



Garden City Project Checklist

A complete application packet must be filed with the Garden City Town Clerk by the due date listed on the "Procedure for Submittal Poster" for the meeting when your project will be considered. Subdivisions, PUD/PRUD, and Condominium projects are required to follow the Subdivision/PUD/PRUD Process, which also requires an AEG pre-meeting before turning in this packet.

INCOMPLETE APPLICATION PACKETS WILL NOT BE ACCEPTED.

PLEASE REFER TO ORDINANCES FOR A LIST OF REQUIRED DOCUMENTS TO BE INCLUDED WITH THE FOLLOWING PROJECT APPLICATIONS:

- Subdivision Plat:** \$3,000 Deposit * 11E
 Preliminary Plat: \$500 per plat + \$10 per lot 11E-400
 Final Plat: \$500 per plat + \$10 per lot 11E-500
 Subdivision packets must include A, 20 of B, 4 of C, D, E, & F for each plat
- Condominium Plat:** \$3,000 Deposit * Must follow Subdivision Ordinance, Chapter 11E and/or Planned Unit Development Ordinance, Chapter 11F and:
 Condominium Plat: \$500 per plat + \$10 per lot 11E-524
 Townhouse Plat: \$500 per plat + \$10 per lot 11E-525
 Condominium packets must include A, 20 of B, 4 of C, D, E, & F for each plat
- Planned Unit Development or Planned Residential Development (PUD or PRUD):**
 \$3,000 Deposit * 11C-1950, 11F & 11E
 Preliminary PUD Development Plan: \$1,000 11F-103
 Final Development Plan: \$1,000 11F-107
 PUD/PRUD packets must include A, 20 of B, 4 of C, D, E, & F for each plat
- Readjustment of Lot Lines or Lot Splits:** \$250 11E-506
 Packets must include A, B, C, D, E, & F, Also, a deed for each lot
- Vacation of Subdivision:** \$300 11E-523
 Packets must include A, 20 of B, 4 of C, D, E, & F
- Conditional Use Permit:** \$300
 CUP packets must include A, 9 of B, D, E, & F
- Variance:** \$250 11B-308
 Variance Packets must include A, B, D, E, & F
- Annexation:** \$300 for first acre or less, \$20 per acre for each additional acre
 (Maximum of \$1,000) 11A-300
 Annexation packets must include A, 20 of B, 4 of C, D, E, & F
- Zone Change:** \$300 for first acre or less, \$20 per acre for each additional acre
 (Maximum of \$1,000) 11A-302
 Zone Change packets must include A, 20 of B, 4 of C, D, E, & F

- Encumbrance:** \$250
Encumbrance Packets must include A, B, D, E, & F
- Un-Encumbrance:** \$250
Un-Encumbrance Packets must include A, B, D, E, & F
- Appeal:** \$250
Appeal Packets must include A and a letter from the property owner outlining the reason for the appeal.

- Extension of Time:**
Extension of Time Packets must include A, and a letter from the Developer explaining the reason for the extension request.
- Other Land Use Permits:** \$50
Packets must include A, B, D, E, & F
- Water Share Transfer:**
Water Share Transfer Packets must include A

- AEG Meeting, (Affected Entity Group):** \$500 Deposit
Packets must include A, 10 of B

* The \$3,000 deposit is used to cover engineer costs, attorney costs, recording fees, etc. The balance will be refunded to developer.

PACKET DOCUMENTATION REQUIREMENTS

- A. Completed Garden City Application for Project Review@ form.
- B. 11"x14' or 11"x17' plot plan showing lot dimensions and area, and the location, uses dimensions, and set backs of all existing and proposed buildings. Any right-of-ways or easements must be shown if applicable. **Provide 20 readable hard copies.**
- C. A AD@ size (22" x 34") plot plan showing lot dimensions and area, and the location, uses, dimensions, and set backs of all existing and proposed buildings. When appropriate, include the same information for property from which a new lot is being created. Plot at appropriate scale (e.g. 1"=50' or 1"=100')
- D. A legal description and current ownership plat of the property.
- E. A current Title Report or Preliminary Title Report showing ownership. Must match legal description on plat.
- F. An electronic copy of plat.

Please review Garden City ordinances for requirements for each type of project. Garden City ordinances can be found at www.gardencityut.us .

Application for Project Review Garden City, Utah

This application must be accompanied with the necessary and appropriate materials, as stated on the project checklist, before it will be accepted for processing. The date upon which the project will appear on an agenda is determined by the notification schedule required by the State of Utah. The project will be scheduled for the next meeting for which a legal notice has not yet been prepared, after an application is accepted as complete by the Town Staff.

Type of Application (check all that apply):	Ordinance Reference:
<input type="checkbox"/> Annexation	11A-301
<input type="checkbox"/> Appeal	11B-400
<input type="checkbox"/> Conditional Use Permit	11C-500
<input type="checkbox"/> Condominium/Townhouse	11E-524 or 11E-525
<input type="checkbox"/> Encumbrance	
<input type="checkbox"/> Extension of Time	Subdivision 11E-503/PUD or PRUD 11F-107-A-2
<input type="checkbox"/> Lot Split/Lot Line Adjustment	11E-506
<input type="checkbox"/> PUD Conceptual	11C-1950, 11E-100, and 11F-100
<input type="checkbox"/> PUD Phase Approval/Preliminary or Final	11C-1950, 11E-100, and 11F-100
<input type="checkbox"/> PRUD Conceptual	11C-1950, 11E-100, and 11F-100
<input type="checkbox"/> PRUD Phase Approval/Preliminary or Final	11C-1950, 11E-100, and 11F-100
<input checked="" type="checkbox"/> Subdivision	11E-100
<input type="checkbox"/> Vacation of Subdivision	11E-523
<input type="checkbox"/> Variance	11B-308
<input type="checkbox"/> Water Transfer	13A-1300
<input type="checkbox"/> Zone Change	
<input type="checkbox"/> AEG Meeting, (Affected Entity Group):	
<input type="checkbox"/> Other Land Use Permit _____	

Project Name: Crystal View Estates (Elk's Ridge III) Current Zone: HE Proposed Zone: _____

Property Address: Garden City Canyon

Parcel # 41 - 17 - 000 - 0107

Contact Person: Lance Anderson Phone #: 435-760-1622

E-mail address: lance@cachelandmark.com

Mailing Address: 95 W Golf Course Rd. Ste 101, Logan, UT 84321

Applicant (if different): Elevate Development Group, LLC Phone #: 801-900-8363

Mailing Address: 2700 HOMESTEAD ROAD, SUITE 215, Park City, UT 84098

Property Owner of Record (if different): Tim Aalders, Elevate Development Phone #: 801-900-8363

Mailing Address: Same

Project Start date: July 2024 Completion date: July 2025

Describe the proposed project as it should be presented to the hearing body and in the public notices.

Residential Lots for Crystal View Estates.

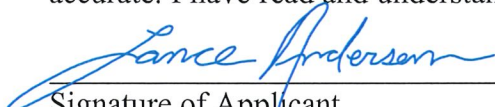
Phase 1 includes 30 residential lots with associated road and utility improvements.

Phase 2 includes the development of 64 Residential town homes with Cluster Development

Lot Size in acres or square feet: Varies Number of dwellings or lots: 94

Non-residential building size: _____

I certify that the information contained in this application and supporting materials is correct and accurate. I have read and understand the requirements and deadlines associated with this application.



Signature of Applicant

I certify that I am the Owner of Record of the subject property and that I consent to the submittal of this application. **Owner of Record MUST sign the application prior to submitting to Garden City.**

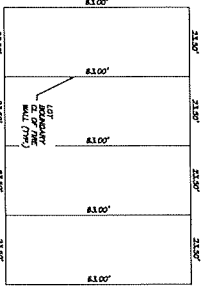
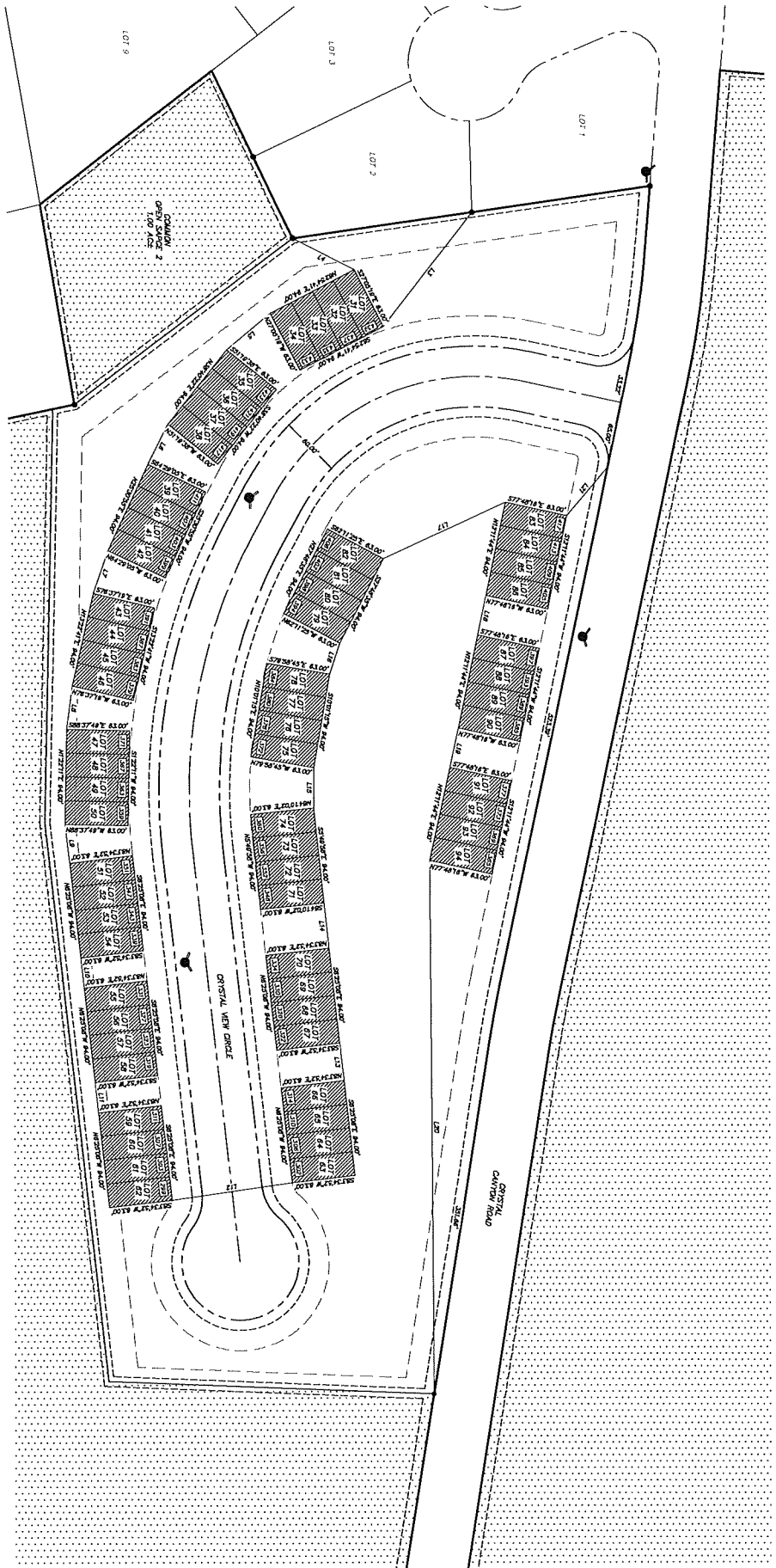
Tim Alders

Signature of Owner of Record

Signature of Owner of Record

Signature of Owner of Record

Office Use Only	
Date Received:	<u>5/15/24</u>
Fee:	<u>\$ 4440.00</u>
By:	<u>SA</u>



LINE TABLE

LINE	COORDINATES	BEARING
L1	443.67	S88°17'14"W
L2	443.67	S88°17'14"W
L3	443.67	S88°17'14"W
L4	443.67	S88°17'14"W
L5	443.67	S88°17'14"W
L6	443.67	S88°17'14"W
L7	443.67	S88°17'14"W
L8	443.67	S88°17'14"W
L9	443.67	S88°17'14"W
L10	443.67	S88°17'14"W
L11	443.67	S88°17'14"W
L12	443.67	S88°17'14"W
L13	443.67	S88°17'14"W
L14	443.67	S88°17'14"W
L15	443.67	S88°17'14"W
L16	443.67	S88°17'14"W
L17	443.67	S88°17'14"W
L18	443.67	S88°17'14"W
L19	443.67	S88°17'14"W
L20	443.67	S88°17'14"W
L21	443.67	S88°17'14"W

BUILDING LAYOUT
SCALE: 1" = 50'



GRAPHIC SCALE 1" = 50'

CRYSTAL VIEW ESTATES PHASE 2
GARDEN CITY, UTAH

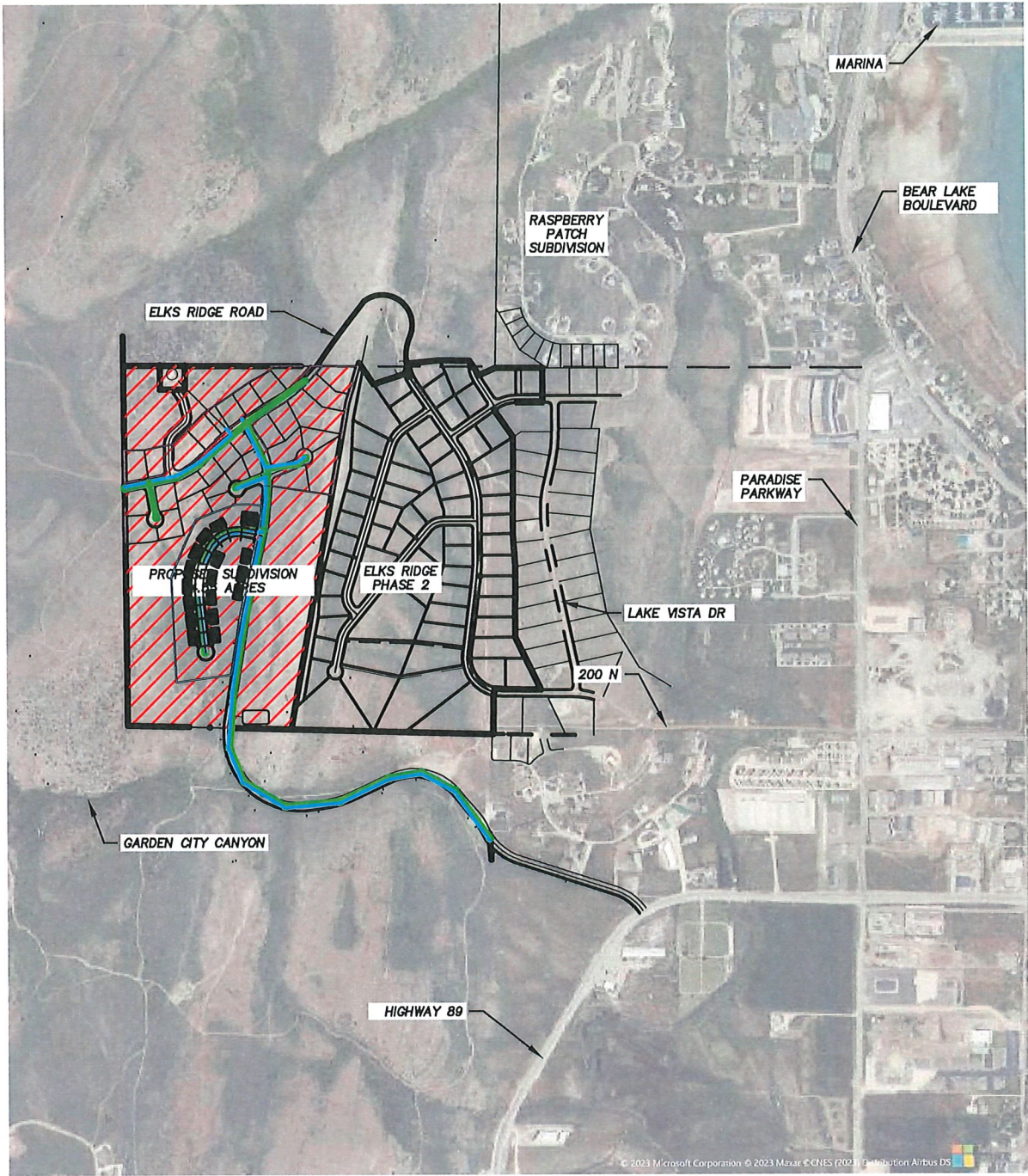
FINAL PLAT



LINE	LINE LENGTH	BEARING	AREA	AREA
C1	1717.8	S 88°00'00" W	1083.5	1083.5
C2	1717.8	S 88°00'00" W	1083.5	1083.5
C3	461.0	S 88°00'00" W	294.6	294.6
C4	461.0	S 88°00'00" W	294.6	294.6
C5	461.0	S 88°00'00" W	294.6	294.6
C6	461.0	S 88°00'00" W	294.6	294.6
C7	461.0	S 88°00'00" W	294.6	294.6
C8	461.0	S 88°00'00" W	294.6	294.6
C9	461.0	S 88°00'00" W	294.6	294.6
C10	461.0	S 88°00'00" W	294.6	294.6
C11	461.0	S 88°00'00" W	294.6	294.6
C12	461.0	S 88°00'00" W	294.6	294.6
C13	461.0	S 88°00'00" W	294.6	294.6
C14	461.0	S 88°00'00" W	294.6	294.6
C15	461.0	S 88°00'00" W	294.6	294.6
C16	461.0	S 88°00'00" W	294.6	294.6
C17	461.0	S 88°00'00" W	294.6	294.6
C18	461.0	S 88°00'00" W	294.6	294.6
C19	461.0	S 88°00'00" W	294.6	294.6
C20	461.0	S 88°00'00" W	294.6	294.6
C21	461.0	S 88°00'00" W	294.6	294.6
C22	461.0	S 88°00'00" W	294.6	294.6
C23	461.0	S 88°00'00" W	294.6	294.6
C24	461.0	S 88°00'00" W	294.6	294.6
C25	461.0	S 88°00'00" W	294.6	294.6
C26	461.0	S 88°00'00" W	294.6	294.6
C27	461.0	S 88°00'00" W	294.6	294.6
C28	461.0	S 88°00'00" W	294.6	294.6
C29	461.0	S 88°00'00" W	294.6	294.6
C30	461.0	S 88°00'00" W	294.6	294.6
C31	461.0	S 88°00'00" W	294.6	294.6
C32	461.0	S 88°00'00" W	294.6	294.6
C33	461.0	S 88°00'00" W	294.6	294.6
C34	461.0	S 88°00'00" W	294.6	294.6
C35	461.0	S 88°00'00" W	294.6	294.6
C36	461.0	S 88°00'00" W	294.6	294.6
C37	461.0	S 88°00'00" W	294.6	294.6
C38	461.0	S 88°00'00" W	294.6	294.6
C39	461.0	S 88°00'00" W	294.6	294.6
C40	461.0	S 88°00'00" W	294.6	294.6
C41	461.0	S 88°00'00" W	294.6	294.6
C42	461.0	S 88°00'00" W	294.6	294.6
C43	461.0	S 88°00'00" W	294.6	294.6
C44	461.0	S 88°00'00" W	294.6	294.6
C45	461.0	S 88°00'00" W	294.6	294.6
C46	461.0	S 88°00'00" W	294.6	294.6
C47	461.0	S 88°00'00" W	294.6	294.6
C48	461.0	S 88°00'00" W	294.6	294.6
C49	461.0	S 88°00'00" W	294.6	294.6
C50	461.0	S 88°00'00" W	294.6	294.6

LINE	LINE LENGTH	BEARING
L1	100.0	S 88°00'00" W
L2	100.0	S 88°00'00" W
L3	100.0	S 88°00'00" W
L4	100.0	S 88°00'00" W
L5	100.0	S 88°00'00" W
L6	100.0	S 88°00'00" W
L7	100.0	S 88°00'00" W
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L42	100.0	S 88°00'00" W
L43	100.0	S 88°00'00" W
L44	100.0	S 88°00'00" W
L45	100.0	S 88°00'00" W
L46	100.0	S 88°00'00" W
L47	100.0	S 88°00'00" W
L48	100.0	S 88°00'00" W
L49	100.0	S 88°00'00" W
L50	100.0	S 88°00'00" W





1 VICINITY MAP
SCALE: 1" = 1200'

PROJECT:	CRYSTAL VIEW ESTATES	
SHEET DESCRIPTION:	VICINITY MAP	
APPROVED	PROFESSIONAL ENGINEER	DATE

C.L.
Cache • Landmark
Engineers
Surveyors
Planners
95 W. Golf Course Rd.
Suite 101
Layton, UT 84321
435.713.0099



DATE:	7 SEPTEMBER 2023
DRAFTING BY:	W. HENDRICKSON
CHECKED BY:	L. ANDERSON
APPROVED BY:	L. ANDERSON
PROJECT NUMBER	22040ELK
SHEET NO. :	1/2

GENERAL SITE NOTES

- A. NO WORK IS TO BEGON UNTIL NECESSARY PERMITS HAVE BEEN OBTAINED.
- B. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. GENERAL CONTRACTOR TO POINT OUT ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- C. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- D. VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE.
- E. GENERAL CONTRACTOR RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS.
- F. THE PRESERVATION OF NATIVE TOPSOIL IS PARAMOUNT. TOPSOIL SHALL BE STRIPPED FROM CONSTRUCTION AREAS AND TEMPORARILY STOCKPILED WITHIN THE LOTS OF THE SUBDIVISION, AS PLANNED ON THE FINAL PLAN. TOPSOIL IS TO BE STRIPPED WHEN CONDITIONS ARE FAVORABLE (I.E. NOT SATURATED OR TOO MOIST) AND SHOULD BE COMPACTED TO A MINIMUM DENSITY OF 95% AFTER IT IS RESTRIPPED. TOPSOIL SHALL BE RESTRIPPED TO THE ORIGINAL GRADE IN DISTURBED AREAS AS QUICKLY AS THE SUBGRADE IS PREPARED. ALL AREAS WITHIN THE PROJECT ARE TO HAVE A MINIMUM DEPTH OF SIX (6) INCHES OF TOPSOIL RESTORED TO THE SURFACE, ESPECIALLY ALL AREAS WITHIN OPEN SPACE, DRAINAGE CHANNELS, STORMWATER DETENTION PONDS, AND PARK STRIPS BETWEEN THE CURB AND SIDEWALK.
- G. GENERAL CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY PROVIDER. GENERAL CONTRACTOR TO VERIFY AND FOLLOW APPROPRIATE UTILITY PROVIDER REQUIREMENTS, PROCEDURES, STANDARDS, AND SPECIFICATIONS.
- H. GENERAL CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
- I. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
- J. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH GARDEN CITY STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS. LATEST REVISION THEREOF. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN A COPY OF THIS MANUAL FROM THE PROVIDENCE CITY PUBLIC WORKS DEPARTMENT OR REPRESENTATIVE PRIOR TO BEGINNING ALL SITE CONSTRUCTION. WATER TO COMPLY WITH GARDEN CITY STANDARDS.
- K. ALL ASPHALT CUTS FOR UTILITIES AND PAVEMENT WITHIN PUBLIC RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH PROVIDENCE CITY STANDARDS AND SPECIFICATIONS. WORK IN P/W PERMITS ARE REQUIRED.
- L. GENERAL CONTRACTOR SHALL PROVIDE COMPREHENSIVE TRAFFIC CONTROL PLAN WHICH SHALL BE SUBMITTED TO AND APPROVED BY THE CITY PRIOR TO ANY WORK IN THE PUBLIC R/W. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY TO ANY OTHER TRAFFIC PARTICIPATING IN THE PROJECT. TRAFFIC CONTROL TO BE SIGNS, FLARES, BARRICADES, ETC., AS NECESSARY. TRAFFIC CONTROL TO BE COMPLIANT WITH CURRENT MUTCD. WORK SHALL COMPLY WITH "WORK IN P/W" PERMIT.
- M. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND ELEVATION OF EXISTING UTILITIES WHICH MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION. IF A CONFLICT DOES EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE.
- N. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL UTILITIES WHEN CONSTRUCTION WORK BEGINS IN THE VICINITY OF ANY UTILITY LINES AND TO ARRANGE FOR A REPRESENTATIVE OF THE UTILITY TO BE PRESENT IF THE CONTRACTOR'S OPERATIONS ARE IN CLOSE PROXIMITY TO ANY UTILITY IN THEIR OR RELOCATED POSITION WHICH COULD CREATE A HAZARDOUS CONDITION.
- O. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, THE CONTRACTOR SHALL FOLLOW THE HIGHER QUALITY STANDARD SHALL APPLY, AS APPROVED BY THE GARDEN CITY ENGINEER.
- P. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- Q. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTING ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- R. OWNER/CONTRACTOR IS RESPONSIBLE TO OBTAIN A UPDES STORMWATER DISCHARGE PERMIT AND IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS PER THE REQUIREMENTS (NOI PERMIT # _____).
- S. ALL CONSTRUCTION SHALL CONFORM TO THE GARDEN CITY STANDARDS AND SPECIFICATIONS FOUND AT: <https://gardencity-lus.net/new-page>
- T. CONTRACTOR SHALL INSTALL PROPER SIGNAGE FOR ALL ROADWAYS.

UTILITY CONTACTS

- STORM SEWERS AND ROADS:**
 Public Works Department
 P.O. Box 207
 Garden City, Utah 84028
 435-946-2901
- POWER:**
 Rocky Mountain Power
 760 North Main
 Logan, Utah 84321
 CONTACT: Jennifer Peterson
 (435) 563-2953
jennifer.peterson@pacifiCorp.com
- NATURAL GAS:**
 Dominion Energy
 895 West 800 North
 Logan, Utah 84321
 CONTACT: Heidi Fiedel
 (435) 765-2206
heidi.fiedel@dominionenergy.com
- TELEPHONE:**
 CenturyLink Communications
 725 N 600 W
 Logan, Utah 84321
 CONTACT: John Quintana
 (801) 589-5850
- CABLE TELEVISION:**
 Comcast
 1034 W 801 Drive #110
 Logan, Utah 84321
 CONTACT: Jason Hall
 (435) 760-7718
jason.hall@comcast.com
- WATERS:**
 Riv Arroyo
 435-946-2901
publicworks@gardencityut.us
- FIRE DISTRICT:**
 Mike Wahlberg, Fire Chief
 435-951-6373
<http://gardencityfire.us/>
- SANITARY SEWERS:**
 Bear Lake Special Service District
 435-946-3201
<https://bearlakesd.com/>
- STORMWATER PERMIT:**
 STATE OF UTAH
 DEPARTMENT OF ENVIRONMENTAL QUALITY
 DIVISION OF WATER QUALITY
 268 North 1460 West
 Salt Lake City, Utah 84114-4870
 (801) 539-6146
<https://secure.utah.gov/swp/client>

LEGEND

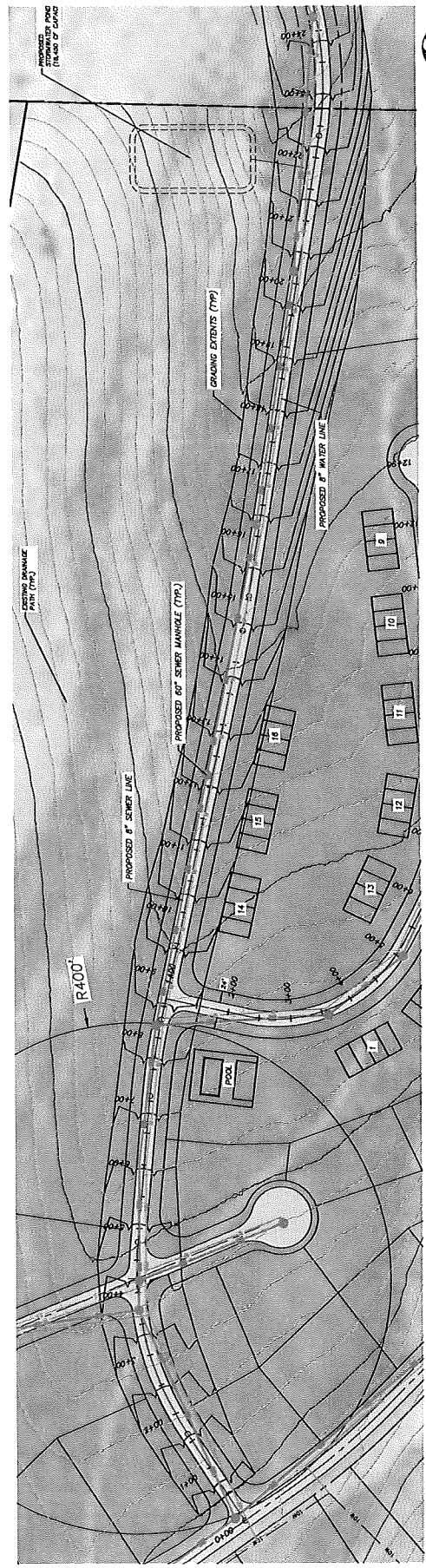
—	PROPERTY LINE
—	RIGHT-OF-WAY LINE
—	EDGE OF CONCRETE
—	EXISTING MAJOR CONTOUR
—	EXISTING MINOR CONTOUR
—	EXISTING CURB AND GUTTER
—	PROPOSED CURB & GUTTER
—	EXISTING GAS LINE
—	EXISTING OVERHEAD POWER LINE
—	EXISTING UNDERGROUND POWER LINE
—	EXISTING STORM DRAIN LINE & SIZE
—	PROPOSED STORM DRAIN LINE
—	EXISTING SEWER LINE & SIZE
—	PROPOSED SEWER LINE
—	EXISTING WATER LINE & SIZE
—	PROPOSED WATER LINE
—	PROPOSED STREET LIGHT POLE
—	WATER VALVE
—	FIRE HYDRANT
—	WATER METER
—	SEWER MANHOLE
—	PROPOSED ASPHALT
—	PROPOSED CONCRETE
—	PROPOSED HEAVY-DUTY CONCRETE



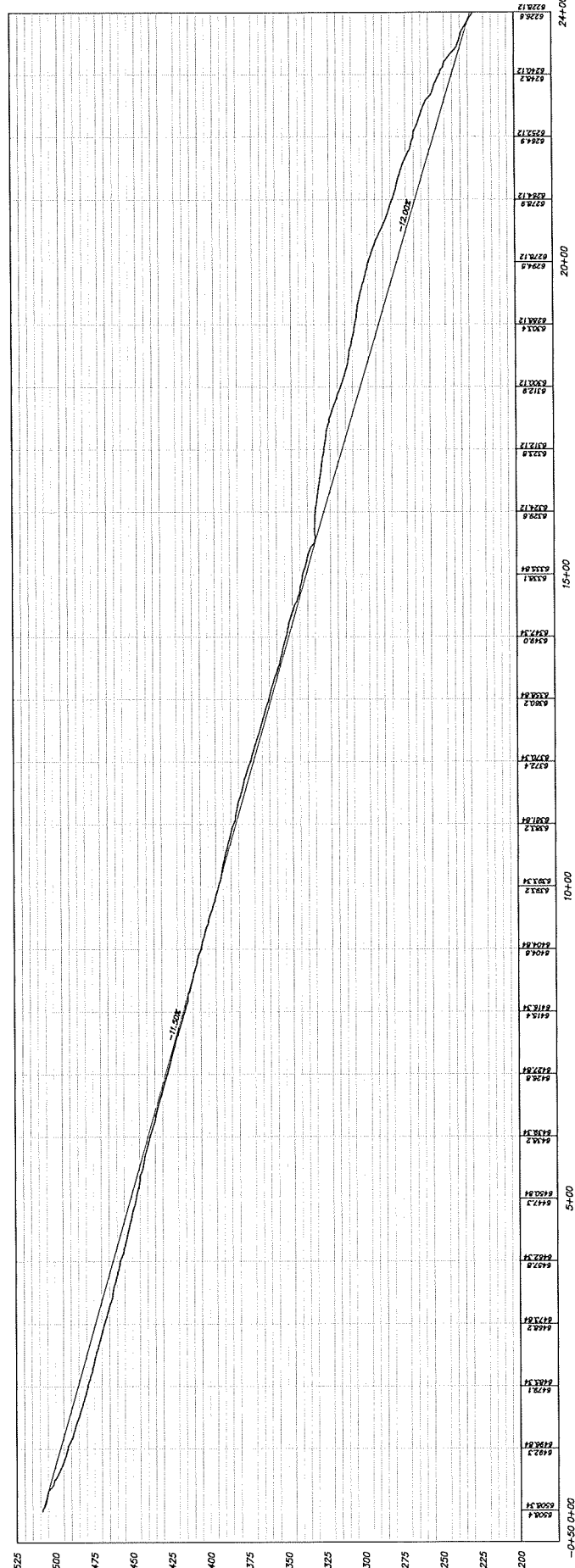
Road Design

CRYSTAL VIEW ESTATES
GARDEN CITY, UTAH

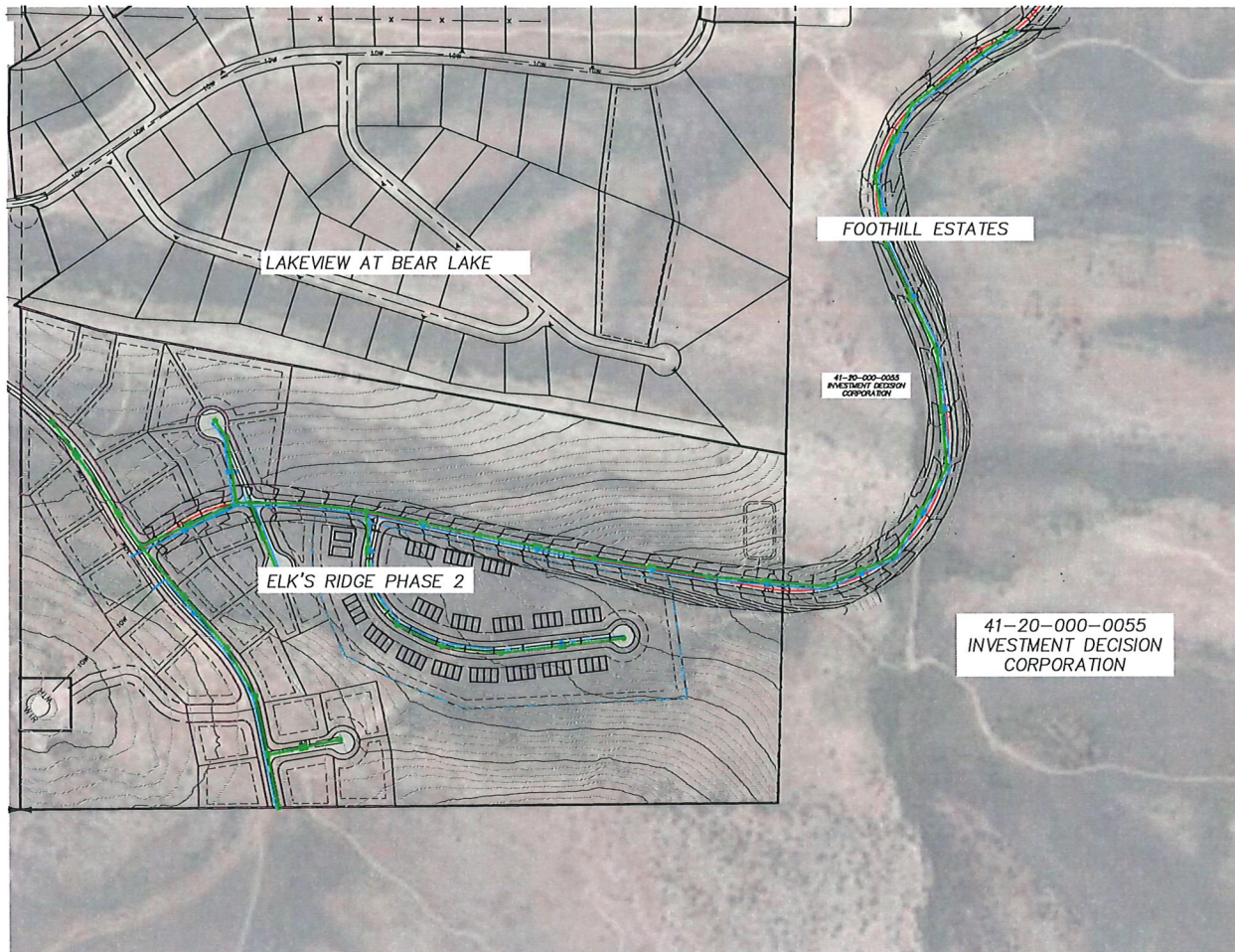
DATE: 7 SEPTEMBER 2020
 PROJECT NO.: 19-001
 PROJECT NAME: CRYSTAL VIEW ESTATES
 SHEET NO.: C-2.0
 DESIGNER: L. ANDERSON
 CHECKER: L. ANDERSON
 PROJECT MANAGER: L. ANDERSON
 SCALE: AS SHOWN
 DRAWN BY: L. ANDERSON



CANYON ROAD PLAN VIEW
STA: 0+00 TO 24+00



CANYON ROAD PROFILE VIEW
STA: 0+00 TO 24+00



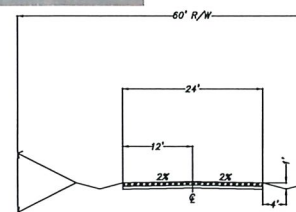
FOOTHILL ESTATES

LAKEVIEW AT BEAR LAKE

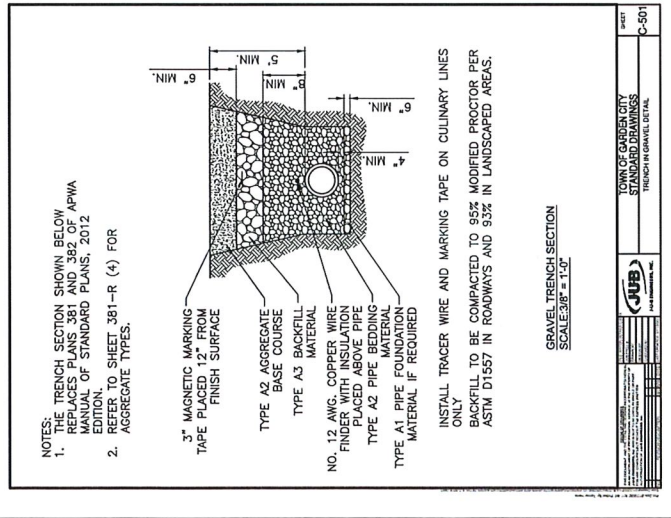
41-20-000-0055
INVESTMENT DECISION
CORPORATION

ELK'S RIDGE PHASE 2

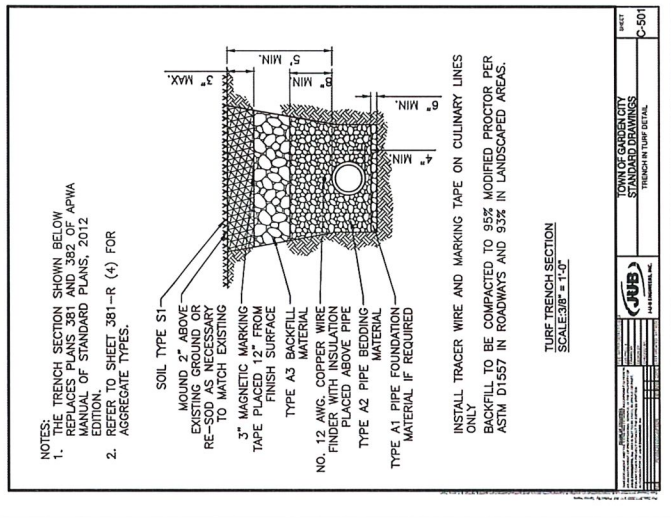
41-20-000-0055
INVESTMENT DECISION
CORPORATION



(A) TYPICAL 60' ROW SECTION
SCALE: 1" = 10'



6 GRAVEL TRENCH SECTION
SCALE: 3/8" = 1'-0"



7 TURF TRENCH SECTION
SCALE: 3/8" = 1'-0"

SOIL TYPE S1: EXCAVATED AND RE-USED MATERIAL GRADED FREE OF LUMPS OR ROCKS LARGER THAN 6 INCHES AND DEBRIS.

AGGREGATE TYPE A1: NATURAL STONE OR CRUSHED ROCK; FREE OF CLAY, SHALE, ORGANIC MATTER; GRADED IN ACCORDANCE WITH ANSI/ASTM C136, ASTM D2487 GROUP SYMBOL GW; TO THE FOLLOWING LIMITS:
MINIMUM SIZE: 1 INCH
MAXIMUM SIZE: 2 INCH

AGGREGATE TYPE A2: FREE OF SHALE, CLAY, FRIABLE MATERIAL AND DEBRIS; GRADED IN ACCORDANCE WITH ANSI/ASTM C136, ASTM D2487 GROUP SYMBOL GW; WITHIN THE FOLLOWING LIMITS: (ALTERNATIVE GRADATIONS WILL BE CONSIDERED)

AGGREGATE TYPE	MINIMUM SIZE	MAXIMUM SIZE	PERCENT PASSING
NO. 1	1 INCH	2 INCH	100
NO. 2	3/4 INCH	1 INCH	95
NO. 3	1/2 INCH	3/4 INCH	70 TO 100
NO. 4	3/8 INCH	1/2 INCH	41 TO 68
NO. 10	NO. 10	NO. 10	21 TO 41
NO. 20	NO. 20	NO. 20	10 TO 27
NO. 40	NO. 40	NO. 40	5
NO. 60	NO. 60	NO. 60	5 TO 12

AGGREGATE TYPE A3: DURABLE MATERIAL FREE OF SHALE, CLAY, LUMPS OR ROCKS LARGER THAN 6 INCHES AND DEBRIS; MEETING THE FOLLOWING LIMITS: (ALTERNATIVE GRADATIONS WILL BE CONSIDERED)

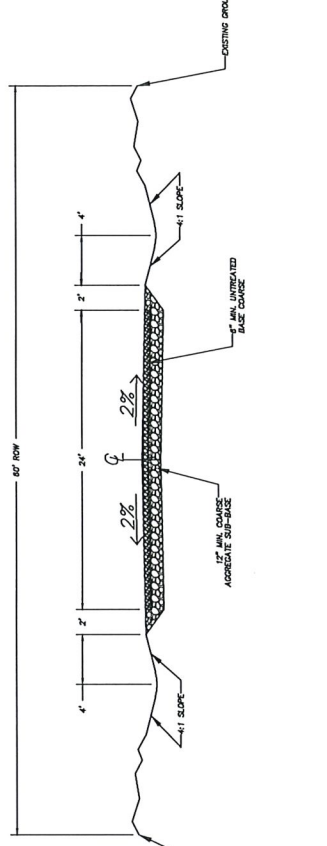
AGGREGATE TYPE	MINIMUM SIZE	MAXIMUM SIZE	PERCENT PASSING
NO. 1	1 INCH	2 INCH	100
NO. 2	3/4 INCH	1 INCH	98 TO 100
NO. 3	1/2 INCH	3/4 INCH	95 TO 100
NO. 4	3/8 INCH	1/2 INCH	75 TO 100
NO. 10	NO. 10	NO. 10	40 TO 80
NO. 20	NO. 20	NO. 20	25 TO 60
NO. 40	NO. 40	NO. 40	5 TO 12

USE FOR PIPE BEDDING MATERIAL.

USE FOR THE IMPORT STRUCTURE BACKFILL, GRANULAR TRENCH BACKFILL, SITE FILL MATERIAL, AND WHERE SHOWN ON THE DRAWINGS.

TOWN OF GARDEN CITY STANDARD DRAWINGS TRENCH/PIPE DETAIL SHEET C-501

8 NOTES
SCALE: NTS



9 ROAD SECTION
SCALE: 1" = 5'

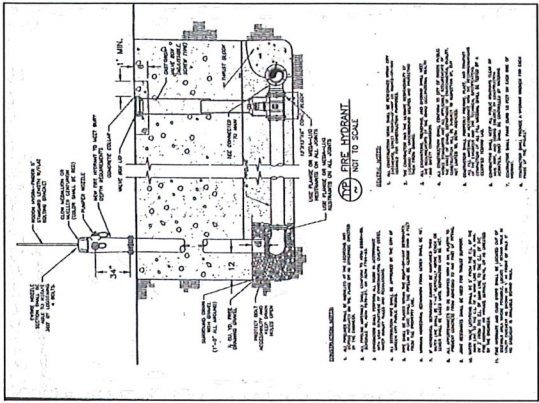
NO.	DATE	DESCRIPTION

CIVIL DETAILS

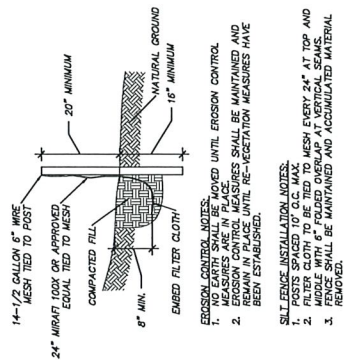
CRYSTAL VIEW ESTATES
GARDEN CITY, UTAH

C.J. Castle • Landmark Engineering
195 Cliff Center Rd. Suite 100
Garden City, UT 84040
435.713.8779

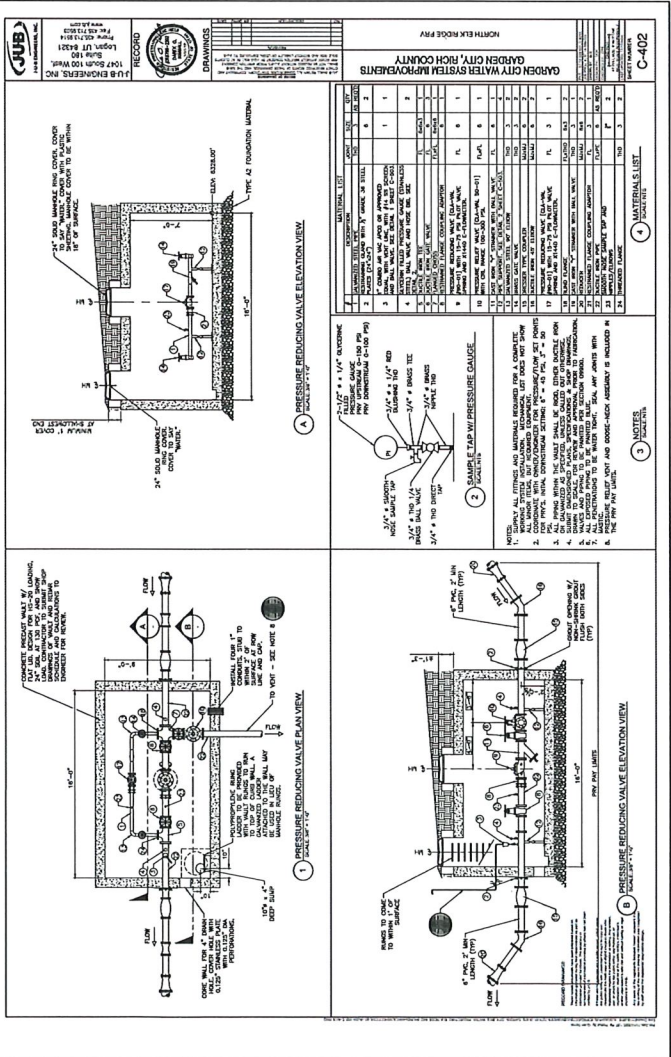
DATE: 29 JUNE 2023
SCALE: NTS
DESIGNED BY: W. HENDRICKSON
CHECKED BY: L. ANDERSON
APPROVED BY: L. ANDERSON
PROJECT NO.: 22048ELX
SHEET: C-5.1



11 FIRE HYDRANT ASSEMBLY
SCALE: NTS



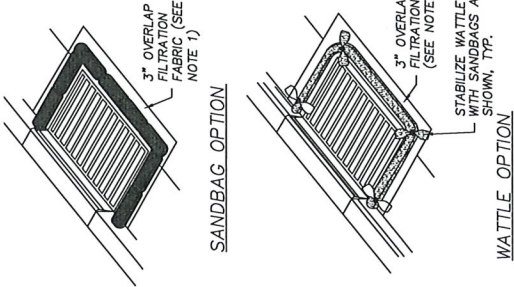
13 SILT FENCE
SCALE: NTS

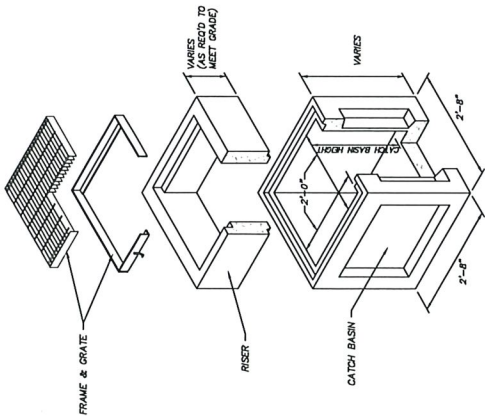


10 PRESSURE REDUCING VALVE (PRV)
SCALE: AS INDICATED

- INLET PROTECTION NOTES:**
1. REMOVE EXISTING GRATE AND OVERLAY WITH FILTRATION FABRIC.
 2. REPLACE GRATE WITH FABRIC SECURED.
 3. PLACE WATTLES OR SANDBAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLE/BAG.
 4. PLACE WATTLES OR SANDBAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
 5. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
 6. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF SANDBAG OR WATTLE HEIGHT.
 7. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE LANDSCAPE ARCHITECT.
 8. MAINTAIN TOP OF INLET AT 6" ABOVE GRADE FOR SEDIMENTATION AROUND BOX BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND PAVING.
 9. PROVIDE INLET PROTECTION FOR PROPOSED STORM DRAIN INLET BOXES IMMEDIATELY AFTER INSTALLATION. SEE STORM WATER PLAN.

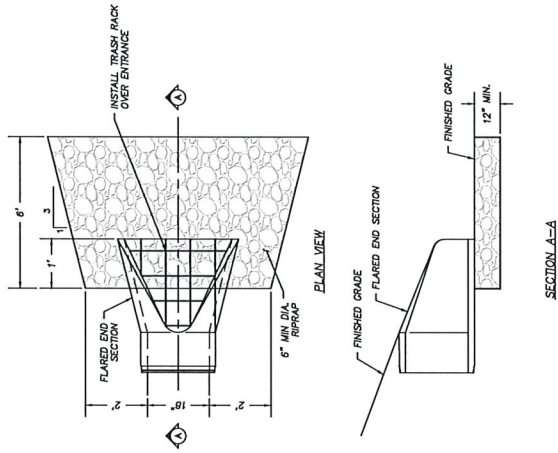
12 INLET PROTECTION OPTIONS
SCALE: NTS



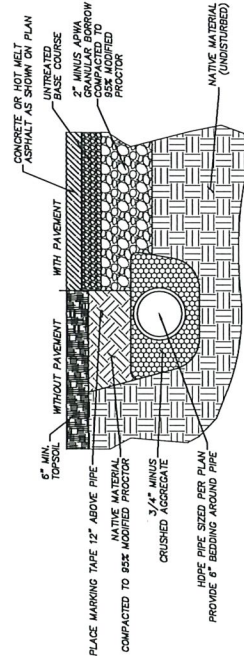


NOTE:
 1. CATCH BASIN SHALL MEET ASTM C666 WITH
 4. ASBESTO-NS-20 LAMINATE REINFORCING
 2. CATCH BASIN SHALL BE CAST IN PLACE
 IN PLACE OF 3,000 PSI CONCRETE.

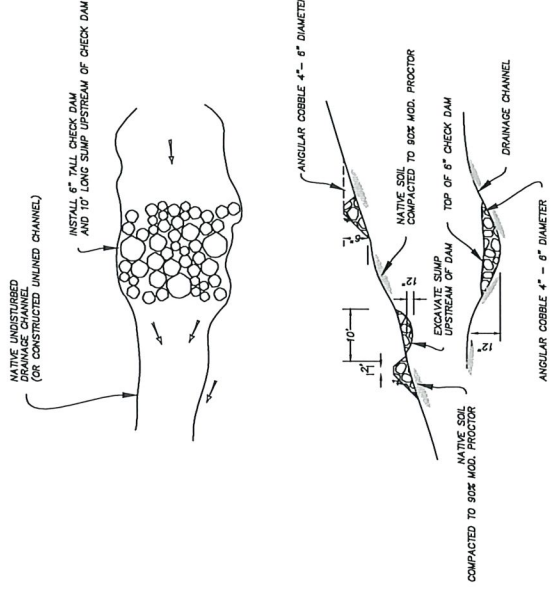
14 2' X 2' STORM DRAIN BOX
 SCALE: NTS



17 FLARED END SECTION
 SCALE: NTS



16 STORM DRAIN PIPE SECTION
 SCALE: NTS



18 ROCK CHECK DAM
 SCALE: NTS

NO.	DATE	DESCRIPTION

SHEET DESCRIPTION
CIVIL DETAILS
 CRYSTAL VIEW ESTATES
 GARDEN CITY, UTAH

CRYSTAL VIEW ESTATES
 GARDEN CITY, UTAH

CJ
 Creech - Landmark
 ENGINEERS
 1000 S. 1000 E.
 SUITE 100
 W. HENDRICKSON
 435.713.8000

DATE: 20 JUNE 2023
 SCALE: NTS
 DESIGN BY: NTS
 DRAWN BY: W. HENDRICKSON
 CHECKED BY: L. ANDERSON
 APPROVED BY: L. ANDERSON
 PROJECT NO.: 220402LX
 SHEET: C-5.3