



Memorandum

To: Planning Commission
From: Thomas Dansie, Director of Community Development
Date: May 10, 2024
Re: Zone Change Application: Transient Lodging Overlay Zone, 975 Zion Park Boulevard

Background

Matt Rayner has applied for a zone change to apply the Transient Lodging Overlay zone (TLO) to parcel S-MMIS-1 (975 Zion Park Boulevard) in the CC zone. The proposed rezone would allow the development of eight transient lodging units on the property. As required by ordinance, the proposal would also create two long-term rental residential units on the property. The property is currently developed with two restaurant buildings (one is vacant) and six short term rental units. The vacant restaurant is proposed to be demolished. A new structure is proposed to be built which will house the eight new transient lodging and two new long-term rental residential units.

As with any other zone change, applying the TLO to a property is a legislative action. The Planning Commission should review the proposed zone change based on the Town's adopted policy for making legislative zone change decisions as recorded in both the General Plan and Land Use Ordinance. The Commission should then make a recommendation to the Town Council whether or not to grant the requested change to the TLO.

Report Contents

This report contains the following sections:

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6. Suggested Direction for Commission Action

Applicable Ordinances and Policies

The Commission should reference the following ordinances and policies to aid in the review of the application:

- Town Code 10-3-2(A) - General Town Policy on making zone changes

- Town Code 10-13F - Transient Lodging Overlay zone
- General Plan
 - Vision Statement
 - Land Use and Town Appearance Sub-Goal A
 - Land Use and Town Appearance Sub-Goal G
 - Economic Development Sub-Goal I

Background

Transient Lodging Overlay Zone

In response to proliferation of transient lodging in the community in the recent past the Town adopted the Transient Lodging Overlay zone (TLO) in 2022. Over the past 10 years a significant number of properties in the commercial zones have been redeveloped or repurposed as transient lodging. Galleries, retail shops, and most critically long-term residences in the commercial zones have all been converted to transient lodging. As more of these properties were converted to a transient lodging use the Town Council noticed a corresponding negative impact on the Town's village character. The mix of different commercial and residential uses in the commercial zones has historically been a key ingredient of the Town's village character. The Council found that the loss of this mix and diversity of uses in favor of more transient lodging was detrimental to the Town's character. The Town adopted the TLO to retain a mix and diversity of uses in the commercial zones and to promote the Town's village character. A foundational tenet of the TLO is encouraging transient lodging that promotes, rather than detracts from, village character.

After adopting the TLO in 2022 the Town received five applications (the maximum the TLO allowed in a single year) for transient lodging. Three of these were approved and two denied. Of the three that were approved only one has been developed as lodging (358 Zion Park Boulevard). Based on the experience reviewing the first round of TLO zone change applications the Town identified areas the TLO could be revised to better accomplish its intended purpose. The Town Council adopted revisions to the TLO in December of 2023. A summary of the salient provisions of the current TLO follows:

- The Town will accept TLO applications between March 1 and March 31 of every even numbered year (the "application window"). There is no limit on the number of applications the Town will accept during a given application window.
- The Town only accepts TLO applications for properties that are already in either the CC or VC zone. Transient lodging is not allowed in any other zone. A person may not make an application to the TLO concurrent with an application to either the CC or VC zone.
- The Planning Commission will review all TLO applications received in any given application window during a single Commission meeting. Likewise, the Town Council will review all applications in a single Council meeting.
- After reviewing all the applications made in a given application window the Commission will recommend and the Council approve a maximum of three applications. However, the Council is not obligated to approve any of the applications and can use its legislative discretion to deny all applications.

- There are three types of transient lodging facilities, differentiated by the number of transient lodging units¹ in the facility. Type 1 contains 13 or more lodging units, Type 2 contains between three and 12 units, and Type 3 contains a single unit in an owner-occupied residential structure. Type 1 lodging is only allowed in the CC zone. Types 2 and 3 lodging are allowed in the CC and VC zones.
- Type 1 and Type 2 lodging facilities must develop new long-term rental residential units in conjunction with new transient lodging units. One long-term rental unit is required for every four transient lodging units.

The Planning Commission may wish to review Chapter 10-13F of the Town Code in its entirety for complete details on the Transient Lodging Overlay zone.

The most recent application window for transient lodging ended on March 31, 2024. The Town received two TLO applications during this window. The Commission should review both of these applications in a single meeting. The Commission should complete its review and analysis of both applications before making a recommendation whether to approve or deny either one.

Property Details

The subject property is located at 975 Zion Park Boulevard. It is currently developed with a restaurant (Meme's Cafe), a vacant building formerly used as a restaurant, and six transient lodging units contained in three townhome buildings.

The property is visually and physically connected to an adjacent property which contains eighteen individually owned townhouse units. The two properties share vehicular access. The eighteen townhomes on the adjacent property are of the same general design and appearance as the six short term rental townhouse units on the subject property. Thus, the two properties appear to be a unified development.

Although the two properties are physically connected and appear to be part of a unified development, they are currently under separate ownership and different zoning. The townhouse units on the adjacent property are in the CC-PD (Planned Development Overlay) zone. The PD zone allows the townhouse units to be owned individually. It also restricts the use of the units to residential, non-commercial uses and specifically prohibits transient lodging. Thus, while the subject property is in the CC zone and is eligible to apply for the TLO, the adjacent eighteen townhouse unit properties are not eligible for the TLO because of the PD zoning.

The aerial image below shows the existing development on the subject property (outlined in blue).

¹ The Town Code counts the number of transient lodging units as the greater of: 1) the number of bedrooms or sleeping areas, or 2) the number of bathrooms in a transient lodging facility.

lodging units and two long-term rental residential units in the structure. The applicant also proposes to develop additional parking near the front of the property in a space currently used as an open lawn area.

There are already six transient lodging units on the property. With the eight additional units there will be a total of 14 transient lodging units on the property. With this amount of total transient lodging units the property is classified as Type 1 transient lodging. Type 1 transient lodging is only allowed in the CC zone.

As required by the TLO application requirements, the applicant has submitted a conceptual site plan, elevation drawings, and floor plans showing the proposed development. These are included with the applicant's submittal attached to this report. The Commission should review these conceptual drawings for the purposes of: 1) confirming it is possible and feasible to develop the proposed transient lodging on the property in compliance with all applicable zoning standards of the CC zone,² and 2) determining if the style, scale and appearance of the proposed transient lodging development is consistent and compatible with the Town's village character. The Commission should review the concept drawings to determine whether the proposed transient lodging development will accomplish these two goals.

Transient Lodging Development Process Summary

The process to develop transient lodging on a property is as follows:

1. The property must already be in either the CC or VC zone.
2. The property owner makes an application for the TLO.
3. *The Planning Commission reviews the TLO zone change application and makes a recommendation to the Town Council whether to approve or deny the application.*
4. The Town Council reviews the application and decides whether to approve or deny the application.

****If the Council decides to approve the TLO the following additional steps are necessary.****

5. The property owner records a restrictive covenant against the property which binds future property owners to the conditions of the TLO.
6. The Town Council gives final approval of the TLO on the property after the restrictive covenant is recorded.
7. The property owner applies for a Design/Development Review on the property and the Planning Commission reviews the proposed transient lodging for compliance with development and land use standards in the Town code. The development proposed in the DDR must be consistent with the conceptual plans submitted with the TLO application as well as with the conditions of the restrictive covenant.

² The Commission does **not** need to conduct a detailed compliance review of all land use and development standards at this time. That review will come later as part of the Design/Development Review for the project, if the TLO zone change is approved. At this time the Commission is merely confirming it is possible to develop the proposed lodging on the property in compliance with zoning requirements.

8. The property owner applies for a building permit and the Town reviews the proposed transient lodging for compliance with building code requirements.
9. The property owner constructs the proposed development consistent with approved plans and the Town issues a Certificate of Occupancy, after ensuring the development is consistent with all prior approvals and the conditions of the restrictive covenant.
10. The operator of the transient lodging facility applies for a business license. The Town issues the business license after ensuring the operation of the transient lodging is consistent with the TLO and conditions of the restrictive covenant (including the ongoing provision of long-term rental residential units). The business license is renewed annually which gives the Town an annual opportunity to ensure compliance with the provisions of the TLO.

The current review at the Planning Commission is step #3 (in red italic text).

Compliance with TLO Standards

As a zone change, application of the TLO to a property is a legislative decision. This means the Town has broad legislative discretion whether or not to approve the zone change. However, in order to qualify for consideration of legislative approval there are certain baseline requirements established in the TLO that must first be met. For Type 1 and 2 transient lodging facilities these requirements are found in section 10-13F-8 of the Town Code. This section outlines those requirements and the application's compliance with the requirements.

Note that these standards are prerequisites for consideration for the TLO and not an approval checklist. Thus, if the application does not meet these standards it should be denied without further consideration. However, if the application does meet these requirements then it qualifies for consideration (but not guarantee) of legislative approval pursuant to the standards discussed in the following section ("Legislative Analysis").

<i>Requirement</i>	<i>Application Details</i>	<i>Comments</i>
The property must be located on: 1) a dedicated public road, or 2) a paved private street with the approval of all impacted private property owners.	The property is located on SR9 and Juniper Lane, both public roads.	In compliance.
There must be a 24-hour on-call property manager who can respond to emergencies within 30 minutes of notification.	Matt Rayner, Trista Rayner, and Michelle Kelin are all identified as property managers who can respond within 30 minutes.	In compliance.
The transient lodging operator must adopt and post good	A copy of the proposed good neighbor and guest education	In compliance.

neighbor and guest education policies in a conspicuous location in all lodging units.	policies is included in the applicant's submittal.	
Long-term rental residential units must be developed in conjunction with the transient lodging. One long-term rental residential unit is required for every four transient lodging units. The long-term rental residential unit must meet the requirements of section 10-13F-8(D).	The proposed transient lodging facility contains eight lodging units. This requires two long-term rental residential units. The project includes two long-term residential units in the same structure as the eight transient lodging units. The long-term rental residential units measure 850 square feet in area.	In compliance.
In the CC zone a property may not be developed with more than one transient lodging unit per 2,500 square feet of property area.	The property measures 1.18 acres (approximately 51,400 sf). This allows a total of 20 lodging units on the property. The applicant is proposing to develop eight units.	In compliance.

Legislative Analysis

According to section 10-3-2(A) of the Town Code, it is the Town's general legislative policy not to change zones on properties, unless one of the three following criteria has been met:

- 1) The zone change will promote more fully the objectives and purposes of the land use ordinance and the General Plan,
- 2) There is a manifest error that will be corrected, or
- 3) The zone change will accommodate substantial changes in conditions that are not contemplated in the General Plan.

There are no manifest errors the subject zone change seeks to correct. Thus criterion #2 is not applicable. The General Plan specifically contemplates the Town's role as a gateway community to Zion National Park and the need to balance tourist accommodation with resident quality of life. There are no substantial changes in conditions related to transient lodging the General Plan has not contemplated. Thus criterion #3 is not applicable. Therefore, the TLO zone change may only be approved if it meets criterion #1. That is, the TLO zone change must promote more fully the objectives and purposes of the land use title and General Plan in order to be approved.

Section 10-13F-6 establishes review criteria the Commission should use to determine whether or not the proposed transient lodging will promote the objectives and purposes of the land use ordinance and General Plan. According to section 10-13F-6(B) the Commission and Council should use an evaluation

review framework based on these criteria as a tool in reviewing all TLO applications received in a given application window. The Commission should evaluate all TLO applications relative to each other,³ and relative to the elevation criteria. The review framework is not binding. It does not guarantee approval or denial of any application. It is one tool the Town should use in evaluating TLO applications.

Staff suggests the Commission use the following evaluation criteria framework to evaluate the TLO applications. The TLO zone application requests the applicant respond to each of these review criteria specifically. The applicant's responses to these criteria are included as part of the application materials attached to this report. The Commission should review the applicant's responses and then make its own judgment about the merits of the application relative to these criteria.

Each Commissioner can fill in the columns "Comments on Proposal" and "Points Awarded" on the framework below after reviewing the applicant's responses and prior to the meeting. This can assist the Commission in reviewing the application relative to the objectives and purposes of the land use ordinance and General Plan.

Review Criterion	Points Available	Comments on Proposal	Points Awarded
Will the proposed development clearly maintain Springdale's unique identity and community atmosphere as detailed in Land Use and Town Appearance Subgoal A of the General Plan?	10 pts		
Does the proposed development clearly support the vision for Transient Lodging established in Land Use and Town Appearance Subgoal G of the General Plan? (See two sub-criteria to the right)	Will the proposed transient lodging promote the Town's "in the Park feel", small village scale, and unique village atmosphere? (5pts)		
	Will the proposed transient lodging be attractive, memorable, and unique in such a		

³ Because the Town received fewer applications (2) than the total number allowed to be approved from a given application window (3), all the applications the Town received are eligible for approval. The reason to evaluate applications relative to each other is to ensure the Town is approving those applications that will most fully promote the goals and objectives of the General Plan. The Town can approve one, both, or neither of the two applications received.

	way that complements the visitor's experience in Zion Canyon and Zion National Park? (5 pts)		
Does the proposed development clearly support the vision for tourism related economic development established in Economic Development Subgoal I of the General Plan? (See three sub-criteria to the right)	Will the proposed transient lodging add to the quality of life for residents? (5 pts)		
	Will the proposed transient lodging development protect the community's character? (5 pts)		
	Will the proposed transient lodging development "give back" to the community (with more than just tax revenue)? (5pts)		
Does the proposed development support the vision statement and other applicable goals of the General Plan?	5 pts		
Will the proposed development negatively impact the privacy, peace, quiet, and enjoyment of surrounding properties, particularly those that are residentially zoned?	5 pts		
Will the proposed development help maintain a desirable balance between transient lodging and other commercial uses in the Town's	5 pts		

commercial zones?			
Is the facility projected to create a need for essential municipal services (including water and other utility services) that the Town cannot reasonably meet?	5 pts		
TOTAL	55 pts		

Public Comment

The Town has not received any public comment on the proposed TLO zone change. As required by ordinance, the applicant notified all property owners within 300 feet of the subject property of the intent to apply for the TLO zone prior to making an application. The applicant reports that none of these property owners responded to the pre-application notification.

Suggested Direction for Commission Action

The Commission should complete its review of both TLO zone applications received during the recent application window before making a recommendation on either. The Commission's review should be based on the following:

- 1) Does the application meet all the requirements for the TLO zone in 10-13F-8? (If not, the application is not eligible for approval.)
- 2) How well does the application meet the evaluation criteria established in 10-13F-6?

The Commission should make specific findings regarding the application based on this analysis. The Commission should then create a motion to recommend either approval or denial of the application to the Town Council, based on these findings.

The Commission may wish to use the sample motion language when making this motion:

*The Planning Commission recommends **approval / denial** of the Transient Lodging Overlay zone on parcel S-MMIS-1 to allow the development of eight new transient lodging units (for a total of 14) and two long-term rental residential unit on the property, as presented in the applicant's submittal and reviewed at the May 15, 2024 Planning Commission meeting.*

This motion is based on the following findings:

[LIST FINDINGS]

If making a motion for approval the Commission may wish to include the following conditions:

1. *The applicant must record a restrictive covenant against the property as required by section 10-13F-12 of the Town Code. The TLO zone change will not be finalized until the restrictive covenant has been recorded.*

Springdale Town Community Development

**975 Zion Park Boulevard,
Springdale**

9965382

03/27/2024 - 03/26/2025**Zone Map Amendment**

4ad8b660-ecbb-11ee-a7da-21bd586d1b38

Application Fee

Active

Under Review

Application Review Status

Pre-Review	Approved	
Planning	Not Reviewed	03/27/2024
Final-Review	Not Reviewed	

Fees

Application Fee	\$2,000.00
Subtotal	\$2,000.00
Amount Paid	\$2,000.00
Total Due	\$0.00

Payments

03/27/2024	Online	\$2,000.00
Total Paid		\$2,000.00

Application Form Data

(Empty fields are not included)

Application #

TOS2024-041

First Name

Matt

Last Name

Rayner

Mailing Address

1162 North Sunset Ridge Drive

City

Hurricane

State

UT

Zip

84737

Contact Email

canyonvistazion@gmail.com

Contact Phone

(435) 668-6193

Project Address (or location description)

975 Zion Park Boulevard, Springdale

Parcel Number

S-MMIS-1

Property Size (Acres)

1.18

Property Owner Name

Matt Rayner

Property Owner Phone Number

(435) 668-6193

Is the property owner aware of and in support of the zone change request?

Yes

Property Owner Email Address

canyonvistazion@gmail.com

Current Zone of Property

Central Commercial

Requested Zone for Property

Transient Lodging Overlay

General Plan Map Designation:

Commercial Core

Please attach a site plan showing the details and information listed above.

 **Canyon Vista - Landscaping Percentage Plan.pdf** **Canyon Vista Elevations and Floor Plans.pdf** **Canyon Vista - Site Plan and Landscape Plan.pdf** **Canyon Vista - Site Plan and Parking Lot.pdf**

Please attach: 1) conceptual architectural floor plans, and 2) conceptual elevations of the proposed transient lodging development

 **Canyon Vista Elevations and Floor Plans.pdf**

How many new long-term rental residential units are being developed in conjunction with the proposed transient lodging facility?

2

Please describe the nature and location of the required long-term residential units. Include details on how the long-term residential units will satisfy the requirements of section 10-13F(8)(D) of the Town Code.

The two long term residential units will be located in the north side of the proposed new building. The units will be 850 square feet and comply with all requirements outlined in Section 10-13F(8)(D) for housing standards set by the town.

Please attach 1) conceptual architectural floor plans, and 2) conceptual elevations of the proposed long-term rental residential units showing proposed exterior color and materials of the new structures.

 **Canyon Vista - Lighting Sample.pdf**

 **Canyon Vista - Corten Siding Sample.pdf**

 **Canyon Vista Elevations and Floor Plans.pdf**

 **Canyon Vista Material Elevation 2.pdf**

 **Canyon Vista Material Elevation 1.pdf**

The owner of the property where the long-term rental housing units are located must record a restrictive covenant on the property that identifies the long-term rental residential units and requires the units to be used for long-term residential use for at least 50 years. The covenant must identify to which transient lodging facility the long-term residential units are linked. The covenant must specifically list and require the property owner to adhere to all the requirements for long-term rental residential units contained in section 10-13F-(8)(D) of the Town Code. Is the owner of the property where the proposed long-term rental residential units will be located willing to record the restrictive covenant against the property?

Yes

Please describe the strategies used in the design of the project to protect adjacent properties from the impacts of the proposed development.

We are replacing an existing building so our proposed design has less impact than a new building on a new site. We designed the transient and long term residential units to face primarily west, away from the nearest adjacent property. The added landscaping will help shield the parking areas from the adjacent properties as well.

Only properties that are already in either the Central Commercial (CC) or Village Commercial (VC) zone are eligible for the Transient Lodging Overlay zone. An application for the Transient Lodging Overlay zone and an application to rezone the property to the CC or VC zone may not be made concurrently. What is the current zoning on the property?

Central Commercial

Which Type of transient lodging are you applying for?

Type 1 - 13 or more transient lodging units on the property (property must be in the CC zone)

How many new transient lodging units are proposed to be developed on the property?

8

How many existing transient lodging units are currently developed on the property?

6

Please describe the nature of the transient lodging units.

The new proposed transient units would be 8 one bedroom units with a bathroom and small kitchen.

What is the expected maximum occupant load of each proposed transient lodging unit? If there are multiple types of proposed transient lodging units include the expected maximum occupant load for each type.

The maximum occupancy would be four guests but our expectation would be two adults per one bedroom unit. We would consider up to four guests for a family or other similar type small group.

Please describe how you intend to fulfill the property manager requirement.

Matt Rayner, property owner, currently manages the property with 6 townhome rentals and MeMe's Cafe. He will continue to manage the additional units with his response time being within 30 minutes. Nuisance and non-compliance with standards will not be tolerated. Trista Rayner, Wife and Mechelle Kelin of MeMe's Cafe are also acting property managers.

Name of Property Manager

Matt Rayner

Property Manager Contact Phone

(435) 668-6193

Property Manager Email

canyonvistazion@gmail.com

Applicant Acknowledgement: I certify that I have read the above information regarding the transient lodging development timeline, the annual review of transient lodging standards as part of the business license issuance / renewal process, and the requirement for a restrictive covenant to be recorded against the property. I certify that, if the transient lodging overlay zone is approved on the property, I will assist in fulfilling these requirements.



Digital Signature

Matt Rayner

Please upload PDF documentation of the notice of the project sent to property owners as described above.

 **Redesign Letter to Neighbors 3-8-2024.pdf**

Please upload a PDF summary of the comments regarding the proposed transient lodging received from the property owners who received notice as described above.

 **Summary Neighbor Feedback 3-27-2024.pdf**

Please attach a copy of the proposed good neighbor policies for the transient lodging facility.

 **Canyon Vista - Good Neighbor Guidelines.pdf**

How will the proposed transient lodging facility clearly maintain Springdale's unique identity and community atmosphere as detailed in Land Use and Town Appearance Subgoal A of the General Plan?

The property is located in the central commercial zone and identified as commercial core on the general plan. This improvement will beautify the property as well as create residential housing within the walkable downtown central commercial area. With this overlay approval, we will replace the building that has been vacant for several years and would use the existing footprint for construction of 8 one-bedroom vacation rental units and 2 long-term residential rental units.

The original property was subdivided and 18 townhomes were built in 2014 providing much needed residential housing in town. Many of which have turned into highly desired long term housing rentals.

The property currently has a restaurant and 6 nightly rental townhomes. The proximity to downtown, transportation, school, grocery stores, post office and businesses make this an ideal location for mixed use.

How will the proposed transient lodging facility clearly support the vision for Transient Lodging established in Land Use and Town Appearance Subgoal G of the General Plan? Will the proposed transient lodging promote the Town's "in the Park feel", small village scale, and unique village atmosphere? Will the proposed transient lodging be attractive, memorable, and unique in such a way that complements the visitor's experience in Zion Canyon and Zion National Park?

The plan on this property is small village scale with a restaurant, housing, and lodging. The design of the rental units is more like a townhome versus a commercial hotel atmosphere. We care about the look of our buildings and providing an excellent place for residents and visitors to enjoy. The units are self contained and are walkable to Springdale. The property is less than a two minute walk to shuttle stop 5 and this is promoted in our correspondence with all guests.

The reviews from our 6 current rentals are very positive with the most common feedback being that the units are beautifully appointed, centrally located for walking in Springdale, and how ideal the location is for leaving their vehicles for the duration of their stay. We are frequently complimented on our quick responses to our customers needs and questions.

How will the proposed transient lodging facility clearly support the vision for tourism related economic development established in Economic Development Subgoal I of the General Plan? Will the proposed transient lodging add to the quality of life for residents? Will the proposed transient lodging development protect the community's character? Will the proposed transient lodging development "give back" to the community (with more than just tax revenue)?

The proposed overlay zone will reduce possible traffic on Juniper Lane and noise when compared to other allowed uses on commercial properties. The additional housing and lodging will have assigned parking spots to encourage leaving vehicles parked and walking or taking shuttles when possible. Light pollution will be reduced with the remodel of the building. All night sky ordinances will be followed. This plan will have less of an impact on infrastructure than the current permitted use. The remodel will use our existing driveways with no impact to Zion Park Boulevard or Juniper Lane. This remodel is set back from the road and not anticipated to change the village scale desired by us as owners and outlined as desired by the town of Springdale.

How does the proposed development support the vision statement and other applicable goals of the General Plan?

We are committed to preserving Springdale's unique character and village atmosphere with this small scale development. The central downtown location makes this an ideal property for residential and commercial mixed use. The walkability for residents and visitors in Springdale is extremely important and something that was lost with paid on street parking. We are adding an additional two long term residential units which are highly desired by renters and valuable for town housing, a town priority. The transient lodging ordinance is a reflection of the general plan vision statement and we have done our best to comply with the ordinance.

How will the proposed development avoid negative impacts to the privacy, peace, quiet, and enjoyment of surrounding properties, particularly those that are residentially zoned?

We are located in the Central Core/Central Commercial Zone. We currently have commercial use and are surrounded by commercial and one commercial/residential overlay zone. The remodel and projected use will be less impactful than the current permitted use. All neighboring properties would likely see reduced traffic and noise when compared to other possible commercial applications. With this remodel and landscaping we will beautify the property and make it more in line with the desired village atmosphere.

How will the proposed development help maintain a desirable balance between transient lodging and other commercial uses in the Town's commercial zones?

The mixed use of lodging, long-term residential and a restaurant is ideal on this central commercial lot in the center of town. MeMe's Cafe has been open since 2012. The current nightly rental townhomes (open since 2015) are very popular and the desirability of the residential overlay townhomes we built in 2014 confirm residents and visitors alike enjoy and appreciate the location and development of the property as well as the quaintness of Springdale in general.

Describe how the facility will not create a need for essential municipal services (including water and other utility services) that the Town cannot reasonably meet?

The changes will be less impactful than the current permitted use or possibilities of other commercial development.

OPTIONAL: Please add any additional information you would like to help the Planning Commission and Town Council determine that the proposed transient lodging facility will enhance the Town's community character, as outlined in the General Plan.

We have received feedback that the residential townhomes we built on the sub-divided property are highly desired as homes and long term rentals. Many of the townhomes are rented by people employed in Springdale or Zion. Residents love the walkability of the location and all the conveniences available to them in town. This is echoed by guests that stay in our nightly rentals. The guests frequently comment that it feels like a home away from home and that they feel like a resident of Springdale when they stay. This is the ultimate compliment when we can provide a space that makes a visitor feel like a local. Our guests typically stay longer than hotel guests. We get many return guests and referrals due to the convenience of the location. Please note that on the parking plans it shows "hotel" on the location of our current duplexes/nightly rentals. This is just how the engineers labeled it - it is not a hotel. Thank you.

Signature

I agree that the facts stated in this application are true, and upon changes I will provide notification as needed.

Matt Rayner - 03/27/2024 10:26 pm

Messages

Good morning Matt,

Thank you for your application. The application appears complete; we will be scheduling the application for review by the Planning commission. We will let you know of the meeting date once it is set.

Please let me know if you have any questions or concerns.

Thanks! Kyndal

Comments:

Good morning Matt,

I wanted to let you know that your application will be reviewed by the Planning Commission on May 15th.

Please let me know if you have any questions.

Thanks!
Kyndal

March 8, 2024

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

We are submitting a request to the Town of Springdale for Transient Lodging Overlay Zone approval on the property at 975 Zion Park Boulevard, Springdale, Parcel S-MMIS-1. The property is zoned Central Commercial and owned by Matt Rayner, Canyon Vista.

This improvement will beautify the property as well as create residential housing within the walkable downtown central commercial area.

With this overlay approval, we will replace the building that has been vacant for several years and would use the existing footprint for construction of 8 one-bedroom vacation rental units and 2 long-term residential rental units.

The original property was subdivided and 18 townhomes were built in 2014 providing much needed residential housing in town. The remaining 1.18 acre central commercial lot has MeMe's Café, 6 vacation rental units, and one vacant building.

If you have any feedback or comments, we can be reached by email at canyonvistazion@gmail.com or by phone 435/772-5967.

Thank you,

Matt Rayner
Canyon Vista
POB 10
Springdale, Utah 84767

March 27, 2024

Town of Springdale

We called Laura Doty to discuss our Transient Lodging Overlay design plans since she owns the property adjacent to our proposed construction and because Laura is also applying for a Transient Lodging Overlay for her property. She indicated her support for our project and we talked about working together for screening and landscaping if needed to ensure privacy for both properties.

We have not received any other verbal or written feedback resulting from our letter to our neighbors within 300 feet of the property.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matt Rayner', followed by a long horizontal line.

Matt Rayner
Canyon Vista

Canyon Vista – Good Neighbor Guidelines

Thank you for choosing to vacation in Springdale. We hope you enjoy your stay. These Good Neighbor guidelines help ensure that Springdale remains safe, enjoyable, and beautiful for everyone who lives, works, and plays here.

BE CONSIDERATE OF YOUR NEIGHBORS

- Respect your neighbors, their property, and their privacy - treat your neighbors as you would like to be treated.
- Pick up after yourself and keep the property clean, presentable, and free of trash and debris.
- Place all trash in approved containers. Ensure containers are closed to keep out animals.
- Park only in designated parking spaces on the property. Do not park in the parking lots on adjacent properties.
- Keep noise to a minimum, especially during the quiet hours of 8pm- 7am. Refrain from using amplified music outside the rental unit at all times. Quiet hours apply to outdoor areas as well.
- Parties and gatherings involving people who are not guests of the rental unit are prohibited. The maximum capacity of the rental unit must not be exceeded.

TRANSPORTATION

- Most destinations in Springdale are within walking or biking distance, or are accessible on the free shuttle service operated by Zion National Park. We encourage you to leave your vehicle at the rental property and walk or bike to destinations in Springdale, and to take the shuttle when visiting Zion National Park. Doing so avoids hassles with parking and reduces traffic in Town.
- When you must drive your vehicle, drive slowly and courteously on all streets and obey all traffic and parking regulations.
- Be aware that all on-street parking is either in a pay parking zone or a residential permit parking zone.

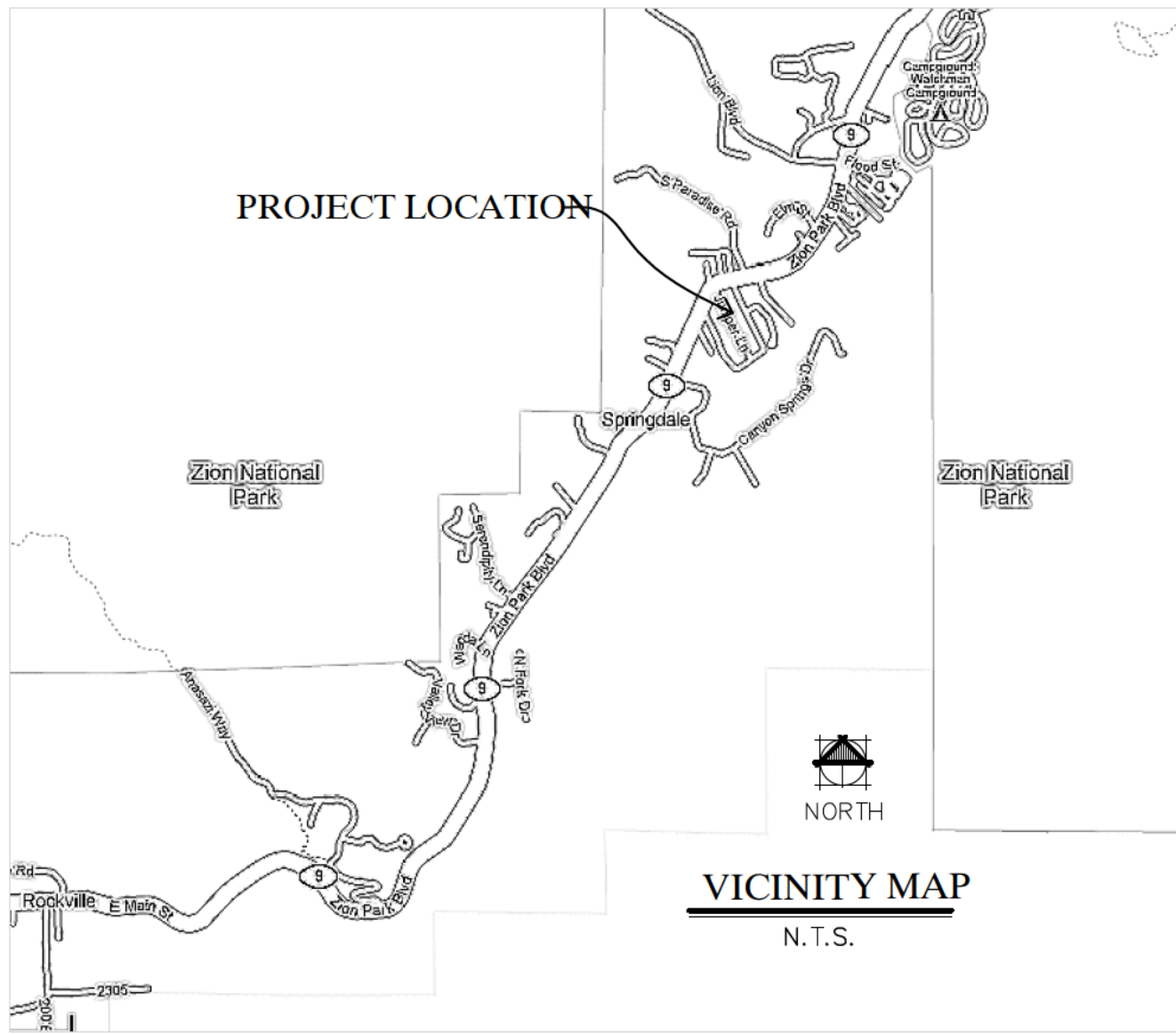
RESPECT OUR NATURAL ENVIRONMENT

Zion Canyon's spectacular scenery is enjoyed by millions of people each year. Here are some ways you can help keep the scenery and environment spectacular:

- Protect our night sky. Turn off outdoor and indoor lights when not in use.
- Respect wildlife. Do not feed or approach local wildlife.
- Fire and Firework Restrictions – Fires and Fireworks are not allowed on the property. Utah has been in a period of extended drought. Please be fire conscious. Depending on the time of year and the conditions, firework and fire restrictions may be in place in the town of Springdale and Zion National Park. Even if fire restrictions are not in place, only use approved devices and never leave a fire unattended.

PETS

- Pets are not allowed on the property or in rental units.



PROJECT LOCATION

THE PROJECT IS LOCATED AT:
675 ZION PARK BOULEVARD
SPRINGDALE, UTAH

RAYNER PARKING LOT

LOCATED IN SECTION 29, TOWNSHIP 41 SOUTH, RANGE 10 WEST OF THE SALT LAKE
BASE AND MERIDIAN IN THE CITY OF ST. GEORGE, WASHINGTON COUNTY, UTAH.

POWER

ROCKY MOUNTAIN POWER
P.O. BOX 400
PORTLAND, OREGON 97207
(800) 464-3481

WATER/SEWER

TOWN OF SPRINGDALE
185 LION BOULEVARD
SPRINGDALE, UTAH 84767
(435) 712-3434

CATV SERVICE

TDS BROADBAND
111 WEST 700 SOUTH
ST. GEORGE, UTAH 84710
(866) 622-8848

TELEPHONE

CENTURYLINK
596 N. 1400 E. (TRAILER)
ST. GEORGE, UTAH 84710
(435) 673-4634

OWNER/DEVELOPER/CONTACT

THE DEVELOPER FOR THIS PROJECT IS:
MATT RAYNER
84 EAST 1125 NORTH
HURRICANE, UTAH 84731
(435) 668-6113

PROJECT ENGINEER

THE ENGINEER FOR THIS PROJECT IS:
ROSENBERG ASSOCIATES
CONTACT: CHARLIE GONZALEZ
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UTAH 84790 (435) 673-8586

GEOTECHNICAL ENGINEER

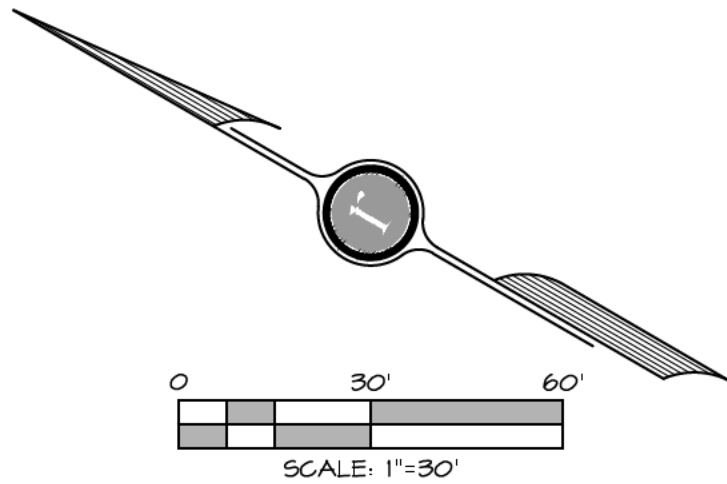
THE ENGINEER FOR THIS PROJECT IS:
LANDMARK TESTING & ENGINEERING
145 EAST FACTORY DRIVE
ST. GEORGE, UTAH 84790 (435) 486-0566

LEGEND

- EXISTING PAVEMENT
- EXISTING PAVED CART PATH
- PROPOSED PAVEMENT
- EXISTING CURB AND GUTTER
- PROPOSED STANDARD CURB AND GUTTER
SEE DETAIL A/3.0
- PROPOSED SHED TYPE CURB AND GUTTER
SEE DETAIL B/3.0
- EXISTING ACCESSIBLE PARKING
- EXISTING ACCESSIBLE AISLE (STRIPE SURFACE)
- EXISTING ACCESSIBLE PARKING SIGN

NOTE:

ALL TRAFFIC CONTROL SIGNS AND STRIPING
SHALL CONFORM TO TOWN OF SPRINGDALE STANDARDS AS WELL AS
THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



SITE DATA

CURRENT ZONE:
CENTRAL
COMMERCIAL
(CC)

TOTAL AREA:
5,793 SQ. FT.
0.13 ACRES

PROJECT LAND USE:
COMMERCIAL

PARKING PROVIDED:
12 STANDARD
12 TOTAL

SHEET LAYOUT

SHEET NUMBER	SHEET DESCRIPTION
1.0	COVER SHEET
3.0	SITE/GRADING PLAN & DETAIL SHEET
4.0	UTILITY PLAN

ENGINEER'S ACKNOWLEDGMENT:

I, RAYMOND M. ALLTON, ST. GEORGE, UTAH DO HEREBY
CERTIFY THAT I AM A REGISTERED PROFESSIONAL
ENGINEER AS PRESCRIBED BY THE LAWS OF THE STATE OF
UTAH AND THAT I HOLD CERTIFICATE OF REGISTRATION
(LICENSE) NUMBER 179031. I FURTHER CERTIFY THAT THE
DESIGN OF THESE IMPROVEMENT PLANS WAS MADE UNDER
MY DIRECTION AND SUPERVISION AND IS ACCURATELY
REPRESENTED ON THESE PLANS.

Date: April 19, 2023

Raymond M. Allton

Raymond M. Allton, P.E.

Certificate No. 179031

DATE: 4/19/2023

JOB NO.: 5775-22-003

DRAWN BY: CRG

DESIGNED BY: RMA

SCALE: AS NOTED

DWG: New Parking Lot

DATE:

REVISIONS:

DATE:

REVISIONS:

DATE:

REVISIONS:

DATE:

REVISIONS:

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REVISIONS:

Call before you Dig
1-800-662-4111
BLUE STAKES LOCATION CENTER (UTAH)

GRADING LEGEND:

- EXISTING 1' CONTOURS
EXISTING 5' CONTOURS
PROPOSED 1' CONTOURS
PROPOSED 5' CONTOURS
- DIRECTION OF FLOW
- CENTERLINE STATION & TOP BACK OF CURB ELEVATION (TBC)
STA. 11+54.93
TBC 2545.29
- EXISTING PAVEMENT
EXISTING PAVED CART PATH
PROPOSED PAVEMENT
- EXISTING CURB AND GUTTER
PROPOSED STANDARD CURB AND GUTTER
SEE DETAIL A/3.0
PROPOSED SHED TYPE CURB AND GUTTER
SEE DETAIL B/3.0
- EXISTING ACCESSIBLE PARKING
EXISTING ACCESSIBLE AISLE (STRIPE SURFACE)
EXISTING ACCESSIBLE PARKING SIGN

GRADING NOTES:

- ALL EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF SPRINGDALE, SPECIFICALLY APPENDIX 33 OF THE 'UNIFORM BUILDING CODE', 1994 EDITION FOR FEE SCHEDULES, APPENDIX K OF THE 'UTAH UNIFORM BUILDING STANDARD ACT RULES' FOR GRADING, EXCAVATION AND EARTHWORK CONSTRUCTION AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEOTECHNICAL STUDY PREPARED BY LANDMARK TESTING & ENGINEERING, 525 N. 3050 E., #3, ST. GEORGE, UTAH 84790.
- THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT TO CONTROL DUST AND AIR POLLUTION CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ALSO PROVIDE SUITABLE MUD AND DIRT CONTAINMENT TO MAINTAIN THE WORK SITE, ACCESS ROADWAYS AND ADJACENT PROPERTIES IN A CLEAN CONDITION.
- ALL IMPORTED STRUCTURAL FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE. ALL STRUCTURAL FILL SHALL BE PLACED IN 8" HIGH LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY (ASTM D-1557).
- ALL EXCAVATIONS, GRADING AND FILL OPERATIONS WITHIN THE BUILDING AREA SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO VERIFY SUB-SOIL CONDITIONS AND DETERMINE ADEQUACY OF SITE PREPARATION, SUITABILITY OF FILL MATERIALS AND COMPLIANCE WITH COMPACTION REQUIREMENTS.
- THE DEVELOPER FOR THIS PROJECT IS: MATT RAYNER AND ROGER COLEMAN, FOR QUESTIONS REGARDING THIS PROJECT CONTACT PETER STEMPEL, AIA, P.O. BOX 790206, VIRGIN, UT, 84771, (435) 635-3718.

SIGN SUMMARY:

NOTE:
ALL STRIPING SHALL CONFORM TO TOWN OF SPRINGDALE STANDARDS AS WELL AS THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

ESTIMATED EARTHWORK VOLUMES:

44	(C) CU. YD. CUT
16	(F) CU. YD. FILL
28	(F) CU. YD. NET

CUT AND FILL VOLUMES SHOWN ARE BASED ON DIGITAL TERRAIN MODELING COMPUTATIONS. VOLUMES SHOWN ARE COMPACTED IN PLACE VOLUMES AND DO NOT REFLECT EXPANSION AND SHRINKAGE CONDITIONS EXPERIENCED DURING CONSTRUCTION. THESE VOLUMES ARE SHOWN AS REFERENCE ONLY.

- THE CONTRACTOR SHALL BE RESPONSIBLE TO EVALUATE THE ONSITE SOILS, REVIEW THE GEOTECHNICAL INVESTIGATION AND DETERMINE THE ANTICIPATED EARTHWORK FOR THIS PROJECT.

ACCESSIBILITY NOTES:

ALL ACCESSIBLE RAMPS, AISLES & ACCESS ROUTES SHALL COMPLY TO ADA STANDARDS, INCLUDING BUT NOT LIMITED TO, THE FOLLOWING:

- MAX. SLOPE OF 1:20; MAX. CROSS SLOPE OF 1:48.
- PROVIDE LEVEL LANDINGS AT ALL EXTERIOR DOORS WITH MAX. GRADE OF 2%.

DRAINAGE NOTES:

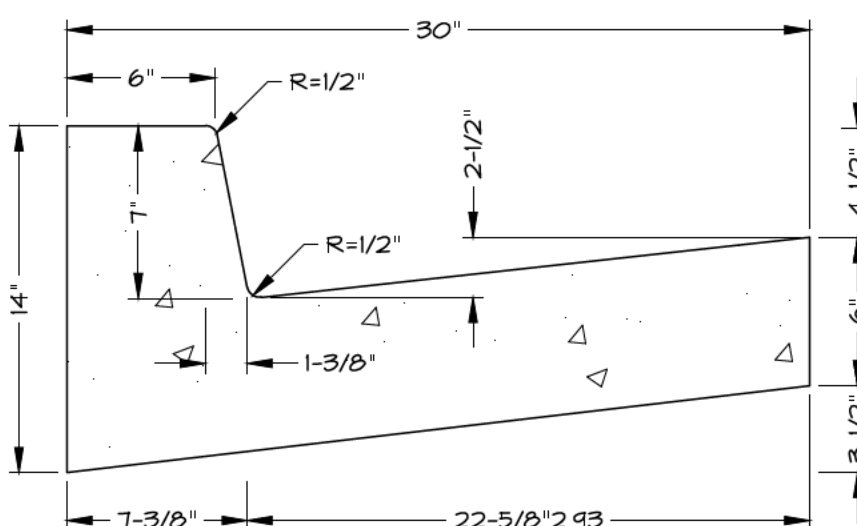
SITE DRAINAGE SHALL COMPLY WITH THE DRAINAGE REPORT PROVIDED BY ROSENBERG ASSOCIATES, DATED AUGUST 21, 2007. IN ADDITION:

- IN LANDSCAPED AREAS, PROVIDE 3% MIN SLOPE FOR A DISTANCE OF 10' AWAY FROM ALL BUILDINGS. IN PAVEMENT OR SLAB AREAS, PROVIDE 2% MIN SLOPE. IN AREAS WHERE ALTERNATIVE METHODS ARE REQUIRED, REFERENCE GEOTECHNICAL REPORT SECTION 8.0 MOISTURE CONTROL (1-4).
- THIS SITE LIES OUTSIDE OF THE VIRGIN RIVER FLOODPLAIN.

NOTE:
ALL APPLICABLE DETAILS SHALL COMPLY WITH TOWN OF SPRINGDALE STANDARDS.

GENERAL NOTES:

- CONTOUR INTERVAL IS 1 FT.
- OWNER RESPONSIBLE FOR ALL DRAINAGE ON-SITE.
- PARKING LOT AREA PAVEMENT DESIGN IS THE SAME AS STREET DESIGN: 2 1/2" ASPHALTIC CONCRETE OVER 6" OF TYPE II BASE OVER 12" OF COMPACTED SUBGRADE.

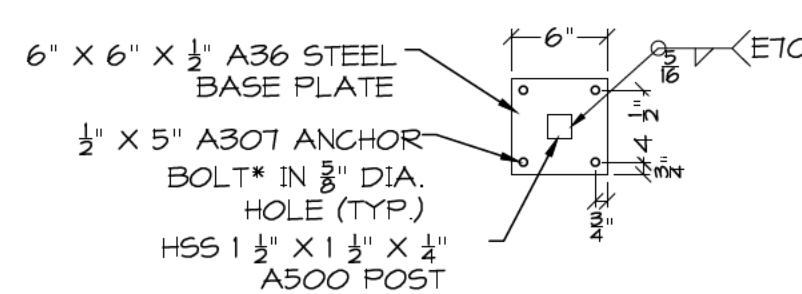


TYPE HB30-7

- NOTES:
- ALL CONCRETE SHALL BE CLASS "A" CONCRETE.

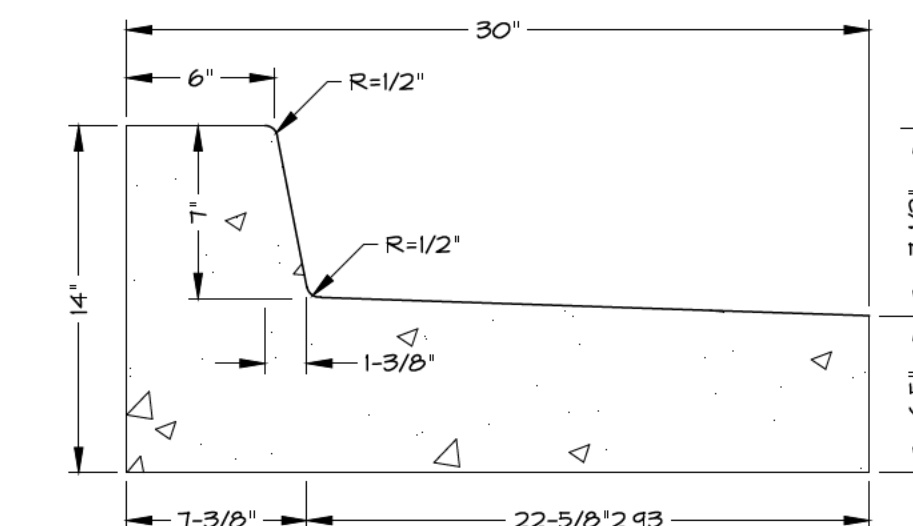
A STANDARD CURB & GUTTER
SCALE: N.T.S.

- NOTES:
-PROVIDE POWDER COAT FINISH ON ALL GUARD RAIL
-ANCHOR BOLTS TO BE INSTALLED WITH SIMPSON SET-EX EPOXY
-USE 1/8" THICK MOLDED BEARING PAD



C SAFETY RAILING BASE

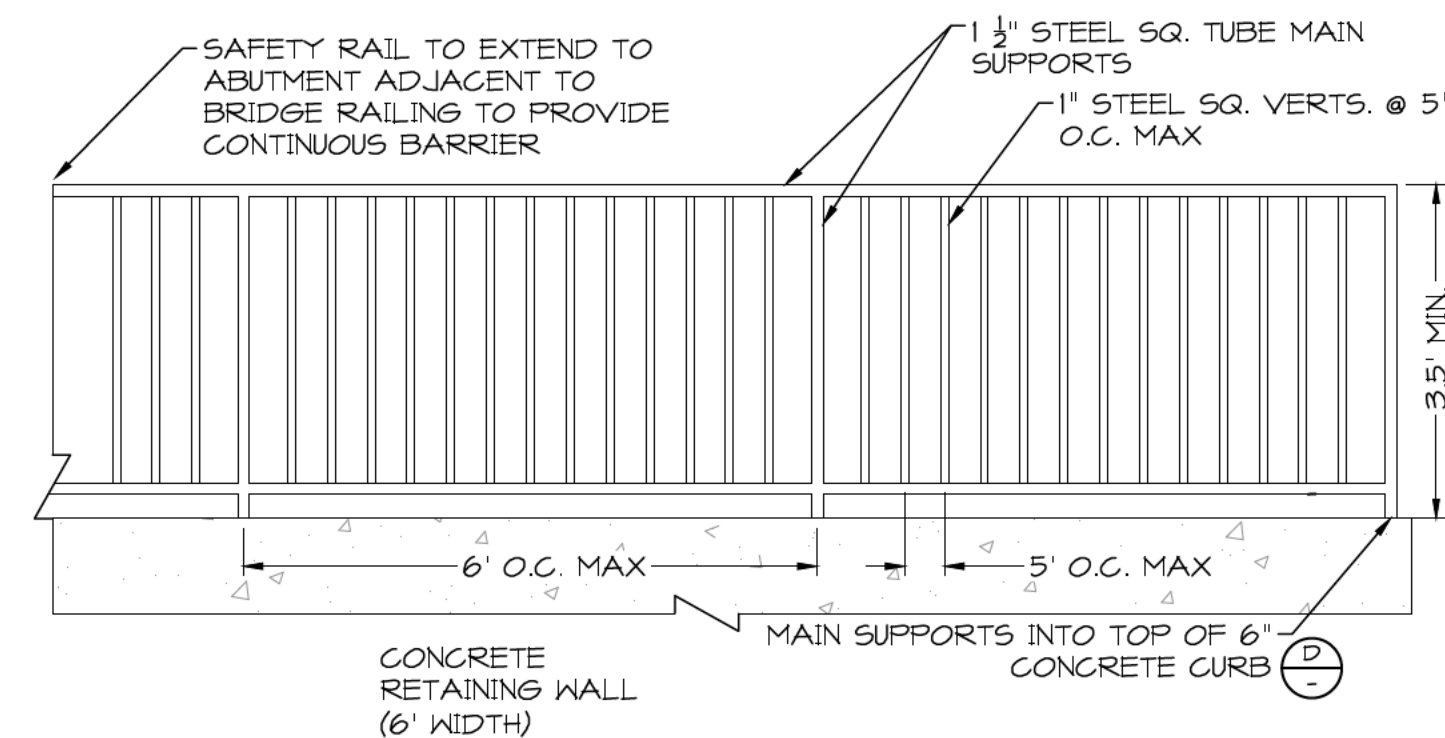
SCALE: N.T.S.



SHED CURB

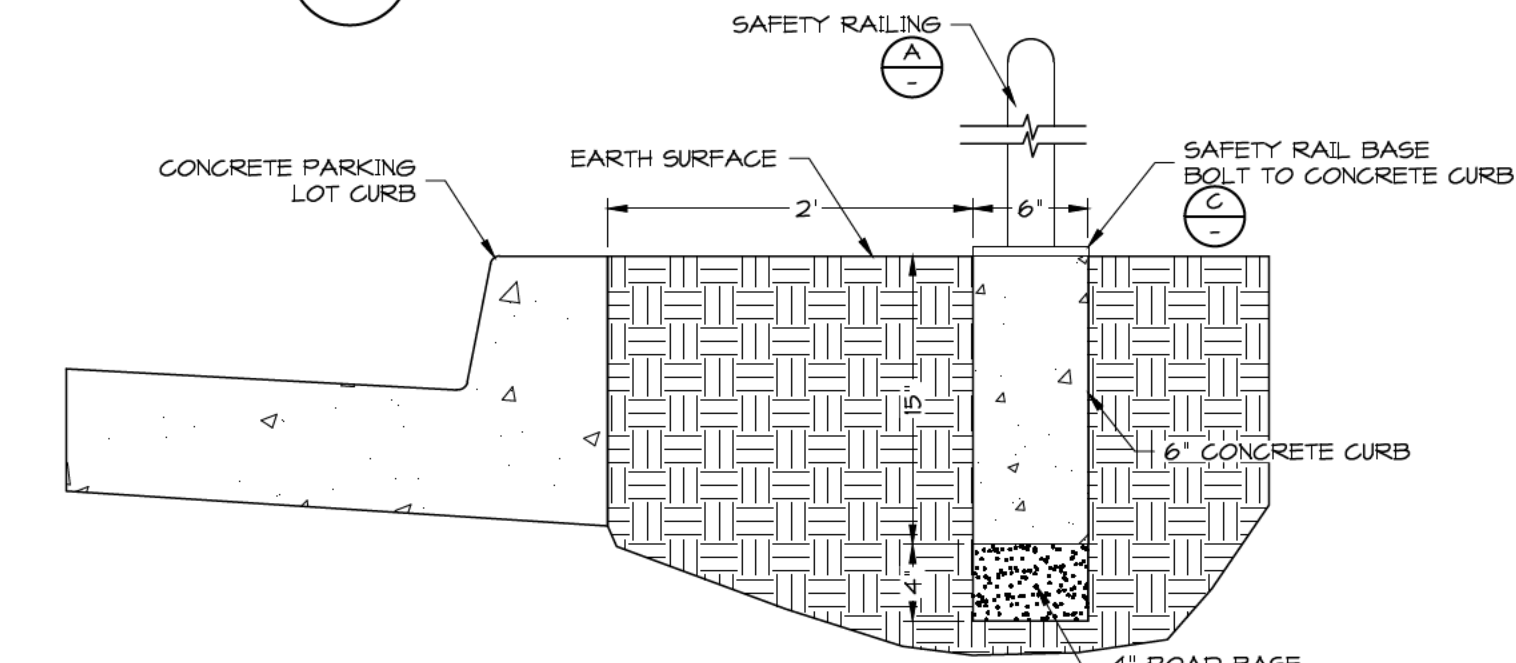
- NOTES:
- ALL CONCRETE SHALL BE CLASS "A" CONCRETE.

B SHED TYPE CURB & GUTTER
SCALE: N.T.S.



D SAFETY RAILING

SCALE: N.T.S.



E 6" CONCRETE CURB

SCALE: N.T.S.

E 6" CONCRETE CURB
SCALE: N.T.S.

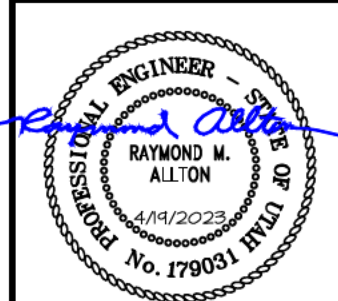
DATE:	4/14/2023
JOB NO.:	5TT5-22-003
DRAWN BY:	CRG
DESIGNED BY:	RMA
SCALE:	AS NOTED
DWG:	New Parking Lot
REVISIONS	

ROSENBERG
ASSOCIATES
CIVIL ENGINEERS • LAND SURVEYORS



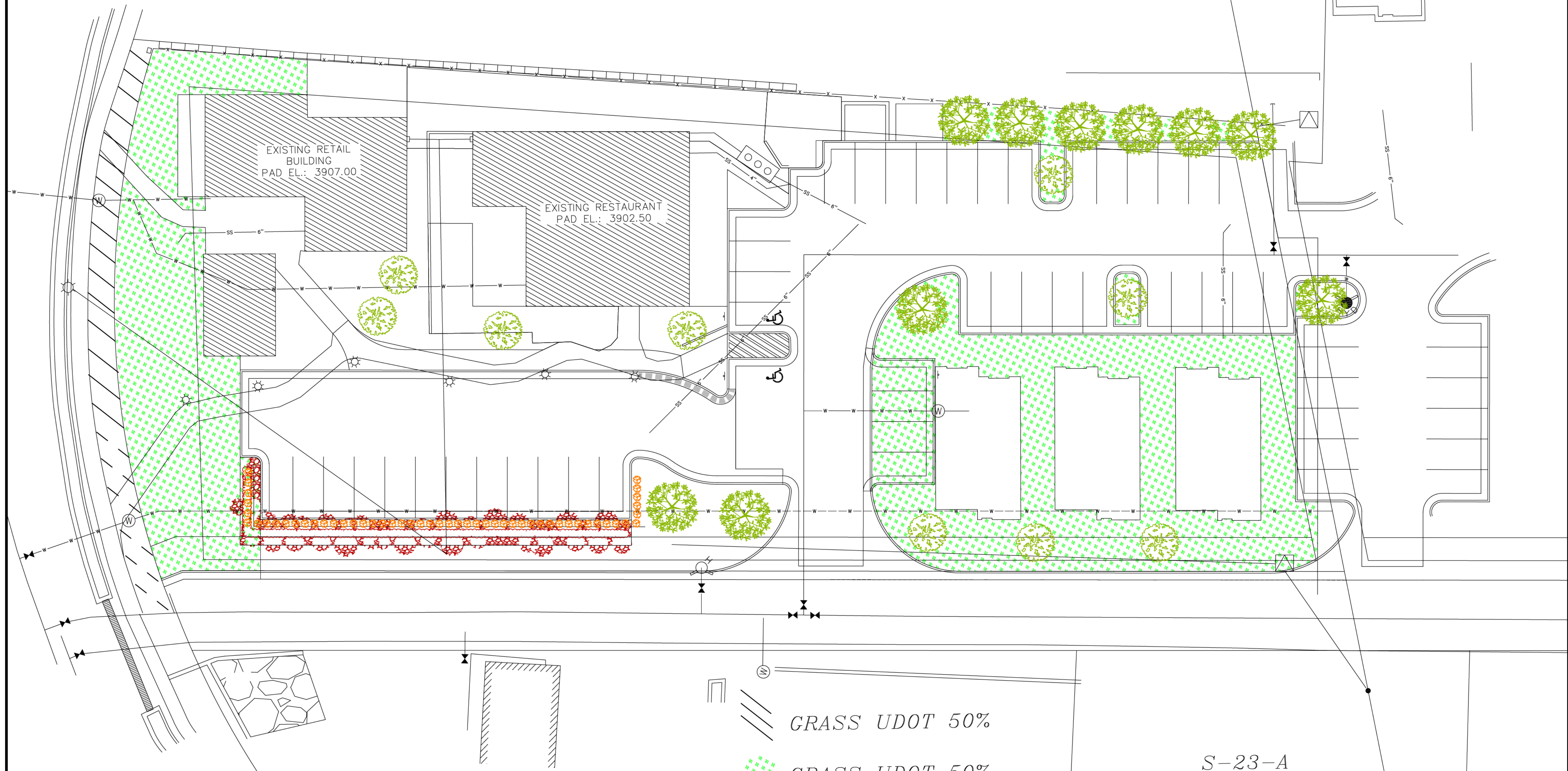
352 East Riverside Drive, Suite A-2
St. George, Utah 84790
Ph (435) 673-8886; Fx (435) 673-8397
www.rosenbergassociates.net

SITE/GRADING PLAN & DETAIL SHEET
FOR
RAYNER PARKING LOT
MATT RAYNER
SPRINGDALE, UTAH 84767



SHEET
3.0
2 OF 3 SHEETS

S-14-B-1



EXISTING RETAIL BUILDING
PAD EL.: 3907.00

EXISTING RESTAURANT
PAD EL.: 3902.50

S-23-A-2

SHRUB AND TREE VARIETIES
TO BE CHOSEN IN CONSULTATION
WITH MY LANDSCAPER AND
APPROVED BY TOWN PLANNER

GRASS UDOT 50%

GRASS UDOT 50%

SHRUB 3' - 52

EXISTING TREES - 9

NEW TREES - 10

S-23-A

GENERAL NOTES

3-13-2024

SITE PLAN

975 ZION PARK BLVD 3-4
SPRINGDALE, UTAH

FLOOR
PLAN

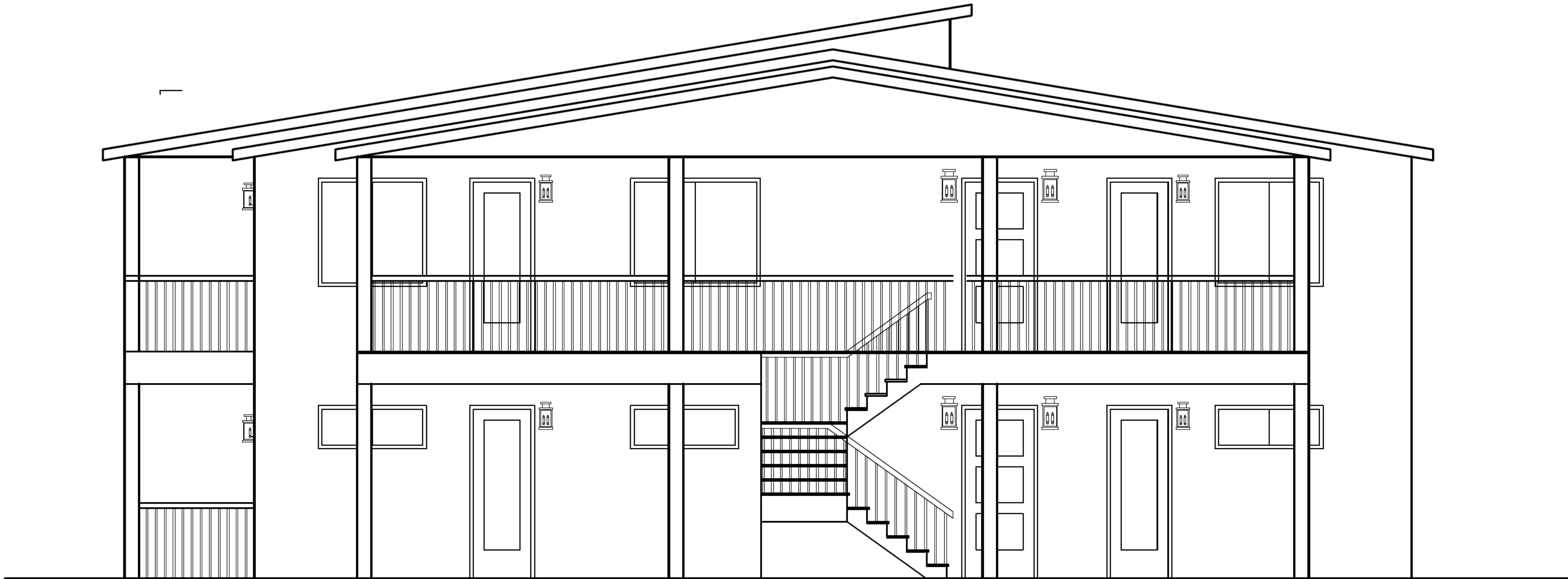
101 A

SITE PLAN

SCALE 3/4" = 1'-0"

DATE: 2-29-2024
DRAWN BY:
REVISIONS:

S-14-B-1

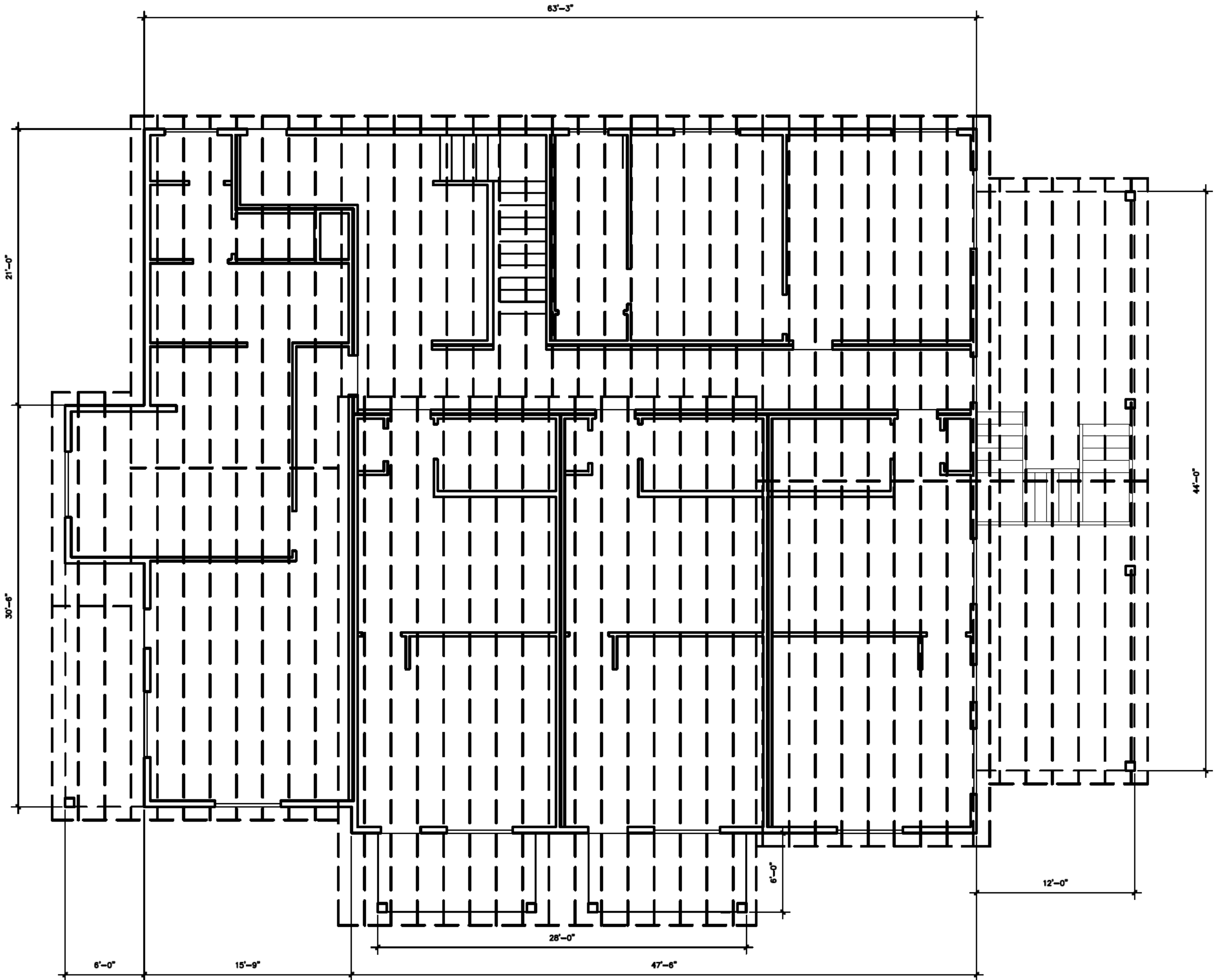
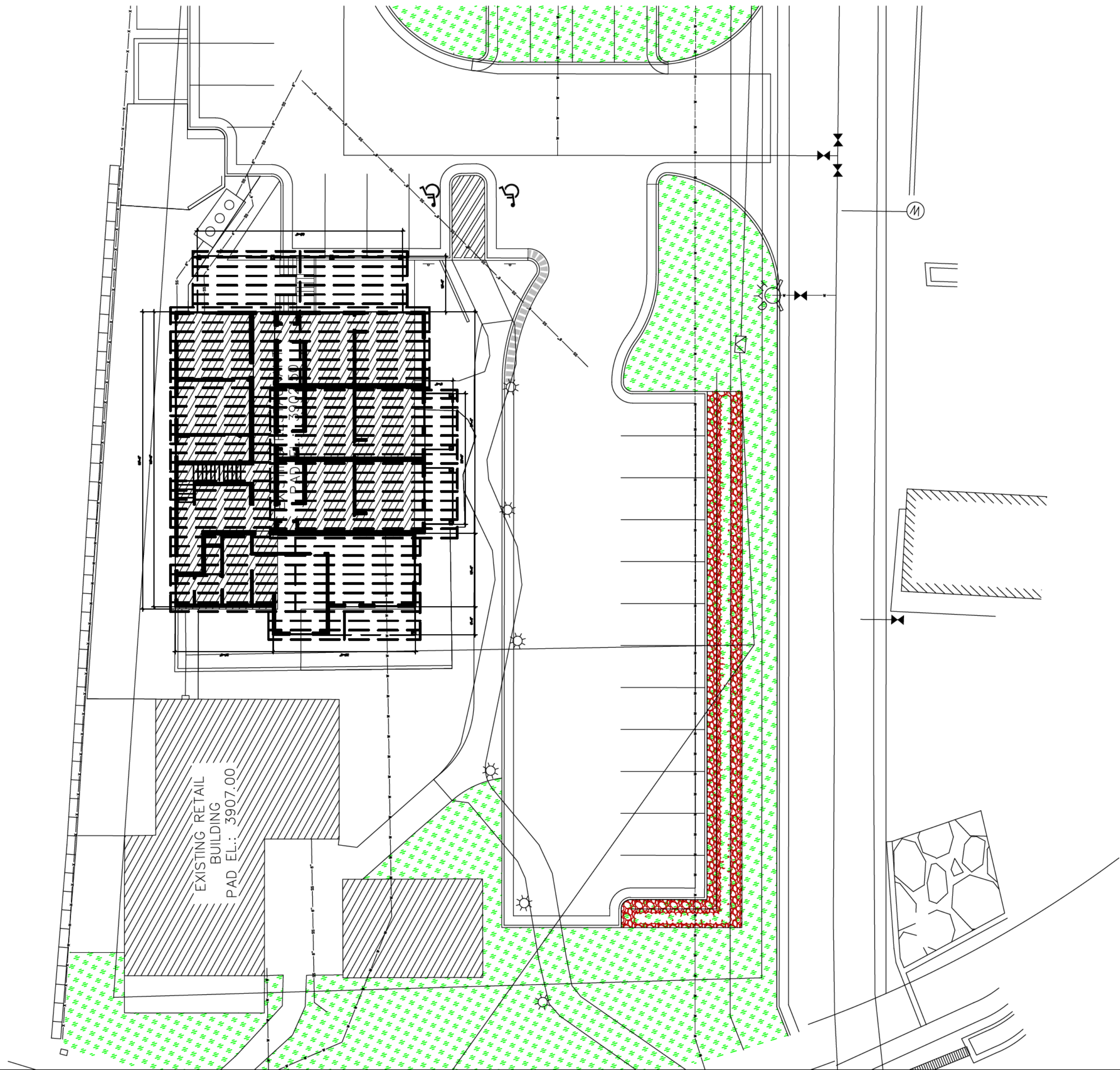


ENTRY

THESE PLANS ARE IN
CODE REGULATIONS
WITH THE NEWEST IRC
CODE BOOK 2018

WATER: FOR RECIRCULATING HOT WATER SYSTEMS, HOT
WATER PIPES WILL BE INSULATED WITH R2 MINIMUM.
WINDOWS, DOORS AND SKYLIGHTS: WINDOW.SKYLIGHT U-FACTOR
- 0.65 (GLAZED FENESTRATION RATING)
SEALING: SEALING IS REQUIRED BETWEEN ALL JOINTS, SEAMS,
DOOR AND WINDOW FRAMES, RECESSED LIGHTING, AND BEHIND
ALL TUBS, SHOWERS, AND ALL PENETRATIONS.

N1101.8 CERTIFICATE.
A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL
DIST. PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER.
THE CERTIFICATE SHALL LIST R-VALUES OF THE INSULATION INSTALLED
IN OR ON THE CEILINGS/ROOF, WALLS, FOUNDATION, SLAB, AND DUCTS
OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION; AND THE
SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION. WHERE THERE
IS MORE THAN ONE VALUE OF EACH COMPONENT, THE CERTIFICATE SHALL
LIST THE VALUE COVERING THE LARGEST AREA. THE CERT SHALL LIST
THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER
HEATING EQUIPMENT.



6778 TOTAL SQUARE FEET

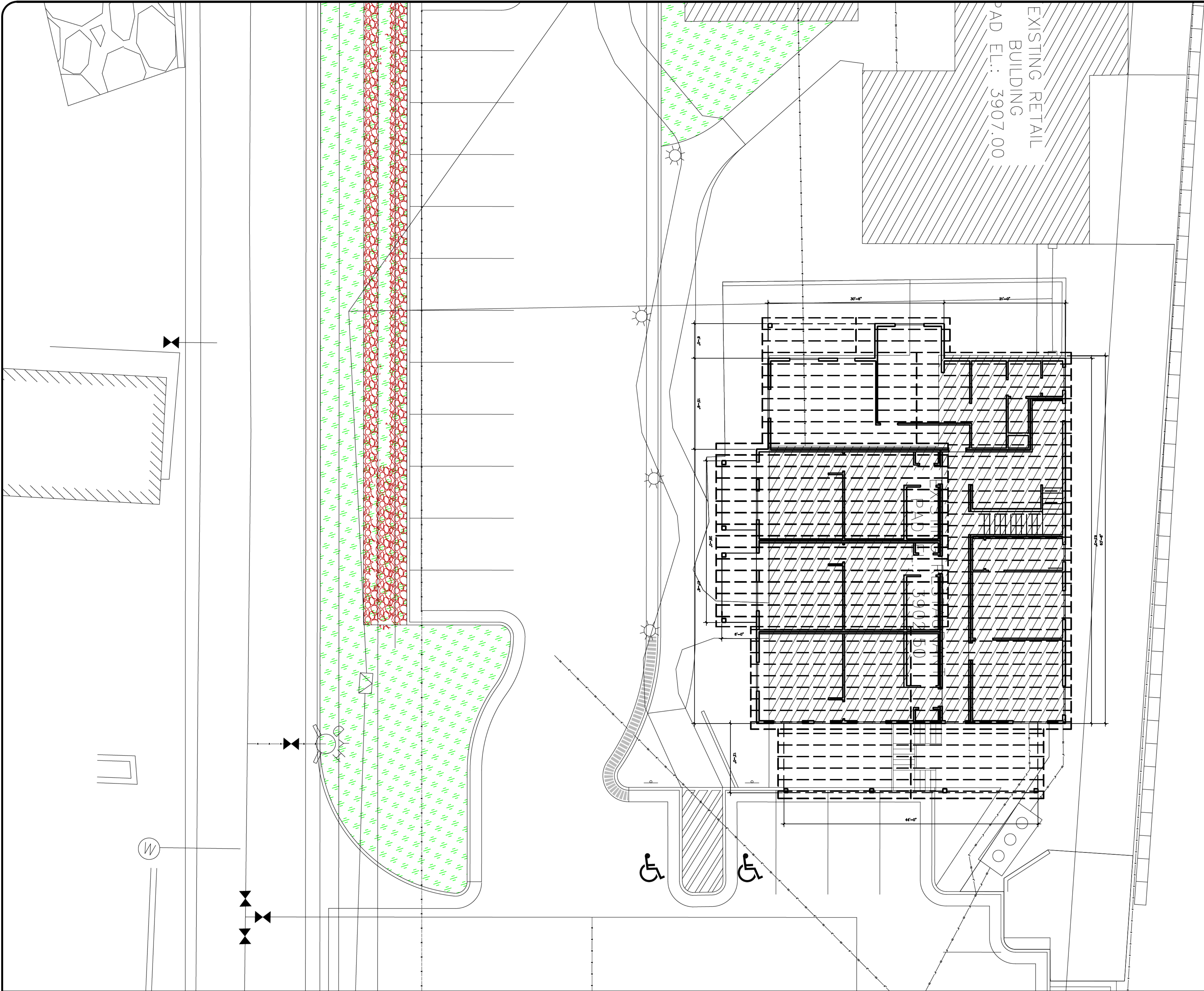
DATE: 3-27-2024
DRAWN BY:
REVISIONS:

LONG TERM & TRANSIENT RENTALS

975 ZION PARK BLVD.
SPRINGDALE, UTAH

COVER PAGE

A 000

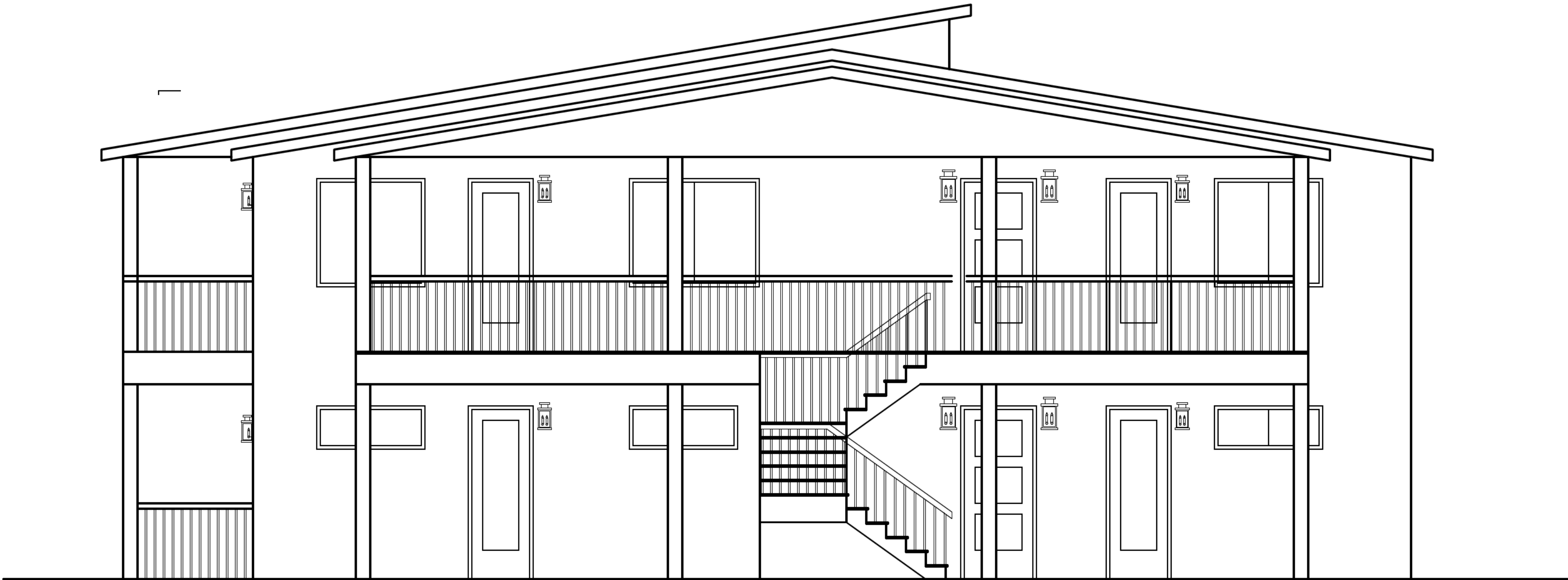


GENERAL NOTES

SITE PLAN
SCALE 1/8" = 1'-0"

DATE: 3-15-2024
DRAWN BY:
REVISIONS:

LONG TERM RENTALS
SPRINGDALE, UTAH



ENTRY



SOUTH SIDE

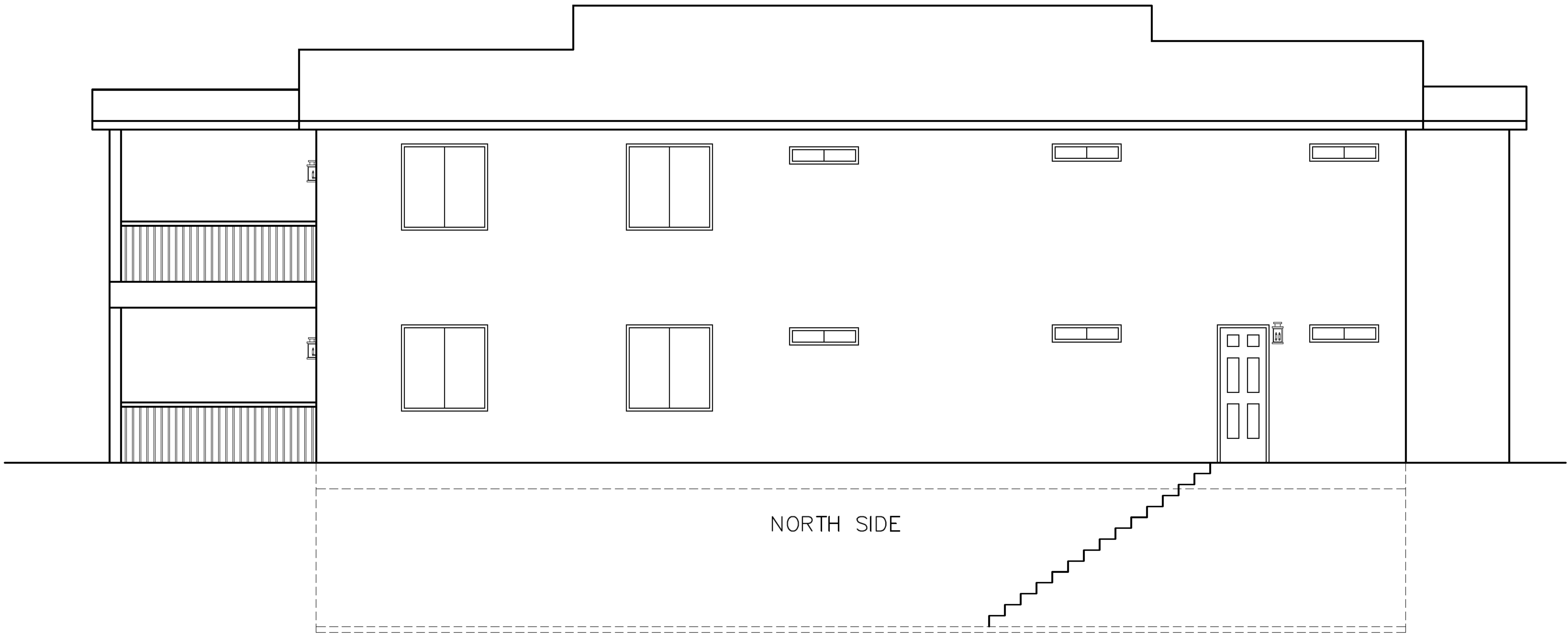
ELEVATIONS

SCALE 1/4" = 1'-0"

DATE: 3-15-2024
DRAWN BY:
REVISIONS:



WEST SIDE ENTRY



NORTH SIDE

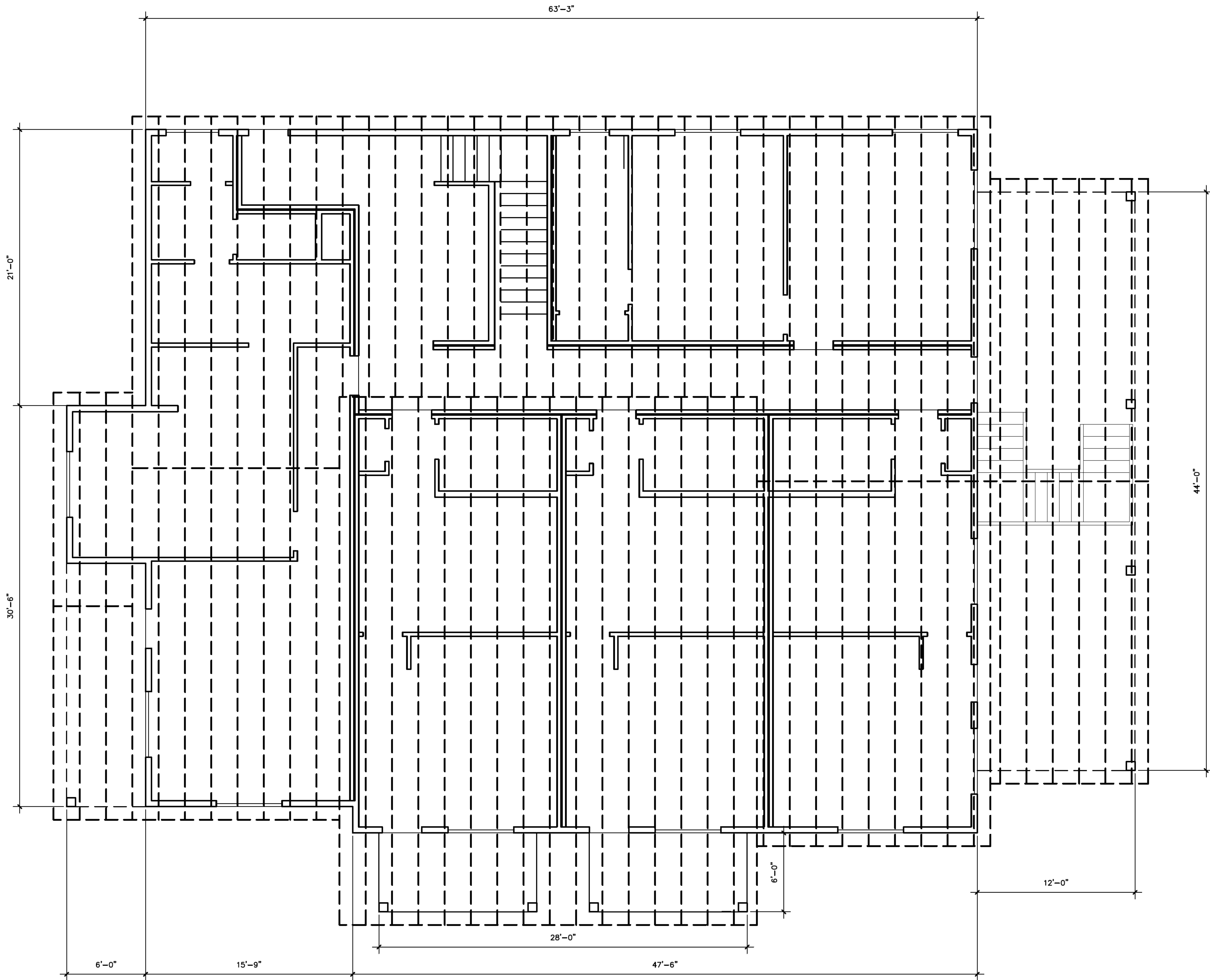
ELEVATIONS

SCALE 1/4" = 1'-0"

DATE:
DRAWN BY:
REVISIONS:

LONG TERM & TRANSIENT RENTALS

975 ZION PARK BLVD.
SPRINGDALE, UTAH



GENERAL NOTES

LONG TERM & TRANSIENT RENTALS

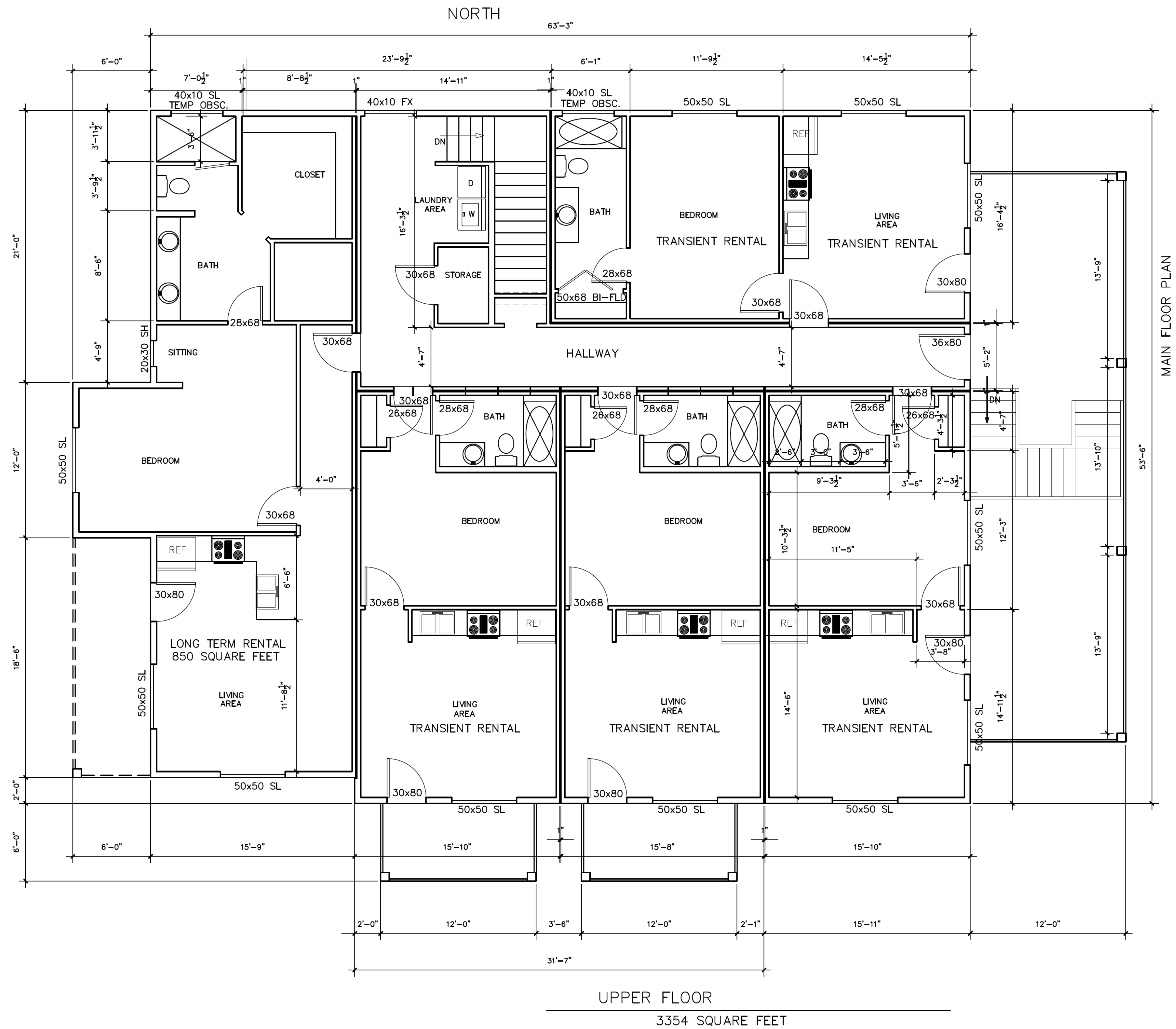
975 ZION PARK BLVD.
SPRINGDALE, UTAH

ROOF PLAN

SCALE 1/4" = 1'-0"

DATE: 3-15-2024
DRAWN BY:
REVISIONS:

A 300



UPPER FLOOR

3354 SQUARE FEET

GENERAL NOTES

3-27-2024

LONG TERM & TRANSIENT RENTALS

975 ZION PARK BLVD.
SPRINGDALE, UTAH

FLOOR PLAN

UPPER FLOOR

A 401

LONG TERM RENTALS

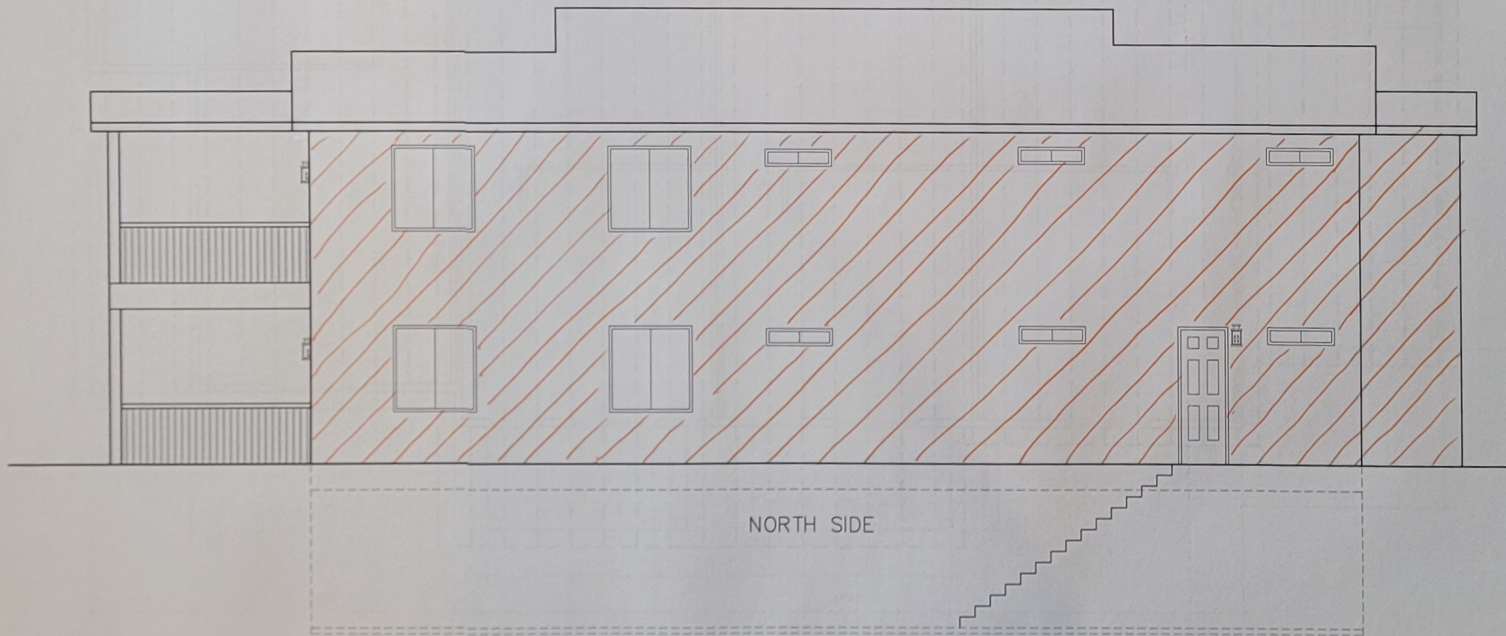
UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"

DATE: 2-27-2024
DRAWN BY:
REVISIONS:



WEST SIDE ENTRY



NORTH SIDE

ELEVATIONS

SCALE 1/4" = 1'-0"

DATE:
DRAWN BY:
REVISIONS:

Dimensions



DOWNLOAD DIMENSIONS



Part No.: RV12-1

- **Face:** 12"
- **Reveal:** 1"
- **Coverage:** 13"

Part No.: RV14-1

- **Face:** 14"
- **Reveal:** 1"
- **Coverage:** 15"

Part No.: RV16-1

- **Face:** 16"
- **Reveal:** 1"

Part No.: RV18-1

- **Face:** 18"
- **Reveal:** 1"



9234BK

