

**MINUTES OF THE
WASATCH COUNTY
JSPA PLANNING COMMITTEE
FEBRUARY 27, 2024**

PRESENT: Chair Bill Redkey, Committee Member Peter Meuzelaar, Committee Member Ray
Whitchurch, Committee Member Craig Hahn, Committee Member Robert Holmes
EXCUSED: Committee Member Mark Hendricks
STAFF: Doug Smith, Wasatch County Planner; Austin Corry, Assistant Wasatch County Planner; Jon
Woodard, Assistant Wasatch County Attorney; Rick Tatton, Court Reporter *(via Zoom)*
PRAYER: Committee Member Ray Whitchurch
PLEDGE OF ALLEGIANCE: Led by Chair Bill Redkey and repeated by everyone.

ADMINISTRATIVE ISSUES

Austin Corry, Assistant Wasatch County Planner, addressed the JSPA Planning Committee and indicated that I thought that I would give you just a very high level update on changes that we made to land use authorities because of last year’s legislative session. There were some changes that we had to make by February 1, 2024 of this year. Because the JSPA Planning Committee, and I don’t know if you caught that title change but you are not a Planning Commission you are a Planning Committee, you are operating as a committee already anyway but we changed your title as part of that to make it clear that you are operating that way and not as a Planning Commission. Things that you are dealing with in the JSPA actually were already in compliance with the state code changes so it didn’t affect you. What got affected more is the other areas of the County. So there is a new land use committee for that area that deals with final approvals. The Council has been removed from preliminary approvals when they deal with single family developments only. The State Legislature does not allow us to use them as a land use authority and we had to make some revisions that way, just so that you are aware. Like I said, you have been operating as a land use authority already anyway, so it won’t affect much of what you are doing.

The other thing, the other large change that occurred throughout that, is that we actually got rid of our Board of Adjustment and we have moved to an appeals hearing officer. That was in an effort to try to help speed things up when appeals arise or variance procedures or things like that. It went out to RFP and then it is manager appointed with the Council’s consent. This is just a matter of information for you to be aware of.

Chair Bill Redkey then called the meeting to order at 3:00 p.m. on Tuesday, February 27, 2024. Chair Bill Redkey indicated that all the Committee Members are present, except Committee Member Mark Hendricks. Also the record should show that the JSPA Planning Committee is meeting at the Wasatch County Council Chambers in the Wasatch County Administration Building located at 25 North Main, Heber City, Utah 84032. Chair Bill Redkey then called the first agenda item.

APPROVAL OF THE MINUTES FROM THE NOVEMBER 9, 2023 MEETING

Motion

Chair Bill Redkey made a motion that we approve the minutes of the meeting held on November 9, 2023.

Committee Member Ray Whitchurch seconded the motion.

The motion carries with the following vote:

AYE: Chair Bill Redkey, Ray Whitchurch, Robert Holmes, Peter Meuzelaar, Craig Hahn
NAY: None

ELECTION OF NEW CHAIR AND VICE CHAIR

Committee Member Peter Meuzelaar made a motion to re-elect Committee Chair Bill Redkey as Chair and re-elect Committee Member Mark Hendricks as Vice Chair.

Committee Member Robert Holmes seconded the motion.

The motion carries with the following vote:

AYE: Chair Bill Redkey, Robert Holmes, Peter Meuzelaar, Craig Hahn, Ray Whitchurch

NAY: None.

ITEM 1 STETSON BLACKMORE, REPRESENTING SAGE HEN MAYFLOWER, LLC REQUESTS INTERPRETATION FROM THE JSPA PLANNING COMMITTEE RELATED TO THE JSPA DESIGN HANDBOOK COLOR PALETTE FOR A MONUMENT SIGN USING RED STONE AS OPPOSED TO THE BLONDE AND GRAY STONE USED IN THE INITIAL SITE PLAN APPLICATION FOR THE SAGE HEN DEVELOPMENT. (DEV-8718; AUSTIN CORRY)

Staff

Austin Corry, Assistant Wasatch County Planner, presented a Power Point presentation and then addressed the JSPA Planning Committee and indicated that the Sage Hen project was granted final approval on July 1, 2021 and has been under construction since shortly after that time. During the final approval, the applicant's statement regarding monument signage was that "entry signs and monumentation are not anticipated." In the summer of 2023, the applicant reached out regarding approval for a monument sign. The request was to use a Cherokee Red Stone from the American Stone Quarry east of Heber Valley floor (Lake Creek area).

The applicant is seeking an interpretation from the JSPA Planning Committee to whether the Cherokee Red Stone monument complies with the JSPA Design handbook, specifically Section 3.5 and 6.3 related to the color palette requirements. After this determination is made, the applicant will still need to submit the necessary material for review against the Design Handbook and receive an approval for the sign. The sign is in the center of the image and the blonde boulders used in the rest of the landscaping and for the pathways are visible in the foreground.

Austin Corry indicated that about a year ago we were contacted by the applicant asking about signs and what the requirements were. We did not feel comfortable approving the sign color that was asked for since it isn't specifically in the color palette. Last October we were called to do a bond release inspection for their landscaping and we noted that the sign had been installed. The matter before you today is simply just for an interpretation whether that Cherokee Red color fits within the requirements of the handbook.

Applicant

Committee Chair Bill Redkey indicated that he had a couple of questions for you before you get started. Were you involved in the discussions that led to the choice of the color of the rock? Stetson Blackmore replied, yes I was. Committee Chair Bill Redkey asked, were you aware of the discussions that led to the July 2023 email when there was an expression of concern from the Wasatch County Planner? Stetson Blackmore replied that he did receive those questions at the time and was still trying to figure out which stone I wanted. I didn't get back to him because I was in somewhat of a crunch and had my grand opening early in August and this was late July and I was trying to get the monument installed. My understanding was that I was supposed to choose from a local source. I did not know of the color palette. I clearly miscommunicated that with Austin Corry, the Planner, in not getting back to him about what took place with the stone monument. Committee Chair Bill Redkey asked if he agreed that it is important to get that permission with the monument sign before you proceed. Stetson Blackmore replied, that is correct. Committee Chair Bill Redkey indicated that the process involved here concerned me more than the aesthetics. I am sure it is not a question if it is better to ask for forgiveness rather than permission. If there is any variance with what the JSPA requires it could set a precedent and the next departure might not be as bad as this one but it would be difficult for us to just overlook this without cause.

Stetson Blackmore, the applicant, addressed the JSPA Planning Committee and indicated that he would like to apologize for the way that I went about this. I am new to this job and I just started and almost to the two year mark now and when I was doing it I

had only been doing it for a couple of months. I was just told to put in a sign and so I did that as I was instructed. That is all that I have got to say.

Committee Comments

Committee Chair Bill Redkey indicated that to myself it is very aesthetically pleasing.

Committee Member Pete Meuzelaar indicated that he doesn't think the color is that far from our color palette, but the color does seem a little foreign to the color palette of the project. Stetson Blackmore indicated that his goal was to find something locally sourced and this was the color that was used. The color should stay pretty much the same over time.

Committee Member Robert Holmes asked if this color palette is only applied to stones and sidings and the like. Austin Corry replied that the color palette is mentioned in other places as well.

Committee Member Ray Whitchurch indicated that with regard to the precedent set I would say that we need to be more careful as the signs come through. We need to make sure that we get a chance to look at these and head some of this stuff, but from the code standpoint I frankly can't see that there is a solid other than words that say blonde. I think it is okay and we are not really violating code. I am not worried about it. I am worried to make sure that we are consistent as we go through this process and use these as kind of the theme for the area. Clearly someone understood that the blonde color was important because it is ground up in your pathways. Personally I can live with the red color but we need to be careful and try to be consistent on what we do. The language is not articulate on purpose so there is latitude to work with.

Austin Corry indicated that a permit has not been issued on it. Process wise that obviously will still need to follow, but we needed an interpretation, not only the applicant but as staff, we needed an interpretation from you.

Stetson Blackmore replied that it had nothing to do with economics and I am pretty sure that I do have a permit for this and the permit was just for me to install the sign and it wasn't specifying the sign. Committee Chair Bill Redkey replied that the process was not honored to the letter but it is a fairly attractive sign and does not clearly offend the color palette.

Committee Member Craig Hahn indicated that red stone here is not my favorite and it doesn't fit the character of the area as you don't see it on site. I am wondering what this Committee would do if an applicant came in with a whole series of buildings with red stone on it, would we feel the same way versus a grey or blondes that we do see? I agree with some of the comments here that the blonde doesn't fit in the color palette either. I am personally a little on the bias side against the red stone here in this area and not a fan of it. It is a nice looking sign and the rest of it does meet the code as far as I am concerned and everybody here has made good points today. Would we feel the same way if the buildings had this red stone on them?

Committee Chair Bill Redkey indicated that if we made the caveat that this should not set a precedent for how the process is unfolding and does not serve as a precedent for siding or other landmarks or design and say that we interpreted it as conforming.

Committee Member Robert Holmes indicated that we are all saying that it looks fine but that is the question.

Committee Member Ray Whitchurch replied, when I read the code and its intent I think generally leaning to performance and I am not a big fan of the red but from the code standpoint as I read it I don't see that we get the opportunity really to say absolutely no, unless we say from now on absolutely not. I guess we could technically come in and say because you didn't follow the process you have to go through the process again and then we could say no.

Committee Member Craig Hahn replied that down the road we still have some projects that are coming in with some rather large buildings and if somebody comes in with three, four or five story building with red stone all the way up in certain components does that fit within the JSPA. What I would be afraid of is if we approve this using red stone for anything how can you say no down the road when we see a building that is four or five stories high with red stone on it and in my mind it wouldn't look very good for this particular site. I am worrying about just setting a precedent down the road.

Committee Chair Bill Redkey replied, how binding would it be if we said this is an exception and not establishing a precedent, would that be binding on us further down the road or would we really be in a bind with somebody saying that you did it for Sage Hen and you can do it for us? Jon Woodard, Assistant Wasatch County Attorney, indicated that it does have a precedential effect. I do think it does have an effect of showing that it is compliant with the color palette.

Committee Member Pete Meuzelaar replied that if you look at this building and it had all red stone on it, it would feel very out of place and if there was a way that we could make an exception.

Committee Member Ray Whitchurch asked, could we come in and essentially do this in the name of the code and then tighten up the code in the next meeting and just be more prescriptive on what that needs to be and that would essentially slip him under this one but from then on we would expect the blonde color? It wouldn't be retroactive and he would be granted but from then on, and I am just trying to be a little more fair in the sense of it's not really designated crystal clear what this needs to be, but if we think that is an important item then we can come in and just have a paragraph that we adopt into the code that clarified this so that we don't have to deal with this again.

Committee Member Robert Holmes indicated that it kind of bothers me that two of the examples here aren't even in the color palette, so I think you are right, I think we need to change that.

Doug Smith, the Wasatch County Planner, indicated that if that is the case, with your motion could you direct staff to do some type of language in our next meeting? Committee Member Ray Whitchurch indicated that whoever makes the motion I think that we can do that.

Committee Member Pete Meuzelaar indicated that there also could be some kind of language that states that maybe the sign should have a similar vernacular to the rest of the project. Most of these projects the sign usually takes some similar colors or materials that makes a connection. I like the sign, it looks nice.

Committee Chair Bill Redkey indicated that there are two questions and one is, Mr. Blackmore would like to have us say yes or no and for us as a follow up is to make it more equitable in processing the next one.

Public Comment

Committee Chair Bill Redkey then opened the meeting up for public comment and there was no public comment so the public comment period was closed.

Motion

Committee Member Ray Whitchurch made a motion that we move to permit this sign as demonstrated and as built and that we direct the staff to come in with a paragraph to amend the code to make it more consistent and more clear on what is expected for future applicants.

Committee Member Pete Meuzelaar seconded the motion.

Discussion on the motion:

Is that clear, Austin Corry? Austin Corry, so what I heard is that you are directing us to tighten the code and in that regard to make a statement that like a red sandstone is not allowed or are you wanting us to say a red sandstone is a part of the color palette?

Committee Member Ray Whitchurch indicated that the signage stones need to be blonde and in character.

Committee Member Craig Hahn indicated to be blonde or grey and to be honest with you for me I don't mind the contrast between a red sign and a grey stone on the building. I don't mind that contrast. As a matter of fact if it is done correctly I think it can look quite nice and like what you said that you wanted something that would stand out and I don't have any problem with that, but what I would have a problem with is just a building coming in with nothing but red stone on it. So for me it is the architecture of the amount of stone on the building that far outweighs what a fifty square foot sign is going to ever do.

Committee Member Ray Whitchurch indicated to say and the sign they should be consistent. We are not debating right now whether we have like red and blonde stone on a building right now. We are essentially saying let's get to a stone color in general between grey and light brown as shown in the pictures in the code right now.

Committee Member Robert Holmes indicated that maybe, Austin Corry, after this the signs should be from natural stone, COR-TEN or blackened steel, maybe somewhere after that if constructed of stone they need to be of tan or grey is what you are saying.

Committee Member Ray Whitchurch said, I am saying that and you may want to call around to some of the local quarries and give you the names of the stones that are trying to be emulated here. Austin Corry indicated that ultimately, it is going to end up in front of you for a recommendation to see if we hit the mark with the code language.

Committee Chair Bill Redkey, if I understand the motion right which is two parts. One is to green light this stone and another is to grant the staff to work with it. Jon Woodard replied that I want to make one clarification to make sure that the motion isn't an actual approval of the sign because my understanding is that they still need to apply for the sign but we are seeking interpretation of the design and materials handbook to see if this sign could be permitted, is that correct? Austin Corry indicated that we're just asking for an interpretation on the color. Jon Woodard, right this isn't actually the approval of the sign or denial of the sign and it is just the interpretation of the guide book.

Committee Member Ray Whitchurch indicated that we need no motion? Jon Woodard indicated that we do want a motion, but I think your motion was to actually approve the sign and we don't want that.

Committee Chair Bill Redkey indicated that we amend the motion to interpret the sign color to be in compliance and direct staff to add language to the code to make it clear what colors are expected from future applicants and come back with examples for our next meeting. Also that they felt that red stone is not appropriate for the JSPA. Signs and stone on building should be consistent.

Committee Member Craig Hahn and I are saying this is for stone in general. And as that motion is amended I would second it.

Committee Member Pete Meuzelaar indicated that should we say in there too that colors that appear to be outside of the color palette will be reviewed on a conditional basis and interpreted for the project? Austin Corry indicated that I can try to come up with a suggestion of some language that might work for that if you head down that route and that is the whole reason why this is in front of you as staff we have to follow as closely to the letter that we can and this one is here for your interpretation.

Committee Member Robert Holmes indicated that as it is now they can always ask for an interpretation and that is why we are here today so anyone can do that. Austin Corry replied that is right and we could probably make the language a little better about what you would expect and wouldn't have to have the interpretation regularly and for the most part you are seeing them during the site plan process. Most times people know what they are doing for monument signs and they are presenting it to you and part of that whole discussion. In this particular case the sign came after the approval.

Committee Chair Bill Redkey indicated that the motion as amended as it stands that gives you enough to go on and it is coming back to us. Austin Corry indicated that the sign color is in compliance and we will work on the codes to include natural colors with a potential for some deviation and more clarity. If it is deviated it is going to be specifically through the JSPA Planning Committee not as a staff level.

Committee Chair Bill Redkey asked for the vote:

AYE: Chair Bill Redkey, Ray Whitchurch, Peter Meuzelaar, Craig Hahn, Robert Holmes

NAY: None.

ITEM 2 PRESENTATION AND DISCUSSION REGARDING THE SKYRIDGE GOLF LODGE AND ASSOCIATED PARKING. THIS ITEM IS A WORK MEETING DISCUSSION ONLY AND WILL NOT REQUIRE ANY ACTION BY THE COMMITTEE. (DOUG SMITH)

Staff

Doug Smith, the Wasatch County Planner, presented a Power Point presentation and then addressed the JSPA Planning Committee and indicated that this item is for discussion and guidance only. The SkyRidge Development received approval for a golf course and clubhouse. SkyRidge has also received an amended master plan and preliminary plan on March 3, 2021. One of the amendments to the master plan and preliminary plan was to allow a golf lodge in the place of what was previously 18 townhomes. The amendments to the master plan and preliminary plan came to the JSPA Planning Committee and was unanimously approved by the County Council. The golf lodge cannot increase the 503 ERU maximum density that was granted for the entire development. The applicant has asked to come to the JSPA Planning Committee to get some guidance on issues before they submit

a formal application. None of what is being discussed in the meeting of February 27th has been reviewed by staff. Please keep comments general. No decisions or straw poles can be made during the meeting. The next step is for a formal application that will go through the DRC process and receive a DRC report before being placed on an agenda for the JSPA Planning Committee and County Council.

Allison Aafedt, representing SkyRidge, presented an extensive Power Point presentation and then addressed the JSPA Planning Committee and indicated that she would like some comments about the lodge if any and get some feedback that we can incorporate into our final site plan submittal. I also have Bill Koskovich and Rory Heggie, our architects, with me.

Planning Committee Comments

Committee Chair Bill Redkey asked about parking. Allison indicated that we have right now forty four spaces on the entrance. The parking study concluded that we need 141 spaces total and if necessary we have overflow parking.

Committee Member Ray Whitchurch indicated that he really likes the form of the building. Maybe we could do something that makes it feel like it is stepping back more. Maybe you could do with treatments on the building itself. When you look at this building it looks like there is two buildings. There is the lower grey part and then there is the woody top part of the building and it doesn't feel like it is as integrated with the bottom and the top because it feels like two separate buildings that have been put together. Generally, I like the building but that is a comment that struck me as an urban designer. They could bring some materials from the bottom into the top and some materials from the top to the bottom to make them feel more integrated. I will look to see how you address the comments and whether you have already done it.

Committee Member Pete Meuzelaar asked about what will keep a golf ball from hitting the lodge property. That looks pretty close. Rory Heggie indicated that it is kind of tight. The elevation will be helpful as well as the trees, etc. surrounding it should keep track of stray golf balls. Committee Member Pete Meuzelaar indicated we don't want nets, etc., put up to protect that. Also the form of the building is really nice and have a good meeting of the design guidelines. It seems like the clubhouse steps a little bit more and some language about stepping down along with this and this one does feel a little bit top heavy and has got a lot of flaring roofs and just something to consider. The top is wider than the base and it feels like it imposes itself on the site a little bit more rather than stepping down the site but it looks real nice and can see all the shadow lines and heavy base and it is a good looking building. Bill Koskovich indicated that with regard to stepping it gives the perception to people visiting the community because of where it sits. Committee Member Pete Meuzelaar indicated that it is positioned well and there are some views where the top layer is wider than the base and that is a little bit opposite of what we are trying to accomplish. Again it is a great looking building. I agree with what Committee Member Ray Whitchurch indicated. There are so many columns on the right side and just wonder if there is a way to break that up and they are going to block a lot of views because they are so massive so you will have certain shots that are great and ten columns in a row and just wonder if that could be broken up at one point with something that is a little higher like you have in the middle of the building.

Jack Johnson, from SkyRidge, indicated that he agrees with what you have said and we are not through with it also. Where the lodge is it sits there really nicely and far enough below SkyRidge Drive that it is almost the top of it is SkyRidge Drive. The roof we did a combination of flat and a couple of gables on there and some sheds and out of proportion from when we look up. It is not quite as top heavy as it looks. The roof when we look down from SkyRidge Drive will be quite attractive.

Committee Member Ray Whitchurch indicated that on top of the roof I hope not to be chuck full of like mechanical units. Rory Heggie indicated that all the mechanical stuff will be taken care of. Also understand that the view angles are coming from the top down. Things will be covered from views.

Committee Member Craig Hahn asked about the view from the spa. I agree with what Pete Meuzelaar has said that it is a nice looking building and I really like the floors above the podium on this backside. The podium seems a little heavy but maybe it is just the stone columns and that is just a landscape architect's opinion. Maybe the deck color would help with that. What is the difference between the pool sixteen and seventeen and then you have got the spa twenty-three and then you have the pool as point four, what is the distinction between that? Rory Heggie indicated that twenty-four and twenty-five is just differentiation pieces for the main hotel pool. Twenty-three would be the hot tub only and then sixteen and seventeen are portion for the spa. This will be used in the winter and will be covered and pool deck will be heated so it is clear of snow for the use of the pools year round.

Jack Johnson, from SkyRidge, addressed the JSPA Planning Committee that they wanted to have a work session so we didn't come in and say that we like this approved tonight and we do appreciate your feedback and we will certainly take the things mentioned into consideration.

ADJOURNMENT

Motion

Chair Bill Redkey made a motion to adjourn.

Committee Member Robert Holmes seconded the motion.

The motion carries with the following vote:

AYE: Chair Bill Redkey, Robert Holmes, Ray Whitchurch, Craig Hahn, Peter Meuzelaar.

NAY: None.

Meeting adjourned at 5:00 p.m.

BILL REDKEY/CHAIRMAN

DRAFT

COUNTY MANAGER

Dustin A. Grabau

COUNTY PLANNERS

Doug G. Smith, Director
Austin Corry, Assistant Director
Anders Bake, Planner



COUNTY COUNCIL

Kendall Crittenden
Steve Farrell
Karl McMillan
Mark Nelson
Spencer Park
Erik Rowland
Luke Searle

MEMORANDUM

To: Wasatch County JSPA Planning Committee
From: Doug Smith
Date: 27 June 2024
Re: Item #1 – Pegasus 8A plat recordation extension

Committee Members:

SkyRidge Pegasus 8A is requesting an extension of the requirement to record a plat within 1 year of the final approval. Pegasus 8A was granted final approval on April 20, 2023. This extension would require that the plat be recorded by July 19th, 2024. The mylar is currently being circulated for County internal signatures and it is anticipated that it will be recorded before July 19th. The proposal is 45 ERU's on approximately 30.67 acres. Please see the below letter from the applicant requesting the extension.

Per Wasatch County Code 16.01.16:

- F. Final Development Approvals: Except as provided in Subsection G of this Section, final approval of development shall expire if the plat is not recorded within one year from the date of receipt of final approval by the planning commission.*
- G. Upon written request of an applicant, the expiration date of an application or its approval, as the case may be, may be extended for ninety (90) days beyond the expiration date provided that:*
 - 1. an application for an extension of time is submitted prior to the expiration date; and*
 - 2. the Planning Commission or its designee finds, based on substantial evidence placed in the record:*
 - a. Substantial progress is being made toward obtaining approval of the application, or the exercise of development rights authorized by an approved application, as the case may be;*
 - b. In the case of an unapproved application, no changes to this Title have occurred or are being considered that may affect the application; and*
 - c. In the case of an approved application, any conditions of approval are still viable based on currently applicable requirements of the Wasatch County Code.*
 - 3. In no case shall the time period be extended for more than twelve (12) months from the original expiration.*

90-Day Extension Request for Recording Pegasus Plat 8A

Pegasus Development Company is requesting a 90-Day extension to record Pegasus Plat 8A.

To whom it may concern:

I am writing to formally request a 90-day extension for the Pegasus 8A Subdivision Plat recordation. The purpose of this extension is due to the construction complexities with the overall Pegasus Subdivision we need to build 8A and 8B concurrently.

Currently, phase 8B is in the DRC process and we are preparing to resubmit. A key component of the 8B submittal is the master water plan and water to service 8B. We have achieved significant progress in the past few months with our discussions with the JSSD regarding access to their East Park water tank. We are in the final stages of negotiations for an easement with the property owner.

Should we encounter more delays in securing access to the JSSD East Park tank, we are prepared to implement Option B, which involves establishing a water supply from the Parkway. Although this alternative is viable, integrating the original plan with JSSD would be preferable for the project area.

We have been actively engaged in discussions and meetings to finalize these details. Once completed we will bring the Mylar to the Planning Department. We are requesting additional time as we finalize our details.

We kindly request a 90-day extension from the original deadline, which was set for April 20th, 2024, to be recorded. This would set the new deadline to Friday, July 19th, 2024.

Thank you for your understanding and consideration in this matter.

Sincerely,

Allison Aafedt

Project Manager

1960 Sidewinder Drive; Suite 205

Park City, UT 84060

O: (435) 214-7410 | M: (303) 909-4026



Item 2 – Allison Aafedt, representing Pegasus Development Company, requests Final Subdivision Approval for SkyRidge Pegasus Phase 8B a residential phase consisting of 46 ERUs on approximately 51.76 acres of the overall SkyRidge Master Development located in Sections 7 and 12, Township 2 South, Ranges 4 and 5 East in the Jordanelle Specially Planned Area (JSPA). (DEV-7067; Doug Smith)

Project: DEV-7067 | SkyRidge Pegasus 8B
Meeting Date: 27 June 2024
Report Date: 18 June 2024
Report Author: Doug Smith
Council Action Required: No
Type of Action: Administrative
Applicant: Allison Aefedt, Pegasus Development

Address: Sections 7 and 12, Township 2 South, Ranges 4 and 5 East.
Acreage: 51.76 acres 31.6% OS (16.34 acres)
Proposed Density: 46 single family lots
Zoning Designation: JSPA
Related Applications: Master Plan (2016), Amended master plan (2021), Overall preliminary

DETERMINATION ISSUE

Whether to grant final approval to the Pegasus phase 8B plat.

RECOMMENDATION

Based on the analysis in this staff report, it appears that the proposal can be compliant with applicable laws subject to the conditions stated in the staff and DRC reports.

BACKGROUND

The SkyRidge Development is located on the northwest shore of the Jordanelle Reservoir, on the east side of US Highway 40 between the Jordanelle Parkway and highway 40. The development was granted master plan and density determination in early 2017, and overall preliminary in 2018. An application for an amended master plan and preliminary was granted on March 3, 2021, that included placeholders for a golf course clubhouse, a lodge, welcome center and workforce housing.

SkyRidge has been instrumental in adopting and supporting the design handbook and has provided the common elements (streetlights, street signs, logo and architecture) anticipated within their project.

Pegasus phase 8B is the farthest north phase within the SkyRidge development. The phase is adjacent and south of the large block of open space. The open space includes 7.4 miles of back country hiking and biking trails that are open to the public. The Pegasus phase has been broken into several sub phases with the 8A and B phases taking longer due to a water line location that needed to be resolved in order for the phase to have the proper water pressure. The water line issue has been resolved to the satisfaction of the JSSD who has now signed off on the proposal.

Phase 8B is accessed by two roads that tie into SkyRidge Drive through phase 8A. The Pegasus portion of the development will have one more phase which contains 8 lots in a small cul-de-sac.

The lots in phase 8B range in size from 1/3 acre to up to 5 acres and are considered the large lots in the development.

STAFF ANALYSIS

– *LAND USE AND DENSITY* – The proposal complies with the density and layout of the amended master plan and overall preliminary. The density for the site is defined as the “target density” as listed in the JSPA code. The “target density” for the entire development is 503 ERU’s which is the maximum density allowed by code. This phase is a total of 46 single family detached lots. Unit numbers are being tracked by phase so that the development does not exceed the maximum allowed.

– *SETBACKS* – All lots greater than 1 acre are required to have a 30’ front setback as per the typical setback exhibit on the first page of the plat. Lots less than 1 acre must have a minimum of 20 feet from the front of the home to the back of curb as per the exhibit on the first page of the plat. Side setbacks are 10’ and rear is 20’.

– *MODERATE INCOME HOUSING* – This development entered into a moderate-income housing agreement with the County which was amended in 2020 and recorded as entry number 475199. This agreement addresses the moderate-income housing requirements for SkyRidge and the Marina East developments, for which moderate income housing is intended to be built as part of the Mayflower Marina west development. The Mayflower west development is now owned by Extell and is under MIDA land use control. This property is more widely known as the property with the tailing’s piles. It is the intent of Extell and MIDA to comply with the agreement and build required affordable housing.

– *ENVIRONMENTAL CONSTRAINTS ANALYSIS* – There are steep slopes on the site including slopes over 30% within the building envelopes. The applicant has relied on an old portion of the code in place at the time the proposal received master plan and preliminary approvals. The old code had a definition and formula for calculating average slope. According to the calculations run by the developer the building envelopes in the phase, although close to 30%, are less than 30% average slope which is in compliance with the vested code for average slope.

– *BUILDING ENVELOPES* – The plat has building envelopes that do not include the steeper portions of the lots. Many of the previous phases of SkyRidge have had homes that fill the majority, if not all, of the building envelope. We anticipate the same with this phase. The more irregular building envelopes have bearings listed as well so the exact setback can be determined if needed.

-*GEOTECHNICAL REVIEW*- As required by code a soils report has been provided by IGES dated May 31, 2022, for lots with slopes between 25-30%. The soils report recommends approval of the proposal. This soils report has also been reviewed by the County review geologist who has recommended approval. The requirements/conditions of the soils report must be followed. A condition of approval is for a note to be placed on the plat regarding the soils report.

– *OPEN SPACE* – The phase contains 31.6% open space which equates to 16.34 acres. The overall development has 385 acres of open space.

– *SEWER & WATER* – All phases in SkyRidge have sewer and water provided by the JSSD (Jordanelle Special Service District).

– *BUILDING HEIGHTS* – Building heights are limited to 35' from Natural grade.

– *ROADS AND ACCESS* – Phase 8B has two access points off SkyRidge Drive which connects to the Jordanelle Parkway at two locations. The development of Pegasus 8A and 8B leaves a small 8-lot cul-de-sac as the only portion of Pegasus that is yet to be developed. This small cul-de-sac provides access to the Jordanelle View property. When this final phase of Pegasus is developed the access will need to be coordinated with the Jordanelle View property and completed and stubbed to the property line.

-*ARCHITECTURE*- The applicant is intending to sell finished lots to a number of builders. All aspects of the JSPA code and Design Handbook must be met with the architecture and common elements. All proposed units are required to go through the SkyRidge architectural committee as well as receive sign off by the County.

– *TRAILS* – There are trails within the interior portions of the platted lots. These trails, according to the legend, are asphalt trails maintained by the HOA. These trails are in lieu of sidewalks. The trails have been approved by the County trail planner and are required to be built as proposed.

-*COMMON AREA AMENITIES*- The JSPA anticipates common area elements (kiosks, street furniture, streetlights, signage etc.) that are similar throughout the JSPA regardless of project boundaries. A design Handbook for the JSPA has been adopted and all common elements must conform to all requirements of that handbook including the required logo. Streetlights shall be in accordance with the handbook as well as street signs which must also incorporate the logo. There is also a requirement for mailboxes to be built as per the design handbook.

-*RETAINING WALLS*- The code (16.27.20) states that the use of excessive retaining walls is not allowed. The code requires any walls greater than 30' in cumulative height and/or longer than 800' in length to receive approval from the County Council after a recommendation from the planning commission. There are a number of significant stacked retaining walls that are proposed in the development. Walls are proposed to be a mixture of boulders and verti-block. According to the drawings there is one set of retaining walls with a cumulative height of 36' and another set with a cumulative height of 30'. The code encourages the use of natural materials and not verti-block but the council can approve options outside of using strictly natural materials.

DRAINAGE SWALE- The physical constraints drawing shows a drainage swale that runs through the property. The swale runs in a straight line and I assume is man made. This swale appears to be outside of any building envelopes on the individual lots. Any homes built will need to be out of the drainage swale and lot owners will not be able to manipulate

the drainage swale. 16.27.25(F) states that “the project will not consist of any habitable structure within any stream or drainage corridor setbacks, areas of springs or seeps, or surface water areas”.

-SHARED DRIVEWAY – The plat shows a 30’ shared driveway for lots 312 and 313. This is being built by the developer and will need to comply with required grades and applicable clear view standards where the driveway meets the road.

-BONDING- All unfinished improvements must be bonded for in compliance with county bonding policies prior to plat recording.

DEVELOPMENT REVIEW COMMITTEE

This proposal has been reviewed by the various members of the Development Review Committee (DRC) for compliance with the respective guidelines, policies, standards, and codes. A report of this review has been attached as an exhibit. The Committee has accepted the item for Planning Commission to render a decision. The engineering department has a number of conditions of approval (COA) that are required to be complied with.

RECOMMENDED MOTION

Move to grant approval for item 2 consistent with the findings and subject to the conditions presented in the staff report.

– FINDINGS –

1. The subject property is 51.76 acres per the applicant survey.
2. The proposal contains 46 single family lots.
3. The density and layout being proposed is consistent with the density and layout proposed in the amended master plan and preliminary plan approvals.
4. The proposed subdivision is in the Jordanelle Specially Planned Area (JSPA).
5. The proposed development complies with the product types required by code and approved during the Master Plan approval.
6. The Development Review Committee has reviewed the project and recommends approval.
7. As required by code a soils report has been provided by IGES dated May 31, 2022, for lots with slopes between 25-30% which recommends approval of the proposal.

– CONDITIONS –

1. All comments included in the DRC report shall be resolved to the satisfaction of the applicable review department.
2. The proposed retaining walls will need to be approved by the County Council after a recommendation by the planning commission.
3. A note should be added on the plat stating that the recommendations of the soils report dated May 31, 2022, by IGES shall be followed.

POSSIBLE ACTIONS

The following is a list of possible motions the Planning Commission can take. If the action taken is inconsistent with the recommended findings listed in the staff report, the Planning Commission should state new findings.

1. Approval. This action may be taken if the Planning Commission finds that the Preliminary Plan request is compliant as proposed with Wasatch County Code and all other applicable laws.
2. Approval with Conditions. This action can be taken if the Planning Commission feels comfortable that remaining issues can be resolved with the conditions listed. **This action would be consistent with the staff analysis.**
3. Continue. This action can be taken if the Planning Commission needs additional information before rendering a decision, if there are issues that have not been resolved, or if the application is not complete.
4. Denial. This action can only be taken if the Planning Commission finds that the proposal does not meet the ordinance or that the application is insufficient to comply with applicable law.

EXHIBITS

Exhibit A – Vicinity Plan.....	6
Exhibit B – Proposed Subdivision Plat.....	8
Exhibit C – Constraints Analysis.....	11
Exhibit D – Trail Plan.....	12
Exhibit E – SkyRidge ERU table & 8B summary.....	13
Exhibit F – Retining wall exhibit.....	14
Exhibit G – DRC Report.....	16
Exhibit H – Street Sign/Light renderings.....	19

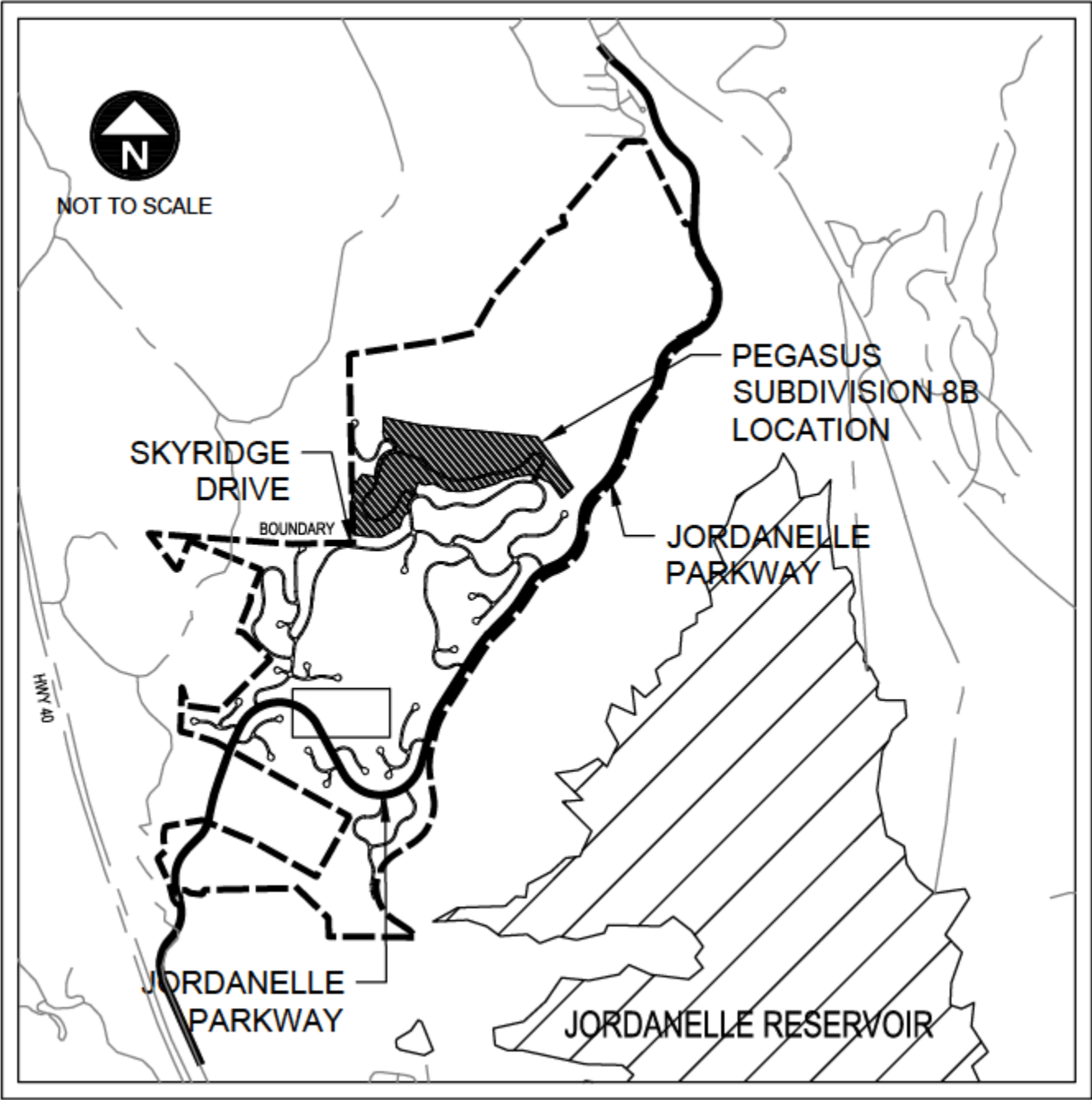
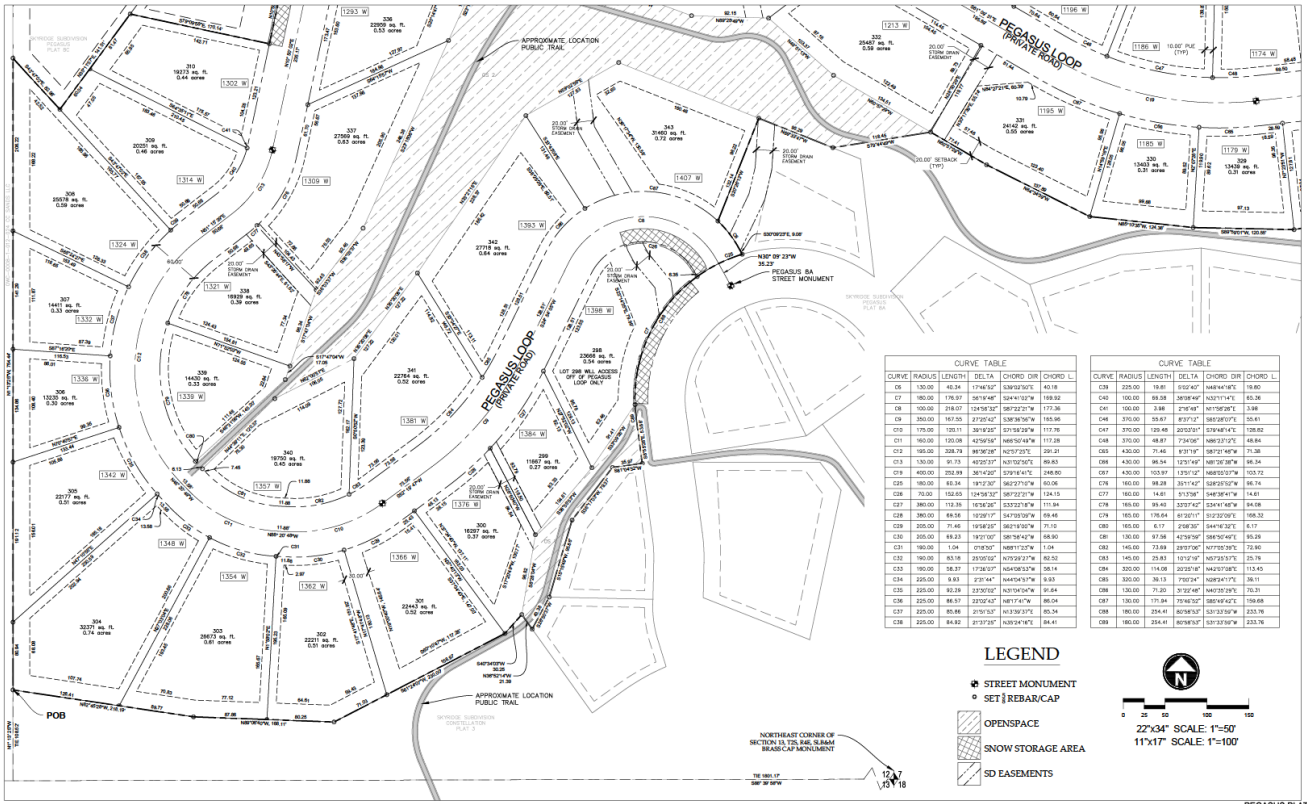


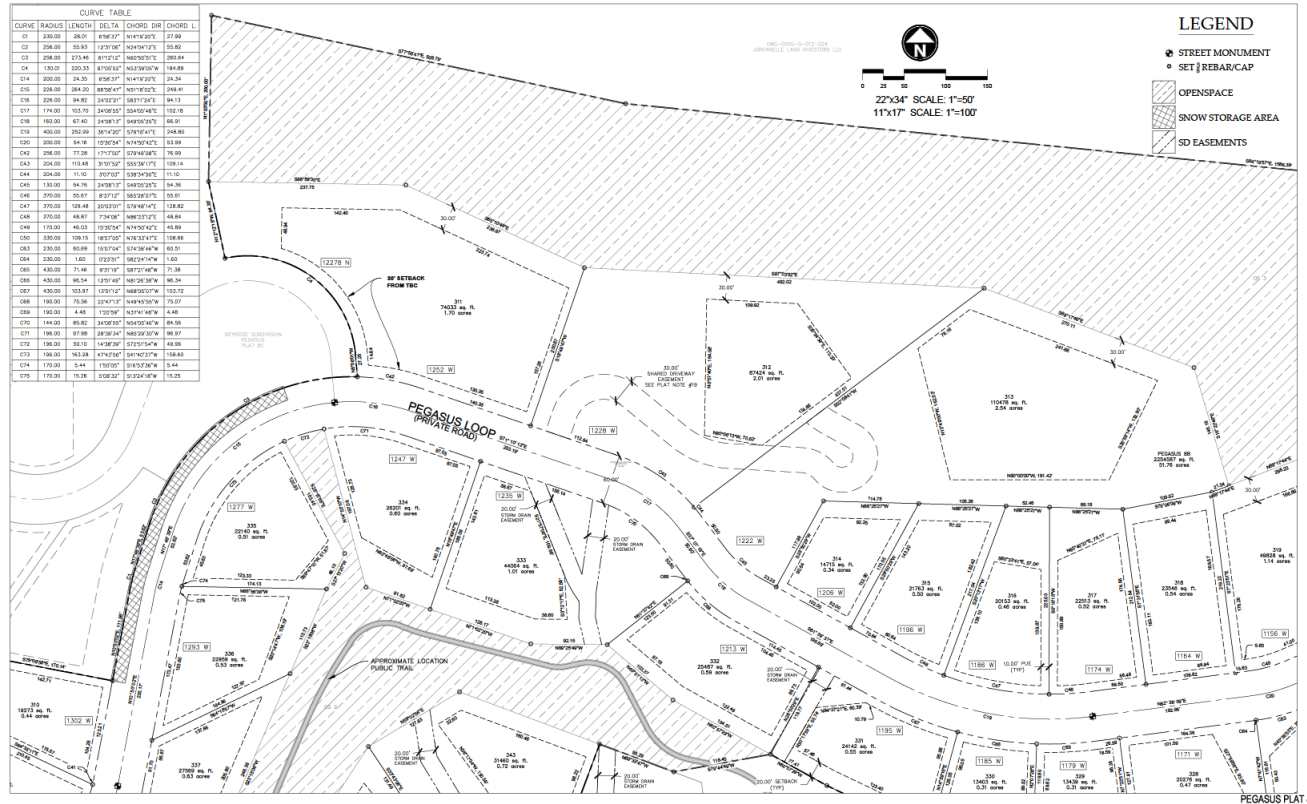


Exhibit B – Proposed Subdivision Plat





PEGASUS PLAT 88
SHEET 2 OF 4



PEGASUS PLAT 88
SHEET 3 OF 4

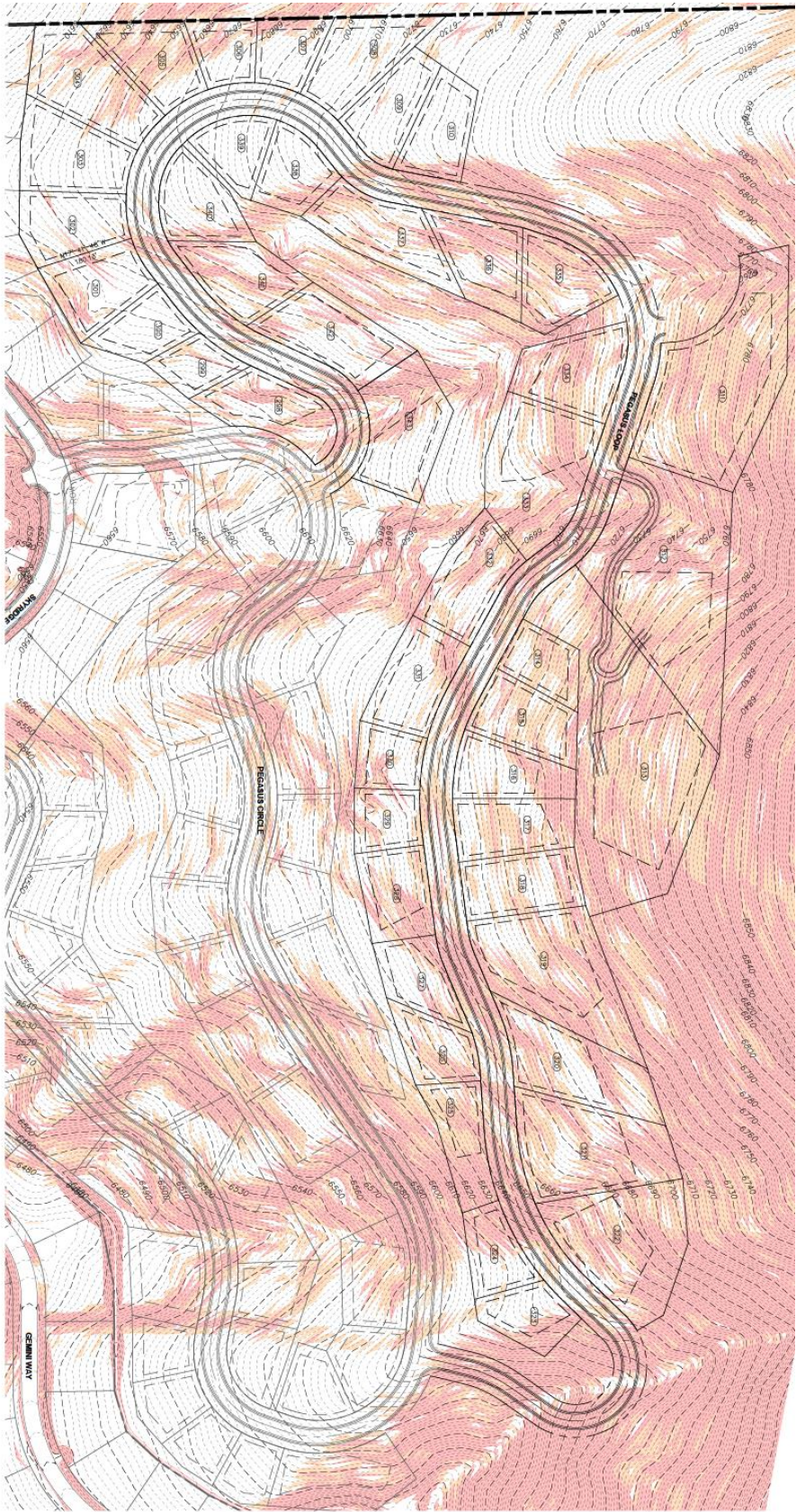
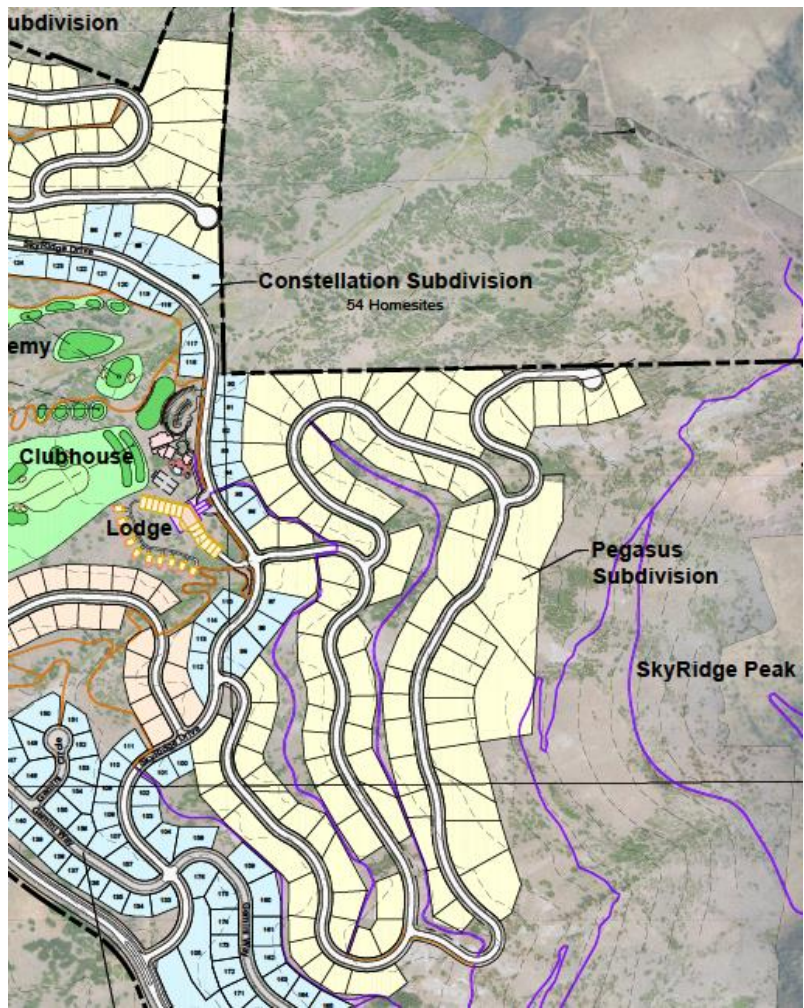


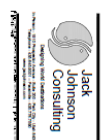
Exhibit D – Trail Plan



MILES	TRAIL LEGEND	
3.8	10' HARD TRAILS CDs APPROVED AND/OR CONSTRUCTED	
2.8	HARD TRAILS CDs APPROVED AND/OR CONSTRUCTED	
5.8	SINGLE TRACK CDs APPROVED AND/OR CONSTRUCTED	
1.4	PROPOSED SINGLE TRACK	
1.3	PROPOSE HARD SURFACE TRAILS	
	EXISTING JORDANELLE PARK SINGLE TRACK	
1.9	EQUESTRIAN TRAILS	
1.6	Proposed 10.0' GOLF CART TRAIL	

SKYRIDGE - ERU DISTRIBUTION		
SUBDIVISION #	NAME	LOTS/ERU's
1	Orion	39
2	Ursa	43
3	Constellation	54
4	Gemini	44
5	Leo	13
9	Centaur	16
6	Aries	25
7	Capricorn	18
Recorded Lots		252
8A	Pegasus	45
8B	Pegasus	46
8C/8D	Pegasus	9
10	Subdivision 10	19
2023 Lots to Process		119
11/12/13	Future Subdivisions	100
-	Ranch Lots	2
Total Future Lots to Process		102
Lodge	Golf Lodge	30
Total SkyRidge Approved ERU's		503

SUBDIVISION PLAT 8B SUMMARY TABULATION	
TOTAL ACREAGE	51.76 ACRES
TOTAL ERU's/LOTS/HOUSING UNITS	46 ERU's
PARKING MINIMUM	2 PER UNIT
OPEN SPACE ACREAGE	16.34 ACRES (31.6%)
ROADS & LOTS TOTAL ACREAGE	35.42 ACRES (68.4%)







**Wasatch County
DESIGN REVIEW
COMMITTEE (DRC)
COMMENTS**

PROJECT ID: DEV-7067
PROJECT NAME: FINAL SUB - SKYRIDGE PEGASUS
SUBDIVISION PLAT 8B
VESTING DATE: 9/20/2022
REVIEW CYCLE #: 5

REVIEW CYCLE STATUS: READY FOR DECISION

Project comments have been collected from reviewers for the above noted review cycle and compiled for your reference below. Please review the comments and provide revised plans/documents if necessary. **Resubmittals must include a plan review response letter** outlining where requested changes and corrections can be found. Failure to provide such a letter will result in the project being returned to you.

When uploading revisions please name your documents exactly the same as it was previously uploaded. Revision numbers and dates are automatically tracked. There is no need to re-upload documents that aren't being changed. DO NOT DELETE documents and then upload new ones.

Once you have addressed all of your items and successfully uploaded your revisions, be sure to re-submit your project for review. Resubmittal must be made through the portal in order to receive official review. Projects requiring Planning Commission approvals or recommendations will not be placed on a planning commission agenda until all DRC reviewers have recommended the item to move forward.

Entity	Decision
County Surveyor	Ready for Decision
Public Works Department	Ready for Decision
Building Department	Ready for Decision
Weed Department	Ready for Decision
Fire SSD	Ready for Decision
Health Department	Ready for Decision
Manager's office	Ready for Decision
MAG Regional Trail Planner	Ready for Decision
Sheriff's Office	Ready for Decision
Environmental Quality	Ready for Decision
Jordanelle SSD	Ready for Decision
GIS Department	Ready for Decision
Planning Department	Ready for Decision
Engineering Department	Ready for Decision
DRC - SSA 1 Water	Ready for Decision
Assessor's Office	No Action Taken
Housing Authority	No Action Taken
Recorder's Office	No Action Taken

Ready for Decision = Reviewing entity recommends the project move forward to a Planning Commission meeting (if applicable). Any open comments are considered conditions of the entities recommendation.

Changes Required = Reviewing entity has identified an issue(s) that needs to be resolved before recommending the project move forward.

No Action = Reviewing entity has not taken any action for the review cycle.

OVERALL PROJECT COMMENTS

DRC Project Comments		
Comment ID	Entity	Comment
C-PLN-App-7	PLN - County Planning Approval	Please provide retaining wall details showing heights, materials, setbacks etc for the exhibit for the planning commission and County Council.
DRC-ENG22	ENG - Engineering	Condition of Approval: Prior to issuance of a subdivision construction permit, the applicant must submit a retaining wall design report approved by the County's contracted geotechnical review engineer.
DRC-JSSD1	DRC - Jordanelle SSD	The water system layout and PRV locations in this area are different from the originally accepted Todd Morril water system master plan for this area. The proposed system is also different from the schematics presented in 2021 to JSSD (which were never approved). Before JSSD approval of this plat, the developer must update his overall Sky Ridge Water System Master Plan Schematics to reflect all installed infrastructure and all proposed infrastructure based on the current overall plan. The plan update must also include the interconnection to the Upper East Park Tank. The updated plan must be submitted to the District prior to, or in conjunction with, a resubmittal of this plan for final approval.
DRC-JSSD2	DRC - Jordanelle SSD	Continued design and review of construction plans is necessary with JSSD District Engineer.
DRC-JSSD3	DRC - Jordanelle SSD	This phase needs connection to a higher pressure zone from the JSSD water system. Developer must provide a plan for this connection prior to JSSD review of the project.
DRC-JSSD4	DRC - Jordanelle SSD	Facilities are currently in planning stage to provide water service to the subdivision. Until the facilities are constructed and approved, plat approval and signature will not be provided.

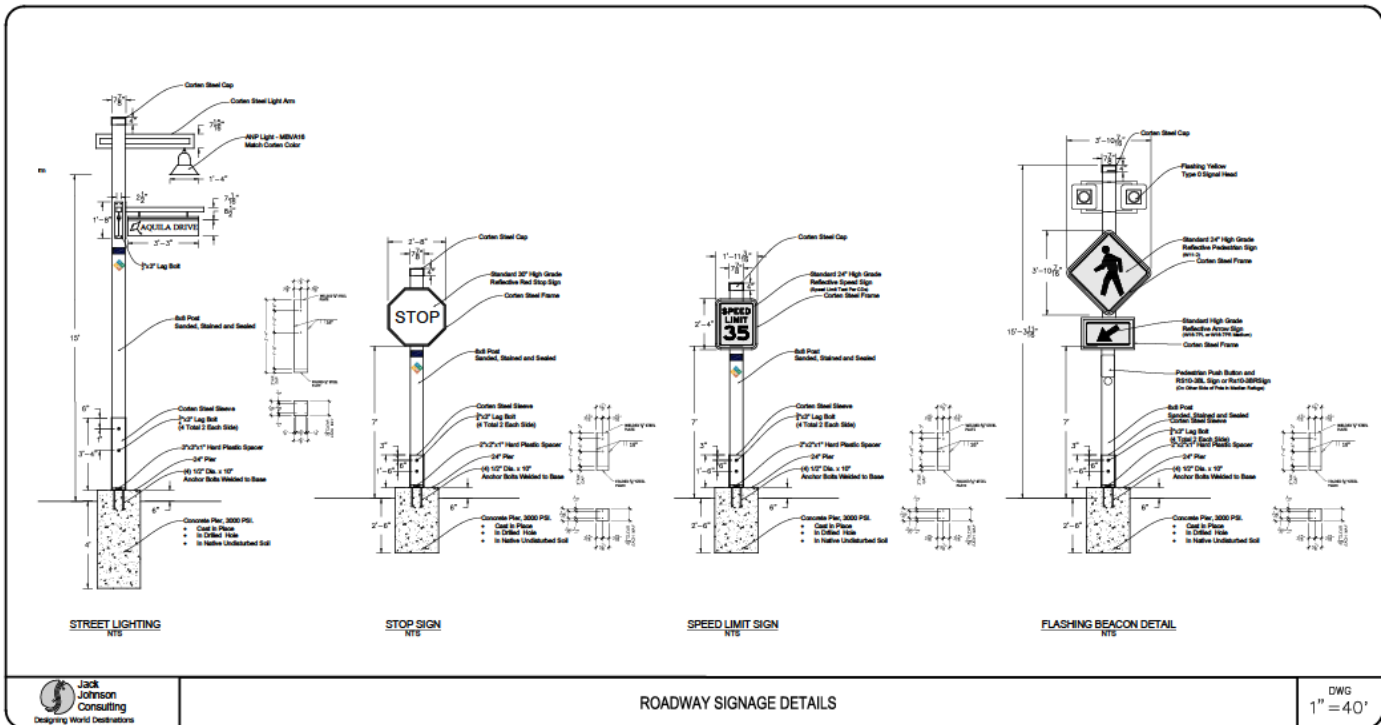
PROJECT DOCUMENT SHEET COMMENTS BY REVIEWING ENTITY

DRC - Engineering Dept		
Comment ID	Sheet Name	Comment
DRC-ENG18	02c - Plat DWG	The stormwater utilities are shown as above or below the roadway on some of the utility sheets. These utility drawings look like they have been pulled from a modeling software. If the elevations are changed in the drawing, make sure they are changed in the model too. Rerun any routing calculations to make sure it all still works..
DRC-ENG24	02a - Plat	Condition of Approval: Prior to plat recordation, the detention pond must be specifically marked on the plat.
DRC-ENG25	10 - Street Plan	Condition of Approval:

		On the final construction plan set, callouts or points must identify the bottom of wall and top of wall elevations at the appropriate locations and in the proper intervals.
DRC-ENG22		Condition of Approval: Prior to issuance of a subdivision construction permit, the applicant must submit a retaining wall design report approved by the County's contracted geotechnical review engineer.

DRC - Surveyor Office		
Comment ID	Sheet Name	Comment
DRC-SUR1	02a - Plat	This is a preliminary plat. We are sending he project forward. We reserve the right to review the signed mylar.

Exhibit H – Street Sign/light renderings





Item 3 – SkyRidge Golf Academy Final Site Plan

Project: DEV-9397 | SkyRidge Golf Academy
Meeting Date: 27 June 2024
Report Date: 20 June 2024
Report Author: Anders Bake, Planner
Council Action Required: No
Type of Action: Administrative
Applicant: Tyler Aldous

Address: 1441 W. SkyRidge Drive
Acreage: 2.72 acres
Zoning Designation: M/JSPA
Related Applications: Master Plan (2016, amended 2021), Overall Preliminary (2018, amended 2021), Final Site Plan (April 2023, amended Nov. 2023)

DETERMINATION ISSUE

Whether or not the application meets the applicable laws governing the use and development of land in Wasatch County for a proposed Final Site Plan in the Jordanelle Specially Planned Area. This determination is an administrative decision to be made by the Wasatch County JSPA Planning Committee.

RECOMMENDATION

Based on the analysis in this staff report, it appears that the proposal can be compliant with applicable laws subject to revisions that are not anticipated to constitute a materially substantive change. Therefore, it is recommended that the JSPA Planning Committee move to Approve the application with Conditions consistent with the findings and conditions presented in the staff report.

BACKGROUND

The Golf Academy development was included in the SkyRidge project's 2017 Master Plan approval, 2018 overall Preliminary Plan approval, and 2021 amended Master Plan approval. Site Plan approval was given for the Golf Academy development in April 2023. This development includes a driving range, pro-shop building, HOA clubhouse building, pool deck, and parking. The applicant received approval for an amended site plan application in November 2023 to make changes to the site which included the replacement of a parking structure with surface parking and new architecture plans for the two buildings.

Since then, the applicant has received building permits for different portions of the Golf Academy development. They recently applied for a revised building permit with several changes from the Site Plan approved in April 2023. These changes involve the HOA building and Pool Deck. Planning staff determined that the changes were too great for staff to approve administratively. These changes can only be approved by the JSPA Planning Commission through a Site Plan application.

STAFF ANALYSIS

– CHANGES TO THE APPROVED SITE PLAN –

Building interior – The proposed plan includes some changes to the first and second floors of the HOA building on the Golf Academy site. On the first floor, the Fitness Room is being changed to an HOA lounge which includes the removal of some interior walls. The Pool Equipment Room has been reduced in size which also reduces the size of the building and building footprint on the West side of the building. On the second floor, the Lounge and Reading Room are being relabeled as a Fitness Room and Yoga Room with the addition of an interior wall. There are also minor changes to the elevator which affect the first and second floors. See exhibit D for a comparison of the approved floor plan and the proposed plans.

Building Exterior – The proposed plan includes several changes to the exterior of the building. The most substantial changes include a reduction in height to the second floor and a reduction in the roof overhangs above the deck areas. It appears that the chimney has been replaced with three roof penetrations. The building materials remain mostly the same between the approved plans and the proposed changes. See exhibit E for a comparison of the approved building elevation plans and the proposed plans.

Pool Deck – The proposed plan includes changes to the pool deck which includes a reduction in the pool deck size by about 2,500 square feet around the Northwest portion of the deck. The proposed change also removes the Kids Pool and alters the shape of the Main Pool. Stairs connecting the pool deck to the West portion of the site are replaced with a ramp. See exhibit F for a comparison of the approved pool deck and the proposed plans.

Landscaping – The proposed changes will require an updated landscaping plan for the area that was occupied by the pool deck between the end of the proposed pool deck and the parking lot. The applicant is proposing to fill this area with trees and shrubs. See exhibit G for the proposed landscaping plan.

– JORDANELLE RECREATION AREA HANDBOOK REQUIREMENTS –

The proposed changes to the building and site shall comply with the Jordanelle Recreation Area (JRA) Handbook. The overall exterior design remains similar to what was previously approved. The building exterior continues to comply with the JRA Handbook requirements for color, building materials, and foundation coverings.

The JRA Handbook states that roof penetrations must be ganged together using as few stacks as possible and surrounded with an artificial chimney enclosure. The existing site plan shows one chimney which complies with this JRA Handbook requirement. The proposed roof plan removes this chimney and appears to label three new roof penetrations.

The updated landscaping plan for the area that is currently occupied by a portion of the pool deck fills this area with a variety of trees and shrubs which complies with the landscaping requirements found in the JRA Handbook. The proposed changes will not impact the hardscape, signage, trail and other requirements found in the JRA Handbook.

DEVELOPMENT REVIEW COMMITTEE

The Planning Department determined that the nature of this request will not necessitate a full Site Plan review from the Development Review Committee (DRC) since the proposed changes will only impact Planning Code requirements. However, the engineering department was consulted due to the change in the pool deck size which may impact stormwater on the site. A proposed condition of approval is that any impacts to stormwater must be addressed and approved by the engineering department. At the time of this staff report, the planning department has requested an updated Landscaping Plan and roof penetration from the applicant as a condition of approval. There are no other unresolved code issues identified in the application's staff review.

RECOMMENDED MOTION

Move to Approve with Conditions consistent with the findings and conditions presented in the staff report.

Findings:

1. The plat for the clubhouse parcel is recorded.
2. The proposal is consistent with the approved master plan and preliminary approvals.
3. An amended Site Plan was approved by the JSPA Planning Committee on 9 November 2023.
4. After site plan approval was granted by the JSPA planning committee an application for a building permit was submitted.
5. Staff noticed that the plans for the clubhouse and pool deck were substantially different than the site plan approved by the JSPA planning committee.
6. The building changes include moving a Fitness Room from the first floor to the second floor and moving a HOA lounge from the second floor to the first floor. A pool equipment room is also being reduced in size which reduces the total size of the building. The proposal includes several changes to the exterior of the building which primarily include a reduction in the height of the second floor and a reduction in roof overhangs. The pool deck is being reduced in size which includes the removal of a kid's pool.
7. Architecture and materials are still in compliance with JSPA requirements except for the proposal to replace one chimney structure with multiple roof penetrations.
8. More information is needed to show that the area previously occupied by the pool deck will meet JSPA landscaping requirements.
9. Other changes to the application appear to comply with code requirements.
10. The Development Review Committee has reviewed the project and has requested additional information related to landscaping and roof design.

Conditions:

1. All issues raised by the DRC, as noted in the DRC report dated 19 June 2024, shall be resolved to the satisfaction of the applicable review department prior to approval of the proposed building permit application.
2. Any impacts to stormwater due to the change must be addressed and approved by the engineering department.

POSSIBLE ACTIONS

The following is a list of possible motions the Planning Commission can take. If the action taken is inconsistent with the recommended findings listed in the staff report, the Planning Commission should state new findings.

1. Approve. This action may be taken if the Planning Commission finds that the Preliminary Plan request is compliant as proposed with Wasatch County Code and all other applicable laws.
2. Approve with Conditions. This action can be taken if the Planning Commission feels comfortable that remaining issues can be resolved prior to final approval. ****This action would be consistent with the staff analysis.****
3. Continue. This action can be taken if the Planning Commission needs additional information before rendering a decision, if there are issues that have not been resolved, or if the application is not complete.
4. Deny. This action can only be taken if the Planning Commission finds that the proposal does not meet the ordinance or that the application is insufficient to comply with applicable law.

NEXT STEPS

If the requested preliminary plan is approved, the applicant could proceed with their building permit application.

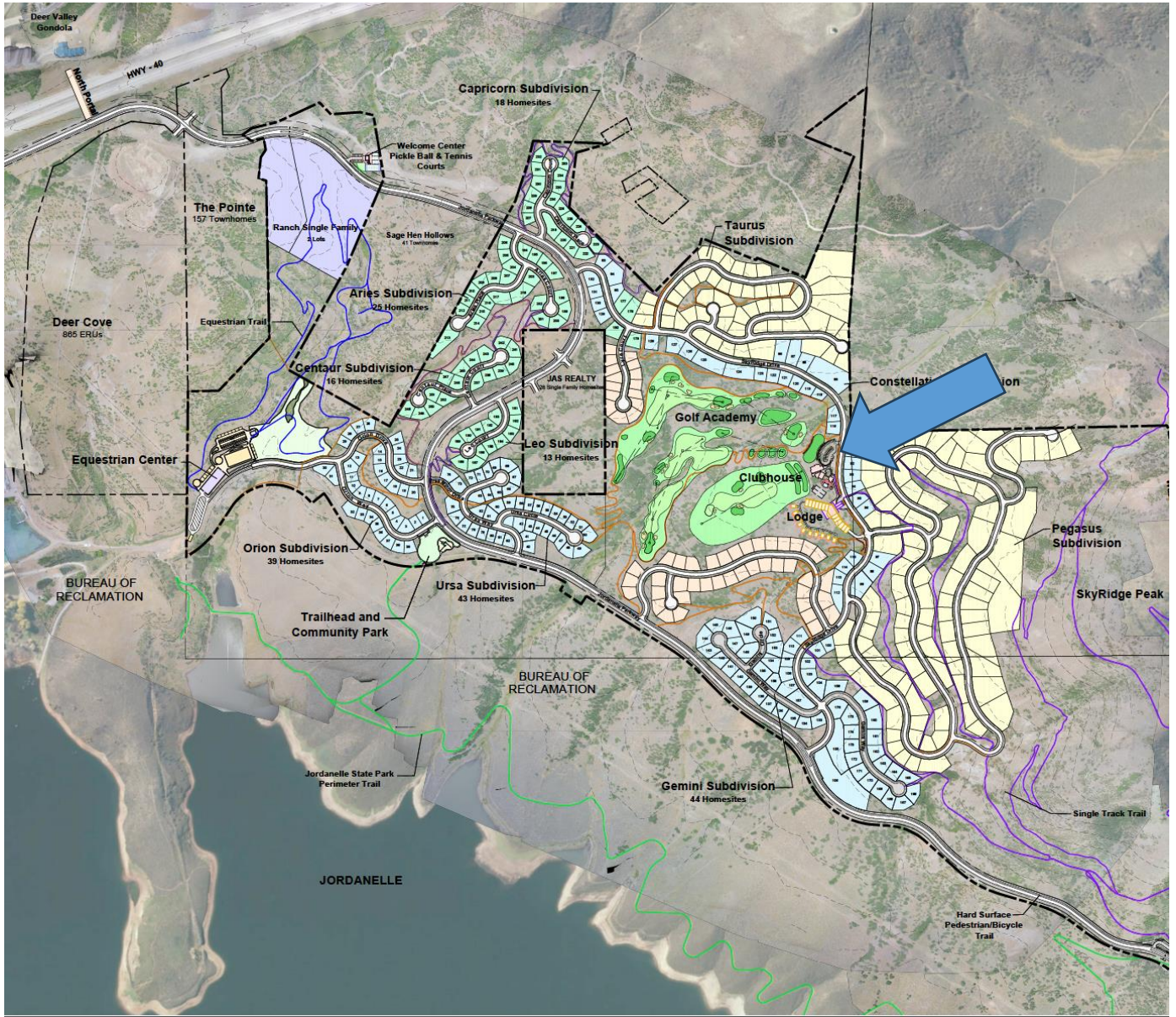
If the requested preliminary plan is denied, the applicant would not be allowed to develop the property as proposed. If the applicant desires to request an alternative plan for approval, it will need to be made as a new application.

Any person adversely affected by a final decision made by the Land Use Authority can be appealed under the provisions outlined in Wasatch County Code 2.02.02.

EXHIBITS

- A. Vicinity Plan
- B. Proposed Site Plan
- C. Subdivision Plat
- D. Current and Proposed HOA Building Floor Plans
- E. Current and Proposed HOA Building Elevation Plans
- F. Current and Proposed Pool Deck
- G. Proposed Landscaping Plan
- H. DRC Report

EXHIBIT A – Vicinity Plan



[illegible]

EXHIBIT C – Subdivision Plat

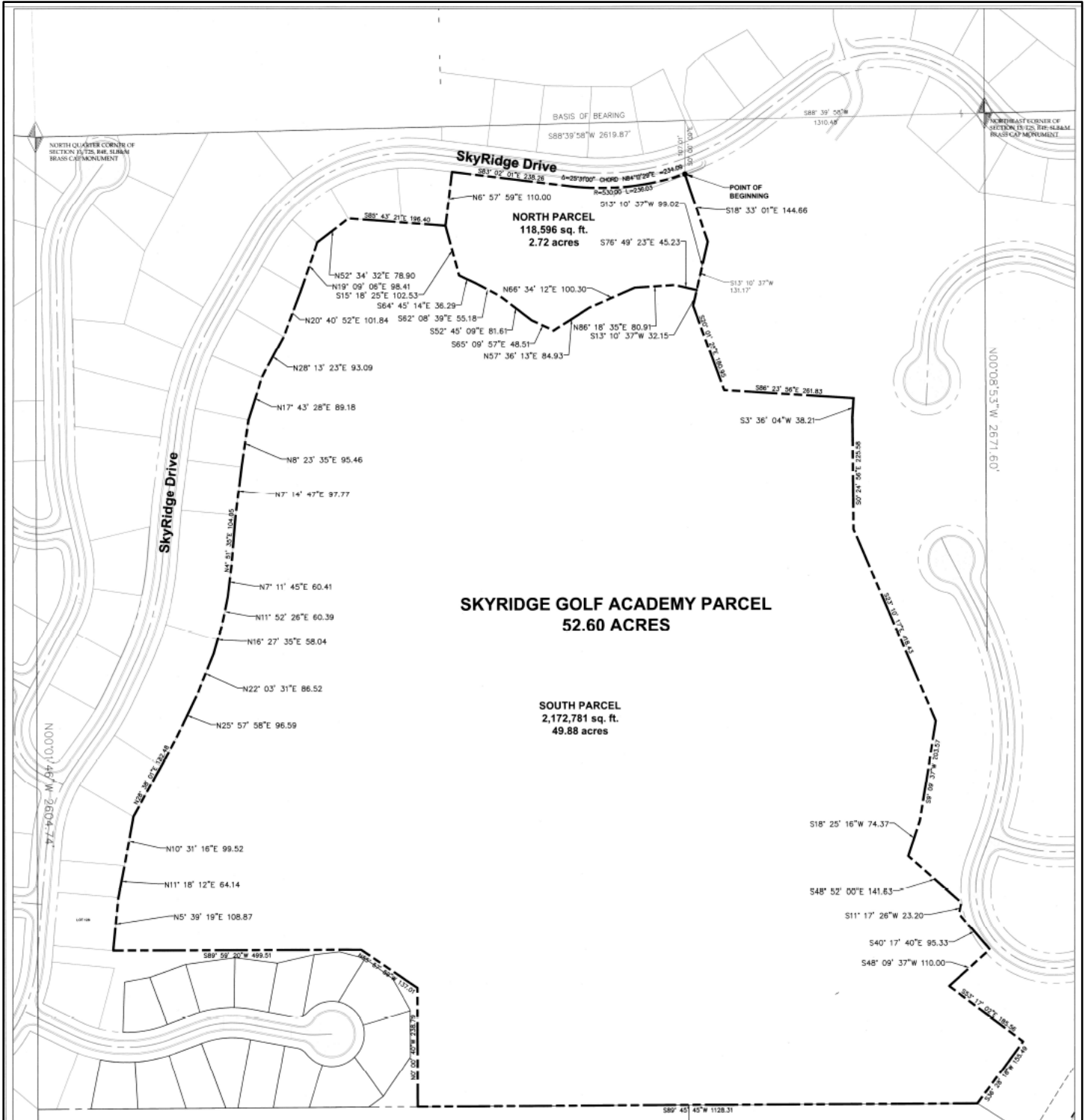
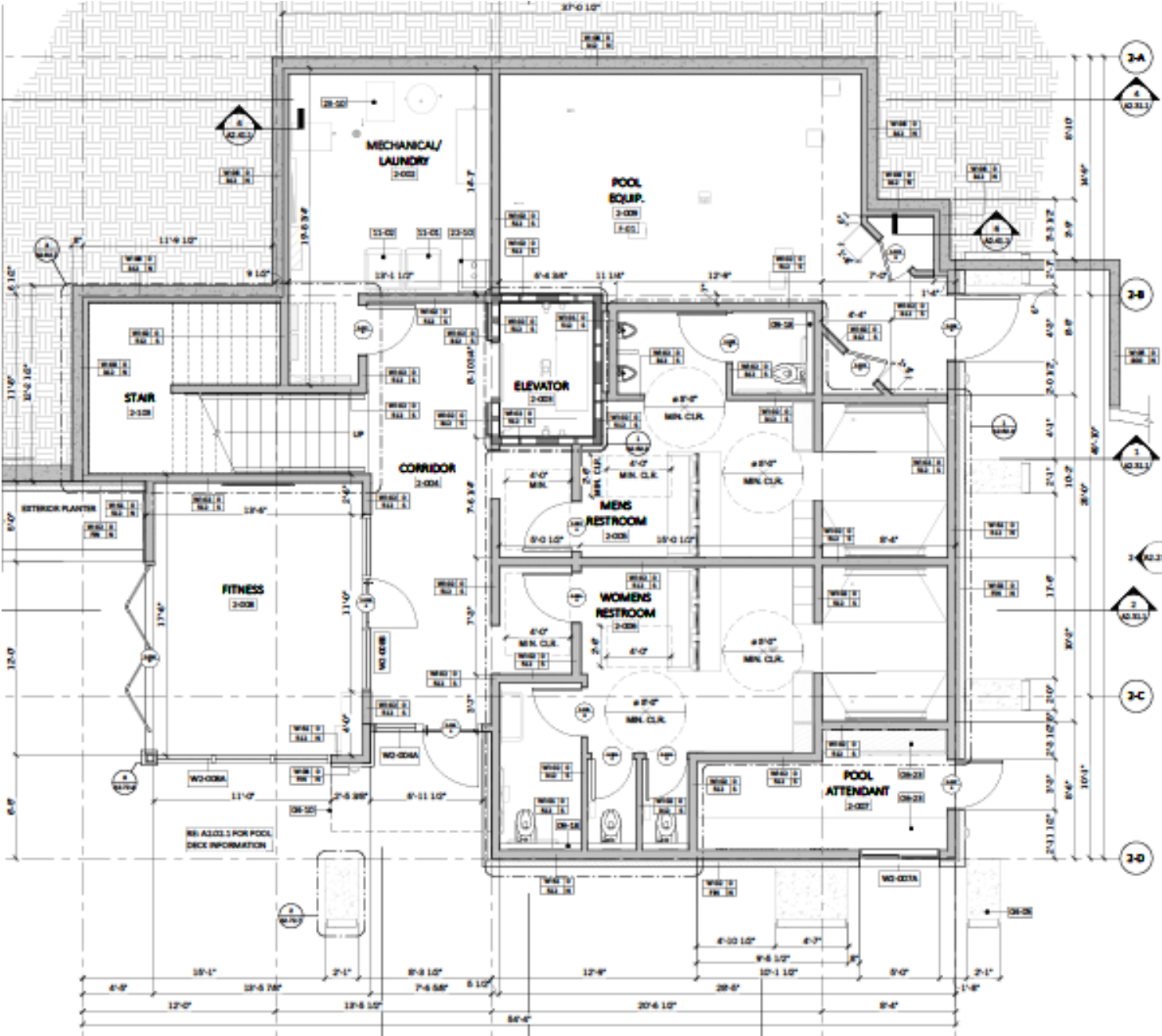
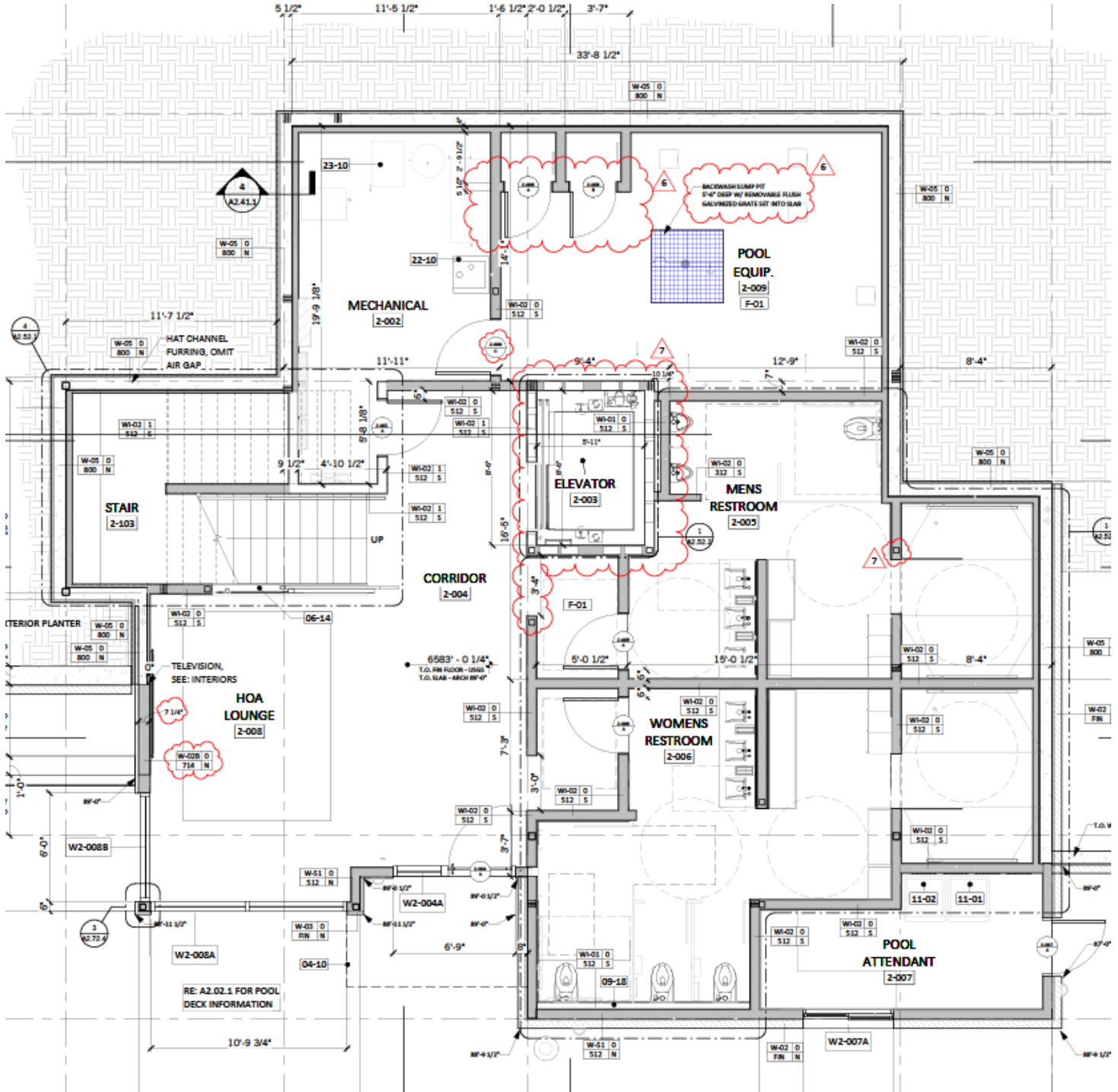


EXHIBIT D – Current and Proposed HOA Building Floor Plans

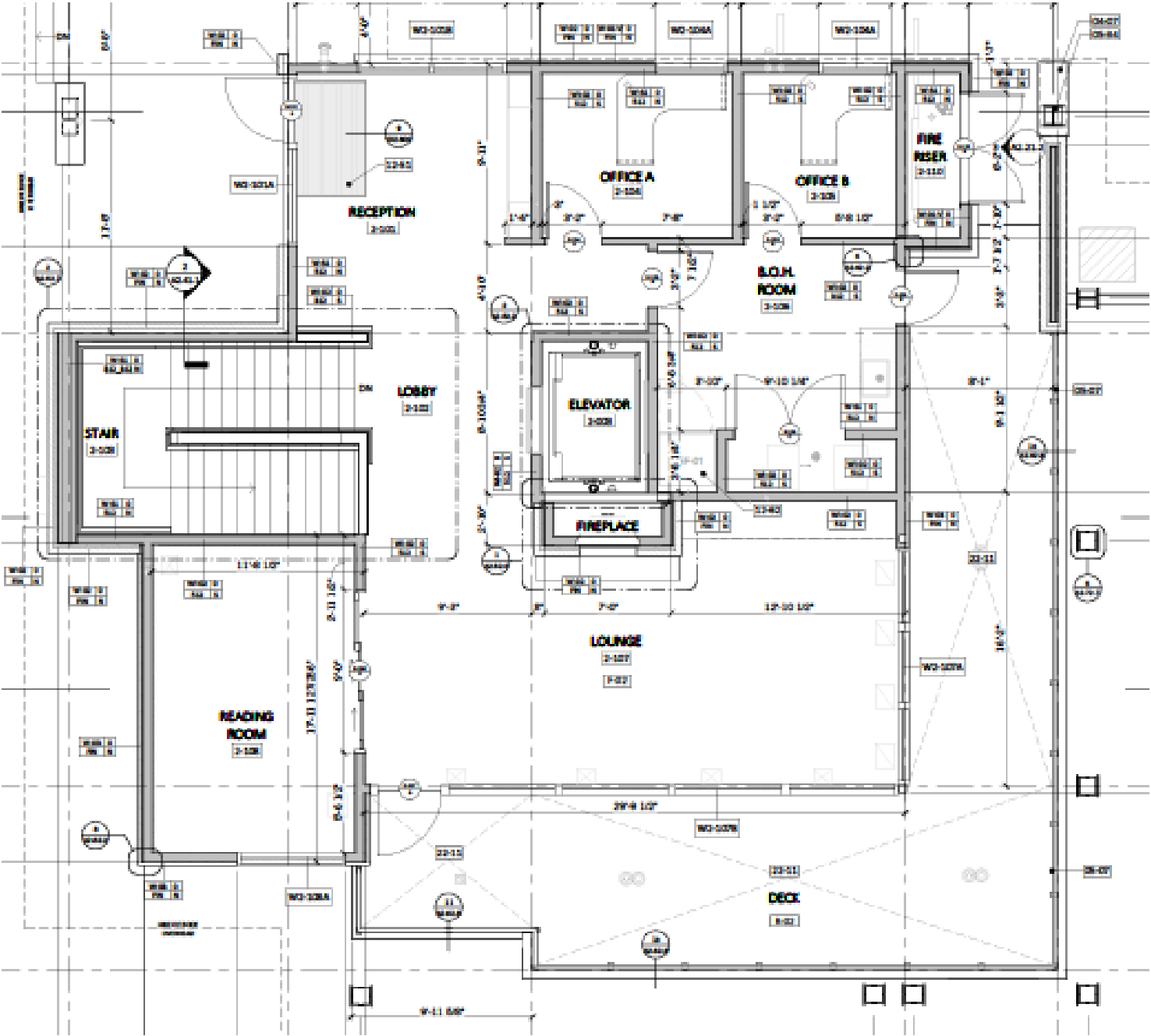
Approved Floor 1



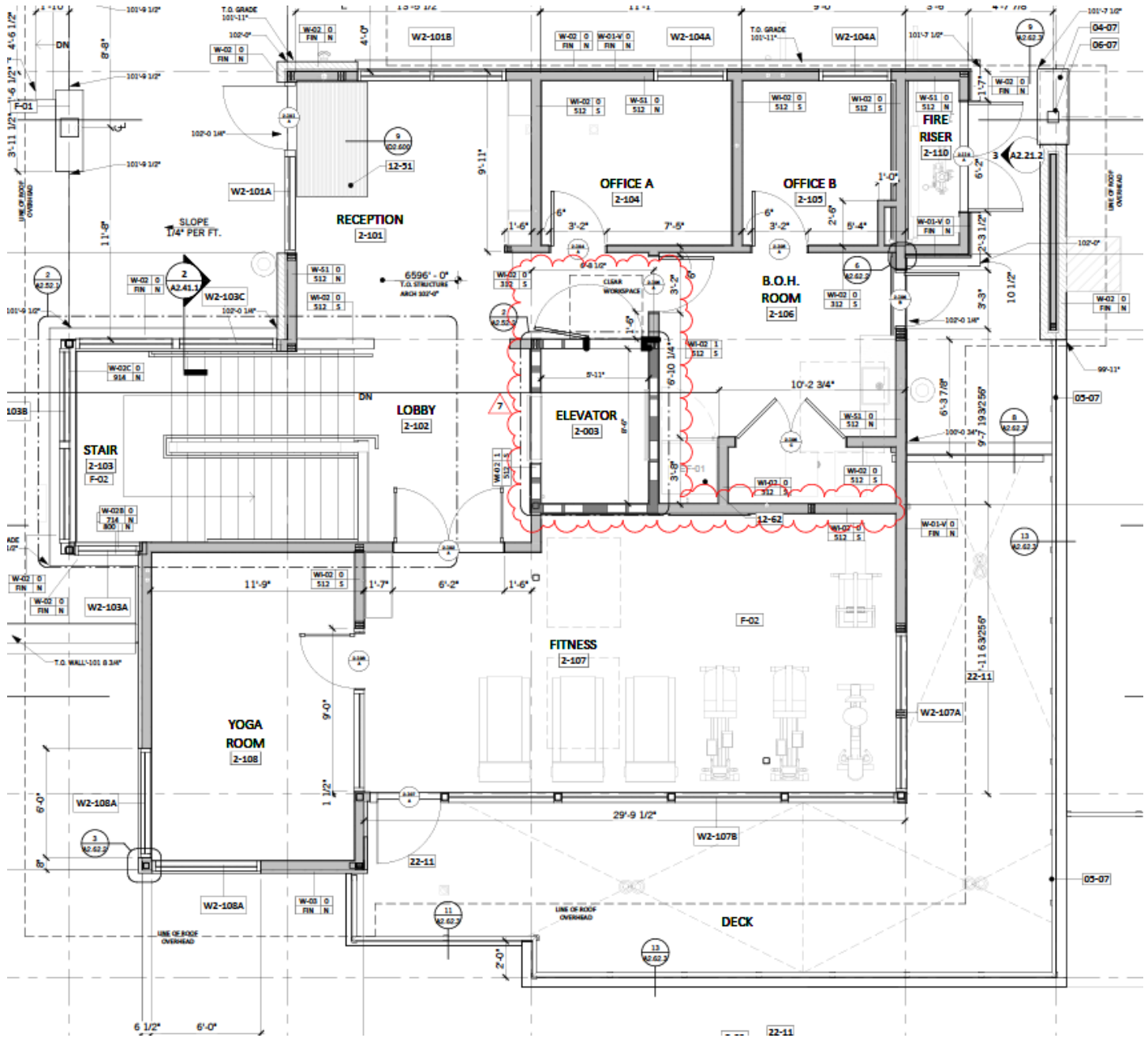
Proposed Floor 1



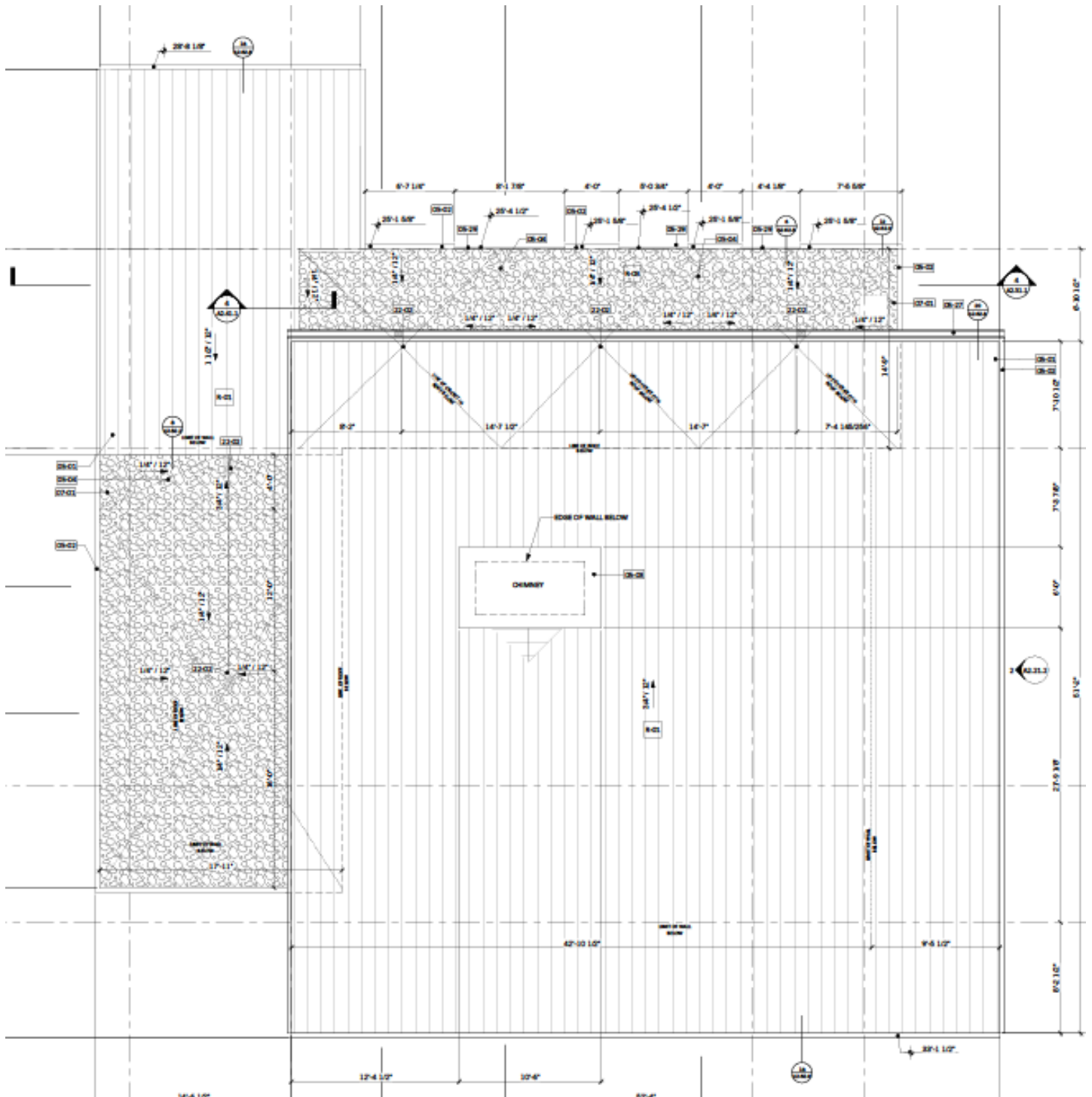
Approved Floor 2



Proposed Floor 2



Approved Roof Plan



Proposed Roof Plan

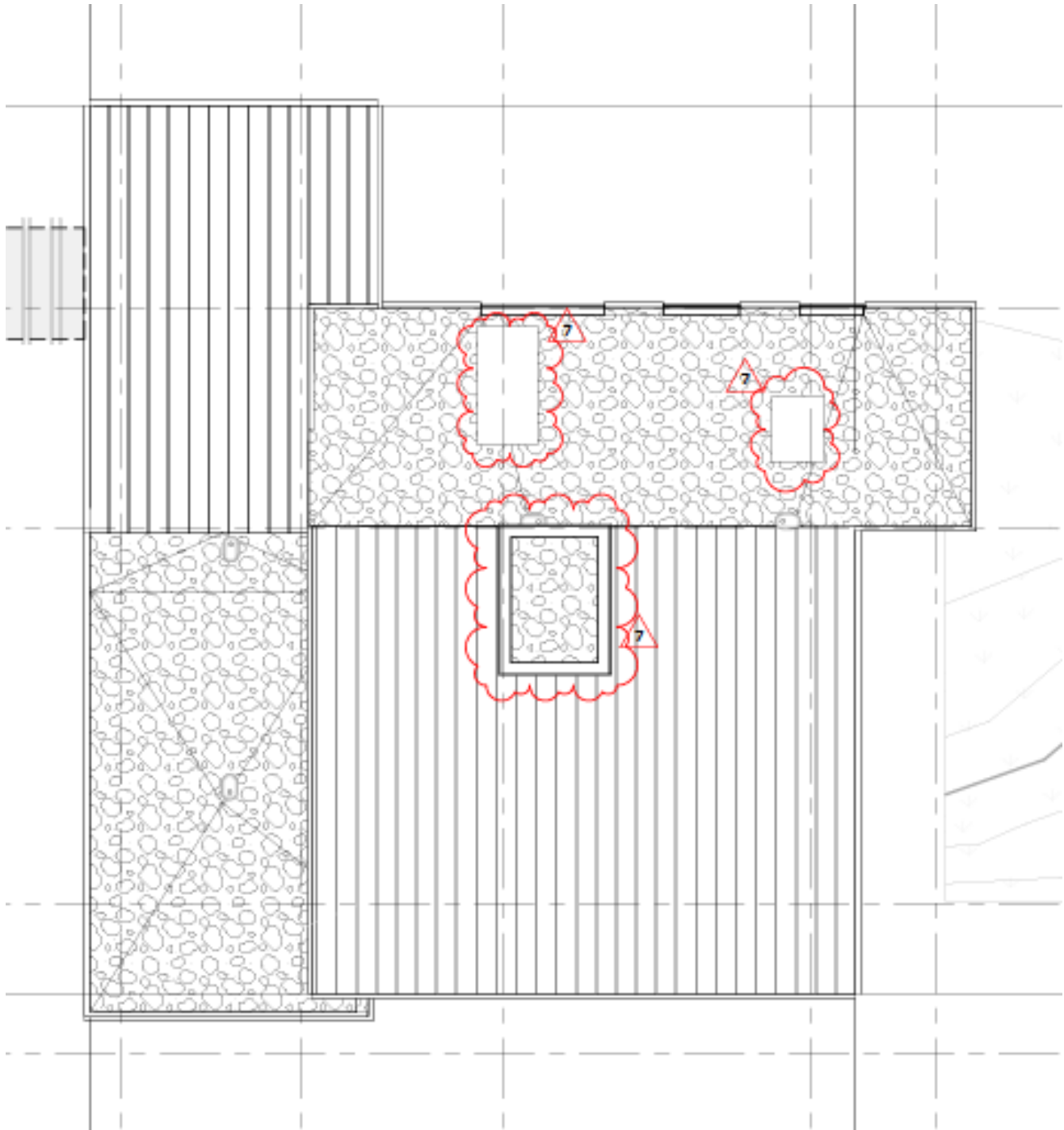
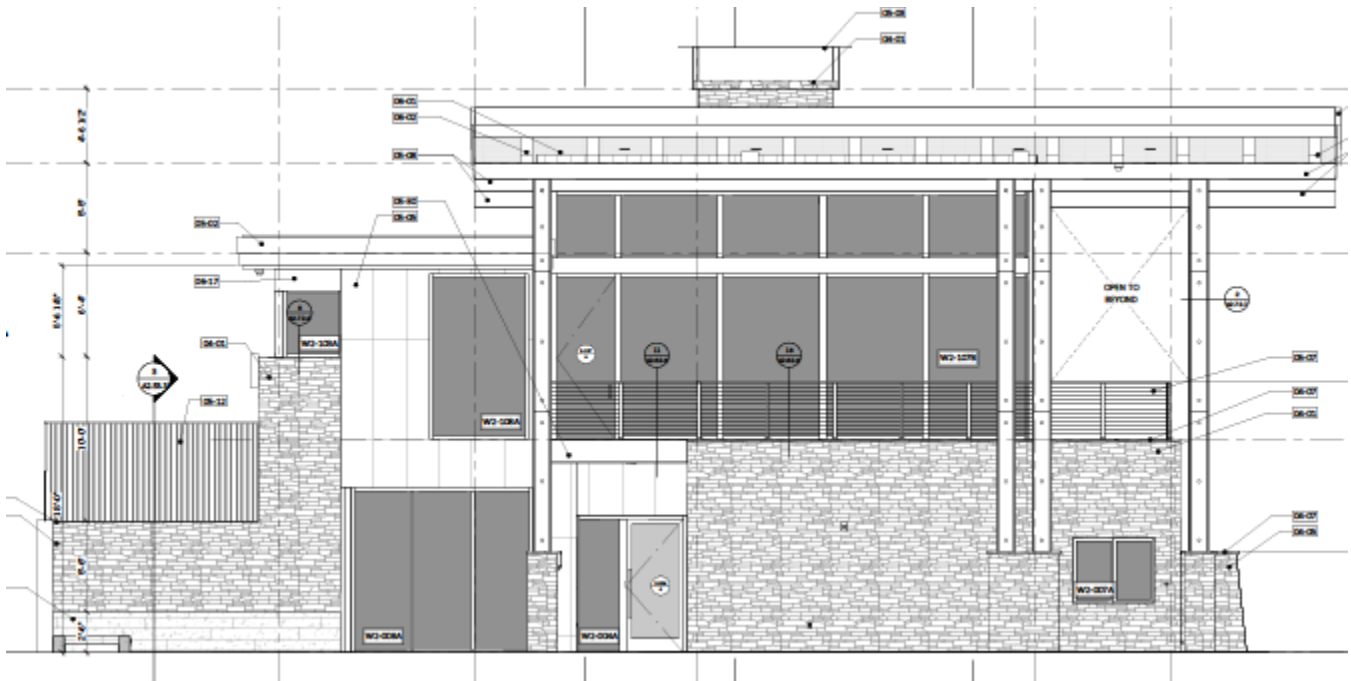
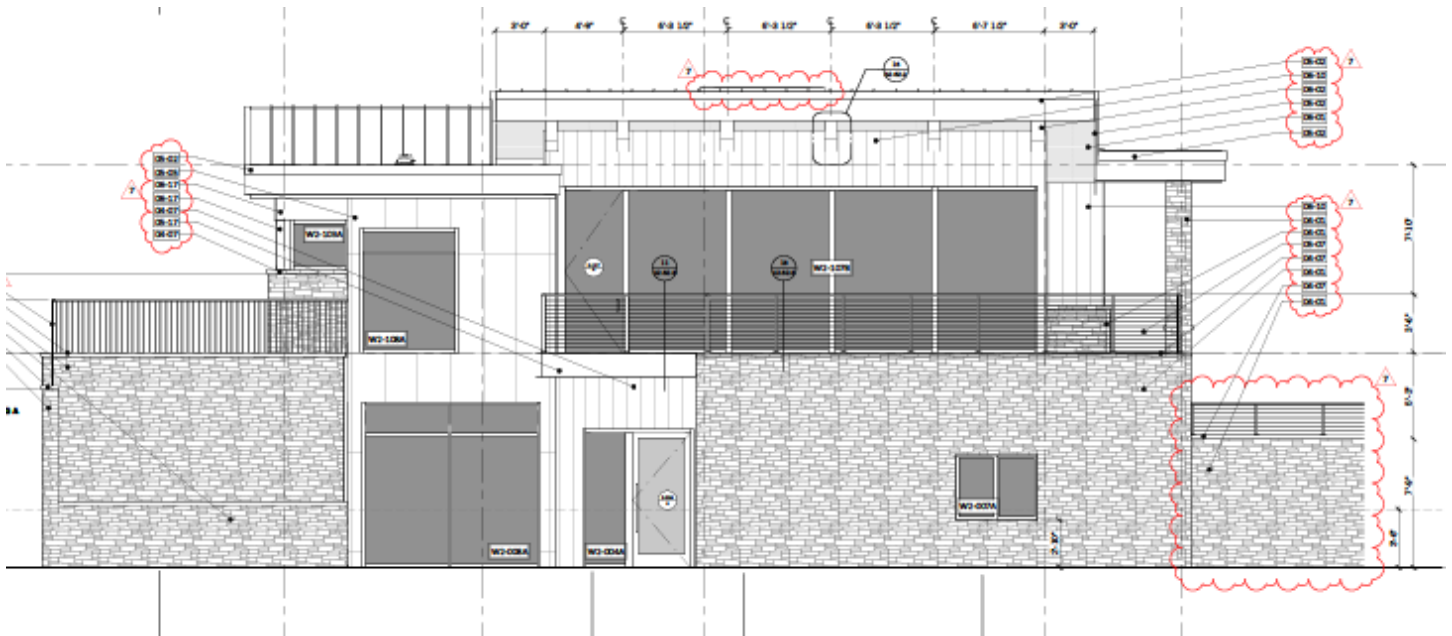


EXHIBIT E – Current and Proposed HOA Building Elevation Plans

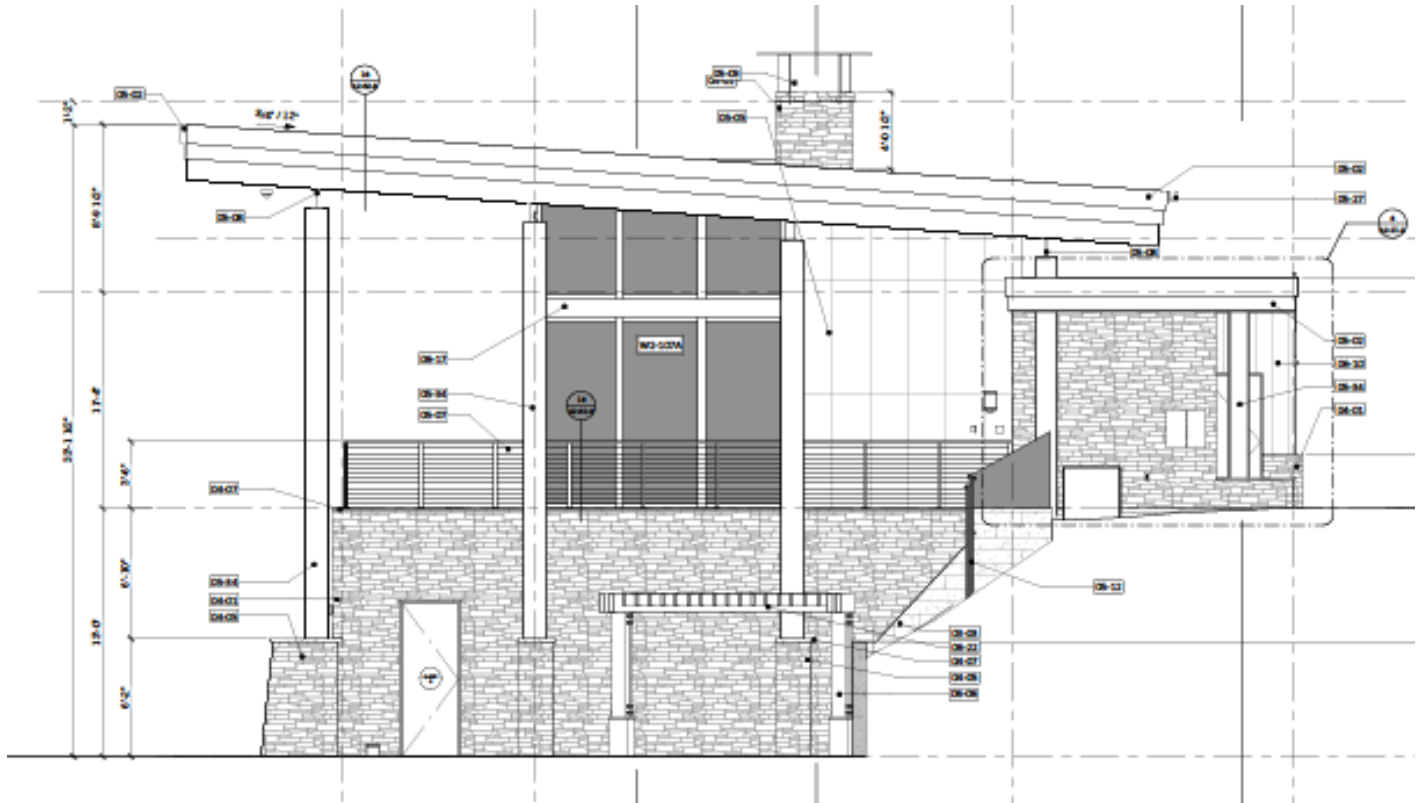
Current South



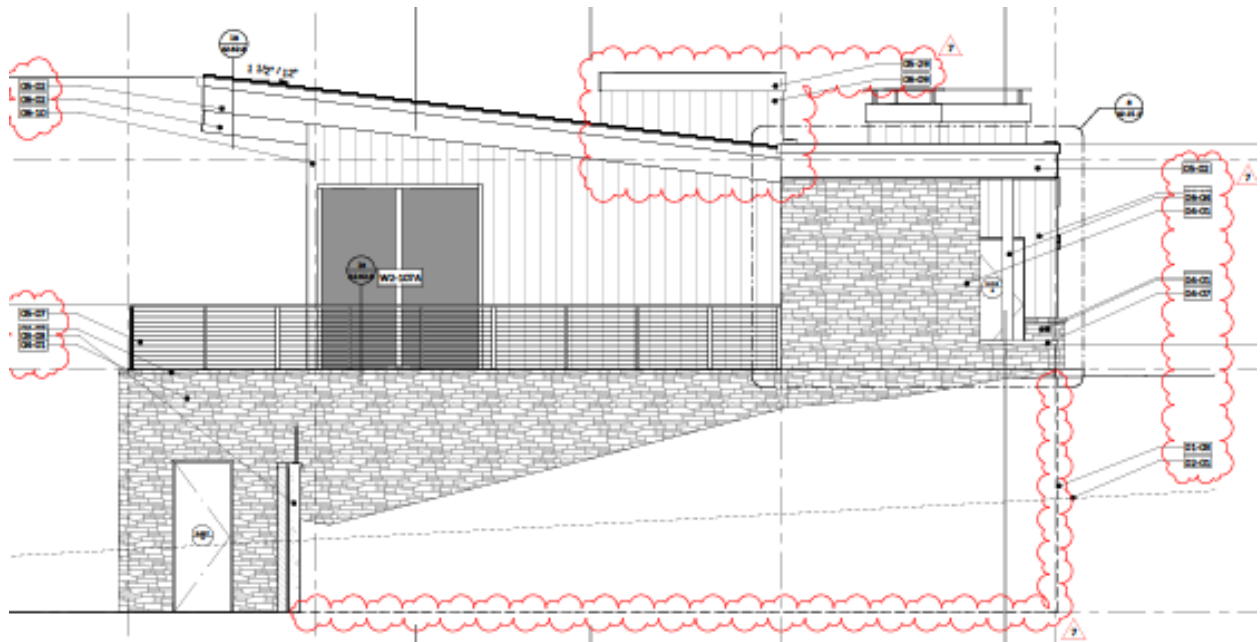
Proposed South



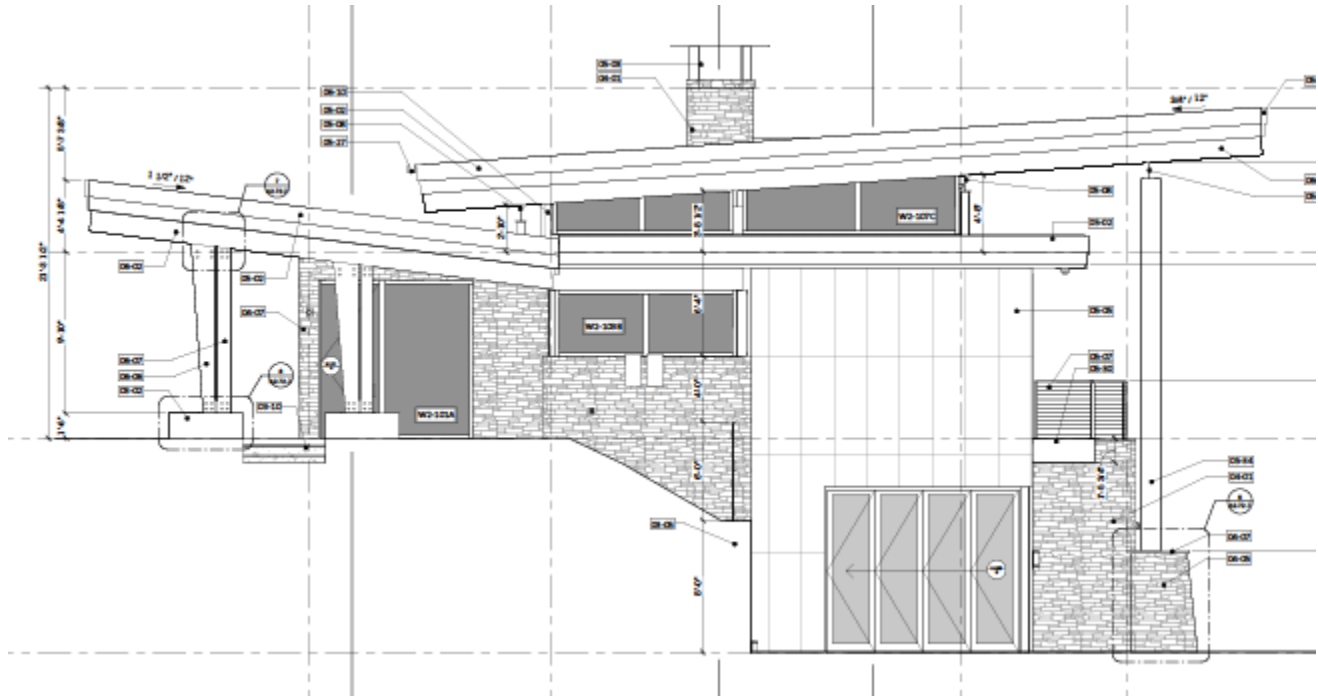
Current East



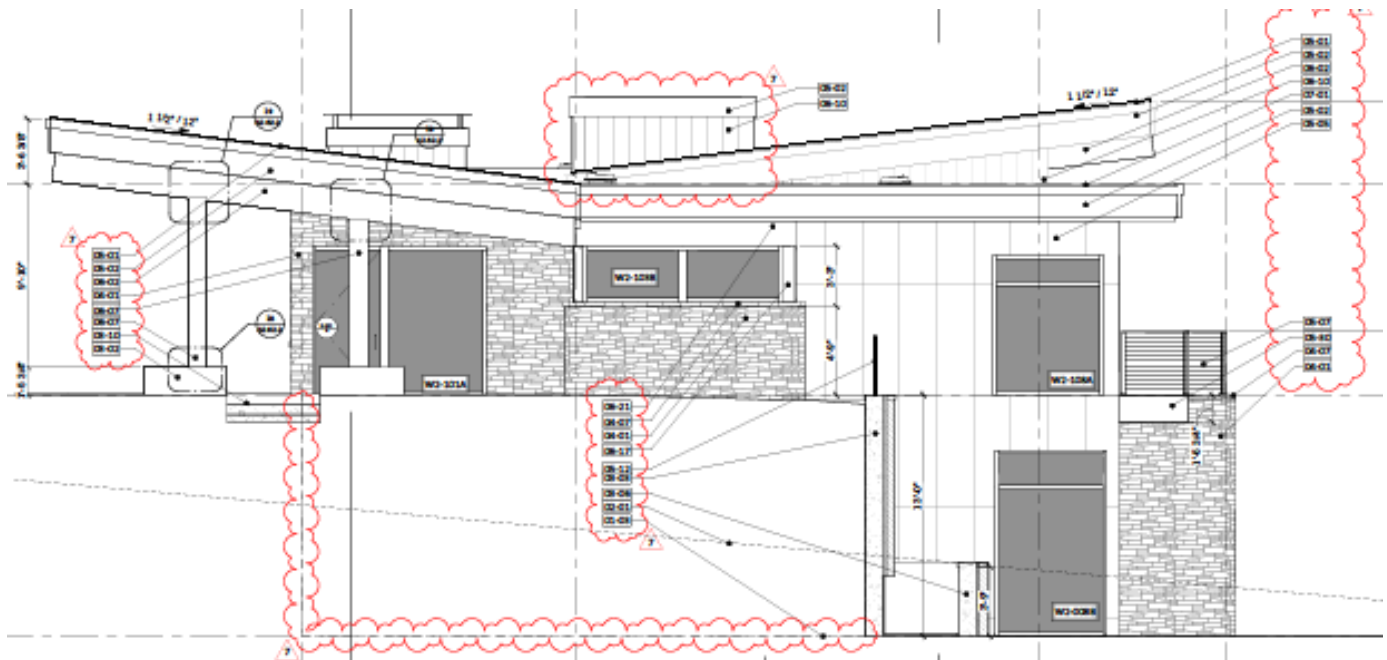
Proposed East



Current West

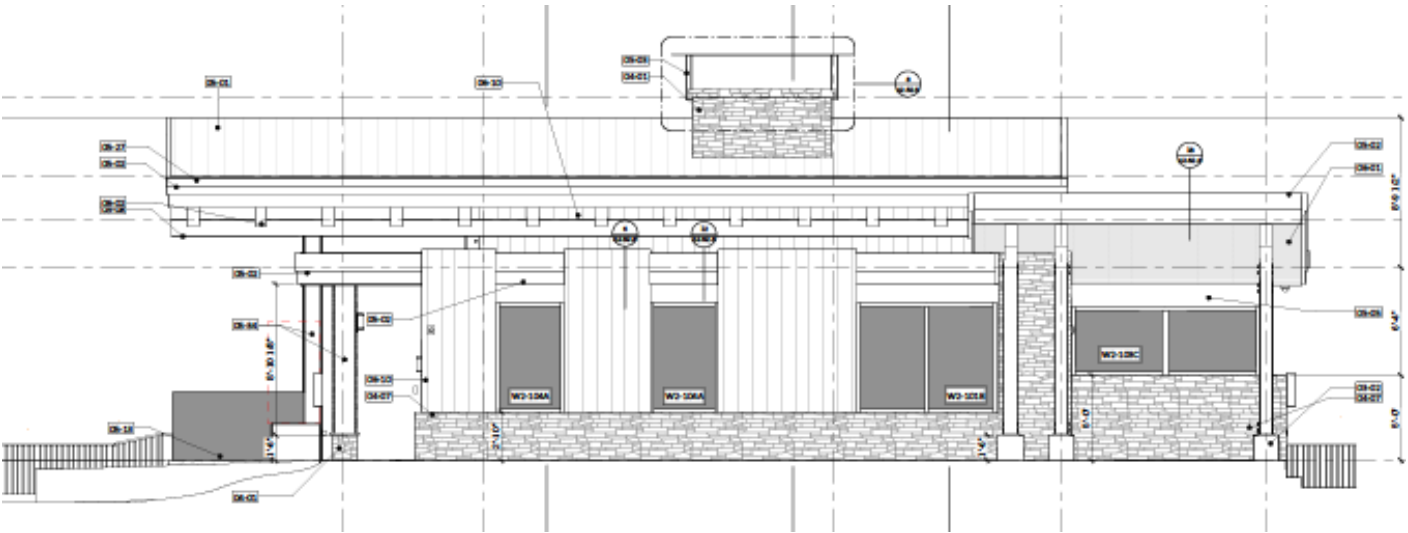


Proposed West



Proposed Elevation Plans

Current North



Proposed North

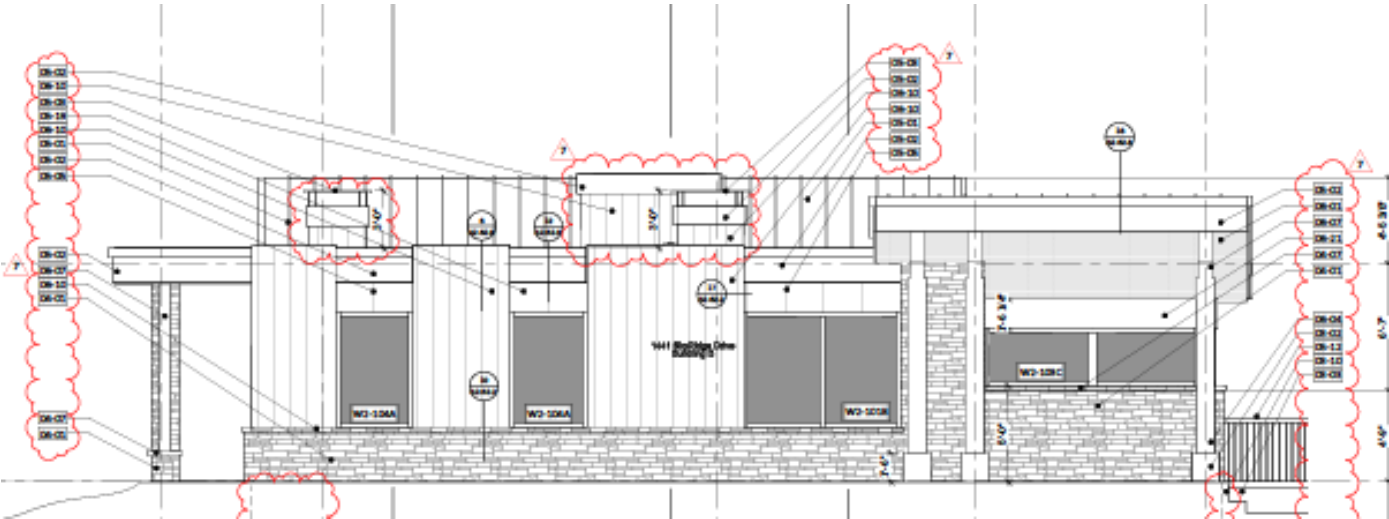
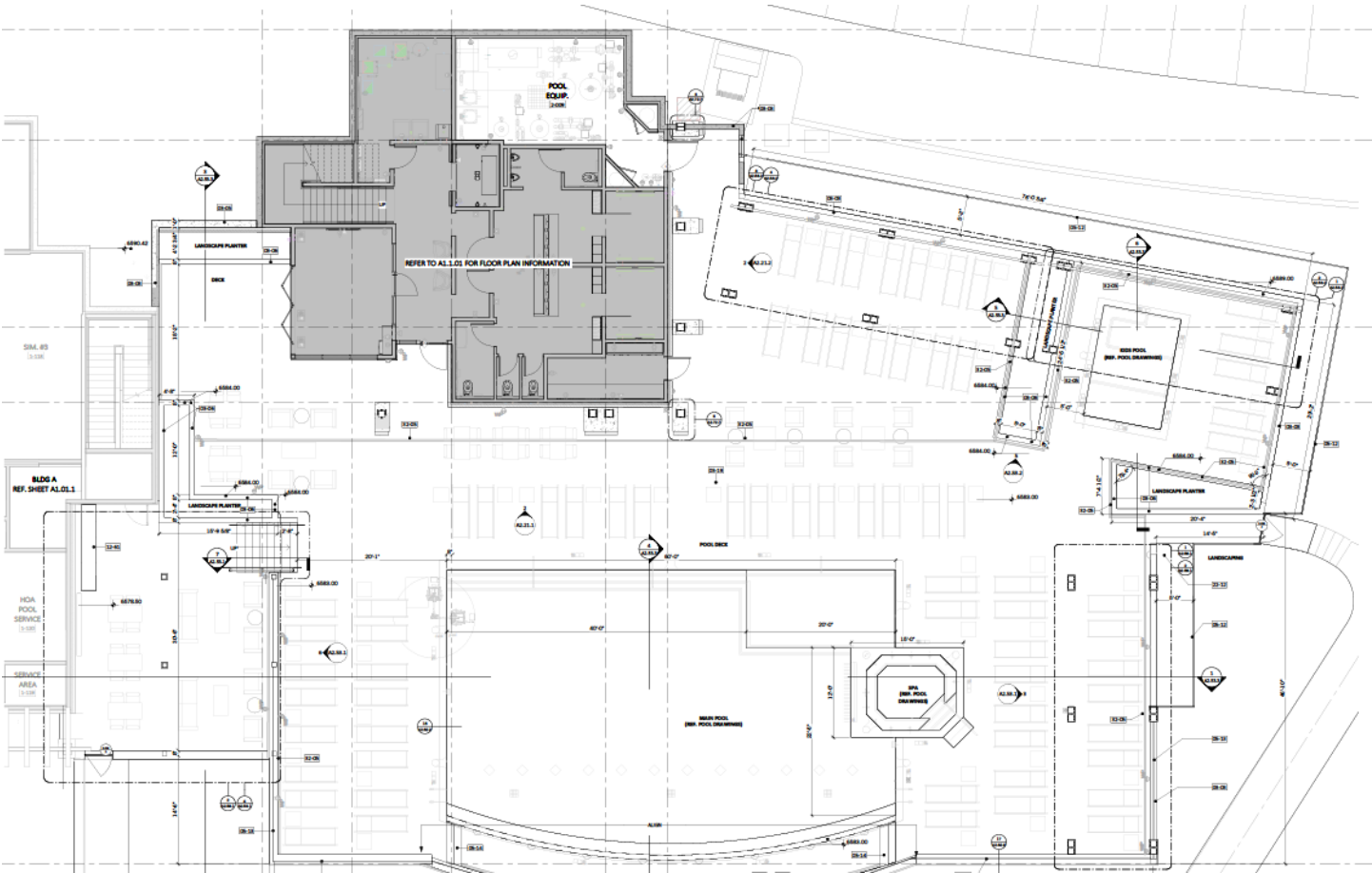


EXHIBIT F – Current and Proposed Pool Deck

Current Pool Deck plan



Proposed Pool Deck plan

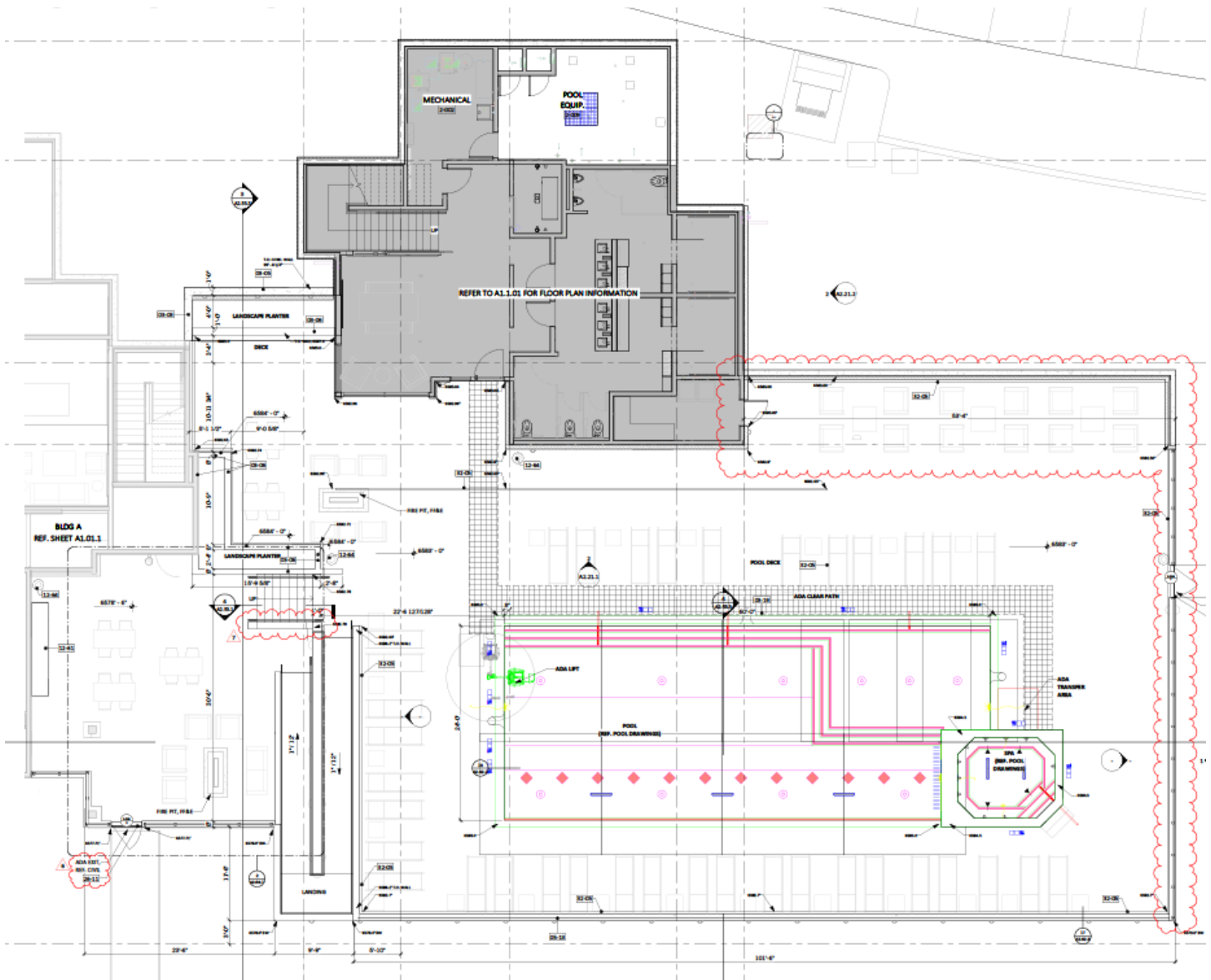


EXHIBIT G – Proposed Landscaping Plan

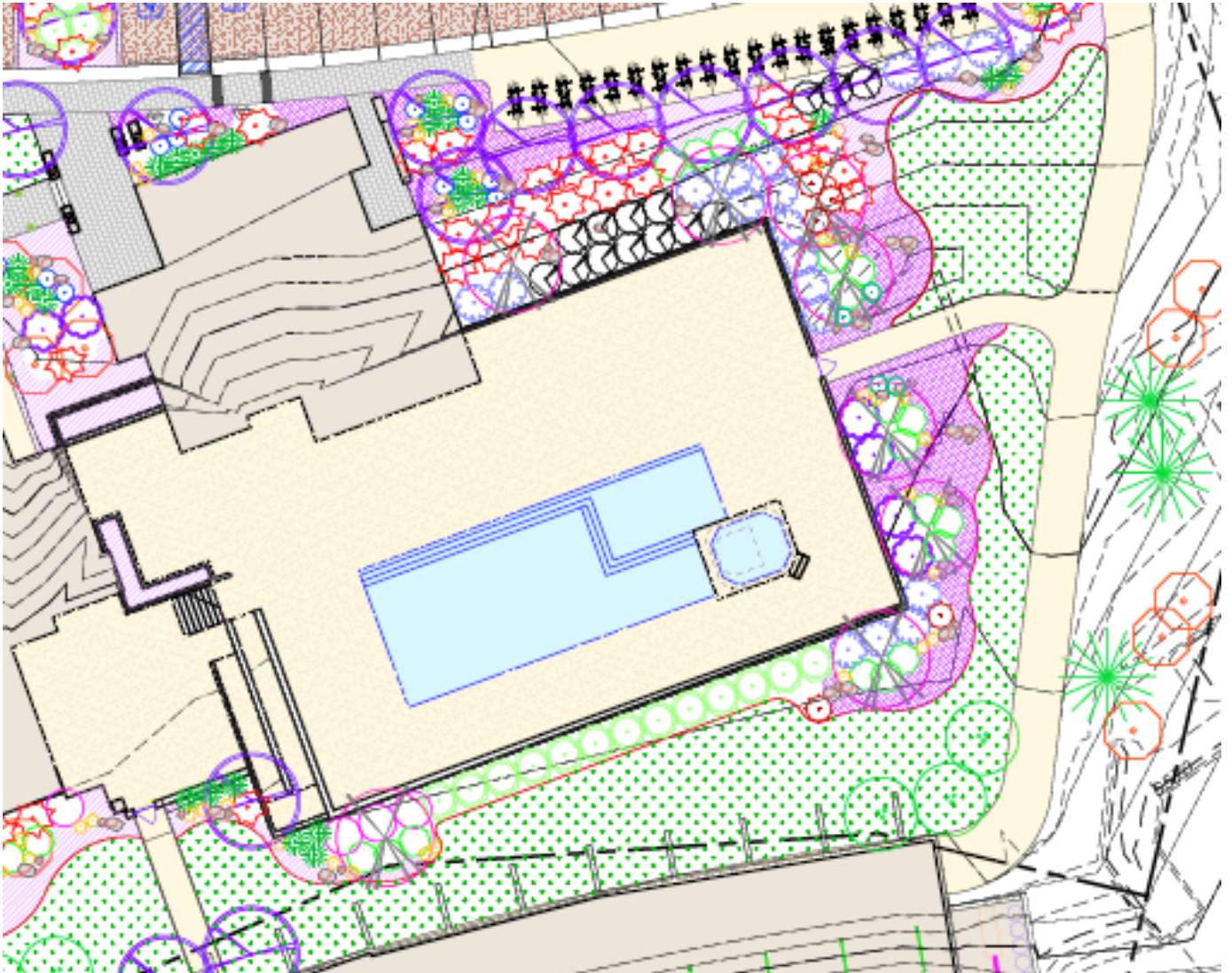


EXHIBIT H – DRC Report



Wasatch County DESIGN REVIEW COMMITTEE (DRC) COMMENTS

PROJECT ID: DEV-9397
PROJECT NAME: FINAL SITE - SKYRIDGE GOLF ACADEMY CLUBHOUSE
VESTING DATE: 6/18/2024
REVIEW CYCLE #: 1

REVIEW CYCLE STATUS: READY FOR DECISION

Project comments have been collected from reviewers for the above noted review cycle and compiled for your reference below. Please review the comments and provide revised plans/documents if necessary. **Resubmittals must include a plan review response letter** outlining where requested changes and corrections can be found. Failure to provide such a letter will result in the project being returned to you.

When uploading revisions please name your documents exactly the same as it was previously uploaded. Revision numbers and dates are automatically tracked. There is no need to re-upload documents that aren't being changed. DO NOT DELETE documents and then upload new ones.

Once you have addressed all of your items and successfully uploaded your revisions, be sure to re-submit your project for review. Resubmittal must be made through the portal in order to receive official review. Projects requiring Planning Commission approvals or recommendations will not be placed on a planning commission agenda until all DRC reviewers have recommended the item to move forward.

Entity	Decision
Planning Department	Ready for Decision

Approved = Reviewing entity has approved the project under consideration of their applicable codes. Any open comments are considered conditions of the entities recommendation.

Ready for Decision = Reviewing entity recommends the project move forward to a Planning Commission meeting (if applicable). Any open comments are considered conditions of the entities recommendation.

Changes Required = Reviewing entity has identified an issue(s) that needs to be resolved before recommending the project move forward.

No Action = Reviewing entity has not taken any action for the review cycle.

OVERALL PROJECT COMMENTS

DRC Project Comments		
Comment ID	Entity	Comment
DRC-PLN2	PLN - Planners	Condition of Approval: An updated Landscaping Plan must be attached to the building permit showing the proposed landscaping for the area that was previously occupied by a portion of the pool deck. This area is in between the pool deck and the parking lot.

PROJECT DOCUMENT SHEET COMMENTS BY REVIEWING ENTITY

DRC – Planning Dept		
Comment ID	Sheet Name	Comment
DRC-PLN1	SP 2 - Architectural Drawings	Condition of Approval: Before the Building Permit can be approved, remove the two additional roof penetrations shown on the roof plan and elevation plans.