

**HEBER CITY CORPORATION  
75 North Main Street  
Heber City, UT 84032  
Planning Commission Meeting**

**June 11, 2024**

**6:00 p.m. – Regular Meeting**

-Time and Order of Items are approximate and may be changed as Time Permits-

Public notice is hereby given that the monthly meeting of the Heber City Planning Commission will be in the Heber City Office Building, 75 North Main, South door, in the Council Chambers upstairs.

**1. Regular Meeting:**

- I. Call to Order
- II. Roll Call
- III. Pledge of Allegiance: By Invitation
- IV. Prayer or Thought: By Invitation
- V. Recuse for Conflict of Interest

**2. Consent Agenda:**

- I. 05.28.2024 Draft Minutes for Approval

**3. Action Items:**

- I. Old Mill Village - Site Plan (Planner Larsen - Engineer Horrocks Engineering)

**4. Work Meeting: N/A**

**5. Administrative Items:**

- I. City Council Communication Item

**6. Adjournment:**

Ordinance 2006-05 allows Commission Members to participate in meetings via telecommunications media.

In accordance with the Americans with Disabilities Act, those needing special accommodations during this meeting or who are non-English speaking should contact Meshelle Kijanen at the Heber City Offices at 435.657.7898 at least eight hours prior to the meeting.

Posted on 06.06.2024, in the Heber City Municipal Building located at 75 North Main, the Heber City Website at [www.heberut.gov](http://www.heberut.gov), and on the Utah Public Notice Website at <http://pmn.utah.gov>. Notice provided to the Wasatch Wave.

1 HEBER CITY CORPORATION  
2 75 North Main Street  
3 Heber City, UT 84032  
4 Heber City Council Meeting  
5 May 28, 2024

6 **DRAFT Minutes**

7 **6:00 p.m. – Regular Meeting**

8 **1. Regular Meeting:**

9 I. Call to Order

10 Vice Chairman Dave Richards called the Planning Commission Meeting to order at 6:00  
11 p.m. and welcomed everyone present.

12 II. Roll Call

13 **Planning Commission Present:**

Vice-Chairman Dave Richards  
Commissioner Phil Jordan  
Commissioner Josh Knight  
Commissioner Tori Broughton  
Commissioner Darek Slagowski  
Commissioner Greg Royall

19 **Planning Commission Absent:**

Chairman Dennis Gunn  
Commissioner Robert Wilson

21 **Staff Present:**

Planner Jacob Roberts Planning  
Office Admin Meshelle Kijanen  
Senior City Engineer Ross Hansen

24 **Staff Participating Remotely:**

Planning Consultant GCGarcia Anthon Beales

25 **Also Present:**

N/A

26 **Also Attending Remotely:**

Jeff Peterson and Scott B.

28 III. Pledge of Allegiance: By Invitation

29 Commissioner Joshua Knight led the recitation of the Pledge of Allegiance.

30 IV. Prayer or Thought: By Invitation

31 N/A

33 V. Recuse for Conflict of Interest

1 N/A

2

3 **2. Consent Agenda:**

4 I. 04.09.2024 & 04.23.2024 Minutes for Approval

5 **Motion:** Commissioner Knight moved to approve the items on the Consent Agenda.  
6 Commissioner Royall made the second.

7 **Discussion:** N/A

8 **Voting Yes:** Planning Commission Vice-Chair Richards, Commissioner Slagowski,  
9 Commissioner Knight, Commissioner Jordan, Commissioner Broughton, Commissioner  
10 Royall.

11 **Voting No:** None.

12 The Motion Passed 6-0.

13

14 **3. Action Items:**

15 I. Airport T-Hangar Site Plan, located at 620 W. Airport Road (Planner  
16 Woodbury/Engineer Hansen)

17 Planner Woodbury led discussion on this item. She reported that Staff had reviewed this  
18 application and explained it was a 17-unit condominium complex located on 1.45 acres of  
19 the airport property. She stated the dimensions were 60 feet wide and 464 feet long and  
20 clarified they met the lighting, parking, and setback requirements and so Staff  
21 recommended approval of the site plan as long as the proposal was met all findings and  
22 conditions as identified by Staff, the Planning Commission, and the FAA. She also shared  
23 blueprint images of the overall site and the individual units, and shared images of the  
24 planned materials and colors.

25 Commissioner Josh Knight asked if they had a schedule for the build out. Jeff Peterson  
26 identified himself as the developer and the lease holder for the building and said they  
27 hoped to submit their building plans and break ground in July, so they could get everything  
28 out of the way before the first snowfall of the year. He explained the building took six  
29 months to manufacture, so once they had a building permit they would place the order for  
30 the building and he hoped they would receive the building by October. In all, he  
31 anticipated being fully completed in March of the following year.

32 Commissioner Knight asked how tall the other hangars were and Mr. Peterson replied they  
33 were about 24 to 26 feet tall, and he added the proposed hangar was only 23 feet tall.

34 Commissioner Phil Jordan asked how close the nearest residential property was located to  
35 the proposed building, and clarified he was asking about this to determine if there would  
36 be a lighting impact. Mr. Peterson said the hangar faced northeast and there was nothing  
37 adjacent to it. Mr. Peterson said the closest residential unit was across the field and he did  
38 not expect it would be impacted by lighting. Mr. Peterson estimated it was at least 400 or

1 500 feet away. Commissioner Jordan commented they needed to ensure they were Dark  
2 Sky compliant.

3 Senior Staff Engineer Hansen asked Mr. Peterson to explain the issue they were having  
4 and to tell the Planning Commission how they wanted to proceed. Engineer Hansen  
5 pointed out this building had a lot of walls in between the t-hangars, and those t-hangars  
6 were individually owned. He said the City and the leasee had reached an agreement  
7 which stated that the leasee desired to create a hangar for privately owned aircrafts with  
8 individual hangar units platted as part of a lease-hold condominium, as the term was  
9 definition by the Utah Condominium Ownership Pact. He reported that they had met with  
10 City attorneys the previous week to discuss this issue, and the attorneys had determined  
11 that they needed to have a condominium plat. Engineer Hansen stated Mr. Peterson had  
12 been notified about this issue and he had since been working with Planner Baron about  
13 how to make an appropriate decision about how to move forward.

14 Mr. Peterson said they had begun working on this project back in 2018.

15 The Commissioners could not hear Mr. Peterson due to a technical issue and he  
16 momentarily recused himself to solve the issue.

17 Engineer Hansen summarized that the attorneys office had directed staff to ask the  
18 applicant to submit a condominium plat, which had a different approval process than the  
19 site plan approval. Engineer Hansen said Mr. Peterson hoped to re-negotiate the  
20 agreement with the City to remove the words “condominium plat as required” as an  
21 alternative to going through that other process.

22 Mr. Peterson was able to re-join the meeting. He reiterated at when they had begun this  
23 project in 2018, they had negotiated for the initial intent of the plan. He said they had an  
24 agreement with the City and were about to start the draft of the lease when the City began  
25 the Airport Layout Plan, which essentially stopped all development. He said they had  
26 waited until everything was resolved for the ALP before beginning to renegotiate the lease,  
27 and he explained why they had kept the language about condominiums in the lease at that  
28 point.

29 Mr. Peterson then reported he had met with the Fire Marshal to make sure there were no  
30 fire safety concerns. Although the Fire Marshal had not raised concerns, the building  
31 inspector had found that the building needed fire walls if it was going to be designated as a  
32 condominium. Mr. Peterson thought the best way to move forward was to have one entity  
33 or individual own the building and then individuals could own their specific unit, so it would  
34 not functionally be condominium. He reported that he had met with his attorneys, who  
35 had advised him it should not be an issue to remove the language of “condominium” from  
36 the lease. Mr. Peterson summarized it would essentially be one building with one sewer  
37 line and one gas meter, so it would not be a condominium.

38

39 Commissioner Jordan asked if the units would be leased and Mr. Peterson said the units  
40 would be bought and sold. Mr. Peterson said the building was on City-leased land that  
41 would not be bought or sold, although the units would be sold. Commissioner Jordan said  
42 they could execute a 75-year lease which was comparable to home ownership although  
43 the lease document would need to stipulate that the land continued to be leased by the

1 City. Mr. Peterson explained the lease hold interest was 40 years with a 40 year  
2 extension, so it was essentially a 80 year lease. He reiterated they would not sell  
3 individual units, but buying into the project and this would give them a hangar to use. He  
4 added they did not have deed, but rather a record of survey, and noted the other hangars  
5 on the property did not have deeds either.

6 Engineer Hansen mentioned that there had been previous conversation about the idea of  
7 each hangar having a tax ID and tax notice sent to the owner, and he asked if that was still  
8 the intention. Mr. Peterson said there would be one tax notice. Mr. Peterson elaborated  
9 that when they got the water bill or other utilities, they would parcel it out to the  
10 shareholders.

11 Commissioner Tori Broughton asked if the members could “sub-member” their stock out to  
12 someone else, or if they would have to release their share if they wanted to sell. Mr.  
13 Peterson explained that members could transfer their stocks to someone else. He also  
14 explained that all members would have to sign a compliance agreement in addition to the  
15 lease. Mr. Peterson said this would ensure everyone was aware of the rules before they  
16 purchased a share.

17 Commissioner Jordan asked about allowed permitted uses reference to “repair.” He asked  
18 if the fire department had reviewed that and were okay with the language, and also asked  
19 if there were any limits as to what repairs were allowed. Mr. Peterson said that the fire  
20 department had reviewed it and they were okay with doing repairs, although they could not  
21 do any welding or fabrication on the site. Mr. Peterson said what was permitted in terms of  
22 repairs was codified in their lease agreements.

23 Commissioner Jordan addressed the Planning Commission and summarized they could  
24 continue this until they heard the finding. He also said the plans that had been submitted  
25 seemed to be compliant, as far as he understood the legal position. Vice-Chairman Dave  
26 Richards agreed with Commissioner Jordan and said one of the conditions in the motion  
27 needed to be that the City Attorney and the City reach an agreement, since the scope of  
28 this went beyond the Planning Commission. Commissioner Jordan said making an  
29 agreement with the City Attorney was an integral component of this proposal. Engineer  
30 Hansen said as far as the Planning Commission was concerned this was essentially a site  
31 plan approval, and so far this application had Staff approval as long as they could come to  
32 a legal agreement. Mr. Peterson said all of the conditions that Staff had found so far made  
33 sense to him and stated he was willing to work with all of those items. Mr. Peterson also  
34 expressed appreciation for Engineer Hansen for all the work he had put into this project so  
35 far.

36 Property manager that would enforce regulations for all of the owners and Mr. Peterson  
37 replied there would be, and said there would be regular building inspections as well. Mr.  
38 Peterson added their lease could be voided if they failed to maintain the property in  
39 accordance with City standards.  
40

41 **Motion:** Commissioner Jordan moved to Airport T-Hangar Site Plan, located at 620 W.  
42 Airport Road, as presented with the findings and conditions as identified by Staff. In  
43 addition, there was a provision that the project only move forward if the conditions of  
44 the City Attorney were met. Commissioner Broughton made the second.

1 **Discussion:** Vice-Chairman Richards asked if there should be language about the  
2 “condominum” issue in the motion. Commissioner Jordan said he wanted to avoid any  
3 discussion of that in order to leave it under the City Attorney’s jurisdiction.

4 **Voting Yes:** Planning Commission Vice-Chair Richards, Commissioner Slagowski,  
5 Commissioner Knight, Commissioner Jordan, Commissioner Broughton, Commissioner  
6 Royall.

7 **Voting No:** None.

8 The Motion Passed 6-0. Vice-Chairman Richards wished Mr. Peterson best of luck as  
9 he moved forward with the project. Mr. Peterson thanked the Commission as well and  
10 expressed he looked forward to continuing the project.

11 **4. Work Meeting: N/A**

12 **5. Administrative Items: N/A**

13 **6. Adjournment:**

14 **Motion:** Commissioner Knight moved to adjourn. Commissioner Royall made the  
15 second.

16 **Discussion: N/A**

17 **Voting Yes:** Planning Commission Vice-Chair Richards, Commissioner Slagowski,  
18 Commissioner Knight, Commissioner Jordan, Commissioner Broughton, Commissioner  
19 Royall.

20 **Voting No:** None.

21 The Motion Passed 6-0.

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23

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Meshelle Kijanen, Administrative Assisant



# Planning Commission Staff Report

<b>MEETING DATE:</b>	6/11/2024
<b>SUBJECT:</b>	Old Mill Village - Site Plan (Planner Larsen - Engineer Horrocks Engineering)
<b>RESPONSIBLE:</b>	Aubrey Larsen
<b>DEPARTMENT:</b>	Planning
<b>STRATEGIC RELEVANCE:</b>	Community Development

## SUMMARY

This application is for an amendment to the 15.09 acre Old Mill Village Subdivision, which was previously approved in 2022. The amendment addresses two equal-sized lots covering 1.96 acres along the east edge of the highway. Both lots were previously approved as a commercial subdivision. The application proposes that a 12- unit mixed use commercial development be permitted as an amendment to the approved subdivision plan.

## RECOMMENDATION

Staff recommends that the Planning Commission approve the Site Plan for Old Mill Village located at 2191 South Sawmill Boulevard, subject to findings and conditions.

## BACKGROUND

The application was reviewed at the DRM on February 21, 2024, at which time it was determined that the project met general requirements, although several issues were flagged by staff for revisions and additional clarification. The applicant has since provided additional information to address issues and provide clarification.

## DISCUSSION

**Parking:** The proposed project includes 83 parking spaces planned for commercial uses. There are 24 parking spaces in the garages for residential uses (two for each residential unit above). The project has a total of 107 parking spaces. The applicant indicates that since specific commercial uses are not presently known, the number of parking spaces required for each specific use will need to be reviewed during the building permit review process to ensure the use and available parking are aligned. It is anticipated that the project will have enough parking spaces, assuming there will be a

mix of office, retail and restaurant uses in the proposed commercial spaces.

**Density:** The applicant indicates that the approved and platted apartments and townhomes alone exceed the 8.86 ERU mentioned in the Civic Review report, and that the proposed amendment increases the ERU's per acre by approximately one ERU per acre. The applicant indicates that the apartments are less than 1,500 sf and have 2 bathrooms, which is equal to 0.75 ERU. The townhomes have 2.5 bathrooms, which equals 1.00 ERU. The residential units above the commercial are greater than 1,500 sf, which also equal 1.00 ERU.

**Affordable Housing Plan:** According to the applicant, the Old Mill Village development has 17 deed restricted townhomes and 8 deed restricted apartment units for affordable housing. These affordable housing units make up 23 ERU's or 13.7% of the amended project, thereby 10% affordable housing requirement for the entire project.

**Building Elevations:** Updated building elevations have been provided, clarifying that the materials meet code requirements.

## FISCAL IMPACT

## CONCLUSION

The Old Mill Village project was prepared in response to a Master Development Agreement (MDA) approved by the City Council on March 2, 2021.

Based on the review of the original application and subsequent revisions, staff recommends that the Planning Commission approve the Site Plan for Old Mill Village located at 2191 South Sawmill Boulevard, subject to the following findings and conditions:

### Findings:

1. The application is generally consistent with the General Plan.
2. The application is generally consistent with the Municipal Zoning Code and the MDA.

### Conditions:

1. Provide verification that the density/ERUs meet the approved MDA requirements , for review and approval by staff.
2. Provide an updated copy of the Affordable Housing Plan for review and approval by staff, verifying that the changes proposed are aligned with the agreed upon conditions.
3. All requirements of the City Engineer and Fire Department shall be met.
4. All other Code Requirements shall be met.

5. Any other conditions or changes as articulated by the Planning Commission.

## ALTERNATIVES

### Staff Recommended Option - Approval

I move to **approve** the item as presented, with the findings and conditions as presented in the conclusion above.

### Alternative 2 - Continuance

I move to **continue** the item to another meeting on , with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

### Alternative 3 - DENIAL

I move to **deny** the item with the following findings.

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## POTENTIAL MOTIONS

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## ACCOUNTABILITY

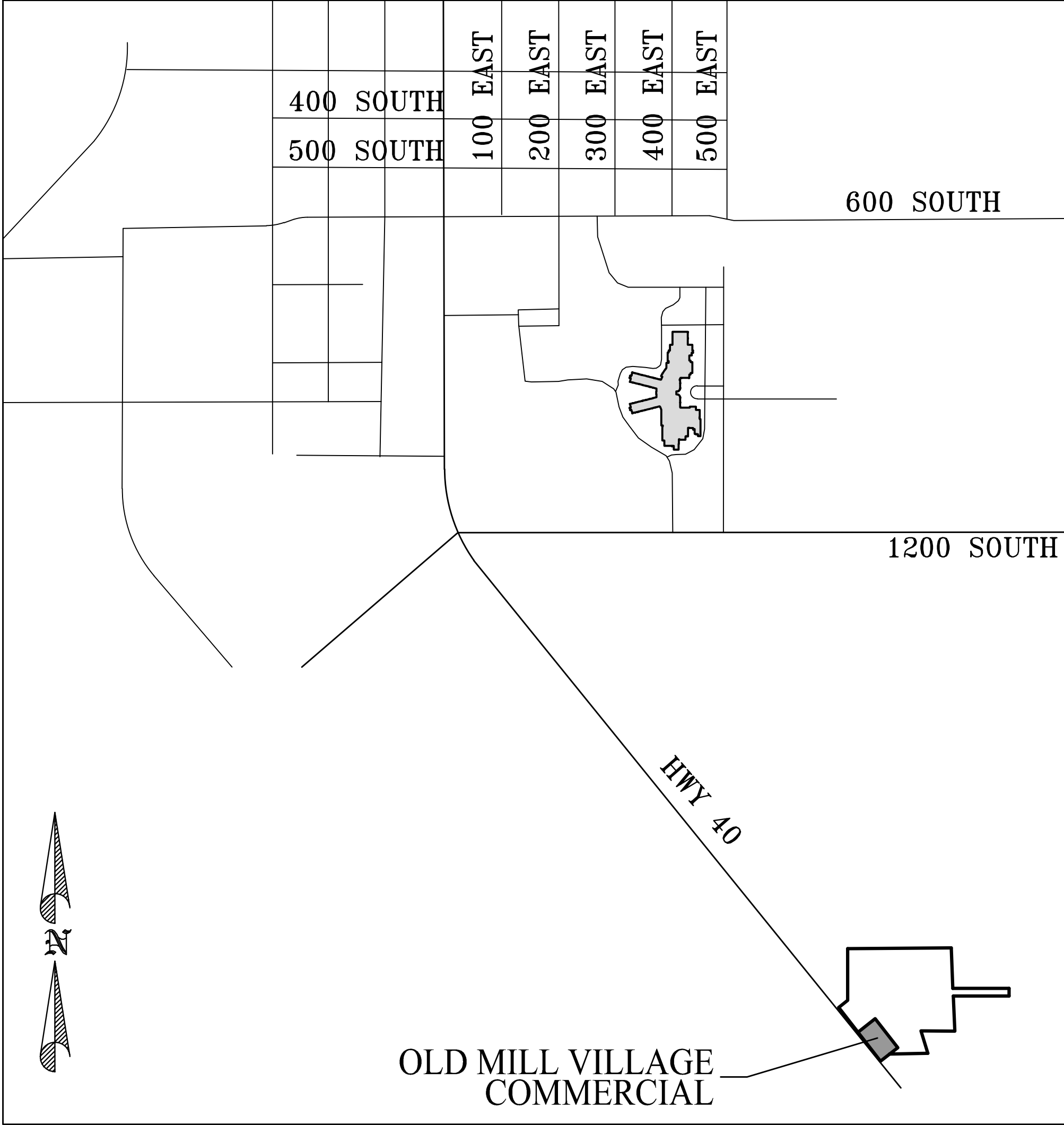
**Department:** Planning  
**Staff member:** Mark Vlastic, Planning Consultant

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## EXHIBITS

1. 1-OMV COMMERCIAL AMENDED FINAL APPLICATION PLAN\_7 MAY 2024
2. 2-Building Renderings\_Revised\_4-4-2024
3. 3-OMV Commerical Amended - Site Lighting\_Updated 03-08-2024

# OLD MILL VILLAGE COMMERCIAL SUBDIVISION PLAT AMENDMENT AND FINAL SITE PLAN APPLICATION



VICINITY MAP

**SHEET INDEX**

- C1. EXISTING CONDITIONS AND DEMOLITION PLAN
- C2. AMENDED SITE PLAN
- C3. OLD MILL VILLAGE COMMERCIAL SUBDIVISION AMENDED 2 PLATS
- C4. GRADING PLAN
- C5. PAVING AND GRADING DETAILS
- C6. OVERALL UTILITY PLAN
- C7. SEWER PLAN
- C8. SEWER CONSTRUCTION DETAILS
- C9. WATER PLAN
- C10. PRESSURIZED IRRIGATION PLAN
- C11. WATER AND PI DETAILS
- C12. STORM DRAIN PLAN AND PROFILE
- C13. STORM DRAIN DETAILS
- C14. STORM WATER POLLUTION PREVENTION PLAN

**LANDSCAPE PLANS**

- L1. LANDSCAPE PLAN
- L2. LANDSCAPE DETAILS
- L3. IRRIGATION PLAN
- L4. IRRIGATION DETAILS 1 OF 2
- L5. IRRIGATION DETAILS 2 OF 2

OLD MILL VILLAGE COMMERCIAL SUBDIVISION - FINAL APPLICATION - 7 MAY 2024

Info: N:\Users\jrb\... | Highway: 101 | Commercial Subdivision: 2024 (5/1) | Plot: 1000 | Cover: 1000 | Date: May 08, 2024 | Printed by: STACEY-PC

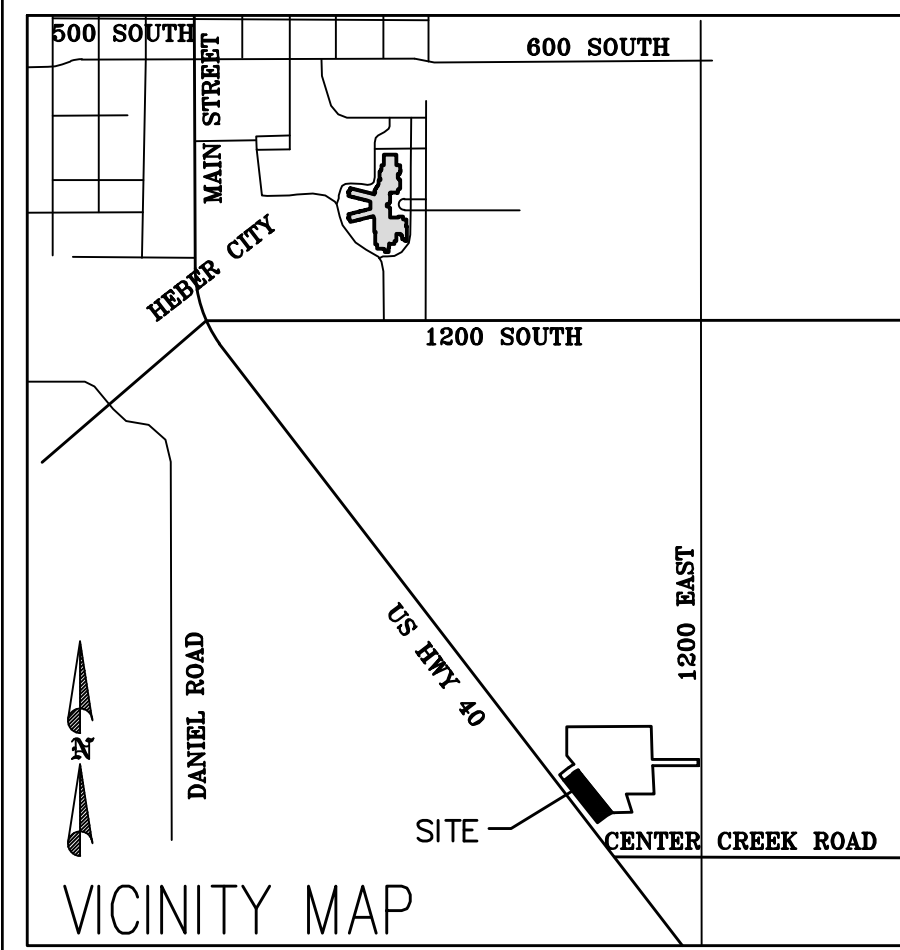
JURA HOLDINGS OLD MILL VILLAGE		
COVER SHEET		
 <small>380 E Main St. Suite 204 Midway, Ut 84049 ph 435.657.9749</small>		
DESIGN BY: PDB DRAWN BY: JNE	DATE: 7 MAY 2024 REV:	SHEET 0





# OLD MILL VILLAGE COMMERCIAL SUBDIVISION - AMENDED

## PLAT A



UNIT	ADDRESS
1	928 EAST HARPER LANE
2	932 EAST HARPER LANE
3	934 EAST HARPER LANE
4	936 EAST HARPER LANE
5	938 EAST HARPER LANE
6	942 EAST HARPER LANE

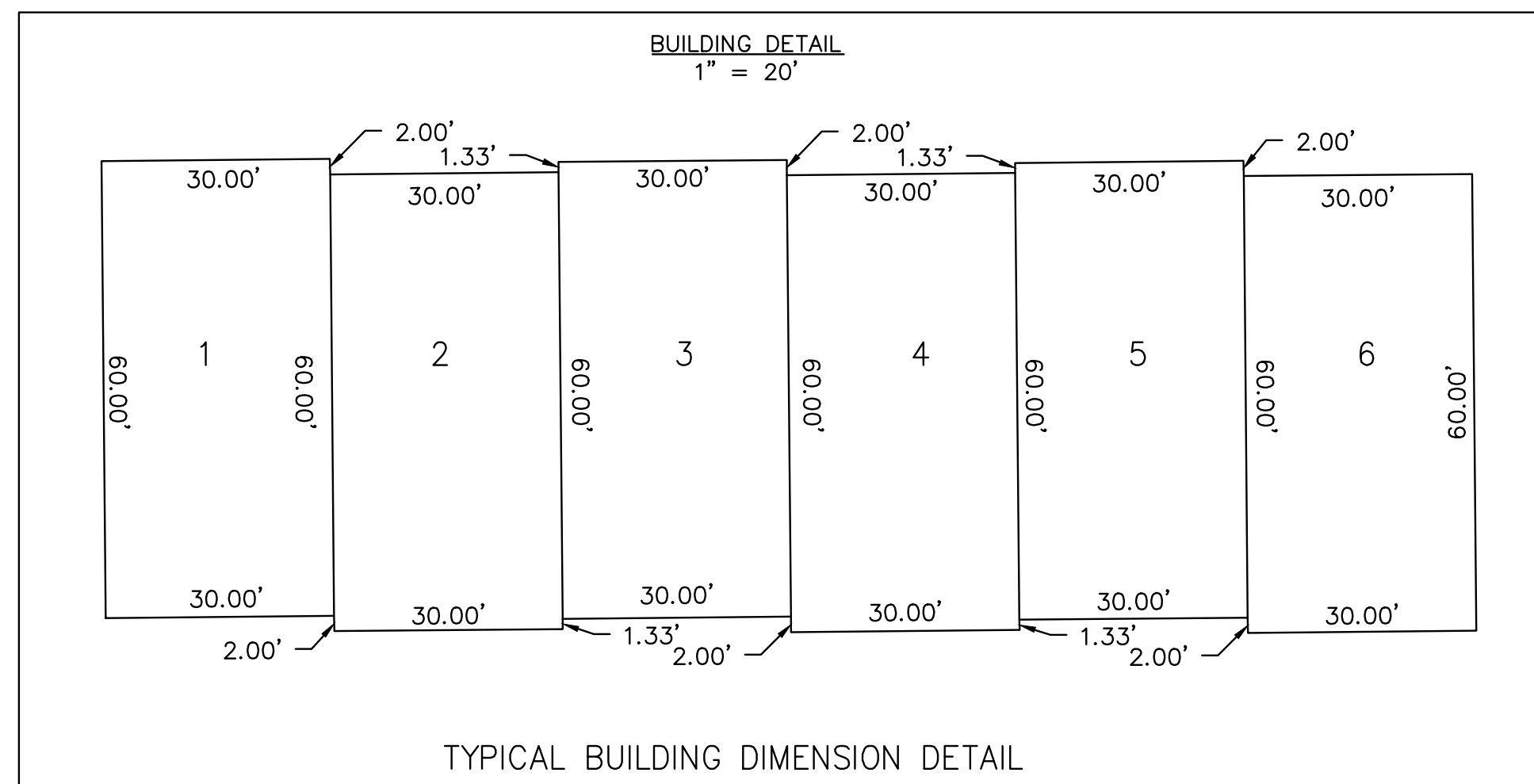
- PUBLIC UTILITY EASEMENT NOTE:**
- PUBLIC UTILITY EASEMENTS (PUE'S) ARE NOTED ON THE PLAT.
  - COMMON AREAS HAVE A BLANKET UTILITY EASEMENT DEDICATED TO HEBER CITY OVER THE ENTIRE AREA FOR THE PURPOSES OF INSTALLING AND MAINTAINING HEBER CITY UTILITIES.
  - HEBER CITY HAS THE RIGHT TO ACCESS AND REPAIR ALL PUBLIC UTILITIES. NO CHANGES TO TOPOGRAPHY, STRUCTURES, ABOVE OR BELOW GROUND ARE ALLOWED IN THE EASEMENT WITHIN 20 FEET OF UTILITY WITHOUT WRITTEN PERMISSION FROM HEBER CITY ENGINEER. ANY OBSTACLES ERRECTED WITHIN 20 FEET OF CITY UTILITY WILL BE REMOVED AT THE CURRENT PROPERTY OWNER'S EXPENSE.

- SHARED ACCESS AND PARKING NOTE:**
- UNITS 1 - 6 HAVE THE RIGHT TO USE HARPER LANE FOR INGRESS AND EGRESS.

- UTILITY NOTES:**
- HEBER CITY HAS THE RIGHT OF ACCESS THROUGH THE SEWER AND WATER EASEMENTS TO ACCESS, MAINTAIN, AND REPAIR CITY PUBLIC UTILITIES. COMMON AREAS HAVE A BLANKET UTILITY EASEMENT DEDICATED TO HEBER CITY OVER THE ENTIRE AREA FOR THE PURPOSES OF INSTALLING AND MAINTAINING HEBER CITY UTILITIES. NO CHANGES TO TOPOGRAPHY, STRUCTURES, ABOVE OR BELOW GROUND ARE ALLOWED IN EASEMENTS WITHOUT WRITTEN PERMISSION FROM HEBER CITY ENGINEER. ANY OBSTACLES ERRECTED WITHIN THESE EASEMENTS WITHOUT WRITTEN PERMISSION WILL BE REMOVED AT THE CURRENT PROPERTY OWNERS EXPENSE.
  - ALL STORM DRAIN UTILITIES AND THEIR MAINTENANCE WITHIN PRIVATE PROPERTY SHALL BE THE RESPONSIBILITY OF PROPERTY OWNER.
  - ALL SEWER LATERALS AND THEIR MAINTENANCE TO THE PUBLIC SEWER MAIN SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  - ALL CULINARY WATER AND SECONDARY WATER SERVICES AND THEIR MAINTENANCE TO THE WATER METER OR SERVICE VAULT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**PLAT AMENDMENT NOTES:**

- LOT 1 & 2 HAVE BEEN REMOVED AND REPLACED BY PLATS A AND B WITH COMMERCIAL UNITS, LIMITED COMMON AND COMMON AREA.
- PUBLIC UTILITY EASEMENTS HAVE BEEN AMENDED.



Curve #	Length	Radius	Delta	Cd. Length	Cd. Bearing
C1	27.76'	26.00'	061°10'06"	26.46'	N21°25'31"E
C2	59.39'	292.00'	011°39'09"	59.28'	N57°50'08"E
C3	6.90'	25.00'	015°49'26"	6.88'	S46°45'15"E

Line #	Length	Direction
L1	89.94'	N52°00'34"E
L2	98.00'	N77°11'13"E
L3	48.69'	S08°23'33"E

- LEGEND**
- PRIVATE (0.25 ACRES)
  - LIMITED COMMON (0.08 ACRES)
  - COMMON (0.71 ACRES)

**SEWER AND WATER EASEMENT NOTE:**  
25' SEWER AND WATER EASEMENT IS RECORDED AS ENTRY 515460, BOOK 1398, PAGE 191-192 OF THE WASATCH COUNTY RECORDS.

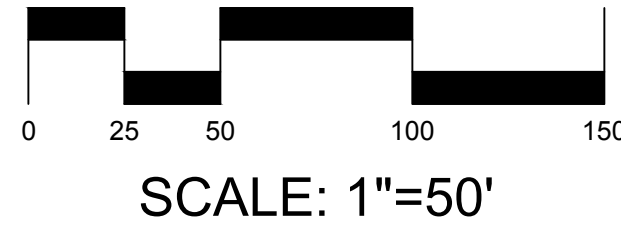
FOUND WASATCH COUNTY BRASS CAP MARKING THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN

N 00°15'52" W 2667.76' (MEASURED) BASIS OF BEARING

FOUND WASATCH COUNTY BRASS CAP MARKING THE SOUTHEAST CORNER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN

**NOTES FOR PLATS WITH COMMON AREA**

- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S."



OLD MILL VILLAGE COMMERCIAL AMENDED - 7 MAY 2024

**SURVEYOR**  
TROY L TAYLOR, PLS  
ELEMENT LAND SURVEYING  
2296 SOUTH 270 EAST  
HEBER CITY, UT 84032  
PHONE (801) 657-8748

DATE OF SURVEY: JULY 2019

**PLANNING DIRECTOR**  
APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
\_\_\_\_\_  
PLANNING DIRECTOR

**CITY ENGINEER**  
APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
\_\_\_\_\_  
CITY ENGINEER

**WASATCH CO. FIRE DISTRICT**  
APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
\_\_\_\_\_  
FIRE CHIEF

**CITY ATTORNEY**  
APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
\_\_\_\_\_  
CITY ATTORNEY

**COUNTY SURVEYOR**  
APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
\_\_\_\_\_  
COUNTY SURVEYOR

**SURVEYOR'S CERTIFICATE**

I, THE UNDERSIGNED SURVEYOR, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD A LICENSE (NUMBER SHOWN BELOW) IN ACCORDANCE WITH UTAH CODE TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT, BY AUTHORITY OF THE OWNERS, I HAVE COMPLETED SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-17. HAVE VERIFIED ALL MEASUREMENTS, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, TOGETHER WITH EASEMENTS, AND HAVE PLACED MONUMENTS ON THE GROUND AS REPRESENTED ON THE PLAT. I ALSO CERTIFY THAT I HAVE FILED WITH THE WASATCH COUNTY SURVEYOR, PURSUANT TO STATE LAW, A MAP OF THE SURVEY I COMPLETED.

**BOUNDARY DESCRIPTION**

BEGINNING AT A POINT WHICH IS NORTH 00°15'52" WEST ALONG THE SECTION LINE 690.49 FEET AND WEST 1063.71 FEET FROM THE SOUTHEAST CORNER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN;

THENCE SOUTH 52°00'34" WEST 176.42 FEET; THENCE NORTH 37°59'26" WEST 246.71 FEET; THENCE ALONG THE ARC OF A 26.00 FOOT RADIUS TO THE RIGHT 27.76 FEET (CENTRAL ANGLE OF 61°10'06" AND A CHORD BEARING NORTH 21°25'31" EAST 26.46 FEET); THENCE NORTH 52°00'34" EAST 89.94 FEET; THENCE ALONG THE ARC OF A 292.00 FOOT RADIUS TO THE RIGHT 59.39 FEET (CENTRAL ANGLE OF 11°39'09" AND A CHORD BEARING NORTH 57°50'08" EAST 59.28 FEET); THENCE ALONG THE ARC OF A 25.00 FOOT RADIUS TO THE RIGHT 6.90 FEET (CENTRAL ANGLE OF 15°49'26" AND A CHORD BEARING SOUTH 46°45'15" EAST 6.88 FEET); THENCE SOUTH 38°50'32" EAST 247.37 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1.04 ACRES

ACRES: 1.04, # OF UNITS 6, # OF PARCELS 6, SURVEYOR'S SEAL

**OWNER'S DEDICATION**

THE UNDERSIGNED OWNER(S) OF THE ABOVE-DESCRIBED TRACT OF LAND HAS/HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

**OLD MILL VILLAGE COMMERCIAL SUBDIVISION-AMENDED PLAT A**

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. THE UNDERSIGNED OWNER(S), AGENTS, SUCCESSORS, AND ASSIGNS SHALL VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE UNDERSIGNED OWNER(S), AGENTS, SUCCESSORS, AND ASSIGNS ALSO HEREBY CONVEY ANY OTHER EASEMENTS, AS SHOWN AND/OR NOTED ON THIS PLAT, TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN AND/OR NOTED HEREON. THE CITY ASSUMES NO LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

SIGNATURE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ TITLE & ENTRY \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ TITLE & ENTRY \_\_\_\_\_

**OWNER'S ACKNOWLEDGMENT**

STATE OF UTAH } S.S.  
COUNTY OF UTAH }  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES).

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC FULL NAME: \_\_\_\_\_  
COMMISSION NUMBER: \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH

**APPROVAL BY LEGISLATIVE BODY**

THE CITY COUNCIL OF HEBER CITY, COUNTY OF WASATCH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

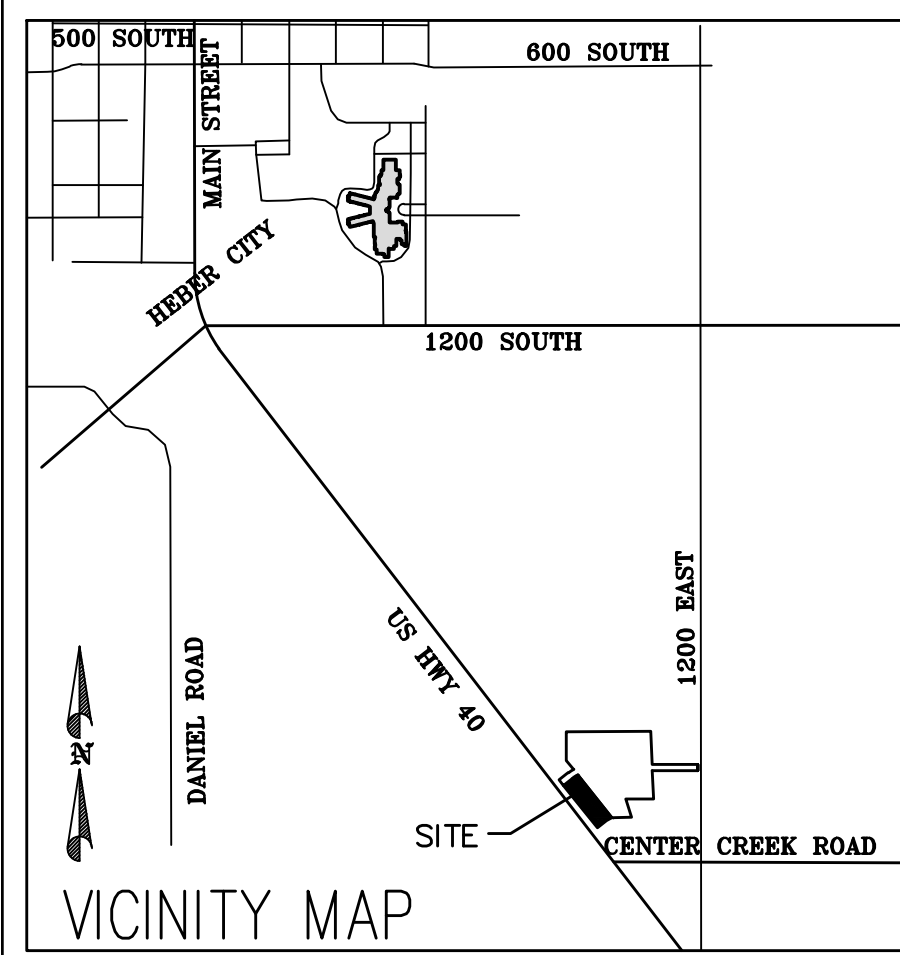
MAYOR \_\_\_\_\_ DATE \_\_\_\_\_ RECORDER'S SEAL

**OLD MILL VILLAGE COMMERCIAL SUBDIVISION-AMENDED PLAT A**

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8 TOWNSHIP 4 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.

# OLD MILL VILLAGE COMMERCIAL SUBDIVISION – AMENDED

## PLAT B



UNIT	ADDRESS
7	948 EAST HARPER LANE
8	952 EAST HARPER LANE
9	954 EAST HARPER LANE
10	956 EAST HARPER LANE
11	958 EAST HARPER LANE
12	962 EAST HARPER LANE

### PUBLIC UTILITY EASEMENT NOTE:

- PUBLIC UTILITY EASEMENTS (PUE'S) ARE NOTED ON THE PLAT.
- COMMON AREAS HAVE A BLANKET UTILITY EASEMENT DEDICATED TO HEBER CITY OVER THE ENTIRE AREA FOR THE PURPOSES OF INSTALLING AND MAINTAINING HEBER CITY UTILITIES.
- HEBER CITY HAS THE RIGHT TO ACCESS AND REPAIR ALL PUBLIC UTILITIES. NO CHANGES TO TOPOGRAPHY, STRUCTURES, ABOVE OR BELOW GROUND ARE ALLOWED IN THE EASEMENT WITHIN 20 FEET OF UTILITY WITHOUT WRITTEN PERMISSION FROM HEBER CITY ENGINEER. ANY OBSTACLES ERECTED WITHIN 20 FEET OF CITY UTILITY WILL BE REMOVED AT THE CURRENT PROPERTY OWNER'S EXPENSE.

### SHARED ACCESS AND PARKING NOTE:

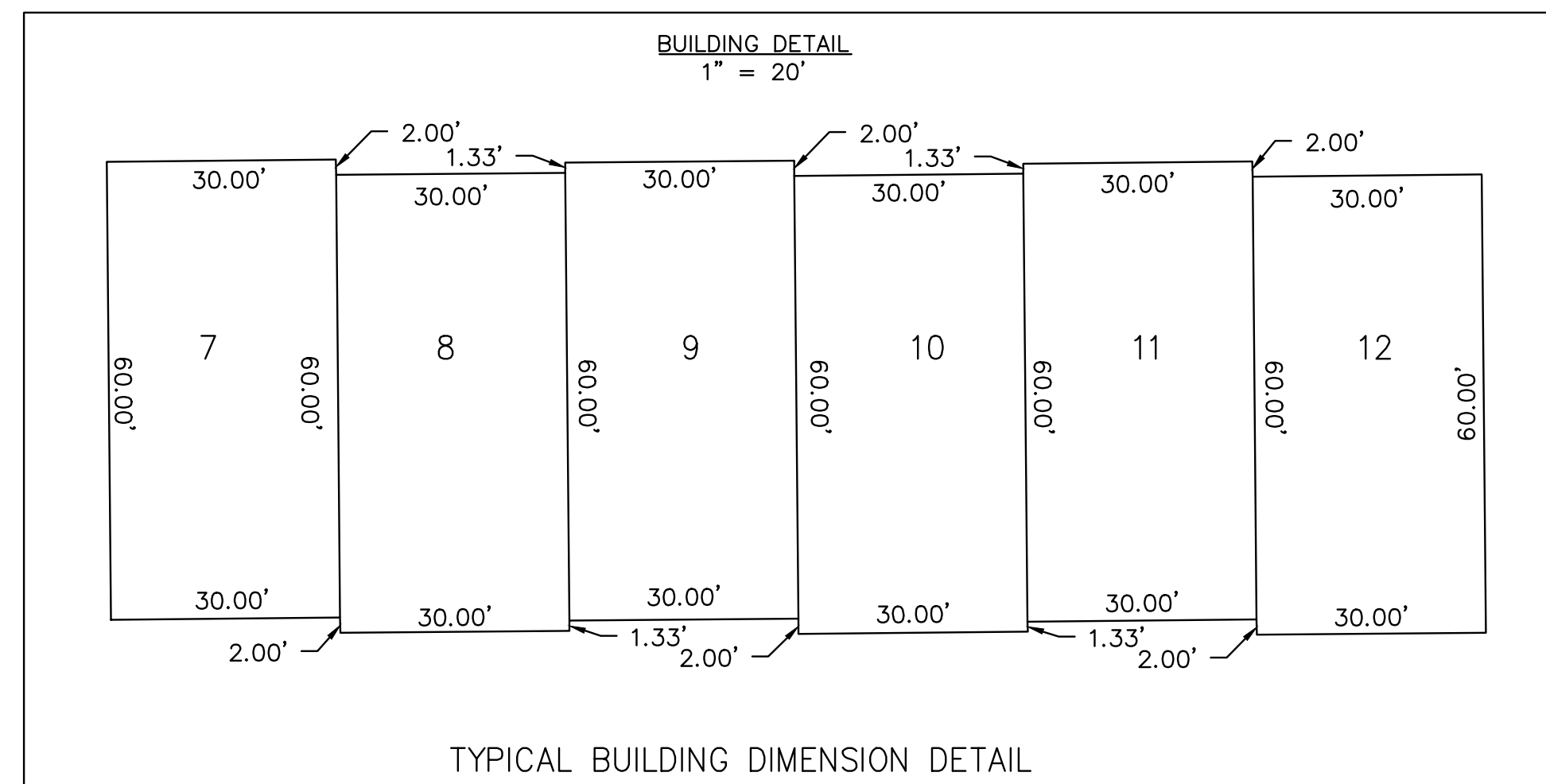
- UNITS 7 – 12 HAVE THE RIGHT TO USE HARPER LANE FOR INGRESS AND EGRESS.

### UTILITY NOTES:

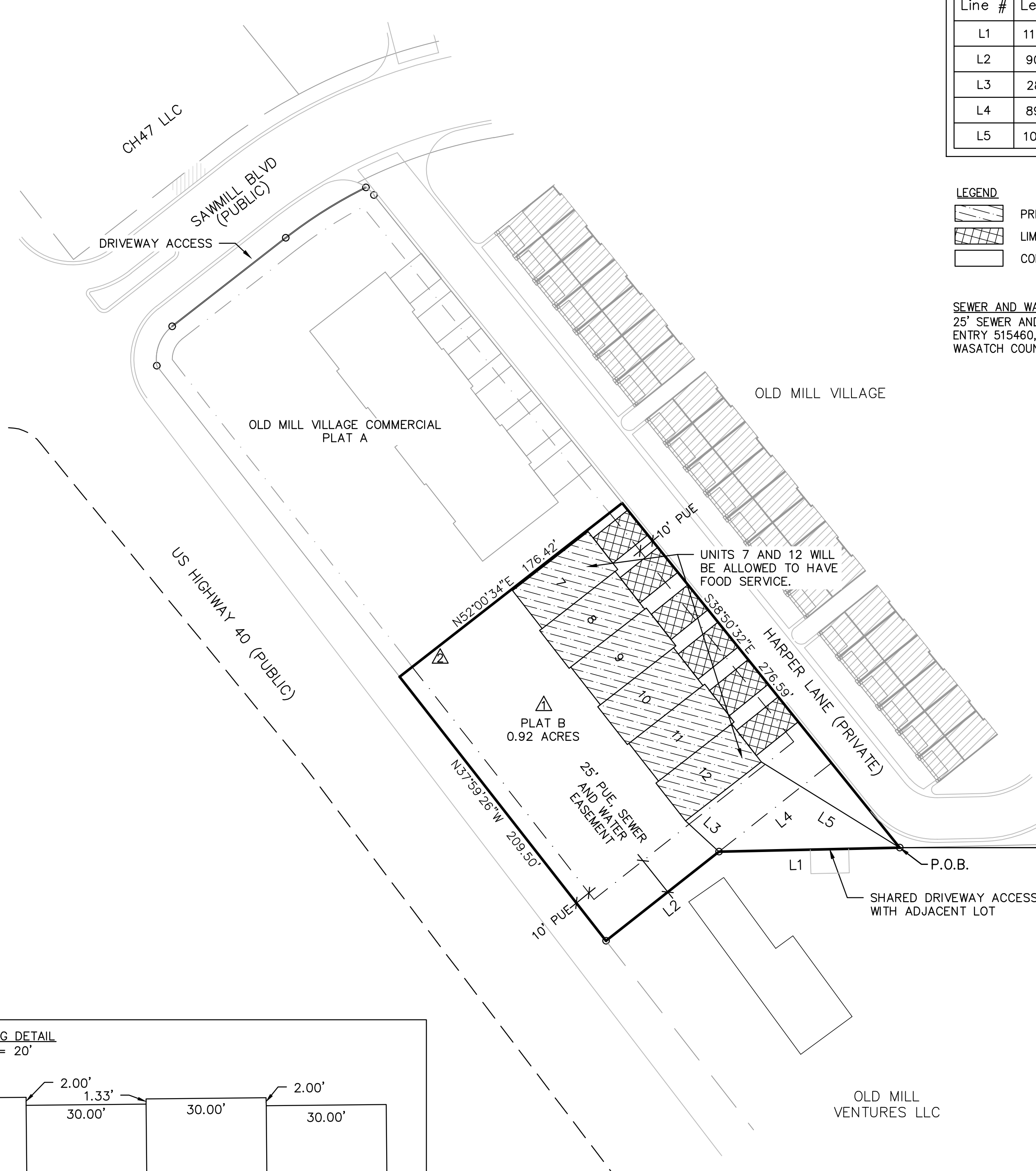
- HEBER CITY HAS THE RIGHT OF ACCESS THROUGH THE SEWER AND WATER EASEMENTS TO ACCESS, MAINTAIN, AND REPAIR CITY PUBLIC UTILITIES. COMMON AREAS HAVE A BLANKET UTILITY EASEMENT DEDICATED TO HEBER CITY OVER THE ENTIRE AREA FOR THE PURPOSES OF INSTALLING AND MAINTAINING HEBER CITY UTILITIES. NO CHANGES TO TOPOGRAPHY, STRUCTURES, ABOVE OR BELOW GROUND ARE ALLOWED IN EASEMENTS WITHOUT WRITTEN PERMISSION FROM HEBER CITY ENGINEER. ANY OBSTACLES ERECTED WITHIN THESE EASEMENTS WITHOUT WRITTEN PERMISSION WILL BE REMOVED AT THE CURRENT PROPERTY OWNER'S EXPENSE.
- ALL STORM DRAIN UTILITIES AND THEIR MAINTENANCE WITHIN PRIVATE PROPERTY SHALL BE THE RESPONSIBILITY OF PROPERTY OWNER.
- ALL SEWER LATERALS AND THEIR MAINTENANCE TO THE PUBLIC SEWER MAIN SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL CULINARY WATER AND SECONDARY WATER SERVICES AND THEIR MAINTENANCE TO THE WATER METER OR SERVICE VAULT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

### PLAT AMENDMENT NOTES:

- ▲ LOT 1 & 2 HAVE BEEN REMOVED AND REPLACED BY PLATS A AND B WITH COMMERCIAL UNITS, LIMITED COMMON AND COMMON AREA.
- ▲ PUBLIC UTILITY EASEMENTS HAVE BEEN AMENDED.



SURVEYOR  
TROY L TAYLOR, PLS  
ELEMENT LAND SURVEYING  
2296 SOUTH 270 EAST  
HEBER CITY, UT 84032  
PHONE (801) 657-8748  
DATE OF SURVEY: JULY 2019



Line #	Length	Direction
L1	112.93'	S88°43'29"W
L2	90.00'	S51°42'49"W
L3	28.41'	N47°20'55"W
L4	89.52'	N51°42'49"E
L5	101.80'	N58°11'14"W

LEGEND	DESCRIPTION
[Hatched Box]	PRIVATE (0.25 ACRES)
[Dotted Box]	LIMITED COMMON (0.08 ACRES)
[White Box]	COMMON (0.59 ACRES)

SEWER AND WATER EASEMENT NOTE:  
25' SEWER AND WATER EASEMENT IS RECORDED AS ENTRY 515460, BOOK 1398, PAGE 191-192 OF THE WASATCH COUNTY RECORDS.

FOUND WASATCH COUNTY BRASS CAP MARKING THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN

N 00°15'52" W 2667.76' (MEASURED) BASIS OF BEARING

### NOTES FOR PLATS WITH COMMON AREA

- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S."

### COUNTY RECORDER

### BASIS OF BEARINGS

THE BASIS OF BEARING IS SOUTH 00°15'52" EAST BETWEEN THE FOUND EAST QUARTER CORNER AND THE FOUND SOUTHEAST CORNER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN.

### COUNTY SURVEYOR

APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
COUNTY SURVEYOR

### SURVEYOR'S CERTIFICATE

I, THE UNDERSIGNED SURVEYOR, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD A LICENSE (NUMBER SHOWN BELOW) IN ACCORDANCE WITH UTAH CODE TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT, BY AUTHORITY OF THE OWNERS, I HAVE COMPLETED SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, TOGETHER WITH EASEMENTS, AND HAVE PLACED MONUMENTS ON THE GROUND AS REPRESENTED ON THE PLAT. I ALSO CERTIFY THAT I HAVE FILED WITH THE WASATCH COUNTY SURVEYOR, PURSUANT TO STATE LAW, A MAP OF THE SURVEY I COMPLETED.

### BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS NORTH 00°15'52" WEST ALONG THE SECTION LINE 475.07 FEET AND WEST 891.23 FEET FROM THE SOUTHEAST CORNER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN;

THENCE SOUTH 88°43'29" WEST 112.93 FEET; THENCE SOUTH 51°42'49" WEST 90.00 FEET; THENCE NORTH 37°59'26" WEST 209.50 FEET; THENCE NORTH 52°00'34" EAST 176.42 FEET; THENCE SOUTH 38°50'32" EAST 276.59 FEET TO THE POINT OF BEGINNING.

CONTAINING: 0.92 ACRES

ACRES: 0.92, # OF UNITS 6, # OF PARCELS 6, SURVEYOR'S SEAL

### OWNER'S DEDICATION

THE UNDERSIGNED OWNER(S) OF THE ABOVE-DESCRIBED TRACT OF LAND HAS/HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

## OLD MILL VILLAGE COMMERCIAL SUBDIVISION-AMENDED PLAT B

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. THE UNDERSIGNED OWNER(S), AGENTS, SUCCESSORS, AND ASSIGNS SHALL VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE UNDERSIGNED OWNER(S), AGENTS, SUCCESSORS, AND ASSIGNS ALSO HEREBY CONVEY ANY OTHER EASEMENTS, AS SHOWN AND/OR NOTED ON THIS PLAT, TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN AND/OR NOTED HEREON. THE CITY ASSUMES NO LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

SIGNATURE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ TITLE & ENTRY \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ TITLE & ENTRY \_\_\_\_\_

### OWNER'S ACKNOWLEDGMENT

STATE OF UTAH }  
COUNTY OF UTAH } S.S.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES).

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC FULL NAME: \_\_\_\_\_  
COMMISSION NUMBER: \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH

### APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF HEBER CITY, COUNTY OF WASATCH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

MAYOR \_\_\_\_\_ DATE \_\_\_\_\_ RECORDER'S SEAL

## OLD MILL VILLAGE COMMERCIAL SUBDIVISION-AMENDED PLAT B

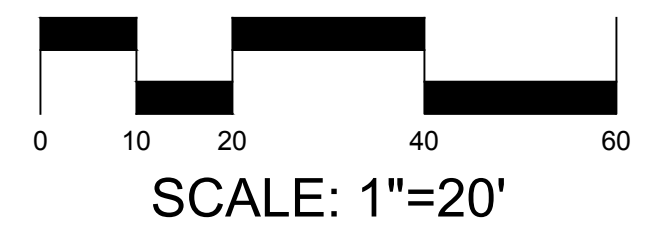
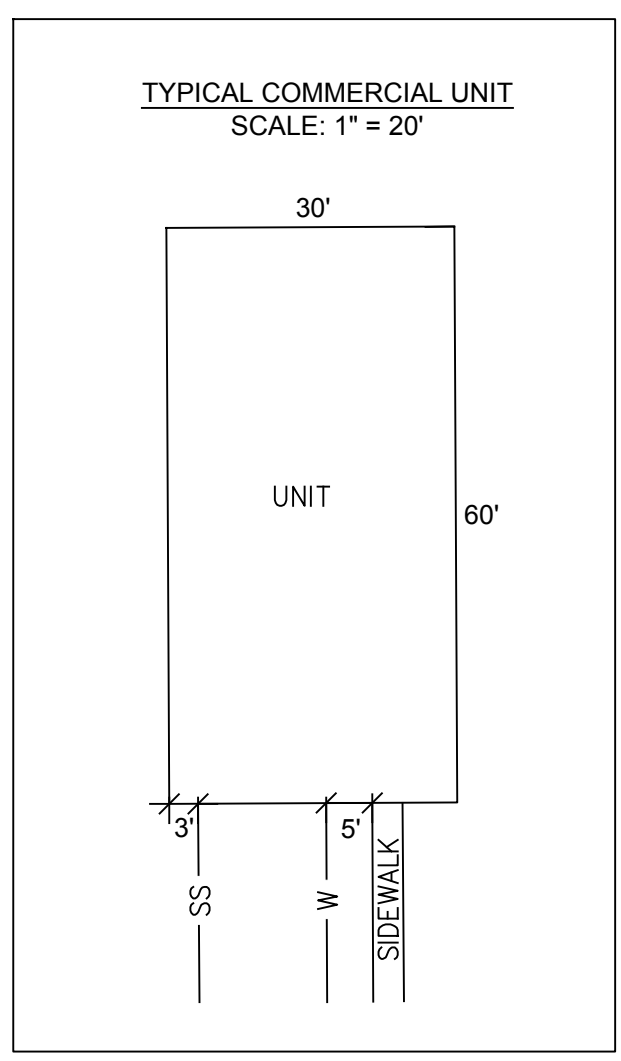
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8 TOWNSHIP 4 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.



- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
  - ALL GRADING AND PAVING SHALL COMPLY WITH HEBER CITY STANDARDS AND SPECIFICATIONS AND THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

SEE SHEET C12-STORM DRAIN PLAN FOR 100 YEAR OVERFLOW INFORMATION

US HIGHWAY 40



STATE OF UTAH  
 PROFESSIONAL ENGINEER  
*Paul D. Berg*  
 7 May 2024  
 HEBER CITY ENGINEER ACCEPTANCE  
 \_\_\_\_\_  
 RUSSELL FUNK      DATE

JURA HOLDINGS  
 OLD MILL VILLAGE  
 GRADING PLAN

BERG ENGINEERING  
 380 E Main St. Suite 204  
 Midway, Ut 84049  
 ph 435.657.9749

DESIGN BY: PDB      DATE: 7 MAY 2024  
 DRAWN BY: SW      REV: \_\_\_\_\_

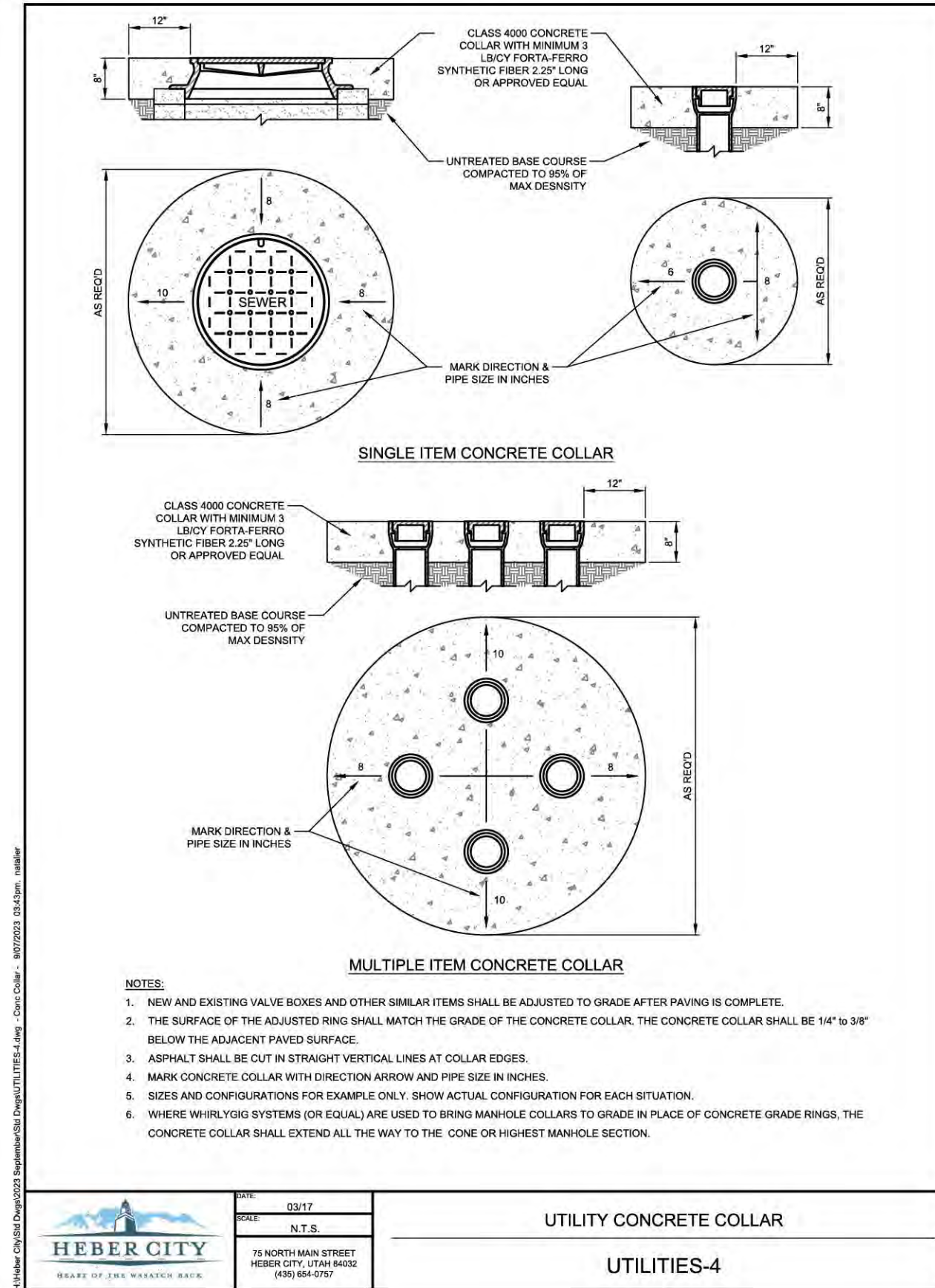
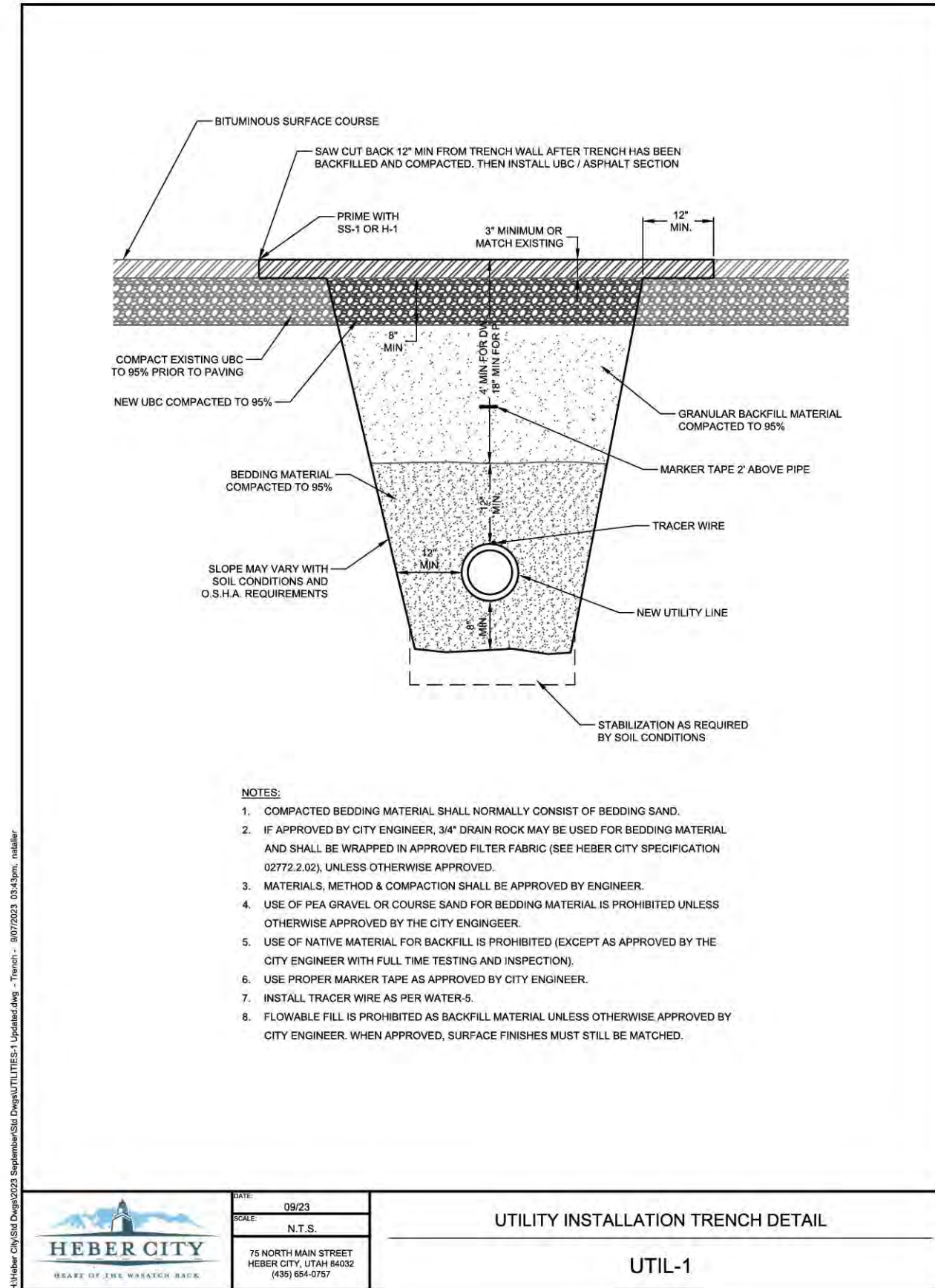
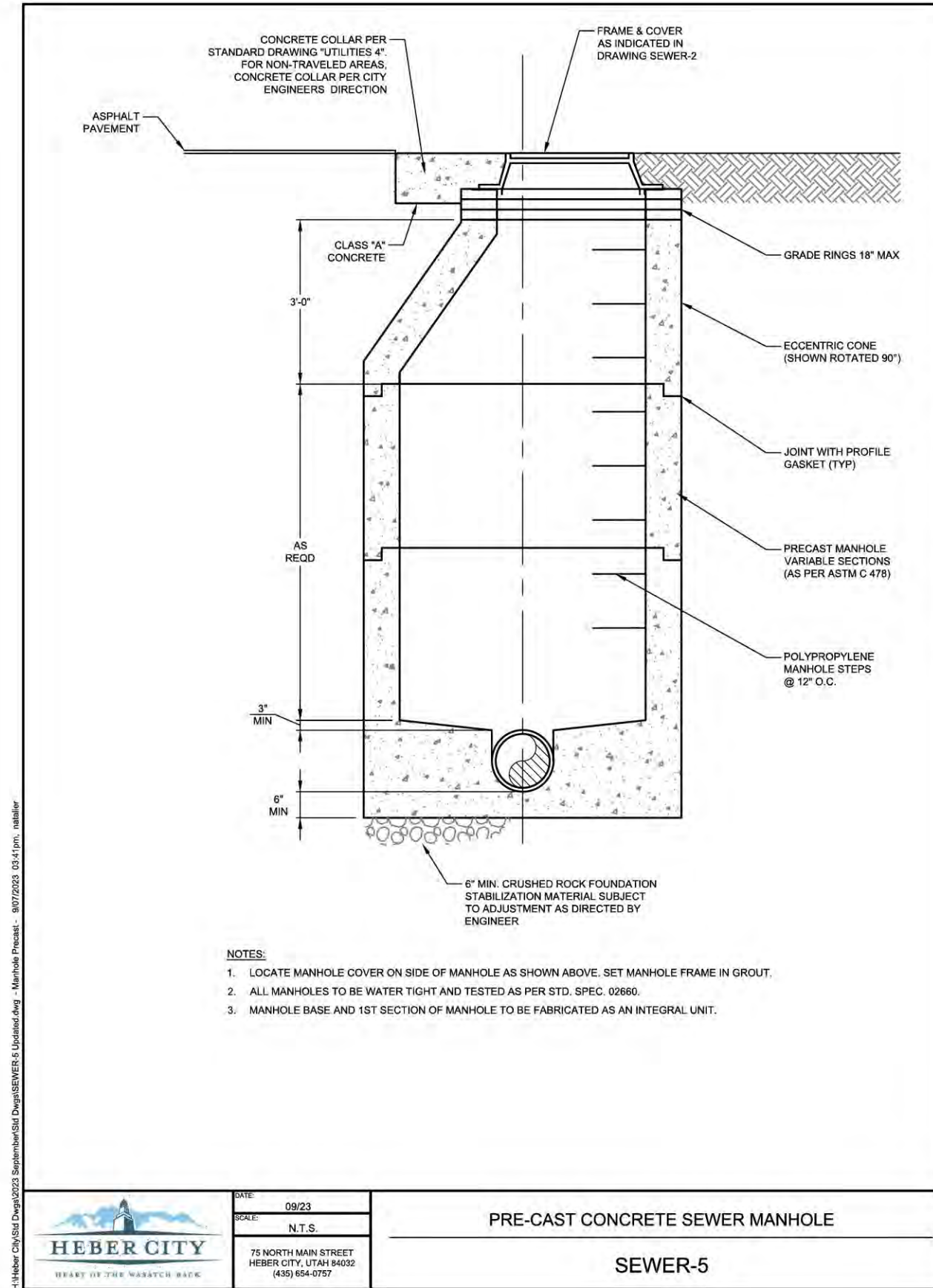
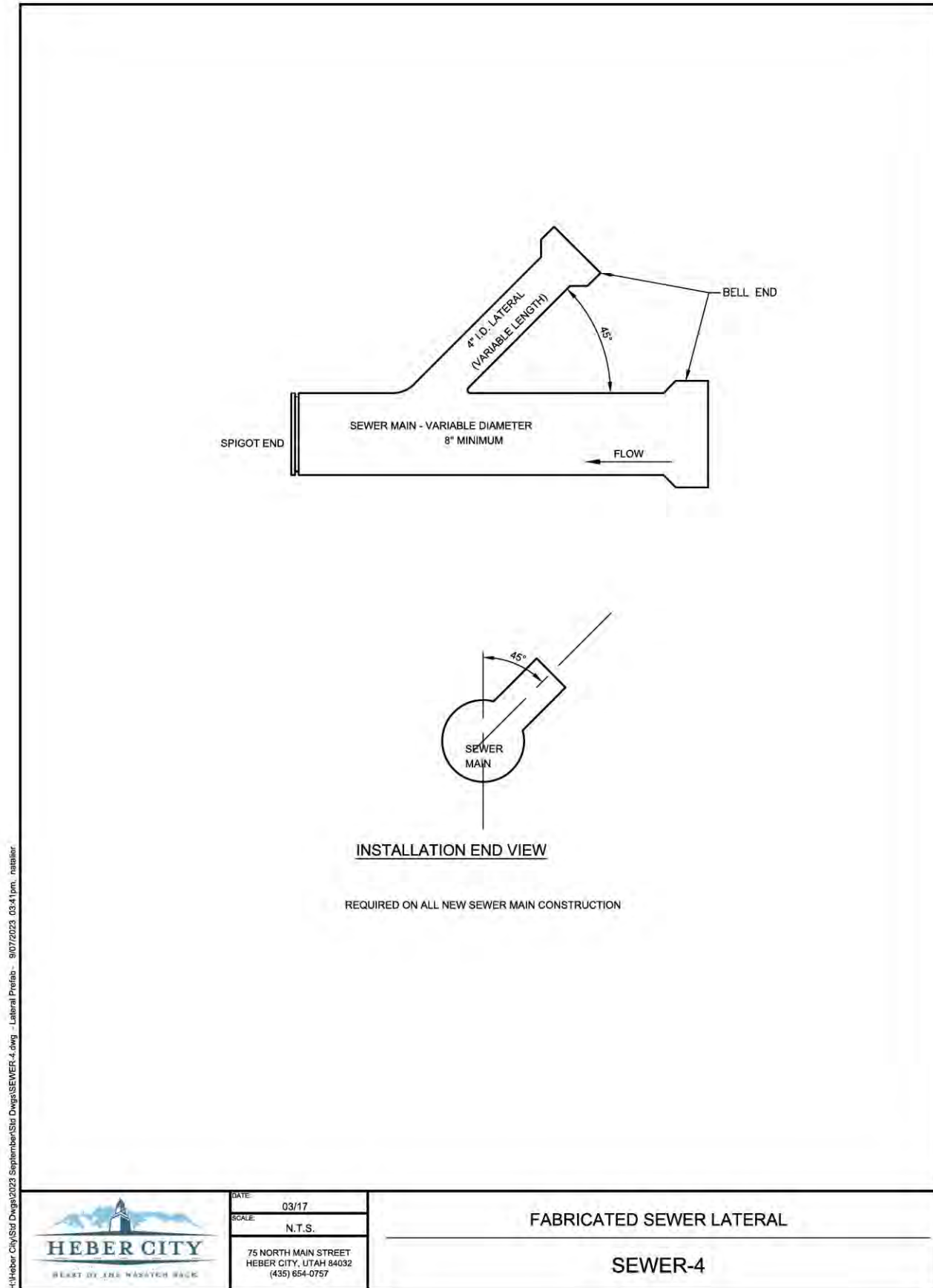
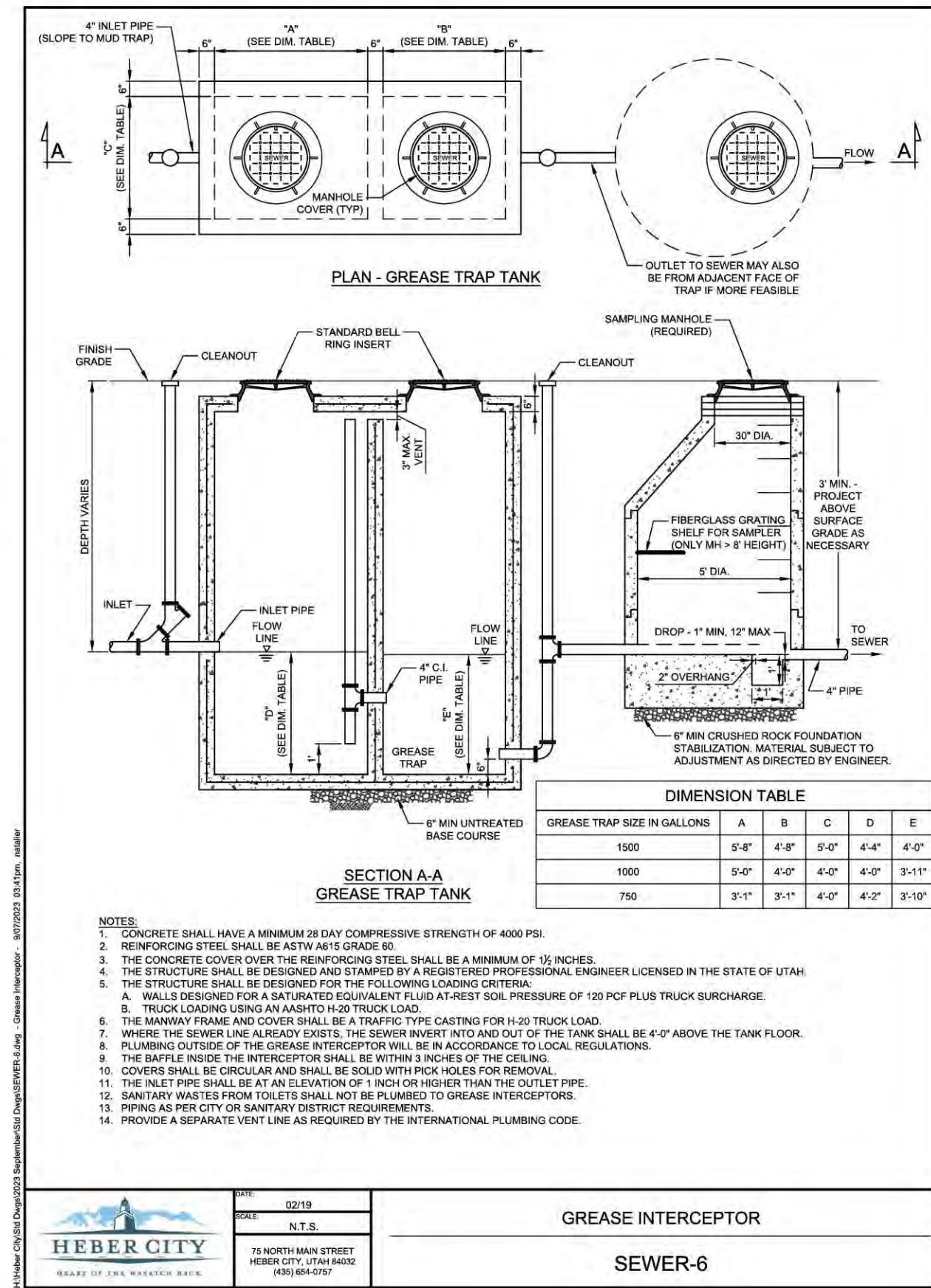
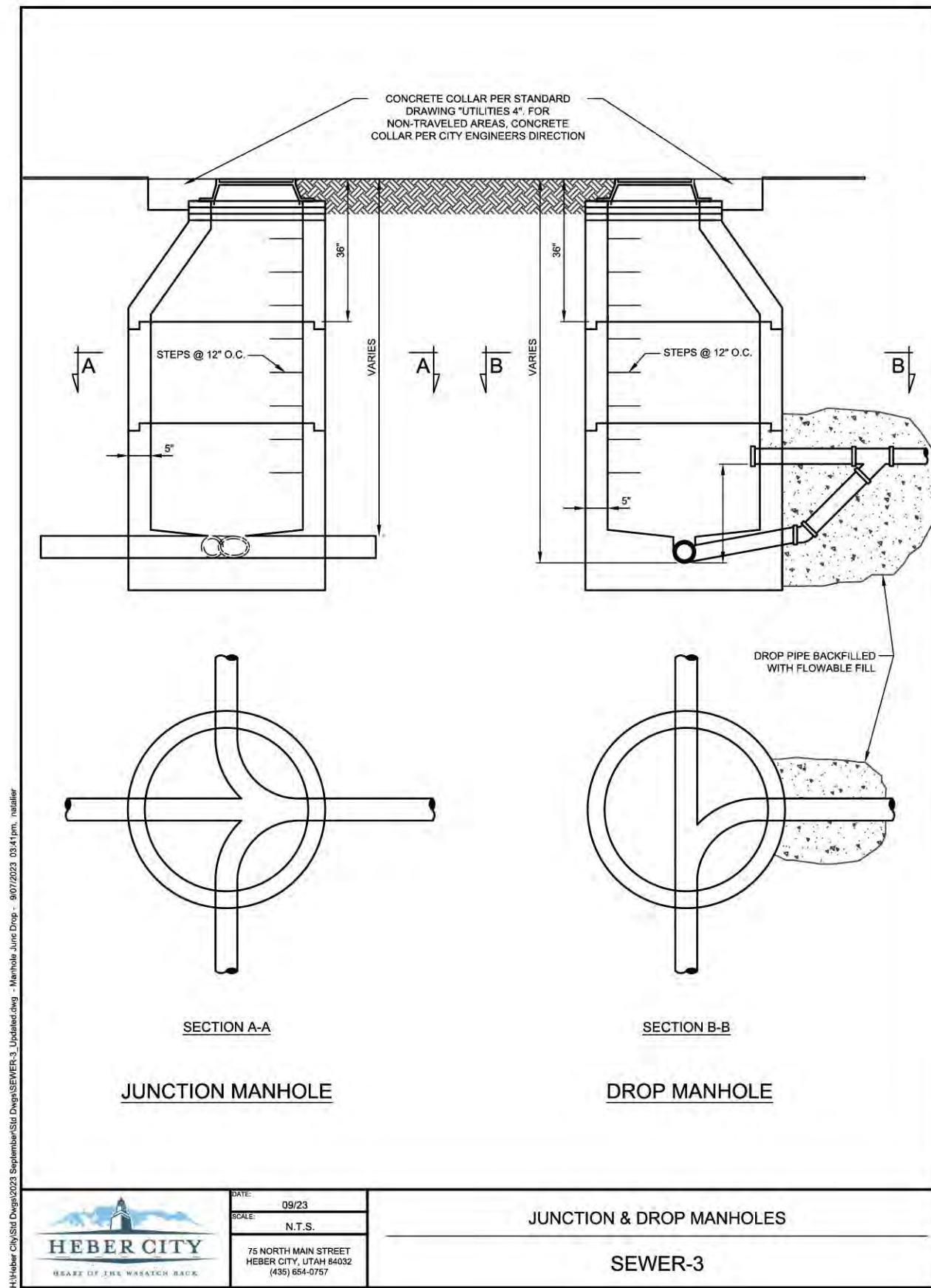
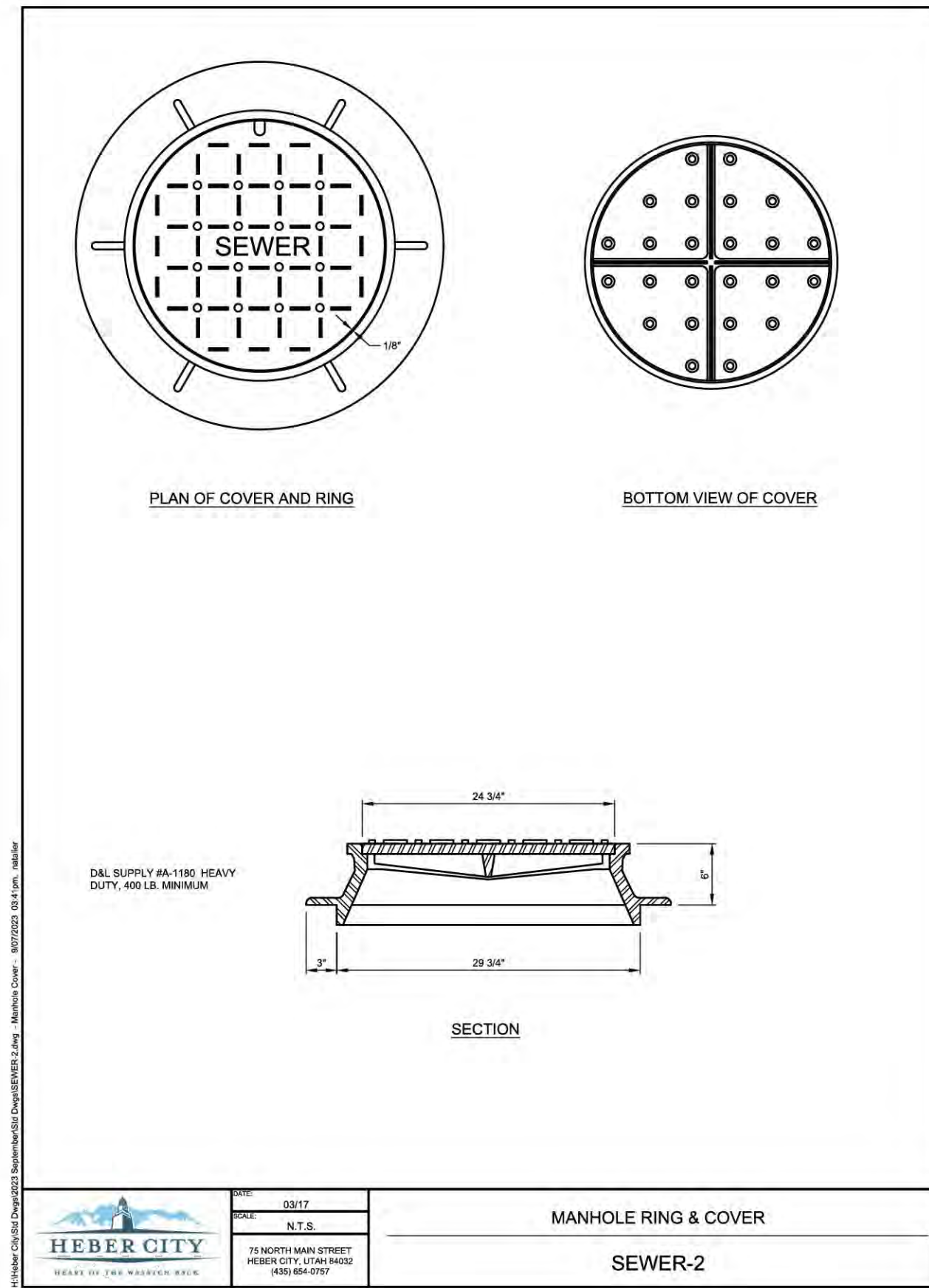
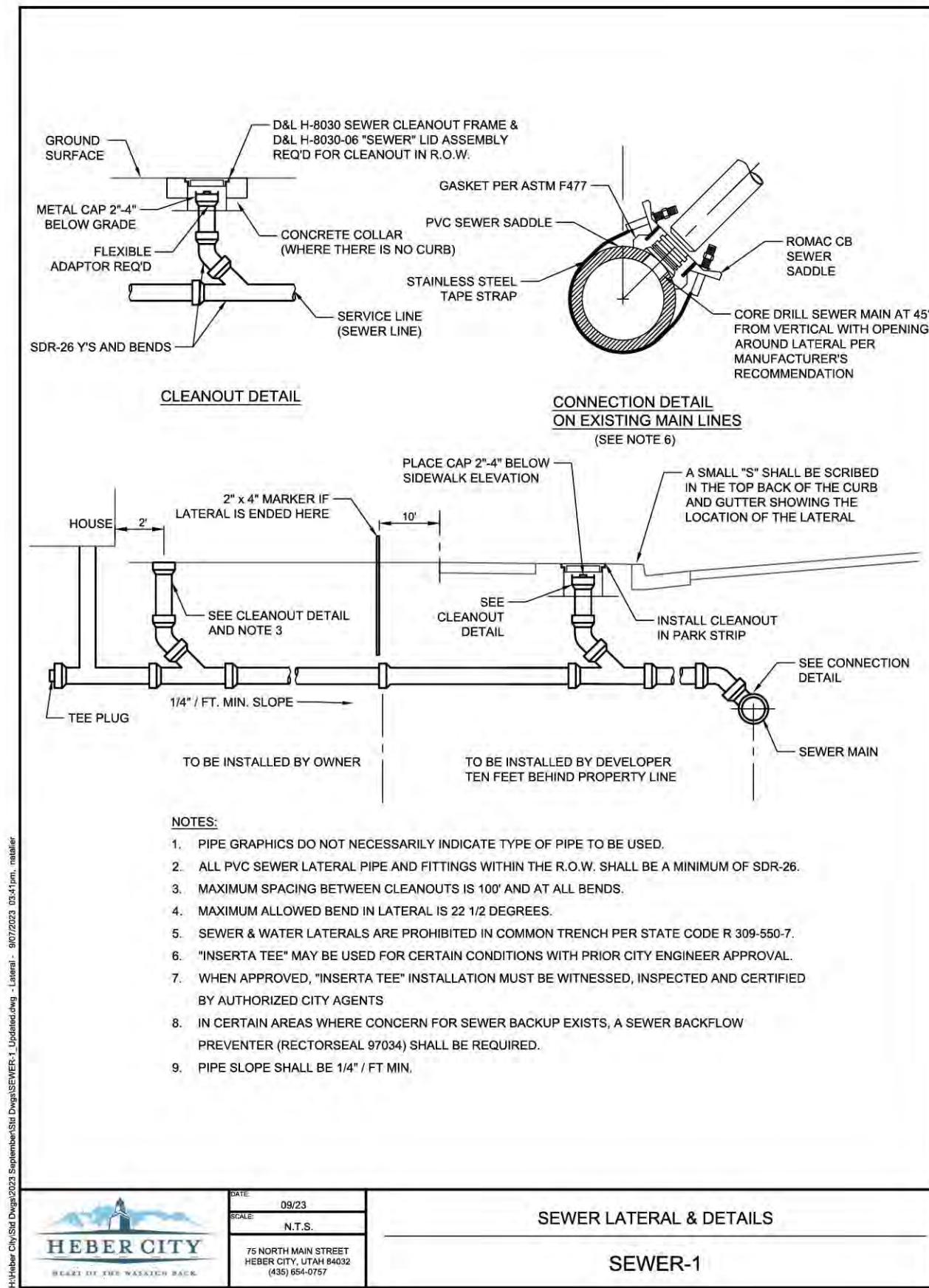
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 Plot date: May 13, 2024  
 Plotted by: STACEY-PC









HEBER CITY ENGINEER ACCEPTANCE

RUSSELL FUNK DATE

JURA HOLDINGS  
OLD MILL VILLAGE  
SEWER CONSTRUCTION  
DETAILS

**BERG ENGINEERING**  
380 E Main St, Suite 204  
Midway, Ut 84049  
ph 435.657.9749

DESIGN BY: PDB DATE: 7 MAY 2024  
DRAWN BY: SW REV: SHEET C8

path: x:\velvet\blue - highway 40\Commodore Submittals\_2023\Drawn file name: CDR\_BERG\_UTIL\_DETAILS.dwg plot date: May 07, 2024 plotted by: STACEY-PC



- LEGEND**
- EX8"SS — EXISTING 8" SEWER
  - 4"SS — PROPOSED 4" SEWER LATERAL
  - 6"SS — PROPOSED 6" SEWER
  - EXW — EXISTING WATER
  - 1"WTR — PROPOSED 1" WATER SERVICE
  - FL — PROPOSED 4" WATER FIRE SERVICE
  - 8"WTR — PROPOSED 8" WATER
  - EXP1 — EXISTING PRESSURIZED IRRIGATION
  - PI — PROPOSED PRESSURIZED IRRIGATION
  - EXSD — EXISTING STORM DRAIN
  - SD — PROPOSED STORM DRAIN
  - TEL — EXISTING COMMUNICATIONS LINE
  - EXGAS — EXISTING GAS
  - EXOHP — EXISTING OVERHEAD POWER
  - FH — FIRE HYDRANT
  - WM — WATER METER

**BLUE STAKE NOTE:**

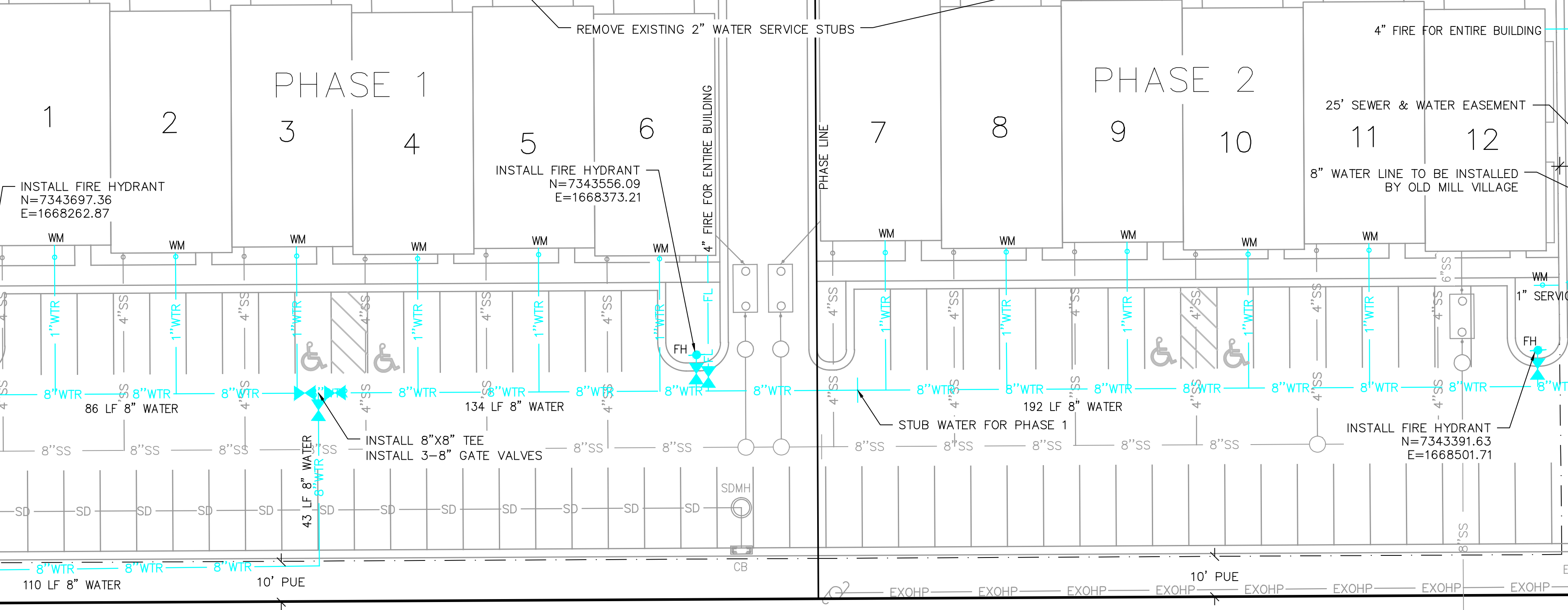
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**WATER NOTES:**

- ALL WATER IMPROVEMENTS SHALL MEET HEBER CITY STANDARDS AND SPECIFICATIONS.
- ALL WATER MAIN LINES ARE C-900 DR 18 PIPELINES.

**FIRE LINES:**

- EACH UNIT HAS A 4" LINE FOR FIRE SPRINKLERS. A 8"x4" TEE SHALL BE INSTALLED ON THE WATER MAIN WITH A 4" GATE VALVE AFTER THE TEE FOR ALL FIRE SPRINKLER LINES.



INSTALL FIRE HYDRANT  
N=7343436.55  
E=1668611.04

INSTALL FIRE HYDRANT  
N=7343697.36  
E=1668262.87

INSTALL FIRE HYDRANT  
N=7343556.09  
E=1668373.21

INSTALL FIRE HYDRANT  
N=7343391.63  
E=1668501.71

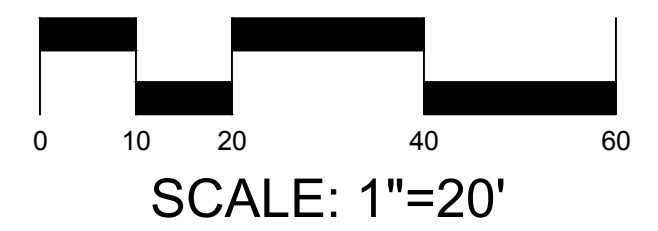
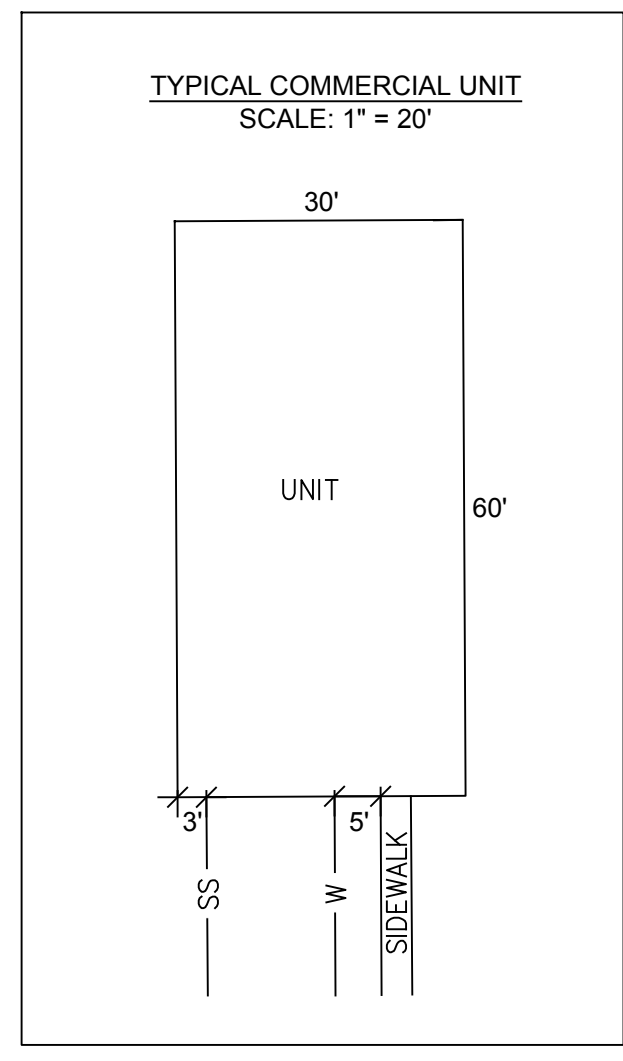
CONNECT TO EXISTING 8" WATER.  
REMOVE EXISTING ABANDONED FIRE HYDRANT.

CONNECT TO EXISTING 8" WATER  
INSTALL 8"x8" TEE  
INSTALL 3-8" GATE VALVES

TRASH ENCLOSURE



US HIGHWAY 40



HEBER CITY ENGINEER ACCEPTANCE

RUSSELL FUNK DATE

JURA HOLDINGS  
OLD MILL VILLAGE  
WATER PLAN

380 E Main St. Suite 204  
Midway, Ut 84049  
ph 435.657.9749

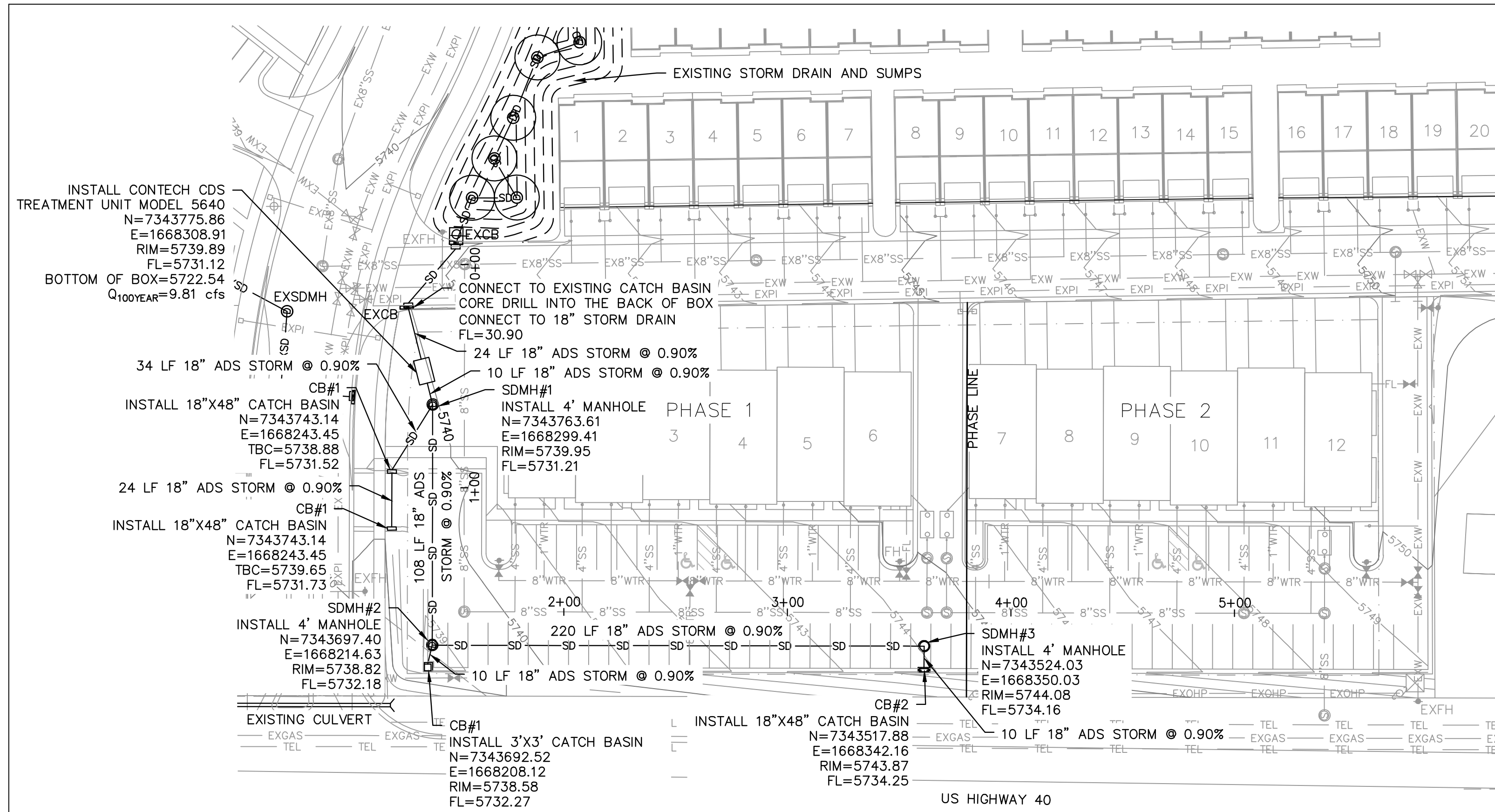
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DRAWN BY: SW REV: \_\_\_\_\_

SHEET  
C9

File: S:\New\Bldg - Highway 40\Commercial\Submittals\2221\2221.dwg  
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 Plot Date: May 13, 2024  
 Plotted by: STACEY-PC







**100 YEAR OVERFLOW NOTE**

- PIPE CAN CARRY THE 100 YEAR STORM EVENT. NO OVERFLOW PATH NEEDED.
- A 3'X3' GRATE WITH 6" OF HEAD HAS A CAPACITY OF 14 cfs PER NYLOPLAST

**STORM DRAIN RUNOFF CALCULATION NOTE**

THE OLD MILL VILLAGE DEVELOPMENT, WHICH INCLUDED A TWO LOT COMMERCIAL SUBDIVISION, WAS PREVIOUSLY APPROVED BY HEBER CITY. THE CONSTRUCTION PLANS WERE STAMPED APPROVED ON AUGUST 24, 2021. STORM DRAIN RETENTION PONDS THAT HANDLE THE 100 YEAR RUNOFF FROM THE COMMERCIAL LOTS HAVE BEEN DESIGNED AND BUILT. THE RUNOFF CALCULATIONS FOR THE ORIGINAL DESIGN ASSUMED A 0.80 RUNOFF COEFFICIENT FOR THE TWO COMMERCIAL LOTS. THE PROPOSED AMENDMENT TO THE COMMERCIAL LOTS RESULTS IN A RUNOFF COEFFICIENT OF 0.76. SINCE THE RUNOFF COEFFICIENT IS LOWER THAN THE COEFFICIENT USED IN THE ORIGINAL DESIGN THE CONSTRUCTED RETENTION POND WILL BE ABLE TO HOLD THE 100 YEAR STORM EVENT AND WILL HAVE SOME EXTRA CAPACITY. THE RUNOFF COEFFICIENT CALCULATIONS FOR THE AMENDED COMMERCIAL SUBDIVISION PLAN ARE SHOWN BELOW.

USE	AREA (ACRES)	RUNOFF COEFFICIENT
BUILDINGS	0.50	0.95
DRIVEWAYS	0.17	0.95
PARKING LOT	0.88	0.90
LANDSCAPING	0.43	0.20
	1.98	

COMPOSITE RUNOFF COEFFICIENT= $(0.50 \times 0.95) + (0.17 \times 0.95) + (0.88 \times 0.90) + (0.43 \times 0.20)$   
1.98  
= 0.76 FOR THE ENTIRE SITE

- LEGEND**
- EXB"SS EXISTING 8" SEWER
  - 4"SS PROPOSED 4" SEWER LATERAL
  - 6"SS PROPOSED 6" SEWER
  - EXW EXISTING WATER
  - 1"WTR PROPOSED 1" WATER SERVICE
  - FL PROPOSED 4" WATER FIRE SERVICE
  - 8"WTR PROPOSED 8" WATER
  - EXPI EXISTING PRESSURIZED IRRIGATION
  - EXSD EXISTING STORM DRAIN
  - SD PROPOSED STORM DRAIN
  - TEL EXISTING COMMUNICATIONS LINE
  - EXGAS EXISTING GAS
  - EXPWR EXISTING OVERHEAD POWER
  - FH FIRE HYDRANT
  - WM WATER METER

**BLUE STAKE NOTE:**

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**STORM DRAIN NOTE:**

- ALL STORM DRAIN CONSTRUCTION TO MEET HEBER CITY STANDARDS.

**100 YEAR STORM**

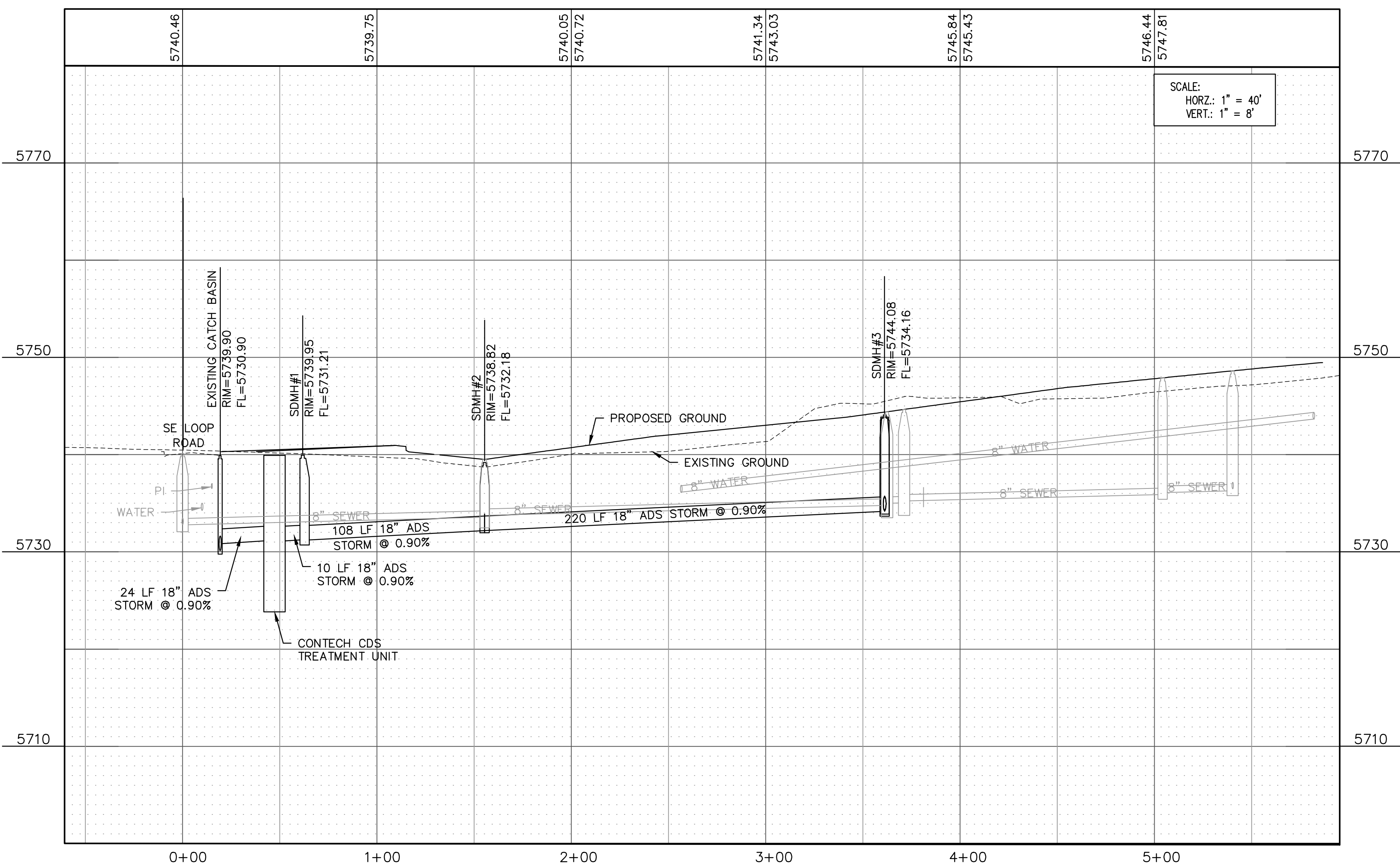
Q<sub>100year</sub>=CIA  
=(0.76)(6.52)(1.98)  
Q<sub>100year</sub>=9.81 cfs

**WATER QUALITY FLOWS**

Q<sub>2year</sub>=CIA  
=(0.76)(1.94)(1.98)  
Q<sub>2year</sub>=2.91 cfs

Q<sub>18"PIPE</sub>=10.00 cfs @ 0.90% SLOPE

EXISTING GROUND  
FINISHED GROUND

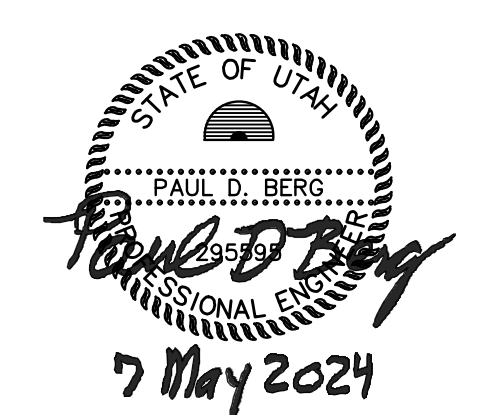
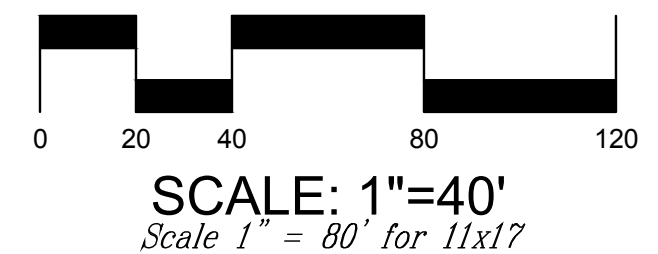


**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS REPORT/DESIGN FOR THE MANAGEMENT OF STORM WATER OF THIS DEVELOPMENT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE PROVISIONS OF HEBER CITY'S STORM WATER DESIGN MANUAL AND STANDARD SPECIFICATIONS AND DRAWINGS, AND WAS DESIGNED TO COMPLY WITH THE PROVISIONS THEREOF. I UNDERSTAND THAT THE CITY ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS REPORT.

*Paul D Berg*  
ENGINEER'S SIGNATURE

7 MAY 2024



HEBER CITY ENGINEER ACCEPTANCE

RUSSELL FUNK DATE

JURA HOLDINGS  
OLD MILL VILLAGE

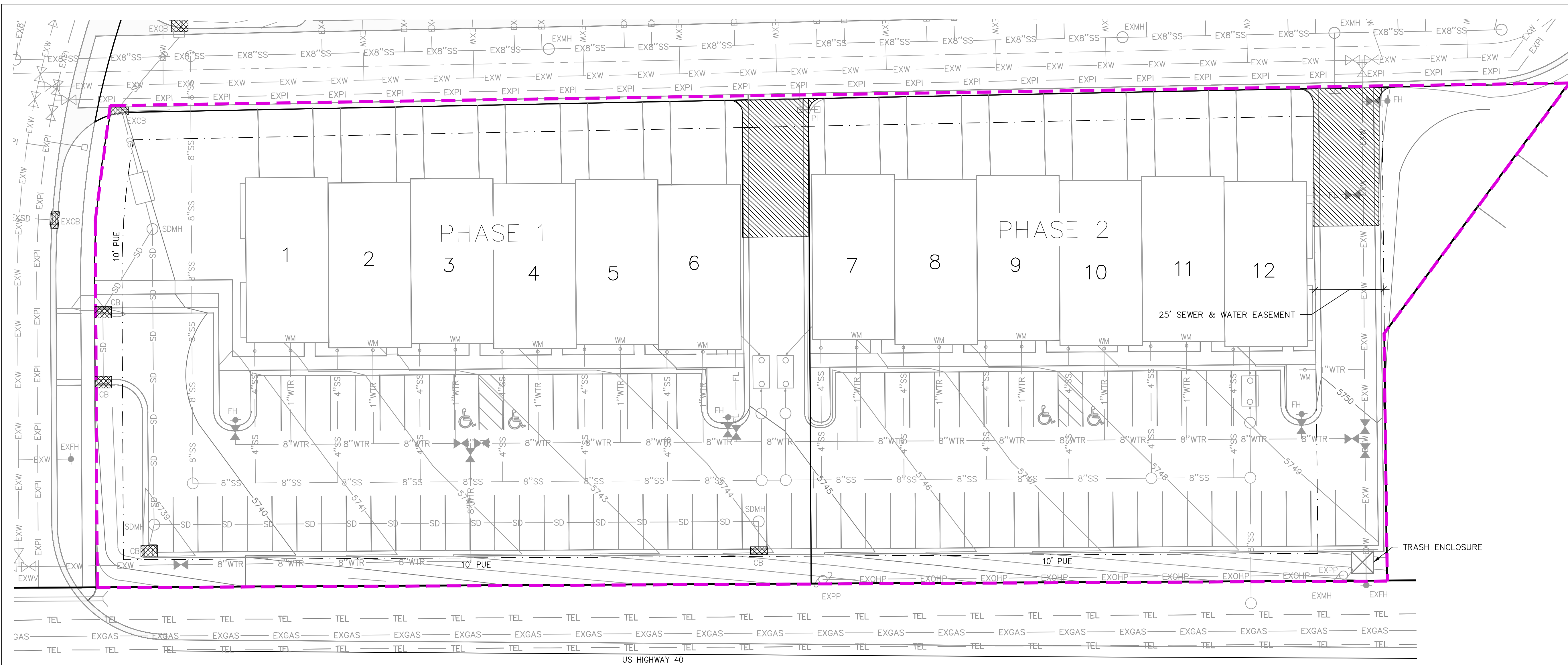
STORM DRAIN PLAN & PROFILE

**BERG ENGINEERING**  
380 E Main St. Suite 204  
Midway, UT 84049  
ph 435.657.9749

DESIGN BY: PDB DATE: 7 MAY 2024  
DRAWN BY: SW REV: SHEET C12

File: \\na\p\1822 - Highway 40 Storm Drain - 11x17.dwg (P) 11:51:00 AM 5/13/2024  
Plot name: 02\_Storm Drain 11x17.dwg | plot date: May 13, 2024 | Printed by: STACEY-PC





**LEGEND**

	STABILIZED CONSTRUCTION ENTRANCE
	SILT FENCE
	INLET PROTECTION
	EXISTING 8" SEWER
	PROPOSED 4" SEWER LATERAL
	PROPOSED 6" SEWER
	PROPOSED 8" SEWER
	EXISTING WATER
	PROPOSED 1" WATER SERVICE
	PROPOSED 4" WATER FIRE SERVICE
	PROPOSED 8" WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED PRESSURIZED IRRIGATION
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING COMMUNICATIONS LINE
	EXISTING GAS
	EXISTING OVERHEAD POWER
	FIRE HYDRANT
	WATER METER

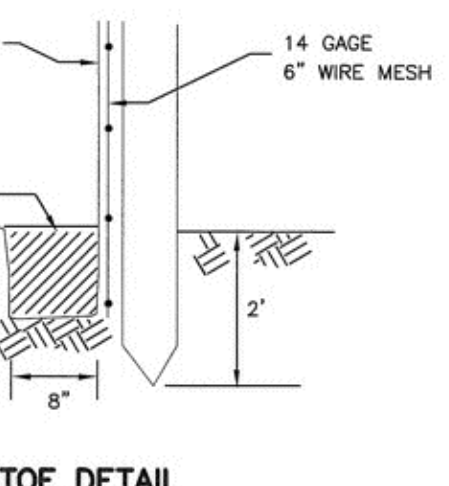
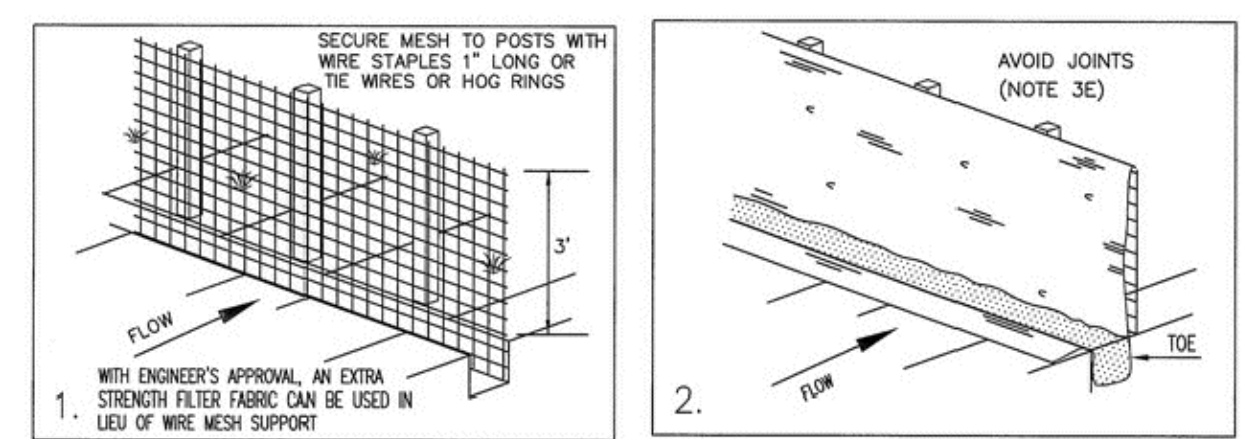
**BLUE STAKE NOTE:**

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**STORM DRAIN NOTE:**

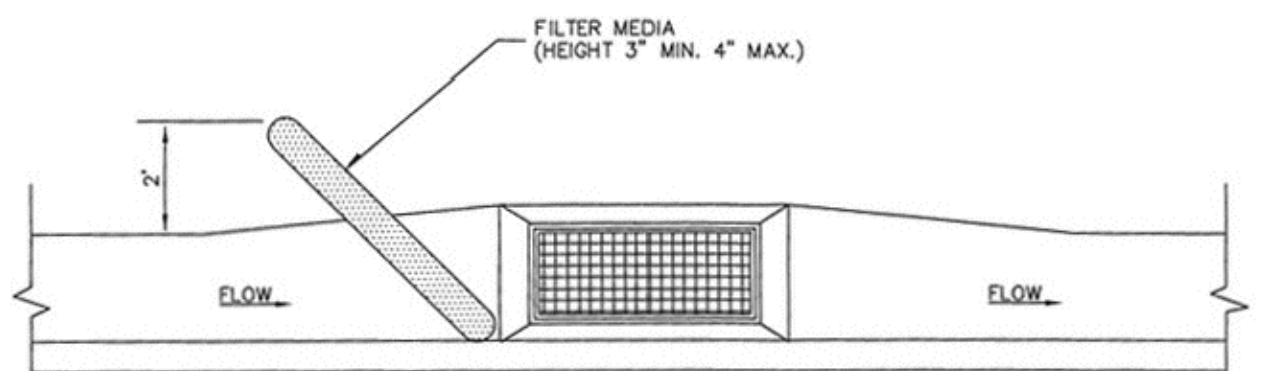
- ALL STORM DRAIN CONSTRUCTION TO MEET HEBER CITY STANDARDS.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.

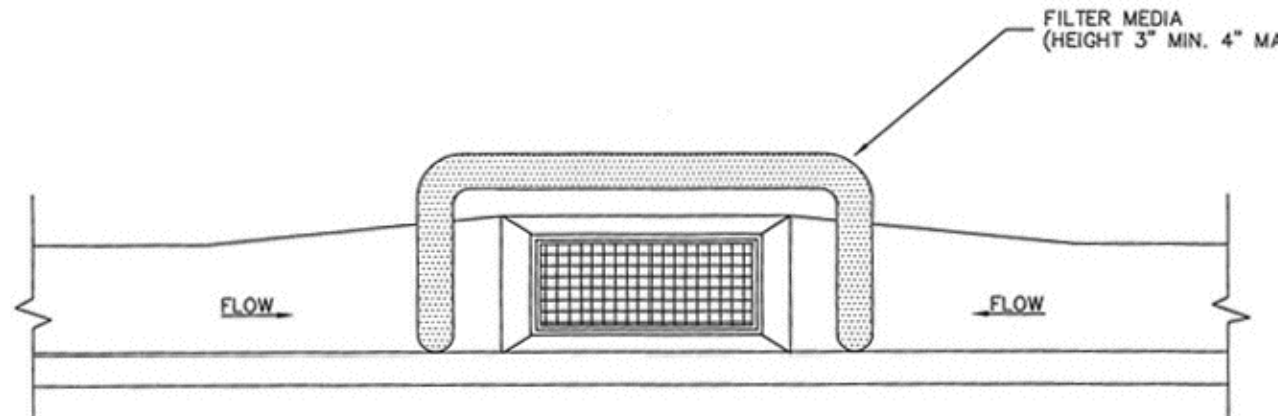


Silt fence

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



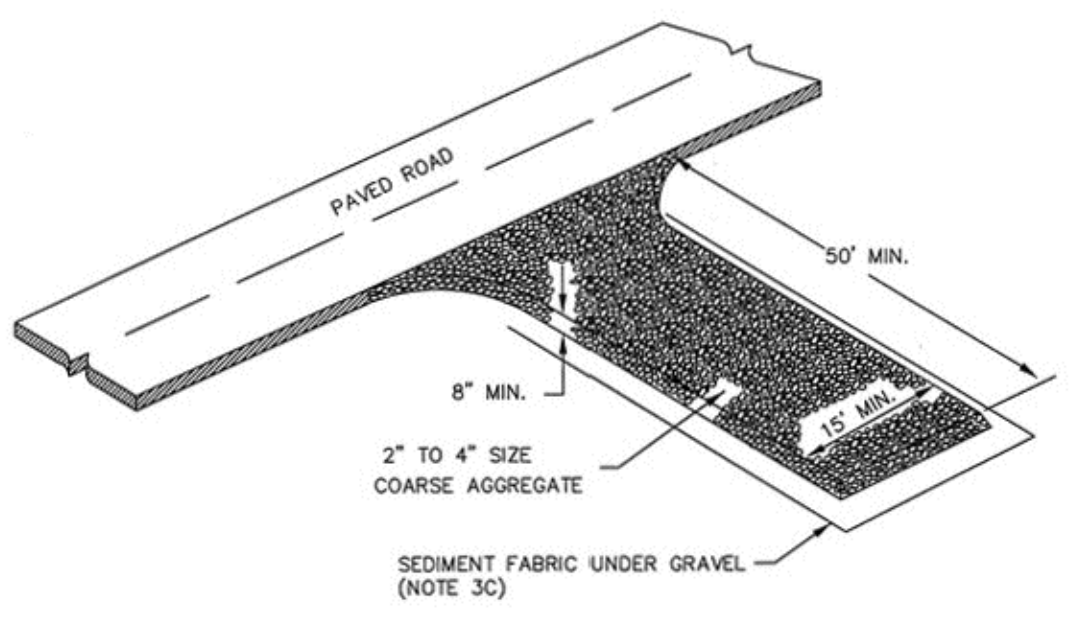
ON-GRADE INLET PROTECTION DETAIL



DROP INLET PROTECTION DETAIL

Inlet protection - gravel sock

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



Stabilized roadway entrance

**EROSION CONTROL FOR STORM DRAIN SYSTEM AND SUMPS**  
CONTRACTOR SHALL INSTALL EROSION CONTROL AT ALL CATCH BASINS AND SUMPS DURING CONSTRUCTION. EROSION CONTROL TO INCLUDE FILTER FABRIC AND HAY BALES. CONTRACTOR SHALL PERIODICALLY REMOVE SEDIMENT THAT COLLECTS AROUND THE CATCH BASINS AND SHALL KEEP THE STORM DRAIN SYSTEM FREE OF SEDIMENT AND DEBRIS.

**CONSTRUCTION ENTRANCE**  
A STABILIZED CONSTRUCTION ACCESS IS REQUIRED FOR THIS PROJECT DURING CONSTRUCTION OF THE DEVELOPMENT AND BUILDINGS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING A STABILIZED CONSTRUCTION ACCESS.

**CLEARING AND GRUBBING**  
CONTRACTOR IS RESPONSIBLE TO CLEAR AND GRUB A MINIMUM OF 12" FROM THE ROADWAY AREA FOR THE STREET. TOPSOIL ON THIS PROJECT MAY REQUIRE MORE THAN 12".

A UPDES GENERAL CONSTRUCTION PERMIT IS REQUIRED. THE CONTRACTOR SHALL APPLY FOR THE PERMIT AND SHALL PROVIDE A COPY OF THE APPROVED PERMIT TO HEBER CITY PRIOR TO CONSTRUCTION.

EROSION CONTROL SHALL BE INSTALLED AT ALL CATCH BASINS AND SUMPS.

FILTER FABRIC TO BE INSTALLED IN ALL SUMP MANHOLES LIDS UNTIL VEGETATION IS ESTABLISHED IN THE STORM DRAIN PONDS.

A STABILIZED CONSTRUCTION ACCESS SHALL BE INSTALLED AT ALL ACCESS POINTS TO THE PROJECT.



SCALE: 1"=20'



HEBER CITY ENGINEER ACCEPTANCE

RUSSELL FUNK DATE

JURA HOLDINGS  
OLD MILL VILLAGE  
STORM WATER POLLUTION  
PREVENTION PLAN



DESIGN BY: PDB DATE: 7 MAY 2024  
DRAWN BY: SW REV: SHEET C14

WALL SCHEDULE		
Mark	Description	Comments
W1	2X6 STUDS @ 16" O.C. WITH EIFS OVER STRUCTURAL SHEATHING EXTERIOR - 5/8" TYPE "X" GYPSUM WALLBOARD INTERIOR	
W3	2X6 STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM WALLBOARD EACH SIDE	
W4	2X4 STUDS @ 16" O.C. WITH (2) LAYERS 5/8" TYPE "X" GYPSUM WALLBOARD EACH SIDE	
W9	2X6 STUDS @ 16" O.C. WITH EIFS & BRICK OVER STRUCTURAL SHEATHING EXTERIOR - 5/8" TYPE "X" GYPSUM WALLBOARD INTERIOR	

KEYNOTE LEGEND	
Key Value	Keynote Text

REVISIONS	
NO.	DESCRIPTION

DRAWN:	r lee
JOB NUMBER:	2101
SET:	APPROVAL
DATE:	03.08.24

**MAIN FLOOR PLAN**



**OLD MILL VILLAGE**

HEBER CITY UT

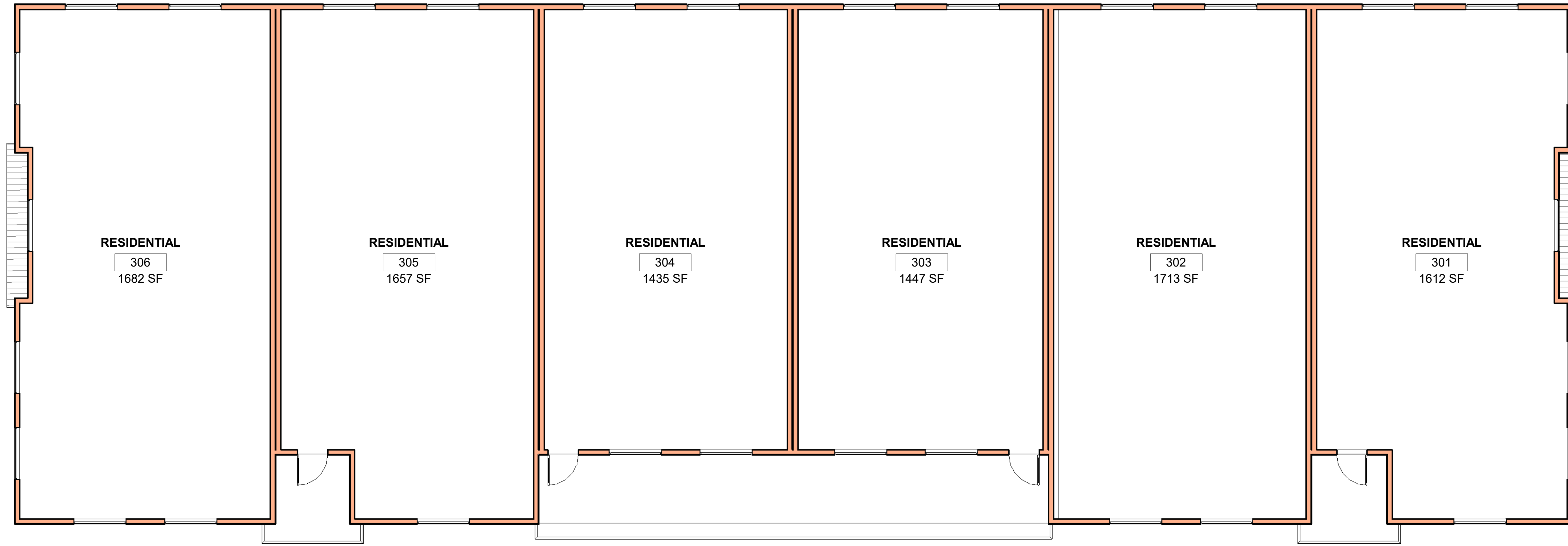
**LEE DESIGN GROUP**  
ARCHITECTURAL DESIGN STUDIO

444 SOUTH MAIN STREET # C-2  
CEDAR CITY UT 84720  
435/559.9110  
www.ldg Utah.com

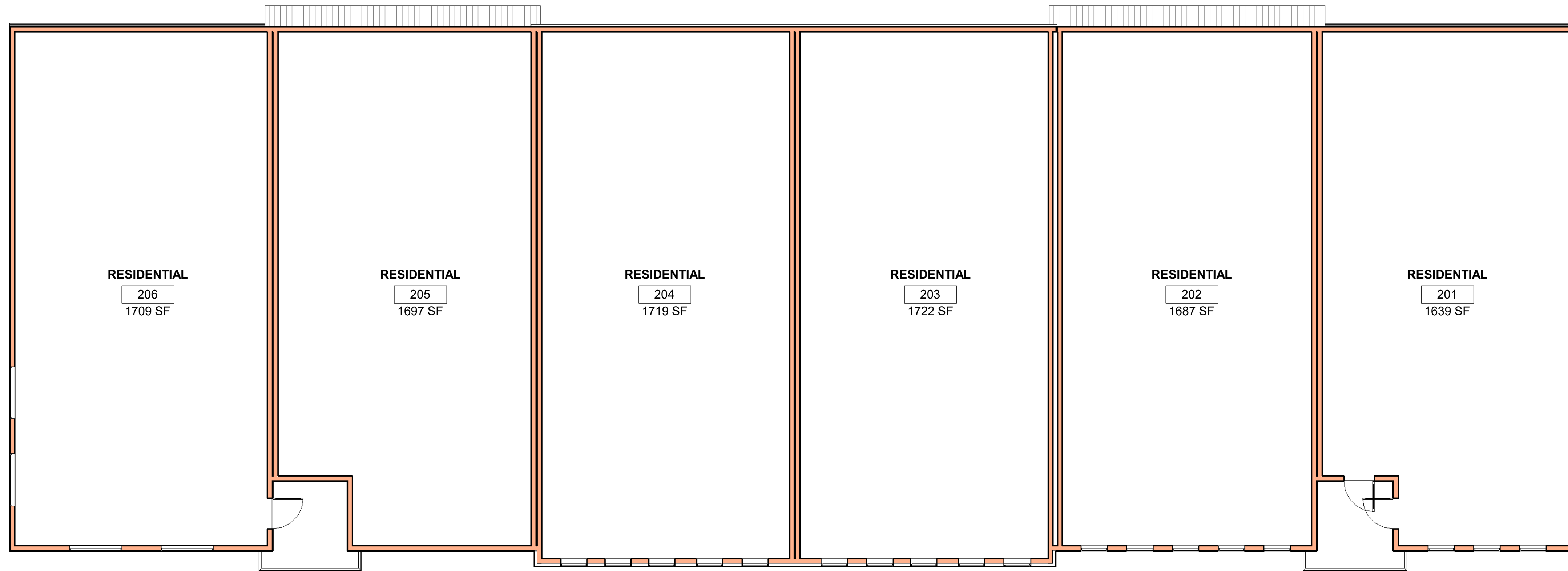


**A-1.1**

SHEET:



② LEVEL 3  
1/8" = 1'-0"



① LEVEL 2  
1/8" = 1'-0"

NO.	DESCRIPTION	DATE

DRAWN:	Author
JOB NUMBER:	2101
SET:	APPROVAL
DATE:	03.08.24

UPPER FLOOR PLANS

OLD MILL VILLAGE

HEBER CITY UT

SEAL

LEE DESIGN GROUP

ARCHITECTURAL DESIGN STUDIO

444 SOUTH MAIN STREET # C-2  
CEDAR CITY UT 84720  
435/359.9110  
www.ldg Utah.com



A-1.2

SHEET:

REVISIONS	
NO.	DESCRIPTION

DRAWN:	R Lee
JOB NUMBER:	2101
SET:	APPROVAL
DATE:	03.08.24

**EXTERIOR ELEVATIONS**

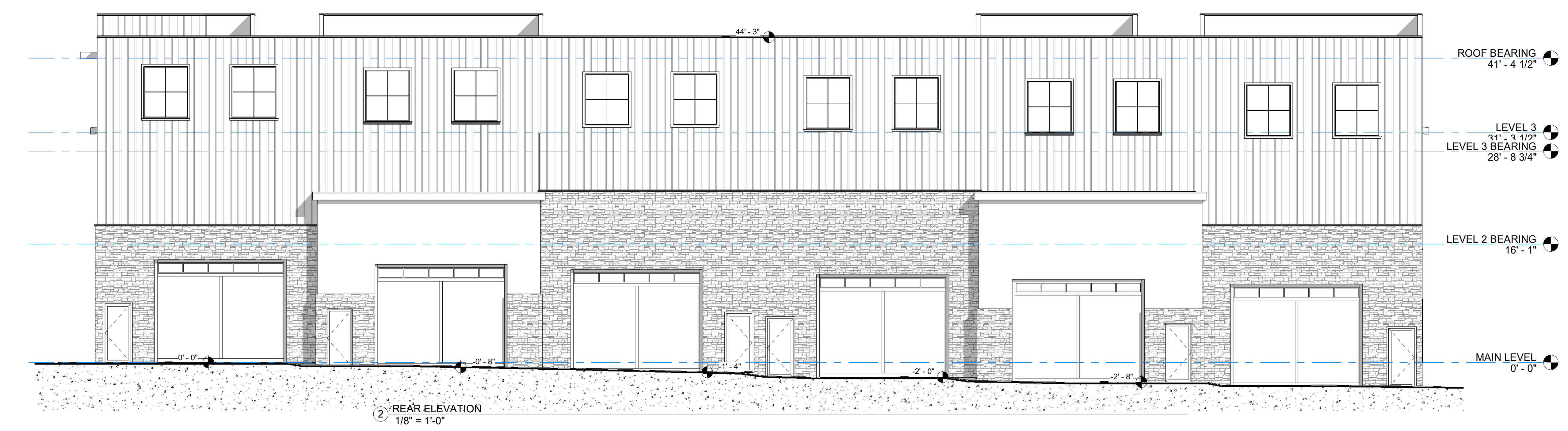
**OLD MILL VILLAGE**

HEBER CITY UT

SEAL

**LEE DESIGN GROUP**  
ARCHITECTURAL DESIGN STUDIO  
444 SOUTH MAIN STREET # C-2  
CEDAR CITY UT 84720  
435/359.9110  
www.ldg Utah.com

KEYNOTE LEGEND	
Key Value	Keynote Text
ROOF MATERIAL SCHEDULE	
MATERIAL MARK	MATERIAL DESCRIPTION
RF-3	SINGLE-PLY TPO MEMBRANE ROOFING
WALL MATERIAL SCHEDULE	
MATERIAL MARK	MATERIAL DESCRIPTION
<varies>	COMMON BRICK - RUNNING BOND, PAINTED
<varies>	



SHEET: **A-2.1**





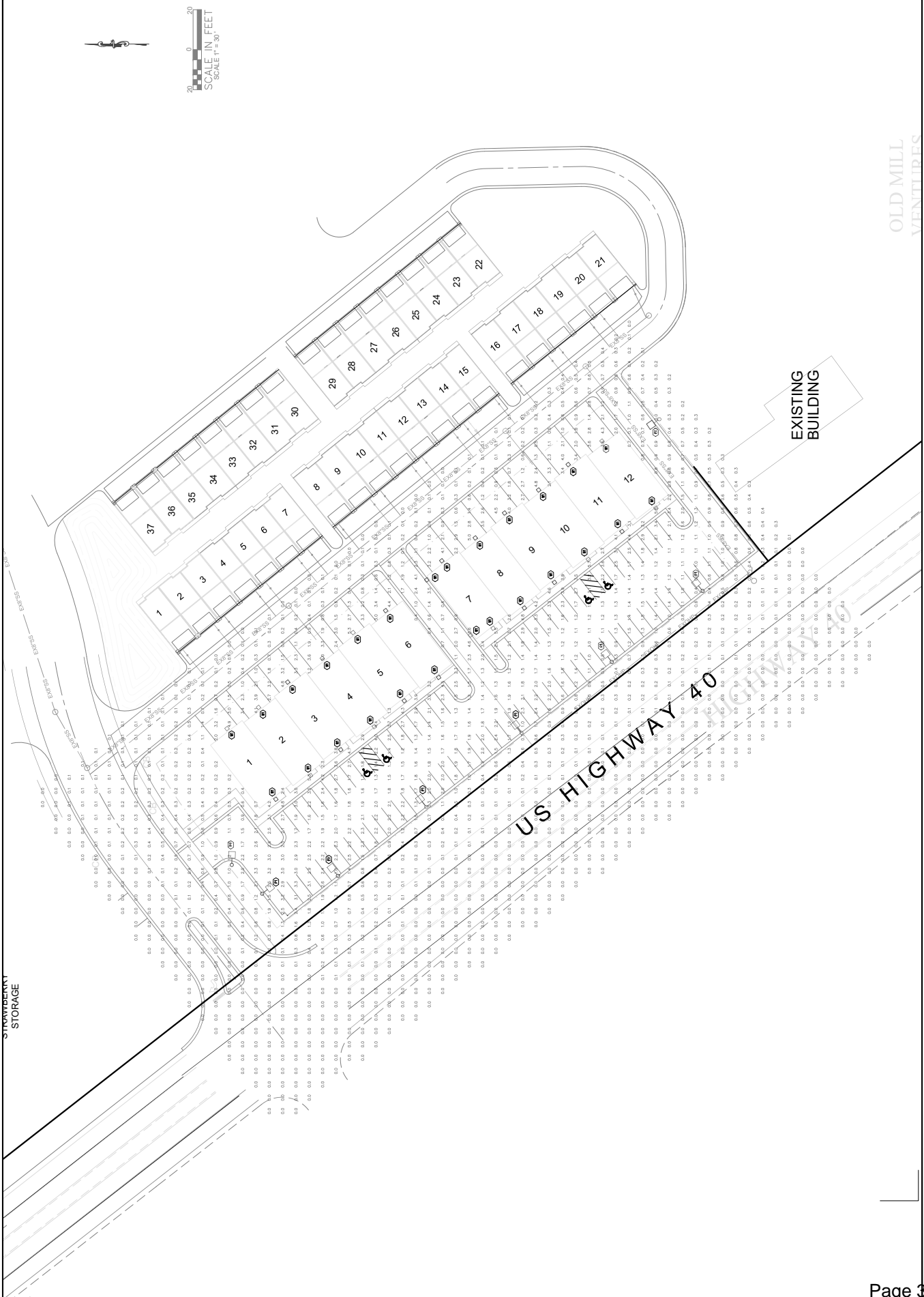




INITIAL SUBMITTAL: 8/1/2023	REV#:	DATE:	DESCRIPTION:

DRAWN BY: GA  
 SCALE: 1" = 30'  
 SHEET: E5.0

OLD MILL VENTURES



INITIAL SUBMITTAL: 8/1/2023	REVISIONS:
DATE:	DESCRIPTION:

DRAWN BY: GA
SCALE: NTS
SHEET: E5.1

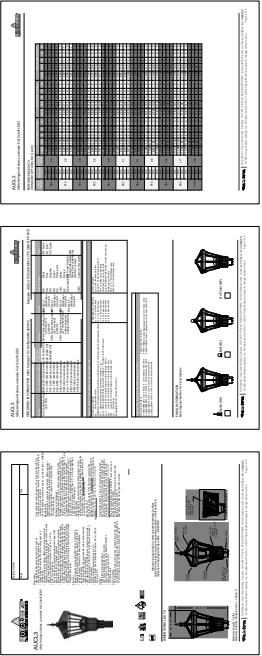
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**LUMINAIRE SCHEDULE**

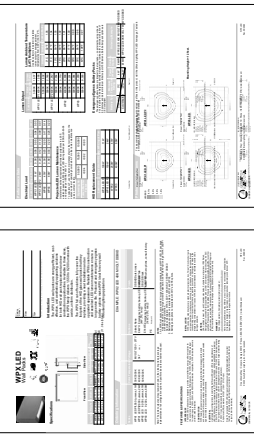
\*ALL LIGHTING TO BE FULL CUT OFF

CALLOUT	SYMBOL	# ATTACHE	DESCRIPTION	POLE	MODEL	LAMP COLOR	MOUNTING HEIGHT
P1		130W	Arlington LED Post-Top Full Cutoff Lantern 130W 3000 series CCT Type 4. Clear lens, zero upright. No glass. House side shield.	POLE	Holograph, AUGL3 P100 30K xxxx FC4 HS	3000K	20'
W1		24W	WPX1 LED wallpack 3500lm 3000K color temperature 120-277 volts	WALL	Lithenics Lighting, WPX1 LED P2 30K Mwall	3000K	12'

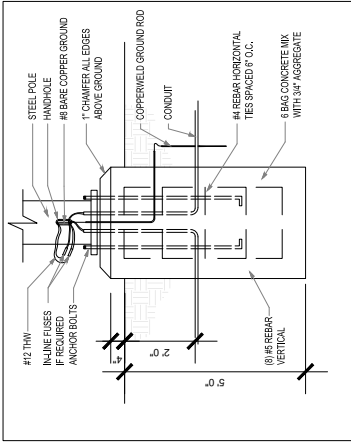
**POLE LIGHTS (P1)**



**WALL MOUNTED LIGHTS (W1)**



**POLE (CONTRACTOR TO MATCH THIS POLE STYLE)**



**PB POLE BASE DETAIL**  
 1 NO SCALE