

**CITY OF SARATOGA SPRINGS
CITY COUNCIL MEETING**

Tuesday, July 15, 2014

Meeting held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

AMENDED CITY COUNCIL AGENDA

Councilmembers may participate in this meeting electronically via video or telephonic conferencing.

POLICY SESSION- Commencing at 7:00 p.m.

- Call to Order.
- Roll Call.
- Invocation / Reverence.
- Pledge of Allegiance.
- Awards, Recognitions and Introduction. (Swearing in of Saratoga Springs Police Officer, John Hill and Recognition of the C.E.R.T. graduates)
- Public Input - Time has been set aside for the public to express ideas, concerns, and comments. Please limit repetitive comments.

POLICY ITEMS

1. Consent Calendar:
 - a. Award of Bid for the 2014 City Wide Pavement Preservation.
 - b. Approval of Final Plat for Landrock Connection located south of the intersection of Valley View and Grandview Court, Lakeview Land and Development Company/Clay Peck, applicant.
 - i. Resolution R14-34 (7-15-14) Addendum to resolution of the City of Saratoga Springs pertaining to the City Street Lighting Special Improvement District to include additional subdivision lots. (Landrock Connection)
 - c. Approval of Minutes:
 - i. July 1, 2014.
 - ii. July 8, 2014.
2. Sewer Collection Facilities Impact Fee.
 - a. Public Hearing Regarding the Propose Sewer impact Fee, Sewer Impact Fee Facilities Plan, and Sewer Impact Fee Analysis.
 - b. Consideration of Ordinance 14-19 (7-15-14): Ordinance Enacting and Adopting Amended Sewer Impact Fee a Sewer Impact Fee Facilities Plan, and the Sewer Impact Fee Analysis in the City of Saratoga Springs, Utah.
3. Concept Plan for Saratoga Springs South Stake Center located at 330 South Village Parkway, Evans and Associates Architecture, applicant.
4. Lake Cove located at 2618 South Spinnaker Drive, Ron Johnston, applicant.
 - a. Consideration of Preliminary Plat and Final Plat.
 - b. Consideration of Resolution R14-35 (7-15-14): Addendum to resolution of the City of Saratoga Springs pertaining to the City Street Lighting Special Improvement District to include additional subdivision lots. (Lake Cove)
5. Hillcrest Condominium Phase 3 located at approximately 1900 North Crest Road, Nate Hutchinson, applicant.
 - a. Consideration of Preliminary Plat and Site Plan Amendment.
6. Public Hearing: Harvest Heights located between Redwood Road and Fall Harvest Drive, Fieldstone Utah Investors, applicant.
 - a. Concept Plan and Possible Rezone from A, Agricultural to R-4, Low Density Residential, R-6, Medium Density Residential and RC, Regional Commercial.
 - b. Consideration of Ordinance 14-20 (7-15-14): An Ordinance of the City of Saratoga Springs, Utah, adopting amendments to the Saratoga Springs City's Official Zoning Map and Rezoning Harvest Heights property from A, Agricultural to R-4, Low Density Residential, R-6, Medium Residential and RC, Regional Commercial; instructing the City staff to amend the City Zoning Map and other official zoning records of the City; and establishing an effective date. (Harvest Heights)
7. Motion to enter into closed session for the purchase, exchange, or lease of property, pending or reasonably imminent litigation, the character, professional competence, or physical or mental health of an individual.
8. Adjournment.

Notice to those in attendance:

- Please be respectful to others and refrain from disruptions during the meeting.
- Please refrain from conversing with others as the microphones are sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (e.g., applauding or boing).
- Please silence all cell phones, tablets, beepers, pagers, or other noise making devices.
- Refrain from congregating near the doors to talk as it can be noisy and disruptive.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.

City Council Staff Report

Author: Jeremy D. Lapin, P.E., City Engineer

Subject: Bid Award for 2014 City Wide Pavement Preservation

Date: July 15, 2014

Type of Item: Bid Award recommendation



Description:

- A. Topic:** This item is for the approval of a contract for City wide pavement preservation as outlined in the City's TAMS program.
- B. Background:** On May 19, 2014 the City put out to bid its schedule for City wide pavement preservation including slurry sealing (Schedule A), microsurfacing (Schedule B), and chip sealing (Schedule C).
- C. Analysis:** This is an annual project the city undertakes to extend the life of the current street infrastructure. The scope of this project is based on priorities identified in the TAMS report dated 2010. The funding for this project has already been allocated under GL #'s 35-4000-744 and 10-4410-750. In accordance with State requirements governing B and C road funds, this project was advertised for 3 weeks. A bid opening was held on June 9, 2014 and a final bid schedule and pricing is attached. The total cost for Schedules A, B, and C exceed the total available budget so staff recommends prioritizing the slurry sealing and microsurfacing and completing the chip sealing items with the next budget cycle.
- D. Recommendation:** Staff recommends that the City Council award the schedule A, Slurry Sealing, to Intermountain Slurry Seal in the amount of \$547,865.25 and schedule B, microsurfacing, to Geneva Rock Products Inc. in the amount of \$208,143.12.

**Bid Tabulation
Saratoga Springs Pavement Maintenance 2014**

PM: Steven Lord
PE: Jason Judd

CCI: 9800
Place: Saratoga Springs City Office
Date: June 9, 2014
Time: 1:00:00 PM

BID SCHEDULE	DESCRIPTION	QUANTITY	UNITS	Engineers Estimate		Bidder 1 Intermountain Slurry Seal Inc		Bidder 2 Geneva Rock Products, Inc.		Bidder 3 Advanced Paving and Construction, LLC		Average Bid	
				UNIT PRICE	TOTAL AMOUNT	UNIT PRICE	TOTAL AMOUNT	UNIT PRICE	TOTAL AMOUNT	UNIT PRICE	TOTAL AMOUNT	UNIT PRICE	TOTAL AMOUNT
A	Slurry Seal	3,652,436	SF	\$0.14	\$511,340.90	\$0.15	\$547,865.25	--	--	--	--	\$0.15	\$547,865.25
B	Microsurfacing	867,263	SF	\$0.30	\$260,178.90	\$0.26	\$225,488.38	\$0.24	\$208,143.12	--	--	\$0.25	\$216,815.75
C	Chip Seal	721,679	SF	\$0.29	\$209,286.91	\$0.28	\$202,070.12	\$0.30	\$216,503.70	\$0.35	\$252,587.65	\$0.31	\$223,720.49
Total Bid					\$980,806.71		\$975,423.75		\$424,646.82		\$252,587.65		\$988,401.49

Items in RED represent adjusted values based on arithmetic errors

I hereby certify that this is a true and correct Bid Tabulation for the
Saratoga Springs Pavement Maintenance 2014



Jason E. Judd, P.E.

	Schedule A	Schedule B	Schedule C
Low Qualified Bid	\$547,865.25	\$208,143.12	\$202,070.12
10% Contingency	\$54,786.53	\$20,814.31	\$20,207.01
Total	\$602,651.78	\$228,957.43	\$222,277.13



**Landrock Connection
Final Plat
July 15, 2014**

Report Date:	July 1, 2014
Applicant/Owner:	Lakeview Land and Rock Development Company / Clay Peck
Location:	South of the intersection of Valley View Drive and Grandview Ct.
Major Street Access:	Grandview Boulevard
Parcel Number(s) & Size:	59-003-0006 & -0007; 4.485 acres
Parcel Zoning:	R-3
Adjacent Zoning:	R-3
Current Use of Parcel:	Vacant
Adjacent Uses:	Low Density Residential and Undeveloped
Previous Meetings:	April 5, 2011 City Council; Jan. 21, 2014 Planning Commission; Feb. 18, 2014 City Council
Previous Approvals:	Preliminary Plat, 8-8-06 (expired); Final Plat, 2-12-08 (expired); Preliminary Plat, 04-05-11 (expired); Road Dedication Plat for Sageview Ct. and Landview Blvd. (recorded 2-21-2013); PC Preliminary Plat, 01-23-14; CC Preliminary Plat 02-18-14
Land Use Authority:	City Council
Future Routing:	Utah County Recordation
Author:	Scott Langford, Senior Planner

A. Executive Summary:

This is a request for a Final Plat approval to create 13 new single family residential lots. The 13 lots are separated into three phases by two public roads, Grandview Court and Landview Boulevard. The first phase (Plat 1) has 4 lots and is 0.968 acres. The second phase (Plat 2) has 3 lots and is 0.96 acres. The third phase (Plat 3) has 6 lots and is 2.079 acres. The applicant has also submitted a road dedication plat to dedicate additional right-of-way needed to access the lots created by Plat 2 and 3.

Recommendation:

Staff recommends that the City Council conduct a public meeting and at their discretion take public comment, and/or discuss the proposed final plats, and choose from the options in Section "I" of this report. Options include a motion for approval as proposed, a motion to continue the item to gather additional supportive information, or a motion for a denial based on non-compliance with findings of specific criterion.

B. Background:

There have been a number of previous approvals on this property for the exact same 13 lot subdivision. The most recent approval from the City Council occurred in April 2011. Due to inactivity this plat expired; however, the applicant applied for and received a road dedication plat from the City Council that was recorded on February 21, 2013. The purpose of the road dedication plat was to provide a connection between the Benches subdivision and the Land Rock Estates subdivision.

On January 23, 2014 the Planning Commission held a public hearing and discussed the proposed subdivision. The Planning Commission was unanimously in favor of forwarding a positive recommendation to the City Council to approve the 13 lot residential subdivision.

On February 18, 2014 the City Council approved the Preliminary Plat subject to the following conditions of approval:

1. That per Section 19.12.02(5) of the City Code, the Preliminary Subdivision Plat shall remain valid for twenty-four months from the date of City Council approval. The City Council may grant extensions of time when such extensions will promote the public health, safety, and general welfare. Said extensions must be requested within twenty-four months of site plan/Subdivision approval and shall not exceed twelve months."
2. At the time of Final Plat approval (required during the review of the first plat) the applicant shall submit a proposal to the City Council for approval of a payment in lieu of open space program, as outlined in Section 19.13.090.
3. The boundary of Phase 3 (Plat 3) shall be amended to include the road dedication of Sage View Court and Landview Drive between Lots 2-3 and 3-6/3-7.
4. All of the required semi-private fencing associated with this subdivision shall be consistent with the existing wrought iron style fencing.
5. All requirements of the City Engineer shall be met, including but not limited to those in the attached report.
6. All requirements of the Fire Chief shall be met, including but not limited to those in the attached report.
7. That the Preliminary Plat shall be amended to reflect all the requirements of Code Section 19.04.13 including and not limiting to amending the lot widths in Phases 1 and 3 to meet the minimum lot width requirements of 80 feet.

On May 6, 2014 the Final Plat request was pulled from the City Council agenda at the applicant's request so they could take more time to assess the costs associated with the payment in lieu of open space, as well as the other fees needed to record these plats.

C. Specific Request:

The property is zoned R-3, Low Density Residential. The proposed 13 lot development will facilitate single family home development, which is permitted in the R-3 zone.

D. Process:

Per section 19.12.03 of the City Code, all subdivisions must receive a Preliminary and Final Plat approval. An application for a Final Plat shall follow the approved City format. Subdivisions are subject to the provisions of Chapter 19.13, Development Review Processes.

The development review process for subdivision approval involves a formal review of the Preliminary Plat by the Planning Commission in a public hearing, with a formal recommendation forwarded to the City Council. The City Council reviews the Preliminary Plat in a public meeting and formally approves the Preliminary Plat. Final Plats are reviewed and approved by the City Council in a public meeting.

E. Community Review:

Per 19.13.04 of the City Code, this item was noticed in *The Daily Herald*, and each residential property within 300 feet of the subject property was sent a letter at least ten calendar days prior to the Planning Commission meeting held January 23, 2014. As of the completion of this report, the City has not received any public comment regarding this application.

F. General Plan:

The site is designated as Low Density Residential on the adopted Future Land Use Map. The General Plan states that areas designated as Low Density Residential are *"designed to provide areas for residential subdivisions with an overall density of 1 to 4 units per acre. This area is to be characterized by neighborhoods with streets designed to the City's urban standards, single-family detached dwellings and open spaces."*

Staff analysis: consistent. The proposed development provides a design that can be developed in a way that is consistent with the General Plan because it provides a design that will enable low density single family residential development.

G. Code Criteria:

Section 19.12.03 of the City Code states, *"All subdivisions are subject to the provisions of Chapter 19.13, Development Review Process"*. The following criteria are pertinent requirements for Final Plats listed in Sections 19.12 (Subdivision Requirements) and 19.04.13 (R-3 Requirements) of the City Code.

Permitted or Conditional Uses: complies. Section 19.04.13(2 & 3) lists all of the permitted and conditional uses allowed in the R-3 zone. The Final Plats provide residential building lots which are supported as a permitted use in the R-3 zone.

Minimum Lot Width: complies. Section 19.04.13(6) *used to* require lot widths of 80 feet when the City Council reviewed this Preliminary Plat in November 2013. Since that time, the City Council has adopted a code amendment that has changed this requirement from 80 feet back to the original 70 foot requirement; therefore the Preliminary Plat condition of approval which required the plats to be amended to show 80 wide lots is no longer applicable. The Final Plats included with this report all have lots that meet the 70 foot minimum lot width requirement.

Minimum Lot Sizes: can comply. 19.04.13(4) states that the minimum lot size for residential lots is 10,000 square feet. The smallest lot shown within the development is 10,008 square feet (Lot #1-2).

Section 19.12.06 provides additional general requirements for new subdivisions. One provision within this section states that *"corner lots for residential use shall be platted ten percent larger than interior lots in order to facilitate conformance with the required street setback for both streets."* Since this development received approval under a previous code, staff has found that Lot 1-4 (which is 10,134 square feet) does not comply with this provision. Typically, moving a few property lines around to gain compliance with this provision would be fairly straight forward; however, since the road in this area is already built and all the accompanying utilities have been installed (including laterals), movement of these property lines creates a situation where utility laterals and easements would not be properly aligned if the property lines were moved.

As a solution to this extenuating circumstance, staff recommends that the City Council use their authority given under Code Section 19.04.13(4) and allow a lot size reduction of ten percent for Lot 1-4; essentially counter acting the requirement found in Section 19.12.06 that requires corner lots to be ten percent larger than interior lots. If the City Council decides to approve a lot size reduction for Lot 1-4, such decision must be supported with a finding that the reduction serves a public or neighborhood purpose. Staff recommends that such a reduction does serve a public and neighborhood purpose because if the reduction is not approved, then the public road (Sage

View Ct.) would likely have to be torn up to relocate the existing utility laterals and the existing 8" city sewer line running through Lot 1-1 would also likely have to be relocated.

Staff has reviewed Lot 1-4 and we believe that the proposed size of this lot will easily allow for the construction of a house that complies with the minimum size required in the R-3 zone (1,250 square feet).

Setbacks and Yard Requirements: complies. Section 19.04.13(5) outlines the setbacks required by the R-3 zone. These requirements are:

Front: Not less than twenty-five feet.

Sides: 8/20 feet (minimum/combined)

Rear: Not less than twenty-five feet

Corner: Front 25 feet; Side abutting street 20 feet

The typical setback and P.U.E. details shown on the plats show compliance with all of these minimum setback requirements.

Parking, vehicle and pedestrian circulation: complies. Section 19.09.11 requires single-family homes to have a minimum 2 parking stalls within an enclosed garage. Driveways leading to the required garages must be a minimum 20 feet in length. Even though this requirement will be reviewed by the building department with each individual building permit application, staff believes that the proposed lots are of sufficient size to support this requirement.

The proposed 13 residential lots should not generate a lot of traffic. The existing roads in the area are adequate to provide ingress and egress to this development.

Fencing: complies. Plat 3 is located adjacent to the future alignment of Foothill Boulevard. Per the City's Master Transportation Plan, Foothill Blvd. will be a major arterial roadway. Part of the design for this future transportation corridor is a 30-foot wide landscaped pedestrian trail system. The Code requires a 6 foot tall semi-private fence along the property line backing this future open space corridor. The plat calls out a 6-foot vinyl semi-private fence at this location, which meets the code minimum; however, this fencing does not match the current wrought iron style fencing installed between Lots in Phase 1 and the City's existing secondary water pond and culinary water tank. The City Council required, as a condition of Preliminary Plat approval, that all of the required semi-private fencing associated with this subdivision be consistent with the existing wrought iron style fencing.

Open Space: can comply. Plat 3 has 0.28 acres of open space that will provide a 30-foot landscape buffer between the back of Lots 3-3 and 3-4 and the future Foothill Boulevard. This will count towards the 15% open space requirement. The remaining open space required to achieve 15% open space is 0.486 acres. Staff has determined that there are parks nearby that can serve this small subdivision and recommends that the creation of a pocket park is not in the best interest of the City or the residents in this location. Therefore, staff recommends that the applicant participate in the payment in lieu of open space program, as outlined in Section 19.13.090.

19.13.09. Payment in Lieu of Open Space.

1. **Purpose.** In order to meet the City's recreational needs and to create a more attractive community, Open Space shall be dedicated to the City of Saratoga Springs in accordance with the standards provided in Chapters 19.04 and 19.07 of the Land Development Code.

In cases where the City Council finds that a voluntary payment to the City in lieu of providing all of the open space required by the City's Land Development Code will better meet the City's recreational needs, the City Council may allow a developer to utilize the City's Payment in Lieu of Open Space Program as described in this Section.

2. **Payment in Lieu of Open Space Program.** The City's Payment in Lieu of Open Space Program may be utilized for developments in the R-2, R-3, and R-4 zones. The percentage of open space that may be satisfied with a Payment in Lieu of Open Space shall be determined by the City Council taking into account the following:
 - a. The proximity of regional parks;
Staff conclusion: The Benches Nature Park, the Benches Park, and the Saratoga Hills Park which are nearby public parks, are within walking distance of this development.
 - b. The size of the development;
Staff conclusion: The development is 4.485 acres with 13 lots and would result in a park that would be 0.486 acres. The nearby parks are 8.89 acres (Benches Nature Park), 5.44 acres (Benches Park), and 1.91 acres (Saratoga Hills) respectively.
 - c. The need of the residents of the proposed subdivision for open space amenities;
Staff conclusion: The needs of the future residents may be met by utilizing the nearby parks.
 - d. The density of the project;
Staff conclusion: This is a low density residential project, with a density of 2.89 units per acre.
 - e. Whether the Payment in Lieu furthers the intent of the General Plan; and
Staff conclusion: The General Plan states "Open spaces shall include useable recreational features as outlined in the City's Parks, Trails, Recreation and Open Space Master Plan." This plan recommends that the City not continue to create or accept parks less than 5 acres in size. If the 0.49 acres were to be developed within this phase, it would need to be a private park and would not be open to the public.
 - f. Whether the Payment in Lieu will result in providing open space and parks in more desirable areas.
Staff conclusion: The payment in lieu of open space will allow the City to purchase or improve park space in other areas in the City.
3. **Excluded Open Space.** Specific types of open space do not qualify for this program including landscaping strips, regional trail segments, landscaping buffers, sensitive lands, landscaping in parking areas, or other types of open space that may be specifically required by City ordinances and standards.
Staff conclusion: The requested payment in lieu of open space is not being proposed for the above listed non-qualifying open spaces.
4. **Qualification for the Program.** Developments that the developers or the planning staff believe would result in better projects and would meet the above described standards may qualify for the Payment in Lieu of Open Space Program.
 - a. Such developments will be presented to the Planning Commission and City Council as part of the review process for Concept Plans or Master Development Plans. Said payments in lieu of open space shall be presented for approval in connection with preliminary and final plat approval. During that review, the Planning Commission will

make a recommendation to the City Council on the implementation of the Payment in Lieu of Open Space program.

Staff conclusion: The Preliminary Plat was approved by the City Council with the condition, "2. At the time of Final Plat approval (required during the review of the first plat) the applicant shall submit a proposal to the City Council for approval of a payment in lieu of open space program, as outlined in Section 19.13.090."

Section "I" of this report explains the amount of money acceptable for the payment in lieu option. City staff has applied the average cost of the last 4 parks the City has constructed (average \$3.33 per square foot) to calculate the amount needed for the payment in lieu the deficient open space.

- b. Subsequent to the Planning Commission's review, the City Council may approve, approve with modifications, or deny a request to implement the Payment in Lieu of Open Space Program. The City Council maintains complete discretion as to whether a request to provide Payment in Lieu of Open Space shall be granted.

Staff conclusion: The payment in lieu of open space option was discussed during the Preliminary Plat review. Staff recommends that the payment in lieu of open space option be considered for the 0.486 acre deficiency because this small amount of open space will not be beneficial to the City as an individual parcel and there are nearby parks that may be used by the future residents of this development.

The City has met with the property owners and discussed some of the development history in this area and some of the past agreements between the City and the applicant to secure necessary easements to access the City's water facilities. As of the completion of this report, we are still trying to secure documentation specifying the details of these agreements. These agreements may address, in part, open space credits and/or agreed cost to purchase open space. This is why you will see a couple options in Condition #5 in the Conditions of Approval.

The applicant has requested that some email correspondence between them and the State & Institutional Trust Lands Administration (SITLA) be attached to this report. This communication indicates that there are additional plans to develop additional residential subdivisions to the west, which may include potential open space. This email correspondence shows approval of SITLA land to allow for the required temporary turn around on the west side of Landrock Connection Phase 3.

H. Recommendation and Alternatives:

After evaluating the required standards for Final Plats located in an R-3 zone, staff recommends that the City Council conduct a public meeting and choose one of the following motions:

Recommended Motion - Approval:

"Based upon the evidence and explanations received today, I move to approve the Landrock Connection Final Subdivision Plats 1, 2, and 3, and the Landview Drive Road Dedication Plat on property located South of the intersection of Valley View Drive and Grandview Court as identified in Exhibit 2 (parcel #'s 59:003:0007 & :006), with the findings and conditions contained in the Staff report:

Findings:

1. As stated in Section G of this Staff report, the proposed subdivision plats are consistent with the General Plan and Land Development Code. All findings in Section G of this Staff report are incorporated into these findings by this reference.

Conditions:

1. That per Section 19.12.02(5) of the City Code, the Final Subdivision Plats shall remain valid for twenty-four months from the date of City Council approval. The City Council may grant extensions of time when such extensions will promote the public health, safety, and general welfare. Said extensions must be requested within twenty-four months of site plan/Subdivision approval and shall not exceed twelve months.”
2. That the Preliminary Plat condition of approval requiring the lots to be amended to reflect the minimum lot width requirement of 80 feet be removed to reflect the current code requirement listed in Section 19.04.13(6), which is 70 feet.
3. That per Section 19.04.13(4) and the Findings listed in this report, Lot 1-4 shall be no less than 10,134 square feet in size.
4. All of the required semi-private fencing associated with this subdivision shall be black wrought iron style fencing, consistent with the existing fencing located on the east side of Plat 1.
5. That the applicant may pursue payment in lieu of open space improvement for the 0.486 acre deficiency by working with the City to either 1) follow previous agreements if verified as relevant, or 2) agree to pay what is required per Section 19.13.09 of the Land Development Code.
6. All requirements of the City Engineer shall be met, including but not limited to those in the report attached as Exhibit 1.
7. All requirements of the Fire Chief shall be met, including but not limited to those in the report attached as Exhibit 1.
8. Any other conditions as articulated by the City Council:

Alternative Motions:

Alternative Motion A

“I move to **continue** the item to another meeting, with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

Alternative Motion B

“Based upon the evidence and explanations received today and the following findings, I move to deny the Landrock Connection Final Subdivision Plats 1, 2, 3, and Landview Drive Road Dedication Plat on property generally located South of the intersection of Valley View Drive and Grandview Court. Specifically I find that the following standards and/or code requirements have not been met:”

List Specific Code Standards and Requirements:

I. Exhibits:

1. Engineering Report
2. Zoning / Location map
3. Aerial Photo

4. Final Plat Exhibits
5. April 5, 2011 Approved Preliminary Plat
6. Grandview Court Road Dedication Plat
7. February 18, 2014 City Council Minutes
8. Email Correspondence between Applicant and SITLA

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Landrock Connection
Date: May 6, 2014
Type of Item: Final Plat Approval



Description:

A. Topic: The Applicant has submitted a Final Plat application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Lakeview and Rock Development Company / Clay Peck
Request: Final Plat Approval
Location: South of the Intersection of Valley View Drive and Grandview Ct.
Acreage: Plat 1 - 0.968 acres – 4 lots
Plat 2 - 0.960 acres – 3 lots
Plat 3 - 2.079 acres – 6 lots
Road Dedication – 3.526 acres

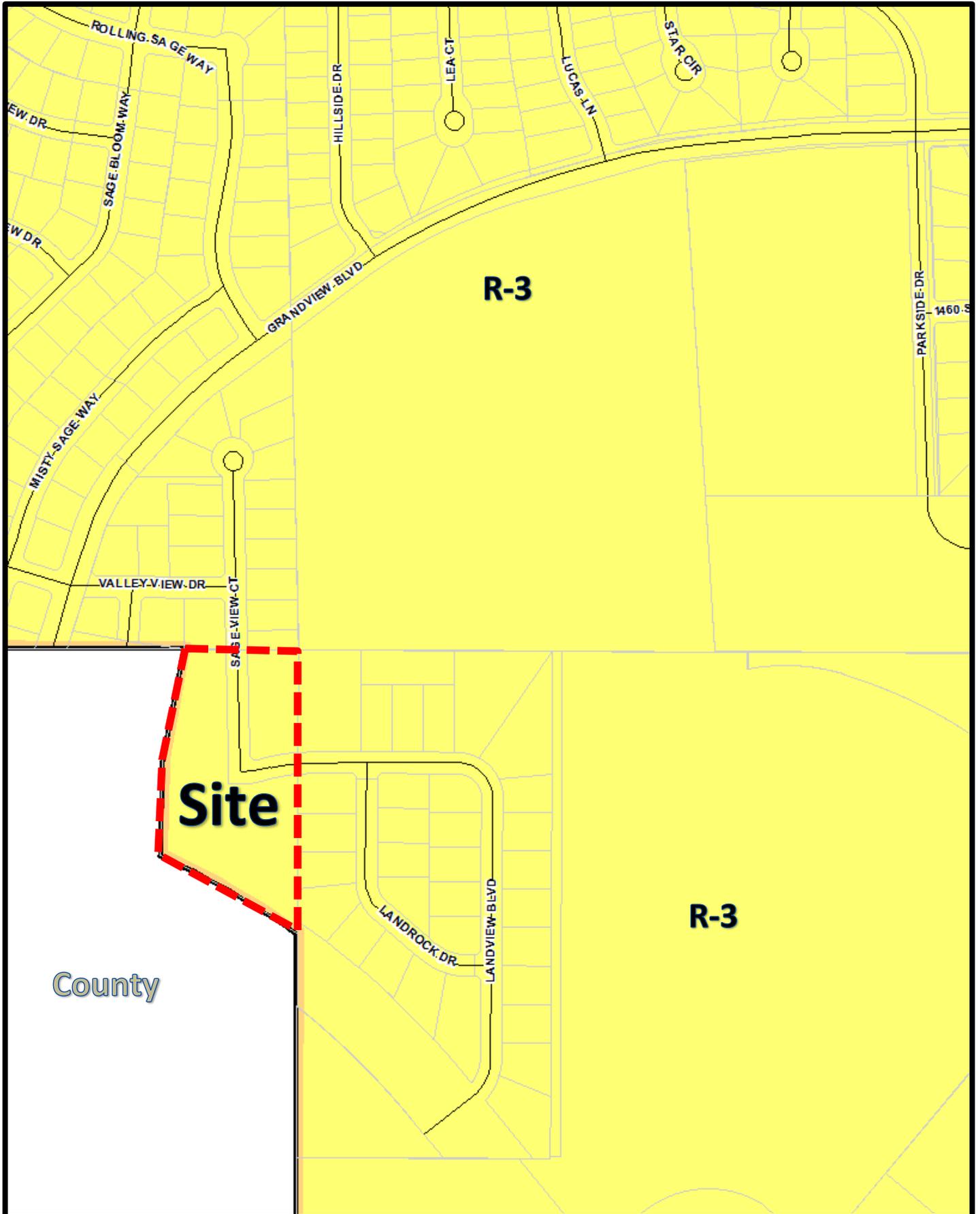
C. Recommendation: Staff recommends the approval of final plat subject to the following conditions:

D. Conditions:

- A. Meet all engineering conditions and requirements in the construction of the subdivision and recording of the plats. Review and inspection fees must be paid as indicated by the City prior to any construction being performed on the project.
- B. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the Final plat and construction drawings.
- C. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
- D. Submit easements for all off-site utilities not located in the public right-of-way.
- E. Developer is required to ensure that there are no adverse effects to future homeowners due to the grading practices employed during construction of these plats.

- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.
- G. Final plats and plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements.
- H. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- I. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- J. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to final plat approval and prior to the commencement of the warranty period.
- K. Submittal of a Mylar and electronic version of the as-built drawings in AutoCAD format to the City Engineer is required prior acceptance of site improvements and the commencement of the warranty period.
- L. All roads shall be designed and constructed to City standards and shall incorporate all geotechnical recommendations as per the applicable soils report.
- M. Developer shall provide a finished grading plan for all lots and shall stabilize and reseed all disturbed areas.
- N. Developer shall record the Landview Drive Road Dedication Plat before recording Landrock Connection Plat 2 or Landrock Connection Plat 3.

Zoning and Location Map



Aerial Photo



LANDROCK CONNECTION PLAT 1

LOCATED MOSTLY IN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

NORTH 1/4 CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (FOUND BRASS CAP)

ROBINSON, L. BLAKE & TERESA #35:504:0618

THE BENCHES PLAT 6
PETTIBONE, BRUCE & JENNY #35:504:0617

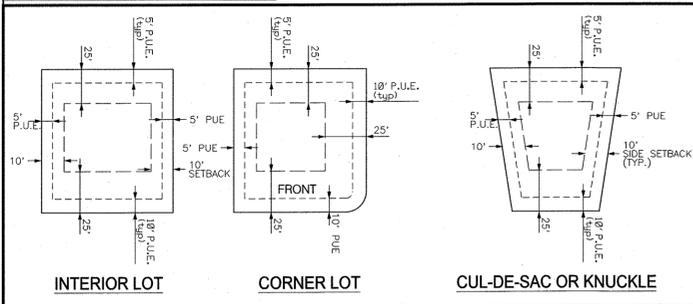
SERIAL # 59:003:0004
UTAH STATE DEP.
NATURAL RESOURCES

20' SEWER EASEMENT
Beginning at a point which is 19.28 feet from the Northeast Corner of Section 3, Township 6 South, Range 1 West, Salt Lake Base and Meridian; thence S 0°12'21" W 20.00 feet; thence S 89°22'22" W 130.97 feet; thence N 1°16'48" W 20.00 feet; thence N 89°22'22" E 131.49 feet to the POINT OF BEGINNING.
The above described parcel contains ± 0.060 acres (2624.669 sq. ft.)

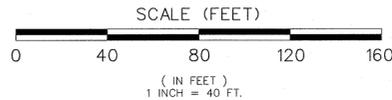
BENCH MARK
NORTHEAST CORNER OF SECTION 3, T6S, R1W, SALT LAKE BASE & MERIDIAN
N = 728582.75 E = 1881603.53 EL. = 4746.89 FT

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	CHORD	CH BRG	TANGENT
C1	11°41'41"	528.00	107.77	107.58	S79°12'34"W	54.07
C2	105°21'28"	15.00	27.58	23.86	N53°57'32"W	19.68

TYPICAL SETBACK & P.U.E. DETAILS



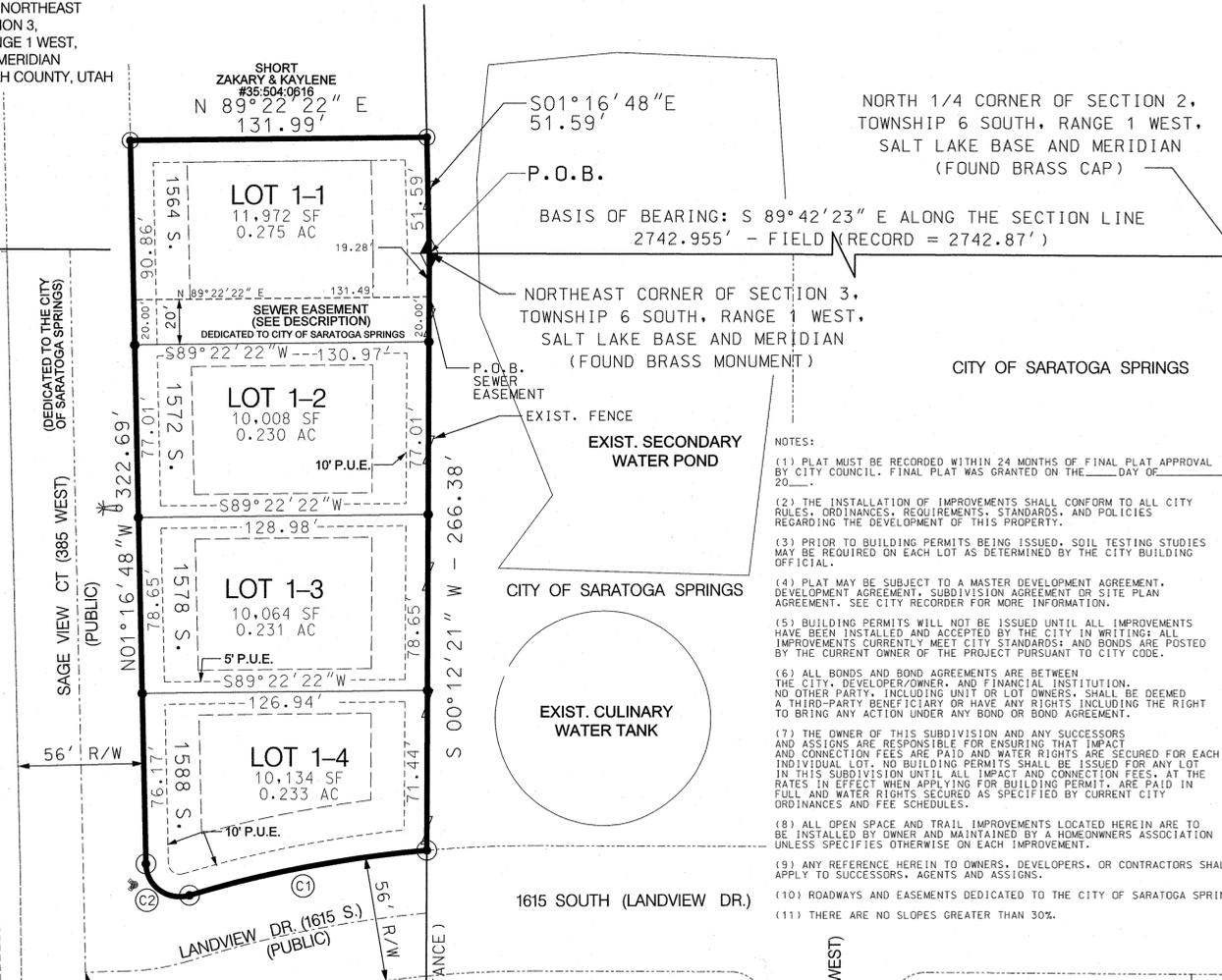
LAKEVIEW LAND & ROCK DEVELOPMENT # 59:003:0006



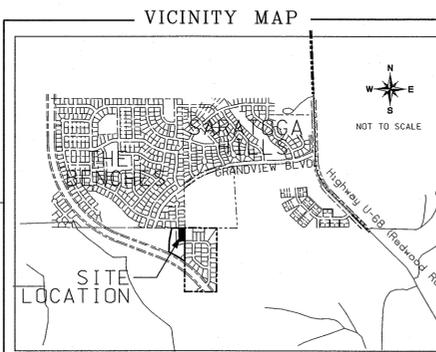
BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. *APPROVING SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii).

<p>QUESTAR GAS COMPANY</p> <p>APPROVED THIS _____ DAY OF _____ A.D. 20____ BY QUESTAR.</p> <p>QUESTAR GAS COMPANY</p>	<p>ROCKY MOUNTAIN POWER</p> <p>APPROVED THIS _____ DAY OF _____ A.D. 20____ BY ROCKY MOUNTAIN POWER.</p> <p>ROCKY MOUNTAIN POWER</p>	<p>COMCAST CABLE TELEVISION</p> <p>APPROVED THIS _____ DAY OF _____ A.D. 20____ BY COMCAST.</p> <p>COMCAST CABLE TELEVISION</p>	<p>QWEST</p> <p>APPROVED THIS _____ DAY OF _____ A.D. 20____ BY QWEST.</p> <p>QWEST</p>
<p>LEHI CITY POST OFFICE</p> <p>APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ DAY OF _____ A.D. 20____</p> <p>LEHI CITY POST OFFICE REPRESENTATIVE</p>	<p>FIRE CHIEF APPROVAL</p> <p>APPROVED BY THE FIRE CHIEF ON THIS _____ DAY OF _____ A.D. 20____</p> <p>CITY FIRE CHIEF</p>	<p>PLANNING COMMISSION REVIEW</p> <p>REVIEWED BY THE PLANNING COMMISSION ON THIS _____ DAY OF _____ A.D. 20____</p> <p>CHAIRMAN, PLANNING COMMISSION</p>	<p>SARATOGA SPRINGS ENGINEER APPROVAL</p> <p>APPROVED BY THE CITY ENGINEER ON THIS _____ DAY OF _____ A.D. 20____</p> <p>CITY ENGINEER</p>

MW BROWN ENGINEERING, INC
Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097



- NOTES:**
- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT WAS GRANTED ON THE _____ DAY OF 20____.
 - THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS, AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
 - PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
 - PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
 - BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING; ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS; AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
 - ALL BONDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER, AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD-PARTY BENEFICIARY OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING ANY ACTION UNDER ANY BOND OR BOND AGREEMENT.
 - THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
 - ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
 - ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
 - ROADWAYS AND EASEMENTS DEDICATED TO THE CITY OF SARATOGA SPRINGS.
 - THERE ARE NO SLOPES GREATER THAN 30%.



SURVEYOR'S CERTIFICATE
I, BARRY ANDREASON, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 166572, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8a-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS OF THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION
A Parcel of land situated mostly in the Northeast quarter of Section 3, Township 6 South, Range 1 West, Salt Lake Base and Meridian, said parcel being more particularly described as follows:
BEGINNING AT THE NORTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; SAID POINT ALSO BEING A POINT ON THE WEST BOUNDARY LINE OF LANDROCK ESTATES PLAT 1; THENCE ALONG SAID BOUNDARY S 0°12'21" W 266.38 FEET; THENCE LEAVING SAID BOUNDARY TO A POINT ON THE NORTHERN RIGHT OF WAY OF LANDVIEW DR. AND ALONG AN ARC 107.77 FEET TO THE LEFT, HAVING A RADIUS OF 528.00 FEET, THE CHORD BEARS S 79°12'34" W 107.58 FEET TO A POINT OF CURVATURE; THENCE ALONG AN ARC 27.58 FEET TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET, THE CHORD BEARS N 53°57'32" W 23.86 FEET; TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF SAGE VIEW COURT; THENCE ALONG SAID RIGHT OF WAY N 01°16'48" W 322.69 FEET; TO A POINT ON THE BOUNDARY LINE OF THE BENCHES SUBDIVISION PLAT 6 ON FILE AT THE UTAH COUNTY RECORDERS OFFICE; THENCE ALONG SAID BOUNDARY LINE N 89°22'22" E 131.99 FEET; THENCE S 01°16'48" E 51.59 FEET TO THE POINT OF BEGINNING.

ACRES: 0.968 ACRES (42178.021 SQ. FT.)
OF LOTS: 4
Barry Andreason _____ Date _____

OWNERS DEDICATION
Know all men by these presents that _____ the undersigned owner(s) of the above described tract of land having caused the same to be subdivided into lots and streets to be hereafter known as **LANDROCK CONNECTION PLAT 1** do hereby dedicate for perpetual use of the public and/or city all parcels of land, easements, right of way, and public amenities shown on this plat as intended for public and/or city use. The owner(s) voluntarily defend, indemnify, and save harmless the city against any easements or other encumbrance on a dedicated street which will interfere with the city's use, maintenance and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the city from and damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.
in witness whereof _____ have hereunto set this _____ day of _____, A.D. 20____

OWNER'S ACKNOWLEDGMENT
STATE OF UTAH } s.s.
COUNTY OF UTAH }
On the _____ day of _____, A.D. 20____, personally appeared before me, the undersigned Notary Public in and for the County of Utah in said State of Utah, the signer(s) of the above Owner's dedication, _____ in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

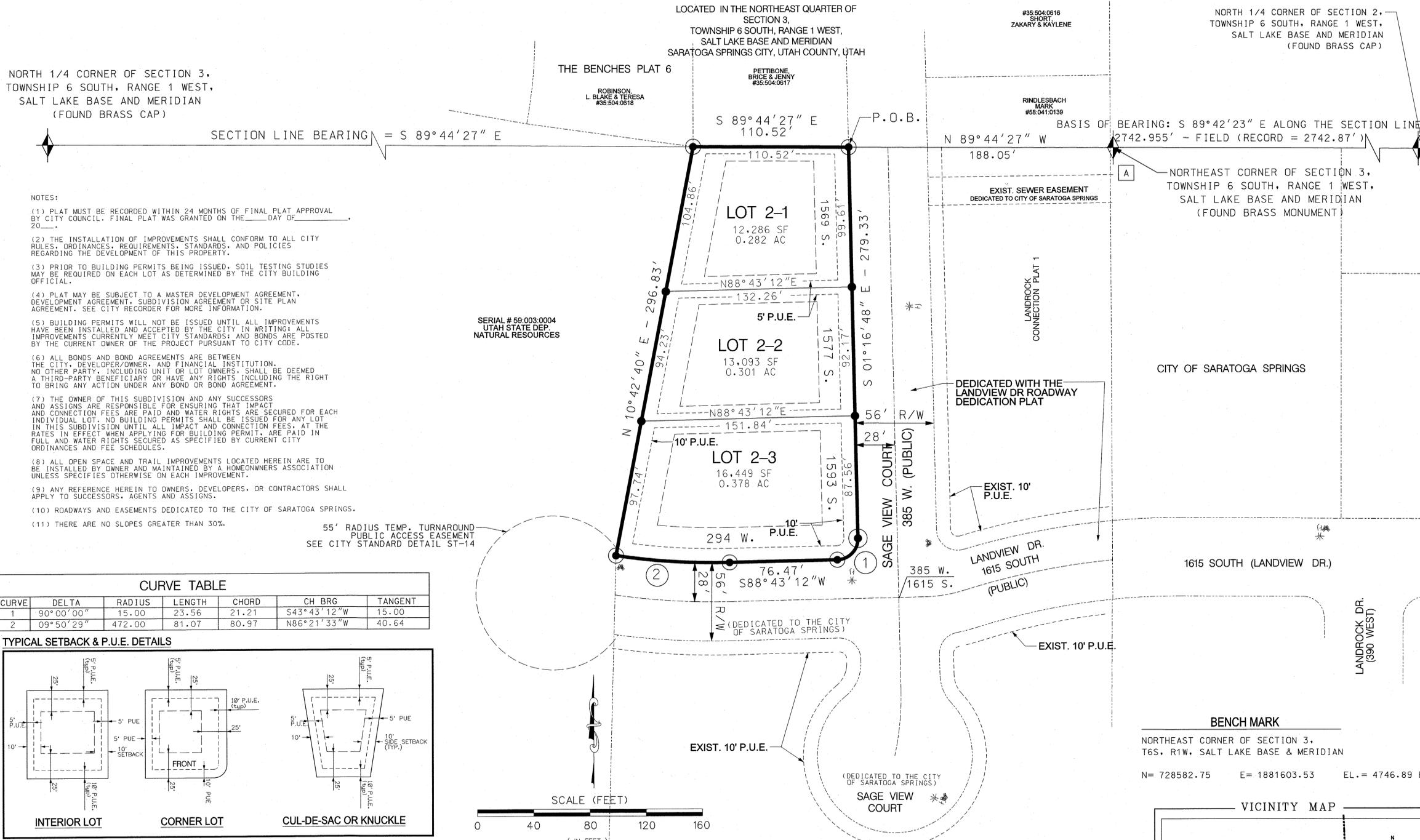
My commission expires: _____ Notary Public residing at _____
CORPORATE ACKNOWLEDGMENT
STATE OF UTAH } s.s.
COUNTY OF UTAH }
On the _____ day of _____, A.D. 20____, personally appeared before me _____ and, who being by me duly sworn did say each for himself, that he, the said _____ is the President and he the said _____ is the Secretary of _____ Corporation, and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors and said _____ and each duly acknowledged to me that said Corporation executed the same and that the seal affixed is the seal of said Corporation.
My commission expires: _____ Notary Public residing at _____

ACCEPTANCE BY LEGISLATIVE BODY
The City Council of the city of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
THIS _____ DAY OF _____, A.D. 20____
CITY MAYOR _____ ATTEST
CLERK/RECORDER (SEE SEAL BELOW)

LANDROCK CONNECTION PLAT 1
LOCATED MOSTLY IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN.
SARATOGA SPRINGS, UTAH COUNTY, UTAH
SCALE 1" = 40'

NOTARY PUBLIC SEAL SURVEYOR'S SEAL CITY ENGINEER'S SEAL CLERK-RECORDER SEAL

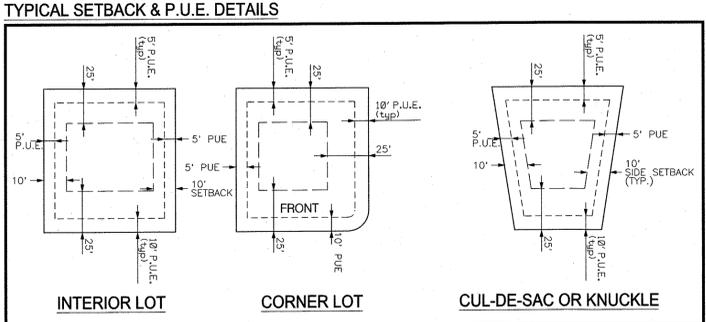
LANDROCK CONNECTION PLAT 2



- NOTES:**
- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT WAS GRANTED ON THE ____ DAY OF ____ 20__.
 - THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS, AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
 - PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
 - PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
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 - THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
 - ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFICS OTHERWISE ON EACH IMPROVEMENT.
 - ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
 - ROADWAYS AND EASEMENTS DEDICATED TO THE CITY OF SARATOGA SPRINGS.
 - THERE ARE NO SLOPES GREATER THAN 30%.

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD	CH BRG	TANGENT
1	90°00'00"	15.00	23.56	21.21	S43°43'12"W	15.00
2	09°50'29"	472.00	81.07	80.97	N86°21'33"W	40.64



- LEGEND**
- SUBDIVISION BOUNDARY
 - LOT LINE
 - PUBLIC UTILITY EASEMENT
 - BUILDING SETBACK LINE
 - FOUND SECTION CORNER
 - SET 3/4" REBAR & CAP (BOUNDARY)
 - SET 5/8" REBAR & CAP (BOUNDARY)
 - NEW STREET LIGHT
 - EXISTING STREET LIGHT
 - EXISTING FIRE HYDRANT
 - NEW FIRE HYDRANT

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. *APPROVING SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii).

<p>QUESTAR GAS COMPANY</p> <p>APPROVED THIS ____ DAY OF ____ A.D. 20__</p> <p>BY QUESTAR.</p> <p>QUESTAR GAS COMPANY</p>	<p>ROCKY MOUNTAIN POWER</p> <p>APPROVED THIS ____ DAY OF ____ A.D. 20__</p> <p>BY ROCKY MOUNTAIN POWER.</p> <p>ROCKY MOUNTAIN POWER</p>	<p>COMCAST CABLE TELEVISION</p> <p>APPROVED THIS ____ DAY OF ____ A.D. 20__</p> <p>BY COMCAST.</p> <p>COMCAST CABLE TELEVISION</p>	<p>QWEST</p> <p>APPROVED THIS ____ DAY OF ____ A.D. 20__</p> <p>BY QWEST.</p> <p>QWEST</p>
<p>LEHI CITY POST OFFICE</p> <p>APPROVED BY POST OFFICE REPRESENTATIVE ON THIS ____ DAY OF ____ A.D. 20__</p> <p>LEHI CITY POST OFFICE REPRESENTATIVE</p>	<p>FIRE CHIEF APPROVAL</p> <p>APPROVED BY THE FIRE CHIEF ON THIS ____ DAY OF ____ A.D. 20__</p> <p>CITY FIRE CHIEF</p>	<p>PLANNING COMMISSION REVIEW</p> <p>REVIEWED BY THE PLANNING COMMISSION ON THIS ____ DAY OF ____ A.D. 20__</p> <p>CHAIRMAN, PLANNING COMMISSION</p>	<p>SARATOGA SPRINGS ENGINEER APPROVAL</p> <p>APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF ____ A.D. 20__</p> <p>CITY ENGINEER</p>
<p>SARATOGA SPRINGS ATTORNEY</p> <p>APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS ____ DAY OF ____ A.D. 20__</p> <p>SARATOGA SPRINGS ATTORNEY</p>		<p>VICINITY MAP</p>	

MW BROWN ENGINEERING, INC

Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

SURVEYOR'S CERTIFICATE

I, BARRY ANDREASON, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 166572, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8a-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS OF THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS N 89°44'27" W ALONG THE SECTION LINE 188.05 FEET FROM THE NORTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAGE VIEW COURT; THENCE ALONG SAID RIGHT OF WAY S 01°16'48" E 279.33 FEET TO A POINT OF CURVATURE; THENCE ALONG AN ARC 23.56 FEET TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET, THE CHORD BEARS S 43°43'12" W 21.21 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF LANDVIEW DR; THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING TWO (2) CURVES: (1) S 88°43'12" W 76.47 FEET; (2) THENCE ALONG AN ARC 81.07 FEET TO THE RIGHT, HAVING A RADIUS OF 472.00 FEET, THE CHORD BEARS N 86°21'33" W 80.97 FEET; THENCE N 10°42'40" E 296.83 FEET TO A POINT ON THE BENCHES SUBDIVISION PLAT 6 ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE; THENCE ALONG SAID BOUNDARY LINE S 89°44'27" E 110.52 FEET TO THE POINT OF BEGINNING.

ACRES: 0.960 ACRES (41828.132 SQ. FT.)

OF LOTS: 3 LOTS

Barry Andreason _____ Date _____

OWNERS DEDICATION

Know all men by these presents that _____, the undersigned owner(s) of the above described tract of land having caused the same to be subdivided into lots and streets to be hereafter known as **LANDROCK CONNECTION PLAT 2**

do hereby dedicate for perpetual use of the public and/or city all parcels of land, easements, right of way, and public amenities shown on this plat as intended for public and/or city use. The owner(s) voluntarily defend, indemnify, and save harmless the city against any easements or other encumbrance on a dedicated street which will interfere with the city's use, maintenance and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the city from and damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.

in witness whereof _____ have hereunto set this ____ day of _____, A.D. 20__

OWNER'S ACKNOWLEDGEMENT

STATE OF UTAH } s.s.
COUNTY OF UTAH }

On the ____ day of _____, A.D. 20__, personally appeared before me, the undersigned Notary Public in and for the County of Utah in said State of Utah, the signer(s) of the above Owner's dedication, in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

My commission expires: _____ Notary Public residing at _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH } s.s.
COUNTY OF UTAH }

On the ____ day of _____, A.D. 20__, personally appeared before me, _____, and, who being by me duly sworn did say each for himself, that he, she, said _____ is the President and he the said _____ is the Secretary of _____ Corporation, and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors and said _____ and each duly acknowledge to me that said Corporation executed the same and that the seal affixed is the seal of said Corporation.

My commission expires: _____ Notary Public residing at _____

ACCEPTANCE BY LEGISLATIVE BODY

The City Council of the city of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

THIS ____ DAY OF _____, A.D. 20__

CITY MAYOR

CLERK/RECORDER
(SEE SEAL BELOW)

LANDROCK CONNECTION PLAT 2

LOCATED MOSTLY IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN.

SARATOGA SPRINGS, UTAH COUNTY, UTAH

SCALE: 1" = 40'

NOTARY PUBLIC SEAL	SURVEYOR'S SEAL	CITY ENGINEER'S SEAL	CLERK-RECORDER SEAL
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REGISTERED LAND SURVEYOR
BARRY ANDREASON
STATE OF UTAH

LANDROCK CONNECTION PLAT 3

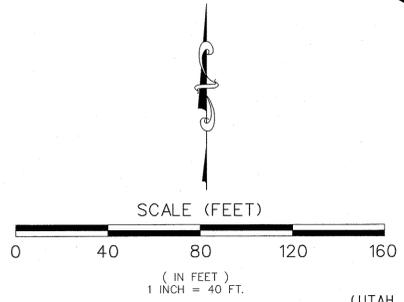
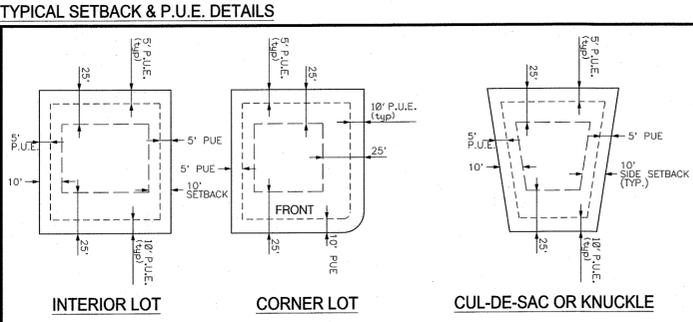
LOCATED IN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SERIAL # 59:003:0004 UTAH STATE DEP. NATURAL RESOURCES

55' TEMP. TURNAROUND

LINE	LENGTH	BEARING
L1	15.19'	N01°16'48"W
L2	2.67'	S01°16'48"E

CURVE	DELTA	RADIUS	LENGTH	CHORD	CH BRG	TANGENT
1	11°06'57"	2128.00	412.85	412.20	N60°07'31"W	207.07
2	09°05'16"	528.00	83.75	83.66	S86°44'10"E	41.96
3	90°00'00"	15.00	23.56	21.21	S46°16'48"E	15.00
4	51°42'04"	30.50	27.52	26.60	S24°34'14"W	14.78
5	273°13'37"	55.00	262.28	75.56	N86°11'33"W	7.20
6	41°31'33"	30.50	22.11	21.62	N22°02'35"W	11.56
7	80°09'24"	15.00	20.98	19.32	N38°47'55"E	12.62
8	06°26'34"	128.00	14.39	14.39	N75°39'20"E	7.20
9	12°00'35"	472.00	98.94	98.76	N78°26'21"E	49.65
10	43°35'55"	55.00	41.85	40.85	N21°00'24"W	22.00
11	47°02'46"	55.00	45.16	43.90	N24°18'56"E	23.94
12	52°10'33"	55.00	50.09	48.37	N73°55'36"E	26.93
13	40°02'56"	55.00	38.44	37.67	S59°57'39"E	20.04
14	90°21'27"	55.00	86.74	78.02	S05°14'32"W	55.34
15	01°28'10"	528.00	13.54	13.54	N89°27'17"E	6.77
16	05°21'58"	2158.00	202.11	202.04	N63°20'07"W	101.13
17	05°31'27"	2158.00	208.06	207.98	N57°53'24"W	104.11
18	10°53'25"	2158.00	410.17	409.56	N60°34'23"W	205.71
19	07°37'06"	528.00	70.21	70.15	S86°00'05"E	35.15



SECTION LINE BEARING = S 00°12'21" W (2631.493' - FIELD) (UTAH COUNTY HAS NO EXIST. RECORD OF DISTANCE)

LEGEND	
	SUBDIVISION BOUNDARY
	LOT LINE
	PUBLIC UTILITY EASEMENT
	BUILDING SETBACK LINE
	FOUND SECTION CORNER
	NEW STREET LIGHT
	EXISTING STREET LIGHT
	EXISTING FIRE HYDRANT
	NEW FIRE HYDRANT

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. *APPROVING SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii).

<p>QUESTAR GAS COMPANY</p> <p>APPROVED THIS _____ DAY OF _____ A.D. 20____</p> <p>BY QUESTAR.</p> <p>QUESTAR GAS COMPANY</p>	<p>ROCKY MOUNTAIN POWER</p> <p>APPROVED THIS _____ DAY OF _____ A.D. 20____</p> <p>BY ROCKY MOUNTAIN POWER.</p> <p>ROCKY MOUNTAIN POWER</p>	<p>COMCAST CABLE TELEVISION</p> <p>APPROVED THIS _____ DAY OF _____ A.D. 20____</p> <p>BY COMCAST.</p> <p>COMCAST CABLE TELEVISION</p>	<p>QWEST</p> <p>APPROVED THIS _____ DAY OF _____ A.D. 20____</p> <p>BY QWEST.</p> <p>QWEST</p>	<p>SARATOGA SPRINGS ENGINEER APPROVAL</p> <p>APPROVED BY THE CITY ENGINEER ON THIS _____ DAY OF _____ A.D. 20____</p> <p>CITY ENGINEER</p>	<p>SARATOGA SPRINGS ATTORNEY</p> <p>APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS _____ DAY OF _____ A.D. 20____</p> <p>SARATOGA SPRINGS ATTORNEY</p>
<p>LEHI CITY POST OFFICE</p> <p>APPROVED BY POST OFFICE REPRESENTATIVE ON THIS _____ DAY OF _____ A.D. 20____</p> <p>LEHI CITY POST OFFICE REPRESENTATIVE</p>	<p>FIRE CHIEF APPROVAL</p> <p>APPROVED BY THE FIRE CHIEF ON THIS _____ DAY OF _____ A.D. 20____</p> <p>CITY FIRE CHIEF</p>	<p>PLANNING COMMISSION REVIEW</p> <p>REVIEWED BY THE PLANNING COMMISSION ON THIS _____ DAY OF _____ A.D. 20____</p> <p>CHAIRMAN, PLANNING COMMISSION</p>	<p>VICINITY MAP</p> <p>SITE LOCATION</p>		

MW BROWN ENGINEERING, INC

Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

NORTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (FOUND BRASS MONUMENT)

CITY OF SARATOGA SPRINGS

P.O.B.

1615 SOUTH (LANDVIEW DR.)

LANDROCK DR. (900 WEST)

LANDROCK ESTATES PLAT 1

NOTES:

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT WAS GRANTED ON THE _____ DAY OF _____ 20____.
- THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS, AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING; ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS; AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
- ALL BONDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER, AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD-PARTY BENEFICIARY OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING ANY ACTION UNDER ANY BOND OR BOND AGREEMENT.
- THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
- ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIES OTHERWISE ON EACH IMPROVEMENT.
- ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
- ROADWAYS AND EASEMENTS DEDICATED TO THE CITY OF SARATOGA SPRINGS.
- THERE ARE NO AREAS WITH SLOPES GREATER THAN 30%.

SURVEYOR'S CERTIFICATE

I, BARRY ANDREASON, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 166572, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8a-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS OF THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS S 00°12'21" W ALONG THE SECTION LINE 322.63 FEET FROM THE NORTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; SAID POINT ALSO BEING A POINT ON THE WESTERLY BOUNDARY OF LANDROCK ESTATES SUBDIVISION PLAT 1 ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE; THENCE ALONG SAID BOUNDARY S 00°12'21" W 418.03 FEET; THENCE LEAVING SAID BOUNDARY LINE TO A POINT OF CURVATURE; THENCE ALONG AN ARC 412.85 FEET TO THE LEFT, HAVING A RADIUS OF 2128.00 FEET; THE CHORD BEARS N 60°07'31" W 412.20 FEET; THENCE N 01°29'07" E 188.72 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF LANDVIEW DR. THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING TWO (2) CALLS: (1) ALONG AN ARC 83.75 FEET TO THE LEFT, HAVING A RADIUS OF 528.00 FEET; THE CHORD BEARS S 86°44'10" E 83.66 FEET; (2) N 88°43'12" E 76.47 FEET TO A POINT OF CURVATURE; THENCE ALONG AN ARC 23.56 FEET TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET; THE CHORD OF WHICH IS S 46°16'48" E 21.21 FEET; TO A POINT ON THE RIGHT OF WAY OF SAGE VIEW CT; THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING FIVE (5) CALLS: (1) S 01°16'48" E 2.67 FEET TO A POINT OF CURVATURE; (2) ALONG AN ARC 27.52 FEET TO THE RIGHT, HAVING A RADIUS OF 30.50 FEET; THE CHORD BEARS S 24°34'14" W 26.60 FEET TO A POINT OF CURVATURE; (3) ALONG AN ARC 262.28 FEET TO THE LEFT, HAVING A RADIUS OF 55.00 FEET; THE CHORD BEARS S 86°11'33" E 75.56 FEET TO A POINT OF CURVATURE; (4) ALONG AN ARC 22.11 FEET TO THE RIGHT, HAVING A RADIUS OF 30.50 FEET; THE CHORD BEARS N 22°02'35" W 21.62 FEET; (5) N 01°16'48" W 15.19 FEET TO A POINT OF CURVATURE; THENCE ALONG AN ARC 20.98 FEET TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET; THE CHORD BEARS N 38°47'55" E 19.32 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF LANDVIEW DR.; THENCE ALONG SAID RIGHT OF WAY AND ALSO ALONG AN ARC 14.39 FEET TO THE LEFT, HAVING A RADIUS OF 128.00 FEET; THE CHORD BEARS N 75°39'20" E 14.39 FEET TO A POINT OF CURVATURE; THENCE ALONG AN ARC 98.94 FEET TO THE RIGHT, HAVING A RADIUS OF 472.00 FEET; THE CHORD BEARS N 78°26'21" E 98.76 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 2.079 ACRES (90540.288 SQ. FT.) # OF LOTS: 6 LOTS

Barry Andreason Date

OWNERS DEDICATION

Know all men by these presents that _____, the undersigned owner(s) of the above described tract of land having caused the same to be subdivided into lots and streets to be hereafter known as

LANDROCK CONNECTION PLAT 3

do hereby dedicate for perpetual use of the public and/or city all parcels of land, easements, right of way, and public amenities shown on this plat as intended for public and/or city use. The owner(s) voluntarily defend, indemnify, and save harmless the city against any easements or other encumbrance on a dedicated street which will interfere with the city's use, maintenance and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the city from and damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.

in witness whereof _____ have hereunto set this _____ day of _____, A.D. 20____.

OWNER'S ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

On the _____ day of _____, A.D. 20____, personally appeared before me, the undersigned Notary Public in and for the County of Utah in said State of Utah, the signers of the above Owner's dedication, in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

My commission expires: _____ Notary Public residing at _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

On the _____ day of _____, A.D. 20____, personally appeared before me _____ and, who being by me duly sworn did say each for himself, that he, the said _____ is the President and he the said _____ is the Secretary of _____ Corporation, and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors and said _____ and each duly acknowledged to me that said Corporation executed the same and that the seal affixed is the seal of said Corporation.

My commission expires: _____ Notary Public residing at _____

ACCEPTANCE BY LEGISLATIVE BODY

The City Council of the city of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

THIS _____ DAY OF _____, A.D. 20____

CITY MAYOR _____ ATTEST _____
CLERK/RECORDER (SEE SEAL BELOW)

LANDROCK CONNECTION PLAT 3

LOCATED MOSTLY IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN.

SARATOGA SPRINGS, UTAH COUNTY, UTAH

SCALE 1" = 40'

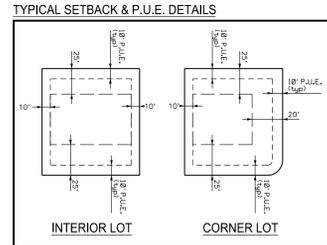
NOTARY PUBLIC SEAL	SURVEYOR'S SEAL	CITY ENGINEER'S SEAL	CLERK-RECORDER SEAL

LANDROCK CONNECTION PRELIMINARY PLAT

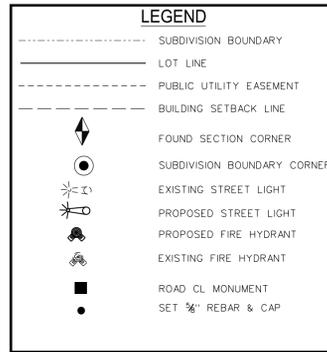
NORTH 1/4 CORNER OF SECTION 3,
TOWNSHIP 6 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
(FOUND BRASS CAP)

LOCATED IN A PORTION OF THE NORTHEAST
QUARTER OF SECTION 3,
TOWNSHIP 6 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SECTION LINE BEARING = S 89°44'27" E



SERIAL # 59:003:0004
UTAH STATE DEP.
NATURAL RESOURCES



TABLATIONS

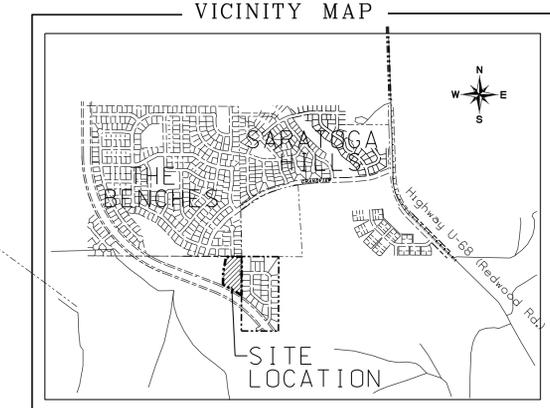
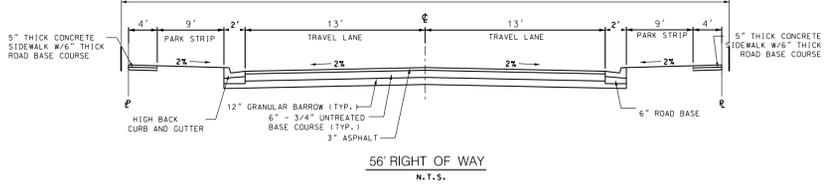
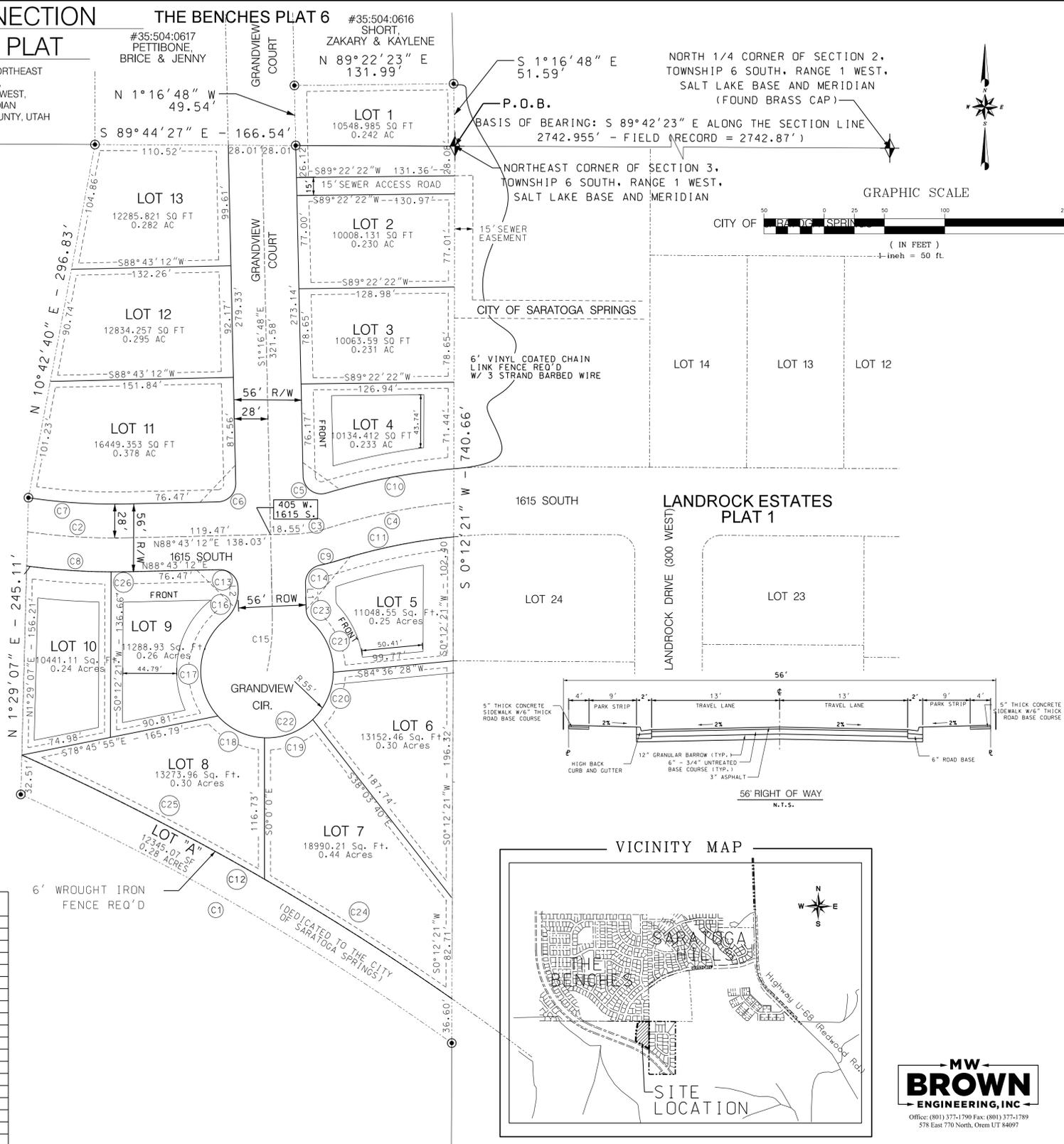
PROJECT = 5.11 ACRES
OPEN SPACE = 0.28 ACRES
LOT ACRES = 3.73 ACRES
ROAD ACRES = 1.10 ACRES
OF LOTS = 13
UNITS/ACRE = 2.54

LINE TABLE

LINE	LENGTH	BEARING
L1	15.19'	N01°16'48"W
L2	2.67'	S01°16'48"E

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD	CH BRG	TANGENT
1	11°06'57"	2128.00	412.85	412.20	N60°07'31"W	207.07
2	9°26'36"	500.00	82.41	82.31	S86°33'30"E	41.30
3	16°17'09"	100.00	28.42	28.33	N80°34'38"E	14.31
4	12°20'01"	500.00	107.63	107.42	N78°36'03"E	54.02
5	105°21'28"	15.00	27.58	23.86	N53°57'32"W	19.68
6	90°00'00"	15.00	23.56	21.21	S43°43'12"W	15.00
7	09°50'29"	472.00	81.07	80.97	N86°21'33"W	40.64
8	07°37'06"	528.00	70.21	70.15	S86°00'05"E	35.15
9	06°26'34"	128.00	14.39	14.39	N75°39'20"E	7.20
10	11°41'41"	528.00	107.77	107.58	S79°12'34"W	54.07
11	12°00'35"	472.00	98.94	98.76	N78°26'21"E	49.65
12	10°53'25"	2158.00	410.17	409.56	N60°34'23"W	205.71
13	90°00'00"	15.00	23.56	21.21	S46°16'48"E	15.00
14	80°09'24"	15.00	20.98	19.32	N38°47'55"E	12.62
15	13°28'50"	200.00	47.06	46.95	S05°27'37"W	28.51
16	51°42'04"	30.50	27.52	26.60	S24°34'14"W	14.78
17	92°33'19"	55.00	88.85	79.50	S04°08'36"W	57.51
18	45°41'28"	55.00	43.86	42.71	S64°58'47"E	23.17
19	45°41'28"	55.00	43.86	42.71	N69°19'45"E	23.17
20	45°41'28"	55.00	43.86	42.71	N23°38'17"E	23.17
21	43°35'55"	55.00	41.85	40.85	N21°00'24"W	22.00
22	273°13'37"	55.00	262.28	75.56	N86°11'33"W	-1.00
23	41°31'33"	30.50	22.11	21.62	N22°02'35"W	11.56
24	04°53'23"	2157.99	184.17	184.11	N57°34'22"W	92.14
25	06°00'02"	2158.00	226.00	225.90	N63°01'05"W	113.11
26	01°28'10"	528.00	13.54	13.54	N89°27'17"E	6.77
27	06°10'41"	2157.99	232.69	232.58	N62°55'45"W	116.46



SURVEYOR'S CERTIFICATE
I, Barry Andreason, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 166572, as prescribed under the laws of the State of Utah. I further certify that, by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots, blocks, streets, and easements and that the same as shown on this plat. I further certify that all lots have been correctly surveyed and staked on the ground, meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION
A Parcel of land situated in the Northeast quarter of Section 3, Township 6 South, Range 1 West, Salt Lake Base and Meridian, said parcel being more particularly described as follows:
Beginning at the Northeast Corner of Section 3, Township 6 South, Range 1 West, Salt Lake Base and Meridian; thence South 0°12'21" West along the Section line a distance of 740.66 feet; thence along an arc 412.85 feet to the left, having a radius of 2128.00 feet through a central angle of 11°06'57", the chord of which is North 60°07'31" West for a distance of 412.20 feet; thence North 1°29'07" East a distance of 245.11 feet; thence North 10°42'40" East a distance of 296.83 feet to the North Section line of said Section; thence South 89°44'27" East along the North Section line a distance of 166.54 feet; thence North 1°16'48" West a distance of 49.54 feet; thence North 89°22'23" East a distance of 131.99 feet; thence South 1°16'48" East a distance of 51.59 feet to the POINT OF BEGINNING.

The above described parcel contains 5.109 acres (222553.871 sq. ft.)
Acres: 5.109 No. of Lots: 13
Barry Andreason _____ Date _____

OWNERS DEDICATION
Know all men by these presents that _____, the undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as
LANDROCK CONNECTION
to be dedicated for the perpetual use of the public all parcels of land shown on this plat as intended for public use. The owner(s) warrant and defend and save the City harmless against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance and operation of the street.
in witness hereof _____ have hereunto set _____ this _____ day of _____, A.D. 20 ____.

OWNER'S ACKNOWLEDGEMENT
STATE OF UTAH } S.S.
COUNTY OF UTAH }
On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public in and for the County of Utah is said State of Utah, the signers of the above Owner's dedication, in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

CORPORATE ACKNOWLEDGMENT
STATE OF UTAH } S.S.
COUNTY OF UTAH }
On the _____ day of _____, 20____, personally appeared before me _____, who being by me duly sworn did say each for himself, that he, she, the said _____ is the President and he the said _____ is the Secretary of _____ Corporation, and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors and said _____ and _____ each duly acknowledged to me that said Corporation executed the same and that the seal affixed is the seal of said Corporation.

ACCEPTANCE BY LEGISLATIVE BODY
THE MAYOR OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.
THIS _____ DAY OF _____, A.D. 20 ____

LANDROCK CONNECTION PRELIMINARY PLAT
LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 3,
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN,
SARATOGA SPRINGS, UTAH COUNTY, UTAH
SCALE 1" = 50'
BASIS OF BEARING FROM THE NORTHEAST CORNER OF SECTION 3 TO THE NORTH QUARTER CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN BEARING SOUTH 89°42'23" EAST

FIRE CHIEF APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE CITY FIRE CHIEF.
CITY FIRE CHIEF _____

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE PLANNING COMMISSION.
CHAIRMAN, PLANNING COMMISSION _____

SARATOGA SPRINGS ENGINEER APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE CITY CIVIL ENGINEER.
CITY CIVIL ENGINEER _____

SARATOGA SPRINGS ATTORNEY
APPROVAL AS TO FORM THIS _____ DAY OF _____ A.D. 20____ BY THE CITY ATTORNEY.
SARATOGA SPRINGS ATTORNEY _____

NOTARY PUBLIC SEAL SURVEYOR'S SEAL CITY ENGINEER'S SEAL CLERK-RECORDER SEAL

REGISTERED LAND SURVEYOR
NO. 166572
BARRY ANDREASON
STATE OF UTAH

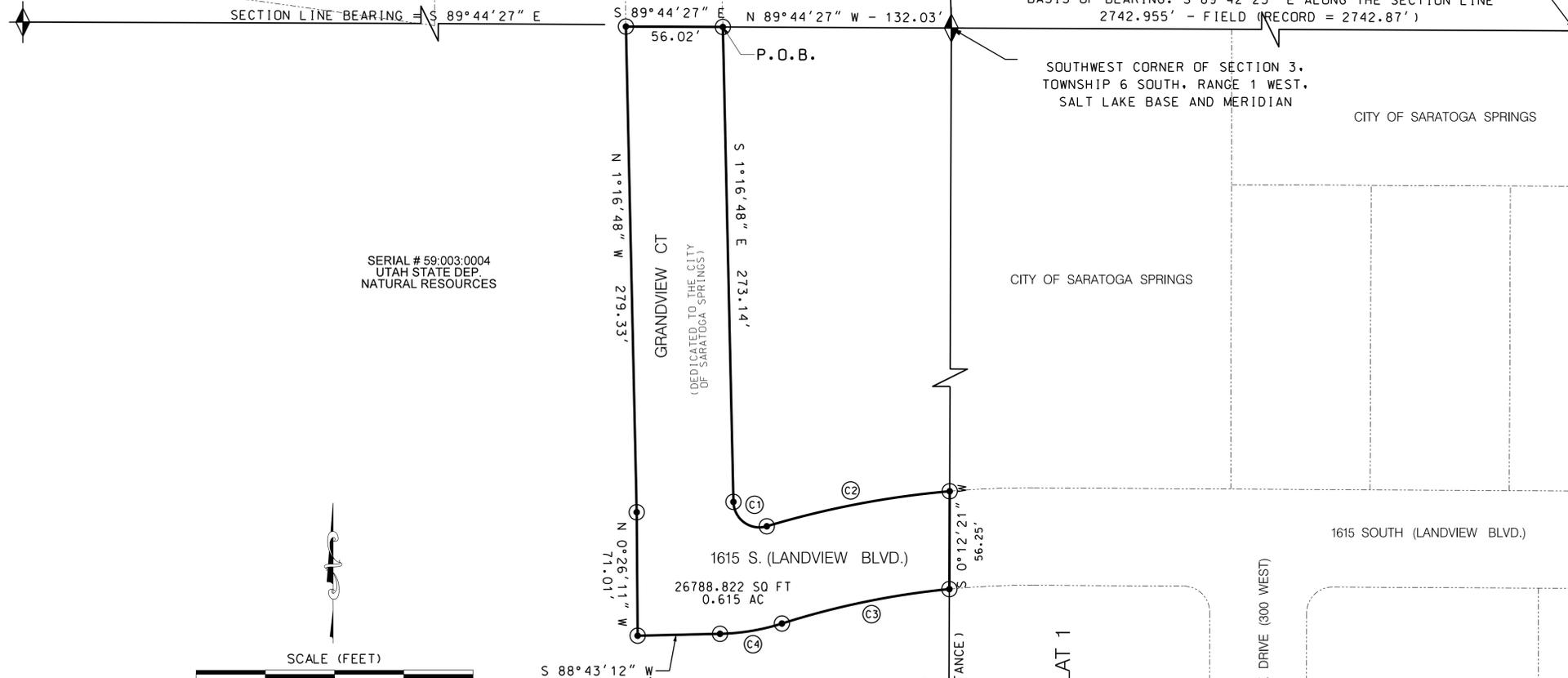
GRANDVIEW CT ROADWAY DEDICATION PLAT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN.

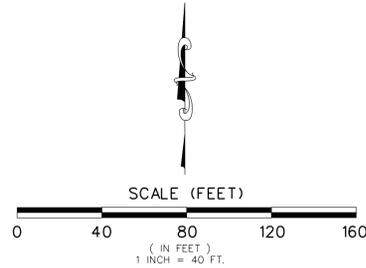
NORTH 1/4 CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (FOUND BRASS CAP)

THE BENCHES PLAT 6

NORTH 1/4 CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (FOUND BRASS CAP)



SERIAL # 59:003:0004
UTAH STATE DEP.
NATURAL RESOURCES



LEGEND	
	SUBDIVISION BOUNDARY
	LOT LINE
	PUBLIC UTILITY EASEMENT
	BUILDING SETBACK LINE
	FOUND SECTION CORNER
	SUBDIVISION BOUNDARY CORNER

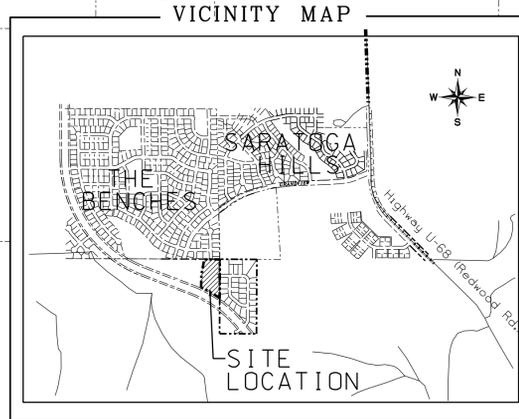
CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	CHORD	CH BRG	TANGENT
C1	105°21'28"	15.00	27.58	23.86	S53°57'32"E	19.68
C2	11°41'41"	528.00	107.77	107.58	N79°12'34"E	54.07
C3	12°00'35"	472.00	98.94	98.76	S78°26'21"W	49.65
C4	16°17'09"	128.00	36.38	36.26	S80°34'38"W	18.31

NOTES

QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFORMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

- THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO THE CITY OF SARATOGA SPRINGS ORDINANCES, REQUIREMENTS, CONSTRUCTION STANDARDS, POLICIES AND ANY OTHER RULES PERTAINING TO THE DEVELOPMENT OF THIS PROPERTY.
- PRIOR TO ANY BUILDING PERMITS BEING ISSUED, SOIL TESTING OR LOT SOIL STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED AND REQUIRED BY THE CITY OF SARATOGA SPRINGS, BUILDING OFFICIAL.
- THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.

EAST 1/4 CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (FOUND BRASS CAP)



SURVEYOR'S CERTIFICATE
I, BARRY ANDREASON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166572, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT, BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS HAVE BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND, MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

BOUNDARY DESCRIPTION
A Parcel of land situated in the Northeast quarter of Section 3, Township 6 South, Range 1 West, Salt Lake Base and Meridian, said parcel being more particularly described as follows:
Beginning at a point which is N 89°44'27" W 132.03 feet from the Southwest Corner of Section 3, Township 6 South, Range 1 West, Salt Lake Base and Meridian; thence S 1°16'48" E 273.14 feet; to a point of curvature, to the left, having a radius of 15.00 feet and a central angle of 105°21'28", thence along the arc of said curve a distance of 27.58 feet, chord of which bears S 53°57'32" E 23.86 feet; to a point of reverse curvature, to the right, having a radius of 528.00 feet and a central angle of 11°41'41", thence along the arc of said curve a distance of 107.77 feet, chord of which bears N 79°12'34" E 107.58 feet; thence S 0°12'21" W 56.25 feet; to a point of reverse curvature, to the left, having a radius of 472.00 feet and a central angle of 12°00'35", thence along the arc of said curve a distance of 98.94 feet, chord of which bears S 78°26'21" W 98.76 feet; to a point of reverse curvature, to the right, having a radius of 128.00 feet and a central angle of 16°17'09", thence along the arc of said curve a distance of 36.38 feet, chord of which bears S 80°34'38" W 36.26 feet; thence S 88°43'12" W 47.60 feet; thence N 0°26'11" W 71.01 feet; thence N 1°16'48" W 279.33 feet; thence S 89°44'27" E 56.02 feet; to the POINT OF BEGINNING;

Containing 0.6150 acres

Barry Andreason _____ Date _____

OWNERS DEDICATION
Know all men by these presents that _____, the undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as

GRANDVIEW CT ROADWAY DEDICATION PLAT

to be dedicated for the perpetual use of the public all parcels of land shown on this plat as intended for public use. The owner(s) warrant and defend and save the City harmless against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance and operation of the street.

in witness hereof _____ have hereunto set _____ this _____ day of _____, A.D. 20 ____.

OWNER'S ACKNOWLEDGEMENT
STATE OF UTAH } S.S.
COUNTY OF UTAH }
On the _____ day of _____, 20 __, personally appeared before me, the undersigned Notary Public in and for the County of Utah is said State of Utah, the signers(s) of the above Owner's dedication, in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

My commission expires: _____ Notary Public residing at _____

CORPORATE ACKNOWLEDGMENT
STATE OF UTAH } S.S.
COUNTY OF UTAH }
On the _____ day of _____, 20 __, personally appeared before me _____ and, who being by me duly sworn did say each for himself, that he, the said _____ is the President and he the said _____ is the Secretary of _____ Corporation, and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors and said _____ and _____ each duly acknowledge to me that said Corporation executed the same and that the seal affixed is the seal of said Corporation.

My commission expires: _____ Notary Public residing at _____

ACCEPTANCE BY LEGISLATIVE BODY
THE MAYOR OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS _____ DAY OF _____, A.D. 20 ____

ATTEST
MAYOR _____ CLERK/RECORDER (SEE SEAL BELOW)

GRANDVIEW CT ROADWAY DEDICATION PLAT
LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, SARATOGA SPRINGS, UTAH COUNTY, UTAH
SCALE 1" = 40'
BASIS OF BEARING FROM THE SOUTHWEST CORNER OF SECTION 3 TO THE NORTH QUARTER CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN BEARING SOUTH 89°42'23" EAST

EASEMENT APPROVAL

QUESTAR _____ DATE _____

ROCKY MOUNTAIN POWER _____ DATE _____

QUESTAR GAS _____ DATE _____

COMCAST _____ DATE _____

MW BROWN ENGINEERING, INC
Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

FIRE CHIEF APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20 ____ BY THE CITY FIRE CHIEF.

CITY FIRE CHIEF _____

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20 ____ BY THE PLANNING COMMISSION.

CHAIRMAN, PLANNING COMMISSION _____

SARATOGA SPRINGS ENGINEER APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20 ____ BY THE CITY CIVIL ENGINEER.

CITY CIVIL ENGINEER _____

SARATOGA SPRINGS ATTORNEY
APPROVAL AS TO FORM THIS _____ DAY OF _____ A.D. 20 ____ BY THE CITY ATTORNEY.

SARATOGA SPRINGS ATTORNEY _____

NOTARY PUBLIC SEAL _____ SURVEYOR'S SEAL _____ CITY ENGINEER'S SEAL _____ CLERK-RECORDER SEAL _____

REGISTERED LAND SURVEYOR
NO. 166572
BARRY ANDREASON
STATE OF UTAH

**CITY OF SARATOGA SPRINGS
CITY COUNCIL MEETING**

Tuesday, February 18, 2014

Meeting held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

DRAFT CITY COUNCIL MINUTES

POLICY SESSION- Commencing at 7:10 p.m.

Present:

Council Members: Mayor Miller, Councilwoman Baertsch, Councilwoman Call and Councilman McOmber, and Councilman Willden

Absent Council Members: Councilman Poduska

Staff: Lori Yates, Mark Christensen, Spencer Kyle, Kevin Thurman, Kimber Gabryszak, Chief Andrew Burton, Scott Langford, Sarah Carroll, Jeremy Lapin, Owen Jackson

Others: Chris Porter, Sue Alexander, Ryan Poduska, Karalyn Becraft, Jennifer Klingonsmith, Frank Morgan Laura Ault, Craig Call, Dave and Dennese Snarr, Syloanus Saltoza, Andrew Snarr, Kristie Hepworth, JD Hepworth, Mason Bartlett, Paul Watson, Robert Money, Debra Buffo

1. Consent Calendar:

a. Award of Contract for Utility work services.

b. Preliminary Plat for Landrock Connection located south of the intersection of Valley View and Granview Court, Clay Peck, applicant.

c. Preliminary Plat for Saratoga Springs Plat 16A located at 1700 South 240 East, Peter Stak, applicant.

d. Preliminary Plat for Harvest Point Commercial located located at the southwest corner of Redwood Road and Springhill Drive, Ken Berg, applicant.

e. Final Plat for Mountain View Estates

Councilwoman Call asked that the consent items 1.b, 1.c, and 1.d be pulled from the consent calendar for further discussion. The Council agreed to pull the items allow for further discussion.

Consent Calendar Item 1.b. (Preliminary Plat Landrock Connection).

Councilwoman Call thought that the frontages to these lots were 80 feet. Also would like to see that Lot 11 is noted to be a corner lot. The front of lot 9 shows to be located on the street side and not the cul-de-sac, does the Code define the location of the front door.

Scott Langford indicated that the applicant is aware that the frontage requirements must be met and a variance will not be asked for. Scott indicated that the final plat must meet the current Code requirements. The applicant has the option to choice the location of the front for lot 9 but we will talk to the applicant regarding this matter.

Councilwoman Baertsch suggested that the garage on Lot 9 face the cul-de-sac.

Councilwoman Baertsch made a motion to approve Preliminary Plat Landrock Connection located south of the intersection of Valley View and Grandview Court, Clay Peck, applicant including the staff's findings and conditions listed in the staff report dated February 18, 2014. Motion was seconded by Councilwoman Call. Aye: Councilwoman Baertsch, Councilwoman Call, Councilman Willden, and Councilman McOmber. Motion was unanimous.

Subject to:

- 1. That the Preliminary Plat shall be amended to reflect all the requirements of Code Section 19.04.13 including and not limiting to amending the lot widths in Phases 1 and 3 to meet the minimum lot width requirements of 80 feet.**

[Print](#)[Close](#)

From: **Troy Herold** (therold@utah.gov)
Sent: Wed 5/21/14 2:02 PM
To: Clay Peck (peckdevelopment@hotmail.com)
1 attachment
Concept Plan 5-21-14.jpg (34.3 KB)

Clay -

Elise mentioned to me that you called and inquired about purchasing some additional property. I thought it might make sense to share part of our internal development plans for the property. This should help you understand where SITLA is headed long term on this parcel. This plan has not been shared with the City yet, so please keep it confidential.

Our development proposal will require some green space as well as account for transportation corridors. Per our earlier discussions, I think we could entertain selling to you the portion in the North-east of the section that basically "finishes off" the existing residential development to the north of your operations. (labeled "L" in the attached and shaded the pink color). However, I would require within any sales agreement that you complete the development according to our long range master plan.

Let me know your thoughts. I look forward to working with you.

Thanks,

Troy Herold, PLA
Planning and Development Group

State of Utah
School & Institutional Trust Lands Administration
675 E. 500 S., Suite 500
Salt Lake City, Utah 84102
801-538-5170
therold@utah.gov

<http://trustlands.utah.gov/>

On Thu, Apr 10, 2014 at 9:07 AM, Clay Peck <peckdevelopment@hotmail.com> wrote:
Plans would be to purchase the property going west that would include the turn around
And also for future development .
I would rather buy the property than pay for a lease.
Thanks

Clay

Sent from my iPhone

On Apr 10, 2014, at 8:15 AM, "Troy Herold" <therold@utah.gov> wrote:

Clay -

I would need some more info as to what your plans are with the 1ac and what "portion" of the property you are looking to purchase. If the proposal is inline with SITLA's Masterplan on the property I may be able to entertain it, but the value might increase. I did decrease the "turnaround" value some as it is a planned future roadway. If you were wanting to complete some residential lots in the area (per SITLA's long-term masterplan on the property), then the value might need to be accomadated for that.

I've attached a drawing that shows the area - SITLA Ownership in light blue; proposed easement is in yellow; existing easements are in purple. Let me know what you're thinking and we can discuss.

I haven't been on site yet - so maybe this would give me an excuse to come down and meet you in person.

Thanks,

Troy Herold, PLA
Planning and Development Group

State of Utah
School & Institutional Trust Lands Administration
675 E. 500 S., Suite 500
Salt Lake City, Utah 84102
801-538-5170
therold@utah.gov

<http://trustlands.utah.gov/>

On Wed, Apr 9, 2014 at 12:57 PM, Clay Peck <peckdevelopment@hotmail.com> wrote:

Hi Troy

Is there any way to purchase the property or maybe one acre at the price you valued it at?

Thanks

Clay

Sent from my iPhone

> On Apr 9, 2014, at 9:59 AM, "Troy Herold" <therold@utah.gov> wrote:

>

> Clay -

> Good talking to you on the phone this morning. I look forward to working
> with you in the future.
>
>
> Attached are the 2 documents we discussed for your final review as follows:
>
> - Easement Agreement -
> - This document has been reviewed and approved by SITLA Legal
> counsel. The Saratoga Springs City Attorney was reviewing the
> agreement one
> last time but should not have any concerns. The easement
> agreement will be
> signed by SITLA and the City, with Peck Rock and Products, LLC consenting
> to the easement as the Lessee (Pg 6).
> - Right of Entry Agreement -
> - This document is the agreement between SITLA and Lakeview Land and
> Rock Development, LLC. The agreement allows for and defines
> the improvements to be placed (ie turn-around and boulders to prevent
> un-authorized access) The value noted in the agreement (\$4,635) is based
> on a determined value of \$18,500 per acre. As discussed on the
> phone, that
> value was based on comparable land offeriengs in the surrounding
> area which
> range from \$23,250 per acre to \$16,700 per acre.
>
>
> Please review both documents for any final concerns. With your approval, I
> will arrange to get originals prepared for your signature.
> If you have any quesitons - please don't hesitate to ask.
>
>
> Thanks again,
>
> *Troy Herold, PLA*
> *Planning and Development Group*
>
> State of Utah
> School & Institutional Trust Lands Administration
> 675 E. 500 S., Suite 500
> Salt Lake City, Utah 84102
> 801-538-5170
> therold@utah.gov
>
> <http://trustlands.utah.gov/>
> <ESMT_1779 - Draft_2014_04_08.pdf>
> <ROE 5851 - Final 2014 04 09.pdf>

<Screen-shot.pdf>

RESOLUTION NO. R14-34 (7-15-14)

ADDENDUM TO RESOLUTION OF THE CITY OF SARATOGA SPRINGS PERTAINING TO THE CITY STREET LIGHTING SPECIAL IMPROVEMENT DISTRICT TO INCLUDE ADDITIONAL SUBDIVISION LOTS. (Landrock Connection)

WHEREAS, on May 10, 2001, the City Council adopted Resolution No. 01-0510-01 creating a street lighting special improvement district (the "Lighting SID") consisting of all lots and parcels included within the Subdivisions set out in said Resolution for the maintenance of street lighting within the Lighting SID.

WHEREAS, *Utah Code Ann.* § 17A-3-307 provides that additional properties may be added to the special improvement district and assessed upon the conditions set out therein.

WHEREAS, the City Council has given final plat approval to Landrock Connection, (the "Subdivision") conditioned upon all lots in the Subdivision being included in the Lighting SID.

WHEREAS, the City Council finds that the inclusion of all of the lots covered by the Subdivision in the Lighting SID will benefit the Subdivision by maintaining street lighting improvements, after installation of such by the developer of the Subdivision, which is necessary for public safety, and will not adversely affect the owners of the lots already included within the Lighting SID.

WHEREAS, the owners of the property covered by the Subdivision have given written consent: (i) to have all lots and parcels covered by that Subdivision included within the Lighting SID, (ii) to the improvements to that property (maintenance of the street lighting), (iii) to payment of the assessments for the maintenance of street lighting within the Lighting SID, and (iv) waiving any right to protest the Lighting SID and/or assessments currently being assessed for all lots in the Lighting SID (which consent is or shall be attached as Exhibit 1 to this Resolution).

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS THAT:

1. All lots and parcels in the Subdivision be added to and included in the Lighting SID based upon the above findings and the written consent attached as Exhibit 1 to this Resolution.
2. City staff is directed to file a copy of this Resolution, as an Addendum to Resolution No. 01-0510-01 creating the Lighting SID, as required by *Utah Code Ann.* § 17A-3-307.
3. Assessments will be hereafter levied against owners of all lots within the Subdivision on the same basis as assessments are being levied against other lots included in the Lighting SID.
4. The provisions of this Resolution shall take effect upon the passage and publication of this Resolution as required by law.

CONSENT OF OWNER OF PROPERTY
TO BE INCLUDED IN STREET LIGHTING SPECIAL IMPROVEMENT DISTRICT

WHEREAS the City of Saratoga Springs (the “City”), by and through its City Council, has created a Street Lighting Special Improvement District (the “Lighting SID”) to pay for maintenance of street lighting within the subdivisions covered by the Lighting SID.

WHEREAS the undersigned (“Developer”) is the developer of Landrock Connection (the “Subdivision”) located within the City for which the City Council has given or is expected to give final plat approval.

WHEREAS, *Utah Code Ann.* § 17A-3-307 provides that before the completion of the improvements covered by a special improvement district, additional properties may be added to the special improvement district and assessed upon the conditions set out therein. Since the improvements covered by the Lighting SID are the maintenance of street lighting in the Lighting SID, said improvements are not completed so additional properties may be added to the Lighting SID pursuant to said § 17A-3-307.

WHEREAS, the City is requiring that the Subdivision be included within the Lighting SID in order to provide for the maintenance of street lighting within the Subdivision as a condition of final approval of the Subdivision.

WHEREAS, Developer, as the owner of the property covered by the Subdivision, is required by *Utah Code Ann.* § 17A-3-307 to give written consent to having the property covered by that Subdivision included within the Lighting SID and to consent to the proposed improvements to the property covered by the Subdivision and to waive any right to protest the Lighting SID.

NOW THEREFORE, Developer hereby consents to including the lots and parcels within the Subdivision in the Lighting SID. On behalf of itself and all lot purchasers and/or successors in interests, Developer consents and agrees as follows:

1. Consents to have all property covered by the Subdivision and all lots and parcels created by the Subdivision included within the Lighting SID. The legal description and the tax identification number(s) of the property covered by the Subdivision are set out in Exhibit A attached to this Consent.
2. Consents to the improvements with respect to the property covered by the Subdivision -- that is the maintenance of street lighting within the Subdivision. The street lighting within the Subdivision will be installed by Developer as part of the “Subdivision Improvements.”
3. Agrees to the assessments by the Lighting SID for the maintenance of street lighting within the Lighting SID.

4. Waives any right to protest against the Lighting SID and/or the assessments currently being assessed for all lots in the Lighting SID.

Dated this ____ day of _____, 2014.

DEVELOPER:

Name:
Authorized
Signature:
Its:

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City of Saratoga Springs
City Council Meeting - Work Session
July 01, 2014

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Policy Session Minutes

Present:

Mayor: Jim Miller

Council Members: Michael McOmber, Shellie Baertsch, Rebecca Call, Stephen Willden, Bud Poduska

Staff: Mark Christensen, Kimber Gabryszak, Kyle Spencer, Owen Jackson, Kevin Thurman, Jeremy Lapin,
Sarah Carroll, Chelese Rawlings, Jess Campbell, Andrew Burton

Others: Jennifer Klingonsmith, Sue Alexander, Doug Graham, Bill Gaskill, Ryan Poduska, Bob Krejci, Cari
Krejci, K. Becraft, Terry Looock, Nancy Hart, Colleen Reep, Billie Hawkins, Christine Redding, Steve
Maddox, Ray Dawson, Scott Dunn, Will Scott, Krisel Travis, Wally Smith, Teri Smith, Gaila Myers,
Stan Steele, Sandy Steele, Mike Hathorne, Thane Smith, Barbara Raineo

Call to Order - 7:05 p.m.

Roll Call - Quorum was present

Invocation / Reverence - Given by Councilman McOmber

Pledge of Allegiance - led by Councilman Willden

Awards, Recognitions and Introductions

- Swearing in of Officer Roger Williams by Mayor Miller

Public Input - Opened by Mayor Miller

Nancy Hart wanted to speak about the water issue in the city. She brought pictures to show of Sludge and fish in the filters. She feels that there is a shortage of irrigation water and that the city cannot support the growth in regards to this. She feels that perhaps a moratorium will help.

Doug Graham asked the city what they were doing about the water issues they were aware of. He felt it was causing their area quite a bit of money and problems.

Mark invited Mr. Graham to meet with the city engineer or himself and public works. It was the first he had heard of those issues. There is not a water source issue and they can look into the filter problems.

Councilwoman Call asked if any secondary water came from the lake for the city.

Jeremy Lapin said this is the only subdivision that comes from the canal. The systems were interconnected and were eventually blended.

Public Input - Closed by Mayor Miller

Policy Items

1. Consent Calendar:

a. Resolution R14-33 (7-1-14): a resolution appointing Karen Smart a member to the Library Advisory board.

b. Approval of Minutes:

i. March 4, 2014.

ii. April 1, 2014.

iii. June 17, 2014.

Motion by Councilman Poduska to approve the Consent Calendar resolutions a. and b. and the minutes, including changes in the minutes. Seconded by Rebecca Call.

55 Councilwoman Baertsch commented that there was only one resolution and the term should be amended
56 to **Items a. and b.**
57 Amendment was accepted.

58
59 **Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman Call,**
60 **Councilman Poduska. Motion passed unanimously.**
61

62 **2. Site Plan for Café Rio located at 1513 North Redwood Road, Amsource Development, applicant.**

63 Sarah Carroll presented the site plan. She reviewed the signage and additional parking and Staff
64 recommendations.

65
66 Councilman Willden is happy to have Café Rio in the city and is fine with the signs and parking adjustments
67 being delegated to staff and asked the applicant if they had any concerns.

68 Bill Gaskell, Amsource Developments, said he had worked with the Staff to make the necessary code
69 requirements. They feel they can work things out with staff. They originally proposed temporary stalls
70 but would like to do permanent stalls and meet the code. He thinks staff understands what they need.

71 Councilwoman Baertsch is glad to have Café Rio come into the city, she thinks they will do very well. She
72 is in favor of letting staff take care of signs and parking. She asked about lighting in the parking area.

73 Sarah Carroll said that will be covered with the condition that they meet all engineering standards.

74 Councilman McOmber does not have problems with staff taking care of signs and would like condition #4 be
75 changed from temporary to permanent as a long term solution. He is fine with the additional conditions
76 and is excited about the business coming to the city.

77 Councilwoman Call expressed appreciation for the applicant's patience. She thinks Condition 3 may need to
78 be modified regarding parking. She wanted them to keep in mind even more parking and that signs had
79 been reduced to meet code.

80 Sarah Carroll indicated that it was probably fine the way it was stated to cover those intents. 18 additional
81 were needed, they had 10 of those.

82 Councilman Poduska appreciated the effort to enhance the appearance on the front and back of building. We
83 are looking forward to this business in the city.

84 Mayor Miller welcomed them and was glad to see it finally come through.
85

86 **Motion by Councilwoman Baertsch to approve Site Plan for Café Rio located at 1513 North Redwood**
87 **Road, Amsource Development, applicant, including all staff modified conditions and findings.**
88 **Seconded by Councilwoman Call. Aye: Councilman Willden, Councilwoman Baertsch,**
89 **Councilman McOmber, Councilwoman Call, Councilman Poduska. Motion passed unanimously.**
90

91 **3. Preliminary Plat for Talus Ridge located at approximately 550 North 800 West, Edge Homes,**
92 **applicant.**

93 Sarah Carroll presented the preliminary Plat and the staff recommendations. She reviewed items discussed in
94 Planning Commission.

95
96 Councilwoman Baertsch thought it was a great project. She asked if the proportionate open spacing was
97 worked out yet. As far as the 9000 square feet lots, she is willing to do that because of the large
98 investment in infrastructure they are putting in.

99 Sarah Carroll said they are working on the open spacing.

100 Councilman McOmber has been impressed with Edge homes and their work in the city. He has received
101 some positive emails about them. He is appreciative of the nicer roads and infrastructure. He is good
102 with the preliminary plat and conditions.

103 Councilwoman Call also expressed appreciation to Edge home, and especially their work on the Habitat for
104 Humanity house recently built. She thought it was lot 93 that needed to be adjusted as noted in the report.
105 She appreciates applicant working with staff in preserving open space and bringing infrastructure into the
106 city.

107 Councilman Poduska mentioned that Utah is a 'fenced-in' state and that obligation to fence something out is
108 not placed on the developer. He asked if the second access came in on an earlier phase.

109 Sarah Carroll said there wouldn't be an issue with the roads.

110 Mayor Miller thanked them for the lower density, and thanked them for the work in Lakeview Terrace and
111 on the Park on Rocky Ridge.
112 Councilman Willden pointed out that part of it is potentially being dedicated as an irrigation pond. He
113 appreciated the developer working with the city.
114

115 Councilman McOmber remarked that they couldn't approve a subdivision if there wasn't water available and
116 water rights that are owned. He felt many residents were using more water than necessary.
117 Jeremy Lapin wanted to clarify that they don't reserve water capacity until the plat is recorded and they pay
118 the fees. It's first come first serve.
119

120 **Motion by Councilwoman Call to approve Preliminary Plat for Talus Ridge located at approximately**
121 **550 North 800 West, Edge Homes, applicant, with all staff findings and conditions. Seconded by**
122 **Councilman McOmber. Aye: Councilman Willden, Councilwoman Baertsch, Councilman**
123 **McOmber, Councilwoman Call, Councilman Poduska. Motion passed unanimously.**
124

125 Steve Maddox thanked staff for the crazy build schedule they worked with for the Habitat Home. He would
126 like to do that again in Saratoga Springs.
127

128 **4. Preliminary Plat for Sierra Estates located at approximately 600 West 400 North, Scott Dunn,**
129 **Patterson Homes, applicant.**

130 Sarah Carroll presented the preliminary Plat. She noted the lots that back the main road with a fence and
131 they would not like to form an HOA just to take care of the park strip along that road.
132

133 Councilman McOmber thought that the park strip could be taken care of by the city because it's a major
134 collector road and feels that residents wouldn't be able to take care of it as well and it may become run
135 down. He is in favor of working with the developer and staff to work with something that will work for
136 everyone.

137 Councilwoman Call is a little on the fence on the park strip. She sees the expense but also notes that Neptune
138 Park is close and the crew would already be deployed.

139 Councilman Poduska said Sierra Estates has been good to work with and is grateful for Neptune Park. He
140 feels that with the green strip next to Neptune Park that it would be easier to take care of.

141 Sarah Carroll noted that Staff would like to see Council direction on the park strip area.

142 Councilman McOmber would like to see them work with developer to find the solution.

143 Councilwoman Call thought that there may need to be created a Special Improvement District to take care of
144 areas like this so that developers wouldn't have to make an HOA just to take care of these code required
145 open spaces. An SID would spread the burden across those that are benefiting from it.

146 Sarah Carroll noted that they did the non HOA areas so far in the city.

147 Councilman Poduska asked staff what it would cost to have the city maintain the strip.

148 Jeremy Lapin said it's about \$5000 per an acre of turf. \$1800 of that is for localization.

149 Councilman Willden thinks the development looks great and was ok with city maintaining the park strip as it
150 was close to Neptune Park.

151 Councilwoman Baertsch is good with the development as a whole. For the park strip the city typically takes
152 care of those areas along collectors in non HOA areas. She feels that the way to go is to keep with what
153 they have been doing. She thought they city would need to be careful about an SID.

154 Councilwoman Call asked staff how this subdivision would affect the roadway.

155 Sarah Carroll responded that it would be improved to 77' roadway.

156 Jeremy Lapin noted that they didn't need to repave all the current asphalt, just the extension.
157

158 **Motion by Councilman Poduska to approve the Preliminary Plat for Sierra Estates, located at**
159 **approximately 600 West 400 North, Scott Dunn, Patterson Homes, applicant, with the findings and**
160 **conditions. Seconded by Councilman McOmber**
161

162 Councilman McOmber wanted **an additional condition that the City work with the developer so the**
163 **city could maintain the park strip.**

164 Councilman Poduska **accepted** the amendment.

165
166 **Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman Call,**
167 **Councilman Poduska. Motion passed unanimously.**
168

169 **5. Concept Plan for Vista Heights Church located at approximately 600 West Pony Express Parkway,**
170 **Evans and Associates Architecture, applicant.**

171 Sarah Carroll presented the Concept Plan. She noted the recommendations from Planning Commission. The
172 applicant requested that they exchange 50% sod for 35.7% and extra trees.
173

174 Councilwoman Call is fine with the landscape exchange. She thinks they should comply with city code on
175 lighting. She agreed that the west access should be moved to the drive lane further west.

176 Councilman Poduska asked if there were chain link fences currently around the site.

177 Sarah Carroll responded that there is a chain link around the School and around and agricultural property to
178 the west. But anything they put in could not be chain link

179 Councilman Willden was fine with the landscape reduction and proposed parking. He does encourage them
180 to meet city standards on lighting.

181 Councilwoman Baertsch asked if some of the trees could be in grass areas. She also noted to increase some
182 of the trees to a 2 ½ in. caliper.

183 Councilman McOmber liked the better variety of church designs. He likes the increased amount of trees and
184 expressed desire that the drive entrances be widened.

185 Mayor Miller would like current city standards be met with lighting.
186

187 **6. Continued Public Hearing: Legacy Farms Community Plan and the Village Plan located at 400 South**
188 **Redwood Road, DR Horton, applicant.**

189 Kimber Gabryszak reviewed the two plans. She gave background and requests. There have been significant
190 changes since the hearing in February. She reviewed items discussed in Planning Commission.

191 Greg Haws, applicant, had a presentation. He noted the amenities they would have, pool, clubhouse, terra
192 parks, tot lots, play fields, and community gardens. The presentation showed some changes that have
193 taken place in the plan. He reviewed a letter to the Council asking for consideration on specific items.

194 Krisel Travis asked that because of the quick time frame in turning it around they would have the opportunity
195 to include the additional traffic study information in the report.
196

197 **Public Hearing Open** by Mayor Miller

198 Gaila Myers asked on the maintaining of the water system, and who would be responsible for that. She
199 asked that Council pay attention to the strip along redwood road that they have asked the city to
200 maintain. She feels there is limited open space in the area. She doesn't see how 1000 units are
201 going to fit in that area.

202 Nancy Hart asked Council if the transaction of the sale to DR Horton has been completed and if the
203 Tickville wash mitigation had been resolved. She thought the traffic study was not current enough.
204 She was concerned with a business like a Bed and Breakfast being put in that would not have enough
205 parking.

206 Teri Smith was concerned about the project not having enough green space. She also commented on the
207 Fence between the neighboring parcels and recalled that at a neighborhood meeting the developer
208 said they could have a fence they wanted.

209 Dr. Wallace Smith is concerned with the density. He hopes it doesn't increase.

210 Carol Krejci mentioned that it was not fair for their HOA to not maintain the Strip along Redwood Road
211 and have other HOA's maintain the strips by them.

212 Public Hearing closed by Mayor Miller
213

214 Krisel Travis noted that the proposed fencing was 42' rod iron look, and that they have proposed if the
215 current HOA would like to work with them on the cost they would be willing to change it to 6 ft.
216

217 Councilman Poduska commented that with a berm along the road, trees and walkway that the fence
218 wouldn't be very visible and wondered why it would need to be private.

219 Krisel Travis responded that the main reason was privacy for the homeowners

220 Councilman Poduska asked if the space was right next to Redwood Road.
221 Councilman McOmber asked if this plan showed the full width of Redwood Road.
222 Staff responded that it was planned to the full width. And the plans were designed to the right of way
223 currently owned.
224 Councilman Poduska commented that with this consideration of the trail and berms he has no problem
225 with the privacy fence. He asked about the removal of the agricultural protection area.
226 Kimber Gabryszak responded that to develop they need to remove it.
227 Krisel Travis indicated that staff had asked that the Agricultural be removed on Village Plan approval but
228 they are asking that it be removed upon Preliminary Plat approval.
229 Councilman Poduska wanted clarification of where 20' buffer would be, and where it was requested to
230 be taken out. He asked why the Developer was asking for the city to maintain the park strip.
231 Kimber Gabryszak noted where the buffer was located.
232 Krisel Travis responded that the maintenance was mainly financial and the developer felt there were
233 considerable tradeoffs. They thought that about 80% of the area west of Redwood Road was city
234 maintained except SSD. The area was approximately 2 acres.
235 Councilman Willden told developer that they had a tough job trying to be a good partner in the city and
236 make people happy and thanked them for not pushing for the maximum and making changes to work
237 with community and city. He is in support of eliminating the buffer. He is fine with the privacy
238 fencing. He appreciates the efforts to work with Tickville Wash. He thinks it would be better for the
239 HOA to maintain the park strip. He is fine with removing "alongside" in item 9. He asked what
240 they were looking for on traffic studies.
241 Krisel Travis asked that it would be noted that they would like for the motion to they have those items
242 and allow for further discussion with city on those items.
243 Councilwoman Baertsch asked staff how that would work for them.
244 Mark Christensen said that as long as staff is delegated the responsibility, that is their main concern.
245 Also the seller has ample water rights, the challenge is a three-way agreement and that however the
246 transaction works out that it be granted to the city.
247 Jeremy Lapin recommends that they motion as written, that they are asking DR Horton to trust that they
248 will be followed through with no intent to push any other issues. Maybe item 5 would need a little
249 change maybe based on final analysis.
250 Kevin Thurman commented they could bring that back in the Master Development Agreement later.
251 Kimber Gabryszak said they could leave as written and that it covers complying with city standards.
252 Councilman Willden doesn't think developer should be punished for illegal actions of homeowners down
253 the road.
254 Councilwoman Baertsch thanked them for addressing most of staff and pc concerns and decreased
255 density and pool and clubhouse. She asked staff of the purpose to limit the length of cul-de-sac.
256 Kimber Gabryszak it has to do with public safety and fire access.
257 Jeremy Lapin commented that it was also for way finding, if its too long people doesn't understand it's a
258 dead end.
259 Councilwoman Baertsch thought that there may be another way to configure that area of the plan so it's
260 not hindering public safety.
261 Mark Christensen noted that one reason they did the cul-de-sac was so that the houses would not need to
262 front on the collector road.
263 Kimber Gabryszak noted that fire department required a turn around every 150' and the specific plat
264 when it came, may need to be changed.
265 Councilwoman Baertsch is not ok with all the 0 lot line occurrences on detached housing. it creates a
266 situation that was not neighbor friendly. She commented on street parking and conflict with snow
267 removal, and guest parking. There were some diagrams that had rear porches. She commented that if
268 they were to attach a deck there would be no setback. Staff noted that according to code they would
269 have to meet the setback. She discussed utility placement and guest parking on different types of
270 proposed lots.
271 Krisel Travis indicated that the utility plan was an issue but they can't have a plat to show people until
272 they get all the engineering done. The rear loaded cottages have a 20 driveway.
273 Councilwoman Baertsch would like street lights to match city standards. She asked about trees on shared
274 lanes and would large trucks be able to turn.

275 Krisel Travis said they had city standard on areas the city would maintain and on the private areas it
276 would match city standard but there would be a height difference. Where the lighting would be has
277 not been determined but not in the center lane sections. She said that the preliminary plats would
278 comply with city codes.

279 Councilwoman Baertsch would like the trails to comply with city standards. She thinks the HOA should
280 take care of the strip along Redwood Road, especially with privacy fences proposed. She would go
281 along with staff on the agricultural removal timing. On Tickville wash issues with FEMA, she asked
282 when it would be worked out. She didn't think it was wise to go forward without that nailed down.

283 Krisel Travis said they are working with them and would hope it would be worked out in a couple of
284 weeks.

285 Mark Christensen said that the transactions going through are based on them getting certain approvals.
286 They believe the engineering has been worked out. With the approvals then they can move on. They
287 need to close their deal and he proposes that they address the concerns in the MDA with language
288 that they and our attorney are comfortable with.

289 Councilwoman Baertsch is ok with items 1-6. She is ok with the buffer exception but with a semi-
290 private fence.

291 Councilman McOmber thanked them for returning to the clubhouse and pool. He is ok with the 20'
292 exception, and felt 40' was excessive, but with a semi-private fence. He would meet them halfway
293 with the amendments to item 5 in the staff report as brought up by Jeremy. With parking, he is
294 concerned that there is not enough parking for visitors. He thinks the HOA should take care of the
295 strip along Redwood Road. That is the precedence with the city and other HOA's. He feels that even
296 though the fences are below the berm that you can still see. With a privacy fence you tend to block
297 yourselves off from your neighbors and that semi-private gives a better community feel. He doesn't
298 feel it's the right thing for the community, but if they maintain the strip he may be willing to go with
299 the privacy fence. He likes the new school placement better than along a busy road and thanked them
300 for the trail connectivity. He referred to the transportation map and that he was disappointed in the
301 change of some roadways. He commented that he hoped this project and its various bumps would
302 not interfere with future projects.

303 Councilwoman Call noted appreciation of less density than could have been done, but she is a little
304 uncomfortable in granting an "up to" higher number of units. She wondered if the developer would
305 be willing to go up to maybe 900 units.

306 Krisel Travis noted that within a short time they should have locked in numbers.

307 Councilwoman Call is fine with the 20' buffer exception. She wants the HOA to maintain along
308 Redwood Road. Her issue with privacy fence is that she sees a trail along a main road different than
309 a trail more hidden. She recommends working with staff on Sherwood drive. She thinks the 0 lot
310 line can be addressed at Preliminary Plat. She feels guest parking is an issue. She thinks that they
311 could clarify that nothing could be done until FEMA is approved.

312 Krisel Travis clarified that they should be able to work on areas not in flood plain.

313 Councilwoman Call is fine with amending item 5 and removing "alongside" in item 9 and working with
314 staff to come up with a solution on item 22.

315 Mayor Miller did not have anything more at this point.

316 Councilwoman Baertsch asked if Sherwood drive being a collector was part of the Village plan or
317 Community plan and asked on access and turn lanes, especially in regards to the school area.

318 Staff responded that it was Community. They are suggesting that the asphalt be wide enough that stripes
319 could be adjusted later, instead of requiring a turn lane now that it be able to be adjusted at
320 preliminary plat. They are trying to balance the walkable lane and provide what is needed for the
321 traffic.

322 Councilwoman Call thanked developer that they have been able to have a little bit of say in this. She
323 asked again if they would be willing to adjust to up to 900 units from 1000.

324 Krisel Travis asked would council be willing to accept that Village plans will come forward in a few
325 months and locked in and they be able to adjust lots up until village plans get approved. At this time
326 it is 740 units by DR Horton and 116 by Leisure Village. They have no intension to deviate from
327 plans once the Village plan is there, but they want to be flexible in a changing market.

328

329 **Motion by Councilman Willden to approve The Legacy Farms Community Plan with findings and**
330 **conditions listed in the staff report. Modifying condition # 9 to delete the word “alongside.”**
331 **Modifying condition #5 to include verbiage conditional on final or amended traffic study. And**
332 **having HOA maintain along Redwood Road. Seconded by Councilwoman Call**
333

334 Councilwoman Call would Councilman Willden consider **that item 22 include direction to work**
335 **with staff?**

336 Councilman Willden doesn't think the amendment impacts it so he would accept that amendment so
337 he would **accept it.**

338 Councilwoman Call asked if this included buffer and fencing?

339 Councilman Willden no, it's what is presented in the current plan. (removing buffer)

340 Kimber Gabryszak clarified that it's called out in the findings.

341 Councilwoman Call asked if this was for Semi-private along Redwood Road?

342 Mark Christensen responded that what is called out currently is for private fencing.

343 Councilman McOmber asked what about the fencing along trails?

344 Kimber Gabryszak the proposal is privacy for the majority.

345 Councilwoman Call would like to see the southern area where there are no eyes on the trail as semi-
346 private.

347 Councilman McOmber would be good with Private along public roads but semi-private along trails.

348 Kimber Gabryszak suggested the wording **that Fencing along trail corridor shall be semi-private**
349 **wherever the trail is not adjacent to a roadway.**

350 Councilwoman call noted that, **Except for where they are doing aluminum type and split rail**
351 **type fence, as per plans.**

352 Councilman Willden will accept the amendment because he feels if it was private it would not go
353 through. **Amendment accepted.**

354 Councilwoman Baertsch asked about the agricultural protection.

355 Kevin Thurman said we don't have a say, we have to remove it if they apply at any time.

356 Kimber Gabryszak said she will **strike that (agricultural protection) condition.**

357 **Amendment accepted.**
358

359 **Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman Call,**
360 **Councilman Poduska. Motion passed unanimously.**
361

362 **Motion by Councilman Willden to approve the Legacy Farms Village Plan with the findings and**
363 **condition listed in the staff report. With the same modifications made to the engineering**
364 **report. Seconded by Councilman Poduska**
365

366 Councilwoman Baertsch add remove 0 lot lines from detached housing?

367 Councilman Willden thought it would be handled with preliminary plat.

368 Councilman McOmber wanted to see something with parking and snow stacking and dealing with
369 peak traffic timing of that parking.

370 Kimber Gabryszak found a note in the plan about guest parking at .25 stalls per unit shall be
371 required for products that do not contain 18' min. driveways.

372 **The guest parking note requiring .25 spaces for products without 18' driveways shall be added**
373 **to all product types with clarification that such spaces may not be impacted by snow**
374 **storage.**

375 Krisel Travis said the snow stacking was a problem. Their plan was based on Lake Tahoe resort area.

376 Councilwoman Call said than they can't be on the streets because of snow removal either.

377 Mark Christensen said the current Village plan does not have the type of unit they are worried about.

378 This current proposal wouldn't apply to this plan.

379 **Amendment Accepted.**

380 Councilwoman Call is concerned with changes at preliminary plat.

381 **Off street parking** (exempt of) is being added to previous amendment.

382 Councilman Willden is good with off street parking as well as Councilman Poduska. **Accepted**
383

384 **Aye: Councilman Willden, Councilman Poduska. Nay: Councilwoman Baertsch, Councilman**
385 **McOmber, Councilwoman Call . Motion Failed.**
386

387 **Motion by Councilwoman Baertsch the same motion but including to remove all 0 lot lines**
388 **clearances and to make sure there is no movement before FEMA stuff. Seconded by**
389 **Councilwoman Call**
390

391 Kimber Gabryszak wanted clarification on the motion.

392 Councilwoman Baertsch **doesn't want them to move forward with actual building within flood**
393 **plain at all until its done and she doesn't want any 0 lot lines on detached units.**

394 Mark Christensen clarified is she talking both buildings and utilities?

395 Councilwoman Baertsch replied yes, both. She doesn't want to have to re-do it.

396 Mayor Miller asked is there a risk putting any utilities in the flood plain?

397 Jeremy Lapin replied it's not unique to the flood plain. The biggest risk is the torn up area.

398 Mark Christensen indicated that is less rights than they have now. The motion for the utility part is
399 far more restrictive than it should be and that is going too far. What is the reason to stop the
400 master planned utilities?

401 Councilwoman Baertsch would **remove utilities but leave housing.**

402 Councilwoman Call they have a property owner unwilling than they would have to move something.

403 Jeremy Lapin the FEMA process is you have to do the work and then the map is amended.

404 Councilwoman Call **accepted amendment**

405 Kimber Gabryszak are we keeping guest parking from the original motion?

406 Mark Christensen would like applicant to respond to the 0 lot line condition.

407 Krisel Travis noted they are currently building a 0 lot line in Bluffdale, it's new to this area. It allows
408 some flexibility, it doesn't significantly affect them but they would prefer it the way it's
409 proposed in the plans.

410 Councilwoman Baertsch is going to leave the motion as it stands.
411

412 **Aye: Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman Call.**
413 **Nay: Councilman Poduska. Motion passed 4 - 1.**
414

415 Councilman Willden voted Aye because he wanted them to be able to walk away with something to
416 work on.
417
418

- 419 **8. Motion to enter into closed session for the purchase, exchange, or lease of property, pending or**
420 **reasonably imminent litigation, the character, professional competence, or physical or mental health of**
421 **an individual.**
422

423 **Council Councilwoman Baertsch made a motion to enter into closed session for the purchase,**
424 **exchange, or lease of property, pending or reasonably imminent litigation, the character,**
425 **professional competence, or physical or mental health of an individual. Seconded by**
426 **Councilwoman Call . Aye: Councilman McOmber, Councilwoman Baertsch, Councilman Willden,**
427 **Councilman Poduska and Councilwoman Call. Motion passed unanimously**
428

429 **Meeting Adjourn to Closed Session 10:44 p.m.**
430

431 A break was taken before closed session.at this time. Meeting resumed at 10:58p.m.
432 Closed Session postponed due to Reports of Action.
433

- 434 **7. Approval of Reports of Action.**

435 Kimber reviewed the Reports of Action

436 Café Rio – approved with conditions
437

438 **Motion by Councilman McOmber to approve Café Rio Report of Action. Second by**
439 **Councilwoman Baertsch Aye: Councilman Willden, Councilwoman Baertsch, Councilman**
440 **McOmber, Councilwoman Call, Councilman Poduska. Motion passed unanimously.**
441

442 Legacy Farms Community Plan and Village plan – approved with conditions
443

444 **Motion by Councilman McOmber to pass the Reports of Action for Legacy Farms Community**
445 **and Village plans. Second by Councilwoman Call Aye: Councilman Willden, Councilwoman**
446 **Baertsch, Councilman McOmber, Councilwoman Call, Councilman Poduska. Motion passed**
447 **unanimously.**
448

449 **Council Councilwoman Baertsch made a new motion to enter into closed session for the purchase,**
450 **exchange, or lease of property, pending or reasonably imminent litigation, the character,**
451 **professional competence, or physical or mental health of an individual. Seconded by Councilman**
452 **McOmber . Aye: Councilman McOmber, Councilwoman Baertsch, Councilman Willden,**
453 **Councilman Poduska and Councilwoman Call. Motion passed unanimously**
454

455 **Closed Session**
456

457 Present: Mayor Miller, Councilman Willden, Councilwoman Baertsch, Councilman McOmber, Councilwoman
458 Call, Mark Christensen, Kevin Thurman, Spencer Kyle, Nicolette Fike
459

460 **Closed Session Adjourned at 11:26 p.m.**
461

462 **Policy Meeting Adjourned at 11:27p.m**
463
464
465

466 _____
467 Date of Approval

466 _____
467 Mayor Jim Miller

469 _____
470
471 Lori Yates, Rec

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City of Saratoga Springs
City Council Meeting – Policy Session
July 8, 2014

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Special Policy Session Minutes

Present:

Mayor: Jim Miller

Council Members: Michael McOmber, Shellie Baertsch, Bud Poduska

Staff: Mark Christensen, Owen Jackson, Lori Yates, Jeremy Lapin, Mark Edwards

Call to Order – 6:35 p.m.

1. Award of Contract for Phase 2 of the Secondary Water Meter Installation project.

Mark Edwards briefly reviewed the bids that were received early today and recommended the Council award the bid for each schedule to the lowest qualified bidder.

Mark Christensen said that a budget amendment would be done to accommodate this cost.

The Council was pleased with the bids that came in.

Motion by Councilman Poduska to award Table 2 Bid Tabulation listed in the staff report dated July 8, 2014. Seconded by Councilman McOmber. Aye: Councilman Poduska, Councilman McOmber, Councilwoman Baertsch. Motion passed unanimously.

Special Policy Meeting Adjourned at 6:45 p.m. by Mayor Miller.

Date of Approval

Mayor, Jim Miller

Lori Yates, City Recorder

City Council Staff Report

Author: Jeremy D. Lapin, P.E., City Engineer

Subject: Sewer Impact Fee Facility Plan

Date: July 15, 2014

Type of Item: Public Hearing and Adoption of Ordinance 14-19



A. Topic:

This item is for an Ordinance and Impact Fee Enactment adopting a sewer impact fee facilities plan, impact fee analysis and defining service areas and enacting sewer impact fees in the City of Saratoga Springs, providing for the calculations and collection of such fees and providing for appeal, mediation, arbitration, accounting and severability of the same and other related matters

B. Background:

In 2012, the City of Saratoga Springs hired Bowen, Collins and Associates and Zion’s Bank Public Finance to assess the level of sanitary sewer service that is currently provided to existing residents, the excess capacity in the existing sewer facilities infrastructure that is available to accommodate new growth without diminishing the current level of service, and the elements and cost of additional sanitary sewer facilities that will be required to maintain the current level of service as projected growth occurs in the impact fee expenditure period and to recommend a valid sanitary sewer impact fee based on the Impact Fee Facilities Plan and Impact Fee Analysis. This work has been completed and they are recommending the following:

Service Area	Existing Fee per ERC	Proposed Fee per ERC
North Service Area - Posey	\$1,800	\$1,020
South Service Area	\$1,800	\$642
South Service Area – Harbor Bay North	\$1,800	\$1,987
South Service Area – Harbor Bay South	\$1,800	\$3,580
Future Treatment Area	\$1,800	\$0

C. Analysis:

Saratoga Springs continues to be one of the fastest growing cities in Utah and based on the recommendations from Bowen, Collins and Associates and Zion’s Bank Public Finance, the proposed impact fees are necessary in order for the City to meet the growing demands on the system while maintaining a high level of service to existing residents.

D. Recommendation:

I recommend that the City Council approve Ordinances 14-19 amending the City’s Impact Fees for Sanitary Sewer

ORDINANCE NO. 14-19 (7-15-14)

ORDINANCE ADOPTING A SEWER IMPACT FEE FACILITIES PLAN, SEWER COLLECTION FACILITIES IMPACT FEE ANALYSIS, SEWER COLLECTION FACILITIES SERVICE AREAS AND A SEWER COLLECTION FACILITIES IMPACT FEES ENACTMENT IN THE CITY OF SARATOGA SPRINGS; PROVIDING FOR THE CALCULATION AND COLLECTION OF SUCH FEES; PROVIDING FOR APPEAL, MEDIATION, ARBITRATION, ACCOUNTING, AND SEVERABILITY OF THE SAME; AND OTHER RELATED MATTERS

WHEREAS, on February 15, 2011 the City mailed notice to affected entities and to the development community of its intent to update its Capital Facilities Plan for Sewer Collection facilities and to amend its Sewer Collection facilities impact fees

WHEREAS, on August 1, 2011 the City properly noticed its intent to update its Capital Facilities Plan and to create an Impact Fee Facilities Plans for Sewer Collection facilities and to amend its sewer impact fees;

WHEREAS, on July 28, 2011 Saratoga Springs, Utah mailed the same notice to all affected entities;

WHEREAS, the City properly noticed a January 2012 kickoff meeting to begin the process to analyze sewer collection facilities impact fees as well as other impact fee qualified facilities;

WHEREAS, the City mailed individual notice of the kickoff meeting to 36 state and local governments, private development entities and private home owners' associations;

WHEREAS, in addition to City Consultants, City Officials and representatives of other Government entities, two private citizens attended the kickoff meeting;

WHEREAS, on February 8, 2012 City staff met with interested members of the development community to address growth assumptions that would form the foundation for all advertised Impact Fee Facilities Plans and Analysis;

WHEREAS, on April 3, 2012, City staff convened a follow up meeting with the development community to address proposed growth assumptions;

WHEREAS, on June 4, 2013 the City properly noticed a public meeting to discuss the current and proposed levels of service for Sewer Collection facilities, the extent of excess sewer facilities capacity to serve new growth and the capital facilities that would be required to serve new growth in the impact fee expenditure period;

WHEREAS, on June 11, 2013, the City of Saratoga Springs, Utah held a public meeting to discuss the current and proposed levels of service for Sewer collection facilities, the extent of

excess sewer collection facilities capacity to serve new growth and the capital facilities that would be required to serve new growth in the impact fee expenditure period;

WHEREAS, on June 12, 2013, the City emailed copies of a DRAFT Sewer Collection Impact Fee Facilities Plan and Analysis to affected entities and to the development community representatives and posted the same to the Public Notice Website;

WHEREAS, on July 11, 2013 the City properly noticed its intention to prepare a Sewer collection impact fee facilities plan;

WHEREAS, on August 7, 2013 the City properly noticed its intention to prepare a Sewer collection facilities impact fee analysis;

WHEREAS, on July 3, 2014 the City properly posted a copy of the executive summary of and the certified Sewer Collection Impact Fee Facilities Plan and Analysis;

WHEREAS, on July 3, 2014, the City properly noticed its intent to adopt the certified Sewer Collection Impact Fee Facilities Plan and Analysis as well as its intent to hold a public hearing and possibly adopt this Ordinance;

WHEREAS, Saratoga Springs is a fourth class city of the State of Utah, authorized and organized under the provisions of Utah law and is authorized pursuant to the Impact Fee Act, Utah Code § 11-36a-101 *et seq.* to adopt Sewer Collection facilities impact fees; and

WHEREAS, the City has caused a Sewer Collection Impact Fee Facilities Plan and Impact Fee Analysis to be prepared by Bowen Collins to assess the level of Sewer Collection facility service that is currently provided to existing residents, the excess capacity in the existing Sewer Collection facilities infrastructure that is available to accommodate new growth without diminishing the current level of service provided to existing residents and the elements and the cost of additional Sewer Collection facilities that will be required to maintain the current level of service as projected growth occurs in the impact fee expenditure period; a copy of the Sewer Collection Impact Fee Facilities Plan prepared by Bowen Collins is attached hereto as exhibit "A"

WHEREAS, Bowen Collins certified its work as compliant with Utah Code § 11-36a-306 on May 29, 2014; and

WHEREAS, the City has caused a Sewer Collection Facilities Impact Fee Analysis to be prepared by Zions' Public Finance;

WHEREAS, Zions' Public Finance has identified a maximum Sewer Collection facilities impact fee based on the Sewer Collection Impact Fee Facilities Plan; a copy of the Sewer Collection Impact Fee Facilities Plan prepared by Zions' Public Finance dated June 19, 2014 is attached hereto as exhibit "B"; and

WHEREAS, on July 3, 2014, a full copy of the Sewer Collection Impact Fee Facilities Plan, the Sewer Collection Impact Fee Analysis, the Sewer Collection Impact Fee Enactment, along with an executive summary of the Sewer Collection Impact Fee Facilities Plan and Analysis that was prepared in a manner to be understood by a lay person, were made available to the public at the Saratoga Springs public library, posted on the City’s website, and the Public Notice Website; and

WHEREAS, on July 5, 2014, the Provo Daily Herald published notice of the date, time, and place of the first public hearing to consider the Sewer Collection Facilities Impact Fee Facilities Plan, Analysis, and Enactment; and

WHEREAS, on July 15, 2014, the City Council held a public hearing regarding the proposed and certified Sewer Collection Impact Fee Facilities Plan, Sewer Collection Impact Fee Analysis, and a draft of this Sewer Collection Facilities Impact Fee Ordinance; and

WHEREAS, after careful consideration and review of the comments at the public hearing and the comments of the Participants, the Council has determined that it is in the best interest of the health, safety, and welfare of the inhabitants of Saratoga Springs to:

1. adopt the Sewer Collection Impact Fee Facilities Plan for Sewer Collection Facilities as proposed;
2. adopt the Sewer Collection Impact Fee Analysis as proposed;; and
3. enact this Ordinance to:
 - a. amend its current Sewer Collection impact fees;
 - b. provide for the calculation and collection of such fees;
 - c. authorize a means to consider and accept an independent fee calculation for atypical development requests;
 - d. provide for an appeal process consistent with the Impact Fees Act;
 - e. update its accounting and reporting method;
 - f. all in a manner that is consistent with the Impact Fees Act.

NOW, THEREFORE, BE IT ORDAINED by the Saratoga Springs Council as follows:

**SECTION I – IMPACT FEE FACILITIES PLAN AND ANALYSIS:
SEWER COLLECTION FACILITIES**

The Sewer Collection Impact Fee Facilities Plan and Analysis attached hereto as Exhibits A and B is hereby adopted.

SECTION II – ENACTMENT

The following amendments to Chapter 7.05 of the City Code are hereby made:

Chapter 7.05. Wastewater Sewer Collection Facilities Impact Fee.

Sections:

- 7.05.01. Definitions.
- 7.05.02. Findings and Purpose.
- 7.05.03. Establishment of North Special Sewer Collection Facilities Service Areas.
- ~~7.05.04. Renaming of South Special Service Area.~~
- 7.05.0504. Adoption and Imposition of Adjusted Wastewater Sewer Collection Facilities Impact Fees.
- ~~7.05.06. Stacked Unit, Multi-Family Residential Dwellings.~~
- 7.05.0705. Use of Adjusted Wastewater Sewer Collection Facilities Impact Fees.
- 7.05.0806. Adjustments.
- 7.05.0907. Accounting, Expenditure, and Refunds.
- 7.05.1008. Impact Fee Challenges and Appeals.
- 7.05.1109. Severability.

- 7.05.01. Definitions.

As used in this Chapter the following terms shall have the meanings herein set out:

1. “City” means the City of Saratoga Springs and its incorporated boundaries.
- ~~1.2.~~ “Development Activity” or “new development” means any construction or expansion of a building, structure, or use, any change in use of a building or structure, or any changes in the use of land that creates additional demand and need for Public Facilities.
3. “Equivalent Residential Connection” or “ERC” means that measure of impact on public facilities equal to the impact of one typical primary residential single-family detached dwelling unit. For Sewer Collection Facilities, an ERC equals 40 water supply fixture units (WSFU).
- ~~2.4.~~ “Sewer Collection Facilities Impact Fees” means the Sewer Collection Facilities Impact Fees adopted and imposed by this Chapter on Development Activity within the City.
- ~~3.~~ “North Special Service Area” means the sewer Special Service Area formally adopted by the City Council in Ordinance 05-3 for adjusted wastewater impact fees that covers the entire City except for the portion of the City included in the previously existing sewer Special Service Area.
- ~~4.5.~~ “Public Sewer Collection Facilities” means the following capital facilities that have a life expectancy of ten or more years and are owned or operated by or on behalf of the City: identified in the 2014 Sewer Collection Impact Fee Facilities Plan dated May 29, 2014.

- a. ~~public roadways and roadway facilities including roads, bridges and traffic signals;~~
- b. ~~storm drainage facilities;~~
- c. ~~culinary water facilities;~~
- d. ~~secondary water facilities (water for outside use);~~
- e. ~~wastewater collection (but not treatment) facilities;~~
- f. ~~parks, recreation facilities, trails and open space; and~~
- g. ~~public safety facilities.~~

5. ~~“South Special Service Area” means the sewer Special Service Area originally established by the City Council in Ordinance 00-0713-01 that covers all of the City, except for the portion of the City being included in the North Special Service Area adopted by the City Council in Ordinance 05-3, including the subdivision plats for Lake Mountain Estates and Pelican Bay.~~

6. **“Utah Impact Fees Act”** means Utah Code 11-36a.

7. “Water Supply Fixture Unit” or “WSFU” means the International Plumbing Code (“IPC”) fixture count method developed to predict water use for various fixture types. Each fixture type is assigned a load value in water supply fixture units (WSFU).

7. ~~“Wastewater Impact Fee” means the wastewater impact fees adopted and imposed on Development Activity within the North and South Special Service Areas pursuant to Ordinances 00-0713-01 and 05-3.~~

8. ~~The definitions set out in the Impact Fee Ordinance adopted on April 13, 1999, shall apply as those terms are used in this Chapter.~~

(Ord. 14-19; Ord. 11-9; Ord. 05-3; Ord. 00-0713-01)

7.05.02. Findings and Purpose.

The City Council hereby finds and determines:

1. There is a need to establish a wastewater sewer collection facilities impact fee for ~~the North Special Service Area and South Special Service Area in order to continue~~ four separate service areas in the City to maintain the level of service for sewer collection facilities proposed in the 2014 Sewer Collection Impact Fee Facilities Plan and Analysis currently enjoyed by Saratoga Springs residents regarding the existing sewer facilities and the improvements as set out in the Analysis Supporting the Adjusted Wastewater Impact Fee.
2. ~~Establishing the North Special Service Area and South Special Service Area and establishing wastewater impact fees for those area.~~

~~3. The analyses and studies identify the need for the wastewater impact fees for the North and South Special Service Areas and demonstrate why the impact fees for those areas are fair in light of the circumstances relating to the need for sewer facilities to serve the North and South Special Service Areas.~~

2. The 2014 Sewer Collection Facilities Impact Fee Plan and Analysis identify the:
- a. projected development activity in the City through 2020;
 - b. level of service for sewer collection facilities that serve existing residents;
 - c. excess sewer collection facilities capacity that is available to serve new growth in the existing infrastructure;
 - d. proposed level of service for the City, which does not raise the existing level of service for current residents;
 - e. additional capital facilities that are required to maintain the proposed sewer collection level of service without burdening existing residents with costs of new development activity; and the
 - f. maximum fee that is legally justified by the study.

(Ord. 14-19; Ord. 11-9; Ord. 05-3; Ord. 00-0713-01)

7.05.03. Establishment of North Special Sewer Collection Facilities Service Areas.

The City Council hereby approves and establishes ~~the North Special Service Area for which the Adjusted Wastewater Impact Fee herein provided will be imposed. four sewer collection facilities service areas and acknowledges a fifth area of the city with no sewer collection facilities in place and no facilities planned for construction with public funds through 2020. The North Special Service Area shall include all land in the City not included in the South Special Service Area.~~ sewer service areas are depicted on exhibit C.

(Ord. 14-19; Ord. 11-9; Ord. 05-3; Ord. 00-0713-01)

~~7.05.04. South Special Service Area.~~

~~The City Council hereby changes the name and designation of the Special Service Area established in Ordinance No. 00-0713-01 to the South Special Service Area in order to help distinguish that Special Service Area from the North Special Service Area being established by this Ordinance. Per Ordinance No. 00-0713-01, the South Special Service Area shall include the approved subdivision plats for Lake Mountain Estates and Pelican Bay.~~

(~~Ord. 11-9; Ord. 05-3; Ord. 00-0713-01~~)

7.05.~~05~~04. Adoption and Imposition of Wastewater Sewer Collection Facilities Impact Fees.

1. A Sewer Collection Impact Fee for all new development activity shall be calculated as a multiple of water supply fixture units, in each service area, with the minimum residential connection (ERC) equal to 40 water supply fixture units.

- a. North Service Area-Posey sewer collection impact fee = \$1020 per ERC;
- b. South Service Area sewer collection impact fee = \$642 per ERC;
- c. Harbor Bay North Service Area sewer collection impact fee = \$1987 per ERC;
- d. Harbor Bay South Service Area sewer collection impact fee = \$3580 per ERC

2. The sewer collection facilities impact fee for new non-residential development activity shall be calculated by dividing the number of water supply fixture units proposed by the approved building plans by 40 water supply fixture units and then by multiplying that number by the impact fee per ERC that has been imposed in the service area in which the development activity will occur:

$$\# \text{ wsfu} \div 40 \text{ wsfu} \times \text{Service Area Sewer Collection Impact Fee (per ERC)}$$

(Ord. 14-19, Ord. 11-9; Ord. 00-0713-01)

~~1. **North Special Service Area.** The City Council hereby approves and imposes and levies on all Development Activity in the North Special Service Area the Wastewater Impact Fee in the amount of \$1,200 per residential connection. In adopting the Wastewater Impact Fee for the North Special Service Area, the City Council hereby adopts the Analysis Supporting the Wastewater Impact Fee, the analysis reflected therein and the methodology used for the calculation of the Wastewater Impact Fee imposed for the North Special Service Area by this Chapter.~~

~~(Ord. 11-9; Ord. 05-3)~~

~~2. **South Special Service Area.** The City Council hereby approves and imposes and levies on all Development Activity in the Special Service Area, other than Development Activity by owners of SSD Reserved Connections, the Wastewater Impact Fee in the amount of \$1,200 per residential connection. In adopting the Wastewater Impact Fee, the City Council hereby adopts the justification for the Wastewater Impact Fee, the analysis reflected therein and the methodology used for the calculation of the Adjusted Wastewater Impact Fee imposed by this Chapter.~~

~~(Ord. 11-9; Ord. 00-0713-01)~~

~~**7.05.06. Stacked Unit, Multi-Family Residential Dwellings.**~~

~~Impact fees for stacked unit, multi-family residential dwelling units shall be computed at 0.5 Equivalent Residential Units (ERUs) per individual dwelling unit in a building.~~

~~(Ord. 11-9; Ord. 10-3)~~

7.05.0705. Use of Wastewater Sewer Collection Facilities Impact Fees.

The Wastewater Sewer Collection Facilities Impact Fees collected by the City ~~in the North and South Special Service Areas~~ shall be used as provided in ~~the Analyses and Studies Supporting~~

~~the Wastewater Impact Fee and as provided in the City's Impact Fee Chapter. 2014 Sewer Collection Impact Fee facilities Plan and Analysis.~~

(~~Ord. 14-19;~~ Ord. 11-9; Ord. 05-3; Ord. 00-0713-01)

7.05.0806. Adjustments.

1. The City ~~may~~ shall adjust the calculation of all, or any component, of the Sewer Collection Facilities impact fees imposed by this Chapter as necessary in order to:
 - a. respond to unusual circumstances in specific cases;
 - b. ensure that the impact fees are imposed fairly; and
 - c. adjust the amount of the Impact Fees to be imposed on a particular development based upon studies and data submitted by the developer that are approved by the City Council; and

2. ~~allow credits as approved by the~~ The City Council ~~for~~ shall allow credit against, or proportionate reimbursement from, impact fees for the:
 - a. ~~dedication of land for, improvements to,~~ a System Improvement; and
 - b. full or partial construction of:
 - i. ~~Public Facilities providing services to the City at large, provided such facilities are~~ System Improvements identified in the Capital Sewer Collection Impact Fee Facilities Plan; or Facilities Plan and are required by the City as a condition of approving the development or Development Activity.
 - ii. publicly accepted and dedicated capital improvement that will offset the need for a System Improvement.

(~~Ord. 14-19;~~ Ord. 11-9; Ord. 05-3; Ord. 00-0713-01; Ord. 99-0413-1)

7.05.0907. Accounting, Expenditure, and Refunds.

The City shall account for, expend and refund ~~Wastewater Sewer Collection~~ Impact Fees in accordance with this Chapter and the Utah Impact Fees Act.

(~~Ord. 14-19;~~ Ord. 11-9; Ord. 05-3; Ord. 00-0713-01; Ord. 99-0413-1)

7.05.1008. Impact Fee Challenges and Appeals.

~~Any person or entity residing in or owning property within a service area and any organization, association, or corporation representing the interests of persons or entities owning property within a service area, may file a declaratory judgment action challenging the validity of the Impact Fees after filing an appeal with the City Council as provided in Subsection (4) of this Section.~~

1. Any person or entity required to pay an Impact Fee who believes the fee does not meet the requirements of ~~law~~ the Impact Fees Act or this Chapter may file a written request for information with the City.
2. ~~Within two weeks of the receipt of the request for information, the~~ The City shall provide the person ~~or entity~~ with a copy of the written analysis required by the Utah Sewer Collection Impact Fee Act-Facilities Plan, the specific calculation staff used to calculate the Sewer Collection Impact Fee for the person, if applicable, and ~~with~~ any other relevant information relating to the Impact Fees. The City may charge for all copies provided for in response to such a request in an amount set out in the City's Consolidated Fee Schedule.
3. At any time prior to thirty days after paying an Impact Fee, the person required to pay an Impact Fee and wishes to challenge the fee may request a third party advisory opinion in accordance with UCA §13-43-205
4. Within thirty days after paying an Impact Fee, any person ~~or entity~~ who has paid the fee and wishes to challenge the fee shall file:
 - a. ~~a written appeal with the City Hearing Examiner; Council by delivering a copy of such appeal with the City Manager setting forth in detail all grounds for the appeal and all facts relied upon by the appealing party with respect to the fee being appealed.~~
 - b. A request for arbitration;
 - a-c. an action in district court.
5. The written appeal shall be delivered to the City manager and shall set forth in detail all grounds for the appeal and all facts relied upon by the appealing party with respect to the fee being appealed.
 - b-a. Upon receipt of an appeal, the City ~~Council~~ Hearing Examiner shall thereafter schedule a ~~public hearing on the appeal at which time and shall consider~~ all interested persons will be given an opportunity to be heard. ~~evidence presented by the appellant, as well as all evidence presented by staff.~~ The City ~~Council~~ Hearing Examiner shall schedule the appeal hearing and thereafter render its written findings of fact, conclusions of law, and decision on the appeal no later than thirty days after the challenge to the impact fee is filed.
 - e. ~~Any person or entity who has failed to comply with the administrative appeal remedies established by this Section may not file or join an action challenging the validity of any Impact Fee.~~
 - d-b. Within ninety days of a decision upholding an Impact Fee by the City ~~Council~~ Hearing Examiner or within 120 days after the date the challenge to the impact fee was filed, whichever is earlier, ~~any party~~ the person who filed to the appeal ~~who is adversely affected by the City Council's decision~~ may petition the Fourth Judicial District Court for Utah County for review of the Hearing Examiner's decision. In the event of a petition to the Fourth Judicial District Court, the City shall transmit to the reviewing court the record of its proceedings including its

minutes, findings, orders and, if available, a true and correct transcript of its proceedings.

- i. If the proceeding was tape recorded, a transcript of that tape recording is a true and correct transcript for purposes of this Subsection.
- ii. If there is an adequate record, ~~the~~:
 - A. ~~the~~ court's review is limited to the record provided by the City; and
 - B. ~~the~~ court may not accept or consider any evidence outside the City's record unless that evidence was offered to the City Council Hearing Examiner and the court determines that it was improperly excluded by the City Council Hearing Examiner.
- iii. If there is an inadequate record, the court may call witnesses and take evidence.
- iv. The court shall affirm the decision of the City Council if the decision is supported by substantial evidence ~~in the record~~.
 - v. ~~The judge may award reasonable attorneys' fees and costs to the prevailing party in any action brought under this Section.~~

6. If the request is for arbitration, both the City and the person requesting arbitration shall comply with UCA § 11.36a.705.

7. Within thirty days after paying an Impact Fee, the state, a school district or a charter school may alternatively submit a written request for mediation to the City Manager.

a. Both the City and the specified public agency shall comply with UCA §11-36a-704.

(Ord. 14-19; Ord. 11-9; Ord. 05-3; Ord. 00-0713-01; Ord. 99-0413-1)

7.05.1109. Severability.

If any section, subsection, sentence, clause, or portion of this Chapter is, for any reason, held to be invalid or unconstitutional by a court of competent jurisdiction, the remainder of this Chapter shall not be affected thereby and shall remain in effect and be enforced to the extent permitted by law.

(Ord. 14-19; Ord. 11-9; Ord. 05-3; Ord. 00-0713-01)

SECTION III – AMENDMENT OF CONFLICTING ORDINANCES

If any ordinance, resolution, policy or map of the City heretofore adopted is inconsistent herewith it is hereby amended to comply with the provisions hereof. If it cannot be amended to comply with the provisions hereof, the inconsistent provision is hereby repealed.

SECTION IV – EFFECTIVE DATE

This ordinance shall take effect upon publication and 90 days after its passage by a majority vote of the Saratoga Springs City Council.

SECTION V – SEVERABILITY

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such provision shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions of this ordinance.

SECTION VI – PUBLIC NOTICE

The Saratoga Springs City Recorder is hereby ordered, in accordance with the requirements of Utah Code §§ 10-3-710—711, to:

- a. deposit a copy of this ordinance in the office of the City Recorder; and
- b. publish a short summary of this ordinance for at least one publication in a newspaper of general circulation in the City.

ADOPTED AND PASSED by the City Council of the City of Saratoga Springs, Utah, this ___ day of _____, 2014.

Signed: _____
Jim Miller, Mayor

Attest: _____
Lori Yates, City Recorder

Date

VOTE

Shellie Baertsch	_____
Rebecca Call	_____
Michael McOmber	_____
Bud Poduska	_____
Stephen Willden	_____



City of Saratoga Springs

Sewer Capital Facilities Plan

Project No. 305-11-01

Prepared by:



Bowen Collins
& Associates, Inc.
CONSULTING ENGINEERS

May 2014

Saratoga Springs Sewer Capital Facilities Plan

Prepared for:

CITY OF



SARATOGA SPRINGS

Prepared by:

Bowen, Collins & Associates
154 East 14000 South
Draper, UT 84020



Bowen Collins
& Associates, Inc.
CONSULTING ENGINEERS



May 2014

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EXECUTIVE SUMMARY IMPACT FEE FACILITIES PLAN

INTRODUCTION

The City of Saratoga Springs retained Bowen Collins & Associates (BC&A) to prepare a wastewater impact fee facilities plan following the requirements of Section 11-36a of Utah code. The primary purpose of this plan is to summarize the cost of projects needed to meet existing and future users' needs for the City's wastewater collection system and to identify those improvements that qualify to be used in the calculation of impact fees.

PROJECTED WASTEWATER SYSTEM GROWTH

To assemble and calibrate a hydraulic model of the City's wastewater collection system, it is necessary to project how wastewater flows will increase in the future. Based on the projected growth and development expected in the City, the projected sewer production for the City is summarized in Table ES-1.

**Table ES-1
Population and Design Sewer Flow Projections**

Year	ERCs	Design Sewer Flow (mgd)
2012	5,059	1.29
2013	5,430	1.38
2014	5,812	1.48
2015	6,194	1.58
2016	6,576	1.68
2017	7,377	1.88
2018	7,986	2.04
2019	8,671	2.21
2020	9,541	2.43
2021	10,207	2.60
2022	10,877	2.77

EVALUATION CRITERIA AND LEVEL OF SERVICE

In evaluating the performance of the collection system, it is necessary to first define the required level of service for the various components of the system. The level of service used to evaluate system needs is the same for both existing and future customers and is summarized in Table ES-2.

**Table ES-2
Evaluation Criteria for System Level of Service**

Criteria	Value
Design Sewer Flow Allowance per ERC including I&I (gpd)	255
Design Flow Peaking Factor	2.5
Maximum Allowable Depth to Diameter Ratio for Peak Flow conditions	0.80
Maximum Velocity in Force Mains (ft/sec)	7.0
Maximum Distance Between Force Main Cleanouts (ft)	1,200
Maximum Allowable Peak Flow to Pump Capacity Ratio at Lift Stations	0.85
Maximum Cycles Per Hour at Lift Station (as a result of wet well volume)	6

RECOMMENDED SYSTEM IMPROVEMENTS

The City can be separated into two service areas, a south area (currently served by the Inlet Park Lift Station), and a north area (currently served by the Posey Lift Station). Projects for each service area required in the next 10 years to satisfy level of service standards as defined above are summarized in Tables ES-3 and ES-4. To satisfy the requirements of state law, the tables also provide a breakdown of the capital facility projects and the percentage of the project costs attributed to existing and future users. It will be noted that a few projects have been included in both tables because they benefit both service areas. For these projects, total costs have been divided between the two service areas based on the projected growth within the planning window.

**Table ES-3
Impact Fee Facilities Plan, South Service Area - Costs Required for Future Growth**

Project No.	Year of Project (FYE)	Project Description	Estimated Total Cost	Percent to Existing	Percent to 10-year Growth	Percent to Growth Beyond 10 Years	Cost to Existing	Cost to 10-year Growth	Cost to Growth Beyond 10 Years
SS-S1.1	2014	River Crossing Phase 1, Alignment & Preliminary Design Study*	\$49,154	7.9%	9.5%	82.6%	\$3,874	\$4,691	\$40,588
SS-S1.2	2018	River Crossing Trunk Phase 2, Bridge or Siphon*	\$565,760	7.9%	9.5%	82.6%	\$44,590	\$53,999	\$467,171
SS-S1.3	2018	River Crossing Trunk Phase 3, Outfall*	\$1,801,486	7.9%	9.5%	82.6%	\$141,984	\$171,942	\$1,487,561
SS-S2.1	2014	Inlet Park Trunk Phase 1, Near Lift Station	\$1,399,000	0.0%	16.2%	83.8%	\$0	\$227,132	\$1,171,868
SS-S2.2	2015	Inlet Park Trunk Phase 2, Golf Course Main	\$1,654,000	12.6%	12.9%	74.5%	\$208,218	\$213,386	\$1,232,397
SS-L1	2015	Lift Station 1 Pump Upgrade	\$300,000	0.0%	11.9%	88.1%	\$0	\$35,644	\$264,356
SS-S4.1	2022	700 South Trunk –First Half	\$4,650,600	0.0%	2.0%	98.0%	\$0	\$92,528	\$4,558,072
Totals			\$10,420,000				\$398,665	\$799,321	\$9,222,014

*Where indicated, projects benefit both south and north service areas. Project costs divided based on projected growth in each area during the planning window.

**Table ES-4
Impact Fee Facilities Plan, North Service Area - Costs Required for Future Growth**

Project No.	Year of Project (FYE)	Project Description	Estimated Total Cost	Percent to Existing	Percent to 10-year Growth	Percent to Growth Beyond 10 Years	Cost to Existing	Cost to 10-year Growth	Cost to Growth Beyond 10 Years
SS-S1.1	2014	River Crossing Phase 1, Alignment & Preliminary Design Study*	\$50,846	7.9%	9.5%	82.6%	\$4,007	\$4,853	\$41,986
SS-S1.2	2018	River Crossing Trunk Phase 2, Bridge or Siphon*	\$585,240	7.9%	9.5%	82.6%	\$46,126	\$55,858	\$483,257
SS-S1.3	2018	River Crossing Trunk Phase 3, Outfall*	\$1,863,514	7.9%	9.5%	82.6%	\$146,872	\$177,862	\$1,538,780
SS-N1	2018	North Trunk	\$9,546,000	9.6%	7.2%	83.3%	\$912,945	\$683,841	\$7,949,215
SS-N2	2020	200 West Trunk	\$2,351,000	0.0%	3.1%	96.9%	\$0	\$72,824	\$2,278,176
Totals			\$14,396,600				\$1,109,950	\$995,237	\$12,291,413

*Where indicated, projects benefit both south and north service areas. Project costs divided based on projected growth in each area during the planning window.

EXISTING CAPACITY AVAILABLE TO SERVE NEW GROWTH

In addition to using capacity in the new projects contained in the impact fee facility plan, future growth will also utilize a portion of excess capacity in existing facilities. To calculate the percentage of existing capacity to be used by future growth, BC&A examined the model results in each facility paid for by the City. The calculated percentage of existing capacity used by growth during the 10 year planning window in facilities paid for by the City is as shown in Tables ES-5 and ES-6 below. Table ES-5 includes facilities paid for directly by the City. In addition to these facilities, the City has also recently paid for the remaining capacity in some facilities constructed by developers that have historically been subject to a pioneering agreement. Table ES-6 includes the future capacity to be used in association with these recent reimbursement agreements.

Table ES-5
Existing Facility Capacity Used by Growth

Project ID	Project Description	Percent to Existing	Percent to 10-year Growth	Percent to Growth Beyond 10 Years
SAR.016	Inlet Park Sewer Force Main	27.4%	26.8%	45.9%
SAR.017	Inlet Park Lift Station	58.1%	41.9%	0.0%
SAR.019	Sewer Line between 6800 North (400 South) and Entrance to SSD	25.7%	25.1%	49.2%
SAR.104	Smiths Sewer Outfall*	9.3%	40.1%	50.6%
SAR.126	Inlet Park Lift Station Upgrade	58.1%	41.9%	0.0%
SAR.151A	Extend Posey Force Mains to TSSD	68.5%	31.5%	0.0%
SAR.151B	Posey Lift Station Upgrade	68.5%	31.5%	0.0%
SAR.207	Harbor Bay Park Lift Station Upgrade	11.9%	5.3%	82.8%
SAR.266	TSSD Meter Station	8.8%	8.7%	82.6%

*For components with multiple facilities, a weighted average was developed of available capacity used by future growth.

Table ES-6
Reimbursement Agreement Capacity Used by Growth

Project ID	Project Description	Percent to 10-year Growth	Percent to Growth Beyond 10 Years
RA.1	Inlet Park SSD Reimbursement Agreement*	66.7%	33.3%
RA.2	Inlet Park Lakeview Reimbursement Agreement*	23.6%	76.4%

*For components with multiple facilities, a weighted average was developed of available capacity used by future growth.

CHAPTER 1 INTRODUCTION AND BACKGROUND

INTRODUCTION

The City of Saratoga Springs has retained Bowen Collins & Associates (BC&A) to prepare a capital facilities plan for the City's wastewater collection system. The primary purpose of this Sewer Capital Facilities Plan is to provide recommended improvements to resolve existing and projected future deficiencies in the City of Saratoga Springs wastewater collection system based on the City's adopted General Plan. As part of this process, this report will also include an Impact Fee Facilities Plan following the requirements of Section 11-36a of Utah code.

SCOPE OF SERVICES

The general scope of this project involved a thorough analysis of the City of Saratoga Spring's sewer system and its ability to meet the present and future wastewater needs of its residents. As part of this project, BC&A completed the following tasks:

- Task 1:** Updated existing and future sewer service requirements based on Saratoga Springs growth, its General Plan, and projected growth patterns.
- Task 2:** Used a calibrated hydraulic sewer model to simulate operation of existing facilities under current development conditions.
- Task 3:** Used the hydraulic sewer model to simulate operation of facilities with recommended improvements under changes to projected future conditions to identify the impacts of future development on sewer facilities.
- Task 4:** Used the hydraulic sewer model to evaluate alternative improvements that would resolve the system deficiencies identified in Tasks 2 and 3.
- Task 5:** Prepared a capital facility plan report to document the analytical procedures used in completing the study and summarize the conclusions reached.
- Task 6:** Developed an impact fee facilities plan for City budgeting and planning purposes.
- Task 8:** Conducted progress and coordination meetings as required to keep City staff involved and informed of progress and activities.

This document is a working document. Some of the recommended improvements identified in this report are based on the assumption that development and/or potential annexation will occur in a certain manner. If future growth or development patterns change significantly from those assumed and documented in this report, the recommendations may need to be revised.

AUTHORIZATION

Saratoga Springs contracted the services of BC&A to prepare this Sanitary Sewer System Capital Facilities Plan in November of 2011. The initial draft facility plan study and associated report were completed December 2012. The final plan was completed in May 2014.

IMPACT FEE FACILITIES PLAN CERTIFICATION

The analysis contained in this report has been prepared based on growth and system information provided by the City of Saratoga Springs. Based on the data and growth assumptions provided and assuming the City follows the improvement plan outlined in this report, BC&A certifies that, to the best of our knowledge and in accordance with Section 11-36a-306, this impact fee facilities plan:

1. Includes only the costs for qualifying public facilities that are:
 - a. allowed under the Impact Fees Act; and
 - b. actually incurred; or
 - c. projected to be incurred or encumbered within six years after the day on which each impact fee is paid;
2. Does not include:
 - a. costs for operation or maintenance of public facilities;
 - b. costs for qualifying public facilities that will raise the level of service for the facilities through impact fees, above the level of service that is supported by existing residents;
 - c. an expense for overhead, unless the expense is calculated pursuant to a methodology that is consistent with generally accepted cost accounting practices and the methodological standards set forth by the federal Office of Management and Budget for federal grant reimbursement; and
3. Complies in every other relevant respect with the Impact Fees Act.


 By Keith J. Larson

PROJECT STAFF

The project work was performed by the BC&A team members listed below. Team member's roles on the project are also listed. The project was completed in BC&A's Draper, Utah office. Questions may be addressed to Keith Larson, Project Manager at (801) 495-2224.

Jason Luettinger	Principal-In-Charge
Keith Larson	Project Manager
Andrew McKinnon	Project Engineer
Angela Hansen	Word Processing

CHAPTER 2 EXISTING SYSTEM DESCRIPTION

SERVICE AREA

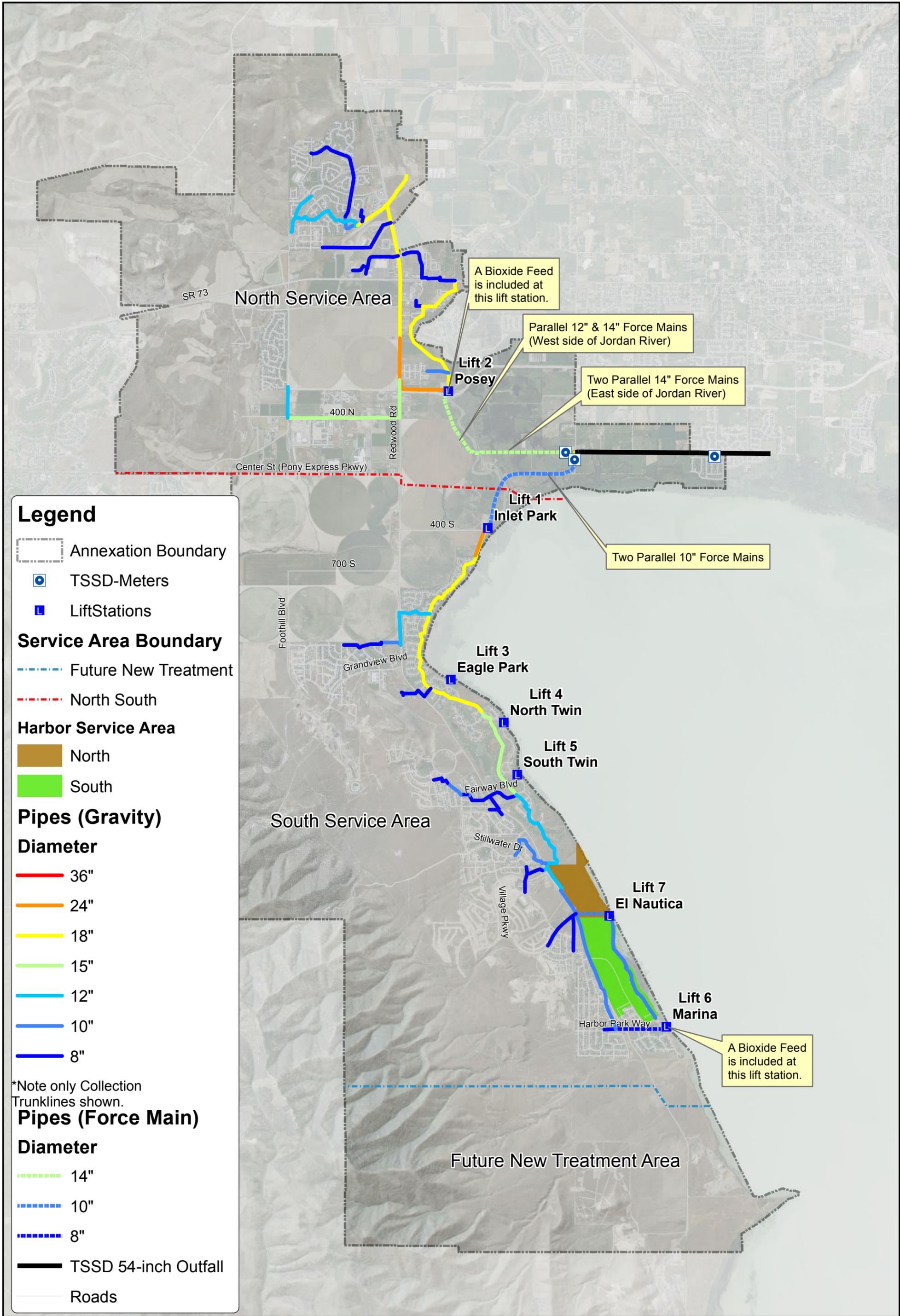
The City of Saratoga Springs, which first incorporated in 1997, is bounded to the west by the Lake Mountains and Eagle Mountain City and to the east and northeast by Utah Lake and Lehi City. Figure 2-1 shows the approximate planning extent of Saratoga Springs along with the City's major collection system components. The topography of the majority of the City slopes west to east toward either Utah Lake or the Jordan River. For the purposes of this report, it has been assumed that the future service area of the City's wastewater collection system will be limited to the annexation boundaries of the City as shown in Figure 2-1.

For the purpose of impact fees, the City's overall service area has been divided into three major impact fee areas (with two additional subareas). These impact fee areas are shown in Figure 2-1, and they include the following:

- North Service Area – Through the middle of the City is a major sewer trunk line owned by Eagle Mountain. The size and depth of this trunk line effectively blocks Saratoga Springs sewer drainage facilities from moving from one side of the City to the other. As a result, the City essentially operates two separate systems until their combination point at the TSSD outfall at the east end of the City. The north portion of this area will be identified in this report as the North Service Area.
- South Service Area – Most of the area south of the Eagle Mountain trunk line has been identified as the South Service Area. Within this area are two subareas that must be considered for impact fee purposes. This includes the North and South Benefited Areas of the Harbor Bay Lift Station. These areas are functionally part of the South Service area but include additional reimbursement agreements that affect development that falls within the areas. A detailed figure identifying these subareas and their associated facilities has been included in the appendix of this report.
- Future Treatment Service Area – As part of previous master plans, it was decided that the City collection system would only extend to the south as far as the service area of the Marina Lift station. All areas to the south of this boundary will be served by a future treatment plant. As a result, development in this service area will be exempt from impact fees, but will need to develop plans for conveyance and treatment on its own.

EXISTING FACILITIES

Saratoga Springs was incorporated in December of 1997. As a relatively new City, much of its existing infrastructure was built by developers as part of individual developments. This infrastructure was then turned over to the City as the developments were incorporated into the City. Because of how the system was constructed, much of the sewer collection infrastructure currently owned by the City still has obligations to be paid to the developer who built the infrastructure as new development connects to the facilities. These obligations, referred to as



Legend

- Annexation Boundary
- TSSD-Meters
- Lift Stations

Service Area Boundary

- Future New Treatment
- North South

Harbor Service Area

- North
- South

Pipes (Gravity)

Diameter

- 36"
- 24"
- 18"
- 15"
- 12"
- 10"
- 8"

*Note only Collection Trunklines shown.

Pipes (Force Main)

Diameter

- 14"
- 10"
- 8"
- TSSD 54-inch Outfall
- Roads

P:\Saratoga Springs\2011 Capital and Impact Fee Facilities Plans\4.0 GIS\4.1 Projects\SewerMaps\Figure 2-1 - Existing Facilities.mxd amckinnon 1/15/2014

pioneering agreements, will need to be considered in detail as part of the impact fee analysis prepared for the sewer collection system.

LIFT STATIONS

The City's entire sewer production is treated at the Timpanogos Wastewater Treatment Plant (WWTP), which is owned by the Timpanogos Special Services District (TSSD). This plant is located near the northeast corner of Utah Lake at a slightly higher elevation than the shoreline of the lake that runs the length of much of the City. As a result, much of the City's service area must be pumped to gravity pipelines that flow to the treatment plant.

The Posey Lift Station collects flow from the north end of the City while the Inlet Park Lift Station collects flow from the south end. Both of these lift stations pump through force mains to discharge into a TSSD 54-inch main at approximately 7350 North 9550 West (Lehi City address system). There are five other smaller lift stations that discharge into the City's Inlet Park sewer trunk main. This trunk begins at Harbor Park Way and Redwood Road and flows north to the Inlet Park Lift Station. Table 2-1 summarizes some of the characteristics of each lift station. Lift station capacity is based on the reliable capacity of each station. Reliable capacity is defined as the capacity with one pump out of service (e.g. for a pump station with three pumps, reliable capacity is the capacity of two pumps running with one standby).

**Table 2-1
Existing Public Lift Stations**

Lift Station	Address ^a	Impeller Size	Wet Well Volume ^c (gallons)	Pump Count & Motor Size (HP)	Design Flow (gpm)	Design Head (ft)
1 – Inlet Park	400 S. Saratoga Rd	14"	4,600	3 – 40	1,600 ^b	68
2 – Posey	Pioneer Crossing, Jordan River	15"	5,200	3 ^d – 50	2,000 ^b	83
3 – Eagle Park	1448 S. Cottonwood Lane	4"	2,500	2 ^d – 7 ½	110	N/A
4 – North Twin	1800 S. Centennial Blvd	4"	2,500	2 – 7 ½	110	N/A
5 – South Twin	2170 S. Centennial Blvd	4"	2,500	2 – 7 ½	110	N/A
6 – Marina	275 E. Cascade Court	4"	2,500	2 ^d – 25	350	140
7 – El Nautica	100 W. 3000 S. (Harbor Bay)	6"	3,500	3 – 20	550 ^b	140

^a Addresses are approximate

^b Estimated capacity with two pumps running

^c Values shown represent approx. effective wet well volume based on as-built drawings and wet well level settings

^d Lift stations indicated include provisions to add an additional pump on the existing manifold

All of the City's lift stations are connected to the City's SCADA system. The SCADA system currently provides real time data collection at each station for items such as pump status and wet well level. The SCADA does not yet include the capability for remote operation, but the City plans to add this in the future. The planned collection areas for each of the smaller lift stations (Lift Stations 3 through 7) have been delineated and are included in this report in the appendix.

COLLECTION SYSTEM

Table 2-2 lists the recorded length of pipe in the City's collection system as documented in the City's geographic database as of December 2011.

**Table 2-2
Saratoga Springs Collection System Pipe Lengths**

Gravity Mains		
Diameter (in)	Length (ft)	Length (mi)
4	982	0.19
6	3,482	0.66
8	119,424	22.62
10	5,592	1.06
12	9,480	1.80
14	8,243	1.56
15	3,174	0.60
18	11,652	2.21
24	1,542	0.29
36	59	0.01
54	9,247	1.75
Total	172,877	32.74
Pressure Force Mains		
4	982	0.19
6	3,482	0.66
8	2,499	0.47
10	12,685	2.40
14	8,243	1.56
Total	27,891	5.28
Total All Pipes	200,768	38.02

It should be noted that because of the rapid growth in the City, there are some portions of the existing collection system that have not yet been inventoried as part of the City's geographic database. The City is currently in the process of collecting data to complete the inventory of its sewer manholes and sewer mains as part of its asset management program. As it moves forward, the City is also requiring developers to submit manhole and sewer main data in a compatible geographic database and format to aid in the collection of asset management data. It should be emphasized that those areas with missing manhole and pipeline data consist strictly of smaller diameter collection piping for individual project level improvements. As a result, none of the data remaining to be collected is necessary for the completion of this study. All the data required to evaluate larger diameter system level improvements is included in the City's geographic database.

METERING STATIONS

At the downstream end of the collection system, the City's sewer flow is metered before being discharged into TSSD's 54-inch trunk line. Table 2-3 summarizes the characteristics of the three existing metering stations serving the City. All of these metering stations are owned and operated by TSSD.

Table 2-3
TSSD Sewer Metering Stations for Sarasota Springs

Meter Station	Address	Size	Count	Type
Inlet Park	145 North Sarasota Road	10"	2	Electromagnetic
Posey	145 North Sarasota Road	14"	2	Electromagnetic
Loch Lomond	575 W 145 North	10"	1	Radar

TREATMENT

All of the City's wastewater is treated at the Timpanogos Wastewater Treatment Plant (WTP). TSSD is responsible for all capacity and treatment requirements from the discharge point of the Posey and Inlet Park lift stations and the TSSD's WTP. However, Sarasota Springs does operate and maintain Bioxide feed systems at the Posey and Marina lift stations.

Bioxide Feed Systems

To mitigate the corrosion and odor concerns, the City implemented bioxide treatment in coordination with TSSD in 2008. This consisted of working with Siemens Water Technologies to design and implement a Bioxide storage and feed system to minimize the production of hydrogen sulfide in the wastewater at the Posey and Marina lift stations. Each Bioxide tank is equipped with two pumps, one that provides a continuous feed and another that is on a timer providing increased dosing during peak flows. Table 2-4 provides the current dosing rates and the data provided by TSSD on measured hydrogen sulfide levels.

**Table 2-4
Saratoga Springs Bioxide Feed Systems**

	Bioxide Tank Volume	Siemens Recommended Bioxide Dosing	Measured Bioxide Dosing 6-5-2012	Low TSSD measured H₂S gas	High TSSD measured H₂S gas	Target H₂S levels
<i>Posey Lift Station</i>	4,500 gal	48 gal/day	45 - 49 gal/day	11 ppm	76 ppm	4 ppm
<i>Marina Lift Station</i>	6,000 gal	96 gal/day	91 - 97 gal/day	4 ppm	20 ppm	4 ppm

Three additional strategies are being implemented to address TSSD's concerns and to provide better data to the City so that the hydrogen sulfide issue can be better managed in the future:

1. An odor logger was purchased so that hydrogen sulfide levels at various locations in the system can be monitored and Bioxide levels adjusted accordingly to maintain reduced levels of gas.
2. A fresh water source will be provided at Posey so that one of the force mains can be filled with water and shut down, eliminating the need to switch lines and preventing clogging in the inactive line. There is an 18-inch culinary line about 50 feet north of the property and easements will be needed to extend a lateral to the lift station property. Currently the force mains are switched approximately every 3 months.
3. The type of Bioxide has been switched from ammoniated Bioxide (Bioxide-AQ) to chlorinated Bioxide (Bioxide-71). Siemens has informed the City that the chlorinated Bioxide will not only help reduce grease build up in the system, but will also provide a more immediate reduction in sulfide gas and will be effective at lower dosing.

CHAPTER 3 PROJECTED WASTEWATER SYSTEM GROWTH

In order to do any kind of future planning, it is necessary to project wastewater flows increases in the future. The purpose of this chapter is to project future wastewater flows associated with City growth.

EQUIVALENT RESIDENTIAL CONNECTIONS

Existing development in Saratoga Springs was quantified using an Equivalent Residential Connection (ERC). ERC's are a way to provide a common unit of measurement with which to combine residential and non-residential development to provide a development total for the City.

Residential development is generally assigned a value of one ERC for every dwelling unit. For non-residential development, the City assigns an ERC value based on a fixture count that is performed at the issuance of the Building Permit. The fixture count is based on the International Plumbing Code (IPC). Each fixture type is assigned a load value in water supply fixture units (wsfu). For example, a kitchen sink has a load factor of 1.4 wsfu based on how much water is used at a kitchen sink. A typical residential toilet has a load factor of 2.2 wsfu because a toilet uses more water than a kitchen sink. Once all the fixtures are identified, all the fixture units are added together for a total fixture unit count. The City also uses the IPC as the plumbing standard used for plan reviews and building inspections. The IPC fixture count method is used to size the water meter and sewer lateral.

For the evaluation of future growth, it has been assumed that the City will continue to use the IPC fixture unit count method to calculate ERCs. Based on historic City practice, a ¾-inch water meter is the minimum size allowed for a residential connection and all connections are considered to be at least one ERC. The maximum fixture count allowed for a ¾-inch residential water meter is 40. For fixture counts greater than 40, a larger meter will be required and a larger value of ERCs will be calculated. For example, a building with a fixture unit count of 87 would have an impact fee unit of 2.2 ($87/40 = 2.2$).

EXISTING DEVELOPMENT

At the beginning of 2012, the City's database had 5,059 ERC's. Of this, 4,865 of the total ERC's were associated with residential development, and 194 ERC's were associated with non-residential development. For the same period, the US Census Bureau estimated the population of the City to be 21,137 for an average household size of 4.34 people.

GROWTH PROJECTIONS

Growth projections for Saratoga Springs were made by evaluating the history of building permit issuance over the last decade as summarized in Table 3-1.

**Table 3-1
Building Permit History**

Year	Annual Residential Permits	Annual Growth
2000	169	63.10%
2001	483	110.50%
2002	369	40.10%
2003	437	33.90%
2004	383	22.20%
2005	656	31.10%
2006	658	23.80%
2007	489	14.30%
2008	193	4.90%
2009	186	4.50%
2010	232	5.40%
2011	464	10.30%

Saratoga experienced rapid growth at the beginning of 2000 followed by a cooling period from 2007 to 2010 with growth rebounding rapidly in the last few years. The City has conservatively projected growth for the near future with stronger growth occurring in about 6 years due to the projected development of the LDS Church property. Total growth projections for the City are summarized in Table 3-2.

**Table 3-2
Growth Projections**

Year	Total Projected ERCs	Annual Projected Growth Rate
2012	5,059	--
2013	5,430	7.33%
2014	5,812	7.03%
2015	6,194	6.57%
2016	6,576	6.17%
2017	7,377	12.18%
2018	7,986	8.26%
2019	8,671	8.58%
2020	9,541	10.03%
2021	10,207	6.98%
2022	10,877	6.56%

ESTIMATING EXISTING SEWER FLOWS

Utah Administrative Code R317-3-2 indicates that, “New sewer systems shall be designed on the basis of an annual average daily rate of flow of 100 gallons per capita per day (0.38 cubic meter per capita per day) unless there are data to indicate otherwise.” A review of available flow monitoring data for the system would indicate a lower design flow rate is merited.

Although the City is still relatively young, it has a record of discharge flow rates at its main sewer outfall that has been collected by Timpanogos Special Service District (TSSD) since the City’s inception. During the first several years of the City’s existence, metered flow results vary significantly from month to month and year to year. This is believed to be the result of meter inaccuracies at the connection points to TSSD. In 2008, however, new meters were installed and consistent results have been observed since that time. For the purposes of establishing historic sanitary sewer flow rates, BC&A examined available TSSD records of average monthly flow from 2009 to 2011. The results of this analysis are summarized in Table 3-3.

Table 3-3
Historic Saratoga Springs Sewer Flows

	Metered Flow to TSSD (mgd)			Flow/ERC (gpd)		
	2009	2010	2011	2009	2010	2011
Jan	0.714	0.821	0.922	172.8	190.6	205.4
Feb	0.758	0.768	0.733	182.5	178.0	162.5
Mar	0.658	0.714	0.773	157.7	165.2	170.6
Apr	0.885	0.776	0.842	211.0	179.1	184.9
May	0.804	0.906	0.736	190.8	208.7	160.9
Jun	0.763	0.968	1.102	180.2	222.7	239.7
Jul	1.087	1.110	1.147	255.4	254.8	248.3
Aug	0.982	0.957	1.092	230.2	218.6	234.6
Sep	0.803	0.933	0.856	187.9	212.0	182.4
Oct	0.891	0.843	0.863	208.1	190.6	182.5
Nov	0.714	0.735	0.960	166.4	165.4	201.5
Dec	0.742	0.806	0.923	172.6	180.5	192.2

As can be seen in the table, flow varies slightly from month to month with peak flows observed in the summer months and lower flows observed in the winter. To meet treatment and conveyance requirements, the system must be designed to meet peak flows in the system. Based on these results, the observed historic peak month flow in Saratoga Springs is 255 gpd/ERC.

Based on this analysis, it is recommended that the projected unit flow rate for planning be based on the historic flow rate of 255 gpd/ERC. Table 3-4 summarizes the projected wastewater flow in Saratoga Springs based on projected growth as identified above and historic flow rates. Included in the table are annual projections for the next 10 years.

Table 3-4
ERC and Design Sewer Flow Projections

Year	ERCs	Design Sewer Flow (mgd)
2012	5,059	1.29
2013	5,430	1.38
2014	5,812	1.48
2015	6,194	1.58
2016	6,576	1.68
2017	7,377	1.88
2018	7,986	2.04
2019	8,671	2.21
2020	9,541	2.43
2021	10,207	2.60
2022	10,877	2.77

CHAPTER 4 HYDRAULIC MODELING

The Saratoga Springs sanitary sewer system was evaluated as part of this study using a hydraulic modeling computer program. A hydraulic computer model is a mathematical representation of the pipes, manholes, pumps, and wastewater flows found in the sewer collection system. Hydraulic computer models are useful because they allow the user to simulate operation of large, complex sewer systems and consider how future changes in flow will affect those systems.

AUTODESK STORM AND SANITARY ANALYSIS

The computer modeling software used in this study was Autodesk's Storm and Sanitary Analysis (ASSA). ASSA was chosen as the computer modeling software because of ability to simulate the full profile of sewer flows under gravity, pressure, and surcharging conditions and its availability as an extension of Autodesk's Civil 3D (a software system commonly owned by many municipalities).

GEOMETRIC MODEL DEVELOPMENT

There are two major types of data required to create a hydraulic model of a sewer system: geometric data and flow data. Geometric data consists of all information in the model needed to represent the physical characteristics of the system.

Modeled Pipelines

For the purposes of this study, it was only necessary to include the City's primary conveyance trunk lines as part of the hydraulic model. These system level improvements include those pipelines that serve more than a single development project and are consequently eligible for inclusion in impact fee calculations. In the future, the City could consider adding smaller, project level collection mains to the hydraulic model for inventory purposes. However, the more refined the analysis becomes, the more time, effort, and expense are needed to assemble and calibrate the model. Hence, it is important to consider the required accuracy and available budget when selecting sewer lines to model.

The major sewer mains included in the hydraulic model were shown in Figure 2-1 (see Chapter 2). The final selection of sewer lines included in this model was reviewed and approved by Saratoga Springs personnel.

Information on the physical characteristics of the pipes included in the model were collected and assembled by Saratoga Springs personnel. A basic framework for the model was developed using Saratoga Springs geographic information system (GIS) records. The City's GIS database included information on the diameter, length, and location of each pipe to be included in the model. Manhole rim elevations were collected by City survey crew. Inverts were based on measure downs collected by wastewater collection personnel.

Modeled Lift Stations

The four largest lift stations in the Saratoga Springs collection system were simulated as part of the hydraulic model. This includes the Posey, Inlet Park, El Nautica, and Marina lift stations. The three remaining existing lift stations serve relatively small service areas that are nearly built-out. Instead of modeling these three individual pump stations, their discharge flows were simply assigned as an inflow at their corresponding discharge manholes. Details for existing lift station characteristics were summarized in Chapter 2.

In addition to these existing lift stations, it is expected that at least one more future lift station will be required to service developable areas not currently serviced by any existing lift station.

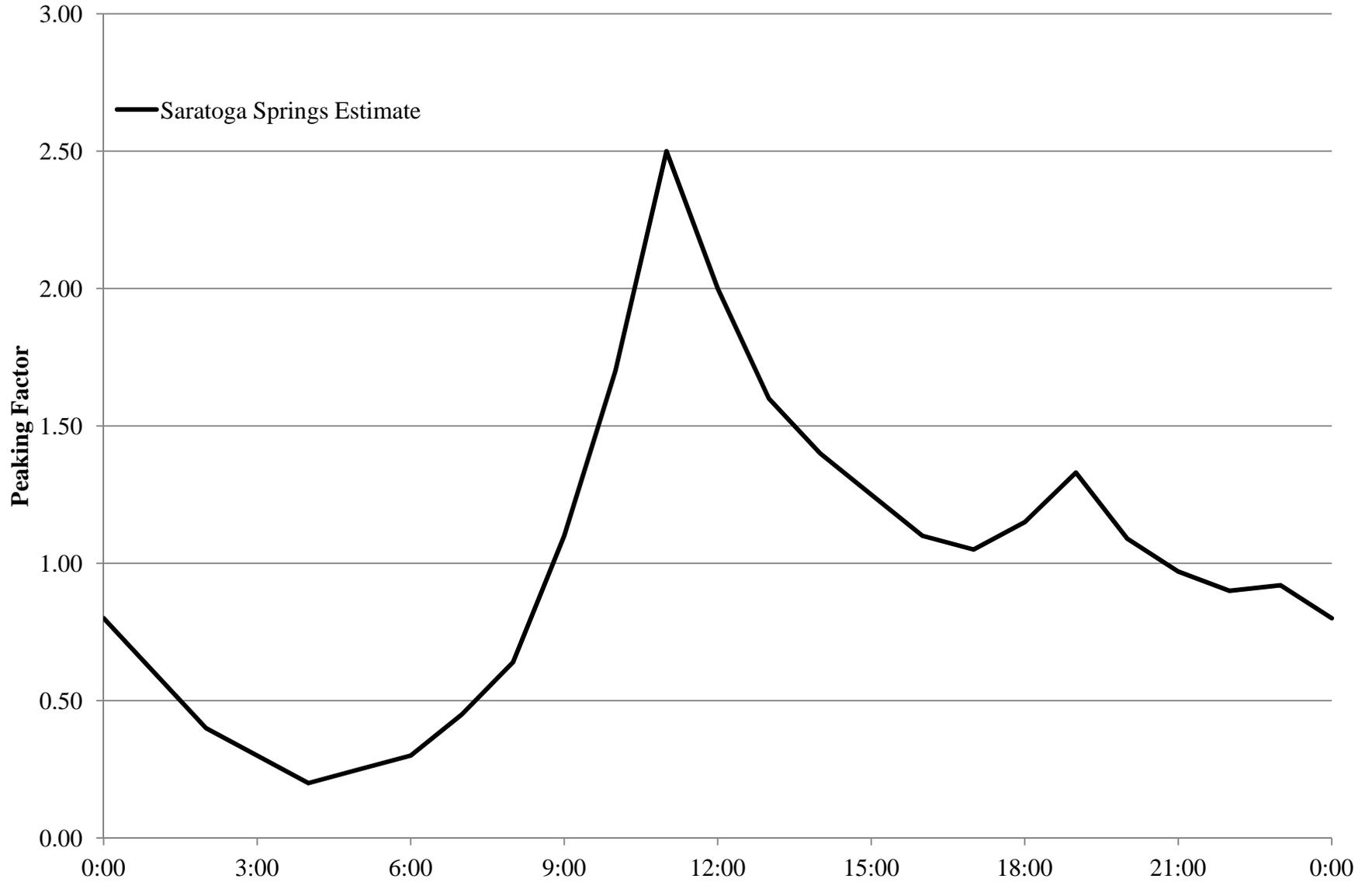
FLOW MODEL DEVELOPMENT

The second type of data required by the hydraulic model is sewer flow into the pipes being modeled. Required information includes magnitude of flow, point of entry into the system, and a description of how flow varies with time (to establish peak demand and consider the effects of flow travel time in the system).

Sewer flows for existing and future conditions were calculated based on projections of ERCs as estimated in the City's general plan and land use projections. Existing flows were distributed to the nearest manholes in the hydraulic model. Future flows were distributed into the collection system based on the nearest available collection lines or future collection lines that will be installed. The location of future pipes are indicated as part of the system improvements discussed in Chapter 6.

A distribution of flow over time was accomplished using a composite diurnal curve as shown in Figure 4-1. Table 4-1 summarizes the ratio of flow to average day flow over 24 hours. Because of limited historical data for the City, this diurnal pattern was assembled by BC&A based on flow monitoring conducted in similar municipalities in Utah County. It estimates the average effect of all development including residential, commercial, and industrial demands. The curve includes a maximum peaking factor of 2.5 to match the required peaking factor for interceptor and outfall sewers in State of Utah requirements.

Figure 4-1
Diurnal Patterns Applied to Hydraulic Model



**Table 4-1
Hydraulic Model Diurnal Pattern**

Hour	Ratio of Average Day Flow
0	0.80
1	0.60
2	0.40
3	0.30
4	0.20
5	0.25
6	0.30
7	0.45
8	0.64
9	1.10
10	1.70
11	2.50
12	2.00
13	1.60
14	1.40
15	1.25
16	1.10
17	1.05
18	1.15
19	1.33
20	1.09
21	0.97
22	0.90
23	0.92
24	0.80

CHAPTER 5 SYSTEM EVALUATION

With the development and calibration of a hydraulic sewer model, it is possible to simulate sewer system operating conditions for both present and future conditions. The purpose of this chapter is to evaluate hydraulic performance of the collection system and identify potential hydraulic deficiencies.

EVALUATION CRITERIA AND LEVEL OF SERVICE

In evaluating the performance of the collection system, it is necessary to first define the required level of service for the various components of the system. This level of service is the same for both existing and future customers:

Sewer Main Level of Service

Saratoga Springs Engineering Standards and Specifications (adopted May 2004) require that all sewer mains be designed such that the peak daily flow depth in the pipe is less than or equal to 80 percent of the pipe's diameter. This design standard will be used as the level of service for system evaluation. Note that the hydraulic capacity of a pipe at 80 percent full (depth to diameter) is nearly equal to the capacity of the pipe at 100 percent full (a phenomenon related to increased friction as the depth in the pipe increases beyond 80 percent).

Force Main Level of Service

Saratoga Springs Engineering Standards and Specifications require that lift station force mains should be designed such that peak velocity through the force main does not exceed 7 ft/sec. By eliminating excessive pipeline velocities, this standard optimizes pump efficiency, limits potential for hydraulic surge issues, and maximizes the life of the force main. It is also required that all force mains have a minimum diameter of 6 inches and that the maximum distance between clean outs along the pipeline be no greater than 1,200 feet. This is to facilitate cleaning of the force mains using the City's jet truck equipment (max reach of approximately 600 feet).

Lift Station Level of Service

Based on industry standards and good design practice, it is recommended that peak daily flow to a lift station not exceed 85 percent of the lift station's hydraulic pumping capacity. Allowing for a modest amount of capacity above projected flows accounts for unknowns associated with flow projections and mechanical wear at each lift station. The minimum design level of service for lift stations has correspondingly been established at 15 percent higher than estimated peak flows at build-out.

The minimum wet well volume for lift stations should be large enough to prevent excessive cycling of lift station pumps. Based on manufacture recommendations for pump operation, the maximum number of cycles per hour should be six or less. Exceeding this value will

significantly shorten the lifespan of the lift station pumps. The number of cycles that will occur at a lift station can be calculated using one of the following two equations:

$$\text{Equation 1: } V_{min} \geq \frac{60 \times Q_D (Q_P - Q_D)}{N \times Q_P} \quad \text{When } Q_D < 0.5 \times Q_P$$

$$\text{Equation 2: } V_{min} \geq \frac{15 \times Q_P}{N} \quad \text{When } Q_D \geq 0.5 \times Q_P$$

Where:

N – Maximum number of cycles per hour

Q_D – Peak design flow into the wet well

Q_P – Pump capacity out of wet well

Table 5-1 lists a summary of the evaluation criteria used in this capital facilities plan.

Table 5-1
Evaluation Criteria for System Level of Service

Criteria	Value
Design Sewer Flow Allowance per ERC including I&I (gpd)	255
Design Flow Peaking Factor	2.5
Maximum Allowable Depth to Diameter Ratio for Peak Flow conditions	0.80
Maximum Velocity in Force Mains (ft/sec)	7.0
Maximum Distance Between Force Main Cleanouts (ft)	1,200
Maximum Allowable Peak Flow to Pump Capacity Ratio at Lift Stations	0.85
Maximum Cycles Per Hour at Lift Station (as a result of wet well volume)	6

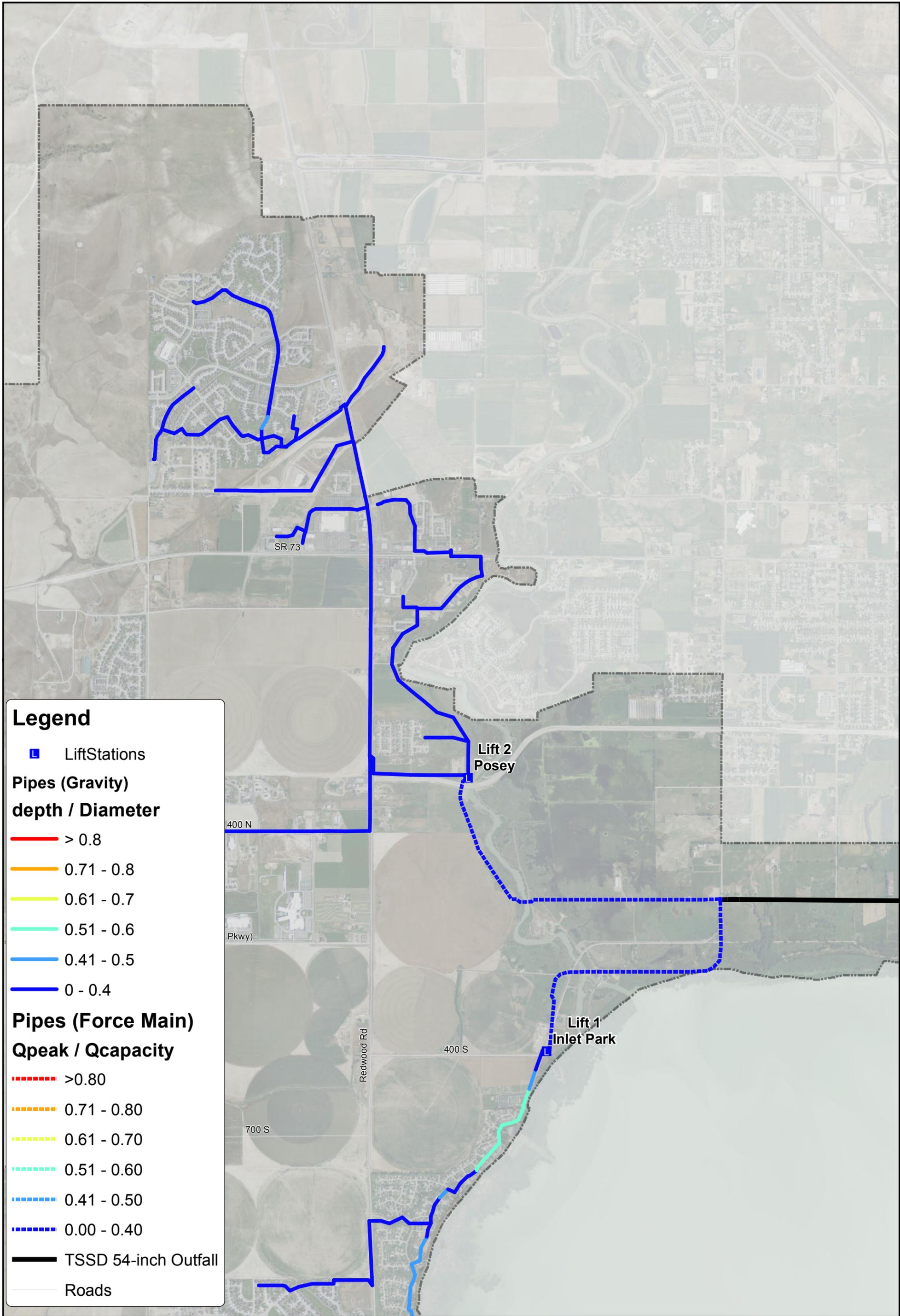
EXISTING COLLECTION SYSTEM ANALYSIS

Figures 5-1 and 5-2 show the performance of the sewer system under existing flow conditions. Pipes in the figures are color coded to show the ratio of peak flow depth in the pipe to the pipe's diameter. As can be seen in the figure, the existing collection system performs very well under current conditions. Based on the design flows defined above and the level of service adopted by the City, there no pipes that exceed the level of service adopted by the City.

All lift stations appear to have adequate capacity to convey peak flow under existing conditions. There are, however, some opportunities to optimize performance at a few of the lift stations through some projects as discussed in Chapter 6.

FUTURE COLLECTION SYSTEM ANALYSIS

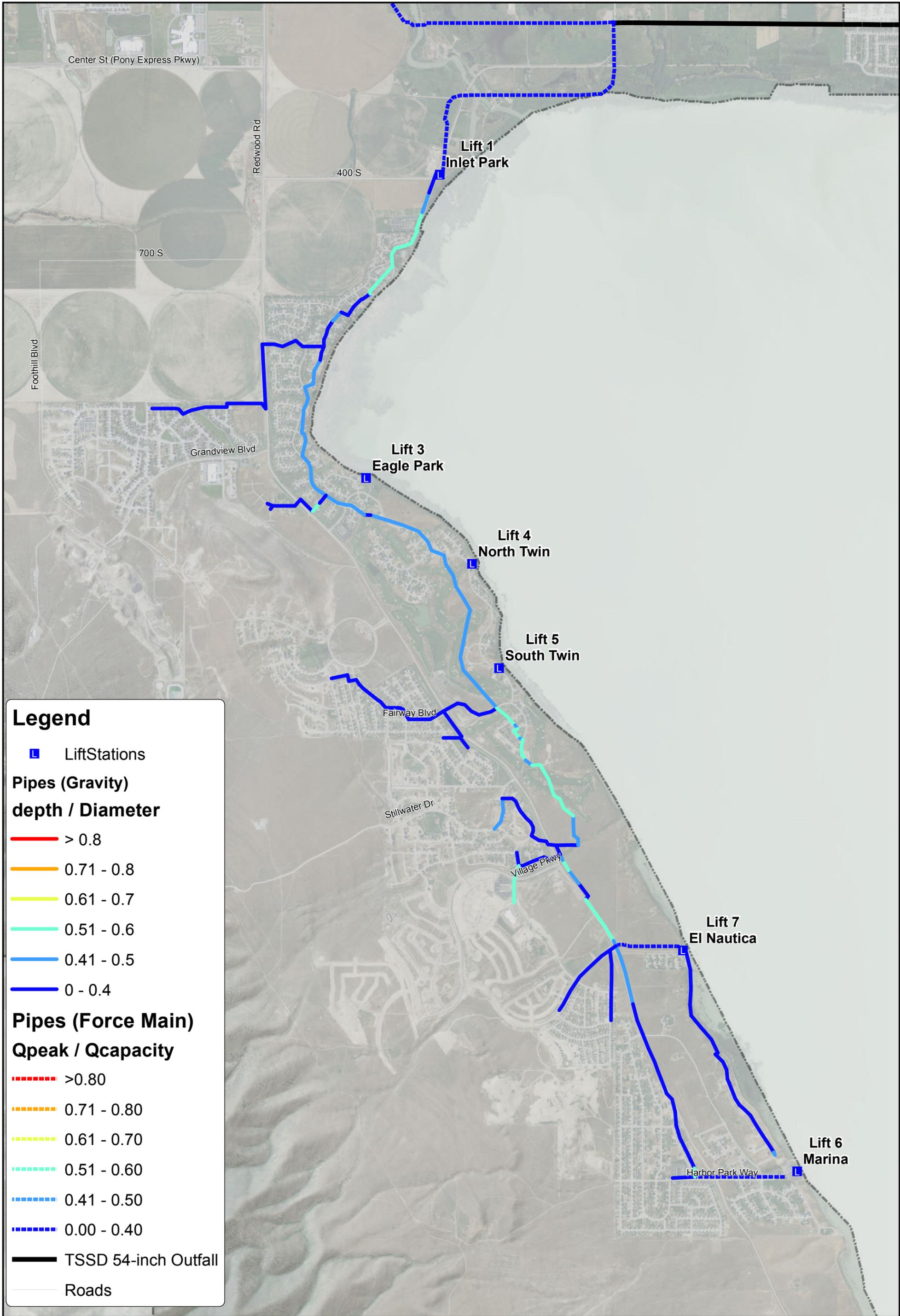
For allocating future resources in this analysis, Saratoga Springs identified the location and magnitude of likely growth in the City for each of the next 20 years and at full buildout. From these projections, BC&A developed short term (growth expected to occur in the next 6 to 10 years), intermediate term (growth expected to occur in the next 20 to 25 years), and long-term



Legend

- LiftStations
- Pipes (Gravity)**
depth / Diameter
- > 0.8
- 0.71 - 0.8
- 0.61 - 0.7
- 0.51 - 0.6
- 0.41 - 0.5
- 0 - 0.4
- Pipes (Force Main)**
Qpeak / Qcapacity
- - - >0.80
- - - 0.71 - 0.80
- - - 0.61 - 0.70
- - - 0.51 - 0.60
- - - 0.41 - 0.50
- - - 0.00 - 0.40
- TSSD 54-inch Outfall
- Roads

P:\Saratoga Springs\2011 Capital and Impact Fee Facilities Plans\4.0 GIS\4.1 Projects\SewerMaps\Figure 5-1 - Existing Deficiencies.mxd amckinnon 1/15/2014



Legend

Lift Stations

Pipes (Gravity)
depth / Diameter

- > 0.8
- 0.71 - 0.8
- 0.61 - 0.7
- 0.51 - 0.6
- 0.41 - 0.5
- 0 - 0.4

Pipes (Force Main)
Qpeak / Qcapacity

- >0.80
- 0.71 - 0.80
- 0.61 - 0.70
- 0.51 - 0.60
- 0.41 - 0.50
- 0.00 - 0.40

TSSD 54-inch Outfall

Roads

P:\Saratoga Springs\2011 Capital and Impact Fee Facilities Plans\4.0 GIS\4.1 Projects\SewerMaps\Figure 5-1 - Existing Deficiencies.mxd amckinnon 1/15/2014

(growth through buildout) collection system models. These models were used to calculate the effect of projected growth on the performance of the Saratoga Springs collection system.

Short Term Development Analysis

Figure 5-3 and 5-4 show the performance of the sewer system in the short term. These results represent the immediate needs of the system. As can be seen in the figures, most of the collection system in the City continues to perform well, even with the growth expected to occur in the short term. However, projected growth does result in a few pipelines in which design flows exceed level of service design standards. These pipes are primarily located along the Inlet Park sewer trunkline and include:

- Saratoga Drive, 800 S to 650 S – 18-inch sewer main
- Shirwood Drive – 12-inch sewer main

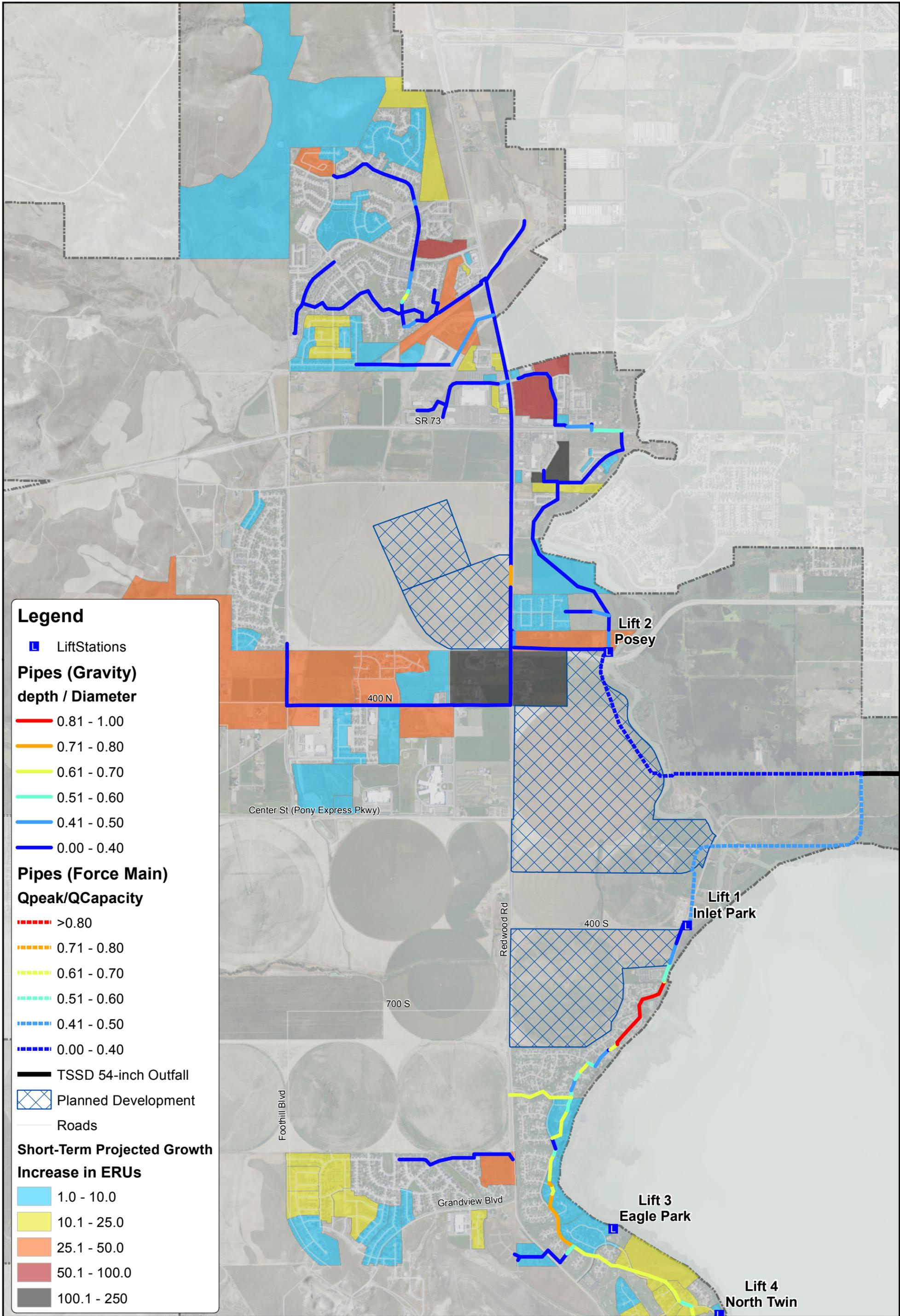
Projects to bring these pipelines up to the required level of service have been identified and described in Chapter 6.

Growth Beyond Short Term

With the additional future growth projected in Saratoga Springs, it is expected that a number of improvements will be required to meet buildout conditions in the City. Additional trunks will need to be constructed to new areas and some existing trunks will need to be replaced with larger diameter pipes. Because of the extent of the improvements required to meet growth beyond short-term conditions, discussion of these improvements has been divided into a separate section. Chapter 6 discusses conceptual improvements that will be needed to continue to serve growth in Saratoga Springs.

Lift Station Analysis

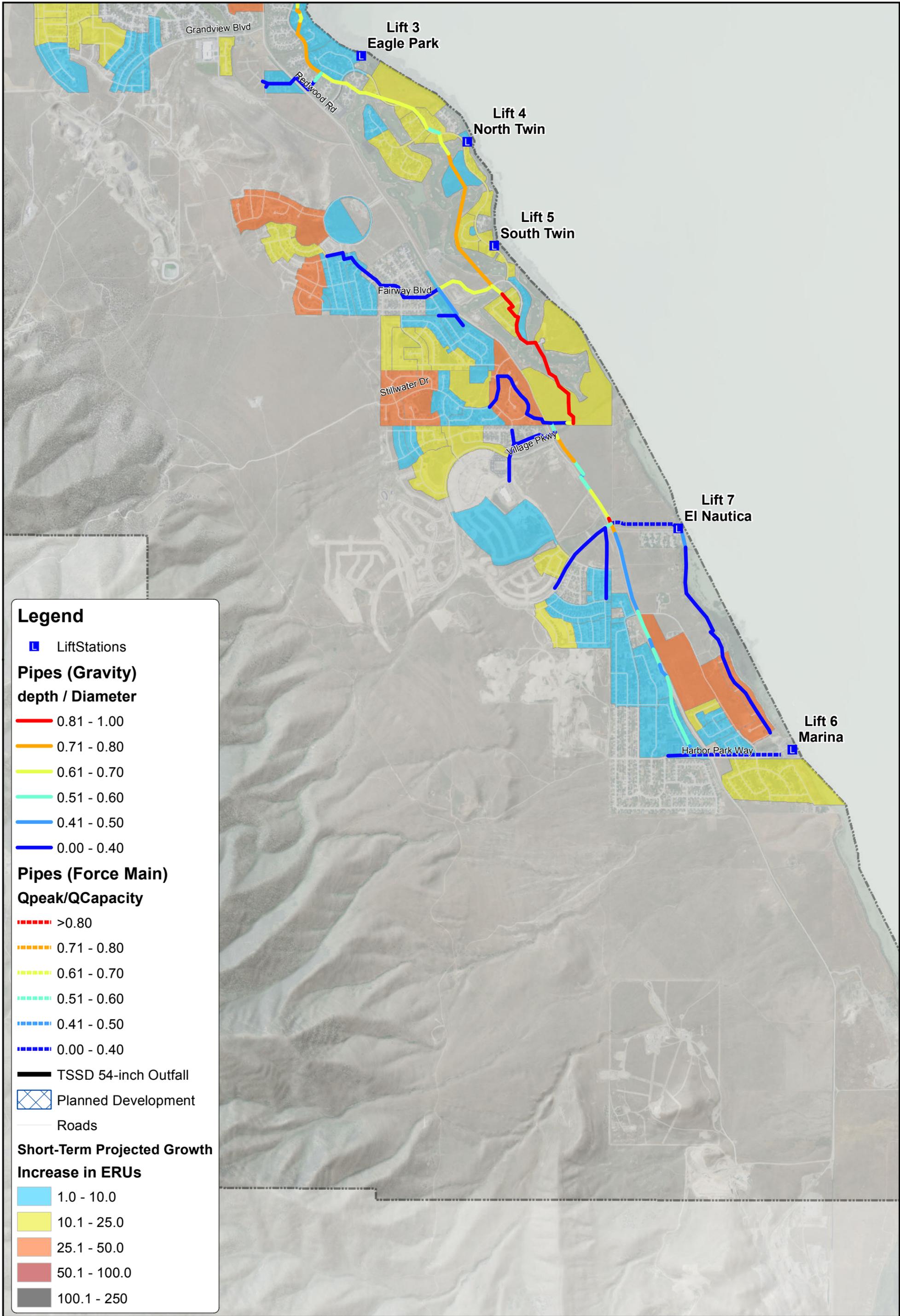
Table 5-2 indicates flow to the City's lift stations for the various levels of development. Flows in excess of the lift station's existing hydraulic capacity have been highlighted.



Legend

- Lift Stations
- Pipes (Gravity)**
depth / Diameter
- 0.81 - 1.00
- 0.71 - 0.80
- 0.61 - 0.70
- 0.51 - 0.60
- 0.41 - 0.50
- 0.00 - 0.40
- Pipes (Force Main)**
Qpeak/QCapacity
- - - >0.80
- - - 0.71 - 0.80
- - - 0.61 - 0.70
- - - 0.51 - 0.60
- - - 0.41 - 0.50
- - - 0.00 - 0.40
- TSSD 54-inch Outfall
- Planned Development
- Roads
- Short-Term Projected Growth**
Increase in ERUs
- 1.0 - 10.0
- 10.1 - 25.0
- 25.1 - 50.0
- 50.1 - 100.0
- 100.1 - 250

P:\Saratoga Springs\2011 Capital and Impact Fee Facilities Plans\4.0 GIS\4.1 Projects\SewerMaps\Figure 5-3 - Short Term Deficiencies.mxd amckinnon 1/15/2014



Legend

- Lift Stations
- Pipes (Gravity)**
depth / Diameter
- 0.81 - 1.00
- 0.71 - 0.80
- 0.61 - 0.70
- 0.51 - 0.60
- 0.41 - 0.50
- 0.00 - 0.40
- Pipes (Force Main)**
Qpeak/QCapacity
- - - >0.80
- - - 0.71 - 0.80
- - - 0.61 - 0.70
- - - 0.51 - 0.60
- - - 0.41 - 0.50
- - - 0.00 - 0.40
- TSSD 54-inch Outfall
- Planned Development
- Roads
- Short-Term Projected Growth**
Increase in ERUs
- 1.0 - 10.0
- 10.1 - 25.0
- 25.1 - 50.0
- 50.1 - 100.0
- 100.1 - 250

P:\Saratoga Springs\2011 Capital and Impact Fee Facilities Plans\4.0 GIS\4.1 Projects\SewerMaps\Figure 5-3 - Short Term Deficiencies.mxd amckinnon 1/15/2014

**Table 5-2
Lift Station Evaluation at Various Development Conditions**

Lift Station	Address^a	Existing Hydraulic Capacity (gpm)	Design Peak Flow - Existing (gpm)	Design Peak Flow - Short Term (gpm)	Buildout Peak Flow (gpm)
1 – Inlet Park	400 S. Saratoga Rd	1,600	920	<i>1,800^d</i>	<i>3,600</i>
2 – Posey ^b	Pioneer Crossing, Jordan River	2,000 ^c	1,028	<i>1,400^d</i>	<i>1,400</i>
3 – Eagle Park	1448 S. Cottonwood Lane	110 ^c	26	30	30
4 – North Twin	1800 S. Centennial Blvd	110	16	32	45
5 – South Twin	2170 S. Centennial Blvd	110	12	16	16
6 – Marina	275 E. Cascade Court	350 ^c	100	116	318
7 – El Nautica	100 W. 3000 S. (Harbor Bay)	550	2	31	370

^a addresses are approximate

^b the collection area to this lift station will ultimately be decreased by the construction of new gravity mains.

^c Lift stations indicated include provisions to add an additional pump on the existing manifold

^d Short-term peak flow based on the maximum flow experienced prior to the construction of new gravity outfall pipelines (see Project SS-S1, Chapter 6)

CHAPTER 6 BUILDOUT SYSTEM IMPROVEMENTS

The hydraulic model was used to evaluate various alternatives for servicing growth under projected buildout conditions. For the purposes of this report, buildout is defined as full development of all property in the service area at current planning densities as defined in the City's land use element of the General Plan. The following chapter describes the preferred conveyance option for meeting buildout flows.

SYSTEM IMPROVEMENT APPROACH

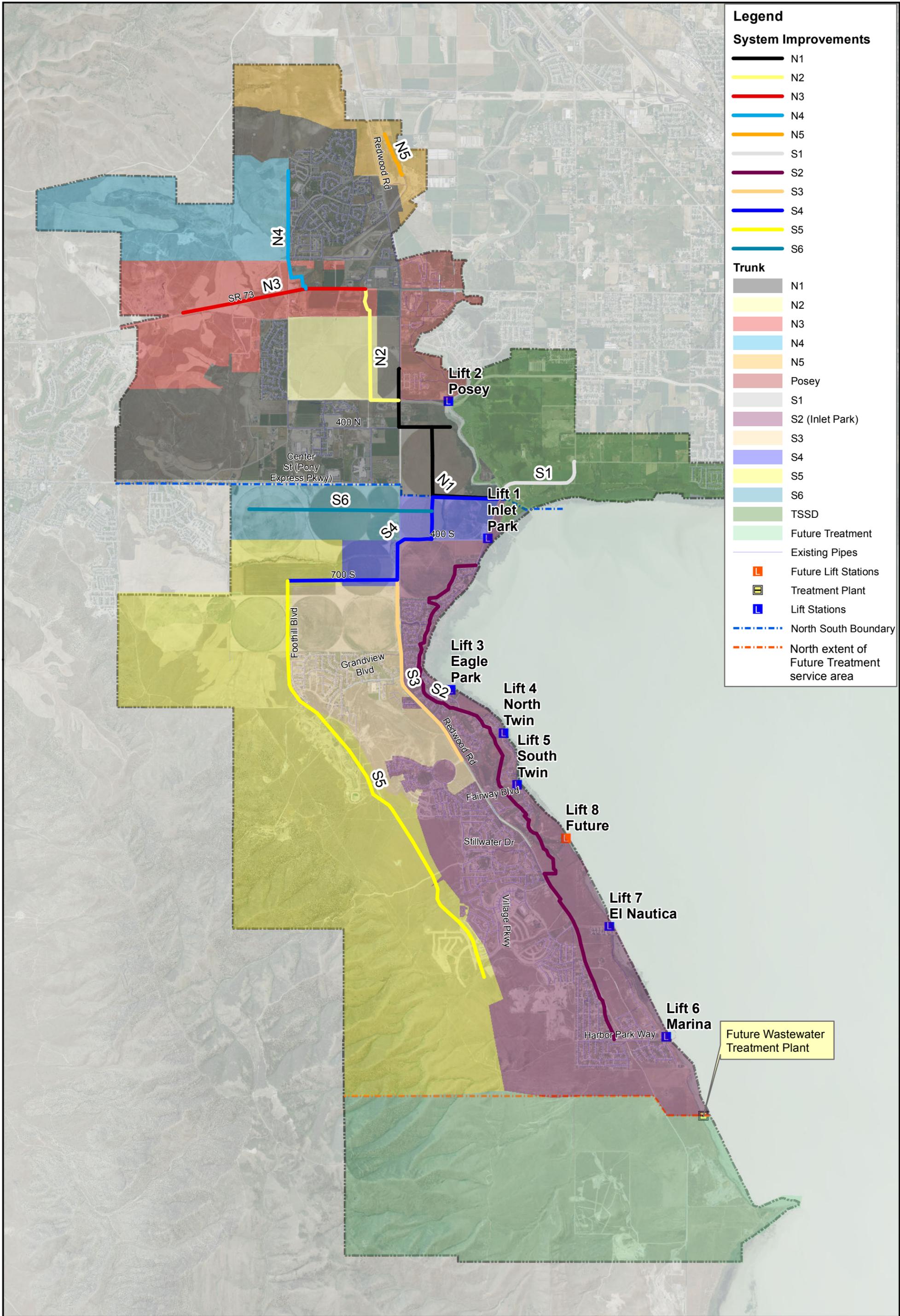
There are a number of different approaches that could be used to service future growth in Saratoga Springs. Prior to developing a recommended approach, BC&A and Saratoga Springs personnel examined previous master plan alternatives and several new alternatives identified during the course of this facilities plan. In developing a preferred conveyance alternative, several issues were considered:

- **Cost** – A primary goal in developing a preferred conveyance alternative was to minimize overall cost. The sizing and alignment of future pipelines were optimized to convey projected flows in the most efficient manner possible. Projects have also been phased to defer projects that are more expensive where possible to try to achieve the lowest present worth cost of improvements.
- **Maintenance and Reliability** – Facilitating maintenance and providing maximum reliability was another important goal in developing a preferred alternative. Based on experience, one of the best ways to accomplish this goal is to minimize reliance on future lift stations. Both lift stations and force mains are the source of frequent maintenance. Lift stations are also vulnerable to power interruption and mechanical failure. They also require ongoing electrical pumping costs that add to the overall cost of operating the system. The improvements recommended here include the construction of several new gravity mains that will allow as much of the City to be conveyed to TSSD by gravity as possible. This will significantly reduce the size of the collection areas currently served by the Inlet Park and Posey Lift Stations.
- **Disruption to Existing Residents** – Where possible, construction of new sewer mains through existing neighborhoods and paved roadways was avoided. By minimizing work in developed rights-of-way, disruption to traffic and residents can be minimized.

After considering these various issues, a preferred alternative for meeting future growth was identified as recommended below.

RECOMMENDED CONVEYANCE IMPROVEMENTS

Figure 6-1 shows the approximate location of improvements recommended to meet future growth in Saratoga Springs through buildout. It should be noted that proposed sizes for pipes have been estimated based on projected flow, estimated pipe slopes developed using 5-meter



P:\Saratoga Springs\2011 Capital and Impact Fee Facilities Plans\4.0 GIS\4.1 Projects\SewerMaps\Figure 6-1 - Proposed Facilities.mxd amckinnon 1/15/2014

digital elevation data, and the State of Utah’s minimum slope criteria for sanitary sewer mains. Once detailed design of sewer mains commences, the pipeline sizes should be reviewed with design pipe capacity based on the projected buildout flows in upstream sub-basins as discussed in Chapter 4. Also shown in Figure 6-1 is the approximate collection area associated with each major trunk line improvement. It should also be noted that collection basins and pipeline alignments shown are approximate based on current understanding of projected development patterns and future road alignments. As the time for completion of each project approaches, the City should review each collection area and pipeline alignment in detail to optimize the location and functionality of each improvement.

As discussed in Chapter 2, the City can be separated into three service areas, a south area (currently served by the Inlet Park Lift Station), a north area (currently served by the Posey Lift Station), and an area to be served by future treatment facilities at the far south end of the City. Because it will be its own system, no projects are identified for the future treatment service area. Projects for each of the other two service areas are described below.

South Service Area

- SS-S1. River Crossing Trunk – A key component to the proposed improvement approach is the construction of a new gravity outfall across the Jordan River. This will allow flow to be conveyed across the Jordan River by gravity to the Timpanogos Special Service District connection. Once this line is completed, it will facilitate two major categories of improvements. First, it will allow new gravity lines to be constructed to service new development on higher elevation properties in the City (see Projects SS-S3 and SS-N1). Second, it will allow the length of the Inlet Park and Posey force mains to be significantly reduced and the existing force main siphons under the river to be eliminated.

Because this improvement is located at the very bottom of the system, it will need to have a very large capacity to meet project flows through buildout. To limit the required funding initially, it is recommended that this project be completed in phases. Initially, a single pipeline will be constructed (36-inch crossing of the Jordan River connected to a 36-inch outfall to the TSSD connection). When required for capacity, a second parallel pipeline will be added. Since this is such a critical component to the City’s future system, it is also recommended that the City complete a more detailed preliminary design study to coordinate phasing and invert elevations with upstream pipelines.

It should be noted that this project will serve both the south and the north service areas. It has been included with the south improvements for convenience, but its costs will be divided between the service areas based on the percent of capacity used by each.

- SS-S2. Inlet Park Sewer Trunk Upgrade – The existing Inlet Park Sewer Trunk that starts along Redwood Road at the south end of the City and continues north following the shoreline of Utah Lake will need to be upgraded to accommodate build-out

wastewater flows. There are no existing deficiencies along the sewer trunk, but there are two areas with projected deficiencies because of short-term growth (10-year growth). As growth continues into the future, additional sections of the pipeline will fall below level of service requirements. The Inlet Park lift station will eventually need to be upgraded and all of the trunk line will need to be upsized to accommodate future growth.

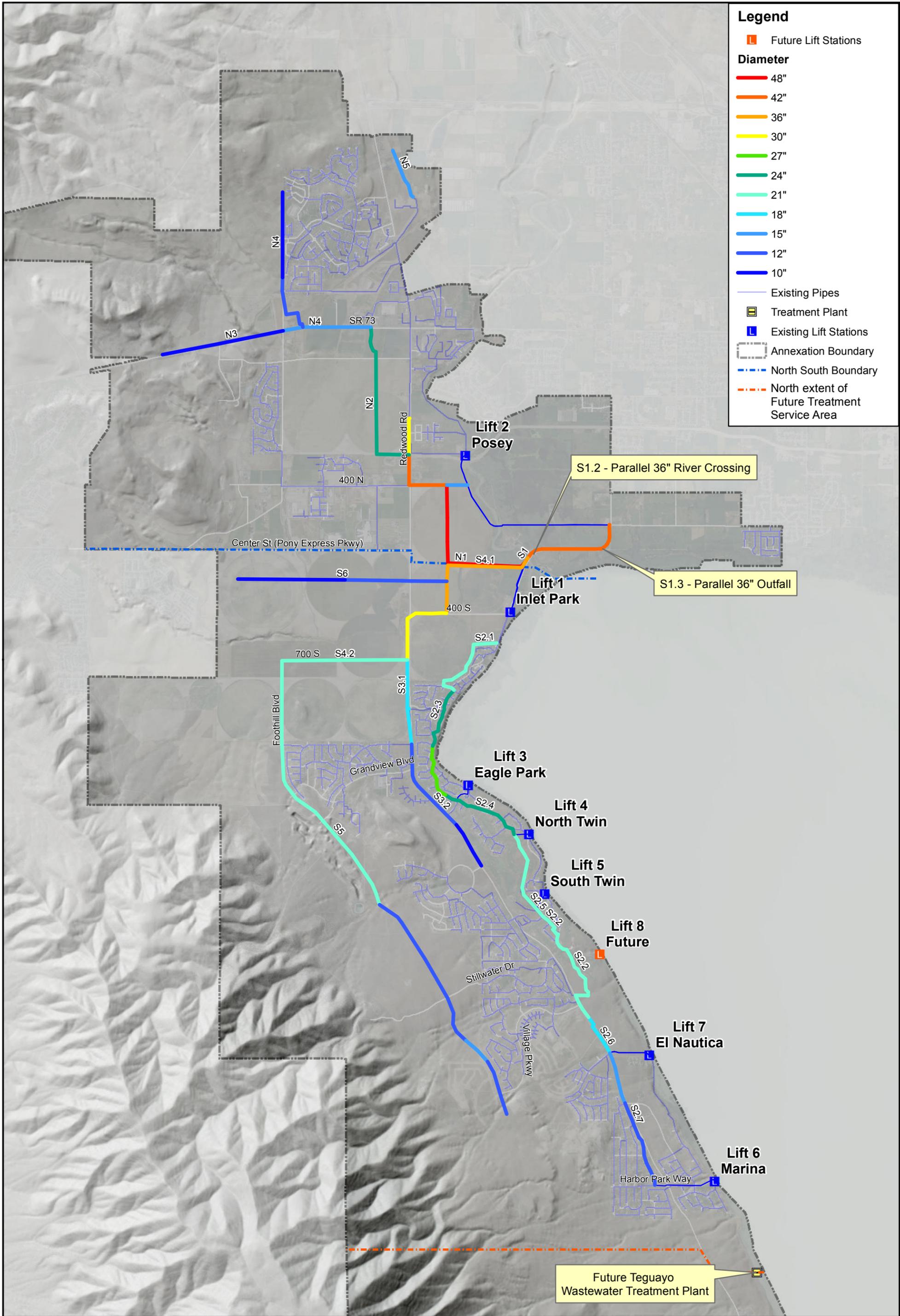
- SS-S3. Redwood Road Trunk – A new trunk line is recommended along Redwood Road from 700 South to Ring Road. The purpose of this trunk line will be collect wastewater flows from west of Redwood Road and convey it by gravity to the new gravity trunk on 700 South (see Project S4). This trunk line does not extend any further south than Ring Road because this is the high point on Redwood Road. This precludes further collection by gravity along Redwood Road from properties to the south.
- SS-S4. 700 South Trunk – A new trunk is recommended to be constructed from west to east at approximately 700 South. The purpose of this trunk line will be to connect all upstream gravity pipelines to the River Crossing Trunk (Project SS-S1). Once this pipeline and the River Crossing Trunk are completed, a large portion of the south service area will be able to bypass the Inlet Park Lift Station. Currently 100 percent of the south service area flows through the lift station. Once the recommended improvements are completed, the collection area for the Inlet Park Lift Station will be reduced to the area shown in Figure 6-1.

It should be noted that, as currently projected, development near this project (especially on property owned by PRI) may require the completion of this project prior to the completion of the River Crossing Trunk. If this is the case, this pipeline can temporarily be connected to the Inlet Park Lift Station until the River Crossing Trunk is completed. During the final design of this pipeline, great care should be taken to make sure the invert elevations of this pipeline are consistent with its ultimate goal of connecting to the River Crossing Trunk.

- SS-S5. Foothill Trunk – A new trunk is recommended along the future Foothill Blvd to collect areas along the western edge of the City. Construction of this pipeline will allow all upstream areas to be conveyed by gravity to the new 700 South Trunk (Project SS-S4). As noted above, this will allow all the area served by this pipeline to bypass the Inlet Park Lift Station and flow by gravity to TSSD.
- SS-S6. 200 South Trunk – A new trunk is recommended along the future 200 South roadway. Construction of this pipeline will allow all upstream areas to be conveyed by gravity to the new 700 South Trunk (Project SS-S4).

North Service Area

- SS-N1. North Trunk – Similar to the south service area, one primary goal of the recommended improvements is to connect as much of the service area as possible



Legend

- Future Lift Stations
- Diameter**
- 48"
- 42"
- 36"
- 30"
- 27"
- 24"
- 21"
- 18"
- 15"
- 12"
- 10"
- Existing Pipes
- Treatment Plant
- Existing Lift Stations
- Annexation Boundary
- North South Boundary
- North extent of Future Treatment Service Area

S1.2 - Parallel 36" River Crossing

S1.3 - Parallel 36" Outfall

Future Teguayo Wastewater Treatment Plant

P:\Saratoga Springs\2011 Capital and Impact Fee Facilities Plans\4.0 GIS\4.1 Projects\SewerMaps\Figure 6-2 - Proposed Facilities.mxd amckinnon 1/15/2014

It should also be remembered that the collection system improvements identified in these two figures do not include any improvements for potential development at the south end of the City. The topography of Saratoga Springs is different from most other cities because of its location relative to Utah Lake. Conveying flow from the south end of the City to the outfall at the north end of Utah Lake is difficult because there is very little elevation difference between these locations. To cost effectively serve its residents and avoid an excessive number of lift stations, the City has established a policy to extend service on its existing system no further than the southern boundary of the Marina Lift Station. This boundary is shown in Figures 6-1 and 6-2. All properties south of this boundary should be served by a new wastewater treatment plant. As a result, any development that occurs in this area will not be subject to the sewer collection impact fees of the City but will be responsible for development of the new plant and corresponding collection system. A possible location for a future wastewater treatment plant is shown at the south end of the City in Figure 6-2. The final location of this plant along with layout of the corresponding collection system pipelines will need to be completed once development plans in this area become more established.

**Table 6-1
Collection System Improvements**

Short Term Projects			
Project No.	Projects: Year of Project (Fiscal Year Ending)	Project Description	Estimated Total Cost (2012 Dollars)
SS-S1.1	2014	River Crossing Trunk Phase 1, Alignment & Preliminary Design Study	\$100,000
SS-S1.2	2018	River Crossing Trunk Phase 2, Suspended Sewer or Siphon	\$1,151,000
SS-S1.3	2018	River Crossing Trunk Phase 3, Outfall	\$3,665,000
SS-S2.1	2014	Inlet Park Trunk Phase 1, Near Lift Station	\$1,399,000
SS-S2.2	2015	Inlet Park Trunk Phase 2, Golf Course Main	\$1,654,000
SS-N1	2018	North Trunk	\$9,546,000
SS-N2	2020	200 West Trunk	\$2,351,000
SS-S4.1	2022	700 South Trunk Phase 1, First Half	\$4,650,600
Short Term Total			\$24,516,600
Intermediate Term Projects			
SS-S2.3	2023	Inlet Park Trunk Phase 3	\$2,716,000
SS-S3.1	2024	Redwood Road Trunk Phase 1, First Half	\$1,061,000
SS-S2.4	2025	Inlet Park Trunk Phase 4	\$1,967,000
SS-S6	2026	200 South Trunk	\$1,919,000
SS-S2.5	2027	Inlet Park Trunk Phase 5	\$1,705,000
SS-N5	2028	Canal Trunk	\$554,000
SS-2.6	2028	Inlet Park Trunk Phase 6	\$1,537,000
SS-S4.2	2029	700 South Trunk Phase 2, Second Half	\$1,731,000
SS-2.7	2030	Inlet Park Trunk Phase 7	\$2,133,000
SS-S3.2	2031	Redwood Road Trunk Phase 2, Second Half	\$1,357,000
Intermediate Total			\$16,680,000
Long Term Projects			
SS-N3	2032+	Cedar Fort Road Trunk	\$2,045,000
SS-N4	2032+	800 West Trunk	\$1,388,000
SS-S5	2032+	Foothill Blvd Trunk	\$6,279,000
SS-S1.4	2032+	River Crossing Trunk Phase 4, Parallel Outfall	\$2,223,000
Long Term Total			\$11,935,000
Totals			\$53,131,600

LIFT STATION IMPROVEMENTS

Table 6-2 lists the future recommended wet well volume and hydraulic capacity of lift stations in Saratoga Springs at buildout.

**Table 6-2
Required Capacity at Lift Stations**

Lift Station	Address¹	Existing Wet Well Volume (gallons)	Future Required Wet Well Volume (gallons)	Existing Hydraulic Capacity (gpm)	Future Required Hydraulic Capacity (gpm)
1 – Inlet Park	400 S. Saratoga Rd	4,600	10,650	1,600	4,300
2 – Posey	Pioneer Crossing, Jordan River	5,200	5,000	2,000 ²	2,000
3 – Eagle Park	1448 S. Cottonwood Lane	2,500	190	110 ²	75
4 – North Twin	1800 S. Centennial Blvd	2,500	280	110	100
5 – South Twin	2170 S. Centennial Blvd	2,500	210	110	100
6 – Marina	275 E. Cascade Court	2,500	930	350 ²	370
7 – El Nautica	100 W. 3000 S. (Harbor Bay)	3,500	1,100	550	440
8 – Future		--	160	--	75

¹ Addresses are approximate

² Lift stations indicated include provisions to add an additional pump on the existing manifold

It will be noted that improvements are recommended for the Inlet Park Lift Station. This may seem inconsistent with previously recommended projects to remove major portions of the City from this lift station collection area. However, this lift station upgrade is needed for the following reasons:

- **Inlet Park** – Even though Project SS-S4 will allow a significant portion of the City to bypass the Inlet Park Lift Station, there are still large areas of undeveloped land that exist within the remaining collection area of the lift station. To accommodate this future development, significant upgrades to both the wet well volume and capacity of the lift station will be required.

Table 6-3 lists the costs associated with lift station improvements recommended to meet future collection system needs at buildout.

**Table 6-3
Lift Station Project Costs**

Project No.	Project Description	Estimated Year of Construction	Estimated Cost (2012 Dollars)
SS-L1	Lift Station 1 Pump Upgrade (Inlet Park)	2018	\$300,000
SS-L2	New Lift Station 8 Design/Construction	2023	\$150,000
SS-L3	Lift Station 1 Wet Well Upgrade (Inlet Park)	2032+	\$300,000
SS-L4	Lift Station 6 Pump Upgrade (Marina)	2032+	\$150,000
	Total		\$1,350,000

Saratoga Springs personnel also provided a list of lift station and collection system upgrades that are recommended to improve system operation. Table 6-4 lists the costs associated with these maintenance related projects.

**Table 6-4
Maintenance Costs**

Project No.	Project Description	Estimated Cost (2012 Dollars)
SS-M1	Lift Station 1 & 2 Grinders	\$150,000
SS-M2	Lift Station 4 & 5 Bypass	\$200,000
SS-M3	Lift Station 1 & 2 Electrical Work	\$50,000
SS-M4	Lift Station Replacement Motors	\$85,000
SS-M5	Lift Station 6 Replacement Generator	\$30,000
SS-M6	New TV Truck	\$175,000
SS-M7.1	Lift Station 1 Force Main Cleanouts	\$79,000
SS-M7.2	Lift Station 2 Force Main Cleanouts	\$40,000
SS-M8	Drive System Lift Station 1 and 2	\$52,654
	Total	\$861,654

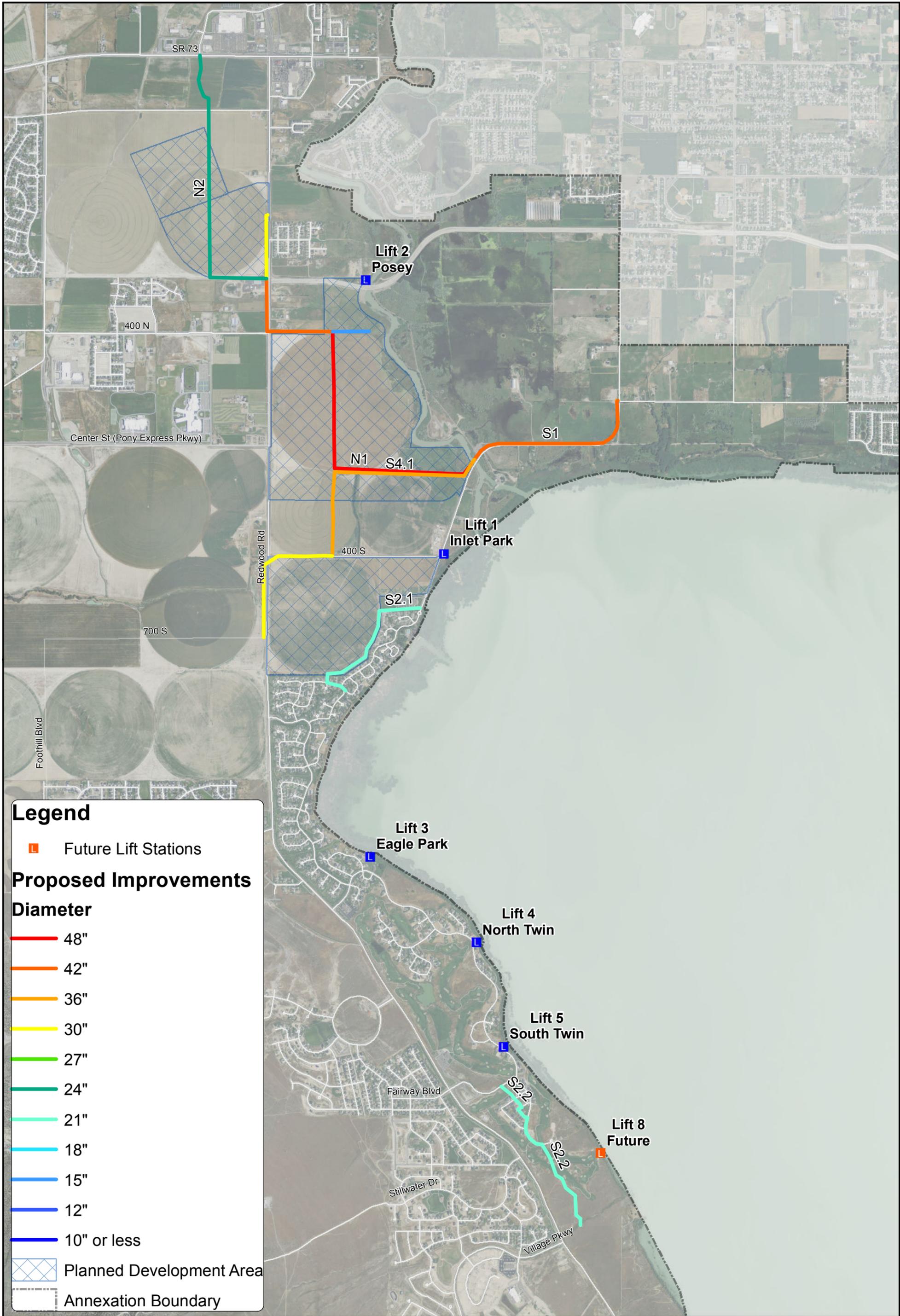
CHAPTER 7 IMPACT FEE FACILITIES PLAN

In the previous chapters, required improvements have been identified. Based on this information, it is now possible to identify those improvements that qualify to be used in the calculation of impact fees as outlined in Section 11-36a of the Utah Code.

10-YEAR IMPROVEMENT PLAN

Chapter 6 identified all capital facility projects needed to provide service to various parts of the City at projected buildout. Most of these projects will need to be constructed in phases as development occurs. Figure 7-1 shows the components of projects in Chapter 6 that will need to be constructed within the next ten years to address existing needs and meet the needs of growth during the next ten years. This information is also summarized in Tables 7-1 and 7-2. Table 7-1 includes all projects identified for the south service area of the City. Table 7-2 includes all projects identified for the north service area of the City. A more detailed breakdown of costs for the larger projects in the tables is contained in the appendix of this report. In accordance with the requirements of state law, those projects recommended in the capital facilities plan that fall outside of the 10-year planning window have not been included in the impact fee facilities plan shown as Tables 7-1 and 7-2.

It will be noted that a few projects have been included in both tables because they benefit both service areas. For these projects, total costs have been divided between the two service areas based on the projected growth within the planning window. Of the total 5,818 additional ERCs projected in the next ten years, 2,860 ERCs have been identified within the south service area (49.15 percent) and 2,958 ERCs within the north service area (50.85 percent).



Legend

Future Lift Stations

Proposed Improvements

Diameter

- 48"
- 42"
- 36"
- 30"
- 27"
- 24"
- 21"
- 18"
- 15"
- 12"
- 10" or less

Planned Development Area

Annexation Boundary

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**Table 7-1
Impact Fee Facilities Plan, South Service Area - Costs Required for Future Growth**

Project No.	Year of Project (FYE)	Project Description	Estimated Total Cost	Percent to Existing	Percent to 10-year Growth	Percent to Growth Beyond 10 Years	Cost to Existing	Cost to 10-year Growth	Cost to Growth Beyond 10 Years
SS-S1.1	2014	River Crossing Phase 1, Alignment & Preliminary Design Study*	\$49,154	7.9%	9.5%	82.6%	\$3,874	\$4,691	\$40,588
SS-S1.2	2018	River Crossing Trunk Phase 2, Bridge or Siphon*	\$565,760	7.9%	9.5%	82.6%	\$44,590	\$53,999	\$467,171
SS-S1.3	2018	River Crossing Trunk Phase 3, Outfall*	\$1,801,486	7.9%	9.5%	82.6%	\$141,984	\$171,942	\$1,487,561
SS-S2.1	2014	Inlet Park Trunk Phase 1, Near Lift Station	\$1,399,000	0.0%	16.2%	83.8%	\$0	\$227,132	\$1,171,868
SS-S2.2	2015	Inlet Park Trunk Phase 2, Golf Course Main	\$1,654,000	12.6%	12.9%	74.5%	\$208,218	\$213,386	\$1,232,397
SS-L1	2015	Lift Station 1 Pump Upgrade	\$300,000	0.0%	11.9%	88.1%	\$0	\$35,644	\$264,356
SS-S4.1	2022	700 South Trunk –First Half	\$4,650,600	0.0%	2.0%	98.0%	\$0	\$92,528	\$4,558,072
Totals			\$10,420,000				\$398,665	\$799,321	\$9,222,014

*Where indicated, projects benefit both south and north service areas. Project costs divided based on projected growth in each area during the planning window.

**Table 7-2
Impact Fee Facilities Plan, North Service Area - Costs Required for Future Growth**

Project No.	Year of Project (FYE)	Project Description	Estimated Total Cost	Percent to Existing	Percent to 10-year Growth	Percent to Growth Beyond 10 Years	Cost to Existing	Cost to 10-year Growth	Cost to Growth Beyond 10 Years
SS-S1.1	2014	River Crossing Phase 1, Alignment & Preliminary Design Study*	\$50,846	7.9%	9.5%	82.6%	\$4,007	\$4,853	\$41,986
SS-S1.2	2018	River Crossing Trunk Phase 2, Bridge or Siphon*	\$585,240	7.9%	9.5%	82.6%	\$46,126	\$55,858	\$483,257
SS-S1.3	2018	River Crossing Trunk Phase 3, Outfall*	\$1,863,514	7.9%	9.5%	82.6%	\$146,872	\$177,862	\$1,538,780
SS-N1	2018	North Trunk	\$9,546,000	9.6%	7.2%	83.3%	\$912,945	\$683,841	\$7,949,215
SS-N2	2020	200 West Trunk	\$2,351,000	0.0%	3.1%	96.9%	\$0	\$72,824	\$2,278,176
Totals			\$14,396,600				\$1,109,950	\$995,237	\$12,291,413

*Where indicated, projects benefit both south and north service areas. Project costs divided based on projected growth in each area during the planning window.

PROJECT COST ATTRIBUTABLE TO FUTURE GROWTH

To satisfy the requirements of state law, Tables 7-1 and 7-2 provides a breakdown of the capital facility projects and the percentage of the project costs attributed to existing and future users. As defined in Section 11-36-304, the impact fee facilities plan should only include “the proportionate share of the costs of public facilities [that] are reasonably related to the new development activity.” While most projects from the capital facilities plan outlined in previous chapters are required solely to meet future growth, some projects also provide a benefit to existing users.

For some projects, the division of costs between existing and future users is easy because 100 percent of the project costs can be attributed to one category or the other (e.g. infrastructure needed solely to serve new development can be 100 percent attributed to new growth). However, while there are no existing deficiencies in the system, there are some projects that will benefit existing users (e.g., no existing deficiency exists, but a new facility is being added that will be used to convey flow from both existing and future sources). A good example of this is the new river crossing and outfall to TSSD (Project SS-S1). In this case, existing flow is conveyed in force mains from the Posey and Inlet Park lift stations. These force mains have more than adequate capacity to convey existing flows. As a result, no existing deficiencies exist at this location. However, with the construction of a new pipeline for future growth, it makes little sense for the City to maintain three parallel pipelines through the area. As a result, this plan identifies installation of a new pipeline with adequate capacity for both existing and future flows and abandonment of the existing force mains through this area. In this type of situation, costs have been divided between the two categories based on the ratio of flow needed for each type of user. For example, if existing peak flow through a proposed facility will be 0.4 cfs but the ultimate capacity of the pipeline needs to be 1.0 cfs to meet new growth, 60 percent of the costs of the project have been assigned to future growth with 40 percent assigned to existing users.

It should be noted that Tables 7-1 and 7-2 do not include bond costs related to paying for impact fee eligible improvements. These costs should be added as part of the impact fee analysis.

It should also be noted that both Table 7-1 and 7-2 include the several phases of Project SS-S1. As explained in Chapter 6, this project will serve both services areas. As a result, the costs for the project have correspondingly been split between the two service areas based on proportionate flow in the pipeline.

PROJECT COST ATTRIBUTABLE TO 10-YEAR GROWTH

Included in Tables 7-1 and 7-2 is a breakdown of capacity associated with growth both at full build-out and through the next 10-years. Normally, it would be adequate to consider only the percentage of future growth through build-out. In the case of sewer improvements for Saratoga Springs, however, the impact fee facility plan includes several improvements located near the bottom of the collection system. As a result, these projects are required to accommodate large flows representing growth from the entire City. To evaluate most accurately the cost of providing service for growth during the next ten years, added consideration was given to evaluating the growth of flow projected for the next 10-years in each project.

As summarized in Tables 7-1 and 7-2, the total cost of future projects in the impact fee facility plan that are attributable to future growth is over \$23 million. Of these costs, \$1.8 million are attributable to growth in the next ten years.

EXISTING CAPACITY AVAILABLE TO SERVE NEW GROWTH

In addition to using capacity in new projects contained in the impact fee facility plan, future growth will also utilize a portion of excess capacity in existing facilities. To calculate the percentage of existing capacity to be used by future growth, BC&A examined the model results in each facility paid for by the City. Figures indicating the locations of facilities paid for by the City are located in the Appendix.

The method used to calculate excess capacity used by future flows is as follows:

- **Calculate Flows** – The peak flow in each facility was calculated in the model for both existing and future flows. The maximum capacity of each facility was also calculated.
- **Identify Available Capacity** – Where a facility has capacity in excess of projected flows at buildout, the available capacity in the facility was defined as the difference between existing flows and buildout flows. Where the facility has capacity less than projected flows at buildout, the available capacity in the facility was defined as the difference between existing flows and the facility’s maximum capacity.
- **Calculate Percent of Excess Capacity Used in Remaining Facilities** – Where the future flow was less than the capacity of the facility, the percent of excess capacity being used in each facility was calculated by dividing the growth in flow in the facility (future flow less existing flow) by the total capacity (existing flow plus available capacity). Where future flow was more than the capacity of the facility, the percent of excess capacity being used in each facility was calculated by dividing the available remaining capacity in the facility by the total capacity.
- **Calculate Excess Capacity for the System as a Whole** – Each pipeline segment in the system has a different quantity of excess capacity to be used by future growth. To develop an estimate of excess capacity for projects containing multiple pipeline segments, the capacities of each of these pipelines and their contribution to the system as a whole must be considered. To do this, each pipeline must first be weighted based on its contribution to system. For this purpose, each pipeline has been weighted based on the product of its capacity and length (e.g., 100 gpm of capacity in a 4,000 ft pipeline contributes more to the system than 100 gpm of capacity in a 300 ft pipeline). The excess capacity in the system as a whole can then be calculated as the sum of the weighted capacity used by future growth divided by the sum of total weighted capacity in the system.

Based on the method described above, the calculated percentage of existing capacity used by growth during the 10 year planning window in facilities paid for by the City is as shown in Tables 7-3 and 7-4 below. Table 7-3 includes facilities paid for directly by the City. In addition to these facilities, the City has also recently paid for the remaining capacity in some facilities constructed by developers that have historically been subject to a pioneering agreement. Table 7-4 includes the

future capacity to be used in association with these recent reimbursement agreements. It will be noted that Table 7-4 does not include any capacity associated with existing use. This is because the City's payment in the reimbursement agreements was for remaining capacity only. All existing capacity in these facilities has already been paid for through past pioneering agreement. As a result, Table 7-4 calculates the percentage of available future capacity only.

Table 7-3
Existing Facility Capacity Used by Growth

Project ID	Project Description	Percent to Existing	Percent to 10-year Growth	Percent to Growth Beyond 10 Years
SAR.016	Inlet Park Sewer Force Main	27.4%	26.8%	45.9%
SAR.017	Inlet Park Lift Station	58.1%	41.9%	0.0%
SAR.019	Sewer Line between 6800 North (400 South) and Entrance to SSD)	25.7%	25.1%	49.2%
SAR.104	Smiths Sewer Outfall*	9.3%	40.1%	50.6%
SAR.126	Inlet Park Lift Station Upgrade	58.1%	41.9%	0.0%
SAR.151A	Extend Posey Force Mains to TSSD	68.5%	31.5%	0.0%
SAR.151B	Posey Lift Station Upgrade	68.5%	31.5%	0.0%
SAR.207	Harbor Bay Park Lift Station Upgrade	11.9%	5.3%	82.8%
SAR.266	TSSD Meter Station	8.8%	8.7%	82.6%

* For components with multiple facilities, a weighted average was developed of available capacity used by future growth.

Table 7-4
Reimbursement Agreement Capacity Used by Growth

Project ID	Project Description	Percent to 10-year Growth	Percent to Growth Beyond 10 Years
RA.1	Inlet Park SSD Reimbursement Agreement*	66.7%	33.3%
RA.2	Inlet Park Lakeview Reimbursement Agreement*	23.6%	76.4%

*For components with multiple facilities, a weighted average was developed of available capacity used by future growth.

COST ESTIMATES



TECHNICAL MEMORANDUM

DATE: December 21, 2012
TO: Saratoga Springs
FROM: Keith Larson and Andrew McKinnon
Bowen, Collins & Associates
756 East 12200 South
Draper, Utah 84020
COPIES: File
PROJECT: Sewer Capital Facilities Plan
SUBJECT: Cost estimates

Two levels of cost estimates have been prepared for this project. For projects within the IFFP planning window, detailed cost estimates are attached to this memorandum. These estimates have been based on BC&A's database of recent bids for pipe projects along the Wasatch Front. The database includes extensive data on unit costs for smaller pipes and appurtenances along with some data for larger pipelines. A national cost estimating database for sewer pipes was also consulted to provide data for larger diameter pipes, and to confirm pipe costs for smaller pipes. The unit costs are based on August 2012 dollars with an ENR cost index of 9351.

For cost estimates of projects outside the IFFP planning window, project details are less certain. As a result, BC&A has grouped pipeline and appurtenances together for estimating purposes. This simplifies the valuation procedure for long-term projects without significantly compromising accuracy. Instead of uncertain estimates of the number of individual manholes along an existing pipeline or their approximate location on a future pipeline, using a combined valuation wraps the cost of manholes and other appurtenances at average spacing into the total pipe cost. Based on this research, the proposed valuation for long-term cost estimates is as summarized in Table 1.

Table 1
Proposed Pipeline Valuation

Pipe Diameter (in)	New Pipe (\$/LF)	Replace Pipe (\$/LF)	CIPP (\$/LF)	Pavement Restoration (\$/LF)
8	\$173	\$201	\$49	\$63
12	\$179	\$209	\$55	\$66
15	\$190	\$222	\$61	\$69
18	\$216	\$251	\$76	\$74
24	\$246	\$283	\$99	\$77
27	\$308	\$349	\$148	\$85
30	\$345	\$387	\$185	\$90
36	\$394	\$439	\$222	\$93
42	\$542	\$591	\$308	\$101
48	\$600	\$650	\$345	\$104
54	\$690	\$743	\$394	\$109
60	\$730	\$784	\$431	\$112
66	\$800	\$857	\$481	\$117
72	\$887	\$949	\$567	\$125
78	\$955	\$1,022	\$653	\$133

The table includes values for pipes under various conditions:

- **New Pipe** – This column represents the cost of installing a sewer pipe, complete in a new area. It includes excavation, pipe, stub outs for laterals, manholes, backfill, and traffic control. Because it is new pipe, there does not need to be bypass pumping, or reconnections to existing sewer lines.
- **Replace Pipe** – This column entails replacing an existing sewer pipe as part of a planned construction package. It includes everything in the new pipe column, but also includes bypass pumping and reconnections to existing sewer lines.
- **Cast in Place Pipe (CIPP)** – The City’s most common form of pipeline rehabilitation is CIPP. Thus, it was deemed useful to include costs for this type of work. The costs for this category are based on estimates provided by two major companies that perform CIPP, along with bid results from various recently completed projects.
- **Pavement Restoration** – To be able to distinguish between pipes under pavement versus those outside pavement, asphalt restoration has not been included as part of the cost categories above. A separate number for pavement restoration is included in the table based on recent construction bids along the Wasatch Front.

Preliminary Cost Estimate



Project SS-S1.2: River Crossing Trunk - Phase 2
 Owner: Saratoga Springs

Date: 1/15/2014

No.	Item	Quantity	Units	Unit Cost	Cost
1					
2	Mobilization, Demobilization, Permits	1	LS	\$23,000	\$23,000
3	Utility Relocation/Reconstruction	1	LS	\$2,000	\$2,000
4	36-inch Pipeline - Installed	332	LF	\$349	\$115,709
5	Manholes	2	EA	\$10,000	\$20,000
6	Lateral Reconnections	0	EA	\$1,000	\$0
7	Bypass Pumping	0	LS	\$0	\$0
8	Misc. Surface Restoration (Concrete, landscaping, etc.)	1	LS	\$9,000	\$9,000
9	Asphalt and Base	71	SY	\$47.25	\$3,353
10	Bridge Crossing of Jordan River	1	LS	\$780,000	\$780,000
11	Misc. Unlisted Items	5%			\$47,653
12					
13	Construction Subtotal				\$1,000,715
14					
15	Engineering - Design	6%			\$60,043
16	Engineering - Construction Management	6%			\$60,043
17	Legal and Admin. (ROW, Financing, etc.)	3%			\$30,021
18					
19	Total Cost				\$1,150,822

Preliminary Cost Estimate



Project SS-S1.3: River Crossing Trunk - Phase 3
 Owner: Saratoga Springs

Date: 1/15/2014

No.	Item	Quantity	Units	Unit Cost	Cost
1					
2	Mobilization, Demobilization, Permits	1	LS	\$391,000	\$391,000
3	Utility Relocation/Reconstruction	1	LS	\$194,000	\$194,000
4	42-inch Pipeline - Installed	4,360	LF	\$442	\$1,925,526
5	Manholes	14	EA	\$14,000	\$196,000
6	Lateral Reconnections	0	EA	\$1,000	\$0
7	Bypass Pumping	1	LS	\$24,000	\$24,000
8	Misc. Surface Restoration (Concrete, landscaping, etc.)	1	LS	\$150,000	\$150,000
9	Asphalt and Base	5029	SY	\$47.25	\$237,617
10	Misc. Unlisted Items	5%			\$155,907
11					
12	Construction Subtotal				\$3,274,050
13					
14	Engineering - Design	6%			\$196,443
15	Engineering - Construction Management	6%			\$196,443
16	Legal and Admin. (ROW, Financing, etc.)	3%			\$98,222
17					
18	Total Cost				\$3,765,158

Preliminary Cost Estimate



Project SS-S2.1: Inlet Park Trunk - Phase 1, Near Lift Station Date: 1/15/2014
 Owner: Saratoga Springs

No.	Item	Quantity	Units	Unit Cost	Cost
1					
2	Mobilization, Demobilization, Permits	1	LS	\$154,000	\$154,000
3	Utility Relocation/Reconstruction	1	LS	\$16,000	\$16,000
4	21-inch Pipeline - Installed	3850	LF	\$170	\$656,310
5	Additional Costs Associated with Depth*	1	LS	\$131,262	\$131,262
6	Manholes	13	EA	\$7,500	\$97,500
7	Lateral Reconnections	0	EA	\$1,000	\$0
8	Bypass Pumping	1	LS	\$12,000	\$12,000
9	Misc. Surface Restoration (Concrete, landscaping, etc.)	1	LS	\$59,000	\$59,000
10	Asphalt and Base	693	SY	\$47.25	\$32,725
11	Misc. Unlisted Items	5%			\$57,940
12					
13	Construction Subtotal				\$1,216,736
14					
15	Engineering - Design	6%			\$73,004
16	Engineering - Construction Management	6%			\$73,004
17	Legal and Admin. (ROW, Financing, etc.)	3%			\$36,502
18					
19	Total Cost				\$1,399,247

* For depths exceeding 15 feet, add 20% to pipe install costs

Preliminary Cost Estimate



Project SS-S2.2: Inlet Park Trunk - Phase 2, Golf Course Main Date: 1/15/2014
 Owner: Saratoga Springs

No.	Item	Quantity	Units	Unit Cost	Cost
1					
2	Mobilization, Demobilization, Permits	1	LS	\$154,000	\$154,000
3	Utility Relocation/Reconstruction	1	LS	\$40,000	\$40,000
4	21-inch Pipeline - Installed	4,263	LF	\$170	\$726,794
5	Manholes	14	EA	\$7,500	\$105,000
6	Lateral Reconnections	11	EA	\$1,000	\$11,000
7	Bypass Pumping	1	LS	\$124,000	\$124,000
8	Misc. Surface Restoration (Concrete, landscaping, etc.)	1	LS	\$118,000	\$118,000
9	Asphalt and Base	1917	SY	\$47.25	\$90,599
10	Misc. Unlisted Items	5%			\$68,470
11					
12	Construction Subtotal				\$1,437,862
13					
14	Engineering - Design	6%			\$86,272
15	Engineering - Construction Management	6%			\$86,272
16	Legal and Admin. (ROW, Financing, etc.)	3%			\$43,136
17					
18	Total Cost				\$1,653,542

Preliminary Cost Estimate



Project SS-N1: North Trunk

Date: 1/15/2014

Owner: Saratoga Springs

No.	Item	Quantity	Units	Unit Cost	Cost
1					
2	Mobilization, Demobilization, Permits	1	LS	\$1,014,000	\$1,014,000
3	Utility Relocation/Reconstruction	1	LS	\$68,000	\$68,000
4	48-inch Pipeline - Installed	6,576	LF	\$513	\$3,374,753
5	42-inch Pipeline - Installed	2,812	LF	\$442	\$1,241,702
6	30-inch Pipeline - Installed	1,526	LF	\$245	\$374,472
7	Force Main Modification (12" & 14" - Installed	1,737	LF	\$117	\$202,638
8	Additional Costs Associated with Depth*	1	LS	\$499,093	\$499,093
9	Manholes	35	EA	\$16,000	\$560,000
10	Lateral Reconnections	11	EA	\$1,000	\$11,000
11	Bypass Pumping	1	LS	\$48,000	\$48,000
12	Misc. Surface Restoration (Concrete, landscaping, etc.)	1	LS	\$390,000	\$390,000
13	Asphalt and Base	2577	SY	\$47.25	\$121,782
14	Misc. Unlisted Items	5%			\$395,272
15					
16	Construction Subtotal				\$8,300,711
17					
18	Engineering - Design	6%			\$498,043
19	Engineering - Construction Management	6%			\$498,043
20	Legal and Admin. (ROW, Financing, etc.)	3%			\$249,021
21					
22	Total Cost				\$9,545,818

* For north half of project, depths exceed 15 feet. Add 20% to pipe install costs this section

Preliminary Cost Estimate



Project SS-N2: 200 West
 Owner: Saratoga Springs

Date: 1/15/2014

No.	Item	Quantity	Units	Unit Cost	Cost
1					
2	Mobilization, Demobilization, Permits	1	LS	\$269,000	\$269,000
3	Utility Relocation/Reconstruction	1	LS	\$28,000	\$28,000
4	24-inch Pipeline - Installed	6722	LF	\$192	\$1,290,153
5	Manholes	22	EA	\$7,500	\$165,000
6	Lateral Reconnections	7	EA	\$1,000	\$7,000
7	Bypass Pumping	1	LS	\$21,000	\$21,000
8	Misc. Surface Restoration (Concrete, landscaping, etc.)	1	LS	\$104,000	\$104,000
9	Asphalt and Base	1330	SY	\$47.25	\$62,851
10	Misc. Unlisted Items	5%			\$97,350
11					
12	Construction Subtotal				\$2,044,354
13					
14	Engineering - Design	6%			\$122,661
15	Engineering - Construction Management	6%			\$122,661
16	Legal and Admin. (ROW, Financing, etc.)	3%			\$61,331
17					
18	Total Cost				\$2,351,008

Preliminary Cost Estimate



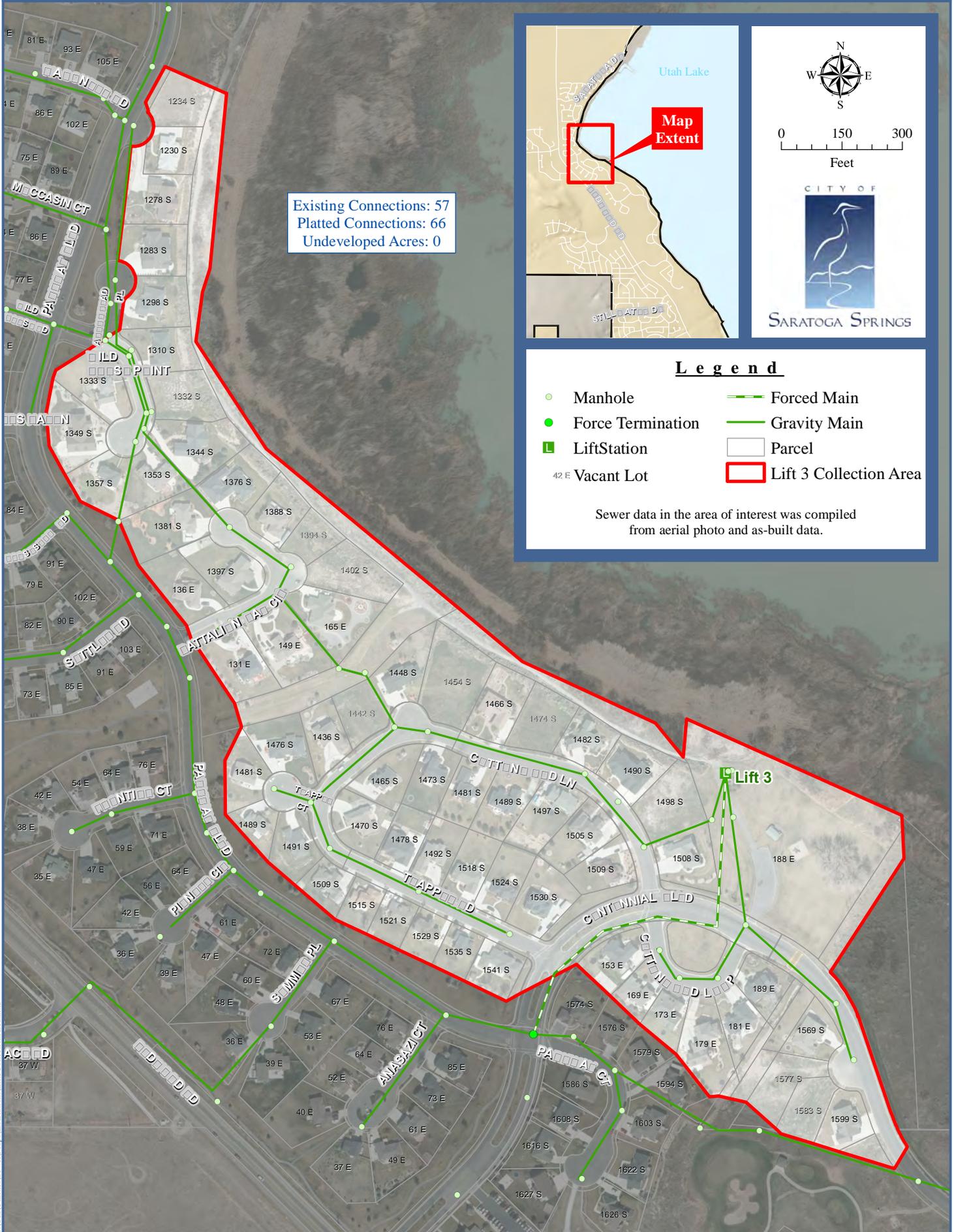
Project SS-S4.1: 700 South - First Half
 Owner: Saratoga Springs

Date: 1/15/2014

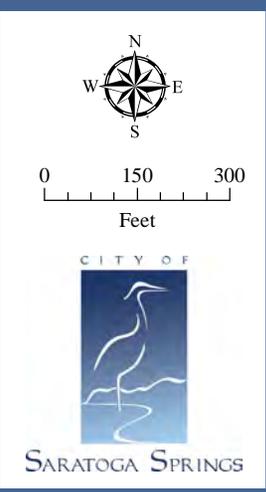
No.	Item	Quantity	Units	Unit Cost	Cost
1					
2	Mobilization, Demobilization, Permits	1	LS	\$552,000	\$552,000
3	Utility Relocation/Reconstruction	1	LS	\$28,000	\$28,000
4	36-inch Pipeline - Installed	5,360	LF	\$349	\$1,868,012
5	30-inch Pipeline - Installed	3,405	LF	\$245	\$835,480
6	Manholes	28	EA	\$10,000	\$280,000
7	Lateral Reconnections	0	EA	\$1,000	\$0
8	Bypass Pumping	1	LS	\$33,000	\$33,000
9	Misc. Surface Restoration (Concrete, landscaping, etc.)	1	LS	\$212,000	\$212,000
10	Asphalt and Base	908	SY	\$47.25	\$42,898
11	Misc. Unlisted Items	5%			\$192,570
12					
13	Construction Subtotal				\$4,043,960
14					
15	Engineering - Design	6%			\$242,638
16	Engineering - Construction Management	6%			\$242,638
17	Legal and Admin. (ROW, Financing, etc.)	3%			\$121,319
18					
19	Total Cost				\$4,650,554

LIFT STATION COLLECTION AREAS

Sewer Lift 3 Collection Area



Existing Connections: 57
 Platted Connections: 66
 Undeveloped Acres: 0



Legend

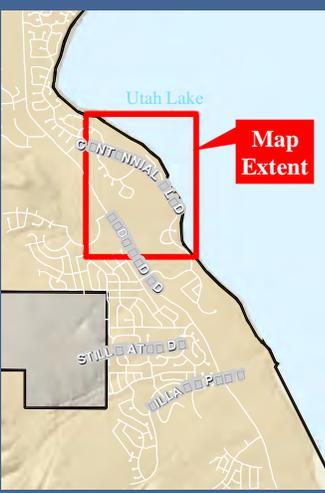
- Manhole
- Force Termination
- Lift Station
- Vacant Lot
- Forced Main
- Gravity Main
- Parcel
- Lift 3 Collection Area

Sewer data in the area of interest was compiled from aerial photo and as-built data.

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Sewer Lift 4 Collection Area

Existing Connections: 34
 Platted Connections: 70
 Undeveloped Acres: 20.7



North arrow and scale bar (0 to 400 Feet).

CITY OF SARATOGA SPRINGS

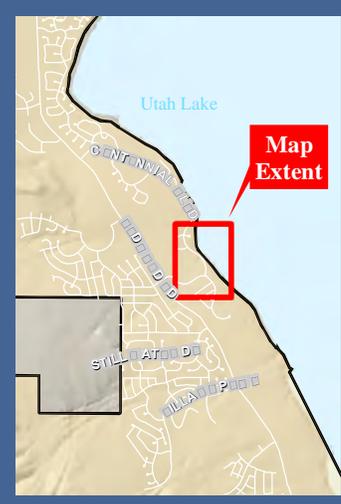
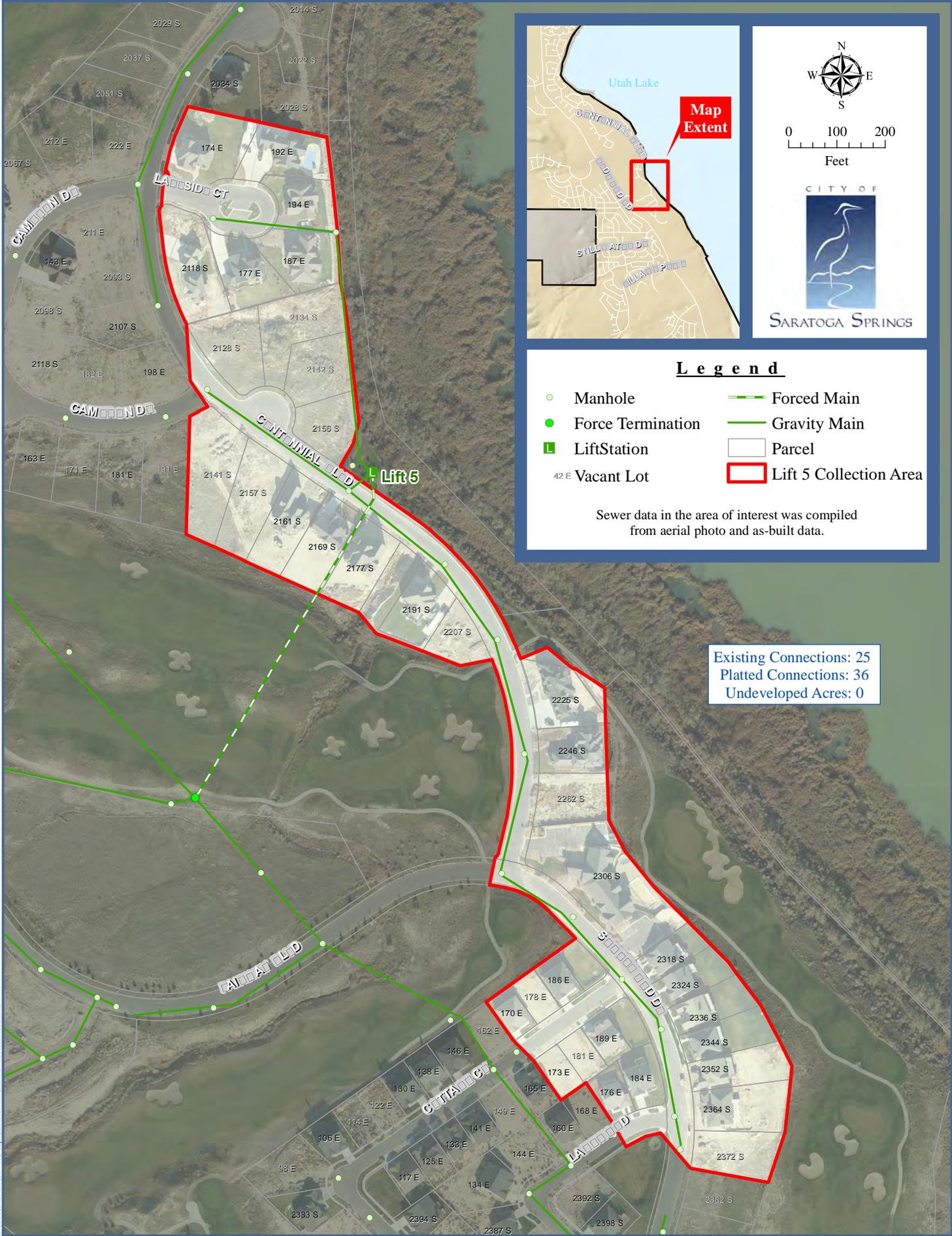
Legend

- Manhole
- Force Termination
- Lift Station
- Vacant Lot
- Forced Main
- Gravity Main
- Parcel
- Lift 4 Collection Area

Sewer data in the area of interest was compiled from aerial photo and as-built data.

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Sewer Lift 5 Collection Area



N
W E
S

0 100 200
Feet

CITY OF
SARATOGA SPRINGS

Legend

- Manhole
- Force Termination
- Lift Station
- Vacant Lot
- Forced Main
- Gravity Main
- Parcel
- Lift 5 Collection Area

Sewer data in the area of interest was compiled from aerial photo and as-built data.

Existing Connections: 25
Platted Connections: 36
Undeveloped Acres: 0

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Sewer Lift 6 Collection Area

Legend

- Manhole
- Force Termination
- L LiftStation
- Vacant Lot
- Forced Main
- Gravity Main
- Parcel
- Lift 6 Collection Area

Sewer data in the area of interest was compiled from aerial photo and as-built data.

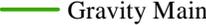
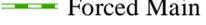
CITY OF
SARATOGA SPRINGS

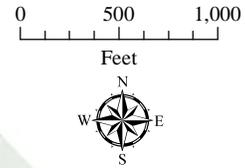


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Sewer: Lift 7 - Harbor Bay Special Service Area

Legend

-  Lift Station 7
-  Gravity Main
-  Forced Main
-  Existing Connection
-  Parcel
-  Lift 7 Service Area
-  North Benefitted Area
-  South Benefitted Area



North Benefitted Area
 Total Connections: 282
 Land Use: Low Density Res., Mixed Lakeshore, NC
 Existing Connections: 0
 Additional Impact Fee Charge: \$646

South Benefitted Area
 Total Connections: 493
 Land Use: Low Density Res., Rural Res.
 Existing Connections: 14
 Additional Impact Fee Charge: \$2,741

Lift Station 7

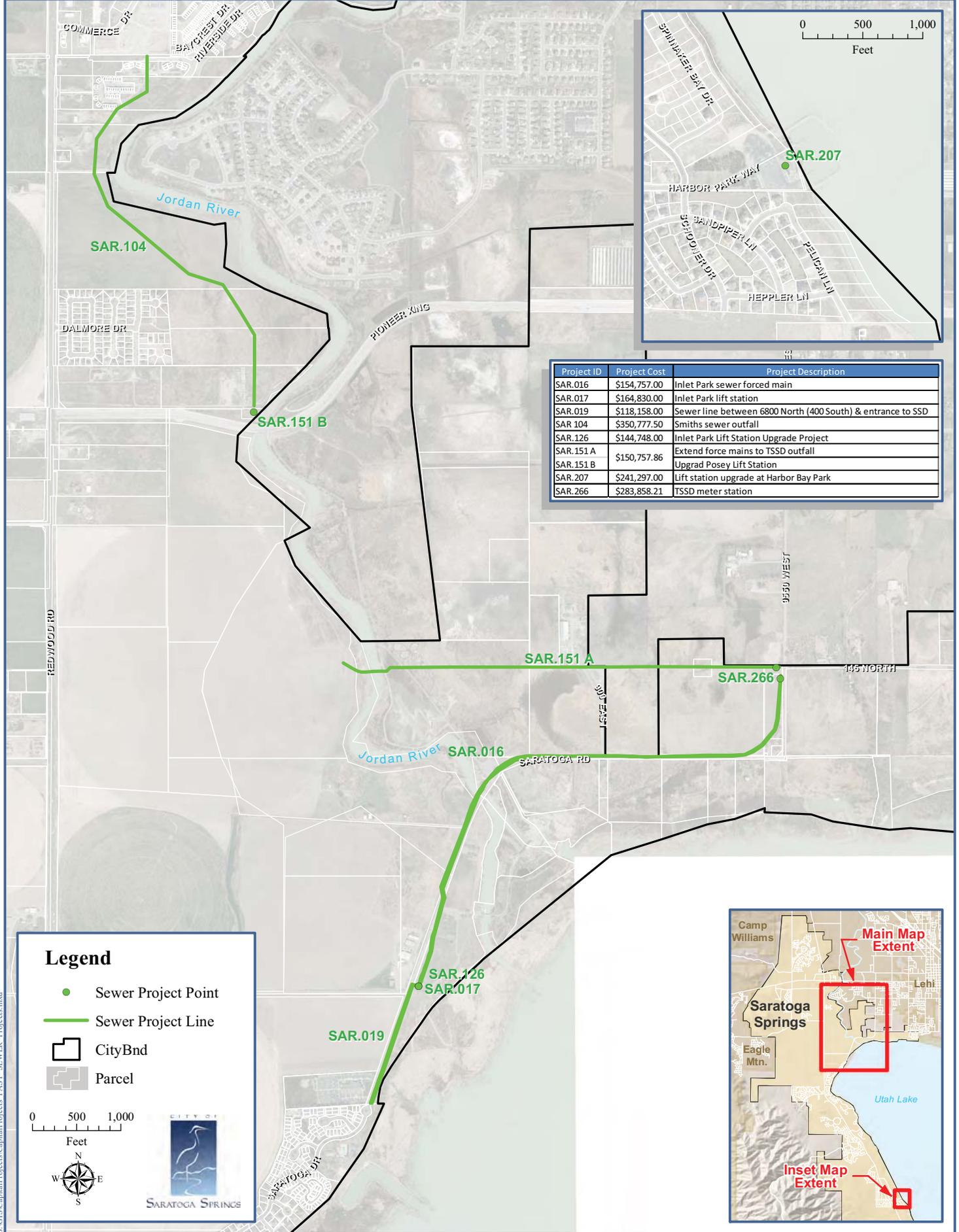
10" Main



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EXISTING CITY FACILITIES

Capital Projects: Sewer

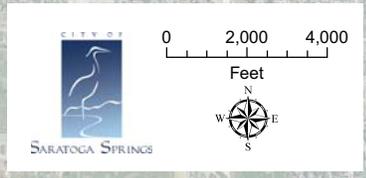


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Sewer Agreements Reimbursement Areas

Legend

- City Boundary
- Lift Station
- Outfall To TSSD
- Posey Lift Station (North)**
 - Posey Service/Agreement Area
 - Phase 1 - Posey Existing Forced Main
 - Phase 2 - Realign Posey Forced Main
 - Phase 3 - North Extension
 - North Extension
- Inlet Lift Station (South)**
 - Inlet Service Area
 - 1999 Agreement & 2000 Ammendment Area
 - 2001 Agreement Area
 - Inlet Force Main
 - Inlet Gravity Main
- Harbor Bay Special Service Area**
 - Service Area
 - North Benefitted Area
 - South Benefitted Area



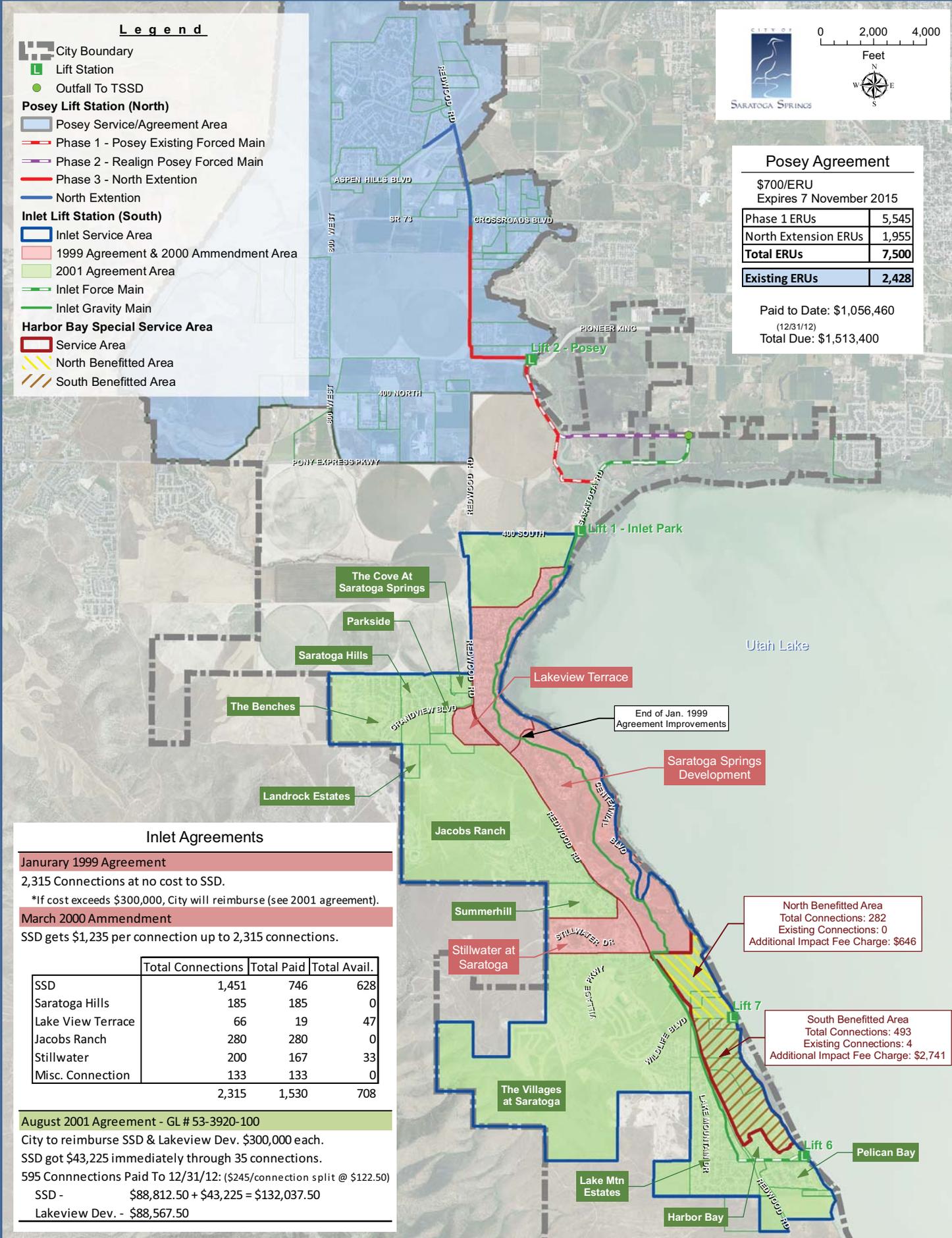
Posey Agreement

\$700/ERU
Expires 7 November 2015

Phase 1 ERUs	5,545
North Extension ERUs	1,955
Total ERUs	7,500

Existing ERUs	2,428
----------------------	--------------

Paid to Date: \$1,056,460
(12/31/12)
Total Due: \$1,513,400



Inlet Agreements

January 1999 Agreement
2,315 Connections at no cost to SSD.
*If cost exceeds \$300,000, City will reimburse (see 2001 agreement).

March 2000 Ammendment
SSD gets \$1,235 per connection up to 2,315 connections.

	Total Connections	Total Paid	Total Avail.
SSD	1,451	746	628
Saratoga Hills	185	185	0
Lake View Terrace	66	19	47
Jacobs Ranch	280	280	0
Stillwater	200	167	33
Misc. Connection	133	133	0
	2,315	1,530	708

August 2001 Agreement - GL # 53-3920-100
City to reimburse SSD & Lakeview Dev. \$300,000 each.
SSD got \$43,225 immediately through 35 connections.
595 Connections Paid To 12/31/12: (\$245/connection split @ \$122.50)
SSD - \$88,812.50 + \$43,225 = \$132,037.50
Lakeview Dev. - \$88,567.50

North Benefitted Area
Total Connections: 282
Existing Connections: 0
Additional Impact Fee Charge: \$646

South Benefitted Area
Total Connections: 493
Existing Connections: 4
Additional Impact Fee Charge: \$2,741

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Salt Lake Area Office:

154 East 14000 South
Draper, Utah 84020
Phone: (801) 495-2224
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Boise Area Office:

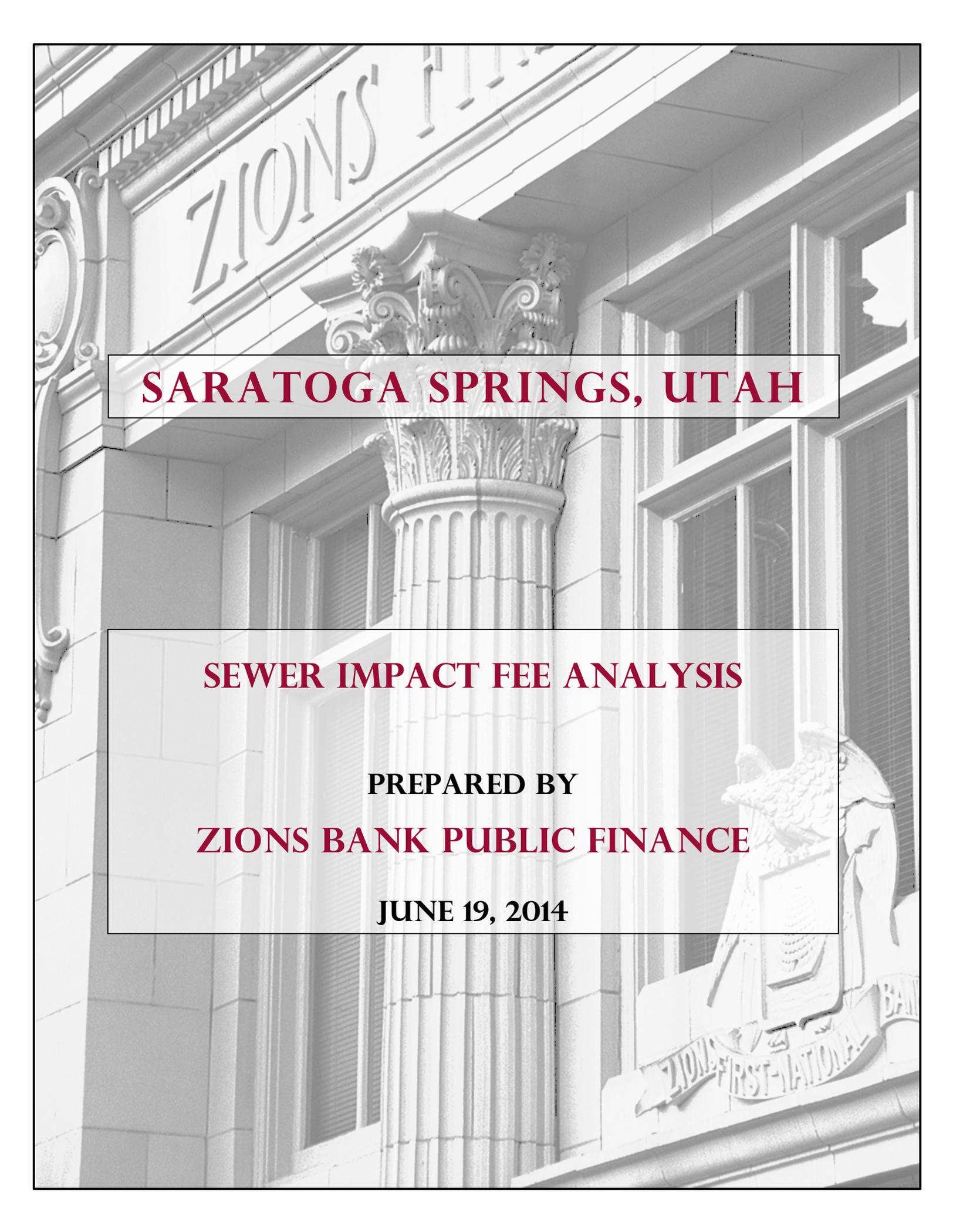
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SARATOGA SPRINGS, UTAH

SEWER IMPACT FEE ANALYSIS

PREPARED BY

ZIONS BANK PUBLIC FINANCE

JUNE 19, 2014

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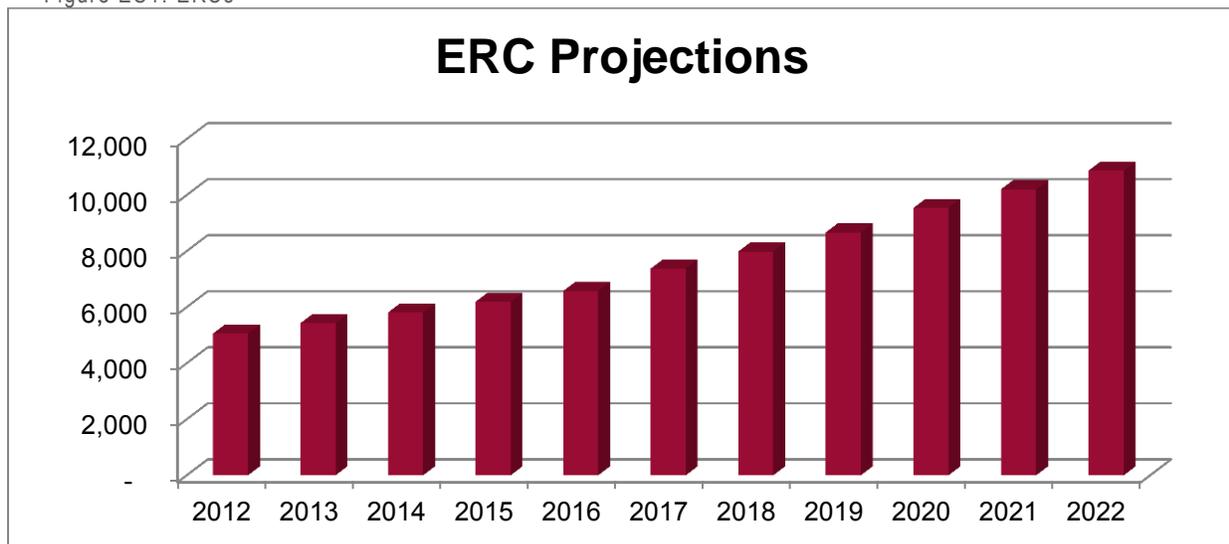
EXECUTIVE SUMMARY

Zions Bank Public Finance (Zions) is pleased to provide the City of Saratoga Springs (the City) with an update to the sanitary sewer collection system impact fees. The following pages summarize the document and tables included. The intent is to provide a concise discussion of the calculation and identification of the recommended maximum legal impact fee.

Growth and ERC Projections

In 2012 the City has a total of 5,059 sewer equivalent residential connection (ERCs)¹. Residential ERCs can be based on population and 40 fixture unit count and easily calculated. In order to calculate the total number of existing ERCs Zions obtained from the City the existing number of residential and non-residential ERCs. The City used an internal database of historic fee schedules to provide the non-residential ERCs. The ERCs were provided by Bowen Cowen & Associates. The following table identifies the current and future ERCs City-Wide. The analysis considers growth over the next ten years. Between now and 2022, ERCs may increase by 5,818 to reach 10,877 by 2022. The Sewer Impact Fee will be broken into four service areas. Bowen Collins & Associates reports that development will occur in the north end of the City by 2,958 ERCs and the south end of the City will increase by 2,860 ERCs.

Figure ES1: ERCs²



Level of Service Definitions

Bowen Collins & Associates defined the City’s level of service in the Capital Facilities Plan. The plans state the following:

Residential development is generally assigned a value of 1 ERC for every dwelling unit. For non-residential development, the City assigns an ERC value based on a fixture count that is performed at the issuance of the Building Permit. The fixture count is based on the International Plumbing Code (IPC), issued by the International Code Council as a method to predict peak water and sewer use by the number of water fixtures and the type of water fixtures a building has. Each fixture type is assigned a load value in water supply fixture units (wsfu). For example, a kitchen sink has a load factor of 1.4 wsfu based on how much water is used at a kitchen sink. A typical residential toilet has a load factor of 2.2 wsfu because a toilet uses more water than a kitchen sink. Once all the fixtures are identified, all the fixture units are added together for a total fixture unit count. The City also uses the IPC as the

¹ Table 3-1 Bowen Collins & Associates Capital Facilities Plan and Impact Fee Facilities Plan

² BC&A IFFP

SECTION B: Impact Fee Analysis



plumbing standards used for plan reviews and building inspections. The IPC fixture count method is used to size the water meter and sewer lateral.

For the evaluation of future growth, it has been assumed that the City will continue to use the IPC fixture unit count method to calculate ERCs. Based on historic City practice, a ¾-inch water meter is the minimum size allowed for a residential connection and all connections are considered to be at least one ERC. The maximum fixture count allowed for a ¾-inch residential water meter is 40. For fixture counts greater than 40, a larger meter will be required and a larger value of ERCs will be calculated.

PROPORTIONATE SHARE ANALYSIS

The Impact Fees Act requires that the impact fee analysis estimate the proportionate share of the costs for existing capacity that will be recouped; and the costs of impacts on system improvements that are reasonably related to the new development activity.

Part of the proportionate share analysis is a consideration of the manner of funding existing public facilities. A City typically funds existing infrastructure through several different funding sources including:

- General Fund Revenues
- User Fees
- Grants
- Bond Proceeds
- Developer Exactions
- Impact Fees

In consideration of future capital improvements, the City will continue using similar funding sources; no grants are being considered or are available at this time. Using impact fees places a burden on future users that is equal to the burden that was borne in the past by existing users. (Utah Impact Fees Act, 11-36a-304(2) (c) (d))

Existing Infrastructure and Capacity to Serve New Growth (Buy-In Component)

The City provided Zions with a list of all City owned assets for the collection system. The documented expenditures of the facilities for the North Service Area (eligible for buy-in) is \$74,530. The South Service Area totals \$130,806 of impact fee eligible expenses. The costs for the City's reimbursements agreements are considered in the analysis. The City has paid out the SSD Inlet Park Lift Station and Sewer Main, the Benches Booster Station and the Benches Saratoga Road Collection Line Agreements. The buyout expense has been included in the analysis. As for other infrastructure, only the original costs of the improvements have been considered. See Appendix 3 for the detailed list of assets for the collection system. An analysis has been completed to identify the capacity to serve new growth. The methodology used by Bowen Collins & Associates in this analysis was to evaluate the capacity that new growth would demand on the existing system. A ten year window of growth was analyzed and the increase of 5,818 ERCs added between now and 2022 will benefit from existing system capacity. Bowen Collins & Associates has determined what percent capacity each existing asset has to serve 10-year growth. This has been built into the fee calculation.

Outstanding and Future Debt/Reimbursement Agreements

The City of Saratoga Springs is a relatively new, high growth city. To help fund the necessary infrastructure that came on quickly with development, the City entered into agreements with developers to fund the projects and provide reimbursement over time. The City has determined that it was best to pay off and settle many of these agreements in 2013. The City used impact fees to pay the agreements in totality. The remaining agreements outstanding are the Harbor Bay Lift Station Agreement in the South Service Area and the Posey Lift Agreement in the North. These agreements are financing mechanisms to purchase existing capacity. The details of these agreements are discussed in detail later and maps of the benefitted areas are included in the Appendix. Some of these agreements create separate service areas for financial reasons only.

SECTION B: Impact Fee Analysis



It is proposed that the City issue future debt to fund the sewer utility in 2014 and in 2018. The debt service schedules and calculations of the percent impact fee qualifying can be found in Appendix 4 & 4.A of this document. An interest rate of 4% was used to calculate the total debt service schedules. The Series 2014 \$5M bond is 14% (total) impact fee qualifying (99% to the SSA and 1% to the NSA) and the Series 2018 \$25M bond is 7% total impact fee qualifying (14% to the SSA and 86% to the NSA). The percent related to growth is based on defining the projects built in the three year spending window from date of issuance, 2014 and 2018 respectively. There are different blends of projects built into each bond, thus you have a different amount that is growth related. Some projects constructed are repair and replacement related only. The 2014 bond has five projects being constructed, while the 2018 only has three. For details on the proportionate share of the bonds please see Appendix 4. There is further discussion about the debt in the body of this document.

Future Capital Improvements

Bowen Collins & Associates provided a list of capital projects to be constructed in the next ten years. The engineers identified the percent of the project that will serve growth through buildout and then a further breakdown of how much the capital project will benefit the 5,818 new ERCs to be added in the next ten years. The 2013 fiscal year total of capital improvements totals \$25,678,254. The total impact fee qualifying future expense for the North Service Area is \$995,238 and the South totals \$799,322.

CALCULATED FEE

The impact fees have been calculated with all the above considerations for four service areas in addition to a Future Treatment Area. The collection fee in the four service areas is calculated per ERC. The Future Treatment Service Area will be exempt from impact fees, but will need to develop plans for conveyance and treatment on its own. The treatment component of Saratoga Springs' sewer utility (treatment fee) is provided by Timpanogos Special Service District (TSSD) and applies to all areas within the city boundary.

SECTION B: Impact Fee Analysis



Figure ES2: Recommended Maximum Legal Collection Fee per ERC for Each Service Area
Saratoga Springs Impact Fee - North Service Area - Posey Lift Station

North Service Area - Posey	Cost	% Impact Fee Qualifying	% to Service Area	Impact Fee Qualifying Cost	ERUs to be Served	Cost per ERU
Collection Impact Fee						
IFFP Projects	\$ 995,238	100%	100%	995,238	2,958	\$ 336
Buy In - Existing Assets	206,388	100%	100%	206,388	2,958	70
Subtotal	\$ 1,201,626	100%		\$ 1,201,626		\$ 406
Debt						
Posey Lift Station - Reimbursement Agreement	1,414,390	100%	100%	1,414,390	2,958	478
Proposed Series 2014 Debt Service	5,081,556	0%	1%	105	2,958	0
Proposed Series 2014 Bond Proceeds	(3,453,000)	0%	1%	(71)	2,958	(0)
Proposed Series 2018 Debt Service	24,595,436	6%	86%	1,251,046	2,958	423
Proposed Series 2018 Bond Proceeds	(16,713,000)	6%	86%	(850,106)	2,958	(287)
Subtotal	\$ 10,925,381			\$ 1,815,363		\$ 614
Impact Fee Fund Balance Credit						
Impact Fee Fund Balance Credit	-	100%		-	2,958	-
Total Impact Fee Per ERU						\$ 1,020

Saratoga Springs Impact Fee - South Service Area

South Service Area	Cost	% Impact Fee Qualifying	% to Service Area	Impact Fee Qualifying Cost	ERUs to be Served	Cost per ERU
Collection Impact Fee						
IFFP Projects	\$ 799,322	100%	100%	\$ 799,322	2,860	\$ 279
Buy In - Existing Assets	797,902	100%	100%	797,902	2,860	279
Subtotal	\$ 1,597,224	100%		\$ 1,597,224		\$ 558
Debt						
Proposed Series 2014 Debt Service	5,081,556	14%	99%	\$ 697,220	2,860	\$ 244
Proposed Series 2014 Bond Proceeds	(3,453,000)	14%	99%	(473,772)	2,860	(166)
Proposed Series 2018 Debt Service	24,595,436	1%	14%	47,096	2,860	16
Proposed Series 2018 Bond Proceeds	(16,713,000)	1%	14%	(32,003)	2,860	(11)
Subtotal	\$ 9,510,992			\$ 238,541		\$ 83
Impact Fee Fund Balance Credit						
Impact Fee Fund Balance Credit	-	100%		-	2,860	-
Total Impact Fee Per ERU						\$ 642

Saratoga Springs Impact Fee - South Service Area - Harbor Bay North Benefitted Area

South Service Area - Harbor Bay North Benefitted Area	Cost	% Impact Fee Qualifying	% to Service Area	Impact Fee Qualifying Cost	ERUs to be Served	Cost per ERU
Collection Impact Fee						
IFFP Projects	\$ 799,322	100%	100%	\$ 799,322	2,860	\$ 279
Buy In - Existing Assets	797,902	100%	100%	797,902	2,860	279
Subtotal	\$ 1,597,224	100%		1,597,224		558
Debt						
Reimbursement Agreement - Harbor Bay Lift Station NBA						\$ 1,346
Proposed Series 2014 Debt Service	5,081,556	14%	99%	697,220	2,860	244
Proposed Series 2014 Bond Proceeds	(3,453,000)	14%	99%	(473,772)	2,860	(166)
Proposed Series 2018 Debt Service	24,595,436	1%	14%	47,096	2,860	16
Proposed Series 2018 Bond Proceeds	(16,713,000)	1%	14%	(32,003)	2,860	(11)
Subtotal	\$ 9,510,992			\$ 238,541		\$ 1,429
Impact Fee Fund Balance Credit						
Impact Fee Fund Balance Credit	-	100%		-	2,860	-
Total Impact Fee Per ERU						\$ 1,987

SECTION B: Impact Fee Analysis



Figure ES2.A: Recommended Maximum Legal Collection Fee per ERC for Each Service Area

South Service Area - Harbor Bay South Benefitted Area	Cost	% Impact Fee Qualifying	% to Service Area	Impact Fee Qualifying Cost	ERUs to be Served	Cost per ERU
Collection Impact Fee						
IFFP Projects	\$ 799,322	100%	100%	\$ 799,322	2,860	\$ 279
Buy In - Existing Assets	797,902	100%	100%	797,902	2,860	279
Subtotal	1,597,224	100%		1,597,224		558
Debt						
Reimbursement Agreement - Harbor Bay Lift Station SBA						\$ 2,938
Proposed Series 2014 Debt Service	5,081,556	14%	99%	697,220	2,860	244
Proposed Series 2014 Bond Proceeds	(3,453,000)	14%	99%	(473,772)	2,860	(166)
Proposed Series 2018 Debt Service	24,595,436	1%	14%	47,096	2,860	16
Proposed Series 2018 Bond Proceeds	(16,713,000)	1%	14%	(32,003)	2,860	(11)
Subtotal	\$ 9,510,992			\$ 238,541		\$ 3,021
Impact Fee Fund Balance Credit						
Impact Fee Fund Balance Credit	-	100%		-	2,860	-
Total Impact Fee Per ERU						\$ 3,580

PROJECT OVERVIEW

Zions Bank Public Finance (Zions) is pleased to provide the City of Saratoga Springs (the City) with an update to the sanitary sewer impact fees. Saratoga Springs realizes that due to the age of its current analysis, as well as changes to the Impact Fees Act, required updates and review of the current impact fees as well as the facility planning are needed. The City is still growing rapidly and has many capital needs. The update to the analysis is an intensive collaborative effort that meets the needs of City Stakeholders and the City. The information used to create this fee analysis was provided by City staff, Zions Bank Public Finance and Bowen Collins & Associates.

The goal of the impact fee analysis is to calculate the maximum impact fee that may be assessed to new development and ensure the fee meets the requirements of the Impact Fees Act, Utah Code 11-36a-101 *et seq.* The sections and subsections of the impact fee analysis will directly address the following items, required by the code:

- Impact Fee Analysis Requirements (Utah Code 11-36a-304)
- Identify Existing Capacity to serve growth
 - Proportionate Share Analysis
- Identify the level of service
- Identify the impact of future development on existing and future improvements
- Calculated Fee (Utah Code 11-36a-305)
- Certification (Utah Code 11-36a-306)

IMPACT FEE ANALYSIS REQUIREMENTS

Service Area

For the purpose of impact fees, the City's overall service area has been divided into three major impact fee areas (with two additional subareas). These impact fee areas are shown in the Sewer IFFP and include the following:

North Service Area – Through the middle of the City is a major sewer trunk line owned by Eagle Mountain. The size and depth of this trunk line effectively blocks Saratoga Springs sewer drainage facilities from moving from one side of the City to the other. As a result, the City essentially operates two separate systems until their combination point at the TSSD outfall at the east end of the City. The north portion of this area will be identified in this report as the North Service Area.

South Service Area – Most of the area south of the Eagle Mountain trunk line has been identified as the South Service Area. Within this area are two subareas that must be considered for impact fee purposes. This includes the North and South Benefited Areas of the Harbor Bay Lift Station. These areas are functionally part of the South Service area but include additional reimbursement agreements that affect development that falls within the areas. A detailed figure identifying these subareas and their associated facilities has been included in the appendix of this report.

Future Treatment Service Area – As part of previous master plans, it was decided that the City collection system would only extend to the south as far as the service area of the Marina Lift station. All areas to the south of this boundary will be served by a future treatment plant. As a result, development in this service area will be exempt from impact fees, but will need to develop plans for conveyance and treatment on its own.

Growth and ERC Projections

The driving force of a sewer collection impact fee analysis is the Equivalent Residential Connection (ERC). The Impact Fee Facilities Plan defines an ERC as 40 fixture units³. Currently the City has 5,059 equivalent residential

³ Page 3-1 Bowen Collins & Associates Capital Facilities Plan and Impact Fee Facilities Plan

connections. In the next ten years it is anticipated that the City will grow to 10,877⁴ ERCs (an increase of 5,818 ERCs). The ERCs and the percent increase are displayed below.

Figure 1: ERCs

	ERU Projections	% Increase
2012	5,059	
2013	5,430	7%
2014	5,812	7%
2015	6,194	6%
2016	6,576	6%
2017	7,377	11%
2018	7,986	8%
2019	8,671	8%
2020	9,541	9%
2021	10,207	7%
2022	10,877	6%

There will be significant growth expected within the City’s boundaries and increase demand on the City’s collection facilities that exist currently and will also require new projects to meet further demand. The area is growing at a very rapid pace. The growth projections in both population and ERCs can be found in the Appendix of this document.

The North Service Area will increase by 2,958 ERCs in ten years and the South will add 2,860 ERCs by 2022.

Level of Service Definitions

Residential development is generally assigned a value of 1 ERC for every dwelling unit. For non-residential development, the City assigns an ERC value based on a fixture count that is performed at the issuance of the Building Permit. The fixture count is based on the International Plumbing Code (IPC), issued by the International Code Council as a method to predict peak water and sewer use by the number of water fixtures and the type of water fixtures a building has. Each fixture type is assigned a load value in water supply fixture units (wsfu). For example, a kitchen sink has a load factor of 1.4 wsfu based on how much water is used at a kitchen sink. A typical residential toilet has a load factor of 2.2 wsfu because a toilet uses more water than a kitchen sink. Once all the fixtures are identified, all the fixture units are added together for a total fixture unit count. The City also uses the IPC as the plumbing standards used for plan reviews and building inspections. The IPC fixture count method is used to size the water meter and sewer lateral.

For the evaluation of future growth, it has been assumed that the City will continue to use the IPC fixture unit count method to calculate ERCs. Based on historic City practice, a ¾-inch water meter is the minimum size allowed for a residential connection and all connections are considered to be at least one ERC. The maximum fixture count allowed for a ¾-inch residential water meter is 40. For fixture counts greater than 40, a larger meter will be required and a larger value of ERCs will be calculated.

Therefore the City has defined the current level of service for this impact fee analysis as:

- Sewer: 40 fixtures units

⁴ Page 3-2 Bowen Collins & Associates Capital Facilities Plan and Impact Fee Facilities Plan

Existing Infrastructure and Capacity to Serve New Growth (Buy-In Component)

Appendix 3 provides an expense report for the assets owned and operated by Saratoga Springs for collection/outfall lines and other assets. Included with the assets are the original dates of construction or acquisition and the original cost of the collection component of the sanitary sewer system. Pioneering Agreements are also financing elements that the City has used to fund existing capacity. The cost retired for the agreements as well as the fee outstanding per ERC has been included in the analysis. An analysis has been completed to identify the capacity to serve new growth. Bowen Collins & Associates has determined that the percent of existing capacity to serve 10-year growth and this amount, per asset, has been included in the IFA. Full details are found in Appendix 3 and Section H of this document.

Treatment

Timpanogos Special Service District provides the City treatment for the sewer utility (sewer treatment fee assessed).

Debt/Pioneering and Development Agreements

There are two proposed future bonds anticipated in this analysis. The capital projects defined in the Impact Fee Facilities Plan require other funding sources outside of rates and fees. The Series 2014 \$3.4M bond is 14.1% (total) impact fee qualifying (99% to the SSA and 1% to the NSA) and the Series 2018 \$16.7M bond is 7% total impact fee qualifying (14% to the SSA and 86% to the NSA). The percent related to growth is based on defining the projects built in the three year spending window from date of issuance, 2014 and 2018 respectively. There are different blends of projects built into each bond, thus you have a different amount that is growth related. Some projects constructed are repair and replacement related only. The 2014 bond has four projects being constructed, and the 2018 has four as well. The debt service schedules and calculations of impact fee qualifying percentages are found in Appendix 4 and 4.A of this document. The Debt Service calculations include a 4% interest rate and a 20 year term.

Posey Lift Agreement

The developers have agreed to a \$700 reimbursement for the assets they have constructed in Saratoga Springs. The agreement and payment of the \$700 per ERC will continue until March 31, 2020. This agreement includes the installed assets of a gravity sewer line and improvements and lift station from the Crossroads area to the TSSD sewer trunk line at Saratoga Road. The development also included a sewer line extension from the end of the gravity sewer line (discussed above) at the Four Corners to the entrance of the "Harvest Hills Planned Residential Community". To fairly incorporate the fee across the ten year horizon, we determined the amount to be paid by the new ERCs the fee would be collected from now until the expiration date of the agreement ($\$1,414,389 = \700×2020 new ERCS) then spread the cost over the entire 10 yr. period.

Harbor Bay Lift Station

Impact fees are used to reimburse the developer for the Harbor Lift Station. The lift station benefits what is defined in the agreement as the Harbor Bay Service Area. The agreement identifies that the improvements only benefit this area and nowhere else. The agreement includes the following facilities at the following costs:

The documented costs total \$578,335.80 for the Phases 4 & 5 of Harbor Bay Subdivision. The costs for the sewer outfall line from El Nautica to Harbor Bay totals \$784,951.40 and the costs of the lift station totals \$1,042,850.56.

The costs of the facilities were apportioned by the appropriate benefitted areas. All of the Harbor Bay Special Service Area will benefit from the Lift Station and Pressure Line. However, only the property south of the new lift station and the pressure line, defined as the "South Benefitted Area" will utilize the Gravity Line Phase I and II. Area north of the lift station will have to bear the cost of a future gravity line to connect to the lift station (detailed plans not identified at time of agreement). Therefore, there are additional costs for the South Benefitted Area.

- North Benefitted Area: \$1,345.61 per ERC in addition to City's Impact Fee, up to 282 units
- South Benefitted Area: \$2,937.81 per ERC in addition to City's Impact Fee

PROPORTIONATE SHARE ANALYSIS

The Impact Fees Act requires that the impact fee analysis estimate the proportionate share of the costs for existing capacity that will be recouped; and the costs of impacts on system improvements that are reasonably related to the new development activity.

Saratoga Springs continues to grow and there is still expansion in the area. The capital improvement plan clearly defines what projects are growth related, repair and replacement, or pipe upsizing (the upsizing may include some element of growth). The projects are detailed later in the Future Capital Projects section.

Part of the proportionate share analysis is a consideration of the manner of funding existing public facilities. Historically the City has funded existing infrastructure through several different funding sources including:

- General Fund Revenues
- User Rates
- Grants
- Bond Proceeds
- Developer Exactions
- Impact Fees

In calculating the buy-in component (for existing infrastructure capacity) of this analysis no grant funded infrastructure has been included. Once the grant funding projects have been removed, all remaining infrastructure has been funded by existing residents. In order to ensure fairness to existing users, impact fees are an appropriate means of funding future capital infrastructure. Using impact fees places a burden on future users that is equal to the burden that was borne in the past by existing users. (Utah Impact Fees Act, 11-36a-304(2) (c) (d))

Just as existing infrastructure has been funded through different means; it is required by the Impact Fees Act to evaluate all means of funding future capital. There are positive and negative aspects to the various forms of funding. It is important to evaluate each.

General Fund/User Rates

The general fund and user rates have both been funded in one form or another by existing users. It would be an additional burden to existing users to use this revenue source to fund future capital to meet the needs of future users. This is not an equitable policy and can place too much stress on the tight budgets of the general fund and other user rate funds. The sewer rates in Saratoga Springs are dedicated to payments on the public works building, operation and maintenance, repair and replacement and ensuring a stable reserve for maintaining a good credit rating.

Bond Proceeds

Based on lack of impact fee reserves and cash funding available for the sewer projects needed for the future, the City anticipates issuing debt for capital projects. It is important to note that it is anticipated the impact fees will fund the eligible portions of the proposed debt.

Property Taxes

It is true that property taxes may be a stable source of income. However, property taxes are not based on impact placed upon a system. Property taxes are based upon property valuation. Using property taxes to fund future capital again places too much burden on existing users and subsidizes growth. The financial audits for the City do not show a line item for property taxes as a revenue stream for sanitary sewer, thus any property taxes collected on the property being developed is not being used to fund infrastructure or operation and maintenance of the sewer system.

SECTION B: Impact Fee Analysis



Impact Fees

Impact fees are a fair and equitable means of providing infrastructure for future development. They provide a rational nexus between the costs borne in the past and the costs required in the future. The Impact Fees Act ensures that future development is not paying any more than what future growth will demand. Existing users and future users receive equal treatment; therefore impact fees are the optimal funding mechanism for future growth related capital needs.

Developer Credits

If projects included in the Impact Fee Facilities Plan (or a project that will offset the demand for a system improvement that is listed in the IFFP) are constructed by developers, that developer is entitled to a credit against impact fees owed. (Utah Impact Fees Act, 11-36a-304(2) (f))

Other

In this particular analysis, there is also a credit for unspent impact fee revenues collected in the past. The current impact fee fund balance for sewer was credited against the fee.

Impact Fee Facilities Plan – Future Capital Projects

The Impact Fee Facilities Plan developed the following capital projects, helped determine the timing and identified what was growth related, and of that amount, how much of the total capacity will be realized in the next ten years (% Impact Fee Qualifying & Impact Fee Qualifying Cost).

Figure 2: Capital Projects

Project Name	Year to be Constructed	FY2013 Cost	Total Construction Cost	% Impact Fee Qualifying	Impact Fee Qualifying Cost (Present Value)	Remaining Growth Related	Non Growth Related
South Service Area							
SS-S1.1 River Crossing Alignment & Preliminary Design Study*	2014	\$ 49,154	\$ 49,154	10%	\$ 4,691	\$ 40,588	\$ 3,875
SS-S1.2 River Crossing Trunk Phase 2, Bridge or Siphon*	2018	565,760	565,760	10%	53,999	467,171	44,590
SS-S 1.3 River Crossing Trunk Phase 3, Outfall*	2018	1,801,486	1,801,486	10%	171,942	1,487,561	141,983
SS-S 2.1 Inlet Park Trunk Phase 1, Near Lift Station	2014	1,399,000	1,399,000	16%	227,132	1,171,868	-
SS-S 2.2 Inlet Park Trunk Phase 2, Golf Course Main	2015	1,654,000	1,654,000	13%	213,386	1,232,397	208,217
SS-L1 Lift Station 1 Pump Upgrade	2015	300,000	300,000	12%	35,644	264,356	-
SS-S4.1 700 South Trunk First Half	2022	4,650,600	4,650,600	2%	92,528	4,558,072	-
South Service Area Subtotal		\$ 10,420,000	\$ 10,420,000		\$ 799,322	\$ 9,222,013	\$ 398,665
North Service Area							
SS-S1.1 River Crossing Alignment & Preliminary Design Study*	2014	\$ 50,846	\$ 50,846	10%	\$ 4,853	\$ 41,986	\$ 4,007
SS-S1.2 River Crossing Trunk Phase 2, Bridge or Siphon*	2018	585,240	585,240	10%	55,858	483,257	46,125
SS-S 1.3 River Crossing Trunk Phase 3, Outfall*	2018	1,863,514	1,863,514	10%	177,862	1,538,780	146,872
SS-N 1.0 North Trunk	2018	9,546,000	9,546,000	7%	683,841	7,949,215	912,944
SS-N2 200 West Trunk	2020	2,351,000	2,351,000	3%	72,824	2,278,176	-
North Service Area Subtotal		\$ 14,396,600	\$ 14,396,600		\$ 995,238	\$ 12,291,414	\$ 1,109,948
Ten Year Total		\$ 25,678,254	\$ 25,678,254		\$ 1,794,560	\$ 21,513,427	\$ 2,370,267

CALCULATED FEE

The collection impact fees have been calculated with all the above considerations for the four service areas. The fee is calculated per a single ERC. The fees per ERC can be found in Figure 3. These tables can also be found in Appendix 5.

Figure 3: Recommended Maximum Legal Fee Collection Fee per ERC

Saratoga Springs Impact Fee - North Service Area - PoseyLift Station

North Service Area - Posey	Cost	% Impact Fee Qualifying	% to Service Area	Impact Fee Qualifying Cost	ERUs to be Served	Cost per ERU
Collection Impact Fee						
IFFP Projects	\$ 995,238	100%	100%	995,238	2,958	\$ 336
Buy In - Existing Assets	206,388	100%	100%	206,388	2,958	70
Subtotal	\$ 1,201,626	100%		\$ 1,201,626		\$ 406
Debt						
Posey Lift Station - Reimbursement Agreement	1,414,390	100%	100%	1,414,390	2,958	478
Proposed Series 2014 Debt Service	5,081,556	0%	1%	105	2,958	0
Proposed Series 2014 Bond Proceeds	(3,453,000)	0%	1%	(71)	2,958	(0)
Proposed Series 2018 Debt Service	24,595,436	6%	86%	1,251,046	2,958	423
Proposed Series 2018 Bond Proceeds	(16,713,000)	6%	86%	(850,106)	2,958	(287)
Subtotal	\$ 10,925,381			\$ 1,815,363		\$ 614
Impact Fee Fund Balance Credit						
Impact Fee Fund Balance Credit	-	100%		-	2,958	-
Total Impact Fee Per ERU						\$ 1,020

Saratoga Springs Impact Fee - South Service Area

South Service Area	Cost	% Impact Fee Qualifying	% to Service Area	Impact Fee Qualifying Cost	ERUs to be Served	Cost per ERU
Collection Impact Fee						
IFFP Projects	\$ 799,322	100%	100%	\$ 799,322	2,860	\$ 279
Buy In - Existing Assets	797,902	100%	100%	797,902	2,860	279
Subtotal	\$ 1,597,224	100%		\$ 1,597,224		\$ 558
Debt						
Proposed Series 2014 Debt Service	5,081,556	14%	99%	\$ 697,220	2,860	\$ 244
Proposed Series 2014 Bond Proceeds	(3,453,000)	14%	99%	(473,772)	2,860	(166)
Proposed Series 2018 Debt Service	24,595,436	1%	14%	47,096	2,860	16
Proposed Series 2018 Bond Proceeds	(16,713,000)	1%	14%	(32,003)	2,860	(11)
Subtotal	\$ 9,510,992			\$ 238,541		\$ 83
Impact Fee Fund Balance Credit						
Impact Fee Fund Balance Credit	-	100%		-	2,860	-
Total Impact Fee Per ERU						\$ 642

Saratoga Springs Impact Fee - South Service Area - Harbor Bay North Benefitted Area

South Service Area - Harbor Bay North Benefitted Area	Cost	% Impact Fee Qualifying	% to Service Area	Impact Fee Qualifying Cost	ERUs to be Served	Cost per ERU
Collection Impact Fee						
IFFP Projects	\$ 799,322	100%	100%	\$ 799,322	2,860	\$ 279
Buy In - Existing Assets	797,902	100%	100%	797,902	2,860	279
Subtotal	\$ 1,597,224	100%		1,597,224		558
Debt						
Reimbursement Agreement - Harbor Bay Lift Station NBA						\$ 1,346
Proposed Series 2014 Debt Service	5,081,556	14%	99%	697,220	2,860	244
Proposed Series 2014 Bond Proceeds	(3,453,000)	14%	99%	(473,772)	2,860	(166)
Proposed Series 2018 Debt Service	24,595,436	1%	14%	47,096	2,860	16
Proposed Series 2018 Bond Proceeds	(16,713,000)	1%	14%	(32,003)	2,860	(11)
Subtotal	\$ 9,510,992			\$ 238,541		\$ 1,429
Impact Fee Fund Balance Credit						
Impact Fee Fund Balance Credit	-	100%		-	2,860	-
Total Impact Fee Per ERU						\$ 1,987

SECTION B: Impact Fee Analysis



Saratoga Springs Impact Fee - South Service Area - Harbor Bay South Benefitted Area

South Service Area - Harbor Bay South Benefitted Area	Cost	% Impact Fee Qualifying	% to Service Area	Impact Fee Qualifying Cost	ERUs to be Served	Cost per ERU
Collection Impact Fee						
IFFP Projects	\$ 799,322	100%	100%	\$ 799,322	2,860	\$ 279
Buy In - Existing Assets	797,902	100%	100%	797,902	2,860	279
Subtotal	1,597,224	100%		1,597,224		558
Debt						
Reimbursement Agreement - Harbor Bay Lift Station SBA						\$ 2,938
Proposed Series 2014 Debt Service	5,081,556	14%	99%	697,220	2,860	244
Proposed Series 2014 Bond Proceeds	(3,453,000)	14%	99%	(473,772)	2,860	(166)
Proposed Series 2018 Debt Service	24,595,436	1%	14%	47,096	2,860	16
Proposed Series 2018 Bond Proceeds	(16,713,000)	1%	14%	(32,003)	2,860	(11)
Subtotal	\$ 9,510,992			\$ 238,541		\$ 3,021
Impact Fee Fund Balance Credit						
Impact Fee Fund Balance Credit	-	100%		-	2,860	-
Total Impact Fee Per ERU						\$ 3,580

SECTION C: Impact Fee Certification



In accordance with Utah Code Annotated, 11-36a-306(2), Matthew Millis on behalf of Zions Bank Public Finance, makes the following certification:

I certify that the attached impact fee analysis:

1. includes only the cost of public facilities that are:
 - a. allowed under the Impact Fees Act; and
 - b. actually incurred; or
 - c. projected to be incurred or encumbered within six years after the day on which each impact fee is paid;
2. does not include:
 - a. costs of operation and maintenance of public facilities;
 - b. cost of qualifying public facilities that will raise the level of service for the facilities, through impact fees, above the level of service that is supported by existing residents;
 - c. an expense for overhead, unless the expense is calculated pursuant to a methodology that is consistent with generally accepted cost accounting practices and the methodological standards set forth by the federal Office of Management and Budget for federal grant reimbursement;
3. offset costs with grants or other alternate sources of payment; and
4. complies in each and every relevant respect with the Impact Fees Act.

Matthew Millis makes this certification with the following caveats:

1. All of the recommendations for implementations of the Impact Fee Facilities Plans ("IFFPs") made in the IFFP documents or in the impact fee analysis documents are followed in their entirety by Saratoga Springs staff and elected officials.
2. If all or a portion of the IFFPs or impact fee analyses are modified or amended, this certification is no longer valid.
3. All information provided to Zions Bank Public Finance, its contractors or suppliers is assumed to be correct, complete and accurate. This includes information provided by Saratoga Springs and outside sources. Copies of letters requesting data are included as appendices to the IFFPs and the impact fee analysis.

Dated: July 3, 2014

ZIONS BANK PUBLIC FINANCE

A handwritten signature in black ink, appearing to read 'Matthew Millis', written over a horizontal line.

By Matthew Millis



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The notices found in this section were sent to the following parties on July 28th, 2011:

- AGRC
- Alpine School District
- Bureau of Reclamation
- Comcast
- Eagle Mountain City
- Governor's Office of Planning and Budget
- Lehi City
- MountainLand Association of Governments
- Questar Corporation
- Qwest Communications
- Rocky Mountain Power
- Timpanogos Special Service District
- Utah County Commission
- Utah County Public Works
- Utah Department of Transportation
- Utah Lake Distributing Canal Company
- Welby Jacobs Water Users Company

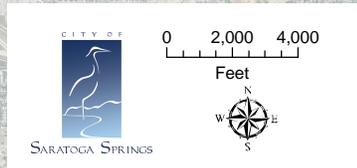


SECTION F: Supplemental Information



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Impact Fee Analysis - Sewer Service Areas



North Service Area - Posey
Total Impact Fee Per ERU: \$1,020

South Service Area
Total Impact Fee Per ERU: \$642

South Service Area
Harbor Bay North Benefitted Area
Total Impact Fee Per ERU: \$1,987

South Service Area
Harbor Bay South Benefitted Area
Total Impact Fee Per ERU: \$3,580

Future Treatment Area

- Legend**
- City Boundary
 - North Service Area - Posey
 - South Service Area
 - Future Treatment Area
 - Harbor Bay Special Service Area
 - Service Area
 - North Benefitted Area
 - South Benefitted Area

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Concept Plan
Saratoga Springs South Stake Center (LDS Church Building)
(Israel Canyon Stake Center)
July 15, 2014
Public Meeting

Report Date:	July 8, 2014
Applicant/Owner:	Evans and Associates Architecture
Location:	~3300 South Village Parkway
Major Street Access:	Village Parkway
Parcel Number(s) & Size:	59:013:0034 (~5.14 acres)
Parcel Zoning:	R-3 PUD, Low Density Residential Planned Unit Development
Adjacent Zoning:	R-3 PUD
Current Use of Parcel:	Vacant
Adjacent Uses:	Single Family Residential
Previous Meetings:	Not applicable
Previous Approvals:	Villages at Fox Hollow 2 nd MDA, 4-16-2013;
Land Use Authority:	Review by Planning Commission and City Council is required
Future Routing:	Public meeting with City Council
Author:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for review of a Concept Plan for the Saratoga Springs South Stake Center, located at approximately 3300 South Villages Parkway.

Recommendation:

Staff recommends that the City Council conduct a public meeting and provide informal direction to the applicant and staff regarding the conceptual subdivision. No official motion or recommendation is provided for Concept Plans.

B. Background:

The concept plan has been reviewed by staff and this report provides direction to the applicant from the Development Review Committee (DRC). The Planning Commission and City Council will also provide direction at the public meetings.

On February 4, 2014, the City Council approved a subdivision exception which allowed parcel lines to be modified outside of the formal subdivision process. The purpose of this approval was to allow the parcel lines to be moved to locations that match the proposed master plan and allow the LDS Church to purchase the property. A preliminary and final plat application will still be required, and this has been included as a recommendation in section I of this report.

C. Specific Request:

This is a request for concept plan review of the proposed LDS church to be located at approximately 3300 South Villages Parkway. The site includes a church building and associated parking and landscaping. The applicant is requesting feedback on the proposed site lighting and landscape plan. In the past the City has allowed fixtures that differ from the City standard (attached) and has allowed less than 50% turf. The plans indicate 15% turf. In place of turf, the applicant is requesting large planter beds and the proposed plant count far exceeds the Code requirements. The landscaping is reviewed further later in this report.

D. Process:

Per section 19.13.04(6) of the City Code, a Concept Plan application shall be submitted before the filing of an application for Subdivision or Site Plan approval. The Concept Plan review involves an informal review of the plan by the DRC, Planning Commission and City Council to guide the developer in the preparation of subsequent applications.

E. Community Review:

There is no requirement to notice concept plans because the comments received from the Planning Commission or City Council are not binding. Formal community interaction will occur once a public hearing is scheduled as part of the site plan and/or subdivision review.

The Planning Commission reviewed the proposed Concept Plan on June 26, 2014 and the majority of the commissioners supported the requested landscape reduction and that the parking lot lights match the City standard. Commissioner Steele expressed mixed feelings about the landscape reduction and would like to see more turf. Commissioner Steele also recommended that the accessible parking stalls be located as close as possible to the main entrance. The applicant stated the proposed location for those stalls was due to grade.

F. Review:

"The Villages at Saratoga Springs (Fox Hollow) Second Master Development Agreement" (MDA) applies to this property. The infrastructure and open space requirements listed in that agreement are required to develop this site. The MDA requires a proportionate share of open space, roads and utilities. This will be reviewed further with the preliminary plat and/or site plan application(s).

G. General Plan:

The General Plan designates this area for Low Density Residential development and states "The Low Density Residential designation is designed to provide areas for residential subdivisions with an overall density of 1 to 4 units per acre."

Finding: consistent. The proposed plan consists of a church building which will offer religious services to the general public. Churches are listed as a conditional use in the R-3, Low Density Residential, zone and are thus anticipated uses within this land use category.

H. Code Criteria:

Section 19.12.03 of the City Code states: "All subdivisions are subject to the provisions of Chapter 19.13, Development Review Process". The following criteria are pertinent requirements for Preliminary Plats listed in Sections 19.12 (Subdivision Requirements) and 19.04.13 (R-3 Requirements) of the City Code.

Permitted or Conditional Uses: complies. Section 19.04.13(2 & 3) lists all of the permitted and conditional uses allowed in the R-3 zone. Churches are a conditional use in the R-3 zone. A conditional use application will be required in conjunction with the site plan application.

Minimum Lot Sizes: complies. 19.04.13(4) states that the minimum lot size for non-residential uses is one acre. The subject property is 5.12 acres.

Setbacks and Yard Requirements: complies. Section 19.04.13(5) outlines the setbacks required by the R-3 zone. These requirements are:

- Front:** Not less than twenty-five feet.
- Sides:** 8/20 feet (minimum/combined)
- Rear:** Not less than twenty-five feet
- Corner:** Front 25 feet; Side abutting street 20 feet

The setbacks indicated on the plans exceed these requirements.

Parking: complies. Updates to Section 19.09.11 were adopted by the City Council on June 3, 2014. This Section requires churches to provide 1 stall for every three seats and allows this requirement to be exceeded by more than 25%. The chapel can seat 286 patrons; thus, 95 parking stalls are required. The proposed plans include 259 stalls.

Fencing: can comply. Section 19.06.09 requires fencing along property lines abutting open space, parks, trails, and easement corridors. In addition, fencing may also be required adjacent to undeveloped properties. Staff recommends that the applicant provide fencing around the site since the abutting property is undeveloped.

Open Space: complies. The City Code requires a minimum 15% open space. This church will be serving nearby residents and park space has already been or will be provided within the nearby developments. The proposed plans indicate 30.37% landscaping.

Sensitive Lands: complies. No sensitive lands exist on the site.

Landscaping: up for discussion. The attached drawings (sheet C4.01, Architectural Site Plan) indicates 99,216 square feet of landscaping which requires 40 deciduous trees at 2.5" caliper, 33 evergreen trees at 6 feet in height, 126 shrubs, and 50% turf. The code states "The City Council shall have the authority to adjust these standards as circumstances dictate."

The applicant is requesting the sod requirement be reduced to 15% sod for this site. In exchange for this reduction they are willing to exceed all of the plant count requirements and are proposing: 114 deciduous trees at 2" caliper plus 36 deciduous trees at 6'-8' height, 26 evergreen trees at 7'-8' height, 679 five-gallon shrubs, and 201 grasses.

Staff recommends that at least 40 of the deciduous trees be increased in size to 2.5" caliper.

Access: complies. The plans indicate two points of access onto a collector road. The north access will be a right in/right out access. The southern access is a full movement access and lines up with the intersection of Villages Parkway and Wildlife Boulevard.

Lighting: up for discussion. Section 19.14.04(7)(iii) states "All streetlights and interior parking lot lights shall meet the City's adopted design standards for lighting." In the past the City has approved the attached light for institutional development. However, this does not match the City standard.

I. Recommendation and Alternatives:

No official action should be taken. The Planning Commission and City Council should provide general direction and input to help the developer prepare for formal subdivision application.

Staff recommends:

1. That all requirements of the City Engineer be met, including those listed in the attached staff report.
2. That all requirements of the Fire Chief be met.

3. A conditional use application is required in conjunction with the site plan application.
4. The infrastructure, roads and open space required by the MDA will be reviewed further with the preliminary plat and/or site plan application(s).
5. Preliminary and Final plat applications are required to formalize the subject lot.
6. The majority of the Planning Commissioners supported the request for reduced turf and supported the use of parking lot lights that match the City standard.
7. That the City Council provide the applicant with feedback on the proposed lights and landscaping.

J. Exhibits:

1. Engineering Report
2. Zoning / Location map
3. Planning Commission DRAFT Minutes, 6/26/14
4. Proposed Conceptual Site Plan
5. Proposed Landscaping
6. Proposed lights

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Saratoga Springs South Stake Center
Date: June 26, 2014
Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

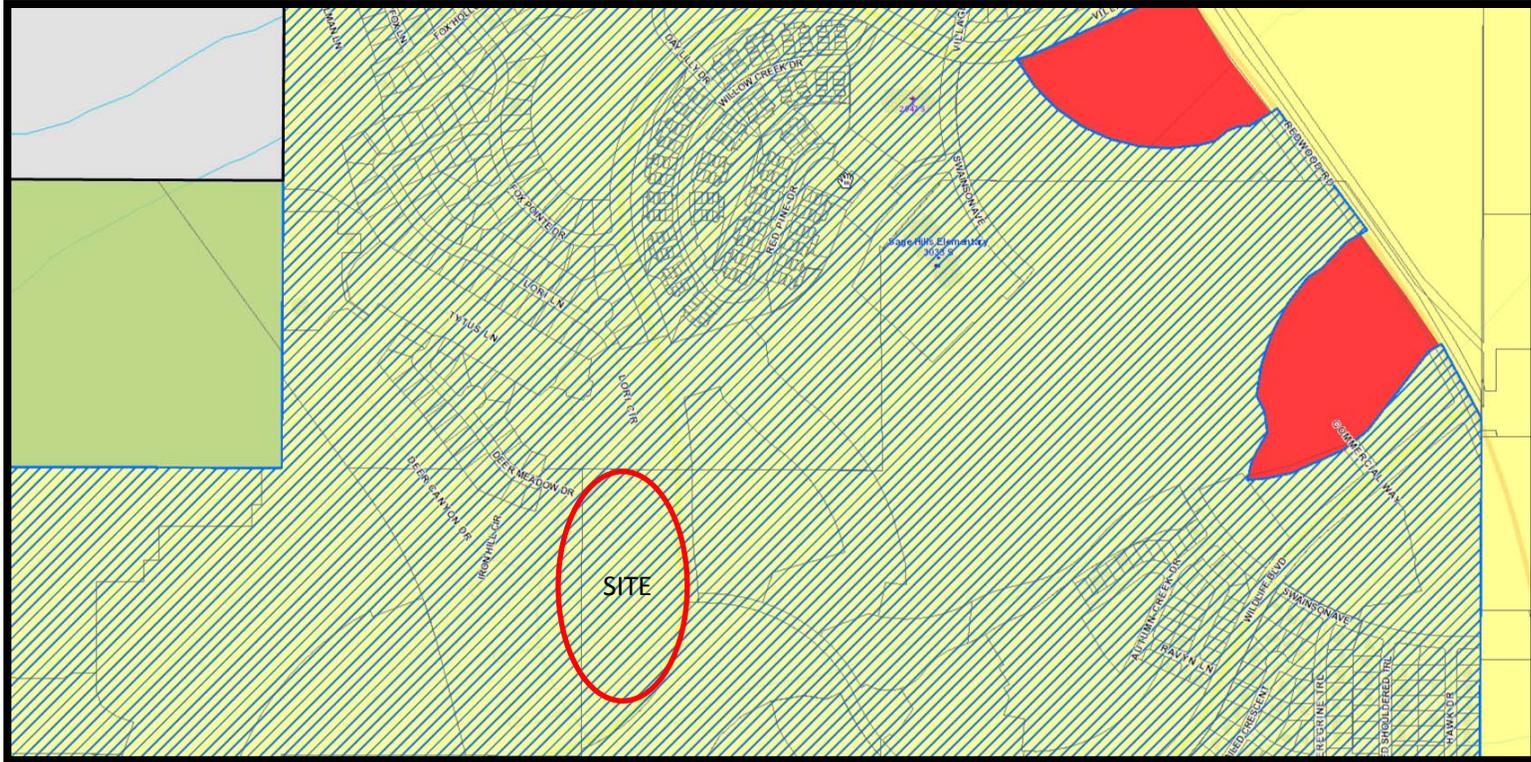
Applicant: Corp. of Pres Bishop Church of Jesus Christ of LDS
Request: Concept Plan
Location: Near the Intersection of Village Parkway and Wildlife Blvd.
Acreage: 10.818 acres - 1 lot

C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

D. Proposed Items for Consideration:

- A. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to receiving Final approval from the City Council.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. Comply with the Land Development Codes regarding the disturbance of 30%+ slopes.
- D. Incorporate a grading and drainage design that protects homes from upland flows.
- E. Developer shall provide a traffic study to determine the necessary improvements to existing and proposed roads to provide an acceptable level of service for the proposed project.

- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.
- G. Developer shall meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.
- H. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- I. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the construction drawings.
- J. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- K. Developer shall prepare and record easements to the City for all public utilities not located in a public right-of-way.
- L. Developer is required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.
- M. Developer shall comply with all requirements outlined in the MDA.
- N. Developer shall extend the site plan down to the Villages of Fox Hollow Neighborhood "3B" plat boundary or wait for the Neighborhood 6-1 plat to be recorded.



LOCATION / ZONING MAP, PROPERTY IS ZONED R-3 PUD

**City of Saratoga Springs
Planning Commission Meeting
June 26, 2014**

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Planning Commission DRAFT Minutes

Present:

Commission Members: Eric Reese, Jarred Henline, Kirk Wilkins, Sandra Steele, Hayden Williamson, Kara North
Staff: Sarah Carroll, Scott Langford, Kimber Gabryszak, Nicolette Fike, Mark Christensen, Jeremy Lapin, Kevin Thurman
Others: Krisel Travis, Sue Alexander, Shelley Rollins, Tanya Parker, Will Scott, Jason Harris

Call to Order – 6:32 p.m. by Eric Reese, Acting Chairman

Pledge of Allegiance – led by Kirk Wilkins

Roll Call – Quorum was present

Public Input Open by Eric Reese

No input at this time.

Public Input Closed by Eric Reese

8. Concept Plan for Saratoga Springs South Stake Center located at 3300 South Village Parkway, Evans and Associates Architecture, applicant.

Sarah Carroll presented the Concept Plan. It is to be located in Fox Hollow. They are requesting 15% sod in exchange for a higher plant count. Staff is recommending that at least the required number of trees be a 2 ½ in. caliper.

Jarred Henline would recommend approval with added that at least 40 2 ½ inch trees and they comply with city lighting standards.

Kara North had the same comments as Commissioner Henline.

Kirk Wilkins had same as lighting comments and he is ok with landscaping and higher caliper trees.

Hayden Williamson seconded Commissioner Wilkins comments.

Sandra Steele would also recommend lighting to city standards. She asked where accessible entrance was and where it led into the building.

Chad Spencer-for applicant, replied that their entrance was in to the main foyer, but the spaces were further away to meet grading requirements.

Sandra Steele asked if spacing in driveways was sufficient as per engineering.

Jeremy Lapin recommended that the one entrance that lined up with the intersection did not change but the other could be moved if it needed.

Sandra Steele would like to see more turf but understands that the Church does not like more than 35%. She did appreciate the additional trees.

Chad Spencer responded that this site was particularly challenging because of slopes, they are limited as to where they can put turf.

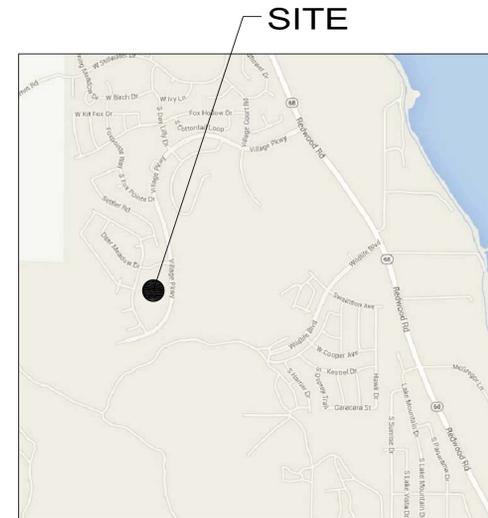
Eric Reese asked who maintained the ownership of the landscaping after it was built. For instance; if a tree dies. He is fine with the landscape change.

Chad said within a year it's the contractors job to replace trees etc. after that there is a facilities manager.

A New Meetinghouse for:
**Summerhill 1 &
 Saratoga Springs UT Israel Canyon Stake**

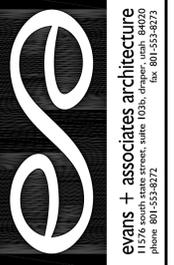
Consultant	Consultant Name	Address	Contact	Phone	Fax	E-mail
ARCHITECT:	Evans & Associates Architecture	11576 South State Street #103B Draper, Utah 84020	Chad Spencer	(801) 553-8272	(801) 553-8273	<i>chad@studio-ea.com</i>
CIVIL ENGINEER:	Excel Engineering, Inc.	12 West 100 North #201 American Fork, Utah 84003	David Peterson	(801) 756-4504	(801) 756-4511	<i>david@excelcivil.com</i>
LANDSCAPE ARCHITECT:	Bratt Inc.	754 West 700 South Pleasant Grove, Utah 84062	Darren Wilson	(801) 785-8011	(801) 798-8012	<i>dwilson@brattinc.com</i>
ELECTRICAL ENGINEER:	Envision Engineering	240 East Morris Avenue, Suite 200 Salt Lake City, Utah 84115	Scott Kingery	(801) 534-1130	(801) 534-1080	<i>skingery@envisioneng.com</i>

Vicinity Map



D R A W I N G I N D E X

SHEET NUMBER	SHEET TITLE	SHEET NUMBER	SHEET TITLE
GENERAL			
G1.1	COVER/INDEX SHEET		
SITE DEVELOPMENT			
SURVEY		LANDSCAPING	
C0.11	VILLAGE PARKWAY PUNCH LIST	L101	LANDSCAPE PLAN
		L102	LANDSCAPE PLAN
		L103	LANDSCAPE DETAILS
C201	GRADING & DRAINAGE PLAN		
C202	UTILITY PLAN		
C203	OFFSITE UTILITY PLAN		
C3.01	ELECTRICAL SITE PLAN		
C3.02	ELECTRICAL SITE ILLUMINATION PLAN		
C3.03	ELECTRICAL SITE PLAN DETAILS		
C3.04	ELECTRICAL SITE PLAN DETAILS		
C4.01	OVERALL ARCHITECTURAL SITE PLAN		
C4.11	ENLARGED ARCHITECTURAL SITE PLAN		
C4.12	ENLARGED ARCHITECTURAL SITE PLAN		
C4.13	ENLARGED ARCHITECTURAL SITE PLAN		
C4.14	ENLARGED ARCHITECTURAL SITE PLAN		



evans + associates architecture
 11576 south state street, suite 103b, draper, utah 84020
 phone 801-553-8272

Stamp

A New Meetinghouse for:
**Summerhill 1 &
 Saratoga Springs UT Israel Canyon Stake**
 Village Parkway
 Saratoga Springs, Utah

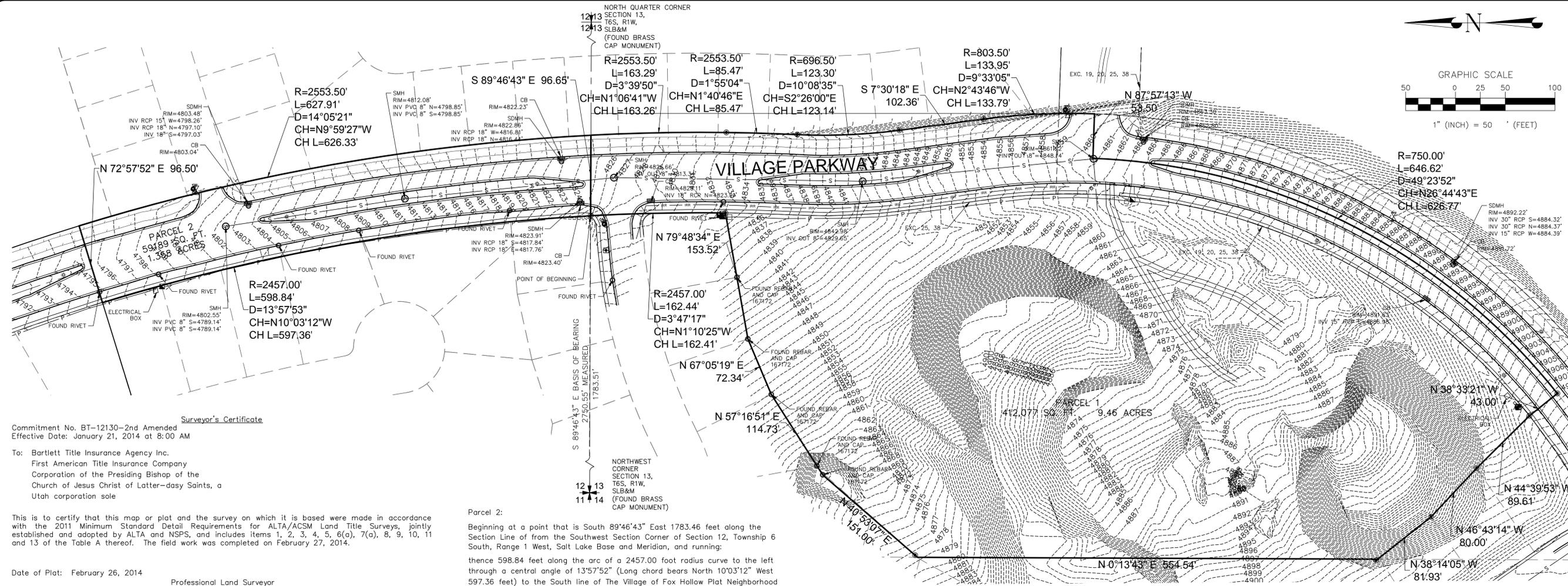
Project for:
**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

Mark	Date	Description

Project Number
 13-66
 Plan Series
 HET-SAS-09-04 (Style A)
 Property Number
 500-7418
 Date
 February 10, 2014

Sheet Title
 COVER SHEET

Sheet
G1.1



Surveyor's Certificate
 Commitment No. BT-12130-2nd Amended
 Effective Date: January 21, 2014 at 8:00 AM

To: Bartlett Title Insurance Agency Inc.
 First American Title Insurance Company
 Corporation of the Presiding Bishop of the
 Church of Jesus Christ of Latter-day Saints, a
 Utah corporation sole

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 10, 11 and 13 of the Table A thereof. The field work was completed on February 27, 2014.

Date of Plat: February 26, 2014

Professional Land Surveyor
 Nathan B. Weber, PLS
 License No. 5152762

Property Description

The land referred to is located in Utah County, State of Utah, and is described as follows:

Parcel 1:

Beginning at a point that is South 89°46'43" East 1,783.51 feet along the Section line feet from the Northwest Quarter Corner of Section 13, Township 6 South, Range 1 West, Salt Lake Base and Meridian, and running; thence along said section line South 89°46'43" East 96.65 feet to a point on a non-tangent 2,553.50' radius curve to the right, thence along arc of said curve 163.29 feet through a delta of 3°39'50" (chord bears South 01°06'41" East 163.26 feet) to a point on a 2,553.50' radius curve to the right, thence along arc of said curve 85.47 feet through a delta of 1°55'04" (chord bears South 01°40'45" West 85.45 feet) to a point on a reverse 696.50' radius curve to the left, thence along arc of said curve 123.30 feet through a delta of 10°08'35" (chord bears South 02°26'01" East 123.14 feet), thence South 07°30'18" East 102.36 feet to a point on a 803.50' radius curve to the right, thence along arc of said curve 133.95 feet through a delta of 9°33'05" (chord bears South 02°43'46" East 133.79 feet), thence North 87°57'13" West 53.50 feet to a point on a 750.00' radius curve to the right, thence along arc of said curve 646.62 feet through a delta of 49°23'52" (chord bears South 26°44'43" West 626.77 feet), thence North 38°33'21" West 43.00 feet, thence North 44°39'53" West 89.61 feet, thence North 46°43'14" West 80.00 feet, thence North 38°14'05" West 81.93 feet, thence North 00°13'43" East 554.54 feet, thence North 40°53'07" East 151.00 feet, thence North 57°16'51" East 114.73 feet, thence North 67°05'19" East 72.34 feet, thence North 79°48'34" East 153.52 feet to a point on a 2,457.00' radius curve to the left, thence along arc of said curve 162.44 feet through a delta of 3°47'17" (chord bears North 01°10'25" West 162.42 feet) to the point of Beginning.

TOGETHER WITH:

together with and subject to an easement for ingress and egress over the following: BEGINNING AT A POINT located North 89°45'06" West along the section line 1,603.03 feet and South 1407.31 feet from the Northeast corner of Section 13, Township 6 South, Range 1 West, Salt Lake Base and Meridian; thence South 29°09'56" East 96.50 feet; thence along the arc of a 953.50 feet radius non tangent curve to the right 1,570.69 feet, chord bears North 71°58'27" West 1399.03 feet; thence along the arc of a 696.50 feet radius non tangent curve to the left 767.92 feet, (Chord bears North 56°22'05" West 792.61 feet); thence North 87°57'13" West 71.84 feet, thence along the arc of a 803.50 feet radius non tangent curve to the right 977.23 feet, (Chord bears South 40°42'23" East 918.11 feet); thence South 75°32'54" West 344.08 feet; thence South 14°27'06" 370.91 feet; thence along the arc of a 2,4100.00 feet radius curve to the left 1,387.21 feet, (Chord bears South 30°56'30" East 1,368.14 feet); thence South 41°10'23" West 180.05 feet; thence South 59°15'27" East 355.63 feet; thence along the arc of a 2,590.00 feet radius non tangent curve to the right 1,436.90 feet, (Chord bears North 30°20'43" West 1,418.55 feet); thence North 14°27'06" West 467.41 feet; thence North 75°32'54" east 524.08 feet; thence along the arc of a 707.00 feet radius curve to the left 950.00 feet, (Chord bears North 37°03'14" east 880.13 feet); thence South 87°57'13" East 167.87 feet; thence along the arc of a 793.00 feet radius curve to the right 874.32 feet, (chord bears South 56°22'05" East 830.70 feet); thence along the arc of a 857.00 feet radius curve to the left 1,411.73 feet, (Chord bears South 71°58'27" East 1,257.44 feet) TO THE POINT OF BEGINNING.

All being subject to and together with UTILITY AND RIGHT-OF-WAY EASEMENT, wherein Utah Pacific Holdings, LLC, a Utah Limited liability company appearing as grantor, conveys and grants and reserves unto itself Utah Pacific Holdings, LLC as Grantee, a Utility and Right-of-Way Easement. Recorded November 9, 2006, as Entry No. 150850:06, Utah County Recorders Office. And re-recorded December 15, 2006 as Entry No. 169388:06.

Also being subject to and together with a Temporary Right-of-Way Easement, wherein Utah Pacific Holdings, LLC, appears as grantor, convey to La Familia VSS, LLC as grantee, a temporary Right-of-Way Easement for the purpose of ingress and egress.

Parcel 2:

Beginning at a point that is South 89°46'43" East 1783.46 feet along the Section Line of from the Southwest Section Corner of Section 12, Township 6 South, Range 1 West, Salt Lake Base and Meridian, and running; thence 598.84 feet along the arc of a 2457.00 foot radius curve to the left through a central angle of 13°57'52" (Long chord bears North 10°03'12" West 597.36 feet) to the South line of The Village of Fox Hollow Plot Neighborhood "3-B" as recorded at the office of the Utah County Recorder as Entry 12229;

thence North 72°57'52" East 96.50 feet along the South line of The Village of Fox Hollow Plot Neighborhood "3-B" to a point of curvature with a non-tangent curve;

thence 627.91 feet along the arc of 2553.50 foot radius curve to the right through a central angle of 14°05'21" (Long chord bears South 9°59'27" East 626.33 feet) the South line of said Section 12;

thence North 89°46'43" West 86.65 feet along the said South Section line to the point of beginning.
 (59:013:0038)

Notes:

- The basis of bearing is South 89°46'43" East between the Northwest Corner and the North Quarter Corner of Section 13, Township 6 South, Range 1 West, Salt Lake Base and Meridian as shown. The survey control was established with GPS from the Utah State VRS system. The GPS data was measured on the Utah State Plane Central UTM NAD83 system and was then projected to a local ground system for this survey. The basis of bearing is from the local descriptions and subdivision plats.
- The purpose of this survey is to retrace and monument the boundary of the described property according to the official records and the location of pertinent existing improvements located on the ground.
- This does not represent a title search by the surveyor. Title information was provided by others for the subject property.
- The location of underground utilities as shown hereon are base on above ground structures and blue stake locations. Additional maps were acquired from utility GIS and mapping departments for verification. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures. Before excavations are begun, please contact blue stakes and appropriate agencies.

LEGEND

- Catch Basin
- Sanitary Sewer Manhole
- Storm Drain Manhole
- Light Pole
- Telephone Pedestal
- Section Corner Monument
- Edge Of Asphalt
- Sanitary Sewer Line
- Irrigation Line
- Overhead Power Line
- Property Corner
- Found Property Corner

Parcel #1:

11. Right of Way granted to Knight Power Company, a right-of-way to erect and maintain a line of poles for an electric transmission line or circuit, recorded September 6, 1911, as Entry No. 3706 in Book 109 at Page 411.(exact location not disclosed.)

Survey Findings: The described area is located in Section 13, Township 6 South, Range 1 West, Salt Lake base and Meridian with no exact location.

12. Right of Way granted to Utah Power Company for an electrical transmission line, recorded October 9, 1912, as Entry No. 4165 in Book 137 at Page 33. (exact location not disclosed.)

Survey Findings: The described area is located in Section 13, Township 6 South, Range 1 West, Salt Lake base and Meridian with no exact location.

13. Right of Way granted to Utah Power & Light Company for an electrical transmission line, recorded February 10, 1913, as Entry No. 821 in Book 137 at Page 79. (exact location not disclosed.)

Survey Findings: The described area is located in Section 13, Township 6 South, Range 1 West, Salt Lake base and Meridian with no exact location.

14. Easement in favor of the Mountain State Telephone and Telegraph Company to construct, reconstruct, operate, maintain and repair its line of Telephone and Telegraph, including underground conduit, poles, anchors, cables, wires and fixtures upon, under, over and across the property, recorded March 15, 1960 as Entry No. 3503 in Book 837 at Page 401. (exact location not disclosed.)

Survey Findings: The described area is located in Section 13, Township 6 South, Range 1 West, Salt Lake base and Meridian with no exact location.

16. Easements for the water system, including without limitation all water tanks, wells, water lines, pipes, pump houses, valves, couplings, and other components used to convey or move water within the easements within the Development, as described in that certain Water System Warranty Deed and Bill of Sale, recorded January 21, 2003 as Entry No. 90053:2003 and in that certain Water Connection Deed and Bill of Sale recorded January 21, 2003 as Entry No. 9077:2003 and in that certain Water Connection Deed and Bill of Sale recorded January 21, 2003 as Entry No. 9078:2003. (Exact location not disclosed)

Survey Findings: The described area is located in Section 13, Township 6 South, Range 1 West, Salt Lake base and Meridian with no exact location.

19. Utility and Right-of-Way Easement for the purpose of ingress as a permanent dedicated improved road with utilities is in place, dated November 3, 2006, recorded November 9, 2006 as Entry No. 150850:2006.

Re-recorded December 15, 2006 as Entry No. 169388:2006.

Survey Findings: The Right-of-Way Easement is shown as described and covers the southern portion of Village Parkway.

20. Temporary Right-of-Way Easement for the purpose of ingress and egress to remain in effect until such time as a permanent road is in place, at which time this easement will expire, dated November 3, 2006, recorded November 9, 2006 as Entry No. 150853:2006.

Survey Findings: The Right-of-Way Easement is shown as described and covers the southern portion of Village Parkway.

24. Notice of Impending Boundary Action Creation of the Saratoga Springs Community Development and Renewal Agency dated January 17, 2012, recorded May 2, 2012 as Entry No. 36609:2012.

Survey Findings: This exception covers the entire area of the subject property and its boundary is not depicted on this plat.

25. Grant of Easements to City of Saratoga Springs Villages at Saratoga Springs (Fox Hollow) dated May 15, 2013, recorded June 20, 2013 as Entry No. 59717:2013.

Survey Findings: ???

Parcel # 2:

30. An easement over, across or through the land for a roadway and pipeline as granted to the Town of Saratoga Springs by the certain Grant of Easement recorded March 1, 2000 as Entry No. 16142:2000 of Officials Records. (An exact location cannot be determined due to the fact that no Exhibit "A" was attached.)

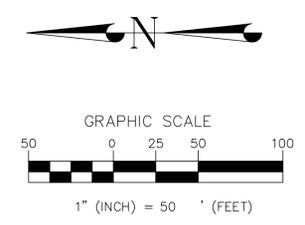
Survey Findings: the described area is located in Section 13, Township 6 South, Range 1 West, Salt Lake base and Meridian with no exact location.

32. Easements for the water system, including without limitation all water tanks, wells, water lines, pipes, pump houses, valves, couplings, and other components used to convey or move water within the easements within the Development, as described in that certain Water System Warranty Deed and Bill of Sale, recorded January 21, 2003 as Entry No. 90053:2003 and in that certain Water Connection Deed and Bill of Sale recorded January 21, 2003 as Entry No. 9077:2003 and in that certain Water Connection Deed and Bill of Sale recorded January 21, 2003 as Entry No. 9078:2003. (Exact location not disclosed)

Survey Findings: the described area is located in Section 13, Township 6 South, Range 1 West, Salt Lake base and Meridian with no exact location.

38. Grant of Easements to City of Saratoga Springs Villages at Saratoga Springs (Fox Hollow) dated May 15, 2013, recorded June 20, 2013 as Entry No. 59717:2013.

Survey Findings: ???



BY	
REVISIONS	
DATE	
NO.	



Boundary Surveys
 Topography Surveys
 Subdivisions
 Construction Staking
 ALTA & ACSM Surveys

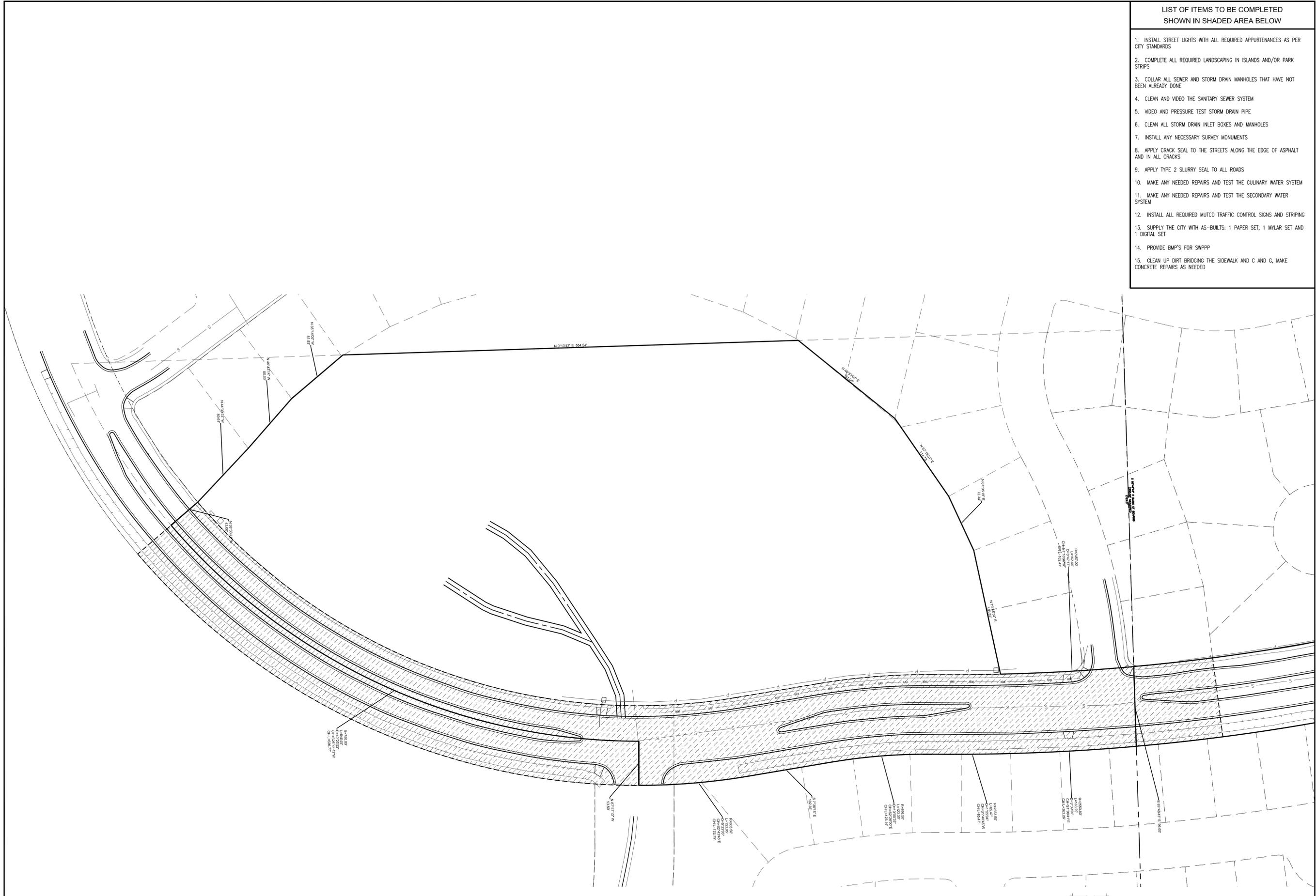
DIAMOND LAND SURVEYING, LLC
 5243 South Greenpine Drive
 Murray, Utah 84123
 Phone 801 972 6692
 diamond@diamondsurvey.com www.diamondsurvey.com

ATLA/ACSM LAND TITLE SURVEY
 VILLAGE PARKWAY AND WILDLIFE BOULEVARD
 SARATOGA SPRINGS
 LDS PARCEL #500-7418
CORP PRES BISHOP OF LDS

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DATE PLOTTED 2/25/14
 JOB No. 13-075
 SHEET

LOCATED IN THE NW 1/4 OF SECTION 13, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN



- LIST OF ITEMS TO BE COMPLETED SHOWN IN SHADED AREA BELOW
1. INSTALL STREET LIGHTS WITH ALL REQUIRED APPURTENANCES AS PER CITY STANDARDS
 2. COMPLETE ALL REQUIRED LANDSCAPING IN ISLANDS AND/OR PARK STRIPS
 3. COLLAR ALL SEWER AND STORM DRAIN MANHOLES THAT HAVE NOT BEEN ALREADY DONE
 4. CLEAN AND VIDEO THE SANITARY SEWER SYSTEM
 5. VIDEO AND PRESSURE TEST STORM DRAIN PIPE
 6. CLEAN ALL STORM DRAIN INLET BOXES AND MANHOLES
 7. INSTALL ANY NECESSARY SURVEY MONUMENTS
 8. APPLY CRACK SEAL TO THE STREETS ALONG THE EDGE OF ASPHALT AND IN ALL CRACKS
 9. APPLY TYPE 2 SLURRY SEAL TO ALL ROADS
 10. MAKE ANY NEEDED REPAIRS AND TEST THE CULINARY WATER SYSTEM
 11. MAKE ANY NEEDED REPAIRS AND TEST THE SECONDARY WATER SYSTEM
 12. INSTALL ALL REQUIRED MUTCD TRAFFIC CONTROL SIGNS AND STRIPING
 13. SUPPLY THE CITY WITH AS-BUILTS: 1 PAPER SET, 1 MYLAR SET AND 1 DIGITAL SET
 14. PROVIDE BMP'S FOR SWPPP
 15. CLEAN UP DIRT BRIDGING THE SIDEWALK AND C AND G, MAKE CONCRETE REPAIRS AS NEEDED



evans + associates architecture
 11576 south state street, suite 103b, arapahoe, colorado 80020
 phone 303.555.9242 fax 303.555.9243

Stamp

A New Meetinghouse for:
Summerhill 1 & Saratoga Springs UT Israel Canyon Stake
 Village Parkway
 Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Mark	Date	Description

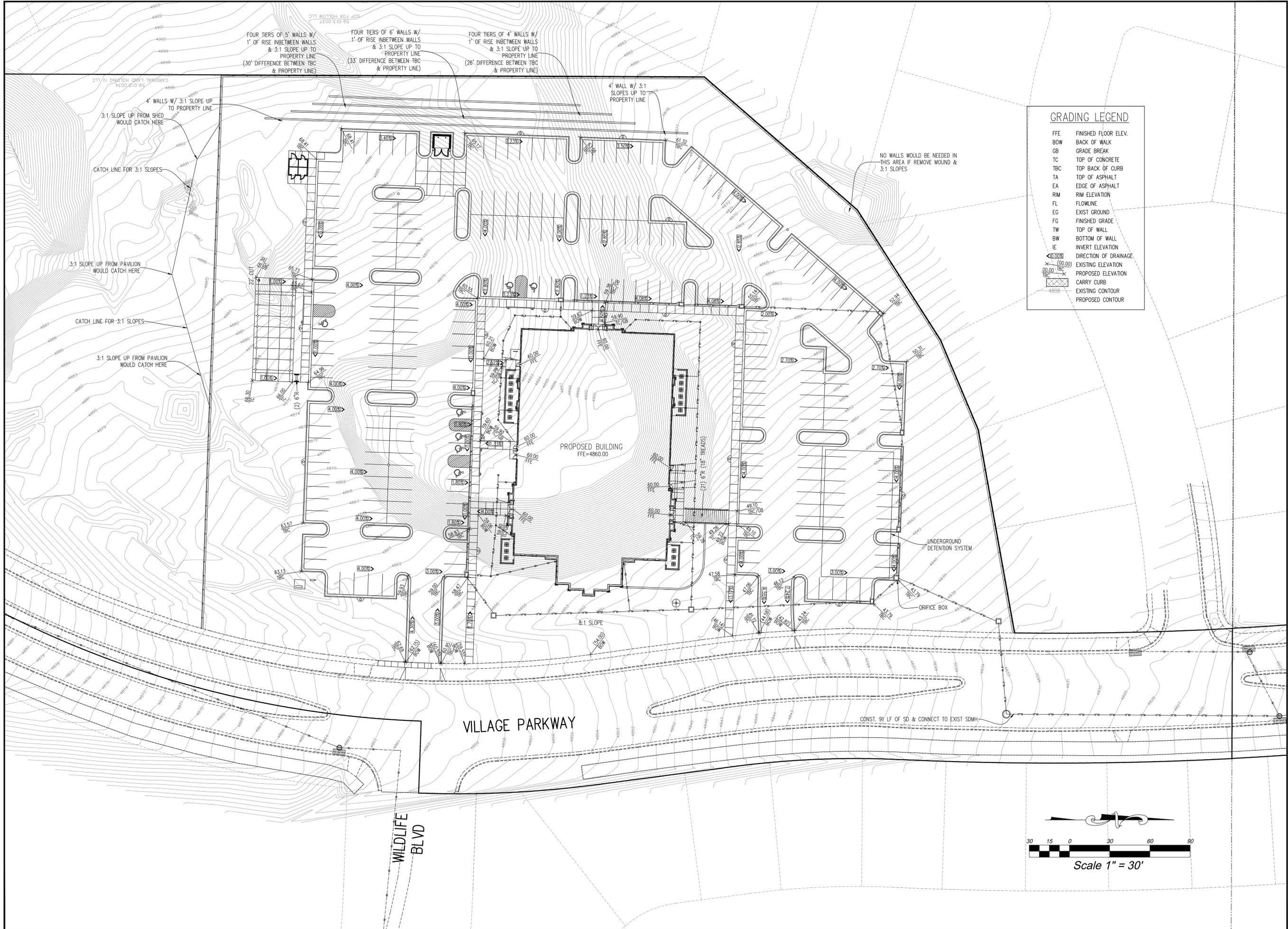
Project Number
 13-66
 Plan Series
 HET-SAS-09-04 (Style A)
 Property Number
 500-7418
 Date
 February 10, 2014

Sheet Title
 VILLAGE PARKWAY
 PUNCH LIST

Sheet
C0.11

1 VILLAGE PARKWAY SITE PLAN
 SCALE: 1" = 50'-0"





FOUR TIERS OF 5' WALLS W/
 1' OF RISE IN BETWEEN WALLS
 & 3:1 SLOPE UP TO
 PROPERTY LINE
 (30' DIFFERENCE BETWEEN TBC
 & PROPERTY LINE)

FOUR TIERS OF 6' WALLS W/
 1' OF RISE IN BETWEEN WALLS
 & 3:1 SLOPE UP TO
 PROPERTY LINE
 (33' DIFFERENCE BETWEEN TBC
 & PROPERTY LINE)

FOUR TIERS OF 4' WALLS W/
 1' OF RISE IN BETWEEN WALLS
 & 3:1 SLOPE UP TO
 PROPERTY LINE
 (26' DIFFERENCE BETWEEN TBC
 & PROPERTY LINE)

GRADING LEGEND

FFE	FINISHED FLOOR ELEV.
BOW	BACK OF WALK
GB	GRADE BREAK
TC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
TA	TOP OF ASPHALT
EA	EDGE OF ASPHALT
RIM	RIM ELEVATION
FL	FLOWLINE
EG	EXIST GROUND
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
IE	INVERT ELEVATION
→	DIRECTION OF DRAINAGE
(00.00)	EXISTING ELEVATION
(00.00)	PROPOSED ELEVATION
---	CARRY CURB
---	EXISTING CONTOUR
---	PROPOSED CONTOUR

Stamp

A New Meetinghouse for:
Summerhill 1
Saratoga Springs UT Israel Canyon Stake
 Village Parkway
 Saratoga Springs, Utah

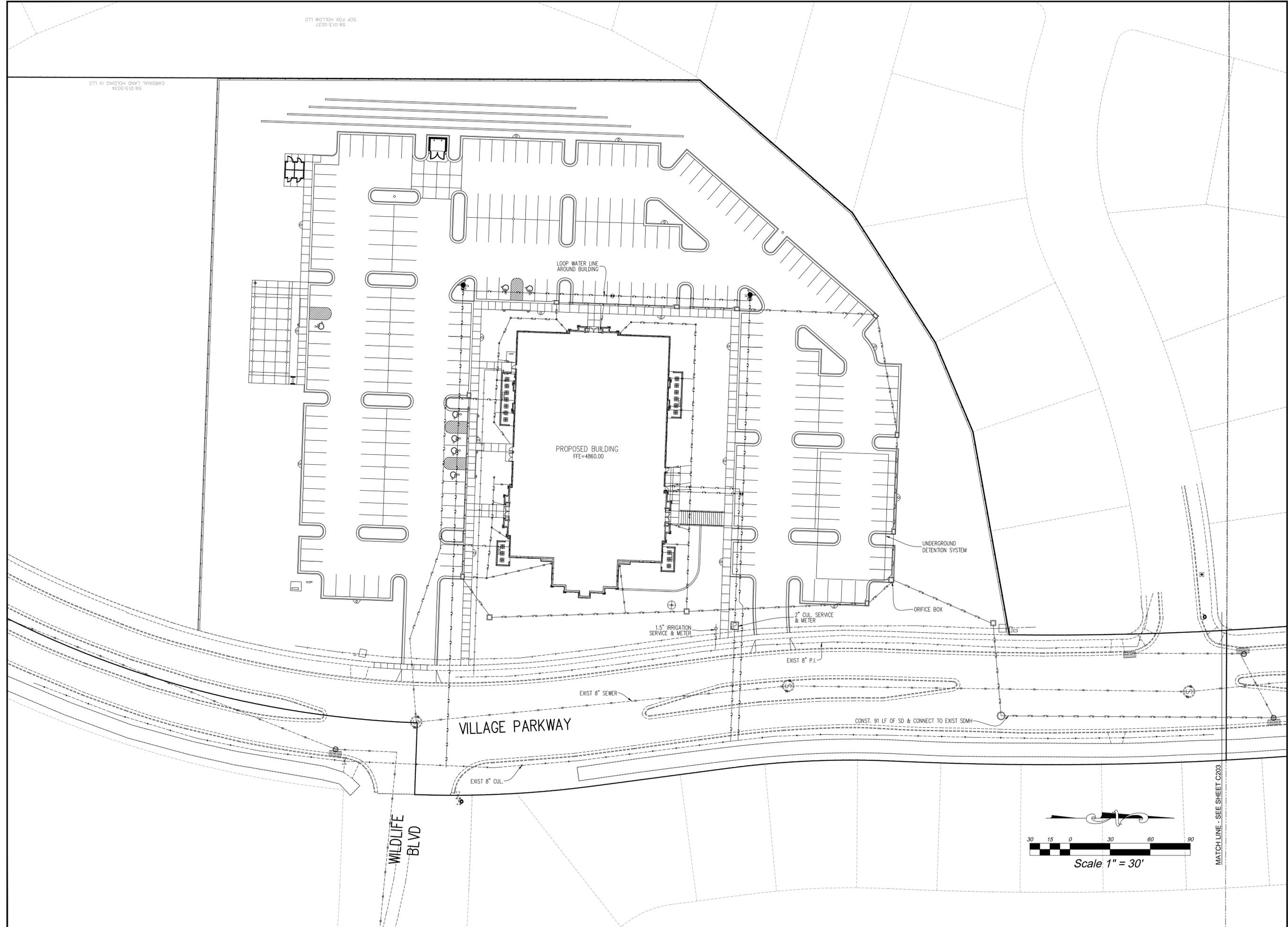
Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Revisions	Description
Mark	Date

Project Number
 13-66
 Plan Series
 HET-SAS-09-04 (Style A)
 Property Number
 500-7418
 Date
 April 11, 2014

Sheet Title
CONCEPT
GRADING & DRAINAGE
PLAN

Sheet
C201



59-013.0037
SCP FOX HOLLOW LLC

59-013.0034
CARDINAL LAND HOLDING IV LLC

LOOP WATER LINE
AROUND BUILDING

PROPOSED BUILDING
FFE=4860.00

UNDERGROUND
DETENTION SYSTEM

ORIFICE BOX

1.5" IRRIGATION
SERVICE & METER

2" CUL SERVICE
& METER

EXIST 8" P.I.

EXIST 8" SEWER

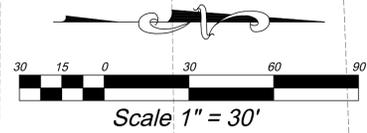
CONST. 91 LF OF SD & CONNECT TO EXIST SDMH

VILLAGE PARKWAY

EXIST 8" CUL

WILDLIFE
BLVD

MATCH LINE - SEE SHEET C203



evans + associates architecture
11576 south sage street, suite 103b, engineer, utah 84020
phone 801-225-2672 fax 801-225-2673

Stamp

A New Meetinghouse for:
Summerhill 1
Saratoga Springs UT Israel Canyon Stake

Village Parkway
Saratoga Springs, Utah

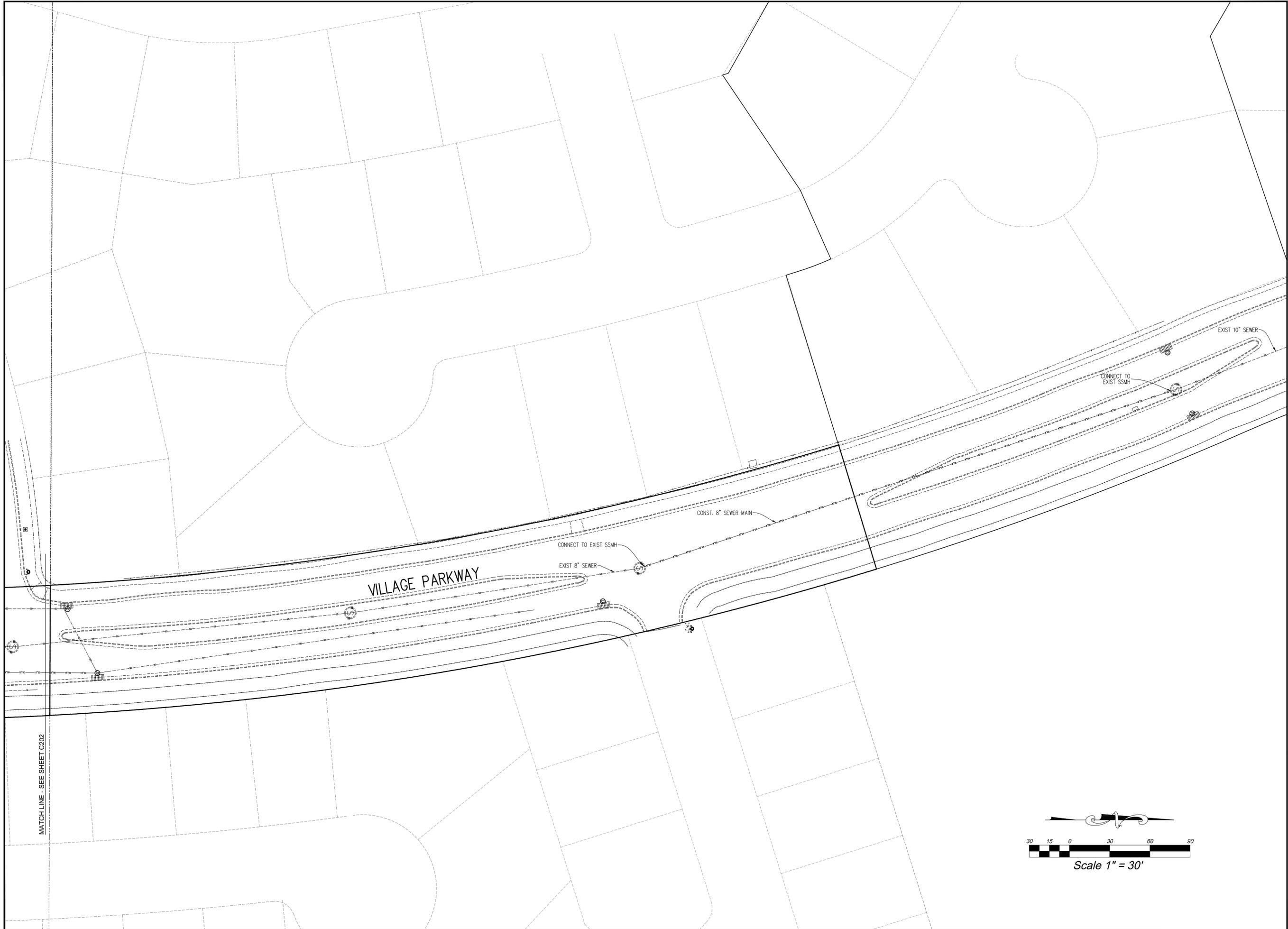
Project for:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Revisions	Mark	Date	Description

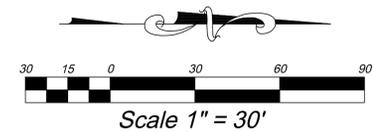
Project Number
13-66
Plan Series
HET-SAS-09-04 (Style A)
Property Number
500-7418
Date
April 11, 2014

Sheet Title
**CONCEPT
UTILITY
PLAN**

Sheet
C202



MATCH LINE - SEE SHEET C202



evans + associates architecture
 11576 south scree street, suite 103b, engineer, utah 84020
 phone 801-225-6212 fax 801-225-6213

Stamp

A New Meetinghouse for:
Summerhill 1
 Saratoga Springs UT Israel Canyon Stake
 Village Parkway
 Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Mark	Date	Description

Project Number
 13-66
 Plan Series
 HET-SAS-09-04 (Style A)
 Property Number
 500-7418
 Date
 April 11, 2014

Sheet Title
CONCEPT OFFSITE UTILITY PLAN

Sheet
C203

Stamp

A New Meetinghouse for:
Summerhill 1
 Saratoga Springs UT Israel Canyon Stake
 Village Parkway
 Saratoga Springs, Utah

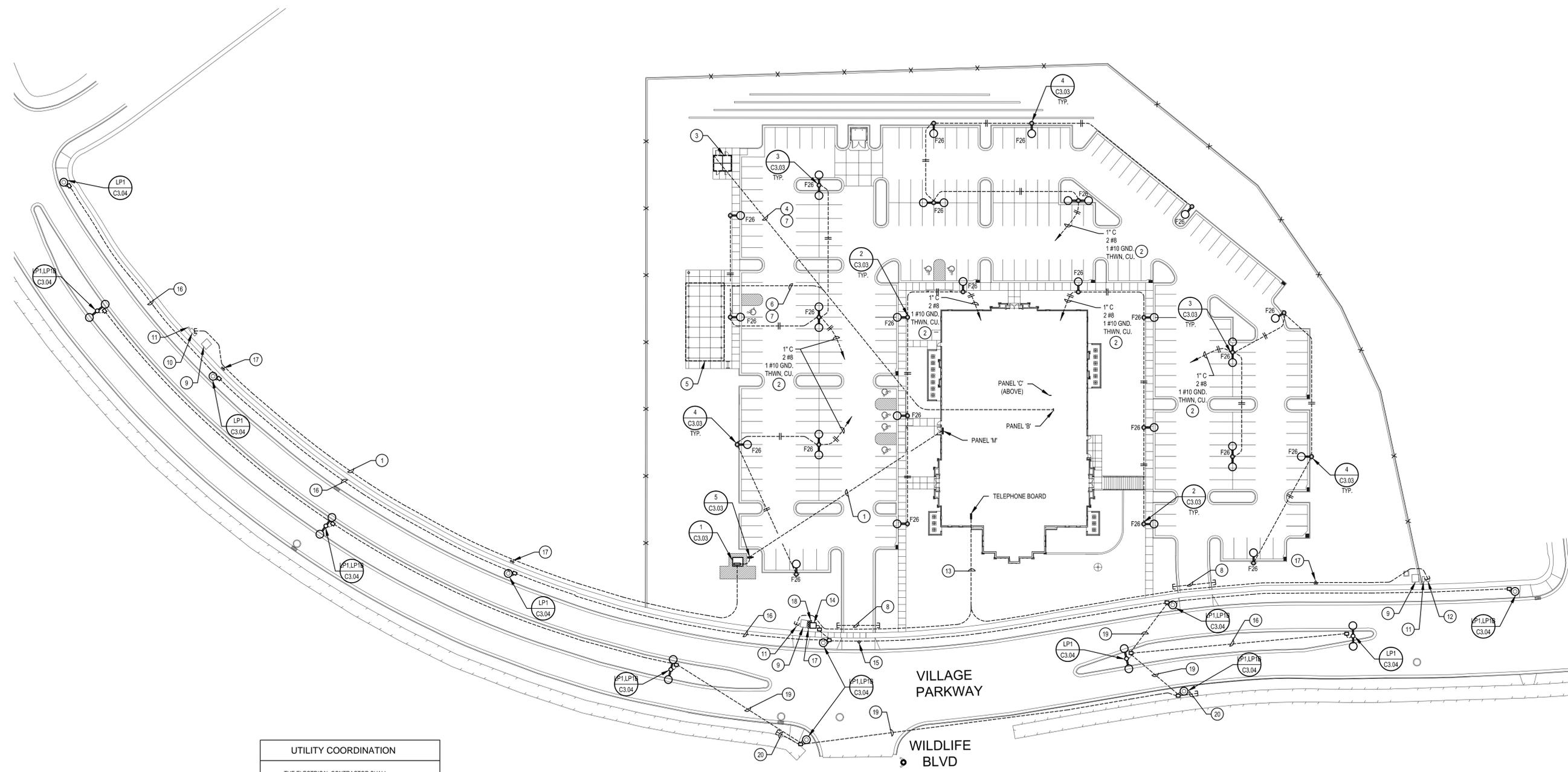
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Mark	Date

Project Number
 13-66
 Plan Series
 HET-SAS-09-04 (Style A)
 Property Number
 500-7418
 Date
 February 10, 2014

Sheet Title
 ELECTRICAL SITE PLAN

Sheet
C3.01



ELECTRICAL SITE PLAN
 SCALE: 1" = 40'-0"



KEYED NOTES #	
1. REFER TO SINGLE LINE DIAGRAM FOR CONDUIT AND CONDUCTOR REQUIREMENTS.	13. EXTEND ONE (1) 4" CONDUIT AND ONE (1) 2" CONDUIT WITH TRUE TAPE FROM THE TELEPHONE TERMINAL BOARD TO THE LOCATION SHOWN. THE 4" CONDUIT IS FOR CENTURYLINK USE AND THE 2" CONDUIT IS FOR COMCAST BROADBAND USE.
2. ROUTE THROUGH LIGHTING CONTACTOR. SEE DIAGRAM ON SHEET E501 FOR ADDITIONAL INFORMATION.	14. NEW SINGLE PHASE ROCKY MOUNTAIN POWER TRANSFORMER STREET LIGHTING. FIBERGLASS TRANSFORMER BASE IS PROVIDED BY ROCKY MOUNTAIN POWER. COORDINATE ALL WORK WITH ROCKY MOUNTAIN POWER.
3. REFER TO ELECTRICAL DRAWINGS FOR STORAGE SHED ELECTRICAL REQUIREMENTS.	15. REMOVE EXISTING STREET LIGHT POLE BASE AND CONDUIT COMPLETELY. REPAIR CONDUIT IF NECESSARY TO EXTEND TO NEXT LIGHT POLE. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
4. EXTEND ONE (1) 1-1/2" CONDUIT WITH BRANCH CIRCUIT X-XX.XX TO FEED STORAGE BUILDING.	16. REUSE EXISTING CONDUITS IN PLACE TO THE GREATEST EXTENT POSSIBLE. CONTRACTOR TO TRACE OUT CONDUITS AND VERIFY EXISTING CONDITIONS. PROVIDE ALL REQUIRED IN-GRADE BOXES AS REQUIRED BY SARATOGA SPRING CITY.
5. REFER TO ELECTRICAL DRAWINGS FOR PAVILION ELECTRICAL REQUIREMENTS.	17. EXISTING 1" CONDUIT STUBS. CONDUIT STUBS ARE ASSUMED TO BE USED FOR STREET LIGHTING. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
6. EXTEND ONE (1) 1-1/2" CONDUIT WITH BRANCH CIRCUIT X-XX.XX TO FEED PAVILION.	18. EXISTING 4" CONDUIT STUB. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
7. SEAL CONDUITS AS REQUIRED SO WATER DOES NOT RUN BACK INTO THE BUILDING FROM THE STORAGE BUILDING.	19. EXTEND NEW 1" CONDUIT PER SARATOGA SPRINGS CITY REQUIREMENTS TO CONNECT STREET LIGHTS. BORE UNDER EXISTING ROAD TO EXTEND CONDUIT TO STREET LIGHTING. DO NOT SAW CUT THE EXISTING STREET.
8. TWO (2) 4" CONDUIT SLEEVES.	20. EXTEND A 1" CONDUIT FOR FUTURE STREET LIGHTING CONNECTION. MARK EXACT LOCATION ON THE AS-BUILT DRAWINGS.
9. EXISTING ROCKY MOUNTAIN POWER SWITCHGEAR TO REMAIN IN PLACE. PROTECT FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.	
10. EXISTING ROCKY MOUNTAIN POWER GROUND SLEEVE TO REMAIN IN PLACE. PROTECT FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.	
11. EXISTING CENTURYLINK PEDESTAL TO REMAIN IN PLACE. PROTECT FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.	
12. EXISTING COMCAST JUNCTION BOX TO REMAIN IN PLACE. PROTECT FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.	

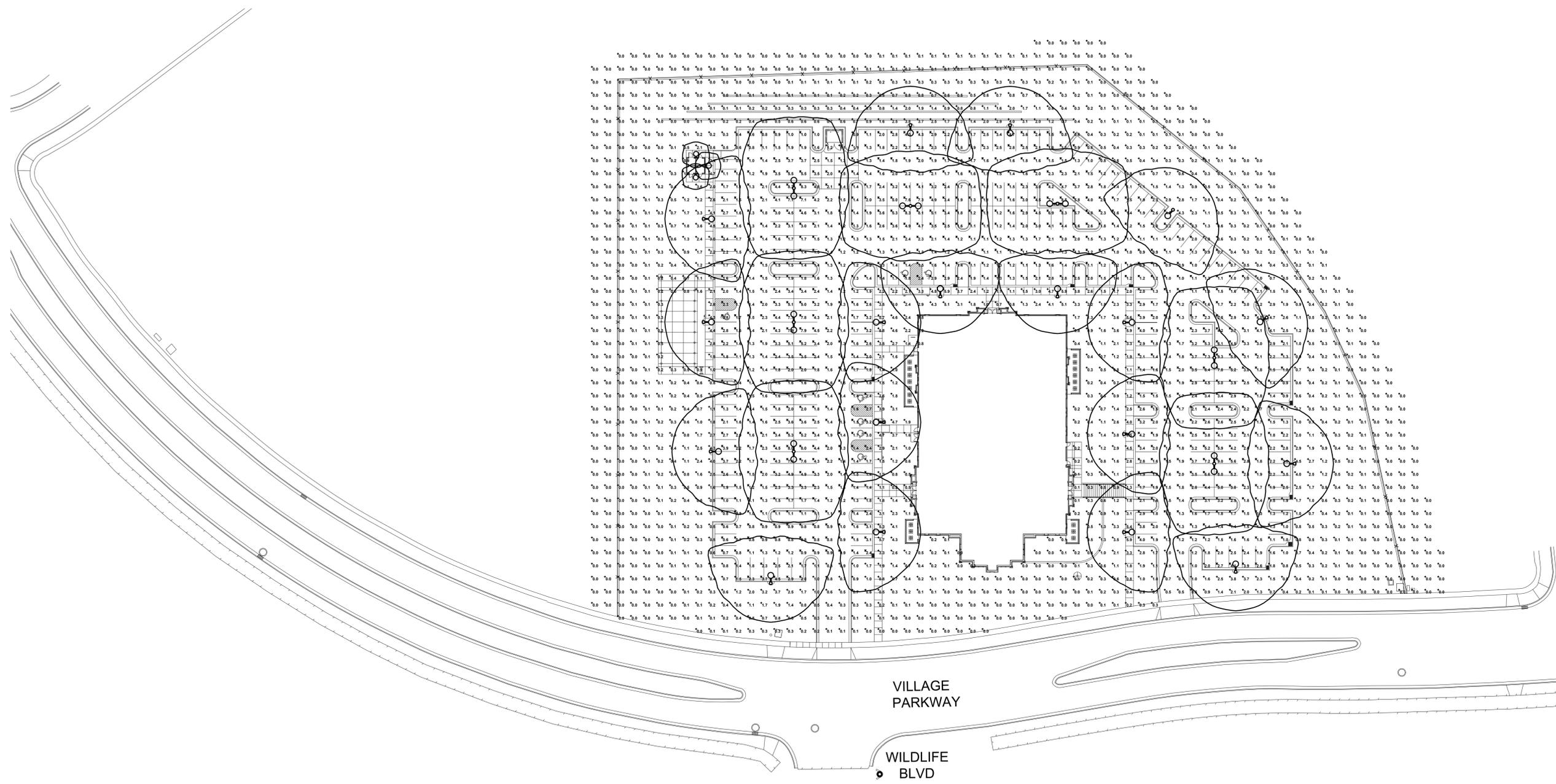
UTILITY COORDINATION
THE ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL REQUIREMENTS AND LOCATIONS TO EXTEND CONDUITS FOR UTILITY USE WITHIN 2 WEEKS OF THE CONTRACT AWARD. THE CONTRACTOR SHALL NOT ROUGH-IN ANY CONDUITS UNTIL THE UTILITY COORDINATION IS COMPLETE AND ALL LOCATIONS ARE KNOWN. THE CONTRACTOR SHALL PROVIDE TO THE ARCHITECT AND ENGINEER A WRITTEN, SIGNED STATEMENT, INCLUDING A SKETCH OF LOCATIONS, FROM THE UTILITY COMPANY NOTIFYING THEM THAT THEY HAVE COORDINATED AND VERIFIED ALL REQUIREMENTS. IF THE CONTRACTOR DOES NOT COORDINATE AND VERIFY THE REQUIREMENTS WITH THE UTILITIES OR PROVIDE A WRITTEN STATEMENT FROM THE UTILITY COMPANY TO THE ARCHITECT AND ENGINEER ALL CHANGES DUE TO LACK OF COORDINATION WILL BE DONE AT NO ADDITIONAL EXPENSE TO THE OWNER.
UTILITY REQUIREMENTS
1. BURY CONDUITS PER UTILITY REQUIREMENTS. REFER TO SHEET C3.3 FOR TYPICAL TRENCHING REQUIREMENTS.
2. VERIFY AND COMPLY WITH ALL ROCKY MOUNTAIN POWER, CENTURYLINK AND COMCAST REQUIREMENTS.
3. INCLUDE IN BID ALL LINE EXTENSION FEES, UNDERGROUND FEES, AND ALL MISC. FEES CHARGED BY ROCKY MOUNTAIN POWER, CENTURYLINK AND COMCAST.
GENERAL NOTES
1. ALL CONDUITS THAT ARE 1" AND LARGER THAT ARE ROUGH-IN UNDER THE SLAB SHALL BE PLACED UNDER THE VAPOR BARRIER.

ROCKY MOUNTAIN POWER REPRESENTATIVE:
 MARK STEELE
 801.756.1220

CENTURYLINK REPRESENTATIVE:
 RYAN ALLRED
 385.223.0084

COMCAST REPRESENTATIVE:
 MATT NEILSON
 801.401.2478





ELECTRICAL SITE ILLUMINATION PLAN

SCALE: 1" = 30'-0"



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.3 fc	9.3 fc	0.0 fc	N / A	N / A
Parking Lot	X	2.2 fc	9.3 fc	0.6 fc	15.5:1	3.7:1



evans + associates architecture
11576 south lake street, suite 103b, engineer, utah 84020
phone 801-534-1000 fax 801-534-1021

Stamp

A New Meetinghouse for:
Summerhill 1
Saratoga Springs UT Israel Canyon Stake
Village Parkway
Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

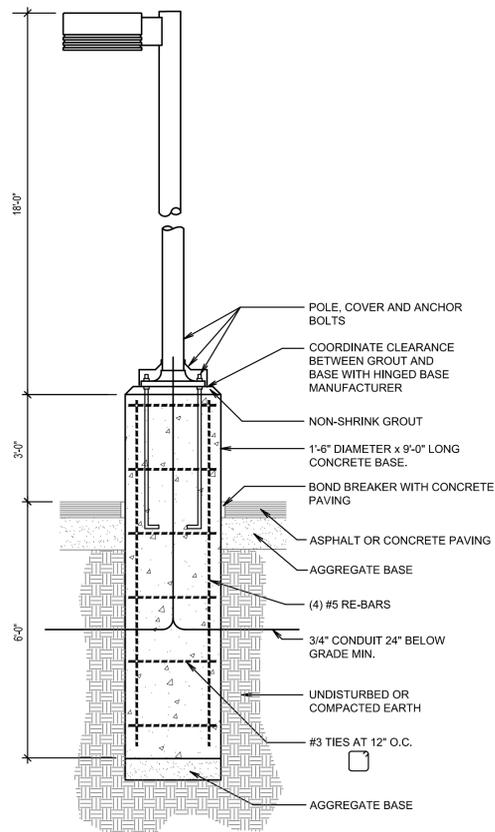
Revisions	Mark	Date	Description

Project Number
13-66
Plan Series
HET-SAS-09-04 (Style A)
Property Number
500-7418
Date
February 10, 2014

Sheet Title
ELECTRICAL SITE ILLUMINATION PLAN

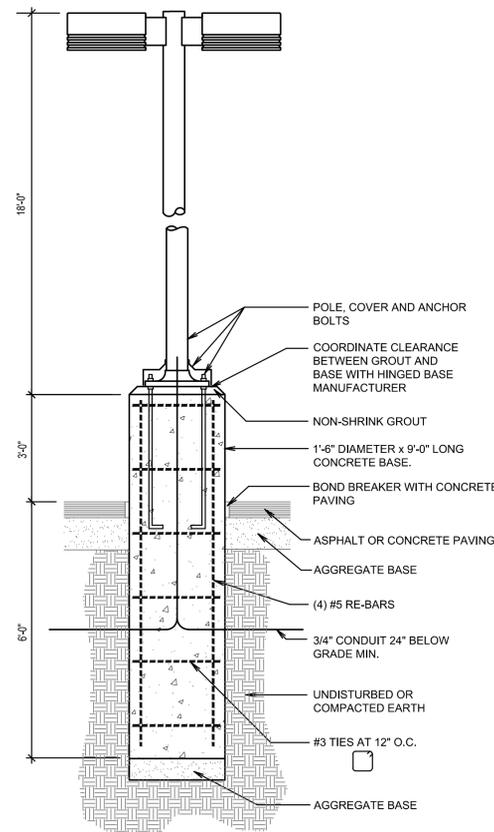
Sheet
C3.02

ENVISION
ENGINEERING
240 East Morris Ave, Suite 200
South Salt Lake City, UT 84115
P (801) 534-1130
F (801) 534-1080
www.envisioneng.com



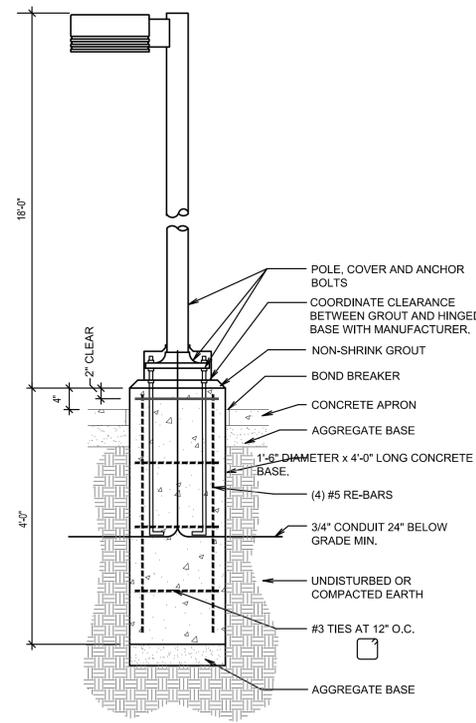
4 TYPICAL POLE BASE DETAIL
SCALE: NONE

NOTE:
REFER TO ARCHITECTURAL DRAWINGS
FOR ADDITIONAL POLE BASE
INFORMATION.

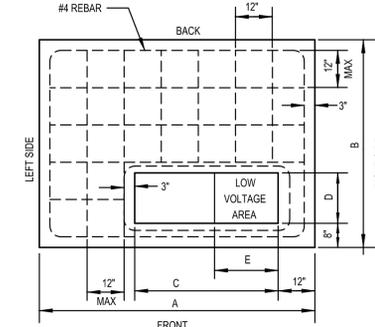
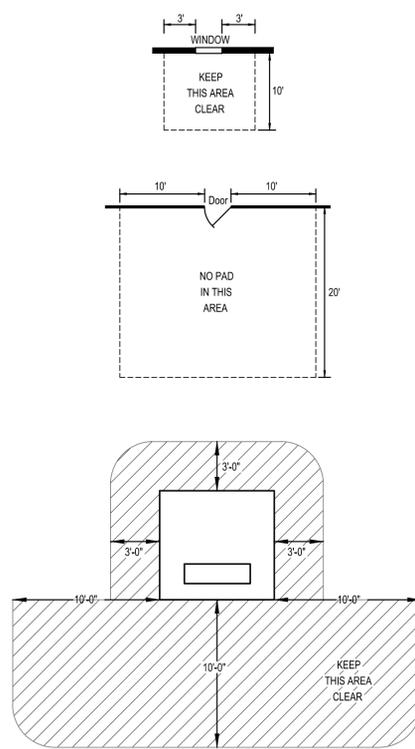


3 TYPICAL POLE BASE DETAIL
SCALE: NONE

NOTE:
REFER TO ARCHITECTURAL DRAWINGS
FOR ADDITIONAL POLE BASE
INFORMATION.

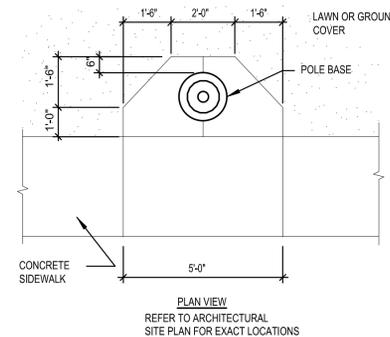


1 ROCKY MOUNTAIN POWER TRANSFORMER PAD DETAIL
SCALE: NONE

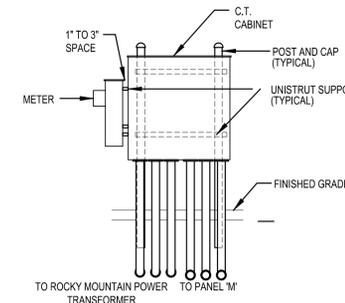


TRANSFORMER RATING	DIMENSIONS				
	A	B	C	D	E
75-500 KVA	84"	78"	48"	15"	20"
750-2500 KVA	96"	82"	60"	16"	30"

COORDINATE ALL REQUIREMENTS WITH ROCKY MOUNTAIN POWER.
REFER TO THE CURRENT ESR MANUAL FOR ALL PAD AND CLEARANCE REQUIREMENTS.



2 TYPICAL POLE BASE DETAIL
SCALE: NONE



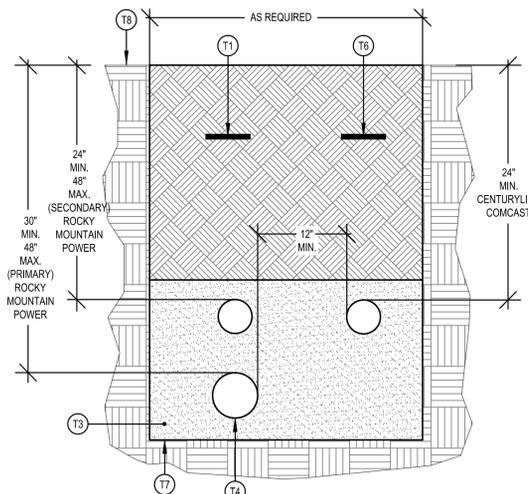
5 CT CABINET/METER MOUNTING DETAIL
SCALE: none

TRENCHING KEYED NOTES: (T#)

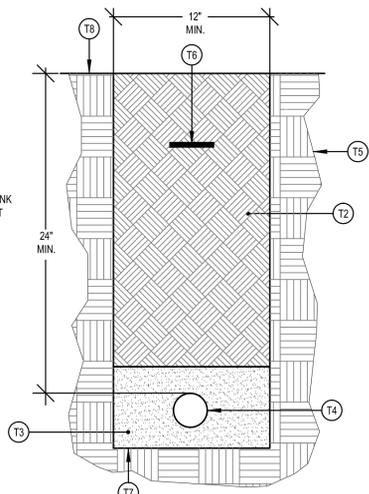
- MARKER TAPE WITH TRACER WIRE LABELED, "CAUTION BURIED ELECTRIC CONDUITS BELOW" DIRECTLY OVER POWER CONDUITS 6" MINIMUM BELOW GRADE.
- CLEAN BACKFILL CONTAINING NO ROCKS LARGER THAN 4" DIA.
- BACKFILL MATERIAL WITHIN 4" TO 6" OF CONDUIT SHALL PASS THROUGH A 3/4" SIEVE FRAME OR SAND WITHOUT ANY SHARP OR FOREIGN OBJECTS.
- ALL CONDUITS SHOWN SHALL BE SCHEDULE 40 PVC.
- UNDISTURBED EARTH.
- MARKER TAPE WITH TRACER WIRE LABELED, "CAUTION BURIED DATA/COMMUNICATION CONDUIT BELOW" DIRECTLY OVER DATA/COMM CONDUITS.
- TRENCHES SHALL BE A UNIFORM DEPTH FOR ENTIRE LENGTH OF TRENCH SO CONDUITS CAN SIT FLAT (HORIZONTAL) WITH THE GROUND.
- FINISHED GRADE.

TRENCHING GENERAL NOTES:

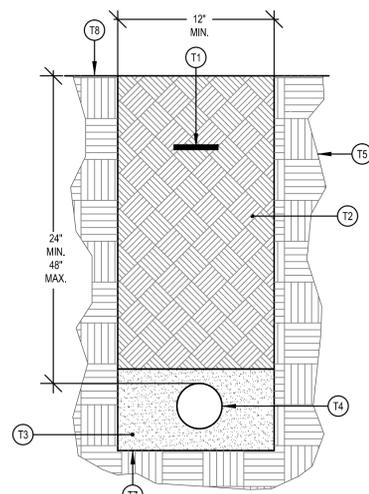
- PROVIDE PULL 1/4" NYLON ROPES IN ALL CONDUITS.
- HORIZONTAL AND VERTICAL SEPARATION BETWEEN CONDUIT SHALL BE MAINTAINED BY INSTALLING HIGH IMPACT SPACERS WITH HORIZONTAL INTERVALS OF EIGHT FEET.
- ALL MARKER TAPE SHALL CONTAIN #10 TRACER WIRE.
- REFER TO THE ROCKY MOUNTAIN POWER SIX STATE ESR FOR ADDITIONAL INFORMATION.
- VERIFY ALL REQUIREMENTS WITH CENTURYLINK AND COMCAST PRIOR TO TRENCHING.



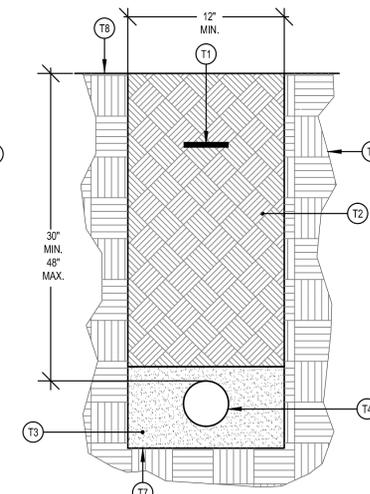
9 TRENCH DETAIL - JOINT USE
SCALE: NONE
ROCKY MOUNTAIN POWER / CENTURYLINK / COMCAST (JOINT USE)



8 TRENCH DETAIL
SCALE: NONE
CENTURYLINK / COMCAST



7 TRENCH DETAIL
SCALE: NONE
ROCKY MOUNTAIN POWER (SECONDARY POWER)



6 TRENCH DETAIL
SCALE: NONE
ROCKY MOUNTAIN POWER (PRIMARY POWER)



Stamp

A New Meetinghouse for:
Summerhill 1
Saratoga Springs UT Israel Canyon Stake
Village Parkway
Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date	Mark

Project Number
13-66
Plan Series
HET-SAS-09-04 (Style A)
Property Number
500-7418
Date
February 10, 2014

Sheet Title
ELECTRICAL SITE PLAN DETAILS

Sheet

C3.03

Stamp

A New Meetinghouse for:
Summerhill 1 & Saratoga Springs UT Israel Canyon Stake
Village Parkway
Saratoga Springs, Utah

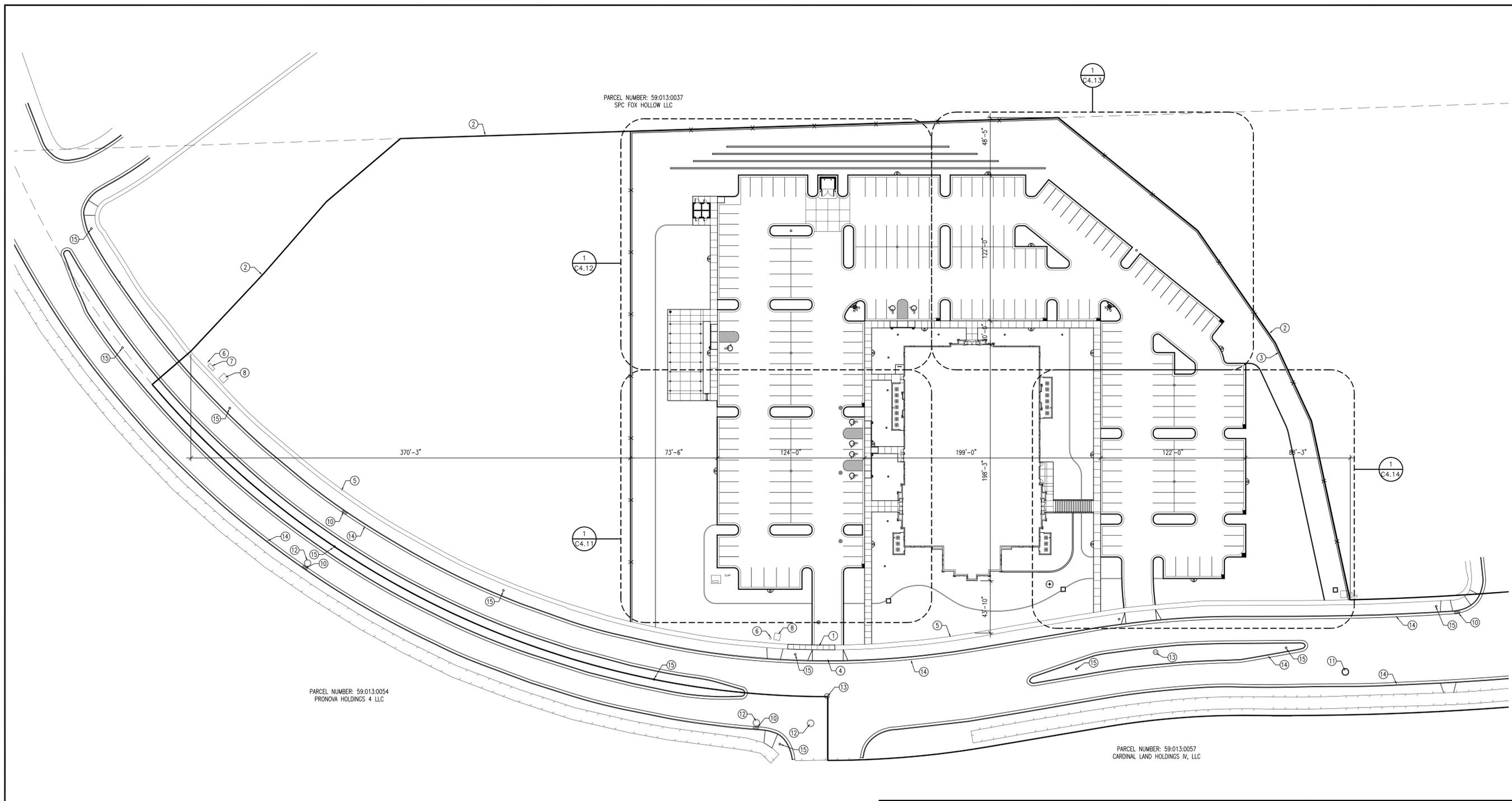
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description

Project Number
13-66
Plan Series
HET-SAS-09-04 (Style A)
Property Number
500-7418
Date
February 10, 2014

Sheet Title
OVERALL ARCHITECTURAL SITE PLAN

Sheet
C4.01



ARCHITECTURAL SITE PLAN

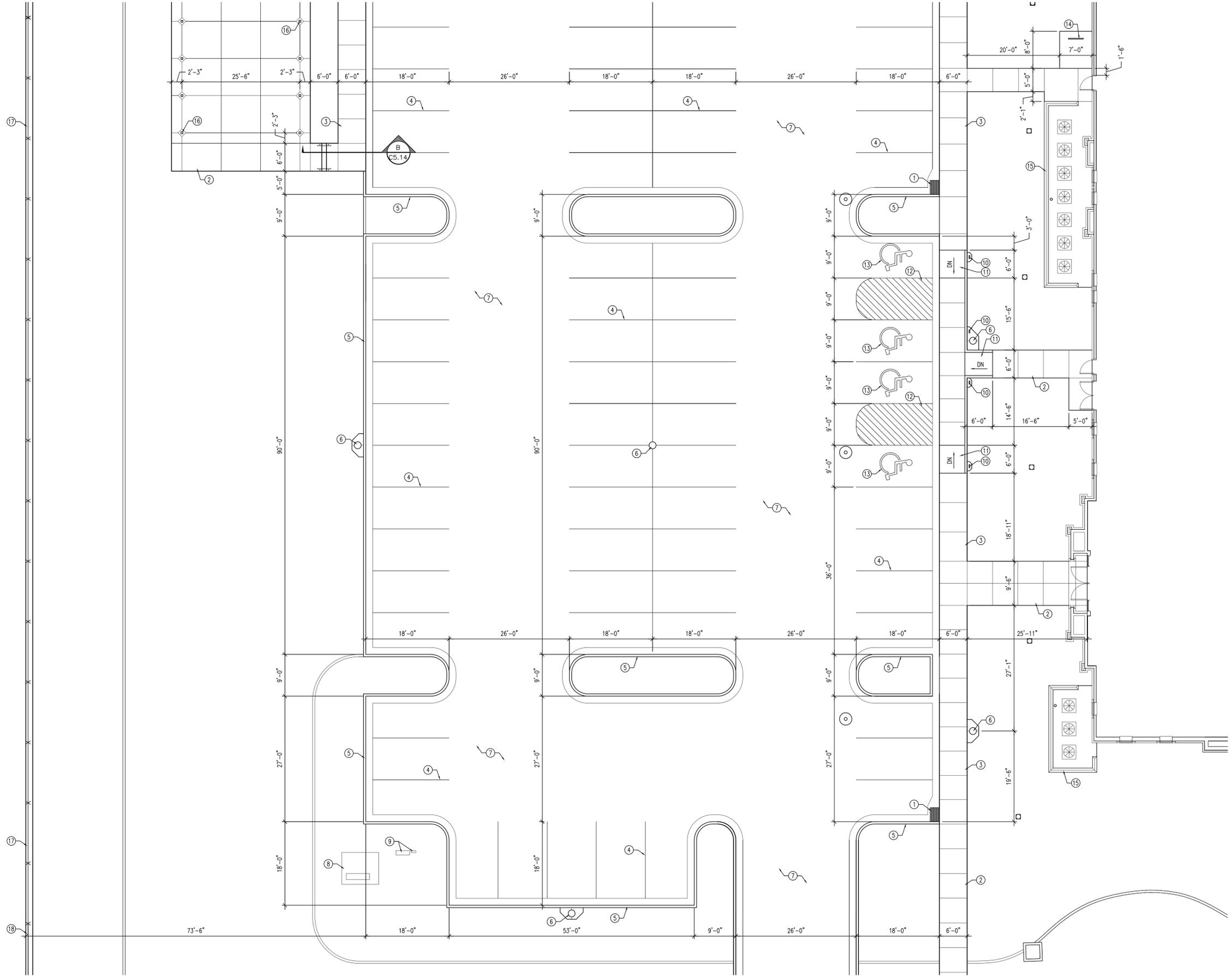
SCALE: 1" = 40'-0"



KEYED NOTES
1. CONCRETE WALK - SEE D/C5.12
2. PROPERTY LINE
3. 6'-0" TALL VINYL PRIVACY FENCE WITH CONCRETE MOW STRIP - SEE J/C5.12
4. CONCRETE DRIVE APPROACH - SEE ST-4/C5.11
5. EXISTING CONCRETE WALK TO REMAIN - PROTECT DURING CONSTRUCTION
6. EXISTING PEDESTAL TO REMAIN - PROTECT DURING CONSTRUCTION - SEE ELECTRICAL
7. EXISTING GROUND SLEEVE TO REMAIN - PROTECT DURING CONSTRUCTION - SEE ELECTRICAL
8. EXISTING SWITCHGEAR TO REMAIN - PROTECT DURING CONSTRUCTION - SEE ELECTRICAL
9. CATCH BASIN - SEE GRADING AND DRAINAGE PLAN
10. EXISTING CATCH BASIN TO REMAIN - PROTECT DURING CONSTRUCTION
11. STORM DRAIN MANHOLE - SEE GRADING AND DRAINAGE PLAN
12. EXISTING STORM DRAIN MANHOLE TO REMAIN - PROTECT DURING CONSTRUCTION
13. EXISTING SANITARY SEWER MANHOLE TO REMAIN - PROTECT DURING CONSTRUCTION
14. EXISTING CURB AND GUTTER TO REMAIN - PROTECT DURING CONSTRUCTION
15. NEW STREET LIGHT - SEE ELECTRICAL

GENERAL NOTES
1. CONCRETE RADII ARE 4'-0" UNLESS NOTED OTHERWISE
2. COORDINATE ALL SITE WORK WITH ALL OTHER CONTRACT DOCUMENTS
3. ALL APPLICABLE ELEMENTS OF THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO
4. PARKING STALLS ARE 9'-0" X 18'-0" UNLESS NOTED OTHERWISE.
5. ALL NOTED ITEMS ARE NEW UNLESS NOTED OTHERWISE.

SITE INFORMATION		
ON SITE IMPROVEMENTS	SQ. FT.	ACRES
TOTAL PARCEL AREA	326,598	7.50
AFFECTED PARCEL AREA	223,013	5.12
BUILDING AREAS		
CHAPEL	20,680	
STORAGE BUILDING	190	
IMPERVIOUS AREAS		
CONCRETE - WALKS, PADS, APRONS	10,932	
CONCRETE CURB & GUTTER (LF)	3,595	
ASPHALT	82,660	
TOTAL LANDSCAPE AREA	99,216	
TOTAL PARKING SPACES PROVIDED		
REGULAR	252 STALLS	
ACCESSIBLE	7 STALLS	
TOTAL SPACES PROVIDED	259 STALLS	



KEYED NOTES

1. CATCH BASIN - SEE SITE GRADING AND DRAINAGE PLAN AND C5.13
2. CONCRETE WALK - SEE D/C5.12
3. COMBINATION CONCRETE SIDEWALK-CURB AND GUTTER - SEE B/C5.11 AND C/C5.11
4. 4" WIDE PAINTED PARKING STRIPES - TYPICAL
5. CONCRETE CURB AND GUTTER - SEE E/C5.11 AND F/C5.11
6. LIGHT POLE - SEE ELECTRICAL
7. ASPHALT PAVEMENT - SEE C/C5.12
8. TRANSFORMER - SEE ELECTRICAL
9. METER BASE AND CT CABINET - SEE ELECTRICAL
10. ADA PARKING SIGNAGE WITH CONCRETE APRON - SEE A/C5.12
11. CONCRETE ADA RAMP - SEE E/C5.13
12. PAINTED ADA ACCESSIBLE AISLE - 4" WIDE STRIPES AT 45 DEGREE ANGLE AT 2'-0" O.C.
13. PAINTED ACCESSIBLE PARKING SYMBOL
14. BIKE RACK - SEE K/C5.12
15. MECHANICAL ENCLOSURE - SEE B/C5.21
16. PAVILION - SEE C9.01
17. 6'-0" HIGH VINYL PRIVACY FENCE - SEE J/C5.12
18. 3'-0" TALL VINYL PRIVACY FENCE WITH CONCRETE MOW STRIP EXTEND FROM SIDEWALK TO 30'-0" FROM THE RIGHT OF WAY

GENERAL NOTES

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Stamp

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Project for:
**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

Mark	Date	Description

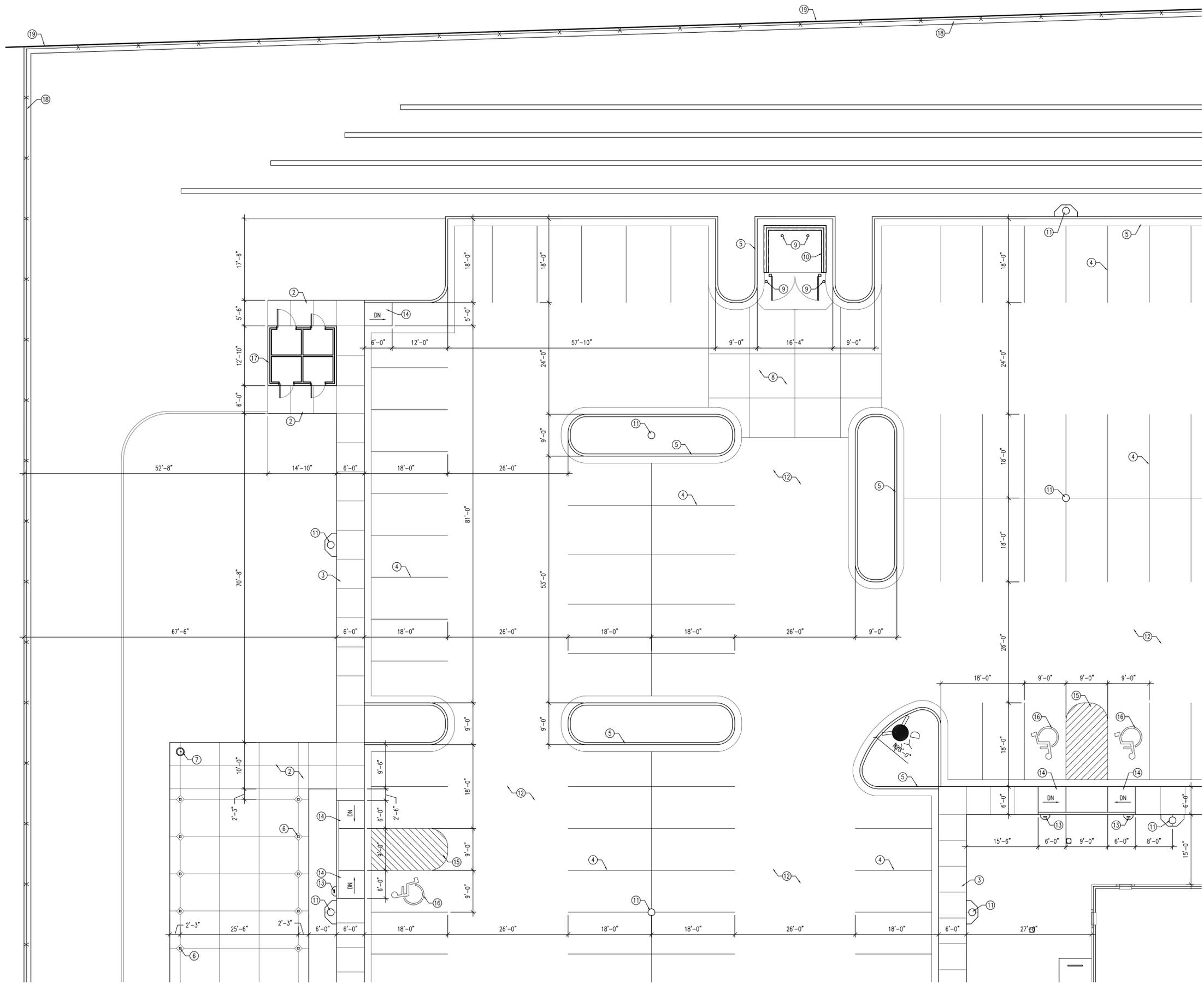
Project Number
13-66
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HET-SAS-09-04 (Style A)
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500-7418
 Date
February 10, 2014

Sheet Title
 ENLARGED ARCHITECTURAL
 SITE PLAN

Sheet
C4.11

1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 10'-0"





1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'-0"

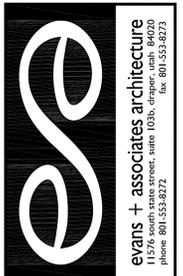


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4. 4" WIDE PAINTED PARKING STRIPES - TYPICAL
5. CONCRETE CURB AND GUTTER - SEE E/C5.11 AND F/C5.11
6. PAVILION - SEE C9.01
7. DRINKING FOUNTAIN
8. CONCRETE PAVEMENT - SEE L/C5.12
9. BOLLARD - SEE C/C5.12
10. DUMPSTER ENCLOSURE - SEE A/C5.21
11. LIGHT POLE - SEE ELECTRICAL
12. ASPHALT PAVEMENT - SEE C/C5.12
13. ADA PARKING SIGNAGE WITH CONCRETE APRON - SEE A/C5.12
14. CONCRETE ADA RAMP - SEE E/C5.13
15. PAINTED ADA ACCESSIBLE AISLE - 4" WIDE STRIPES AT 45 DEGREE ANGLE AT 2'-0" O.C.
16. PAINTED ACCESSIBLE PARKING SYMBOL
17. STORAGE BUILDING - SEE C8.01
18. 6'-0" HIGH VINYL PRIVACY FENCE WITH CONCRETE MOW STRIP - SEE J/C5.12
19. PROPERTY LINE

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Stamp

A New Meetinghouse for:
Summerhill 1 & Saratoga Springs UT Israel Canyon Stake
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Saratoga Springs, Utah

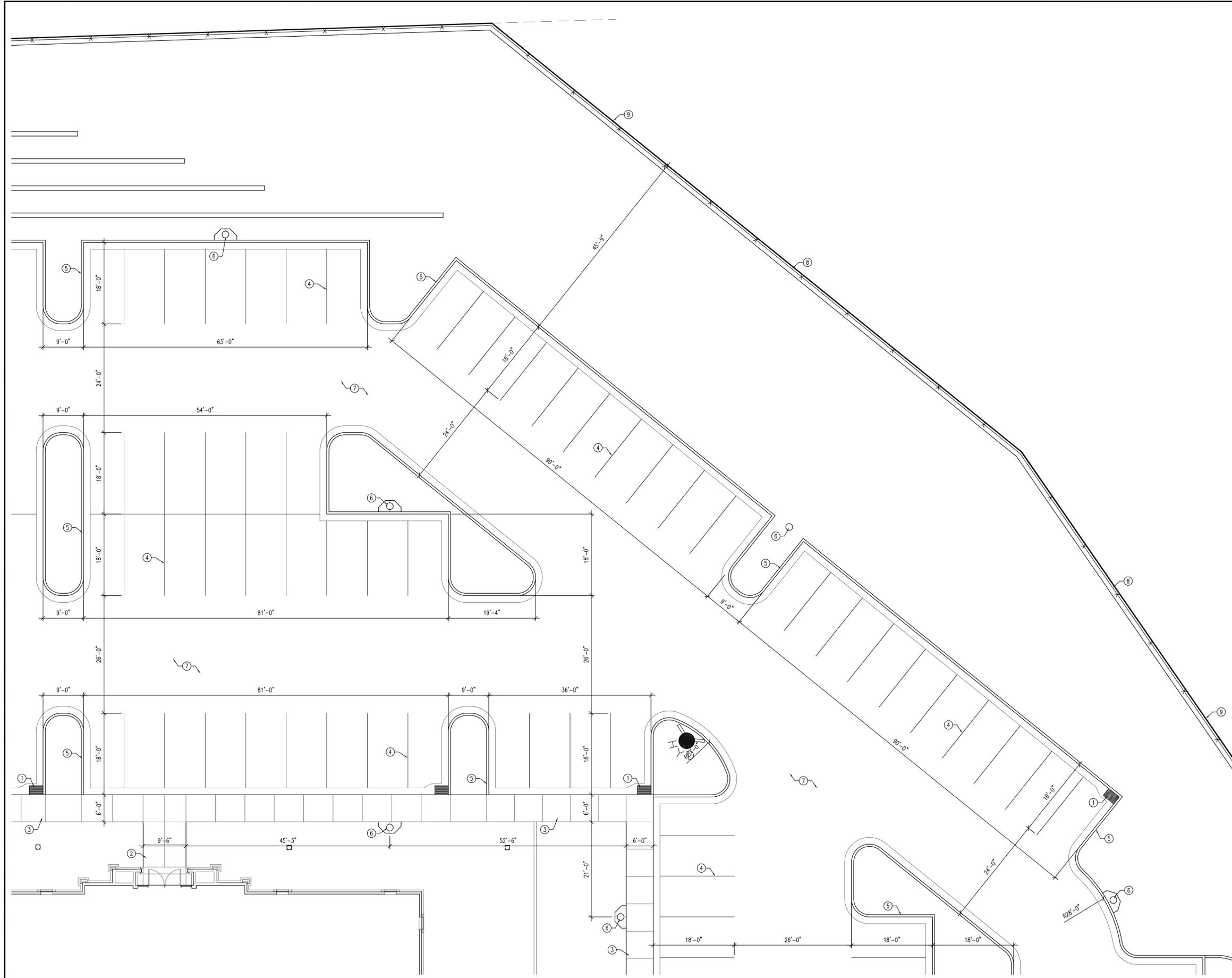
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description
Mark	Date

Project Number
13-66
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HET-SAS-09-04 (Style A)
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February 10, 2014

Sheet Title
ENLARGED ARCHITECTURAL SITE PLAN

Sheet
C4.12



KEYED NOTES

1. CATCH BASIN - SEE SITE GRADING AND DRAINAGE PLAN AND C5.13
2. CONCRETE WALK - SEE D/C5.12
3. COMBINATION CONCRETE SIDEWALK-CURB AND GUTTER - SEE B/C5.11 AND C/C5.11
4. 4" WIDE PAINTED PARKING STRIPES - TYPICAL
5. CONCRETE CURB AND GUTTER - SEE E/C5.11 AND F/C5.11
6. LIGHT POLE - SEE ELECTRICAL
7. ASPHALT PAVEMENT - SEE C/C5.12
8. 6'-0" HIGH VINYL PRIVACY FENCE WITH CONCRETE MOW STRIP - SEE J/C5.12
9. PROPERTY LINE



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A New Meetinghouse for:
**Summerhill 1 &
 Saratoga Springs UT Israel Canyon Stake**
 Village Parkway
 Saratoga Springs, Utah

Project for:
**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

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Revisions	Description
Mark	Date

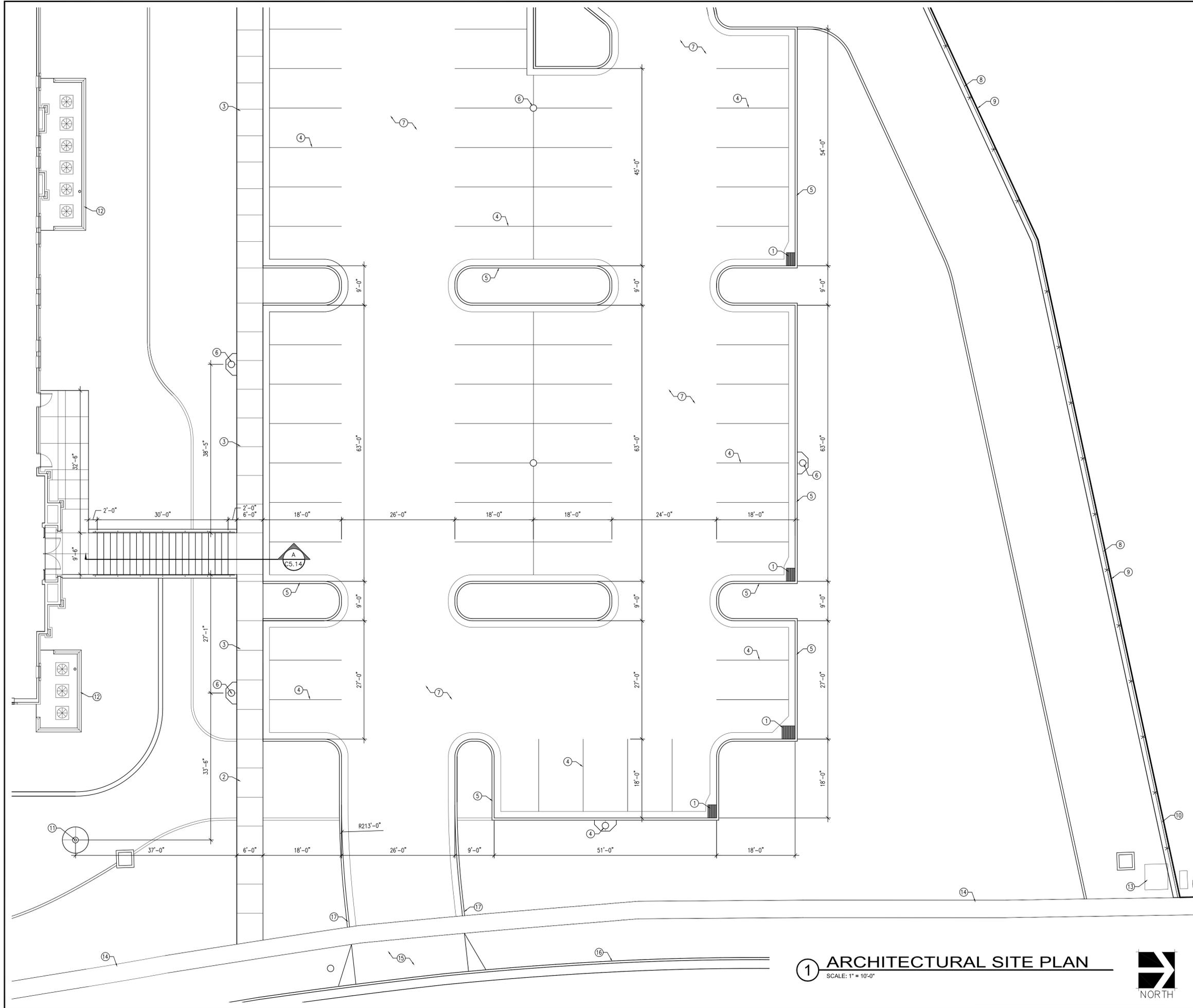
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 Plan Series
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 Date
 February 10, 2014

Sheet Title
 ENLARGED ARCHITECTURAL
 SITE PLAN

Sheet
C4.13

1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 10'-0"





KEYED NOTES

1. CATCH BASIN - SEE SITE GRADING AND DRAINAGE PLAN AND C5.13
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3. COMBINATION CONCRETE SIDEWALK-CURB AND GUTTER - SEE B/C5.11 AND C/C5.11
4. 4" WIDE PAINTED PARKING STRIPES - TYPICAL
5. CONCRETE CURB AND GUTTER - SEE E/C5.11 AND F/C5.11
6. LIGHT POLE - SEE ELECTRICAL
7. ASPHALT PAVEMENT - SEE C/C5.12
8. 6'-0" HIGH VINYL PRIVACY FENCE WITH CONCRETE MOW STRIP - SEE J/C5.12
9. PROPERTY LINE
10. 3'-0" TALL VINYL PRIVACY FENCE WITH CONCRETE MOW STRIP EXTEND FROM SIDEWALK TO 30'-0" FROM THE RIGHT OF WAY
11. FLAGPOLE - SEE K/C5.13
12. MECHANICAL ENCLOSURE - SEE B/C5.21
13. EXISTING SWITCHGEAR TO REMAIN - PROTECT DURING CONSTRUCTION - SEE ELECTRICAL
14. EXISTING CONCRETE SIDEWALK TO REMAIN - PROTECT DURING CONSTRUCTION
15. CONCRETE DRIVE APPROACH - SEE ST-4/C5.11
16. EXISTING CONCRETE CURB AND GUTTER TO REMAIN - PROTECT DURING CONSTRUCTION
17. TAPER CURB TO SIDEWALK ELEVATION - SEE F/C5.13

GENERAL NOTES

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Stamp

A New Meetinghouse for:
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Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date

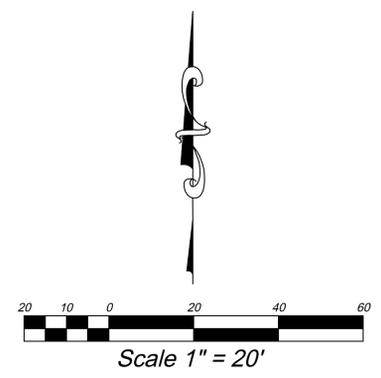
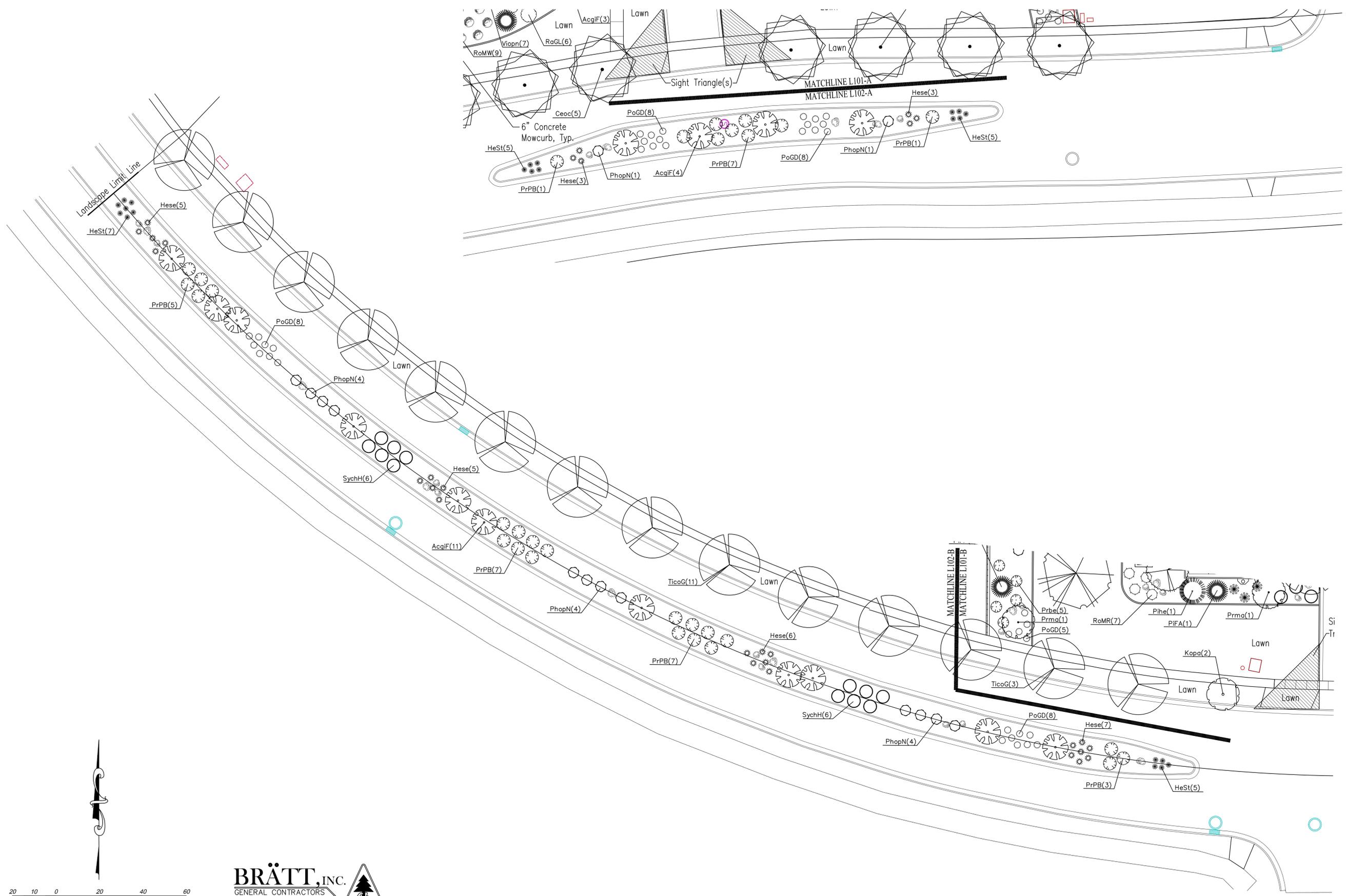
Project Number
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Property Number
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Date
February 10, 2014

Sheet Title
ENLARGED ARCHITECTURAL SITE PLAN

Sheet
C4.14

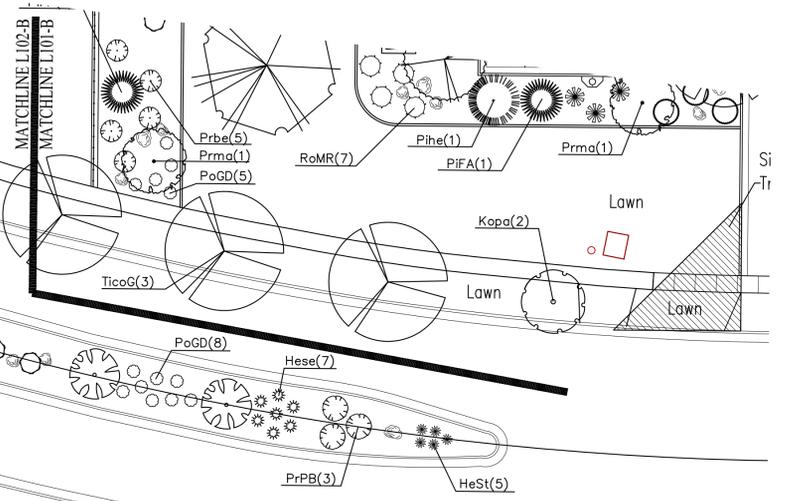
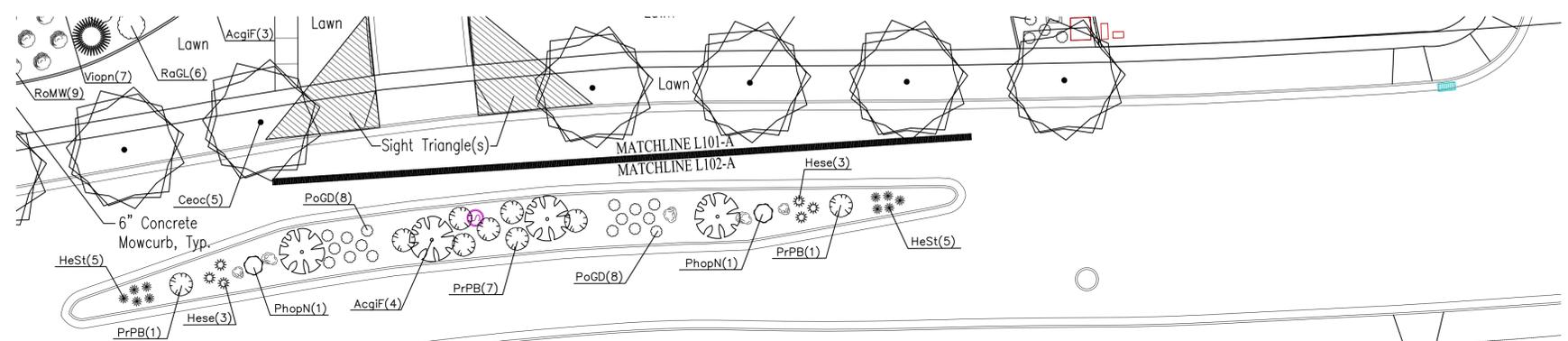
1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



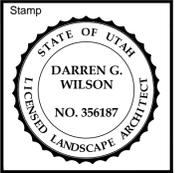


BRÄTT, INC.
 GENERAL CONTRACTORS
 LANDSCAPE ARCHITECTS
 LANDSCAPE CONTRACTORS

754 W. 700 So. PLEASANT GROVE, UTAH 84062
 (801) 785-8011 562-2677 FAX 785-8012



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Project for:
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 Village Parkway
 Saratoga Springs, Utah

Revisions	Description

Mark	Date	Description

Project Number
13-66
 Plan Series
HET-SAS-09-04 (Style A)
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 Date
May 1, 2014

Sheet Title
LANDSCAPE PLAN

Sheet
L102

PLANTING SCHEDULE

Broadleaf Deciduous

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
	AcgIF	Acer ginnala 'Flame' (multi-stem)	Flame Amur Maple (clump)	6'-8' Ht.	36
	AcKe	Acer x truncatum 'Warrenred'	Pacific Sunset Maple	2"-Cal	7
	Ceoc	Celtis occidentalis	Common Hackberry	2"-Cal	14
	Crph	Crataegus phaenopyrum	Washington Hawthorn	2"-Cal	14
	FrPa	Fraxinus pennsylvanica 'Patmore'	Patmore Ash	2"-Cal	13
	Glim	Gleditsia triacanthos 'Imperial'	Imperial Honeylocust	2"-Cal	15
	Kopa	Koelreuteria paniculata	Goldenrain Tree	2"-Cal	2
	Prma	Prunus mackii	Amur Chokecherry	2"-Cal	10
	PycaC	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2"-Cal	25
	TicoG	Tilia cordata 'Greenspire'	Greenspire Little Leaf Linden	2"-Cal	14

Conifer Evergreen

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
	PIFA	Picea pungens 'Fat Albert'	Fat Albert Spruce	7'-8' Ht.	11
	PIhe	Pinus heldrichii leucodermis	Bosnian Redcone Pine	7'-8' Ht.	5
	Pini	Pinus nigra	Austrian Pine	7'-8' Ht.	10

Perennial

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
	HePM	Hemerocallis 'Pardon Me'	Pardon Me Daylily	1-Gal	36
	HeSt	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	1-Gal	68

Grass

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
	Hese	Helictotrichon sempervirens	Blue Oat Grass	1-Gal	97

Shrub

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
	BuPE	Buddleia davidii 'Purple Emperor'	Purple Emperor Butterfly Bush	5-Gal	54
	CoAC	Cornus sericea 'Alleman's Compact'	Alleman's Compact Dogwood	5-Gal	44
	JuSc	Juniperus sabina 'Scandia'	Scandia Juniper	5-Gal	32
	PhopN	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	5-Gal	68
	PimuP	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5-Gal	12
	PoGD	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	5-Gal	67
	Prbe	Prunus besseyi	Western Sand Cherry	5-Gal	22
	PrPB	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	5-Gal	59
	RaGL	Rhus aromatica 'Grow Low'	Grow Low Sumac	5-Gal	32
	RIGM	Ribes alpinum 'Green Mound'	Green Mound Currant	5-Gal	84
	RoMR	Rosa 'Meidiland Red'	Meidiland Red Rose	5-Gal	47
	RoMW	Rosa 'Meidiland White'	Meidiland White Rose	5-Gal	22
	SychH	Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	5-Gal	91
	Viopn	Viburnum opulus nanum	Dwf. European Cranberry	5-Gal	29
	VrAl	Viburnum x rhytidophloides 'Alleghany'	Leatherleaf Viburnum	5-Gal	16

NOTES:

- 1) Screened Top Soil to be implemented in all new planting areas at the following depths: 12" in all shrub beds, 5" in all lawn areas.
- 2) Lawn to be a Kentucky Bluegrass Blend (min. 3 varieties) and be implemented as sod.
- 3) 6"x6" flat concrete curbing to be implemented between all shrub bed and lawn areas as shown on plan.
- 4) Cobble Rock Mulch "A" to be 1-1/2" size "South town" from Nephi Sandstone, Nephi, Utah. Implement Cobble Rock in planter beds at a 3" depth over weed barrier fabric. All planter beds to be Cobble Rock Mulch "A" unless otherwise noted.
- 5) Cobble Rock Mulch "B" to be 4-6" size
- 6) Cobble Rock Mulches to be clean and free of debris, placed at uniform depth, and raked smooth.
- 7) DeWitt #5 Landscape Fabric to be implemented in all shrub beds prior to cobble rock implementation. Follow manufacturer's installation instructions.
- 8) Trees in lawn areas to have a 36" diameter grass free ring around the trunk and have a 2" depth of shredded bark mulch implemented.
- 9) Landscape Boulders to be 3'-4' size and match color of cobble rock mulch "A". Bury boulders minimum 6" in ground. (115 Total)
- 10) No landscaping or other obstruction in excess of 3 feet above finished grade shall be implemented in clear view triangles.
- 11) 1/4" x 6" Metal Edging to be implemented between all Cobble Rock Mulch "A" and Cobble Rock Mulch "B" as shown on plan. See Detail F.

DESIGN CRITERIA

Climate	U.S. Hardiness Zone 5
Zoning Ordinance	Saratoga Springs City
Water Availability	NA
Soil Type	See Soils Report
Solar Orientation	See North Arrow
Utilities	See Utility Plan
Slopes	See Grading Plan
Site Layout	Road bordered
Wind	South Prevailing
Setbacks/Easements	NA
Microclimates	NA
Soil ph	See Soils Report
Lawn Area	35% of Total Landscape (35,255 sq. ft.)*

* Park Strip landscape of 9,016 sq. ft. NOT included in this total

CNA INFORMATION

Total Site Area	5.1 Acres*
Shrubs/Groundcover	64,846 sq. ft.
Total Landscape Area	100,101 sq. ft. (45%)*
Trees On Site	176

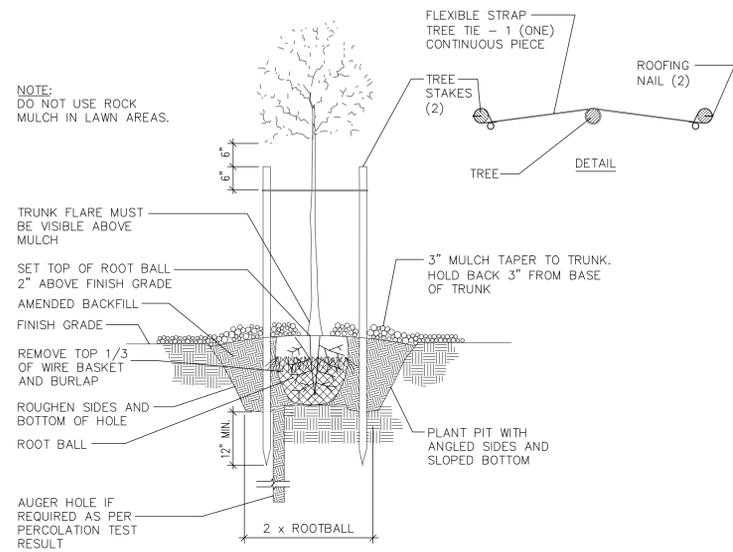
* Park Strip landscape of 9,016 sq. ft. NOT included in this total

PLANT COVERAGE TABLE

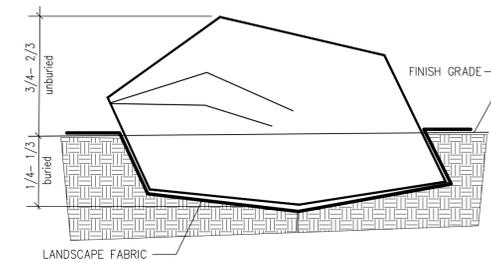
Street Frontage	Shrub-Mature Coverage	Tree-Coverage Intent
Primary Entries	~% (25-50%)	Frame Building
Building Perimeter	~% (30-55%)	Frame Entry
Perimeter Sides	~% (25-45%)	Accent Building
Perimeter Rear	~% (10-25%)	Screen Lot

CITY REQUIREMENTS

Landscape Element	Required	Per Plan
Deciduous Trees	--	150
Evergreen Trees	--	26
Shrubs (incl. Grasses & Perennials)	--	880
Drought Tolerant	Recommended	1,056 Total Plants(-%)



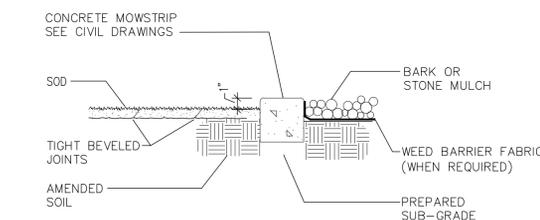
A TREE PLANTING AND STAKING



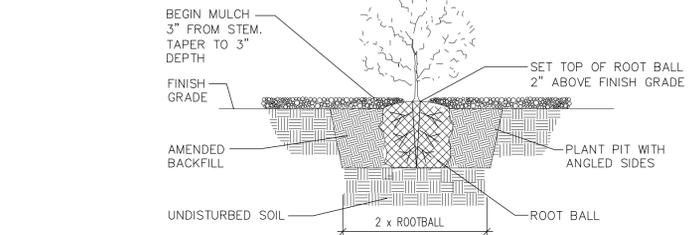
- NOTE:
- 1) FOR BOULDERS WITH A FLAT EDGE, BURY FLAT EDGE 3-6" MIN. IN GROUND.
 - 2) PLACE ONE LAYER OF FABRIC BENEATH EACH BOULDER. OVERLAP SHRUB BED FABRIC OVER BOULDER FABRIC A MINIMUM OF 12".

C BOULDER PLACEMENT DETAIL

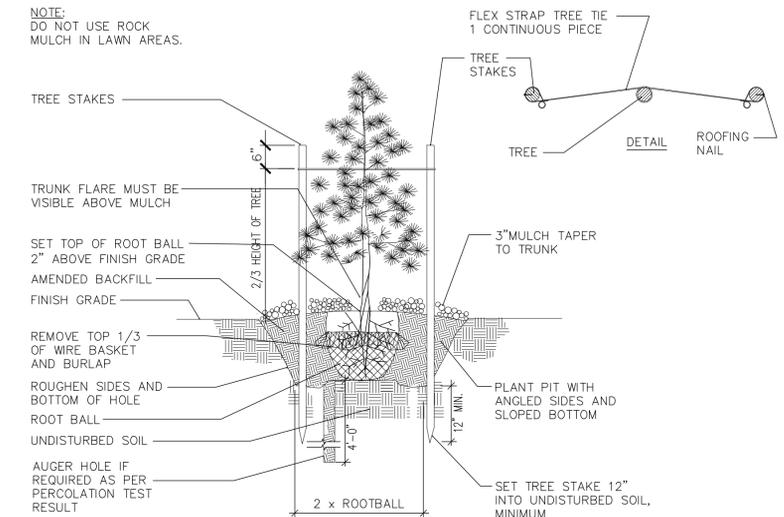
- NOTES:
1. MOWSTRIP TO BE CAST-IN-PLACE AND POURED USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
 2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
 3. MAXIMUM 1/2" WIDTH VARIATION.
 4. PRECISELY FOLLOW LAYOUT AS SHOWN ON MOWSTRIP/EDGING DIMENSION PLAN.
 5. RAISE THE LAWN GRADE 1" WHEN SEEDING.



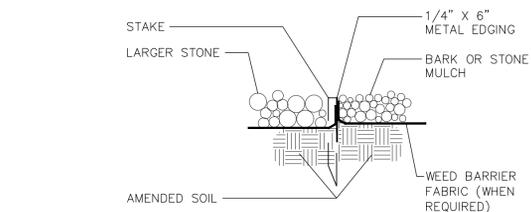
E CONCRETE MOWSTRIP



B SHRUB PLANTING DETAIL



D CONIFER PLANTING AND STAKING



F METAL EDGE DETAIL

BRÄTT, INC.
GENERAL CONTRACTORS
LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS

754 W. 700 S. PLEASANT GROVE, UTAH 84062
(801) 785-8011 362-2677 FAX 785-8012

EVANS + ASSOCIATES architecture
11276 south state street, suite 1036, englewood, utah 84020
phone 801-553-8272 fax 801-553-8273

Stamp
DARREN G. WILSON
NO. 356187
LANDSCAPE ARCHITECT

A New Meaninghouse for:
Summerhill 1
Saratoga Springs UT Israel Canyon Stake

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date	Mark

Project Number
13-66
Plan Series
HET-SAS-09-04 (Style A)
Property Number
500-7418
Date
May 1, 2014

Sheet Title

LANDSCAPE PLAN

Sheet

L103



**Lake Cove
Preliminary & Final Plat
July 15, 2014**

Report Date:	July 1, 2014
Applicant/Owner:	Ron Johnston / Desert Peak Management Group, LLC
Location:	3618 South Spinnaker Drive
Major Street Access:	Harbor Park Way
Parcel Number(s) & Size:	452280148, -149, -150, -151, -170; 6.424 acres
Parcel Zoning:	R-3, Low Density Residential
Adjacent Zoning:	R-3
Current Use of Parcel:	Vacant
Adjacent Uses:	R-3, Low Density Residential (north, south and west); R-3, Low Density Residential (east) Utah Lake
Previous Meetings:	Concept Plan PC – 3/13/14; CC – 4/01/14
Previous Approvals:	04/10/2007 Rezone, 09/25/2007 MDA Amendment (expired)
Land Use Authority:	City Council
Future Routing:	Utah County Recordation
Author:	Scott Langford, Senior Planner

A. Executive Summary:

This is a request for review of a Preliminary and Final Plat for a proposed single-family residential development located at approximately 3618 South Spinnaker Drive. The site is comprised of a 5 existing parcels totaling 6.424 acres and is zoned R-3, Low Density Residential. The R-3 zone permits up to 3 units per acre. The Preliminary Plat proposes 13 single-family lots for an overall density of 2.02 units per acre.

Recommendation:

Staff recommends that the City Council conduct a public meeting and at their discretion take public comment, and/or discuss the proposed preliminary and final plat, and choose from the options in Section "H" of this report. Options include a motion for approval as proposed, a motion to continue the item to gather additional supportive information, or a motion for a denial based on non-compliance with findings of specific criterion.

B. Background:

The subject property was rezoned from AG to R-3 on April 10, 2007. The property was also part of the amended Harbor Bay Master Development Agreement, which was approved in September 2007. This agreement is now expired.

Both the Planning Commission (3/13/2014) and City Council (4/01/2014) reviewed the Concept Plan for the proposed subdivision. The Planning Commission and City Council had positive feedback for the larger lots and the continuation of the lakeshore trail. The Planning Commission and City Council also supported the option of allowing the applicant to pursue payment in lieu of open space in order to meet the minimum 15% open space requirement for the R-3 zone.

On June 12, 2014 the Planning Commission held a public hearing to discuss the Preliminary Plat. No one from the public spoke at the meeting and the Planning Commission forwarded a unanimous positive recommendation to the City Council to conditionally approve the proposed subdivision.

C. Specific Request:

The Preliminary and Final Plat has 13 single family residential lots ranging in size from 11,308 square feet up to 19,414 square feet. The plat also includes 0.83 acres of open space; however approximately 0.5 acres of this open space is within the 100 year flood plain and therefore designated as sensitive land.

D. Process:

Per section 19.12.03 of the City Code, all subdivisions must receive a Preliminary Plat approval. The development review process for subdivision approval involves a formal review of the Preliminary Plat by the Planning Commission in a public hearing, with a formal recommendation forwarded to the City Council. The City Council reviews the Preliminary Plat in a public meeting and formally approves the Preliminary Plat. Final Plats are reviewed and approved by the City Council in a public meeting.

E. Community Review:

Per 19.13.04 of the City Code, this item was noticed in *The Daily Herald*, and each residential property within 300 feet of the subject property was sent a letter at least ten calendar days prior to the Planning Commission meeting. As of the completion of this report, the City has not received any public comment regarding this application.

F. General Plan:

The General Plan designates this area for Low Density Residential development. The Land Use Element of the General Plan defines Low Density Residential as development that has one to four units per acre. The proposed subdivision consists of 2.02 units per acre; therefore it is in compliance with the density envisioned for this area.

G. Code Criteria:

Section 19.12.03 of the City Code states, "All subdivisions are subject to the provisions of Chapter 19.13, *Development Review Process*". The following criteria are pertinent requirements for Preliminary Plats listed in Sections 19.12 (Subdivision Requirements) and 19.04.13 (R-3 Requirements) of the City Code.

Permitted or Conditional Uses: complies. Section 19.04.13(2 & 3) lists all of the permitted and conditional uses allowed in the R-3 zone. The plat shows residential building lots which are supported as a permitted use in the R-3 zone.

Minimum Lot Sizes: complies. 19.04.13(4) states that the minimum lot size for residential lots is 10,000 square feet. The smallest lot shown on the plat is 10,722 square feet.

Setbacks and Yard Requirements: complies. Section 19.04.13(5) outlines the setbacks required by the R-3 zone. These requirements are:

Front: Not less than twenty-five feet.

Sides: 8/20 feet (minimum/combined)

Rear: Not less than twenty-five feet

Corner: Front 25 feet; Side abutting street 20 feet

The typical setback and P.U.E. details shown on the plat show compliance with all of these minimum setback requirements.

Parking, vehicle and pedestrian circulation: complies. Section 19.09.11 requires single-family homes to have a minimum 2 parking stalls within an enclosed garage. Driveways leading to the required garages must be a minimum 25 feet in length. Even though this requirement will be reviewed by the building department with each individual building permit application, staff believes that the proposed lots are of sufficient size to support this requirement.

Access to the proposed lots comes from Spinnaker Bay Drive, which is currently a 2,786 foot long dead-end street. The City Code has recently been amended to allow no more than 50 single family lots off of a single access. However, regardless of this code change, the proposed project cannot be held to these new standards because the applicant submitted a complete Preliminary Plat application prior to the adoption of these code changes (November 18, 2013).

Fencing: complies. Section 19.06.09 requires fencing along property lines abutting open space, parks, trails, and easement corridors. The Code also states that in an effort to promote safety for citizens using these trail corridors and security for home owners, fences shall be semi-private. A 6-foot tall wrought iron style fence was constructed along the Lake Shore trail as part of the Harbor Bay development. The plat includes a fencing detail that states the semi-private fencing (wrought iron style with brick columns) will be continued between the private lots and open space.

Open Space: can comply. The City Code requires a minimum 15% open space; therefore this development is required to have 0.964 acres of open space. The Preliminary Plat indicates that there is 0.78 acres of open space; however, 0.505 acres of this open space is within the 100 year flood plain and therefore designated as sensitive land.

Sensitive Lands are defined in Section 19.02.02 as,
"land and natural features including canyons and slopes in excess of 30%, ridge lines, natural drainage channels, streams or other natural water features, wetlands, flood plains, landslide prone areas, detention or retention areas, debris basins, and geologically sensitive areas."

Credit toward meeting the open space requirement may be given for sensitive lands per the following code criteria:

- a. Sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development and no development credit shall be given for sensitive lands.
- b. All sensitive lands shall be placed in protected open space.
- c. Sensitive lands may be used for credit towards meeting the minimum open space requirements. However, no more than fifty percent of the required open space area shall be comprised of sensitive lands."

The total amount of open space required for this project is 0.964 acres; therefore per the code, no more than $0.964 \div 2 = 0.482$ acres of sensitive land can be counted toward meeting the open space requirement for this subdivision. Since only 0.482 acres of the total 0.505 acres of sensitive land can be used toward meeting the open space requirement, the overall total open space

provided for the project is $0.482 + 0.275 = 0.757$ acres or 11.78%. The applicant has the option of requesting a payment in lieu of open space to make up the difference, which they have done. This option was met favorably by the Planning Commission and City Council when the Concept Plan was reviewed.

Staff has determined that there are parks nearby that can serve this small subdivision and recommends that the creation of a pocket park is not in the best interest of the City (if it were to be maintained by the City) at this location. Therefore, staff recommends that the applicant participate in the payment in lieu of open space program, as outlined in Section 19.13.090.

19.13.09. Payment in Lieu of Open Space.

1. **Purpose.** In order to meet the City's recreational needs and to create a more attractive community, Open Space shall be dedicated to the City of Saratoga Springs in accordance with the standards provided in Chapters 19.04 and 19.07 of the Land Development Code. In cases where the City Council finds that a voluntary payment to the City in lieu of providing all of the open space required by the City's Land Development Code will better meet the City's recreational needs, the City Council may allow a developer to utilize the City's Payment in Lieu of Open Space Program as described in this Section.
2. **Payment in Lieu of Open Space Program.** The City's Payment in Lieu of Open Space Program may be utilized for developments in the R-2, R-3, and R-4 zones. The percentage of open space that may be satisfied with a Payment in Lieu of Open Space shall be determined by the City Council taking into account the following:
 - a. The proximity of regional parks;
Staff conclusion: The 11.46 acre Marina Park is within walking distance of this development.
 - b. The size of the development;
Staff conclusion: The development is 6.42 acres with 13 lots and would result in a park that would be 0.207 acres. The Marina Park is less than a ½ mile from this subdivision and is connected to the park via the Lake Shore trail and public sidewalks along Spinnaker Bay Drive.
 - c. The need of the residents of the proposed subdivision for open space amenities;
Staff conclusion: The needs of the future residents may be met by utilizing the nearby park.
 - d. The density of the project;
Staff conclusion: This is a low density residential project, with a density of 2.18 units per acre.
 - e. Whether the Payment in Lieu furthers the intent of the General Plan; and
Staff conclusion: The General Plan states "Open spaces shall include useable recreational features as outlined in the City's Parks, Trails, Recreation and Open Space Master Plan. This plan recommends that the City not continue to create or accept parks less than 5 acres in size. If the 0.207 acres were to be developed within this phase, it would need to be a private park and would not be open to the public.
 - f. Whether the Payment in Lieu will result in providing open space and parks in more desirable areas.
Staff conclusion: The payment in lieu of open space will allow the City to purchase or improve park space in the City.

3. **Excluded Open Space.** Specific types of open space do not qualify for this program including landscaping strips, regional trail segments, landscaping buffers, sensitive lands, landscaping in parking areas, or other types of open space that may be specifically required by City ordinances and standards.

Staff conclusion: The requested payment in lieu of open space is not being proposed for the above listed open spaces.

4. **Qualification for the Program.** Developments that the developers or the planning staff believe would result in better projects and would meet the above described standards may qualify for the Payment in Lieu of Open Space Program.

- a. Such developments will be presented to the Planning Commission and City Council as part of the review process for Concept Plans or Master Development Plans. Said payments in lieu of open space shall be presented for approval in connection with preliminary and final plat approval. During that review, the Planning Commission will make a recommendation to the City Council on the implementation of the Payment in Lieu of Open Space program.

Staff conclusion: The Preliminary Plat has a favorable recommendation by the Planning Commission to the City Council with the condition, "2. At the time of Final Plat approval (required during the review of the first plat) the applicant shall submit a proposal to the City Council for approval of a payment in lieu of open space program, as outlined in Section 19.13.090."

Section "H" of this report explains the amount of money acceptable for the payment in lieu option. City staff has applied the average cost of the last 4 parks the City has constructed (average \$3.33 per square foot) to calculate the amount needed for the payment in lieu the deficient open space.

- b. Subsequent to the Planning Commission's review, the City Council may approve, approve with modifications, or deny a request to implement the Payment in Lieu of Open Space Program. The City Council maintains complete discretion as to whether a request to provide Payment in Lieu of Open Space shall be granted.

Staff conclusion: The payment in lieu of open space option was discussed during the Concept and Preliminary Plat review. Staff recommends that the payment in lieu of open space option be considered for the 0.207 acre deficiency because this small amount of open space will not be beneficial to the City as an individual parcel and there is a nearby park (Marina Park) that may be used by the future residents of this development.

H. Recommendation and Alternatives:

After evaluating the required standards for subdivision plats located in an R-3 zone, staff recommends that the City Council hold a public meeting and choose one of the following motions:

Recommended Motion:

"Based upon the evidence and explanations received today, I move that the City Council approve the Lake Cove Preliminary and Final Subdivision Plat on property generally located at 3618 South Spinnaker Drive as identified in Exhibit 2, with the findings and conditions below:

Findings:

1. As stated in Section G of this report, the proposed subdivision plat is consistent with the General Plan and Land Development Code. All findings in Section G of this report are incorporated into these findings by this reference.

Conditions:

1. That per Section 19.12.02(5) of the City Code, the Final Subdivision Plat shall remain valid for twenty-four months from the date of City Council approval. The City Council may grant extensions of time when such extensions will promote the public health, safety, and general welfare. Said extensions must be requested within twenty-four months of site plan/Subdivision approval and shall not exceed twelve months."
2. At the time of Final Plat approval (required during the review of the first phase) the applicant shall submit a proposal to the City Council for approval of a payment in lieu of open space program, as outlined in Section 19.13.090.
3. That the applicant may pursue payment in lieu of open space improvement for the 0.207 acre deficiency by agreeing to pay the following:
 - ii. Improvement of open space at a cost of \$3.33 per square foot, for a total of \$30,026.34, plus;
 - iii. The appraised value of the land which shall be provided prior to the recordation of the plat, plus;
 - iv. The amount equal to the estimated costs of water connections and water rights for the land if it were developed as open space, which is \$15,200 per acre, for a total of \$3,146.40, therefore;
 - v. The total amount of payment in lieu open space costs for 0.207 acres is \$33,172.74 plus the appraised land value.
4. All requirements of the City Engineer shall be met, including but not limited to those in the attached report.
5. All requirements of the Fire Chief shall be met, including but not limited to those in the attached report.
6. Any other conditions as articulated by the City Council:

Alternative Motions:

Alternative Motion A

"I move to **continue** the item to another meeting, with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

Alternative Motion B

"Based upon the evidence and explanations received today and the following findings, I move that the City Council deny the Lake Cove Preliminary and Final Subdivision Plat on property generally located at 3618 South Spinnaker Drive as identified in Exhibit 2. Specifically I find that the following standards and/or code requirements have not been met:"

List Specific Code Standards and Requirements:

I. Exhibits:

1. Engineering Report
2. Zoning / Location map
3. Aerial Photo
4. Preliminary and Final Plat Exhibits

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Lake Cove
Date: June 12, 2014
Type of Item: Preliminary Plat Approval



Description:

A. Topic: The Applicant has submitted a preliminary plat application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Ron Johnston / Desert Peak Management Group, LLC
Request: Preliminary Plat Approval
Location: 3618 South Spinnaker Drive
Acreage: 6.424 acres - 14 lots

C. Recommendation: Staff recommends the approval of preliminary plat subject to the following conditions:

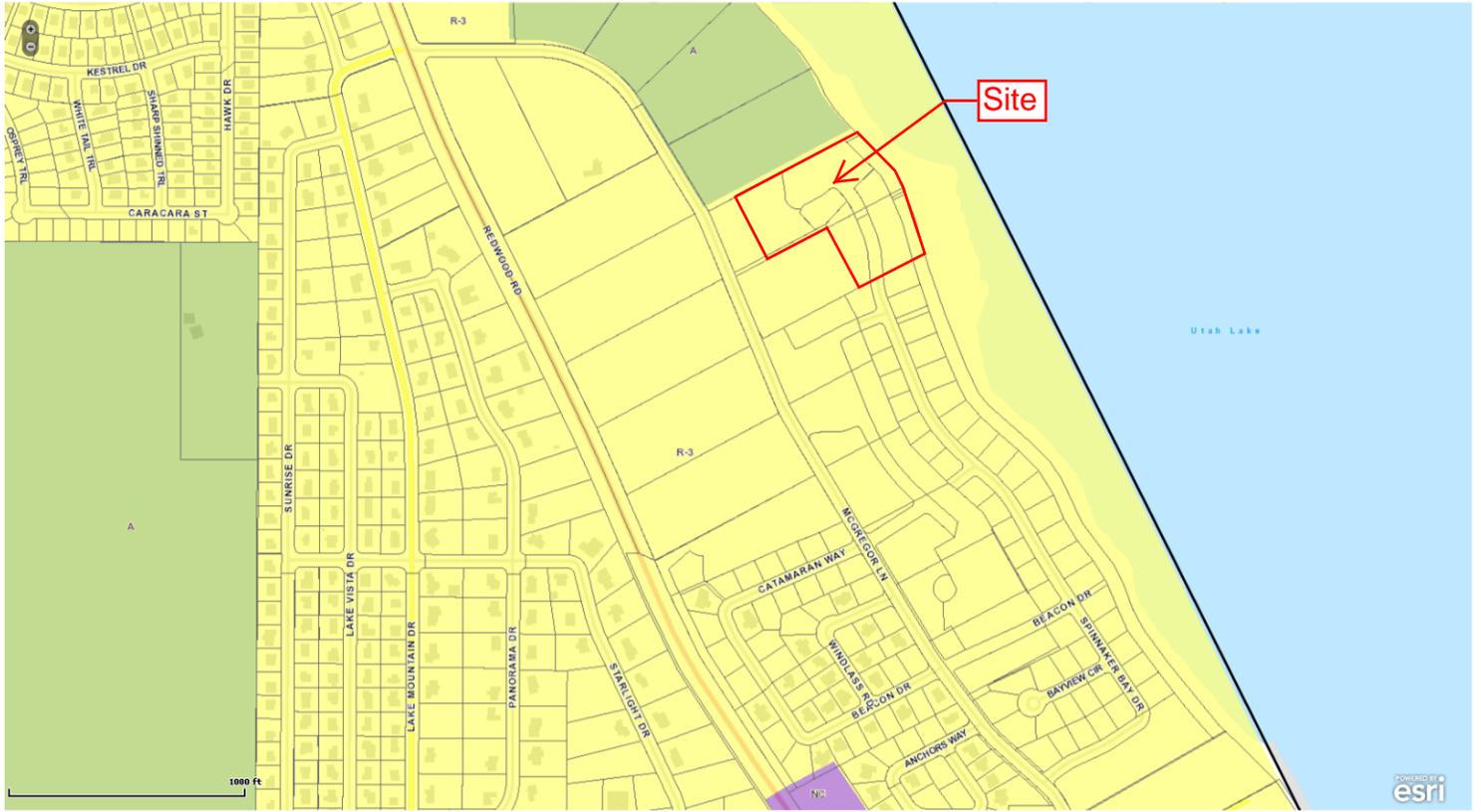
D. Conditions:

- A. The developer shall prepare final construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to commencing construction.
- B. All roads shall be designed and constructed to City standards and shall incorporate all geotechnical recommendations as per the applicable soils report.
- C. Developer shall provide end of road and end of sidewalk signs per MUTCD at all applicable locations. Temporary turn-around's shall be provided consistent with the international fire-code on any dead end roads in excess of 150'.
- D. Developer shall provide a finished grading plan for all roads and lots and shall stabilize and reseed all disturbed areas.
- E. Developer shall provide plans for and complete all improvements within pedestrian corridors.
- F. Meet all engineering conditions and requirements as well as all Land Development Code requirements in the preparation of the final plat and construction drawings.

All application fees are to be paid according to current fee schedules.

- G. All review comments and redlines provided by the City Engineer during the preliminary process are to be complied with and implemented into the final plat and construction plans.
- H. Developer shall prepare and submit easements for all public facilities not located in the public right-of-way
- I. Final plats and plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and shall identify an acceptable location for storm water detention. All storm water must be cleaned as per City standards to remove 80% of Total Suspended Solids and all hydrocarbons and floatables.
- J. Project shall comply with all ADA standards and requirements.
- K. Public utilities and easements, except for laterals, located outside of the ROW shall not be contained within any residential lots. Prepare and record easements to the City for all public utilities not located in a public right-of-way and provide paved access to all manholes.
- L. The geotechnical report identified the presence of moisture sensitive soils on-site. This should be noted on the plat and any sensitive soils within the ROW and under foundations shall be removed and replaced with structural fill as per the engineer's recommendations.
- M. Developer shall improve all open spaces and dedicate them to the HOA for ownership and maintenance.
- N. Developer shall ensure that no sensitive lands are contained in any portion of any lot. Any improvements outside of lot boundaries, including the detention basin, shall not disturb wetland unless accompanied with a 404 permit.
- O. The underground detention system shall comply with all detention basin requirements including but not limited to; low flows bypassing the main detention areas, emergency overflow system, and paved access roads to all manholes to storm water cleaning structures. The plat shall note that the Detention system, all open spaces, and oil/water separator shall be maintained in perpetuity by the HOA.
- P. No storm water shall be detained in the public ROW nor shall any portion of the detention system be in the public ROW or in a private lot. A minimum of 10' shall be provided between the detention system and the property line to facility maintenance without encroaching upon a private lot.

- Q. Developer shall complete the Lake Shore Trail along entire length of the property line as per the City's adopted trails master plan.
- R. Retaining walls over 30" require complete designs, structural calculations, and a building permit.
- S. Developer shall connect to and extend master planned size waterlines through the project including a 14-inch culinary waterline and a 12-inch secondary waterline.
- T. A minimum horizontal separation of 10' shall be provided between all sewer lines and culinary waterlines.
- U. A maximum slope of 4:1 horizontal to vertical shall be provided within any lot.

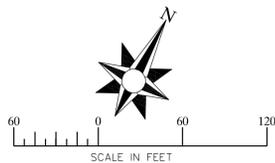
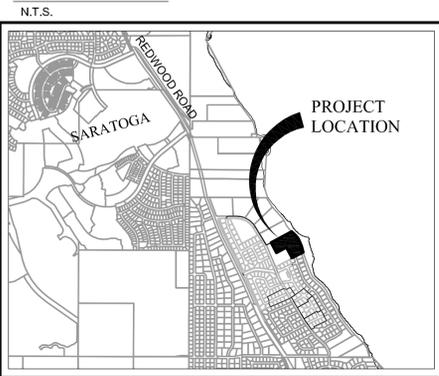


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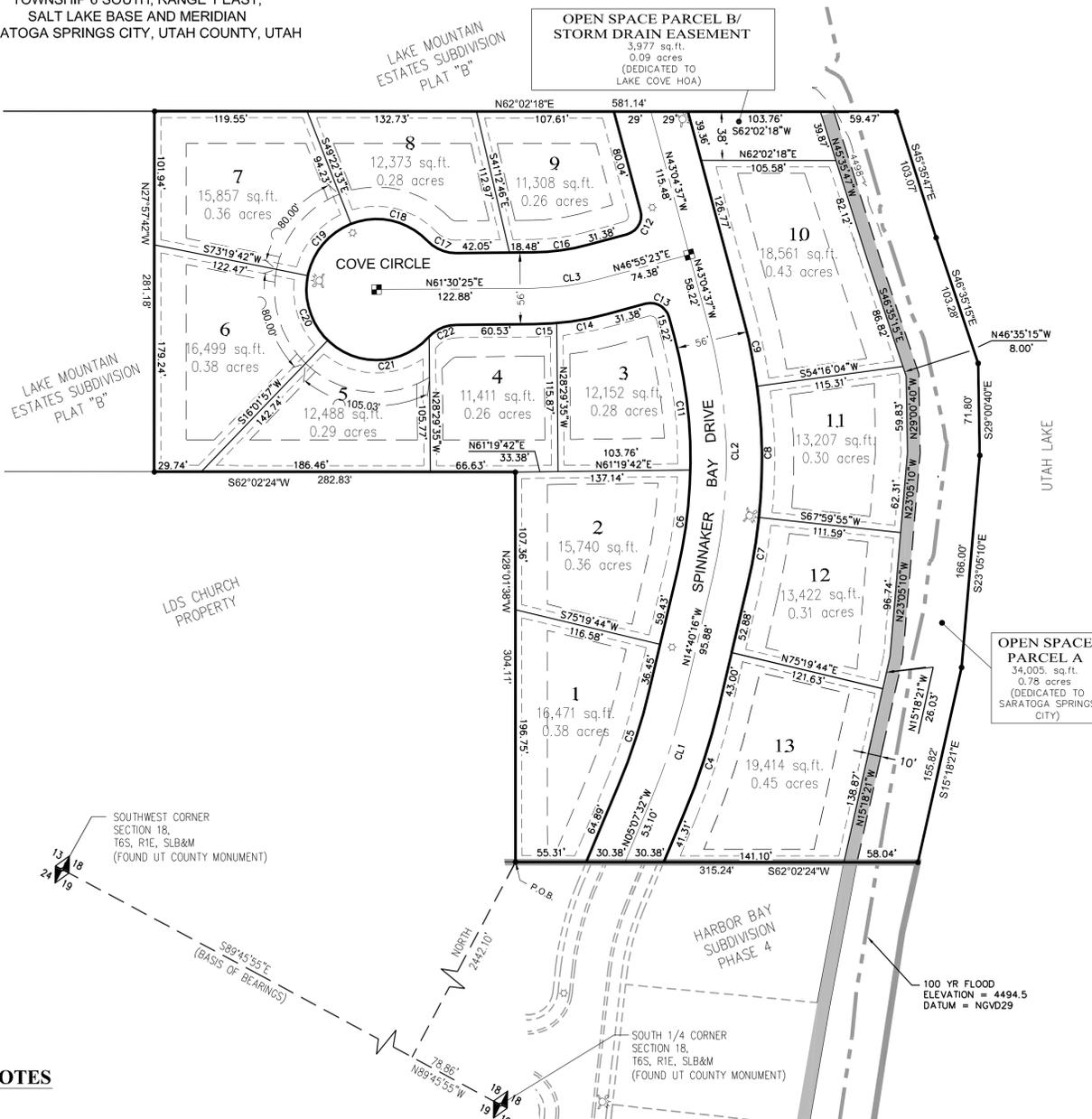
Wed Mar 5 2014 03:34:24 PM.

VICINITY MAP



LAKE COVE SUBDIVISION

LOCATED IN A PORTION OF THE SOUTH HALF OF SECTION 18,
TOWNSHIP 6 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH



**OPEN SPACE PARCEL B/
STORM DRAIN EASEMENT**
3,977 sq.ft.
0.09 acres
(DEDICATED TO
LAKE COVE HOA)

OPEN SPACE PARCEL A
34,005 sq.ft.
0.78 acres
(DEDICATED TO
SARATOGA SPRINGS
CITY)

SURVEYOR'S CERTIFICATE

I, Victor E. Hansen, do hereby certify that I am a registered Land Surveyor and that I hold a license, Certificate No. 176695, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct. I also certify that I have filed, or will file within 90 days of the recording of this plat, a map of the survey I have completed with the Utah County Surveyor.

BOUNDARY DESCRIPTION

Parcel of land situated in the South Half of Section 18, Township 6 South, Range 1 East, Salt Lake Base and Meridian, Saratoga Springs City, Utah County, Utah, said parcel being more particularly described as follows:

Beginning at a point N89°45'55"W 78.86 feet along the Section Line and North 2442.10 feet from the south 1/4 corner of Section 18, Township 6 South, Range 1 East, Salt Lake Base and Meridian, said point located on the northwesterly line of Harbor Bay Subdivision Phase 4; thence N28°01'38"W 304.11 feet; thence S62°02'24"W 282.83 feet; thence N27°57'42"W 281.18 feet; thence N62°02'18"E 581.14 feet; thence S45°35'47"E 103.07 feet; thence S46°35'15"E 103.28 feet; thence S29°00'40"E 71.80 feet; thence S23°05'10"E 166.00 feet; thence S15°18'21"E 155.82 feet; thence S62°02'24"W 315.24 feet along Harbor Bay Phase 4 to the point of beginning.

Acres: 6.424 more or less. # of Lots: 13 units.

Date _____ Victor E. Hansen
License no. _____

OWNER'S DEDICATION

Know all men by these presents that _____, the undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as

LAKE COVE SUBDIVISION PHASE 1

do hereby dedicate for the perpetual use of the public and/or City all parcels of land, easements, right-of-way, and public amenities shown on this plat as intended for public and/or City use. The owner(s) voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the City from any damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.

In witness whereof _____ have hereunto set this _____ day of _____, A.D. 20____.

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of Utah }
On the _____ day of _____, A.D. 20____, personally appeared before me, the undersigned Notary Public, in and for the County of Utah in said State of Utah, the signer(s) of the above Owner's dedication, _____ in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

My commission expires: _____ Notary Public residing at _____

APPROVAL BY LEGISLATIVE BODY

The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated herein, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
This _____ day of _____, A.D. 20____.

City Mayor Attest City Recorder
(See Seal Below)

LAKE COVE SUBDIVISION PHASE 1

LOCATED IN A PORTION OF THE SOUTH HALF OF SECTION 18,
TOWNSHIP 6 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CIVIL ENGINEER'S SEAL	CLERK-RECORDER SEAL
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LEGEND 04-07-14

- 2 11 12 EXISTING SECTION CORNER (FOUND) (AS DESCRIBED)
- PHASE 1 BOUNDARY LINE
- STREET CENTERLINE
- STREET MONUMENTS (REFER TO AMERICAN CAR CARE FINAL PLAT)
- MONUMENT TO MONUMENT TIE
- PROPERTY CORNER
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- BUILDING SETBACK LINE
- PUBLIC UTILITY EASEMENTS
- SENSITIVE LAND LINE
- 100 YEAR FLOOD PLAIN

CENTERLINE CURVE TABLE

CURVE	LENGTH	TANGENT	RADIUS	DELTA	CHORD	CHORD BEARING
CL1	83.30	41.75	500.00	9°32'44"	83.20	N09°53'54"W
CL2	198.31	101.24	400.00	28°24'21"	196.29	N28°52'26"W
CL3	50.91	25.59	200.00	14°35'02"	50.77	N54°12'54"E

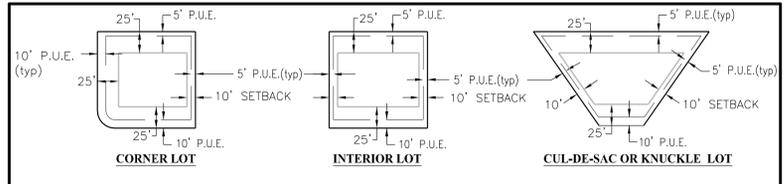
CURVE TABLE

CURVE	LENGTH	TANGENT	RADIUS	DELTA	CHORD	CHORD BEARING
C4	87.01	43.60	528.00	9°26'30"	86.91	N09°50'47"W
C5	78.64	39.41	472.00	9°32'44"	78.54	N09°53'54"W
C6	78.79	39.54	372.00	12°08'06"	78.64	N20°44'19"W
C7	54.76	27.42	428.00	7°19'49"	54.72	N18°20'10"W
C8	102.57	51.53	428.00	13°43'52"	102.33	N28°52'00"W
C9	54.86	27.47	428.00	7°20'40"	54.83	N39°24'16"W
C11	105.64	53.18	372.00	16°16'15"	105.28	N34°56'29"W
C12	23.56	15.00	15.00	90°00'00"	21.21	N01°55'23"E
C13	23.56	15.00	15.00	90°00'00"	21.21	N88°04'37"W
C14	40.05	20.08	228.00	10°03'56"	40.00	N51°57'21"E
C15	17.98	8.99	228.00	4°31'06"	17.97	N59°14'52"E
C16	43.78	22.01	172.00	14°35'02"	43.66	N54°12'54"E
C17	24.93	13.21	30.50	46°49'35"	24.24	N84°55'13"E
C18	65.00	36.90	55.00	67°42'33"	61.28	S74°28'44"W
C19	55.00	30.05	55.00	57°17'45"	52.74	S11°58'34"W
C20	55.00	30.05	55.00	57°17'45"	52.74	S45°19'10"E
C21	87.69	56.31	55.00	91°21'07"	78.69	N60°21'24"E
C22	23.88	12.59	30.50	44°51'35"	23.27	S39°04'38"W
CL1	83.30	41.75	500.00	9°32'44"	83.20	N09°53'54"W
CL2	198.31	101.24	400.00	28°24'21"	196.29	N28°52'26"W
CL3	50.91	25.59	200.00	14°35'02"	50.77	N54°12'54"E

AREA DATA TABLE

PHASE 1	6.424 Ac.
SENSITIVE LANDS	0.505 Ac.
NET AREA	5.919 Ac.
OPEN SPACE (NOT SENSITIVE)	0.365 Ac.
TOTAL NUMBER OF LOTS	13
TOTAL DENSITY	2.20 U/A
OPEN SPACE	9.6%

TYPICAL SETBACK & P.U.E. DETAILS



BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii).

QUESTAR GAS COMPANY Approved this _____ day of _____, A.D. 20____	ROCKY MOUNTAIN POWER Approved this _____ day of _____, A.D. 20____
QUESTAR GAS COMPANY	ROCKY MOUNTAIN POWER
COMCAST CABLE TELEVISION Approved this _____ day of _____, A.D. 20____	CENTURY LINK Approved this _____ day of _____, A.D. 20____
COMCAST CABLE TELEVISION	CENTURY LINK

PLAT NOTES

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20____.
- THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS, AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT, OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING; ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS; AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
- ALL BONDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER AND FINANCIAL INSTITUTION, NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD-PARTY BENEFICIARY OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING ANY ACTION UNDER ANY BOND OR BOND AGREEMENT.

- THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS ARE SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
- ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER, AND DEDICATED AND MAINTAINED BY A HOME OWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- HOA ASSOCIATION IS INVOLVED. LOTS ARE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND COC&R'S.
- COLLAPSIBLE SOILS HAVE BEEN FOUND IN THE AREA. REVIEW SOILS REPORT OF AREA.
- DRAINAGE EASEMENT AREAS ARE PERPETUAL, NON-EXCLUSIVE, MUTUAL CROSS DRAINAGE EASEMENTS FOR PURPOSES OF STORM WATER CAPTURE AND CONVEYANCE ON, OVER, UPON, AND ACROSS THE AREAS DELINEATED AS DRAINAGE EASEMENTS. EACH LOT ENCUMBERED BY A DRAINAGE EASEMENT SHALL, AT ITS SOLE COST AND EXPENSE, MAINTAIN AND KEEP ALL ABOVE AND BELOW GRADE INFRASTRUCTURE AND APPURTENANCES IN A REASONABLE CONDITION AND STATE OF REPAIR. NO OBSTRUCTIONS OR CHANGES IN GRADE SHALL BE LOCATED WITHIN THE EASEMENT AREA THAT WILL IMPEDE, DIVERT, OR CAUSE THE RUNOFF TO HAVE AN ADVERSE EFFECT ON ADJOINING PROPERTY."

H&H ENGINEERING AND SURVEYING, INC.
233 E MAIN ST, STE 2, AMERICAN FORK, UT 84003
TEL: (801) 756-2488 FAX: (801) 756-3499

FIRE CHIEF APPROVAL
Approved by the Fire Chief on this _____ day of _____, A.D. 20____
CITY FIRE CHIEF

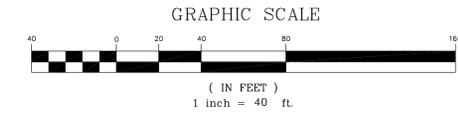
PLANNING COMMISSION REVIEW
Reviewed by the Planning Commission on this _____ day of _____, A.D. 20____
CHAIRMAN, PLANNING COMMISSION

SARATOGA SPRINGS ENGINEER APPROVAL
Approved by the City Engineer on this _____ day of _____, A.D. 20____
CITY ENGINEER

SARATOGA SPRINGS ATTORNEY
Approved by Saratoga Springs Attorney on this _____ day of _____, A.D. 20____
SARATOGA SPRINGS ATTORNEY

LEHI CITY POST OFFICE
Approved by Post Office Representative on this _____ day of _____, A.D. 20____
LEHI CITY POST OFFICE REPRESENTATIVE

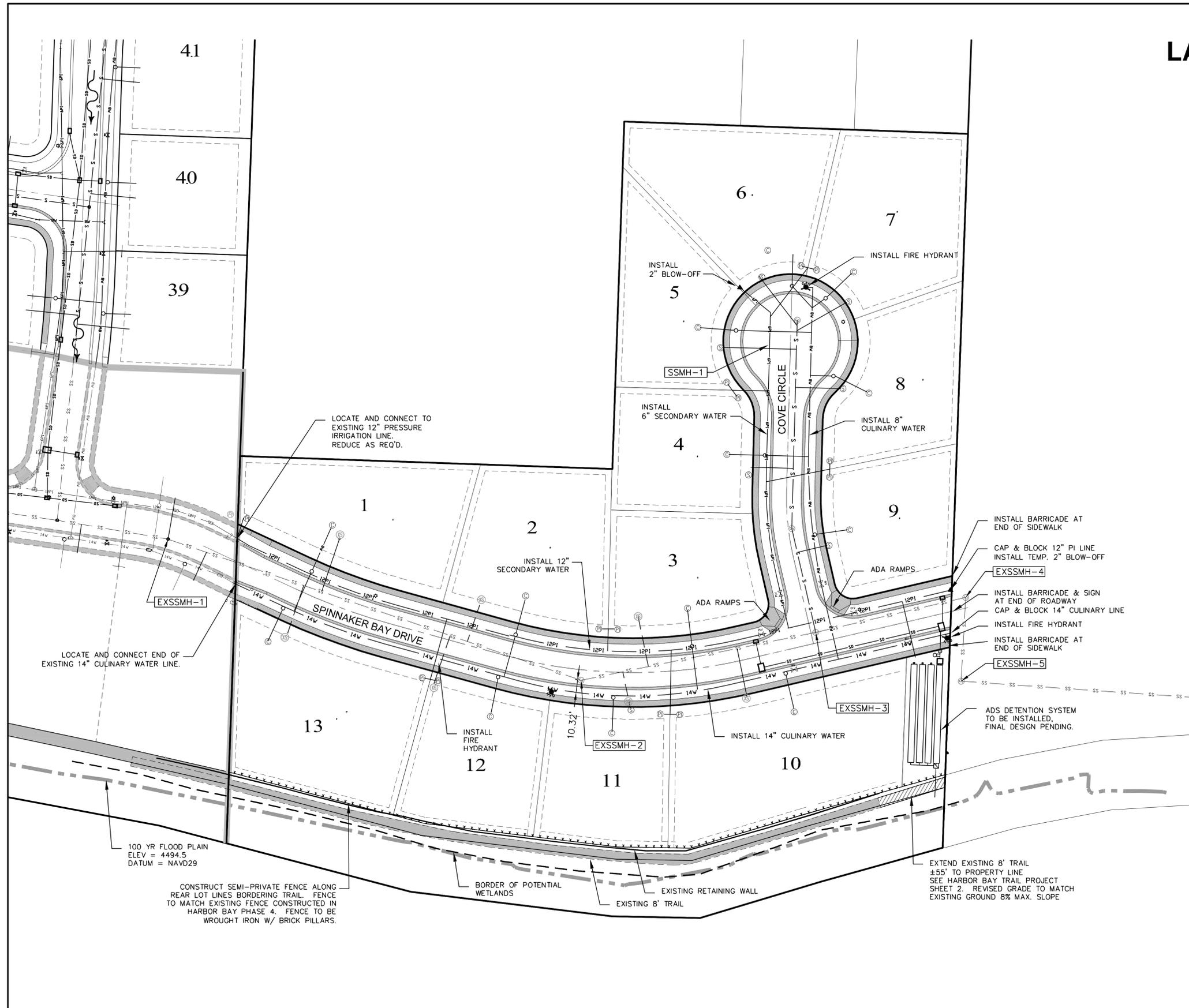
SITE DEVELOPMENT CONSTRUCTION PLANS
LAKE COVE SUBDIVISION
UTILITY SHEET



LEGEND

—	PROPERTY LINE
- - - -	PUBLIC UTILITY EASEMENT
— W — W — W —	EXISTING WATER LINE
— SS — SS — SS —	EXISTING SEWER LINE
— PPI — PPI — PPI —	EXISTING PRESSURIZED IRRIGATION
— W — W — W —	PROPOSED 8" WATER LINE
— S — S — S —	PROPOSED 8" SEWER LINE
— SD — SD — SD —	STORM DRAIN
— PPI — PPI — PPI —	PROPOSED PRESSURIZED IRRIGATION
— OHP —	OVER HEAD POWER
WV	EXISTING WATER VALVE
PP	EXISTING POWER POLE
SM	EXISTING SEWER MANHOLE
TJB	EXISTING QWEST BOX
WM	EXISTING WATER METER
S	SEWER LATERAL
SL	EXISTING SEWER LATERAL
C	CULINARY WATER SERVICE
PI	PRESSURE IRRIGATION SERVICE
FH	FIRE HYDRANT
DF	DRAINAGE FLOW ARROW
CB	PROPOSED COMBO BOX
CCB	PROPOSED CLEANOUT BOX
I	PROPOSED INLET

- NOTE:
- LOTS 1-3 AND 10-13 HAVE EXISTING SEWER LATERALS.
 - ADA RAMP WILL BE USED ON SIDEWALKS AT INTERSECTION OF SPINNAKER AND COVE CIRCLE.
 - ALL CULINARY LATERALS TO BE 1".
 - ALL PRESSURIZED IRRIGATION LATERALS TO BE 2".



VERIFY SCALE
 BAR IS ONE INCH IN ORIGINAL DRAWING.
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN: T. KENISON
 DRAWN: T. KENISON
 CHECK: V. HANSEN
 APPROVED: V. HANSEN

233 EAST MAIN, SUITE 2
 AMERICAN FORK, UTAH 84003
 TEL: (801) 756-2488
 FAX: (801) 756-4899

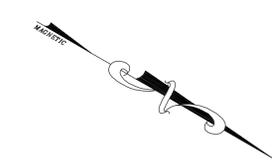
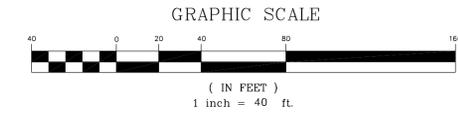
H&H ENGINEERING & SURVEYING, INC.

LAKE COVE SUBDIVISION
 SARATOGA SPRINGS, UTAH

UTILITY SHEET

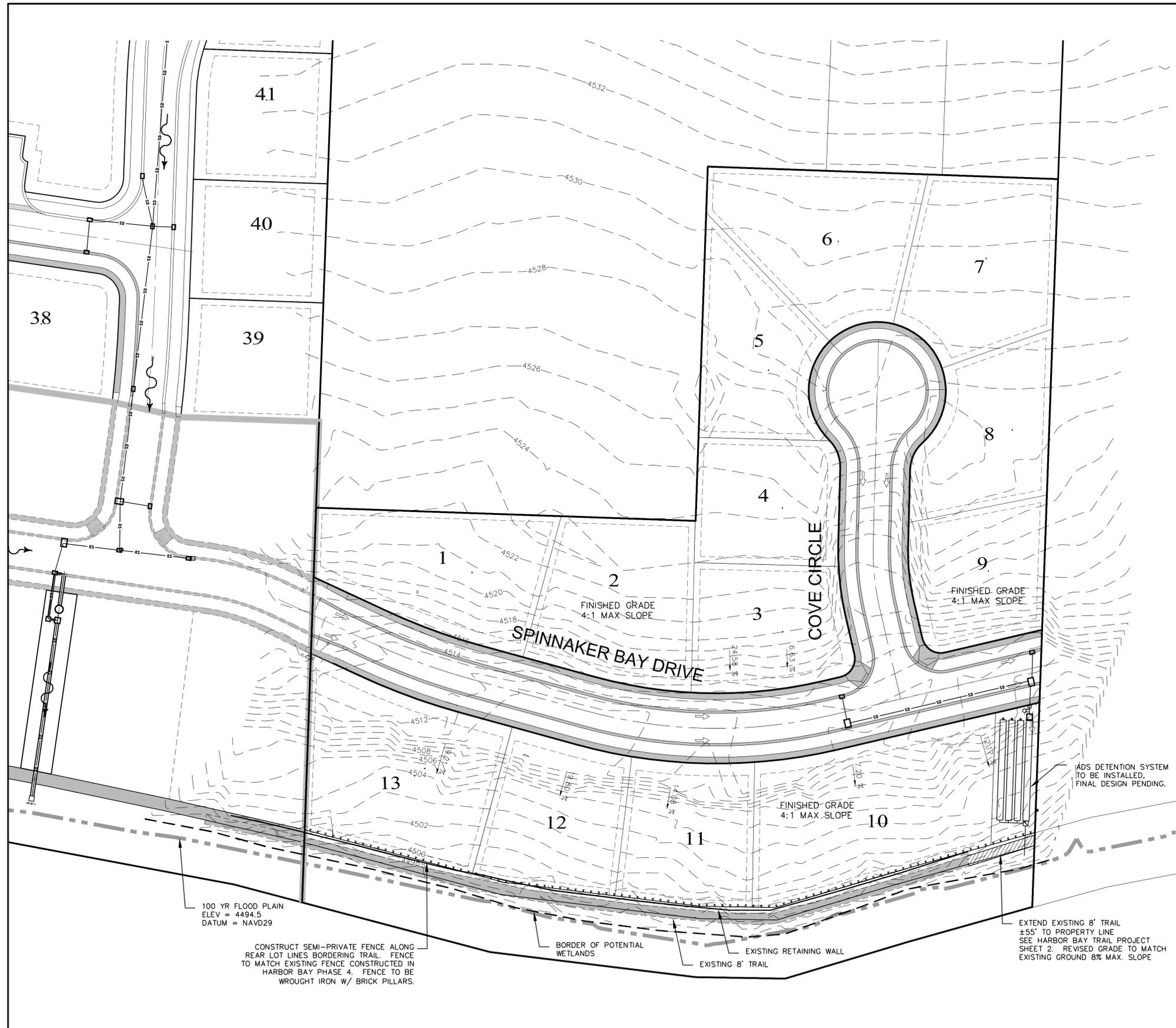
PROJ: 13-399-07
 DATE: 04-07-2014
 SHEET: 03

SITE DEVELOPMENT CONSTRUCTION PLANS
LAKE COVE SUBDIVISION
GRADING & DRAINAGE



LEGEND

	PROPERTY LINE
	PUBLIC UTILITY EASEMENT
	STORM DRAIN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE FLOW ARROW
	PROPOSED COMBO BOX
	PROPOSED CLEANOUT BOX
	PROPOSED INLET



100 YR FLOOD PLAIN
 ELEV = 4494.5
 DATUM = NAVD29

CONSTRUCT SEMI-PRIVATE FENCE ALONG REAR LOT LINES BORDERING TRAIL. FENCE TO MATCH EXISTING FENCE CONSTRUCTED IN HARBOR BAY PHASE 4. FENCE TO BE WROUGHT IRON W/ BRICK PILLARS.

BORDER OF POTENTIAL WETLANDS

EXISTING 8' TRAIL

EXTEND EXISTING 8' TRAIL ±55' TO PROPERTY LINE SEE HARBOR BAY TRAIL PROJECT SHEET 2 - REVISED GRADE TO MATCH EXISTING GROUND 8% MAX. SLOPE

ADS DETENTION SYSTEM TO BE INSTALLED, FINAL DESIGN PENDING.

VERIFY SCALE
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 AMERICAN FORK, UTAH 84003
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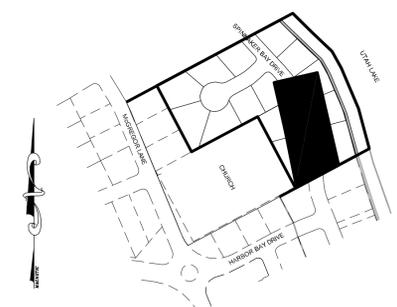
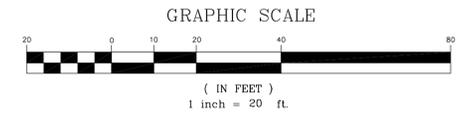
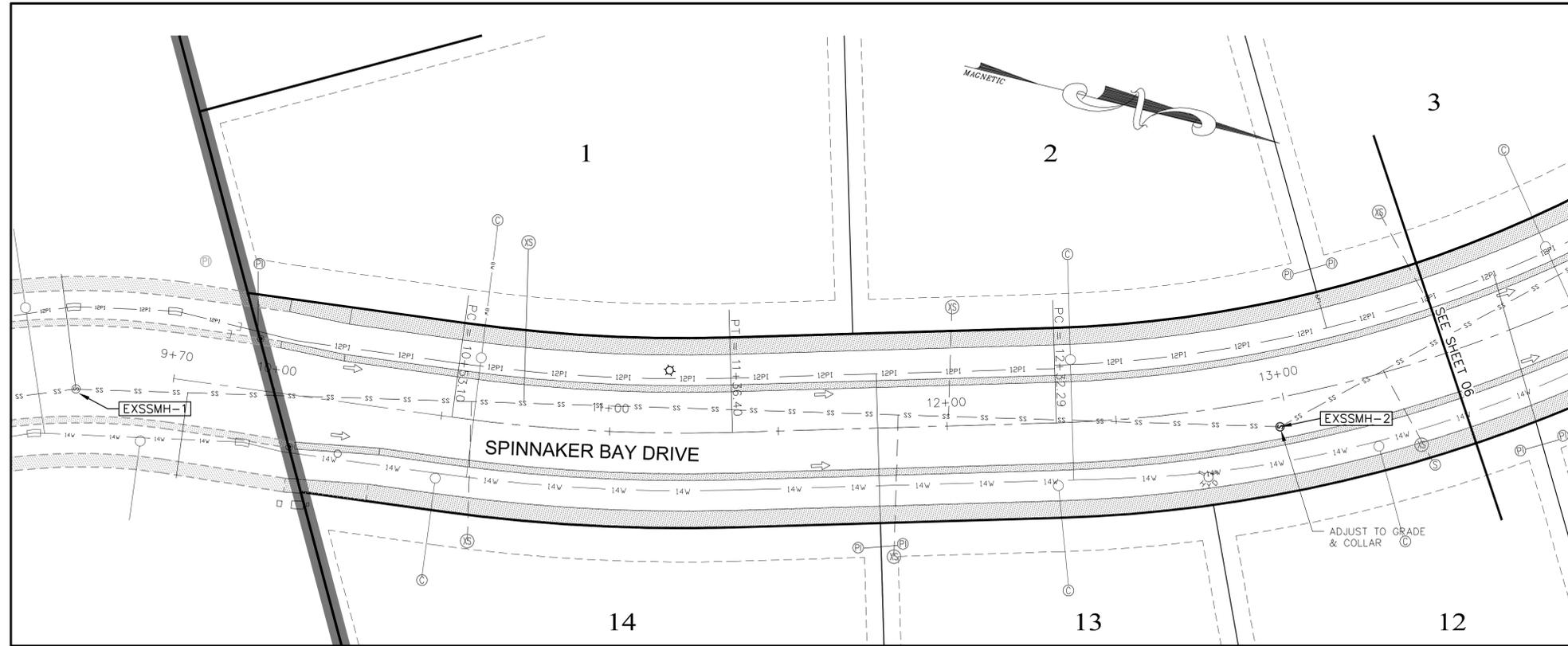
H&H
ENGINEERING & SURVEYING, INC.

LAKE COVE SUBDIVISION
 SARATOGA SPRINGS, UTAH

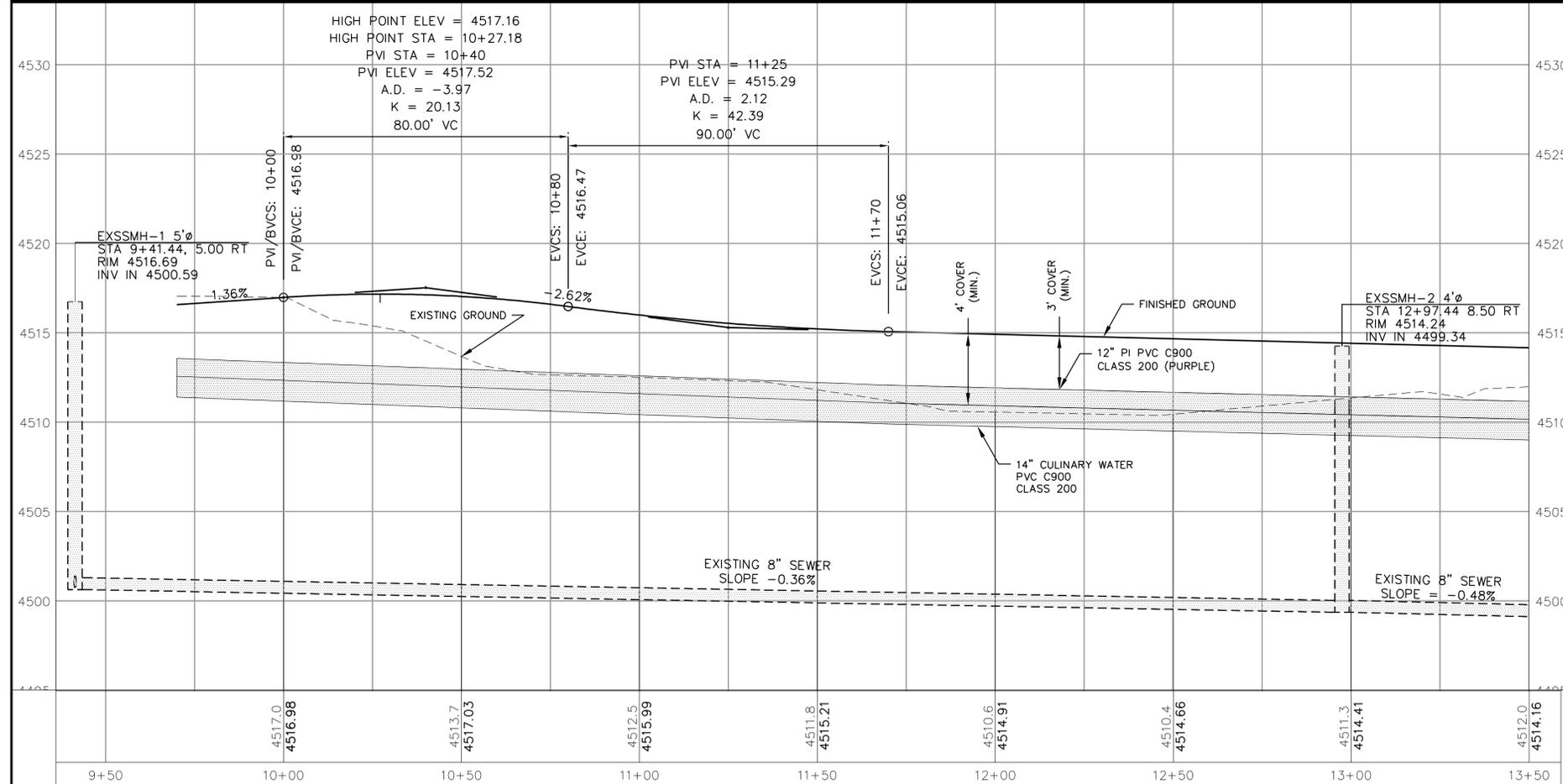
GRADING & DRAINAGE SHEET

DESIGN	T. KENISON	NO.	
DRAWN	T. KENISON	DATE	
CHECK	V. HANSEN	REVISION	
APPROV	V. HANSEN	BY	

PROJ 13-399-07
 DATE 04-07-2014
 SHEET 04



- (S) SEWER LATERAL
- (SS) EXISTING SEWER LATERAL
- (C) CULINARY WATER SERVICE
- (PI) PRESSURE IRRIGATION SERVICE



NOTES TO CONTRACTOR

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB AND GUTTER, STORM DRAIN, CHANNEL CROSSINGS, AND SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
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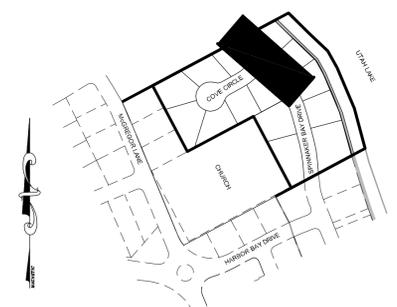
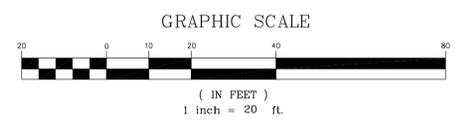
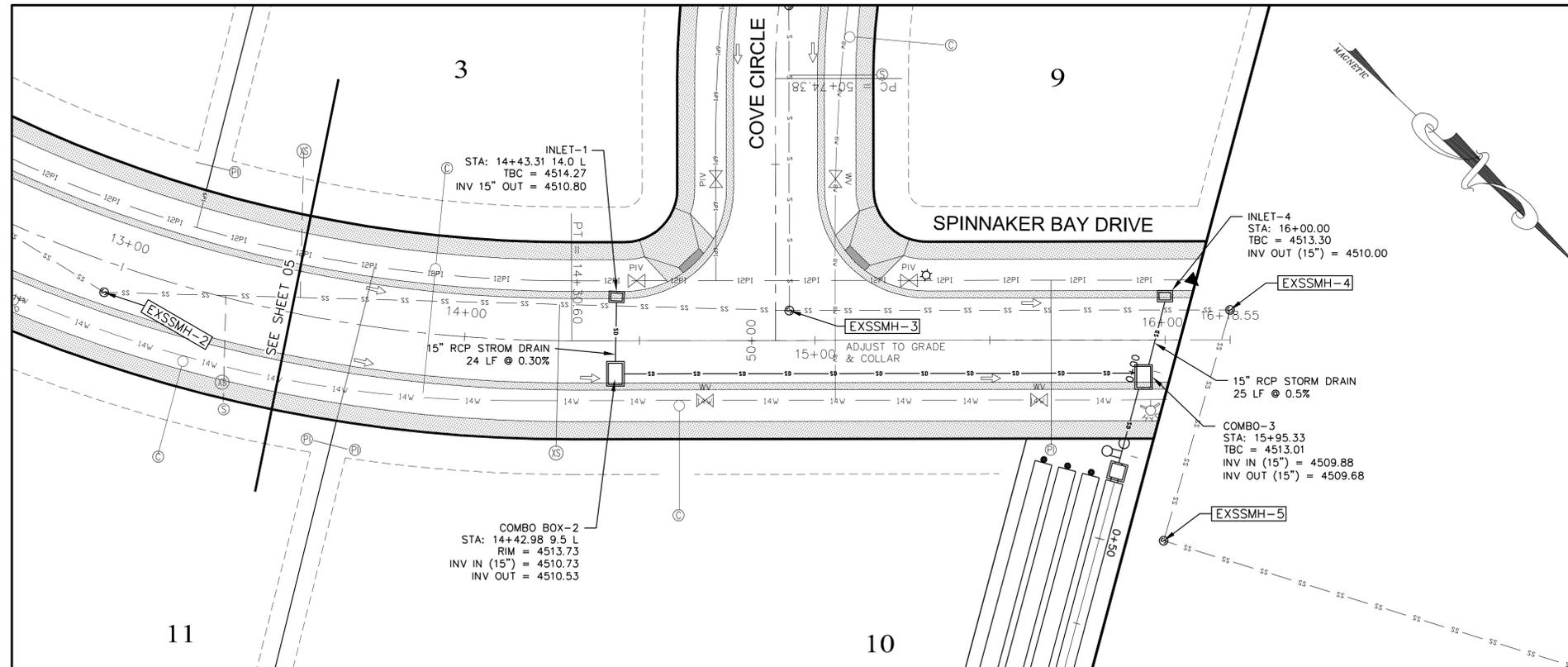
H&H ENGINEERING & SURVEYING, INC.

233 EAST MAIN, SUITE 200
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-4899

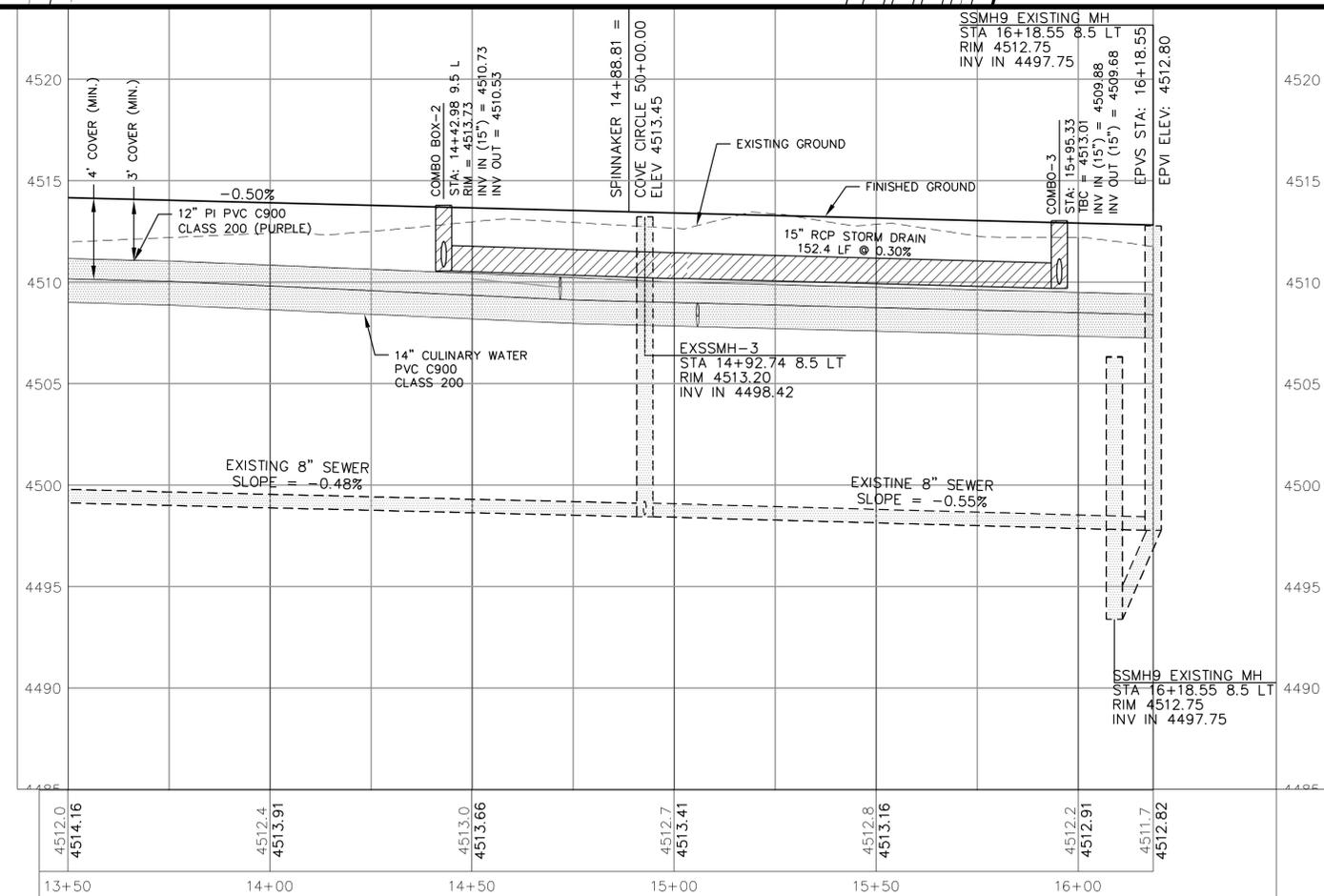
PROJ: 13-399-07
DATE: 04-07-2014
SHEET: 05

NO.	DATE	REVISION	BY

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- ⊙ SEWER LATERAL
- ⊗ EXISTING SEWER LATERAL
- ⊕ CULINARY WATER SERVICE
- ⊖ PRESSURE IRRIGATION SERVICE



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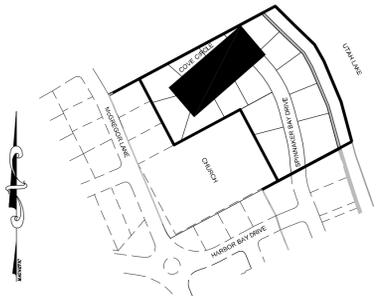
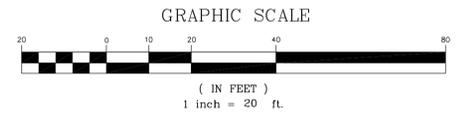
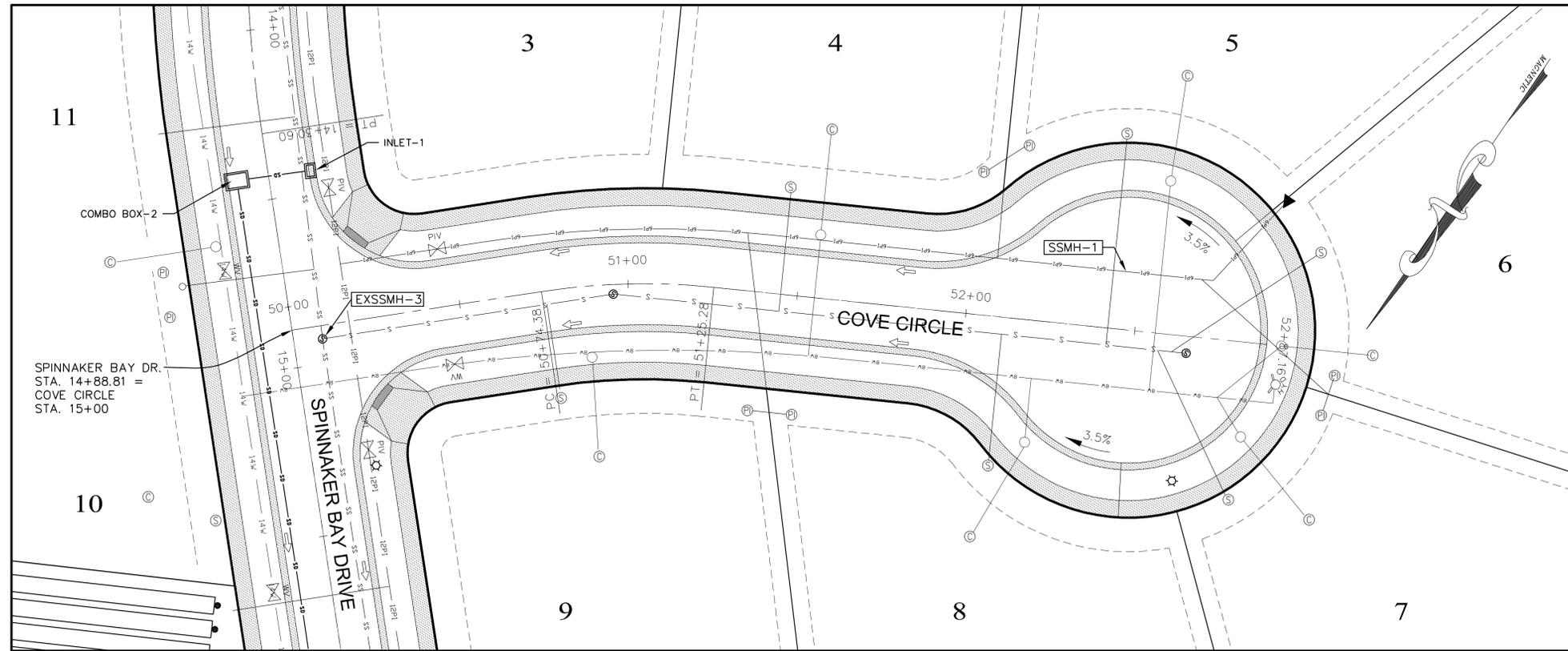
233 EAST MAIN, SUITE 2 AMERICAN FORK, UTAH 84303
 TEL: (801) 756-2488 FAX: (801) 756-3499

H&H ENGINEERING & SURVEYING, INC.

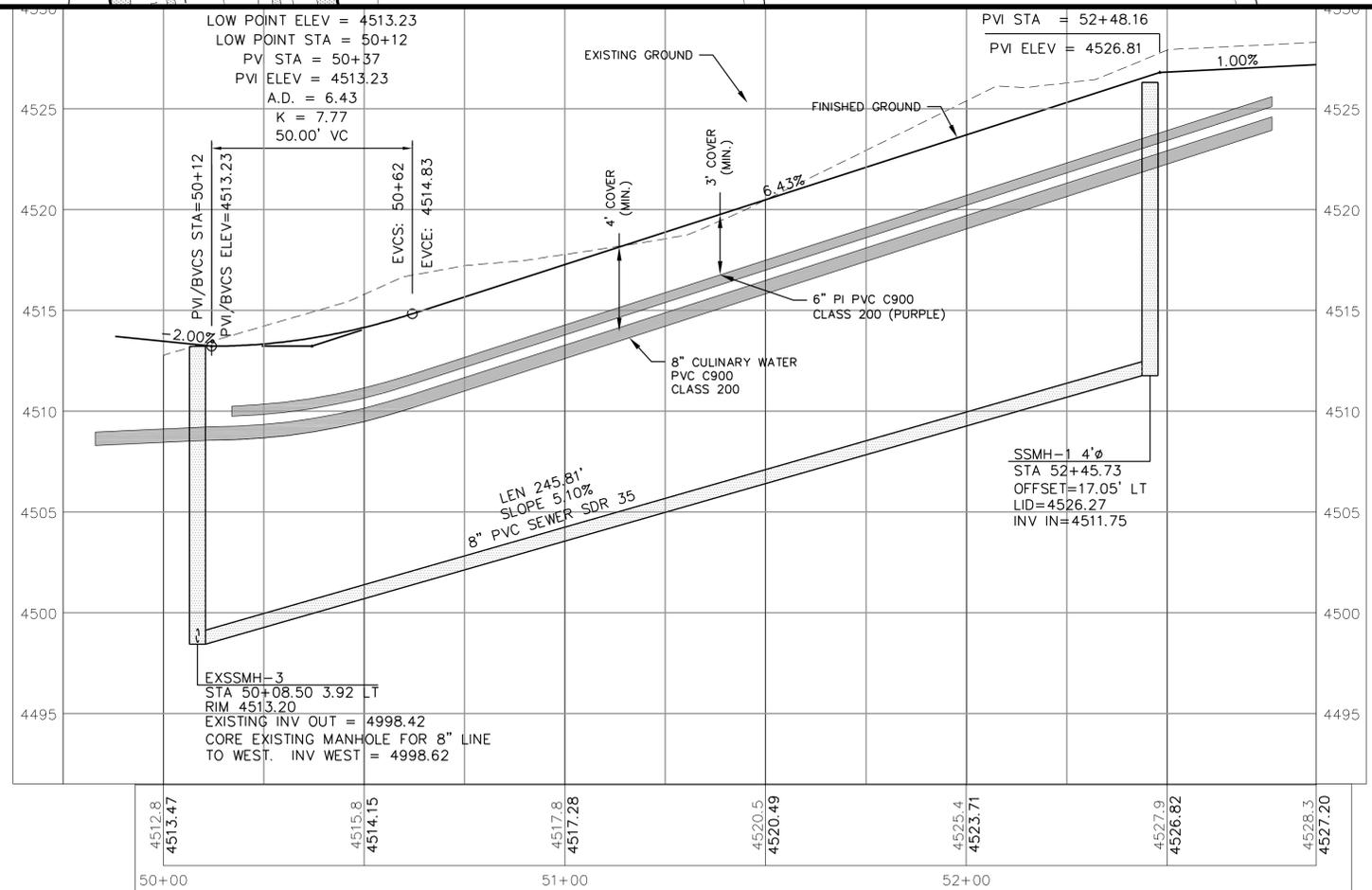
LAKE COVE SUBDIVISION SARATOGA SPRINGS, UTAH
 SPINNAKER PLAN & PROFILE SHEET

PROJ: 13-399-0
 DATE: 04-07-2011
 SHEET:

DESIGN: T. KENISON
 DRAWN: T. KENISON
 CHECK: V. HANSEN
 APPROVE:



- ⊙ SEWER LATERAL
- ⊗ EXISTING SEWER LATERAL
- ⊙ CULINARY WATER SERVICE
- ⊙ PRESSURE IRRIGATION SERVICE



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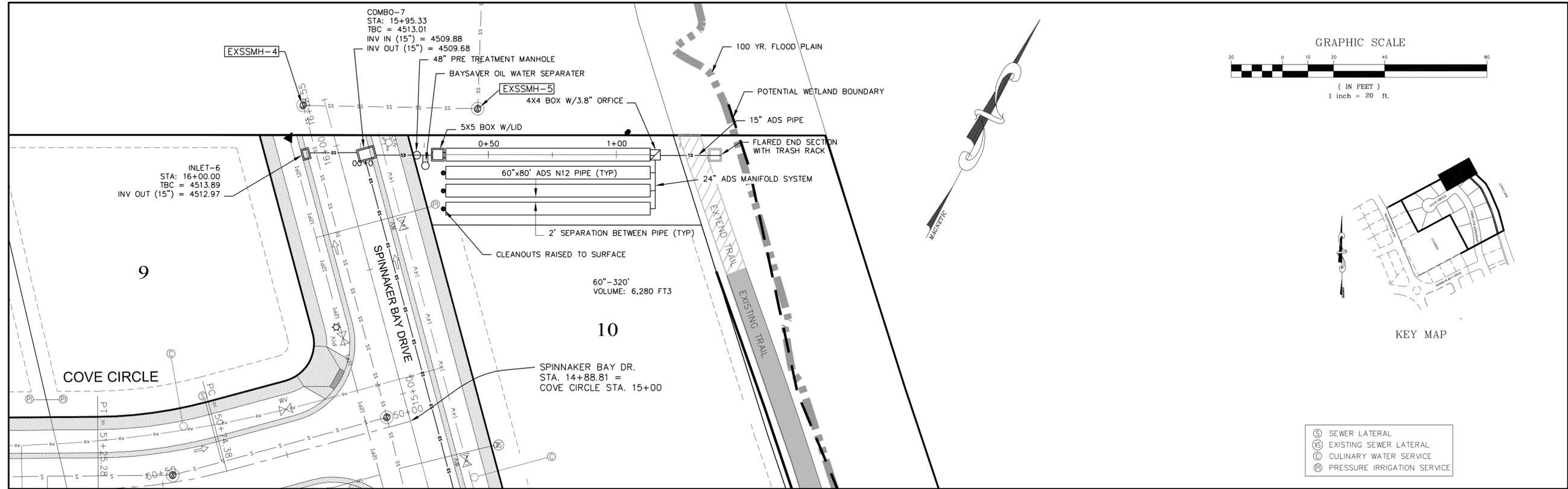
233 EAST MAIN, SUITE 2 AMERICAN FORK, UTAH 84303
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H&H ENGINEERING & SURVEYING INC.

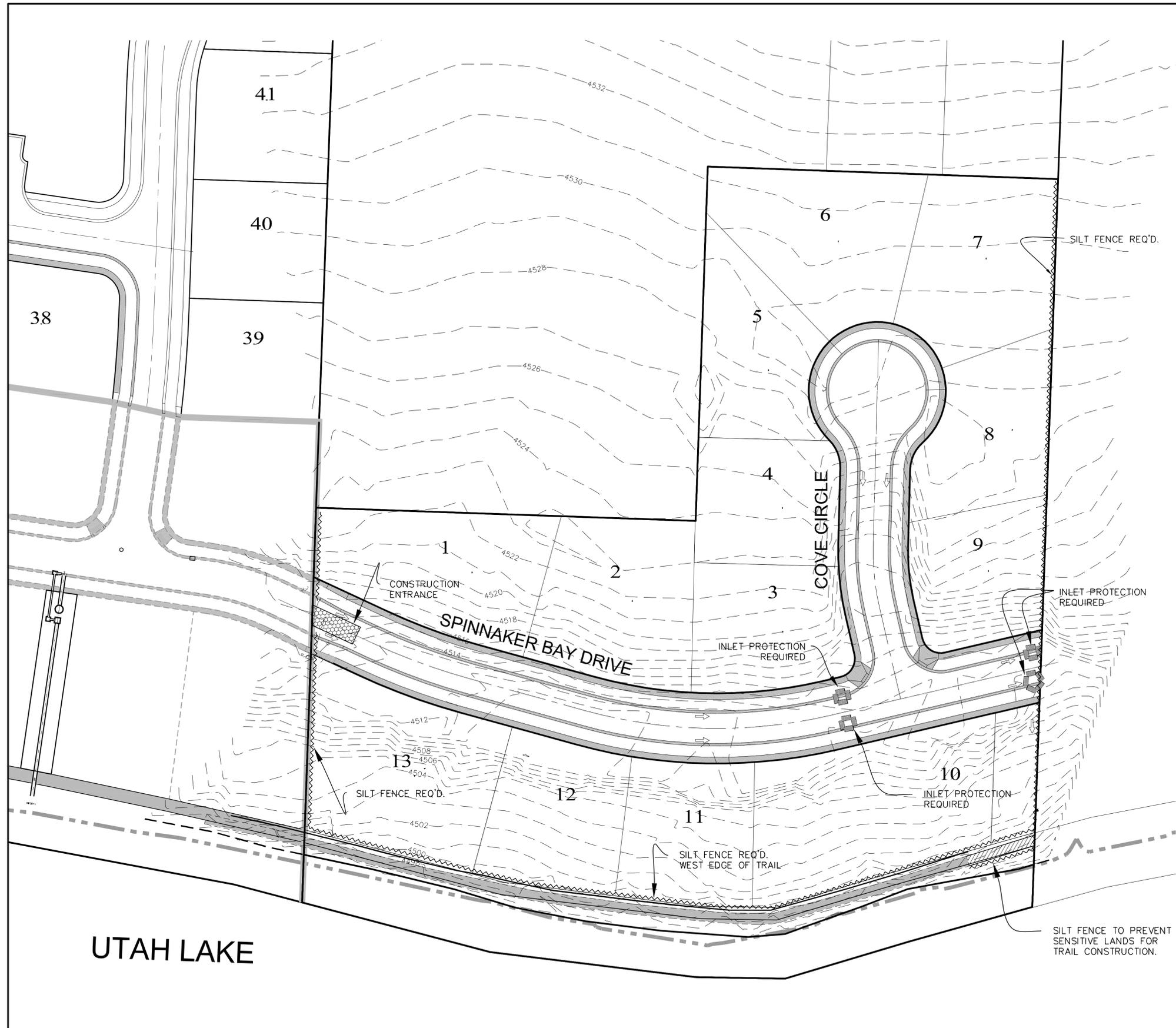
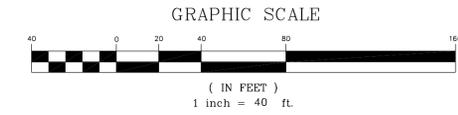
LAKE COVE SUBDIVISION SARATOGA SPRINGS, UTAH
 SPINNAKER PLAN & PROFILE SHEET

PROJ 13-399-0
 DATE 04-07-2011
 SHEET

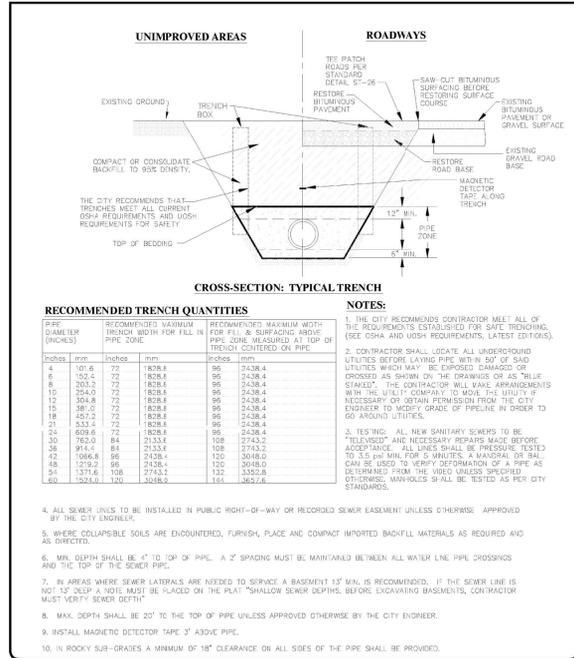
DESIGN T. KENISON
 DRAWN T. KENISON
 CHECK V. HANSEN
 APPROVE



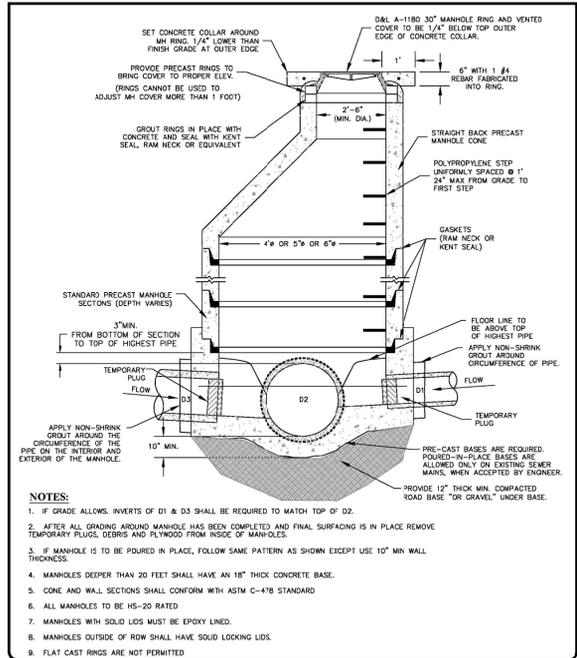
SITE DEVELOPMENT CONSTRUCTION PLANS
LAKE COVE SUBDIVISION
SWPP PLAN SHEET



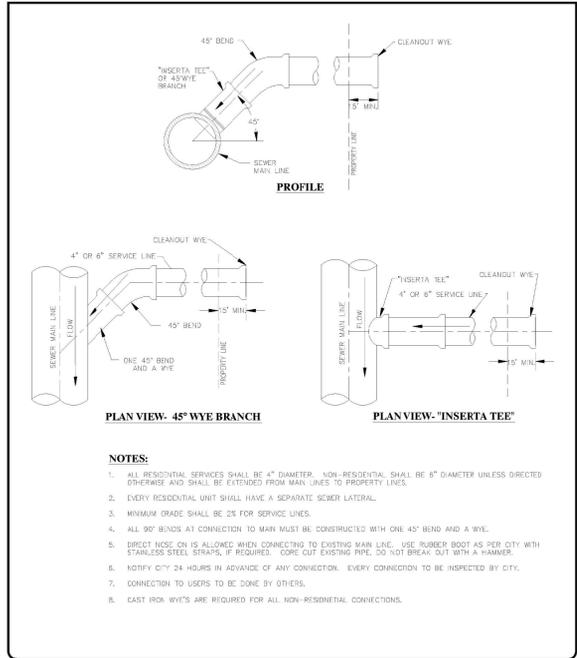
VERIFY SCALE BAR IS ONE INCH IN ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.		BY
		REVISION
		NO.
		DATE
DESIGN	T. KENISON	
DRAWN	T. KENISON	
CHECK	V. HANSEN	
APPROV	V. HANSEN	
233 EAST MAIN, SUITE 2 AMERICAN FORK, UTAH 84003 TEL: (801) 756-2488 FAX: (801) 756-1499		
H&H ENGINEERING & SURVEYING, INC.		
LAKE COVE SUBDIVISION SARATOGA SPRINGS, UTAH SWPP PLAN		
PROJ	13-399-07	
DATE	04-07-2014	
SHEET		09



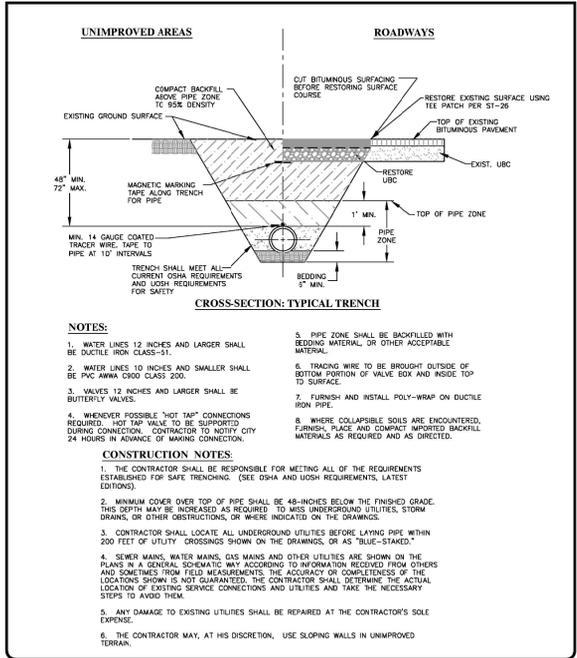
DATE	REVISION	STANDARD DETAILS
FEBRUARY 2013	REVISED BY COMMENTS	SANITARY SEWER
DESIGNED BY: WFL	CHECKED APPROVED: SARATOGA SPRINGS CITY	SS-1



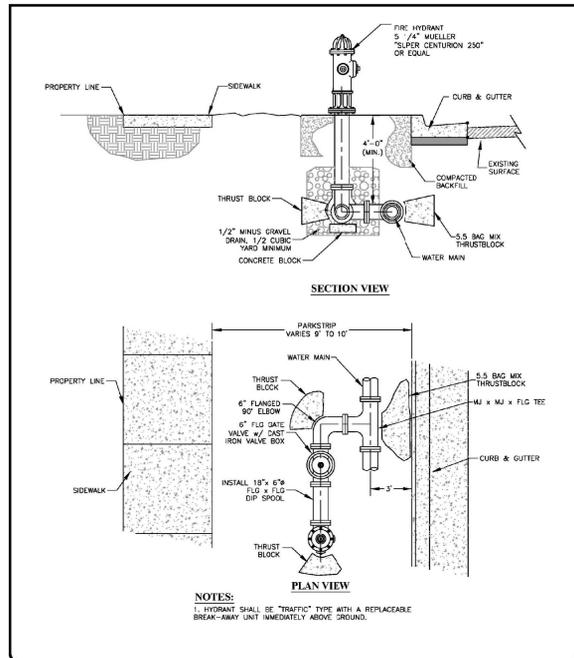
DATE	REVISION	STANDARD DETAILS
FEBRUARY 2013	REVISED BY COMMENTS	SANITARY SEWER
DESIGNED BY: WFL	CHECKED APPROVED: SARATOGA SPRINGS CITY	SS-2



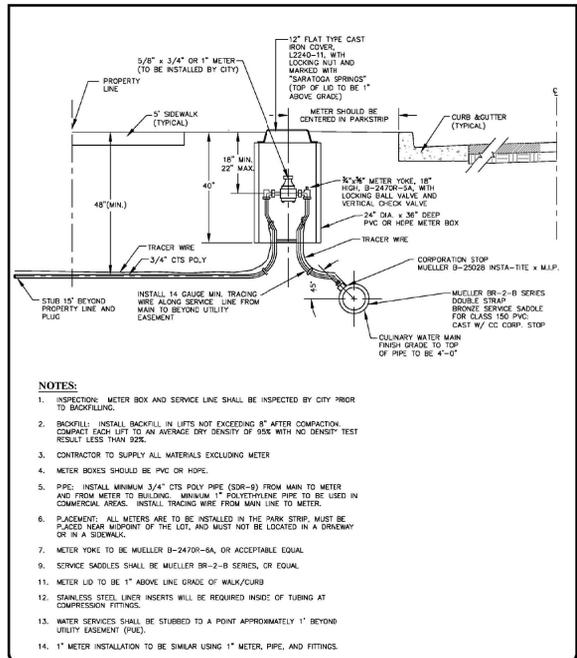
DATE	REVISION	STANDARD DETAILS
FEBRUARY 2013	REVISED BY COMMENTS	SANITARY SEWER
DESIGNED BY: WFL	CHECKED APPROVED: SARATOGA SPRINGS CITY	SS-3



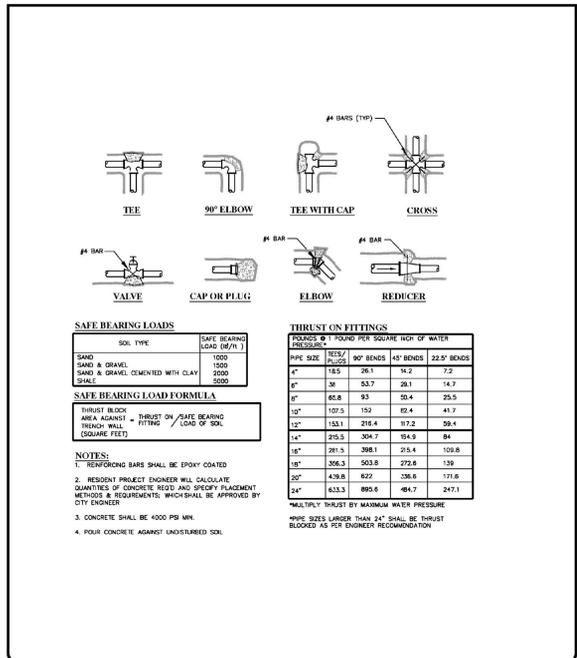
DATE	REVISION	STANDARD DETAILS
FEBRUARY 2013	REVISED BY COMMENTS	CULINARY WATER
DESIGNED BY: WFL	CHECKED APPROVED: SARATOGA SPRINGS CITY	WT-1



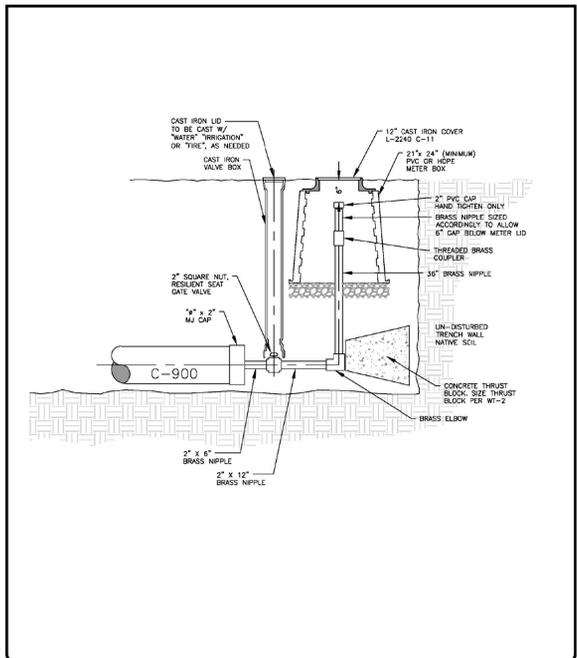
DATE	REVISION	STANDARD DETAILS
FEBRUARY 2013	REVISED BY COMMENTS	CULINARY WATER
DESIGNED BY: WFL	CHECKED APPROVED: SARATOGA SPRINGS CITY	WT-4



DATE	REVISION	STANDARD DETAILS
FEBRUARY 2013	REVISED BY COMMENTS	CULINARY WATER
DESIGNED BY: WFL	CHECKED APPROVED: SARATOGA SPRINGS CITY	WT-5



DATE	REVISION	STANDARD DETAILS
FEBRUARY 2013	REVISED BY COMMENTS	CULINARY WATER
DESIGNED BY: WFL	CHECKED APPROVED: SARATOGA SPRINGS CITY	WT-2



DATE	REVISION	STANDARD DETAILS
FEBRUARY 2013	REVISED BY COMMENTS	CULINARY WATER
DESIGNED BY: WFL	CHECKED APPROVED: SARATOGA SPRINGS CITY	WT-13

DESIGN	JN
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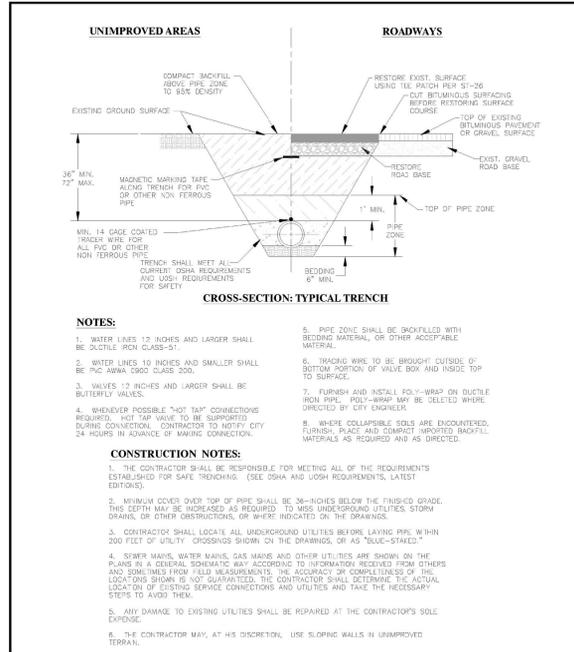
H&H ENGINEERING & SURVEYING, INC.

233 EAST MAIN ST, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

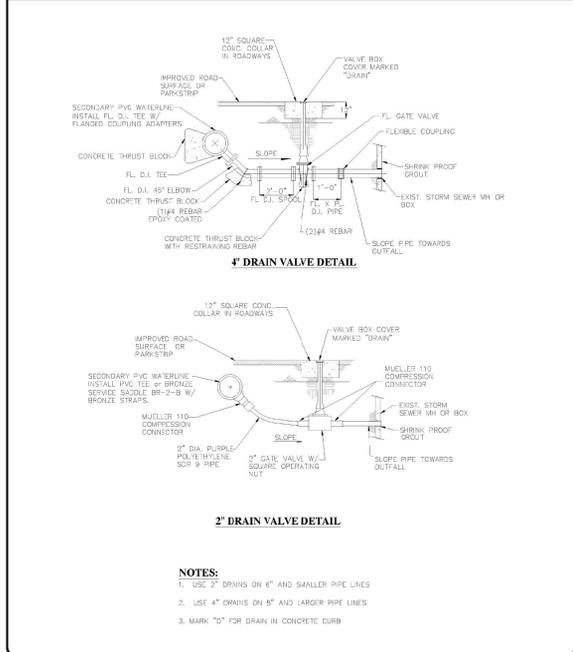
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947 South 500 East, STE 100
American Fork, UT 84003

LAKE COVE SUBDIVISION PHASE 1
CONSTRUCTION DETAILS

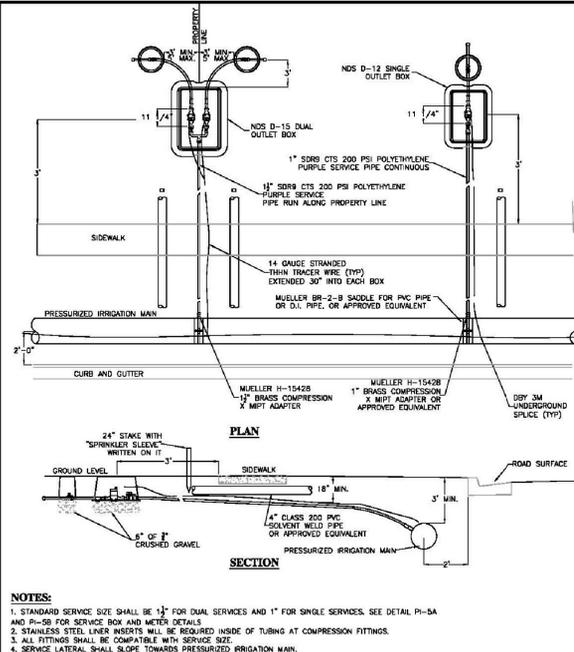
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DATE	MAY 28, 2014
PROJ	13-399-10



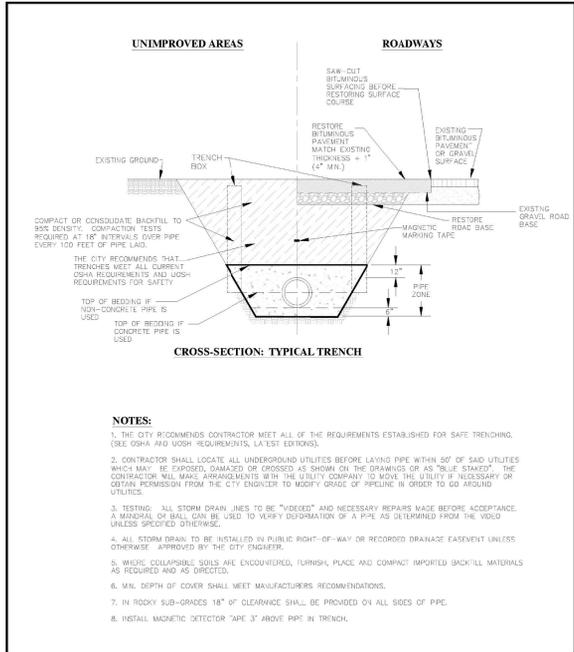
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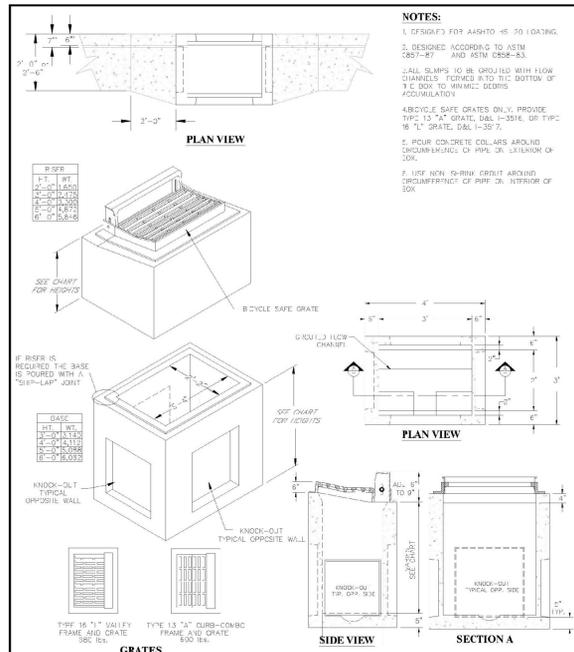
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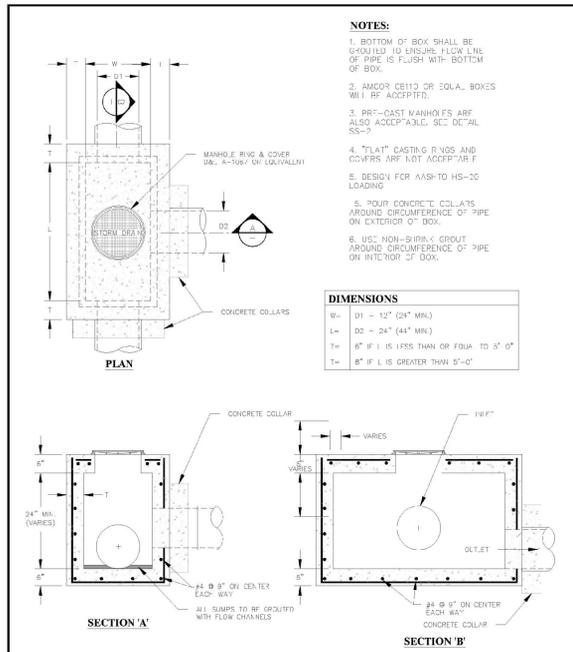
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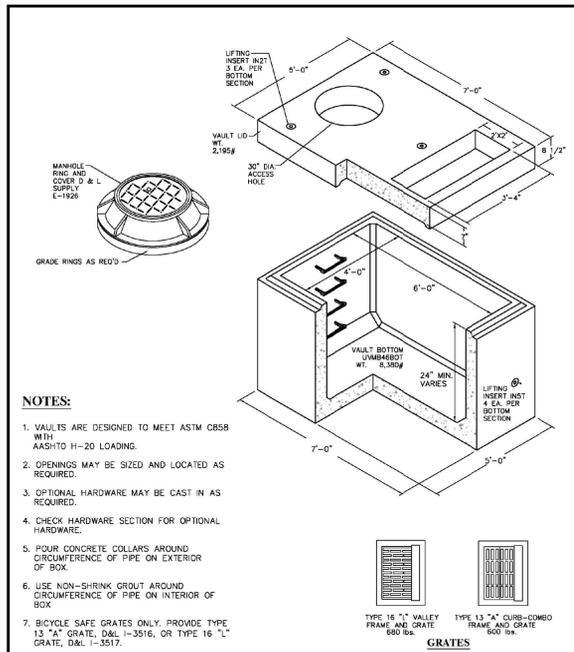
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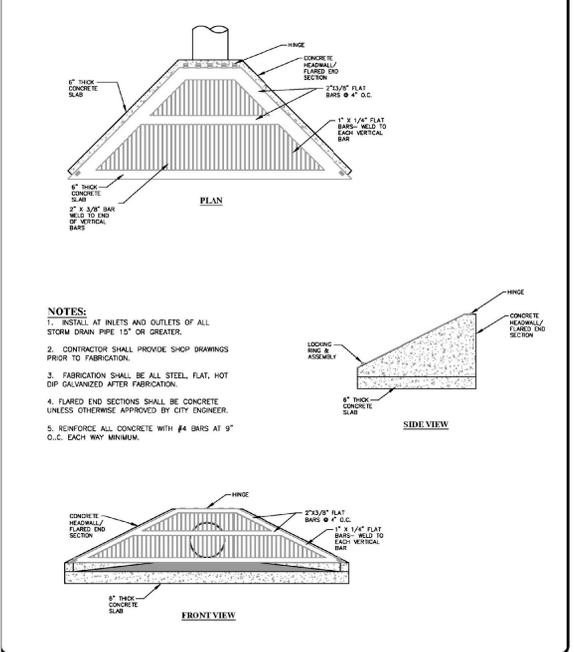
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SARATOGA SPRINGS CITY		SD-2	



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SARATOGA SPRINGS CITY		SD-3	



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SARATOGA SPRINGS CITY		SD-4	



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SARATOGA SPRINGS CITY		SD-5	

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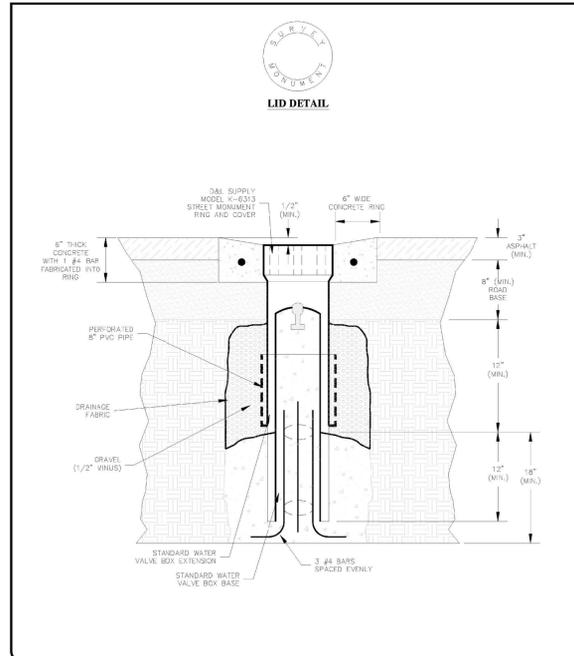
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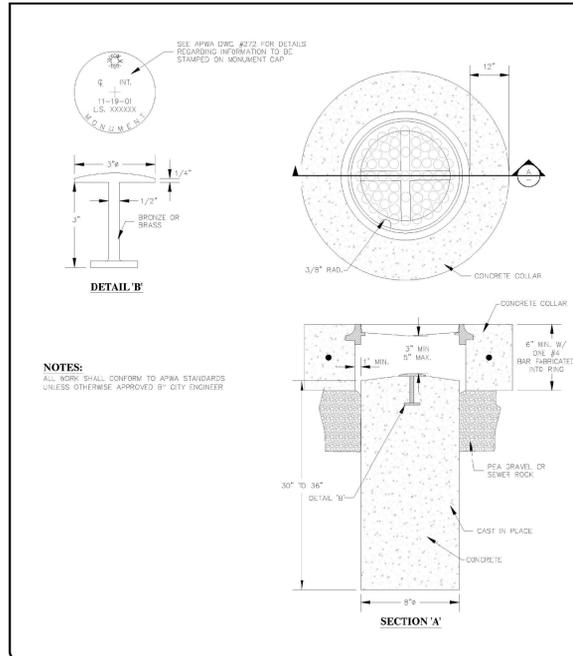
LAKE COVE SUBDIVISION PHASE 1

CONSTRUCTION DETAILS

SHEET 11
 DWG SARATOGA DETAILS
 DATE MAY 28, 2014
 PROJ 13-399-10



SURVEY MONUMENT	DATE: FEBRUARY 2013	REV: DATE: BY: REVISION: COMMENTS:	STANDARD DETAILS STREET STANDARDS
	DRAWN BY: ST-29A	CHECKED: APPROVED: SARATOGA SPRINGS CITY	



NOTES:
ALL WORK SHALL CONFORM TO APWA STANDARDS UNLESS OTHERWISE APPROVED BY CITY ENGINEER

SURVEY MONUMENT TYPE 1	DATE: FEBRUARY 2013	REV: DATE: BY: REVISION: COMMENTS:	STANDARD DETAILS STREET STANDARDS
	DRAWN BY: ST-29B	CHECKED: APPROVED: SARATOGA SPRINGS CITY	

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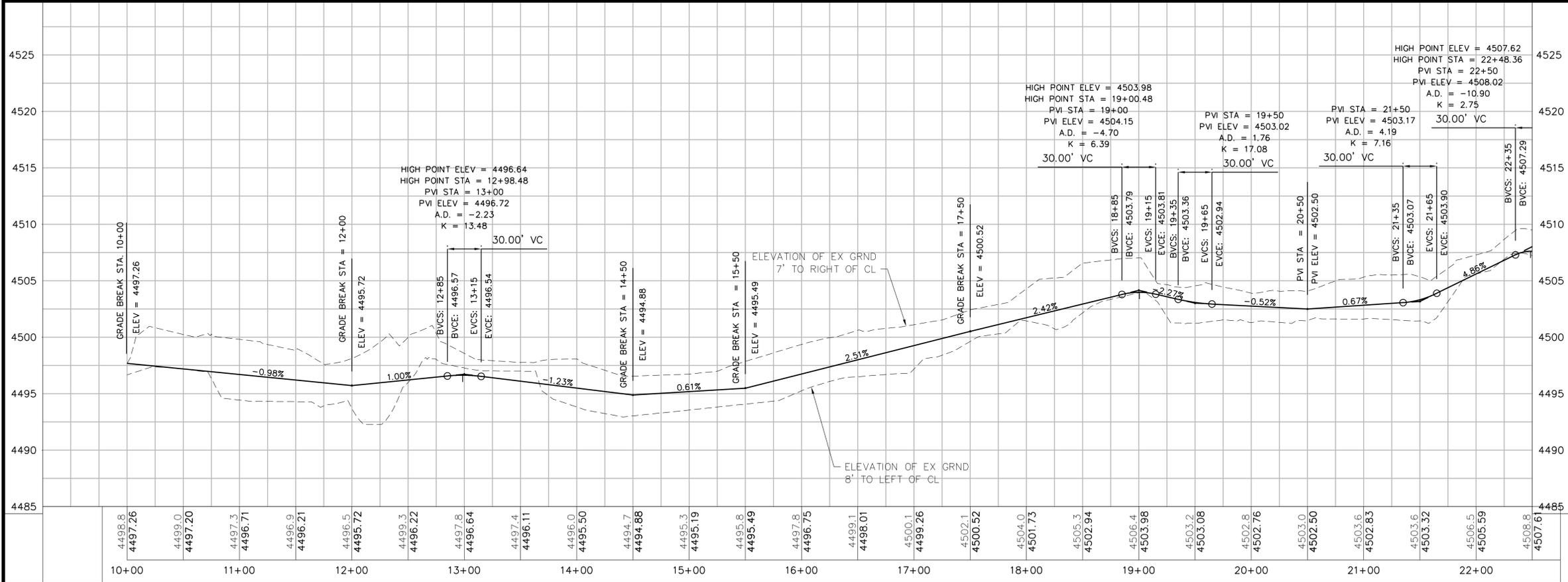
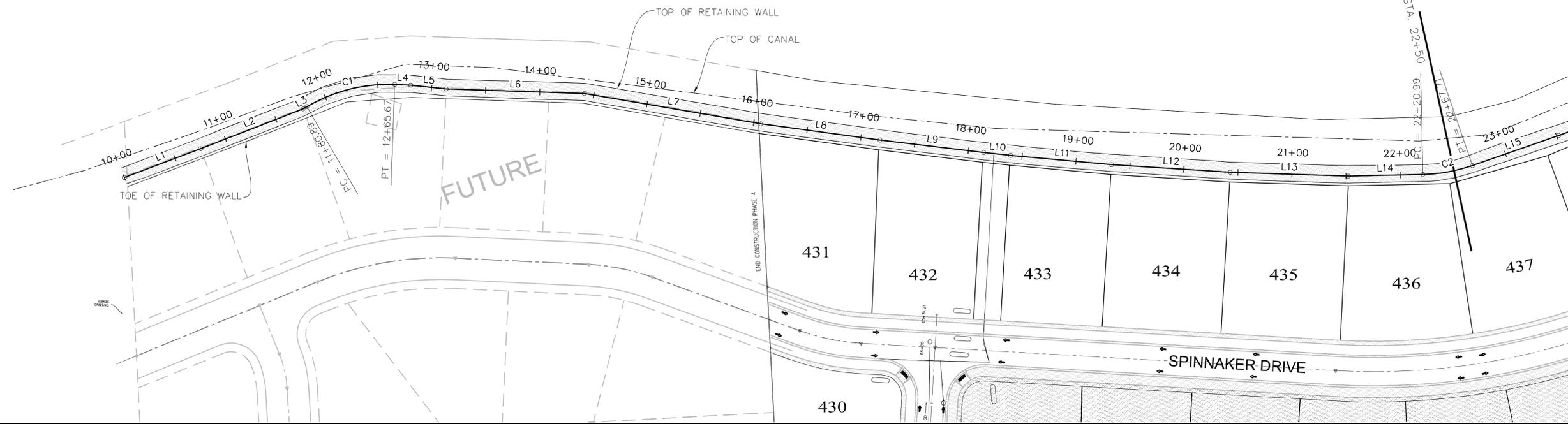
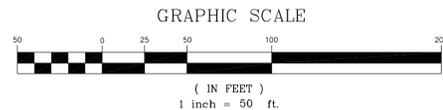
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PREPARED FOR:
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947 South 500 East, STE 100
American Fork, UT 84003

LAKE COVE SUBDIVISION PHASE 1
CONSTRUCTION DETAILS

SHEET	13
DWG	SARATOGA DETAILS
DATE	MAY 28, 2014
PROJ	13-399-10

UTAH LAKE



NO.	DATE	DESCRIPTION	BY

H&H
ENGINEERING AND
SURVEYING, INC.
 796 E. PACIFIC DR. SUITE A AMERICAN FORK, UT 84003
 TEL: (801) 756-2488 FAX: (801) 756-3499

HARBOR BAY
TRAIL PROJECT
 PLAN AND PROFILE
 STA. 10+00 - 22+50

PROJECT NO. 5-111-04
 DATE 2-05-07
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02

RESOLUTION NO. R14-35 (7-15-14)

ADDENDUM TO RESOLUTION OF THE CITY OF SARATOGA SPRINGS PERTAINING TO THE CITY STREET LIGHTING SPECIAL IMPROVEMENT DISTRICT TO INCLUDE ADDITIONAL SUBDIVISION LOTS. (Lake Cove)

WHEREAS, on May 10, 2001, the City Council adopted Resolution No. 01-0510-01 creating a street lighting special improvement district (the "Lighting SID") consisting of all lots and parcels included within the Subdivisions set out in said Resolution for the maintenance of street lighting within the Lighting SID.

WHEREAS, *Utah Code Ann.* § 17A-3-307 provides that additional properties may be added to the special improvement district and assessed upon the conditions set out therein.

WHEREAS, the City Council has given final plat approval to Lake Cove, (the "Subdivision") conditioned upon all lots in the Subdivision being included in the Lighting SID.

WHEREAS, the City Council finds that the inclusion of all of the lots covered by the Subdivision in the Lighting SID will benefit the Subdivision by maintaining street lighting improvements, after installation of such by the developer of the Subdivision, which is necessary for public safety, and will not adversely affect the owners of the lots already included within the Lighting SID.

WHEREAS, the owners of the property covered by the Subdivision have given written consent: (i) to have all lots and parcels covered by that Subdivision included within the Lighting SID, (ii) to the improvements to that property (maintenance of the street lighting), (iii) to payment of the assessments for the maintenance of street lighting within the Lighting SID, and (iv) waiving any right to protest the Lighting SID and/or assessments currently being assessed for all lots in the Lighting SID (which consent is or shall be attached as Exhibit 1 to this Resolution).

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS THAT:

1. All lots and parcels in the Subdivision be added to and included in the Lighting SID based upon the above findings and the written consent attached as Exhibit 1 to this Resolution.
2. City staff is directed to file a copy of this Resolution, as an Addendum to Resolution No. 01-0510-01 creating the Lighting SID, as required by *Utah Code Ann.* § 17A-3-307.
3. Assessments will be hereafter levied against owners of all lots within the Subdivision on the same basis as assessments are being levied against other lots included in the Lighting SID.
4. The provisions of this Resolution shall take effect upon the passage and publication of this Resolution as required by law.

CONSENT OF OWNER OF PROPERTY
TO BE INCLUDED IN STREET LIGHTING SPECIAL IMPROVEMENT DISTRICT

WHEREAS the City of Saratoga Springs (the “City”), by and through its City Council, has created a Street Lighting Special Improvement District (the “Lighting SID”) to pay for maintenance of street lighting within the subdivisions covered by the Lighting SID.

WHEREAS the undersigned (“Developer”) is the developer of Lake Cove (the “Subdivision”) located within the City for which the City Council has given or is expected to give final plat approval.

WHEREAS, *Utah Code Ann.* § 17A-3-307 provides that before the completion of the improvements covered by a special improvement district, additional properties may be added to the special improvement district and assessed upon the conditions set out therein. Since the improvements covered by the Lighting SID are the maintenance of street lighting in the Lighting SID, said improvements are not completed so additional properties may be added to the Lighting SID pursuant to said § 17A-3-307.

WHEREAS, the City is requiring that the Subdivision be included within the Lighting SID in order to provide for the maintenance of street lighting within the Subdivision as a condition of final approval of the Subdivision.

WHEREAS, Developer, as the owner of the property covered by the Subdivision, is required by *Utah Code Ann.* § 17A-3-307 to give written consent to having the property covered by that Subdivision included within the Lighting SID and to consent to the proposed improvements to the property covered by the Subdivision and to waive any right to protest the Lighting SID.

NOW THEREFORE, Developer hereby consents to including the lots and parcels within the Subdivision in the Lighting SID. On behalf of itself and all lot purchasers and/or successors in interests, Developer consents and agrees as follows:

1. Consents to have all property covered by the Subdivision and all lots and parcels created by the Subdivision included within the Lighting SID. The legal description and the tax identification number(s) of the property covered by the Subdivision are set out in Exhibit A attached to this Consent.
2. Consents to the improvements with respect to the property covered by the Subdivision -- that is the maintenance of street lighting within the Subdivision. The street lighting within the Subdivision will be installed by Developer as part of the “Subdivision Improvements.”
3. Agrees to the assessments by the Lighting SID for the maintenance of street lighting within the Lighting SID.

4. Waives any right to protest against the Lighting SID and/or the assessments currently being assessed for all lots in the Lighting SID.

Dated this ____ day of _____, 2014.

DEVELOPER:

Name:
Authorized
Signature:
Its:



City Council Staff Report

Preliminary Plat and Site Plan Amendment Hillcrest Condo's Phase 3 July 15, 2014 Public Meeting

Report Date:	July 8, 2014
Applicant:	Nate Hutchinson (Flagship Homes)
Owner:	Hillcrest Road at Saratoga
Location:	Approximately 1900 North Crest Road
Major Street Access:	Redwood Road
Parcel Number(s) & Size:	41:581:0019; Approximately 5.98 acres
Land Use Map Designation:	High Density Residential
Parcel Zoning:	14, High Density Residential
Adjacent Zoning:	R-14, R-3, R-3 PUD, MU, A
Current Use of Parcel:	Undeveloped
Adjacent Uses:	Low and High Density Residential
Previous Meetings:	MDA review in 2002, site plan review in 2003, Phase 1 final plat review in 2004, Phase 2 preliminary and final plat review in 2011-2013
Previous Approvals:	8/13/02, MDA approval (signed 11/16/04, with a six year term) 10/14/03, site plan approval 6/15/04, Phase 1 final condo plat 5/3/11, Phase 2 Preliminary Plat 1/4/11, Phase 2G Final Plat; 7/13/11, Phase 2H Final Plat 4/17/12, Phase 2I Final Plat; 10/2/12, Phase 2J and 2K Final Plat 8/20/13, Phase 2L Final Plat
Land Use Authority:	City Council
Future Routing:	Final Plat applications are required
Author:	Sarah Carroll, Senior Planner

A. Executive Summary:

This is a request for approval of the Site Plan Amendment and Preliminary Plat for Hillcrest Condominiums Phase 3, located at approximately 1900 North Crest Road. The proposal includes 84 condominium units on 5.98 acres. Although the original Master Development Agreement (MDA) has expired, a new one is not required by Code and the Site Plan is vested.

Recommendation:

Staff recommends that the City Council conduct a public meeting, take public comment at their discretion, and/or discuss the proposed preliminary plat, and choose from the options in Section "H" of this report. Options include approval with conditions, tabling the item to a future meeting, or denial.

- B. Background:** An MDA was approved for Hillcrest Condominiums in 2002 and signed in 2004, with a six year term. The site plan was also recorded with the MDA. Section 4.2 of the MDA states "This Agreement shall continue beyond its term as to any rights or obligations for subdivisions or site plans that have been given final approval and have been recorded prior to the end of the term of this Agreement." The site plan was recorded with the original MDA is still in effect.

Phase 1 included six buildings (72 units) and the clubhouse, and was recorded in 2004. The project went under around 2007-2008 with an outstanding punchlist for Phase 1. The remaining undeveloped portion (Phases 2 and 3) was picked up by the current applicant, Flagship Homes in 2010. When the current developer first met with the City the MDA was still active, but about to expire. The Code did not require a new MDA. Flagship Homes entered into a Development Agreement (DA) that required the completion of the outstanding items in Phase 1. This allowed them to continue to receive credit for the existing open space and amenities in Phase 1. The DA was recorded with Phase 2G and subsequent phases and allowed them to phase the Phase 1 punchlist improvements as they progress through Phases 2 and 3 of the development. The proposed Phase 3 project layout, unit count, and landscape plans generally match the original plans. However, some changes are being requested and are outlined below:

- a. The buildings in Phase 2 have a different footprint than the buildings in Phase 1, which necessitated a change to the landscaping around the footprint of the building. This was approved with the Phase 2 Preliminary Plat and is being requested for Phase 3 as well.
- b. The orientation of one of the buildings and the surrounding parking has changed (building K on the original site plan, building 3O on the current plan).
- c. The round-about has been removed to allow for a layout that includes more guest parking.
- d. Modifications have been made to the parking area closest to the detention pond which has been revised to create better flow.
- e. They are proposing replacing two small tot lots with one larger tot lot in a more open area. The original site plan shows a tot lot between buildings F and G and one north of building K. On the new plan these have been replaced with a larger tot lot east of building 3S.

The applicant is proposing the same elevations that were approved for Phase 2 (attached).

- C. Specific Request:** The applicant is requesting approval of the Preliminary Plat for Phase 3 of the Hillcrest Condominium project. The Preliminary Plat includes 84 units with associated garages, parking, and open space. Phase 3 will also include a tot lot and outstanding punch list items in Phase 1 that were required in the DA that was recorded with Phase 2G and subsequent phases, as listed below (many of these items have already been finished):
- a. Construct the sidewalk from Phase 1 to Phase 3, at the clubhouse area (this is complete)
 - b. Construct the playground at the clubhouse area and install the playground equipment and benches (this is complete)
 - c. Construct the tot lot east of Building D. They would like to propose a basketball half-court behind the pool in place of this tot lot. (not yet complete)
 - d. Complete the landscaping west of Building F (not yet complete)
 - e. Complete the detention pond and landscaping (not yet complete)
- D. Process:** Section 19.13.04 of the City Code states that Preliminary Plats require a public hearing with the Planning Commission and that the City Council is the approval authority.

Staff finding: complies. *After a public hearing with the Planning Commission the application will be forwarded to the City Council.*

- E. Community Review:** Prior to the Planning Commission review of the Preliminary Plat, this item was noticed as a public hearing in the *Daily Herald*; and notices were mailed to all property owners within 300 feet of the subject property. As of the date of this report, public input has not been received. The City Council is not required to hold a public hearing for these applications.

Planning Commission Review: The Planning Commission reviewed the proposed site plan amendment and preliminary plat on June 26, 2014 and recommended approval subject to the conditions in Section "H" of this report. No public comment was given at that meeting.

- F. **General Plan:** The General Plan recommends High Density Residential for this area. The Land Use Element of the General Plan states "Densities in the High Density Residential areas will typically range from 14 to 18 units per acre while they may reach as high as 24 units per acre in limited situations."

Finding: consistent. The overall project is 228 units on 16.9 acres (17.4 acres minus 0.50 acres of sensitive lands); resulting in a density of 13.49 units per acre. Thus, the proposed density is consistent with the General Plan.

- G. **Code Criteria:** The property is zoned R-14, High Density Residential. Section 19.04.18 regulates the R-14 zone and is evaluated below.

Density: Density in the R-14 zone shall not exceed 14 ERUs per acre. The Hillcrest development consists of 228 units on 16.9 acres (17.4 acres minus 0.50 acres of sensitive lands), with an overall density of 13.49 units per acre and complies with this requirement.

Permitted or Conditional Use: complies. "Multi Family Structures" are a permitted use in the R-14 zone. Phase 3 consists of seven buildings with twelve units each. The proposed structures are a permitted use in this zone.

Minimum Lot Size: complies. For multi-family structures where each dwelling is separately owned, the minimum lot size shall be based on each building rather than each individual dwelling. The proposed units are approximately 1,200 square feet in size and each building is proposed to be on a lot that is 0.54 acres or larger (see preliminary phasing plan). The units/lots comply with this requirement.

Setbacks/Yard Requirements: complies. The R-14 zone requires front setbacks of 25 feet, multifamily structures require 10 feet between the sides of the buildings, and rear setbacks of 20 feet. For corner lots the side yard abutting the street is to be 20 feet. Accessory buildings are required to be five feet from the rear and side yards.

The proposed plans meet the setback requirements, as further reviewed: Buildings 3P, 3Q, 3R, and 3S are located 20 feet from the boundary of the project, meeting the rear setback requirement. The proposed garages are located approximately 20 feet from the boundary of the project exceeding the requirement of five feet. The proposed garages are located more than five feet from the main structures. The proposed multi-family structures are all separated by more than 10 feet, meeting the side yard setback requirements. For buildings 3N and 3M there is 15' between the entryways and over 25 feet between the remainder of the buildings. Although the project will be recorded in phases, the setbacks were reviewed from the project boundaries.

Minimum Lot Width: complies. Every lot in this zone shall be 50 feet in width at the front building setback. For multi-family structures where each unit is separately owned, the minimum lot width shall be based on each building rather than each individual dwelling. The proposed buildings are 57' x 106' and comply with this requirement.

Minimum Lot Frontage: complies. Every lot in this zone shall have at least 35 feet of frontage along a public street. For multi-family structures where each unit is separately owned, the minimum lot frontage shall be based on each building rather than each individual dwelling. The proposed buildings are 57' x 106' and front private parking lots that will serve the buildings. These buildings and parking areas are accessed from private streets.

Maximum Height of Structures, Maximum Lot Coverage, Minimum Dwelling Size: complies. No structure in the R-14 zone shall be taller than 35 feet. Maximum lot coverage in the R-14 zone is 50%. The

minimum dwelling size in the R-14 zone is 800 square feet of living space above grade. The preliminary plat plans indicate that they can comply with each requirement. These requirements will be reviewed further by the building department with each individual building permit application.

Open Space: complies. The R-14 zone requires 20% of the total project area to be installed as open space to be either public or common space not reserved in individual lots.

The plans indicate the total project area is 5.98 acres with 2.14 acres (36%) of landscaped area that will be common area within the development. The definition for open space, found in Section 19.02, requires "park or landscaped areas that meet the minimum recreational needs of the subdivision." This phase will be joined with the existing Hillcrest HOA and will have access to the existing amenities on the site such as the playgrounds, swimming pool, clubhouse, and open space. In order to receive credit for the existing amenities in Phase 1, when the developer began developing Phases 2 and 3 they entered into a development agreement that required outstanding punchlist items in Phase 1 to be completed.

Sensitive Lands: complies.

- The R-14 zone requires that sensitive lands shall not be included in the base acreage when calculating the number of ERUs permitted in any development and no development credit shall be given for sensitive lands. The Hillcrest development consists of 204 units on 17.4 acres. After the detention basin (0.50 acres) is subtracted from the total the project has 16.9 acres to be used in the density calculation and results in an overall density of 12.07.
- The R-14 zone requires all sensitive lands to be placed in protected open space. The sensitive lands are the detention basin and will be part of the HOA common area open space.
- The R-14 zone requires that no more than 50% of the required open space area shall be comprised of sensitive lands. The detention area is approximately 0.50 acres (8.3% of the Phase 3 open space and 2.87% of the overall project open space) and does not exceed this requirement.

Landscaping: can comply. Section 19.06.07 lists specific landscaping requirements. The landscape plan was reviewed and approved with the original approval (attached). The applicant is proposing to match the original 2004 landscape plan except for the landscaping at the base of the buildings. The building footprint differs from the original plan and a new landscape layout was proposed and approved with Phase 2 and is attached. There will also be some changes as a result of their request to modify the original site plan as outlined in Section "B" of this report. Staff recommends that complete and combined landscape plans be submitted with each sub-phase final plat; this has been included as a condition in Section "H" of this report.

Second access: complies. This phase of development will loop the internal private roads and provide two points of access for the development. Building 3M and 3N will be the first sub-phase in Phase 3 and include this connection. This connection will bring the existing phases into compliance with the current code, Section 19.12.06, regarding second access. The private roads in the development access onto Hillcrest Drive which connects to Harvest Hills Boulevard and Redwood Road.

Parking: complies. 2.25 spaces per unit is required for multi-family units, including one stall within an enclosed garage. Phase 3 indicates 84 units which requires a total of 189 parking stalls (105 stalls may be outside of a garage and 84 stalls shall be within an enclosed garages). The plans indicate 72 single car garages within Phase 3; in addition, 12 of the garages for building M are being constructed with Plat 2L and are included on the Phase 2L plans. In addition there are 114 unenclosed stalls; however, two of the stalls between Buildings 3O and 3N need to be removed since there are 11 stalls in a row in this location. This will reduce the total unenclosed stalls to 112; thus meeting the requirements.

Phasing plan: can comply. Section 19.12.02 (6) requires that when a development is proposed to occur in stages, then the open space or recreational facilities shall be developed in proportion to the number of dwellings intended to be developed during any stage of construction. The phasing plan requires approval by the City Council.

Existing Phasing: The clubhouse and swimming pool have been in place in Phase 1 for several years, Phase 2 has a tot lot, and Phase 3 includes a future tot lot. Each phase includes or has included common area open space and the amenities are to be shared by residents of all phases.

Proposed sub-phasing: Phase 3 proposes five sub-phases (see attached phasing plan). The phases have been designed to include a proportionate share of open space in each sub-phase. This phasing plan requires approval by the City Council.

H. Recommendation and Alternatives:

Staff recommends that the City Council review the proposed Preliminary Plat and Site Plan Amendment, discuss any public input received at their discretion, and make the following motion:

Recommended Motion:

I move that the City Council approve the Site Plan Amendment and Preliminary Plat for Hillcrest Condominiums, Phase 3, located at approximately 1900 North Crest Road, based on the findings and conditions listed below:

Findings:

1. Prior to the Planning Commission review of the preliminary plat and site plan amendment, this item was noticed as a public hearing in the *Daily Herald*; and notices were mailed to all property owners within 300 feet of the subject property.
2. The proposed preliminary plat and site plan amendment is consistent with the General Plan as explained in the findings in Section "F" of this report, which findings are incorporated herein by this reference.
3. The proposed preliminary plat and site plan amendment meets or can conditionally meet all the requirements in the Land Development Code as explained in the findings in Section "G" of this report, which findings are incorporated herein by this reference.

Conditions

1. That all requirements of the City Engineer be met, including those listed in the attached report.
 2. That all requirements of the City Fire Chief be met.
 3. The Site Plan is amended as proposed.
 4. The phasing plan for Phase 3 is approved as proposed.
 5. The following amenities shall be installed with Phase 3:
 - i. Construct a basketball half-court east of Building D with Phase 3, Building O
 - ii. Complete the landscaping west of Building F
 - iii. Complete the detention pond and landscaping
 - iv. Playground north of Building 3-O; details for the playground are required with the final plat application for Phase 3-O and the playground shall be installed with phase 3-O
 6. Two of the parking stalls between Buildings 3-O and 3-N need to be removed since there are 11 stalls in a row in this location.
 7. Complete and combined landscape plans shall be submitted with each sub-phase final plat application.
 8. Added by the Planning Commission: Federal law requires that this project comply with the fair housing act design manual. The manual outlines requirements for interior and site accessibility. The City may direct the developer to the pertinent manual; however, the responsibility for compliance remains solely with the architect and builder of the project.
 9. Any other conditions as articulated by the City Council:
-

Alternative Motions:

Alternative Motion A

"I move to **continue** the item to another meeting, with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

Alternative Motion B

"Based upon the analysis in the Staff Report and information received from the public, I move that the City Council deny the proposed preliminary plat and site plan amendment, located at approximately 1900 North Crest Road. "

List findings for denial:

I. Exhibits:

- A. Engineering Staff Report
- B. Location Map
- C. Planning Commission Draft Minutes, 6/26/14
- D. Original Site Plan and Landscape Plan
- E. Landscape Plans around Building Footprint (revised with Phase 2 for new building footprint)
- F. Preliminary Plat
- G. Phasing Plan
- H. Building Elevations

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Hillcrest Condominiums Phase 3
Date: June 26, 2014
Type of Item: Preliminary Plat Approval



Description:

A. Topic: The Applicant has submitted a preliminary plat application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

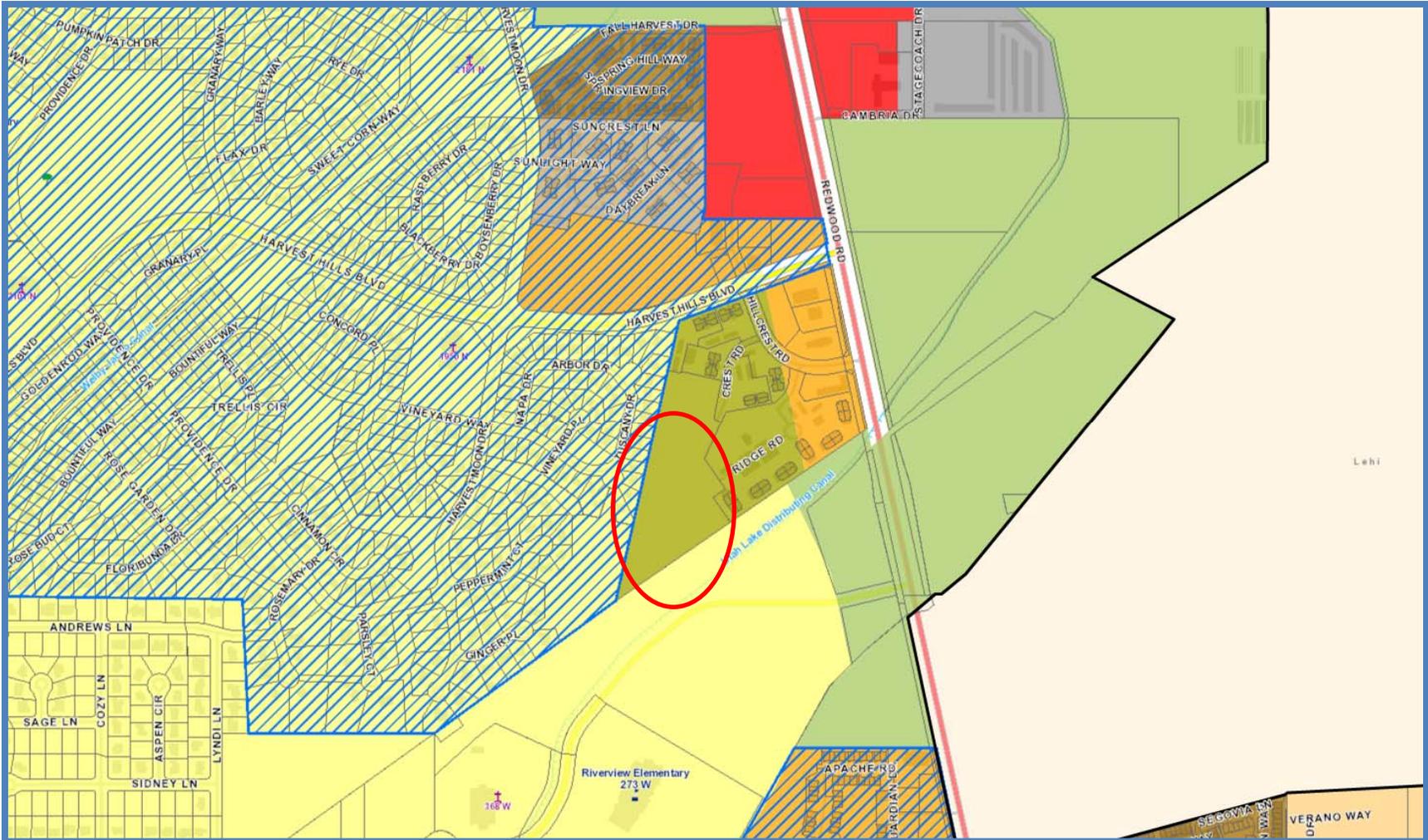
<i>Applicant:</i>	<i>Nate Hutchinson (Flagship Homes)</i>
<i>Request:</i>	<i>Preliminary Plat Approval</i>
<i>Location:</i>	<i>Approximately 1900 North Crest Road</i>
<i>Acreage:</i>	<i>5.98 acres – 84 Condominium units</i>

C. Recommendation: Staff recommends the approval of preliminary plat subject to the following conditions:

D. Conditions:

- A. The developer shall prepare final construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to commencing construction.
- B. Developer shall bury and/or relocate any power lines or other overhead distribution lines that are within or adjacent to this plat.
- C. All roads shall be designed and constructed to City standards and shall incorporate all geotechnical recommendations as per the applicable soils report.
- D. Developer shall provide end of road and end of sidewalk signs per MUTCD at all applicable locations.
- E. Developer shall provide a finished grading plan for all roads and lots and shall stabilize and reseed all disturbed areas.
- F. Developer shall provide plans for and complete all improvements within pedestrian corridors.
- G. Meet all engineering conditions and requirements as well as all Land Development Code requirements in the preparation of the final plat and construction drawings. All application fees are to be paid according to current fee schedules.

- H. All review comments and redlines provided by the City Engineer during the preliminary process are to be complied with and implemented into the final plat and construction plans.
- I. Developer shall prepare and submit easements for all public facilities not located in the public right-of-way. No Utility main, not including laterals, shall be within 10' of any building or foundation or structure to ensure there is adequate room for access for future maintenance needs.
- J. Final plats and plans shall include an Erosion Control Plan that complies with all City, UPDES and NPDES storm water pollution prevention requirements. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and shall identify an acceptable location for storm water detention. All storm water must be cleaned as per City standards to remove 80% of Total Suspended Solids and all hydrocarbons and floatables.
- K. Project shall comply with all ADA standards and requirements.
- L. Developer shall ensure that private roads meet the City standard private road cross sections for this zone. Roads shall also meet minimum curve radii.
- M. Developer shall improve all common areas and open spaces and shall indicate on the plat that these will be dedicated to and maintained by the HOA. All landscaped areas will require complete landscaping and irrigation plans.
- N. Developer shall protect all existing utility infrastructure, a 12' paved access must be provide to all manholes that are outside the ROW.
- O. Developer shall ensure there is sufficient capacity in the existing storm water detention pond for the complete Hillcrest Condo's project including phases 1,2, and 3. Developer shall make any modifications necessary to provide adequate capacity, to ensure the pond meets all current design standards, that outflow peak flows and water quality meet city standards.
- P. Developer shall verify utility infrastructure in phases 1 and 2 have sufficient capacity to support the proposed uses in phase 3 with no reduction in the level of service to existing residents.
- Q. Developer shall commit to completing those punch list items in Phase 1 associated with Plat/Building L as directed by the City and as outlined in the development agreement.
- R. Final plat shall designate all common areas as utility easements for the City of Saratoga Springs.



LOCATION / ZONING MAP, PROPERTY IS ZONED R-14

**City of Saratoga Springs
Planning Commission Meeting
June 26, 2014**

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Planning Commission DRAFT Minutes

Present:

Commission Members: Eric Reese, Jarred Henline, Kirk Wilkins, Sandra Steele, Hayden Williamson, Kara North
Staff: Sarah Carroll, Scott Langford, Kimber Gabryszak, Nicolette Fike, Mark Christensen, Jeremy Lapin, Kevin Thurman
Others: Krisel Travis, Sue Alexander, Shelley Rollins, Tanya Parker, Will Scott, Jason Harris

Call to Order – 6:32 p.m. by Eric Reese, Acting Chairman

Pledge of Allegiance – led by Kirk Wilkins

Roll Call – Quorum was present

Public Input Open by Eric Reese

No input at this time.

Public Input Closed by Eric Reese

5. Continued Public Hearing and Possible Recommendation: Preliminary Plat and Public Hearing and Possible Recommendation: Amended Site Plan, both for Hillcrest Condominiums Phase 3 located at 1900 North Crest Road, Nate Hutchinson, Flagship Homes, applicant.

Sarah Carroll presented the plat and site plan. She review staff recommendations with a change to 5.i. a basketball court instead of a tot lot.

Public Hearing Open by Eric Reese

No input at this time.

Public Hearing Closed by Eric Reese

Sandra Steele noticed that there could be some pedestrian and handicap accessibility issues.

Dave Hutchinson-applicant has spoken with Sarah Carroll about that concern and accessibility issues will be taken care of.

Hayden Williamson had no additional comments.

Kirk Wilkins had no comments.

Kara North had no comments.

Jarred Henline had no additional comments.

Eric Reese wondered if the HOA had any opinions on this.

Sarah Carroll said she had not heard from the HOA, it was generally the same plan they had seen before.

Motion by Hayden Williamson to recommend approval to the City Council of the Preliminary Plat and Site Plan Amendment for Hillcrest Condominiums, Phase 3, located at approximately 1900 North Crest Road, based upon the findings and conditions listed in the staff report with the exception of item 5.i. in which the applicant has offered to do a half-court basketball court in lieu of the tot lot and also including the accessibility recommendations conditions. Seconded by Kirk Wilkins.

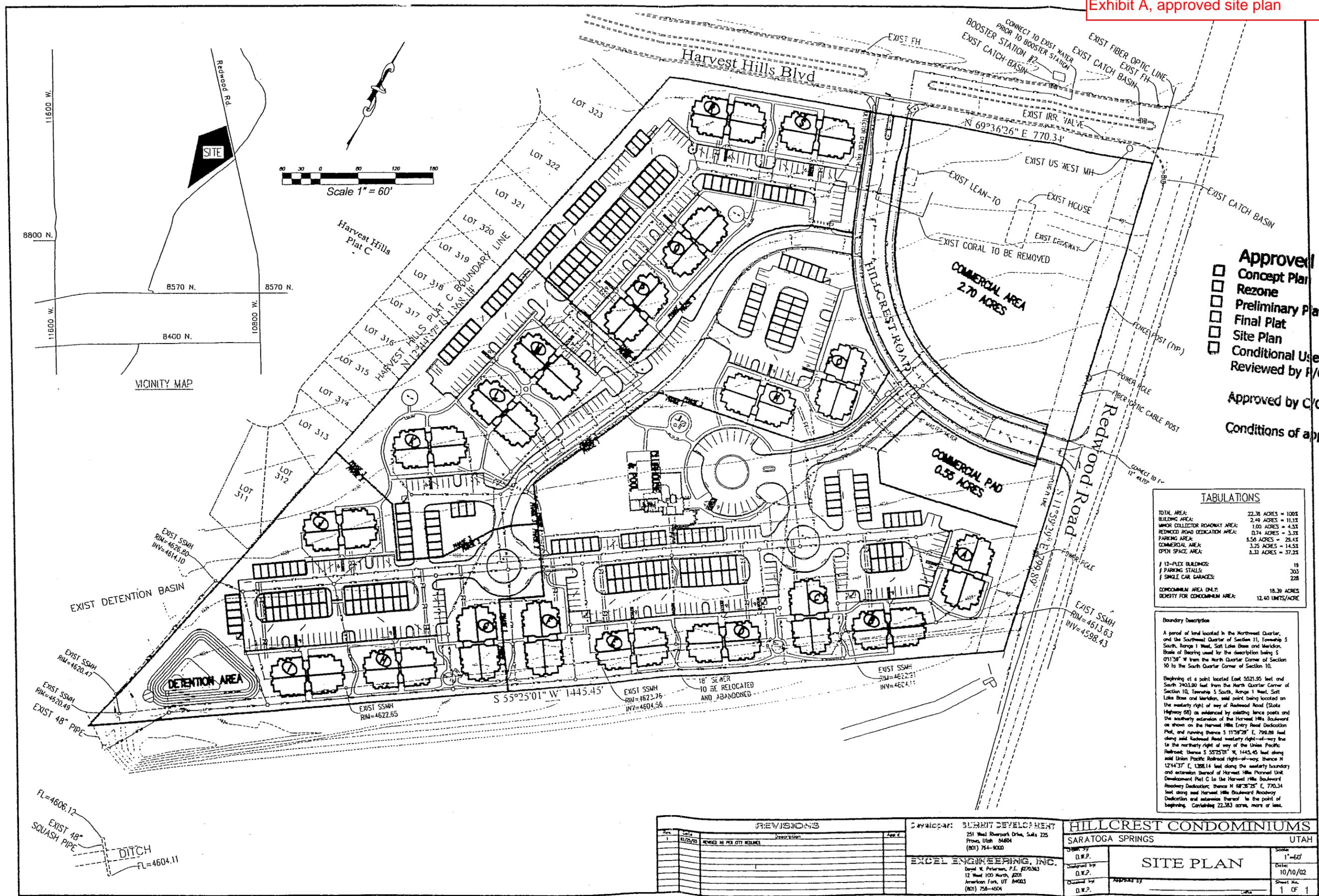
Kirk Wilkins would like it specified that **the half court would have to be completed.**

Hayden Williamson **accepted** that.

Kara North asked if accessibility was included.

Hayden Williamson said it was intended to.

Aye: Sandra Steele, Hayden Williamson, Eric Reese, Kirk Wilkins, Kara North, Jarred Henline. Motion passed unanimously.



- Approval Project**
- Concept Plan
 - Rezone
 - Preliminary Plat
 - Final Plat
 - Site Plan
 - Conditional Use
 - Reviewed by P/C
 - Approved by C/C
 - Conditions of approval:

TABULATIONS

TOTAL AREA:	22.38 ACRES = 100%
BUILDING AREA:	2.49 ACRES = 11.1%
WATER COLLECTION ROADWAY AREA:	1.00 ACRES = 4.5%
REZONED ROAD DEDICATION AREA:	0.74 ACRES = 3.3%
PARKING AREA:	5.56 ACRES = 24.8%
COMMERCIAL AREA:	3.25 ACRES = 14.5%
OPEN SPACE AREA:	8.33 ACRES = 37.2%
12-FLEX BUILDINGS:	19
PARKING STALLS:	203
SINGLE CAR GARAGES:	228
CONDOMINIUM AREA (GAL):	18.39 ACRES
DENSITY FOR CONDOMINIUM AREA:	12.40 UNITS/ACRE

Boundary Description

A parcel of land located in the Northwest Quarter, and the Southwest Quarter of Section 11, Township 5 South, Range 1 West, Salt Lake Base and Meridian. Base of Bearing used for the description being S 01°15'58" W from the North Quarter Corner of Section 10 to the South Quarter Corner of Section 10. Beginning of a point located East 5521.95 feet and South 7403.80 feet from the North Quarter Corner of Section 10, Township 5 South, Range 1 West, Salt Lake Base and Meridian, said point being located on the westerly right of way of Redwood Road (State Highway 60) as evidenced by existing fence posts and the southerly extension of the Harvest Hills Boulevard as shown on the Harvest Hills Entry Road Dedication Plat, and running thence S 11°52'28" E, 799.88 feet along said Redwood Road westerly right-of-way line to the northerly right of way of the Union Pacific Railroad; thence S 55°25'01" W, 1445.45 feet along said Union Pacific Railroad right-of-way; thence N 12°44'37" E, 1308.14 feet along the westerly boundary and extension thereof of Harvest Hills Planned Unit Development, Plat C to the Harvest Hills Boulevard Roadway Dedication; thence N 68°35'25" E, 770.34 feet along said Harvest Hills Boulevard Roadway Dedication and extension thereof to the point of beginning. Containing 22.383 acres, more or less.

REVISIONS

No.	Date	Description	By
1	10/10/02	REVISED AS PER CITY REVIEW	

Client: SUBMIT DEVELOPMENT
 251 West Riverpark Drive, Suite 225
 Provo, Utah 84604
 (801) 754-9000

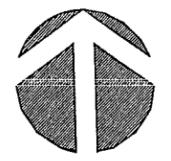
Excel Engineering, Inc.
 Dan W. Peterson, P.E. #270043
 12 West 100 North, #201
 American Fork, UT 84003
 (801) 754-4604

HILLCREST CONDOMINIUMS
 SARATOGA SPRINGS UTAH

Scale: 1"=60'
 Date: 10/10/02
 Sheet No. 1 OF 1

Harvest Hills Blvd

approved landscape plans, 1 of 4



Landscape Plan for:
HILLCREST CONDOMINIUMS
 SARATOGA SPRINGS, UTAH
 SUMMIT DEVELOPMENT
 251 West Riverpark Drive Suite #225
 Provo, Utah 84604
 (801) 764-9000

- DESCRIPTION OF ITEMS**
- 5-12" DIAMETER Sunset Cobble RIVER COBBLE (AVAILABLE AT C&R STONE #358-ROCK). UNDERLAID WITH DEWITT 5oz. WEEDBARRIER FABRIC OR EQUAL.
 - 3" HIGH STONE SIGNAGE WALLS. WALLS AND LETTERING STYLE TO BE DETERMINED.
 - 3" HIGH BERM WITH STACKED STONE WATER FEATURE. NO STANDING WATER TO BE SEEN. PROVIDE CONCRETE BOX WITH METAL GRATE TO HOUSE PUMP. GRATE TO BE COVERED WITH 6-12" DIAMETER "Sunset Cobble" RIVER COBBLE.
 - 4"x6" EXTRUDED SQUARE CONCRETE MOWCURB (SHOWN AS A DOUBLE LINE).
 - No #5
 - 18"-2" DIAMETER BOULDERS TO CREATE VARIETY IN RIVERCOBBLE AREAS (TYPICAL).
 - TOT LOT. PROVIDE 6" WIDE, 1" DEEP REINFORCED CONCRETE EDGING. CONCRETE EDGING TO BE 4" ABOVE GRADE AND TAPER AT WALK APPROACH. SURFACE MATERIAL TO BE PLAYGROUND QUALITY WOOD CHIPS TO MIN. DEPTH OF 6" UNDERLAD WITH WEED BARRIER FABRIC. TOP OF WOOD CHIPS TO BE FLUSH WITH CONCRETE WALK APPROACH FOR ADA ACCESS.
 - STAMPED CONCRETE ASPHALT. (COLOR AND PATTERN TO BE DETERMINED).
 - 8' HIGH VINYL PRIVACY FENCE.
 - ALL AREAS LABELED "PLANTS" TO RECEIVE TOPSOIL AMENDMENTS AND MULCH AS PER WRITTEN SPECIFICATIONS (SEE SHEET L5).
 - SEE SHEET L2
 - LIGHTED BOLLARD PATH LIGHTS (STYLE TO BE DETERMINED).

North
LANDSCAPE ITEMS

CRLA
 CRLA LANDSCAPE ARCHITECTURE
 OREM, UTAH
 (801) 225-2794
 (801) 867-8108

Project: 020870	Sheet Number:
Date: 12/02/02	L1
Drawn: jst	
Checked: dsc	

COMMERCIAL AREA
 2.70 ACRES

COMMERCIAL PAD
 0.55 ACRES

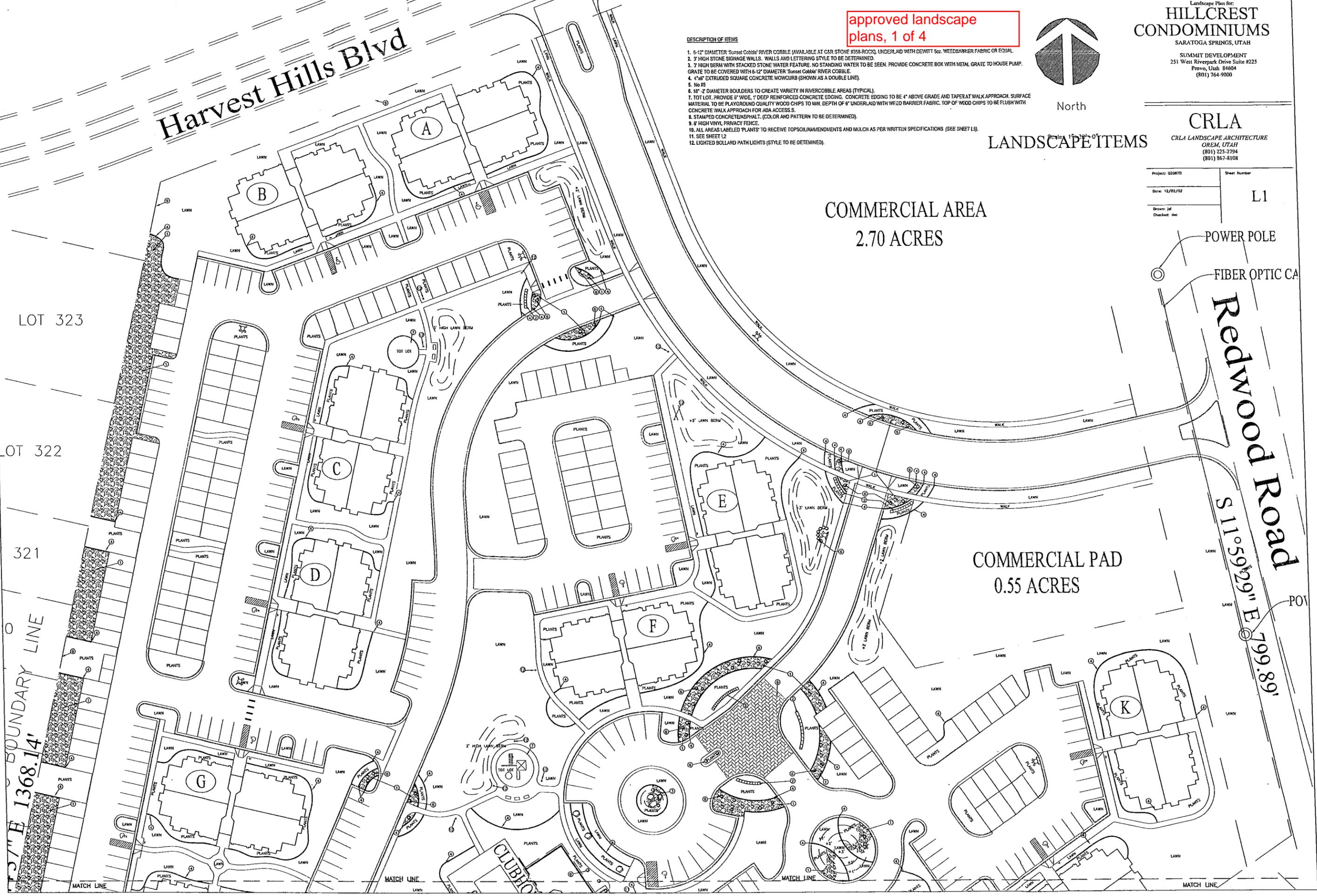
POWER POLE
 FIBER OPTIC CA
Redwood Road
 S 11° 59' 29" E 799.89'

LOT 323

LOT 322

321

BOUNDARY LINE
 137' E 1368.14'



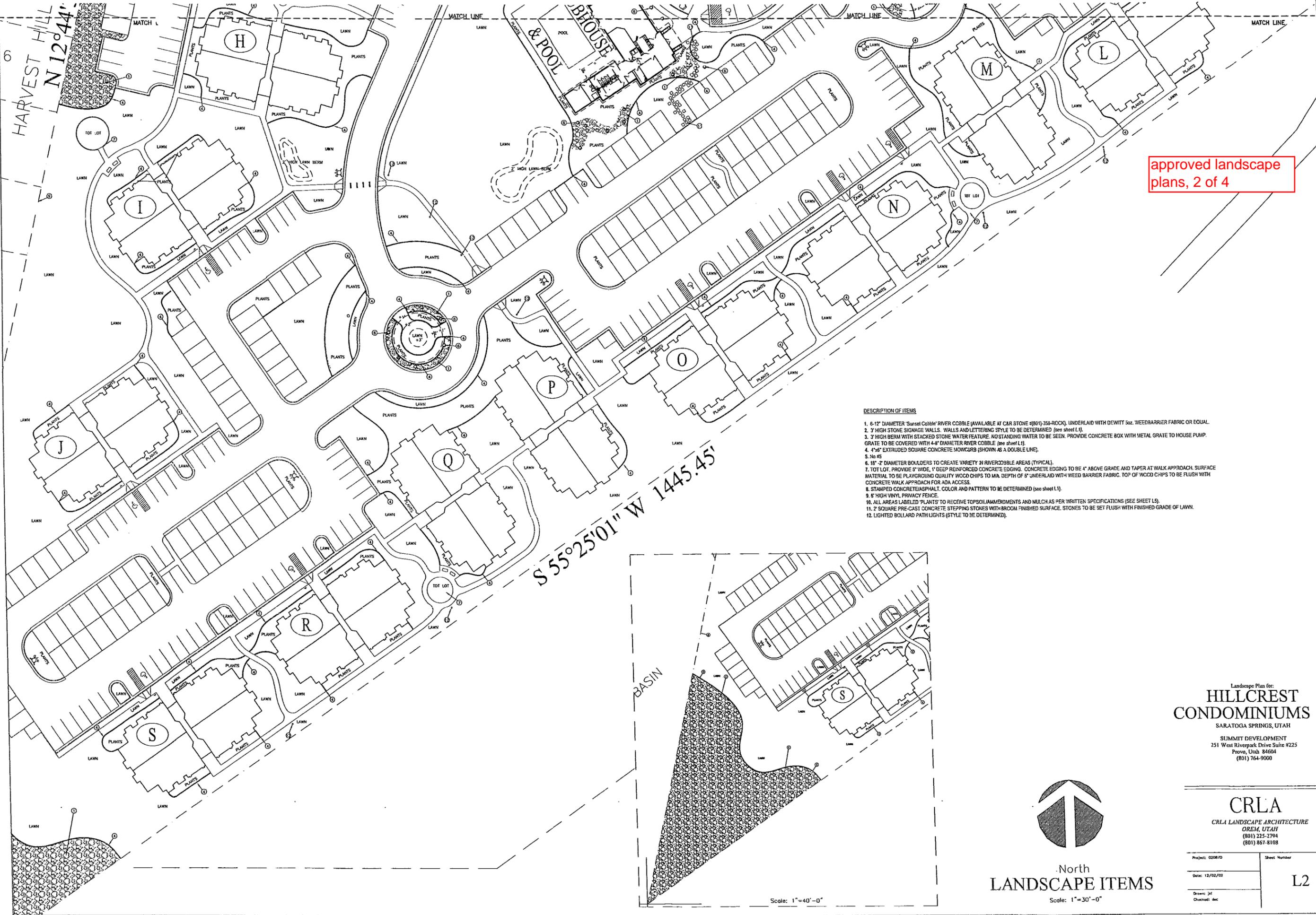
CLUBHO

MATCH LINE

MATCH LINE

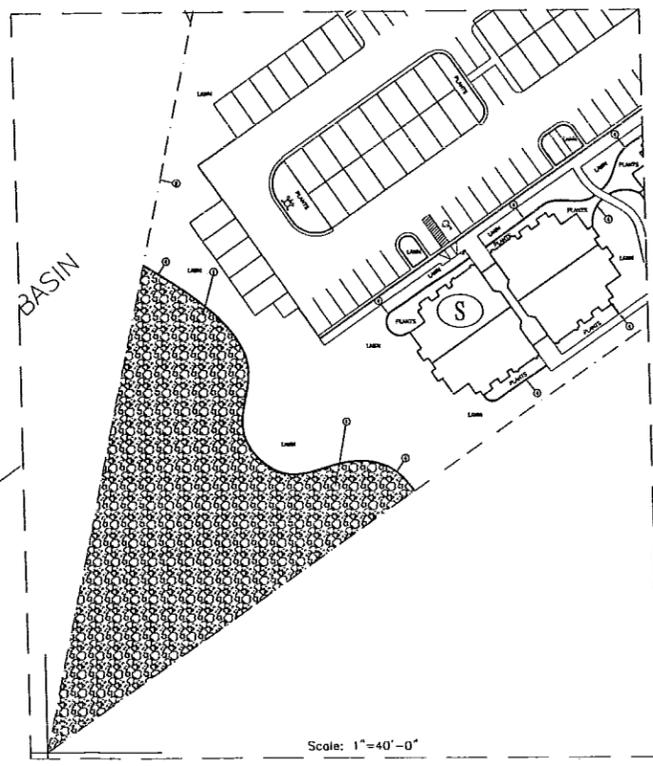
MATCH LINE

MATCH LINE



approved landscape plans, 2 of 4

- DESCRIPTION OF ITEMS**
- 6-12" DIAMETER "Sunset Cobble" RIVER COBBLE (AVAILABLE AT CAR STONE #801) 359-ROCK), UNDERLAID WITH DEWITT 5oz. WEEDBARRIER FABRIC OR EQUAL.
 - 3" HIGH STONE SIGNAGE WALLS. WALLS AND LETTERING STYLE TO BE DETERMINED (see sheet L1).
 - 3" HIGH BERM WITH STACKED STONE WATER FEATURE. NO STANDING WATER TO BE SEEN. PROVIDE CONCRETE BOX WITH METAL GRATE TO HOUSE PUMP. GRATE TO BE COVERED WITH 4-8" DIAMETER RIVER COBBLE (see sheet L1).
 - 4"x6" EXTRUDED SQUARE CONCRETE MOWCURB (SHOWN AS A DOUBLE LINE).
 - No #5
 - 18"-2" DIAMETER BOARDS TO CREATE VARIETY IN RIVER COBBLE AREAS (TYPICAL).
 - TOT LOT. PROVIDE 3" WIDE, 1" DEEP REINFORCED CONCRETE EDGING. CONCRETE EDGING TO BE 4" ABOVE GRADE AND TAPER AT WALK APPROACH SURFACE MATERIAL TO BE PLAYGROUND QUALITY WOOD CHIPS TO MIN. DEPTH OF 5" UNDERLAID WITH WEED BARRIER FABRIC. TOP OF WOOD CHIPS TO BE FLUSH WITH CONCRETE WALK APPROACH FOR ADA ACCESS.
 - STAMPED CONCRETE ASPHALT. COLOR AND PATTERN TO BE DETERMINED (see sheet L1).
 - 6" HIGH VINYL PRIVACY FENCE.
 - ALL AREAS LABELED "PLANTS" TO RECEIVE TOPSOIL AMENDMENTS AND MULCH AS PER WRITTEN SPECIFICATIONS (SEE SHEET L5).
 - 2" SQUARE PRE-CAST CONCRETE STEPPING STONES WITH BROOM FINISHED SURFACE. STONES TO BE SET FLUSH WITH FINISHED GRADE OF LAWN.
 - LIGHTED BOLLARD PATH LIGHTS (STYLE TO BE DETERMINED).



Scale: 1"=40'-0"

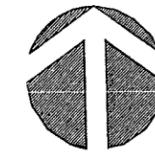
North
LANDSCAPE ITEMS
Scale: 1"=30'-0"

Landscape Plan for:
HILLCREST CONDOMINIUMS
SARATOGA SPRINGS, UTAH
SUMMIT DEVELOPMENT
251 West Riverpark Drive Suite #225
Provo, Utah 84604
(801) 764-9000

CRLA
CRLA LANDSCAPE ARCHITECTURE
OREM, UTAH
(801) 225-2794
(801) 867-8108

Project: 02087D	Sheet Number
Date: 12/02/03	L2
Drawn: jfl Checked: dac	

EXISTING LANDSCAPING
Harvest Hills Blvd



North
 Scale: 1" = 30'-0"
PLANTING PLAN

LANDSCAPE TABULATIONS
 TOTAL SITE: 22.38 ACRES (100%)
 BUILDING/HARDSCAPE/COMMERCIAL: 14.08 ACRES (62.9%)
 LANDSCAPE: 8.3 ACRES (37.1%)

COMMERCIAL AREA
 2.70 ACRES

PLANT SCHEDULE FOR SHEET L3

SYMBOL	COMMON NAME (QTY.)	SYMBOL	COMMON NAME (QTY.)
(Symbol: Circle with radiating lines)	CONIFEROUS EVERGREEN (5' Tall)	(Symbol: Circle with radiating lines)	NOTATION PINE (13)
(Symbol: Circle with radiating lines)	HOOP PINE (25)	(Symbol: Circle with radiating lines)	HOOP PINE (25)
(Symbol: Circle with radiating lines)	BROADLEAF DECIDUOUS (2.5' Caliper)	(Symbol: Circle with radiating lines)	COMMON HACKBERRY (35)
(Symbol: Circle with radiating lines)	EMERALD QUEEN MAPLE (37)	(Symbol: Circle with radiating lines)	THORNTLESS COCKSPUR HAWTHORN (37)
(Symbol: Circle with radiating lines)	SHUBERT'S CANADA RED CHOCHECHERRY (36)	(Symbol: Circle with radiating lines)	CAPITAL FLOWERING PEAR (43)
(Symbol: Circle with radiating lines)	SERGEANT CRABAPPLE (7) - 15 Gallon	(Symbol: Circle with radiating lines)	

- BOULDERS**
 NOTE: Additional 3" Diameter "Palcon PL" Boulders. (Additional from Sheets L1 and L2)
- SHRUBS (5 Gallon)**
- 'Madara' Juniper / Juniperus scopulorum 'Madara' (40)
 - 'Goldswort' Yucca (12)
 - Vicary Privet (133)
 - Blue Mist Spirea (110)
 - Alpine Currant (83)
 - Three Leaf Sumac (Shrub Bush) (18)
 - Utah Service Berry (20)
 - Western Sand Cherry (130)
 - Kelsey's Desert Dogwood (66)
 - Del. Burning Bush (21)

- ORNAMENTAL GRASSES (1 Gallon)**
- 'Karl Foerster' Feather Reed Grass (170)
 - 'Blue Owl' Grass (6)
- PERENNIALS (4" pots)**
- 'Tickseed' Coreopsis (50)
 - 'Autumn Joy' Sedum (49)
 - Daylilies varieties (30)

NOTE: SEE SHEET L5 FOR WRITTEN SPECIFICATIONS FOR PLANTING PROCEDURES.
 NOTE: CONTRACTOR TO VERIFY ALL PLANT QUANTITIES. PLAN SHALL DICATE.

Planting Plan for:
HILLCREST CONDOMINIUMS

SARATOGA SPRINGS, UTAH
 SUMMIT DEVELOPMENT
 251 West Riverpark Drive Suite #225
 Provo, Utah 84604
 (801) 764-9000

CRLA
 CRLA LANDSCAPE ARCHITECTURE
 OREM, UTAH
 (801) 225-2794
 (801) 867-8108

Project: 020870
 Sheet Number: **L3**
 Date: 12/02/02
 Drawn: jrl

approved landscape plans, 3 of 4

Redwood Road

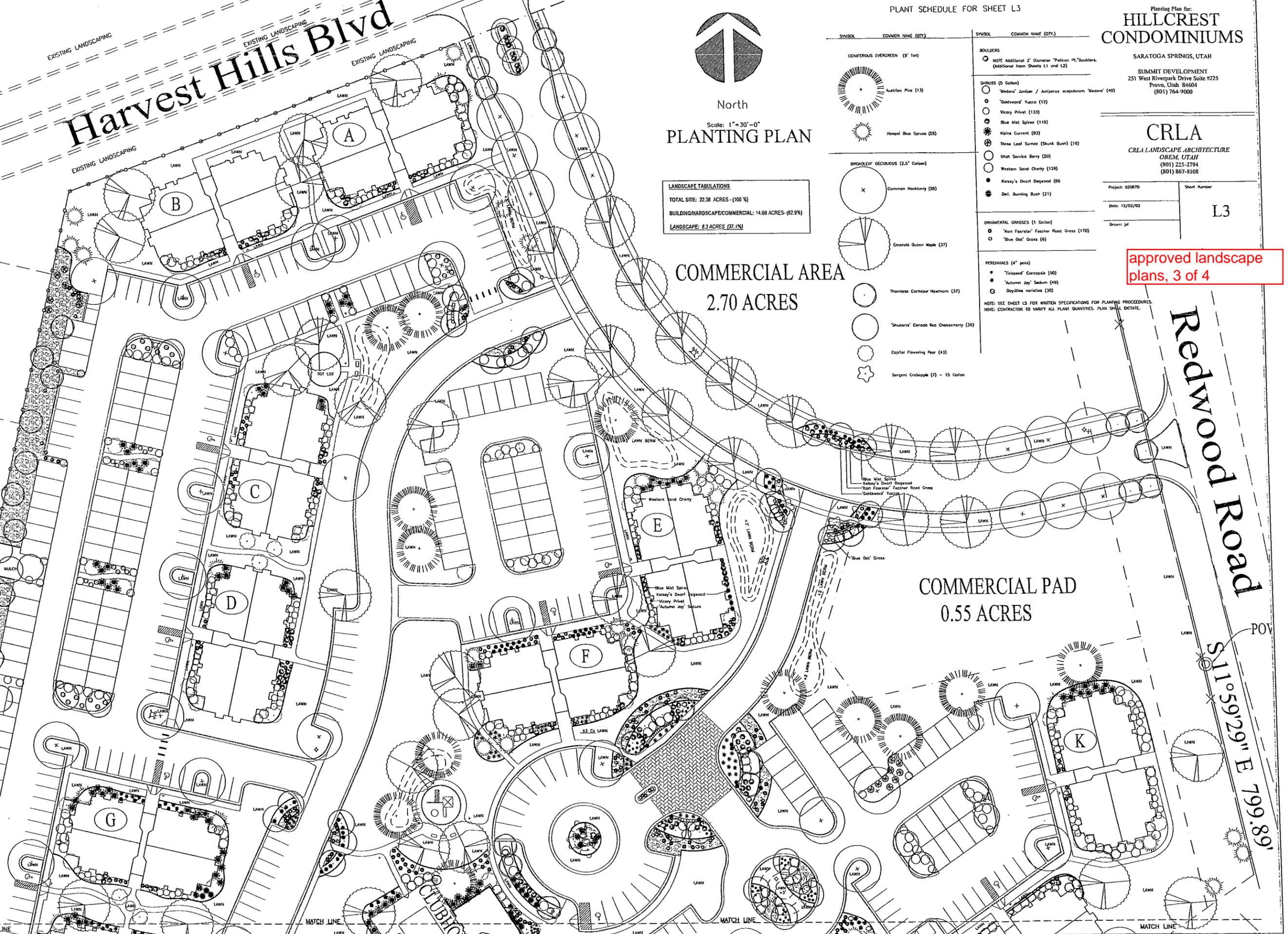
S11°59'29" E 799.89'

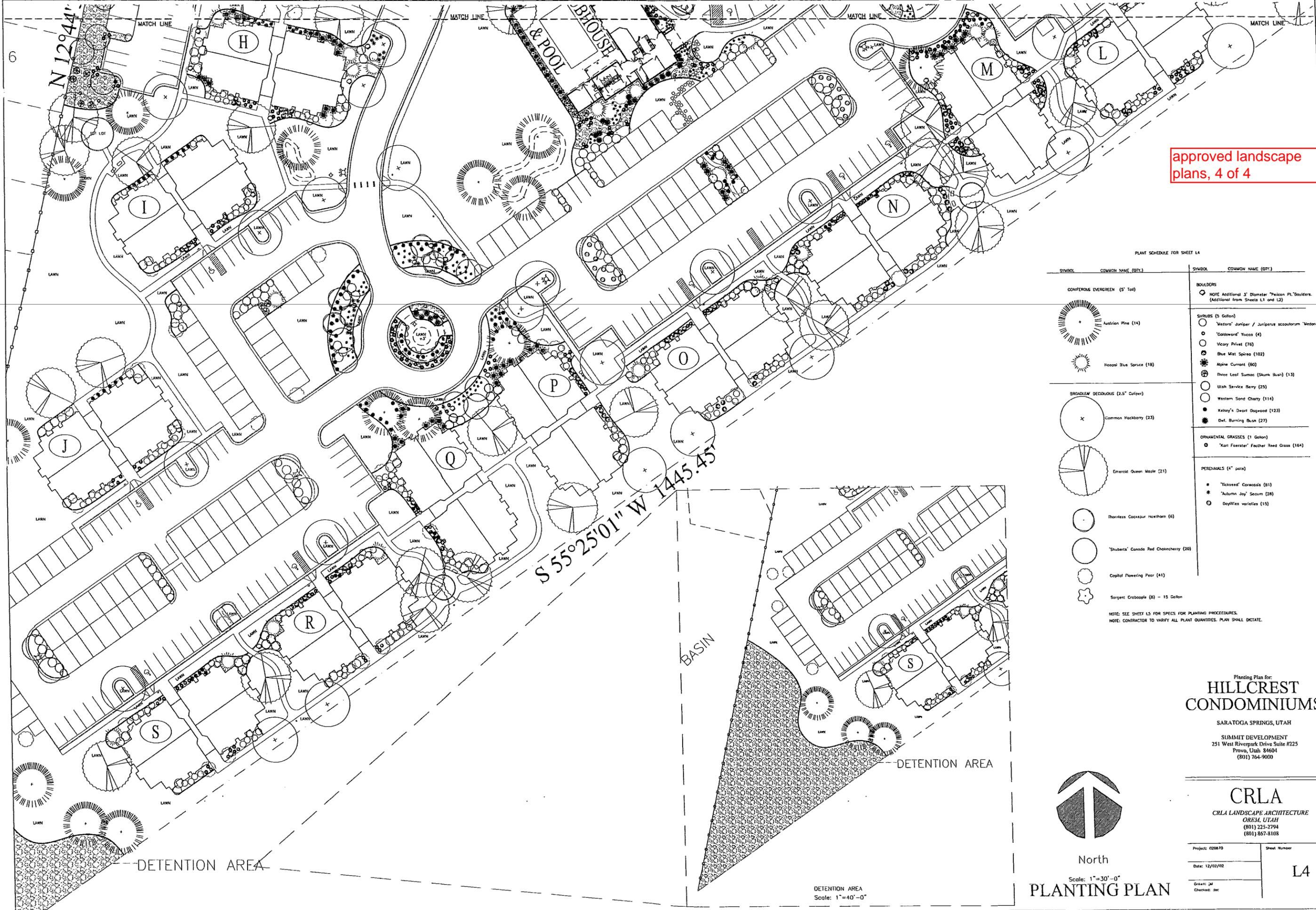
LOT 323

LOT 322

321

37° E 1368.14'





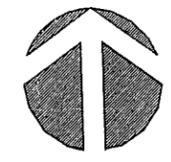
approved landscape plans, 4 of 4

PLANT SCHEDULE FOR SHEET L4

SYMBOL	COMMON NAME (QTY.)	SYMBOL	COMMON NAME (QTY.)
CONIFERUS EVERGREEN (5' Tall)			
	Austrian Pine (14)	BOULDERS	
	Hoops Blue Spruce (18)	NOTE: Additional 3" Diameter "Tricolor" PL "Boulders" (Additional from Sheets L1 and L2)	
BROADLEAF DECIDUOUS (2.5" Caliper)			
	Common Hackberry (23)	SHRUBS (5 Gallon)	
	Emerald Queen Maple (21)	<ul style="list-style-type: none"> ○ "Medora" Juniper / Juniperus scopulorum "Medora" ○ "Goldswort" Yucca (4) ○ Vicory Privet (76) ● Blue Mist Spirea (102) ● Alpine Currant (60) ● Three Leaf Sumac (Skunk Bush) (13) ○ Utah Service Berry (25) ○ Western Sand Cherry (114) ● Kelsey's Dwarf Dogwood (123) ● Def. Burning Bush (27) 	
	Thornless Cockspur Hawthorn (6)	ORNAMENTAL GRASSES (1 Gallon)	
	"Shuberts" Canada Red Chokecherry (20)	<ul style="list-style-type: none"> ○ "Karl Foerster" Feather Reed Grass (164) 	
	Capitol Flowering Pear (41)	PERENNIALS (4" pots)	
	Sargent Crabapple (8) - 15 Gallon	<ul style="list-style-type: none"> ● "Tickseed" Coreopsis (81) ● "Autumn Joy" Sedum (28) ○ Daylily varieties (15) 	

NOTE: SEE SHEET L3 FOR SPECS FOR PLANTING PROCEDURES.
NOTE: CONTRACTOR TO VARY ALL PLANT QUANTITIES. PLAN SHALL DICTATE.

Planting Plan for:
HILLCREST CONDOMINIUMS
SARATOGA SPRINGS, UTAH
SUMMIT DEVELOPMENT
251 West Riverpark Drive Suite #225
Provo, Utah 84604
(801) 764-9000



North

Scale: 1"=30'-0"
PLANTING PLAN

CRLA
CRLA LANDSCAPE ARCHITECTURE
OREM, UTAH
(801) 225-2794
(801) 867-8108

Project: 020870 Sheet Number:

Date: 12/07/02

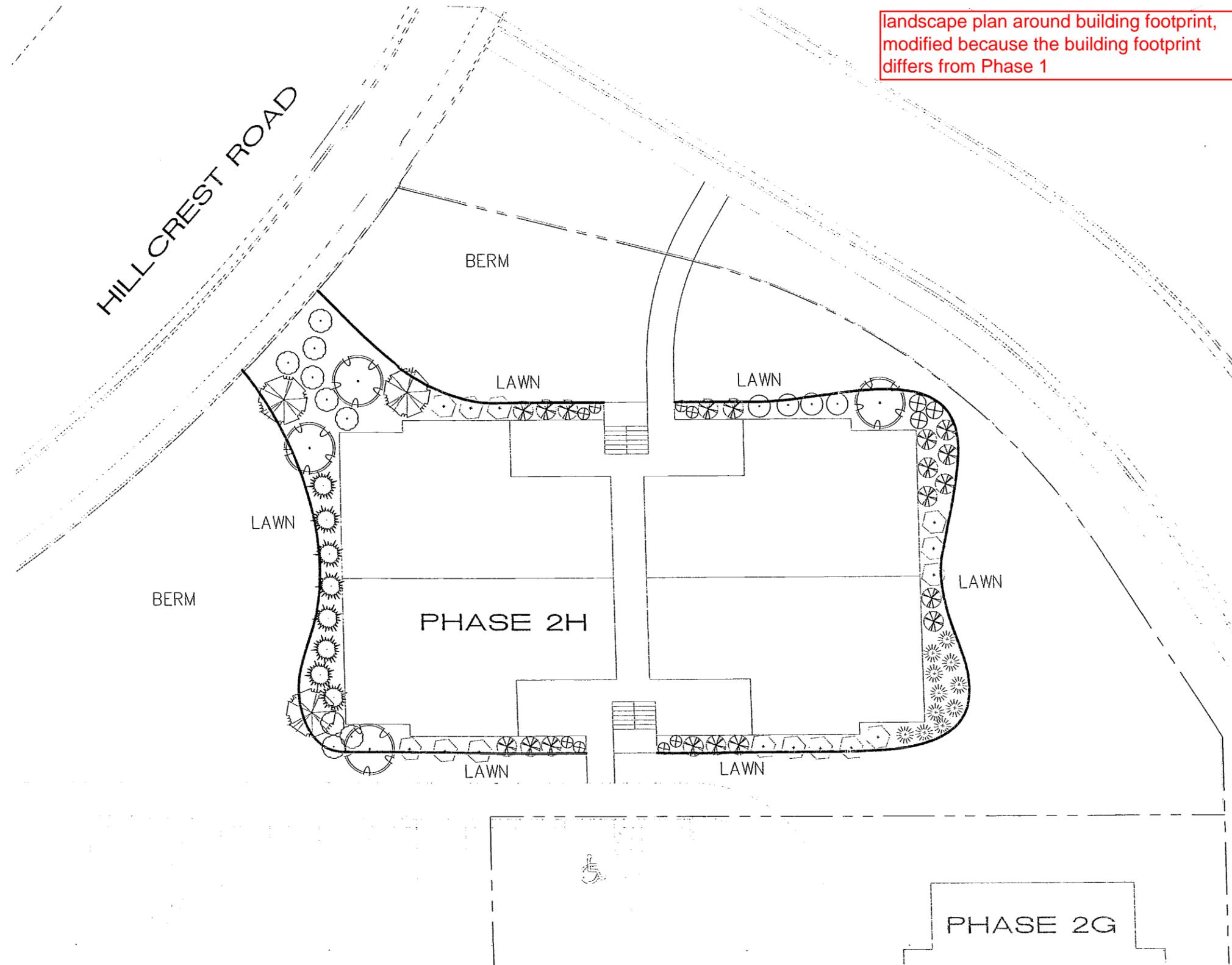
Drawn: jml
Checked: sec

L4

DETENTION AREA
Scale: 1"=40'-0"

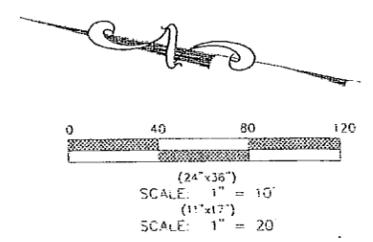
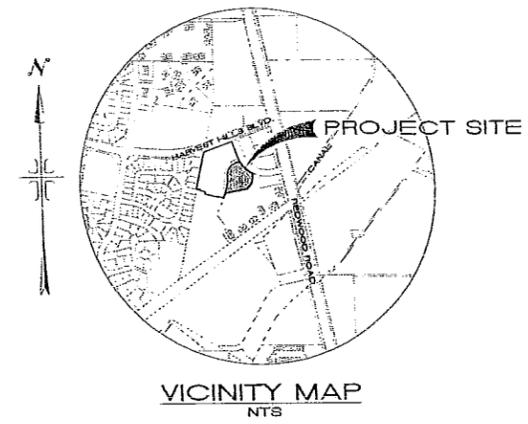
THIS DRAWING IS ONLY FOR THE MODIFICATION OF LANDSCAPING ADJACENT TO BUILDING '2H'. ALL OTHER LANDSCAPE INFORMATION IS PROVIDED ON ORIGINAL LANDSCAPE DRAWINGS.

landscape plan around building footprint, modified because the building footprint differs from Phase 1



PLANTING SCHEDULE AROUND BUILDING 2H

SYMBOL	SPECIES	NUMBER
TREES		
	Capital Flowering Pear	4
	Hoopsi Blue Spruce	3
SHRUBS (5 Gal.)		
	Blue Mist Spriraea	19
	Alpine Currant	8
	Vicary Privet	14
	Western Sand Cherry	9
	Kelsey's Dwarf Dogwood	4
Perennials (4" Pot)		
	'Autumn Joy' Sedum	11
	'Karl Foster' Feather Reed Grass (1 Gal.)	8



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

DESIGNED BY:	WMS
DRAWN BY:	WMS
CHECK BY:	TGT
DATE:	12/27/10
CGCC FILE:	

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SARATOGA SPRINGS,
UTAH

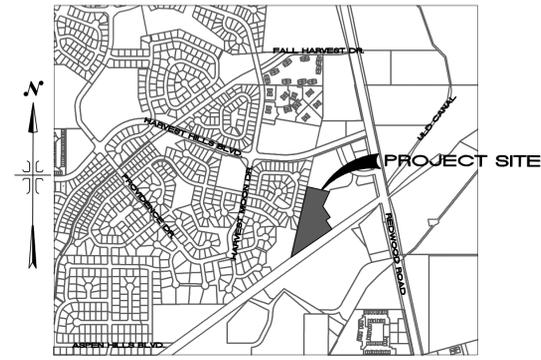
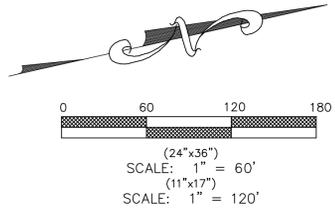
HILLCREST CONDOMINIUMS
A RESIDENTIAL SUBDIVISION

BUILDING 2H
LANDSCAPE PLAN

JOB
G.FFORD
SHEET NO.
1 OF 1

PRELIMINARY PLAT HILLCREST CONDOMINIUMS PHASE 3M-S

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

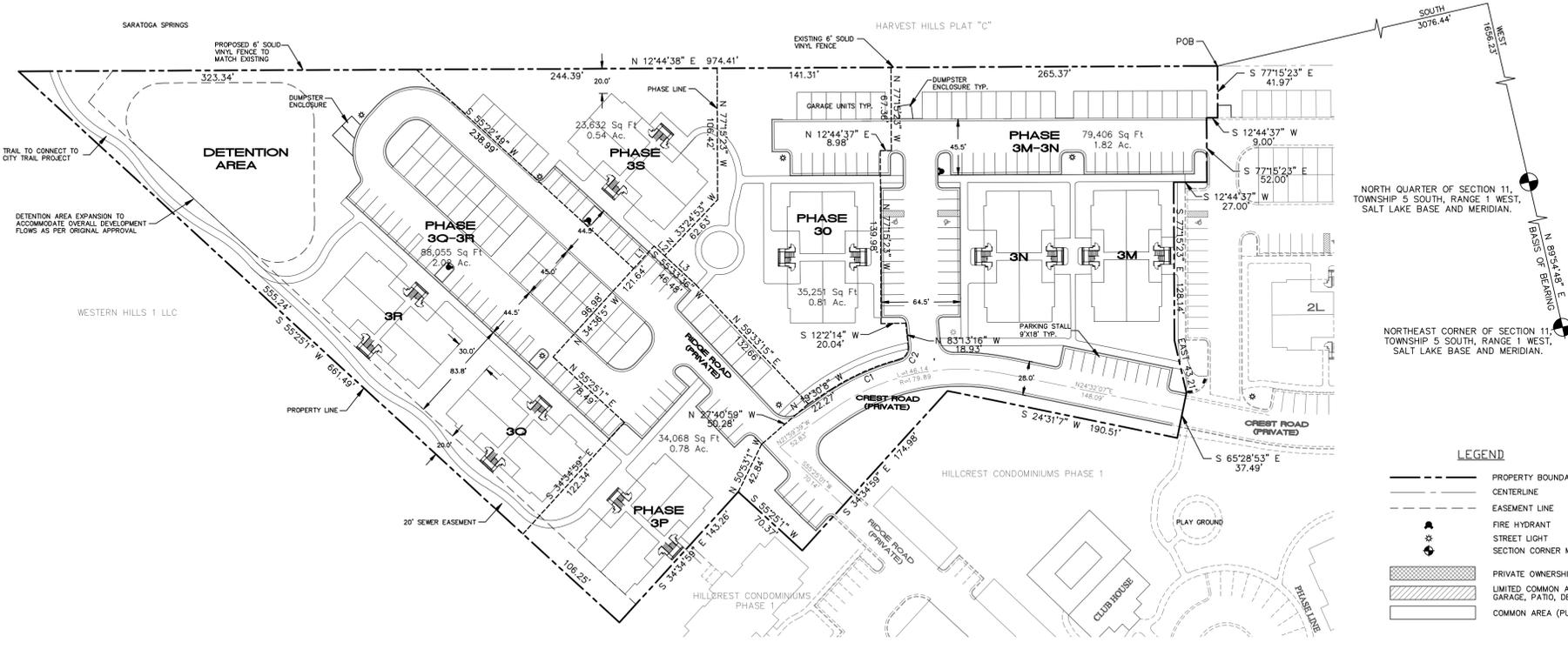


I, Travis Trane, do hereby certify that I am a Registered Land Surveyor, and that I hold Certificate No. 5152741, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that at the authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat and that this plat is true and correct.

A parcel of land situated in the Southwest Quarter of Section 11, Township 5 South, Range 1 West, Salt Lake Base and Meridian, said parcel being more particularly described as follows:

Commencing at a point which is West 1656.23 feet and South 3076.44 feet from the North Quarter Corner of Section 11, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence along Plot 2L of Hillcrest Condominiums the following six courses South 77°15'23" East 41.97 feet; thence South 12°44'37" West 9.00 feet; thence South 77°15'23" East 52.00 feet; thence South 12°44'37" West 27.00 feet; thence South 77°15'23" East 128.14 feet; thence East 43.21 feet; thence South 65°28'53" East 37.49 feet along Plot 2G of Hillcrest Condominiums; thence along Hillcrest Condominiums Phase 1 the following four courses South 24°31'07" West 190.51 feet; thence South 34°34'59" East 174.98 feet; thence South 55°25'01" West 70.37 feet; thence South 34°34'59" East 143.26 feet; thence South 55°25'01" West 661.49 feet; thence North 12°44'38" East 974.41 feet along Harvest Hills Plat "C" to the point of beginning.

Parcel contains: 5.98 acres more or less
Subdivision contains: 84 units
Basis of Bearing: North 89°54'48" East from the North Quarter Corner of Section 11 to the Northeast Corner of Section 11, Township 5 South, Range 1 West, Salt Lake Base and Meridian



OWNERS DEDICATION

Know all men by these presents that _____, the _____ undersigned owner(s) of the above tract of land having caused the same to be subdivided into lots and streets to be hereafter known as

HILLCREST CONDOMINIUMS PHASE 2M-S

do hereby dedicate for the perpetual use of the public and/or City all parcels of land, easements, right-of-way, and public amenities shown on this plat as intended for public and/or City use. The owner(s) voluntarily defend, indemnify, and hold harmless the City against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street. The owner(s) voluntarily defend, indemnify, and hold harmless the City's from any damage claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or sub- or surface water flows within this subdivision or by establishment or construction of the roads within this subdivision.

In witness whereof _____ have hereunto set _____ this _____ day of _____, A.D. 20 _____

N. Paul Gifford, Manager of Solitude Construction LLC

ACKNOWLEDGEMENT (LLC)

STATE OF UTAH)
) S.S.
County of Salt Lake)
On the _____ day of _____ A.D. 20 _____, personally appeared before me N. Paul Gifford, who being by me duly sworn did say for himself, that he is the Manager of Solitude Construction LLC, and that the within and foregoing instrument was signed in behalf of said LLC by authority of a resolution of its Members and N. Paul Gifford duly acknowledge to me that said LLC executed the same.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING AT _____

APPROVAL BY LEGISLATIVE BODY

The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated herein, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public. This _____ day of _____, A.D. 20 _____

CITY MAYOR _____ Attest: City Recorder (See Seal Below)

HILLCREST CONDOMINIUMS PHASE 3M-S
AN EXPANDABLE UTAH CONDOMINIUM PROJECT INCLUDING A VACATION OF A PORTION OF LOT 1, HILLCREST OVERALL SUBDIVISION PLAT "A" LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SHEET 1 OF 2

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD, (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES, (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii).

QUESTAR GAS COMPANY APPROVED THIS _____ DAY OF _____, A.D., 20 _____	ROCKY MOUNTAIN POWER APPROVED THIS _____ DAY OF _____, A.D., 20 _____
COMCAST CABLE TELEVISION APPROVED THIS _____ DAY OF _____, A.D., 20 _____	QWEST APPROVED THIS _____ DAY OF _____, A.D., 20 _____

LINE	LENGTH	BEARING
L1	24.66	N 34°36'5" W
L2	11.56	S 55°33'17" W
L3	34.92	S 55°33'17" W

CURVE	LENGTH	TANGENT	RADIUS	DELTA	CHORD	CHORD BEARING
C1	60.41	30.45	194.30	17°48'49"	60.17	S 10°35'44" E
C2	13.80	8.36	9.70	81°31'57"	12.67	N 42°27'18" W

- NOTES:
- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL BY CITY COUNCIL. FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20 _____.
 - THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY RULES, ORDINANCES, REQUIREMENTS, STANDARDS AND POLICIES REGARDING THE DEVELOPMENT OF THIS PROPERTY.
 - PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
 - PLAT MAY BE SUBJECT TO A MASTER DEVELOPMENT AGREEMENT, SUBDIVISION AGREEMENT, OR SITE PLAN AGREEMENT. SEE CITY RECORDER FOR MORE INFORMATION.
 - BUILDING PERMITS WILL NOT BE ISSUED UNTIL: ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING; ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS; AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
 - ALL BONDS AND BOND AGREEMENTS ARE BETWEEN THE CITY, DEVELOPER/OWNER AND FINANCIAL INSTITUTION. NO OTHER PARTY, INCLUDING UNIT OR LOT OWNERS, SHALL BE DEEMED A THIRD-PARTY BENEFICIARY OR HAVE ANY RIGHTS INCLUDING THE RIGHT TO BRING ANY ACTION UNDER ANY BOND OR BOND AGREEMENT.
 - THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
 - ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
 - ANY REFERENCE HEREIN TO OWNERS, DEVELOPERS, OR CONTRACTORS SHALL APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
 - NO CITY MAINTENANCE IS PROVIDED ON PRIVATE STREETS.
 - LOTS/UNITS ARE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S.
 - ALL COMMON AREAS ARE DESIGNATED AS UTILITY EASEMENTS TO THE CITY OF SARATOGA SPRINGS, PUBLIC UTILITIES, AND ARE DEDICATED TO THE HILLCREST HOME OWNERS ASSOCIATION.
 - SETBACKS FOR THIS ZONE ARE 25' FRONT, 20' REAR AND 10' SIDE.

LEGEND

	PROPERTY BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	FIRE HYDRANT
	STREET LIGHT
	SECTION CORNER MONUMENT
	PRIVATE OWNERSHIP
	LIMITED COMMON AREA
	GARAGE, PATIO, DECK AND HALLWAYS
	COMMON AREA (PUBLIC UTILITY EASEMENTS)

FLAGSHIP HOMES
170 SOUTH INTERSTATE PLAZA DR. SUITE 200
LEHI, UT 84043 (801) 766-4442

AREA TABULATIONS
TOTAL BOUNDARY AREA: 47,884 SQ. FT. (1.10 ACRES)
LOT 2L LANDSCAPED AREA: 15,254 SQ. FT. (32%)

FIRE CHIEF APPROVAL
APPROVED BY THE FIRE CHIEF ON THIS DAY OF _____, A.D., 20 _____
CITY FIRE CHIEF _____

PLANNING COMMISSION APPROVAL
APPROVED BY THE PLANNING COMMISSION ON THIS DAY OF _____, A.D., 20 _____
CHAIRMAN, PLANNING COMMISSION _____

SARATOGA SPRINGS ENGINEER APPROVAL
APPROVED BY THE CITY ENGINEER ON THIS DAY OF _____, A.D., 20 _____
CITY ENGINEER _____

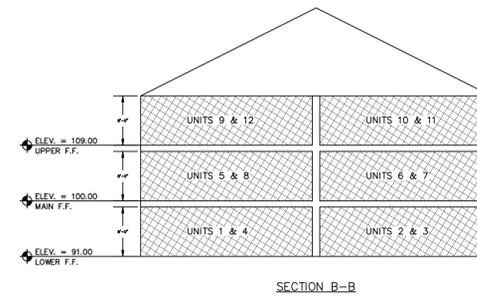
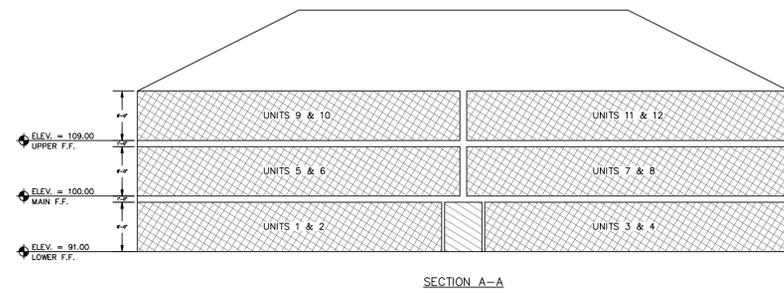
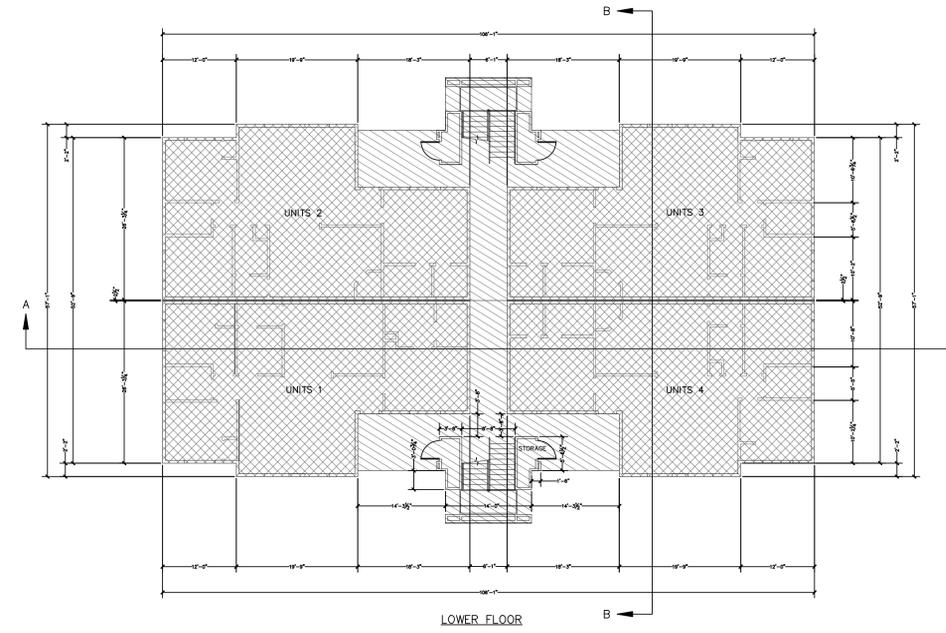
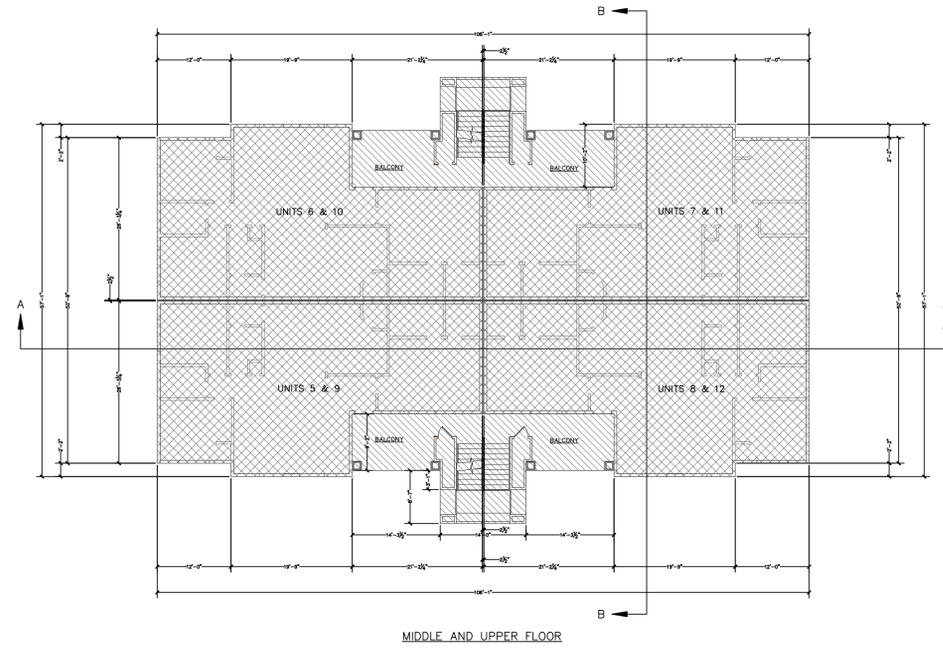
SARATOGA SPRINGS ATTORNEY
APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS DAY OF _____, A.D., 20 _____
SARATOGA SPRINGS ATTORNEY _____

LEHI CITY POST OFFICE
APPROVED BY POST OFFICE REPRESENTATIVE ON THIS DAY OF _____, A.D., 20 _____
LEHI CITY POST OFFICE REPRESENTATIVE _____

SURVEYORS SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CITY RECORDER SEAL
----------------	--------------------	--------------------	--------------------

PRELIMINARY PLAT HILLCREST CONDOMINIUMS PHASE 3M-S

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP
5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

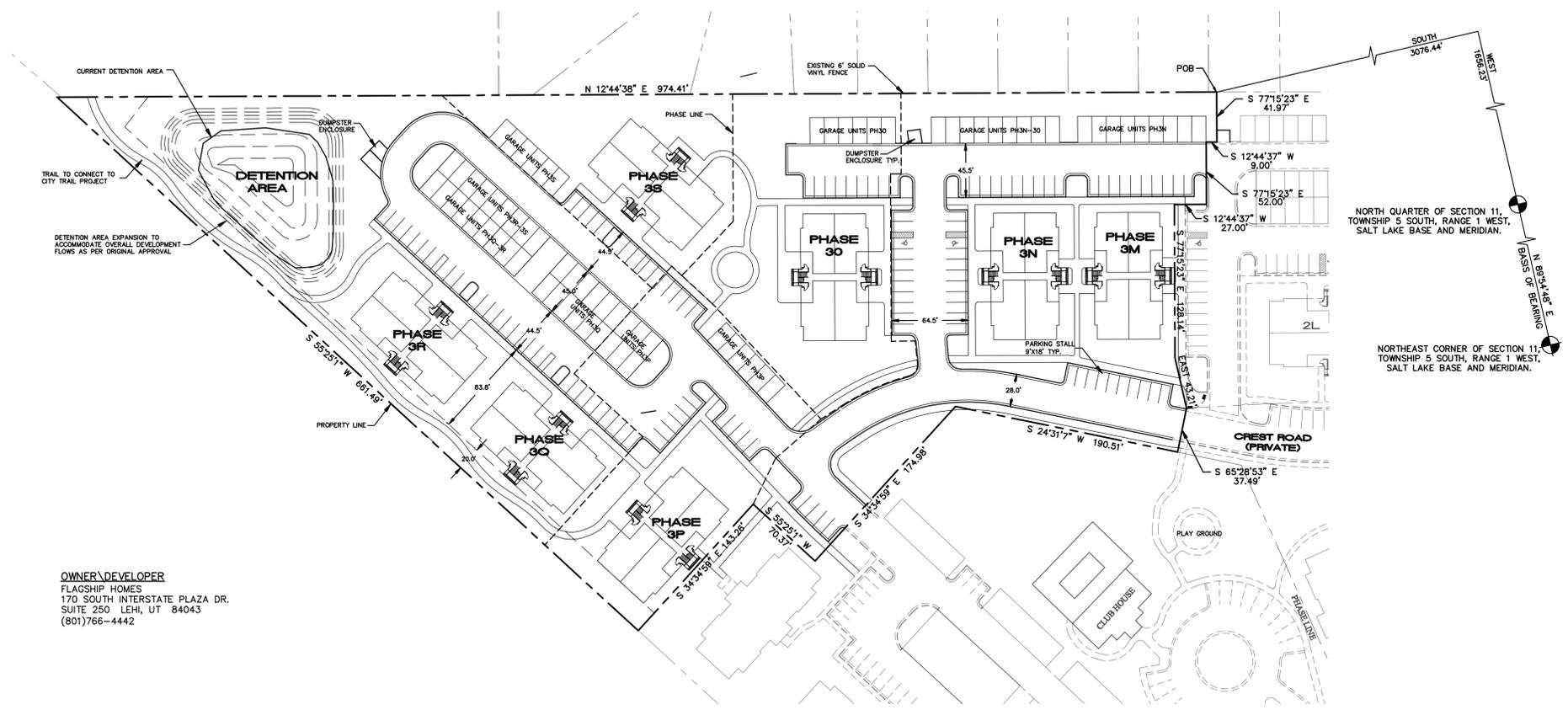
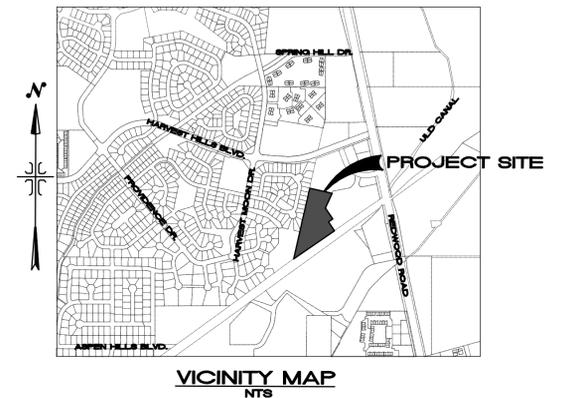
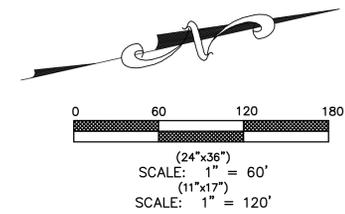


 LIMITED COMMON AREA
 PRIVATE AREA

HILLCREST CONDOMINIUMS PHASE 3M-S
 AN EXPANDABLE UTAH CONDOMINIUM PROJECT INCLUDING A VACATION OF
 A PORTION OF LDT 1, HILLCREST OVERALL SUBDIVISION PLAT "A"
 LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 11,
 TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
 SARATOGA SPRINGS CITY, UTAH COUNTY, UTAH

SHEET 2 OF 2

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CITY RECORDER SEAL



OWNER/DEVELOPER
FLAGSHIP HOMES
170 SOUTH INTERSTATE PLAZA DR.
SUITE 250 LEHI, UT 84043
(801)766-4442

LAND USE TABULATIONS

PHASES 3M-3S PROPERTY AREA: 5.98 ACRES
LANDSCAPE AREA: 2.14 ACRES
LANDSCAPE PERCENTAGE: 36%
NUMBER OF TOWNHOMES: 84
DENSITY: 14 UNITS/ACRE

(ORIGINAL APPROVAL FOR 84 CONDOMINIUMS)
SEE PHASING PLAN FOR BREAKDOWN

PARKING TABULATIONS

REQUIRED	189 STALLS (2.25/UNIT)
PROVIDED- ENCLOSED (GARAGE)	84
PARKING STALLS	127
TOTAL PARKING	211 STALLS (2.5/UNIT)

- NOTE:
1. THE INSTALLATION OF ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF SARATOGA SPRINGS ORDINANCES, REQUIREMENTS, CONSTRUCTION STANDARDS, POLICIES AND ANY OTHER RULES PERTAINING TO THE DEVELOPMENT OF THIS PROPERTY.
 2. PRIOR TO ANY BUILDING PERMITS BEING ISSUED, SOIL TESTING OR LOT SOIL STUDIES MAY BE REQUIRED ON EACH LOT AND/OR EACH BUILDING AS DETERMINED BY THE CITY OF SARATOGA SPRINGS, BUILDING OFFICIAL.
 3. NO CITY MAINTENANCE IS PROVIDED FOR PRIVATE STREETS.
 4. THE OWNER OF THIS SUBDIVISION AND ANY SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT IMPACT AND CONNECTION FEES ARE PAID AND WATER RIGHTS SECURED FOR EACH INDIVIDUAL LOT. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL IMPACT AND CONNECTION FEES, AT THE RATES IN EFFECT WHEN APPLYING FOR BUILDING PERMIT, ARE PAID IN FULL AND WATER RIGHTS SECURED AS SPECIFIED BY CURRENT CITY ORDINANCES AND FEE SCHEDULES.
 5. ALL COMMON AREAS ARE DESIGNATED AS UTILITY EASEMENTS TO THE CITY OF SARATOGA SPRINGS AND PUBLIC UTILITY EASEMENTS.
 6. ALL TRAILS ARE CONCRETE.
 7. POND EXPANSION IS PART OF PHASE 3M-3N, AND PLAYGROUND CONSTRUCTION PART OF PHASE 3O.
 8. CROSSWALKS TO BE CONSTRUCTED TO MEET ADA ACCESS REQUIREMENTS.

REVISIONS				
NO.	DATE	DESCRIPTION	BY	TGT
1			DESIGNED BY:	TGT
			DRAWN BY:	TT
2			CHECK BY:	TGT
3			DATE:	2/25/14
4			CDGD FILE:	

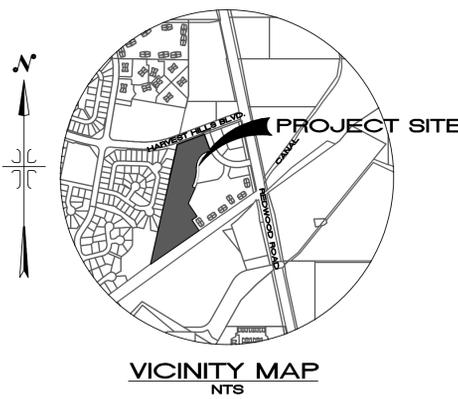
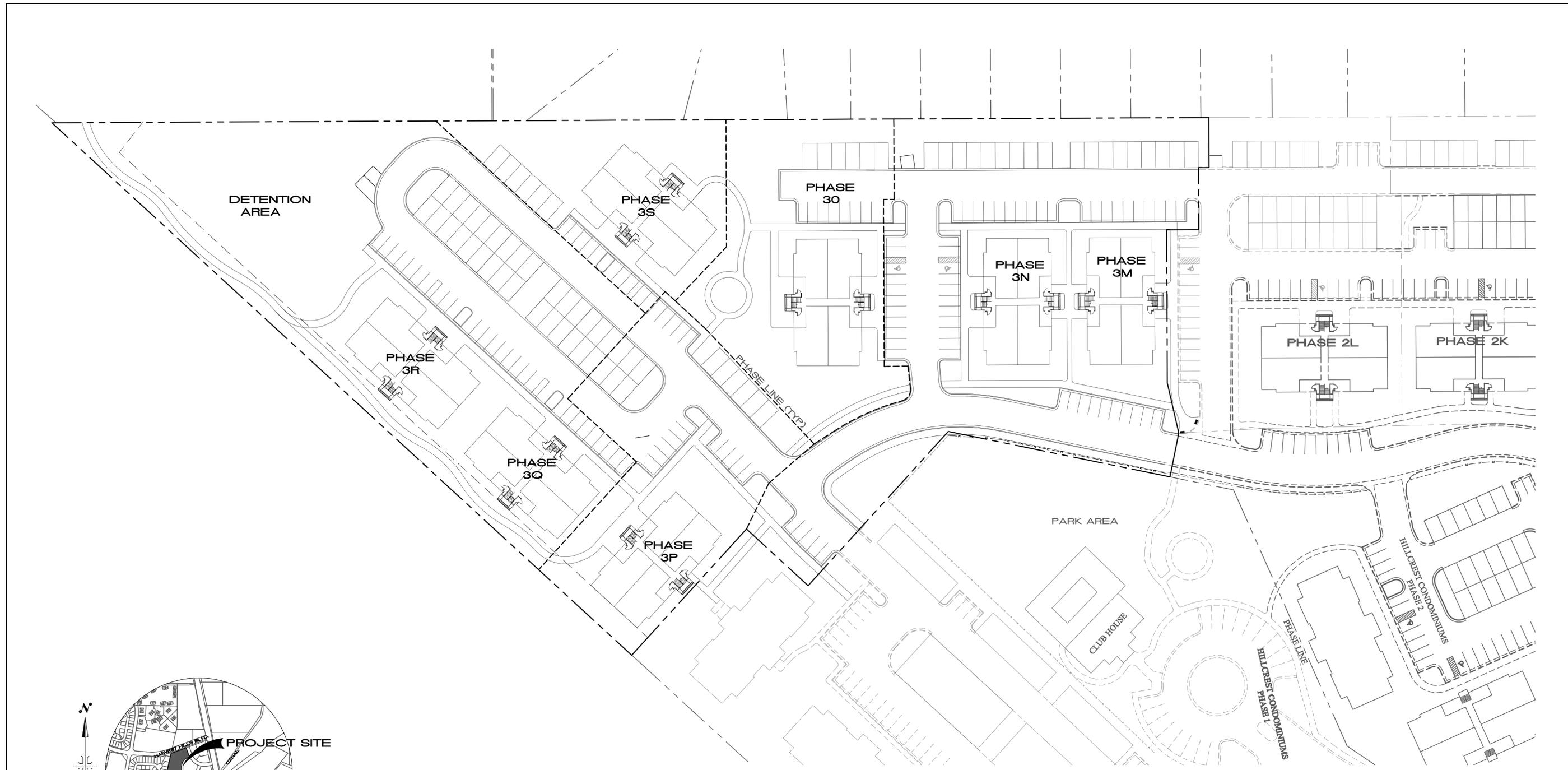
TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SARATOGA SPRINGS,
UTAH

HILLCREST PHASES 3M-3S
CONDOMINIUMS

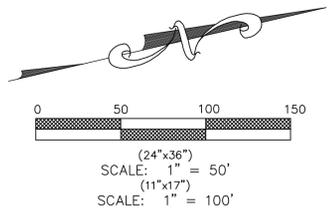
PRELIMINARY PLAT
SITE PLAN

JOB
FLAGSHIP
SHEET NO.
1 OF 3



PHASES 3M-3S AREA TABULATIONS

PHASE	BUILDING/GARAGE	LANDSCAPE	PARKING/ASPHALT	TOTAL AREA
3M-3N	0.42 ACRES	0.85 ACRES	0.75 ACRES	1.82 ACRES
3O	0.21 ACRES	0.30 ACRES	0.31 ACRES	0.82 ACRES
3P	0.21 ACRES	0.28 ACRES	0.29 ACRES	0.78 ACRES
3Q-3R	0.42 ACRES	0.72 ACRES	0.88 ACRES	2.02 ACRES
3S	0.21 ACRES	0.19 ACRES	0.14 ACRES	0.54 ACRES
TOTAL	1.47 ACRES	2.14 ACRES (36%)	2.37 ACRES	5.98 ACRES



REVISIONS				
NO.	DATE	DESCRIPTION	BY	DESIGNED BY:
1				TGT
2				TT
3				TGT
4				02/27/14

TRANE ENGINEERING, P.C.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SARATOGA SPRINGS,
 UTAH

HILLCREST CONDOMINIUMS
 A RESIDENTIAL SUBDIVISION

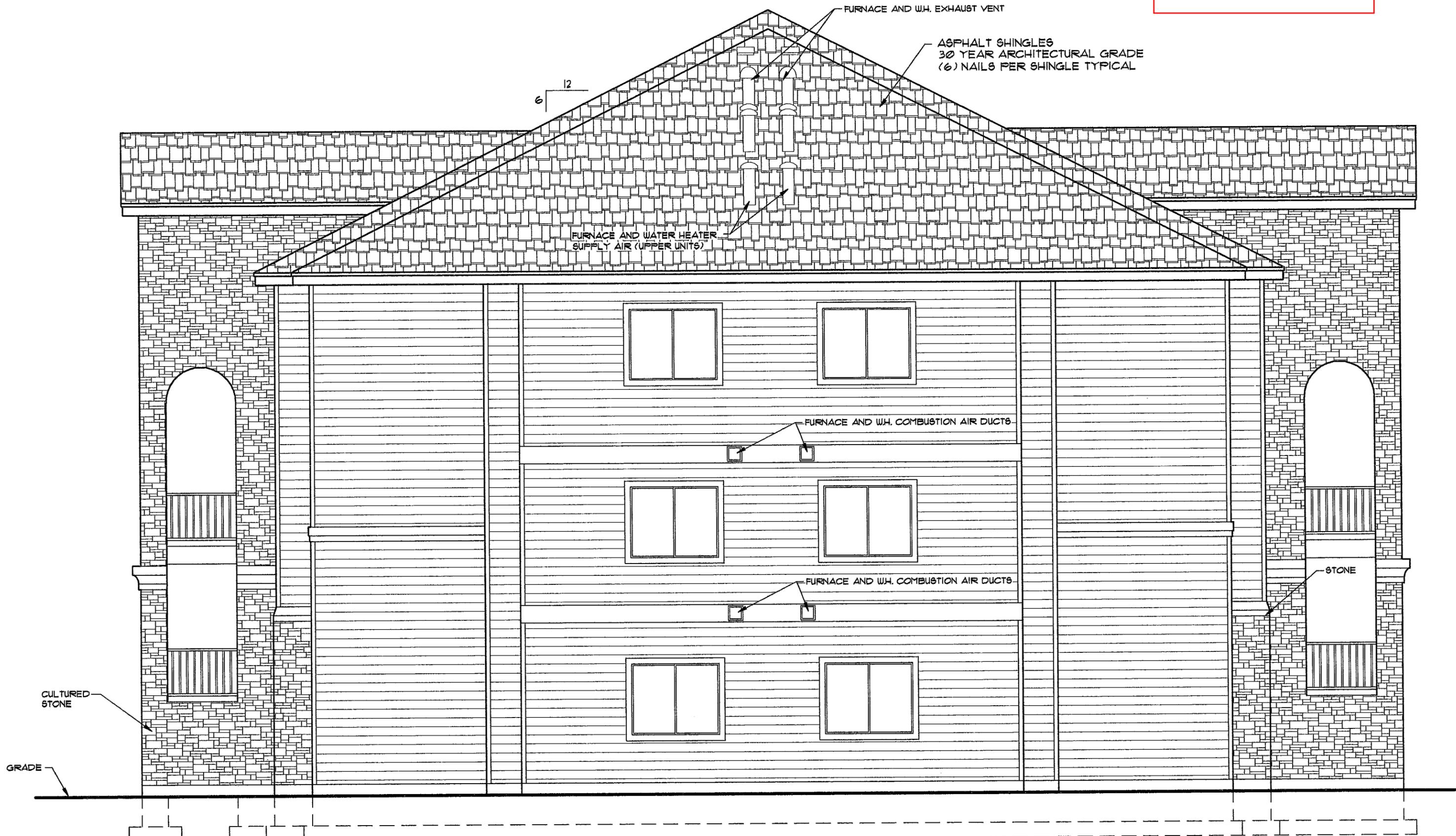
PRELIMINARY
 PHASING PLAN

JOB
 GIFFORD
 SHEET NO.
 1 OF 1

Phase 2, approved elevations



FRONT AND REAR ELEVATIONS
SCALE: 1/4" = 1'-0"



SIDE ELEVATIONS

SCALE: 1/4" = 1'-0"



**Concept Plan and Rezone
Harvest Heights
July 15, 2014
Public Hearing and Concept Review**

Report Date:	July 2, 2014
Applicant:	Fieldstone Utah Investors
Owner:	Blaine Walker, et al
Location:	Redwood Road and Fall Harvest Drive
Major Street Access:	Redwood Road
Parcel Number(s) & Size:	58:023:0112, 27.658 acres
Parcel Zoning:	Agriculture (A)
Adjacent Zoning:	A, R-3, R-18, RC
Current Use of Parcel:	Vacant
Adjacent Uses:	Residential, Commercial
Proposed Zoning:	R-4, R-6, and RC
Previous Meetings:	Planning Commission Hearing & Concept Review, June 26, 2014
Previous Approvals:	None
Land Use Authority:	City Council
Future Routing:	Planning Commission and City Council
Author:	Kimber Gabryszak, Planning Director

A. Executive Summary:

The applicant, Fieldstone Utah Investors on behalf of the property owner, is requesting a rezone to the R-4 and R-6 Residential zones and to the RC zone, and input on a concept plan for a 77-unit subdivision.

The rezone will require a General Plan amendment for the proposed R-6 and RC zones, from Neighborhood Commercial to Medium Density Residential and Regional Commercial.

The Planning Commission held a public hearing on June 26, 2014, and forwarded a positive recommendation for a modified rezone and general plan amendment instead: rezoning only to R-4 and Neighborhood Commercial and not the requested R-4, R-6, and Regional Commercial. The Commission did not specify to which portion of the property these zones would apply.

Staff Recommendation:

Staff recommends that the City Council conduct a public hearing to take comment on the rezone application, give the applicant feedback on the concept plan, and consider making a decision on the rezone requests.

Options for the rezone include approval as requested with conditions, approval with modifications as recommended by the Planning Commission, continuance of the item, or denial, and are outlined in Section G of this report.

B. SPECIFIC REQUEST:

The applicant is requesting a rezone of the parcel from A to R-4 and R-6 to allow consideration of a 77-lot subdivision consisting of small and medium single family dwellings. A portion of the property would also be rezoned to RC to accommodate potential commercial uses.

The ~27 acre parcel would be rezoned as follows:

- 2.54 acres of RC in the southeast corner of the parcel adjacent to Redwood and Fall Harvest, containing two developable lots and building square footage of 14,072 sq.ft.
- 13.63 acres of R-4 in the western half of the parcel adjacent to Harvest Hills, with 37 lots
- 10.83 acres of R-6 in the eastern half of the parcel adjacent to Redwood, with 38 lots

C. PROCESS

Rezone

Section 19.17.03 of the City Code outlines the requirements for a rezone, requiring all rezoning application to be reviewed by the City Council after receiving a formal recommendation from the Planning Commission. An application for a rezone request shall follow the approved City format. Rezones are subject to the provisions of Chapter 19.13, Development Review Processes.

The development review process for rezone approval includes a review of the request by the Planning Commission in a public hearing, with a formal recommendation forwarded to the City Council. The Commission made a formal recommendation on June 26, 2014 to the City Council.

Concept Plan

Section 19.17.02 of the Code also states "*Petitions for changes to the City's Zoning Map to all land use zones shall be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.*"

The applicants have submitted a Concept Plan application for a 75-lot residential and 2-lot commercial subdivision. The process for a Concept Plan currently includes informal review of the plan by both the Planning Commission and the City Council. No public hearing is required, and a recommendation is not made.

D. COMMUNITY REVIEW:

The rezone portion of this application has been noticed as a public hearing in the *Daily Herald*, posted on the State and City websites, and mailed notice sent to all property owners within 300 feet at least 10 days prior to this meeting. As of the date of this report, no public input has been received.

The Concept Plan does not require a public hearing.

E. GENERAL PLAN:

The site is designated partially as Low Density Residential on the adopted Future Land Use Map, and partially as Neighborhood Commercial.

The General Plan states that areas designated as Low Density Residential are

"designed to provide areas for residential subdivisions with an overall density of 1 to 4 units per acre. This area is to be characterized by neighborhoods with streets designed to the City's urban standards, single-family detached dwellings and open spaces."

The Concept Plan associated with the proposed rezone shows that the portion of the property to be zoned R-4 can be developed in a way that is consistent with this use in the General Plan.

- **R-4 rezone request: consistent as proposed originally.**

The remainder of the property is designated as Neighborhood Commercial on the Future Land Use Map, which does not contemplate the proposed R-6 and RC zones. To accommodate the proposed rezones, the Future Land Use Map must be amended as well. The portion of the property proposed for R-6 would need to be amended to Medium Density Residential, and the portion of the property proposed for RC would need to be amended to Regional Commercial.

Due to the amount of RC property in the city, and the lack of neighborhood commercial, Staff would recommend that the commercial portion of the property be rezoned to Neighborhood Commercial, not Regional Commercial. In this case, the commercial rezone request would be consistent with the future land use map.

- **R-6 and RC rezone requests: inconsistent.**
- **If NC instead of RC and R-6, commercial portion would be consistent.**

If the Council supports the proposed rezones, final approvals can be postponed and conditioned upon submittal and approval of the General Plan amendment(s).

The Planning Commission's recommendation was for a rezone to R-4 and NC, and based on final layout may or may not require a General Plan amendment.

F. CODE CRITERIA:

1. Rezone

Rezoning is a legislative action; therefore the Council has significant discretion in making decisions to rezone property. The criteria in Section 19.17.04, outlined below, are not binding and may act as guidance in making a rezone decision:

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. the proposed change will conform to the Land Use Element and other provisions of the General Plan;
Not consistent as proposed; can be consistent if Land Use Element amended. *The application is consistent with the Low Density Residential category identified in the General Plan, but not to the Neighborhood Commercial category. The areas proposed for R-6 and RC would require a Land Use Element amendment.*

2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;
Consistent. *The proposal places lower density zoning adjacent to existing low-density residential, and places higher density adjacent to Redwood Road.*
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and
Consistent. *With appropriate conditions to ensure access, infrastructure, layout and appearance, traffic mitigation, trail connectivity, and other code compliance, the proposed development will be consistent with the goals of orderly growth and well-being.*
4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.
Consistent. *With appropriate conditions to ensure that impacts are minimized, the allowance of additional residential development easily accessible from Redwood Road will be beneficial to the community.*

2. Concept Plan

Staff has reviewed the proposed concept plan according to the proposed zone districts. If the rezones are not approved, this review will need to be revised.

Allowed / Conditional Uses – complies. Single-family lots are an allowed use in the R-4 and R-6 zones.

Density – complies. The R-4 zone has a maximum density of 4 units per acre and the R-4 portion proposes 2.71 units per acre. The R-6 zone has a maximum density of 6 units per acre, and the R-6 portion proposes 3.51 units per acre.

Lot Size – complies. The R-4 zone has a minimum lot size of 9,000 sq.ft., and the project proposes lots ranging in size from 9,011 sq.ft. to 12,929 sq.ft. The R-6 zone has a minimum lot size of 6,000 sq.ft., and the project proposes lots ranging in size from 6,000 sq.ft. to 8,418 sq.ft.

Lot width / frontage: complies. The R-4 has a minimum lot width of 70 feet; initial review indicates general compliance, with potential for several cul-de-sac lots to need minor modification. The R-6 zone has a minimum lot width of 50 feet; initial review indicates general compliance. Further detail and verification will be done at time of preliminary plat.

Open Space – can comply. The development appears to comply with minimum requirements of 15% in the R-4 zone and 20% in the R-6 zone by averaging the open space. The proposal exceeds open space in the R-6 but is short in the R-4; however, the combined overall open space provided does meet the minimum acreage. For landscaping in the RC zone, the lot sizes appear sufficient to permit the minimum requirement, which will be verified and required at time of Site Plan.

Further detail will also be needed for slopes over 30% and other sensitive lands, to be verified through preliminary plat review.

Setbacks – as currently proposed, it appears that the minimum requirements for the zones can be met by the proposal. Further detail and verification will be required at time of preliminary plat and site plan.

Drainage – the City Engineer requires that drainage and stormwater information be provided.

Slopes – there is potential for slopes over 30% to be disturbed. Further information will be required to ensure that Code compliance is met.

Landscaping – not provided. Review and detail to be provided and addressed with preliminary plat(s) and site plan(s).

Lighting – not provided. Lighting plans will be reviewed with preliminary plat and site plan.

Parking – can comply. Parking for the single-family homes will be provided on individual lots. Parking for the commercial area will be reviewed more in-depth at time of site plan application and when more detail on tenants is provided.

Access – complies. Second access is required for developments exceeding 50 units. The concept plan shows two points of access a minimum of 500 feet apart onto Fall Harvest, and a stub to connect with future development to the north.

G. Recommendation and Alternatives:

Staff recommends that the City Council give the applicant informal feedback and direction on the Concept Plan.

Staff also recommends that the City Council conduct a public hearing on the rezone, take public comment, discuss the rezone, and then choose from the options outlined below:

Option 1 – continuance or table with feedback

"I move to **continue** the rezone to another meeting / **table** the rezone, with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. The concept plan shall be revised to reflect the R-4 and NC zones only on the portions of property articulated by the Council.
 - a. *R-4 for the entire area requested for R-4 and R-6, and NC for the area requested for RC, or*
 - b. *R-4 for only the area identified in the Land Use Element as Low Density Residential and NC for the entire area identified in the Land Use Element as Neighborhood Commercial*
2. Related General Plan amendments shall be applied for.
3. The concept plan shall be modified as directed by the Council.
4. Any other feedback outlined by the Council: _____
5. _____
6. _____

Option 2 – approval with modifications as recommended by the Planning Commission

“I move to **approve** the rezone of the ~27.658 acre parcel 58:023:0112 from Agriculture to R-4 and Neighborhood Commercial for the area identified as RC, as located in Exhibit 1 and outlined in Exhibit 2, with the Findings and Conditions below:”

Findings

1. The rezone complies with Section 19.17.04 of the Code as articulated in Section F of the staff report and which section is incorporated herein by reference. Specifically:
 - a. With conditions to postpone the rezone until the Land Use Element is amended from NC to Low Density Residential, if necessary, the proposal will be consistent with the Future Land Use Map. If the portion of the property requesting R-6 be rezoned to NC, the proposal will also be consistent.
 - b. With conditions to modify the rezone request from RC to NC for the commercial portion, the commercial rezone will be consistent with the Future Land Use Map.
 - c. The proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public.
 - d. With appropriate conditions to ensure access, infrastructure, layout and appearance, traffic mitigation, trail connectivity, and other code compliance, the proposed development will be consistent with the goals of orderly growth and well-being.
 - e. With appropriate conditions to ensure that impacts are minimized, the allowance of additional residential development easily accessible from Redwood Road will be beneficial to the community.

Conditions:

1. The R-4 zone shall apply to the portion of the property identified by the City Council:
 - a. The area identified in the Land Use Element as Low Density Residential, or
 - b. The area requested for R-4 and R-6
2. The NC zone shall apply to the portion of the property identified by the City Council.
 - a. The area identified in the Land Use Element at Neighborhood Commercial, or
 - b. The area requested for RC
3. The rezones shall not be recorded until any required General Plan amendment(s) are applied for and approved.
4. Any other conditions added by the Council. _____
5. _____

Option 3 – positive recommendation as proposed

“I move to **approve** the rezone of the ~27.658 acre parcel 58:023:0112 from Agriculture to R-4, R-6, and RC as located in Exhibit 1 and proposed in Exhibit 2, with the Findings and Conditions below:”

Findings

1. The rezone complies with Section 19.17.04 of the Code as articulated in Section F of the staff report and which section is incorporated herein by reference. Specifically:
 - a. With conditions to postpone recordation of the rezone until the Land Use Element is modified, the proposal will be consistent with the Future Land Use Map.
 - b. The proposed change will not decrease nor otherwise adversely affect the

- health, safety, convenience, morals, or general welfare of the public.
- c. With appropriate conditions to ensure access, infrastructure, layout and appearance, traffic mitigation, trail connectivity, and other code compliance, the proposed development will be consistent with the goals of orderly growth and well-being.
 - d. With appropriate conditions to ensure that impacts are minimized, the allowance of additional residential development easily accessible from Redwood Road will be beneficial to the community.

Conditions:

- 1. The rezone shall not be recorded until required General Plan amendments are applied for and approved.
- 2. Any conditions added by the Council. _____
- 3. _____

Option 4 – denial

"I move to **deny** the rezone of the ~27.658 acre parcel 58:023:0112 from Agriculture to R-4, R-6, and RC as located in Exhibit 1, with the Findings below:

- 1. The application is not consistent with the Land Use Element of the General Plan.
- 2. Any other findings as articulated by the Council: _____

H. Exhibits:

- 1. Location & Zone Map (page 8)
- 2. Future Lane Use Map (page 9)
- 3. Existing Conditions (page 10)
- 4. Applicant Letter (page 11)
- 5. Concept Plan (page 12)
- 6. City Engineer's Report (pages 13-14)

Exhibit 1
Location / Zone

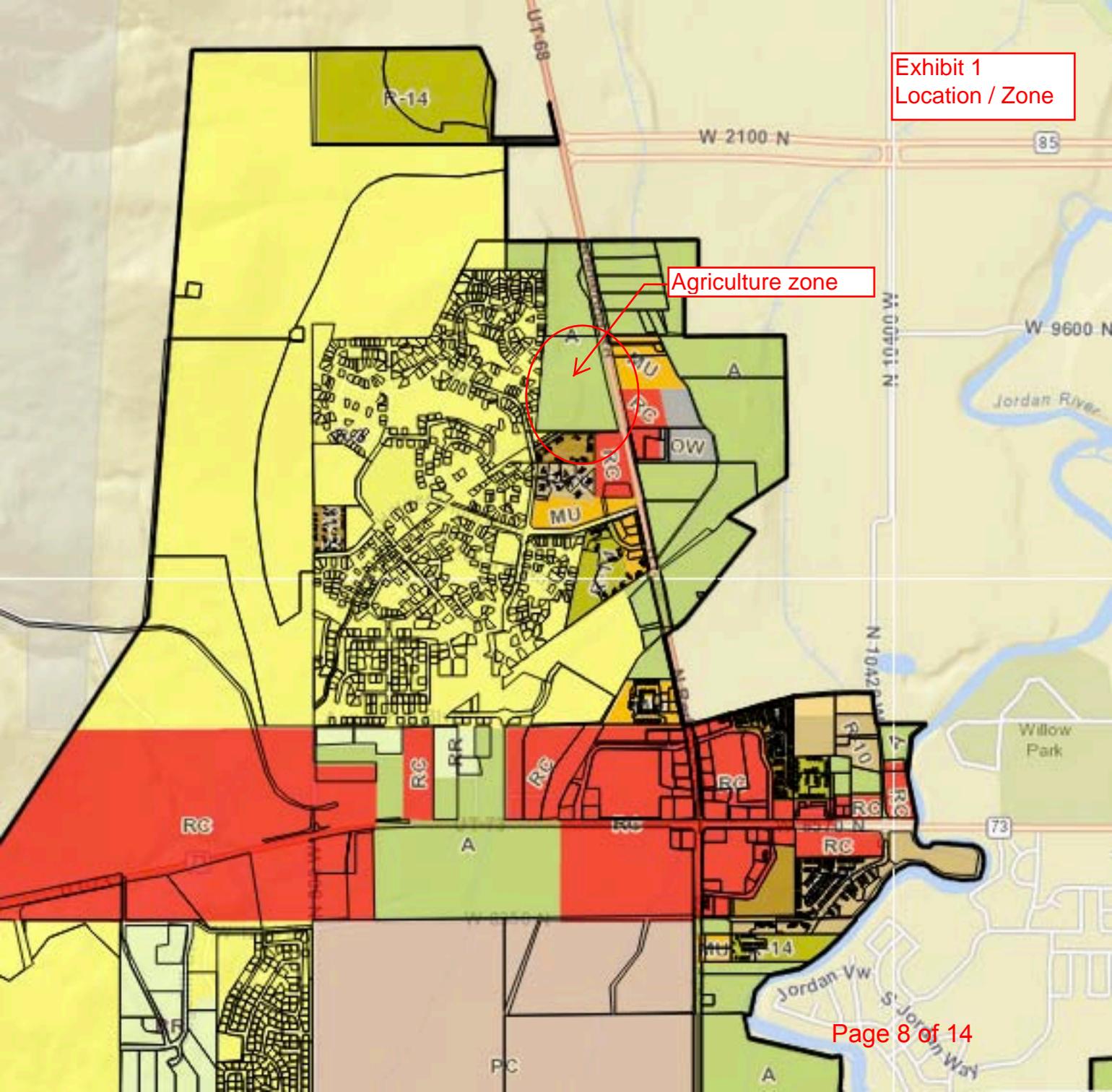
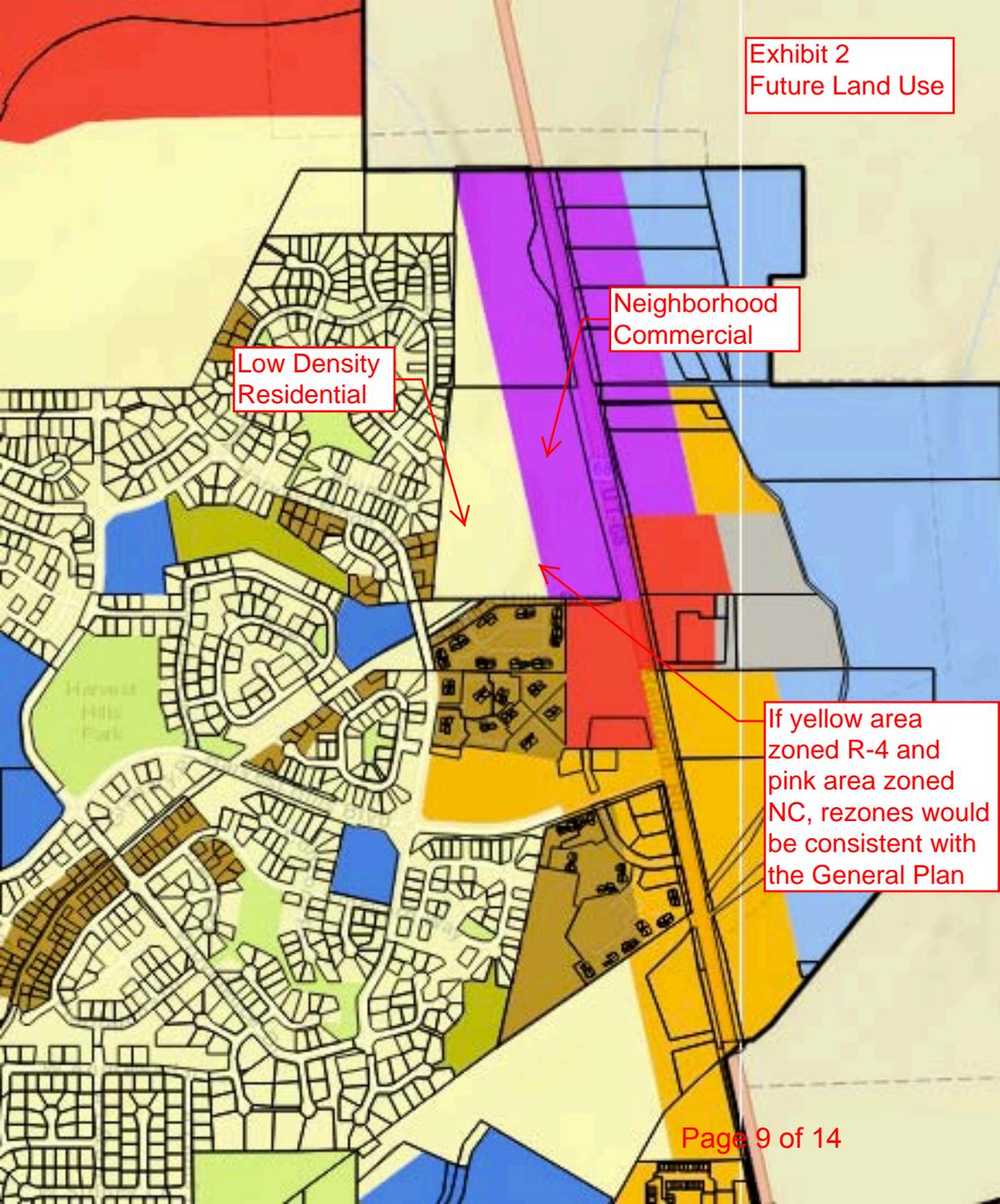


Exhibit 2
Future Land Use



Low Density Residential

Neighborhood Commercial

If yellow area zoned R-4 and pink area zoned NC, rezones would be consistent with the General Plan

Zoning Application Letter

Saratoga Springs City Planning Staff,

Fieldstone has conducted operations in homebuilding, land development, land entitlement and related business since 1981. Since its founding, Fieldstone has constructed and sold more than 35,000 homes in over 300 communities. Fieldstone would like to move forward with the rezone and concept approval of the 27.66 acre property located near Redwood Road and Spring Hills Dr, Parcel # 58-023-0112.

The Current Zoning classification for the site is A (Agriculture). As the applicant we are requesting that Saratoga Springs change the Zoning to R-4 Single Family Residential, R-6 Single Family Residential, and RC Residential Commercial as shown in the Harvest Bluffs Concept submitted with this rezone request.

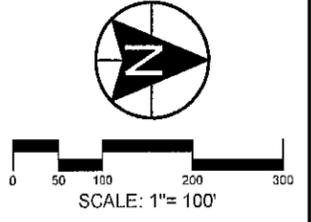
The Saratoga Springs City General Plan map shows the site is planned for Low Density Residential to the west and Neighborhood Commercial along Redwood Rd. The city's General Plan defines Low density residential as having an "overall density of 1 to 4 units per acre" and "it is estimated that a typical acre of land may contain 3 dwelling units per acre". In the area designated as low density residential our plan has a proposed density of 2.73 u/ac which is well below the 4 units per acre maximum. In addition, the site includes trails and open space also required in the plan.

As for the easterly portion of the site, the terrain along Redwood Road is too steep for both access and visibility that would be typical for commercial development. The difference between the existing grade of Redwood Road and the building locations is 20 to 30 feet (refer to attached survey). Commercial development along the Redwood frontage would require significant retaining walls and/or excavation of the site. For this reason, as well as there is already substantial commercial ground already available in this corridor, we propose a down zone from the contemplated Neighborhood Commercial for all but 2.5 acres to Low Density Residential; however, this portion of the site has a proposed density of 3.63 u/ac, which still complements adjacent zoning and meets the desire of no increased density and multifamily that's been a hot topic in the city.

The R-6 single family units will serve as a buffer from Redwood Rd to the east and the larger single family lots to the west. Turning the significant topography issues into a positive, the elevated lots over Redwood will also offer fantastic views of the valley. The proposed concept offers 17% open space, totaling 4.27 acres, split 20% among the R-6 single family and 15% among the R-4 single family.

Finally, the southeast corner of the site will be left as commercial. This is sensible since the access and topography work at this location and it complies with the General Plan.

HARVEST HEIGHTS SUBDIVISION



BERG
CIVIL ENGINEERING
 11038 N Highland Blvd Suite 400
 Highland Ut, 84003
 office (801) 492-1277
 cell (801) 616-1677

NO.	DATE	DESCRIPTION	SEAL
1			
2			
3			
4			
5			
6			
7			

ACTION	DATE
CONCEPT PLAN	4/25/14

HARVEST HEIGHTS SUBDIVISION

DESCRIPTION

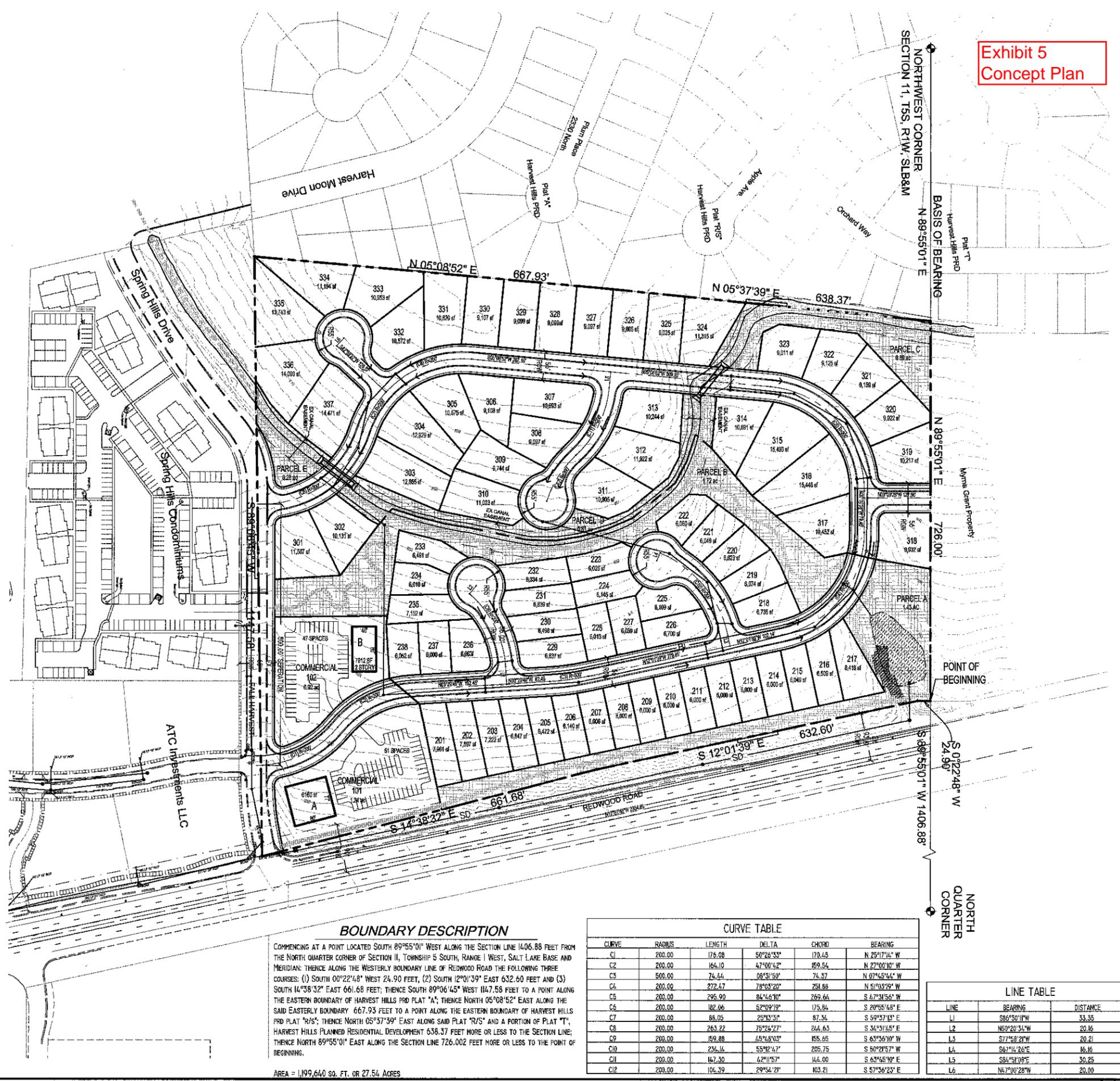
CONCEPT PLAN

SHEET NAME SHEET NUMBER

COVER **CO**

RECEIVED JUN 27 2014

Exhibit 5
Concept Plan



BOUNDARY DESCRIPTION

COMMENCING AT A POINT LOCATED SOUTH 89°55'01" WEST ALONG THE SECTION LINE 1406.88 FEET FROM THE NORTH QUARTER CORNER OF SECTION II, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE WESTERLY BOUNDARY LINE OF REDWOOD ROAD THE FOLLOWING THREE COURSES: (1) SOUTH 00°22'48" WEST 24.90 FEET, (2) SOUTH 12°01'39" EAST 632.60 FEET AND (3) SOUTH 14°38'32" EAST 661.68 FEET; THENCE SOUTH 89°06'45" WEST 1147.58 FEET TO A POINT ALONG THE EASTERN BOUNDARY OF HARVEST HILLS PRD PLAT "A"; THENCE NORTH 05°08'52" EAST ALONG THE SAID EASTERLY BOUNDARY 667.93 FEET TO A POINT ALONG THE EASTERN BOUNDARY OF HARVEST HILLS PRD PLAT "R/S"; THENCE NORTH 05°37'39" EAST ALONG SAID PLAT "R/S" AND A PORTION OF PLAT "T", HARVEST HILLS PLANNED RESIDENTIAL DEVELOPMENT 638.37 FEET MORE OR LESS TO THE SECTION LINE; THENCE NORTH 89°55'01" EAST ALONG THE SECTION LINE 726.002 FEET MORE OR LESS TO THE POINT OF BEGINNING.

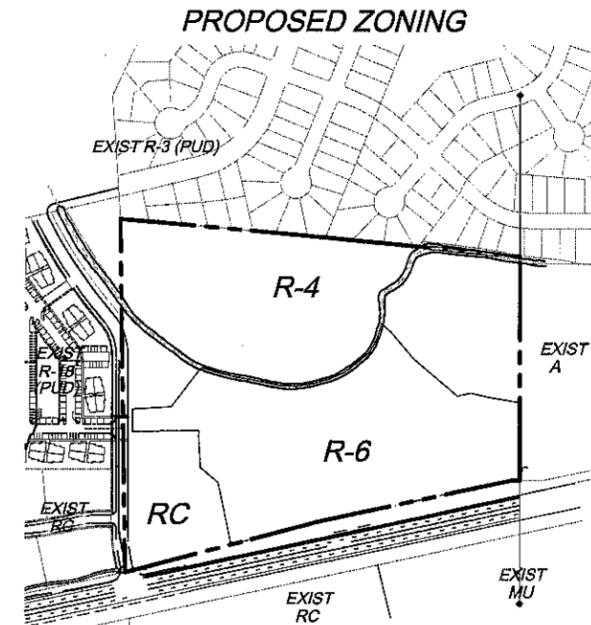
AREA = 1,199,640 SQ. FT. OR 27.54 ACRES

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	200.00	176.08	50°26'33"	170.45	N 25°17'14" W
C2	200.00	164.10	47°00'42"	159.54	N 27°00'30" W
C3	500.00	75.44	08°31'50"	74.37	N 07°45'44" W
C4	200.00	272.47	78°03'20"	261.88	N 51°03'39" W
C5	200.00	296.90	84°44'10"	269.66	S 47°31'56" W
C6	200.00	182.06	52°09'19"	175.84	S 20°55'48" E
C7	200.00	88.05	29°33'31"	87.34	S 59°37'13" E
C8	200.00	243.22	75°24'27"	234.63	S 34°31'45" E
C9	200.00	159.88	45°48'03"	155.65	S 63°36'10" W
C10	200.00	235.16	55°12'47"	205.75	S 80°21'57" W
C11	200.00	147.30	42°11'57"	144.00	S 63°45'10" E
C12	200.00	104.39	29°54'21"	103.21	S 57°56'23" E

LINE TABLE

LINE	BEARING	DISTANCE
L1	S86°50'11" W	33.35
L2	N50°20'34" W	20.16
L3	S77°58'21" W	20.21
L4	S67°11'24" E	16.16
L5	S84°31'08" E	30.25
L6	N47°00'28" W	20.00



DATA TABLE

COMMERCIAL

TOTAL ACREAGE	=	2.54 ACRES
LANDSCAPE	=	0 AC
# OF LOTS	=	2 LOTS
AVE LOT SIZE	=	1.08 AC
MIN LOT SIZE	=	0.92 AC
TOTAL # PARKING	=	98 SPACES
TOTAL BLDG SF	=	14072 SF

R-4

TOTAL ACREAGE	=	13.63 ACRES
REQ'D 15% LANDSCAPE	=	2.04 ACRES
PROVIDED LANDSCAPE	=	1.58 ACRES
# OF LOTS	=	37 LOTS
AVE LOT SIZE	=	10,856 SF
MIN LOT SIZE	=	9,000 SF
DENSITY	=	2.71 DU/AC

R-6

TOTAL ACREAGE	=	10.83 ACRES
REQ'D 20% LANDSCAPE	=	2.17 ACRES
PROVIDED LANDSCAPE	=	3.15 ACRES
# OF LOTS	=	38 LOTS
AVE LOT SIZE	=	6,463 SF
MIN LOT SIZE	=	6,000 SF
DENSITY	=	3.51 DU/AC

PROJECT TOTALS

TOTAL ACREAGE	=	27.54 ACRES
EXISTING ROADWAY	=	0.54 ACRES
SENSITIVE LANDS	=	0.00 ACRES
REQ'D R-6 LANDSCAPE	=	2.17 ACRES
REQ'D R-4 LANDSCAPE	=	2.04 ACRES
REQ'D TOTAL LANDSCAPE	=	4.21 ACRES
PROVIDED OVERALL LANDSCAPE	=	5.09 ACRES
# OF LOTS	=	77 LOTS
DENSITY	=	2.85 DU/AC

LEGEND

	PROPERTY LINE		CULINARY WATER
	LOT LINE		PRESSURIZED IRRIG.
	EASEMENT LINE		SANITARY SEWER
	EXISTING CURB		STORM DRAIN
	PROPOSED CURB		FIRE HYDRANT
	10 FOOT CONTOUR		
	2 FOOT CONTOUR		

City Council Staff Report

Author: Jeremy D. Lapin, City Engineer
Subject: Harvest Heights
Date: June 26, 2014
Type of Item: Concept Plan Review



Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Fieldstone Utah Investors
Request: Concept Plan
Location: Redwood Road and Fall Harvest Drive
Acreage: 27.54 acres - 77 lots

C. Recommendation: Staff recommends the applicant address and incorporate the following items for consideration into the development of their project and construction drawings.

D. Proposed Items for Consideration:

- A. Prepare construction drawings as outlined in the City's standards and specifications and receive approval from the City Engineer on those drawings prior to receiving Final approval from the City Council.
- B. Consider and accommodate existing utilities, drainage systems, detention systems, and water storage systems into the project design. Access to existing facilities shall be maintained throughout the project.
- C. Comply with the Land Development Codes regarding the disturbance of sensitive lands, including 30%+ slopes.
- D. Incorporate a grading and drainage design that protects homes from upland flows.
- E. Developer shall provide a traffic study to determine the necessary improvements to existing and proposed roads to provide an acceptable level of service for the proposed project.

- F. Project must meet the City Ordinance for Storm Water release (0.2 cfs/acre for all developed property) and all UPDES and NPDES project construction requirements.
- G. Developer shall meet all applicable city ordinances and engineering conditions and requirements in the preparation of the Construction Drawings.
- H. Project bonding must be completed as approved by the City Engineer prior to recordation of plats.
- I. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the construction drawings.
- J. All work to conform to the City of Saratoga Springs Standard Technical Specifications, most recent edition.
- K. Developer shall prepare and record easements to the City for all public utilities not located in a public right-of-way.
- L. Developer is required to ensure that there are no adverse effects to adjacent property owners and future homeowners due to the grading and construction practices employed during completion of this project.
- M. Developer shall ensure that the storm drains system outfalls to an acceptable location approved by the City Engineer.
- N. The developer shall dedicate the 90' half width of Redwood Road and install all necessary improvements along the Redwood Road frontage.
- O. Half width improvements shall be provided by the developer along the Fall Harvest Drive frontage and developer shall also dedicate the Right-of-Way.
- P. Developer shall ensure that all roads meet the City Standard requirements including minimum curve radii.
- Q. Developer shall connect to and extend the 12" culinary main and 8" secondary main.

ORDINANCE NO. 14-20 (7-15-14)

AN ORDINANCE OF THE CITY OF SARATOGA SPRINGS, UTAH, ADOPTING AMENDMENTS TO THE SARATOGA SPRINGS CITY'S OFFICIAL ZONING MAP FOR CERTAIN REAL PROPERTY; INSTRUCTION THE CITY STAFF TO AMEND THE CITY ZONING MAP AND OTHER OFFICIAL ZONNG RECORDS OF THE CITY; AND ESTABLISHING AN EFFECTIVE DATE. (Harvest Heights)

WHEREAS, the Saratoga Springs Planning Commission and City Council have reviewed the application for the rezoning of real property within the City limits; and

WHEREAS, the Saratoga Springs Planning Commission and City Council have conducted the required public hearings on the proposed rezoning.

NOW THEREFORE, the City Council of the City of Saratoga Springs, Utah hereby ordains as follows:

SECTION I – ENACTMENT

The amendments to the City's Zoning Map attached hereto as Exhibit A and incorporated herein by this reference are hereby enacted.

SECTION II – AMENDMENT OF CONFLICTING ORDINANCES

If any ordinances, resolutions, policies, or zoning maps of the City of Saratoga Springs heretofore adopted are inconsistent herewith they are hereby amended to comply with the provisions hereof. If they cannot be amended to comply with the provisions hereof, they are hereby repealed.

SECTION III – EFFECTIVE DATE

This ordinance shall take effect upon its passage by a majority vote of the Saratoga Springs City Council and following notice and publication as required by the Utah Code.

SECTION IV – SEVERABILITY

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such provision shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions of this ordinance.

SECTION V – PUBLIC NOTICE

The Saratoga Springs Recorder is hereby ordered, in accordance with the requirements of Utah Code § 10-3-710—711, to do as follows:

- a. deposit a copy of this ordinance in the office of the City Recorder; and
- b. publish notice as follows:
 - i. publish a short summary of this ordinance for at least one publication in a newspaper of general circulation in the City; or
 - ii. post a complete copy of this ordinance in three public places within the City.

ADOPTED AND PASSED by the City Council of the City of Saratoga Springs, Utah, this 15th day of July, 2014.

Signed: _____
 Jim Miller, Mayor

Attest: _____
 Lori Yates, City Recorder

 Date

VOTE

Shellie Baertsch	_____
Rebecca Call	_____
Michael McOmber	_____
Jim Miller	_____
Bud Poduska	_____