

HURRICANE CITY UTAH

Mayor

City Manager

Nanette Billings Kaden DeMille

Planning Commission

Mark Sampson, Chair
Shelley Goodfellow, Alternate Chair
Ralph Ballard
Paul Farthing
Rebecca Broneman
Michelle Cloud
Brad Winder
Kelby Iverson

Hurricane Planning Commission Meeting Agenda

March 14, 2024

6:00 PM

Hurricane City Offices 147 N 870 W, Hurricane

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting commencing at 6:00 p.m. at the Hurricane City Offices 147 N 870 W, Hurricane, UT.

Meeting link:

<https://cityofhurricane.webex.com/cityofhurricane/j.php?MTID=me42b4eb65609e35eb0e0664c925c9dbc>

Meeting number: 2632 882 4836

Password: HCplanning

Host key: 730111

Join by phone +1-415-655-0001 US Toll

Access code: 2632 882 4836

Host PIN: 9461

Details on these applications are available in the Planning Department at the City Office, 147 N. 870 West.

6:00 p.m. - Call to Order

Roll Call

Pledge of Allegiance

Prayer and/or thought by invitation

Declaration of any conflicts of interest

Public Hearings

1. A Zone Change Amendment request located at 2600 W 100 N from HC, highway commercial, to PC, planned commercial. Parcel numbers H-3-1-32-312, H-3-1-32-314 and H-3-1-32-41011.
2. A Zone Change Amendment request located at approximately 2544 S 3700 W from PF, public facility, to R1-10, residential one unit per 10,000 square feet, and at approximately 2300 S and 3700 W from R1-10, residential one unit per 10,000 square feet, to PF, public facility. Parcel numbers H-4-2-12-1102-GS3, H-4-2-12-131-GS3, H-4-2-12-130-GS3, H-4-2-13-1403-GS3, H-4-2-13-1404-GS3, H-4-2-13-1402-GS3, H-4-2-13-1408-GS3, and H-4-2-13-1406-GS3.

NEW BUSINESS

1. ZC24-02 PSP24-03: Discussion and consideration of a recommendation to the City Council on a Zone Change Amendment request located at 2600 W 100 N from HC, highway commercial, to PC, planned commercial. Parcel numbers H-3-1-32-312, H-3-1-32-314 and H-3-1-32-41011. VE Management and Investment Co. Applicant. Skylar Stewart, Agent.
2. ZC24-03: Discussion and consideration of a recommendation to the City Council on a Zone Change Amendment Request located at approximately 2544 S 3700 W from PF, public facility, to R1-10, residential one unit per 10,000 square feet, and at approximately 2300 S and 3700 W from R1-10, residential one unit per 10,000 square feet, to PF, public facility. Parcel numbers H-4-2-12-1102-GS3, H-4-2-12-131-GS3, H-4-2-12-130-GS3, H-4-2-13-1403-GS3, H-4-2-13-1404-GS3, H-4-2-13-1402-GS3, H-4-2-13-1408-GS3, and H-4-2-13-1406-GS3. Western Mortgage and Realty Co, Applicant. Karl Rasmussen, Agent.
3. AFP24-04: Discussion and consideration of a possible approval of an amended final plat for Canyon Ridge subdivision located at 321 N 3420 W. David and Cindy Howard and April Gunn, Applicant. Cody Arnoldson, Agent.
4. FSP24-17: Discussion and consideration of a possible approval of a final site plan for the American Conservation Experience, a hostel located at 73 S Main St. American Conservation Experience, Jim Kuhn, Applicant. Civil Science, Brandee Walker, Agent.
5. AFP24-05: Discussion and consideration of a possible approval of an amended final plat for Pecan Valley Phase 2 located at 5210 W 2100 S. Chris Wyler, Applicant. Brandee Walker, Agent.
6. AFP24-06: Discussion and consideration of a possible approval of of an amended final plat for Mountain View Estates Lots 32 & 33 located at 1220 W 650 S. Brown Consulting - Steve Kamlowksy, Applicant. Travis Fewkes, Agent.
7. PP24-08: Discussion and possible approval of a preliminary plat for Peach Springs Estates, a 64 lot subdivision located at 3700 W and Bash Parkway. Smooth Stone Homes, Applicant. Karl Rasmussen, Agent.
8. PSP24-04: Discussion and consideration of a possible approval of a preliminary site plan for Hurricane City Gymnasium 2, a four court indoor basketball facility, located at 748 N 200 W. Hurricane City, Applicant. Karl Rasmussen, Agent.
9. FSP24-25: Discussion and consideration of a possible approval of a final site plan for Hurricane Retail Pads, a three-building commercial development located at 3400 W 90 N. Chasebrook Hurricane LLC, Applicant. Jay Larsen, Agent.
10. HIL24-02: Discussion and possible approval of a Sensitive Lands application for Angell Heights storage located at 2360 S 600 W. Beau Davis, Applicant. Karl Rasmussen, Agent.
11. FSP24-27: Discussion and consideration of a possible approval of a final site plan for Hat Trick Townhomes, a 13 unit townhome development located at 520 W 100 N. Hat Trick Holdings, LLC Applicant. Tyler Hughes, Agent.
12. Election of a possible new chairperson and appointment of a possible new alternate chair

Approval of Minutes:

1. February 8, 2024

Adjournment

Brienna Spencer

From: Public Comment
Sent: Tuesday, March 12, 2024 5:02 PM
To: Brad Winder; Brienna Spencer; Dayton Hall; Fred Resch; Gary Cupp; Jeremy Pickering; Kelby Iverson; Kevin Thomas; 'Mark Sampson.1'; 'Michelle Cloud'; Nanette Billings; 'Paul Farthing'; 'Ralph Ballard'; 'Rebecca Bronemann'; 'Shelley Goodfellow'
Subject: FW: RE-Zone and Land swap

Please see the public comment below
Fred

From: Patrick Bentson <patrickbentson@me.com>
Sent: Tuesday, March 12, 2024 2:01 PM
To: Public Comment <publiccomment@cityofhurricane.com>
Subject: RE-Zone and Land swap

Gary,

Im writing you today about the letter I received in the mail about the re-zone of a number of parcels and a proposed land exchange between the Water District (W.C.W.C.D.) and Western Mtg & Realty Company.

First questions.

What is the purpose of this re-zone and land swap ? Are we making these changes in response to an environmental assessment ? Or some other reasons?

My Concerns.

If the re-zone of these parcels and the W.C.W.C.D and Western Mtg & Realty land swaps go through then development will start soon after. My Concern lies in the development of the parcels H-4-2-13-1403-CS3, H-4-2-13-1404-CS3, & H-4-2-13-1402-CS3 as there is a large sandstone hill on that would be blasted and removed to make way for the residential lots.

Previously blasting was done on a small part of this hill for development of an adjoining lot to the West (H-4-2-13-14921-CS3) there were many homes that were damaged from this blasting and home owners did as they were instructed and contacted the Blasting company to report damage and seek direction on insurance claims. This was good for a week or so then the blasting company quit answering phones. As a result there is currently an open lawsuit seeking damages from a collection of Dixie Springs residents.

If there is development and blasting after the re-zone and land swap, who is going to stand behind the current residents when they look for help in repairing their homes? Would the City step up to this responsibility?

When reviewing the proposal and looking at the parcels to be involved in the swap, I was quick to notice that the land currently owned by Wester Mtg & Realty Co. is completely flat and would require zero blasting there for reducing risk of damage to existing homes to 0% as opposed to blasting the remaining 75% of the solid sand stone hill which will more then likely cause damage to 300-500 existing homes within a 1/4 mile radius.

I hope that you take my questions and concerns into consideration when making your decision on the proposal of re-zone and swap.

Thank You,
Pat Bentson
435-494-9598



**Application**

Application Accepted Date: 02/06/2024
Type of Improvement: Zone Change Application
Description: ZONE CHANGE FROM HIGHWAY COMMERCIAL
TO PLANNED COM
Tenant / Project Name: 2600 West 100 North
Bldg. Address: 2600 West 100 North
City: Hurricane City State: UT Zip: 84737
Subdivision: Phase:
Block: Lot #: Parcel #: H-3-1-32-312,H-3-1-32-
Zone: Highway Commercial 314,H-3-1-32-41011
Property Owner: VE MANAGEMENT AND INVESTMENT CO, LC
Permit Contact: Skylar Stewart P:(435) 668-3728
Email: skylar@sprdevt.com

CONTACT INFORMATION

General Contractor: Superior Development
License #: P: (435) 668-3728
City: State: Zip:
Email: skylar@sprdevt.com

APPLICATION DETAILS

Valuation \$ 0.00

PERMIT FEES

Planning Fee	\$	500.00
Planning Fee	\$	500.00
Sub Total:	\$	500.00

Permit Total: \$ 500.00

Amount Paid: \$ 0.00

Remaining Due: \$ 500.00

APPROVALS**DATE****INFO**

Plan Review Finalized:	Yes	02/07/24	Brienna Spencer
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Setbacks

Front:

Rear:

Left:

Right:

Min.

Actual:

APPLICATION NUMBER:**PENDZC24-02**

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

Applicant Name: Skylar Stewart**Signature of Applicant/Authorized Agent or Owner:** Date:

SKYLAR STEWART,

AUTHORIZED AGENT

02/21/2024

Application Approved By:

Date:

02/07/2024

Application Issued By:

Date:

Receipt #: 8.176256-02/06/24



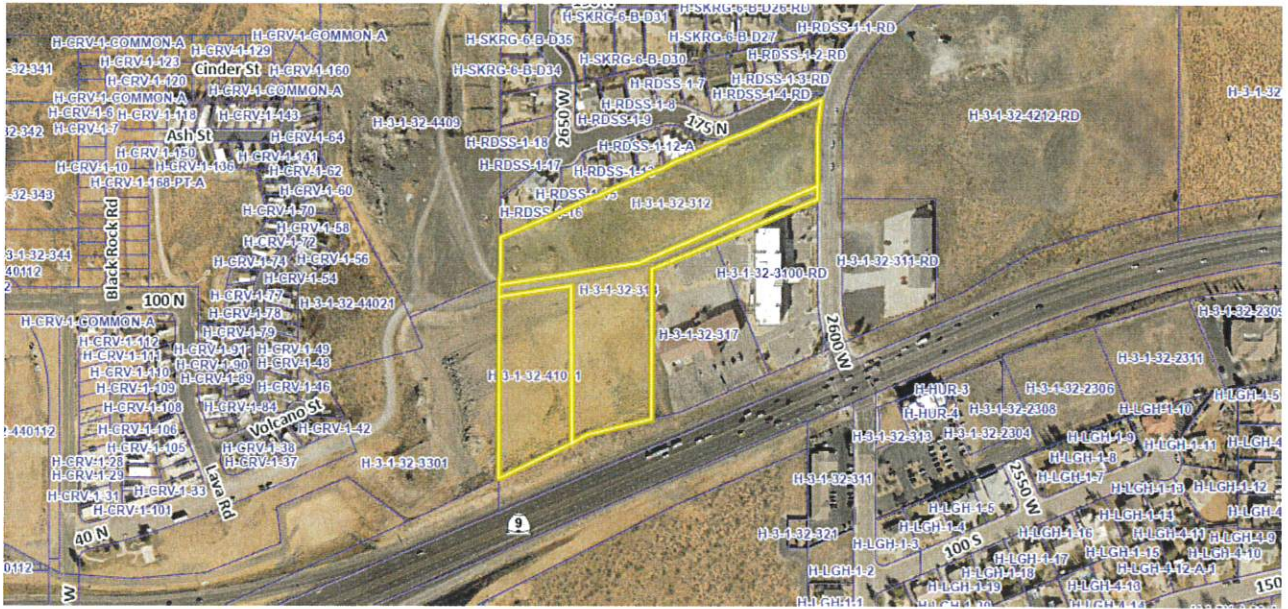
STAFF COMMENTS

Agenda Date:	03/14/2024
Application Number:	ZC24-02 PSP24-03
Type of Application:	Zone Change and Preliminary Site Plan Application
Action Type:	Legislative
Applicant:	Superior Development
Agent:	Skylar Stewart
Request:	A Zone Change from Highway Commercial to Planned Commercial
Location:	2600 W 100 N
Zoning:	HC
General Plan Map:	General Commercial and Single Family
Recommendation:	Table to allow submission of an adequate Preliminary Site Plan.
Report Prepared by:	Fred Resch III, Gary Cupp

Discussion: The applicant is seeking a zone change and preliminary site plan approval from Highway Commercial to Planned Commercial. This property is located along 2600 W, north and east of the Comfort Inn and Quality Inn, along planned 100 N. Planned Commercial is a mixed use zoning designation, and a mixture of commercial and residential uses are required. The applicant has provided renderings indicating that there will be vertical mixed use buildings with commercial uses on the bottom floors and residential uses on the upper floors.

Adjacent Land Uses

	Zoning	Adjacent Land Use
North	R1-8	Single family homes (Rio Del Sol subdivision)
East	RM-3, HC	Commercial uses, planned multifamily development (Sky Ridge apartments)
South	PF, HC	SR-9 and undeveloped property
West	HC, M-1	Commercial uses and undeveloped property



Zone Change Factors:

When reviewing a zone change the Planning Commission must consider the following, as per Hurricane City Code (HCC) 10-7-7:

Approval Standards: A decision to amend the text of this title or the zoning map is a matter within the legislative discretion of the city council as described in subsection 10-7-5A of this chapter. In making an amendment, the following factors should be considered:

1. *Whether the proposed amendment is consistent with goals, objectives and policies of the city's general plan;*
2. *Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;*
3. *The extent to which the proposed amendment may adversely affect adjacent property; and*
4. *The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.*

1. Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?

Response: This property is designated as General Commercial and Single Family on the General Plan map, which recommends:

GENERAL COMMERCIAL: Commercial uses that provide retail, employment and service uses for the City. These developments should be located along major corridors.

SINGLE FAMILY: These uses should be located near supporting community uses such as, but not limited to churches, schools, and parks. Appropriate densities for this land use include R1-15, R1-10, R1-8, and R1-6.



Planned Commercial is a commercial zoning designation per city code; however, the main point of this zone change is to allow for multifamily housing which is not a commercial use, but is nevertheless allowed in Planned Commercial. The General Plan does support residential uses on the north side of 100 N throughout the City, and the City has generally been supportive of higher density residential uses in this area due to the proximity of SR-9 and commercial uses in this area. Construction of vertical mixed use buildings would provide adequate assurance that the commercial and residential uses would be completed at the same time.

The General Plan also states that, “*Medium and high density residential developments should be planned near support facilities such as collector and arterial roads, schools, shopping, and employment centers. Medium and high density residential developments should be planned and designed to minimize impacts to nearby existing developments, while providing high-quality, attractive housing options.*” Additionally, the Moderate Income Housing Plan states that the City should “*Look at areas where “Missing Middle Housing” and mixed-use zones can be implemented within existing and future residential and commercial developments*” This property is integrated in existing commercial and residential developments, thus, making the site suitable for the proposal.

2. Is the proposed amendment harmonious with the overall character of existing development in the subject property's vicinity?

Response: Most of the development in the area is two-three story hotels and single family homes with apartment buildings planned across the street to the east of this location. Depending on the phasing and clustering of the proposed three story mixed use buildings, the proposal would be harmonious with the surrounding development. As a condition of approval, staff would support no more than 35 feet in height for future development on the parcel H-3-1-32-312 adjacent to the existing single-family residences to the north. A detailed preliminary site plan that contains all the required information pursuant to HCC Sec. 10-7-10(D)(2) has not been submitted to confirm the type of development proposed. Once provided, the site plan should reflect this condition of approval.

3. Will the proposed amendment adversely affect the adjacent property?

Response: All of the traffic impacts will be on 100 N and 2600 W which is designed to handle a larger traffic load. Taller buildings near single-family homes are generally discouraged but that could be mitigated depending on the overall design of the project as discussed in Response 2 above. Increased commercial activity and roadway connectivity may be beneficial to the larger community in this area.

4. Are public facilities and services adequate to serve the subject property?

Response: Public facilities and services are generally adequate for this development. See JUC comments below

JUC Comments

The following items will need to be addressed:

- 1. Public Works:** Due to the fact that 80% of the project could be used as multifamily residential it is important to adhere to proper access management principles. Improvements along SR-9 may be required. Improvements along 2600 W required.
- 2. Sewer:** No comment on proposed zone change. Off-site sewer will need to be installed for the proposed lots.
- 3. Water:** Okay.
- 4. Fire:** Okay.
- 5. Engineering:** Category 1 Traffic Impact Study needed with construction plans. Off-site water main is likely unavoidable because of Hurricane City Standard 3.6.4 & Standard 3.6.6. nearby pressure boundaries can make this challenging. The neighboring developer to the east has presented plans to move the existing pressure reducing valve in 2600 W. Although Hurricane City doesn't currently have a standard 66' cross section the applicant should match the existing street cross section north and south of the development to fill 2600 W's existing 66' wide public right of way (see document #00495865 and Hurricane City standard 3.2.4.17). Applicant needs to review Hurricane City standard 3.2.4.2. intersections cannot skew more than 15° from 90°. Engineering would recommend tabling the proposed zone change until a preliminary site plan meeting the requirements of Hurricane City Code 10-7-10(D)(2) is included (proposed access and traffic circulation patterns

aren't depicted and preliminary utility plans are missing). The roadway network as shown must be coordinated with the neighboring property owner. Contrary to what's shown parcel H-3-1-32-3301 and parcel H-3-1-32-44021 are owned by T-1 Associates LLC.

6. **Streets:** Okay with Parcel A changing to Planned Commercial. Parcel B & C should stay Highway Commercial.
7. **Power:** Power requires 15' PUE on all commercial zone areas.
8. **Phone/Cable/Fiber:** No comment
9. **Gas:** Gas can service this project as proposed.
10. **WCWCD:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the zone change adequately mitigates interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Staff Comments: Preliminary Site Plan

1. The Planned Commercial ordinance requires a mixture of uses with 20% of the property being residential and 20% of the property being commercial with the remaining 60% being either commercial or residential, the proposed site plan states, "*min. 20% mixed-use comm. with max. 80% MF residential*"
 - a. Assuming maximum residential density on the site then 99 units could be approved with this zone change.
2. The property is 8.25 acres. HCC 10-15-4 states that a planned commercial property must be five acres.
3. The applicant has proposed renderings of three story mixed use buildings, these are approvable as "vertical mixed use" under HCC 10-15-8. It is unclear how many of these buildings are proposed or how these will be laid out over the property. As a condition of approval, staff would support no more than 35 feet in height for future development on the parcel H-3-1-32-312 adjacent to the existing single-family residences to the north. A detailed preliminary site plan that contains all the required information pursuant to HCC Sec. 10-7-10(D)(2) has not been submitted to confirm the type of development proposed. Once provided, the site plan should reflect this condition of approval.

Findings:

Staff makes the following findings:

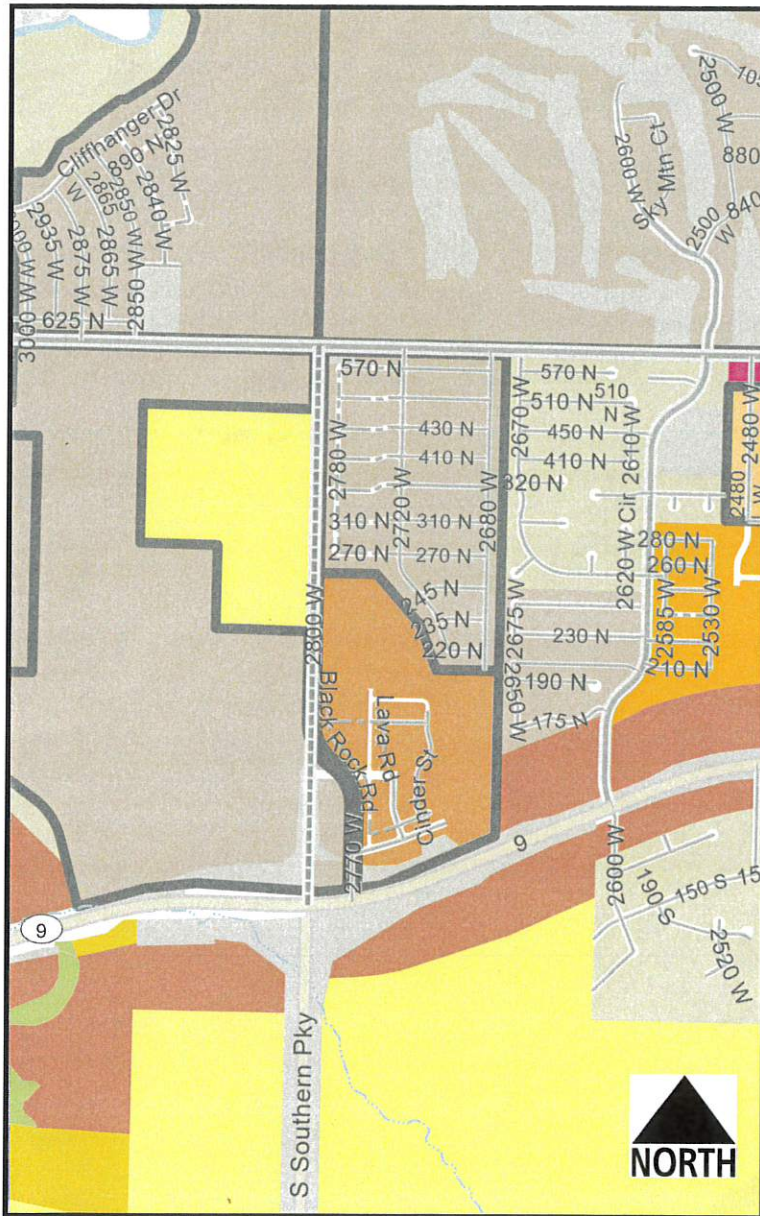
1. The proposed zone change broadly meets the standards of the General Plan Map and goals depending on site layout.
2. The proposed zone change may be considered generally harmonious with the surrounding development.
3. The proposed amendment may have an impact on the area, however it may or may not be more impactful than the current zoning.
4. Services are adequate, or planned to become adequate, for the area.

5. The submitted site plan is not adequate to determine if it meets Planned Commercial standards. The site plan does not contain all the information required by HCC Sec. 10-7-10(D)(2).

Recommendation: Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff does not believe that there is enough information provided to determine the validity of the zone change application. The Planning Commission has two options:

1. Table or continue: As laid out above, there are potential positives to allowing Planned Commercial zoning on this property. If the Planning Commission believes this may be a good use to further the goals of the General Plan and the intentions of the Planned Commercial zoning, staff would recommend tabling or continuing this item until a more detailed preliminary site plan is submitted pursuant to HCC Sec. 10-7-10(D)(2).
2. Recommend denial to the City Council if the Planning Commission does not believe that the Planned Commercial zoning is appropriate for this area then they should recommend to the City Council that the application be denied.














Staff recommends Option 1 to table the application and allow the applicant to submit a detailed preliminary site plan that contains all the required information pursuant to HCC Sec. 10-7-10(D)(2).



City of Hurricane - Zoning

Zoning

Classification

	RA-0.5: Residential Agricultural - 2 Units Per Acre
	R1-15: Residential - 1 Unit Per 15,000 Sq. Ft.
	R1-10: Residential - 1 Unit Per 10,000 Sq. Ft.
	R1-8: Residential - 1 Unit Per 8,000 Sq. Ft.
	R1-6: Residential - 1 Unit Per 6,000 Sq. Ft.
	RM-1: Multi-Family - 6 Units Per Acre
	RM-2: Multi-Family - 10 Units Per Acre
	RM-3: Multi-Family - 15 Units Per Acre
	MH/RV: Mobile Home - RV
	GC: General Commercial
	PC: Planned Commercial
	HC: Highway Commercial
	NC: Neighborhood Commercial



City of Hurricane

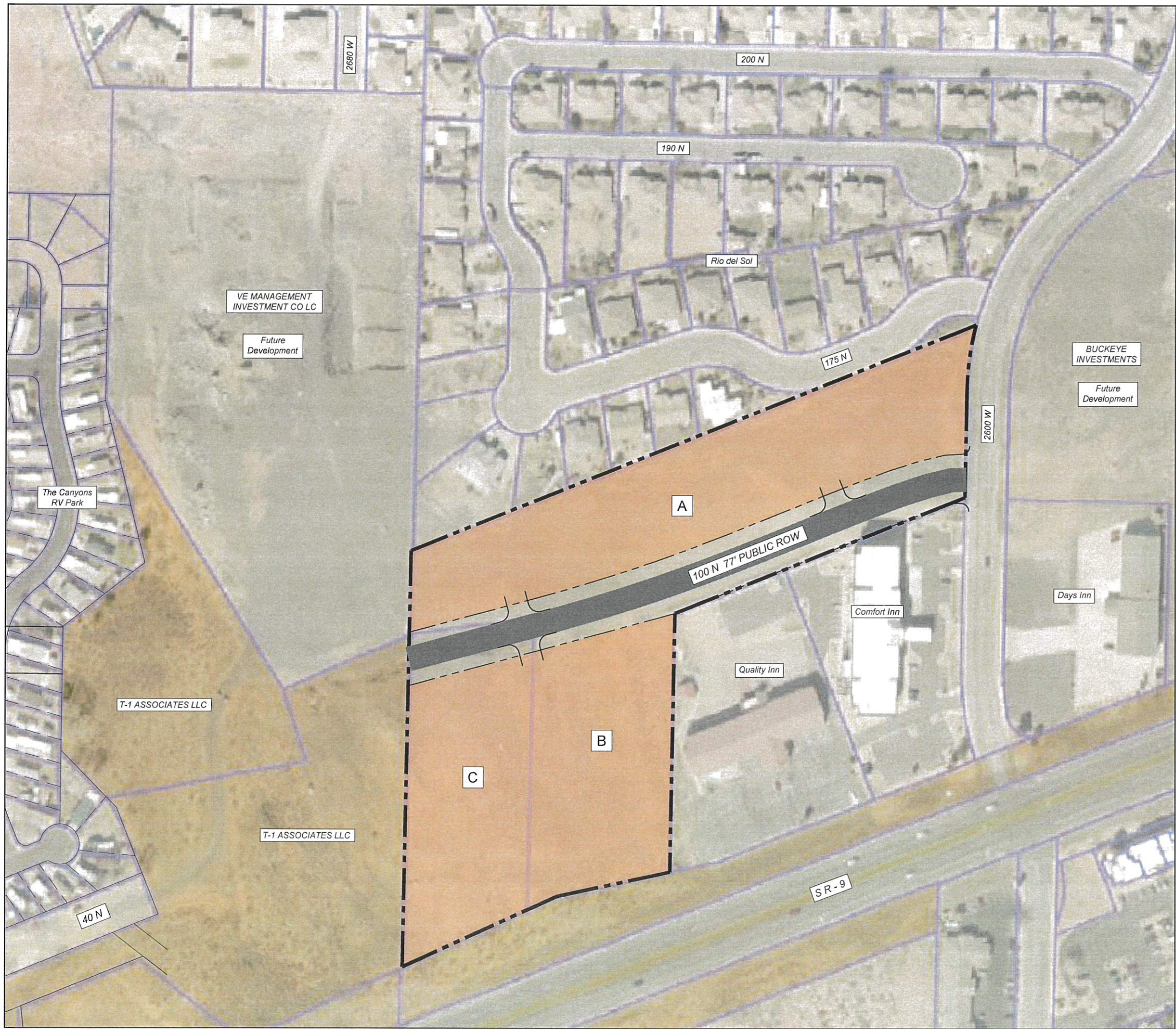
GIS Department

147 N 870 W, Hurricane, UT 84737









NOTES:

PROJECT WILL TIE INTO EXISTING CITY UTILITIES LOCATED IN 2600 W STREET AND THE 100 N EXTENSION TO THE WEST AS DICTATED BY FUTURE PROJECTS

EACH PARCEL WILL HAVE PRIVATE ROADWAYS PER CITY STANDARDS

A TRAFFIC IMPACT STUDY WILL BE PROVIDED UPON FINAL SITE CONCEPT PLAN REVIEW

OPEN SPACE WILL MEET MIN. CITY STANDARDS UPON FINAL CONCEPT PLAN REVIEW

HURRICANE 100 N / 2600 W PARCELS			
PARCEL	SIZE	CURRENT ZONING	PROPOSED ZONING
A	3.76 ac	Highway Comm.	Planned Comm.
B	2.47 ac	Highway Comm.	Planned Comm.
C	2.02 ac	Highway Comm.	Planned Comm.
8.25 ac		Gross area min. 20% mixed-use comm. with max. 80% MF residential	

PROPOSED ZONE CHANGE
LAND USE PLAN

VE MANAGEMENT & INVESTMENT CO LC

Application

Application Accepted Date: 02/07/2024		Valuation		\$	0.00
Type of Improvement: Site Plan (Preliminary)		PERMIT FEES			
Description: site plan to accompany zone change		Planning Fee		\$	250.00
Tenant / Project Name: 2600 West 100 North		Planning Fee		\$	250.00
Bldg. Address: 2600 West 100 North		Sub Total:		\$	250.00
City: Hurricane City State: UT Zip: 84737		Permit Total:		\$	250.00
Subdivision: Phase:		Amount Paid:		\$	0.00
Block: Lot #: Parcel #: H-3-1-32-312,H-3-1-32-		Remaining Due:		\$	250.00
Property Owner: VE MANAGEMENT AND INVESTMENT CO, LLC					
Permit Contact: Skylar Stewart P:(435) 668-3728					
Email: skylar@sprdevt.com					
CONTACT INFORMATION					
General Contractor: Superior Development Inc					
License #: P: (435) 668-3728					
City: State: Zip:					
Email: skylar@sprdevt.com					
APPLICATION DETAILS					
APPROVALS		DATE	INFO		
Plan Review Finalized:		Yes	02/07/24	Brienna Spencer	
Setbacks	Front:	Rear:	Left:	Right:	
Min.					
Actual:					
APPLICATION NUMBER:		PENDPSP24-03			
This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.					
Applicant Name: Skylar Stewart					
Signature of Applicant/Authorized Agent or Owner: Date:					
SKYLAR STEWART,			02/21/2024		
AUTHORIZED AGENT					
Application Approved By:			Date:		
Brienna Spencer			02/07/2024		
Application Issued By:			Date:		
Receipt #: 8.176256-02/07/24					

**Application**

Application Accepted Date: 02/19/2024

Type of Improvement: Zone Change Application

Description: WCWCD and Western Mort. signed a land swap.
Zone c

Tenant / Project Name: WCWCD and Western Mortgage
Exchange Zone Change

Bldg. Address: 3700 W 2300 S

City: Hurricane City State: UT Zip: 84737

Subdivision: NA Phase: NA

Block: Lot #: NA Parcel #: H-4-2-12-1102-GS3, H-4-2-12-131-GS3, H-4-2-13-1403-GS3, H-4-2-13-1404-GS3, H-4-2-13-1406-GS3

Property Owner: Western Mortgage and Realty Company

Permit Contact: Karl Rasmussen 1403-GS3, H-4-2-13-1404-GS3, H-4-2-13-1406-GS3

Email: karl@pv-eng.com 1404-GS3, H-4-2-13-1406-GS3

CONTACT INFORMATION

Engineer of Record: Karl Rasmussen 1406-GS3

Email: karl@pv-eng.com P: (435) 668-8307

General Contractor: Western Mortgage and Realty Company

License #: 191090-2203 P: (509) 521-9354

Address: 6610 WEST COURT STREET

City: PASCO State: WA Zip: 99302

Email: ttipett@westernmort.com

APPLICATION DETAILS

Valuation	\$	0.00
PERMIT FEES		
Planning Fee	\$	500.00
Planning Fee	\$	500.00
Sub Total:	\$	500.00
Permit Total:	\$	500.00
Amount Paid:	\$	0.00
Remaining Due:	\$	500.00

APPROVALS	DATE	INFO
Plan Review Finalized:	Yes	02/22/24 Brienna Spencer

Setbacks	Front:	Rear:	Left:	Right:
Min.				
Actual:				

APPLICATION NUMBER: PENDZC24-03

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

Applicant Name: Karl Rasmussen

Signature of Applicant/Authorized Agent or Owner: Date:

Application Approved By:

Date:

02/22/2024

Application Issued By:

Date:

Receipt #: 8.176562-02/19/24

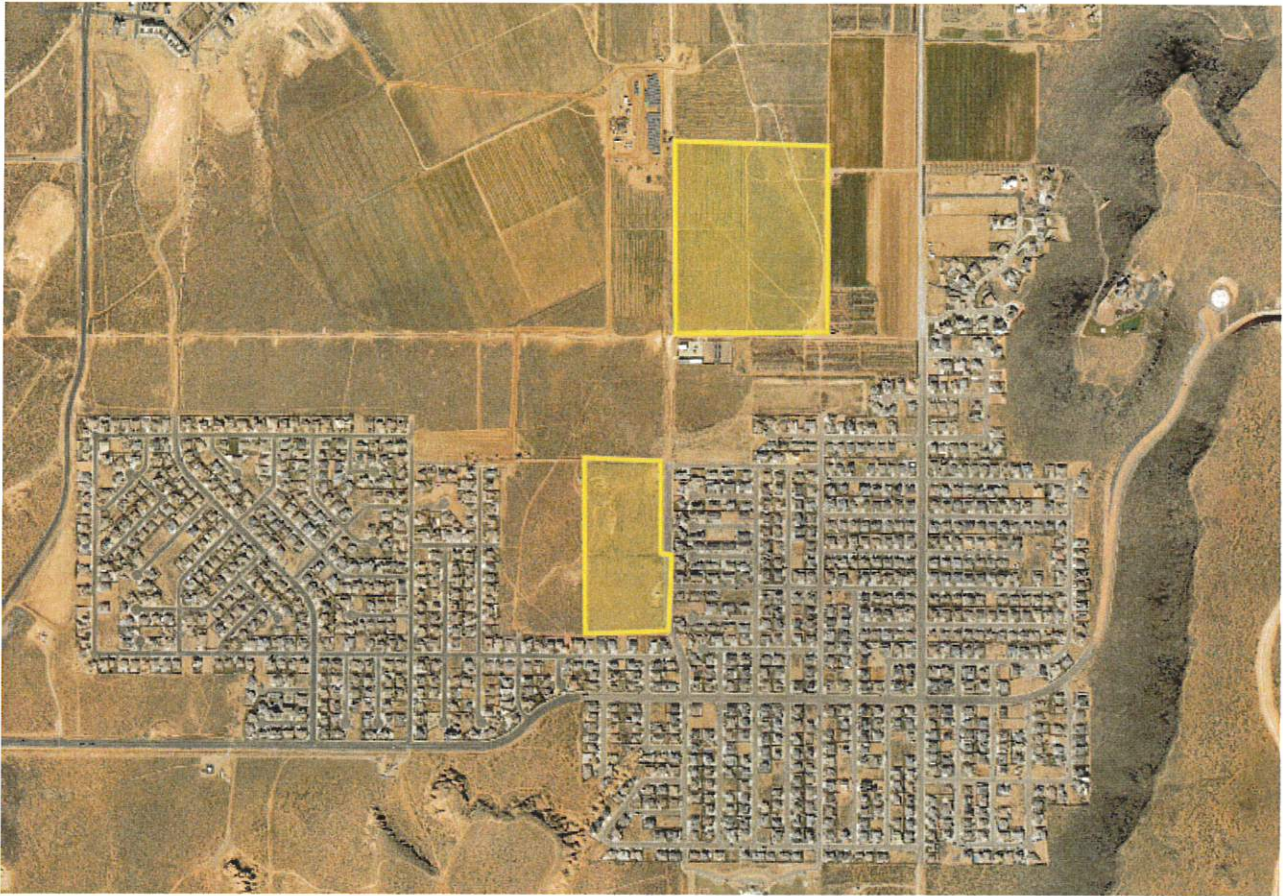


STAFF COMMENTS

Agenda Date:	03/14/2024
Application Number:	ZC24-03
Type of Application:	Zone Change
Action Type:	Legislative
Applicant:	Western Mortgage and Realty Co/Washington County Water Conservancy District
Agent:	Karl Rasmussen
Request:	A Zone Change Request from PF to R1-10 and from R1-10 to PF
Location:	2544 S 3700 W and approximately 2300 S 3700 W
Zoning:	PF and R1-10
General Plan Map:	Public and Planned Community
Recommendation:	Recommend approval to the City Council.
Report Prepared by:	Fred Resch III/Gary Cupp

Discussion:

The applicant is seeking a zone change to facilitate a land swap between Western Mortgage and Realty Co. and the Washington County Water Conservancy District. The District owns approximately 38 acres adjacent to the Dixie Springs subdivision which is currently undeveloped besides two well sites and some of the road improvements for 3700 W. Western Mortgage will swap this land for property north of planned 2300 S which the Water Conservancy District will use for a larger water facility while the District's original property will be developed as residences.



Locations are approximate

Adjacent Land Uses

	Zoning	Adjacent Land Use
North	R1-10	Undeveloped property
East	R1-10	Single family homes, undeveloped property
South	R1-10, PF	Single family homes, substation and drainage basin
West	R1-10, RM-3	Planned single family homes, undeveloped property

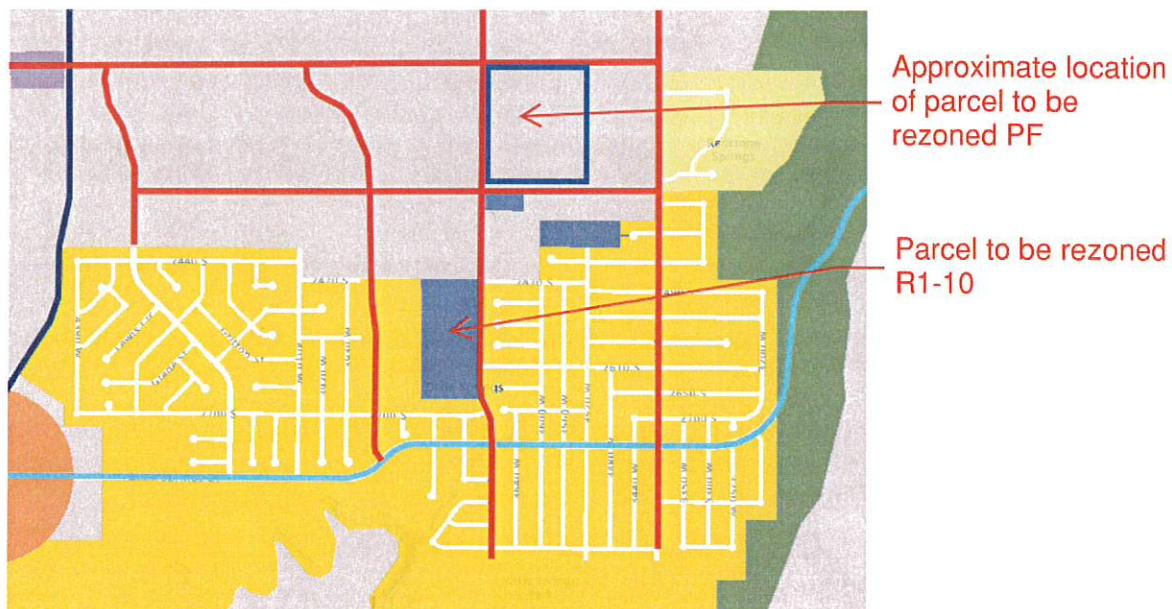
HCC Section 10-7-7(E) - Approval Standards:

1. Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?

Response: The [General Plan Map](#) shows this area as Public Use on the south portion and Planned Community, which recommends:

PUBLIC: Uses including municipal services, public or private schools and campuses, playing fields, recreational facilities and similar public facilities.

PLANNED COMMUNITY: Master planned communities should be complete communities that offer a mixture of housing types and supporting uses such as neighborhood and supporting commercial uses, offices, churches, schools, and parks. Development in this designation should take into account the character of existing surrounding development.



Future Land Use Map

The General Plan Map was drawn this way due to the property being owned by the Washington County Water Conservancy District. Based on the surrounding land use and future land use designations, Single Family would be an appropriate alternative land use to Public Facility. The General Plan states: “New development should be compatible with existing surrounding land uses” and discourages development near potential natural hazards or potential nuisances.

2. Is the proposed amendment harmonious with the overall character of existing development in the subject property’s vicinity?

Response: The northern property is entirely surrounded by undeveloped property, and any new development will have to account for the Public Facility use. The southern property will match the existing zoning and use of the adjacent properties.

3. Will the proposed amendment adversely affect the adjacent property?

Response: It is unlikely that this zone change will adversely affect the adjacent property. The Gateway to Sand Hollow PID is planned to develop additional roadways and amenities in the area. The use of the property by the Water Conservancy District will be better situated farther away from existing residents.

4. Are public facilities and services adequate to serve the subject property?

Response: All public facilities and services are planned to be brought to the site through the Gateway to Sand Hollow PID. See JUC comments below.

JUC Comments

- 1. Public Works:** No comments
- 2. Power:** No comments
- 3. Water:** Okay
- 4. Fire:** HVFD recommends approval
- 5. Sewer:** No exception to zone change
- 6. Streets:** Okay with zone change
- 7. Cable:** No comments
- 8. Engineering:** The boundaries of the proposed zone changes should extend to the roadway centerlines. Ground water source protection zones are typically an amorphous shape (most closely resembling an ellipse). Applicant should transpose the groundwater protection zones from the department of environmental quality's interactive map (<https://enviro.deq.utah.gov/>) onto the zone change exhibit map and show them. Hurricane City Code Title 8, Chapter 1, Article A specifies specific development standards for drinking water source protection. The property owner of the contemplated zone change can avoid adversely impacting the adjacent property. Half of the existing road, 3700 W, is on existing parcels H-4-2-13-1402-GS3 & H-4-2-13-1406-GS3. Converting the property underlying the roadway to public right of way should be required. Engineering would recommend finalizing a plan to secure public right of way (through purchase or dedication) before proceeding. Parcel boundaries depicted do not currently exist, preliminary plats will be required (HCC 10-39-4).

Findings:

Staff makes the following findings:

1. The proposed amendment is not strictly consistent with the General Plan Map, but this zone change can be considered to be broadly consistent with the intents and goals of the General Plan.
2. The proposed amendment is generally in harmony with the overall character of the existing and approved development in the area.
3. The proposed amendment will have an impact on the adjacent property, but that impact is expected by the General Plan.
4. Public services and facilities are currently adequate for the development.

Recommendation: Staff recommends the Planning Commission review this application and the zone change based on standards and considers residents' comments. Due to the application meeting the four considerations for a zone change in City code, staff would recommend that the Planning Commission make a recommendation of approval of this amendment by the City Council subject to staff and JUC comments.

ZONE CHANGE FOR: WESTERN MTG & REALTY CO & W.C.W.C.D.

LOCATED IN THE SECTIONS 12 & 13, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- SECTION CORNER AS DESCRIBED
- FOUND CENTERLINE MONUMENT AS DESCRIBED
- PROPOSED R1-10 ZONE (CURRENT ZONE PF)
- PROPOSED PF ZONE (CURRENT ZONE R1-10)
- EXISTING R1-10 ZONE
- EXISTING PF ZONE
- EXISTING RM-3 ZONE

PARCEL
A OWNER: W.C.W.C.D.
(H-4-2-13-1405-GS3)
B OWNER: DIXIE REA (SUBSTATION)
(H-4-2-13-1407-SA)
C OWNER: WESTERN MORTGAGE & REALTY CO.



PARCEL 2A (WESTERN MORTGAGE TO W.C.W.C.D.) DESCRIPTION

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 13, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE S88°30'34"E ALONG THE NORTH SECTION LINE OF SAID SECTION 13, 708.92 FEET; THENCE N01°17'21"E 54.46 FEET TO THE POINT OF BEGINNING; THENCE N01°17'21"E 254.11 FEET; THENCE NORTHERLY ALONG THE ARC OF A 8703.97 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 348.20 FEET, THROUGH A CENTRAL ANGLE OF 02°17'32", (LONG CHORD BEARS: N02°26'07"E 348.18 FEET); THENCE NORTHERLY ALONG THE ARC OF A 8793.97 FOOT RADIUS REVERSE CURVE TO THE LEFT A DISTANCE OF 351.83 FEET, THROUGH A CENTRAL ANGLE OF 02°17'32", (LONG CHORD BEARS: N02°26'06"E 351.81 FEET); THENCE N01°13'07"E 291.39 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 19.50 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 30.53 FEET, THROUGH A CENTRAL ANGLE OF 89°42'43", (LONG CHORD BEARS: N46°04'28"E 27.51 FEET); THENCE S89°04'10"E 1212.08 FEET; THENCE S00°55'50"W 1289.34 FEET; THENCE N88°30'34"W 1240.69 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 12.50 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 19.59 FEET, THROUGH A CENTRAL ANGLE OF 89°47'55", (LONG CHORD BEARS: N43°36'37"W 17.65 FEET) TO THE POINT OF BEGINNING.

AREA CONTAINS 1593568 SQUARE FEET OR 36.583 ACRES.

PARCEL 1B (W.C.W.C.D. TO WESTERN MORTGAGE) DESCRIPTION

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 13, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE S88°30'34"E ALONG THE NORTH SECTION LINE OF SAID SECTION 13, 708.92 FEET; THENCE S01°17'21"W 330.37 FEET TO THE POINT OF BEGINNING; THENCE S88°30'06"E 615.34 FEET; THENCE S01°12'18"W 661.13 FEET; THENCE N88°29'56"W 601.36 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.51 FEET, THROUGH A CENTRAL ANGLE OF 89°47'17", (LONG CHORD BEARS: N43°36'18"W 21.17 FEET); THENCE N01°17'21"E 646.15 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 407,075 SQUARE FEET OR 9.345 ACRES.

PARCEL 1A (W.C.W.C.D. TO WESTERN MORTGAGE) DESCRIPTION

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 13, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE S01°09'52"W ALONG THE QUARTER SECTION LINE, 330.28 FEET TO THE POINT OF BEGINNING; THENCE S88°30'06"E 618.20 FEET; THENCE S01°17'21"W 646.04 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.76 FEET, THROUGH A CENTRAL ANGLE OF 90°45'01", (LONG CHORD BEARS: S46°39'51"W 21.35 FEET); THENCE N88°29'54"W 120.31 FEET; THENCE S01°11'04"W 51.00 FEET; THENCE S88°29'56"E 14.05 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 23.64 FEET, THROUGH A CENTRAL ANGLE OF 90°19'00", (LONG CHORD BEARS: S46°20'34"W 21.27 FEET); THENCE S01°11'04"W 124.86 FEET; THENCE S88°48'56"E 112.43 FEET; THENCE S01°11'04"W 720.00 FEET; THENCE N88°48'56"W 112.43 FEET; THENCE S01°11'04"W 200.02 FEET; THENCE S88°48'56"E 112.43 FEET; THENCE S01°11'04"W 90.77 FEET; THENCE S25°58'49"E 58.45 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET AND A RADIAL BEARING OF S01°11'04"W, A DISTANCE OF 20.42 FEET, THROUGH A CENTRAL ANGLE OF 77°59'32" (LONG CHORD BEARS: S49°49'10"E 18.88 FEET); THENCE SOUTHERLY ALONG THE ARC OF A 565.00 FOOT RADIUS REVERSE CURVE TO THE LEFT A DISTANCE OF 89.23 FEET, THROUGH A CENTRAL ANGLE OF 09°02'55", (LONG CHORD BEARS: S15°20'51"E 89.14 FEET); THENCE N88°28'38"W 620.97 FEET; THENCE N01°09'52"E 93.67 FEET; THENCE N88°50'08"W 25.00 FEET; THENCE S01°09'52"E 93.52 FEET; THENCE N88°28'38"W 674.02 FEET; THENCE N01°09'52"E 28.01 FEET; THENCE S88°38'55"E 661.10 FEET; THENCE N01°09'52"E ALONG THE QUARTER SECTION LINE OF SAID SECTION 13, 1980.91 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 1,186,502 SQUARE FEET OR 27.238 ACRES.

WELL DESCRIPTIONS

PARCEL W23 (WELL SITE #23):
COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 13, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE QUARTER SECTION LINE, S01°09'52"W 1042.55 FEET; THENCE S88°29'56"E, 495.28 FEET TO THE POINT OF BEGINNING; THENCE S88°29'56"E 101.46 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 31.31 FEET, THROUGH A CENTRAL ANGLE OF 89°41'00", (LONG CHORD BEARS: S43°39'26"E 28.21 FEET); THENCE S01°11'04"W 119.30 FEET; THENCE N88°48'56"W 136.43 FEET; THENCE N01°11'04"E 124.86 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 23.64 FEET, THROUGH A CENTRAL ANGLE OF 90°19'00", (LONG CHORD BEARS: N46°20'34"E 21.27 FEET) TO THE POINT OF BEGINNING.

PARCEL W23 AREA CONTAINS 18,908 SQUARE FEET OR 0.434 ACRES.

PARCEL W19 (WELL SITE #19):
COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 13, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE QUARTER SECTION LINE, S01°09'52"W 1902.30 FEET; THENCE S88°29'56"E, 479.89 FEET TO THE POINT OF BEGINNING; THENCE S88°48'56"E 136.43 FEET; THENCE S01°11'04"W 200.02 FEET; THENCE N88°48'56"W 136.43 FEET; THENCE N01°11'04"E 200.02 FEET TO THE POINT OF BEGINNING.

PARCEL W19 AREA CONTAINS 27,289 SQUARE FEET OR 0.626 ACRES.

PARCEL MW1 (MONITORING WELL SITE #1):
COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 13, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE QUARTER SECTION LINE, S01°09'52"W 2247.74 FEET; THENCE S88°48'56"E, 12.92 FEET TO THE POINT OF BEGINNING; THENCE S88°50'08"E 25.00 FEET; THENCE S01°09'52"W 93.67 FEET; THENCE N88°28'38"W 25.00 FEET; THENCE N01°09'52"E 93.52 FEET TO THE POINT OF BEGINNING.

PARCEL MW1 AREA CONTAINS 2,340 SQUARE FEET OR 0.054 ACRES.

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.76'	15.00'	21.35'	S46°39'51"W	90°45'01"
C2	23.64'	15.00'	21.27'	N46°20'34"E	90°19'00"
C3	20.42'	15.00'	18.88'	S49°49'10"E	77°59'32"
C4	89.23'	565.00'	89.14'	S15°20'51"E	9°02'55"
C5	31.31'	20.00'	28.21'	S43°39'26"E	89°41'00"
C6	23.51'	15.00'	21.17'	N43°36'18"W	89°47'17"
C7	348.20'	8703.97'	348.18'	N2°26'07"E	2°17'32"
C8	351.83'	8793.97'	351.81'	N2°26'06"E	2°17'32"
C9	30.53'	19.50'	27.51'	N46°04'28"E	89°42'43"

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	101.46'	S88°29'56"E
L2	119.30'	S11°11'04"W
L3	136.43'	N88°48'56"W
L4	124.86'	N11°11'04"E
L5	136.43'	S88°48'56"E
L6	200.02'	S11°11'04"W
L7	136.43'	N88°48'56"W
L8	200.02'	N11°11'04"E
L9	25.00'	S88°50'08"E
L10	93.67'	S1°09'52"W
L11	25.00'	N88°28'38"W
L12	93.52'	N1°09'52"E
L13	120.31'	N88°29'54"W
L14	51.00'	S11°11'04"W
L15	14.05'	S88°29'56"E

ZONE CHANGE FOR:

WESTERN MTG & REALTY CO & W.C.W.C.D.

LOCATED IN THE SECTIONS 12 & 13, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE: 2/17/2024

SCALE: 1"=200'

JOB NO.
336-002

SHEET NO.

1 OF 1

336-002 W.C.W.C.D. - WESTERN MORTGAGE ROS

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PROVALUE ENGINEERING, INC.

Engineers - Land Surveyors - Land Planners
20 South 800 West, Suite 101
Hurricane, UT 84503
Phone: (435) 648-8307



**Application**

Application Accepted Date: 02/12/2024		Valuation \$ 0.00				
Type of Improvement: Subdivision (Final Plat Amendment)		PERMIT FEES				
Description: Adjusting the lot line between lots 84 & 85		Planning Fee \$ 150.00				
Tenant / Project Name: Canyon Ridge Subdivision Partial		Planning Fee \$ 150.00				
Bldg. Address: 321 N. 3420 W. Hurricane		Sub Total: \$ 150.00				
City: Hurricane City State: UT Zip: 84737		Permit Total: \$ 150.00				
Subdivision: Canyon Ridge Subdivision Phase: na		Amount Paid: \$ 150.00				
Block: Lot #: Parcel #: H-CANR-84, H-CANR-		Remaining Due: \$ 0.00				
Property Owner: David & Cindy Howard, and April Gunn						
Permit Contact: Cody Arnoldson P:(435) 619-9203						
Email: codya@racivil.com						
CONTACT INFORMATION						
General Contractor: Cody Arnoldson						
License #: P: (435) 619-9203						
Address: 352 E. Riverside Dr. A-2						
City: St. George State: Utah Zip: 84790						
Email: codya@racivil.com						
APPLICATION DETAILS						
		APPROVALS		DATE	INFO	
		Plan Review Finalized: Yes		02/15/24	Brienna Spencer	
		Setbacks	Front:	Rear:	Left:	Right:
		Min.				
		Actual:				
		APPLICATION NUMBER: PENDAFP24-04				
		<small>This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.</small>				
		Applicant Name: Cody Arnoldson				
		Signature of Applicant/Authorized Agent or Owner: Date:				
		Application Approved By:		Date:		
				02/15/2024		
		Application Issued By:		Date:		
		Receipt #: 8.176429-02/12/24				



STAFF COMMENTS

Agenda Date:	03/14/2024
Application Number:	AFP24-04
Type of Application:	Amended Final Plat
Action Type:	Administrative
Applicant:	David & Cindy Howard and April Gunn
Agent:	Cody Arnoldson
Request:	Approval of an Amended Final Plat
Location:	321 N 3420 W
Zoning:	R1-10
General Plan Map:	Single Family
Recommendation:	Approve subject to staff and JUC comments
Report Prepared by:	Fred Resch III/Gary Cupp

Discussion: The applicant has applied to amend the final plat for Canyon Ridge Phase I to change the lot lines between lots 84 and 85. Any lot line adjustment within a recorded subdivision requires an amended final plat

JUC Comments

1. **Public Works:** Need to make sure that the new lot lines do not cause problems with the location of water meter barrels and power secondary boxes and other utilities.
2. **Power:** No concerns.
3. **Water:** Okay.
4. **Streets:** Okay with amendment.
5. **Sewer:** No exception.
6. **Engineering:** Engineering approves of the intent; however the plat needs to be updated to successfully record.
7. **Fire:** Approved.
8. **Cable:** No comment.
9. **WCWCD:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the zone change adequately mitigates interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.



Staff Comments

1. The plat does meet the standards for amending final plats contained in [Utah Code 10-9a-608](#), Subdivision Amendments, updated in 2023. The following are the key items:
 - a. Depicts only the portion of the subdivision that is proposed to be amended.
 - b. Includes a plat name distinguishing the amended plat from the original plat.
 - c. Describe the differences from the original plat.
 - d. Includes references to the original plat.
2. The Final Plat needs a full review by the City Engineering Department for surveying details.
3. R1-10 zoning standards require that the minimum lot sizes be 8,000 sq ft as long as the average lot size for the overall development is 10,000 sq ft. This change meets that requirement.
4. Where the amendment is for two lots that have existing buildings on them, an exhibit should be prepared showing that the amendment will not cause either of the two houses to no longer meet setbacks.

Recommendation: Staff recommends that the Planning Commission review this application based on Hurricane City and State Code standards. Staff would recommend approval of this item subject to staff and JUC comments.

OWNER'S DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF ALL THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND EASEMENTS TO BE HEREAFTER KNOWN AS:

CANYON RIDGE SUBDIVISION - PARTIAL AMENDMENT 'A'

FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, DO HEREBY DEDICATE AND CONVEY TO HURRICANE CITY FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS PUBLIC EASEMENTS. ALL LOTS AND EASEMENTS ARE AS NOTED OR SHOWN. THE OWNERS DO HEREBY WARRANT AND ASSIGN TO HURRICANE CITY AND ITS SUCCESSORS, TITLE TO ALL PROPERTY DEDICATED AND CONVEYED TO PUBLIC USE HEREIN AGAINST THE CLAIMS OF ALL PERSONS.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, 2023.

DAVID W. HOWARD AND CINDY L. HOWARD, HUSBAND AND WIFE AS JOINT TENETS WITH FULL RIGHTS OF SURVIVORSHIP, AS TO A PORTION

OWNER - DAVID W. HOWARD

OWNER - CINDY L. HOWARD

APRIL GUNN, AN INDIVIDUAL, AS TO THE REMAINDER

OWNER - APRIL GUNN

OWNER'S ACKNOWLEDGMENT:

STATE OF UTAH
COUNTY OF WASHINGTON) S.S.

ON THIS _____ DAY OF _____ IN THE YEAR _____, BEFORE ME _____, A NOTARY PUBLIC, PERSONALLY APPEARED DAVID W. HOWARD, AND PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THIS DOCUMENT, AND ACKNOWLEDGED (HE/SHE) EXECUTED THE SAME.

FULL NAME SIGNATURE: _____

FULL NAME PRINT: _____

COMMISSION NO.: _____

EXPIRATION DATE: _____

A NOTARY PUBLIC COMMISSIONED
IN THE STATE OF _____

DO NOT STAMP

OWNER'S ACKNOWLEDGMENT:

STATE OF UTAH
COUNTY OF WASHINGTON) S.S.

ON THIS _____ DAY OF _____ IN THE YEAR _____, BEFORE ME _____, A NOTARY PUBLIC, PERSONALLY APPEARED CINDY L. HOWARD, AND PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THIS DOCUMENT, AND ACKNOWLEDGED (HE/SHE) EXECUTED THE SAME.

FULL NAME SIGNATURE: _____

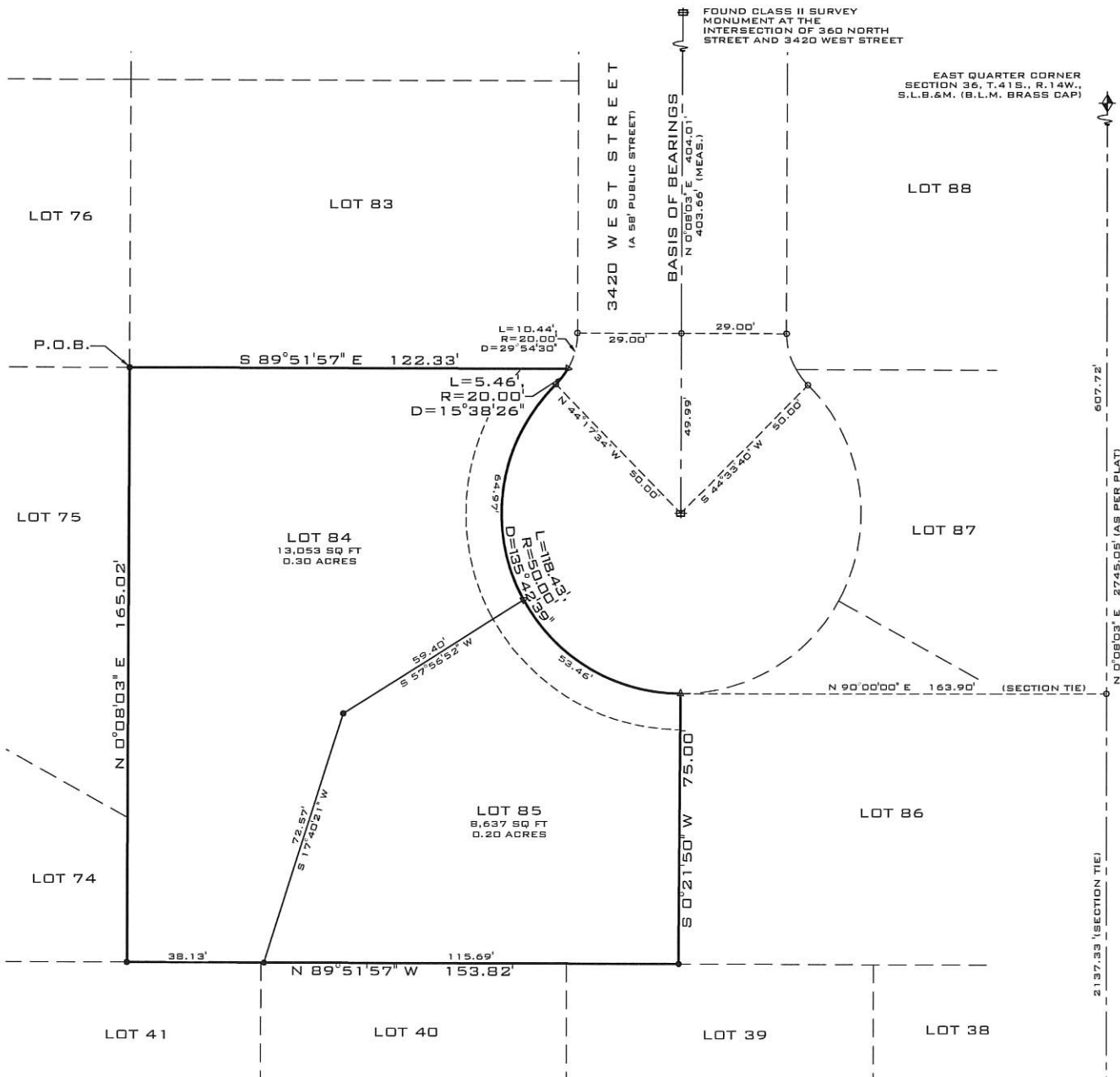
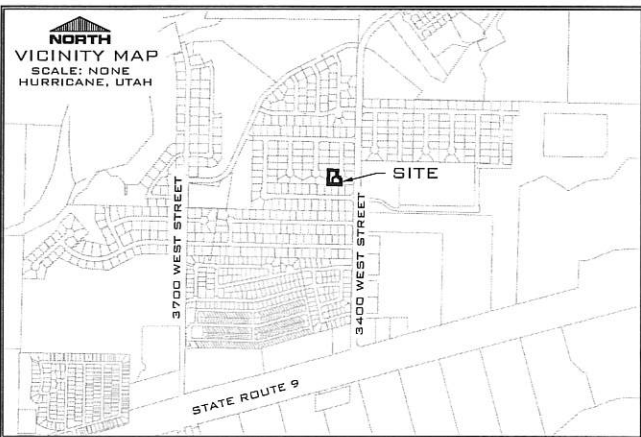
FULL NAME PRINT: _____

COMMISSION NO.: _____

EXPIRATION DATE: _____

A NOTARY PUBLIC COMMISSIONED
IN THE STATE OF _____

DO NOT STAMP



OWNER'S ACKNOWLEDGMENT:

STATE OF UTAH
COUNTY OF WASHINGTON) S.S.

ON THIS _____ DAY OF _____ IN THE YEAR _____, BEFORE ME _____, A NOTARY PUBLIC, PERSONALLY APPEARED APRIL GUNN, AND PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THIS DOCUMENT, AND ACKNOWLEDGED (HE/SHE) EXECUTED THE SAME.

FULL NAME SIGNATURE: _____

FULL NAME PRINT: _____

COMMISSION NO.: _____

EXPIRATION DATE: _____

A NOTARY PUBLIC COMMISSIONED
IN THE STATE OF _____

DO NOT STAMP

SURVEYOR'S CERTIFICATE:

I, BRANDON E. ANDERSON, PROFESSIONAL LAND SURVEYOR NUMBER 4938716, HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT AND HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 AND HEREBY CERTIFY ALL MEASUREMENTS AND DESCRIPTIONS ARE CORRECT. MONUMENTS WILL BE SET AS REPRESENTED ON THIS PLAT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE HEREON OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND HAVE SUBDIVIDED THE SAME TRACT INTO LOTS AND EASEMENTS TO BE HEREAFTER KNOWN AS:

CANYON RIDGE SUBDIVISION - PARTIAL AMENDMENT 'A'

THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND POINTS ESTABLISHED ON THE GROUND IN ACCORDANCE WITH THE HEREON LEGAL DESCRIPTION.



DATE: _____

BRANDON E. ANDERSON

CERTIFICATE NO. 4938716

LEGAL DESCRIPTION:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 83, CANYON RIDGE SUBDIVISION, AS FOUND ON FILE AT THE WASHINGTON COUNTY RECORDERS OFFICE, AS ENTRY NO. 404201 AND RUNNING;

THENCE SOUTH 89°51'57" EAST 122.33 FEET ALONG THE SOUTHERLY LINE OF SAID LOT 83 TO THE WESTERLY LINE OF 3420 WEST STREET;

THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID 3420 WEST STREET THE FOLLOWING (3) COURSES;

THENCE SOUTHWESTERLY 5.46 FEET ALONG AN ARC OF A 20.00 FOOT RADIUS NON-TANGENT CURVE, TO THE RIGHT (CENTER BEARS NORTH 59°57'27" WEST, LONG CHORD BEARS SOUTH 37°51'48" WEST 5.44 FEET WITH A CENTRAL ANGLE OF 15°38'30");

THENCE SOUTH 118.43 FEET ALONG AN ARC OF A 50.00 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS SOUTH 44°18'56" EAST, LONG CHORD BEARS SOUTH 22°10'16" EAST 92.62 FEET WITH A CENTRAL ANGLE OF 135°42'39") TO THE NORTHWEST CORNER OF LOT 86 SAID CANYON RIDGE SUBDIVISION;

THENCE SOUTH 00°21'50" WEST 75.00 FEET ALONG THE WESTERLY LINE OF SAID LOT 86 TO A POINT ON THE NORTHERLY LINE OF LOT 39 SAID CANYON RIDGE SUBDIVISION;

THENCE NORTH 89°51'57" WEST 153.83 FEET ALONG THE NORTHERLY LINE SAID LOT 39 AND TO AND ALONG THE NORTHERLY LINE OF LOTS 40 AND 41 TO THE SOUTHEASTERLY CORNER OF LOT 74, SAID CANYON RIDGE SUBDIVISION;

THENCE NORTH 00°08'03" EAST 165.00 FEET ALONG THE EASTERLY LINE OF SAID LOT 74 TO AND ALONG THE EASTERLY LINE OF LOT 75 SAID CANYON RIDGE SUBDIVISION TO THE POINT OF BEGINNING.

CONTAINING 21,688 SQUARE FEET OR 0.50 ACRES.

GENERAL NOTES AND RESTRICTIONS:

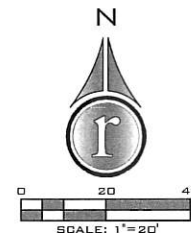
1. A 10.00 FOOT UTILITY EASEMENT IS LOCATED ALONG ALL STREET FRONTAGE.

AMENDMENT NOTE:

THE PURPOSES OF THIS AMENDMENT IS TO ADJUST THE LINE BETWEEN LOTS 84 & 85. NO OTHER CHANGES ARE MADE WITH THIS PLAT.

LEGEND:

- NOTHING SET OR FOUND
- SET CORNER - 5/8" X 20" REBAR & PLASTIC CAP - ROSENBERG ASSOCIATES
- ▲ SET PK NAIL/WASHER IN WALK ON LOT LINE EXTENSION
- ⊕ FOUND SURVEY CONTROL MONUMENT - CLASS II
- ⬆ FOUND SECTION MONUMENTATION AS SHOWN AND DESCRIBED



CANYON RIDGE SUBDIVISION
PARTIAL AMENDMENT - A
(LOTS 84 & 85)

LOCATED IN S.E. QUARTER SECTION 36, TOWNSHIP 41 SOUTH, RANGE 14 WEST SALT LAKE BASE AND MERIDIAN HURRICANE CITY, WASHINGTON COUNTY, UTAH.



FPLAT-AMD-PARTIAL
FILE NUMBER: 13643-23
JOB NUMBER: _____

DATE: 02/12/2024

SCALE: 1" = 20'

C.G.A. DRAWN: _____

B.E.A. CHECKED: _____

ENGINEER'S APPROVAL

THE HEREON SUBDIVISION FINAL PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE THIS _____ DAY OF _____, A.D. 20____

ENGINEER
HURRICANE CITY

APPROVAL AS TO FORM

APPROVED AS TO FORM, THIS THE _____ DAY OF _____, A.D. 20____

CITY ATTORNEY
HURRICANE CITY

ASH CREEK SPECIAL SERVICE DISTRICT

THE HEREON SUBDIVISION FINAL PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE THIS _____ DAY OF _____, A.D. 20____

ASH CREEK SPECIAL SERVICES DISTRICT

APPROVAL AND ACCEPTANCE BY THE HURRICANE CITY, UTAH

WE, THE MAYOR AND CITY COUNCIL OF THE HURRICANE CITY, UT, HAVE REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND BY AUTHORIZATION OF SAID CITY COUNCIL, RECORDED IN THE MINUTES OF ITS MEETING OF _____ DAY OF _____, A.D. 20____ HEREBY ACCEPT SAID FINAL PLAT WITH ALL COMMITMENTS AND OBLIGATIONS PERTAINING THERETO.

ATTEST: CITY RECORDER
HURRICANE CITY

MAYOR
HURRICANE CITY

TREASURER APPROVAL

I, WASHINGTON COUNTY TREASURER, CERTIFY ON THIS _____ DAY OF _____, A.D. 20____ THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES DUE AND OWING ON THIS SUBDIVISION FINAL PLAT HAVE BEEN PAID IN FULL.

WASHINGTON COUNTY TREASURER

RECORDED NUMBER

WASHINGTON COUNTY RECORDER

**Application**

Application Accepted Date: 01/26/2024
Type of Improvement: Site Plan (Final)
Description: Building Addition
Tenant / Project Name: ACE Hostel Remodel & Addition
Bldg. Address: 73 South Main St
City: Hurricane City State: UT Zip: 84737
Subdivision: ACE Hostel Phase:
Block: Lot #: Parcel #: H-114-A-1
Zone: GC
Property Owner: American Conservation Experience
Permit Contact: Brandee Walker P:(435) 668-4023
Email: bwalker@civilsience.com

CONTACT INFORMATION

Engineer of Record: Civil Science
Email: kcsmith@civilsience.com P: (435) 986-0100
General Contractor: American Conservation Experience
License #: P: (435) 668-4023
City: State: Zip:
Email: bwalker@civilsience.com

APPLICATION DETAILS

Valuation	\$	0.00
PERMIT FEES		
Planning Fee	\$	250.00
Sub Total:	\$	250.00
Permit Total:	\$	250.00
Amount Paid:	\$	250.00
Remaining Due:	\$	0.00

APPROVALS	DATE	INFO
Plan Review Finalized: Yes	02/28/24	Brienna Spencer

Setbacks	Front:	Rear:	Left:	Right:
Min.				
Actual:				

APPLICATION NUMBER: PENDFSP24-17

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

Applicant Name: Brandee Walker

Signature of Applicant/Authorized Agent or Owner: Date:

Application Approved By:

Date:

02/28/2024

Application Issued By:

Date:

Receipt #: 8.176514-01/26/24



STAFF COMMENTS

Agenda Date:	03/14/2024
Application Number:	FSP24-17
Type of Application:	Final Site Plan Application
Action Type:	Administrative
Applicant:	American Conservation Experience
Agent:	CivilScience
Request:	Approval of a Final Site Plan
Location:	73 S Main St
Zoning:	GC
General Plan Map:	Downtown
Recommendation	Approval subject to JUC and staff comments.
Report Prepared by:	Fred Resch III/Gary Cupp

Discussion:

The applicant has filed a final site plan for a remodel and expansion of the American Conservation Experience's hostel in Downtown Hurricane. This property is located just north of the Bradshaw Hotel museum.



JUC Comments

1. Construction drawings were signed off in January 2024

Staff Comments: Final Site Plan

1. The proposed and current use is as a hostel, this is permitted in the General Commercial zone.
2. Parking Requirements: The site plan indicates that 12 parking spaces are required and 17 stalls are provided. It does not appear that they are removing any parking stalls with this plan.
3. Landscape: The current landscaping is grandfathered in. The applicant has proposed adding in the required parking lot landscaping.
4. A note has been provided that no outdoor lighting is being added.

5. The lot is flat and the staff does not have any concerns about slopes on the property.
6. Building elevations have been provided and will not exceed it's current height.

Recommendation: Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff would recommend approval of this final site plan subject to JUC and staff comments.

Lighting Plan

No additional lighting is being proposed. All existing lighting to remain.



REFERENCE NOTES

1. DIAMOND WALL PRO ONE COAT STUCCO INSULATED SYSTEM, SEMI SMOOTH ACRYLIC FINISH OVER GALVANIZED METAL LATH (ASTM C1032) OVER (2) LAYERS GRADE D KRAFT PAPER OR ACRYLIC BASED AIR / WATER BARRIER BY MFR 15' POLYISOCYANURATE INSULATION, 2 PCF DENSITY, COMPLY WITH ASTM C1289, TYPE I, R-VALUE 8.1 FLAME SPREAD RATING OF 25, SMOKE DEVELOPED RATING NOT TO EXCEED 450.
2. LINE OF FINISH GRADES PER CIVIL DWGS.
3. EXTERIOR CONCRETE SIDEWALKS PER CIVIL DWGS.
4. FOOTING AND FOUNDATION PER STRUCTURAL DWGS.
5. WINDOW AND DOORS PER SHEET A5.1
6. PRE-FINISHED ALUMINUM COPING CAP
7. 1 1/2" DIA. GALVANIZED PIPE GUARDRAIL, TOP OF GUARDRAIL SHALL BE 42" ABOVE THE FINISHED ROOF SURFACE, PROVIDE VERT. SUPPORTS AT 48" O.C. MAX. OR FALL ARREST ANCHORAGE COMPLYING W/ ANSI/ASSE Z 359.
8. FIXED STEEL LADDER BY FS INDUSTRIES SERIES F WITH WALK-THRU HANDRAILS, POWDER COAT FINISH OR APPROVED EQUAL

EXTERIOR FINISH SCHEDULE

MTL-1	COPING CAP COLOR: WHITE
MTL-2	METAL RAILING COLOR: MATCH MT-1
MTL-3	METAL LADDER COLOR: MATCH MT-1
P-1	VINYL WINDOW FRAMES: MANUFACTURER'S STANDARD WHITE VINYL
P-2	MECHANICAL AND VENT GRILLES PAINTED, COLOR: SEMI-GLOSS COLOR: MATCH ST-1
P-3	EXISTING WOOD PAINTED, COLOR: TO MATCH MTL-1 SEMI-GLOSS
P-4	PAINTED, COLOR: A9 SELECTED BY OWNER
ST-1	STUCCO COLOR: IC455 SURREY BEIGE

GENERAL NOTES

1. DENOTES EXTENT OF NEW BUILDING ADDITION. ST-1 PER REFERENCE NOTE 1/A3.1 IS APPLICABLE TO THE EXISTING BUILDING ALSO
2. VERIFY ALL EXTERIOR FINISH COLORS AND TEXTURES WITH OWNER

STATE OF UTAH
JAMES DERBY
120722-0101
SEAL ARCHITECT

SIGNED 12.14.2023

DATE: MARCH 18, 2023

THESE DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND THE INFORMATION HEREIN IS THE PROPERTY OF JAMES DERBY ARCHITECT PC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JAMES DERBY ARCHITECT PC. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION.

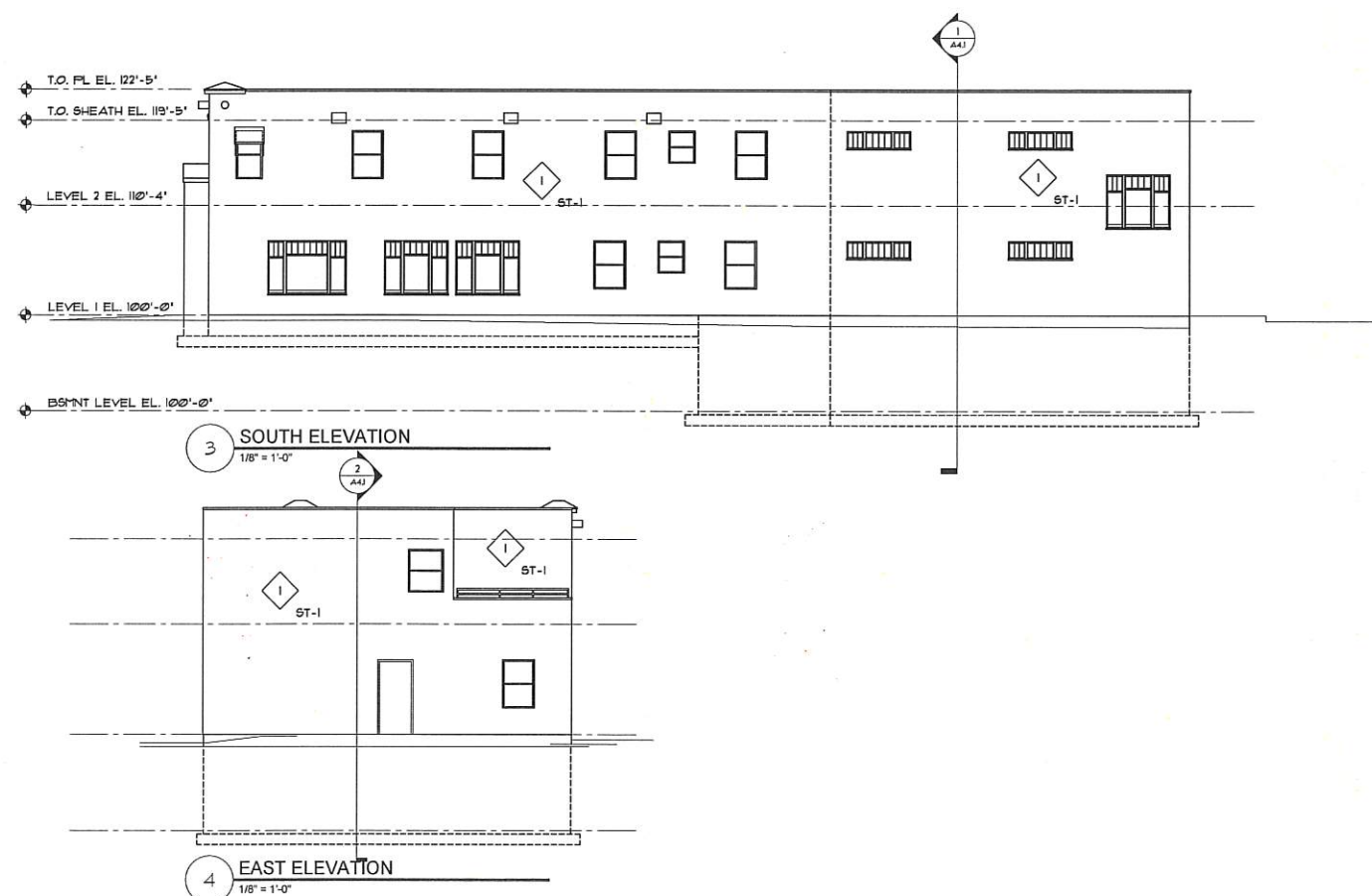
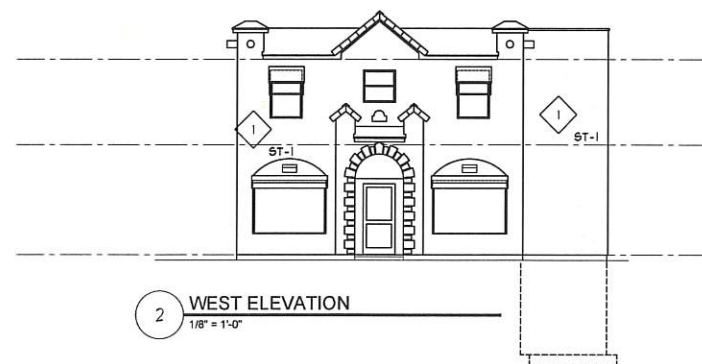
ACE HOSTEL REMODEL AND ADDITION
73 SOUTH MAIN STREET
HURRICANE UTAH 84737

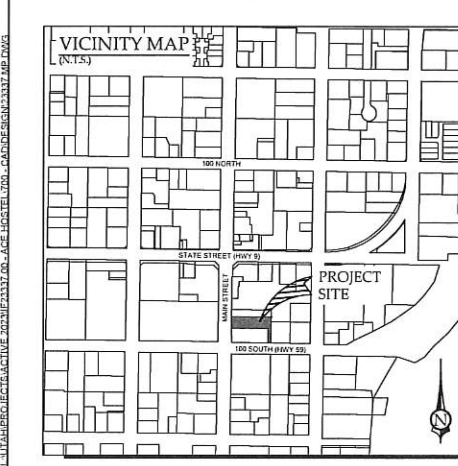
JAMES DERBY ARCHITECT PC AN NCARB
175 N LODGE RD
CENTRAL UTAH 84722
PH (801) 680-1385

ST GEORGE CITY OFFICE
720 S RIVER ROAD, SUITE 02000
ST GEORGE CITY, UTAH 84770
PH (801) 718-6199

JDA
JAMES DERBY ARCHITECT PC

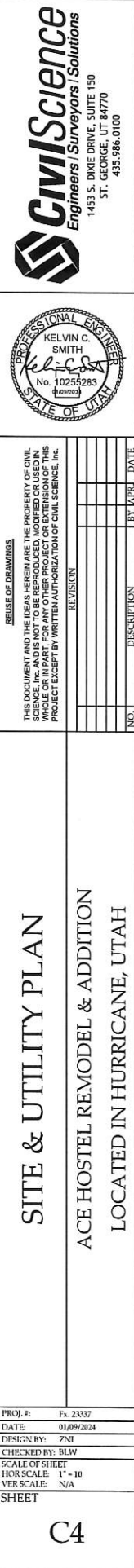
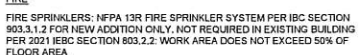
JOB NO. A2022.08
DATE: 12.14.2023
DRAWN: JD
CHECKED: JD
SHEET TITLE:
EXTERIOR ELEVATIONS
SHEET NO.:
A3.1





- 1 EXISTING ELECTRICAL TRANSFORMER
(NO UPGRADE REQUIRED)
- 2 REROUTE SERVICE, 3" PVC W/ 350 MCM ALUM, TRIPLEX
- 3 INSTALL SECONDARY BOX TO INTERCEPT EXISTING SERVICE
HURRICANE POWER WILL HELP DURING OUTAGE TO ACCOMPLISH
- 4 REMOVE OLD METER AND INSTALL 400 A METER BASE
W/ LEVER BYPASS SOCKET
- 5 INSTALL NEW SERVICE LINE 3" PVC WITH 350 MCM
ALUM. TRIPLEX

- JUC NOTES:**
1. ALL SEWER AND WATER NEEDS WILL USE EXISTING BUILDING UTILITY CONNECTIONS.
 2. SEE SHEET 02 FOR STANDARD JUC NOTES.



Application

Application Accepted Date: 02/13/2024		Valuation		\$	0.00
Type of Improvement: Subdivision (Final Plat Amendment)		PERMIT FEES			
Description: Amendment to add Lots 23 & 37		Planning Fee		\$	150.00
Tenant / Project Name: Pecan Valley Phase 2 Amended & Extended		Planning Fee		\$	150.00
Bldg. Address: 5210 West 2100 South		Sub Total:		\$	150.00
City: Hurricane City State: UT Zip: 84737		Permit Total:		\$	150.00
Subdivision: Pecan Valley Phase 2 Amended & Phase: 2		Amount Paid:		\$	0.00
Block: Extended Parcel #: H-4-2-10-224		Remaining Due:		\$	150.00
Zone: PD					
Property Owner: Chris Wyler					
Permit Contact: Brandee Walker P:(435) 668-4023					
Email: bwalker@civilsience.com					
CONTACT INFORMATION					
Engineer of Record: Civil Science					
Email: bwalker@civilsience.com P: (435) 668-4023					
General Contractor: Chris Wyler					
License #: P: (435) 467-2216					
Address: 5202 W 2250 S					
City: Hurricane State: UT Zip: 84737					
Email: wyltile@gmail.com					
APPLICATION DETAILS					
APPROVALS		DATE		INFO	
Plan Review Finalized:		Yes		02/20/24 Brienna Spencer	
Setbacks		Front:		Rear:	
Min.					
Actual:					
APPLICATION NUMBER:				PENDAFP24-05	
<small>This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I here-by certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.</small>					
Applicant Name: Brandee Walker					
Signature of Applicant/Authorized Agent or Owner: Date:					
Application Approved By:				Date:	
				02/20/2024	
Application Issued By:				Date:	
Receipt #: 8.176324-02/13/24					



STAFF COMMENTS

Agenda Date:	03/14/2024
Application Number:	AFP24-05
Type of Application:	Amended Final Plat
Action Type:	Administrative
Applicant:	Chris Wyler
Agent:	Brandee Walker-Civil Science
Request:	Approval of an Amended Final Plat
Location:	5210 W 2100 S
Zoning:	R1-10
General Plan Map:	Planned Community
Recommendation:	Approve subject to staff and JUC comments
Report Prepared by:	Fred Resch III/Gary Cupp

Discussion: The applicant has applied to amend the final plat for Pecan Valley Phase 2 to abandon the existing temporary retention basin for the purpose of adding two additional lots to the subdivision. A larger and permanent retention basin has been constructed southwest of this site, and the storm drainage can easily be rerouted to direct stormwater to that site instead. This has been reviewed by staff, and staff has signed off on the plan to reroute the stormwater.



JUC Comments

1. **Public Works:** No comments.
2. **Engineering:** Engineering recommends a revised boundary and name (Pecan Valley Phase 2 Extended) because of Utah Municipal Code 10-9a-608(4) and 10-9a-608(b)(c).
3. **Streets:** Lots 23 & 37 are currently detention areas. Inlets to the pond will need to be taken out and granted. Area currently discharges to Sycamore Village.
4. **Water:** Okay.
5. **WCWCD:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the proposed plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.
6. **Cable:** No comments.
7. **Fire:** Approve.
8. **Sewer:** no comments.
9. **Power:** Changes shouldn't affect current Dixie Power design.

Staff Comments

1. The plat does meet the standards for amending final plats contained in [Utah Code 10-9a-608](#). Subdivision Amendments, updated in 2023. The following are the key items:
 - a. Depicts only the portion of the subdivision that is proposed to be amended.
 - b. Includes a plat name distinguishing the amended plat from the original plat.
 - c. Describe the differences between from the original plat.

- d. Includes references to the original plat.
- 2. The Final Plat needs a full review by the City Engineering Department for surveying details.
- 3. Utah Code 10-9a-608(4) states:

A petition.... that contains a request to amend an entire plat or a portion of a plat shall include:

(a) the name and address of each owner of record of the land contained in the entire plat or on that portion of the plat described in the petition; and

(b) the signature of each owner described in Subsection (4)(a) who consents to the petition.

The applicant is not the owner of all lots depicted in the petition and has not provided consents from the other owners. The applicant will need to only depict the lots being changed under their control or get consents from the other owners for recordation.

Recommendation: Staff recommends that the Planning Commission review this application based on Hurricane City and State Code standards and recommend approval of this item subject to staff and JUC comments.

MORTGAGEE'S CONSENT TO RECORD

THE UNDERSIGNED, Rock Canyon Bank, A MORTGAGEE FOR CHRISTOPHER WYLER, DOES HEREBY GIVE CONSENT TO THE RECORDATION OF THE HEREON ENTITLED PROJECT FOR SAID TRACT OF LAND TO BE USED FOR THE USES AND PURPOSES DESCRIBED IN THE PLAT, TO RECORDING PLAT, RECORDING OF COVENANTS, CONDITIONS AND RESTRICTIONS AND JOINS IN ALL DEDICATIONS AND CONVEYANCES.

REPRESENTATIVE: Monty Bundy

MORTGAGEE ACKNOWLEDGMENT

STATE OF Utah } S.S.
COUNTY OF Washington

ON THE 12 DAY OF November, 2020 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, Monty Bundy, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME THAT HE SIGNED THE CONSENT OF MORTGAGEE TO RECORD FOR THE USES AND PURPOSES STATED THEREIN.

Tashina Foki

NOTARY PUBLIC

NOTARY PUBLIC FULL NAME: Tashina Foki

A NOTARY PUBLIC COMMISSIONED IN UTAH

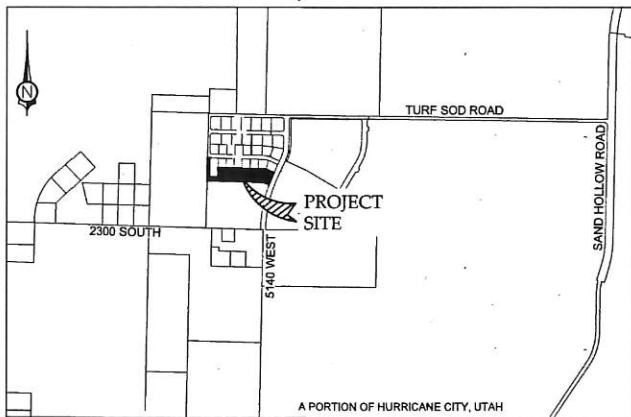
STAMP IS NOT REQUIRED PER UTAH CODE 46-1-16(6)

COMMISSION NUMBER:

709012

MY COMMISSION EXPIRES:

10-30-2023



VICINITY MAP
(N.T.S.)

GENERAL NOTES

- A 10.00 FOOT WIDE PUBLIC UTILITIES, MAILBOX, SIDEWALKS, AND DRAINAGE EASEMENT EXISTS ALONG ALL FRONT AND STREETSIDE LOT LINES, UNLESS OTHERWISE NOTED ON THIS PLAT.
- AS OF THE RECORDING DATE ON THIS PLAT THERE EXIST WASHINGTON COUNTY WATER CONSERVANCY DISTRICT EASEMENTS AS RECORDED IN DOCUMENTS 20160012316 AND 20160000055, THAT OUTLINE IRRIGATION USE AND COLLECTION. OWNERS AND DEVELOPERS SHOULD BECOME FAMILIAR WITH SAID DOCUMENTS.
- LOTS 34-36 ARE AFFECTED BY WATER CONSERVANCY EASEMENT IN FAVOR OF WASHINGTON COUNTY WATER CONSERVANCY DISTRICT RECORDED APRIL 8, 2016 AS ENTRY NO. 20160012316, IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH.
- LOTS 34-36 ARE AFFECTED BY THE TERMS, CONDITIONS AND EFFECTS OF THAT CERTAIN AGREEMENT BY AND BETWEEN ASH CREEK SPECIAL SERVICE DISTRICT AND CHRISTOPHER WYLER, RECORDED JULY 5, 2016 AS ENTRY NO. 20160023805, IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH.
- LOTS 31-34 ARE AFFECTED BY WATER CONSERVANCY EASEMENT IN FAVOR OF WASHINGTON COUNTY WATER CONSERVANCY DISTRICT RECORDED JANUARY 2, 2016 AS ENTRY NO. 20160000055, IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH.
- LOTS 31-34 ARE AFFECTED BY THE TERMS, CONDITIONS AND EFFECTS OF THAT CERTAIN AGREEMENT BY AND BETWEEN ASH CREEK SPECIAL SERVICE DISTRICT AND CHRISTOPHER WYLER, RECORDED OCTOBER 2, 2016 AS ENTRY NO. 20160039962, IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH.
- LOTS 31-36 ARE AFFECTED BY TERMS AND CONDITIONS OF THAT CERTAIN NOTICE OF RESTRICTION FOR BUILDING ANY STRUCTURE IN A UTILITY EASEMENT, RECORDED NOVEMBER 28, 2016 AS ENTRY NO. 20160047130.

SURVEYOR'S CERTIFICATE

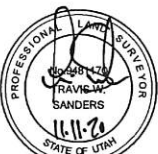
I, TRAVIS SANDERS, A PROFESSIONAL LAND SURVEYOR, LICENSE NUMBER 9481170, HOLD THIS LICENSE IN ACCORDANCE WITH TITLE 58 CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT AND HAVE COMPLETED THIS SURVEY OF THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. I CERTIFY THAT BY AUTHORITY OF THE HEREON OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND AS SHOWN ON THIS PLAT AND HAVE SUBDIVIDED THE SAME TRACT INTO LOTS, PUBLIC STREETS, TRAILS AND EASEMENTS TO BE HEREINAFTER KNOWN AS:

PECAN VALLEY PHASE 2

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE: November 11, 2020

Travis Sanders
TRAVIS W. SANDERS, P.S.



BOUNDARY DESCRIPTION

BEGINNING AT A POINT S 1°11'02" W 1957.62 FEET ALONG THE EAST LINE OF SECTION 10, TOWNSHIP 42 SOUTH, RANGE 14 WEST, SALT LAKE BASE AND MERIDIAN, FROM THE EAST 1/4 CORNER OF SAID SECTION, SAID POINT ALSO BEING ON THE SOUTH BOUNDARY OF PECAN VALLEY PHASE 1 SUBDIVISION, RECORDED AND ON FILE AT THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH, AND RUNNING THENCE ALONG SAID BOUNDARY THE FOLLOWING TWO (2) COURSES, (1) S 88°28'33" E 20.80 FEET, (2) THENCE S 65°08'42" E 104.02 FEET, TO A POINT ON THE WESTERLY RIGHT OF WAY OF 5140 WEST DOCUMENT NO. 20160012726, ON FILE AND OF RECORD IN THE OFFICE OF SAID RECORDER, AND CONTINUING ALONG SAID RIGHT OF WAY THE FOLLOWING TWO (2) COURSES, (1) THENCE S 24°51'18" W 32.20 FEET, TO THE POINT OF CURVATURE OF A 1580.00 FOOT RADIUS CURVE TO THE LEFT, (2) THENCE ALONG THE ARC OF SAID CURVE 133.42 FEET THROUGH A CENTRAL ANGLE OF 4°50'18", TO A POINT OF CUSP WITH A 20.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, WITH A RADIUS WHICH BEARS N 89°59'01" W, THENCE ALONG THE ARC OF SAID CURVE 31.81 FEET THROUGH A CENTRAL ANGLE OF 91°07'33", TO THE POINT OF CURVATURE OF A 327.50 FOOT RADIUS COMPOUND CURVE TO THE LEFT, THENCE ALONG THE ARC OF SAID CURVE 99.27 FEET THROUGH A CENTRAL ANGLE OF 17°21'59", THENCE N 88°28'33" W 606.69 FEET, TO A POINT ON THE EAST LINE OF A PARCEL MORE PARTICULARLY DESCRIBED IN DOCUMENT NO. 20150009813, ON FILE AND OF RECORD IN THE OFFICE OF SAID RECORDER; THENCE N 1°15'30" E 265.00 FEET ALONG SAID LINE, TO THE SOUTHWEST CORNER OF SAID PECAN VALLEY PHASE 1 SUBDIVISION; THENCE S 88°28'33" E 46.09 FEET ALONG SAID BOUNDARY, TO A POINT OF CUSP WITH A 20.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, WITH A RADIUS WHICH BEARS S 1°31'27" W, THENCE ALONG THE ARC OF SAID CURVE 31.51 FEET THROUGH A CENTRAL ANGLE OF 90°15'56", THENCE S 1°15'30" W 180.00 FEET, TO THE POINT OF CURVATURE OF A 20.00 FOOT RADIUS CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE 31.32 FEET THROUGH A CENTRAL ANGLE OF 89°44'04", THENCE S 88°28'33" E 79.85 FEET; THENCE N 1°26'49" E 110.00 FEET, TO THE SOUTHWEST CORNER OF LOT 24 OF SAID PECAN VALLEY PHASE 1 SUBDIVISION; THENCE S 88°28'33" E 536.29 FEET ALONG THE SOUTH BOUNDARY LINE OF SAID SUBDIVISION, TO THE POINT OF BEGINNING.

CONTAINS 108,976 SQ FT OR 2.50 ACRES MORE OR LESS

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PUBLIC STREETS, TRAILS AND EASEMENTS TO BE HEREINAFTER KNOWN AS:

PECAN VALLEY PHASE 2

FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE OWNER DOES HEREBY DEDICATE AND CONVEY TO THE CITY OF HURRICANE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS PUBLIC STREETS, TRAILS AND EASEMENTS. ALL LOTS, STREETS, TRAILS AND EASEMENTS ARE AS NOTED OR SHOWN. THE OWNER DOES HEREBY WARRANT TO THE CITY OF HURRICANE AND ITS SUCCESSORS AND ASSIGNS, TITLE TO ALL PROPERTY DEDICATED AND CONVEYED TO PUBLIC USE HEREIN AGAINST THE CLAIMS OF ALL PERSONS. LOTS SHOWN ON THIS PLAT ARE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, RECORDED IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER ON THIS DAY OF November, 2020, SAID DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT.

CHRISTOPHER WYLER
(AN INDIVIDUAL)

Christopher Wyler
CHRISTOPHER WYLER

INDIVIDUAL ACKNOWLEDGMENT

STATE OF Utah } S.S.
COUNTY OF Washington

ON THE 12 DAY OF November, 2020 PERSONALLY APPEARED BEFORE ME, CHRISTOPHER WYLER, WHO DULY ACKNOWLEDGED TO ME THAT HE SIGNED THE FOREGOING OWNER DEDICATION FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES STATED THEREIN.

Tashina Foki

NOTARY PUBLIC

NOTARY PUBLIC FULL NAME: Tashina Foki

A NOTARY PUBLIC COMMISSIONED IN UTAH

STAMP IS NOT REQUIRED PER UTAH CODE 46-1-16(6)

COMMISSION NUMBER:

709012

MY COMMISSION EXPIRES:

10-30-2023

LEGEND

- SECTIONAL MONUMENTATION (FOUND: TYPE, DATE, AGENCY AND LOCATION ETC. AS SHOWN ON THE PLAT).
- SPECIFIES SURVEY CONTROL MONUMENT TO BE SET (CLASS 1, RING & LID SET TO CITY STANDARD).
- SPECIFIES SURVEY CONTROL MONUMENT TO BE SET (CLASS II, REBAR & ALUM. CAP SET TO CITY STANDARD).
- ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET WITH 5/8" REBAR AND CAP STAMPED CIVIL SCIENCE SURVEYORS, UNLESS OTHERWISE SPECIFIED ON THE PLAT.
- SPECIFIES FRONT LOT PROPERTY CORNER OFFSET RIVET, OR NAIL & WASHER SET AT 5.25' ALONG PROJECTION OF LOT LINE.
- HORIZONTAL GEOMETRY POINT, NOTHING SET.
- BOUNDARY LINE
- LOT LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING LOT LINE
- EASEMENT LINE (SEE NOTES)
- CENTERLINE
- SECTION LINE
- PUBLIC TRAIL / RIGHT OF WAY

PECAN VALLEY PHASE 2

LOCATED IN

SE 1/4 OF SECTION 10 & SW 1/4 OF SECTION 11, TOWNSHIP 42 SOUTH, RANGE 14 WEST,
SALT LAKE BASE AND MERIDIAN
WASHINGTON COUNTY - HURRICANE, UTAH

APPROVAL ASH CREEK SPECIAL SERVICE DISTRICT

I, HEREBY CERTIFY THAT THIS OFFICE HAS REVIEWED THE ABOVE FINAL PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE THIS 11 DAY OF November, A.D. 2020.

Michael J. Smith
SUPERINTENDENT, SSD

ENGINEER'S APPROVAL

THE HEREON FINAL PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE THIS 18 DAY OF November, A.D. 2020.

Arch O. LeBar
ENGINEER, CITY OF HURRICANE

APPROVAL AS TO FORM

APPROVED AS TO FORM, THIS THE 20 DAY OF November, A.D. 2020.

Jay E. Ellis
CITY ATTORNEY, CITY OF HURRICANE

APPROVAL AND ACCEPTANCE BY THE CITY OF HURRICANE, UTAH

WE, THE CITY OF HURRICANE, HAVE REVIEWED THE ABOVE PLAT AND HEREBY ACCEPT SAID PLAT WITH ALL COMMITMENTS AND ALL OBLIGATIONS PERTAINING THERETO, THIS 25 DAY OF November, 2020.

Andy Peterson
ATTEST: CITY RECORDER
HURRICANE, UTAH

John W. Brumall
JOHN W. BRUMALL, MAYOR
HURRICANE, UTAH

TREASURER'S APPROVAL

I, WASHINGTON COUNTY TREASURER, CERTIFY OF THIS DAY OF November, A.D. 2020, THAT THE ABOVE PLAT IS CORRECT AND ACCORDING TO THE RECORDS OF THE CITY OF HURRICANE, UTAH, AND IS IN FULL PAYMENT OF THE CITY OF HURRICANE, UTAH.

D. W. Brumall
WASHINGTON COUNTY TREASURER

RECORDED No.

DOC # 20200070138
Page 1 of 2
Map (Conveying Property)
Russell Shirts, Washington County Recorder
ASSIGNED TO FILE BY SAID RECORDER
BY DILEY CHRISTENSEN

Russell Shirts
WASHINGTON COUNTY RECORDER

PROJ. #: FF20177 PF2
DRAWN BY: F.W.
DATE: 11-6-2020
CHECKED BY: TWS
SCALE OF SHEET
HOR SCALE: 1" = 40'
SHEET
1
OF
1

PECAN VALLEY PHASE 2

LOCATED IN

SE 1/4 OF SECTION 10 & SW 1/4 OF SECTION 11, TOWNSHIP 42 SOUTH,
RANGE 14 WEST, SALT LAKE BASE & MERIDIAN

1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100

CivilScience

**Application**

Application Accepted Date: 02/08/2024
Type of Improvement: Subdivision (Final Plat Amendment)
Description:
Tenant / Project Name: Mountain View Estates Phase 1 at
Bldg. Address: 1220 W 650 South
City: Hurricane State: UT Zip: 84737
Subdivision: Mountain View Estates Phase 1 at Phase: 1
Block: Hurricane 32 & 33 Parcel #: H-MVEH-1-32, H-MVEH-
Zone: R1-10 1-33
Property Owner: RAC INC
Permit Contact: Travis Fewkes P:(435) 628-4700
Email: travis@browncivil.com

CONTACT INFORMATION

Engineer of Record: BROWNCONSULTING ENGINEERS
Email: steve@browncivil.com P: (435) 628-4700
General Contractor: Brown Consulting Engineers
License #: P: (435) 628-4700
Address: 736 S 900 E Suite B105
City: St. George State: Utah Zip: 84770
Email: steve@browncivil.com

APPLICATION DETAILS

Valuation \$ 0.00

PERMIT FEES

Planning Fee	\$ 150.00
Planning Fee	\$ 150.00
Advertising Fees	\$ 3.96
Sub Total:	\$ 153.96
Permit Total:	\$ 153.96
Amount Paid:	\$ 0.00
Remaining Due:	\$ 153.96

APPROVALS**DATE****INFO**

Plan Review Finalized:	Yes	02/20/24	Brienna Spencer
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Setbacks

Front:

Rear:

Left:

Right:

Min.

Actual:

APPLICATION NUMBER:**PENDAFP24-06**

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

Applicant Name: Travis Fewkes

Signature of Applicant/Authorized Agent or Owner: Date:

Travis Fewkes

02/21/2024

Application Approved By:

Date:

02/20/2024

Application Issued By:

Date:

Receipt #: 8.176534 & 8.176535-02/08/24



STAFF COMMENTS

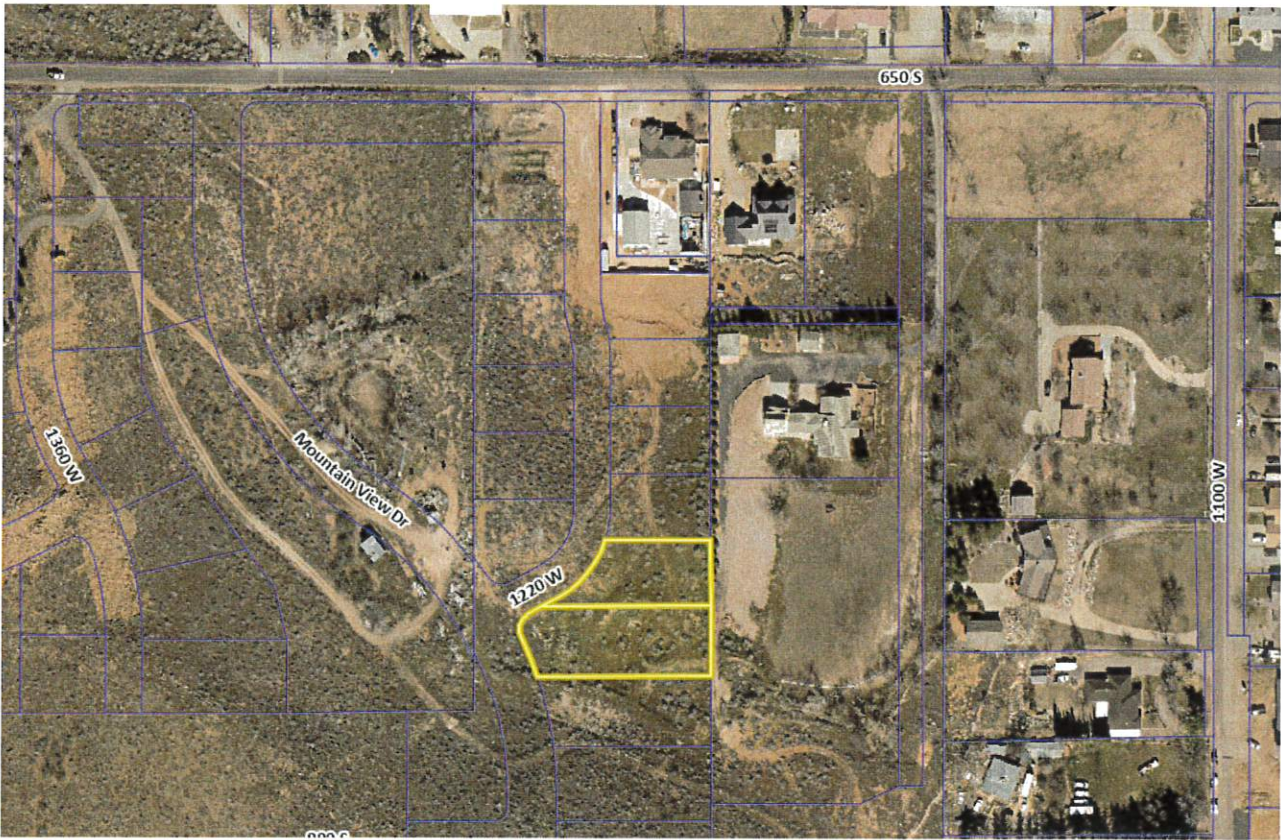
Agenda Date:	03/14/2024
Application Number:	AFP24-06
Type of Application:	Amended Final Plat
Action Type:	Administrative
Applicant:	RAC Inc
Agent:	Brown Consulting Engineers
Request:	Approval of an Amended Final Plat
Location:	735 S 1220 W
Zoning:	R1-10
General Plan Map:	Single Family
Recommendation:	Approve subject to staff and JUC comments
Report prepared by:	Fred Resch III/Gary Cupp

Discussion: The applicant has applied to amend the final plat for Mountain View Estates at Hurricane Phase 1 to change the lot lines between lots 33 and 32 to allow for a slightly larger driveway. Any lot line adjustment within a recorded subdivision requires an amended final plat

JUC Comments

1. **Public Works:** Need to make sure that the new lot lines do not cause problems with the location of water meter barrels and power secondary boxes and other utilities. They must be on the lot they serve.
2. **Power:** Homeowner will hire our prequalified contractor to move the secondary box to the new lot line, extend conduits, and install new wire from the transformer across Mountain View Dr.
3. **Water:** Okay.
4. **Streets:** Okay with adjustment to the lot line.
5. **Sewer:** No exception.
6. **Engineering:** Engineering is supportive of the intent; however, the plat needs to be updated to successfully record.
7. **Fire:** Approved.
8. **Cable:** No comment.
9. **WCWCD:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the zone change adequately mitigates interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby

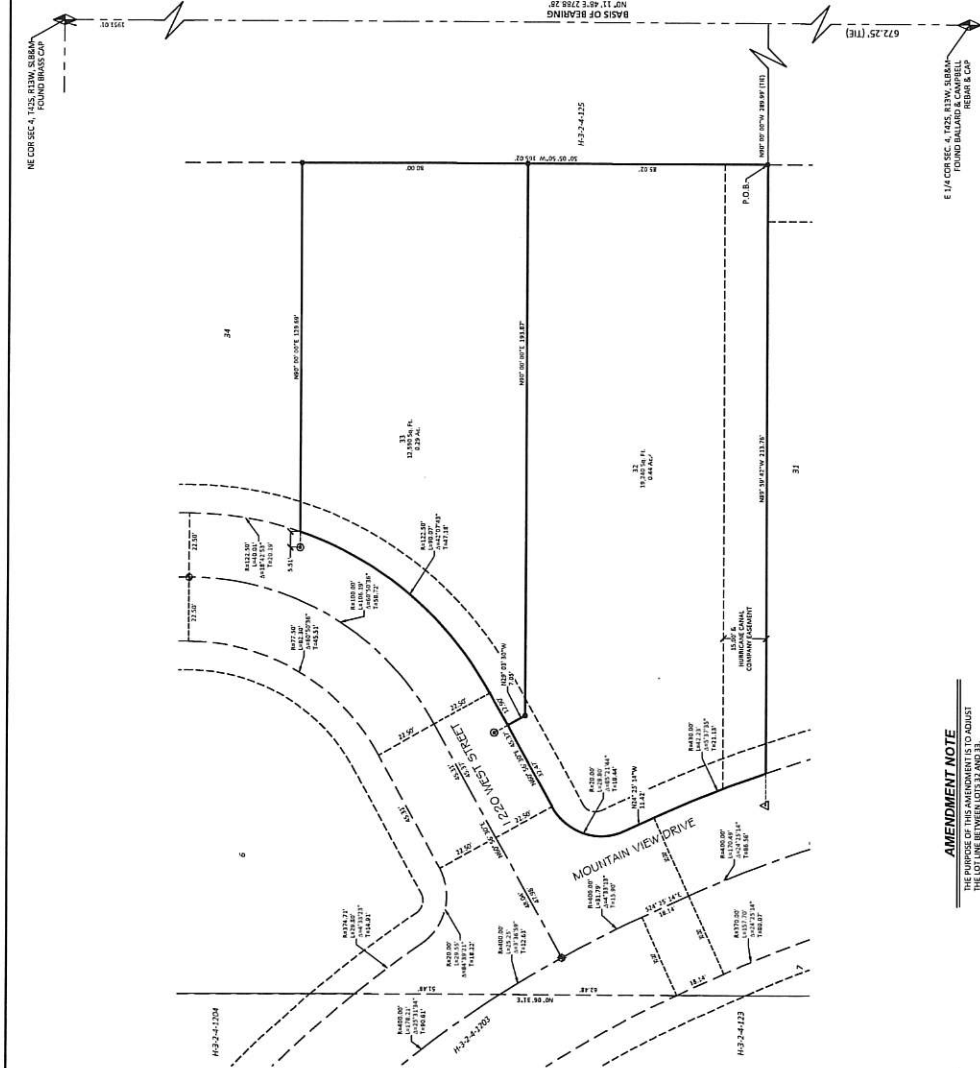
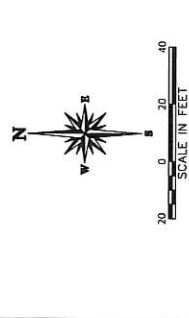
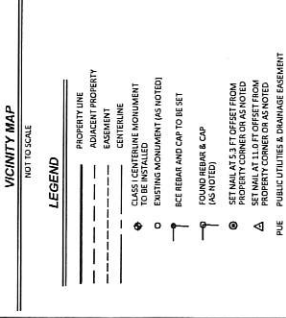
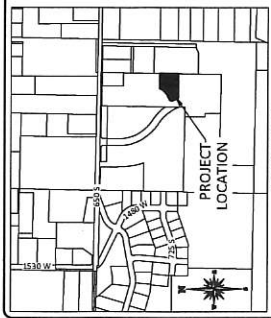
make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.



Staff Comments

1. The plat does meet the standards for amending final plats contained in [Utah Code 10-9a-608](#). Subdivision Amendments, updated in 2023. The following are the key items:
 - a. Depicts only the portion of the subdivision that is proposed to be amended.
 - b. Includes a plat name distinguishing the amended plat from the original plat.
 - c. Describe the differences between from the original plat.
 - d. Includes references to the original plat.
2. The Final Plat needs a full review by the City Engineering Department for surveying details.
3. Required changes to existing utilities on site will need to be completed.

Recommendation: Staff recommends that the Planning Commission review this application based on Hurricane City and State Code standards. Staff would recommend approval of this item subject to staff and JUC comments.



GENERAL NOTES AND RESTRICTIONS

- A 10.00 FOOT WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT EXISTS ALONG ALL FRONT AND STREET SIDE LOT LINES, AS SHOWN ON THIS PLAT.
- THE EASEMENT IS TO BE MAINTAINED AND KEPT OPEN AT ALL TIMES.
- COMPANY ALONG THE SOUTH 15.00 FEET OF LOT 32 AS SHOWN.
- HURRICANE CITY OPERATES A MUNICIPAL CULINARY WATER SYSTEM WITH A LIMITED WATER SUPPLY. APPROVAL OF A PLAT BY HURRICANE CITY DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE PLAT OR ANY PLAT. ANY LAND USE APPLICANT MAY BE REQUIRED BY HURRICANE CITY TO PROVIDE A WATER GUARANTEE. THE APPLICANT ASSUMES THE ENTIRE RISK OF WATER AVAILABILITY FOR A PLATTED LOT.

AMENDMENT NOTE

THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF HURRICANE, UTAH, AND HAS DETERMINED THAT THE LOT LINE BETWEEN LOTS 32 AND 33, AS SHOWN ON THIS PLAT, IS CORRECT.

APPROVAL ASH CREEK SPECIAL SERVICE DISTRICT

I, HURRICANE CITY, HAVE REVIEWED THE RECORDS OF THE CITY OF HURRICANE, UTAH, AND HAVE DETERMINED THAT THE LOT LINE BETWEEN LOTS 32 AND 33, AS SHOWN ON THIS PLAT, IS CORRECT.

CITY ENGINEERS APPROVAL

THE ENGINEER HAS REVIEWED THE RECORDS OF THE CITY OF HURRICANE, UTAH, AND HAS DETERMINED THAT THE LOT LINE BETWEEN LOTS 32 AND 33, AS SHOWN ON THIS PLAT, IS CORRECT.

APPROVAL AS TO FORM

THE CITY ENGINEER HAS REVIEWED THE RECORDS OF THE CITY OF HURRICANE, UTAH, AND HAS DETERMINED THAT THE LOT LINE BETWEEN LOTS 32 AND 33, AS SHOWN ON THIS PLAT, IS CORRECT.

APPROVAL AND ACCEPTANCE BY THE CITY OF HURRICANE, UTAH

WE, THE CITY ENGINEER OF HURRICANE CITY, HAVE REVIEWED THE RECORDS OF THE CITY OF HURRICANE, UTAH, AND HAVE DETERMINED THAT THE LOT LINE BETWEEN LOTS 32 AND 33, AS SHOWN ON THIS PLAT, IS CORRECT.

TREASURER APPROVAL

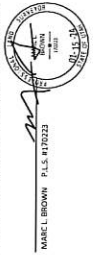
I, HURRICANE CITY TREASURER, HAVE REVIEWED THE RECORDS OF THE CITY OF HURRICANE, UTAH, AND HAVE DETERMINED THAT THE LOT LINE BETWEEN LOTS 32 AND 33, AS SHOWN ON THIS PLAT, IS CORRECT.

RECORDED NO.

RECORDED NO. 101

SURVEYOR'S CERTIFICATE

MARCEL L. BROWN, PROFESSIONAL SURVEYOR, NO. 170231, HOLDING A LICENSE IN ACCORDANCE WITH TITLE 54, CHAPTER 1, PART 1, SUBCHAPTER 1, SECTION 1, OF THE UTAH CODE ANNOTATED, HAS REVIEWED THE RECORDS OF THE CITY OF HURRICANE, UTAH, AND HAS DETERMINED THAT THE LOT LINE BETWEEN LOTS 32 AND 33, AS SHOWN ON THIS PLAT, IS CORRECT.



BOUNDARY DESCRIPTION

BEGINNING AT A CORNER OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 42 SOUTH, RANGE 13 WEST, SALT LAKE CANAL, THENCE NORTH 89°51'15\"

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF ALL THE ABOVE DESCRIBED TRACT OF LAND, HAS HEREBY DEDICATED TO BE SHOWN INTO CITY, PUBLIC UTILITY, COMMON ROAD AND EASEMENTS TO BE HEREAFTER KNOWN AS:

"MOUNTAIN VIEW ESTATES PHASE 1 AT HURRICANE SUBDIVISION PARTIAL AMENDMENT A"

CORPORATE ACKNOWLEDGEMENT

STATE OF _____ COUNTY OF _____ DAY OF _____ A.D. 20____

MOUNTAIN VIEW ESTATES PHASE 1 AT HURRICANE SUBDIVISION PARTIAL AMENDMENT A

LOCATED IN THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 42 SOUTH, RANGE 13 WEST, SALT LAKE BASE & MERIDIAN

**Application**

Application Accepted Date: 02/14/2024
Type of Improvement: Subdivision (Preliminary Plat)
Description: Peach Spring Estates will have 30 lots in phase 1
Tenant / Project Name: Peach Spring Estates
Bldg. Address: 3700 W & Bash Parkway
City: Hurricane City State: UT Zip: 84737
Subdivision: Peach Spring Estates Phase: 1 & 2
Block: Lot #: Parcel #: H-4-2-12-1208-GS1
Zone: RA-10
Property Owner: Matt Lowe- Smooth Stone Homes
Permit Contact: Karl Rasmussen P:(435) 680-0816
Email: karl@pv-eng.com

CONTACT INFORMATION

Engineer of Record: Karl Rasmussen
Email: karl@pv-eng.com P: (435) 668-8307

General Contractor: Smooth Stone Homes
License #: P: (801) 648-8229
Address: Smooth Stone Homes 6028 S Ridgline Dr Suite 203,
City: Ogden, UT 84405 State: Utah Zip: 84405
Email: matt@lowecompanies.com

APPLICATION DETAILS

Valuation	\$	0.00
PERMIT FEES		
Planning Fee	\$	150.00
Planning Fee	\$	150.00
Sub Total:	\$	150.00
Permit Total:	\$	150.00
Amount Paid:	\$	0.00
Remaining Due:	\$	150.00

APPROVALS**DATE****INFO**

Setbacks	Front:	Rear:	Left:	Right:
Min.				
Actual:				

APPLICATION NUMBER: PLANPP24-08

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

Applicant Name: Treasa Anderson

Signature of Applicant/Authorized Agent or Owner: Date:

Application Approved By: Date:

Application Issued By: Date:

Receipt #: 7.724669-02/14/24



STAFF COMMENTS

Agenda Date:	03/14/2024
Application Number:	PP24-08
Type of Application:	Preliminary Plat Application
Action Type:	Administrative
Applicant:	Smooth Stone Homes
Agent:	Karl Rasmussen
Request:	Preliminary Plat Application
Location:	3600 W 1400 S
Zoning:	R1-10
General Plan Map:	Planned Community
Recommendation:	Approve Phase 1 subject to staff and JUC comments
Report Prepared by:	Fred Resch III/Gary Cupp

Discussion:

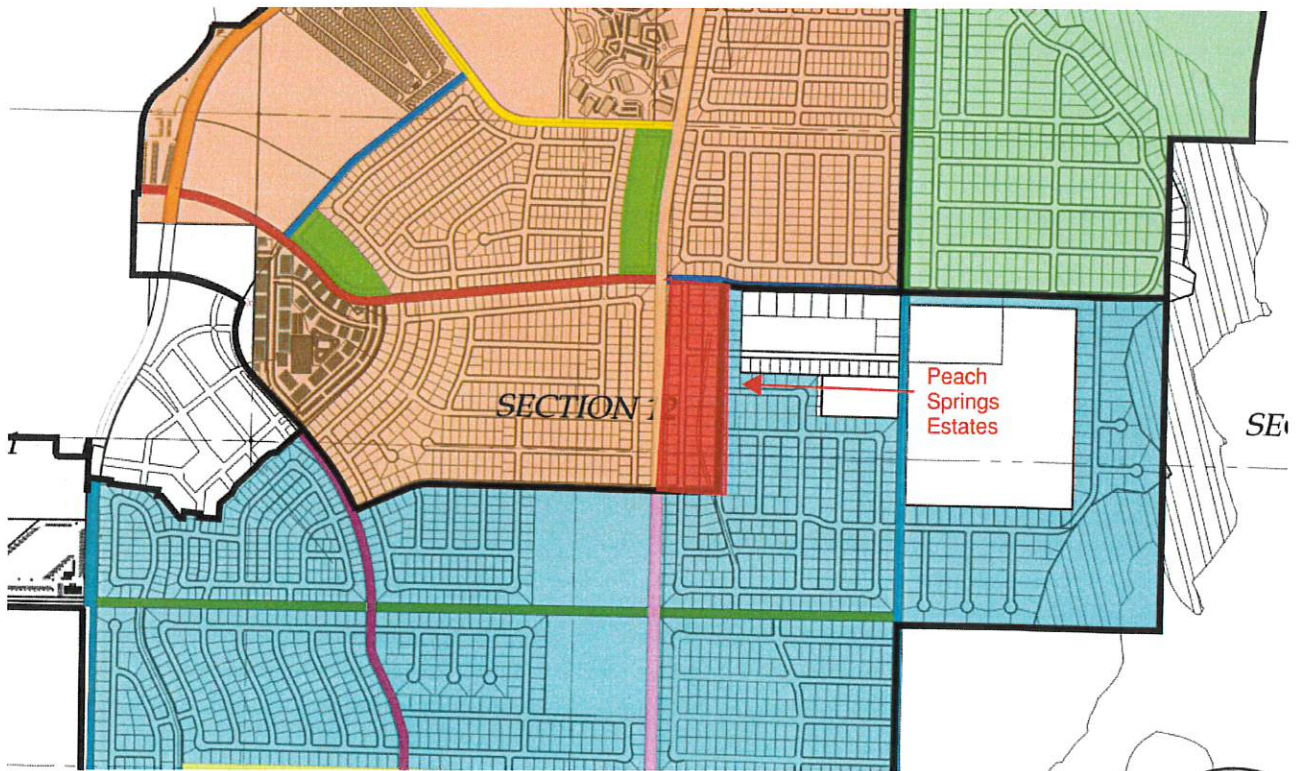
The applicant is seeking preliminary plat approval for Peach Springs Estates, a 64 lot subdivision within the Gateway to Sand Hollow PID. This preliminary plat initially received approval in November of 2021, however that approval has since expired. This property is currently isolated from any dedicated city right-of-way, however the PID in the area is working, as it has been for the past two years, to bring utilities to this site.

JUC Comments

The following items will need to be addressed:

1. **Public Works:** Since this project is bounded by roads to be constructed by the Gateway PID and the project is dependent on utilities provided by the PID, it should be required that the developer submit an agreement between them and the PID stating what items are to be delivered by the PID and what the time frame for delivery is. Development of this project is dependent on the Gateway PID and the required improvements are not yet installed. There is currently no improved access to the subject property.
2. **Power:** Dixie Power area. Previous redlines have not been addressed.
3. **Sewer:** Ash Creek takes no exception to the preliminary plat for Peach Springs Estates Phase 1.
4. **Streets:** Access to the property is from Bash Parkway. This roadway is a PID road and is not currently a finished paved access. They are working on it and paving should be in the next couple of months.

5. **Water:** No comment.
6. **Engineer:**
7. **Fire:** Good with the design as is.
8. **Cable/Phone:** No concerns.
9. **Fiber:** Add Infowest notes.
10. **Gas:** Would want to see the main infrastructure before they can move forward.
11. **GIS:** Good.
12. **Water Conservancy District:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.





Location is approximate

Staff Comments: Preliminary Plat

1. Zoning is R1-10. Phase 1 consists of 30 lots with an average lot size of 12,193 sq ft. All lots meet R1-10 standards.
2. The plat shows the future roadways and utilities in the area, but currently, some of these services do not exist.
3. The City has received a letter from both the local sanitary sewer provider and culinary water provider indicating service availability.
4. The applicant has listed a phasing line between east and west with the east side being phase 1.
5. Subdivision improvement plans (construction drawings) have only been submitted for phase 1. Per HCC 10-39-8 (updated February 2024) complete subdivision improvement plans are required as part of a complete preliminary plat application. Thus this application is only complete for phase 1 and only phase 1 can be considered.
 - a. Specific comments on the subdivision improvement plans have been forwarded to the applicant.
6. The applicant has noted that the property isn't located in a desert tortoise take area.
7. Utilities: The property is isolated but has services planned for the area. The PID has submitted plans to bring services to the site and there are existing unpaved roadways to the site. Hurricane City Code states the following:

10-37-4: ADEQUATE PUBLIC FACILITIES:

Land shall be developed only where existing infrastructure is in place or will be timely provided to service proposed development. The city may require an analysis to be completed to determine whether adequate public facilities are available to service a development and whether such development will change existing levels of service or will create a demand which exceeds acceptable levels of service for roadways, intersections, bridges, storm drainage facilities, water lines, water pressure, sewer lines, fire and emergency response times, and other similar public services. The city may disapprove a proposed development if demand for public services exceeds

accepted levels of service. No subsequent approval of such development shall be given until either the developer or the city installs improvements calculated to raise service levels to the standard adopted by the City. (Ord. 03-5-1, 5-1-2003, eff. 6-1-2003)

- a. There is currently a gravel access and some utilities stubbed to the site but these are not complete nor dedicated to the City at this time. A timeline or other agreement for when utilities and legal access will be available to this site has not been made available to staff.

8. Water use: The Washington County Water Conservancy District has a county-wide tracking budget of approximately 75,000 units with approximately 25,000 units being located within Hurricane City. As part of the Gateway to Sand Hollow Public Infrastructure District this development and its 64 units are already accounted for within Hurricane City's tracking data.

Recommendation: Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff would recommend approval of the preliminary plat application for Phase 1 only subject to staff and JUC comments and on condition of dedicated public access and provision of utilities by the project proponent to the site.

PARKS DEPARTMENT NOTES:

ANY LANDSCAPING, INCLUDING STREET LANDSCAPE STRIPS AND/OR MEDANS AND ASSOCIATED IRRIGATION, SHALL BE INSTALLED BY DEVELOPER/OWNER(S) AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT TO MAINTAIN.

THIS SMALL SILVER OF H-4-2-12-1208-GS1 WILL BE EVENTUALLY OWNED BY PEACH PIT LLC

PRELIMINARY PLAT COVER SHEET FOR: PEACH SPRING ESTATES

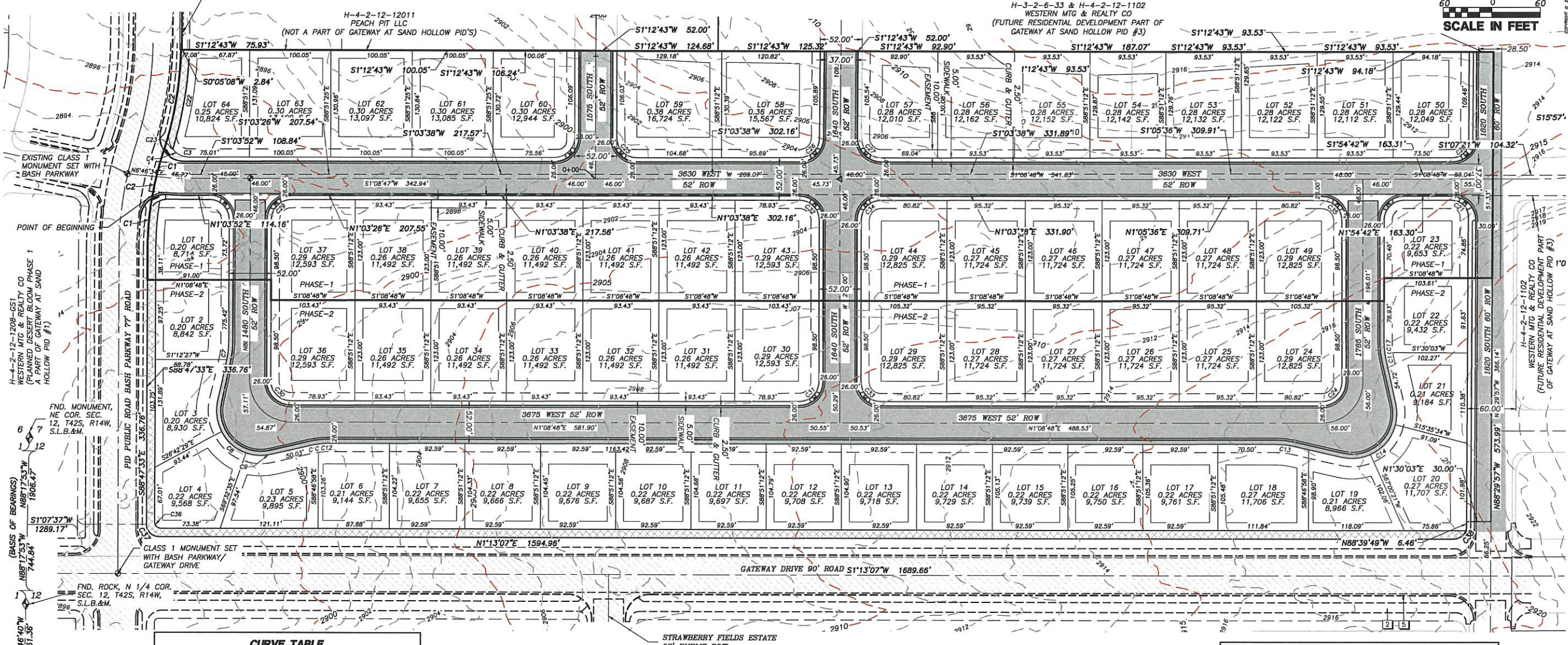
LOCATED IN SECTION 12, T42S, R14W, SLB&M
WASHINGTON COUNTY, UTAH

OWNER

CURRENT OWNER: WESTERN MORTGAGE REALTY COMPANY
TO BE PURCHASED AND DEVELOPED BY:
SMOOTH STONE CONSTRUCTION LLC
ATTN: MATT LOWE
5926 FASHION POINT DR. OGDEN, UT 84403



60 0 60
SCALE IN FEET



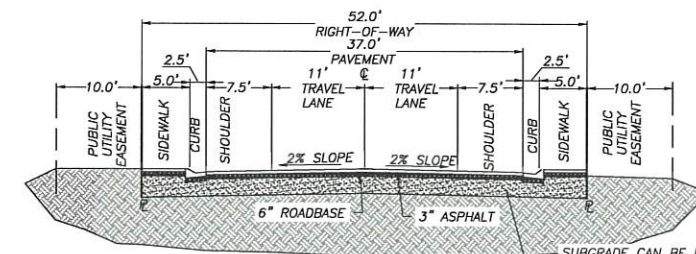
CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	125.00'	380.24'	124.44'	S79°22'29"E	18°50'07"
C2	122.53'	437.54'	122.13'	S79°19'20"E	16°02'45"
C3	22.94'	25.00'	22.15'	S27°20'49"W	52°34'58"
C4	22.94'	25.00'	22.15'	S27°20'49"W	52°34'58"
C7	23.28'	105.00'	23.23'	S82°30'10"E	12°42'04"
C8	110.84'	55.00'	93.01'	S46°08'58"W	115°28'15"
C9	110.84'	55.00'	93.01'	S46°08'58"W	115°28'15"
C10	23.39'	105.00'	23.34'	S5°14'07"E	12°45'49"
C11	23.39'	105.00'	23.34'	S5°14'07"E	12°45'49"
C12	23.39'	105.00'	23.34'	S5°14'07"E	12°45'49"
C13	23.27'	105.00'	23.22'	S7°29'41"W	12°41'48"
C14	110.84'	55.00'	93.01'	S43°53'21"E	115°27'53"
C15	21.17'	95.00'	21.13'	N84°45'45"E	12°46'05"
C16	21.17'	95.00'	21.13'	S84°45'45"W	12°46'05"
C17	21.17'	95.00'	21.13'	N84°45'45"E	12°46'05"
C21	13.86'	20.00'	13.58'	S46°11'12"W	39°42'15"
C22	123.41'	445.00'	123.02'	N79°32'02"W	15°53'24"
C23	22.94'	25.00'	22.15'	S27°20'49"W	52°34'58"
C24	38.48'	24.50'	34.65'	S43°51'12"E	90°00'00"
C25	38.48'	24.50'	34.65'	S46°08'48"W	90°00'00"
C26	38.34'	24.50'	34.55'	S43°40'59"E	89°39'33"
C27	38.63'	24.50'	34.75'	N46°19'04"E	90°20'27"

LEGAL DESCRIPTION

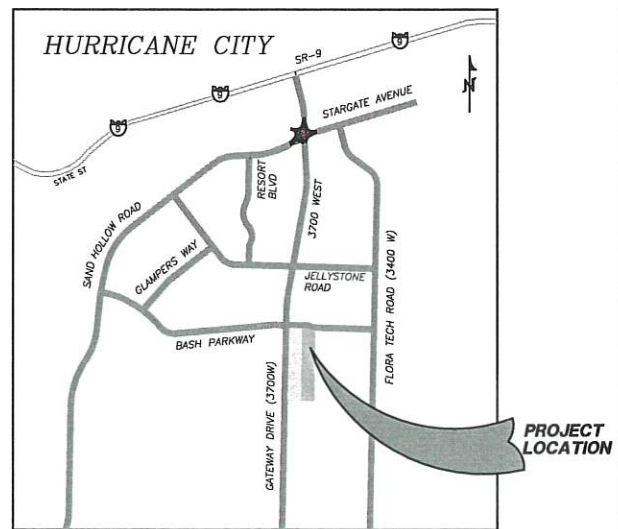
COMMENCING AT THE NORTHEAST CORNER SECTION 12, T42S, R14W, SLB&M; THENCE S88°46'40"E 3400.59 FEET; THENCE S01°07'24"W 1295.40 FEET TO THE POINT OF BEGINNING; THENCE S88°47'33"E 332.26 FEET; THENCE EASTERLY ALONG THE ARC OF A 380.24 FOOT RADIUS CURVE TO THE RIGHT (LONG CHORD BEARS: S79°42'52"E 119.99 FEET), CENTER POINT LIES S01°12'27"W THROUGH A CENTRAL ANGLE OF 18°09'23" A DISTANCE OF 120.49 FEET; THENCE EASTERLY ALONG THE ARC OF A 435.00 FOOT RADIUS REVERSE CURVE TO THE LEFT (LONG CHORD BEARS: S79°00'30"E 126.67 FEET), CENTER POINT LIES N19°21'50"E THROUGH A CENTRAL ANGLE OF 16°44'39" A DISTANCE OF 127.12 FEET; THENCE S01°12'47"W 1617.47 FEET; THENCE N88°29'57"W 573.99 FEET; THENCE N01°30'03"E 30.00 FEET; THENCE N88°29'57"W 0.50 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 21.00 FOOT RADIUS CURVE TO THE RIGHT (LONG CHORD BEARS: N43°38'25"W 29.63 FEET), CENTER POINT LIES N01°30'03"E THROUGH A CENTRAL ANGLE OF 89°43'04" A DISTANCE OF 32.88 FEET; THENCE N01°13'07"E 1584.49 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 19.50 FOOT RADIUS CURVE TO THE RIGHT (LONG CHORD BEARS: N46°12'47"E 27.57 FEET), CENTER POINT LIES S88°46'53"E THROUGH A CENTRAL ANGLE OF 89°59'20" A DISTANCE OF 30.63 FEET TO THE POINT OF BEGINNING.

AREA: 980,169 SQUARE FEET OR 22.502 ACRES



52' RIGHT-OF-WAY
N.T.S.

SUBGRADE CAN BE FILLED WITH ON-SITE SILTY SAND, FREE OF ORGANICS, DEBRIS AND MATERIAL GREATER THAN 4 INCHES IN SIZE, IS SUITABLE FOR USE AS STRUCTURAL FILL. ONSITE SANDSTONE BEDROCK AND CALICHE ARE ALSO SUITABLE FOR USE AS STRUCTURAL FILL.



VICINITY MAP
N.T.S.

NO.	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 800 West, Suite 101
Hurricane City, Utah 84403
Phone: (435) 648-0307

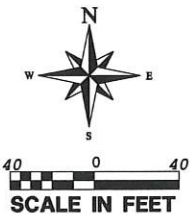


PRELIMINARY PLAT FOR:
PEACH SPRING ESTATES
LOCATED IN SECTION 12, T42S, R14W, SLB&M
SAND HOLLOW ROAD, HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 02/13/2024
SCALE: 1"=60'
JOB NO.
642-001
SHEET NO.
1 OF 4

PRELIMINARY PLAT FOR:
PEACH SPRING ESTATES

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
SAND HOLLOW ROAD, HURRICANE, WASHINGTON COUNTY, UTAH



LEGEND

OUTER PROPERTY LINE	EXISTING 24" SEWER LINE	NEW SEWER CLEANOUT AND LATERAL PER CITY STANDARDS
PROPERTY LINE	PROPOSED 8" SEWER LINE	NEW WATER METER PER HURRICANE CITY STANDARDS
CENTER LINE	PROPOSED 24" SEWER LINE	NEW IRRIGATION METER PER HURRICANE CITY STANDARDS
SECTION LINE	EXISTING 8" SEWER LINE	NEW FIRE HYDRANT PER HURRICANE CITY STANDARDS
PHASE LINE	FUTURE ROW LINE	NEW PHASING/GATE VALVE PER HURRICANE CITY STANDARDS
PROPOSED 10' PUBLIC UTILITY EASEMENT	PROPOSED CURB AND GUTTER	NEW 3-WAY VALVE PER HURRICANE CITY STANDARDS
EXISTING SEWER EASEMENT	FUTURE CURB AND GUTTER INSTALLED WITH PID ROADS	PROPOSED SD BOX
EXISTING MINOR CONTOUR	PROPOSED PAVEMENT	EXISTING 8" SEWER LINE
EXISTING MAJOR CONTOUR	PROPOSED REROUTED 24" SEWER MANHOLE	PROPOSED 8" WATER LINE
PROPOSED 36" SD PIPE	EXISTING 24" SEWER MANHOLE	PROPOSED IRRIGATION LINE
PROPOSED 42" SD PIPE		

GEOLOGICAL HAZARDS

FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	H2 - HIGH2-SIMILAR IN TEXTURE TO HIGH CATEGORY, NO GROUND-WATER INFORMATION
FLOODING	ZONE X-AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	CA - CALICHE
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-LOW SUSCEPTIBILITY TO EXPANSION
GYPSEFEROUS SOIL & ROCK	NONE
PIPING & EROSION	P&ES-SOILS SUSCEPTIBLE TO PIPING AND EROSION
SHALLOW BEDROCK	BRB-BURIED: AREAS WHERE DEPTH TO BEDROCK IS GENERALLY <10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSH-HIGH: MODERN SAND-DUNE OR SHEET-SAND DEPOSITS
SHALLOW GROUND WATER	NONE

SITE DATA

NUMBER OF PHASES	2
NUMBER OF LOTS IN PHASE 1	30
NUMBER OF LOTS IN PHASE 2	34
TOTAL NUMBER OF LOTS	64

GEOLOGICAL NARRATIVE

THIS PARCEL OF LAND LIES INSIDE AN ALLUVIAL AND EOLIAN DEPOSITS (HOLOCENE TO UPPER PLEISTOCENE) SHOWN WITH A Qae. IT ALSO LIES INSIDE A EOLIAN SAND DEPOSITS (HOLOCENE TO UPPER PLEISTOCENE) SHOWN WITH A Qeo. THIS AREA ALSO HAS MODERATELY SORTED GRAVEL, SAND, AND SILT DEPOSITED IN SMALL CHANNELS AND ON ALLUVIAL FLATS, AND WELL-SORTED, FINE- TO MEDIUM-GRAINED, REDDISH-BROWN EOLIAN SAND LOCALLY REWORKED BY ALLUVIAL PROCESSES IN THE Qae AREA. THIS AREA ALSO HAS WELL SORTED, FINE- TO MEDIUM-GRAINED, WELL-ROUNDED, FROSTED QUARTZ SAND IN THE Qeo AREA.

TODO:

THE SOIL TEXTURE IS A SANDY LOAM AND GENERATES PERCOLATION RESULTS FROM 12 MINUTES PER INCH TO 30 MINUTES PER INCH. THE SOIL STRUCTURE IS MASSIVE. THE CLAY IS COLLAPSIBLE AND CAN EXTEND TO DEPTHS BEYOND 50 FEET. THE USDA HAS THIS LAND DESIGNATED AS JUNCTION FINE SANDY LOAM AS WELL AS ROCK OUTCROP.

ADDITIONAL NOTES

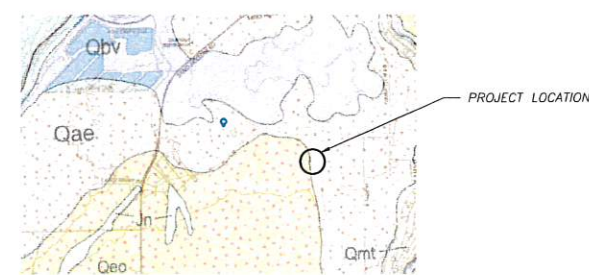
STORM WATER CAN BE LOCALLY DETAINED AND CONTROLLED USING DETENTION BASINS. WATER WILL BE COLLECTED AND DELIVERED TO THE PROPOSED STORM PIPE ON GATEWAY DRIVE, AND WILL FLOW ALONG SAID ROAD AND BASH PARKWAY TO THE REGIONAL DETENTION BASIN AT THE PROPOSED PARK.

THERE ARE NO EXISTING HURRICANE CANAL COMPANY/DRAINAGE/IRRIGATION FACILITIES.

CURRENTLY AWAITING WILL SERVE LETTERS TO SPECIFY THAT THIS PROPERTY CAN BE SERVED BY HURRICANE CITY WATER AND AND ASH CREEK SPECIAL SERVICE DISTRICT ONCE UTILITIES ARE INSTALLED IN THE PID ROADS.

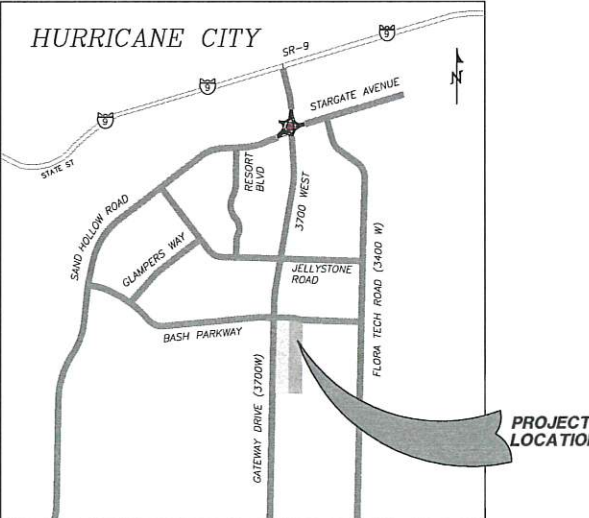
THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.



DESERT TORTOISE TAKE AREA
THE PROJECT IS NOT LOCATED IN A DESERT TORTOISE TAKE AREA. (PER RED CLIFFS DESERT RESERVE TAKE AREA 7 MAP)

OWNER:
CURRENT OWNER: WESTERN MORTGAGE REALTY COMPANY
TO BE PURCHASED AND DEVELOPED BY: MATT LOWE
1330 S 50 W
HURRICANE, UT 84737-2303



VICINITY MAP
N.T.S.

MATCHLINE SEE SHEET 3 OF 4

NO	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: (435) 666-0307



PRELIMINARY PLAT FOR:
PEACH SPRING ESTATES
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.

DATE: 01/13/2024
SCALE: 1"=40'
JOB NO.
642-001
SHEET NO.
2 OF 4

Know what's below.
Call 811 before you dig.

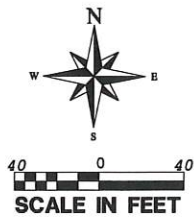
811
Know what's below.
Call 811 before you dig.

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

PRELIMINARY PLAT FOR:
PEACH SPRING ESTATES

LOCATED IN SECTION 12, T42S, R14W, S.L.B.#M.
SAND HOLLOW ROAD, HURRICANE, WASHINGTON COUNTY, UTAH



LEGEND

- OUTER PROPERTY LINE

PROPERTY LINE

CENTER LINE

SECTION LINE

PHASE LINE

PROPOSED 10' PUBLIC UTILITY EASEMENT

EXISTING SEWER EASEMENT

EXISTING MINOR CONTOUR

EXISTING MAJOR CONTOUR

PROPOSED 36" SD PIPE

PROPOSED 42" SD PIPE
- EXISTING 24" SEWER LINE

PROPOSED 8" SEWER LINE

PROPOSED 24" SEWER LINE

EXISTING 8" SEWER LINE

FUTURE ROW LINE

PROPOSED CURB AND GUTTER

FUTURE CURB AND GUTTER INSTALLED WITH PID ROADS

PROPOSED PAVEMENT

PROPOSED REROUTED 24" SEWER MANHOLE

EXISTING 24" SEWER MANHOLE
- NEW SEWER CLEANOUT AND LATERAL PER CITY STANDARDS

NEW WATER METER PER HURRICANE CITY STANDARDS

NEW IRRIGATION METER PER HURRICANE CITY STANDARDS

NEW FIRE HYDRANT PER HURRICANE CITY STANDARDS

NEW PHASING/GATE VALVE PER HURRICANE CITY STANDARDS

NEW 3-WAY VALVE PER HURRICANE CITY STANDARDS

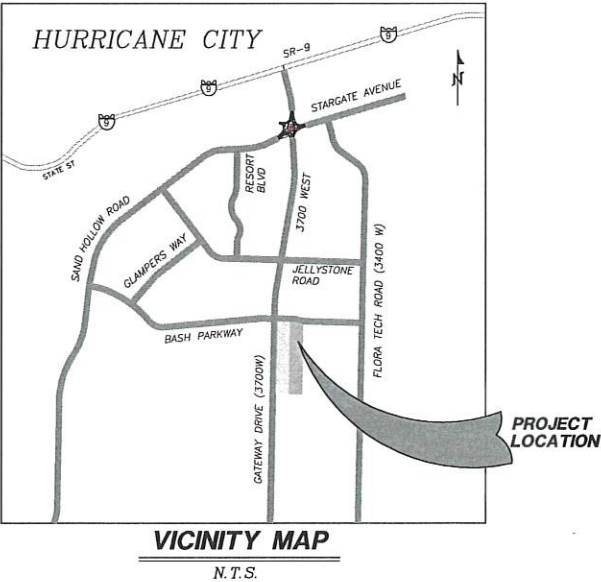
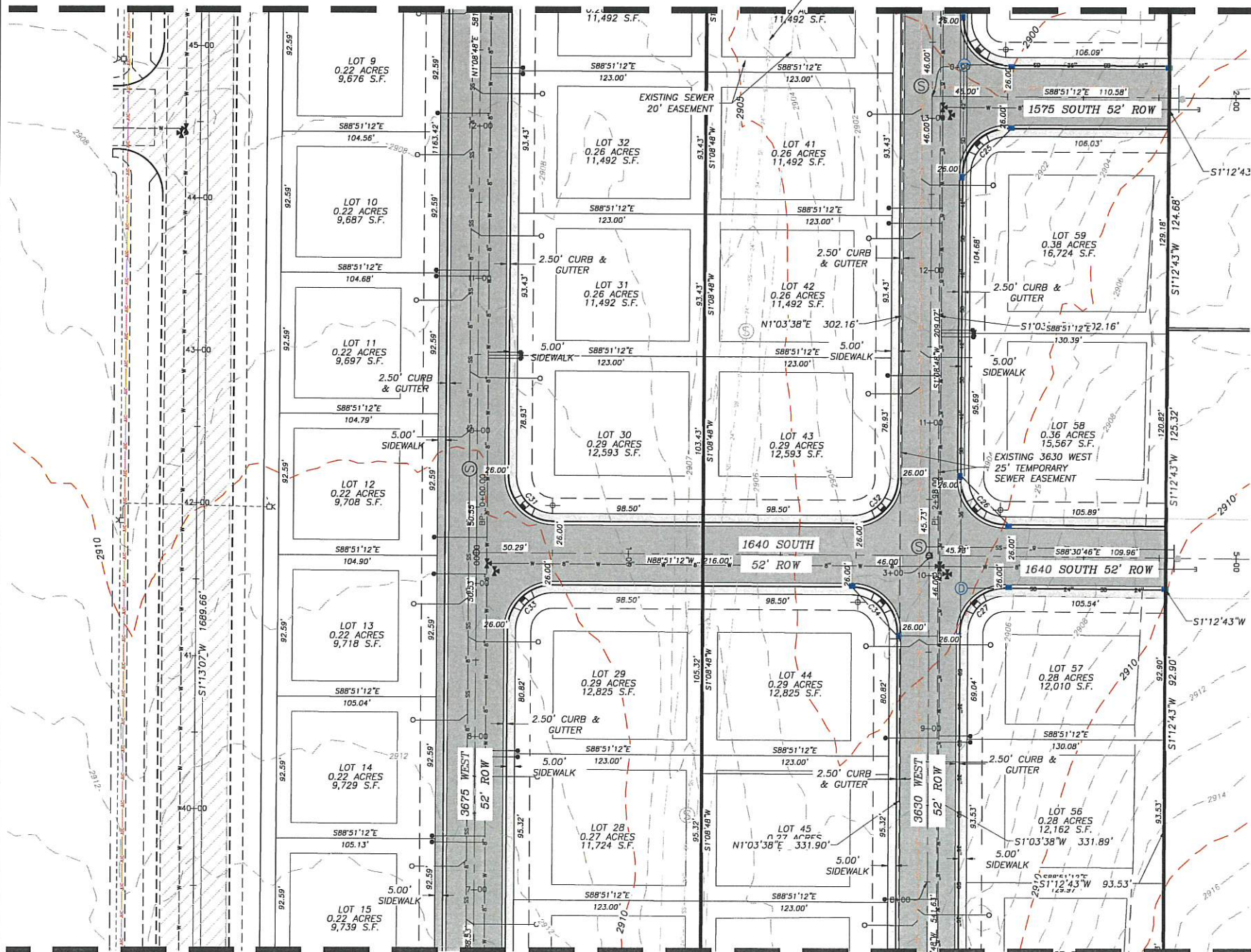
PROPOSED SD BOX

EXISTING 8" SEWER LINE

PROPOSED 8" WATER LINE

PROPOSED IRRIGATION LINE

MATCHLINE SEE SHEET 2 OF 4



MATCHLINE SEE SHEET 4 OF 4

NO	REVISIONS	DATE	BY
	DESCRIPTION		

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
300 South 800 West, Suite 1
Hurricane City, Utah 84737
Phone: (435) 668-8387



PRELIMINARY PLAT FOR:
PEACH SPRING ESTATES
LOCATED IN SECTION 12, T42S, R14W, S.L.B.#M.
SAND HOLLOW ROAD, HURRICANE, WASHINGTON, UTAH

DATE: 02/13/2024
SCALE: 1"=40'
JOB NO.
642-001

SHEET NO.
3 OF 4

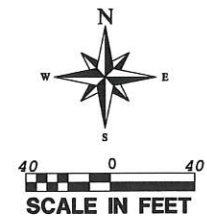
Know what's below.
Call 811 before you dig.

BLUE STAPLES OF UTAH
SURVEYING & ENGINEERING

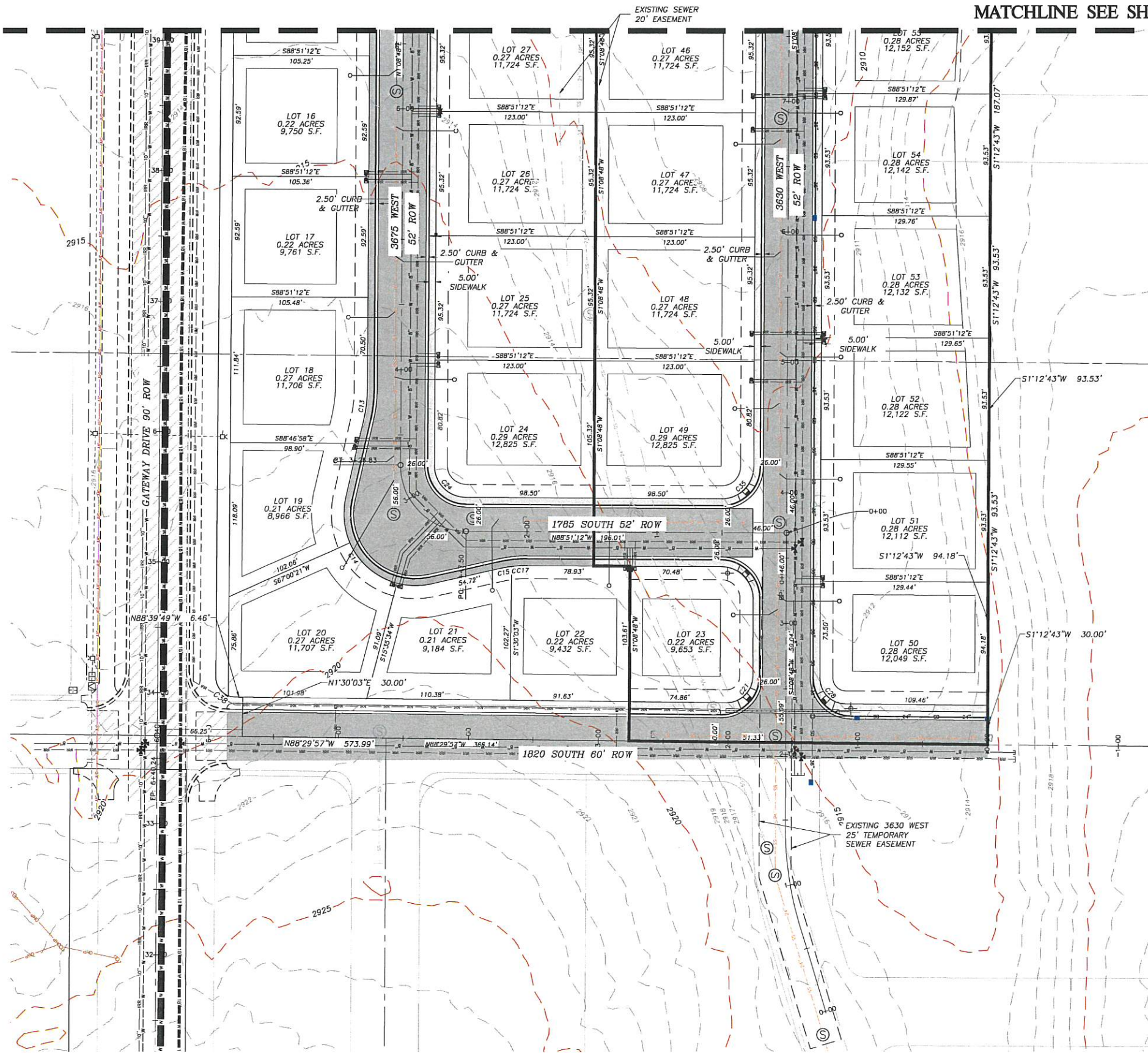
NOTICE!
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PRELIMINARY PLAT FOR:
PEACH SPRING ESTATES

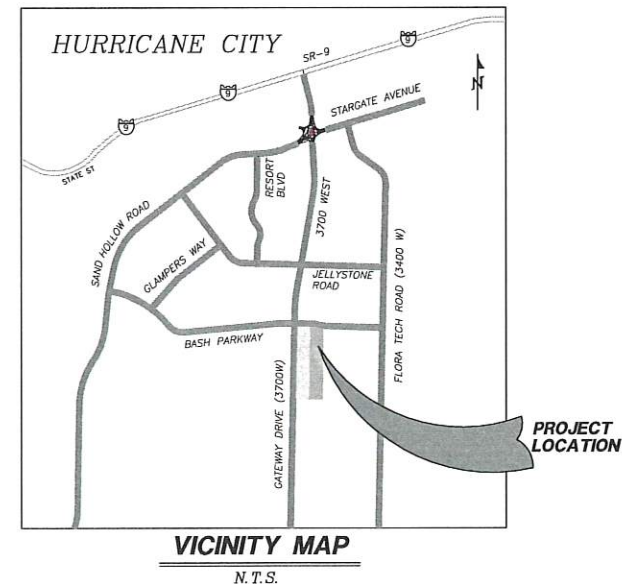
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
SAND HOLLOW ROAD, HURRICANE, WASHINGTON COUNTY, UTAH



MATCHLINE SEE SHEET 3 OF 4



- LEGEND**
- OUTER PROPERTY LINE
 - PROPERTY LINE
 - CENTER LINE
 - SECTION LINE
 - PHASE LINE
 - PROPOSED 10' PUBLIC UTILITY EASEMENT
 - EXISTING SEWER EASEMENT
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - PROPOSED 36" SD PIPE
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 - NEW FIRE HYDRANT PER HURRICANE CITY STANDARDS
 - NEW PHASING/GATE VALVE PER HURRICANE CITY STANDARDS
 - NEW 3-WAY VALVE PER HURRICANE CITY STANDARDS
 - PROPOSED SD BOX



REVISIONS		DATE	BY
NO.	DESCRIPTION		

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
30 South 450 West, Suite 101
Hurricane City, Utah 84737
Phone: (435) 668-8887



PRELIMINARY PLAT FOR:
PEACH SPRING ESTATES
LOCATED IN SECTION 12, T42S, R14W, S.L.B.M
SAND HOLLOW ROAD, HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 02/13/2024
SCALE: 1"=40'
JOB NO:
642-001
SHEET NO:
4 OF 4

**Application**

Application Accepted Date: 02/21/2024
Type of Improvement: Site Plan (Preliminary)
Description: Hurricane City is applying for a 33,500 square foot
Tenant / Project Name: Hurricane City Gymnasium 2
Bldg. Address: 748 North 200 West
City: Hurricane City State: UT Zip: 84737
Subdivision: n/a Phase: TBD
Block: Lot #: n/a Parcel #: H-318-A-1
Property Owner: Hurricane City
Permit Contact: Karl Rasmussen P:(435) 680-0816
Email: karl@pv-eng.com

CONTACT INFORMATION

Engineer of Record: Karl Rasmussen
Email: karl@pv-eng.com P: (435) 680-0816
General Contractor: Hurricane City
License #: TBD P: (435) 635-2811
Address: 147 N 870 W
City: Hurricane State: UT Zip: 84737
Email: tiffani@hurricanerecreation.com

APPLICATION DETAILS

Valuation	\$	0.00
PERMIT FEES		
Sub Total:	\$	0.00
Permit Total:	\$	0.00
Amount Paid:	\$	0.00
Remaining Due:	\$	0.00

APPROVALS	DATE	INFO
Plan Review Finalized: Yes	02/28/24	Fred Resch

Setbacks	Front:	Rear:	Left:	Right:
Min.				
Actual:				

APPLICATION NUMBER: PENDPSP24-04

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

Applicant Name: Karl Rasmussen

Signature of Applicant/Authorized Agent or Owner: Date:

Application Approved By: Fred Resch **Date:** 02/28/2024

Application Issued By: **Date:**

Receipt #:



STAFF COMMENTS

Agenda Date:	03/14/2024
Application Number:	PSP24-04
Type of Application:	Preliminary Site Plan Application
Action Type:	Administrative
Applicant:	Hurricane City
Agent:	Karl Rasmussen
Request:	Approval of a Preliminary Site Plan
Location:	748 N 200 W
Zoning:	PF
General Plan Map:	Recreational Open Space
Recommendation:	Approve subject to staff and JUC comments
Report prepared by:	Fred Resch III/Gary Cupp

Discussion:

Hurricane City is planning to build an additional four court gymnasium building on 200 W as part of the American Legion/Spilsbury park complex. This building will consist of four basketball courts as well as storage and office space for the City Recreation Department. The overall site will include increased parking areas to be shared between the two gym buildings and the existing city pool.

JUC Comments

The following items will need to be addressed:

1. **Public Works:** Need an additional access off 200 W north of new building.
2. **Power:**
3. **Water:** Show irrigation line going south by gymnasium 2 dual structure.
4. **Streets:** Old entrance to be removed. Curb, gutter and sidewalk replaced.
5. **Sewer:**
6. **Engineering:** Hurricane City and the American Legion must discuss and finalize a shared parking agreement before final site plan approval (HCC 10-7-10(d)(3)(e) & HCC 10-34-9(c)(3)). Engineering would suggest gifting a patio/landscape space for the use of the American Legion property. Locate and show all the existing or soon to exist utilities. The irrigation main was relocated for the 1st gymnasium. Parks indicated there should be an existing irrigation system to connect to near the east side of the new building.

7. **Fire:** Approved.
8. **Phone:** No comments.
9. **Cable:** No comments.
10. **Gas:** Add easement for gas installation.
11. **Water Conservancy:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.



Staff Comments: Preliminary Site Plan

1. The proposed uses are permitted in the Public Facility zone

2. Parking Requirement: Per HCC 10-34-10

Recreation and entertainment, indoor:		
Other uses	1 space per 300 square feet of gross floor area	

They are proposing a 35,000 sq ft building, under this standard they are required to provide 116 parking stalls. They are proposing 210 parking stalls for the whole site. The two-gym building required 50 parking stalls. When one takes away the required parking for the two gym buildings that leaves behind 45 parking stalls which was the approximate number of parking stalls on site previously to serve the pool and baseball fields.

The Parks and Recreation Master Plan will include a master plan design for the entire American Legion/Spilsbury Sports Complex which will look at and include sufficient parking for the whole site at buildout. Staff expects this master plan to be completed this summer.

3. Landscape: Hurricane City code requires that a landscape buffer of 10' wide shall front each right-of-way.

Sec. 10-32-6. Required landscaping.

A. General requirement. Landscaped areas may include trees, shrubs, vegetative, organic and inorganic ground cover, and other organic and inorganic materials identified in an approved landscaping plan. All required landscape areas shall be occupied by plant material or ground cover.

B. Landscaping adjacent to a public street. Except for approved driveways and pedestrian walkways, a landscaped area of ten-foot minimum shall be provided adjacent and parallel to the frontage of a public street as follows:

- 1. A ten-foot wide landscaped area on any commercial development.*
- 2. At least one tree and three shrubs shall be planted for every 35 feet of street frontage in a required landscaped area. Such trees and shrubs may be clustered, provided that no tree shall be within five feet of another.*
- 3. The slope of any earth berm shall not exceed a vertical to horizontal ratio of one to two and shall be treated with suitable ground cover to prevent soil erosion.*

C. *Parking strip landscaping. All parking strips shall be landscaped.*

D. *Parking lot landscaping.*

1. *Every parking lot consisting of more than ten spaces and 3,500 square feet of area shall contain internal landscaped areas as follows:*

a. *Multiple-family residential. A minimum of ten percent of total parking lot area.*

b. *Office and commercial. A minimum of seven percent of total parking lot area.*

c. *Industrial and warehouse. A minimum of five percent of total parking lot area.*

2. *For every ten required parking spaces, or portion thereof, a minimum of two shrubs and one deciduous tree shall be provided within the internal parking area. The species of such trees shall be such that at maturity a tree canopy is provided to shade the parking area below each tree.*

3. *Landscaped areas shall contain a minimum of 25 square feet and shall have a minimum average width of at least five feet.*

4. *Landscape islands should be located in the following priority:*

a. *To define major drives and accessways;*

b. *To delineate ends of parking rows;*

c. *At aisle intersections; and*

d. *Within parking rows.*

a. *A full landscaping plan will be required with the final site plan.*

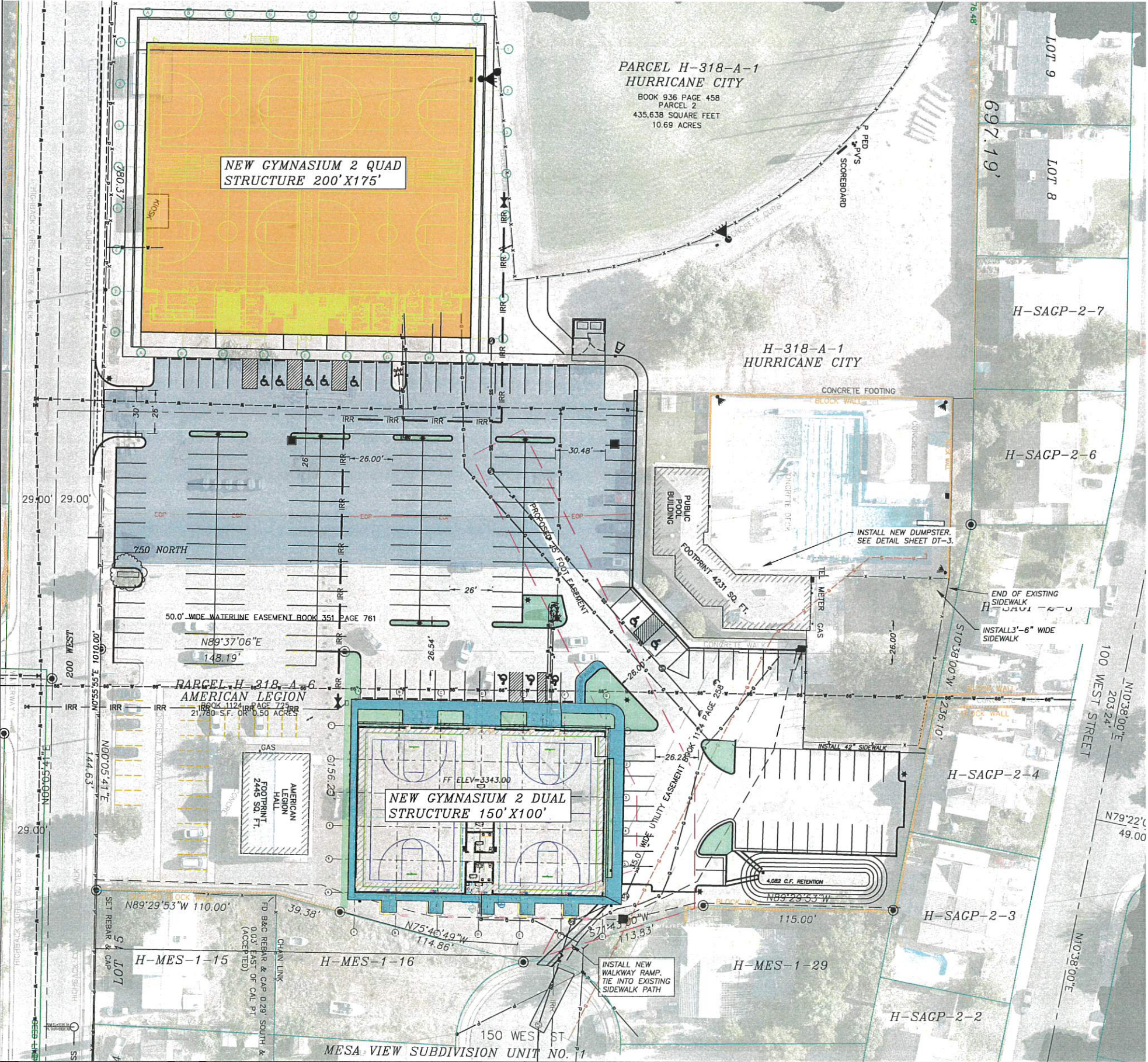
4. *Pedestrian circulation throughout the site should be considered in the design, there will presumably be a large amount of pedestrian cross traffic between the different uses on this property as well as to the neighboring streets and neighborhoods.*

5. *Building plans and elevations have been provided, although not required at this stage. The building height is 34' tall which meets city code.*

6. *A preliminary site plan is not intended to permit actual development of property pursuant to such a plan but shall be prepared merely to represent how the property could be developed. Submittal, review, and approval of an application for a preliminary site plan shall not create any vested rights to development. (Hurricane City Code 10-7-10 (D)(2)(b))*

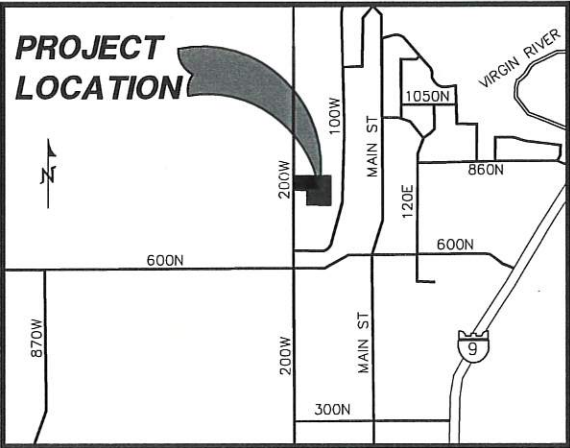
Recommendation: Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff would recommend approval subject to staff and JUC comments.

SITE PLAN FOR:
HURRICANE CITY GYMNASIUM 2
LOCATED AT 748 NORTH 200 WEST, HURRICANE, UTAH



- LEGEND**
- PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING FENCE
 - CENTER LINE
 - EASEMENT LINE
 - EXISTING EASEMENT LINE
 - EXISTING SEWER LINE
 - EXISTING WATERLINE
 - MINOR CONTOUR LINE
 - MAJOR CONTOUR LINE
 - EDGE OF ASPHALT
 - EXISTING PARKING STALLS
 - BLOCK WALL
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING SEWER MANHOLE
 - EXISTING LIGHT POLE
 - EXISTING ASPHALT
 - INSTALL ASPHALT

PARKING DATA:
REGULAR PARKINGS - 200
ADA PARKING - 10
TOTAL PARKINGS PROVIDED - 210



See plan below.
Call 811 before you dig.

NOTICE!

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PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 800 West, Suite 1
Hurricane City, Utah 84737
Phone: (435) 668-8301

REVISIONS

NO	DESCRIPTION	DATE	BY
1	CHANGES TO SITE FOR CHANGES	1/4/24	KBR

SITE PLAN FOR:
HURRICANE CITY GYMNASIUM 2
LOCATED AT 748 NORTH 200 WEST
HURRICANE, UTAH

DATE: 2/20/2024
SCALE: 1"=30'

JOB NO.
10-051

SHEET NO.
C3

HURRICANE CITY 4 COURT REC. BUILDING

748 N 200 W
HURRICANE, UT 84737

JANUARY 16, 2024



DESERT EDGE
architecture

720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790

PRO VALUE
ENGINEERING

20 S 850 W STE 1
HURRICANE, UT 84737
(435) 668-8307
http://www.pv-eng.com

ARW ENGINEERS

1584 PARK CIRCLE
OGDEN, UT 84404
(801) 782-6008
www.arweng.com

VAN BOERUM & FRANK ASSOCIATES, INC.
CONSULTING ENGINEERS
WWW.VBFA.COM

VBFA
230 N 1680 E BLDG. V
ST. GEORGE, UT 84790 435.674-4800 T

HURRICANE CITY 4
COURT REC.
BUILDING

748 N 200 W
HURRICANE, UT 84737

STAMP

NOT FOR
CONSTRUCTION

ISSUE TYPE:	DATE:
NOT FOR CONSTRUCTION	2024-01-23
PROJECT NUMBER:	24-020
DRAWN BY:	Author
CHECKED BY:	Checker

COVER SHEET

GI000

ABBREVIATIONS

A ADJ AFF AL A.B. & L @ B BLKG BLDG C CAB CLG CL C COL CONC CONT CMP D DIA DBL E EA ELEC ELEV	ADJUSTABLE ABOVE FINISH FLOOR ALUMINUM ANCHOR BOLT AND ANGLE AT BLOCKING BUILDING CABINET CEILING CENTER LINE CHANNEL COLUMN CONCRETE CONTINUOUS CORRUGATED METAL PIPE DIAMETER DOUBLE EACH ELECTRICAL ELEVATION	F FEC FD FF FTG FDN FS GI GA GYP BD H HOR HM HR I IBC ID INSUL J JST L LAV	FIRE EXTINGUISHER CAB FLOOR DRAIN FINISH FLOOR FOUNDING FOUNDATION FINISH GALVANIZED IRON GAUGE GYPSUM BOARD HORIZONTAL HOLLOW METAL HOUR INTERNATIONAL BUILDING CODE INSIDE DIAMETER INSULATION JOIST LAVATORY	M MATL MAX MECH MIN MISC N NOM NIC NO # O/C O.C. OPNG OD OH O.P.C.I P PLYWD PLF PSF PSI	MATERIAL MAXIMUM MECHANICAL MINIMUM MISCELLANEOUS NOMINAL NOT IN CONTRACT NUMBER NUMBER ON CENTER ON CENTER OPENING OUTSIDE DIAMETER OVERHEAD OWNER PROVIDED, CONTRACTOR INSTALLED PLYWOOD POUNDS PER LINEAL FOOT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	R REINF REQ'D S SHT SHTG SIM SGL SC SPEC SQ STD STG I TYP T.O.B. U U.N.O. V VER W W/ WD	REINFORCEMENT REQUIRED SHEET SHEATHING SIMILAR SINGLE SOLID CORE SPECIFICATION SQUARE STAINLESS STEEL STANDARD STORAGE TYPICAL TOP OF BEAM UNLESS NOTED OTHERWISE VERTICAL WITH WOOD
--	---	--	---	---	--	--	---

DEFERRED SUBMITTALS

DESCRIPTION
-FIRE SPRINKLERS

PROJECT NOTES

OCCUPANCY OF THIS PROJECT IS PROHIBITED UNTIL A FINAL INSPECTION IS CONDUCTED BY THE STATE FIRE MARSHALS OFFICE. A MINIMUM THREE DAY NOTICE SHALL BE GIVEN FOR INSPECTION

ON-SITE INSPECTIONS AND EVALUATIONS DURING THE COURSE OF CONSTRUCTION THAT ARE RELATED TO FIRE PROTECTION, SAFETY OR LIFE SAFETY CONCERNS AS DEFINED IN ADOPTED FIRE CODES AND STANDARDS ARE TO BE ADMINISTERED BY DEPUTY STATE FIRE MARSHALL. A FIRE CLEARANCE REQUIRED BY THE ADOPTED FIRE CODE IS TO BE ADMINISTERED BY DEPUTY STATE FIRE MARSHALL.

ARCHITECT

DESERT EDGE ARCHITECTURE
720 S RIVER RD.
ST. GEORGE, UTAH 84790
(435) 673-7362
WWW.DEA.COM
scott@desertedge.co

CIVIL

PRO VALUE ENGINEERING
20 S 850 W STE 1
HURRICANE, UTAH 84737
(435) 668-8307
WWW.PV-ENG.COM

STRUCTURAL

ARW ENGINEERS
1584 PARK CIRCLE
OGDEN, UTAH 84404
(801) 782-6008
Contact: Zach Hansen
Email: zachh@arwengineers.com

MECHANICAL

VAN BOERUM & FRANK ASSOCIATES
230 N 1680 E, BLDG V
ST. GEORGE, UTAH 84790
(435) 647-4800
Contact: Brian Oswald
Email: boswald@vbfa.com

ELECTRICAL

VAN BOERUM & FRANK ASSOCIATES
230 N 1680 E, BLDG V
ST. GEORGE, UTAH 84790
(435) 647-4800
Contact: Brian Oswald
Email: boswald@vbfa.com

DRAWING INDEX

CI001	CODE ANALYSIS
GI000	COVER SHEET
GI00X	SYMBOLS AND LEGENDS
GI001	SHEET INDEX
GI003	SIGNAGE
GI004	ACCESSIBILITY COMPLIANCE
GI005	ACCESSIBILITY COMPLIANCE
AE001	SLAB PLAN
AE101	MAIN LEVEL FLOOR PLAN
AE102	UPPER LEVEL FLOOR PLAN
AE131	MAIN FLOOR DIMENSION PLAN
AE132	UPPER LEVEL DIMENSION PLAN
AE151	MAIN FLOOR FINISH PLAN
AE171	MAIN FLOOR REFLECTED CEILING PLAN
AE191	ROOF PLAN
AE201	EXTERIOR ELEVATIONS
AE202	EXTERIOR ELEVATIONS
AE301	BUILDING SECTIONS
AE401	ENLARGED PLANS AND ELEVATIONS
AE430	STAIR PLANS AND SECTIONS
AE501	CONSTRUCTION DETAILS
AE601	DOOR TYPES AND SCHEDULE
AE610	WINDOW TYPES

SYMBOLS LEGEND

	INTERIOR ELEVATION		KEYNOTE		CENTER LINE		CONCRETE		FINISH GRADE WOOD
	BUILDING ELEVATION		DOOR TAG		GRID		MASONRY		PLYWOOD
	BUILDING SECTION		WALL TYPE		NORTH ARROW		STEEL		DEMOLITION
	WALL SECTION		ROOM TAG		GLASS TYPE		BATT INSULATION		RIGID INSULATION
			ELEVATION MARKER		CEILING TYPE				
			WINDOW TYPE						

HURRICANE CITY 4
COURT REC.
BUILDING

748 N 200 W
HURRICANE, UT 84737

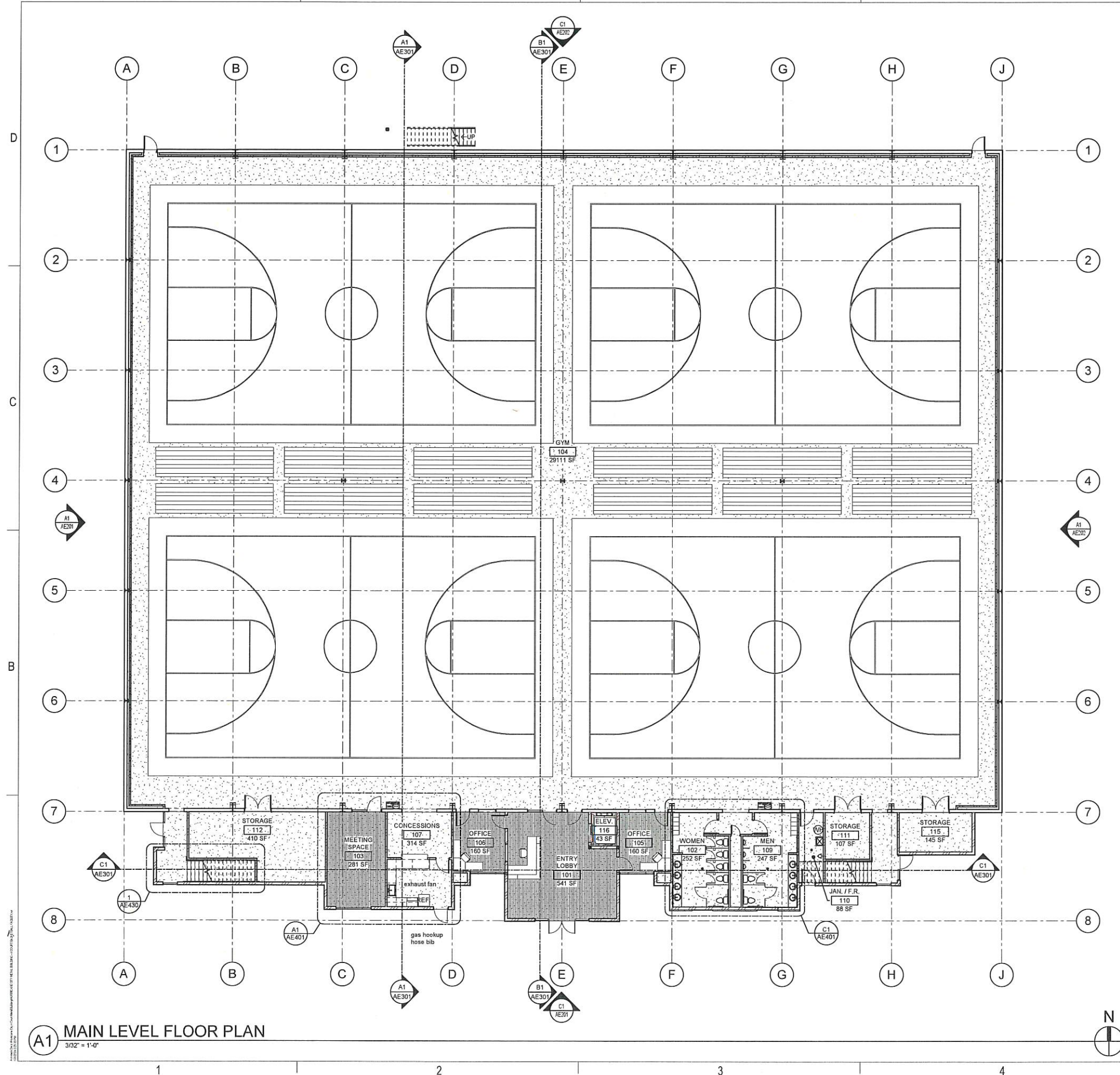
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NOT FOR
CONSTRUCTION

ISSUE TYPE:	DATE:
NOT FOR CONSTRUCTION	2024-01-23
△	
PROJECT NUMBER:	24-000
DRAWN BY:	Author
CHECKED BY:	Checker

MAIN LEVEL FLOOR
PLAN

AE101





DESERT EDGE
architecture

720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



PRO VALUE
ENGINEERING

20 S 850 STE 1
Hurricane, UT 84737
435.668.8307
http://www.pv-eng.com



ARW ENGINEERS

1000 W. MAIN STREET SUITE 100
ST. GEORGE, UT 84790



VAN BOERUM
& FRANK ASSOCIATES, INC.
CONSULTING ENGINEERS
WWW.VBFA.COM

230 N 1600 E BLDG. V
ST. GEORGE, UT 84770 435.674-4800 T

HURRICANE CITY 4
COURT REC.
BUILDING

748 N 200 W
HURRICANE, UT 84737

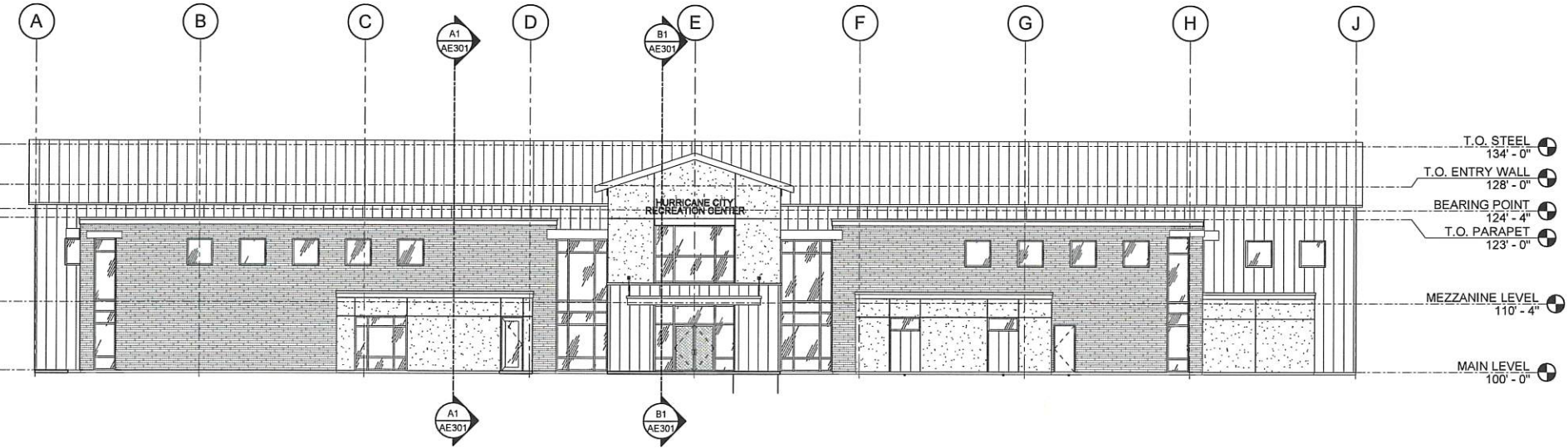
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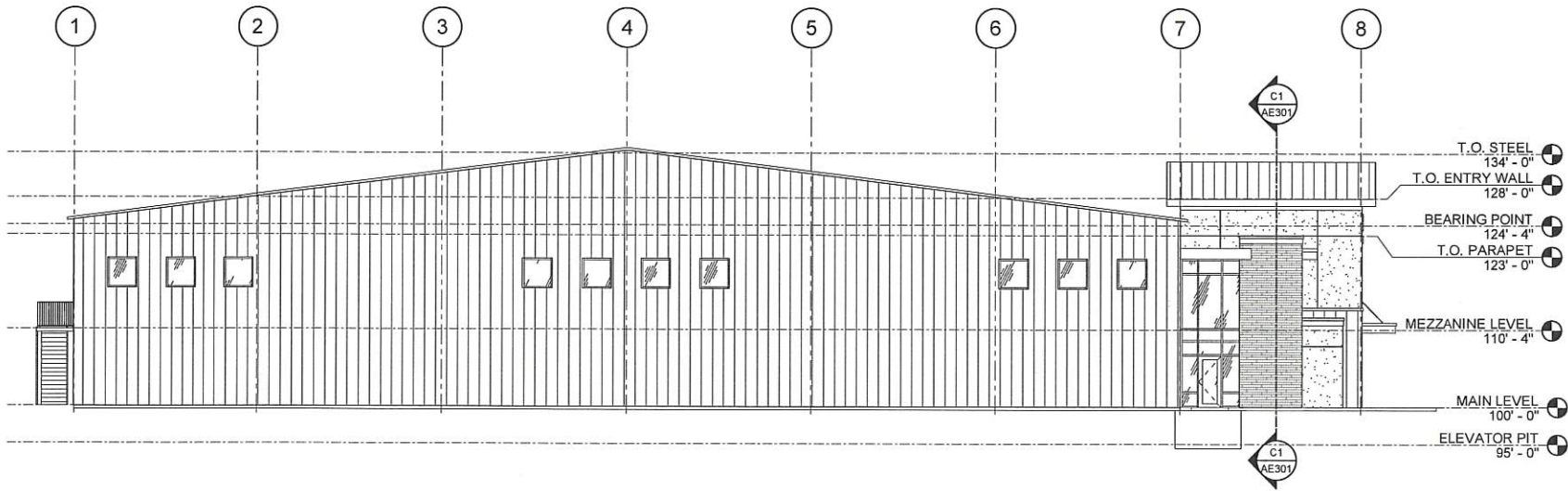
ISSUE TYPE:	DATE:
NOT FOR CONSTRUCTION	2024-01-23
PROJECT NUMBER:	24-000
DRAWN BY:	Author
CHECKED BY:	Checker

EXTERIOR
ELEVATIONS

AE201



C1 SOUTH ELEVATION
3/32" = 1'-0"



A1 WEST ELEVATION
3/32" = 1'-0"

**Application**

Application Accepted Date: 02/19/2024		Valuation		\$	0.00					
Type of Improvement: Site Plan (Final)		PERMIT FEES								
Description: 3 multi tenant retail pads with drive-thru's		Planning Fee		\$	250.00					
Tenant / Project Name: Hurricane Retail Pads		Sub Total:		\$	250.00					
Bldg. Address: 3400 W 900 N		Permit Total:		\$	250.00					
City: Hurricane City State: UT Zip: 84737		Amount Paid:		\$	0.00					
Subdivision: Hurricane Wal-Mart Phase: 1		Remaining Due:		\$	250.00					
Block: Lot #: Lots 4 and 5 Parcel #: H-Walm-4, H-Walm-5										
Zone: HC										
Property Owner: Chasebrook Hurricane LLC										
Permit Contact: Jay Larsen P:(801) 364-2602										
Email: jay@chasebrookco.com										
CONTACT INFORMATION										
Engineer of Record: McNeil Engineering Robert J. Poirier										
Email: ted@mcneileng.com P: (801) 255-7700										
General Contractor: Chasebrook Hurricane LLC										
License #: P: (801) 364-2602										
Address: 154 East Myrtle Ave. Suite 303										
City: MURRAY State: UT Zip: 84107										
Email: Jay@chasebrookco.com										
APPLICATION DETAILS										
						APPROVALS		DATE	INFO	
						Plan Review Finalized:		Yes	02/28/24	Fred Resch
Setbacks		Front:	Rear:	Left:	Right:					
Min.										
Actual:										
APPLICATION NUMBER: PENDFSP24-25										
<small>This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.</small>										
Applicant Name: Jay Larsen										
Signature of Applicant/Authorized Agent or Owner: Date:										
Jay Larsen			03/01/2024							
Application Approved By:			Date:							
Fred Resch			02/28/2024							
Application Issued By:			Date:							
Receipt #: 8.176613-02/19/24										



STAFF COMMENTS

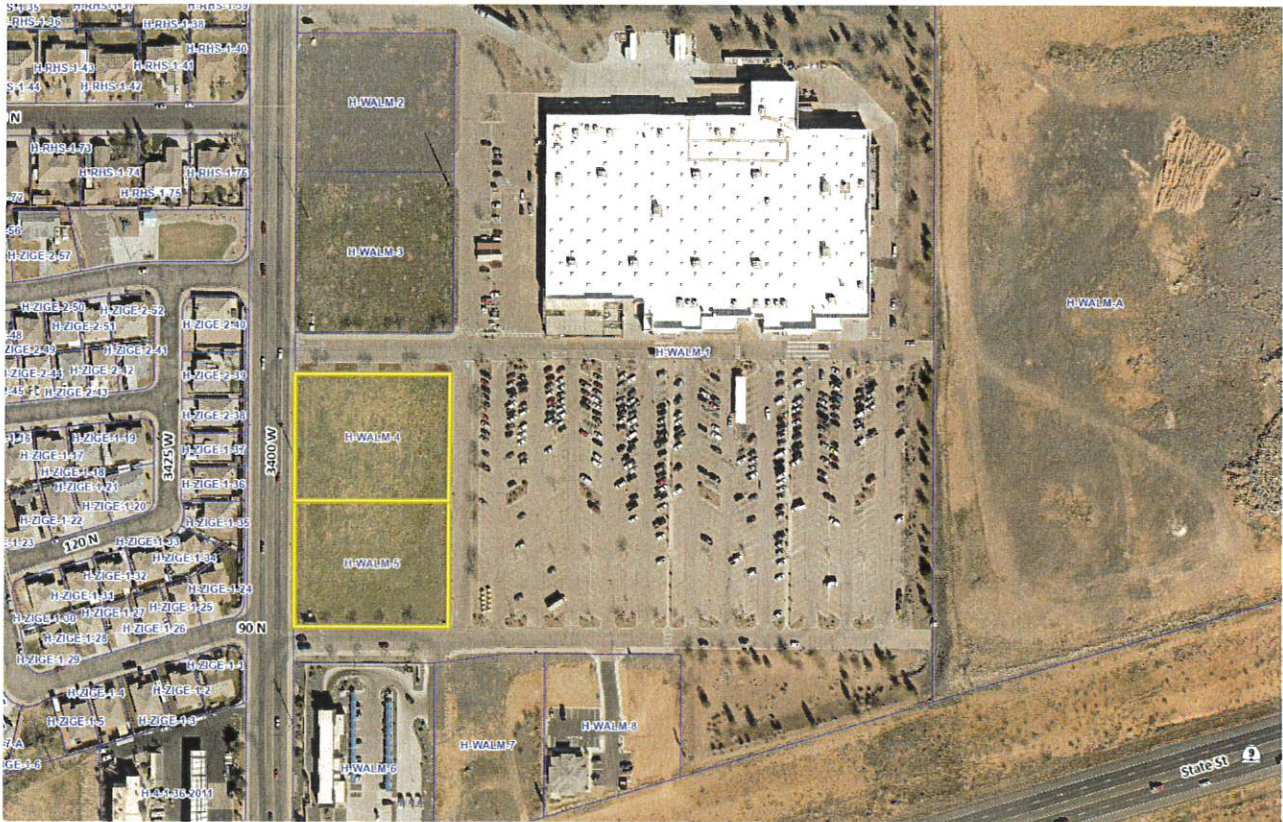
Agenda Date:	03/14/2024
Application Number:	FSP24-25
Type of Application:	Final Site Plan Application
Action Type:	Administrative
Applicant:	Chasebrook Hurricane LLC
Agent:	Jay Larsen
Request:	Approval of a Final Site Plan
Location:	90 N 3400 W
Zoning:	HC
General Plan Map:	General Commercial
Recommendation:	Approve subject to staff and JUC comments
Report Prepared by:	Fred Resch III/Gary Cupp

Discussion:

The applicant has filed a final site plan for three new retail buildings with drive throughs. This is located on Lots 4 and 5 of the Walmart subdivision; an amended final plat to split the two lots into three was approved last year.

JUC Comments

Construction drawings were signed in February 2024.



Staff Comments: Final Site Plan

1. The proposed uses are permitted in the Highway Commercial zone.
2. Parking: The applicant is proposing 129 parking stalls. Retail use requires one space per 250 sq ft while restaurant use requires one space per 100 sq ft. The number of required parking stalls depends on the use but this equates to one space for every 111 square foot of building which will almost certainly comply with our parking standards.
3. Landscape: Hurricane City code requires that a landscape buffer of 10' wide shall front each right-of-way.

Sec. 10-32-5. Required landscaping.

A. General requirement. Landscaped areas may include trees, shrubs, vegetative, organic and inorganic ground cover and other organic and inorganic materials identified in an approved landscaping plan. All required landscape areas shall be occupied by plant material or ground cover.

B. Landscaping adjacent to a public street. Except for approved driveways and pedestrian walkways, a landscaped area of ten-foot minimum shall be provided adjacent and parallel to the frontage of a public street as follows:

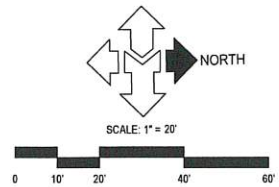
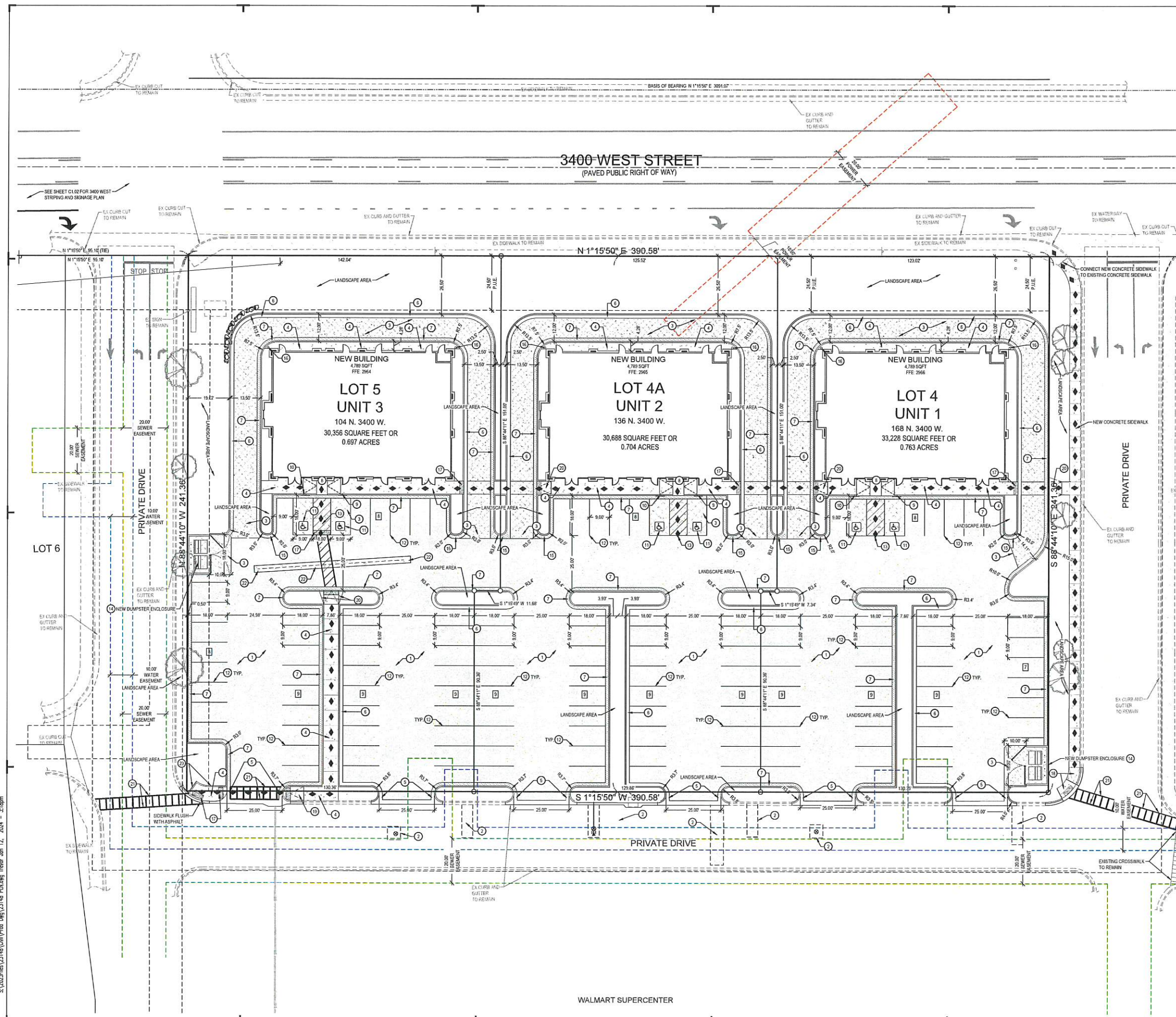
- 1. A ten-foot wide landscaped area on any commercial development.*

2. *At least one tree and three shrubs shall be planted for every 35 feet of street frontage in a required landscaped area. Such trees and shrubs may be clustered, provided that no tree shall be within five feet of another.*

3. *The slope of any earth berm shall not exceed a vertical to horizontal ratio of one to two and shall be treated with suitable ground cover to prevent soil erosion.*

- a. A full landscaping plan has been provided. The number and placement of trees and shrubs meets city code.
 - b. Plant types should be drought tolerant and meet plant quality standards.
4. The lot is flat and the staff does not have any concerns about slopes on the property.
 5. Building renderings have been submitted, staff has no concerns with the renderings presented.
 6. Plans do show increased pedestrian walkways and connectivity to Walmart and the other lots in this subdivision.

Recommendation: Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff would recommend approval of this final site plan subject to JUC and staff comments.



DESCRIPTION	AREA	%
HARDSCAPE	59,905 SQFT	64%
LANDSCAPE	19,997 SQFT	21%
BUILDINGS	14,368 SQFT	15%
TOTAL	94,270 SQFT	100%





* INTERNAL PARKING AREA: 51,394 SQFT
INTERNAL LANDSCAPING: 4,173 SQFT OR 8%

LOT #	STD STALLS	ADA STALLS	TOTAL
4	40	2	42
4A	42	2	44
5	41	2	43
TOTAL	123	6	129

*PER HCC 10-34-10: RETAIL- 1 SPACE PER 250 SQUARE FEET OF GROSS FLOOR AREA.

GENERAL NOTES:
ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.
ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

KEYED NOTES:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATION
 REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION

- 1  STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D', SHEET C5.01.
 - 2 ASPHALT T-PATCH PER APWA PLAN NO. 255.
 - 3  CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'C', SHEET C5.01.
 - 4  CONCRETE SIDEWALK PER HURRICANE CITY DETAIL 'CC' 105.
 - 5 CONCRETE OPEN DRIVE APPROACH PER APWA PLAN NO. 225.
 - 6 24" CONCRETE CURB AND GUTTER SEE DETAIL D2 SHEET C5.01.
 - 7 24" CONCRETE RELEASE CURB AND GUTTER SEE DETAIL D3, SHEET C5.01.
 - 8 ADA RAMP WITH DETECTABLE WARNING SURFACE, SEE HURRICANE CITY DETAIL 105/ FOR RAMP DETAIL AND HURRICANE CITY DETAIL 108/ FOR DETECTABLE WARNING SURFACE DETAIL.
 - 9 ADA PARKING SIGN SEE DETAIL 'C4', SHEET C5.01.
 - 10 VAN ACCESSIBLE ADA PARKING SIGN SEE DETAIL 'C4', SHEET C5.01.
 - 11 PAINTED ADA SYMBOL SEE DETAIL 'C3', SHEET C5.01.
 - 12 4" WIDE SOLID WHITE PARKING STRIP, STRIP LINES.
 - 13 4" WIDE SOLID WHITE PEDESTRIAN STRIP LINES.
 - 14 DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 15 DRIVEWAY CURB TYPE HB3647 PER HURRICANE CITY DETAIL 'C3-103', SEE PAGE C5.01.
 - 16 BOLLARD PER DETAIL '34' ON SHEET C5.05.
 - 17 DETECTABLE WARNING SURFACE DETAIL PER HURRICANE CITY DETAIL 'PED 108' ON SHEET C5.01.
 - 18 STANDARD CORNER PEDESTRIAN RAMP PER HURRICANE CITY DETAIL 'PED 100' ON SHEET 5.02.
 - 19 ADA RAMP PER DETAIL '83' ON SHEET C5.05.
 - 20 PERPENDICULAR PEDESTRIAN ACCESS RAMP PER DETAIL 'PED106' ON SHEET C5.03.
 - 21 PAINTED WHITE PEDESTRIAN CROSSING STRIPES PER HURRICANE CITY STANDARDS.
 - 22 36" CONCRETE WATERWAY PER DETAIL '42' ON SHEET C5.05.
 - 23 CONCRETE CURB WALL PER DETAIL 'A1' ON SHEET C5.01.
-  ACCESSIBLE ROUTE WITH MAXIMUM 1/4% CROSS-SLOPE AND MAXIMUM 1/20 RUNNING-SLOPE.

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8410 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com

Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS



HURRICANE RETAIL PADS

3400 WEST 90 NORTH
HURRICANE CITY, UTAH 84737
LOCATED IN THE SW 1/4 OF SECTION 31, T41S, R13W, SLB&M

REVISIONS		DESCRIPTION
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PROJECT NO:	23148
DRAWN BY:	TJO/ CCW
CHECKED BY:	RJP
DATE:	JANUARY 12, 2024

CIVIL
SITE PLAN

C1.01

LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL	
DECIDUOUS TREES						
	6	DESERT MUSEUM PALO VERDE	CERCIDIUM X 'DESERT MUSEUM'	2" CAL.	D/L5.01	
	18	THORNLESS TEXAS HONEY MESQUITE	FPROSOPIS GRANDULOSA 'MAVERICK'	2" CAL.	D/L5.01	
	8	CHASTE TREE	VITEX AGNUS-CASTUS	24" BOX	E/L5.01	
	9	EXISTING DECIDUOUS TREE TO REMAIN				
PALM TREES						
	7	HYBRID FAN PALM	WASHINGTONIA X FILIBUSTA	9' HT.	E/L5.01	
SHRUBS						
	69	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	5 GAL.	B/L5.01	
	30	SILVER DESERT SPOON	DASYLIRION WHEELERI	5 GAL.	B/L5.01	
	29	GIANT HESPERALOE	HESPERALOE FUNIFERA	5 GAL.	B/L5.01	
	126	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA'	5 GAL.	B/L5.01	
	10	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTON'	5 GAL.	B/L5.01	
	45	CHIHUAHUAN SAGE	LEUCOPHYLLUM LAEVIGATUM	5 GAL.	—	
ORNAMENTAL GRASSES						
	61	BLONDE AMBITION BLUE GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL.	A/L5.01	
	97	SAPPHIRE BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS 'SAPHIRSPRUDEL'	1 GAL.	A/L5.01	
	161	REGAL MIST DEER GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GAL.	A/L5.01	
SYMBOL	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	SOURCE	DETAIL
BOULDERS						
	154		BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS.	2'-4" DIAMETER IN ALL DIRECTIONS		F/L5.01
CRUSHED ROCK						
	20,131 S.F.	"SUNSET BLEND" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4:1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	1" DIAMETER	ROWLAND STONE, ROWLANDSTONESTG.COM, (435) 673-2349, OR APPROVED EQUAL	G/L5.01
	3,338 S.F.	"SUNSET BLEND" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4:1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	2" DIAMETER	ROWLAND STONE, ROWLANDSTONESTG.COM, (435) 673-2349, OR APPROVED EQUAL	G/L5.01
		ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL				

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	SERIES	ARC	DETAIL
VALVES					
	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-PEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV		C/L5.02
OTHER EQUIPMENT					
	IRRIGATION CONTROLLER WITH RAIN SHUTOFF DEVICE	RAIN BIRD	ESP8LXME		G/L5.02
	POINT OF CONNECTION				A/L5.03
	CONCRETE PAD FOR BACKFLOW PREVENTER				C/L5.03
SYMBOL	TYPE		MATERIAL		DETAIL
	1" DRIP SUPPLY LINE, 1/2" SWING PIPE (FUNNY PIPE) AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY.		SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS.		A/L5.02
	1" MAIN LINE		SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS.		A/L5.02
	PIPE SLEEVE UNDER NEW VALVE NUMBERING		SCHEDULE 40 PVC		B/L5.02

EMITTER SCHEDULE

PLANT NAME	DRIP EMISSION DEVICE	MANUFACTURER	MODEL	DETAIL
CHASTE TREE	(2) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	E/L5.02
DESERT MUSEUM PALO VERDE	(4) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	E/L5.02
HYBRID FAN PALM	(2) 0.50 GPM Bubbler	RAINBIRD	RWS-B-1402 DEEP ROOT WATERING SERIES	F/L5.02
THORNLESS TEXAS HONEY MESQUITE	(4) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	E/L5.02
BLONDE AMBITION BLUE GRAMA GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02
BLUE RUG JUNIPER	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02
BRAKELIGHTS RED YUCCA	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02
CHIHUAHUAN SAGE	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02
GIANT HESPERALOE	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02
PANCHITO MANZANITA	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02
REGAL MIST DEER GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02
SAPPHIRE BLUE OAT GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02
SILVER DESERT SPOON	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC "DESERT CAMO" COLOR	D/L5.02

HURRICANE CITY DATA

CH. 15 - COMMERCIAL ZONES		
CH. 32 - LANDSCAPING & SCREENING		
ZONED AS	PLANNED COMMERCIAL (PC)	
TOTAL SITE AREA	94,270 S.F. = 2.16 AC.	
ON-SITE LANDSCAPE AREA	19,863 S.F. = 21%	
	REQUIRED	PROVIDED
FRONT YARD:		
FRONT SETBACK	20' MIN.	YES
LANDSCAPE ALONG PUBLIC STREET	10' MIN.	YES
TREES - 1 PER 35' OF STREET FRONTAGE	375' / 35 = 11	11
SHRUBS - 3 PER 35' OF STREET FRONTAGE	3 x (375' / 35) = 32	>32
PARKING:		
REQUIRED LANDSCAPE AREA	7% MIN. = 3,612 S.F.	5,145 S.F. = 10%
TREES - 1 PER 10 STALLS		YES
SHRUBS - 2 PER 10 STALLS		>5
LANDSCAPE AREA MINIMUM SIZE	25 S.F.	YES

HURRICANE RETAIL PADS

3400 WEST 90 NORTH
HURRICANE, UTAH

REVISIONS

REV	DATE	DESCRIPTION
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PROJECT NO:	23148
DRAWN BY:	TG
CHECKED BY:	SS
DATE:	DECEMBER 2023
PROPERTY NO:	

LANDSCAPE
TABLES &
SCHEDULES

L1.01

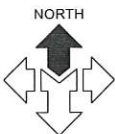


GENERAL NOTE

1. REFER TO COMMON EARTHWORK, TOPSOIL & GRADING, AND PLANTING NOTES ON SHEET L2.01
2. REFER TO LANDSCAPE SCHEDULE AND CITY DATA TABLE ON SHEET L1.01

REFERENCE NOTES

- L-1. EXISTING CRUSHED ROCK AND PLANT MATERIAL TO REMAIN. RESTORE ANY DAMAGE CAUSED BY WORK COMPLETED UNDER THIS CONTRACT.
- L-2. NEW SHRUBS TO REPLACE EXISTING PLANT MATERIAL. REMOVE & PROPERLY DISPOSE OF EXISTING SHRUBS, AND REPLACE WITH (6) LEUCOPHYLLUM LAEVIGATUM. EXISTING CRUSHED ROCK TO REMAIN.



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

**Call
DJs**

1-800-562-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



HURRICANE RETAIL PADS

3400 WEST 90 NORTH
HURRICANE, UTAH

REVISIONS

REV	DATE	DESCRIPTION
1	11/15/2023	ISSUED FOR PERMIT
2	11/15/2023	ISSUED FOR PERMIT
3	11/15/2023	ISSUED FOR PERMIT
4	11/15/2023	ISSUED FOR PERMIT
5	11/15/2023	ISSUED FOR PERMIT
6	11/15/2023	ISSUED FOR PERMIT
7	11/15/2023	ISSUED FOR PERMIT
8	11/15/2023	ISSUED FOR PERMIT
9	11/15/2023	ISSUED FOR PERMIT
10	11/15/2023	ISSUED FOR PERMIT

PROJECT NO: 23148
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DATE: DECEMBER 2023
PROPERTY NO:

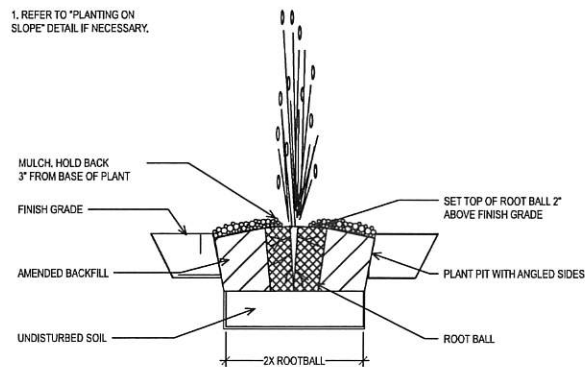
LANDSCAPE
PLANTING
PLAN

L2.01

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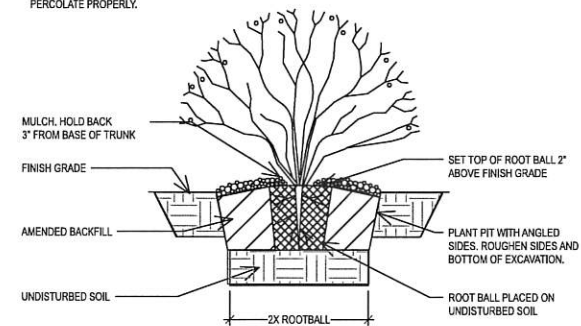


NOTE:
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.

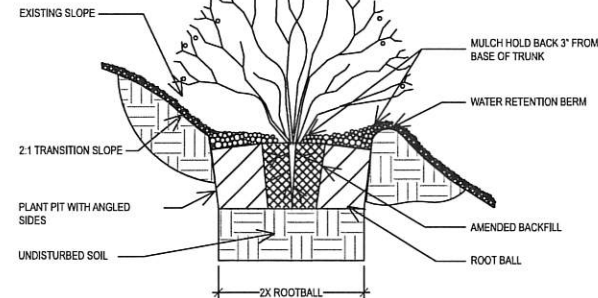


A GRASSES AND PERENNIALS
NO SCALE

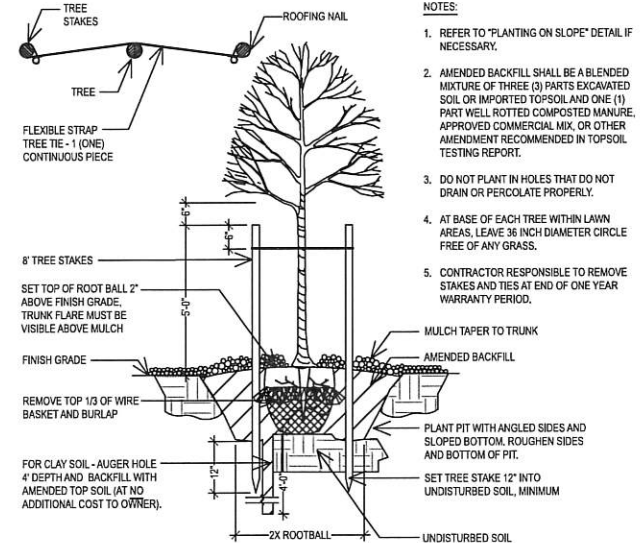
- NOTES:
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
 2. AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
 3. DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.



B SHRUB PLANTING
NO SCALE

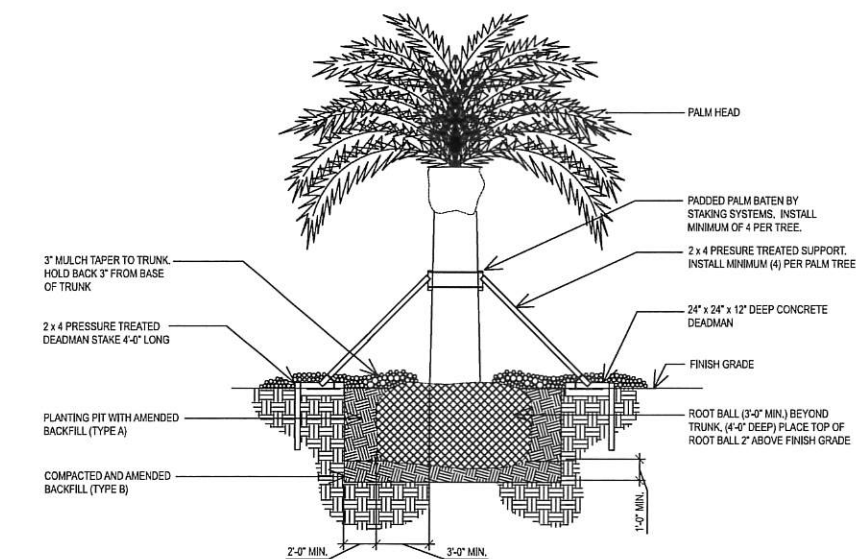


C PLANTING ON SLOPE
NO SCALE



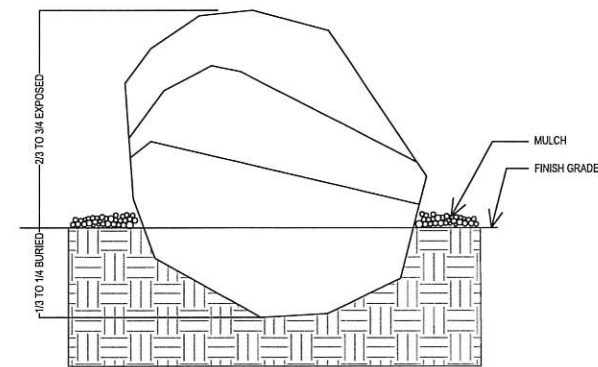
- NOTES:
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
 2. AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
 3. DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.
 4. AT BASE OF EACH TREE WITHIN LAWN AREAS, LEAVE 36 INCH DIAMETER CIRCLE FREE OF ANY GRASS.
 5. CONTRACTOR RESPONSIBLE TO REMOVE STAKES AND TIES AT END OF ONE YEAR WARRANTY PERIOD.

D DECIDUOUS TREE
NO SCALE

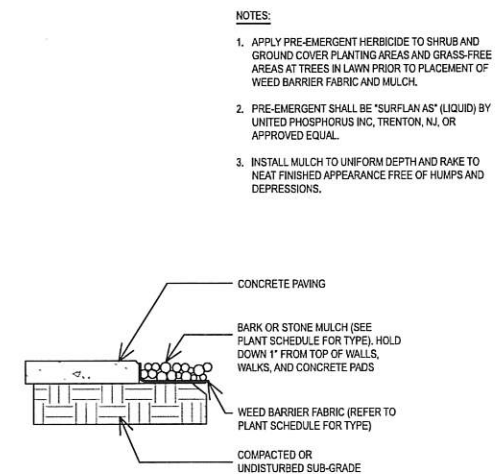


E PALM TREE
NO SCALE

- NOTES:
1. SHIP AND PLANT PALM WITH FRONDS TIED UP USING HEMP TWINE. FRONDS SHOULD ENCASE THE PALM HEAD. DO NOT REMOVE THE TWINE AND EXPOSE THE HEAD UPON COMPLETION OF PLANTING. TWINE WILL PHOTODEGRADE OVER TIME.
 2. PLANT PALMS IN MAY OR JUNE. PROTECT ALL PALMS DURING OTHER CONSTRUCTION WORK BY INSTALLING A PROTECTION FENCE AROUND THE PALM. THE FENCE WILL BE NO CLOSER THAN 8'-0" FROM THE TRUNK.
 3. INCLUDE 10 POUNDS OF "GRO POWER" PALM FERTILIZER (9-3-9) PER CUBIC YARD OF PLANTER BACKFILL MIX. ALSO INCORPORATE "AXIS REGULAR" INTO BACKFILL.
 4. INSTALL (4) PRECAST REINFORCED CONCRETE DEADMANS PER TREE. MINIMUM, INSTALL WITH BLOCK-OUTS AND ANCHOR BOLTS FOR 2x4 SUPPORTS. PLACE THE TOP OF EACH DEADMAN 2" ABOVE FINISHED GRADE.
 5. INSTALL (4) PALM BATENS PER TREE. MINIMUM, BATEN BANDING SUPPORTS SHALL NOT RUB AGAINST PALM TRUNKS. PROVIDE PADDING UNDER BANDINGS WHERE REQUIRED. STAKING SYSTEMS PH. 1 (888) 782-5346. ORDER (4) BATENS PER TREE WITH EXTRA LONG METEL STAPPING BANDS.
 6. INSTALL SHREDDED MULCH TOP DRESSING 3-4 INCHES DEEP OVER TOP OF ROOT BALL.



F BOULDER
NO SCALE



G MULCH
NO SCALE

HURRICANE RETAIL PADS

3400 WEST 90 NORTH
HURRICANE, UTAH

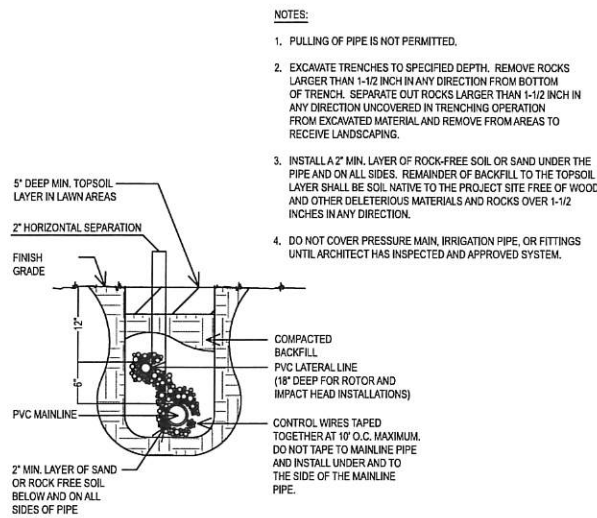
REVISIONS

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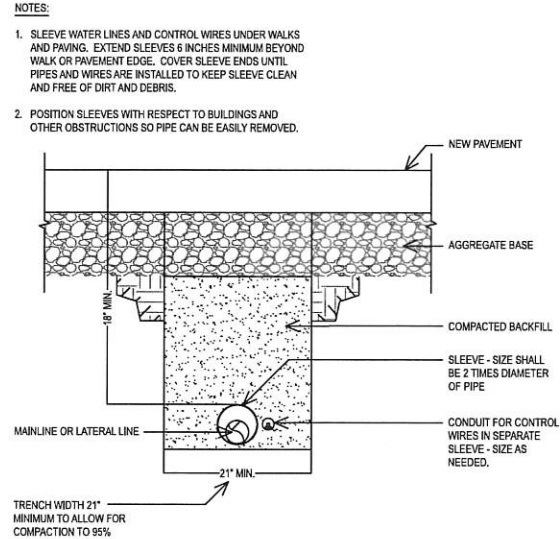
PROJECT NO: 23148
DRAWN BY: TG
CHECKED BY: SS
DATE: DECEMBER 2023
PROPERTY NO:

LANDSCAPE
DETAILS

L5.01

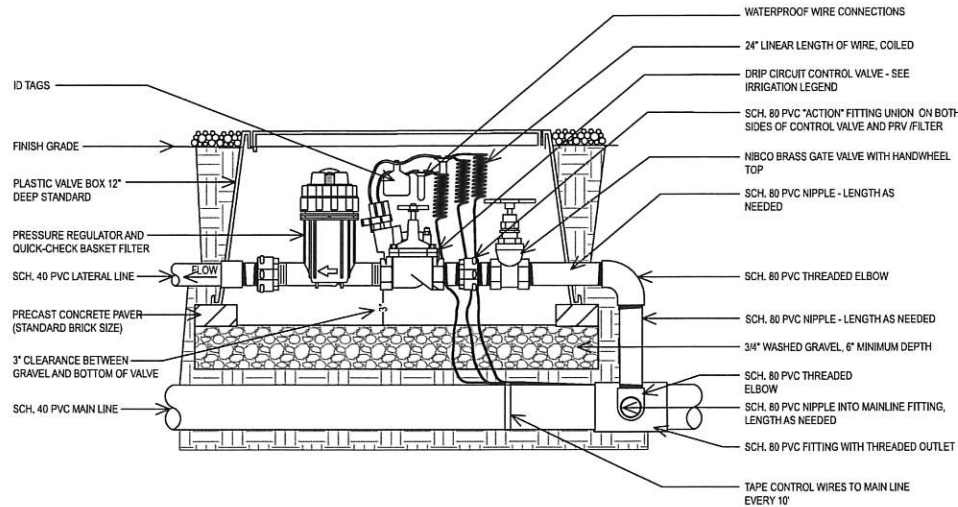


A TRENCH
NO SCALE



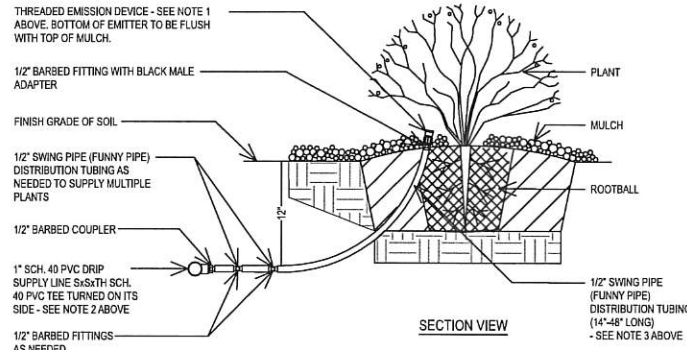
B TRENCH UNDER NEW PAVEMENT
NO SCALE

- NOTES:**
- LIMIT (1) DRIP VALVE ASSEMBLY PER BOX
 - INSTALL GREEN COLORED VALVE BOXES AND LIDS IN THE LAWN AREAS AND TAN COLORED BOXES AND LIDS IN THE PLANTING BEDS
 - ALL FITTINGS WITHIN VALVE BOX SHALL BE SCH. 80 PVC AND SAME SIZE AS THE VALVE
 - CONTRACTOR TO REPLACE EXISTING 200 MESH (WHITE) SCREEN WITH A NEW 100 MESH (RED) SCREEN

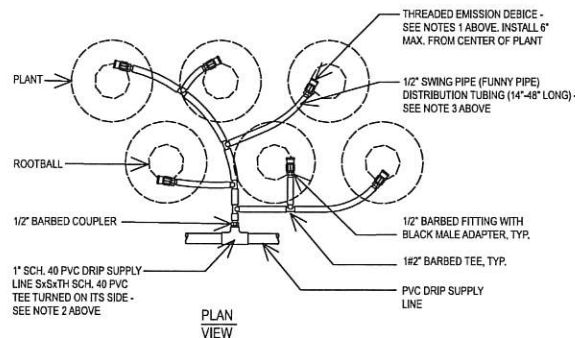


C CONTROL VALVE - DRIP CIRCUIT
NO SCALE

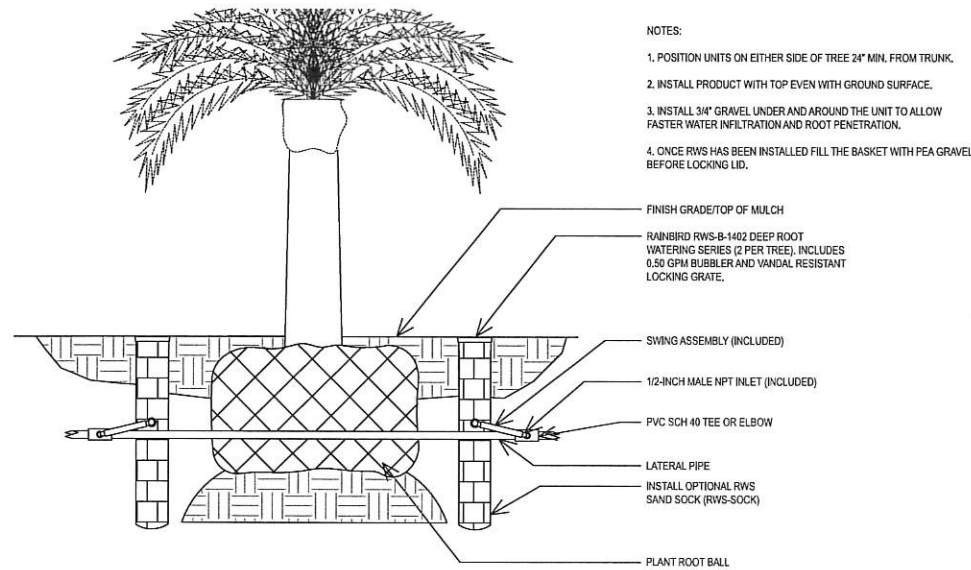
- NOTES:**
- SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICE PER PLANT.
 - INSTALL A MAX. OF (6) EMISSION DEVICES PER PVC CONNECTION.
 - DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.



D DRIP EMISSION DEVICE @ SHRUBS
NO SCALE



E DRIP EMISSION DEVICE @ NEW TREES
NO SCALE



F TREE WATERING SYSTEM FOR PALMS
SCALE: NO SCALE

HURRICANE RETAIL PADS

3400 WEST 90 NORTH
HURRICANE, UTAH

REVISIONS

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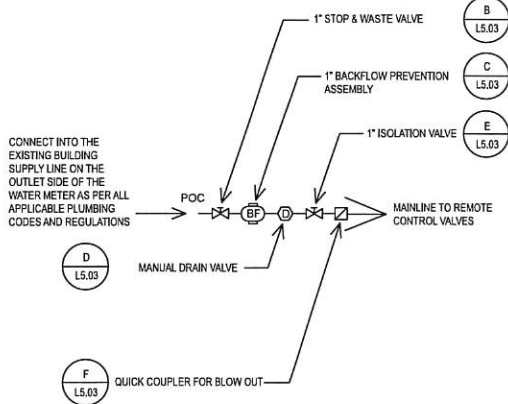
PROJECT NO: 23148
DRAWN BY: TG
CHECKED BY: SS
DATE: DECEMBER 2023
PROPERTY NO:

LANDSCAPE
IRRIGATION
DETAILS

L5.02

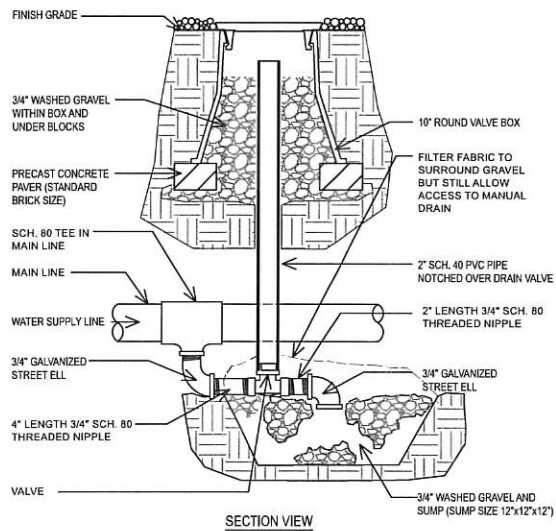


NOTE:
THE POINT OF CONNECTION DETAIL IS
SCHEMATIC ONLY AND MEANT TO CONVEY THE
ORDER OF THE COMPONENTS. ACTUAL LAYOUT
MAY VARY AND SHOULD BE COORDINATED AS
NEEDED PRIOR TO INSTALLATION.



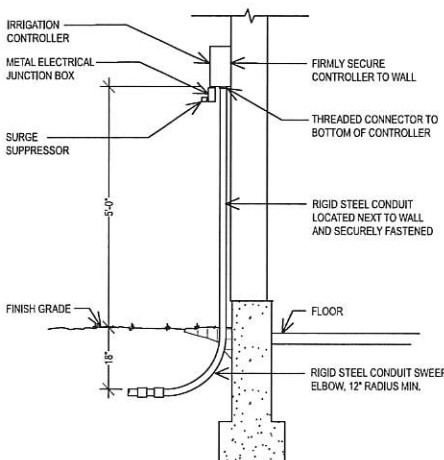
A POC SCHEMATIC LAYOUT

NO SCALE



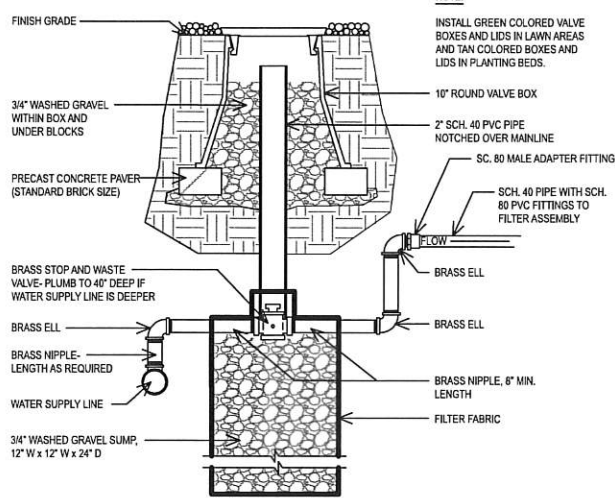
D MAINLINE DRAIN VALVE

NO SCALE



G CONTROLLER

NO SCALE



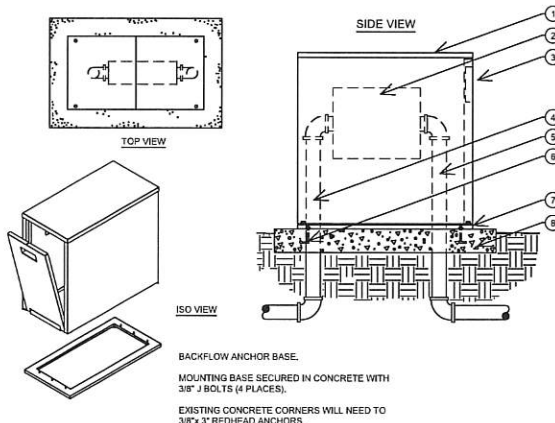
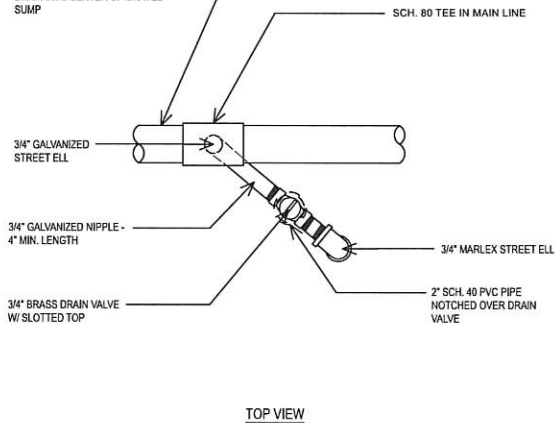
B STOP & WASTE VALVE

NO SCALE

NOTES:

INSTALL GREEN COLORED VALVE BOXES AND LIDS IN LAWN AREAS AND TAN COLORED BOXES AND LIDS IN PLANTING BEDS.

DRAIN INTO CENTER OF GRAVEL SUMP



LEGEND

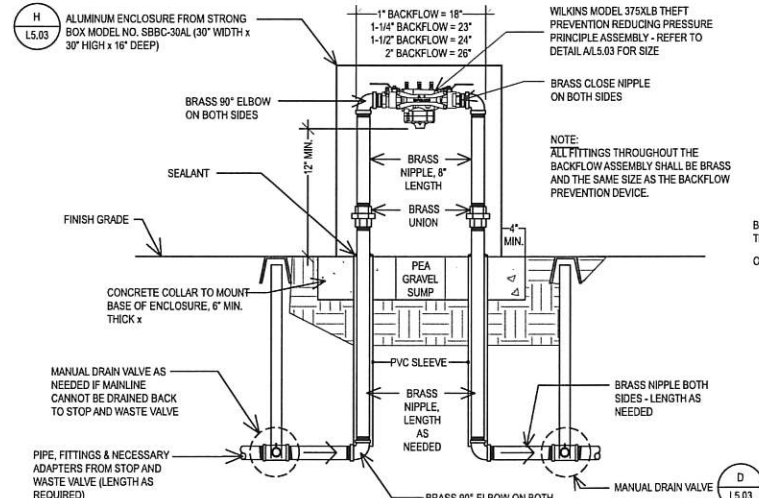
1. ALUMINUM BACKFLOW ENCLOSURE.
2. BACKFLOW PREVENTER.
3. HINGED DROP DOWN DOOR, PADLOCK AT TOP.
4. WATER SERVICE INLET PIPING.
5. WATER SERVICE OUTLET PIPING.
6. 3/8" "L" STYLE ANCHOR BOLTS.
7. ANCHOR PLATE MOUNTING.
8. POURED CONCRETE BASE - 6" MIN. THICKNESS - EXTEND 4" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE.

H BACKFLOW ENCLOSURE

NO SCALE

NOTE:

INSTALL GREEN COLORED VALVE BOXES AND LIDS IN LAWN AREAS AND TAN COLORED BOXES AND LIDS IN PLANTING BEDS.

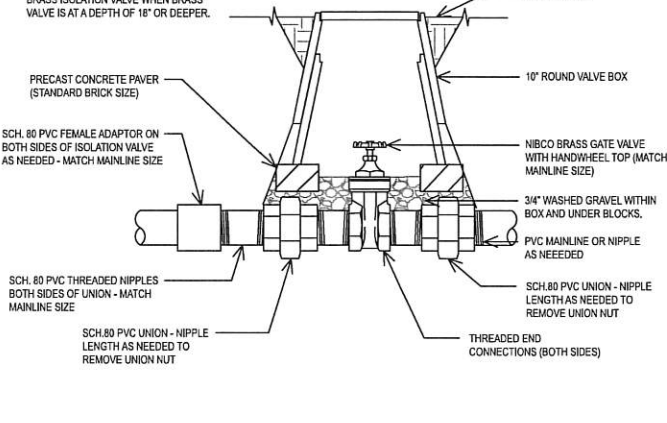


C BACKFLOW PREVENTER

NO SCALE

NOTES:

1. ALL PVC FITTINGS AND PIPE SHALL BE SCH. 80 PVC AND THE SAME SIZE AS THE MAINLINE.
2. INSTALL 2" CLASS 200 PVC SLEEVE OVER BRASS ISOLATION VALVE WHEN BRASS VALVE IS AT A DEPTH OF 18" OR DEEPER.

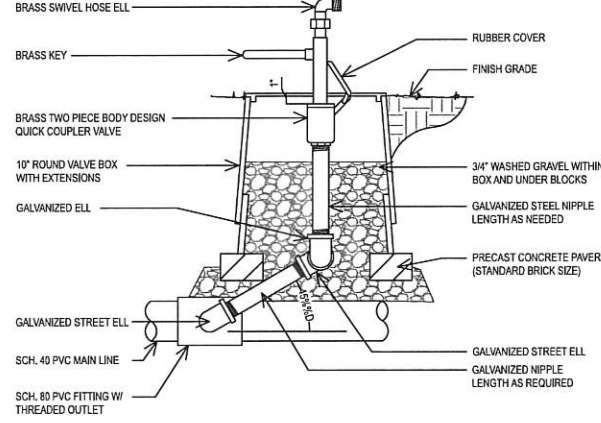


E ISOLATION VALVE - THREADED

NO SCALE

NOTE:

INSTALL GREEN COLORED VALVE BOXES AND LIDS IN LAWN AREAS AND TAN COLORED BOXES AND LIDS IN PLANTING BEDS.



F QUICK COUPLER VALVE

NO SCALE

HURRICANE RETAIL PADS

3400 WEST 90 NORTH
HURRICANE, UTAH

REVISIONS

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PROJECT NO: 23148
DRAWN BY: TG
CHECKED BY: SS
DATE: DECEMBER 2023
PROPERTY NO:

LANDSCAPE
IRRIGATION
DETAILS

L5.03

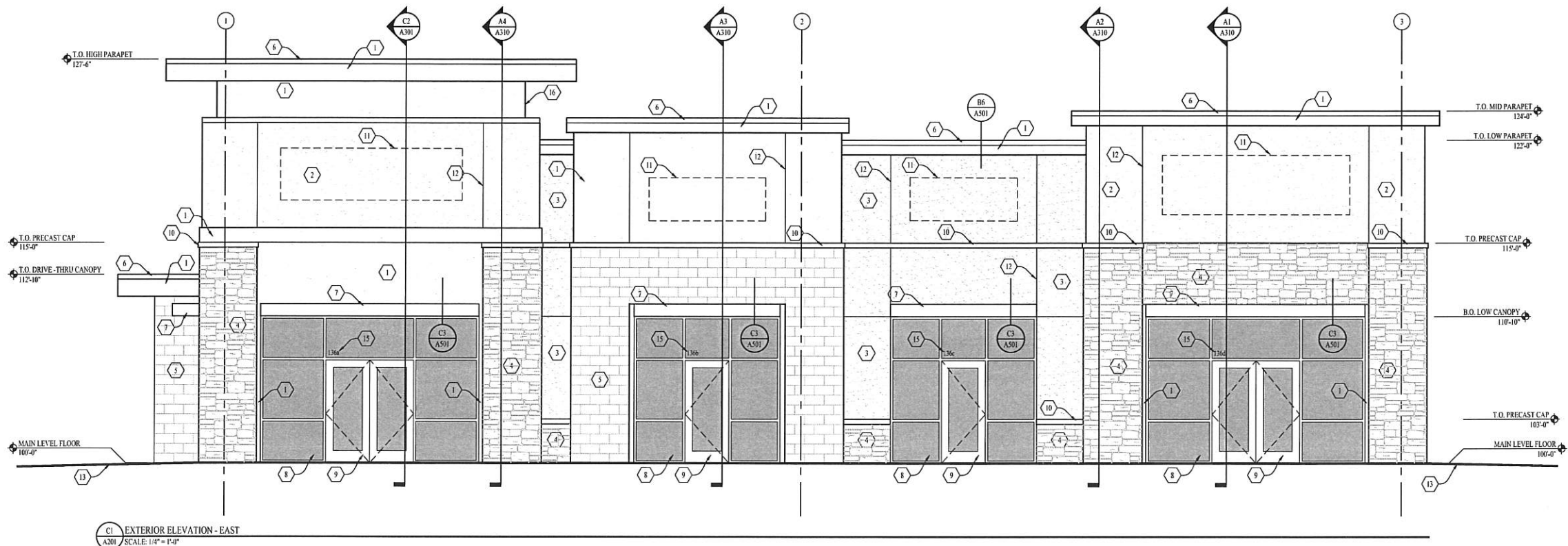
D

C

B

A

This drawing is an extension of professional services provided by the architect and shall not be used for any other project without the written approval of the architect. The architect shall not be responsible for any errors or omissions in this drawing.



C1
A201
EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"

ELEVATION GENERAL NOTES:

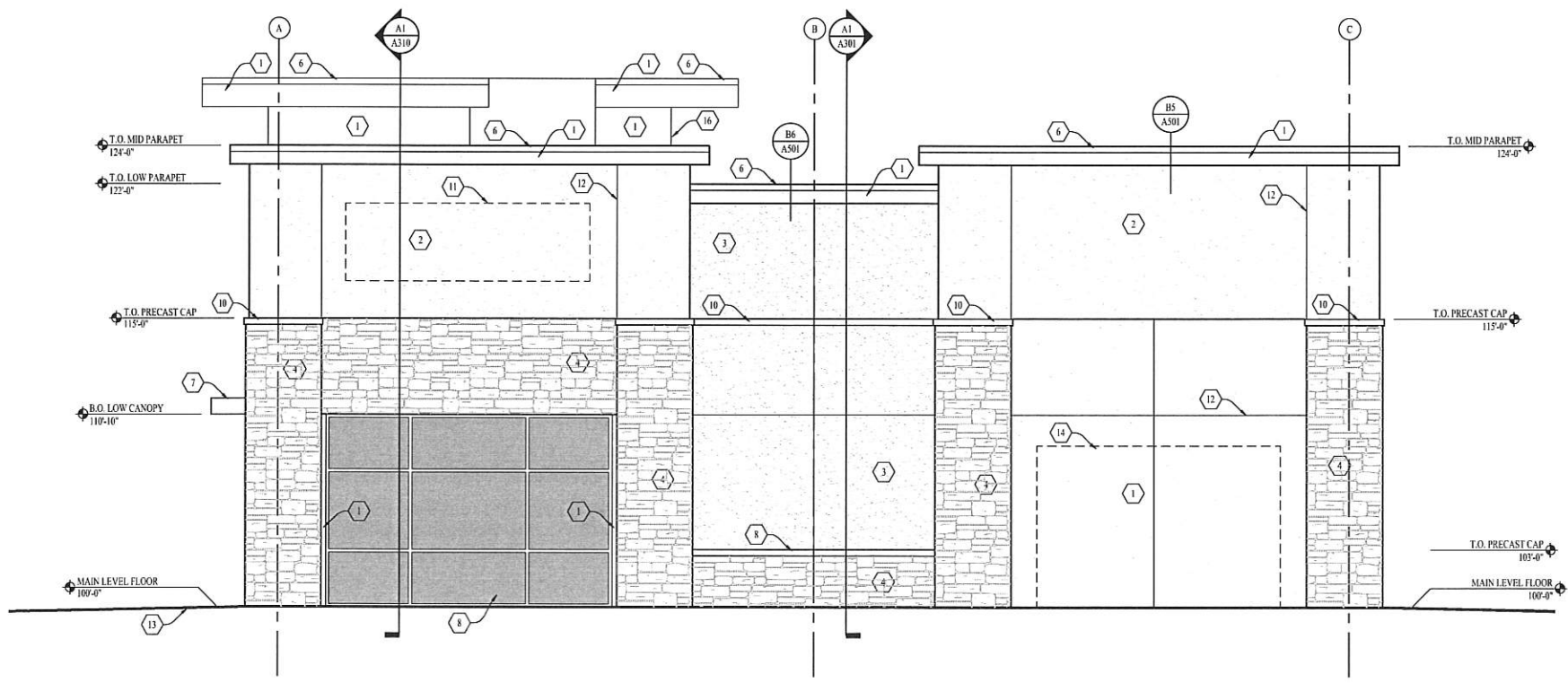
- SEE GENERAL NOTES ON SHEET G001 FOR ADDITIONAL REQUIREMENTS.
- COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE ON SHEET A601.
- SEE ROOF PLAN FOR ALL ROOF SLOPES.
- PROVIDE SAMPLES OF ALL EXTERIOR FINISHES AND COLORS FOR OWNER APPROVAL.
- COORDINATE LOCATION OF EXTERIOR LIGHTING WITH ELECTRICAL DRAWINGS.
- COORDINATE SECONDARY DRAIN DOWNSPOUT LOCATIONS WITH PLUMBING DRAWINGS.
- SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL.

EXTERIOR ELEVATION FINISH LEGEND:

- | | |
|--|---|
| | 1 EIFS 1 - DRYVIT: LITE GRAY #522, SANDBLAST FINISH |
| | 2 EIFS 2 - DRYVIT: SMOKE SIGNAL #614, SANDPEBBLE FINISH |
| | 3 EIFS 3 - DRYVIT: COLOR TO BE DETERMINED |
| | 4 CULTURED STONE VENEER |
| | 5 CONCRETE MASONRY |

EXTERIOR ELEVATION KEY NOTES:

- SEE EXTERIOR ELEVATION FINISH LEGEND.
- SEE EXTERIOR ELEVATION FINISH LEGEND.
- SEE EXTERIOR ELEVATION FINISH LEGEND.
- SEE EXTERIOR ELEVATION FINISH LEGEND.
- SEE EXTERIOR ELEVATION FINISH LEGEND.
- PREFINISHED METAL CAP TO MATCH STOREFRONT.
- DECORATIVE METAL CANOPY POWDER COATED, TO MATCH STOREFRONT.
- WINDOW - SEE WINDOW TYPES.
- DOOR - SEE DOOR SCHEDULE.
- PRECAST CONCRETE CAP.
- POTENTIAL LOCATION OF BUILDING SIGNAGE.
- EIFS CONTROL JOINT.
- FINISH GRADE - SEE CIVIL DRAWINGS.
- DASHED LINE OF ELECTRICAL EQUIPMENT - SEE ELECTRICAL DRAWINGS.
- PROVIDE ADDRESS AND UNIT DESIGNATION NUMBERS MOUNTED AT FRONT ENTRANCES. SIGNAGE SHALL HAVE MINIMUM 4" HIGH LETTERING AND SHALL CONTRAST WITH BACKGROUND. VERIFY SUITE NUMBERING WITH OWNER.
- EXTERIOR FINISH TO WRAP SIDE WALL AND AREA ABOVE ROOF PARAPET EXTENDING BACK ONTO ROOF.

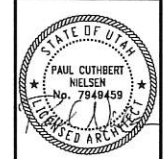


A1
A301
EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

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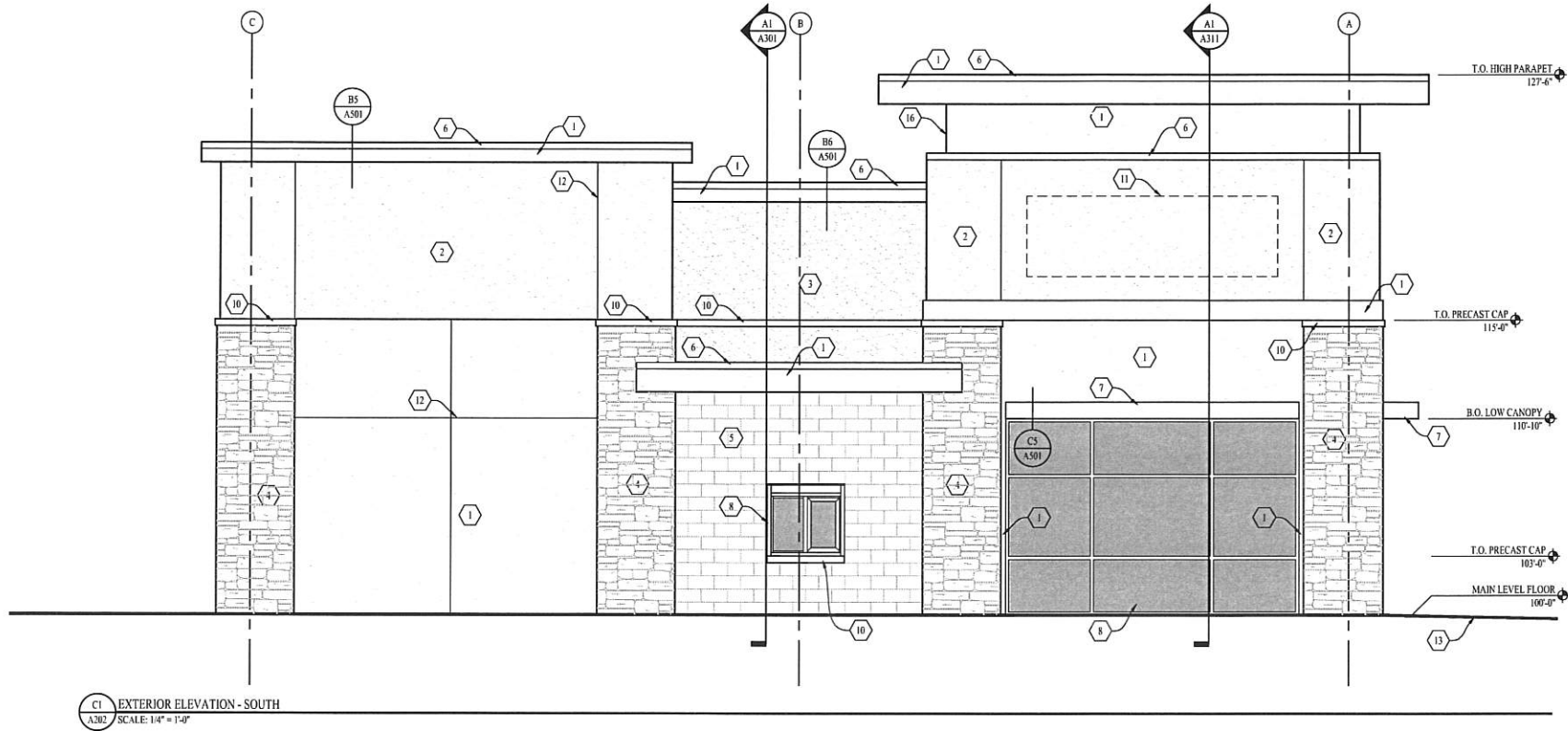
**ORDER
ARCHITECTURE**
T 801.597.7641
4478 W DORENA LN
SOUTH JORDAN, UT 84009
paul@order-arch.com
www.order-arch.com

HURRICANE RETAIL 1
136 NORTH 3400 WEST
HURRICANE, UTAH 84737



PROJECT NUMBER 138.2301
EXTERIOR ELEVATIONS
DRAWING NUMBER A201

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ELEVATION GENERAL NOTES:

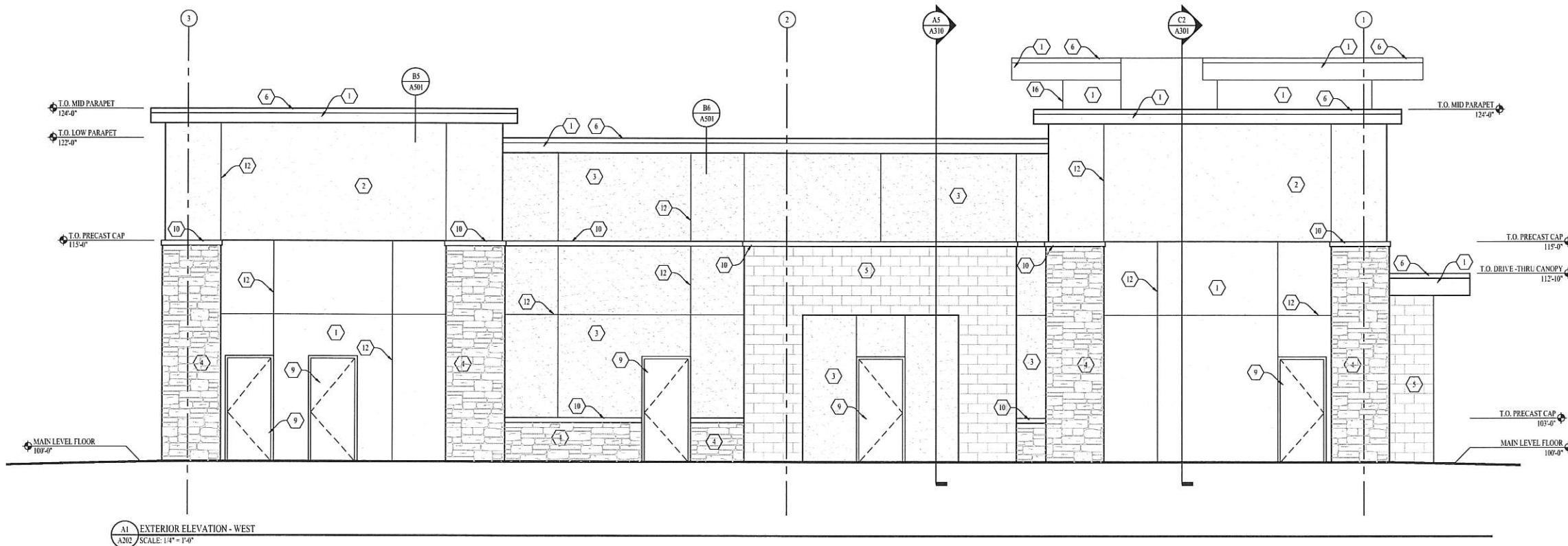
- SEE GENERAL NOTES ON SHEET G00 FOR ADDITIONAL REQUIREMENTS.
- COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE ON SHEET A401.
- SEE ROOF PLAN FOR ALL ROOF SLOPES.
- PROVIDE SAMPLES OF ALL EXTERIOR FINISHES AND COLORS FOR OWNER APPROVAL.
- COORDINATE LOCATION OF EXTERIOR LIGHTING WITH ELECTRICAL DRAWINGS.
- COORDINATE SECONDARY DRAIN DOWNSPOUT LOCATIONS WITH PLUMBING DRAWINGS.
- SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL.

EXTERIOR ELEVATION FINISH LEGEND:

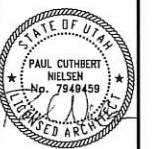
- | | |
|--|---|
| | 1 EIFS 1 - DRYVIT: LITE GRAY #522, SANDBLAST FINISH |
| | 2 EIFS 2 - DRYVIT: SMOKE SIGNAL #614, SANDPEBBLE FINISH |
| | 3 EIFS 3 - DRYVIT: COLOR TO BE DETERMINED |
| | 4 CULTURED STONE VENEER |
| | 5 CONCRETE MASONRY |

EXTERIOR ELEVATION KEY NOTES:

- SEE EXTERIOR ELEVATION FINISH LEGEND.
- SEE EXTERIOR ELEVATION FINISH LEGEND.
- SEE EXTERIOR ELEVATION FINISH LEGEND.
- SEE EXTERIOR ELEVATION FINISH LEGEND.
- SEE EXTERIOR ELEVATION FINISH LEGEND.
- PREFINISHED METAL CAP TO MATCH STOREFRONT.
- DECORATIVE METAL CANOPY POWDER COATED, TO MATCH STOREFRONT.
- WINDOW - SEE WINDOW TYPES.
- DOOR - SEE DOOR SCHEDULE.
- PRECAST CONCRETE CAP.
- POTENTIAL LOCATION OF BUILDING SIGNAGE.
- EIFS CONTROL JOINT.
- FINISH GRADE - SEE CIVIL DRAWINGS.
- DASHED LINE OF ELECTRICAL EQUIPMENT - SEE ELECTRICAL DRAWINGS.
- PROVIDE ADDRESS AND UNIT DESIGNATION NUMBERS MOUNTED AT FRONT ENTRANCES. SIGNAGE SHALL HAVE MINIMUM 4" HIGH LETTERING AND SHALL CONTRAST WITH BACKGROUND. VERIFY SUITE NUMBERING WITH OWNER.
- EXTERIOR FINISH TO WRAP SIDE WALL AND AREA ABOVE ROOF PARAPET EXTENDING BACK ONTO ROOF.



HURRICANE RETAIL 1
136 NORTH 3400 WEST
HURRICANE, UTAH 84757



PROJECT NUMBER
138.2301

EXTERIOR
ELEVATIONS

DRAWING NUMBER

A202

MARK	ISSUE DESCRIPTION	ISS DATE	REV DATE
1	PERMIT SET	12.08.2023	



STAFF COMMENTS

Agenda Date:	03/14/2024
Application Number:	HIL24-02
Type of Application:	Sensitive Lands Plan Application
Action Type:	Administrative
Applicant:	Beau Davis
Agent:	Karl Rasmussen
Request:	Approval of a Sensitive Lands Plan.
Location:	2360 S 600 W
Zoning:	R1-15
General Plan Map:	Single Family
Recommendation:	Approve subject to staff comments.
Report Prepared by:	Gary Cupp

Discussion:

The applicant will receive fill dirt from a barrow site located at the base of the Hurricane Cliffs behind several lots along 630 W. Approximately 60,000 cubic yards of fill will be removed from the barrow site and transported across Angell Heights Dr. to be used in the development of the applicant's future storage facility. The application was required due to the location of the barrow site being located along the Hurricane Cliffs which is defined as Sensitive Lands pursuant to Hurricane City Code (HCC) Title 10, Chapter 24 which requires that unique geologic features and landscapes be preserved.



Staff Comments: Sensitive Lands Application

1. Pertinent Code Sections:

Sec. 10-24-3. - DETERMINATION OF APPLICABILITY.

A. Application of chapter. The regulations contained in this chapter shall apply to land development which includes any of the following:

1. Any grading not associated with an approved project of the types listed in subsection A3 of this section, when such grading will:

- a. Disturb 10,000 square feet or more of land area;*
- b. Create a cut or fill over three feet in height; or*
- c. Create trenching over 200 feet in length.*

2. Any activity associated with a building permit, including grading on a vacant lot or parcel not previously approved in accordance with the provisions of this chapter, but excluding any lot or parcel located in a subdivision which received preliminary plat approval prior to the effective date of this chapter.

3. Any preliminary plat, planned development, site plan review, conditional use permit and any other land use development permit authorized by this Code.

4. Hillside and ridge areas as set forth in subsection 10-24-5A of this chapter.

10-24-5: HILLSIDES AND RIDGE AREAS:

A. *Applicability: The following procedures, submittal requirements and standards shall apply to those projects located on lands identified as having at least one of the following characteristics:*

1. *Slopes over ten percent (10%) which are:*

a. *Identified through computer generated programs capable of calculating slopes on topographic maps prepared with two foot (2') contour interval accuracy; or*

b. *Established by profile lines drawn perpendicular to contour lines at intervals no greater than one hundred fifty feet (150') apart, when the slope, measured along any one hundred foot (100') segment of the profile line is ten percent (10%) or greater. (See section 10-24-9, appendix diagram A, of this chapter.)*

c. *A slope shall be subject to this chapter only when a contiguous identified area of ten percent (10%) or greater exceeds two (2) acres, or if the site is less than one acre and the entire site is ten percent (10%) or greater.*

2. *Lands located within 100 vertical feet of a ridgeline measured perpendicular from the ridgeline; and*

3. *Lands located within 100 feet of an edge of a bluff.*

2. Staff Analysis:

Disturbance of Sensitive Lands for development or grading not associated with subdivisions or single-family dwellings must be reviewed by the Planning Commission, as cited below in HCC Sec. 10-24-4(B)(1), which states:

“Any proposal for development other than building and grading permits for a single-family dwelling shall be reviewed by the Planning Commission to determine compliance with requirements of this chapter. A development plan required for a project subject to [chapter 39](#), “subdivisions,” of this title shall be reviewed and approved by the Planning Commission at the preliminary plat stage. Appeals of a Planning Commission decision on sensitive land issues shall be made to the City Council.” (emphasis added)

The project's engineer has certified that the dirt at the barrow site is artificial fill that was placed there at an indeterminate date. The fill will be removed and used across the street for development of the applicant's storage facility project. Since the Hurricane Cliffs are considered to be a unique and significant geologic feature that should be preserved and protected, staff's main concern was that the site be protected from unnecessary scarring. Accordingly, staff has required submission of a grading plan that demonstrates how the site will be treated at the end of grading so that no scarring is left. Upon cessation of grading activities at the barrow area, the site should be graded to smooth out any sharp contours so as to blend in with the immediately adjacent landscape.

3. Staff Recommendation:

Based on the grading plans submitted by the applicant's engineer, Staff finds that the intent and requirements of the Sensitive Lands Ordinance have been substantially met. Staff recommends that the Planning Commission review this application based on the Hurricane City code and standards, and approve the application subject to staff findings and comments.



20 South 850 West #1
Hurricane, Utah 84737
(435) 668-8307

GRADING MEMORANDUM

Date: February 26, 2024
To: Whom it may Concern
From: ProValue Engineering
Subject: **LOYD & LINDA JESSOP PROPERTY GRADING**

The objective of this memorandum is to present a map & calculations of the grading analysis conducted on Loyd & Linda Jessop property at 581 W 2300 S #152-14, Hurricane, Washington County, Utah, which material is being used in conjunction with the Angell Heights Storage project.

PROJECT DESCRIPTION

The proposal encompasses the grading of 3/4 of an acre in the new area shown on the map. See Figure 1 attached.



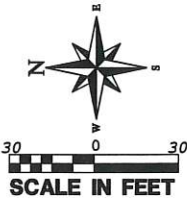
PROJECT
LOCATION



Figure 1- Grading Location Map

POST GRADING PLAN FOR:
JESSOP BORROW PIT

LOCATED IN SECTION 10, T42S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	FENCE LINE
	CENTER LINE
	CURB AND GUTTER
	PUBLIC UTILITY EASEMENT
	EXISTING 1' CONTOURS
	EXISTING 5' CONTOURS
	PROPOSED 1' CONTOURS
	PROPOSED 5' CONTOURS



Know what's below.
Call 811 before you dig.

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

REVISIONS		DATE	BY
NO	DESCRIPTION		

PROVALUE
ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-868-8307



POST GRADING PLAN FOR:
JESSOP BORROW PIT
LOCATED IN SECTION 10, T42S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

300-007 ANGEL HEIGHTS STORAGE CONSTRUCTION.DWG

DATE	3/6/2024
SCALE	1"=30'
JOB NO.	300-007
SHEET NO.	



Application

Valuation	\$	0.00
PERMIT FEES		
Planning Fee	\$	200.00
Sub Total:	\$	200.00
Permit Total:	\$	200.00
Amount Paid:	\$	0.00
Remaining Due:	\$	200.00



STAFF COMMENTS

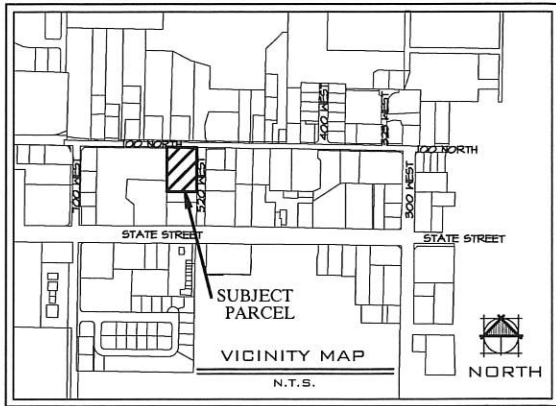
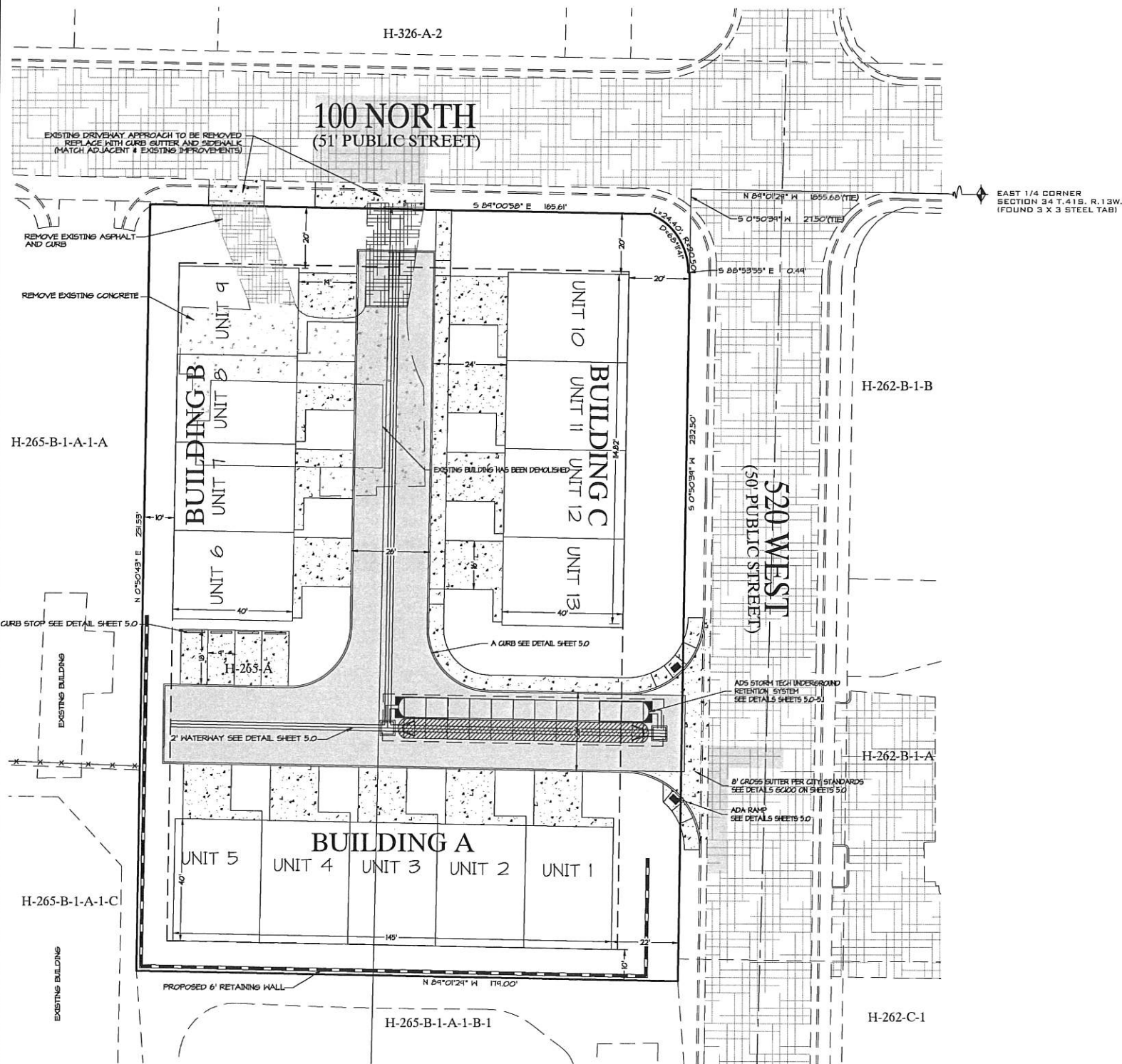
Agenda Date:	03/14/2024
Application Number:	FSP24-27
Type of Application:	Final Site Plan Application
Action Type:	Administrative
Applicant:	Hat Trick Holdings LLC
Agent:	Tyler Hughes
Request:	Final Site Plan Application
Location:	520 W 100 N
Zoning:	RM-3
General Plan Map:	Multifamily
Recommendation:	Continue this item pending a compliant landscaping plan.
Report Prepared by:	Fred Resch III/Gary Cupp

Discussion:

The applicant is seeking approval of a final site plan for the Hat Trick Townhomes, a 13 unit townhome development located along 520 W. This project is north of Fiiz and Quick Quack Car Wash and there was an existing home on site that has since been removed.

- a. *Location of walkways;*
 - b. *Width of walkways;*
 - c. *Connection points between adjacent properties;*
 - d. *Location of active transportation master plan trails, if any, in the vicinity of the property and any internal pathways connections to these trails;*
 - e. *Connections between residential buildings and amenities; and*
 - f. *Street crossings and crosswalks which shall be clearly marked.*
- a. Sidewalks are shown along most of the streets and a pedestrian path to 100 N is provided, staff appreciates the connectivity.
- 5. Pursuant to Hurricane City's access management policy, access to 100 N from this property should be avoided with consideration of 520 W and the existing driveway to the west. They will need to provide this access if necessary for fire access or utility looping.
 - 6. Adjoining properties and uses should be shown on the site plan.
 - 7. A note has been added to the plans that all outdoor lighting will comply with HCC 10-33-7.
 - 8. A landscaping plan has been provided that does not meet Hurricane City Code.
 - a. Per HCC 10-32-6(F) *Landscaping in a multiple residential development. Open space and common areas within a multiple residential development shall include a minimum of one tree and two shrubs per dwelling unit.* No tree or shrub information has been provided.
 - b. Per HCC 10-32-12(B) *Lawn Allowances: Attached multi-family residential - up to 100 square feet per dwelling unit used in functional applications. Properties with less than 6 dwelling units are allowed up to 600 square feet of lawn.* Each unit is being depicted with approximately 197 sq ft of lawn which is not permitted, front lawn space also generally does not count as "functional." Staff recommends no lawn space be provided in this development
 - 9. Building elevations have been provided. All units will be under 35' tall.

Recommendation: Staff recommends the Planning Commission review this application based on standards within Hurricane City Code. Staff recommends continuing this application until a compliant landscaping plan is provided.



PROJECT OWNER/DEVELOPER
HAT TRICK HOLDINGS LLC
9 EAST EXCHANGE PL. STE 600
SALT LAKE CITY, UT 84143
CONTACT: MARK FAIRBANKS
(435) 680-3543

PROJECT ENGINEER
ROSENBERG ASSOCIATES
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UT 84790
CONTACT: JARED BATES
(435) 673-0586

PROJECT GEOTECHNICAL
LANDMARK TESTING & ENGINEERING
1715 EAST FACTORY DRIVE
ST. GEORGE, UTAH 84790
CONTACT: KENT NELSON
(435) 966-0566

SITE DATA

PARCEL #
H-265-A

GENERAL PLAN: MULTIFAMILY
CURRENT ZONE: RM-3

TOTAL AREA:

TOTAL AREA:	45,095 SQ. FT.
BUILDING:	15,080 SQ. FT.
HARD SURFACE:	13,870 SQ. FT.
OPEN SPACE:	16,145 SQ. FT.

PARKING:
TOTAL PARKING REQUIRED (2 SPACES PER UNIT)
2(13) = 26 SPACES

TOTAL PARKING PROVIDED
2 CAR GARAGE PER UNIT (13 UNITS)=26 SPACES
ADDITIONAL OFF SITE PARKING = 4 SPACES
TOTAL PARKING PROVIDED = 30 SPACES

- LEGEND:**
- 2650 ----- EXISTING 1' CONTOUR
 - 2650 ----- EXISTING 5' CONTOUR
 - 2650 ----- PROPOSED 1' CONTOUR
 - 2650 ----- PROPOSED 5' CONTOUR
 - ⊗ EXISTING CATCH BASIN
 - PROPOSED CURB INLET CATCH BASIN
 - PROPOSED CATCH BASIN
 - ▬ PROPOSED RETAINING WALL
 - ▨ EXISTING ASPHALT
 - ▨ PROPOSED 3" ASPHALT
 - X-X-X- EXISTING FENCE

811
Know what's below.
Call before you dig.

UTAH STATE ENGINEERING BOARD
JARED W. BATES
267604
Professional Engineer
State of Utah

0 20' 40'
SCALE: 1"=20'

DATE: 12/15/23
JOB NO.: 13613-23
DESIGNED BY: TKH
CHECKED BY: JJB
DWG: TKH CON

REVISIONS
DATE: 01/23/24
CITY: REDLINES
CITY: REDLINES

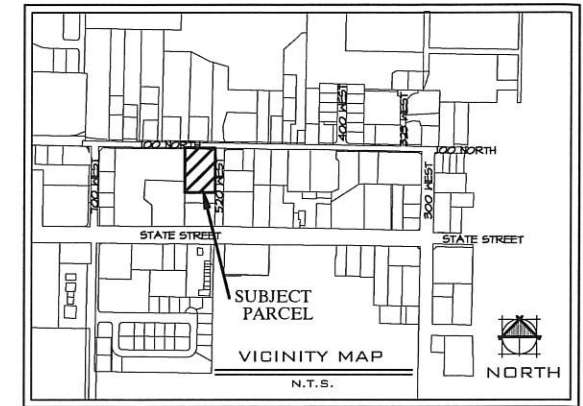
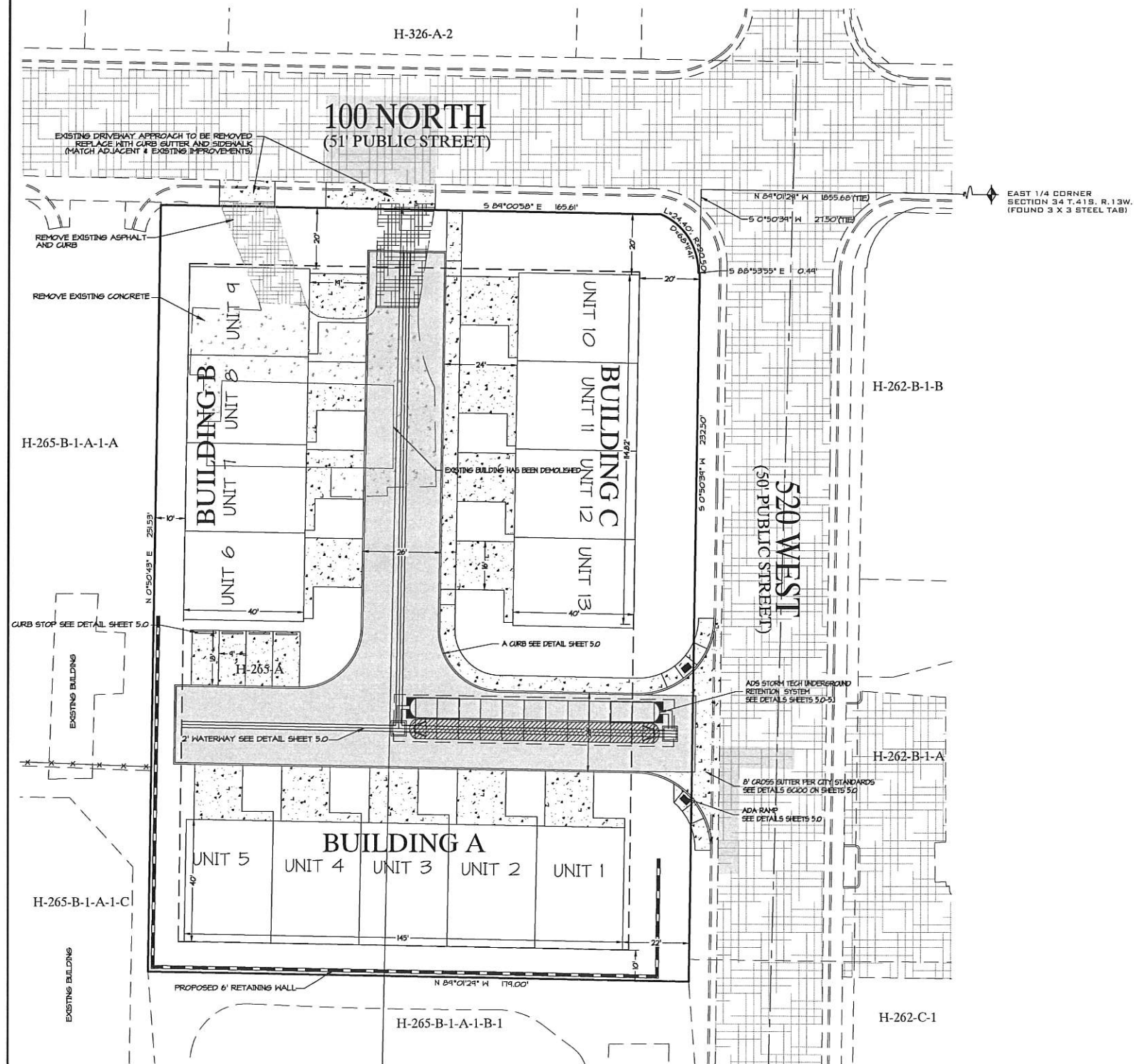
ROSENBERG
A S S O C I A T E S
CIVIL ENGINEERS • LAND SURVEYORS

312 East Riverside Drive, Suite 212 St. George, Utah 84790
Phone: (435) 673-0586 Fax: (435) 673-0587 www.rosenberg.com

SITE PLAN
FOR
HAT TRICK TOWNHOMES
HURRICANE
UTAH

2023
JARED W. BATES
267604
Professional Engineer
State of Utah

SHEET
2.0
2 OF 10 SHEETS



PROJECT OWNER/ DEVELOPER
HAT TRICK HOLDINGS LLC
1 EAST EXCHANGE PL STE 600
SALT LAKE CITY, UT 84111
CONTACT: MARK FAHRENKAMP
(435) 680-3543

PROJECT ENGINEER
ROSENBERG ASSOCIATES
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UT 84790
CONTACT: JARED BATES
(435) 673-8586

PROJECT GEOTECHNICAL
LANDMARK TESTING & ENGINEERING
175 EAST FACTORY DRIVE
ST. GEORGE, UTAH 84710
CONTACT: KENT NELSON
(435) 986-0566

SITE DATA

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H-265-A
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- PROPOSED CATCH BASIN
- PROPOSED RETAINING WALL
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- PROPOSED 3" ASPHALT
- EXISTING FENCE



UTAH
STATE
ENGINEERING
JARED W. BATES
2167624
2016

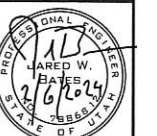
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SCALE: 1"=20'

DATE	12/15/23
JOB NO.	13613-23
DESIGNED BY:	TKH
CHECKED BY:	JNB
DWG:	TKH CON
DATE	01/23/24
CITY REVISIONS	02/04/24
CITY REVISIONS	



312 East Riverside Drive, Suite A-216, St. George, Utah 84790
Phone: (435) 673-8586 Fax: (435) 673-8587 www.rosenberg.com

SITE PLAN
FOR
HAT TRICK TOWNHOMES
HURRICANE
UTAH



SHEET
2.0
2 OF 10 SHEETS

HAT TRICK TOWNHOMES

BUILDING A 5-PLEX

545 WEST 100 NORTH
HURRICANE, UTAH 84737

DECEMBER 15, 2023
PERMIT SET

DRAWING INDEX	
NUMBER	DESCRIPTION
GI000	COVER SHEET
GI001	GENERAL PROJECT NOTES
GI002	WALL TYPES
1.0	COVER SHEET
2.0	SITE PLAN
2.1	FIRE ACCESS PLAN
3.0	GRADING PLAN
3.1	GRADING CROSS SECTION
4.0	UTILITY PLAN
4.1	UTILITY NOTES AND DETAILS
4.2	UTILITY NOTES AND DETAILS
5.0	DETAIL SHEET
5.1	DETAIL SHEET
AD101	ARCHITECTURAL DEMOLITION SITE PLAN
AS101	ARCHITECTURAL SITE PLAN
S1	ROOF FRAMING PLAN
S2	FLOOR FRAMING PLAN
S3	SECOND STORY SHEAR WALL PLAN
S4	FIRST STORY SHEAR WALL PLAN
S5	FOUNDATION PLAN
S6	STRUCTURAL DETAIL SHEET
S7	STRUCTURAL DETAIL SHEET
AE001	FLATWORK PLAN
AE002	EDGE OF SLAB PLAN
AE101	MAIN LEVEL FLOOR PLAN
AE102	UPPER LEVEL FLOOR PLAN
AE101	ROOF PLAN
AE201	EXTERIOR ELEVATIONS
AE202	EXTERIOR ELEVATIONS
AE301	BUILDING SECTIONS
AE401	ENLARGED UNIT MAIN LEVEL PLAN
AE402	ENLARGED UNIT UPPER LEVEL PLAN
AE501	CONSTRUCTION DETAILS
AE502	CONSTRUCTION DETAILS
AE601	WINDOW AND DOOR SCHEDULES
E1	ELECTRICAL SYMBOLS AND NOTES
E2	BUILDING 3 - ONE LINE AND CALCS



HAT TRICK
TOWNHOMES
545 WEST 100 NORTH
HURRICANE, UTAH 84737













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











ISSUE TYPE:	DATE:
PERMIT SET	2023-12-15
PROJECT NUMBER:	001050
DRAWN BY:	K.B.
CHECKED BY:	J.A.

COVER SHEET

GI000

PROJECT TEAM		PROJECT INFORMATION		MATERIALS LEGEND							
ARCHITECT DESERT EDGE ARCHITECTURE 720 S. RIVER RD., STE. D2100-B ST. GEORGE, UTAH 84790 435.673.7362 jeff@desertedge.co		GOVERNING CODES: 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 INTERNATIONAL ENERGY CODE (IECC) 2012 UTAH ENERGY CONSERVATION CODE (RESCheck)		 CONCRETE							
STRUCTURAL ENGINEER ROSENBERG ASSOCIATES 352 E. RIVERSIDE DRIVE, STE. A2 ST. GEORGE, UTAH 84790 435.673.8586 miker@racivil.com		AREA CALCULATIONS <table><tr><th>BUILDING</th><th>AREA</th></tr><tr><td>UNIT</td><td>2,185 S.F.</td></tr><tr><td>FOUR PLEX</td><td>8,740 S.F.</td></tr></table>		BUILDING	AREA	UNIT	2,185 S.F.	FOUR PLEX	8,740 S.F.	 GYPSUM BOARD OR GROUT MORTAR	
BUILDING	AREA										
UNIT	2,185 S.F.										
FOUR PLEX	8,740 S.F.										
CIVIL ENGINEER ROSENBERG ASSOCIATES 352 E. RIVERSIDE DRIVE, STE. A2 ST. GEORGE, UTAH 84790 435.673.8586 jaredb@racivil.com		HEIGHT CALCULATIONS <table><tr><td>MAX. HEIGHT</td><td>30'-3"</td></tr></table>		MAX. HEIGHT	30'-3"	 BATT INSULATION					
MAX. HEIGHT	30'-3"										
		PROVIDE BACK FLOW PREVENTORS FOR THE FOLLOWING ITEMS. - LANDSCAPE IRRIGATION SYSTEM, AND MECHANICAL BOILERS (IF INSTALLED)		 RIGID INSULATION							
		DEFERRED SUBMITTALS LIST: • PREFABRICATED TRUSS ENGINEERING, LAYOUT, ETC. • STUCCO SYSTEM SUBMITTALS • ELECTRICAL & MECHANICAL DESIGN BUILD		 PLYWOOD							
				 ROUGH WOOD-CONTINUOUS							
				 ROUGH WOOD-BLOCKING							
				 WOOD TRIM							
				 STEEL							
				 GRAVEL							
				 EARTH							
				 TILE							

ABBREVIATIONS				GRAPHIC SYMBOLS	
#	NUMBER	E.W.C.	ELECTRIC WATER COOLER		FLOOR OR POINT ELEVATION
@	AT	F.D.	FLOOR DRAIN		CENTER LINE
Q	CENTER LINE	FDN.	FOUNDATION		KEY NOTE
Ø	DIAMETER	FDTN.	FOUNDATION		WALL TYPE
L	ANGLE	F.E.	FIRE EXTINGUISHER		DOOR NUMBER
3L	THREE LAYERS	F.E.C.	FIRE EXTINGUISHER CABINET		WINDOW NUMBER
A.B.	ANCHOR BOLT	F.F.	FINISH FLOOR		REVISION TAG
ABV.	ABOVE	FIN.	FINISH FLOOR		DETAIL
ADJ.	ADJUSTABLE	FLR.	FLOOR		WALL SECTION
A.F.F.	ABOVE FINISH FLOOR	FT.	FOOTING		BUILDING SECTION
A.I.A.	AMERICAN INSTITUTE OF ARCHITECTS	GA.	GAGE/GAUGE		ROOM NAME
ALUM.	ALUMINUM	GAL.	GALLON		ROOM NAME & NUMBER
APPROX.	APPROXIMATE	GALV.	GALVANIZED		
ARCH.	ARCHITECT/ARCHITECTURAL	GFCI	GOVERNMENT FURNISHED		
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS	GFGI	GOVERNMENT INSTALLED		
D.B.A.	DEFORMED BAR ANCHOR	GPM	GALLONS PER MINUTE		
BD.	BOARD	GND.	GROUND		
BITUM.	BITUMINOUS	GOVT.	GOVERNMENT		
B.M.	BENCHMARK	GWB.	GYPSUM WALL BOARD		
B.O.	BOTTOM OF	GYP. BD.	GYPSUM WALL BOARD		
BOT.	BOTTOM	HC.	HANDICAPPED		
B.P.	BASE PLATE	HDW.	HARDWARE		
BRG.	BEARING	H.M.	HOLLOW METAL		
BTWN.	BETWEEN	HORIZ.	HORIZONTAL		
CER.	CERAMIC	HR.	HOUR		
C.J.	CONSTRUCTION JOINT	H.S.A.	HEADSTUD ANCHOR		
CLG.	CEILING	HT.	HEIGHT		
CLR.	CLEAR	HVAC	HEATING/VENTILATION/AIR CONDITIONING		
CMU	CONCRETE MASONRY UNIT	HYD	HYDRANT		
COL.	COLUMN	I.D.	INSIDE DIAMETER		
CONC.	CONCRETE	I.F.	INSIDE FACE		
CONT.	CONTINUOUS	IN.	INCHES		
CONST.	CONSTRUCTION	INFO.	INFORMATION		
COORD.	COORDINATE	INSUL.	INSULATION		
C.P.	CAP PLATE	LAV.	LAVATORY		
C.T.J.	CONTRACTION JOINT	LT.	DOUBLE		
DBL.	DOUBLE	LT. WT.	LIGHT WEIGHT		
DEPT.	DEPARTMENT	MAINT.	MAINTENANCE		
DET.	DETAIL	MANUF.	MANUFACTURER		
DIA.	DIAMETER	MAX.	MAXIMUM		
DTL.	DETAIL	MAT.	MATERIAL		
DWGS.	DRAWINGS	M.C.J.	MASONRY CONTROL JOINT		
EA.	EACH	MECH.	MECHANICAL		
E.F.	EACH FACE	MFR.	MANUFACTURER		
E.J.	EXPANSION JOINT	MISC.	MISCELLANEOUS		
EL.	ELEVATION	M.O.	MASONRY OPENING		
ELEV.	ELEVATION	MTL.	METAL		
EQ.	EQUAL	N.I.C.	NOT IN CONTRACT		
E.S.	EACH SIDE	NO.	NUMBER		
E.W.	EACH WAY	N.T.S.	NOT TO SCALE		
EXIBT.	EXISTING	ON CTR.	ON CENTER		
EXPAN.	EXPANSION				
EXT.	EXTERIOR				



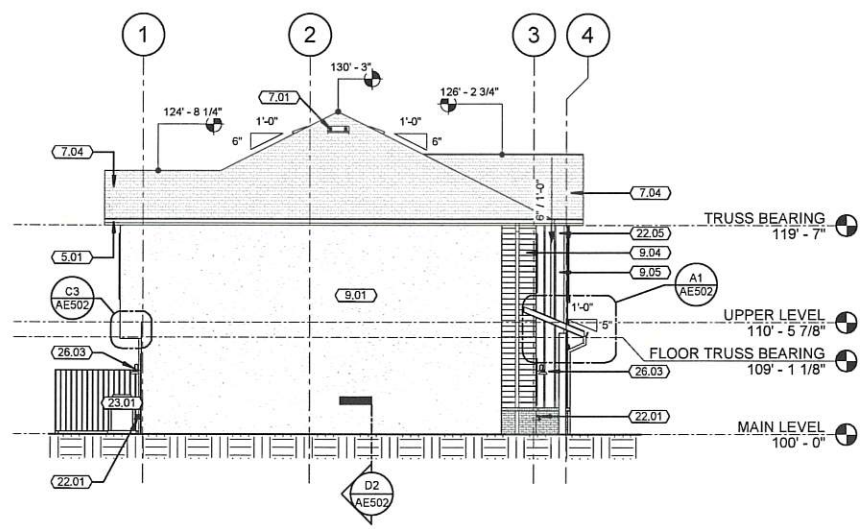
PERSPECTIVE VIEWS ARE TO SHOW GENERAL DESIGN INTENT ONLY

D

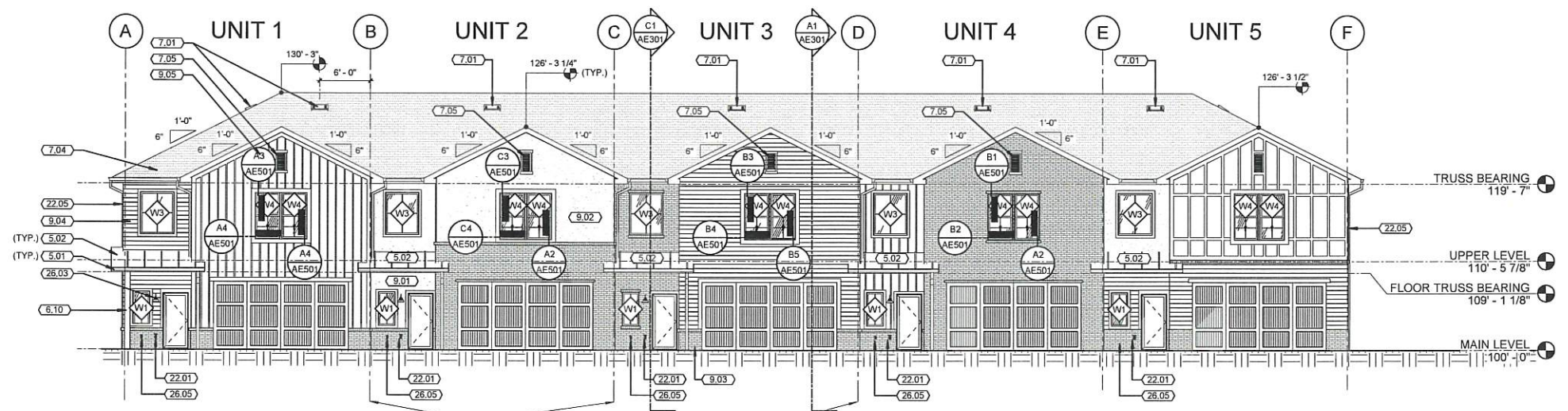
C

B

A



C2 LEFT EXTERIOR ELEVATION
1/8" = 1'-0"



A1 FRONT EXTERIOR ELEVATION
1/8" = 1'-0"

FIRE-RESISTIVE RATING MUST EXTEND THE FULL LENGTH OF WALL OR ASSEMBLY, INCLUDING WALL EXTENSIONS THROUGH AND SEPARATING ATTACHED ENCLOSED ACCESSORY STRUCTURES (SEE R 302.2.1)

GENERAL NOTES

- A. PROVIDE FRESH AND COMBUSTION AIR INTAKES AS REQUIRED FOR MECHANICAL SYSTEMS. ROUTE DUCTWORK THROUGH ROOF ASSEMBLY.
- B. COMBINE ALL PLUMBING VENTS TO MINIMIZE THE NUMBER OF PENETRATIONS THROUGH THE ROOF ASSEMBLY. ROUTE VENT PIPING SO AS TO NOT BE VISIBLE FROM FRONT OF THE BUILDING.
- C. SLOPE ALL LANDSCAPING GRADES AWAY FROM THE BUILDING 8" FOR FIRST 10'-0" FROM BUILDING.

KEYNOTES

- 5.01 PRE-FINISHED METAL RAINGUTTER.
- 5.02 PRE-FINISHED METAL STANDING SEAM ROOFING.
- 6.10 8"x8" TIMBER PORCH COLUMN.
- 7.01 OHAGIN FLAT STYLE ROOF VENT AS REQUIRED BY IRC R806.2.
- 7.04 CONCRETE TILE ROOFING OVER UNDERLAYMENT INSTALLED PER IRC TABLE R905.3.
- 7.05 ATTIC VENT (8"x12" MINIMUM).
- 9.01 STUCCO SYSTEM, COLOR 1, SEE WALL TYPES. COORDINATE COLOR WITH OWNER.
- 9.02 STUCCO SYSTEM, COLOR 2, SEE WALL TYPES. COORDINATE COLOR WITH OWNER.
- 9.03 THIN BRICK VENEER, SEE WALL TYPES. COORDINATE DESIGN AND COLOR WITH OWNER.
- 9.04 LAP SIDING, SEE WALL TYPES. COORDINATE DESIGN AND COLOR WITH OWNER.
- 9.05 BOARD AND BATTEN, SEE WALL TYPES. COORDINATE DESIGN AND COLOR WITH OWNER.
- 22.01 EXTERIOR HOSE BIB. COORDINATE LOCATIONS WITH OWNER.
- 22.05 PRE-FINISHED METAL RAINGUTTER DOWNSPOUT. CONNECT TO LANDSCAPE DRAINAGE.
- 23.01 MOUNT AC CONDENSER UNIT ON 4" CONCRETE PAD.
- 26.03 WALL MOUNTED LIGHT FIXTURE. COORDINATE WITH OWNER ON FIXTURE TYPE AND MOUNTING HEIGHT PRIOR TO ROUGH-IN.
- 26.05 EXTERIOR WEATHER PROOF OUTLET.



HAT TRICK TOWNHOMES

545 WEST 100 NORTH HURRICANE, UTAH 84737

STAMP



ISSUE TYPE:	DATE:
PERMIT SET	2023-12-15
PROJECT NUMBER:	001050
DRAWN BY:	K.B.
CHECKED BY:	J.A.

EXTERIOR ELEVATIONS

AE201

A



























AE202

HAT TRICK TOWNHOMES

BUILDING B 4-PLEX

545 WEST 100 NORTH
HURRICANE, UTAH 84737

DECEMBER 15, 2023
PERMIT SET

PROJECT TEAM	PROJECT INFORMATION	MATERIALS LEGEND																																																																																																																																																																																																																																																																																																																																			
ARCHITECT DESERT EDGE ARCHITECTURE 720 S. RIVER RD., STE. D2100-B ST. GEORGE, UTAH 84790 435.673.7362 jeff@desertedge.co STRUCTURAL ENGINEER ROSENBERG ASSOCIATES 352 E. RIVERSIDE DRIVE, STE. A2 ST. GEORGE, UTAH 84790 435.673.8586 miker@racivil.com CIVIL ENGINEER ROSENBERG ASSOCIATES 352 E. RIVERSIDE DRIVE, STE. A2 ST. GEORGE, UTAH 84790 435.673.8586 jaredb@racivil.com	GOVERNING CODES: 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 INTERNATIONAL ENERGY CODE (IECC) 2012 UTAH ENERGY CONSERVATION CODE (RECheck) AREA CALCULATIONS <table><tr><th>BUILDING</th><th>AREA</th></tr><tr><td>UNIT</td><td>2,185 S.F.</td></tr><tr><td>FOUR PLEX</td><td>8,740 S.F.</td></tr></table> HEIGHT CALCULATIONS <table><tr><th>MAX. HEIGHT</th><th>30'-3"</th></tr></table> PROVIDE BACK FLOW PREVENTORS FOR THE FOLLOWING ITEMS, - LANDSCAPE IRRIGATION SYSTEM, AND MECHANICAL BOILERS (IF INSTALLED) DEFERRED SUBMITTALS LIST: <ul style="list-style-type: none">• PREFABRICATED TRUSS ENGINEERING, LAYOUT, ETC.• STUCCO SYSTEM SUBMITTALS• ELECTRICAL & MECHANICAL DESIGN BUILD	BUILDING	AREA	UNIT	2,185 S.F.	FOUR PLEX	8,740 S.F.	MAX. HEIGHT	30'-3"	 CONCRETE  GYPSUM BOARD OR GROUT MORTAR  BATT INSULATION  RIGID INSULATION  PLYWOOD  ROUGH WOOD-CONTINUOUS  ROUGH WOOD-BLOCKING  WOOD TRIM  STEEL  GRAVEL  EARTH  TILE																																																																																																																																																																																																																																																																																																																											
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BD.</td><td>GYPSUM WALL BOARD</td><td>RM.</td><td>ROOM</td></tr><tr><td>BOT.</td><td>BOTTOM</td><td>HC.</td><td>HANDICAPPED</td><td>R.O.</td><td>ROUGH OPENING</td></tr><tr><td>B.P.</td><td>BASE PLATE</td><td>HDW.</td><td>HARDWARE</td><td>SCHED.</td><td>SCHEDULE</td></tr><tr><td>BRG.</td><td>BEARING</td><td>H.M.</td><td>HOLLOW METAL</td><td>S.D.I.</td><td>STEEL DECK INSTITUTE</td></tr><tr><td>BTWN.</td><td>BETWEEN</td><td>HORIZ.</td><td>HORIZONTAL</td><td>SHR.</td><td>SHOWER</td></tr><tr><td>CER.</td><td>CERAMIC</td><td>HR.</td><td>HOUR</td><td>SHT.</td><td>SHEET</td></tr><tr><td>C.J.</td><td>CONSTRUCTION JOINT</td><td>H.S.A.</td><td>HEADED STUD ANCHOR</td><td>SIM.</td><td>SIMILAR</td></tr><tr><td>CLG.</td><td>CEILING</td><td>HT.</td><td>HEIGHT</td><td>S.I.I.</td><td>STEEL JOIST INSTITUTE</td></tr><tr><td>CLR.</td><td>CLEAR</td><td>HVAC</td><td>HEATING/VENTILATION/ AIR CONDITIONING</td><td>SPEC.</td><td>SPECIFICATION</td></tr><tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>HYD.</td><td>HYDRANT</td><td>STC</td><td>SOUND TRANSMISSION COEFFICIENT</td></tr><tr><td>COL.</td><td>COLUMN</td><td>INSUL.</td><td>INSULATION</td><td>STD.</td><td>STANDARD</td></tr><tr><td>CONC.</td><td>CONCRETE</td><td>INSUL.</td><td>INSULATION</td><td>STIFF.</td><td>STIFFENER</td></tr><tr><td>CONT.</td><td>CONTINUOUS</td><td>IN.</td><td>INCHES</td><td>STR.</td><td>STRUCTURAL</td></tr><tr><td>CONST.</td><td>CONSTRUCTION</td><td>INFO.</td><td>INFORMATION</td><td>SUPER.</td><td>SUPERVISOR</td></tr><tr><td>COORD.</td><td>COORDINATE</td><td>INSUL.</td><td>INSULATION</td><td>SUSP.</td><td>SUSPENDED</td></tr><tr><td>C.P.</td><td>CAP PLATE</td><td>LAV.</td><td>LAVATORY</td><td>THRU</td><td>THROUGH</td></tr><tr><td>C.T.J.</td><td>CONSTRUCTION JOINT</td><td>LT.</td><td>LIGHT</td><td>T.O.</td><td>TOP OF</td></tr><tr><td>DBL.</td><td>DOUBLE</td><td>LT. WT.</td><td>LIGHT WEIGHT</td><td>T.O.A.</td><td>TOP OF ASPHALT</td></tr><tr><td>DEPT</td><td>DEPARTMENT</td><td>MAINT.</td><td>MAINTENANCE</td><td>T.O.C.</td><td>TOP OF CURB</td></tr><tr><td>DET.</td><td>DETAIL</td><td>MANUF.</td><td>MANUFACTURER</td><td>T.O.F.</td><td>TOP OF FOOTING</td></tr><tr><td>DIA.</td><td>DIAMETER</td><td>MAX.</td><td>MAXIMUM</td><td>T.O.S.</td><td>TOP OF SLAB</td></tr><tr><td>DTL.</td><td>DETAIL</td><td>MAT.</td><td>MATERIAL</td><td>T.O.W.</td><td>TOP OF WALL</td></tr><tr><td>DWGS.</td><td>DRAWINGS</td><td>M.C.J.</td><td>MASONRY CONTROL JOINT</td><td>TYP.</td><td>TYPICAL</td></tr><tr><td>EA.</td><td>EACH</td><td>MECH.</td><td>MECHANICAL</td><td>UNLESS NOTED</td><td>UNLESS NOTED</td></tr><tr><td>E.F.</td><td>EACH FACE</td><td>MFR.</td><td>MANUFACTURER</td><td>OTHERWISE</td><td>OTHERWISE</td></tr><tr><td>E.J.</td><td>EXPANSION JOINT</td><td>MIN.</td><td>MINIMUM</td><td>VCT</td><td>VINYL COMPOSITION</td></tr><tr><td>EL.</td><td>ELEVATION</td><td>MISC.</td><td>MISCELLANEOUS</td><td>VERT.</td><td>VERTICAL</td></tr><tr><td>ELEV.</td><td>ELEVATION</td><td>M.O.</td><td>MASONRY OPENING</td><td>VEST.</td><td>VESTIBULE</td></tr><tr><td>EQ.</td><td>EQUAL</td><td>MTL.</td><td>METAL</td><td>VNR.</td><td>VENEER</td></tr><tr><td>E.S.</td><td>EACH SIDE</td><td>N.I.C.</td><td>NOT IN CONTRACT</td><td>WV</td><td>WITH</td></tr><tr><td>E.W.</td><td>EACH WAY</td><td>NO.</td><td>NUMBER</td><td>WD.</td><td>WOOD</td></tr><tr><td>EXIST.</td><td>EXISTING</td><td>N.T.S.</td><td>NOT TO SCALE</td><td>W.W.F.</td><td>WELDED WIRE FABRIC</td></tr><tr><td>EXPN.</td><td>EXPANSION</td><td>O.C.</td><td>ON CENTER</td><td></td><td></td></tr><tr><td>EXT.</td><td>EXTERIOR</td><td></td><td></td><td></td><td></td></tr></table>	#	NUMBER	E.W.C.	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BOARD	GPM	GALLONS PER MINUTE	R.D.	ROOF DRAIN	BITUM.	BITUMINOUS	GND.	GROUND	RAD.	RADIUS	BLDG.	BUILDING	GOVT.	GOVERNMENT	REINF.	REINFORCED	B.M.	BENCHMARK	GWB.	GYPSUM WALL BOARD	REQ'D	REQUIRED	B.O.	BOTTOM OF	GYP. BD.	GYPSUM WALL BOARD	RM.	ROOM	BOT.	BOTTOM	HC.	HANDICAPPED	R.O.	ROUGH OPENING	B.P.	BASE PLATE	HDW.	HARDWARE	SCHED.	SCHEDULE	BRG.	BEARING	H.M.	HOLLOW METAL	S.D.I.	STEEL DECK INSTITUTE	BTWN.	BETWEEN	HORIZ.	HORIZONTAL	SHR.	SHOWER	CER.	CERAMIC	HR.	HOUR	SHT.	SHEET	C.J.	CONSTRUCTION JOINT	H.S.A.	HEADED STUD ANCHOR	SIM.	SIMILAR	CLG.	CEILING	HT.	HEIGHT	S.I.I.	STEEL JOIST INSTITUTE	CLR.	CLEAR	HVAC	HEATING/VENTILATION/ AIR CONDITIONING	SPEC.	SPECIFICATION	CMU	CONCRETE MASONRY UNIT	HYD.	HYDRANT	STC	SOUND TRANSMISSION COEFFICIENT	COL.	COLUMN	INSUL.	INSULATION	STD.	STANDARD	CONC.	CONCRETE	INSUL.	INSULATION	STIFF.	STIFFENER	CONT.	CONTINUOUS	IN.	INCHES	STR.	STRUCTURAL	CONST.	CONSTRUCTION	INFO.	INFORMATION	SUPER.	SUPERVISOR	COORD.	COORDINATE	INSUL.	INSULATION	SUSP.	SUSPENDED	C.P.	CAP PLATE	LAV.	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E.J.	EXPANSION JOINT	MIN.	MINIMUM	VCT	VINYL COMPOSITION																																																																																																																																																																																																																																																																																																																																
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EXT.	EXTERIOR																																																																																																																																																																																																																																																																																																																																				

DRAWING INDEX	
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GI000	COVER SHEET
GI001	GENERAL PROJECT NOTES
GI002	WALL TYPES
1.0	COVER SHEET
2.0	SITE PLAN
2.1	FIRE ACCESS PLAN
3.0	GRADING PLAN
3.1	GRADING CROSS SECTION
4.0	UTILITY PLAN
4.1	UTILITY NOTES AND DETAILS
4.2	UTILITY NOTES AND DETAILS
5.0	DETAIL SHEET
5.1	DETAIL SHEET
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AS101	ARCHITECTURAL SITE PLAN
S1	ROOF FRAMING PLAN
S2	FLOOR FRAMING PLAN
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S5	FOUNDATION PLAN
S6	STRUCTURAL DETAIL SHEET
S7	STRUCTURAL DETAIL SHEET
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AE202	EXTERIOR ELEVATIONS
AE301	BUILDING SECTIONS
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AE501	CONSTRUCTION DETAILS
AE502	CONSTRUCTION DETAILS
AE601	WINDOW AND DOOR SCHEDULES
E1	ELECTRICAL SYMBOLS AND NOTES
E2	BUILDING 1 - ONE LINE AND CALCS

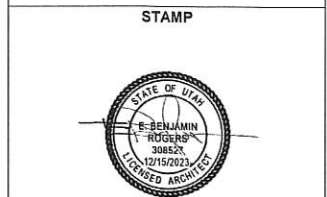


720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



220 N 1690 E BLDG. V
ST. GEORGE, UT 84790 435.674-8800 T

HAT TRICK
TOWNHOMES
545 WEST 100 NORTH
HURRICANE, UTAH 84737



ISSUE TYPE:	DATE:
PERMIT SET	2023-12-15
PROJECT NUMBER:	001050
DRAWN BY:	K.B.
CHECKED BY:	J.A.

COVER SHEET

GI000



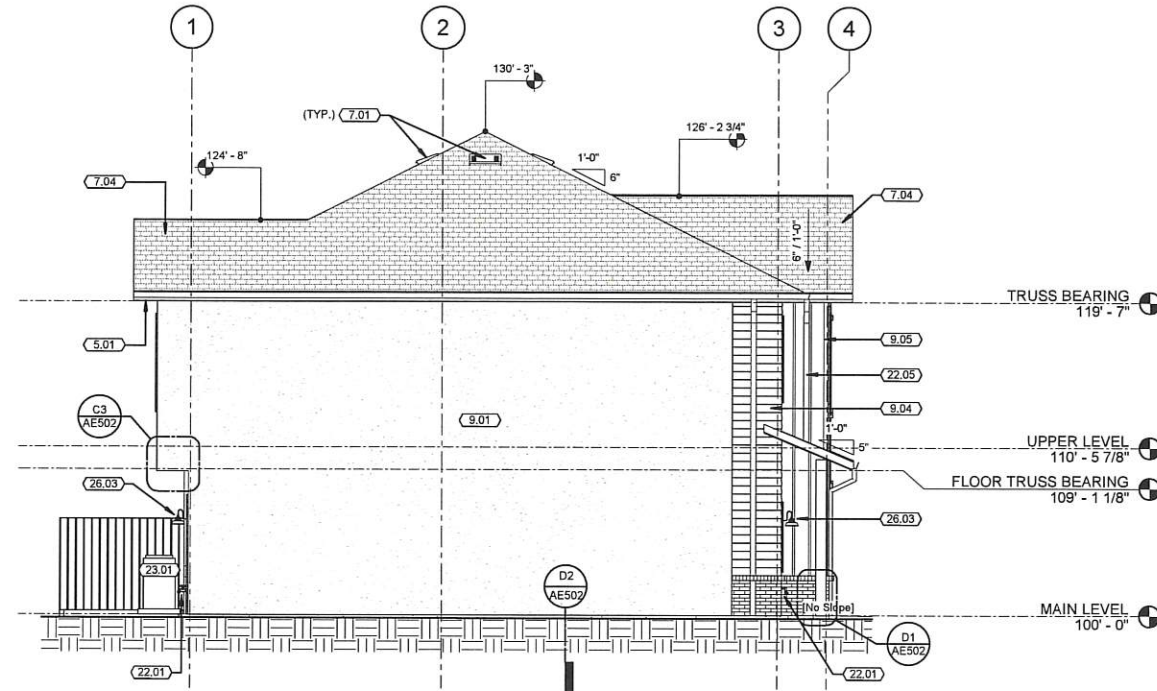
PERSPECTIVE VIEWS ARE TO SHOW GENERAL DESIGN INTENT ONLY

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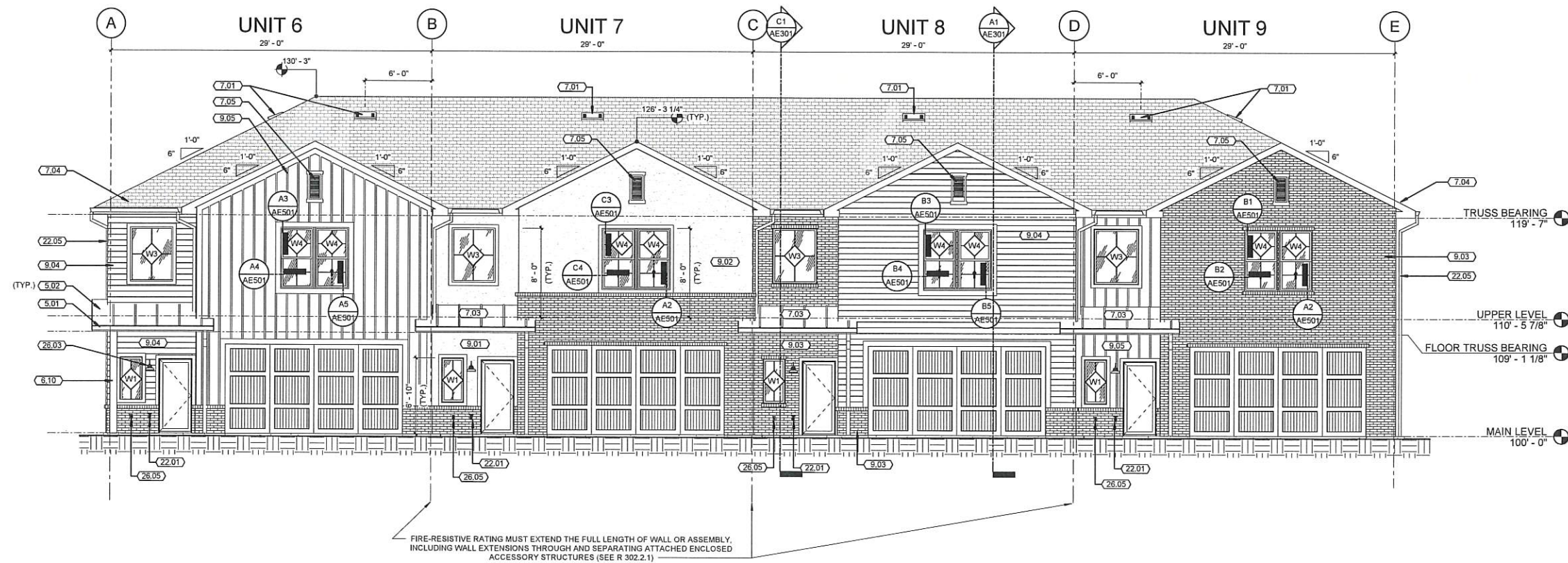
C

B

A



C2 LEFT EXTERIOR ELEVATION
3/16" = 1'-0"



A1 FRONT EXTERIOR ELEVATION
3/16" = 1'-0"

GENERAL NOTES

- PROVIDE FRESH AND COMBUSTION AIR INTAKES AS REQUIRED FOR MECHANICAL SYSTEMS. ROUTE DUCTWORK THROUGH ROOF ASSEMBLY.
- COMBINE ALL PLUMBING VENTS TO MINIMIZE THE NUMBER OF PENETRATIONS THROUGH THE ROOF ASSEMBLY. ROUTE VENT PIPING SO AS TO NOT BE VISIBLE FROM FRONT OF THE BUILDING.
- SLOPE ALL LANDSCAPING GRADES AWAY FROM THE BUILDING 8" FOR FIRST 10'-0" FROM BUILDING.

KEYNOTES

5.01	PRE-FINISHED METAL RAINGUTTER.
5.02	PRE-FINISHED METAL STANDING SEAM ROOFING.
6.10	8"X8" TIMBER PORCH COLUMN.
7.01	O'HAGIN FLAT STYLE ROOF VENT AS REQUIRED BY IRC R806.2.
7.03	PRE-FINISHED METAL STANDING SEAM ROOFING.
7.04	CONCRETE TILE ROOFING OVER UNDERLAYMENT INSTALLED PER IRC TABLE R805.3.
7.05	ATTIC VENT (8"X12" MINIMUM).
9.01	STUCCO SYSTEM, COLOR 1, SEE WALL TYPES, COORDINATE COLOR WITH OWNER.
9.02	STUCCO SYSTEM, COLOR 2, SEE WALL TYPES, COORDINATE COLOR WITH OWNER.
9.03	THIN BRICK VENEER, SEE WALL TYPES, COORDINATE DESIGN AND COLOR WITH OWNER.
9.04	LAP SIDING, SEE WALL TYPES, COORDINATE DESIGN AND COLOR WITH OWNER.
9.05	BOARD AND BATTEN, SEE WALL TYPES, COORDINATE DESIGN AND COLOR WITH OWNER.
22.01	EXTERIOR HOSE BIB, COORDINATE LOCATIONS WITH OWNER.
22.05	PRE-FINISHED METAL RAINGUTTER DOWNSPOUT, CONNECT TO LANDSCAPE DRAINAGE.
23.01	MOUNT AC CONDENSER UNIT ON 4" CONCRETE PAD.
26.03	WALL MOUNTED LIGHT FIXTURE, COORDINATE WITH OWNER ON FIXTURE TYPE AND MOUNTING HEIGHT PRIOR TO ROUGH-IN.
26.05	EXTERIOR WEATHER PROOF OUTLET.



720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



HAT TRICK TOWNHOMES

545 WEST 100 NORTH
HURRICANE, UTAH 84737

STAMP



ISSUE TYPE: PERMIT SET
DATE: 2023-12-15

PROJECT NUMBER: 001050
DRAWN BY: K.B.
CHECKED BY: J.A.

EXTERIOR ELEVATIONS

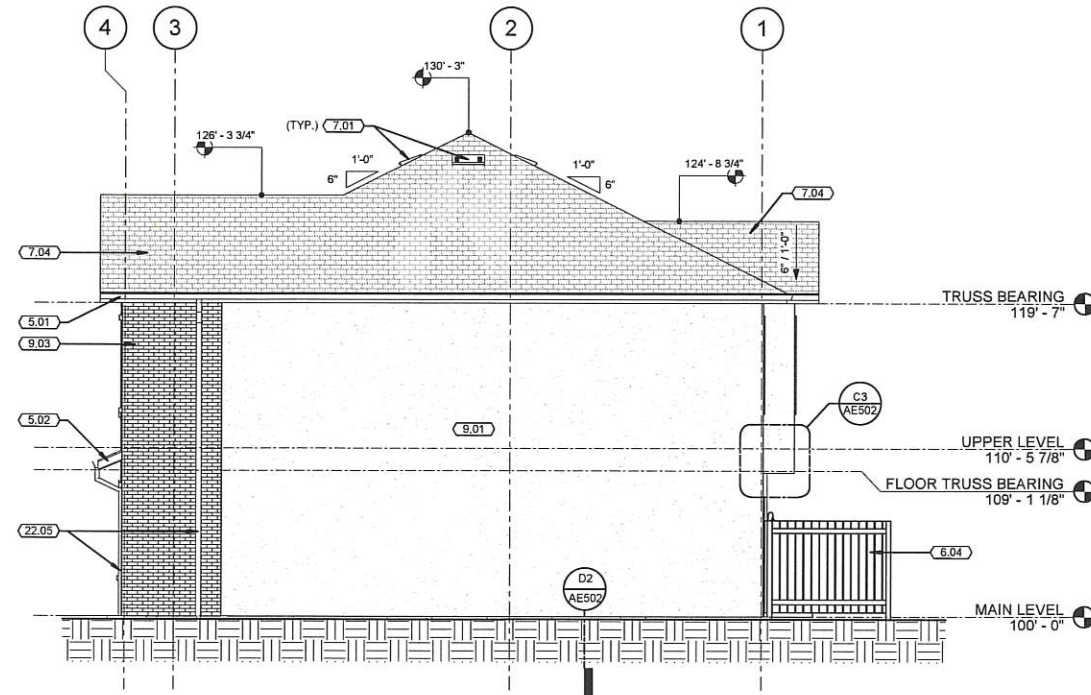
AE201

D

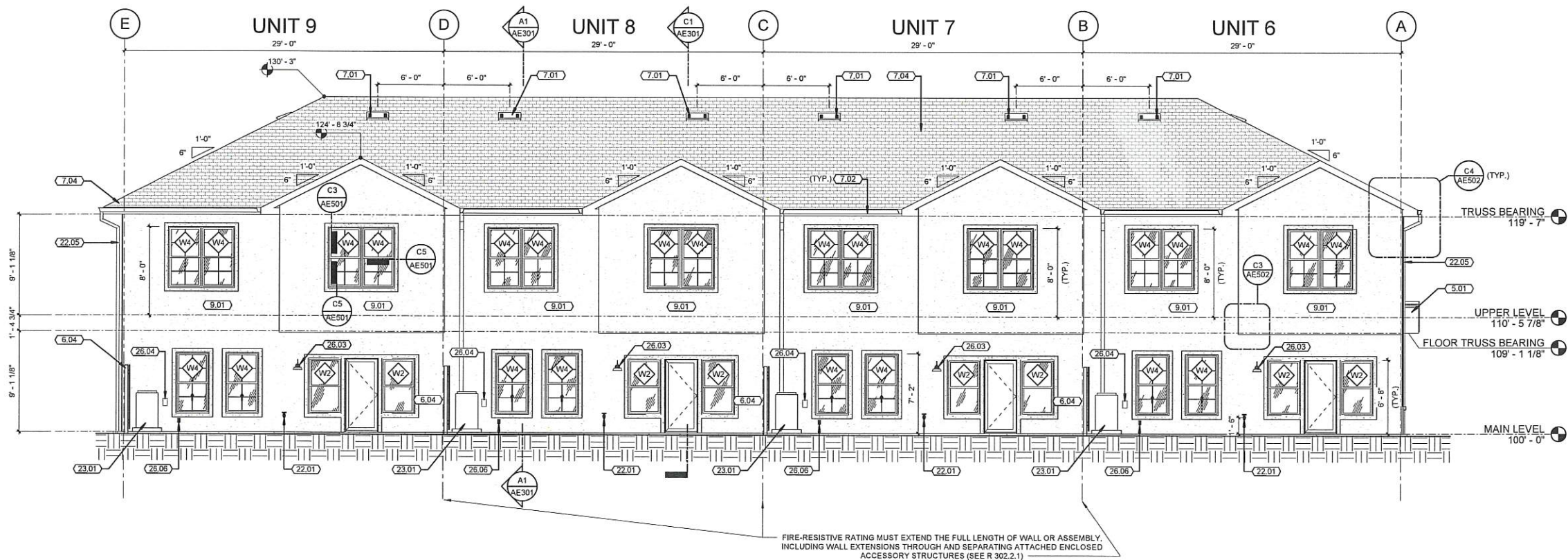
C

B

A



C2 RIGHT EXTERIOR ELEVATION
3/16" = 1'-0"



A1 REAR EXTERIOR ELEVATION
3/16" = 1'-0"

GENERAL NOTES

- PROVIDE FRESH AND COMBUSTION AIR INTAKES AS REQUIRED FOR MECHANICAL SYSTEMS. ROUTE DUCTWORK THROUGH ROOF ASSEMBLY.
- COMBINE ALL PLUMBING VENTS TO MINIMIZE THE NUMBER OF PENETRATIONS THROUGH THE ROOF ASSEMBLY. ROUTE VENT PIPING SO AS TO NOT BE VISIBLE FROM FRONT OF THE BUILDING.
- SLOPE ALL LANDSCAPING GRADES AWAY FROM THE BUILDING 8" FOR FIRST 10'-0" FROM BUILDING.

KEYNOTES

- PRE-FINISHED METAL RAINGUTTER.
- PRE-FINISHED METAL STANDING SEAM ROOFING.
- WOOD PRIVACY FENCE.
- OHAGIN FLAT STYLE ROOF VENT AS REQUIRED BY IRC R805.2.
- PRE-FINISHED METAL RAINGUTTER.
- CONCRETE TILE ROOFING OVER UNDERLAYMENT INSTALLED PER IRC TABLE R905.3.
- STUCCO SYSTEM, COLOR 1, SEE WALL TYPES. COORDINATE COLOR WITH OWNER.
- THIN BRICK VENEER, SEE WALL TYPES. COORDINATE DESIGN AND COLOR WITH OWNER.
- EXTERIOR HOSE BIB, COORDINATE LOCATIONS WITH OWNER.
- PRE-FINISHED METAL RAINGUTTER DOWNSPOUT, CONNECT TO LANDSCAPE DRAINAGE.
- MOUNT AC CONDENSER UNIT ON 4" CONCRETE PAD.
- WALL MOUNTED LIGHT FIXTURE, COORDINATE WITH OWNER ON FIXTURE TYPE AND MOUNTING HEIGHT PRIOR TO ROUGH-IN.
- PROVIDE DISCONNECT FOR EXTERIOR AC UNIT WITHIN 25'-0" OF UNIT.
- DIRECT CONNECTION FOR DISHWASHER AND DISPOSAL.



DESERT EDGE
architecture

720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



ROSENBERG
ASSOCIATES
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VAN BOERUM & FRANK ASSOCIATES, INC.
CONSULTING ENGINEERS
WWW.VBFA.COM
230 N 1680 E BLDG. V
ST. GEORGE, UT 84770 435.674-4800 T

HAT TRICK TOWNHOMES

545 WEST 100 NORTH
HURRICANE, UTAH 84737

STAMP



ISSUE TYPE: PERMIT SET
DATE: 2023-12-15

PROJECT NUMBER: 001050
DRAWN BY: K.B.
CHECKED BY: J.A.

EXTERIOR ELEVATIONS

AE202

HAT TRICK TOWNHOMES

BUILDING C 4-PLEX

545 WEST 100 NORTH
HURRICANE, UTAH 84737

DECEMBER 15, 2023
PERMIT SET

DRAWING INDEX	
NUMBER	DESCRIPTION
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GI001	GENERAL PROJECT NOTES
GI002	WALL TYPES
1.0	COVER SHEET
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3.1	GRADING CROSS SECTION
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AE402	ENLARGED UNIT UPPER LEVEL PLAN
AE501	CONSTRUCTION DETAILS
AE502	CONSTRUCTION DETAILS
AE601	WINDOW AND DOOR SCHEDULES
E1	ELECTRICAL SYMBOLS AND NOTES
E2	BUILDING 2 - ONE LINE AND CALCS



720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



HAT TRICK
TOWNHOMES
545 WEST 100 NORTH
HURRICANE, UTAH 84737

STAMP



ISSUE TYPE:	DATE:
PERMIT SET	2023-12-15
PROJECT NUMBER:	001050
DRAWN BY:	K.B.
CHECKED BY:	J.A.

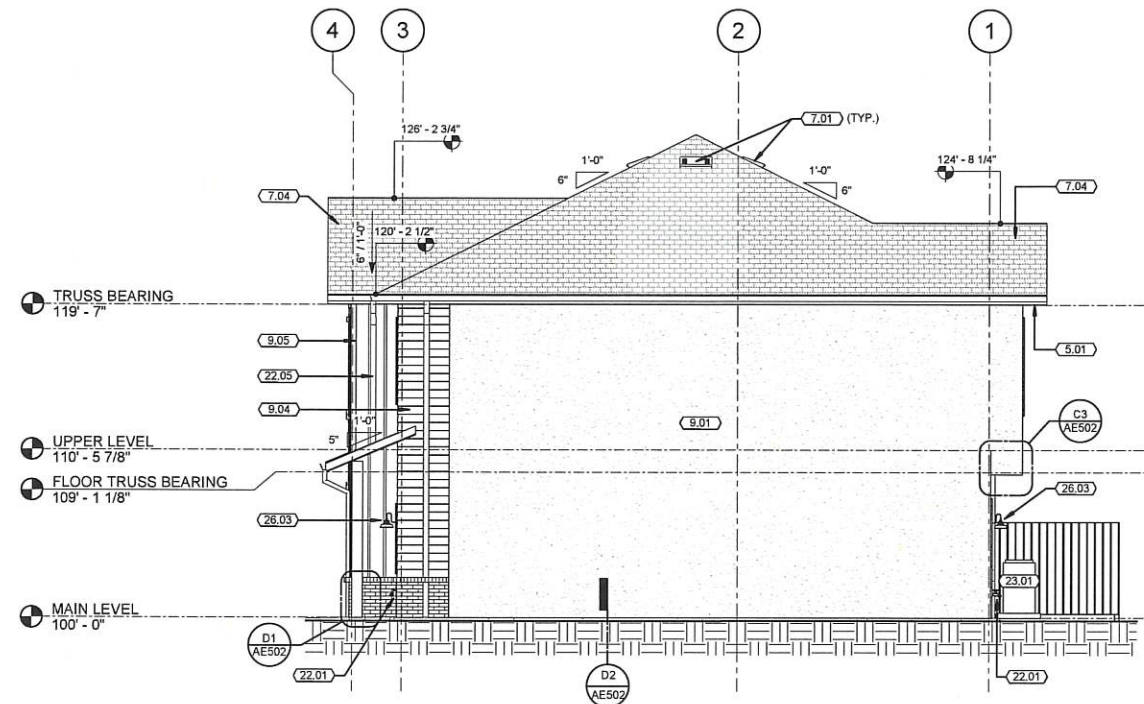
COVER SHEET

GI000

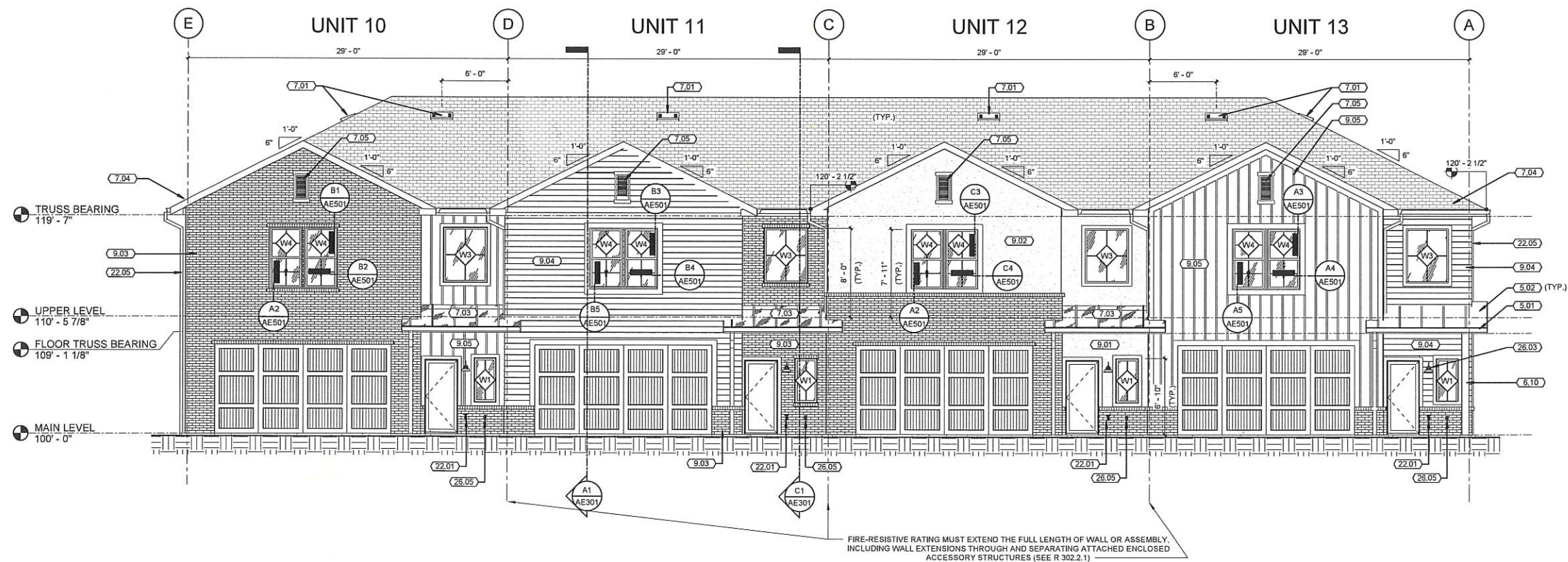
PROJECT TEAM		PROJECT INFORMATION		MATERIALS LEGEND	
ARCHITECT DESERT EDGE ARCHITECTURE 720 S. RIVER RD., STE. D2100-B ST. GEORGE, UTAH 84790 435.673.7362 jeff@desertedge.co		GOVERNING CODES: 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 INTERNATIONAL ENERGY CODE (IECC) 2012 UTAH ENERGY CONSERVATION CODE (RESCheck)		CONCRETE	
STRUCTURAL ENGINEER ROSENBERG ASSOCIATES 352 E. RIVERSIDE DRIVE, STE. A2 ST. GEORGE, UTAH 84790 435.673.8586 miker@racivil.com		AREA CALCULATIONS BUILDING AREA UNIT 2,185 S.F. FOUR PLEX 8,740 S.F.		GYPSUM BOARD OR GROUT MORTAR	
CIVIL ENGINEER ROSENBERG ASSOCIATES 352 E. RIVERSIDE DRIVE, STE. A2 ST. GEORGE, UTAH 84790 435.673.8586 jaredb@racivil.com		HEIGHT CALCULATIONS MAX. HEIGHT 30'-3"		BATT INSULATION	
		PROVIDE BACK FLOW PREVENTORS FOR THE FOLLOWING ITEMS - LANDSCAPE IRRIGATION SYSTEM, AND MECHANICAL BOILERS (IF INSTALLED)		RIGID INSULATION	
		DEFERRED SUBMITTALS LIST: • PREFABRICATED TRUSS ENGINEERING, LAYOUT, ETC. • STUCCO SYSTEM SUBMITTALS • ELECTRICAL & MECHANICAL DESIGN BUILD		PLYWOOD	
				ROUGH WOOD-CONTINUOUS	
				ROUGH WOOD-BLOCKING	
				WOOD TRIM	
				STEEL	
				GRAVEL	
				EARTH	
				TILE	
ABBREVIATIONS				GRAPHIC SYMBOLS	
#	NUMBER	E.W.C.	ELECTRIC WATER COOLER	⊕	FLOOR OR POINT ELEVATION
@	AT	F.D.	FLOOR DRAIN	⊕	CENTER LINE
⊕	CENTER LINE	FDN.	FOUNDATION	7	KEY NOTE
⊕	DIAMETER	FDN.	FOUNDATION	X	WALL TYPE
⊕	ANGLE	F.E.	FIRE EXTINGUISHER	XXXX	DOOR NUMBER
3L	THREE LAYERS	F.E.C.	FIRE EXTINGUISHER CABINET	A2	WINDOW NUMBER
A.B.	ANCHOR BOLT	F.F.	FINISH FLOOR	ADD#01	REVISION TAG
ABV.	ABOVE	FIN.	FINISH	1	DETAIL
ADJ.	ADJUSTABLE	FLR.	FLOOR	1	WALL SECTION
A.F.F.	ABOVE FINISH FLOOR	FT.	FEET	1	BUILDING SECTION
A.I.A.	AMERICAN INSTITUTE OF ARCHITECTS	FTG.	FOOTING	1	ROOM NAME
ALUM.	ALUMINUM	GA.	GAGE/GAUGE	1	ROOM NAME & NUMBER
APPROX.	APPROXIMATE	GAL.	GALLON		
ARCH.	ARCHITECT/ARCHITECTURAL	GALV.	GALVANIZED		
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS	GFCI	GOVERNMENT FURNISHED CONTRACTOR INSTALLED GOVERNMENT INSTALLED		
D.B.A.	DEFORMED BAR ANCHOR	GPM	GALLONS PER MINUTE		
BD.	BOARD	GND.	GROUND		
BITUM.	BITUMINOUS	GOVT.	GOVERNMENT		
BLDG.	BUILDING	GWS.	GYPSUM WALL BOARD		
B.M.	BENCHMARK	GYP. BD.	GYPSUM WALL BOARD		
B.O.	BOTTOM OF	HC.	HANDICAPPED		
BOT.	BOTTOM	HDW.	HARDWARE		
B.P.	BASE PLATE	H.M.	HOLLOW METAL		
BRG.	BEARING	HORIZ.	HORIZONTAL		
BTWN.	BETWEEN	HR.	HOUR		
CER.	CERAMIC	H.S.A.	HEADED STUD ANCHOR		
C.J.	CONSTRUCTION JOINT	HT.	HEIGHT		
CLG.	CEILING	HVAC	HEATING/VENTILATION/AIR CONDITIONING		
CLR.	CLEAR	HYD.	HYDRANT		
CMU	CONCRETE MASONRY UNIT	ID.	INSIDE DIAMETER		
COL.	COLUMN	IF.	INSIDE FACE		
CONC.	CONCRETE	IN.	INCHES		
CONT.	CONTINUOUS	INFO.	INFORMATION		
CONST.	CONSTRUCTION	INSUL.	INSULATION		
COORD.	COORDINATE	LAV.	LAVATORY		
C.P.	CAP PLATE	LT.	LIGHT		
C.T.J.	CONSTRUCTION JOINT	LT. WT.	LIGHT WEIGHT		
DBL.	DOUBLE	MAINT.	MAINTENANCE		
DEPT.	DEPARTMENT	MANUF.	MANUFACTURER		
DET.	DETAIL	MAX.	MAXIMUM		
DIA.	DIAMETER	MAT.	MATERIAL		
DTL.	DETAIL	M.C.J.	MASONRY CONTROL JOINT		
DWGS.	DRAWINGS	MECH.	MECHANICAL		
EA.	EACH	MFR.	MANUFACTURER		
E.F.	EACH FACE	MISC.	MISCELLANEOUS		
E.J.	EXPANSION JOINT	M.O.	MASONRY OPENING		
EL.	ELEVATION	MTL.	METAL		
ELEV.	ELEVATION	N.I.C.	NOT IN CONTRACT		
EQ.	EQUAL	NO.	NUMBER		
E.S.	EACH SIDE	N.T.S.	NOT TO SCALE		
E.W.	EACH WAY	O.C.	ON CENTER		
EXIST.	EXISTING				
EXPAN.	EXPANSION				
EXT.	EXTERIOR				



PERSPECTIVE VIEWS ARE TO SHOW GENERAL DESIGN INTENT ONLY



C2 LEFT EXTERIOR ELEVATION
3/16" = 1'-0"



(A1) FRONT EXTERIOR ELEVATION
3/16" = 1'-0"

GENERAL NOTES

- A. PROVIDE FRESH AND COMBUSTION AIR INTAKES AS REQUIRED FOR MECHANICAL SYSTEMS. ROUTE DUCTWORK THROUGH ROOF ASSEMBLY.
- B. COMBINE ALL PLUMBING VENTS TO MINIMIZE THE NUMBER OF PENETRATIONS THROUGH THE ROOF ASSEMBLY. ROUTE VENT PIPING SO AS TO NOT BE VISIBLE FROM FRONT OF THE BUILDING.
- C. SLOPE ALL LANDSCAPING GRADES AWAY FROM THE BUILDING 8" FOR FIRST 10'-0" FROM BUILDING.

KEYNOTES

- | | |
|-------|--|
| 5.01 | PRE-FINISHED METAL RAINGUTTER. |
| 5.02 | PRE-FINISHED METAL STANDING SEAM ROOFING. |
| 6.10 | 8"X8" TIMBER PORCH COLUMN. |
| 7.01 | OHAGAN FLAT STYLE ROOF VENT AS REQUIRED BY IRC R806.2. |
| 7.03 | PRE-FINISHED METAL STANDING SEAM ROOFING. |
| 7.04 | CONCRETE TILE ROOFING OVER UNDERLAYMENT INSTALLED PER IRC TABLE R805.3. |
| 7.05 | ATTIC VENT (6"X12" MINIMUM). |
| 8.01 | STUCCO SYSTEM, COLOR 1. SEE WALL TYPES, COORDINATE COLOR WITH OWNER. |
| 8.02 | STUCCO SYSTEM, COLOR 2. SEE WALL TYPES, COORDINATE COLOR WITH OWNER. |
| 9.03 | THIN BRICK VENEER, SEE WALL TYPES, COORDINATE DESIGN AND COLOR WITH OWNER. |
| 9.04 | LAP SIDING, SEE WALL TYPES, COORDINATE DESIGN AND COLOR WITH OWNER. |
| 9.05 | BOARD AND BATTEN. SEE WALL TYPES, COORDINATE DESIGN AND COLOR WITH OWNER. |
| 22.01 | EXTERIOR HOSE BIB, COORDINATE LOCATIONS WITH OWNER. |
| 22.05 | PRE-FINISHED METAL RAINGUTTER DOWNSPOUT, CONNECT TO LANDSCAPE DRAINAGE. |
| 23.01 | MOUNT AC CONDENSER UNIT ON 4" CONCRETE PAD. |
| 26.03 | WALL MOUNTED LIGHT FIXTURE, COORDINATE WITH OWNER ON FIXTURE TYPE AND MOUNTING HEIGHT PRIOR TO ROUGH-IN. |
| 26.05 | EXTERIOR WEATHER PROOF OUTLET. |



720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



HAT TRICK TOWNHOMES

545 WEST 100 NORTH
HURRICANE, UTAH 84737

STAMP



ISSUE TYPE:	DATE:
PERMIT SET	2023-12-15

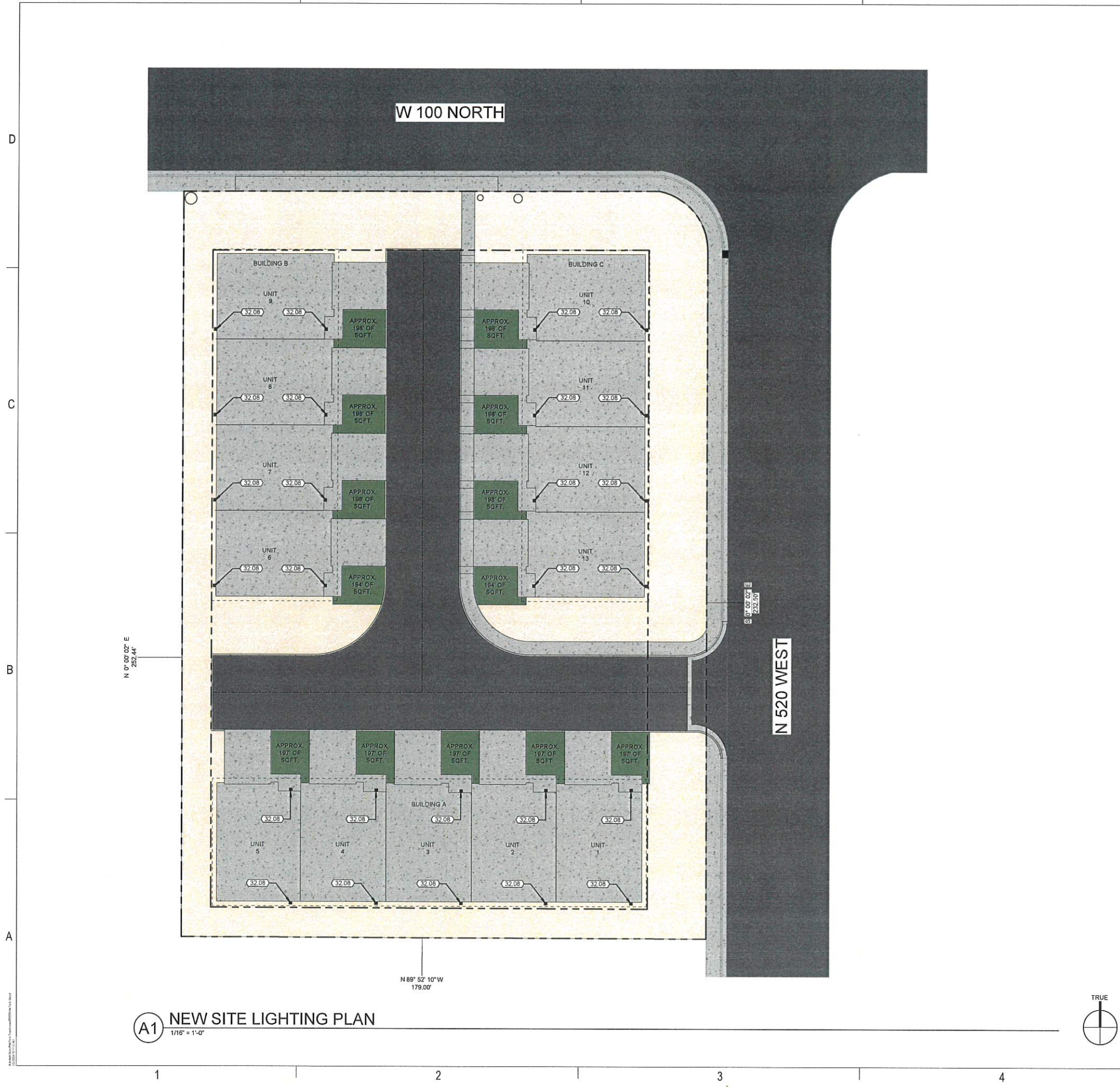
PROJECT NUMBER:	001050
DRAWN BY:	K.B.
CHECKED BY:	J.A.

EXTERIOR ELEVATIONS

AE201




- # AE202




KEYNOTES

32.08 ALL OUTDOOR LIGHTING SHALL MEET HCC 10-33-7, ELECTRICAL CONTRACTOR OR ENGINEER SHALL VERIFY COMPLIANCE WITH THE ZONING ADMINISTRATOR




DESERT EDGE
architecture

720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



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CONSULTING ENGINEERS

VBFA 230 N 1680 E BLDG. V
ST. GEORGE, UT 84770 435.674.4800 T

HAT TRICK TOWNHOMES

545 WEST 100 NORTH
HURRICANE, UTAH 84737

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




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PERMIT SET	2023-12-15
PROJECT NUMBER:	001050
DRAWN BY:	K.B.
CHECKED BY:	J.A.

ARCHITECTURAL SITE LIGHTING PLAN

AS102

LEGEND

	ASPHALT
	LANDSCAPE
	GRASS
	CONCRETE

RESOLUTION PC-01
A RESOLUTION BY THE HURRICANE CITY PLANNING COMMISSION ADOPTING
THE RULES OF PROCEDURE AND ORDER

WHEREAS, Hurricane City Code gives Hurricane City Planning Commission the power to adopt their own rules and bylaws; and

WHEREAS, it is prudent for the Planning Commission to regularly review and adopt the rules of order and bylaws.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF HURRICANE UTAH, THAT:

1. That the Hurricane City Planning Commission adopts the attached Bylaws and Rules of Procedure and Order
2. That _____ shall be selected as Chairperson and _____ be selected as Alternate Chairperson to serve a one year term, starting March 2024, to the end of February of 2025.

PASSED BY THE Hurricane City PLANNING COMMISSION THIS _____ DAY OF _____, 2024.

Planning Commission Chairperson

Planning Director

**HURRICANE CITY COMMISSION
BYLAWS: RULES OF
PROCEDURE AND ORDER**

Intent

The intent of these bylaws is to supplement the Utah Code and the Hurricane City Code regarding the affairs of the Hurricane City Planning Commission. Conflicts between Utah Code, Hurricane City Code, and these bylaws shall be resolved first by Utah Code, second by Hurricane City Code, and last, by these bylaws. It is not necessary for the bylaws to be readopted each year unless a majority of the Commission determines that a change to the bylaws is needed.

Chairperson and Alternate Chairperson

The Planning Commission shall select a Chairperson from its own members for a term of one (1) year. The Chairperson shall appoint an Alternate Chairperson, with the Planning Commission's advice and consent, to act in the Chairperson's absence. The Chairperson and Alternate Chairperson may be reelected for successive terms.

These selections shall take place at the first Planning Commission in March of each year. The Chairperson shall preside at Planning Commission meetings, or in his/her absence, the Alternate Chairperson shall preside. If neither the Chairperson or Alternate Chairperson are present at the meeting, the most senior commissioner present shall preside.

The presiding commissioner is encouraged to take part in discussion and vote on matters before the Planning Commission while at the same time maintain the opportunity for impartial discussion among commissioners.

If the Chairperson is unable to serve their remaining term, the Planning Commission, by a majority vote, may choose another member to fulfill the remaining term. If the Alternate Chairperson is unable to serve their remaining term, the Chairperson may appoint, with the advice and consent of the Planning Commission, an Alternate Chairperson for the remaining term.

By a majority vote, the Planning Commission may remove the Chairperson or Alternate Chairperson from their term of service by finding that they have violated the code of ethics within these Bylaws.

Meetings

The Planning Commission shall hold regular meetings at least once a month, and preferably twice a month. The Commission shall adopt its regular meeting schedule at its last meeting of each calendar year for the following year. The Chairperson, or in his/her absence, the Alternate Chairperson, with advice from the Planning Director, may call special meetings in addition to regular meetings or cancel a regular meeting as long as the Planning Commission meets at least once a month. The Planning Commission may amend their schedule by a vote of the Commission.

Rules of Conduct

Recognizing that the Planning Commission, as an appointed body, needs a systematic way of conducting its business, these rules of procedure are to provide for the orderly conduct of City business by the Planning Commission for full, open, and comprehensive debate of issues brought before the Planning Commission for action in a forum open to the public, and which encourages citizens' awareness of Planning Commission activities.

These procedures do not increase or diminish the existing powers or authority of the Planning Commission, as set forth in state law or local ordinance.

Planning Commission Meeting Agenda

All meetings of the Planning Commission will have a notice and agenda that complies with the Utah Public Open Meetings Act.

An item may be placed on the agenda only by the Chairperson of the Planning Commission or by the Planning Director, or at the request of a majority of Commission members. Agenda items that require a public hearing must be submitted to the Planning Director at least two (2) weeks in advance of the meeting, all other applications must be submitted prior to Tuesday at noon the week before the next meeting unless otherwise approved by the Planning Director.

The agenda and information packet shall be posted the Monday before the next meeting.

Quorum of the Planning Commission

No official business shall be conducted by the planning commission unless a quorum of its members is present. Five (5) members of the planning commission shall constitute a quorum. The minimum number of yes votes required for the planning commission to take any action shall be the majority of members present, unless otherwise prescribed by law.

Role Of The Chairperson And Other Commission Members:

- The Chairperson shall preside at meetings of the Planning Commission. The Chairperson may participate in discussion of and vote on all matters.
- In addition, the Chairperson has the primary responsibility for ensuring that the Commission's rules of procedure are followed and:
 - For maintaining the dignity of Commission meetings.
 - Calls the meeting to order and confines the discussion to the agenda.
 - Recognizes Commissioners for motions and statements and may allow audience and staff participation at appropriate times.
 - Requires knowledge of the City's adopted rules of parliamentary procedure and how to apply it.
 - Ensures that the Utah Open and Public Meetings Act is complied with.
 - Knows how to courteously discourage Commissioners who talk too much or too often.
 - Knows how to courteously ensure those who have the floor are not interrupted and to rule out of order those not following meeting procedures.
 - Recognizes the Commission member offering the motion, restates the motion, presents it to the Commission for consideration and discussion, calls for the vote, announces the vote, and then announces the next order of business.

Code of Conduct

Members of the Planning Commission, including the Chairperson shall:

- ☐ Ensure that remarks apply to the question under debate.
- ☐ Avoid references to personalities, and refrain from questioning motives of other members or staff personnel.
- ☐ Demonstrate courtesy and shall not disrupt proceedings.
- ☐ Understand and recognize the Chairperson is conducting the meeting and not attempt to take on that role.
- ☐ Not use their positions to secure privileges or personal gains and shall avoid situations that could cause anyone to believe that they may have brought bias or partiality to a question before the Planning Commission.
- ☐ Be dedicated to the principles of representative democracy by recognizing that the chief function of local government is to serve the best interests of the public at large while respecting individual rights.
- ☐ Be dedicated to the effective use of the City's available resources.
- ☐ Refrain from any activity that would hinder their ability to be objective and impartial.
- ☐ See that City business is discussed in open, well-publicized meetings.

Ethics

The Chairperson and Commission members shall comply with the Utah Municipal Officers and Employees Ethics Act as found in Utah Code 10-3-1301 et seq.

Parliamentary Rules

The following may be referred to as the Commission's Rules of Order and shall be the parliamentary rules for conducting the business of the City. Each rule is followed by a purpose and, in some cases, a procedure, to explain the rule and guide the Chairperson and Commission members in its intended application.

Rule No. 1: The meeting is governed by the agenda and the agenda constitutes the Planning Commission's agreed-upon roadmap for the meeting.

Purpose Of The Rule: All meetings must comply with the Utah Open and Public Meetings Act which requires that a notice and an agenda for a public meeting be prepared in advance of the meeting and that no final action be taken on any item that is not on the agenda. In addition, the Act requires that the minutes of the meeting contain certain minimum information including the name of any member of the Commission speaking on an issue, the substance of what the member says, an accurate description of any action taken by the Commission and the voting record of each individual member of the Commission.

Rule No. 2: Any matter that requires a Planning Commission decision shall be brought before the Commission by motion and each motion requires a second.

Purpose Of The Rule. The purpose of this rule is to limit items under discussion to those

and only those that the Commission members want to discuss; give clarity as to what is being decided; and to make sure everyone, including the person taking the minutes actually knows and can remember what the ultimate outcome of any discussion and debate is.

Rule No. 3: One question at a time and one speaker at a time.

Purpose Of The Rule. The purpose is to focus on only one question and to allow Commission members the ability to express their points of consideration without losing their train of thought and to completely finish without fear of interruption.

Rule No. 4: The Chairperson may use General Consent (also known as Unanimous Consent) with all motions except those motions where the votes are used for purposes of the meeting minutes or otherwise require a roll call of the Commission.

Purpose Of The Rule. General consent is helpful in expediting general routine business or when the Chairperson senses the Commission is in agreement. General consent allows flexibility of the rules while protecting the right of the majority to decide and the minority to be heard.

Rule No. 5: There are only three basic forms of motions allowed: Initial Motions, Motions to Amend, and Substitute Motions.

Procedure: The initial motion. The initial motion is the one that puts forward an item for the Planning Commission's consideration. An initial motion might be: "I move that we adopt ordinance number 10-1 as presented."

The motion to amend. If a member wants to change the initial motion that is before the Planning Commission, they would move to amend it. A motion to amend takes the initial motion which is before the Planning Commission and seeks to change it in some way. The motion to amend must be germane to the initial motion. The motion to amend must not be the same as a negative vote on the initial motion.

The substitute motion. If a member wants to completely do away with the initial motion that is before the Planning Commission, and put a new motion before the Planning Commission, they would move a substitute motion.

Purpose Of The Rule. "Motions to amend" and "substitute motions" are often confused. But they are quite different, and their effect (if passed) is quite different. A motion to amend seeks to retain the basic motion on the floor, but modify it in some way. A substitute motion seeks to throw out the basic motion on the floor, and substitute a new and different motion for it. The decision as to whether a motion is really a "motion to amend" or a "substitute motion" is left to the Chairperson. So that if a member makes what that member calls a "motion to amend", but the Chairperson determines that it is really a "substitute motion", then the Chairperson's designation governs.

Rule No. 6. There can be up to three motions on the floor at the same time and no more than three. The Chairperson can reject a fourth motion until the Chairperson has dealt with the three that are on the floor and has resolved them.

Purpose Of The Rule: Too many motions on the same subject can cause confusion as to

what the end result is and in the official record. Limiting the number of motions to no more than three at a time, allows for enough debate and parliamentary maneuvering without undue confusion.

Rule No. 7: The debate can continue as long as members of the Planning Commission wish to discuss an item, subject to the Chairperson determining it is time to move on and take action by using General Consent to limit debate or by a proper motion by a Commission member to limit the debate. The following motions are not debatable—a motion to adjourn; a motion to recess; a motion to fix a time to adjourn; a motion to table; and a motion to limit debate.

Purpose Of The Rule. Debate and discussion are important until they are not. When a matter is chewed on enough it should be swallowed. This rule allows the Chairperson by General Consent or the majority of the Commission to end the debate, after a reasonable time. It also keeps those in a minority position on an issue from filibustering until they get their way.

Rule No. 8: A majority of those present votes are required to pass any item before the Commission. Where the Planning Commission is the Land Use Authority, a failure to obtain a majority vote is a failed motion.

If the Commission is not able to pass a recommendation to the City Council with a majority vote, the Commission may pass two recommendations to the City Council with a minority supporting each.

Any member of the commission may also make a concurring or dissenting report or recommendation to the city council, which may be joined by another member or members. The appropriate time to submit or make a concurring or dissenting report or recommendation and any joiner thereto is immediately following the majority's vote on a report or recommendation to the city council.

Purpose Of The Rule. Utah and Hurricane statutes set out both the number of the quorum and the minimum vote required on any issue.

Rule No. 9: A motion to reconsider any item requires a majority vote to pass, but there are special rules that apply only to the motion to reconsider. First, is timing. A motion to reconsider must be made at the meeting where the item was first voted upon or at the very next meeting of the Planning Commission. In addition, a motion to reconsider cannot be made at a special meeting of the Commission unless the number of members of the Commission present at the special meeting equals or exceeds the number present at the meeting when the action was approved. Second, a motion to reconsider can only be made by a member who voted in the majority on the original motion. If the motion to reconsider is made and approved at the meeting where the item was first voted upon, the Planning Commission may immediately consider the item at the discretion of the Chairman. If the motion to reconsider is made at the following meeting, the Planning Commission may not consider the item until it is properly listed on the agenda.

Purpose Of The Rule. The purpose of this rule is finality. If a member of the minority could make a motion to reconsider, then the item could be brought back to the Planning Commission again and again. That would defeat the purpose of finality. If the motion to reconsider passes, then the original matter is back before the Planning Commission, and a new initial motion is then in order. The matter can be discussed and debated as if it were on the floor for the first time.

Rule No. 10: The Planning Commission may motion to approve, deny, recommend approval, recommend to deny, continue or table an item on the agenda with following rules.

- For items the Planning Commission is the Land Use Authority, the Planning Commission can approve or deny an application.
- For items that the Planning Commission serves as a recommending body to the City Council, the Planning Commission may recommend approval or recommend denial.
- The Planning Commission may make approval or recommendation of approval based on conditions or findings by the Commission. The Planning Director will ensure the applicant complies with approval conditions or ensure the City Council knows of the recommended conditions from the Planning Commission.
- The Planning Commission may continue an item on the agenda, meaning the item shall be placed on the next regularly scheduled meeting's agenda. The Planning Commission may continue an item if they find the application is incomplete, the applicant agrees to provide additional information, or the Planning Commission needs more time to review an item. If an application is complete, the Planning Commission may only continue a land use application for two consecutive meetings without the consent of the applicant.
- The Planning Commission may table an item on the agenda, meaning the item shall not be reviewed again by the Planning Commission until the applicant is able to meet conditions contained within the motion to table.
- The Planning Commission has the obligation to hear, review, and make findings for all complete applications in a timely manner and may not table or continue an item for an unreasonable amount of time without the applicant's consent. An applicant may petition the Planning Commission to make a finding on a complete application.

Purpose Of The Rule. The role of the Planning Commission is to vote and make decisions on land use application and land use policy in the City. For the majority of land use applications, the commission will either be able to make a recommendation or approve or deny without multiple meetings. In some cases, such as incomplete applications, the Planning Commission request for more information, the size of the application takes additional time to review, at the applicant request, etc; the Planning Commission may find the application needs further review or information then can be provided at a single meeting. In these cases, it is appropriate for the Planning Commission to continue or table an item until any concerns can be resolved. The Planning Commission may also continue or table an item if the application would likely be denied and the applicant consents to review proposed changes suggested by the Planning Commission or City staff. In addition, some of the needed changes to an application may be minimal. In these cases, the Commission may find it appropriate to make a motion with attached compliance conditions as the Commission may find.

Rule No. 11: The Chairperson and Commission members shall adhere to the code of conduct.

Purpose Of The Rule. Debate and discussion should be focused, but free and open. In the interest of time, the Chairperson may, however, limit the time allotted to speakers, including members of the Planning Commission. A Commission member may continue speaking on a majority vote of the Commission. The rules of order are meant to create an atmosphere where

the members of the Planning Commission and the members of the public can attend to business efficiently, fairly, and with full participation. At the same time, it is up to the Chairperson and the members of the Planning Commission to maintain common courtesy and decorum. Only one person at a time will have the floor and every speaker must be recognized by the Chairperson before proceeding to speak.

Rule No. 12: If the Parliamentary rules set forth in these Bylaws fail to address a particular point of order that arises, the most recent version of Robert's Rules of Order shall govern, provided that the rule from Robert's Rules of Order is consistent with the Utah Code and the Hurricane Code.

Residents' Right To Be Heard:

Residents may from time to time believe it is necessary to speak to the Planning Commission on matters of concern. Accordingly, the Planning Commission expects any person presenting to the Planning Commission to speak civilly, with due respect for the decorum of the meeting, and with due respect for all persons attending.

- No member of the public shall be heard until recognized by the Chairperson.
- Public comments will only be heard during the appropriate portion of the meeting unless the issue is a Public Hearing or a member of the public is asked to speak on a matter by the Chairperson.
- Speakers must state their name and address for the record.
- Any resident requesting to speak shall limit their comments to matters of fact regarding the issue of concern.
- Comments should be limited to three (3) minutes unless prior approval by the Chairperson.
- If a representative is elected to speak for a group, the Chairperson may approve an increased time allotment.
- Personal attacks made publicly toward any person or city employee are not allowed.
- Any member of the public interrupting Planning Commission proceedings, approaching the dais or podium without permission, otherwise creating a disturbance, or failing to abide by these rules of procedure in addressing Planning Commission, shall be deemed to have disrupted a public meeting and, at the direction of the Chairperson, shall be removed from the meeting by law enforcement personnel or other agent designated by the Planning Commission.

Hurricane Planning Commission
Meeting Minutes
February 8, 2024

Minutes of the Hurricane City Planning Commission meeting held on February 8, 2024, at 6:00 p.m. in the City Council Chambers located at 147 N. 870 West Hurricane UT, 84737

Members Present: Mark Sampson, Paul Farthing, Shelley Goodfellow, Ralph Ballard, Rebecca Bronemann, Brad Winder, and Kelby Iverson

Members Excused: Michelle Cloud

Staff Present: Planning Director Gary Cupp, City Planner Fred Resch III, City Attorney Dayton Hall, Planning Technician Brienna Spencer, City Council Representative Kevin Thomas, and City Engineer Representative Jeremy Pickering.

6:00 p.m. - Call to Order

Roll Call

Pledge of Allegiance

Prayer and/or thought by invitation

Declaration of any conflicts of interest

Public Hearings

1. A Zone Change Amendment request located at approximately 700 W and 2350 S from PF, public facility, to M-1, light industrial. This change will affect the west portion of parcel number H-3-2-10-2313.

The comment submitted is attached at the end of these minutes. No further comments.

NEW BUSINESS

1. ZC24-01: Discussion and consideration of a recommendation to the City Council on A Zone Change Amendment request located at approximately 700 W and 2350 S from PF, public facility, to M-1, light industrial. This change will affect the west portion of parcel number H-3-2-10-2313. Beau Davis, Applicant. Karl Rasmussen, Agent.

Dayton Hall reported that Beau Davis acquired the property after the initial zone change was approved. Mr. Davis approached the city requesting additional property in exchange for cleaning up the wash and creating a bike park on the property. He is now requesting a zone change on the additional property deeded by the city. Mr. Hall explained that the property is a detention basin. However, the city engineer reported that the basin was larger than necessary, and there were no concerns regarding Mr. Davis's use of the property. Beau Davis reported that he is working with Tyler McCall on the park design.

Paul Farthing motioned a recommendation of approval of ZC24-01 to the city council. Kelby Iverson seconded the motion. Unanimous.

2. FSP24-07: Discussion and consideration of a possible approval of a final site plan for Angell Heights storage, a storage unit complex located at 2095 S 700 W. Beau Davis, Applicant. Karl Rasmussen, Agent.

Karl Rasmussen reviewed the drainage design. Paul Farthing clarified that the storage units are shipping containers. Mr. Farthing asked for clarification regarding access to the development. Mr. Davis stated that the complex has one entrance and a gated egress for emergency vehicles.

1 *Rebecca Bronemann motioned to approve FSP24-07 as presented. Shelley Goodfellow seconded the*
2 *motion. Unanimous.*

3 **3. CUP24-02: Discussion and consideration of a possible approval of a conditional**
4 **use permit for an accessory building of greater height located at 2191 S Angell Heights Dr.**
5 **Russell Thornton, Applicant.**

6 *Shelley Goodfellow motioned to approve CUP24-02. Rebecca Bronemann seconded the motion.*
7 *Unanimous.*

8 **4. 2022-PP-26: Discussion and consideration of a possible approval of an extension**
9 **of the preliminary plat approval for Desert Sky Estates, a 73 lot single family residential**
10 **subdivision located south of 2100 W and 3000 S. Ty Meyers, Applicant. Ben Wilits and Tony**
11 **Carter, Agent.**

12 Dayton Hall explained that the landowner has entered into a contract with the Power Department to
13 extend power capacity to the project. Jeremy Pickering reported that concerns from the Engineering
14 Department have been discussed, and he feels confident they will be resolved.

15 *Paul Farthing motioned to approve the one-year extension for 2022-PP-29. Ralph Ballard seconded the*
16 *motion. Unanimous.*

17 **5. 2023-PP-01: Discussion and consideration of a possible approval of an extension**
18 **of the preliminary plat approval for Dixie Meadows, a 238 lot single family subdivision located at**
19 **approximately 4392 W 2400 S. Western Mortgage and Realty Co, Applicant. Karl Rasmussen,**
20 **Agent.**

21 Karl Rasmussen reviewed the status of the project.

22 *Ralph Ballard motioned to approve the one-year extension for 2023-PP-01. Paul Farthing seconded the*
23 *motion. Unanimous.*

24 **6. 2023-PP-02: Discussion and consideration of a possible approval of an extension**
25 **of the preliminary plat approval for Bench Lake Townhomes, a 200 townhome lot subdivision**
26 **located at approximately 3145 S 1100 W. Blue Mountains Property Enterprises, Applicant. Karl**
27 **Rasmussen, Agent.**

28 Karl Rasmussen reviewed the project's status. Shelley Goodfellow asked if the developers who have
29 entered into a power agreement with the Power Department will be granted primary access to the
30 power. Dayton Hall stated that the developers are granted access to the power based on the submission
31 dates of the preliminary plats.

32 *Brad Winder motioned to approve the extension for 2023-PP-02, subject to staff and JUC comments.*
33 *Paul Farthing seconded the motion. Unanimous.*

34 **7. Presentation on the State of the City**

35 Gary Cupp reported that Hurricane City is the third-largest city by square miles and one of the fastest-
36 growing cities in the State. Mr. Cupp reviewed the breakdown of building permits issued in 2023 and the
37 final plats currently approved without building permits.

38 **Approval of Minutes:**

39 **1. January 25, 2024**

40 *Kelby Iverson motioned to approve the minutes from the January 25, 2024, meeting. Brad Winder*
41 *seconded the motion. Unanimous.*

42 *Paul Farthing motioned to adjourn the meeting. Shelley Goodfellow seconded the motion. Unanimous.*

1 Adjournment

DRAFT