

**HEBER CITY CORPORATION
75 North Main Street
Heber City, UT 84032
Planning Commission Meeting**

May 28, 2024

6:00 p.m. – Regular Meeting

-Time and Order of Items are approximate and may be changed as Time Permits-

Public notice is hereby given that the monthly meeting of the Heber City Planning Commission will be in the Heber City Office Building, 75 North Main, South door, in the Council Chambers upstairs.

1. Regular Meeting:

- I. Call to Order
- II. Roll Call
- III. Pledge of Allegiance: By Invitation
- IV. Prayer or Thought: By Invitation
- V. Recuse for Conflict of Interest

2. Consent Agenda:

- I. 04.09.2024 & 04.23.2024 Minutes for Approval

3. Action Items:

- I. Airport T-Hangar Site Plan, located at 620 W. Airport Road (Planner Woodbury/Engineer Hansen)

4. Work Meeting: N/A

5. Administrative Items: N/A

6. Adjournment:

Ordinance 2006-05 allows Commission Members to participate in meetings via telecommunications media.

In accordance with the Americans with Disabilities Act, those needing special accommodations during this meeting or who are non-English speaking should contact Meshelle Kijanen at the Heber City Offices at 435.657.7898 at least eight hours prior to the meeting.

Posted on 05.23.2024, in the Heber City Municipal Building located at 75 North Main, the Heber City Website at www.heberut.gov, and on the Utah Public Notice Website at <http://pmn.utah.gov>. Notice provided to the Wasatch Wave.

1 HEBER CITY CORPORATION
2 75 North Main Street
3 Heber City, UT 84032
4 Heber City Council Meeting
5 April 9, 2024

6 **DRAFT Minutes**

7 **6:00 p.m. – Regular Meeting**

8 **1. Regular Meeting:**

9 I. Call to Order

10 As Chairman Gunn and Vice Chairman Richards were absent, the Planning
11 Commissioners voted for a pro-temp Chairperson. Commissioner Slagowski nominated
12 Josh Knight to chair the meeting. Commissioner Wilson made a 2nd to the motion. All
13 voted Aye.

14 Pro-Temp Chairman Knight called the Planning Commission Meeting to order at 6:07
15 p.m. and welcomed everyone present.

16 II. Roll Call

17 **Planning Commission Present:**

18 Commissioner Phil Jordan
19 Pro-Tem Chair Josh Knight
20 Commissioner Tori Broughton
21 Commissioner Darek Slagowski
22 Commissioner Robert Wilson
23 Commissioner Greg Royall

24 **Planning Commission Absent:**

Chairman Dennis Gunn
Vice-Chairman Dave Richards
Substitute Commissioner Jami Hewlett

27 **Staff Present:**

28 Community Development Director Tony Kohler
29 Planning Manager Jamie Baron
30 Planner Jacob Roberts
Planning Office Admin Meshelle Kijanen

31 **Staff Participating Remotely:** Commissioner Phil Jordan

32 **Also Present:**

Shelton Taylor, Lynn Baum Mesia Swan

33 III. Pledge of Allegiance: By Invitation
34

1 Commissioner Robert Wilson led the recitation of the Pledge of Allegiance.

2 IV. Thought/Prayer: N/A

3 V. Recuse for Conflict of Interest: N/A

4

5 **2. Consent Agenda:**

6 I. 03.12.2024 Minutes Approval

7 **Motion:** Commissioner Phil Jordan moved to approve the items on the Consent
8 Agenda. Commissioner Royall made the second.

9 **Discussion:** N/A

10 **Voting Yes:** Commissioner Slagowski, Commissioner Knight, Commissioner Jordan,
11 Commissioner Wilson, Commissioner Broughton, and Commissioner Royall.

12 **Voting No:** None. The Motion Passed 6-0.

13

14 **3. Action Items:**

15 I. * Cancelled A Zoning Amendment for 167 West Center Street to rezone the
16 property from RC (Residential Commercial) to C-3 (Central Commercial)
17 (Planner Denna Woodbury). Item will return on the 23rd of April.

18 **4. Work Meeting:**

19 I. Amendment to the Heber City Annexation Policy Plan (Planner Tony Kohler)

20 Planner Kohler explained this agenda item. He said the State required all cities to
21 adopt an annexation plan, and shared a map which showed what the municipalities
22 in their valley looked like, and also shared their current annexation policy plan. He
23 explained the proposed amendment was about the map on the plan, and highlighted
24 areas on the map which were out of date since they had done annexations in the
25 North Village.

26 Planner Kohler then explained the process for amending the annexation policy plan.
27 He stated they needed to hold a public meeting in which the affected entities were
28 invited to attend, which in this case were the Special Services District and the
29 County. He noted that the County was not present that evening, but that was okay
30 because the next step would be a public hearing with the County. He also noted the
31 property owners were in attendance at that evening's meeting.

32 Planner Baron briefly overivied the two properties that were in question and
33 oriented the Council to their location and size. Planner Baron explained that one of
34 the landowner's property had been cut in half with a previous annexation and the
35 family had requested that their entire property be included in the City. He then

1 explained the other property was not located in either district, but would instead use
2 septic tanks so there would be no reason to modify the Special Services district
3 zone.

4
5 Pro-Tem Chair Knight asked if either of the property owners wished to speak.

6 Shelton Taylor spoke on behalf of the Welberg property. He recalled they had
7 discussed a proposal for multiple lots within the property at a previous work meeting,
8 and updated the Commission that was no longer the plan. Instead, he said there
9 would be one large home on each of the two parcels that would both be priced
10 somewhere in the millions. He confirmed that the homes would be serviced by
11 septic tanks, and said there would be sufficient ingress and egress points for
12 emergency service vehicles. He summarized there was no impact to the City since
13 all utilities would be private. Mr. Taylor reported that the owner of the property was
14 in talks with one potential buyer of a home, and stated there would be no further
15 development on the property beyond the residential homes. He asked if there were
16 any questions.

17 Pro-Tem Chair Knight thought it was great that so much of the land would be
18 preserved with this new plan and asked if the other applicants wished to speak.

19
20 Lynn Baum discussed his family had been in this part of Utah for several generations
21 and had deep roots in Heber. He explained his goal was to get all of his land
22 incorporated into Heber so they could work with it in the future, although they did not
23 have any specific lands right now. He said the City had missed four acres in total.

24
25 Pro-Tem Chair Knight summarized these items were fairly straightforward and
26 mostly had to be done as a formality. Planner Kohler said the public hearing could
27 be held at the next meeting, and said notice just had to be posted 14 days in
28 advance of the meeting.

29 30 **5. Administrative Items:**

31 I. City Council Communication Item

32 Planner Baron reported on the last City Council meeting, but firstly commented that
33 High Valley Transit was building workforce housing above their offices. Planner Baron
34 opined this was great and wondered if there was potential for a partnership with Habitat
35 for Humanity or another non-profit.

36 Planner Baron reported there had been a discussion about Celebration Workforce
37 Housing, though no decisions had been made. He said they were still moving forward
38 with a long term hotel in addition to the housing. Planner Baron also touched on the
39 North Village Crossing annexation, and shared a map which highlighted the area in
40 question. He said this annexation had been on the books for a long time and they were
41 finally moving on it. He added that the Mayor's award had been given out to their Code
42 Enforcement Officer. He then announced there was an upcoming Spring Cleanup

1 event. Lastly, he reported the Council had put the cemetery project out for bid and the
2 bids had come back much higher than they had anticipated, so they were now deciding
3 what their other options were to move forward while staying closer to their intended
4 budget.

5

6 **6. Adjournment:**

7 **Motion:** Commissioner Slagowski moved to Adjournment. Commissioner Wilson made
8 the second.

9 **Discussion: N/A**

10 **Voting Yes:** Commissioner Slagowski, Commissioner Knight, Commissioner Jordan,
11 Commissioner Wilson, Commissioner Broughton, Commissioner Royall.

12 **Voting No:** None. The Motion Passed 6-0.

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Meshelle Kijanen, Administrative
Assistant

1 HEBER CITY CORPORATION
2 75 North Main Street
3 Heber City, UT 84032
4 Heber City Council Meeting **Amended**
5 April 23, 2024

6 **DRAFT Minutes**

7 **6:00 p.m. – Regular Meeting**

8 **1. Regular Meeting:**

9 I. Call to Order

10 Chairman Gunn called the Planning Commission Meeting to order at 7:06 p.m. and
11 welcomed everyone present.

12 II. Roll Call

13 **Planning Commission Present:** Chairman Dennis Gunn

14 Vice-Chairman Dave Richards

15 Commissioner Phil Jordan

16 Commissioner Jami Hewlett

17 Commissioner Tori Broughton

18 Commissioner Darek Slagowski

19 Commissioner Robert Wilson

20 **Planning Commission Absent:** Commissioner Josh Knight

21 **Staff Present:** Community Development Director Tony Kohler
22 Planner Jacob Roberts
23 Planning Office Admin Meshelle Kijanen
24 City Engineer Ross Hansen

25 **Also Attending:** Rick Magness and three others.

26 **Staff Participating Remotely:** Planning Consultant Deena Woodbury

27 **Also Attending Remotely:** Three, names not shown

28
29 III. Pledge of Allegiance: Commissioner Phil Jordan led the recitation of the
30 Pledge of Allegiance.

31 IV. Recuse for Conflict of Interest: N/A

32 V. Prayer or Thought: Commissioner Dave Richards offered a prayer.

33 **2. Consent Agenda:**

1 I. 03.26.2024 Minutes for Approval

2 **Motion:** Commissioner Jordan moved to approve the items on the Consent Agenda.
3 Commissioner Broughton made the second.

4 **Discussion: N/A**

5 **Voting Yes:** Commissioner Gunn, Commission Vice-Chair Richards, Commissioner
6 Slagowski, Commissioner Jordan, Commissioner Broughton, Commissioner
7 Hewlett.

8 **Voting No:** None. The Motion Passed 7-0.

9 **3. Action Items:**

10 I. A Public Hearing to consider the approval of a Development Agreement for the
11 construction of a multi-tenant sign at 744 North Main Street. (Kohler)

12
13 Planner Tony Kohler presented this item. He stated that the Code allowed for a “rural
14 iconic sign,” and mentioned some signs around town which fit that standard. He said
15 this proposed sign did not quite fit the description of “iconic” though it did match the
16 surrounding architecture. Planner Kohler indicated he had visited with the applicants,
17 who had shown him the intended site where the signs would be located. He said this
18 would be a development agreement if permitted since it was not in accordance with
19 their usual Code, and as such a public hearing was required. He stated the sign was
20 originally intended to be 20 feet tall, and the Staff had asked for the size to be reduced.
21 He opined that the agreement should limit both the size and number of signs that were
22 allowed. He indicated a representative was present that evening to answer any
23 questions and invited him to speak.

24 Rick Magness of AWA Engineering introduced himself and said AWA was the
25 consultant for all Smith’s Market Place locations. He thought this proposal was a good
26 idea and explained centers like this one utilized signage to create a sense of place. He
27 pointed out how people looked for prices to be listed on the monument signs. He
28 agreed they needed to mitigate a sense of “clutter” in areas that had a lot of monument
29 signs, so it was better to have centralized multi-tenant signs. He noted they had
30 reduced the height down to 20 feet from 25 feet, and expressed it was important that
31 the square footage remain the same, at 132.5 square feet. He emphasized that the
32 sign would use the same material and colors of the surrounding buildings. He pointed
33 out one multi-tenant sign would create less signage than having multiple monument
34 signs. Mr. Magness said they had drafted a development agreement and concurred
35 with all that Planner Kohler had said. He also thanked Staff for their work on this item.

36 Commissioner Phil Jordan asked if each tenant was going to use the same font. Mr.
37 Magness said the fonts on the individual tenant’s signs might deviate and they could
38 also add their logos if they wanted to, though the lighting would remain the same.
39 Commissioner Jordan asked if their commercial brand could go in the sign and Mr.
40 Magness said they could do that if they wished. Planner Kohler added that the City
41 could not limit what colors and fonts individual businesses used to advertise. Planner
42 Kohler said they leaned on Master Plan developers to keep things consistent, so having

1 Smith's Market Place be in charge of the sign would actually be a great help to the City
2 to keep signage in order.

3 Mr. Magness clarified there would be four tenant spaces currently, though if they did
4 add another one they would keep the overall size of the sign the same and just reduce
5 the amount of space that each tenant received. Commissioner Jordan agreed that six
6 monument signs would be more cluttered than one multi-tenant sign.

7 Commissioner Jami Hewlett asked what the current height restriction was and Planner
8 Kohler replied that it was ten feet tall for monument signs. Planner Kohler added the
9 Council had capped the rural iconic signs at 50 square feet although there was no
10 parameter on specifically how tall or wide they could be. Planner Kohler discussed
11 these signs did not really fit the designation of rural iconic signs, however. He also
12 provided some background on the Council's previous decisions about sign restrictions
13 in Heber.

14 Planning Office Admin Meshelle Kijanen read the rules for public comments.

15 There were no comments in person or online, so Chairman Dennis Gunn closed the
16 public hearing.

17 Chairman Gunn opined that he liked the updates and was glad they had gotten rid of
18 the monument signs. Commissioner Jordan asked about the Dark Sky ordinance, and
19 Planner Kohler said the staff needed to look into that further. Chairman Gunn pointed
20 out the letters were backlit and asked if that was dark sky-compliant. Planner Kohler
21 discussed that lights could be dimmed after a certain time of night, and said this was
22 done on signs in other parts of town. Planner Kohler said the other main component of
23 the Dark Sky ordinance was that lights could not shine straight up, and he pointed out
24 these lights did not.

25 Mr. Magness explained that although the kiosks were open 24/7, they were only
26 manned by staff until 11 PM. He elaborated how LED lighting allowed them to control
27 the distance that the light reached to a much greater extent. He said the lights made
28 people feel safe, although the lighting did not extend far beyond the gas station. He
29 also stated the backlight was the best way to control the lighting in terms of the Dark
30 Sky ordinance. Mr. Magness noted that Smith's sign had raised backlit lettering.

31 Planning Commission Vice-Chair Dave Richards expressed his approval of this plan.
32 He noted that in the past, signage had been a contentious issue and he thought this
33 was a good compromise. He thought they needed to give Smith's enough lateral
34 movement, and agreed it was important to make gas stations easily identifiable to
35 people driving at night.

36 Commissioner Tori Broughton thought this was fairly straightforward. Commissioner
37 Jordan also thought this was a good plan and expressed that he appreciated the size of
38 the setback as well.

39 **Motion:** Planning Commission Vice-Chair Richards moved to a positive
40 recommendation to consider the approval of a Development Agreement for the
41 construction of a multi-tenant sign at 744 North Main Street, with the findings and
42 conditions as outlined in the conclusion. Commissioner Broughton made the second.

43 **Discussion:** Planner Kohler clarified that the findings and conditions would not be in
Heber City Planning Commission DRAFT MINUTES April 23, 2024

1 the conclusion in the Staff report. Planning Commission Vice-Chair Richards noted
2 that he was having trouble viewing the Staff Report in its entirety due to some technical
3 troubles, and as such could not view all the findings and conditions as they were
4 written out. Commissioner Broughton noted the same issue.

5 Commissioner Jordan also pointed out that the Staff Report indicated this sign would fit
6 the description for rural iconic signs, and asked if their conversation was contradictory
7 to that. Planner Kohler said it generally did fit the description for rural iconic signs and
8 the Report was not contradictory.

9 **Voting Yes:** Commissioner Gunn, Planning Commission Vice-Chair Richards,
10 Commissioner Slagowski, Commissioner Jordan, Commissioner Wilson, Commissioner
11 Broughton, Commissioner Hewlett.

12 **Voting No:** None. The Motion Passed 7-0.

13 II. A Zoning Amendment for 167 West Center Street to rezone the property from
14 RC (Residential Commercial) to C-3 (Central Commercial) (Planner Deena
15 Woodbury)

16 Planner Deena Woodbury explained this item and briefly recapped a public hearing
17 which had been held in regard to this item. She recalled that the Planning Commission
18 had previously held a discussion as to where the boundary for this zone should be
19 located, and also held discussion about spot zoning. She explained the proposal met
20 the General Plan for the downtown district. She said the zone allowed for small
21 business as well as residential units with a permitted use permit. Planner Woodbury
22 reported that Staff recommended approval as it met the General Plan, and invited the
23 applicant to speak.

24 Chairman Gunn reminded the Commission that they had held a public hearing about
25 this topic a month ago, and during that meeting there had been a lot of input from the
26 public, so he thought it was appropriate to have the petitioner come and address some
27 questions that had come up at the meeting.

28 Tanner Riedel spoke on the applicant's behalf and said he was a commercial realtor.
29 He reported the family who owned the property had been in Heber for over 20 years and
30 was doing a lot of development. He stated that CenturyLink had converted this space
31 into a commercial office about 20 years ago, and explained the current zone was limiting
32 to the owners, who were interested in redeveloping the space. He acknowledged that
33 there had been a lot of concern about height at the public hearing and he emphasized
34 that they did not intend to go beyond four stories. He said the family did not exactly
35 know what they wanted to do with the property, so they were happy to work with the City
36 and see what they wanted to do with it. He expressed there would be ample room for
37 parking. He lastly noted that the parcel to the east of them had recently been rezoned
38 C3, so they wanted to do the same on their lot.

39 Commissioner Broughton asked why they wanted to rezone now if they did not know
40 what they wanted to do with the property. Mr. Riedel said if they wanted to put
41 apartments in they would need to change the zone, and so rezoning would allow them
42 the option of putting in apartment units. He reiterated they were happy to work with the
43 City, and said their general idea was to put commercial on the ground floor with

1 residential units on the top.

2 Commissioner Richards commented that there had not been a representative there for
3 the public hearing, and commented there had been a lot of concern over height and
4 density. He thought density would be limited because of the small size of the lot, though
5 thought traffic may increase with another residential development. Commissioner
6 Richards spoke about how the Commission often had issues when they allowed a
7 rezone before a development was proposed, and then a developer designed something
8 that the City did not want, though had to allow as long as it was within the parameters of
9 the zone.

10 Commissioner Broughton asked for clarity about the zone. Planner Kohler said there
11 could be a mix of small businesses with residential space as well. Planner Kohler said
12 the Envision Heber plan incorporated this property, and was planned to have a mix of
13 residential and commercial uses. He noted it was a somewhat challenging section since
14 so much of the area was already commercial. Planner Kohler explained zone changes
15 took a long time and this family wanted to get ahead of the zone changes planned in the
16 long term in order to start development on their property. Commissioner Jordan asked if
17 the ultimate vision for the area was to be C3 zone, and Planner Kohler spoke about their
18 plan to have a residential corridor, which would have residences as well as hospitality
19 services.

20 Commissioner Darek Slagowski thought they were currently allowed to have up to three
21 stories in the residential/commercial (RC) zone and Planner Kohler said he would have
22 to check, but thought that was the case. Mr. Riedel pointed out they would not be able
23 to do multi-family homes in the RC zone. Commissioner Slagowski felt that height was
24 not the issue if commercial buildings were allowed to be three stories anyway.
25 Commissioner Slagowski thought the C3 zone might need some adjustments. Planner
26 Kohler said they could do that, though amending a zone was very burdensome as far as
27 public noticing was concerned, and he outlined an alternate process to make changes.

28 Planner Kohler said the C3 zone allowed for four stories only in the event that 10% of
29 the units in the building were affordable, the building included commercial space, and if
30 the building featured a setback. He said not all applicants would want to do that, though
31 said this applicant had mentioned wanting to do mixed-use.

32 Chairman Gunn asked for clarity, since it had been mentioned that the applicant had no
33 specific plan, although they had also discussed mixed-use. Sam Burbage spoke up,
34 and identified that he worked for the development on the architectural and engineering
35 side of things. He explained the developer wanted the C3 zone because they were
36 limited with what they could design in the current zone. Mr. Burbage noted the plat was
37 small, and had an odd feature that stuck out from the rest of the parcel. He said the
38 building plan was based around that feature. Mr. Burbage explained they had not
39 fleshed out a full plan for the development since it was not feasible with the current
40 zone, and explained they wanted to develop something in conjunction with the City.

41 Chairman Gunn said he had not heard any compelling reasons to change the zone
42 other than that it might raise the value of the property. He worried about granting four
43 stories, since even if the current developer did not intend to do that, if they sold the
44 property the new owner might put in four stories. Chairman Gunn said there did not
45 seem to be a firm reason they should grant this, and said he was not in favor of spot
46 zoning. He also pointed out that the neighbors did not want this project. Commissioner

1 Jami Hewlett agreed with all of those points, and added that the street was being
2 designated historical by the Historic Society, and the intended aesthetic of the street
3 was to be reserved and stately. She thought the developer could create something
4 great with the zone they had now.

5 Commissioner Broughton thought they could actually get more control over the zone if
6 they moved to the C3 zone. She pointed out there was more going on in the C3 zone
7 than the residential zone, and so as long as the developer worked with the City then the
8 City would actually have more options to develop the property with C3. She opined that
9 she wanted to see more commercial storefronts on the ground floor of buildings closer
10 to downtown, and thought it would be good to keep developments like this clustered
11 together rather than throughout the City.

12 The owner of the property, Lee Burgidge, pointed out that there were surrounding
13 parcels in the C3 zone, so if they did not allow the rezone it would actually create spot
14 zoning. He thought the City would lose control in the long run if they did not allow the
15 rezone.

16 Planner Kohler pulled up the General Plan and the Envision Heber map. He indicated
17 where the property was located in the original General Plan. Chairman Gunn asked if
18 they wanted forward-change for all upcoming zone changes, rather than pocket zoning.
19 Commissioner Hewlett said they could always build according to the Code that existed
20 at the time. However, Commissioner Hewlett expressed that the parcel should never be
21 zoned C3 since the neighbors did not want it.

22 Planner Kohler read that the Envision Heber Plan listed that there should be a mix of
23 single family homes, retail, restaurant, offices, and hospitality, with features like
24 alleyways and historic structures in the neighborhood mixed-use corridor. Planner
25 Kohler said there was not a zone that encompassed all of that yet, and although they
26 were going to work on that this year, the current closest zone to that was C3. Planner
27 Kohler said if the Commission was worried about height they could request a
28 development agreement that limited it to three feet.

29
30 Commissioner Hewlett pointed out it was not just about height but density as well.
31 Planner Kohler explained the kind of housing that was allowed in C3 included mansion-
32 style homes, which were not particularly dense. He also explained the history of
33 “missing middle” homes, and said there was a whole segment of housing that was
34 needed for returning missionaries, single people, and seniors. Planner Kohler
35 emphasized that there was a great need for that type of housing in Heber.
36 Commissioner Hewlett argued that this type of housing was not effective in Heber, since
37 housing costs were so high that the City was inaccessible to those types of people
38 anyway. Commissioner Hewlett thought they were just increasing density without
39 solving for this missing type of housing.

40 Commissioner Broughton thought mixed use actually lowered density, since the bottom
41 floor was designated for commercial space rather than more housing units.
42 Commissioner Hewlett commented that it was possible with the current zone. Planner
43 Kohler said they actually could not do that with the current zone; multi-family was not
44 allowed in the zone and the commercial possibilities were limited.

45 Commissioner Slagowski asked about a development zone. Chairman Gunn pointed

1 out there would be a lot of debate if a zone was approved. Chairman Gunn discussed
2 that even if they denied this proposal that evening, when the new zone came along they
3 would still have to deal with the issue of height. Chairman Gunn said zones were set up
4 the way they were on purpose, and emphasized that he was not in favor of spot zoning
5 to cater to specific developers. Chairman Gunn recalled at the public hearing there was
6 overwhelmingly negative feedback to this proposal.

7 Planner Kohler thought it would match the General Plan if they wanted to forward a
8 positive recommendation to the Council along with a development agreement that
9 limited the height. He acknowledged it was a hard decision to make and reiterated that
10 a development agreement would effectively limit the height. He outlined the options that
11 the Planning Commission had. He also commented that the Planning Commission was
12 not the final approving body and reminded them that the Council would ultimately have
13 final say.

14 Commissioner Jordan asked to look at a map of the downtown and commented that
15 they were beginning to make significant changes to the downtown area. He said the
16 area that the property was in was part of the historic part of town, though there had been
17 a lot of new developments around the area. Commissioner Jordan was in favor of
18 recommending positive recommendations along with a development agreement. He
19 commented that the downtown was changing, and though they wanted to honor their
20 past they needed to look towards their future. He thought this would come up again
21 even if they denied it that evening. Although he agreed that spot changing was not
22 great, he felt this met the incoming needs of the City. He also pointed out that while the
23 street was historic, the specific area where the property was located was designated as
24 a transition zone.

25 Commissioner Slagowski agreed with Commissioner Jordan. Chairman Gunn said that
26 he understood the concept, but said the applicant was asking for a zone change, not
27 Envision 2050. Chairman Gunn said the only option was to advance it to C3, not
28 making it Envision 2050 and urged the Commissioners to think about what the applicant
29 was asking. Chairman Gunn gave some history about form base code, and spoke
30 about how although the Commission had put a lot of work into that, at some point a
31 previous Commissioner had shut form base code down and made all of that work void.
32 Chairman Gunn cautioned how something like that could happen again with Envision
33 2050. Chairman Gunn stated firmly they should not zone for something that was likely
34 to happen, but was not a certainty.

35 **Motion:** Commissioner Jordan moved to forward a Positive Recommendation for a
36 Zoning Amendment for 167 West Center Street to rezone the property from RC
37 (Residential Commercial) to C-3 (Central Commercial) as presented with findings and
38 conditions, with the additional requirement that a development agreement be put in
39 place that limited the height to three stories. Commissioner Slagowski made the
40 second.

41 **Discussion:** N/A

42 **Voting Yes:** Commissioner Slagowski, Commissioner Jordan, Commissioner
43 Broughton.

44 **Voting No:** Commissioner Gunn, Commissioner Hewlett. The Motion Passed 3-

1 2.

2 Commissioner Robert Wilson did not vote on this item.

3 Chairman Gunn complimented every member who had discussed and voted on
4 the item. He said it was okay to have a dissenting vote and pointed out that was
5 the point of democracy. He acknowledged it had not been easy and thanked all
6 of the Commissioners for participating.

7 **4. Work Meeting:**

8 ~~I *Discuss the process for Central Heber Overlay Zone (Kohler) 5.~~

9 **Administrative Items:**

10 1. City Council Communication Item

11 Planner Kohler reported on the most recent City Council. He firstly noted there had
12 been discussion about a Monument of the Americas. He stated this was just
13 informational; there was no vote about this. He then reported on improvements which
14 had been made to their park standards and specifications. Planner Kohler stated the
15 Mayor's Award had been bestowed on an IT employee, Anthony Beales.

16
17 Planner Kohler announced the County Park Development Agreement had been passed
18 by the Council. Planner Kohler also mentioned the Arts Advisory Committee TAP
19 meeting. Chairman Gunn interjected to explain that an Arts and Parks advisory
20 committee had been put together to come up with a new standard of scoring and review
21 for projects to be funded. Chairman Gunn noted Heber City collected 44% of the tax
22 revenue created from those projects.

23
24 Planner Kohler lastly said Ordinance 2024-09 had passed, and that was all for that
25 meeting. He noted it had been a relatively brief Council meeting.

26
27 Chairman Gunn asked Planner Kohler his thoughts on spot changing and MDAs.
28 Planner Kohler commented he was generally not personally in favor of using
29 development agreements to allow for exceptions. However, he acknowledged the
30 circumstances were different in this case because there was not a better zone in
31 existence for this kind of development. Commissioner Jordan commented that was the
32 reason he had voted the way he had. Commissioner Jordan added that usually, he did
33 not want to allow applicants to make changes to a zone just for one development,
34 though in this case he felt it was in line with the broader changes that Heber wanted to
35 make. Chairman Gunn expressed that although he had not voted in favor of the rezone,
36 he understood the rationale behind it and thought a development agreement was not a
37 bad idea.

38
39 Planner Kohler added he would email the Commissioners a copy of his report.
40 Chairman Gunn reiterated that the Commissioners generally were all in accordance, but
41 said it was important that they were able to have conversations in which they did not
42 agree.

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6. Adjournment: Commissioner Broughton motioned to adjourn. All the Commissioners voted aye and the meeting was adjourned.

Meshelle Kijanen, Administrative Assistant

DRAFT



Planning Commission Staff Report

MEETING DATE: 5/28/2024

SUBJECT: Airport T-Hangar Site Plan, located at 620 W. Airport Road (Planner Woodbury/Engineer Hansen)

RESPONSIBLE: Denna Woodbury

DEPARTMENT: Planning

STRATEGIC RELEVANCE: Community Development

SUMMARY

This item is an agenda item for Site Plan Approval.
 The policy questions include the following:

- Should a Site Plan be approved for the Airport T-Hanger Site Plan?

RECOMMENDATION

Staff recommends that the Planning Commission approve the Site Plan for the Airport T-Hanger site located at 620 W. Airport Road, subject to findings and conditions.

BACKGROUND

G.C. Garcia, Inc. has reviewed the Site Plan application for the Aiport T-Hangar. The proposed project is located at 620 W. Airport Road.

The applicant is proposing to develop a hangar condominium complex consisting of 17 units/hangars on 1.45 acres located on airport property.

DISCUSSION

The location for the Airport T-Hangar Site Plan is shown on the Airport Layout Plan for the Heber Valley Airport as a future hangar area. The proposed hangars will be located in one building that is 60 feet wide, 464 feet long and 22-7 13/16" to the eve height on airport property. The colors and materials of the building will be consistent with other hangars within the airport property, with gray and white metal siding.

18.44.050 Height Requirements

All buildings in the I-1 Industrial Zone shall be limited in height to thirty-five (35) feet. No buildings taller than thirty-five (35) feet shall be permitted in the I-1 Industrial Zone, except as may be approved by the Planning Commission pursuant to approval as a conditional use. Upon application for a conditional use to exceed the thirty-five (35) foot height limitation for developments, the Planning Commission shall consider at a minimum:

- A. Airport land zone height restrictions.
- B. Proximity and distances to residential zones.
- C. Access to solar, air, and light for nearby properties.
- D. Building design (roof height, step downs, eaves).
- E. Roof design and style.
- F. Average heights of adjacent buildings
- G. No increase in building height as allowed via a Conditional Use Permit shall exceed 60

The project does not incorporate any freestanding lights, but will have building lights on each of the hangar units that meet the City Code.

The proposed Airport T-Hangar meets the required setbacks, height, parking, lighting, and landscaping requirements.

FISCAL IMPACT

None.

CONCLUSION

The proposed Airport T-Hangar Site Plan will benefit the community. The Site Plan meets the Airport Layout Plan for the Heber Valley Airport and the City Code and is recommended for approval.

Staff recommends that the Airport T-Hangar Site Plan be approved by the Planning Commission with the following findings and conditions:

Findings

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.
3. The proposed Site Plan shall comply with City ordinances, Federal and State Law, as applicable to the site where the conditional use is located.

Conditions:

1. All requirements of the City Engineer shall be met.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.
4. A notification of approval from the FAA is submitted to the Planning Department prior to the Building Permit being issued.
5. All individual hangars need a backflow prevention device installed.

ALTERNATIVES

Staff Recommended Option - Approval

I move to **approve** Airport T-Hangar Site Plan as presented, with the findings and conditions as presented in the conclusion above.

Alternative 2 - Continuance

I move to **continue** Airport T-Hangar Site Plan to another meeting on , with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

Alternative 3 - DENIAL

I move to **deny** Airport T-Hangar Site Plan with the following findings.

POTENTIAL MOTIONS

ACCOUNTABILITY

Department: Planning
Staff member: Denna Woodbury, Planning Consultant

EXHIBITS

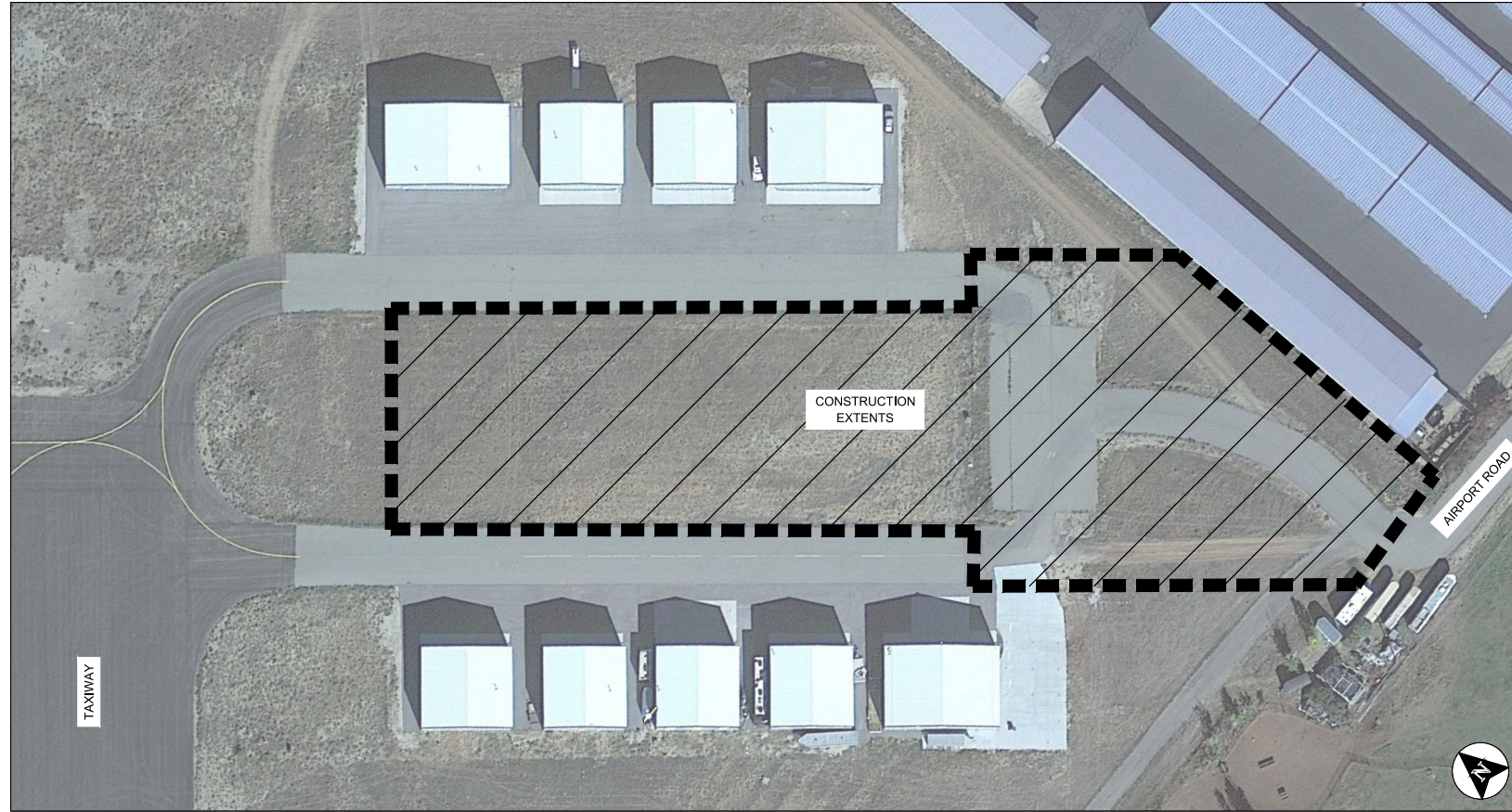
1. Site Plan
2. Elevation
3. Hangar complex colors
4. McElroy color samples
5. Photometric

HEBER CITY, UTAH HEBER VALLEY AIRPORT HANGAR DEVELOPEMENT PROJECT

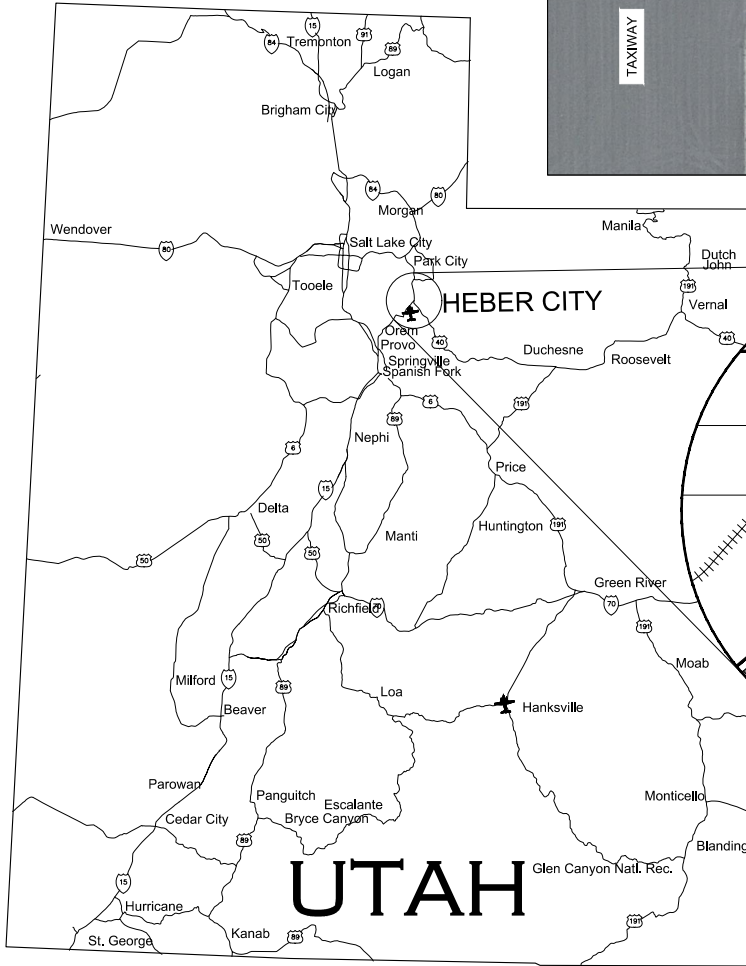
A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SECTION 7
TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE B&M
WASATCH COUNTY, UTAH
2024

811 CALL BEFORE YOU DIG!
CALL DIGLINE INC.
PRIOR TO COMMENCING
UNDERGROUND WORK
DIAL: 811

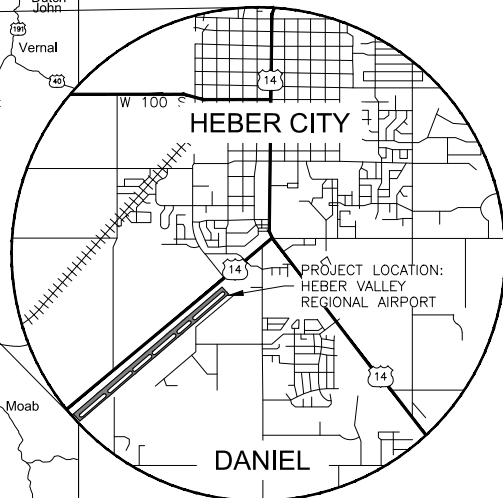
NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN APPROXIMATELY ONLY PRIOR TO CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL UTILITY COMPANIES OF THE CONSTRUCTION SCHEDULE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY OCCUR BY FAILURE TO EXACTLY LOCATE AND PROTECT ALL UTILITIES.



PROJECT SITE MAP
N.T.S.



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

NOTICE TO CONTRACTORS

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HEBER VALLEY AIRPORT, THE FEDERAL AVIATION ADMINISTRATION, AND THE DESIGN CONSULTANT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

UNAUTHORIZED CHANGES & USES: THE DESIGN CONSULTANT PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

**Plans Superseded Previous
Drawing submitted
Date - April 30, 2024**

SHEET INDEX	
Sheet Number	Sheet Title
C1	COVER SHEET
C2	GENERAL NOTES
S1	RECORD OF SURVEY
C3	EXISTING CONDITIONS AND DEMOLITION PLAN
C4	SITE PLAN
C5	GRADING PLAN
C6	GRADING PLAN
C7	UTILITY PLAN
C8	DRY UTILITY PLAN

UNIT ADDRESS'

ALL HANGER WILL USE THE STREET ADDRESS OF 620 W AIRPORT ROAD WITH THE APPROPRIATE UNIT NUMBER T1-T17.

CONTACT INFO

Jeff Peterson
UtahDev Inc.
4710 South 150 West
Murray Utah 84107
801-864-0550

Project Address:
620 W Airport Road T16 Heber Utah
84032.

ARDURRA

Scott Bolton
Sr. Project Manager
65 E. Wadsworth Parkway
Draper Utah 84020
801-435-5502



LEGEND	
— W —	PROPOSED WATER SERVICE
— SEW —	PROPOSED SEWER SERVICE
— X — X —	EXISTING CHAIN LINK FENCE
— [] — [] —	EXISTING IRON FENCE
— [] — [] —	EXISTING EDGE OF PAVEMENT
— G —	EXISTING GAS LINE
— SS —	EXISTING SANITARY SEWER
— W —	EXISTING POTABLE WATER
— [] — [] —	EXISTING FIRE HYDRANT
— [] — [] —	EXISTING WATER VALVE
— [] — [] —	EXISTING WATER METER
— [] — [] —	EXISTING SEWER MANHOLE/CLEANOUT
— [] — [] —	EXISTING GAS METER
— [] — [] —	EXISTING ELECTRICAL METER
— [] — [] —	EXISTING ELECTRICAL TRANSFORMER
— [] — [] —	EXISTING CONTOUR (MAJOR)
— [] — [] —	EXISTING CONTOUR (MINOR)
— [] — [] —	PROPOSED CONCRETE SURFACING
— [] — [] —	PROPOSED ASPHALT SURFACING

HEBER CITY, UTAH
HEBER VALLEY AIRPORT HANGAR DEV
COVER SHEET

ATTENTION:
IF THIS BAR DOES NOT MEASURE
1" ON 22x34 SHEET or 1/2" ON
11x17 SHEET, THEN DRAWING IS
NOT TO SCALE.

DATE: April 30, 2024
PROJECT: 230663
SHEET: C1

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THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

- 1) ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY HEBER CITY, SHALL BE CONSTRUCTED ACCORDING TO THE HEBER CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION.
2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT HEBER CITY FOR A PRE-CONSTRUCTION CONFERENCE.

A. REGULATORY AGENCY:

HEBER CITY
75 N. MAIN STREET
HEBER, UT 84050
(435) 654-0757

B. OWNER:

JEFF PETERSON
4710 SOUTH 150 WEST
MURRAY, UT 84108
(801) 864-0550

C. ENGINEER:

ARDURRA
65 EAST WADSWORTH PARK DRIVE SUITE 200
DRAPER UT 84020
(801) 801-435-5502
CONTACT: SCOTT BOLTON

D. SEWER:

HEBER CITY
75 N. MAIN STREET
HEBER, UT 84050
(435) 654-0757

E. WATER:

HEBER CITY
75 N. MAIN STREET
HEBER, UT 84050
(435) 654-0757

F. ELECTRIC:

HEBER LIGHT AND POWER

G. GAS

N/A

3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.

4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.

5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTING IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.

7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM THE HEBER CITY, AND/OR HEBER AIRPORT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR AIRPORT, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS.

9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, REGARDING THE LOCATION OF THE PROPOSED WORK, AND THE ACTUAL CONDITIONS AT THE SITE OF WORK.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE OWNER/ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND COMMUNICATION SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.

12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR LOSS OR DISTURBANCE.

14) THE CONTRACTOR AGREES THAT:

- A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FROM THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.

15) PROVIDE A PROCTOR TEST FOR ROADBASE MATERIAL THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, TO THE HEBER CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.

16) FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT. HEBER CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN, HOWEVER, UNLESS GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT.

17) INSTALL SURVEY MONUMENTS ACCORDING TO THE RECORDED PLAT PER HEBER CITY SPECIFICATIONS, IF APPLICABLE.

18) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

19) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE.

20) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTROLIERS MAY BE DONE BY ARDURRA. UNDER SEPARATE CONTRACT. ALL CONSTRUCTION STAKING IS THE RESPONSIBILITY OF THE CONTRACTOR.

21) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.

22) THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE- INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

23) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

24) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

25) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; IMPROVEMENTS; UTILITIES, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

26) PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE. CONTRACTOR SHALL THEN SUBMIT MYLAR AND DISK TO CITY WHICH HAVE BEEN PREPARED BY THE ENGINEER.

27) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

CLEARING AND GRADING NOTES:

1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH HEBER CITY STANDARD SPECIFICATIONS, THE AMERICAN PUBLIC WORKS ASSOCIATION GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION (APWA - UTAH EDITION), AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE PROJECT GEOTECHNICAL ENGINEERING AND GEOLOGICAL STUDY.

2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS ARE BASED ON A TOPOGRAPHIC SURVEY COMPLETED BY FLINT SURVEY'S FIELD SURVEY CREWS.

3) ARDURRA SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND CONTRACTOR SHALL SUBMIT REQUEST FOR SWPPP PERMIT. OWNER REQUIRED TO OBTAIN OTHER PERMITS FROM HEBER CITY, AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY IN CONFORMANCE WITH THE SWPPP & UPDES PERMIT.

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. COPIES OF THE SOILS REPORT MAY BE OBTAINED AT THE OFFICE OF OWNER. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.

DEWATERING NOTES:

1) THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

2) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.

3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, AND IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

ABBREVIATIONS:

Table with 4 columns: Abbreviation, Description, Unit, and Full Name. Includes entries like AB (AGGREGATE BASE), APPROX. (APPROXIMATELY), ARV (AIR RELEASE VALVE), BND (BOUNDARY), etc.

HEBER CITY SPECIFIC CONSTRUCTION NOTES

The following are the Standard City Construction Notes. Additional notes may be required for specific projects at the discretion of the City Engineer.

- A. TYPICAL
1. Contractor assumes all responsibility for job site conditions during construction of this project, including the safety and well-being of all persons and property. This responsibility shall apply continuously and not be limited to normal working hours.
2. Contractor shall obtain all applicable permits and/or written agreements necessary to complete the work.
3. City owned water valves may be operated only by City staff. Opening, closing or tampering with a City water valve without permission of the City public works department is a Class B misdemeanor punishable by up to six months in jail and a \$1,000 fine.
4. Contractor shall schedule a pre-construction meeting with the City's Engineering Department at least 5 business days prior to the start of construction. Contractor must attend and bring one set of the Acknowledged construction drawings and a copy of the HCSS 00700-5 September 2023 current Heber City Standard Specifications and Drawings Manual (available at heberut.gov).
5. Contractor shall have in possession and on-site at all times one copy of the current acknowledged construction plans stamped, signed, and dated by the Engineer of Record, the Applicant, and the City.
6. Developer's Engineers (Civil and Geotechnical) shall perform sufficient inspections and surveys during grading and construction to render an opinion in writing as to adherence to the accepted plans and compliance with Heber City Standard Specifications and Drawings Manual.
7. Any work done in the absence of an inspector's approval shall be subject to rejection. All underground GPS data must be collected by a City representative prior to backfill. Inspectors may request the contractor to expose work that has been backfilled without prior inspection or collection of GPS data. All such rework shall be completed at the Developer's or Owner's expense.
8. Survey monuments must be installed in accordance with the current Heber City and Wasatch County Surveyors Office requirements.
9. All disturbed property survey markers shall be reset in their original locations upon completion of all construction activities.
10. Contractor shall provide all traffic control which must conform to the current MUTCD. Provide site-specific Traffic Control Plans (prepared by an American Traffic Safety Services Association (ATSSA) or AGC-Certified individual) prior to installation of any traffic control device. Traffic Control Plans must be Accepted by the City prior to implementation and before any shoulder, lane, or street closure.

- B. TRENCHES AND UTILITIES
1. Trenches shall be completed and restored per City Standard Drawing UTIL-1.
2. Pot holes existing utilities in accordance with City Standard Drawing UTIL-5.
3. Contractor is responsible to locate, avoid, protect, and repair all utilities encountered during construction, whether or not they are shown on the plans. Locations of underground utilities shown on plans are approximate and require field verification by Contractor.
4. All trenches within public right-of-way must be backfilled or securely plated during nonworking hours. Trenches outside these areas shall be back-filled or protected by approved temporary fencing and/or barricades during non-working hours. Trenches in the roadway must be backfilled, compacted, and paved within 48 hours of road-cut. Paint striping shall be replaced in accordance to City Standards within 48-hours of restoration of pavement.

- C. ROADWAY CONSTRUCTION AND RESTORATION
1. Subgrade must be approved prior to construction of untreated base course and pavement sections. Subgrade approval requires that a proof-roll be completed and verified by a City inspector, and that all utilities be installed, inspected with connections to main lines completed, and accepted by the City.
2. Asphalt patching to roads between October 15 and April 15 will be considered temporary only, and must be replaced according to City Standards and Specifications between the following April 15 and July 1.
3. Material Submittals are required for all items placed within the City right-of-way. All submittals must be dated within 90 days of the Construction Start Date (unless specified otherwise) and be submitted prior to the start of construction activities.
4. Moratorium Standard (New, Reconstructed, and Overlaid Streets): No cuts permitted for two (2) years from the time of construction/ reconstruction/overlay. HCSS 00700-6 September 2023
5. Special Restoration Standard: This standard applies to new, reconstructed, overlaid, and chip/slurry-sealed streets:
a. New, Reconstructed, and Overlaid Streets (for 5 years after end of moratorium): The asphalt surface shall be milled a minimum depth of two (2) inches, and fifteen (15) feet each way from the edge of the cut. Milling shall be done in widths equivalent to existing striped traffic lanes. The City Engineer reserves the right to require additional area and/or depth if deemed appropriate to restore roadway to original condition. Approved fabric is required when existing pavement indicated a fabric prior to the permitted cut.
b. Chip/Slurry-Sealed Streets (for one year after chip/slurry application): The asphalt surface shall be re-chipped/slurried a minimum of fifteen (15) feet each way from the edge of the cut, in widths equivalent to existing striped traffic lanes.
6. Roads shall be opened for traffic during peak hours. Lane closures may only be in effect from 9am-2pm, and 7pm-7am when night work is approved. Contractors shall accommodate all special school or local government schedules and events. Paint striping shall be replaced in accordance with City Standards within 48-hours of restoration of pavement.
7. All road closures must be approved by the City Engineer. All requests for road closures shall be made in writing and include a site-specific Traffic Control Plan for the proposed closure. When approved, closures of Collector Streets will require a 2-week advance notice to the public informing them of the upcoming closure. The notice shall be provided using on-site Variable Message Sign (VMS) boards indicating the anticipated start date and duration of the closure. VMS boards shall remain on site for the full two week advance-notice period. If the duration of the closure is extended beyond the approved period, the extension shall be coordinated with the City Engineer and shall require additional VMS board notification to the public.

Table with 2 columns: BORDER SIZE (22"x34") and REVISIONS (NO., DESCRIPTION, DATE, DESIGNED, DRAWN, CHECKED, APPROVED).



HEBER CITY, UTAH
HEBER VALLEY AIRPORT HANGAR DEV
GENERAL NOTES

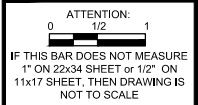


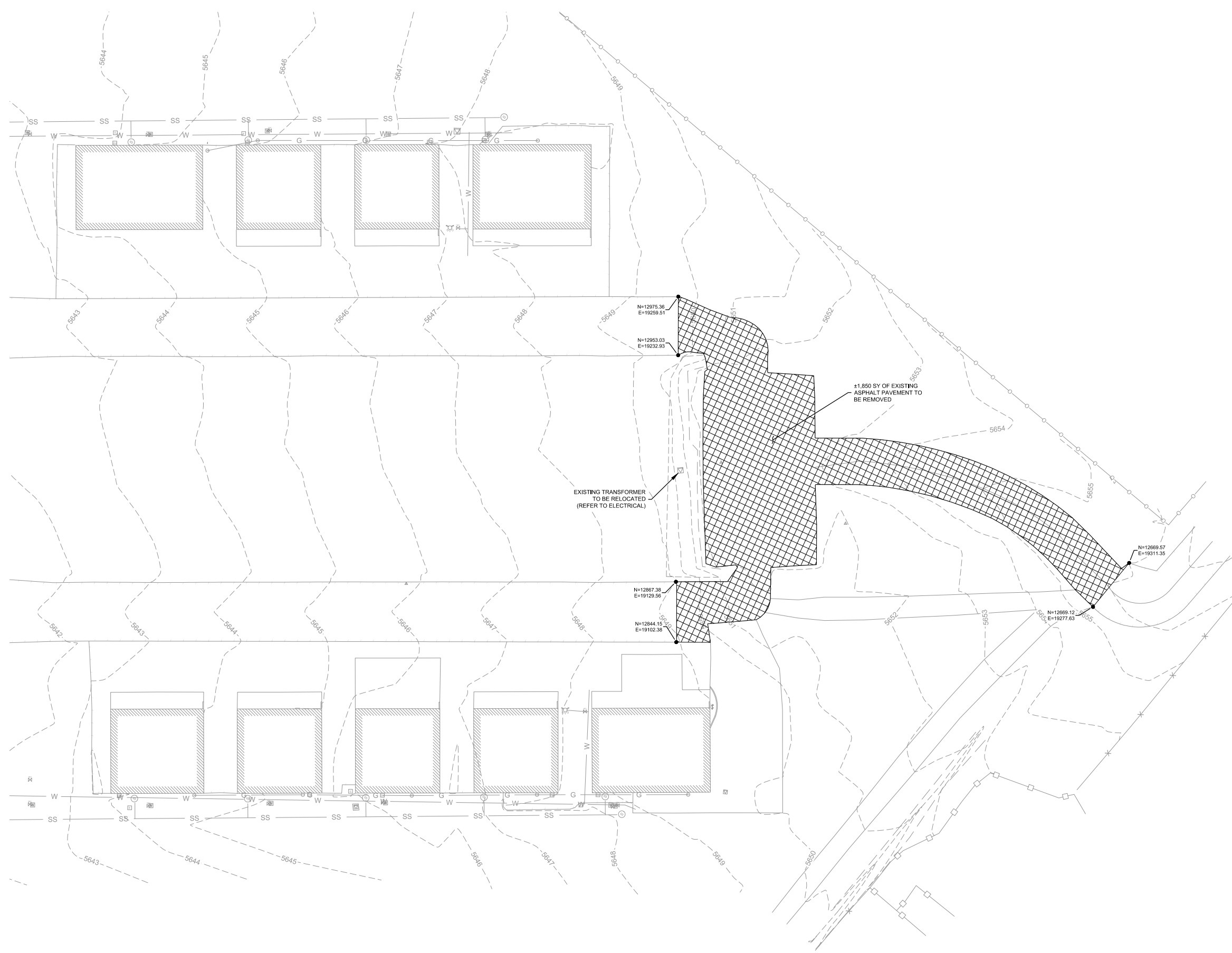
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Plans Superseded Previous
Drawing submitted
Date - April 30, 2024

811 CALL BEFORE YOU DIG! CALL DIGLINE INC. PRIOR TO COMMENCING UNDERGROUND WORK DIAL: 811

E:\230663\CAD\SHRETS\CONSTRUCTION\DRAWINGS\CG EXISTING CONDITIONS AND DEMOLITION PLAN.DWG - 4/30/2024

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GENERAL NOTES

1. THE REMOVAL ITEMS AND LIMITS ON THESE DEMOLITION PLANS ARE APPROXIMATE ONLY. ADDITIONAL REMOVAL MAY BE REQUIRED TO COMPLETE THE WORK.
2. ANY PAVEMENT, PAVEMENT MARKINGS, UTILITY FACILITIES, ETC. WHICH ARE TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. IF DAMAGE OCCURS AS A RESULT OF THE CONTRACTOR'S OPERATIONS, THEY SHALL BE REPLACED TO ORIGINAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
3. ANY NECESSARY SAWCUTTING REQUIRED FOR REMOVAL SHALL BE FULL-DEPTH TO A NEAT VERTICAL EDGE. SAWCUTTING WILL NOT BE PAID SEPARATELY, BUT SHALL BE CONSIDERED SUBSIDIARY.
4. ALL EXISTING CONCRETE, ASPHALT, CONDUIT, AND EXCESS EXCAVATION REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL ENVIRONMENTAL REGULATIONS.
5. PAVEMENT REMOVALS SHALL INCLUDE THE ENTIRETY OF THE PAVEMENT LAYER AND BASE LAYER, REGARDLESS OF DEPTH.

BORDER SIZE		22"x34"				
REVISIONS		DATE	DESIGNED	DRAWN	CHECKED	APPROVED
NO.	DESCRIPTION					



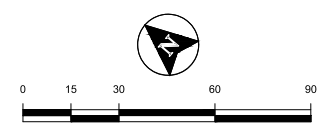
LEGEND

- EXISTING CHAIN LINK FENCE
- EXISTING IRON FENCE
- EXISTING EDGE OF PAVEMENT
- EXISTING GAS LINE
- EXISTING SANITARY SEWER
- EXISTING POTABLE WATER
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING SEWER MANHOLE/CLEANOUT
- EXISTING GAS METER
- EXISTING ELECTRICAL METER
- EXISTING ELECTRICAL TRANSFORMER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- PAVEMENT REMOVAL

HEBER CITY, UTAH
 HEBER VALLEY AIRPORT HANGAR DEV
 EXISTING CONDITIONS AND DEMOLITION PLAN

Plans Superseded Previous
 Drawing submitted
 Date - April 30, 2024

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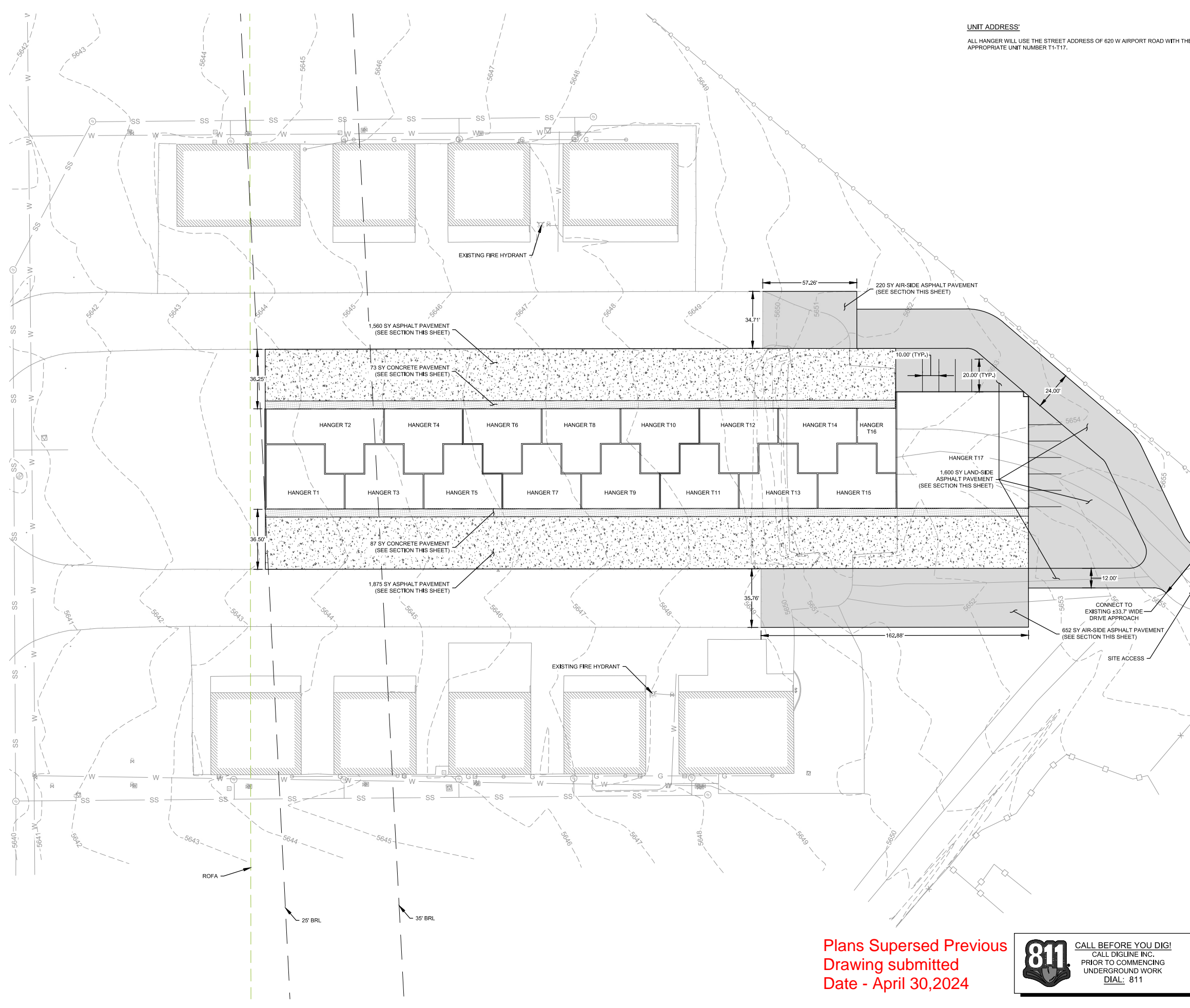


ATTENTION: 1/2" = 1'

IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE.

DATE:	April 30, 2024
PROJECT:	230663
SHEET:	C3

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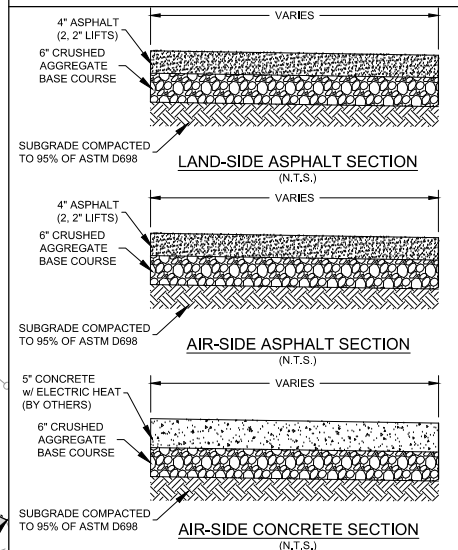


UNIT ADDRESS:
 ALL HANGER WILL USE THE STREET ADDRESS OF 620 W AIRPORT ROAD WITH THE APPROPRIATE UNIT NUMBER T1-T17.

GENERAL NOTES

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6. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES/DEVICES REQUIRED BY THE MUNICIPALITY HAVING JURISDICTION SO THEY ARE OPERATING PROPERLY AND WILL REPLACE OR FIX ON AN AS NEEDED BASIS.
7. ALL SEDIMENTS TRACKED ONTO PAVED ROADS MUST BE SWEEPED BY CONTRACTORS IN A TIMELY MANNER OR AS DIRECTED BY THE ENGINEER OR THE OWNER'S REPRESENTATIVE.
8. AREAS WITH VEGETATION ESTABLISHED THAT ARE DISTURBED DURING CONSTRUCTION WILL BE REVEGETATED AT THE EXPENSE OF THE CONTRACTOR.
9. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS USED FOR SURFACING AND BACKFILL MUST CONFORM TO THE MOST CURRENT VERSION OF UTAH ADOPTED APWA SPECIFICATIONS.

CONSTRUCTION DETAILS



LEGEND

- W PROPOSED WATER SERVICE
- SEW PROPOSED SEWER SERVICE
- X EXISTING CHAIN LINK FENCE
- EXISTING IRON FENCE
- EXISTING EDGE OF PAVEMENT
- G EXISTING GAS LINE
- SS EXISTING SANITARY SEWER
- W EXISTING POTABLE WATER
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER METER
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- ⊕ EXISTING GAS METER
- ⊕ EXISTING ELECTRICAL METER
- ⊕ EXISTING ELECTRICAL TRANSFORMER
- - - EXISTING CONTOUR (MAJOR)
- - - EXISTING CONTOUR (MINOR)
- ▨ PROPOSED CONCRETE SURFACING
- ▨ PROPOSED ASPHALT SURFACING

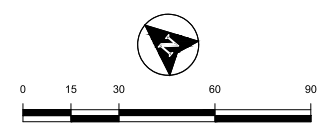
NO.	REVISIONS DESCRIPTION	DATE			
		DESIGNED	DRAWN	CHECKED	APPROVED



HEBER CITY, UTAH
 HEBER VALLEY AIRPORT HANGAR DEV
 SITE PLAN

Plans Superseded Previous
 Drawing submitted
 Date - April 30, 2024

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 PRIOR TO COMMENCING
 UNDERGROUND WORK
 DIAL: 811

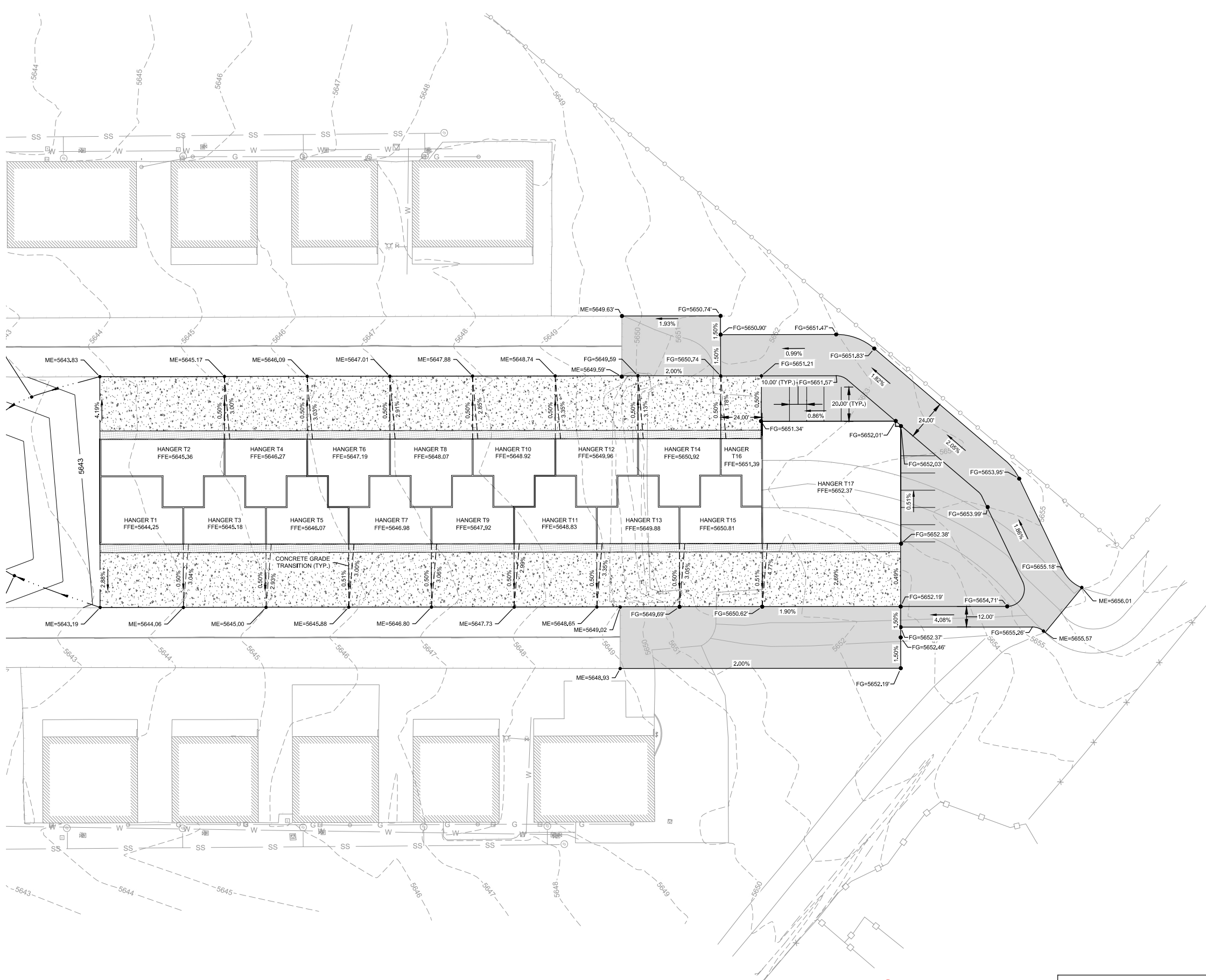


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DATE:	April 30, 2024
PROJECT:	230663
SHEET:	C4

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4. THE ENGINEER RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO THE CONTRACTOR'S FORMS PRIOR TO CONCRETE INSTALLATION. ANY ADDITIONAL CONCRETE PLACED AS A RESULT OF THESE ADJUSTMENTS WILL BE PAID AT THE BID UNIT PRICE.
5. REMOVE TOPSOIL AND STOCKPILE. PLACE TOPSOIL IN DISTURBED AREAS PRIOR TO RECLAMATION.
6. REMOVE VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS (E.G. DEBRIS, DESICCATED SOIL, FROZEN SOIL, ETC.).
7. RECLAIM ALL DISTURBED AREAS AT PROJECT COMPLETION.
8. THE ENGINEER RESERVES THE RIGHT TO REQUEST A FLOOD TEST, AT NO ADDITIONAL COST TO THE OWNER, OF ANY SUSPECT DRAINING AREAS.
9. ANY STANDING WATER ON SUBGRADE AND BASE COURSE RESULTING FROM WEATHER EVENTS SHALL BE REMOVED BY THE CONTRACTOR AS QUICKLY AS POSSIBLE. IF STANDING WATER IS NOT REMOVED IN A TIMELY MANNER, THE CONTRACTOR SHALL OVEREXCAVATE AND RE-COMPACT SUBGRADE AND BASE AT NO ADDITIONAL COST TO THE OWNER.
10. THE FOLLOWING ABBREVIATIONS ARE USED ON THIS SHEET:
 10.1. ME = MATCH EXISTING GROUND ELEVATION (ELEVATION IS APPROXIMATE)
 10.2. FG = FINISHED GRADE ELEVATION

HEBER CITY DRAINAGE CERTIFICATION
 I HEREBY CERTIFY THAT THIS DESIGN FOR THE MANAGEMENT OF STORM WATER OF THIS DEVELOPMENT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE PROVISIONS OF HEBER CITY'S DRAINAGE MANUAL AND STANDARD SPECIFICATIONS AND DRAWINGS, AND WAS DESIGNED TO COMPLY WITH THE PROVISIONS THEREOF. I UNDERSTAND THAT THE CITY ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS REPORT.

PROJECT BENCH MARK
 EAST 1/4 OF SECTION 7, T4S, R5E SLB&M
 ELEV. = 5664.34

LEGEND

- W PROPOSED WATER SERVICE
- SEW PROPOSED SEWER SERVICE
- X EXISTING CHAIN LINK FENCE
- EXISTING IRON FENCE
- EXISTING EDGE OF PAVEMENT
- G EXISTING GAS LINE
- SS EXISTING SANITARY SEWER
- W EXISTING POTABLE WATER
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- ⊕ EXISTING ELECTRICAL METER
- ⊕ EXISTING ELECTRICAL TRANSFORMER
- - - EXISTING CONTOUR (MAJOR)
- - - EXISTING CONTOUR (MINOR)
- ▨ PROPOSED CONCRETE
- ▩ PROPOSED ASPHALT

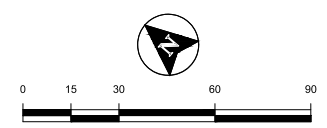
BORDER SIZE		DESIGNED					DRAWN					CHECKED					APPROVED									
NO.	DATE																									



HEBER CITY, UTAH
 HEBER VALLEY AIRPORT HANGAR DEV
 GRADING PLAN

Plans Superseded Previous
 Drawing submitted
 Date - April 30, 2024

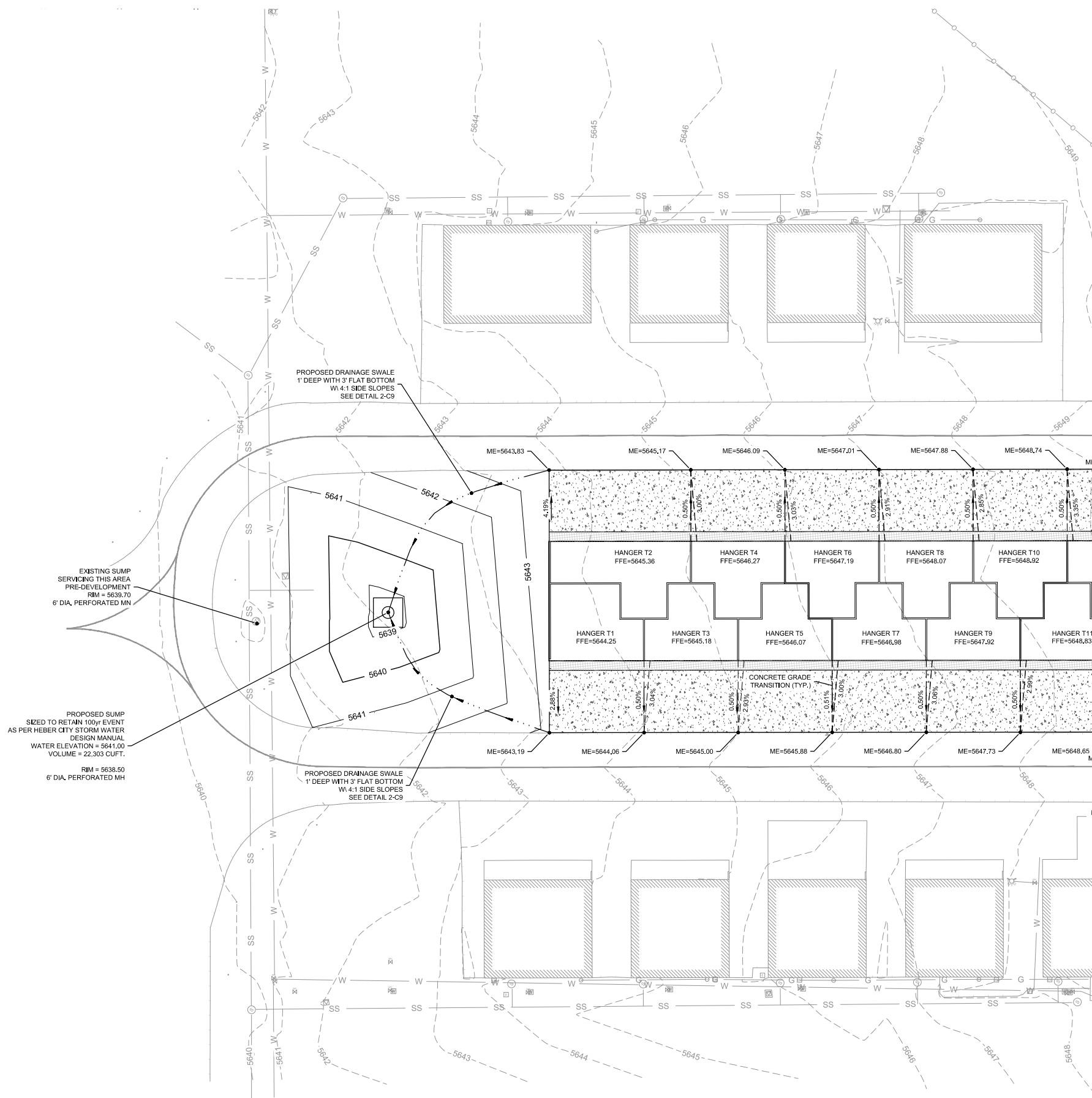
811 CALL BEFORE YOU DIG!
 CALL DIGLINE INC.
 PRIOR TO COMMENCING
 UNDERGROUND WORK
 DIAL: 811



ATTENTION: 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE.

DATE:	April 30, 2024
PROJECT:	230663
SHEET:	C5

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BORDER SIZE		22"x34"	
NO.	REVISIONS	DATE	DESCRIPTION
	DESIGNED		
	DRAWN		
	CHECKED		
	APPROVED		



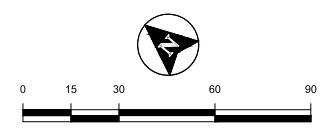
LEGEND

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- X EXISTING CHAIN LINK FENCE
- EXISTING IRON FENCE
- EXISTING EDGE OF PAVEMENT
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- ⊕ EXISTING ELECTRICAL METER
- ⊕ EXISTING ELECTRICAL TRANSFORMER
- - - EXISTING CONTOUR (MAJOR)
- - - EXISTING CONTOUR (MINOR)
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT

HEBER CITY, UTAH
HEBER VALLEY AIRPORT HANGAR DEV
GRADING PLAN

Plans Superseded Previous
Drawing submitted
Date - April 30, 2024

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DIAL: 811

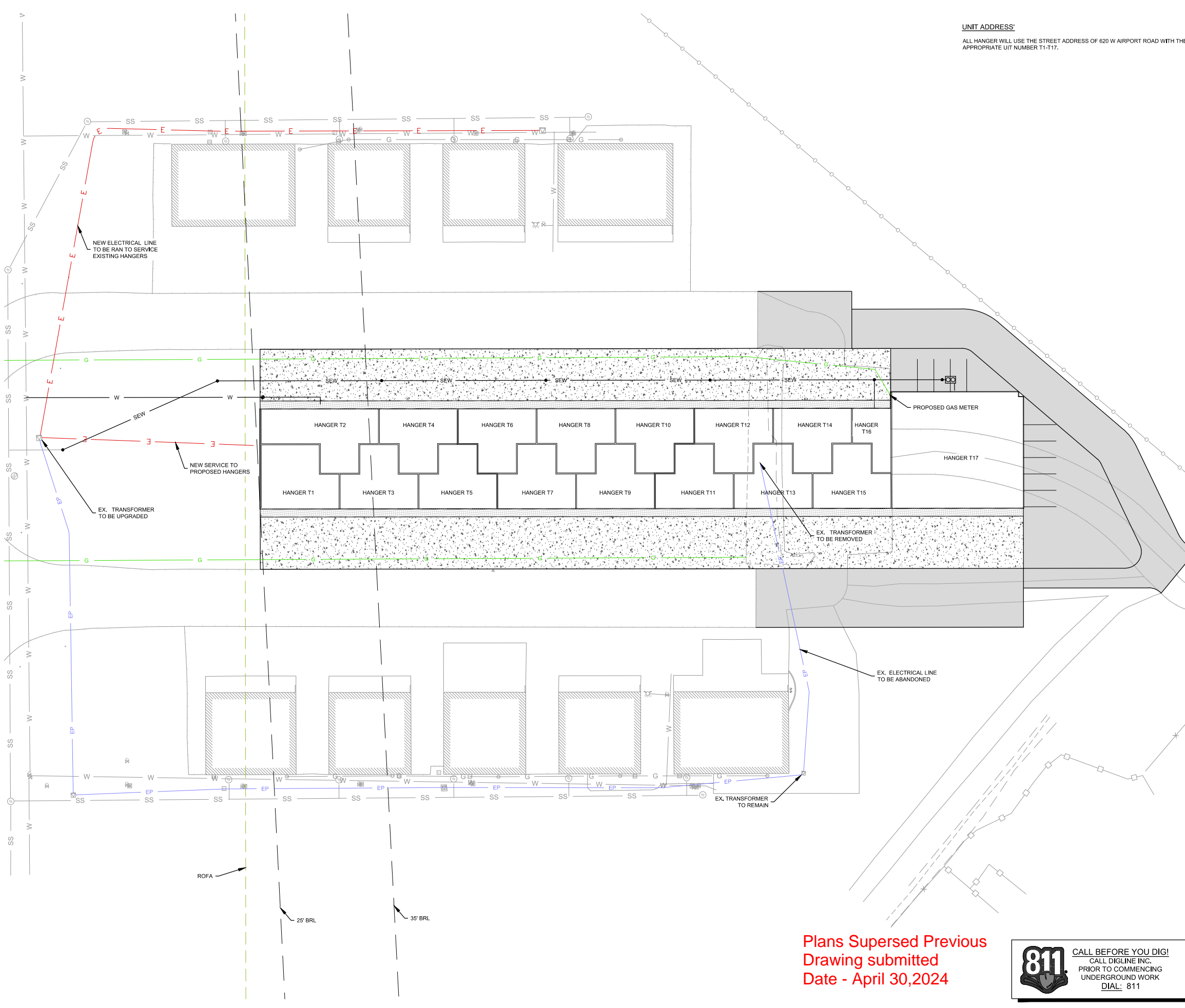


ATTENTION: 1/2" = 1'

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DATE:	April 30, 2024
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SHEET:	C6

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UNIT ADDRESS:
ALL HANGER WILL USE THE STREET ADDRESS OF 620 W AIRPORT ROAD WITH THE APPROPRIATE UIT NUMBER T1-T17.

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CONSTRUCTION DETAILS

BORDER SIZE		22"x34"	
DESIGNED	DRAWN	CHECKED	APPROVED

NO.	DATE	DESCRIPTION



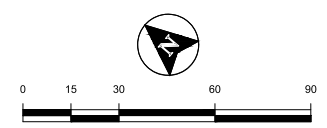
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- ⊕ EXISTING ELECTRICAL TRANSFORMER
- - - EXISTING CONTOUR (MAJOR)
- - - EXISTING CONTOUR (MINOR)
- ▨ PROPOSED CONCRETE SURFACING
- ▨ PROPOSED ASPHALT SURFACING

HEBER CITY, UTAH
 HEBER VALLEY AIRPORT HANGAR DEV
 DRY UTILITY PLAN

Plans Superseded Previous
Drawing submitted
Date - April 30, 2024

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DIAL: 811

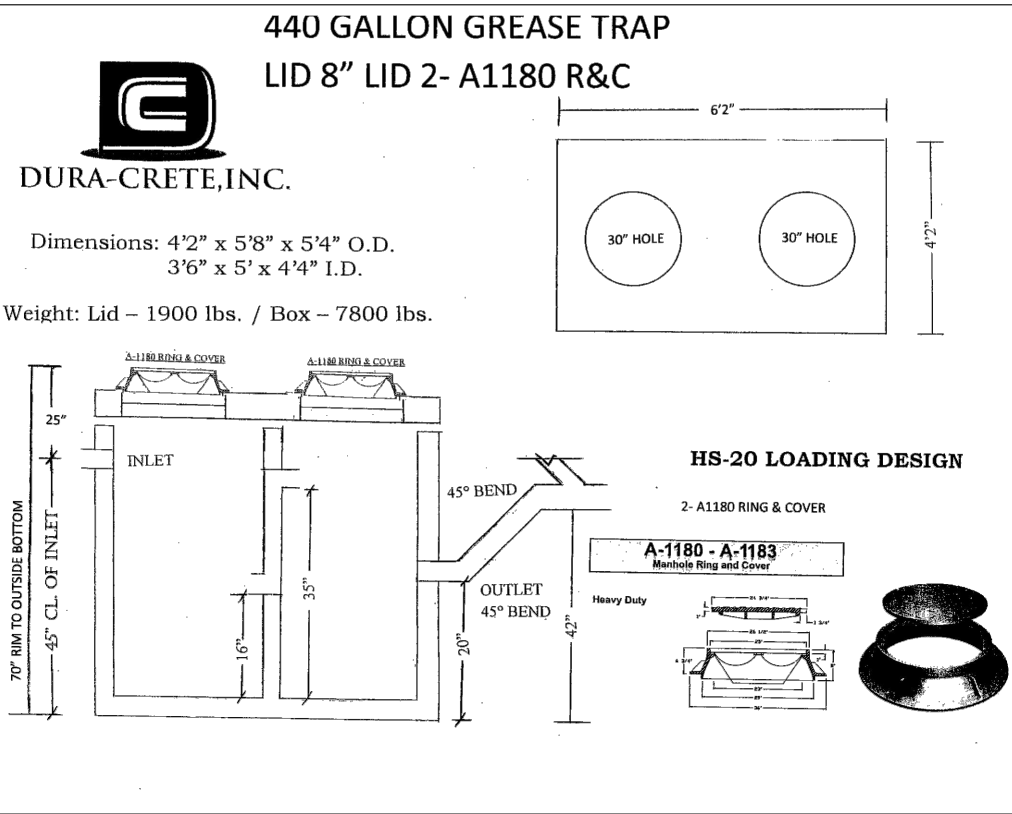


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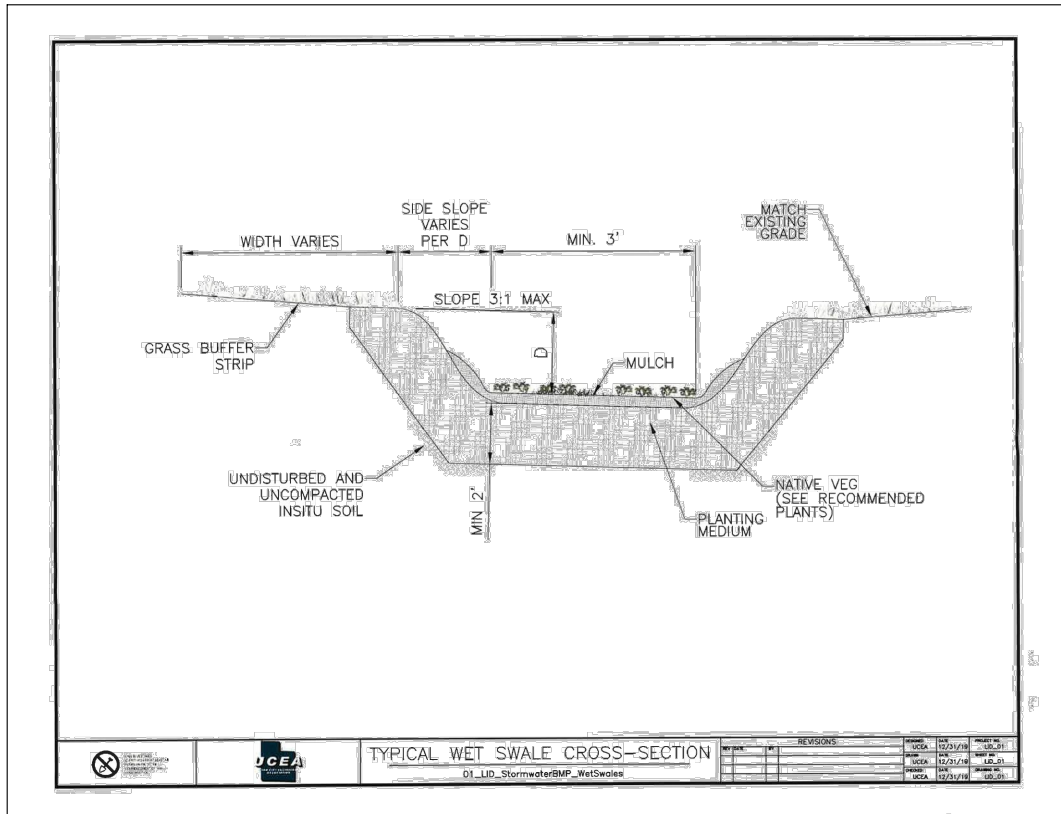
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SHEET:	C8

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440 GALLON GREASE TRAP
SCALE: NTS ①



TYPICAL WET SWALE CROSS-SECTION
SCALE: NTS ②

Plans Superseded Previous
Drawing submitted
Date - April 30, 2024

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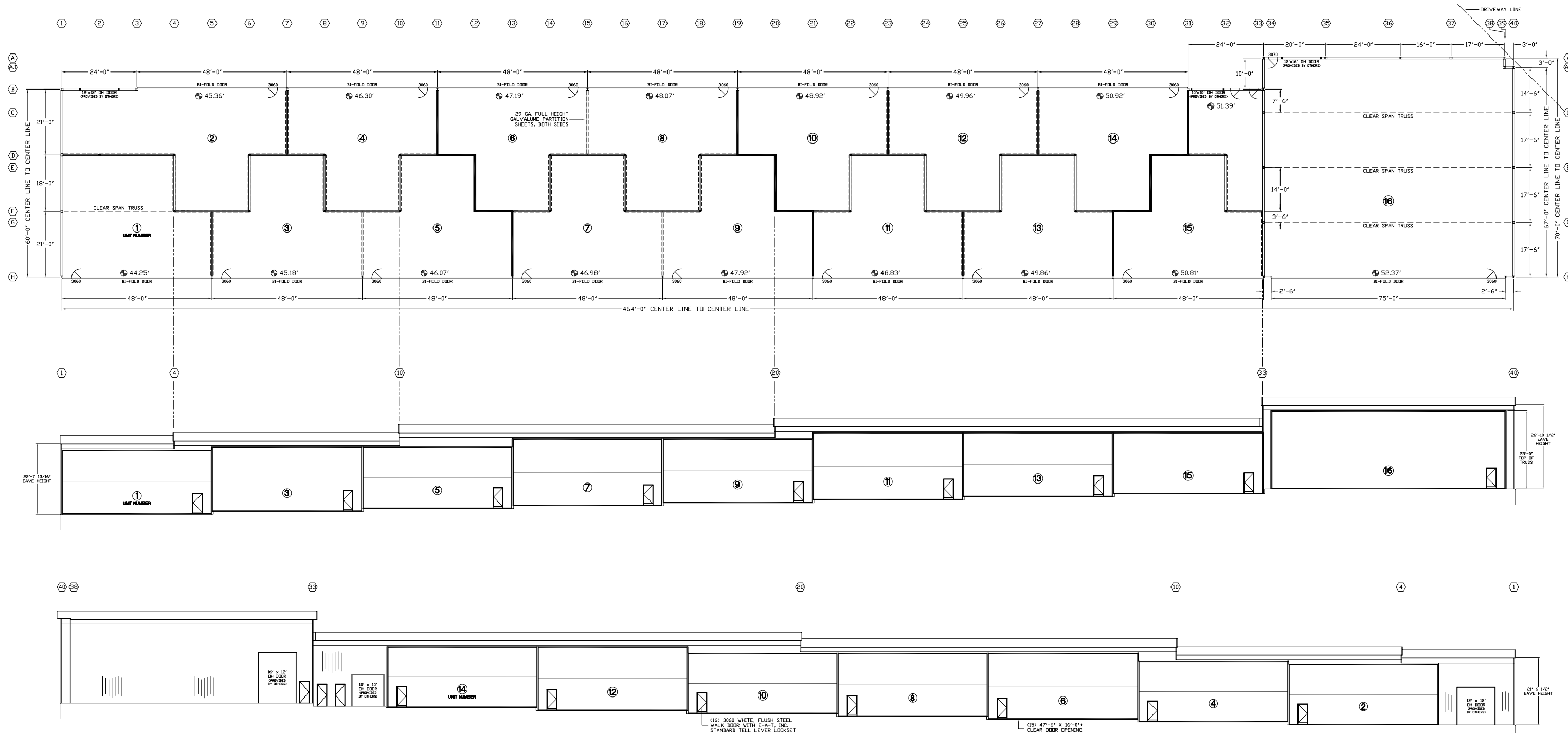
NO.	REVISIONS DESCRIPTION	BORDER SIZE	
		DATE	22"x34"
			DESIGNED
			DRAWN
			CHECKED
			APPROVED

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HEBER CITY, UTAH 84032
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HEBER CITY, UTAH
HEBER VALLEY AIRPORT HANGAR DEV
DETAILS

ATTENTION: 1
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DATE: April 30, 2024
PROJECT: 230663
SHEET: C9



PRELIMINARY
 NOT FOR APPROVAL, SUBMITTAL
 OR CONSTRUCTION

- GENERAL NOTES
- ALL PRIMARY STEEL TO BE GRAY PRIME. ALL SECONDARY STEEL TO BE G90 GALVANIZED. (INTENDED FOR SHORT TERM EXPOSURE ONLY.)
 - LOCKSETS TO BE "TELL" KEYPED DIFFERENTLY AND MASTER KEYPED. FIELD DRILL (Ø) 5/16" THRU HOLES FOR LOCKSET MOUNTING. DOOR LEAFS ARE SUPPLIED WITH A 2 1/8" BORE AND 1" THRU BOLT FOR CYLINDRICAL LOCKSET. BACKSET 2 3/4".
 - ROOF ENDWALL STRUCTURAL OVERHANG TO BE 12" FROM WEST ENDWALL ONLY. ROOF SIDEWALL STRUCTURAL OVERHANG TO BE 24" FROM STEEL LINE. PANEL OVERHANG TO BE 10" FROM EDGE OF SIDEWALL STRUCTURAL OVERHANG.
 - EXTERIOR WALL PANELS AND TRIM COLORS TO BE DETERMINED BY OWNER.
 - WALK DOOR IN BI-FOLD DOORS, SIDE AND END WALLS WHERE APPLICABLE, TO BE FLUSH AND WHITE IN COLOR. (PER MANUFACTURER'S STANDARD)
 - BI-FOLD DOOR PUSH BUTTON OPERATORS: MOMENTARY PRESSURE "DOOR DOWN" & "DOOR UP".
 - BI-FOLD DOOR EQUIPPED WITH MANUAL INTERLOCKING CAMLOCKS.
 - EACH BI-FOLD DOOR IS PROVIDED WITH A "COLD WEATHER" PACKAGE WHICH INCLUDES BOTTOM, CENTER, TOP RUBBER ASTRAGAL AND JAMB SEALS.
 - UL90 ROOF

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SEAL EXP. DATE:			
2	ADDED CLEAR SPAN TO UNIT 1, FIXED ELEVATION IN UNIT 6, ADJUSTED OHFO IN UNIT 16 TO 12'X16' AND ADDED 3070	ATN	02/07/24
1	REVISED F.F.E. TO SURVEYORS MEASUREMENTS, ADJUSTED ROOF STEP LOCATIONS AND MET. F.M. REG. ON PEAK ELEVATION.	ATN	02/08/24
No.	Revision/Issue	By	Date

ERECT-A-TUBE!

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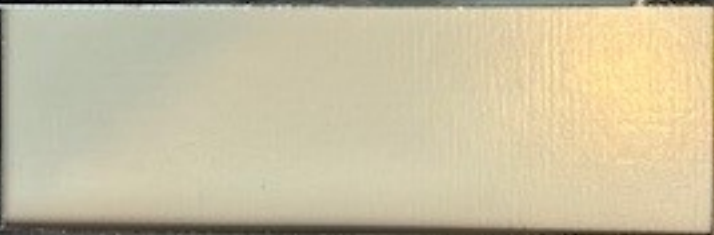
16 UNIT N60-48/RG70-80

FLOOR PLAN & ELEVATIONS

EAF Project S013024
 Date 01-30-24
 Drawn By ATN
 Scale NONE

Checked By
 Date
 Sheet
 2 OF X





1

2

3

4

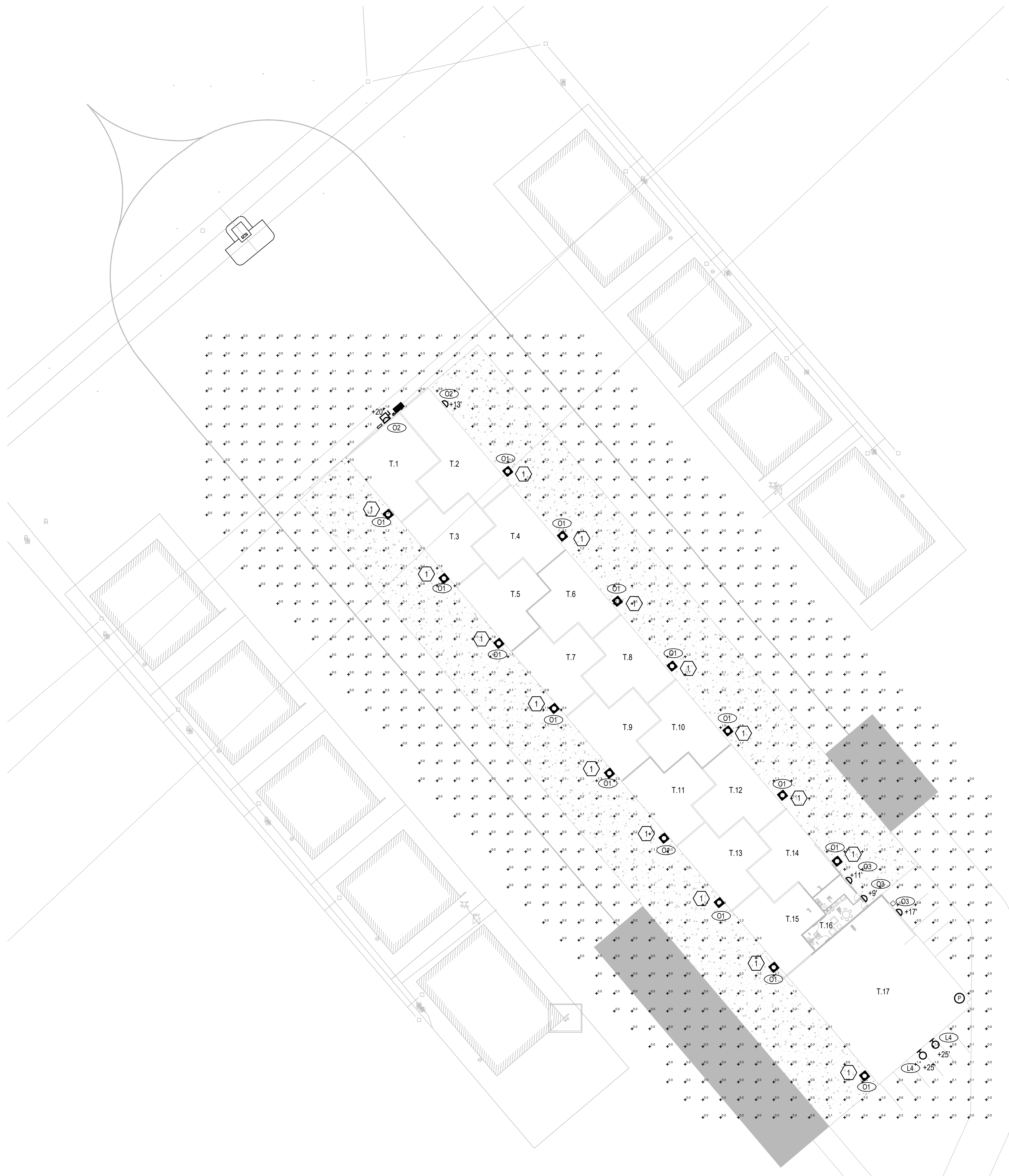
5

D

C

B

A



GENERAL PHOTOMETRIC NOTES

A. THE PHOTOMETRIC CALCULATION WAS PERFORMED DURING THE DESIGN DEVELOPMENT PROCESS AND THE REFLECTANCE VALUES USED ARE DESIGNER AVERAGES AND ARE CALCULATED USING THE LUMINAIRES SELECTED DURING THAT PROCESS. A MORE ACCURATE PHOTOMETRIC CALCULATION CAN BE PERFORMED ONCE THE FIXTURE HAS BEEN SELECTED AND LOCATED DURING CONSTRUCTION.

KEYED NOTES

1. LIGHT FIXTURE TO BE MOUNTED IN SOFFIT.

Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
O1	16	Indy	LLP4 17LM 30K MVOLT G4 80CRI ZT HM WH	INDY 4" DIA. 1-LED 17LM, 30K, 80CRI, GEN4 DOWNLIGHT WITH A WHITE (WH) MEDIUM HYPERBOLIC REFLECTOR	1	1694	0.9	17.8
O2	1	Lithonia Lighting	WPX1 LED P2 30K Mvolt	WPX1 LED wallpack 3000lm 3000K color temperature 120-277 Volts	1	2748.612	0.9	23.26
O3	4	Lithonia Lighting	WPX0 LED ALO-1 30K MVOLT	WPX0 LED, 850 Lumen setting, 3000K Setting, 120-277V	1	814.369	0.9	6.2384
L4	2	Spectrum Lighting	EB1214GV-15L-30K-EX-TF1-MWI	Nom. 12" diam x 12.1" H, Angled Emblem Sign Light	1	1251	0.9	10

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EXTERIOR	+	0.2 fc	4.2 fc	0.0 fc	N/A	N/A



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• Van Boerum & Frank Assoc., 2023

HEBER HANGER COMPLEX

HEBER CITY, UTAH

REVISIONS	

VBFA PROJECT #:	240058
CHECKED BY:	LW
DRAWN BY:	MM
CURRENT/ISSUE DATE:	03/06/2024

PHOTOMETRIC SITE PLAN

1 PHOTOMETRIC SITE PLAN
ES102 SCALE: 1/32" = 1'-0"

