

# Clearfield City Council Policy Session

June 25<sup>th</sup>, 2024





DOWNTOWN FORM-BASED CODE  
BUILDING MATERIALS  
ZTA 2024-0405



# Background

- Permitted primary and secondary building materials required by FBC in the 2020 update.
- Only permits materials and prohibits all others.
- Innovation in design and quality of building materials with new technologies.
- Recommendation by Planning Commission on June 5<sup>th</sup> for approval of proposed Staff amendments.
- City Council provided additional direction and changes at the work session on June 11<sup>th</sup>.



## 6.13 Building Design Standards

### 1. Intent

The Design Standards are intended to establish a high quality appearance of buildings, enhance the pedestrian experience, and create a cohesive character for Downtown Clearfield.

### 2. Materials

- (1) **Primary Facade Materials.** Primary materials shall be used for a minimum of 75% of each facade for buildings in the Urban Core Commerce, Urban Mixed Residential, and Civic Districts. Primary materials shall be used for a minimum of 60% of each facade for buildings in the Town Mixed Commerce, Town Neighborhood Residential, and Gateway Corridor Commerce Districts. For facades over 500 square feet, more than one primary material may be used. Refer to Figure 6.13 (1).
- (a) **Permitted Primary Materials.** Primary building materials shall include high quality, durable, natural materials.
  - (i) Stone
  - (ii) Brick
  - (iii) Wood Siding
  - (iv) Fiber Cement Board (lapped or shingled, ~~panels~~)
  - (v) Glass
  - (vi) Insulated Metal Panels finished or textured to resemble stone, brick, or wood siding
- (b) Other high quality, durable, or natural materials made available through advancements in technology, may be considered if they meet the following standards.
  - (i) Mimic or resemble permitted primary materials listed above
  - (ii) Physical samples that are finished to resemble permitted primary materials are submitted for review
- (c) **Non-Permitted Primary Materials.** Primary building materials may not include vinyl siding or aluminum ~~slat~~ siding, unfinished poured concrete, or rusted metal.

Primary Materials: Painted Wood



Figure 6.13 (1). Primary Materials.

- (2) **Secondary Facade Materials.** Secondary materials are used to highlight details and/or provide accents and architectural variety. Secondary materials may shall be used for a maximum of 25% of each facade for buildings in the Urban Core Commerce, Urban Mixed Residential, and Civic Districts. Secondary materials may shall be used for a maximum of 40% of each facade for buildings in the Town Mixed Commerce, Town Neighborhood Residential, and Gateway Corridor Commerce Districts.
  - (a) **Permitted Secondary Materials.** Secondary building materials shall include high quality, durable, natural and synthetic materials.
    - (i) All primary materials may be used as secondary materials.
    - (ii) Fiber reinforced materials for trim and cornice elements, including:
      - i. Glass Fiber Reinforced Concrete (GFRC)
      - ii. Polymer-modified Glassfiber Reinforced Gypsum (PGRG)
      - iii. Fiberglass Reinforced Plastic (FRP)
      - iv. Glassfiber Reinforced Gypsum (GRG)
    - (iii) Fiber Cement Board Panels or Phenolic Resin Panels
    - (iv) Metal (beams; cast; sheet; extruded;) for beams, lintels, trim, and ornamentation; ~~and~~, exterior architectural metal panels and cladding; and metal composite material panels and cladding.
    - (v) Exterior Insulation and Finishing Systems (EIFS) and/or Stucco.
      - i. Permitted for trim only and/or on upper floor facades only in the Urban Core Commerce, Urban Mixed Residential, and Civic Districts.
      - ii. Permitted on any area of the facade for buildings in the Town Mixed Commerce, Town Neighborhood Residential, and Gateway Corridor Commerce Districts.
    - (vi) Pre-cast Textured or Patterned Concrete, Cast-in Place Concrete, or Board-formed cast-in place concrete.
    - (vii) Cast Stone
  - (b) Other high quality, durable, natural, or synthetic materials made available through advancements in technology may be considered if they meet the standards for primary materials.
  - (c) Non-Permitted Secondary Materials. All non-permitted primary materials as listed shall not be used.

Primary Material: Brick



Primary Materials: Stone



## 6.13 Building Design Standards

### 1. Intent

The Design Standards are intended to establish a high quality appearance of buildings, enhance the pedestrian experience, and create a cohesive character for Downtown Clearfield.

### 2. Materials

- (1) **Primary Facade Materials.** Primary materials shall be used for a minimum of 75% of each facade for buildings in the Urban Core Commerce, Urban Mixed Residential, and Civic Districts. Primary materials shall be used for a minimum of 60% of each facade for buildings in the Town Mixed Commerce, Town Neighborhood Residential, and Gateway Corridor Commerce Districts. For facades over 500 square feet, more than one primary material may be used. Refer to Figure 6.13 (1).
- (a) **Permitted Primary Materials.** Primary building materials shall include the high quality, durable, natural materials.
  - (i) Stone
  - (ii) Brick
  - (iii) Engineered Wood Siding
  - (iv) Fiber Cement Board (lapped or shingled, ~~panels~~)
  - (v) Glass
  - (vi) Foam Insulated Metal Panels
- (b) **Non-Permitted Primary Materials.** Primary building materials may not include vinyl siding or aluminum ~~slat~~ siding, unfinished poured concrete, or rusted metal.

Primary Materials: Stone



Primary Materials: Brick



Primary Materials: Glass



Primary Materials: Fiber Cement Board



Primary Materials: Metal Panels



Figure 6.13 (1). Primary Materials.

- (2) **Secondary Facade Materials.** Secondary materials are used to highlight details and/or provide accents and architectural variety. Secondary materials may shall be used for a maximum of 25% of each facade for buildings in the Urban Core Commerce, Urban Mixed Residential, and Civic Districts. Secondary materials may shall be used for a maximum of 40% of each facade for buildings in the Town Mixed Commerce, Town Neighborhood Residential, and Gateway Corridor Commerce Districts.
  - (a) **Permitted Secondary Materials.** Secondary building materials shall include high quality, durable, natural and synthetic materials:
    - (i) All primary materials may be used as secondary materials.
    - (ii) Fiber reinforced materials for trim and cornice elements, including:
      - i. Glass Fiber Reinforced Concrete (GFRC)
      - ii. Polymer-modified Glassfiber Reinforced Gypsum (PGRG)
      - iii. Fiberglass Reinforced Plastic (FRP)
      - iv. Glassfiber Reinforced Gypsum (GRG)
    - (iii) Fiber Cement Board Panels or Phenolic Resin Panels
    - (iv) Metal (beams; cast; sheet; extruded;) for beams, lintels, trim, and ornamentation; ~~and~~, exterior architectural metal panels and cladding; and metal composite material panels and cladding.
    - (v) Exterior Insulation and Finishing Systems (EIFS) and/or Stucco.
      - i. Permitted for trim only and/or on upper floor facades only in the Urban Core Commerce, Urban Mixed Residential, and Civic Districts.
      - ii. Permitted on any area of the facade for buildings in the Town Mixed Commerce, Town Neighborhood Residential, and Gateway Corridor Commerce Districts.
    - (vi) Pre-cast Textured or Patterned Concrete, Cast-in Place Concrete, or Board-formed cast-in place concrete.
    - (vii) Cast Stone
  - (b) Non-Permitted Secondary Materials. All non-permitted primary materials as listed shall not be used.



# Non-Permitted Primary or Secondary Materials





# Fiber Cement Board (Personal Preference)



# Insulated Metal Panels





# Commercial Uses



Harley-Davidson in Louisville, KY







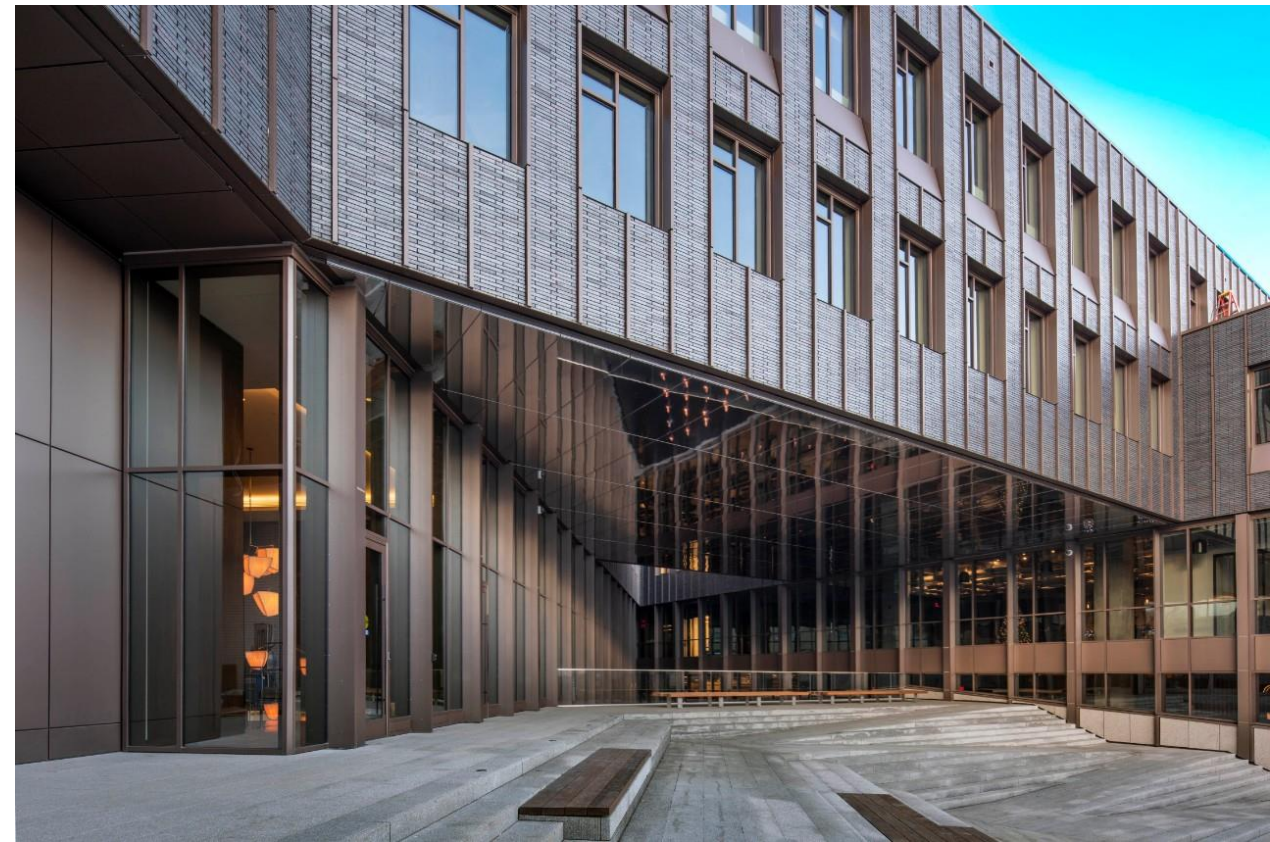
EV Auto in Bountiful, UT



# Office Uses



Code in Charlottesville, NC





# Mixed-Uses



Office Mixed-Use at Virginia Tech



## Civic / Institutional Uses



Aquatic Center in Evansville, IN



YMCA in outside of Salem, OR





Arts & Entertainment Complex in Joplin, MO









Metal Panels

Metal Panels

Metal Panels

Fiber Cement Panels

# Staff Recommendation

Staff recommends that the Clearfield City Council **APPROVE ZTA 2024-0405**, a zoning text amendment to amend the building materials in the Downtown Clearfield Form Based Code as proposed with the revisions provided at the City Council work session on June 11<sup>th</sup>, 2024.

# Planning Commission Recommendation

On June 5<sup>th</sup>, 2024, the Planning Commission forwarded a recommendation of **APPROVAL** for **ZTA 2024-0405** to the City Council, a zoning text amendment by Clearfield City to amend the building materials in the Downtown Clearfield Form Based Code with minor changes. The recommendation was made on a unanimous vote.

