

NOTICE AND AGENDA

Notice is hereby given that the Planning Commission of Millville City will hold a regularly scheduled meeting on Thursday, **March 21, 2024**, at the Millville City Offices, 510 East 300 South in Millville, Utah, which shall begin promptly at **8:00 p.m.**

1. Call to Order / Roll Call
2. Opening Remarks / Pledge of Allegiance
3. Approval of agenda
4. Approval of minutes from meeting held on March 7, 2024
5. Agenda Items
 - A. Zoning Clearance- Pool- Lakeview Pools and Spas for Nate Richards at 561 North 260 East
 - B. Zoning Clearance- Commercial Building- 726 West 1940 South, Millville UT
 - C. Other
6. City Council Minutes- March 14, 2024
7. Agenda items for next meeting
8. Calendaring for future Planning Commission Meeting- Thursday, April 4, 2024, at 8pm.
9. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during public meetings should notify Kara Everton at (480) 528-1467 at least three days prior to the meeting.

This agenda was posted on/before March 19, 2024 to the City posting locations, the City Website and the Utah Public Meeting Notices Website.



Kara Everton, Secretary
Millville City Planning Commission

MILLVILLE PLANNING COMMISSION MEETING
City Hall - 510 East 300 South - Millville, Utah
March 7, 2024

PRESENT: Garrett Greenhalgh, Lynette Dickey, Bonnie Farmer, Larry Lewis, Darcy Ripplinger, Matt Anderson, Kara Everton, Pam June, Chad Kendrick

Call to Order/Roll Call:

Commissioner Greenhalgh opened the meeting for March 7, 2024, at 8:00 pm. Commissioners Garrett Greenhalgh, Lynette Dickey, Bonnie Farmer, Larry Lewis, Darcy Ripplinger and Matt Anderson were present. Commissioner Rachel Thompson is excused. Development Coordinator Kara Everton was present and took the minutes.

Opening Remarks/Pledge of Allegiance

Commissioner Greenhalgh led all present in the Pledge of Allegiance.

Approval of Agenda

The agenda for the Planning Commission Meeting was reviewed. **Commissioner Lewis moved to approve the agenda for March 7, 2024.** Commissioner Farmer seconded. Garrett Greenhalgh, Lynette Dickey, Bonnie Farmer, Larry Lewis, Darcy Ripplinger and Matt Anderson voted in favor. Commissioner Thompson is excused.

Approval of the Minutes of the Previous Meeting

The Planning Commission reviewed the minutes for the Planning Commission Meeting for February 15, 2024. **Commissioner Dickey moved to approve the minutes for the meeting.** Commissioner Lewis seconded. Garrett Greenhalgh, Lynette Dickey, Bonnie Farmer, Larry Lewis, Darcy Ripplinger and Matt Anderson voted in favor. Commissioner Thompson is excused.

5.A. Other

Kara Everton asked the commission for advice on her own home lot. She lives at 115 South Main Street. Her home's setbacks are grandfathered in based on when the house was built. There is a deck that extends approximately 10' from the back of the house and would like to build an addition that bumps the home out to where the deck is currently. The footings for the deck are currently in the 15' setback. She would like to know how she proceeds to make sure the home follows current code. Commissioner Dickey said that this example would not qualify for a variance. Commissioner Lewis confirmed the house is grandfathered in, but the deck would not be. Commissioner Farmer verified that different footings would be required with a home addition. Commissioner Ripplinger verified that the extension would follow the footprint of the existing deck, but that would qualify as

a new footprint. Commissioner Dickey said that one option is to buy 10' of the neighbor's property to conform to current codes. Commissioner Greenhalgh suggested asking the City Council if there is an option on how to proceed but does not think a variance is an option. Commissioner Greenhalgh said another option would be to cantilever the footings on the extension if the footings are within setbacks.

Commissioner Dickey brought up some complaints from citizens that there isn't a utility payment dropbox at the post office.

5.B. PUBLIC HEARING- City Code Update: Chapter 17.44 Signage

Commissioner Farmer motioned to open the public hearing. Commissioner Anderson seconded. Garrett Greenhalgh, Lynette Dickey, Bonnie Farmer, Larry Lewis, Darcy Ripplinger and Matt Anderson voted in favor. Commissioner Thompson is excused.

Public Hearing began approximately at 8:18pm

PRESENT: Garrett Greenhalgh, Lynette Dickey, Bonnie Farmer, Larry Lewis, Darcy Ripplinger, Matt Anderson, Kara Everton, Pam June

Public Comment Period: No Public Comment

Commissioner Farmer said that there were some typos from the original code on page 7, paragraph 3 has a few corrections needed.

Commissioner Ripplinger motioned to close the public hearing. Commissioner Lewis seconded. Garrett Greenhalgh, Lynette Dickey, Bonnie Farmer, Larry Lewis, Darcy Ripplinger and Matt Anderson voted in favor. Commissioner Thompson is excused.

5.C. Discussion- City Code Update: Chapter 17.44 Signage

Commissioner Lewis motioned to recommend the code update for Chapter 17.44 Signage to the City Council. Commissioner Ripplinger seconded. Garrett Greenhalgh, Lynette Dickey, Bonnie Farmer, Larry Lewis, Darcy Ripplinger and Matt Anderson voted in favor. Commissioner Thompson is excused.

7. Agenda Items/Notes for Next Meeting

8. Calendaring of future Planning Commission Meeting – March 21, 2024, at 8:00 pm.

9. Adjournment

Chairman Greenhalgh moved to adjourn the meeting at approximately 8:36 p.m.



MILLVILLE CITY

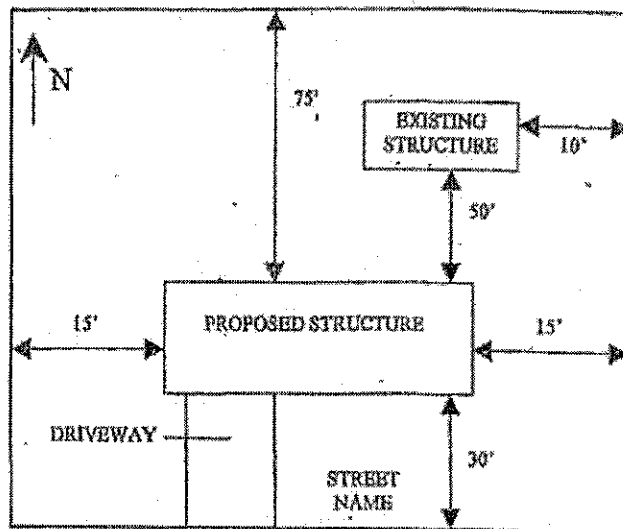
ZONING CLEARANCE FOR BUILDING PERMIT

THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

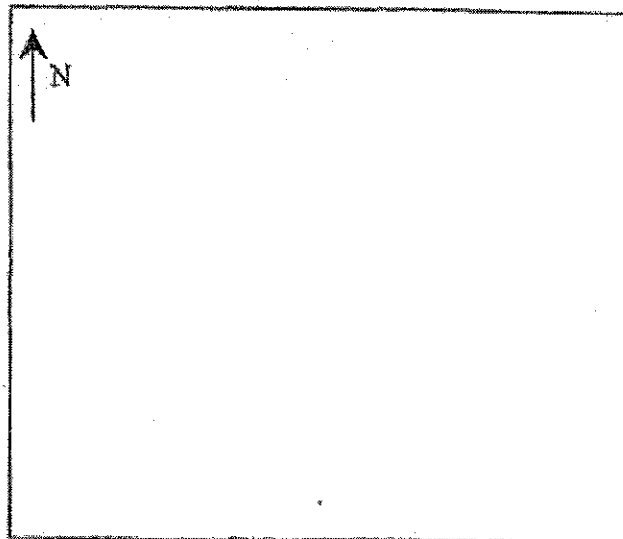
APPLICATION INFORMATION

1. Lakeview Pools and Spas LLC
APPLICANT'S NAME
2. 270 E Fish Hatchery Rd.
MAILING ADDRESS
- Mantua, UT 84326
CITY STATE ZIP CODE
3. HOME TELEPHONE 4. 801-389-2393
BUSINESS TELEPHONE
5. Nate Richards
OWNER'S NAME (if different from applicant)
6. Swimming pool
TYPE OF STRUCTURE
7. 640 sq ft 8. City
SQUARE FOOTAGE ZONE
9. SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 02 - 287 - 0004
TAX IDENTIFICATION NUMBER
11. 561 N 260 E Millville UT 84326
ADDRESS OF CONSTRUCTION
12. 0.32 13. Bldg Height
LOT SIZE
14. SEWER ☐ SEPTIC TANK ☐ N/A ☐
(choose one)
15. CITY WATER ☒ PRIVATE WELL ☐ N/A ☐
(choose one)
16. ELECTRICITY ☒ GAS ☐ OTHER UTILITY ☐
(specify in remarks)
17. REMARKS

6. SAMPLE PLOT PLAN (numbers do not represent required setbacks)



PLOT PLAN



APPROVED - PLANNING AND ZONING DATE

FEES PAID - TREASURER DATE

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)



Zoning Clearance for Building Permit # _____

**Accessory Building (R-1, R-2, R-3) over 500 sf
Zoning Clearance Requirements Checklist**

Please initial each item and then sign the last page:

1. (✓) You have been informed of the application process and understand the steps you are required to take
2. (✓) One (1) complete set of building plans (digital) emailed to kara@millvillecity.org
3. (✓) Eight (8) copies plus original of the completed Zoning Clearance for building permit form, Form # 101 – 15 Nov 2003
4. (✓) Eight (8) copies of the site plan (11" x 17")
5. (✓) 1 copy of the plat in which the lot is located (11" x 17") as well as .
6. (✓) **Corner Lot Setbacks**

Front Setback: The structure is required to be set back 30 feet from the front property line.

Rear Setback: If the side of the accessory building facing the property line is a firewall, then the building can be on the drip line. If there is no firewall, then the building can be no closer than five (5) feet to the property line.

Side Setback: Drip line on the lot on the side abutting an interior lot and 20 feet from the side property line abutting a public street.

7. (✓) **Interior Lot Setbacks**

Front Setback: The structure is required to be set back 30 feet from the front property line.

Rear Setback: If the side of the accessory building facing the property line is a firewall, then the building can be on the drip line. If there is no firewall, then the building can be no closer than five (5) feet to the property line.

Side Setback: If the side of the accessory building facing the property line is a firewall, then the building can be on the drip line. If there is no firewall, then the building can be no closer than five (5) feet to the property line.

8. (✓) **Height:** The height of the structure shall be no more than 35 feet as measured from the front door threshold.

9. (✓) Retaining walls for cuts and fills over four (4) feet in height or (6) six feet for the combined height of cut and fill cross section will be designed by a certified engineer and approved by the City Council upon the affirmative recommendation of the City Engineer.
10. (✓) Permits expire 12 months from the date of issuance, or after 180 days if construction has not begun.
11. (✓) FEES: \$500.00 Refundable upon inspection of city infrastructure surrounding accessory building after project and landscaping is completed.

Viviana Anaya

Print Name

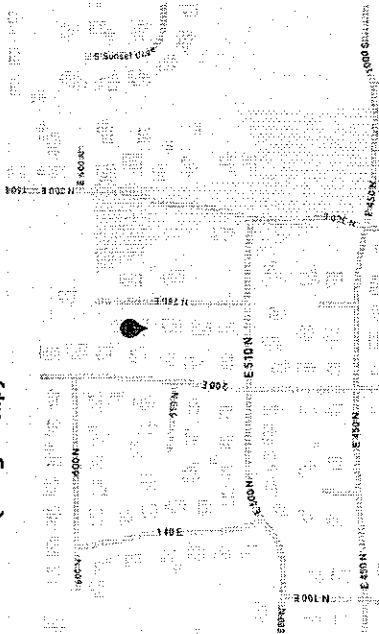
Viviana Anaya

Signature

03/07/2024

Date

SITE MAP (Google Map)



RICHARDS Residence
561 N 250 E
MILLVILLE, UT 84326

COVER PAGE

REGARDLESS

DISAPYING AGENCY

DESIGN & DRAWING BY:
REGARDLESS CONSULTING ENGINEERS, LLC
REGARDLESSCONSULTINGENGINEERS.COM

DATE:
03-02-2024

REVISION:
1

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- A6 - POOL EQUIPMENT
- S1 - STRUCTURAL DETAIL

CODES:

- IRC2020
- ISPSC 2020
- NEC 2020
- LOCAL ORDINANCES AS WRITTEN

SUBMIT ADDRESS:

RICHARDS Residence
561 N 250 E
MILLVILLE, UT 84326

COVER PAGE

A0



DESIGN & CONSTRUCTION
REGARDLESS CONSULTING LLC
1000 N. 2500 E. SUITE 100
MILLVILLE, UT 84326

DATE:
03-01-2024

REVISION:
1

THIS PLAN IS PROPERTY OF
REGARDLESS CONSULTING LLC
ALL RIGHTS RESERVED. NO PART
OF THIS PLAN MAY BE REPRODUCED
OR TRANSMITTED IN ANY FORM
OR BY ANY MEANS, ELECTRONIC
OR MECHANICAL, WITHOUT
PRIOR WRITTEN PERMISSION
FROM REGARDLESS CONSULTING LLC.

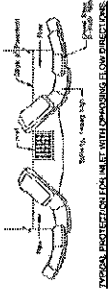
SITE PLAN

JOB SITE ADDRESS

RICHMOND RESIDENCE
561 N 250 E
MILLVILLE, UT 84326

SITE PLAN

A1



TYPICAL PROTECTION FOR WALLS WITH OPENINGS AND FOOTINGS



TYPICAL PROTECTION FOR WALLS WITH MULTIPLE FOOTINGS

NOTES:
1. SEE THE GENERAL NOTES FOR THE SUBMITTAL OF THIS PLAN.
2. THE PROTECTION SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
3. THE PROTECTION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. THE PROTECTION SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE WORK.

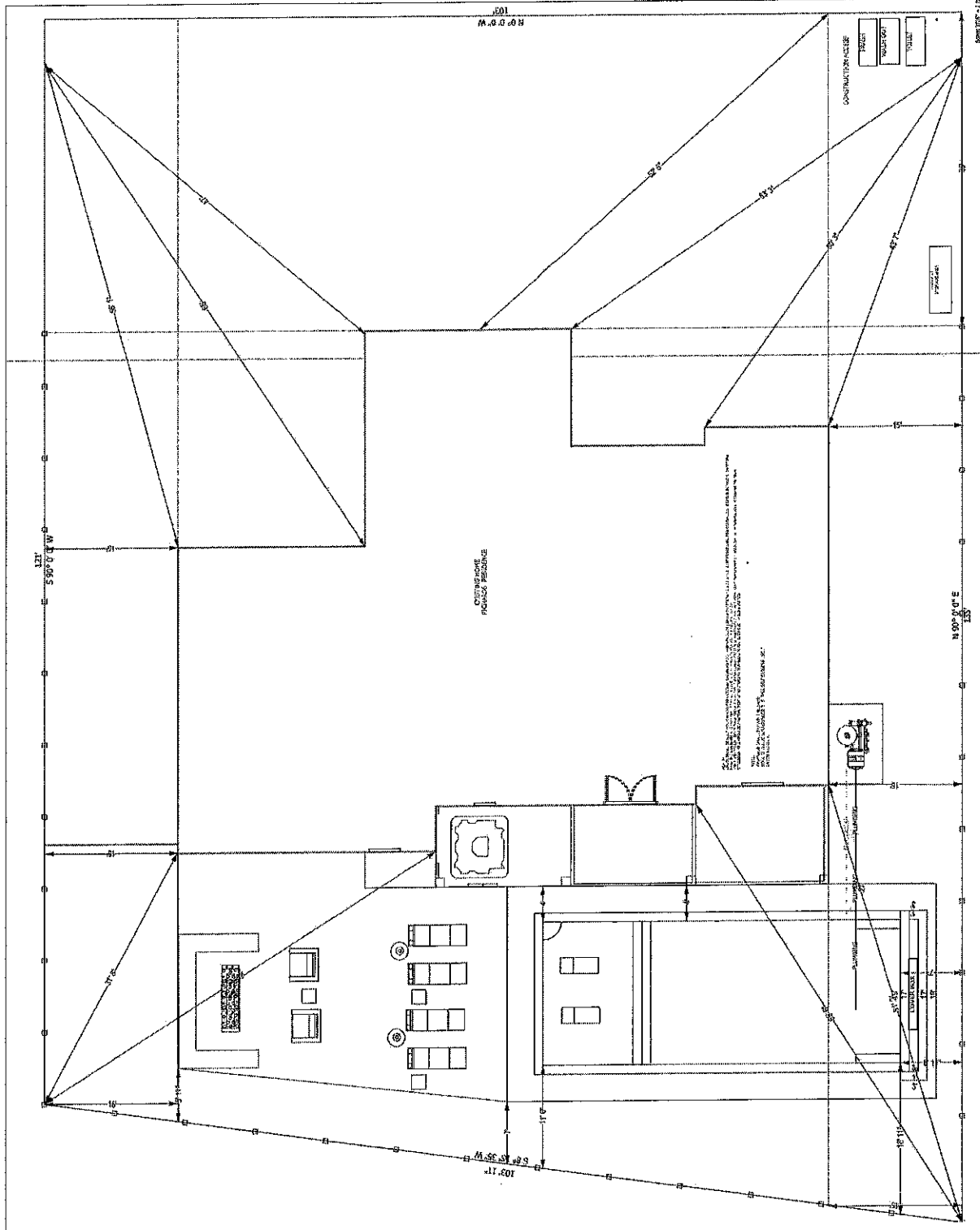
Parcel ID: 02-287-0004	
Owner Name	NATHAN RICHARDS
Owner Address	561 N 250 E
Owner City/State	MILLVILLE, UT 84326
Property Address	561 N 0250 E
Property City	MILLVILLE
District Code	687
District Code	MILLVILLE CITY/UTCHEN
Legal Acreage	0.32
Effective Date	7/23/2016
Parcel History	PT 02-129-0033 7/16;
Legal Description	LOT 4 THE VENTS AT COOPERLEAF SUBDIVISION CONT



CONSTRUCTION NOTES:
1. THE SITE SHALL BE PREPARED FOR CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION.
2. THE PROTECTION SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
3. THE PROTECTION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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DESIGN & DRAFTED BY:
REGARDLESS DRAFTING CONSULTING
WWW.REGARDLESSCONSULTING.COM

DATE
09-01-2024

REVISION:
1

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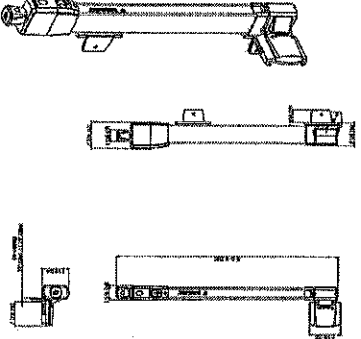
SWIMMING POOL DETAILS

WEBSITE: ADDRESS:

RICHARDSON RESIDENCE
501 N 250 E
MILLVILLE, UT 84326

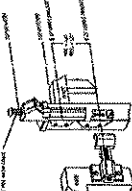
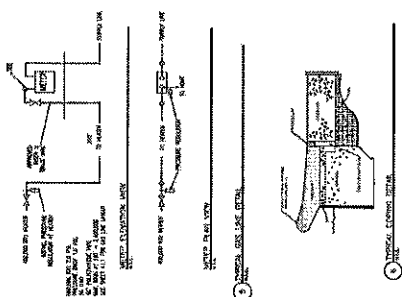
POOL DETAIL

A4

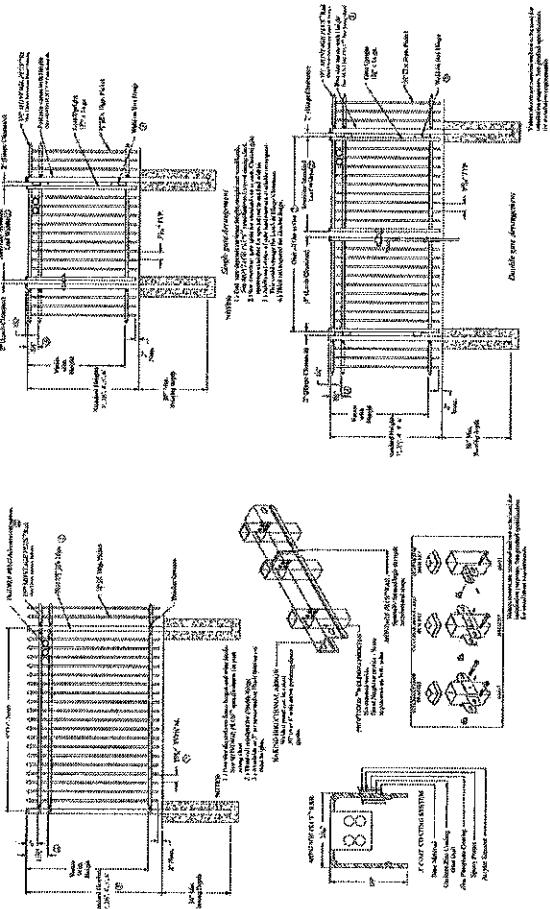


VERTICAL METAL GATE LATCH DETAIL

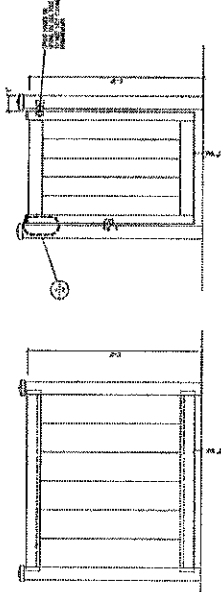
2 VERTICAL METAL GATE LATCH DETAIL



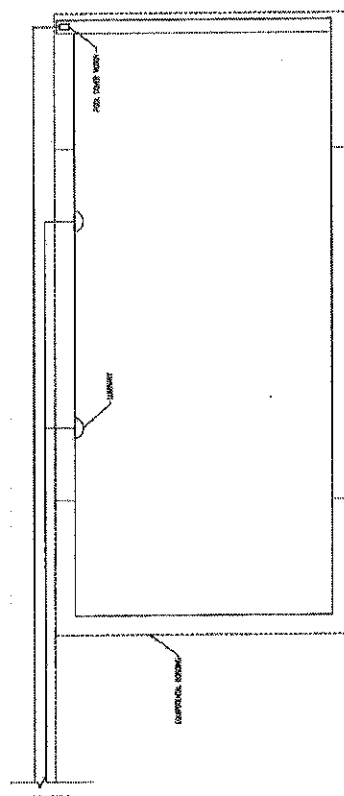
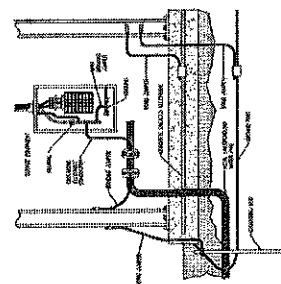
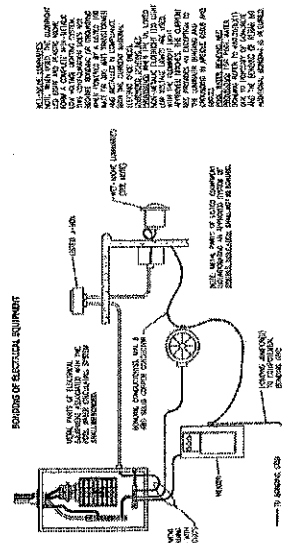
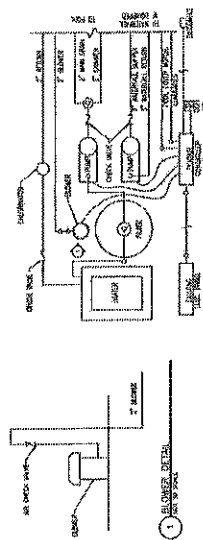
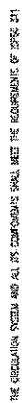
3 VERTICAL METAL GATE LATCH DETAIL



1 VERTICAL METAL FENCE DETAIL



2 VERTICAL METAL FENCE DETAIL



SWIMMING POOL PLUMBING & ELECTRICAL

JOB SITE: ADDRESS:

RICHARDS Residence
561 N 250 E
MILLVILLE, UT 84325

PLUMBING / ELEC.

A5



MILLVILLE CITY

ZONING CLEARANCE FOR BUILDING PERMIT

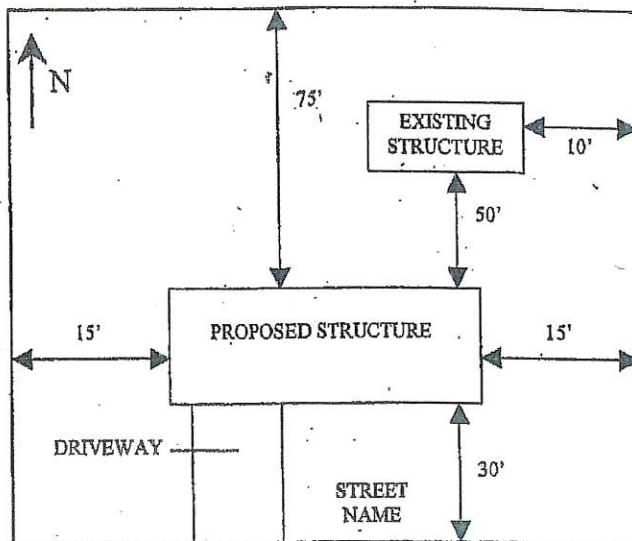
THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

APPLICATION INFORMATION

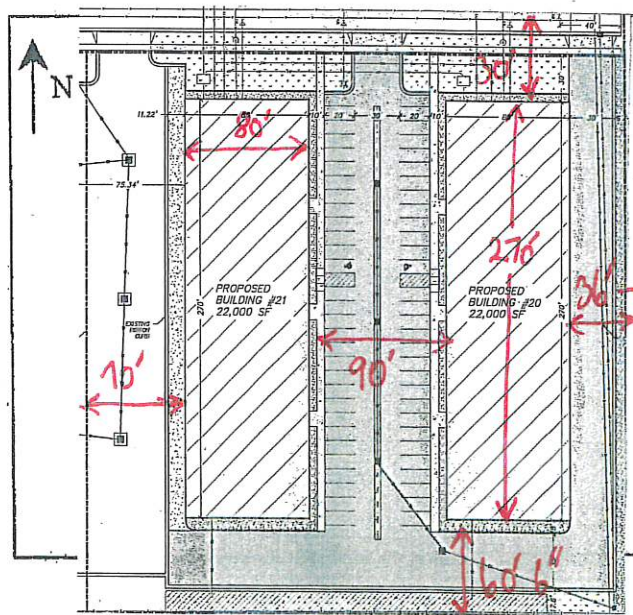
1. RYLAN ZOLLINGER
APPLICANT'S NAME
2. 695 W 1700 SO.
MAILING ADDRESS
- LOGAN UTAH 84321
CITY STATE ZIP CODE
3. 435-770-2450 4. 435-753-1122
HOME TELEPHONE BUSINESS TELEPHONE
5. GLOBAL PROPERTY 2020 LLC.
OWNER'S NAME (if different from applicant)
6. METAL BUILDINGS
TYPE OF STRUCTURE
7. 44,000 8. _____
SQUARE FOOTAGE ZONE
9. ZOLLINGER INDUSTRIAL LOT 3
SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 03 - 001 - 0043
TAX IDENTIFICATION NUMBER
11. 726 W 1940 S MILLVILLE UTAH
ADDRESS OF CONSTRUCTION
12. 2.9 13. _____
LOT SIZE LOT ELEVATION
14. SEWER ☐ SEPTIC TANK ☒ N/A ☐
(choose one)
15. CITY WATER ☐ PRIVATE WELL ☒ N/A ☐
(choose one)
16. ELECTRICITY ☒ GAS ☒ OTHER UTILITY ☐
(specify in remarks)
17. TWIN BUILDINGS
REMARKS

SAMPLE PLOT PLAN

(numbers do not represent required setbacks)



PLOT PLAN



APPROVED - PLANNING AND ZONING

DATE

FEES PAID - TREASURER

DATE

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)

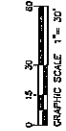
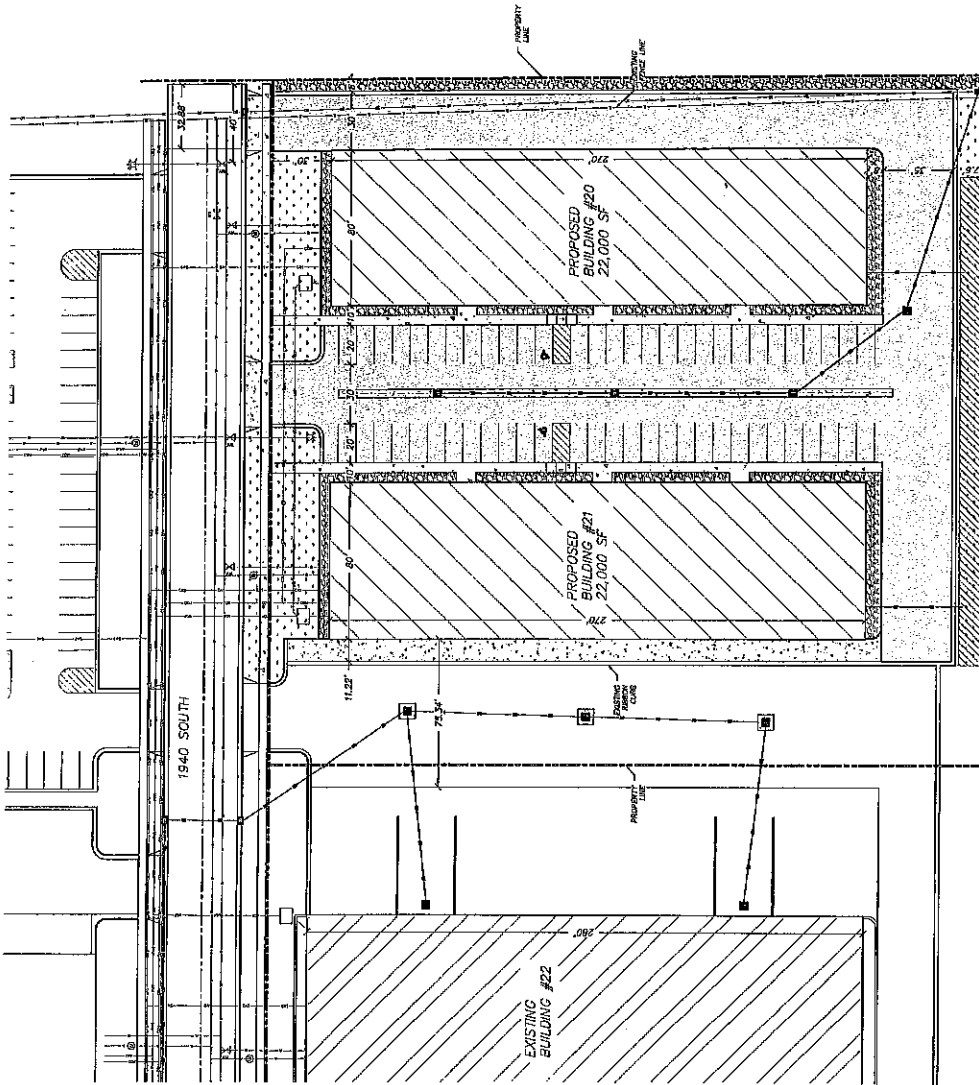
CONCEPT-C SITE PLAN

ZOLLINGER BUILDING #20 & #21
1940 S 800 W
MILLVILLE, UTAH 84326

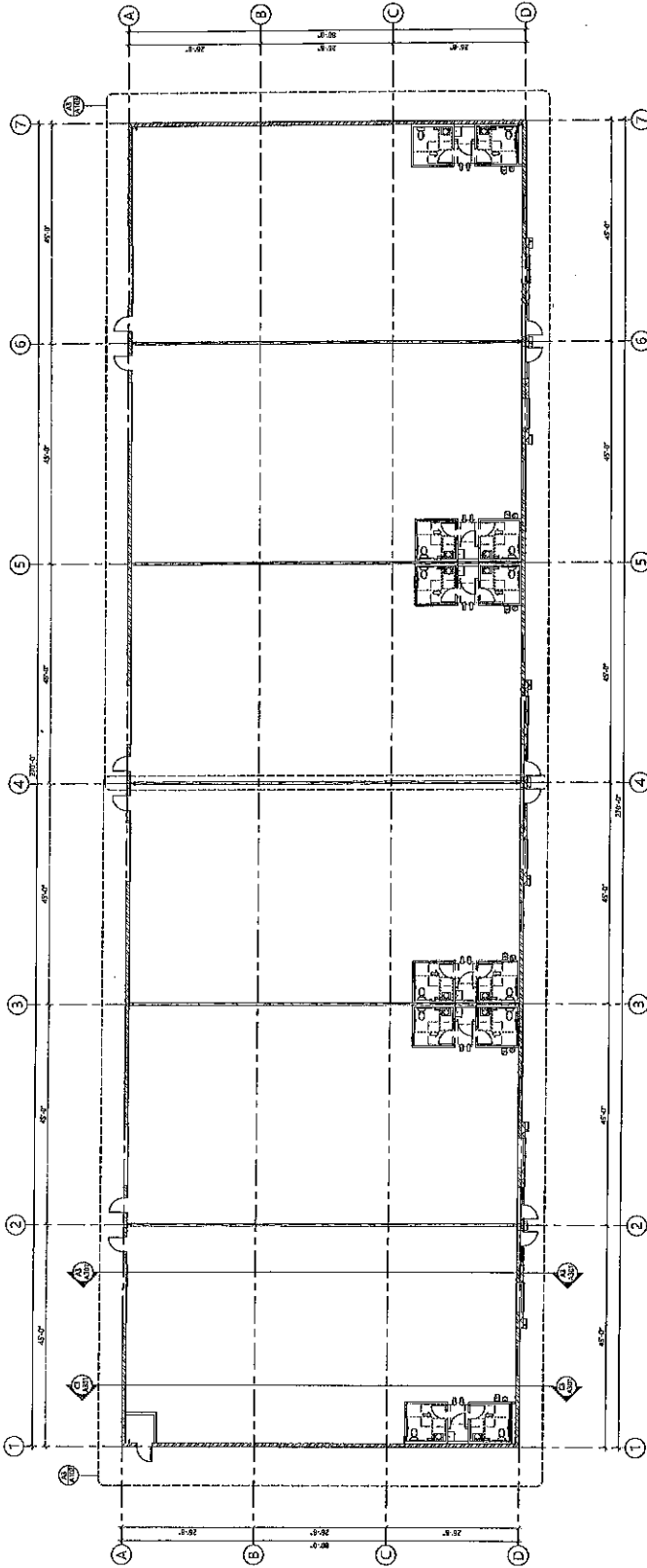


Charles E. Lachman
Professional Engineer
No. 10000
State of Utah
19 Golf Course Rd.
S. & E. 1/4, 10th
Twp. 36N, R. 10E, S. 10E
#85713.0009
DATE: 4-21-2017
SCALE: 1"=30'
DESIGNED BY: J. JENSEN
CHECKED BY: J. JENSEN
APPROVED BY: J. JENSEN
PROJECT NUMBER: 200000
SHEET: 1/1

- LEGEND
- PROPERTY LINE
 - EXISTING BUILDING
 - PROPOSED BUILDING
 - CONCRETE
 - ASPHALT
 - LANDSCAPING
 - LANDSCAPING DETAIL
 - UNDERGROUND POWER LINE
 - UNDERGROUND COMUNICATION LINE
 - STORM DRAIN LINE
 - SEWER LINE
 - WATER LINE
 - LAND AND GUTTER
 - PAVE OF CONCRETE
 - PAVE OF ASPHALT
 - PAVE OF GRAVEL
 - PAVE OF SAND
 - PAVE OF GRAVEL AND SAND
 - PAVE OF GRAVEL AND ASPHALT
 - PAVE OF GRAVEL AND CONCRETE
 - PAVE OF GRAVEL AND ASPHALT AND CONCRETE
 - PAVE OF GRAVEL AND ASPHALT AND CONCRETE AND LANDSCAPING
 - PAVE OF GRAVEL AND ASPHALT AND CONCRETE AND LANDSCAPING DETAIL

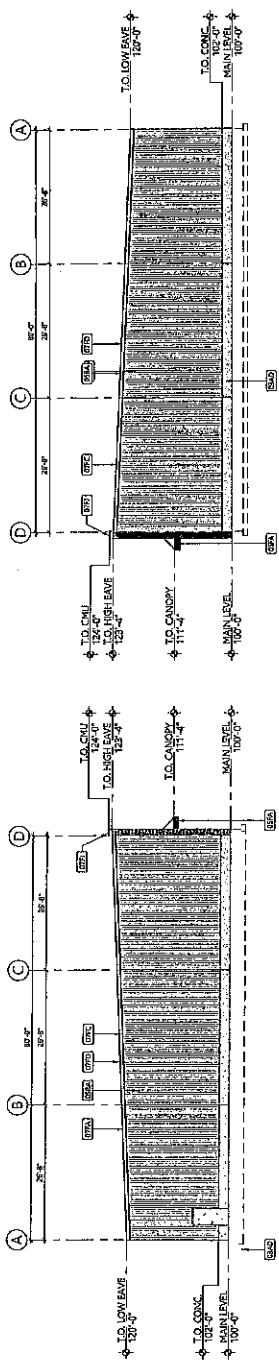


CONCEPT-C
SCALE: 1"=30'



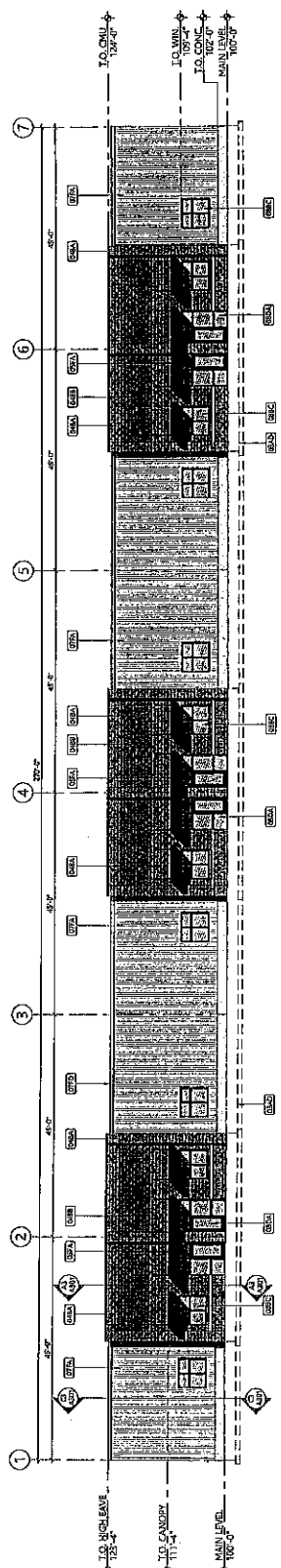
B3 MAIN LEVEL FLOOR PLAN
SCALE: 3/32" = 1'-0"

TECC 2018		PRODUCTS/END-USE COMPLIANCE	
1	VERTICAL RESISTANCE	VERTICAL RESISTANCE	VERTICAL RESISTANCE
2	MINIMUM	MINIMUM	MINIMUM
3	MINIMUM	MINIMUM	MINIMUM
4	MINIMUM	MINIMUM	MINIMUM
5	MINIMUM	MINIMUM	MINIMUM
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7	MINIMUM	MINIMUM	MINIMUM
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84	MINIMUM	MINIMUM	MINIMUM
85	MINIMUM	MINIMUM	MINIMUM
86	MINIMUM	MINIMUM	MINIMUM
87	MINIMUM	MINIMUM	MINIMUM
88	MINIMUM	MINIMUM	MINIMUM
89	MINIMUM	MINIMUM	MINIMUM
90	MINIMUM	MINIMUM	MINIMUM
91	MINIMUM	MINIMUM	MINIMUM
92	MINIMUM	MINIMUM	MINIMUM
93	MINIMUM	MINIMUM	MINIMUM
94	MINIMUM	MINIMUM	MINIMUM
95	MINIMUM	MINIMUM	MINIMUM
96	MINIMUM	MINIMUM	MINIMUM
97	MINIMUM	MINIMUM	MINIMUM
98	MINIMUM	MINIMUM	MINIMUM
99	MINIMUM	MINIMUM	MINIMUM
100	MINIMUM	MINIMUM	MINIMUM

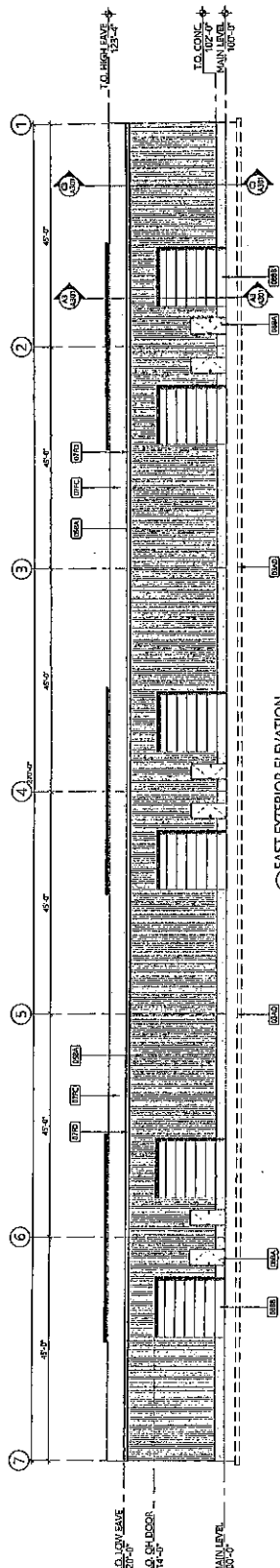
[illegible]

81 NORTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

③5 SOUTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



C3 WEST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



A3 EAST EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

[illegible]

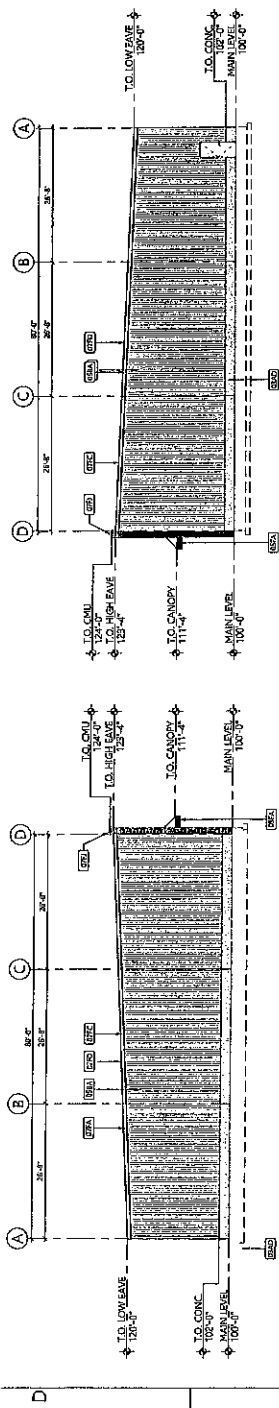
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CARTWRIGHT
ARCHITECTS & ENGINEERS

1940 S. 800 W., MOUNTAIN VIEW, UT 84036
ZOLLINGER BUILDING #21

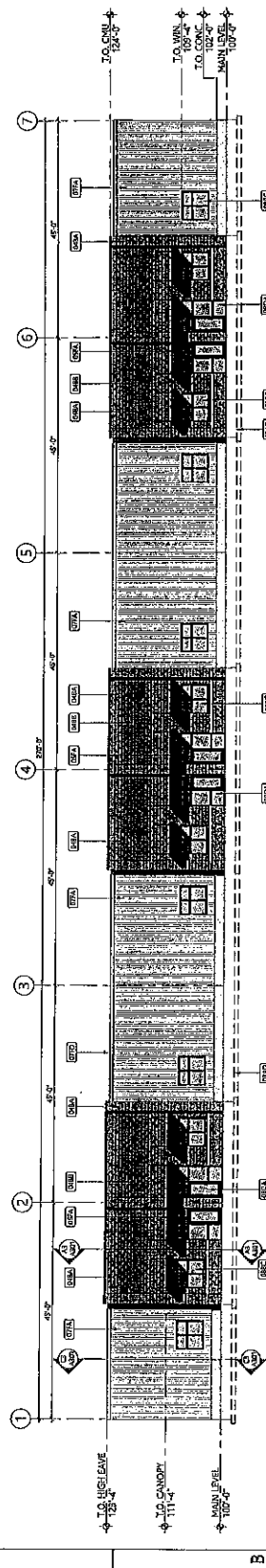


- KEYNOTES**
- | SYMBOL | DESCRIPTION |
|--------|--------------------------------|
| 1 | LINE OF FOOTING AND FOUNDATION |
| 2 | TO LOW LEAVE |
| 3 | TO CANOPY |
| 4 | TO CONC. |
| 5 | TO HIGH LEAVE |
| 6 | TO CHU |
| 7 | TO MIN. |
| 8 | TO CONC. |
| 9 | TO HIGH LEAVE |
| 10 | TO CONC. |
| 11 | TO MIN. |
| 12 | TO CONC. |
| 13 | TO HIGH LEAVE |
| 14 | TO CONC. |
| 15 | TO MIN. |
| 16 | TO CONC. |
| 17 | TO HIGH LEAVE |
| 18 | TO CONC. |
| 19 | TO MIN. |
| 20 | TO CONC. |
| 21 | TO HIGH LEAVE |
| 22 | TO CONC. |
| 23 | TO MIN. |
| 24 | TO CONC. |
| 25 | TO HIGH LEAVE |
| 26 | TO CONC. |
| 27 | TO MIN. |
| 28 | TO CONC. |
| 29 | TO HIGH LEAVE |
| 30 | TO CONC. |
| 31 | TO MIN. |
| 32 | TO CONC. |
| 33 | TO HIGH LEAVE |
| 34 | TO CONC. |
| 35 | TO MIN. |
| 36 | TO CONC. |
| 37 | TO HIGH LEAVE |
| 38 | TO CONC. |
| 39 | TO MIN. |
| 40 | TO CONC. |
| 41 | TO HIGH LEAVE |
| 42 | TO CONC. |
| 43 | TO MIN. |
| 44 | TO CONC. |
| 45 | TO HIGH LEAVE |
| 46 | TO CONC. |
| 47 | TO MIN. |
| 48 | TO CONC. |
| 49 | TO HIGH LEAVE |
| 50 | TO CONC. |
| 51 | TO MIN. |
| 52 | TO CONC. |
| 53 | TO HIGH LEAVE |
| 54 | TO CONC. |
| 55 | TO MIN. |
| 56 | TO CONC. |
| 57 | TO HIGH LEAVE |
| 58 | TO CONC. |
| 59 | TO MIN. |
| 60 | TO CONC. |
| 61 | TO HIGH LEAVE |
| 62 | TO CONC. |
| 63 | TO MIN. |
| 64 | TO CONC. |
| 65 | TO HIGH LEAVE |
| 66 | TO CONC. |
| 67 | TO MIN. |
| 68 | TO CONC. |
| 69 | TO HIGH LEAVE |
| 70 | TO CONC. |
| 71 | TO MIN. |
| 72 | TO CONC. |
| 73 | TO HIGH LEAVE |
| 74 | TO CONC. |
| 75 | TO MIN. |
| 76 | TO CONC. |
| 77 | TO HIGH LEAVE |
| 78 | TO CONC. |
| 79 | TO MIN. |
| 80 | TO CONC. |
| 81 | TO HIGH LEAVE |
| 82 | TO CONC. |
| 83 | TO MIN. |
| 84 | TO CONC. |
| 85 | TO HIGH LEAVE |
| 86 | TO CONC. |
| 87 | TO MIN. |
| 88 | TO CONC. |
| 89 | TO HIGH LEAVE |
| 90 | TO CONC. |
| 91 | TO MIN. |
| 92 | TO CONC. |
| 93 | TO HIGH LEAVE |
| 94 | TO CONC. |
| 95 | TO MIN. |
| 96 | TO CONC. |
| 97 | TO HIGH LEAVE |
| 98 | TO CONC. |
| 99 | TO MIN. |
| 100 | TO CONC. |

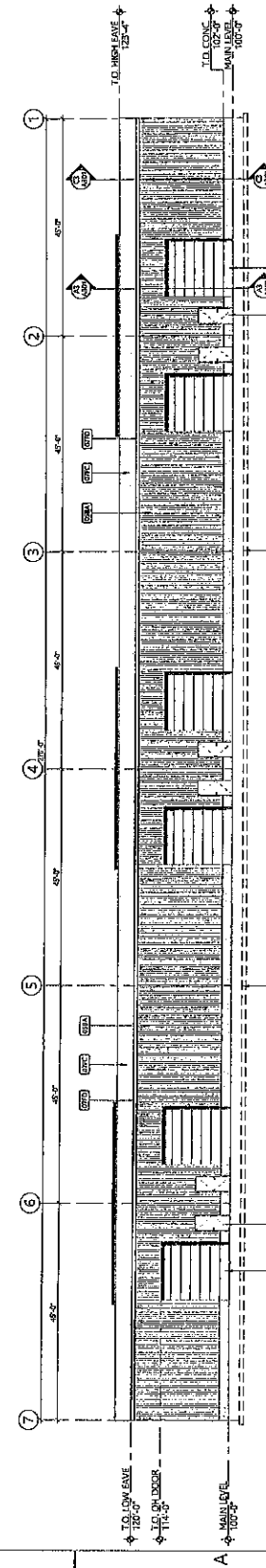


8) NORTH EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

6) SOUTH EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"



3) WEST EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"



4) EAST EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

ARCHITECTURAL
ELEVATIONS
A201

CITY REVIEW SET

