CLEARFIELD CITY PLANNING COMMISSION MEETING AGENDA

Notice is hereby given that the Clearfield City Planning Commission will hold a regularly scheduled meeting at **6:30 P.M., Wednesday, July 10, 2024,** on the **3rd floor** in the City Council Chambers of the Clearfield City Municipal Building, located at 55 S. State Street, Clearfield, UT 84015.

WORK SESSION – 6:00 PM – Executive Conference Room
Review of agenda items to address questions.

REGULAR SESSION – 6:30 PM- Council Chambers

- CALL TO ORDER – PLEDGE OF ALLEGIANCE
- PLANNING COMMISSION CHAIR STATEMENT
- APPROVAL OF MINUTES
  - None

DECISION ITEMS

Public Hearings:

1. Public Hearing, Discussion and Possible Action on **DA 2024-0601** for an Amendment to the Lakeside Apartments Development Agreement for the proposed mixed-use project to clarify the Development Agreement's permitted successors and assigns. **Location:** 325-375 South State Street (TIN: 12-003-0283). **Parcel Area:** 5.85 Acres. **Zone:** U-C (Urban Core Commerce). **Staff:** Spencer Brimley, Community & Economic Development Director. **(Legislative Action)**
2. Public Hearing, Discussion and Possible Action on **CUP 2022-060127**, a conditional use permit extension request by Garrett Goff with Garn Development for a Marriott TownePlace Suites hotel at the subject location. **Location:** 2000 East Legend Hills Drive (TIN: 09-470-0004). **Project Area:** 2.06 Acres. **Staff:** Brad McIlrath, Senior Planner. **(Administrative Action)**

Scheduled Items:

3. Discussion and Possible Action on **CUP 2024-0503**, a conditional use permit request by Ryun Nacario to operate a cheerleading gym and training facility at the subject location. **Location:** 340 West 1700 South Suite A103-104 (TIN: 12-940-0001). **Parcel Area:** 3.95 Acres. **Zone:** C-2 (Commercial). **Staff:** Tyson Stoddard, Planner. **(Administrative Action)**
4. Discussion and Possible Action on **CUP 2024-0504**, a conditional use permit request by Michael Lyford to operate a plumbing and HVAC business at the subject location. **Location:** 340 West 1700 South Suite B101 (TIN: 12-940-0001). **Parcel Area:** 3.95 Acres. **Zone:** C-2 (Commercial). **Staff:** Tyson Stoddard, Planner. **(Administrative Action)**

DISCUSSION ITEMS

1. Staff Discussion
2. Staff Communications

*****PLANNING COMMISSION MEETING ADJOURNED*****

Dated this 5th day of July 2024.
/s/Tyson Stoddard, Planner

Meetings of the Planning Commission of Clearfield City may be conducted via electronic means pursuant to Utah Code Ann. § 52-4-207 as amended. In such circumstances, contact will be established and maintained via electronic means and the meetings will be conducted pursuant to the Electronic Meetings Policy established in City Code § 1-6-4H for electronic meetings.

Clearfield City, in accordance with the 'Americans with Disabilities Act', provides accommodations and auxiliary communicative aids and services for all those citizens needing assistance. Persons requesting accommodations for City sponsored public meetings, service programs, or events, should call the Customer Service Center at 801-525-2701, giving the City a 48 hour notice.

The Work Session meeting is a public meeting; however, public comments are only received in the formal Planning Commission meeting. The Planning Commission Public Meeting is a public forum where the Planning Commission may receive comment from applicants, the public, applicable agencies and city staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Action may be taken which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

The complete public notice is posted on the Utah Public Notice Website - www.utah.gov/pmn/, the Clearfield City Website - clearfield.city, and at Clearfield City Hall, 55 South State Street, Clearfield, UT 84015. To request a copy of the public notice or for additional inquiries please contact Tyson Stoddard at Clearfield City, tyson.stoddard@clearfieldcity.org & 801-525-2718.

Planning Commission
STAFF REPORT

AGENDA ITEM
#1

TO: Clearfield City Planning Commission

FROM: Spencer W. Brimley, MRED
Community and Economic Development Director

MEETING DATE: Wednesday, July 10th, 2024

SUBJECT: Public Hearing, Discussion and Possible Action on **DA 2024-0601** for an **Amendment to the Lakeside Apartments Development Agreement** for the proposed mixed-use project to clarify the Development Agreement's permitted successors and assigns. **Location:** 325-375 South State Street (TIN: 12-003-0283). **Parcel Area:** 5.85 Acres. **Zone:** U-C (Urban Core Commerce). **(Legislative Action).**

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **forward a recommendation of approval** to the Clearfield City Council, **for** an amendment to the Lakeside Apartments Development Agreement ("DA"), **DA 2024-0601**, for the project located at 325-375 South State Street (TIN: 12-003-0283). This recommendation is based upon the discussion and findings outlined in this report.

This recommendation is based upon the findings and discussion of the staff report; however, as the advisory body to the Clearfield City Council, the Planning Commission may make a different recommendation on its own based upon careful consideration and analysis of the request.

PLANNING COMMISSION RECOMMENDATION OPTIONS:

After careful consideration and analysis of the information presented, the Clearfield City Planning Commission moves to:

1. **Move to recommend approval of DA 2024-0601**, to the Clearfield City Council.
2. **Move to recommend denial of DA 2024-0601**, to the Clearfield City Council.
3. **Move to table DA 2024-0601,** to request additional time to consider the request.

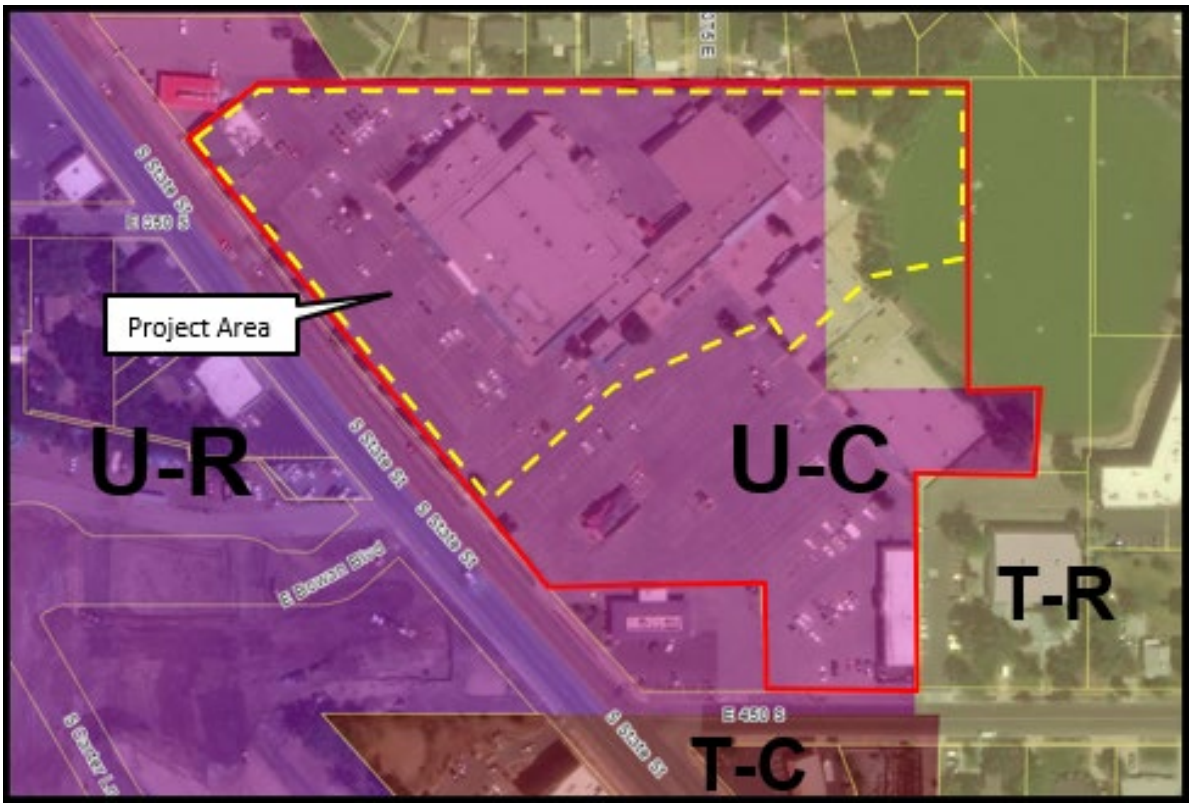
PROJECT SUMMARY

Project Information	
Project Name	Lakeside Apartments Mixed-Use
Site Location	325-375 S. State Street
Tax ID Numbers	12-003-0823
Applicant	Chuck Cowley, Lakeside Development Partners, LLC.
Owner	Bertram M & Barbara C Berns - Trustees

Project Information	
Proposed Actions	Amendment to existing Development Agreement
Current Zoning	U-C (Urban Core Commerce)
Site Area	5.85 Acres

Surrounding Properties and Uses:		Current Zoning District	General Plan Land Use Classification
North	Residential Single-Family	T-R (Town Neighborhood Residential)	Residential
East	Mabey Pond	U-C (Urban Core Commerce)	Mixed Use
South	Baskin Robbins & Title Max Loans	U-C (Urban Core Commerce)	Mixed Use
West	Lotus Anthem	U-R (Urban Mixed Residential)	Mixed Use

Aerial Image & Zoning



BACKGROUND

The applicant, Chuck Cowley, plans to construct a mixed-use project with three (3), six story, mixed use buildings on the north side of a new private street named Waterfront Way. This development will include 296 residential units and approximately 27K square feet of commercial/retail space. The development agreement for this project was executed in February of 2023, and was preceded by the site plan review that was granted approval on December 21, 2022, with conditions. The development team has been finalizing plans to submit for and obtain final land use approval. They are also preparing final plans for permit submittal. During this preparation the developer discovered an issue that was missed when adopting the DA. This oversight applies to how successors or assigns were provided for in the event the need should arise. The developer is requesting an amendment to the executed DA to address this issue and provide the needed clarity for their team. No other sections, except those shown in the DA amendment and listed below will be impacted as a product of this request.

Amendment Request

The applicant is requesting an amendment to the Development Agreement to clarify its language that provides for successors or assigns of the DA. Below, staff provides the language included in the DA and further provides redlines which detail the requested changes.

<u>Article 1 - Definitions</u>

1.3 Definitions:

The term "**Developer**" means Lakeside Development Partners, LLC, or any special purpose LLC, or its affiliates, successors or assigns as set forth in Section 4.7

<u>Article 4 – Miscellaneous Provisions</u>

4.7 Successors and Assigns of Developer

4.7.1. The rights and responsibilities of Developer hereunder may be assigned in whole or in part, by Developer. Developer shall give the City Notice of any assignment within ten (10) days after the event has occurred. Such Notice shall include providing the City with all necessary contact information for the newly responsible party. Developer's assignment of all or any part of the Developer's rights and responsibilities hereunder to any entity not "related" to Developer (as defined by regulations of the Internal Revenue Service in Section 165), shall be subject to the City's approval, which shall not be unreasonably withheld, conditioned or delayed. Notwithstanding the foregoing, any assignment of Developer's rights hereunder to Lakeside Capital Group, LLC or Property Owner for any purpose will not require City approval in any form.

4.7.2 Any assignee of all or any part of Developer's rights and responsibilities under this Agreement shall consent in writing to be bound by the assigned terms and conditions of this Agreement as a condition precedent to the effectiveness of the assignment.

From the included language you will see all affected sections of the DA that are to be amended have been identified in the document as well.

PUBLIC NOTICE AND PUBLIC HEARING REQUIREMENTS

Similar to a zoning text amendment, a development agreement changes the standards for a specific development and therefore should be subject to the same level of public participation and public process as an ordinance amendment. Therefore, because this development agreement includes modifications from FBC standards, a public hearing must be held with the Planning Commission and with the City Council as part of the review and approval process of the amendment.

Notice has been provided on site as well as circulated in accordance with public noticing requirements. No public comment has been received to date.

STAFF RECOMMENDATION/CONCLUSION

Staff recommends that the Planning Commission forward a recommendation of **APPROVAL** of the proposed development agreement amendment to the City Council regarding the requested clarification for the successors and assigns with in the development agreement. This recommendation is based upon the following findings:

1. The proposed development agreement is consistent with the development standards and process of the Downtown Clearfield Form-Based Code.
2. The proposed development agreement complies with the standards for development agreements outlined in City Code.

ATTACHMENTS

1. DRAFT Amendment to the Development Agreement

RECORDING REQUESTED BY &
AFTER RECORDING, RETURN TO:

Clearfield City
Attn: City Recorder
55 South State Street
Clearfield, UT, 84015

With a copy to:

Lakeside Capital Group, LLC
Attn: Chuck Cowley
578 Washington Blvd., Suite 1197
Marina del Rey, CA 90292

Tax Parcel Nos.: 12-003-0306, 12-003-0307

(space above for Recorder's use)

FIRST AMENDMENT TO DEVELOPMENT AGREEMENT
Lakeside Square

THIS FIRST AMENDMENT TO DEVELOPMENT AGREEMENT (this "**Amendment**") is made and entered into as of this ___ day of _____ 2024 (the "**Amendment Effective Date**"), by and between LAKESIDE DEVELOPMENT PARTNERS, LLC, a Utah limited liability company ("**Developer**"), and CLEARFIELD CITY, a body corporate and politic of the State of Utah ("**City**"). The Developer and City shall at times be referred to herein individually as "**Party**" and collectively as "**Parties**."

RECITALS

A. City and Developer entered into that certain Development Agreement approved by the City Council on February 21, 2023, as Ordinance No. 2022-25, which Development Agreement was recorded on February 27, 2023, as Entry No. 3518962, in the office of the Davis County Recorder (the "**Development Agreement**").

B. The Development Agreement, as amended, affects certain real property located in Davis County, Utah, as legally described in the original Development Agreement incorporated herein by reference (the "**Property**").

C. City and the Developers now desire to amend the Development Agreement as provided for herein.

AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties do hereby agree to amend the Development Agreement as follows:

1. **Recitals; Defined Terms**. The recitals above are hereby incorporated herein by this reference as if fully set forth in this Section. All capitalized terms used and not otherwise defined herein shall have the meanings ascribed to them in the Development Agreement.

2. **Developer**. Section 1.3 of the Development Agreement is replaced in its entirety with the following:

1.3 Developer

The term "Developer" means Lakeside Development Partners, LLC, or its affiliates, successors or assigns as set forth in Section 4.7.

3. **Successors and Assigns**. Section 4.7 of the Development Agreement is replaced in its entirety with the following:

4.7 Successors and Assigns of Developer

4.7.1. The rights and responsibilities of Developer hereunder may be assigned in whole or in part, by Developer. Developer shall give the City Notice of any assignment within ten (10) days after the event has occurred. Such Notice shall include providing the City with all necessary contact information for the newly responsible party. Developer's assignment of all or any part of the Developer's rights and responsibilities hereunder to any entity not "related" to Developer (as defined by regulations of the Internal Revenue Service in Section 165), shall be subject to the City's approval, which shall not be unreasonably withheld, conditioned or delayed. Notwithstanding the foregoing, any assignment of Developer's rights hereunder to Lakeside Capital Group, LLC or Property Owner for any purpose will not require City approval in any form.

4.7.2 Any assignee of all or any part of Developer's rights and responsibilities under this Agreement shall consent in writing to be bound by the assigned terms and conditions of this Agreement as a condition precedent to the effectiveness of the assignment.

4. **Confirmation**. Except as amended and revised by this Amendment, all terms and conditions in the Development Agreement remain unchanged and in full force and effect. In the event of any conflict between the terms of this Amendment and the Development Agreement, this Amendment shall control. This Amendment may be executed in counterparts, each of which shall constitute an original, but all of which together shall constitute one and the same agreement.

IN WITNESS WHEREOF, Developer and City have executed this Amendment as of the Amendment Effective Date.

[Signatures and Acknowledgements Follow]

DEVELOPER:

LAKESIDE DEVELOPMENT PARTNERS, LLC,
a Utah limited liability company

By: _____
Name: Charles F. Cowley III
Its: Authorized Signatory

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____ 202_4, by Charles F. Cowley III as Authorized Signatory of LAKESIDE DEVELOPMENT PARTNERS, LLC, a Utah limited liability company.

_____
Notary Public

CITY:

CLEARFIELD CITY,
a body corporate and politic of the State of Utah

By: _____
Name: Karece Thompson_____
_____
Its: Mayor Pro Tempore_____

STATE OF UTAH)
) ss.
COUNTY OF DAVIS)

The foregoing instrument was acknowledged before me this ____ day of _____ 2024, by Karece Thompson as Mayor Pro Tempore of CLEARFIELD CITY, a body corporate and politic of the State of Utah.

_____
Notary Public

Attest:

_____
Nancy Dean, City Recorder

Approved as to form:

_____
City Attorney

Planning Commission
STAFF REPORT

AGENDA ITEM
#2

TO: Clearfield City Planning Commission

FROM: Brad McIlrath, Senior Planner
brad.mcilrath@clearfieldcity.org
801-525-2784

MEETING DATE: Wednesday, July 10th, 2024

SUBJECT: Public Hearing, Discussion and Possible Action on **CUP 2022-060127**, a conditional use permit extension request by Garrett Goff with Garn Development for a Marriott TownePlace Suites hotel at the subject property. **Location:** 2000 East Legend Hills Drive (TIN: 09-470-0004). **Project Area:** 2.06 Acres. **(Administrative Action).**

STAFF RECOMMENDATION

Staff recommends that the Planning Commission grant **APPROVAL** for **CUP 2022-060127,** a conditional use permit extension request by Garrett Goff with Garn Development for a Marriott TownePlace Suites hotel located at 2000 East Legend Hills Drive (TIN: 09-470-0004). This recommendation is based upon the information and findings outlined in this report.

CONDITIONAL USE PERMIT EXTENSIONS

Section 11-4-6 of Clearfield City Code outlines the standards and procedure for the expiration of a conditional use permit. As stated in this section, a conditional use must commence within one year of the time the permit is issued. The issuance of the conditional use permit is based upon the date that final land use approval is granted after all conditions of the Planning Commission approval have been met. Final land use approval for the Marriott TownePlace Suites was granted on June 28th, 2023. The code further states that if the permit holder has not commenced action within this time, the permit expires, and the permit holder will need to apply for a new permit. As the permit holder (Garn Development), submitted an extension request prior to the expiration date; therefore, the permit is still active until the Planning Commission can hear the request.

Under this same section, the procedure for an extension request as well as the standards for the length of the extension are laid out. The Planning Commission may grant an extension for good cause shown with a maximum length of six (6) months. Staff interprets the six (6) month timeframe to commence from the previous expiration date of June 28th, 2024. The extension request must be submitted to the zoning administrator prior to the expiration of the original conditional use permit, and as stated above, Garn Development complied with this standard by submitting the request prior to the expiration. A fee must be paid for the extension request (the fee is $200 and has been paid by the applicant) and the ordinance requires that a public hearing be held by the Planning Commission to hear the request. It is important to note, that although the ordinance states that a public hearing must be held by the Planning Commission, the action is still administrative in nature and the Planning Commission is the land use authority on this action. No recommendation to the City Council is required, and a denial of the request must be based on fact and for reasonable cause that can be documented.

BACKGROUND & ANALYSIS

As stated in the previous section, the final land use approval for the Marriott TownePlace Suites expired on June 28th, 2024, but the request for extension was filed prior to the expiration. This allows the Planning Commission to hear the request at this meeting and take action regarding the extension request. As outlined in the letter provided by Garn Development, project commencement (like many other projects) has been held up due to interest rates and high construction costs. They are confident that within the next six (6) months that construction costs will go down as subcontractors complete current projects and look for work with this project.

This project, like many others in Clearfield and adjacent cities, has been held up by financial constraints due to high interest rates and as stated, high construction costs for materials and labor continue to be an issue. Staff recognizes that this is not an isolated situation and that Garn Development is subject to the burdens of high interest rates and high construction costs, as is the entire development market. As such, staff recommends that the Planning Commission grant a six (6) month extension for this project with an expiration date of December 28th, 2024. If the project is not able to submit for a building permit and commence construction by that date, the conditional use permit will expire and a new application will need to be submitted for the conditional use permit.

PUBLIC COMMENT

A public hearing notice was posted on the State of Utah public notice website on July 1st, 2024. Mailed notices were also sent that same day. No public comment has been received to date.

FINDINGS & CONCLUSION

Based upon a review of ordinance standards and the development constraints articulated by the applicant, Staff concludes the following:

1. The proposed development is consistent with the conditional use permit approval granted by the Planning Commission and the final land use approval granted on June 28th, 2024.
2. The development constraints outlined by the applicant are not an isolated incident and are impacting the entire development community.
3. The development constraints are real and valid issues impacting the development community at this time.
4. There is no evidence that granting the extension will be harmful to the City or to property owners and residents in the project area.

ATTACHEMENTS

1. Extension Request dated June 24, 2024
2. Notice of Decision – Conditional Use Permit Approval
3. Final Land Use Approval Plan Set

GARN DEVELOPMENT
748 W. Heritage Park Blvd. STE 203
Layton, UT 84041
801-776-0232

June 24, 2024

Clearfield City,

This letter is to ask for a 6-month extension for our Hotel Project at the Legend Hills development. We have been moving forward with pre- development plans regarding this project, but interest rates, and construction costs are still an issue. We are hearing from General Contractors that we work closely with and they are seeing that the subbases are finishing up projects that they've had, and they expect better pricing and availability in the near future. Thank you for your partnership with us and what we see being a great project.

Thanks again,

Garrett Goff

Clearfield City
we've got it made

Community Development
55 South State Street
Clearfield, Utah 84015
P: 801.525.2780
F: 801.525.2865

July 22nd, 2022

M. Johan VanZeben
VanZeben Architecture
2032 Lincoln Avenue
Ogden, UT 84401

Project Name:	Legend Hills TownePlace Suites
File Number:	CUP 2022-060127
Property Location:	Approximately 1450 South University Park Blvd. TIN: 09-023-0104
Zone:	C-2 (Commercial)
Decision Date:	Wednesday, July 20th, 2022

Mr. VanZeben,

On Wednesday, July 20th, 2022, the Clearfield City Planning Commission granted approval of the Conditional Use Permit application for the above listed project and property subject to the following conditions:

CONDITIONS OF APPROVAL – CONDITIONAL USE PERMIT

1) Formal landscape and irrigation plans must be prepared and submitted to the City for final approval that meets ordinance standards. The irrigation plans will need to indicate that the system is provided with smart controller(s) and with a WaterSense label.

2) Parking stalls shall be provided to comply with the minimum code standards for parking of hotels, motels, and lodges as outlined in the report.

3) The plans shall be revised to provide a snow stacking area that complies with ordinance standards outlined in Chapter 14 of the Land Use Ordinance.

4) The plans shall be revised to address engineering comments/conditions as outlined in the review letter dated July 7th, 2022.

5) The project shall comply with all requirements of the North Davis Fire District.

6) The applicant shall obtain a building permit and the project shall comply with all applicable building code standards.

It is the applicant's responsibility to comply with all conditions of approval and compliance is required before a business license can be issued. Failure to comply with the conditions of approval may result in fines or revocation of the granted Conditional Use Permit.

Clearfield City
we've got it made

Community Development
55 South State Street
Clearfield, Utah 84015
P: 801.525.2780
F: 801.525.2865

Any adversely affected person shall have the right to appeal the land use decision rendered by the Planning Commission, by filing in writing, stating the reasons for the appeal, within ten (10) calendar days following the date upon which the decision is made. Appeals to this decision shall be submitted to the Clearfield City Recorder.

As outlined in Section 11-4-6 of the Clearfield Municipal Code, land use authorized by a conditional use permit must commence within one year of the time the permit is issued. If commencement has not happened within this time, or if the holder has not been granted an extension, the permit shall expire, and the holder must apply for a new permit.

If you have any questions or need additional information, please feel free to contact me either by phone at 801-525-2784 or by email at brad.mcilrath@clearfieldcity.org.

Sincerely,

Brad McIlrath, Senior Planner

CC: Spencer Brimley, Community Development Director (via email)
Theron Williams, Deputy Fire Chief (via email)
Elizabeth Dean, Building Inspector (via email)
Stacy Millgate, Customer Service Manager (via email)

LEGEND HILLS TOWNEPLACE SUITES

1975 EAST LEGEND HILLS DRIVE

CLEARFIELD, UTAH 84098

CONDITIONAL USE PERMIT

06 / 23 / 2023

INDEX TO DRAWINGS

GENERAL:	
G01	COVER SHEET
SITE:	
AS101	SITE PLAN
AS701	SITE DETAILS
L101	PLANTING PLAN
L201	IRRIGATION PLAN
L501	ENLARGED PLANTING PLANS
CIVIL:	
C100	COVER
C101	NOTES & LEGEND
C300	DEMOLITION PLAN
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C900	SITE DETAILS
C901	UTILITY DETAILS
C910	CITY DETAILS
C911	CITY DETAILS
EC100	EROSION CONTROL PLAN
ST100	COVER
ST200	SITE PLAN
ST300	MATERIALS TABLE & NOTES
ST400	ISOLATOR ROW DETAIL
ST500	TECHNICAL SPECIFICATIONS
ARCHITECTURAL:	
A101	MAIN LEVEL FLOOR PLAN
A102	SECOND LEVEL FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
ELECTRICAL:	
ES101	ELECTRICAL SITE PLAN

ZONING & PARKING REQUIREMENTS

ZONE:	C-2		
BUILDING USE:	HOTEL		
SETBACKS	YARD	DISTANCE	
	FRONT	5 FT.	
	REAR	0 FT.	
	SIDE	0 FT.	
	SIDE (CORNER)	10 FT.	
	PARKING	10 FT.	
MAX. BUILDING HEIGHT		35 FT. + W/ CUP	
COVERAGE:			
	SQ. FT.	% REQ.	% OF LOT
LOT AREA	89,757	-	-
BUILDING	16,041	-	17.87%
LANDSCAPING	21,995	10% MIN.	24.51%
PAVING	51,721	-	57.62%
PARKING MATRIX			
BUILDING AREA:		SQ. FT..	
USE	RATIO	REQ. STALLS	
HOTEL	1.2/KEY	107	
STALLS REQUIRED		107	
STALLS PROVIDED		107	

PROJECT DIRECTORY

LANDSCAPE ARCHITECT

VANZEBEN ARCHITECTURE
2032 LINCOLN AVENUE
OGDEN, UT 84401

PHONE: (801) 627-2400

CONTACT: JOHAN VANZEBEN

CIVIL

ENTELLUS INC.
1470 SOUTH 600 WEST
WOODS CROSS, UT 84010

PHONE: (385) 777-2534

CONTACT: T.J. BRESLIN

ARCHITECT

VANZEBEN ARCHITECTURE
2032 LINCOLN AVENUE
OGDEN, UT 84401

PHONE: (801) 627-2400

CONTACT: DAN VANZEBEN

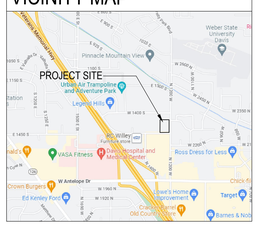
OWNER

CLEARFIELD HOTEL PARTNERS LLC
748 WEST HERITAGE PARK BOULEVARD, SUITE 203
LAYTON, UT 84041

PHONE: (801) 776-0232

CONTACT: GARRETT GOFF

VICINITY MAP



VANZEBEN
ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

This drawing was produced on a 30"x 42" sheet. If it has been printed on any other size sheet, it is likely a reduced copy. Scale accordingly.

PROJECT NO:	20005
DRAWN BY:	MJV
CHECKED BY:	DJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:12:31 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC

PROJECT: LEGEND HILLS TOWNEPLACE SUITES

LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

© vanZeben Architecture. This drawing shall not be reproduced without consent of vanZeben Architecture, nor shall it be used for any project other than the originally intended project.

LICENSED ARCHITECT
DAN J. VANZEBEN
No. 12616
STATE OF UTAH
06/23/2023

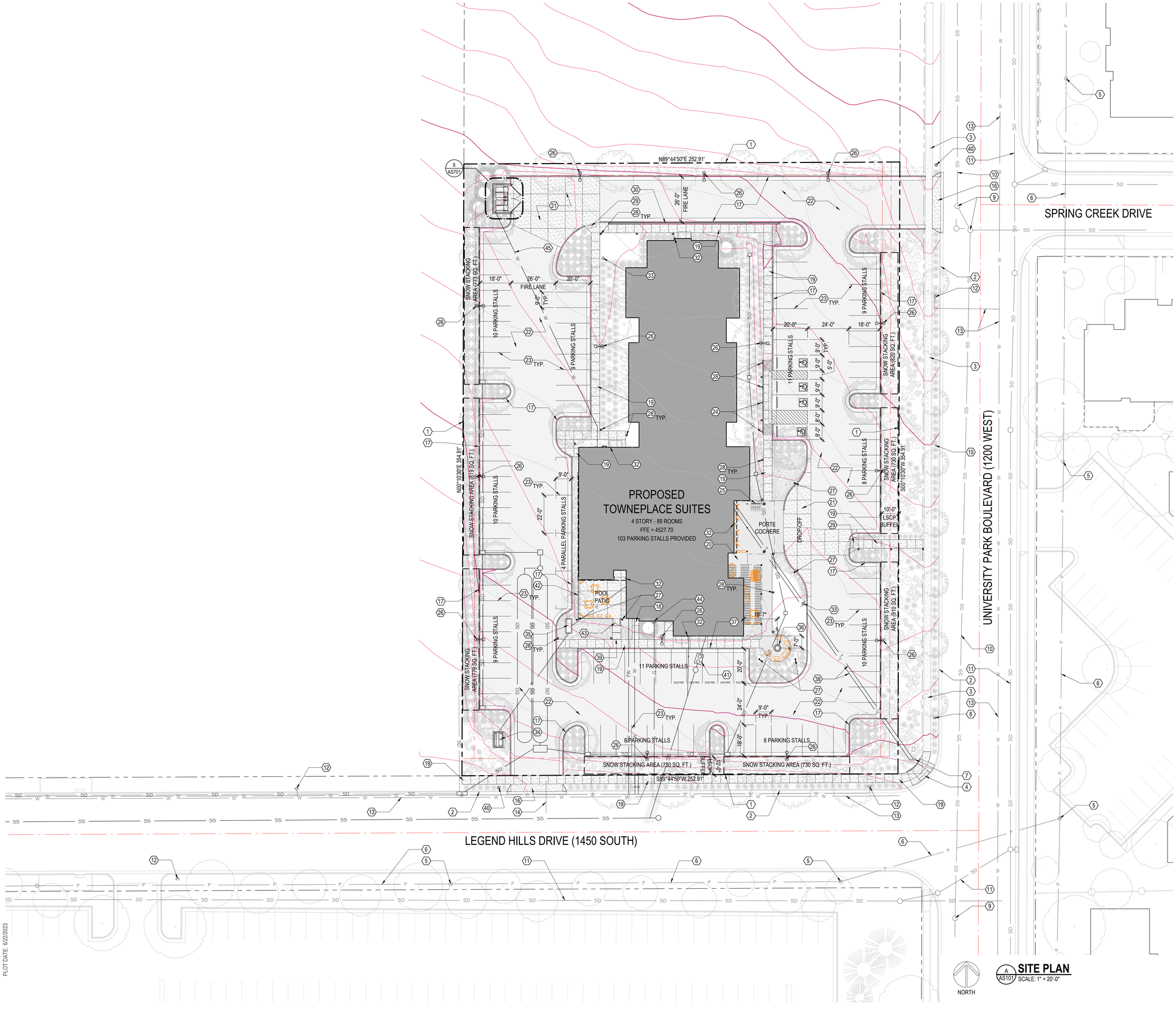
COVER SHEET

SHEET NUMBER:

G01

DATE: 06/23/2023

PLOT DATE: 6/22/2023



A AS101 **SITE PLAN**
SCALE: 1" = 20'-0"

SITE PLAN KEYNOTES:

1. PROPERTY LINE.
2. EXISTING CURB & GUTTER TO REMAIN. REPAIR ANY DAMAGED SECTIONS.
3. EXISTING CONCRETE WALK TO REMAIN. REPAIR ANY DAMAGED SECTIONS.
4. RE-BUILD EXISTING CURB-CUT TO CONFORM TO CLEARFIELD CITY STANDARDS.
5. EXITING UTILITY POLE.
6. EXISTING OVERHEAD POWER LINE.
7. EXISTING TELEPHONE PEDESTAL.
8. EXISTING DATA/COM BOX.
9. EXISTING SEWER MANHOLE.
10. EXISTING SEWER LINE.
11. EXISTING STORM DRAIN LINE.
12. EXISTING FIRE HYDRANT.
13. EXISTING WATER LINE.
14. EXISTING GAS LINE.
15. EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
16. NEW 30' WIDE CONCRETE DRIVE APPROACH.
17. 30" HIGHBACK CURB & GUTTER. SEE DETAIL 1/AS701.
18. 4' WIDE 4" THICK CONCRETE WALK ON 4" GRAVEL BASE, CONFORM TO CLEARFIELD CITY REQUIREMENTS.
19. 5' WIDE 4" THICK CONCRETE WALK ON 4" GRAVEL BASE, LIGHT BROOM FINISH W/ CONTROL JOINTS 4' O.C. (AS SHOWN).
20. 4" THICK INTEGRALLY COLORED CONCRETE SLAB ON 4" GAVEL BASE, LIGHT BROOM FINISH, DAVIS COLORS 'SPANISH GOLD' 5084.
21. 6" THICK CONCRETE (REINFORCED W/ MICROFIBERS) ON 4" GRAVEL BASE.
22. 3" THICK ASPHALT PAVING ON 8" UNTREATED ROAD BASE ON COMPACTED SUB BASE (98% MAX DENSITY).
23. 4" WIDE PARKING STRIPE, WHITE.
24. ADA PARKING SIGN. SEE DETAIL 3/AS701.
25. BICYCLE RACK. SEE DETAIL 12/AS701.
26. 20' POLE LIGHT. SEE DETAIL 4/AS701 & REFER TO ES101.
27. DECORATIVE POLE LIGHT. REFER TO ES101.
28. LIGHT BOLLARD. REFER TO ES101.
29. ADA CURB-CUT. SEE DETAIL 5/AS701.
30. CONCRETE RETAINING WALL. REFER TO CIVIL.
31. CONCRETE WHEEL-STOP.
32. TAMPER-RESISTANT FROST-FREE HOSE BIB. REFER TO PLUMBING.
33. PET WASTE STATION. ZERO WASTE USA, THE SENTRY DOG WASTE STATION W/ ROLL BAG SYSTEM, BLACK (JJB006-BLACK).
34. NEW ELECTRICAL TRANSFORMER. REFER TO ES101.
35. ELECTRICAL SWITCHGEAR. REFER TO ES101.
36. FIRE PIT. SEE DETAIL 13/AS701
37. LOCATION FOR FUTURE EV CHARGING STATIONS. REFER TO ES101.
38. PROVIDE (2) 4" CONDUIT W/ PULL STRINGS FROM TELEPHONE PEDESTAL TO PBX ROOM. REFER TO ES101.
39. (3) 5" RISERS W/ 4' LANDINGS BETWEEN.
40. NEW STREET LIGHT PER CITY STANDARDS, REFER TO CIVIL.
41. GREASE INTERCEPTOR, REFER TO CIVIL.
42. FENCE. AMERISTAR AEGIS PLUS, GENESIS, 4'-0" TALL, BLACK.
43. 4' WIDE SWING GATE. PROVIDE KEY-CARD ACCESS & 26 GA. STEEL PLATE PAINTED TO MATCH FENCE. PLATE SHALL BE SIZED TO PROVIDE 18" ALL-AROUND FROM INSIDE OF PUSH PLATE GATE OPERATOR TO OUTSIDE EDGE, PLATE SHALL BE FASTENED TO FENCE FRAMING.
44. GAS METER.
45. 3/4" POLYETHYLENE WATER LINE TO FROST FREE HOSE BIB IN TRASH ENCLOSURE, REFER TO P201 & DETAIL 6/AS701.

SITE PLAN GENERAL NOTES:

A. ALL WORK SHALL CONFORM TO CLEARFIELD CITY REQUIREMENTS.
B. VERIFY EXISTING CONDITIONS BEFORE COMMENCING WITH WORK.
C. SLABS ON GRADE SHALL BE SCORED (1/4 DEPTH OF SECTION) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH. PLACE TO PREVENT RANDOM CRACKING.
D. EXPANSION JOINTS SHALL BE PLACED AGAINST OBJECTS AND AT FIXED CHANGES IN DIRECTION BUT NOT TO EXCEED 50 FT.
E. CONCRETE WATERWAYS, CURBS, GUTTERS AND WALKS SHALL BE SCORED AT INTERVALS NOT EXCEEDING 10 FT. AND EXPANSION JOINTS SHALL NOT EXCEED 50 FT.
F. UNLESS NOTED OTHERWISE, SLABS ON GRADE SHALL BE PLACED ON 4" THICK GRAVEL BASE, COMPACTED TO 95%.
G. SEAL ALL JOINTS WITH CAULKING. REFER TO SPECIFICATIONS.
H. REMOVE AND REPLACE SOFT, YIELDING, AND/OR UNSUITABLE MATERIALS AND REPLACE WITH SUITABLE MATERIALS. COMPACT IN 8" LIFTS TO 95% MAX. DENSITY.
I. EXISTING UTILITIES SHOWN ARE APPROXIMATE. VERIFY ACTUAL LOCATIONS PRIOR TO COMMENCING THE WORK.
J. ALL EXISTING VALVES, MANHOLES, CLEAN OUTS, ETC., SHALL BE RAISED OR LOWERED TO ACCOMMODATE NEW GRADES.
K. WATER SYSTEM CONSTRUCTION SHALL COMPLY WITH CLEARFIELD CITY WORKS REQUIREMENTS.
L. SEWER SYSTEM CONSTRUCTION SHALL COMPLY WITH CLEARFIELD CITY PUBLIC WORKS REQUIREMENTS.
M. COMPLY WITH ROCKY MOUNTAIN POWER REQUIREMENTS FOR ELECTRICAL SERVICE.
N. COMPLY WITH DOMINION ENERGY COMPANY REQUIREMENTS FOR NATURAL GAS SERVICE.
O. COTG = CLEAN OUT TO GRADE.
P. CONTOURS ARE TO BE CONSIDERED NO MORE ACCURATE THAN 1/2 THE INTERVAL DISTANCE.

10 0 10 20 40 60
GRAPHIC SCALE

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

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PROJECT NO:	20005
DRAWN BY:	MJV
CHECKED BY:	DJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:12:38 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC

PROJECT: LEGEND HILLS TOWNEPLACE SUITES

LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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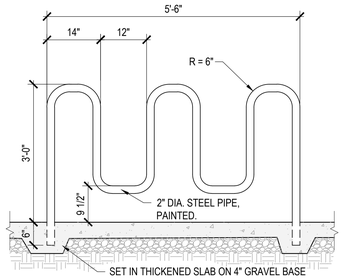
LICENSED ARCHITECT
No. 12618
DAVID J. VANZEBEN
STATE OF UTAH
06/23/2023

SITE PLAN

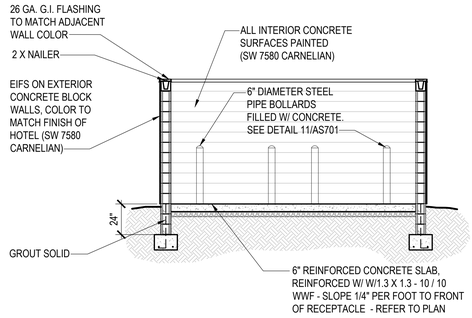
SHEET NUMBER:
AS101

DATE: 06/23/2023

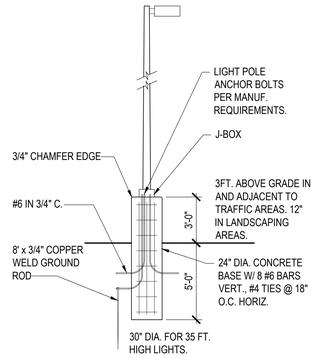
PLOT DATE: 6/22/2023



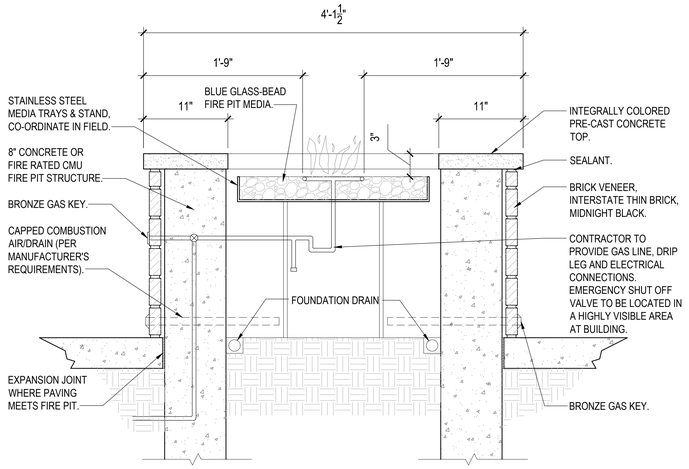
12 AS701 BICYCLE RACK
SCALE: N.T.S.



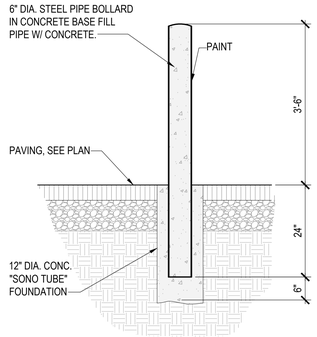
8 AS701 SECTION - EXTERIOR REFUSE RECEPTACLE
SCALE: 1/4" = 1'-0"



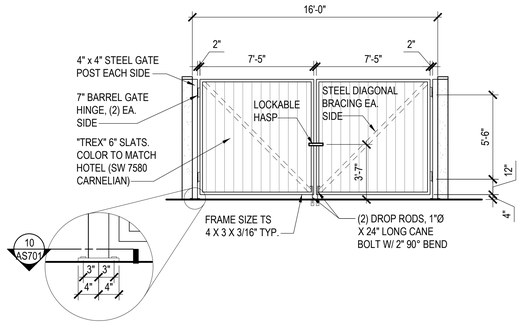
4 AS701 SITE LIGHT POLE BASE
SCALE: 1/4" = 1'-0"



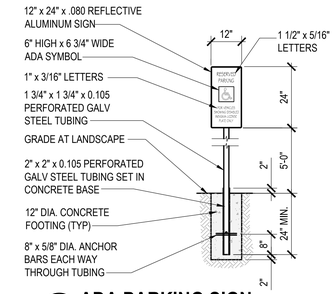
15 AS701 FIRE PIT SECTION
SCALE: 1 1/2" = 1'-0"



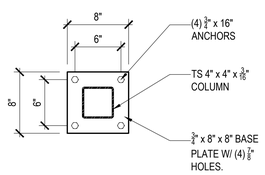
11 AS701 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



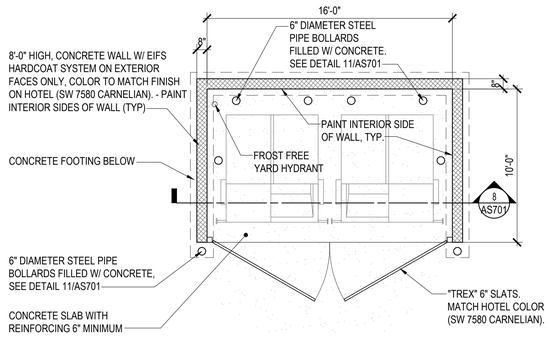
7 AS701 ELEVATION - EXTERIOR REFUSE RECEPTACLE
SCALE: 1/4" = 1'-0"



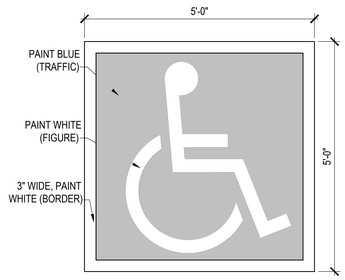
3 AS701 ADA PARKING SIGN
SCALE:1/2" = 1'-0"



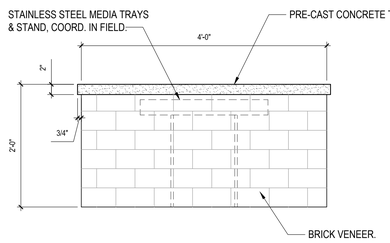
10 AS701 TS 4X4 BASE PLATE
SCALE: 1-1/2" = 1'-0"



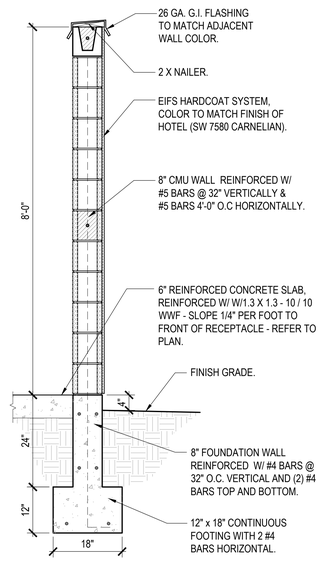
6 AS701 PLAN - EXTERIOR REFUSE RECEPTACLE
SCALE: 1/4" = 1'-0"



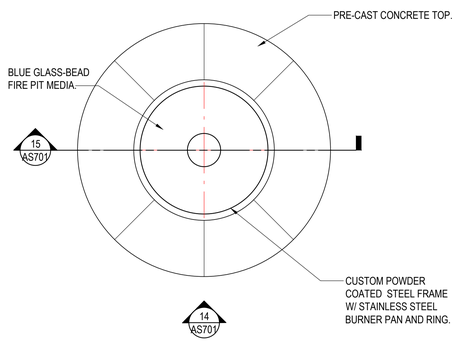
2 AS701 ADA PARKING SYMBOL
SCALE:3/4" = 1'-0"



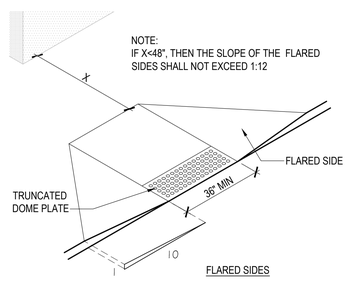
14 AS701 FIRE PIT ELEVATION
SCALE: 1" = 1'-0"

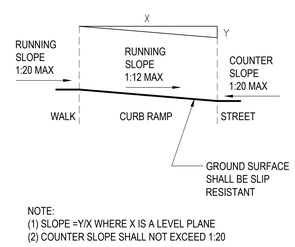


9 AS701 CMU TRASH ENCLOSURE WALL
SCALE: 3/4" = 1'-0"

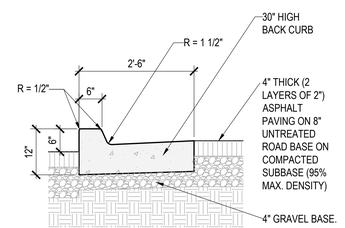


13 AS701 FIRE PIT PLAN
SCALE: 1" = 1'-0"





5 AS701 CURB RAMPS
SCALE:3/8" = 1'-0"



1 AS701 CURB AND GUTTER
SCALE: 3/4" = 1'-0"

PLOT DATE: 6/22/2023

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

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PROJECT NO:	20005
DRAWN BY:	MJV
CHECKED BY:	DJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:12:44 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC

PROJECT: LEGEND HILLS TOWNEPLACE SUITES

LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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LICENSED ARCHITECT DAN J. VANZEBEN 12016 STATE OF UTAH
06/23/2023

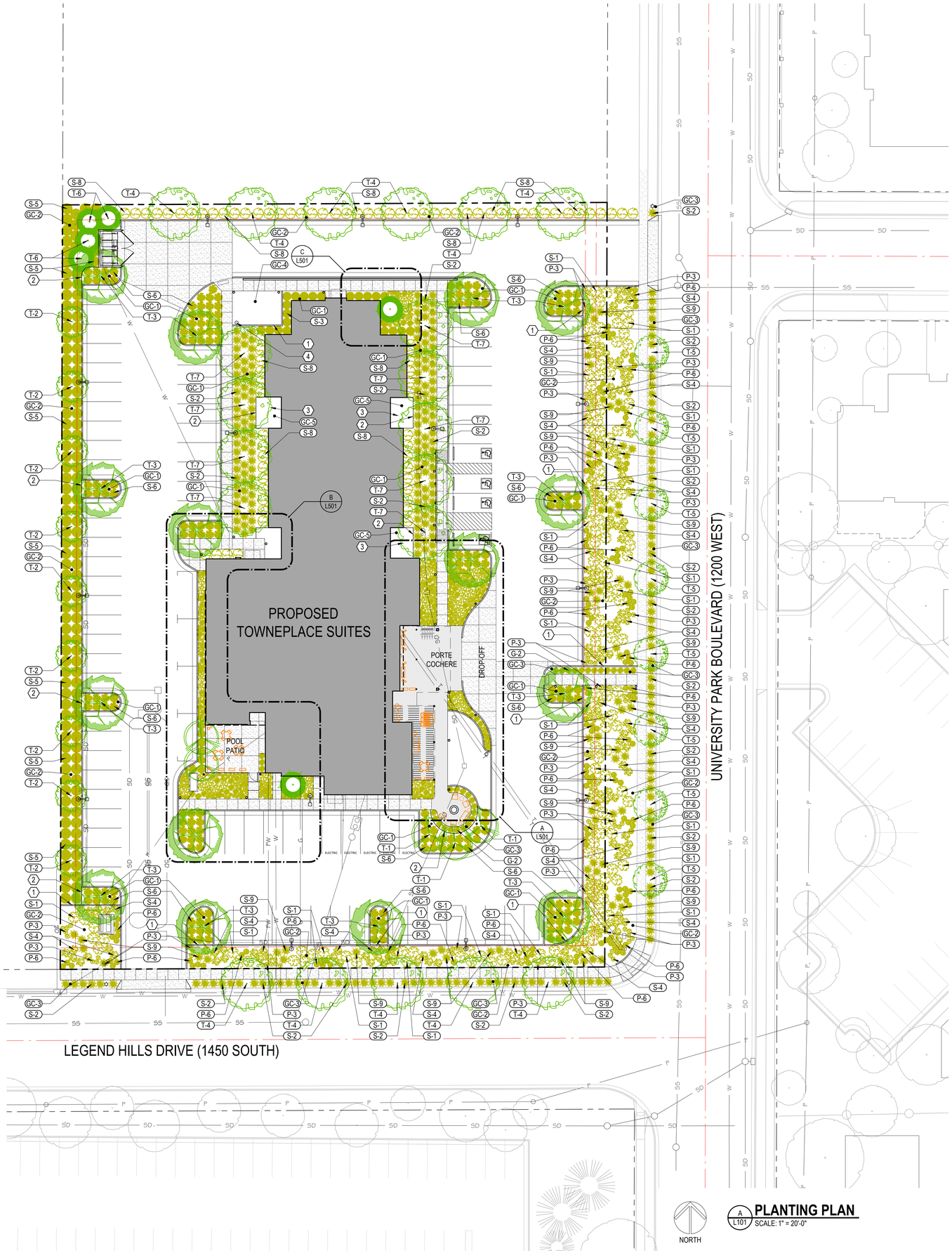
SITE DETAILS

SHEET NUMBER: AS701

DATE: 06/23/2023

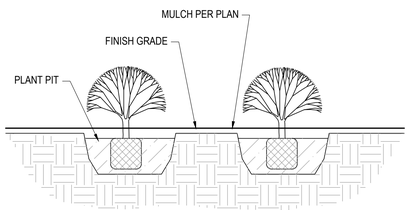
PLANTING LEGEND

MARK	BOTANICAL NAME	COMMON NAME	SIZE & SPACING	QUANTITY / AREA
	TREES			
T-1	ACER GRISEUM	PAPERBARK MAPLE	2" CAL.	5
T-2	CRATAEGUS PHAENOPYRUM	WASHINGTON THORN	2" CAL.	9
T-3	GINGKO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	2" CAL.	15
T-4	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2" CAL.	11
T-5	MALLUS 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	2" CAL.	8
T-6	PICEA OMORIKA	SERBIAN SPRUCE	6' TALL	6
T-7	PRUNUS X YEDOENSIS	YOSHINO CHERRY	2" CAL.	9
	SHRUBS			
S-1	CHAMAEBATIARIA MILLEFOLIUM	FURNBUSH	5 GAL. @ 5' O.C.	111
S-2	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	CREEPING JUNIPER	5 GAL. @ 4' O.C.	277
S-3	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL. @ 4' O.C.	22
S-4	PURSHIA MEXICANA	CLIFFROSE	5 GAL. @ 4' O.C.	149
S-5	PYRACANTHA COCCINEA 'KASAN'	FIRETHORN	5 GAL. @ 5' O.C.	132
S-6	RHUS AROMATICA 'GRO-LOW'	LOW GROW SUMAC	5 GAL. @ 4' O.C.	198
S-7	SPIRAEA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	5 GAL. @ 4' O.C.	33
S-8	SYMPHOROCARPUS ALBUS	COMMON SNOWBERRY	5 GAL. @ 5' O.C.	81
S-9	YUCCA BACCATA	BANANA YUCCA	5 GAL. @ 4' O.C.	63
	GROUND COVERS			
GC-1	CRUSHED STONE - LIGHT OR MEDIUM GREY COLOR		1/2" DIA. MAX.	8,996 SQ. FT.
GC-2	CRUSHED STONE - TAN COLOR		1" DIA. MAX	15,617 SQ. FT.
GC-3	ROCKS - TAN OR LIGHT GRAY COLOR		2" DIA. MAX	2,581 SQ. FT.
GC-4	SOD			1,019 SQ. FT.
GC-5	LYSIMACHIA NUMMULARIA	CREEPING JENNY	2" POT @ 8" O.C.	603 SQ. FT.
	PERENNIALS			
P-1	LEUCANTHEMUM X SUPERBUM	SHASTA DAISY	1 GAL. @ 18" O.C.	116
P-2	PAPAVER ORIENTAL	ORIENTAL POPPY	1 GAL. @ 12" O.C.	120
P-3	PENSTEMON PALMERI	SCENTED PENSTEMON	2 GAL. @ 24" O.C.	105
P-4	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	1 GAL. @ 18" O.C.	109
P-5	RUDBECKIA FULGIDA 'GOLDSTRUM'	GOLDSTRUM CONEFLOWER	1 GAL. @ 18" O.C.	98
P-6	ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUSCHIA	2 GAL. @ 2'-6" O.C.	138
	ORNAMENTAL GRASSES			
G-1	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	1 GAL. @ 10" O.C.	84
G-2	MISCANTHUS SINENSIS 'MORNING LIGHT'	JAPANESE SILVER GRASS	2 GAL. @ 3' O.C.	76

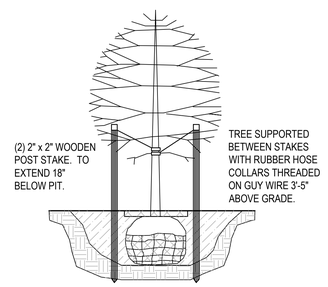


A L101 **PLANTING PLAN**
SCALE: 1" = 20'-0"

SOAK TOPSOIL AND ALLOW TO PERCOLATE PRIOR TO PLANTING. SET PLANT AT SAME RELATIONSHIP TO FINISH GRADE AS IN CONTAINER.

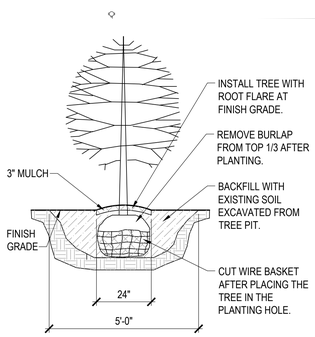


3 L101 **SHRUB PLANTING**
SCALE: N.T.S.



STAKING TREES:
1. STAKING IS NOT GENERALLY REQUIRED FOR ALL TREE PLANTING. IF CONDITIONS ARE PRESENT WHERE THE CONTRACTOR DEEMS IT NECESSARY TO STAKE TREES TO ENSURE VIABILITY THROUGH THE GUARANTEE PERIOD, THE CONTRACTOR MAY STAKE THE TREES AT NO ADDITIONAL COST TO THE OWNER.
2. ANY STAKING WILL BE IN ACCORDANCE WITH CURRENT HORTICULTURE PRACTICE. STAKING OF TREES WILL BE WITH WOODEN STAKES PLACED OURSIDE THE ROOT BALL.

2 L101 **TREE STAKING**
SCALE: N.T.S.



1 L101 **TREE PLANTING**
SCALE: N.T.S.

PLANTING KEYNOTES:

1. 6" CONCRETE MOWSTRIP.
2. FLEXIBLE METAL EDGING.
3. UNDERPLANT GROUNDCOVER WITH *MUSCARI ARMENIACUM* IN NATURALIZED DRIFTS, 6" MIN. SPACING. PROVIDE MINIMUM COUNT OF 100 IN EACH AREA IDENTIFIED.
4. PET WASTE STATION. REFER TO AS101.

PLANTING NOTES:

A. EXAMINE SITE TO VERIFY EXISTING CONDITIONS. NOTIFY LANDSCAPE ARCHITECT OF INCONSISTENCIES.
B. COORDINATE PLANTING OPERATION WITH OTHER TRADES TO AVOID CONFLICT.
C. COORDINATE PLACEMENT OF TREES WITH PLACEMENT OF IRRIGATION LINES, VALVES, SPRINKLER HEADS, ETC.
D. MAKE FINAL GRADE ELEVATIONS WITH TOPSOIL, CONSTRUCT BERMS, AND GRADE TO CONTOURS.
   MINIMUM TOPSOIL DEPTHS:
   TURF AREAS: 4"
   SHRUBS AREAS: 8"
E. ALLOW FOR 4" DEEP MULCHING IN SHRUB AREAS, 2" DEEP @ TURF AREAS.
F. PROVIDE 4" DEEP MULCHING IN PLANTING AREAS AND AT TREE WELLS.
G. AREAS OF VEGETATIVE GROUND COVER SHALL BE PROVIDED WITH 2" DEEP MULCHING OF 1/2" DIA. MAX., WOOD OR STONE ACCEPTABLE.
H. IF USED, WEED BARRIER SHALL ONLY BE USED IN AREAS WITH STONE GROUND COVER.
I. LANDSCAPER SHALL SUBMIT STONE GROUND COVER(S) FOR LANDSCAPE ARCHITECT'S APPROVAL.

10 0 10 20 40 60
GRAPHIC SCALE

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

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PROJECT NO: 20005
DRAWN BY: MJV, SMS
CHECKED BY: MJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:12:51 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC
PROJECT: LEGEND HILLS TOWNEPLACE SUITES
LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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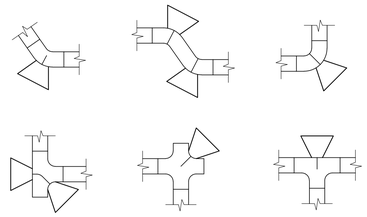
LICENSED LANDSCAPE ARCHITECT
JORDAN VANZEBEN
11075766
STATE OF UTAH
06/23/2023

PLANTING PLAN

SHEET NUMBER:
L101

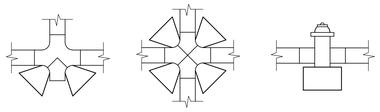
DATE: 06/23/2023

PLOT DATE: 6/22/2023



NOTES:

THE AREA OF BEARING PER THRUST BLOCK TO EQUAL THE FULL AREA SPECIFIED FOR THE LARGEST PIPE.



NOTES:

THE AREA OF BEARING PER THRUST BLOCK TO EQUAL 1/2 THE AREA SPECIFIED FOR THE LARGEST PIPE.

#4 REBAR 12" MIN. EMBEDMENT. ALL EXPOSED METAL TO BE COATED IN POLY FM GREASE #1 AND WRAPPED WITH POLYVINYL.

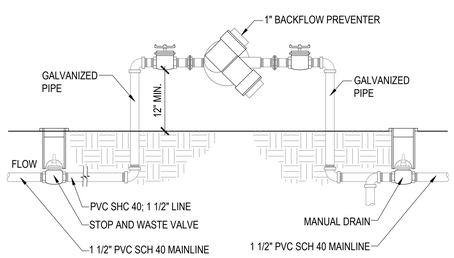
MINIMUM BEARING AREA IN SQUARE FEET								
FITTING SIZE	TEE, WYE, PLUG OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22.5° BEND	11.25° BEND	45° VERT. BEND (CU. YDS.)
			A1	A2				
4	1.4	1.9	1.9	1.4	1.0	1.0	1.0	1.0
5	2.8	4.0	4.0	2.8	2.1	1.1	1.0	2.1
8	4.8	6.8	6.8	4.8	3.7	1.9	1.0	3.6
10	7.3	10.3	10.3	7.3	5.6	2.8	1.4	5.5

VALUES LISTED ARE FOR 130 PSI TEST PRESSURE & 1733 PSF SOIL BEARING STRESS.

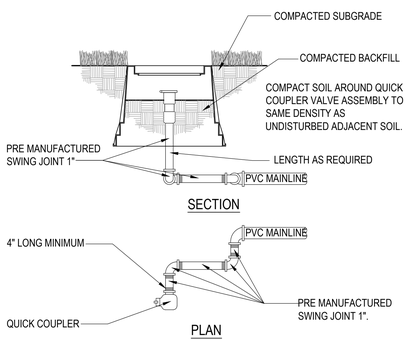
NOTES:

1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH OR STRUCTURAL BACK FILL APPROVED BY ARCHITECT.
2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES
3. ALL BURIED PIPING EXCEPT FLANGED, SCREWED, SOCKET WELD PVC OR WELDED STEEL PIPE SPECIFIED TO BE PRESSURE TESTED SHALL BE PROVIDED WITH CONCRETE THRUST BLOCKS AT ALL DIRECTION CHANGES UNLESS OTHERWISE NOTED.
4. THRUST BLOCK SHALL NOT BE LOCATED OR SIZED TO ENCASE ADJACENT PIPES OF FITTINGS.

4 / L201 TYP. THRUST BLOCKING
SCALE: 1-1/2" = 1'-0"

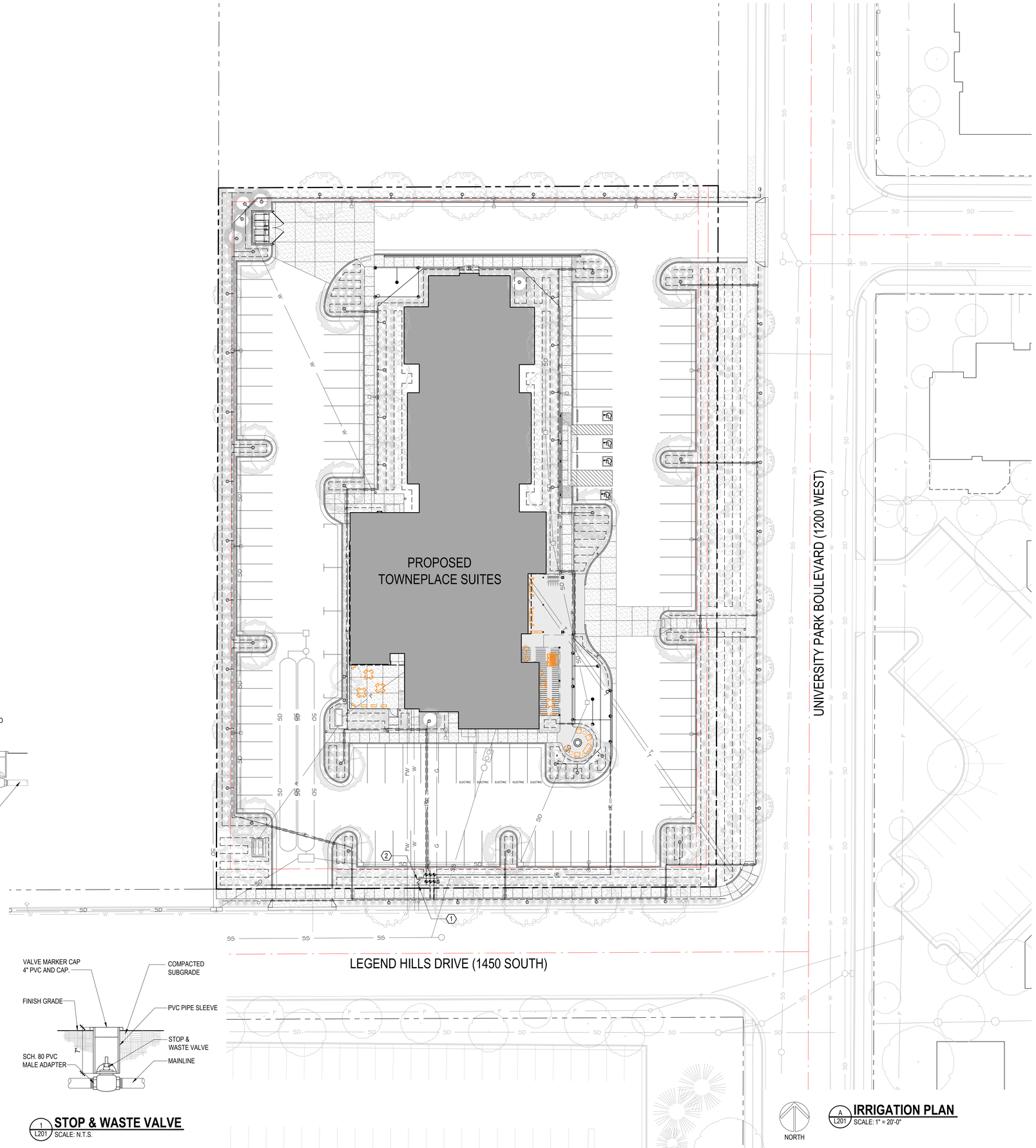


3 / L201 BACKFLOW PREVENTER
SCALE: N.T.S.



2 / L201 QUICK COUPLER VALVE
SCALE: 1" = 1'-0"

1 / L201 STOP & WASTE VALVE
SCALE: N.T.S.



A / L201 IRRIGATION PLAN
SCALE: 1" = 20'-0"

IRRIGATION KEYNOTES:

1. CONNECT TO WATER LINE & METER, REFER TO CIVIL DRAWINGS.
2. BACKFLOW PREVENTER, SEE DETAIL 3/L201.

GENERAL IRRIGATION NOTES:

A. IRRIGATION SYSTEM IS DESIGN/BUILD. PROVIDE DESIGN TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
B. IRRIGATION SYSTEM SHALL COMPLY WITH CLEARFIELD CITY REQUIREMENTS.
C. IRRIGATION SYSTEM TO BE PROVIDED WITH SMART CONTROLLER AND WITH A WATERSENSE LABEL.
D. EXAMINE SITE TO DETERMINE ACCEPTANCE OF SUBGRADE AND LAYOUT. NOTIFY ARCHITECT OF DISCREPANCY PRIOR TO COMMENCING WORK.
E. SPRINKLER HEADS, EQUIPMENT, VALVES, ETC. SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S INSTRUCTIONS AND DESIGN STANDARDS.
F. DRAWINGS ARE DIAGRAMMATIC. IRRIGATION CONTRACTOR TO PROVIDE SHOP DRAWINGS SHOWING LOCATIONS AND SIZES OF VALVES, SHUT-OFFS, DRAIN VALVES, CONTROLLERS, EQUIP. AND PIPE SIZES.
G. COORDINATE LOCATION OF SLEEVES WITH OTHER CONTRACTORS IN A TIMELY MANNER TO PLACE PRIOR TO CONSTRUCTION OF STRUCTURES AND PAVEMENTS.
H. LOCATE DRAINS AT APPROPRIATE LOCATIONS, SHOW ON SHOP DRAWINGS, ENSURE POSITIVE DRAINAGE FOR ENTIRE SYSTEM.
I. DESIGN SYSTEM BASED ON 25 GPM MAX. FLOW. VERIFY PRESSURE AND SIZE PIPING BASED ON FINDINGS.
J. LOCATE HEADS NEXT TO WALKS MINIMUM OF 2" AND 1/4" BELOW SURFACE.
K. MAIN LINES SHALL BE SCHEDULE 40 PVC. BURIED @ 16" BELOW GRADE.
LATERAL SHALL BE SCHEDULE 40 PVC. BURIED @ 12" BELOW GRADE.
L. PROVIDE "AS BUILT" RECORD DRAWINGS.
M. REFER TO SPECIFICATION SECTION 02810 FOR IRRIGATION SYSTEM REQUIREMENTS.
N. REFER TO SPECIFICATION SECTION 02900 FOR PLANTING REQUIREMENTS.

SPRINKLER HEAD LEGEND

SYM.	DESCRIPTION	RADIUS
	FULL SPRAY	12'
	HALF SPRAY	12'
	QUARTER SPRAY	12'
	VARIABLE ARC SPRAY	12'
	STRIP SPRAY	8'
	END SPRAY	8'
	STOP & WASTE	
	BACKFLOW PREVENTER	
	CONTROLLER	
	CONTROL VALVE	
	SLEEVE	
D	DRIP NOZZLE	
	DRIP LINE	

5 0 5 10 20 30
GRAPHIC SCALE

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

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PROJECT NO:	20005
DRAWN BY:	MJV
CHECKED BY:	MJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:12:58 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC

PROJECT: LEGEND HILLS TOWNEPLACE SUITES

LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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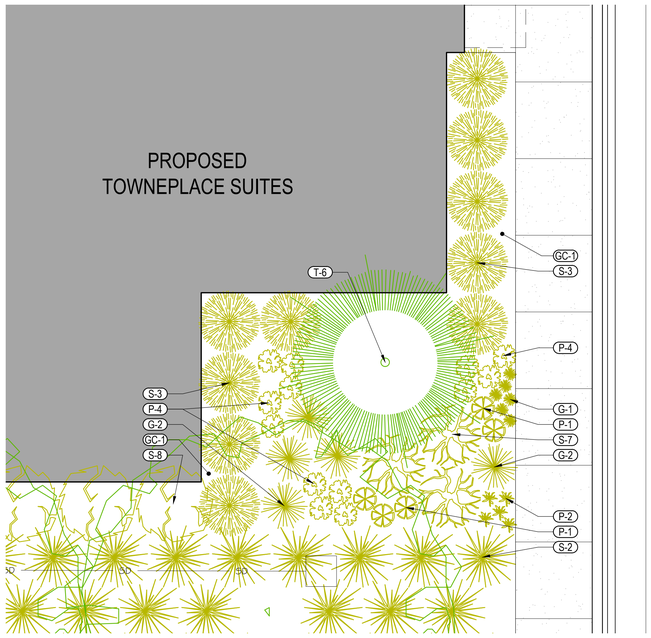
LICENSED LANDSCAPE ARCHITECT 11075766 JOHAN VANZEBEN STATE OF UTAH
06/23/2023

IRRIGATION PLAN

SHEET NUMBER: L201

DATE: 06/23/2023

PLOT DATE: 6/22/2023

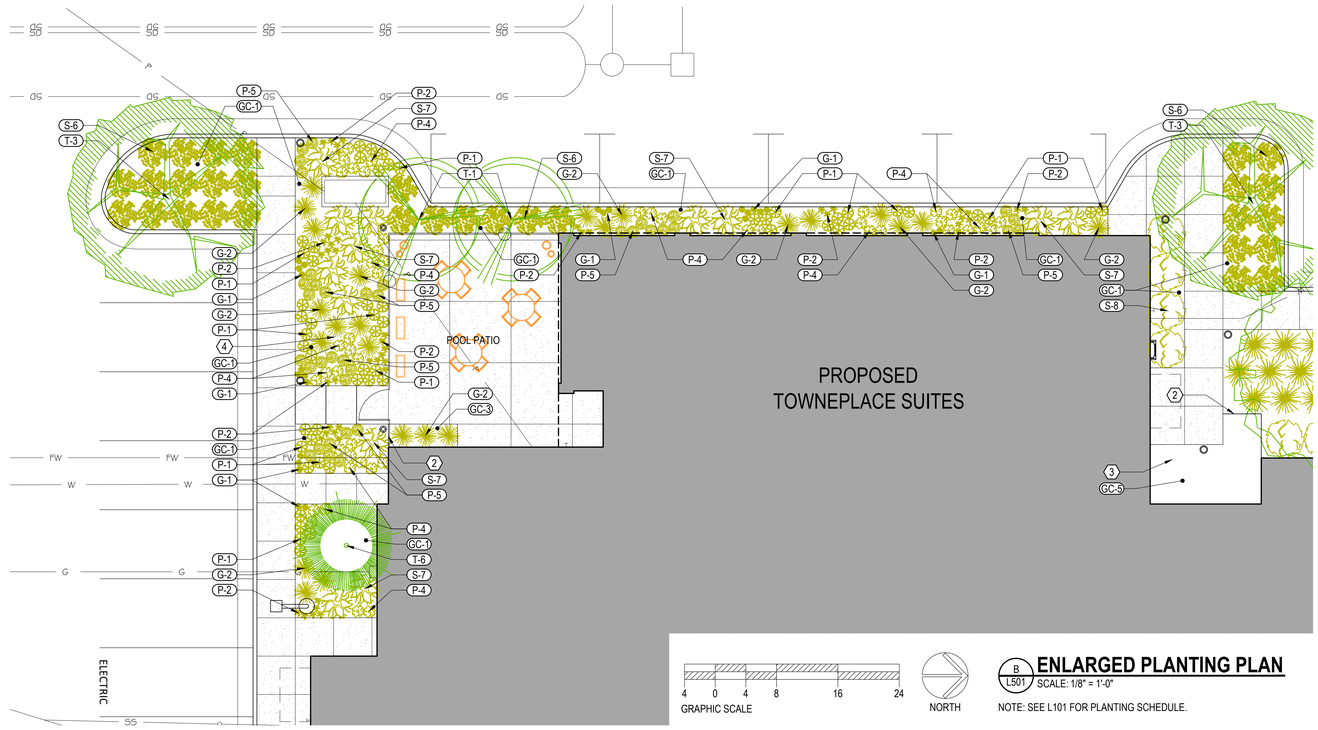


2 0 2 4 8 12
GRAPHIC SCALE

NORTH

C / L501 ENLARGED PLANTING PLAN
SCALE: 1/4" = 1'-0"

NOTE: SEE L101 FOR PLANTING SCHEDULE.

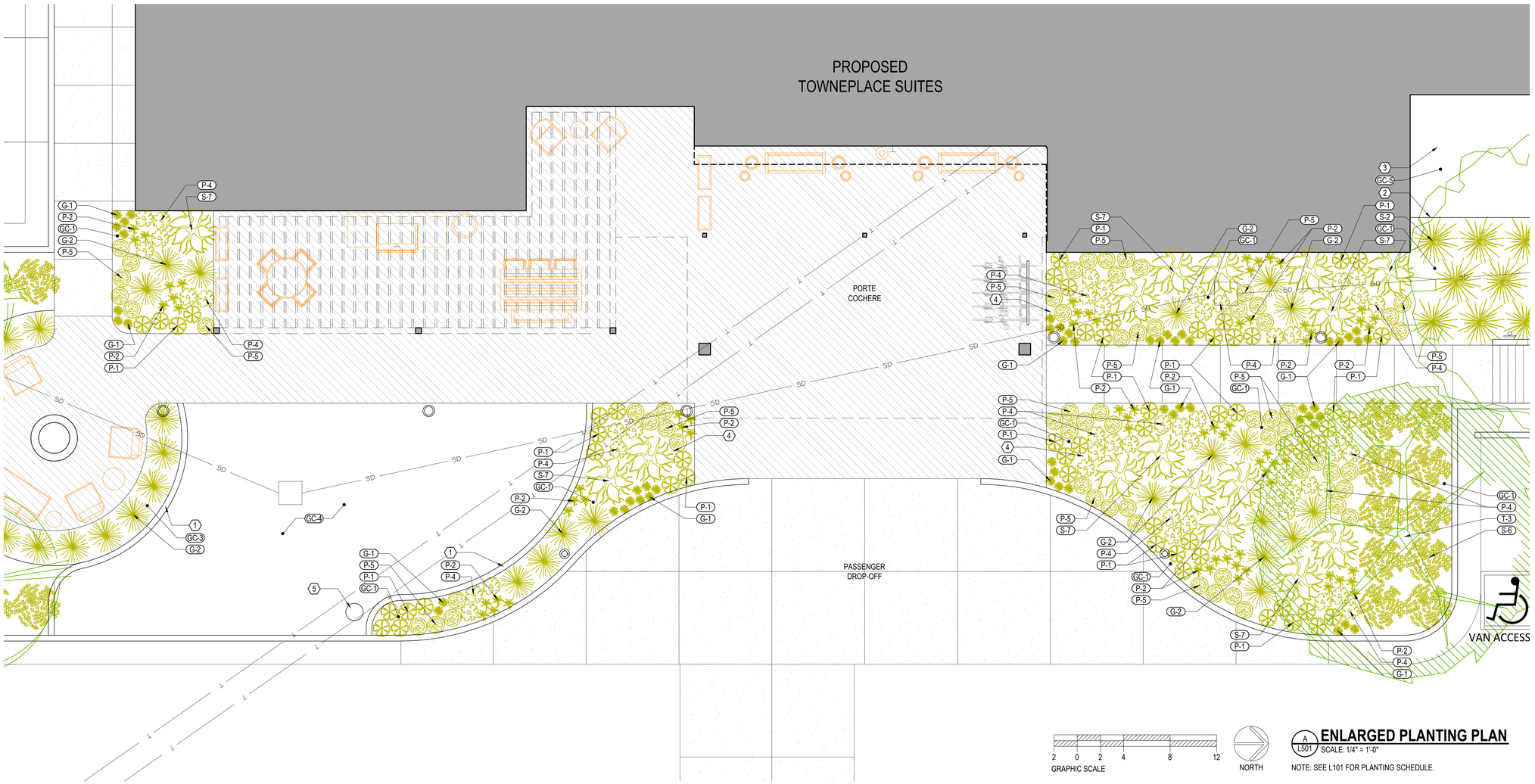


4 0 4 8 16 24
GRAPHIC SCALE

NORTH

B / L501 ENLARGED PLANTING PLAN
SCALE: 1/8" = 1'-0"

NOTE: SEE L101 FOR PLANTING SCHEDULE.



2 0 2 4 8 12
GRAPHIC SCALE

NORTH

A / L501 ENLARGED PLANTING PLAN
SCALE: 1/4" = 1'-0"

NOTE: SEE L101 FOR PLANTING SCHEDULE.

PLOT DATE: 6/22/2023

PLANTING KEYNOTES:

1. 6" CONCRETE MOWSTRIP.
2. FLEXIBLE METAL EDGING.
3. UNDERPLANT GROUNDCOVER WITH *MUSCARI ARMENIACUM* IN NATURALIZED DRIFTS, 6" MIN. SPACING. PROVIDE MINIMUM COUNT OF 100 IN EACH AREA IDENTIFIED.
4. UNDERPLANT PERENIAL BED WITH *TULIPA* 'ORANGE EMPEROR' IN RANDOMIZED DRIFTS, 12" MIN. SPACING. PROVIDE MINIMUM COUNT OF 50 IN EACH AREA IDENTIFIED.
5. PET WASTE STATION. REFER TO AS101.

PLANTING NOTES:

A. EXAMINE SITE TO VERIFY EXISTING CONDITIONS. NOTIFY LANDSCAPE ARCHITECT OF INCONSISTENCIES.
B. COORDINATE PLANTING OPERATION WITH OTHER TRADES TO AVOID CONFLICT.
C. COORDINATE PLACEMENT OF TREES WITH PLACEMENT OF IRRIGATION LINES, VALVES, SPRINKLER HEADS, ETC.
D. MAKE FINAL GRADE ELEVATIONS WITH TOPSOIL, CONSTRUCT BERMS, AND GRADE TO CONTOURS.
   MINIMUM TOPSOIL DEPTHS:
   TURF AREAS: 4"
   SHRUBS AREAS: 8"
E. ALLOW FOR 4" DEEP MULCHING IN SHRUB AREAS, 2" DEEP @ TURF AREAS.
F. PROVIDE 4" DEEP MULCHING IN PLANTING AREAS AND AT TREE WELLS.
G. AREAS OF VEGETATIVE GROUND COVER SHALL BE PROVIDED WITH 2" DEEP MULCHING OF 1/2" DIA. MAX., WOOD OR STONE ACCEPTABLE.
H. IF USED, WEED BARRIER SHALL ONLY BE USED IN AREAS WITH STONE GROUND COVER.
I. LANDSCAPER SHALL SUBMIT STONE GROUND COVER(S) FOR LANDSCAPE ARCHITECT'S APPROVAL.

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

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PROJECT NO:	20005
DRAWN BY:	MJV, SMS
CHECKED BY:	MJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:13:03 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC

PROJECT: LEGEND HILLS TOWNEPLACE SUITES

LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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LICENSED LANDSCAPE ARCHITECT
JOHAN VANZEBEN
11075706
STATE OF UTAH
06/23/2023

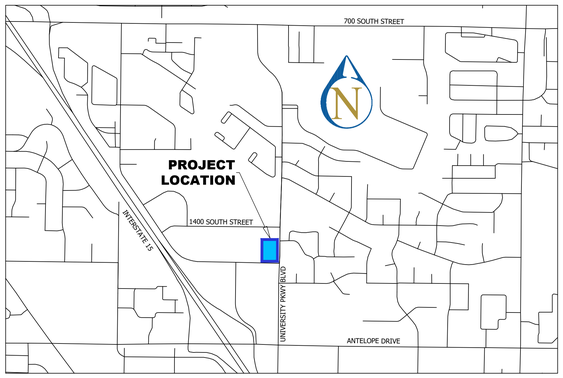
PLANTING PLAN

SHEET NUMBER:
L501

DATE: 06/23/2023

LEGEND HILLS TOWNEPLACE SUITES

1975 EAST LEGEND HILLS DRIVE
LOCATED IN THE SW 1/4 OF SECTION 31, T. 4., R. 3., S.L.B.&M.
CLEARFIELD CITY, DAVIS COUNTY, UTAH



SCALE: 1"=1000'

SHEET INDEX

NUMBER	TITLE
C100	COVER
C101	NOTES & LEGEND
C300	DEMOLITION PLAN
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C900	SITE DETAILS
C901	SITE UTILITY DETAILS
C910	CITY DETAILS
C911	CITY DETAILS
EC100	EROSION CONTROL PLAN
ST100	COVER
ST200	SITE PLAN
ST300	MATERIALS TABLE & NOTES
ST400	ISOLATOR ROW DETAIL
ST500	TECHNICAL SPECIFICATIONS

CITY ENGINEER'S APPROVAL

APPROVED BY THE FARMINGTON CITY ENGINEER, THIS _____ DAY OF _____, 20_____.

_____
FARMINGTON CITY ENGINEER

Client	VANZEBEN ARCHITECTURE
Contact	Dan
Phone	(801) 627-2400
Email	dan@vanzebenarchitecture.com

BENCHMARK: 30 - 31 NIC SET
ELEVATION: 4534.23

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GENERAL NOTES

1. ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
2. ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
3. THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
4. THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
5. THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
6. THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
7. CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
8. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND THEY SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.

H:\2058001\D_PRODUCTION\Civil\04_Plan Set\PLAN SET-2058001

LEGEND HILLS TOWNEPLACE SUITES
2058001

CIVIL	RNH 3/25/2021	
SURVEY	JRC 12/11/2020	
ENGINEER	STA 3/26/2021	

REV #	BY	DATE

REGISTERED PROFESSIONAL ENGINEER
THOMAS J. STREBER
No. 11700188
06/06/2023
REGISTERED PROFESSIONAL ENGINEER

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:13:10 PM

LEGEND HILLS TOWNEPLACE SUITES
1975 EAST LEGEND HILLS DRIVE
CLEARFIELD CITY, UTAH 84089

1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com
Entellus

C100
COVER

GENERAL NOTES

1. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY, CLEARFIELD CITY . CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.
2. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE. SEE UTILITY NOTE 3.
3. ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE.
4. PROVIDE HANDICAP RAMPS AT ENDS OF WALKWAYS. END 0.1' ABOVE FLOWLINE OF CURB.
5. CURB AND GUTTER SHALL BE AS PER APWA STD DWG NO 205 TYPE A.
6. UTILITY INFORMATION INDICATED ON DRAWING IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSUMED. SEE UTILITY NOTE 3.
7. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE.
8. COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.
9. ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS.
10. STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S SPECIFICATIONS.
    PRIVATE STORM DRAIN PIPE OPTIONS SHALL CONSIST OF THE FOLLOWING MATERIALS.
    1. PVC PIPE, ASTM D3034, SDR 35, BELL & SPIGOT TYPE.
    2. RCP PIPE, CLASS 3, BELL & SPIGOT TYPE.
    3. HIGH DENSITY CORRUGATED POLYETHYLENE SMOOTH INTERIOR PIPE, ASTM D3350 WITH WATERTIGHT JOINTS.
11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
12. TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION UNLESS SPECIFICALLY DETAILED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS.
13. ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
14. PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS.
16. ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2007 EDITION WITH ALL PERTINENT SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS.
17. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORITY FROM THE OWNER AND/OR ENGINEER.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
19. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.
20. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

SEQUENCE OF CONSTRUCTION

1. CONSTRUCTION EXIT IS TO BE CONSTRUCTED AT TIME OF ENTRY TO SITE.
2. CLEAR AND GRUB AREAS FOR SEDIMENT MEASURES.
3. INSTALL SILT FENCES.
4. COMPLETE CLEARING OF SITE AND BEGIN ROUGH GRADING.
5. FILL AREAS SHALL BE FILLED IN 12 INCH MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% MAXIMUM DENSITY.
6. DRAINAGE WILL BE CONTROLLED AND GROUND SLOPED SO AS TO DIRECT RUNOFF TO SEDIMENT CONTROLLED INLETS.
7. INSTALL REMAINDER OF STORM DRAIN.
8. INSTALL UTILITY LINES, WATER, ETC.
9. INSTALL CURBS, WALKS, ETC., AND STABILIZE ALL DISTURBED AREAS.
10. INSTALL BASE COURSE.
11. REMOVE SEDIMENT CONTROL MEASURES, CLEAN OUT TEMPORARY SEDIMENTATION BASINS AND REGRADE, CLEAN OUT SEDIMENT TRAPS AND CONVERT THEM TO STORM WATER MANAGEMENT STRUCTURES.
12. PAVE SITE.
13. OWNER TO BE RESPONSIBLE TO CHECK CLEAN OUT INLET BOXES FOR SEDIMENT AND OIL AND CLEAN AS NECESSARY

UTILITY NOTES

1. ALL SERVICE LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E.
2. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS
3. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO FIELD VERIFY CONNECTION POINTS WITH EXISTING UTILITIES, INCLUDING LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING STRUCTURES OR PIPES, BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.
4. CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND GIVE ENTELLUS. 48 HOURS PRIOR NOTICE SO ENTELLUS CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN ACROSS PROJECT PROPERTY WHICH MAY CAUSE POTENTIAL CONFLICT NEED TO BE EXPOSED AND LOCATED BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR PROCEEDS AT OWN RISK IF ENTELLUS IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS.
5. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE.
6. NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.
8. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
9. ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE.
10. SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER, UNLESS OTHERWISE NOTED.
11. ALL NEW CULINARY AND IRRIGATION WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
12. WATER LINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. (MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.)
13. ALL WATER LINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
14. WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE; CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.
15. ALL WATER LINES SHALL BE A MINIMUM 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS.
16. CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO FLUSHING LINES, CHLORINE LEFT IN PIPE 24 HOURS MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH AWWA STANDARDS.
17. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS.
18. ALL NEW STORM DRAIN/LAND DRAIN CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
19. ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL, UNLESS OTHERWISE NOTED.
20. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO DOMINION ENERGY GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY GAS FOR CONTRACTOR LIMITS OF WORK VERSUS DOMINION ENERGY GAS LIMITS.
21. ALL GAS LINE TAPS TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
22. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.
23. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
24. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.
25. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACTOR LIMITS OF WORK VERSES COMCAST LIMITS.
26. CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO NEW BUILDINGS OR LOTS WITH CENTURYLINK. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH CENTURYLINK.
27. ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATIONS:
    WATER - CLEARFIELD CITY
    SEWER - CLEARFIELD CITY
    STORM DRAIN - CLEARFIELD CITY
    IRRIGATION - CLEARFIELD CITY
    ELECTRICAL - ROCKY MOUNTAIN POWER
    TELEPHONE - CENTURYLINK
    NATURAL GAS - DOMINION ENERGY

GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 95% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS. REPORT.
2. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHOWN SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
3. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
4. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS/HER OWN ESTIMATE OF EARTHWORK QUANTITIES.
6. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OF CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY:
   - PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS.
   - THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO THE PLACEMENT OF CONCRETE.
   - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION.
   - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.

EROSION CONTROL

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.
2. ALL SEDIMENT CONTROL MEASURES TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE.
3. DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
4. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS WILL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
5. ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAINAGE SYSTEM THROUGH THE USE OF SANDBAGS, STRAW BALES, SILT FENCES, GRAVEL, BOARDS, AND OTHER APPLICABLE METHODS.
6. ALL DISTURBED AREAS OUTSIDE OF ROADWAYS, PARKING LOTS, SIDEWALKS AND OR BUILDING FOOTPRINTS SHALL BE SEEDED, SODDED AND/OR MULCHED.
7. IF SITE IS READY TO RECEIVE FINAL COVER DURING THE NON-PLANTING SEASON, THEN IT SHALL BE PROTECTED BY MULCHING. THE MULCH WILL REMAIN UNTIL THE NEXT PLANTING SEASON AS DEFINED BY THE LOCAL GOVERNING MUNICIPALITY.
8. RE-VEGETATE ALL DENUDED AREAS AS PER THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.
9. THE CONTRACTOR AGREES THAT:

A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM FINAL PAYMENT.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL. PERMITS, RETESTING AND REINSPECTION AT THEIR OWN EXPENSE.
F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
G. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAG-MEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

LEGEND

SECTION CORNER
MONUMENT
30.82 / 30.82 — EXISTING SPOT ELEVATION
30.82 / 30.82 — PROPOSED SPOT ELEVATION
GRADE — DOWNWARD GRADE
(4258) — EXISTING INDEX CONTOUR
EXISTING MINOR CONTOUR
4258 — PROPOSED CONTOUR
PROPOSED MINOR CONTOUR
LOT OR BOUNDARY LINE
PUBLIC UTILITY EASEMENT
BUILDABLE AREA SETBACK
CENTER LINE OF ROAD
EXISTING FENCE
PROPOSED FENCE
EXISTING BUILDING
PROPOSED BUILDING
EXISTING ASPHALT
PROPOSED ASPHALT
EXISTING CONCRETE
PROPOSED CONCRETE
EXISTING CURB & GUTTER
PROPOSED CURB & GUTTER
ADA PARKING
STREET LIGHT
LIGHT POLE
POWER POLE
TELEPHONE POLE
UTILITY POLE
STREET SIGN
EXISTING RETAINING WALL
PROPOSED RETAINING WALL
EXISTING ROCK WALL
PROPOSED ROCK WALL
FO — EXISTING FIBER OPTIC
FO — PROPOSED FIBER OPTIC
GAS — EXISTING NATURAL GAS
GAS — PROPOSED NATURAL GAS
PWR — EXISTING POWER
PWR — PROPOSED POWER
OHP — EXISTING OVERHEAD POWER
OHP — PROPOSED OVERHEAD POWER
UGP — EXISTING UNDERGROUND POWER
UGP — PROPOSED UNDERGROUND POWER
TEL — EXISTING TELEPHONE
TEL — PROPOSED TELEPHONE
IRR — EXISTING IRRIGATION LINE
IRR — PROPOSED IRRIGATION LINE
IRRIGATION MANHOLE
IRRIGATION METER
BLOWOFF
VALVE
TEE
ELBOW
REDUCER
THRUST BLOCK

LEGEND

W — EXISTING WATER LINE
W — PROPOSED WATER LINE
W — EXISTING FIRE PROTECTION
W — PROPOSED FIRE PROTECTION
WATER MANHOLE
WATER METER
FIRE HYDRANT
BLOWOFF
VALVE
TEE
ELBOW
REDUCER
THRUST BLOCK
SS — EXISTING SEWER LINE
SS — PROPOSED SEWER LINE
SEWER MANHOLE
LD — EXISTING LAND DRAIN
LD — PROPOSED LAND DRAIN
LAND DRAIN MANHOLE
SD — EXISTING STORM DRAIN
SD — PROPOSED STORM DRAIN
STORM DRAIN MANHOLE
CATCH BASIN / CLEANOUT
CURB INLET

ABBREVIATIONS

ø	DIAMETER
Δ	DELTA
°	DEGREES
'	MINUTES, FEET
"	SECONDS, INCHES
ADA	AMERICAN DISABILITIES ACT
ADS	CORRUGATED BLACK PLASTIC PIPE
APWA	AMERICAN PUBLIC WORKS ASSOCIATION
ARCH	ARCHITECT, ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
B&C	BAR & CAP
BLA	BOUNDARY LINE AGREEMENT
BLDG	BUILDING
BM	BENCHMARK
BND	BOUNDARY
BOW	BACK OF WALK
BRG	BEARING
BV	BUTTERFLY VALVE
C&G	CURB AND GUTTER
CB	CATCH BASIN
CH	CHORD
CHB	CHORD BEARING
CI	CAST IRON
CIP	CAST IN PLACE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COMM	COMMUNICATIONS
CONC	CONCRETE
CONST	CONSTRUCTION
CUL	CULINARY
CW	CULINARY WATER
CWL	CULINARY WATERLINE
DEMO	DEMOLITION
DI	DUCTILE IRON
DIAM	DIAMETER
DIST	DISTANCE
DWG	DRAWING
E	EAST, ELECTRICITY, ELECTRICAL
EASE	EASEMENT
EG	EXISTING GRADE
EL	ELBOW
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END VERTICAL CURVE
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOWLINE FND FOUNDATION
FP	FIRE PROTECTION
FTG	FOOTING
G	GAS, NATURAL GAS
GB	GRADE BREAK
GV	GATE VALVE
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HPE	HIGH POINT ELEVATION

ABBREVIATIONS

HPS	HIGH POINT STATION
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
INV	INVERT
IRR	IRRIGATION
IRRMH	IRRIGATION MANHOLE
K	RADIUS OF CURVATURE
L	LENGTH
LAT	LATERAL SERVICE
LD	LAND DRAIN
LDMH	LAND DRAIN MANHOLE
LF	LINEAL FEET
LG	LIP OF GUTTER
LP	LOW POINT
LPE	LOW POINT ELEVATION
MECH	MECHANICAL
MH	MANHOLE
MON	MONUMENT
NE	NORTHEAST
NW	NORTHWEST
OD	OUTSIDE DIAMETER
OHP	OVERHEAD POWER
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
PC	POINT OF CURVATURE
PCC	PORTLAND CONCRETE CEMENT
PI	POINT OF INFLECTION
PL	PROPERTY LINE
PPM	PARTS PER MILLION
PROP	PROPERTY
PT	POINT OF TANGENCY
PUE	PUBLIC UTILTIY EASEMENT
PUE&DE	PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INFLECTION
R	RADIUS
RC	REBAR & CAP
RCL	ROADWAY CENTERLINE
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
SDR	STANDARD DIMENSION RATIO
SE	SOUTHEAST
SEC	SECONDARY, SECTION
SLB&M	SALT LAKE BASE & MERIDIAN
SPEC	SPECIFICATION
SPP	STEEL PIPE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
SW	SECONDARY WATER
SW	SOUTHWEST
SWL	SECONDARY WATERLINE
SWPPP	STORMWATER POLLUTION PREVENTION PLAN
TAN	TANGENT
TB	THRUST BLOCK
TBC	TOP BACK OF CURB
TBW	TOP BACK OF WALK
TEL	TELEPHONE
TCW	TOP OF CURBWALL
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOE	TOE OF SLOPE OR WALL
TOG	TOP OF GRATE
TOW	TOP OF WALL
UTIL	UTILITY
UD	UNDERDRAIN
UGP	UNDERGROUND POWER
VC	VERTICAL CURVE
W	WEST, WATER
W2	SECONDARY WATER
WL	WATERLINE
WM	WATER METER
WP	WORK POINT

POWER
TELEPHONE & TV
GAS
SEWER
WATER
IRRIGATION

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LEGEND HILLS TOWNEPLACE SUITES

2058001

CIVIL	SURVEY	ENGINEER
RNH 3/25/2021	JRC 12/11/2020	STA 3/26/2021

REV #	BY	DATE

REGISTERED PROFESSIONAL ENGINEER No. 11790189 THOMAS J BRESLIN 04/06/2023 STATE OF UTAH

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:13:25 PM

LEGEND HILLS TOWNEPLACE SUITES
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CLEARFIELD CITY, UTAH 84089

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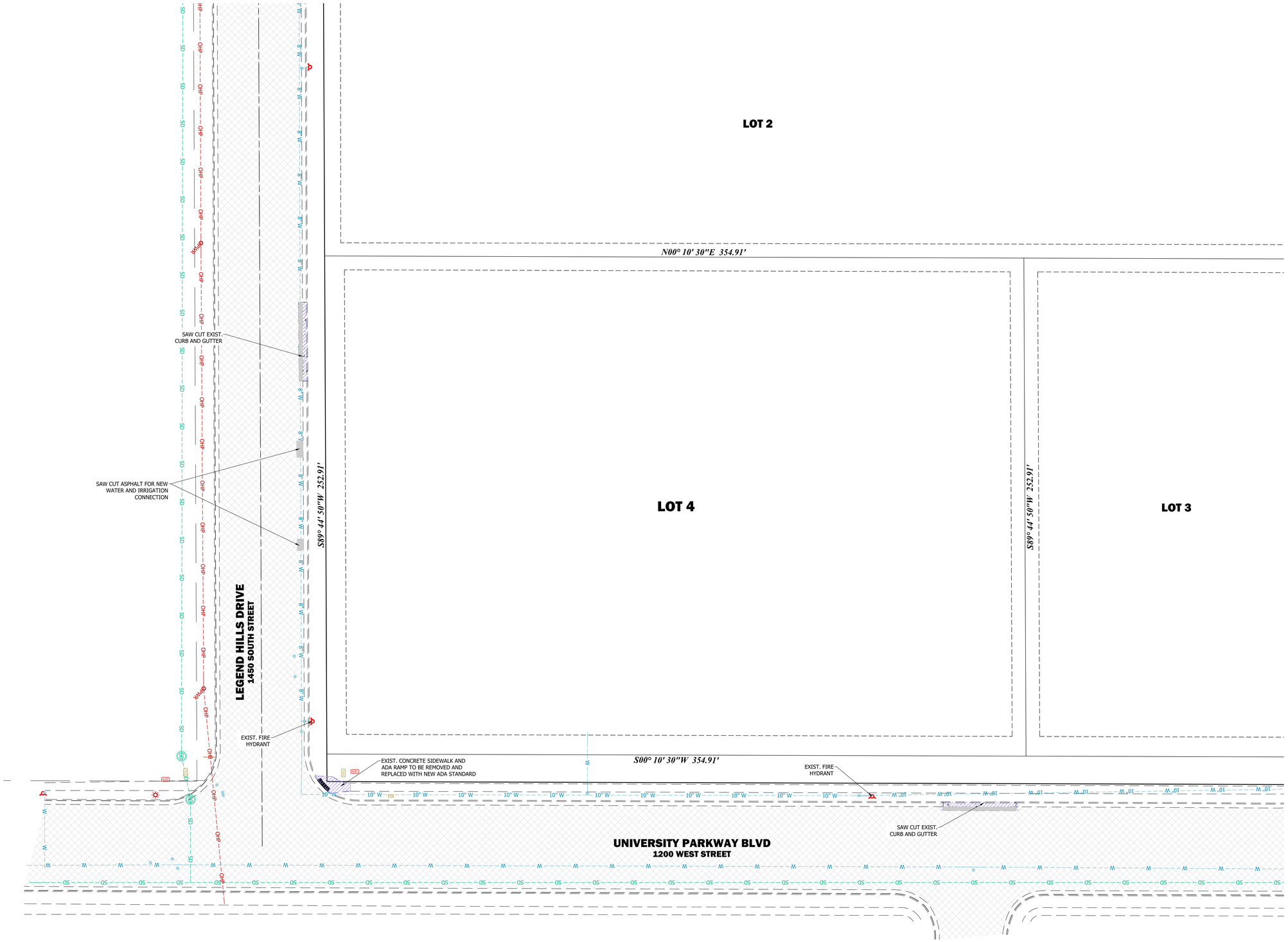
C101
NOTES & LEGEND



DEMOLITION LEGEND

- ASPHALT TO BE REMOVED
- CONCRETE TO BE REMOVED
- CLEAR AND GRUB

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LEGEND HILLS TOWNEPLACE SUITES

2058001

CIVIL	RNH 3/28/2021	
SURVEY	JRC 12/11/2020	
ENGINEER	STA 3/28/2021	

REV #	BY	DATE

REGISTERED PROFESSIONAL ENGINEER
06/06/2023
No. 11790188
THOMAS J BESSER
STATE OF UTAH

Clearfield City
LAND USE APPROVAL
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06/28/2023 4:13:31 PM

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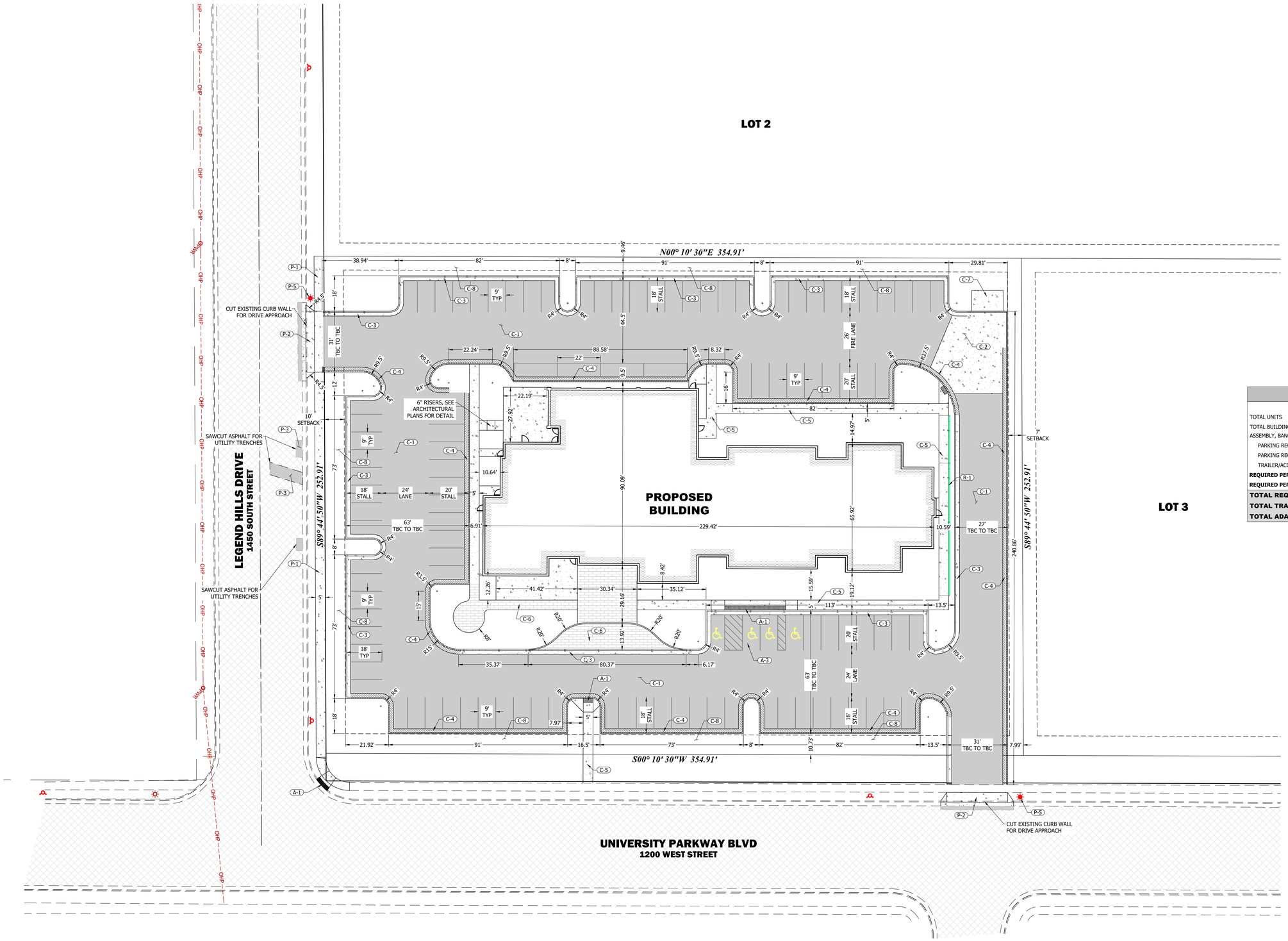
DEMOLITION PLAN



SCALE: 1" = 20'

AREA TABULATION

	sq.ft.	Acres	%
BUILDING	16,037	0.37	17.87%
IMPROVEMENTS	51,792	1.19	57.70%
LANDSCAPE	21,928	0.50	24.43%
TOTAL	89,757	2.06	100.00%

PARKING CALCULATIONS

TOTAL UNITS	89
TOTAL BUILDING AREA	16,037
ASSEMBLY, BANQUET, RESTAURANT AREA	1,200
PARKING REQUIRED PER UNIT	1
PARKING REQUIREMENT PER ASSEMBLY, BANQUET, RESTAURANT AREA	1:200 sq/ft
TRAILER/ACCESSORY VEHICLE PARKING REQUIREMENT	1 per 5 UNITS
REQUIRED PER UNITS	**89**
REQUIRED PER BUILDING AREA	**6**
TOTAL REQUIRED PARKING	**95**
TOTAL TRAILER/ACCESSORY VEHICLE PARKING	**19**
TOTAL ADA PARKING	**4**

SYMBOL LEGEND

- C-1 PRIVATE ASPHALT SECTION PER DETAIL, SHEET C900
- C-2 PRIVATE CONCRETE SECTION PER DETAIL, SHEET C900
- C-3 PRIVATE 24" CATCH CURB & GUTTER PER DETAIL, SHEET C900
- C-4 PRIVATE 24" RELEASE CURB & GUTTER PER DETAIL, SHEET C900
- C-5 PRIVATE CONCRETE SIDEWALK PER DETAIL, SHEET C900
- C-6 PRIVATE STAMPED CONCRETE
- C-7 DUMPSTER PAD AND APRON PER DETAIL, SHEET C900
- C-8 AREA RESERVED FOR SNOW STACKING
- A-1 ADA ACCESSIBLE RAMP PER DETAIL, SHEET C900
- A-2 ADA ACCESSIBLE RAMP PER DETAIL, SHEET C900
- A-3 ADA ACCESSIBLE PARKING & RAMPS DETAIL, SHEET C900
- A-4 ADA WALL-MOUNTED VAN-ACCESSIBLE SIGN PER DETAIL, SHEET C900
- P-1 PUBLIC SIDEWALK (6" THROUGH DRIVE APPROACH) PER CLEARFIELD CITY STANDARDS
- P-2 CONCRETE DRIVE APPROACH CURB RADIUS STYLE PER CLEARFIELD CITY STANDARDS
- P-3 'T' STYLE ASPHALT PATCH (EXIST THICKNESS +1") PER CLEARFIELD CITY STANDARDS
- P-4 STREETLIGHT POLE PER CLEARFIELD CITY STANDARDS

ALL ITEMS WITHIN THE PUBLIC RIGHT-OF WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

ACCESSIBLE ROUTE:
MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ACCESS ROUTE TURNAROUNDS:
A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:
MINIMUM SIZE OF 60"X60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE EGRESS TO PUBLIC WAY:
MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMPS:
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

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LEGEND HILLS TOWNEPLACE SUITES

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CIVIL	RNH 3/28/2021	
SURVEY	JRC 12/11/2020	
ENGINEER	STA 3/28/2021	

REV #	BY	DATE

REGISTERED PROFESSIONAL ENGINEER No.1179018 THOMAS J BESSETT 06/06/2023 REGISTERED PROFESSIONAL ENGINEER

Clearfield City
LAND USE APPROVAL
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06/28/2023 4:13:37 PM

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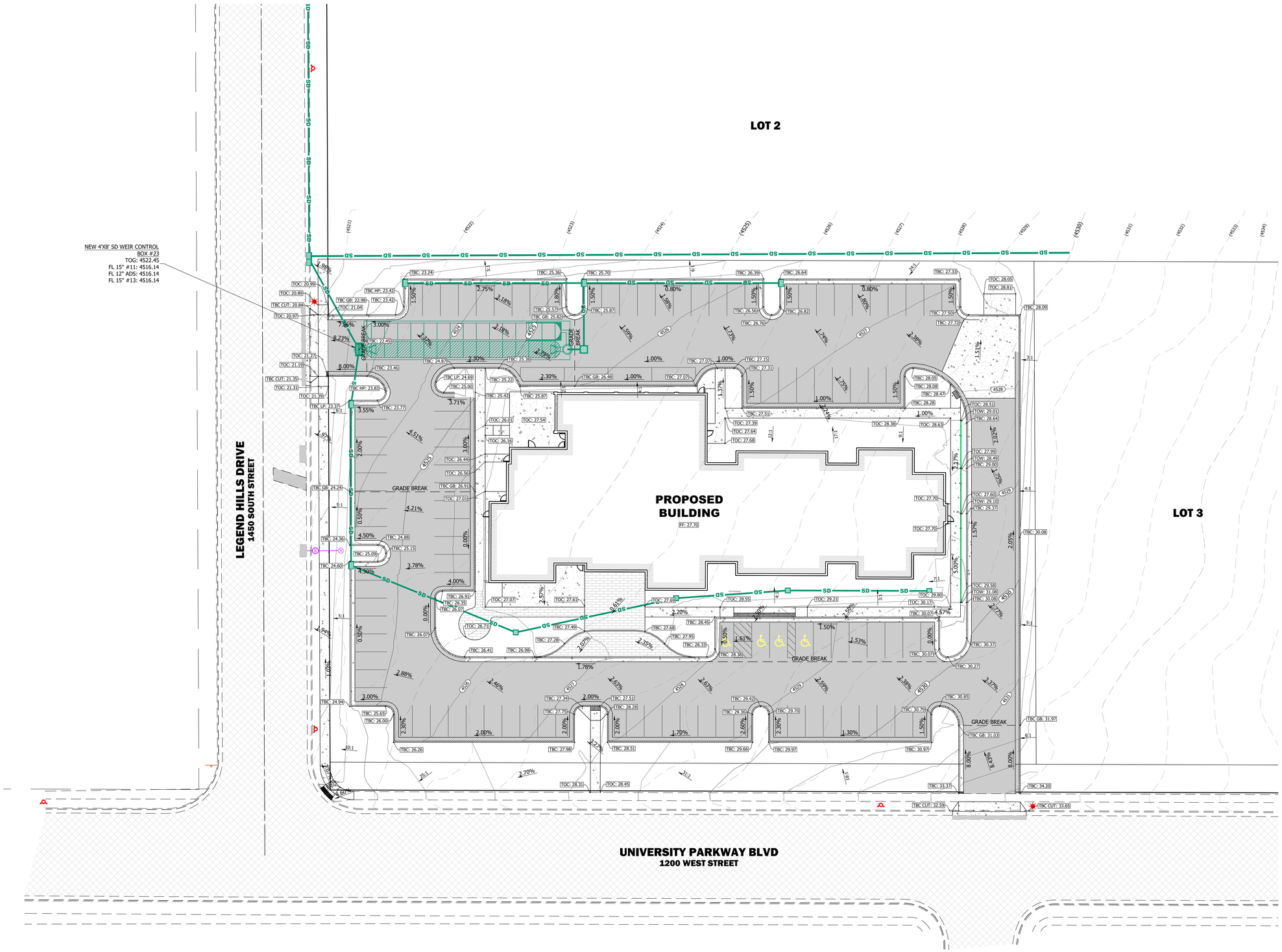
SITE PLAN



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ADA ACCESS RAMPS:
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

SITE BENCHMARK = 4534.23 AT 30 - 31 NIC SET

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LEGEND HILLS TOWNEPLACE SUITES

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CIVIL	RNH 3/26/2021	
SURVEY	JRC 12/11/2020	
ENGINEER	STA 3/26/2021	

REV #	BY	DATE

REGISTERED PROFESSIONAL ENGINEER
No. 1179018
THOMAS J BESSER
06/06/2023
REGISTERED PROFESSIONAL ENGINEER

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:13:43 PM

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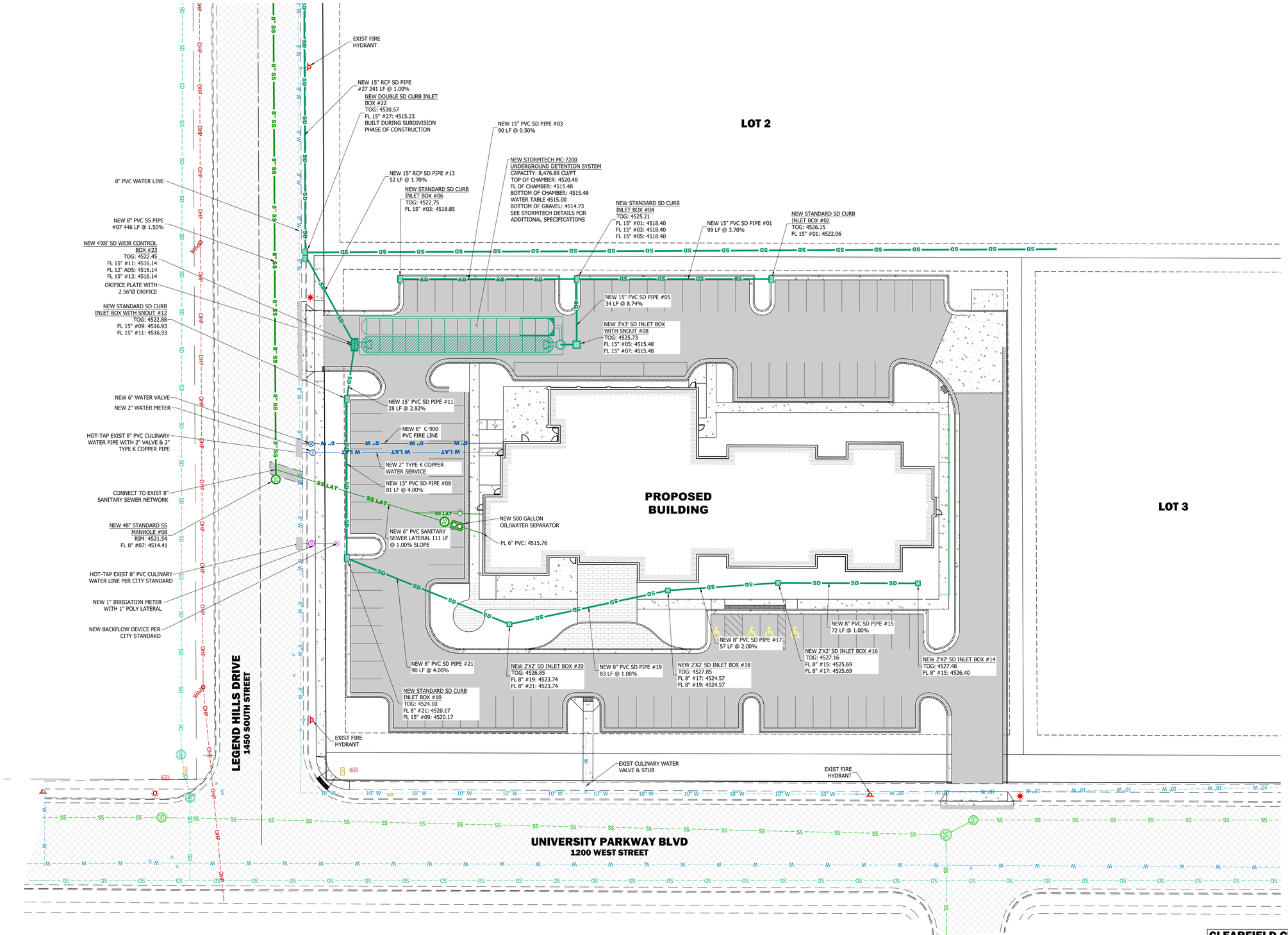
C500
GRADING PLAN



DRAINAGE CALCULATIONS

23-Mar-23

Pre-Development Area Analysis

Area	sq.ft.	Acres	C
Building	0	0.00	0.85
Improvements	0	0.00	0.90
Landscape	89,757	2.06	0.15
Total	89,757	2.06	0.15

Post-Development Area Analysis

Area	sq.ft.	Acres	C
Building	16,037	0.37	0.85
Improvements	51,792	1.19	0.90
Landscape	21,928	0.50	0.15
Total	89,757	2.06	0.71

100 Year Storage Analysis

NOAA Precipitation Frequency Data Server

Latitude: 41.0932° **Longitude: -111.9882°**

Allowable Runoff 0.20 cfs/acre

Time (min.)	I in./hr	Runoff ft^3	Allowable Runoff ft^3	Storage ft^3
5	7.080	3,098	124	2,974
10	5.380	4,708	247	4,461
15	4.450	5,841	371	5,471
30	3.000	7,876	742	7,134
60	1.850	9,714	1,484	8,230
120	1.050	11,026	2,967	8,059
180	0.720	11,342	4,451	6,891
360	0.392	12,350	8,902	3,448
720	0.236	14,870	17,803	0
1440	0.131	16,508	35,606	0
			Required Storage	**8,230**

80th Percentile Retention Analysis

P_{new} EQ. A	*Rnew = 0.225(Imp)-.05 when Imp<55%*
P_{new} EQ. B	*Rnew = 1.14(Imp)-.371 when Imp>55%*
WQRV EQ.	*WQRV = (P$_{80th}$ *R$_{new}$ *A)/12*
Retention	*Retention = WQRV*43560*
P_{80th}	0.50 (in.)
Imp_{pre}	0.00
Imp_{new}	76%
A	2.06 (acre)
R_{pre}	0.05
R_{new}	0.49
WQRV	0.038 ac-ft
Retention	1647 cu.ft.

Combined Storage

Retention	**1,647** cu.ft.
Detention	**6583** cu.ft.
Combined Storage	8,230 cu.ft.

Orifice Sizing

Highwater Elevation	4,521.48 ft
Orifice Elevation	4,516.14 ft
Flow	0.41 cfs
C_d	0.62 square
Orifice Size (Diameter)	**2.56** in.

Combined Storage	
Above-Ground Pond	560 cu.ft.
Underground Detention	7,670 cu.ft.
Combined Storage	8,230 cu.ft.

CLEARFIELD CITY NOTES

1. CULINARY WATER FACILITIES: ALL FACILITIES I.E., PIPES, SERVICE LATERALS, VALVES, BENDS, THRUST BLOCKS, FIRE HYDRANTS, MISCELLANEOUS FITTINGS ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.
2. SANITARY SEWER FACILITIES: ALL FACILITIES I.E., PIPES, MANHOLES, LATERALS, PIPELINE CLEANING, SEWER BACKUPS ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.
3. STORM WATER FACILITIES: ALL FACILITIES I.E., PIPES, MANHOLES, INLET CATCH BASINS, ORIFICE AND ORIFICE CONTROL STRUCTURES, DETENTION STORAGE BASINS, AND OVERFLOW SPILLWAYS ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.
4. ROADWAYS AND SIDEWALKS FACILITIES: ALL HARD-SURFACE FACILITIES ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.
5. ALL DETERIORATED, DAMAGED, OR MISSING SURFACE IMPROVEMENTS SURROUNDING THE PERIMETER OF THE DEVELOPMENT AND ON-SITE BE REPLACED OR INSTALLED, I.E., CURB AND GUTTER, SIDEWALK, LANDSCAPING PARK STRIP IMPROVEMENTS, ASPHALT PATCHING, LANDSCAPING REPLACEMENT, SITE LIGHTING, DUMPSTER SCREENING, CONCRETE IMPROVEMENTS, ETC.
6. THE VARIOUS UTILITIES MUST HAVE THE APPROPRIATE "UTILITY NAME" ON THE MANHOLE LIDS (SEWER, WATER, LAND DRAIN, IRRIGATION).
7. NO CLAY MATERIAL MAY BE USED FOR BACKFILLING, ON-SITE – CLEARFIELD CITY STANDARDS

H:\2058001\D_PRODUCTION\Civil\04_Plan Set\PLAN SET-2058001

LEGEND HILLS TOWNEPLACE SUITES

2058001

CIVIL	SURVEY	ENGINEER
RNH 3/25/2021	JRC 12/11/2020	STA 3/26/2021

REV #	BY	DATE

PROFESSIONAL ENGINEER
THOMAS J BRESNEY
No. 1179018
STATE OF UTAH
03/04/06/2023

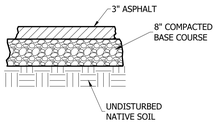
Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:13:51 PM

LEGEND HILLS TOWNEPLACE SUITES
1975 EAST LEGEND HILLS DRIVE
CLEARFIELD CITY, UTAH 84089

1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com
Entellus

C600
UTILITY PLAN

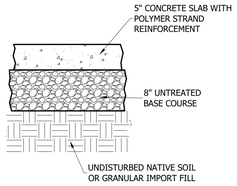
NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
2. PLACE MATERIAL PER APWA SECTION 32 05 10.



PRIVATE ASPHALT SECTION

C-1 / C400 TYPICAL N.T.S.

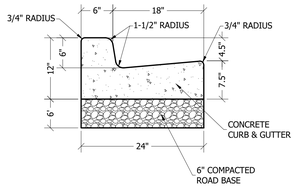
NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
2. CONCRETE IS TO BE 4,000 PSI TEST.
3. CONTROL JOINTS AT NO MORE THAN 10' INTERVALS BOTH WAYS.
4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



PRIVATE CONCRETE PAVING SLAB SECTION

C-2 / C400 TYPICAL N.T.S.

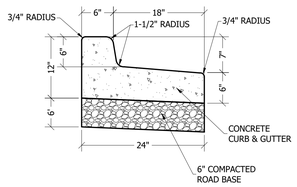
NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
2. CONCRETE IS TO BE 4,000 PSI TEST.
3. CONTROL JOINTS AT 10' INTERVALS.
4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



PRIVATE 24" CATCH CURB & GUTTER

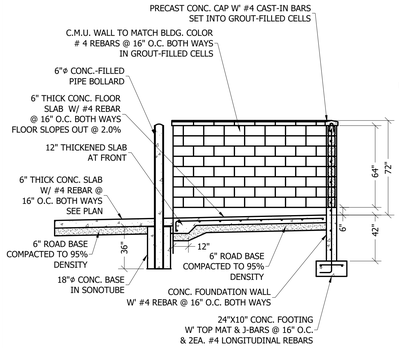
C-3 / C400 TYPICAL N.T.S.

NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
2. CONCRETE IS TO BE 4,000 PSI TEST.
3. CONTROL JOINTS AT 10' INTERVALS.
4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.

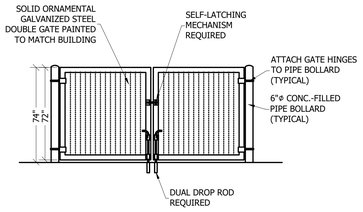


PRIVATE 24" RELEASE CURB & GUTTER

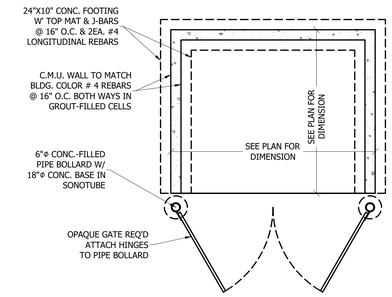
C-4 / C400 TYPICAL N.T.S.



SECTION VIEW

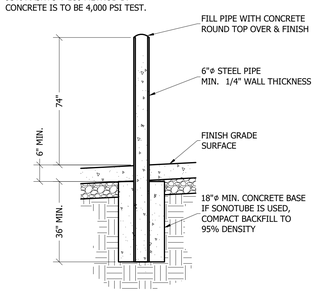


FRONT VIEW



PLAN VIEW

NOTES
1. BACKFILL IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
2. CONCRETE IS TO BE 4,000 PSI TEST.

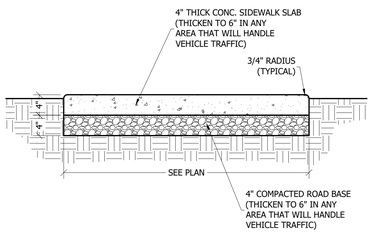


PIPE BOLLARD

C-7 / C400 TYPICAL N.T.S.

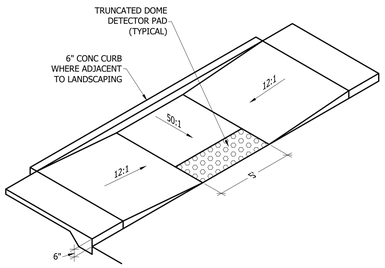
CMU DUMPSTER ENCLOSURE

NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
2. CONCRETE IS TO BE 4,000 PSI TEST.
3. CONTROL JOINTS AT 5' INTERVALS.
4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



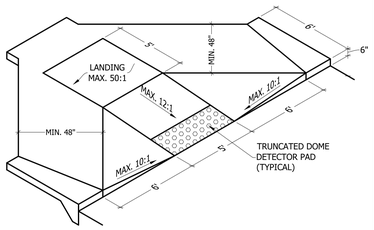
PRIVATE CONCRETE SIDEWALK

C-5 / C400 TYPICAL N.T.S.



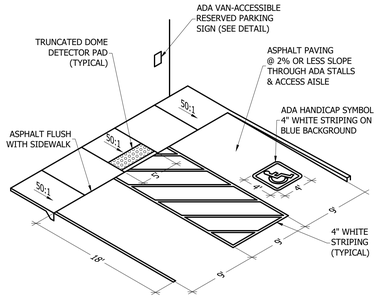
ADA ACCESSIBLE RAMP

A-1 / C400 TYPICAL N.T.S.



ADA ACCESSIBLE RAMP

A-2 / C400 TYPICAL N.T.S.



ADA ACCESSIBLE PARKING & RAMPS

A-3 / C400 TYPICAL N.T.S.

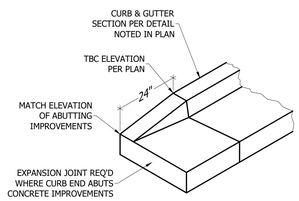
NOTES
1. SIGN IS TO BE REFLECTIVE MATERIAL ON AN ALUMINUM BACKING PLATE.
2. WHITE ADA SYMBOL ON A BLUE SQUARE.
3. WHITE BACKGROUND.
4. LETTERING IS TO BE BLUE OR GREEN

ADA RESERVED PARKING VAN-ACCESSIBLE SIGN

WALL-MOUNTED SIGN

ADA WALL-MOUNTED VAN-ACCESSIBLE PARKING SIGN

A-4 / C400 TYPICAL N.T.S.



PRIVATE TAPERED END HI-BACK CURB & GUTTER

C-8 / C400 TYPICAL N.T.S.

H:\2058001\D_PRODUCTION\Civil\04_Plan Set\PLAN SET-2058001

LEGEND HILLS TOWNEPLACE SUITES

2058001

CIVIL	SURVEY	ENGINEER
RNH 3/25/2021	JRC 12/11/2020	STA 3/26/2021

REV #	BY	DATE

PROFESSIONAL ENGINEER THOMAS J. BRESNAN No. 1 7901 8 1 PROFESSIONAL ENGINEER 06/06/2023

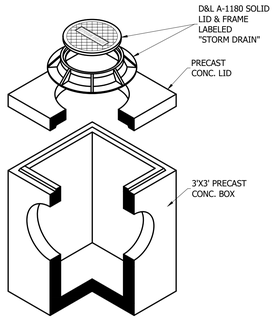
Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlraith, Senior Planner
06/28/2023 4:13:56 PM

LEGEND HILLS TOWNEPLACE SUITES

1975 EAST LEGEND HILLS DRIVE
CLEARFIELD CITY, UTAH 84089

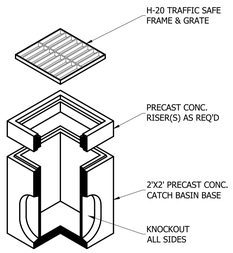
1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com
Entellus

C900
SITE DETAILS



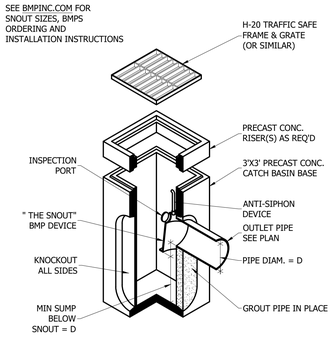
PRIVATE STORM DRAIN 3'X3' CLEANOUT

SD-1 / C600 TYPICAL N.T.S.



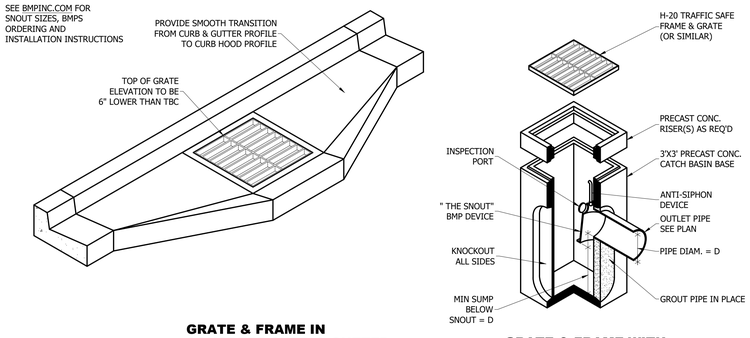
PRIVATE STORM DRAIN 2'X2' CATCH BASIN

SD-2 / C600 TYPICAL N.T.S.



PRIVATE STORM DRAIN BMP CATCH BASIN

SD-8 / C600 TYPICAL

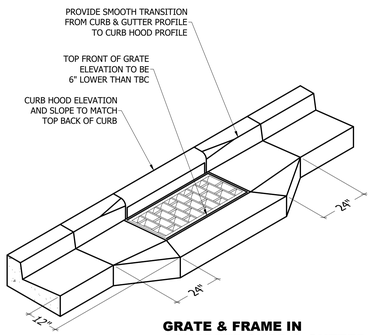


GRATE & FRAME IN CONCRETE CURB & GUTTER

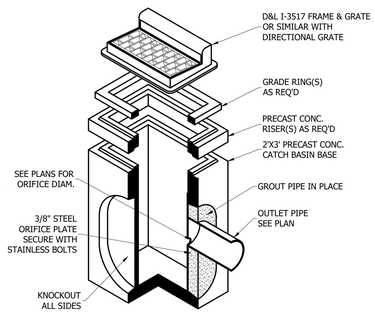
GRATE & FRAME WITH PRECAST CONCRETE BOX

PRIVATE STORM DRAIN 3'X3' BMP INLET BOX IN CURB

SD-12 / C600 TYPICAL N.T.S.



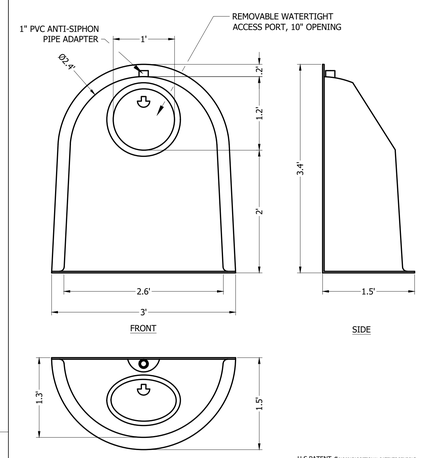
GRATE & FRAME IN CONCRETE CURB & GUTTER



GRATE & FRAME WITH PRECAST CONCRETE BOX

PRIVATE STORM DRAIN CURB INLET CONTROL BOX

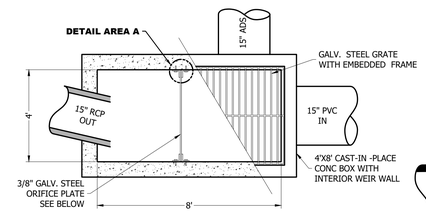
SD-3 / C600 TYPICAL N.T.S.



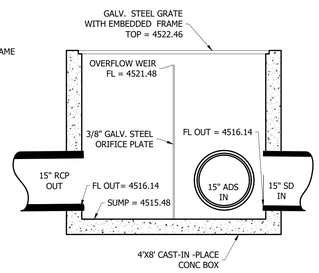
U.S.PATENT #5128417ADDITIONAL PATENTS PENDING

BMP, INC.
53 MT. ARCHER ROAD, LYME, CT. 06371
(800) 504-8008 FAX: (860)434-3195

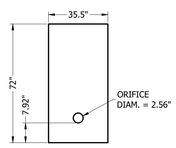
DESCRIPTION	DATE	SCALE
24F SNOUT OIL & DEBRIS STOP	09/20/99	NONE
	DRAWING NUMBER 24F	



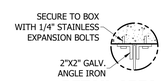
PLAN VIEW



SECTION VIEW



ORIFICE PLATE



DETAIL AREA A

PRIVATE STORM DRAIN CONTROL BOX WITH OVERFLOW WEIR

SD-23 / C600 TYPICAL N.T.S.

H:\2058001\D_PRODUCTION\Civil\04_Plan Set\PLAN SET-2058001

LEGEND HILLS TOWNEPLACE SUITES

2058001

CIVIL	SURVEY	ENGINEER
RNH 3/25/2021	JRC 12/11/2020	STA 3/26/2021

REV #	BY	DATE

Clearfield City
LAND USE APPROVAL
Approved By: Brad Mcilrath, Senior Planner
06/28/2023 4:14:02 PM

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CLEARFIELD CITY, UTAH 84089

1470 South 600 West
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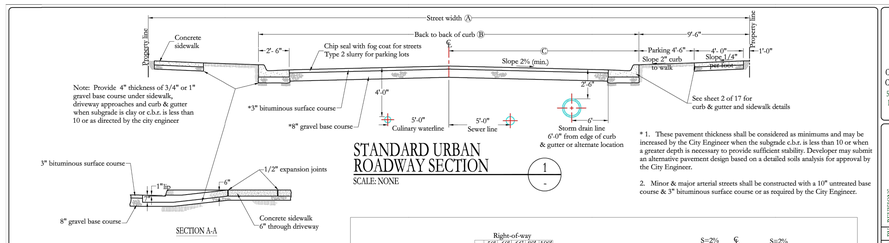
Entellus

C901
SITE UTILITY DETAILS



Note: Provide 4" thickness of 3/4" or 1" gravel base course under sidewalk, driveway approaches and curb & gutter when subgrade is clay or c.h.r. is less than 10 or as directed by the city engineer

STANDARD URBAN ROADWAY SECTION

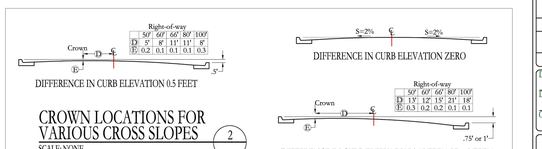
SCALE: NONE — 1

* 1. These pavement thickness shall be considered as minimums and may be increased by the City Engineer when the subgrade c.h.r. is less than 10 or when a greater depth is necessary to provide sufficient stability. Developer may submit an alternative pavement design based on a detailed soils analysis for approval by the City Engineer.

2. Minor & major arterial streets shall be constructed with a 10" untreated base course & 3" bituminous surface course or as required by the City Engineer.

Street designation	Row width (A)	the to the (B)	℄ to the ℄
Standard residential	60'	41'	20.5'
Collector	66'	47'	23.5'
Minor arterial▲	80'	61'	30.5'
Major arterial▲	100'	81'	40.5'

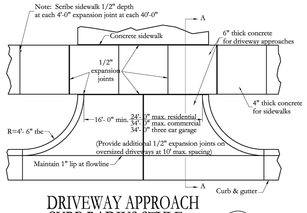
NOTE:
1. Maximum difference in elevation between curb on opposite side of street shall not exceed 1'-0".
▲2. On arterial streets the city engineer will provide a pavement design, location of sidewalk and curb & gutter may vary on individual arterial streets per direction of the City Engineer.



DIFFERENCE IN CURB ELEVATION 0.75 FEET OR 1.0 FEET

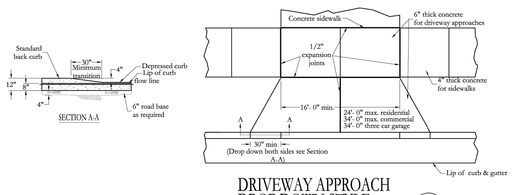
CROWN LOCATIONS FOR VARIOUS CROSS SLOPES

SCALE: NONE — 2



DRIVEWAY APPROACH CURB RADIUS STYLE

SCALE: NONE — 3



DRIVEWAY APPROACH DROP DOWN STYLE

SCALE: NONE — 4

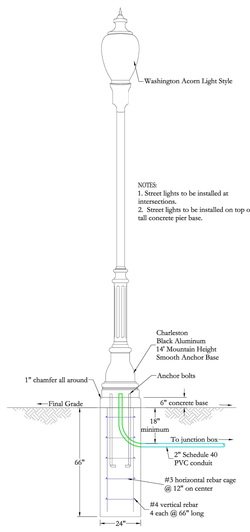
CIVIL ENGINEERING CONSULTANTS, PLLC.
5141 SOUTH 1500 WEST
RIVERDALE, UT 84405
801.866.0550

NO	DATE	BY	REVISIONS

DATE: OCTOBER 2014
DRAWN: JLS
CHECKED: NSN

PROJECT / LOCATION: CLEARFIELD CITY STANDARDS
TITLE: TYPICAL ROADWAY IMPROVEMENTS

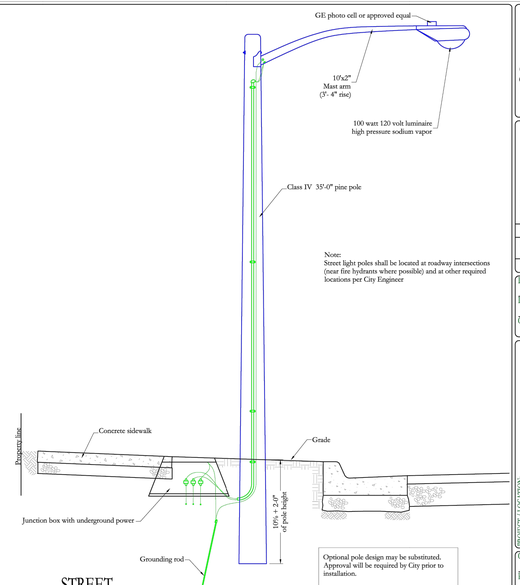
CLIENT: CLEARFIELD CITY
PROJECT NUMBER: CITY STANDARDS
FILE: 03_ROAD IMPROV.dwg
SHEET: 3of 17



NOTES:
1. Street lights to be installed at intersections.
2. Street lights to be installed on top of 6" tall concrete pier base.

INTERSECTION STREET LIGHT POLE DETAIL

SCALE: NONE — 1



Note:
Street light poles shall be located at roadway intersections (near fire hydrants where possible) and at other required locations per City Engineer

Optional pole design may be substituted. Approval will be required by City prior to installation.

See this sheet for optional pole & fixture designs.

STREET LIGHT POLE DETAIL

SCALE: NONE — 2

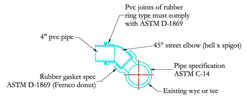
CIVIL ENGINEERING CONSULTANTS, PLLC.
5141 SOUTH 1500 WEST
RIVERDALE, UT 84405
801.866.0550

NO	DATE	BY	REVISIONS

DATE: OCTOBER 2014
DRAWN: JLS
CHECKED: NSN

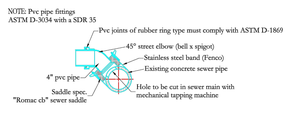
PROJECT / LOCATION: CLEARFIELD CITY STANDARDS
TITLE: STREET LIGHT POLE DETAIL

CLIENT: CLEARFIELD CITY
PROJECT NUMBER: CITY STANDARDS
FILE: 15_STREET LIGHT.dwg
SHEET: 15of 17



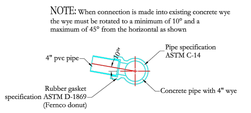
CONNECTION INTO CONCRETE WYE (WITH 45° ELBOW)

SCALE: NONE — A



TAPPING INTO EXISTING CONCRETE PIPE

SCALE: NONE — B



CONNECTING INTO CONCRETE WYE (W/O 45° ELBOW)

SCALE: NONE — C

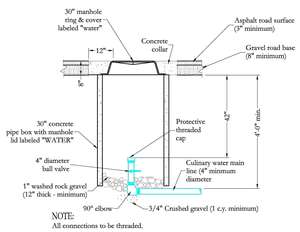
CIVIL ENGINEERING CONSULTANTS, PLLC.
5141 SOUTH 1500 WEST
RIVERDALE, UT 84405
801.866.0550

NO	DATE	BY	REVISIONS

DATE: OCTOBER 2014
DRAWN: JLS
CHECKED: NSN

PROJECT / LOCATION: CLEARFIELD CITY STANDARDS
TITLE: TAPPING & CONNECTION

CLIENT: CLEARFIELD CITY
PROJECT NUMBER: CITY STANDARDS
FILE: 09_SLAT &BLOW.dwg
SHEET: 9of 17

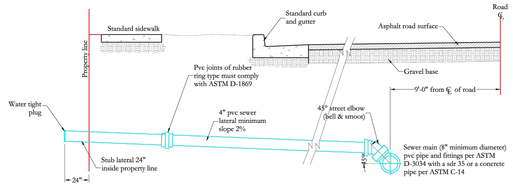


NOTE:
All connections to be threaded.

BLOW OFF VALVE SIDE VIEW

SCALE: NONE — 1

NORTH DAVIS SEWER DISTRICT NOTE:
Any sanitary sewer work done involving the North Davis Sewer District (NDSD) will require written approval from NDSD and must be in compliance to all NDSD standards.



TYPICAL SEWER LATERAL CONNECTION

SCALE: NONE — 2

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801.866.0550

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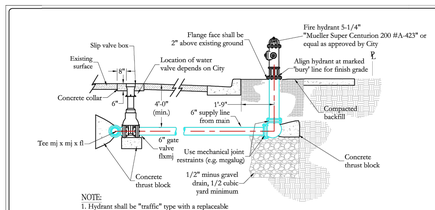
DATE: OCTOBER 2014
DRAWN: JLS
CHECKED: NSN

PROJECT / LOCATION: CLEARFIELD CITY STANDARDS
TITLE: SANITARY SEWER LATERAL & BLOW-OFF VALVE

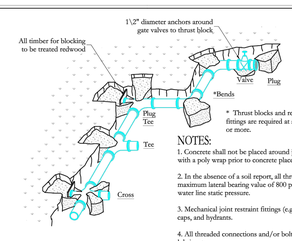
CLIENT: CLEARFIELD CITY
PROJECT NUMBER: CITY STANDARDS
FILE: 09_SLAT &BLOW.dwg
SHEET: 9of 17



NOTE:
1. Hydrant shall be "traffic" type with a replaceable break-away unit immediately above ground.

TYPICAL THRUST BLOCK CONNECTION

SCALE: NONE — 1



* Thrust blocks and restrained joint fittings are required at all bends 22 1/2° or more.

NOTES:
1. Concrete shall not be placed around joints and bolts. Cover all metal contact areas with a poly wrap prior to concrete placement.

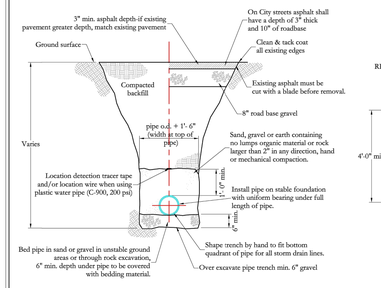
2. In the absence of a soil report, all thrust blocks shall be sized on the basis of a maximum lateral bearing value of 800 p.s.f. and a thrust resisiting from 150% of the water line static pressure.

3. Mechanical joint restraint fittings (e.g. megalug) shall be used on all valves, bends, caps, and hydrants.

4. All threaded connections and/or bolts shall be encased with a APWA approved lubricant grease.

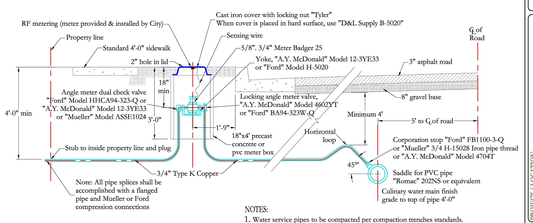
CONCRETE THRUST BLOCK DETAILS

SCALE: NONE — 2



CULINARY WATER TRENCH CROSS-SECTION

SCALE: NONE — 3



Note: All pipe splices shall be accomplished with a flanged pipe and Mueller or Ford compression connections

NOTES:
1. Water service pipes to be compacted per compaction trenches standards.
2. All expansion connections will be "A.Y. McDonald" Model 14-2E or "Ford" Model EC-23.
3. This detail shows a typical water connect for 3/4" to 1" meters.

TYPICAL WATER CONNECTION

SCALE: NONE — 4

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DATE: OCTOBER 2014
DRAWN: JLS
CHECKED: NSN

PROJECT / LOCATION: CLEARFIELD CITY STANDARDS
TITLE: FIRE HYDRANT; TRENCH DETAIL, WATER CONNECTION

CLIENT: CLEARFIELD CITY
PROJECT NUMBER: CITY STANDARDS
FILE: 10_HYD_ H2OCONNECT.dwg
SHEET: 10of 17

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LEGEND HILLS TOWNEPLACE SUITES

2058001

CIVIL	SURVEY	ENGINEER
RNH 3/25/2021	JRC 12/11/2020	STA 3/26/2021

REV #	BY	DATE

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:14:09 PM

LEGEND HILLS TOWNEPLACE SUITES
1975 EAST LEGEND HILLS DRIVE
CLEARFIELD CITY, UTAH 84089

1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com
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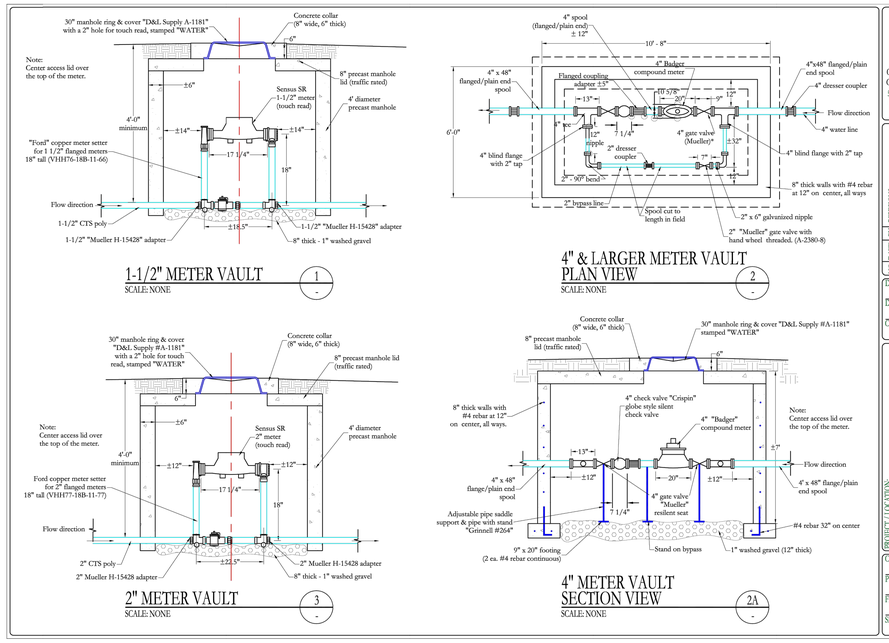
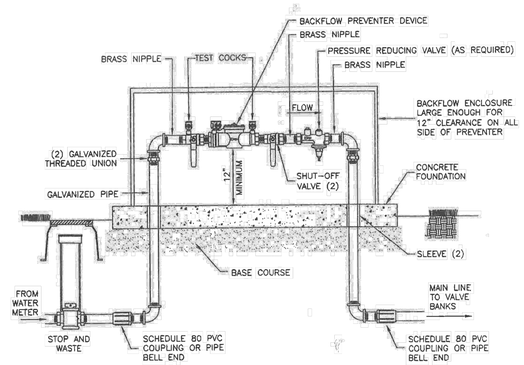
CITY DETAILS



LESS THAN 3" DIAMETER



APWA Utah Chapter

Backflow preventer

Plan 631.1
April 2011

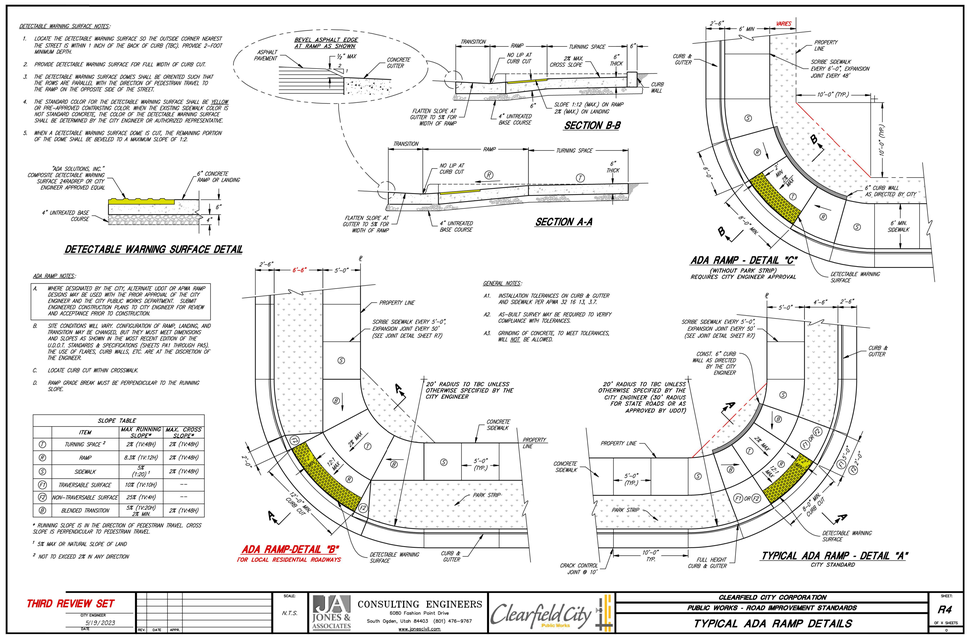
Backflow preventer

1. **GENERAL**
   A. Test the backflow preventer within 10 days of installation by a licensed backflow device tester and report results to ENGINEER.
   B. Tester is to assure CONTRACTOR and ENGINEER that the backflow preventer system meets the Utah Safe Drinking Water Act.

2. **PRODUCTS**
   A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
   B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
   C. Concrete: Class 4000◊APWA Section 03 30 04.
   D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
   E. Paint: Epoxy based. Color to be selected by ENGINEER.

3. **EXECUTION**
   A. Install per plumbing code. It must not be susceptible to flooding and must be accessible at all times for testing, repair, inspection, etc.
   B. Install backfill around concrete box. Compact in 8-inch lifts to 95-percent or greater relative to a standard proctor density, APWA Section 31 23 26.
   C. Except machined surfaces, coat all items in atmosphere with epoxy paint.
   D. Concrete placement, APWA Section 03 30 10. Provide 1/2-inch radius on edges. Apply a broom finish. Apply a curing agent.

631.1



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LEGEND HILLS TOWNEPLACE SUITES

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CIVIL	SURVEY	ENGINEER
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REV #	BY	DATE

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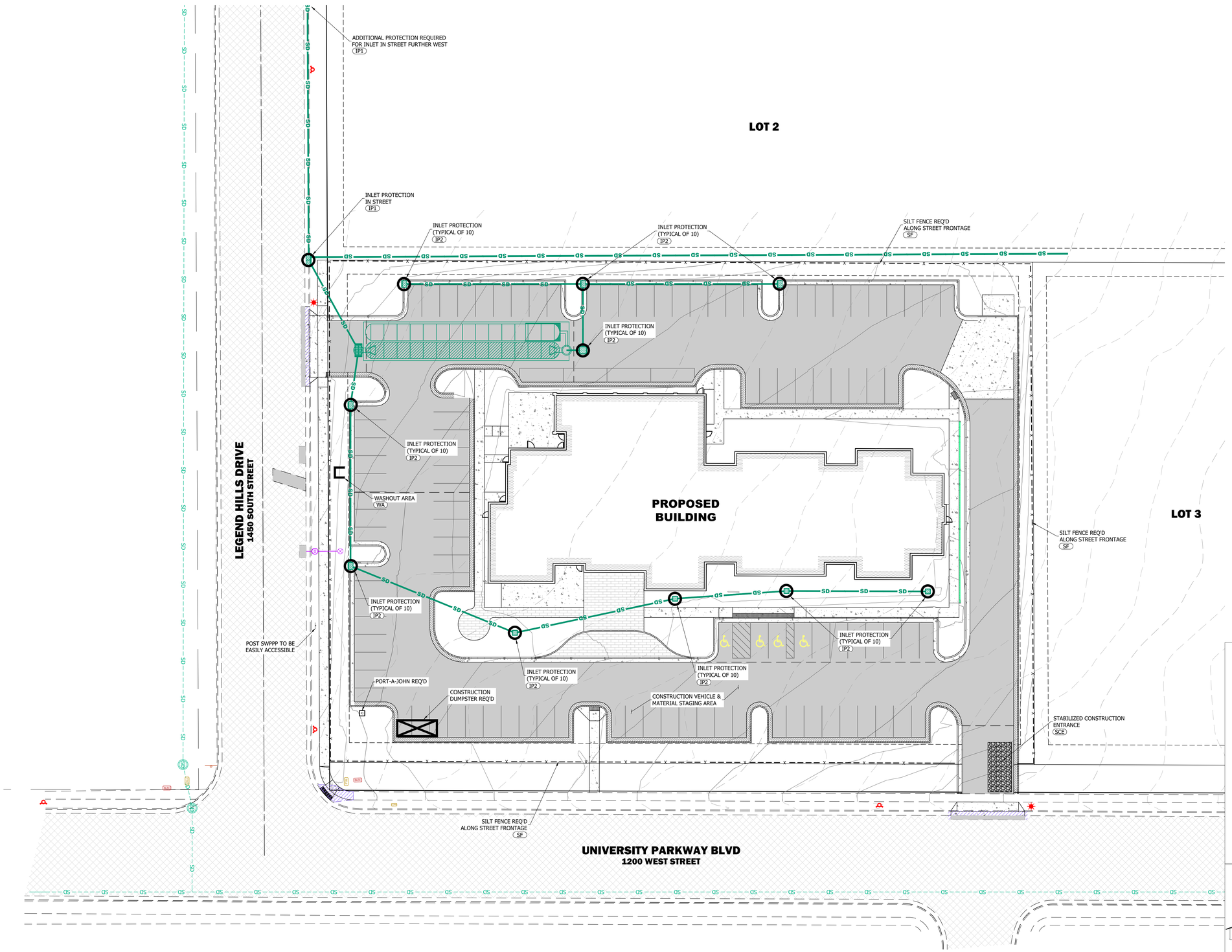
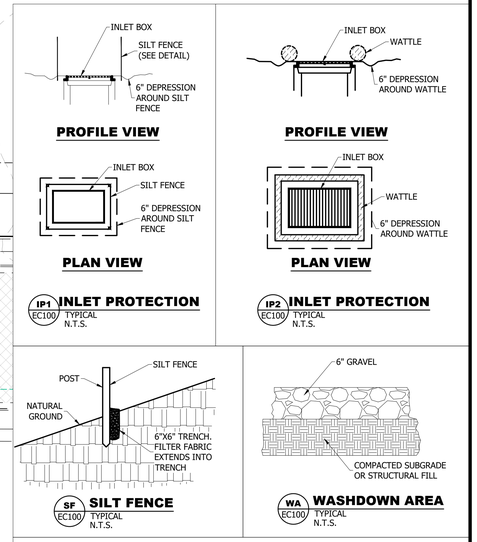
CITY DETAILS



SCALE: 1" = 20'

CONSTRUCTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.
2. CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.
3. CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.
4. CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.
5. ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.
6. ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.
7. A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.
8. A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE EXCESS DIRT.
9. INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.
11. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.



SWPPP NOTES

1. SOUTH ENTRANCE OF PROJECT TO REMAIN CLOSED DURING CONSTRUCTION TO ALL TRAFFIC. IF OTHERWISE NEEDED, CONTRACTOR SHALL CONSTRUCT AN ADDITIONAL STABILIZED ENTRANCE AT SOUTH ENTRANCE.

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LEGEND HILLS TOWNEPLACE SUITES

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CIVIL	SURVEY	ENGINEER
RNH 3/28/2021	JRC 12/11/2020	STA 3/26/2021

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Clearfield City
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LEGEND HILLS TOWNEPLACE SUITES

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CLEARFIELD CITY, UTAH 84089

1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
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EC100
EROSION CONTROL PLAN

PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	

Advanced Drainage Systems, Inc.

SiteAssist™
FOR STORMTECH INSTALLATION INSTRUCTIONS VISIT OUR APP

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06/28/2023 4:14:27 PM

LEGEND HILLS TOWNEPLACE

CLEARFIELD CITY, UT

MC-7200 STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH MC-7200.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
   - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
   - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
   - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT/%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
   - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
   - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
   - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

1. STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
   - STONESHOOTER LOCATED OFF THE CHAMBER BED.
   - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
   - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM - 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
8. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
9. STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.
10. STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
11. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
12. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

1. STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
2. THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
   - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
   - NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-7200 CONSTRUCTION GUIDE".
   - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

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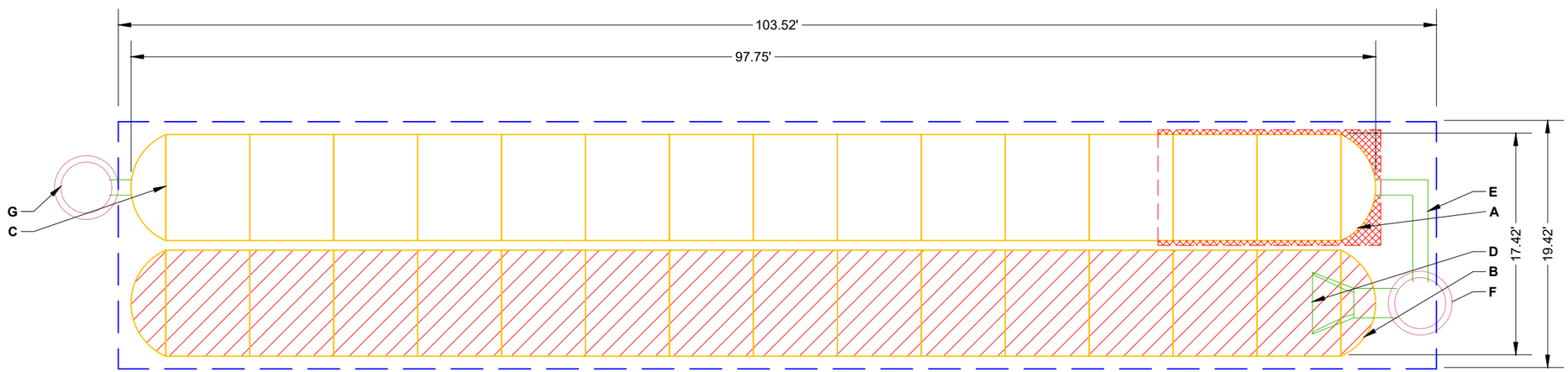
PROPOSED LAYOUT	
28	STORMTECH MC-7200 CHAMBERS
4	STORMTECH MC-7200 END CAPS
12	STONE ABOVE (in)
9	STONE BELOW (in)
40	STONE VOID
8477	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED)
2010	SYSTEM AREA (SF)
245.9	SYSTEM PERIMETER (ft)

CONCEPTUAL ELEVATIONS	
MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	12.75
MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	8.25
MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	7.75
MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	7.75
MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	7.75
TOP OF STONE:	6.75
TOP OF MC-7200 CHAMBER:	5.75
12" x 12" TOP MANIFOLD INVERT:	3.72
24" ISOLATOR ROW PLUS INVERT:	0.94
12" BOTTOM CONNECTION INVERT:	0.88
BOTTOM OF MC-7200 CHAMBER:	0.75
BOTTOM OF STONE:	0.00

*INVERT ABOVE BASE OF CHAMBER

PART TYPE	ITEM ON LAYOUT	DESCRIPTION	INVERT*	MAX FLOW
PREFABRICATED END CAP	A	12" TOP PARTIAL CUT END CAP, PART#: MC7200IEPP12T / TYP OF ALL 12" TOP CONNECTIONS	35.69"	
PREFABRICATED END CAP	B	24" BOTTOM PARTIAL CUT END CAP, PART#: MC7200IEPP24B / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	2.26"	
PREFABRICATED END CAP	C	12" BOTTOM PARTIAL CUT END CAP, PART#: MC7200IEPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS	1.55"	
FLAMP	D	INSTALL FLAMP ON 24" ACCESS PIPE / PART#: MC720024RAMP		
MANIFOLD	E	12" x 12" TOP MANIFOLD, ADS N-12	35.69"	
CONCRETE STRUCTURE	F	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)		2.5 CFS IN
CONCRETE STRUCTURE	G	OCS (DESIGN BY ENGINEER / PROVIDED BY OTHERS)		2.0 CFS OUT



ISOLATOR ROW PLUS (SEE DETAIL)

PLACE MINIMUM 17.50' OF ADSPLUS175 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

BED LIMITS

NOTES

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- **NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

LEGEND HILLS TOWNEPLACE
CLEARFIELD CITY, UT
DATE:
DRAWN: RH
PROJECT #:
CHECKED: N/A

DATE	DRW	CHK	DESCRIPTION

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:14:37 PM

StormTech®
Chamber System
888-892-2694 | WWW.STORMTECH.COM

ADS
4640 TRUEMAN BLVD
HILLIARD, OH 43026
1-800-733-7473

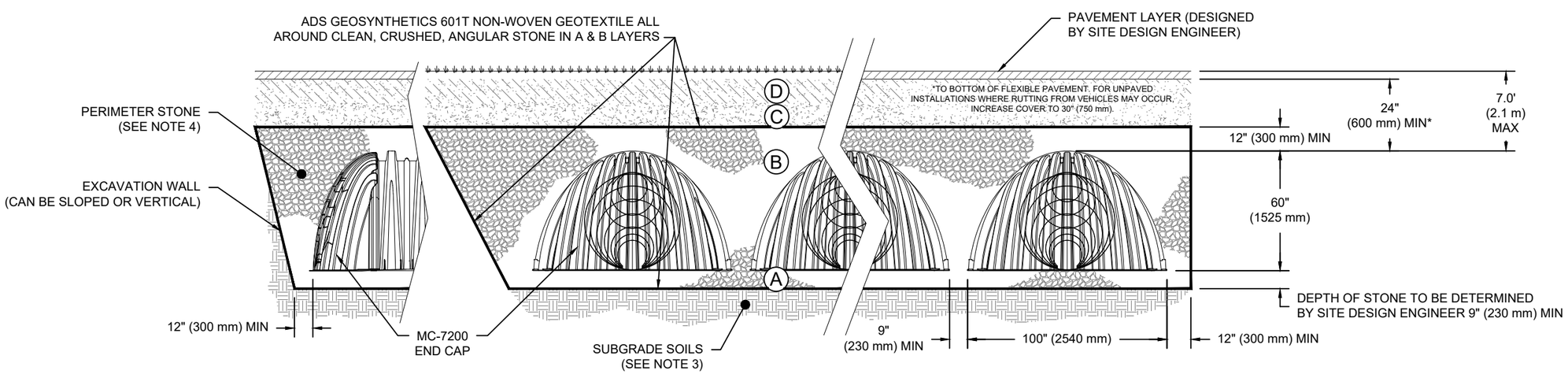
0 10' 20'

THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO ADS UNDER THE DIRECTION OF THE SITE DESIGN ENGINEER OR OTHER PROJECT REPRESENTATIVE. THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE SITE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.

ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DESCRIPTION REQUIREMENT
D	**FINAL FILL:** FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	**INITIAL FILL:** FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145[1] A-1, A-2-4, A-3 OR AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	**EMBEDMENT STONE:** FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 4	NO COMPACTION REQUIRED.
A	**FOUNDATION STONE:** FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.[2,3]

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101
2. MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
   - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
   - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
   - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT/%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

LEGEND HILLS TOWNEPLACE
CLEARFIELD CITY, UT
DATE: DRAWN: RH
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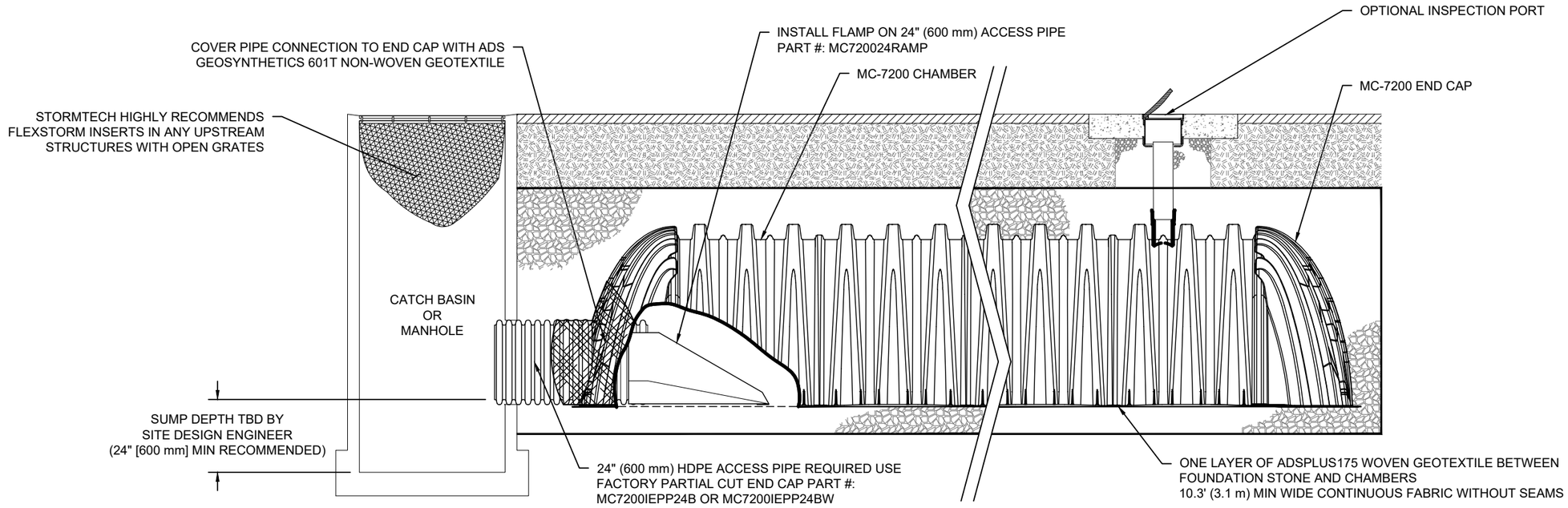

MC-7200 ISOLATOR ROW PLUS DETAIL

NTS

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
  - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
  - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
  - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
  - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
  - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
  - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
  - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
    - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
    - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
  - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

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MC-7200 TECHNICAL SPECIFICATION

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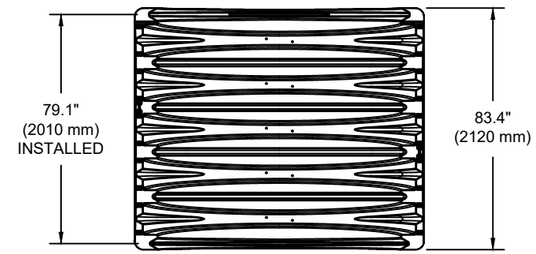
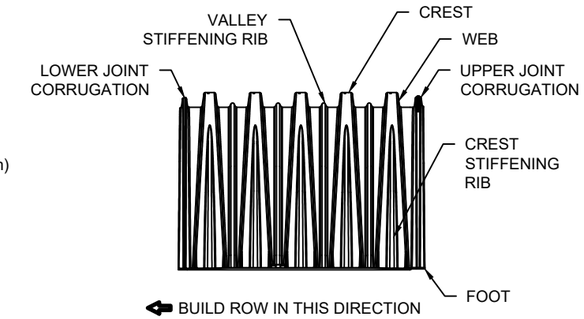
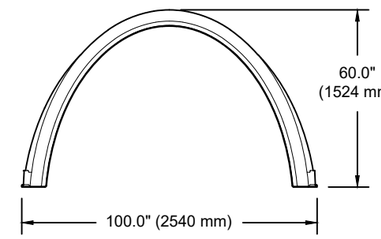
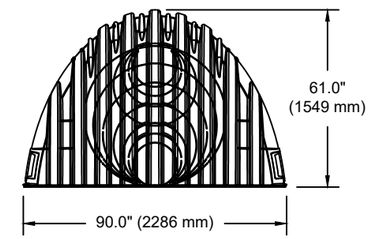
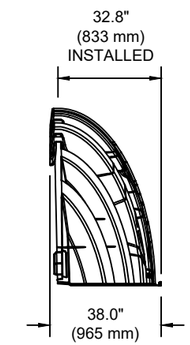










NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	100.0" X 60.0" X 79.1"	(2540 mm X 1524 mm X 2010 mm)
CHAMBER STORAGE	175.9 CUBIC FEET	(4.98 m³)
MINIMUM INSTALLED STORAGE*	267.3 CUBIC FEET	(7.56 m³)
WEIGHT (NOMINAL)	205 lbs.	(92.9 kg)

NOMINAL END CAP SPECIFICATIONS

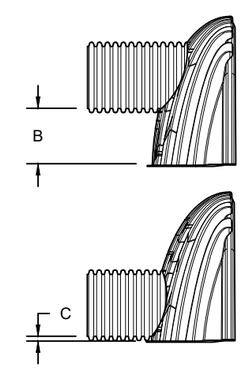
SIZE (W X H X INSTALLED LENGTH)	90.0" X 61.0" X 32.8"	(2286 mm X 1549 mm X 833 mm)
END CAP STORAGE	39.5 CUBIC FEET	(1.12 m³)
MINIMUM INSTALLED STORAGE*	115.3 CUBIC FEET	(3.26 m³)
WEIGHT (NOMINAL)	90 lbs.	(40.8 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC7200IEPP06T	6" (150 mm)	42.54" (1081 mm)	---
MC7200IEPP06B		---	0.86" (22 mm)
MC7200IEPP08T	8" (200 mm)	40.50" (1029 mm)	---
MC7200IEPP08B		---	1.01" (26 mm)
MC7200IEPP10T	10" (250 mm)	38.37" (975 mm)	---
MC7200IEPP10B		---	1.33" (34 mm)
MC7200IEPP12T	12" (300 mm)	35.69" (907 mm)	---
MC7200IEPP12B		---	1.55" (39 mm)
MC7200IEPP15T	15" (375 mm)	32.72" (831 mm)	---
MC7200IEPP15B		---	1.70" (43 mm)
MC7200IEPP18T	18" (450 mm)	29.36" (746 mm)	---
MC7200IEPP18TW			
MC7200IEPP18B		---	1.97" (50 mm)
MC7200IEPP18BW			
MC7200IEPP24T	24" (600 mm)	23.05" (585 mm)	---
MC7200IEPP24TW			
MC7200IEPP24B		---	2.26" (57 mm)
MC7200IEPP24BW			
MC7200IEPP30BW	30" (750 mm)	---	2.95" (75 mm)
MC7200IEPP36BW	36" (900 mm)	---	3.25" (83 mm)
MC7200IEPP42BW	42" (1050 mm)	---	3.55" (90 mm)

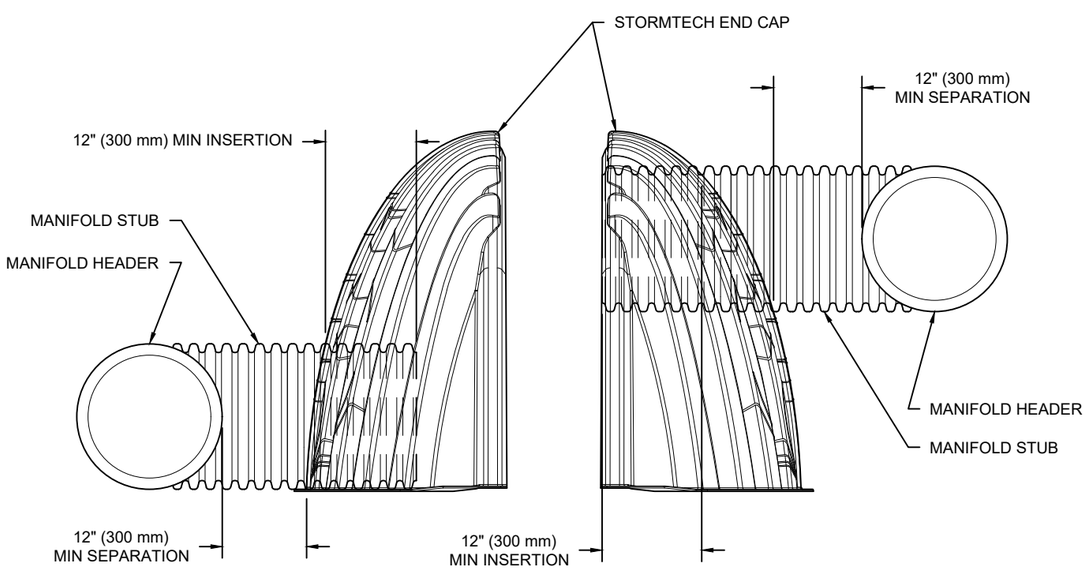
NOTE: ALL DIMENSIONS ARE NOMINAL



CUSTOM PREFABRICATED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-7200 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

MC-SERIES END CAP INSERTION DETAIL

NTS



NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.

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DEVICES FOR THE HEARING IMPAIRED

SYMBOL	DEVICE	NOTES
J PB	BUTTON FOR DOOR SIGNAL	OUTSIDE DOOR ON STRIKE SIDE, +46" A.F.F. TO CENTER LINE FACTORY LABEL ON COVER PLATE
J T	2-GANG BOX W/ TRANSFORMER FOR DOORBELL	MOUNT TRANSFORMER IN SOFFIT OR CABINET AND PROVIDE ACCESS
DDS	DOORBELL DISABLE SWITCH	WALL BEHIND ENTRY DOOR, NEAR LIGHT SWITCH "DOORBELL DISABLE SWITCH" PLAQUE. EDWARDS SIGNALING MODEL# 7005-G5 OR EQUAL.
SS	SMOKE STROBE, REMOTE	COMPATIBLE W/ SMOKE DETECTOR, BATHROOM +80" A.F.F. "SMOKE" LABEL INTEGRAL TO DEVICE

A. PLAN DIAGRAM SHOWS GENERAL CONFIGURATION OF DOORBELL DEVICES -

B. PLAQUES (EXCEPT AS NOTED): PROVIDE AS REQUIRED;
PLAQUES SHALL BE BLACK PHENOLIC W/ 1/4" WHITE ENGRAVED LETTERS.

GENERAL NOTES:

A. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS.
B. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE AREAS FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN SEMI RECESSED CABINETS.
C. REFER TO TOWNEPLACE SUITES BY MARRIOTT BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE, PUBLIC SPACES & EQUIPMENT.
D. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQ'S FOR MECHANICAL, PLUMBING ELECTRICAL, & EQUIPMENT ROOMS.

SYMBOL / FIXTURES LEGEND

ACCESSIBLE ROOM

C.F. ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL

MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM
-- REFER TO DOOR SCHEDULE, ELEC. & ALARM DRAWINGS

FLOOR PLAN GENERAL NOTES CONT'D:

Q. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYING W/ NFPA 72 (1999 OR 2022 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS DESIGNATED AS "GUEST ROOMS W/ COMMUNICATIONS FEATURES" AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.
R. REFER TO GUESTROOM PLANS FOR HOLD-TO DIMENSIONS BETWEEN PTAC UNIT AND INTERIOR WALL NOTED.
S. LOCKOUT DOORS ARE PROVIDED TO ALLOW TWO GUESTROOMS TO BE OCCUPIED BY THE SAME GUEST, OR EACH GUESTROOM TO BE OCCUPIED BY SEPARATE GUESTS.
T. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS.
U. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE AREAS FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN SEMI RECESSED CABINETS.
V. REFER TO TOWNEPLACE SUITES BY MARRIOTT BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE, PUBLIC SPACES & EQUIPMENT.
W. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQ'S FOR MECHANICAL, PLUMBING ELECTRICAL, & EQUIPMENT ROOMS.

FLOOR PLAN GENERAL NOTES:

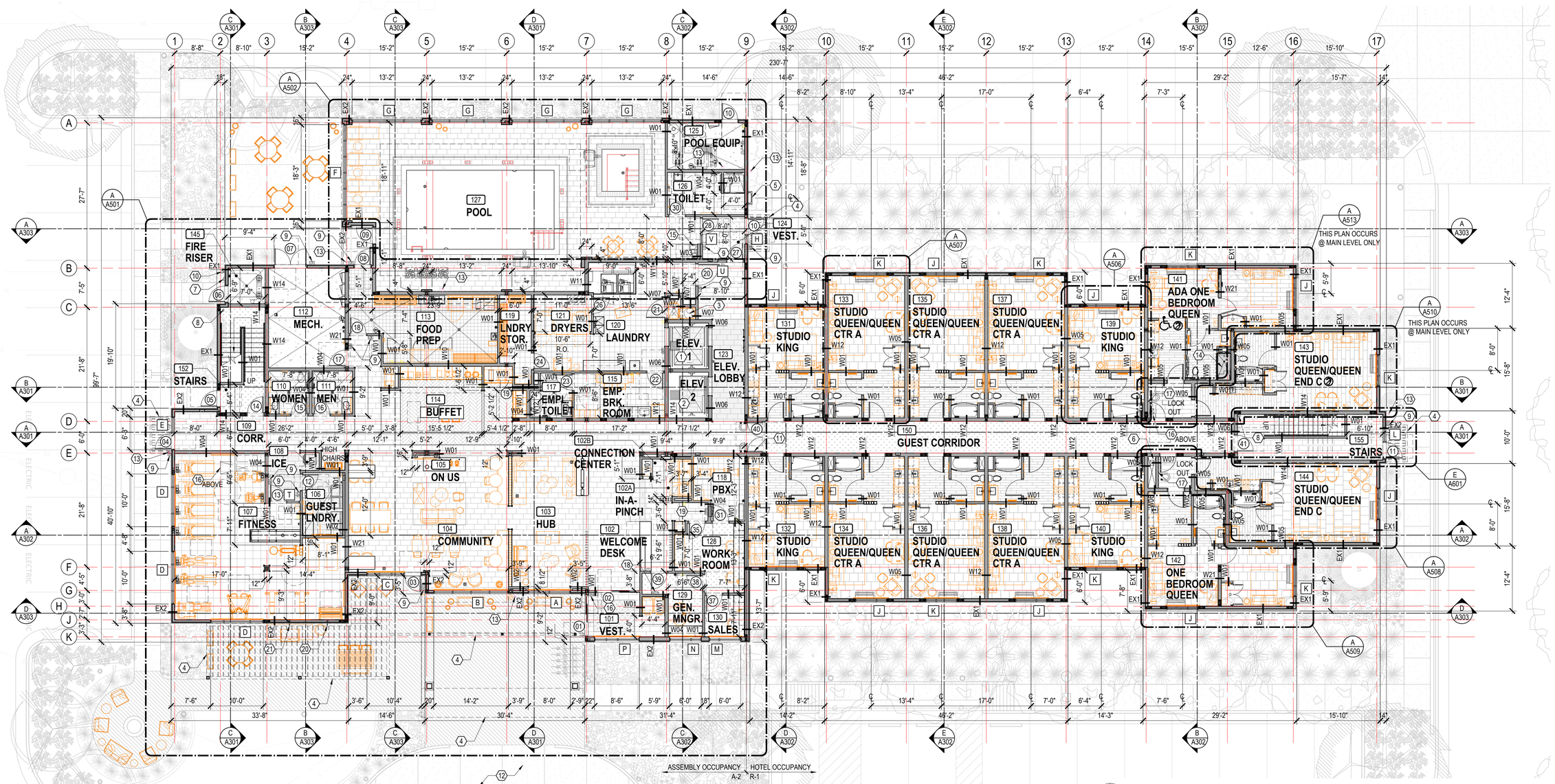
A. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF 2018 INTERNATIONAL BUILDING CODE.
B. N. I. C. = NOT IN CONTRACT
C. A. F. F. = ABOVE FINISH FLOOR
D. VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS. NOTIFY OWNER IMMEDIATELY WHEN DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS ARE ENCOUNTERED.
E. ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
F. EXTERIOR WALLS ARE 2 X 6 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
G. INTERIOR WALLS ARE 2 X 4 WOOD STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
H. INSULATE ALL EXTERIOR WALLS W/ R-23 UNFACED BATT INSULATION.
J. INSULATE ALL INTERIOR WALLS W/ R-11 UNFACED BATT INSULATION.
K. EXTEND ALL NON RATED WALLS TO DECK, UNLESS NOTED OTHERWISE.
L. EXTEND ALL SHAFT WALLS AND COMMON GUESTROOM WALLS TO DECK, UNLESS NOTED OTHERWISE.
M. REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES.
N. ALL WALLS & CEILINGS IN WET, BATH OR POOL AREAS SHALL BE MOISTURE RESISTANT GYPBOARD.
P. FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN A PUBLIC SPACE SHALL BE CONTAINED WITHIN SEMI-RECESSED CABINET.

FLOOR PLAN KEYNOTES CONT'D:

16. KEYCARD READER ENTRANCE HARDWARE W/ PUSH BUTTON INTERCOM. MOUNT SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
17. LOCATE KEY SWITCH FOR ELECTRO MAG LOCK INSIDE OF GUESTROOM VESTIBULE, BEHIND DOOR. MOUNT IN ACCESSIBLE LOCATION ADJACENT TO DOOR IN THE HOLD OPEN POSITION @ 5'-0" A.F.F. LOCATE MAGNET FOR DOOR @ 72" A.F.F.
18. LOCATION OF FIRE ALARM MASTER PANEL & PULL STATION.
19. LOCATION OF REMOTE ANNUNCIATOR PANEL.
20. LOCATION OF GAS LINE EMERGENCY SHUT-OFF VALVE FOR FIRE PIT, LOCATED ON EXTERIOR OF BUILDING. GAS LINE PIPING TO BE CONCEALED IN EXTERIOR WALL. REFER TO SHEET P101 FOR MORE INFORMATION.
21. LOCATION OF GAS LINE SHUT-OFF VALVE FOR GAS GRILL, LOCATED ON EXTERIOR OF BUILDING. GAS LINE PIPING TO BE CONCEALED IN EXTERIOR WALL. REFER TO SHEET P101 FOR MORE INFORMATION.

FLOOR PLAN KEYNOTES:

1. GURNEY ELEVATOR CAR - SCHINDLER 3300 MRL SERIES, CAPACITY 3,500 LB MIN.
2. PASSENGER ELEVATOR CAR - SCHINDLER 3300 MRL SERIES, CAPACITY 2,500 LB MIN.
3. LAUNDRY CHUTE CONTAINED WITHIN 2-HOUR RATED SHAFT. LAUNDRY CHUTE SHALL HAVE SELF CLOSING AND SELF LOCKING RATED DOORS.
4. LINE REPRESENTS ROOF / CANOPY ABOVE.
5. ROOF ACCESS LADDER W/ SECURITY GATE.
6. MECHANICAL, ELECTRICAL OR PLUMBING CHASE, 2-HOUR FIRE RATED CONSTRUCTION.
7. LOCATION OF BUILDING ACCESS "KNOX" LOCK BOX W/ LOCKING CAP, IN ACCORDANCE WITH IFC SECTION 506.1
8. FIRE SPRINKLER STAND PIPE.
9. KEYCARD READER ENTRANCE HARDWARE; MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
10. FIRE DEPARTMENT CONNECTION.
11. FIRE SEPARATION DOORS W/ MAGNETIC HOLD-OPEN TO BE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM.
12. VEHICULAR DROP OFF AREA - REFER TO SITE PLAN AND DETAILS.
13. HOSE BIB / WALL HYDRANT, FROST FREE WHERE REQUIRED.
14. IN ROOM 141, RECESS SLAB 2" IN THIS AREA, TO ACCOMMODATE ROLL IN SHOWER.
15. ELECTRIC BI-LEVEL DRINKING FOUNTAIN. LEADING EDGES OF BOTH ACCESSIBLE AND NON-ACCESSIBLE FOUNTAIN SHOULD BE NO HIGHER THAN 27" PER ACCESSIBILITY REQUIREMENTS.
16. MECHANICAL, ELECTRICAL OR PLUMBING CHASE, 1-HOUR FIRE RATED CONSTRUCTION.



NORTH

A101 MAIN LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

GRAPHIC SCALE 4 0 4 8 16 24

PLOT DATE: 6/22/2023

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

This drawing was produced on a 30"x 42" sheet. If it has been printed on any other size sheet, it is likely a reduced copy. Scale accordingly.

PROJECT NO: 20005
DRAWN BY: TCG, SMS
CHECKED BY: DJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:15:08 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC

PROJECT: LEGEND HILLS TOWNEPLACE SUITES

LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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LICENSED ARCHITECT DAVID J. VANZEBEN STATE OF UTAH 06/23/2023

MAIN LEVEL FLOOR PLAN

SHEET NUMBER: A101

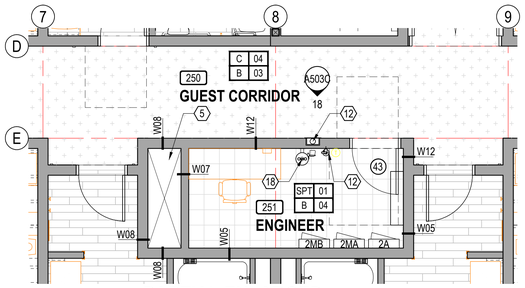
DATE: 06/23/2023

DEVICES FOR THE HEARING IMPAIRED

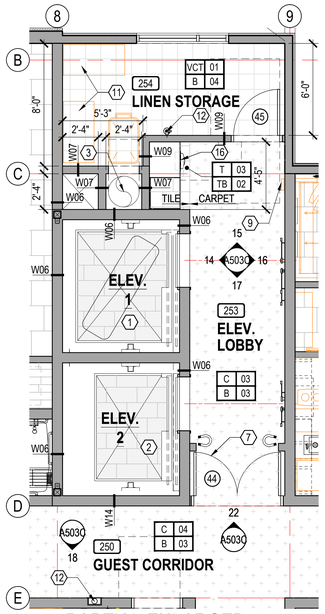
SYMBOL	DEVICE	NOTES
J PB	BUTTON FOR DOOR SIGNAL	OUTSIDE DOOR ON STRIKE SIDE, +46" A.F.F. TO CENTER LINE FACTORY LABEL ON COVER PLATE
J T	2-GANG BOX W/ TRANSFORMER FOR DOORBELL	MOUNT TRANSFORMER IN SOFFIT OR CABINET AND PROVIDE ACCESS
DDS	DOORBELL DISABLE SWITCH	WALL BEHIND ENTRY DOOR, NEAR LIGHT SWITCH "DOORBELL DISABLE SWITCH" PLAQUE. EDWARDS SIGNALING MODEL# 7005-G5 OR EQUAL.
SS	SMOKE STROBE, REMOTE	COMPATIBLE W/ SMOKE DETECTOR, BATHROOM +80" A.F.F. "SMOKE" LABEL INTEGRAL TO DEVICE

A. PLAN DIAGRAM SHOWS GENERAL CONFIGURATION OF DOORBELL DEVICES -

B. PLAQUES (EXCEPT AS NOTED): PROVIDE AS REQUIRED; PLAQUES SHALL BE BLACK PHENOLIC W/ 1/4" WHITE ENGRAVED LETTERS.



C A102 **PARTIAL ENLARGED SECOND LEVEL FLOOR PLAN**
SCALE: 1/4" = 1'-0"



B A102 **PARTIAL ENLARGED SECOND LEVEL FLOOR PLAN**
SCALE: 1/4" = 1'-0"

SYMBOL / FIXTURES LEGEND

- ACCESSIBLE ROOM
- C.F. ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
- MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM -- REFER TO DOOR SCHEDULE, ELEC. & ALARM DRAWINGS

FLOOR PLAN GENERAL NOTES CONT'D:

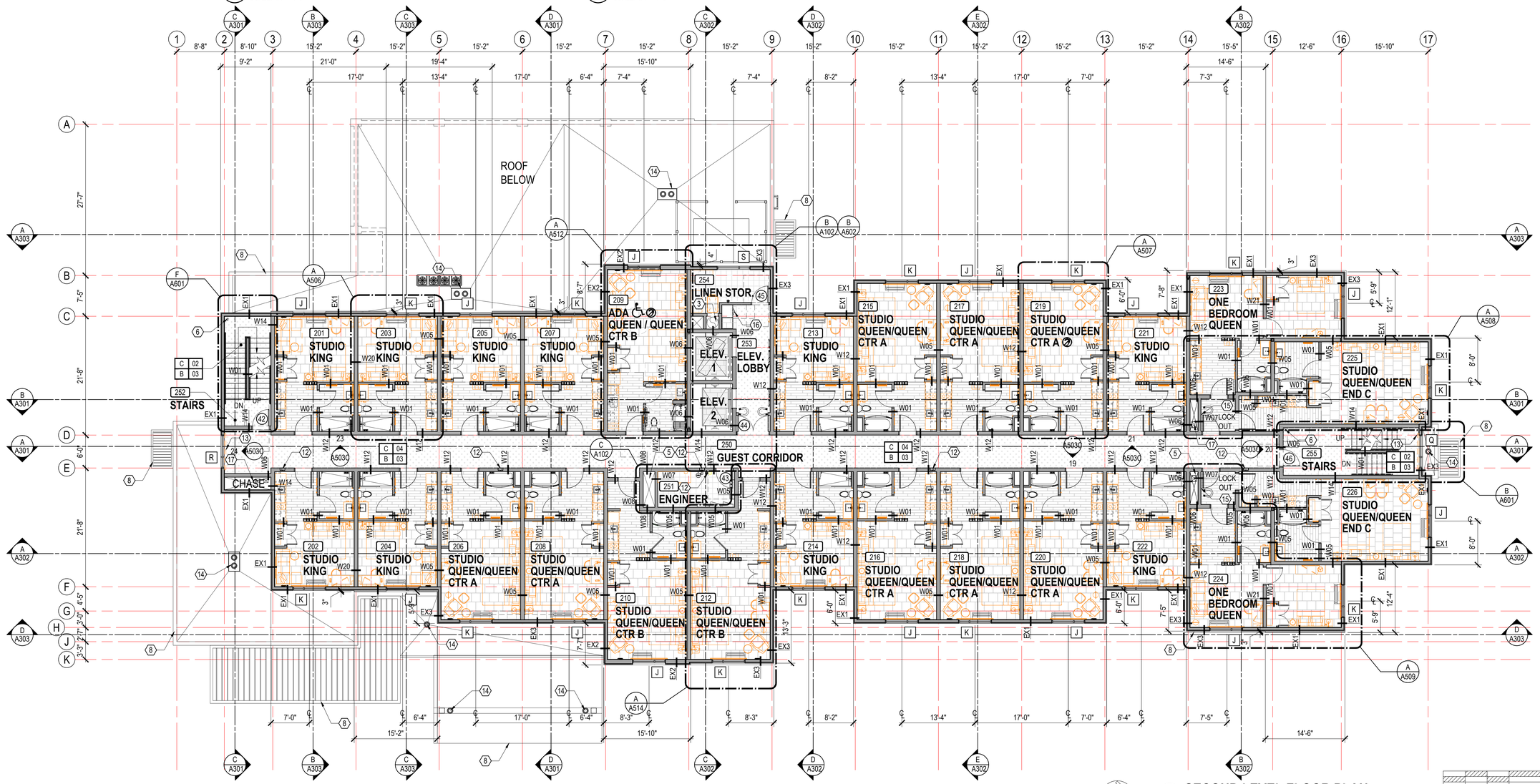
R. REFER TO GUESTROOM PLANS FOR HOLD-TO DIMENSIONS BETWEEN PTAC UNIT AND INTERIOR WALL NOTED.
S. LOCKOUT DOORS ARE PROVIDED TO ALLOW TWO GUESTROOMS TO BE OCCUPIED BY THE SAME GUEST, OR EACH GUESTROOM TO BE OCCUPIED BY SEPARATE GUESTS.
T. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS.
U. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE AREAS FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN SEMI RECESSED CABINETS.
V. REFER TO TOWNEPLACE SUITES BY MARRIOTT BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE, PUBLIC SPACES & EQUIPMENT.
W. REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS MANUAL FOR ADDITIONAL REQ'S FOR MECHANICAL, PLUMBING ELECTRICAL, & EQUIPMENT ROOMS.

FLOOR PLAN GENERAL NOTES:

A. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF 2018 INTERNATIONAL BUILDING CODE.
B. N. I. C. = NOT IN CONTRACT
C. A. F. F. = ABOVE FINISH FLOOR
D. VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS. NOTIFY OWNER IMMEDIATELY WHEN DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS ARE ENCOUNTERED.
E. ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
F. EXTERIOR WALLS ARE 2 X 6 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
G. INTERIOR WALLS ARE 2 X 4 WOOD STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
H. INSULATE ALL EXTERIOR WALLS W/ R-23 UNFACED BATT INSULATION.
J. INSULATE ALL INTERIOR WALLS W/ R-11 UNFACED BATT INSULATION.
K. EXTEND ALL NON RATED WALLS TO DECK, UNLESS NOTED OTHERWISE.
L. EXTEND ALL SHAFT WALLS AND COMMON GUESTROOM WALLS TO DECK, UNLESS NOTED OTHERWISE.
M. REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES.
N. ALL WALLS & CEILINGS IN WET, BATH OR POOL AREAS SHALL BE MOISTURE RESISTANT GYPBOARD.
P. FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN A PUBLIC SPACE SHALL BE CONTAINED WITHIN SEMI-RECESSED CABINET.
Q. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYING W/ NFPA 72 (1999 OR 2022 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS DESIGNATED AS "GUEST ROOMS W/ COMMUNICATIONS FEATURES" AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.

FLOOR PLAN KEYNOTES:

1. GURNEY ELEVATOR CAR - SCHINDLER 3300 MRL SERIES, CAPACITY 3,500 LB MIN.
2. PASSENGER ELEVATOR CAR - SCHINDLER 3300 MRL SERIES, CAPACITY 2,500 LB MIN.
3. LAUNDRY CHUTE CONTAINED WITHIN 2-HOUR RATED SHAFT. LAUNDRY CHUTE SHALL HAVE SELF CLOSING AND SELF LOCKING RATED DOORS.
4. LINE OF ROOF / CANOPY ABOVE.
5. MECHANICAL, ELECTRICAL OR PLUMBING CHASE, 2-HOUR FIRE RATED CONSTRUCTION.
6. FIRE SPRINKLER STAND PIPE.
7. ELEVATOR LOBBY FIRE SEPARATION / SMOKE DOORS. INSTALL SO DOORS ARE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM.
8. LINE REPRESENTS ROOF / CANOPY BELOW.
9. HOUSE PHONE LOCATED WITHIN ACCESSIBLE REACH RANGE, ON AN ACCESSIBLE ROUTE AND WITH CLEAR FLOOR SPACE FOR FRONT OR SIDE APPROACH. PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 28" LONG CORD.
10. BUILDING BELOW.
11. WIRE SHELVING SYSTEM, BY OWNER.
12. 10 LB FIRE EXTINGUISHER W/ SEMI RECESSED FIRE PROOF CABINET (IN COMMON AREAS); INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
13. SHEER ROLLER SHADE @ GUEST CORRIDOR.
14. ROOF DRAIN.
15. LOCATE KEY SWITCH FOR ELECTRO MAG LOCK INSIDE OF GUESTROOM VESTIBULE, BEHIND DOOR. MOUNT IN ACCESSIBLE LOCATION ADJACENT TO DOOR IN THE HOLD OPEN POSITION @ 5'-0" A.F.F. LOCATE MAGNET FOR DOOR @ 72" A.F.F.
16. HYDRATION STATION WITH REQUIRED ACCESSIBLE APPROACH AREA.
17. MECHANICAL, ELECTRICAL OR PLUMBING CHASE, 1-HOUR FIRE RATED CONSTRUCTION.
18. EYE WASH OR SAFETY SHOWER AS REQUIRED - FURR OUT WALL FOR ADDITIONAL INSULATON WHERE PLUMBING OCCURS AT OUTSIDE WALL.



A A102 **SECOND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

NORTH

GRAPHIC SCALE 4 0 4 8 16 24

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

This drawing was produced on a 30"x 42" sheet. If it has been printed on any other size sheet, it is likely a reduced copy. Scale accordingly.

PROJECT NO:	20005
DRAWN BY:	TCG, SMS
CHECKED BY:	DJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:15:20 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC

PROJECT: LEGEND HILLS TOWNEPLACE SUITES

LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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LICENSED ARCHITECT DAVID J. VANZEBEN No. 12818 STATE OF UTAH
06/23/2023

SECOND LEVEL FLOOR PLAN

SHEET NUMBER: A102

DATE: 06/23/2023

PLOT DATE: 6/22/2023

EXTERIOR FINISH MATERIALS

TAG	MARK	MATERIAL	DESCRIPTION
EF1		EIFS 1	SW 7566 WESTLAND WHITE
EF2		EIFS 2	SW 7580 CARNELIAN
EF3		EIFS 3	SW 6663 SAFFRON THREAD
EF4		BRICK	INTERSTATE THIN BRICK, MIDNIGHT BLACK
EF5		FLASHING	SW 7634 PEDIMENT
EF6		FLASHING	SW 6167 GARDEN GATE
EF7		FLASHING	MATCH ADJACENT EIFS COLOR
EF8		PAINT	SW 6167 GARDEN GATE
EF9		PAINT	SW 7634 PEDIMENT

NOTES:
A. COLORS ARE SUBJECT TO CHANGE BASED ON SUBMITTAL OF ACTUAL SAMPLES. B. SEE FINISH SPECIFICATION DOCUMENT

BUILDING SIGNAGE:

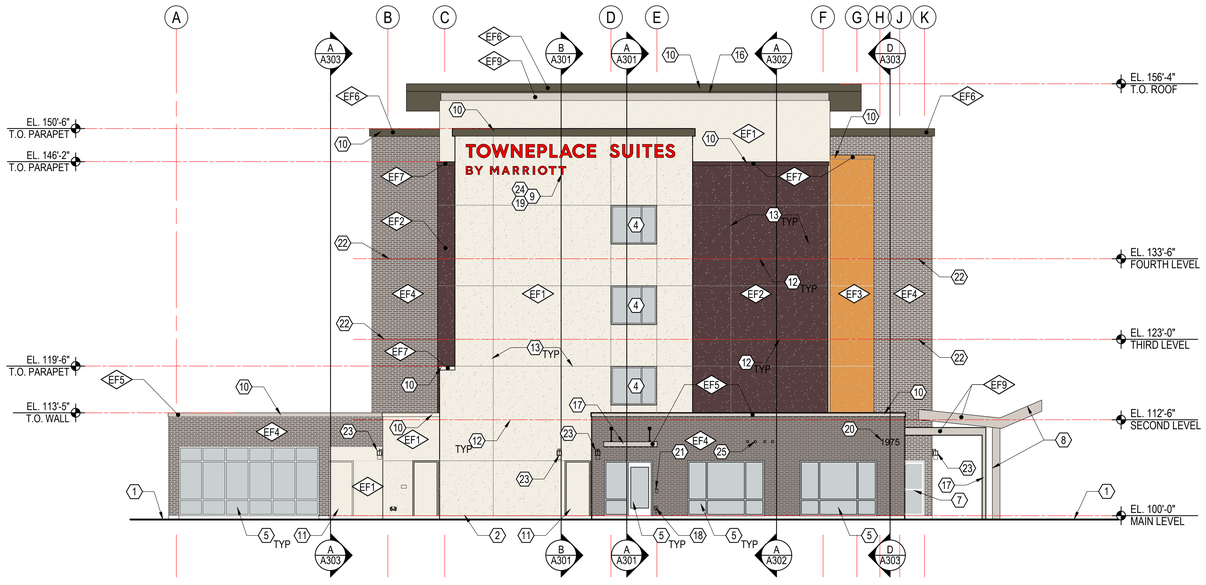
A. MINIMUM ¾" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS - AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
B. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR - ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY - TYPICAL 120V REQUIREMENT.
C. RACEWAYS/WIREWAYS ARE NOT ALLOWED.
D. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR - CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
E. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL - PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH NOTES:

A. COLORS ARE SUBJECT TO CHANGE BASED ON SUBMITTAL OF ACTUAL SAMPLES. B. SEE FINISH SPECIFICATION DOCUMENT.
C. EIFS CLADDING SYSTEM (EF) - BASIS OF DESIGN - "OUTSULATION PLUS PM EIFS" BY DRYVIT SYSTEMS, INC.
B. PROVIDE EIFS HIGH IMPACT MESH ASSEMBLY FOR LOWER 8'-0" OF WALL AREAS AT GRADE: BASIS OF DESIGN - DRYVIT "STANDARD" MESH OVER "PANZER 20 OZ." HIGH IMPACT MESH.
C. COORDINATE FOR MINIMUM EXTERIOR CONTINUOUS INSULATION THICKNESS / R-VALUE REQUIREMENTS IN ACCORDANCE WITH ADOPTED ENERGY CODE REQUIREMENTS FOR ALL CLADDING AREAS.
D. CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER.

ELEVATION KEYNOTES: (#)

1. FINISH GRADE.
2. ABOVE GRADE EXPOSED FOUNDATION WALL.
3. ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PTAC UNITS.
4. ALUMINUM STOREFRONT FIXED WINDOW WITH THERMAL BROKEN FRAME, INSULATED GLAZING.
5. ALUMINUM STOREFRONT SYSTEM WITH THERMAL BROKEN FRAME AND INSULATED GLAZING.
6. PROVIDE EXTERIOR ALUMINUM PTAC LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS.
7. ALUMINUM AUTOMATIC SLIDING ENTRY DOOR WITH INSULATED GLAZING.
8. PAINTED TUBE STEEL CANOPY.
9. SIGNAGE - REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS FOR EXTERIOR SIGNAGE SPECIFICATIONS. COORDINATE WITH ELECTRICAL.
10. 26 GA. G.I. FLASHING, PRE-FINISHED COLOR TO MATCH ADJACENT MATERIAL.
11. HOLLOW METAL DOOR IN HOLLOW METAL FRAME, PAINTED HIGH GLOSS FINISH.
12. EXPANSION JOINT @ FLOOR LINE WITH BACKER ROD AND SEALANT.
13. ACCENT CONTROL "V" JOINT.
14. METAL PANEL TO MATCH WINDOW FRAME.
15. LOUVER PER MECHANICAL, MATCH EXTERIOR. FINISH.
16. PROVIDE CONTINUOUS BAND OF LIGHT TO ILLUMINATE BOTTOM OF SOFFIT. LINEAR LIGHT FIXTURE (L13). REFER TO ELECTRICAL PLANS.
17. STEEL CANOPY WITH STEEL TRELLIS INFILL, PAINTED.
18. TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12" A.F.F.
19. AT EXTERIOR SIGNAGE PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL.
20. BUILDING ADDRESS LOCATION. NUMBERS & LETTERS SHALL BE VISIBLE FROM THE STREET AND BE A MINIMUM 10 INCHES HIGH AND A STROKE OF 2 INCHES. THE NUMBERS & LETTERS SHALL BE ARABIC FONT IN IN CONTRAST TO THE COLOR OF BACKGROUND IN WHICH THEY ARE PLACED ON.
21. KEYCARD READER ENTRANCE HARDWARE; MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
22. CONTROL JOINT @ FLOOR LINE.
23. BUILDING MOUNTED EXTERIOR LIGHT FIXTURE. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
24. CHANNEL LETTER SIGNAGE AT FACE OF BUILDING, SEE EXTERIOR SIGN SPECIFICATIONS FOR REQUIREMENTS. PROVIDE ADEQUATE BLOCKING BEHIND WALL FOR SIGNAGE.
25. RESIDENTIAL DRYER EXHAUST VENTS. MATCH ADJACENT SURFACE.



B A201 **SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"

A A201 **EAST ELEVATION**
SCALE: 1/8" = 1'-0"

GRAPHIC SCALE 4 0 4 8 16 24

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

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PROJECT NO: 20005
DRAWN BY: TCG, SMS
CHECKED BY: DJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:15:26 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC
PROJECT: LEGEND HILLS TOWNEPLACE SUITES
LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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LICENSED ARCHITECT DAN J. VANZEBEN No. 12818-2 STATE OF UTAH
06/23/2023

EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER: A201

DATE: 06/23/2023

PLOT DATE: 6/22/2023

EXTERIOR FINISH MATERIALS

TAG	MARK	MATERIAL	DESCRIPTION
EF1		EIFS 1	SW 7566 WESTLAND WHITE
EF2		EIFS 2	SW 7580 CARNELIAN
EF3		EIFS 3	SW 6663 SAFFRON THREAD
EF4		BRICK	INTERSTATE THIN BRICK, MIDNIGHT BLACK
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EF7		FLASHING	MATCH ADJACENT EIFS COLOR
EF8		PAINT	SW 6167 GARDEN GATE
EF9		PAINT	SW 7634 PEDIMENT

NOTES:
A. COLORS ARE SUBJECT TO CHANGE BASED ON SUBMITTAL OF ACTUAL SAMPLES. B. SEE FINISH SPECIFICATION DOCUMENT

BUILDING SIGNAGE:

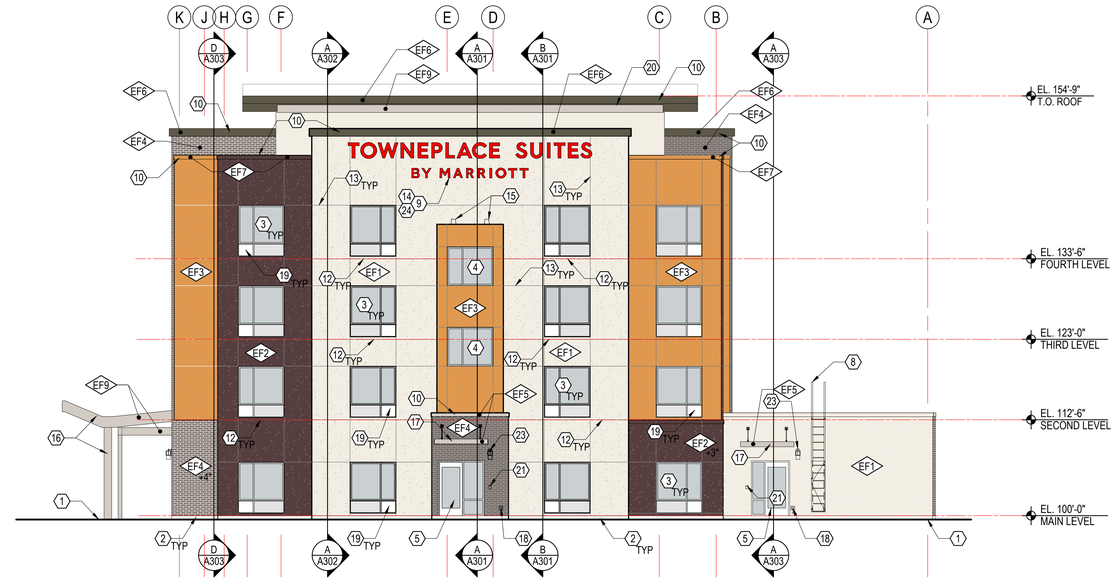
A. MINIMUM ¾" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS - AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
B. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR - ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY - TYPICAL 120V REQUIREMENT.
C. RACEWAYS/WIREWAYS ARE NOT ALLOWED.
D. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR - CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
E. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL - PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH NOTES:

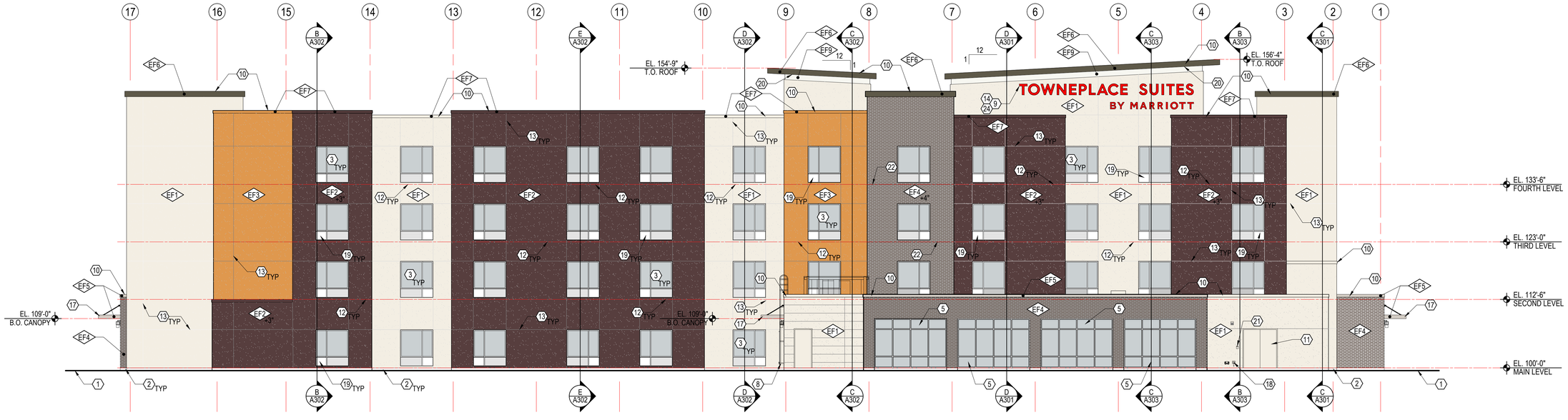
A. COLORS ARE SUBJECT TO CHANGE BASED ON SUBMITTAL OF ACTUAL SAMPLES. B. SEE FINISH SPECIFICATION DOCUMENT.
B. EIFS CLADDING SYSTEM (EF) - BASIS OF DESIGN - "OUTSULATION PLUS PM EIFS" BY DRYVIT SYSTEMS, INC.
B. PROVIDE EIFS HIGH IMPACT MESH ASSEMBLY FOR LOWER 8'-0" OF WALL AREAS AT GRADE: BASIS OF DESIGN - DRYVIT "STANDARD" MESH OVER "PANZER 20 OZ." HIGH IMPACT MESH.
C. COORDINATE FOR MINIMUM EXTERIOR CONTINUOUS INSULATION THICKNESS / R-VALUE REQUIREMENTS IN ACCORDANCE WITH ADOPTED ENERGY CODE REQUIREMENTS FOR ALL CLADDING AREAS.

ELEVATION KEYNOTES:

1. FINISH GRADE.
2. ABOVE GRADE EXPOSED FOUNDATION WALL.
3. ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PTAC UNITS.
4. ALUMINUM STOREFRONT FIXED WINDOW WITH THERMAL BROKEN FRAME, INSULATED GLAZING.
5. ALUMINUM STOREFRONT SYSTEM WITH THERMAL BROKEN FRAME AND INSULATED GLAZING.
6. PROVIDE EXTERIOR ALUMINUM PTAC LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS.
7. ALUMINUM AUTOMATIC SLIDING ENTRY DOOR WITH INSULATED GLAZING.
8. ROOF ACCESS LADDER W/ SECURITY GATE. SEE DETAIL 21 / A702.
9. SIGNAGE - REFER TO TOWNEPLACE SUITES BY MARRIOTT STANDARDS FOR EXTERIOR SIGNAGE SPECIFICATIONS. COORDINATE WITH ELECTRICAL.
10. 26 GA. G.I. FLASHING, PRE-FINISHED COLOR TO MATCH ADJACENT MATERIAL.
11. HOLLOW METAL DOOR IN HOLLOW METAL FRAME, PAINTED HIGH GLOSS FINISH.
12. EXPANSION JOINT @ FLOOR LINE WITH BACKER ROD AND SEALANT.
13. ACCENT CONTROL "V" JOINT.
14. AT EXTERIOR SIGNAGE PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL.
15. RECESSED CAN LIGHT. (L10) REFER TO ELECTRICAL PLANS.
16. PAINTED TUBE STEEL CANOPY.
17. STEEL CANOPY WITH STEEL TRELLIS INFILL, PAINTED.
18. TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12" A.F.F.
19. METAL PANEL TO MATCH WINDOW FRAME.
20. PROVIDE CONTINUOUS BAND OF LIGHT TO ILLUMINATE BOTTOM OF SOFFIT. LINEAR LIGHT FIXTURE (L13). REFER TO ELECTRICAL PLANS.
21. KEYCARD READER ENTRANCE HARDWARE; MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
22. CONTROL JOINT @ FLOOR LINE.
23. BUILDING MOUNTED EXTERIOR LIGHT FIXTURE. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
24. CHANNEL LETTER SIGNAGE AT FACE OF BUILDING, SEE EXTERIOR SIGN SPECIFICATIONS FOR REQUIREMENTS. PROVIDE ADEQUATE BLOCKING BEHIND WALL FOR SIGNAGE.
25.



B A202 **NORTH ELEVATION**
SCALE: 1/8" = 1'-0"



A A202 **WEST ELEVATION**
SCALE: 1/8" = 1'-0"

GRAPHIC SCALE 4 0 4 8 16 24

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

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PROJECT NO: 20005
DRAWN BY: TCG, SMS
CHECKED BY: DJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:15:31 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC

PROJECT: LEGEND HILLS TOWNEPLACE SUITES

LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

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LICENSED ARCHITECT DAN J. VANZEBEN STATE OF UTAH
06/23/2023

EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER: A202

DATE: 06/23/2023

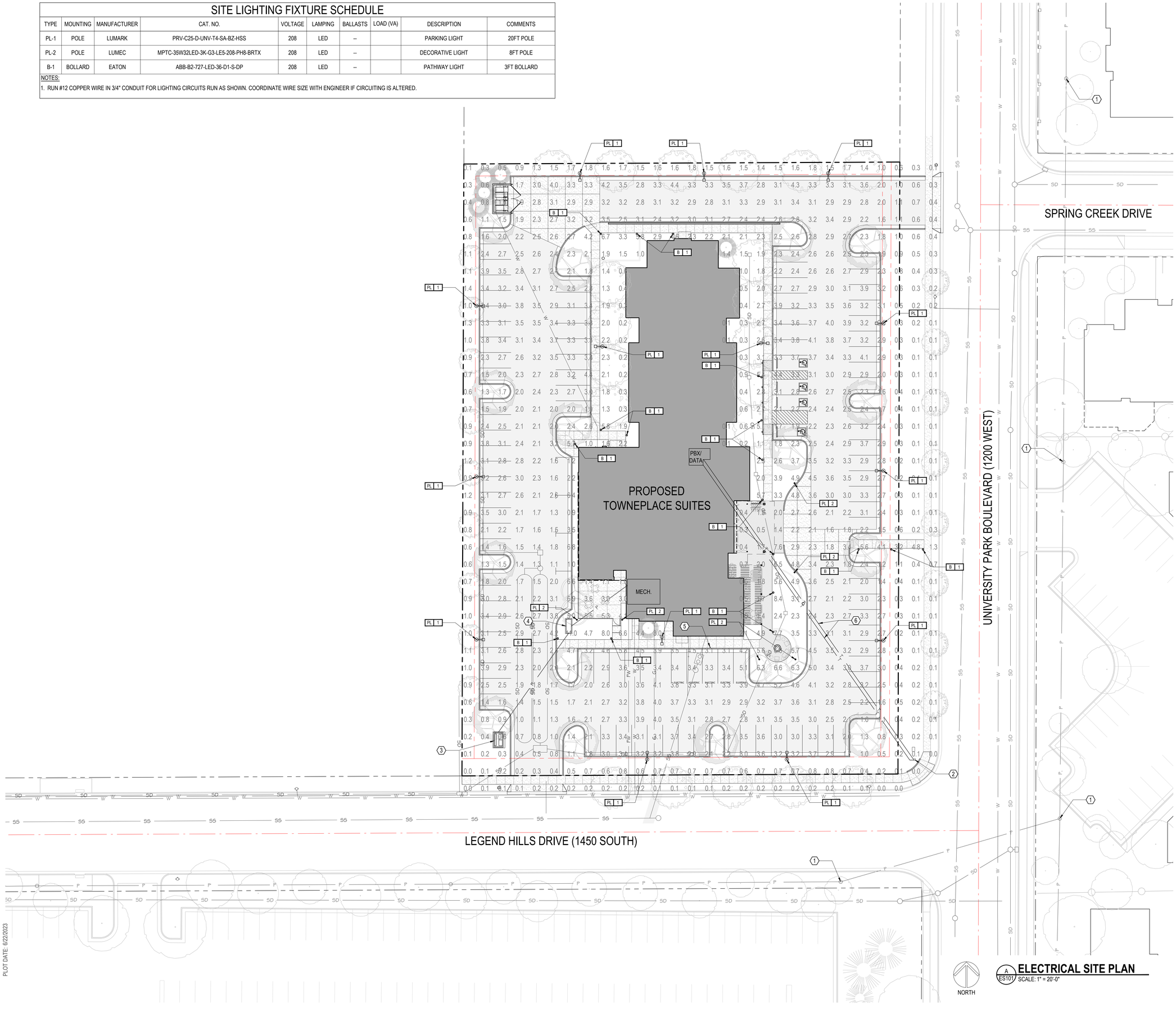
PLOT DATE: 6/22/2023

SITE LIGHTING FIXTURE SCHEDULE

TYPE	MOUNTING	MANUFACTURER	CAT. NO.	VOLTAGE	LAMPING	BALLASTS	LOAD (VA)	DESCRIPTION	COMMENTS
PL-1	POLE	LUMARK	PRV-C25-D-UNV-T4-SA-BZ-HSS	208	LED	--		PARKING LIGHT	20FT POLE
PL-2	POLE	LUMEC	MPTC-35W32LED-3K-G3-LE5-208-PH8-BRTX	208	LED	--		DECORATIVE LIGHT	8FT POLE
B-1	BOLLARD	EATON	ABB-B2-727-LED-36-D1-S-DP	208	LED	--		PATHWAY LIGHT	3FT BOLLARD

NOTES:

1. RUN #12 COPPER WIRE IN 3/4" CONDUIT FOR LIGHTING CIRCUITS RUN AS SHOWN. COORDINATE WIRE SIZE WITH ENGINEER IF CIRCUITING IS ALTERED.



A ES101 **ELECTRICAL SITE PLAN**
SCALE: 1" = 20'-0"

ELECTRICAL SITE PLAN KEYNOTES:

1. EXISTING UTILITY POLE.
2. EXISTING TELEPHONE PEDESTAL.
3. NEW ELECTRICAL TRANSFORMER.
4. NEW ELECTRICAL SWITCHGEAR.
5. PROVIDE (1) 4" CONDUIT WITH PULL STRING FOR FUTURE EV CHARGING STATIONS, (5) 208V CIRCUITS. STUB UP IN ACCESSIBLE LOCATION NEAR PANELS IN MECHANICAL ROOM.
6. PROVIDE (2) 4" CONDUIT WITH PULL STRINGS FROM TELEPHONE PEDESTAL TO PBX ROOM FOR DATA/COM.

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

This drawing was produced on a 30"x 42" sheet. If it has been printed on any other size sheet, it is likely a reduced copy. Scale accordingly.

PROJECT NO: 20005
DRAWN BY: MJV, SMS
CHECKED BY: DJV

REVISIONS:

Clearfield City
LAND USE APPROVAL
Approved By: Brad McIlrath, Senior Planner
06/28/2023 4:15:38 PM

OWNER: CLEARFIELD HOTEL PARTNERS LLC
PROJECT: LEGEND HILLS TOWNEPLACE SUITES
LOCATION: 1975 EAST LEGEND HILLS DRIVE, CLEARFIELD, UTAH 84089

© vanZeben Architecture. This drawing shall not be reproduced without consent of vanZeben Architecture, nor shall it be used for any project other than the originally intended project.

LICENSED ARCHITECT
DAVID J. VANZEBEN
STATE OF UTAH
06/23/2023

ELECTRICAL SITE PLAN

SHEET NUMBER:
ES101

DATE: 06/23/2023

PLOT DATE: 6/22/2023

Planning Commission
STAFF REPORT

AGENDA ITEM
#3

TO: Clearfield City Planning Commission

FROM: Tyson Stoddard, Planner I
tyson.stoddard@clearfieldcity.org
(801) 525-2718

MEETING DATE: Wednesday, July 10th, 2024

SUBJECT: Discussion and Possible Action on **CUP 2024-0503**, a conditional use permit request by Ryun Nacario to operate a cheerleading gym and training facility at the subject location. **Location:** 340 West 1700 South Suite A103-104 (TIN: 12-940-0001). **Parcel Area:** 3.95 Acres. **Zone:** C-2 (Commercial). **(Administrative Action)**

RECOMMENDATION

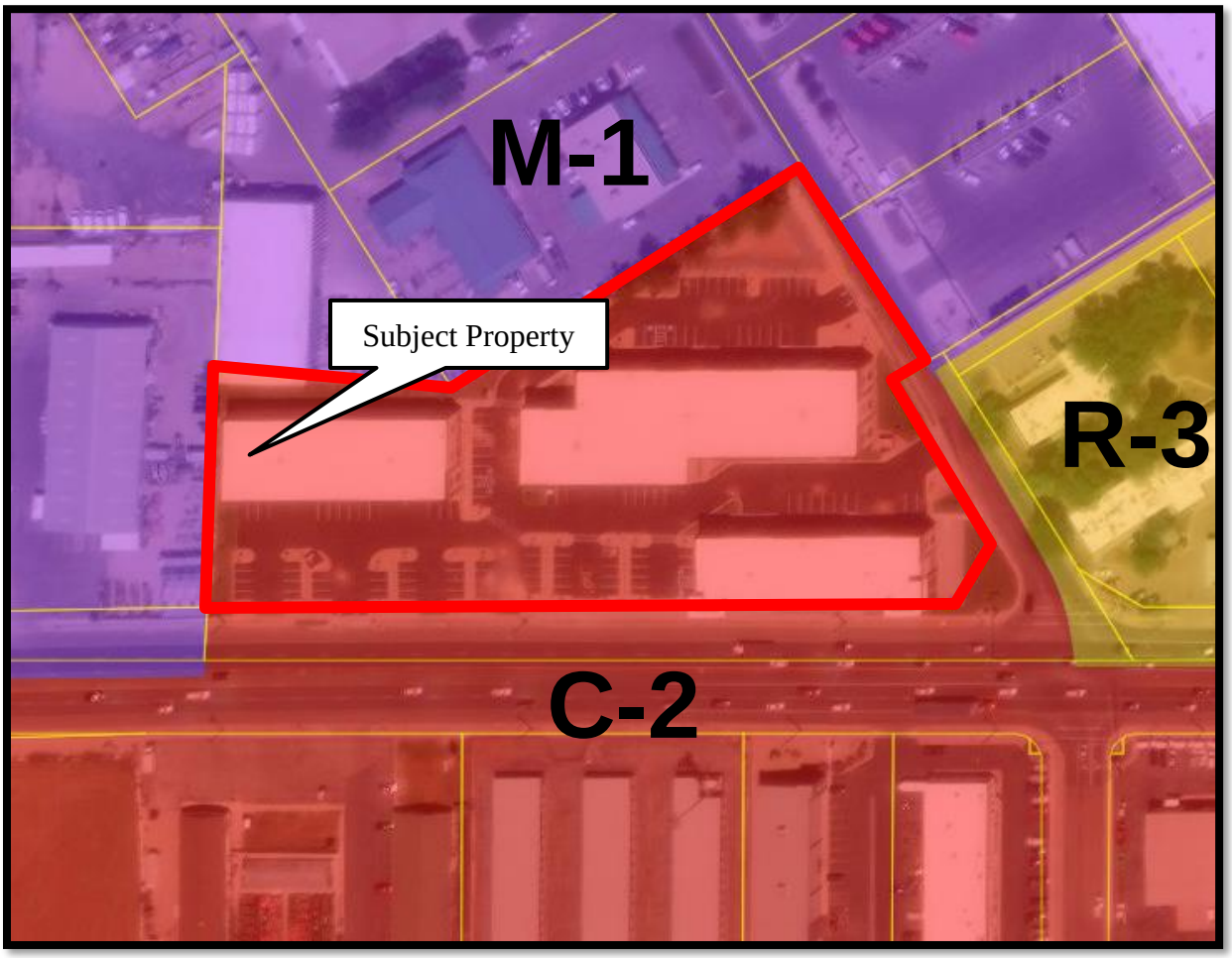
Staff recommends that the Planning Commission **approve as conditioned**, **CUP 2024-0503**, a conditional use permit request by Ryun Nacario to operate a cheerleading gym and training facility at the subject property. This recommendation is based on the findings and discussion in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Rah Elite Allstars
Site Location	340 W. 1700 S. Suite A103-104
Parcel ID	12-940-0001
Applicant	Ryun Nacario
Property Owner	Clearfield Flex LLC
Proposed Actions	Conditional Use Permit Approval
Current Zoning	C-2 (Commercial)
Parcel Area	3.95 Acres

Surrounding Properties and Uses:		Zoning District	General Plan Land Use Classification
North	Manufacturing	M-1 (Manufacturing)	Manufacturing
East	Residential	R-3 (Residential)	Commercial
South	Commercial	C-2 (Commercial)	Commercial
West	Manufacturing	M-1 (Manufacturing)	Commercial

Aerial Image and Zoning



BACKGROUND AND ANALYSIS

Ryun Nacario is seeking conditional use permit approval to operate a cheerleading gym and training facility at the subject location. The business, Rah Elite Allstars, offers tumbling classes and cheerleading preparation. The property is located in the C-2 (Commercial) Zone, in which a ''recreation facility" is a conditional use.

The purpose of a conditional use permit is to allow a land use that, because of its unique characteristics or potential impact on the city, surrounding neighbors or land uses, may be compatible only if certain conditions are required that mitigate the detrimental impacts. Staff has reviewed Chapter 11-4-5 "Conditional Use Permits" which lists the types of conditions that the Planning Commission may require to limit any potential negative impacts of the proposed use. Staff's recommended conditions are listed under the conditions of approval section of this report.

SITE PLAN REVIEW

Floor Plan

The business will be located in units A103 and A104, which comprise approximately 6,900 square feet of floor area. As part of the tenant improvement plans, they will construct an office, breakroom, restrooms,

and a waiting area. The majority of the space will be for the gym, which will include a spring floor, tumble track, and various types of mats.

Parking (Chapter 11-14)
Chapter 11-14 "Off Street Parking and Loading" outlines the parking development standard for properties located in the C-2 Zone. Miscellaneous Indoor Recreation requires two (2) spaces for each 1,000 square feet of gross floor area. This standard is consistent with the general development of the parcel. The Clearfield Flex site plan was approved with 113 spaces, which was based upon two (2) spaces for every 1,000 square feet of floor area for "Industrial and Wholesale Establishments". The applicant states that their peak parking demand will be from 4:00 p.m. to 8:00 p.m., Monday through Thursday and estimates that there will be a maximum of twelve (12) parked cars during that time. Staff has determined that there is sufficient parking for the proposed use.

Site Landscaping and Open Space
The landscaping was proposed and approved with the Clearfield Flex development site plan and was installed in 2022. The landscaping remains in good condition.

PUBLIC COMMENT

Public notice was placed on the property on July 2, 2024. No public comments have been received to date.

REVIEW CONSIDERATIONS

Conditional Use Permit Review
Clearfield Land Use Ordinance Section 11-4-4 establishes the following review considerations that the Planning Commission shall review while determining to approve Conditional Use Permits.

	REVIEW CONSIDERATION	Staff Analysis
CONSIDERATIONS: The Land Use Authority may allow a conditional use to be located in any zoning district in which the particular use is allowed as a conditional use by this title. In authorizing any conditional use, the Land Use Authority shall impose such requirements and conditions to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the applicable standards provided in this chapter or elsewhere in this title necessary for the protection of adjacent properties and the public welfare. The Land Use Authority shall determine the following:		
1)	*At the specified location, [the proposed use] is in harmony with the general intent and purpose of the Clearfield City General Plan and the applicable zoning district regulations;*	The proposed use is in harmony and compliance with the General Plan and zoning ordinance regulations.
2)	*[The proposed use] is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community and neighborhood;*	The proposed use will contribute to the general well-being of the community.
3)	*Such use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to*	The use will not be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity.

	property or improvements in the vicinity; and	
4)	*Conditions imposed by the Land Use Authority are based upon ordinance standards outlined in this title [Title 11, Land Use] or as otherwise determined to be necessary by the City Engineer, Building Official, or any applicable State or Federal Agency according to adopted standards of those fields of expertise.*	The proposed conditions are based upon ordinance standards.

CITY DEPARTMENT / AGENCY REVIEW

The plans were shared for review by the Planning Division, Building Division, and the North Davis Fire District. No comments or concerns have been shared by the reviewing parties.

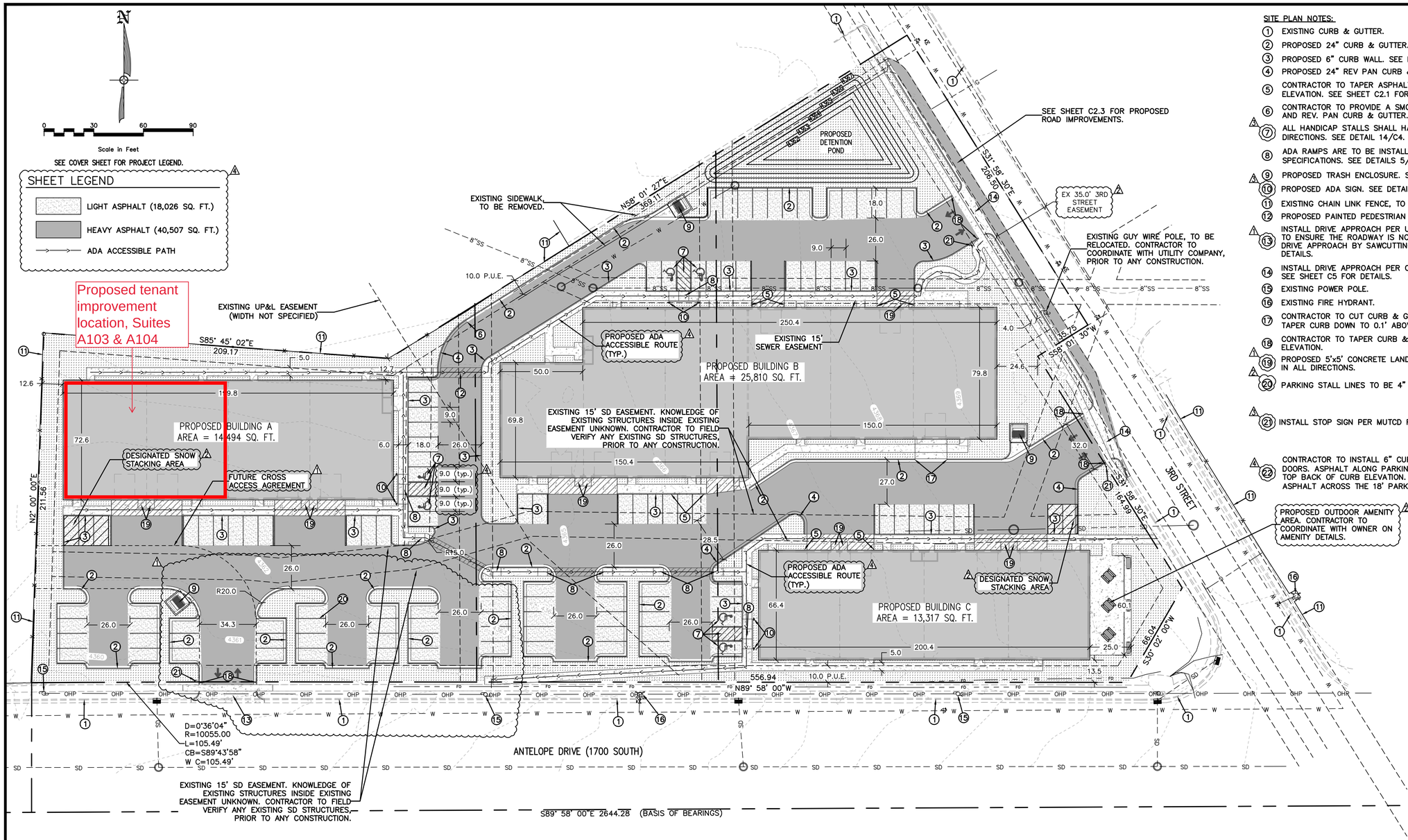
CONDITIONS OF APPROVAL

Based upon a review of the request and applicable ordinance standards, staff recommends that the Planning Commission approve the conditional use permit request subject to the following conditions. The conditions of approval shall be addressed by the applicant and shown on a set of revised plans prior to issuance of final land use approval unless otherwise noted.

1) The applicant shall obtain a building permit for tenant improvements and the project shall comply with all applicable building code standards.
2) The applicant shall obtain approval from the North Davis Fire District.
3) The applicant shall obtain a Clearfield City business license prior to the commencement of business operations.
4) Any signs must meet Chapter 11-15 “Sign Regulations” standards. Signs are not included as part of this Site Plan approval. Separate review and approval will be required.

ATTACHMENTS

1. Site Plan
2. Floor Plan



SITE PLAN NOTES:

1. EXISTING CURB & GUTTER.
2. PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C4.
3. PROPOSED 6" CURB WALL. SEE DETAIL 2/C4.
4. PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 3/C4.
5. CONTRACTOR TO TAPER ASPHALT TO MATCH CURB WALL/FINISHED FLOOR ELEVATION. SEE SHEET C2.1 FOR SPOT ELEVATIONS AND DETAIL 12/C4.
6. CONTRACTOR TO PROVIDE A SMOOTH TRANSITION BETWEEN CURB & GUTTER AND REV. PAN CURB & GUTTER.
7. ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 14/C4.
8. ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAILS 5/C4 & 6/C4.
9. PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
10. PROPOSED ADA SIGN. SEE DETAIL 15/C4.
11. EXISTING CHAIN LINK FENCE, TO REMAIN.
12. PROPOSED PAINTED PEDESTRIAN WALKING PATH.
13. INSTALL DRIVE APPROACH PER UDOT STANDARD DETAIL GW-3B. CONTRACTOR TO ENSURE THE ROADWAY IS NOT DAMAGED DURING INSTALLATION OF NEW DRIVE APPROACH BY SAWCUTTING AT THE LIP OF GUTTER. SEE SHEET C5 FOR DETAILS.
14. INSTALL DRIVE APPROACH PER CLEARFIELD CITY STANDARD DETAIL 3 OF 17. SEE SHEET C5 FOR DETAILS.
15. EXISTING POWER POLE.
16. EXISTING FIRE HYDRANT.
17. CONTRACTOR TO CUT CURB & GUTTER FOR DRIVE-IN ACCESS TO BUILDING. TAPER CURB DOWN TO 0.1' ABOVE FLOWLINE OF GUTTER.
18. CONTRACTOR TO TAPER CURB & GUTTER TO MATCH BACK OF SIDEWALK ELEVATION.
19. PROPOSED 5'x5' CONCRETE LANDING PAD (TYP.). SLOPES TO BE LESS THAN 2% IN ALL DIRECTIONS.
20. PARKING STALL LINES TO BE 4" WIDE AND PAINTED WHITE (TYP.).
21. INSTALL STOP SIGN PER MUTCD R1-1.
22. CONTRACTOR TO INSTALL 6" CURB WALL ALONG RAMP UP AREAS TO OVERHEAD DOORS. ASPHALT ALONG PARKING STALL SIDE OF CURB WALL TO BE 6" BELOW TOP BACK OF CURB ELEVATION. CURB WALL TO TAPER DOWN TO MATCH INTO ASPHALT ACROSS THE 18' PARKING STALL.

LOT AREAS:

	SQ. FT. / ACRES
LOT	172,132 SQ. FT. / 3.95 ACRES
BUILDING FOOTPRINT	53,620 SQ. FT. / 1.23 ACRES
BUILDING A	14,494 SQ. FT. / 0.33 ACRES
BUILDING B	25,810 SQ. FT. / 0.59 ACRES
BUILDING C	13,317 SQ. FT. / 0.31 ACRES
ASPHALT	58,533 SQ. FT. / 1.34 ACRES
LANDSCAPING	35,601 SQ. FT. / 0.82 ACRES
CONCRETE	24,379 SQ. FT. / 0.56 ACRES

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
TOTAL LANDSCAPING	35,601 SQ. FT.	(10% REQUIRED: 20.68% PROVIDED)

NOTE:
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT PARKING REQUIREMENTS:

	SQ. FT.		CITY REQM'T
BUILDING A			
OFFICE	4,000 SQ. FT.	8	(2/1000)
WAREHOUSE	10,494 SQ. FT.	21	(2/1000)
BUILDING B			
OFFICE	6,500 SQ. FT.	13	(2/1000)
WAREHOUSE	19,310 SQ. FT.	39	(2/1000)
BUILDING C			
OFFICE	3,300 SQ. FT.	7	(2/1000)
WAREHOUSE	10,017 SQ. FT.	20	(2/1000)
TOTAL REQUIRED:		108	
TOTAL PROVIDED:		111	
ACCESSIBLE SPACES		6 (5 REQ'D 101 TO 150)	

NOTES:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

INFRASTRUCTURE REPLACEMENT NOTE:
ALL DETERIORATED, DAMAGED, OR MISSING SURFACE IMPROVEMENTS (i.e. CURB & GUTTER, SIDEWALK, LANDSCAPING PARK STRIP, ASPHALT PATCHING, LANDSCAPING REPLACEMENT, SITE LIGHTING, DUMPSTER SCREENING, CONCRETE IMPROVEMENT, ETC) SURROUNDING THE PERIMETER OF THE DEVELOPMENT AND ON-SITE, TO BE REPLACED IN KIND. ALL REPLACEMENT WORK TO BE DONE PER CLEARFIELD CITY STANDARDS AND SPECIFICATIONS.

NO.	REVISIONS	BY	DATE
1	UDOT COMMENTS/SITE CHANGES	NJR	07/08/20
2	CITY COMMENTS	RGW	08/10/20
3	RFI LOG UPDATES	NJR	09/10/20
4	BUILDING REVIEW COMMENTS	NJR	12/10/20
5	BUILDING REVIEW COMMENTS	NJR	12/22/20

DESIGNER: SDT PROJECT ENGINEER: SDT

CIR ENGINEERING, L.L.C.
3032 SOUTH 1030 WEST, SUITE 202
SLC, Utah 84119 - 801-949-6296

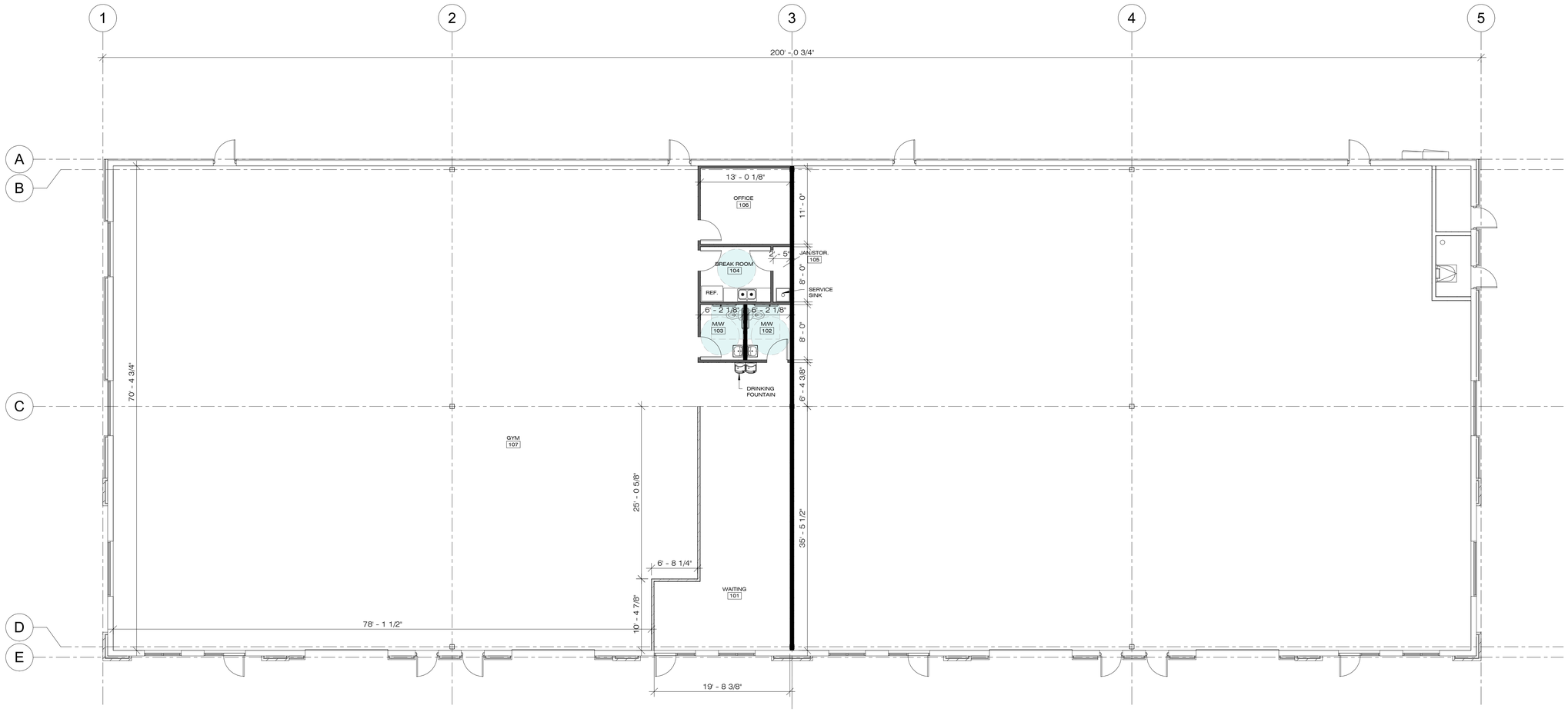
CLEARFIELD FLEX
340 WEST ANTELOPE DRIVE, CLEARFIELD, UTAH
SITE PLAN

LICENSED PROFESSIONAL ENGINEER SCOTT D. THORSEN No. 354291 STATE OF UTAH

CALL BEFORE YOU DIG! IT'S THE LAW BLUE STAKES 1 800 662 4111

SHEET NO. C1

PROJECT ID	DATE:
C1018-01	05/11/20
FILE NAME: PRJ-CCD	SCALE: 1"=30'



WALL TYPES

EXISTING WALL TO REMAIN

NEW 6" METAL STUDS W/ 5/8" TYPE 'X' GYP. BD. EACH SIDE. COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS).

NEW 3-5/8" 25 GAUGE METAL STUDS @ 24" O.C. W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE

NEW 42" HEIGHT WALL
3-5/8" METAL STUDS W/ 5/8" TYPE 'X' GYP. BD. EACH SIDE ANCHORED TO FLOOR. PROVIDE STABILITY STRAPPING/BRACING AS REQUIRED.

GENERAL CONTRACTOR SHALL CHALK-LINE ALL NEW WALLS FOR ARCHITECT'S APPROVAL, PRIOR TO ANY NEW CONSTRUCTION, TO INSURE THAT SPACE BUILD-OUT MEETS TENANT REQUIREMENTS.

NORTH

SAMUEL J. BRADY

ARCHITECTS

200 E. South Temple
Suite 160
Salt Lake City, Utah 84111
(801) 595-1752
www.sambrady.com

REVISIONS

FREEPORT FLEX BUILDING A
320-360 WEST ANTELOPE DRIVE

CLEARFIELD, UT

RAH CHEER ELITE

FLOOR PLAN

SCALE: 1/8" = 1'-0"
MAY 14, 2024
2495901

A1.1

Planning Commission
STAFF REPORT

AGENDA ITEM
#4

TO: Clearfield City Planning Commission

FROM: Tyson Stoddard, Planner I
tyson.stoddard@clearfieldcity.org
(801) 525-2718

MEETING DATE: Wednesday, July 10th, 2024

SUBJECT: Discussion and Possible Action on **CUP 2024-0504**, a conditional use permit request by Michael Lyford to operate a plumbing and HVAC business at the subject location. **Location:** 340 West 1700 South Suite B101 (TIN: 12-940-0001). **Parcel Area:** 3.95 Acres **Zone:** C-2 (Commercial). **(Administrative Action)**.

RECOMMENDATION

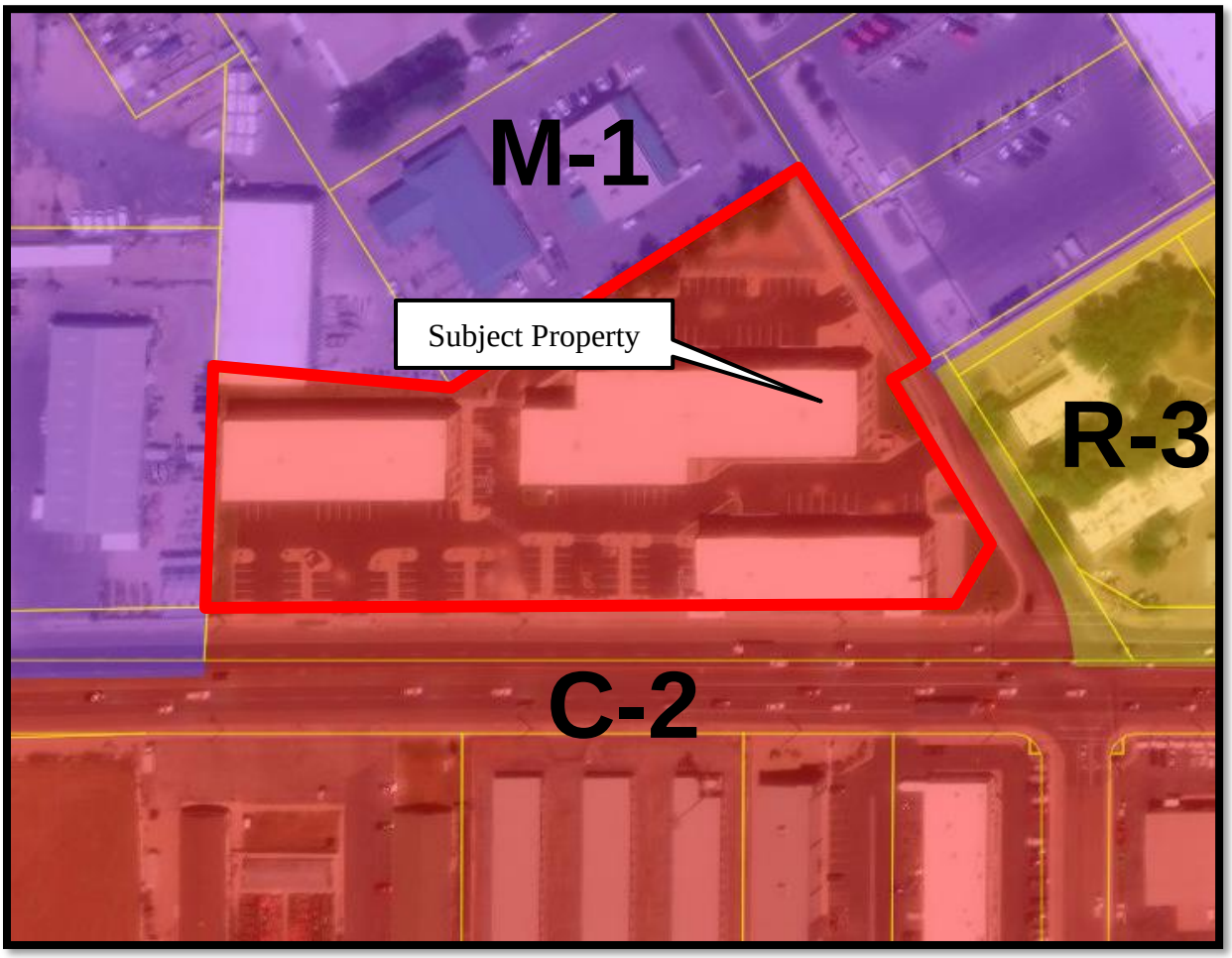
Staff recommends that the Planning Commission **approve as conditioned**, **CUP 2024-0504**, a conditional use permit request by Michael Lyford to operate a plumbing and HVAC business at the subject property. This recommendation is based on the findings and discussion in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	HYLL Plumbing & HVAC
Site Location	340 W. 1700 S. Suite B101
Parcel ID	12-940-0001
Applicant	Michael Lyford
Property Owner	Clearfield Flex LLC
Proposed Actions	Conditional Use Permit Approval
Current Zoning	C-2 (Commercial)
Parcel Area	3.95 Acres

Surrounding Properties and Uses:		Zoning District	General Plan Land Use Classification
North	Manufacturing	M-1 (Manufacturing)	Manufacturing
East	Residential	R-3 (Residential)	Commercial
South	Commercial	C-2 (Commercial)	Commercial
West	Manufacturing	M-1 (Manufacturing)	Commercial

Aerial Image and Zoning



BACKGROUND AND ANALYSIS

Michael Lyford is seeking conditional use permit approval to operate a plumbing and HVAC business at the subject location. The business, HYLL Plumbing & HVAC, offers plumbing and HVAC services for residential and commercial projects. Based on the description provided by the applicant of the activities that will take place at the facility, the business is best classified as a light manufacturing and limited distribution business. Such activities include assembling, altering, converting, fabricating, processing, and treating a product within an enclosed building no greater than 30,000 square feet in size.

The property is located in the C-2 (Commercial) Zone, in which "limited distribution and light manufacturing" uses are a conditional use. Chapter 13 of Clearfield City's Land Use Ordinance provides supplementary regulations related to limited distribution and light manufacturing uses, specifying that they "may be considered along 1700 South when directly adjacent to other M-1 zoned properties on the same side of the street." The subject property fits that description as it is along 1700 South and adjacent to several M-1 zoned properties to the north and west.

The purpose of a conditional use permit is to allow a land use that, because of its unique characteristics or potential impact on the city, surrounding neighbors or land uses, may be compatible only if certain

conditions are required that mitigate the detrimental impacts. Staff has reviewed Chapter 11-4-5 "Conditional Use Permits" which lists the types of conditions that the Planning Commission may require to limit any potential negative impacts of the proposed use. Staff's recommended conditions are listed under the conditions of approval section of this report.

SITE PLAN REVIEW

Floor Plan
The business will be located in unit B101, which includes approximately 4,000 square feet of floor area. As part of the tenant improvement plans, they will construct an open lobby and reception area, a break area, tool storage area, restrooms, and additional offices. The remaining area will be an open storage/shop area.

Parking (Chapter 11-14)
Chapter 11-14 "Off Street Parking and Loading" outlines the parking development standard for properties located in the C-2 Zone. Light Manufacturing requires one (1) space for each 1,000 square feet of gross floor area. This standard is less than what was required for the general development of the parcel. The Clearfield Flex site plan was approved with 113 spaces, which was based upon two (2) spaces for every 1,000 square feet of floor area for "Industrial and Wholesale Establishments". Staff has determined that there is sufficient parking for the proposed use.

Site Landscaping and Open Space
The landscaping was proposed and approved with the Clearfield Flex development site plan and was installed in 2022. The landscaping remains in good condition.

PUBLIC COMMENT

Public notice was placed on the property on July 2, 2024. No public comments have been received to date.

REVIEW CONSIDERATIONS

Conditional Use Permit Review
Clearfield Land Use Ordinance Section 11-4-4 establishes the following review considerations that the Planning Commission shall review while determining to approve Conditional Use Permits.

	REVIEW CONSIDERATION	Staff Analysis
CONSIDERATIONS: The Land Use Authority may allow a conditional use to be located in any zoning district in which the particular use is allowed as a conditional use by this title. In authorizing any conditional use, the Land Use Authority shall impose such requirements and conditions to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the applicable standards provided in this chapter or elsewhere in this title necessary for the protection of adjacent properties and the public welfare. The Land Use Authority shall determine the following:		
1)	*At the specified location, [the proposed use] is in harmony with the general intent and purpose of the Clearfield City General Plan and the applicable zoning district regulations;*	The proposed use is in harmony and compliance with the General Plan and zoning ordinance regulations.
2)	*[The proposed use] is necessary or desirable to provide a service or facility which will contribute to the general*	The proposed use will contribute to the general well-being of the community.

	well-being of the community and neighborhood;	
3)	*Such use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity; and*	The use will not be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity.
4)	*Conditions imposed by the Land Use Authority are based upon ordinance standards outlined in this title [Title 11, Land Use] or as otherwise determined to be necessary by the City Engineer, Building Official, or any applicable State or Federal Agency according to adopted standards of those fields of expertise.*	The proposed conditions are based upon ordinance standards.

CITY DEPARTMENT / AGENCY REVIEW

The plans were shared for review by the Planning Division, Building Division, and the North Davis Fire District. No comments or concerns have been shared by the reviewing parties.

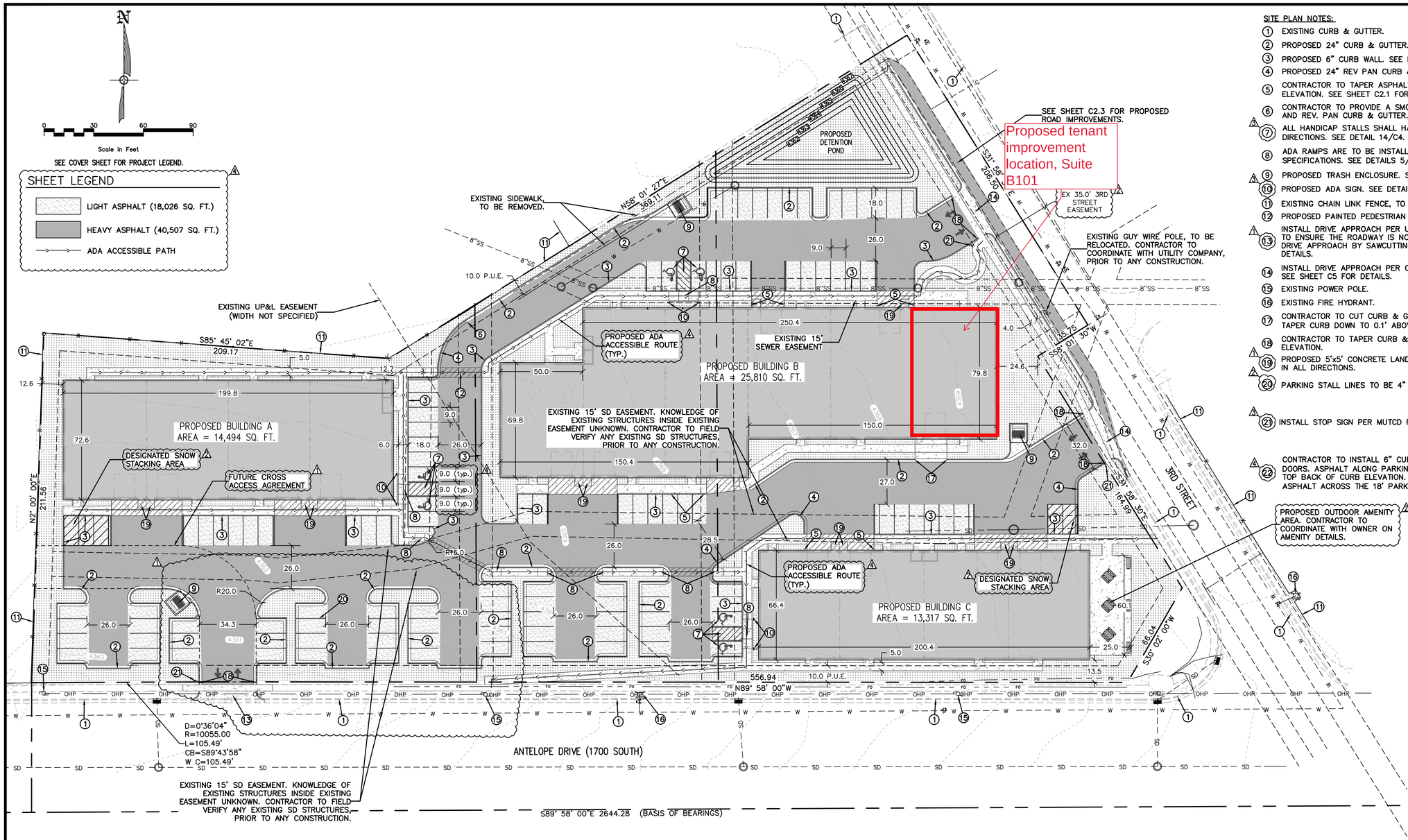
CONDITIONS OF APPROVAL

Based upon a review of the request and applicable ordinance standards, staff recommends that the Planning Commission approve the conditional use permit request subject to the following conditions. The conditions of approval shall be addressed by the applicant and shown on a set of revised plans prior to issuance of final land use approval unless otherwise noted.

1) The applicant shall obtain a building permit for tenant improvements and the project shall comply with all applicable building code standards.
2) The applicant shall obtain approval from the North Davis Fire District.
3) The applicant shall obtain a Clearfield City business license prior to the commencement of business operations.
4) Any signs must meet Chapter 11-15 “Sign Regulations” standards. Signs are not included as part of this Site Plan approval. Separate review and approval will be required.

ATTACHMENTS

1. Site Plan
2. Floor Plan



SITE PLAN NOTES:

1. EXISTING CURB & GUTTER.
2. PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C4.
3. PROPOSED 6" CURB WALL. SEE DETAIL 2/C4.
4. PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 3/C4.
5. CONTRACTOR TO TAPER ASPHALT TO MATCH CURB WALL/FINISHED FLOOR ELEVATION. SEE SHEET C2.1 FOR SPOT ELEVATIONS AND DETAIL 12/C4.
6. CONTRACTOR TO PROVIDE A SMOOTH TRANSITION BETWEEN CURB & GUTTER AND REV. PAN CURB & GUTTER.
7. ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 14/C4.
8. ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAILS 5/C4 & 6/C4.
9. PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
10. PROPOSED ADA SIGN. SEE DETAIL 15/C4.
11. EXISTING CHAIN LINK FENCE, TO REMAIN.
12. PROPOSED PAINTED PEDESTRIAN WALKING PATH.
13. INSTALL DRIVE APPROACH PER UDOT STANDARD DETAIL GW-3B. CONTRACTOR TO ENSURE THE ROADWAY IS NOT DAMAGED DURING INSTALLATION OF NEW DRIVE APPROACH BY SAWCUTTING AT THE LIP OF GUTTER. SEE SHEET C5 FOR DETAILS.
14. INSTALL DRIVE APPROACH PER CLEARFIELD CITY STANDARD DETAIL 3 OF 17. SEE SHEET C5 FOR DETAILS.
15. EXISTING POWER POLE.
16. EXISTING FIRE HYDRANT.
17. CONTRACTOR TO CUT CURB & GUTTER FOR DRIVE-IN ACCESS TO BUILDING. TAPER CURB DOWN TO 0.1' ABOVE FLOWLINE OF GUTTER.
18. CONTRACTOR TO TAPER CURB & GUTTER TO MATCH BACK OF SIDEWALK ELEVATION.
19. PROPOSED 5'x5' CONCRETE LANDING PAD (TYP.). SLOPES TO BE LESS THAN 2% IN ALL DIRECTIONS.
20. PARKING STALL LINES TO BE 4" WIDE AND PAINTED WHITE (TYP.).
21. INSTALL STOP SIGN PER MUTCD R1-1.
22. CONTRACTOR TO INSTALL 6" CURB WALL ALONG RAMP UP AREAS TO OVERHEAD DOORS. ASPHALT ALONG PARKING STALL SIDE OF CURB WALL TO BE 6" BELOW TOP BACK OF CURB ELEVATION. CURB WALL TO TAPER DOWN TO MATCH INTO ASPHALT ACROSS THE 18' PARKING STALL.

LOT AREAS:

	SQ. FT. / ACRES
LOT	172,132 SQ. FT. / 3.95 ACRES
BUILDING FOOTPRINT	53,620 SQ. FT. / 1.23 ACRES
BUILDING A	14,494 SQ. FT. / 0.33 ACRES
BUILDING B	25,810 SQ. FT. / 0.59 ACRES
BUILDING C	13,317 SQ. FT. / 0.31 ACRES
ASPHALT	58,533 SQ. FT. / 1.34 ACRES
LANDSCAPING	35,601 SQ. FT. / 0.82 ACRES
CONCRETE	24,379 SQ. FT. / 0.56 ACRES

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
TOTAL LANDSCAPING	35,601 SQ. FT.	(10% REQUIRED: 20.68% PROVIDED)

NOTE:
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT PARKING REQUIREMENTS:

	SQ. FT.		CITY REQM'T
BUILDING A			
OFFICE	4,000 SQ. FT.	8	(2/1000)
WAREHOUSE	10,494 SQ. FT.	21	(2/1000)
BUILDING B			
OFFICE	6,500 SQ. FT.	13	(2/1000)
WAREHOUSE	19,310 SQ. FT.	39	(2/1000)
BUILDING C			
OFFICE	3,300 SQ. FT.	7	(2/1000)
WAREHOUSE	10,017 SQ. FT.	20	(2/1000)
TOTAL REQUIRED:		108	
TOTAL PROVIDED:		111	
ACCESSIBLE SPACES		6 (5 REQ'D 101 TO 150)	

NOTES:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

INFRASTRUCTURE REPLACEMENT NOTE:
ALL DETERIORATED, DAMAGED, OR MISSING SURFACE IMPROVEMENTS (i.e. CURB & GUTTER, SIDEWALK, LANDSCAPING PARK STRIP, ASPHALT PATCHING, LANDSCAPING REPLACEMENT, SITE LIGHTING, DUMPSTER SCREENING, CONCRETE IMPROVEMENT, ETC) SURROUNDING THE PERIMETER OF THE DEVELOPMENT AND ON-SITE, TO BE REPLACED IN KIND. ALL REPLACEMENT WORK TO BE DONE PER CLEARFIELD CITY STANDARDS AND SPECIFICATIONS.

NO.	REVISIONS	BY	DATE
1	UDOT COMMENTS/SITE CHANGES	NJR	07/08/20
2	CITY COMMENTS	RGW	08/10/20
3	RFI LOG UPDATES	NJR	09/10/20
4	BUILDING REVIEW COMMENTS	NJR	12/10/20
5	BUILDING REVIEW COMMENTS	NJR	12/22/20

DESIGNER: SDT PROJECT ENGINEER: SDT

CIR ENGINEERING, L.L.C.
3032 SOUTH 1030 WEST, SUITE 202
SLC, Utah 84119 - 801-949-6296

CLEARFIELD FLEX
340 WEST ANTELOPE DRIVE, CLEARFIELD, UTAH

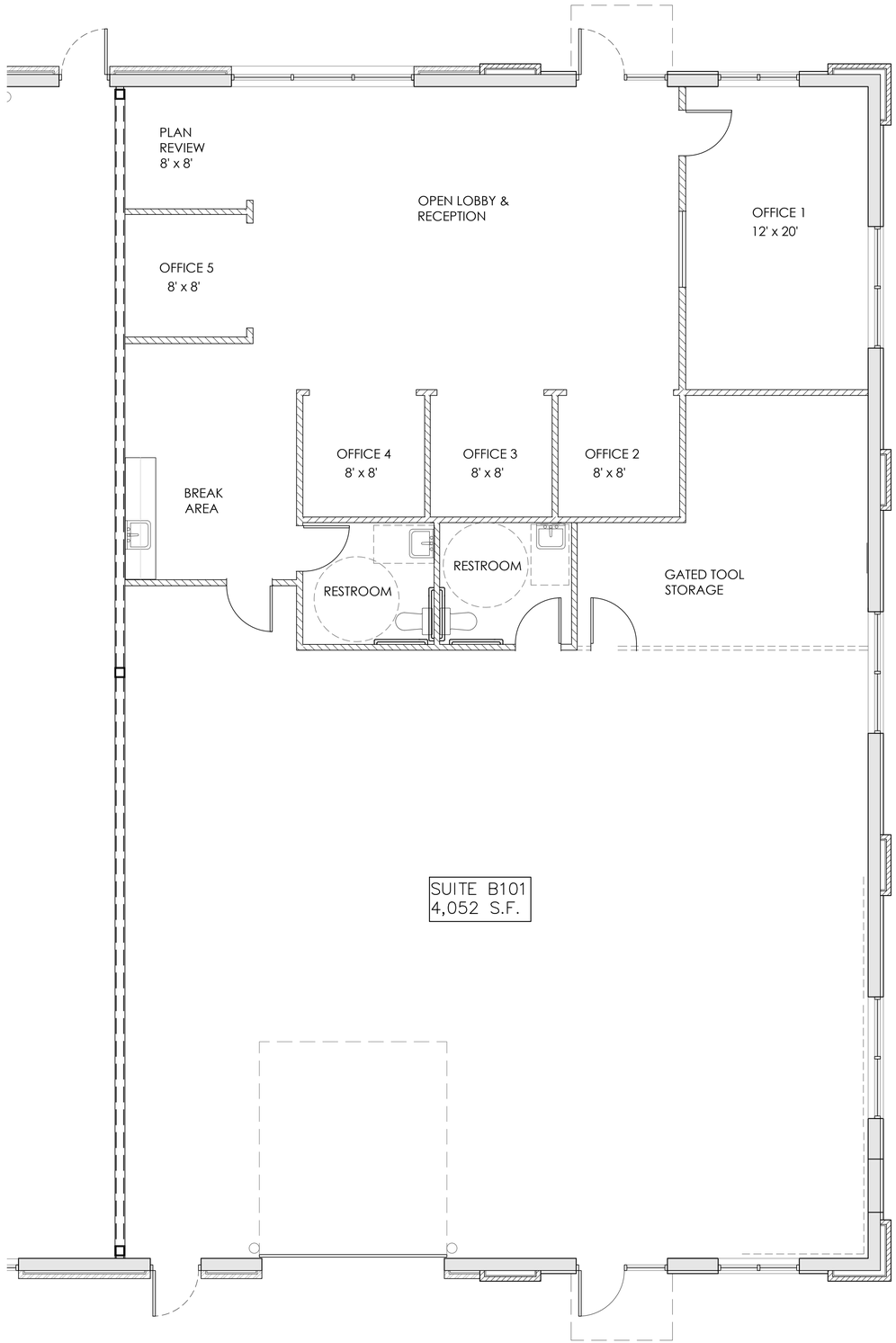
SITE PLAN

LICENSED PROFESSIONAL ENGINEER SCOTT D. THORSEN No. 354291 STATE OF UTAH

CALL BEFORE YOU DIG! IT'S THE LAW BLUE STAKES 1 800 662 4111

SHEET NO. C1

PROJECT ID	DATE:
C1018-01	05/11/20
FILE NAME: PRJ-CCD	SCALE: 1"=30'


PLAN
REVIEW
8' x 8'
OPEN LOBBY &
RECEPTION
OFFICE 1
12' x 20'
OFFICE 5
8' x 8'
OFFICE 4
8' x 8'
OFFICE 3
8' x 8'
OFFICE 2
8' x 8'
BREAK
AREA
RESTROOM
RESTROOM
GATED TOOL
STORAGE
SUITE B101
4,052 S.F.