



PLANNING COMMISSION AGENDA

Thursday, March 28, 2024, 6:30 PM
1020 East Pioneer Road
Draper, UT 84020
Council Chambers

1. 6:30 PM Business Meeting

2. Items for Commission Consideration

2.a Public Hearing: Newell Zoning Map Amendment (Legislative Item)

On the request of Douglas Newell, agent for DBN Family Partnership, LLC, a request for a Zoning Map Amendment for approximately 1.32 acres located at 12502 S. 700 E. Known as application 2023-4583-MA. Staff Contact: Todd Taylor, 801-576-6510, todd.taylor@draperutah.gov.

2.b Public Hearing: Beacon Crest Site Plan Amendment Request (Administrative Item)

On the request of Rachel Sorensen, representing Beecher Walker Architects, Beacon Crest of Draper, LLC and Beacon Crest Heritage LLC, a request for approval of a Site Plan Amendment regarding the addition of five (5) semi-independent living units to an existing assisted living facility, for approximately 1.57 acres located at approximately 591 E. Pioneer Rd. Known as application 2023-4596-SP, Staff Contact: Todd A. Draper, (801) 576-6335, todd.draper@draperutah.gov.

2.c Public Hearing: City Initiated Landscape Ordinance Update (Legislative Item)

On the request of Draper City, a request for a Text Amendment to subsection 9-23-030(C) of the Draper City Municipal Code in order to remove exemptions for storm water management areas, public facilities, private schools, and private parks from the limitations on turf installation on slopes and areas less than eight feet in width, Known as application 2024-0077-TA. Staff contact: Todd A. Draper, (801) 576-6335, todd.draper@draperutah.gov.

3. Training

3.a Planning Commissioner Training

Annually required training led by Planning Staff and the Assistant City Attorney.

4. Adjournment

I, the City Recorder of Draper City, certify that copies of this agenda for the **Draper Planning Commission** meeting to be held **March 28, 2024**, were posted at Draper City Hall, Draper City website www.draperutah.gov, and the Utah Public Notice website at www.utah.gov/pmn.

Date Posted:



A handwritten signature in blue ink that reads "Laura Oscarson".

Laura Oscarson, MMC, City Recorder
Draper City, State of Utah

In compliance with the Americans with Disabilities Act, any individuals needing special accommodations or services during this meeting shall notify Laura Oscarson, City Recorder at (801) 576-6502 or laura.oscarson@draperutah.gov, at least 24 hours prior to the meeting.

MEMO



To: Planning Commission

From: Todd Taylor

Date: 2024-03-28

Re: Public Hearing: Newell Zoning Map Amendment (Legislative Item)

Comments:

This application is a request for approval of a Zoning Map Amendment for approximately 1.32 acres located on the west side of 700 E., at approximately 12502 S. 700 E. The property is currently zoned RA1 (Residential Agricultural, 40,000 ft² lot minimum) . The applicant is requesting that a Zoning Map Amendment be approved to the R3 (Single Family Residential, 13,000 ft² lot minimum) zone.

The findings for approval as are follows:

1. The proposed amendment is consistent with goals, objectives and policies of the city's general plan.
2. The proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property.
3. The proposed amendment is consistent with the standards of all applicable overlay zones.
4. The proposed amendment will not adversely affect adjacent property.
5. Facilities and services intended to serve the subject property are adequate, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.

The findings for denial as are follows:

1. The proposed amendment is not consistent with goals, objectives and policies of the city's general plan.
2. The proposed amendment is not harmonious with the overall character of existing development in the vicinity of the subject property.
3. The proposed amendment will adversely affect adjacent property.

ATTACHMENTS:

[Staff Report - PC 2023-4583-MA - Finalized.pdf](#)



Development Review Committee

1020 East Pioneer Road

Draper, UT 84020

March 1, 2024

To: Draper City Planning Commission
Business Date: March 28, 2024

From: Development Review Committee

Prepared By: Todd Taylor, Planner III
Planning Division
Community Development Department
801-576-6510, todd.taylor@draperutah.gov

Re: Newell – Zoning Map Amendment Request

Application No.: 2023-4583-MA

Applicant: Douglas Newell, agent for DBN Family Partnership, LLC

Project Location: 12502 S. 700 E.

Current Zoning: RA1 (Residential Agricultural, 40,000 ft² lot minimum)

Acreage: 1.32 Acres (Approximately 57,499 ft²)

Request: Request for approval of a Zoning Map Amendment to modify the property's zoning designation from RA1 to R3 (Single Family Residential, 13,000 ft² lot minimum).

BACKGROUND AND SUMMARY

This application is a request for approval of a Zoning Map Amendment for approximately 1.32 acres located on the west side of 700 E., at approximately 12502 S. 700 E. (Exhibits C & D). The property is currently zoned RA1. The applicant is requesting that a Zoning Map Amendment be approved to the R3 zone.

The property is part of the Draperville Plat and has been historically used for residential and agricultural purposes. In 2023 building permits were issued for additions to the home and a new detached garage. According to available aerial photography, landscaping and other accessory structures were removed from the property in 2023.



ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Residential Medium Density	Exhibit E
Current Zoning	RA1	Exhibit F
Proposed Zoning	R3	Exhibit G
Adjacent Zoning		
East	RA2 (Residential Agricultural, 20,000 ft ² lot minimum)	
West	RA1, RA2	
North	RA1	
South	R3	

The Residential Medium Density land use designation is characterized as follows:

Residential Medium Density

LAND USE DESCRIPTION		
CHARACTERISTICS	<ul style="list-style-type: none"> • Preservation of large tracts of open space, rather than open space contained primarily in individual subdivision lots • Variations and mixing of lot sizes, setbacks, and residential development forms • Minimal fronting of homes on major streets • Provision for trails that allow interconnectivity to other existing or proposed trails • Discourage “piecemeal” infrastructure installation • Trees and abundant landscaping, encouraging low water use and native plants 	
LAND USE MIX	Primary <ul style="list-style-type: none"> • Single-family detached homes 	Secondary <ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space
DENSITY	<ul style="list-style-type: none"> • Density range: 2-4 dwelling units per acre 	
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Residential Agricultural (RA2) • Single-family Residential (R3) • Single-family Residential (R4) • Master Planned Community (MPC) 	
OTHER CRITERIA	<ul style="list-style-type: none"> • Preservation of environmental features usually requires a master-planned or cluster development. Increased densities within these areas would be allowed only with compliance to specified performance standards and impact mitigation measures 	

According to Draper City Municipal Code (DCMC) Section 9-8-020, the purpose of the RA1 zone is to “*foster low density development with little impact on its surroundings and municipal*”

services; to generally preserve the character of the city's semirural areas; and to promote and preserve conditions favorable to large lot family life, including the keeping of limited numbers of animals and fowl. The predominant use in these zones is intended to be detached single-family dwellings, protected from encroachment by commercial and industrial uses."

Zoning Map Amendment.

The applicant is requesting a rezone to the R3 zone. The R3 zone is a single-family residential zone. The minimum lot size in the R3 zone is 13,000 ft².

According to DCMC Section 9-8-020, the purpose of the R3 zone is to *"permit medium density residential development without special mitigation requirements. This zone is intended to provide incentives to foster residential development with little impact on its surroundings and on municipal services, and to generally preserve the semirural character called for in the density element of the general plan."*

The R3 zone does not allow agricultural businesses or the keeping of animals and fowl for recreation and family food production, which are allowed in the RA1 zone. However, the keeping of chickens for familial gain would still be permitted.

As noted in the table above, the R3 zone is consistent with the existing Residential Medium Density land use designation and no Land Use Map Amendment would be needed. The Zoning Map Amendment would allow the property owner to submit an application to subdivide the property into smaller lots. At this time, the applicant has presented a concept proposing the property to be subdivided into three (3) lots.

Criteria For Approval.

A Map Amendment is a matter committed to the legislative discretion of the City Council and is not controlled by any one standard. However, in making a recommendation to the City Council, the Planning Commission should consider the following factors in Section 9-5-060(E) of the DCMC:

1. Map Amendments:

- a. Whether the proposed amendment is consistent with goals, objectives and policies of the city's general plan;*
- b. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;*
- c. Whether the proposed amendment is consistent with the standards of any applicable overlay zone;*
- d. The extent to which the proposed amendment may adversely affect adjacent property; and*

- e. *The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Zoning Map Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Zoning Map Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Zoning Map Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Zoning Map Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Legal Division Review. The Draper City Attorney has completed his review of the Zoning Map Amendment submission. Comments from this division, if any, can be found in Exhibit A.

GIS Division Review. The Draper City Geographic Information Systems Division has completed their review of the Zoning Map Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission review the request and make a recommendation to the City Council based on the findings listed below and the criteria for approval, as listed within the staff report. The Planning Commission should also review the request and receive public comment prior to making a decision.

The findings for approval as are follows:

1. The proposed amendment is consistent with goals, objectives and policies of the

- city's general plan.
2. The proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property.
3. The proposed amendment is consistent with the standards of all applicable overlay zones.
4. The proposed amendment will not adversely affect adjacent property.
5. Facilities and services intended to serve the subject property are adequate, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.

The findings for denial as are follows:

1. The proposed amendment is not consistent with goals, objectives and policies of the city's general plan.
2. The proposed amendment is not harmonious with the overall character of existing development in the vicinity of the subject property.
3. The proposed amendment will adversely affect adjacent property.

MODEL MOTIONS

Sample Motion for Approval – I move that we forward a positive recommendation to the City Council for the Zoning Map Amendment, as requested by Douglas Newell, agent for DBN Family Partnership, LLC, Application No. 2023-4583-MA, based on the findings and subject to the conditions listed in the Staff Report dated March 1, 2024.

Sample Motion for Modified Approval – I move that we forward a positive recommendation to the City Council for the Zoning Map Amendment, as requested by Douglas Newell, agent for DBN Family Partnership, LLC, Application No. 2023-4583-MA, based on the findings and subject to the conditions listed in the Staff Report dated March 1, 2024, and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we forward a negative recommendation to the City Council for the Zoning Map Amendment, as requested by Douglas Newell, agent for DBN Family Partnership, LLC , Application No. 2023-4583-MA, based on the findings listed in the Staff Report dated March 1, 2024.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US, E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works - Engineering,
CN=Brien Maxfield
Date: 2024.03.19 09:15:26-06'00'

Draper City Public Works Department

Don Buckley

Digitally signed by Don Buckley
DN: C=US,
E=don.buckley@draperutah.gov,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2024.03.21 12:10:07-06'00'

Draper City Fire Department

Keith Collier

Digitally signed by Keith Collier
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City, OU=Building Official, CN=Keith Collier
Date: 2024.03.19 09:01:48-06'00'

Draper City Building Division

Todd A. Draper

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CN=Todd A. Draper
Date: 2024.03.19
10:30:42-06'00'

Draper City Planning Division

Mike Barker

Digitally signed by Mike Barker
Date: 2024.03.19 08:35:06
-06'00'

Draper City Legal Counsel

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comment.

Engineering and Public Works Divisions Review.

1. The change in zone from residential / agricultural one acre (RA1) to three units per acre residential (R3) represents an increase in traffic by increasing the number of peak hour trips and the daily trips from the proposed site. The proposed zone would allow a density of up to three single family residential units per acre. The gross area of the proposed parcel would accommodate up to four units based on the gross lot size. This density would generate approximately four peak hour trips and 36 daily trips on the fronting local streets. Each residential lot would contribute one peak hour trip and up to nine daily trips. Based on the increased number of trips, the traffic intensity would be increased with the proposed zone change, although for the general area, it is not a significant increase. The size of the parcel and the increase in traffic does not necessitate offsite mitigation measures, where mitigation is generally contemplated around 100 peak hour trips. Any increase in traffic would be onto 700 East, a minor collector designed to accommodate greater traffic flow than local streets. 700 East adjacent to the subject parcel current has curb, gutter, and sidewalk.
2. Connectivity with the subject parcel to a public right-of-way is on 700 East, a minor collector. The parcel also fronts a dead end private street, 12500 South, a local street. Access locations are be required to meet Draper City Standards as outlined in our Master Transportation Plan and will be evaluated at the time of a site plan or subdivision application.
3. There are no existing storm drainage facilities fronting the subject parcel. Any future site drainage will be required to be addressed with any subdivision or site plan application, and shall comply with the provisions of the development requirements within the Draper City Municipal Code.

4. Sanitary sewer facilities will be provided by South Valley Sewer District. Any subdivision or site plan application will require a commitment to serve from the Sewer District that facilities are adequate to provide service for the proposed uses.
5. Drinking water is provided by WaterPro to the subject parcel. Any subdivision or site plan application will require a commitment to serve from WaterPro that facilities are adequate to provide service for the proposed uses.

Building Division Review.

1. No additional comment.

Fire Division Review.

1. No additional comment.

Legal Division Review.

1. No additional comment.

GIS Division Review.

1. While the legal description is correct, please note that the Tax ID No. changed from 28-29-355-003-0000 to 28-29-355-005-0000. Please ensure that future submittals reflect the correct Tax ID No.

EXHIBIT B
LEGAL DESCRIPTION

The land referred to herein is situated in the County of Salt Lake, State of Utah, and is described as follows:

Commencing at the Southwest corner of Section 29, Township 3 South, Range 1 East, Salt Lake Base and Meridian, and running thence North 5°00'00" East 119.00 feet; thence East 66.00 feet; thence North 5°00'00" East 168.02 feet (Deed = 130.00 feet, more or less) to a point on the south line of a private road identified as 12500 South Street; thence, along the said south line of said private road, South 87°10'38" East (Deed = East) 162.36 feet; thence Southeasterly 26.51 feet along the arc of a 15.00 foot radius curve to the right and westerly right of way line of 700 East Street (chord bears South 36°32'40" East 23.19 feet with a central angle of 101°15'56"); thence along said westerly right of way line of 700 East Street the following four (4) courses and distances: Southwesterly 0.90 feet along the arc of a 75.00 foot radius curve to the right, (chord bears South 14°25'55" West 0.90 feet with a central angle of 0°41'14"); thence Southwesterly 102.42 feet along the arc of a 425.98 foot radius curve to the left, (chord bears South 07°53'16" West 102.17 feet with a central angle of 13°46'32"); thence South 01°00'00" West 157.24 feet (Deed = 127.34 feet); thence South 89°59'55" West 250.00 feet to the point of beginning.

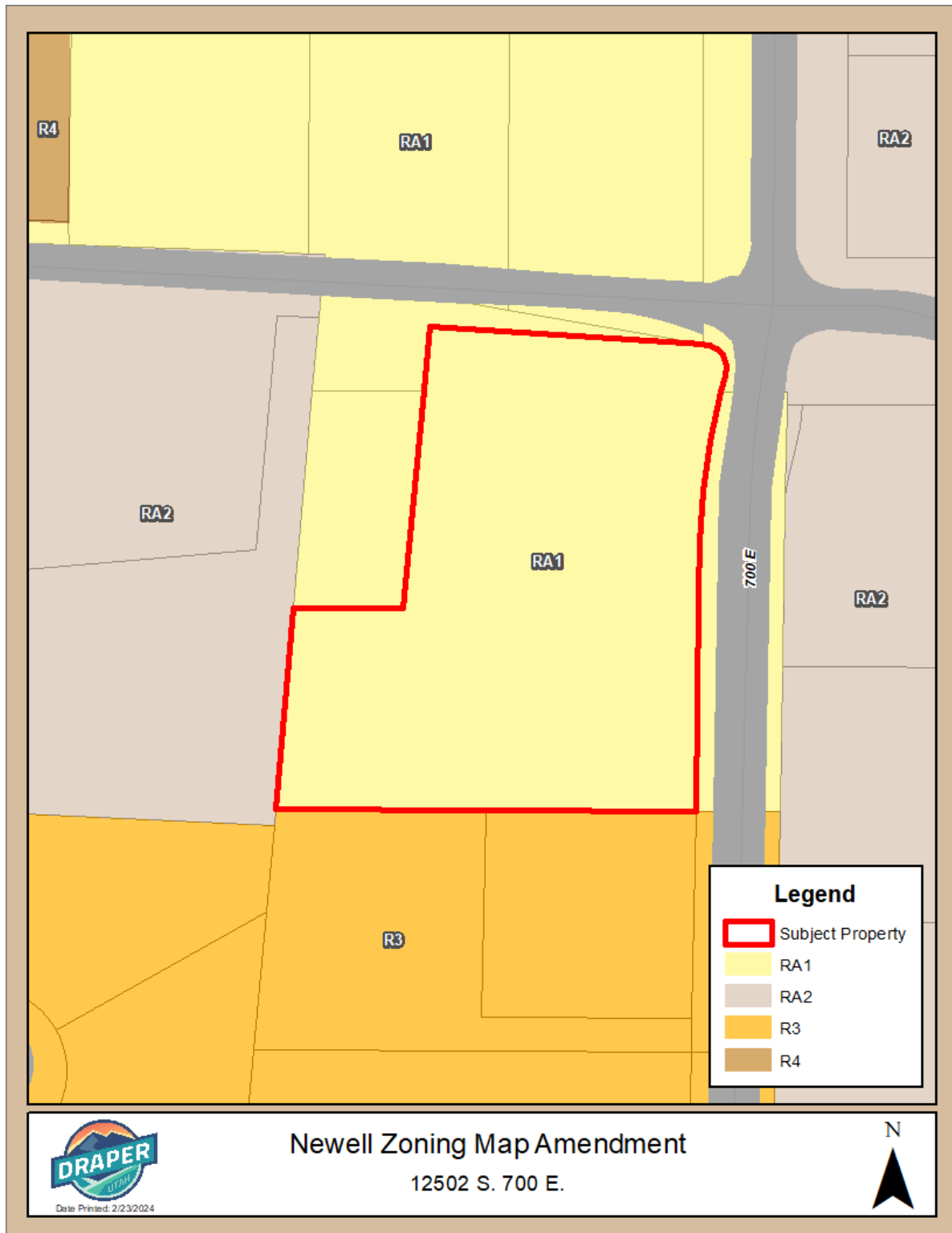
**EXHIBIT D
AERIAL MAP**



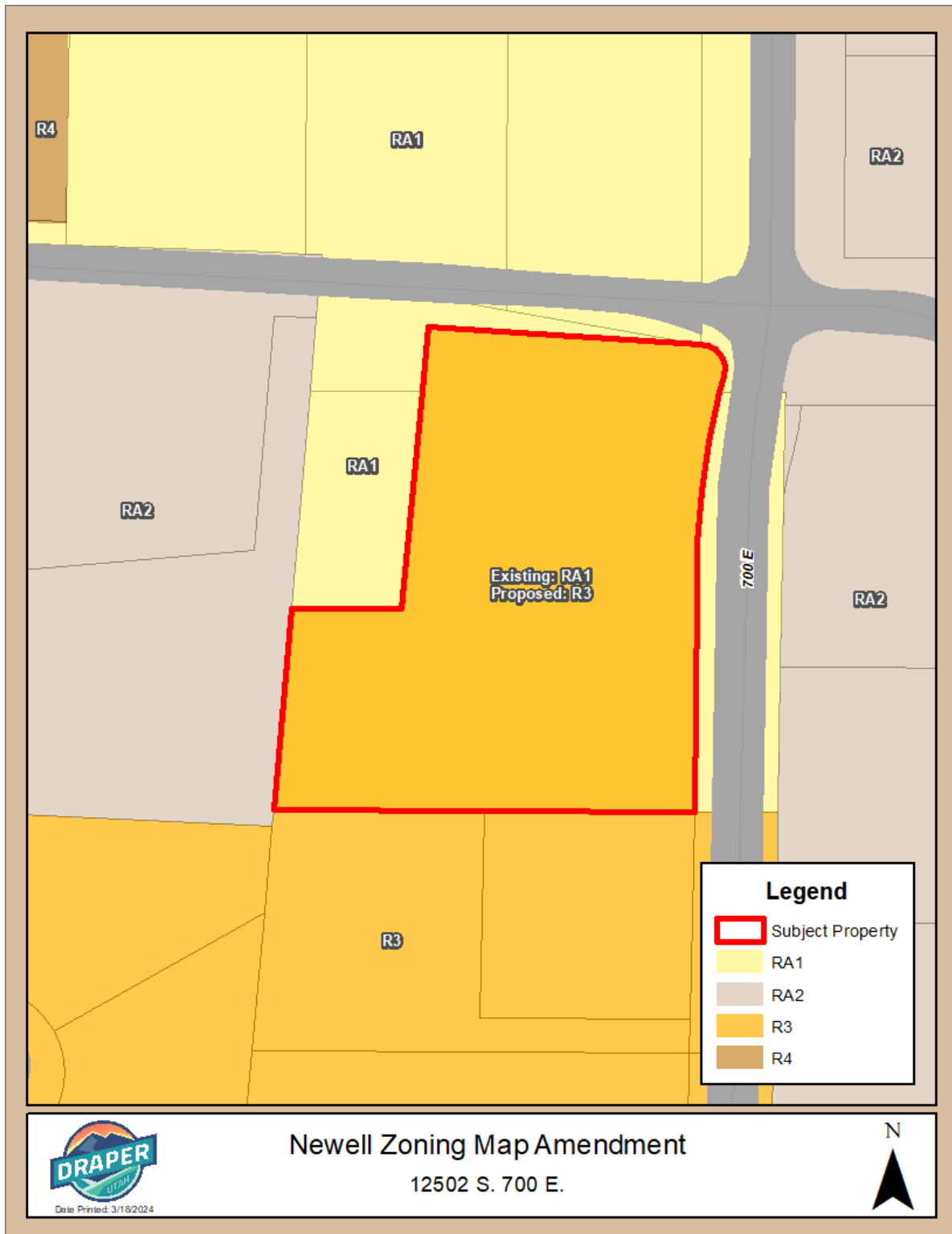
**EXHIBIT E
LAND USE MAP**



**EXHIBIT F
EXISTING ZONING MAP**



**EXHIBIT G
PROPOSED ZONING MAP**



MEMO



To: Planning Commission

From: Todd A. Draper

Date: 2024-03-28

Re: Public Hearing: Beacon Crest Site Plan Amendment Request (Administrative Item)

Comments:

This application is a request for approval of a Site Plan Amendment for approximately 1.57 acres located on the north side of Pioneer Rd., at approximately 591 E. Pioneer Rd. The property is currently zoned CC. The applicant is requesting that a Site Plan Amendment be approved to allow for additional development and expansion of the site to add five (5) semi-independent living units to the existing assisted living facility.

The findings for approval as are follows:

1. The proposed use is consistent with uses permitted on the site;
2. Existing uses were permitted when the site plan was approved, and received a conditional use permit;
3. The proposed use and site will conform to applicable requirements of the zoning code;
4. The proposed expansion meets the approval standards of DCMC subsection 9-5-090(E).
5. The site can accommodate the change in the number of people on the site and any impacts to surrounding infrastructure.

The findings for denial as are follows:

1. The proposed use is not consistent with uses permitted on the site.
2. The proposed use and site do not conform to applicable requirements of the zoning code.
3. The proposed expansion does not meet all the approval standards of DCMC subsection 9-5-090(E).
4. The site is not able to accommodate the change in the number of people on the site or impacts to surrounding infrastructure.

ATTACHMENTS:

[2023-4596-SP Staff Report.pdf](#)



Development Review Committee

1020 East Pioneer Road

Draper, UT 84020

March 19, 2024

To: Draper City Planning Commission
Business Date: March 28, 2024

From: Development Review Committee

Prepared By: Todd A. Draper, AICP, Planning Manager
Planning Division
Community Development Department
801-576-6335, todd.draper@draperutah.gov

Re: Beacon Crest – Site Plan Amendment Request

Application No.: 2023-4596-SP

Applicant: Rachel Sorensen, representing Beecher Walker Architects, Beacon Crest of Draper, LLC and Beacon Crest Heritage LLC

Project Location: Approximately 591 E. Pioneer Rd.

Current Zoning: CC (Community Commercial) Zone

Acreage: Approximately 1.57 acres (Approximately 68,389 ft²)

Request: Request for approval of a Site Plan Amendment in the CC zone regarding the addition of five (5) semi-independent living units to an existing assisted living facility.

BACKGROUND AND SUMMARY

This application is a request for approval of a Site Plan Amendment for approximately 1.57 acres located on the north side of Pioneer Rd., at approximately 591 E. Pioneer Rd. (Exhibits B & C). The property is currently zoned CC. The applicant is requesting that a Site Plan Amendment be approved to allow for additional development and expansion of the site to add five (5) semi-independent living units to the existing assisted living facility.

The Beacon Crest assisted Living Facility was originally approved under application 141107-12392S as a site plan and conditional use permit on December 19, 2014. The two existing buildings on the site approved under that plan were constructed in 2015 and 2018. The overall property currently consists of four parcels that will be consolidated into one as part of a separate application. On the northernmost parcel an existing home built in 1958 and



accessory building would be demolished to accommodate the proposed expansion of the assisted living facility.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Residential High Density and Residential Medium Density	Exhibit D
Current Zoning	CC	Exhibit E
Proposed Use	Assisted Living Facility	
Adjacent Zoning		
East	RA2 (Residential Agricultural, 20,000 ft ² min. lot size)	
West	CC	
North	CC	
South	R3 (Residential, 13,000 ft ² min. lot size)	

The Residential High Density land use designation is characterized as follows:

Residential High Density

LAND USE DESCRIPTION		
CHARACTERISTICS	<ul style="list-style-type: none"> Abundant landscaping Architectural variation between units and/or buildings, designed to look like houses, not boxes Avoid walls and fences, except for screening and buffering with neighboring developments 	
LAND USE MIX	Primary <ul style="list-style-type: none"> Patio homes Townhouses Multifamily housing 	Secondary <ul style="list-style-type: none"> Parks Churches Schools Open Space
DENSITY	<ul style="list-style-type: none"> Density range: 8-12 dwelling units per acre 	
COMPATIBLE ZONING	<ul style="list-style-type: none"> Institutional care (IC) Multiple-family Residential (RM1) Multiple-family Residential (RM2) Master Planned Community (MPC) 	
LOCATION	<ul style="list-style-type: none"> Near retail centers, offices, or other compatible uses Near major transit investment corridors 	
OTHER CRITERIA	<ul style="list-style-type: none"> Care must be taken to minimize impacts on other residential areas to provide adequate circulation to accommodate the traffic demands The developer must demonstrate that the project provides a quality living environment 	

The Residential Medium Density land use designation is characterized as follows:

Residential Medium Density

LAND USE DESCRIPTION		
CHARACTERISTICS	<ul style="list-style-type: none"> • Preservation of large tracts of open space, rather than open space contained primarily in individual subdivision lots • Variations and mixing of lot sizes, setbacks, and residential development forms • Minimal fronting of homes on major streets • Provision for trails that allow interconnectivity to other existing or proposed trails • Discourage "piecemeal" infrastructure installation • Trees and abundant landscaping, encouraging low water use and native plants 	
LAND USE MIX	Primary <ul style="list-style-type: none"> • Single-family detached homes 	Secondary <ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space
DENSITY	<ul style="list-style-type: none"> • Density range: 2-4 dwelling units per acre 	
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Residential Agricultural (RA2) • Single-family Residential (R3) • Single-family Residential (R4) • Master Planned Community (MPC) 	
OTHER CRITERIA	<ul style="list-style-type: none"> • Preservation of environmental features usually requires a master-planned or cluster development. Increased densities within these areas would be allowed only with compliance to specified performance standards and impact mitigation measures 	

According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CC zone is to *"provide areas where commercial uses may be established which are generally oriented toward local residents rather than out of town patrons. Uses typical of this zone include planned retail and office development."*

Site Plan Layout. The site plan (Exhibit F) shows the layout of the property with the two existing buildings each containing 16 residential units noted as Building A and Building B, with two new proposed buildings to be built on additional land acquired to the north of the existing facility. Building C will be a single semi-independent living unit, and Building D will be include four (4) additional semi-independent living units. The approximate main floor plan layout for these units is also shown on the site plan. Each unit will include a one car garage, and residents of these units will have access to the assisted living care provided by facility employees located in the adjacent Buildings A and B.

Table 2 Site Plan Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Lot/Parcel Size	n/a	1.57 acres	
Street Frontage	n/a	Approximately 333.33-feet	
Setbacks			
Front	None. 20-foot driveway depth.	28.5 feet to garage door	
Rear	none	8.3 feet	

A separate application to consolidate all the subject parcels into one is also under review and the consolidation will need to occur before issuance of building permits for the new proposed buildings. Staff has included this as a recommended condition of approval in the recommendations section of the staff report.

Circulation. The vehicular access and parking for three of the new units will come from an extension of the existing parking area between the two existing buildings (Exhibit F) to the north. Additional parking areas for employees and visitors will also be incorporated within the expansion of the existing parking area to the north. The main parking area accesses out onto Pioneer Road. The vehicular access to the two remaining units facing 600 East will come from 600 East.

Existing paved walkways adjacent to the main parking area will be extended and wheel stops will be used in locations where the parking abuts the walkway and the walkway is less than seven feet (7') in width. An additional pedestrian pathway on the north provides access to the pergola and amenity area located in the northwest corner of the site. Pedestrian access is provided from all building entrances to the public street and sidewalk.

Landscaping and Lot Coverage. The Landscaping Plans (Exhibit G) show the installation of waterwise landscaping around the new proposed buildings and tying into the existing landscaping for the facility to the South. Only the landscape areas being amended need to comply with the current landscape ordinance as the other area of the property are existing. A walking path, sitting areas, and a pergola are new amenities that are will be included with this proposed expansion. Screening of ground mounted mechanical equipment and utility meters is shown on the landscape plans as required.

Table 3 Landscaping Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Landscaping Coverage	20% of total property area	31% of total property area	
Parking Lot	7%	Approximately 9%	(Overall Site)

Landscaping			
Perimeter Landscaping	10-feet (except adjacent to building) 5-feet (adjacent to parking)	10-feet (8.3-feet adjacent to building D) 5-feet adjacent to parking	Complies with ordinance
Buffer Landscaping	n/a	n/a	Buffer not required between uses in the same zone.
Water Wise Landscaping	Turf limited to 20% of landscaped area	Turf is 13% of landscaped area	Complies with ordinance
Species Diversity	No more than 20% of coverage from a single plant species	Mugo Pines cover approximately 22.6%	Compliance included as a condition for approval in recommendations.
Street Trees	From approved tree list	Two flowering plum trees within 15' of 600 E.	Complies with ordinance and tree list.
Amenities		Additional walking path, Benches, Pergola and seating area,	

One minor detail on the landscape plans is not in compliance with the landscape ordinance. Sixty-four (64) proposed mugo pines are shown on the plan and the calculated coverage by this single plant species is equal to more than 20% of the new landscape area. To remedy this staff has suggested to the applicant that eight (8) of the proposed mugo pines be replaced on the plans with another plant of similar plant coverage. Required soil amendment details on the landscape plans also do not meet ordinance, however updated details have been provided to staff that would comply if changed on revised plans. Staff has included as a condition of approval that the minor revisions to the landscape plans be made with the final approval of the change being completed by planning staff.

Parking. According to the proposed parking layout as shown on the site plan (Exhibit F) there will be a total of 27 parking stalls for the overall property.

Table 4 **Parking Lot Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Parking Required (Min/Max)			

Convalescent Care	1 space per 2 residential units.	16 spaces	32 dwelling units (Complies with ordinance)
Single and Multi-family	2 spaces per unit. Plus 1 space for every 4 multi-family units.	10 spaces plus 1 visitor space.	Calculated at higher rate as these are semi-independent units
Pedestrian Connections	Connect to adjacent existing walkways	Connections to Pioneer Road are existing and will remain.	
Access Point Width	30-feet max.	25-feet	

As the proposed units are semi-independent living and many residents would still own and drive a personal vehicle, the determination was made to require parking for the additional units at the higher parking rate for multi-family dwellings of 2 spaces per unit, plus 1 guest space for every 4 multiple-family units. This was also done in part to help alleviate existing parking issues with the need for additional employee parking. Each semi-independent living unit has a one car garage and a driveway of at least 20' depth behind it where tandem parking can occur. As per DCMC 9-25-060(F), tandem spaces are counted together with the space inside of the garage as one space, thus potential space to park an additional 5 cars beyond the 27 recognized stalls exists.

Architecture. The architectural elevations (Exhibit H) show the exterior facades of both buildings being similar in style to the two existing buildings. The plans comply with the materials and colors requirements of ordinance. Natural stone and composite Hardi Board siding are both primary materials and make up 100% exterior materials on all facades. Roofing will consist of asphalt shingles and standing seam metal roofing above the garages and individual entryways.

Table 5 Architectural Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Building Height			
Main Building	35-feet	Building C: 15'-5" Building D: 28'-8"	
Façade Variation			
Vertical	Every 30-feet	Longest span between vertical articulation is 29.5-feet	
Horizontal	One significant	n/a	No façade over

	variation for façades over 100-feet in length		100-feet in length
Building Orientation	Orientation to the Street	Front doors will be oriented to 600 E, or to the main interior access drive	Complies with intent of ordinance
Materials			
Primary	2 primary materials min.	2 primary materials. Stone and Composite wood Siding	
Secondary	n/a	none	
Percentage of Primary Materials			
Front	75% Primary	100%	
Rear	75% Primary	100%	
Side	75% Primary	100%	
Side	75% Primary	100%	

Proposed interior floor plans are included for each of the new buildings in exhibit I. An existing trash enclosure is also located along the eastern side of the site and is screened with 6' tall white vinyl fencing material and is proposed to remain. This conflicts with the prior conditions of approval that are noted in the previous conditions of approval section below that required the dumpster enclosure to be constructed of the same materials as the building. Staff suggests an additional condition of approval be added that the trash enclosure be reconstructed of masonry faced with same stone blend proposed for the new buildings including solid metal gates painted the same Antler Velvet color proposed for the buildings.

Lighting. The exterior lighting plan (Exhibit J) shows the use of bollard lighting along the walking path, a downward directed light hung inside the pergola, two pole lights for the main parking area, and individual porch lights near each dwelling entrance.

Table 6 **Lighting Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
# of Light Poles	Max. of 1 pole for every 10,000 ft ²	6 (total for site)	Complies with ordinance
Light Pole Height	20-feet max.	12-feet	
Foot Candles			
Maximum Illumination	8.0 foot candles(fc)	6.5 fc	
Maximum	5.0 fc		

Average Illumination			
Maximum Illumination Ratio (Max:Ave)	2.5:1	8.9	

Staff notes that the lighting plan complies with most all aspects of the lighting requirements, except for the wattage of the porch lights. They are listed as up to 120 watts and are unshielded. As a recommended condition for approval staff has added a condition that updated plans be provided at the time of the building permit that either utilize fixtures less than 100 watts, or provide additional details on how view of the light bulb will be shielded with translucent siding.

Fencing. On the site plan (Exhibit F) existing white vinyl fencing along the western perimeter of the site is called out as remaining. This fence is 4 feet tall in the front yard area and 6 feet tall in the rear. Existing fencing between buildings A and B and the additional property where buildings C and D will be built will be removed. Existing split rail fencing on the neighboring commercial property to the north will remain.

Table 7 Fencing Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Fencing Required	No Fence Required	Existing perimeter fencing to remain	
Height			
Front	4-feet	4-feet on west 6-feet on east*	*See explanation below
Rear	6-feet	6 feet	
Side	6-feet	n/a	Corner Lot
Material	Masonry	Vinyl	Existing

The site plan does not call out the existing six-foot (6') tall white vinyl fencing on the eastern property line adjacent to 600 East. It is unclear if the plan is to remove this fencing or not. As the property is a corner lot, this fencing is within a secondary front yard and can remain so long as site distance visibility for the new driveway is not compromised.

Previous Conditions of Approval. The Planning Commission placed the following conditions of approval on the current Site Plan approval for the property on December 19, 2014:

1. That all requirements of the Draper City Engineering Division are satisfied throughout development of the site, particularly those contained in the engineering review memo contained in the staff report.

2. That all requirements of the Draper City Public Works Department are satisfied throughout development of the site.
3. That all requirements of the Unified Fire Authority are met throughout development of the site.
4. That a building permit be issued prior to construction.
5. That signage was not approved with the site plan approval. All signage requires separate permits and is required to comply with Chapter 9-26 of the Draper City Municipal Code.
6. That the dumpster enclosure be constructed of the same materials as the buildings, and that it is surrounded as much as possible by landscaping to soften its visual impact.
7. That a concrete wheel stop (aka deadman) be placed on any parking stall that abuts a sidewalk less than seven feet wide.
8. That all landscaping be installed in accordance with the approved plan, and that any deviation receives staff or Planning Commission approval.
9. That after Planning Commission approval, the applicant submits 12 sets of plans to be stamped "Approved for Construction." Six of these shall be 24 x 36 in size and six shall be 11 x 17. Each of these sets shall contain all sheets previously submitted for review stapled together.
10. That the Calculation Summary in the upper right corner of the photometric plan has the word "parking" removed and shows maximum pole height to be 20 feet instead of 25.
11. That all geotechnical information requested by Alan Taylor is furnished and that the report be deemed complete prior to submittal of a building permit.
12. That the geotechnical review fee be paid prior to issuance of a building permit.

Criteria For Approval.

The criteria for review and potential approval of a Site Plan Amendment request are found in Sections 9-5-090(E) and (H) of the DCMC. This section depicts the standard of review for such requests as:

E. Standards For Approval: The following standards shall apply to the approval of a site plan:

- 1. The entire site shall be developed at one time unless a phased development plan is approved.*
- 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.*
- 3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
- 4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*

5. *The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.*

H. *Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:*

1. *Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making all of the following findings:*
 - a. *The proposed use is consistent with uses permitted on the site;*
 - b. *Existing uses were permitted when the site plan was approved, or have received a conditional use permit;*
 - c. *The proposed use and site will conform to applicable requirements of this Code;*
 - d. *The proposed expansion meets the approval standards of subsection E of this section; and*
 - e. *The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure.*
2. *If the Zoning Administrator cannot make all of the findings required in subsection H(1) above, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.*
3. *If the Zoning Administrator can make all findings required in subsection H(1) above the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
4. *Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

GIS Division Review. The Draper City GIS Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission review the request based on the findings listed below and the criteria for approval, or denial as listed within the staff report. The Planning Commission should also review the request, hear from the applicant, and receive public comment prior to making a decision.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That all the subject parcels are consolidated into one before the issuance of building permits for the new proposed buildings.
4. That the minor revisions to the landscape plans identified in the staff report be made prior to planning staff's final approval of the amended site plan drawings.
5. That at the time of the building permit updated lighting plans be provided that either utilize porch light fixtures less than 100 watts, or that additional details are provided on how the 120 watt porch lights as indicated on the plans reviewed by the Planning Commission will be shielded to comply with ordinance.
6. That the trash enclosure be reconstructed of masonry faced with same stone blend proposed for the new buildings including solid metal gates painted the same Antler Velvet color proposed for the buildings

The findings for approval as are follows:

1. The proposed use is consistent with uses permitted on the site;

2. Existing uses were permitted when the site plan was approved, and received a conditional use permit;
3. The proposed use and site will conform to applicable requirements of the zoning code;
4. The proposed expansion meets the approval standards of DCMC subsection 9-5-090(E).
5. The site can accommodate the change in the number of people on the site and any impacts to surrounding infrastructure.

The findings for denial are as follows:

1. The proposed use is not consistent with uses permitted on the site.
2. The proposed use and site do not conform to applicable requirements of the zoning code.
3. The proposed expansion does not meet all the approval standards of DCMC subsection 9-5-090(E).
4. The site is not able to accommodate the change in the number of people on the site or impacts to surrounding infrastructure.

MODEL MOTIONS

Sample Motion for Approval – I move that we approve the Beacon Crest Site Plan Amendment, as requested by Rachel Sorensen, representing Beecher Walker Architects, Beacon Crest of Draper, LLC and Beacon Crest Heritage LLC for application 2023-4596-SP, based on the findings and subject to the conditions listed in the Staff Report dated March 19, 2024.

Sample Motion for Modified Approval– I move that we approve the Beacon Crest Site Plan Amendment, as requested by Rachel Sorensen, representing Beecher Walker Architects, Beacon Crest of Draper, LLC and Beacon Crest Heritage LLC for application 2023-4596-SP, based on the findings and subject to the conditions listed in the Staff Report dated March 19, 2024 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the Beacon Crest Site Plan Amendment, as requested by Rachel Sorensen, representing Beecher Walker Architects, Beacon Crest of Draper, LLC and Beacon Crest Heritage LLC for application 2023-4596-SP, based on the findings and subject to the conditions listed in the Staff Report dated March 19, 2024, and as modified by the findings below:

1. List additional findings...

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Todd A. Draper

Digitally signed by Todd A. Draper
DN: C=US,
E=todd.draper@draper.ut.us,
O=Draper City Planning,
CN=Todd A. Draper
Date: 2024.03.22 09:47:08-06'00'

Draper City Public Works Department

Draper City Planning Division

Don Buckley

Digitally signed by Don Buckley
DN: C=US,
E=don.buckley@draperutah.gov,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2024.03.22 10:34:48-06'00'

Draper City Fire Department

Draper City Legal Counsel

Matthew Symes

Digitally signed by Matthew Symes
DN: C=US,
E=matt.symes@draperutah.gov,
O=Draper City Corp., CN=Matthew Symes
Date: 2024.03.22 12:47:08-06'00'

Draper City Building Division

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. A single species (Pinus Mugo 'Compacta') covers more than the maximum coverage with a single species of 20%, and the over usage of the species needs to be reduced to comply with ordinance requirements.
2. Top soil specification details provided separately to staff must be included on the revised landscape plans.
3. Details regarding the unshielded front porch light fixtures on pages ES201 and ES602 contradict one another. Unshielded light fixture may not exceed 100 watts.
4. The existing trash enclosure is screened with 6' tall white vinyl fencing material. This conflicts with the prior conditions of approval that required the dumpster enclosure to be constructed of the same materials as the building.

Engineering and Public Works Divisions Review.

1. Need to provide will serve letter from South Valley Sewer District.
2. Stormwater Maintenance plan and Agreement will be required with private storm drainage system.
3. Retaining walls must comply with DCMC 9-27-085. To be reviewed under separate permit.
4. After site plan approval a Land Disturbance Permit is required prior to construction activities onsite and prior to Building Permit issuance.
5. Work in the right of way requires an Encroachment permit obtained through the Engineering Division.
6. As built drawings will be required after construction of detention/retention basins and site grading.

Building Division Review.

1. No additional comments.

Fire Division Review.

1. Fire Department Access is required.
2. Fire lanes shall be signed as no parking where necessary.

3. Access for fire fighting during construction is required.
4. No combustible construction allowed prior to hydrant installation and testing.
5. Knox Boxes required.
6. Fire Extinguishers required.
7. Visible Addressing Required.
8. See fire memo for additional details and specifics.

GIS Division Review.

1. Follow approved addressing for buildings.

EXHIBIT B VICINITY MAP

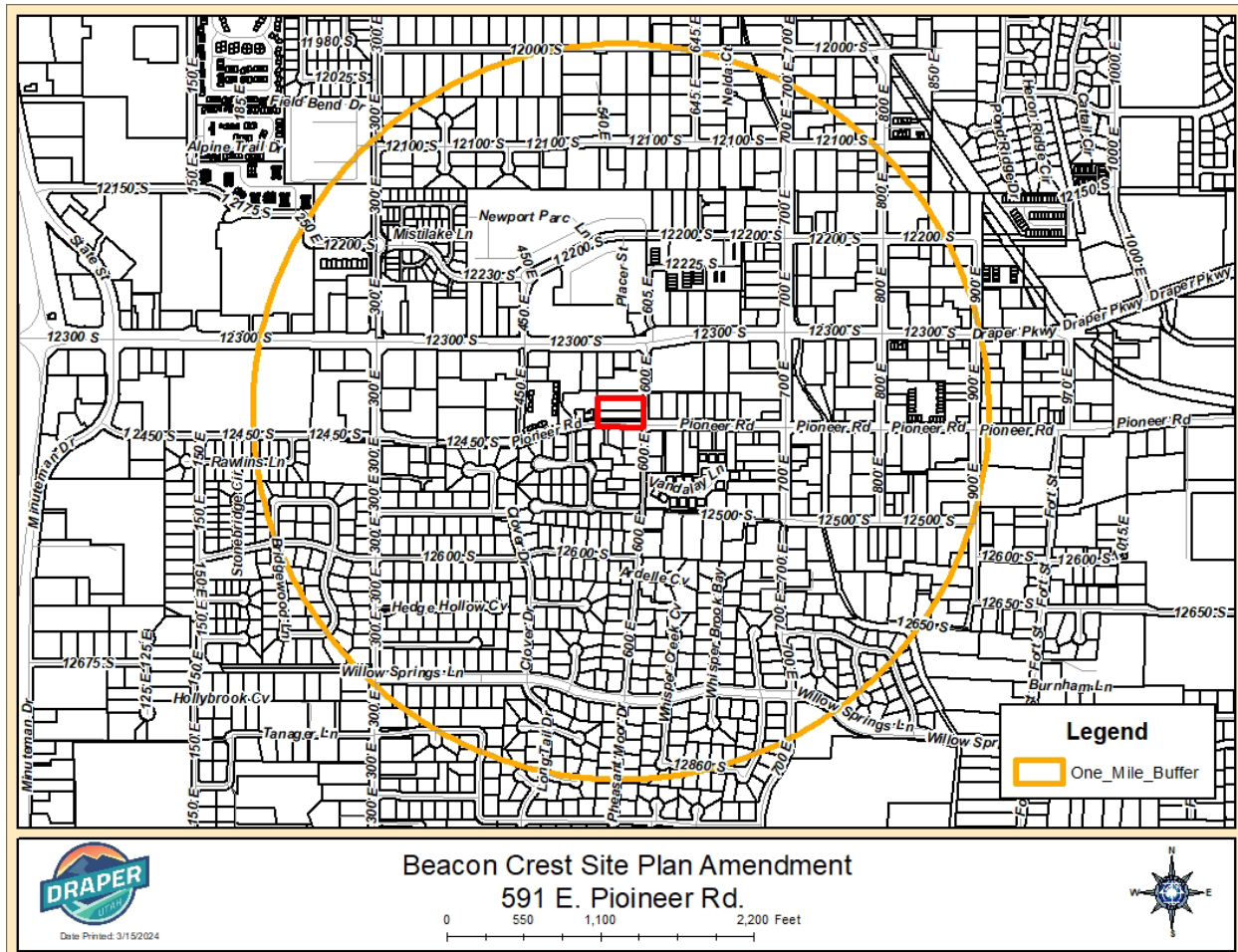


EXHIBIT C AERIAL MAP



EXHIBIT D LAND USE MAP

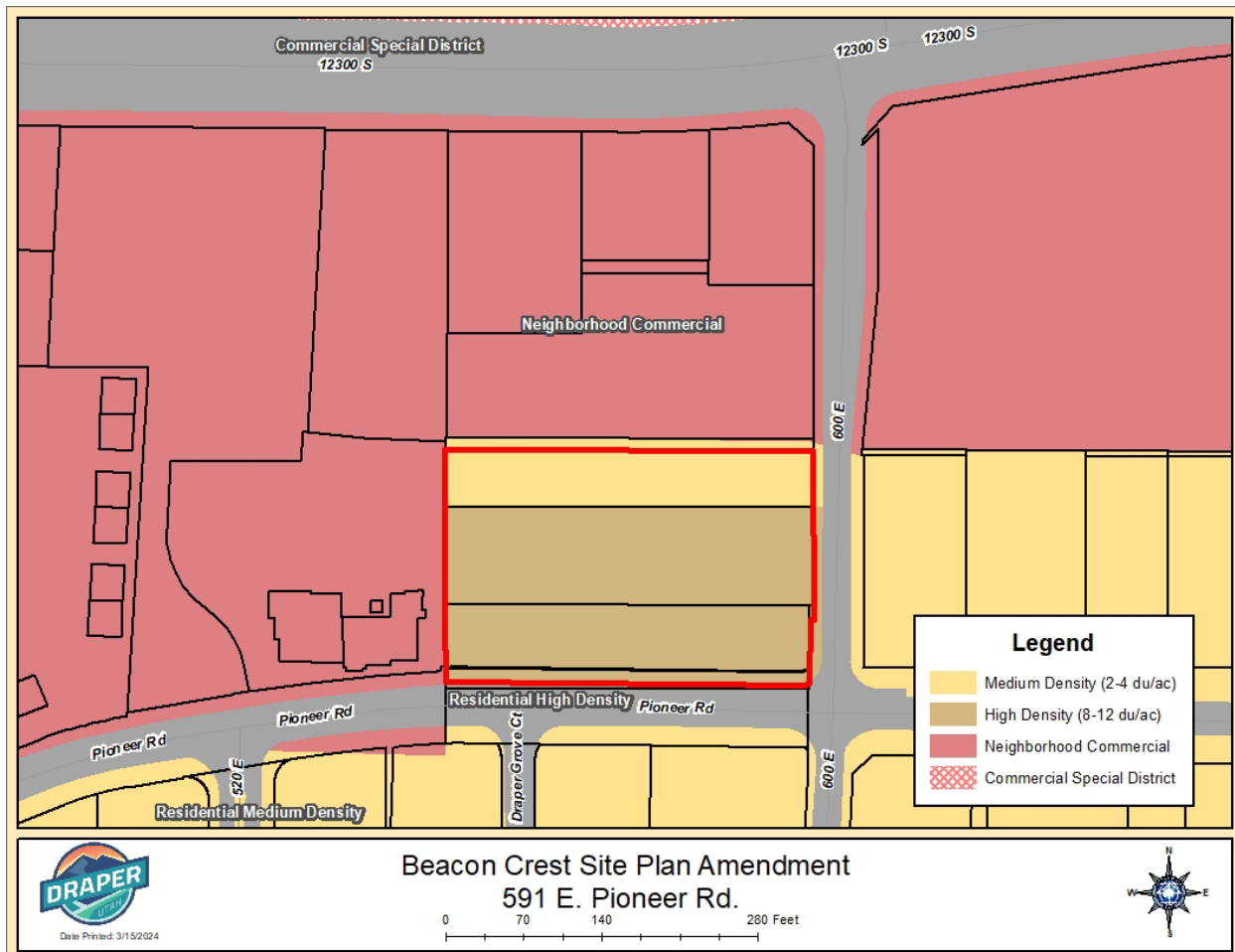


EXHIBIT E
ZONING MAP

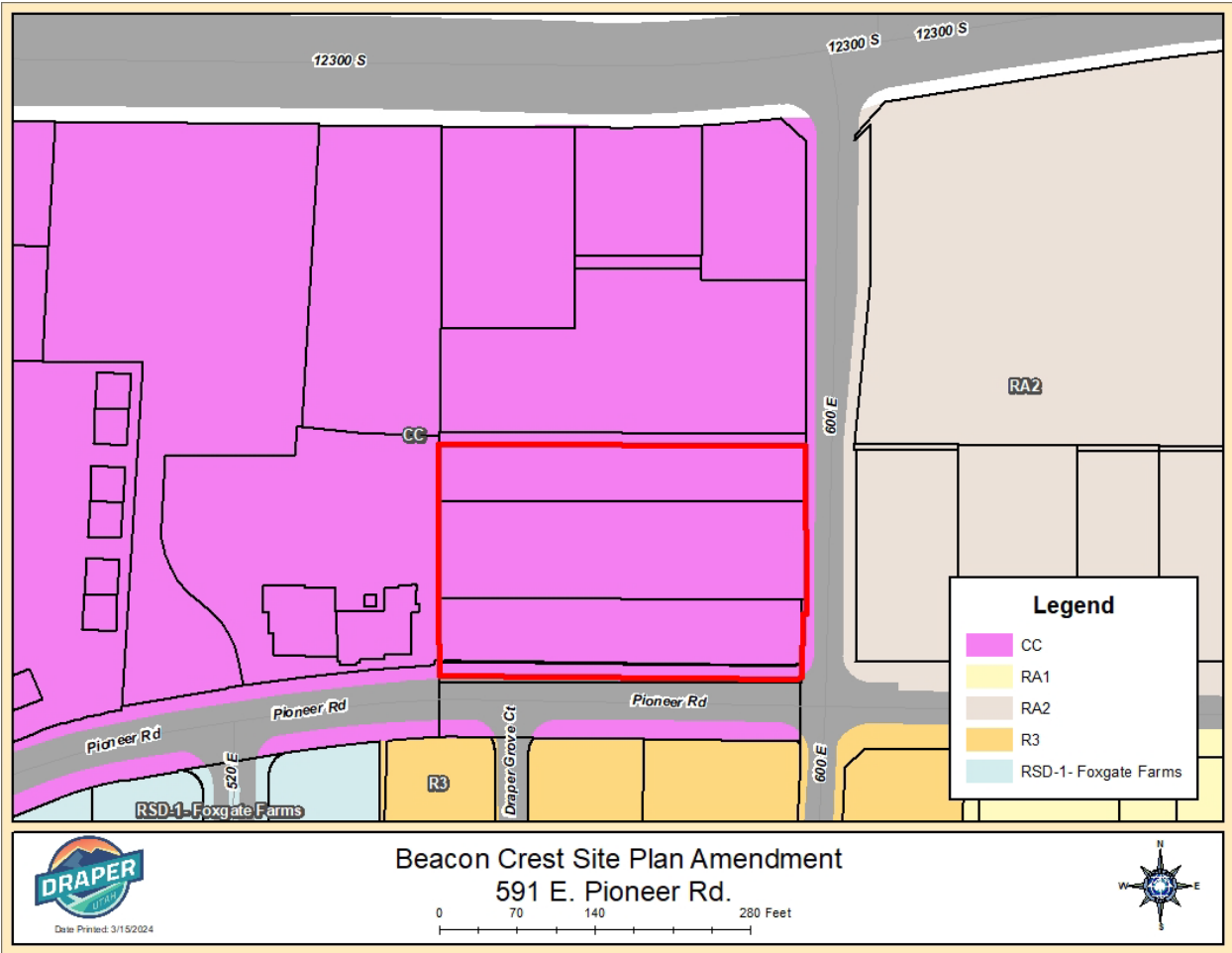


EXHIBIT F
SITE PLAN

811

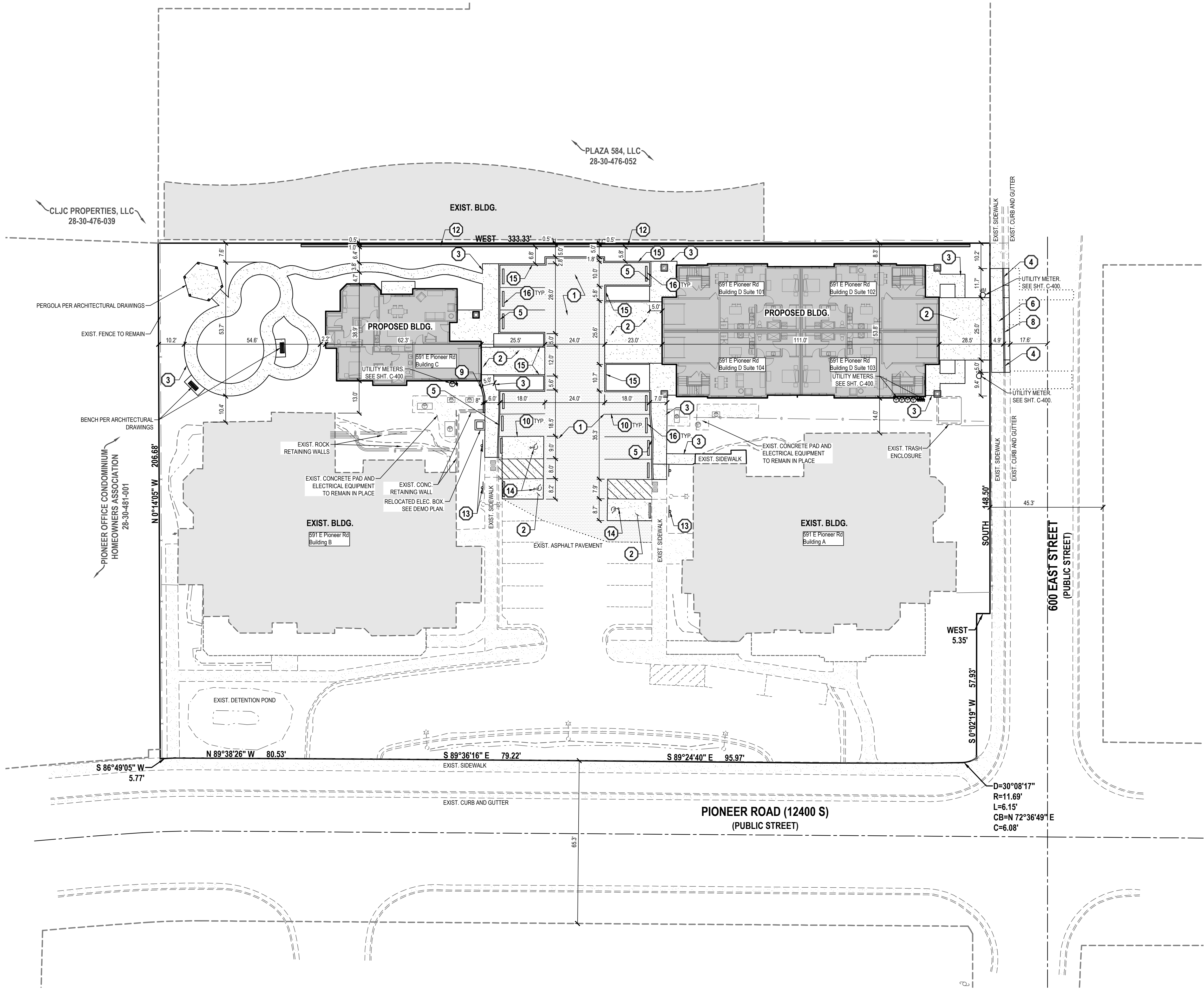
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER OF SECTION 30,
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4468.89'



- GENERAL NOTES
1.

ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2.

ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3.

SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4.

ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5.

ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6.

NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7.

THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 1

ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 5/C-600.
- 2

CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 6/C-600.
- 3

4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- 4

30" CURB AND GUTTER PER DRAPER CITY STANDARD DETAIL ST-10.
- 5

MONOLITHIC CURB PER DETAIL 7/C-600.
- 6

CONCRETE SIDEWALK PER DRAPER CITY STANDARD DETAIL ST-12.
- 7

TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
- 8

MOUNTABLE CURB DRIVEWAY APPROACH SIMILAR TO DRAPER CITY STANDARD DETAIL ST-08.
- 9

EXTEND FOUNDATION WALL FROM STRUCTURE TO EXISTING MECHANICAL PAD RETAINING WALL. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- 10

4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- 11

HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
- 12

CONCRETE RETAINING WALL (MAXIMUM 3.0' HEIGHT) SEE GRADING PLAN FOR ELEVATION INFORMATION.
- 13

"HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 14

PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- 15

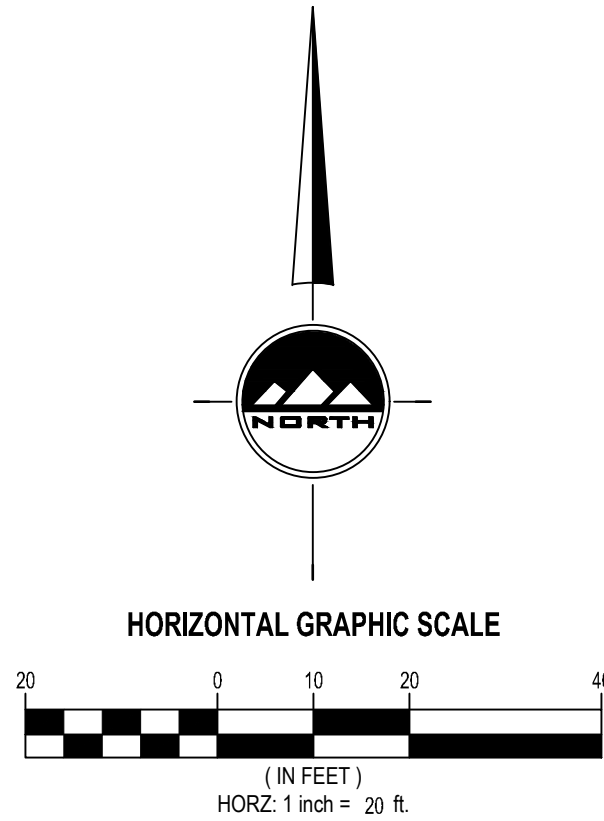
6" TYPE "F" CURB WALL PER APWA STANDARD PLAN NO. 209.
- 16

CONCRETE WHEEL STOP PER DETAIL 1/C-601.

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	24,796	36%
BUILDING	22,961	33%
LANDSCAPING	20,392	31%
TOTAL SITE	68,749 1.578 ACRES	100%

NOTE: 533 LINEAR FEET OF STREET FRONTAGE

PARKING DATA TABLE	
STANDARD STALLS	25
ADA - ACCESSIBLE STALLS	3
TOTAL STALLS	28



EN SIGN

THE STANDARD IN ENGINEERING

SANDY

45 W 10000 S, Suite 500

Sandy, UT 84070

Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:

BEECHER WALKER ARCHITECTURE

3115 EAST LION LANE, #200

HOLLADAY, UTAH 84121

CONTACT:

RACHEL SORENSEN

PHONE: 801-438-9500

BEACON CREST COTTAGES

12374 SOUTH 600 EAST

DRAPER, UTAH

LICENSED PROFESSIONAL ENGINEER

2/15/2024

No. 9125581-2202

MICHAEL S. BUDGE

STATE OF UTAH

SITE PLAN

PROJECT NUMBER
6279B

PRINT DATE
2024-02-15

PROJECT MANAGER
MB

DESIGNED BY
MB

C-200

\\nas01\p\20230215\12374 SOUTH 600 EAST\DWG\12374 SOUTH 600 EAST\12374 SOUTH 600 EAST.dwg

40

EXHIBIT G
LANDSCAPE PLAN

811

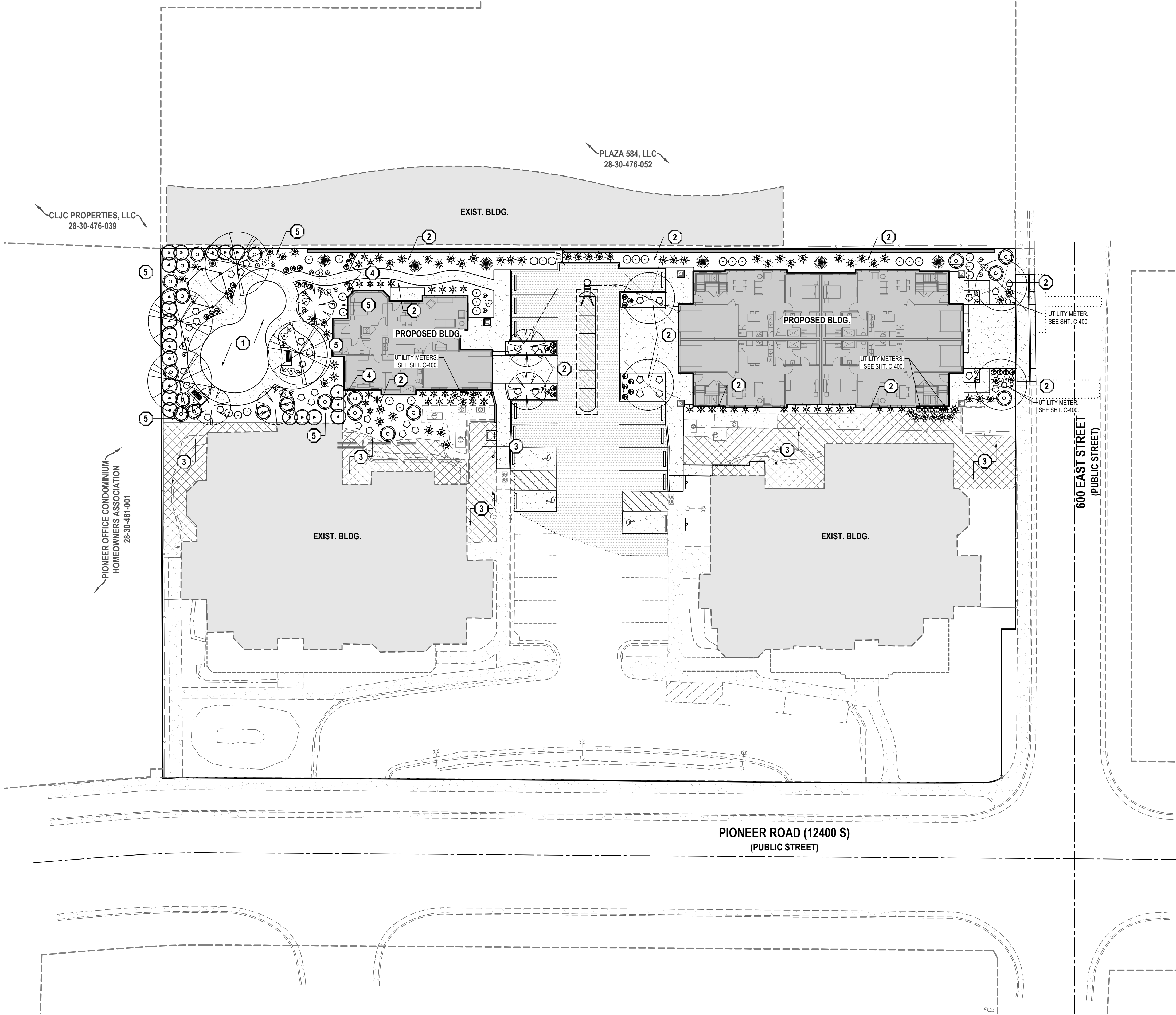
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BENCHMARK

EAST QUARTER CORNER OF SECTION 30,
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4468.89'



Landscape

Trees				
Qty	Symbol	Common Name	Botanical Name	Plant Size
4		Bigtooth Maple	Acer grandidentatum	2" Cal.
5		Flowering Plum	Prunus cerasifera	2" Cal.
6		Taylor Juniper Tree	Juniperus virginiana 'Taylor'	6' Min.
5		Tatarian Maple	Acer tatarica	2" Cal.

Shrubs				
Qty	Symbol	Common Name	Botanical Name	Plant Size
29		Barberry, 'Crimson Pygmy'	Berberis thunbergii atropurpurea nana	5 Gallon
37		Cinquefoil	Potentilla fruticosa 'Abbotswood'	5 Gallon
21		Winged Euonymus	Euonymus alatus 'Grove's Compactus'	5 Gallon
64		Pine, Mugo	Pinus mugo 'Compacta'	5 Gallon
20		Creeping Juniper	Juniperus horizontalis	5 Gallon

Annuals-Perennials				
Qty	Symbol	Common Name	Botanical Name	Plant Size
24		Daylily	Hemerocallis	1 Gallon
10		Black-Eyed Susan	Rudbeckia hirta	1 Gallon
35		Fountain Grass	Pennisetum setaceum	1 Gallon
42		Hosta	Hosta 'Gold Standard'	1 Gallon

- 1 Install sod
- 2 In all planter bed areas, install 4" deep 2"-3" dia. Nephi Rock & Gravel color 'Southtown' or equiv. decorative rock over weed barrier, typ.
- 3 Existing landscaping to remain
- 4 Install 4" metal edging
- 5 Install 4" deep bark mulch

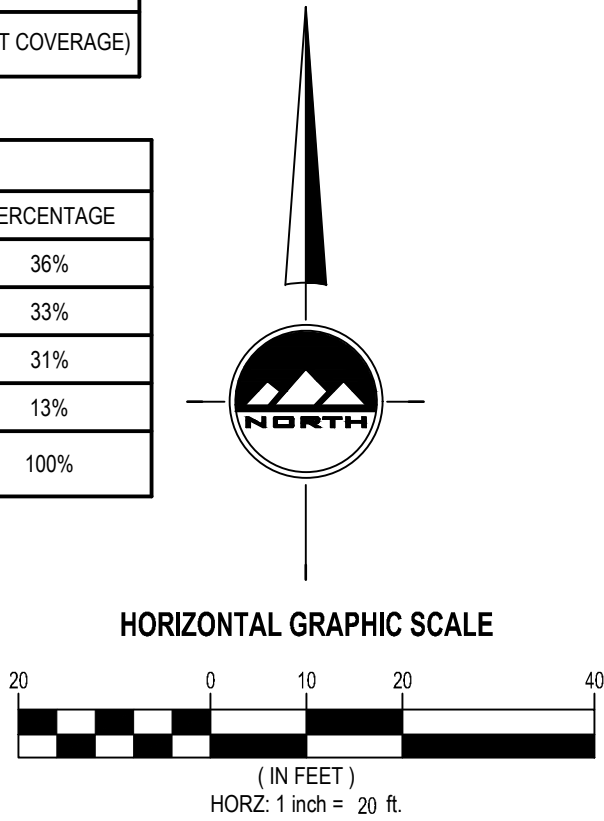
Landscape Notes

Soil Preparation: Soil preparation shall be suitable for providing healthy growing conditions for the plants and encourage water infiltration and penetration. Soil preparation shall include scarifying the soil to a depth of six inches (6") or greater and amending the soil with fertilizer or organic material.

Landscape architect or landscape designer will have a laboratory analysis of the site soils composition performed and include details regarding the type, quantity, and rate of soil amendments to be added to each planting area with respect to the nutrient needs of the selected plants within the landscape plan. All imported topsoil material shall meet the nutrient needs of selected plants within the landscape plan. All topsoil in planting areas shall meet Draper City topsoil standards.

LANDSCAPE COVERAGE CALCULATIONS			
PLANT NAME	QUANTITY	AREA (SF)	TOTAL AREA (SF)
BARBERRY	29	20	580
CINQUEFOIL	37	20	740
WINGED EUONYMUS	21	28	588
MUGO PINE	64	20	1280
CREeping JUNIPER	20	50	1000
DAYLILY	24	3	72
BLACK-EYED SUSAN	10	3	30
FOUNTAIN GRASS	35	7	245
HOSTA	42	7	294
TOTAL	263	NA	4,829
SOD	NA	NA	823
TOTAL PLANT COVERAGE AREA = 5,652 SQ. FT.			
TOTAL LANDSCAPE AREA = 7,308 SQ. FT. (77% PLANT COVERAGE)			

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	24,796	36%
BUILDING	22,961	33%
LANDSCAPING (PROPOSED AND EXISTING)	20,992	31%
SOD AREA (PROPOSED AND EXISTING)	8,878	13%
TOTAL SITE	68,749 1.576 ACRES	100%



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FOR:
BEECHER WALKER ARCHITECTURE
3115 EAST LION LANE, #200
HOLLADAY, UTAH 84121

CONTACT:
RACHEL SORENSEN
PHONE: 801-438-9500

BEACON CREST COTTAGES

12374 SOUTH 600 EAST
DRAPER, UTAH

LANDSCAPE PLAN

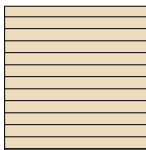
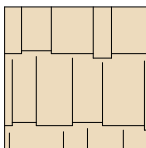
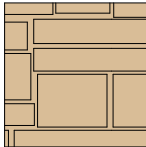


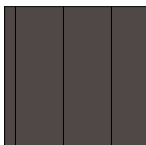
PROJECT NUMBER
62796
PROJECT MANAGER
MB
PRINT DATE
2024-02-16
DESIGNED BY
MB

L-100

EXHIBIT H
ELEVATIONS, COLORS AND MATERIALS



EXTERIOR MATERIALS LEGEND

	HARDI BOARD LAP SIDING: ANTLER VELVET SW9111
	HARDI BOARD SHINGLE SIDING: ANTLER VELVET SW9111
	NATURAL STONE: PROMINENCE NATURAL STONE, CUSTOM BLEND 40% DAVENTRY 40% RICHMOND 20% CAPRI
	HARDI BOARD TRIM: WHITE
	SHINGLE ROOF: OWENS CORNING - DRIFTWOOD
	STANDING SEAM: DARK BRONZE

BEACON CREST COTTAGES
C
Project Address



beechwalker
Architecture/Interiors

o. 801.438.9500 3115 EAST LION LANE, #200
f. 801.438.9501 HOLLADAY, UTAH 84121

BECHERWALKER.COM

PROJECT NUMBER
Project Number

<p>DWYN BY Author</p>	<p>CHKD BY Checker</p>
----------------------------------	-----------------------------------

Project Status

EXTERIOR ELEVATIONS

DRAWING NUMBER

A902

This drawing is an instrument of professional service, in the property of BEECHER, WALKER & ASSOCIATES, L.L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of BEECHER, WALKER & ASSOCIATES, L.L.C. (hereinafter "BWA"). BWA's use of the drawing is limited to the project and shall be void if the drawing is used for any other project.

C

B

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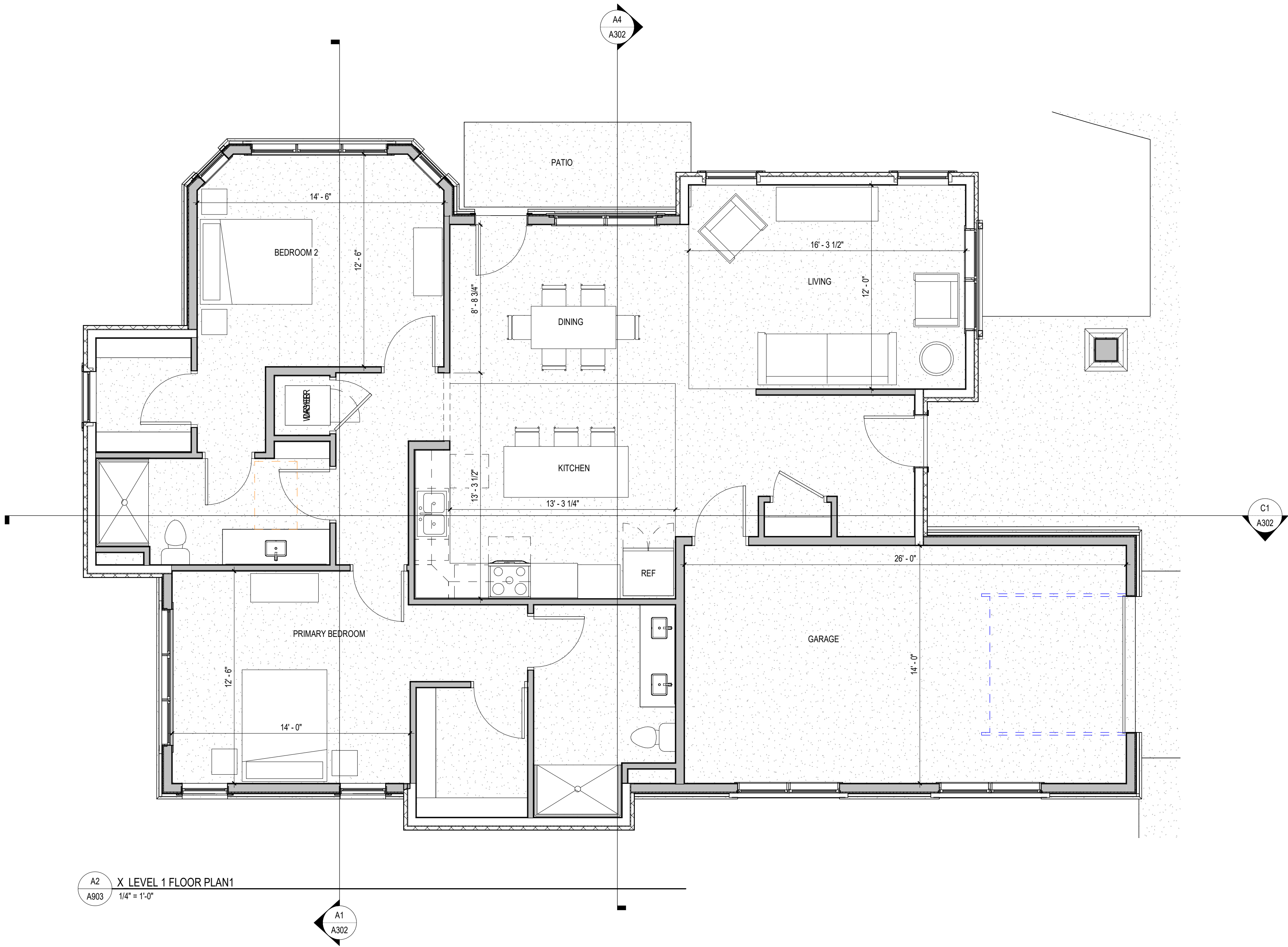
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MAIN LEVEL = 1,923 GSF
1,515 GSF (W/O GARAGE)

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE

BEACON CREST COTTAGES
Project Address

beecherwalker

Architecture/Interiors

o. 801.438.9600

f. 801.438.9601

3115 EAST LION LANE, #200

HOLLADAY, UTAH 84121

BEECHERWALKER.COM

PROJECT NUMBER	
Project Number	
DWN BY	CHKD BY
Author	Checker
Project Status	

BUILDING D PLAN

DRAWING NUMBER

A903

1

2

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6

EXTERIOR MATERIALS BY ORIENTATION

	MATERIAL	AREA	%
EAST	HARDE BOARD SIDING, ANTLER VELVET SW911	97 SF	22%
	NATURAL STONE, CUSTOM BLEND	291 SF	65%
	WHITE HARDO BOARD TRIM	55 SF	13%
		447 SF	100%
NORTH	HARDE BOARD SIDING, ANTLER VELVET SW911	224 SF	30%
	NATURAL STONE, CUSTOM BLEND	387 SF	52%
	WHITE HARDO BOARD TRIM	140 SF	19%
		751 SF	100%
SOUTH	HARDE BOARD SIDING, ANTLER VELVET SW911	380 SF	44%
	NATURAL STONE, CUSTOM BLEND	335 SF	40%
	WHITE HARDO BOARD TRIM	150 SF	18%
		865 SF	100%
WEST	HARD SHINGLE BOARD, ANTLER VELVET SW911	47 SF	11%
	HARDE BOARD SIDING, ANTLER VELVET SW911	67 SF	16%
	NATURAL STONE, CUSTOM BLEND	207 SF	52%
	WHITE HARDO BOARD TRIM	55 SF	15%
	386 SF	100%	
APPROXIMATE TOTAL S.F.		2,438 SF	

EXTERIOR MATERIALS LEGEND

[illegible]

BEACON CREST COTTAGES



PROJECT NUMBER	
Project Number	
DWN BY Author	CHKD BY Checker
Project Status	

EXTERIOR ELEVATIONS

DRAWING NUMBER

A904

46

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BECON CREST COTTAGES DIGITAL SAMPLE BOARD

FINISHES MATCH THE EXISTING BEACON CREST BUILDINGS



PROMINENCE NATURAL
STONE CUSTOM BLEND -
40% DAVENTRY
40% RICHMOND
20% CAPRI



STANDING SEAM -
DARK BRONZE



HARDI BOARD SHINGLE SIDING -
ANTLER VELVET SW9111

SHINGLE ROOF OWENS CORNING -
DRIFTWOOD

HARDI BOARD TRIM -
WHITE



HARDI BOARD LAP SIDING -
ANTLER VELVET SW9111

[illegible]

BEACON CREST COTTAGES

beecherwalker
Architecture/Interiors

o. 801.338.9500 | 3115 EAST LION LANE, #200
f. 801.338.9501 | HOLLADAY, UTAH 84121

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PROJECT NUMBER	
Project Number	
DWN BY Author	CHKD BY Checker
Project Status	

SAMPLE BOARD

DRAWING NUMBER

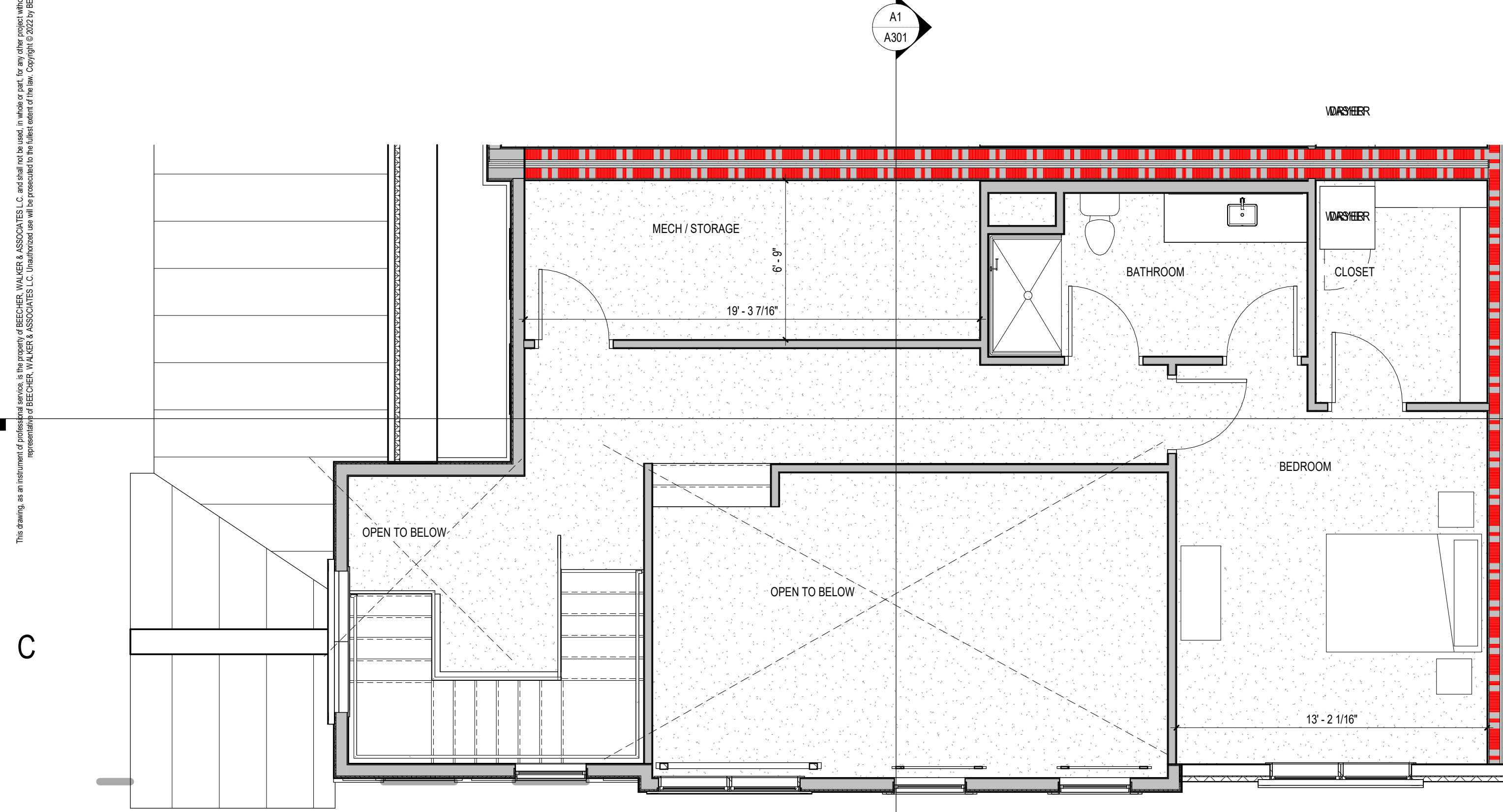
A905

EXHIBIT I
FLOOR PLANS

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C

C2 LEVEL 2 SCHEMATIC PLAN
A901 1/4" = 1'-0"



MAIN LEVEL = 1,390 GSF
UPPER LEVEL = 729 GSF
TOTAL = 2,119 GSF
1,816 GSF (W/O GARAGE)

BEACON CREST COTTAGES
Project Address

beecherwalker
Architecture/Interiors
3115 EAST LION LANE, #200
HOLLADAY, UTAH 84121
p. 801.438.9600
f. 801.438.9501
BEECHERWALKER.COM

PROJECT NUMBER
Project Number
DWN BY
Author
CHKD BY
Checker
Project Status

BUILDING C PLANS

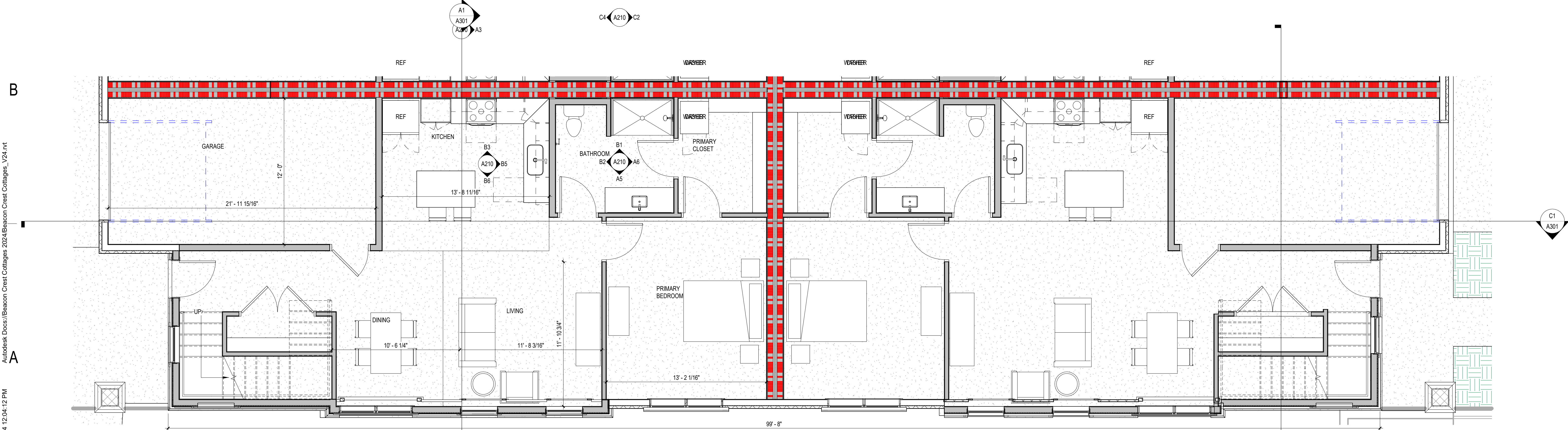
DRAWING NUMBER
A901

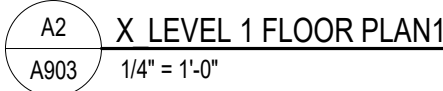
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B

A2 LEVEL 1 SCHEMATIC PLAN
A901 1/4" = 1'-0"





BEACON CREST COTTAGES
Project Address

PROJECT NUMBER	
Project Number	
DWN BY Author	CHKD BY Checker
Project Status	

BUILDING D PLAN

DRAWING NUMBER

A903

[illegible]

EXHIBIT J
LIGHTING PLANS

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D

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A1 ELECTRICAL SITE PLAN
SCALE: 3/32" = 1'-0"



GENERAL SHEET NOTES		SHEET KEYNOTES	
1	THE ELECTRICAL CONTRACTOR SHALL MEET WITH AND COORDINATE WITH ALL SERVICE PROVIDERS (POWER, COMMUNICATION, CABLE/SATELLITE, ETC.) TO THE FACILITY ON SITE PRIOR TO ANY WORK BEING PERFORMED. CONFIRM WITH EACH SERVICE PROVIDER EXACT LOCATIONS OF EQUIPMENT AND ROUTING. COMPLY WITH ALL SERVICE PROVIDER'S CURRENT STANDARDS AND REQUIREMENTS. PROVIDE THE REQUIRED EQUIPMENT, RACEWAYS, BOXES, CABLE, ETC. AS REQUIRED BY THE SERVICE PROVIDER WHETHER SHOWN ON THE DRAWINGS OR NOT.		
2	FOR ALL LIGHT FIXTURES, POLE LIGHTS, AND ALL OTHER ELECTRICAL DEVICES THE CONTRACTOR SHALL COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS WITH ARCHITECT, OWNER, ENGINEER, AND ALL OF THE CONTRACT DOCUMENTS PRIOR TO ROUGH IN AND TRENCHING.		
3	CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, BACKFILL, AND COMPACTION ASSOCIATED TO ALL ELECTRICAL UNDERGROUND RACEWAYS AND CABLES. COORDINATE WITH ARCHITECTURAL AND CIVIL DRAWINGS. SEE UNDERGROUND RACEWAY DETAILS FOR REQUIREMENTS FOR EACH TRENCH.		
4	CONTRACTOR SHALL INSTALL POLE MOUNTED LIGHTS IN STRAIGHT LINES, SQUARE, AND PLUMB. COORDINATE WITH ARCHITECT AND CIVIL DRAWINGS.		
5	THE ELECTRICAL CONTRACTOR SHALL HAVE ANY AND ALL CONCRETE POLE BASES AND SLABS REVIEWED BY A STRUCTURAL ENGINEER AND SHALL MODIFY DESIGN PER STRUCTURAL ENGINEER'S AND OR A/E'S RECOMMENDATIONS.		
6	PROVIDE BATTERY PACKS IN ALL EXTERIOR FIXTURES ADJACENT TO EGRESS DOORS.		
7	PROVIDE PHOTOCELL ON NORTH SIDE OF FACILITY TO CONTROL EXTERIOR LIGHTS.		
8	ALL EXTERIOR RECEPTACLES SHOWN SHALL BE NEMA 5-20R GFCI "WEATHER RESISTANT" RECEPTACLE WITH "WEATHER PROOF IN-USE COVER."		
9	THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONCRETE/ASPHALT CUTTING AND REPLACEMENT OF CONCRETE/ASPHALT TO MATCH EXISTING ASSOCIATED WITH UNDERGROUND RACEWAYS PROVIDED AS PART OF THIS PROJECT.		
10	REFER TO PLANS FOR CONSTRAINTS ON PHYSICAL DIMENSIONS AND CLEARANCE REQUIREMENTS OF EQUIPMENT. PROVIDE EQUIPMENT DIMENSIONS THAT FALL WITHIN THE CONSTRAINTS OF EACH SPECIFIC LOCATION.		
11	PROVIDE SERVICE RATED EQUIPMENT AT EACH SERVICE ENTRANCE.		
12	SERVICE EQUIPMENT SHALL BE LEGIBLY MARKED IN THE FIELD WITH THE MAXIMUM AVAILABLE FAULT CURRENT. VERIFY OR RE-CALCULATE THE AVAILABLE FAULT CURRENT AT THE SERVICE WHERE MODIFICATIONS TO THE ELECTRICAL INSTALLATION OCCUR. PLEASE INCLUDE NOTES IN THE ELECTRICAL DRAWINGS OR SUPPLY CALCULATIONS WHERE APPLICABLE. SEE NEC 110.24 (B).		

BEACON CREST COTTAGES
Project Address

SPENCER C. LITTLE
No. 72580892
12-13-2024
STATE OF UTAH

beecherwalker
Architecture/Interiors
3115 EAST LON LANE #200 HOLLADAY, UTAH 84121
p. 801.438.9500 f. 801.438.9501 beecherwalker.com

PROJECT NUMBER
Project Number

DWN BY
Author

CHKD BY
Checker

Project Status

ELECTRICAL SITE
PLAN

DRAWING NUMBER
ES101

C

B

A

F

D

MAIN	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE

600 EAST STREET

D

7

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1



Calculation Summary					
Description	Requirement	Units	Avg	Max	Max/Avg
Site Boundary North	Max at boundary is 0.2 fc	Fc	0.03	0.1	3.33
Site Boundary West	Max at boundary is 0.2 fc	Fc	0.03	0.1	3.33
Site Entire site	Max 8.0 fc	Fc	0.72	6.4	8.89
Site Walkways	Max 7.0 fc	Fc	0.90	6.5	7.22

C	BEACON CREST COTTAGES Project Address								
									
B	 beecherwalker Architecture Interiors P. 801-438-9500 3115 EAST LIONLANE #200 F. 801-438-9501 HOLLADAY, UTAH 84121 BEECHERWALKER.COM								
A	<table border="1"><tr><th colspan="2">PROJECT NUMBER</th></tr><tr><td colspan="2">Project Number _____</td></tr><tr><td>DWN BY Author</td><td>CHKD BY Checker</td></tr><tr><td colspan="2">Project Status _____</td></tr></table> SITE PHOTOMETRIC CALCULATIONS DRAWING NUMBER ES201	PROJECT NUMBER		Project Number _____		DWN BY Author	CHKD BY Checker	Project Status _____	
PROJECT NUMBER									
Project Number _____									
DWN BY Author	CHKD BY Checker								
Project Status _____									

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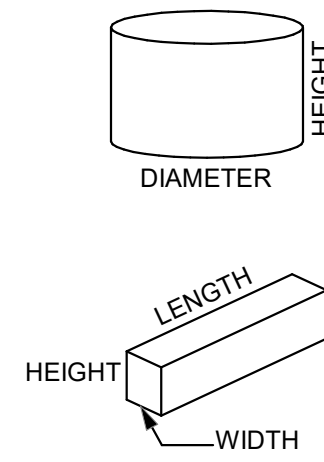
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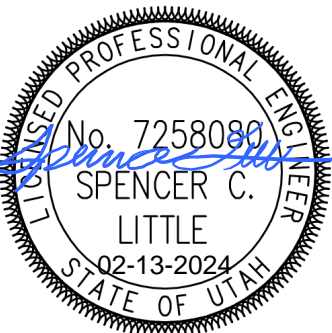
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EXTERIOR LIGHTING FIXTURE SCHEDULE													
			GENERAL NOTES										
			<div>1. SUBSTITUTIONS AND/OR EQUAL FIXTURES MUST RECEIVE APPROVAL PRIOR TO BIDDING, THEY MUST BE SUBMITTED TO THE ENGINEER NO LESS THAN 2 WEEKS PRIOR TO BID OPENING.</div> <div>2. SAMPLES MUST BE PROVIDED FOR ANY AND ALL FIXTURES UPON A/E REQUEST PRIOR TO RELEASING FIXTURES.</div> <div>3. ALL FIXTURES SHALL BE LISTED AND APPROVED FOR THEIR INTENDED USE AND LOCATION.</div> <div>4. VERIFY THE PROPER MOUNTING KITS OR ACCESSORIES TO FACILITATE INSTALLATION AS SHOWN AT EACH LOCATION ON THE DRAWINGS.</div> <div>5. COMPLY WITH THE "INTERIOR LIGHTING" SECTION OF THE SPECIFICATIONS.</div> <div>6. ALL LIGHT FIXTURES TO BE EITHER "DLC" OR "LIGHTING FACTS" LISTED OR TO BE APPROVED BY ARCHITECT/ENGINEER AND OWNER.</div> <div>7. CONTRACTOR ALLOWANCE PRICES ARE ACCURATE WHEN THIS JOB WAS SPECIFIED. CONTRACTOR AND ELECTRICAL DISTRIBUTOR SHALL VERIFY THIS ALLOWANCE AND REPORT ANY PROBLEMS TO THE ENGINEER BEFORE THE BID. ALLOWANCE PRICE MAY OR MAY NOT INCLUDE LAMP(S) OR FREIGHT AS NOTED, AND DO NOT INCLUDE ANY TAXES.</div>										
ID	DESCRIPTION	SIZE (NOMINAL)	LUMINAIRE					DRIVER				MANUFACTURER	
			BACK	5	GLARE	LUMENS	COLOR TEMP	CRI	TYPE	VOLTAGE	WATTS		
(OB1)	DESCRIPTION: LED BOLLARD MOUNTING: GROUND FINISH: SCBA OPTICS: ASYMMETRIC DISTRIBUTION OPTIONS: - WIND RATING: - EM: NONE	HEIGHT: 42" DIAMETER: 8"	0	1	0	559	4000K	80	LED DRIVER	120/277	8	LITHONIA RADEAN BOLLARD	
(OL2)	DESCRIPTION: 2" WIDE LINEAR, 500 LUMENS/FT MOUNTING: ATTACH TO SIDE OF STRUCTURE FINISH: OPTICS: DIRECT OPTIONS: FLUSH LENS, WET LOCATION EM: NONE	LENGTH: 24" WIDTH: 4.5" DEPTH: 3.75"				2,068	4000K	80	LED DRIVER	120/277	23	LUMERWERX VIA WET SERIES	
(OP4)	DESCRIPTION: LED AREA LIGHT, SINGLE HEAD MOUNTING: POLE MOUNTED FINISH: SCBA OPTICS: TYPE IV DISTRIBUTION OPTIONS: HOUSE SIDE SHIELD WIND RATING: - 0.44 EM: NONE	LENGTH: 17.5" WIDTH: 17.5" DEPTH: 7" POLE HEIGHT: 12	1	0	2	3,838	4000K	80	LED DRIVER	120/277	33	LITHONIA DSX0 STEEL SQUARE POLE	
(OS1)	DESCRIPTION: PORCH LIGHT (PART OF BUILDING PACKAGE) MOUNTING: WALL FINISH: SCBA OPTICS: OPTIONS: EM:	WIDTH: - HEIGHT: -				0	-				120	SUTTER CREEK WALL LANTERN	

BEACON CREST COTTAGES
Project Address



beecherwalker
Architecture/Interiors
3115 EAST LION LANE #200
HOLLADAY, UTAH 84121
p. 801.438.9500 f. 801.438.9501 beecherwalker.com

PROJECT NUMBER	Project Number
DWN BY	CHKD BY
Author	Checker
Project Status	

EXTERIOR LIGHTING
FIXTURE SCHEDULE

DRAWING NUMBER
EL602

MEMO



To: Planning Commission
From: Todd A. Draper, AICP

Date: 2024-03-28

Re: Public Hearing: City Initiated Landscape Ordinance Update (Legislative Item)

Comments:

This application is a request for approval of a Text Amendment to amend landscaping exemptions for storm water management areas, public facilities, private schools, and private parks from the limitations on turf installation on slopes and areas less than eight feet in width. These exemptions may conflict with the water conservation rules adopted by the Utah Department of Natural Resources Division of Water Resources.

The findings for a positive recommendation are as follows:

1. The proposed amendment is consistent with goals, objectives and policies of the city's general plan;
2. The proposed amendment furthers the specific purpose statements of the zoning ordinance;
3. The proposed amendment is appropriate given the context of the request and there is sufficient justification for a modification to the zoning ordinance;
4. The proposed amendment will not create a conflict with any other section or part of this title or the general plan;
5. The potential effects of the proposed amendment have been evaluated and are determined not to be detrimental to public health, safety, or welfare and represent an overall community benefit; and
6. The proposed text amendment implements best current, professional practices of urban planning, design, and engineering.

The findings for a negative recommendation are as follows:

1. The proposed amendment is not consistent with goals, objectives and policies of the city's general plan;
2. The proposed amendment does not further the specific purpose statements of the zoning ordinance;
3. The proposed amendment is not appropriate given the context of the request and there is not sufficient justification for a modification to the zoning ordinance;

4. The proposed amendment could create a conflict with another section or part of this title or the general plan;
5. The potential effects of the proposed amendment have been determined to be detrimental to public health, safety, or welfare or do not represent an overall community benefit; and
6. The proposed text amendment is not consistent with current best practices of urban planning, design, and engineering.

ATTACHMENTS:

[2024-0077-TA - PC Staff Report.pdf](#)



Development Review Committee

1020 East Pioneer Road

Draper, UT 84020

March 19, 2024

To: Draper City Planning Commission
Business Date: March 28, 2024

From: Development Review Committee

Prepared By: Todd A. Draper, AICP, Planning Manager
Planning Division
Community Development Department
801-576-6335, todd.draper@draperutah.gov

Re: City Initiated Landscape Ordinance Update – Text Amendment Request

Application No.: 2024-0077-TA

Applicant: Draper City

Project Location: City Wide

Acreage: City Wide

Request: Request for approval of a Text Amendment regarding removal of exemptions for storm water management areas, public facilities, private schools, and private parks from the limitations on turf installation on slopes and areas less than eight feet in width.

BACKGROUND AND SUMMARY

This application is a request for approval of a Text Amendment to amend landscaping exemptions for storm water management areas, public facilities, private schools, and private parks from the limitations on turf installation on slopes and areas less than eight feet in width. These exemptions may conflict with the water conservation rules adopted by the Utah Department of Natural Resources Division of Water Resources.

A comprehensive update to the landscaping ordinance found in Draper City Municipal Code (DCMC) Chapter 9-23 was approved by the City Council on June 20, 2023. On July 11, 2023 the Utah Department of Natural Resources Division of Water Resources adopted new rules regarding water efficient landscaping incentives and water use efficiency standards including rule R653-11-10 (Exhibit C) setting a Statewide limitation for new residential development that no lawn areas be less than eight feet in width.



ANALYSIS

Text Amendments. The legislative copy of the changes can be found in Exhibit B of this report. Additions to the text are indicated in blue, deletions in red, and unchanged text in black.

The following is an analysis of the proposed text.

DCMC Section 9-3-030: Jordan Valley Water Conservancy District Efficiency Standards: In the published Jordan Valley Water Conservancy District (JVWCD) water efficiency standards, exemptions from installing lawn on slopes greater than twenty-five percent (25%) or in areas less than eight feet (8') in width was permitted to be given on a case-by-case basis. When preparing the proposed text for incorporation into the DCMC, four specific areas where these exemptions could potentially be warranted were included in the City ordinance with the concurrence of JVWCD staff. These areas included storm water management areas, public facilities, private schools, and private parks.

Three weeks after the adoption of the City ordinance, the Utah Department of Natural Resources Division of Water Resources published new rules for Water Use Efficiency Standards and Water efficient Landscaping Incentives (Exhibit C). The Division of Water Resources notified Draper City through the JVWCD that the minor exemptions included in Draper City code were believed to be in conflict with the new State rule R653-11-10 as it pertained to municipalities, and could jeopardize the ability of Draper residents to participate in the waterwise rebate programs offered by JVWCD. Despite some ambiguity with the State rules as written, planning staff agreed that these specific exemptions are not necessary to accomplish the goals or objectives of the ordinance, and should be removed to avoid any potential conflict.

Criteria For Approval.

A Text and Map Amendment is a matter committed to the legislative discretion of the City Council and is not controlled by any one standard. However, in making a recommendation to the City Council, the Planning Commission should consider the following factors in Section 9-5-060(E) of the DCMC:

2. Text Amendments:

- a. Whether the proposed amendment is consistent with goals, objectives and policies of the city's general plan;*
- b. Whether a proposed amendment furthers the specific purpose statements of the zoning ordinance;*
- c. Whether the proposed amendment is appropriate given the context of the request and there is sufficient justification for a modification to the zoning ordinance;*
- d. The proposed amendment will not create a conflict with any other section or part of this title or the general plan;*

- e. Whether the potential effects of the proposed amendment have been evaluated and determined not to be detrimental to public health, safety, or welfare and represents an overall community benefit; and*
- f. The extent to which a proposed text amendment implements best current, professional practices of urban planning, design, and engineering practices*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Text Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Legal Division Review. The Draper City Attorney has completed his review of the Text Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission review the request, receive public comment, and make a recommendation to the City Council based on the findings listed below and the criteria for approval, or denial, as listed within the staff report.

The findings for a positive recommendation are as follows:

1. The proposed amendment is consistent with goals, objectives and policies of the city's general plan;
2. The proposed amendment furthers the specific purpose statements of the zoning ordinance;
3. The proposed amendment is appropriate given the context of the request and there is sufficient justification for a modification to the zoning ordinance;
4. The proposed amendment will not create a conflict with any other section or part of this title or the general plan;
5. The potential effects of the proposed amendment have been evaluated and are determined not to be detrimental to public health, safety, or welfare and represent an overall community benefit; and
6. The proposed text amendment implements best current, professional practices of urban planning, design, and engineering.

The findings for a negative recommendation are as follows:

1. The proposed amendment is not consistent with goals, objectives and policies of the city's general plan;
2. The proposed amendment does not further the specific purpose statements of the zoning ordinance;
3. The proposed amendment is not appropriate given the context of the request and there is not sufficient justification for a modification to the zoning ordinance;
4. The proposed amendment could create a conflict with another section or part of this title or the general plan;
5. The potential effects of the proposed amendment have been determined to be detrimental to public health, safety, or welfare or do not represent an overall community benefit; and
6. The proposed text amendment is not consistent with current best practices of urban planning, design, and engineering.

MODEL MOTIONS

Sample Motion for Approval – I move that we forward a positive recommendation to the City Council for the City Initiated Landscape Ordinance Update, as requested by Draper City, application 2024-0077-TA, based on the findings listed in the Staff Report dated March 19, 2024.

Sample Motion for Modified Approval– I move that we forward a recommendation to the City Council for the City Initiated Landscape Ordinance Update, as requested by Draper City, application 2024-0077-TA, based on the findings listed in the Staff Report dated March 19, 2024, and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we forward a negative recommendation to the City Council for the City Initiated Landscape Ordinance Update, as requested by Draper City, application 2024-0077-TA, based on the findings listed in the Staff Report dated March 19, 2024.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US, E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works - Engineering,
CN=Brien Maxfield
Date: 2024.03.20 19:52:02-06'00'

Draper City Public Works Department

Don Buckley

Digitally signed by Don Buckley
DN: C=US,
E=don.buckley@draper.ut.us,
O=Draper City Fire Department,
OU=Fire Marshal, CN=Don Buckley
Date: 2024.03.21 17:45:35-06'00'

Draper City Fire Department

Matthew Symes

Digitally signed by Matthew Symes
DN: C=US,
E=matt.symes@draperutah.gov,
O=Draper City Corp., CN=Matthew Symes
Date: 2024.03.20 13:42:05-06'00'

Draper City Building Division

Todd A. Draper

Digitally signed by Todd A.
Draper
DN: C=US,
E=todd.draper@draper.ut.us,
O=Draper City Planning,
CN=Todd A. Draper
Date: 2024.03.21
10:13:16-06'00'

Draper City Planning Division

Mike Barker

Digitally signed by Mike Barker
Date: 2024.03.20 14:01:51
-06'00'

Draper City Legal Counsel

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments.

Legal Division Review.

1. No additional comments.

EXHIBIT B
PROPOSED LEGISLATIVE TEXT

9-23-030: JORDAN VALLEY WATER CONSERVANCY DISTRICT EFFICIENCY STANDARDS:

...

C. JWCD Landscaping Requirements. The following reflect the published requirements of the JWCD water efficiency standards not specifically contained elsewhere in this chapter. They are applicable as outlined in subsection 9-23-030(A) above.

1. All irrigation shall be appropriate for the designated plant material to achieve the highest water efficiency.
2. Lawn shall not be installed on slopes greater than twenty-five percent (25%) or in areas less than eight feet (8') in width. To the extent reasonably practicable, lawn shall be free from obstructions (trees, signs, posts, valve boxes, etc.).

~~a. The following areas are exempt from these slope limitations and landscaping requirements:~~

- ~~(1) Storm water management areas;~~
- ~~(2) Public facilities;~~
- ~~(3) Private schools; and~~
- ~~(4) Private parks.~~

...

EXHIBIT C
STATE RULES FOR WATER CONSERVATION REQUIREMENTS AND INCENTIVES

R653. Natural Resources, Water Resources.

R653-11. Water Conservation Requirements and Incentives.

R653-11-1. Authority and Purpose.

- (1) This rule is promulgated to:
 - (a) define terms, identify exemptions, and further the objectives of Section 63A-5b-1108 in reducing outdoor water use at state government facilities;
 - (b) clarify terms and further the implementation and administration of the water conservation program created in Section 73-10-37 that financially incentivizes landowners to replace lawn with water efficient landscaping; and
 - (c) fulfill the legislative directives in Subsection 73-10-37(5).

R653-11-2. Definitions.

- (1) Terms used in this rule and not otherwise defined in this section are defined in Subsections 63A-5b-1108(1) and 73-10-37(1).
- (2) As used in this section:
 - (a) "District" means a water conservancy district, as that term is defined in Section 73-10-32.
 - (b) "Division" means the Division of Water Resources.
 - (c) "Landscaping conversion incentive program" means a program administered by a district that pays an owner a financial incentive to remove lawn from a project area on land owned by the owner.
 - (d) "Program guidelines" means guidelines adopted by a district for the district's landscaping conversion incentive program.
 - (e) "Outdoor water use" means water used for outdoor landscape irrigation and ornamental landscape water features.
 - (f) "Owner" means a person or entity that holds legal or rightful title, or a controlling interest in that title, to private or public nonagricultural land where a water end user is located.
 - (g) "Drip irrigation system" means a system of narrow distribution tubes or pipes that deliver water from a dedicated low pressure supply valve to individual plants and trees through drip emitters. Drip emitters do not include micro spray, fogger, or bubbler emitters.
 - (h) "Lawn" means nonagricultural land planted in closely mowed, managed grasses, excluding golf courses, parks, athletic fields, and sod farms.
 - (i) "Nonagricultural land" means privately or publicly owned real property immediately surrounding a home, apartment, office building, or similar structure routinely occupied by people for dwelling, business, employment, or recreation; and that is not used to grow crops or to hold, house, or feed livestock.
 - (j) "Project area" means the area from which lawn is removed and replaced with water efficient landscaping under Section 73-10-37, R653-11-7, and R653-11-8.
 - (k) "Water end user" means a person or entity that contracts with a retail water provider to obtain water for residential, commercial, industrial, or institutional use.

R653-11-3. Lawn Limitations at State Government Facilities.

- (1) As provided in Subsection 63A-5b-1108(2), a state agency that owns or occupies a state government facility built or reconstructed on or after May 4, 2022, may not have more than 20% of the grounds of the state government facility be in lawn.
- (2) The 20% lawn limitation in Subsection 63A-5b-1108(2) does not apply to state government facilities under construction or reconstruction and incomplete as of May 4, 2022.
- (3) Upon written request to the division, the division may exempt a state government facility from the 20% lawn limitations in Subsection 63A-5b-1108(2) where it determines that the purpose of the requesting state agency that occupies the facility requires additional lawn.

R653-11-4. Reductions in Outdoor Water Use at State Government Facilities.

- (1) As provided in Subsection 63A-5b-1108(3)(a), a state agency shall reduce its outdoor water use compared to the state agency's outdoor water use for fiscal year 2020:
 - (a) 5% or more by June 30, 2023; and
 - (b) 25% or more by June 30, 2026.
- (2) The unit of measurement for outdoor water use under Subsection 63A-5b-1108(3) is gallons of use per fiscal year.

R653-11-5. Timing of Landscape Irrigation at State Government Facilities.

- (1) As provided in Subsection 63A-5b-1108(4), a state agency may not water outdoor landscaping at a state government facility between the hours of 10 a.m. and 6 p.m.
- (2) Upon written request to the division, the division may authorize a state agency to water landscapes at a state government facility between 10 a.m. and 6 p.m. where nighttime watering is:
 - (a) infeasible due to water availability, insufficient water pressure, landscape use patterns or events, or similar impediments; or
 - (b) detrimental to establishing and maintaining a landscape or landscape element in a condition that fulfills its fundamental purpose or ensures its perennial survival.

R653-11-6. State Incentives for Water Efficient Landscaping.

(1) The division may provide an incentive under Sections 73-10-37 and R653-11-7 to an owner to remove lawn from a project area on land owned by the owner in an area without a landscaping conversion incentive program.

(2) The division may award a grant under Sections 73-10-37 and R653-11-8 to a district to help fund financial incentives provided through a landscaping conversion incentive program administered by the district.

R653-11-7. Division Administered Water Efficient Landscaping Incentives.

(1) In an area without an existing landscaping conversion incentive program, the division or its contractor may provide a financial incentive to an owner of private or public property to remove lawn from the property and replace it with water efficient landscaping, as described in Section R653-11-9.

(2) An owner may not receive an incentive under this rule if:

(a) the owner has previously received an incentive under this section for the same project area;

(b) the project area is less than 200 square feet; or

(c) the project area is located within a municipality or unincorporated area of a county that has not adopted or imposed water use efficiency standards satisfying the minimum benchmarks in Section R653-11-10.

(3) To obtain an incentive under this section an applicant must submit an application to the division or its designated contractor that includes the following:

(a) the applicant's name, mailing address, email address, and phone number;

(b) a description of the property where the proposed lawn removal and replacement will occur;

(c) a description of the lawn area proposed for removal and replacement, including its dimensions and location on the property, i.e. project area;

(d) the applicant's acknowledgment and verification that:

(i) they hold legal or rightful title or a controlling interest in the title to the project area;

(ii) the project area is nonagricultural land;

(iii) the project area consists of lawn that is living, mowed, and actively managed;

(iv) the project area is not part of or located on a golf course, park, athletic field, or sod farm;

(v) a water end user is located on the property where the project area is located;

(vi) the water end user contracts with a retail water provider for residential, commercial, industrial, or institutional use of water on the project area;

(vii) the project area is currently irrigated with water supplied by the retail water provider under contract with the water end user;

(viii) they have legal authority to authorize lawn removal and replacement on the project area;

(ix) they voluntarily seek to remove the lawn in the project area and replace it with water efficient landscaping, and are not required to do so by government code or policy;

(x) they have not previously received an incentive under Section 73-10-37 and this rule for the same project area;

(xi) they agree:

(A) to maintain the water efficient landscaping and drip irrigation system installed in the project area and not return it to lawn or overhead spray irrigation after receiving payment for converting the project area to water efficient landscaping; or

(B) return to the division or to a district the payments received for removal of lawn from the project area;

(xii) the lawn conversion project will not violate any applicable law, regulation, ordinance, zoning requirement, contractual obligation, or other legal limitation; and

(xiii) they understand and acknowledge that neither the lawn removal incentive program, its requirements, nor the award of an incentive by the division supersede applicable laws, regulations, ordinances, or contract terms to the contrary; and

(e) submission of the following documents:

(i) billing statement showing that the water end user contracts with the retail water provider that services the project area; and

(ii) water efficient landscaping plan for the project area detailing the:

(A) location on the property and square footage of lawn planned for removal and conversion to water efficient landscaping, including drawings with dimensional measurements, aerial imagery, and photographs of the project area; and

(B) types and locations of the inorganic ground cover, weed barriers, plants, shrubs, trees, and irrigation systems satisfying the requirements in Section R653-11-9.

(f) Upon request by the division, submission of documentation showing the applicant is the owner of the property and possesses legal authority to authorize the lawn removal and replacement.

(4)(a) The division or its contractors will receive and review lawn conversion incentive applications for completeness and compliance with the requirements of Section 73-10-37 and this rule.

(b) Before approving an incentive application, the division or its contractors will verify the location and eligibility of the project area for an incentive by:

(i) reviewing information submitted with the application; or

(ii) physically or virtually inspecting and verifying the project area.

(c)(i) The division or its contractors will approve incentives to qualified applicants under Section 73-10-37 and this rule in the order that eligible applications are filed.

- (ii) The division may end an incentive application and corresponding contract where the owner has not completed the project, as prescribed in the application and contract, within 12 months of the date that the application is filed.
- (d) An incentive authorized for any single application under Section 73-10-37 and this rule shall not exceed:
 - (i) \$50,000 in the aggregate, except as otherwise approved by the division in writing on a case-by-case basis; and
 - (ii) \$1.50 for each square foot of lawn replaced with water efficient landscaping.
- (e) Incentives offered under Section 73-10-37 and this rule are subject to the availability of funding as appropriated by the Legislature.
- (5) Upon approval of an incentive and as a condition to receiving the incentive, the participant shall:
 - (a) provide the division the information required to complete a federal W-9 tax form; and
 - (b) execute a lawn conversion incentive contract with the division detailing the parties' mutual obligations and responsibilities, including:
 - (i) terms and conditions for receiving the incentive payment;
 - (ii) participant's commitment to:
 - (A) complete the project consistent with the approved water efficient landscaping plan within 365 days of approval of the application;
 - (B) maintain the water efficient landscaping and drip irrigation system installed in the project area and not return it to lawn or overhead spray irrigation after receiving payment for converting the project area to water efficient landscaping; and
 - (C) return to the division the payments received for removing lawn from the project area and replacing it with water efficient landscaping in the event of violating Subsection (B);
 - (iii) other matters determined by the division necessary to effectively administer the incentive program; and
 - (iv) participant's acknowledgment that incentive payments received may be subject to state and federal taxation.
- (6) Before the division disburses any portion of an incentive to a participant, the division or its contractors will physically or virtually inspect the project area and verify the lawn conversion to water efficient landscaping is completed and consistent with:
 - (a) the requirements of Section 73-10-37 and this rule;
 - (b) the approved water efficient landscaping plan; and
 - (c) the lawn conversion incentive contract between the participant and the division.

R653-11-8. Grants for District Administered Water Efficient Landscaping Incentives.

- (1) A district may obtain a grant from the division to help fund a financial incentive provided to an owner through a landscaping conversion incentive program administered by the district.
- (2) To obtain a grant, a district shall file an application with the division that includes:
 - (a) the district's name, address, and contact information;
 - (b) verification that the district:
 - (i) has an operational landscaping conversion incentive program;
 - (ii) commits to implement the minimum requirements of Subsection 73-10-37(4)(c) and either this rule or program guidelines approved by the division under Subsection (3) in administering the program;
 - (iii) commits to use grant money exclusively to fund financial incentives provided to owners that remove lawn or turf from a project area in the district's landscaping conversion incentive program;
 - (iv) commits not pay an incentive amount with grant money that exceeds the maximum amounts established in Subsection R653-11-7(4)(d); and
 - (v) commits to provide an equal amount or more of matching funds for its landscaping conversion incentive program from sources other than the grant money the district receives under this rule;
 - (c) a detailed description of the landscaping conversion incentive program;
 - (d) a copy of the program guidelines governing the district's landscaping conversion incentive program;
 - (e) a request that the division approve the district's program guidelines under Subsection (3), if the district wants to be subject to program guidelines in lieu of rule requirements; and
 - (f) any additional information requested by the division.
- (3)(a) The division may approve a district's request to use its program guidelines in lieu of requirements in this rule that are not specifically mandated in Section 73-10-37 when the program guidelines satisfy the criteria in Subsection (b).
- (b) The district's program guidelines must:
 - (i) result in at least as much water use savings as the waived rule provisions; and
 - (ii) accomplish the same objectives as the waived rule provisions.
- (4) To obtain a grant under this rule, a district shall enter in a contract with the division that:
 - (a) identifies the amount of grant funding provided by the division;
 - (b) confirms the district's contribution of matching funds from sources other than the grant, that equal or exceed the grant amount, for its landscaping conversion incentive program;
 - (c) restricts the district from paying an incentive amount with grant money that exceeds the maximum amounts established in Subsection R653-11-7(4)(d);
 - (d) confirms the district's commitment to comply with and ensure all grant funded landscaping conversion projects proposed, undertaken, and completed by participants under its landscaping conversion incentive program satisfy the requirements in Subsection 73-10-37(3) and the contract before using grant money for a financial incentive;

(e) enjoins the use of grant money for a financial incentive in any landscaping conversion project that fails to satisfy the requirements in Subsection 73-37-10(3) and either this rule or program guidelines approved by the division under Subsection (3);

(f) requires the district submit to the division quarterly reports on funding status;

(g) requires the district to prepare and submit an annual accounting to the division on the use of grant money for financial incentives in the district's landscaping conversion incentive program;

(h) directs return to the division of all grant funding not dispersed by the district pursuant to Section 73-10-37 and this rule within 24 months of receiving the grant; and

(i) includes other matters determined by the division necessary to effectively administer the grant award.

(5)(a) The quarterly report referenced in Subsection (4)(f) should include a summary detailing:

(i) grant funding status;

(ii) the division and district's cumulative contributions, respectively, to all incentive payments dispersed by the district over the reporting period; and

(iii) the estimated amount of grant funding needed to satisfy incentive payments for approved projects that are underway but not completed.

(b) The annual accounting referenced in Subsection (4)(g) should include the:

(i) division and district's cumulative contributions, respectively, to all incentive payments dispersed by the district over the reporting period; and

(ii) following information pertaining to each incentive payment:

(A) an identifying number or participant name for the landscape conversion project;

(B) landscape conversion project location;

(C) total square feet of lawn converted to water efficient landscaping;

(D) date of project approval;

(E) date of project completion;

(F) date of incentive payment;

(G) photographs of the project area before lawn removal and after conversion to water efficient landscaping;

(H) total amount paid as an incentive; and

(I) division and district's respective contributions to the incentive payment.

(6)(a) Upon expenditure of 70% of the grant money awarded to a district and an annual accounting on the use of that grant money, a district may apply for additional grant money in accordance with Subsections (2) and (4).

(b) The division may award a district an additional grant based on the:

(i) availability of grant money;

(ii) priority or importance of the grant proposal in relation to the availability of grant money for:

(A) the division's landscaping conversion incentive program under Section R653-11-7;

(B) other landscaping conversion incentive program grant requests; and

(C) regional needs and goals;

(iii) effectiveness of the district's landscaping conversion incentive program in incentivizing owners to convert lawn or turf to water efficient landscaping;

(iv) district's past compliance with Section 73-10-37, this rule, and contract terms and conditions; and

(v) any matter bearing on the district's ability to responsibly handle and disperse grant money consistent with the requirements in Section 73-10-37, this rule, and contract terms and conditions.

R653-11-9. Water Efficient Landscaping.

(1)(a) Except as otherwise determined by the division under Subsection (2), water efficient landscaping, for purposes of Sections R653-11-7 and R653-11-8, is a mixture of inorganic and organic ground cover that:

(i) controls the invasion of common weeds and grasses;

(ii) includes perennial, water efficient plants, shrubs, or trees; and

(iii) water efficient plants and shrubs, excluding tree canopy, cover 50% or more of the project area at maturity;

(iv) has a drip irrigation system that:

(A) replaces the existing irrigation system servicing the project area;

(B) minimizes evapotranspiration losses; and

(C) maintains the water efficient plants, shrubs, and trees in the project area in a healthy state; and

(v) is officially approved by the division, its contractors, or a district.

(b) All treatment locations in the project area, not otherwise covered in brick, or stone shall be covered in 2-4 inches of permeable gravel, rock, bark, compost mulch, or similar material to control weeds and improve the appearance of the landscaping.

(c) Water efficient landscaping may include permeable:

(i) weed barrier fabric; and

(ii) configurations of pavers, brick, stone, and similar hard surfaced materials, provided the project area satisfies the 50% plant and shrub cover requirement with the treated area counted as contributing nothing toward that cover.

(d) Water efficient landscaping does not include:

(i) a swimming pool, pond, fountain, waterfall, rivulet, or similar above ground landscape water feature;

- (ii) concrete or artificial turf; and
 - (iii) a project area configuration that leaves adjacent strips of lawn less than eight feet in width.
- (2) The division may approve a district's request to use or partially use its program guidelines definition of "water efficient landscaping" in lieu of the definition in Subsection (1), if the division determines that application of the program guidelines' definition will:
- (a) conserve as much or more water as the definition in Subsection (1);
 - (b) satisfy environmental needs; and
 - (c) further the water conservation objectives in Section 73-10-37.

R653-11-10. Water Use Efficiency Standards.

(1) For purposes of Sections R653-11-7 and R653-11-8, water use efficiency standards for counties and municipalities within a county consist of the following outdoor lawn limitations on new residential development.

- (a) Statewide requirements are as follows:
 - (i) No lawn on parking strips or areas less than eight feet in width in new development.
 - (ii)(A) Except as provided in Subsection (ii)(B), no lawn exceeding 20% of total landscaped area in new commercial, industrial, and institutional development.
 - (B) The 20% limitation does not apply to lawn areas developed and used for outdoor recreation activities that require lawn in an outdoor environment.
 - (b) Regional requirements are as follows:
 - (i) Washington County - no more than 15% of the lot size in new residential development is lawn;
 - (ii) Salt Lake, Utah, Weber, and Davis counties - no more than 35% of the front and side yard landscaped area in new residential development is lawn; and
 - (iii) All other counties in Utah - no more than 50% of the front and side yard landscaped area in new residential development is lawn.
 - (c) The lawn limitations in Subsections (a) and (b) do not apply to small lots with less than 250 square feet in landscaped area.
- (2)(a) A municipality or county may adopt more aggressive water use efficiency standards, provided the new standards increase water conservation and efficiency over the standards in Subsection (1).
- (b) A municipality or county that adopts more aggressive water use efficiency standards in compliance with Subsection (2)(a) shall be deemed compliant with the requirements of Subsection (1).

KEY: water conservation measures

Date of Last Change: July 11, 2023

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