



Planning Commission Meeting

June 13, 2024
6:00pm

125 West 400 North
Mapleton, UT 84664



PLANNING COMMISSION AGENDA

Thursday, June 13, 2024, at 6:00pm
125 West Community Center Way (400 North), Mapleton, Utah 84664

The order of agenda items is subject to change at the discretion of the Planning Commission Chair.

6:00 p.m. Call to order: Pledge, Invocation, and Introductions/Announcements.

Consent Items

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission may ask that any items be considered individually for purposes of Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

1. Planning Commission Meeting Minutes – April 11, 2024.
2. Consideration of a Conditional Use Permit to construct an LDS church building at 1342 West 800 South in the Residential Agricultural (RA-1) Zone.
3. Consideration of a request for a home occupation permit to establish a preschool in an existing residence located at 1443 West Mapleton Heights Drive in the PD-4 Zone.

Public Hearings

4. Consideration of an ordinance amending Mapleton City Code section 18.56B eliminating the age restriction on some units in the Sunrise Ranch development.
5. Consideration of a request to rezone 26 acres located at approximately 800 North 2000 East from A-2, TDR-R to Planned Residential Community (PRC-9) and to vacate a portion of Maple Hills Lane.

PUBLIC COMMENT MAY BE ACCEPTED AT THE DISCRETION OF THE CHAIR

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during the meeting/hearing should notify April Houser at the Community Development Office, at Mapleton City, 125 West 400 North, Mapleton UT 84664, or by phone, (801) 489-6138, giving at least 24 hours notice. Signature on this document certifies that it was posted in the City Office on 6/6/24.

THIS AGENDA SUBJECT TO CHANGE WITH A MINIMUM OF 24 HOURS NOTICE
(Last Modified June 6, 2024)

April Houser, Executive Secretary

Item:

2

Date:

6/13/24

Applicant:

Corp. of Pres. Bishop of
Church of Jesus Christ of
LDS

Location:

1342 W 800 S

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

No

Zone:

RA-1

Attachments

1. Application information

REQUEST

Consideration of a conditional use permit to construct an LDS church building at 1342 W 800 S in the Residential Agricultural (RA-1) zone.

BACKGROUND & DESCRIPTION

The subject site is a five acre undeveloped parcel with frontage on 800 South. The properties to the east, west and south are developed single-family lots. The property to the north is the Maple Grove middle school. In 2018 the Planning Commission approved a conditional use permit for a new church building on this site. However, the church was never constructed and the conditional use permit has expired.

The applicant is now requesting that a new conditional use permit that will include:

- A 23,000 square foot church building;
- Two driveway approaches onto 800 South;
- 279 parking spaces;
- A pavilion and storage shed; and
- Sidewalk across the frontage of the property.

EVALUATION

Administrative Review: The property is zoned RA-1, which identifies "houses of worship" as a conditional use in the zone. A conditional use permit is considered an administrative permit. Utah Code section 10-9a-507 states the following regarding conditional use permit review:

*"A land use authority **shall** approve a conditional use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards" (emphasis added).*

In other words, unless there are reasonably anticipated detrimental effects that cannot be mitigated, and/or the proposal is not in compliance with adopted standards, the conditional use permit must be approved.

Height: Most structures in the RA-1 zone are limited to 40 feet in height. Mapleton City Code (MCC) Section 18.84.090 states the following regarding public buildings and churches:

"Public buildings and churches may be erected to any height provided the building is set back from required building setback lines a distance of at least one foot (1') for each additional foot of building height above the maximum height otherwise permitted in the zone in which the building is located."

The proposed height of the church steeple is 70 feet. The required side yard setback is 10 feet, which means the building needs to be setback at least 60 feet. The proposed building is setback approximately 110 feet from the side property lines and is consistent with the height requirements.

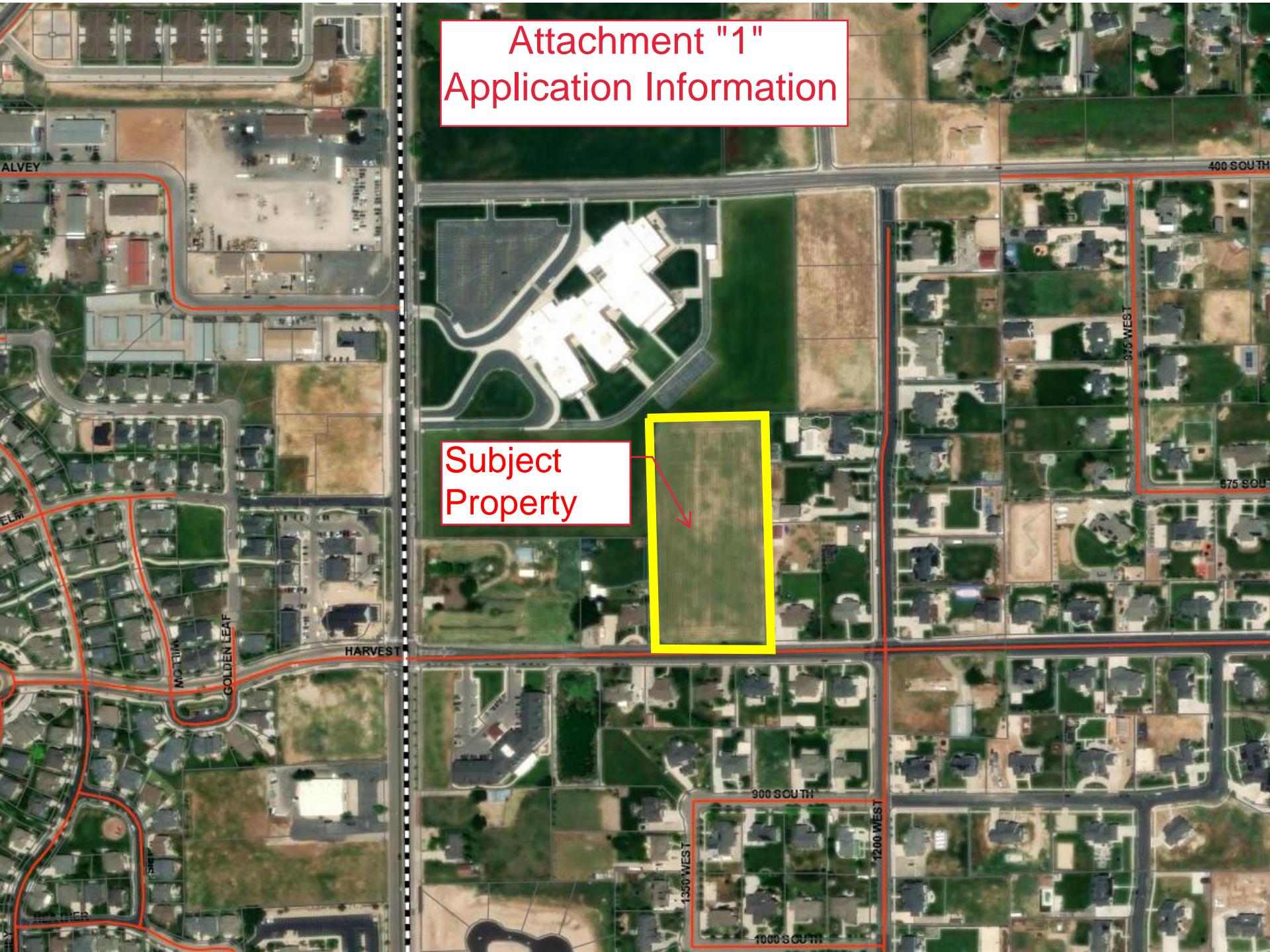
Parking: Off Street parking for a church is required to meet a standard of either one stall for every five fixed seats in the chapel or auditorium, or one space for every 35 square feet of floor space. Most of the seating in the chapel is bench style seating, so there is not an exact count of fixed seats. If it assumed there are approximately 300 fixed seats in the chapel, that would require 60 spaces. The cultural hall is approximately 3,800 square feet in size, which if you apply the one space per 35 square feet, would add another 108 stalls to the parking requirement for a total of 168. The applicant is proposing 279 spaces.

Landscaping: MCC Section 18.90.100 requires landscaped islands at the end of parking rows and in between every 10 stalls. The application complies with this requirement. The parking areas are also setback approximately 20 feet from the side property lines allowing for a landscaped buffer area between properties.

RECOMMENDATION

Approve the conditional use permit with the condition that any outstanding DRC comments be addressed prior to plat recording.

Attachment "1" Application Information



General Notes

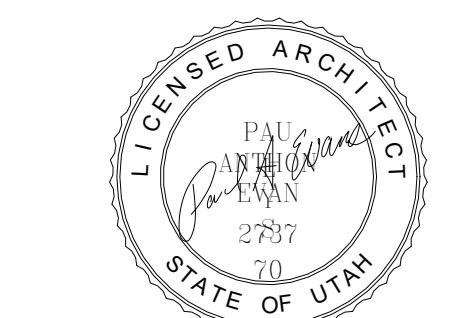
1. SEE A001 FOR DOOR SCHEDULE.
2. SEE A003 FOR WINDOW TYPES.
3. INSTALL SECONDARY UNDERLAYMENT OVER THE ENTIRE ROOF.

Keyed Notes

03-27 PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
 03-28 PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS
 04-03 BRICK VENEER MASONRY; RUNNING BOND; SEE DETAILS
 04-06 ACCENT BRICK VENEER MASONRY
 04-10 ACCENT BRICK VENEER MASONRY; SOLDIER COURSE; SEE DETAILS
 07-11 ALUMINUM RIDGE VENT; SEE B.E.F/A122
 07-17 WATER-MANAGED EIFS ARCHITECTURAL SCORING JOINT; SEE DETAILS
 07-21 ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
 07-24 ALUMINUM CUTTERS AND DOWNSPOUTS; SEE DETAILS
 07-41 ALUMINUM SHEET METAL FASCIA, FLASHING & TRIM; SEE A001/A122
 07-46 COMPOSITE ASPHALT SHINGLES; SEE DETAILS & SPECIFICATIONS
 07-47 WATER-MANAGED EIFS EXTERIOR WALL FINISH SYSTEM; SEE DETAILS & SPECIFICATIONS
 08-05 VINYL FRAMED FIXED WINDOW; SEE DOOR AND WINDOW SCHEDULES AND DETAILS
 09-29 5/8" GYPSUM BOARD
 10-07 ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
 10-08 STONE MEETINGHOUSE SIGN; SEE D&E/A203
 10-09 BUILDING ADDRESS SIGN; SEE F&G/A203

Revision Schedule

#	Description	Date



Project for:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

A New Meetinghouse for
 Mapleton 19 &
 Mapleton UT West Stake
 1340 West 800 South
 Mapleton, Utah

Project Number:	23-104
Property Number:	501-2699-23010101
	April 4, 2024
	Exterior Elevations
	A201

T.O. STEEPLE
170' - 0"

RIDGE OF TRUSS
131' - 6"

MAIN FLOOR PLAN
100' - 0"
TOP OF FOOTING
98' - 0"

D

D

A
B

C

D
A304

A303

E

C
A304

B
A304

A
A304

F
G

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

A

EIFS DETAIL

SCALE: 1/4" = 1'-0"

EIFS DETAIL

SCALE: 1/4" = 1'-0"

C
D

T.O. STEEPLE
170' - 0"

RIDGE OF TRUSS
131' - 6"

MAIN FLOOR PLAN
100' - 0"
TOP OF FOOTING
98' - 0"

1
2

3

A
A302

4

B
A302

5
6

RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

B

MAIN FLOOR PLAN
100' - 0"
TOP OF FOOTING
98' - 0"

04-03

04-10

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

04-03

04-10

General Notes

1. SEE A601 FOR DOOR SCHEDULE.
2. SEE A603 FOR WINDOW TYPES.
3. INSTALL SECONDARY UNDERLayment OVER THE ENTIRE ROOF.

Keyed Notes

03-27 PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
 03-28 PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS
 04-03 ACCENT BRICK VENEER MASONRY: RUNNING BOND; SEE DETAILS
 04-06 ACCENT BRICK VENEER MASONRY;
 04-10 ACCENT BRICK VENEER MASONRY; SOLDIER COURSE; SEE DETAILS
 07-11 ALUMINUM RIDGE VENT; SEE B.E.FA122
 07-21 ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
 07-24 ALUMINUM GUTTERS AND DOWNSPOUTS; SEE DETAILS
 07-41 ALUMINUM SHEET METAL FASCIA, FLASHING & TRIM; SEE A&D/A122
 07-46 COMPOSITE ASPHALT SHINGLES; SEE DETAILS & SPECIFICATIONS
 08-05 VINYL FRAMED FIXED WINDOW, SEE DOOR AND WINDOW SCHEDULES AND DETAILS
 10-07 ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
 10-41 KNOX BOX

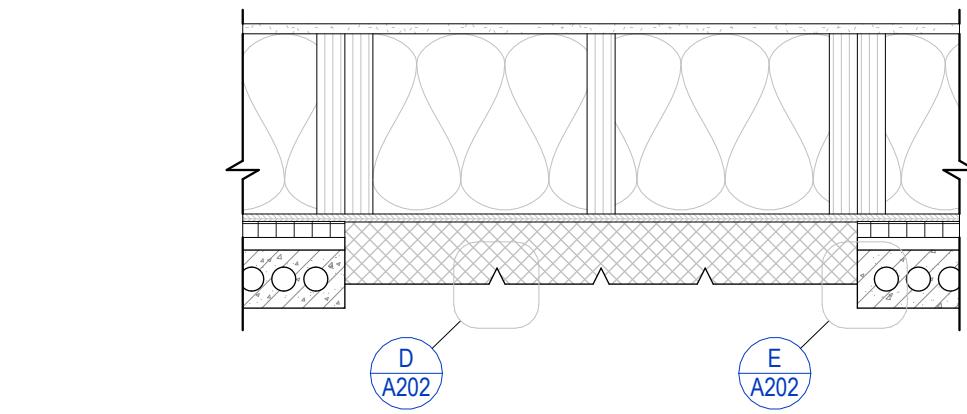
T.O. STEEPLE
170'-0"

RIDGE OF TRUSS
131'-6"

MAIN FLOOR PLAN
100'-0"
TOP OF FOOTING
98'-0"

REAR ELEVATION

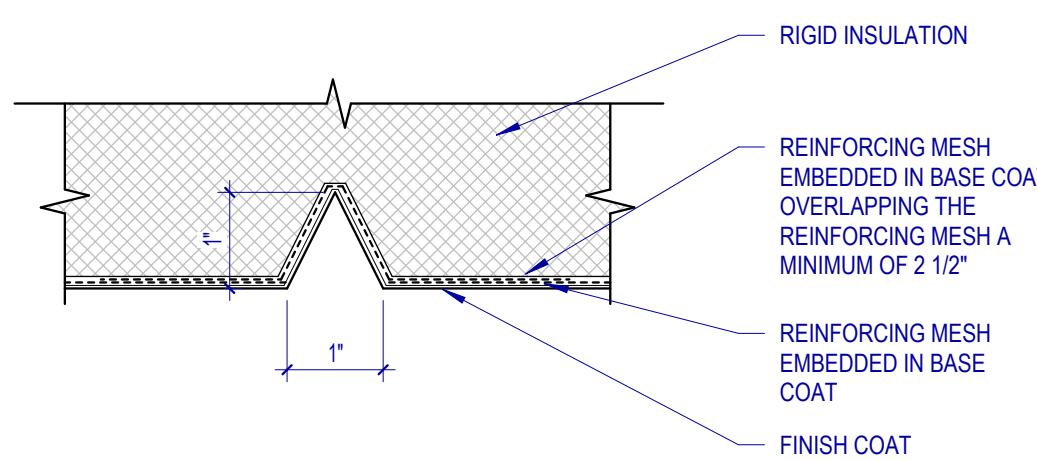
SCALE: 1/8" = 1'-0"



EIFS - SECTION

SCALE: 1" = 1'-0"

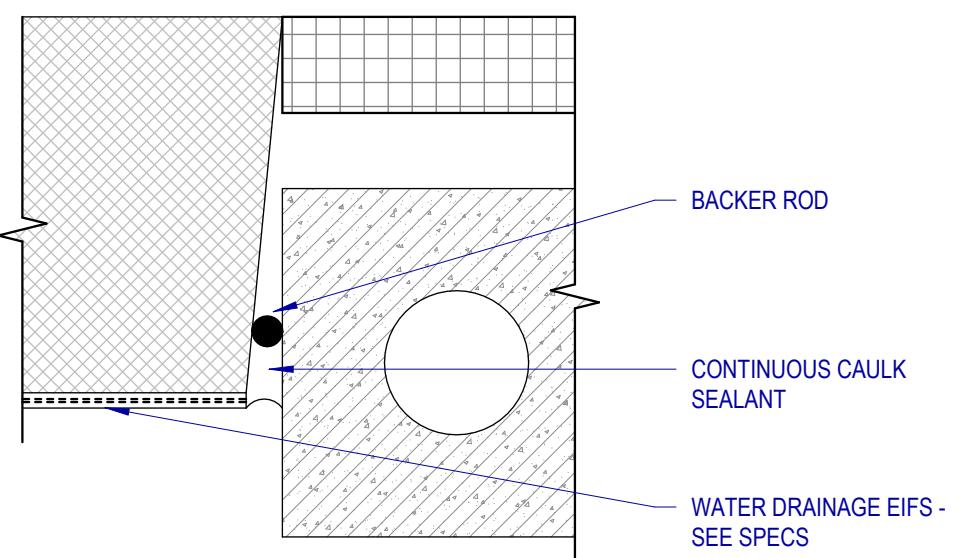
C



EIFS - ENLARGED REVEAL DETAIL

SCALE: 6" = 1'-0"

D

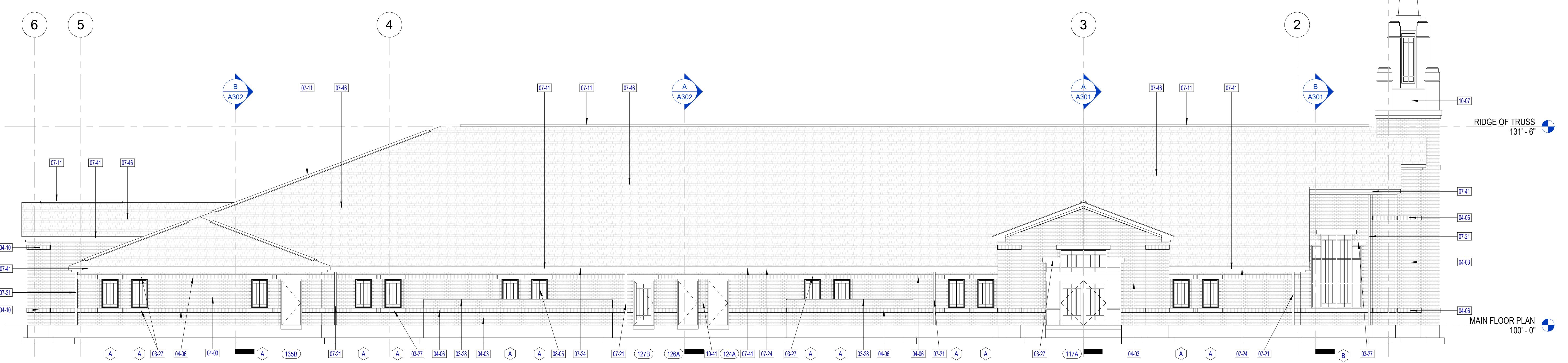


EIFS - ENLARGED EDGE DETAIL

SCALE: 6" = 1'-0"

E

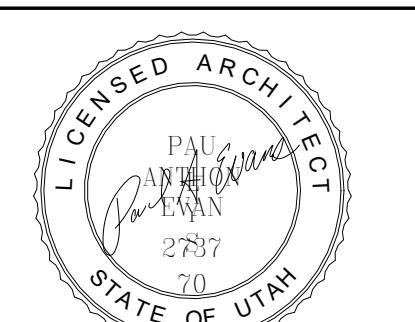
T.O. STEEPLE
170'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

B



Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Meetinghouse for
Mapleton 19 &
Mapleton UT West Stake
1340 West 800 South
Mapleton, Utah

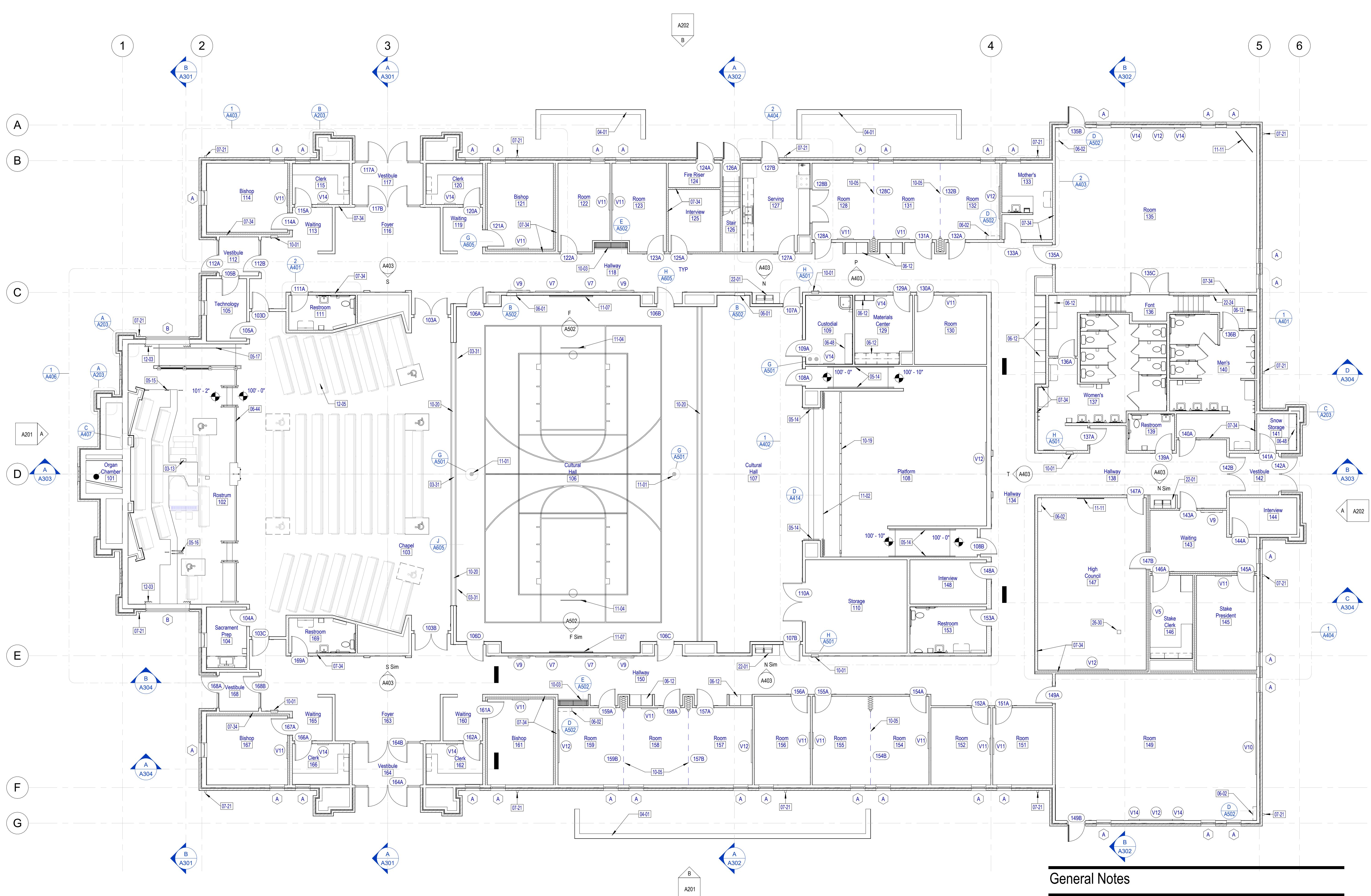
Project Number: 23-104

Property Number: 501-2699-23010101

April 4, 2024

Exterior Elevations

A202



MAIN FLOOR PLAN

SCALE: 1/8"

General Notes

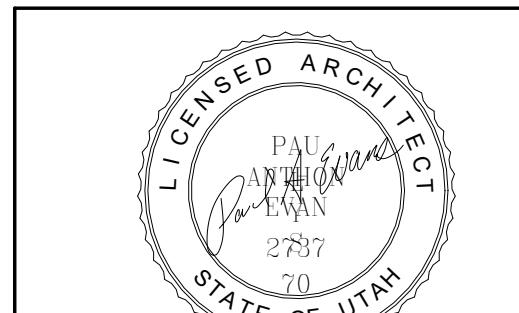
1. SEE SHEET A103 FOR DIMENSIONS.
2. SEE SHEET A111 & A112 FOR WALL TYPES.
3. INSULATE ATTIC SPACE ABOVE AND INTERIOR WALLS AROUND VESTIBULE 112, 117, 142, 164, AND 168.
4. PROVIDE SOLID BLOCKING IN WALLS AT ALL DOOR STOPS, VISUAL DISPLAY BOARDS, TOILET COMPARTMENTS, LAVATORY SUPPORTS, WALL HUNG CABINETS, AND ALL OTHER EQUIPMENT AND ACCESSORY LOCATIONS.
5. FOR ELEVATIONS OF VISUAL DISPLAY BOARDS, SEE F103.
6. INSTALL VAPOR RETARDER UNDER CONCRETE SLAB, SEE STRUCTURAL.
7. PROVIDE A 2x FIRE BLOCKING IN ALL WALLS AT CEILING AND FLOOR LEVELS.
8. ALL WALLS EXCEEDING 10 FEET IN HEIGHT, PROVIDE 2x FIRE BLOCKING NOT TO EXCEED 10'-0" O.C. VERTICALLY.
9. FOR DOOR SCHEDULE, SEE SHEET A601
10. GRID LINES ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
11. ALL WALLS SHOWN WITH DOTS TO BE CONSTRUCTED WITH BLANKET SOUND INSULATION.

Keyed Notes

- 03-13 6" DEEP FLOOR RECESS WITH POWER OUTLET AND SOUND CONDUIT STUBS FOR ORGAN
- 03-31 CONCRETE SLAB TOLERANACE AT SKYFOLD DOOR IS 1/4" MAXIMUM
- 04-01 MECHANICAL CONDENSER SCREEN WALLS; SEE CIVIL DRAWINGS
- 05-14 STAINLESS STEEL HANDRAIL; SEE B/A414
- 05-15 HANDRAIL; SEE C/A405
- 05-16 HANDRAIL; SEE D/A405
- 05-17 HANDRAIL; SEE G/A405
- 06-01 RECESS HYMN BOOK CABINET; A&B/A502
- 06-02 HYMN BOOK CABINET; SEE C&D/A502
- 06-12 WOOD VENEER FACED ARCHITECTURAL CABINETS; SEE DETAILS, INTERIOR ELEVATIONS AND FINISH SCHEDULE
- 06-44 ROSTRUM CASEWORK; SEE DETAILS
- 06-48 SHELVING; SEE J/A413
- 07-21 ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
- 07-34 LOOSE-FILL BLANKET SOUND INSULATION; TYPICAL
- 10-01 FIRE EXTINGUISHER CABINET (FEC) WITH 4A:60-B:C UL RATING MINIMUM; INSTALL IN ACCORDANCE WITH ALL ADA GUIDELINES; PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION; SEE H/A501
- 10-03 HAT AND COAT RACK WITH SHELF; SEE E/A502
- 10-05 FOLDING ACCORDION PARTITION AND TRACK; PROVIDED AND INSTALLED BY CONTRACTOR; SEE DETAILS
- 10-19 FOLDING PANEL DOOR; CONTRACTOR PROVIDED AND INSTALLED
- 10-20 VERTICAL RETRACTABLE ACOUSTIC WALL; CONTRACTOR PROVIDED AND INSTALLED
- 11-01 VOLLEYBALL POST SLEEVE; SEE G/A501; OWNER PROVIDED, CONTRACTOR INSTALLED
- 11-02 STAGE CURTAIN AND TRACK; SEE DETAILS
- 11-04 BASKETBALL STANDARD; SEE N/A501
- 11-07 WALL PADDING; OWNER PROVIDED, CONTRACTOR INSTALLED
- 11-11 TV; OWNER PROVIDED AND INSTALLED
- 12-03 DRAPERIES
- 12-05 CUSHIONED PEW SEATING
- 22-01 ELECTRIC WATER COOLER (EWC); SEE PLUMBING; INSTALL IN ACCORDANCE WITH ALL ADA GUIDELINES; PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION
- 22-24 FONT CONTROLS BOX; SEE PLUMBING
- 26-30 ELECTRICAL FLOOR BOX; SEE ELECTRICAL

Revision Schedule

#	Description	Date



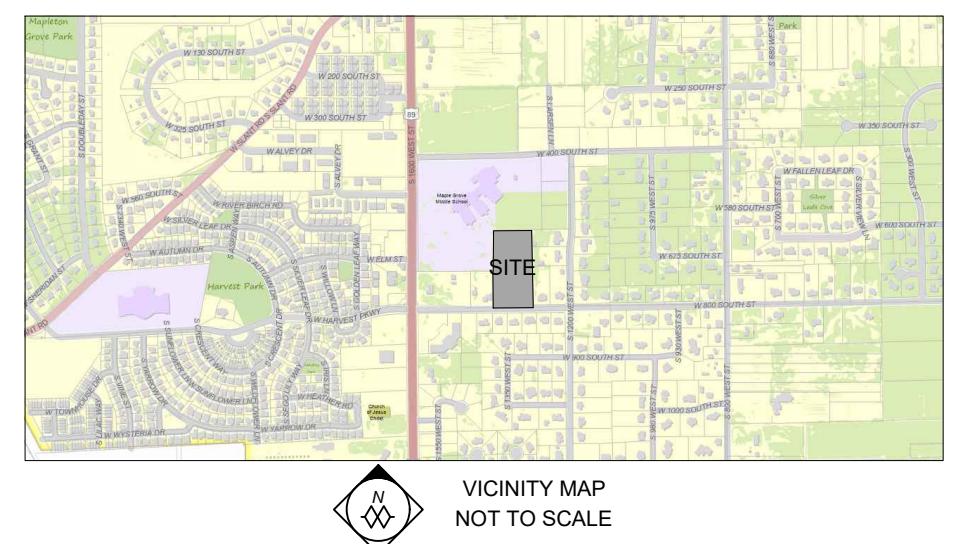
The logo for ea architecture features a stylized infinity symbol composed of two thick, dark grey, curved lines that meet and loop around each other. Below the symbol, the word "ea architecture" is written in a bold, black, sans-serif font. The "ea" is in a smaller, lowercase font, while "architecture" is in a larger, lowercase font.

Project for:
THE CHURCH OF
JESUS CHRIST

A New Meetinghouse for Mapleton 19 &

1340 West 800 South
Mapleton, Utah

Project Number:	23-104
Property Number:	501-2699-23010101
April 4, 2024	
Main Floor Plan	
A101	



NORTHWEST CORNER OF SECTION 15,
T8S, R3E, SLB&M
FOUND 3" FLAT BRASS CAP MONUMENT

ALTA/NSPS LAND TITLE SURVEY
FOR
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

LOCATED IN THE NORTHWEST QUARTER
OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 3 EAST,
SALT LAKE BASE AND MERIDIAN, MAPLETON CITY, UTAH
FEBRUARY 2024

FILE NUMBER: 2400217FA
COMMITMENT DATE: DECEMBER 28, 2023 AT 8:00 AM
TO: THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE, FORMERLY KNOWN AS AND WHICH ACQUIRED TITLE AS CORPORATION OF THE PRESIDING BISHOP OF
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE
OLD REPUBLIC NATIONAL TITLE INSURANCE-COMMERCIAL

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS
LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B), 7(C), 8, 11, 12, 13, 14, 16 AND 18 OF THE TABLE A THEREOF. THE FIELD
WORK WAS COMPLETED ON JANUARY 24, 2024.

DATE OF PLAT: FEBRUARY 20, 2024

PROFESSIONAL LAND SURVEYOR
NATHAN B. WEBER, PLS
LICENSE NO. 5152762

LEGAL DESCRIPTION

COMMENCING AT A POINT LOCATED NORTH 89°04'51" EAST ALONG THE QUARTER SECTION LINE 670.30 FEET FROM THE WEST QUARTER CORNER OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 3 EAST,
SALT LAKE BASE AND MERIDIAN; THENCE NORTH 00°07'09" EAST ALONG AN EXISTING WHITE VINYL FENCE 229.33 FEET TO A FENCE LINE; THENCE NORTH 00°31'28" WEST ALONG AN EXISTING
FENCE LINE 11.15 FEET TO THE END OF SAID FENCE LINE; THENCE SOUTH 89°55'51" WEST 1.20 FEET TO AN EXISTING END OF FENCE; THENCE NORTH 00°00'34" EAST ALONG AN EXISTING FENCE LINE
340.10 FEET TO AN EXISTING REBAR AND CAP; THENCE NORTH 88°55'33" EAST ALONG AN EXISTING FENCE LINE AND DEED LINE OF JARED YOUNG AS RECORDED AT THE UTAH COUNTY RECORDER
OFFICE (ENTRY 85771 YEAR 2014) 331.56 FEET TO THE WESTERLY BOUNDARY OF MISTY MEADOWS PLAT B; THENCE SOUTH 00°44'58" EAST ALONG THE WESTERLY BOUNDARY OF MISTY MEADOWS
PLAT B (A DISTANCE OF) 661.62 FEET TO THE QUARTER SECTION LINE; THENCE SOUTH 89°04'51" WEST ALONG THE QUARTER SECTION LINE 338.23 FEET TO THE POINT OF BEGINNING.

AS-SURVEYED DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN, MAPLETON CITY, UTAH, BEING MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 15; AND RUNNING THENCE NORTH 89°08'07" EAST 670.30 ALONG THE SECTION LINE TO A POINT ON THE NORTHERLY RIGHT-OF-WAY
LINE OF 800 SOUTH STREET AND THE TRUE POINT OF BEGINNING;

THENCE NORTH 230.17 FEET;

THENCE NORTH 0°19'41" WEST 89.79 FEET TO A POINT ON THE SOUTHERLY LINE OF THE LOT 1, MAPLE GROVE MIDDLE SCHOOL SUBDIVISION, PLAT "A" (ENTRY NO. 31904:2022, UTAH COUNTY
RECORDER'S OFFICE);

THENCE NORTH 0°15'20" EAST 340.89 FEET ALONG THE SOUTHERLY & EASTERLY LINES OF SAID LOT 1 THE FOLLOWING THREE (3) COURSES:

(1) SOUTH 89°56'36" EAST 0.55 FEET;

(2) NORTH 0°15'20" WEST 340.89 FEET; AND

(3) NORTH 88°55'51" EAST 331.70 FEET TO THE NORTHWEST CORNER OF LOT 9, MISTY MEADOWS SUBDIVISION, PLAT B" (ENTRY NO. 106603:2007, UTAH COUNTY RECORDER'S OFFICE);
THENCE SOUTH 04°13'9" EAST 661.68 FEET ALONG THE WESTERLY LINE OF SAID MISTY MEADOWS SUBDIVISION, PLAT B TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID 800 SOUTH
STREET;

THENCE SOUTH 89°08'07" WEST 338.23 FEET ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING.

CONTAINS 221,267 SQ. FT. OR 5.079 ACRES

SCHEDULE B, PART II EXCEPTIONS

ITEMS 1-11; 15-18 ARE NOT SHOWN INTENTIONALLY AS THEY ARE NOT SURVEY ITEMS.

12. RESERVATIONS AND CONDITIONS CONTAINED IN THAT CERTAIN US PATENT RECORDED APRIL 4, 1883 IN BOOK N AT PAGE 273, OF THE OFFICIAL RECORDS.

SURVEY FINDINGS: NOT PLOTTED, NO SPECIFIC LOCATION WAS PROVIDED THAT ALLOW ALLOW A DETERMINATION OF HOW THIS MAY OR MAY NOT AFFECT THIS SITE.

13. FENCE LINE AGREEMENT, BY AND BETWEEN PHYLLIS J. CHIPMAN, AS TRUSTEE FOR THE OVANDA MINER JENSEN REVOCABLE FAMILY TRUST, AS PARTY/PARTIES OF THE FIRST PART, AND HELEN
A. ALEXANDER, TIMOTHY L. KRISLER, GARY H. WEIGHT AND JAYNE W. WEIGHT, AS PARTY/PARTIES OF THE SECOND PART.
RECORDED: AUGUST 28, 1998
ENTRY NO: 86936
BOOK: 4754
PAGE: 592, OF THE OFFICIAL RECORDS

SAID NEW BOUNDARY (CONFORMING TO THE NORTHERLY LINE OF THE SUBJECT LAND) APPEARS TO HAVE BEEN FINALIZED BY A SUCCESSIVE OWNER OF THE SUBJECT LAND BY THAT CERTAIN
SPECIAL WARRANTY DEED, RECORDED MAY 15, 2019 AS ENTRY NO. 42918/2019 AS CORRECTED BY THAT CERTAIN AFFIDAVIT OF CORRECTION OF LEGAL DESCRIPTION, RECORDED JULY 12, 2019 AS
ENTRY NO. 64847/2019, BOTH OF OFFICIAL RECORDS.

SURVEY FINDINGS: NOT PLOTTED, AFFECTS THE PROPERTY TO THE NORTH OF THIS SITE AND DOES NOT AFFECT THIS SITE.

14. MATTERS AND DETAILS THE MAY BE DISCLOSED BY A NEW OR UPDATED ALTA/NSPS LAND TITLE SURVEY, UPDATING CURRENT MATTERS TO THAT CERTAIN ALTA/NSPS LAND TITLE SURVEY
PREPARED BY A.L.M. & ASSOCIATES, INC., DATED OCTOBER 10, 2017, AND REVISED NOVEMBER 30, 2017, ENTITLED JARED YOUNG SURVEY MAPLETON UT WEST STAKE AND DESIGNATED AS
PROJECT/JOB NO. 501-2690, INCLUDING AMONG OTHERS THE FOLLOWING ITEMS:
A) A PORTION OF THE LAND LIES WITHIN THE ROADWAY CORRIDOR OF 800 SOUTH STREET NOT YET DEDICATED;
B) AN EXISTING FIBER OPTIC LINE CROSSING THE SOUTHERLY PORTION ALONG THE NORTHERLY LINE OF 800 SOUTH STREET, WITHOUT BENEFIT OF A SPECIFIC RECORDED EASEMENT;
C) AN EXISTING CULINARY WATER PIPELINE OVER THE SOUTHERLY PORTION, WITHOUT BENEFIT OF A SPECIFIC RECORDED EASEMENT;
D) EXISTING FIRE HYDRANTS ON THE EASTERLY AND WESTERLY BOUNDARIES NEAR THE ROADWAY KNOWN AS 800 SOUTH STREET;
E) AN EXISTING DITCH ALONG THE WESTERLY PORTION OF THE LAND;
F) EXISTING FENCES IN VARIOUS RELATIVE LOCATIONS TO THE BOUNDARY LINES AS SURVEYED.

SURVEY FINDINGS: PLOTTED, AFFECTS THE SITE AS SHOWN ON THIS SURVEY.

SURVEYORS NOTE

THE BASIS OF BEARING IS NORTH 0°15'12" WEST, BETWEEN THE FOUND WEST QUARTER CORNER AND THE NORTHWEST CORNER OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE
BASE AND MERIDIAN, UTAH COUNTY, UTAH AS SHOWN. THE SURVEY CONTROL WAS ESTABLISHED WITH GPS. THE GPS DATA WAS MEASURED ON THE UTAH STATE PLANE CENTRAL ZONE USF NAD83
SYSTEM AND WAS THEN PROJECTED TO A LOW DISTORTION GROUND SYSTEM FOR THIS SURVEY. A UAS SYSTEM WAS USED TO ASSIST IN MEASURING AND MAPPING THE PROPERTY AND AN
ORTHO-RECTIFIED PHOTO OF THE SITE WAS USED FOR MAPPING FEATURES SUCH AS ROADWAYS AND WATERWAYS.

THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE BOUNDARY OF THE DESCRIBED PROPERTY ACCORDING TO THE OFFICIAL RECORDS AND THE LOCATION OF PERTINENT
EXISTING IMPROVEMENTS LOCATED ON THE GROUND.

NOTES:

1. THIS DOES NOT REPRESENT A TITLE SEARCH BY THE SURVEYOR. TITLE INFORMATION WAS PROVIDED BY OTHERS FOR THE SUBJECT PROPERTY.
2. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HERON ARE BASED ON ABOVE-GROUND STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM
LOCATIONS SHOWN HERON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED
UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, PLEASE CONTACT APPROPRIATE AGENCIES.
3. THE PURPORTED ADDRESS FOR THIS SITE IS 1340 WEST 800 SOUTH, MAPLETON, UTAH 84664 BASED ON DOCUMENTATION PROVIDED AT THE TIME OF THE SURVEY.
4. THIS PROPERTY LIES WITHIN THE FLOOD ZONE 'X' (NO SHADING) ACCORDING TO FEMA FLOOD MAP SERVICE, MAP NO 49049C0800F, DATED JUNE 19, 2020. ZONE 'X' (NO SHADING) IS DEFINED AS
"AREA OF MINIMAL FLOOD HAZARD".
5. THERE ARE NO CONSTRUCTED BUILDINGS ON THIS SITE.
6. THIS PROPERTY IS APPROXIMATELY 310 FEET WESTERLY FROM THE INTERSECTION OF 800 SOUTH STREET AND 1200 WEST STREET.
7. THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK
FOR THIS SURVEY.
8. THIS SURVEY REFLECTS PLOTTABLE EASEMENTS THAT ARE LOCATED IN NEIGHBORING PROPERTIES THAT WOULD DIRECTLY AFFECT THIS SURVEY SITE.

EAST QUARTER CORNER OF SECTION 15,
T8S, R3E, SLB&M
FOUND 3" FLAT
BRASS CAP MONUMENT

BENCHMARK:
FOUND 3" FLAT BRASS CAP
MONUMENT AT THE WEST
QUARTER CORNER OF SECTION
15, T8S, R3E, SLB&M
ELEV. = 4709.990'

REFERENCE DOCUMENTATION

DEEDS

R-1 - WARRANTY DEED, ENTRY NO. 19243:2006
R-2 - WARRANTY DEED, ENTRY NO. 94011:2005
R-3 - WARRANTY DEED, ENTRY NO. 12505:2017

SUBDIVISION PLATS

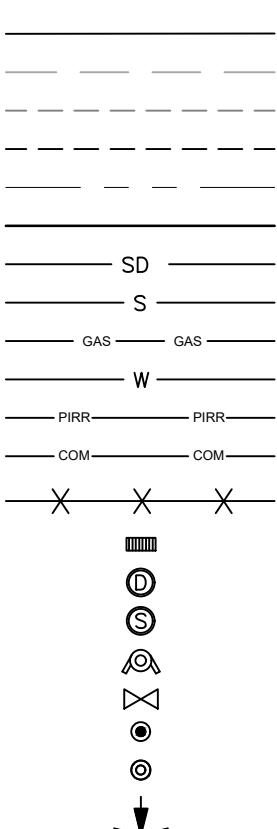
R-4 - MAPLE GROVE MIDDLE SCHOOL SUBDIVISION, ENTRY NO. 31904:2022
R-5 - PLAT "B" MISTY MEADOWS SUBDIVISION, ENTRY NO. 104603:2007
R-6 - PLAT "A" PHEASANT VIEW SUBDIVISION, ENTRY NO. 145928:2006

SURVEYS

R-7 - ALTA/NSPS LAND TITLE SURVEY, SURVEY NO. 501-2669
R-8 - UTAH COUNTY TOWNSHIP MAP, TOWNSHIP 8 SOUTH, RANGE 3 EAST
R-9 - MAPLETON CITY MONUMENT MAP
R-10 - MAPLETON CITY MASTER STREET MAP
R-11 - RECORD OF SURVEY, SURVEY NO. 06-234
R-12 - RECORD OF SURVEY, SURVEY NO. 20-225
R-13 - STATE PLANE COORDINATE & DEPENDENT RESURVEY, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN
R-14 - STATE PLANE COORDINATE & DEPENDENT RESURVEY, NORTHEAST QUARTER OF TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

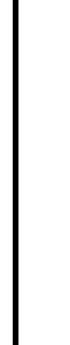
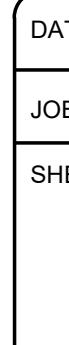
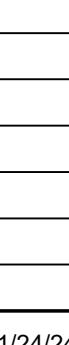
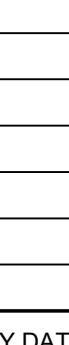
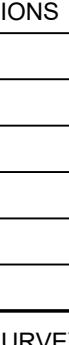
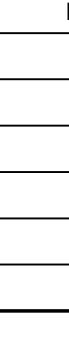
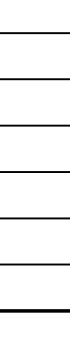
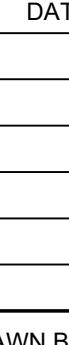
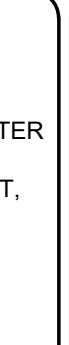
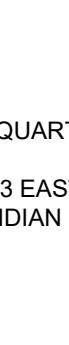
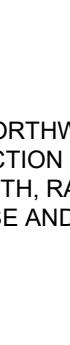
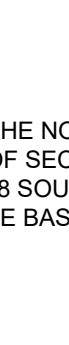
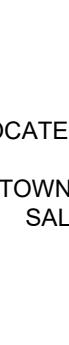
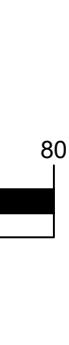
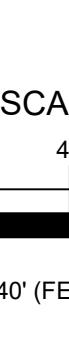
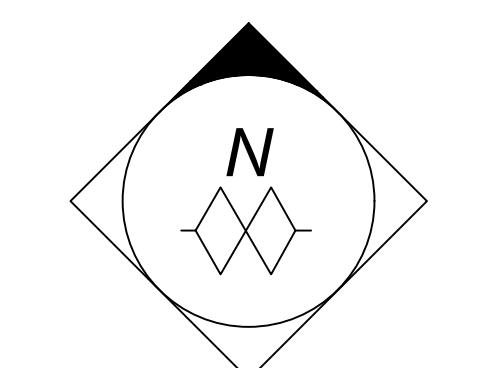
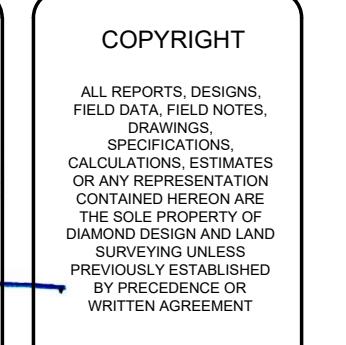
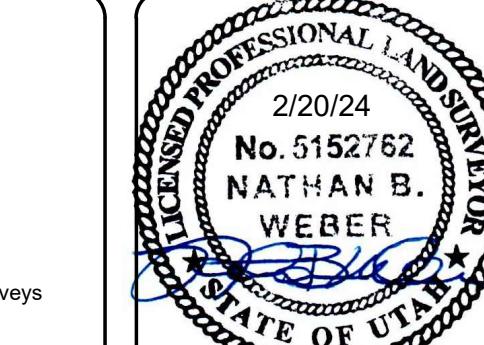
BASIS OF BEARING
N 0°15'12" W 269.41'

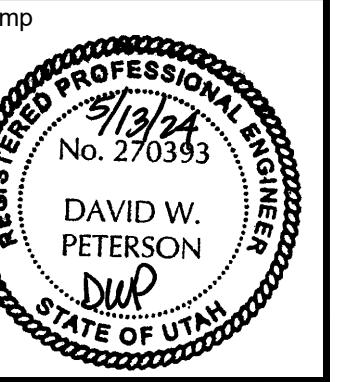
LEGEND



27:002:0118
JACKMAN, SHIRL TIFFANY
& SUSAN KAY A

WEST QUARTER CORNER OF SECTION 15,
T8S, R3E, SLB&M
FOUND 3" FLAT BRASS CAP MONUMENT
ELEVATION=4709.990
USED AS BENCHMARK





A New Meetinghouse for:
Mapleton 19 & Mapleton UT West Stake
1340 West 800 South
Mapleton, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Project Number	23-104
Plan Series	Heritage 23-2
Property Number	501-2699-230101
Date	November 6, 2023

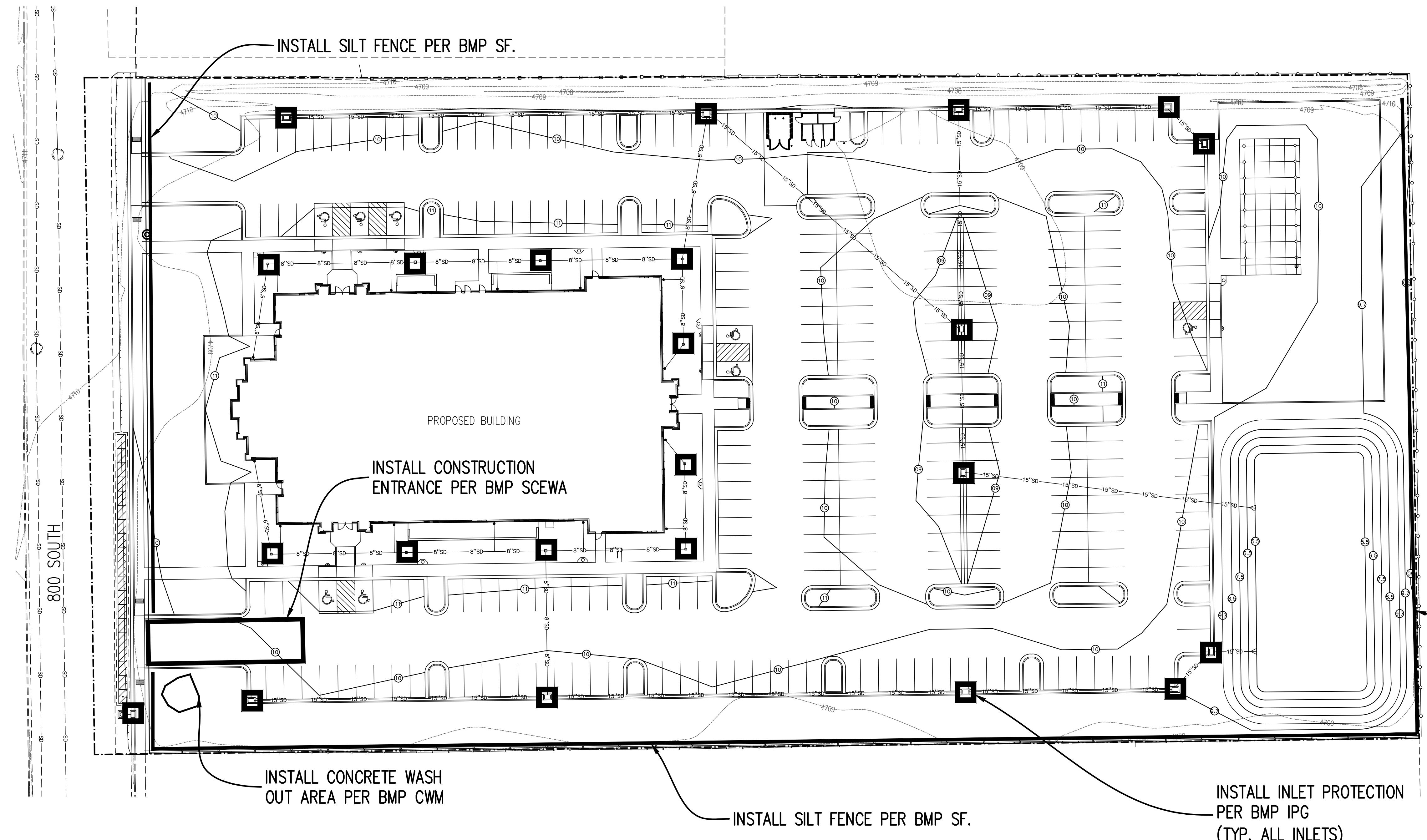
Sheet Title

EROSION CONTROL PLAN

BENCH MARK		
WEST QUARTER CORNER, SEC 15, T8S, R3E, SLB&M FOUND 3" FLAT BRASS CAP MONUMENT BENCHMARK ELEV = 4709.99		

Sheet

C204



30 15 0 30 60 90
Scale 1" = 30'

EROSION CONTROL NOTES:

1. CONTRACTOR IS TO READ AND UNDERSTAND ALL BMP PRACTICES PRIOR TO ANY CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO FOLLOW ALL BMP PRACTICES CONTAINED IN THESE PLANS.
2. CONSTRUCT A SILT FENCE AS SHOWN ON THE PLAN PER BMP SF.
3. INSTALL A CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN PER BMP SCEWA.
4. INSTALL CONCRETE WASH OUT AREA PER BMP CWM.
5. INSTALL INLET PROTECTION ON CATCH BASINS PER BMP IPG.
6. CONTRACTOR TO WATER SITE AT LEAST WEEKLY OR MORE FREQUENTLY AS NEEDED TO CONTROL DUST POLLUTION.
7. CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE.
8. CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.

SWPPP TEMPLATE & NOI NOTE:

COMPLETE CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN AND STATE NOI WILL BE DEFERRED UNTIL A CONTRACTOR FOR THIS PROJECT HAS BEEN SELECTED. ONCE THE CONTRACTOR HAS BEEN SELECTED, A SWPPP AND NOI WILL BE SUBMITTED TO THE CITY.



BMP: Concrete Waste Management
CWM

DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATION:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid storage of materials in areas where runoff can enter storm drains.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a berm or level area. (See Earth Berm/Batter Information sheet)
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:
Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:
Inspect subcontractors to ensure that concrete wastes are being properly managed.

If using a temporary pit, dispose hardened concrete on a regular basis.

Adapted from Salt Lake County BMP Fact Sheet

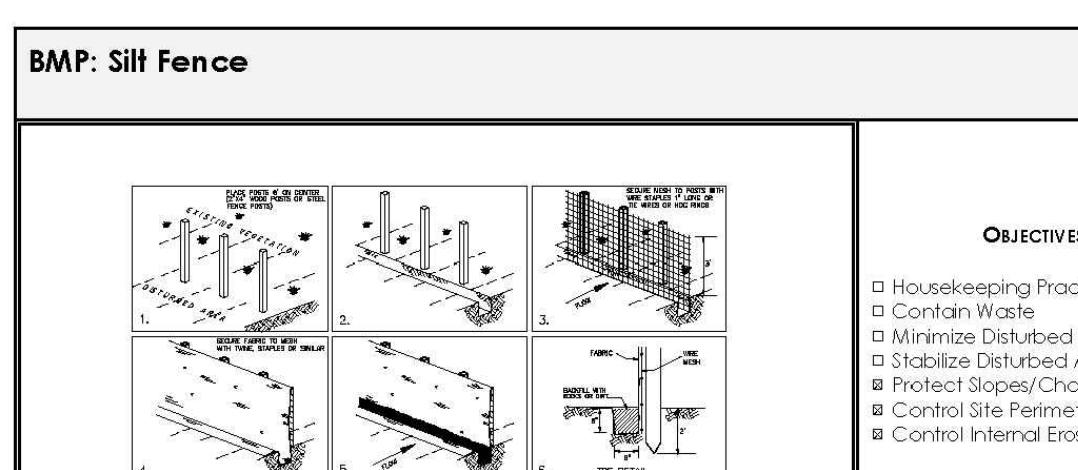
TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low



BMP: Silt Fence

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

APPLICATION:
► Perimeter control: place barrier at downgradient limits of disturbance
► Sediment barrier: place barrier at toe of slope or soil stockpile
► Protection of existing waterways: place barrier near top of stream bank
► Inlet protection: place barrier surrounding catchbasins

INSTALLATION/APPLICATION CRITERIA:

- Place posts 6 feet apart on center along contour or use preassembled unit and drive 2 feet minimum into ground. Excavate an anchor trench immediately upstream of posts.
- Attach filter fabric mesh (14 gauge min. with 1/2 inch opening) to upstream side of posts.
- Cut fabric to required width, unroll along length of barrier and drape over barrier.
- Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
- Backfill trench over filter fabric to anchor.

LIMITATIONS:

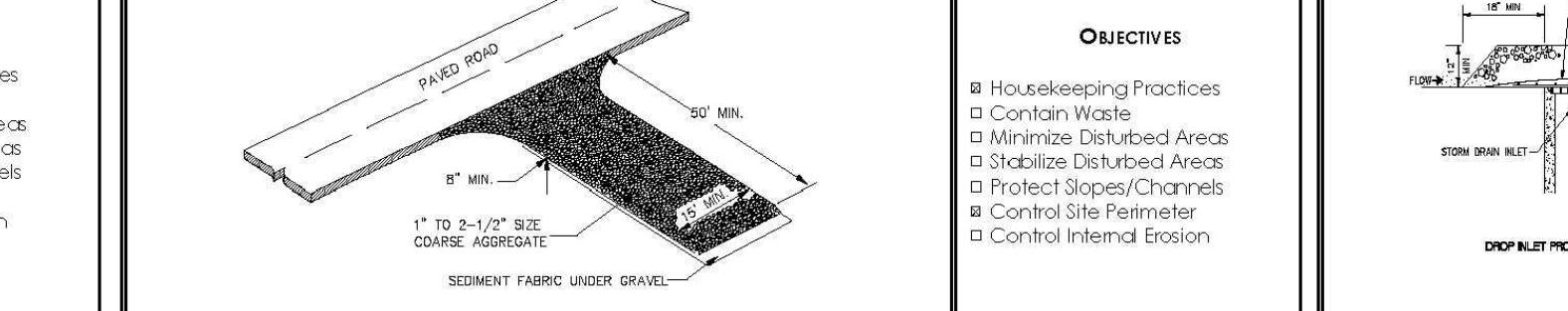
- Recommended maximum drainage area of 0.5 acre per 100 feet of fence
- Recommended maximum upgradient slope length of 150 feet
- Recommended maximum uphill grade of 2:1 (50%)
- Recommended maximum flow rate of 0.5 cfs
- Fencing should not be allowed behind fence.

IMPLEMENTATION:

- Inspect immediately after any rainfall and at least daily during prolonged rainfall
- Look for runoff bypassing ends of barrier or undercutting barriers.
- Repair or replace damaged areas of the barrier and remove accumulated sediment.
- Reinforce fence as necessary to prevent shortcircuiting.
- Remove accumulated sediment when it reaches 1/2 the height of the fence.

BMP: Stabilized Construction Entrance and Wash Area

SCEWA



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
A stabilized pool of crushed stone located where construction traffic enters or leaves the site from or to paved surface. The area can be used to spray off vehicles before they leave the site.

APPLICATION:
At any point of ingress or egress of a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

INSTALLATION/APPLICATION CRITERIA:

- Place aggregate and gravel area to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for upgradient areas).
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.
- Provide wash to the area that can be used to spray off vehicles as needed to prevent the tracking of mud off the construction site. This may not be needed during the period of work, but is needed when construction is proceeding under wet conditions.
- Provide drainage to prevent sediment laden wash water from entering storm water facilities or other water bodies, or leaving the site.

LIMITATIONS:

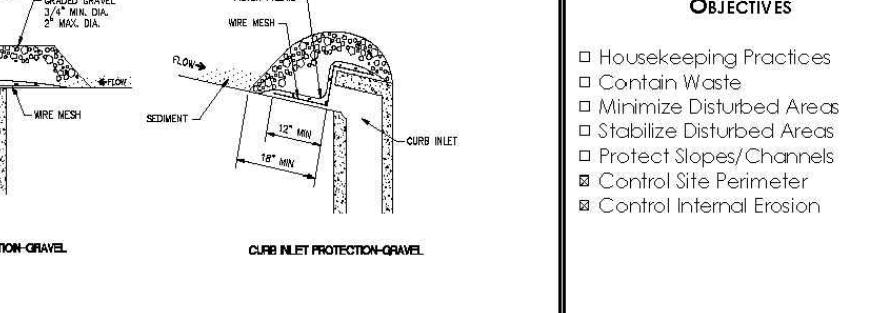
- Requires periodic top dressing with additional stones.
- Should be used in conjunction with street sweeping on adjacent public right-of-way.
- Must be situated such that waste water does not run off site.

IMPLEMENTATION:

- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by shoveling and sweeping.
- Repair damage and replace gravel as required to maintain control in good working condition.
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

BMP: Inlet Protection - Gravel

IPG



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Placement of gravel filter over inlet to storm drain to filter storm water runoff.

APPLICATION:
Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed from construction activities.

INSTALLATION/APPLICATION CRITERIA:

- Place filter fabric mesh (14 gauge min. with 1/2 inch opening) over the inlet grate extending one foot past the grate in all directions.
- Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- Place graded gravel to a minimum depth of 12 inches, over the filter fabric and extending 18 inches past the grate in all directions.

LIMITATIONS:

- Recommended for maximum drainage area of one acre.
- Excess flows may bypass the inlet requiring down gradient controls.
- Flooding will occur at inlet.

Maintenances:

- Inspect inlet protection after every large storm event and at a minimum of once monthly.
- Remove sediment accumulated when it reaches 4-inches in depth.
- Replace filter fabric and clean or replace gravel if clogging is apparent.

IMPLEMENTATION REQUIREMENTS:

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low



Know what's below.
Call before you dig.

Sheet

C204

DESIGN CRITERIA:

- 2021 INTERNATIONAL BUILDING CODE WITH STATEWIDE AMENDMENTS
- TYPE OF CONSTRUCTION: TYPE II-B.
- BUILDING USE: ASSEMBLY A-3
- BUILDING OCCUPANCY CATEGORY: II
- BUILDING HEIGHT: PER PLANS
- BUILDING VOLUME: 18,800 CU. FT.
- NO. OF OCCUPANTS: 120
- ROOF DEAD LOAD - 11 PSF PLUS FRAMING WEIGHT
 - SHINGLES AND FELT: 3.5 PSF
 - DIAPHRAGM SHEATHING: 2.3 PSF
 - WOOD DECK: 4.0 PSF
 - MISCELLANEOUS: 1.2 PSF
- ROOF LIVE LOAD - 20 PSF
- SNOW LOAD
 - Pg: 36 PSF (GROUND SNOW LOAD)
 - Pf = 0.7 * Pg * Ce * Ct * Is = 27 PSF (ROOF SNOW LOAD)
 - Ps = Pf Cs
 - Cs: 1.0 FOR A 4:12 PITCH
 - Ps: 27 PSF
- WIND LOAD (ULTIMATE)
 - V3s: 115 MPH
 - EXPOSURE: C
 - W: 1.00
- SEISMIC LOAD (ULTIMATE)
 - Ie: 1.00
 - Ss: 1.17
 - S1: 0.43
 - Sds: 0.806
 - Sd1: 0.45
 - Rs: 1.25
 - Cd: 2.5
 - SITE CLASS: D
 - SEISMIC DESIGN CATEGORY: D
 - R: 1.25 (CANTILEVERED STEEL COLUMNS)
 - EQUIVALENT LATERAL FORCE PROCEDURE
 - Cs = 0.65
- ALLOWABLE SOIL BEARING PRESSURE:
 - 1500 PSF
 - ALLOWABLE FOUNDATION AND LATERAL PRESSURE = 100 PSF/FT BELOW NATURAL GRADE (TABLE 1806.2 OF 2021 IBC).
 - USE CONSTRAINED CONDITIONS FOR CONCRETE PIERS
 - COORDINATE ALL SITE GRADING AND SOIL WORK WITH THE SOILS REPORT.

PAVILION CONSTRUCTION SEQUENCE NOTES:

- VERIFY PERMIT REQUIREMENTS BEFORE SIGNING CONTRACTS.
- BUILDING PERMIT
 - PLANNING OR CONDITIONAL USE PERMIT
 - OBTAINT REQUIRED USE PERMIT
- REMOVE ALL FERGATION, ROCKS, OUTCROPPINGS, AND TREES FROM LOCATION OF PAVILION SLAB. STRIP 6" OF TOP SOIL.
- LEVEL PAVILION BUILDING AREA. AVOID GRADING THAT ALLOWS WATER TO DRAIN TOWARD PAVILION.
- DIG COLUMN CAISONS.
- PLACE COLUMN CAISSON FORMS AND SET REINFORCING STEEL.
- SET COLUMN ANCHOR BOLTS USING PLYWOOD TEMPLATE OF APPROXIMATELY THE SAME SIZE AS COLUMN BASE PLATE TO INSURE BOLT LOCATION ACCURACY.
- PLACE CONCRETE IN CAISSON FORMS FROM BOTTOM OF PIER UP TO A LEVEL 1-1/2" BELOW BOTTOM OF COLUMN BASE PLATE. LET CONCRETE CURE 7 DAYS.
- SET HSS COLUMNS OVER PRE-SET ANCHOR BOLTS ALLOWING COLUMNS TO REST ON LEVELING NUTS AND 1/4" x .3" PLATE WASHERS. LEVELING NUTS ARE TO BE USED TO SET COLUMNS PLUMB AND TRUE AND AT CORRECT BEARING HEIGHT TO RECEIVE GLU-LAM BEAMS.
- AFTER COLUMNS ARE SET PLUMB AND TRUE, VERIFY ACCURACY OF DIMENSIONS BETWEEN COLUMNS AND SECURE COLUMNS IN PLACE USING 1/4" x .3" PLATE WASHERS UNDER NUTS. TIGHTEN NUTS WITH ADDITIONAL 1/4 TURN PAST SNUG.
- THE WEIGHT OF GLU-LAM BEAMS IS APPROXIMATELY 500 POUNDS EACH. SOME FORM OF MECHANICAL HOIST IS RECOMMENDED FOR SETTING BEAMS ON TOP OF STEEL TUBE COLUMNS.
- NOTCH A 1" x 1" HOLE AT TOP OF BEAMS NEAR CENTER PEAK FOR ELECTRICAL CONDUIT TO PASS THROUGH.
- LIFT GLU-LAM BEAMS AND SET EACH END IN THE COLUMN SADDLE PLATES.
- ANCHOR BEAMS IN SADDLES WITH (8) SIMPSON SDS2512 WOOD SCREWS.
- ONCE GLU-LAM BEAMS ARE SET AND SECURELY BOLTED, ADEQUATELY BRACE EACH BEAM USING 2x LUMBER TO PREVENT BEAMS FROM OVERTURNING UNTIL ROOF DECK AND ROOF SHEATHING ARE SECURELY ANCHORED IN PLACE.
- SET 2x8 TONGUE AND GROOVE ROOF DECK WITH COMMON OR RING SHANK NAILS IN ACCORDANCE WITH SUPPLIERS' RECOMMENDATIONS.
- INSTALL 2x6 FASCIA BOARD AROUND ENTIRE ROOF PERIMETER. ALIGN TOP OF FASCIA BOARD WITH TOP OF ROOF DECKING.
- INSTALL WOOD ROOF SHEATHING OVER 2x8 TONGUE AND GROOVE ROOF DECK AT 45 DEGREES AS SHOWN IN ROOF DIAPHRAGM DETAIL.
- LAY 30 POUND FELT UNDERLAYMENT OVER ENTIRE ROOF STARTING AT FASCIA DRIP EDGE, OVERLAP EACH ROLL 6" AS FELTS ARE LAID UP TO RIDGE.
- INSTALL PRE-FINISHED METAL DRIP EDGING ON ALL PERIMETER EDGES OF ROOF.
- INSTALL FIBERGLASS SHINGLES OVER ROOF UNDERLAYMENT AND PRE-FINISHED METAL DRIP EDGING. FOLLOW MANUFACTURER'S INSTRUCTIONS.
- PLACE NON-SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON-SHRINK GROUT EDGES TO 45 DEGREES.
- PLACE REMAINDER OF CONCRETE SLAB ANY TIME AFTER GLU-LAM BEAMS, ROOF DECKING, AND PLYWOOD ROOF SHEATHING ARE SECURELY IN PLACE.
- FINISH TOP SURFACE OF CONCRETE SLAB WITH A LIGHT BROOM FINISH.
- AS SOON AS CONCRETE HAS CURED ENOUGH TO SUPPORT AN EARLY ENTRY SAW (4-6 HOURS AFTER PLACEMENT), CUT CONTROL JOINTS IN SLAB TOP SURFACE. DEPTH OF CONTROL JOINTS IS TO BE 1" DEEP.
- INSTALL MEMBRANE CURING ON CONCRETE SLAB.
- ALLOW CONCRETE SLAB TO CURE A MINIMUM OF 7 DAYS BEFORE PROCEEDING WITH REMAINDER OF PAVILION WORK.
- ALL STEEL COLUMNS, SADDLES, BOLTS, AND BASE PLATES TO BE POWDER COATED TOUCH-UP FINISH PAINTING BY OTHERS.
- STAIN ALL EXPOSED WOOD.

SITE PREPARATION:

- REMOVE ALL ORGANIC MATERIAL AND TOPSOIL FROM PAVILION AREA. VERIFY SUITABILITY OF SUBGRADE. FOUNDATIONS ARE TO BE ON UNDISTURBED, NATURAL SOIL OR ENGINEERED FILL EXTENDING TO SUITABLE UNDISTURBED NATURAL SOILS.
- PLACE FOOTINGS/CAISONS IN FIRM UNDISTURBED NATURAL SUBGRADE (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- COMPACT SUBGRADE AND FILL UNDER CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557 (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- INSTALL AND COMPACT 6 INCH GRANULAR BASE BENEATH CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557.

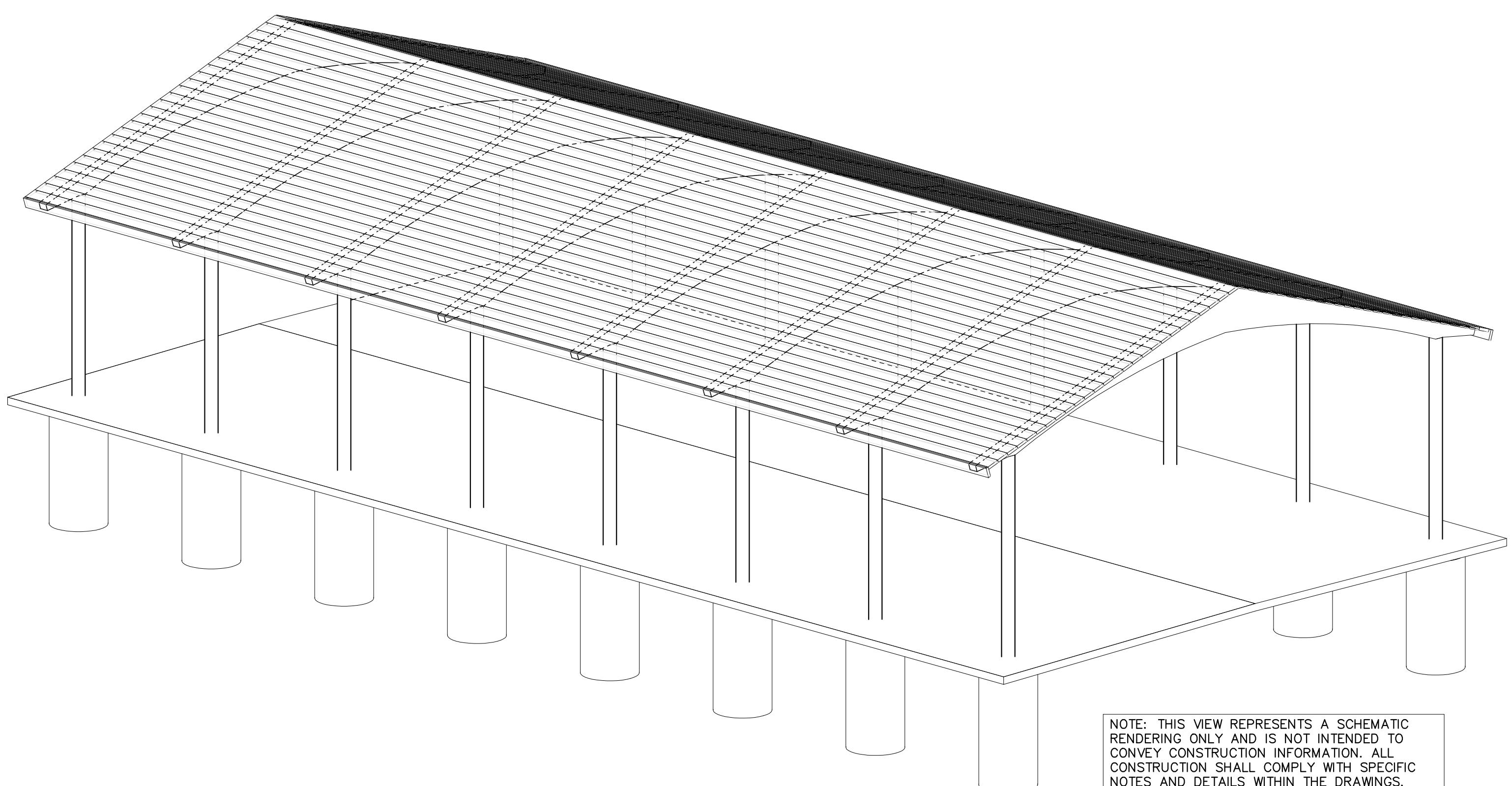
UTILITIES:(BY OTHERS)

- INSTALL PLUMBING LINE FOR COLD WATER.
- INSTALL ELECTRICAL LIGHTS, BOXES, CONDUITS, AND SWITCHES.

SPECIFICATIONS:

SCOPE— ONE EACH 30 FOOT BY 60 FOOT PAVILION WITH MINIMUM 4 INCH THICK CONCRETE SLAB. PROVIDE SHINGLES, ROOFING FELTS, FASCIA, SHEATHING, ROOF FRAMING, BEAMS, SOFFIT, CONNECTION HARDWARE, COLUMNS, CONCRETE SLAB, CONCRETE CAISONS AND FINISHES TO CONSTRUCT COMPLETE PAVILION.

PAVILION HAS BEEN DESIGNED AS A FREE STANDING, OPEN STRUCTURE. RE-ENGINEER PAVILION IF WALLS ARE ADDED, IF STRUCTURE IS TO ADJOIN ANOTHER STRUCTURE, OR IF OTHER SUCH MODIFICATIONS ARE MADE. PROPERLY BRACE WOOD BEAMS AND MEMBERS UNTIL COMPLETE STRUCTURAL SYSTEM HAS BEEN CONSTRUCTED.

**CONCRETE:**

- CONCRETE SLAB ON GRADE IS TO BE REINFORCED AND BE 4" MINIMUM THICK. INSTALL WITH CRACK CONTROL JOINTS AS SHOWN. SURFACE IS TO HAVE A BULL FLOAT FINISH AND BE LIGHTLY BROOMED.
- EDGE OF SLAB IS TO BE THICKENED TO 8" WIDE AND BE REINFORCED WITH (2) #4 CONTINUOUS BARS. LAP SPLICES 24".
- PROVIDE DEFORMED REINFORCING STEEL BARS CONFORMING TO ASTM A615 WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. SECURE ANCHOR REINFORCING STEEL, AND PROVIDE CLEARANCES, IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- MINIMUM CONCRETE MIX DESIGN REQUIREMENTS:
 - COMPRESSIVE STRENGTH OF CONCRETE TO BE 4,500 PSI AT 28 DAYS.
 - MAX W/C: 0.45
 - 6% (+/-1.5%) AIR ENTRAINMENT.
 - CEMENT TYPE II/V
 - DESIGNED FOR THE FOLLOWING EXPOSURE CATEGORIES AND CLASSES:
 - F2, S1 (PER ACI 318 TABLE 4.2.1)
 - LIMIT SLUMP TO 4" (+/-1")
- VERIFY STRENGTH REQUIREMENTS AND CEMENT TYPE REQUIREMENTS WITH THE GEOTECHNICAL EVALUATION REPORT.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- SLAB TO BE SEALED WITH WEATHERWORKER J-29A CONCRETE SEALER, BY DAYTON SUPERIOR CORPORATION. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- MANUFACTURER CONCRETE CURING: USE CLEAR CURE J7wb BY DAYTON SUPERIOR CORPORATION. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.

STRUCTURAL STEEL:

- ALL STEEL PLATES TO BE ASTM A36
- STEEL TUBES TO BE ASTM A500, GRADE B, Fy = 46,000 PSI
- ALL WELDING IS TO BE DONE IN ACCORDANCE WITH LATEST AWS STANDARDS. IF WELDS ARE NOT SPECIFIED, ALL WELDS ARE TO DEVELOP THE FULL STRENGTH OF ALL COMPONENT PARTS.
- ALL BOLTS ARE TO BE ASTM A325 EXCEPT THAT ANCHOR BOLTS ARE TO BE ASTM F1554 GRADE 36.
- ALL EXPOSED BOLTS ARE TO BE PAINTED TO MATCH STRUCTURE.
- ALL HOLES IN STEEL TO BE 1/16" LARGER THAN THE DIAMETER OF THE CONNECTING BOLT UNLESS NOTED OTHERWISE.
- ALL FABRICATED STEEL IS TO BE PRIMED AND FINISH POWDER COATED.

WOOD:

- GLU-LAM BEAMS:
 - SOUTHERN YELLOW PINE
 - 24F-V3 STRESS COMBINATION
 - 2-INCH NOMINAL THICK LAMINATIONS
 - 5" MINIMUM WIDTHS
 - RESORCINOL ADHESIVE
 - DOUBLE PITCHED AND TAPERED
 - ARCHITECTURAL APPEARANCE GRADE
 - STAIN AND SEAL FINISH
 - ROOF PITCH IS TO BE 4 VERTICAL TO 12 HORIZONTAL (4:12)
 - MATERIALS, MANUFACTURE AND QUALITY CONTROL OF GLUE LAMINATED BEAMS SHALL BE IN CONFORMANCE WITH "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS - STRUCTURAL GLUED LAMINATED TIMBER" ANSI/AITC A190.1.
- MEMBERS SHALL BE MARKED WITH AN AITC OR APA/EWS QUALITY MARK AND, IN ADDITION, AN AITC OR APA/EWS CERTIFICATE OF CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/AITC A190.1.
- FACTORY SEAL BEAMS AND INDIVIDUALLY WRAP FOR PROTECTION IN TRANSIT, STORAGE, AND ERECTION.
- TEMPORARY STORAGE SHALL CONSIST OF LEVELED BLOCKS, WELL OFF GROUND, SEPARATION WITH WOOD STRIPS FOR AIR CIRCULATION AROUND EACH MEMBER, COVER TOP AND SIDES WITH MOISTURE RESISTANT PAPER.
- USE NON-MARRING SLINGS WHEN HANDLING, DRY-IN ROOF AS SOON AS ERECTED.
- PROTECTIVE WRAPPING SHALL REMAIN ON BEAMS UNTIL DECK HAS BEEN INSTALLED AND SHINGLES APPLIED.
- ROOF FRAMING:
 - USE GALVANIZED NAILS.
 - 2x6 FASCIA: NO. 1 SOUTHERN YELLOW PINE, KILN DRIED, CHROMATED COPPER ARSENATE PRESSURE TREATED (0.4 PCF) SURFACED ON FOUR SIDES, AND STAINED. FASCIA IS TO BE FREE OF ANY GROOVES OR INCISIONS.
 - MITER ENDS OF FASCIA AT CORNERS
 - BUTT FASCIA ONLY AT BEAM ENDS
 - FASTEN FASCIA TO BEAM WITH NOT LESS THAN THREE 16d COMMON, GALVANIZED NAILS AT EACH BEAM JUNCTION AT EAVE AND TO OUTLOOKERS WITH TWO 16d COMMON, GALVANIZED NAILS AT EACH RAKE.
 - 2x8 ROOF DECK:
 - Douglas Fir Larch, SINGLE TONGUED AND GROOVED, SPECIFIED LENGTH, CENTER MATCHED, EDGE VEED TWO SIDES, KILN DRIED AND STAINED - NO. 2 GRADE
 - DECK FURNISHED IN SPECIFIED LENGTHS SO ALL JOINTS OCCUR OVER BEAMS -- RANDOM LENGTH DECK IS UNACCEPTABLE. DECK SHALL BE INSTALLED WITH A 2 SPAN CONDITION, MINIMUM.
 - INSTALL IN ACCORDANCE WITH SUPPLIER'S SPECIFICATIONS USING 16d COMMON OR RING SHANK NAILS. MINIMUM. NAILING SHALL BE FACE NAILED USING (3) NAILS AT EACH BEARING POINT WITH A 4TH NAIL DIAGONALLY THROUGH THE TONGUE OF THE DECKING MEMBER. NAILS MUST PENETRATE 1-1/2 INCHES INTO SOLID WOOD.
 - INSTALL WITH TONGUES UP ON SLOPED ROOFS.
 - ROOF SHEATHING:
 - 7/16" THICK PLYWOOD OR ORIENTED STRAND BOARD COMPLYING WITH STANDARD PS-1 OF THE AMERICAN PLYWOOD ASSOCIATION APA/ANSI A199.1. APPROPRIATE APA STAMP IDENTIFYING FOLLOWING REQUIREMENTS: 24/0 SPAN INDEX RATING, EXTERIOR EXPOSURE, 18 PERCENT MAXIMUM MOISTURE CONTENT WHEN FABRICATED.
 - INSTALL DIRECTLY OVER WOOD TONGUE AND GROOVE ROOF DECKING IN 4'x8' PANELS AT 45 DEGREES TO DECKING. STAGGER PANEL JOINTS APPROXIMATELY 4"-0" AND GAP JOINTS 1/4 INCH. STAPLE AROUND PERIMETER OF EACH PANEL WITH STAPLES AT 2" O.C. PER LINEAR FOOT. STAPLE WITHIN FIELD OF EACH PANEL WITH (2) ROWS OF STAPLES AT 8" O.C.
 - PROTECT SHEATHING WITH 30 POUND FELT IMMEDIATELY AFTER INSTALLATION

ROOF SYSTEM:

- 50 YEAR ASPHALT SHINGLE by OWENS CORNING WITH A LIFETIME WARRANTY
- PROFILE NOMINAL SIZE: 13" x 39 3/8"
- EXPOSURE: 5 5/8"
- COLOR AS PER OWNER FROM MANUFACTURERS STANDARD COLOR SELECTION.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- PROVIDE EDGE AND TERMINATION DETAIL COMPONENTS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTY.

STAIN:

- BEAMS, DECK, AND FASCIA SHALL BE FACTORY STAINED WITH "OLYMPIC" SEMI-TRANSPARENT STAIN. BEAMS AND FASCIA TO BE STAINED NO. 708 WALNUT, DECK TO BE STAINED NO. 911 CAPE COD GRAY OR AS SELECTED BY OWNER.

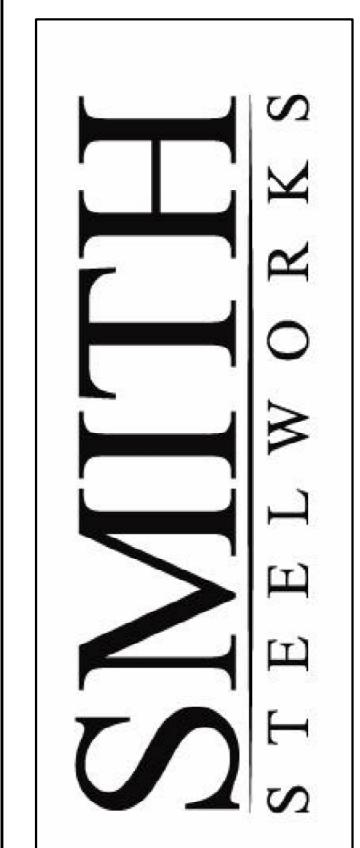
ELASTOMERIC JOINT SEALANTS:

- PROVIDE SIKASIL-728 NS NON-SAG SILICONE SEALANT AT SAW CUT JOINTS AND COLD JOINTS.
- PROVIDE DOW CORNING 791 SILICONE WEATHERPROOFING SEALANT AT COLUMN/CONCRETE JOINT.
- CLEAN AND PREPARE SURFACES.
- USE PROPER PRIMER AND BACKING MATERIALS AS REQUIRED TO INSTALL SEALANTS.
- PROVIDE MASKING AND TEST STRIPS AS NEEDED.
- INSTALL ALL RELATED SEALANTS AND MATERIALS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

PLUMBING AND ELECTRICAL:(BY OTHERS)

- COORDINATE PLUMBING AND ELECTRICAL REQUIREMENTS WITH ARCHITECTURAL AND CITE PLANS, BY OTHERS.

Supplier:



Project for: 30'x60' Gulgum Pavilion Kit 1 Option A

1340 West 800 South

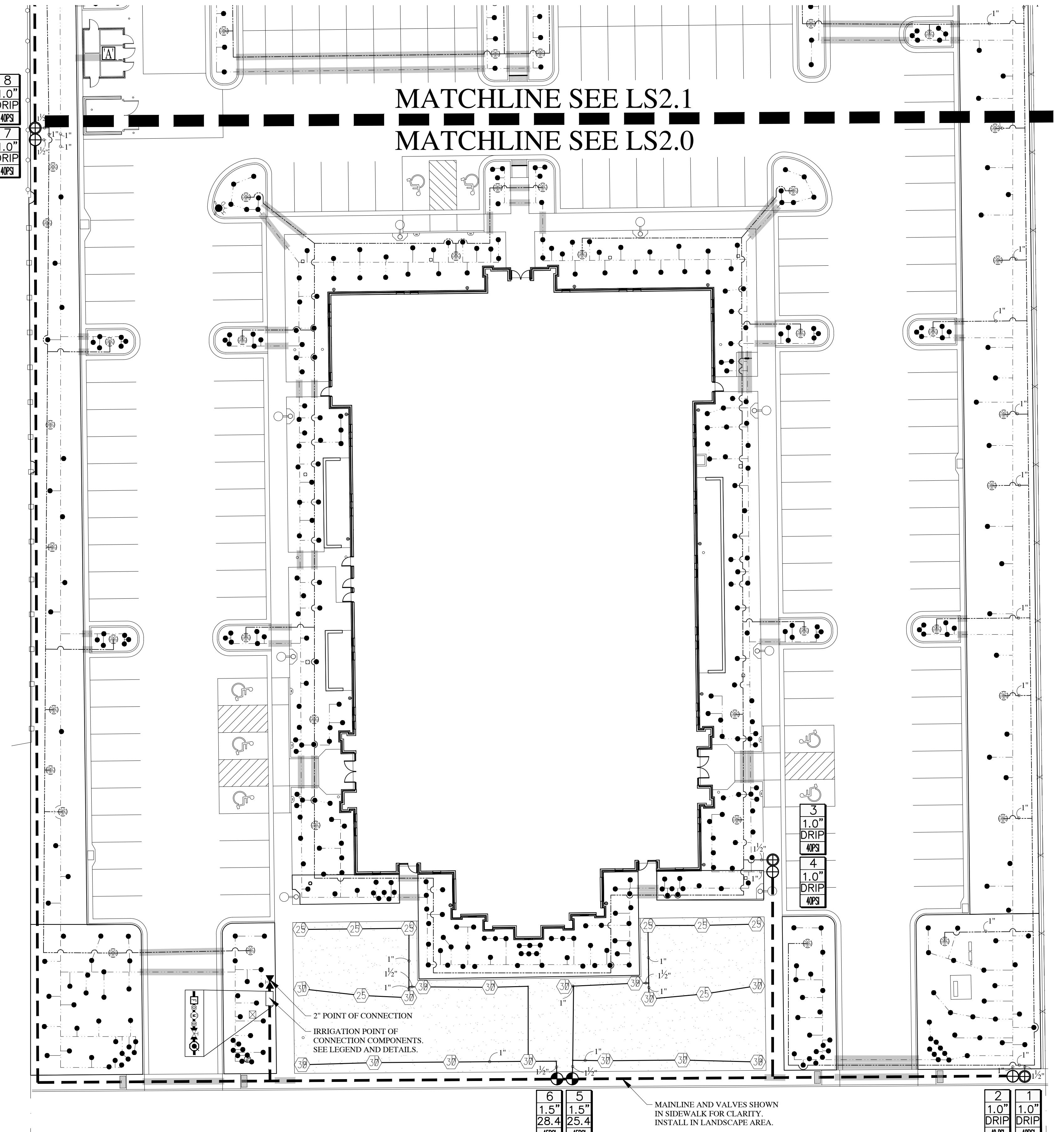
Mapleton, Utah

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Sheet Title: PLAN VIEWS

Sheet:

C811



IRRIGATION LEGEND

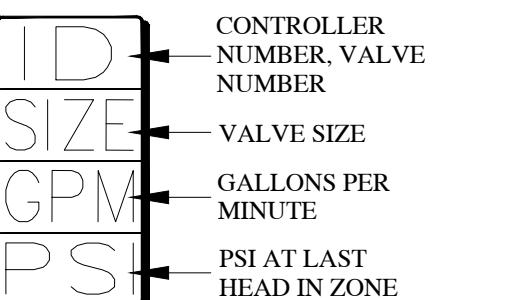
SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM					DRIP GPH	DETAILS	REMARKS
					Q	T	H	TT	TQ			
●	RAINBIRD XB-PC	FULL	--	40	--	--	--	--	--	2.0	16, 17	SEE LEGEND BELOW FOR ADDITIONAL INFORMATION.
●	DRILINE: NETAFIM TLCV-09-12	FULL	--	40	--	--	--	--	--	.9/12"	13, 14, 15	ADJUST NOZZLES AS NEEDED TO KEEP WATER OFF SIDEWALK, ASPHALT AND BUILDING.
●	RAIN BIRD RD-1806-SAM-PRS-12 SERIES POP-UP	Q.H	12"	30	.65	--	1.30	--	--	--	19, 20	
●	RAIN BIRD RD-1806-PRS POP-UP ROTARY 24	ADJ.Q.H.F	17" - 24"	45	.84	--	1.68	--	.348	--	19, 20	
●	RAIN BIRD 5006-MPR-25 SERIES ROTOR	Q.H.F	25"	45	1.00	--	1.98	--	.382	--	22	
●	RAIN BIRD 5006-MPR-30 SERIES ROTOR	Q.H	30"	45	1.40	--	2.96	--	--	--	22	
●	RAIN BIRD 5006-MPR-35 SERIES ROTOR	Q.T.H.F	35"	45	1.92	2.46	3.81	--	.758	--	22	
A	CONTROLLED WEATHERTRAP ET PRO3 (WTPRO3-C-12-CWM)										8, 11, 12	COORDINATE LOCATION WITH OWNER
●	1" RAINBIRD QUICK COUPLER VALVE, MODEL 44-LRC										3	IN 10" RND. VALVE BOX
●	2" AMPLI-MAG-SIGMA AUTO DRIPLINE										9, 21	IN ARCHITECTURE ENCLOSURE
●	REMOTE CONTROL KIT: RAINBIRD PRS-D AUTOMATIC CONTROL VALVE; SIZE PER PLAN										4, 6	JUMBO VALVE BOX
●	DRIP CONTROL ZONE KIT: RAINBIRD XCZ-100-PRB.COM PER PLANS										6, 18	JUMBO VALVE BOX
●	DRIP CONTROL ZONE KIT: RAINBIRD XCZ-100-PRB.COM PER PLANS (FOR TREES)										6, 18	JUMBO VALVE BOX
●	2" PRESSURIZED IRRIGATION STUB TO BE INSTALLED BY GENERAL CONTRACTOR.										7	BY GENERAL CONTRACTOR
●	2" HYDROMETER: NETAFIM LHM21G1-MEL (WITH PE-393 FLOW SENSOR CABLE)										10	BY GENERAL CONTRACTOR
●	DRAIN VALVE: GRACO WELD TOP										5, 7	REFERENCE DETAILS
●	ISOLATION VALVE.										7	REFERENCE DETAILS
●	MAINLINE: 2" SCH 40 PVC OR OTHERWISE NOTED.										1, 2	REFERENCE DETAILS
●	LATERAL LINE FOR ROTORS AND/OR SPRAYS: SCHEDULE 40 PVC										1, 2	REFERENCE DETAILS
●	TREE DRIP LATERAL LINE (SIZE AS REQUIRED)										1, 2	REFERENCE DETAILS
●	SHRUB DRIP LATERAL LINE (SIZE AS REQUIRED)										1, 2	REFERENCE DETAILS
●	SCH. 40 PVC SLEEVE (SIZE TO MIN. 2X DIA. OF PIPE WITHIN THE SLEEVE). ADD ADDITIONAL SLEEVES AS REQ.										1, 2	REFERENCE DETAILS
●	WIRE CHASE: SIZE TO BE TWICE THE DIA. OF THE WIRE BUNDLE DOWN TO 1" DIA. MIN.										8, 11	REFERENCE DETAILS
●	NOT SHOWN										14	GAUGE SOLID COPPER SINGLE STRAND WIRE.
●	NOT SHOWN										23	REFERENCE DETAILS
●	FLO-WELL DRY WELL SYSTEM - MODEL NO. FWAS24 - NDSPRO.COM											

DRIP Emitter Legend

PLANT TYPE	EMITTER QTY	EMITTER TYPE
PERENNIALS/GRASSES	1	XB-20 (2GPH)
ALL SHRUBS	1	XB-20 (2GPH)
TREES IN PLANTERS	1	XB-10 (1GPH)

NOTE:
1. EMITTERS LISTED ARE AVAILABLE FROM RAINBIRD.
INSTALL NETAFIM TLCV IN ADDITION TO XB-10 EMITTERS PER DETAILS ON SHEET LS4.0.

VALVE ID TAG



IRRIGATION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITTING.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
- PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
- CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
- CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE FOR ALL LAWN AREAS. VAN AND/OR U-SERIES NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDE HEAD TO HEAD COVERAGE AND/OR TO MINIMIZE OVER SPRAY ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- LANDSCAPE ARCHITECT SHALL PROVIDE SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPE TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- MAIN LINE SHALL BE 2" SCH. 40 PVC (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 1" SCH. 40 PVC UNLESS NOTED ON PLANS. PVC PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1" PIPE MAX. 1-1/2" PIPE MAX. 30GPM (DO NOT USE 1/2" PIPE OR 1-1/4" PIPE ON THIS PROJECT). ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING BOULDERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
- PLACE PIPE, VALVES, AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MOVE LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES, SHRUBS AND BOULDERS PER PLANTING PLAN. DO NOT LOCATE VALVE BOXES IN LAWN AREAS IF POSSIBLE.
- AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
- ALL SPRINKLERS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
- IN ALL AREAS WHERE SIDEWALKS, WALLS AND WALLS, VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
- DRIP LINES SHALL BE RAINBIRD XBS OR XT-700 TUBING DRIP PIPE. FOR DRIP AREAS REQUIRING 0.4 GPM USE 1/2" DRIP PIPING. FOR DRIP AREAS REQUIRING 4.8GPM USE 3/4" DRIP PIPING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER IF MOUNTED OUTSIDE. CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPEC.
- IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE FILTER PER MANUFACTURER SPECS. INSTALL THE FILTER AND PRESSURE REDUCER IN A LOCKING STRONGBOX ENCLOSURE POWERCOATED RAL 1019 WOODLANDS TAN. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
- INSTALL THE PRS-D OPTION FOR SPRAY VALVES IF THE STATIC PRESSURE AT SPRAY HEADS EXCEEDS 70 PSI.

A New Meetinghouse for:
Mapleton 19 & Mapleton 20 West Stake

1340 West 800 South
Mapleton, Utah

Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Project Number
23-104
Plan Series
Heritage 23-2
Property Number
501-2699-23010101
Date
November 6, 2023

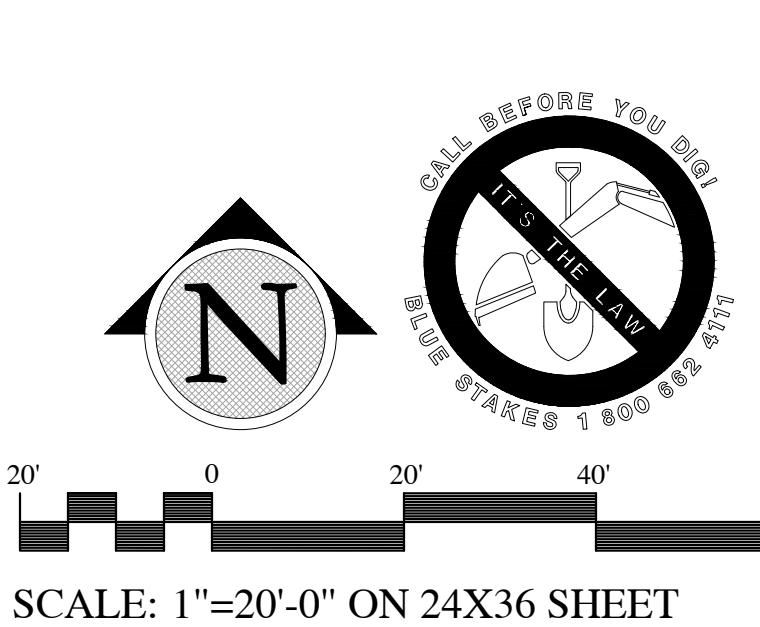
Sheet Title

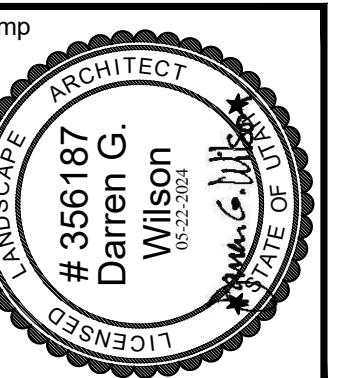
IRRIGATION
PLAN

Sheet
LS2.0

es
EVANS + ASSOCIATES, Architecture
1158 South 1000 East, Suite 100
Phone: 801-355-3273
Stamp
Landscape Architect
Darren G. Wilson
LICENSED #356187
Mapleton, Utah

InSite
DESIGN GROUP
Landscape Architecture Land Planning
17 North 470 West American Fork, Utah 84003
801-566-5043 www.in-sitedesigngroup.com

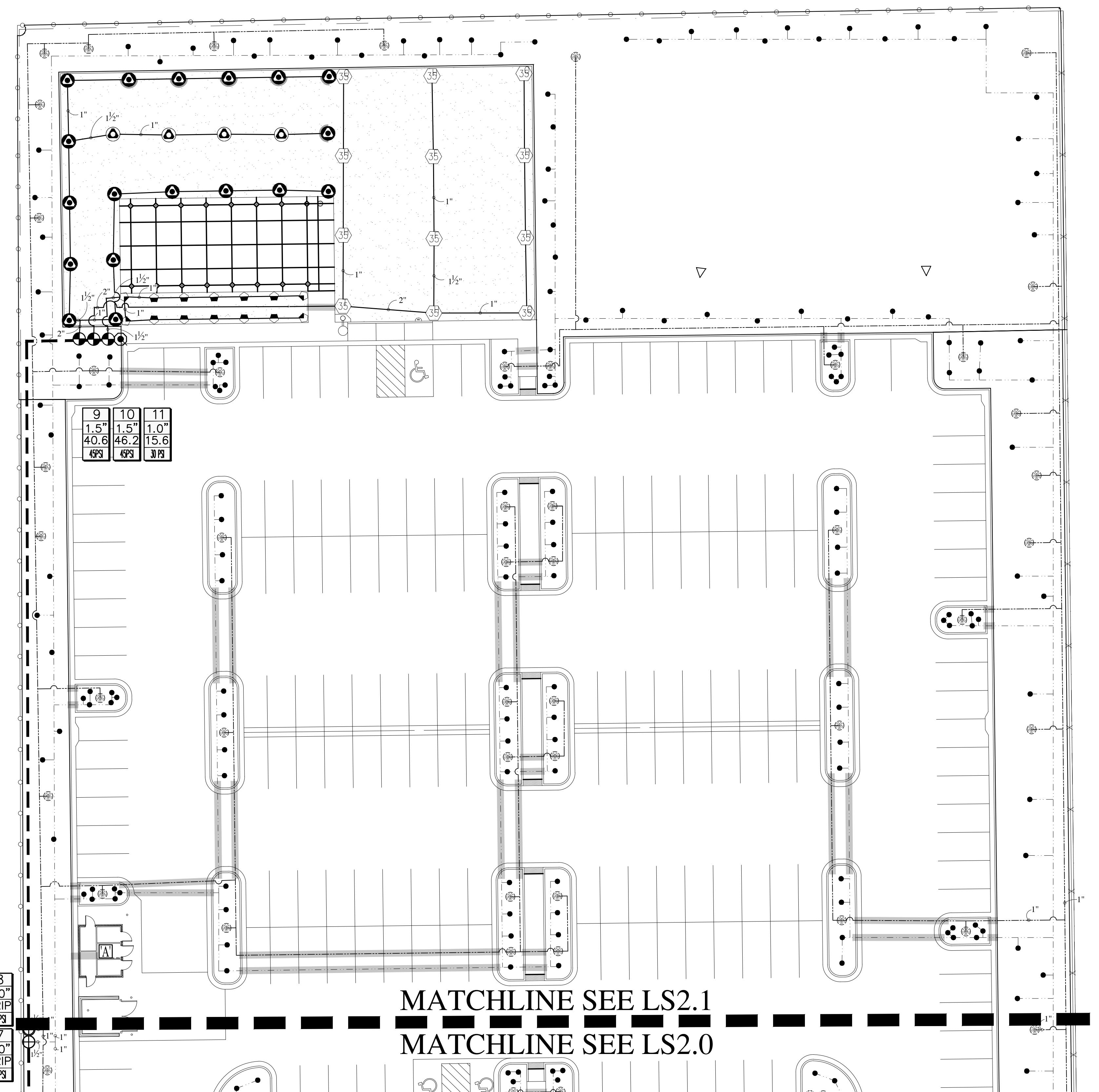


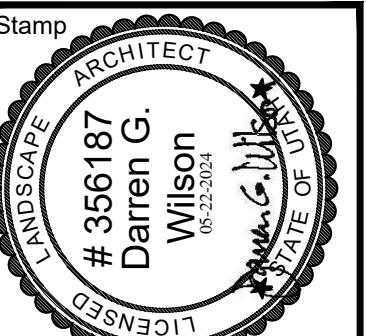


A New Meetinghouse for:
Mapleton 19 & Mapleton UT West Stake

1340 West 800 South
Mapleton, Utah

Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS





A New Meetinghouse for:
Mapleton 19 & Mapleton UT West Stake

1340 West 800 South
Mapleton, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

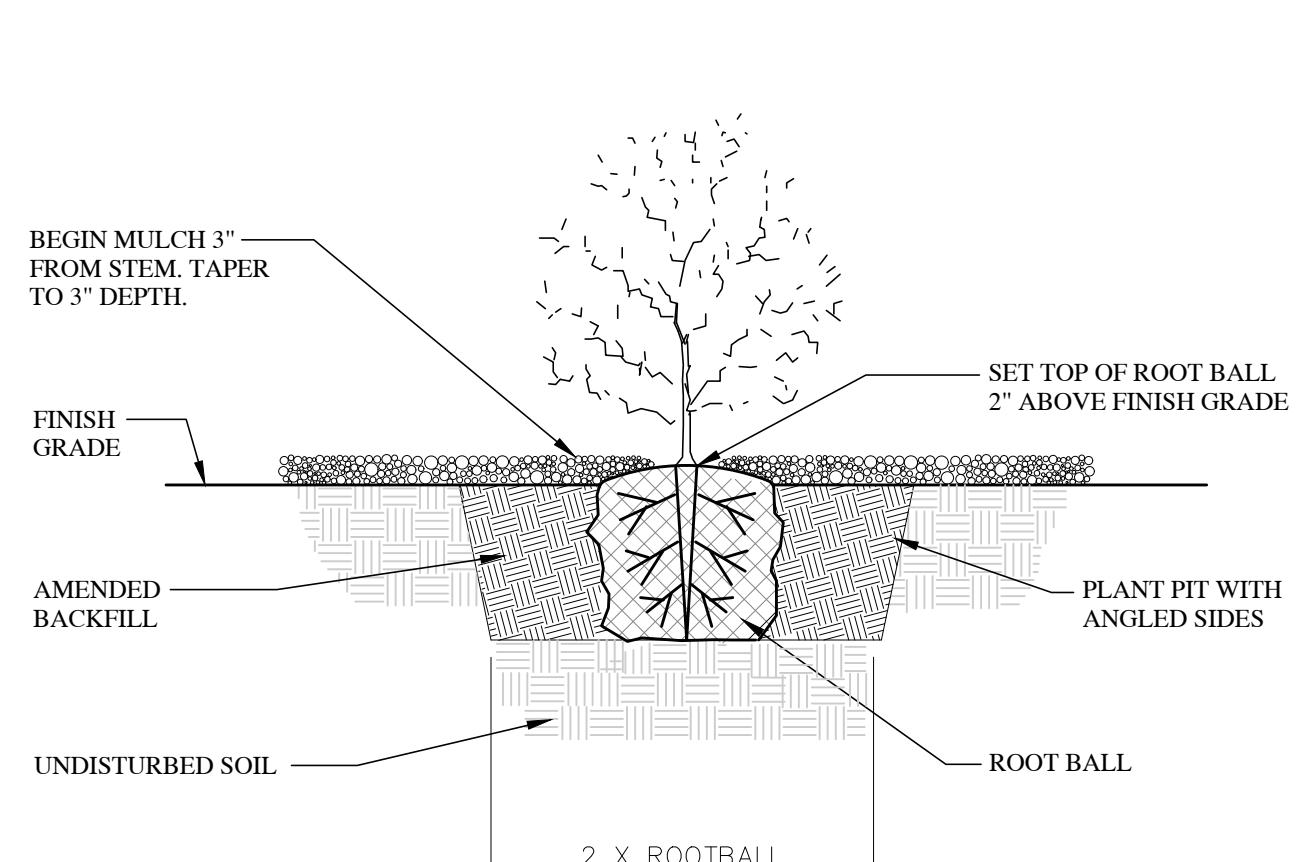
Project Number
23-104
Plan Series
Heritage 23-2
Property Number
501-2699-23010101
Date
November 6, 2023

Sheet Title

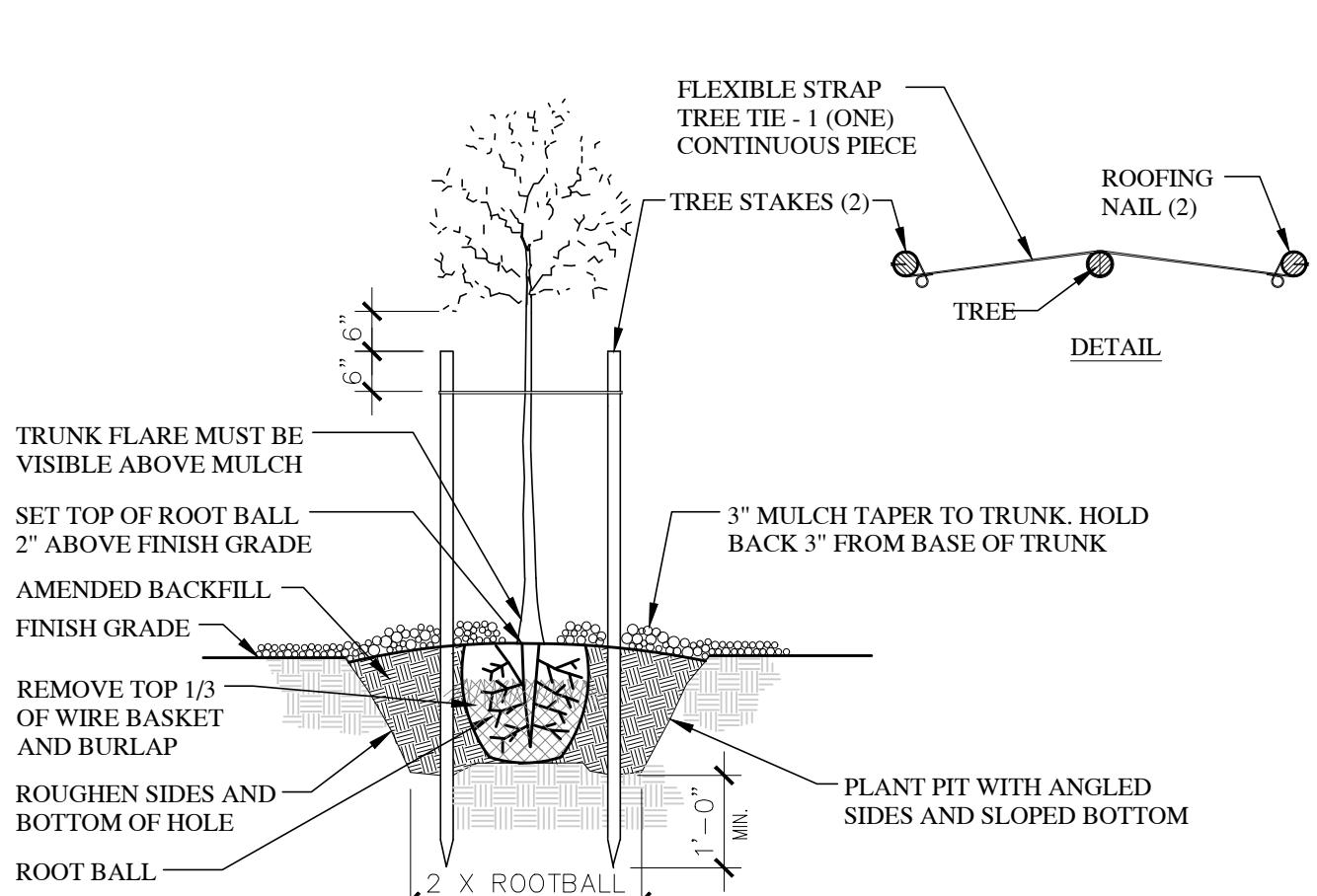
PLANTING DETAILS

Sheet

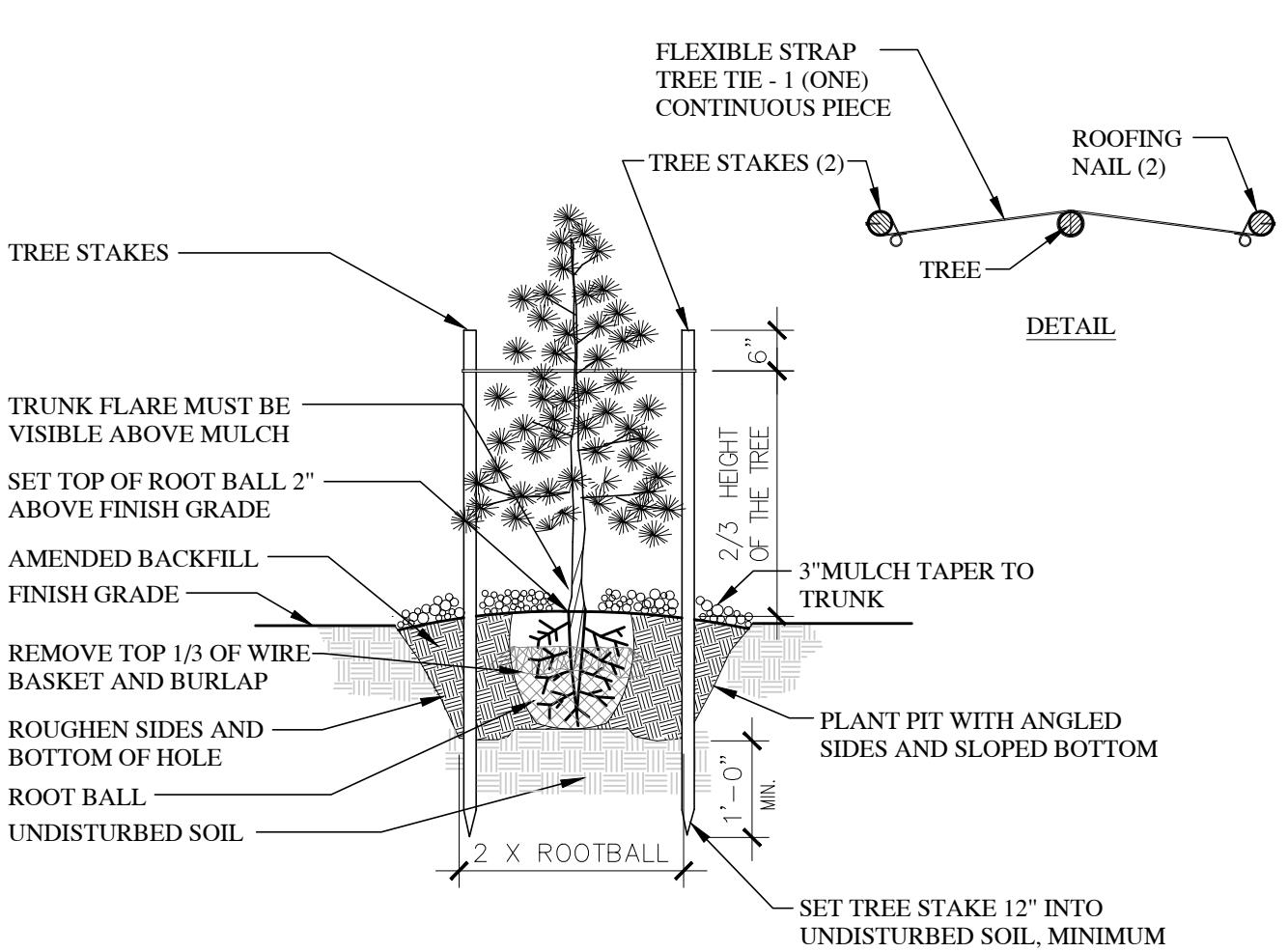
LS3.0



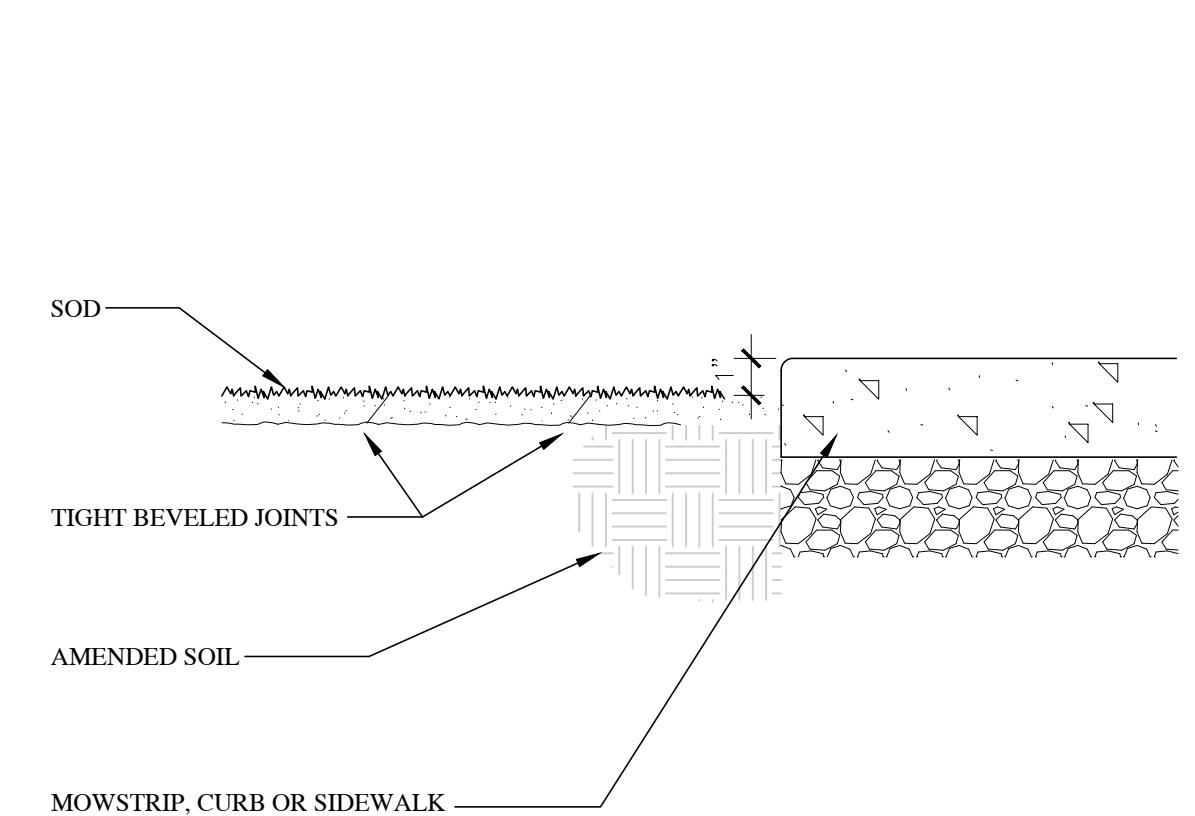
1 SHRUB PLANTING SCALE: NTS



2 TREE PLANTING AND STAKING SCALE: NTS

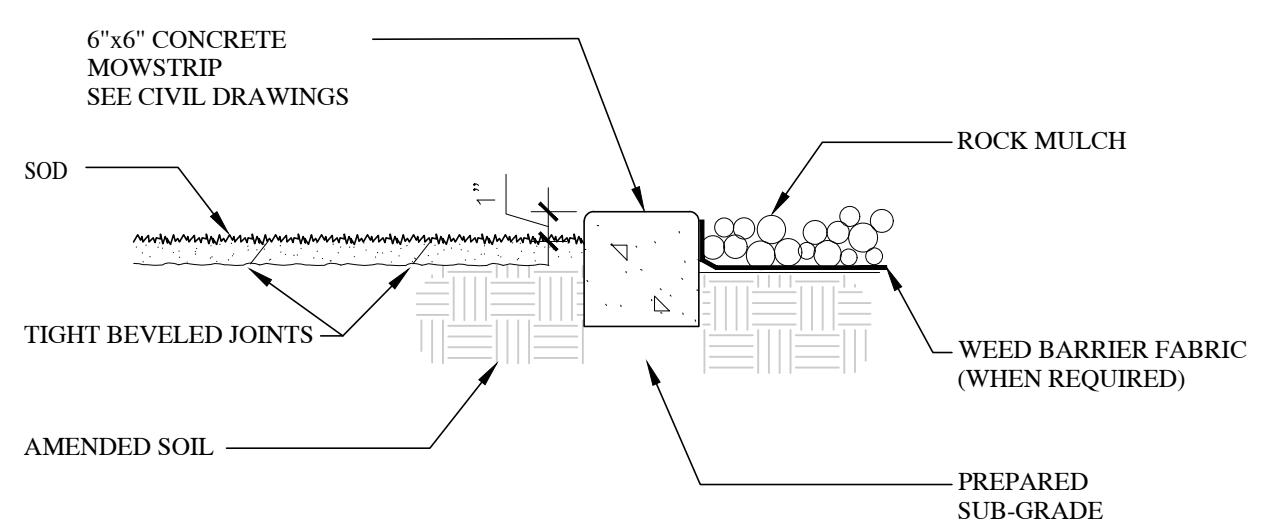


3 CONIFER PLANTING AND STAKING SCALE: NTS

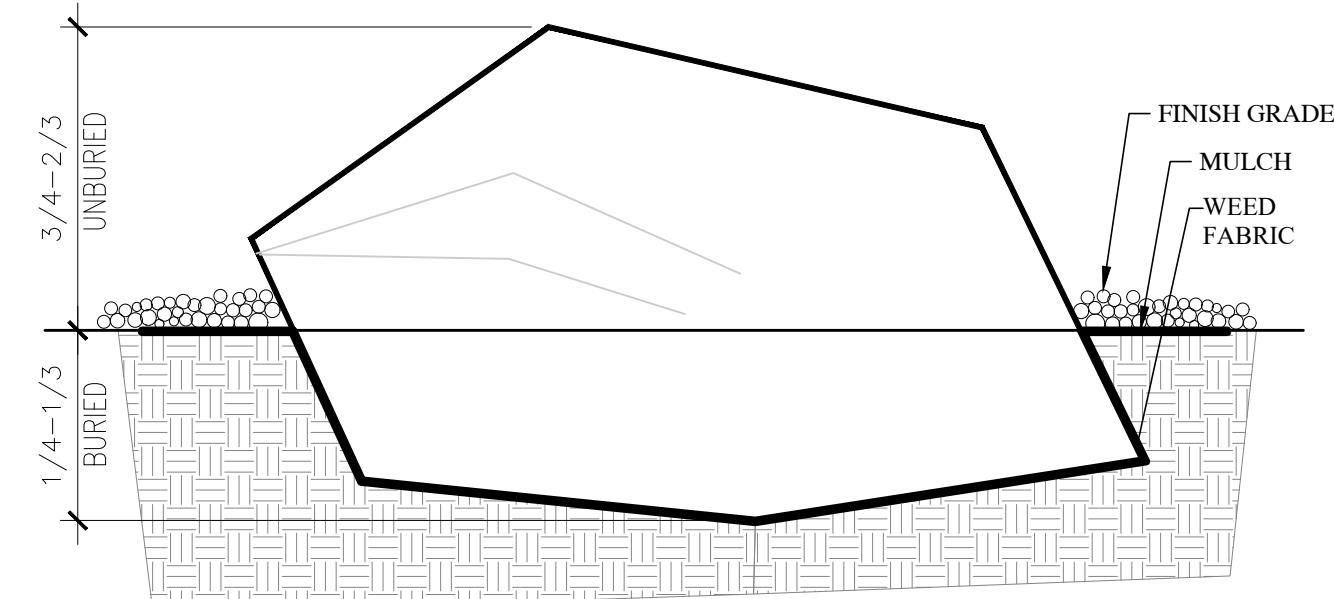


4 SOD INSTALLATION SCALE: NTS

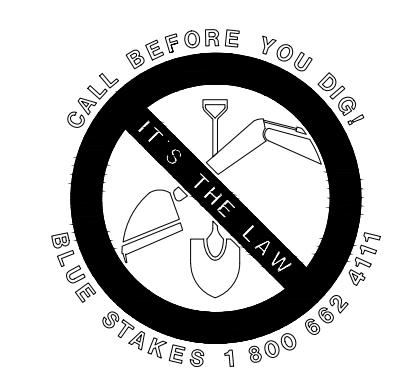
NOTES:
1. MOWSTRIP TO BE CAST-IN-PLACE AND Poured USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
3. MAXIMUM 1/2" WIDTH OF MOWSTRIP.
4. PRECISELY FOLLOW LAYOUT AS SHOWN ON MOWSTRIP/EDGING DIMENSION PLAN.
5. RAISE THE LAWN GRADE 1" WHEN SEEDING.



5 CONCRETE MOWSTRIP SCALE: NTS



6 BOULDER PLACEMENT DETAIL SCALE: NTS



InSite
DESIGN GROUP
Landscape Architecture Land Planning
17 North 470 West American Fork, Utah 84003
801.756.5043 www.in-sitedesigngroup.com

A New Meetinghouse for:
Mapleton 19 & West Stake
Mapleton, Utah

Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

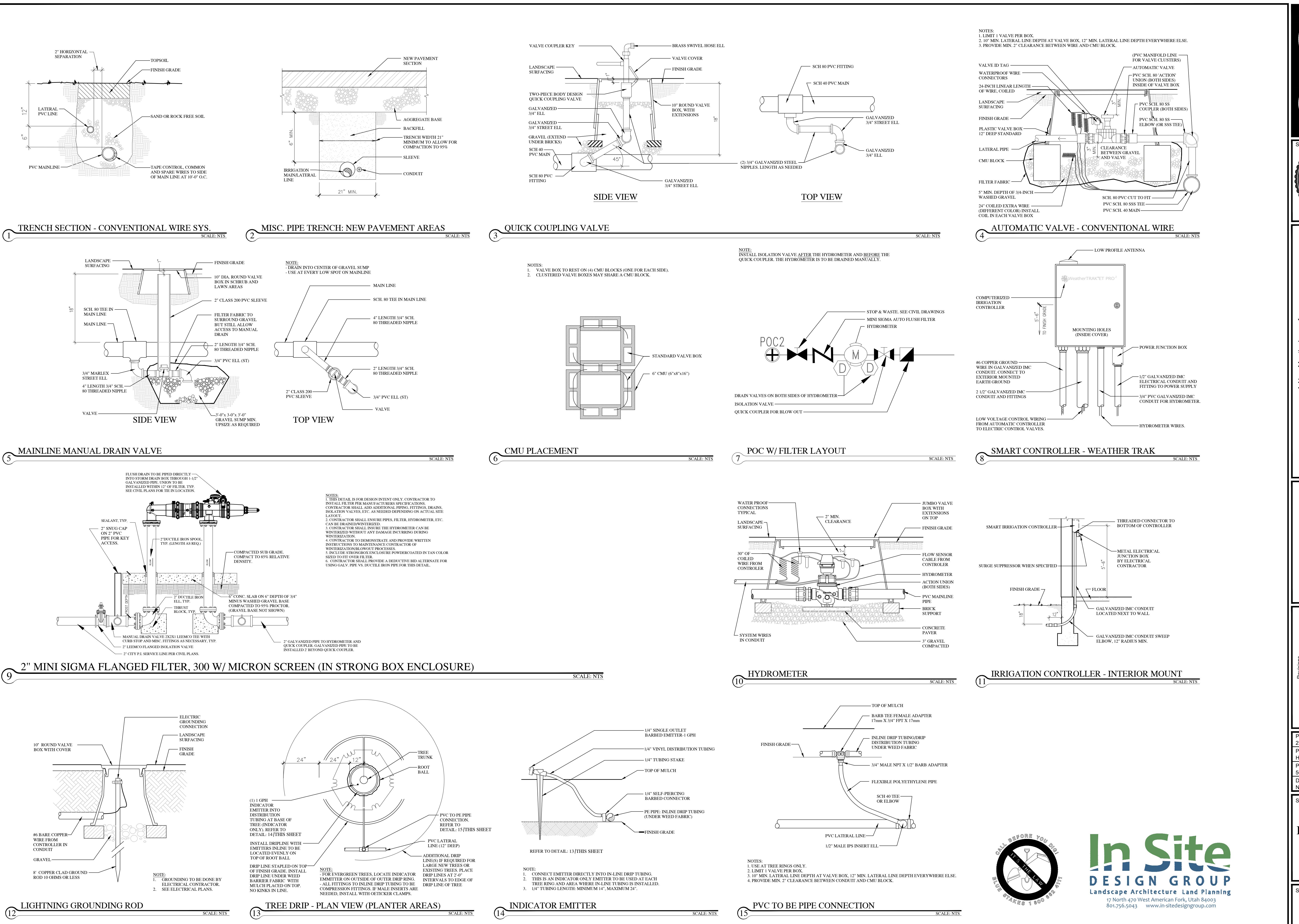
Project Number
23-104
Plan Series
Heritage 2-2
Property Number
501-2699-230101
Date
November 6, 2023

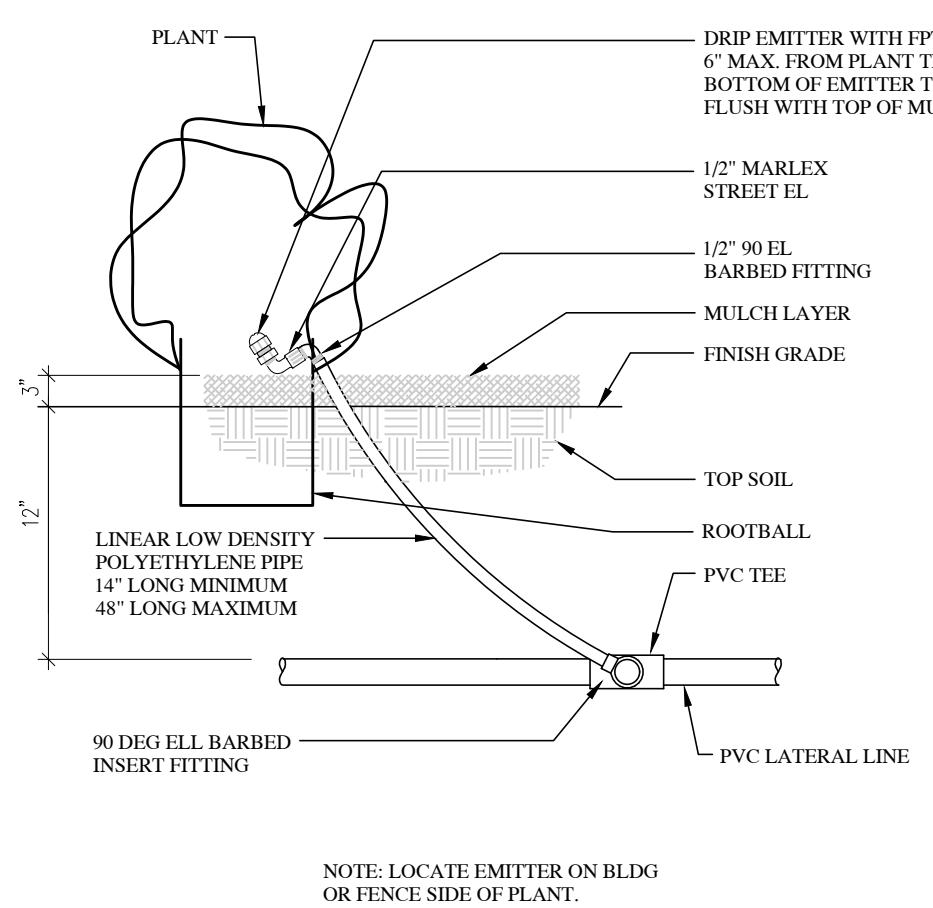
Sheet Title

IRRIGATION
DETAILS

Sheet

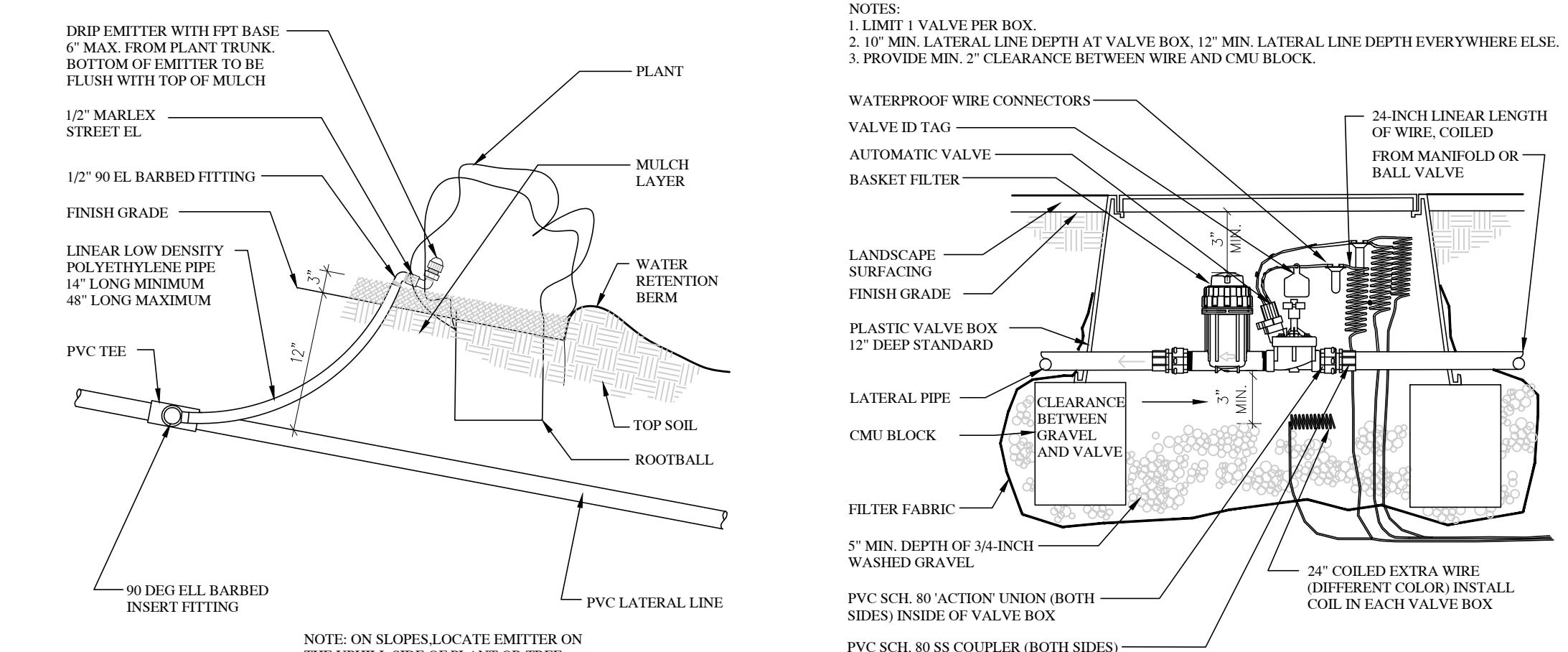
LS4.0





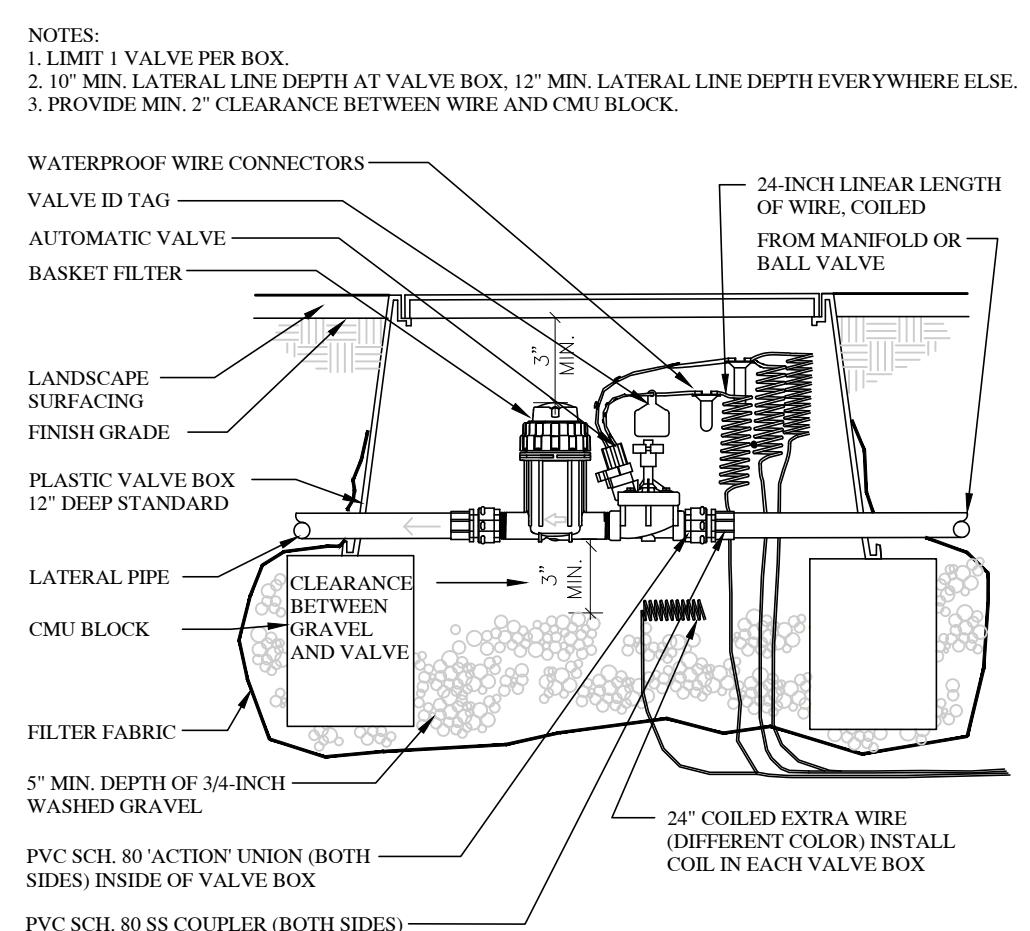
Drip Emitter Installation

SCALE: NTS



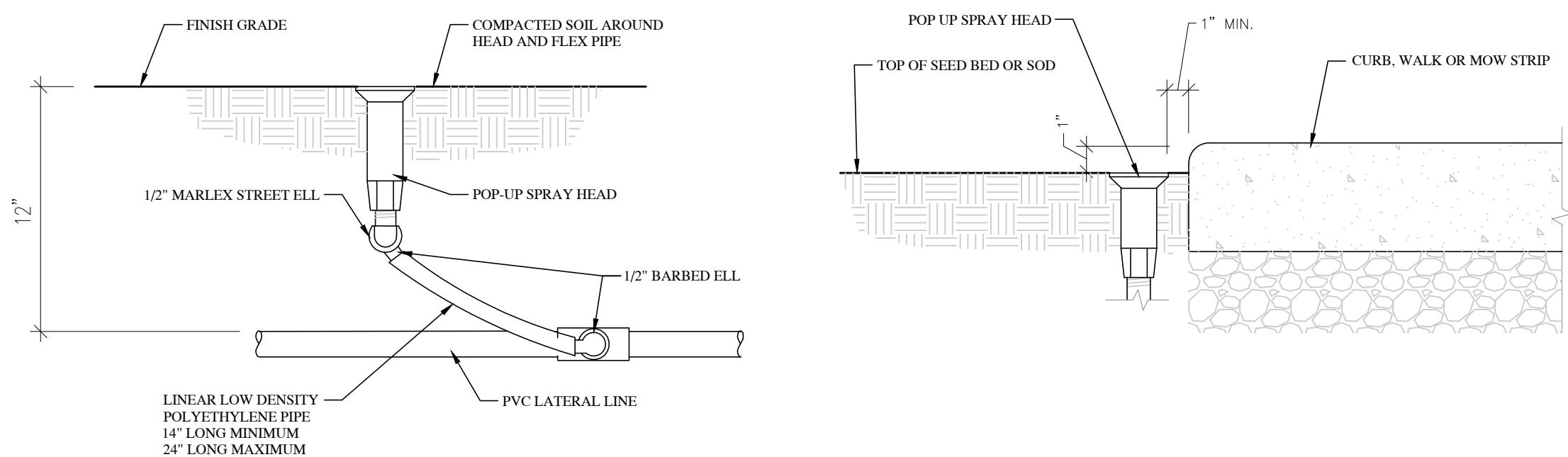
Drip Emitter - Installation on Slope

SCALE: NTS



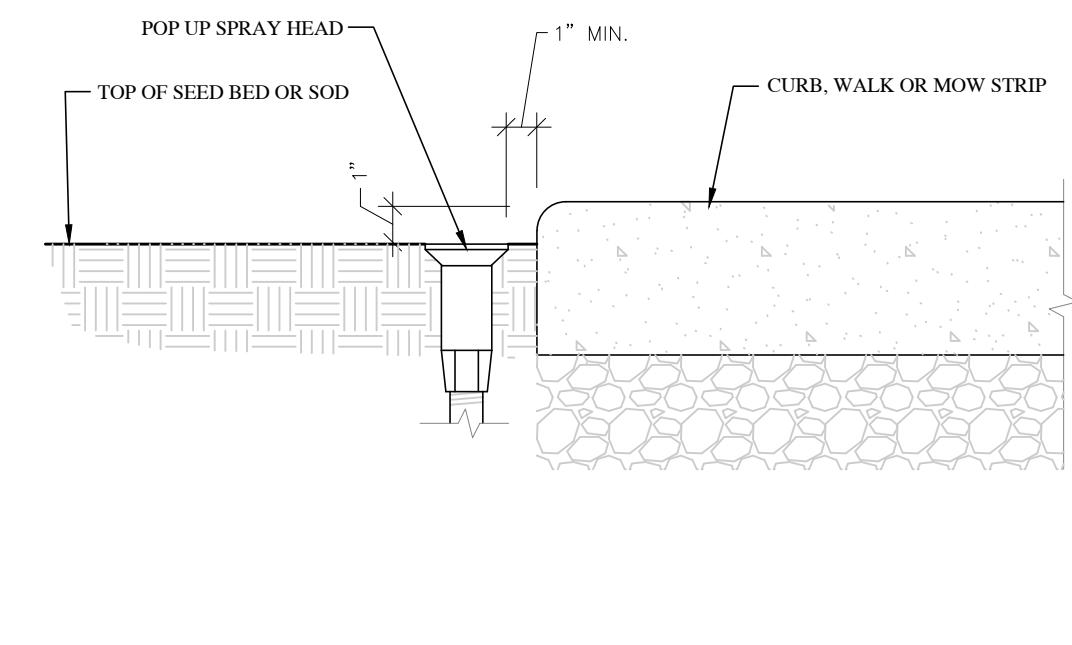
Drip Valve Section - Conventional Wire

SCALE: NTS



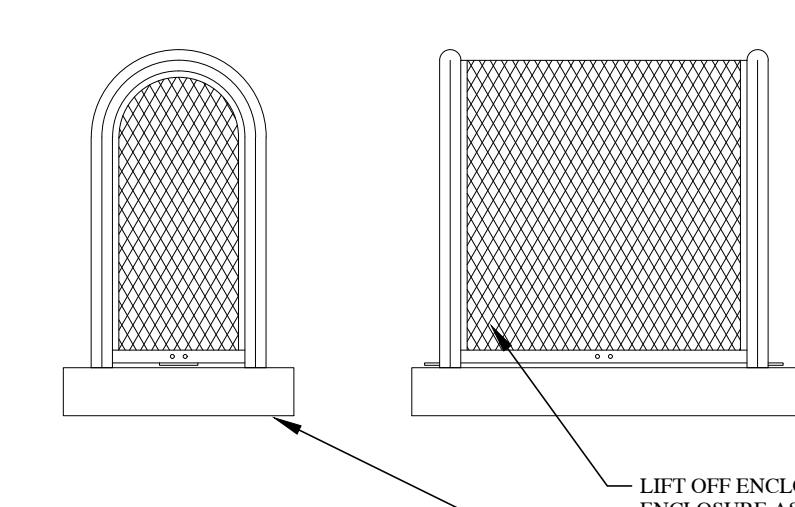
Spray and Rotary Head Assembly

SCALE: NTS



Spray Head or Rotor Next to Curb / Walk

SCALE: NTS

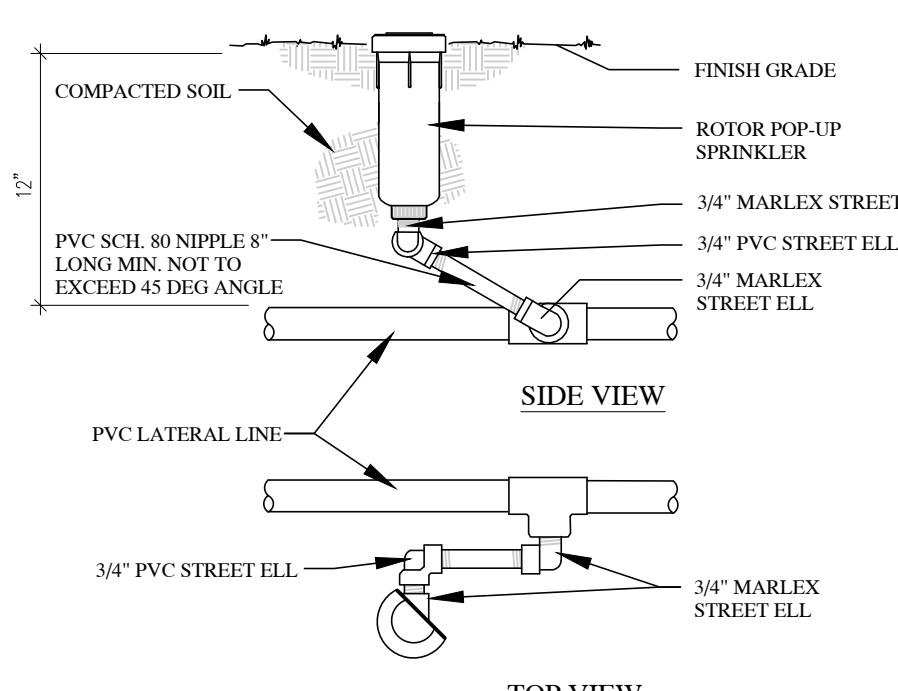


GUARDSHACK GENERAL SPECIFICATIONS
 1. ALL PIPE SHALL BE 1/4" SCHEDULE 40 A.S.T.M. A-53 GRADE A- ELECTRIC WELD PIPE.
 2. ANGLE IRON SHALL BE 1" X 1" X 1/8" STEEL.
 3. EXPANDED METAL SHALL BE 1/2" SPACING X #13 GA. FLATTENED DIAMOND PATTERN STEEL.
 4. ALL EXTERIOR SURFACES SHALL BE PAINTED WITH A COLOR MATCHING THE OUTSIDE OF THE ENCLOSURE.
 5. WELDING SHALL BE A MINIMUM OF 1/4" LONG WELDS ON 4" SPACING.
 6. STANDARD MOUNTING BRACKETS SHALL BE WELDED ON EACH END OF LIFT OFF ENCLOSURES.
 7. ONE BRACKET ON HINGED UNITS SHALL BE WELDED ON END OPPOSITE HINGES.
 8. HARDWARE KITS PROVIDED FOR MOUNTING ENCLOSURES.
 9. ALL PARTS ARE TO BE WELDED OR BOLTED TO ENCLOSURES.
 10. ALL EXTERIOR UNITS SHALL WITHSTAND A MINIMUM OF 200 LBS. PER SQUARE FOOT WITHOUT ANY PERMANENT DEFLECTION OR DISTORTION.
 11. 3/8" SPACING BETWEEN ANGLE IRON FRAMEWORK OF ENCLOSURE AND SLAB TO PREVENT RUSTING. ONLY PIPE ENDS TO TOUCH SLAB.

NOTE: 1. ENCLOSURE IS AVAILABLE THROUGH:
 BPDI GUARDSHACK ENCLOSURES
 3831 E. GROVE STREET
 PHOENIX, ARIZONA 85040
 602.955.1000
 2. CONTRACTOR TO PROVIDE A LOCK TO OWNER UPON INSTALLATION.
 3. REFERENCE RPZ DETAIL FOR BACKFLOW INSTALLATION.
 4. UPSIZE ENCLOSURE IF NECESSARY.
 5. OWNER TO DETERMINE POWDER COAT COLOR PRIOR TO ORDERING UNIT.

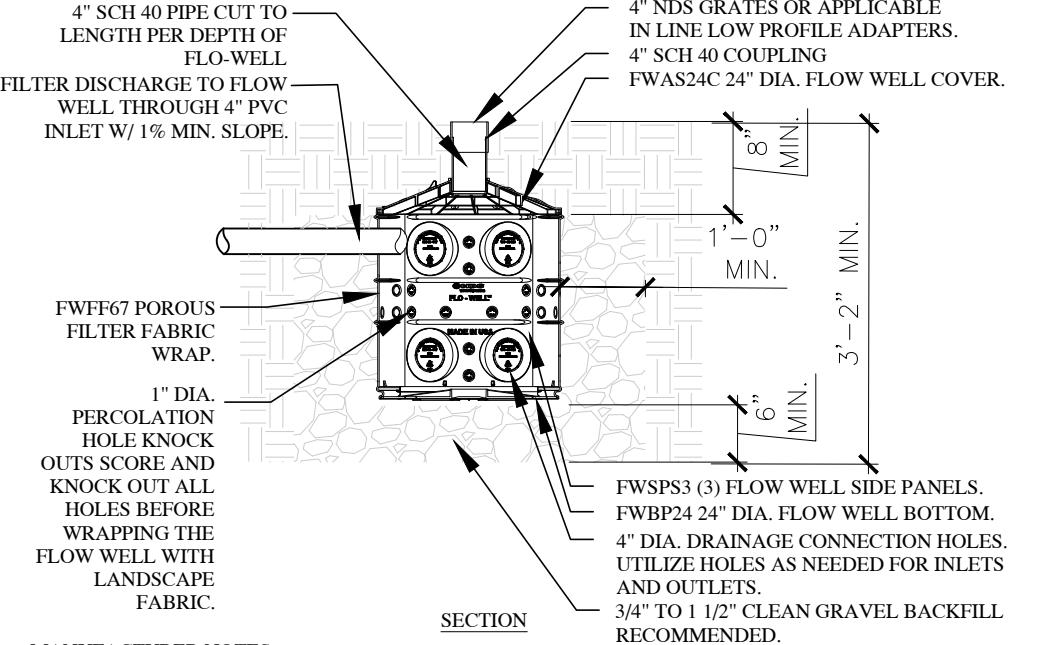
STANDARD GUARD SHACK ENCLOSURE

SCALE: NTS



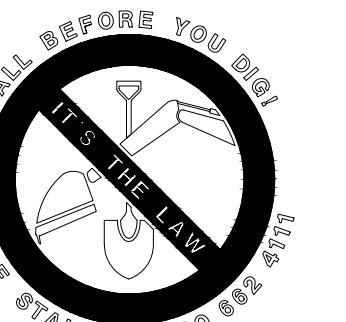
Rotor Pop-up Head

SCALE: NTS



Flo-Well Dry Well System

SCALE: NTS





Planning Commission Staff Report

Item:

3

Date:

6/13/24

Applicant:

Tarrah Montgomery

Location:

1443 W Mapleton Heights Dr.

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

No

Zone:

PD-4

Attachments

1. Application information

REQUEST

Consideration of a request for a home occupation permit to establish a preschool in an existing residence located at 1443 West Mapleton Heights Drive in the PD-4 Zone.

BACKGROUND & DESCRIPTION

The subject property is approximately $\frac{1}{4}$ acre in size and located in the Mapleton Heights subdivision. The site is developed with a single-family dwelling that was completed in 2022. The site has a wide L-shaped driveway.

The applicant is requesting approval of a home occupation to operate a preschool within the dwelling that would include:

- Provide classes for 10 students or less;
- Class days would be Tuesday, Wednesday and Thursday for approximately two hours; and
- The area dedicated to the business will be less than 500 square feet.

EVALUATION

Administrative Review: A home occupation permit is considered administrative in nature. If the applicant complies with adopted standards, they are entitled to an approval. The Planning Commission may require conditions if necessary to mitigate reasonably anticipated detrimental effects.

Home Occupations: Mapleton City Code (MCC) section 18.84.380 outlines the requirements for home occupations within the City. Some of the primary requirements that apply to all home occupations include that the home occupation must be operated by the occupants of the home, that it may not utilize more than 500 square feet, that no more than six vehicles be parked on the property at one time and that the use does not produce noise, smoke, fumes, etc. that could impact neighboring properties. Regarding preschools, the ordinance states the following:

"Child oriented businesses such as day cares and preschools shall be limited to a maximum of ten (10) clients or students including children living in the home if participating in the preschool or daycare activities. It is recognized that during pick up and drop off times that more than six (6) vehicles may be visiting the site, however, not more than six (6) vehicles, as described in subsection 7, may remain during business hours with the exception of one event per year (such as a class graduation), which may exceed six (6) vehicles. The Planning Commission may limit the number of clients or students to less than ten (10) if it is determined that a property and/or road cannot safely handle the proposed increase in traffic."

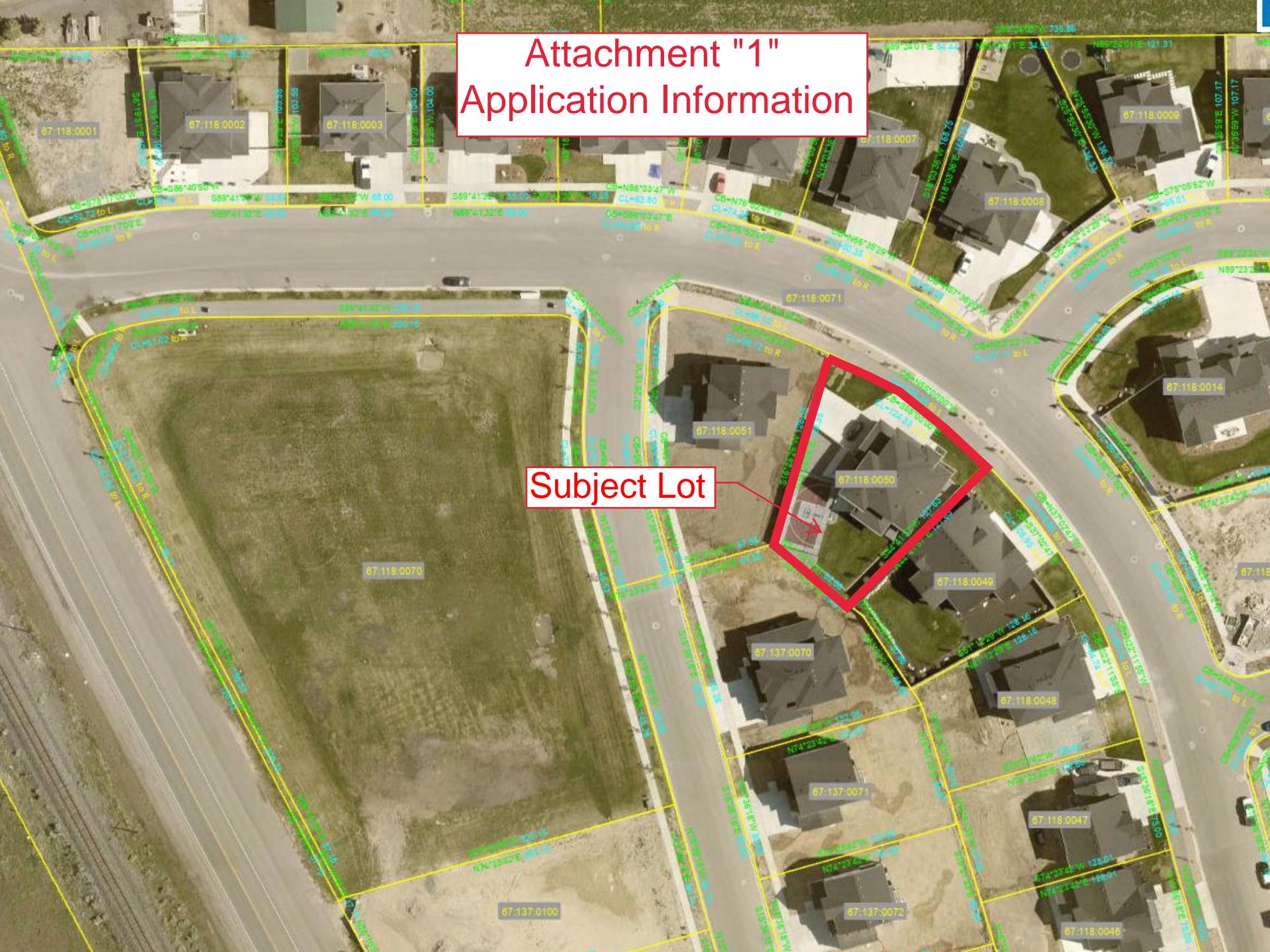
The proposed use will have 10 or fewer students, will occupy less than 500 square feet of the home and complies with the other requirements of the ordinance. With ample driveway area to accommodate pick up and drop offs, traffic is not anticipated to be an issue. The Home Owners' Association of the development required the applicant to have approval from their neighboring properties, so it appears that neighborhood concerns are minimal as well.

RECOMMENDATION

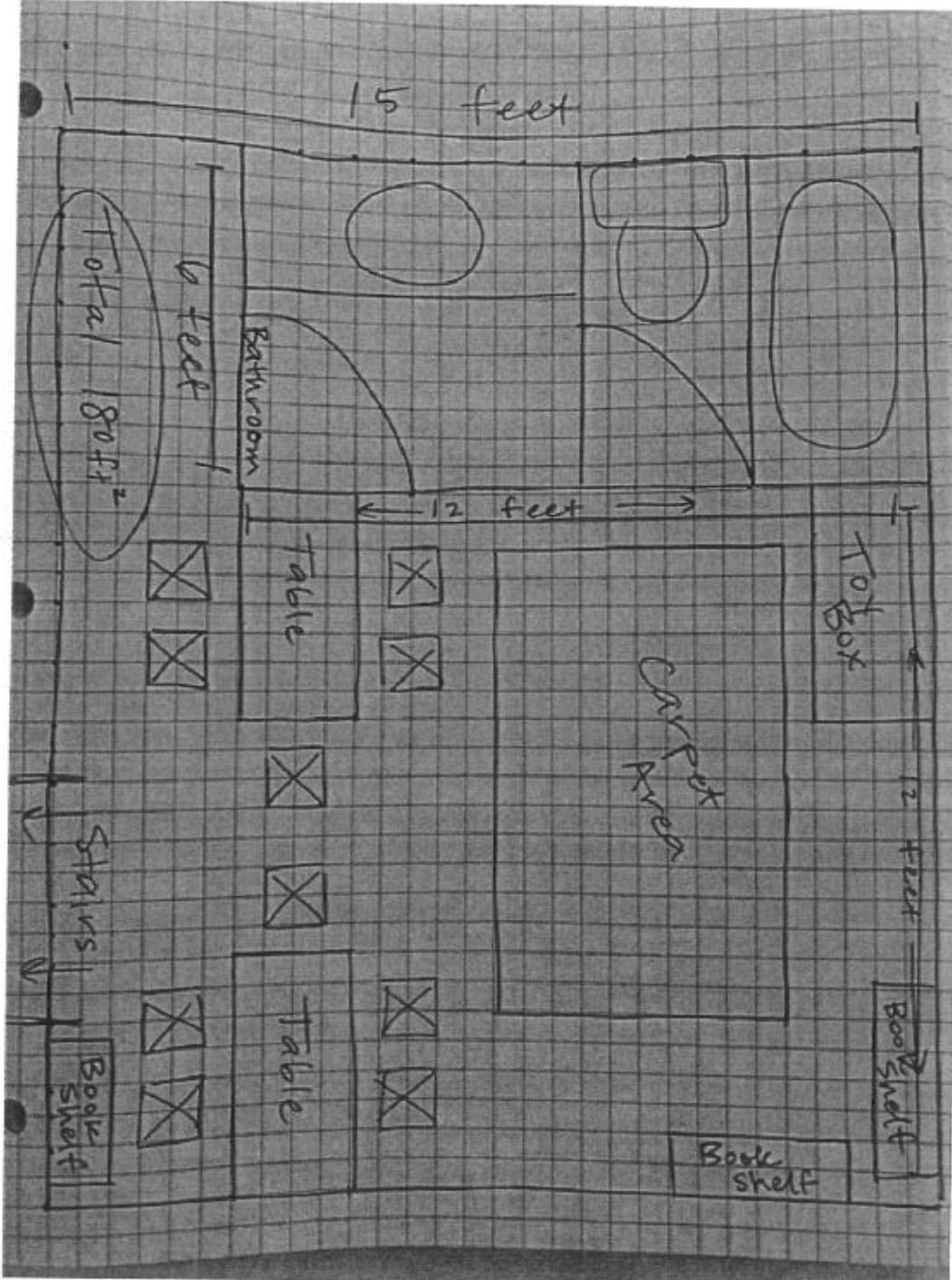
Approve the conditional use permit with the following conditions:

1. A fire inspection will be required prior to operation.
2. The use must be in compliance with MCC Section 18.84.380.

Attachment "1" Application Information









Planning Commission Staff Report

Item:

4

Date:

6/13/24

Applicant:

Bird Homes, Regal Homes

Location:

1850 W & 2000 W Sunrise Ranch Dr.

Prepared By:

Sean Conroy, Community Development Director

Public Hearing:

Yes

Zone:

SDP-2

Attachments

1. Draft Ordinance.
2. Application information.

REQUEST

Consideration of an ordinance amending Mapleton City Code section 18.56B eliminating the age restriction on some units in the Sunrise Ranch development.

BACKGROUND & DESCRIPTION

In 2018, the City Council approved a development agreement, concept plan and Specific Development Plan (SDP-2) zoning for the Sunrise Ranch project consisting of 540 units. The project included a mix of single-family detached lots, townhome lots and two 55+ neighborhoods with small detached lots and 4-plex buildings. Much of the Sunrise Ranch project has either been developed or is under construction at this time.

Bird Homes owns 53 of the 55+ lots, Regal Homes owns 83 55+ lots, and there is a third owner with nine lots. Both builders have several units under construction and have expressed concern with market demand. Both builders are requesting that the City consider removing the 55+ requirement. On May 1, 2024, the City Council reviewed this proposal as a discussion item. The Council was supportive of removing the 55+ restrictions as requested.

Based on direction from the City Council, staff is proposing to remove the references to senior housing from the SDP-2 zoning text. The Planning Commission is advisory to the City Council on this application.

EVALUATION

Discretion: The adoption of an ordinance is considered a legislative action. The Planning Commission and City Council generally have broad discretion when acting on legislative matters, provided it can be reasonably debated that the action taken to approve or deny will promote or protect the general welfare of the community.

Sunrise Ranch Project: At the time the project was being considered, the original applicants proposed the two 55+ neighborhoods as part of the project. The senior component was not something either City staff nor the City Council had advocated for, but it was included in all the concept plans and in the SDP zoning text based on the original applicant's proposal. There was no additional density given in consideration of providing a senior component to the project.

Given the emphasis by the state to provide more housing options, especially for first time home buyers, staff is supportive of the Council's direction to eliminate the 55+ requirement.

RECOMMENDATION

Recommend approval of the proposed amendments to the City Council.

Attachment "1"
Changes shown in strikeout

18.56B.020: PERMITTED USES:

Accessory buildings, in conjunction with and incidental to the main use of the property, such as a shed or detached garage no larger than forty percent (40%) of the main building size, and no taller than the main structure.

Attached residential dwellings ~~restricted to persons fifty five (55) years of age and older (not to exceed 4 units per building). Ten percent (10%) of these units are not required to be age restricted.~~

18.56B.060: LOT TYPES AND BUILDING RESTRICTIONS:

The Sunrise Ranch project includes the following building types, which are defined by geographical area as shown in the Sunrise Ranch Annexation and Development Agreement:

- A. Single family detached estate lots;
- B. Single family detached cottage lots;
- C. Townhomes; and
- D. Attached ~~age-restricted residential~~ lots. (Ord. 2018-02, 3-21-2018, eff. 4-28-2018)

18.56B.070: SETBACK REQUIREMENTS:

C. Townhomes And Attached ~~Age-Restricted~~ Residential Units: The following setback standards apply to townhomes and the attached age-restricted residential units:

18.56B.090: DESIGN STANDARDS:

C. Attached ~~Age-Restricted~~ Units: There shall be a minimum of five (5) different exterior building plans for the attached units. The building plans shall be differentiated in at least three (3) of the following ways:

1. Color.
2. Materials.
3. Fenestration.
4. Roof line.
5. Architectural style. (Ord. 2018-02, 3-21-2018, eff. 4-28-2018)

18.56B.120: HOMEOWNERS' ASSOCIATION:

A homeowners' association or associations and covenants, conditions and restrictions (CC&Rs) shall be established to maintain all private streets, sidewalks, landscaping and other common areas in accordance with the concept plan, preliminary plat and final plat. Prior to receiving a building permit for any structure in the development, the owner/developer shall provide proof to Mapleton City that a unit owners' association has been established for the property on which the

building permit is requested ~~and that the CC&Rs establish an age restriction on ownership and occupancy of the senior residential units.~~

Attachment “2”

Application information

Regal Homes - Bella Vita – 55+ Notes:

- In the past 12 months, Mapleton has sold 18 55+ homes. There are currently 21 homes listed for sale on the MLS. Of the 21 active listed homes, 14 have been completed, 3 are currently under construction, and 4 listings are to be build listing. Based on what is completed and what has been started, we currently have a 11.3 month of supply (Non-55+ supply is around 8 months)
- Mapleton currently has 3 actively selling 55+ communities
 - Regal – Bella Vita
 - Bird Homes – Sunrise Ranch
 - Mapleton Dignity Care – Maple Landing
- Our floorplans and community amenities are tailored to an active older buyer demographic. By removing the 55+ designation, we will continue to market that buyer profile but will also be able to appeal to the 45-55 group as well.
- Quicker absorption from Regal and Bird would positively affect the Sunrise Ranch neighborhood and the street scape on 1600 W.
- Average days on market for completed 55+ homes is 70 days and the average days on market for Mapleton non-55+ is 43

Breakdown of Sales of 55+ from 4/2023-Current

This report shows sales statistics broken down by month, since **April of 2023**.

Search Criteria: State is Utah, Senior Community is Yes, City is Mapleton

Month	Count	Volume	Mdn OL \$	Mdn Sold \$	Mdn S to OL	Mdn SQ FT	Mdn \$/SQ FT	Mdn Beds	Mdn Baths	Mdn DOM
Apr 2023	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	0	0	0
May 2023	2	\$924,550.00	\$471,275.00	\$462,275.00	98%	1,826	\$253.24	3	2	0
Jun 2023	1	\$496,000.00	\$496,000.00	\$496,000.00	100%	1,586	\$312.74	2	2	0
Jul 2023	1	\$498,000.00	\$498,000.00	\$498,000.00	100%	1,586	\$314.00	2	2	0
Aug 2023	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	0	0	0
Sep 2023	1	\$495,900.00	\$502,000.00	\$495,900.00	99%	1,586	\$312.67	2	2	95
Oct 2023	1	\$540,000.00	\$550,000.00	\$540,000.00	98%	1,742	\$309.99	3	2	134
Nov 2023	1	\$480,000.00	\$495,900.00	\$480,000.00	97%	1,522	\$315.37	2	2	57
Dec 2023	2	\$1,044,900.00	\$532,450.00	\$522,450.00	98%	1,647	\$317.27	3	2	67
Jan 2024	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	0	0	0
Feb 2024	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	0	0	0
Mar 2024	2	\$936,650.00	\$479,900.00	\$468,325.00	98%	1,522	\$307.70	2	2	35
Apr 2024	4	\$2,537,300.00	\$509,900.00	\$506,200.00	99%	1,719	\$294.13	3	3	41

Bird Homes:

There are 62 total lots

37 in phase A

16 in phase B

9 in phase b2 – mccord property

We have had 10 houses out of the ground for over 1 year

4 cottages

1 quad plex

2 cottages with roofs on almost through 4 way

The first 4 cottages have C of O

Homes sizes range from 2k- 4k finished square feet

Two, three and four bedrooms, two to three bathrooms - finished and unfinished basements

Two car garages

Asking price points of \$600k-\$800k

Finish grades vary for relevant price

We have had two written offers in the last year, neither of them ended up closing

Plenty of younger families have come by, they quickly walk out when they find out about the 55+ restriction

Other 55+ prospects come by to tour and give this feedback

- Interest rates are not as relevant to them as they largely have their homes paid for and would be paying cash

- They are living in a home much larger now and want to maintain that space for family parties and visits

The 55+ Development south on hwy 89 (the cottages, 250 south) still has vacant lots that have not been built on since 2019, a brief review of the sales shows a very few transactions in that community over the last 3-4 years.

Sunrise ranch development as a whole has had a steady absorption of home sales since its inception, even with the latest raise in interest rates homes have continued to sell

We would like to have the 55+ age restriction removed from the plat, doing so will provide unfettered access to all prospects that are in the market to purchase a home

We do not own the 9 lots in phase b2, I have talked with mr mccord in the past and he is agreeable to having this restriction removed as well

Thank you for the consideration

My cell is 435.733.1000 if you need to reach me

Ryan Poelman

MAPLETON SUNRISE RANCH PROPERTY CONCEPT PLAN



200 0 200 400
Scale 1' = 200 ft



ACREAGE= 171.05 ACRES
PARK AREA= 23.63
AREA W/O ROADS= 143.3
UNITS ALLOWED= 143.3x4 = 573
UNITS SHOWN= 539
COMMERCIAL PARCEL= 2.65 ACRES





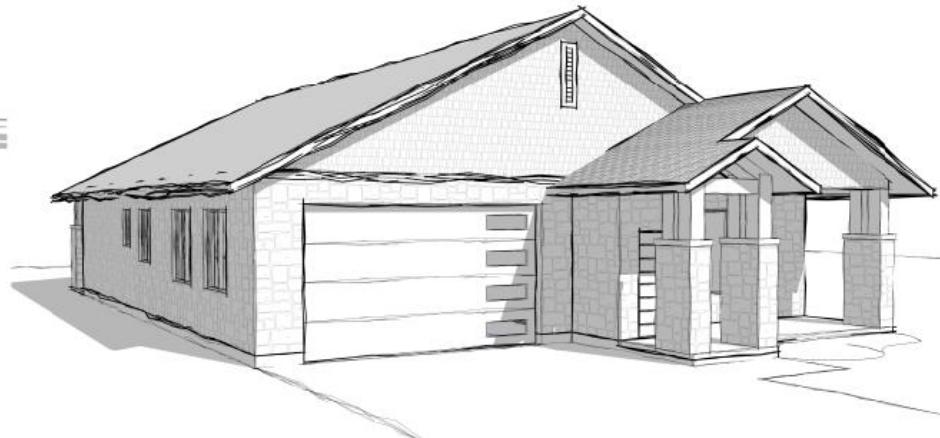
Regal
Homes

Bird Homes

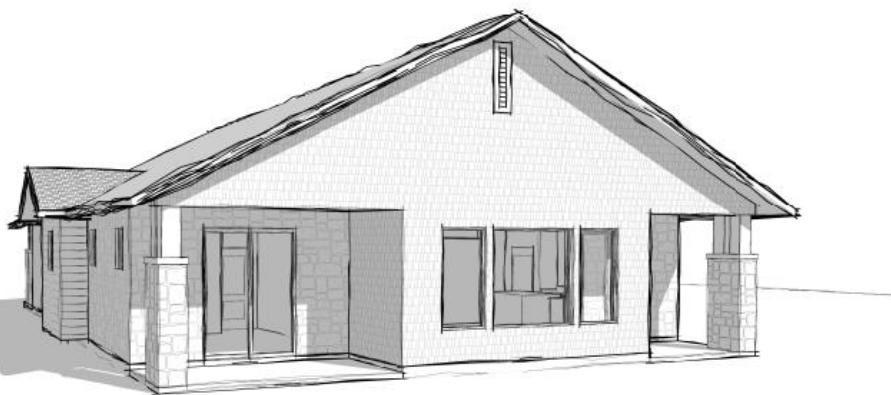
Product Type Examples



FRONT RIGHT 3D VIEW



FRONT LEFT 3D VIEW



REAR RIGHT 3D VIEW





EXTERIOR SOUTH ELEVATION
SCALE: 1/4" = 20'



EXTERIOR NORTH ELEVATION
SCALE: 1/4" = 20'



EXTERIOR EAST ELEVATION
SCALE: 1/4" = 20'



EXTERIOR WEST ELEVATION
SCALE: 1/4" = 20'

Planning Commission Staff Report

Item:

5

Date:

6/13/2024

Applicant:

Patterson Construction

Location:

800 N 2000 E

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

Yes

Zone:

A-2, TDR-R

Attachments

1. Application information.
2. Proposed PRC-9 zoning text.
3. City Council minutes.
4. Correspondence.

REQUEST

Consideration of a request to rezone 26 acres from A-2, TDR-R to Planned Residential Community (PRC-9) and to vacate a portion of Maple Hills Lane.

BACKGROUND & DESCRIPTION

In 2018, the City Council approved the Maple Hills subdivision consisting of 26 lots on 38 acres of property zone A-2, Transferable Development Right Receiving Site (TDR-R). A portion of the project site was in the 100-year flood zone. At the time, the property was owned by an entity called the IDL Company. The project included 25 lots of roughly one acre in size and one approximately 10 acre parcel. Later, the IDL Company sold the property containing the 25 lots to Patterson Construction, and sold what was shown as the 10 acre lot to a separate entity, but increased its size to 11 acres. The 11 acre parcel is not part of this rezone request.

Since the original approval, the applicant has recorded two phases of the project and built an extension of 2000 East street, as well as Maple Hills Circle and a portion of Maple Hills Lane. The applicant has also worked with FEMA and determined that the project site is no longer within the 100 year flood zone. Finally, the applicant has also acquired an additional two acre parcel at the southwest corner of the site that had already been approved as a TDR-R.

The initial geotechnical report that was prepared for the project indicated that some additional investigations were required. As the applicant has done these additional investigations, it has been determined that much of the eastern section of the site has geologic hazards that are not conducive to development. Based on this new information, staff and the applicant have been working on an alternative development plan for the site to give flexibility to the developer to reorganize the lots to avoid the geologically sensitive areas as well as to provide a new public trail amenity that was not part of the original approvals.

The applicant is now proposing the following:

- Approval for a rezone to Planned Residential Development (PRC-9). This would allow the clustering of lots in areas more conducive for development. The applicant is proposing 23 total lots from between a ½ an acre to over 6 acres in size.
- Construction of a trail leading to the upper bench well as a small trail head parking area with 8 parking stalls.

The City Council met with the applicant on November 15, 2023 to discuss the proposed revisions to the project (see attachment "3"). The Council was generally supportive of the applicant pursuing a rezone to PRC but did express some concern with the lot configurations that were presented at that time. The applicant has since eliminated one additional lot and refined the concept to address some of the Council's concerns.

EVALUATION

Rezone requests are considered legislative actions. The Planning Commission and City Council generally have broad discretion when acting on legislative matters, provided it can be reasonably debated that the action taken (to approve or deny) will promote or protect the general welfare of the community and is supported by city ordinances and policies.

Mapleton City Code Section 18.12.010.B provides the following list of guidelines to be used in reviewing rezone requests:

1. *Public purpose for the amendment in question.*
2. *Confirmation that the public purpose is best served by the amendment in question.*
3. *Compatibility of the proposed amendment with general plan policies, goals, and objectives.*
4. *Potential adverse effects to the city by creating "leapfrog" development or areas away from the existing "core" or center of the city.*
5. *Potential of the proposed amendment to hinder or obstruct attainment of the general plan's articulated policies.*
6. *Adverse impacts on adjacent landowners.*
7. *Verification of correctness in the original zoning or general plan.*
8. *In cases where a conflict arises between the general plan map and general plan policies, precedence shall be given to the plan policies.*

Trail: When the City went through the General Plan update in 2020, one of the key findings was the community's desire for more trails and access to natural open space. Based on this input, the Parks, Open Space and Recreation and Trails Element of the General Plan included the following goal and policies:

- *Goal 5: Implement the Recommended Trail Facilities.*
- *Policy 5.1: Assure that Mapleton's Trail System Meets Public Needs and Expectations.*
- *Policy 5.2: Require trail master planning to be incorporated into community planning, land use planning and the development review process of Mapleton City, including the development of trailheads and access to trails.*

One of the implementation measures identified in the General Plan was to establish a trails committee and develop a comprehensive trails master plan. As recommended, the City appointed a trails committee and began working on a master plan in 2022. The Trails Master Plan was adopted in 2023 and outlines the long range vision for trails and related facilities along the Mapleton Bench. The plan identifies the subject site as a potential location for a trail head and trail access. Consistent with the goal and policies identified above, staff has been working with the applicant to provide a trail head and trail access that was not part of the original approval. The trail would lead to and through 23 acres owned by the City, as well as to an existing trail that runs north/south along the bench that connects to Maple Canyon. This is a wonderful opportunity to create a community amenity that would not have been available under the previously approved plan. Staff also notes, that if the trail is not constructed on this property, there likely will not be another opportunity for a trail access north of Maple Canyon.

Land Use Element of the General Plan: The Future Land Use Map designates the site as "Rural Residential". This designation corresponds to the A-2 or PRC zones and allows densities that average one lot per two acres, or one lot per acre with TDRs. All of the abutting properties have the same Rural Residential designation. The original approved plans had an average lot size of approximately 1.4 acres per lot. The average lot size of the current proposal has increased to approximately 1.6 acres per lot. The total number of lots has decreased, while the average lot size has increased.

The proposed variety in lot sizes is generally consistent with the variety that exists in the area. Surrounding lots located between 1200 North and 400 North, and east of 1600 East, range in size from under $\frac{1}{2}$ of an acre to 6.5 acres, with an average lot size of 1.6 acres. The proposed density is consistent with the General Plan and with the surrounding area.

Staff has included some of the goals and policies of the Land Use Element of the General Plan below followed by a brief response:

- *Goal 1: Preserve and enhance Mapleton's rural atmosphere and agricultural history through careful planning and the preservation of open space.*

Response: The original approval included 26 lots. Since the two acre property that was added later was already zoned TDR-R, it should be anticipated that two additional lots could be built, for a total of 28 lots. The proposed concept plan reduces the density to 24 lots, 23 in the area being rezoned to PRC-9 and the one additional 11 acre parcel owned by another party. Due to the recently identified geologically sensitive areas, there will be fewer total lots and less buildable area, resulting in more open space overall than was previously proposed. The project has used, and will continue to use, the country lane street cross section with no curb or gutter, which is intended to contribute to a more rural appearance. The applicant is also proposing to dedicate a parcel just under $\frac{1}{2}$ an acre in size to the City to accommodate the trail head parking and trail access to the bench. All of these changes are consistent with the goal of preserving and enhancing the rural atmosphere.

- *Policy 1.1: Encourage conservation subdivisions on vacant land and undeveloped parcels.*

Response: The rezone to PRC will allow more flexibility in lot sizes and a more conservation minded development plan. Taken as a whole, staff believes the changes are an improvement from the original design.

- *Goal 2: Continue the established focus on large-lot, single-family residential uses as the primary means for preserving Mapleton's rural character.*

Response: The proposed concept combines the conservation (clustering) approach with a mix of larger lot sizes. The original approval included 25 one-acre lots and one 10-acre lot. The revised plan includes a mix of lot sizes ranging from $\frac{1}{2}$ an acre to over 6 acres, in addition to the now 11-acre parcel owned by another entity.

- *Goal 9: Continue to implement the Transferable Development Rights (TDR) program by ensuring that there are sufficient areas that can qualify as TDR-Receiving sites.*

Response: The project site, including the two acre parcel that was added since the original approval, has already been approved as a TDR-R. The applicant has already surrendered the TDR certificates required for the project.

Zoning: The purpose of the PRC zone is to encourage imaginative and efficient use of land, encourage the preservation and/or creation of open spaces and trails, and to allow for flexibility in the layout of lots. The PRC zone is not meant to allow for more density, just more flexibility. The proposed PRC zone would allow for more lots to be clustered to the west in order to protect the eastern portion of the site that is less conducive for development, as well as the development of a public trail as discussed below. The proposed concept plan is consistent with the intent of the PRC zone. The proposed zoning text is included as attachment "2".

The proposed PRC zone is similar to the Clegg Canyon PRC zone located on 400 North just to the south of the project. It also has a mix of lot sizes ranging from $\frac{1}{2}$ an acre to over eight acres and clustered some smaller lots to avoid similar geologic constraints.

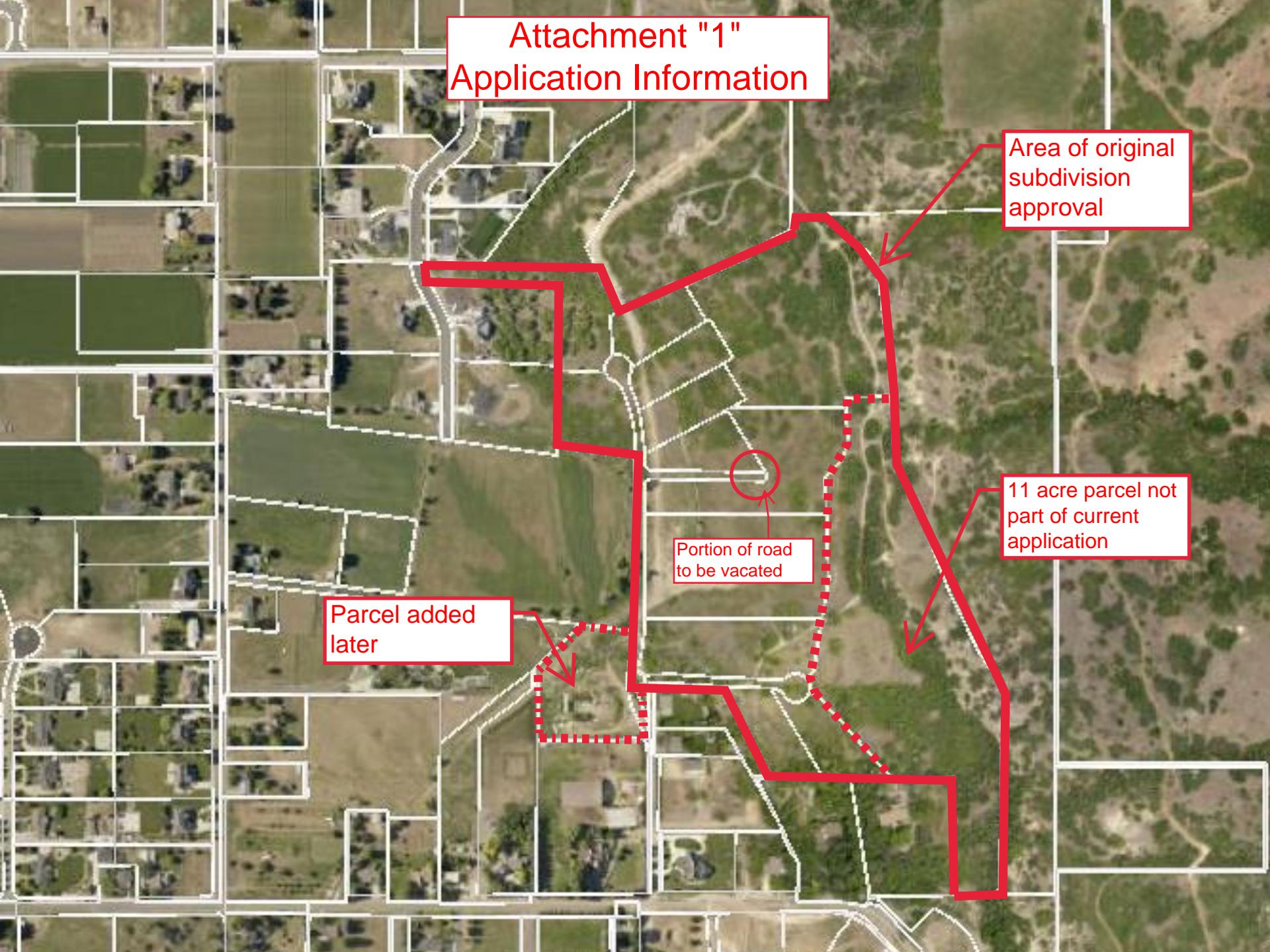
Streets: Mapleton City Code section 17.12.020 indicates that the City may require temporary dead end streets to stub to adjacent parcels for future development and connectivity. The concept shows a stub road to the parcel to the north that contains the old dilapidated house on the hill side. The alignment of the stub road is proposed to change to address the geologic constraints and will require a vacation of a small portion of the existing Maple Hills Lane. State law requires that the City find that there is good cause for the vacation of the road and that it will not be contrary to the public interest or materially injure any person.

RECOMMENDATION

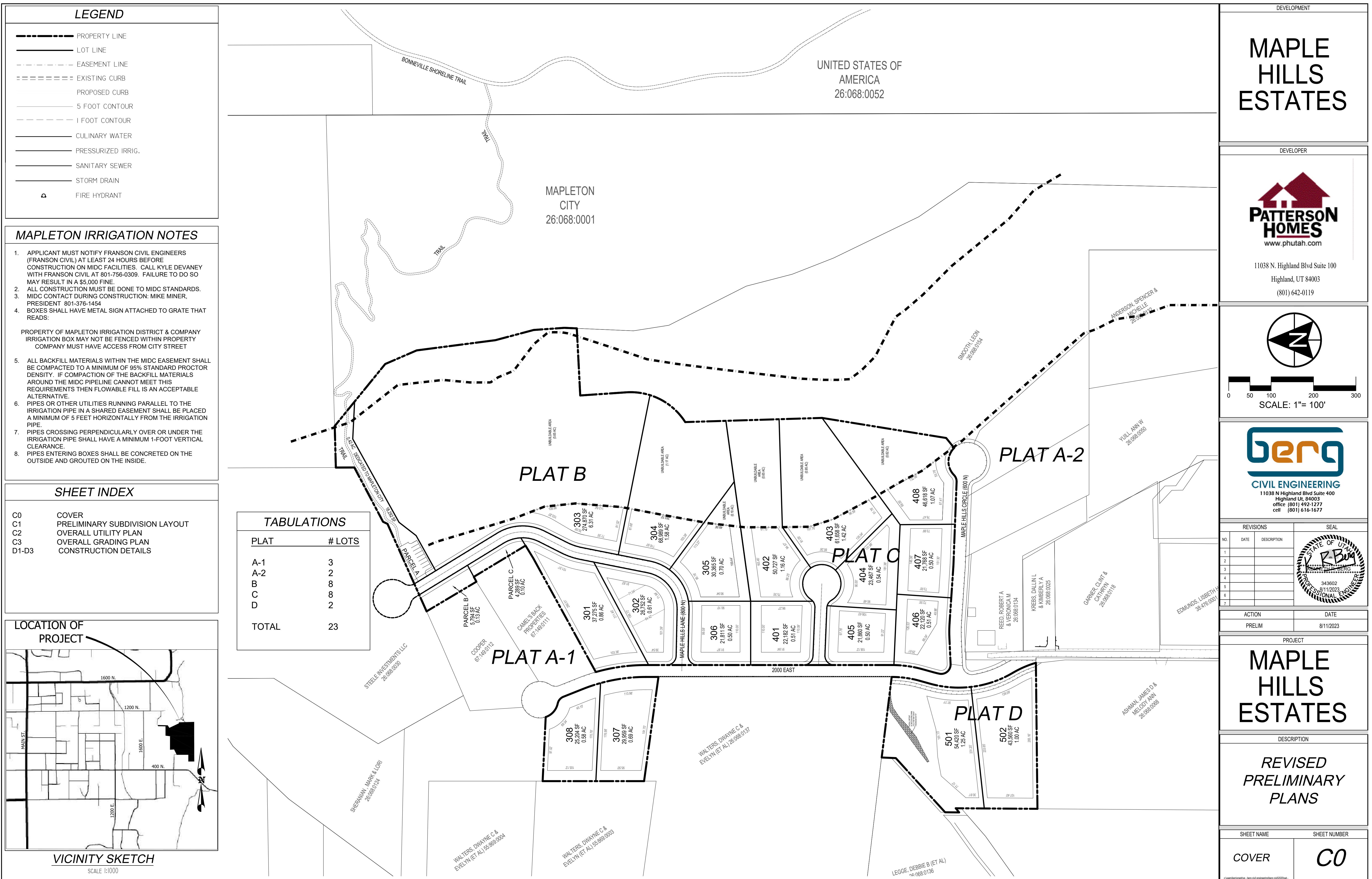
Recommend approval to City Council with the following conditions:

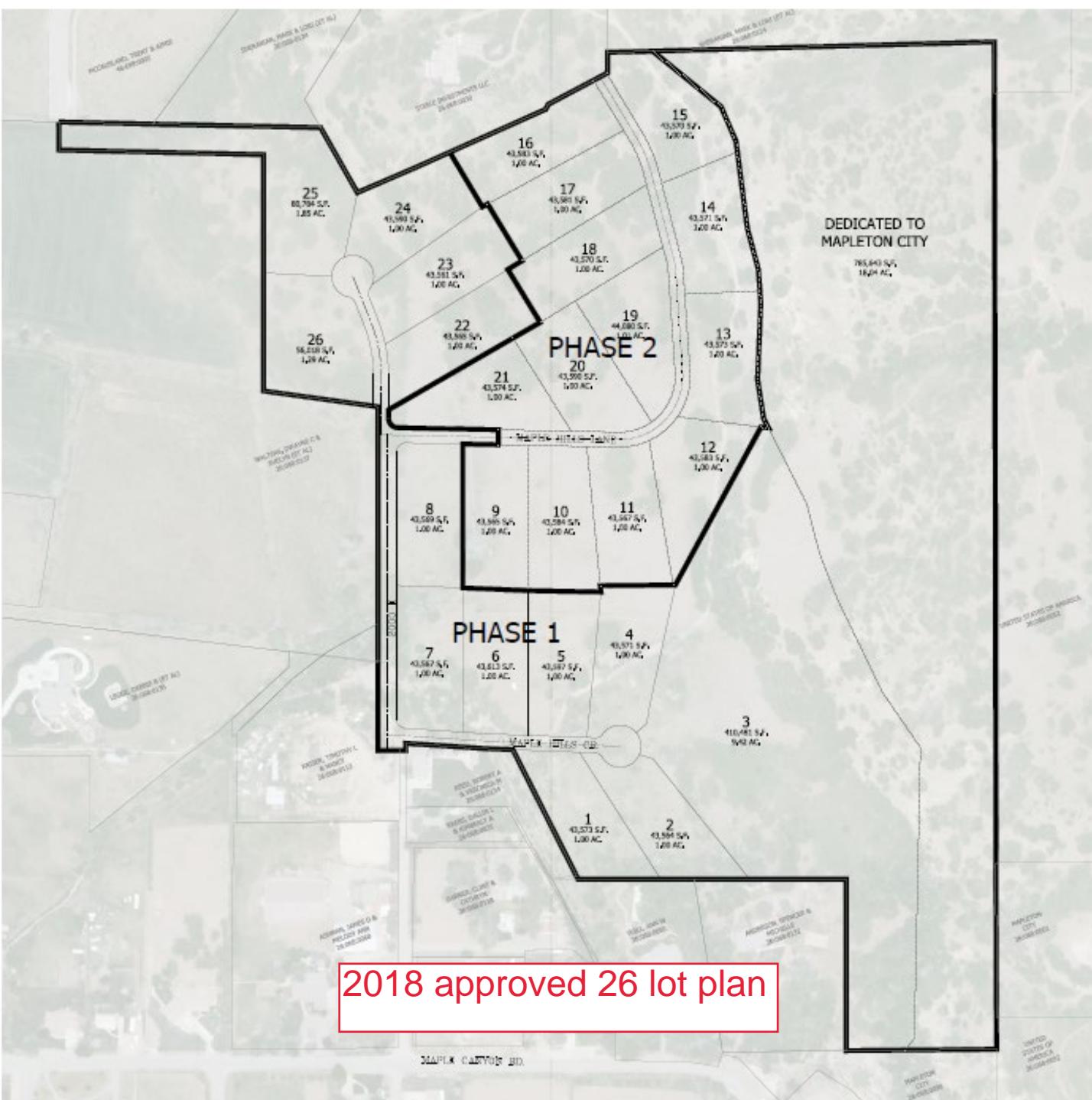
1. The final subdivision plat and construction drawings shall include a trail head parking area consisting of at least 8 parking stalls and a natural surface pedestrian trail generally consistent with the concept plan submitted with this application. The applicant will be responsible for the construction of these trail amenities.

Attachment "1"
Application Information

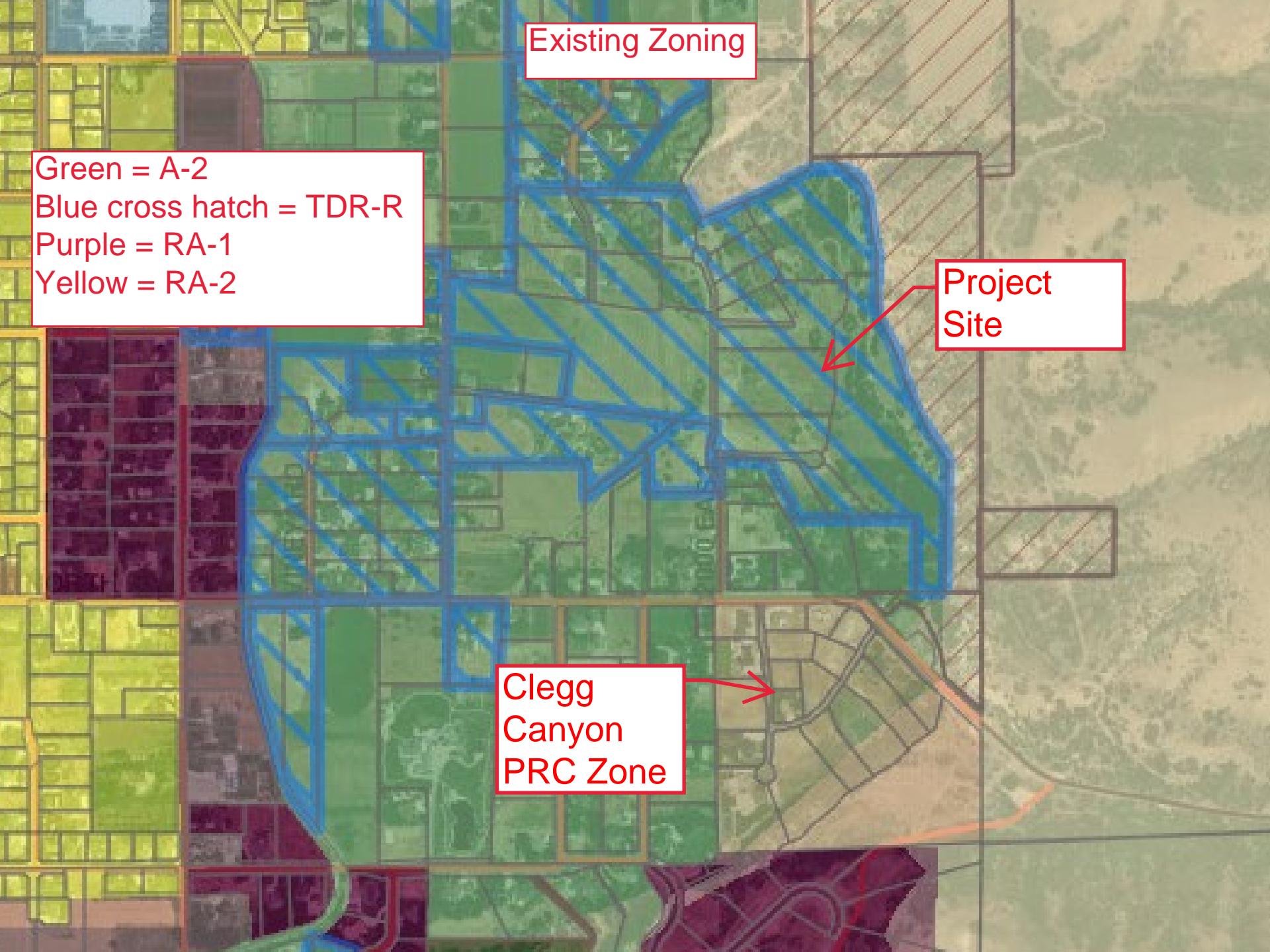


Proposed Concept Plan





2018 approved 26 lot plan



Existing Zoning

Green = A-2

Blue cross hatch = TDR-R

Purple = RA-1

Yellow = RA-2

Project Site

Clegg
Canyon
PRC Zone

Trails Master Plan Exhibit

Hobble Creek
Elementary

west proposed
connection

west bike
connection

1200 E

1600 E

Proposed
trail head

Maple Hills
Estates

Maple Hills
Estates
Trailhead

400 N
Access
Point

Maple-Canyon
Trailhead



Mapleton/Patterson Trail

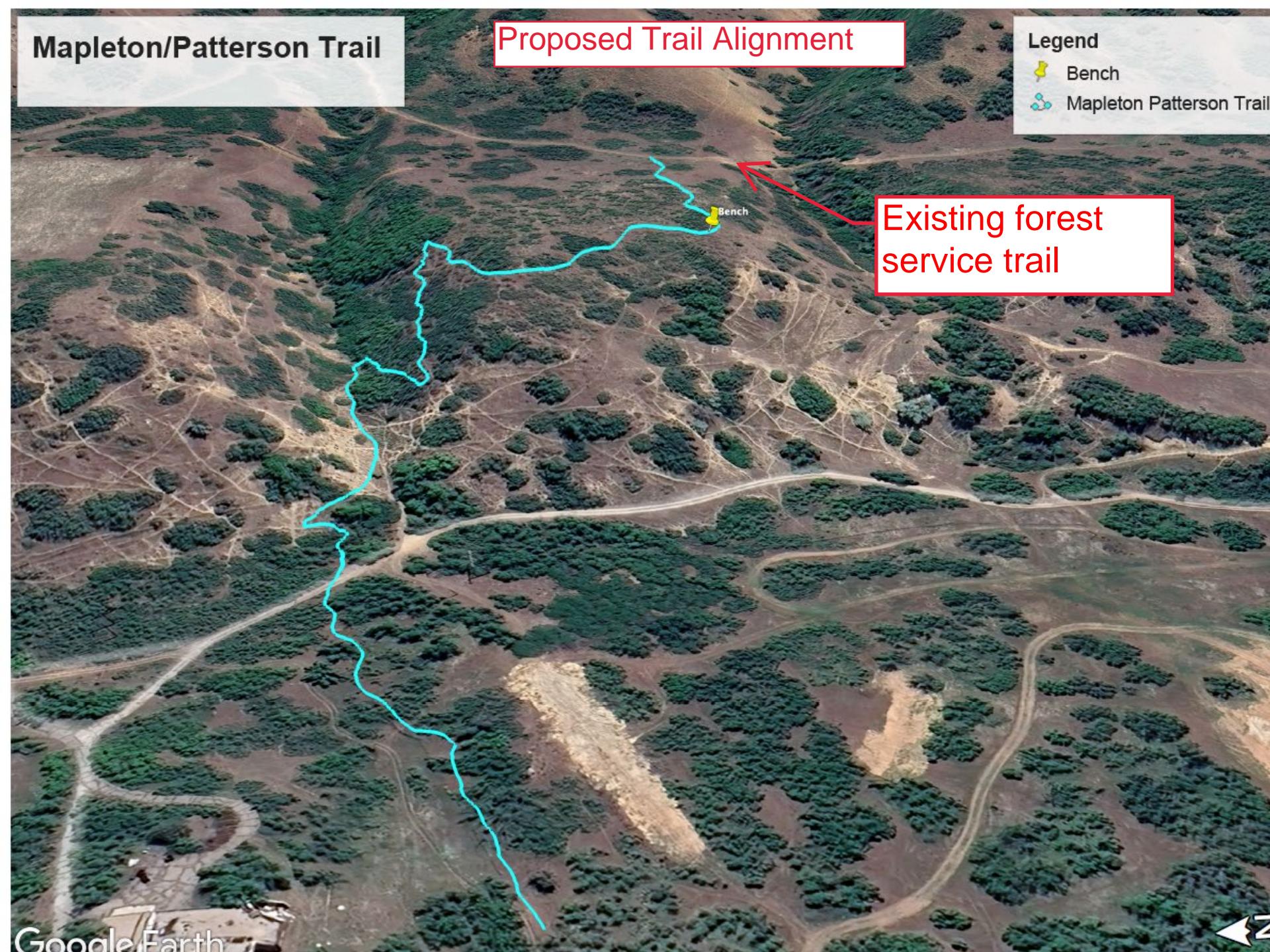
Proposed Trail Alignment

Legend

Bench

Mapleton Patterson Trail

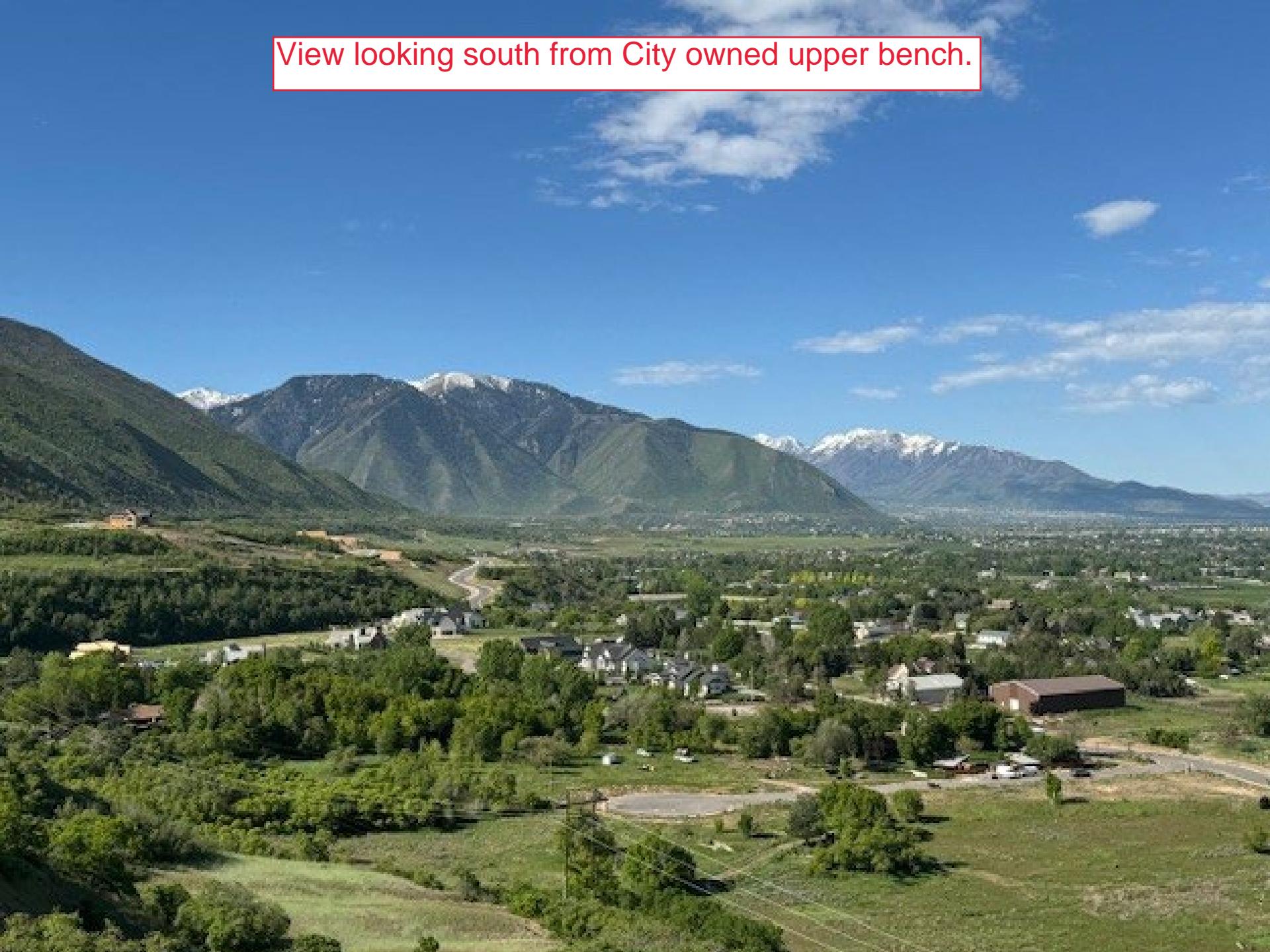
Existing forest
service trail

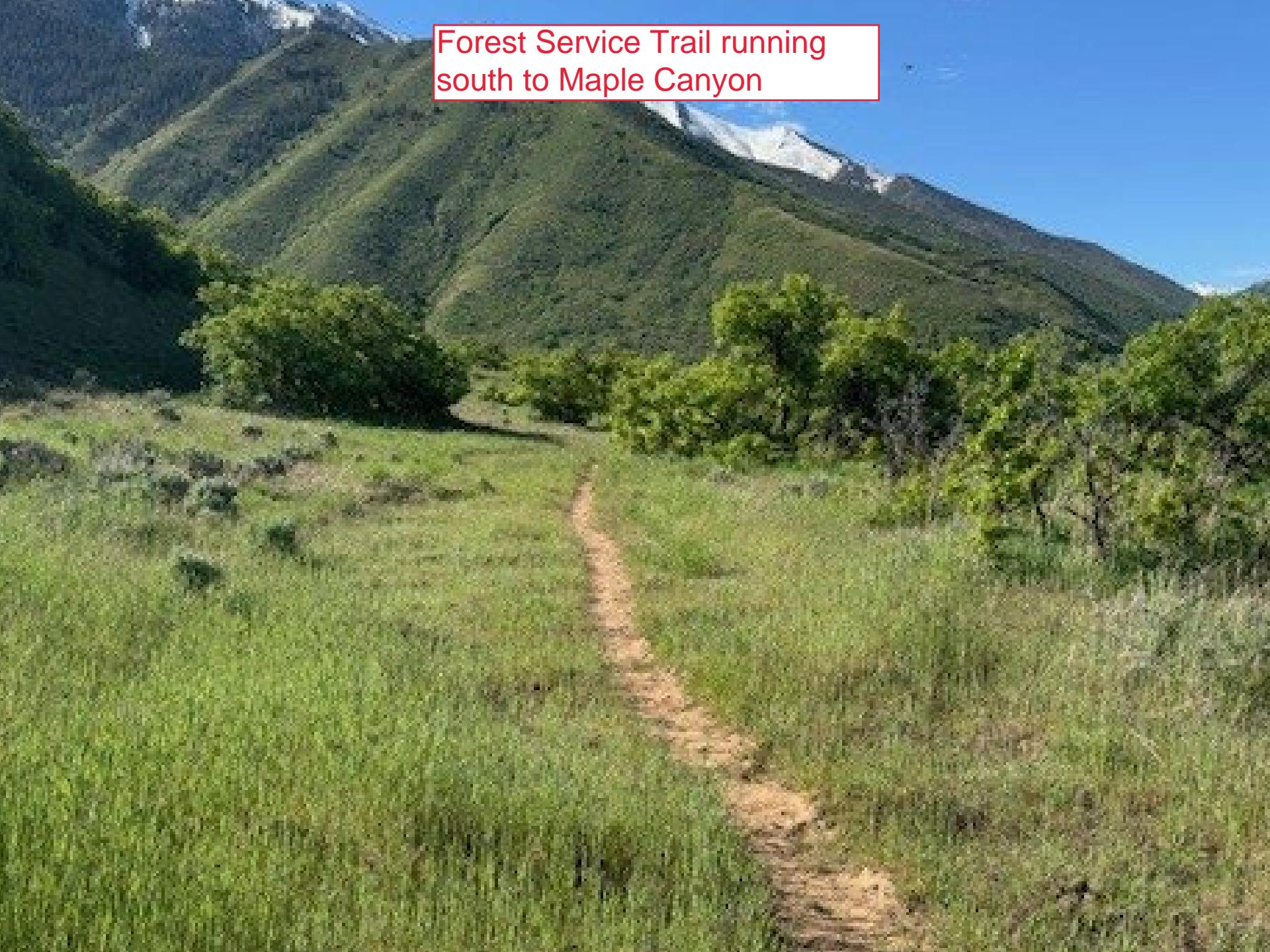




City owned
23 acres

View looking south from City owned upper bench.



A photograph of a dirt trail winding through a grassy valley. The trail starts in the foreground and curves to the left, then continues straight through a field of tall green grass. To the right of the trail is a dense forest of green trees. In the background, there are more green hills and mountains. At the top of the image, a white box with a red border contains the text.

Forest Service Trail running
south to Maple Canyon

Attachment "2"
Proposed PRC-9 Zoning Text

Chapter 18.82J
MAPLE HILLS SUBDIVISION, PLANNED RESIDENTIAL COMMUNITY (PRC-9)
ZONE

18.82J.010: NAME AND PURPOSE:

18.82J.020: PERMITTED USES:

18.82J.030: PERMITTED ACCESSORY USES:

18.82J.040: CONDITIONAL USES:

18.82J.050: DENSITY:

18.82J.060: LOT STANDARDS:

18.82J.070: BUILDING SETBACKS:

18.82J.080: BUILDING HEIGHT:

18.82J.090: PARKING AND DRIVEWAY REQUIREMENTS:

18.82J.100: OPEN SPACE PROTECTION:

18.82J.110: STREET DESIGN:

18.82J.120: TRAIL HEAD AND TRAIL ACCESS

18.82J.010: NAME AND PURPOSE:

The name of this zone shall be the Maple Hills subdivision PRC-9 zone. The purpose of this zone is to create an attractive residential subdivision that respects Mapleton's rural heritage and desire for access to the Maple Mountain Bench by providing a mix of lot sizes, protected open space and a public trail.

18.82J.020: PERMITTED USES:

One single-family dwelling per lot.

Parks and/or open space.

Temporary structures necessary for sales and/or construction activities, subject to subsection [18.84.200B](#) of this title.

18.82J.030: PERMITTED ACCESSORY USES:

Permitted accessory uses include:

The raising, care and keeping of limited numbers of livestock and fowl, excluding swine and roosters, for family food production or recreation. Also barns, corrals, pens and coops and other structures for the care and keeping of domestic livestock and fowl, subject to the following:

A. The number of animals kept shall not exceed one animal unit for each twenty thousand (20,000) square feet of lot area.

B. No structure for the housing of livestock or fowl or corrals for the close confinement of livestock shall be located closer than one hundred feet (100') to an existing dwelling on an adjacent lot or fifty feet (50') to such a dwelling on the same lot.

Home occupations subject to section [18.84.380](#) of this title.

Owner occupied accessory apartments subject to section [18.84.410](#) of this title.

18.82J.040: CONDITIONAL USES:

None

18.82J.050: DENSITY:

The base density for the zone is thirteen (13) residential lots. The density may be increased up to a maximum of twenty-three (23) lots with the use of Transferable Development Right (TDR) certificates. One certificate shall be required for each lot above thirteen (13).

18.82J.060: LOT STANDARDS:

To create variety within the subdivision, there shall be a mix of lot sizes. However, in no case shall a lot be smaller than twenty thousand (20,000) square feet with eighty (80) feet of frontage on a public road.

18.82J.070: BUILDING SETBACKS:

A. Main Building:

1. Front yard/garage setback: No less than twenty five feet (25') measured from the property line to the foundation of the home. For homes that have garage doors that face the street, the garage shall be set back a minimum of twenty feet (20') from the back of any trail or sidewalk.
2. Corner lot side yards: Measured the same as the front yard.
3. Rear yard setback: No less than twenty-five feet (25') measured from the rear property line to the foundation of the home.
4. Side yard setback: No less than ten feet (10') measured from the property line to the foundation of the home.

B. Accessory Building: Accessory building shall be subject to section [18.26.020](#) of this title.

C. Projections Into Yards: The following structures may be erected on or projected into any required yard:

1. Necessary appurtenances for utility service.
2. The structures listed below may project into a minimum front or rear yard not more than four feet (4'), and into a minimum side yard not more than two feet (2'):
 - a. Cornices, eaves, belt courses, sills, buttresses, or other similar architectural features.

- b. Fireplace structures and bays, provided that they are not wider than eight feet (8') measured generally parallel to the wall of which they are a part.
- c. Stairways, balconies, door stoops, fire escapes, awnings, and planter boxes or masonry planters not exceeding twenty four inches (24") in height.

18.82J.080: BUILDING HEIGHT:

All buildings and structures shall not exceed two (2) stories with a maximum height of forty feet (40') as defined in section [18.08.170](#) of this title.

18.82J.090: PARKING AND DRIVEWAY REQUIREMENTS:

A single-family dwelling shall provide at least four (4) off street parking spaces. At least two (2) of the spaces shall be located in an attached or detached garage that is fully enclosed. All dwelling units shall have a driveway made of hard surface material no less than twelve feet (12') in width.

18.82J.100: OPEN SPACE PROTECTION:

The final subdivision plat shall identify the non-buildable areas for habitable structures as recommended in the final surface fault rupture hazard study. The trail head and trail discussed in subsection 120 below shall also be dedicated to the City for trail access and open space.

18.82J.110: STREET DESIGN

The project shall utilize the City's country lane street cross section with no curb, gutter or sidewalk to maintain a rural appearance.

18.82J.120: TRAIL HEAD AND TRAIL ACCESS

The developer shall construct a trail head consisting of a paved access road and at least eight (8) parking stalls. The developer shall also construct a natural surface trail leading from the trail head up to the top of the bench. The final subdivision plat shall include the final layout and cross section of the trail. Once completed, the trail and trail head will be maintained by Mapleton City in perpetuity.

Attachment "3"

MAPLETON CITY CITY COUNCIL MINUTES NOVEMBER 15, 2023

PRESIDING AND CONDUCTING:	Mayor Pro Tem Jones
Members in Attendance:	Kasey Beck Reid Carlson Jessica Egbert Therin Garrett Leslie Jones
Staff in Attendance:	Cory, Branch, City Administrator Sean Conroy, Assistant City Administrator/Community Development Director Rob Hunter, Public Works Director/City Engineer John Jackson, Public Safety Director/Police Chief Logan Miner, Parks and Recreation Director Bryce Oyler, Finance Director
Minutes Taken by	Camille Brown, City Recorder

The items may not have been heard in the order below.

Mayor Pro Tem Jones called the meeting to order at 6:00 p.m. Cl. Beck gave the invocation and Cl. Garrett led the Pledge of Allegiance.

PUBLIC FORUM:

Bliden Loudenstock, resident of Orem shared his positive experience with Mayor Hakes, praising his selflessness. He highlighted the mayor's support for 2023 State Champion of Maple Mountain High School's volleyball team, even though the school technically falls outside the city's jurisdiction.

Don Garlitz raised his concerns about the proposed changes to the Maple Hills subdivision layout. The primary worry is that the reduction in lot sizes may lead to decreased property values in the area.

Mike Jorgensen had the same concerns about the proposed changes.

CONSENT AGENDA

Item 1. Approval of City Council meeting minutes- November 1, 2023
Item 2. Consideration of a Resolution to approve the contract modifications for the additional design and construction engineering management for Horrocks on the Mapleton Canyon Springs Redevelopment and Chlorine Building. **Resolution No. 2023-37**

Motion: Cl. Garrett moved to approve the consent agenda as presented.

Second: Cl. Carlson seconded the motion.

Vote:

Cl. Carlson	Yes
Cl. Egbert	Yes
Cl. Beck	Yes
Cl. Jones	Yes

Cl. Garrett Yes
Vote: Passed 5:0

ACTION ITEM:

Item 3. Presentation of the fiscal year 2022-2023 Audit Report

Bryce Oyler, Finance Director, turned the time over to Greg Ogden, Auditor, who reviewed the audit with the City Council and reviewed the findings.

Motion: Cl. Egbert moved to approve a Resolution accepting the 2022-23 audit report as presented.

Second: Cl. Carlson seconded the motion.

Vote:

Cl. Egbert Yes

Cl. Beck Yes

Cl. Jones Yes

Cl. Garrett Yes

Cl. Carlson Yes

Vote: Passed 5:0

Resolution No. 2023-38

DISCUSSION ITEM:

Item 4. Discussion item to review revised concepts for the Maple Hills Subdivision

~~Sean Conroy~~, Assistant City Administrator/Community Development Director reviewed the staff report for those in attendance. There were discussions related to potential modifications to the Maple Hill subdivision, prompted by the identification of fault lines impacting the original development plan. Patterson Homes, the applicant, presented two conceptual layouts aimed at addressing the situation. The primary focus was on proposing a rezoning to Planned Residential Cluster (PRC), offering flexibility in lot sizes.

The presentation highlighted the significance of a trailhead location in alignment with the city's trails master plan. The council members engaged in a discussion regarding the fault lines, the practicality of the proposed trailhead, and the implications of rezoning to PRC. Questions were raised about the recommended setbacks from fault lines and the potential need for earthquake-resistant construction. Concerns were expressed about the impact on existing lot owners who had purchased with different expectations. The Council emphasized the importance of honoring the investments made by these landowners. While they expressed openness to the idea of PRC zoning, they were cautious about the specific configurations proposed in the presented concepts.

The applicant clarified the recommendations from geotechnical studies regarding setbacks and the nature of construction requirements. Patterson Homes also acknowledged the concerns of existing lot owners and committed to working with them.

Council members, while indicating general support for the concept of PRC zoning to address the unique challenges posed by fault lines, emphasized the need for further refinement in the proposed layouts. They highlighted the importance of considering existing owners' perspectives and ensuring that the changes align with the overall vision for the area.

The discussion would continue during the formal application process. The applicant sought feedback and collaboration in working through the challenges presented by the fault lines and existing landowners' expectations. The council acknowledged the need for creative solutions and expressed a commitment to addressing concerns in subsequent stages of the application.

MAYOR, COUNCIL AND ADMINISTRATIVE REPORTS:

Cl. Carlson stated that Solid Waste tour is set up for two different dates and times.

Cl. Egbert discussed the legislative audit on housing policy, highlighting findings and recommendations. Concerns are raised about potential impacts on local government authority.

Cl. Garrett added that he wanted to thank everyone that participated in the Fall Cleanup.

Bryce Oyler stated that there would be budget amendments in January.

Logan Miner reminded the council of the Lights On event on November 27th at 6:00 pm. His staff has come up with the idea of having a Christmas Tree bonfire in January. They have heard of other cities having the event. It would be called Burn Bright. It would be on our vacant lot at the corner of 400 North and 300 West. They will look at all aspects of safety and environmental.

Chief Jackson discussed last Tuesday's first community event and it went well. The Maple Mountain High School Volleyball team took state and they had a parade that went through Mapleton and then down to Spanish Fork.

Motion: Cl. Garrett moved to adjourn the meeting.

Second: Cl. Beck seconded the motion.

Vote: Passed unanimously at 6:51pm

APPROVED: December 6, 2023



Camille Brown, City Recorder

Attachment "4"
Correspondence

Hello Sean

This is Michael Jorgensen one of the owners in Maple Hills development. Back at the end of the year (2023) I shared some concerns with their plan being proposed at that time.

I wanted to let you know my 2 concerns (layout of the lots behind my property and lots directly to the south) have been addressed with their current plan being proposed.

Let me know if you have any questions.

Thanks

Mike