



Nibley City
Planning Commission Meeting
Thursday, March 21, 2024
Nibley City Hall
455 W. 3200 S.
Nibley, UT

6:30 p.m. Call to Order and Roll Call
 Approval of Agenda
 Approval of Minutes

In accordance with Utah Code Annotated 52-4-207 and Nibley City Resolution 12-04, this meeting may be conducted electronically. The anchor location for the meeting will be Nibley City Hall, 455 West 3200 South, Nibley, Utah. The public may participate in the meeting either in person or electronically via the meeting link provided at www.nibleycity.com.

1. **Discussion and Consideration:** Conditional Use Permit for ‘Pampered Paws,’ a self-serve pet wash business at 3040 South Main Street (Applicant: Travis White)
2. **Training:** Open and Public Meetings Act
3. **Workshop:** Open Space Subdivision, R-2 and R-2A Zoning Standards
4. Staff Report and Action Items

*Planning Commission agenda items may be tabled or continued if 1) Additional information is needed in order to take action on the item, OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. **No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commission.** The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regularly scheduled meeting.*

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, REASONABLE ACCOMMODATIONS FOR INDIVIDUALS WITH DISABILITIES WILL BE PROVIDED UPON REQUEST. FOR ASSISTANCE, PLEASE CALL 752-0431 A MINIMUM OF 24 HOURS BEFORE THE MEETING.



**Nibley City Planning
Commission
Agenda Item Report
March 14, 2023**

Agenda Item #1: CUP for Pet Wash

Description

Discussion and Consideration: Conditional Use Permit for ‘Pampered Paws,’ a self-serve pet wash business at 3040 South Main Street (Applicant: Travis White)

Department

City Planning

Action Type

Administrative

Recommendation

Approval of Conditional Use Permit for ‘Pampered Paws,’ a self-serve pet wash business at 3040 South Main Street, adopting the recommended findings and conditions below.

Reviewed By

City Planner

Background

Travis White has submitted a business license and accessory building- zoning clearance application for ‘Pampered Paws Pet Wash LLC’ to build and operate a self-serve pet wash in a pre-manufactured modular accessory building, directly adjacent to the existing car wash

building. The site for this business is in a neighborhood- commercial (C-N) zone and is bordered by Maverik fuel station to the south and low density residential and agricultural uses to the east west and north. Staff has determined that the classification of the business would be ‘pet services,’ which is a conditional use in the commercial zone.

‘Pet services’ is defined as follows:

an establishment in the business of sales, grooming, training, play, or pet day care services of household pets. Does not include overnight boarding or animal breeding.

NCC 19.28.050(A) provides the basis for granting a conditional use permit, as follows:

A conditional use permit shall be approved if reasonable conditions are imposed to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, then the conditional use may be denied. Substantial mitigation shall not mean complete elimination of all detrimental effects.

Site Plan and Space Requirements

The 8’ x 13’, 9.5’ tall accessory building in which the pet wash would operate is proposed to be located 2’ from the existing car wash building to the south and 6’ from the south property line. According to NCC 19.22.010, the minimum setback for accessory buildings in the C-N zone is 20’ front yard, 0 side yard, and 10’ rear yard (when adjacent to a residential zone). According to the site plan provided, the application meets minimum setback requirements. Based upon the plans provided, only one customer would use the service at any given time.

Prior to constructing the building, the applicant will be required to obtain a building permit and the business will require a fire inspection prior to operation.

Traffic impacts

Due to the limited clientele that the business will serve at an given time, the use is anticipated to have very limited impacts upon overall traffic or level of service on adjacent streets. No mitigating measures are recommended.

Parking

NCC 19.24.160(B) requires that ‘businesses selling or catering to the public provide 1 space per 200 sq ft of floor place. The proposed building includes a floor area of approximately 64 sq ft. The applicant is proposing to provide an additional 2 parking stalls to service the site, which exceeds the minimum parking requirement.

Hours of Operation and Noise

The business is proposed to operate 24 hours/day, 7 days/week. The adjacent car wash and convenient store (Maverik) also operate these hours. Although the business is anticipated to have some noise-related impacts, the closest residence is 180 feet from the business. Any noise-related impacts to nearby residences are expected to be minimal.

Recommended Conditions

1. A building permit is required prior to construction.
2. The building shall comply with fire code is subject to inspection of the Fire Marshall before a business license is granted.

Recommended Findings

1. The proposed accessory building meets space requirements of 19.22.010.
2. Provided parking to support the business meets minimum requirements of 19.24.160(B).
3. Anticipated traffic impacts related to the business are minimal.
4. Anticipated noise impacts related to the business are expected to have minimal impact on surrounding residential properties.

Agenda Item #3: Workshop: Open Space Subdivision, R-2 and R-2A Zoning Standards

Description

Workshop: Open Space Subdivision, R-2 and R-2A Zoning Standards

Department

City Planning

Action Type

No Action

Recommendation

Discuss potential modifications to City Code

Reviewed By

City Planner

Background

NCC 21.10.020 provides standards for development within an Open Space Subdivision. An Open Space Subdivision (formerly rural preservation and conservation) provides an incentive for developers to preserve open space by offering a density bonus with some flexibility for lot size and width. The ordinance was crafted to incentivize the usage of open space preservation in R-1, R-1A and R-2 zones. R-2A zones are also eligible. However, for the purposes of the ordinance, they are treated the same as a R-2 zone. In other words, the base density is based upon $\frac{1}{2}$ acre lots, rather than 14,000 sq ft lots (.32 acre) lots. Therefore, there is no real incentive to develop an open space subdivision in a R-2A zone as the maximum density bonus allowed in an open space subdivision is 35% and R-2A allows for approximately 35% additional lots compared to a conventional development within a R-2 zone.

This nuance to the ordinance has created a disincentive for the City to rezone property to R-2A, as it diminishes the prospect of providing open space within a new development. The City may consider an alternative to this code limitation. Potential revisions for discussion include:

1. Amendments to the Open Space Subdivision Code that would allow additional density based upon R-2A zoning, thus incentivizing its use within a R-2A zone. This could, in effect, allow development with the equivalent density of $\frac{1}{4}$ acre lots (~10,000 sq ft) with potential allowances for 6,000 sq ft lots and limited multi-family development within R-2A zones in Open Space subdivisions.
2. Remove the R-2A zone for consideration for future development. This would, in effect, 'downzone' areas, removing the option for residential development on lots lower than $\frac{1}{2}$ acre without the provision of open space.
3. Limit R-2A zones to smaller areas (potentially less than 5 acres). Larger areas would be R-2 or lower density, thus incentivizing the use of open space subdivision on larger parcels that have a greater potential for open space preservation.

The purpose of this workshop is to discuss and explore these and other options to the ordinance and provide general direction to Staff to draft an ordinance for the Planning Commission to consider.

Nibley

**Pampered Paws Pet Wash
LLC**

5452447

03/13/2024 - 12/31/2024

Commercial Business License

f7cc02f0-e180-11ee-a678-bf86869939d4

Commercial Business

Active

New

Application Review Status

Pre-Review

Not Reviewed

Final-Review

Not Reviewed

03/13/2024

Fees

Commercial Business Application Fee	\$30.00
Initial Business License Fee	\$250.00
Fire Inspection Fee	\$45.00
Subtotal	\$325.00
Processing Fee	\$0.96
Total	\$325.96
Amount Paid	\$30.96
Total Due	\$295.00

Payments

03/13/2024	Online	\$30.00
Total Paid		\$30.96

Application Form Data

(Empty fields are not included)

First Name

Travis

Last Name

White

Contact Email

tjwhite4781@gmail.com

Phone Number

(435) 757-6858

Business Name

Pampered Paws Pet Wash LLC

Phone Number

(435) 757-6858

Email

tjwhite4781@gmail.com

Organization Type

LLC

Is this business selling tangible goods?

No

Have you registered your business with the State of Utah?

Yes

State Business Registration Number

12830991-0160

Please upload verification of registration with the State of Utah

 **Pampered Paws Utah Certificate Of Organization.pdf**

Federal Tax ID Number (EIN)

88-2091015

Business Street Address

3040 S. Main Street

City

Nibley

State

UT

Zip Code

84321

Business Activity

Other

Describe the Business. Please include details about its functions (i.e. sales, manufacturing, etc.)

24/7 self serve pet wash in pre-manufactured modular building. Customers can bring their pet and wash and dry it. Operates similar to a self serve car wash.

Do you use, store, or manufacture any chemical, combustible, or hazardous materials?

No

Does your business sell alcohol for sales or consumption?

No

Projected Opening Date

05/01/2024

Days and hours of operation

24 hours a day, 7 days a week

Do you understand this requirement for conditional use permit approval, if applicable?

Yes

Are you moving into a new or already existing building?

New

Mailing Street Address

352 N 390 E

City

Richmond

State

UT

Zip Code

84333

Please include any additional information about the proposed business.

It is cleaned and maintained at least daily by staff. Have had 2 other locations operating for the past several months in other areas of the valley.

Owner First Name

Travis

Owner Last Name

White

Phone

(435) 757-6858

Street Address

3040 S. Main Street

City

Nibley

State

UT

Zip

84321

Date of Birth

04/07/1981

Are there any additional owners/officers of this business?

No

Is there at least one manager who is not an owner/officer?

No

Signature

I certify that the information contained in this application is true and correct. I agree to conduct my business following Nibley City ordinances and any other State or Federal statutes or laws governing the operation of such business. Further, I understand that false disclosure of information on this application or failure to comply with said ordinances, laws, and statutes may result in the revocation of my business license. I understand that License renewals are due January 1st each year. The license will indicate an expiration date. I understand that I am ultimately responsible for ensuring timely renewal payments. After March 1st, the license is no longer valid and business owners are required to submit a new application and pay associated fees.

With my signature, I give consent to receive service of process at the email listed on this application.

Travis White - 03/13/2024 3:30 pm

Nibley

3040 S. Main Street

03/13/2024 - 03/12/2034

4176323

Accessory Building - Zoning
Clearance

ff2af130-e17d-11ee-a678-bf86869939d4

General

Active

New

Application Review Status

Final-Review

Not Reviewed

03/13/2024

Fees

Application Fee	\$30.00
Subtotal	\$30.00
Processing Fee	\$0.96
Total	\$30.96
Amount Paid	\$30.96
Total Due	\$0.00

Payments

03/13/2024	Online	\$30.00
Total Paid		\$30.96

Application Form Data

(Empty fields are not included)

Owner First Name

Travis

Owner Last Name

White

Phone

(435) 757-6858

Email

tjwhite4781@gmail.com

Property Location Street Address

3040 S. Main Street

City

Nibley

State

UT

Zip

84321

Please describe the proposed use for this accessory building

24/7 self serve pet wash pre-built modular building. Operates very similar to a self serve car wash bay that a person can bring their pet and wash and dry them.

Do you plan to conduct business-related activities in this accessory building or addition?

Yes

Proposed Building Size (sq ft)

104

Lot Size (acres or sq ft)

1.01

Upload a plot plan

 Pamperedpetwash_siteplan_03132024.pdf

Upload elevation drawings of the proposed accessory building or addition

 Single Bay Pic2.jpg Single Bay Pics.jpeg Tub and wall pic.jpg ALL PAWS PET WASH ADA ARCH-MECH-ELEC.pdf

Signature

I certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete and accurate to the best of my knowledge. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that Nibley City may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the Nibley City Code and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I have reviewed and understand the section from the Fee Schedule and hereby agree to comply with this resolution. I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

With my signature, I give consent to receive service of process at the email listed on this application.

Travis White - 03/13/2024 3:09 pm



1 Site
101 1/16" = 1'-0"

MARK:	DATE:	DESCRIPTION:

PROJECT #:	Project Number
DESIGNED BY:	Designer
DRAWN BY:	Author
CHECKED BY:	Checker
ISSUED:	Issue Date

4/1/2024

Site

101



PET WASH FRAMING
BASE PERIMETER IS COMPRISED OF 2"x6"x0.125" WALL RECTANGULAR ALUMINUM TUBE WITH A 2"x4"x0.125" RECTANGULAR TUBING CROSS MEMBERS BASE. THIS INCORPORATES A 4"x4"x0.125" ALUMINUM GUTTER AND A 3/16" ALUMINUM DIAMOND PLATE FLOOR PERIMETER. CROSS MEMBERS AND GUTTER ARE WELDED INTO A ONE PIECE GRID. THE DIAMOND PLATE FLOOR IS WELDED TO THE ONE AND GUTTER ARE WELDED INTO A ONE PIECE GRID. THE DIAMOND PLATE FLOOR IS WELDED TO THE ONE PIECE ALUMINUM TUBE GRID.

ROOF RAFTER/COLUMN IS A 2"x4"x0.125" RECTANGULAR TUBE WELDED AT THE EVE AND RIDGE FORMING A COLUMN RAFTER FRAME. THESE FRAMES ARE WELDED TO A BASE. THE HORIZONTAL PURLINS IN THE ROOF AND WALLS ARE 2"x2"x0.125" SQUARE TUBES. ALL TUBES ARE WELDED TO THE RAFTER/COLUMN FRAMES. THE INTERIOR WALLS ARE 2"x2"x0.125" SQUARE TUBES AND INCLUDE WELDED BRACKETS AND TABS TO FACILITATE MOUNTING MECHANICAL EQUIPMENT. ENTIRE PET WASH IS WELDED INTO A SINGLE STRUCTURE.

ALL EXPOSED STRUCTURAL ALUMINUM IS POWDER COATED. 2" CLOSE CELL FOAM INSULATION IS USED IN THE ROOF AND WALLS. THE EXTERIOR WALLS AND ROOF ARE 10MM PVC PANELS. THE INTERIOR CEILING AND WASH BAYS ARE 10 MM PVC PANELS. THE INTERIOR SIDE OF THE EXTERIOR WALL IS 10 MM PVC PANELS. THE EQUIPMENT DOOR IS A STEEL DOOR. THE BALANCE OF THE WALL GLAZING IN THE WASH BAY IS TEMPERED SAFETY GLASS.

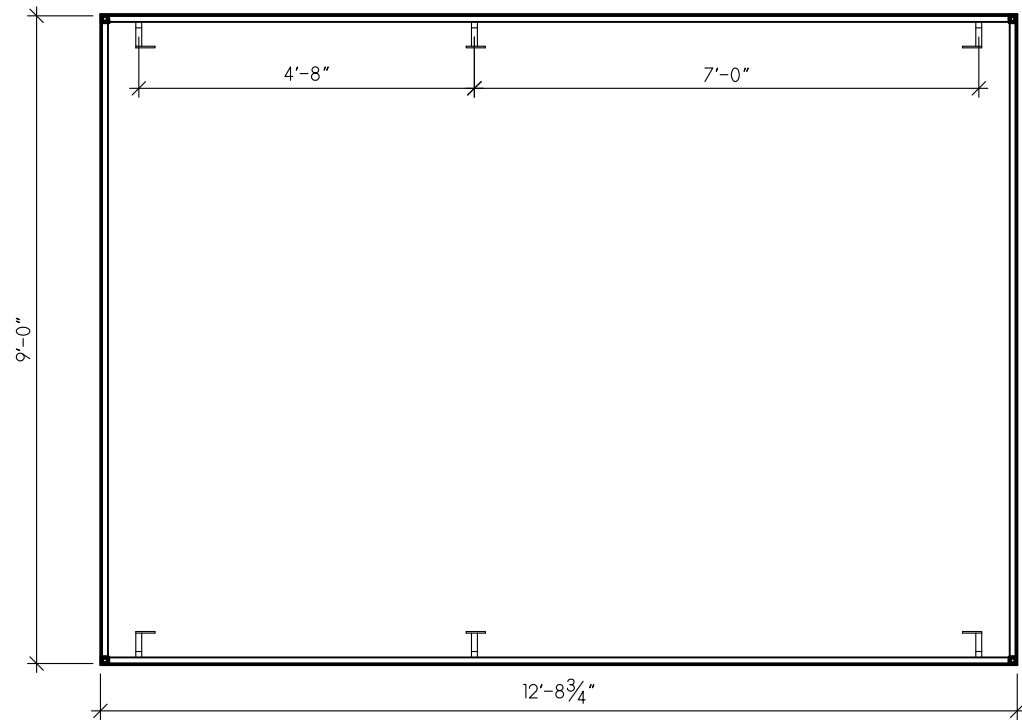
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ADA PETWASH VENDING STATION
ALL PAWS PET WASH
VARIOUS LOCATIONS

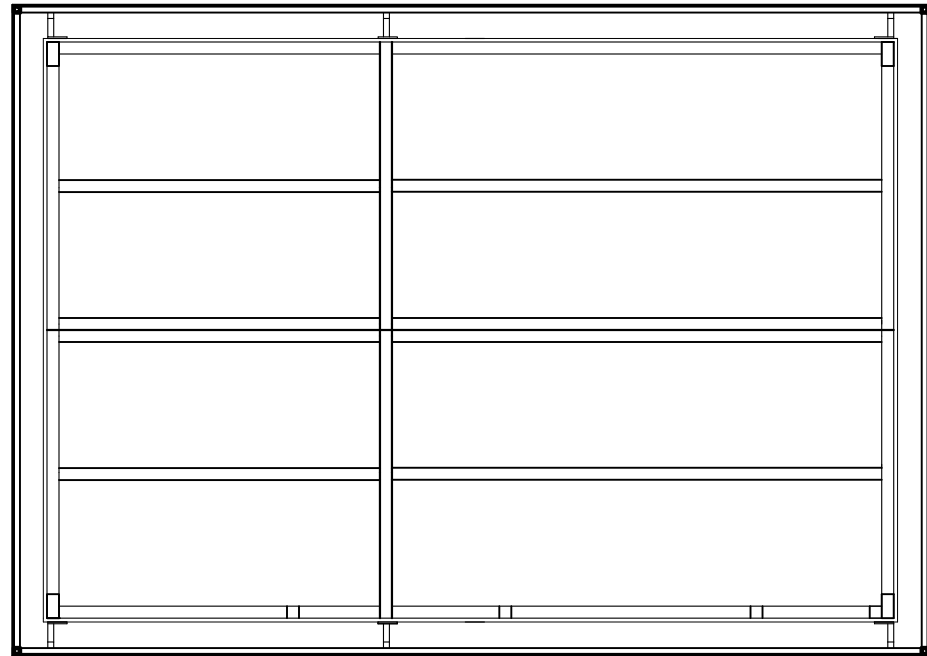
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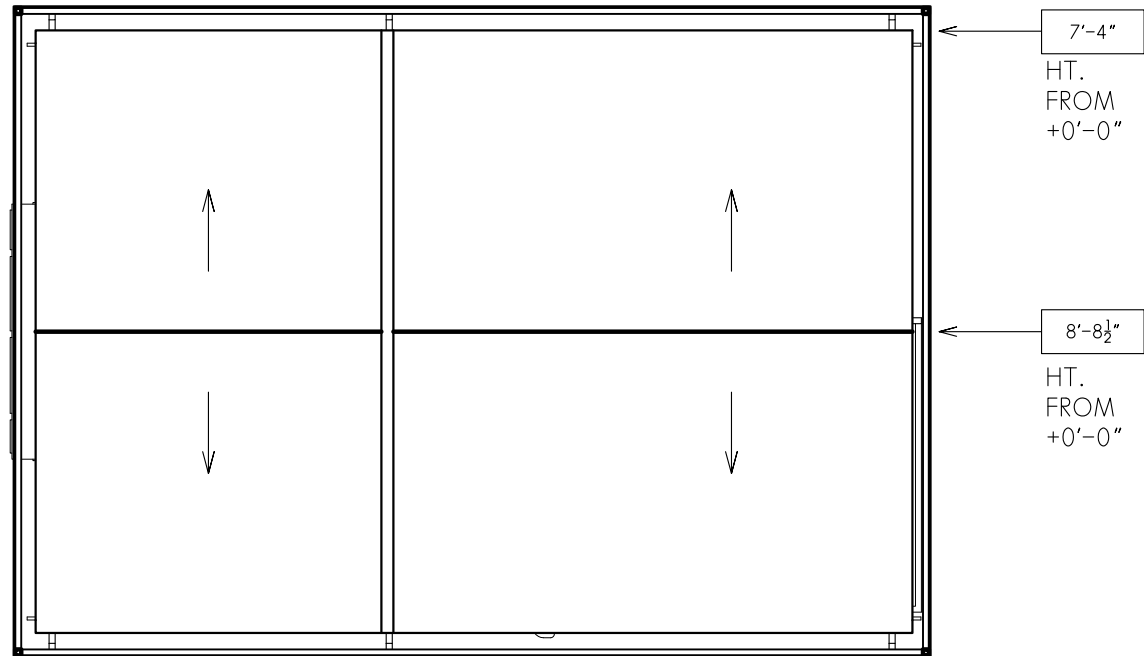
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PROJECT NUMBER
25118
SHEET NUMBER
A1.1



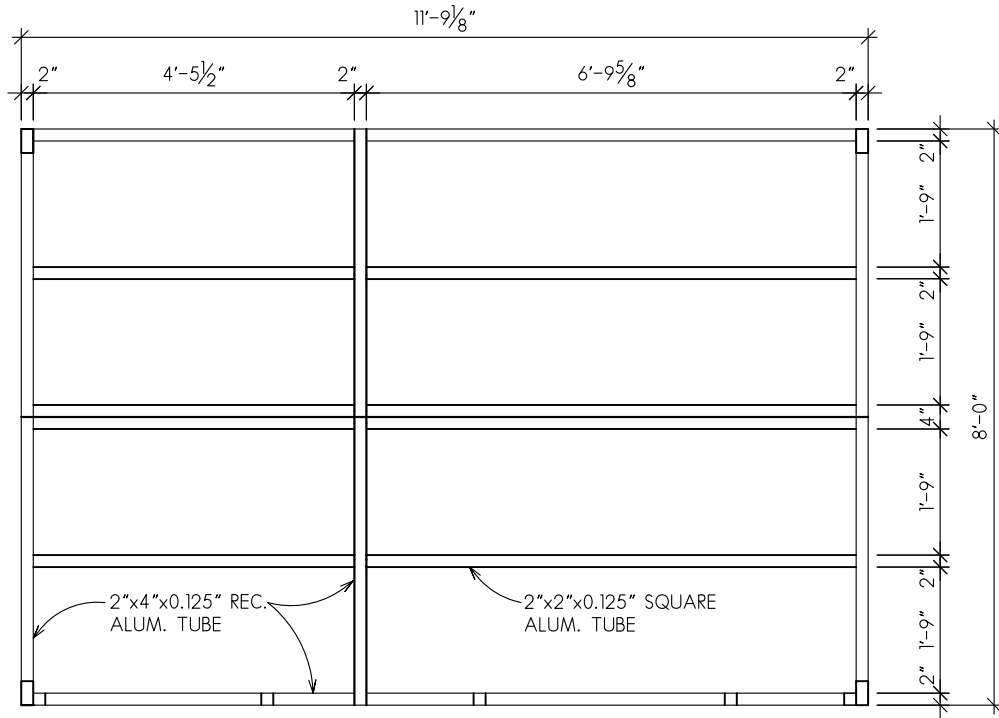
3 OPTIONAL FASCIA
SCALE: 3/8" = 1'-0"



4 ROOF FRAMING PLAN w/ FASCIA
SCALE: 3/8" = 1'-0"



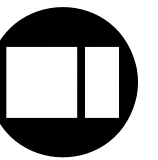
1 REFLECTED CEILING
SCALE: 3/8" = 1'-0"



2 ROOF FRAMING PLAN
SCALE: 3/8" = 1'-0"

ROOF PLANS

SCALE: 3/8" = 1'-0"



Larson & Darby Group
Architects Engineers Interiors

Redford Office - 4499 Harrison Ave., Suite 100, P.O. Box 5207 Redford, IL 6025 Tel: (815) 484-0739 Fax: (815) 229-9867

ADA PETWASH VENDING STATION
ALL PAWS PET WASH
VARIOUS LOCATIONS

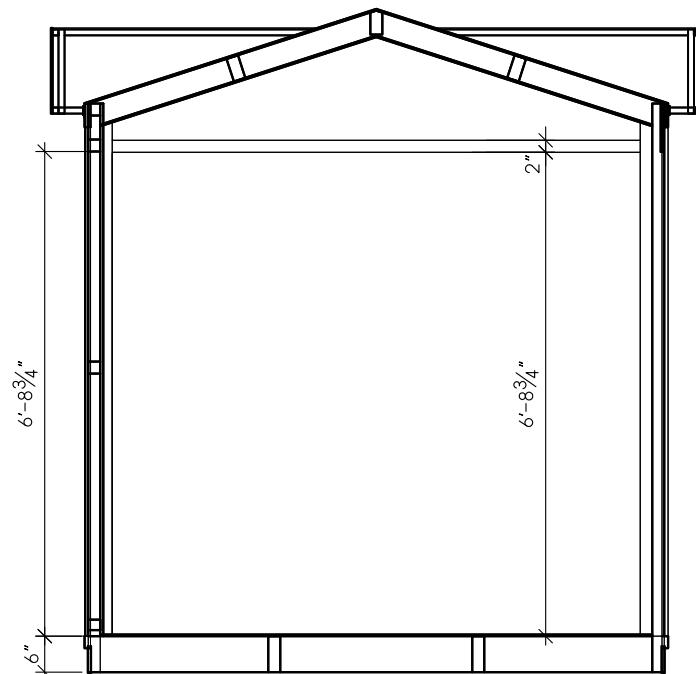
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DRAWN	APPROVED

DATE: 07-10-2015	PROJECT NUMBER
25118	
SHEET NUMBER	
A1.2	

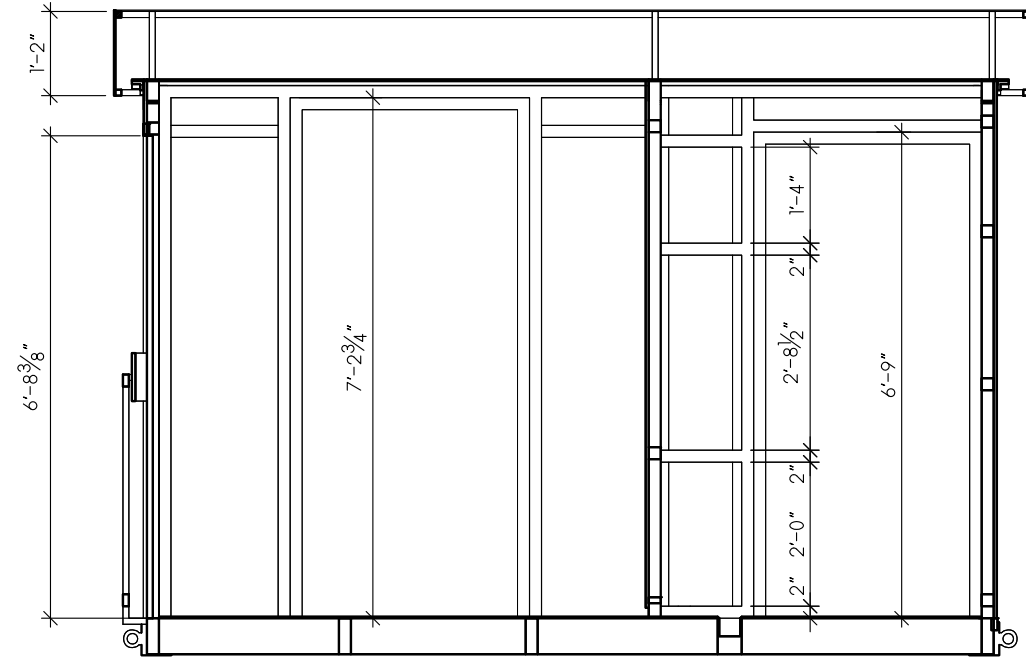


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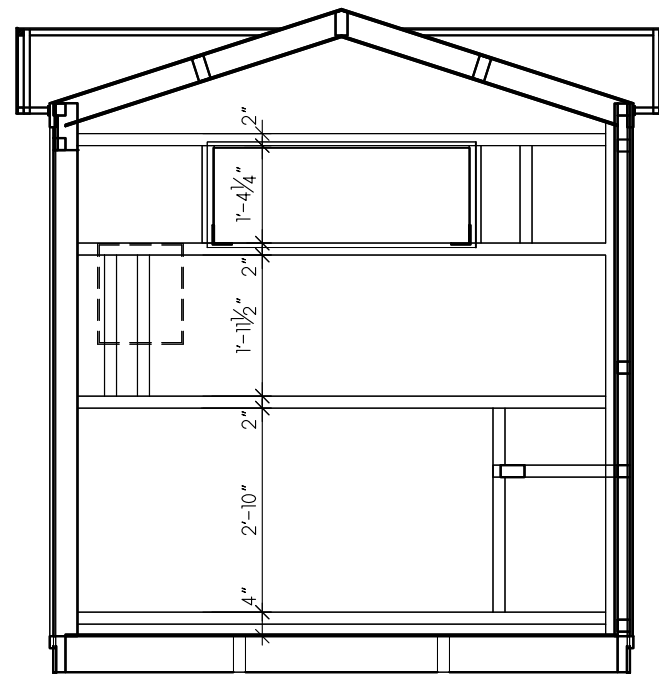


3 BUILDING SECTION
SCALE: $\frac{3}{8}'' = 1'-0''$

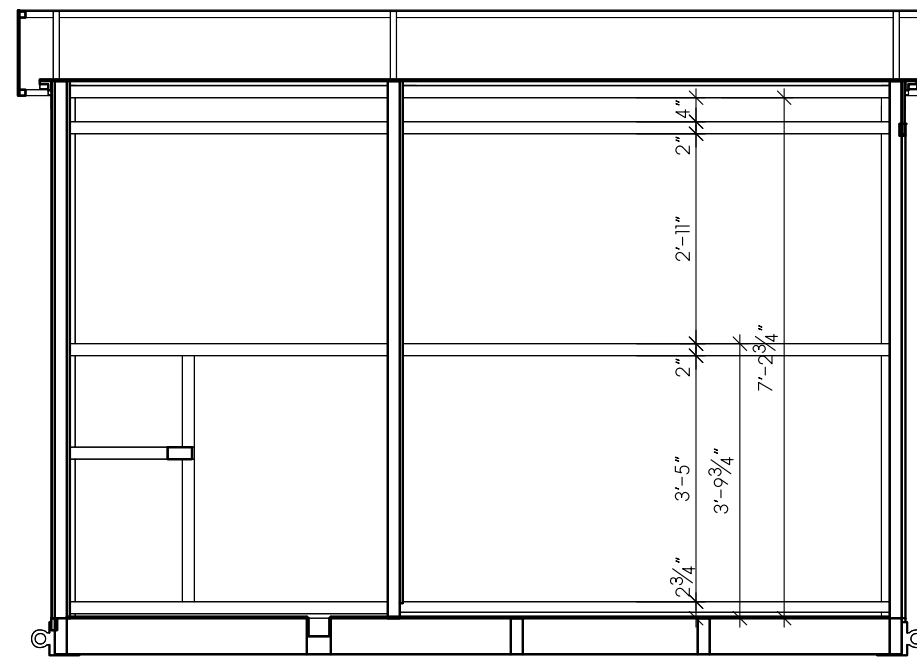
NOTE: INTERIOR EQUIPMENT DELETED OR SHOWN
AS DASHED LINES FOR CLARITY



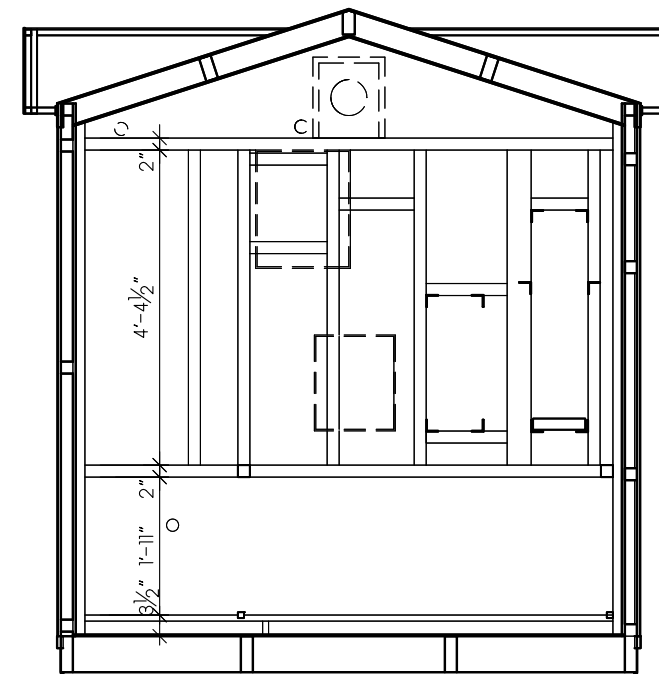
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2 BUILDING SECTION
SCALE: $\frac{3}{8}'' = 1'-0''$



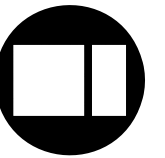
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SCALE: $3/8" = 1'-0"$



1 BUILDING SECTION
SCALE: 3/8" = 1'-0"

STRUCTURE BUILDING SECTIONS

SCALE: $3/8" = 1'-0"$



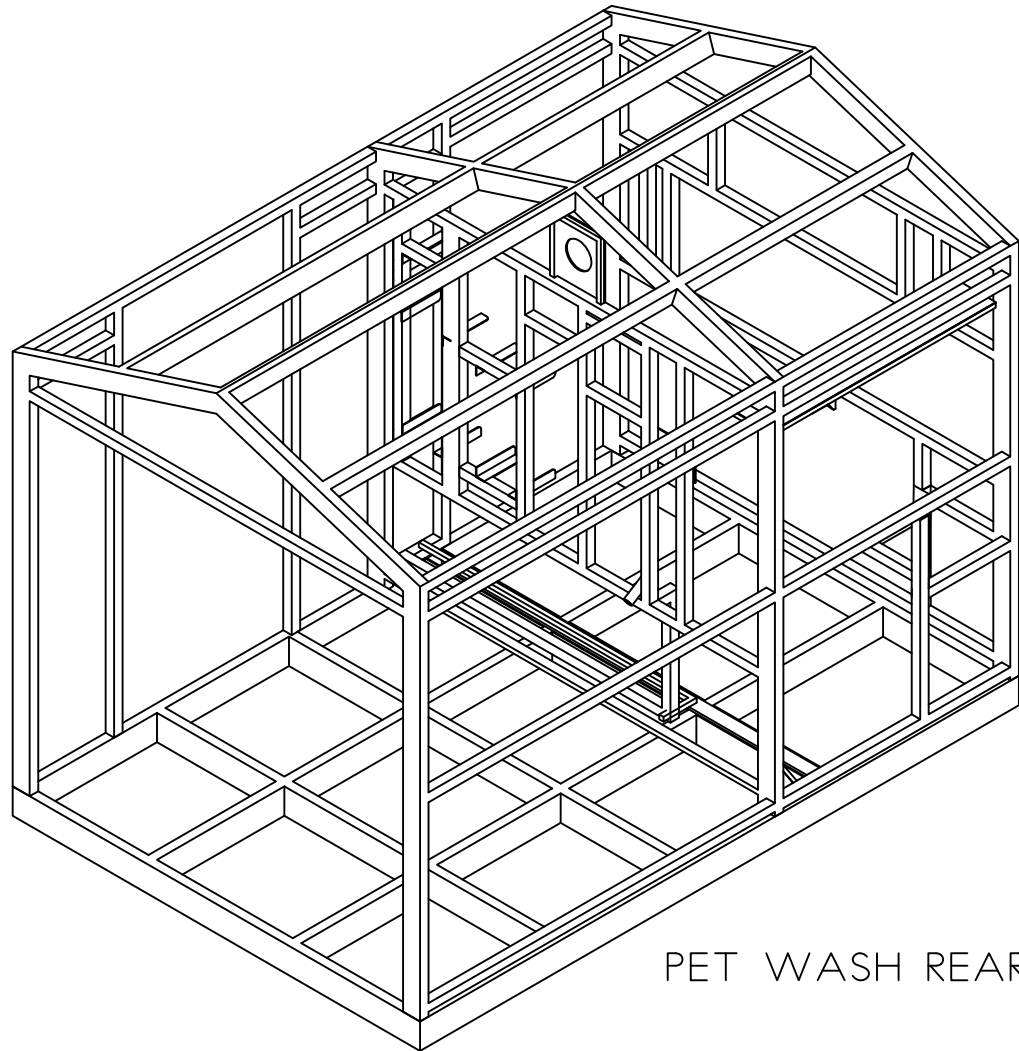
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Architects Engineers Interiors
Rochford Office - 4949 Harrison Ave., Suite 100, P.O.Box. 5207 Rochford, L. 4125 Tel (815) 484-0739 Fax (815) 229-7647

ADA PETWASH VENDING STATION
ALL PAWS PET WASH
VARIOUS LOCATIONS

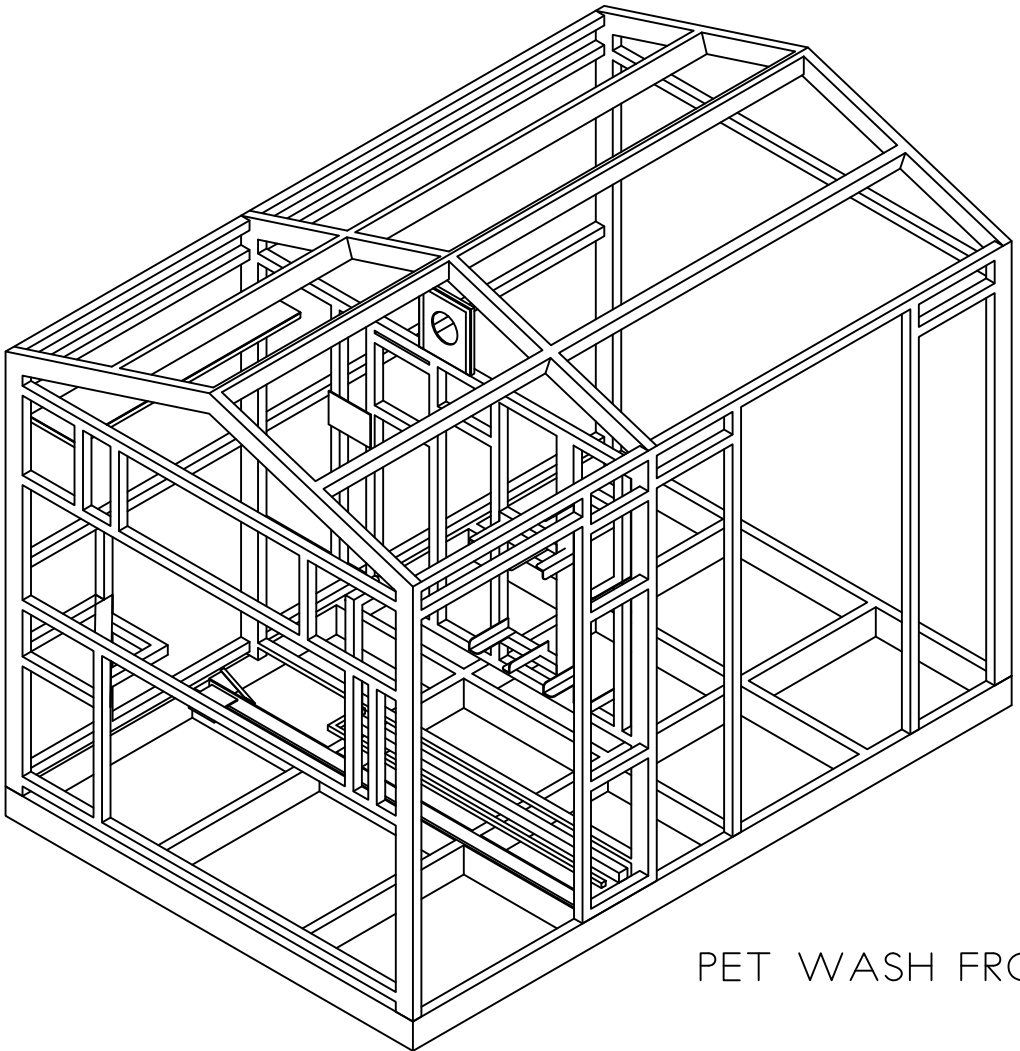
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DATE: 07-10-2015
PROJECT NUMBER
25118
SHEET NUMBER
A3.1



PET WASH REAR

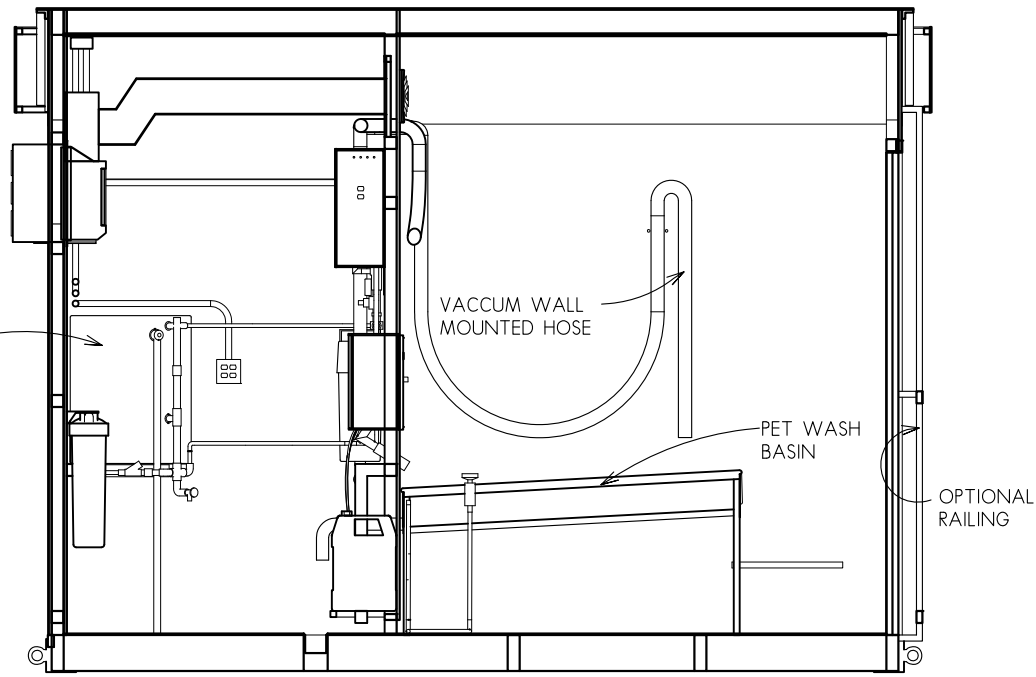


PET WASH FRONT

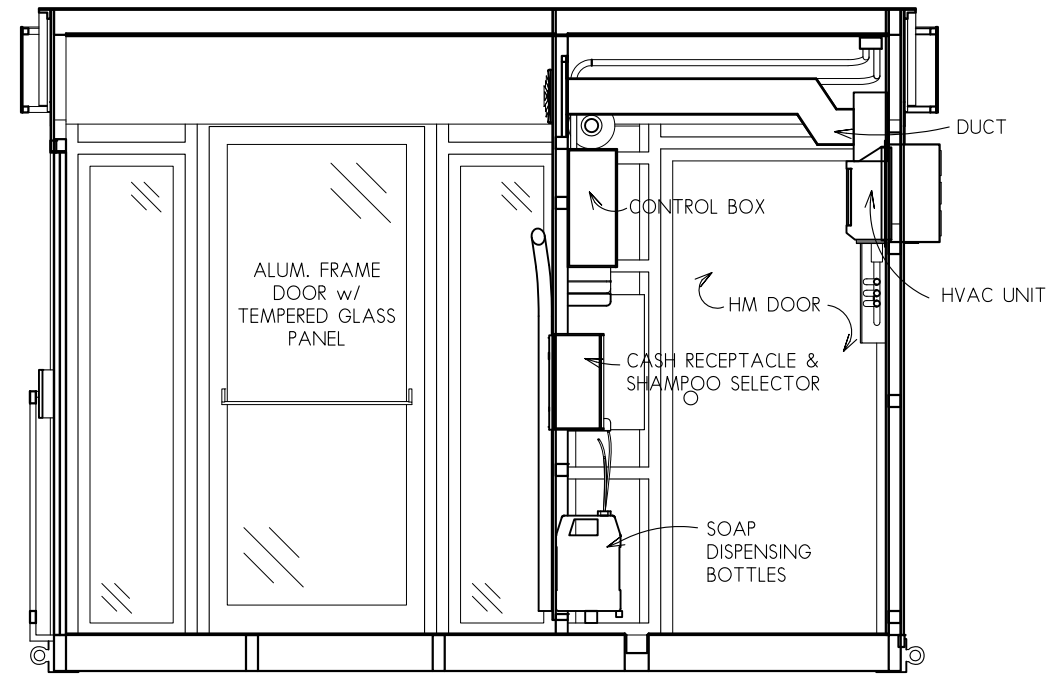
FOR ILLUSTRATIVE
PURPOSES ONLY

STRUCTURE
AXONOMETRIC VIEWS
SCALE: NONE

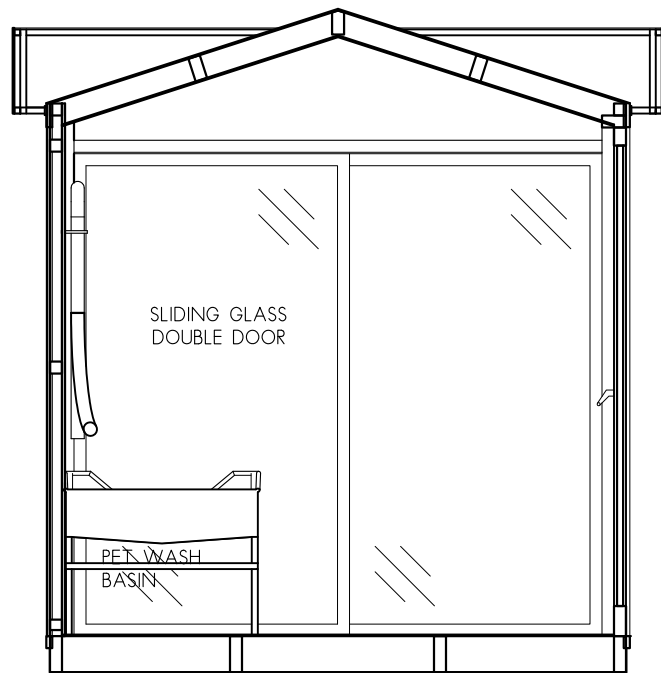
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PROJECT NUMBER		
25118		
SHEET NUMBER	DRAWN	APPROVED
A3.2		



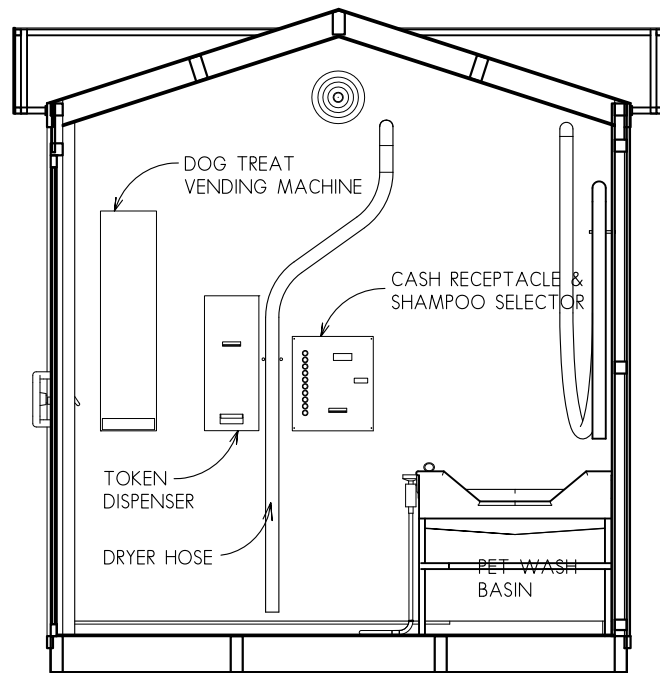
6 ELEVATION FACING BACK
SCALE: 3/8" = 1'-0"



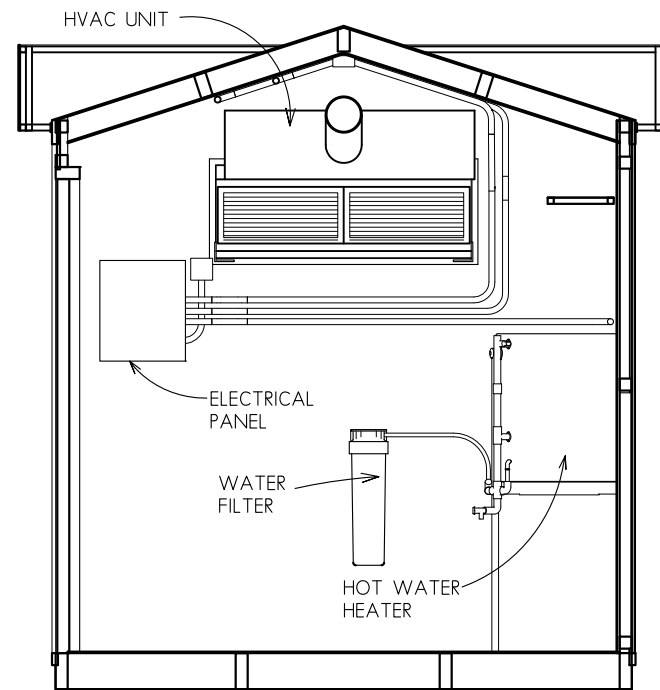
5 ELEVATION FACING FRONT
SCALE: 3/8" = 1'-0"



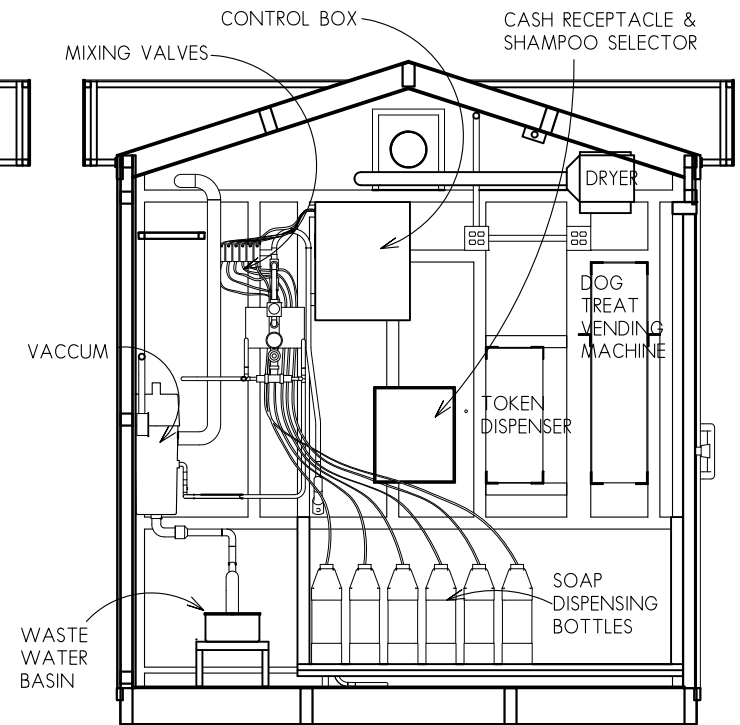
4 PET WASHING ROOM
SCALE: 3/8" = 1'-0"



3 PET WASHING ROOM
SCALE: 3/8" = 1'-0"



2 UTILITY ROOM
SCALE: 3/8" = 1'-0"



1 UTILITY ROOM
SCALE: 3/8" = 1'-0"

INTERIOR ELEVATIONS

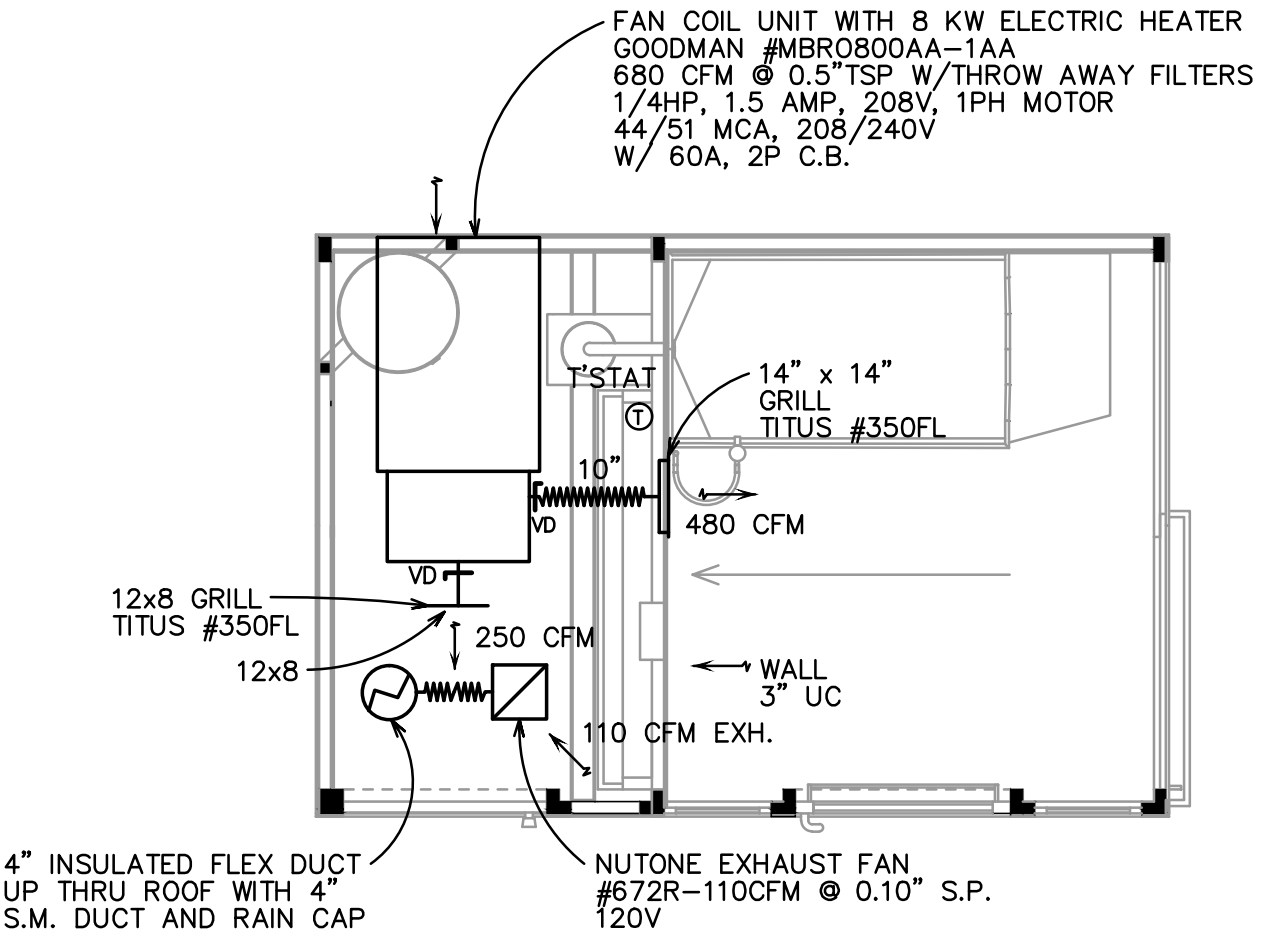
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HVAC PLAN NOTES:

- ALL SUPPLY AIR DUCTS SHALL BE FABRICATED FROM PRIME GRADE GALVANIZED SHEET METAL IN ACCORDANCE WITH THE SMACNA DESIGN MANUAL.
- ALL DUCTWORK IS EXPOSED WITH-IN CONDITIONED SPACE.
- ALL DUCT DIMENSIONS SHOWN ARE ACTUAL DIMENSIONS OF AIRWAY;
- ALL GRILLES ARE BASED UPON TITUS WITH BAKED OFF-WHITE ENAMEL FINISH.
- ALL FLEX DUCT SHALL BE WITH FLAME SPREAD OF 25 OR LESS. MAXIMUM LENGTH SHALL BE 5 LINEAR FEET.
- THE MANUFACTURER SHALL ADJUST ALL DRIVES AND REGULATE ALL SUPPLY AIR GRILL DAMPERS TO DELIVER THE AIR QUANTITY SHOWN ON THE PLAN.
- WHERE FLEXIBLE DUCTS ARE CONNECTED TO MAIN TRUNK DUCT. SPIN COLLARS WITH MANUAL VOLUME DAMPER SHALL BE PROVIDED.

MECHANICAL SPECIFICATIONS

- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL ARRANGEMENTS, SIZES, AND LOCATIONS OF EQUIPMENT. ALL EQUIPMENT SHALL BE INSTALLED COMPLETE WITH FURNISHING ALL REQUIRED COMPONENTS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ASHRAE STANDARDS FOR THE STATE OF ILLINOIS.
- CONFORMANCE TO LOCAL CODE, AND ANY OTHER REQUIREMENTS APPLICABLE TO THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE END USER. THE END USER SHALL SUBMIT ALL REQUIRED DRAWINGS FOR APPROVAL TO ANY AGENCIES REQUIRING THEM AND OBTAIN NECESSARY PERMITS.
- ALL MATERIAL SHALL BE NEW AND OF FIRST QUALITY. ALL WORKMANSHIP SHALL BE FIRST CLASS AND DONE ACCORDING TO STANDARD PRACTICE.
- WHERE UNDERWRITERS' LABORATORY STANDARDS EXIST, EQUIPMENT FURNISHED SHALL BEAR THE UL LABEL AND BE OF THE APPROPRIATE NEMA TYPE.
- NOTWITHSTANDING THE LOCAL CODE AUTHORITY REQUIREMENTS THE LATEST NFPA (NATIONAL FIRE PROTECTION ASSOCIATION) AND NBFU (NATIONAL BOARD OF FIRE UNDERWRITERS) REQUIREMENTS ARE A PART OF THIS CONTRACT. IF REQUIRED BY LOCAL AUTHORITIES THE MANUFACTURER WILL FURNISH AND INSTALL AUTOMATIC HEAT AND/OR SMOKE DETECTORS.
- ALL DUCT CONSTRUCTION AND INSTALLATION SHALL CONFORM TO LATEST APPLICABLE ASHRAE (AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS) AND SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION) STANDARDS.
- MANUFACTURER SHALL PROVIDE ALL VOLUMETRIC DAMPERS THAT SHALL BE SELF INDICATING WITH AN EXTERIOR ADJUSTING AND LOCKING MECHANISM. DAMPERS SHALL CLOSE AGAINST THE AIR STREAM.
- ALL DUCTS SHALL BE CLEANED PRIOR TO INSTALLATION OF GRILLES, REGISTERS, DIFFUSERS, ETC. PAINT INTERIOR OF DUCTS BEHIND GRILLES, DIFFUSERS, REGISTERS, ETC.
- MANUFACTURER SHALL PROVIDE VIBRATION ISOLATION TO PREVENT TRANSMISSION OF VIBRATION AND SOUND FROM MOTORIZED AND/OR ROTATING EQUIPMENT TO STRUCTURE.
- THESE DRAWINGS ARE NOT SITE SPECIFIC NOR ARE THEY DESIGNED TO LOCAL CODE REQUIREMENTS BUT ENTAIL THE GENERAL DESIGN CONCEPT, COMPONENTS, INTENT AND SHALL BE MODIFIED FOR A SPECIFIC ORDER AND LOCAL CODE REQUIREMENTS.



HVAC PLAN

SCALE: 3/8" = 1'-0"

VENTILATION SYMBOL LIST	
SINGLE LINE	DESCRIPTION
	DUCT, WIDTH X DEPTH, AIRWAY DIMENSIONS
	FLEXIBLE DUCT
	SIDE WALL SUPPLY REGISTER
	VOLUME DAMPER WITH QUADRANT LOCKING
	UNDERCUT MINIMUM 1' AT DOOR OR WALL
	THERMOSTAT

Larson & Darby Group
Architects Engineers Interiors
Rockford Office - 4440 Harrison Ave., Suite 100, Rockford, IL 61105 Tel: (815) 494-9799 Fax: (815) 494-7467

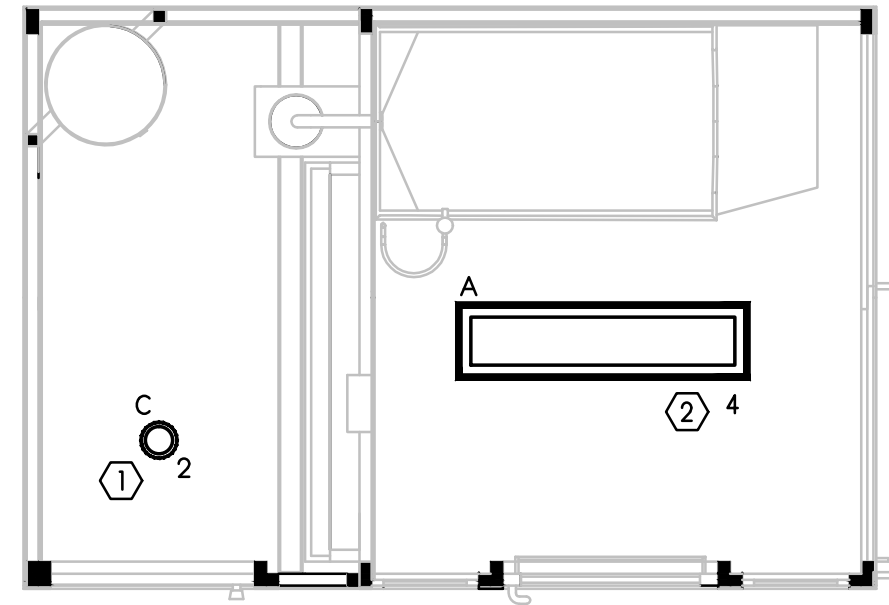
STANDARD BORDER SHEET FOR
LARSON & DARBY GROUP
ROCKFORD, ILLINOIS

DATE: 01-01-2015
PROJECT NUMBER: 25118
SHEET NUMBER: M.1

ISSUED FOR: DATE: _____
DRAWN: _____
APPROVED: _____

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- ① PORCELAIN SOCKET WITH PULL CHAIN.
- ② LITHONIA DMW 232 MVOLT GEB10 IS WITH DUST AND MOISTURE RESISTANT.
- ③ POWER TO PANEL TO BE PROVIDED PER LOCAL CODE AND PROJECT CONDITION.



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ELECTRICAL SPECIFICATIONS

- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL ARRANGEMENTS, SIZES, AND LOCATIONS OF EQUIPMENT. ALL EQUIPMENT SHALL BE INSTALLED COMPLETE WITH FURNISHING ALL REQUIRED COMPONENTS.
- ALL WORK INDICATED IS BASED UPON CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE AND IS SUBJECT TO LOCAL CODE INTERPRETATION AND IS CONFINED TO WITH-IN THE FOOTPRINT OF THE UNIT.

CONFORMANCE TO LOCAL CODE, AND ANY OTHER REQUIREMENTS APPLICABLE TO THIS PRODUCT SHALL BE THE RESPONSIBILITY OF THE END USER. THE END USER SHALL SUBMIT ALL REQUIRED DRAWINGS FOR APPROVAL TO ANY AGENCIES REQUIRING THEM AND OBTAIN NECESSARY PERMITS.
- ALL EQUIPMENT FURNISHED SHALL BE NEMA STANDARD, NEW, AND UL LISTED.
- UNLESS OTHERWISE SPECIFIED, THE MANUFACTURER SHALL FURNISH AND INSTALL CONDUIT, WIRING, AND DISCONNECTS FOR ALL ELECTRICALLY OPERATED EQUIPMENT, INCLUDING FINAL CONNECTIONS TO SAME WITH-IN THE FOOTPRINT OF THE UNIT. DICCONNECT IS NOT REQUIRED FOR PLUG IN EQUIPMENT
- ALL EMT CONDUIT FITTINGS SHALL BE COMPRESSION TYPE AS MANUFACTURED BY APPLETON, CROUSE- HINDS OR RACO.
- ALL CONDUCTORS SHALL BE COPPER TYPE THHN/THWN. MINIMUM SIZE #12 AWG. AS MANUFACTURED BY HATFIELD, COLLIER OR ANACONDA.
- LIGHT FIXTURE OUTLET BOXES SHALL BE A 4" OCTAGON BOX NOT LESS THAN 1-1/2" DEEP. TOGGLE SWITCH, RECEPTACLE OUTLET BOXES SHALL BE 4" SQUARE, NOT LESS THAN 1-1/2" DEEP. GARVIN DEVICE COVERS SHALL BE USED FOR EXPOSED JUNCTION BOX INSTALLATIONS. JUNCTION BOXES SHALL BE AS MANUFACTURED BY APPLETON, RACO OR STEEL CITY.
- CAST SWITCH, OUTLET AND JUNCTION BOXES OR CONDUIT FITTINGS SHALL BE USED IN ALL DAMP OR WET LOCATIONS. THEY SHALL HAVE THREADED HUBS AND GASKETED COVERS. THEY SHALL BE AS MANUFACTURED BY HOFFMAN, ADALET OR APPLETON.
- ALL LOCAL SWITCHES FOR CONTROL OF LIGHTING SHALL BE RATED 20 AMPERE, 277 VOLT A.C. TUMBLER TYPE AS FOLLOWS (COLOR AS SELECTED BY MANUFACTURER): SINGLE POLE HUBBELL #1221. ARROW HART AND P&S APPROVED EQUAL.
- SPECIFICATION GRADE DUPLEX RECEPTACLES SHALL BE 20 AMPERE, 125 VOLT 3 WIRE GROUNDING TYPE EQUAL TO HUBBELL 5362, A-H OR P&S APPROVED EQUAL. DEVICE COLOR AS SELECTED BY MANUFACTURER. G.F.I. RECEPTACLES SHALL BE EQUAL TO HUBBELL #GF5352. SPECIAL RECEPTACLES SHALL BE AS NOTED ON THE DRAWINGS.
- ALL PANELBOARD'S SHALL HAVE COPPER BUSSBARS AND SHALL BE AS MANUFACTURED BY I.T.E., SQUARE D OR WESTINGHOUSE. ALL CIRCUIT BREAKERS SHALL BE BOLT-ON. 15 AND 20 AMP SINGLE POLE BREAKERS SHALL BE RATED FOR SWITCHING DUTY.

MINIMUM U.L. LISTED INTERRUPTING RATINGS (RMS SYM. AMPS) SHALL BE AS FOLLOWS:

240 VOLT MAXIMUM BREAKERS

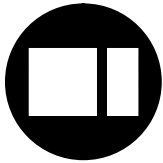
15-100 AMP = 10,000 AIC
110-225 AMP = 22,000 AIC
- LIGHT FIXTURES SHALL BE FURNISHED COMPLETE WITH LAMPS, LENSES, END CAPS, MOUNTING HARDWARE, ETC. TO PROVIDE A COMPLETE AND WORKING SYSTEM.
- THESE DRAWINGS ARE NOT SITE SPECIFIC NOR ARE THEY DESIGNED TO LOCAL CODE REQUIREMENTS BUT ENTAIL THE GENERAL DESIGN CONCEPT, COMPONENTS, INTENT AND SHALL BE MODIFIED FOR A SPECIFIC ORDER AND LOCAL CODE REQUIREMENTS.

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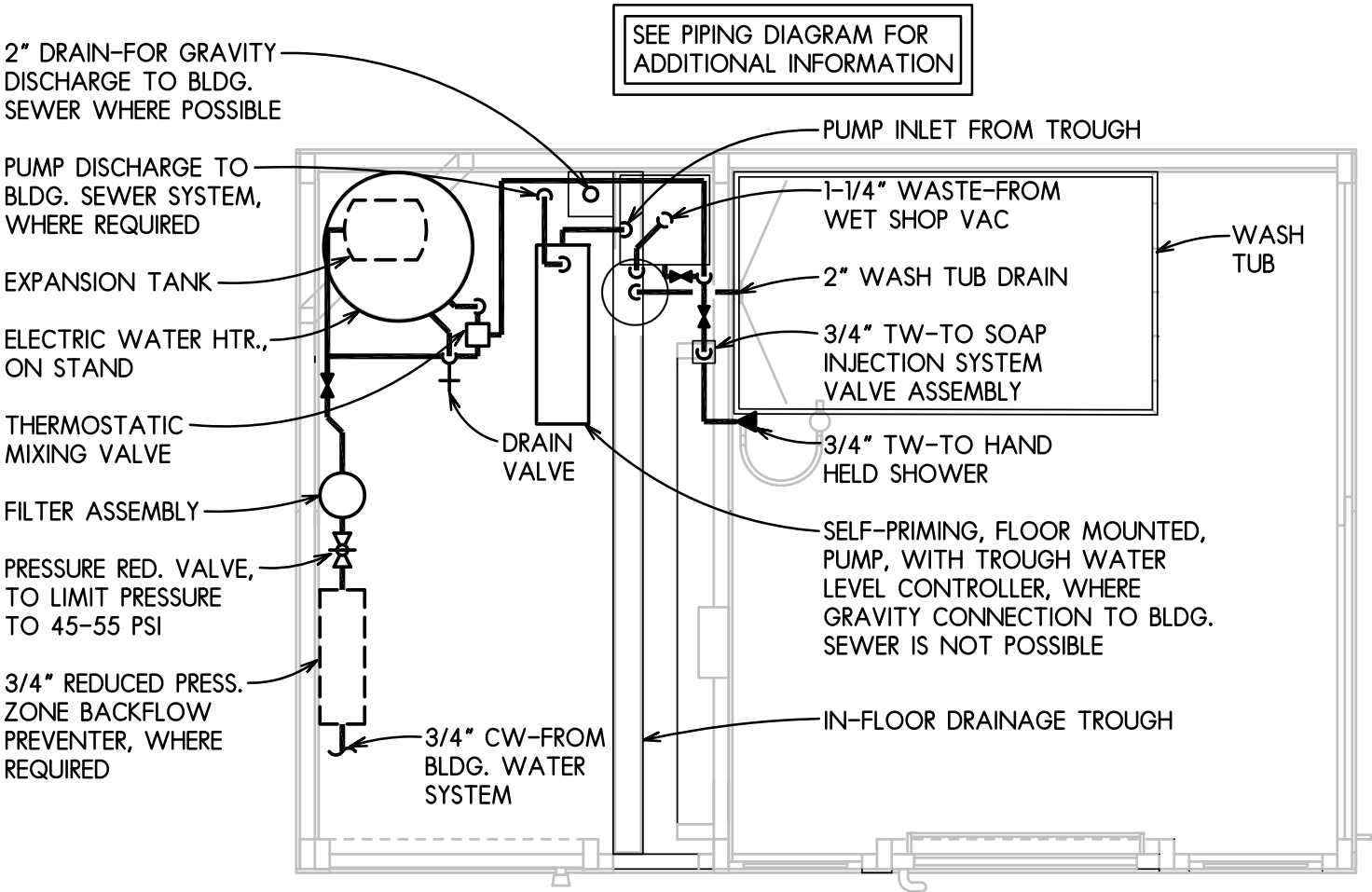


Larson & Darby Group
Architects Engineers Interiors
Rockford Office - 4049 Harmon Ave., Suite 100, Rockford, IL 61105 Tel (815) 964-0799 Fax (815) 225-9467

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PLUMBING SYMBOLS	
SYMBOL	DESCRIPTION
	PIPE TURNED UP
	PIPE TURNED DOWN
	SHUT-OFF VALVE
	PRESSURE REDUCING VALVE

PLUMBING ABBREVIATIONS	
MARK	DESCRIPTION
CW	COLD WATER
HW	HOT WATER
TW	TEMPERED WATER



- NOTES:
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
 2. ALL WATER PIPING SHALL BE PEX MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

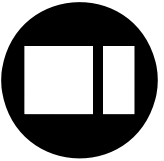
PLUMBING PLAN
SCALE: 1/2" = 1'-0"

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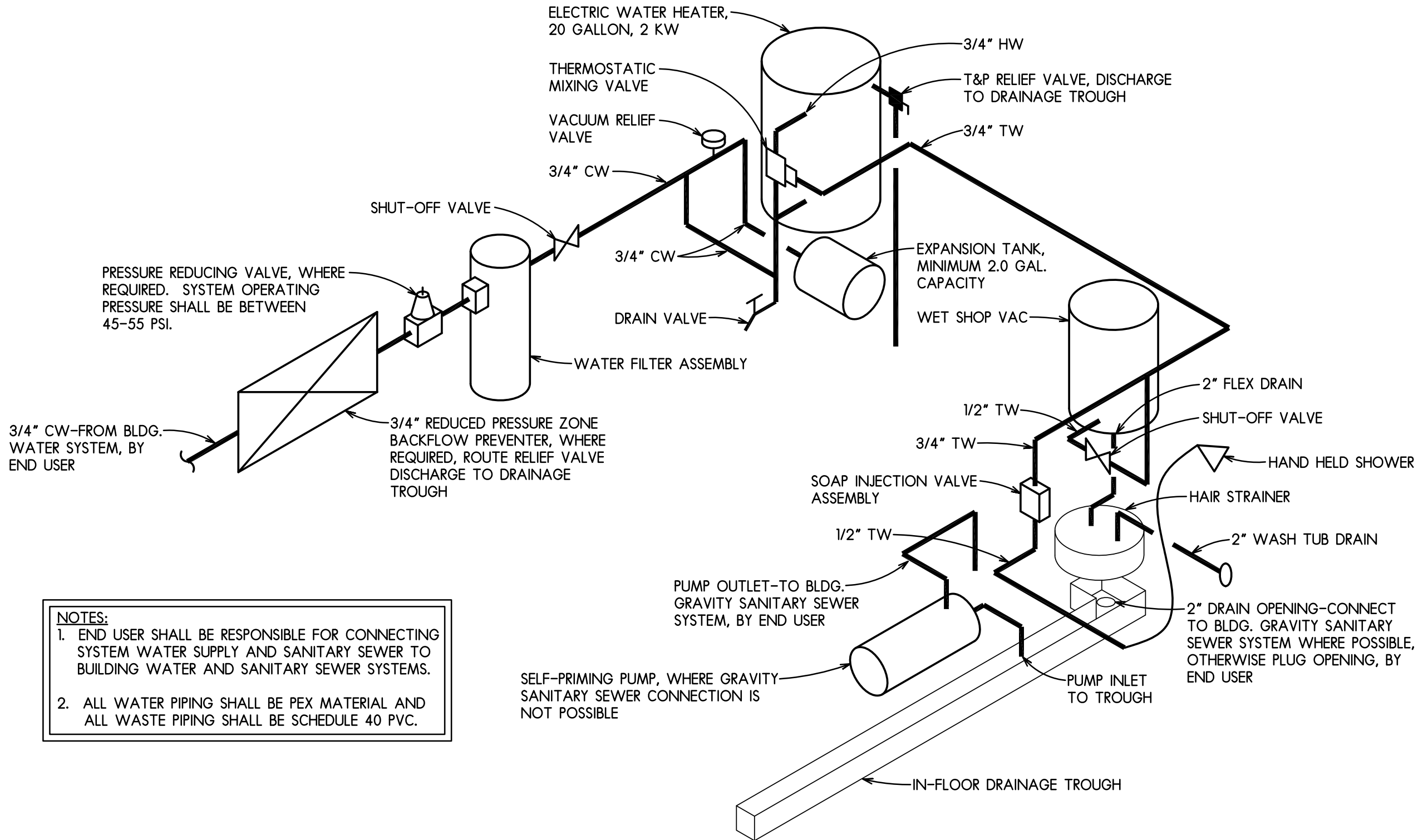
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ADA PETWASH VENDING STATION
ALL PAWS PET WASH
VARIOUS LOCATIONS



Larson & Darby Group
Architects Engineers Interiors
Head Office - 4949 Herman Ave. Suite 100, P.O. Box 5207, Rockford, IL 61105
Tel: (815) 494-0779 Fax: (815) 225-1947

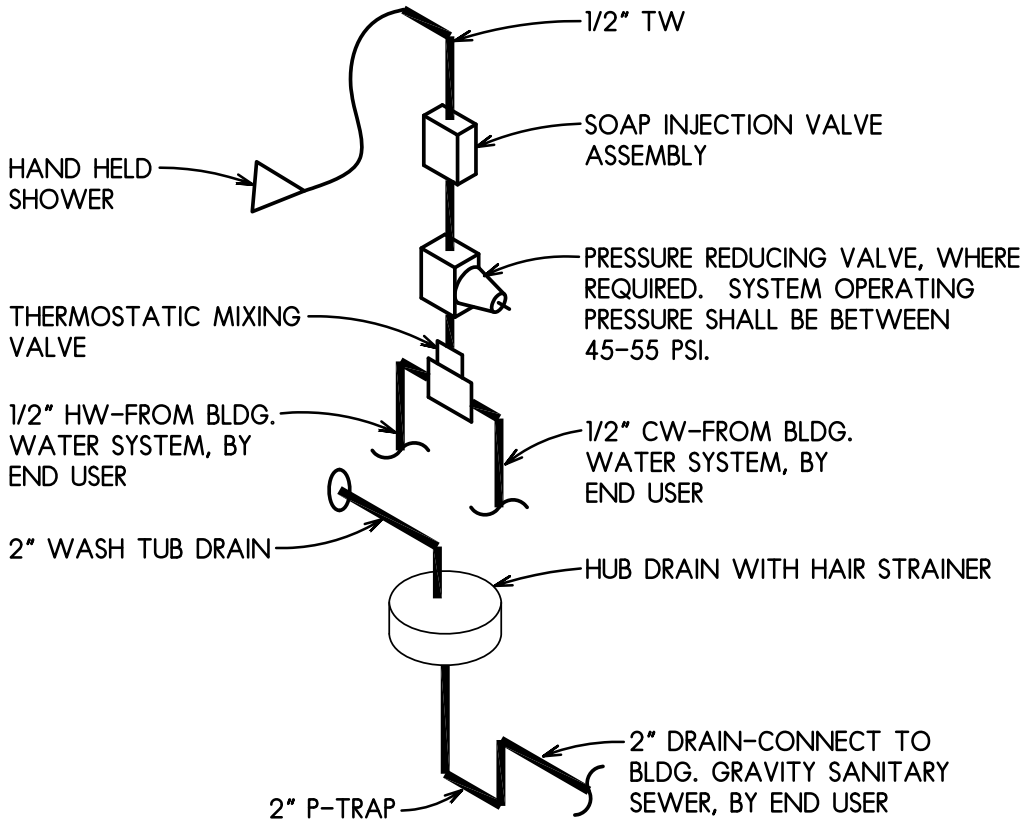
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- NOTES:
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
 2. ALL WATER PIPING SHALL BE PEX MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

PIPING DIAGRAM
NO SCALE

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- NOTES:
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.

2. ALL WATER PIPING SHALL BE PEX MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

PIPING DIAGRAM-FLIP TUB STYLE

NO SCALE

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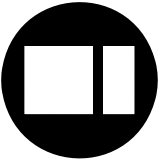
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ADA PETWASH VENDING STATION

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Headquarters - 4949 Harmon Ave., Suite 100, P.O. Box 5207, Rockford, IL 61105
Tel (815) 494-0799 Fax (815) 225-1947