



Planning Commission Meeting

June 13, 2024

6:00pm

125 West 400 North
Mapleton, UT 84664



PLANNING COMMISSION AGENDA

Thursday, June 13, 2024, at 6:00pm
125 West Community Center Way (400 North), Mapleton, Utah 84664

The order of agenda items is subject to change at the discretion of the Planning Commission Chair.

6:00 p.m. Call to order: Pledge, Invocation, and Introductions/Announcements.

Consent Items

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission may ask that any items be considered individually for purposes of Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

1. Planning Commission Meeting Minutes – April 11, 2024.
2. Consideration of a Conditional Use Permit to construct an LDS church building at 1342 West 800 South in the Residential Agricultural (RA-1) Zone.
3. Consideration of a request for a home occupation permit to establish a preschool in an existing residence located at 1443 West Mapleton Heights Drive in the PD-4 Zone.

Public Hearings

4. Consideration of an ordinance amending Mapleton City Code section 18.56B eliminating the age restriction on some units in the Sunrise Ranch development.
5. Consideration of a request to rezone 26 acres located at approximately 800 North 2000 East from A-2, TDR-R to Planned Residential Community (PRC-9) and to vacate a portion of Maple Hills Lane.

PUBLIC COMMENT MAY BE ACCEPTED AT THE DISCRETION OF THE CHAIR

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during the meeting/hearing should notify April Houser at the Community Development Office, at Mapleton City, 125 West 400 North, Mapleton UT 84664, or by phone, (801) 489-6138, giving at least 24 hours notice. Signature on this document certifies that it was posted in the City Office on 6/6/24.

THIS AGENDA SUBJECT TO CHANGE WITH A MINIMUM OF 24 HOURS NOTICE
(Last Modified June 6, 2024)

April Houser, Executive Secretary

Item:

2

Date:

6/13/24

Applicant:

Corp. of Pres. Bishop of
Church of Jesus Christ of
LDS

Location:

1342 W 800 S

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

No

Zone:

RA-1

Attachments

1. Application information

REQUEST

Consideration of a conditional use permit to construct an LDS church building at 1342 W 800 S in the Residential Agricultural (RA-1) zone.

BACKGROUND & DESCRIPTION

The subject site is a five acre undeveloped parcel with frontage on 800 South. The properties to the east, west and south are developed single-family lots. The property to the north is the Maple Grove middle school. In 2018 the Planning Commission approved a conditional use permit for a new church building on this site. However, the church was never constructed and the conditional use permit has expired.

The applicant is now requesting that a new conditional use permit that will include:

- A 23,000 square foot church building;
- Two driveway approaches onto 800 South;
- 279 parking spaces;
- A pavilion and storage shed; and
- Sidewalk across the frontage of the property.

EVALUATION

Administrative Review: The property is zoned RA-1, which identifies “houses of worship” as a conditional use in the zone. A conditional use permit is considered an administrative permit. Utah Code section 10-9a-507 states the following regarding conditional use permit review:

*“A land use authority **shall** approve a conditional use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards” (emphasis added).*

In other words, unless there are reasonably anticipated detrimental effects that cannot be mitigated, and/or the proposal is not in compliance with adopted standards, the conditional use permit must be approved.

Height: Most structures in the RA-1 zone are limited to 40 feet in height. Mapleton City Code (MCC) Section 18.84.090 states the following regarding public buildings and churches:

“Public buildings and churches may be erected to any height provided the building is set back from required building setback lines a distance of at least one foot (1') for each additional foot of building height above the maximum height otherwise permitted in the zone in which the building is located.”

The proposed height of the church steeple is 70 feet. The required side yard setback is 10 feet, which means the building needs to be setback at least 60 feet. The proposed building is setback approximately 110 feet from the side property lines and is consistent with the height requirements.

Parking: Off Street parking for a church is required to meet a standard of either one stall for every five fixed seats in the chapel or auditorium, or one space for every 35 square feet of floor space. Most of the seating in the chapel is bench style seating, so there is not an exact count of fixed seats. If it assumed there are approximately 300 fixed seats in the chapel, that would require 60 spaces. The cultural hall is approximately 3,800 square feet in size, which if you apply the one space per 35 square feet, would add another 108 stalls to the parking requirement for a total of 168. The applicant is proposing 279 spaces.

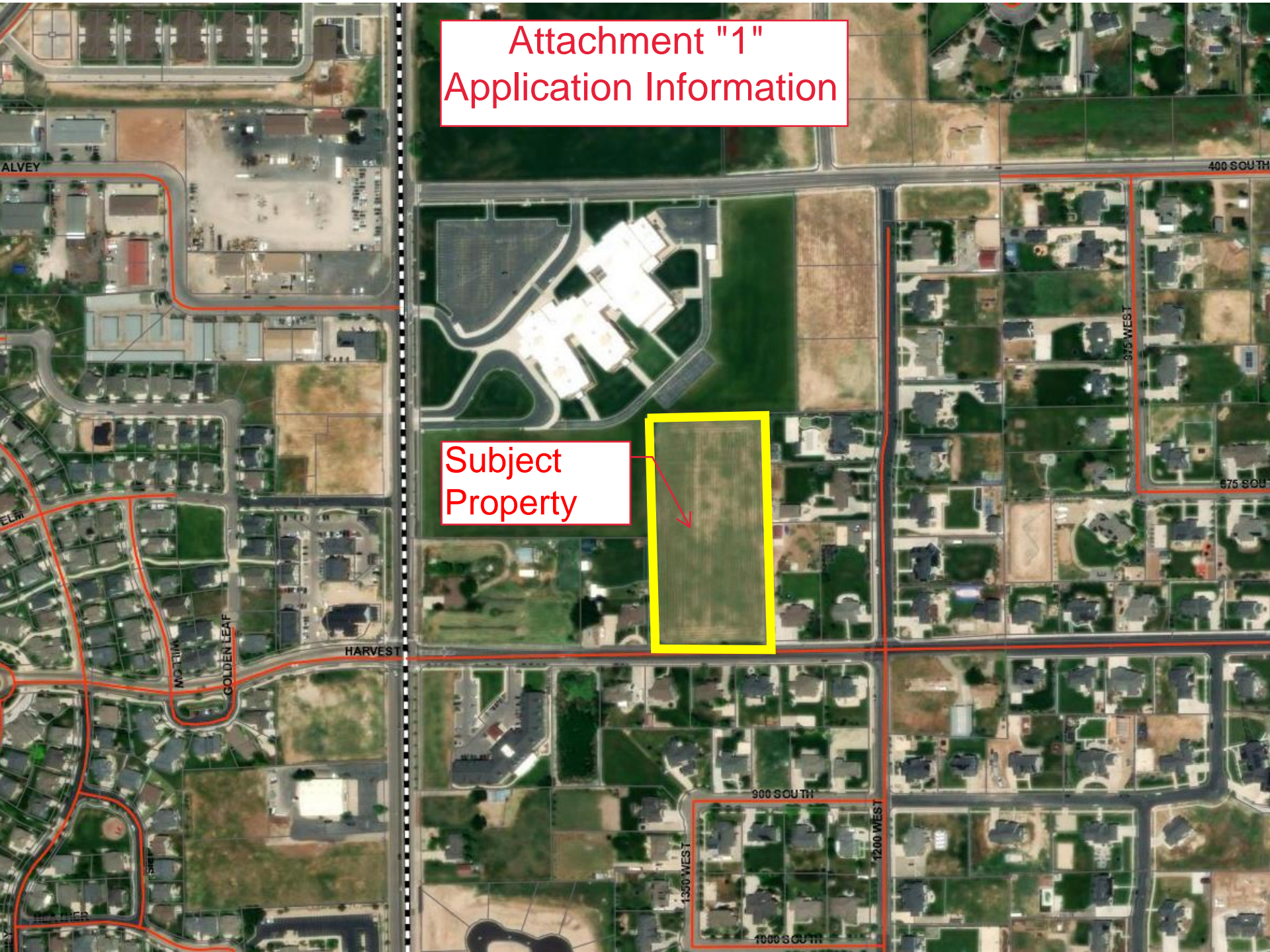
Landscaping: MCC Section 18.90.100 requires landscaped islands at the end of parking rows and in between every 10 stalls. The application complies with this requirement. The parking areas are also setback approximately 20 feet from the side property lines allowing for a landscaped buffer area between properties.

RECOMMENDATION

Approve the conditional use permit with the condition that any outstanding DRC comments be addressed prior to plat recording.

Attachment "1" Application Information

Subject
Property



1. SEE A601 FOR DOOR SCHEDULE.
2. SEE A603 FOR WINDOW TYPES.
3. INSTALL SECONDARY UNDERLAYMENT OVER THE ENTIRE ROOF.

03-27	PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
03-28	PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS
04-03	BLOCK VENEER MASONRY; RUNNING BOND; SEE DETAILS
04-06	ACCENT BRICK VENEER MASONRY
04-10	ACCENT BRICK VENEER MASONRY; SOLDIER COURSE; SEE DETAILS
07-11	ALUMINUM RIGE VENT; SEE B.F./A122
07-17	WATER-MANAGED EIFS ARCHITECTURAL SCORING JUNT; SEE DETAILS
07-21	ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
07-24	ALUMINUM GUTTERS AND DOWNSPOUTS; SEE DETAILS
07-41	ALUMINUM SHEET METAL, FASCIA, FLASHING & TRIM. SEE A&A/D12
07-46	COMPOSITE ASPHALT SHINGLES; SEE DETAILS & SPECIFICATIONS
07-47	WATER-MANAGED EIFS EXTERIOR WALL FINISH SYSTEM; SEE DETAILS & SPECIFICATIONS
08-05	VINYL FRAMED FIXED WINDOW; SEE DOOR AND WINDOW SCHEDULES AND DETAILS
09-09	5/8" GYPSUM BOARD
10-07	ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
10-08	STONE MEETINGHOUSE SIGN; SEE D&E/A203
10-09	BUILDING ADDRESS SIGN; SEE F&G/A20

#	Description	Date
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THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

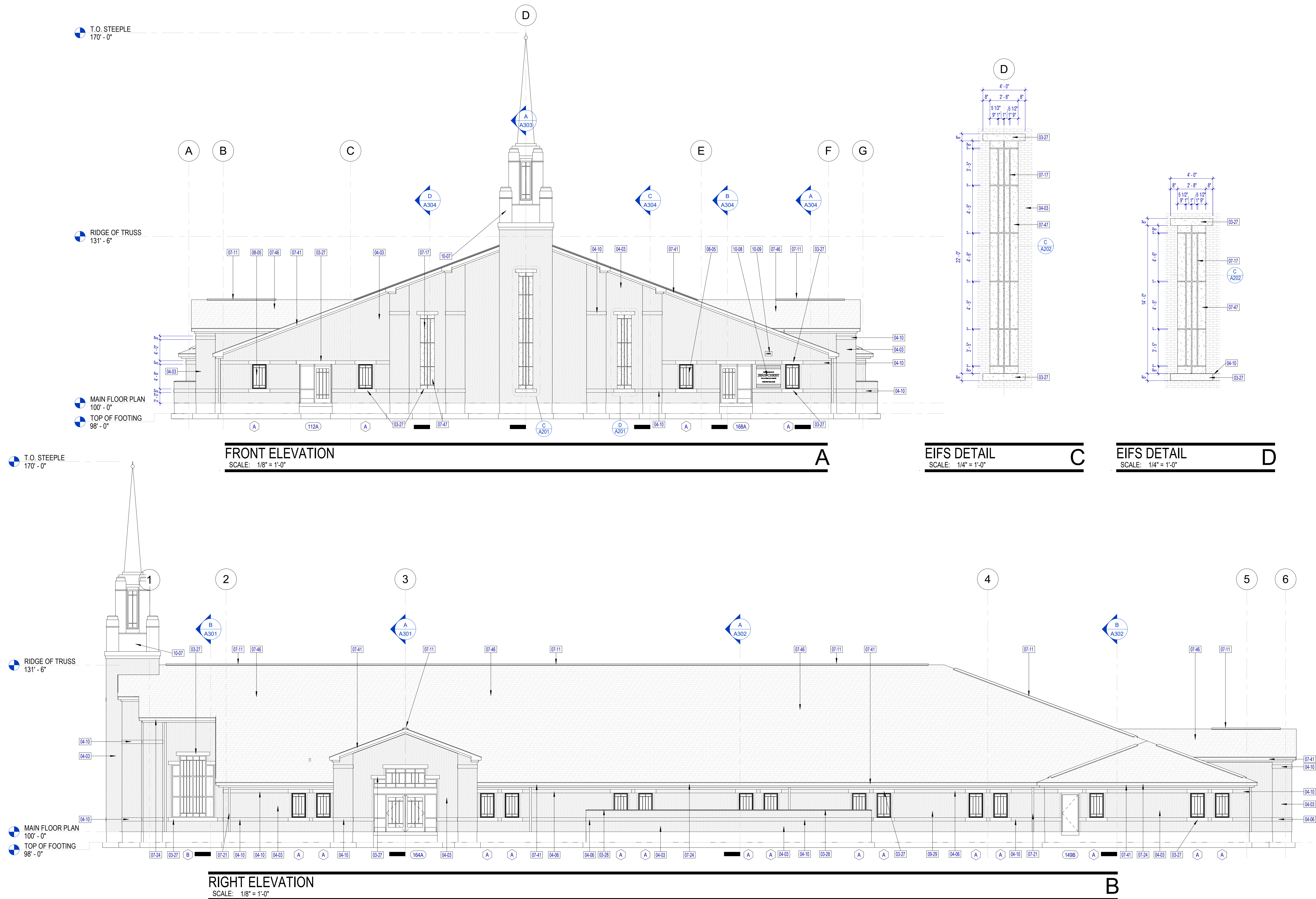
Mapleton 19 &
Mapleton UT West Stake

Project Number: 23-10

Property Number: 501-2699-230101

Exterior Elevations

A201



T.O. STEEPLE
170' - 0"

RIDGE OF TRUSS
131' - 6"

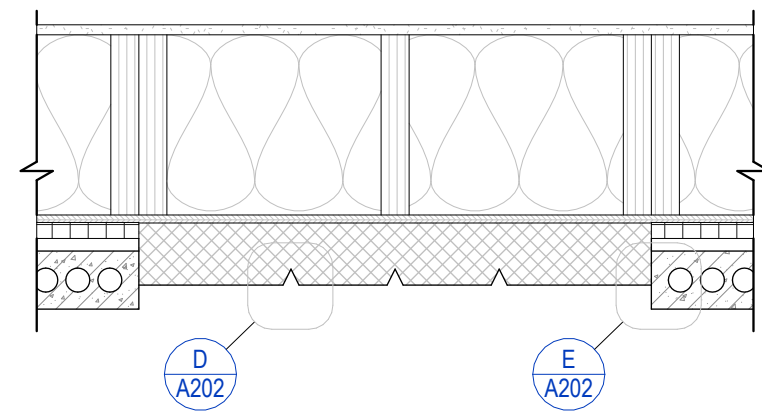
MAIN FLOOR PLAN
100' - 0"

TOP OF FOOTING
98' - 0"

REAR ELEVATION

SCALE: 1/8" = 1'-0"

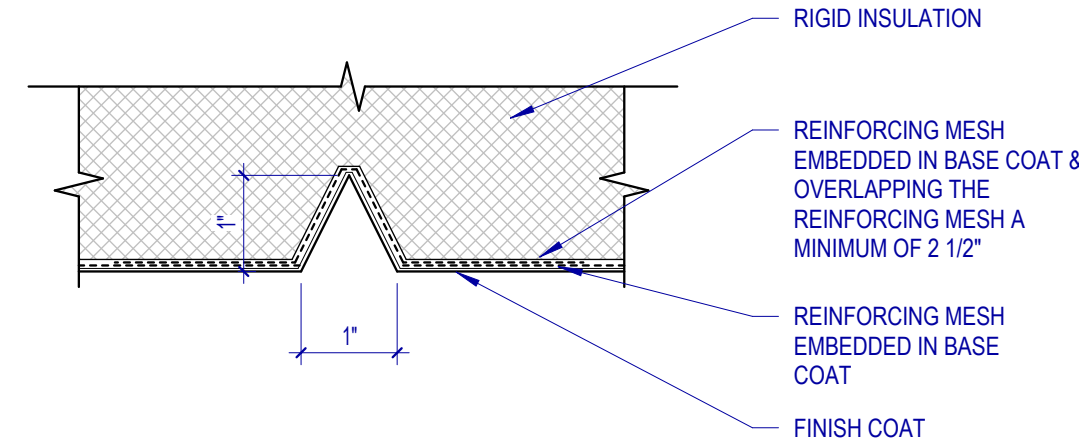
A



EIFS - SECTION

SCALE: 1" = 1'-0"

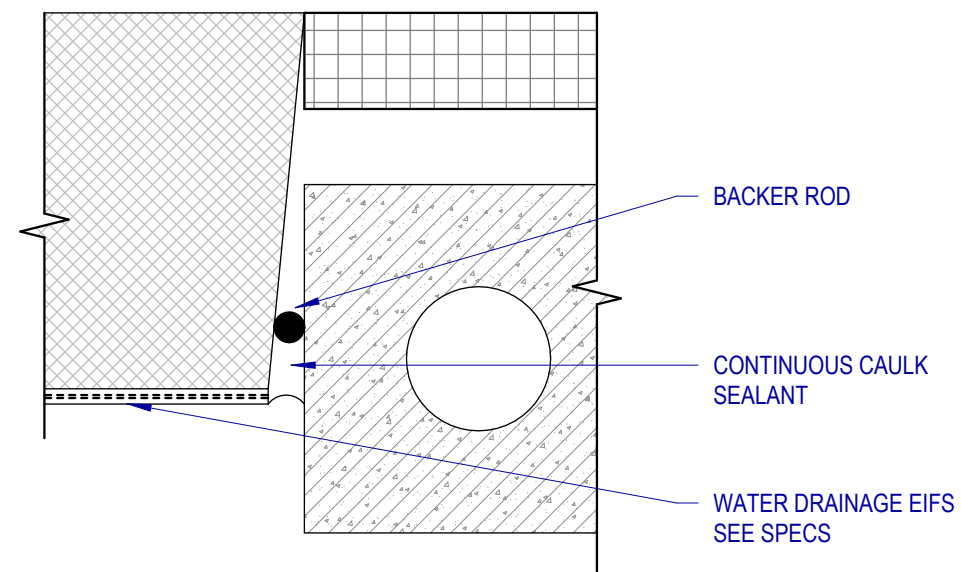
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EIFS - ENLARGED REVEAL DETAIL

SCALE: 6" = 1'-0"

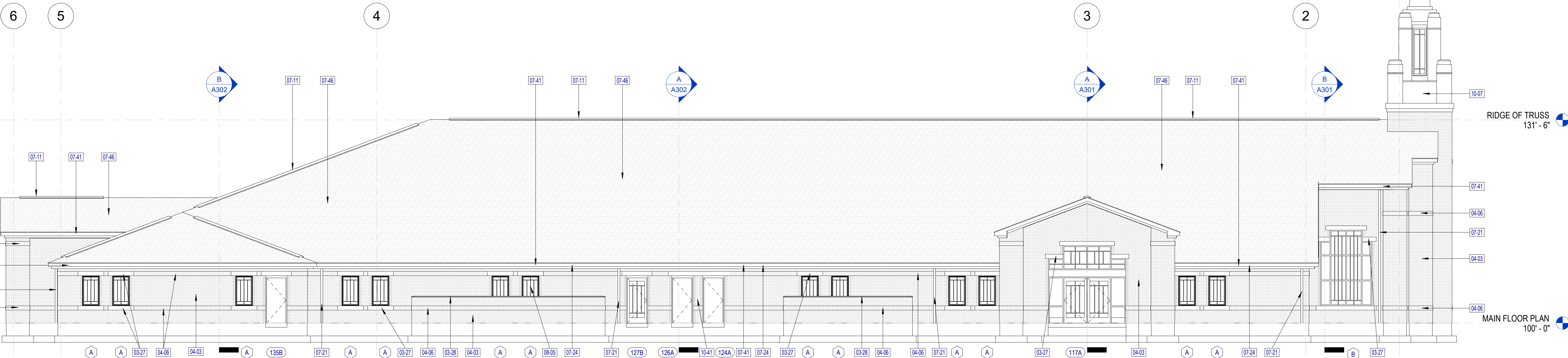
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EIFS - ENLARGED EDGE DETAIL

SCALE: 6" = 1'-0"

E



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

B

General Notes

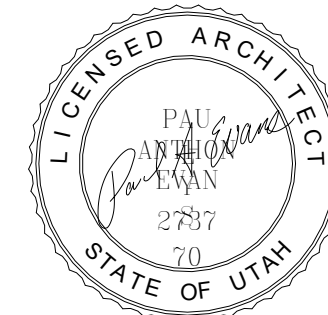
1. SEE A601 FOR DOOR SCHEDULE.
2. SEE A603 FOR WINDOW TYPES.
3. INSTALL SECONDARY UNDERLAYMENT OVER THE ENTIRE ROOF.

Keyed Notes

- | | |
|-------|--|
| 03-27 | PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS |
| 03-28 | PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS |
| 04-03 | BRICK VENEER MASONRY; RUNNING BOND; SEE DETAILS |
| 04-06 | ACCENT BRICK VENEER MASONRY; SOLDIER COURSE; SEE DETAILS |
| 04-10 | ALUMINUM RIDGE VENT; SEE B.E.F/A122 |
| 07-11 | ALUMINUM ROOF DOWNSPOUT; SEE DETAILS |
| 07-21 | ALUMINUM GUTTERS AND DOWNSPOUTS; SEE DETAILS |
| 07-24 | ALUMINUM SHEET METAL FASCIA, FLASHING & TRIM; SEE A&D/A122 |
| 07-41 | COMPOSITE ASPHALT SHINGLES; SEE DETAILS & SPECIFICATIONS |
| 07-46 | VINYL FRAMED FIXED WINDOW; SEE DOOR AND WINDOW SCHEDULES AND DETAILS |
| 10-07 | ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS |
| 10-41 | KNOX BOX |

Revision Schedule

#	Description	Date
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11576 South State Street, Suite 103b
Draper, Utah 84020

Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Meetinghouse for

Mapleton 19 &
Mapleton UT West Stake

1340 West 800 South
Mapleton, Utah

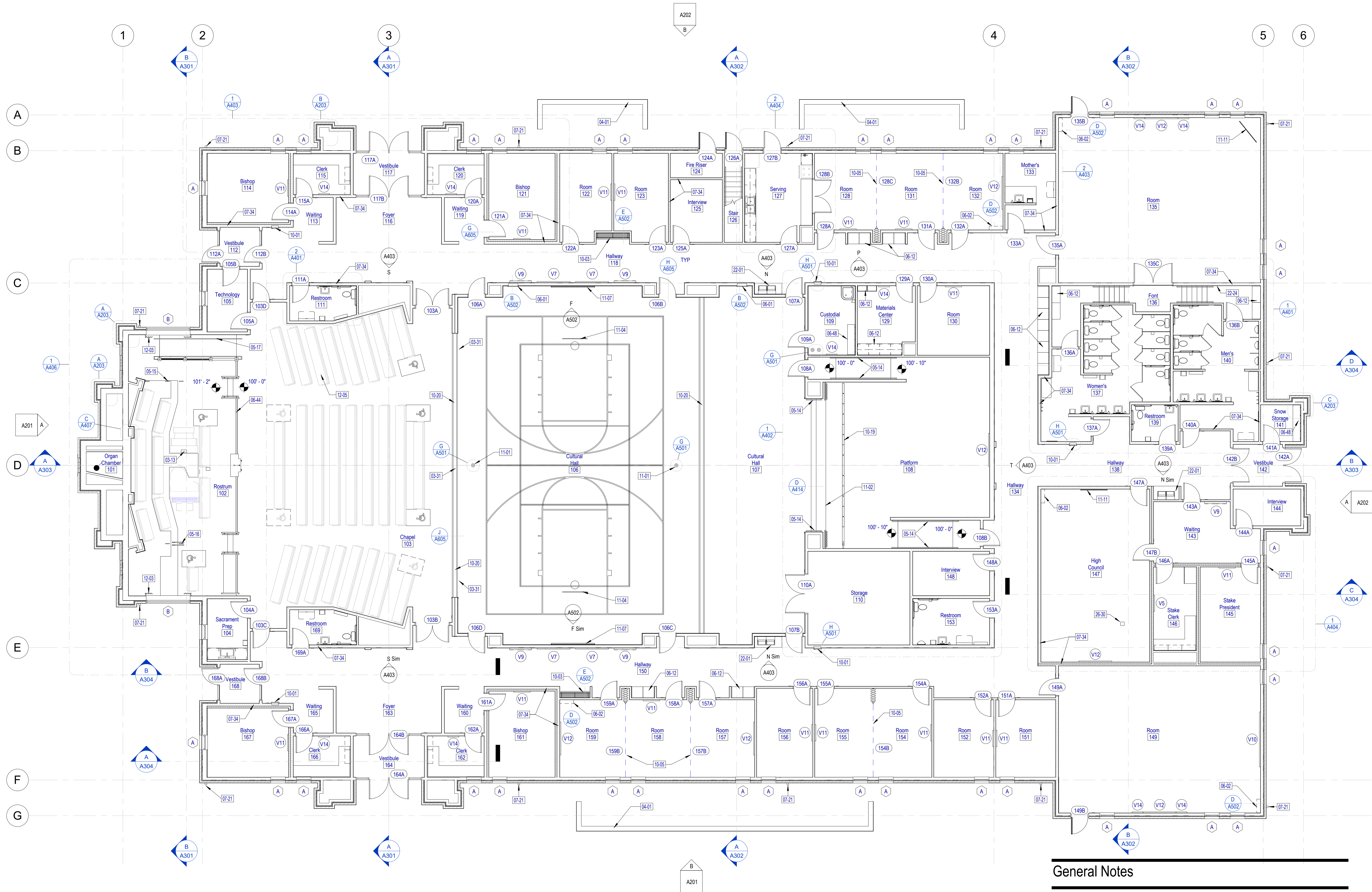
Project Number: 23-104

Property Number: 501-2699-23010101

April 4, 2024

Exterior Elevations

A202



MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

1

General Notes

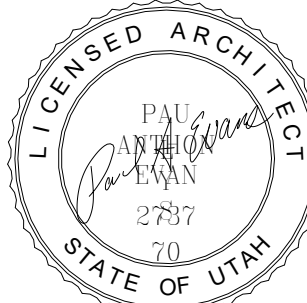
- SEE SHEET A103 FOR DIMENSIONS.
- SEE SHEET A111 & A112 FOR WALL TYPES.
- INSULATE ATTIC SPACE ABOVE AND INTERIOR WALLS AROUND VESTIBULE 112, 117, 142, 164, AND 168.
- PROVIDE SOLID BLOCKING IN WALLS AT ALL DOOR STOPS, VISUAL DISPLAY BOARDS, TOILET COMPARTMENTS, LAVATORY SUPPORTS, WALL HUNG CABINETS, AND ALL OTHER EQUIPMENT AND ACCESSORY LOCATIONS.
- FOR ELEVATIONS OF VISUAL DISPLAY BOARDS, SEE F103.
- INSTALL VAPOR RETARDER UNDER CONCRETE SLAB, SEE STRUCTURAL.
- PROVIDE A 2x FIRE BLOCKING IN ALL WALLS AT CEILING AND FLOOR LEVELS.
- ALL WALLS EXCEEDING 10 FEET IN HEIGHT, PROVIDE 2x FIRE BLOCKING NOT TO EXCEED 10'-0" O.C. VERTICALLY.
- FOR DOOR SCHEDULE, SEE SHEET A601.
- GRID LINES ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL WALLS SHOWN WITH DOTS TO BE CONSTRUCTED WITH BLANKET SOUND INSULATION.

Keyed Notes

- 03-13 6" DEEP FLOOR RECESS WITH POWER OUTLET AND SOUND CONDUIT STUBS FOR ORGAN
- 03-31 CONCRETE SLAB TOLERANCE AT SKYFOLD DOOR IS 1/4" MAXIMUM
- 04-01 MECHANICAL CONDENSER SCREEN WALLS; SEE CIVIL DRAWINGS
- 05-14 STAINLESS STEEL HANDRAIL; SEE B/A414
- 05-15 HANDRAIL; SEE C/A405
- 05-16 HANDRAIL; SEE D/A405
- 05-17 HANDRAIL; SEE G/A405
- 06-01 RECESS HYMN BOOK CABINET; A8B/A502
- 06-02 HYMN BOOK CABINET; SEE C/A402
- 06-12 WOOD VENEER FACED ARCHITECTURAL CABINETS; SEE DETAILS, INTERIOR ELEVATIONS AND FINISH SCHEDULE
- 06-44 ROSTRUM CASEWORK; SEE DETAILS
- 06-48 SHELVING; SEE J/A143
- 07-21 ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
- 07-34 LOOSE-FILL BLANKET SOUND INSULATION; TYPICAL
- 10-01 FIRE EXTINGUISHER CABINET (FEC) WITH 4A-B-C UL RATING MINIMUM; INSTALL IN ACCORDANCE WITH ALL ADA GUIDELINES; PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION; SEE H/A501
- 10-03 HAT AND COAT RACK WITH SHELF; SEE E/A502
- 10-05 FOLDING ACCORDION PARTITION AND TRACK; PROVIDED AND INSTALLED BY CONTRACTOR; SEE DETAILS
- 10-19 FOLDING PANEL DOOR; CONTRACTOR PROVIDED AND INSTALLED
- 10-20 VERTICAL RETRACTABLE ACOUSTIC WALL; CONTRACTOR PROVIDED AND INSTALLED
- 11-01 VOLLEYBALL POST SLEEVE; SEE G/A501; OWNER PROVIDED, CONTRACTOR INSTALLED
- 11-02 STAGE CURTAIN AND TRACK; SEE DETAILS
- 11-04 BASKETBALL STANDARD; SEE N/A501
- 11-07 WALL PADDING; OWNER PROVIDED, CONTRACTOR INSTALLED
- 11-11 TV; OWNER PROVIDED AND INSTALLED
- 12-03 DRAPERIES
- 12-05 CUSHIONED PEW SEATING
- 22-01 ELECTRIC WATER COOLER (EWC); SEE PLUMBING; INSTALL IN ACCORDANCE WITH ALL ADA GUIDELINES; PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION
- 22-24 FONT CONTROLS BOX; SEE PLUMBING
- 26-30 ELECTRICAL FLOOR BOX; SEE ELECTRICAL

Revision Schedule

#	Description	Date



Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Meetinghouse for

Mapleton 19 &
Mapleton UT West Stake

1340 West 800 South
Mapleton, Utah

Project Number: 23-104

Property Number: 501-2699-23010101

April 4, 2024

Main Floor Plan

A101



MP: Inlet Protection - Gravel

OBJECTIVES

- ☐ Housekeeping Practices
- ☐ Contain Waste
- ☐ Minimize Disturbed Areas
- ☐ Stabilize Disturbed Areas
- ☐ Protect Slopes/Channels
- ☐ Control Site Perimeter
- ☐ Control Internal Erosion

SCORPTION:

acement of gravel filter over inlet to storm drain to filter storm water runoff.

PLICATION:

onstruct at inlets in paved or unpaved areas where upgradient area is to be tubed by construction activities.

STALLATION/APPLICATION CRITERIA:

- Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
- Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- Place graded gravel, to a minimum depth of 12 inches, over the filter fabric and extending 18 inches past the grate in all directions.

INTENTIONS:

- Recommended for maximum drainage area of one acre.
- Excess flows may bypass the inlet requiring down gradient controls.
- Ponding will occur at inlet.

MAINTENANCE:

inlet protection after every large storm event and at a minimum of once monthly.

Remove sediment accumulation when it reaches 4 inches in depth.

Replace filter fabric and clean or replace gravel if clogging is apparent.



TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

☐ High ☐ Medium ☐ Low

		evans + associates architecture 11576 North Ironwood Lane, Suite 103B, Greenwood, Utah 84020 phone 801-553-8072 fax 801-553-8273	
Stamp			
			
<div style="display: flex; justify-content: space-between;"><div style="width: 40%;">A New Meetinghouse for:</div><div style="width: 60%; text-align: center;"><h1>Mapleton 19 & Mapleton UT West Stake</h1></div></div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"><div style="width: 40%;"></div><div style="width: 60%; text-align: center;"><p>1340 West 800 South Mapleton, Utah</p></div></div>			
<div style="display: flex; justify-content: space-between;"><div style="width: 40%;">Project for:</div><div style="width: 60%; text-align: center;"><h1>THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS</h1></div></div>			
Revisions			
Mark		Date	
Description			
Project Number 23-104			
Plan Series Heritage 23-2			
Property Number 501-2699-23010101			
Date November 6, 2023			
Sheet Title			
<h2>EROSION CONTROL PLAN</h2>			
Sheet			
C204			

DESIGN CRITERIA:

- 2021 INTERNATIONAL BUILDING CODE WITH STATEWIDE AMENDMENTS
- TYPE OF CONSTRUCTION: TYPE II-B.
- BUILDING USE: ASSEMBLY A-3
- BUILDING OCCUPANCY CATEGORY: II
- BUILDING HEIGHT: PER PLANS
- BUILDING VOLUME: 19,800 CU. FT.
- NO. OF OCCUPANTS: 120
- ROOF DEAD LOAD - 11 PSF PLUS FRAMING WEIGHT
 - SHINGLES AND FELT: 3.5 PSF
 - DIAPHRAGM SHEATHING: 2.3 PSF
 - WOOD DECK: 4.0 PSF
 - MISCELLANEOUS: 1.2 PSF
- ROOF LIVE LOAD - 20 PSF
- SNOW LOAD
 - P_g: 36 PSF (GROUND SNOW LOAD)
 - P_f = 0.7 * P_g * C_e * C_t * I_s = 27 PSF (ROOF SNOW LOAD)
 - BUILDING ELEVATION: 4582 FT
 - P_s = P_f C_s
 - C_s: 1.0 FOR A 4:12 PITCH
 - P_s: 27 PSF
- WIND LOAD (ULTIMATE)
 - V_{3s}: 115 MPH
 - EXPOSURE: C
 - W: 1.00
- SEISMIC LOAD (ULTIMATE)
 - I_e: 1.00
 - S_s: 1.17
 - S₁: 0.43
 - S_{ds}: 0.806
 - S_{d1}: 0.45
 - Ω_o: 1.25
 - C_d: 2.5
 - SITE CLASS: D
 - SEISMIC DESIGN CATEGORY: D
 - R: 1.25 (CANTILEVERED STEEL COLUMNS)
 - EQUIVALENT LATERAL FORCE PROCEDURE
 - C_s = 0.65
- ALLOWABLE SOIL BEARING PRESSURE:
 - 1500 PSF
 - ALLOWABLE FOUNDATION AND LATERAL PRESSURE = 100 PSF/FT BELOW NATURAL GRADE (TABLE 1806.2 OF 2021 IBC).
 - USE CONSTRAINED CONDITIONS FOR CONCRETE PIERS
 - COORDINATE ALL SITE GRADING AND SOIL WORK WITH THE SOILS REPORT.

PAVILION CONSTRUCTION SEQUENCE NOTES:

- VERIFY PERMIT REQUIREMENTS BEFORE SIGNING CONTRACTS.
 - BUILDING PERMIT
 - PLANING OR CONDITIONAL USE PERMIT
 - OBTAIN REQUIRED USE PERMIT
- REMOVE ALL VEGETATION, ROCKS, OUTCROPPINGS, AND TREES FROM LOCATION OF PAVILION SLAB. STRIP 6" OF TOP SOIL.
- LEVEL PAVILION BUILDING AREA. AVOID GRADING THAT ALLOWS WATER TO DRAIN TOWARD PAVILION.
- DIG COLUMN CAISSONS.
- PLACE COLUMN CAISSON FORMS AND SET REINFORCING STEEL.
- SET COLUMN ANCHOR BOLTS USING PLYWOOD TEMPLATE OF APPROXIMATELY THE SAME SIZE AS COLUMN BASE PLATE TO INSURE BOLT LOCATION ACCURACY.
- PLACE CONCRETE IN CAISSON FORMS FROM BOTTOM OF PIER UP TO A LEVEL 1-1/2" BELOW BOTTOM OF COLUMN BASE PLATE. LET CONCRETE CURE 7 DAYS.
- SET HSS COLUMNS OVER PRE-SET ANCHOR BOLTS ALLOWING COLUMNS TO REST ON LEVELING NUTS AND 1/4"x 3" PLATE WASHERS. LEVELING NUTS ARE TO BE USED TO SET COLUMNS PLUMB AND TRUE AND AT CORRECT BEARING HEIGHT TO RECEIVE GLU-LAM BEAMS.
- AFTER COLUMNS ARE SET PLUMB AND TRUE, VERIFY ACCURACY OF DIMENSIONS BETWEEN COLUMNS AND SECURE COLUMNS IN PLACE USING 1/4"x 3" PLATE WASHERS UNDER NUTS, TIGHTEN NUTS WITH ADDITIONAL 1/4 TURN PAST SNUG.
- THE WEIGHT OF GLU-LAM BEAMS IS APPROXIMATELY 500 POUNDS EACH. SOME FORM OF MECHANICAL HOIST IS RECOMMENDED FOR SETTING BEAMS ON TOP OF STEEL TUBE COLUMNS.
- NOTCH A 1"x 1" HOLE AT TOP OF BEAMS NEAR CENTER PEAK FOR ELECTRICAL CONDUIT TO PASS THROUGH.
- LIFT GLU-LAM BEAMS AND SET EACH END IN THE COLUMN SADDLE PLATES.
- ANCHOR BEAMS IN SADDLES WITH (8) SIMPSON SDS25112 WOOD SCREWS.
- ONCE GLU-LAM BEAMS ARE SET AND SECURELY BOLTED, ADEQUATELY BRACE EACH BEAM USING 2x LUMBER TO PREVENT BEAMS FROM OVERTURNING UNTIL ROOF DECK AND ROOF SHEATHING ARE SECURELY ANCHORED IN PLACE.
- SET 2x8 TONGUE AND GROOVE ROOF DECK WITH COMMON OR RING SHANK NAILS IN ACCORDANCE WITH SUPPLIERS' RECOMMENDATIONS.
- INSTALL 2x6 FASCIA BOARD AROUND ENTIRE ROOF PERIMETER. ALIGN TOP OF FASCIA BOARD WITH TOP OF ROOF DECKING.
- INSTALL WOOD ROOF SHEATHING OVER 2x8 TONGUE AND GROOVE ROOF DECK AT 45 DEGREES AS SHOWN IN ROOF DIAPHRAGM DETAIL.
- LAY 30 POUND FELT UNDERLAYMENT OVER ENTIRE ROOF STARTING AT FASCIA DRIP EDGE, OVERLAP EACH ROLL 6" AS FELTS ARE LAID OVER RIDGE.
- INSTALL PRE-FINISHED METAL DRIP EDGING ON ALL PERIMETER EDGES OF ROOF.
- INSTALL FIBERGLASS SHINGLES OVER ROOF UNDERLAYMENT AND PRE-FINISHED METAL DRIP EDGING. FOLLOW MANUFACTURER'S INSTRUCTIONS.
- PLACE NON-SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON-SHRINK GROUT EDGES TO 45 DEGREES.
- PLACE REMAINDER OF CONCRETE SLAB ANY TIME AFTER GLU-LAM BEAMS, ROOF DECKING, AND PLYWOOD ROOF SHEATHING ARE SECURELY IN PLACE.
- FINISH TOP SURFACE OF CONCRETE SLAB WITH A LIGHT BROOM FINISH.
- AS SOON AS CONCRETE HAS CURED ENOUGH TO SUPPORT AN EARLY ENTRY SAW (4-6 HOURS AFTER PLACEMENT), CUT CONTROL JOINTS IN SLAB TOP SURFACE. DEPTH OF CONTROL JOINTS IS TO BE 1" DEEP.
- INSTALL MEMBRANE CURING ON CONCRETE SLAB.
- PLACE CONCRETE SLAB TO CURE A MINIMUM OF 7 DAYS BEFORE PROCEEDING WITH REMAINDER OF PAVILION WORK.
- ALL STEEL COLUMNS, SADDLES, BOLTS, AND BASE PLATES TO BE POWDER COATED TOUCH-UP FINISH PAINTING BY OTHERS.
- STAIN ALL EXPOSED WOOD.

SITE PREPARATION:

- REMOVE ALL ORGANIC MATERIAL AND TOPSOIL FROM PAVILION AREA. VERIFY SUITABILITY OF SUBGRADE. FOUNDATIONS ARE TO BE ON UNDISTURBED, NATURAL SOIL OR ENGINEERED FILL EXTENDING TO SUITABLE UNDISTURBED NATURAL SOILS
- PLACE FOOTINGS/CAISSONS IN FIRM UNDISTURBED NATURAL SUBGRADE (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- COMPACT SUBGRADE AND FILL UNDER CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557 (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- INSTALL AND COMPACT 6 INCH GRANULAR BASE BENEATH CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557.

UTILITIES:(BY OTHERS)

- INSTALL PLUMBING LINE FOR COLD WATER.
- INSTALL ELECTRICAL LIGHTS, BOXES, CONDUITS, AND SWITCHES.

SPECIFICATIONS:

SCOPE- ONE EACH 30 FOOT BY 60 FOOT PAVILION WITH MINIMUM 4 INCH THICK CONCRETE SLAB. PROVIDE SHINGLES, ROOFING FELTS, FASCIA, SHEATHING, ROOF FRAMING, BEAMS, SOFFIT, CONNECTION HARDWARE, COLUMNS, CONCRETE SLAB, CONCRETE CAISSONS AND FINISHES TO CONSTRUCT COMPLETE PAVILION.

PAVILION HAS BEEN DESIGNED AS A FREE STANDING, OPEN STRUCTURE. RE-ENGINEER PAVILION IF WALLS ARE ADDED, IF STRUCTURE IS TO ADJOIN ANOTHER STRUCTURE, OR IF OTHER SUCH MODIFICATIONS ARE MADE. PROPERLY BRACE WOOD BEAMS AND MEMBERS UNTIL COMPLETE STRUCTURAL SYSTEM HAS BEEN CONSTRUCTED.

CONCRETE:

- CONCRETE SLAB ON GRADE IS TO BE REINFORCED AND BE 4" MINIMUM THICK. INSTALL WITH CRACK CONTROL JOINTS AS SHOWN. SURFACE IS TO HAVE A BULL FLOAT FINISH AND BE LIGHTLY BROOMED.
- EDGE OF SLAB IS TO BE THICKENED TO 8" WIDE AND BE REINFORCED WITH (2) #4 CONTINUOUS BARS. LAP SPLICES 24"
- PROVIDE DEFORMED REINFORCING STEEL BARS CONFORMING TO ASTM A615 WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. SECURELY ANCHOR REINFORCING STEEL, AND PROVIDE CLEARANCES, IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- MINIMUM CONCRETE MIX DESIGN REQUIREMENTS:
 - COMPRESSIVE STRENGTH OF CONCRETE TO BE 4,500 PSI AT 28 DAYS.
 - MAX W/C: 0.45
 - 6% (+/-1.5%) AIR ENTRAINMENT.
 - CEMENT TYPE II/V
- DESIGNED FOR THE FOLLOWING EXPOSURE CATEGORIES AND CLASSES:
 - F2, S1 (PER ACI 318 TABLE 4.2.1)
 - LIMIT SLUMP TO 4" (+/-1")
- VERIFY STRENGTH REQUIREMENTS AND CEMENT TYPE REQUIREMENTS WITH THE GEOTECHNICAL EVALUATION REPORT.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- SLAB TO BE SEALED WITH WEATHERWORKER J-29A CONCRETE SEALER, BY DAYTON SUPERIOR CORPORATION. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- MEMBRANE CONCRETE CURING: USE CLEAR CURE J7wb BY DAYTON SUPERIOR CORPORATION. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.

STRUCTURAL STEEL:

- ALL STEEL PLATES TO BE ASTM A36
- STEEL TUBES TO BE ASTM A500, GRADE B, F_y = 46,000 PSI
- ALL WELDING IS TO BE DONE IN ACCORDANCE WITH LATEST AWS STANDARDS. IF WELDS ARE NOT SPECIFIED, ALL WELDS ARE TO DEVELOP THE FULL STRENGTH OF ALL COMPONENT PARTS.
- ALL BOLTS ARE TO BE ASTM A325 EXCEPT THAT ANCHOR BOLTS ARE TO BE ASTM F1554 GRADE 36.
- ALL EXPOSED BOLTS ARE TO BE PAINTED TO MATCH STRUCTURE.
- ALL HOLES IN STEEL TO BE 1/16" LARGER THAN THE DIAMETER OF THE CONNECTING BOLT UNLESS NOTED OTHERWISE.
- ALL FABRICATED STEEL IS TO BE PRIMED AND FINISH POWDER COATED.

WOOD:

- GLU-LAM BEAMS:
 - SOUTHERN YELLOW PINE
 - 24F-V3 STRESS COMBINATION
 - 2-INCH NOMINAL THICK LAMINATIONS
 - 5" MINIMUM WIDTHS
 - RESORCINOL ADHESIVE
 - DOUBLE PITCHED AND TAPERED
 - ARCHITECTURAL APPEARANCE GRADE
 - STAIN AND SEAL FINISH
 - ROOF PITCH IS TO BE 4 VERTICAL TO 12 HORIZONTAL (4:12)
 - MATERIALS, MANUFACTURE AND QUALITY CONTROL OF GLUE LAMINATED BEAMS SHALL BE IN CONFORMANCE WITH "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS - STRUCTURAL GLUED LAMINATED TIMBER" ANSI/AITC A190.1.
- MEMBERS SHALL BE MARKED WITH AN AITC OR APA/EWS QUALITY MARK AND, IN ADDITION, AN AITC OR APA/EWS CERTIFICATE OF CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/AITC A190.1.
- FACTORY SEAL BEAMS AND INDIVIDUALLY WRAP FOR PROTECTION IN TRANSIT, STORAGE, AND ERECTION.
- TEMPORARY STORAGE SHALL CONSIST OF LEVELED BLOCKS, WELL OFF GROUND, SEPARATION WITH WOOD STRIPS FOR AIR CIRCULATION AROUND EACH MEMBER, COVER TOP AND SIDES WITH MOISTURE RESISTANT PAPER.
- USE NON-MARRING SLINGS WHEN HANDLING, DRY-IN ROOF AS SOON AS ERECTED.
- PROTECTIVE WRAPPING SHALL REMAIN ON BEAMS UNTIL DECK HAS BEEN INSTALLED AND SHINGLES APPLIED.
- ROOF FRAMING
 - USE GALVANIZED NAILS.
 - 2x6 FASCIA: NO. 1 SOUTHERN YELLOW PINE, KILN DRIED, CHROMATED COPPER ARSENATE PRESSURE TREATED (0.4 PCF), SURFACED ON FOUR SIDES, AND STAINED. FASCIA IS TO BE FREE OF ANY GROOVES OR INCISIONS.
 - MITER ENDS OF FASCIA AT CORNERS
 - BUTT FASCIA ONLY AT BEAM ENDS
 - FASTEN FASCIA TO BEAM WITH NOT LESS THAN THREE 16d COMMON, GALVANIZED NAILS AT EACH BEAM JUNCTION AT EAVE AND TO OUTLOOKERS WITH TWO 16d COMMON, GALVANIZED NAILS AT EACH RAKE.
 - 2x8 ROOF DECK:
 - DOUGLAS FIR LARCH, SINGLE TONGUED AND GROOVED, SPECIFIED LENGTH, CENTER MATCHED, EDGE VEED TWO SIDES, KILN DRIED, AND STAINED - NO. 2 GRADE.
 - DECK FURNISHED IN SPECIFIED LENGTHS SO ALL JOINTS OCCUR OVER BEAMS - RANDOM LENGTH DECK IS UNACCEPTABLE. DECK SHALL BE INSTALLED WITH A 2 SPAN CONDITION, MINIMUM.
 - INSTALL IN ACCORDANCE WITH SUPPLIER'S SPECIFICATIONS USING 16d COMMON OR RING SHANK NAILS. MINIMUM. NAILING SHALL BE FACE NAILED USING (3) NAILS AT EACH BEARING POINT WITH A 4TH NAIL DIAGONALLY THROUGH THE TONGUE OF THE DECKING MEMBER. NAILS MUST PENETRATE 1-1/2 INCHES INTO SOLID WOOD.
 - INSTALL WITH TONGUES UP ON SLOPED ROOFS.
- ROOF SHEATHING:
 - 7/16" THICK PLYWOOD OR ORIENTED STRAND BOARD COMPLYING WITH STANDARD PS-1 OF THE AMERICAN PLYWOOD ASSOCIATION APA/ANSI A199.1. APPROPRIATE APA STAMP IDENTIFYING FOLLOWING REQUIREMENTS: 24/0 SPAN INDEX RATING, EXTERIOR EXPOSURE, 18 PERCENT MAXIMUM MOISTURE CONTENT WHEN FABRICATED.
 - INSTALL DIRECTLY OVER WOOD TONGUE AND GROOVE ROOF DECKING IN 4'x8' PANELS AT 45 DEGREES TO DECKING. STAGGER PANEL JOINTS APPROXIMATELY 4'-0" AND GAP JOINTS 1/4 INCH. STAPLE AROUND PERIMETER OF EACH PANEL WITH STAPLES AT 2" O.C. PER LINEAR FOOT. STAPLE WITHIN FIELD OF EACH PANEL WITH (2) ROWS OF STAPLES AT 8" O.C.
 - PROTECT SHEATHING WITH 30 POUND FELT IMMEDIATELY AFTER INSTALLATION

ROOF SYSTEM

- 50 YEAR ASPHALT SHINGLE by OWENS CORNING WITH A LIFETIME WARRANTY
- PROFILE NOMINAL SIZE: 13"x 39 3/8"
- EXPOSURE: 5 5/8"
- COLOR AS PER OWNER FROM MANUFACTURERS STANDARD COLOR SELECTION.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- PROVIDE EDGE AND TERMINATION DETAIL COMPONENTS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTY.

STAIN:

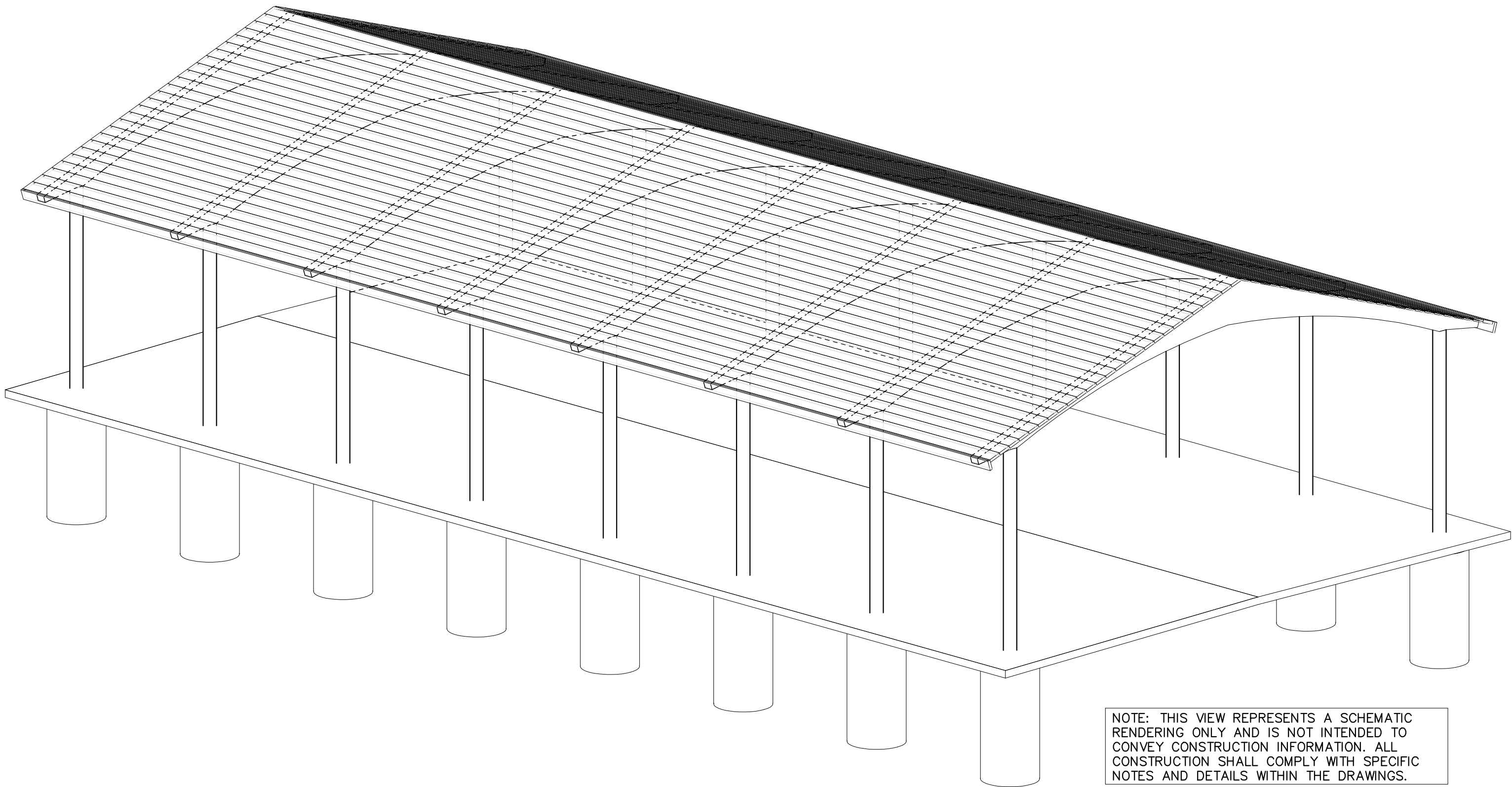
- BEAMS, DECK, AND FASCIA SHALL BE FACTORY STAINED WITH "OLYMPIC" SEMI-TRANSPARENT STAIN. BEAMS AND FASCIA TO BE STAINED NO. 708 WALNUT, DECK TO BE STAINED NO. 911 CAPE COD GRAY OR AS SELECTED BY OWNER.

ELASTOMERIC JOINT SEALANTS:

- PROVIDE SIKASIL-728 NS NON-SAG SILICONE SEALANT AT SAW CUT JOINTS AND COLD JOINTS.
- PROVIDE DOW CORNING 791 SILICONE WEATHERPROOFING SEALANT AT COLUMN/CONCRETE JOINT.
- CLEAN AND PREPARE SURFACES.
- USE PROPER PRIMER AND BACKING MATERIALS AS REQUIRED TO INSTALL SEALANTS.
- PROVIDE MASKING AND TEST STRIPS AS NEEDED.
- INSTALL ALL RELATED SEALANTS AND MATERIALS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

PLUMBING AND ELECTRICAL:(BY OTHERS)

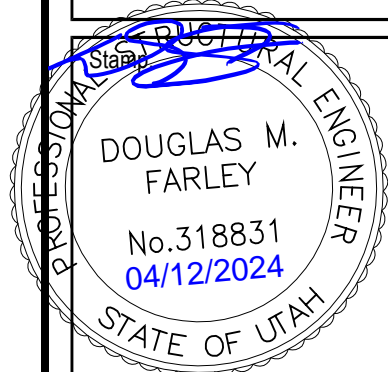
- COORDINATE PLUMBING AND ELECTRICAL REQUIREMENTS WITH ARCHITECTURAL AND CITE PLANS, BY OTHERS.



NOTE: THIS VIEW REPRESENTS A SCHEMATIC RENDERING ONLY AND IS NOT INTENDED TO CONVEY CONSTRUCTION INFORMATION. ALL CONSTRUCTION SHALL COMPLY WITH SPECIFIC NOTES AND DETAILS WITHIN THE DRAWINGS.

Supplier:

SMITH
STEELWORKS



30'x60' Glulam Pavilion
Kit 1 Option A
1340 West 800 South
Mapleton, Utah

Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Mark	Date (mm/dd/yyyy)	Description

Project Number:

Plan Series:

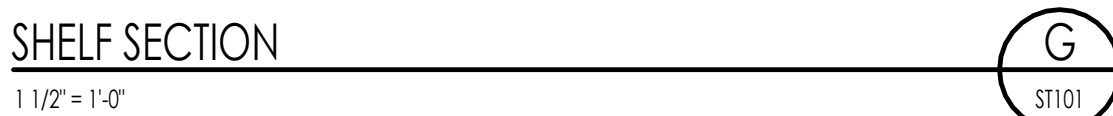
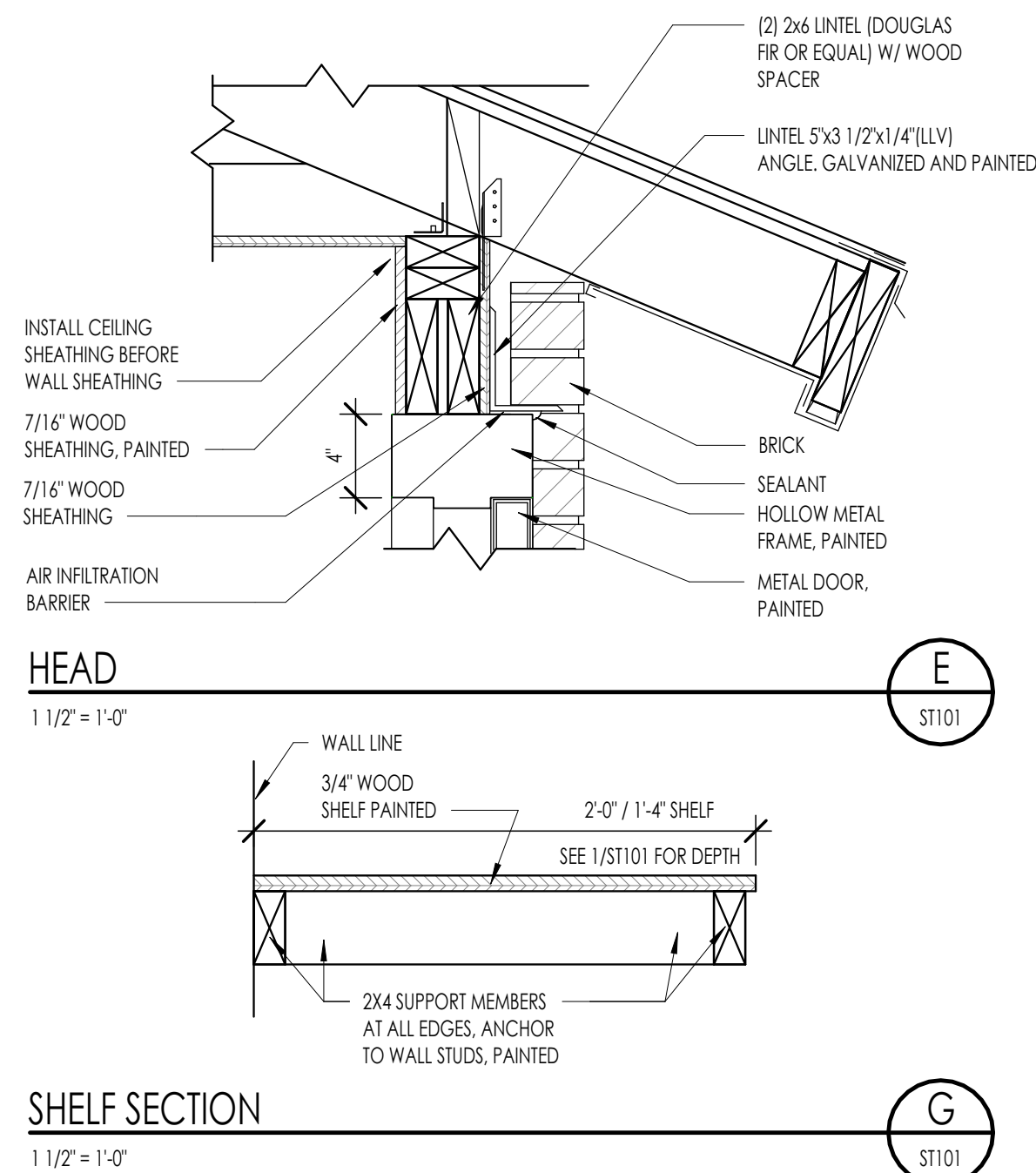
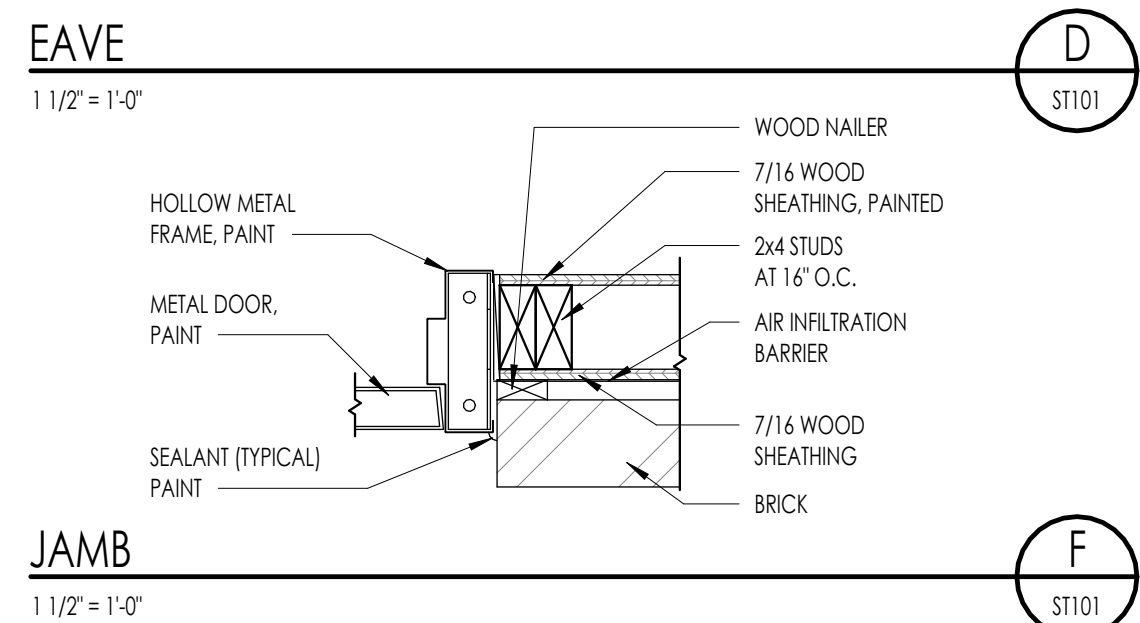
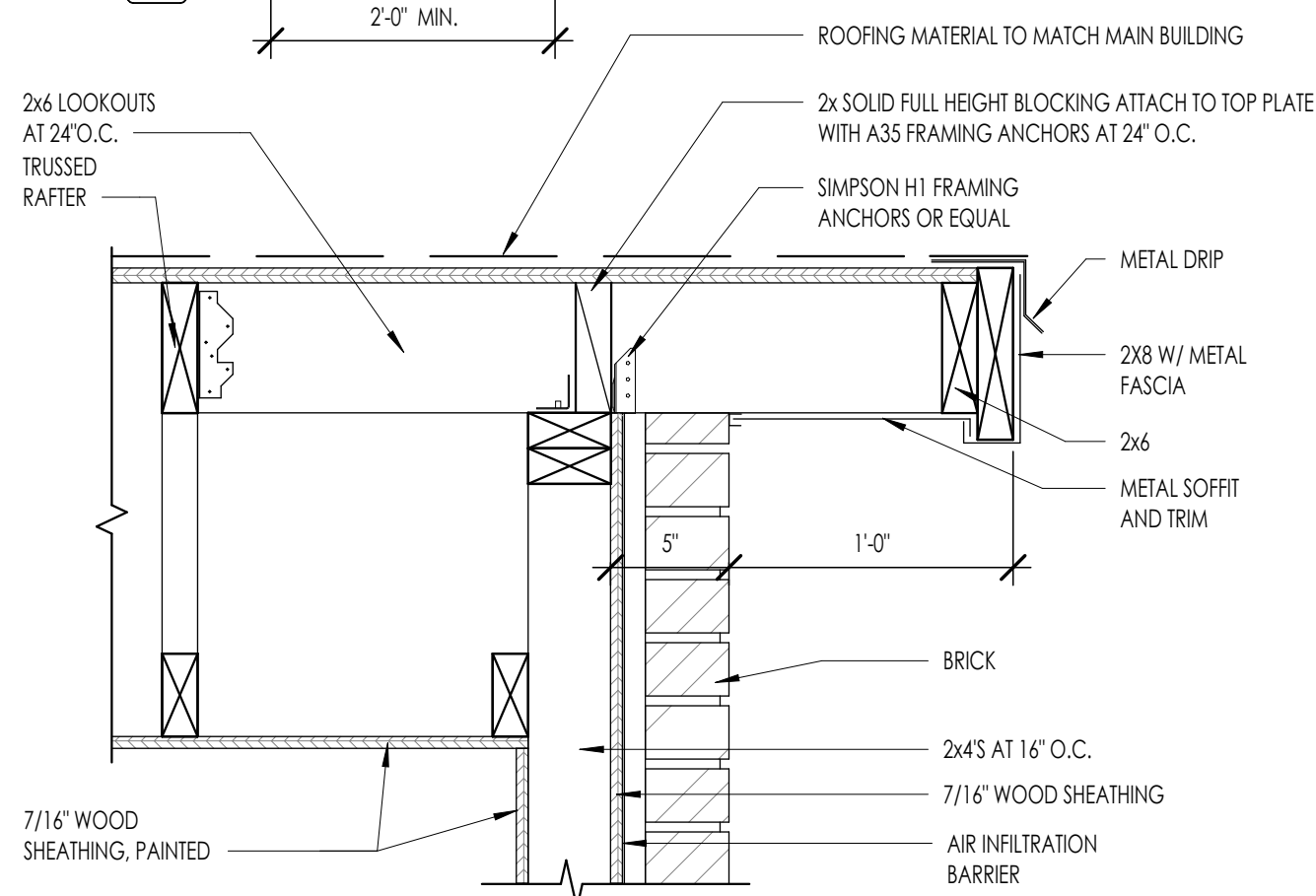
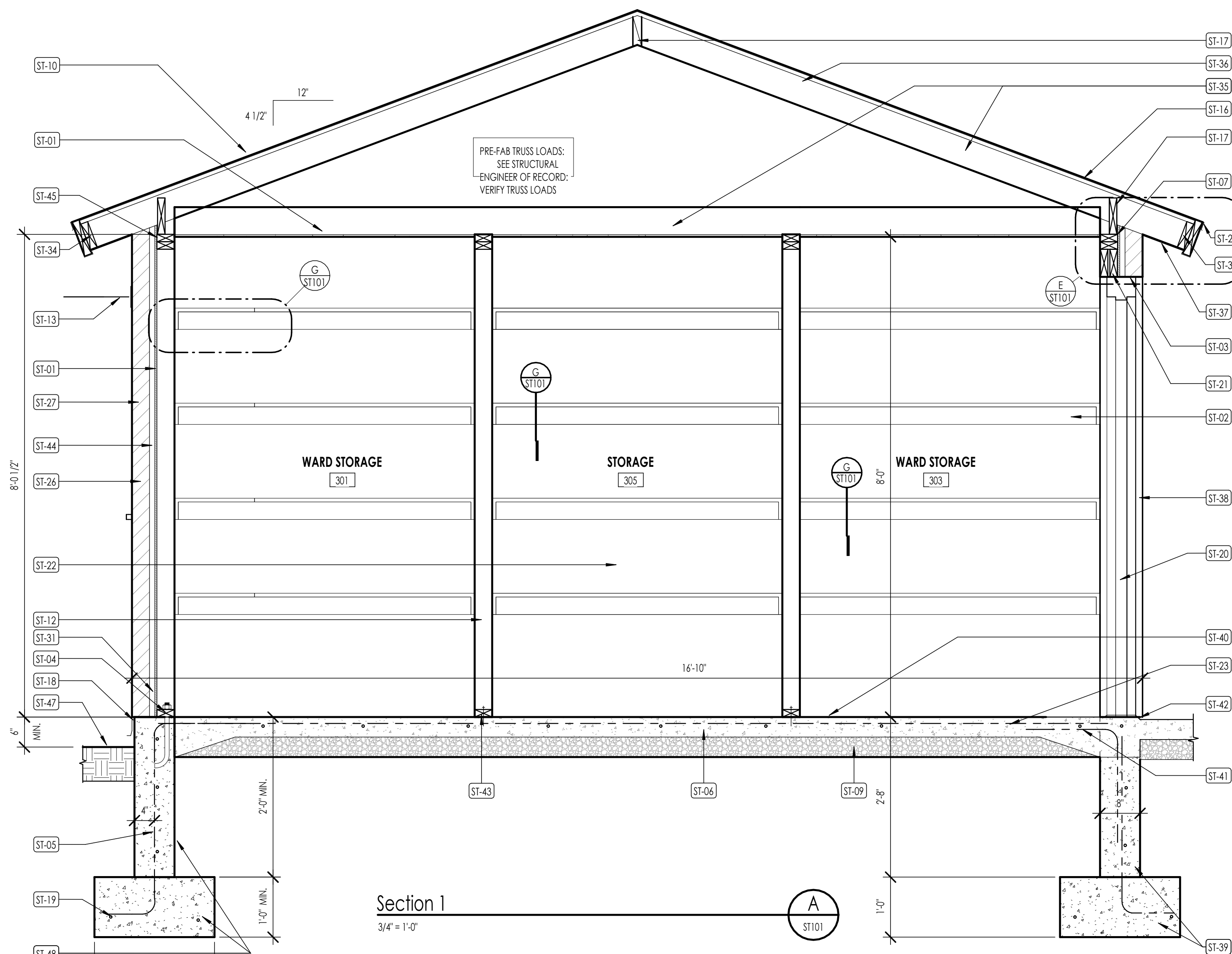
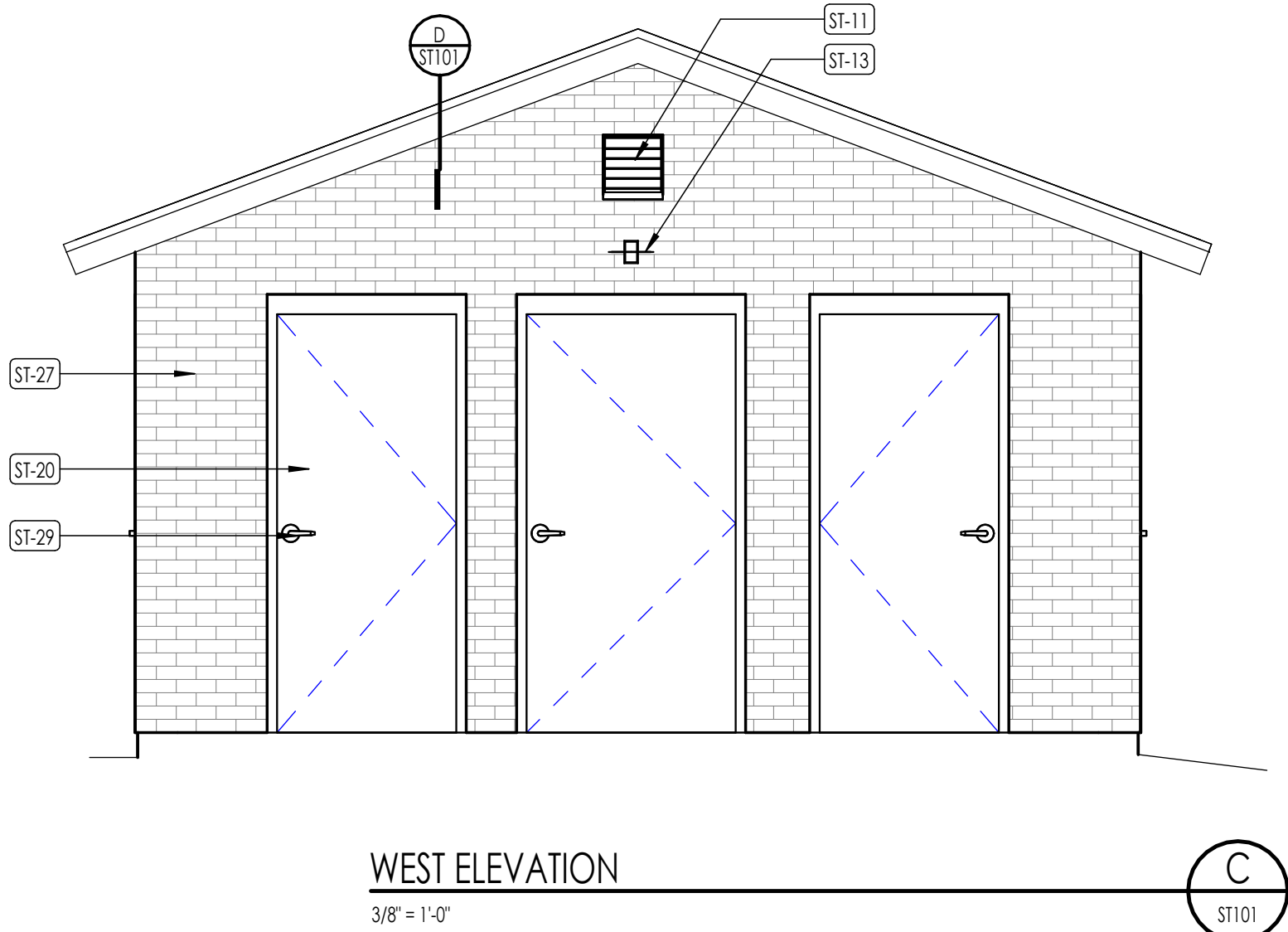
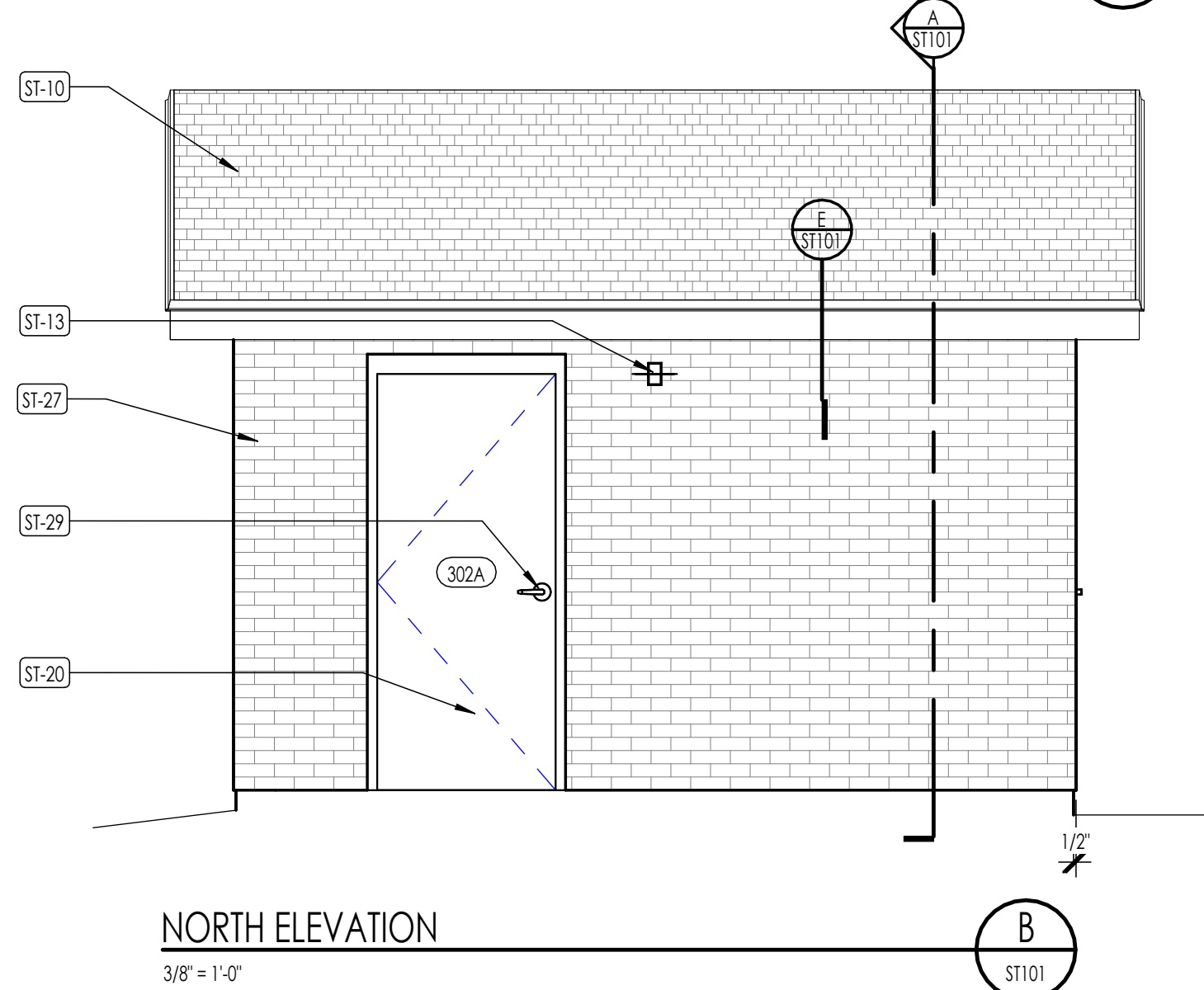
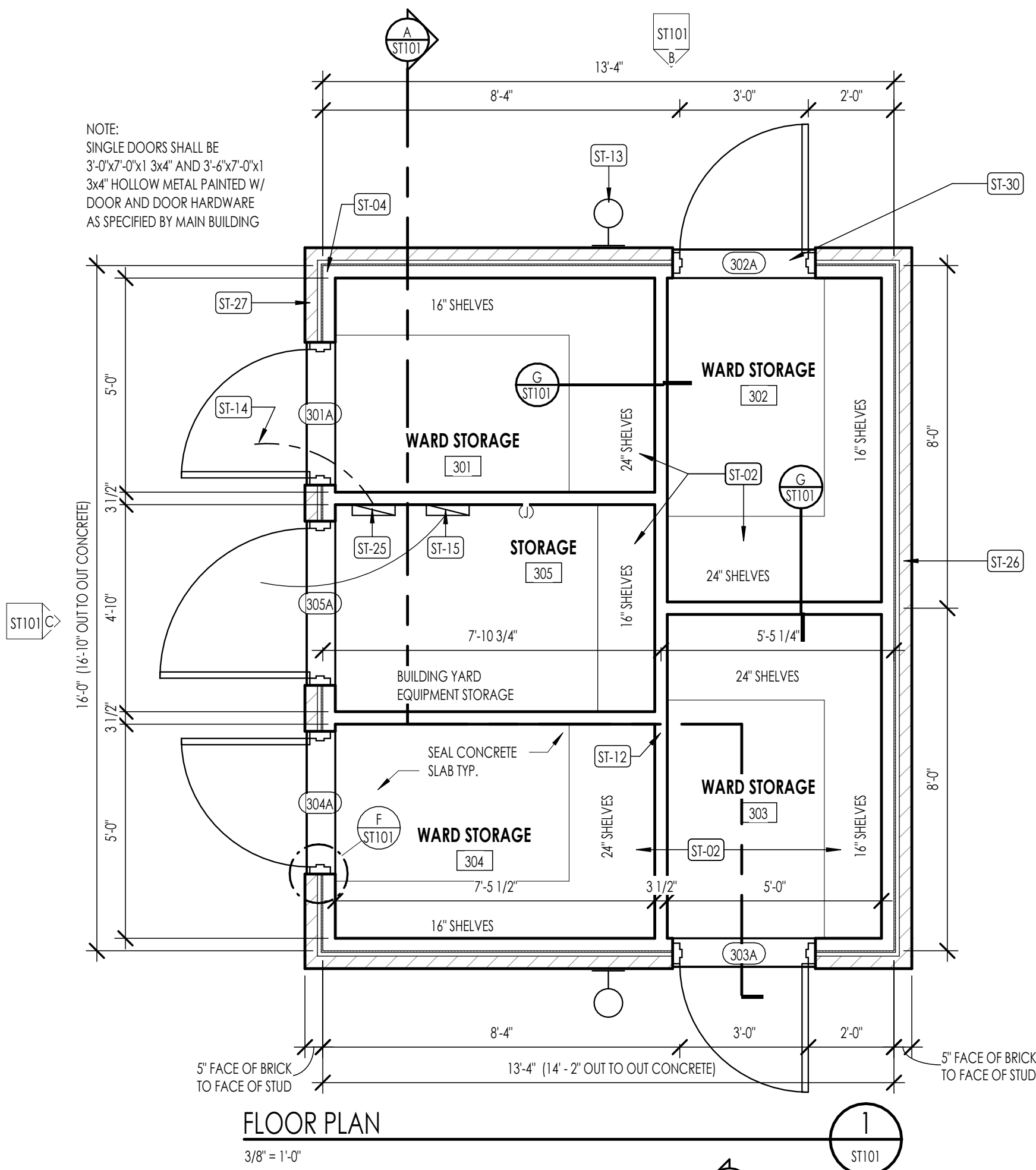
Property Number:

Sheet Title:

PLAN VIEWS

Sheet:

C811



DOOR SCHEDULE														
MARK	ROOM NUMBER	SINGLE/PAIR	TYPE	WIDTH	HEIGHT	THICKNESS	FRAME TYPE	DETAIL	DETAIL	DETAIL	FIRE RATING	HARDWARE GROUP	KEYING	REMARKS
301A	301	S	M	3'-0"	7'-0"	1 3/4"	4	E/ST101	F/ST101			1	AA8	BUILDING YARD EQUIPMENT STORAGE
302A	302	S	M	3'-0"	7'-0"	1 3/4"	4	E/ST101	F/ST101			1	AA9	WARD STORAGE
303A	303	S	M	3'-0"	7'-0"	1 3/4"	4	E/ST101	F/ST101			1	AA10	WARD STORAGE
304A	304	S	M	3'-0"	7'-0"	1 3/4"	4	E/ST101	F/ST101			1	AA11	WARD STORAGE
305A	305	S	M	3'-6"	7'-0"	1 3/4"	4	E/ST101	F/ST101			1	AA12	WARD STORAGE

FLOOR PLAN LEGEND

HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE
	WOOD STUD WALL
	ASPHALT ROOFING, SEE SPECIFICATIONS
	MASONRY VENEER, SEE SPECIFICATIONS

FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
- CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS
- REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
- REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.
- COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
- ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
- SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
- COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
- COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
- COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
- ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
- ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
- ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

FLOOR PLAN KEY NOTES

Specification Keynote	Instructional Keynote
Key Note Info	Key Note Info

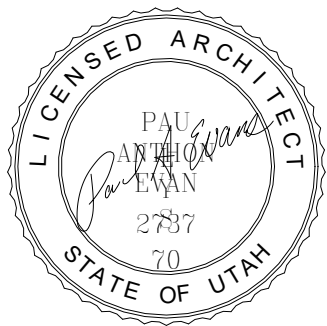
KEYNOTE INSTRUCTIONAL	
ST-01	7/16" WOOD SHEATHING W/ APA SPAN RATING OF 24/0 MINIMUM. NAIL W/ 8d NAILS AT 6" O.C. AT PANEL EDGES AND 8d NAILS AT 4" O.C. AT INTERMEDIATE SUPPORTS TYPICAL.
ST-02	FIXED SHELVING (4 SHELVES EQUAL SPACING)
ST-03	LINTEL 5"x3 1/2"x1/4" (LLV) ANGLE. GALVANIZED AND PAINTED
ST-04	2x4 SILL PLATE W/ 1/2" DIA. x 6" EMBEDMENT ANCHOR BOLTS AT 24" O.C. MAX. (MAXIMUM 12" FROM CORNER)
ST-05	#4 AT 16" O.C. EACH WAY HORIZ. AND VERTICAL. CONCRETE SHALL BE 4500 PSI STRENGTH AT 28 DAYS
ST-06	4" CONCRETE SLAB WITH #4 BARS AT 18" O.C. EACH WAY WITH 1" CLEAR TO TOP OF SLAB. CONCRETE SHALL BE 3000 PSI AT 28 DAYS
ST-07	SIMPSON H1 FRAMING ANCHORS OR EQUAL AT EACH TRUSS END TYPICAL
ST-09	4" THICK GRAVEL BASE COMPACTED TO 95% OF STANDARD PROCTOR
ST-10	ROOFING MATERIAL TO MATCH MAIN BUILDING
ST-11	METAL WALL LOUVER L5 W/ INSECT SCREEN (BOTH ENDS OF BUILDING)
ST-12	2x4 STUD WALLS AT 16" O.C. (TYP.)
ST-13	LOW-PROFILE LED LIGHT - ONE CENTERED ON 3 ELEVATIONS WITH DOORS
ST-14	INSTALL CONDUIT FOR SPRINKLING SYSTEM CONTROLS. COORDINATE WITH INSTALLER FOR LOCATION. REFER TO IRRIGATION PLANS FOR REQUIREMENTS.
ST-15	30 AMP-1P SERVICE RATED DISCONNECT.
ST-16	19/32" ROOF SHEATHING W/ APA SPAN RATING OF 40/20 MINIMUM. NAIL W/ 8d NAILS AT 6" O.C. AT PANEL EDGES, AND 8d NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS. NAIL SHEATHING TO BLOCKING W/ 8d NAILS AT 6" O.C.
ST-17	2x SOLID FULL HEIGHT BLOCKING. SHAPE TOP TO MATCH ROOF SLOPE. ATTACH TO TOP PLATE WITH A35 FRAMING ANCHORS AT 24" O.C.
ST-18	PRE-FINISHED METAL DRIP EDGE WITH HEMMED EDGE- PROVIDE WEEP VENTS AT 32" O.C. AT BASE OF MASONRY FINISH GRADE
ST-19	(2) #4 CONTINUOUS. CONCRETE SHALL BE 3000 PSI STRENGTH AT 28 DAYS
ST-20	METAL DOOR AND FRAME PAINTED
ST-21	(2) 2x6 HEADER (DOUGLAS FIR OR EQUAL) W/ WOOD SPACER
ST-22	PAINTED WALL AND CEILING SHEATHING
ST-23	CONCRETE FLOOR SLAB SEALED (TYP.)
ST-25	AUTOMATIC IRRIGATION CONTROLLER
ST-26	BRICK W/ METAL TIES AT 16" O.C. EA. WAY
ST-27	BRICK TO MATCH MAIN BUILDING
ST-28	METAL DRIP AND FASCIA
ST-29	DEAD BOLT AND LOCK SET. (TYP.)
ST-30	METAL THRESHOLD
ST-31	MORTAR GUARD IN WALL CAVITY
ST-34	2x6 CONTINUOUS
ST-35	2x6 MIN. TOP AND BOTTOM CHORDS
ST-36	TRUSSED RAFTERS AT 24" O.C. - SEE STRUCTURAL FOR TRUSS LOADING
ST-37	METAL SOFFIT AND TRIM
ST-38	BRICK BEYOND
ST-39	VERIFY FOOTING AND FOUNDATION CONFIGURATION AND DEPTH WITH SOILS REPORT
ST-40	CONCRETE FLOOR SLAB SEALED (TYP.)
ST-41	#4 DOWEL 12"/16" @ 18" O.C. AT ALL OPENINGS
ST-42	SLOPE CONCRETE SLAB AT DOOR AS SHOWN
ST-43	POWDER-ACTUATED FASTENERS AT 16" O.C.
ST-44	AIR INFILTRATION BARRIER
ST-45	(2) 2x4 TOP PLATE
ST-47	FINISH GRADE
ST-48	WHERE POSSIBLE, CHANGE THE STRIP FOOTING AND FOUNDATION WALL TO A DOWNTURNED SLAB IF IT WOULD RESULT IN FOUNDATION COST SAVINGS

CODE REVIEW

Allowable height, stories, and area (Table 504.3, 504.4, 506.2) - VB, Not Sprinklered			
Occupancy	Height (ft)	Story	Area (sf)
S-1	40	1	9,000
Actual height, stories and area			
Occupancy	Height (ft)	Story	Area (sf)
S-1	11'-9"	1	214
Table 1004.1.2 Maximum Floor Area Allowances Per Occupant			
Occupant Load: 214/300 = 0.71 = 1 occupant			
Building is unconditioned - no heating or cooling			

Revision Schedule

#	Description	Date
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Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A Storage Building For:

Mapleton 19 &
Mapleton UT West Stake

1340 West 800 South
Mapleton, Utah

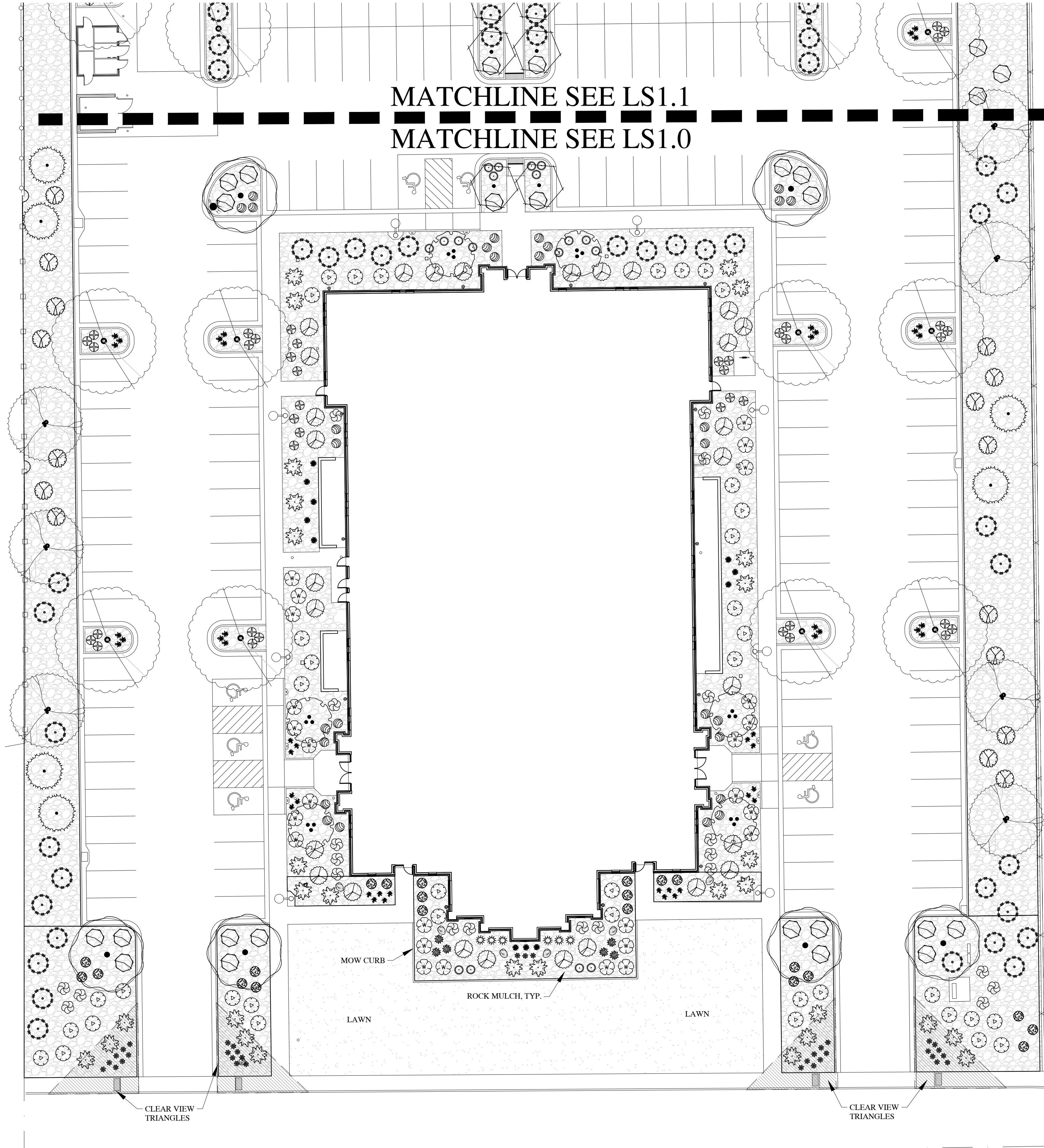
Project Number: 23-104

Property Number: 501-2699-23010101

April 4, 2025

Storage Building

ST101



DECIDUOUS TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	ACER TARTARICUM 'HOT WINGS' HOT WINGS TARTARIAN MAPLE*	6	2" CAL.
	ACER TRUNCATUM 'KEITHSFORM' NORWEGIAN SUNSET MAPLE*	8	2" CAL.
	CARPINUS CAROLINIANA 'RISING FIRE' RISING FIRE AMERICAN HORNBEEAM	16	2" CAL.
	GLEDITSIA TRIACANTHOS 'IMPERIAL' IMPERIAL HONEYLOCUST*	10	2" CAL.
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA*	23	2" CAL.
(*WATER WISE PLANT)			

EVERGREEN TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE*	3	6-7" TALL
	PINUS LEUCODERMIS 'HELDREICHII' BOSNIAN PINE*	13	6-7" TALL
(*WATER WISE PLANT)			

PERENNIAL LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	HEMEROCALLIS X 'ROSY RETURNS' ROSY RETURNS DAYLILY*	64	1 GAL.
	HEMEROCALLIS X 'BUTTERED POPCORN' BUTTERED POPCORN DAYLILY*	35	1 GAL.
(*WATER WISE PLANT)			

GRASS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS*	6	1 GAL.
	HELICOTRICHON SEMPERVIRENS 'SAPPHIRE' BLUE OAT GRASS*	24	1 GAL.
(*WATER WISE PLANT)			

DECIDUOUS SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	BUDDLEIA X 'BLUE KNIGHT' BLUE KNIGHT BUTTERFLY BUSH*	39	5 GAL.
	BUDDLEIA X 'PODARASH' FLUTTERBY PETITE BLUE HEAVEN BUTTERFLY BUSH*	56	5 GAL.
	HESPERALOE PARVIFLORA 'MSWNERMA' DESERT DUSK RED YUCCA*	6	5 GAL.
	HIBISCUS X 'ROSINA' POLLYPETITE ROSE OF SHARON	21	5 GAL.
	PHYSOCARPUS OPULIFOLIUS 'HOOGII016' LITTLE ANGEL NINEBARK*	11	5 GAL.
	PRUNUS BESSEYI 'PAWNEE BUTTES' PAWNEE BUTTES SAND CHERRY*	65	5 GAL.
	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC*	42	5 GAL.
	RIBES ALPINUM 'GREEN MOUND' GREEN MOUND CURRANT	28	5 GAL.
	RIBES AUREUM GOLDEN CURRANT*	28	5 GAL.
	ROSA X 'MEICOU'BLAN' WHITE MEIDLAND SHRUB ROSE	26	5 GAL.
	SYMPHORICARPOS X CHENAULTII 'HANCOCK' HANCOCK CORALBERRY*	81	5 GAL.
(*WATER WISE PLANT)			

EVERGREEN SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	JUNIPERUS SABINA 'SCANDIA' SCANDIA JUNIPER*	39	1 GAL.
	PINUS MUGO 'PUMILIO' MUGO PINE*	22	1 GAL.
(*WATER WISE PLANT)			

LANDSCAPE DATA

TOTAL SITE AREA	221,409 SQ.FT.	5.08 ACRES
TOTAL LANDSCAPE AREA	79,409 SQ.FT.	36%
MULCH/PLANTER AREA	62,859 SQ.FT.	79%
LAWN AREA	16,550 SQ.FT.	21%
TREES ON SITE	79	TOTAL REQ'D = NA DECIDUOUS REQ'D = NA EVERGREEN REQ'D = NA SHRUBS REQ'D = NA DROUGHT TOLERANT REQ'D = NA DROUGHT TOLERANT PROVIDED = 578 (86%)
ADDITIONAL INFO		
NA		

DESIGN CRITERIA

ECO-REGION	10.1 NORTHERN COLD DESERT
CLIMATE	U.S. HARDINESS ZONE 5
ZONING ORDINANCE	MAPLETON CITY
WATER AVAILABILITY	PRESSURIZED IRRIGATION
SOIL TYPE	NA
SLOPES	SEE GRADING PLAN
WIND	SOUTH PREVAILING
SETBACKS/EASEMENTS	NA
MICROCLIMATES	NA
SOIL PH	7.8
LAWN AREA	21% OF TOTAL LANDSCAPE (16,550 SQ. FT.)*
UNDEVELOPED	NA
PROPERTY IRRIGATION SYSTEM	AUTOMATED SYSTEM WITH SMART CONTROLLER

PLANT COVERAGE TABLE

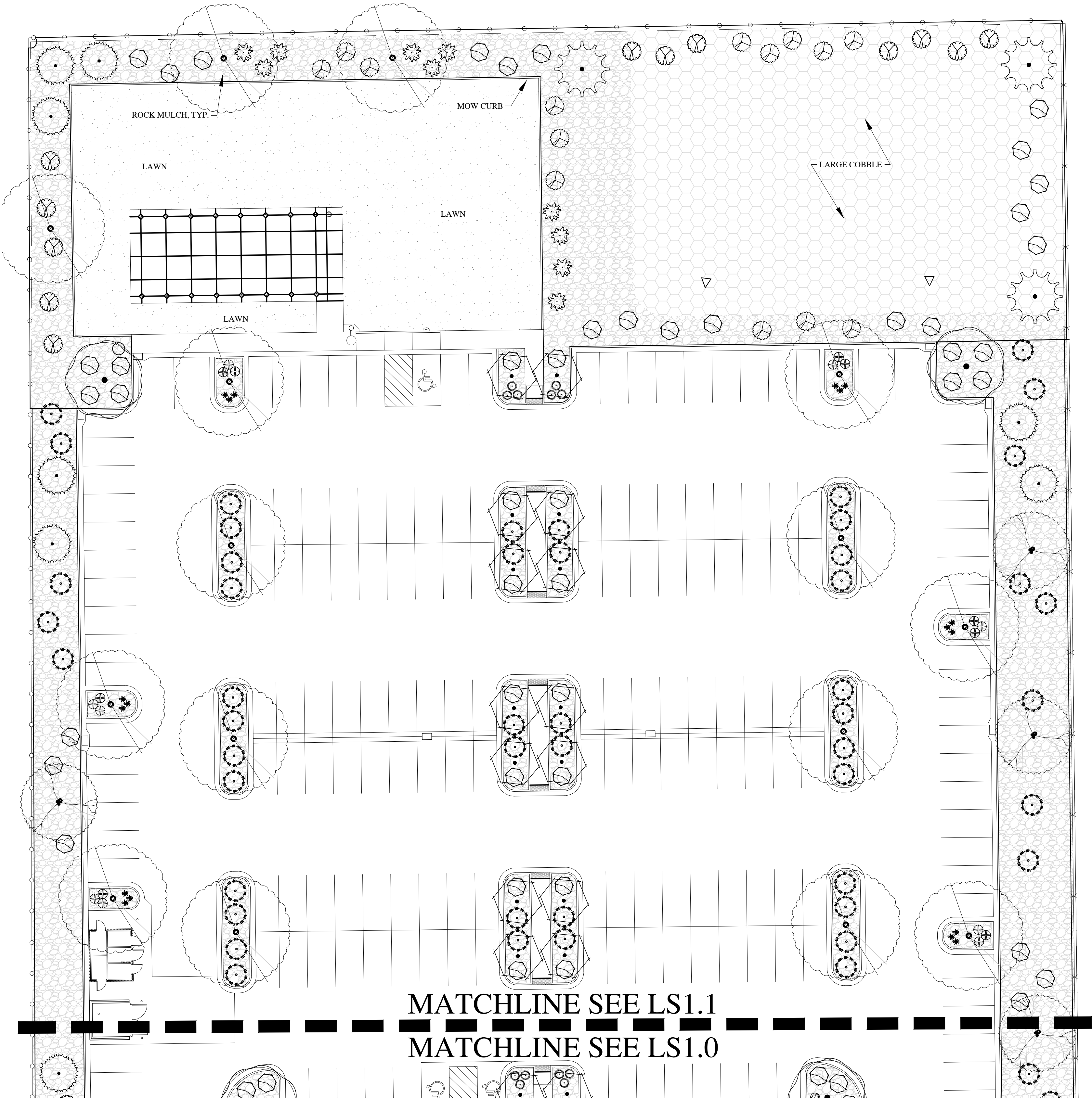
	SHRUB MATURE COVERAGE	ACTUAL % COVERAGE	TREE COVERAGE INTENT	TREE COUNT
STREET FRONTAGE	25-50%	34%	FRAME BUILDING	4
PRIMARY ENTRIES	30-50%	42%	FRAME ENTRY	4
BUILDING PERIMETER	25-45%	30%	ACCENT BUILDING	6
PERIMETER SIDES	5-15%	11%	SCREEN LOT	20
PERIMETER REAR	5-15%	9%	SCREEN LOT	9

LANDSCAPE NOTES:

- STOCK-PILED, SCREENED TOP SOIL TO BE IMPLEMENTED IN ALL NEW PLANTING AREAS AT THE FOLLOWING DEPTHS: 12" IN ALL SHRUB BEDS, 5" IN ALL LAWN AREAS.
- LAWN TO BE A DESERT SAGE BLUEGRASS BLEND (MIN. 3 VARIETIES) FROM CHANSHARE SOD AND BE IMPLEMENTED AS SOD.
- 6"x6" FLAT CONCRETE CURBING TO BE IMPLEMENTED BETWEEN ALL SHRUB BED AND LAWN AREAS AS SHOWN ON PLAN.
- CRUSHED ROCK MULCH TO BE 3/4"-1" SIZE 'SOUTHTOWN' CRUSHED ROCK FROM UTAH LANDSCAPE ROCK IN NEPHI, UTAH. IMPLEMENT IN AREA SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.
- COBBLE ROCK MULCH TO BE 2"-5" SIZE 'OAK CREEK PLUM' COBBLE FROM UTAH LANDSCAPE ROCK IN NEPHI, UTAH. IMPLEMENT IN AREA SHOWN AT AN 8" DEPTH OVER WEED BARRIER FABRIC.
- ROCK MULCH TO BE CLEAN AND FREE OF DIRT AND DEBRIS, PLACED AT A UNIFORM DEPTH, AND RAKED SMOOTH.
- DEWITT 4.1 OZ. LANDSCAPE FABRIC TO BE IMPLEMENTED IN ALL SHRUB BEDS AND BENEATH ROCK MULCH PRIOR TO MULCH INSTALLATION. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- DECORATIVE BOULDERS TO BE 'SOUTHTOWN' BOULDERS, 3'-3.5' IN SIZE, FROM UTAH LANDSCAPE ROCK. INSTALL AS PER DETAILS.
- NO LANDSCAPING OR OTHER OBSTRUCTION IN EXCESS OF 3' ABOVE FINISHED GRADE SHALL BE IMPLEMENTED IN CLEAR VIEW TRIANGLES.
- MATERIAL QUANTITIES AND COUNTS ON LEGENDS AND NOTES ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR RESPONSIBLE TO VERIFY ALL COUNTS AND QUANTITIES ON PLANS.

GROUNDCOVERS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	3/4\" TO 1\" SOUTHTOWN CRUSHED ROCK	@ 3\" DEPTH	PER PLAN
	2\" TO 5\" OAK CREEK PLUM COBBLE	@ 8\" DEPTH	PER PLAN
	DESERT SAGE BLUEGRASS BLEND FROM CHANSHARE SOD	SOD ROLLS	PER PLAN
	DECORATIVE BOULDERS	PER PLAN	3'-3.5\" SIZE



DECIDUOUS TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	ACER TARTARICUM 'HOT WINGS' HOT WINGS TARTARIAN MAPLE*	6	2" CAL.
	ACER TRUNCATUM 'KEITHSFORM' NORWEGIAN SUNSET MAPLE*	8	2" CAL.
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(*WATER WISE PLANT)			

EVERGREEN TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE*	3	6-7 TALL
	PINUS LEUCODERMIS 'HELDREICHII' BOSNIAN PINE*	13	6-7 TALL
(*WATER WISE PLANT)			

PERENNIAL LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	HEMEROCALLIS X 'ROSY RETURNS' ROSY RETURNS DAYLILY*	64	1 GAL.
	HEMEROCALLIS X 'BUTTERED POPCORN' BUTTERED POPCORN DAYLILY*	35	1 GAL.
(*WATER WISE PLANT)			

GRASS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS*	6	1 GAL.
	HELICOTRICHON SEMPERVIRENS 'SAPPHIRE' BLUE OAT GRASS*	24	1 GAL.
(*WATER WISE PLANT)			

DECIDUOUS SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	BUDDLEIA X 'BLUE KNIGHT' BLUE KNIGHT BUTTERFLY BUSH*	39	5 GAL.
	BUDDLEIA X 'PODARASH' FLUTTERBY PETITE BLUE HEAVEN BUTTERFLY BUSH*	56	5 GAL.
	HESPERALOE PARVIFLORA 'MSWNERMA' DESERT DUSK RED YUCCA*	6	5 GAL.
	HIBISCUS X 'ROSINA' POLLYPETITE ROSE OF SHARON	21	5 GAL.
	PHYSOCARPUS OPULIFOLIUS 'HOOGII016' LITTLE ANGEL NINEBARK*	11	5 GAL.
	PRUNUS BESSEYI 'PAWNEE BUTTES' PAWNEE BUTTES SAND CHERRY*	65	5 GAL.
	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC*	42	5 GAL.
	RIBES ALPINUM 'GREEN MOUND' GREEN MOUND CURRANT	28	5 GAL.
	RIBES AUREUM GOLDEN CURRANT*	28	5 GAL.
	ROSA X 'MEICOU'BLAN' WHITE MEIDLAND SHIRUB ROSE	26	5 GAL.
	SYMPHORICARPOS X CHENAULTII 'HANCOCK' HANCOCK CORALBERRY*	81	5 GAL.
(*WATER WISE PLANT)			

EVERGREEN SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	JUNIPERUS SABINA 'SCANDIA' SCANDIA JUNIPER*	39	1 GAL.
	PINUS MUGO 'PUMILIO' MUGO PINE*	22	1 GAL.
(*WATER WISE PLANT)			

LANDSCAPE DATA

TOTAL SITE AREA	221,409 SQ.FT.	5.08 ACRES
TOTAL LANDSCAPE AREA	79,409 SQ.FT.	36%
MULCH/PLANTER AREA	62,859 SQ.FT.	79%
LAWN AREA	16,550 SQ.FT.	21%
TREES ON SITE	79	TOTAL REQ'D = NA PROVIDED = 79
		DECIDUOUS REQ'D = NA PROVIDED = 63
		EVERGREEN REQ'D = NA PROVIDED = 16
		SHRUBS REQ'D = NA PROVIDED = 669
		DROUGHT TOLERANT REQ'D = NA DROUGHT TOLERANT PROVIDED = 578 (86%)
ADDITIONAL INFO	NA	

DESIGN CRITERIA

ECO-REGION	10.1 NORTHERN COLD DESERT
CLIMATE	U.S. HARDINESS ZONE 5
ZONING ORDINANCE	MAPLETON CITY
WATER AVAILABILITY	PRESSURIZED IRRIGATION
SOIL TYPE	NA
SLOPES	SEE GRADING PLAN
WIND	SOUTH PREVAILING
SETBACKS/EASEMENTS	NA
MICROCLIMATES	NA
SOIL PH	7.8
LAWN AREA	21% OF TOTAL LANDSCAPE (16,550 SQ. FT.)*
UNDEVELOPED	NA
PROPERTY IRRIGATION SYSTEM	AUTOMATED SYSTEM WITH SMART CONTROLLER

PLANT COVERAGE TABLE

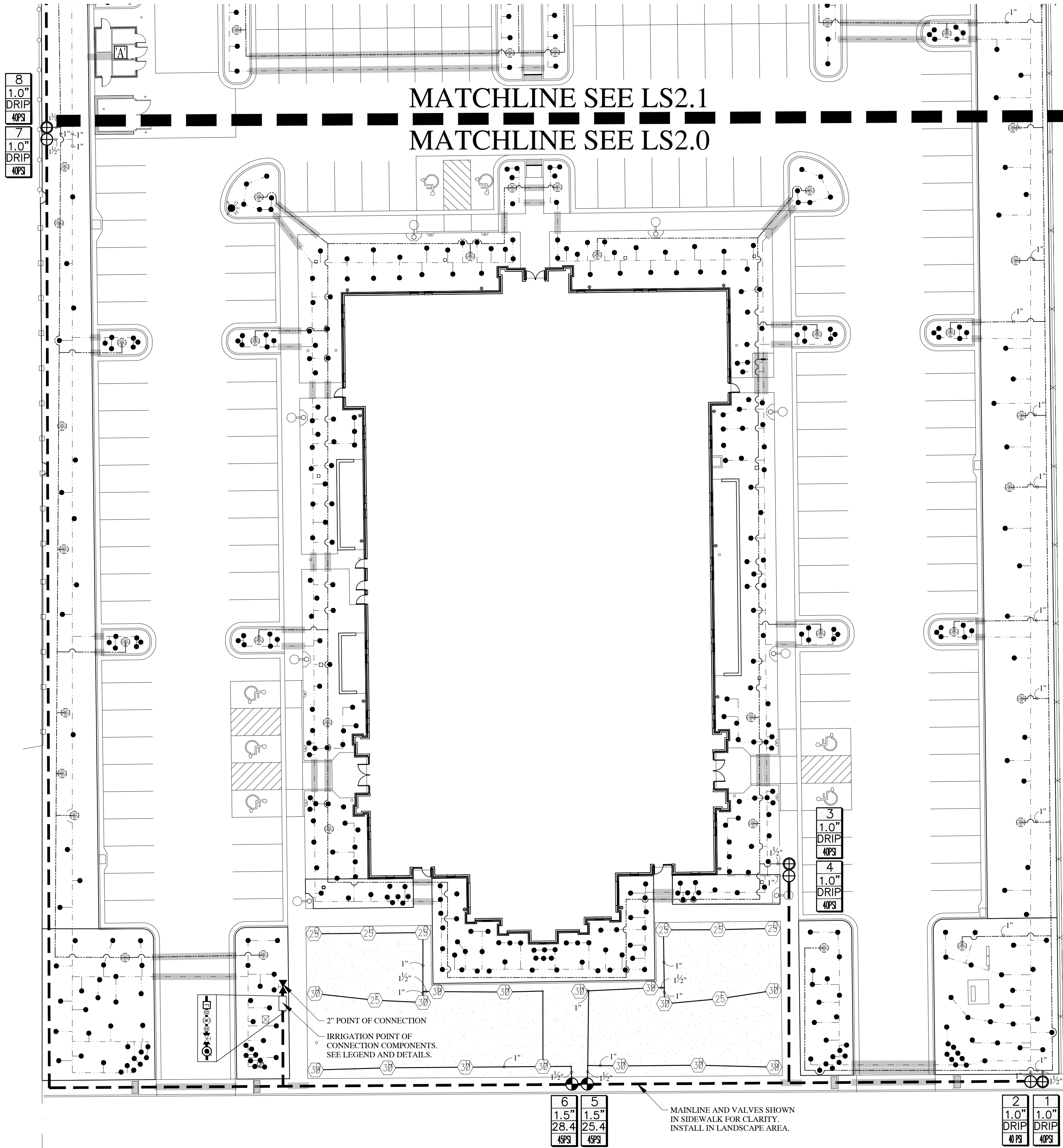
	SHRUB MATURE COVERAGE	ACTUAL % COVERAGE	TREE COVERAGE INTENT	TREE COUNT
STREET FRONTAGE	25-50%	34%	FRAME BUILDING	4
PRIMARY ENTRIES	30-50%	42%	FRAME ENTRY	4
BUILDING PERIMETER	25-45%	30%	ACCENT BUILDING	6
PERIMETER SIDES	5-15%	11%	SCREEN LOT	20
PERIMETER REAR	5-15%	9%	SCREEN LOT	9

LANDSCAPE NOTES:

- STOCK-PILED, SCREENED TOP SOIL TO BE IMPLEMENTED IN ALL NEW PLANTING AREAS AT THE FOLLOWING DEPTHS: 12" IN ALL SHRUB BEDS, 5" IN ALL LAWN AREAS.
- LAWN TO BE A DESERT SAGE BLUEGRASS BLEND (MIN. 3 VARIETIES) FROM CHANSHARE SOD AND BE IMPLEMENTED AS SOD.
- 6"x6" FLAT CONCRETE CURBING TO BE IMPLEMENTED BETWEEN ALL SHRUB BED AND LAWN AREAS AS SHOWN ON PLAN.
- CRUSHED ROCK MULCH TO BE 3/4"-1" SIZE 'SOUTHTOWN' CRUSHED ROCK FROM UTAH LANDSCAPE ROCK IN NEPHI, UTAH. IMPLEMENT IN AREA SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.
- COBBLE ROCK MULCH TO BE 2"-5" SIZE 'OAK CREEK PLUM' COBBLE FROM UTAH LANDSCAPE ROCK IN NEPHI, UTAH. IMPLEMENT IN AREA SHOWN AT AN 8" DEPTH OVER WEED BARRIER FABRIC.
- ROCK MULCH TO BE CLEAN AND FREE OF DIRT AND DEBRIS, PLACED AT A UNIFORM DEPTH, AND RAKED SMOOTH.
- DEWITT 4.1 OZ. LANDSCAPE FABRIC TO BE IMPLEMENTED IN ALL SHRUB BEDS AND BENEATH ROCK MULCH PRIOR TO MULCH INSTALLATION. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- DECORATIVE BOULDERS TO BE 'SOUTHTOWN' BOULDERS, 3'-3.5' IN SIZE, FROM UTAH LANDSCAPE ROCK. INSTALL AS PER DETAILS.
- NO LANDSCAPING OR OTHER OBSTRUCTION IN EXCESS OF 3' ABOVE FINISHED GRADE SHALL BE IMPLEMENTED IN CLEAR VIEW TRIANGLES.
- MATERIAL QUANTITIES AND COUNTS ON LEGENDS AND NOTES ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR RESPONSIBLE TO VERIFY ALL COUNTS AND QUANTITIES ON PLANS.

GROUNDCOVERS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	3/4" TO 1" SOUTHTOWN CRUSHED ROCK	@ 3" DEPTH	PER PLAN
	2" TO 5" OAK CREEK PLUM COBBLE	@ 8" DEPTH	PER PLAN
	DESERT SAGE BLUEGRASS BLEND FROM CHIANHSUEH SOD	SOD ROLLS	PER PLAN
	DECORATIVE BOULDERS	PER PLAN	3'-3.5' SIZE



IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM							DRIP GPH	DETAILS	REMARKS
					Q	T	H	TT	TQ	F				
●	RAINBIRD XB-PC	FULL	--	40	--	--	--	--	--	--	--	2.0	16, 17	SEE LEGEND BELOW FOR ADDITIONAL INFORMATION.
●	DIPLINE: NETAHIM TLCV-09-12	FULL	--	40	--	--	--	--	--	--	--	.9/12"	13, 14, 15	ADJUST NOZZLES AS NEEDED TO KEEP WATER OFF SIDEWALK, ASPHALT AND BUILDING.
●	RAIN BIRD RD-1806-SAM-PRS-12 SERIES POP-UP	Q.H	12"	30	.65	--	1.30	--	--	--	--	--	19, 20	
●	RAIN BIRD RD-1806-PRS POP-UP ROTARY 24	ADJ.Q.H.F	17" - 24"	45	.84	--	1.68	--	--	--	--	3.48	19, 20	
●	RAIN BIRD 5006-MPR-25 SERIES ROTOR	Q.H.F	25"	45	1.00	--	1.98	--	--	--	--	3.82	22	
●	RAIN BIRD 5006-MPR-30 SERIES ROTOR	Q.H	30"	45	1.40	--	2.96	--	--	--	--	--	22	
●	RAIN BIRD 5006-MPR-35 SERIES ROTOR	Q.T.H.F	35"	45	1.92	2.46	3.81	--	--	7.58	--	--	22	
A	CONTROLLER: WEATHERTRAK ET PRO3 (WTPRO3-C-12-CWM)												8, 11, 12	COORDINATE LOCATION WITH OWNER
●	1" RAINBIRD QUICK COUPLER VALVE, MODEL 44-LRC												3	IN 10" RND. VALVE BOX
●	2" AMIAD MINI-SIGMA AUTO FLUSH FILTER												9, 21	IN GUARDSHACK ENCLOSURE
●	REMOTE CONTROL VALVE: RAINBIRD PEB-PRS-D AUTOMATIC CONTROL VALVE; SIZE PER PLAN												4, 6	JUMBO VALVE BOX
●	DRIP CONTROL ZONE KIT: RAINBIRD KCZ-100-PRB-COM PER PLANS												6, 18	JUMBO VALVE BOX
●	DRIP CONTROL ZONE KIT: RAINBIRD KCZ-100-PRB-COM PER PLANS (FOR TREES)												6, 18	JUMBO VALVE BOX
●	2" PRESSURIZED IRRIGATION STUB TO BE INSTALLED BY GENERAL CONTRACTOR.												7	BY GENERAL CONTRACTOR
●	2" HYDROMETER: NETAHIM LHMTG1-MEL (WITH PE-393 FLOW SENSOR CABLE)												10	REFERENCE DETAILS
●	DRAIN VALVE: GRACO WELD TOP												5, 7	REFERENCE DETAILS
●	ISOLATION VALVE												7	REFERENCE DETAILS
---	MAINLINE: 2" SCH 40 PVC OR OTHERWISE NOTED.												1, 2	REFERENCE DETAILS
---	LATERAL LINE FOR ROTORS AND/OR SPRAYS: SCHEDULE 40 PVC												1, 2	REFERENCE DETAILS
---	TREE DRIP LATERAL LINE (SIZE AS REQUIRED)												1, 2	REFERENCE DETAILS
---	SHRUB DRIP LATERAL LINE (SIZE AS REQUIRED)												1, 2	REFERENCE DETAILS
---	SCH 40 PVC SLEEVE (SIZE TO MIN. 2X DIA. OF PIPE WITHIN THE SLEEVE). ADD ADDITIONAL SLEEVES AS REQ.												1, 2	REFERENCE DETAILS
---	WIRE CHASE. SIZE TO BE TWICE THE DIA. OF THE WIRE BUNDLE WITHIN DOWN TO 1" DIA. MIN.												8, 11	REFERENCE DETAILS
---	14 GAUGE SOLID COPPER SINGLE STRAND WIRE.													REFERENCE DETAILS
---	FLO-WELL DRY WELL SYSTEM - MODEL NO. FWAS24 - NDSPRO.COM												23	REFERENCE DETAILS

DRIP EMITTER LEGEND

PLANT TYPE	EMITTER QTY	EMITTER TYPE
PERENNIALS/GRASSES	1	XB-20 (2GPH)
ALL SHRUBS	1	XB-20 (2GPH)
TREES IN PLANTERS	1	XB-10 (1GPH)

NOTE:
1. EMITTERS LISTED ARE AVAILABLE FROM RAINBIRD.
INSTALL NETAHIM TLCV IN ADDITION TO XB-10 EMITTERS PER DETAILS ON SHEET LS4.0.

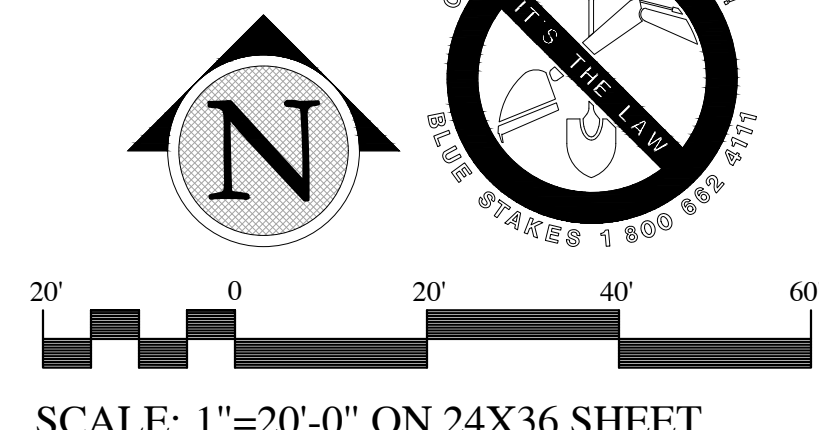
VALVE ID TAG

ID	CONTROLLER
SIZE	NUMBER, VALVE
GPM	NUMBER
PSI	VALVE SIZE
	GALLONS PER MINUTE
	PSI AT LAST HEAD IN ZONE

IRRIGATION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
- PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
- CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
- CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE FOR ALL LAWN AREAS. VAN AND/OR U-SERIES NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDED HEAD TO HEAD COVERAGE AND/OR TO MINIMIZE OVER SPRAY ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- MAIN LINE SHALL BE 2" SCH. 40 PVC (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 1" SCH. 40 PVC UNLESS NOTED ON PLAN. PVC PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1" PIPE MAX., 1-1/2" PIPE MAX. 30GPM (DO NOT USE 3/4" PIPE OR 1-1/4" PIPE ON THIS PROJECT). ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING BOULDERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
- PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES, SHRUBS AND BOULDERS PER PLANTING PLAN. DO NOT LOCATE VALVE BOXES IN LAWN AREAS IF POSSIBLE.
- AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
- ALL SPRINKLERS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
- INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS. VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
- DRIP LINES SHALL BE RAINBIRD XBS OR XT-700 TUBING DRIP PIPE. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" DRIP PIPING. FOR DRIP AREAS REQUIRING 4-8GPM USE 3/4" DRIP PIPING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPEC.
- IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE FILTER PER MANUFACTURER SPECS. INSTALL THE FILTER AND PRESSURE REDUCER IN A LOCKING STRONGBOX ENCLOSURE POWER COATED RAL 1019 WOODLANDS TAN. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
- INSTALL THE PRS-D OPTION FOR SPRAY VALVES IF THE STATIC PRESSURE AT SPRAY HEADS EXCEEDS 70 PSI.

In Site
DESIGN GROUP
Landscape Architecture Land Planning
17 North 470 West American Fork, Utah 84003
801.756.5043 www.insitedesigngroup.com



A New Meetinghouse for:
**Mapleton 19 &
Mapleton UT West Stake**

Project for:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Revisions	Description
Mark	Date

Project Number 23-104
Plan Series Heritage 23-2
Property Number 501-2699-23010101
Date November 6, 2023

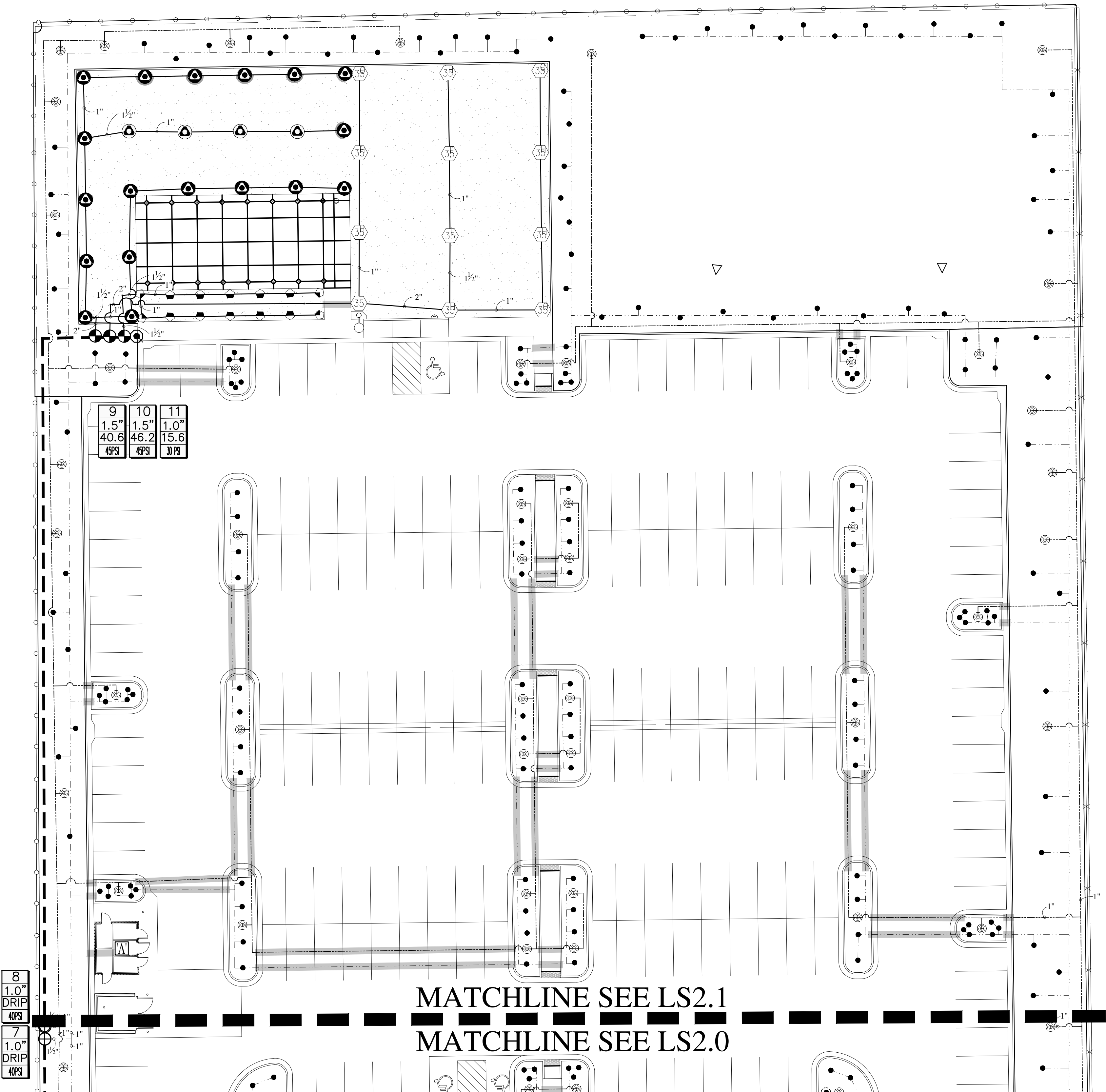
Sheet Title

**IRRIGATION
PLAN**

Sheet
LS2.0

evans + associates architecture
1576 south state street, suite 103b, droser, utah 84020
phone 801-553-8272 fax 801-553-8273





8
1.0" DRIP
40PS

7
1.0" DRIP
40PS

9	10	11
1.5"	1.5"	1.0"
40.6	46.2	15.6
49PS	49PS	30PS

MATCHLINE SEE LS2.1

MATCHLINE SEE LS2.0

IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM							DRIPL GPH	DETAILS	REMARKS
					Q	T	H	TT	TQ	F				
●	RAINBIRD XB-PC	FULL	--	40	--	--	--	--	--	--	--	2.0	16, 17	SEE LEGEND BELOW FOR
○	DRIPLINE: NETAHIM TLCV-09-12	FULL	--	40	--	--	--	--	--	--	--	.9/12"	13, 14, 15	ADDITIONAL INFORMATION.
⊙	RAIN BIRD RD-1806-SAM-PRS-12 SERIES POP-UP	Q.H	12"	30	.65	--	1.30	--	--	--	--	--	19, 20	ADJUST NOZZLES AS
⊙	RAIN BIRD RD-1806-PRS POP-UP ROTARY 24	ADJ.Q.H.F	17" - 24"	45	.84	--	1.68	--	--	--	--	--	19, 20	NEEDED TO KEEP WATER
⊙	RAIN BIRD 5006-MPR-23 SERIES ROTOR	Q.H.F	23"	45	1.00	--	1.98	--	--	--	--	--	22	OFF-SIDEWALK, ASPHALT
⊙	RAIN BIRD 5006-MPR-30 SERIES ROTOR	Q.H	30"	45	1.40	--	2.96	--	--	--	--	--	22	AND BUILDING.
⊙	RAIN BIRD 5006-MPR-35 SERIES ROTOR	Q.T.H.F	35"	45	1.92	2.46	3.81	--	--	--	7.58	--	22	
A	CONTROLLER: WEATHERTRAK ET PRO3 (WTPRO3-C-12-CWM)												8, 11, 12	COORDINATE LOCATION WITH OWNER
⊙	1" RAINBIRD QUICK COUPLER VALVE, MODEL 44-LRC												3	IN 10" RND. VALVE BOX
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⊙	REMOTE CONTROL VALVE: RAINBIRD PEB-PRS-D AUTOMATIC CONTROL VALVE; SIZE PER PLAN												4, 6	JUMBO VALVE BOX
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⊙	ISOLATION VALVE												7	REFERENCE DETAILS
---	MAINLINE: 2" SCH 40 PVC OR OTHERWISE NOTED.												1, 2	REFERENCE DETAILS
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DRIP EMITTER LEGEND

PLANT TYPE	EMITTER QTY	EMITTER TYPE
PERENNIALS/GRASSES	1	XB-20 (2GPH)
ALL SHRUBS	1	XB-20 (2GPH)
TREES IN PLANTERS	1	XB-10 (1GPH)

NOTE:
1. EMITTERS LISTED ARE AVAILABLE FROM RAINBIRD.
INSTALL NETAHIM TLCV IN ADDITION TO XB-10 EMITTERS PER DETAILS ON SHEET LS4.0.

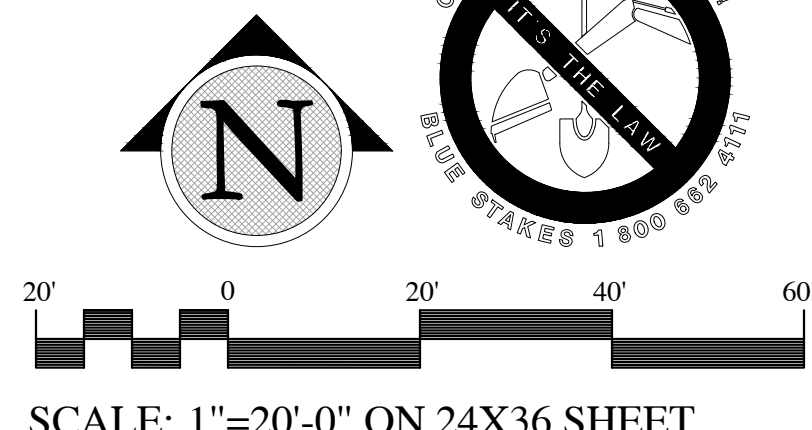
VALVE ID TAG

ID	CONTROLLER
SIZE	NUMBER, VALVE
GPM	NUMBER
PSI	VALVE SIZE
	GALLONS PER MINUTE
	PSI AT LAST HEAD IN ZONE

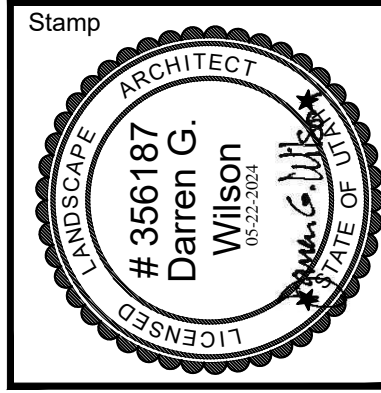
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- MAIN LINE SHALL BE 2" SCH. 40 PVC (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 1" SCH. 40 PVC UNLESS NOTED ON PLAN. PVC PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1" PIPE MAX. 1-1/2" PIPE MAX. 30GPM (DO NOT USE 3" PIPE OR 1-1/4" PIPE ON THIS PROJECT). ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING BOULDERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
- PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES, SHRUBS AND BOULDERS PER PLANTING PLAN. DO NOT LOCATE VALVE BOXES IN LAWN AREAS IF POSSIBLE.
- AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
- ALL SPRINKLERS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
- INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS. VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
- DRIPL LINES SHALL BE RAINBIRD XBS OR XT-700 TUBING DRIP PIPE. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" DRIP PIPING. FOR DRIP AREAS REQUIRING 4-8GPM USE 3/4" DRIP PIPING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPEC.
- IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE FILTER PER MANUFACTURER SPECS. INSTALL THE FILTER AND PRESSURE REDUCER IN A LOCKING STRONGBOX ENCLOSURE POWER COATED RAL 1019 WOODLANDS TAN. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
- INSTALL THE PRS-D OPTION FOR SPRAY VALVES IF THE STATIC PRESSURE AT SPRAY HEADS EXCEEDS 70 PSI.

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evans + associates architecture
1576 south state street, suite 103b, drape, utah 84020
phone 801-553-8272 fax 801-553-8273



A New Meetinghouse for:
**Mapleton 19 &
Mapleton UT West Stake**

1340 West 800 South
Mapleton, Utah

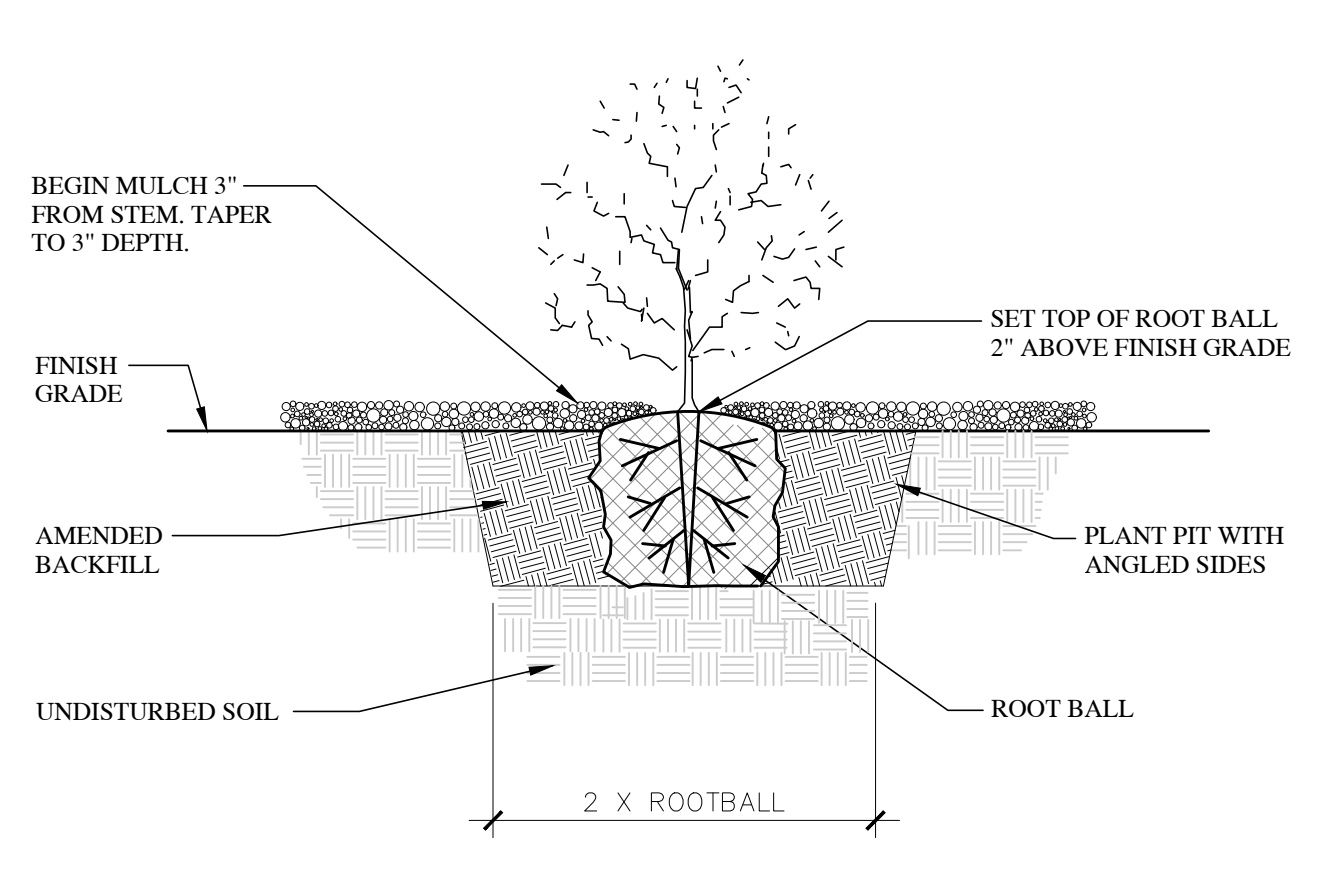
Project for:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Revisions	Description
Mark	Date

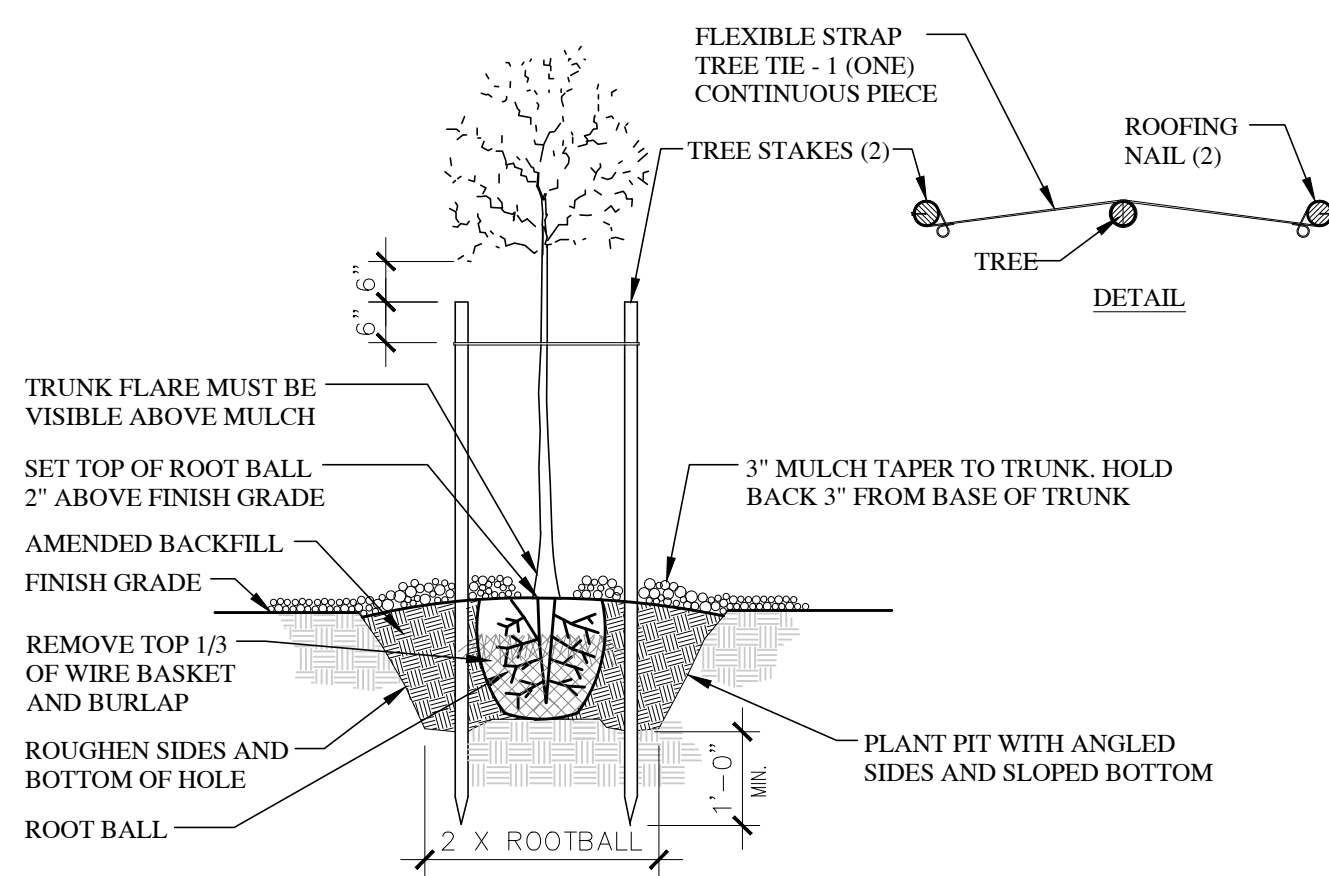
Project Number
23-104
Plan Series
Heritage 23-2
Property Number
501-2699-23010101
Date
November 6, 2023

Sheet Title
**IRRIGATION
PLAN**

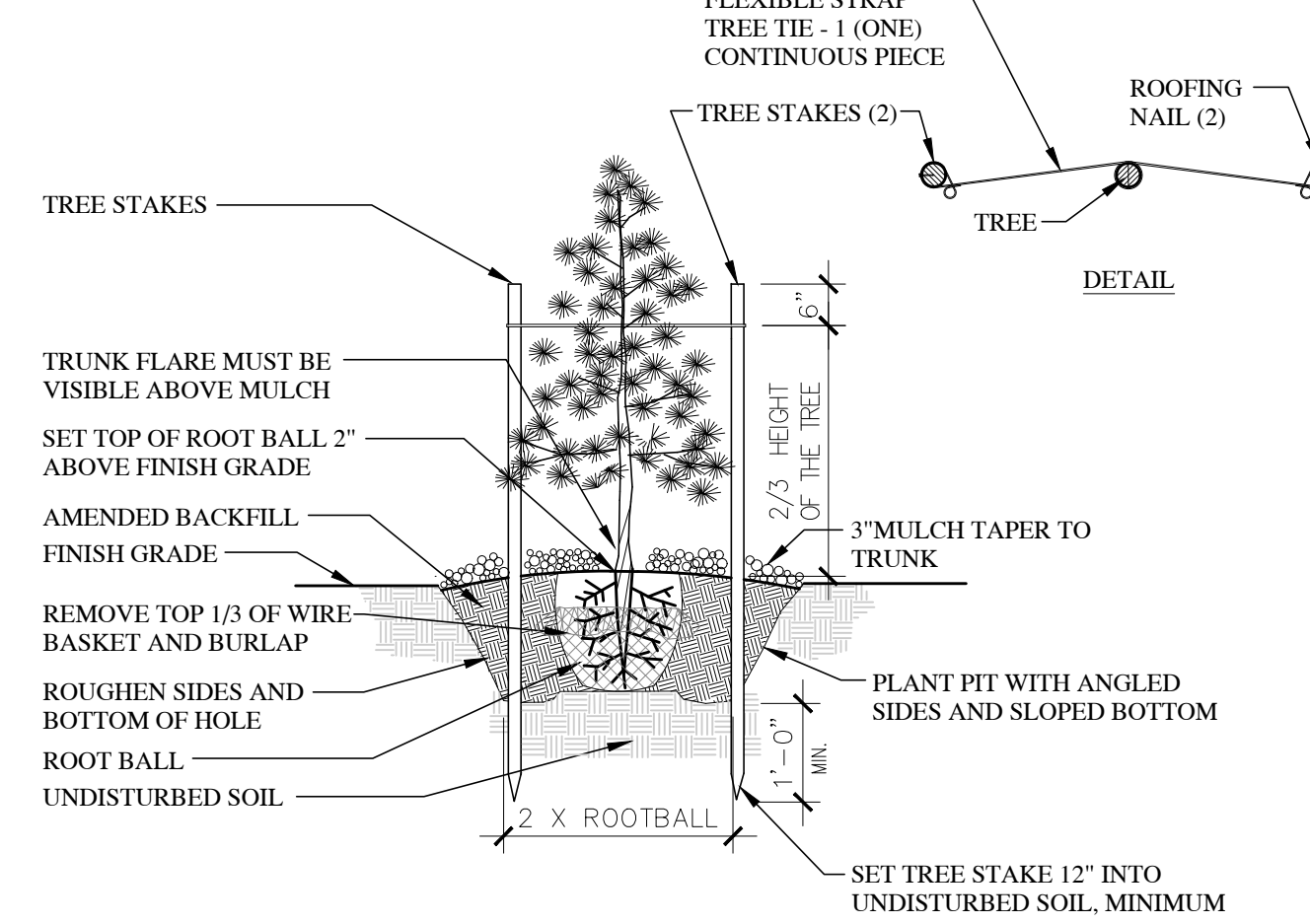
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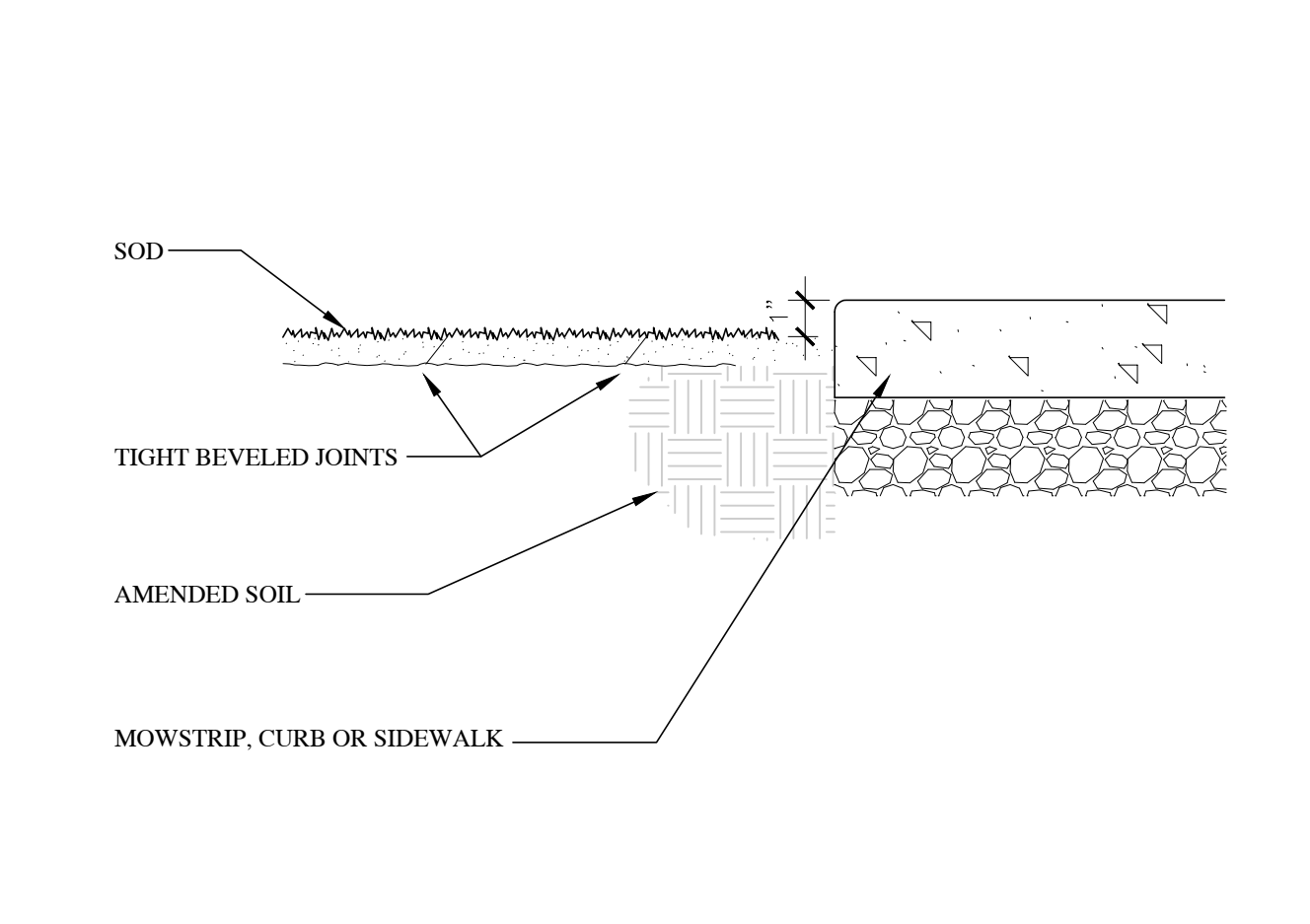
1 SHRUB PLANTING SCALE: NTS



2 TREE PLANTING AND STAKING SCALE: NTS

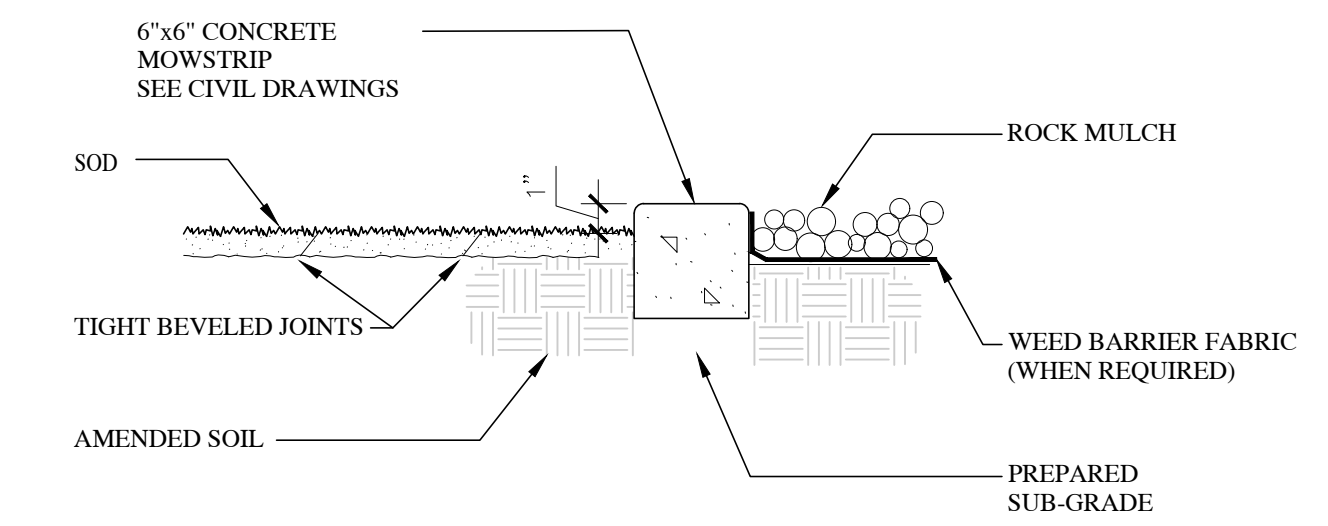


3 CONIFER PLANTING AND STAKING SCALE: NTS

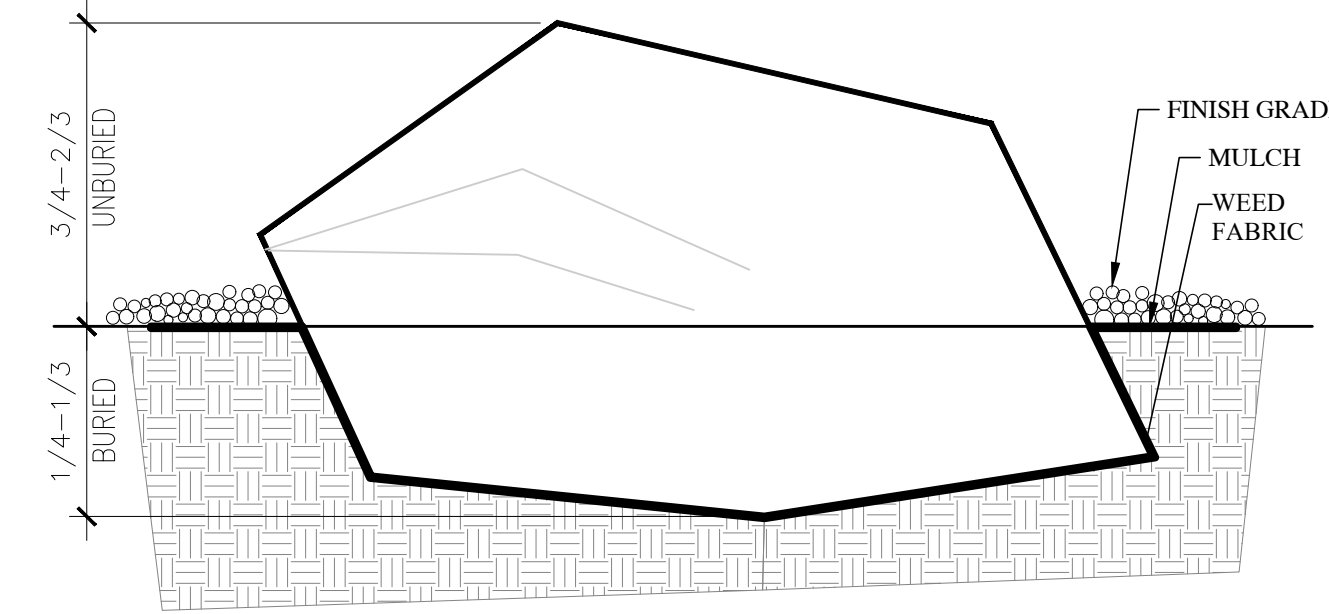


4 SOD INSTALLATION SCALE: NTS

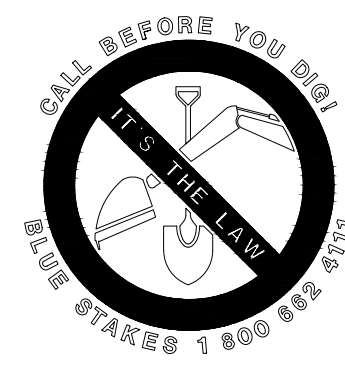
- NOTES:
1. MOWSTRIP TO BE CAST IN-PLACE AND POURED USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
 2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
 3. MAXIMUM 1/2" WIDTH VARIATION.
 4. PRECISELY FOLLOW LAYOUT AS SHOWN ON MOWSTRIP/EDGING DIMENSION PLAN.
 5. RAISE THE LAWN GRADE 1" WHEN SEEDING.



5 CONCRETE MOWSTRIP SCALE: NTS

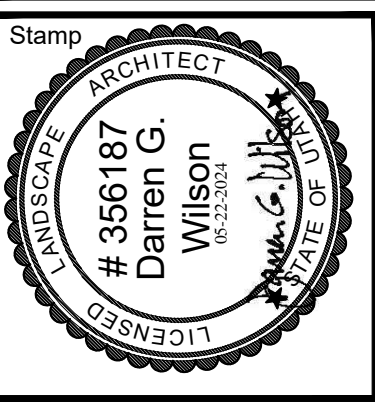


6 BOULDER PLACEMENT DETAIL SCALE: NTS



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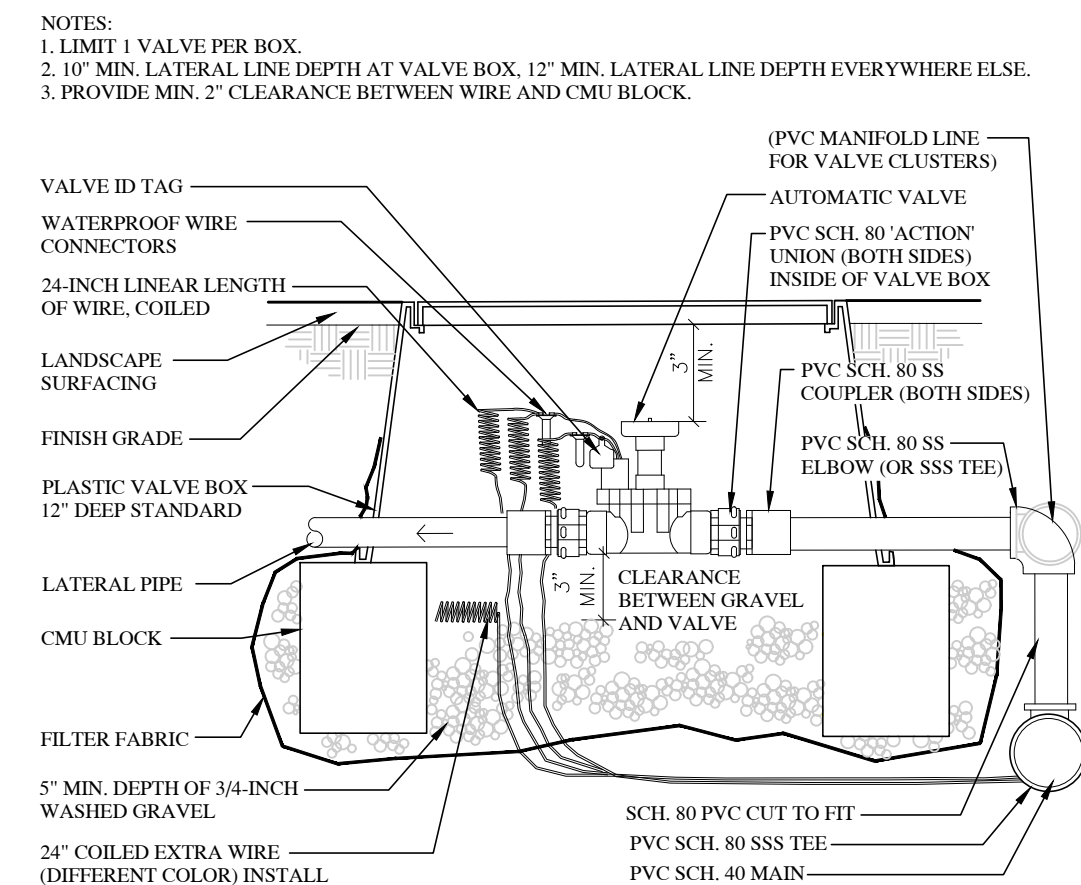
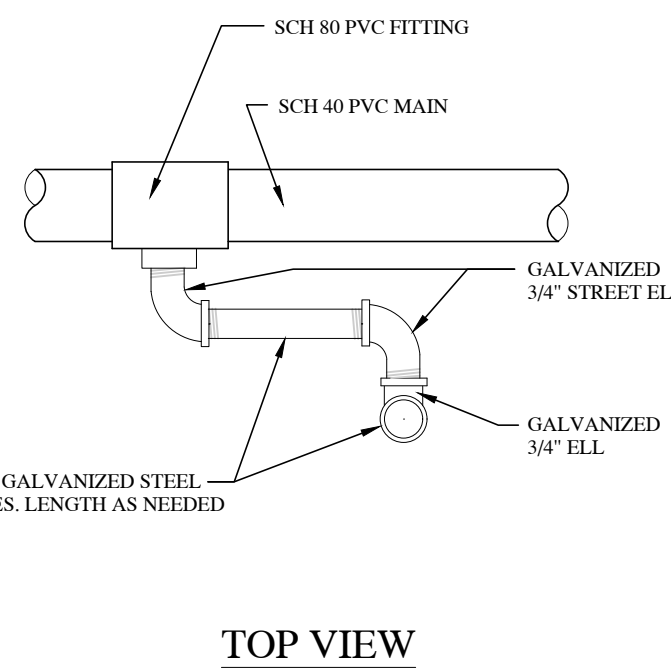
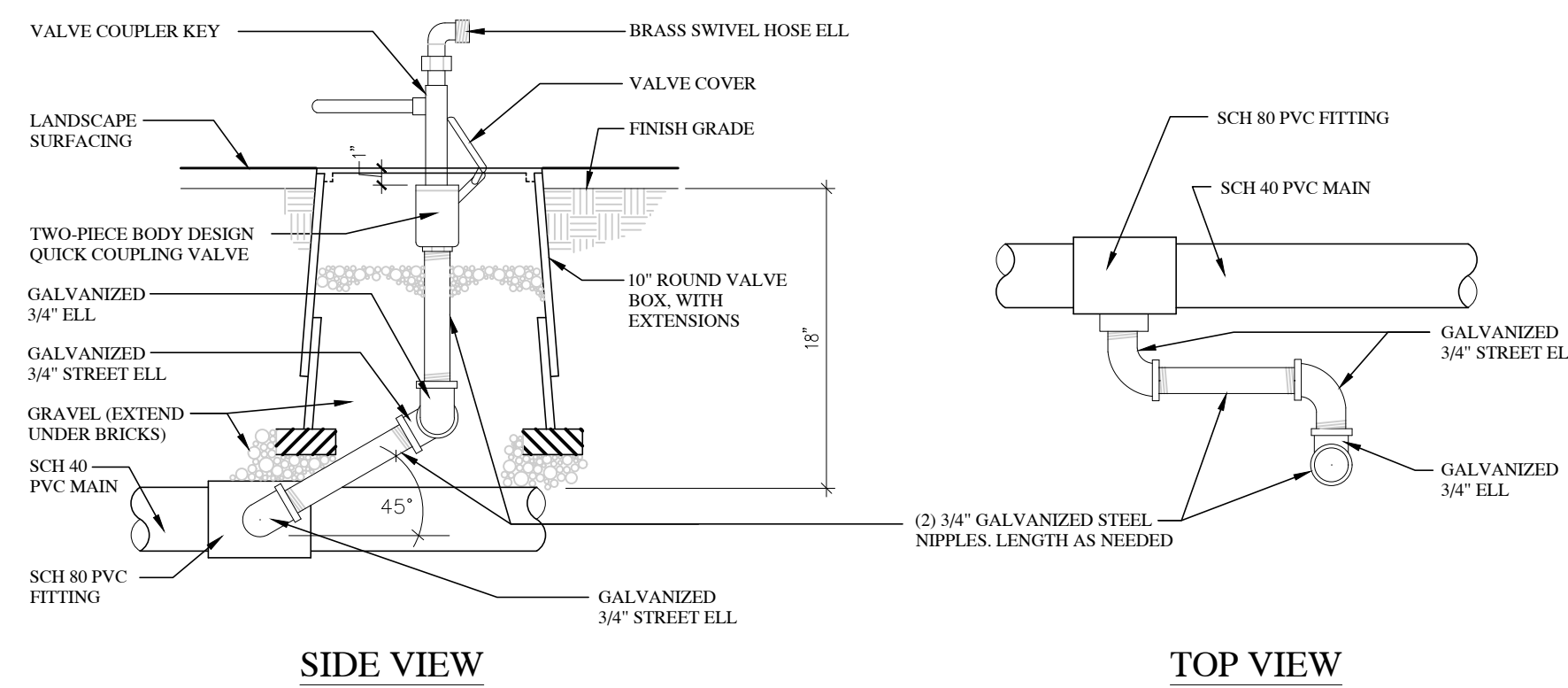
Project for:
**THE CHURCH OF
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OF LATTER-DAY SAINTS**

Revisions	
Mark	Description

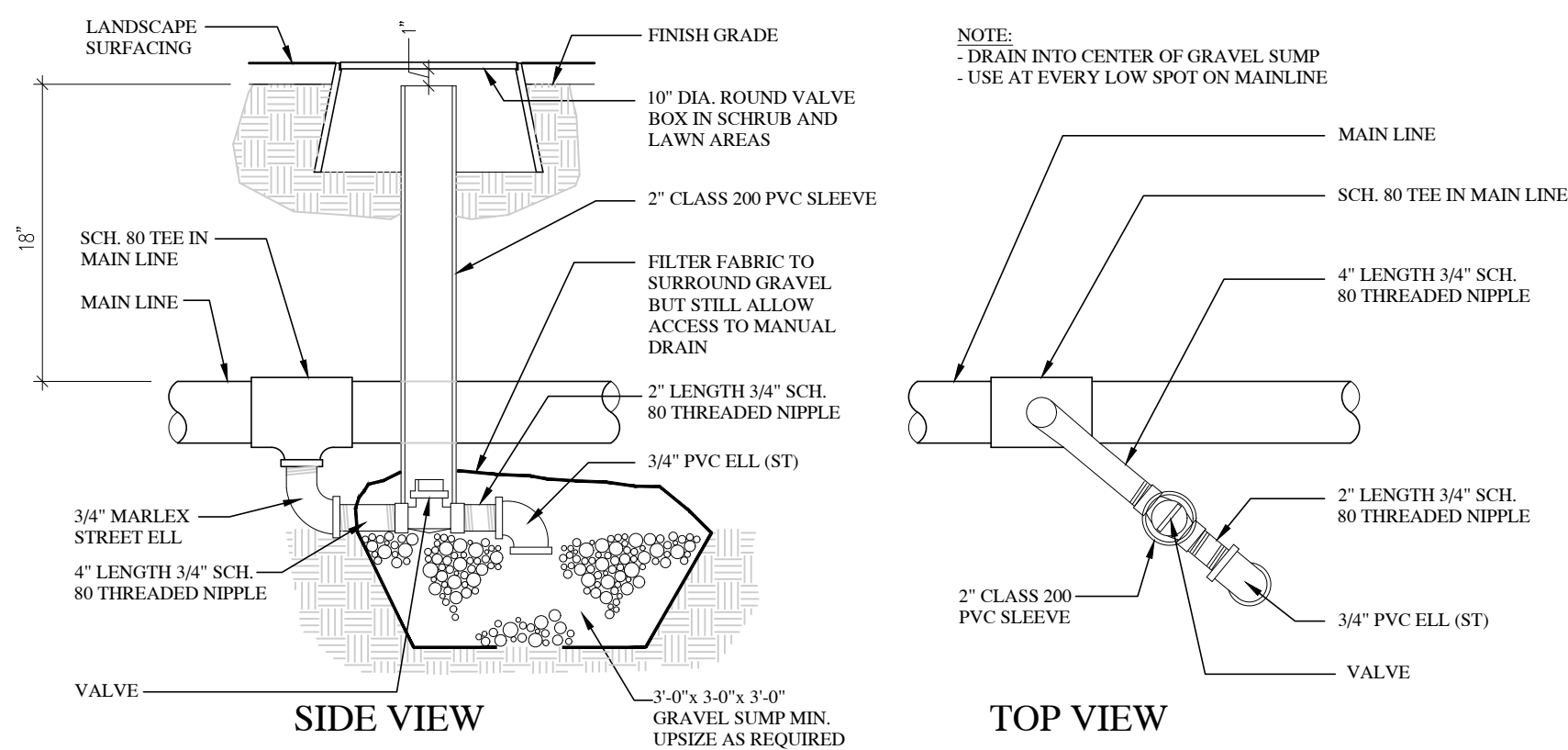
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**PLANTING
DETAILS**

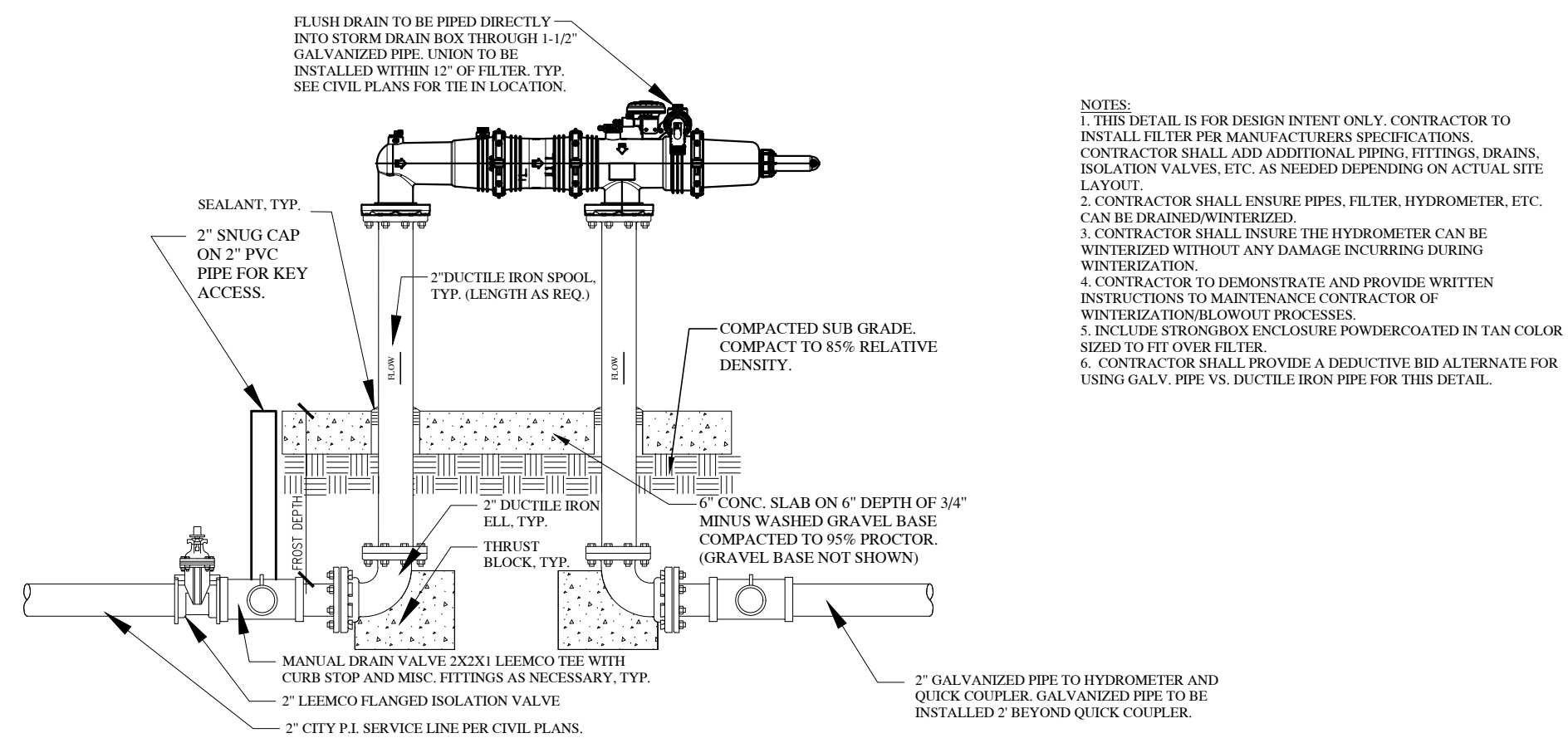
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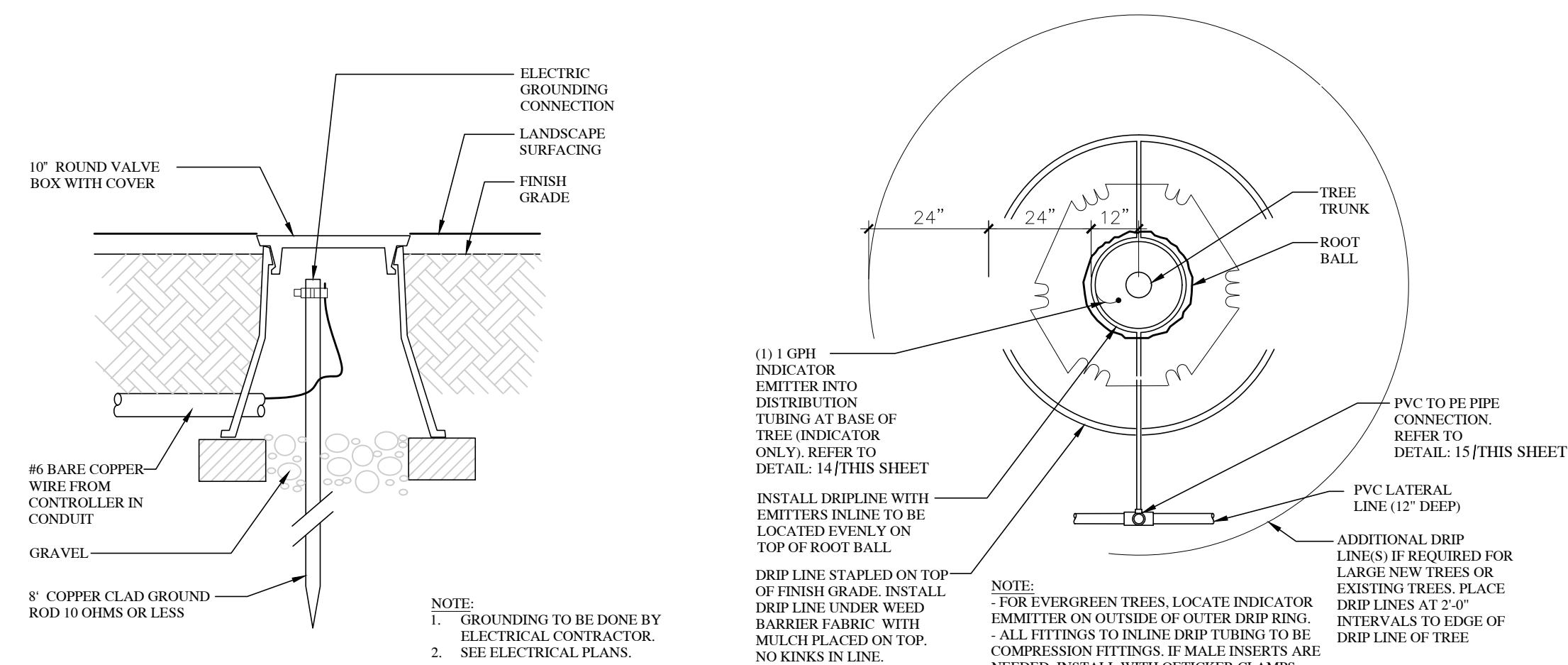
MISC. PIPE TRENCH: NEW PAVEMENT AREAS



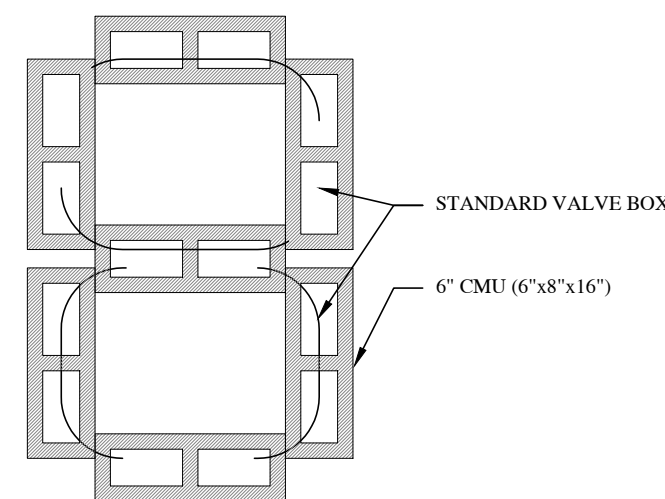
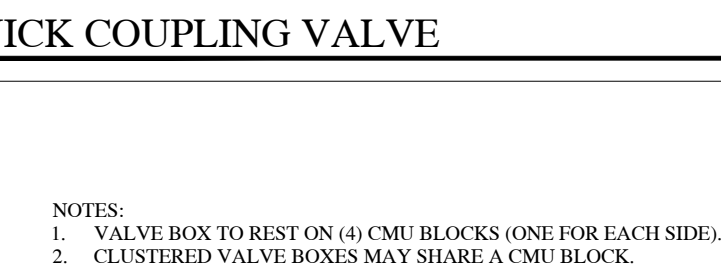
MAINLINE MANUAL DRAIN VALVE



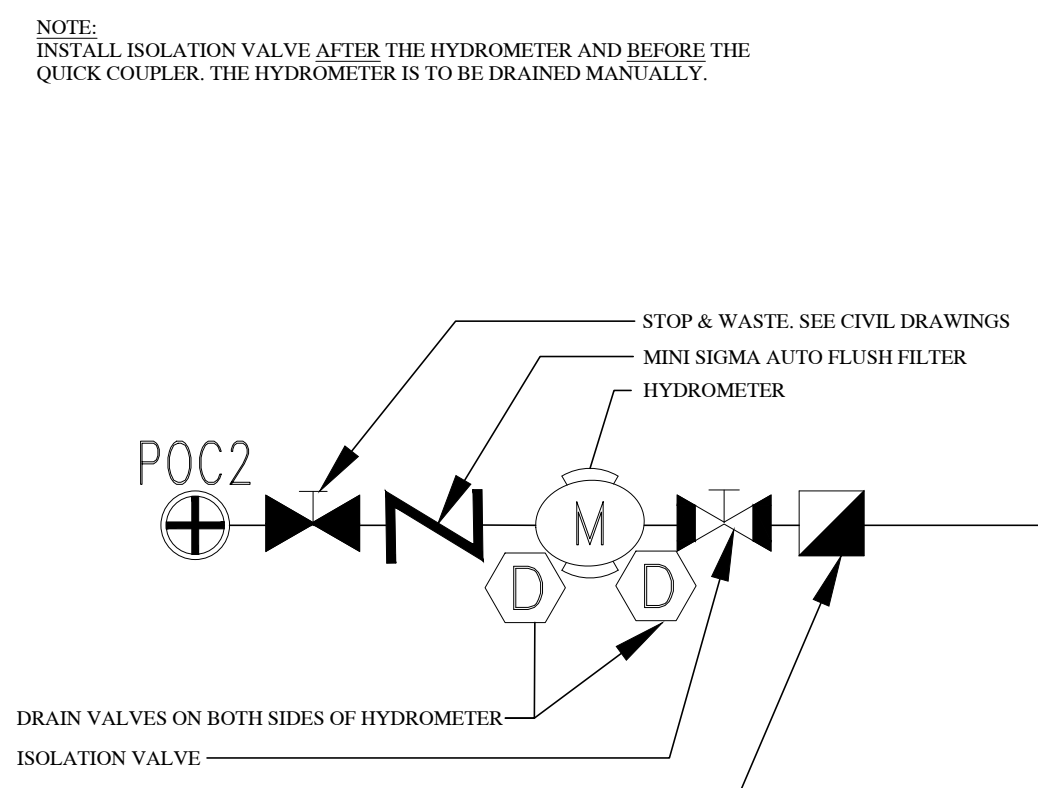
2" MINI SIGMA FLANGED FILTER, 300 W/ MICRON SCREEN (IN STRONG BOX ENCLOSURE)



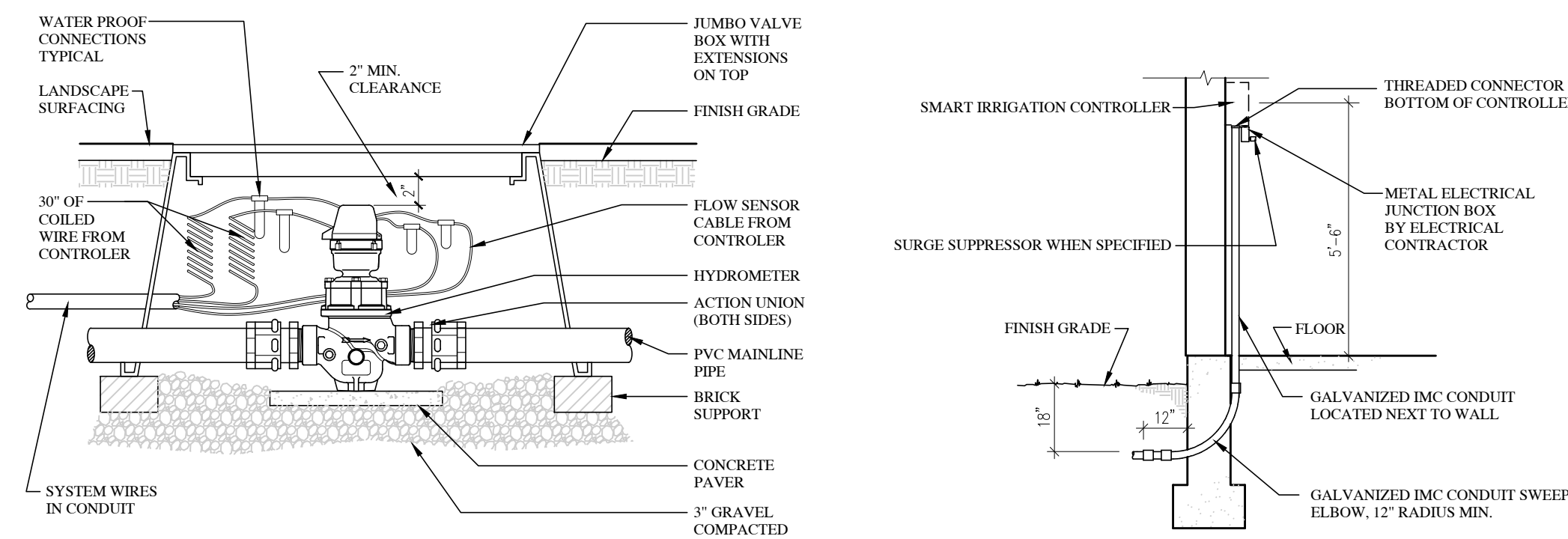
LIGHTNING GROUNDING ROD



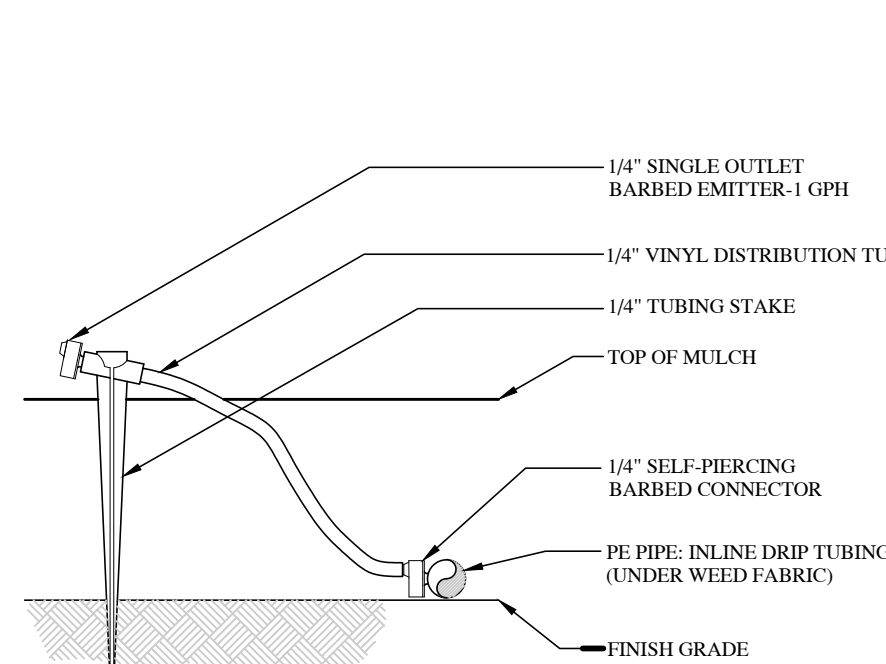
CMU PLACEMENT



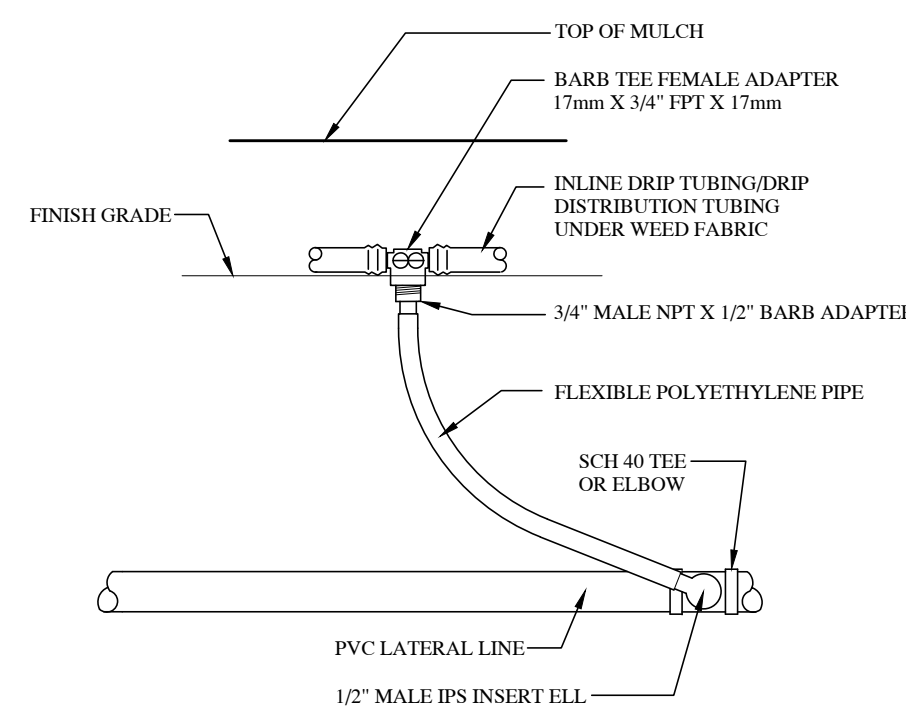
POC W/ FILTER LAYOUT



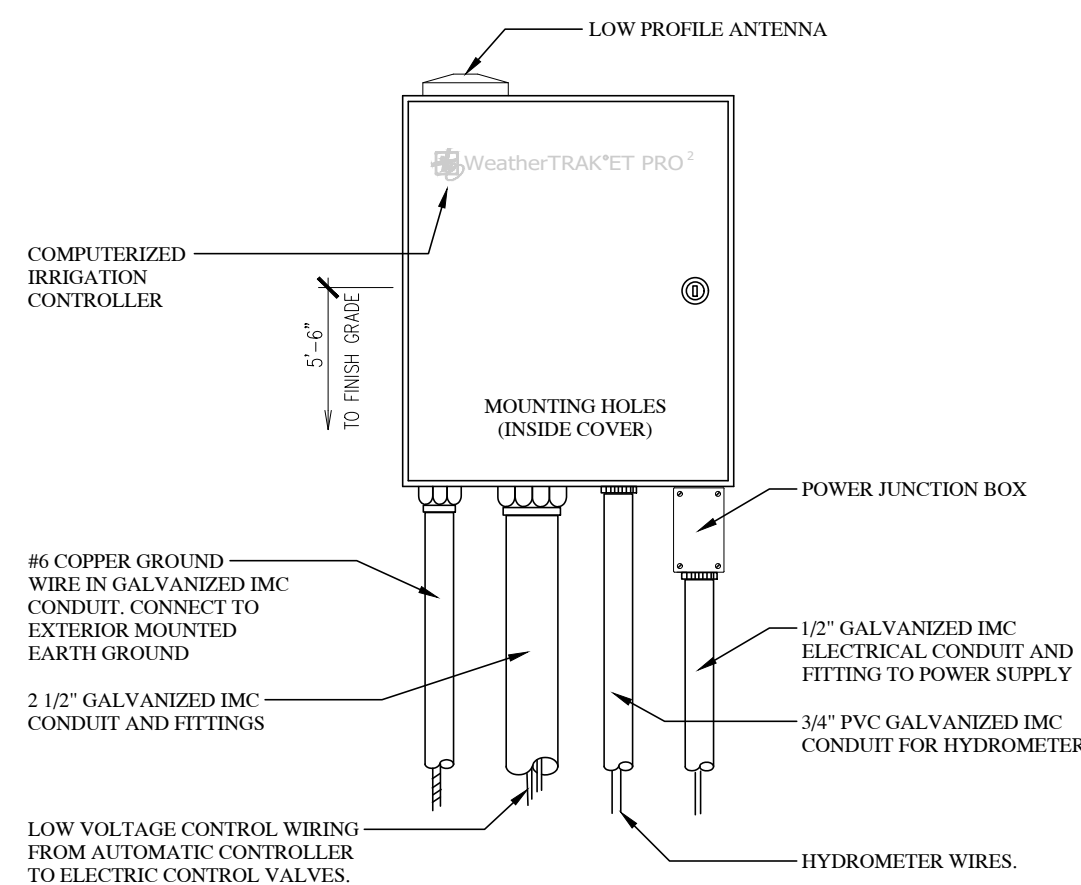
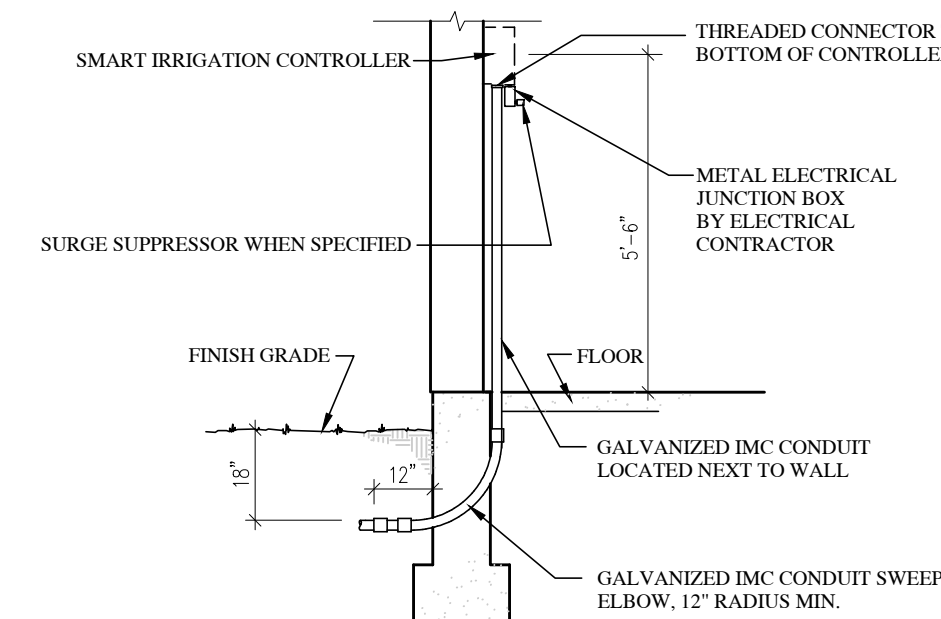
HYDROMETER



INDICATOR EMITTER



PVC TO BE PIPE CONNECTION

 SMART CONTROLLER - WEATHER TRAK

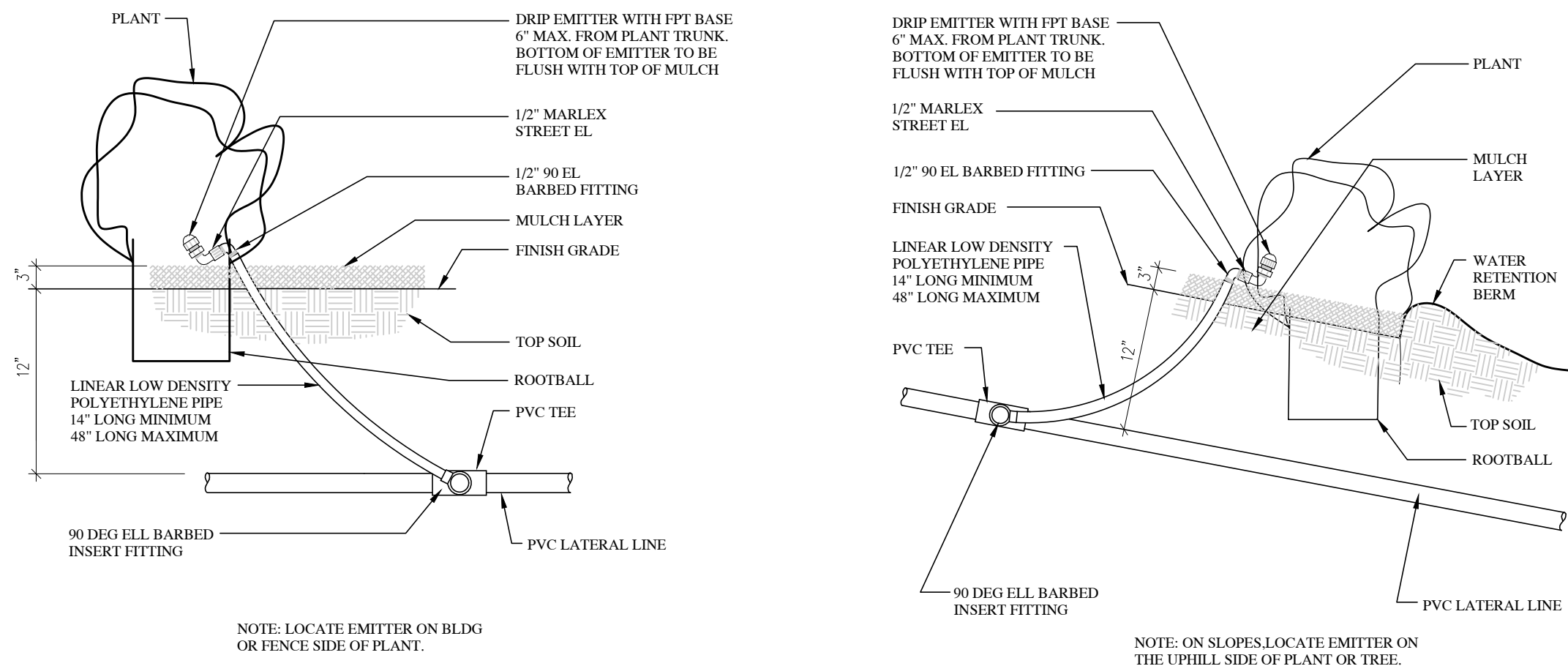
IRRIGATION CONTROLLER - INTERIOR MOUNT



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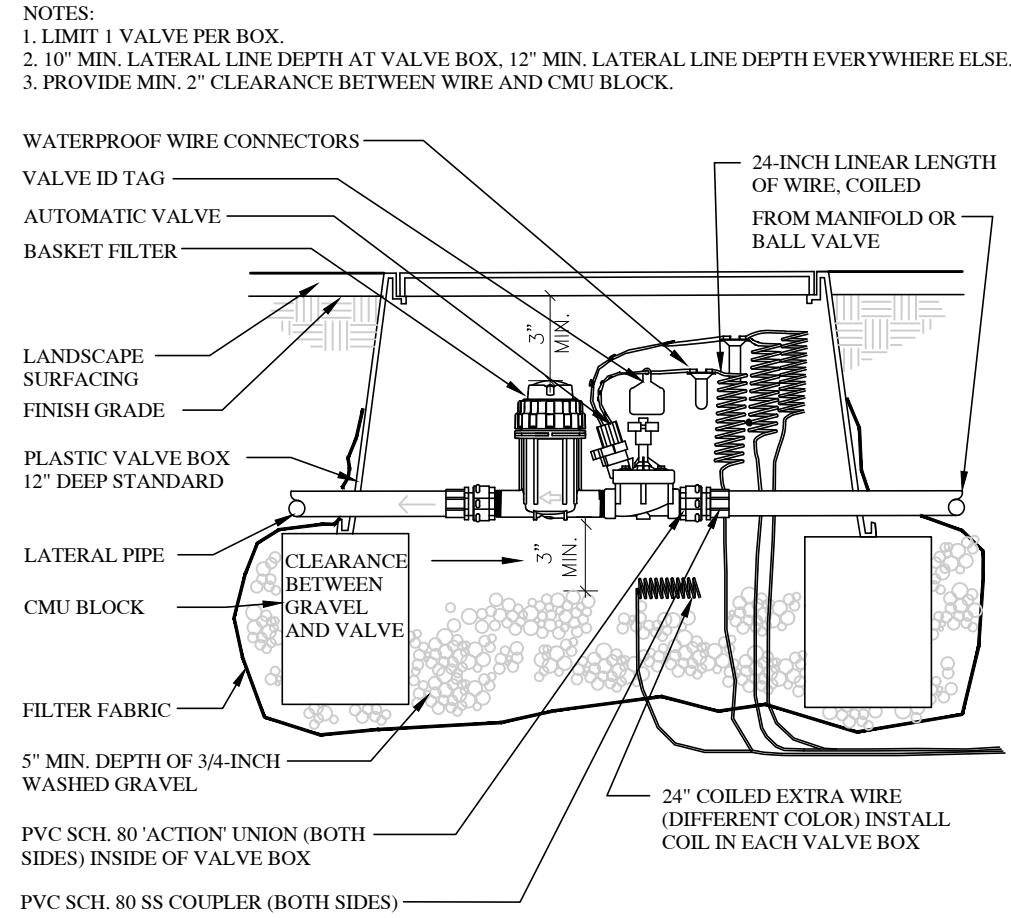
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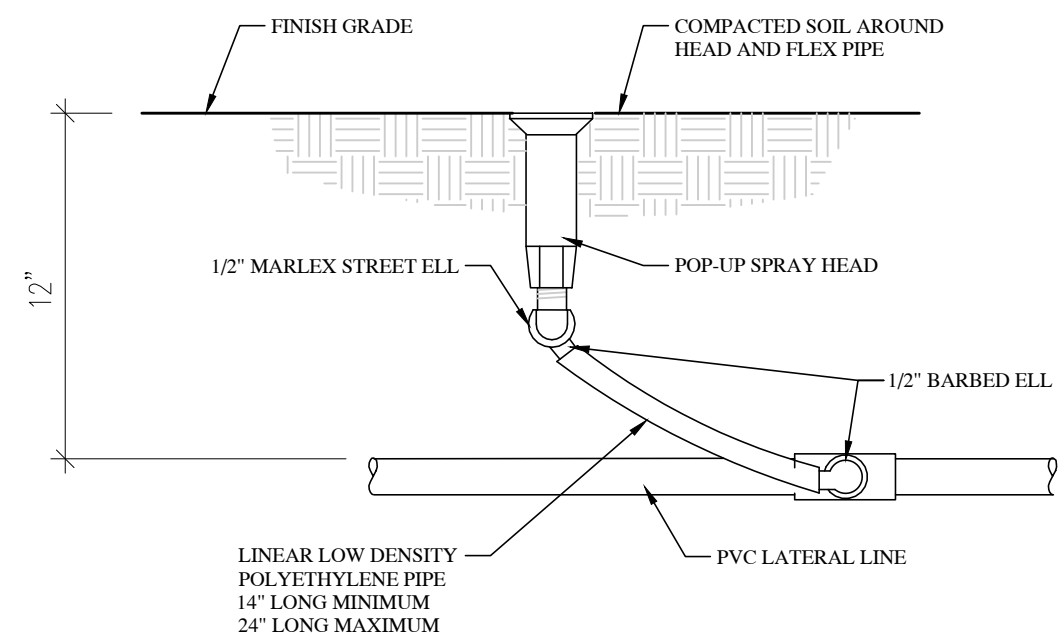


16 DRIP EMITTER INSTALLATION

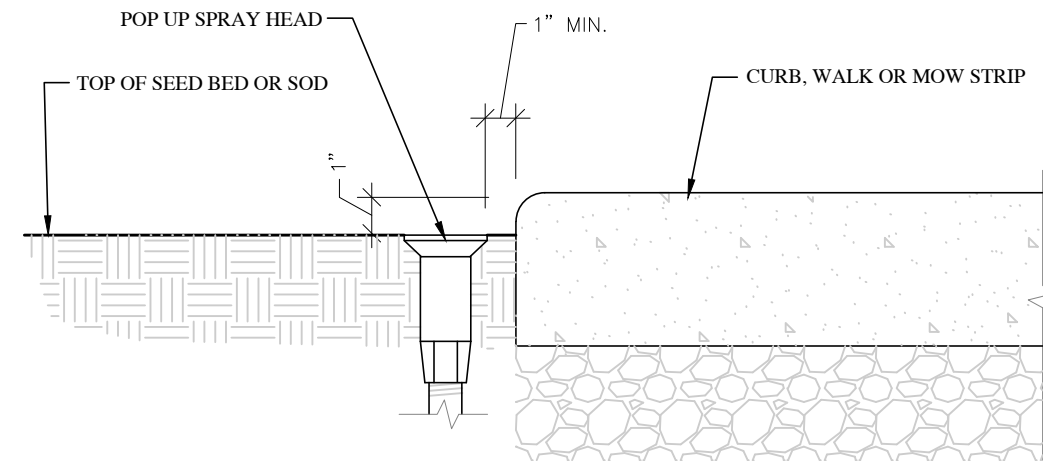
17 DRIP EMITTER - INSTALLATION ON SLOPE



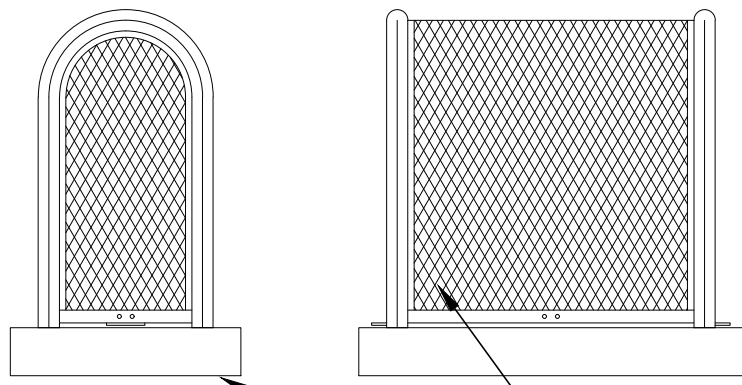
18 DRIP VALVE SECTION - CONVENTIONAL WIRE



19 SPRAY AND ROTARY HEAD ASSEMBLY



20 SPRAY HEAD OR ROTOR NEXT TO CURB / WALK



- NOTE:
- ENCLOSURE IS AVAILABLE THROUGH:
BPD/GUARDSHACK ENCLOSURES
3831 E. GROVE STREET
PHOENIX, ARIZONA 85040
(602) 426-1002
 - CONTRACTOR TO PROVIDE A LOCK TO OWNER UPON INSTALLATION.
 - REFERENCE RIZ DETAIL FOR BACKFLOW INSTALLATION.
 - UPSIZE ENCLOSURE IF NECESSARY.
 - OWNER TO DETERMINE POWDER COAT COLOR PRIOR TO ORDERING UNIT.

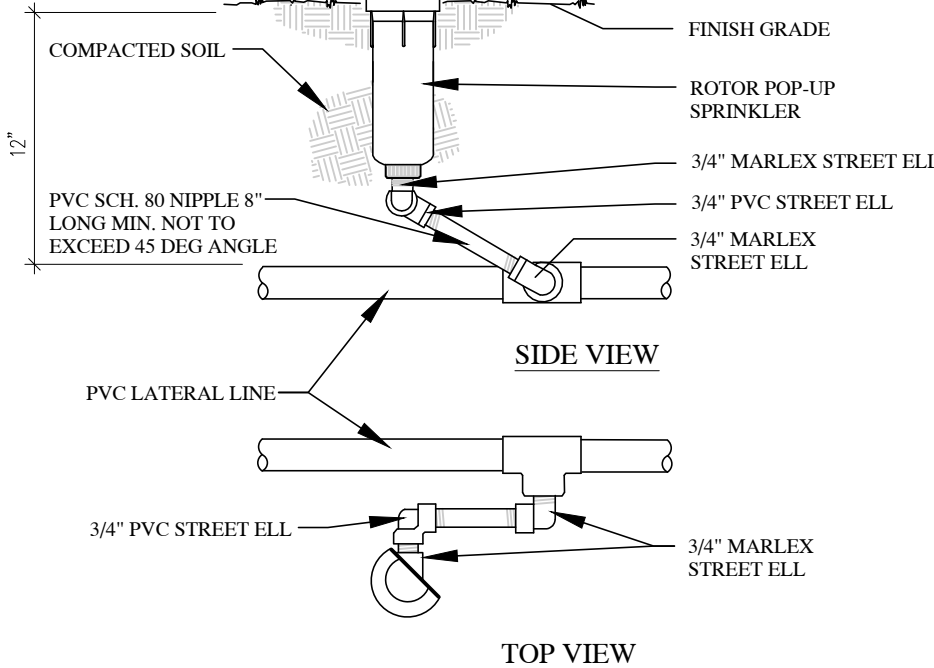
21 STANDARD GUARD SHACK ENCLOSURE

- GUARDSHACK GENERAL SPECIFICATIONS**
- ALL PIPE SHALL BE 1/4\"/>

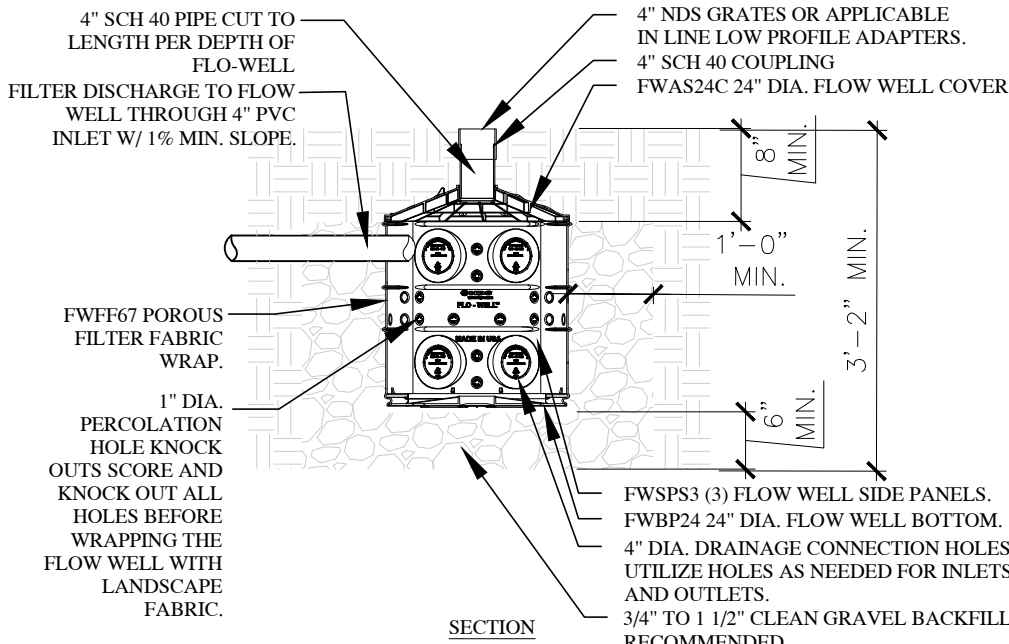
POWDER COATED UNITS

PRE-POWDERCOAT TREATMENT PROCESS
CLEAN GUARDSHACK UNIT WITH A 5-44 ALKALINE CLEANER.
OVERFLOW RINSE. APPLY AN AC-815 IRON PHOSPHATE TREATMENT.
OVERFLOW RINSE AND FINISH WITH A #198 SEALER RINSE TO PREVENT RUSTING AND IMPROVE ADHESION.

POWDER COAT TREATMENT PROCESS
UNITS SHALL BE PREHEATED AND COATED BY ELECTROSTATIC APPLICATION OF 2.0 TO 3.5 MIL THICKNESS ON ALL SURFACES. POWDER SHALL BE RAL 1019 WOODLANDS TAN OR APPROVED EQUAL IMPACT RESISTANCE FINISH 160 INCH POUNDS DIRECT 160 INCH POUNDS REVERSE. PER ASTM D-2794 SPECS. GLOSS FINISH-85. PER ASTM D-523. ADHESION TO BE RATED EXCELLENT WHEN TESTED TO ASTM D-3359 STANDARDS.



22 ROTOR POP-UP HEAD



23 FLO-WELL DRY WELL SYSTEM



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1340 West 800 South
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Project for:
**THE CHURCH OF
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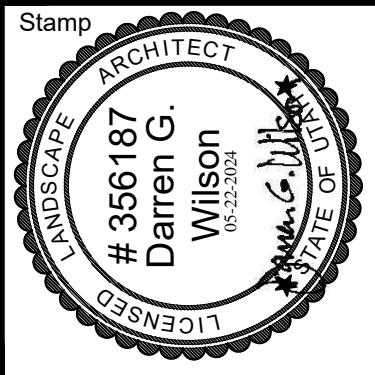
Sheet Title

**IRRIGATION
DETAILS**

Sheet

LS4.1

evans + associates architecture
11576 south state street, suite 102b, draper, utah 84020
phone 801-563-8272 fax 801-563-8273



Item:

3

Date:

6/13/24

Applicant:

Tarrah Montgomery

Location:

1443 W Mapleton Heights Dr.

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

No

Zone:

PD-4

Attachments

1. Application information

REQUEST

Consideration of a request for a home occupation permit to establish a preschool in an existing residence located at 1443 West Mapleton Heights Drive in the PD-4 Zone.

BACKGROUND & DESCRIPTION

The subject property is approximately ¼ acre in size and located in the Mapleton Heights subdivision. The site is developed with a single-family dwelling that was completed in 2022. The site has a wide L-shaped driveway.

The applicant is requesting approval of a home occupation to operate a preschool within the dwelling that would include:

- Provide classes for 10 students or less;
- Class days would be Tuesday, Wednesday and Thursday for approximately two hours; and
- The area dedicated to the business will be less than 500 square feet.

EVALUATION

Administrative Review: A home occupation permit is considered administrative in nature. If the applicant complies with adopted standards, they are entitled to an approval. The Planning Commission may require conditions if necessary to mitigate reasonably anticipated detrimental effects.

Home Occupations: Mapleton City Code (MCC) section 18.84.380 outlines the requirements for home occupations within the City. Some of the primary requirements that apply to all home occupations include that the home occupation must be operated by the occupants of the home, that it may not utilize more than 500 square feet, that no more than six vehicles be parked on the property at one time and that the use does not produce noise, smoke, fumes, etc. that could impact neighboring properties. Regarding preschools, the ordinance states the following:

"Child oriented businesses such as day cares and preschools shall be limited to a maximum of ten (10) clients or students including children living in the home if participating in the preschool or daycare activities. It is recognized that during pick up and drop off times that more than six (6) vehicles may be visiting the site, however, not more than six (6) vehicles, as described in subsection 7, may remain during business hours with the exception of one event per year (such as a class graduation), which may exceed six (6) vehicles. The Planning Commission may limit the number of clients or students to less than ten (10) if it is determined that a property and/or road cannot safely handle the proposed increase in traffic."

The proposed use will have 10 or fewer students, will occupy less than 500 square feet of the home and complies with the other requirements of the ordinance. With ample driveway area to accommodate pick up and drop offs, traffic is not anticipated to be an issue. The Home Owners' Association of the development required the applicant to have approval from their neighboring properties, so it appears that neighborhood concerns are minimal as well.

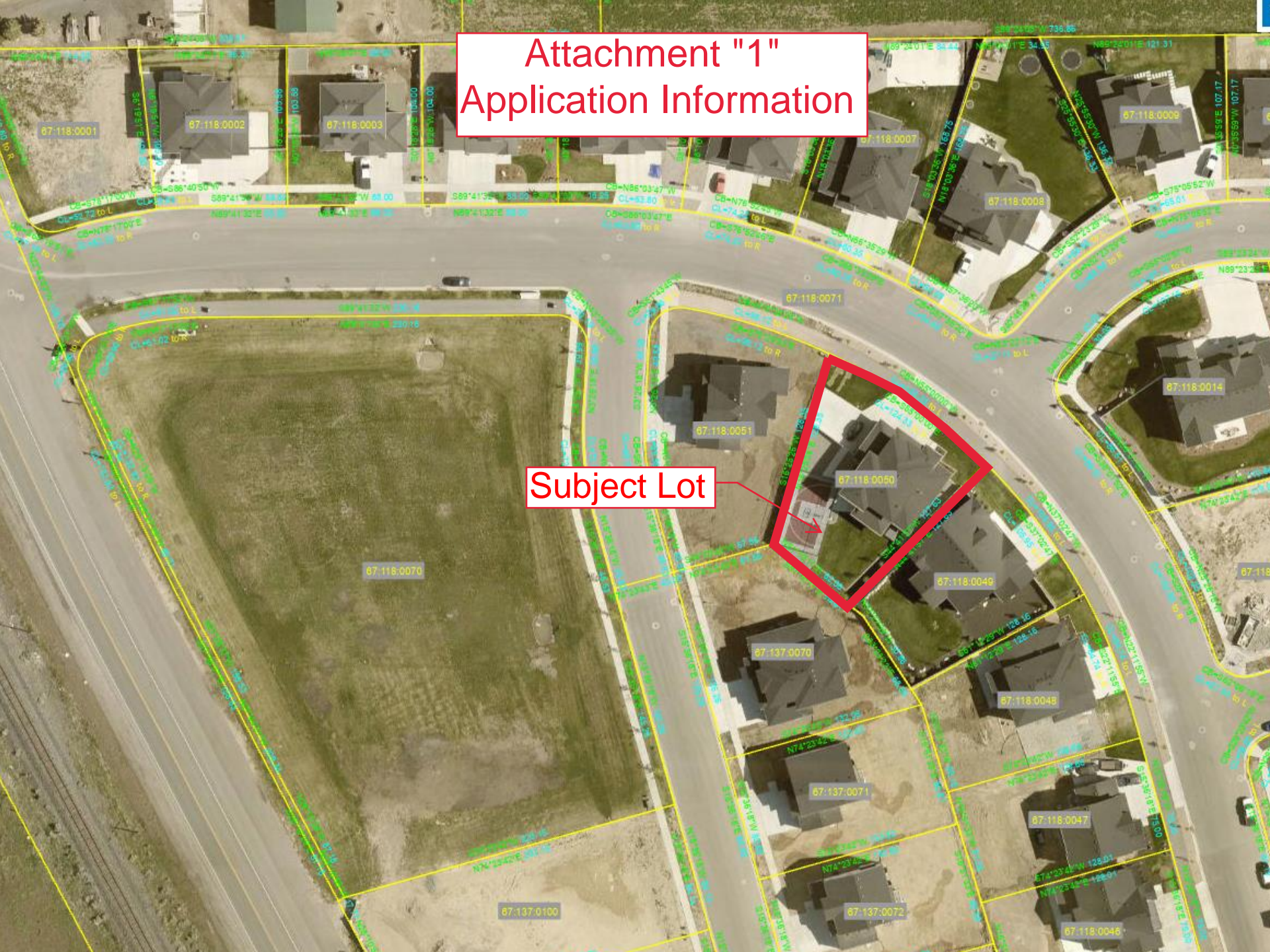
RECOMMENDATION

Approve the conditional use permit with the following conditions:

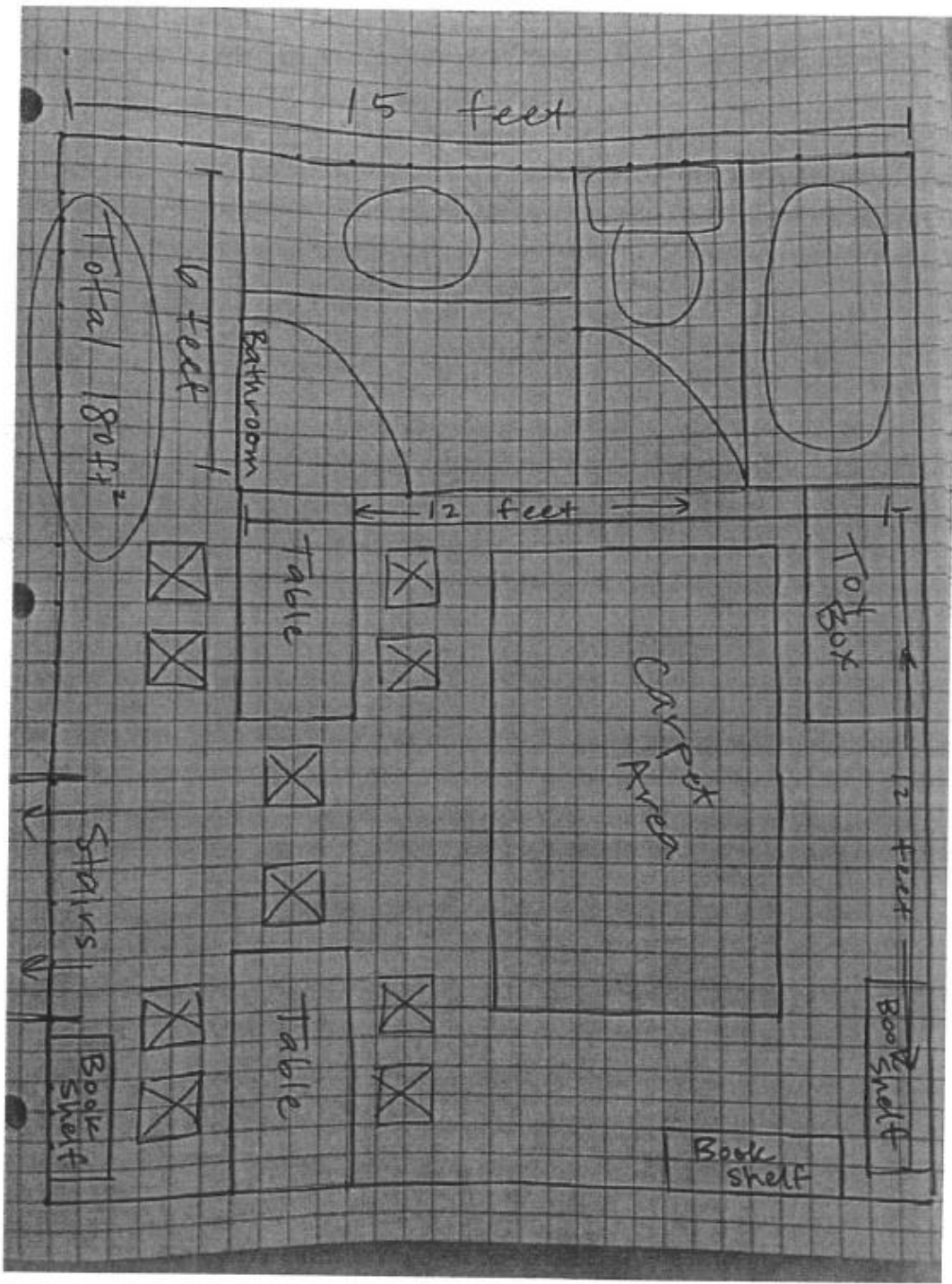
1. A fire inspection will be required prior to operation.
2. The use must be in compliance with MCC Section 18.84.380.

Attachment "1" Application Information

Subject Lot







Item:

4

Date:

6/13/24

Applicant:

Bird Homes, Regal Homes

Location:

1850 W & 2000 W Sunrise
Ranch Dr.

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

Yes

Zone:

SDP-2

Attachments

1. Draft Ordinance.
2. Application information.

REQUEST

Consideration of an ordinance amending Mapleton City Code section 18.56B eliminating the age restriction on some units in the Sunrise Ranch development.

BACKGROUND & DESCRIPTION

In 2018, the City Council approved a development agreement, concept plan and Specific Development Plan (SDP-2) zoning for the Sunrise Ranch project consisting of 540 units. The project included a mix of single-family detached lots, townhome lots and two 55+ neighborhoods with small detached lots and 4-plex buildings. Much of the Sunrise Ranch project has either been developed or is under construction at this time.

Bird Homes owns 53 of the 55+ lots, Regal Homes owns 83 55+ lots, and there is a third owner with nine lots. Both builders have several units under construction and have expressed concern with market demand. Both builders are requesting that the City consider removing the 55+ requirement. On May 1, 2024, the City Council reviewed this proposal as a discussion item. The Council was supportive of removing the 55+ restrictions as requested.

Based on direction from the City Council, staff is proposing to remove the references to senior housing from the SDP-2 zoning text. The Planning Commission is advisory to the City Council on this application.

EVALUATION

Discretion: The adoption of an ordinance is considered a legislative action. The Planning Commission and City Council generally have broad discretion when acting on legislative matters, provided it can be reasonably debated that the action taken to approve or deny will promote or protect the general welfare of the community.

Sunrise Ranch Project: At the time the project was being considered, the original applicants proposed the two 55+ neighborhoods as part of the project. The senior component was not something either City staff nor the City Council had advocated for, but it was included in all the concept plans and in the SDP zoning text based on the original applicant's proposal. There was no additional density given in consideration of providing a senior component to the project.

Given the emphasis by the state to provide more housing options, especially for first time home buyers, staff is supportive of the Council's direction to eliminate the 55+ requirement.

RECOMMENDATION

Recommend approval of the proposed amendments to the City Council.

Attachment "1"
Changes shown in strikeout

18.56B.020: PERMITTED USES:

Accessory buildings, in conjunction with and incidental to the main use of the property, such as a shed or detached garage no larger than forty percent (40%) of the main building size, and no taller than the main structure.

Attached residential dwellings ~~restricted to persons fifty five (55) years of age and older (not to exceed 4 units per building). Ten percent (10%) of these units are not required to be age restricted.~~

18.56B.060: LOT TYPES AND BUILDING RESTRICTIONS:

The Sunrise Ranch project includes the following building types, which are defined by geographical area as shown in the Sunrise Ranch Annexation and Development Agreement:

- A. Single family detached estate lots;
- B. Single family detached cottage lots;
- C. Townhomes; and
- D. Attached ~~age-restricted residential~~ lots. (Ord. 2018-02, 3-21-2018, eff. 4-28-2018)

18.56B.070: SETBACK REQUIREMENTS:

C. Townhomes And Attached ~~Age-Restricted~~ Residential Units: The following setback standards apply to townhomes and the attached age-restricted residential units:

18.56B.090: DESIGN STANDARDS:

C. Attached ~~Age-Restricted~~ Units: There shall be a minimum of five (5) different exterior building plans for the attached units. The building plans shall be differentiated in at least three (3) of the following ways:

- 1. Color.
- 2. Materials.
- 3. Fenestration.
- 4. Roof line.
- 5. Architectural style. (Ord. 2018-02, 3-21-2018, eff. 4-28-2018)

18.56B.120: HOMEOWNERS' ASSOCIATION:

A homeowners' association or associations and covenants, conditions and restrictions (CC&Rs) shall be established to maintain all private streets, sidewalks, landscaping and other common areas in accordance with the concept plan, preliminary plat and final plat. Prior to receiving a building permit for any structure in the development, the owner/developer shall provide proof to Mapleton City that a unit owners' association has been established for the property on which the

building permit is requested and that the CC&Rs establish an age restriction on ownership and occupancy of the senior residential units.

Attachment “2”

Application information

Regal Homes - Bella Vita – 55+ Notes:

- In the past 12 months, Mapleton has sold 18 55+ homes. There are currently 21 homes listed for sale on the MLS. Of the 21 active listed homes, 14 have been completed, 3 are currently under construction, and 4 listings are to be build listing. Based on what is completed and what has been started, we currently have a 11.3 month of supply (Non-55+ supply is around 8 months)
- Mapleton currently has 3 actively selling 55+ communities
 - Regal – Bella Vita
 - Bird Homes – Sunrise Ranch
 - Mapleton Dignity Care – Maple Landing
- Our floorplans and community amenities are tailored to an active older buyer demographic. By removing the 55+ designation, we will continue to market that buyer profile but will also be able to appeal to the 45-55 group as well.
- Quicker absorption from Regal and Bird would positively affect the Sunrise Ranch neighborhood and the street scape on 1600 W.
- Average days on market for completed 55+ homes is 70 days and the average days on market for Mapleton non-55+ is 43

Breakdown of Sales of 55+ from 4/2023-Current

This report shows sales statistics broken down by month, since **April of 2023**.

Search Criteria: State is Utah, Senior Community is Yes, City is Mapleton

Month	Count	Volume	Mdn OL \$	Mdn Sold \$	Mdn S to OL	Mdn SQ FT	Mdn \$/SQ FT	Mdn Beds	Mdn Baths	Mdn DOM
Apr 2023	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	0	0	0
May 2023	2	\$924,550.00	\$471,275.00	\$462,275.00	98%	1,826	\$253.24	3	2	0
Jun 2023	1	\$496,000.00	\$496,000.00	\$496,000.00	100%	1,586	\$312.74	2	2	0
Jul 2023	1	\$498,000.00	\$498,000.00	\$498,000.00	100%	1,586	\$314.00	2	2	0
Aug 2023	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	0	0	0
Sep 2023	1	\$495,900.00	\$502,000.00	\$495,900.00	99%	1,586	\$312.67	2	2	95
Oct 2023	1	\$540,000.00	\$550,000.00	\$540,000.00	98%	1,742	\$309.99	3	2	134
Nov 2023	1	\$480,000.00	\$495,900.00	\$480,000.00	97%	1,522	\$315.37	2	2	57
Dec 2023	2	\$1,044,900.00	\$532,450.00	\$522,450.00	98%	1,647	\$317.27	3	2	67
Jan 2024	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	0	0	0
Feb 2024	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	0	0	0
Mar 2024	2	\$936,650.00	\$479,900.00	\$468,325.00	98%	1,522	\$307.70	2	2	35
Apr 2024	4	\$2,537,300.00	\$509,900.00	\$506,200.00	99%	1,719	\$294.13	3	3	41

Bird Homes:

There are 62 total lots

37 in phase A

16 in phase B

9 in phase b2 – mccord property

We have had 10 houses out of the ground for over 1 year

4 cottages

1 quad plex

2 cottages with roofs on almost through 4 way

The first 4 cottages have C of O

Homes sizes range from 2k- 4k finished square feet

Two, three and four bedrooms, two to three bathrooms - finished and unfinished basements

Two car garages

Asking price points of \$600k-\$800k

Finish grades vary for relevant price

We have had two written offers in the last year, neither of them ended up closing

Plenty of younger families have come by, they quickly walk out when they find out about the 55+ restriction

Other 55+ prospects come by to tour and give this feedback

- Interest rates are not as relevant to them as they largely have their homes paid for and would be paying cash

- They are living in a home much larger now and want to maintain that space for family parties and visits

The 55+ Development south on hwy 89 (the cottages, 250 south) still has vacant lots that have not been built on since 2019, a brief review of the sales shows a very few transactions in that community over the last 3-4 years.

Sunrise ranch development as a whole has had a steady absorption of home sales since its inception, even with the latest raise in interest rates homes have continued to sell

We would like to have the 55+ age restriction removed from the plat, doing so will provide unfettered access to all prospects that are in the market to purchase a home

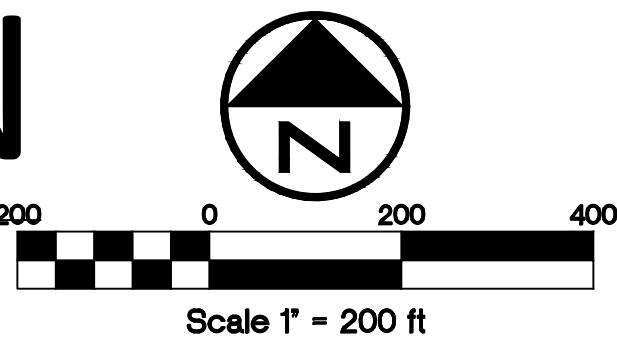
We do not own the 9 lots in phase b2, I have talked with mr mccord in the past and he is agreeable to having this restriction removed as well

Thank you for the consideration

My cell is 435.733.1000 if you need to reach me

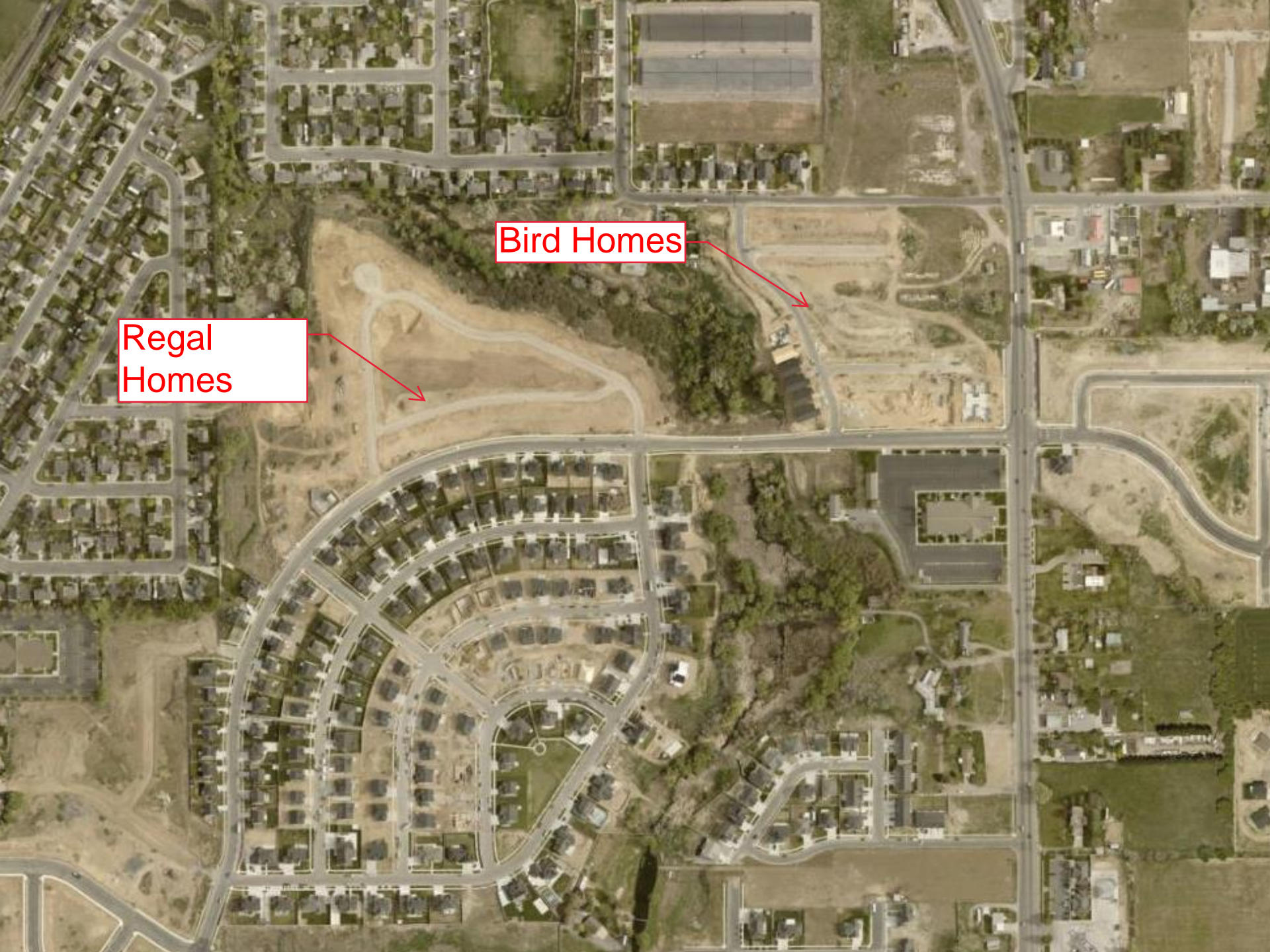
Ryan Poelman

MAPLETON SUNRISE RANCH PROPERTY CONCEPT PLAN



ACREAGE= 171.05 ACRES
PARK AREA= 23.63
AREA W/O ROADS= 143.3
UNITS ALLOWED= 143.3x4 = 573
UNITS SHOWN= 539
COMMERCIAL PARCEL= 2.65 ACRES





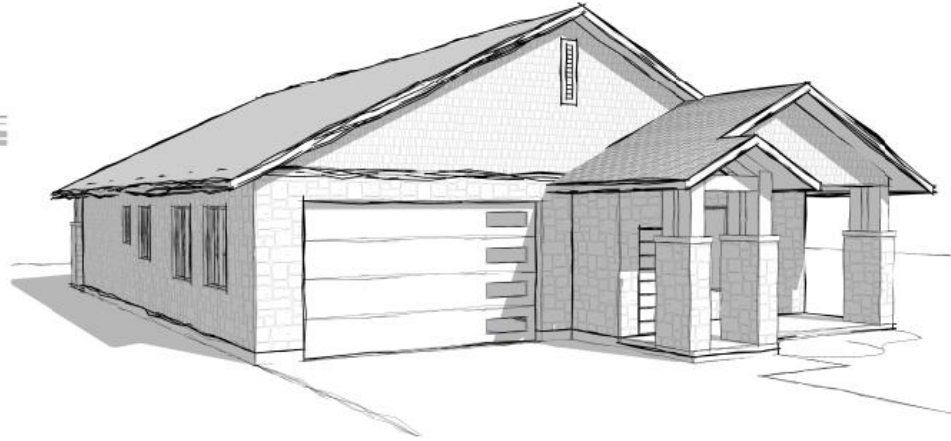
Regal
Homes

Bird Homes

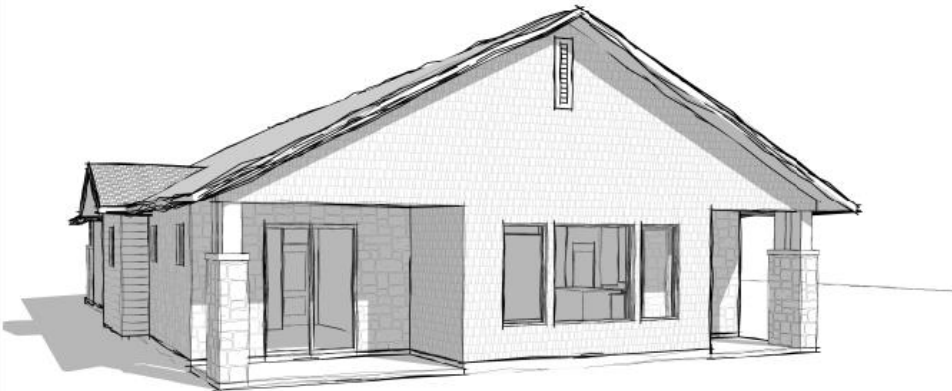
Product Type Examples



FRONT RIGHT 3D VIEW



FRONT LEFT 3D VIEW



REAR RIGHT 3D VIEW





UNIT TYPE C
MIRRORED
SIDE ELEVATION

UNIT TYPE C
SIDE ELEVATION

1
1/8" = 1'-0" EXTERIOR SOUTH ELEVATION



UNIT TYPE A
MIRRORED
SIDE ELEVATION

UNIT TYPE A
SIDE ELEVATION

1
1/8" = 1'-0" EXTERIOR NORTH ELEVATION



UNIT TYPE A
MIRRORED
SIDE ELEVATION

UNIT TYPE C
MIRRORED
SIDE ELEVATION

1
1/8" = 1'-0" EXTERIOR EAST ELEVATION



UNIT TYPE C
MIRRORED
SIDE ELEVATION

UNIT TYPE A
MIRRORED
SIDE ELEVATION

1
1/8" = 1'-0" EXTERIOR WEST ELEVATION

Item:

5

REQUEST

Consideration of a request to rezone 26 acres from A-2, TDR-R to Planned Residential Community (PRC-9) and to vacate a portion of Maple Hills Lane.

Date:

6/13/2024

BACKGROUND & DESCRIPTION

In 2018, the City Council approved the Maple Hills subdivision consisting of 26 lots on 38 acres of property zone A-2, Transferable Development Right Receiving Site (TDR-R). A portion of the project site was in the 100-year flood zone. At the time, the property was owned by an entity called the IDL Company. The project included 25 lots of roughly one acre in size and one approximately 10 acre parcel. Later, the IDL Company sold the property containing the 25 lots to Patterson Construction, and sold what was shown as the 10 acre lot to a separate entity, but increased its size to 11 acres. The 11 acre parcel is not part of this rezone request.

Applicant:

Patterson Construction

Location:

800 N 2000 E

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

Yes

Since the original approval, the applicant has recorded two phases of the project and built an extension of 2000 East street, as well as Maple Hills Circle and a portion of Maple Hills Lane. The applicant has also worked with FEMA and determined that the project site is no longer within the 100 year flood zone. Finally, the applicant has also acquired an additional two acre parcel at the southwest corner of the site that had already been approved as a TDR-R.

Zone:

A-2, TDR-R

The initial geotechnical report that was prepared for the project indicated that some additional investigations were required. As the applicant has done these additional investigations, it has been determined that much of the eastern section of the site has geologic hazards that are not conducive to development. Based on this new information, staff and the applicant have been working on an alternative development plan for the site to give flexibility to the developer to reorganize the lots to avoid the geologically sensitive areas as well as to provide a new public trail amenity that was not part of the original approvals.

Attachments

1. Application information.
2. Proposed PRC-9 zoning text.
3. City Council minutes.
4. Correspondence.

The applicant is now proposing the following:

- Approval for a rezone to Planned Residential Development (PRC-9). This would allow the clustering of lots in areas more conducive for development. The applicant is proposing 23 total lots from between a ½ an acre to over 6 acres in size.
- Construction of a trail leading to the upper bench well as a small trail head parking area with 8 parking stalls.

The City Council met with the applicant on November 15, 2023 to discuss the proposed revisions to the project (see attachment "3"). The Council was generally supportive of the applicant pursuing a rezone to PRC but did express some concern with the lot configurations that were presented at that time. The applicant has since eliminated one additional lot and refined the concept to address some of the Council's concerns.

EVALUATION

Rezone requests are considered legislative actions. The Planning Commission and City Council generally have broad discretion when acting on legislative matters, provided it can be reasonably debated that the action taken (to approve or deny) will promote or protect the general welfare of the community and is supported by city ordinances and policies.

Mapleton City Code Section 18.12.010.B provides the following list of guidelines to be used in reviewing rezone requests:

- 1. Public purpose for the amendment in question.*
- 2. Confirmation that the public purpose is best served by the amendment in question.*
- 3. Compatibility of the proposed amendment with general plan policies, goals, and objectives.*
- 4. Potential adverse effects to the city by creating "leapfrog" development or areas away from the existing "core" or center of the city.*
- 5. Potential of the proposed amendment to hinder or obstruct attainment of the general plan's articulated policies.*
- 6. Adverse impacts on adjacent landowners.*
- 7. Verification of correctness in the original zoning or general plan.*
- 8. In cases where a conflict arises between the general plan map and general plan policies, precedence shall be give to the plan policies.*

Trail: When the City went through the General Plan update in 2020, one of the key findings was the community's desire for more trails and access to natural open space. Based on this input, the Parks, Open Space and Recreation and Trails Element of the General Plan included the following goal and policies:

- Goal 5: Implement the Recommended Trail Facilities.*
- Policy 5.1: Assure that Mapleton's Trail System Meets Public Needs and Expectations.*
- Policy 5.2: Require trail master planning to be incorporated into community planning, land use planning and the development review process of Mapleton City, including the development of trailheads and access to trails.*

One of the implementation measures identified in the General Plan was to establish a trails committee and develop a comprehensive trails master plan. As recommended, the City appointed a trails committee and began working on a master plan in 2022. The Trails Master Plan was adopted in 2023 and outlines the long range vision for trails and related facilities along the Mapleton Bench. The plan identifies the subject site as a potential location for a trail head and trail access. Consistent with the goal and policies identified above, staff has been working with the applicant to provide a trail head and trail access that was not part of the original approval. The trail would lead to and through 23 acres owned by the City, as well as to an existing trail that runs north/south along the bench that connects to Maple Canyon. This is a wonderful opportunity to create a community amenity that would not have been available under the previously approved plan. Staff also notes, that if the trail is not constructed on this property, there likely will not be another opportunity for a trail access north of Maple Canyon.

Land Use Element of the General Plan: The Future Land Use Map designates the site as "*Rural Residential*". This designation corresponds to the A-2 or PRC zones and allows densities that average one lot per two acres, or one lot per acre with TDRs. All of the abutting properties have the same Rural Residential designation. The original approved plans had an average lot size of approximately 1.4 acres per lot. The average lot size of the current proposal has increased to approximately 1.6 acres per lot. The total number of lots has decreased, while the average lot size has increased.

The proposed variety in lot sizes is generally consistent with the variety that exists in the area. Surrounding lots located between 1200 North and 400 North, and east of 1600 East, range in size from under ½ of an acre to 6.5 acres, with an average lot size of 1.6 acres. The proposed density is consistent with the General Plan and with the surrounding area.

Staff has included some of the goals and policies of the Land Use Element of the General Plan below followed by a brief response:

- *Goal 1: Preserve and enhance Mapleton's rural atmosphere and agricultural history through careful planning and the preservation of open space.*

Response: The original approval included 26 lots. Since the two acre property that was added later was already zoned TDR-R, it should be anticipated that two additional lots could be built, for a total of 28 lots. The proposed concept plan reduces the density to 24 lots, 23 in the area being rezoned to PRC-9 and the one additional 11 acre parcel owned by another party. Due to the recently identified geologically sensitive areas, there will be fewer total lots and less buildable area, resulting in more open space overall than was previously proposed. The project has used, and will continue to use, the country lane street cross section with no curb or gutter, which is intended to contribute to a more rural appearance. The applicant is also proposing to dedicate a parcel just under ½ an acre in size to the City to accommodate the trail head parking and trail access to the bench. All of these changes are consistent with the goal of preserving and enhancing the rural atmosphere.

- *Policy 1.1: Encourage conservation subdivisions on vacant land and undeveloped parcels.*

Response: The rezone to PRC will allow more flexibility in lot sizes and a more conservation minded development plan. Taken as a whole, staff believes the changes are an improvement from the original design.

- *Goal 2: Continue the established focus on large-lot, single-family residential uses as the primary means for preserving Mapleton's rural character.*

Response: The proposed concept combines the conservation (clustering) approach with a mix of larger lot sizes. The original approval included 25 one-acre lots and one 10-acre lot. The revised plan includes a mix of lot sizes ranging from ½ an acre to over 6 acres, in addition to the now 11-acre parcel owned by another entity.

- *Goal 9: Continue to implement the Transferable Development Rights (TDR) program by ensuring that there are sufficient areas that can qualify as TDR-Receiving sites.*

Response: The project site, including the two acre parcel that was added since the original approval, has already been approved as a TDR-R. The applicant has already surrendered the TDR certificates required for the project.

Zoning: The purpose of the PRC zone is to encourage imaginative and efficient use of land, encourage the preservation and/or creation of open spaces and trails, and to allow for flexibility in the layout of lots. The PRC zone is not meant to allow for more density, just more flexibility. The proposed PRC zone would allow for more lots to be clustered to the west in order to protect the eastern portion of the site that is less conducive for development, as well as the development of a public trail as discussed below. The proposed concept plan is consistent with the intent of the PRC zone. The proposed zoning text is included as attachment "2".

The proposed PRC zone is similar to the Clegg Canyon PRC zone located on 400 North just to the south of the project. It also has a mix of lot sizes ranging from ½ an acre to over eight acres and clustered some smaller lots to avoid similar geologic constraints.

Streets: Mapleton City Code section 17.12.020 indicates that the City may require temporary dead end streets to stub to adjacent parcels for future development and connectivity. The concept shows a stub road to the parcel to the north that contains the old dilapidated house on the hill side. The alignment of the stub road is proposed to change to address the geologic constraints and will require a vacation of a small portion of the existing Maple Hills Lane. State law requires that the City find that there is good cause for the vacation of the road and that it will not be contrary to the public interest or materially injure any person.

RECOMMENDATION

Recommend approval to City Council with the following conditions:

1. The final subdivision plat and construction drawings shall include a trail head parking area consisting of at least 8 parking stalls and a natural surface pedestrian trail generally consistent with the concept plan submitted with this application. The applicant will be responsible for the construction of these trail amenities.

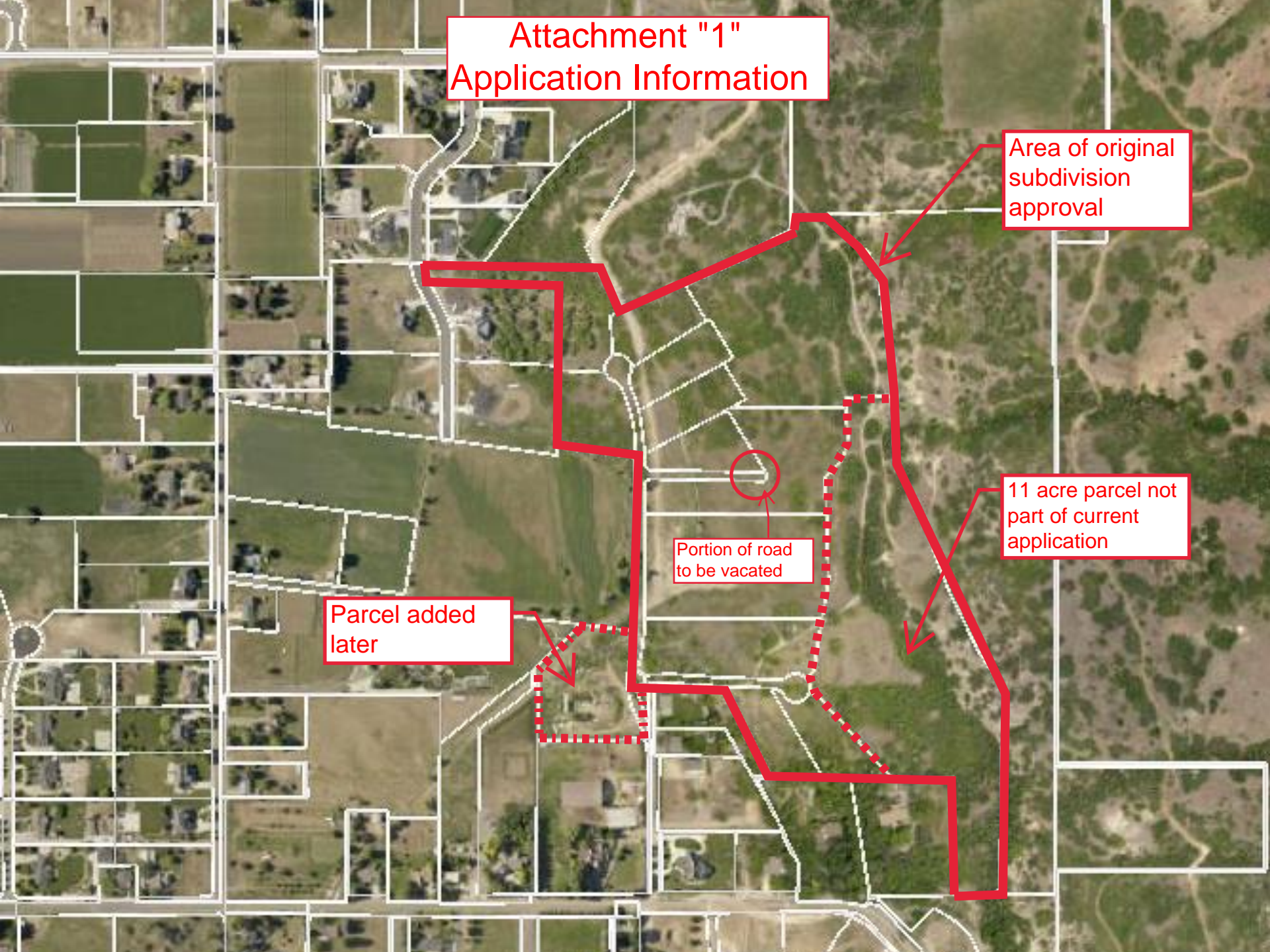
Attachment "1" Application Information

Area of original
subdivision
approval

11 acre parcel not
part of current
application

Portion of road
to be vacated

Parcel added
later



Proposed Concept Plan

LEGEND

----- PROPERTY LINE
----- LOT LINE
----- EASEMENT LINE
===== EXISTING CURB
----- PROPOSED CURB
----- 5 FOOT CONTOUR
----- 1 FOOT CONTOUR
----- CULINARY WATER
----- PRESSURIZED IRRIG.
----- SANITARY SEWER
----- STORM DRAIN
● FIRE HYDRANT

MAPLETON IRRIGATION NOTES

1. APPLICANT MUST NOTIFY FRANSON CIVIL ENGINEERS (FRANSON CIVIL) AT LEAST 24 HOURS BEFORE CONSTRUCTION ON MIDC FACILITIES. CALL KYLE DEVANEY WITH FRANSON CIVIL AT 801-756-0309. FAILURE TO DO SO MAY RESULT IN A \$5,000 FINE.

2. ALL CONSTRUCTION MUST BE DONE TO MIDC STANDARDS.

3. MIDC CONTACT DURING CONSTRUCTION: MIKE MINER, PRESIDENT 801-376-1454

4. BOXES SHALL HAVE METAL SIGN ATTACHED TO GRATE THAT READS:

PROPERTY OF MAPLETON IRRIGATION DISTRICT & COMPANY
IRRIGATION BOX MAY NOT BE FENCED WITHIN PROPERTY
COMPANY MUST HAVE ACCESS FROM CITY STREET

5. ALL BACKFILL MATERIALS WITHIN THE MIDC EASEMENT SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY. IF COMPACTION OF THE BACKFILL MATERIALS AROUND THE MIDC PIPELINE CANNOT MEET THIS REQUIREMENTS THEN FLOWABLE FILL IS AN ACCEPTABLE ALTERNATIVE.

6. PIPES OR OTHER UTILITIES RUNNING PARALLEL TO THE IRRIGATION PIPE IN A SHARED EASEMENT SHALL BE PLACED A MINIMUM OF 5 FEET HORIZONTALLY FROM THE IRRIGATION PIPE.

7. PIPES CROSSING PERPENDICULARLY OVER OR UNDER THE IRRIGATION PIPE SHALL HAVE A MINIMUM 1-FOOT VERTICAL CLEARANCE.

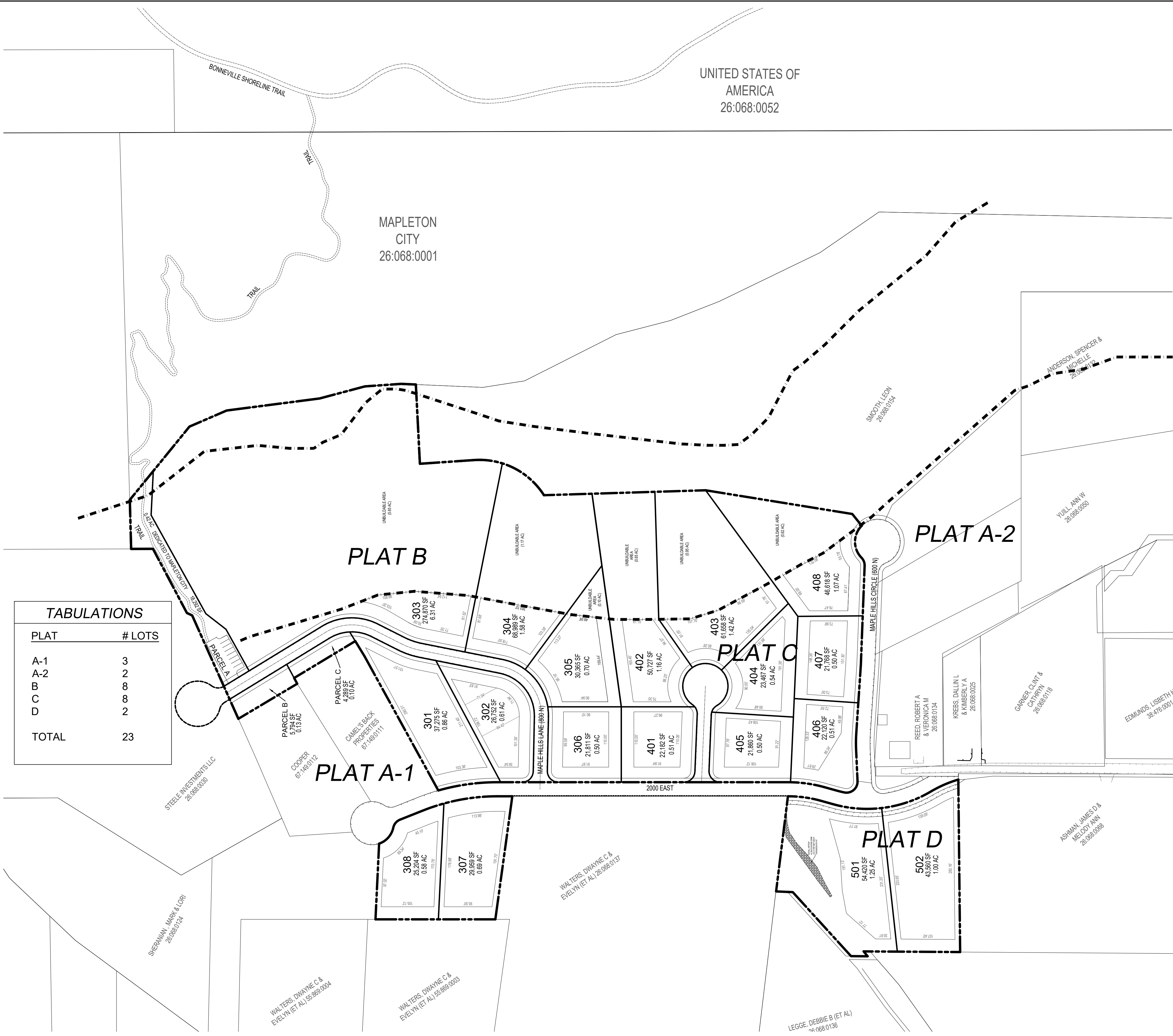
8. PIPES ENTERING BOXES SHALL BE CONCRETED ON THE OUTSIDE AND GROUTED ON THE INSIDE.

SHEET INDEX

C0	COVER
C1	PRELIMINARY SUBDIVISION LAYOUT
C2	OVERALL UTILITY PLAN
C3	OVERALL GRADING PLAN
D1-D3	CONSTRUCTION DETAILS

LOCATION OF PROJECT

VICINITY SKETCH
SCALE: 1"=1000'



DEVELOPMENT

MAPLE HILLS ESTATES

DEVELOPER

PATTERSON HOMES
www.phutah.com

11038 N. Highland Blvd Suite 100
Highland, UT 84003
(801) 642-0119

North Arrow and Scale: 1"= 100'

berg
CIVIL ENGINEERING

11038 N Highland Blvd Suite 400
Highland Ut, 84003
Office (801) 492-1277
cell (801) 616-1677

REVISIONS			SEAL
NO.	DATE	DESCRIPTION	
1			
2			
3			
4			
5			
6			
ACTION			DATE
PRELIM			8/11/2023

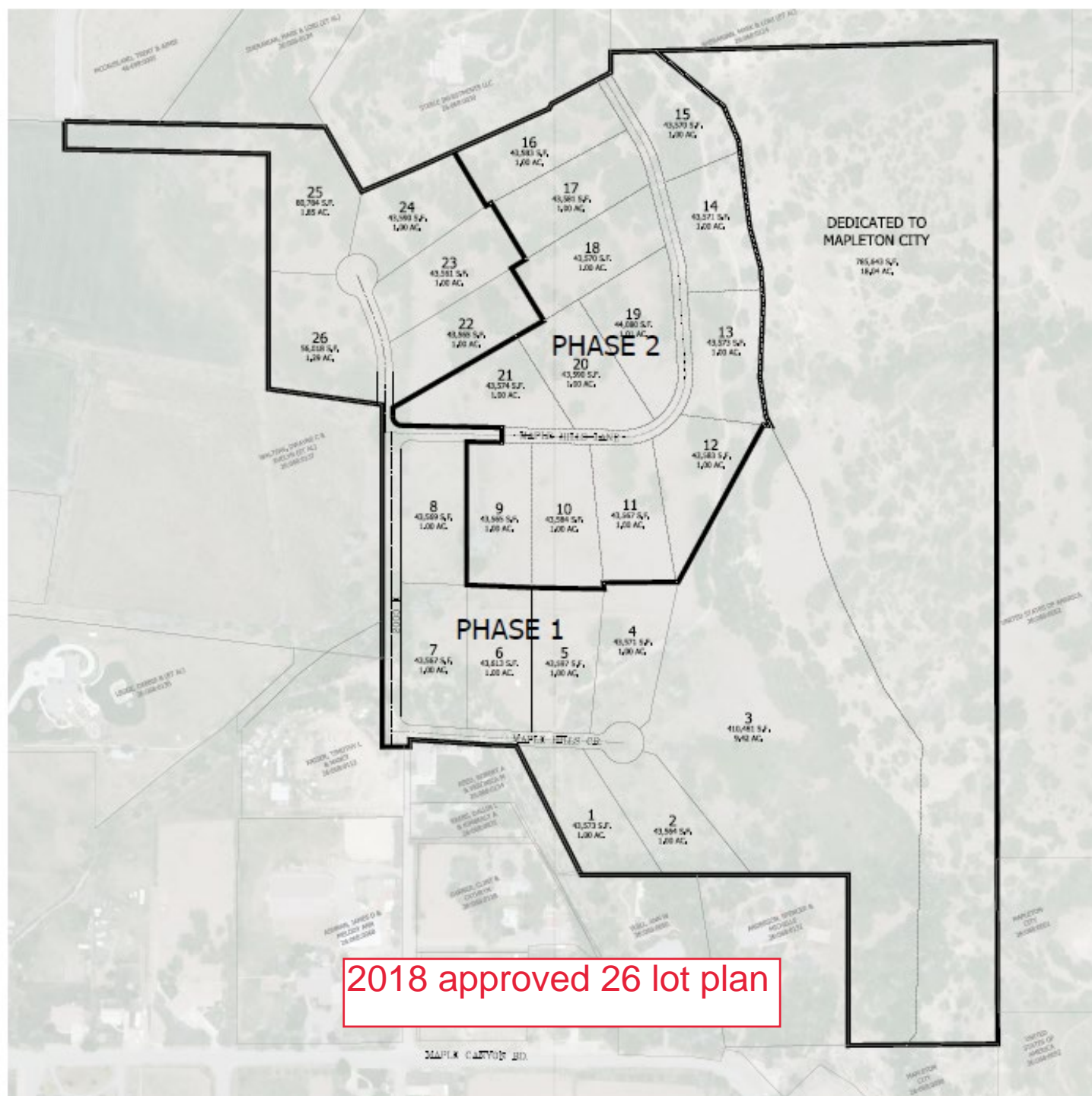
PROJECT

MAPLE HILLS ESTATES

DESCRIPTION

REVISED PRELIMINARY PLANS

SHEET NAME	SHEET NUMBER
COVER	C0



Existing Zoning

Green = A-2

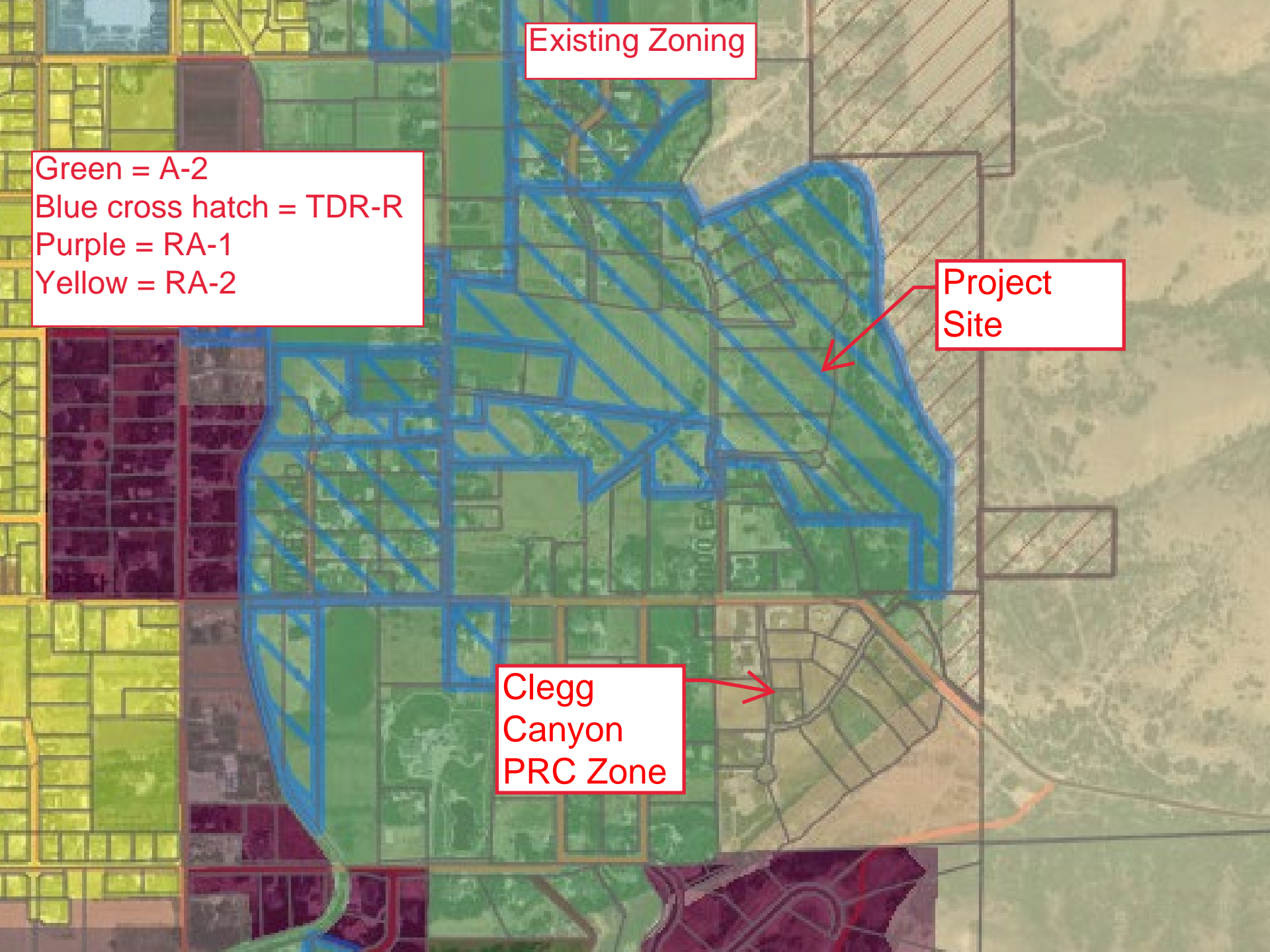
Blue cross hatch = TDR-R

Purple = RA-1

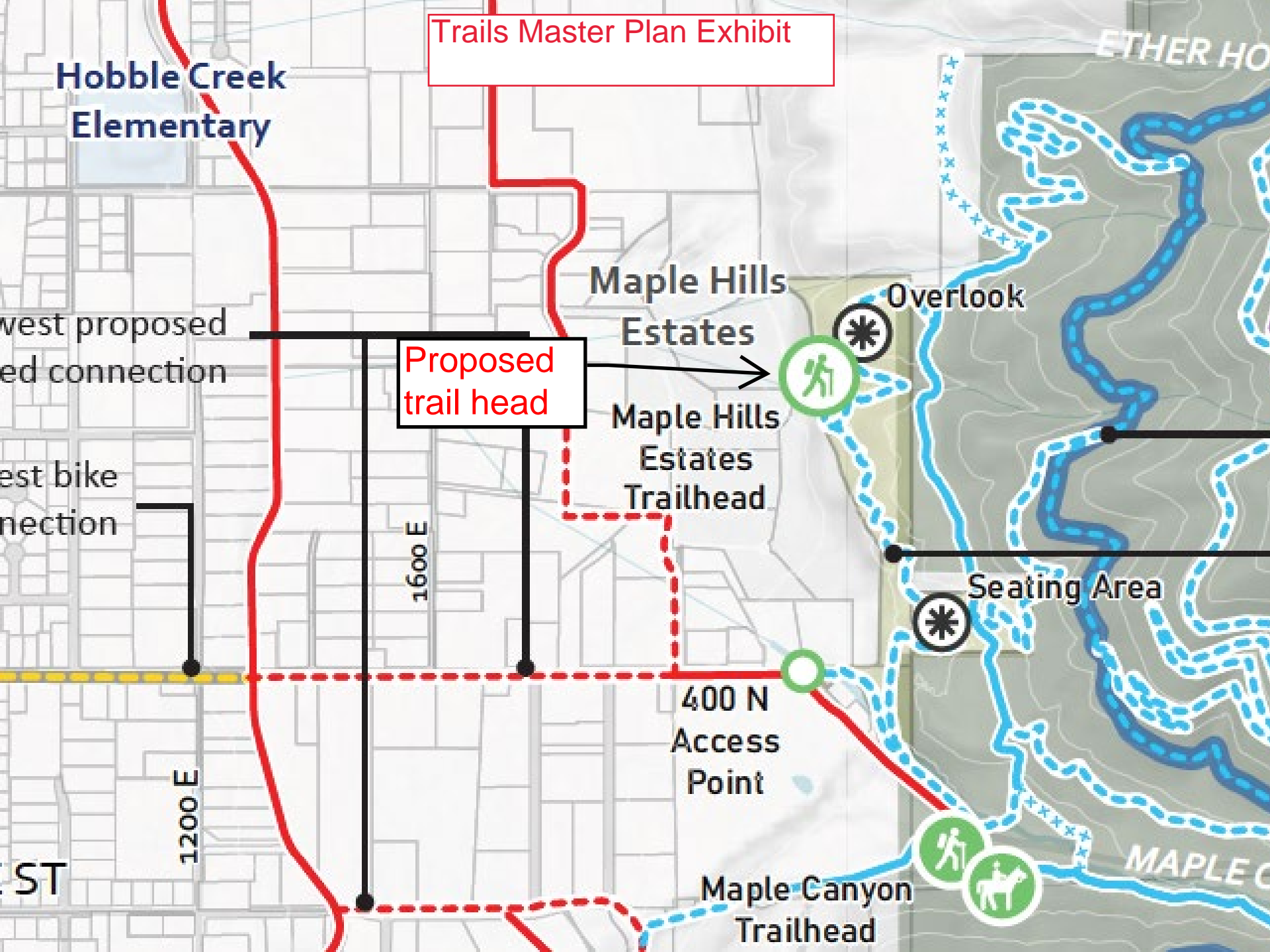
Yellow = RA-2

Project
Site

Clegg
Canyon
PRC Zone




Trails Master Plan Exhibit




Mapleton/Patterson Trail

Proposed Trail Alignment

Legend

 Bench

 Mapleton Patterson Trail

Existing forest
service trail

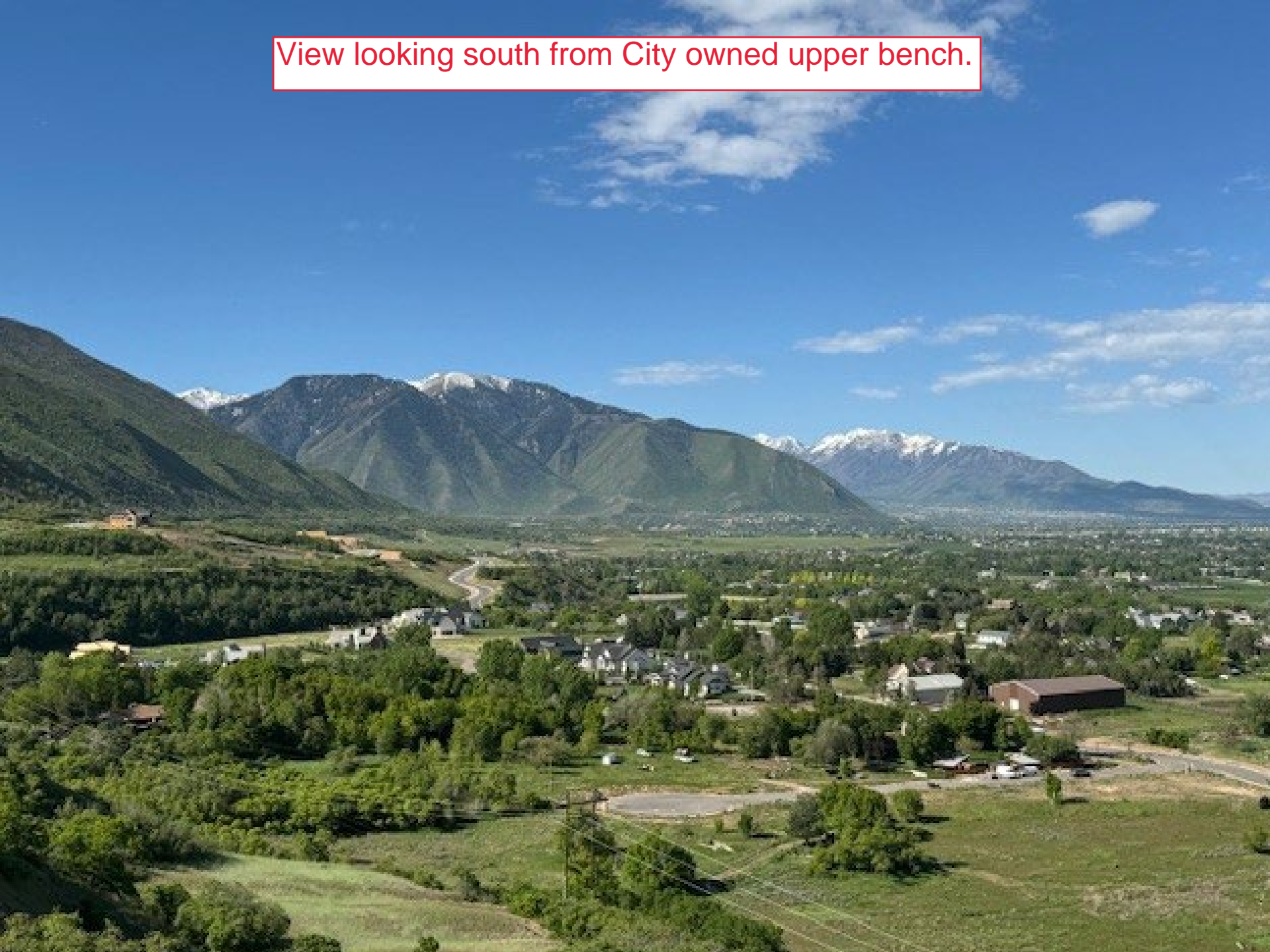
Bench



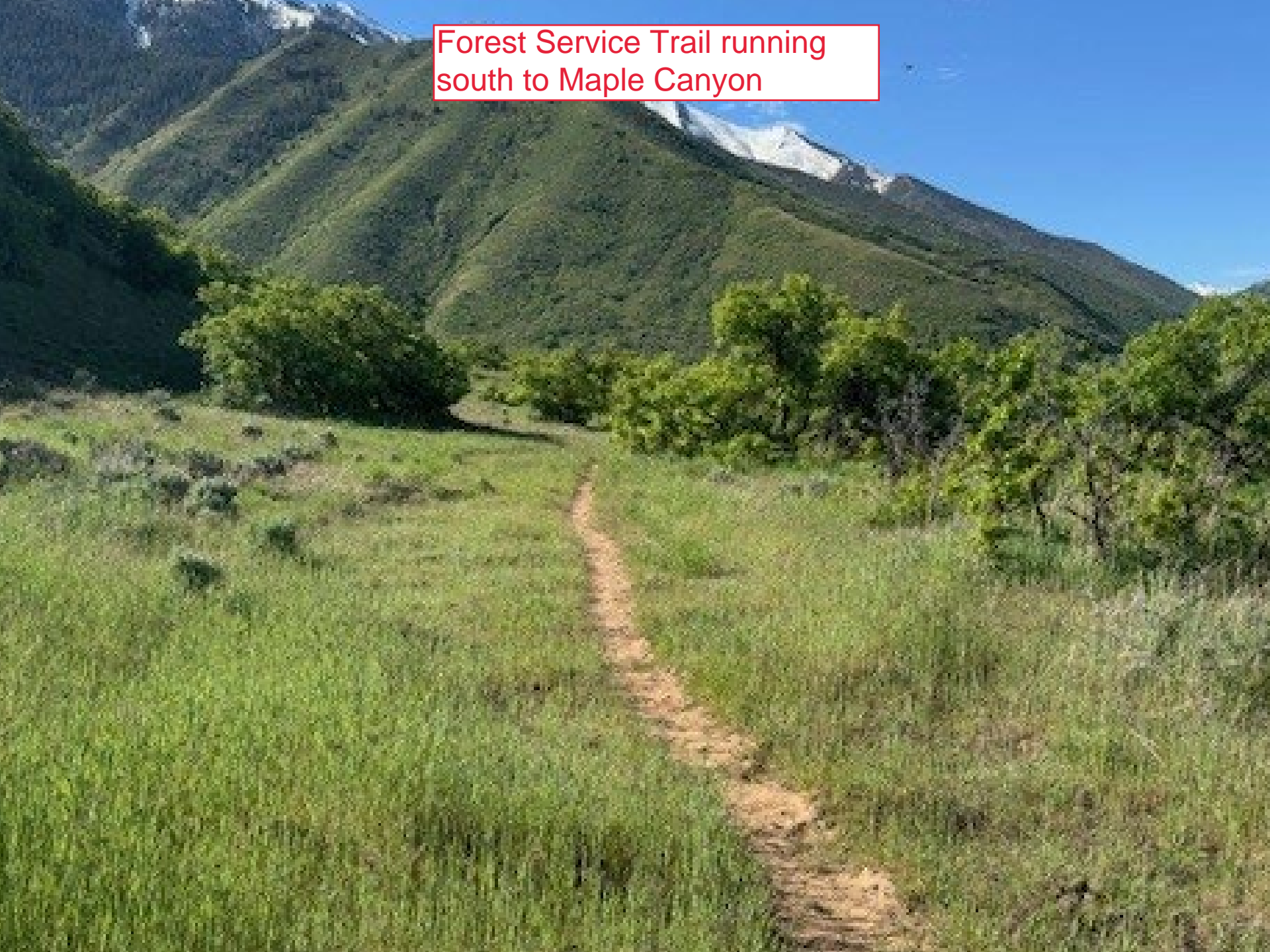
City owned
23 acres



View looking south from City owned upper bench.



Forest Service Trail running
south to Maple Canyon



**Attachment “2”
Proposed PRC-9 Zoning Text**

**Chapter 18.82J
MAPLE HILLS SUBDIVISION, PLANNED RESIDENTIAL COMMUNITY (PRC-9)
ZONE**

18.82J.010: NAME AND PURPOSE:

18.82J.020: PERMITTED USES:

18.82J.030: PERMITTED ACCESSORY USES:

18.82J.040: CONDITIONAL USES:

18.82J.050: DENSITY:

18.82J.060: LOT STANDARDS:

18.82J.070: BUILDING SETBACKS:

18.82J.080: BUILDING HEIGHT:

18.82J.090: PARKING AND DRIVEWAY REQUIREMENTS:

18.82J.100: OPEN SPACE PROTECTION:

18.82J.110: STREET DESIGN:

18.82J.120: TRAIL HEAD AND TRAIL ACCESS

18.82J.010: NAME AND PURPOSE:

The name of this zone shall be the Maple Hills subdivision PRC-9 zone. The purpose of this zone is to create an attractive residential subdivision that respects Mapleton’s rural heritage and desire for access to the Maple Mountain Bench by providing a mix of lot sizes, protected open space and a public trail.

18.82J.020: PERMITTED USES:

One single-family dwelling per lot.

Parks and/or open space.

Temporary structures necessary for sales and/or construction activities, subject to subsection [18.84.200B](#) of this title.

18.82J.030: PERMITTED ACCESSORY USES:

Permitted accessory uses include:

The raising, care and keeping of limited numbers of livestock and fowl, excluding swine and roosters, for family food production or recreation. Also barns, corrals, pens and coops and other structures for the care and keeping of domestic livestock and fowl, subject to the following:

A. The number of animals kept shall not exceed one animal unit for each twenty thousand (20,000) square feet of lot area.

B. No structure for the housing of livestock or fowl or corrals for the close confinement of livestock shall be located closer than one hundred feet (100') to an existing dwelling on an adjacent lot or fifty feet (50') to such a dwelling on the same lot.

Home occupations subject to section [18.84.380](#) of this title.

Owner occupied accessory apartments subject to section [18.84.410](#) of this title.

18.82J.040: CONDITIONAL USES:

None

18.82J.050: DENSITY:

The base density for the zone is thirteen (13) residential lots. The density may be increased up to a maximum of twenty-three (23) lots with the use of Transferable Development Right (TDR) certificates. One certificate shall be required for each lot above thirteen (13).

18.82J.060: LOT STANDARDS:

To create variety within the subdivision, there shall be a mix of lot sizes. However, in no case shall a lot be smaller than twenty thousand (20,000) square feet with eighty (80) feet of frontage on a public road.

18.82J.070: BUILDING SETBACKS:

A. Main Building:

1. Front yard/garage setback: No less than twenty five feet (25') measured from the property line to the foundation of the home. For homes that have garage doors that face the street, the garage shall be set back a minimum of twenty feet (20') from the back of any trail or sidewalk.
2. Corner lot side yards: Measured the same as the front yard.
3. Rear yard setback: No less than twenty-five feet (25') measured from the rear property line to the foundation of the home.
4. Side yard setback: No less than ten feet (10') measured from the property line to the foundation of the home.

B. Accessory Building: Accessory building shall be subject to section [18.26.020](#) of this title.

C. Projections Into Yards: The following structures may be erected on or projected into any required yard:

1. Necessary appurtenances for utility service.
2. The structures listed below may project into a minimum front or rear yard not more than four feet (4'), and into a minimum side yard not more than two feet (2'):
 - a. Cornices, eaves, belt courses, sills, buttresses, or other similar architectural features.

- b. Fireplace structures and bays, provided that they are not wider than eight feet (8') measured generally parallel to the wall of which they are a part.
- c. Stairways, balconies, door stoops, fire escapes, awnings, and planter boxes or masonry planters not exceeding twenty four inches (24") in height.

18.82J.080: BUILDING HEIGHT:

All buildings and structures shall not exceed two (2) stories with a maximum height of forty feet (40') as defined in section [18.08.170](#) of this title.

18.82J.090: PARKING AND DRIVEWAY REQUIREMENTS:

A single-family dwelling shall provide at least four (4) off street parking spaces. At least two (2) of the spaces shall be located in an attached or detached garage that is fully enclosed. All dwelling units shall have a driveway made of hard surface material no less than twelve feet (12') in width.

18.82J.100: OPEN SPACE PROTECTION:

The final subdivision plat shall identify the non-buildable areas for habitable structures as recommended in the final surface fault rupture hazard study. The trail head and trail discussed in subsection 120 below shall also be dedicated to the City for trail access and open space.

18.82J.110: STREET DESIGN

The project shall utilize the City's country lane street cross section with no curb, gutter or sidewalk to maintain a rural appearance.

18.82J.120: TRAIL HEAD AND TRAIL ACCESS

The developer shall construct a trail head consisting of a paved access road and at least eight (8) parking stalls. The developer shall also construct a natural surface trail leading from the trail head up to the top of the bench. The final subdivision plat shall include the final layout and cross section of the trail. Once completed, the trail and trail head will be maintained by Mapleton City in perpetuity.

Attachment "3"

MAPLETON CITY CITY COUNCIL MINUTES NOVEMBER 15, 2023

PRESIDING AND CONDUCTING:	Mayor Pro Tem Jones
Members in Attendance:	Kasey Beck Reid Carlson Jessica Egbert Therin Garrett Leslie Jones
Staff in Attendance:	Cory, Branch, City Administrator Sean Conroy, Assistant City Administrator/Community Development Director Rob Hunter, Public Works Director/City Engineer John Jackson, Public Safety Director/Police Chief Logan Miner, Parks and Recreation Director Bryce Oyler, Finance Director
Minutes Taken by	Camille Brown, City Recorder

The items may not have been heard in the order below.

Mayor Pro Tem Jones called the meeting to order at 6:00 p.m. Cl. Beck gave the invocation and Cl. Garrett led the Pledge of Allegiance.

PUBLIC FORUM:

Bliden Loudenstock, resident of Orem shared his positive experience with Mayor Hakes, praising his selflessness. He highlighted the mayor's support for 2023 State Champion of Maple Mountain High School's volleyball team, even though the school technically falls outside the city's jurisdiction.

Don Garlitz raised his concerns about the proposed changes to the Maple Hills subdivision layout. The primary worry is that the reduction in lot sizes may lead to decreased property values in the area.

Mike Jorgensen had the same concerns about the proposed changes.

CONSENT AGENDA

Item 1. Approval of City Council meeting minutes- November 1, 2023

Item 2. Consideration of a Resolution to approve the contract modifications for the additional design and construction engineering management for Horrocks on the Mapleton Canyon Springs Redevelopment and Chlorine Building. **Resolution No. 2023-37**

Motion: Cl. Garrett moved to approve the consent agenda as presented.

Second: Cl. Carlson seconded the motion.

Vote:

Cl. Carlson	Yes
Cl. Egbert	Yes
Cl. Beck	Yes
Cl. Jones	Yes

Cl. Garrett Yes
Vote: Passed 5:0

ACTION ITEM:

Item 3. Presentation of the fiscal year 2022-2023 Audit Report

Bryce Oyler, Finance Director, turned the time over to Greg Ogden, Auditor, who reviewed the audit with the City Council and reviewed the findings.

Motion: Cl. Egbert moved to approve a Resolution accepting the 2022-23 audit report as presented.

Second: Cl. Carlson seconded the motion.

Vote:

Cl. Egbert Yes
Cl. Beck Yes
Cl. Jones Yes
Cl. Garrett Yes
Cl. Carlson Yes
Vote: Passed 5:0

Resolution No. 2023-38

DISCUSSION ITEM:

Item 4. Discussion item to review revised concepts for the Maple Hills Subdivision

Sean Conroy, Assistant City Administrator/Community Development Director reviewed the staff report for those in attendance. There were discussions related to potential modifications to the Maple Hill subdivision, prompted by the identification of fault lines impacting the original development plan. Patterson Homes, the applicant, presented two conceptual layouts aimed at addressing the situation. The primary focus was on proposing a rezoning to Planned Residential Cluster (PRC), offering flexibility in lot sizes.

The presentation highlighted the significance of a trailhead location in alignment with the city's trails master plan. The council members engaged in a discussion regarding the fault lines, the practicality of the proposed trailhead, and the implications of rezoning to PRC. Questions were raised about the recommended setbacks from fault lines and the potential need for earthquake-resistant construction. Concerns were expressed about the impact on existing lot owners who had purchased with different expectations. The Council emphasized the importance of honoring the investments made by these landowners. While they expressed openness to the idea of PRC zoning, they were cautious about the specific configurations proposed in the presented concepts.

The applicant clarified the recommendations from geotechnical studies regarding setbacks and the nature of construction requirements. Patterson Homes also acknowledged the concerns of existing lot owners and committed to working with them.

Council members, while indicating general support for the concept of PRC zoning to address the unique challenges posed by fault lines, emphasized the need for further refinement in the proposed layouts. They highlighted the importance of considering existing owners' perspectives and ensuring that the changes align with the overall vision for the area.

The discussion would continue during the formal application process. The applicant sought feedback and collaboration in working through the challenges presented by the fault lines and existing landowners' expectations. The council acknowledged the need for creative solutions and expressed a commitment to addressing concerns in subsequent stages of the application.

MAYOR, COUNCIL AND ADMINISTRATIVE REPORTS:

Cl. Carlson stated that Solid Waste tour is set up for two different dates and times.

Cl. Egbert discussed the legislative audit on housing policy, highlighting findings and recommendations. Concerns are raised about potential impacts on local government authority.

Cl. Garrett added that he wanted to thank everyone that participated in the Fall Cleanup.

Bryce Oyler stated that there would be budget amendments in January.

Logan Miner reminded the council of the Lights On event on November 27th at 6:00 pm. His staff has come up with the idea of having a Christmas Tree bonfire in January. They have heard of other cities having the event. It would be called Burn Bright. It would be on our vacant lot at the corner of 400 North and 300 West. They will look at all aspects of safety and environmental.


Chief Jackson discussed last Tuesday's first community event and it went well. The Maple Mountain High School Volleyball team took state and they had a parade that went through Mapleton and then down to Spanish Fork.

Motion: Cl. Garrett moved to adjourn the meeting.

Second: Cl. Beck seconded the motion.

Vote: Passed unanimously at 6:51pm

APPROVED: December 6, 2023



Camille Brown, City Recorder

Attachment "4"
Correspondence

Hello Sean

This is Michael Jorgensen one of the owners in Maple Hills development. Back at the end of the year (2023) I shared some concerns with their plan being proposed at that time.

I wanted to let you know my 2 concerns (layout of the lots behind my property and lots directly to the south) have been addressed with their current plan being proposed.

Let me know if you have any questions.

Thanks

Mike