDING PLAN FOR ELEVATION INFORMATION.
- ③ CONCRETE IN OTHER CONNECTED STRUCTURAL ELEMENTS TO BE PREPARED SUBSEQUENT.

DESCRIPTION	AREA (SQ)	PERCENTAGE
PAVEMENT	4,208	2%
ROOF	4,442	2%
LANDSCAPING	188,184	98%
TOTAL SITE	196,834	100%
	4.57 ACRES	

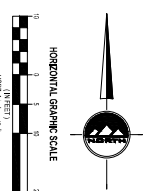
[illegible]

Exhibit B

[illegible]



SLOPE TABLE			
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR
1	2.00%	4.00%	GREEN
2	4.00%	6.00%	YELLOW
3	6.00%	8.00%	ORANGE
4	8.00%	10.00%	RED



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ALL STANDARDS AND SPECIFICATIONS.
 3. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ENGINEERING PROFESSIONAL SEAL, BUT NOT LIMITED TO, THE REQUIREMENTS OF THE ENGINEERING PROFESSIONAL SEAL, AND THE REQUIREMENTS OF THE ENGINEERING PROFESSIONAL SEAL, AND THE REQUIREMENTS OF THE ENGINEERING PROFESSIONAL SEAL.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

ENSIGN
THE STANDARD IN ENGINEERING

SANDY
4500 W. 1000 S. SUITE 500
SANDY, UTAH 84070
PHONE: 801.255.0029
FAX: 801.255.0029
LAYOUT
PHONE: 801.547.1100

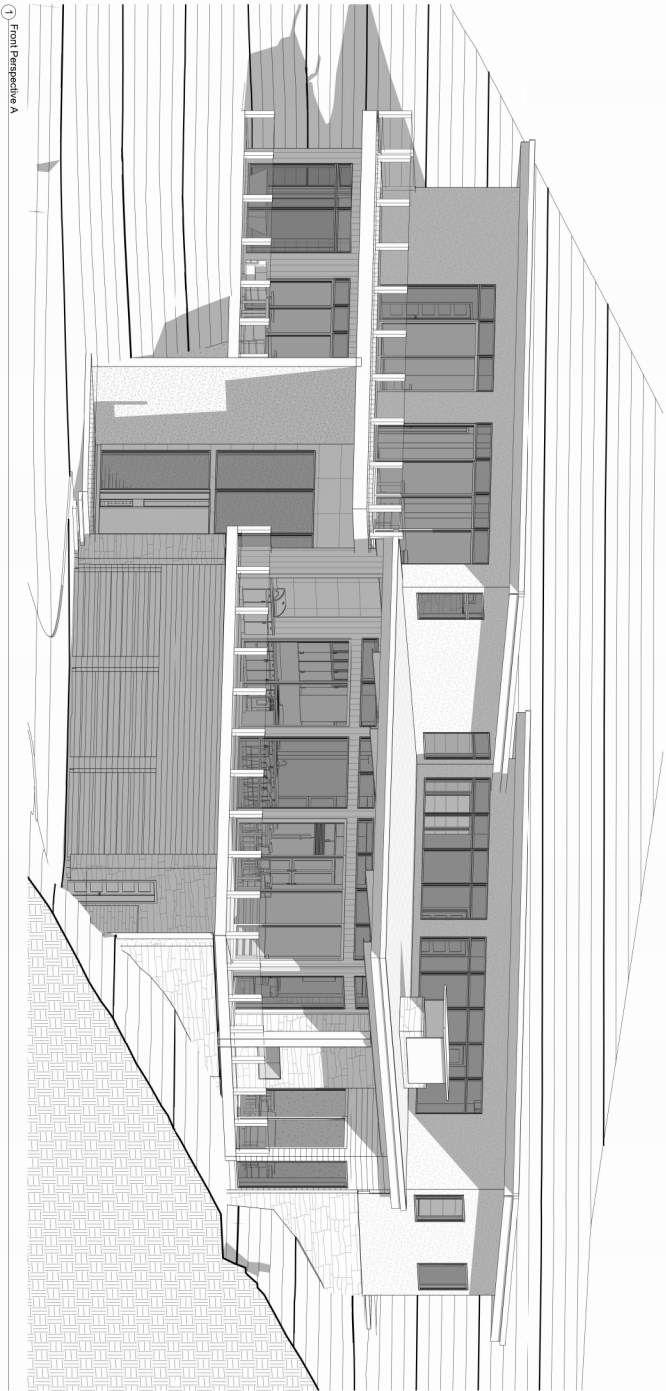
TOOBE
PHONE: 435.843.3000
CEDAR CITY
PHONE: 435.865.1453
RICHFIELD
PHONE: 435.865.2553
WWW.ENSIGN-ENG.COM

FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT, THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENGINEERING PROFESSIONAL SEAL, BUT NOT LIMITED TO, THE REQUIREMENTS OF THE ENGINEERING PROFESSIONAL SEAL, AND THE REQUIREMENTS OF THE ENGINEERING PROFESSIONAL SEAL.

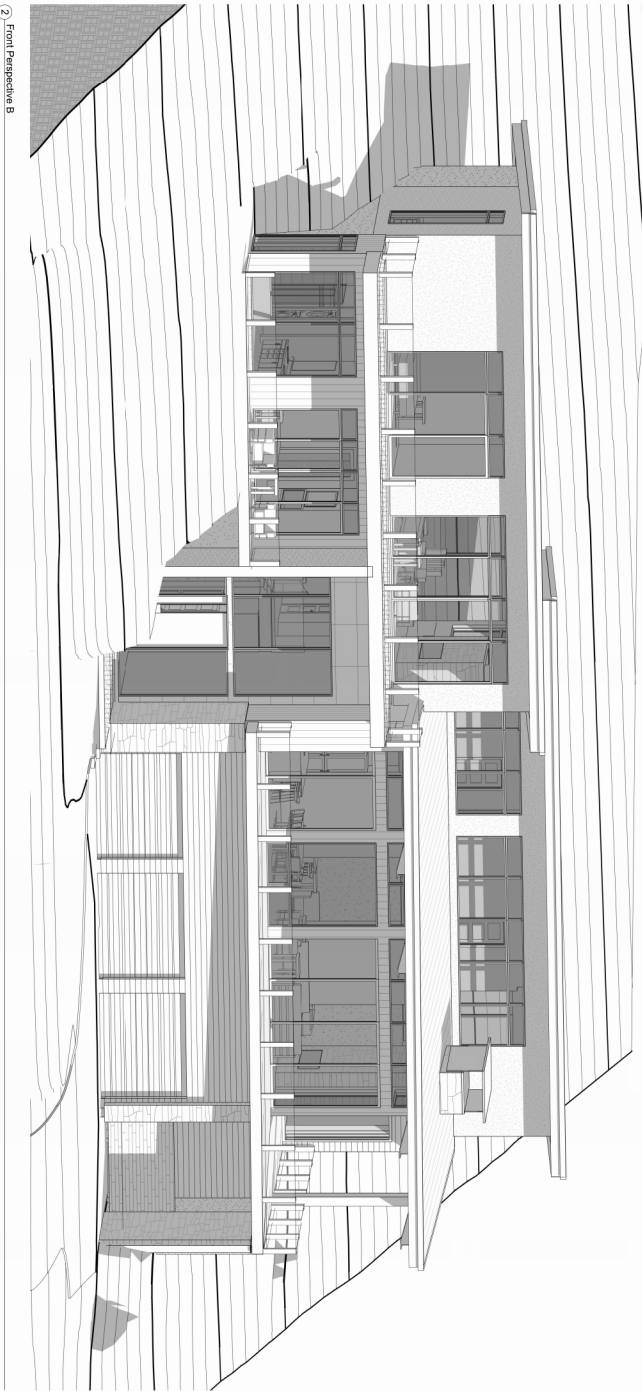
KONARSKI RESIDENCE
ALTA APPROACH LOT 2
3870 EAST ALTA APPROACH ROAD
SANDY, UTAH

SCOPE ANALYSIS
EXHIBIT

PROJECT NUMBER: 2023-147
DATE: 12/31/2023
BY: [Signature]
C-300



1 Front Perspective A



2 Front Perspective B

1/30/2024 2:10:19 PM

A3.01
SHEET

DATE
30 JAN 2024

Isometric
Elevations
SCALE:

Konarski Res.
Alta Approach Lot 2
3870 E Alta Approach Rd
Sandy, Utah 84092

Revision Schedule
Revision Number | Revision Date

 **VAN SICKLE**
DESIGN & DRAFTING
786 DIVISION STREET, SUITE 102
PARK CITY, UTAH 84098
www.vansickledesignanddrafting.com

1. The client has approved the design and is responsible for obtaining all necessary permits and approvals from the local authorities. The client is also responsible for providing all necessary information and documentation to the designer/drafting firm.

2. The designer/drafting firm is responsible for providing the design and drafting services in accordance with the scope of work and the agreed-upon fee. The designer/drafting firm is also responsible for ensuring that the design and drafting are of high quality and meet the client's requirements.

3. The designer/drafting firm is not responsible for any errors or omissions in the design and drafting, or for any consequences arising therefrom. The client is responsible for verifying the accuracy and completeness of the design and drafting.

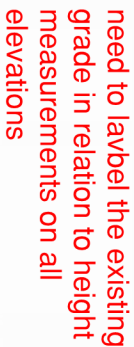
4. The designer/drafting firm is not responsible for any construction or other work that may be required to implement the design and drafting. The client is responsible for hiring and managing any contractors or other parties involved in the construction or other work.

5. The designer/drafting firm is not responsible for any changes or modifications to the design and drafting after they have been approved by the client. The client is responsible for any such changes or modifications.

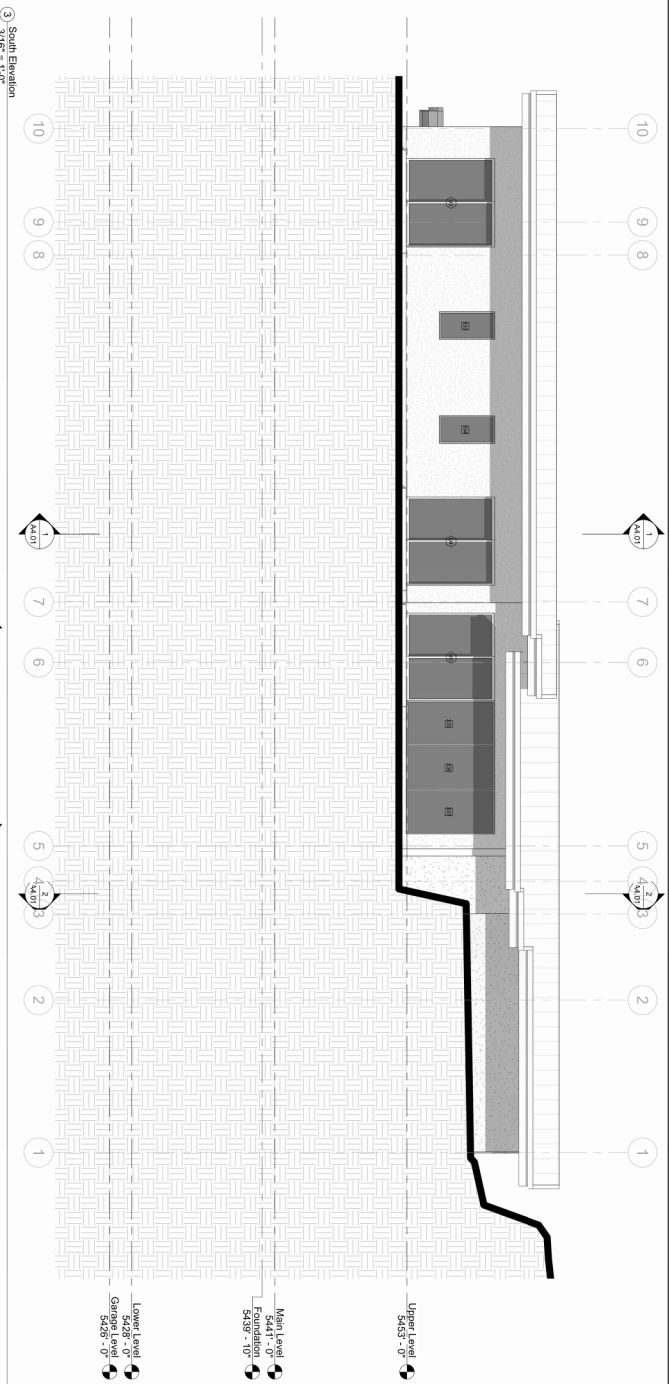
6. The designer/drafting firm is not responsible for any third-party claims or actions against the client or the designer/drafting firm. The client is responsible for any such claims or actions.

7. The designer/drafting firm is not responsible for any legal or other consequences arising from the design and drafting. The client is responsible for any such consequences.

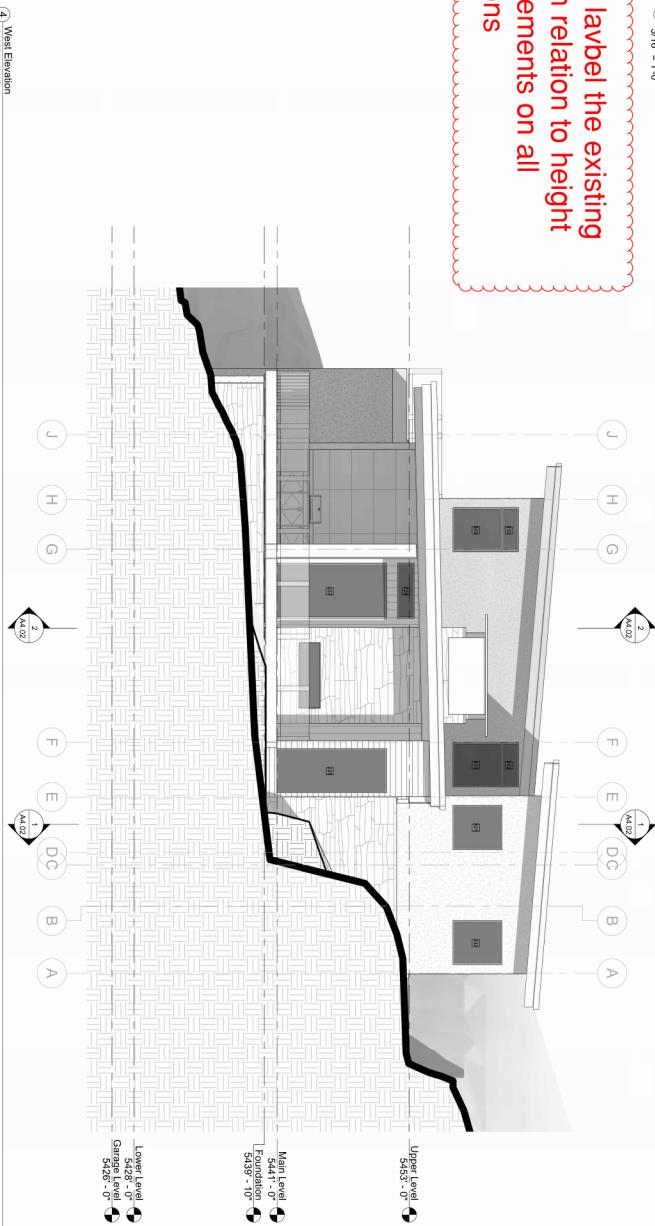
8. The designer/drafting firm is not responsible for any other matters not specifically mentioned in this agreement. The client is responsible for any such matters.



A3.02



need to label the existing grade in relation to height measurements on all elevations



1/30/2024 2:10:32 PM

DATE 30 JAN 2024 SHEET A3.03	Elevations SCALE: 3/16" = 1'-0"	Konarski Res. Alta Approach Lot 2 3870 E Alta Approach Rd Sandy, Utah 84092	Revision Schedule Revision Number Revision Date	VAN SICKLE DESIGN & DRAFTING 786 DIVISION STREET, SUITE 102 PARK CITY, UTAH 84098 www.vansickledesignanddrafting.com 1. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 2. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 3. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 4. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 5. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 6. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 7. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 8. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 9. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc. 10. This drawing is the property of Van Sickle Design & Drafting, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Van Sickle Design & Drafting, Inc.
--	--	---	--	--



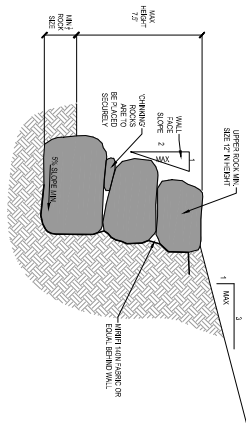
GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL PROPOSED WORK SHALL COMPLY WITH ALL STANDARDS AND SPECIFICATIONS.
3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, INCLUDING BUT NOT LIMITED TO, REMOVAL OF UNDESIRABLE MATERIALS, AND OTHERS, AS NOTED AND AS NOTED BY THE ENGINEER. THE ENGINEER'S RECOMMENDATIONS SHALL BE FOLLOWED BY THE CONTRACTOR AND SHALL BE ACCEPTED BY THE AGENCY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCY.
5. ELEVATIONS HAVE BEEN INDICATED FOR CLARITY. ALL DIMENSIONS ARE EXCEPT FOR AROUND ON HORIZONTALS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AGENCY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AGENCY.
7. ALL UNDESIRABLE MATERIALS SHALL BE REMOVED FROM THE SITE, INCLUDING BUT NOT LIMITED TO, ROCKS, STUMPES, AND OTHERS, AS NOTED AND AS NOTED BY THE ENGINEER.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCY.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AGENCY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AGENCY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCY.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AGENCY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AGENCY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCY.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCY.

SCOPE OF WORK

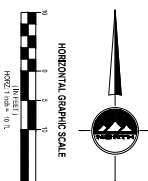
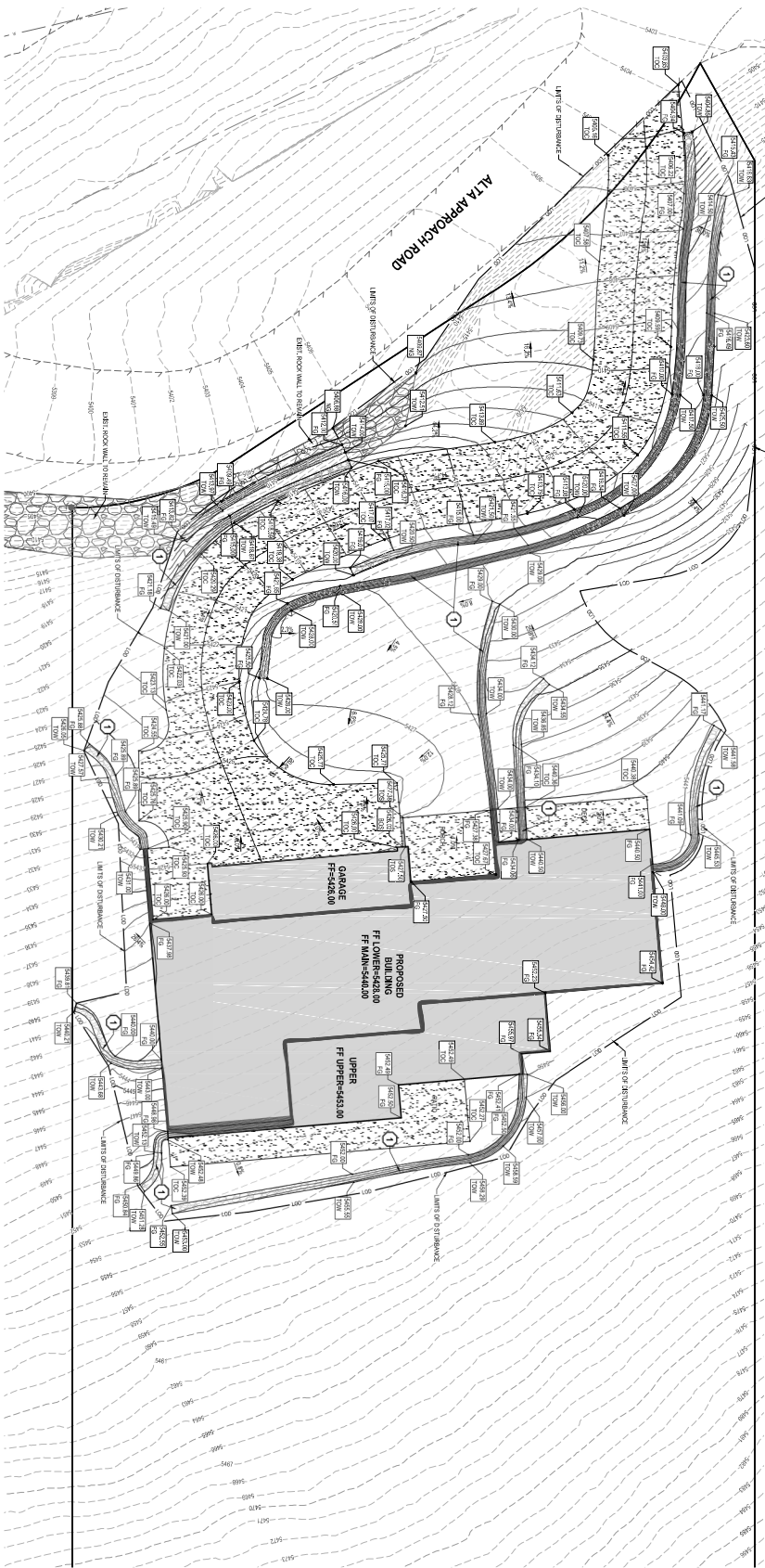
PROVIDE AND INSTALL ROCK RETAINING WALLS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE ENGINEER. THE RETAINING WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AGENCY.

1. ROCK RETAINING WALL, SEE DETAIL, THIS SHEET.



1 ROCK RETAINING WALL

SCALE: NONE



ENSGN
THE STANDARD IN ENGINEERING

SANDY
435 W. 1000 S., SUITE 500
SANDY, UTAH 84062
PHONE: 801.255.0029
FAX: 801.255.0029

LAYTON
PHONE: 801.547.1100

TORRE
PHONE: 435.843.3050

CEDEAR CITY
PHONE: 435.865.1453

RICHFIELD
PHONE: 435.885.2553

WWW.ENSGN.COM

KONARSKI RESIDENCE
ALTA APPROACH LOT 2
3870 EAST ALTA APPROACH ROAD
SANDY, UTAH

GRADING AND DRAINAGE PLAN

C-200

PROJECT: 10000 - 01.1
DATE: 10/1/2023
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]