



Planning and Zoning

47 S. Main Street • Room 208 • Tooele, UT 84074

Phone: (435) 843-3160 • Fax: (435) 843-3252

<https://tooeleco.org/government/county-departments/community-development/>

CUP 2024-031

Conditional Use Summary and Recommendation

Public Body: Tooele County Planning Commission

Meeting Date: March 13, 2024

Parcel ID: 23-025-0-0001

Current Zone: A-20 (Agricultural, 20-acre minimum)

Property Address: 5737 W Higley Rd

Unincorporated: Grantsville

Request: Conditional Use Approval for Medical Cannabis Farm

Planner: Trish DuClos

Planning Staff Recommendation: Approval with Conditions

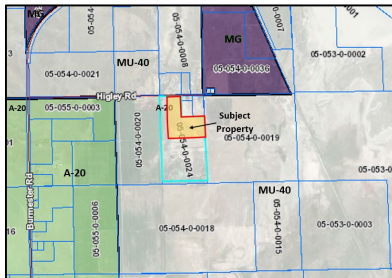
Planning Commission Response: Not yet received.

Applicant Name: Logan Kesse

PROJECT DESCRIPTION

Logan Kesse with Wholesome is requesting a conditional use permit for a medical cannabis farm. The property will consist of about 6 acres of an outdoor grow area, with a small building for operations. There will not be any sales at this location.

SITE & VICINITY DESCRIPTION (see attached map)



The subject properties are located just South of Higley Rd. It is currently zoned A-20 (Agricultural, 20-acre minimum), where a medical cannabis facility is allowed with a conditional use permit approved through planning commission. It is 24.9 acres in size. The grow area will be in a completely fenced in area of about 6 acres.

LAND USE CONSIDERATIONS (A-20 Zone, Agricultural 20-acre minimum)

Compatibility with existing buildings in terms of size, scale and height.	Yes
Compliance with the General Plan.	Yes

NEIGHBORHOOD RESPONSE

Planning staff has not received any neighborhood feedback on this item. Any comments received after this staff report is submitted will be addressed to planning commission at the meeting. When the property was originally rezoned and the cannabis farm was proposed the surrounding neighbors were more receptive to the farm compared to residential housing.

PLANNING STAFF ANALYSIS

Planning Staff has approved the commercial site plan with conditions that the "Solid visual barrier fence" is reviewed and approved through planning commission. The proposed fence is not seen anywhere else and staff cannot verify the solidity of the fence.

Utah state cannabis code 4-41a-501(1) states, "A cannabis cultivation facility shall ensure that any cannabis growing at the cannabis cultivation facility is not visible from the ground level of the cannabis cultivation facility perimeter."

Tooele County Land Use Ordinance 37-3(4) states, "Outside cultivation of cannabis must be entirely enclosed within a seven-foot solid visual barrier fence, with barbed wire and other security features included."

The proposed fence will be a slatted, chain-link with wide wings to cover the gaps and a mesh/fabric cover to further cover any gaps when looking at the side angles. It shall have barbed wire across the top. Other security features include cameras and lights.

The state and many other Cannabis farms allow the chain-link with wide slats. The applicant has stated the chain-link is the most secure for them and easiest to fix/replace broken areas.

All agencies, such as engineering, fire, health, and civil have approved the site plan.

ISSUES OF CONCERN/PROPOSED MITIGATION

The fence cannot be verified at the time this staff report was submitted. The applicant is willing to place multiple layers of fabric over the chain-link, but willing to do other fencing such as vinyl if required.

PLANNING STAFF RECOMMENDATION

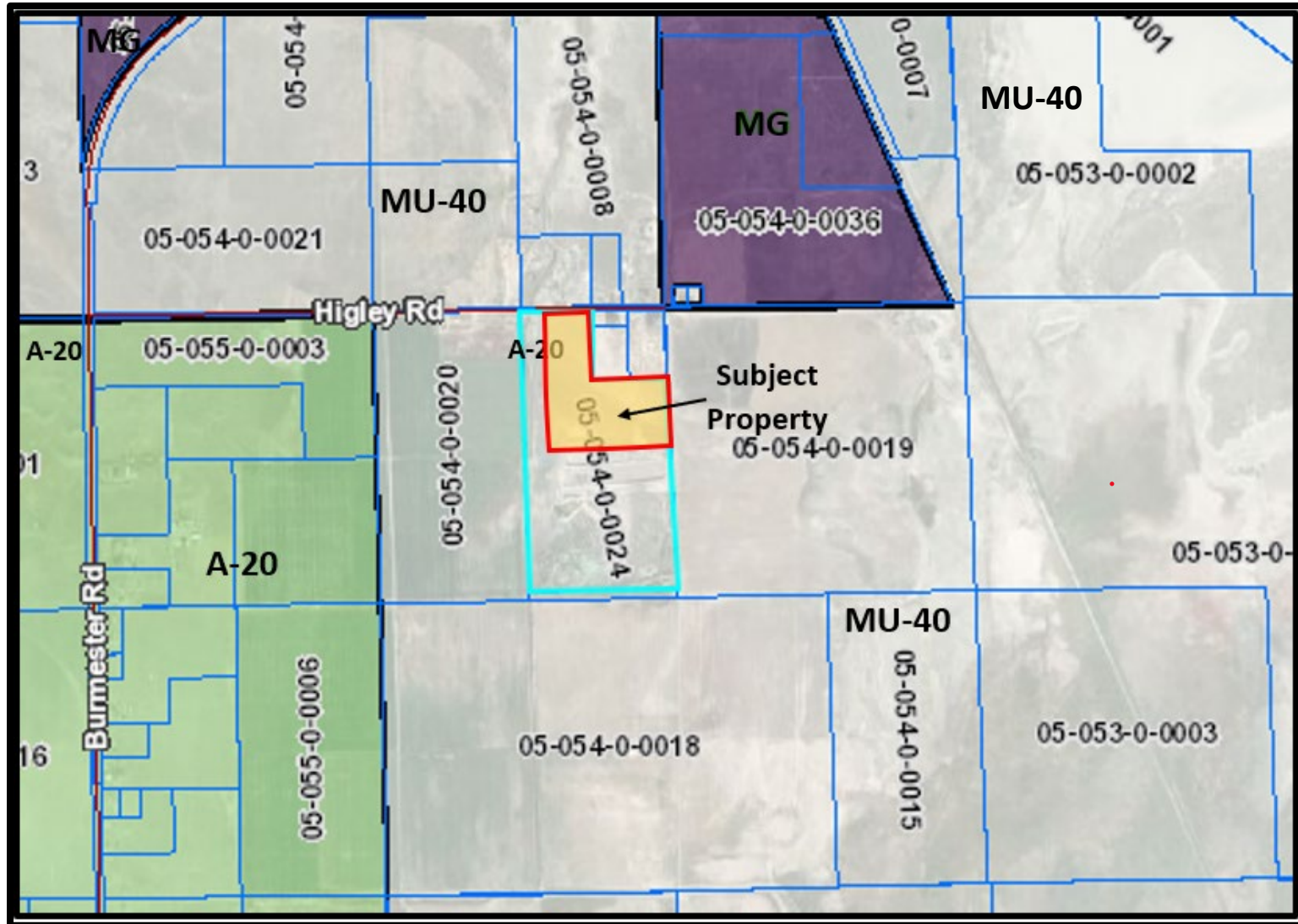
Staff recommends that the Tooele County Planning Commission research and decide what type of fencing could be required for the proposed medical cannabis facility before making a decision. With the possible following condition of approval.

1. If the fence cannot be properly maintained the entire fence shall change to concrete/masonry fence with barbed wire and other security features.

CUP 2024-031: CUP for Medical Cannabis Farm

Address: 5737 W Higley Rd, Grantsville, UT 84029

Parcels: 23-025-0-0001





Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 8,
TOWNSHIP 2 SOUTH, RANGE 5 WEST
SALT LAKE BASE AND MERIDIAN

ELEV = 4099.41'

GRANTSVILLE WAREHOUSE

5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH

INDEX OF DRAWINGS

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- C-500 DETAILS
- C-501 DETAILS
- PP-1 PLAN AND PROFILE DRIVEWAY

DATE PRINTED
February 5, 2024

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

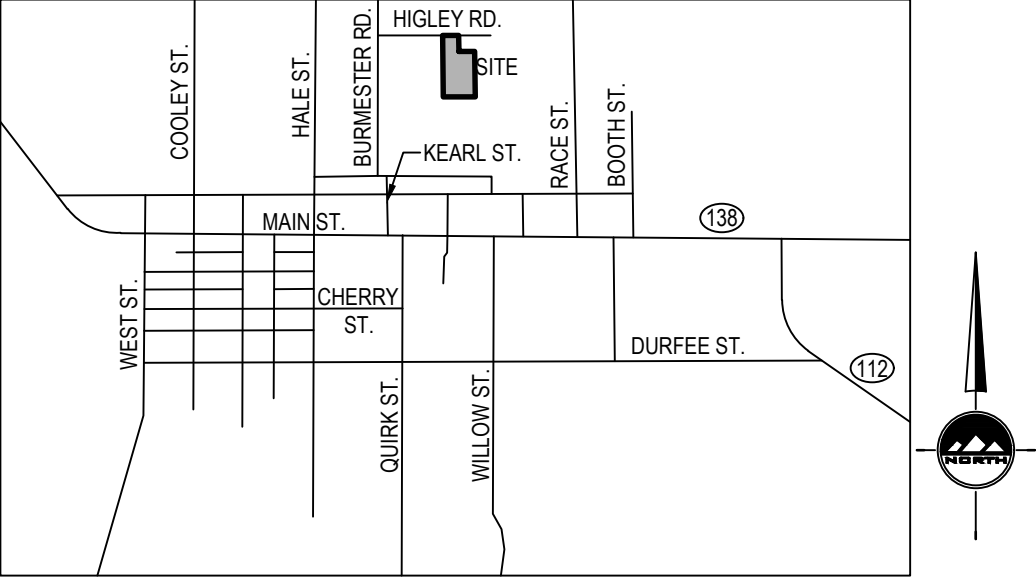
NOTICE TO DEVELOPER/CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

VICINITY MAP



NO SCALE

GENERAL NOTES

- ALL WORK SHALL CONFORM TO TOOELE COUNTY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = NORTHWEST CORNER OF SECTION 8, T2S, R5W SALT LAKE BASE & MERIDIAN ELEV. = 4099.41'.
- IF THE STATE REQUIRES SIGNIFICANT CHANGES TO THE SITE THEN THE APPLICANT WILL RESUBMIT TO TOOELE COUNTY WITH THE CHANGES REQUESTED BY THE STATE.

	
Final Land Use Review	
Planning	
Building	
Engineering	
Surveying	
Addressing	
Mapping	
GIS	
Roads	
Fire	
Health	
Service Agency	
Sewer	
Water	
Accessor	



THE STANDARD IN ENGINEERING

TOOELE
169 N. Main St, Unit 1
Tooele, UT 84074
Phone: 435.843.3590

SANDY
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

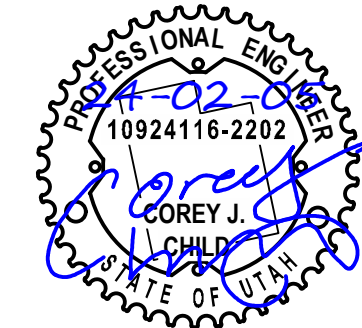
WWW.ENSIGNENG.COM

FOR:
ELEVATED SOLUTIONS
6974 UNION PARK AVE, SUITE 600
COTTONWOOD HEIGHTS, UTAH 84047

CONTACT:
CHRIS JEFFERY
PHONE: 970-589-0979

GRANTSVILLE WAREHOUSE

5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH



COVER

PROJECT NUMBER
T1402E

PRINT DATE
2024-02-05

PROJECT MANAGER
C. CHILD

DESIGNED BY
C. CARPENTER

C-000

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE ABOVE SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF APWA FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH APWA.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
- CONTRACTOR IS REQUIRED TO LOCATE AND POT HOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION), THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
- CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
- IN ADDITION TO 16.1 AND 16.2 ABOVE, THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POT HOLE"ING A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
- IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
- IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POT HOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR, PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 33 05 20 - BACKFILLING TRENCHES. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY APWA RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN Dewatered CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET; EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING, THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN APWA AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN APWA.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN APWA AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE, AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EDA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HC	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MEX	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WIV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		PROPOSED TOP GRADE BREAK
	ROOF DRAIN		PROPOSED TOE GRADE BREAK
	EXISTING ELECTRICAL MANHOLE		PROPOSED GRAVEL
	EXISTING ELECTRICAL BOX		STRAW WATTLE
	EXISTING TRANSFORMER		TEMPORARY BERM
	EXISTING UTILITY POLE		TEMPORARY SILT FENCE
	EXISTING LIGHT		LIMITS OF DISTURBANCE
	PROPOSED LIGHT		EXISTING WALL
	EXISTING GAS METER		PROPOSED WALL
	EXISTING GAS MANHOLE		EXISTING CONTOURS
	EXISTING GAS VALVE		PROPOSED CONTOURS
	EXISTING TELEPHONE MANHOLE		BUILDABLE AREA WITHIN SETBACKS
	EXISTING TELEPHONE BOX		PUBLIC DRAINAGE EASEMENT
	EXISTING TRAFFIC SIGNAL BOX		EXISTING ASPHALT TO BE REMOVED
	EXISTING CABLE BOX		PROPOSED ASPHALT
	EXISTING BOLLARD		EXISTING CURB AND GUTTER
	PROPOSED BOLLARD		PROPOSED CURB AND GUTTER
	EXISTING SIGN		PROPOSED REVERSE PAN CURB AND GUTTER
	PROPOSED SIGN		TRANSITION TO REVERSE PAN CURB
	EXISTING SPOT ELEVATION		CONCRETE TO BE REMOVED
	PROPOSED SPOT ELEVATION		EXISTING CONCRETE
	EXISTING FLOW DIRECTION		PROPOSED CONCRETE
	EXISTING TREE		BUILDING TO BE REMOVED
	DENSE VEGETATION		EXISTING BUILDING
			PROPOSED BUILDING

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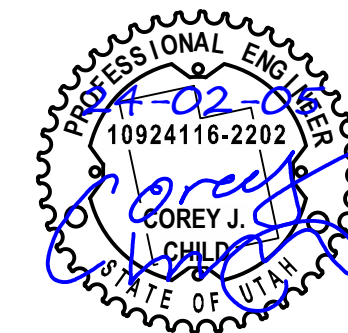
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CONTACT:
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PHONE: 970-589-0979

GRANTSVILLE WAREHOUSE

5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH



GENERAL NOTES

PROJECT NUMBER: T1402E
PROJECT MANAGER: C. CHILD
PRINT DATE: 2024-02-05
DESIGNED BY: C. CARPENTER

C-001

811

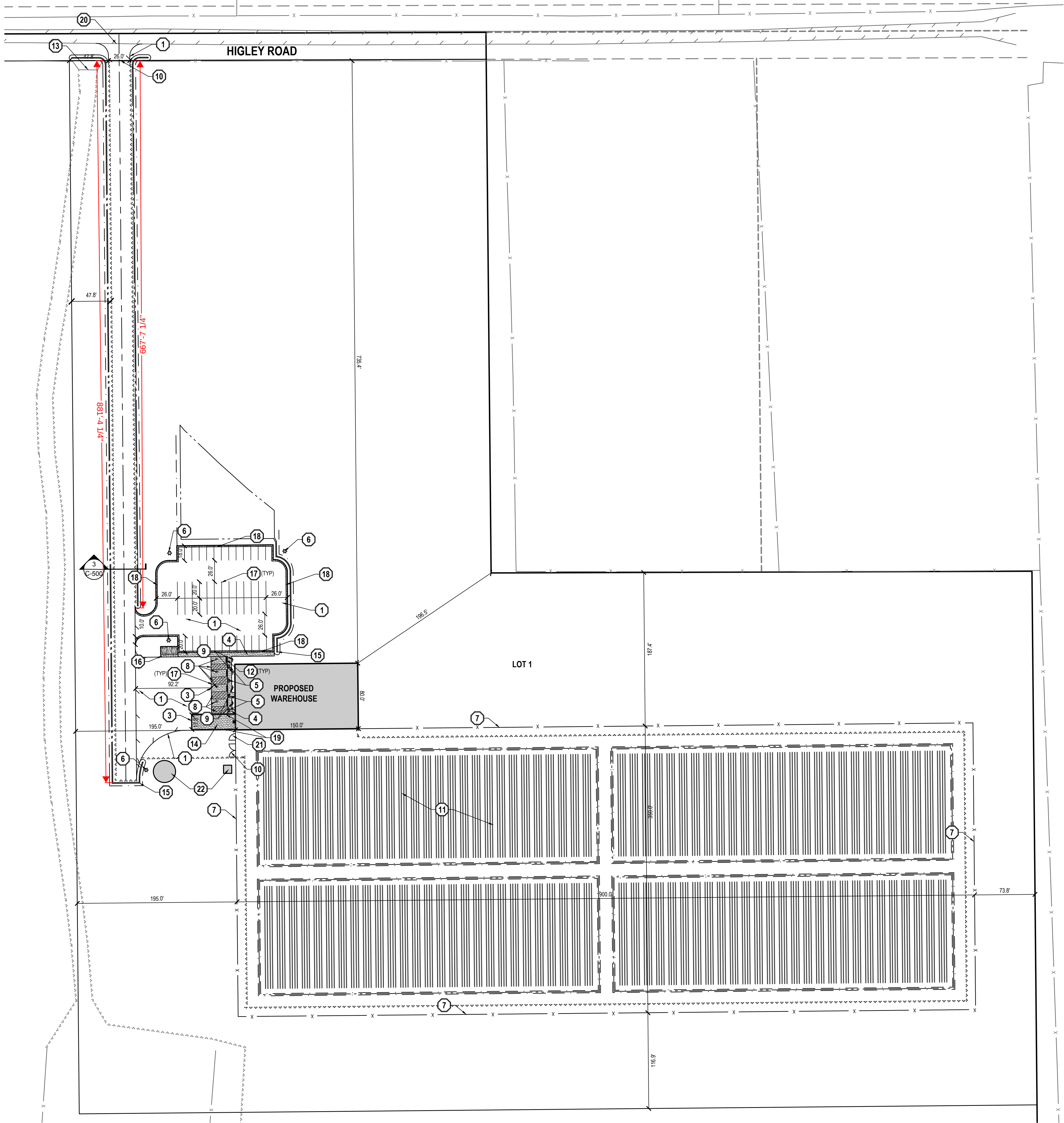
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 8,
TOWNSHIP 2 SOUTH, RANGE 5 WEST
SALT LAKE BASE AND MERIDIAN

ELEV = 4099.41'



GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ASPHALT PAVEMENT PER DETAIL 1/C-500.
- GRAVEL SECTION PER DETAIL 2/C-500.
- CONCRETE SECTION PER DETAIL 4/C-500.
- 6" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- INSTALL DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
- SITE LIGHTING PER OWNER. SITE LIGHTING PER TOOELE COUNTY LAND USE ORDINANCE (8-13).
- INSTALL 8' TALL HIGH PRIVACYLINK SECURITY FENCE WITH AN INTEGRATED SLAT SYSTEM THAT OFFERS 98% REDUCTION IN VISIBILITY PER APWA STANDARD PLAN NO. 831, IN ACCORDANCE WITH UTAH CODE 4-41A-501 (1). SEE DETAIL SHEET C-501.
- PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- INSTALL 8' GATE PER APWA STANDARD PLAN NO. 831, WITH BARB WIRE AND MESH.
- 6.0 ACRE OUTDOOR GROW AREA.
- INSTALL CONCRETE WHEEL STOP PER DETAIL 10/C-500.
- EXISTING ACCESS ROAD TO BE RELOCATED PER AGREEMENT WITH ADJACENT OWNER.
- CONCRETE LOADING DOCK SEE GRADING PLANS FOR DETAILS.
- CONNECT ROOF DRAINS TO SWALES PER DETAIL 14/C-500.
- TRASH ENCLOSURE PER DETAILS 4/C-500, 11/C-500, 12/C-500, AND 13/C-500 WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE.
- INSTALL 4" WIDE STRIPING PER M.U.T.C.D. STANDARDS AND SPECIFICATIONS.
- 2' TYPE "E" CURB WALL PER APWA STANDARD PLAN NO. 205.2.
- CONCRETE RETAINING WALL PER STRUCTURAL ENGINEERING PLANS WITH RAILING ALONG TOP.
- INSTALL PRIVATE ROAD DRIVE APPROACH PER TOOELE COUNTY STANDARDS AND SPECIFICATIONS, SEE C-500.
- INSTALL 8' SINGLE MAN GATE PER APWA STANDARD PLAN NO. 831, WITH BARB WIRE AND MESH.
- WATER TANK AND PUMP HOUSE, SEE UTILITY PLAN.

EN SIGN

THE STANDARD IN ENGINEERING

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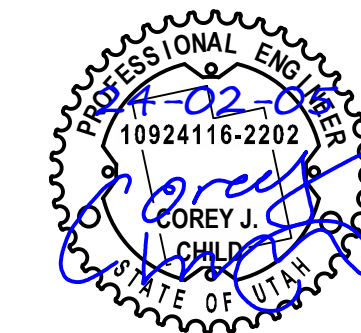
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CONTACT:
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PHONE: 970-589-0979

GRANTSVILLE WAREHOUSE

5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH



SITE PLAN

PROJECT NUMBER
T1402E
PROJECT MANAGER
C. CHILD
PRINT DATE
2024-02-05
DESIGNED BY
C. CARPENTER

C-100

811

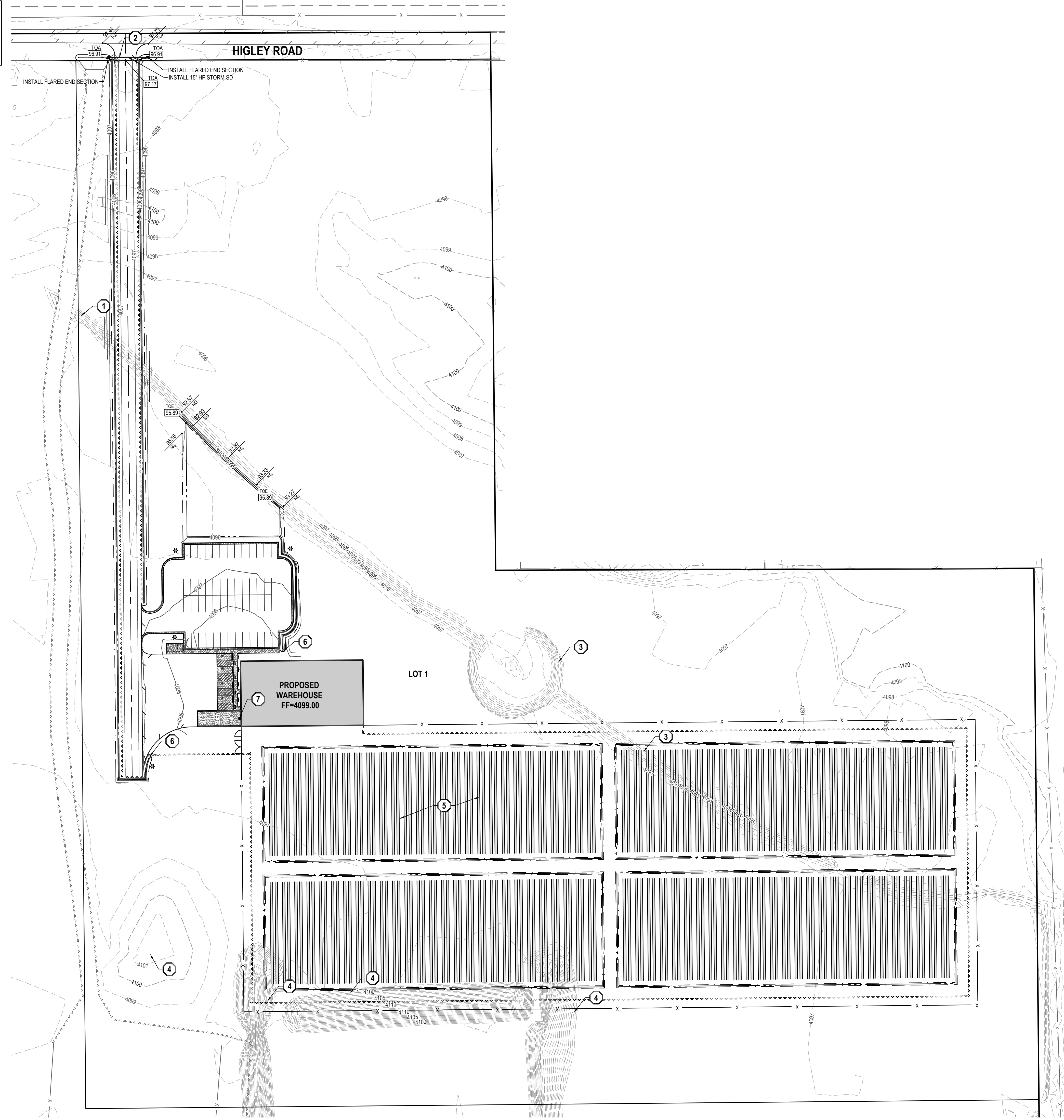
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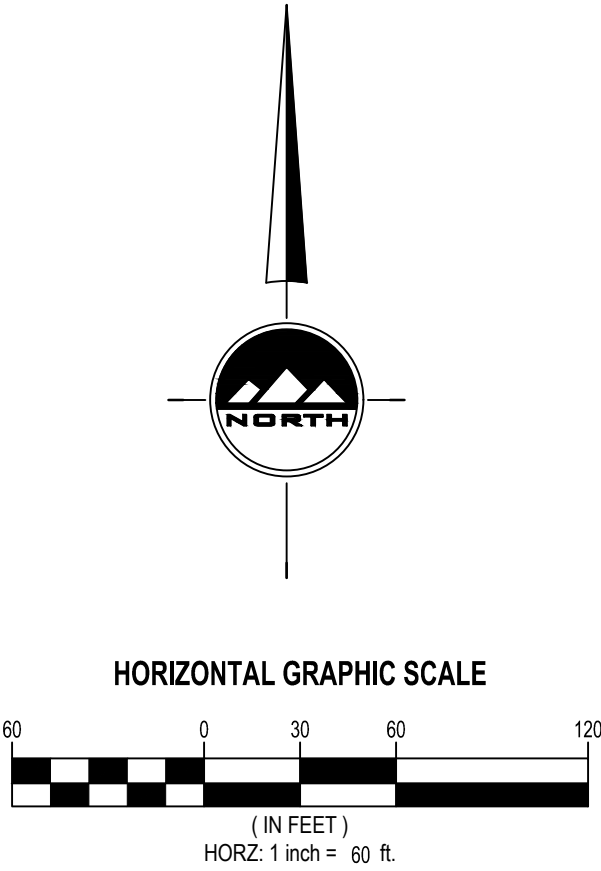
ELEV = 4099.41'



GENERAL NOTES

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- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- FINISH GRADE SPOT ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 40XX.XX ON THESE PLANS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- FILL IN DITCH TO BE LEVEL WITH NATURAL GRADE.
 - 15" HP STORM CULVERT WITH FLARED END SECTION.
 - DITCH TO BE REMOVED OR REMAIN AT THE OWNERS DISCRETION.
 - MOUND TO BE REMOVED OR REMAIN AT THE OWNERS DISCRETION.
 - GRADING OF FIELD PER OWNER.
 - CONNECT ROOF DRAINS TO RETENTION SWALES.
 - INSTALL SEALED CONCRETE SUMP WITH PUMP AND RUN ELECTRICAL CONNECTION INTO BUILDING. PIPE STORM RUNOFF WATER INTO SWALE. PREVENT GROUNDWATER FROM ENTERING INTO LOADING DOCK.
 - CURB CUT TO RELEASE WATER INTO SWALE, INSTALL RIP RAP AT OUTLET.
 - 6" TRENCH DRAIN, FLOW TO SWALE, INSTALL RIP RAP AT OUTLET.



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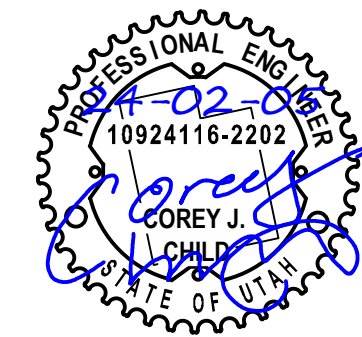
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GRANTSVILLE WAREHOUSE

5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH



OVERALL
GRADING AND DRAINAGE
PLAN

PROJECT NUMBER
T1402E

PRINT DATE
2024-02-05

PROJECT MANAGER
C. CHILD

DESIGNED BY
C. CARPENTER

C-200

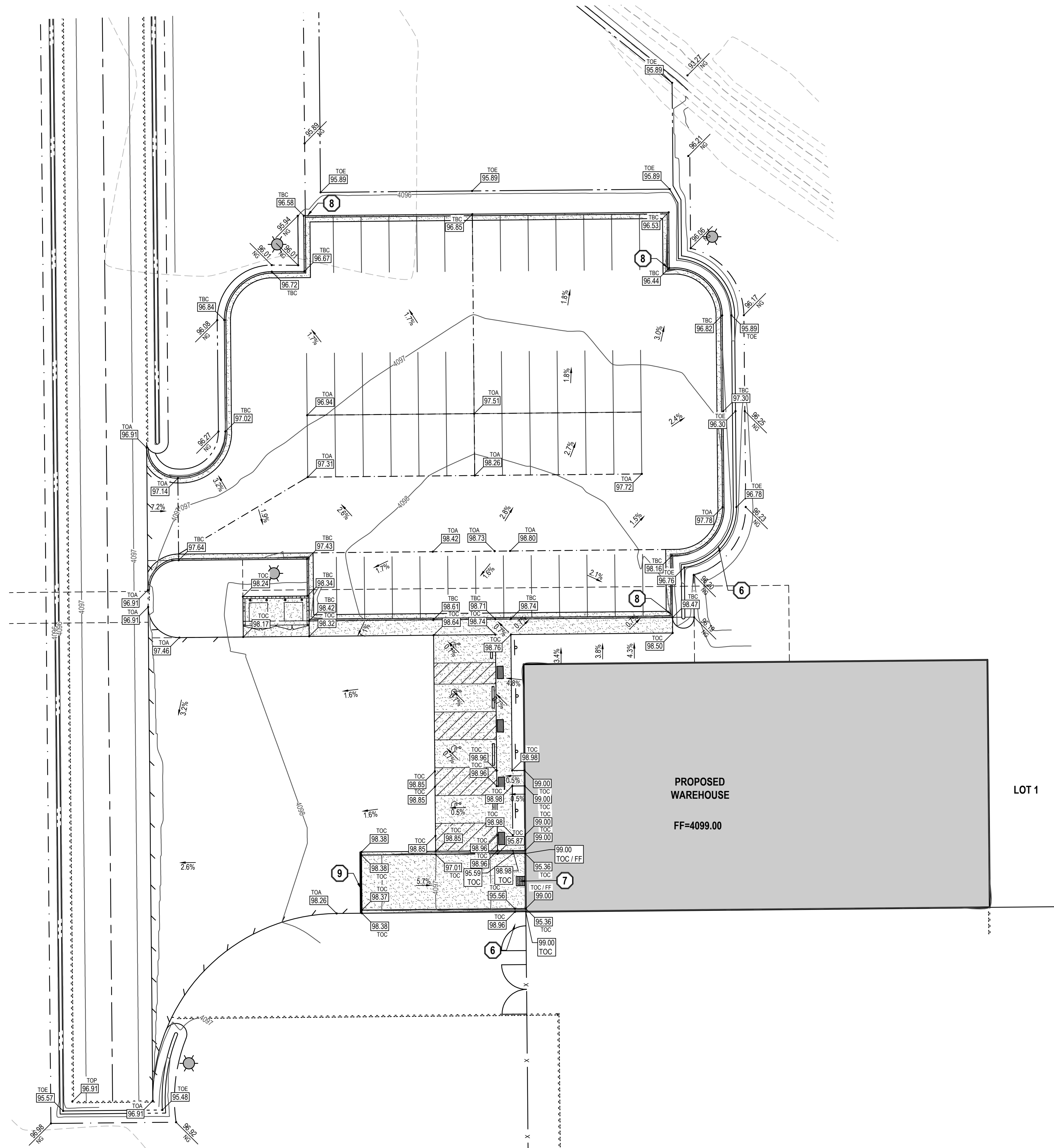


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NORTHWEST CORNER OF SECTION 8,
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4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
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6. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THE FIELD SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
9. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
10. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
11. ALL FACILITIES WITH DOWNSPOUT/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
12. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
13. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
14. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 FILL IN DITCH TO BE LEVEL WITH NATURAL GRADE.
- 2 15" HP STORM CULVERT WITH FLARED END SECTION.
- 3 DITCH TO BE REMOVED OR REMAIN AT THE OWNERS DISCRETION.
- 4 MOUND TO BE REMOVED OR REMAIN AT THE OWNERS DISCRETION.
- 5 GRADING OF FIELD PER OWNER.
- 6 CONNECT ROOF DRAINS TO RETENTION SWALES.
- 7 INSTALL SEALED CONCRETE SUMP WITH PUMP AND RUN ELECTRICAL CONNECTION INTO BUILDING. PIPE STORM RUNOFF WATER INTO SWALE. PREVENT GROUNDWATER FROM ENTERING INTO LOADING DOCK.
- 8 CURB CUT TO RELEASE WATER INTO SWALE. INSTALL RIP RAP AT OUTLET.
- 9 6" TRENCH DRAIN, FLOW TO SWALE. INSTALL RIP RAP AT OUTLET.



TOOELE
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Tooele, UT 84074
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SANDY
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LAYTON
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CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

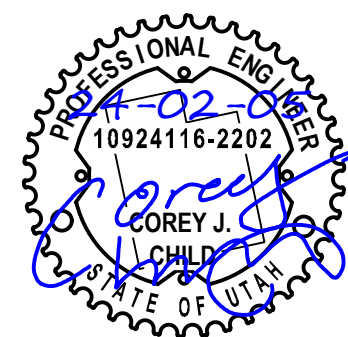
WWW.ENSIGNENG.COM

FOR:
ELEVATED SOLUTIONS
6974 UNION PARK AVE, SUITE 600
COTTONWOOD HEIGHTS, UTAH 84047

CONTACT:
CHRIS JEFFERY
PHONE: 970-589-0975

GRANTSVILLE WAREHOUSE

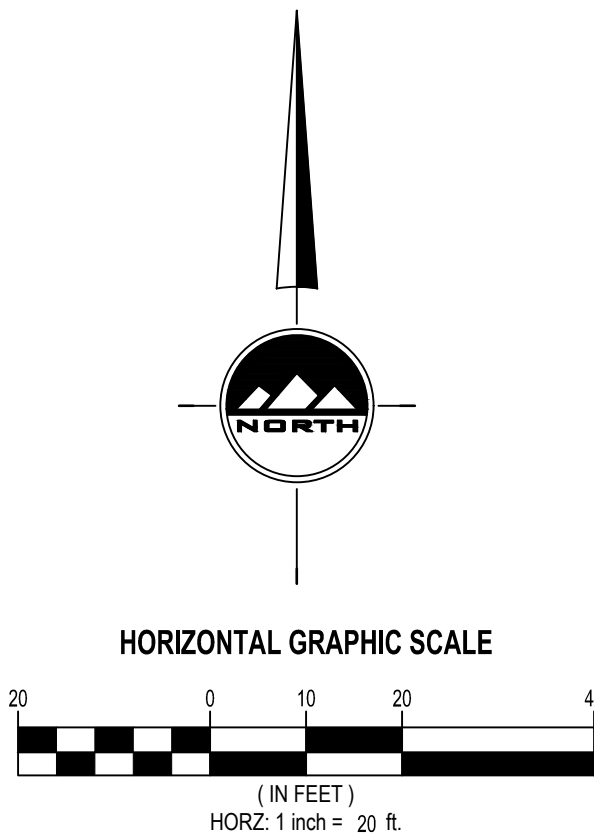
5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH



GRADING AND DRAINAGE PLAN

PROJECT NUMBER T1402E	PRINT DATE 2024-02-05
PROJECT MANAGER C. CHILD	DESIGNED BY C. CARPE

C-201



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GRANTSVILLE WAREHOUSE

5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH

ROAD SWALE RETENTION CALCULATIONS

Study Summary Statistics

No. of Lots	
Roof SF/lot	
Drive SF/lot	
Total Lots Hardscape, SF	0
Road Length, FT	899
Total Road Hardscape SF	23374
Total Hardscape, SF	23374
Total Area, SF	70336
Landscaped Area, SF	46962
Weighted Average C	0.38

Retention Calculations (100-year storm)

Basin Tributary Area	70,336 SF
Runoff coefficient C:	0.383
Basin Area	12,586 SF
Allowable Discharge Rate	- cfs/acre
Total Discharge	- cfs
Infiltration Rate	0 in/hr

Time (min)	i (in/hr)	Cumulative Runoff to Basin (cf)	Infiltration (cf)	Required Storage (cf)
5	6.11	1,142	35	1,107
10	4.84	1,736	70	1,666
15	3.84	2,153	105	2,048
30	2.58	2,593	210	2,683
60	1.60	3,588	420	3,169
120	0.85	3,790	839	2,951
180	0.57	3,813	1,259	2,554
360	0.30	4,014	2,517	1,497
720	0.17	4,575	5,034	(459)
1440	0.10	5,315	10,069	(4,754)
Required Retention:				3,169
Provided Retention:				7,192

BUILDING BASIN RETENTION CALCULATIONS

Study Summary Statistics

No. of Buildings	1
Roof SF/lot	12000
Drive SF/lot	32125
Total Lots Hardscape, SF	44125
Road Length, FT	
Total Road Hardscape SF	
Total Hardscape, SF	44125
Total Area, SF	211065
Landscaped Area, SF	166940
Weighted Average C	0.30

Retention Calculations (100-year storm)

Basin Tributary Area	211,065 SF
Runoff coefficient C:	0.296
Basin Area	22,440 SF
Allowable Discharge Rate	- cfs/acre
Total Discharge	- cfs
Infiltration Rate	0 in/hr

Time (min)	i (in/hr)	Cumulative Runoff to Basin (cf)	Infiltration (cf)	Required Storage (cf)
5	6.11	2,653	82	2,591
10	4.84	4,034	125	3,910
15	3.84	5,004	187	4,817
30	2.58	6,724	374	6,350
60	1.60	8,340	748	7,592
120	0.85	8,809	1,496	7,313
180	0.57	8,861	2,244	6,617
360	0.30	9,330	4,488	4,842
720	0.17	10,633	8,976	1,657
1440	0.10	12,353	17,952	(5,599)
Required Retention:				7,592
Provided Retention:				9,643



NOAA Atlas 14, Volume 1, Version 5
Location name: Grantsville, Utah, USA*
Latitude: 40.6624°, Longitude: -112.441°
Elevation: 4220.55 ft**
*source: ESRI Maps
**source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sampa Perica, Sarah Dotz, Sarah Hiett, Lillian Hiner, Kibung'u Mataru, Deborah Martin, Sandra Pavlovic, Jerran Roy, Carl Toplak, Dale Urrut, Fenglin Yan, Michael Yelke, Teri Zhao, Geoffrey Bornin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yanchoan

NOAA, National Weather Service, Silver Spring, Maryland

PF tabular | PF graphical | Maps & aerials

PF tabular

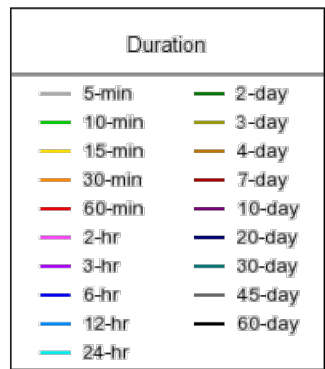
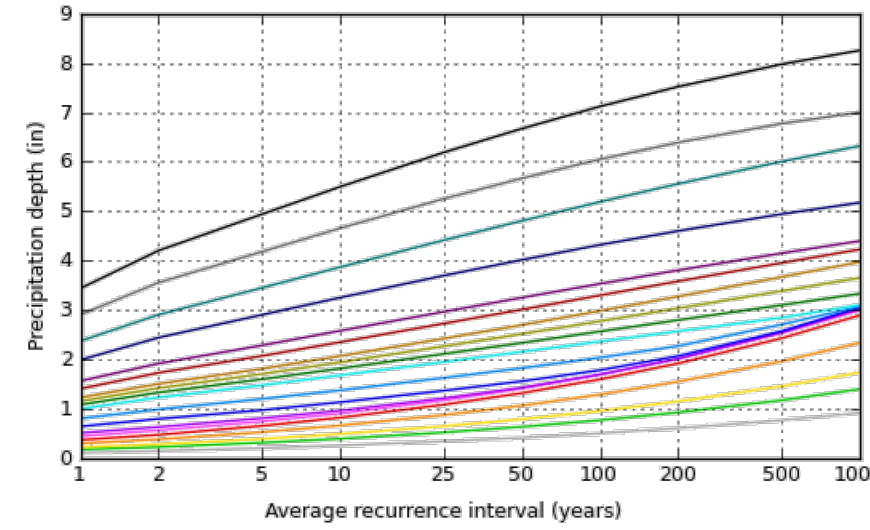
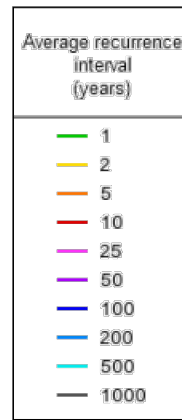
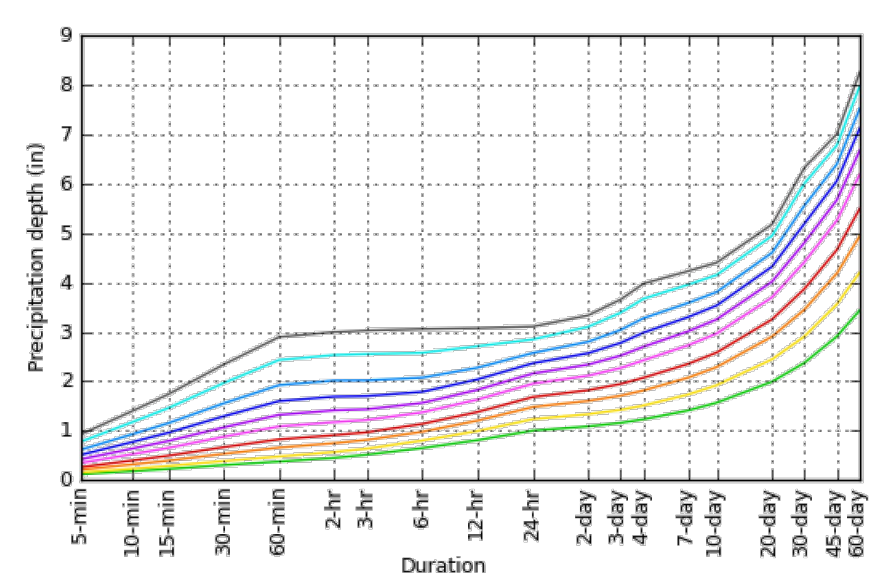
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.120 (0.105-0.136)	0.152 (0.135-0.175)	0.210 (0.185-0.240)	0.262 (0.229-0.301)	0.346 (0.296-0.398)	0.423 (0.350-0.498)	0.509 (0.413-0.598)	0.612 (0.478-0.731)	0.773 (0.577-0.943)	0.921 (0.659-1.14)
10-min	0.182 (0.160-0.208)	0.231 (0.205-0.266)	0.319 (0.282-0.366)	0.399 (0.349-0.457)	0.526 (0.450-0.605)	0.640 (0.533-0.743)	0.774 (0.628-0.910)	0.931 (0.738-1.11)	1.18 (0.877-1.46)	1.40 (1.00-1.74)
15-min	0.226 (0.198-0.257)	0.287 (0.254-0.320)	0.395 (0.349-0.454)	0.495 (0.433-0.567)	0.652 (0.558-0.750)	0.793 (0.678-1.13)	0.960 (0.802-1.38)	1.16 (1.09-1.78)	1.46 (1.14-2.16)	1.74
30-min	0.304 (0.267-0.347)	0.386 (0.342-0.444)	0.532 (0.470-0.615)	0.667 (0.585-0.764)	0.878 (0.751-1.01)	1.07 (0.895-1.24)	1.29 (1.05-1.62)	1.55 (1.23-1.89)	1.97 (1.47-2.40)	2.34 (1.68-3.19)
60-min	0.376 (0.330-0.429)	0.478 (0.423-0.549)	0.659 (0.582-0.756)	0.825 (0.721-0.945)	1.09 (0.909-1.25)	1.32 (1.10-1.54)	1.60 (1.30-1.88)	1.92 (1.50-2.30)	2.43 (1.81-2.98)	2.90 (2.07-3.60)
2-hr	0.450 (0.400-0.500)	0.568 (0.514-0.640)	0.748 (0.674-0.840)	0.910 (0.814-1.02)	1.17 (1.02-1.33)	1.41 (1.25-1.63)	1.69 (1.44-1.97)	2.02 (1.61-2.37)	2.53 (1.99-3.08)	3.00 (2.27-3.72)
3-hr	0.515 (0.473-0.571)	0.637 (0.582-0.708)	0.814 (0.743-0.900)	0.968 (0.876-1.07)	1.22 (1.08-1.35)	1.43 (1.25-1.63)	1.70 (1.44-1.97)	2.02 (1.66-2.39)	2.55 (1.99-3.08)	3.03 (2.27-3.72)
6-hr	0.649 (0.601-0.704)	0.801 (0.744-0.867)	0.978 (0.908-1.06)	1.14 (1.05-1.23)	1.37 (1.25-1.49)	1.56 (1.40-1.71)	1.79 (1.57-1.98)	2.07 (1.78-2.41)	2.59 (2.15-3.11)	3.06 (2.46-3.78)
12-hr	0.809 (0.755-0.873)	0.993 (0.924-1.07)	1.21 (1.12-1.30)	1.38 (1.29-1.49)	1.63 (1.49-1.77)	1.83 (1.66-2.00)	2.04 (1.82-2.28)	2.28 (1.99-2.55)	2.71 (2.32-3.14)	3.08 (2.57-3.60)
24-hr	1.00 (0.922-1.09)	1.23 (1.13-1.34)	1.48 (1.36-1.61)	1.68 (1.55-1.83)	1.95 (1.79-2.12)	2.16 (1.97-2.35)	2.37 (2.16-2.58)	2.57 (2.33-2.81)	2.85 (2.56-3.17)	3.11 (2.73-3.83)
2-day	1.05 (1.001-1.19)	1.34 (1.23-1.45)	1.60 (1.48-1.74)	1.82 (1.68-1.97)	2.11 (1.95-2.30)	2.34 (2.14-2.54)	2.57 (2.35-2.80)	2.80 (2.54-3.05)	3.10 (2.80-3.40)	3.33 (2.99-3.87)
3-day	1.16 (1.07-1.28)	1.42 (1.32-1.55)	1.71 (1.58-1.85)	1.95 (1.80-2.11)	2.27 (2.10-2.46)	2.52 (2.31-2.73)	2.78 (2.54-3.01)	3.04 (2.76-3.31)	3.39 (3.05-3.70)	3.66 (3.27-4.12)
4-day	1.23 (1.14-1.34)	1.51 (1.40-1.64)	1.82 (1.69-1.97)	2.07 (1.92-2.24)	2.32 (2.14-2.62)	2.57 (2.46-2.92)	2.80 (2.73-3.23)	3.04 (2.88-3.56)	3.39 (3.14-4.01)	3.66 (3.35-4.36)
7-day	1.41 (1.31-1.53)	1.73 (1.61-1.88)	2.07 (1.92-2.24)	2.35 (2.19-2.54)	2.73 (2.52-2.94)	3.01 (2.78-3.25)	3.30 (3.04-3.56)	3.59 (3.28-3.87)	3.96 (3.59-4.29)	4.23 (3.82-4.68)
10-day	1.57 (1.46-1.69)	1.92 (1.79-2.07)	2.29 (2.13-2.46)	2.59 (2.41-2.77)	2.97 (2.76-3.18)	3.25 (3.02-3.48)	3.53 (3.28-3.79)	3.81 (3.52-4.09)	4.15 (3.81-4.47)	4.40 (4.02-4.75)
20-day	1.99 (1.85-2.14)	2.44 (2.27-2.63)	2.91 (2.71-3.1)	3.25 (3.05-3.63)	3.70 (3.45-3.95)	4.02 (3.74-4.28)	4.32 (4.05-4.61)	4.60 (4.29-4.92)	4.94 (4.57-5.30)	5.18 (4.78-5.58)
30-day	2.35 (2.22-2.54)	2.91 (2.72-3.11)	3.45 (3.23-3.68)	3.87 (3.62-4.12)	4.42 (4.13-4.70)	4.81 (4.48-5.11)	5.19 (4.83-5.53)	5.56 (5.15-5.94)	6.01 (5.54-6.45)	6.32 (5.81-6.80)
45-day	2.91 (2.73-3.11)	3.56 (3.34-3.91)	4.18 (3.94-4.46)	4.66 (4.38-4.98)	5.25 (4.96-5.58)	5.67 (5.36-6.03)	6.08 (5.70-6.43)	6.39 (6.02-6.79)	6.78 (6.39-7.21)	7.00 (6.61-7.46)
60-day	3.44 (3.23-3.69)	4.21 (3.94-4.51)	4.94 (4.64-5.28)	5.50 (5.16-5.86)	6.19 (5.81-6.58)	6.67 (6.25-7.10)	7.12 (6.66-7.58)	7.52 (7.03-8.01)	7.98 (7.45-8.51)	8.26 (7.71-8.82)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).
Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.
Please refer to NOAA Atlas 14 document for more information.

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PF graphical

PDS-based depth-duration-frequency (DDF) curves
Latitude: 40.6624°, Longitude: -112.441°*



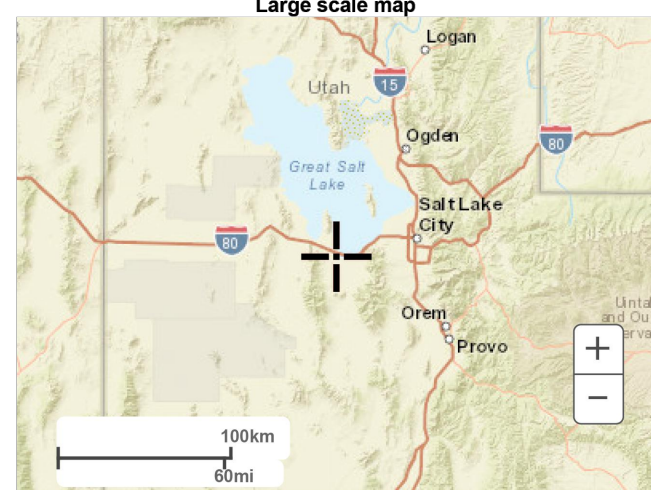
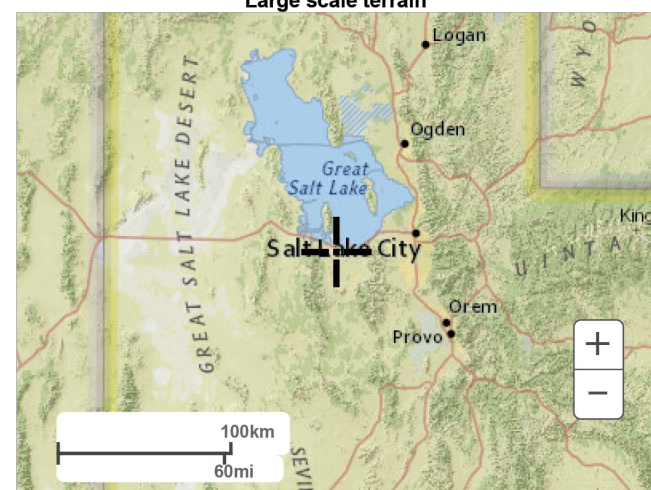
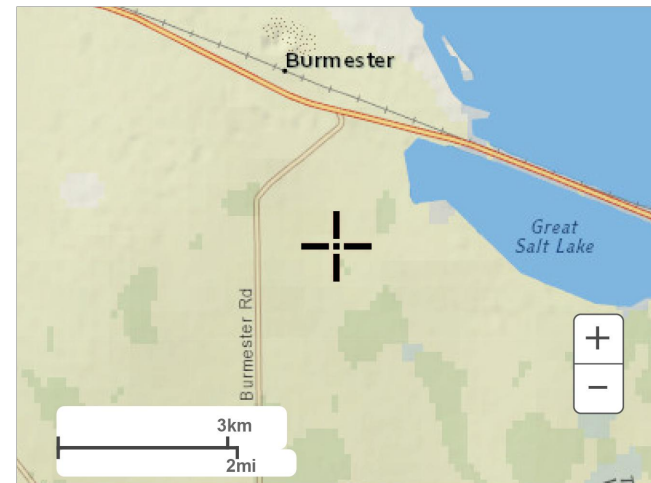
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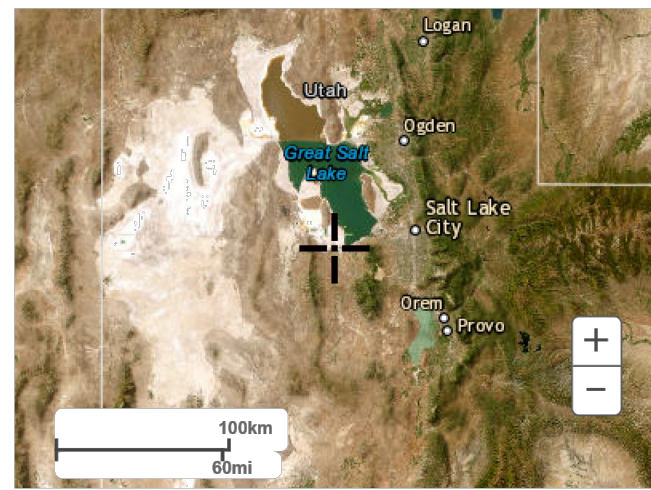
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Maps & aerials

Small scale terrain



Large scale aerial



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US Department of Commerce
National Oceanic and Atmospheric Administration
National Weather Service
National Water Center
1325 East West Highway
Silver Spring, MD 20910
Questions? HDSC.Questions@noaa.gov

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DRAINAGE CALCULATIONS

PROJECT NUMBER
T1402E

PRINT DATE
2024-02-05

PROJECT MANAGER
C. CHILD

DESIGNED BY
C. CARPENTER

811

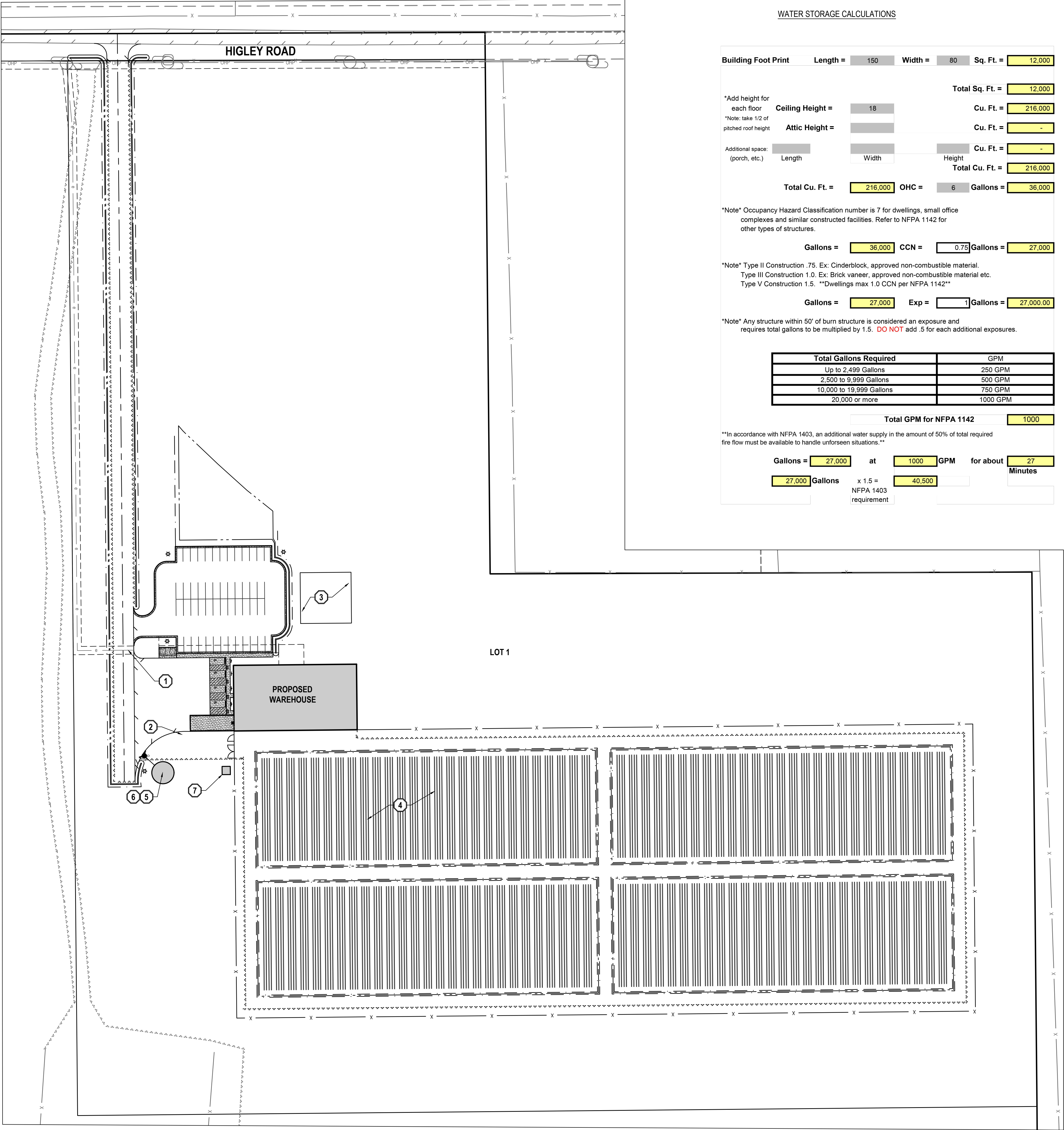
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 8,
TOWNSHIP 2 SOUTH, RANGE 5 WEST
SALT LAKE BASE AND MERIDIAN

ELEV = 4099.41'



WATER STORAGE CALCULATIONS

Building Foot Print

Length = 150

Width = 80

Sq. Ft. = 12,000

Total Sq. Ft. = 12,000

Cu. Ft. = 216,000

Cu. Ft. = -

Cu. Ft. = -

Total Cu. Ft. = 216,000

OHC = 6

Gallons = 36,000

*Add height for each floor

Ceiling Height = 18

*Note: take 1/2 of pitched roof height

Attic Height =

Additional space: (porch, etc.)

Length

Width

Height

Cu. Ft. = -

Total Cu. Ft. = 216,000

OHC = 6

Gallons = 36,000

Note Occupancy Hazard Classification number is 7 for dwellings, small office complexes and similar constructed facilities. Refer to NFPA 1142 for other types of structures.

Gallons = 36,000

CCN = 0.75

Gallons = 27,000

Note Type II Construction .75. Ex: Cinderblock, approved non-combustible material. Type III Construction 1.0. Ex: Brick veneer, approved non-combustible material etc. Type V Construction 1.5. **Dwellings max 1.0 CCN per NFPA 1142**

Gallons = 27,000

Exp = 1

Gallons = 27,000.00

Note Any structure within 50' of burn structure is considered an exposure and requires total gallons to be multiplied by 1.5. DO NOT add .5 for each additional exposures.

Total Gallons Required

GPM

Up to 2,499 Gallons

250 GPM

2,500 to 9,999 Gallons

500 GPM

10,000 to 19,999 Gallons

750 GPM

20,000 or more

1000 GPM

Total GPM for NFPA 1142

1000

In accordance with NFPA 1403, an additional water supply in the amount of 50% of total required fire flow must be available to handle unforeseen situations.

Gallons = 27,000

at

1000

GPM

for about

27

Minutes

27,000 Gallons

x 1.5 =

40,500

NFPA 1403 requirement

GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- SEE ELECTRICAL PLANS FOR MORE DETAIL.
- DRY HYDRANT CONNECTION POINT.
- SEPTIC LOCATION PER OWNER, SEWER LINES, LEACH FIELD, AND ASSOCIATED INFRASTRUCTURE TO BE DESIGNED SEPARATELY FROM THESE PLANS. APPROVED BY TOOELE COUNTY HEALTH DEPARTMENT.
- 6.0 ACRE FIELD UTILITIES PER OWNER.
- TANK MUST BE INSTALLED PER MANUFACTURES RECOMMENDATION.
- RANFLO CORRUGATED STEEL 42,379 GALLON WATER TANK BUILT TO NFPA-22 STANDARDS AND INSTALLED PER NFPA 1142 STANDARDS AND SPECIFICATION OR EQUIVLENT. ALONG WITH NORTH TOOELE COUNTY FIRE DEPARTMENT STANDARDS AND SPECIFICATIONS, INCLUDING 6" NH THREADS FEMALE CONNECTION FOR DRAFTING WITH PLUG, TWO 2 1/2" FDC FOR FILLING THE TANK, A TANK HEATER MUST BE INSTALLED, ANTI-VORTEX DEVICE MUST BE INSTALLED IN THE TANK, DRAFTING CONNECTION MUST HAVE A VALVE AND LOCATED CLOSE ENOUGH TO THE TANK TO KEEP FROM FREEZING.
- 10'X10'X10' WELL PUMP HOUSE.



TOOELE
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Tooele, UT 84074
Phone: 435.843.3590

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Phone: 801.547.1100

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Phone: 435.896.2983

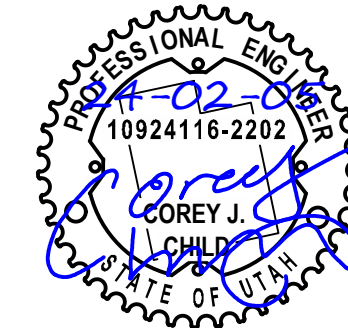
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6974 UNION PARK AVE, SUITE 600
COTTONWOOD HEIGHTS, UTAH 84047

CONTACT:
CHRIS JEFFERY
PHONE: 970-589-0979

GRANTSVILLE WAREHOUSE

5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH



UTILITY PLAN

PROJECT NUMBER
T1402E

PRINT DATE
2024-02-05

PROJECT MANAGER
C. CHILD

DESIGNED BY
C. CARPENTER

C-300



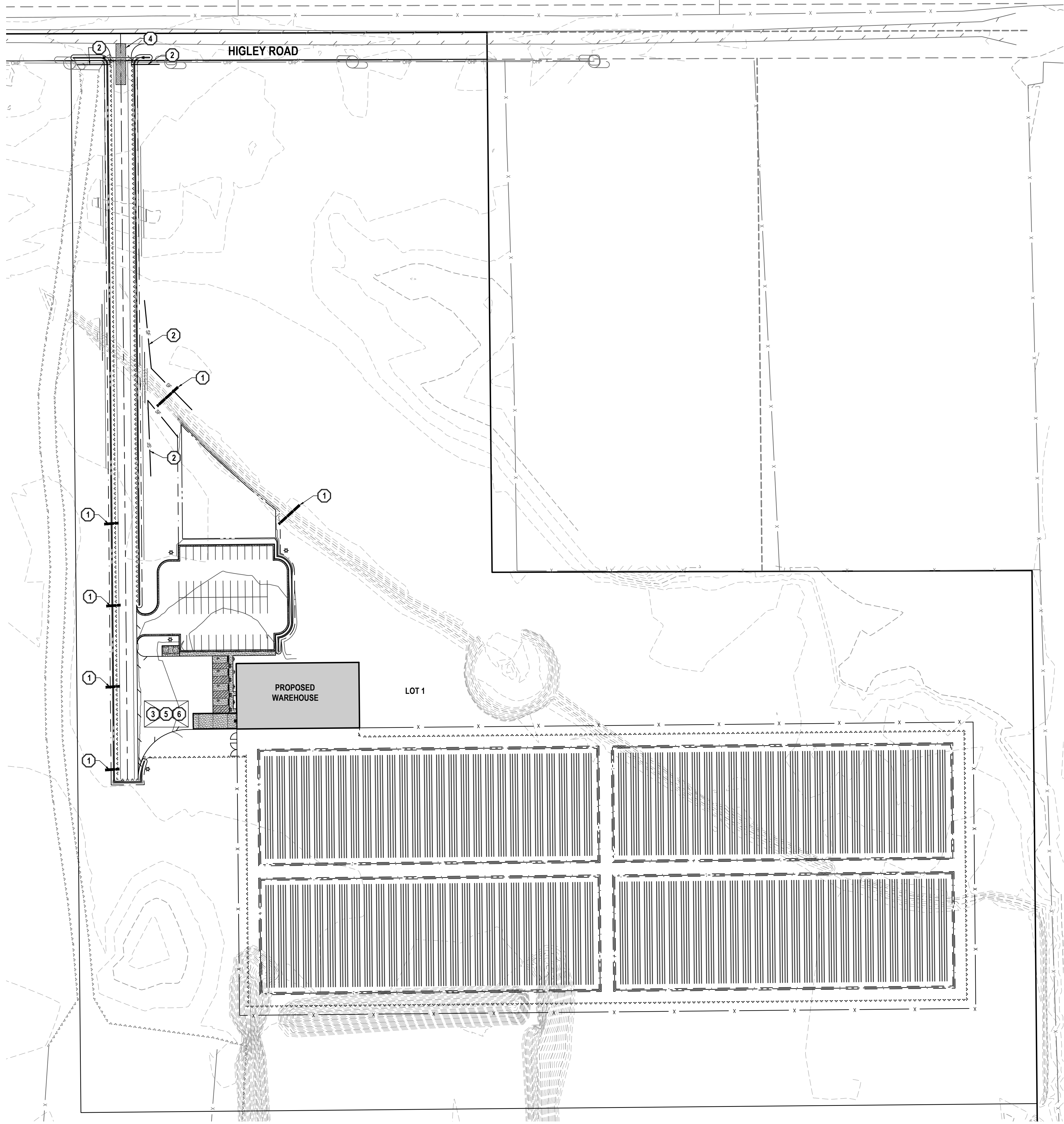
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 8,
TOWNSHIP 2 SOUTH, RANGE 5 WEST
SALT LAKE BASE AND MERIDIAN

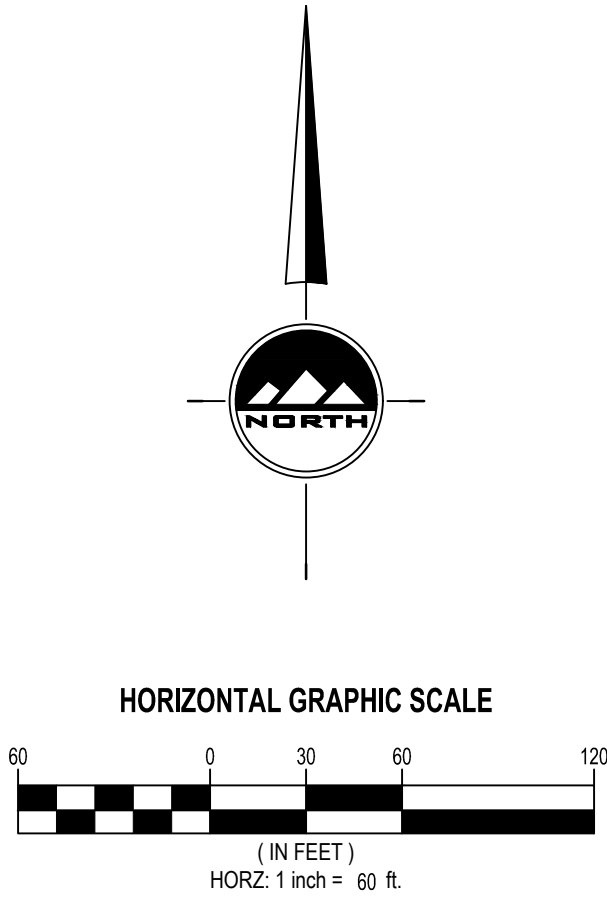
ELEV = 4099.41'



- GENERAL NOTES**
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
 - DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
 - RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
 - DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
 - VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
 - NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
 - A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- WATTLE SWALE PROTECTION PER DETAIL 5/C-500.
 - SILT FENCE PER DETAIL 6/C-500.
 - PORTABLE TOILET PER DETAIL 7/C-500.
 - VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 8/C-500.
 - SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
 - SUGGESTED STOCKPILE AREA.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			





THE STANDARD IN ENGINEERING

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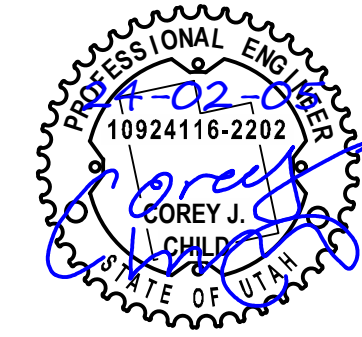
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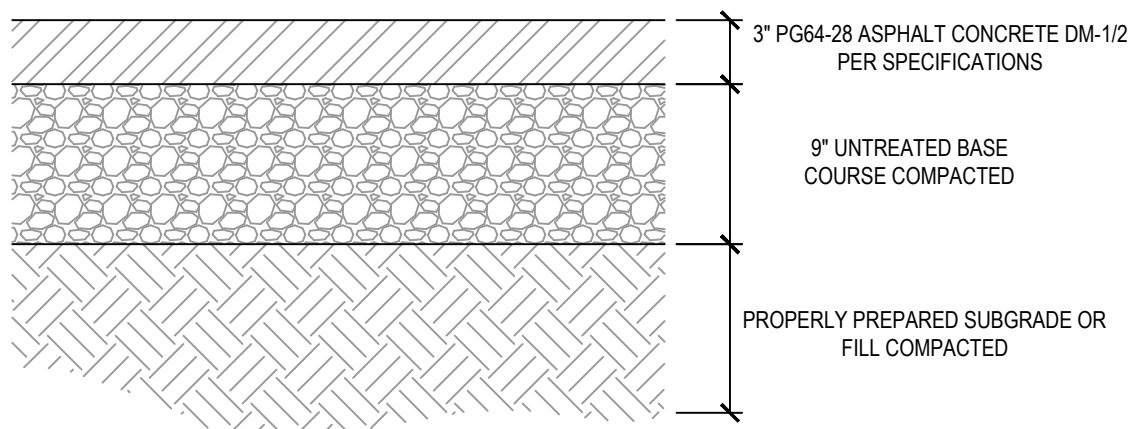


EROSION CONTROL PLAN

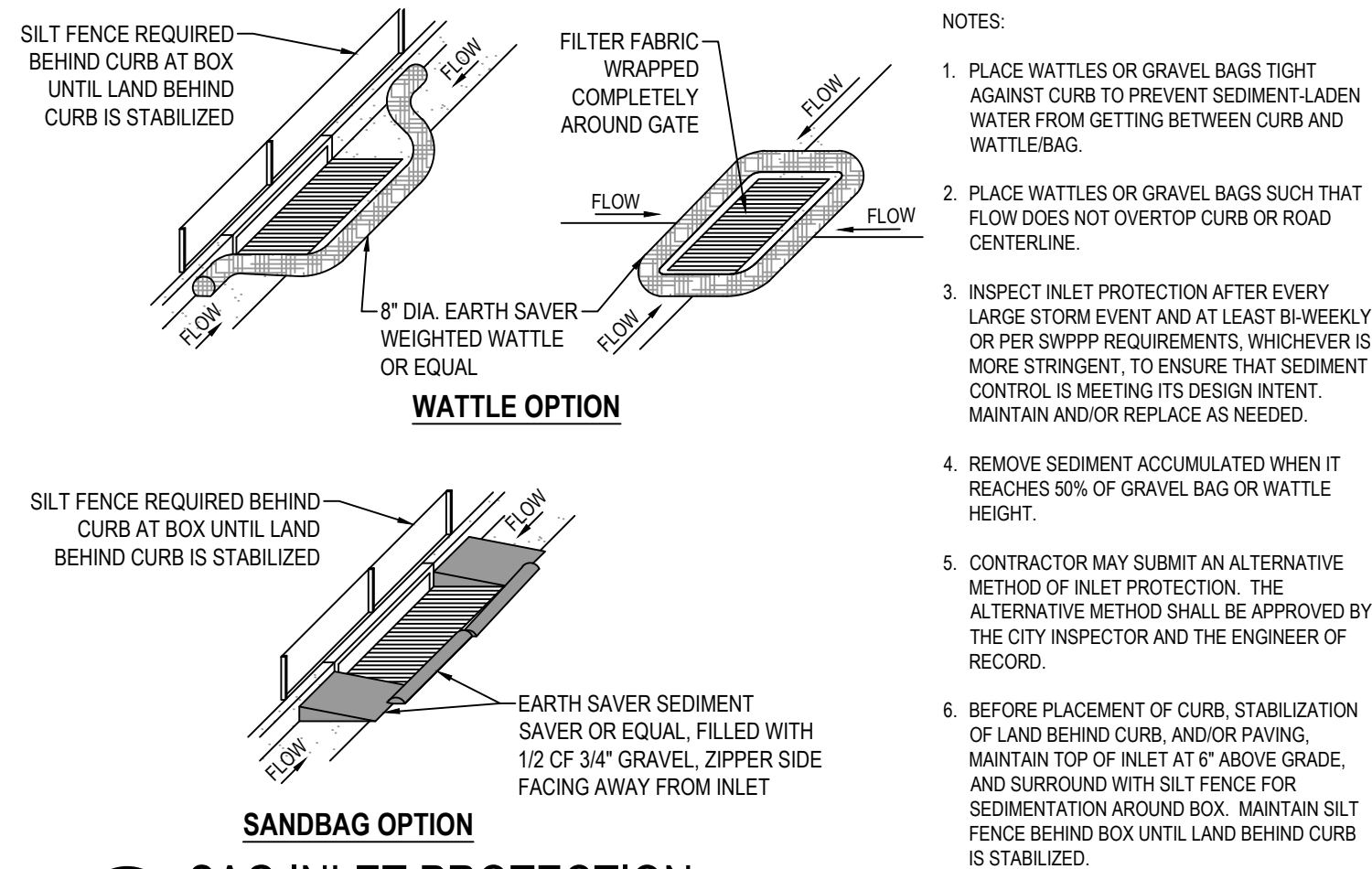
PROJECT NUMBER: T1402E
PRINT DATE: 2024-02-05
PROJECT MANAGER: C. CHILD
DESIGNED BY: C. CARPENTER

C-400

1. ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
2. ALL STRUCTURAL FILL TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-100 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
3. REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



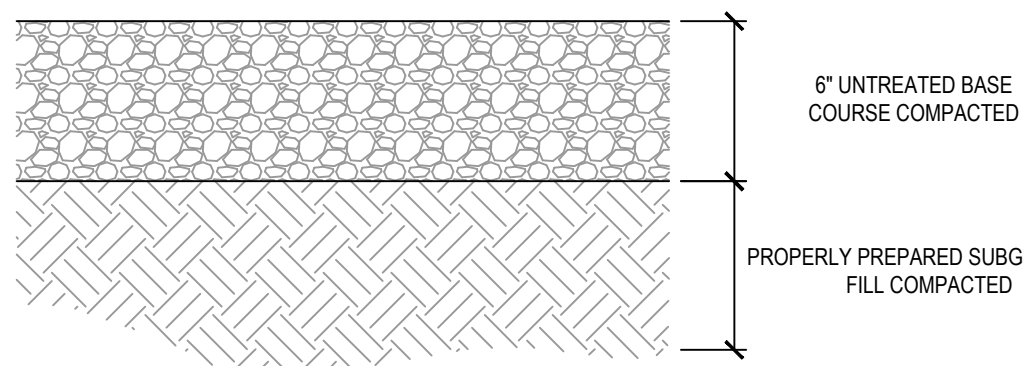
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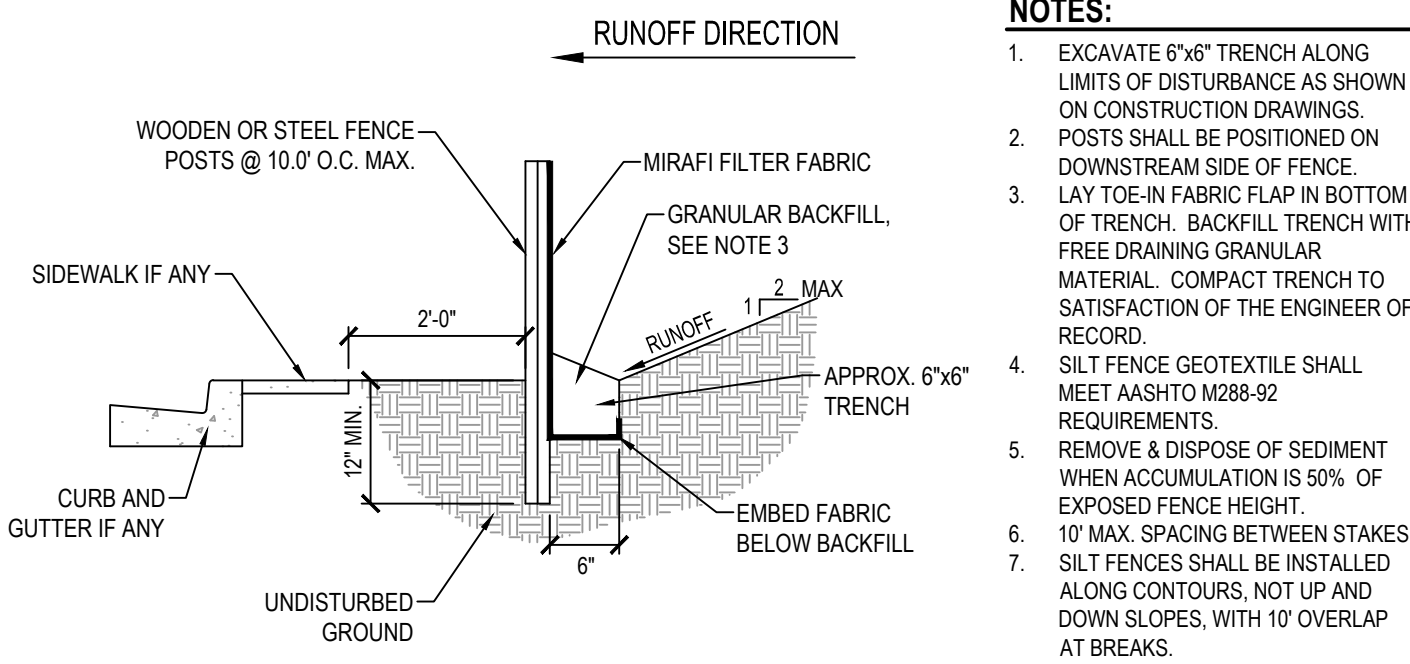
5 SAG INLET PROTECTION

SCALE: NONE

1. ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
2. ALL STRUCTURAL FILL TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
3. REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



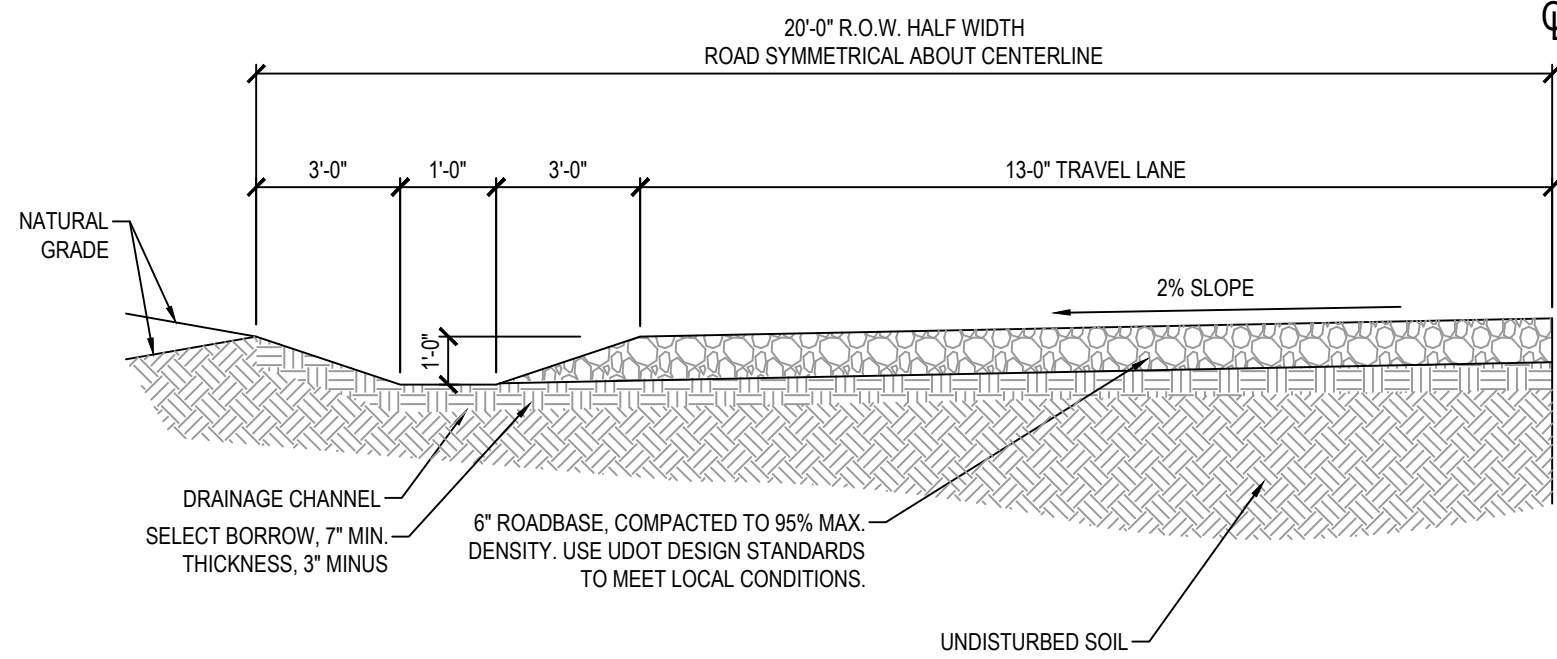
SCALE: NONE



6 TEMPORARY SILT FENCE

SCALE: NONE

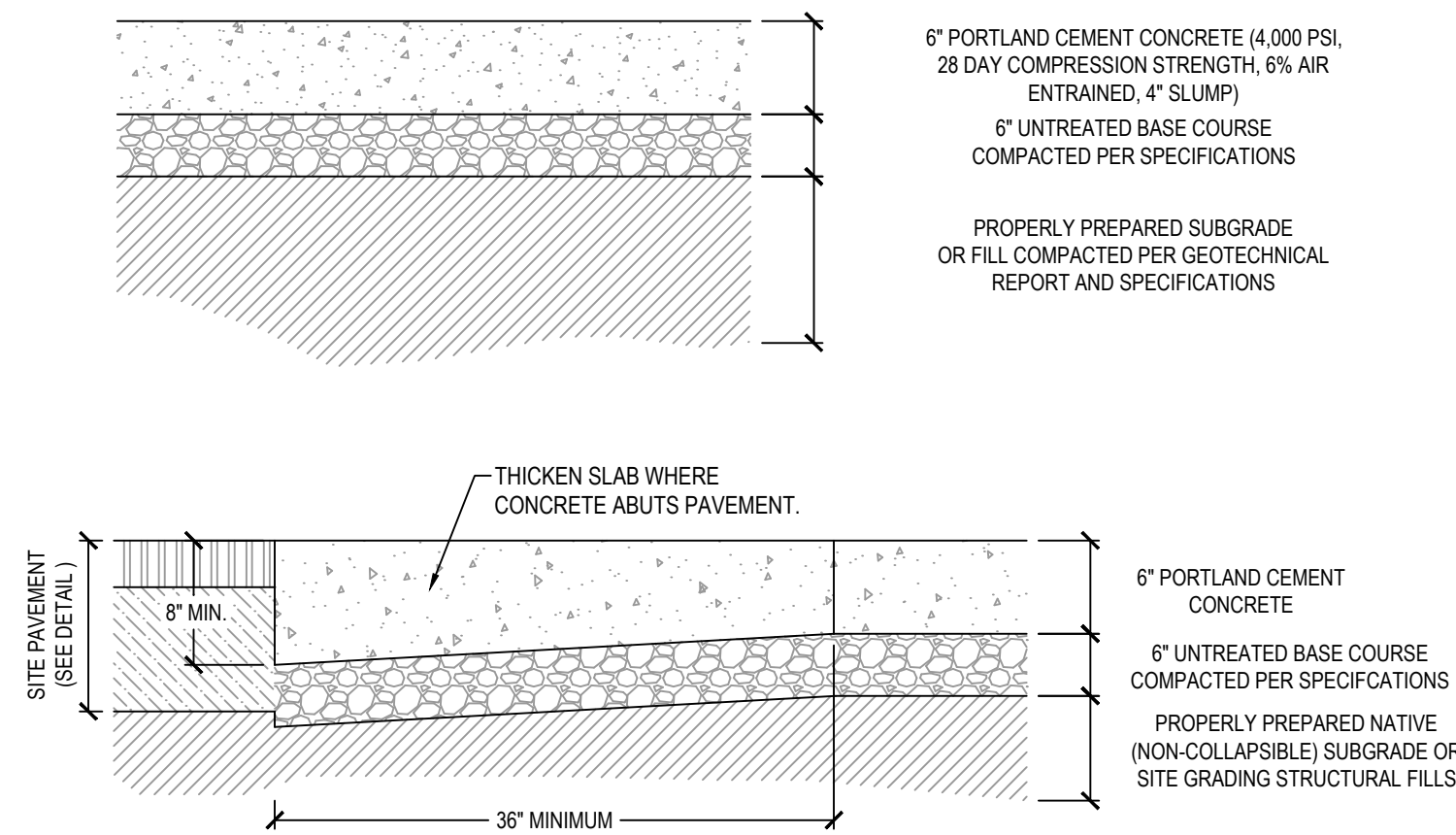
SCALE: NONE



7 PORTABLE TOILET

SCALE: NONE

SCALE: NONE

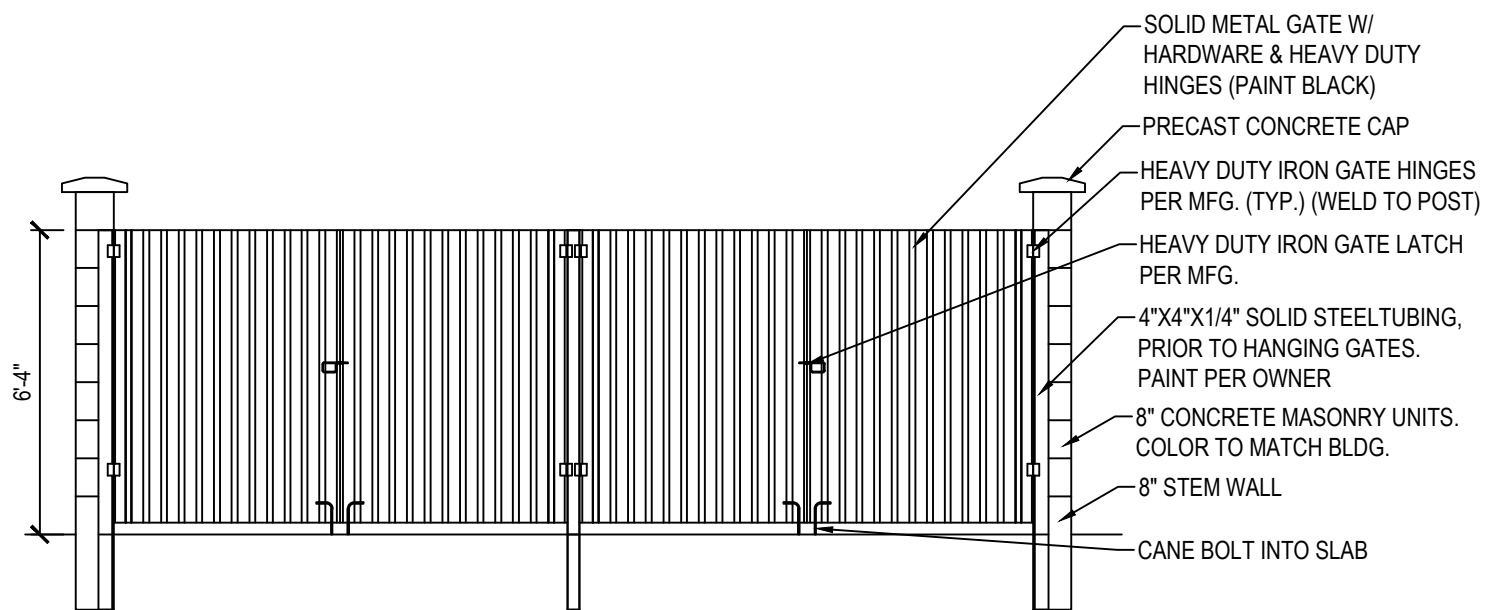


8 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE

9 NOT USED

SCALE: NONE

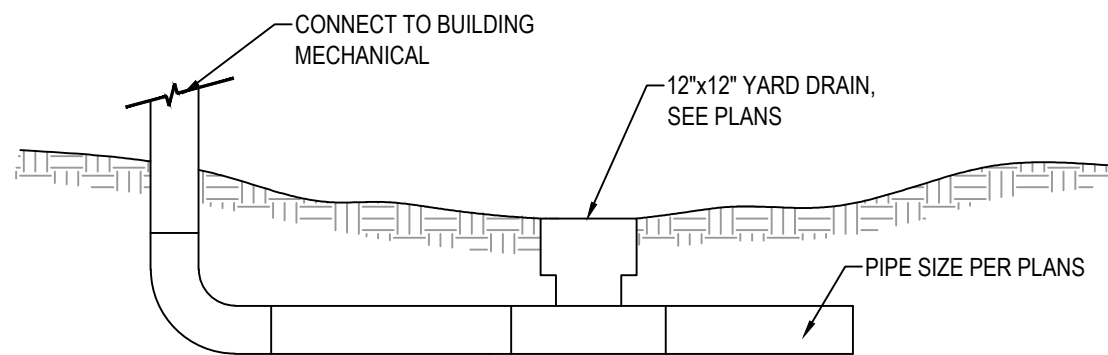


13 TRASH ENCLOSURE ELEVATION

SCALE: NONE

CONCRETE WHEEL STOP

SCALE: NONE

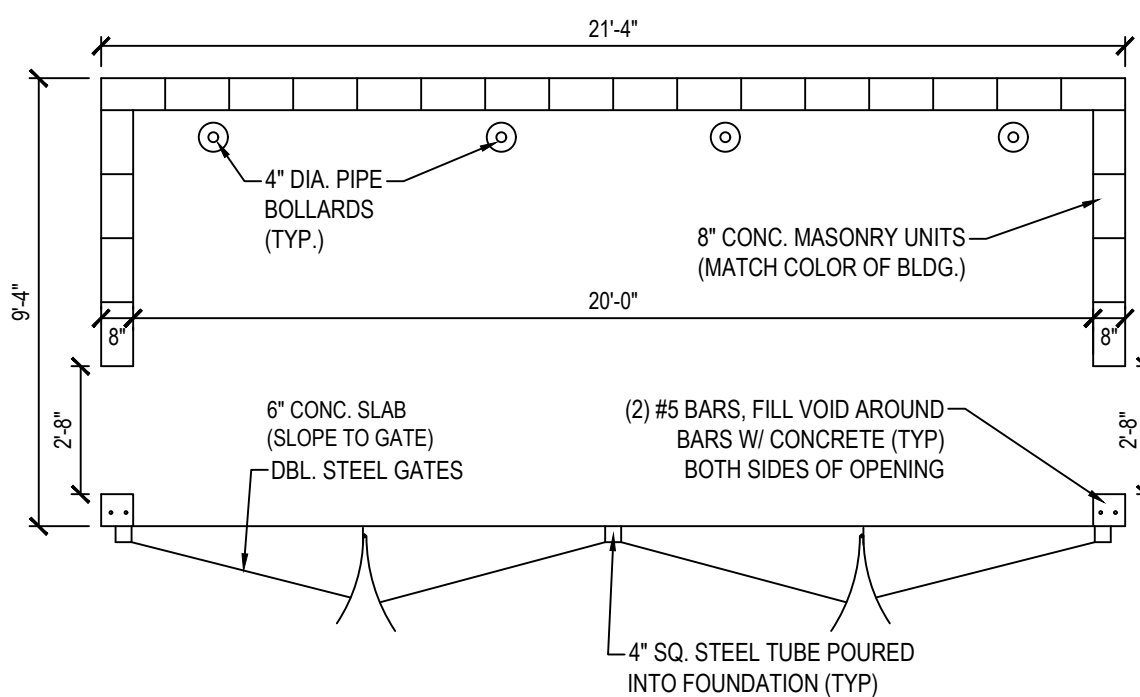


14 ROOF DRAIN CONNECTION

SCALE: NONE

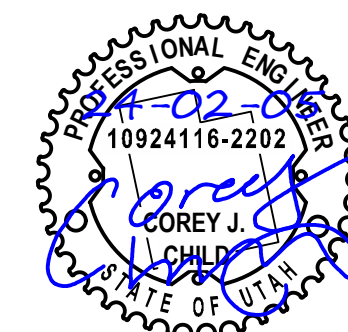
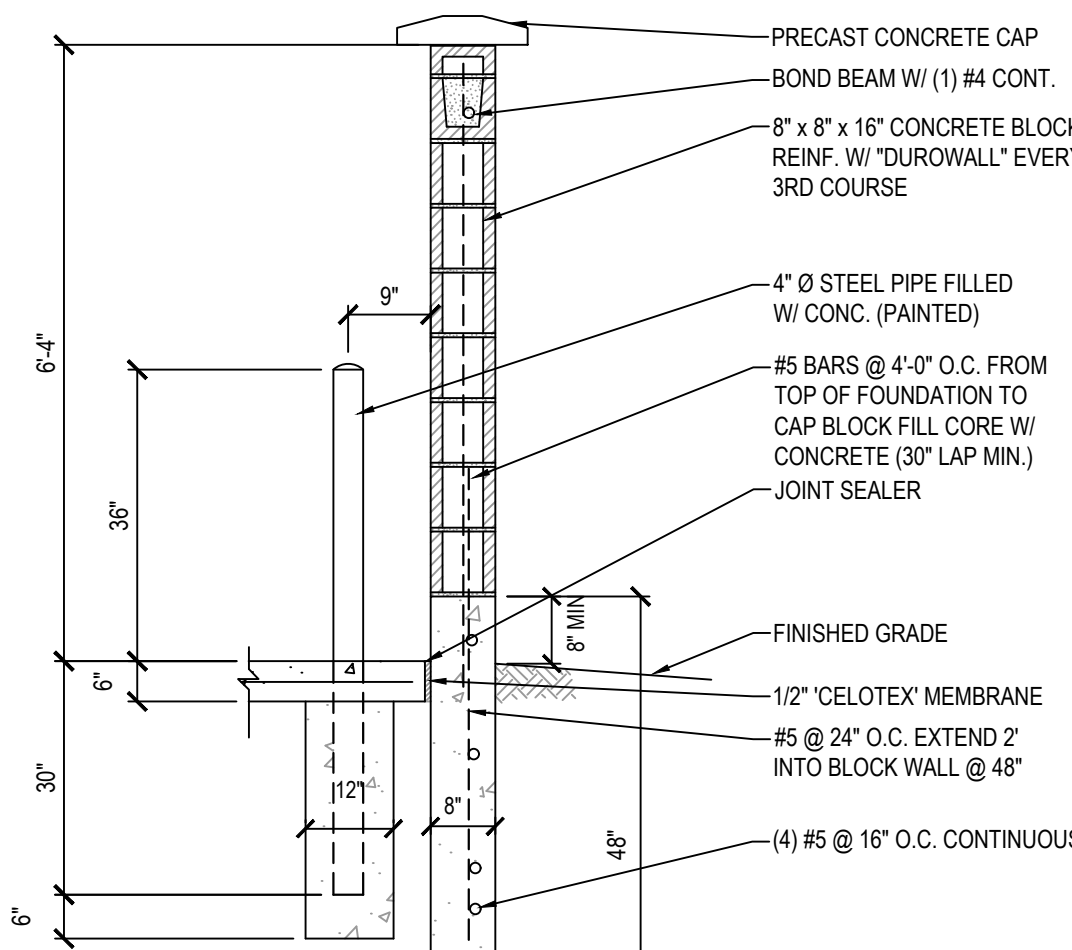
11 TRASH ENCLOSURE (TYP.)

SCALE: NONE



12 TRASH ENCLOSURE WALL & BOLLARD

SCALE: NONE



DETAILS

PrivacyLink® (3 1/2” x 5” mesh — near total privacy)



Our PrivacyLink® fence has been our best and most popular chain link fence with “Factory Inserted Slats”™ for over 24 years. It is fabricated using our original, patented Fin2000® slats that provide approximately 98 percent privacy (based on the wire/mesh used and the stretch tension) or near maximum privacy. Fin2000® slats feature a unique design with fins that fit snugly in the wire mesh. Choose the color of the wire and compliment it with a corresponding color of slat. Or mix and match.

PrivacyLink Benefits:

- Factory inserted slats
- Superior privacy
- Cost-efficient solution for most settings
- Less installation time saves labor costs
- Low Maintenance
- Effective wind screen
- Enhances the appearance of the property
- Acts as exceptional sound barrier
- Virtually theft resistant
- Virtually unclimbable

Heavy-duty HDPE Slats

PrivacyLink® features strong and durable double wall slats “factory inserted” into the wire mesh. Choose from a wide variety of colors and styles. There’s something just right for whatever your needs might be.

Galvanized Chain Link Fencing

We fabricate our chain link mesh using only the highest grade 9 or 10 gauge galvanized wire. Our state-of-the-art manufacturing process ensures a consistent weave and product quality.

Vinyl Coated Chain Link Fencing

We also offer a fused and bonded vinyl coated chain link mesh that is color coordinated to seven of our standard slat colors. And, we guarantee it for years of trouble-free use.

ASTM Designations

Meets ASTM Designations (see chart on the next page)

Technical Data

PrivacyLink® Specifications

Wind load and privacy factor - approximately (Based on wire/mesh used-stretch tension)	98%
3 1/2” x 5” Mesh	✓
Manufactured up to 12’ high	✓
Available in 9 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class IV wire (1.20 oz.)	✓
Available in 10 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class IV wire (1.20 oz.)	✓
Available in 9 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class V wire (2.0 oz.)	✓
Available in 9 gauge finish 10 gauge core fused & bonded vinyl coated wire per ASTM F668, class ZB - 7 colors available	✓
Available in 8 gauge finish 9 gauge core fused & bonded vinyl coated wire per ASTM F668, class ZB - 7 colors available	✓
Available in 9 gauge aluminumized before weaving wire per ASTM A491, Type 1	✓
Self-locking double wall slats (with or without staples)	✓
Slats meet ASTM F3000 and F3000M designations	✓
Available in a 25’ roll	✓
5’ minimum increments thereafter	✓
Fifteen year pro-rata limited warranty	✓

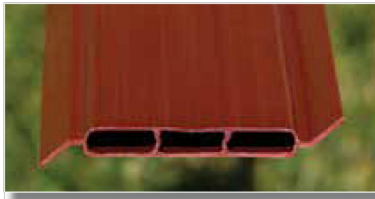
Standard Wire Colors

Beige	Redwood	Black	White
Galvanized	Forest Green	Gray	Dark Brown

Standard Slat Colors

Beige	Redwood	Black	White
Royal Blue	Forest Green	Gray	Dark Brown
Sky Blue			

Colors are approximations. Exact representation of colors in printing is difficult. Please refer to actual color samples for accurate matching. **Samples available upon request.**



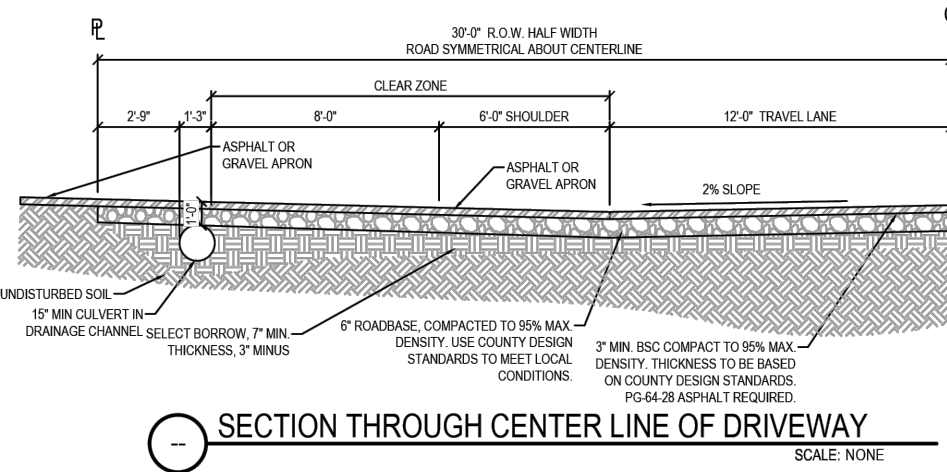
PrivacyLink®’s Fin2000 double wall slats fit snugly into the galvanized steel or vinyl coated chain link mesh to provide 98% or near total privacy. They also ensure exceptional security and beauty.



MADE IN USA

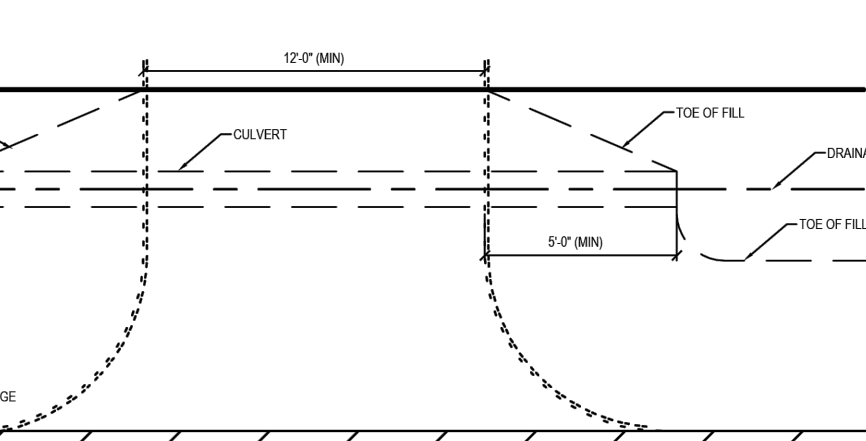
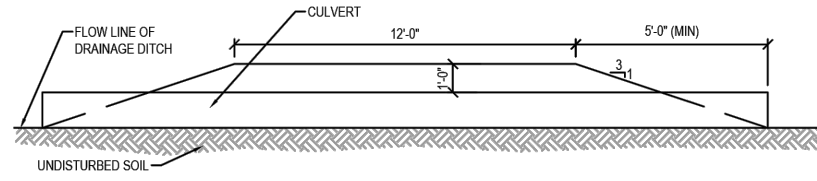
HDPE Technical Properties

Property	Values
Melt Index	(.35) Optimum extrusion processing conditions for Fence Slats
Density	(.945) Polyethylene ranges anywhere from .914 to .960 in density
Minimum Temp.	(-70° F) Under no stress, HDPE remains flexible at this temperature
Maximum Temp.	(180° F) Under no stress, HDPE will not distort at this temperature
Strength	(4,000 psi) HDPE will not distort at lesser loads or impacts



SECTION THROUGH CENTER LINE OF DRIVEWAY

SCALE: NONE



DRIVEWAY APPROACH

SCALE: NONE

NOTE: TOOELE COUNTY MINIMUM STANDARDS SHOWN. GEOTECHNICAL REPORT MAY SUPERSEDE TOOELE COUNTY MINIMUM STANDARDS.

PROJECT: T2127A DATE: 7/13/21 FILE: 11 OF 11	PRIVATE ROAD TOOELE COUNTY ENG. DEPT. Rachelle Custer APPROVAL	7/15/2021 DATE	TOOELE COUNTY 169 N. Main Street, Unit 1 Tooele, Utah 84074 Phone: 435.843.3590 Fax: 435.578.0108 www.ensigneng.com	ENSIGN THE STANDARD IN ENGINEERING
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Provide information on barbed wire and other security features.



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5737 WEST HIGLEY ROAD
GRANTSVILLE, UTAH



DETAILS

PROJECT NUMBER: T1402E
PRINT DATE: 2024-02-05
PROJECT MANAGER: C. CHILD
DESIGNED BY: C. CARPENTER

C-501

811

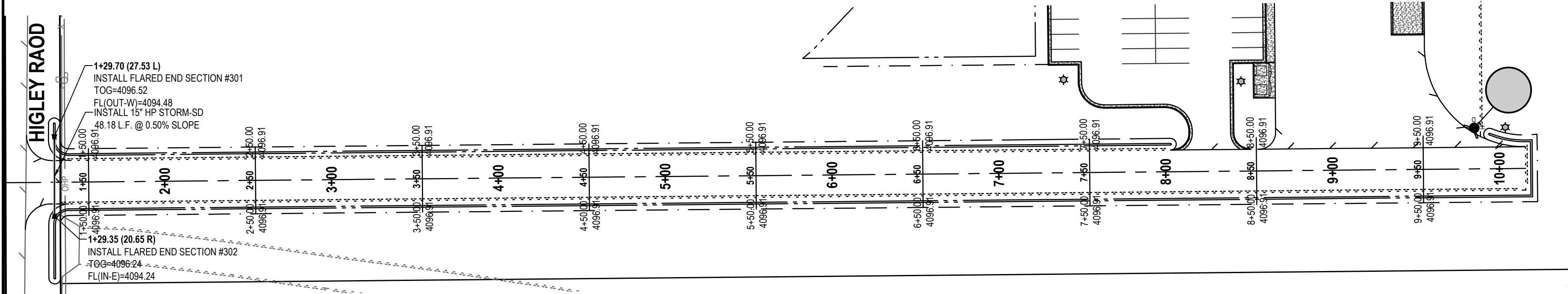
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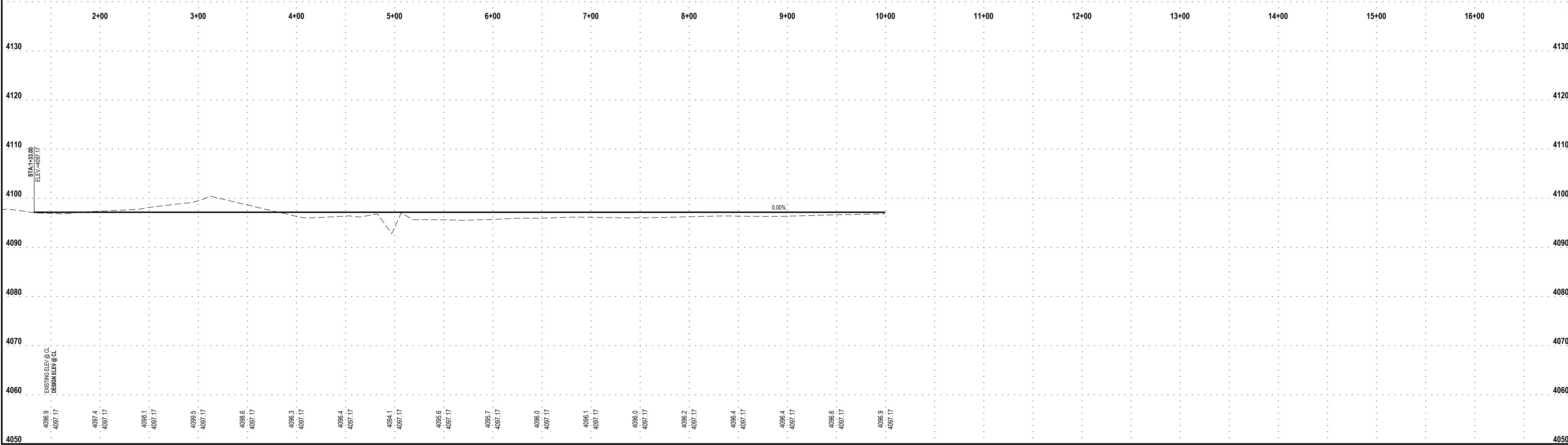
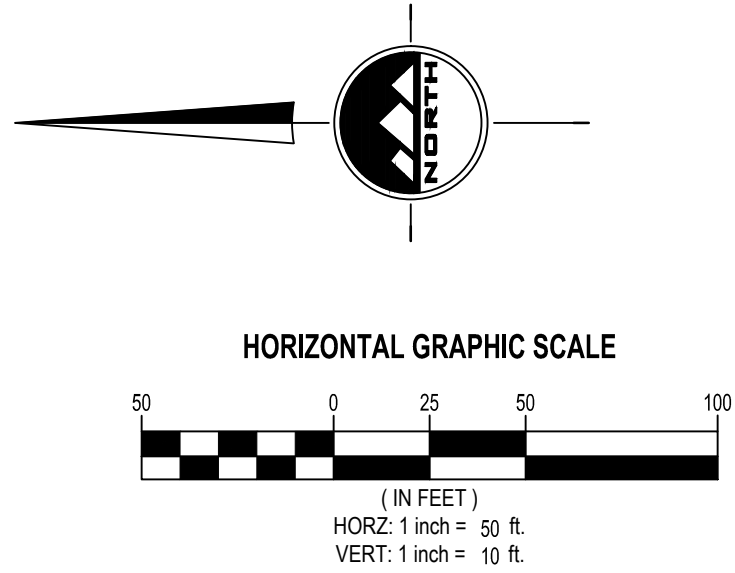
BENCHMARK

NORTHWEST CORNER OF SECTION 8,
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SALT LAKE BASE AND MERIDIAN

ELEV = 4099.41'



DRIVEWAY



EN SIGN

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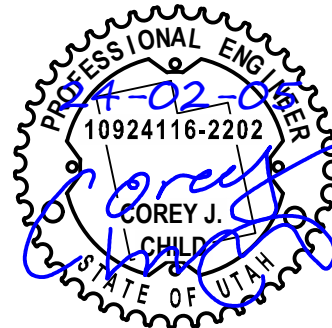
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PLAN AND PROFILE

PROJECT NUMBER: T1402E
PRINT DATE: 2024-02-05
PROJECT MANAGER: C. CHILD
DESIGNED BY: C. CARPENTER

PP-1

