



FARR WEST CITY COUNCIL AGENDA

March 7, 2024 at 6:30 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the City Council of Farr West City will hold its regular meeting at 6:30 pm on Thursday, March 7, 2024 at the Farr West City Hall, 1896 North 1800 West, Farr West

Call to Order – Assistant Mayor Boyd Ferrin

1. Opening Ceremony
 - a. Opening Prayer
 - b. Pledge of Allegiance
2. Comments/Reports
 - a. Public Comments (*2 minutes*)
 - b. Report from the Planning Commission
3. Consent Items
 - a. Assignments and direction for Planning Commission
 - b. Consider approval of minutes dated February 15, 2024
 - c. Consider approval of bills dated March 6, 2024
4. Business Items
 - a. Consider approval of business licenses – D & P Storage LLC
Pitmaster Supply Company
 - b. Consider approval of the Northwest Cascade (Honey Bucket) site plan located at 2990 North 2000 West
5. Mayor/Council Follow-up
 - a. Report on Assignments
 - b. Consider entering into a closed session to discuss purchasing property per Utah Code 52-4-205 (D)
6. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was emailed to each member of the City Council, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on March 1, 2024.

Lindsay Afuvai
Recorder

Application for Business License



Application date: 2/22/2024

Owner Name: David Laloli

Owner Address: [REDACTED]

Telephone: 801-[REDACTED]

Business Name: D & P Storage LLC DBA: Tri-City Storage

Business Address: 2143 w 700 n City: Marriott-Slaterville State: UT Zip: 84404

Mailing Address: Same City: _____ State: _____ Zip: _____

Business Phone Number: 801-698-9963 Number of employees: 0

Manager Name: Jordan Wright Contact Phone: 801-698-9963

**If business is commercial or manufacturing/warehousing, please list square footage: _____

State Sales Tax ID # _____ State License # 13427655-0160

If a daycare of preschool, number of own children: _____; number of other children: _____

Describe your type of business in detail: Indoor Storage facility

Businesses that require Health Department inspection and permit: ANY business that is selling food, tattoo and piercing salons, tanning salons, day cares, nursing and assisted livings.

Health Department Permit # _____ or check if not applicable N/A

All new business licenses or change of ownership/tenant are required to undergo a fire inspection from Weber Fire District. Please contact Jolene at Weber Fire District at 801-782-3580 to schedule the inspection. Proof of passed inspection must be submitted with the business license application before any approval is given.

BUSINESS LICENSE FEE SCHEDULE

COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

MANUFACTURING/WAREHOUSING

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

OTHER

Contractor	Professional	Interstate Commerce
\$100.00	\$50.00	\$50.00

ALCOHOL

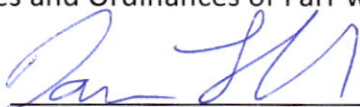
Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

*If you are renewing an alcohol license:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? No

Type of License Applying For: Other manuf/warehouse License fee due: 150-
\$200.00

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature:  Date: 2/22/2024

For office use only:

Amount paid: 150- Date paid: 2-22-24 Receipt Number: 9.002722
City Council Date: 3/7/2024 Approved: _____ Disapproved: _____
License number: _____ Date issued: _____



Weber Fire District
Fire Inspection Results

Business Inspection

Passed

Current Date	Inspected by	Inspection Contact Name	Inspection Status
02/08/2024	Hansel, Alec	David Laloli	Completed

Business Name	Address	Suite	City	State
Tri-City Storage	2122 W 1850 N	--	OGDEN	UT
Zip			Building Type	
84404			Commercial	

ACCESS:

✓ Pass

ITEM: Fire lane, Hydrant and FDC are accessible for emergency response.

CODE: IFC - 503.4 - Obstruction of fire apparatus access roads. - Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times.

IFC - 507.5.4 - Obstruction. - Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants.

✓ Pass

ITEM: Is the address on the building and visible from the street?

CODE: IFC - 505.1 - Address identification. - New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible

Application for Business License



Application date: 2-15-24

Owner Name: Steve Besaw

Owner Address: [Redacted]

Telephone: 80 [Redacted]

Business Name: Pitmaster Supply Company DBA: _____

Business Address: 1980 W 2000 W City: Farr West State: VT Zip: 05404

Mailing Address: P.O. Box 13474 City: Ogden State: VT Zip: 05412

Business Phone Number: ~~802~~-305-405-2331 Number of employees: 3

Manager Name: Steve Besaw Contact Phone: 801-882-5720

**If business is commercial or manufacturing/warehousing, please list square footage: _____

State Sales Tax ID # 15375464-003-STC State License # _____

If a daycare of preschool, number of own children: _____; number of other children: _____

Describe your type of business in detail: BBQ Supply Store

Businesses that require Health Department inspection and permit: ANY business that is selling food, tattoo and piercing salons, tanning salons, day cares, nursing and assisted livings.

Health Department Permit # _____ or check if not applicable _____

*All new business licenses or change of ownership/tenant are required to undergo a fire inspection from Weber Fire District. Please **contact Jolene at Weber Fire District at 801-782-3580** to schedule the inspection. Proof of passed inspection must be submitted with the business license application before any approval is given.*

BUSINESS LICENSE FEE SCHEDULE

COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

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Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

OTHER

Contractor	Professional	Interstate Commerce
\$100.00	\$50.00	\$50.00

ALCOHOL

Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

*If you are renewing an alcohol license:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? _____

Type of License Applying For: Commercial License fee due: 100⁰⁰

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature: SAR Date: 2-15-24

For office use only:

Amount paid: 100- Date paid: 2/23/2024 Receipt Number: 6.006865
City Council Date: 3/7/2024 Approved: _____ Disapproved: _____
License number: _____ Date issued: _____



Weber Fire District
Fire Inspection Results

Business Inspection

Passed

Current Date	Inspected by	Inspection Contact Name	Inspection Status
02/22/2024	Wright, Greg	Steve Besaw	Completed

Business Name	Address	Suite	City	State
Pit Master Supply	1980 N 2000 W	Suite 2	OGDEN	UT
Zip			Building Type	
84404			Unknown	

ACCESS:

✓ Pass

ITEM: Fire lane, Hydrant and FDC are accessible for emergency response.

CODE: IFC - 507.5.4 - Obstruction. - Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants.

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✓ Pass

ITEM: Is the address on the building and visible from the street?

CODE: IFC - 505.1 - Address identification. - New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible

Application for Site Plan Approval



1896 North 1800 West
Farr West, UT 84404
Phone – (801)731-4187
Fax – (801) 731-7732

Date Submitted: 04/20/2023

Applicant Name: NWC#5 Partnership, LLC

Applicant Address: [REDACTED]

Phone: [REDACTED]

Business Name: NWC#5 Partnership, LLC

Application Number: _____

Business Address: P.O. Box 73390 Puyallup, WA 98373

Phone: 605-922-7368

Address and description of site being considered: 2990 North 2000 West Farr West, Utah 84404

BEGINNING AT A POINT 10 CHAINS SOUTH OF THE NORTHEAST CORNER OF SAID QUARTER SECTION, AND RUNNING THENCE WEST 586 FEET TO THE STATE ROAD, KNOWN AS U. S. HIGHWAY 84, THENCE SOUTH ALONG HIGHWAY 242 FEET THENCE EAST 580 FEET TO A POINT SOUTH OF THE PLACE OF BEGINNING, THENCE NORTH 242 FEET, TO THE PLACE OF BEGINNING.

Tax ID number of site being considered: 190170009

Current zoning of site: C-2

FEE SCHEDULE

Application: \$100.00 Engineering Deposit: \$1,000.00

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- All proposed new development except single-family detached residences.
- n/a All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- Issuance of a conditional use permit for new construction.
- n/a New signs
- Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- n/a All plans for earth sheltered dwellings.

The following information is required for site plan approval (check box next to all items submitted with application):

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- x A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, **and** in an electronic PDF format.
- x Lot dimensions and orientations: North arrow, etc.
- x Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- x Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- x Indication of proposed use of buildings. (SEE ARCHITECTURAL PLANS)
- x All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- x Height of all existing and proposed walls and fences and type of construction.
- x Location and type of landscaping. (SEE ARCHITECTURAL PLANS)
- x All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- x All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- x Location, type, lighting and size of proposed and existing signs. (SEE ARCHITECTURAL PLANS)
- x Location, type and size of proposed and existing light poles.
- x A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- x One copy of a current county ownership plat showing the property and adjacent properties.
- x Approval letter from Weber Fire District (801-782-3580). (WILL BE PROVIDED SHORTLY)
- x Approval letter from Bona Vista Water (801-621-0474). (WILL BE PROVIDED SHORTLY)

If any of the above information is not being provided please indicate reasoning:

Water company letters will be provided as soon as they have been provided.

Answer the following questions as applicable: (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? _____

A CUP has been approved by the City of Farr West to utilize this site as a staging area for clean portable toilets, sinks and similar equipment to serve the construction and special events industry.

2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

To be compatible with and complimentary to the existing surrounding uses we are proposing and willing to buffer the perimeter of this property with an 8-ft tall decorative concrete fence as approved and conditioned with the Conditional Use Permit.

Signature of Applicant:

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. All property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.

mark perry
Owner Signature

Mark Perry, Owner
Print Name

Owner Signature

Print Name

I/We authorize Larson and Associates, Inc. & Woolsey Design to act as my/our agent in all matters relating to this application.
(Print name)

Owner Signature

Mark Perry, Owner
Print Name

Owner Signature

Print Name

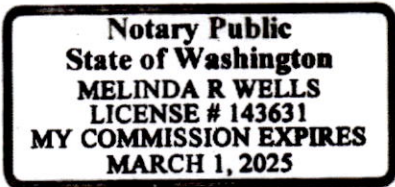
Authorized Agent Signature
Larson and Associates, Inc.

Signature of City Recorder/Clerk
(Not Required if Notarized)

WASHINGTON
State of Utah)

Count of 5
PIERCE)

On this 20th day of APRIL, in the year 2023, before me MELINDA WELLS, a notary public, personally appeared MARK PERRY, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.



Melinda R Wells
NOTARY PUBLIC

E
A
L

State of Utah)

§

County of _____)

On this _____ day of _____, in the year _____, before me _____, a notary public, personally appeared _____, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.

NOTARY PUBLIC

S
E
A
L

For City Use:

Fee received by: <u>McKinzie</u>	Date received: <u>6-12-2023</u>
Receipt number: <u>9.002462</u>	Cash/Check (circle one)
Date site plan received: <u>6-12-23</u>	Received by: <u>McKinzie</u>
Date met with city engineer: <u>2-15-2024</u>	Signed: <u>Matt Robertson</u>
Date engineer approved plan: _____	Signed: _____
Date planning commission approved: _____	
Date city council approved (conditional use permit only): _____	

MEMORANDUM



CONSULTING ENGINEERS

TO: Farr West City Planning Commission and City Council

FROM: Matt Robertson, P.E.
City Engineer

RE: **HONEY BUCKET SITE PLAN**
Site Plan Review

Date: February 15, 2024

Our office has completed a review of the site plan for the Honey Bucket Site located at 2990 North 2000 West. The project includes construction of a new 3,360 SF building with associated parking, yard space, and landscaping. They have received approval from UDOT for their access and improvements along 2000 West. All drainage will be retained on-site with an overflow to the existing drainage on the east side of the property.

All previous issues have been resolved with the Developer and their Engineer and we recommend approval of the site plan with the following comments:

1. Complete a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) with the State before any construction begins.
2. A Long-Term Stormwater Management Agreement will need to be signed and recorded on the property to ensure that the private, on-site stormwater system is maintained and to give the City permission to inspect the system.
3. An Encroachment Permit from UDOT will be required for all work within the State right-of-way.
4. A pre-construction conference with the Developer and their Contractor should be held with the City and utility providers prior to beginning any construction.

Please let me know if you have any further questions.



Bona Vista Water Improvement District

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

February 13, 2024

TO: FarrWest City

RE: WILL SERVE LETTER – Honey Bucket

The project located at 2950 North 2000 West in FarrWest is in the boundaries of the Bona Vista Water Improvement District. The commercial project utility plans have been reviewed by the District and changes, if any, have been made and corrected.

This letter serves as verification that the corrected plans have been approved for the above-named project. Only the phase in consideration is guaranteed service. The plan review is good for a period of one year from the date of this letter. If not constructed within that time frame, the review process will start again including additional fees.

Culinary water will be made available once the following criteria are met:

- All water mains, service lines, fire hydrants, etc. must be constructed according to the district's specifications. Those specifications can be found on the district's website: <https://www.bonavistawater.com/construction-standards>
- Fire line fees are paid, if applicable.
- Proof of secondary water will need to accompany the connection fee for each connection inside the development. The connection receipt will serve as verification from the district for building permits.
- Allowable proof of secondary water is a connection receipt from a pressurized secondary water provider or a letter clearly stating that there are 3-acre feet of water available for each acre of undeveloped property (water shares must be in owners name)

If you have any questions, please feel free to call me. I can be reached at 801-621-0474 ext. 207, Monday through Friday, 9am – 5pm.

Sincerely,

Matt Fox
Assistant Manager

Board of Directors

Michelle Tait, Chairwoman - Harrisville
Jon Beesley, Vice Chairman – Plain City
Ronald Stratford – Unincorporated Area
Scott Van Leeuwen – Marriott/Slaterville
Ken Phippen – Farr West

Management

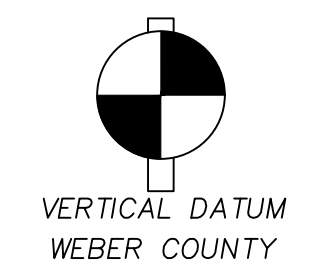
Blake Carlin, Manager
Matt Fox, Assistant Manager
Marcie Doolan, Administrative Manager

NWC - FARR WEST UTAH

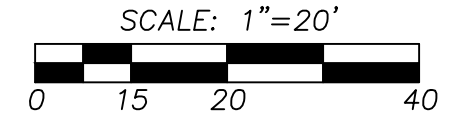
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH

SHEET INDEX

- CS-01 COMMERCIAL SITE PLAN
- CS-02 T.E.S.C. & GRADING PLAN
- CS-03 COMMERCIAL SITE PLAN
- CS-04 OFF-SITE PLAN AND PROFILE
- CS-05 SECTION PLAN
- CS-06 STORMWATER - DETAILS & SPECIFICATIONS
- CS-07 STORMWATER - DETAILS & SPECIFICATIONS
- CS-08 DETAILS & SPECIFICATIONS



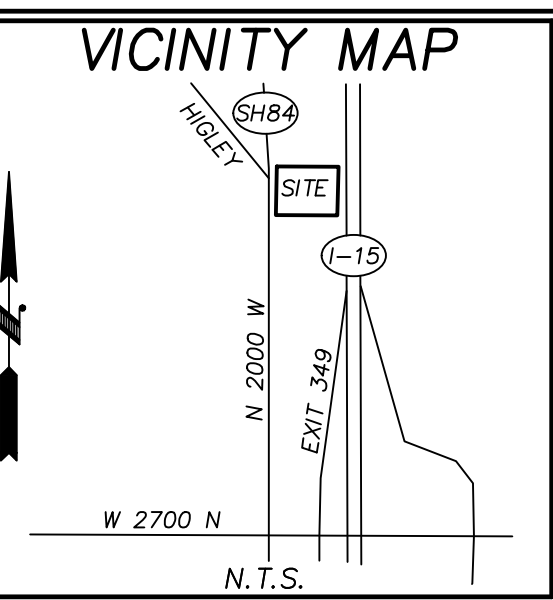
VERTICAL DATUM
WEBER COUNTY



SURVEY NOTE

TOPOGRAPHIC SITE SURVEY PROVIDED BY JOHANSON SURVEYING ON 8/23/2022

CONTOUR INTERVAL=1'
TOPOGRAPHY PREPARED BY JOHANSON SURVEYING



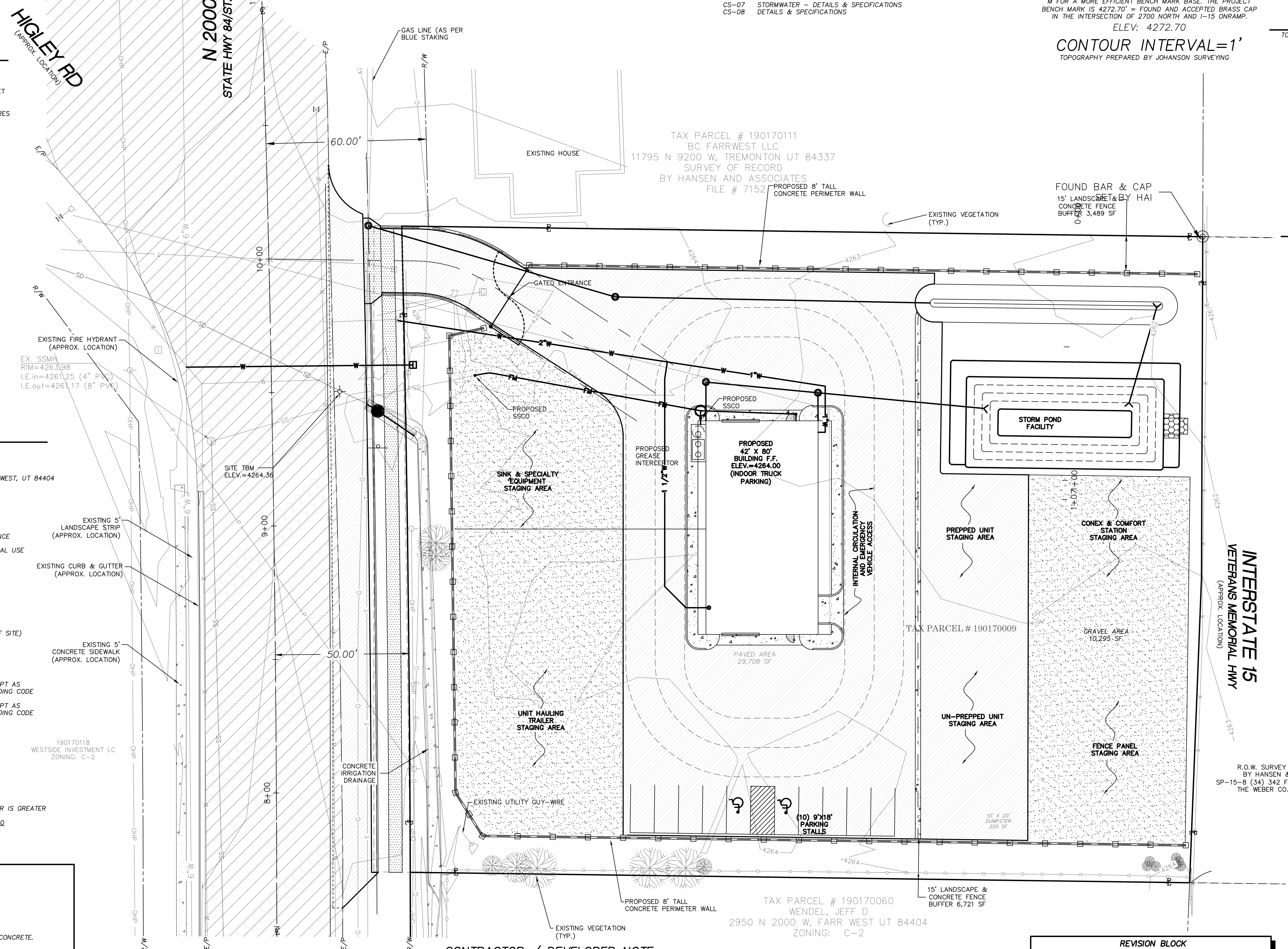
PROPERTY DESCRIPTION

BEGINNING AT A POINT 10 CHAINS SOUTH OF THE NORTHEAST CORNER OF SAID QUARTER SECTION, AND RUNNING THENCE WEST 586 FEET TO THE STATE ROAD, KNOWN AS U. S. HIGHWAY 84, THENCE SOUTH ALONG HIGHWAY 242 FEET THENCE EAST 580 FEET TO A POINT SOUTH OF THE PLACE OF BEGINNING, THENCE NORTH 242 FEET, TO THE PLACE OF BEGINNING.

CONTAINING 1.65 +/- ACRES

COMMERCIAL SITE DATA

PARCELS:	190170009
PROPERTY OWNER:	BAXTER LIVING TRUST
SITE ADDRESS:	2990 N 2000 W FARR WEST, UT 84404
ASSESSOR'S REPORTED ACREAGE:	2.10 AC±
ACREAGE:	71,743 SF (1.65 AC)
EXISTING ZONING:	C-2
EXISTING USE:	SINGLE-FAMILY RESIDENCE
PROPOSED USE:	COMMERCIAL CONDITIONAL USE
NUMBER OF LOTS:	1
PROPOSED DWELLING UNITS:	NONE
DEDICATION AREAS:	NONE
CRITICAL AREAS:	NONE KNOWN
LANDSCAPE REQUIREMENT:	10% OF SITE
PROPOSED LANDSCAPING:	10,090 SF (~14.1% OF SITE)
SETBACK REQUIREMENTS:	
FRONT SETBACK AND SIDE SETBACK FROM A PUBLIC DEDICATED STREET:	TWENTY FEET (20')
SIDE YARD SETBACK, ADJACENT TO COMMERCIAL ZONED PROPERTY:	NO REQUIREMENT EXCEPT AS REQUIRED IN THE BUILDING CODE
REAR YARD SETBACK ADJACENT TO COMMERCIAL ZONED PROPERTY:	NO REQUIREMENT EXCEPT AS REQUIRED IN THE BUILDING CODE
SIDE YARD SETBACK, ADJACENT TO RESIDENTIALLY ZONED PROPERTY:	TEN FEET (10')
REAR YARD SETBACK, ADJACENT TO RESIDENTIALLY ZONED PROPERTY:	TEN FEET (10')
MIN. LOT AREA AND WIDTH:	NO REQUIREMENT
MAXIMUM HEIGHT:	NO REQUIREMENT
MINIMUM HEIGHT:	EIGHT FEET (8') OR ONE STORY WHICHEVER IS GREATER
PARKING REQUIREMENTS:	SEE SECTION 17.44.150



LEGEND

- P — PROPERTY LINE
- 684 — EXISTING CONTOUR
- — RIGHT OF WAY LINE
- — PROPERTY ADJOINER LINE
- X — EXISTING WIRE FENCE
- O — EXISTING WROUGHT IRON FENCE
- S — EXISTING SANITARY SEWER PIPE
- W — EXISTING WATER MAIN
- G — EXISTING GAS/OIL LINE
- T — EXISTING STORM DRAIN/IRRIGATION PIPE
- — EXISTING PHONE/COMMUNICATION LINE
- OHP — EXISTING OVERHEAD POWER LINE
- □ — EXISTING IRRIGATION VALVE
- H — EXISTING WATER VALVE
- D — EXISTING FIRE HYDRANT
- + — EXISTING HOSE BIB
- M — EXISTING GAS METER
- R — EXISTING TELEPHONE RISER
- ⊙ — EXISTING SANITARY SEWER MANHOLE
- U — EXISTING UTILITY POLE
- G — EXISTING GUY WIRE
- M — EXISTING WATER METER
- — PROPOSED WATER SERVICE LINE
- SS — PROPOSED SANITARY SEWER PIPE
- — PROPOSED CLEANOUT
- — EXISTING PAVEMENT
- — EXISTING CONCRETE
- — PROPOSED PAVEMENT
- — PROPOSED GRAVEL
- — PROPOSED FUTURE EASEMENT
- — PROPOSED 8' TALL CONCRETE WALL
- — EXISTING VEGETATION

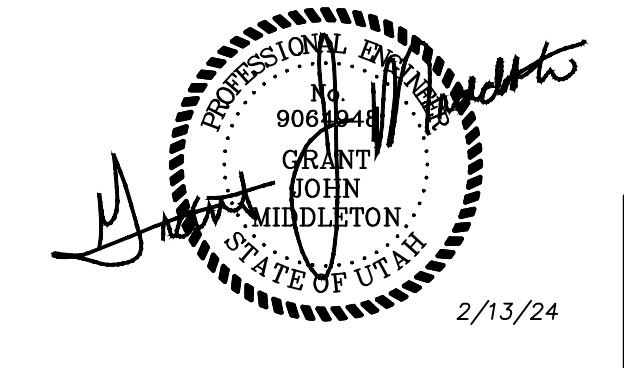
INTERSTATE 15
VETERANS MEMORIAL HWY
(APPROX. LOCATION)

R.O.W. SURVEY FOR INTERSTATE 15
BY HANSEN & ASSOCIATES INC.
SP-15-8 (34) 342 FILE # 004287 ON FILE WITH
THE WEBER CO. SURVEYORS OFFICE

CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY THE CITY AND THE PROJECT ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, THE BACKFILL MATERIAL MEETS MINIMUM COUNTY/STATE REQUIREMENTS, COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



CS-01

DATE
2/13/24
DRAWING NO.
9819BASE
SHEET 1 OF 8

JOB NUMBER
9819
SCALE
HOR: 1"=20'
VERT: 1"=5'
DESIGNED SC
DRAWN PB
CHECKED G-M
PROPOSER:
NMC #5 PARTNERSHIP
PO BOX 73399
PUYALLUP, WA 98373-0399
CONTACT: MARK PERRY
PH: (253)848-2371

LARSON and ASSOCIATES
surveyors, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444
(253) 474-3404

COMMERCIAL SITE PLAN

\\\Fs01\lms\proj\2024\NWC - Farr West\Drawings\84838.dwg, 2/13/24 10:42:14 AM, DWG (P) P104

CONSTRUCTION NOTES

- CONTRACTOR TO UTILIZE EXISTING ACCESS TO THE PROPERTY FOR CONSTRUCTION ENTRANCE PER BMP. STABILIZED CONSTRUCTION ENTRANCE ON PAGE CS-5.
- CONTRACTOR TO INSTALL MIRAFI SILT FENCE AS SHOWN AND PER FARR WEST BMP. SILT FENCE AND DETAIL ON SHEET CS-5.
- CONTRACTOR TO REMOVE ALL EXISTING TREES WITHIN PROPOSED WALL AS SHOWN.
- CONTRACTOR TO INSTALL SEDIMENT TRAP AS SHOWN BOTTOM OF TEMP. SEDIMENT TRAP 1 FOOT ABOVE FINAL POND BOTTOM, AND PER FARR WEST BMP. SEDIMENT TRAP AND DETAIL ON SHEET CS-5.

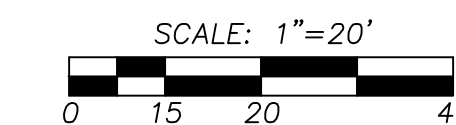
NWC - FARR WEST UTAH

SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

JOB NUMBER
9819

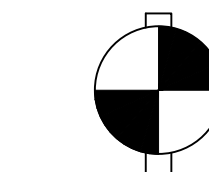
SCALE
DESIGNED SC
DRAWN PB
CHECKED C-M

HOR. 1"=20'
VERT. 1"=5'



SURVEY NOTE

TOPOGRAPHIC SITE SURVEY PROVIDED BY JOHANSON SURVEYING ON 8/23/2022



VERTICAL DATUM
WEBER COUNTY

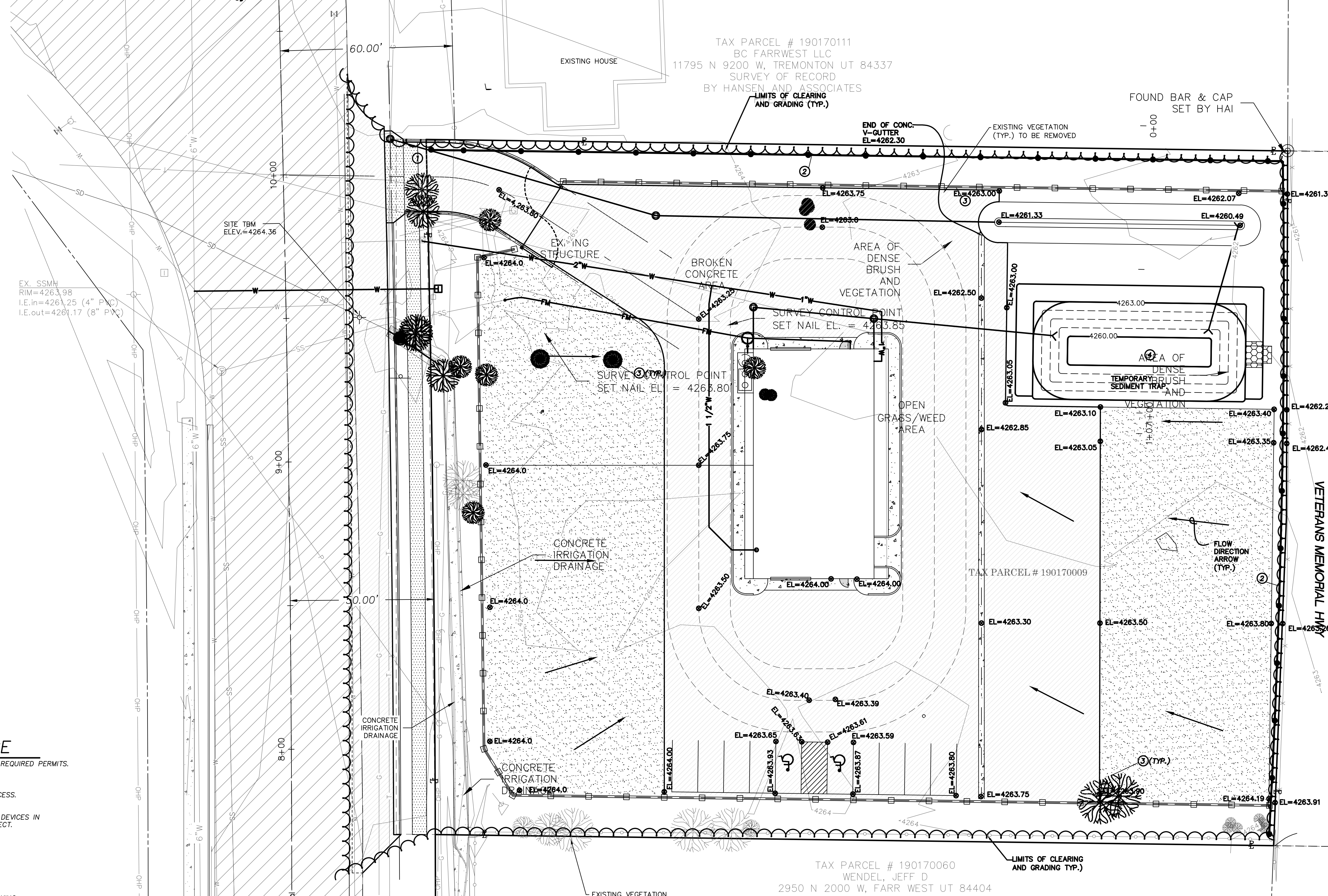
BM:
THE ELEVATION BASE IS DETERMINED BY THE FIELD G.P.S. PROJECTION BASED ON UTAH NORTH NAD 1983 PROJECTION THEN ROUNDED OFF TO MATCH THE GEOID 12B ELEVATION AS REFERENCED IN THE SECTION CORNER SHEET FOR THE SOUTHEAST CORNER OF SECTION 26, T. 7 N, R. 2 W, S.L.B. & M FOR A MORE EFFICIENT BENCH MARK BASE, THE PROJECT BENCH MARK IS 4272.70' = FOUND AND ACCEPTED BRASS CAP IN THE INTERSECTION OF 2700 NORTH AND I-15 ONRAMP.
ELEV: 4272.70

CONTOUR INTERVAL=1'
TOPOGRAPHY PREPARED BY JOHANSON SURVEYING

LEGEND

- CLEARING LIMITS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- MIRAFI SILT FENCE ②
- ROCK CHECK DAM ⑤
- RIP RAP PAD ⑥
- CATCH BASIN INSERT ⑦
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

HIGLEY RD
N 2000 W ST
STATE HWY 84/STATE ROUTE 126



INSPECTION SCHEDULE

- CONSTRUCTION ENTRANCE SHALL BE INSPECTED WEEKLY & CLEANED AS NEEDED OR NEW SPALLS ADDED AS NEEDED TO MAINTAIN A ROUGH SURFACE.
- THE EXISTING ACCESS ROUTES INTO THE PROJECT SITE SHALL BE INSPECTED EVERY 2 DAYS & SWEEP OR CLEANED ON A WEEKLY BASIS OR MORE FREQUENTLY IF NEEDED.
- ALL CUT & FILL SIDE SLOPES SHALL BE INSPECTED EVERY 2 DAYS AND/OR AFTER EVERY STORM EVENT TO REPAIR ANY EROSION OR SLOPE SCOURING.
- INSPECT C.B. INLET PROTECTION ON A WEEKLY BASIS AND AFTER EVERY MAJOR STORM EVENT.

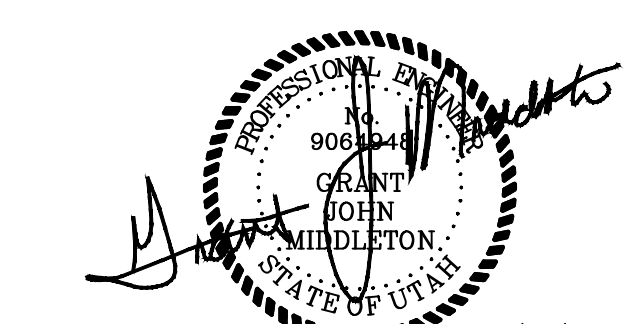
NOTES

- ALL FILL SHALL BE CLEAN EARTHEN MATERIAL ONLY, WITH NO CONCRETE, GARBAGE, SOLID WASTE OR ANY OTHER UNACCEPTABLE MASS.
- ALL DEMOLITION MATERIAL MUST GO TO A LICENSED SOLID WASTE HANDLING OR DISPOSAL FACILITY.
- ALL SEPTIC TANKS SHALL BE PUMPED BY A CERTIFIED SEPTIC HAULER, FILLED WITH SOIL AND A DECOMMISSIONING APPLICATION COMPLETED PER WEBER-MORGAN HEALTH DEPARTMENT REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN DEMOLITION PERMIT AS REQUIRED PRIOR TO ANY DEMOLITION OR STRUCTURE REMOVAL.
- ALL SLOPES SHALL MAINTAIN MINIMUM SETBACKS IN ACCORDANCE WITH THE GRADING NOTES ON SHEET C1.1.
- THE OWNER'S RETAINED GEOTECHNICAL ENGINEER SHALL TEST ALL FILL MATERIAL & OBTAIN SUFFICIENT COMPACTION TESTS TO VERIFY SOIL STABILITY.
- EROSION CONTROL MEASURES OTHER THAN THOSE SPECIFIED MAY BE NEEDED TO PREVENT MIGRATION OF SEDIMENT. SEE SHEETS C1.1 FOR ADDITIONAL MEASURES.
- CONTRACTOR TO HAVE EQUIPMENT AND MATERIALS I.E.: STRAW, 12" & 18" CMP, QUARRY SPALLS, TEMP RISER STRUCTURES, ETC. ON-SITE DURING CONSTRUCTION FOR EMERGENCY SITUATIONS. CONTRACTOR TO DEVELOP PLAN OF ACTION FOR EROSION MEASURES PRIOR TO STARTING CONSTRUCTION.
- TO LIMIT IMPACTS TO NEIGHBORING PROPERTIES, DUST CONTROL WILL BE REQUIRED.

CONSTRUCTION SEQUENCE

- HOLD A PRE-CONSTRUCTION MEETING WITH THE CITY AND OBTAIN REQUIRED PERMITS.
- ESTABLISH CLEARING AND GRADING LIMITS.
- UTILIZE EXISTING GRAVEL ACCESS FOR CONSTRUCTION VEHICLE ACCESS.
- INSTALL CATCH BASIN INLET PROTECTION AND SEDIMENT CONTROL DEVICES IN ALL EXISTING CATCH BASINS WITHIN DIRECT VICINITY OF THE PROJECT.
- SCHEDULE AN EROSION CONTROL INSPECTION WITH THE CITY.
- CLEAR AND GRADE SITE AND CONSTRUCT STORM DRAIN SYSTEM PER APPROVED PLANS.
- PROVIDE C.B. INLET PROTECTION IN NEW CATCH BASINS UNTIL PARKING LOT STORM DRAIN SYSTEM IS COMPLETED AND THE SITE IS COMPLETELY STABILIZED AND PROTECTED FROM EROSION & SEDIMENTATION.
- NOTE: THE BUILDING CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF STORM SYSTEM DURING BUILDING AND LANDSCAPE CONSTRUCTION.
- HYDRO SEED AND/OR MULCH SLOPES AND OTHER EXPOSED AREAS IMMEDIATELY AFTER GRADING IS COMPLETED AS OUTLINED IN "EROSION CONTROL NOTES".
- CLEAN OUT AND TEST ALL STORM DRAIN FACILITIES.
- INSPECT AND MAINTAIN ALL EROSION CONTROL FACILITIES (I.E. CB INLET PROTECTION BMPs) AT REGULAR INTERVALS & COMPLETE REQUIRED REPORT, CLEAN AS REQUIRED UNTIL RISK OF SEDIMENTATION HAS PASSED.

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



2/13/24

LARSON and ASSOCIATES
surveyors, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444 (253) 474-3404

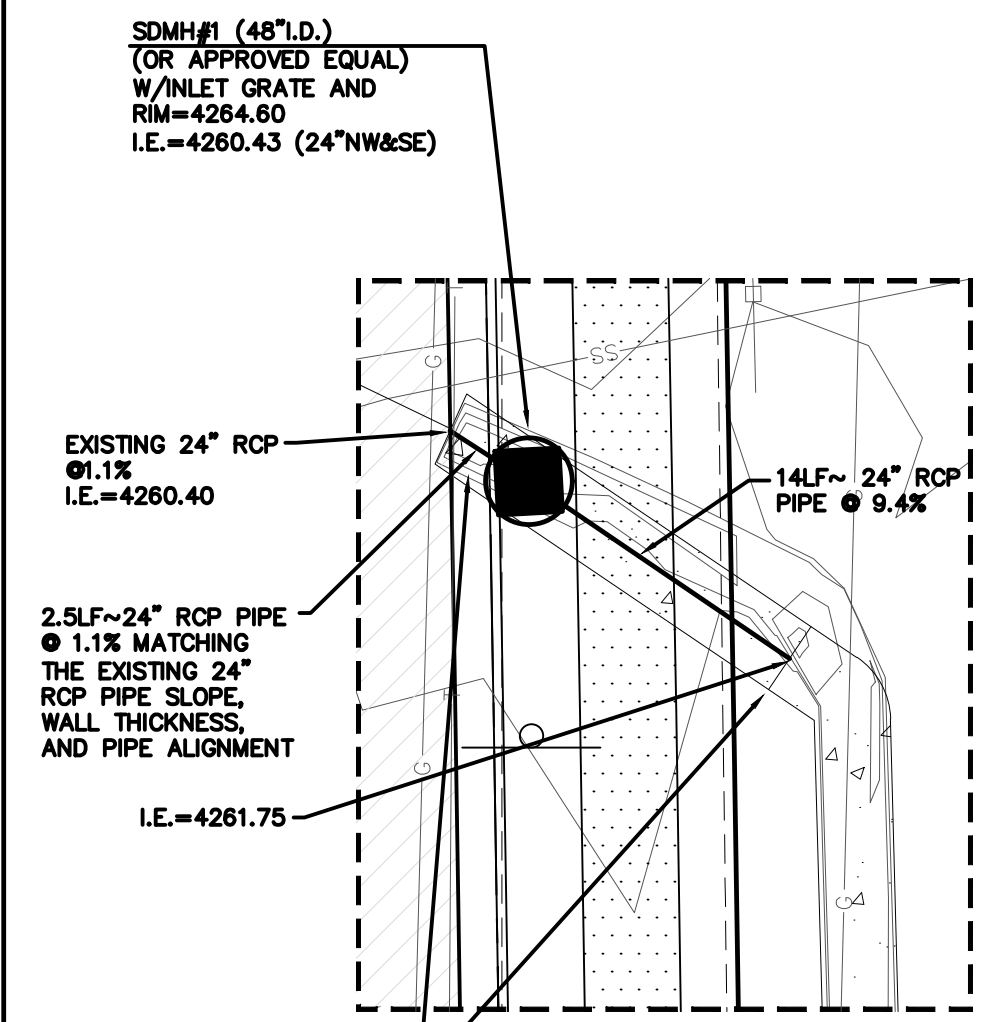
T.E.S.C AND GRADING PLAN

DATE
2/13/24
DRAWING NO.
9819BASE
SHEET 2 OF 8

CS-02

CONSTRUCTION NOTES

- CONTRACTOR TO INSTALL LIBERTY PUMPS ESP107719 GRINDER PUMP STATION OR APPROVED EQUAL AS SHOWN & PER DETAIL ON SHEET CS-06.
- THE MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 1.5 FEET. THE MINIMUM HORIZONTAL SEPARATION SHALL BE 10 FEET FROM EXISTING OR PROPOSED SEWER.
- CONTRACTOR TO INSTALL 8" TALL CONCRETE PERIMETER WALL AS SHOWN AND PER DESIGN BY OTHERS.
- CONTRACTOR TO INSTALL STORM POND FACILITY WITH A BOTTOM AREA OF 10 FEET BY 50 FEET WITH 3:1 SIDE SLOPES AND 6 FOOT BERM ON NORTH AND EAST END AS SHOWN.
- CONTRACTOR TO INSTALL STORM BIOSWALE WITH 3"W BOTTOM 84" LONG 1 FOOT DEEP WITH A LONGITUDINAL SLOPE OF 1.5%.
- PROPOSED BUILDING DESIGNED BY OTHERS.
- PROPOSED DOUBLE SWING GATE.
- CONTRACTOR TO INSTALL EMERGENCY OVERFLOW SPILLWAY AS SHOWN AND PER DETAIL ON SHEET CS-05.
- CONTRACTOR TO INSTALL DUMPSTER ENCLOSURE AS SHOWN AND PER APPROVED GEOTECHNICAL REPORT BY GORDON GEOTECHNICAL ENGINEERING, INC DATED 9-2-2022. (FOR DUMPSTER PADS, WE RECOMMEND A PAVEMENT SECTION CONSISTING OF THREE AND ONE-HALF INCHES OF PORTLAND CEMENT CONCRETE, FOUR INCHES OF AGGREGATE BASE, OVER PROPERLY PREPARED NATURAL STABILIZED SUBGRADE OR SITE GRADING STRUCTURAL FILLS.)
- CONTRACTOR TO INSTALL CONCRETE CROSSSPAN AS SHOWN AND PER DETAIL ON SHEET CS-05.
- INSTALL RIP-RAP PADS AS SHOWN WITH 6"-8" QUARRY SPALLS.
- CONTRACTOR TO INSTALL PROPOSED GREASE TRAP AS SHOWN AND PER ARCHITECT/ STRUCTURAL ENGINEERING PLANS.
- CONTRACTOR TO INSTALL EXTRUDED CONCRETE CURB W/CURB CUT EVERY 10' AS SHOWN AND PER DETAIL ON SHEET RS2.
- CONTRACTOR TO INSTALL 3 1/2" THICK X 4 FEET WIDE CONCRETE PAD AS SHOWN AND PER DETAIL ON SHEET RS2.
- N/A
- CONTRACTOR TO REMOVE EXISTING PORTION OF 4"W IRRIGATION CHANNEL AND REPLACE IT WITH NEW 48" I.D. MANHOLE AS PER ENLARGED DETAIL BELOW.
- CONTRACTOR TO RELOCATE EXISTING CITY STREET SIGN TO PROPOSED PARK STRIP PER CITY OF FARR WEST PUBLIC WORKS STANDARD DRAWING CS-03.
- CONTRACTOR TO CONNECT PROPOSED 2" SANITARY SEWER FORCE MAIN TO EXISTING 4" SEWER STUB CONTRACTOR TO FIELD VERIFY LOCATION, CONDITION AND ELEVATION OF EXISTING 4" SEWER STUB. SEE DETAIL ON THIS SHEET.
- CONTRACTOR TO INSTALL PROPOSED WATER TO INTERIOR TRUCK FILL STATION INSIDE THE BUILDING WITH ATMOSPHERIC VACUUM BREAKER BACKFLOW PREVENTER (WATTS FEBCO MODEL 710 OR APPROVED EQUAL) INSTALLED 6" MINIMUM ABOVE FIXTURE.



WESTERN IRRIGATION CHANNEL MODIFICATION CONSTRUCTION NOTE:

ALL WORK TO BE COMPLETED ON THE IRRIGATION CHANNEL SHALL BE COORDINATED WITH WESTERN IRRIGATION. CONTACT MARVIN FARRELL AT 801-7814834 OR VIA EMAIL AT MARVIN.FARRELL@MINSI.COM PRIOR TO COMMENCING CONSTRUCTION FOR CONSTRUCTION SUPERVISION, OVERSIGHT AND INSPECTION(S).

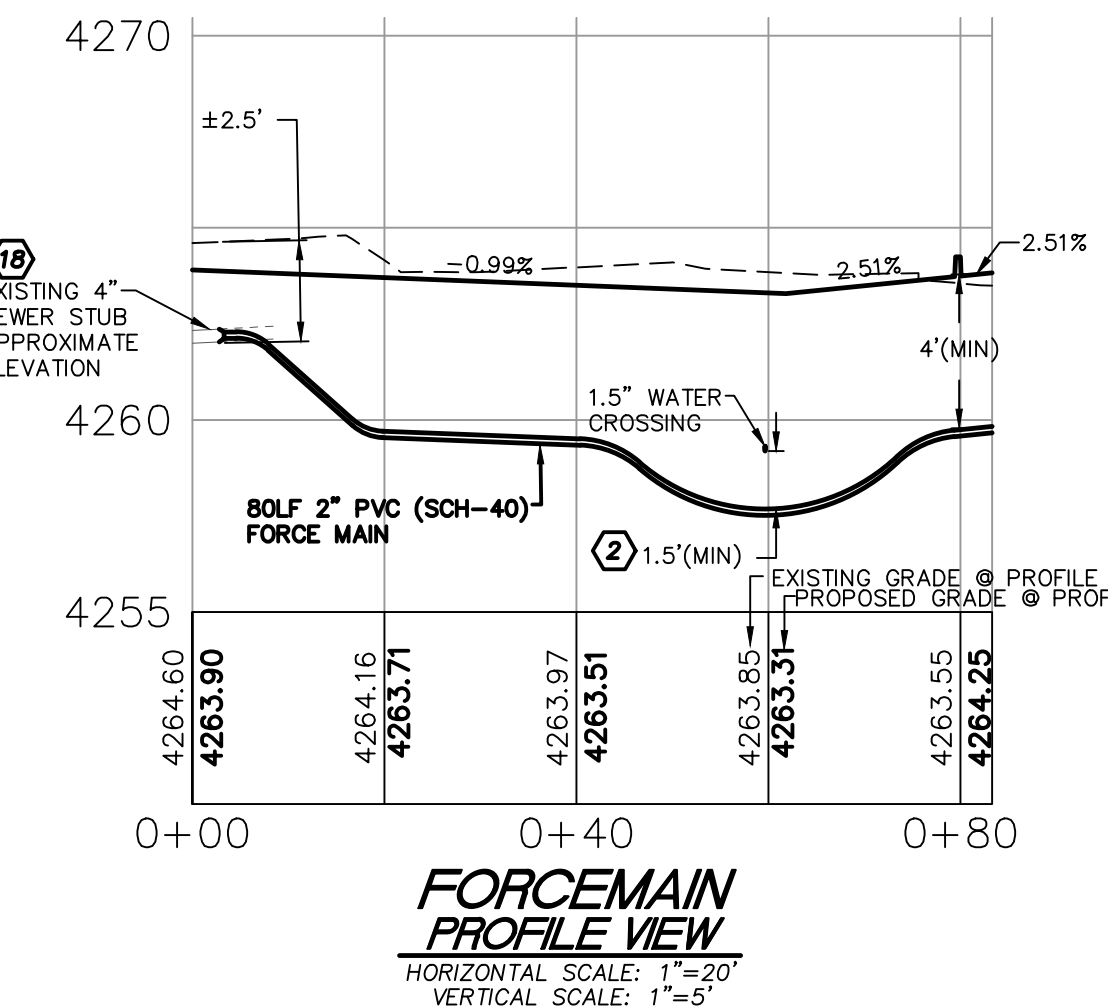
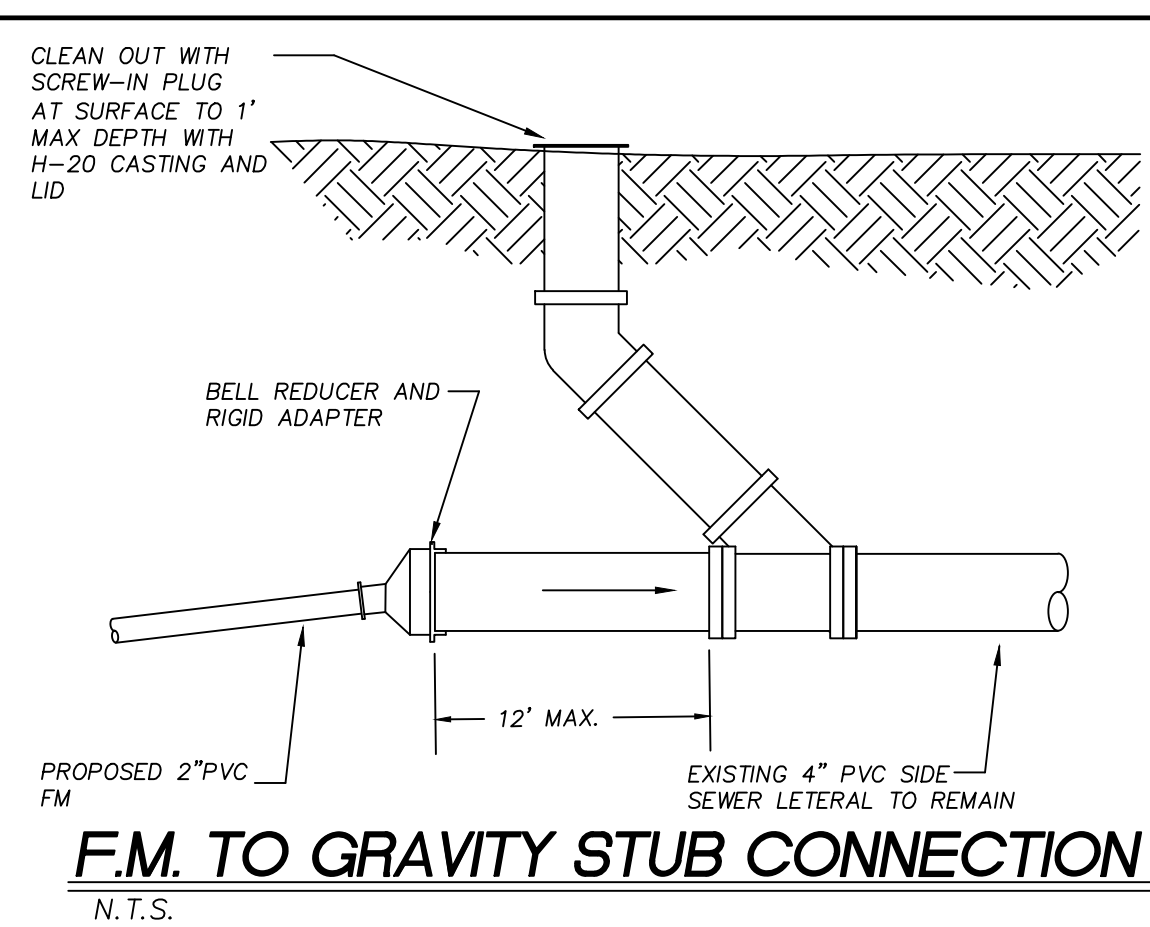
CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY THE CITY AND THE PROJECT ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE BACKFILL MATERIAL MEETS MINIMUM COUNTY/STATE REQUIREMENTS. COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.

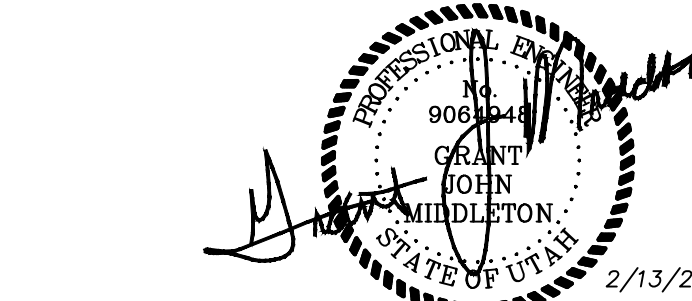
PLUMBING FIXTURE TABLE

FIXTURE	QUANTITY
TOILET	1
SINK	1
1 1/2" TRUCK FILL LINE	1

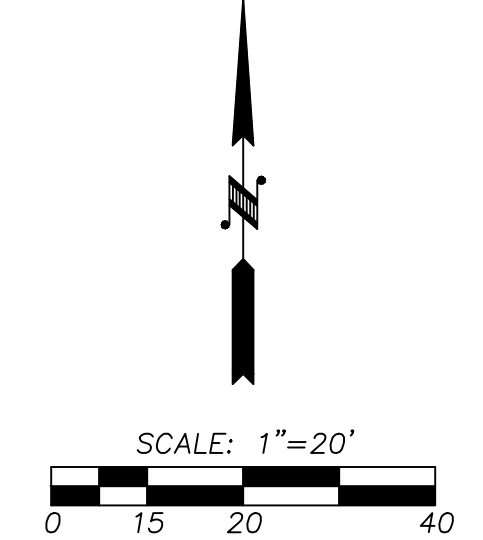
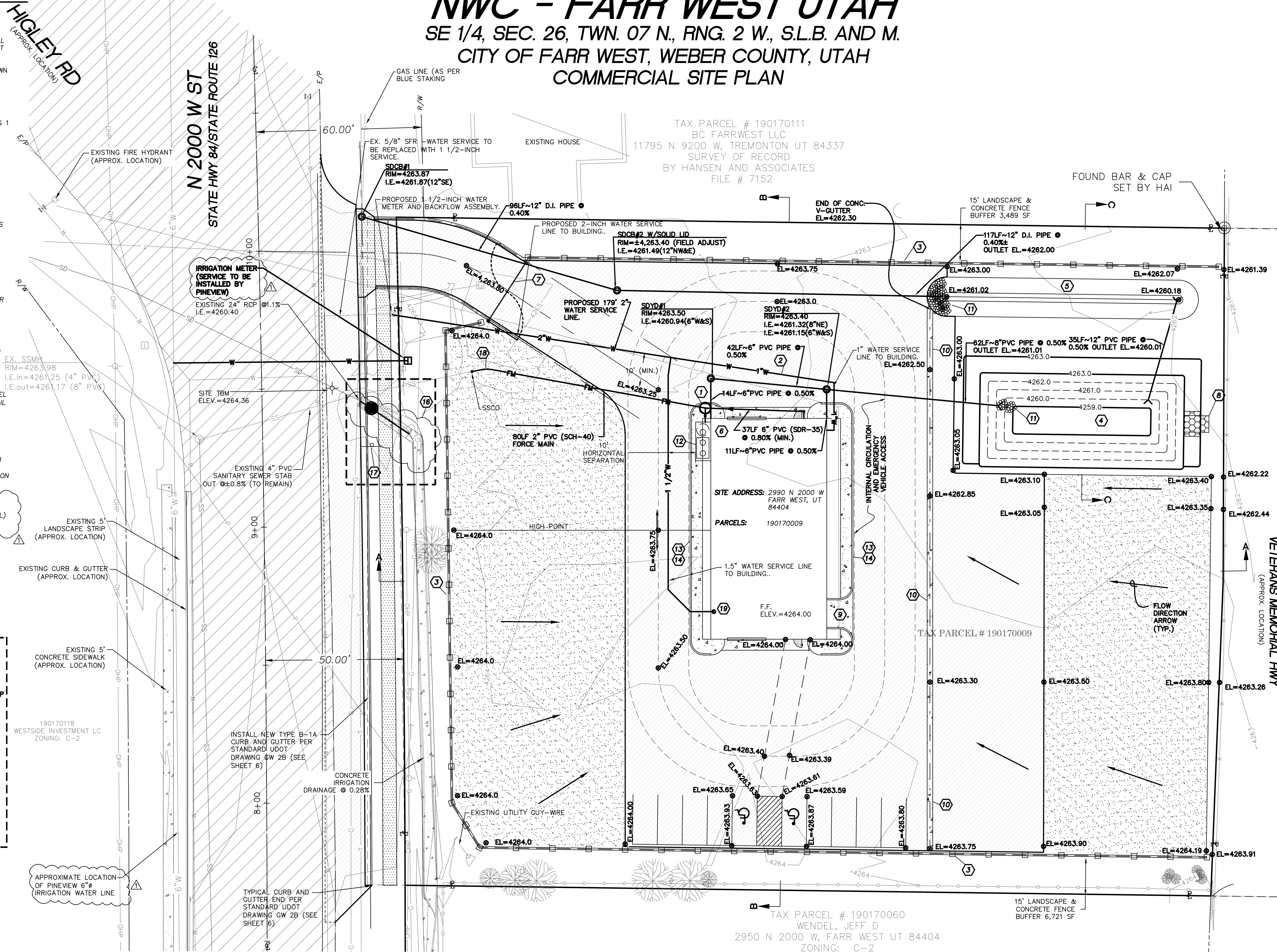
APPROX. DAILY FLOW VOLUME: 4,000 GPD (SUMMER MONTHS)
APPROX. DAILY FLOW VOLUME: 2,000 GPD (WINTER MONTHS)
ANTICIPATED SUMMER PEAK FLOW: 25-30 GPM



REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY
1	2/13/2024	PER BONA VISTA WATER COMMENTS	GJM



NWC - FARR WEST UTAH
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN



SURVEY NOTE
TOPOGRAPHIC SITE SURVEY PROVIDED BY JOHANSON SURVEYING ON 8/23/2022

VERTICAL DATUM: WEBER COUNTY
BM: THE ELEVATION BASE IS DETERMINED BY THE FIELD G.P.S. PROJECTION BASED ON UTAH NORTH MAD 1983 PROJECTION THEN ROUNDED OFF TO MATCH THE GEOID 12B ELEVATION AS REFERENCED IN THE SECTION CORNER SHEET FOR THE SOUTHEAST CORNER OF SECTION 26, T. 7 N., R. 2 W., S.L.B. & M FOR A MORE EFFICIENT BENCH MARK BASE. THE PROJECT BENCH MARK IS 4272.70' = FOUND AND ACCEPTED BRASS CAP IN THE INTERSECTION OF 2700 NORTH AND I-15 ONRAMP. ELEV: 4272.70

CONTOUR INTERVAL = 1'
TOPOGRAPHY PREPARED BY JOHANSON SURVEYING

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- RIGHT OF WAY LINE
- PROPERTY ADJOINER LINE
- EXISTING WIRE FENCE
- EXISTING WROUGHT IRON FENCE
- EXISTING SANITARY SEWER PIPE
- EXISTING WATER MAIN
- EXISTING GAS/OIL LINE
- EXISTING STORM DRAIN/IRRIGATION PIPE
- EXISTING PHONE/COMMUNICATION LINE
- EXISTING OVERHEAD POWER LINE
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- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING HOSE BIB
- EXISTING GAS METER
- EXISTING TELEPHONE RISER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- PROPOSED WATER SERVICE LINE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED CLEANOUT
- EXISTING PAVEMENT
- EXISTING CONCRETE
- PROPOSED PAVEMENT
- PROPOSED GRAVEL
- PROPOSED FUTURE EASEMENT
- PROPOSED 8' TALL CONCRETE WALL
- EXISTING VEGETATION
- RIP RAP PAD
- PROPOSED CONCRETE

R.O.W. SURVEY FOR INTERSTATE 15 BY HANSEN & ASSOCIATES INC. SP-15-8 (34) 342 FILE # 004267 ON FILE WITH THE WEBER CO. SURVEYORS OFFICE

JOB NUMBER	9819
SCALE	HOR: 1"=20' VERT: 1"=5'
DESIGNED SC	
DRAWN PB	
CHECKED GJM	

PROPOSER: NMC #5 PARTNERSHIP
PO BOX 73399
PUELLIP, WA 98373-0399
CONTACT: MARK PERRY
PH: (253)848-2371

LARSON AND ASSOCIATES
surveyors, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444
(253) 474-3404

COMMERCIAL SITE PLAN

DATE	2/13/24
DRAWING NO.	9819BASE
SHEET	3 OF 8

CS-03

NWC - FARR WEST UTAH

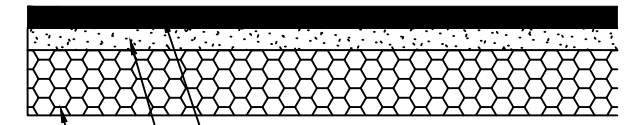
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
 CITY OF FARR WEST, WEBER COUNTY, UTAH
 OFF-SITE PLAN AND PROFILE

CONSTRUCTION NOTES

- MINIMUM VERTICAL SEPARATION BETWEEN SEWER AND ALL UTILITIES EXCEPT WATER SHALL BE 1.5 FEET. IF MINIMUM CLEARANCE CANNOT BE OBTAINED, THEN A 0.75 FOOT CLEARANCE WILL BE ALLOWED IF THE SANITARY SEWER IS CONCRETE ENCASED AT 10 FEET ON EACH SIDE OF THE CROSSING.
- THE MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 1.5 FEET. THE MINIMUM HORIZONTAL SEPARATION SHALL BE 10 FEET FROM EXISTING OR PROPOSED SEWER.
- INSTALL NEW TYPE B-1A CURB AND GUTTER PER STANDARD UDOT DRAWING GW 2B (SEE SHEET 6)
- TYPICAL CURB AND GUTTER END PER STANDARD UDOT DRAWING GW 2B (SEE SHEET 6)
- CONTRACTOR TO INSTALL FLEXIBLE ASPHALT PER DETAIL THIS SHEET.
- SEE DETAIL ON SHEET RS2.
- CONTRACTOR TO SAWCUT EXISTING PAVEMENT 0.50' BEHIND EDGE LINE/ FOG LINE. REMOVE ASPHALT AND HAUL OFF SITE TO APPROVED DISPOSAL SITE. CONSTRUCT NEW ROAD SECTION PER DETAIL ON THIS SHEET.
- CONTRACTOR TO INSTALL SIDEWALK AS SHOWN AND PER DETAIL ON SHEET RS2.
- CONTRACTOR TO POTHOLE AND FIELD VERIFY EX. UNDERGROUND UTILITIES, LOCATION, TYPE, DEPTH, ETC. PRIOR TO CONSTRUCTION ACTIVITIES, NOTIFY ENGINEER IMMEDIATELY IF CONFLICTS EXIST.

STANDARD UDOT NOTES:

- ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE ENCROACHMENT PERMIT.
- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
- OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SIGN SERIES STANDARD DRAWINGS.
- COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).



MATCH EXISTING, OR THE ANTICIPATED EXISTING OF 8 INCHES OF UDOT- APPROVED HOT MIX ASPHALT (HMA), PG- GRADE 64-34 ASPHALT BINDER, 1/2 INCH NOMINAL MAX. 7-75-115 CYRATION PER UDOT STANDARD SPECIFICATION 02741

OVER 6 INCHES UNTREATED BASE COURSE (UTBC) PER UDOT SPECIFICATION 02721;

OVER 12 INCHES GRANULAR BORROW (GB) PER UDOT SPECIFICATION 02056 (WHICHEVER IS GREATER).

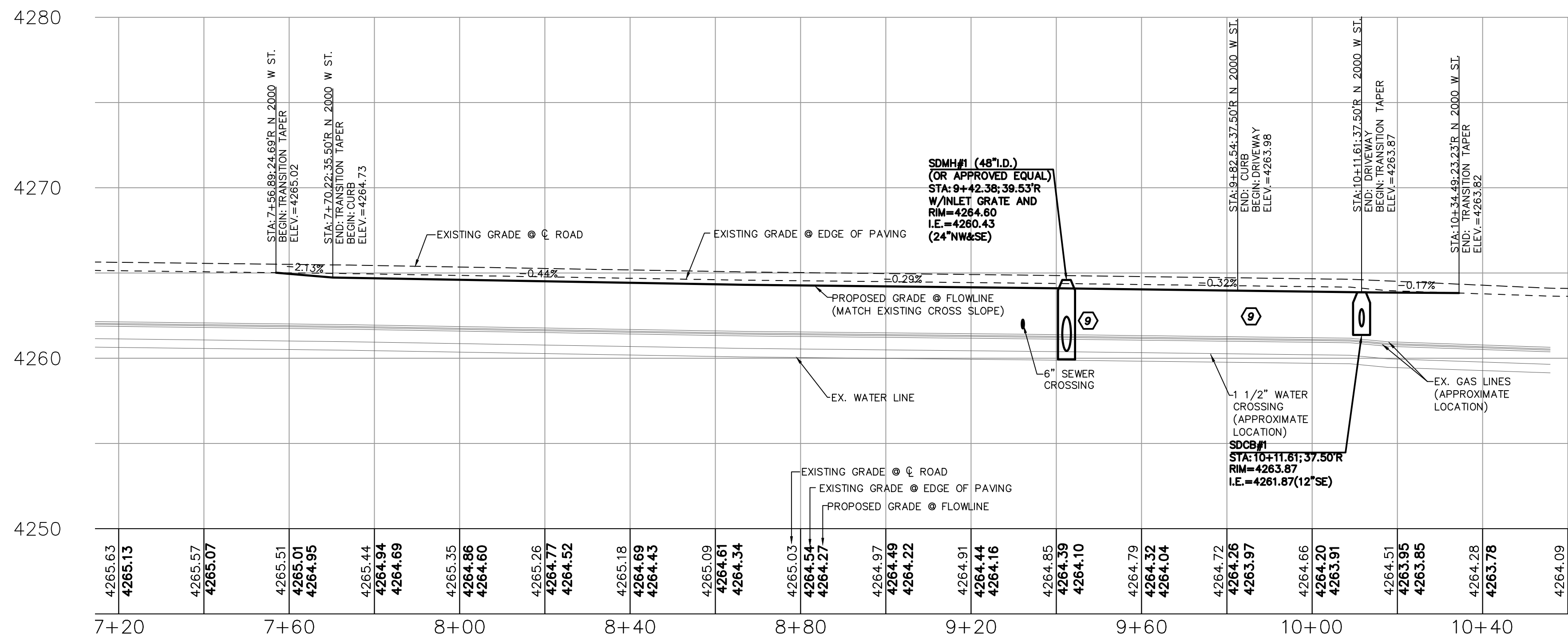
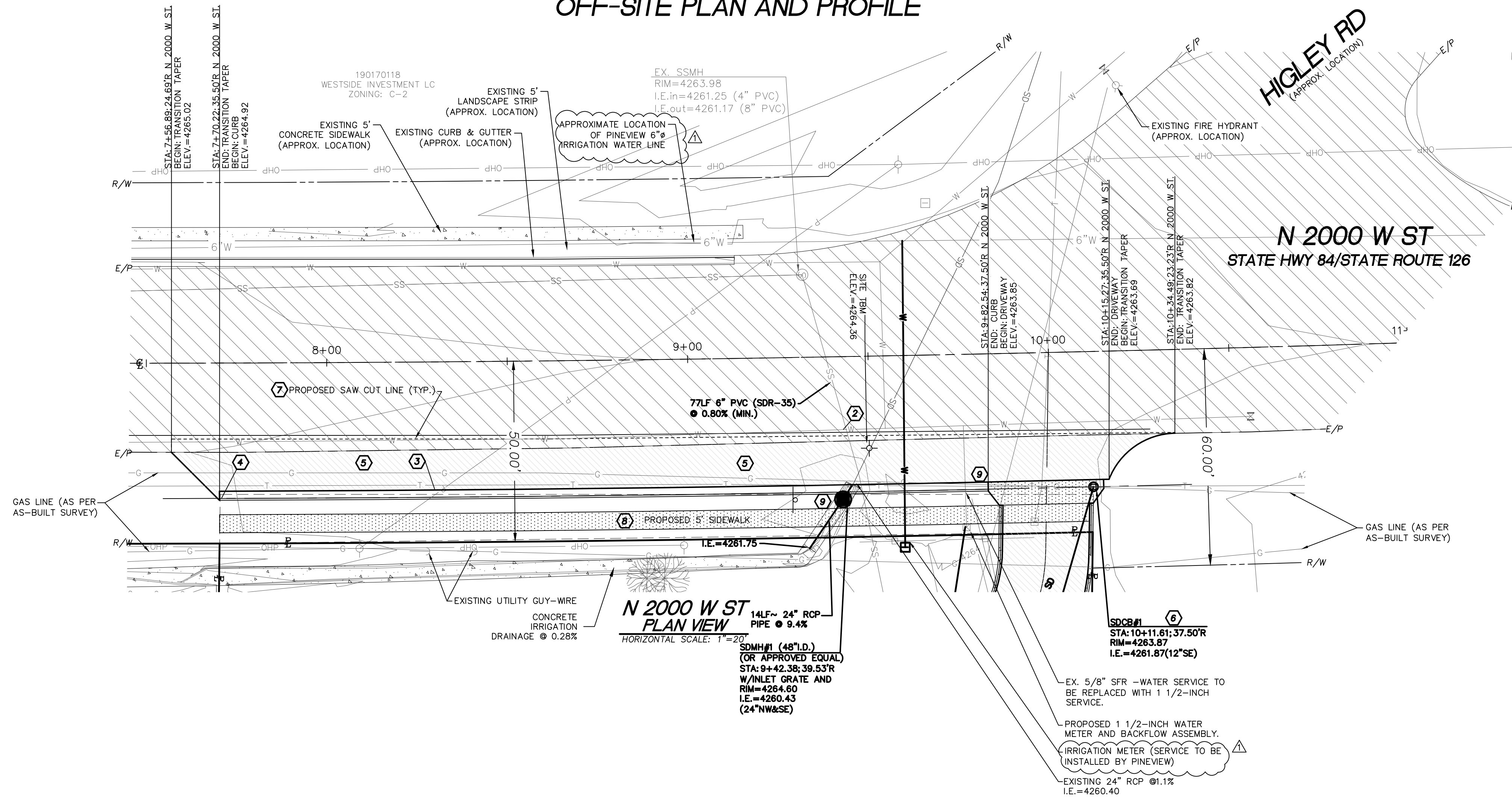
FLEXIBLE ASPHALT PAVING SECTION

PAVEMENT SEALING NOTE:

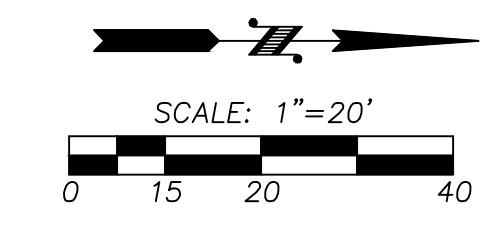
CHIP SEAL TYPE II WITH EMULSION LMCRS-2 PER UDOT STANDARD SPECIFICATION 02785 (ESTIMATED APPLICATION RATE OF 0.45 GAL/SQ YD) IS REQUIRED FOR THIS ROADWAY ON AT LEAST ALL NEW PAVEMENT PLACED WITHIN UDOT RIGHT-OF-WAY.

CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY THE CITY AND THE PROJECT ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE BACKFILL MATERIAL MEETS MINIMUM COUNTY/STATE REQUIREMENTS. COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.

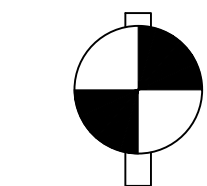


**N 2000 W ST
 PROFILE VIEW**
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



SURVEY NOTE

TOPOGRAPHIC SITE SURVEY PROVIDED BY JOHANSON SURVEYING ON 8/23/2022



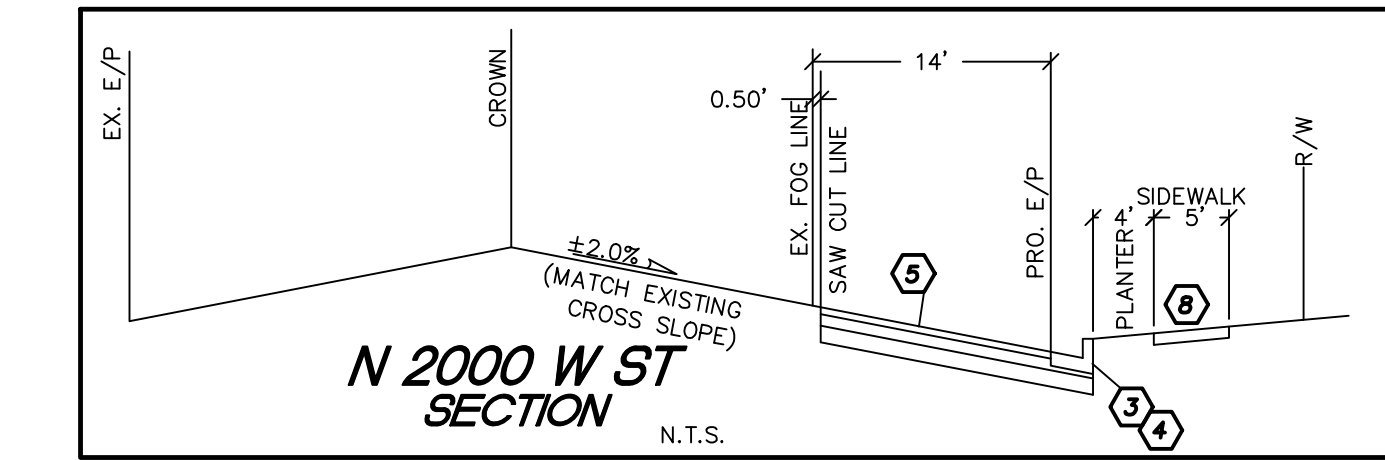
VERTICAL DATUM
 WEBER COUNTY

BM:
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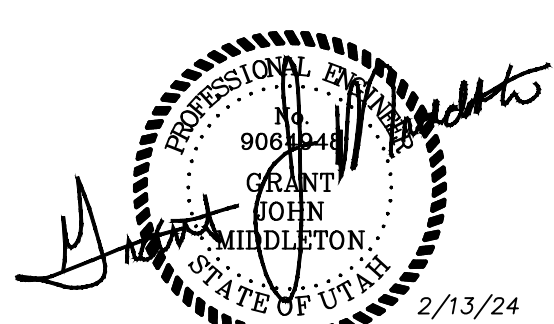
ELEV: 4272.70
 CONTOUR INTERVAL=1'
 TOPOGRAPHY PREPARED BY JOHANSON SURVEYING

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- RIGHT OF WAY LINE
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- PROPOSED PAVEMENT
- PROPOSED GRAVEL
- PROPOSED FUTURE EASEMENT
- PROPOSED 8' TALL CONCRETE WALL
- EXISTING VEGETATION
- RIP RAP PAD
- PROPOSED CONCRETE



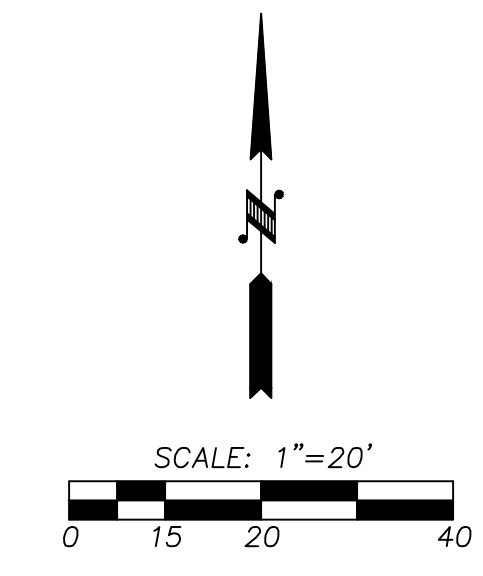
REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY
1	2/13/2024	PER BONA VISTA WATER COMMENTS	GJM



CS-04

NWC - FARR WEST UTAH

SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

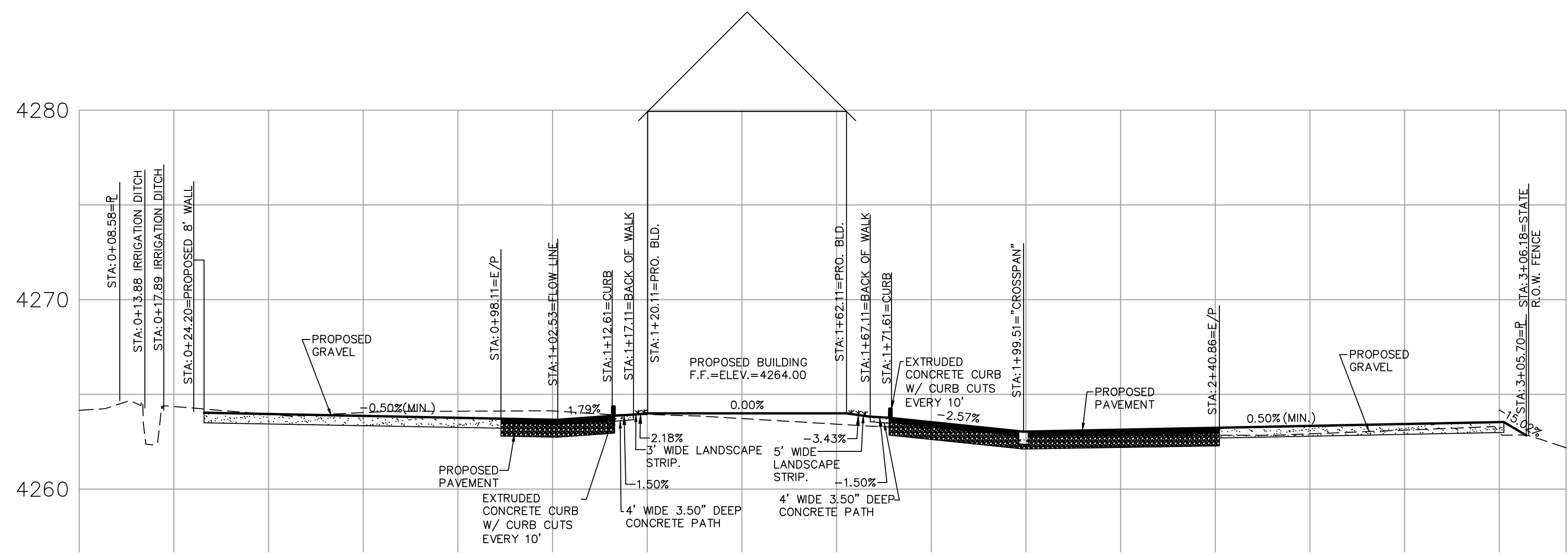


JOB NUMBER			
9819			
DESIGNED SC	SCALE		
DRAWN PB	HOR. 1"=20'		
CHECKED C-M	VERT. 1"=5'		

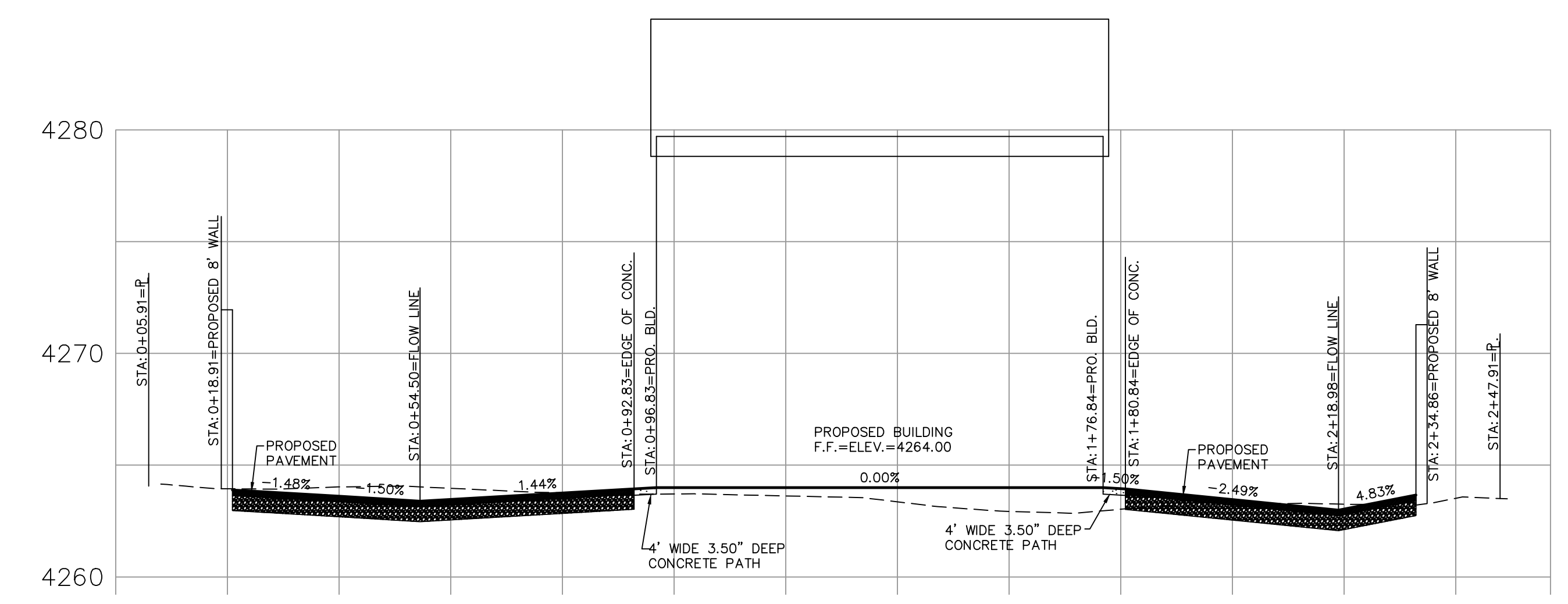
PROPOSED: NMC #5 PARTNERSHIP
PO BOX 73399
PUYALLUP, WA 98373-0399
CONTACT: MARK PERRY
PH: (253)848-2371

LARSON and ASSOCIATES
surveys, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444 (253) 474-3404

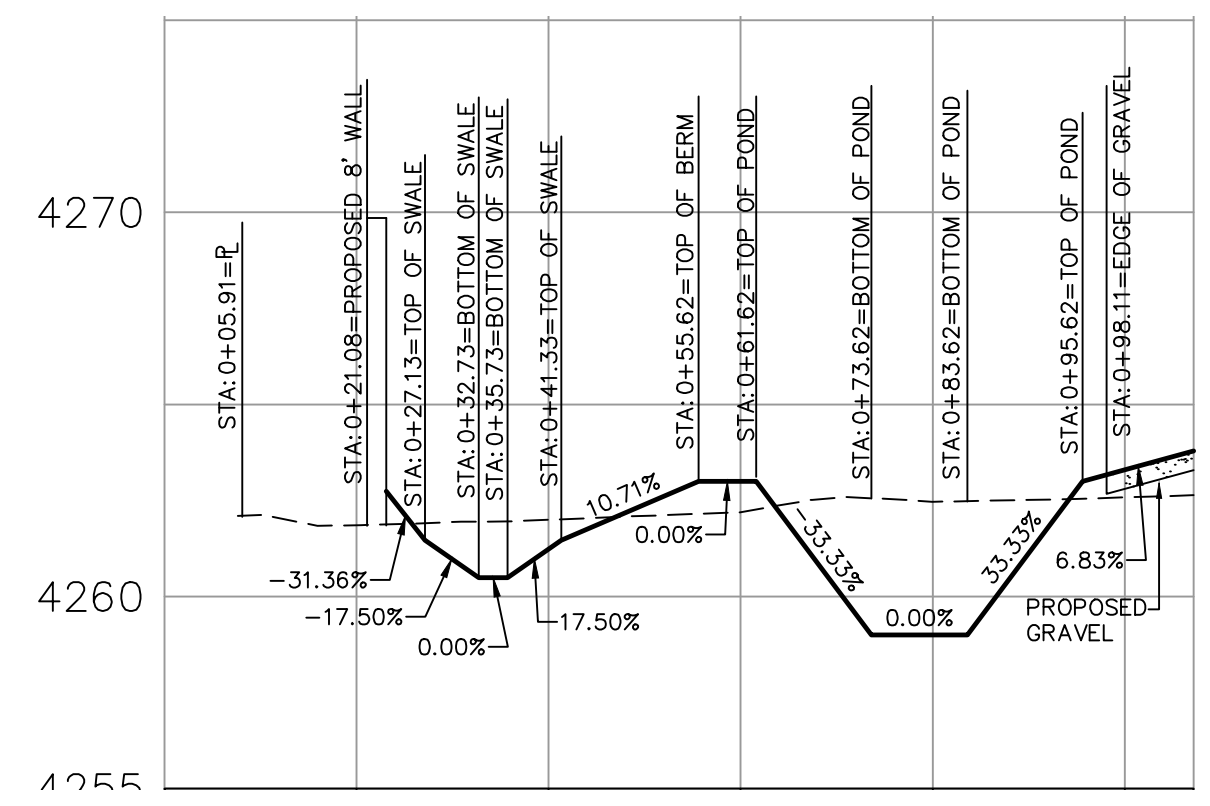
SECTION PLAN



**SECTION A-A
PROFILE VIEW**
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

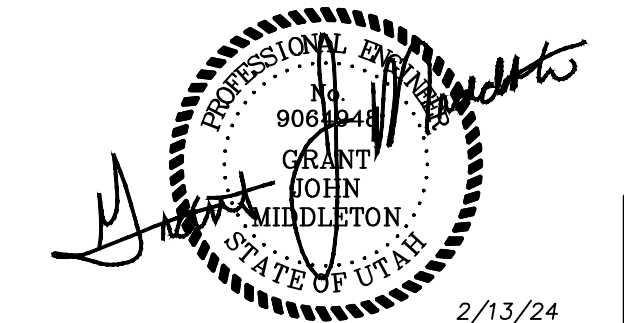


**SECTION B-B
PROFILE VIEW**
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



**SECTION C-C
PROFILE VIEW**
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



CS-05

DATE
2/13/24
DRAWING NO.
9819BASE
SHEET 5 OF 8

\\nwc\planning\p\proj\9819 - NWC - Farr West\Drawings\9819BASE.dwg, SEC. 2/13/24 4:40:41 PM, DWG (1) (1) (1)

GENERAL NOTES

- 1. ALL MATERIALS AND WORKMANSHIP IN WEBER COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST STATE OF UTAH...
2. IT WILL BE THE APPLICANT'S OR HIS AGENT'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES TO COORDINATE CONSTRUCTION...
3. BURIED UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION...
4. ANY REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED BY WEBER COUNTY DEVELOPMENT ENGINEERING SECTION PRIOR TO ANY IMPLEMENTATION IN THE FIELD...
5. UPON COMPLETION OF THE PROJECT'S PRIVATE STORM DRAINAGE SYSTEM, A "ENGINEER'S INSPECTION REPORT," SIGNED AND STAMPED BY A PROFESSIONAL ENGINEER...
6. THE CONTRACTOR SHALL NOTIFY THE APPLICANT'S ENGINEER IN THE EVENT OF DISCOVERY OF POOR SOILS, STANDING GROUNDWATER, OR SEVERE DISCREPANCIES FROM SOIL LOG DESCRIPTIONS AS NOTED ON THESE PLANS...
7. ISSUANCE OF A SITE DEVELOPMENT PERMIT BY WEBER COUNTY DOES NOT IMPLY OR SIGNIFY THAT THE PROPOSED WORK COMPLIES WITH THE REQUIREMENTS OF OR IS ALLOWED BY OTHER COUNTY ORDINANCES, REGULATIONS, OR STATE OR FEDERAL LAWS...
8. THE SITE DEVELOPMENT PERMIT MUST BE POSTED BY THE DEVELOPER AT THE DRIVEWAY LOCATION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY...
9. A SITE DEVELOPMENT PERMIT SHALL BE VALID FOR THREE YEARS FROM THE DATE OF APPROVAL BY THE COUNTY...
10. THE COUNTY IS AUTHORIZED TO MAKE INSPECTIONS AND TAKE SUCH ACTIONS AS REQUIRED TO ENFORCE THESE REGULATIONS...
11. SHOULD THE COUNTY BECOME AWARE OF CONDITIONS THAT INVALIDATE THE ORIGINAL DESIGN DATA...
12. THE ENGINEER MUST BE CALLED FOR INSPECTION OF THE STORM DRAIN SYSTEM BEFORE THE DRAIN SYSTEM IS BACKFILLED...
13. ON-SITE EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER...
14. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS...
15. THE ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE CONSTRUCTION IS STARTED...
16. SLOPES ARE TO BE STABILIZED TO PREVENT EROSION...
17. CONNECT ROOF DRAINS TO STORM DRAINAGE SYSTEM AS SHOWN ON PLANS...
18. ALL MATERIALS AND WORKMANSHIP FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST STATE OF UTAH...
19. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THESE PLANS...
20. PREPARATION OF SUBGRADE SHALL CONFORM TO SECTION 2-06 OF THE STANDARD SPECIFICATIONS...
21. PRIOR TO ANY PRIVATE ROAD AND/OR STORM DRAINAGE CONSTRUCTION WORK...
22. SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL DETAILED INFORMATION AND DIMENSIONS FOR PLANTERS, CURVE RETURNS, PAVEMENT EDGE, ETC...
23. WHERE NEWLY CONSTRUCTED PAVING MEETS EXISTING PAVING, OVERLAY AND FEATHER NEW PAVEMENT TO PROVIDE A SMOOTH TRANSITION...
24. CONTRACTOR IS TO TAKE NECESSARY STEPS TO CONTROL DUST DURING CONSTRUCTION...
25. INDIVIDUAL AND ROAD INFILTRATION SYSTEMS SHALL BE A MINIMUM OF 30 FEET FROM SEPTIC PRIMARY AND RESERVE DRAINFIELDS...
26. BANK RUN GRAVEL FOR TRENCH BACKFILL SHALL MEET THE REQUIREMENTS OF SECTION 9.03(2) OF THE STANDARD SPECIFICATIONS...
27. IF WORKERS ENTER ANY TRENCH OR OTHER EXCAVATION FOUR FEET OR MORE IN DEPTH...
28. CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID FOR WORK...
29. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION...
30. IT WILL BE THE DEVELOPER'S OR ITS AGENT'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES IN ORDER TO ASSURE THAT ALL LINES, PIPES, POLES AND OTHER APPURTENANCES ARE PROPERLY LOCATED...
31. MONUMENTATION OF EXISTING AND PROPOSED ROWS SHALL BE INSTALLED BY THE CONTRACTOR AS SHOWN ON THE APPROVED PLAN SET...

STORMWATER NOTES

- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH COUNTY STANDARDS AND THE MOST CURRENT CODE OF THE STATE OF UTAH STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (USDOT/APWA) AND AS AMENDED BY THE COUNTY OR THE STATE...
2. TEMPORARY EROSION/WATER POLLUTION PREVENTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH SECTION 1-07.15, AS MODIFIED BY THE APWA SUPPLEMENT...
3. CALL THE UNDERGROUND LOCATE LINE 1-800-424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATIONS...
4. THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED ACCORDING TO APPROVED PLANS ON FILE WITH THE COUNTY...
5. A COPY OF THE APPROVED STORMWATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS...
6. ALL EROSION CONTROL AND STORMWATER FACILITIES SHALL BE REGULARLY INSPECTED AND MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION...
7. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND OTHER RELATED OR REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY...
8. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IN THE EVENT OF DISCOVERY OF POOR SOILS, STANDING GROUNDWATER, OR SEVERE DISCREPANCIES FROM SOIL LOG DESCRIPTIONS AS NOTED ON THE PLANS...
9. FOR PUBLIC SYSTEMS, THE CONTRACTOR SHALL CALL FOR INSPECTION 48 HOURS PRIOR TO COVERING ANY DRAINAGE STRUCTURE...
10. ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS...
11. A METAL FRAME AND GRATE FOR CATCH BASIN AND INLET PER USDOT STANDARD PLAN B-2A OR B-2B SHALL BE USED FOR STRUCTURES COLLECTING DRAINAGE FROM THE PAVED ROADWAY SURFACE...
12. ALL CATCH BASINS, INLETS, ETC SHALL BE MARKED WITH THE "FISH STENCIL" AS SHOWN IN APPENDIX A, DETAIL 17.0 OF THE PIERCE COUNTY STORMWATER MANAGEMENT AND SITE DEVELOPMENT MANUAL...
13. TYPE 2 CATCH BASINS GREATER THAN 4' IN HEIGHT SHALL HAVE STANDARD LADDERS...
14. A 6" MINIMUM VERTICAL AND 3" MINIMUM HORIZONTAL CLEARANCE (OUTSIDE SURFACE) IS REQUIRED BETWEEN STORM DRAINAGE PIPES AND OTHER UTILITY PIPES AND CONDUITS PROVIDED...
15. THE MINIMUM DISTANCE BETWEEN THE PAVED EDGE OF A DRIVEWAY APPROACH AND THE FACE OF AN OBSTRUCTION, INCLUDING EXISTING UTILITY APPURTENANCES WHICH MAY CAUSE A TRAFFIC SAFETY CONCERN, MAY BE NO LESS THAN 4' WITHOUT CURBING AND 3' WITH CURBING ON THE APPROACH...

BIOFILTRATION SWALE NOTES

ESTABLISH GRASSES AS FOLLOWS (ALL WEIGHTS ARE PER 1,000 SQUARE FEET):
IF HYDRO-SEEDING- 5 LB. SEED MIX
7 LB. 10-20-20 (N-P-K) FERTILIZER*
50 LB. WOOD CELLULOSE FIBER MULCH
IF BROADCAST SEEDING- 5 LB. SEED MIX
7 LB. 10-20-20 (N-P-K) FERTILIZER*
70 LB. WOOD CELLULOSE FIBER MULCH
*NOTE: THIS IS JUST AN ESTIMATE OF THE AMOUNT OF FERTILIZER NECESSARY. MAKE CERTAIN THAT THE PROPER AMOUNT OF FERTILIZER FOR THE SOIL TYPE IS USED.
PREVENT BARE AREAS IN BIOFILTERS BY AVOIDING GRAVEL, ROCKS, AND HARDBAN NEAR THE SURFACE...
IF ONSITE MATERIAL IS NOT SUITABLE, USE 12"-18" OF TOPSOIL PER MIX BELOW.
SEED MIX ANNUAL RYE 30% TALL FESCUE 40% KENTUCKY BLUE GRASS 15% CHEWINGS FESCUE 15%
TOPSOIL MIX 50% - 80% SANDY LOAM 10% - 20% CLAY 10% - 20% COMPOSTED ORGANIC MATTER

ATTEMPT TO AVOID COMPACTION DURING CONSTRUCTION. IF COMPACTION OCCURS, TILL BEFORE PLANTING TO RESTORE LOST SOIL INFILTRATION CAPACITY.
VEGETATE THE GROUND UPSLOPE FROM THE GRASSSED TREATMENT AREA OF THE BIOSWALE TO PREVENT EROSION.
BETWEEN OCTOBER 1 & MARCH 30, ONLY SOD TOLERANT OF SEASON SATURATION & DROUGHT CONDITIONS PLACED.
BETWEEN OCTOBER 1 & MARCH 30, USE EROSION CONTROL BLANKET PER NOTES ON SHEET 8 FOR EROSION PROTECTION, OTHERWISE WOOD FIBER CELLULOSE IS ACCEPTABLE.

NWC - FARR WEST UTAH
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

BMP: Mulching

DESCRIPTION: Placement of material such as straw, grass, woodchips, woodfibers or fabricated matting over open area.
OBJECTIVES: Housekeeping Practices, Contain Waste, Minimize Disturbed Areas, Stabilize Disturbed Areas, Protect Slopes/Channels, Control Site Perimeter, Control Internal Erosion.
INSTALLATION/APPLICATION CRITERIA: Roughen area to receive mulch to create depressions that mulch material can settle into.
TARGETED POLLUTANTS: Sediment, Nutrients, Toxic Materials, Oil & Grease, Floating Materials, Other Waste.
IMPLEMENTATION REQUIREMENTS: High, Medium, Low.

BMP: Seeding and Planting

OBJECTIVES: Housekeeping Practices, Contain Waste, Minimize Disturbed Areas, Stabilize Disturbed Areas, Protect Slopes/Channels, Control Site Perimeter, Control Internal Erosion.
DESCRIPTION: Seeding of grass and plantings of trees, shrubs, vines and ground covers provide long-term stabilization of soil.
INSTALLATION/APPLICATION CRITERIA: Type of vegetation, site and seedbed preparation, planting time, fertilization and water requirements should be considered for each application.
TARGETED POLLUTANTS: Sediment, Nutrients, Toxic Materials, Oil & Grease, Floating Materials, Other Waste.
IMPLEMENTATION REQUIREMENTS: High, Medium, Low.

BMP: Stabilized Construction Entrance

OBJECTIVES: Housekeeping Practices, Contain Waste, Minimize Disturbed Areas, Stabilize Disturbed Areas, Protect Slopes/Channels, Control Site Perimeter, Control Internal Erosion.
DESCRIPTION: A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.
INSTALLATION/APPLICATION CRITERIA: Clear and grub area and grade to provide maximum slope of 2%.
TARGETED POLLUTANTS: High Impact, Medium Impact, Low or Unknown Impact.
IMPLEMENTATION REQUIREMENTS: High, Medium, Low.

BMP: Sediment Trap

OBJECTIVES: Housekeeping Practices, Contain Waste, Minimize Disturbed Areas, Stabilize Disturbed Areas, Protect Slopes/Channels, Control Site Perimeter, Control Internal Erosion.
DESCRIPTION: A sediment trap is a small excavated or bermed area where runoff from small drainage areas is detained and sediment can settle.
INSTALLATION/APPLICATION CRITERIA: Design basin for site specific location.
LIMITATIONS: Should be sized based on anticipated runoff, sediment loading and drainage area site.
IMPLEMENTATION REQUIREMENTS: High, Medium, Low.

BMP: Silt Fence

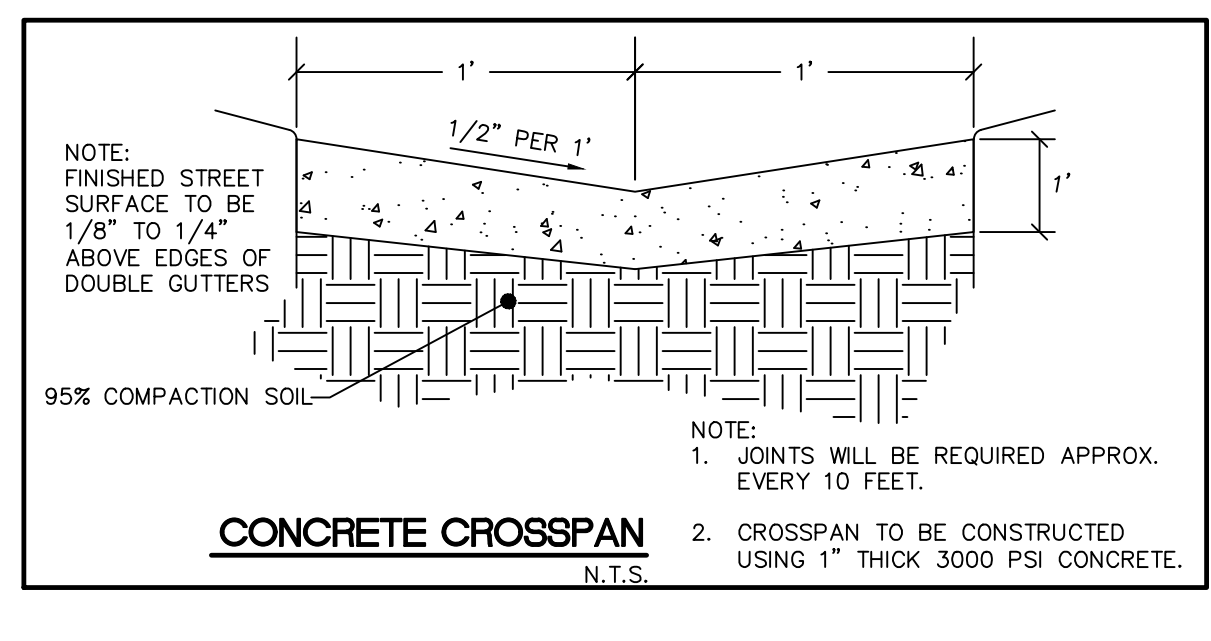
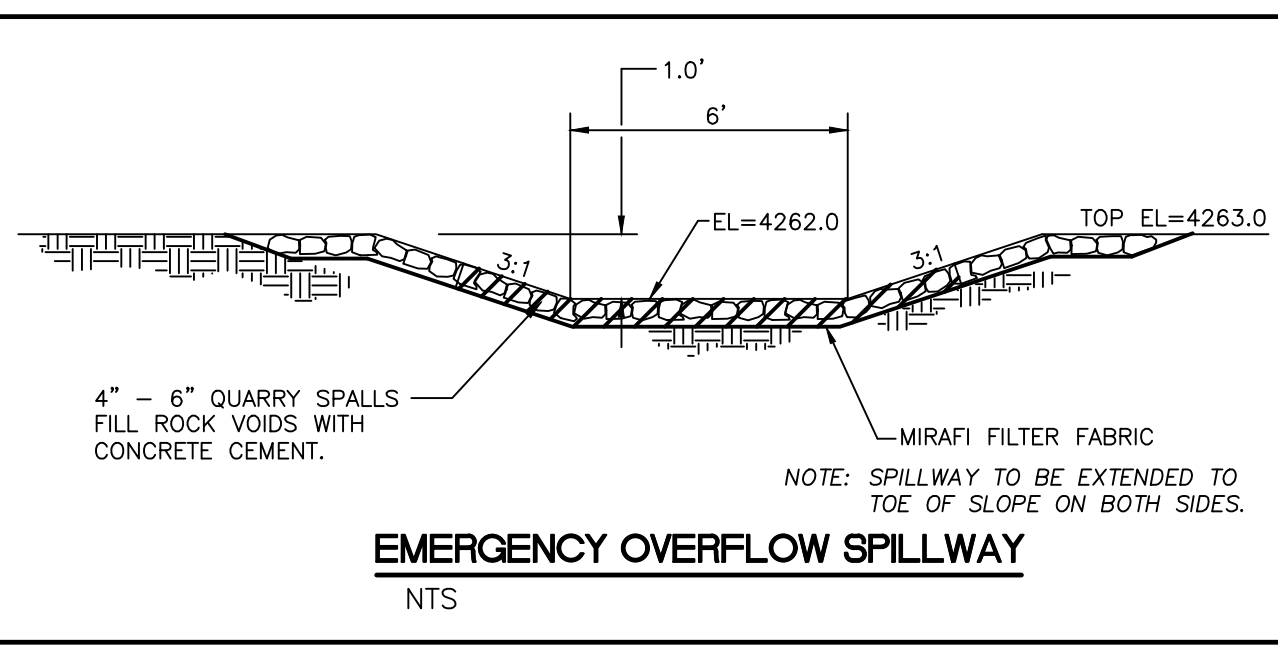
OBJECTIVES: Housekeeping Practices, Contain Waste, Minimize Disturbed Areas, Stabilize Disturbed Areas, Protect Slopes/Channels, Control Site Perimeter, Control Internal Erosion.
DESCRIPTION: A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.
INSTALLATION/APPLICATION CRITERIA: Place posts & feet apart on center along contour.
TARGETED POLLUTANTS: Sediment, Nutrients, Toxic Materials, Oil & Grease, Floating Materials, Other Waste.

LIMITATIONS: Recommended maximum drainage area of 0.5 acre per 100 feet of fence.
RECOMMENDED maximum uphill grade of 1:50 feet.
RECOMMENDED maximum uphill grade of 2:1 (50%).
RECOMMENDED maximum flow rate of 0.5 cfs.
IMPLEMENTATION REQUIREMENTS: High Impact, Medium Impact, Low or Unknown Impact.

BMP: Temporary and Permanent Seeding

OBJECTIVES: Housekeeping Practices, Contain Waste, Minimize Disturbed Areas, Stabilize Disturbed Areas, Protect Slopes/Channels, Control Site Perimeter, Control Internal Erosion.
DESCRIPTION: A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.
INSTALLATION/APPLICATION CRITERIA: Clear and grub area and grade to provide maximum slope of 2%.
TARGETED POLLUTANTS: High Impact, Medium Impact, Low or Unknown Impact.
IMPLEMENTATION REQUIREMENTS: High, Medium, Low.

EPS107719 24X72 SIMPLEX XLSG202M-5
24" Blank Fiberglass Cover
SHIP SYSTEM WITH (1) KU01641 CAPACITOR KIT
CUSTOMER APPROVAL
DATE: 2/13/24
DRAWING NO. 9819BASE
SHEET # OF 6



REVISION BLOCK table with columns: NO., DATE, DESCRIPTION, BY.

Job information sidebar including JOB NUMBER (9819), SCALE, DRAWN (N/A), CHECKED (N/A), PROJECT NAME (NWC #5 PARTNERSHIP), and CONTACT (MARK PERRY).



NWC - FARR WEST UTAH

SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

5.2 EARTHWORK

5.2.1 Site Preparation

Initial preparation of the site must consist of the removal of any existing structures and pavements, debris, and any associated non-engineered fills. In proposed flexible pavement areas, the existing asphalt concrete and fills may remain provided that they do not interfere with the final grade. The asphalt concrete should be perforated to facilitate drainage and profiled.

Further preparation of the site must consist of the removal of all non-engineered fills, loose surficial soils, topsoil, debris, and other deleterious materials from beneath an area extending at least three feet beyond the perimeter of the proposed building, rigid pavement, and exterior flatwork areas.

The non-engineered fills may remain in flexible pavement areas as long as they are properly prepared. Proper preparation will consist of scarifying and moisture conditioning the upper eight inches and recompacting to the requirements of structural fill. However, it should be noted that compaction of fine-grained soils (clays and silts) as structural site grading fill will be very difficult.

Northwest Cascade, Inc.



f not impossible, during wet and cold periods of the year. As an option for proper preparation and recompaction, the upper eight inches of the non-engineered fills may be removed and replaced with granular subbase over proofrolled subgrade. Even with proper preparation, flexible pavements established on non-engineered fills may experience some long-term movements. If the possibility of these movements is not acceptable, these non-engineered fills must be completely removed.

Subsequent to the above operations and prior to the placement of footings, structural site grading fill, or floor slabs, the exposed natural subgrade must be proofrolled by passing moderate-weight rubber tire-mounted construction equipment over the surface at least twice. If any loose, soft, or disturbed zones are encountered, they must be completely removed in footing and floor slab areas and replaced with granular structural fill. If removal depth required is greater than two feet, G² must be notified to provide further recommendations. In pavement areas, unsuitable soils encountered during recompaction and proofrolling must be removed to a maximum depth of two feet and replaced with compacted granular structural fill.

5.2.2 Excavations

Temporary construction excavations through natural soil, not exceeding four feet in depth, above or below the groundwater table, may be constructed with near-vertical sideslopes. Temporary excavations up to eight feet deep in granular soils above or below the water table may be constructed with sideslopes no steeper than one horizontal to one vertical (1:OH:1:OV), if clean granular soils are encountered, or if excessive sloughing occurs, the sideslopes must be lattened. Loose and raveling soils are anticipated. Therefore, the face of the deeper-steeper slopes must be protected by anchoring chain-link fencing from the crest to the toe.

Utility trench excavations must conform within Occupational Safety and Health (OSHA) guidelines for trench safety.

All excavations must be inspected periodically by qualified personnel. If any signs of instability or excessive sloughing are noted, immediate remedial action must be initiated.

5.2.3 Structural Fill

Structural fill is defined as all fill which will ultimately be subjected to structural loadings, such as imposed by footings, floor slabs, pavements, etc. Structural fill will be required as backfill over foundations and utilities, as site grading fill, and in some areas, as replacement fill below footings. All structural fill must be free of sod, rubbish, topsoil, frozen soil, and other deleterious materials. Structural site grading fill is defined as fill placed over fairly large open areas to raise the overall site grade. For structural site grading fill, the maximum particle size should generally not exceed four inches; although, occasional larger particles, not exceeding six inches in diameter may be incorporated if placed randomly in a manner such that "honeycombing" does

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not occur and the desired degree of compaction can be achieved. The maximum particle size within structural fill placed within confined areas should generally be restricted to two inches.

The on-site natural soils may potentially be utilized as structural site grading fill. It should be noted that unless moisture control is maintained, utilization of fine-grained soils (silt) as structural site grading fill will require tight moisture controls which will be very difficult, if not impossible, during wet and cold periods of the year. The natural granular soils contain cobbles and boulders which will need to be screened out to allow for the use of nuclear gauge testing to confirm compaction. Only granular soils are recommended as structural fill in confined areas, such as around foundations and within utility trenches.

To stabilize soft subgrade conditions or where structural fill is required to be placed below a level one foot above the water table at the time of construction, a mixture of coarse gravels and cobbles and/or one and one-half to two-inch gravel (stabilizing fill) should be utilized.

Non-structural site grading fill is defined as all fill material not designated as structural fill and may consist of any cohesive or granular soils not containing excessive amounts of degradable material.

5.2.4 Fill Placement and Compaction

Structural fill shall be placed in lifts not exceeding eight inches in loose thickness. Structural fills shall be compacted in accordance with the percent of the maximum dry density as determined by the AASHTO¹ T-180 (ASTM² D-1557) compaction criteria in accordance with the table below:

Location	Total Fill Thickness (feet)	Minimum Percentage of Maximum Dry Density
Beneath an area extending at least 3 feet beyond the perimeter of the structure	0 to 8	95
Outside area defined above	0 to 5	90
Outside area defined above	5 to 10	92
Road base	-	96

Structural fills greater than eight feet thick are not anticipated at the site.

¹ American Association of State Highway and Transportation Officials
² American Society for Testing and Materials

Northwest Cascade, Inc.



Subsequent to stripping and prior to the placement of structural site grading fill, the subgrade must be prepared as discussed in Section 5.2.1, Site Preparation, of this report. In confined areas, subgrade preparation should consist of the removal of all loose or disturbed soils.

Non-structural fill may be placed in lifts not exceeding 12 inches in loose thickness and compacted by passing construction, spreading, or hauling equipment over the surface at least twice.

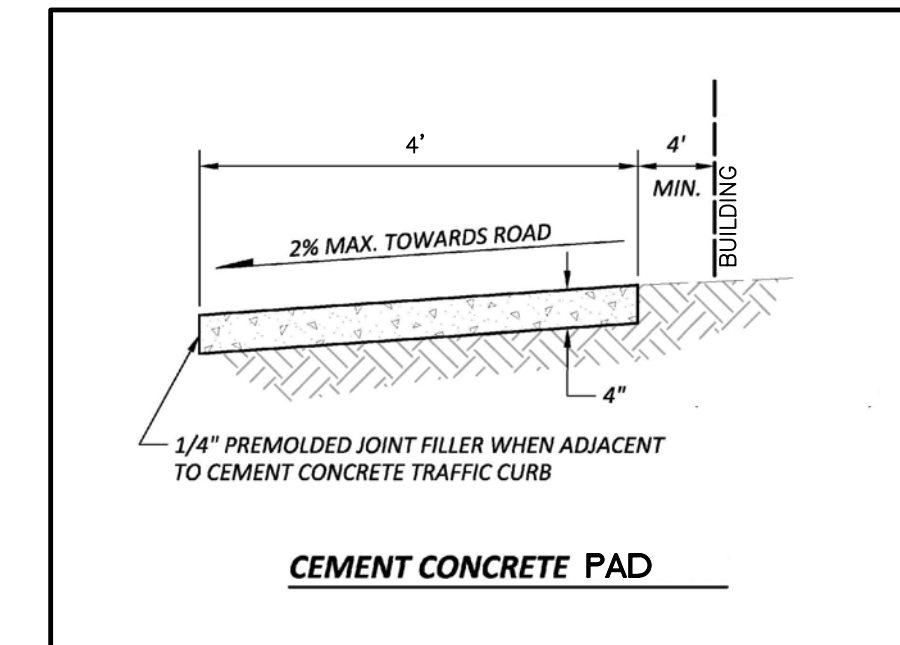
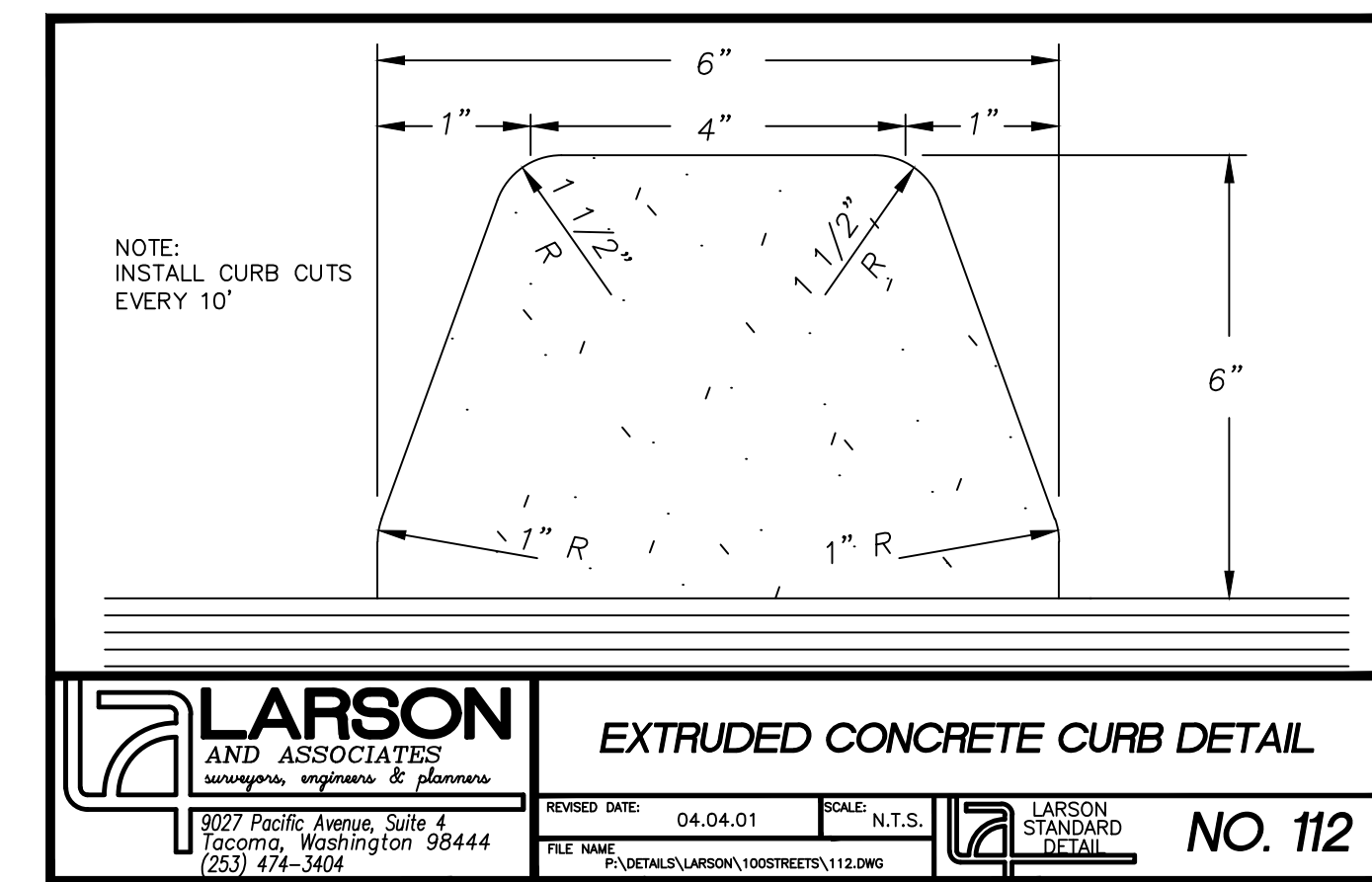
Coarse gravel and cobble mixtures (stabilizing fill), if utilized, shall be end-dumped, spread to a maximum loose lift thickness of 15 inches, and compacted by dropping a backhoe bucket onto the surface continuously at least twice. As an alternative, the fill may be compacted by passing moderately heavy construction equipment or large self-propelled compaction equipment over the surface at least twice. Subsequent fill material placed over the coarse gravels and cobbles shall be adequately placed so that the "fines" are "worked into" the voids in the underlying coarser gravels and cobbles.

5.2.5 Utility Trenches

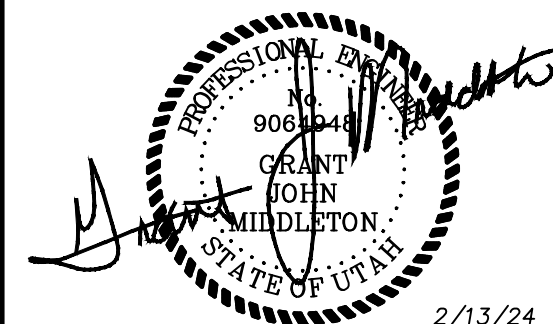
All utility trench backfill material below structurally loaded facilities (flatwork, floor slabs, roads, etc.) should be placed at the same density requirements established for structural fill. If the surface of the backfill becomes disturbed during the course of construction, the backfill should be proofrolled and/or properly compacted prior to the construction of any exterior flatwork over a backfilled trench. Proofrolling may be performed by passing moderately loaded rubber tire-mounted construction equipment uniformly over the surface at least twice. If excessively loose or soft areas are encountered during proofrolling, they should be removed to a maximum depth of two feet below design finish grade and replaced with structural fill.

Most utility companies and City-County governments are now requiring that Type A-1 or A-1-a (AASHTO Designation - basically granular soils with limited fines) soils be used as backfill over utilities. These organizations are also requiring that in public roadways the backfill over major utilities be compacted over the full depth of fill to at least 95 percent of the maximum dry density as determined by the AASHTO T-180 (ASTM D-1557) method of compaction. We recommend that as the major utilities continue onto the site that these compaction specifications are followed.

The natural sand and gravel soils (and surficial granular fills) may be suitable for use as trench backfill provided it meets the requirements of Type A-1 or A-1-a soils.



REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



2/13/24

CS-07

JOB NUMBER		9819
SCALE	HOR.	VERT.
N/A	N/A	N/A
DESIGNED BY	DRAWN BY	CHECKED BY
SC	PB	GJM
PROPOSER:		NMC #5 PARTNERSHIP PO BOX 73399 PUYALLUP, WA 98373-0399 CONTACT: MARK PERRY PH: (253)848-2371
LARSON and ASSOCIATES		surveyors, engineers & planners
9027 PACIFIC AVE., STE. 4		TACOMA, WA. 98444 (253) 474-3404
STORMWATER - DETAILS & SPECIFICATIONS		
DATE	2/13/24	
DRAWING NO.	9819PRE	
SHEET	7 OF 8	

NWC - FARR WEST UTAH

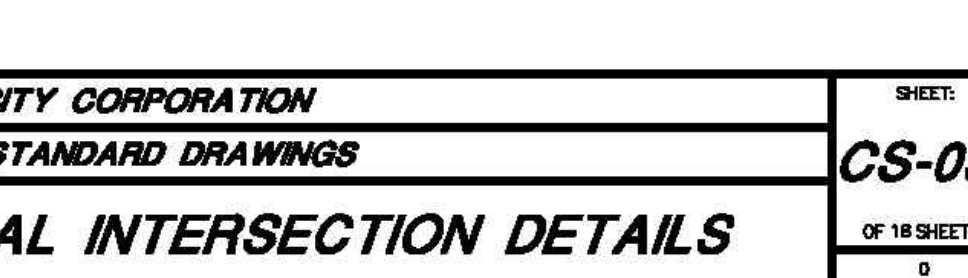
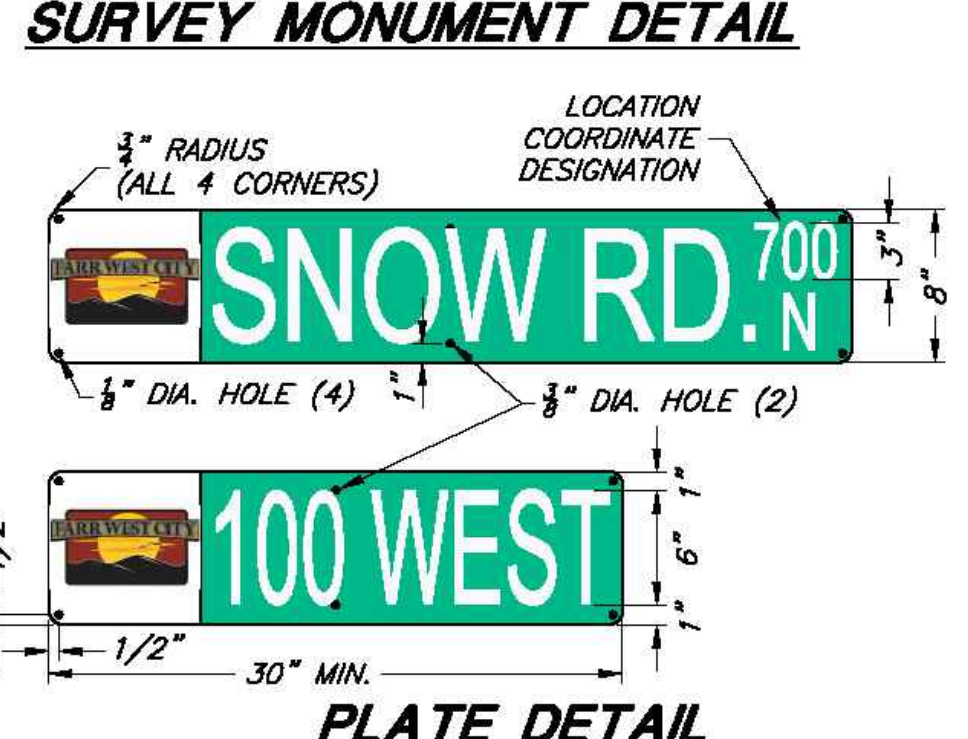
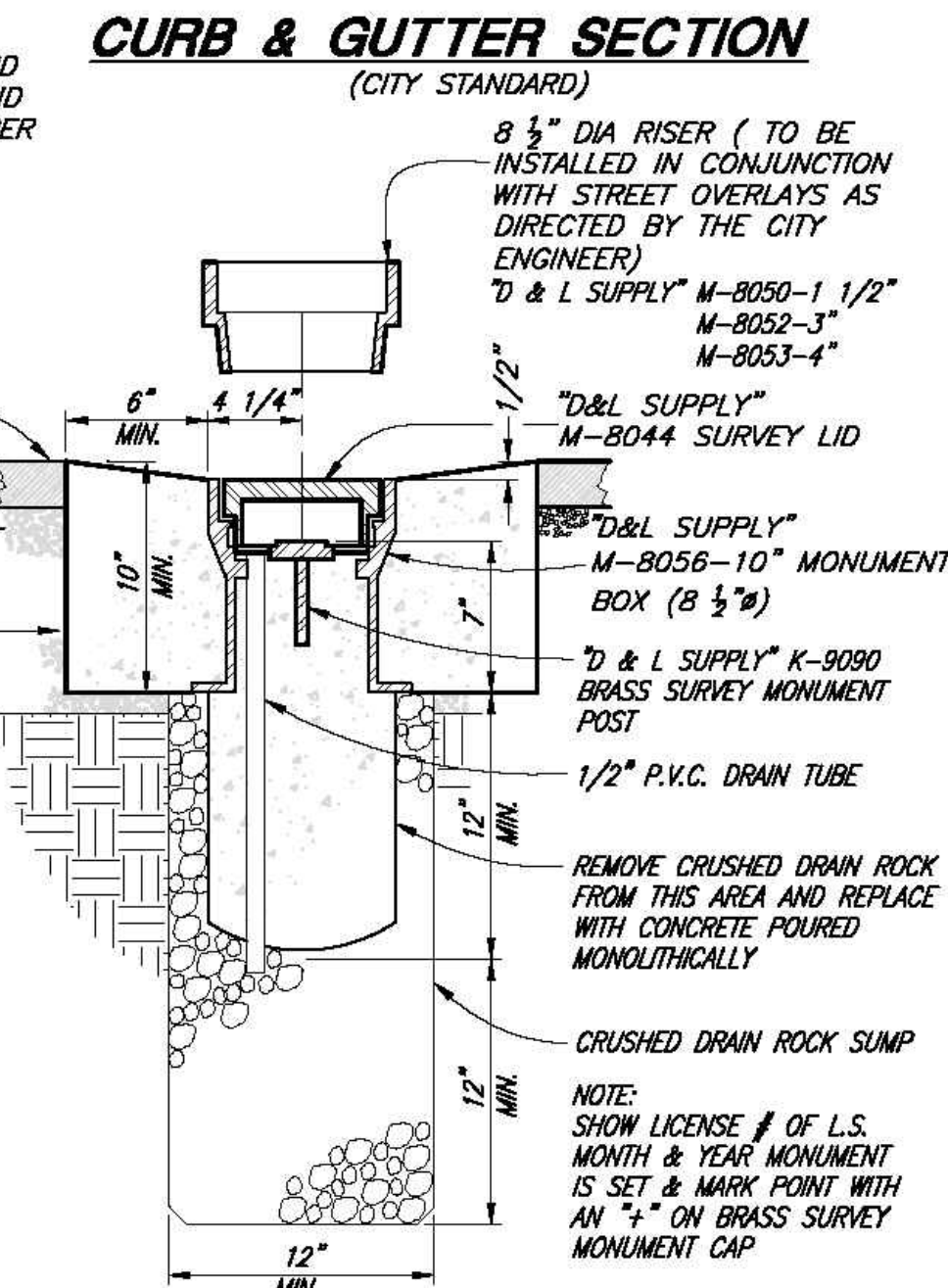
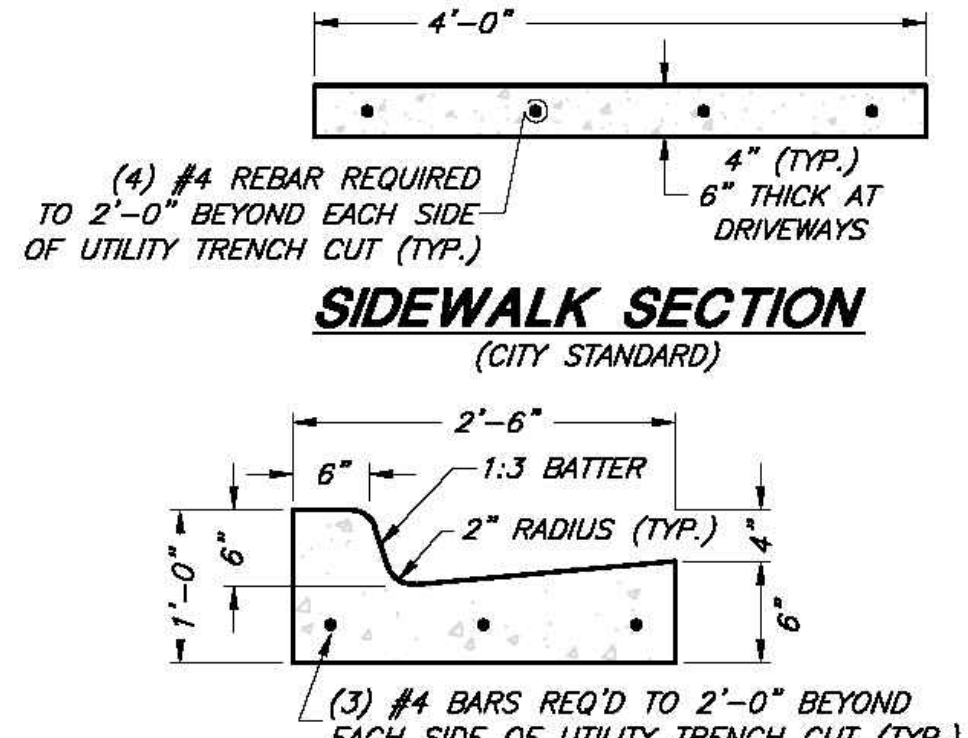
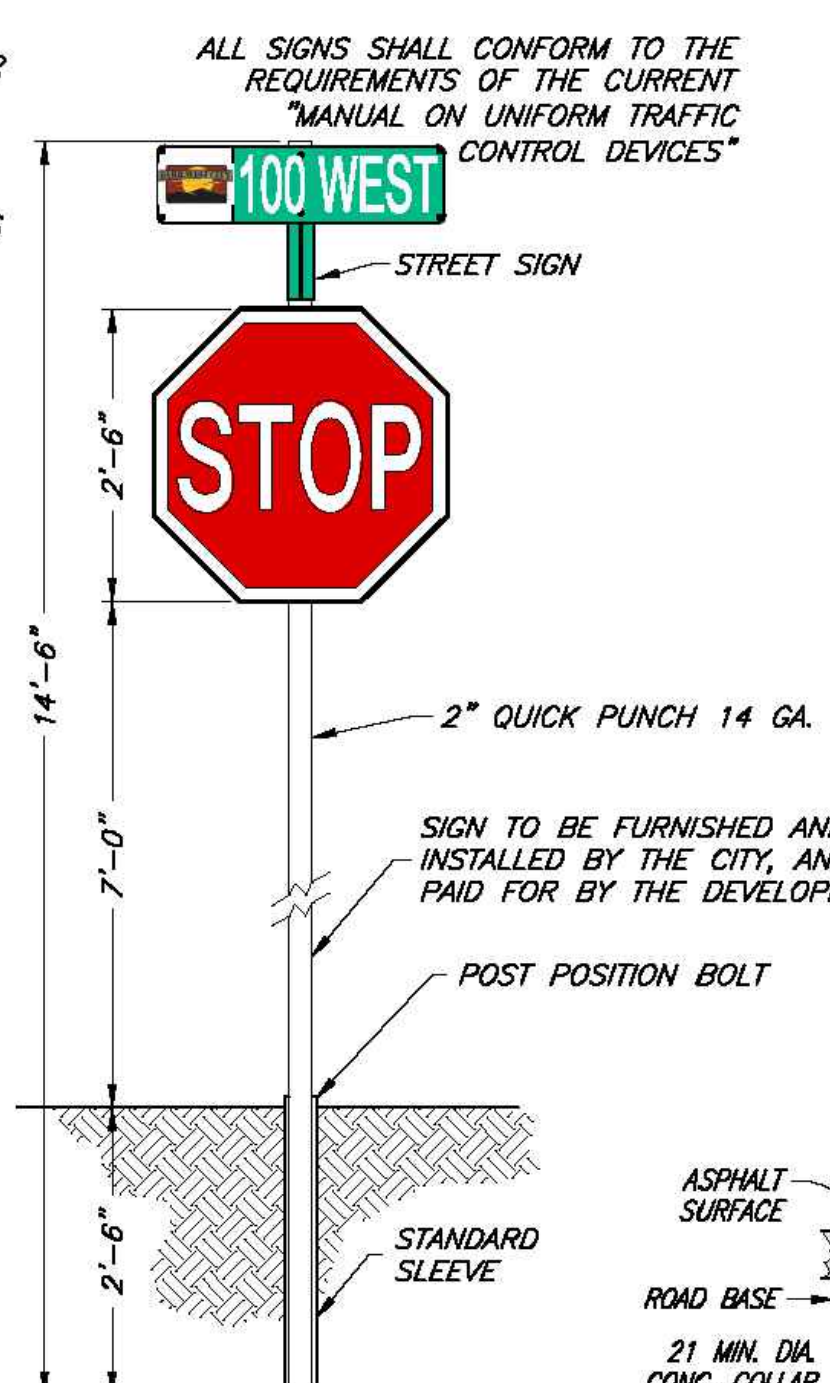
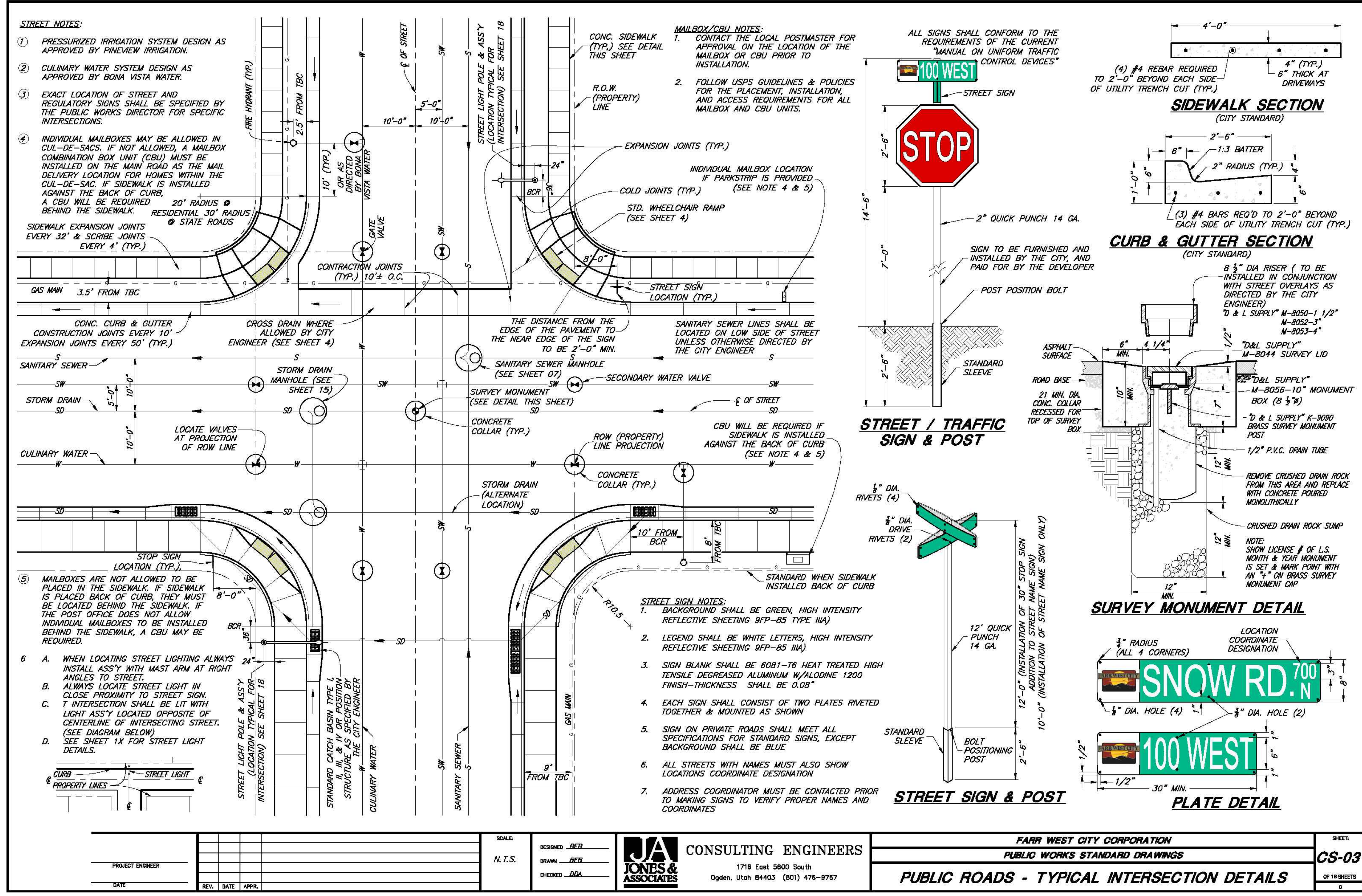
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

DESIGNED SC	SCALE	HOR.	VERT.
DRAWN PB	N/A	N/A	N/A
CHECKED GJM			

PROPOSER:
NMC #5 PARTNERSHIP
PO BOX 73399
PUYALLUP, WA 98373-0399
CONTACT: MARK PERRY
PH: (253)848-2371

PROFESSIONAL SEAL
LARSON AND ASSOCIATES
surveys, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444
(253) 474-3404

DETAILS & SPECIFICATIONS



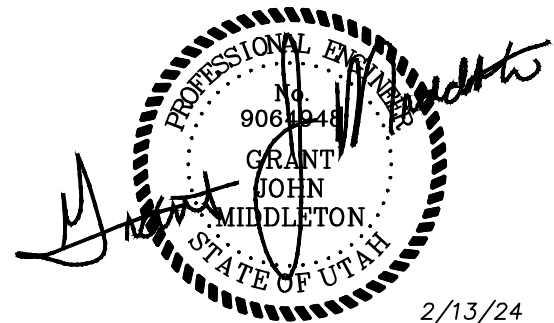
PROJECT ENGINEER	DESIGNED <i>BER</i>	SCALE	DATE	NO.	DATE	DESCRIPTION	BY
	DRAWN <i>BER</i>	N.T.S.		1	11/7/2023	PER UDOT COMMENTS	GJM
	CHECKED <i>DDA</i>						

JONES & ASSOCIATES
CONSULTING ENGINEERS
1718 East 5600 South
Ogden, Utah 84403 (801) 476-9787

FARR WEST CITY CORPORATION
PUBLIC WORKS STANDARD DRAWINGS
PUBLIC ROADS - TYPICAL INTERSECTION DETAILS

SHEET: **CS-03**
OF 18 SHEETS
0

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY
1	11/7/2023	PER UDOT COMMENTS	GJM

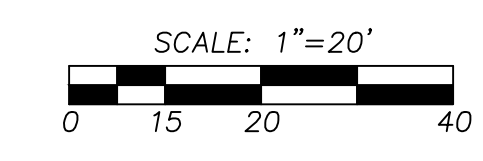
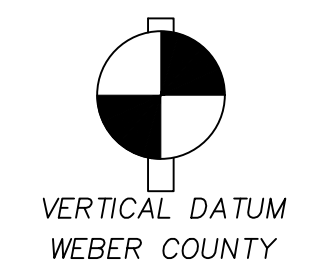


DATE: 2/13/24
DRAWING NO.: 9819PRE
SHEET 8 OF 8

NWC - FARR WEST UTAH

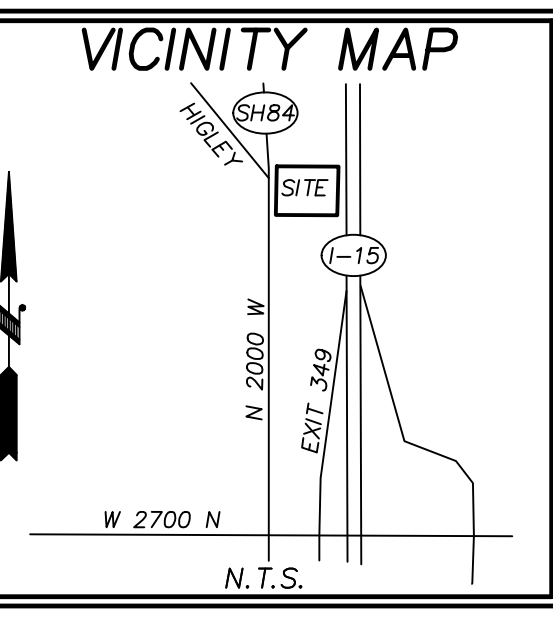
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
 CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN
SHEET INDEX

- CS-01 COMMERCIAL SITE PLAN
- CS-02 T.E.S.C. & GRADING PLAN
- CS-03 COMMERCIAL SITE PLAN
- CS-04 OFF-SITE PLAN AND PROFILE
- CS-05 SECTION PLAN
- CS-06 STORMWATER - DETAILS & SPECIFICATIONS
- CS-07 STORMWATER - DETAILS & SPECIFICATIONS
- CS-08 DETAILS & SPECIFICATIONS



SURVEY NOTE
 TOPOGRAPHIC SITE SURVEY PROVIDED BY JOHANSON SURVEYING ON 8/23/2022

BM:
 THE ELEVATION BASE IS DETERMINED BY THE FIELD G.P.S. PROJECTION BASED ON UTAH NORTH NAD 1983 PROJECTION THEN ROUNDED OFF TO MATCH THE GEOID 12B ELEVATION AS REFERENCED IN THE SECTION CORNER SHEET FOR THE SOUTHEAST CORNER OF SECTION 26, T. 7 N. R. 2 W. S.L.B. & M FOR A MORE EFFICIENT BENCH MARK BASE. THE PROJECT BENCH MARK IS 4272.70' = FOUND AND ACCEPTED BRASS CAP IN THE INTERSECTION OF 2700 NORTH AND I-15 ONRAMP.
 ELEV: 4272.70
CONTOUR INTERVAL=1'
 TOPOGRAPHY PREPARED BY JOHANSON SURVEYING

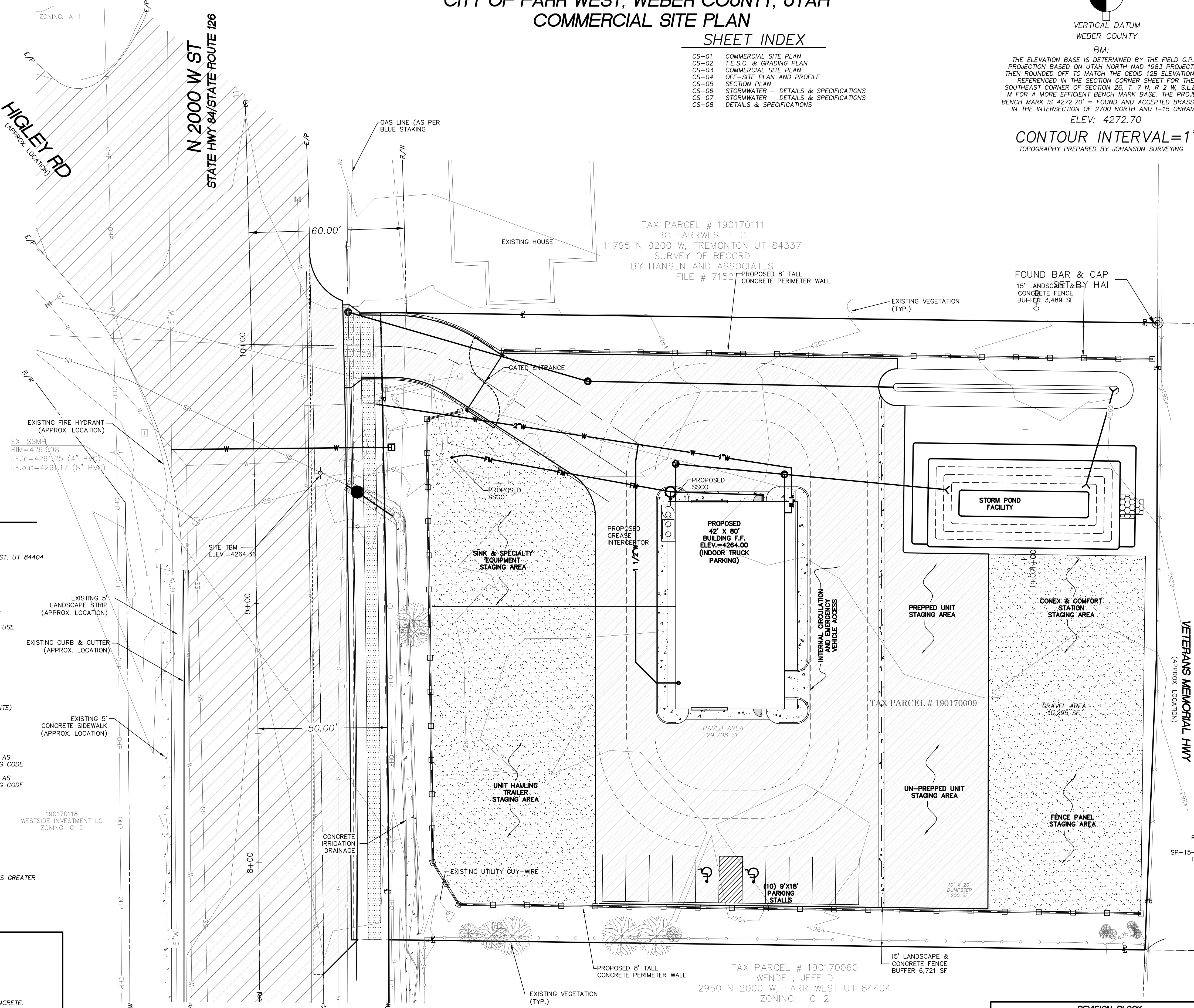


PROPERTY DESCRIPTION

BEGINNING AT A POINT 10 CHAINS SOUTH OF THE NORTHEAST CORNER OF SAID QUARTER SECTION, AND RUNNING THENCE WEST 586 FEET TO THE STATE ROAD, KNOWN AS U. S. HIGHWAY 84, THENCE SOUTH ALONG HIGHWAY 242 FEET THENCE EAST 580 FEET TO A POINT SOUTH OF THE PLACE OF BEGINNING, THENCE NORTH 242 FEET, TO THE PLACE OF BEGINNING.
 CONTAINING 1.65 +/- ACRES

COMMERCIAL SITE DATA

PARCELS:	190170009
PROPERTY OWNER:	BAXTER LIVING TRUST
SITE ADDRESS:	2990 N 2000 W FARR WEST, UT 84404
ASSESSOR'S REPORTED ACREAGE:	2.10 AC±
ACREAGE:	71,743 SF (1.65 AC)
EXISTING ZONING:	C-2
EXISTING USE:	SINGLE-FAMILY RESIDENCE
PROPOSED USE:	COMMERCIAL CONDITIONAL USE
NUMBER OF LOTS:	1
PROPOSED DWELLING UNITS:	NONE
DEDICATION AREAS:	NONE
CRITICAL AREAS:	NONE KNOWN
LANDSCAPE REQUIREMENT:	10% OF SITE
PROPOSED LANDSCAPING:	10,090 SF (~14.1% OF SITE)
SETBACK REQUIREMENTS:	
FRONT SETBACK AND SIDE SETBACK FROM A PUBLIC DEDICATED STREET:	TWENTY FEET (20')
SIDE YARD SETBACK, ADJACENT TO COMMERCIAL ZONED PROPERTY:	NO REQUIREMENT EXCEPT AS REQUIRED IN THE BUILDING CODE
REAR YARD SETBACK ADJACENT TO COMMERCIAL ZONED PROPERTY:	NO REQUIREMENT EXCEPT AS REQUIRED IN THE BUILDING CODE
SIDE YARD SETBACK, ADJACENT TO RESIDENTIALLY ZONED PROPERTY:	TEN FEET (10')
REAR YARD SETBACK, ADJACENT TO RESIDENTIALLY ZONED PROPERTY:	TEN FEET (10')
MIN. LOT AREA AND WIDTH:	NO REQUIREMENT
MAXIMUM HEIGHT:	NO REQUIREMENT
MINIMUM HEIGHT:	EIGHT FEET (8') OR ONE STORY WHICHEVER IS GREATER
PARKING REQUIREMENTS:	SEE SECTION 17.44.150



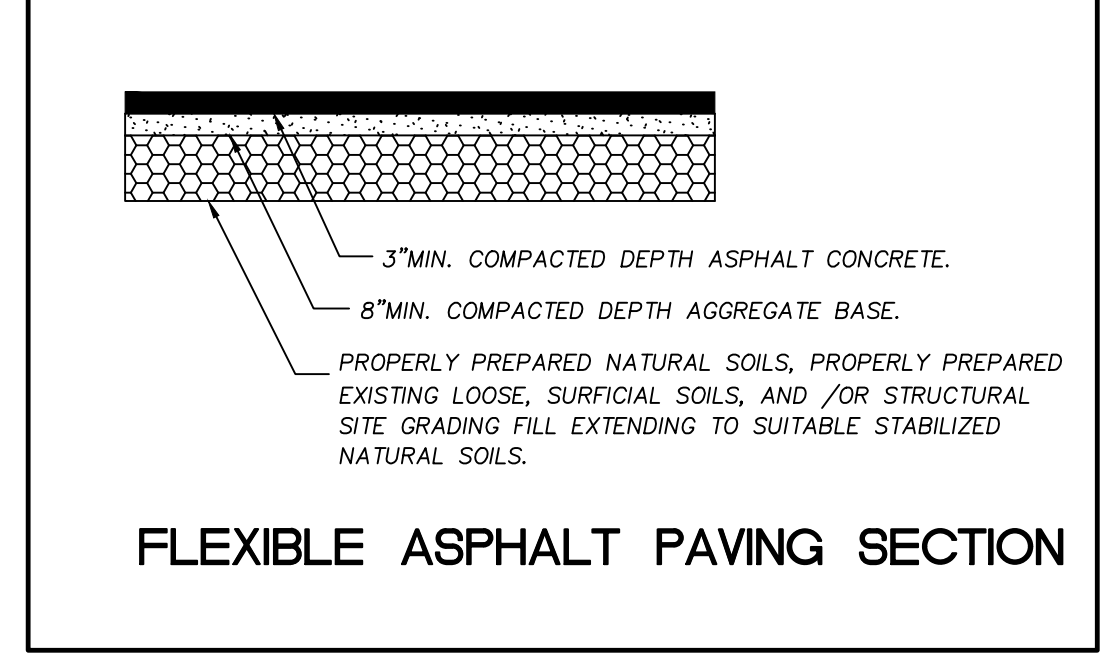
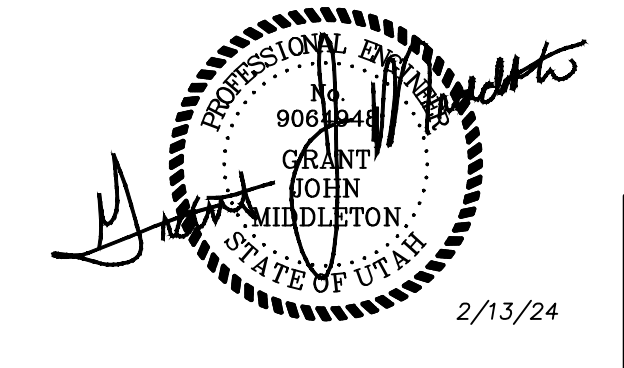
LEGEND

- P — PROPERTY LINE
- 684 --- EXISTING CONTOUR
- --- RIGHT OF WAY LINE
- --- PROPERTY ADJOINER LINE
- X --- EXISTING WIRE FENCE
- O --- EXISTING WROUGHT IRON FENCE
- S --- EXISTING SANITARY SEWER PIPE
- W --- EXISTING WATER MAIN
- G --- EXISTING GAS/OIL LINE
- T --- EXISTING STORM DRAIN/IRRIGATION PIPE
- --- EXISTING PHONE/COMMUNICATION LINE
- OHP --- EXISTING OVERHEAD POWER LINE
- --- EXISTING IRRIGATION VALVE
- H --- EXISTING WATER VALVE
- D --- EXISTING FIRE HYDRANT
- + --- EXISTING HOSE BIB
- M --- EXISTING GAS METER
- --- EXISTING TELEPHONE RISER
- --- EXISTING SANITARY SEWER MANHOLE
- --- EXISTING UTILITY POLE
- --- EXISTING GUY WIRE
- --- EXISTING WATER METER
- --- PROPOSED WATER SERVICE LINE
- SS --- PROPOSED SANITARY SEWER PIPE
- --- PROPOSED CLEANOUT
- --- EXISTING PAVEMENT
- --- EXISTING CONCRETE
- --- PROPOSED PAVEMENT
- --- PROPOSED GRAVEL
- --- PROPOSED FUTURE EASEMENT
- --- PROPOSED 8" TALL CONCRETE WALL
- --- EXISTING VEGETATION

CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY THE CITY AND THE PROJECT ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE BACKFILL MATERIAL MEETS MINIMUM COUNTY/STATE REQUIREMENTS. COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



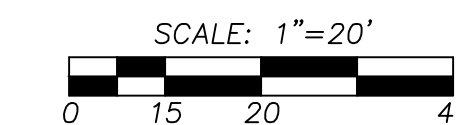
CONSTRUCTION NOTES

- CONTRACTOR TO UTILIZE EXISTING ACCESS TO THE PROPERTY FOR CONSTRUCTION ENTRANCE PER BMP: STABILIZED CONSTRUCTION ENTRANCE ON PAGE CS-5.
- CONTRACTOR TO INSTALL MIRAFI SILT FENCE AS SHOWN AND PER FARR WEST BMP: SILT FENCE AND DETAIL ON SHEET CS-5.
- CONTRACTOR TO REMOVE ALL EXISTING TREES WITHIN PROPOSED WALL AS SHOWN.
- CONTRACTOR TO INSTALL SEDIMENT TRAP AS SHOWN BOTTOM OF TEMP. SEDIMENT TRAP 1 FOOT ABOVE FINAL POND BOTTOM, AND PER FARR WEST BMP: SEDIMENT TRAP AND DETAIL ON SHEET CS-5.

NWC - FARR WEST UTAH

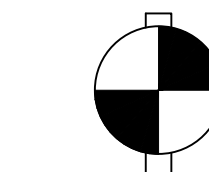
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

JOB NUMBER	9819
SCALE	HOR: 1"=20' VERT: 1"=5'
DESIGNED SC	
DRAWN PB	
CHECKED C-M	



SURVEY NOTE

TOPOGRAPHIC SITE SURVEY PROVIDED BY JOHANSON SURVEYING ON 8/23/2022



VERTICAL DATUM
WEBER COUNTY

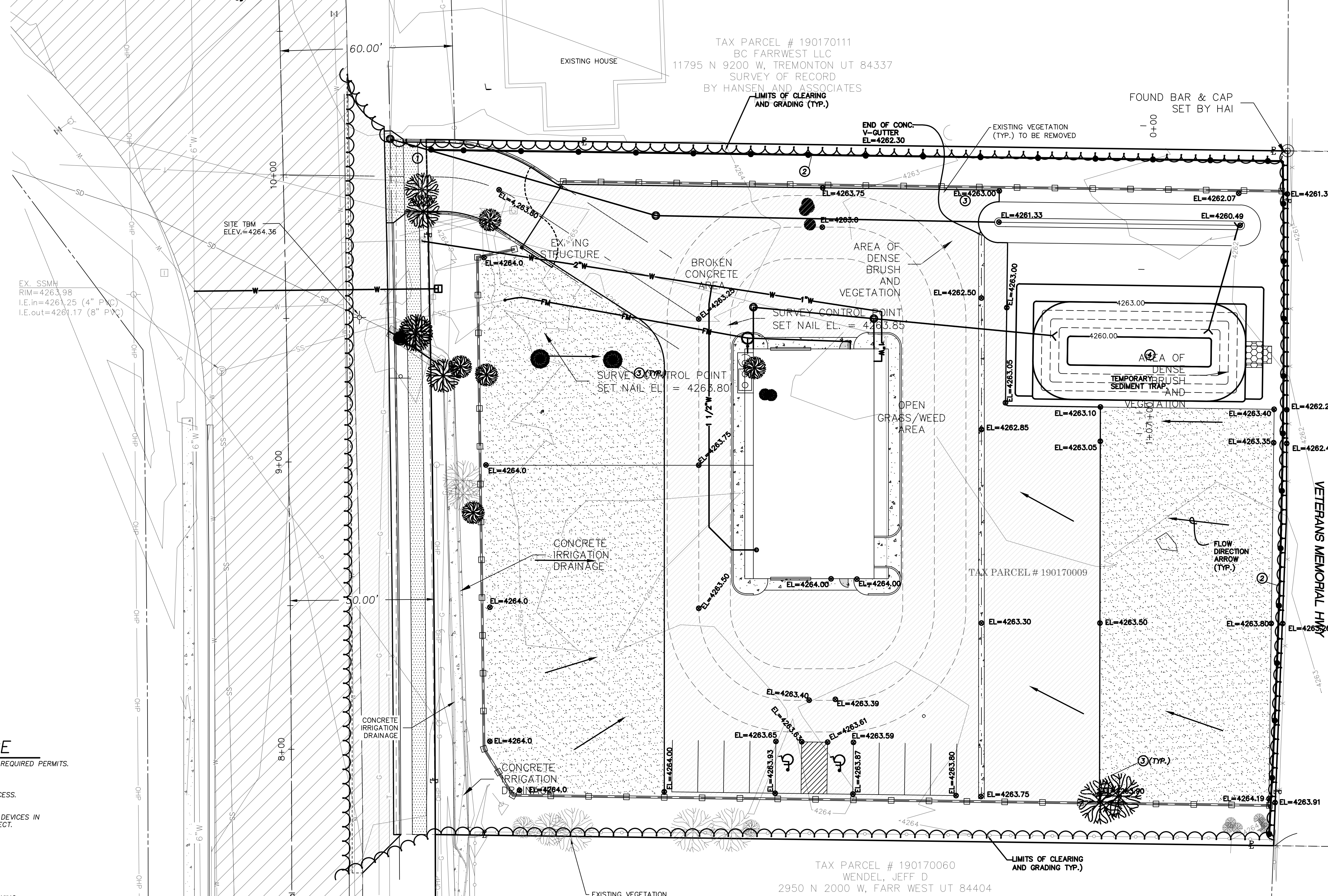
BM:
THE ELEVATION BASE IS DETERMINED BY THE FIELD G.P.S. PROJECTION BASED ON UTAH NORTH NAD 1983 PROJECTION THEN ROUNDED OFF TO MATCH THE GEOID 12B ELEVATION AS REFERENCED IN THE SECTION CORNER SHEET FOR THE SOUTHEAST CORNER OF SECTION 26, T. 7 N, R. 2 W, S.L.B. & M FOR A MORE EFFICIENT BENCH MARK BASE, THE PROJECT BENCH MARK IS 4272.70' = FOUND AND ACCEPTED BRASS CAP IN THE INTERSECTION OF 2700 NORTH AND I-15 ONRAMP.
ELEV: 4272.70

CONTOUR INTERVAL=1'
TOPOGRAPHY PREPARED BY JOHANSON SURVEYING

LEGEND

- CLEARING LIMITS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- MIRAFI SILT FENCE ②
- ROCK CHECK DAM ⑤
- RIP RAP PAD ⑥
- CATCH BASIN INSERT ⑦
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

HIGLEY RD
N 2000 W ST
STATE HWY 84/STATE ROUTE 126



INSPECTION SCHEDULE

- CONSTRUCTION ENTRANCE SHALL BE INSPECTED WEEKLY & CLEANED AS NEEDED OR NEW SPALLS ADDED AS NEEDED TO MAINTAIN A ROUGH SURFACE.
- THE EXISTING ACCESS ROUTES INTO THE PROJECT SITE SHALL BE INSPECTED EVERY 2 DAYS & SWEEP OR CLEANED ON A WEEKLY BASIS OR MORE FREQUENTLY IF NEEDED.
- ALL CUT & FILL SIDE SLOPES SHALL BE INSPECTED EVERY 2 DAYS AND/OR AFTER EVERY STORM EVENT TO REPAIR ANY EROSION OR SLOPE SCOURING.
- INSPECT C.B. INLET PROTECTION ON A WEEKLY BASIS AND AFTER EVERY MAJOR STORM EVENT.

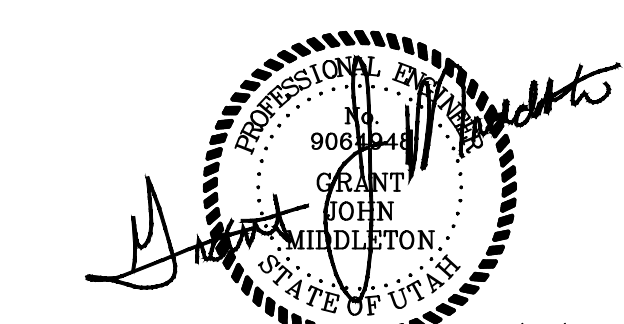
NOTES

- ALL FILL SHALL BE CLEAN EARTHEN MATERIAL ONLY, WITH NO CONCRETE, GARBAGE, SOLID WASTE OR ANY OTHER UNACCEPTABLE MASS.
- ALL DEMOLITION MATERIAL MUST GO TO A LICENSED SOLID WASTE HANDLING OR DISPOSAL FACILITY.
- ALL SEPTIC TANKS SHALL BE PUMPED BY A CERTIFIED SEPTIC HAULER, FILLED WITH SOIL AND A DECOMMISSIONING APPLICATION COMPLETED PER WEBER-MORGAN HEALTH DEPARTMENT REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN DEMOLITION PERMIT AS REQUIRED PRIOR TO ANY DEMOLITION OR STRUCTURE REMOVAL.
- ALL SLOPES SHALL MAINTAIN MINIMUM SETBACKS IN ACCORDANCE WITH THE GRADING NOTES ON SHEET C1.1.
- THE OWNER'S RETAINED GEOTECHNICAL ENGINEER SHALL TEST ALL FILL MATERIAL & OBTAIN SUFFICIENT COMPACTION TESTS TO VERIFY SOIL STABILITY.
- EROSION CONTROL MEASURES OTHER THAN THOSE SPECIFIED MAY BE NEEDED TO PREVENT MIGRATION OF SEDIMENT. SEE SHEETS C1.1 FOR ADDITIONAL MEASURES.
- CONTRACTOR TO HAVE EQUIPMENT AND MATERIALS I.E.: STRAW, 12" & 18" CMP, QUARRY SPALLS, TEMP RISER STRUCTURES, ETC. ON-SITE DURING CONSTRUCTION FOR EMERGENCY SITUATIONS. CONTRACTOR TO DEVELOP PLAN OF ACTION FOR EROSION MEASURES PRIOR TO STARTING CONSTRUCTION.
- TO LIMIT IMPACTS TO NEIGHBORING PROPERTIES, DUST CONTROL WILL BE REQUIRED.

CONSTRUCTION SEQUENCE

- HOLD A PRE-CONSTRUCTION MEETING WITH THE CITY AND OBTAIN REQUIRED PERMITS.
- ESTABLISH CLEARING AND GRADING LIMITS.
- UTILIZE EXISTING GRAVEL ACCESS FOR CONSTRUCTION VEHICLE ACCESS.
- INSTALL CATCH BASIN INLET PROTECTION AND SEDIMENT CONTROL DEVICES IN ALL EXISTING CATCH BASINS WITHIN DIRECT VICINITY OF THE PROJECT.
- SCHEDULE AN EROSION CONTROL INSPECTION WITH THE CITY.
- CLEAR AND GRADE SITE AND CONSTRUCT STORM DRAIN SYSTEM PER APPROVED PLANS.
- PROVIDE C.B. INLET PROTECTION IN NEW CATCH BASINS UNTIL PARKING LOT STORM DRAIN SYSTEM IS COMPLETED AND THE SITE IS COMPLETELY STABILIZED AND PROTECTED FROM EROSION & SEDIMENTATION.
- NOTE: THE BUILDING CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF STORM SYSTEM DURING BUILDING AND LANDSCAPE CONSTRUCTION.
- HYDRO SEED AND/OR MULCH SLOPES AND OTHER EXPOSED AREAS IMMEDIATELY AFTER GRADING IS COMPLETED AS OUTLINED IN "EROSION CONTROL NOTES".
- CLEAN OUT AND TEST ALL STORM DRAIN FACILITIES.
- INSPECT AND MAINTAIN ALL EROSION CONTROL FACILITIES (I.E. CB INLET PROTECTION BMPs) AT REGULAR INTERVALS & COMPLETE REQUIRED REPORT, CLEAN AS REQUIRED UNTIL RISK OF SEDIMENTATION HAS PASSED.

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



2/13/24

LARSON and ASSOCIATES
surveyors, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444 (253) 474-3404

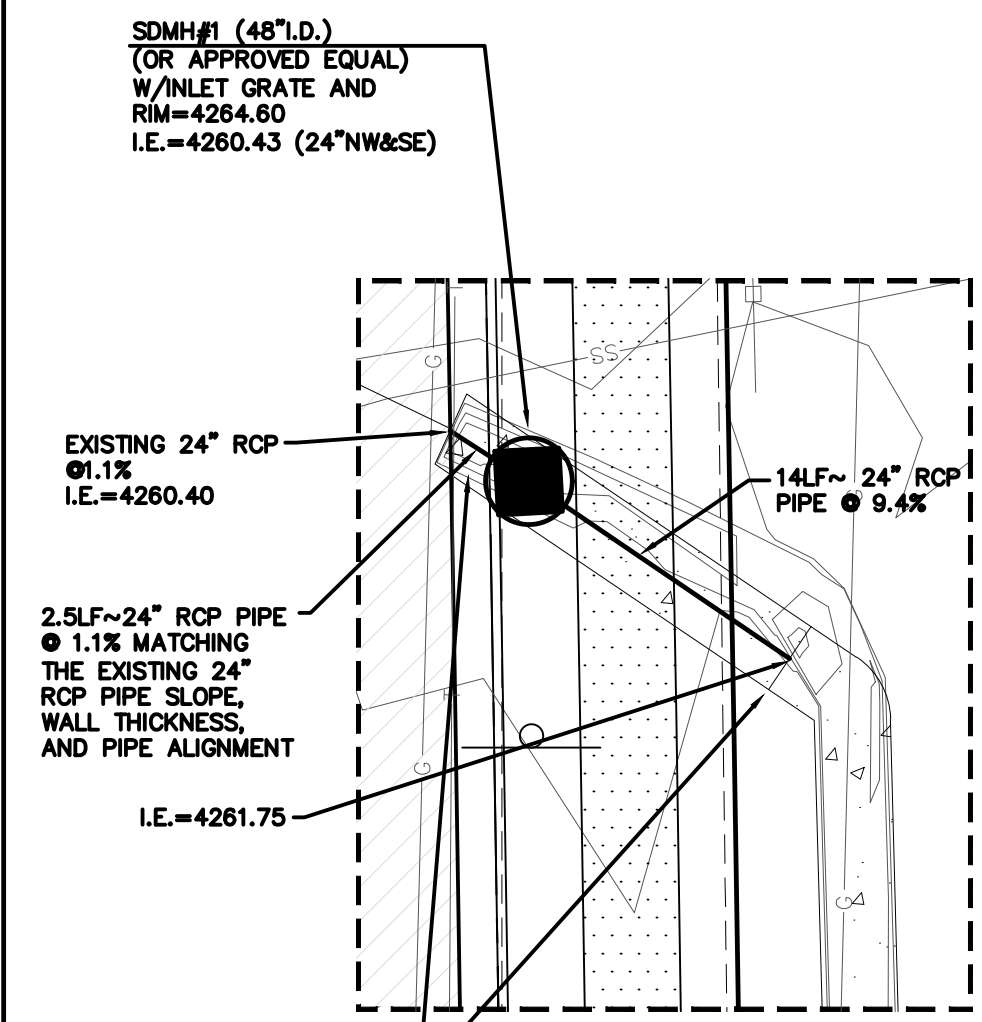
T.E.S.C AND GRADING PLAN

DATE	2/13/24
DRAWING NO.	9819BASE
SHEET	2 OF 8

CS-02

CONSTRUCTION NOTES

- 1 CONTRACTOR TO INSTALL LIBERTY PUMPS ESP107719 GRINDER PUMP STATION OR APPROVED EQUAL AS SHOWN & PER DETAIL ON SHEET CS-06.
- 2 THE MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 1.5 FEET. THE MINIMUM HORIZONTAL SEPARATION SHALL BE 10 FEET FROM EXISTING OR PROPOSED SEWER.
- 3 CONTRACTOR TO INSTALL 8" TALL CONCRETE PERIMETER WALL AS SHOWN AND PER DESIGN BY OTHERS.
- 4 CONTRACTOR TO INSTALL STORM POND FACILITY WITH A BOTTOM AREA OF 10 FEET BY 50 FEET WITH 3:1 SIDE SLOPES AND 6 FOOT BERM ON NORTH AND EAST END AS SHOWN.
- 5 CONTRACTOR TO INSTALL STORM BIOSWALE WITH 3"W BOTTOM 84" LONG 1 FOOT DEEP WITH A LONGITUDINAL SLOPE OF 1.5%.
- 6 PROPOSED BUILDING DESIGNED BY OTHERS.
- 7 PROPOSED DOUBLE SWING GATE.
- 8 CONTRACTOR TO INSTALL EMERGENCY OVERFLOW SPILLWAY AS SHOWN AND PER DETAIL ON SHEET CS-05.
- 9 CONTRACTOR TO INSTALL DUMPSTER ENCLOSURE AS SHOWN AND PER APPROVED GEOTECHNICAL REPORT BY GORDON GEOTECHNICAL ENGINEERING, INC DATED 9-2-2022. (FOR DUMPSTER PADS, WE RECOMMEND A PAVEMENT SECTION CONSISTING OF THREE AND ONE-HALF INCHES OF PORTLAND CEMENT CONCRETE, FOUR INCHES OF AGGREGATE BASE, OVER PROPERLY PREPARED NATURAL STABILIZED SUBGRADE OR SITE GRADING STRUCTURAL FILLS.)
- 10 CONTRACTOR TO INSTALL CONCRETE CROSSSPAN AS SHOWN AND PER DETAIL ON SHEET CS-05.
- 11 INSTALL RIP-RAP PADS AS SHOWN WITH 6"-8" QUARRY SPALLS.
- 12 CONTRACTOR TO INSTALL PROPOSED GREASE TRAP AS SHOWN AND PER ARCHITECT/ STRUCTURAL ENGINEERING PLANS.
- 13 CONTRACTOR TO INSTALL EXTRUDED CONCRETE CURB W/CURB CUT EVERY 10' AS SHOWN AND PER DETAIL ON SHEET RS2.
- 14 CONTRACTOR TO INSTALL 3 1/2" THICK X 4 FEET WIDE CONCRETE PAD AS SHOWN AND PER DETAIL ON SHEET RS2.
- 15 N/A
- 16 CONTRACTOR TO REMOVE EXISTING PORTION OF 4"W IRRIGATION CHANNEL AND REPLACE IT WITH NEW 48" I.D. MANHOLE AS PER ENLARGED DETAIL BELOW.
- 17 CONTRACTOR TO RELOCATE EXISTING CITY STREET SIGN TO PROPOSED PARK STRIP PER CITY OF FARR WEST PUBLIC WORKS STANDARD DRAWING CS-03.
- 18 CONTRACTOR TO CONNECT PROPOSED 2" SANITARY SEWER FORCE MAIN TO EXISTING 4" SEWER STUB CONTRACTOR TO FIELD VERIFY LOCATION, CONDITION AND ELEVATION OF EXISTING 4" SEWER STUB. SEE DETAIL ON THIS SHEET.
- 19 CONTRACTOR TO INSTALL PROPOSED WATER TO INTERIOR TRUCK FILL STATION INSIDE THE BUILDING WITH ATMOSPHERIC VACUUM BREAKER BACKFLOW PREVENTER (WATTS FEBCO MODEL 710 OR APPROVED EQUAL) INSTALLED 6" MINIMUM ABOVE FIXTURE.



WESTERN IRRIGATION CHANNEL MODIFICATION CONSTRUCTION NOTE:

ALL WORK TO BE COMPLETED ON THE IRRIGATION CHANNEL SHALL BE COORDINATED WITH WESTERN IRRIGATION. CONTACT MARVIN FARRELL AT 801-7814834 OR VIA EMAIL AT MARVIN.FARRELL@MINSI.COM PRIOR TO COMMENCING CONSTRUCTION FOR CONSTRUCTION SUPERVISION, OVERSIGHT AND INSPECTION(S).

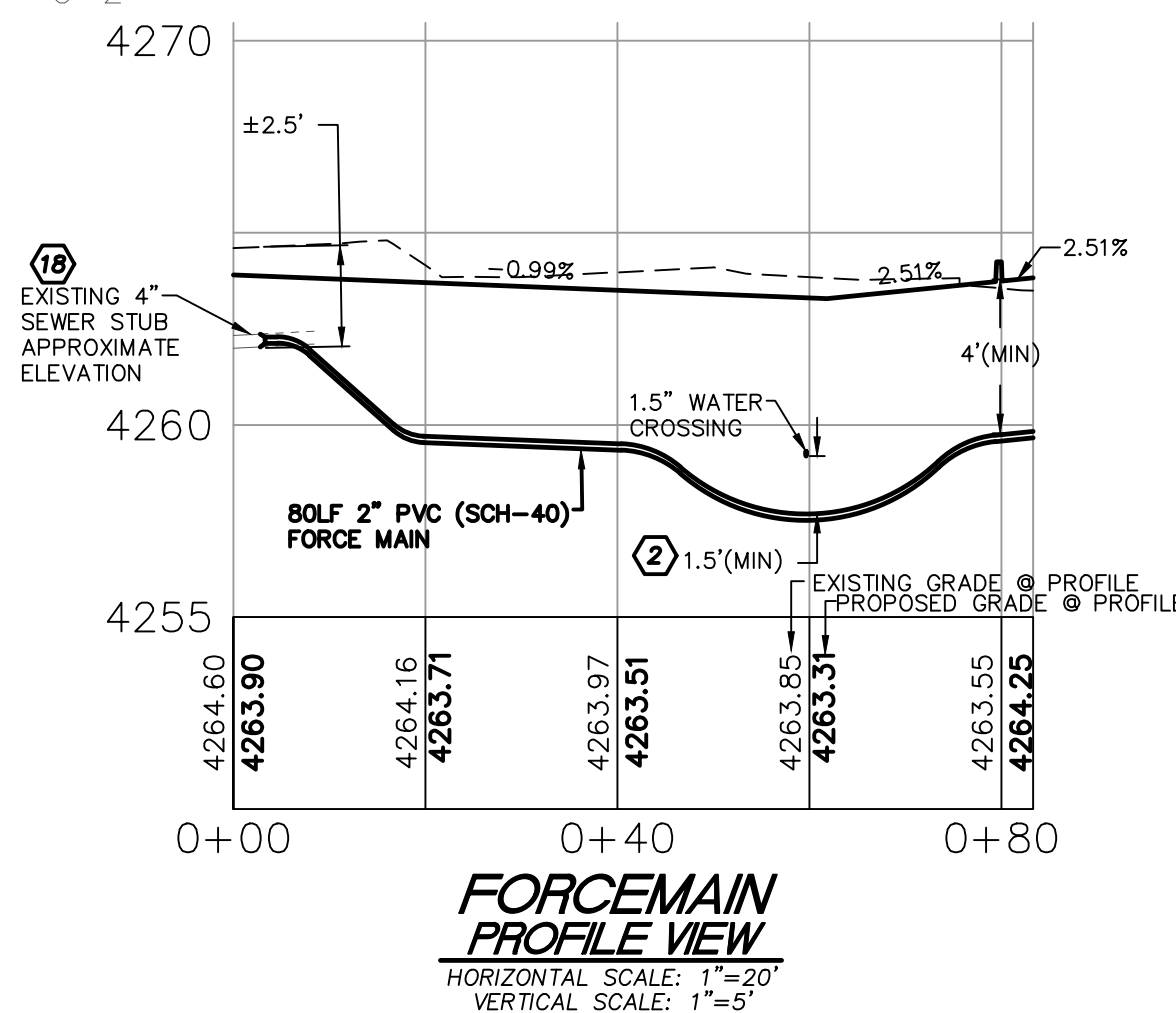
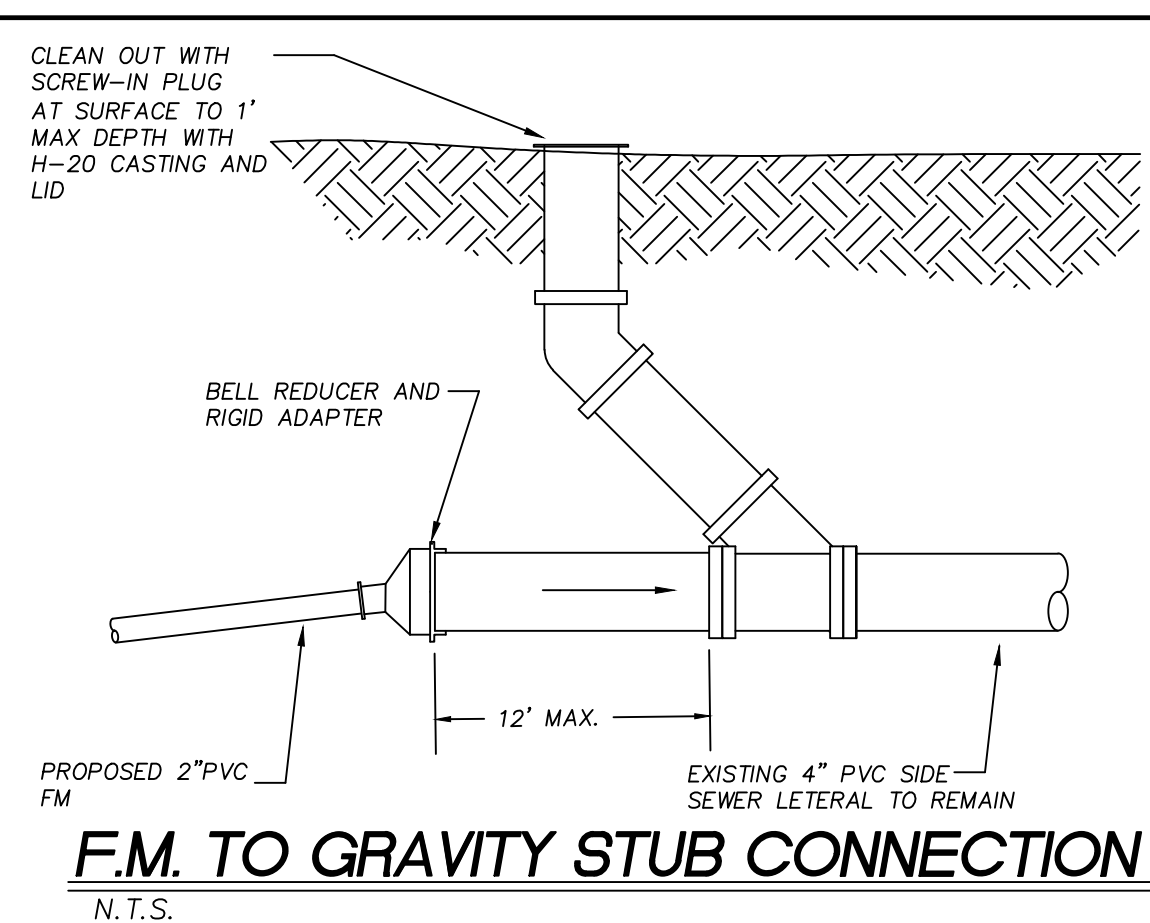
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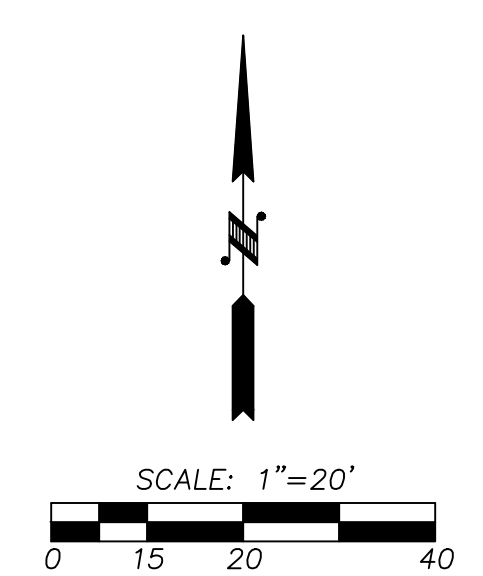
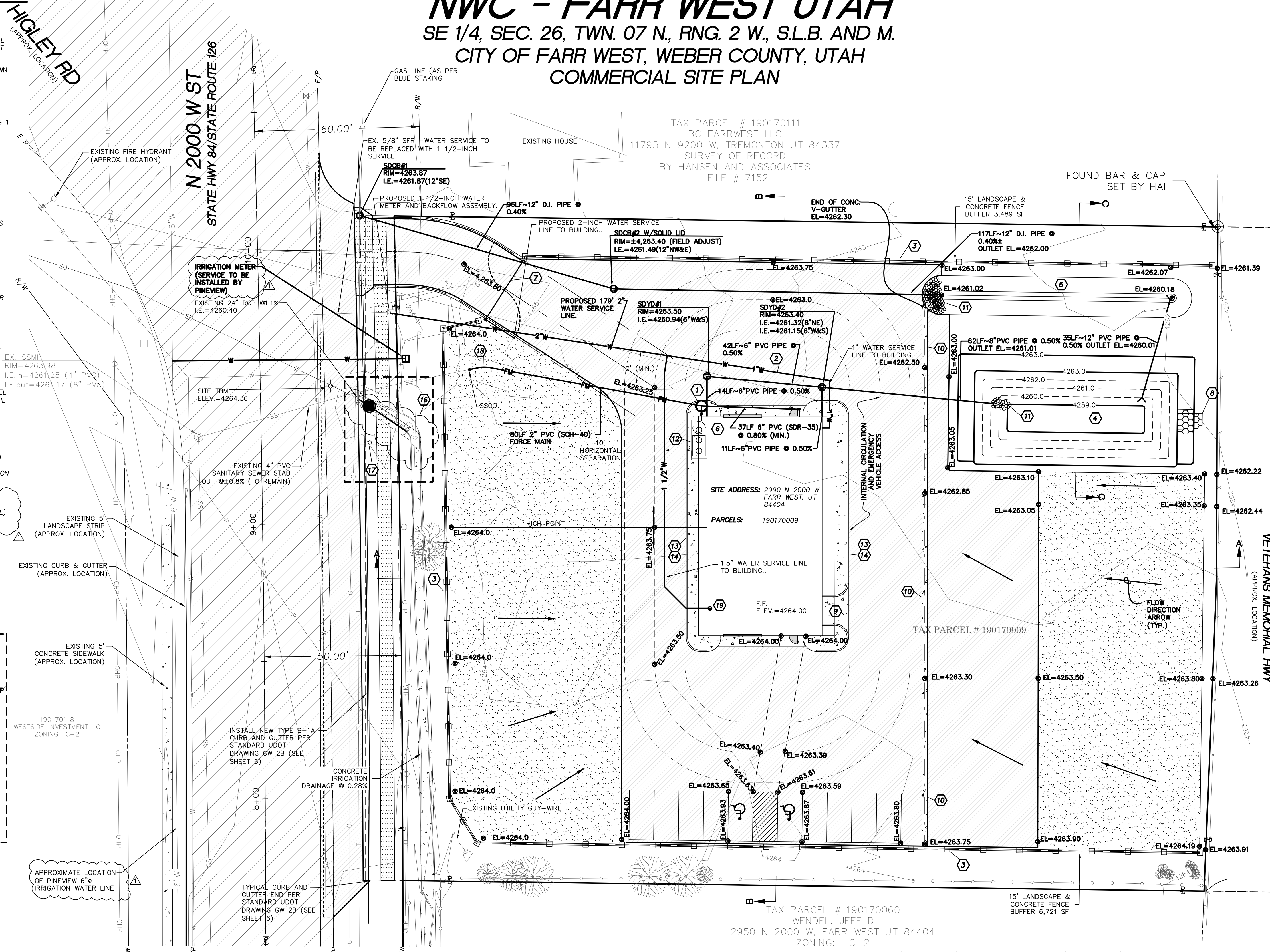
PLUMBING FIXTURE TABLE

FIXTURE	QUANTITY
TOILET	1
SINK	1
1 1/2" TRUCK FILL LINE	1

APPROX. DAILY FLOW VOLUME: 4,000 GPD (SUMMER MONTHS)
APPROX. DAILY FLOW VOLUME: 2,000 GPD (WINTER MONTHS)
ANTICIPATED SUMMER PEAK FLOW: 25-30 GPM



NWC - FARR WEST UTAH
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN



SURVEY NOTE

TOPOGRAPHIC SITE SURVEY PROVIDED BY JOHANSON SURVEYING ON 8/23/2022

VERTICAL DATUM: WEBER COUNTY
BM: THE ELEVATION BASE IS DETERMINED BY THE FIELD G.P.S. PROJECTION BASED ON UTAH NORTH MAD 1983 PROJECTION THEN ROUNDED OFF TO MATCH THE GEOID 12B ELEVATION AS REFERENCED IN THE SECTION CORNER SHEET FOR THE SOUTHEAST CORNER OF SECTION 26, T. 7 N., R. 2 W., S.L.B. & M FOR A MORE EFFICIENT BENCH MARK BASE. THE PROJECT BENCH MARK IS 4272.70' = FOUND AND ACCEPTED BRASS CAP IN THE INTERSECTION OF 2700 NORTH AND I-15 ONRAMP. ELEV: 4272.70

CONTOUR INTERVAL=1'

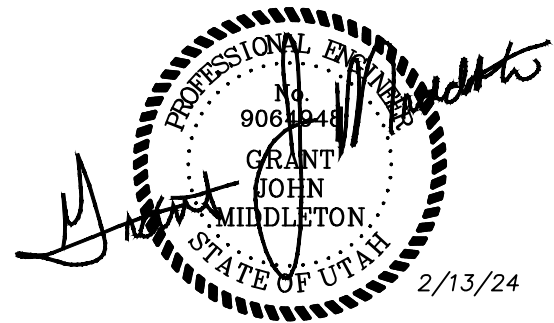
TOPOGRAPHY PREPARED BY JOHANSON SURVEYING

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- RIGHT OF WAY LINE
- PROPERTY ADJOINER LINE
- EXISTING WIRE FENCE
- EXISTING WROUGHT IRON FENCE
- EXISTING SANITARY SEWER PIPE
- EXISTING WATER MAIN
- EXISTING GAS/OIL LINE
- EXISTING STORM DRAIN/IRRIGATION PIPE
- EXISTING PHONE/COMMUNICATION LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING IRRIGATION VALVE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING HOSE BIB
- EXISTING GAS METER
- EXISTING TELEPHONE RISER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- PROPOSED WATER SERVICE LINE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED CLEANOUT
- EXISTING PAVEMENT
- EXISTING CONCRETE
- PROPOSED PAVEMENT
- PROPOSED GRAVEL
- PROPOSED FUTURE EASEMENT
- PROPOSED 8' TALL CONCRETE WALL
- EXISTING VEGETATION
- RIP RAP PAD
- PROPOSED CONCRETE

R.O.W. SURVEY FOR INTERSTATE 15 BY HANSEN & ASSOCIATES INC. SP-15-8 (34) 342 FILE # 004267 ON FILE WITH THE WEBER CO. SURVEYORS OFFICE

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY
1	2/13/2024	PER BONA VISTA WATER COMMENTS	GJM



JOB NUMBER
9819

SCALE
SCALE: 1"=20'

DESIGNED SC
DRAWN PB
CHECKED GJM

PROPOSED:
NMC #5 PARTNERSHIP
PO BOX 73399
PUYALLUP, WA 98373-0399
CONTACT: MARK PERRY
PH: (253)8648-2371

LARSON and ASSOCIATES
surveyors, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444 (253) 474-3404

COMMERCIAL SITE PLAN

DATE
2/13/24

DRAWING NO.
9819BASE

SHEET 3 OF 8

NWC - FARR WEST UTAH

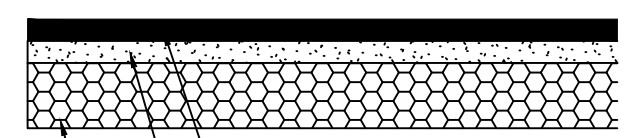
SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
 CITY OF FARR WEST, WEBER COUNTY, UTAH
 OFF-SITE PLAN AND PROFILE

CONSTRUCTION NOTES

- MINIMUM VERTICAL SEPARATION BETWEEN SEWER AND ALL UTILITIES EXCEPT WATER SHALL BE 1.5 FEET. IF MINIMUM CLEARANCE CANNOT BE OBTAINED, THEN A 0.75 FOOT CLEARANCE WILL BE ALLOWED IF THE SANITARY SEWER IS CONCRETE ENCASED AT 10 FEET ON EACH SIDE OF THE CROSSING.
- THE MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 1.5 FEET. THE MINIMUM HORIZONTAL SEPARATION SHALL BE 10 FEET FROM EXISTING OR PROPOSED SEWER.
- INSTALL NEW TYPE B-1A CURB AND GUTTER PER STANDARD UDOT DRAWING GW 2B (SEE SHEET 6)
- TYPICAL CURB AND GUTTER END PER STANDARD UDOT DRAWING GW 2B (SEE SHEET 6)
- CONTRACTOR TO INSTALL FLEXIBLE ASPHALT PER DETAIL THIS SHEET.
- SEE DETAIL ON SHEET RS2.
- CONTRACTOR TO SAWCUT EXISTING PAVEMENT 0.50' BEHIND EDGE LINE/ FOG LINE. REMOVE ASPHALT AND HAUL OFF SITE TO APPROVED DISPOSAL SITE. CONSTRUCT NEW ROAD SECTION PER DETAIL ON THIS SHEET.
- CONTRACTOR TO INSTALL SIDEWALK AS SHOWN AND PER DETAIL ON SHEET RS2.
- CONTRACTOR TO POTHOLE AND FIELD VERIFY EX. UNDERGROUND UTILITIES, LOCATION, TYPE, DEPTH, ETC. PRIOR TO CONSTRUCTION ACTIVITIES, NOTIFY ENGINEER IMMEDIATELY IF CONFLICTS EXIST.

STANDARD UDOT NOTES:

- ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE ENCROACHMENT PERMIT.
- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
- OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SIGN SERIES STANDARD DRAWINGS.
- COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).



MATCH EXISTING, OR THE ANTICIPATED EXISTING OF 8 INCHES OF UDOT- APPROVED HOT MIX ASPHALT (HMA), PG- GRADE, 64-34 ASPHALT BINDER, 1/2 INCH NOMINAL MAX. 7-75-115 CYRATION PER UDOT STANDARD SPECIFICATION 02741

OVER 6 INCHES UNTREATED BASE COURSE (UTBC) PER UDOT SPECIFICATION 02721;

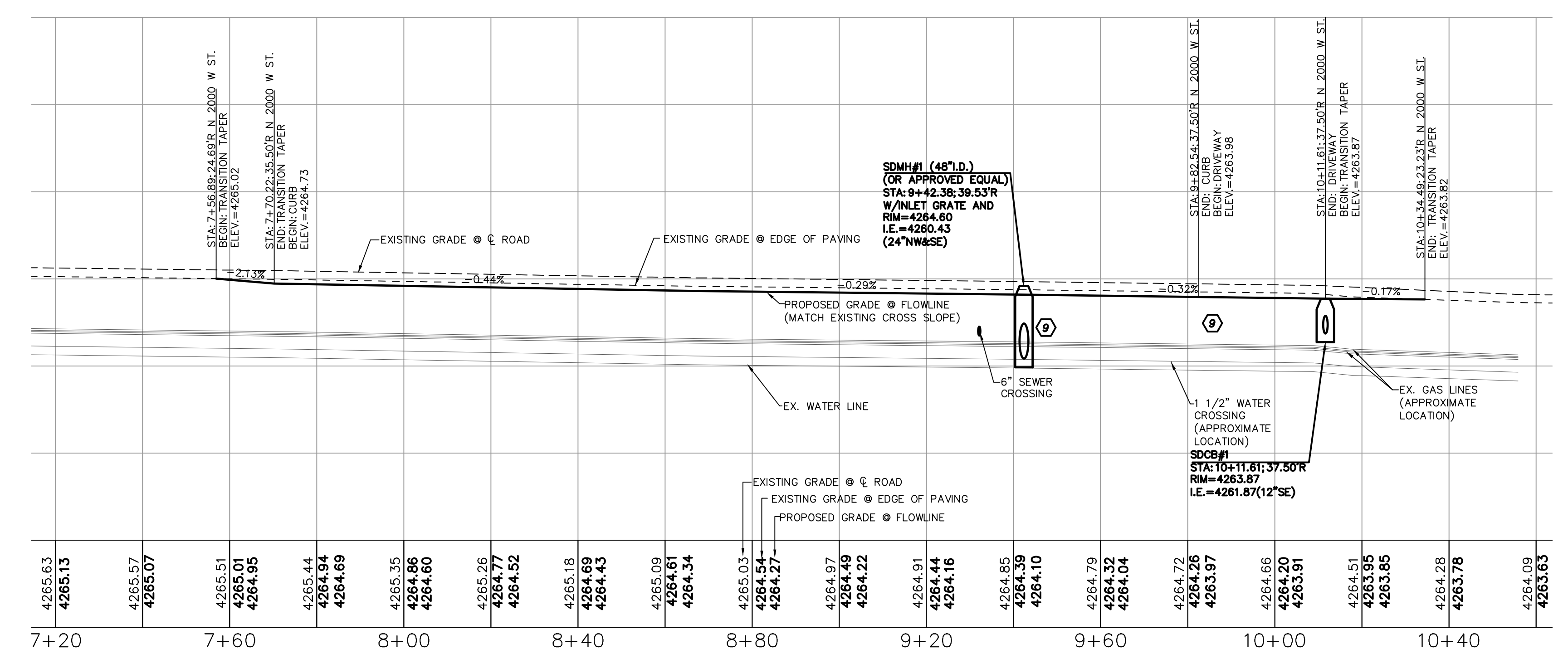
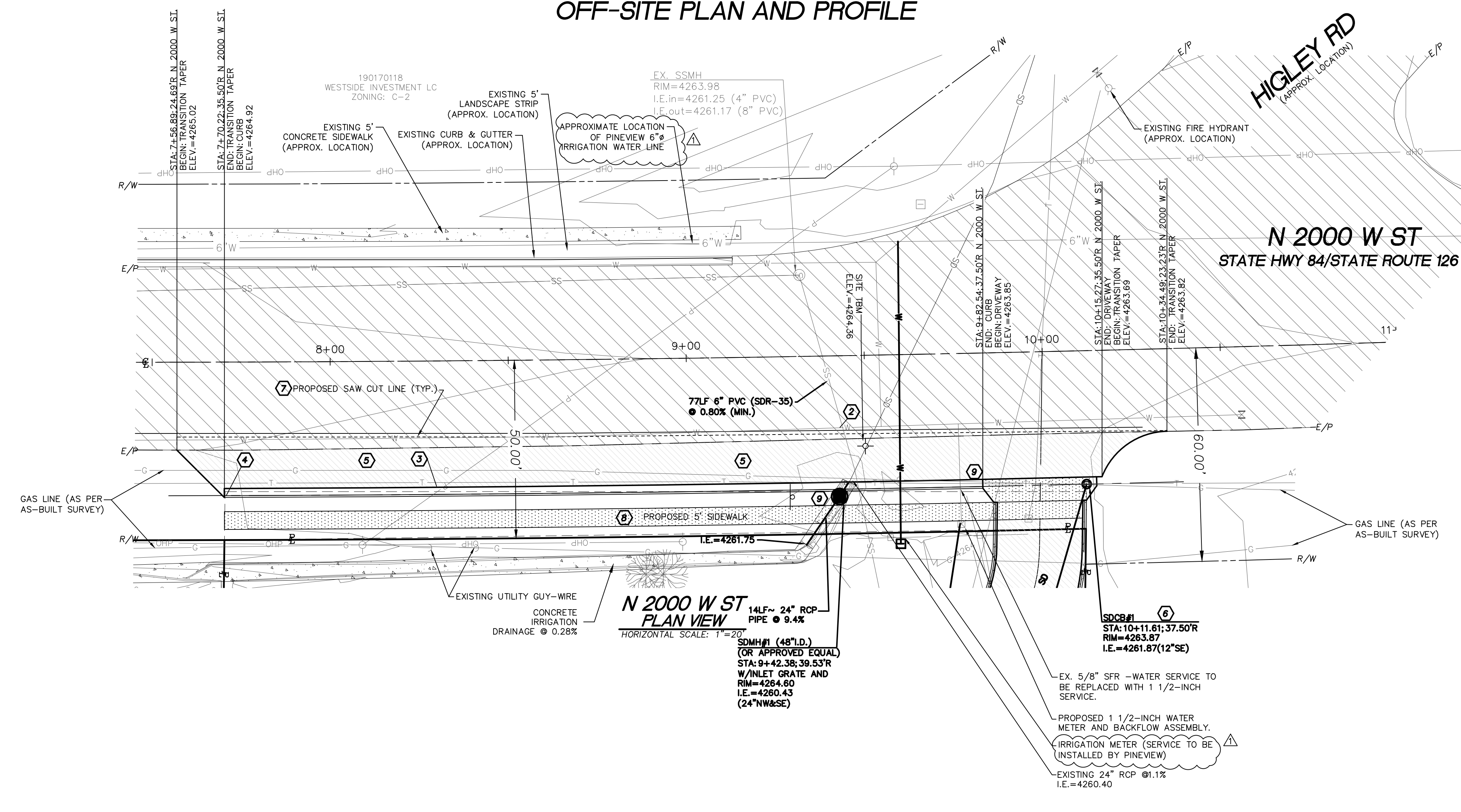
OVER 12 INCHES GRANULAR BORROW (GB) PER UDOT SPECIFICATION 02056 (WHICHEVER IS GREATER).

PAVEMENT SEALING NOTE:

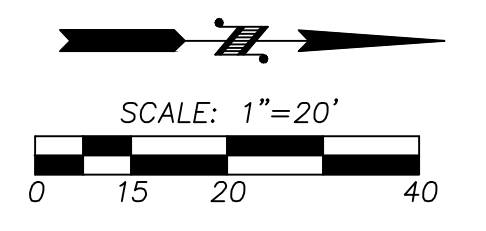
CHIP SEAL TYPE II WITH EMULSION LMCRS-2 PER UDOT STANDARD SPECIFICATION 02785 (ESTIMATED APPLICATION RATE OF 0.45 GAL/SQ YD) IS REQUIRED FOR THIS ROADWAY ON AT LEAST ALL NEW PAVEMENT PLACED WITHIN UDOT RIGHT-OF-WAY.

CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY THE CITY AND THE PROJECT ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, THE BACKFILL MATERIAL MEETS MINIMUM COUNTY/STATE REQUIREMENTS, COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.



N 2000 W ST PROFILE VIEW
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'

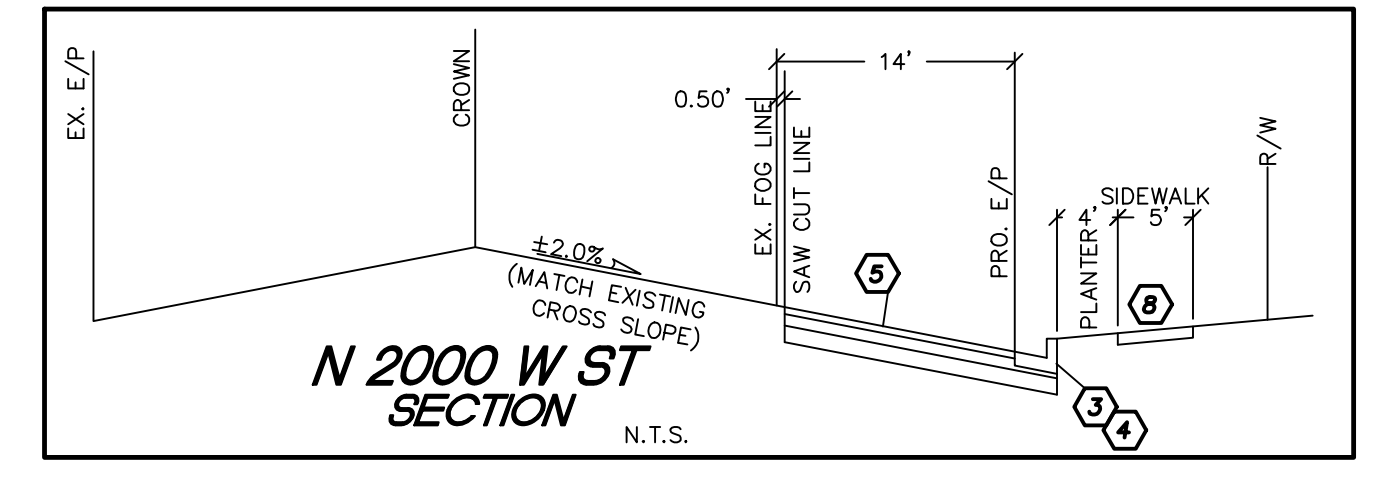


SURVEY NOTE
 TOPOGRAPHIC SITE SURVEY PROVIDED BY JOHANSON SURVEYING ON 8/23/2022

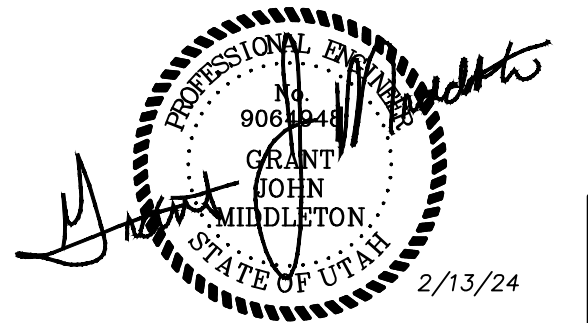
VERTICAL DATUM: WEBER COUNTY
 BM:
 THE ELEVATION BASE IS DETERMINED BY THE FIELD G.P.S. PROJECTION BASED ON UTAH NORTH NAD 1983 PROJECTION THEN ROUNDED OFF TO MATCH THE GEOID 12B ELEVATION AS REFERENCED IN THE SECTION CORNER SHEET FOR THE SOUTHEAST CORNER OF SECTION 26, T. 7 N., R. 2 W., S.L.B. & M FOR A MORE EFFICIENT BENCH MARK BASE. THE PROJECT BENCH MARK IS 4272.70' = FOUND AND ACCEPTED BRASS CAP IN THE INTERSECTION OF 2700 NORTH AND I-15 ONRAMP.
 ELEV: 4272.70
 CONTOUR INTERVAL=1'
 TOPOGRAPHY PREPARED BY JOHANSON SURVEYING

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- RIGHT OF WAY LINE
- PROPERTY ADJOINER LINE
- EXISTING WIRE FENCE
- EXISTING WROUGHT IRON FENCE
- EXISTING SANITARY SEWER PIPE
- EXISTING WATER MAIN
- EXISTING GAS/OIL LINE
- EXISTING STORM DRAIN/IRRIGATION PIPE
- EXISTING PHONE/COMMUNICATION LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING IRRIGATION VALVE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING HOSE BIB
- EXISTING GAS METER
- EXISTING TELEPHONE RISER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- PROPOSED WATER SERVICE LINE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED CLEANOUT
- EXISTING PAVEMENT
- EXISTING CONCRETE
- PROPOSED PAVEMENT
- PROPOSED GRAVEL
- PROPOSED FUTURE EASEMENT
- PROPOSED 8' TALL CONCRETE WALL
- EXISTING VEGETATION
- RIP RAP PAD
- PROPOSED CONCRETE

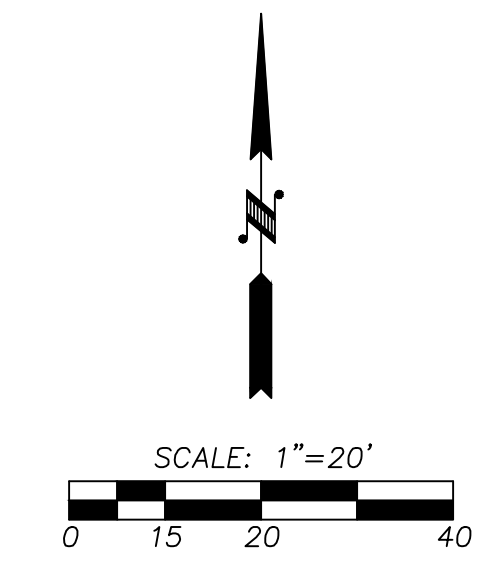


REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY
1	2/13/2024	PER BONA VISTA WATER COMMENTS	GJM



NWC - FARR WEST UTAH

SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

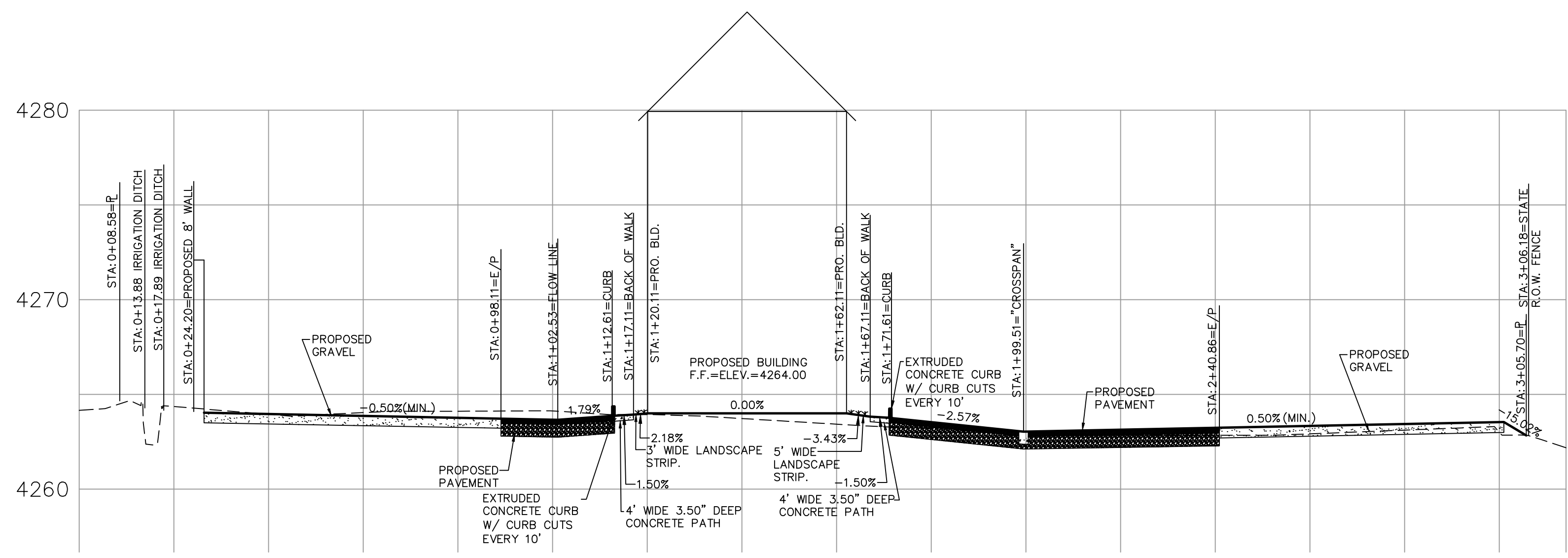


JOB NUMBER		9819	
DESIGNED SC	SCALE	HOR. 1"=20'	VERT. 1"=5'
DRAWN	PB	CHECKED	G-M

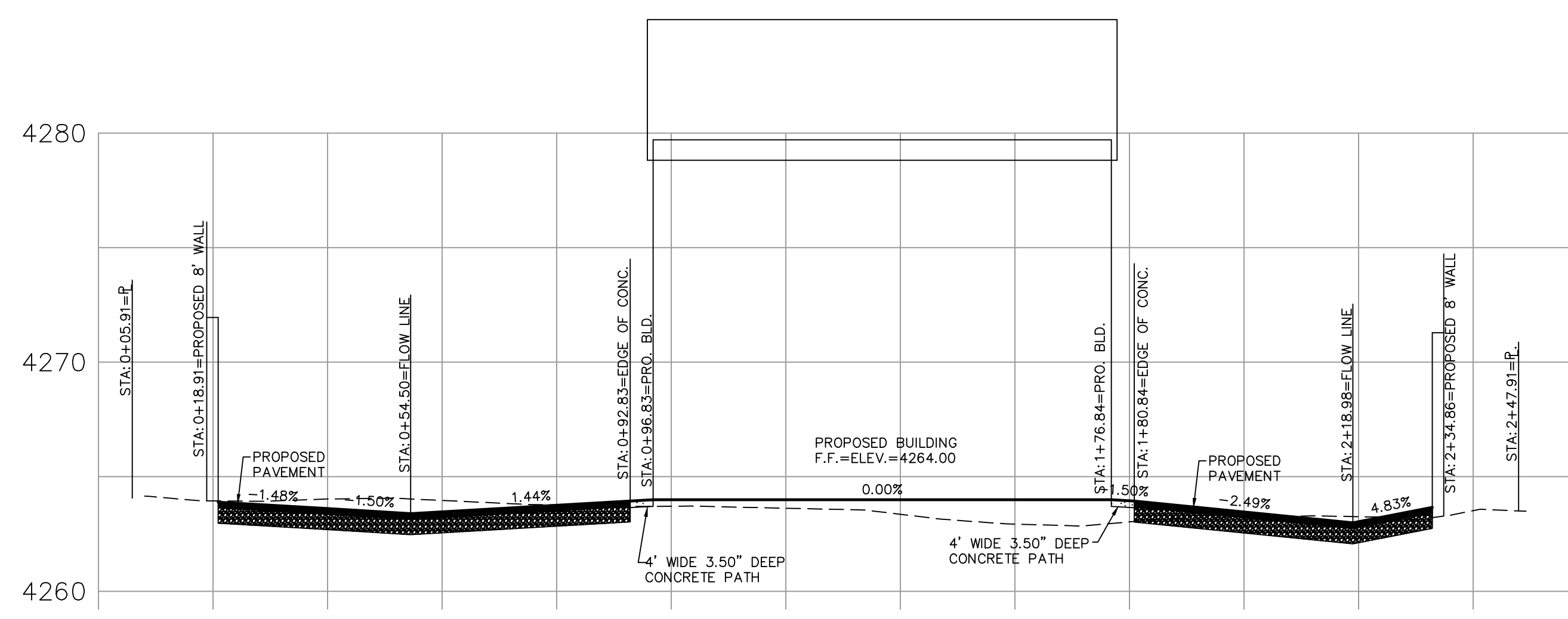
PROPOSED: NMC #5 PARTNERSHIP
PO BOX 73399
PUYALLUP, WA 98373-0399
CONTACT: MARK PERRY
PH: (253)848-2371

LARSON and ASSOCIATES
surveys, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444 (253) 474-3404

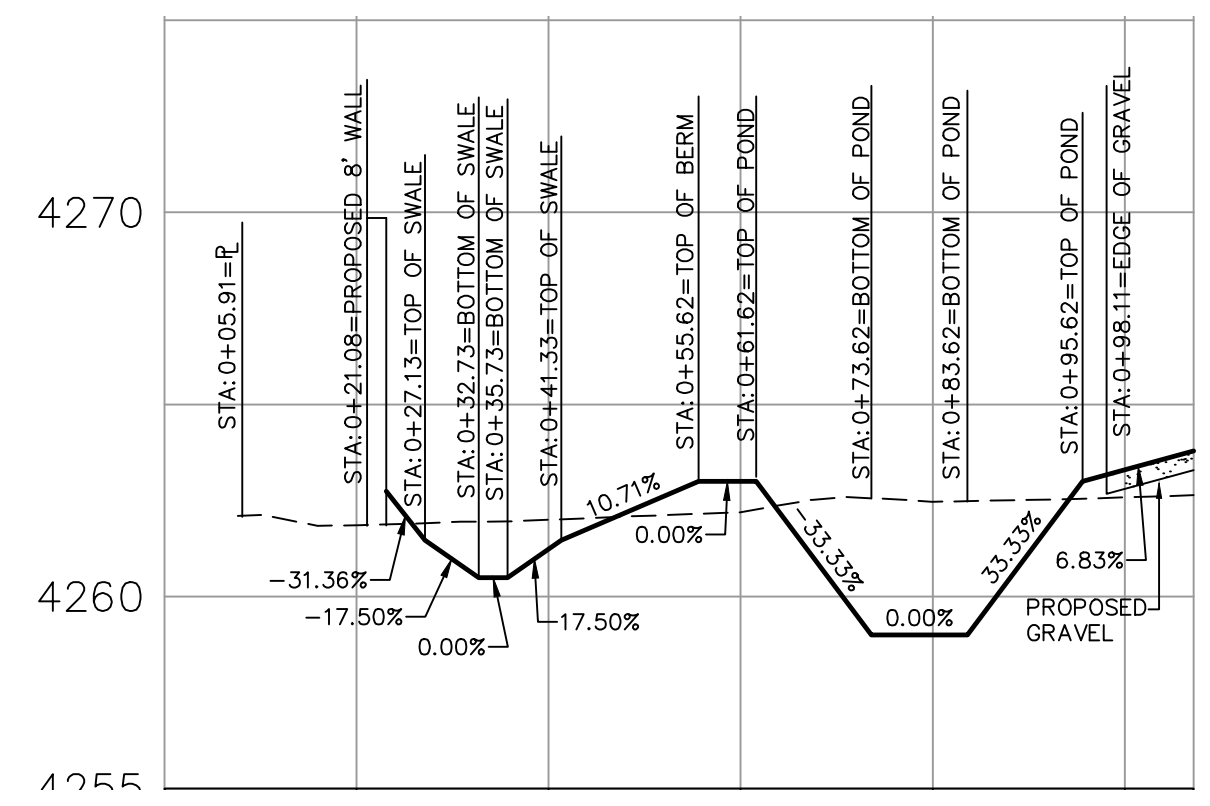
SECTION PLAN



**SECTION A-A
PROFILE VIEW**
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

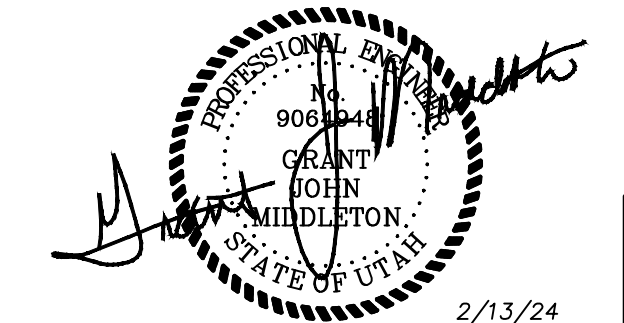


**SECTION B-B
PROFILE VIEW**
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



**SECTION C-C
PROFILE VIEW**
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



2/13/24

CS-05

DRAWING NO.
9819BASE
SHEET 5 OF 8

\\NW-FILED\Drawings\PROJECTS\9819 - NWC - Farr West\Drawings\9819BASE.dwg, SEC. 2/13/24 4:40:41 PM, DWG (1) (1) (1)

NWC - FARR WEST UTAH

SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

Northwest Cascade, Inc.

Subsequent to stripping and prior to the placement of structural site grading fill, the subgrade must be prepared as discussed in Section 5.2.1, Site Preparation, of this report. In confined areas, subgrade preparation should consist of the removal of all loose or disturbed soils.

Non-structural fill may be placed in lifts not exceeding 12 inches in loose thickness and compacted by passing construction, spreading, or hauling equipment over the surface at least twice.

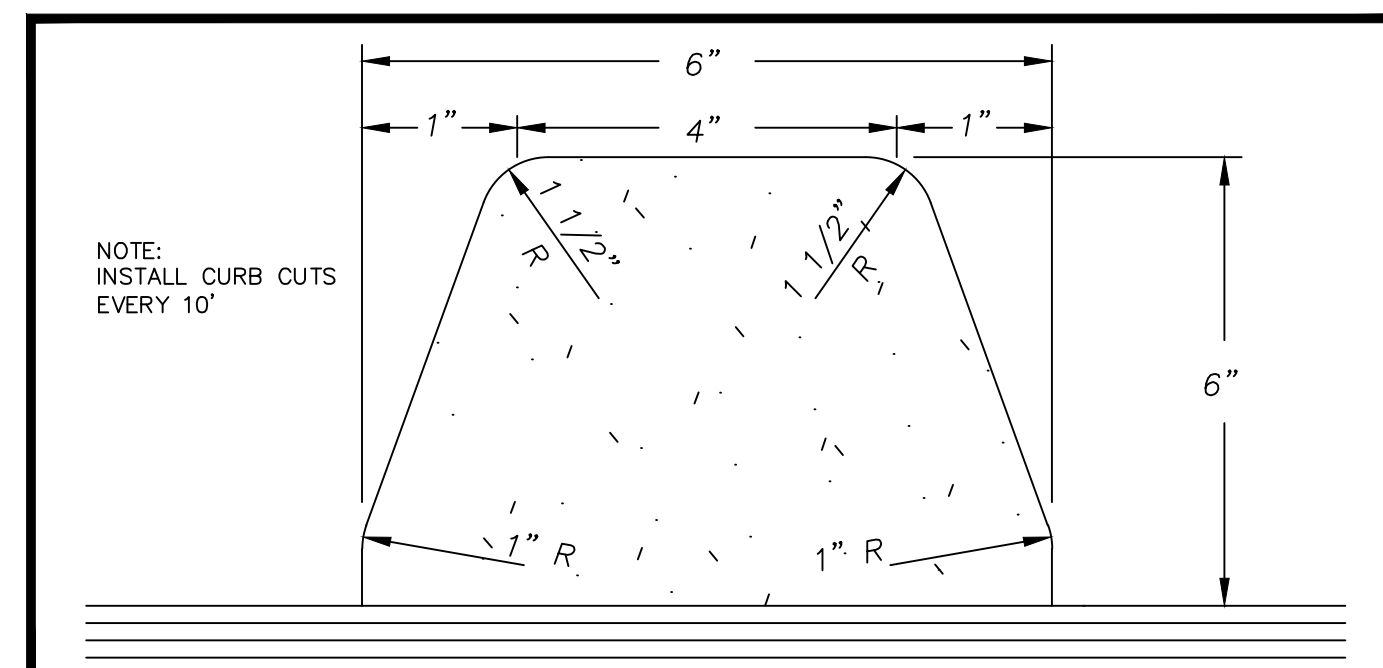
Coarse gravel and cobble mixtures (stabilizing fill), if utilized, shall be end-dumped, spread to a maximum loose lift thickness of 15 inches, and compacted by dropping a backhoe bucket onto the surface continuously at least twice. As an alternative, the fill may be compacted by passing moderately heavy construction equipment or large self-propelled compaction equipment over the surface at least twice. Subsequent fill material placed over the coarse gravels and cobbles shall be adequately placed so that the "fines" are "worked into" the voids in the underlying coarser gravels and cobbles.

5.2.5 Utility Trenches

All utility trench backfill material below structurally loaded facilities (flatwork, floor slabs, roads, etc.) should be placed at the same density requirements established for structural fill. If the surface of the backfill becomes disturbed during the course of construction, the backfill should be proofrolled and/or properly compacted prior to the construction of any exterior flatwork over a backfilled trench. Proofrolling may be performed by passing moderately loaded rubber tire-mounted construction equipment uniformly over the surface at least twice. If excessively loose or soft areas are encountered during proofrolling, they should be removed to a maximum depth of two feet below design finish grade and replaced with structural fill.

Most utility companies and City-County governments are now requiring that Type A-1 or A-1-a (AASHTO Designation - basically granular soils with limited fines) soils be used as backfill over utilities. These organizations are also requiring that in public roadways the backfill over major utilities be compacted over the full depth of fill to at least 95 percent of the maximum dry density as determined by the AASHTO T-180 (ASTM D-1557) method of compaction. We recommend that as the major utilities continue onto the site that these compaction specifications are followed.

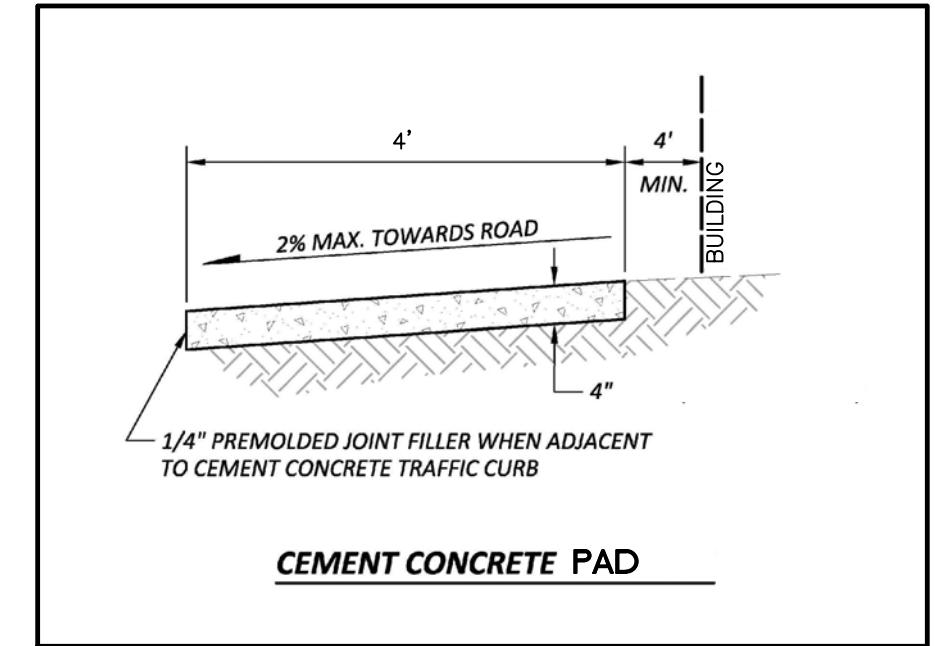
The natural sand and gravel soils (and surficial granular fills) may be suitable for use as trench backfill provided it meets the requirements of Type A-1 or A-1-a soils.



LARSON AND ASSOCIATES
surveys, engineers & planners
9027 Pacific Avenue, Suite 4
Tacoma, Washington 98444
(253) 474-3404

REVISED DATE: 04.04.01 SCALE: N.T.S.
FILE NAME: P:\DETAILS\LARSON\1005\FREETX\112.DWG

EXTRUDED CONCRETE CURB DETAIL
LARSON STANDARD DETAIL NO. 112



5.2.1 Site Preparation

Initial preparation of the site must consist of the removal of any existing structures and pavements, debris, and any associated non-engineered fills. In proposed flexible pavement areas, the existing asphalt concrete and fills may remain provided that they do not interfere with the final grade. The asphalt concrete should be perforated to facilitate drainage and proofrolled.

Further preparation of the site must consist of the removal of all non-engineered fills, loose surficial soils, topsoil, debris, and other deleterious materials from beneath an area extending at least three feet beyond the perimeter of the proposed building, rigid pavement, and exterior flatwork areas.

The non-engineered fills may remain in flexible pavement areas as long as they are properly prepared. Proper preparation will consist of scarifying and moisture conditioning the upper eight inches and recompacting to the requirements of structural fill. However, it should be noted that compaction of fine-grained soils (clays and silts) as structural site grading fill will be very difficult.

Northwest Cascade, Inc.

If not possible, during wet and cold periods of the year. As an option for proper preparation and recompaction, the upper eight inches of the non-engineered fills may be removed and replaced with granular subbase over proofrolled subgrade. Even with proper preparation, flexible pavements established on non-engineered fills may experience some long-term movements. If the possibility of these movements is not acceptable, these non-engineered fills must be completely removed.

Subsequent to the above operations and prior to the placement of footings, structural site grading fill, or floor slabs, the exposed natural subgrade must be proofrolled by passing moderate-weight rubber tire-mounted construction equipment over the surface at least twice. If any loose, soft, or disturbed zones are encountered, they must be completely removed in footing and floor slab areas and replaced with granular structural fill. If removal depth required is greater than two feet, G² must be notified to provide further recommendations. In pavement areas, unsuitable soils encountered during recompaction and proofrolling must be removed to a maximum depth of two feet and replaced with compacted granular structural fill.

5.2.2 Excavations

Temporary construction excavations through natural soil, not exceeding four feet in depth, above or below the groundwater table, may be constructed with near-vertical sideslopes. Temporary excavations up to eight feet deep in granular soils above or below the water table may be constructed with sideslopes no steeper than one horizontal to one vertical (1:OH:1:OV), if clean granular soils are encountered, or if excessive sloughing occurs, the sideslopes must be lattened. Loose and raveling soils are anticipated. Therefore, the face of the deeper-steeper slopes must be protected by anchoring chain-link fencing from the crest to the toe.

Utility trench excavations must conform within Occupational Safety and Health (OSHA) guidelines for trench safety.

All excavations must be inspected periodically by qualified personnel. If any signs of instability or excessive sloughing are noted, immediate remedial action must be initiated.

5.2.3 Structural Fill

Structural fill is defined as all fill which will ultimately be subjected to structural loadings, such as imposed by footings, floor slabs, pavements, etc. Structural fill will be required as backfill over foundations and utilities, as site grading fill, and in some areas, as replacement fill below footings. All structural fill must be free of sod, rubbish, topsoil, frozen soil, and other deleterious materials. Structural site grading fill is defined as fill placed over fairly large open areas to raise the overall site grade. For structural site grading fill, the maximum particle size should generally not exceed four inches; although, occasional larger particles, not exceeding six inches in diameter may be incorporated if placed randomly in a manner such that "honeycombing" does

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not occur and the desired degree of compaction can be achieved. The maximum particle size within structural fill placed within confined areas should generally be restricted to two inches.

The on-site natural soils may potentially be utilized as structural site grading fill. It should be noted that unless moisture control is maintained, utilization of fine-grained soils (silt) as structural site grading fill will require tight moisture controls which will be very difficult, if not impossible, during wet and cold periods of the year. The natural granular soils contain cobbles and boulders which will need to be screened out to allow for the use of nuclear gauge testing to confirm compaction. Only granular soils are recommended as structural fill in confined areas, such as around foundations and within utility trenches.

To stabilize soft subgrade conditions or where structural fill is required to be placed below a level one foot above the water table at the time of construction, a mixture of coarse gravels and cobbles and/or one and one-half to two-inch gravel (stabilizing fill) should be utilized.

Non-structural site grading fill is defined as all fill material not designated as structural fill and may consist of any cohesive or granular soils not containing excessive amounts of degradable material.

5.2.4 Fill Placement and Compaction

Structural fill shall be placed in lifts not exceeding eight inches in loose thickness. Structural fills shall be compacted in accordance with the percent of the maximum dry density as determined by the AASHTO¹ T-180 (ASTM² D-1557) compaction criteria in accordance with the table below:

Location	Total Fill Thickness (feet)	Minimum Percentage of Maximum Dry Density
Beneath an area extending at least 3 feet beyond the perimeter of the structure	0 to 8	95
Outside area defined above	0 to 5	90
Outside area defined above	5 to 10	92
Road base	-	96

Structural fills greater than eight feet thick are not anticipated at the site.

¹ American Association of State Highway and Transportation Officials
² American Society for Testing and Materials

SCALE	HOR.	VERT.
N/A	N/A	N/A
DESIGNED BY	DRAWN BY	CHECKED BY
SC	PB	GJM

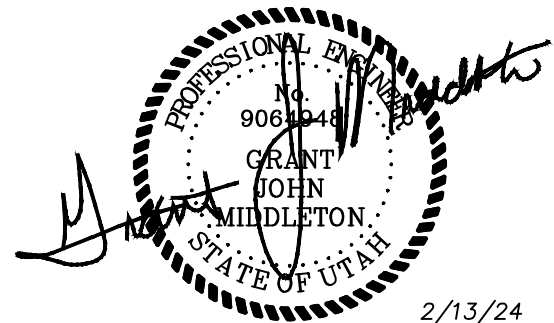
PROPOSED: NMC #5 PARTNERSHIP
PO BOX 73399
PUYALLUP, WA 98373-0399
CONTACT: MARK PERRY
PH: (253)848-2371

LARSON AND ASSOCIATES
surveys, engineers & planners
9027 PACIFIC AVE., STE. 4 TACOMA, WA. 98444 (253) 474-3404

STORMWATER - DETAILS & SPECIFICATIONS

DATE
2/13/24
DRAWING NO.
9819PRE
SHEET 2 OF 8

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



2/13/24

CS-07

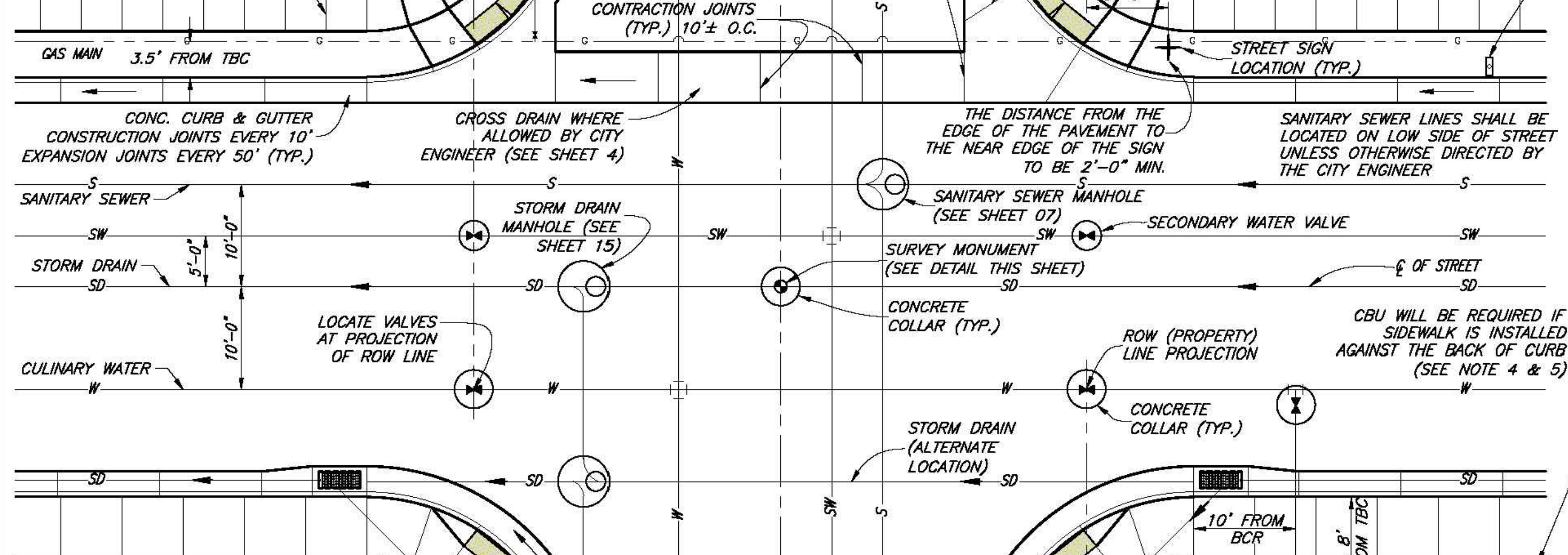
NWC - FARR WEST UTAH

SE 1/4, SEC. 26, TWN. 07 N., RNG. 2 W., S.L.B. AND M.
CITY OF FARR WEST, WEBER COUNTY, UTAH
COMMERCIAL SITE PLAN

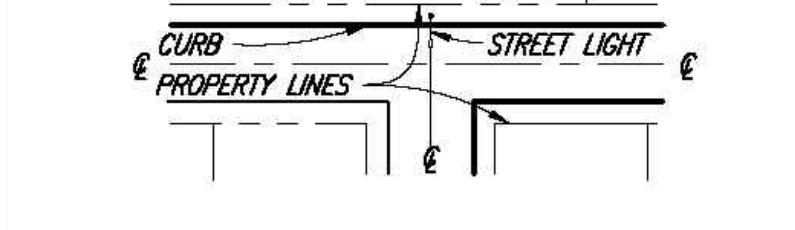
DESIGNED SC	SCALE	JOB NUMBER
DRAWN PB	HOR. N/A	9819
CHECKED GJM	VERT. N/A	

STREET NOTES:

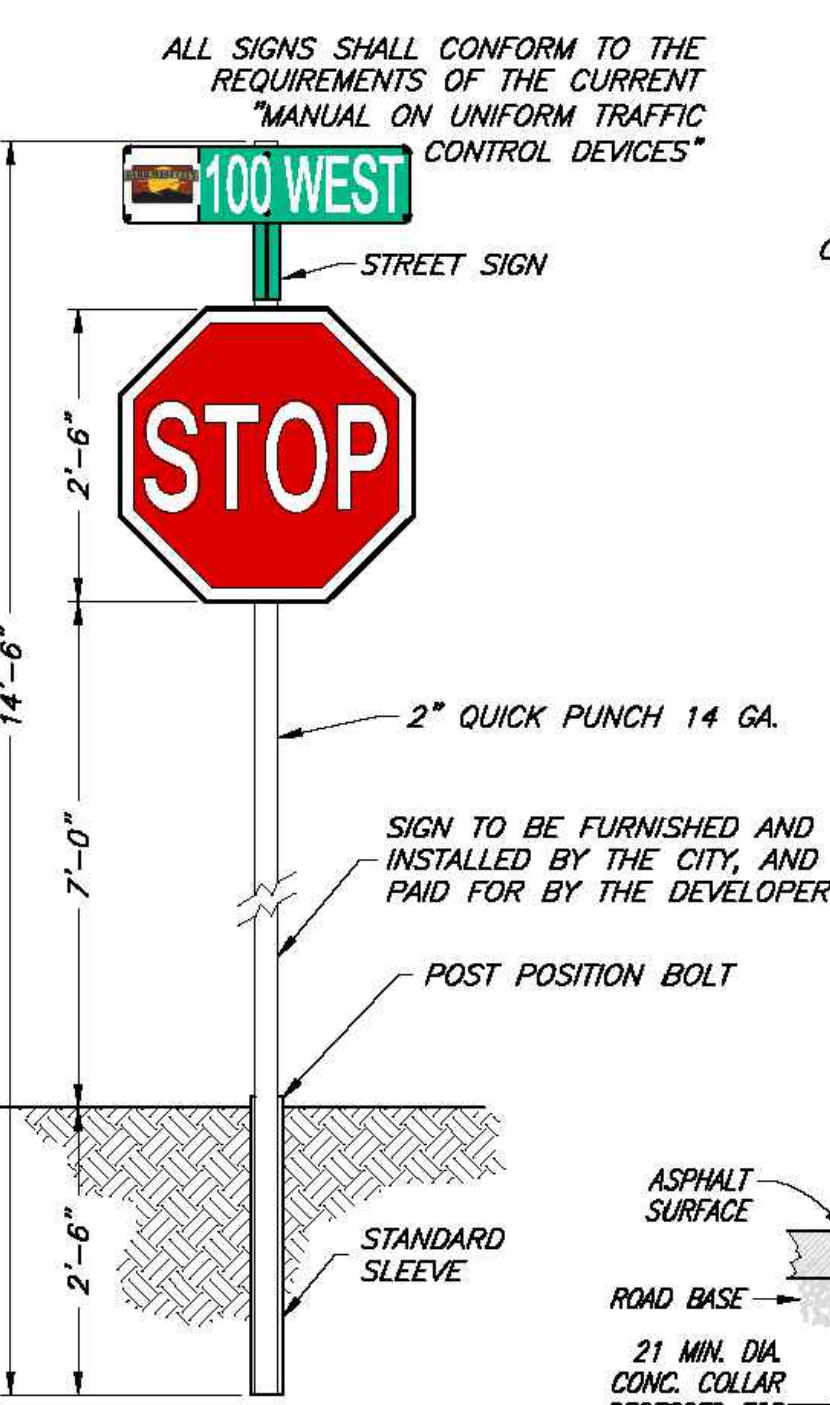
1. PRESSURIZED IRRIGATION SYSTEM DESIGN AS APPROVED BY PINEVIEW IRRIGATION.
2. CULINARY WATER SYSTEM DESIGN AS APPROVED BY BONA VISTA WATER.
3. EXACT LOCATION OF STREET AND REGULATORY SIGNS SHALL BE SPECIFIED BY THE PUBLIC WORKS DIRECTOR FOR SPECIFIC INTERSECTIONS.
4. INDIVIDUAL MAILBOXES MAY BE ALLOWED IN CUL-DE-SACS. IF NOT ALLOWED, A MAILBOX COMBINATION BOX UNIT (CBU) MUST BE INSTALLED ON THE MAIN ROAD AS THE MAIL DELIVERY LOCATION FOR HOMES WITHIN THE CUL-DE-SAC. IF SIDEWALK IS INSTALLED AGAINST THE BACK OF CURB, A CBU WILL BE REQUIRED BEHIND THE SIDEWALK.



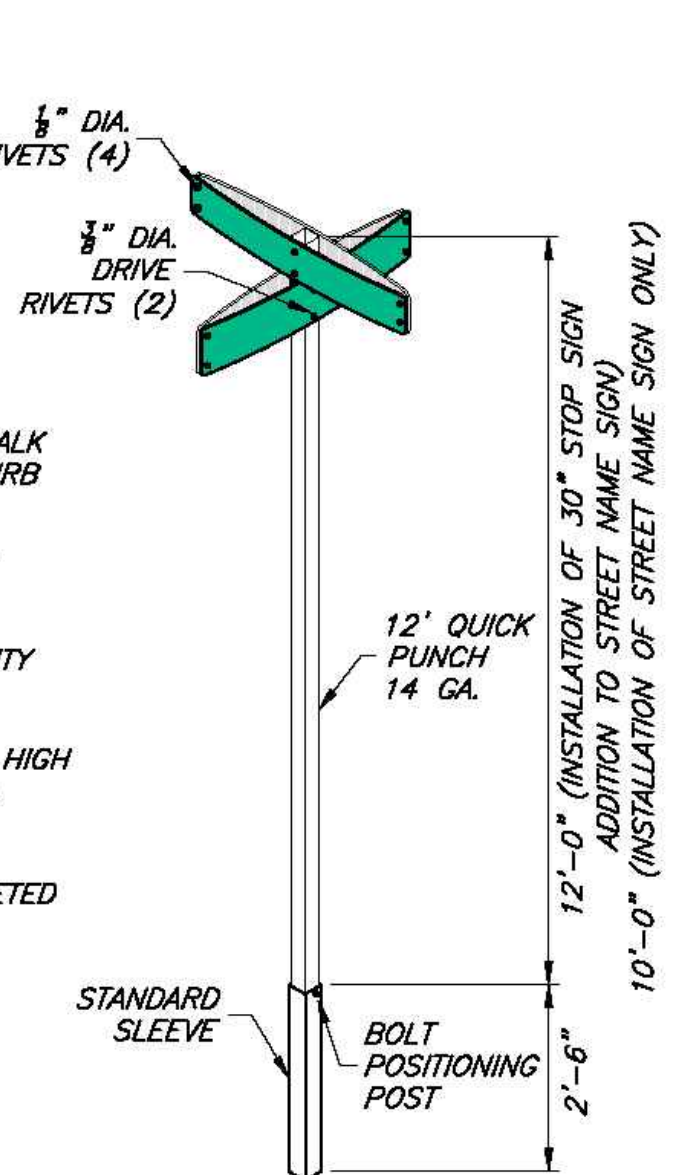
5. MAILBOXES ARE NOT ALLOWED TO BE PLACED IN THE SIDEWALK. IF SIDEWALK IS PLACED BACK OF CURB, THEY MUST BE LOCATED BEHIND THE SIDEWALK. IF THE POST OFFICE DOES NOT ALLOW INDIVIDUAL MAILBOXES TO BE INSTALLED BEHIND THE SIDEWALK, A CBU MAY BE REQUIRED.
6. A. WHEN LOCATING STREET LIGHTING ALWAYS INSTALL ASS'Y WITH MAST ARM AT RIGHT ANGLES TO STREET.
B. ALWAYS LOCATE STREET LIGHT IN CLOSE PROXIMITY TO STREET SIGN.
C. T INTERSECTION SHALL BE LIT WITH LIGHT ASS'Y LOCATED OPPOSITE OF CENTERLINE OF INTERSECTING STREET. (SEE DIAGRAM BELOW)
D. SEE SHEET 1X FOR STREET LIGHT DETAILS.



- ### MAILBOX/CBU NOTES:
1. CONTACT THE LOCAL POSTMASTER FOR APPROVAL ON THE LOCATION OF THE MAILBOX OR CBU PRIOR TO INSTALLATION.
 2. FOLLOW USPS GUIDELINES & POLICIES FOR THE PLACEMENT, INSTALLATION, AND ACCESS REQUIREMENTS FOR ALL MAILBOX AND CBU UNITS.



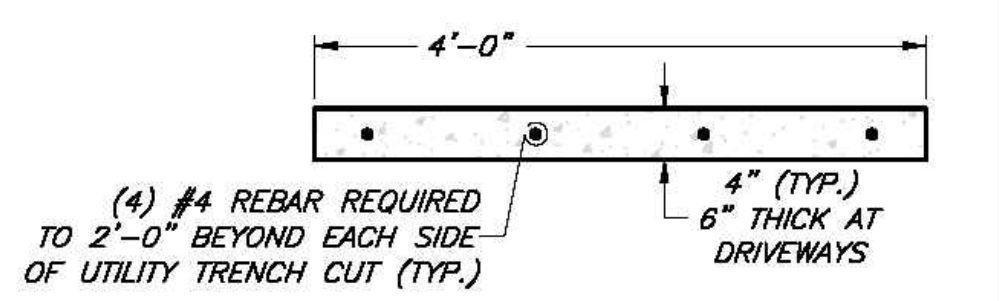
STREET / TRAFFIC SIGN & POST



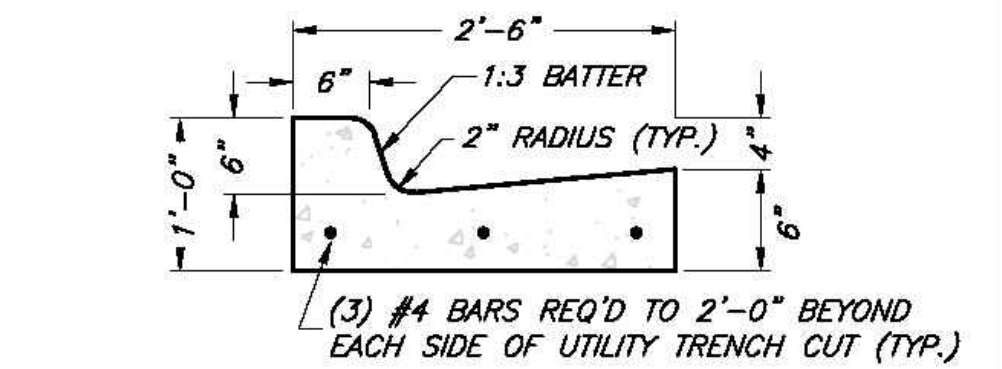
STREET SIGN & POST

STREET SIGN NOTES:

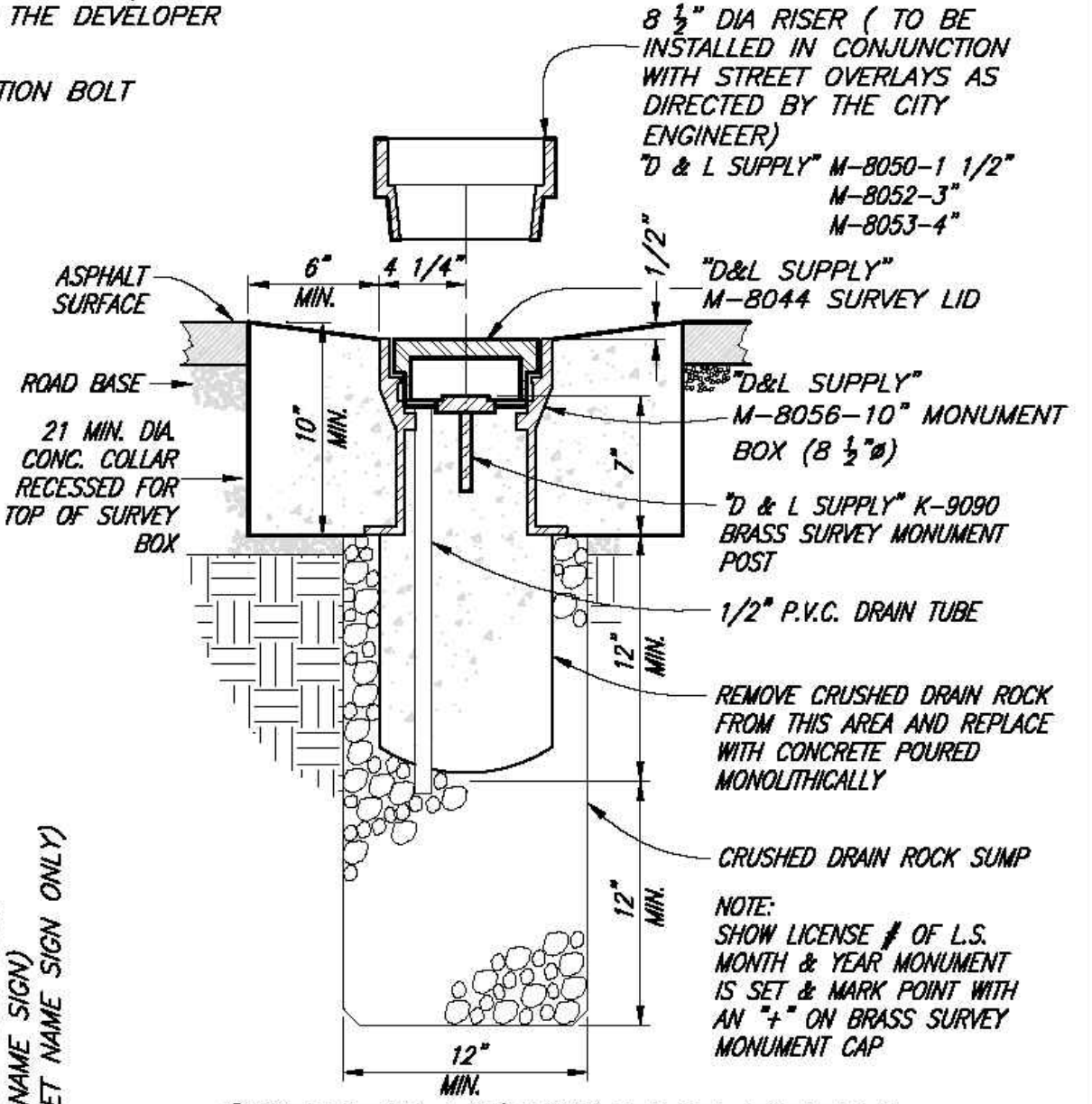
1. BACKGROUND SHALL BE GREEN, HIGH INTENSITY REFLECTIVE SHEETING 9FP-85 TYPE IIIA)
2. LEGEND SHALL BE WHITE LETTERS, HIGH INTENSITY REFLECTIVE SHEETING 9FP-85 IIIA)
3. SIGN BLANK SHALL BE 6081-T6 HEAT TREATED HIGH TENSILE DEGREASED ALUMINUM W/ALODINE 1200 FINISH-THICKNESS SHALL BE 0.08"
4. EACH SIGN SHALL CONSIST OF TWO PLATES RIVETED TOGETHER & MOUNTED AS SHOWN
5. SIGN ON PRIVATE ROADS SHALL MEET ALL SPECIFICATIONS FOR STANDARD SIGNS, EXCEPT BACKGROUND SHALL BE BLUE
6. ALL STREETS WITH NAMES MUST ALSO SHOW LOCATIONS COORDINATE DESIGNATION
7. ADDRESS COORDINATOR MUST BE CONTACTED PRIOR TO MAKING SIGNS TO VERIFY PROPER NAMES AND COORDINATES



SIDEWALK SECTION
(CITY STANDARD)



CURB & GUTTER SECTION
(CITY STANDARD)



SURVEY MONUMENT DETAIL

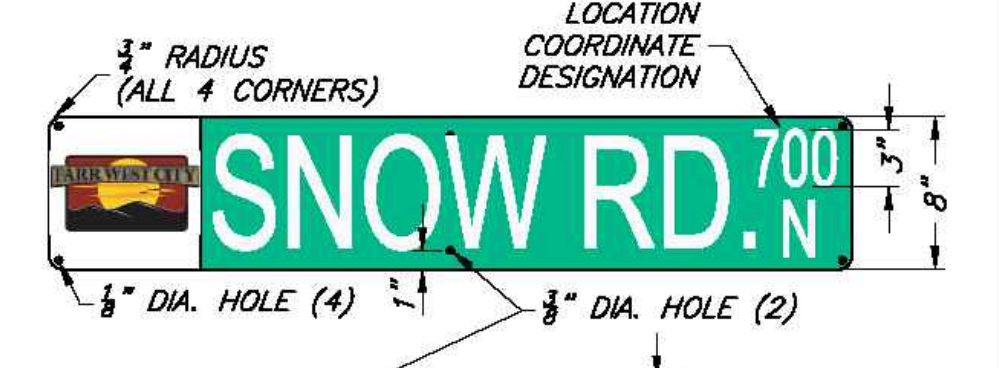


PLATE DETAIL

PROJECT ENGINEER	REV.	DATE	APPR.
DATE			

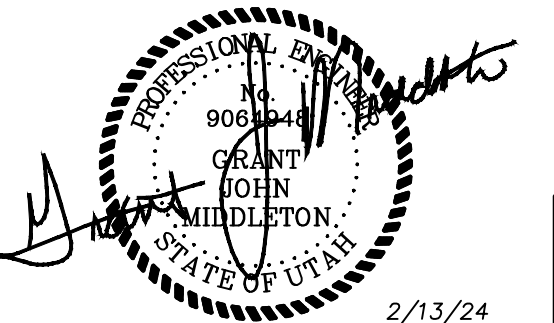
SCALE:	DESIGNED	BER
N.T.S.	DRAWN	BER
	CHECKED	DDA

JONES & ASSOCIATES
CONSULTING ENGINEERS
1718 East 5600 South
Ogden, Utah 84403 (801) 476-9787

FARR WEST CITY CORPORATION
PUBLIC WORKS STANDARD DRAWINGS
PUBLIC ROADS - TYPICAL INTERSECTION DETAILS

SHEET:
CS-03
OF 18 SHEETS
0

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY
1	11/7/2023	PER UDOT COMMENTS	GJM

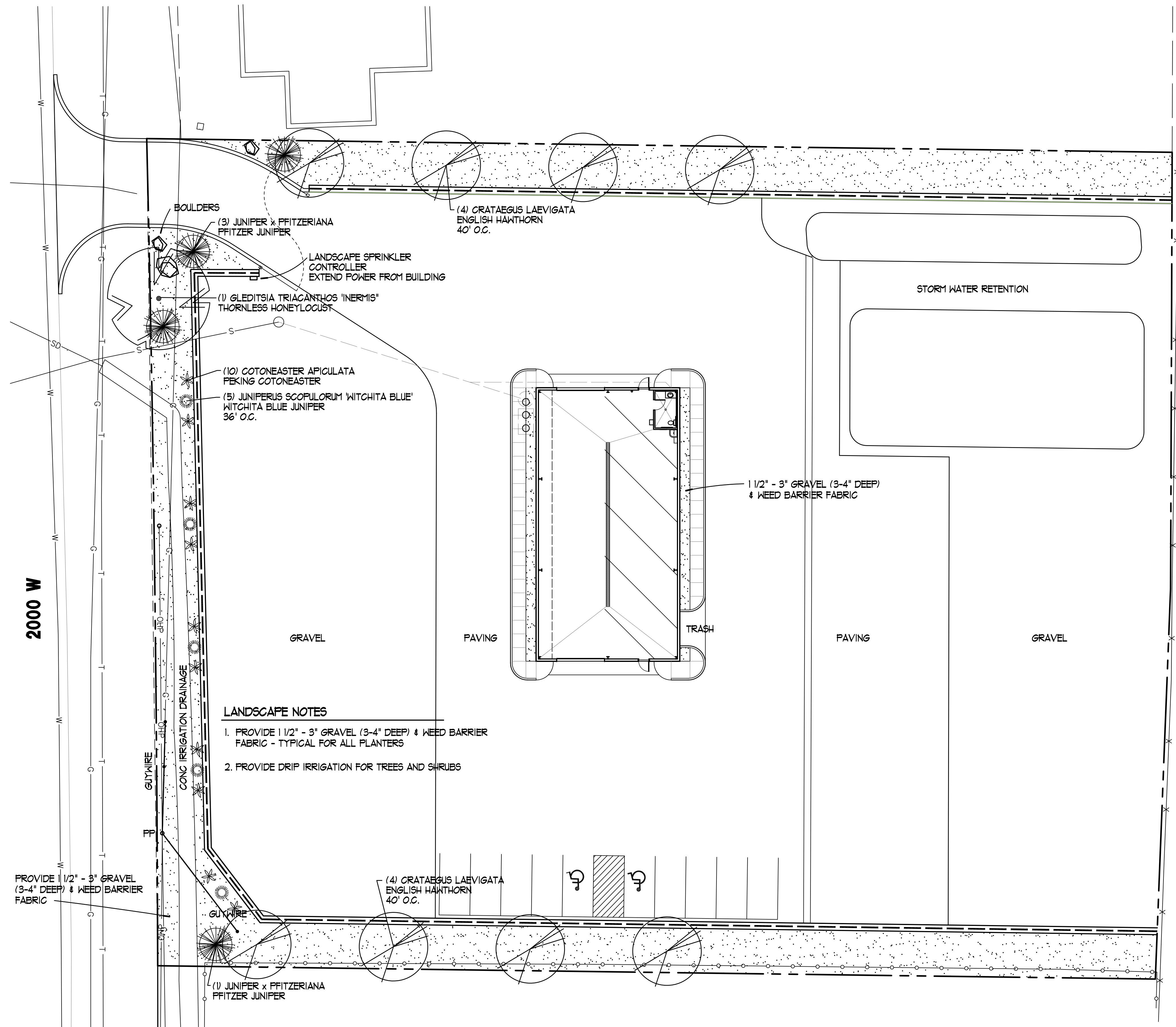


DATE	2/13/24
DRAWING NO.	9819PRE
SHEET	5 OF 8

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9027 PACIFIC AVE., STE. 4 TACOMA, WA 98444 (253) 474-3404

DETAILS & SPECIFICATIONS

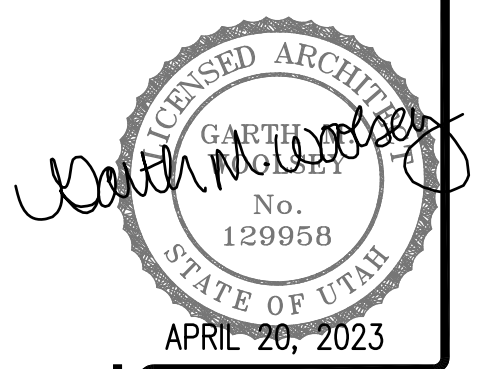
PROPOSENENT:	NMC #5 PARTNERSHIP PO BOX 73399 PUYALLUP, WA 98373-0399 CONTACT: MARK PERRY PH: (253)848-2371
--------------	---



- LANDSCAPE NOTES**
1. PROVIDE 1 1/2" - 3" GRAVEL (3-4" DEEP) & WEED BARRIER FABRIC - TYPICAL FOR ALL PLANTERS
 2. PROVIDE DRIP IRRIGATION FOR TREES AND SHRUBS

LANDSCAPE PLAN
1/16" = 1'-0"

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GARTH WOOLSEY



File Number	HONEYBUCKET
Date	APRIL 20, 2023
Drawn By	-
Revisions	-

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(801) 589-9234
woolseydesign@q.com

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