

CITY OF SOUTH JORDAN
PLANNING COMMISSION MEETING AGENDA
CITY COUNCIL CHAMBERS
TUESDAY, FEBRUARY 27, 2024 at 6:30 PM



Notice is hereby given that the South Jordan City Planning Commission will hold a Planning Commission Meeting on Tuesday, February 27, 2024, in the City Council Chambers, located at 1600 W. Towne Center Drive, South Jordan, Utah with an electronic option via Zoom phone and video conferencing. Persons with disabilities who may need assistance should contact the City Recorder at least 24 hours prior to this meeting.

In addition to in-person attendance, individuals may join via phone or video, using Zoom. Note, attendees joining virtually may make public comments through video conferencing, and participant must have their video on and working to speak. Attendees who wish to present photos or documents to the Planning Commission must attend in person. Those who join via phone may listen, but not comment.

In the event the electronic portion of the meeting is disrupted in any way that the City in its sole discretion deems inappropriate, the City reserves the right to immediately remove the individual(s) from the meeting and, if needed, end virtual access to the meeting. Reasons for removing an individual or ending virtual access to the meeting include but are not limited to the posting of offensive pictures, remarks, or making offensive statements, disrespectful statements, or actions, and other any action deemed inappropriate.

Ability to participate virtually is dependent on an individual's internet connection. To ensure comments are received regardless of technical issues, please have them submitted in writing to City Planner, Greg Schindler, at gschindler@sjc.utah.gov by 3:00 p.m. on the day of the meeting.

Instructions on how to join the meeting virtually are below.

Join South Jordan Planning Commission Electronic Meeting February 27, 2024 at 6:30 p.m.

- Join on any device that has internet capability.
- Zoom link, Meeting ID and Meeting Password will be provided 24 hours prior to meeting start time.
- Zoom instructions are posted <https://www.sjc.utah.gov/254/Planning-Commission>

THE MEETING WILL BEGIN AT 6:30 P.M. AND THE AGENDA IS AS FOLLOWS:

- A. **WELCOME AND ROLL CALL – Commission Chair Michele Hollist**
- B. **MOTION TO APPROVE AGENDA**
- C. **APPROVAL OF THE MINUTES**
 - [C.1.](#) February 13, 2023 - Planning Commission Meeting Minutes
- D. **STAFF BUSINESS**
- E. **COMMENTS FROM PLANNING COMMISSION MEMBERS**
- F. **SUMMARY ACTION**
- G. **ACTION**

H. ADMINISTRATIVE PUBLIC HEARINGS

H.1. DAYBREAK NORTH STATION MULTI-FAMILY #1 SUBDIVISION 2ND AMENDMENT

Address: Lots 138 through 156 and Lots 166 & 177

File No: PLPLA202300217

Applicant: LHM Real Estate

H.2. DAYBREAK VILLAGE 15 PLAT 1 PRELIMINARY SUBDIVISION

Address: 6652 W Lake Avenue

File No: PLPP202300191

Applicant: Perigee Consulting on behalf of Miller Family Real Estate

H.3. HARVEST POINTE WEST PRELIMINARY SUBDIVISION

Address: 3773 W South Jordan Parkway

File No: PLPP202300141

Applicant: Jeff Seaman

H.4. HARVEST POINTE WEST TOWNHOMES SITE PLAN APPLICATION

Address: 3773 W South Jordan Parkway

File No: PLSPR202300053

Applicant: Jeff Seaman

I. LEGISLATIVE PUBLIC HEARINGS

I.1. WALMER REZONE

Address: 10593 S 3200 W

File No: PLZBA202400014

Applicant: High Country Homes & Development, Inc.

J. OTHER BUSINESS

ADJOURNMENT

CERTIFICATE OF POSTING

STATE OF UTAH)

: §

COUNTY OF SALT LAKE)

I, Cindy Valdez, certify that I am the duly appointed City Deputy Recorder of South Jordan City, State of Utah, and that the foregoing Planning Commission Agenda was faxed or emailed to the media at least 24 hours prior to such meeting, specifically the Deseret News, Salt Lake Tribune and the South Valley Journal. The Agenda was also posted at City Hall, on the City's website www.sjc.utah.gov and on the Utah Public Notice Website www.pmn.utah.gov.

Dated this 22nd day of February, 2024.

Cindy Valdez

South Jordan City Deputy Recorder

**CITY OF SOUTH JORDAN
ELECTRONIC
PLANNING COMMISSION MEETING
COUNCIL CHAMBERS
February 13, 2024**

Present: Chair Michele Hollist, Commissioner Nathan Gedge, Commissioner Steven Catmull, Commissioner Laurel Bevans, Commissioner Ray Wimmer, Commissioner Sam Bishop, Assistant City Attorney Greg Simonsen, City Planner Greg Schindler, Deputy City Recorder Cindy Valdez, GIS Coordinator Matt Jarman, IT Director Jon Day, Meeting Transcriptionist Diana Baun, Council Member Kathie Johnson

Others:

Absent:

**6:30P.M.
REGULAR MEETING**

A. WELCOME AND ROLL CALL – *Chair Michele Hollist*

Chair Hollist welcomed everyone to the Electronic Planning Commission Meeting and shared that Commissioners Sam Bishop and Ray Wimmer were given their Oaths of Office just prior to the meeting tonight by the Deputy City Recorder, Cindy Valdez.

B. PLANNING COMMISSION TRAINING

B.1. Planning Commission Training – Powers and Duties of the Planning Commission

City Planner Greg Schindler reviewed his prepared presentation and training (Attachment A).

Assistant City Attorney Greg Simonsen shared his part of the training presentation.

C. MOTION TO APPROVE AGENDA

Commissioner Gedge motioned to amend tonight's agenda to switch the order of Items B and C, to allow the approval of tonight's agenda prior to training. Chair Hollist seconded the motion; vote was unanimous in favor.

Commissioner Bevans motioned to approve tonight's agenda as amended above. Chair Hollist seconded the motion; vote was unanimous in favor.

D. APPROVAL OF THE MINUTES

D.1. January 23, 2024 - Planning Commission Meeting Minutes

Commissioner Bevens motioned to approve the January 23, 2024 Planning Commission Meeting Minutes as published. Chair Hollist seconded the motion; vote was unanimous in favor.

E. PLANNING COMMISSION BUSINESS

E.1. Elect Planning Commission Chair and Vice Chair for 2024

Commissioner Bevens nominated Commissioner Hollist as Chair for 2024. Commissioner Gedge seconded the motion; vote was unanimous in favor.

Commissioner Catmull nominated Commissioner Bevens as Vice Chair for 2024. Chair Hollist seconded the motion; vote was unanimous in favor.

E.2. Choose Planning Commission Representative for Architectural Review Committee

Commissioners discussed the duties and meeting times, with Commissioner Wimmer volunteering to fill the role.

Commissioner Bevens nominated Commissioner Wimmer as the representative for the Architectural Review Committee. Chair Hollist seconded the motion; vote was unanimous in favor.

F. STAFF BUSINESS

City Planner Greg Schindler shared there might be two items for the next meeting.

G. COMMENTS FROM PLANNING COMMISSION MEMBERS

Chair Hollist gave a brief review of the City Council Work Session on February 6, 2024, and Commissioner Bevens gave a brief review of the City Council Meeting from the same night.

Commissioner Gedge shared he will gone the first week of March, and both Chair Hollist and Commissioner Bevens will be out of town during Spring Break.

H. SUMMARY ACTION – None

I. ACTION – None

J. ADMINISTRATIVE PUBLIC HEARINGS – *None*

K. LEGISLATIVE PUBLIC HEARINGS – *None*

L. OTHER BUSINESS - *None*

ADJOURNMENT

Chair Hollist motioned to adjourn the February 13, 2024 Planning Commission Meeting. Commissioner Gedge seconded the motion; vote was unanimous in favor.

The February 13, 2024 Planning Commission Meeting adjourned at 7:53 p.m.

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 02-27-2024

Issue: DAYBREAK NORTH STATION MULTI-FAMILY #1 SUBDIVISION 2nd AMENDMENT
Address: Lots 138 through 156 and Lots 166 & 177
File No: PLPLA202300217
Applicant: LHM Real Estate

Submitted By: Greg Schindler, City Planner
 Chris Clinger, Senior Engineer

Staff Recommendation (Motion Ready): Approve File No. PLPLA202300217

BACKGROUND

ACREAGE	1.345 Acres
CURRENT LU DESIGNATION	Stable Neighborhood (SN)
CURRENT ZONING	PC
CURRENT USE	Vacant

STANDARDS FOR SUBDIVISION AMENDMENT REVIEW

The Planning Commission shall receive comment at a public hearing regarding the proposed subdivision amendment. The Planning Commission may approve the amendment if it finds good cause to amend the subdivision, and the amendment complies with City Code Chapter 16.14, other City ordinances, and sanitary sewer and culinary water requirements. The Planning Commission may only deny the amendment if there is no good cause for amending the subdivision and the proposed amendment does not meet all provisions of City Code Chapter 16.14, other City ordinances, and sanitary sewer and culinary water requirements.

ANALYSIS

Larry H. Miller Real Estate has filed an application to amend the Daybreak North Station Multi-Family #1 Subdivision which was originally recorded at the Salt Lake County Recorder's Office on August 4, 2021. This subdivision was amended for the first time in June of 2022. This proposed amendment, if approved, will accomplish the following:

1. Make minor adjustments to interior property lines of lots 138 through 156 and lots 166 through 177 in order to match the dimensions of the townhome product that will be constructed on these lots.

There will be no increase or decrease to the number of lots in the subdivision.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:**Findings:**

- Good cause exists for the amendment since the lot dimensions must be able to accommodate the footprint of the future structures and their minimum setback requirements.
- The proposed amendment meets all of the provisions of South Jordan Municipal Code Section 16.14 in regards to amendments to subdivisions.
- The proposed amendment is consistent with the PC zone and Kennecott Master Subdivision requirements.
- All State subdivision amendment review requirements have been followed.

Conclusions:

- The proposed amended subdivision remains consistent with both the Community Structure Plan and Daybreak Development Plan.

Recommendation:

- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the subdivision amendment, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by staff.

FISCAL IMPACT:

- None.

ALTERNATIVES:

- Approve the subdivision amendment.
- Deny the subdivision amendment.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

- Aerial Map
- Original Recorded Plat
- Proposed Amended Plat

TRAX
Station

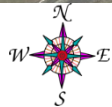
Cardinal Park Road

Lots to be
Amended

Pipestone Way
AAI
Charter
School

South Jordan Parkway

Location Map



Proposed Amended Subdivision Plat

DAYBREAK NORTH STATION
MULTI FAMILY #1
BK. 2021P PG. 197

DAYBREAK NORTH STATION
MULTI FAMILY #1 AMENDED
BK. 2022P PG. 321

KENNECOTT DAYBREAK
VILLAGE 5 PLAT 3
SUBDIVISION
BK. 2014P PG. 221

KENNECOTT DAYBREAK
VILLAGE 5 MULTI FAMILY #1
SUBDIVISION
BK. 2015P PG. 134

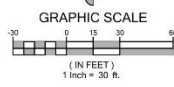
AMERICAN ACADEMY OF
INNOVATION
26-13-301-002

DAYBREAK NORTH
STATION MULTI
FAMILY #1
BK. 2021P PG. 197

LOT	ADDRESS
135	12643 S. PIPESTONE WAY
136	12644 S. PIPESTONE WAY
137	12645 S. PIPESTONE WAY
138	12646 S. PIPESTONE WAY
139	12647 S. PIPESTONE WAY
140	12648 S. PIPESTONE WAY
141	12649 S. PIPESTONE WAY
142	12650 S. PIPESTONE WAY
143	12651 S. PIPESTONE WAY
144	12652 S. PIPESTONE WAY
145	12653 S. PIPESTONE WAY
146	12654 S. PIPESTONE WAY
147	12655 S. PIPESTONE WAY
148	12656 S. PIPESTONE WAY
149	12657 S. PIPESTONE WAY
150	12658 S. PIPESTONE WAY
151	12659 S. PIPESTONE WAY
152	12660 S. PIPESTONE WAY
153	12661 S. PIPESTONE WAY
154	12662 S. PIPESTONE WAY
155	12663 S. PIPESTONE WAY
156	12664 S. PIPESTONE WAY
157	12665 S. PIPESTONE WAY
158	12666 S. PIPESTONE WAY
159	12667 S. PIPESTONE WAY
160	12668 S. PIPESTONE WAY
161	12669 S. PIPESTONE WAY
162	12670 S. PIPESTONE WAY
163	12671 S. PIPESTONE WAY
164	12672 S. PIPESTONE WAY
165	12673 S. PIPESTONE WAY
166	12674 S. PIPESTONE WAY
167	12675 S. PIPESTONE WAY
168	12676 S. PIPESTONE WAY
169	12677 S. PIPESTONE WAY
170	12678 S. PIPESTONE WAY
171	12679 S. PIPESTONE WAY
172	12680 S. PIPESTONE WAY
173	12681 S. PIPESTONE WAY
174	12682 S. PIPESTONE WAY
175	12683 S. PIPESTONE WAY
176	12684 S. PIPESTONE WAY
177	12685 S. PIPESTONE WAY

LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- EXISTING STREET MONUMENT
- 1' DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
- SEWAGE ACCESS EASEMENT IN FAVOR OF SOUTH JORDAN CITY PER DAYBREAK NORTH STATION MULTI FAMILY #1 (BK. 2021P PG. 197)
- EXISTING 20' WIDE SEWER EASEMENT RECORDED IN BOOK 1139 PAGE 190



Sheet 2 of 4

DAYBREAK NORTH STATION MULTI FAMILY #1 SECOND AMENDED
APPENDING LOTS 138-143 & 146-156 & 166-177 OF THE DAYBREAK
NORTH STATION MULTI FAMILY #1 & LOTS 144 & 145 OF THE
DAYBREAK NORTH STATION MULTI FAMILY #1 AMENDED

Located in the West Half of Section 13, T35, R24,
Salt Lake Base and Meridian

RECORDED IN
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF:
DATE: TIME: BOOK: PAGE:
FEE \$ SALT LAKE COUNTY REC

PUBLIC UTILITY EASEMENTS
TYPICAL
(UNLESS OTHERWISE NOTED)

PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE
REBAR & CAP OR NAILS SET IN THE TOP
OF CURB OR ALLEY ON THE EXTENSION OF
SIDE LOT LINES.

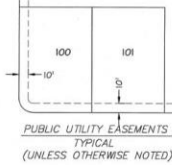


3000 SOUTH 1200 WEST, SUITE 100, WEST JORDAN, UT 84059
801.635.6524 TEL. 801.635.6611 FAX
WWW.PERIGEECONSULTING.COM

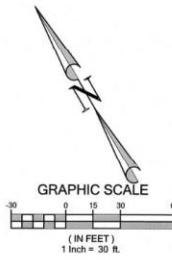
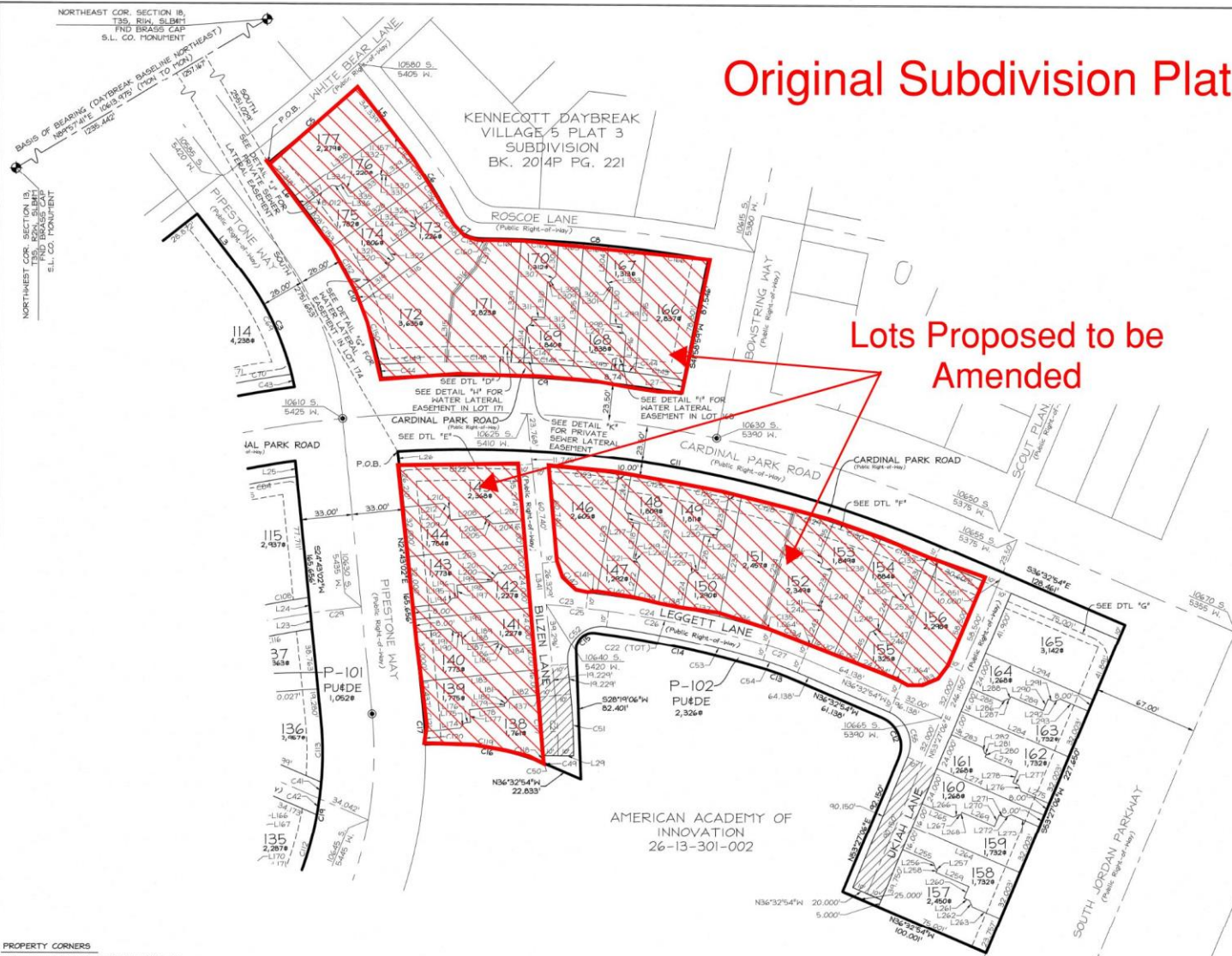
Original Subdivision Plat

LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABBREVIATION OF STREET OR LANE
- 7" DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
- PRIVATE RIGHT-OF-WAY: SOUTH JORDAN CITY WILL NOT PROVIDE SIGN REMOVAL, STREET SHEEPING OR GARBAGE COLLECTION IN THESE AREAS. SIGN REMOVAL AND STREET SHEEPING ARE THE RESPONSIBILITY OF THE ADJACENT LOT OWNERS. GARBAGE CANS MUST BE PLACED ON THE THROUGH PORTION OF THE ADJACENT LANE OR STREET.



Lots Proposed to be Amended



Sheet 4 of 9

PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE REBAR & CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.

PERIGEE CONSULTING
CIVIL - STRUCTURAL - SURVEY

2008 SOUTH 1300 WEST, SUITE 100
801.535.5554 TEL. 801.565.6871 FAX
WEST JORDAN, UT 84098
WWW.PERIGEECONSULTING.COM

DAYBREAK NORTH STATION MULTI FAMILY #1
AMENDING LOTS 11-101, 11-102, 11-103 & 11-104 OF THE
KENNEBEC DAYBREAK VILLAGE 10 NORTH PLAT 2 SUBDIVISION
AND A PORTION OF LOT 13 OF THE KENNEBEC DAYBREAK
MASTER SUBDIVISION #1 AMENDED

Located in the West Half of Section 13, T3S, R24,
Salt Lake Base and Meridian

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF: _____

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

FEE: _____ SALT LAKE COUNTY RECORDER

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 02-27-2024

Issue: DAYBREAK VILLAGE 15 PLAT 1
PRELIMINARY SUBDIVISION

Location: Approximately 6650 West 11540 South, bounded by Lake Avenue to the north, Meadow Grass Drive to the south, Watercourse Road to the west and Flying Fish Drive to the east.

Project No: PLPP202300191

Applicant: Perigee Consulting on behalf of Miller Family Real Estate

Submitted By: Greg Schindler, City Planner
Chris Clinger, Senior Engineer

Staff Recommendation (Motion Ready): Approve Project No. PLPP202300191 subject to the following:

1. That all South Jordan City requirements are met prior to recording the plat.

STANDARDS FOR SUBDIVISION REVIEW

The Planning Commission shall receive public comment at a public hearing regarding the proposed subdivision. The Planning Commission may approve, approve with conditions or if the proposed subdivision does not meet City ordinances or sanitary sewer or culinary water requirements, deny the preliminary subdivision plat application.

BACKGROUND

ACREAGE	17.119 Acres
CURRENT ZONING	Planned Community (PC)
CURRENT USE	Vacant

Perigee Consulting on behalf of Miller Family Real Estate, has filed an application for preliminary subdivision Daybreak Village 15 Plat 1. The applicant is requesting the South Jordan Planning Commission review and approve the 17.119 acres subdivision containing 20 residential lots, 1 park lots (P-Lot), 1 civic lot (C-Lot) and associated public and private rights-of-way.

The residential density of this proposal is 1.1 units per acre (gross density) and 9.7 units per acre (net density), which is consistent with the P-C zone and adopted Community Structure Plan for Daybreak. The proposed lot sizes range from 1,841 sq. ft. to 10,949 sq. ft. with an average lot size of 4,469 sq. ft. The proposed subdivision proposes a variety of lot types, including townhomes, twin homes and single family detached.

Lot C-101 will be the site of a new elementary school already under review by the City.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- The Daybreak Community Structure Plan designates this area as Village.
- Section 17.72.020 describes the Village Land Use Designation as follows: “This category is designed for medium density mixed use development that includes residential (single and multi-family), office, commercial, industrial, public/semipublic and recreation/open space uses, without a predetermined emphasis on any single use. This category may accommodate gross residential density of twenty five (25) units per acre.”
- All PC zone and Kennecott Master Subdivision requirements will be met regarding the preliminary subdivision plat.
- All State and Local subdivision review requirements have been followed.
- The proposal meets all City ordinances and complies with the General Plan.
- All lots in the proposed subdivision will have culinary water (South Jordan City) and sanitary sewer available (South Valley Sewer District).

Conclusions:

- The proposed subdivision is consistent with both the Daybreak Community Structure Plan the South Jordan General Plan and meets the standards of review for subdivisions in the P-C zone.

Recommendation:

- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the Subdivision, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by staff.

FISCAL IMPACT:

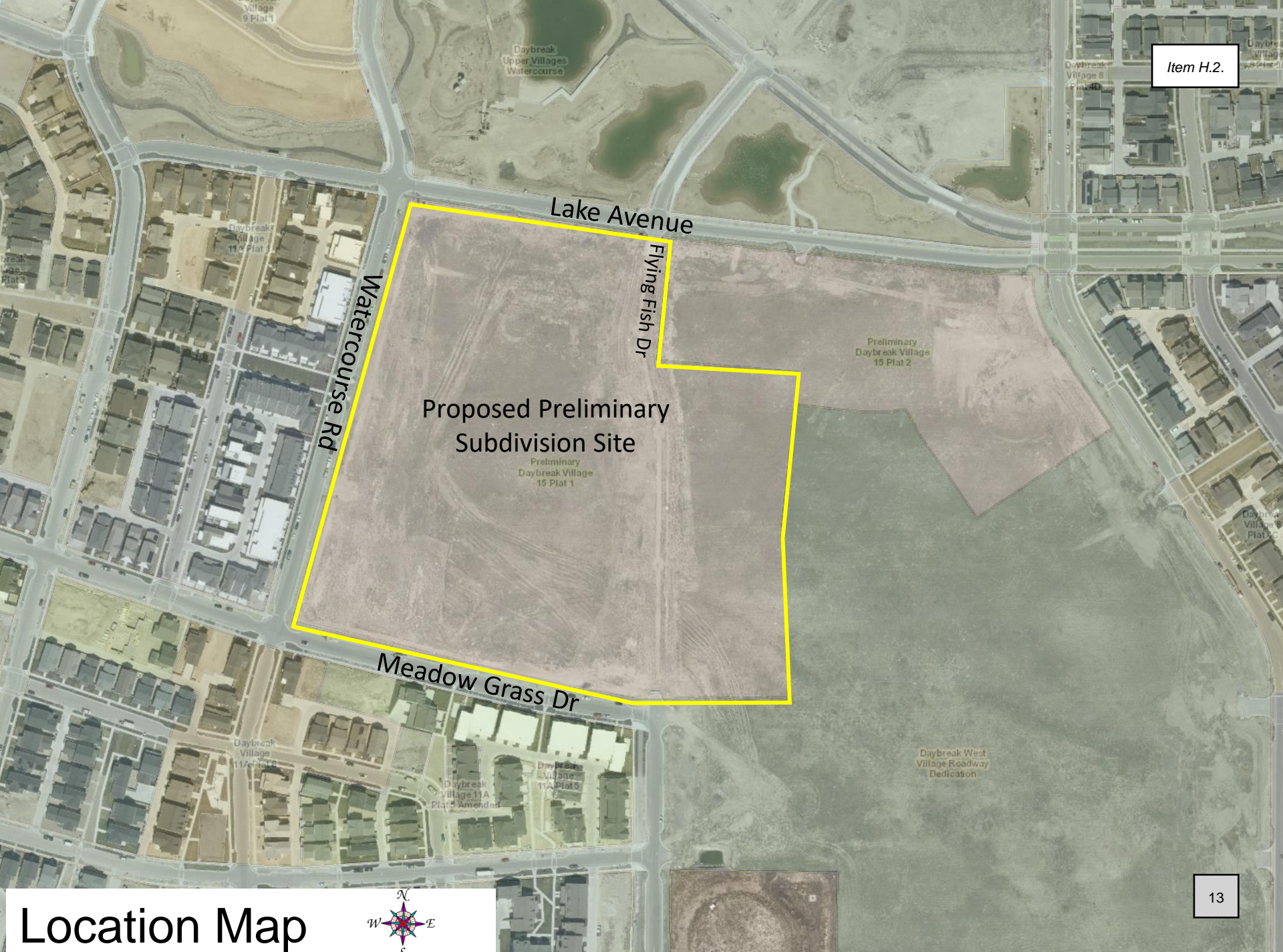
- Minimal.

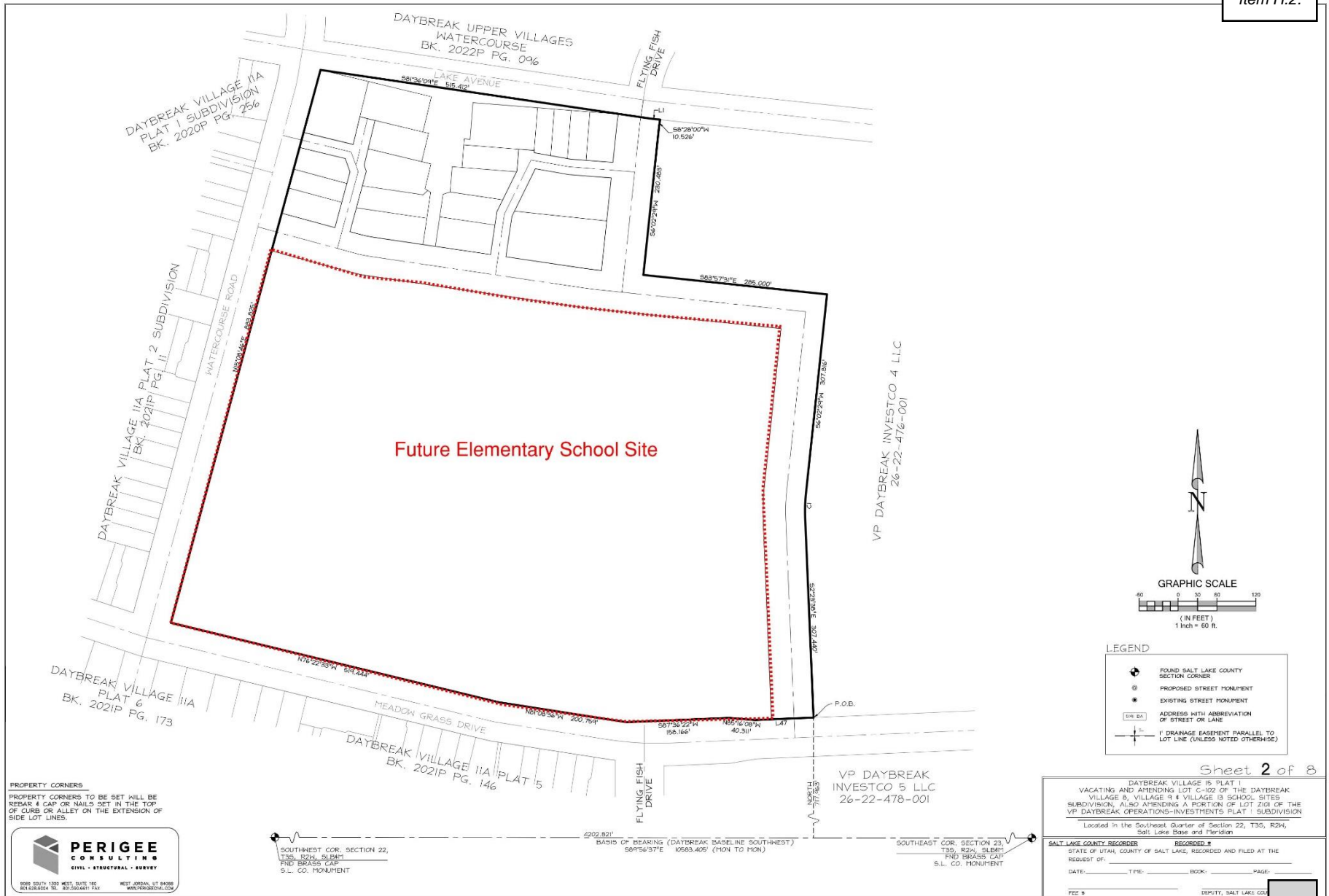
ALTERNATIVES:

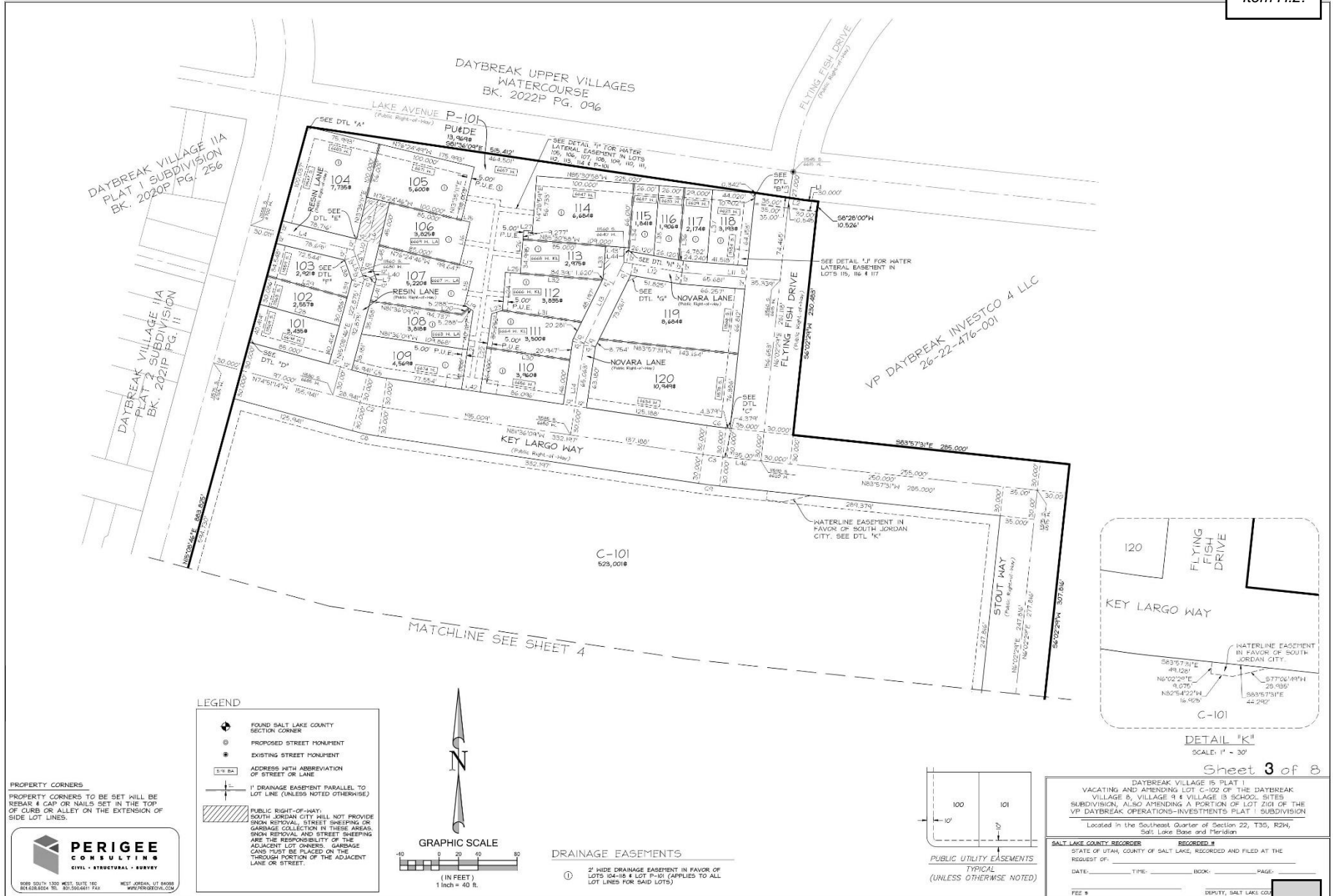
- Approve the preliminary subdivision.
- Deny the preliminary subdivision.
- Schedule the application for a decision at some future date.

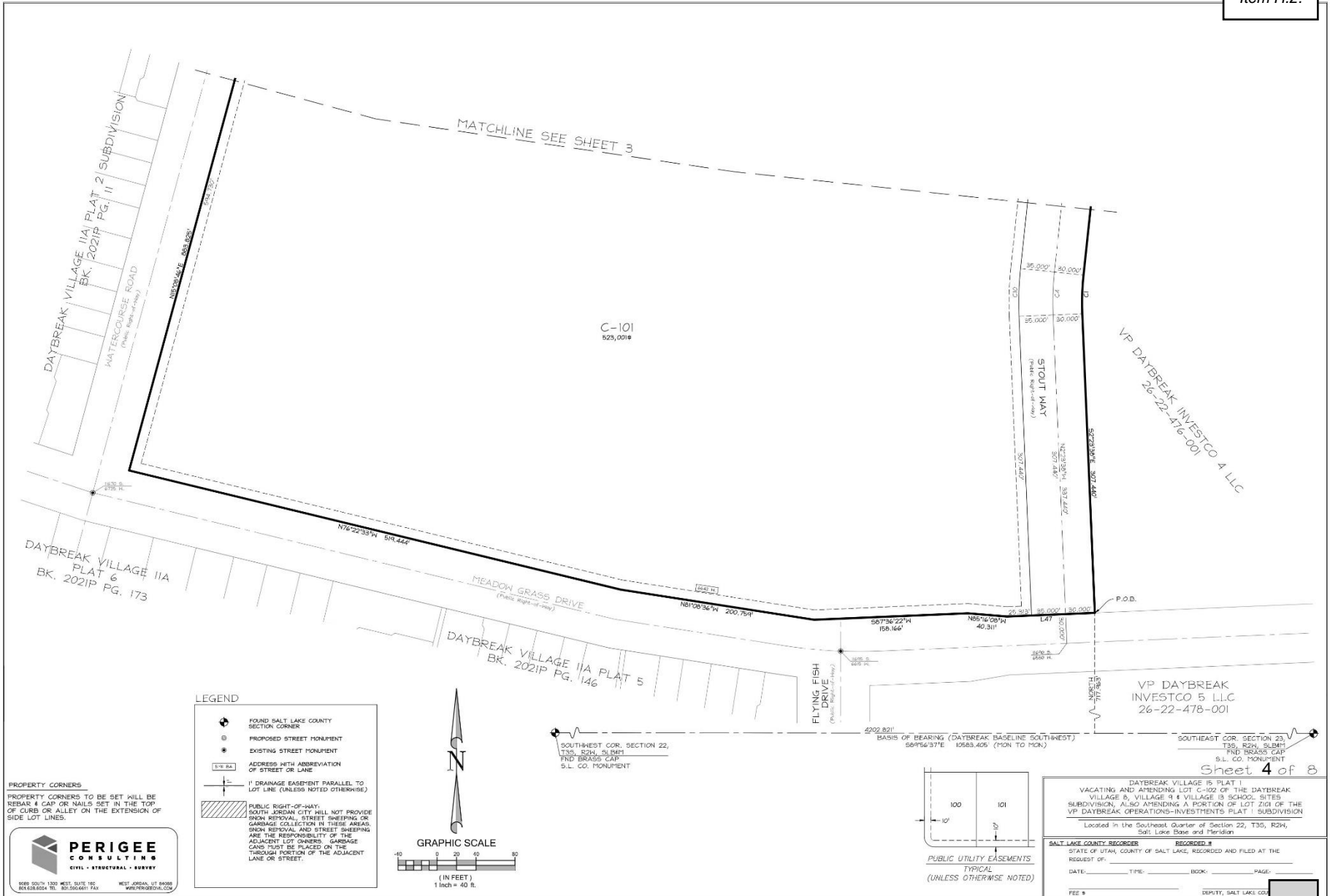
SUPPORT MATERIALS:

- Aerial Map
- Proposed Subdivision Plat









SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 02/27/2024

Issue: Harvest Pointe West
PRELIMINARY SUBDIVISION
Address: 3773 W South Jordan Pkwy
File No: PLPP202300141
Applicant: Jeff Seaman

Submitted by: Miguel Aguilera, Planner I
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** File No. PLPP202300141.

ACREAGE: 3.16 Acres
CURRENT ZONE: Residential Multi-Family with Planned
Development Floating Zone (R-M(PD))
CURRENT USE: Vacant/ Parking lot
FUTURE LAND USE PLAN: Mixed-Use (MU)

NEIGHBORING ZONES/USES: North – Community Commercial
South – R-M-8 Neighborhood Residences
West – Harvest Pointe Drive
East – Community Commercial

STANDARD OF APPROVAL:

The Planning Commission shall receive comment at a public hearing regarding the proposed subdivision amendment. The Planning Commission may approve the amendment if it finds good cause to amend the subdivision, and the amendment complies with City Code Chapter 16.14, other City ordinances, and sanitary sewer and culinary water requirements. The Planning Commission may only deny the amendment if there is no good cause for amending the subdivision and the proposed amendment does not meet all provisions of City Code Chapter 16.14, other City ordinances, and sanitary sewer and culinary water requirements.

City Code § 16.14.020

BACKGROUND:

The applicant is requesting that the Planning Commission approve a preliminary subdivision plat for the property located at 3773 W South Jordan Parkway. The proposed subdivision will vacate and amend part of Lot 6 of the Albertsons Subdivision. The north section of Lot 6 will remain

within the existing subdivision. The south section of Lot 6 will become the Harvest Pointe West Townhomes Subdivision.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The preliminary subdivision plat complies with the guidelines set in the Harvest Pointe West Development Agreement.
- The subject property's current zoning is the only R-M (PD) zone in the Albertsons Subdivision.
- Once the final subdivision is complete, the new parcels will become the Harvest Pointe Townhomes Subdivision.
- The section of the lot to become the Harvest Pointe West Subdivision is currently vacant.
- Applicant submitted a site plan application for the townhome development.

Conclusion:

- The proposed preliminary subdivision application meets the City Code requirements and as such should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.
- Deny the proposed Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

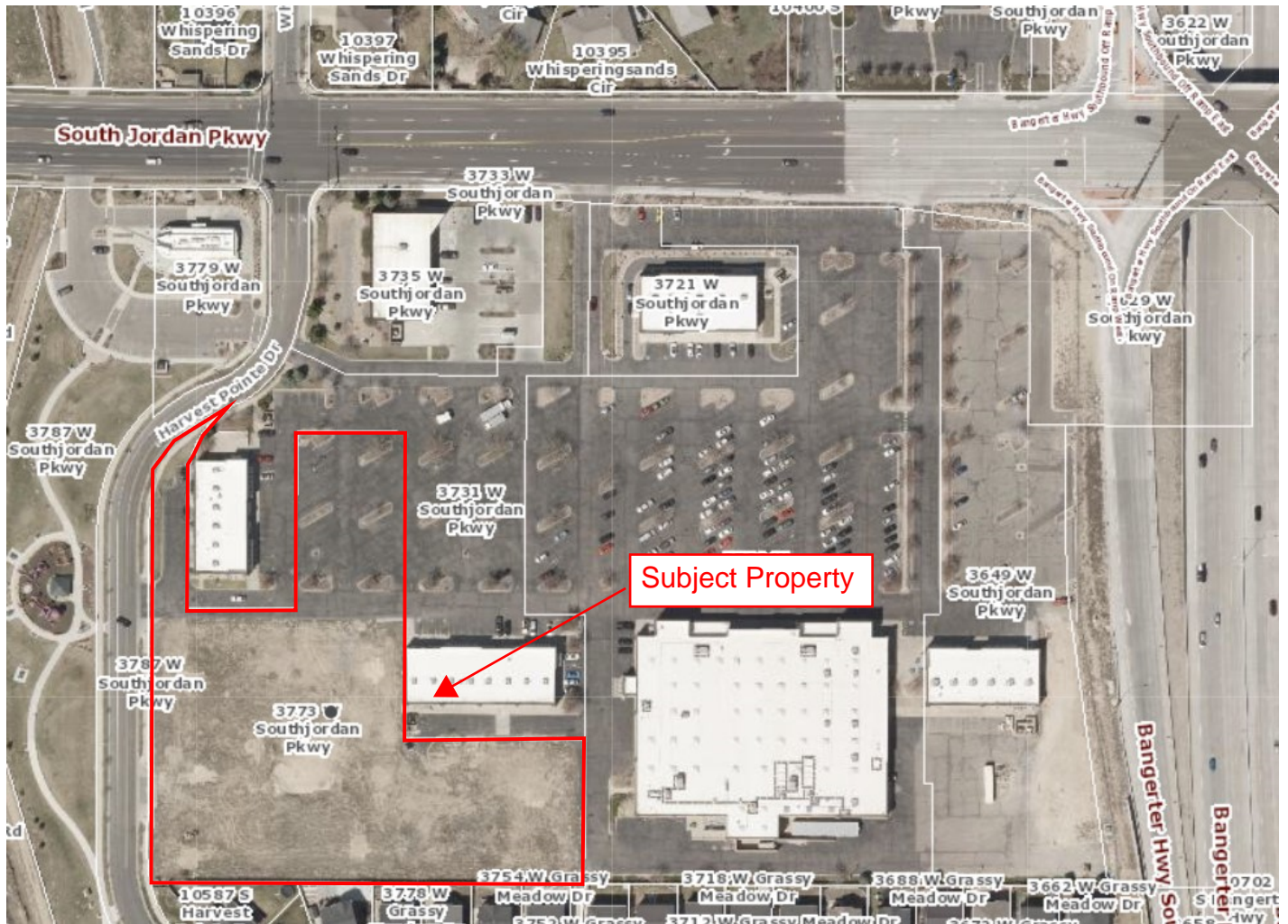
- Location Map
- Current Zoning Map
- Future Land Use Map
- Proposed Subdivision Amendment Plat

Miguel Aguilera

Miguel Aguilera
Planner I, Planning Department

Location Map
Harvest Pointe Townhomes
South Jordan City

Item H.3.

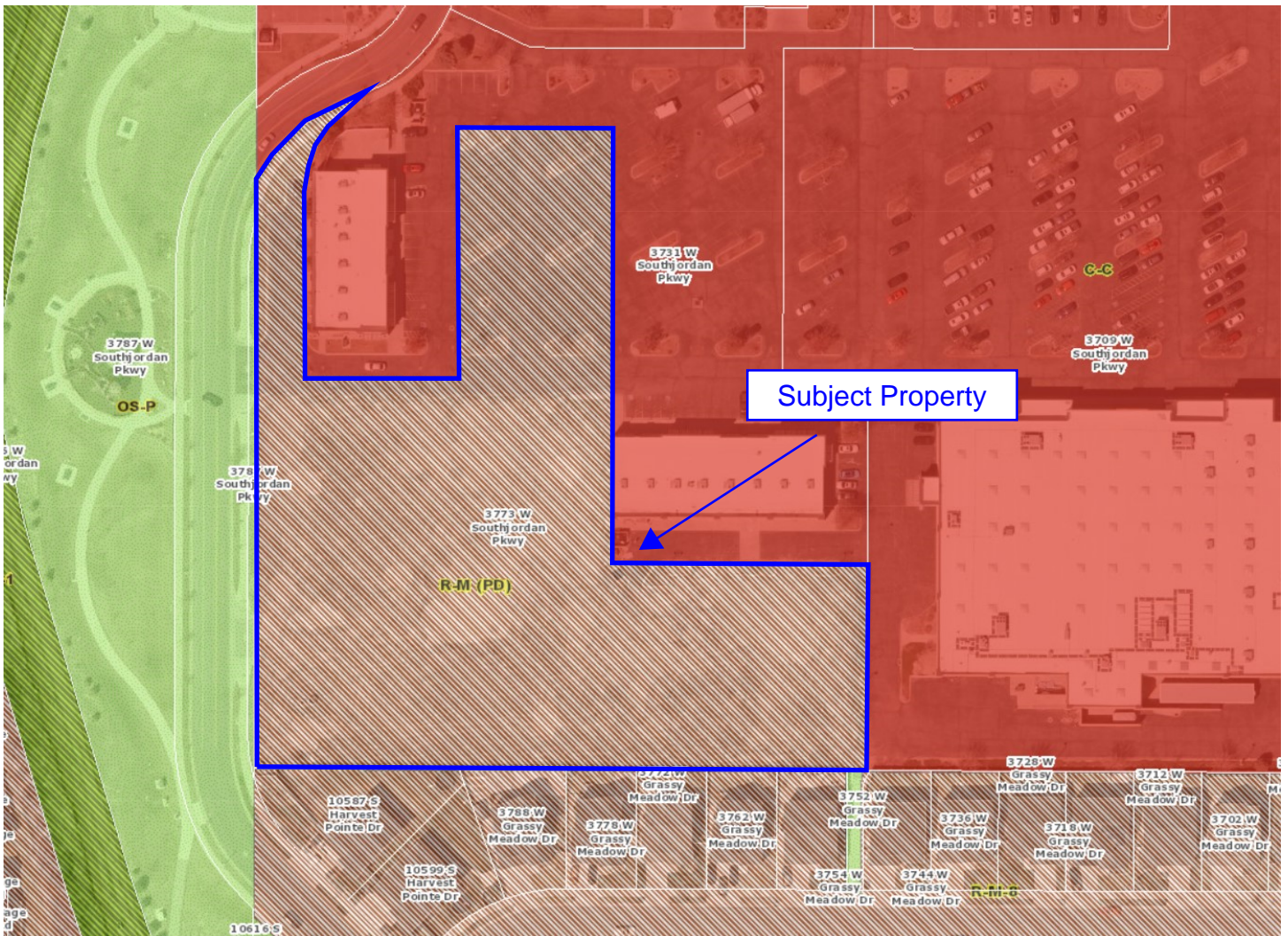


Zoning Map

Harvest Pointe Townhomes

South Jordan City

Item H.3.

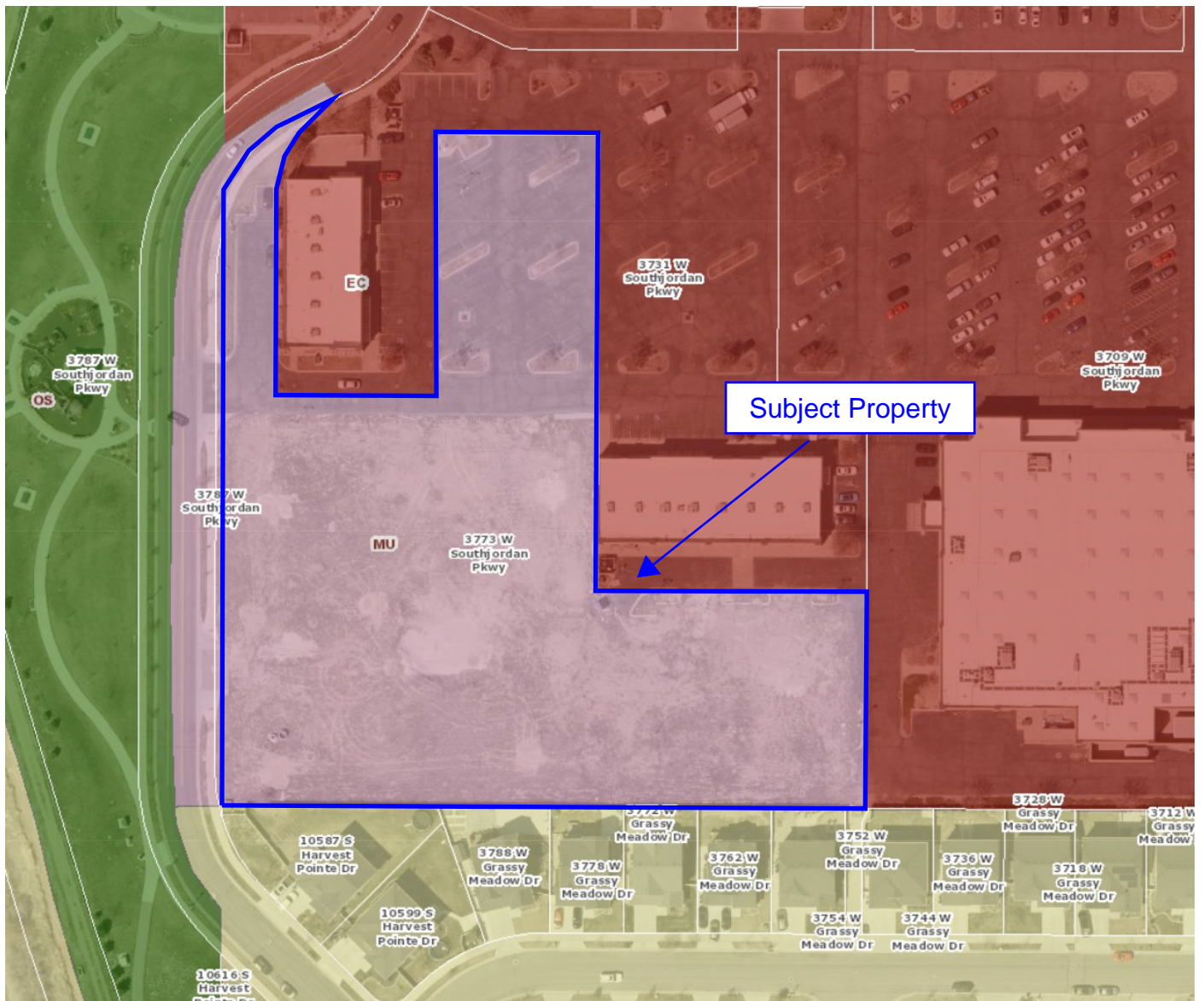


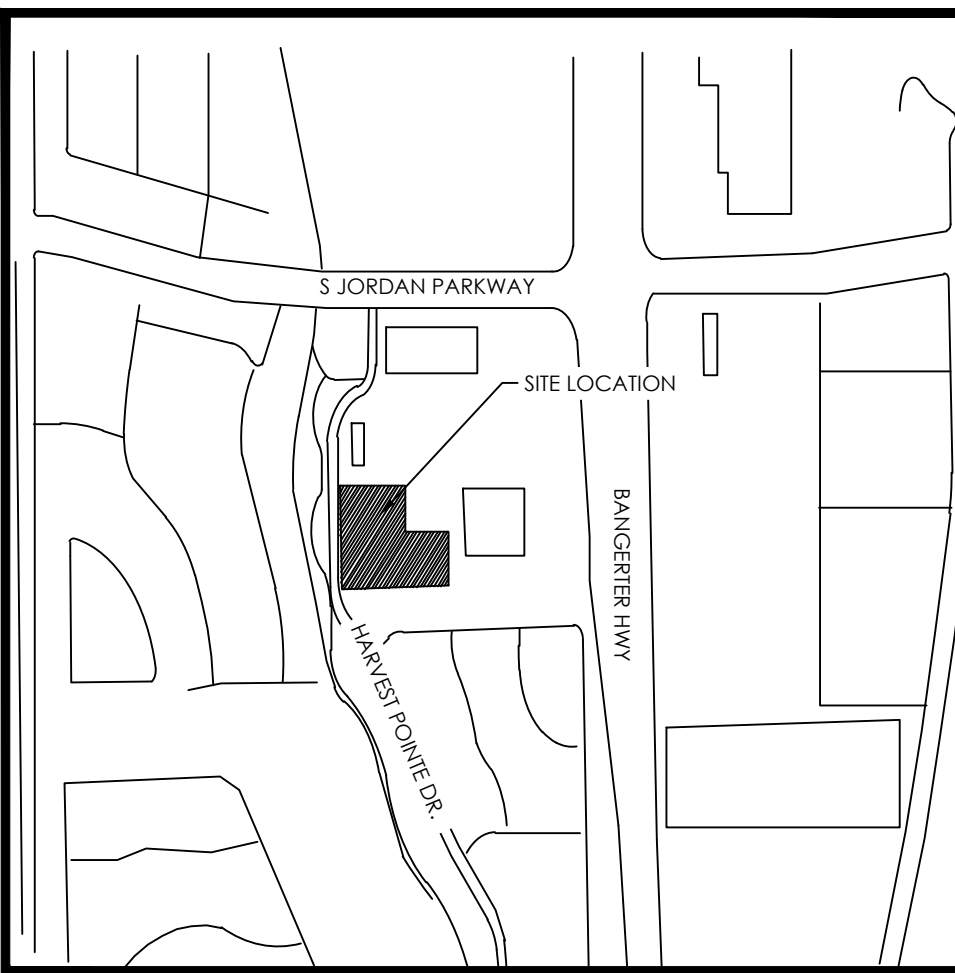
Land Use Map

Harvest Pointe Townhomes

South Jordan City

Item H.3.





VICINITY MAP

N.T.S.

LEGEND

	BOUNDARY
	SECTION LINE
	EASEMENT
	RIGHT-OF-WAY LINE
	CENTERLINE
	BUILDING SETBACK
	EXISTING PROPERTY LINE
	SECTION MONUMENT (FOUND)
	STREET MONUMENT (TO BE SET)
	BOUNDARY MARKERS
	PRIVATE AREA
	LIMITED COMMON
	COMMON AREA

HARVEST POINTE WEST TOWNHOMES

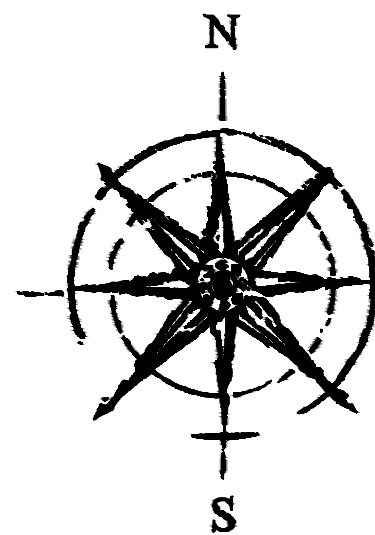
AMENDMENT PLAT

VACATING AND AMENDING PART OF LOT 6 OF ALBERTON'S 10400

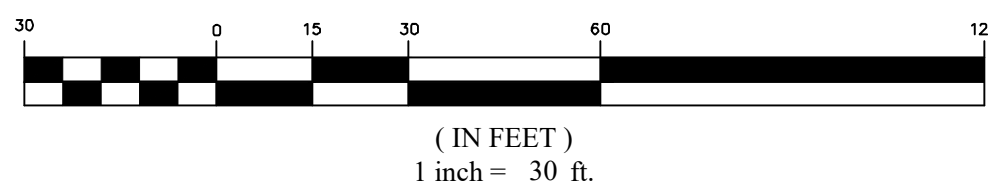
LOCATED IN THE NW 1/4 OF SECTION 17, T3S, R1W,
SALT LAKE BASE & MERIDIAN
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

NOTES:

- #5 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL REAR LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
- PARCELS A, B, AND C ARE HEREBY DEDICATED AS COMMON AREA AND TO BE MAINTAINED BY THE HARVEST POINTE TOWNHOMES OWNERS ASSOCIATION, A UTAH NONPROFIT CORPORATION, WITH A REGISTERED ADDRESS OF 225 S 200 E #200, SALT LAKE CITY, UTAH.
- ALL COMMON AREAS AND PRIVATE ROADS ARE TO SERVE AS A PUBLIC UTILITY AND DRAINAGE EASEMENTS.
- ALL UNITS BUILDING WALLS ARE PARALLEL WITH PERPENDICULAR TO, OR AT 45° ANGLE TO REFERENCE BEARING SHOWN ON BUILDING.
- OWNERS AND POTENTIAL PURCHASERS OF PROPERTY LEGALLY DESCRIBED BY THIS PLAT (THE "PROPERTY") SHOULD FAMILIARIZE THEMSELVES WITH ALL NOTES, LOT INFORMATION, EASEMENTS, AND OTHER PERTINENT INFORMATION CONTAINED WITH THIS PLAT AND ALSO WITH ANY CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&RS) DOCUMENTS THAT MAY BE RECORDED AGAINST THE PROPERTY. OWNERS AND POTENTIAL PURCHASERS OF THE PROPERTY MUST COMPLY WITH ALL NOTES, EASEMENTS, CC&RS, AND OTHER RECORDED DOCUMENTS RELATED TO THIS PLAT, TO ADHERE TO THE NOTES, LOT INFORMATION, EASEMENTS, CC&RS, OR OTHER DOCUMENTS RECORDED AGAINST THE PROPERTY COULD RESULT IN FINANCIAL LOSS OR CHANGES IN EXPECTED PROPERTY USE.
- MANY AREAS IN THE CITY OF SOUTH JORDAN HAVE GROUNDWATER PROBLEMS DUE TO A HIGH OR FLUCTUATING WATER TABLE. CITY APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION WILL SOLVE GROUNDWATER PROBLEMS, IF ANY.
- APPROVAL OF THIS PLAT BY SOUTH JORDAN CITY DOES NOT MEAN THAT INDIVIDUAL LOT DRAINAGE TO A ROAD OR RETENTION FACILITY IS ASSURED. DEVELOPMENT AND GRADING MAY NECESSITATE SWALES AND OTHER DRAINAGE FACILITIES TO PROTECT INDIVIDUAL PROPERTIES. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT SWALES AND OTHER DRAINAGE FACILITIES ARE APPROPRIATE AND MAINTAINED NOR THAT DRAINAGE FROM ADJACENT PROPERTIES IS PREVENTED.
- THE OWNER CERTIFIES THAT THE TITLE REPORT DATED _____, WHICH WAS PREPARED BY _____, WAS PROVIDED TO OWNERS SURVEYOR AND THAT THE PLAT SHOWS ALL EASEMENTS AND ENCUMBRANCES LISTED IN SAID TITLE REPORT.
- THIS PLAT IS SUBJECT TO THAT CERTAIN DEVELOPMENT AGREEMENT DATED JANUARY 30, 2023, BY AND BETWEEN THE CITY OF SOUTH JORDAN AND HARVEST POINTE LLC, INCLUDING ALL PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES, ASSESSMENTS, LIENS OR RIGHTS, IF ANY, CREATED THEREIN AND RECORDED ON JANUARY 30, 2023 AS ENTRY NO. 14067211, IN BOOK 11398, AT PAGE 2762 OF THE OFFICIAL RECORDS OF SALT LAKE COUNTY.

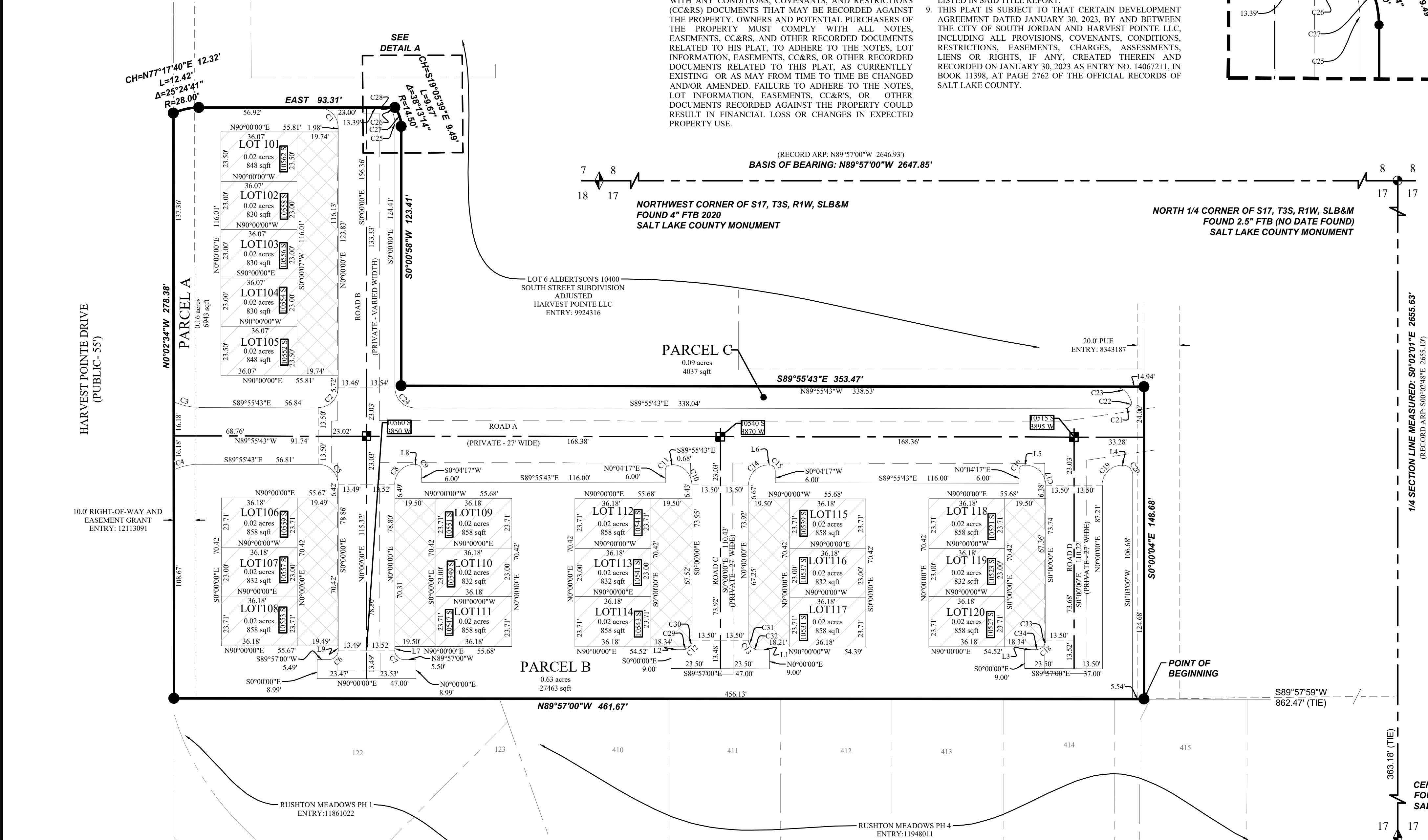
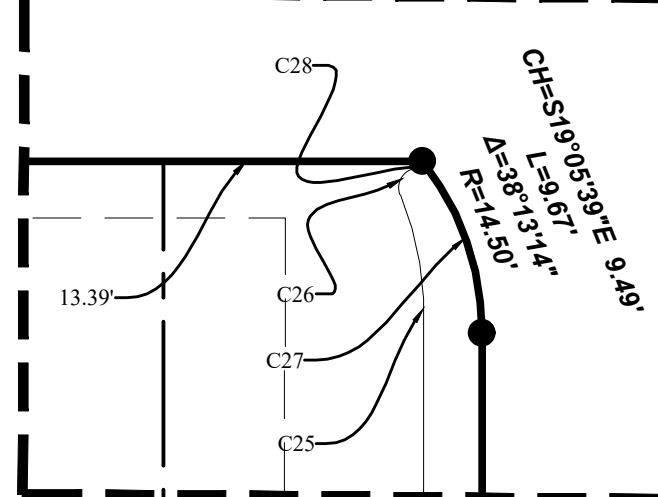


GRAPHIC SCALE



DETAIL A

N.T.S.



Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	9.50	89°48'14"	14.89	N44°53'08\"W	13.41
C2	9.50	90°03'50"	14.93	N45°02'31\"E	13.44
C3	28.00	25°15'26"	12.34	S77°18'00\"E	12.24
C4	28.00	25°16'43"	12.35	N77°25'56\"E	12.25
C5	9.50	89°47'00"	14.89	S44°54'13\"E	13.41
C6	4.50	89°56'01"	7.06	S44°59'00\"W	6.36
C7	4.50	89°57'00"	7.06	N44°58'30\"W	6.36
C8	9.50	90°04'17"	14.93	N45°02'09\"E	13.44
C9	2.50	90°00'00"	3.93	S44°55'43\"E	3.54
C10	9.50	89°55'43"	14.91	S44°57'51\"E	13.43
C11	2.50	90°00'00"	3.93	N45°04'17\"E	3.54
C12	4.50	90°03'00"	7.07	S45°01'30\"W	6.37
C13	4.50	89°57'00"	7.06	N44°58'30\"W	6.36
C14	9.50	90°04'17"	14.93	N45°02'09\"E	13.44
C15	2.50	90°00'00"	3.93	S44°55'43\"E	3.54
C16	2.50	90°00'00"	3.93	N45°04'17\"E	3.54
C17	9.50	89°55'43"	14.91	S44°57'51\"E	13.43
C18	4.50	90°03'00"	7.07	S45°01'30\"W	6.37
C19	9.50	90°04'17"	14.93	N45°02'09\"E	13.44
C20	4.50	89°55'43"	7.06	S44°57'51\"E	6.36
C21	3.52	46°52'05"	2.88	N59°54'14\"E	2.80
C22	2.57	47°01'39"	2.11	N12°59'22\"E	2.05
C23	9.11	77°15'57"	12.28	N51°19'55\"W	11.37
C24	9.50	89°56'10"	14.91	S44°57'29\"E	13.43
C25	18.20	23°04'19"	7.33	S09°27'39\"E	7.28
C26	1.00	166°58'00"	2.91	S62°35'43\"W	1.99
C27	14.50	33°56'15"	8.59	N16°57'10\"W	8.46
C28	14.50	4°16'59"	1.08	N36°03'47\"W	1.08
C29	4.50	47°15'38"	3.71	S66°25'11\"W	3.61
C30	4.50	42°47'22"	3.36	S21°23'41\"W	3.28
C31	4.50	43°56'23"	3.45	N21°58'12\"W	3.37
C32	4.50	46°00'37"	3.61	N66°56'42\"W	3.52
C33	4.50	41°31'44"	3.26	N20°45'52\"E	3.19
C34	4.50	48°31'16"	3.81	N65°47'22\"E	3.70

Line Table		
LINE	DIRECTION	LENGTH
L1	N89°57'00\"W	5.50
L2	N89°57'00\"W	5.50
L3	N89°57'00\"W	5.50
L4	N89°55'43\"E	0.33
L5	N89°55'43\"E	0.68
L6	N89°55'43\"E	0.68
L7	N00°00'00\"E	2.00
L8	N89°55'43\"E	0.68
L9	S00°00'00\"E	2.02

SURVEYOR'S CERTIFICATE

I, JUSTIN LUNDBERG, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NUMBER 12554439 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND PARCELS, HEREAFTER TO BE KNOWN AS:

HARVEST POINTE WEST TOWNHOMES
AMENDMENT PLAT

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

FOR REVIEW

JUSTIN LUNDBERG
Professional Land Surveyor
License No. 12554439

Date

BOUNDARY DESCRIPTION

AS SURVEY DESCRIPTIONS

A part of Lot 6 of ALBERTSON'S 10400 SOUTH STREET SUBDIVISION according to the official plat thereof recorded September 15, 2002 as Entry No. 8343187 in Book 2002P at Page 243 in the Salt Lake County Recorder's Office. Being a part of the Northwest Quarter of Section 17, Township 3 South, Range 1 West, Salt Lake Base and Meridian (Basis of Bearing: N89°57'00\"W between the Northwest Corner and the North Quarter 1/4 of Section 17), located in South Jordan City, Salt Lake County, Utah, being more particularly described as follows:

Beginning at a point located on the south boundary line of Albertson's 10400 South Street Subdivision, said point being N0°02'01\"W 363.18 feet along the 1/4 section line and S89°57'59\"W 862.47 feet from the Center Quarter Corner of Section 17, Township 3 South, Range 1 West, Salt Lake Base and Meridian; thence along said subdivision the following two (2) courses: (1) N89°57'00\"W 461.67 feet; thence (2) N00°02'34\"W 278.38 feet; thence Easterly along the arc of a non-tangent curve to the right having a radius of 28.00 feet (radius bears: S25°24'41\"E) a distance of 12.42 feet through a central angle of 25°24'41\" Chord: N77°17'40\"E 12.32 feet; thence East 93.31 feet; thence Southerly along the arc of a non-tangent curve to the right having a radius of 14.50 feet (radius bears: S51°47'44\"W) a distance of 9.67 feet through a central angle of 38°13'14\" Chord: S19°05'39\"E 9.49 feet; thence S00°00'58\"W 123.41 feet; thence S89°55'43\"E 353.47 feet; thence S00°00'04\"E 148.68 feet to the point of beginning.

Containing 1.91 acres +/-
20 Lots and 2 Parcels

OWNER'S DEDICATION

KNOWN ALL BY THESE PRESENT THAT WE, THE UNDERSIGNED OWNERS OF THE DESCRIBED TRACT OF LAND ABOVE, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS

HARVEST POINTE WEST TOWNHOMES
AMENDMENT PLAT

DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, AND MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES. PURSUANT TO UTAH CODE 10-9A-604(1)(D) THE OWNER HEREBY CONVEYS ANY OPEN SPACE, AS INDICATED HEREON, TO HARVEST POINTE TOWNHOMES HOMEOWNERS ASSOCIATION INC., WITH A REGISTERED ADDRESS OF 225 S 200 E #200, SALT LAKE CITY, UTAH

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____ A.D. 20 ____

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
S.S.
COUNTY OF _____

ON THE ____ DAY OF _____, A.D. 20 ____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF UTAH, _____, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE _____ OF _____ L.L.C., A UTAH L.L.C. AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN _____ COUNTY

MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

HARVEST POINTE WEST TOWNHOMES
AMENDMENT PLAT

VACATING AND AMENDING PART OF LOT 6
OF ALBERTSON'S 10400

LOCATED IN THE NW 1/4 OF SECTION 17, T3S, R1W,
SALT LAKE BASE & MERIDIAN
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY RECORDER

RECORDED #

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF:

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

\$ _____
FEE _____ SALT LAKE COUNTY DEPUTY RECORDER

EASEMENT APPROVAL

CENTURYLINK DATE _____

ROCKY MOUNTAIN POWER DATE _____

QUESTAR GAS CO. DATE _____

COMCAST CABLE CO. DATE _____

SALT LAKE COUNTY FLOOD CONTROL

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20 ____.

SALT LAKE COUNTY FLOOD CONTROL

OWNER/DEVELOPER
PETERSON DEVELOPMENT
225 S 200 E #200
SALT LAKE CITY, UT
(801) 532-2233
CONTACT: JEFF SEAMAN

SOUTH JORDAN CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE _____ SOUTH JORDAN CITY ENGINEER _____

SOUTH JORDAN CITY PLANNING

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20 ____ BY THE SOUTH JORDAN CITY PLANNER.

CITY PLANNER _____

SOUTH VALLEY SEWER DISTRICT

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20 ____

GENERAL MANAGER _____

SALT LAKE VALLEY HEALTH DEPARTMENT

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20 ____

SALT LAKE VALLEY HEALTH DEPARTMENT _____

PLAT PREPARED BY

FOCUS
ENGINEERING AND SURVEYING, LLC
6949 SOUTH HIGH TECH DRIVE SUITE 200
MIDVALE, UT 84047 PH: (801) 352-0075
www.focusutah.com

SHEET 1 of 1

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 02/27/2024

Issue: Harvest Pointe West Townhomes
SITE PLAN APPLICATION

Address: 3773 W South Jordan Parkway, South Jordan, UT 84095
File No: PLSPR202300053
Applicant: Jeff Seaman

Submitted by: Miguel Aguilera, Planner I
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202300053**, to allow for construction of townhome residences at 3773 W South Jordan Pkwy.

ACREAGE:	3.16 acres
CURRENT ZONE:	Residential Multi-Family with Planned Development Floating Zone (R-M(PD))
CURRENT USE:	Vacant Land
FUTURE LAND USE PLAN:	Mixed-Use (MU)
NEIGHBORING ZONES/USES:	North – Community Commercial (Albertsons Subdivision) South – R-M-8 Residential Multi-Family West – Harvest Pointe Drive East – Community Commercial (Albertsons Subdivision)

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions, or deny the site plan.

BACKGROUND:

Harvest Pointe Townhomes development is located on the vacant lot of the proposed Harvest Pointe West Subdivision near 11400 S. It is bordered by commercial parking of the Alberstons Subdivision to the north, the Rushton Meadows 4 residences to the south, the VASA Fitness center to the east, and Harvest Pointe Drive to the west.

The development will consist of six multi-family residential buildings. Each building will have 3-stories. Five of the buildings will have three attached dwellings, one building will have five attached dwellings. Elevations of the buildings show a height of 33 feet and 9 inches to the highest point. The height to the flat roof is 29 feet and 7 inches. Front elevations show balconies on the second stories.

The internal road network is designed in a grid layout. The three dead end streets will have a hammerhead turnaround for emergency vehicles. Each residence of each building will have a driveway connected to the new interior streets leading to Harvest Pointe Drive or the adjacent commercial area.

Landscaping will consist of trees, shrubs, grasses, perennial plants, and river cobble rock cover. All areas which are not road asphalt, paved walkways, and driveways will have landscape covering. Turf grass will cover 28% of the landscape area while shrub beds and rock mulch will cover 72%. There will be 42 trees planted throughout the project site, mostly along the sidewalks in the perimeter areas.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The project's plans comply with the Harvest Pointe West Development Agreement.
- The project will create 20 new residences

Conclusion:

- The proposed project meets the requirements of the Subdivision and Development (Title 16) and the Planning and Zoning (Title 17) Codes and thus should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

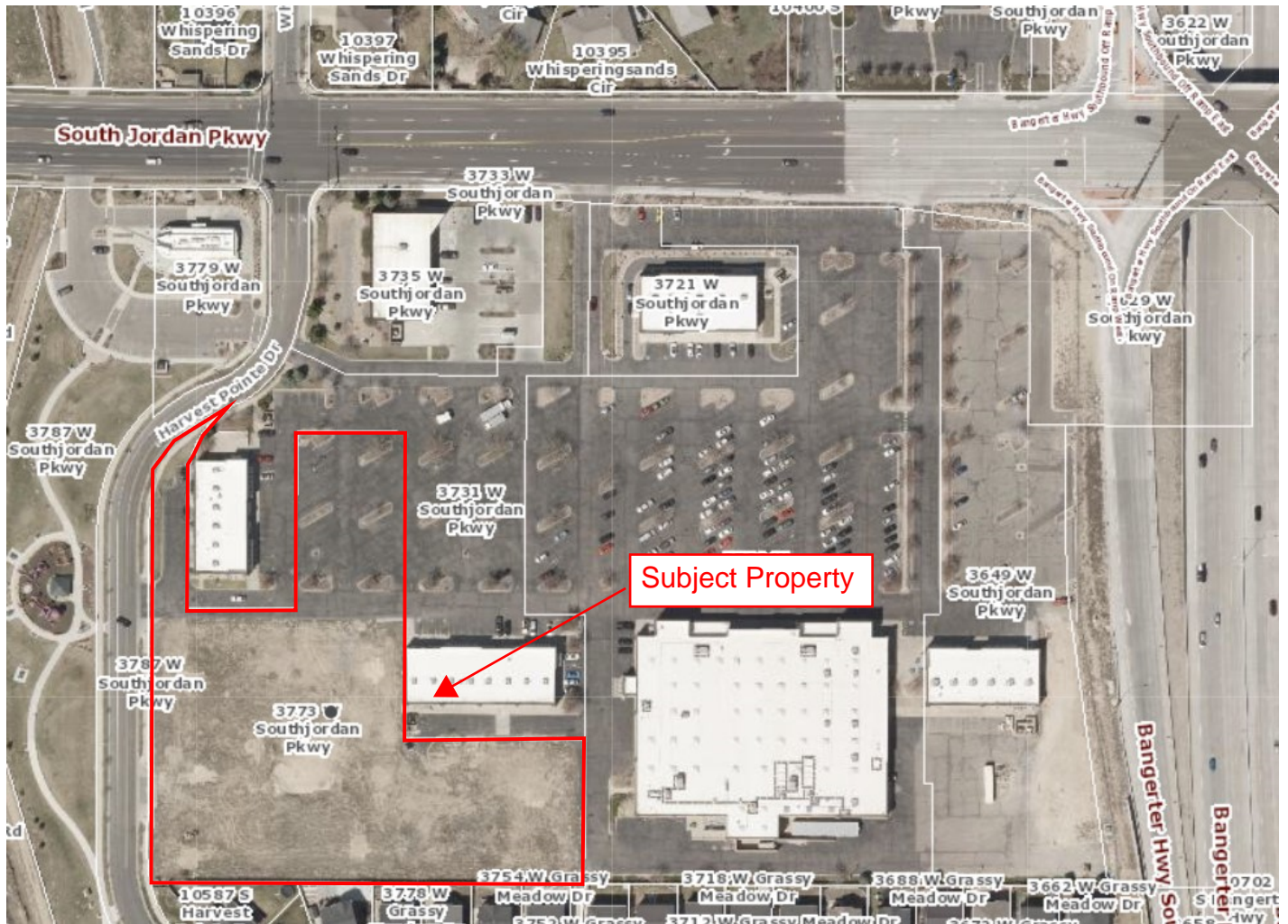
- Location Map
- Zoning Map
- Site Plan
- Grading Plan
- Landscape Plan
- Building Elevations

Miguel Aguilera
Miguel Aguilera (Feb 21, 2024 15:49 MST)
Miguel Aguilera
Planner I, Planning Department

Brad Klavano
Brad Klavano (Feb 21, 2024 18:55 MST)
Brad Klavano, P.E.
City Engineer

Location Map
Harvest Pointe Townhomes
South Jordan City

Item H.4.

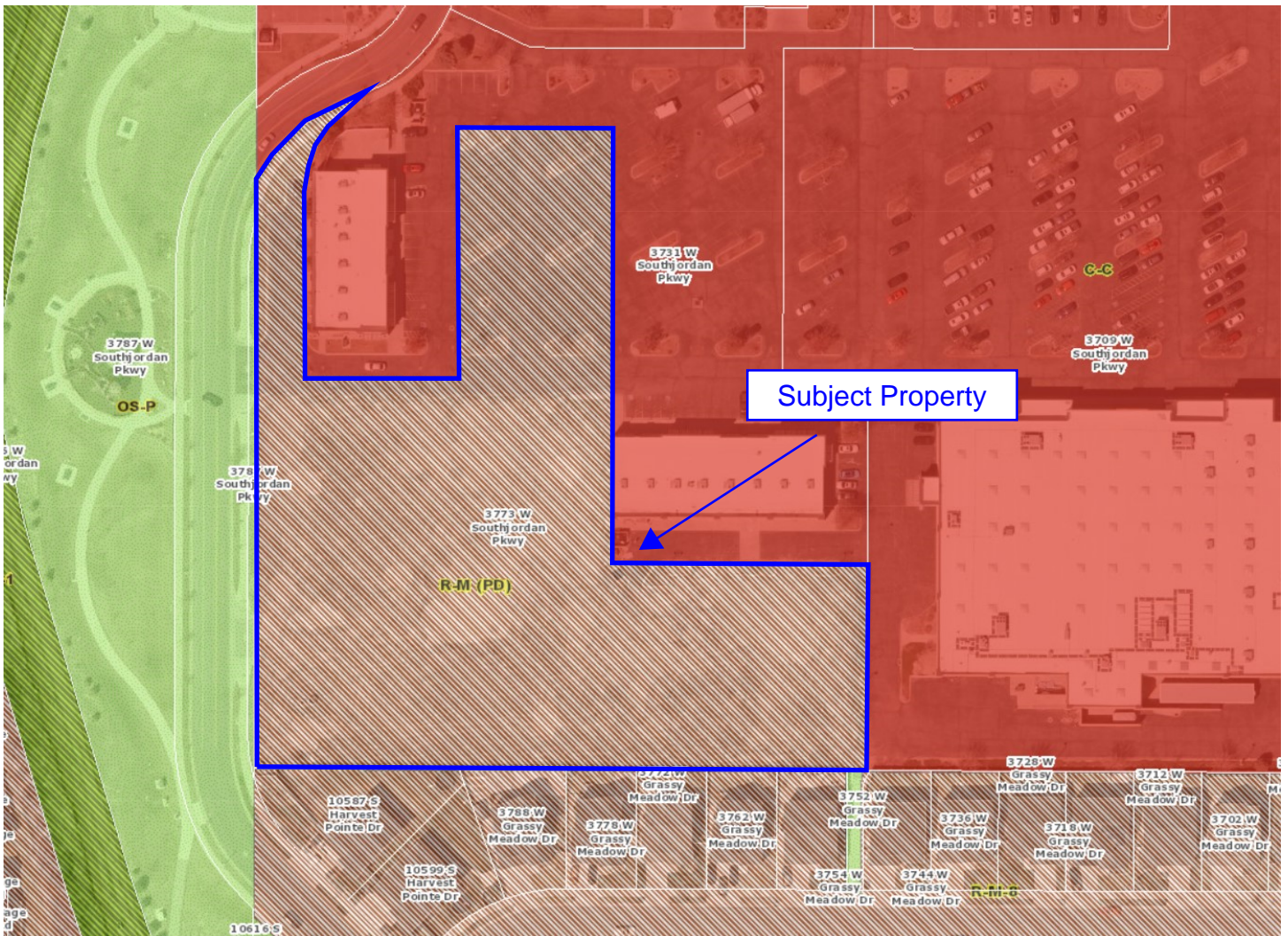


Zoning Map

Harvest Pointe Townhomes

South Jordan City

Item H.4.

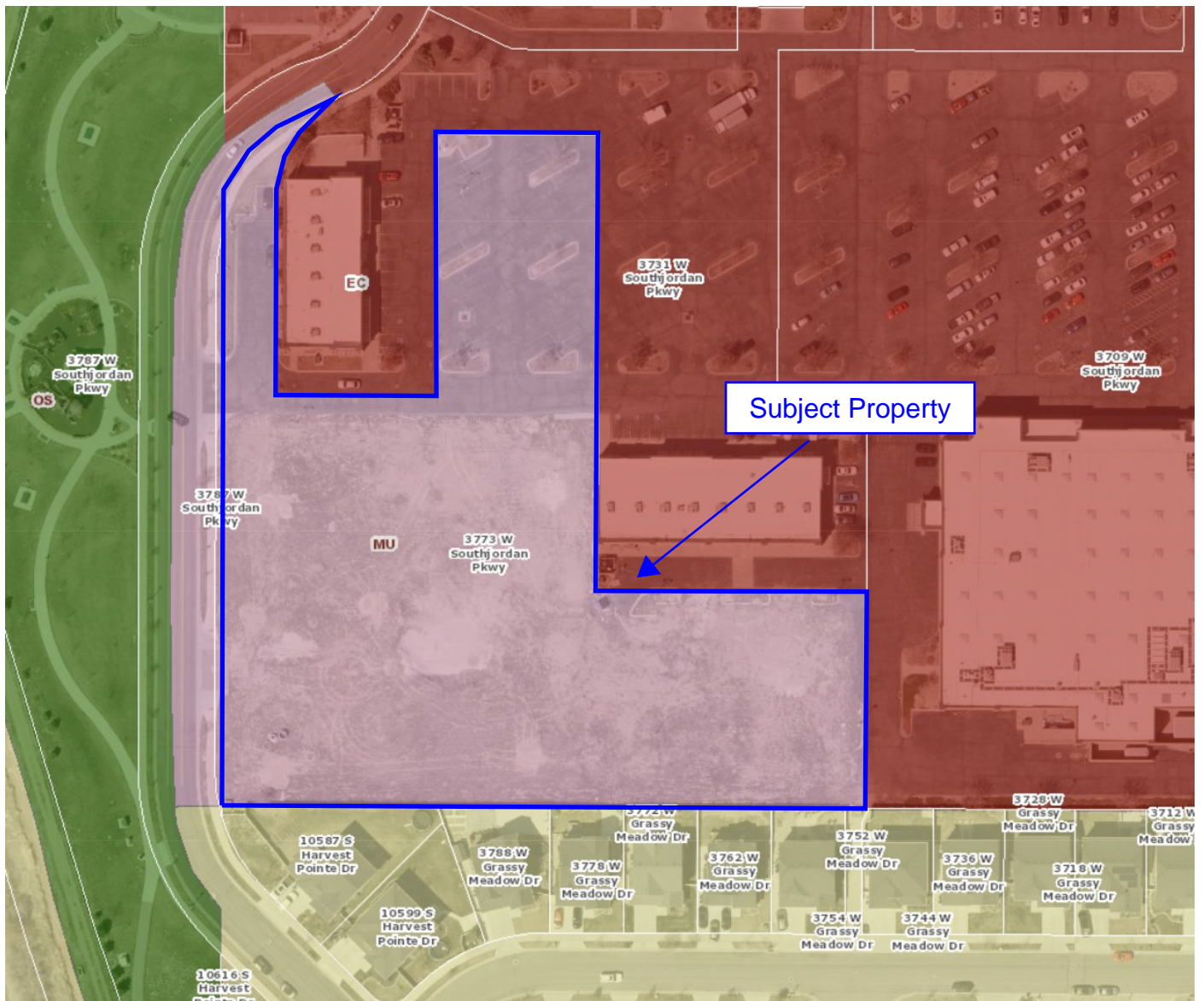


Land Use Map

Harvest Pointe Townhomes

South Jordan City

Item H.4.



LOCATED IN:
3773 S JORDAN PKWY, SOUTH JORDAN, UT



(IN FEET)
1 inch = 40 ft

HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
COVER SHEET

C1.0

1.1 South Jordan City General Notes

1. All work done or improvements installed within South Jordan City including but not limited to excavation, construction, roadwork and utilities shall conform to the South Jordan City Construction Standards and Specifications, City Municipal Code, the latest edition of the APWA Manual of Standard Specifications and Manual of Standard Plans, the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD) and any state or federal regulations and permit requirements of various governing bodies. The contractor is responsible to have a copy of these specifications and to know and conform to the appropriate codes, regulations, drawings, standards and specifications.
2. The existence and location of any overhead or underground utility lines, pipes, or structures shown on these plans are obtained by a research of the available records. Existing utilities are located on plans only for the convenience of the Contractor. The contractor shall bear full responsibility for the protection of utilities and the engineer bears no responsibility for utilities not shown on the plans or not in the location shown on the plans. This includes all service laterals of any kind. The Contractor shall, at his own expense, locate all underground and overhead interferences, which may affect his operation during construction and shall take all necessary precautions to avoid damage to same. The Contractor shall use extreme caution when working near overhead utilities so as to safely protect all personnel and equipment, and shall be responsible for all cost and liability in connection therewith.
3. The Contractor shall take all precautionary measures necessary to protect existing utility lines, structures, survey monuments and street improvements which are to remain in place, from damage, and all such improvements or structures damaged by the Contractor's operations shall be repaired or replaced satisfactory to the City Engineer and owning utility company at the expense of the Contractor.
4. All construction shall be as shown on these plans, any revisions shall have the prior written approval of the City Engineer.
5. Permits are required for any work in the public way. The Contractor shall secure all permits and inspections required for this construction.
6. Curb, gutter, and sidewalk, found to be unacceptable per City Standards and APWA shall be removed and replaced.
7. Contractor shall provide all necessary horizontal and vertical transitions between new construction and existing surfaces to provide for proper drainage and for ingress and egress to new construction. The extent of transitions to be as shown on plans.
8. Any survey monuments disturbed shall be replaced and adjusted per Salt Lake County Surveyors requirements.
9. All privacy walls, new or existing, are only shown on civil plans for the purpose of reviewing grading relationships; flood control and sight distance at intersections. All walls shall have a minimum 2 ft x 2 ft x 30 inch deep spot footings. Bottom of all footings on all walls shall be a minimum of 30 inches below finished grade. Walls greater than 6 feet require a separate permit and inspection by the Building Department.
10. All construction materials per APWA must be submitted and approved by the City Engineer prior to the placement of asphalt within City Right of Way.
11. Request for inspection by the City of South Jordan engineering dept. shall be made by the contractor at least 48 hours before the inspection services will be required, except in an emergency as defined by the South Jordan City Municipal Code § 12.08.010.
12. Work in public way, once begun, shall be prosecuted to completion without delay as to provide minimum inconvenience to adjacent property owners and to the traveling public.
13. The contractor shall take all necessary and proper precautions to protect adjacent properties from any and all damage that may occur from storm water runoff and/or deposition of debris resulting from any and all work in connection with construction.
14. Power poles and/or other existing facilities not in proper location based on proposed improvements shown hereon will be relocated at no expense to the City of South Jordan. Power lines and all other aerial utilities are to be buried and poles removed as determined by the City Engineer.
15. Curb and gutter with a grade of less than four-tenths of one percent shall be constructed by forming. Each joint shall be checked for a grade prior to construction and water tested as soon as possible after construction.
16. Contractor to follow Salt Lake County Noise Ordinance Standards.
17. Contractors are responsible for all OSHA requirements on the project site.
18. A UPDES (Utah Pollutant Discharge Elimination System) permit is required for all construction activities as per state law as well as providing a Storm Water Pollution Prevention Plan to the City.
19. Developer is responsible for locating and repairing all underground streetlight wires, water lines, storm drain lines and irrigation lines until 90% of the bond has been released.
20. All City maintained utilities including; waterline, fire hydrants, streetlight wiring, and storm drain must be in public right of way or in recorded easements.
21. Contractor shall work South Jordan City regular working hours of Monday through Friday 7:00 am to 4:00 pm. If Contractor permits overtime work or work on a Saturday, Sunday or any legal holiday, Contractor shall receive prior approval by City Engineer. Contractor shall obtain all permits and pay Overtime Inspection Fee's to The City of South Jordan on the Thursday prior to the Saturday, Sunday or legal holiday requested. This applies to all work within the public right of way including traffic control and access.
22. Prior to 90% bond release, a legible as-built drawing must be submitted to the City of South Jordan stamped and signed by a professional engineer. As-builts must show all changes and actual field locations of storm drainage, waterlines, irrigation, street lighting, and power. As-builts will be held to the same standard as approved design drawings, no "redlined plans" allowed. In the absence of changes, copies of the approved drawings will be required stating "installed as per drawings". As-built drawings for new developments shall be submitted to the City in the following formats and quantities prior to the 90% bond release: 1 .dxf copy, 1 .pdf copy.
23. Filter fabric wrapped around an inlet grate is not an acceptable inlet sediment barrier. See Chapter 9 of South Jordan City Construction Standards and Specifications for details of approved storm water BMPs.
24. Asphalt paving between October 15 and April 15 is not allowed without a written exception from the Engineering Department.
25. To ensure proper planting, protection and irrigation of trees, mitigating risk of tree failure or future damage to infrastructure, contractors are required to follow the standards and specifications of the ISA – International Society of Arboriculture.
26. All small cell construction must follow the South Jordan City Small Cell Infrastructure Design Guidelines.
27. All construction of Low Impact Development (LID) must follow the South Jordan City Low Impact Development Handbook 2020. With the development of any residential subdivision that proposes LID in public park strips, the developer must construct/install such to completeness, including but not limited to vegetation and landscape irrigation. The developer is responsible to maintain the LID (including landscape) until such time the developer connects any LID landscape irrigation to owner's irrigation of the respective building lot.

- Developer's LID maintenance responsibilities include but not limited to cleaning, repairing, protecting and clear of any debris. The building lot owner shall maintain in perpetuity any LID constructed anywhere on the building lot, including the park strip area within public right of way.
28. When a proposed development borders a collector, minor collector or arterial street and is required to construct collector street fencing along the back of sidewalk, the development shall also be required put in a concrete mow strip from the back of sidewalk to underneath the fence panels. Concrete mow strips shall also be required between the sidewalk and fencing along the rear of double frontage lots.
29. One-way valves are required on residential land drain lines that go from a foundation drain on a home to a public storm drain system.
- 1.2 City of South Jordan Traffic Notes
1. When a designated "Safe Route To School" is encroached upon by a construction work zone the safe route shall be maintained in a manner acceptable to South Jordan City and the Jordan School District.
2. If the improvements necessitate the obliteration, temporary obstruction, temporary removal or relocation of any existing traffic pavement marking, such pavement marking shall be restored or replaced with like materials to the satisfaction of the City Engineer, Public Works Director or designee.
3. The street Sign Contractor shall obtain street names and block numbering from the Planning Department prior to construction.
4. The Contractor shall be responsible for providing and installing all permanent signs shown on the plans. Street name signs shall conform in their entirety to current City Standards. All other signs shall be standard size unless otherwise specified on the plans. All sign posts shall be installed in accordance with the current City Standards.
5. All permanent traffic control devices called for hereon shall be in place and in final position prior to allowing any public traffic onto the portions of the road(s) being improved hereunder, regardless of the status of completion of paving or other off-site improvements called for per approved construction drawings unless approved by the City Engineer.
6. The Contractor shall be responsible for notifying Utah Transit Authority (UTA) if the construction interrupts or relocates a bus stop or has an adverse effect on bus service on that street to arrange for temporary relocation of stop.
7. Before any work is started in the right-of-way, the contractor shall install all advance warning signs for the construction zone. The contractor shall install temporary stop signs at all new street encroachments into existing public streets. All construction signing, barricading, and traffic delineation shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) per the current edition adopted by UDOT and be approved by the City of South Jordan before construction begins.
8. All signs larger than 36" X 36" or 1296 square inches per sign pole shall be mounted on a Slip Base system per UDOT standard drawing SN 108 (detail drawing attached to standard drawings) with a "Z" bar backing. Signs of this size are not allowed to be mounted on a yielding pole.
9. Sign components such as sheeting, EC film, inks, letters and borders are all required to be from the same manufacturer. Only EC film may be used to achieve color. Vinyl EC film is not accepted.
10. All new roundabouts, crosswalks, stop bars and legends shall be installed with 90 mil preformed thermo plastic.
11. Paving asphalt binder grade shall be PG 58-28 unless otherwise approved by the City Engineer. Asphalt aggregate size shall be ½ inch for residential and collector roads. No more than 15% RAP (reclaimed asphalt pavement) by weight will be allowed in the asphalt mix design for the paving of public and private streets. Up to the 15 percent will be allowed with no change in the specific binder grade. The asphalt mix design shall have no more than 3½ % air voids.
12. Potholing: All potholes must be saw cut square and have a minimum size of 1 square foot. When repairing a pothole, sand or pea gravel meeting South Jordan City standards shall be placed over the exposed utility to a depth of 6 inches. Following the pea gravel will be flowable fill up to 1 inch below the bottom edge of the existing asphalt. The remaining portion of the hole shall be filled with asphalt, which will have an overall thickness of the existing asphalt plus 1 inch.
13. All fill within the public right of way shall be A-1-A to A-3, with the exception of top soil in the park strip for landscaping and trench backfill. Trench backfill material under pavements or surface improvements shall be clean, nonclumping, granular and flowable, 2" minus, A-1-a to A-2-7 soils according to AASHTO 145 soil Classification System. Lime treated flowable fills, if approved, shall have a 28-day strength of 65 PSI.
14. All traffic road closures involving 1 or more lanes of traffic must receive prior approval from the City Engineer or his/her representative. VMS PCMS boards must be placed a minimum of 7 days in advance of any lane closure on collector, minor collector or arterial street. VMS PCMS boards must also be placed in advance of any lane closures on a subdivision street per the City Engineer's direction.
15. Roundabouts, including their ingress and egress, shall be constructed with concrete pavement. Engineer shall design cross section and submit to the City for review and approval.
16. Alleyways and Lanes are to have 6 feet maximum spacing for control joints in straight sections and are to have an expansion joint every 60 feet and at all pc's and pt's.
17. Construction of any public street requires a sign off checklist prior to the road being opened to traffic for use by the general public. The checklist must be requested by the Developer. The city's assigned project engineer will prepare the checklist and provide it to the developer/contractor.
18. Trees are not allowed to be planted within 30' of a stop sign.
- 1.3 City of South Jordan Street Light Notes
- All work shall be installed in accordance with the most current South Jordan City Standards and N.E.C. (National Electric Code). A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction. No deviation of streetlight, pull boxes, conduits, etc., locations shall be permitted without prior WRITTEN APPROVAL from the City Engineer or his/her representative.
- An electronic copy of the street light redlines, showing the same items listed above for the street light plan, shall be submitted to the South Jordan City Engineering Department after the street lights have been installed but prior to them being connected by Rocky Mountain Power.
1. Location of the Street light pole.
- a. Shall not be installed within 5 feet of a fire hydrant. The location shall be such that it does not hinder the operation of the fire hydrant and water line operation valves.
- b. Shall be a minimum of 5 feet from any tree, unless written approval is received from the City Engineer. Branches may need to be pruned as determined by the Engineering Inspector in the field at the time of installation.
- c. Shall not be installed within 5 feet from the edge of any driveway.
2. Anti-seize lubricant shall be used on all cover bolts and ground box bolts.

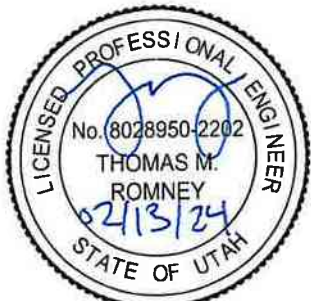
3. All existing street lighting shall remain operational during construction.
4. Any structure such as block walls, chain link fences, retaining walls, etc. shall leave a minimum of eighteen (18) inches to the face of the street light pole on all sides.
5. All service point(s) shall be coordinated with Rocky Mountain Power and whenever possible be located near the center of the circuit. Service point(s) shall be shown on the plans with a schematic from Rocky Mountain Power. Pole locations as shown on the approved plans may be adjusted in the field by the Engineering Inspector at time of installation at no additional cost to the City.
6. It shall be required that in the absence of an existing workable circuit to attach to, that all installations shall require a new service for operation of the circuits in this case developer and or his engineer shall contact Rocky Mountain Power.
7. Wherever there is an overhead utility that may conflict with the installation of the street light circuits and/or streetlight poles, those conflicts must be resolved between the developer and the utilities involved before the street light bases are constructed at no expense to the City of South Jordan or Rocky Mountain Power. The resolution must be approved by the City of South Jordan and Rocky Mountain Power.
8. The contractor shall furnish a complete service to the transformers and control systems if required on the plans and/or is deemed necessary by Rocky Mountain Power and/or South Jordan City.
9. A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction.
10. The contractor shall be required to perform a 10 day burn test of the street lights after they are connected and energized by Rocky Mountain Power. This test shall be coordinated and witnessed by a South Jordan Engineering Inspector.
11. Each streetlight pole shall have its own photo cell independent of a master control. On double head fixtures a single photo cell shall be installed on the north most facing head and be wired to energize both heads.
- 1.4 City of South Jordan Grading Notes
1. In the event that any unforeseen conditions not covered by these notes are encountered during grading operations, the Owner and City Engineer shall be immediately notified for direction.
2. It shall be the responsibility of the Contractor to perform all necessary cuts and fills within the limits of this project and the related off-site work, so as to generate the desired subgrade, finish grades and slopes shown.
3. Contractor shall take full responsibility for all excavation. Adequate shoring shall be designed and provided by the Contractor to prevent undermining of any adjacent features or facilities and/or caving of the excavation.
4. The Contractor is warned that an earthwork balance was not necessarily the intent of this project. Any additional material required or leftover material following earthwork operations becomes the responsibility of the Contractor.
5. Contractor shall grade to the lines and elevations shown on the plans within the following horizontal and vertical tolerances and degrees of compaction, in the areas indicated:
- Horizontal Vertical Compaction
- a. Pavement Area Subgrade 0.1"+ +0.0" to -0.1' See soils Report
- b. Engineered Fill 0.5"+ +0.1" to -0.1' See Soils Report

Compaction Testing will be performed by the developer or his representative.

6. All cut and fill slopes shall be protected until effective erosion control has been established.
7. The use of potable water without a special permit for building or construction purposes including consolidation of backfill or dust control is prohibited. The Contractor shall obtain all necessary permits for construction water from the Public Works Department.
8. The Contractor shall maintain the streets, sidewalks and all other public right-of-way in a clean, safe and usable condition. All spills of soil, rock or construction debris shall be promptly removed from the publicly owned property during construction and upon completion of the project. All adjacent property, private or public shall be maintained in a clean, safe and usable condition.
9. In the event that any temporary construction item is required that is not shown on these drawings, the Developer agrees to provide and install such item at his own expense and at the direction of the City Engineer. Temporary construction includes ditches, berms, road signs and barricades, etc.
10. All grading work shall conform to the soils report as prepared by the Soils Engineer and approved by the City Engineer, and as shown on these plans.
- 1.5 City of South Jordan Fire Department Notes
1. On any new home or building installation, accessible fire hydrants shall be installed before combustible construction commences and said fire hydrants shall be in good working order with an adequate water supply.
2. Contractor shall call the Public Works Department and Engineering Inspector for underground inspection, pressure and flush verification of all fire hydrants and fire lines before back filling.
3. Painting of the curbs and hydrant and any work necessary for protection of hydrants from physical damage shall be approved before being constructed.
4. A flow test must be witnessed by the Fire Department prior to occupancy for verification of required on-site water supply.
5. All on-site fire main materials must be U.L. listed and A.W.W.A. approved.
6. The turning radius for any fire apparatus access road and/or fire lane, public or private, shall be not less than forty-five feet (45') outside radius and twenty-two feet (22') inside radius and shall be paved.
7. A fire apparatus road shall be required when any portion of an exterior wall of the first story is located more than one-hundred fifty feet (150') from Fire Department vehicle access roads and/or fire lanes, public or private, in excess of onehundred fifty feet (150') in length shall be provided with an approved turn around area.
8. Access roads shall be marked by placing approved signs at the start of the designated fire lane, one sign at the end of the fire lane and width signs at intervals of one-hundred feet (100) along all designated fire lanes. Signs to be placed on both sides of an access roadway if needed to prevent parking on either side. Signs shall be installed at least 5', measured from the bottom edge of the sign to the near edge of pavement. Where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 7'. The curb along or on the pavement or cement if curb is not present, shall be painted with red weather resistant paint in addition to the signs.
9. Electrically controlled access gates shall be provided with an approved emergency vehicle detector/receiver system. Said system shall be installed in accordance with the South Jordan City F.D. approval. Gates are only allowed with prior approval.
10. All underground fire lines that service automatic fire sprinkler systems shall be no smaller than six (6) inches in diameter and have a PIV between the water main and the building. If a PIV isn't feasible due to site constraints, a WIV may be used with the approval of the City Engineer or Fire Code Official. For a WIV to be allowed, another valve must be installed on the fire service line back at the connection to the water main, which will be maintained by the City as part of it's culinary water system. All fire lines material shall be Ductile Iron. (Ductile Iron from the PIV to the building shall be permitted or Ductile Iron from the main water line to the WIV).

11. Post Indicator Valves (PIV) shall be between 6 and 40 feet from buildings not exceeding three stories or equivalent in height and between 30 and 40 feet on buildings in excess of three or more stories in height or equivalent.
12. Roads and accesses shall be designed and maintained to support the imposed loads of fire apparatus. Surface shall be paved before the application of combustible material.

13. All new buildings equipped with a Fire Department Connection (FDC) must have inlets secured with Knox brand locking FDC cap(s) with a swivel collar. All new buildings are also required to have a Knox brand key lock box mounted on the exterior building, such that Fire Department personnel may gain access in case of an emergency.
- 1.6 South Jordan City Water Notes
1. The following South Jordan City Water Notes are intended for general water standards only and are not all inclusive. The City has included the Culinary Water Design and Construction Standards within the City Construction Standards and Specifications.
2. No work shall begin until the water plans have been released for construction by the Engineering Department. Following water plan approval, forty-eight (48) hour notice shall be given to the Engineering Inspector and the Public Works Department (253- 5230) prior to the start of construction. Notice must be given by 2:00 P.M. the business day prior to an inspection.
3. All work within South Jordan City shall conform to South Jordan City Standards and Specifications, AWWA and APWA.
4. For Residential Developments - The developer shall purchase and install meter boxes and setters according to City Standards on newly developed lots and real property at the time of water main installation. Water meters will be supplied and installed by the South Jordan Public Works Department (at Developer's expense). The developer shall also provide the site address, lot number, meter size and pay meter fees prior to building permit approval.
5. For Commercial and Condominium Developments - The developer shall purchase and install meter boxes and setters according to City Standards. Water meters will be supplied by South Jordan Public Works Department (at Developer's expense) and installed by Developer.
6. All water facilities shall be filled, disinfected, pressure tested, flushed, filled and an acceptable water sample obtained prior to commissioning the new water line to the South Jordan City Culinary Water Distribution System.
7. South Jordan Public Works Department must approve water shut down which may require evening and weekend shut down as deemed necessary, requiring the contractor to be billed for overtime. 48 hour notice is required.
8. Water stub-out installations will not be construed as a commitment for water service.
9. Conditional Approval of Valved Outlet (6" and Larger): In the event the water plans show one or more valved outlets extending out of paved areas, installations of these outlets is acceptable, however, if the outlets are incorrectly located or not used for any reason when the property is developed, the developer shall abandon the outlets at the connection to the active main in accordance with the city standards and at the developer's expense.
10. All lines to be pressure tested according to South Jordan City and AWWA standards and chlorinated prior to use and final acceptance.
11. All fittings to be coated with poly fm grease and wrapped with 8-mil thick polyethylene.
12. No other utility lines may be placed in the same trench with water line unless approved by the City Engineer.
13. Any conflict with existing utilities shall be immediately called to the attention of the City Engineer or designee.
14. All water vaults will be constructed per City of South Jordan standard drawings and specifications. No vaults are allowed in traffic areas without prior approval of the City Engineer.
15. Landscaping and irrigation adjacent to vaults shall drain away from vaults.
16. Once the waterline has been tested, approved and city water is flowing through the pipe, only City personnel are authorized to shut down and charge the waterline.
17. Megalug following ring or an approved equivalent shall be used on all fittings.
18. APWA plan 562, City requires stainless steel tie-down restraints with turnbuckles only. 5/8" rebar is not acceptable. Megalug followers required on all fittings and all dimensions of thrust blocking still apply. Thrust blocks may be eliminated if horizontal tie down restraints have been pre-engineered and receive prior City approval.
19. Water mains will be hot tapped as called out on the approved plans. Under special circumstances, when a contractor submits a request for a shutdown contrary to the approved plans and the request is approved at the discretion of the City Engineer or designee, the contractor must provide 48-hour notice to neighbors and those affected. If businesses are impacted by the shutdown it will be done after hours and all overtime fees for City personnel, equipment and vehicles must be paid in advance.
20. Contractors are required to write the lot number with a black permanent marker on the inside of the water meter barrels as they are installed.



HARVEST PONTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
SOUTH JORDAN CITY STANDARD NOTES

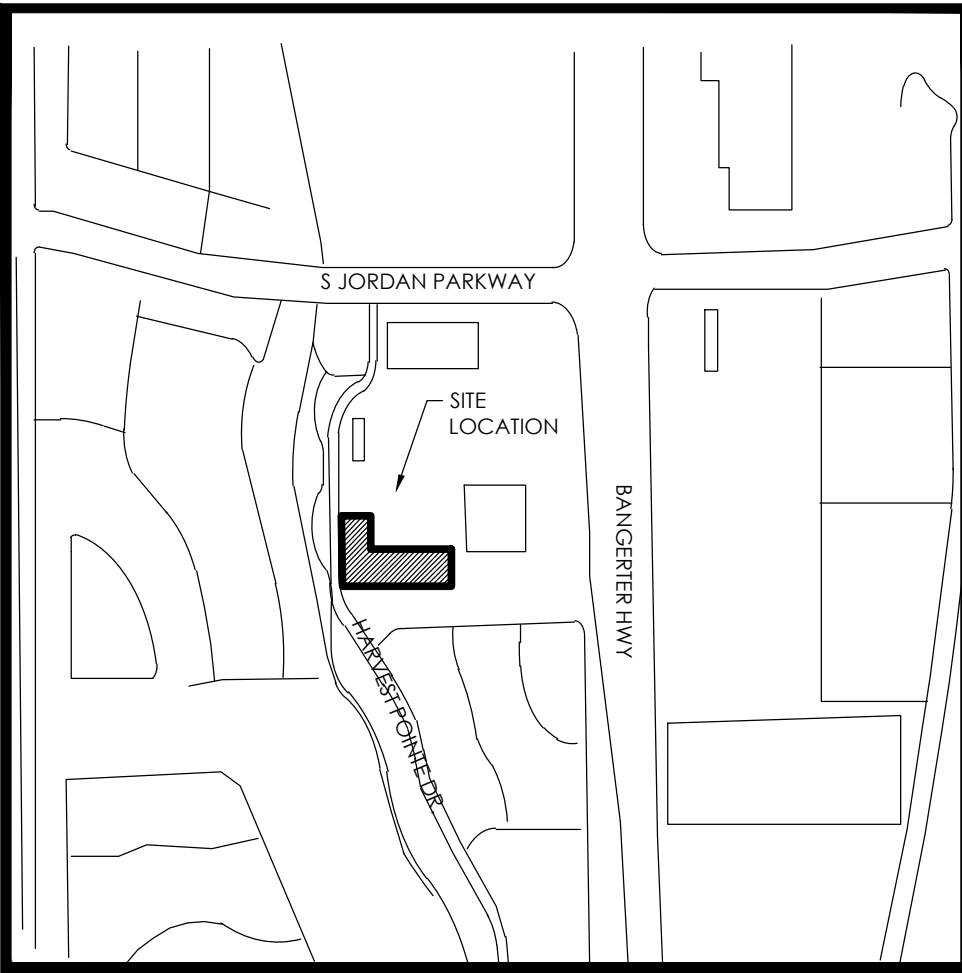
REVISION BLOCK		DESCRIPTION
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4	----	----
5	----	----
6	----	----

SOUTH
JORDAN CITY
STANDARD
NOTES

Scale: N/A	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	

C1.1





VICINITY MAP

N.T.S.

LEGEND

	BOUNDARY
	SECTION LINE
	EASEMENT
	RIGHT-OF-WAY LINE
	CENTERLINE
	BUILDING SETBACK
	EXISTING PROPERTY LINE

	SECTION MONUMENT (FOUND)
	STREET MONUMENT (TO BE SET)
	BOUNDARY MARKERS
	PRIVATE AREA
	LIMITED COMMON
	COMMON AREA

NOTES:

- #5 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL REAR LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
- PARCELS A, B, AND C ARE HEREBY DEDICATED AS COMMON AREA AND TO BE MAINTAINED BY THE HARVEST POINTE TOWNHOMES OWNERS ASSOCIATION, A UTAH NONPROFIT CORPORATION, WITH A REGISTERED ADDRESS OF 225 S 200 E #200, SALT LAKE CITY, UTAH
- ALL COMMON AREAS, LIMITED COMMON AREAS AND PRIVATE ROADS ARE TO SERVE AS A PUBLIC UTILITY AND DRAINAGE EASEMENTS.
- ALL UNITS BUILDING WALLS ARE PARALLEL WITH, PERPENDICULAR TO, OR AT 45° ANGLE TO REFERENCE BEARING SHOWN ON BUILDING.
- OWNERS AND POTENTIAL PURCHASERS OF PROPERTY LEGALLY DESCRIBED BY THIS PLAT (THE "PROPERTY") SHOULD FAMILIARIZE THEMSELVES WITH ALL NOTES, LOT INFORMATION, EASEMENTS, AND OTHER PERTINENT INFORMATION CONTAINED WITH THIS PLAT AND ALSO WITH ANY CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&RS) DOCUMENTS THAT MAY BE RECORDED AGAINST THE PROPERTY. OWNERS AND POTENTIAL PURCHASERS OF THE PROPERTY MUST COMPLY WITH ALL NOTES, EASEMENTS, CC&RS, AND OTHER RECORDED DOCUMENTS RELATED TO HIS PLAT, TO ADHERE TO THE NOTES, LOT INFORMATION, EASEMENTS, CC&RS, OR OTHER RECORDED DOCUMENTS RELATED TO THIS PLAT, AS CURRENTLY EXISTING OR AS MAY FROM TIME TO TIME BE CHANGED AND/OR AMENDED. FAILURE TO ADHERE TO THE NOTES, LOT INFORMATION, EASEMENTS, CC&RS, OR OTHER DOCUMENTS RECORDED AGAINST THE PROPERTY COULD RESULT IN FINANCIAL LOSS OR CHANGES IN EXPECTED PROPERTY USE.
- MANY AREAS IN THE CITY OF SOUTH JORDAN HAVE GROUNDWATER PROBLEMS DUE TO A HIGH OR FLUCTUATING WATER TABLE. CITY APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION WILL SOLVE GROUNDWATER PROBLEMS. IF ANY.
- APPROVAL OF THIS PLAT BY SOUTH JORDAN CITY DOES NOT MEAN THAT INDIVIDUAL LOT DRAINAGE TO A ROAD OR RETENTION FACILITY IS ASSURED. DEVELOPMENT AND GRADING MAY NECESSITATE SWALES AND OTHER DRAINAGE FACILITIES TO PROTECT INDIVIDUAL PROPERTIES. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT SWALES AND OTHER DRAINAGE FACILITIES ARE APPROPRIATE AND MAINTAINED NOR THAT DRAINAGE FROM ADJACENT PROPERTIES IS PREVENTED.
- THE OWNER CERTIFIES THAT THE TITLE REPORT DATED _____, WHICH WAS PREPARED BY _____, WAS PROVIDED TO OWNER'S SURVEYOR AND THAT THE PLAT SHOWS ALL EASEMENTS AND ENCUMBRANCES LISTED IN SAID TITLE REPORT.
- THIS PLAT IS SUBJECT TO THAT CERTAIN DEVELOPMENT AGREEMENT DATED JANUARY 30, 2023, BY AND BETWEEN THE CITY OF SOUTH JORDAN AND HARVEST POINTE LLC, INCLUDING ALL PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES, ASSESSMENTS, LIENS OR RIGHTS, IF ANY, CREATED THEREIN AND RECORDED ON JANUARY 30, 2023 AS ENTRY NO. 14067211, IN BOOK 11398, AT PAGE 2762 OF THE OFFICIAL RECORDS OF SALT LAKE COUNTY.
- THE FINISH FLOOR ELEVATION ON EACH LOT WILL NOT EXCEED 4' ABOVE THE TOP BACK OF CURB ELEVATION ACROSS THE FRONTAGE OF THE LOT.
- PARCEL D CONVEYED AS PRIVATE RIGHT-OF-WAY TO BE OWNED AND MAINTAINED BY THE HOA.

HARVEST POINTE WEST TOWNHOMES

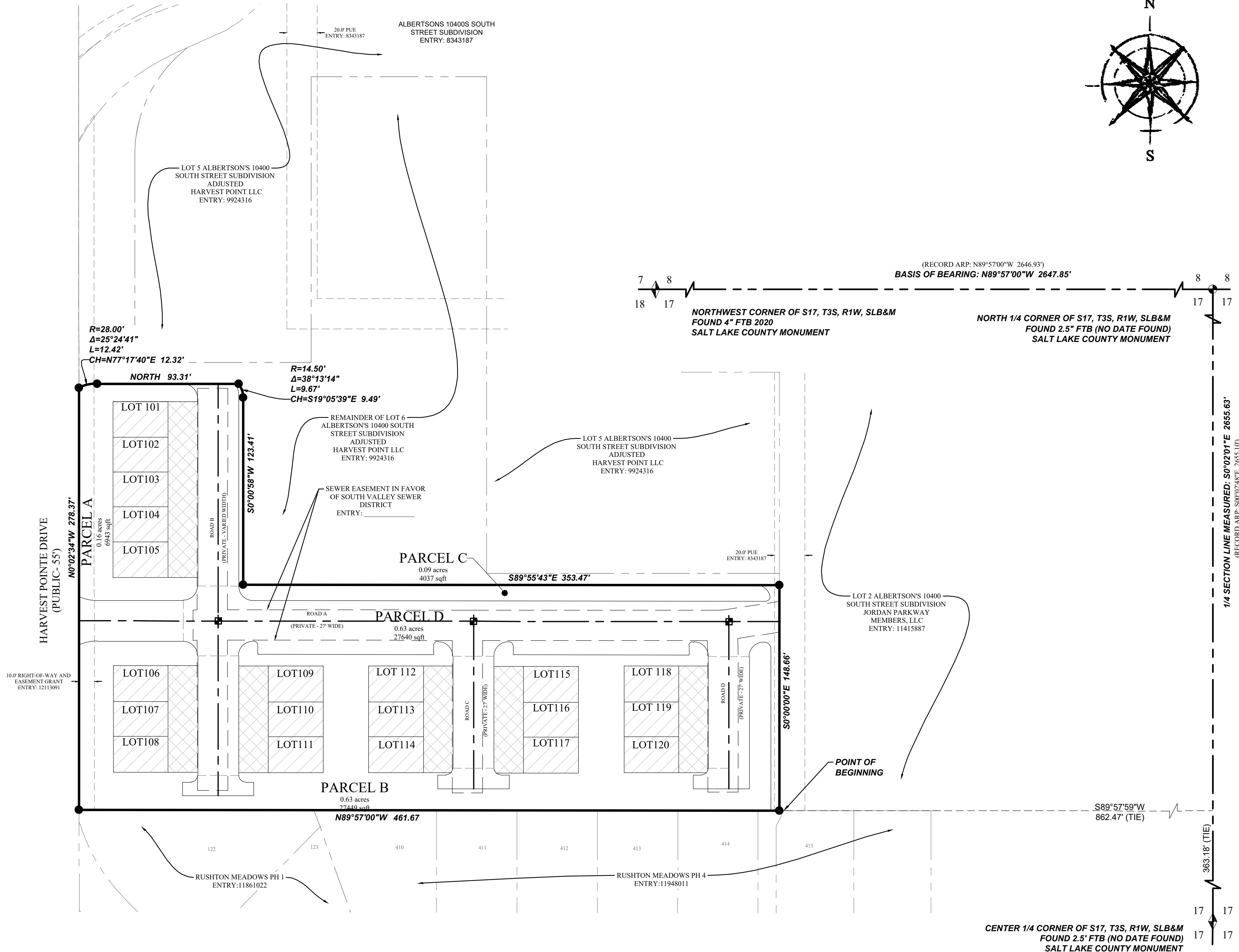
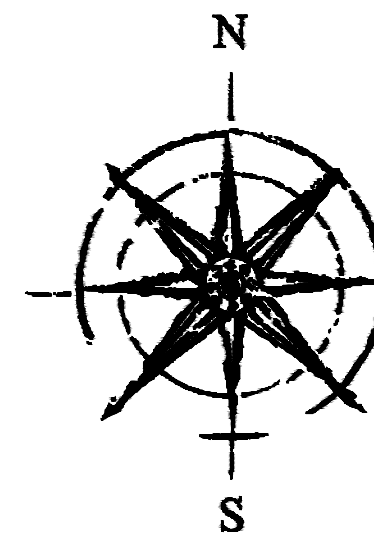
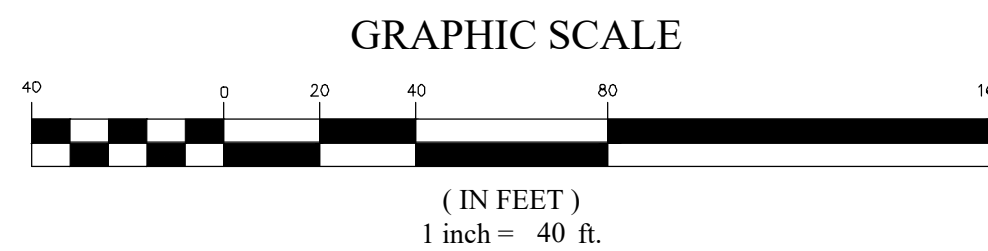
AMENDMENT PLAT

VACATING AND AMENDING PART OF ADJUSTED LOT 6 OF ALBERTSON'S 10400 SOUTH STREET SUBDIVISION

LOCATED IN THE NW 1/4 OF SECTION 17, T3S, R1W,

SALT LAKE BASE & MERIDIAN

SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

**SURVEYOR'S CERTIFICATE**

I, JUSTIN LUNDBERG, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NUMBER 12554439 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND PARCELS, HEREAFTER TO BE KNOWN AS:

HARVEST POINTE WEST TOWNHOMES

AMENDMENT PLAT

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

FOR REVIEW

JUSTIN LUNDBERG
Professional Land Surveyor
License No. 12554439

Date

BOUNDARY DESCRIPTION

A part of Lot 6 of ALBERTSON'S 10400 SOUTH STREET SUBDIVISION according to the official plat thereof recorded September 15, 2002 as Entry No. 8343187 in Book 2002P at Page 243 in the Salt Lake County Recorder's Office, Being a part of the Northwest Quarter of Section 17, Township 3 South, Range 1 West, Salt Lake Base and Meridian (Basis of Bearing: N89°57'00\"/>

Beginning at a point located on the south boundary line of Albertson's 10400 South Street Subdivision, said point being N0°02'01\"/>

Containing 1.91 acres +/-
20 Lots and 4 Parcels

OWNER'S DEDICATION

KNOWN ALL BY THESE PRESENT THAT WE, THE UNDERSIGNED OWNERS OF THE DESCRIBED TRACT OF LAND ABOVE, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS

HARVEST POINTE WEST TOWNHOMES

AMENDMENT PLAT

DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, AND MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES. PURSUANT TO UTAH CODE 10-9A-604(1)(D) THE OWNER HEREBY CONVEYS PRIVATE STREETS, PARCELS A, B, C, AND E, AS INDICATED HEREON, TO HARVEST POINTE TOWNHOMES HOMEOWNERS ASSOCIATION INC., WITH A REGISTERED ADDRESS OF 225 S 200 E #200, SALT LAKE CITY, UTAH

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____ A.D. 20 ____

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
S.S.
COUNTY OF _____

ON THE ____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF UTAH, _____, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE _____ OF _____, L.L.C., A UTAH L.L.C. AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN _____ COUNTY

MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

HARVEST POINTE WEST TOWNHOMES

AMENDMENT PLAT

VACATING AND AMENDING PART OF LOT 6
OF ALBERTSON'S 10400

LOCATED IN THE NW 1/4 OF SECTION 17, T3S, R1W,
SALT LAKE BASE & MERIDIAN
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY RECORDER

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF:

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

\$ _____
FEE _____ SALT LAKE COUNTY DEPUTY RECORDER

SHEET 1 of 2

PLAT PREPARED BY

FOCUS
ENGINEERING AND SURVEYING, LLC
6949 SOUTH HIGH TECH DRIVE SUITE 200
MIDVALE, UT 84047 PH: (801) 352-0075
www.focusutah.com

SALT LAKE VALLEY HEALTH DEPARTMENT

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20____

SALT LAKE VALLEY HEALTH DEPARTMENT

SOUTH VALLEY SEWER DISTRICT

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20____

GENERAL MANAGER

SOUTH JORDAN CITY PLANNR

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20____ BY THE SOUTH JORDAN CITY PLANNER.

CITY PLANNER

SOUTH JORDAN CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE _____ SOUTH JORDAN CITY ENGINEER _____

OFFICE OF THE CITY ATTORNEY

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20____

ATTORNEY FOR SOUTH JORDAN CITY

EASEMENT APPROVAL

CENTURYLINK DATE _____

ROCKY MOUNTAIN POWER DATE _____

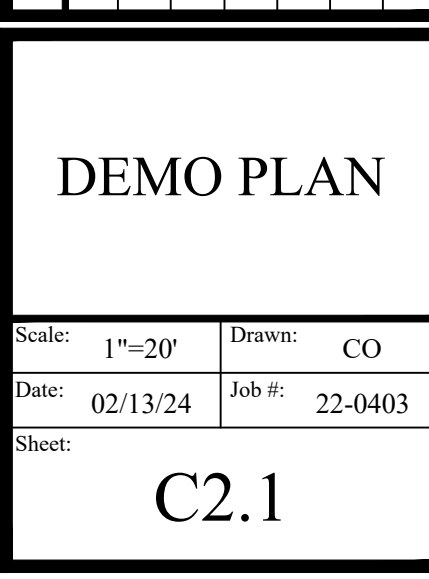
QUESTAR GAS CO. DATE _____

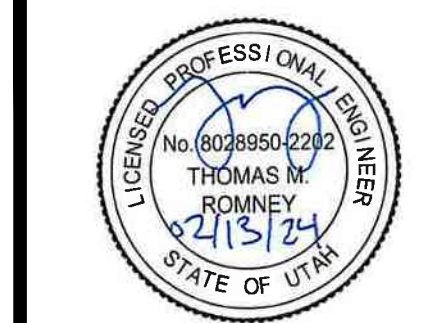
COMCAST CABLE CO. DATE _____

SOUTH JORDAN CITY MAYOR

APPROVED AS TO FORM THIS ____ DAY OF _____, A.D., 20____

ATTEST: _____ CITY CLERK _____ MAYOR _____

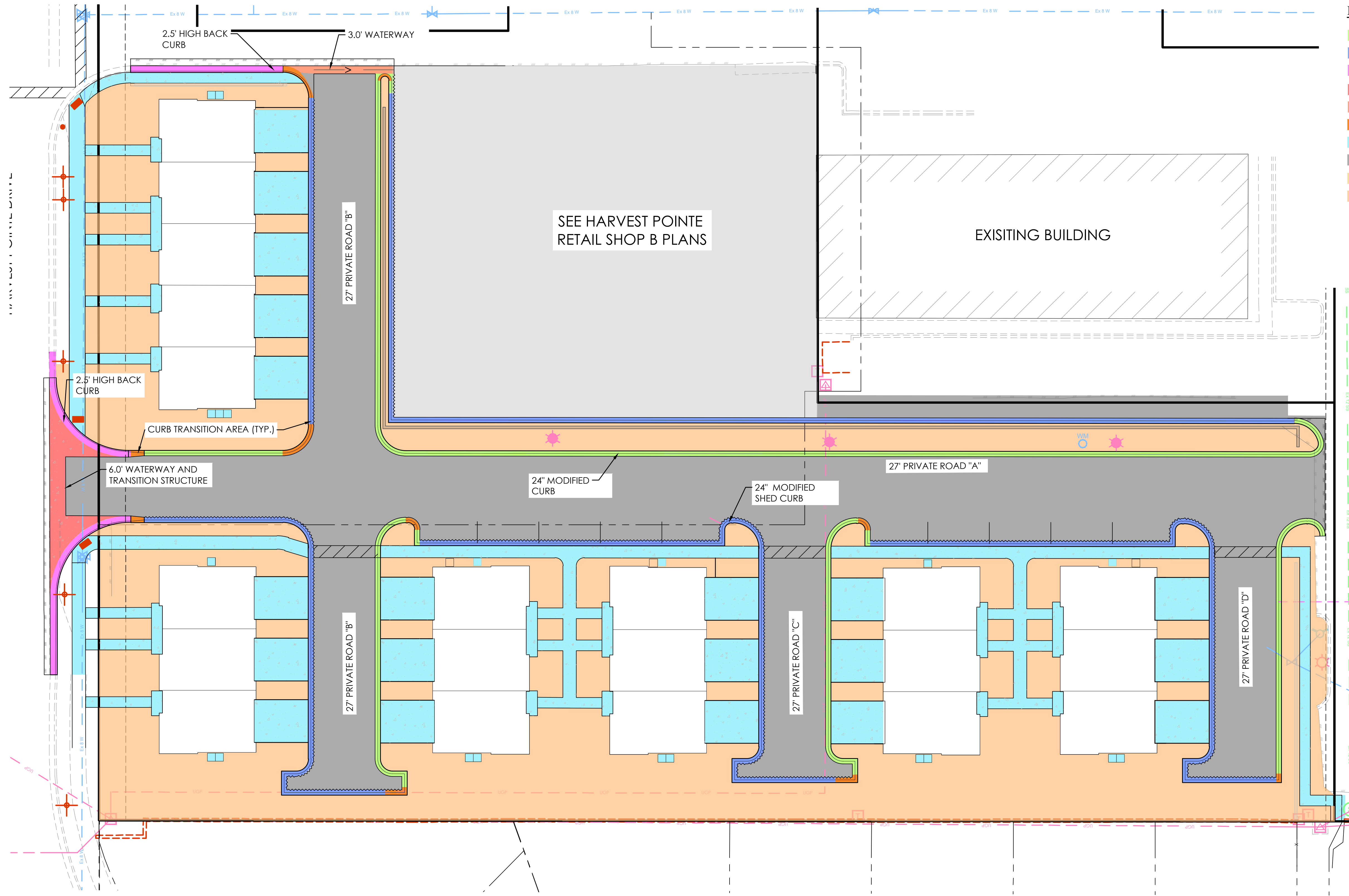




REVISION BLOCK		
#	DATE	DESCRIPTION
1	10-1-88	10-1-88
2	10-1-88	10-1-88
3	10-1-88	10-1-88
4	10-1-88	10-1-88
5	10-1-88	10-1-88
6	10-1-88	10-1-88

Scale: 1"=20'	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	
C3.0	



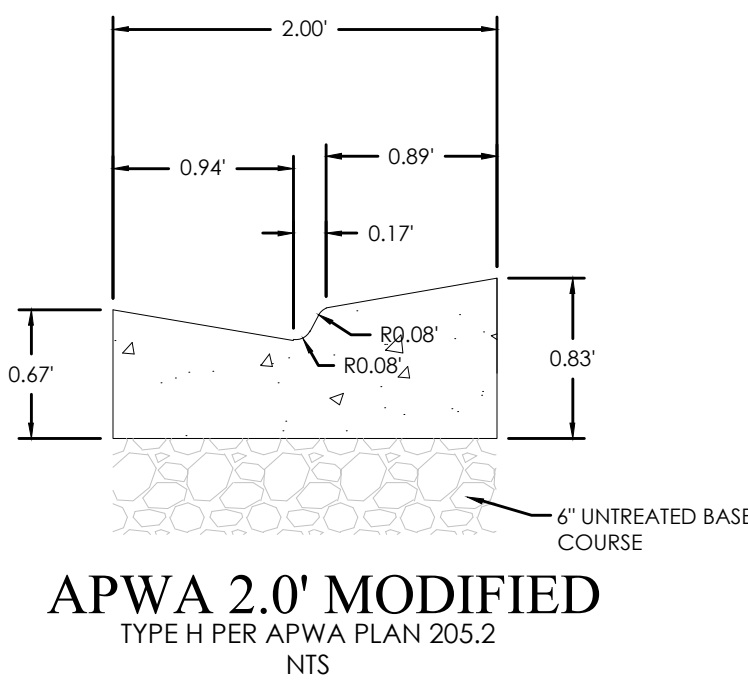


HARDSCAPE LEGEND

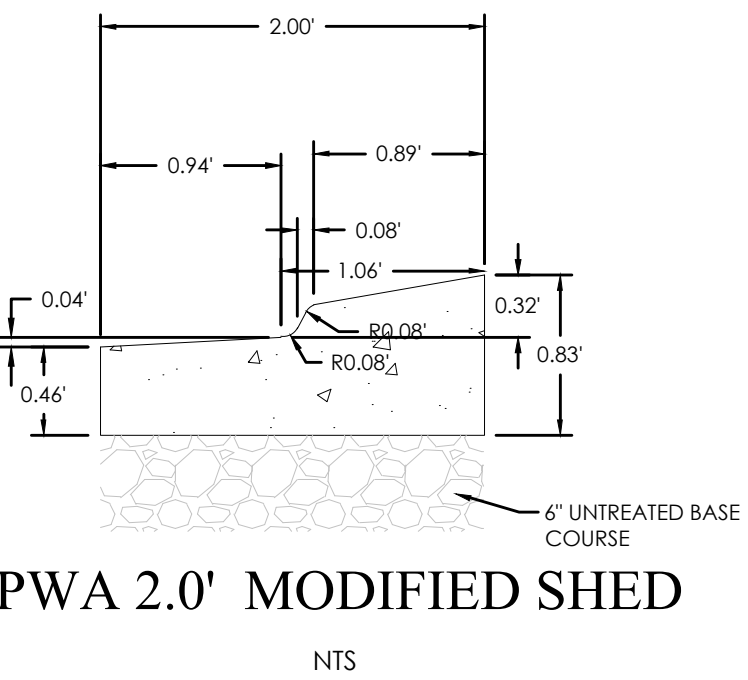
- APWA 2.0' MODIFIED CURB
- APWA 2.0' MODIFIED SHED CURB
- 2.5' HIGH BACK CURB
- 6' WATERWAY AND TRANSITION STRUCTURE
- 3' WATERWAY
- TRANSITION ZONE
- SIDEWALK 6" CONCRETE OVER 5" ROAD BASE
- DRIVE AISLE 3.5" ASPHALT OVER 12" ROADBASE
- CONCRETE DRIVEWAYS & ADA PARKING 5.0" CONCRETE OVER 10" ROADBASE
- LANDSCAPE AREA

NOTES

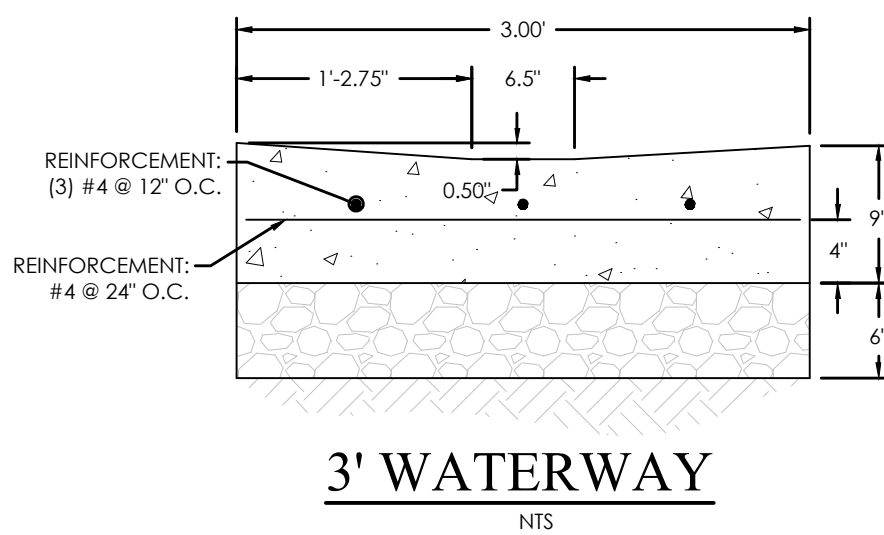
- FOR ALL PAVEMENT CROSS SECTIONS, SEE GEOTECHNICAL STUDY BY IGES, INC. DATED 03/22/2023 (PROJECT NUMBER 01721-032), FOR ADDITIONAL RECOMMENDATIONS.
- ALL PROPOSED CURB & WATERWAYS PER APWA STANDARDS
- BASE COURSE SHOULD EXTEND 6" PAST BACK OF CURB PER APWA STANDARDS.



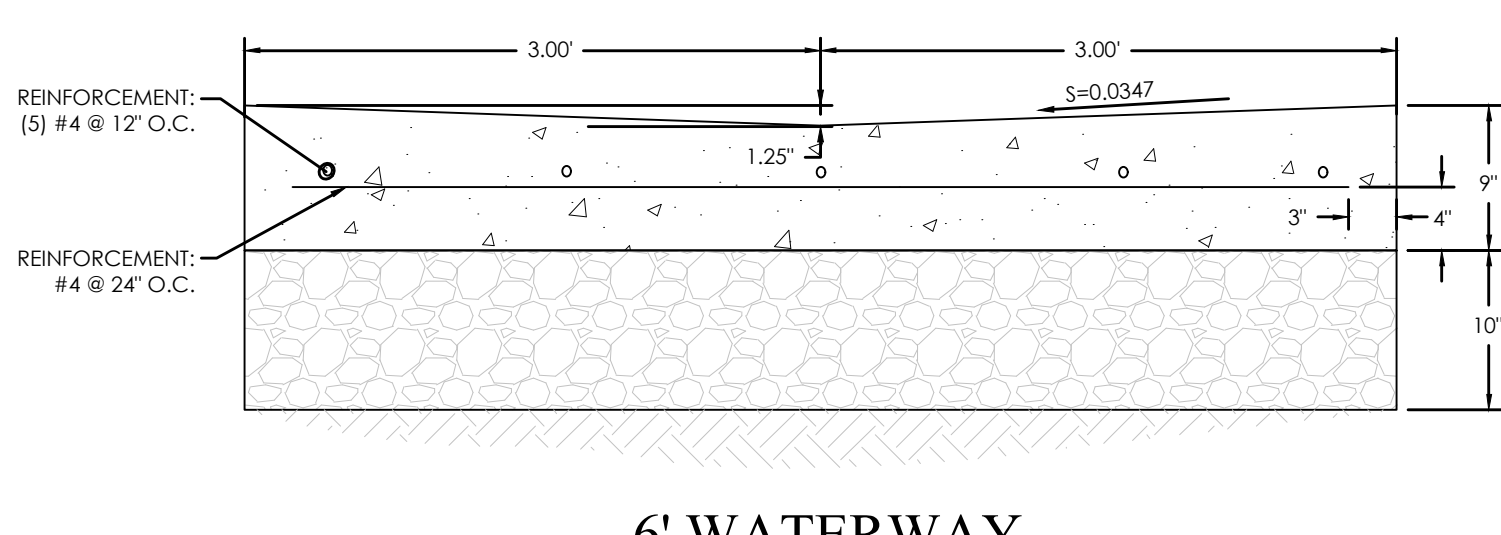
APWA 2.0' MODIFIED
TYPE H PER APWA PLAN 205.2
NTS



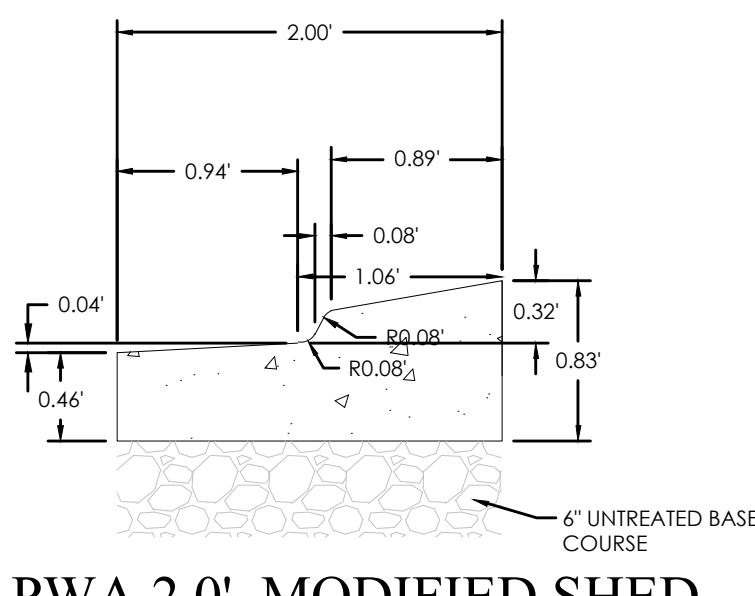
APWA 2.0' MODIFIED SHED
NTS



3' WATERWAY
NTS



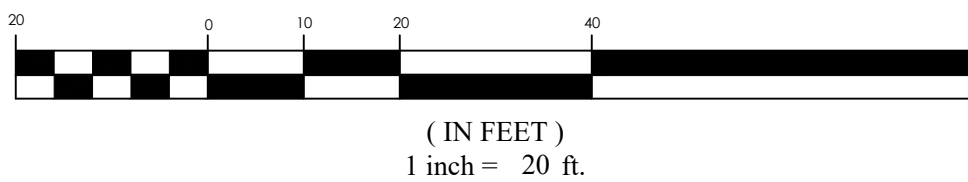
6' WATERWAY
NTS
PER APWA STANDARD



APWA 2.0' MODIFIED SHED
NTS



GRAPHIC SCALE



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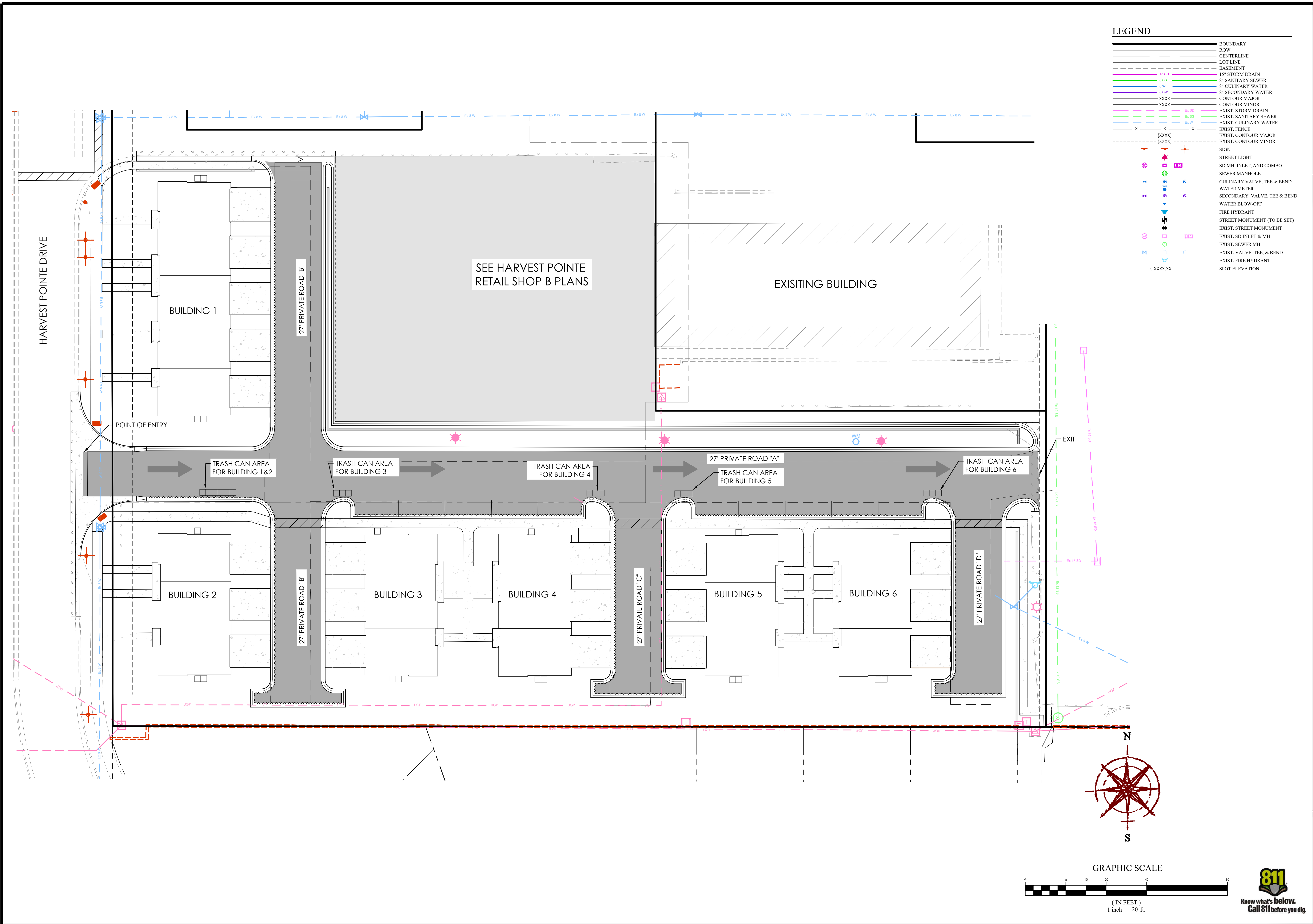
HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
HARDSCAPE PLAN

REVISION BLOCK		DESCRIPTION
#	DATE	
1		
2		
3		
4		
5		
6		

HARDSCAPE PLAN

Scale: 1"=20'
Date: 02/13/24
Sheet: C3.1

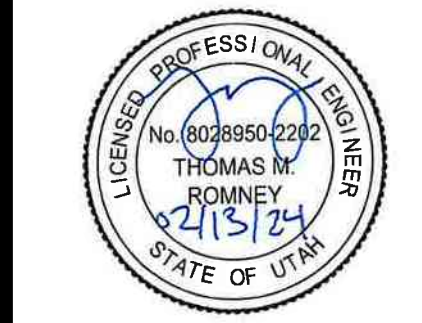
Drawn: CO
Job #: 22-0403



LEGEND

—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
—	EASEMENT
— 15 SD	15" STORM DRAIN
— 8 SS	8" SANITARY SEWER
— 8 W	8" CULINARY WATER
— 8 SW	8" SECONDARY WATER
— XXXX	CONTOUR MAJOR
— XXXX	CONTOUR MINOR
— XXXX	EXIST. STORM DRAIN
— XXXX	EXIST. SANITARY SEWER
— XXXX	EXIST. CULINARY WATER
— XXXX	EXIST. FENCE
— XXXX	EXIST. CONTOUR MAJOR
— XXXX	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	WATER METER
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

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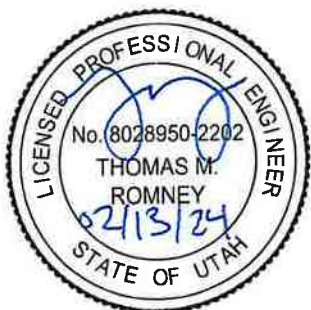
HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
GARBAGE ROUTE PLAN

REVISION BLOCK		DESCRIPTION
#	DATE	
1		
2		
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6		

GARBAGE ROUTE PLAN

Scale: 1"=20'	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	C3.2





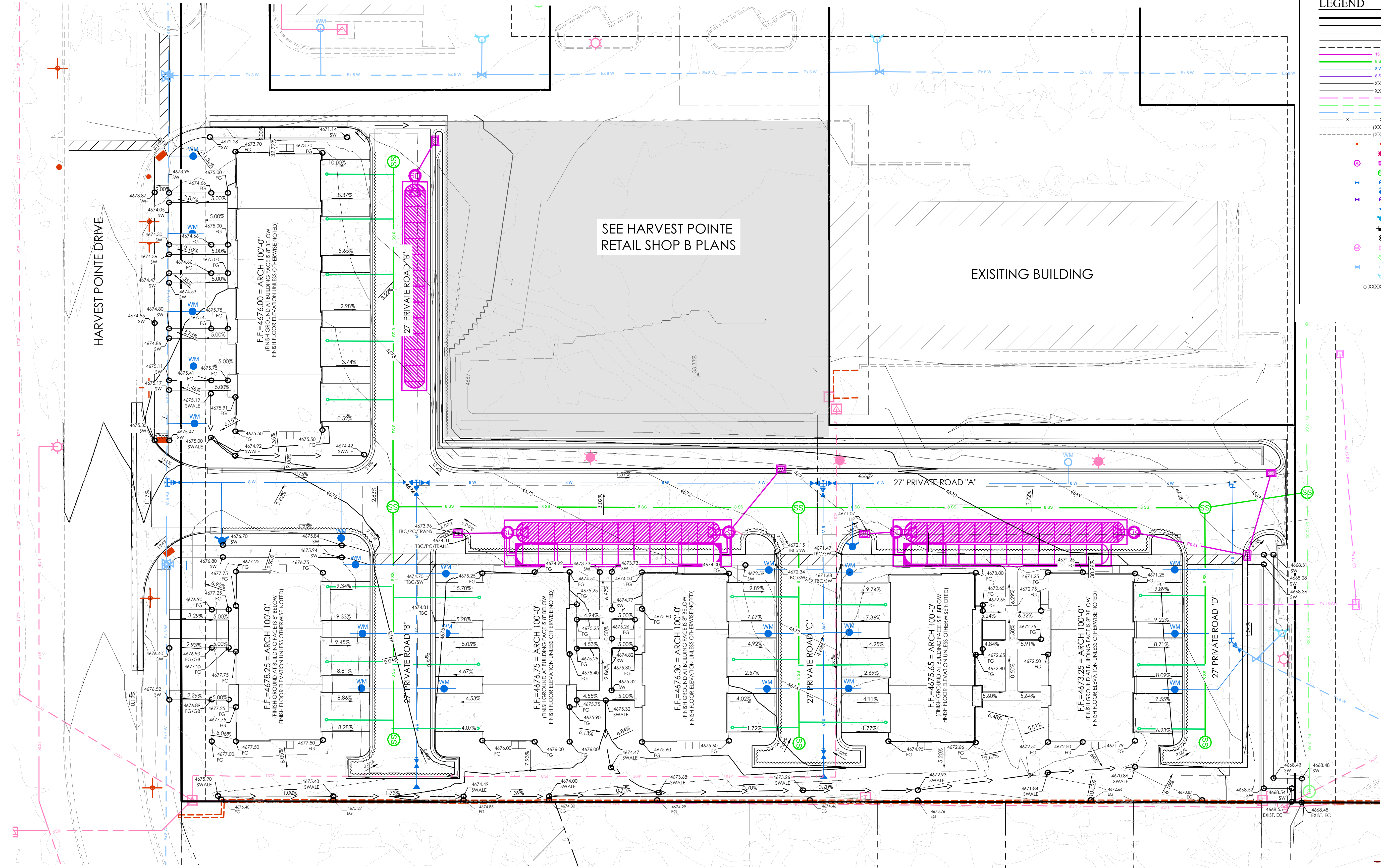
HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
OVERALL GRADING & DRAINAGE PLAN

REVISION BLOCK	
#	DESCRIPTION
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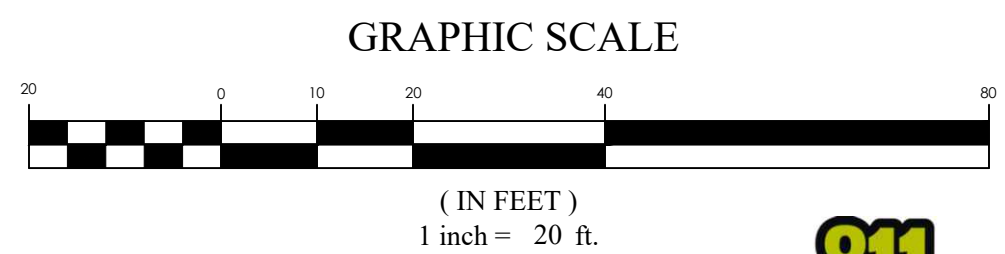
OVERALL GRADING & DRAINAGE PLAN

Scale: 1"=20'
Date: 02/13/24
Job #: 22-0403

Sheet: **C4.0**



- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 15" STORM DRAIN
 - 8" SANITARY SEWER
 - 8" CULINARY WATER
 - 8" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MH, INLET, AND COMBO
 - SEWER MANHOLE
 - CULINARY VALVE, TEE & BEND
 - WATER METER
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST. STREET MONUMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE, & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION





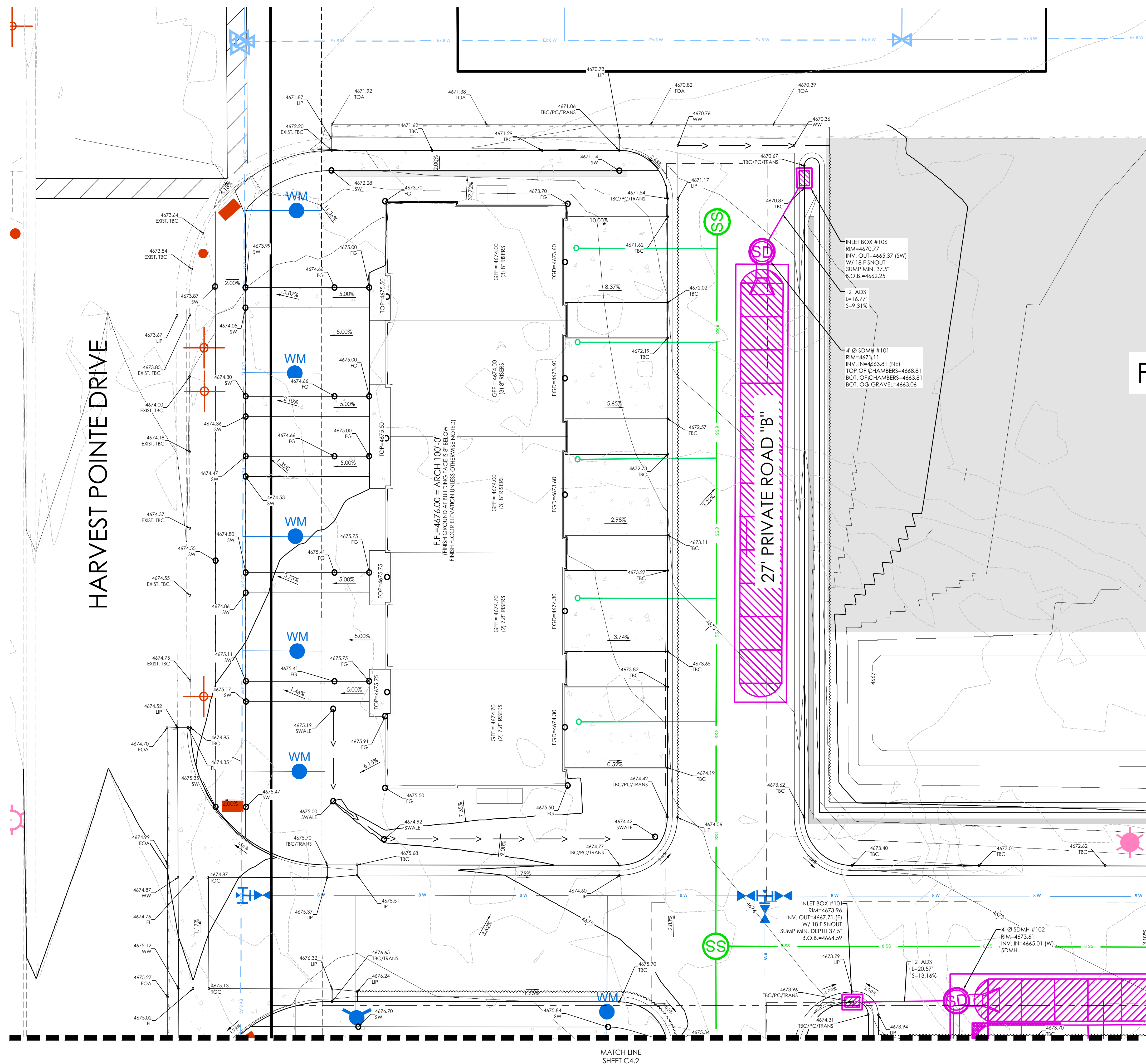
HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
GRADING & DRAINAGE PLAN

REVISION BLOCK		
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2	10-1-88	REVISED
3	10-1-88	REVISED
4	10-1-88	REVISED
5	10-1-88	REVISED
6	10-1-88	REVISED

GRADING & DRAINAGE PLAN

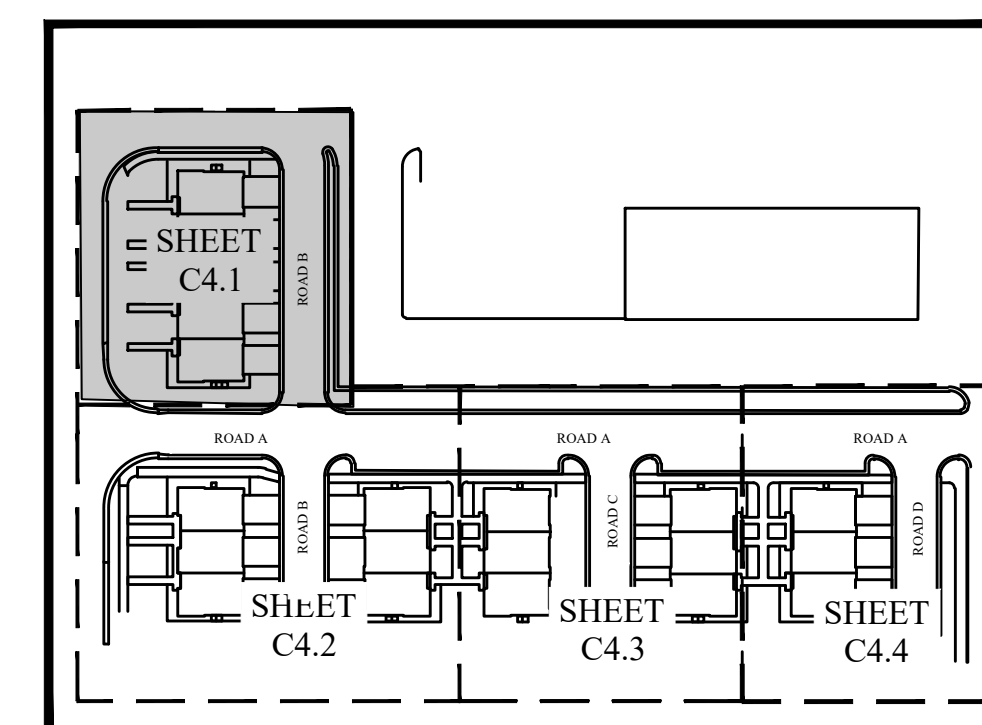
Scale: 1"=10'	Drawn: CO
Date: 02/13/24	Job #: 22-0403

C4.1



LEGEND

- | | |
|--|-----------------------------|
| | BOUNDARY |
| | ROW |
| | CENTERLINE |
| | LOT LINE |
| | EASEMENT |
| | 15" STORM DRAIN |
| | 8" SANITARY SEWER |
| | 8" CULINARY WATER |
| | 8" SECONDARY WATER |
| | CONTOUR MAJOR |
| | CONTOUR MINOR |
| | EXIST. STORM DRAIN |
| | EXIST. SANITARY SEWER |
| | EXIST. CULINARY WATER |
| | EXIST. SECONDARY WATER |
| | EXIST. FENCE |
| | EXIST. CONTOUR MAJOR |
| | EXIST. CONTOUR MINOR |
| | SIGN |
| | STREET LIGHT |
| | SD MH, INLET, AND COMBO |
| | SEWER MANHOLE |
| | CULINARY VALVE, TEE & BEND |
| | WATER METER |
| | SECONDARY VALVE, TEE & BEND |
| | WATER BLOW-OFF |
| | FIRE HYDRANT |
| | STREET MONUMENT (TO BE SET) |
| | EXIST. STREET MONUMENT |
| | EXIST. SD INLET & MH |
| | EXIST. SEWER MH |
| | EXIST. VALVE, TEE, & BEND |
| | EXIST. FIRE HYDRANT |
| | SPOT ELEVATION |

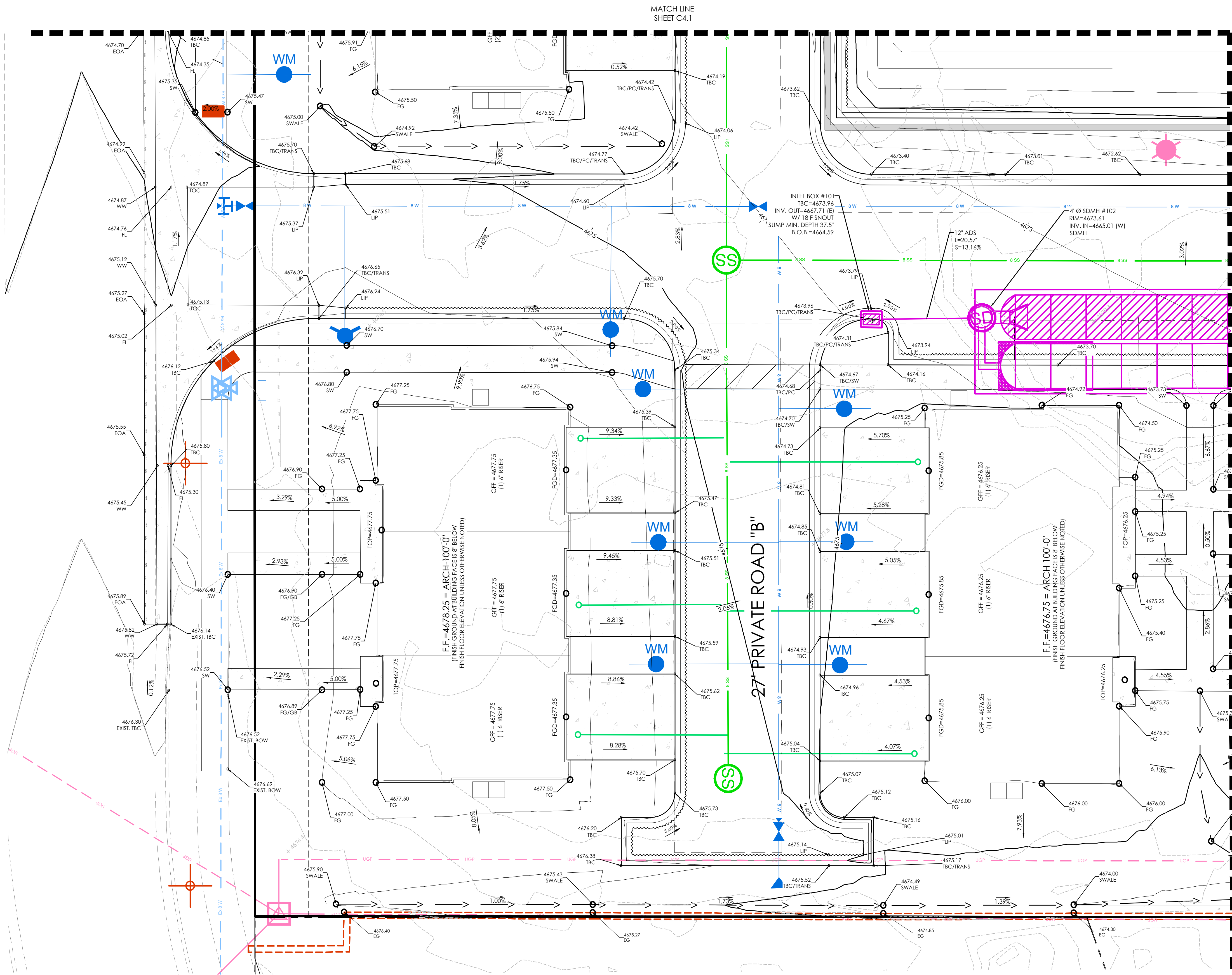


GRAPHIC SCALE

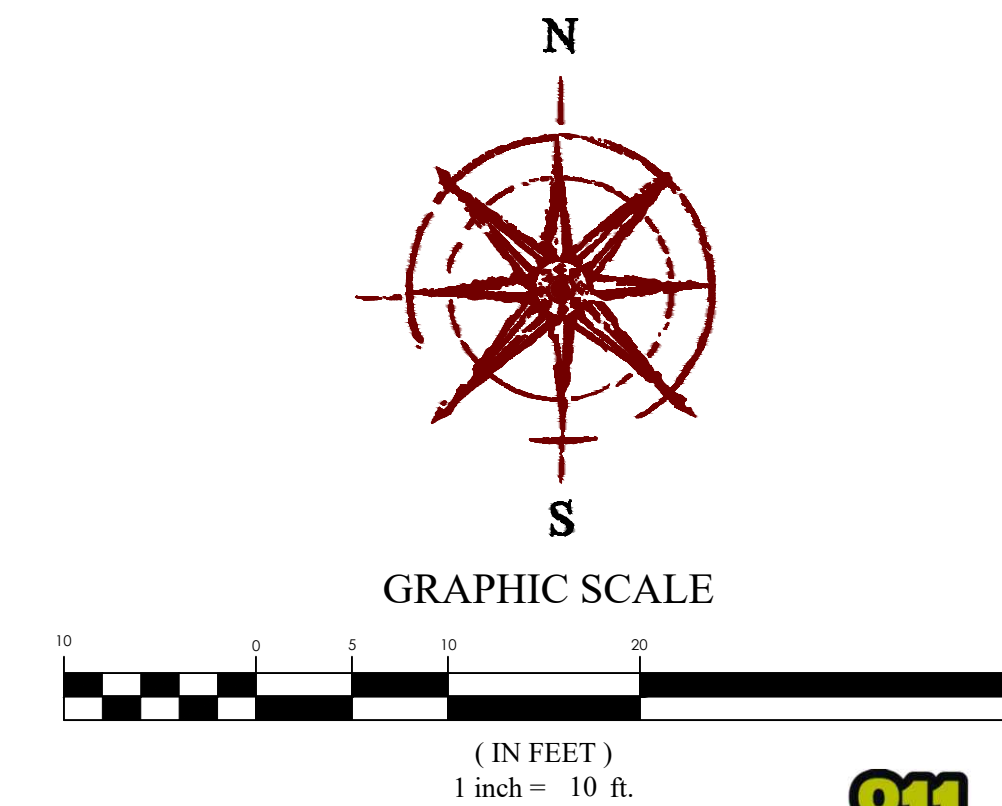
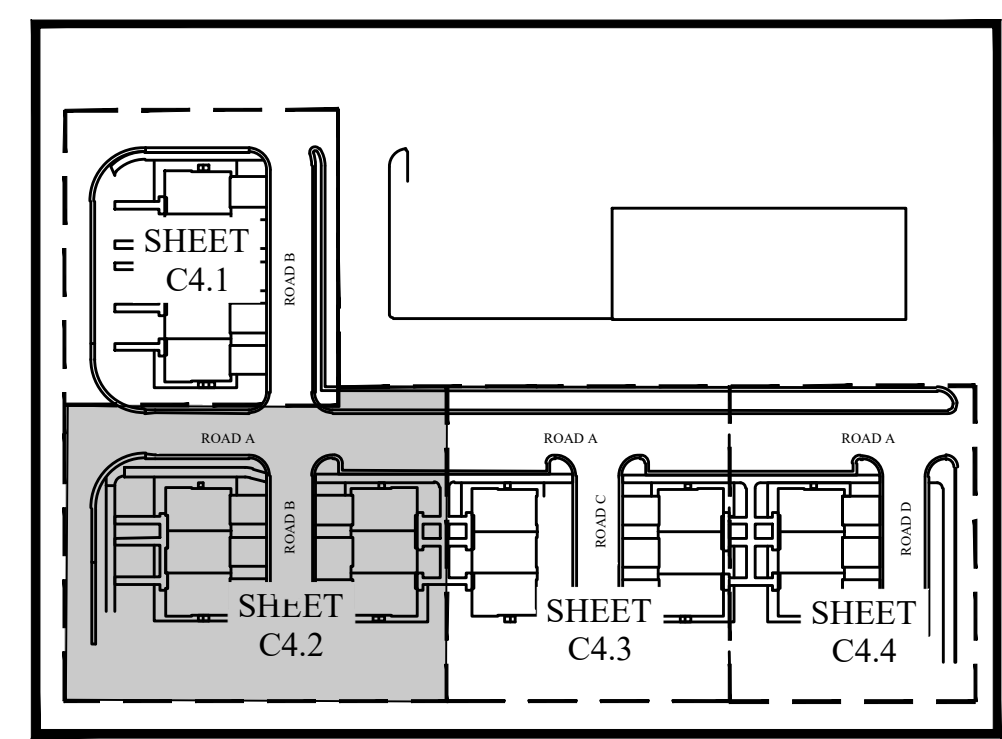
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1 inch = 10 ft



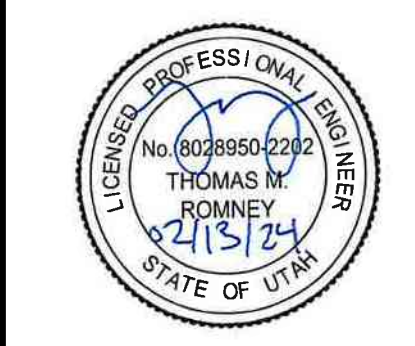
Know what's **below**.
Call 811 before you dig.



- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 15" STORM DRAIN
 - 8" SANITARY SEWER
 - 8" CULINARY WATER
 - 8" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
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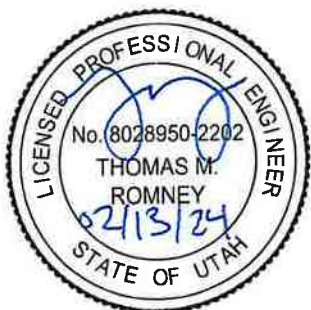
HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
GRADING & DRAINAGE PLAN

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
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GRADING & DRAINAGE PLAN

Scale: 1"=10'
Date: 02/13/24
Sheet: C4.2



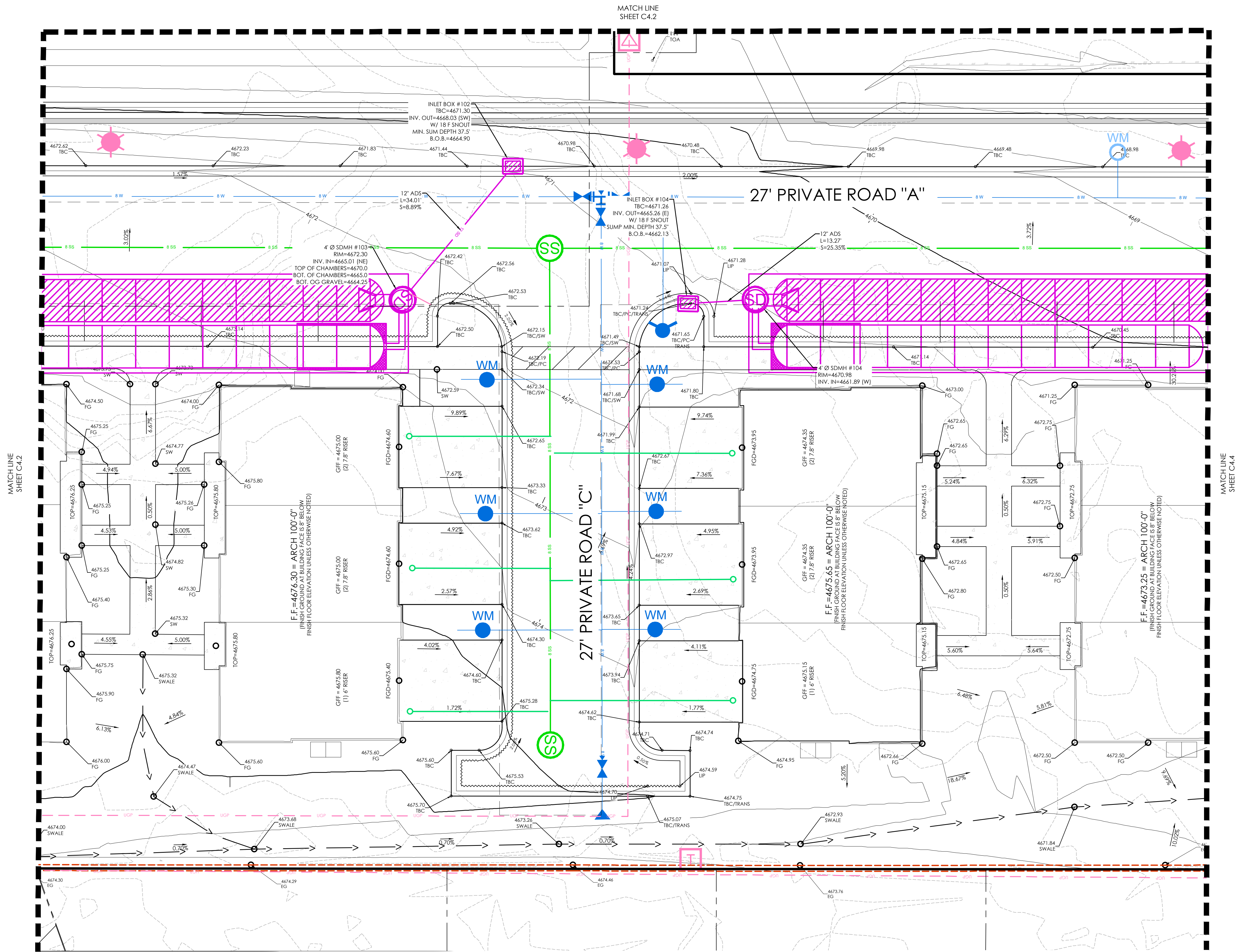
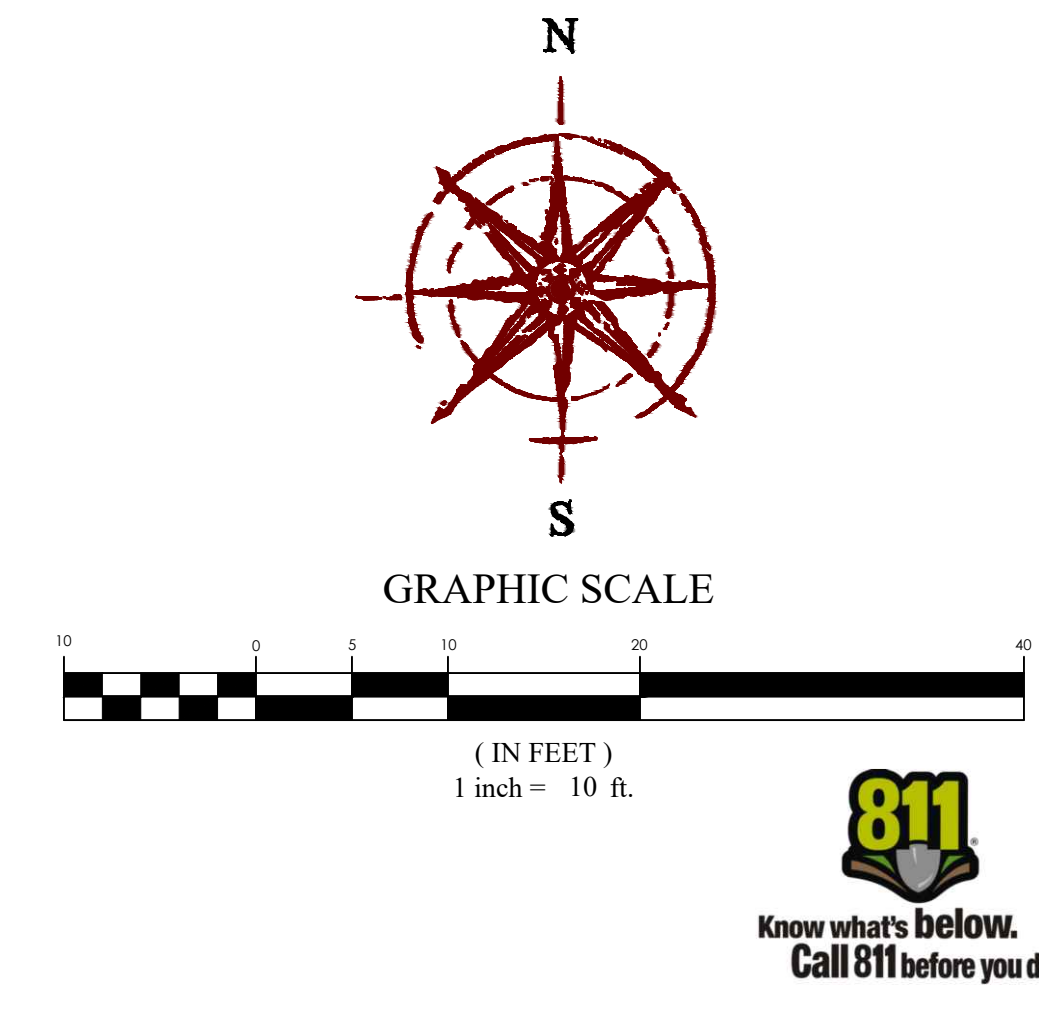
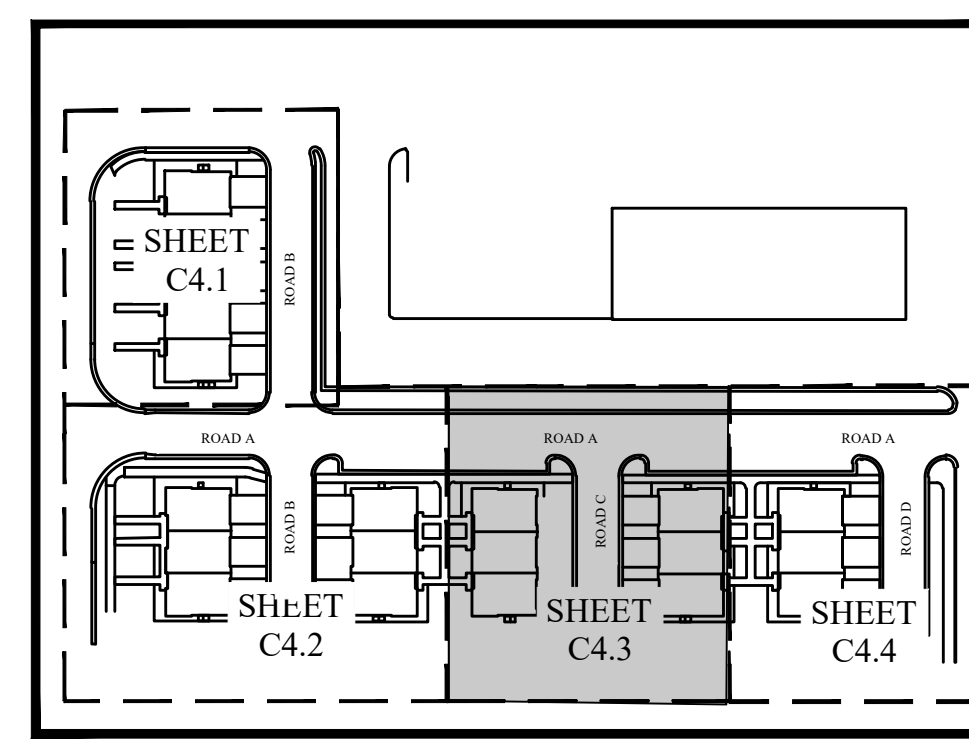


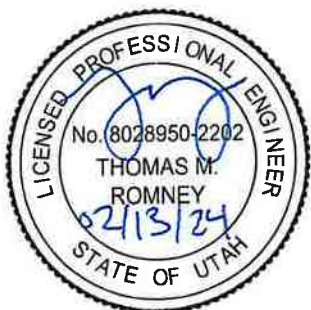
HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
GRADING & DRAINAGE PLAN

REVISION BLOCK		DATE	DESCRIPTION
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5			
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GRADING & DRAINAGE PLAN	
Scale: 1"=10'	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	C4.3

- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 15" STORM DRAIN
 - 8" SANITARY SEWER
 - 8" CULINARY WATER
 - 8" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
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 - STREET LIGHT
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 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION





HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
GRADING & DRAINAGE PLAN

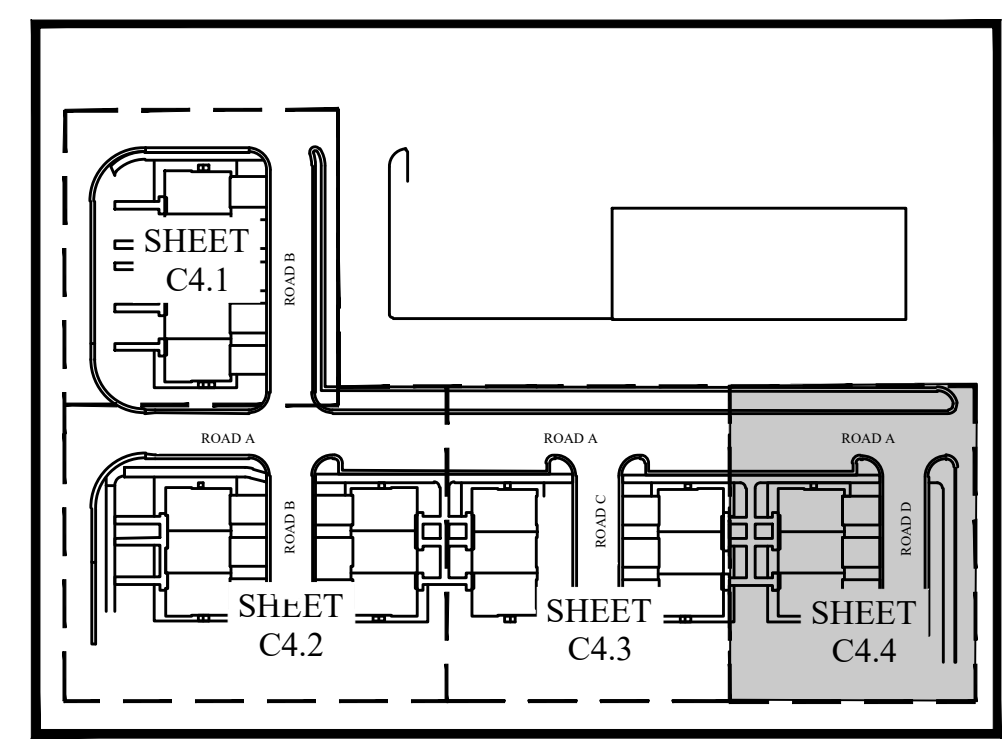
REVISION BLOCK	
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GRADING & DRAINAGE PLAN

Scale: 1"=10'	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	C4.4

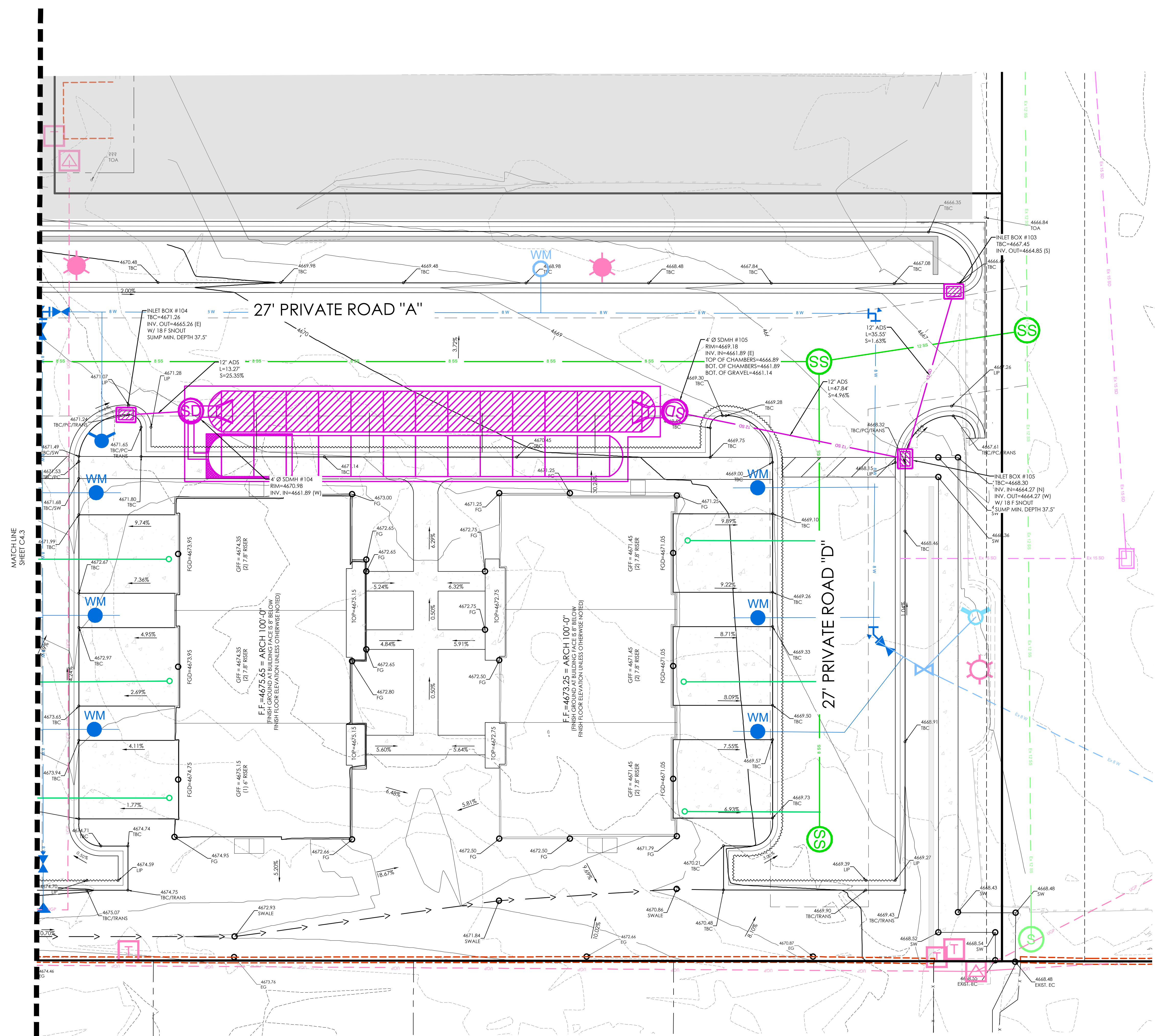
LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- 15" STORM DRAIN
- 8" SS
- 8" W
- 8" SW
- 8" SECONDARY WATER
- CONTOUR MAJOR
- CONTOUR MINOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- CULINARY VALVE, TEE & BEND
- WATER METER
- SECONDARY VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
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- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION

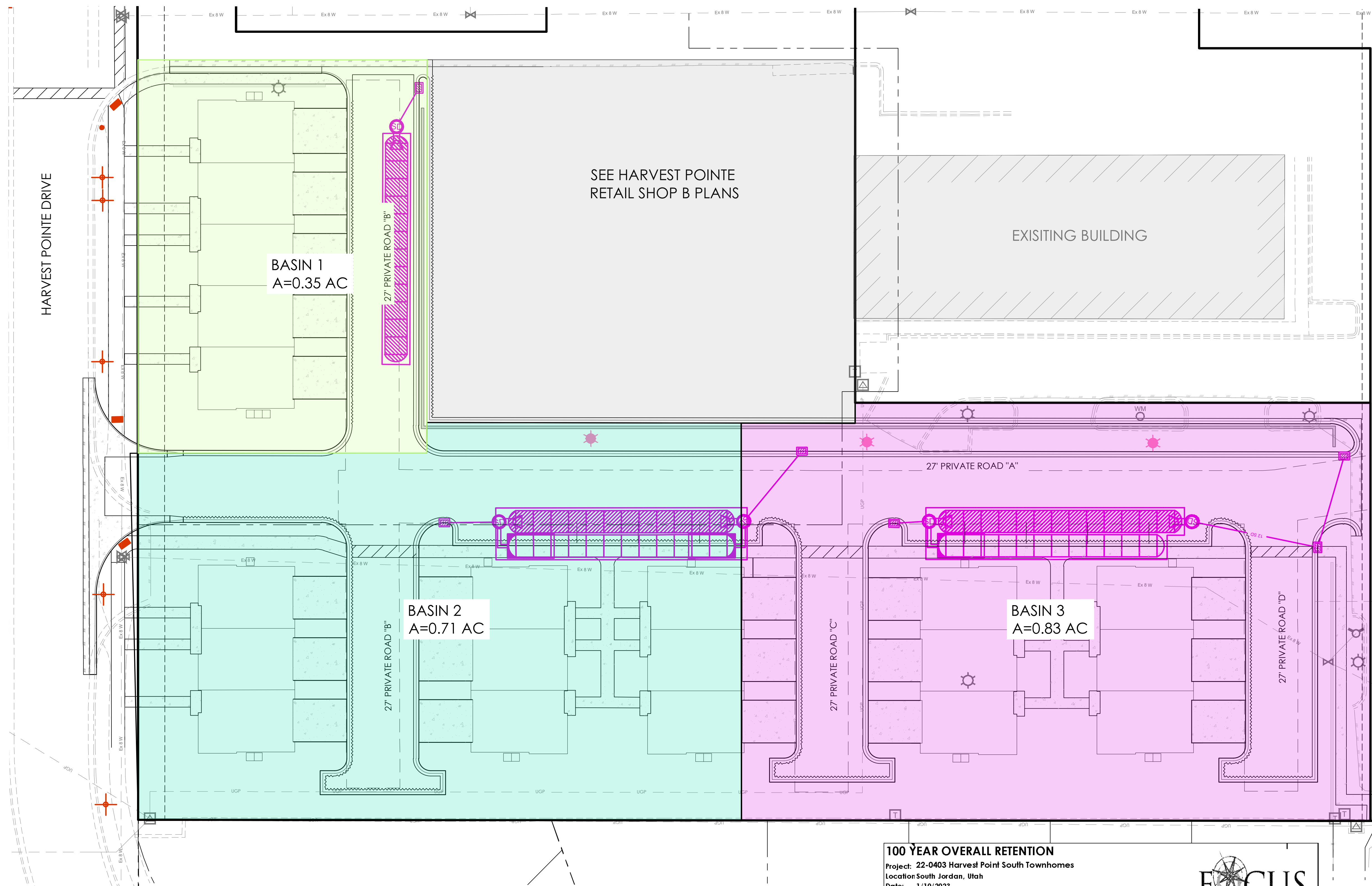


GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.



MATCHLINE
SHEET C4.3

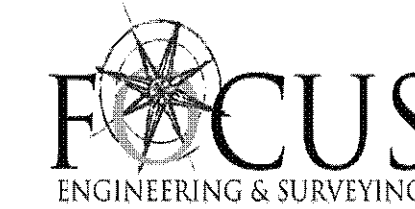


NOTES

1. STORAGE VOLUME PROVIDED DOES NOT INCLUDE GRAVEL VOID SPACE.

100 YEAR OVERALL RETENTION

Project: 22-0403 Harvest Point South Townhomes
Location: South Jordan, Utah
Date: 1/10/2023
Designer: Carolina Ortiz



100-Year Retention Sizing

Design Criteria

Intensity Table: Per South Jordan City Storm Drainage Standards
Return Period: 100 year
Allowable Discharge: 0.00 cfs/acre Per City of South Jordan Standards

Overall Storage Capacity

BASIN	AREA (AC)	REQUIRED STORAGE (CFS)	STORAGE PROVIDED (CFS)
Basin 1	0.35	2140	2190
Basin 2	0.71	4281	4380
Basin 3	0.83	4433	4556
TOTALS		10854	11126

Retention Pond

22-0403 Harvest Point South Townhomes

Location: South Jordan, Utah

Date: 1/10/2023

Designer: Carolina Ortiz

100-Year Retention Sizing

Design Criteria

Intensity Table: Per NOAA Atlas 14

Return Period: 100 year

Allowable Discharge: 0.00 cfs/acre Per City of South Jordan Standards

Allowable Discharges

Storm Drain Discharge: 0.00 cfs

Other Discharge: 0.00 cfs

Total Discharge: 0 cfs

Weighted "C" Value

Surface Type Area (sf) "C" Value C*A

Homes (rooftops) 4,074 0.65 2,648

Roadway and Sidewalk 6,648 0.65 4,321

Landscape 5,220 0.65 3,393

Totals 15,942 0.62 9,958

Weighted "C" Value 0.62

Drainage Calculations

Duration	Intensity	Runoff (c)	Area	Runoff	Accumulated Row	Allowable Discharge	Discharge	Required Storage
min	in/hr	Ac	cfs	cfs	cfs	cfs	cfs	cu ft
15.0	3.56	0.62	0.37	0.81	72	0.00	0.00	72
30.0	2.44	0.62	0.37	0.55	99	0.00	0.00	99
60.0	1.42	0.62	0.37	0.32	116	0.00	0.00	116
120.0	0.68	0.62	0.37	0.19	136	0.00	0.00	136
180.0	0.40	0.62	0.37	0.14	143	0.00	0.00	143
360.0	0.32	0.62	0.37	0.07	156	0.00	0.00	156
720.0	0.19	0.62	0.37	0.04	165	0.00	0.00	165
1440.0	0.11	0.62	0.37	0.02	174	0.00	0.00	174

Maximum Storage Requirement: 2,140

Maximum Storage Requirement (ac-ft): 0.05

Retention Basin Design

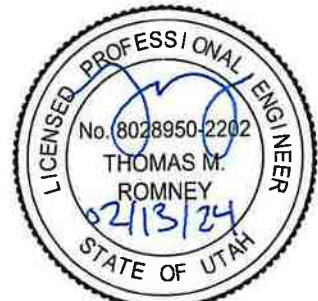
Storage Requirement: 2,140 cft

Underground Storage Bed 1: 2,190 cft

Retention Calculated Using Basic Geometry of a Trapezoidal Trench:

Total Storage 2,190

RETENTION ADEQUATE



HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
SEWER PLAN

REVISION BLOCK	DATE	DESCRIPTION
1	02/13/24	ISSUED FOR PERMIT
2		
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4		
5		
6		

SEWER PLAN

Scale: 1"=20'
Date: 02/13/24
Job #: 22-0403

C5.0

LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	WATER METER
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION



GRAPHIC SCALE

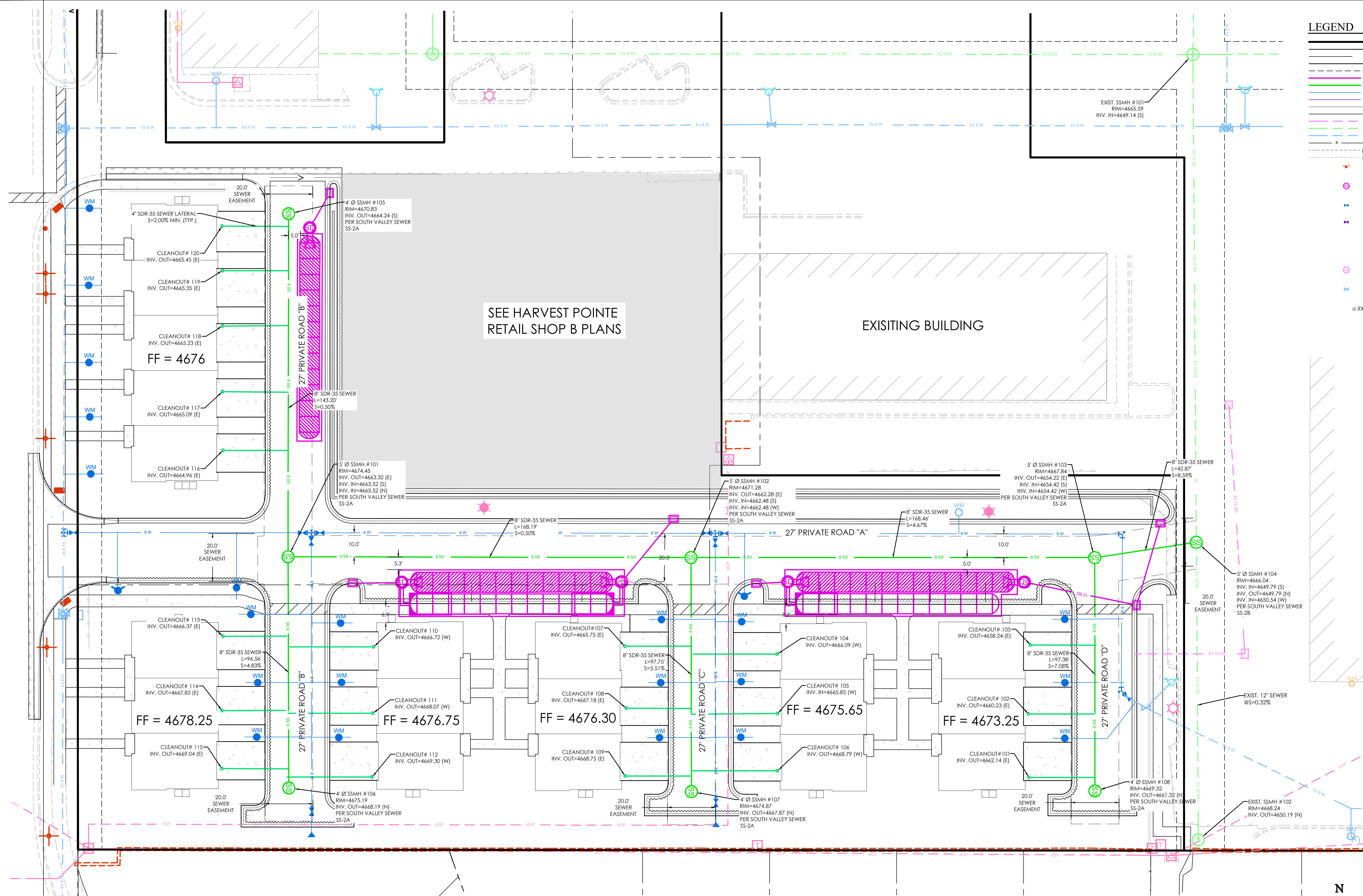
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1 inch = 20 ft.

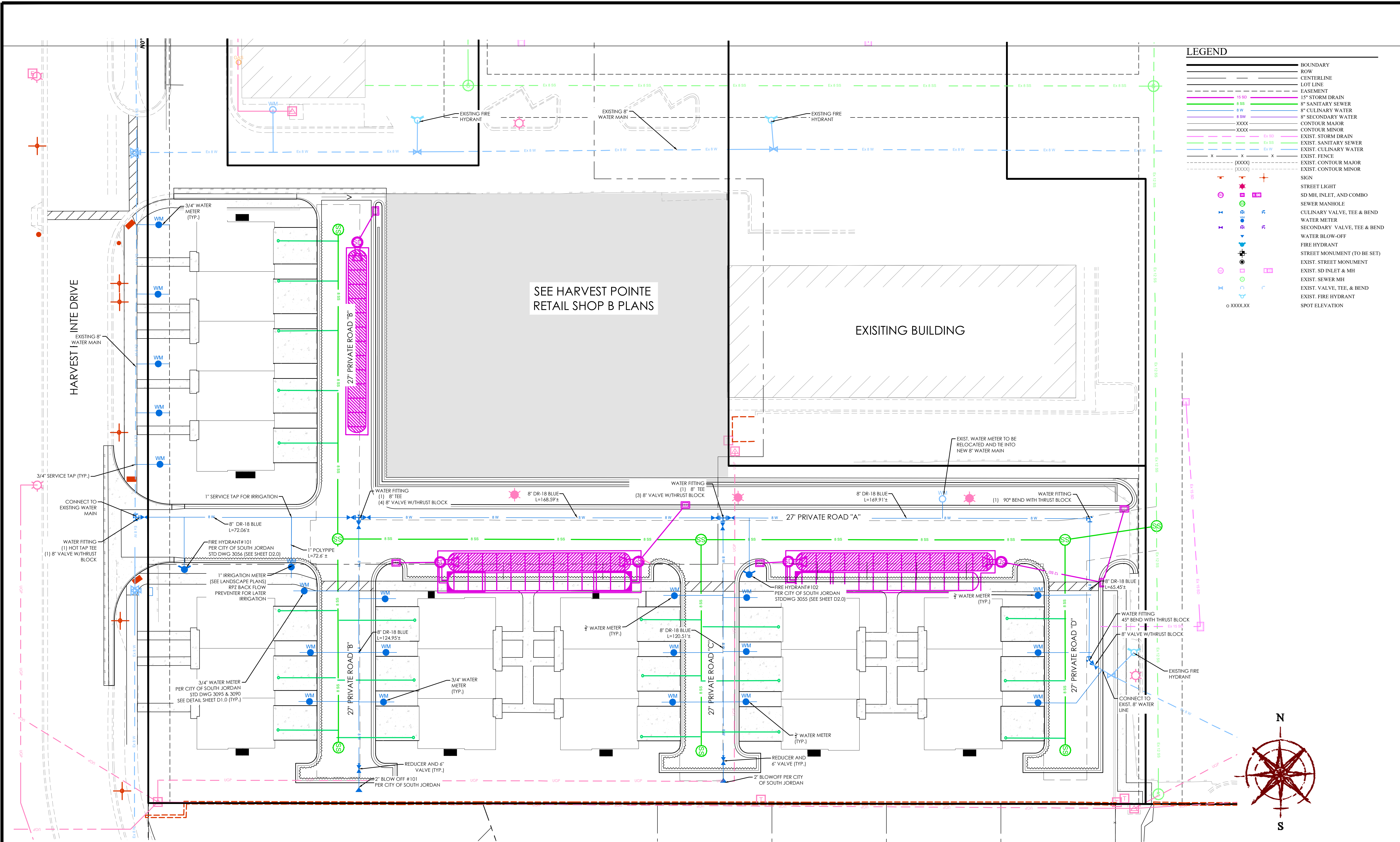
SEWER NOTES

ALL SEWER LATERALS TO BE PLACED PER SVSD STD. DWG. SS-3A
CONTRACTOR TO VERIFY SEWER INVERT ELEVATIONS OF
EXISTING SEWER.

SEE HARVEST POINTE
RETAIL SHOP B PLANS

EXISTING BUILDING





LEGEND

—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
—	EASEMENT
15" SD	15" STORM DRAIN
8" SS	8" SANITARY SEWER
8" W	8" CULINARY WATER
8" SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex 8" SD	EXIST. STORM DRAIN
Ex 8" SS	EXIST. SANITARY SEWER
Ex 8" W	EXIST. CULINARY WATER
Ex 8" SW	EXIST. SECONDARY WATER
— x —	EXIST. FENCE
— (XXXX) —	EXIST. CONTOUR MAJOR
— (XXXX) —	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	WATER METER
+	SECONDARY VALVE, TEE & BEND
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+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

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LICENSED PROFESSIONAL ENGINEER
No. 6038850-2282
THOMAS M. ROMNEY
2/15/24
STATE OF UTAH

HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
WATER PLAN

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

REVISION BLOCK

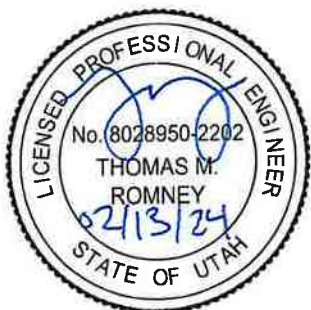
NO.	DATE	DESCRIPTION
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811
Know what's below.
Call 811 before you dig.

WATER PLAN

Scale: 1"=20'
Date: 02/13/24
Sheet: C5.1

Drawn: CO
Job #: 22-0403



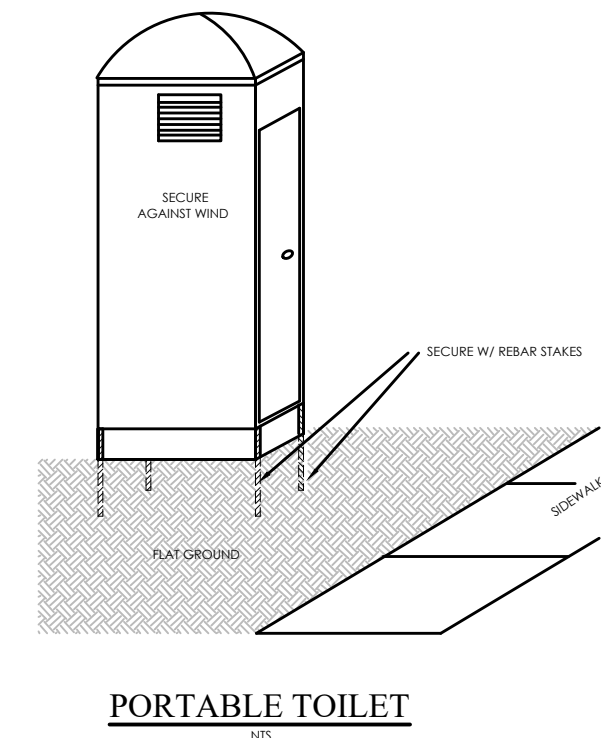
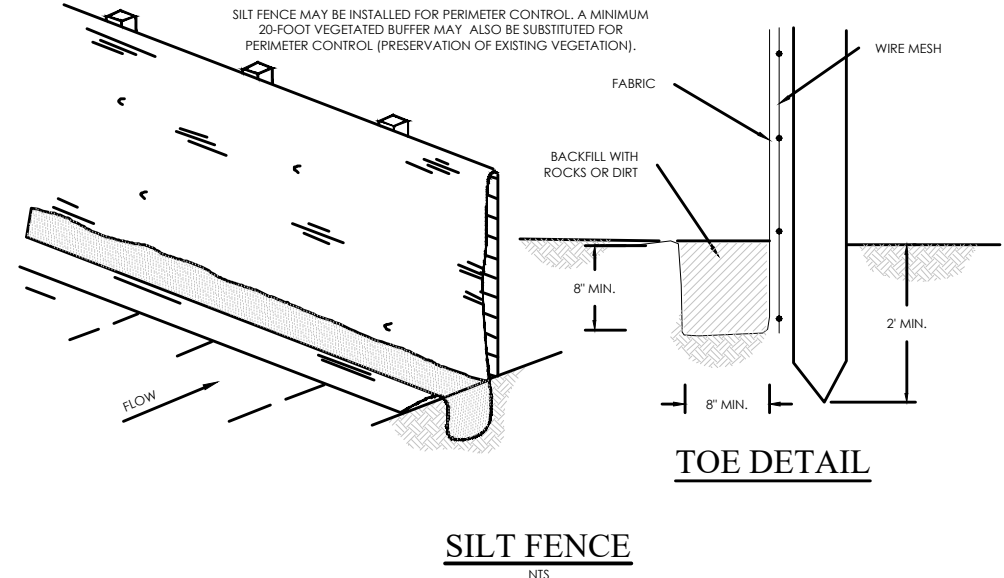
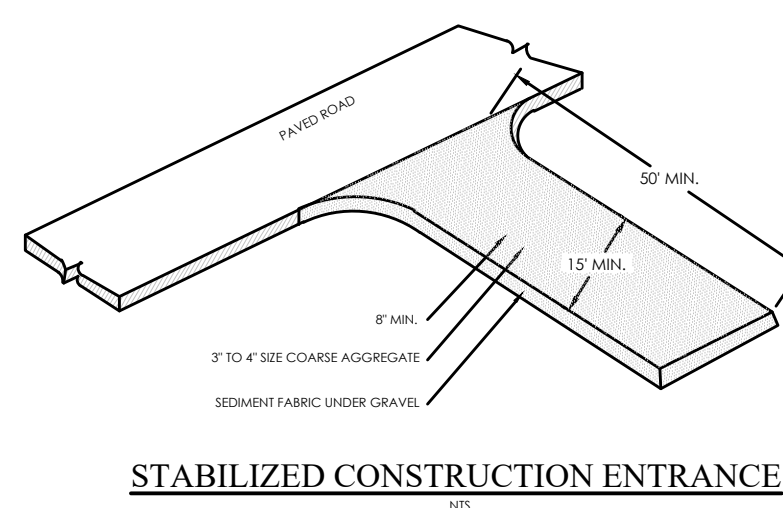
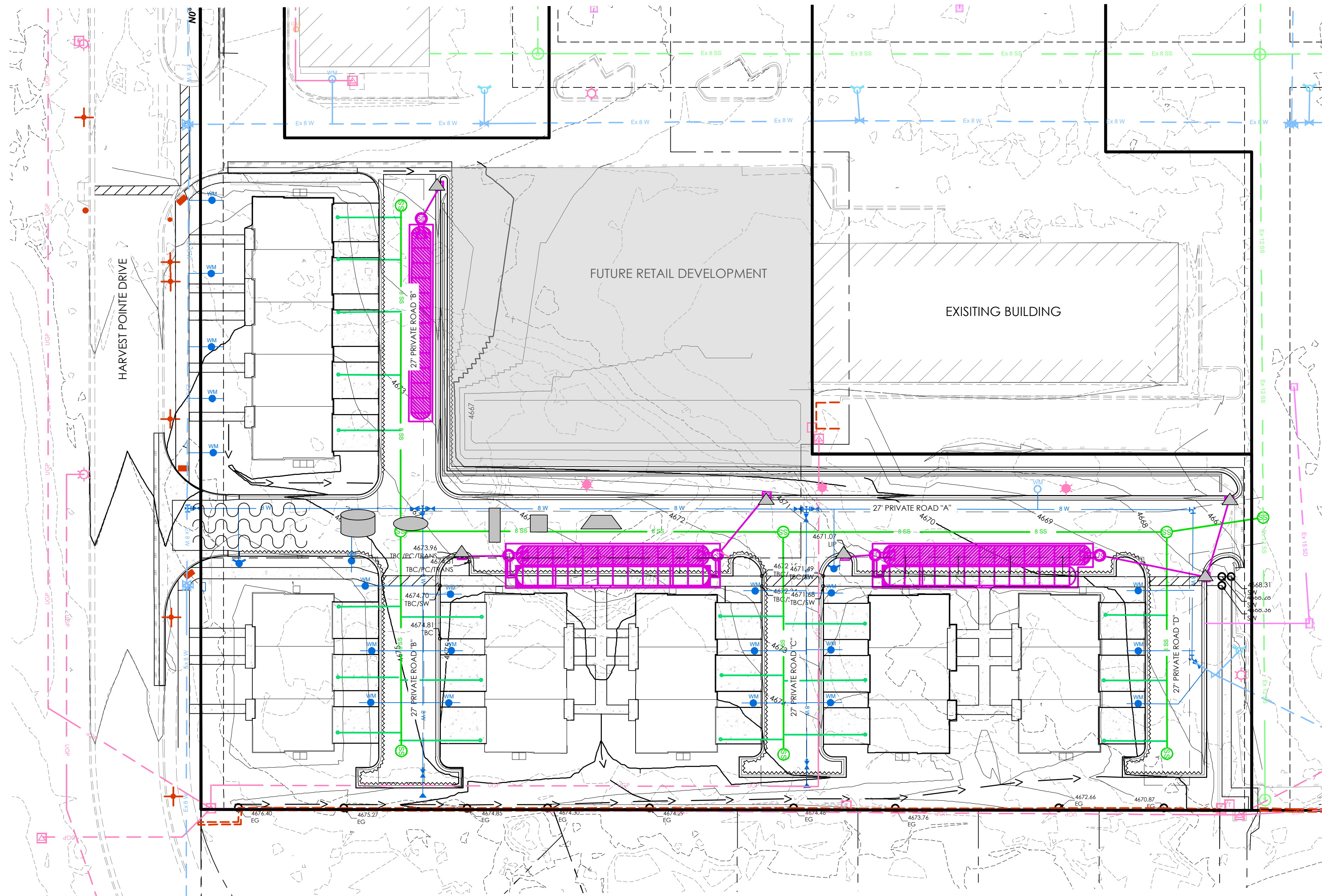
HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
EROSION CONTROL PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
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EROSION CONTROL PLAN

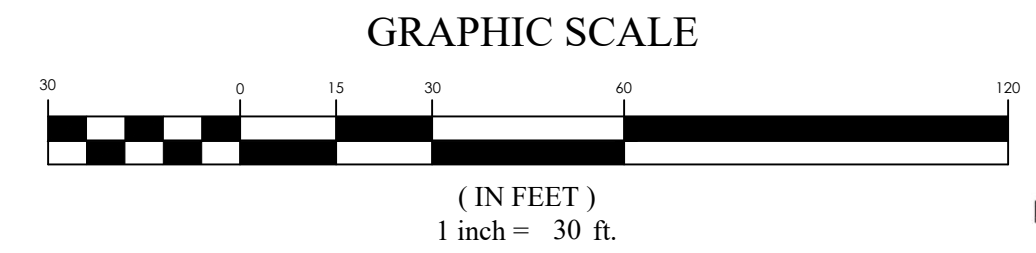
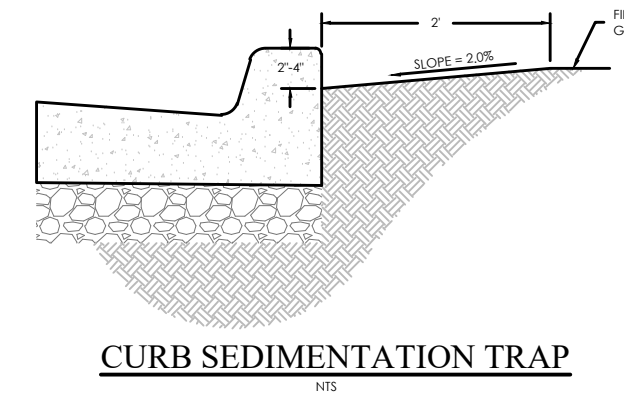
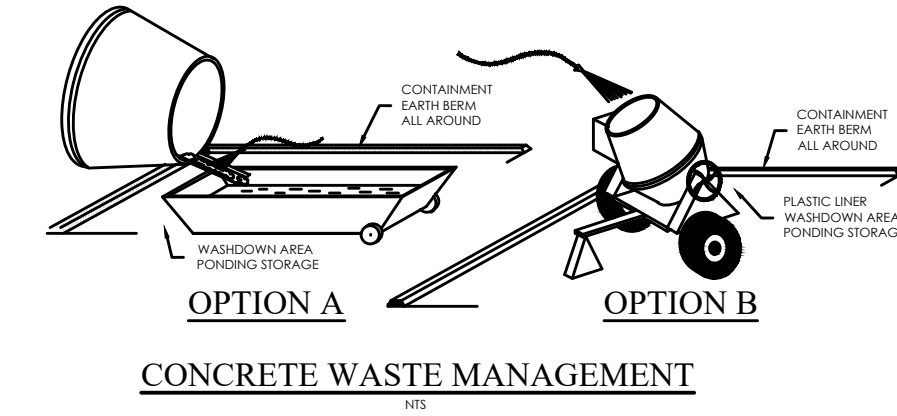
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Date: 02/13/24	Job #: 22-0403
Sheet:	C6.0

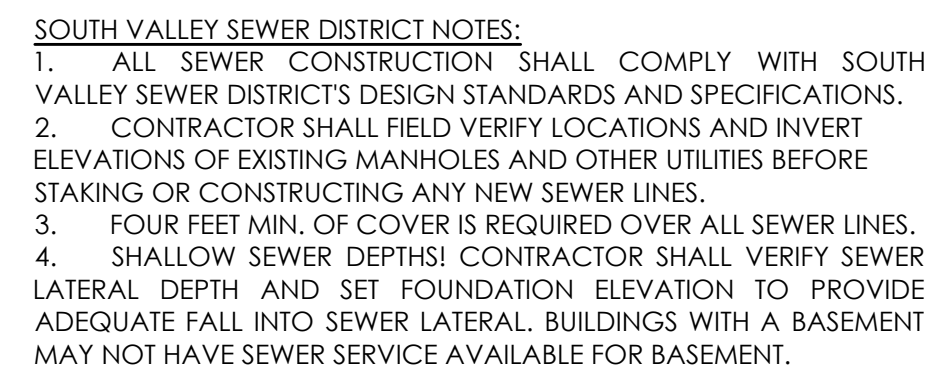
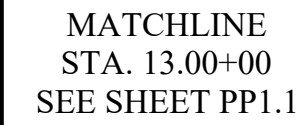
Z:\2022\22-0403 Harvest Point South Townhomes design\22-0403 Long View\EROSION CONTROL PLAN.dwg



EROSION CONTROL LEGEND

- CONSTRUCTION ENTRANCE
- MATERIALS STORAGE
- FUEL TANKS
- CONCRETE WASHOUT
- TRASH BIN
- PORTABLE TOILET
- CONSTRUCTION TRAILER
- INLET PROTECTION
- SURFACE WATERS
- OUTFALL
- SILT FENCE OR BERM
- CUTBACK CURB
- FIBER ROLL



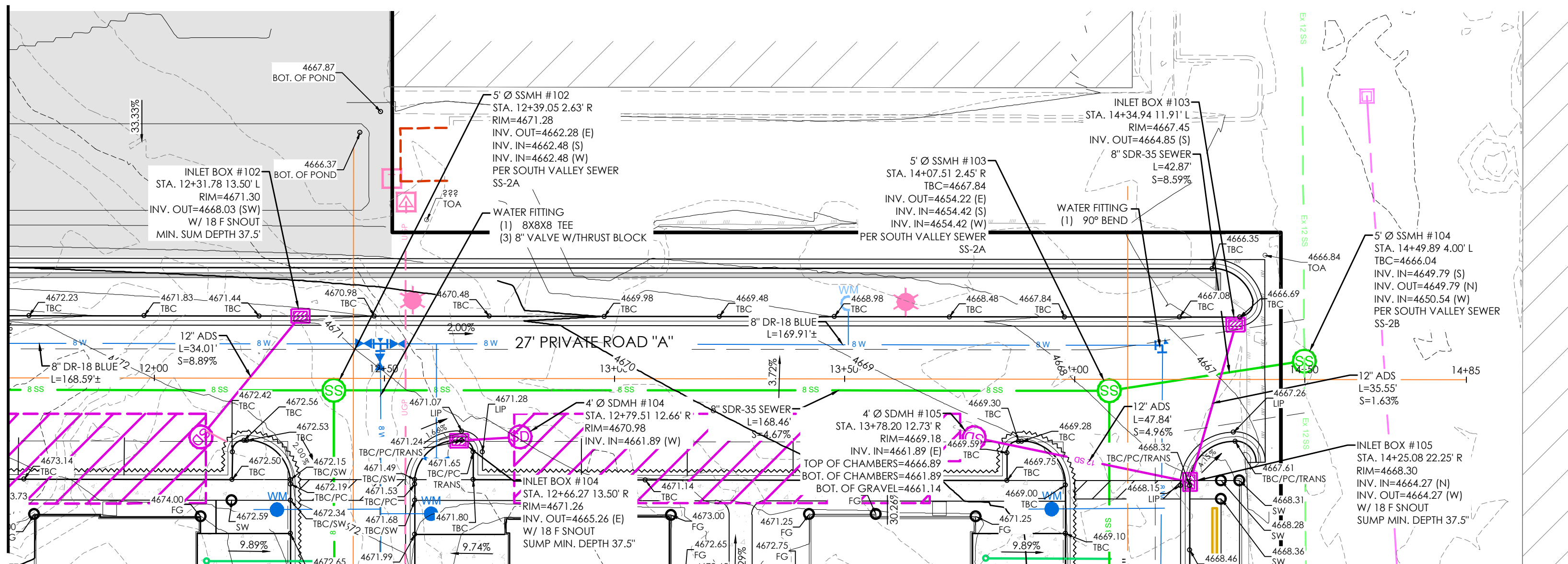


ROAD A PROFILE PLAN

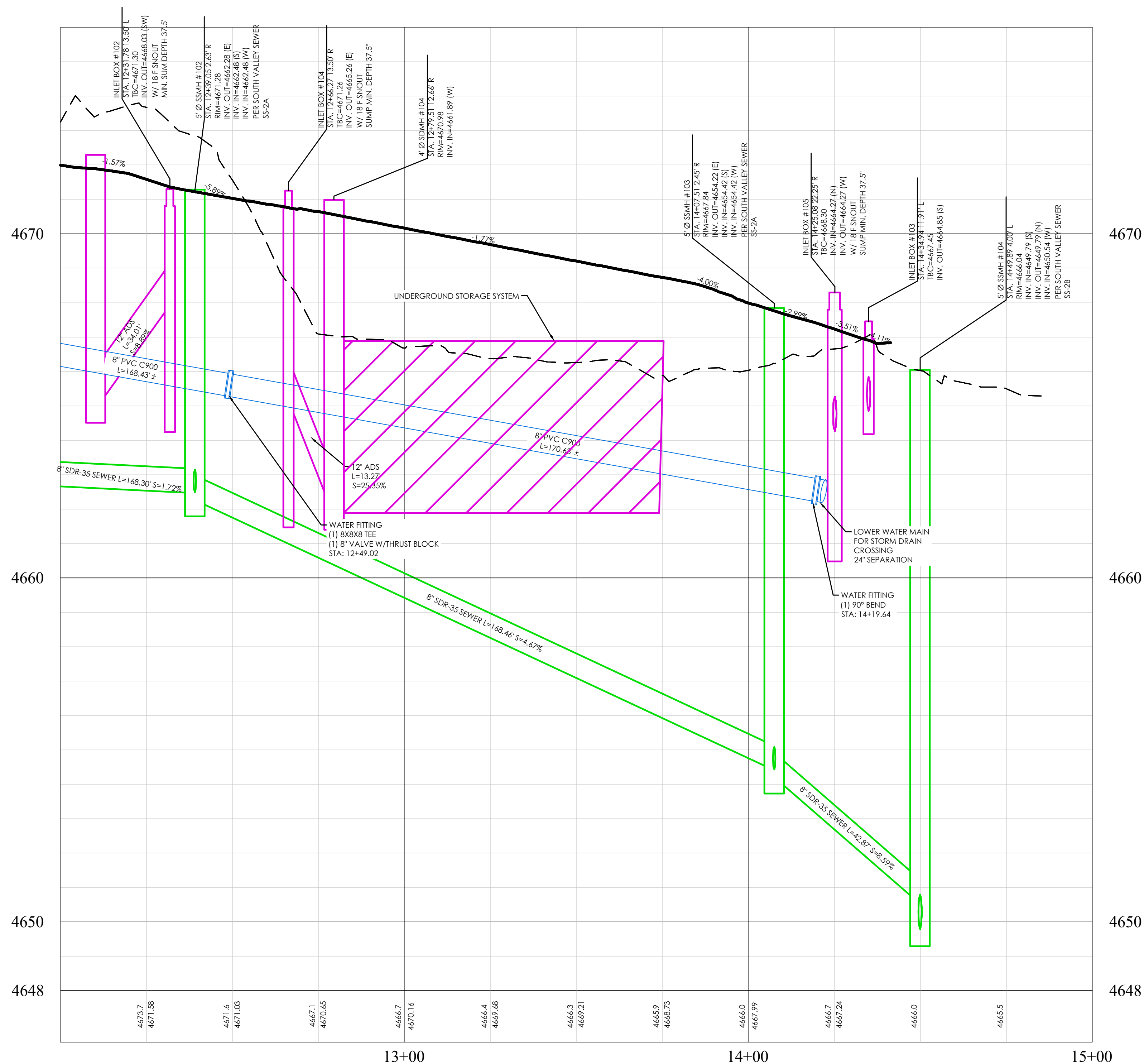
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Date: 02/13/24	Job #: 22-0403

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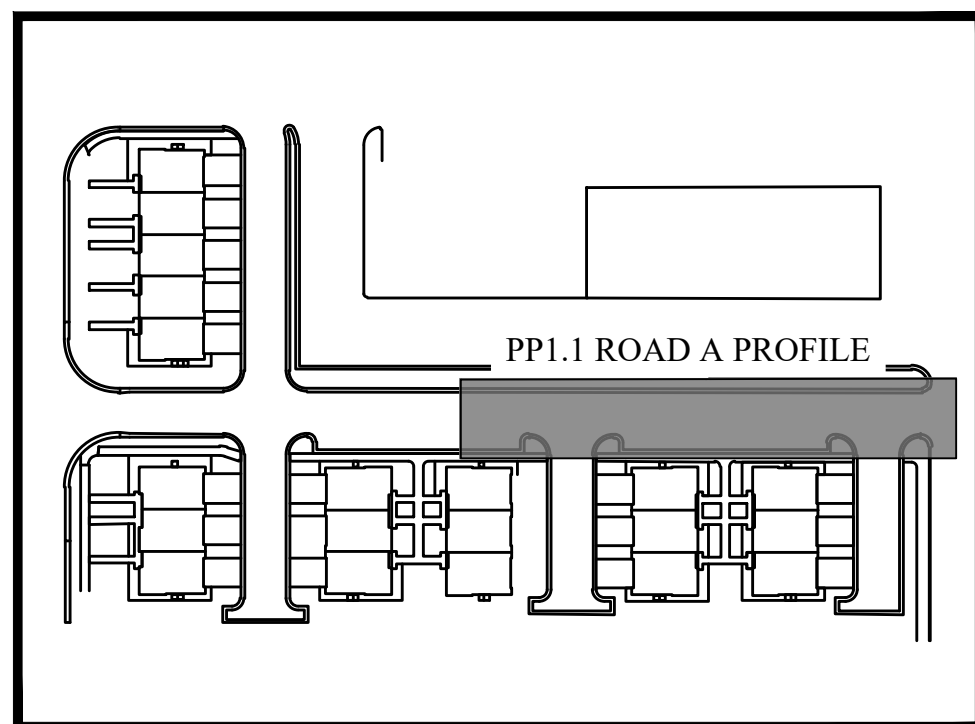
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THE ROAD A PROFILE



KEY MAP



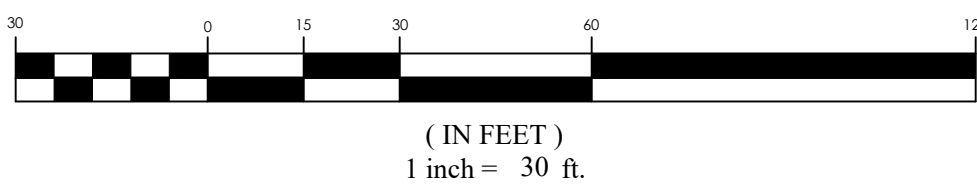
SOUTH VALLEY SEWER DISTRICT NOTES:

1. ALL SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3. FOUR FEET MIN. OF COVER IS REQUIRED OVER ALL SEWER LINES.
4. SHALLOW SEWER DEPTHS: CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.

NORTH WEST CORNER OF SE
TOWNSHIP 03 SOUTH, RANGE
SALT LAKE BASE AND ME
ELEV: 4692.36
DATUM: NAVD 88



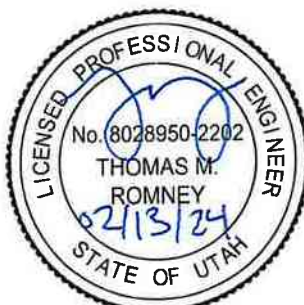
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



**Know what's below.
Call 811 before you dig**



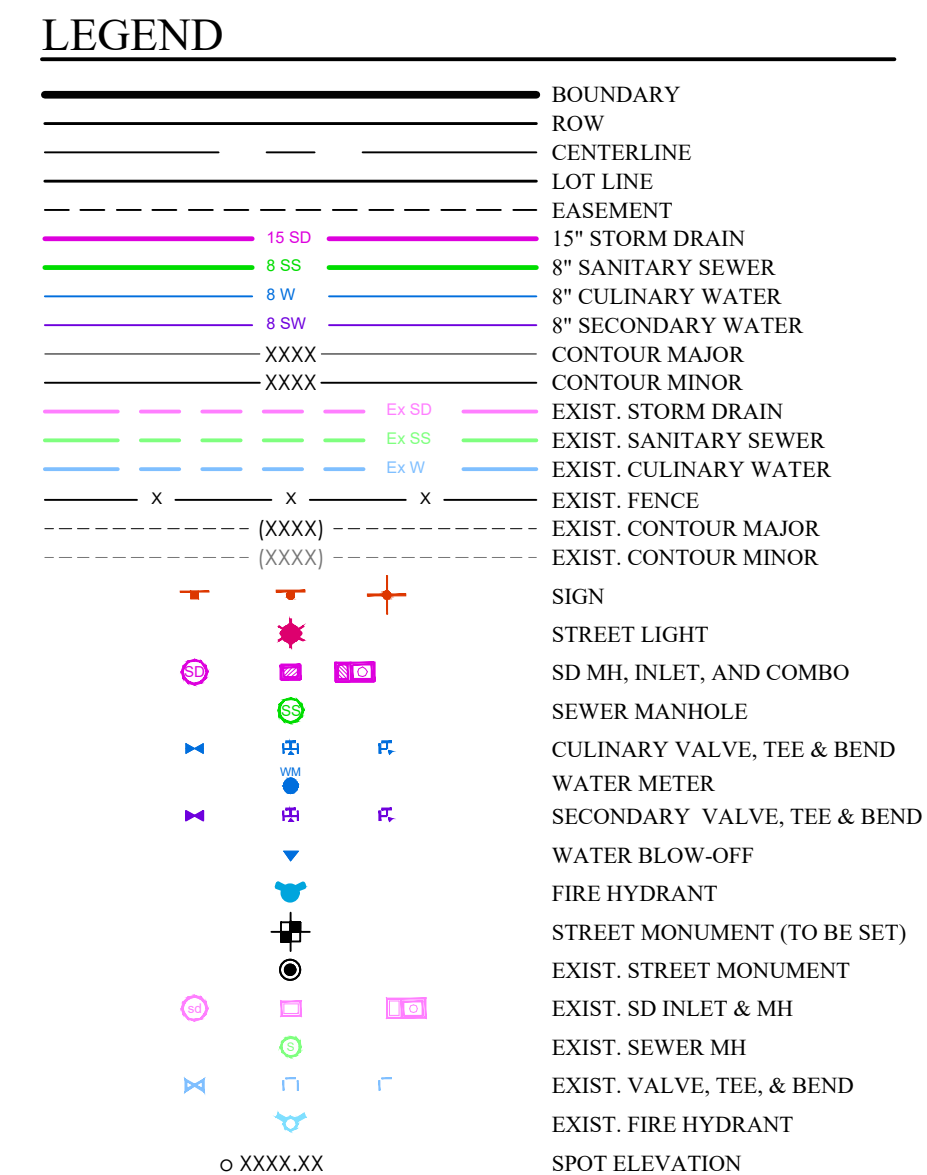
HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
ROAD A PROFILE PLAN

REVISION BLOCK		DATE	DESCRIPTION
1		08-20-20	100-200
2		08-20-20	100-200
3		08-20-20	100-200
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6		08-20-20	100-200

ROAD A PROFILE PLAN

Scale: 1"=30'	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	

PP1.1



SOUTH VALLEY SEWER DISTRICT NOTES:

1. ALL SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICTS' DESIGN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3. FOUR FEET MIN. OF COVER IS REQUIRED OVER ALL SEWER LINES.
4. SHALL VERIFY DEPTH. CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH TO DRAINAGE ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.

NORTH WEST CORNER OF SECTION 36
TOWNSHIP 03 SOUTH, RANGE 01 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4692.36
DATUM: NAVD 88



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HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
ROAD B PROFILE PLAN

REVISION BLOCK		
#	DATE	DESCRIPTION
1	10-1-2000	10-1-2000
2	10-1-2000	10-1-2000
3	10-1-2000	10-1-2000
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5	10-1-2000	10-1-2000
6	10-1-2000	10-1-2000

Scale: 1"=20'	Drawn: CO
Date: 02/13/24	Job #: 22-0403



**Know what's below.
Call 811 before you dig.**



SOUTH VALLEY SEWER DISTRICT NOTES:

1. ALL SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICTS' DESIGN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3. FOUR FEET MIN. OF COVER IS REQUIRED OVER ALL SEWER LINES.
4. SHALL VERIFY DEPTH. CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH TO DRAINAGE ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.

NORTH WEST CORNER OF SECTION 17
TOWNSHIP 03 SOUTH, RANGE 01 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4692.36
DATUM: NAVD 88

PP3.0

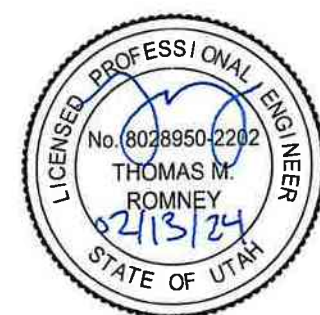
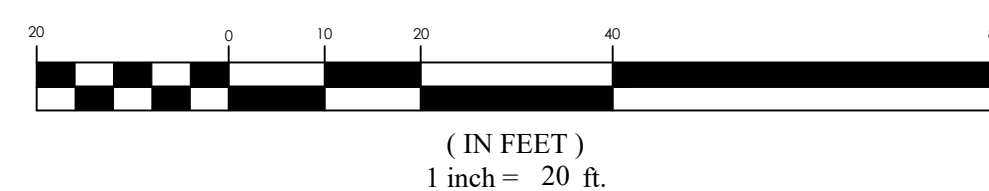


SOUTH VALLEY SEWER DISTRICT NOTES:

1. ALL SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICTS DESIGN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3. FOUR FEET MIN. OF COVER IS REQUIRED OVER ALL SEWER LINES.
4. SHOW AND VERIFY EXISTING MANHOLE LOCATIONS SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.

BENCHMARK

NORTH WEST CORNER OF SECTION 17
TOWNSHIP 03 SOUTH, RANGE 01 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4692.36
DATUM: NAVD 88



HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
ROAD D PROFILE PLAN

REVISION BLOCK		
#	DATE	DESCRIPTION
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2	01-01-00	01-01-00
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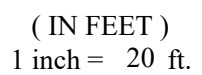
ROAD D PROFILE PLAN

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Sheet:	

PP4.0

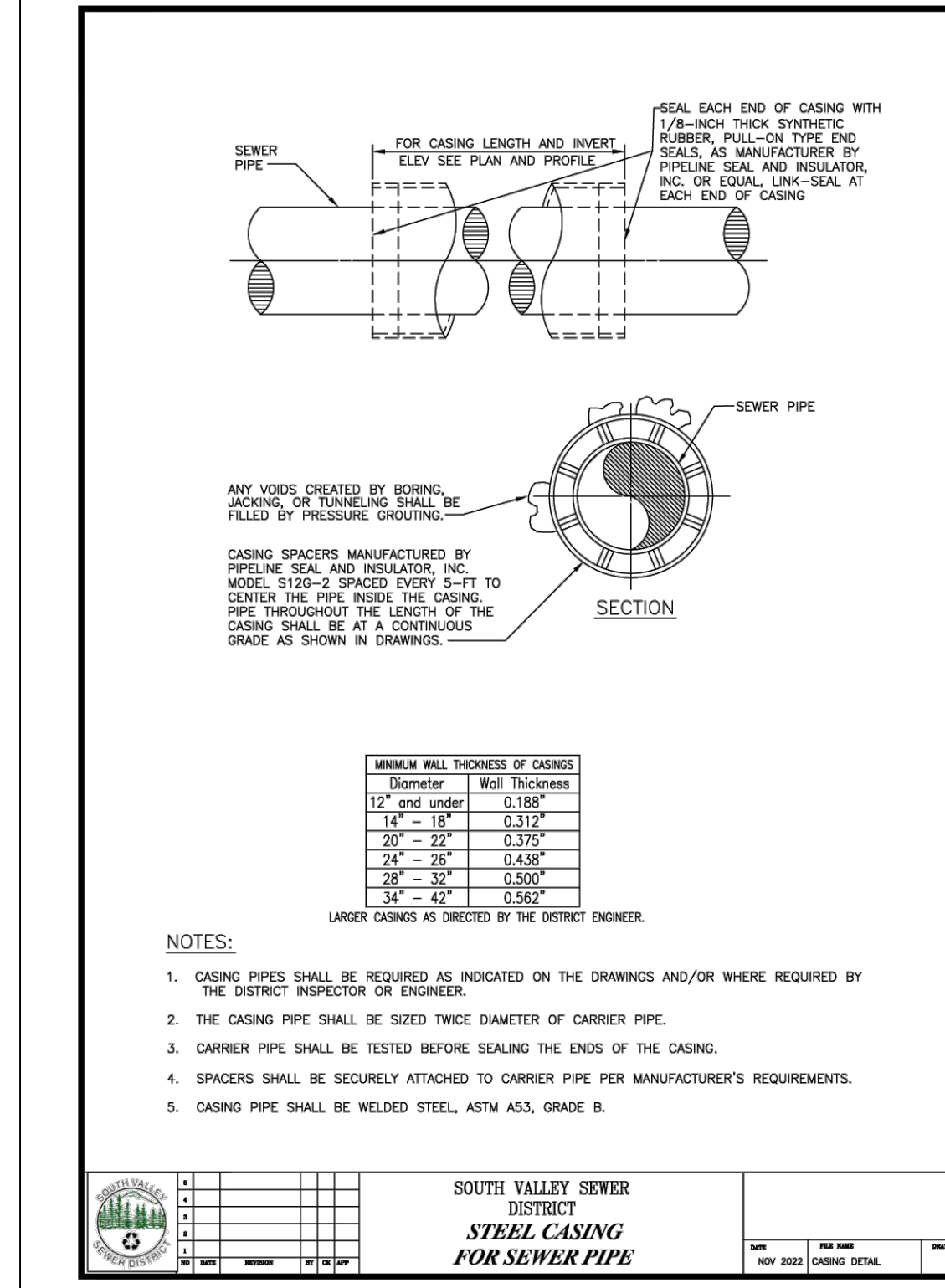
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Date: 02/13/24	Job #: 22-0403
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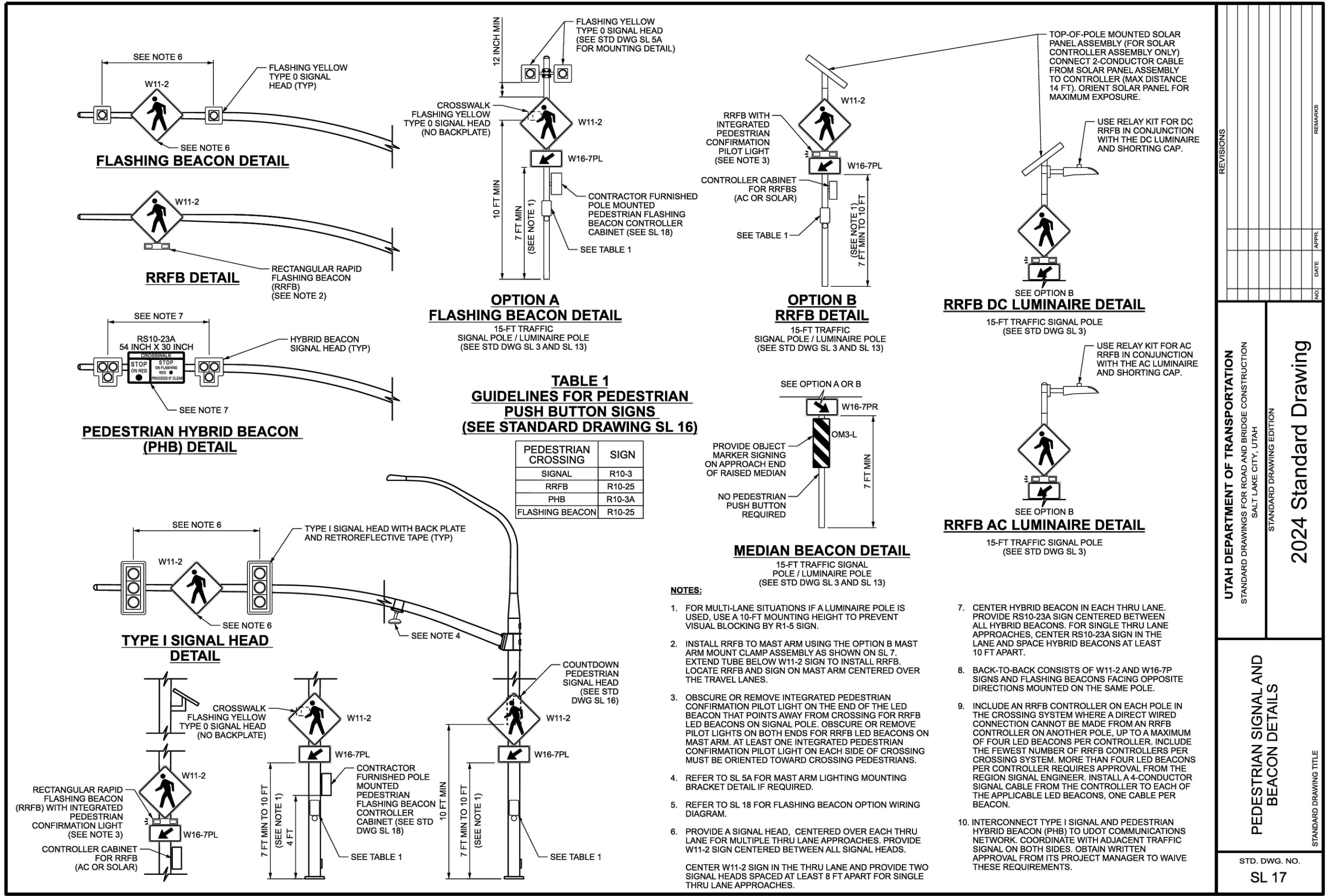
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Sheet:	

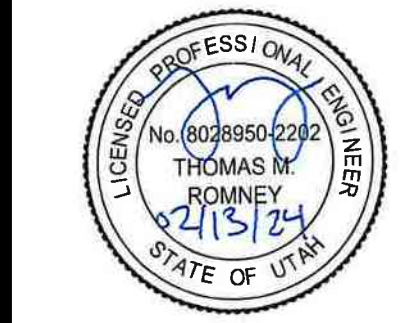
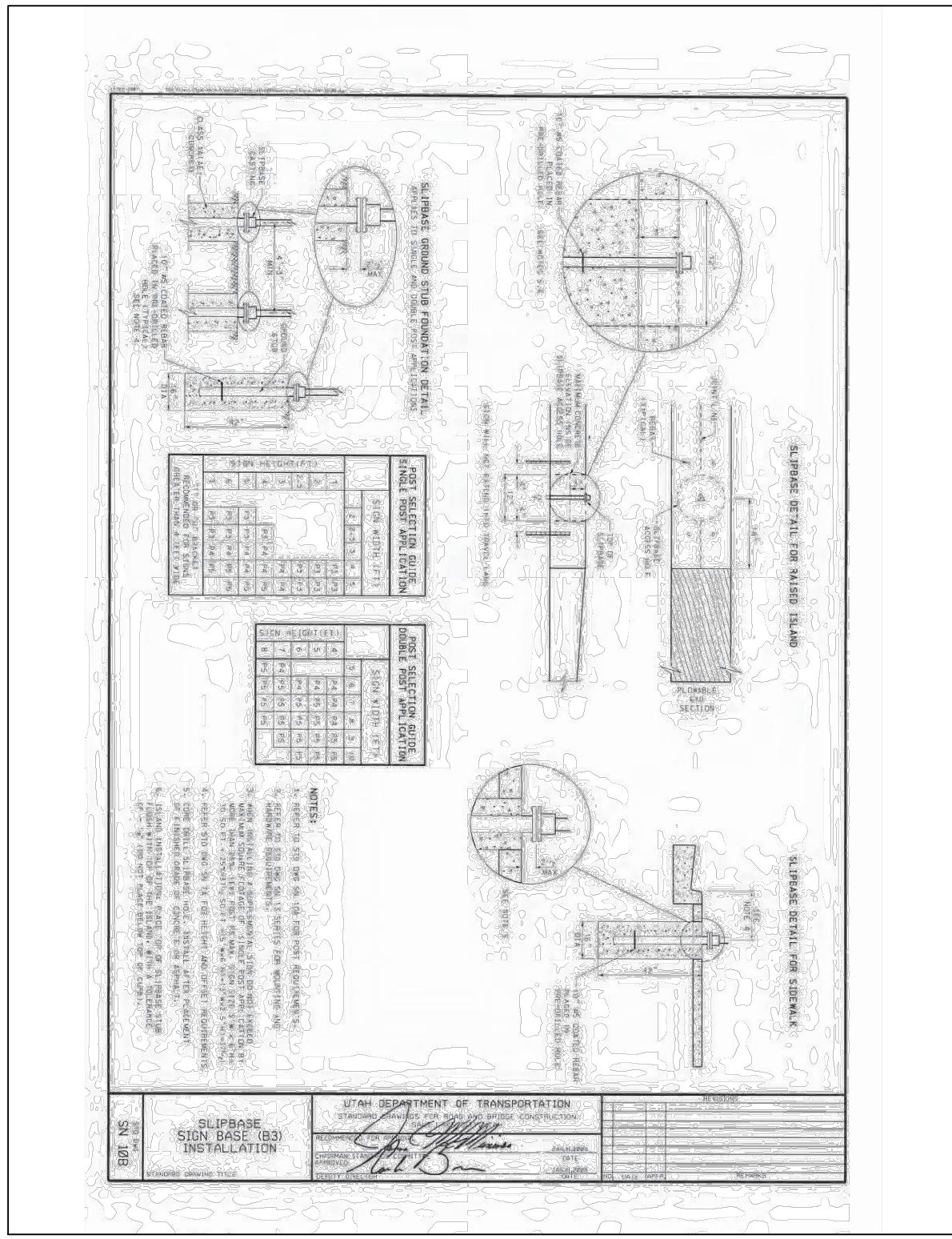
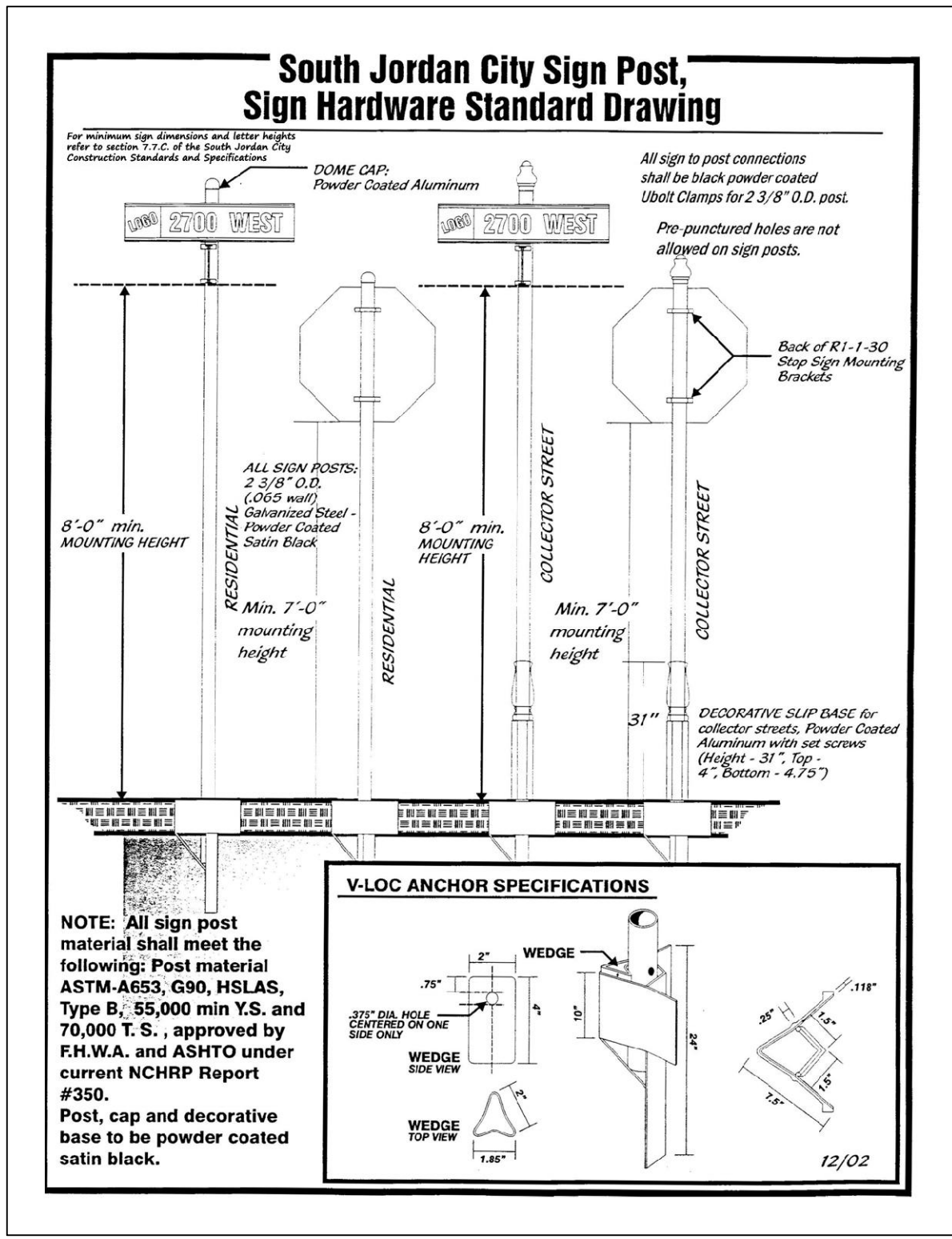


PROPOSED LAYOUT: BED 1		CONCEPTUAL ELEVATIONS		PART TYPE		FIN OR MATERIAL		DESCRIPTION		INVERT ABOVE FINISH OF CURB/EDGE	
1	BASE COURSE 10" (250) MINIMUM	1	CONCRETE	1	CONCRETE	1	CONCRETE	1	CONCRETE	1	CONCRETE
2	BASE COURSE 10" (250) MINIMUM	2	CONCRETE	2	CONCRETE	2	CONCRETE	2	CONCRETE	2	CONCRETE
3	BASE COURSE 10" (250) MINIMUM	3	CONCRETE	3	CONCRETE	3	CONCRETE	3	CONCRETE	3	CONCRETE
4	BASE COURSE 10" (250) MINIMUM	4	CONCRETE	4	CONCRETE	4	CONCRETE	4	CONCRETE	4	CONCRETE
5	BASE COURSE 10" (250) MINIMUM	5	CONCRETE	5	CONCRETE	5	CONCRETE	5	CONCRETE	5	CONCRETE
6	BASE COURSE 10" (250) MINIMUM	6	CONCRETE	6	CONCRETE	6	CONCRETE	6	CONCRETE	6	CONCRETE
7	BASE COURSE 10" (250) MINIMUM	7	CONCRETE	7	CONCRETE	7	CONCRETE	7	CONCRETE	7	CONCRETE
8	BASE COURSE 10" (250) MINIMUM	8	CONCRETE	8	CONCRETE	8	CONCRETE	8	CONCRETE	8	CONCRETE
9	BASE COURSE 10" (250) MINIMUM	9	CONCRETE	9	CONCRETE	9	CONCRETE	9	CONCRETE	9	CONCRETE
10	BASE COURSE 10" (250) MINIMUM	10	CONCRETE	10	CONCRETE	10	CONCRETE	10	CONCRETE	10	CONCRETE
11	BASE COURSE 10" (250) MINIMUM	11	CONCRETE	11	CONCRETE	11	CONCRETE	11	CONCRETE	11	CONCRETE
12	BASE COURSE 10" (250) MINIMUM	12	CONCRETE	12	CONCRETE	12	CONCRETE	12	CONCRETE	12	CONCRETE
13	BASE COURSE 10" (250) MINIMUM	13	CONCRETE	13	CONCRETE	13	CONCRETE	13	CONCRETE	13	CONCRETE
14	BASE COURSE 10" (250) MINIMUM	14	CONCRETE	14	CONCRETE	14	CONCRETE	14	CONCRETE	14	CONCRETE
15	BASE COURSE 10" (250) MINIMUM	15	CONCRETE	15	CONCRETE	15	CONCRETE	15	CONCRETE	15	CONCRETE
16	BASE COURSE 10" (250) MINIMUM	16	CONCRETE	16	CONCRETE	16	CONCRETE	16	CONCRETE	16	CONCRETE
17	BASE COURSE 10" (250) MINIMUM	17	CONCRETE	17	CONCRETE	17	CONCRETE	17	CONCRETE	17	CONCRETE
18	BASE COURSE 10" (250) MINIMUM	18	CONCRETE	18	CONCRETE	18	CONCRETE	18	CONCRETE	18	CONCRETE
19	BASE COURSE 10" (250) MINIMUM	19	CONCRETE	19	CONCRETE	19	CONCRETE	19	CONCRETE	19	CONCRETE
20	BASE COURSE 10" (250) MINIMUM	20	CONCRETE	20	CONCRETE	20	CONCRETE	20	CONCRETE	20	CONCRETE
21	BASE COURSE 10" (250) MINIMUM	21	CONCRETE	21	CONCRETE	21	CONCRETE	21	CONCRETE	21	CONCRETE
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23	BASE COURSE 10" (250) MINIMUM	23	CONCRETE	23	CONCRETE	23	CONCRETE	23	CONCRETE	23	CONCRETE
24	BASE COURSE 10" (250) MINIMUM	24	CONCRETE	24	CONCRETE	24	CONCRETE	24	CONCRETE	24	CONCRETE
25	BASE COURSE 10" (250) MINIMUM	25	CONCRETE	25	CONCRETE	25	CONCRETE	25	CONCRETE	25	CONCRETE
26	BASE COURSE 10" (250) MINIMUM	26	CONCRETE	26	CONCRETE	26	CONCRETE	26	CONCRETE	26	CONCRETE
27	BASE COURSE 10" (250) MINIMUM	27	CONCRETE	27	CONCRETE	27	CONCRETE	27	CONCRETE	27	CONCRETE
28	BASE COURSE 10" (250) MINIMUM	28	CONCRETE	28	CONCRETE	28	CONCRETE	28	CONCRETE	28	CONCRETE
29	BASE COURSE 10" (250) MINIMUM	29	CONCRETE	29	CONCRETE	29	CONCRETE	29	CONCRETE	29	CONCRETE
30	BASE COURSE 10" (250) MINIMUM	30	CONCRETE	30	CONCRETE	30	CONCRETE	30	CONCRETE	30	CONCRETE
31	BASE COURSE 10" (250) MINIMUM	31	CONCRETE	31	CONCRETE	31	CONCRETE	31	CONCRETE	31	CONCRETE
32	BASE COURSE 10" (250) MINIMUM	32	CONCRETE	32	CONCRETE	32	CONCRETE	32	CONCRETE	32	CONCRETE
33	BASE COURSE 10" (250) MINIMUM	33	CONCRETE	33	CONCRETE	33	CONCRETE	33	CONCRETE	33	CONCRETE

[illegible][illegible]52



- NOTES**
1. SEE DETAIL FOR FLASHING BEACON OPTION B.
 2. SEE CITY OF SOUTH JORDAN STD 92 FOR SIGN POLE SPECIFICATIONS.



HARVEST POINTE WEST
3773 S JORDAN PKWY, SOUTH JORDAN, UT
DETAILS

REVISION BLOCK		
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4	10-1-2010	10-1-2010
5	10-1-2010	10-1-2010
6	10-1-2010	10-1-2010

DETAILS

Scale: N/A	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	

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FOR
REVIEW
ONLY

HARVEST POINTE WEST
SOUTH JORDAN, UTAH
OVERALL LANDSCAPE PLAN

REVISION BLOCK		DESCRIPTION
#	DATE	
1		
2		
3		
4		
5		
6		

OVERALL
LANDSCAPE
PLAN

Scale: 1"=40'
Date: 01/18/2024
Sheet: L1.0

2022-22-0403 Harvest Point South Townhomes Design 22-0403 Long View Rev L1.0-L1.XX LANDSCAPE PLAN.dwg

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AC3	Abies concolor 'Candicans'	Candicans White Fir	7' Ht.	3
CP	Crataegus phaenopyrum	Washington Hawthorn	2" Cal.	6
MS	Malus x 'Spring Snow'	Spring Snow Crabapple	2" Cal.	25
PH	Picea pungens 'Hoopsii'	Hoopsii Colorado Spruce	7' Ht.	4
ZG	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	2" Cal.	4

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AMG	Aronia melanocarpa 'UCCONNAMO 12' TM	Ground Hug Black Chokeberry	5 gal.	12
BTC	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	5 gal.	31
CG2	Caragana frutex 'Globosa'	Globe Russian Peashrub	5 gal.	9
CAD	Cornus alba 'Bailhali' TM	Ivory Halo Dogwood	5 gal.	13
CSK	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	5 gal.	20
EAC	Euonymus alatus 'Grove Compactus'	Grove Compact Burning Bush	5 gal.	26
EFC	Euonymus fortunei 'Colorata'	Purple-leaf Winter Creeper	5 gal.	7
JPM	Juniperus x pfitzeriana 'Monsari' TM	Sea of Gold Pfitzer Juniper	5 gal.	12
POL	Physocarpus opulifolius 'Donna May' TM	Little Devil Ninebark	5 gal.	14
PMM	Pinus mugo 'Mops'	Mugo Pine	5 gal.	12
PLC	Prunus laurocerasus 'Chestnut Hill'	Chestnut Hill English Laurel	5 gal.	12
SSS	Sorbaria sorbifolia 'Sem'	Sem Ash Leaf Spirea	5 gal.	9
SJD	Spiraea japonica 'Double Play Doozie'	Doozie Spirea	5 gal.	14
VRR	Viburnum x rhytidophylloides 'Redell' TM	Red Balloon Viburnum	5 gal.	9

ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
CAK2	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	69
H552	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 gal.	69

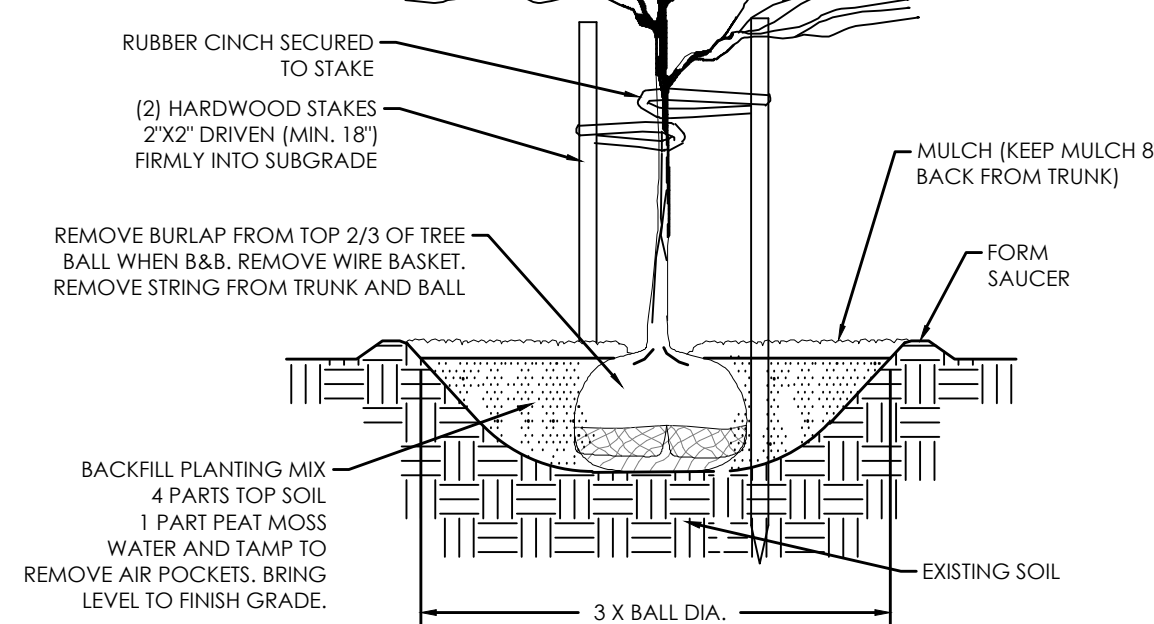
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
H50	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	49

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	PP2	Poa pratensis	Kentucky Bluegrass	sod	8,069 sf

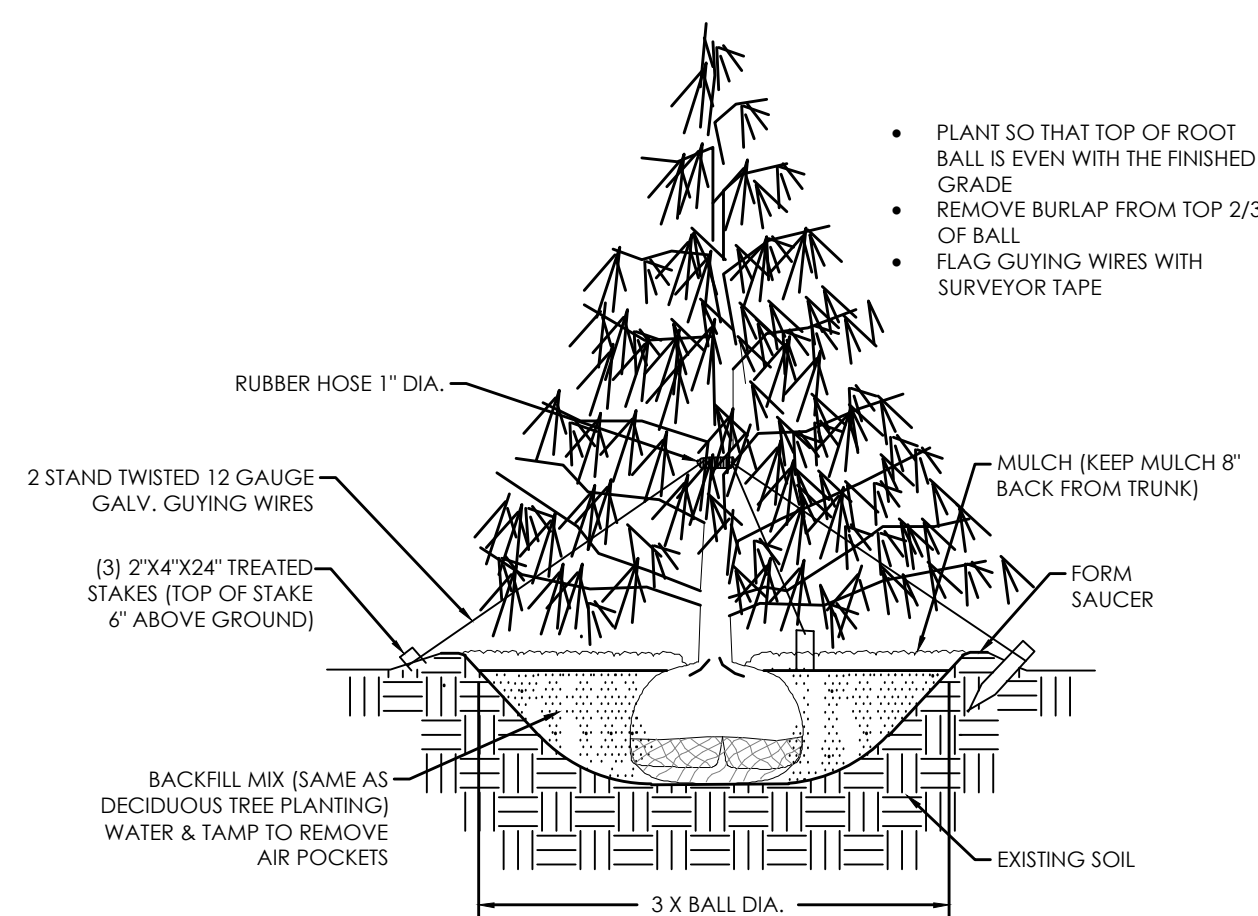
LANDSCAPE TABLE

ITEM	AMOUNT	%
TOTAL LANDSCAPE AREA	29,132 SQ.FT.	100
LAWN (TURF GRASS)	8,069 SQ.FT.	28
SHRUB BEDS W/ ROCK MULCH	21,063 SQ.FT.	72

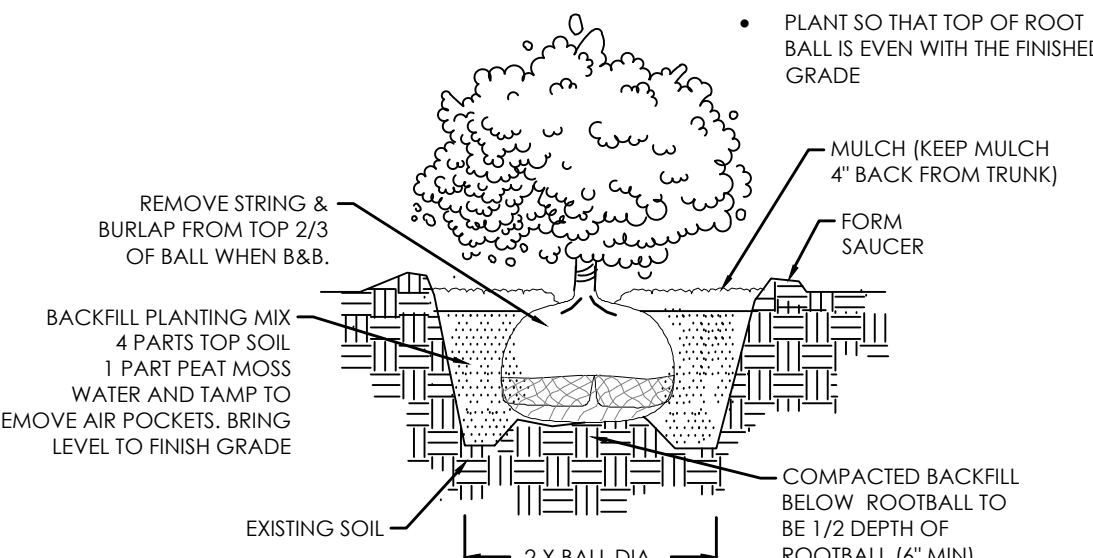
- PLANT SO THAT ROOT FLAIR IS AT OR 1" ABOVE FINISHED GRADE.
- PROVIDE 3" DIA. CLEARANCE AT BASE OF TREE, FREE OF ROCK AND TURF.



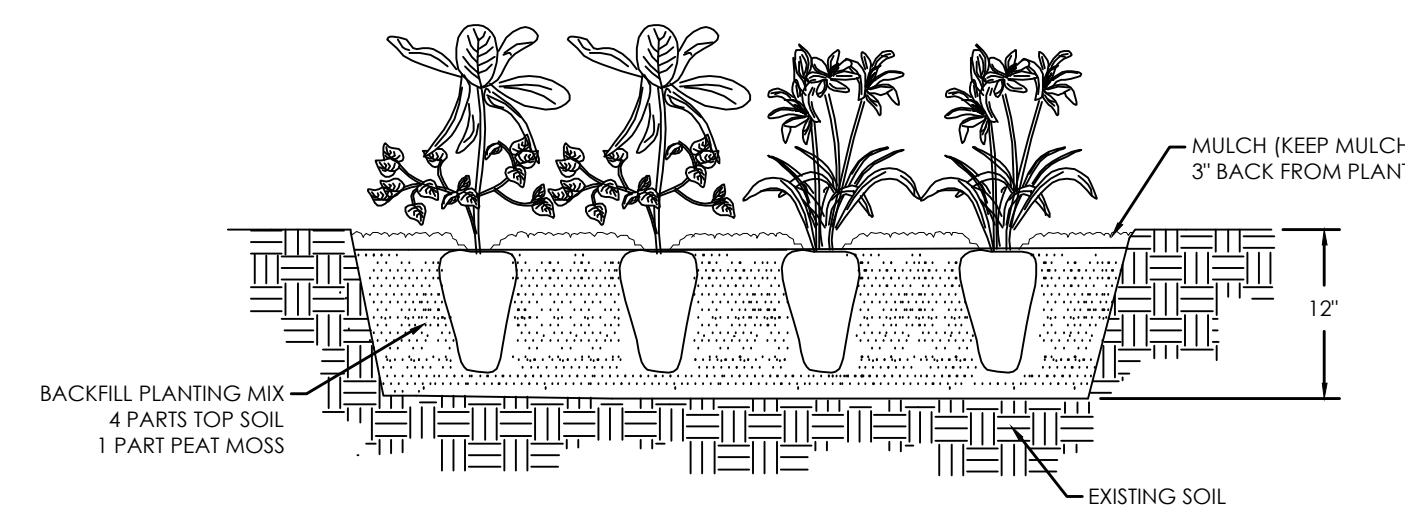
A TREE PLANTING & STAKING
NOT TO SCALE



B EVERGREEN PLANTING & GUYING
NOT TO SCALE



C SHRUB PLANTING
NOT TO SCALE



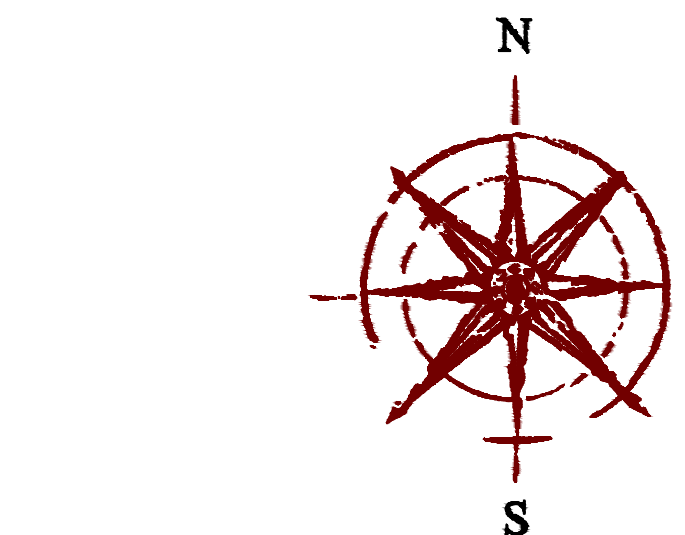
D PERENNIAL PLANTING
NOT TO SCALE

REFERENCE NOTES SCHEDULE

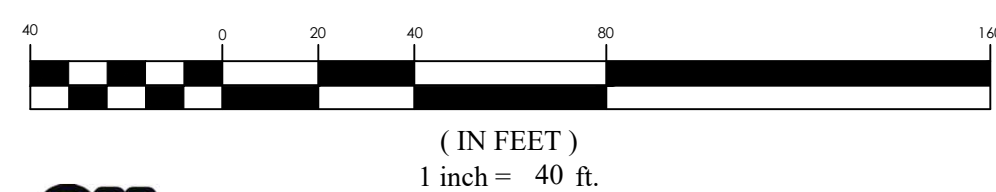
SYMBOL	DESCRIPTION	QTY
1	RIVER COBBLE, 2" VEGAS GRAVEL, FROM ROCK UTAH OR APPROVED EQUAL.	21,063 sf
2	STEEL EDGING	

LANDSCAPE NOTES

- LAWN AREAS WILL BE SODDED WITH KENTUCKY BLUEGRASS BLEND OVER 4 INCHES GOOD GRADE TOPSOIL.
- TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEPTH OF 2" TO 4" ROCK MULCH OVER DEWITT PRO-S WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED. SEE REF. NOTES FOR SPECIFICATIONS.
- INSTALL STEEL EDGING FOR MOW STRIPS BETWEEN LAWN AREAS AND PLANTING BEDS.
- CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.



GRAPHIC SCALE



Know what's below.
Call 811 before you dig.

FOR
REVIEW
ONLY

HARVEST POINTE WEST
SOUTH JORDAN, UTAH
LANDSCAPE PLAN

REVISION BLOCK

#	DATE	DESCRIPTION
1	----	----
2	----	----
3	----	----
4	----	----
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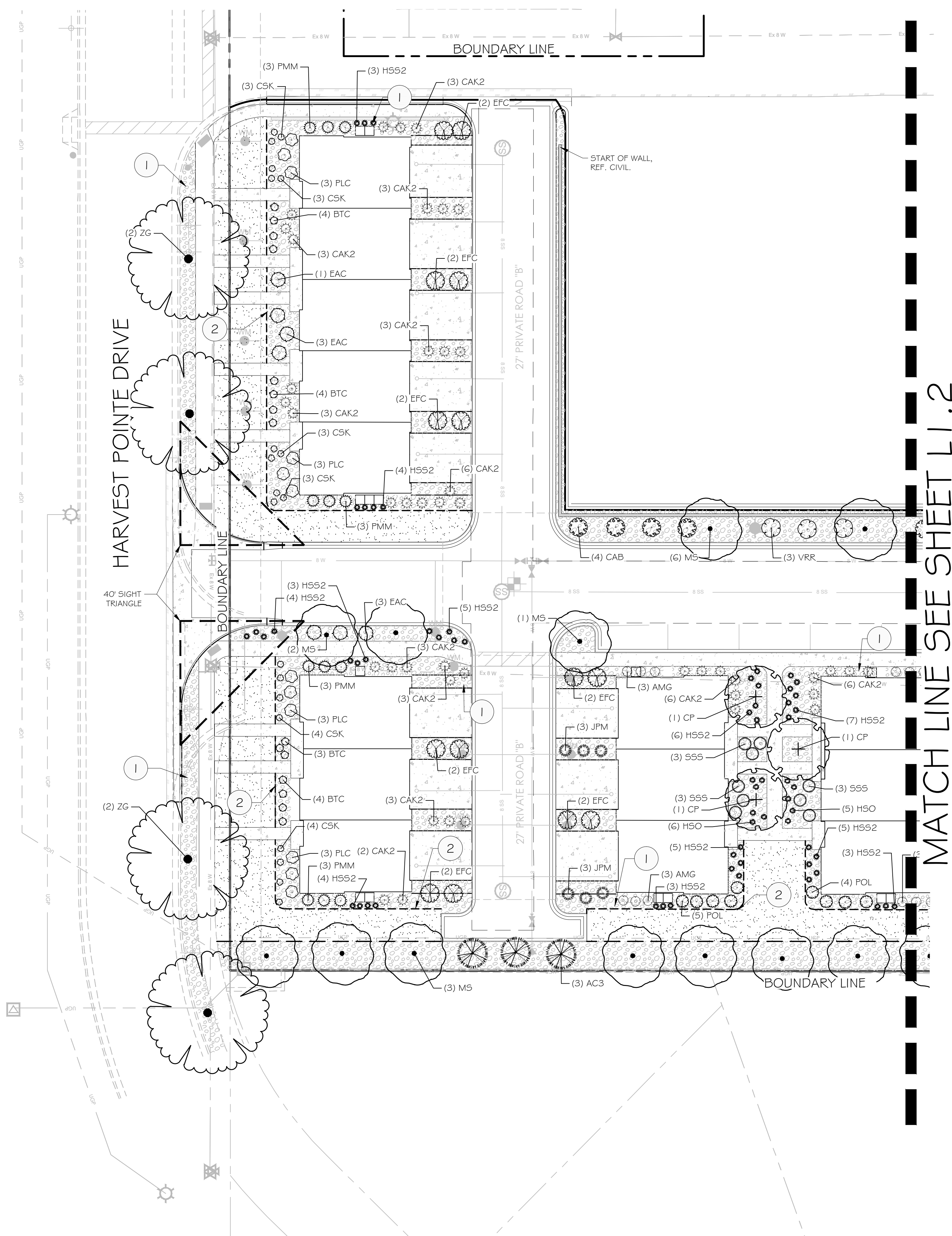
LANDSCAPE
PLAN

Scale: 1"=20'
Date: 01/18/2024
Sheet:

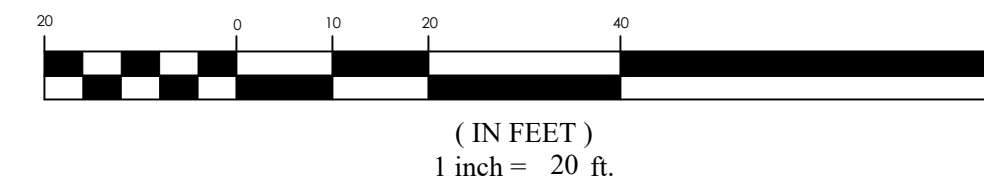
Drawn: BW
Job #: 22-0403

L1.1


Z:\2022\22-0403 Harvest Point South Townhomes design\22-0403 Lwg\AreaR\LI-01.L1.XX.LANDSCAPE PLAN.dwg



GRAPHIC SCALE



PLANT SCHEDULE

<u>TREES</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>	
AC3	Abies concolor 'Candicans'	Candicans White Fir	7" Hts.	3	
CP	Crataegus phaenopyrum	Washington Hawthorn	2" Cal.	6	
MS	Malus x 'Spring Snow'	Spring Snow Crabapple	2" Cal.	25	
PH	Picea pungens 'Hoopsii'	Hoopsii Colorado Spruce	7" Ht.	4	
ZG	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	2" Cal.	4	
<u>SHRUBS</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>	
AMG	Aronia melanocarpa 'UCONNAMO I 2' TM	Ground Hug Black Chokeberry	5 gal.	12	
BTC	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	5 gal.	31	
CG2	Caragana frutes 'Globosa'	Globe Russian Peashrub	5 gal.	9	
CAB	Cornus alba 'Bailhali' TM	Ivory Halo Dogwood	5 gal.	13	
CSK	Cornus sencea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	5 gal.	20	
EAC	Euonymus alatus 'Grove Compactus'	Grove Compact Burning Bush	5 gal.	7	
EFC	Euonymus fortunei 'Colorata'	Purple-leaf Winter Creeper	5 gal.	26	
JPM	Juniperus x pfitzenana 'Monsan' TM	Sea of Gold Pfitzer Juniper	5 gal.	12	
POL	Physocarpus opulifolius 'Donna May' TM	Little Devil Ninebark	5 gal.	14	
PMM	Pinus mugo 'Mops'	Mugo Pine	5 gal.	12	
PLC	Prunus laurocerasus 'Chestnut Hill'	Chestnut Hill English Laurel	5 gal.	12	
SSS	Sorbaria sorbifolia 'Sem'	Sem Ash Leaf Spirea	5 gal.	9	
SJD	Spiraea japonica 'Double Play Doozie'	Doozie Spirea	5 gal.	14	
VRR	Viburnum x rhytidophylloides 'Redell' TM	Red Balloon Viburnum	5 gal.	9	
<u>ORNAMENTAL GRASSES</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>	
CAK2	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	69	
HSS2	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 gal.	69	
<u>PERENNIALS</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>	
HSD	Heimerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	49	
<u>GROUND COVERS</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>
	PP2	Poa pratensis	Kentucky Bluegrass	sod	8,069 sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
①	RIVER COBBLE, 2" VEGAS GRAVEL, FROM ROCK UTAH OR APPROVED EQUAL.	21,063 sf
②	STEEL EDGING	

LANDSCAPE TABLE

ITEM	AMOUNT	%
TOTAL LANDSCAPE AREA	29,132 SQ.FT.	100
LAWN (TURF GRASS)	8,069 SQ.FT.	28
SHRUB BEDS W/ ROCK MULCH	21,063 SQ.FT.	72



Know what's below.
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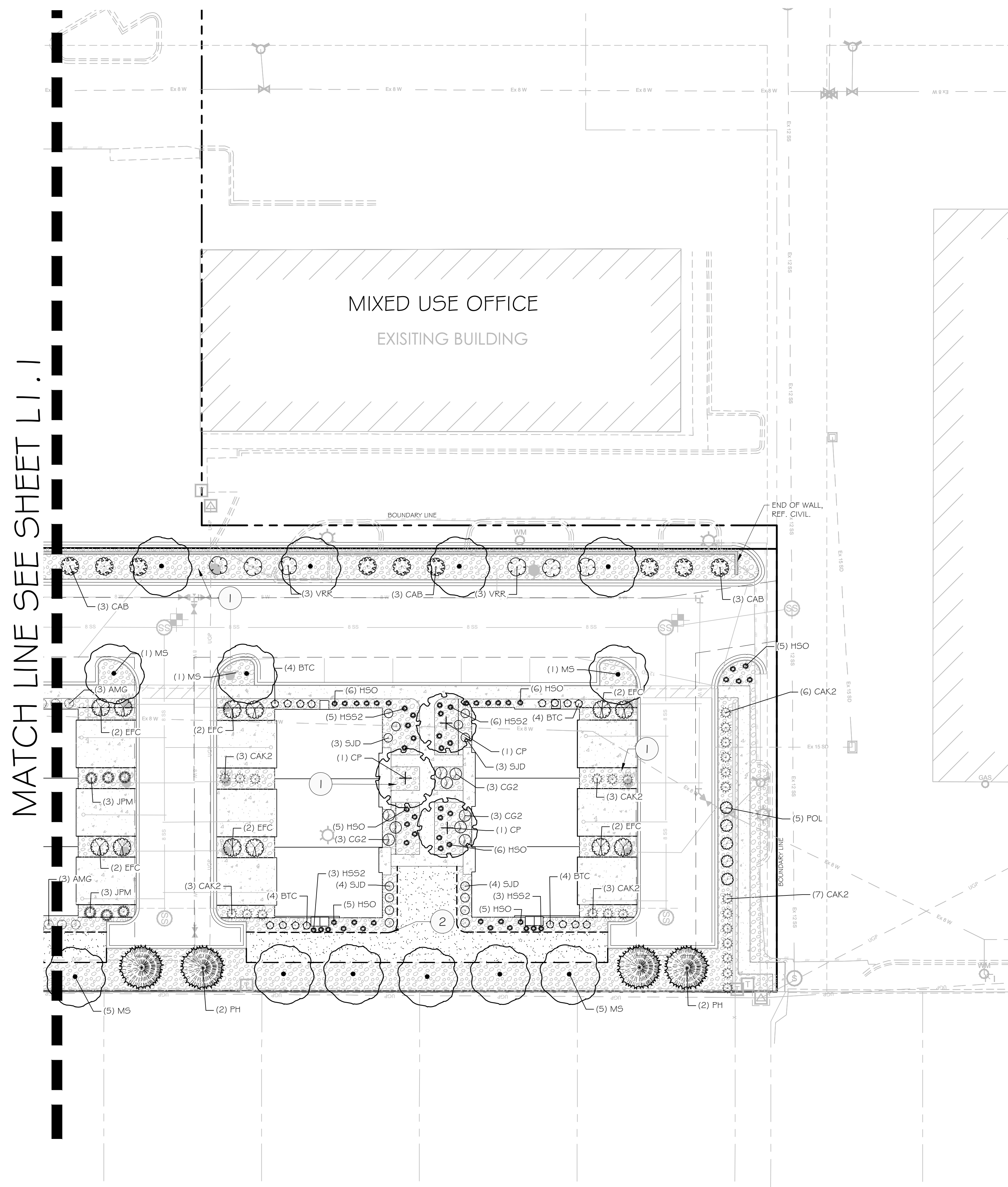
HARVEST POINTE WEST
SOUTH JORDAN, UTAH
LANDSCAPE PLAN

REVISION BLOCK		
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6	10-1-2000	10-1-2000

LANDSCAPE
PLAN

Scale: 1"=20'	Drawn: BW
Date: 01/18/2024	Job #: 22-0403
Sheet:	

L1.2



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft


PLANT SCHEDULE

<u>Tree#</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>
AC3	<i>Abies concolor</i> 'Candicans'	Candicans White Fir	7' Ht.	3
CP	<i>Crataegus phaenopyrum</i>	Washington Hawthorn	2' Cal.	6
M5	<i>Malus</i> x 'Spring Snow'	Spring Snow Crabapple	2' Cal.	25
PH	<i>Picea pungens</i> 'Hoopsii'	Hoopsii Colorado Spruce	7' Ht.	4
ZG	<i>Zeikova serrata</i> 'Green Vase'	Green Vase Sawleaf Zeikova	2' Cal.	4
<hr/>				
<u>SHRUBS</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>
AMG	<i>Aronia melanocarpa</i> 'UNCONNAMO12' TM	Ground Hug Black chokeberry	5 gal.	12
BTC	<i>Berberis thunbergii</i> 'Concorde'	Concorde Japanese Barberry	5 gal.	31
CQ2	<i>Caragana frutex</i> 'Globosa'	Globe Russian Peashorch	5 gal.	9
CAB	<i>Cornus alba</i> 'Bailhala' TM	Ivory Halo Dogwood	5 gal.	13
CSK	<i>Cornus sencea</i> 'Kelseyy'	Kelseyy's Dwarf Red Twig Dogwood	5 gal.	20
EAC	<i>Euonymus alatus</i> 'Grove Compactus'	Grove Compact Burning Bush	5 gal.	7
EF6	<i>Euonymus fortunei</i> 'Colorata'	Purple-leaf Winter Creeper	5 gal.	26
JPM	<i>Juniperus x pfitzenana</i> 'Monsan' TM	Sea of Gold Pfitzer Juniper	5 gal.	12
POL	<i>Physocarpus opulifolius</i> 'Donna May' TM	Little Devil Ninebark	5 gal.	14
FMH	<i>Pinus mugo</i> 'Mops'	Mugo Pine	5 gal.	12
SLG	<i>Prunus laurocerasus</i> 'Chestnut Hill'	Chestnut Hill English Laurel	5 gal.	9
SS5	<i>Sorbaria sorbifolia</i> 'Sem'	Sem Ash Leaf Spirea	5 gal.	9
SJD	<i>Spiraea japonica</i> 'Double Play Dozzie'	Dozzie Spirea	5 gal.	14
VRR	<i>Viburnum x rhytidophylloides</i> 'Redeal' TM	Red Balloon Viburnum	5 gal.	9

ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
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H50	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	49

<u>GROUND COVERS</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>
	PP2	Poa pratensis	Kentucky Bluegrass	sod	8,069 sq

REFERENCE NOTES SCHEDULE

<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>QTY</u>
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②	STEEL EDGING	

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Know what's **below**.
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HARVEST POINTE WEST
SOUTH JORDAN, UTAH
OVERALL IRRIGATION PLAN

REVISION BLOCK	DESCRIPTION
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2	DATE
3	DATE
4	DATE
5	DATE
6	DATE

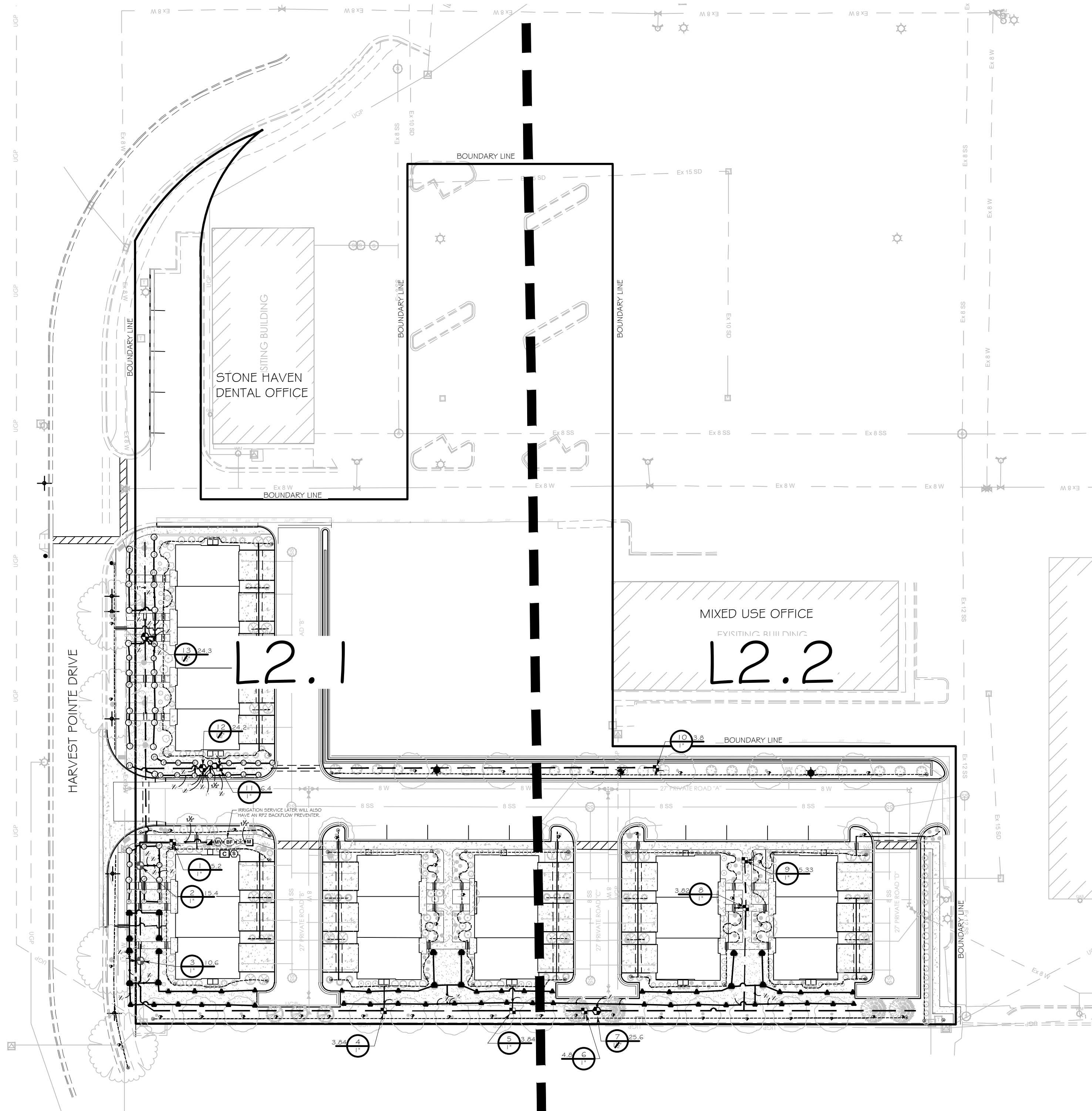
OVERALL
IRRIGATION
PLAN

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Drawn: BW

Job #: 22-0403

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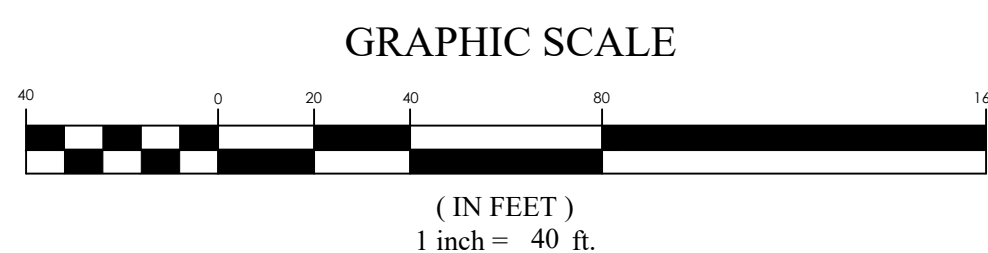


IRRIGATION NOTES

- THIS SYSTEM IS BASED UPON AN AVAILABLE STATIC PRESSURE OF 50 PSI MINIMUM. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFIRM THE STATIC WATER PRESSURE AND THE SIZE OF THE POINT OF CONNECTION (POC).
- COORDINATE AND LOCATE ALL EXISTING UTILITIES ON THE SITE PRIOR TO EXCAVATION.
- THIS PLAN IS DIAGRAMMATIC. SOME EQUIPMENT MAY BE SHOWN IN PAVED AREAS AND BUILDINGS FOR PLAN CLARITY.
- INSTALL PVC SCHEDULE 40 SLEEVES UNDER ALL PAVED SURFACES WHERE LINES AND CONTROL WIRES CROSS INCLUDING ALL SIDEWALKS. SLEEVE SIZE SHALL BE 2 TIMES LARGER THAN THE LINE. EXTEND 6" BEYOND THE PAVED SURFACE ON EACH SIDE. INSTALL A SEPARATE SLEEVE FOR THE CONTROL WIRES.
- INSTALL MANUAL DRAIN VALVES AT ALL LOW POINTS ALONG IRRIGATION MAIN LINE AND EACH SIDE OF DRIVEWAY WHERE MAIN LINE CROSSES UNDER.
- INSTALL VARIABLE ARC NOZZLES ON SPRINKLER HEADS WHERE ANGLE IS DIFFERENT THAN STANDARD NOZZLES.
- ALL PIPE FITTINGS SHALL BE SCHEDULE 80 ON MAIN LINE.
- XB5 TUBING SHALL BE INSTALLED UNDER BARK OR ROCK MULCH.
- INSTALL 3/4" MANUAL FLUSH VALVE IN AN 10" ROUND VALVE BOX AT THE END OF ALL DRIP LINES.
- DRIP EMITTERS SHALL BE RAINBIRD XB-20PC (2 GPH) XERI-BUG EMITTER, 1 EMITTER PER PLANT FOR PERENNIALS AND ORNAMENTAL GRASSES AND 2 EMITTERS PER PLANT FOR SHRUBS.
- RAINBIRD MULTI-OUTLET XERI-BUG EMITTER XB-20-6 (12 GPH) SHALL BE USED ON TREES IN PLANTING BEDS WITH DIFFUSER BUG CAP AT ENDS OF TUBING. DISTRIBUTE EMITTERS AROUND ROOTBALL OF TREE.
- CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird 1804-PRS ADJ Turf Spray 4.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	55
	Rain Bird R-VAN-STRIP 1804-SAM-P45 Shrub Rotary, 5'x15' (LCS and RCS), 5'x30' (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4' pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	19
	Rain Bird R-VAN14 1804-SAM-P45 Turf Rotary, 8'-14' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4' pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	42
	Rain Bird R-VAN18 1804-SAM-P45 Turf Rotary, 13'-18' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4' pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	16
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZF-100-PRF 1" Medium Flow Drip Control Kit. 1in. DV Valve with 1in. Pressure Regulating Filter at , and MDCF Fitting. 3 GPM-15 GPM.	8
	Rain Bird XB-6 Six-Outlet, Pressure Compensating, Drip Emitter. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	39
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB (ZONE VALVE) 1-1/2" 1in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	3
	Rain Bird PEB (ZONE VALVE) 1" 1in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	2
	Rain Bird 44-RC 1" 1in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 2-Piece Body.	1
	STOP AND WASTE VALVE MUELLER MARK II ORISEAL S&W VALVE MODEL H-10288	1
	Rain Bird PEB (Master Valve) 1" 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	1
	Zurn 375 1" Reduced Pressure Principle Assembly. Size 1in	1
	Rain Bird ESPLXME2-LXMM w/ (1) ESPLXMSM12 24 Station, Traditionally-Wired, Commercial Controller,(1) ESPLXME2 12-Station, Indoor/Outdoor, Plastic Wall-Mount Enclosure, (1) ESPLXMSM12 - 12-Station Expansion Modules. Install in LXMM Powder Coated, Metal Wall-Mounted Cabinet.	1
	Rain Bird WR2-RC Wireless Rain Sensor Combo, includes 1 receiver and 1 rain sensor transmitter. To be mounted on eave of building, location as directed by owner.	1
	Water Meter 1"	1
	Irrigation Lateral Line: PVC Schedule 40 3/4"	1,323 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	209.7 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	34.8 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/2"	1,117.5 l.f.
	Pipe Sleeve: PVC Class 200 SDR 21 Sleeve Shall Be Two Sizes Larger Than The Pipe Within	761.9 l.f.
	Valve Callout: Value Number, Value Flow, Value Size	
	RAINBIRD 3/4" XB5 TUBING WITH 1/4" TUBING TO EMITTER	
	1" POLY PIPE CONNECTING DRIPLINE SECTIONS	
	3/4" MANUAL FLUSH VALVE IN 10" ROUND VALVE BOX	



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HARVEST POINTE WEST
SOUTH JORDAN, UTAH
IRRIGATION PLAN

REVISION BLOCK		DESCRIPTION
#	DATE	
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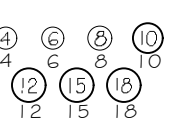












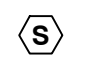


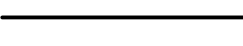
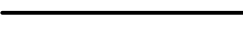
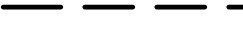
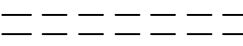
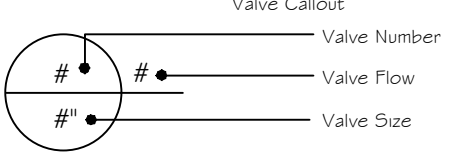
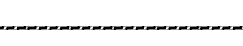
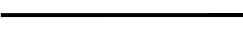

IRRIGATION
PLAN

Scale: 1"=20'
Date: 01/18/2024
Sheet: L2.1

Drawn: BW
Job #: 22-0403

L2.1

IRRIGATION SCHEDULE

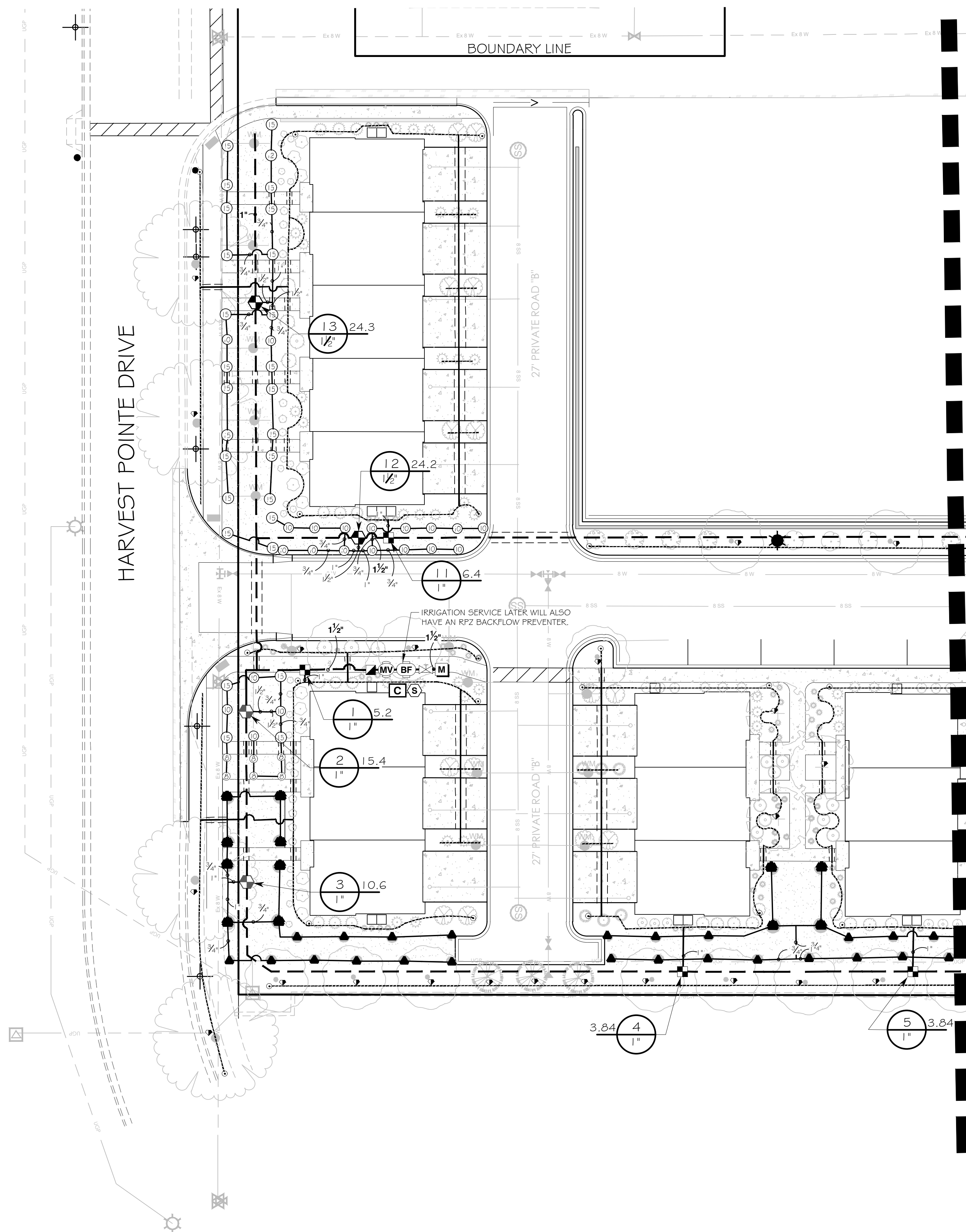
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird 1804-PRS ADJ Turf Spray 4.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	55
	Rain Bird R-VAN-STRIP 1804-SAM-P45 Shrub Rotary, 5' x 15' (LC5 and RCS), 5' x 30' (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	19
	Rain Bird R-VAN 14 1804-SAM-P45 Turf Rotary, 8' - 14' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	42
	Rain Bird R-VAN 18 1804-SAM-P45 Turf Rotary, 13' - 18' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	16
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZF-100-PRF 1" Medium Flow Dnp Control Kit. 1 in. DV Valve with 1 in. Pressure Regulating Filter at , and MDCF Fitting. 3 GPM-15 GPM.	8
	Rain Bird XB-G 5/8-Inlet, Pressure Compensating, Dnp Emitter. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	39
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
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	Rain Bird 44-RC 1" 1 in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 2-Piece Body.	1
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	Rain Bird PEB (Master Valve) 1" 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	1
	Zurn 375 1" Reduced Pressure Principle Assembly. Size 1 in	1
	Rain Bird ESPLXME2-LXMM w/ (1) ESPLXMSM 12 24 Station, Traditionally-Wired, Commercial Controller.(1) ESPLXME2 12-Station, Indoor/Outdoor, Plastic Wall-Mount Enclosure, (1) ESPLXMSM 12 - 12-Station Expansion Modules. Install in LXMM Powder Coated, Metal Wall-Mounted Cabinet.	1
	Rain Bird WR2-RC Wireless Rain Sensor Combo, includes 1 receiver and 1 rain sensor transmitter. To be mounted on eave of building, location as directed by owner.	1
	Water Meter 1"	1
	Irrigation Lateral Line: PVC Schedule 40 3/4"	1,323 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	209.7 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	34.8 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/2"	1,117.5 l.f.
	Pipe Sleeve: PVC Class 200 SDR 21 Sleeve Shall Be Two Sizes Larger Than The Pipe Within	761.9 l.f.
	Valve Callout: Valve Number Valve Flow Valve Size	
	RAINBIRD 3/4" XBS TUBING WITH 1/4" TUBING TO EMITTER	
	1" POLY PIPE CONNECTING DRIPLINE SECTIONS	
	3/4" MANUAL FLUSH VALVE IN 10" ROUND VALVE BOX	



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



Know what's below.
Call 811 before you dig.

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HARVEST POINTE WEST
SOUTH JORDAN, UTAH
IRRIGATION PLAN

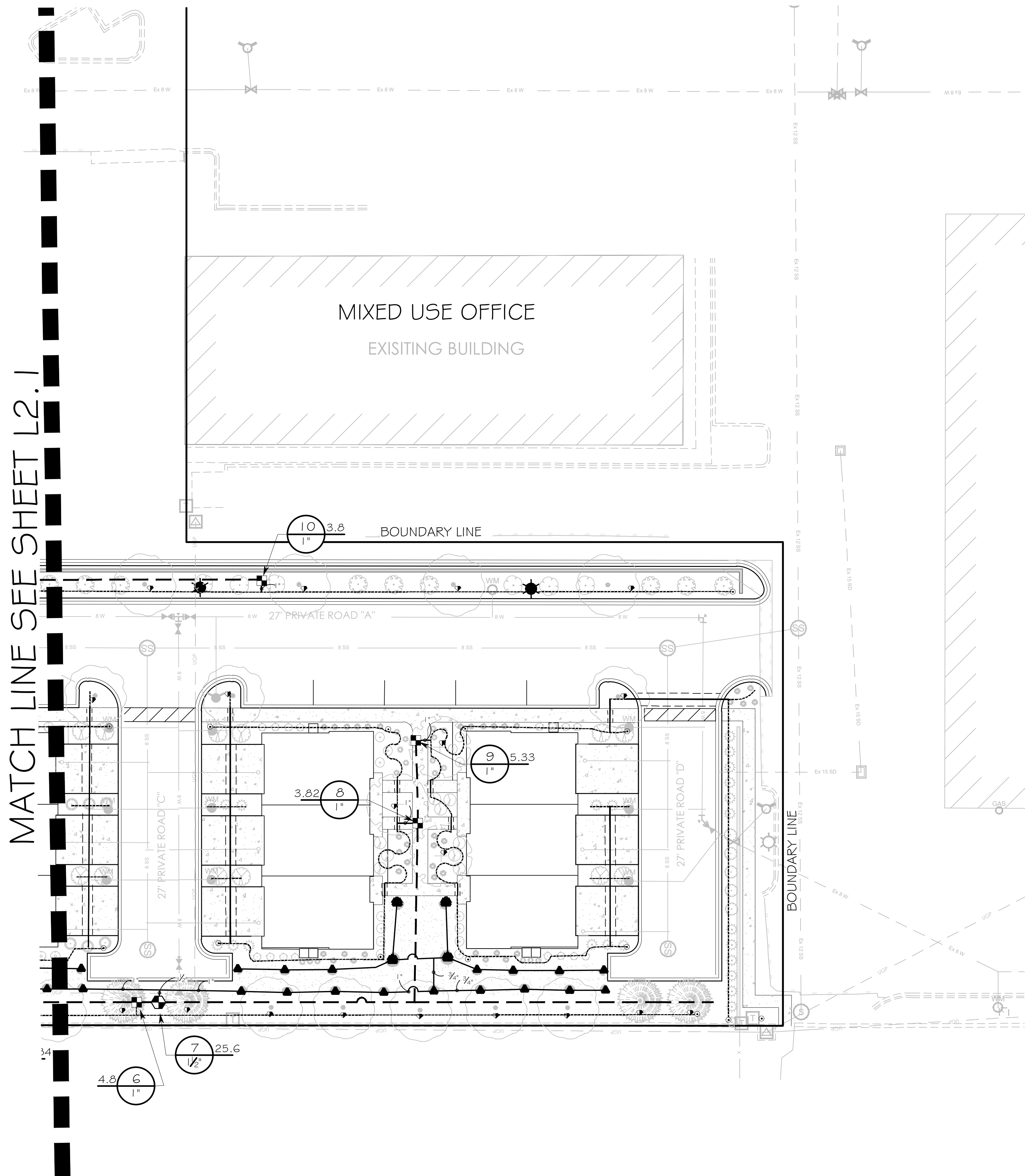
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IRRIGATION
PLAN

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Date: 01/18/2024
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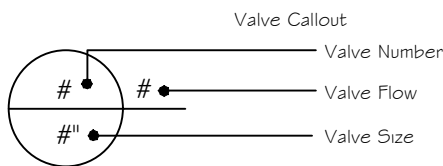
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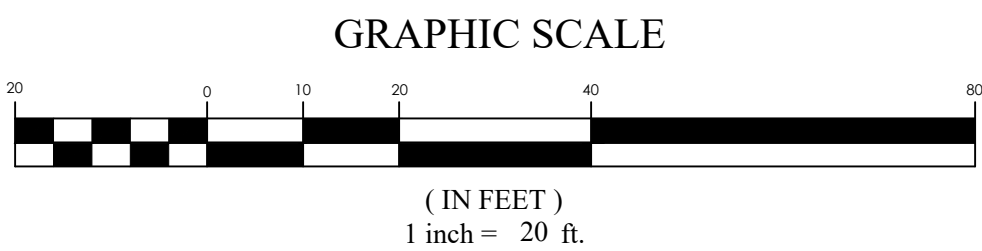


IRRIGATION SCHEDULE

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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZF-100-PRF 1" Medium Flow Drip Control Kit. 1 in. DV Valve with 1 in. Pressure Regulating Filter at , and MDCF Fitting. 3 GPM-15 GPM.	8
	Rain Bird XB-6 5in-Outlet, Pressure Compensating, Drip Emitter. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	39
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	Irrigation Lateral Line: PVC Schedule 40 3/4"	1,323 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	209.7 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	34.8 l.f.
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	Pipe Sleeve: PVC Class 200 SDR 21 Sleeve Shall Be Two Sizes Larger Than The Pipe Within	761.9 l.f.

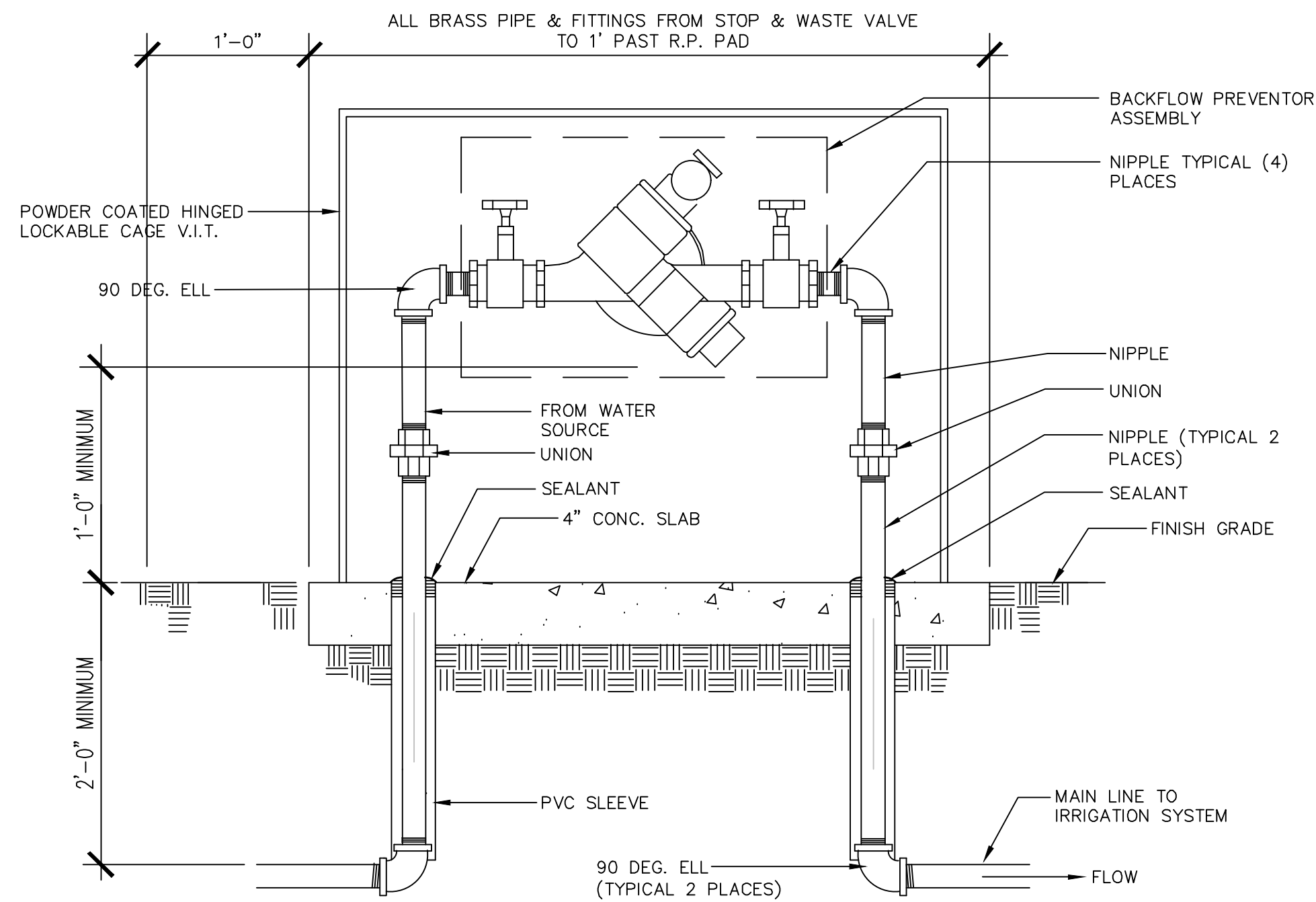


- RAINBIRD 3/4" XBS TUBING WITH 1/4" TUBING TO EMITTER
- 1" POLY PIPE CONNECTING DRIPLINE SECTIONS
- 3/4" MANUAL FLUSH VALVE IN 10' ROUND VALVE BOX

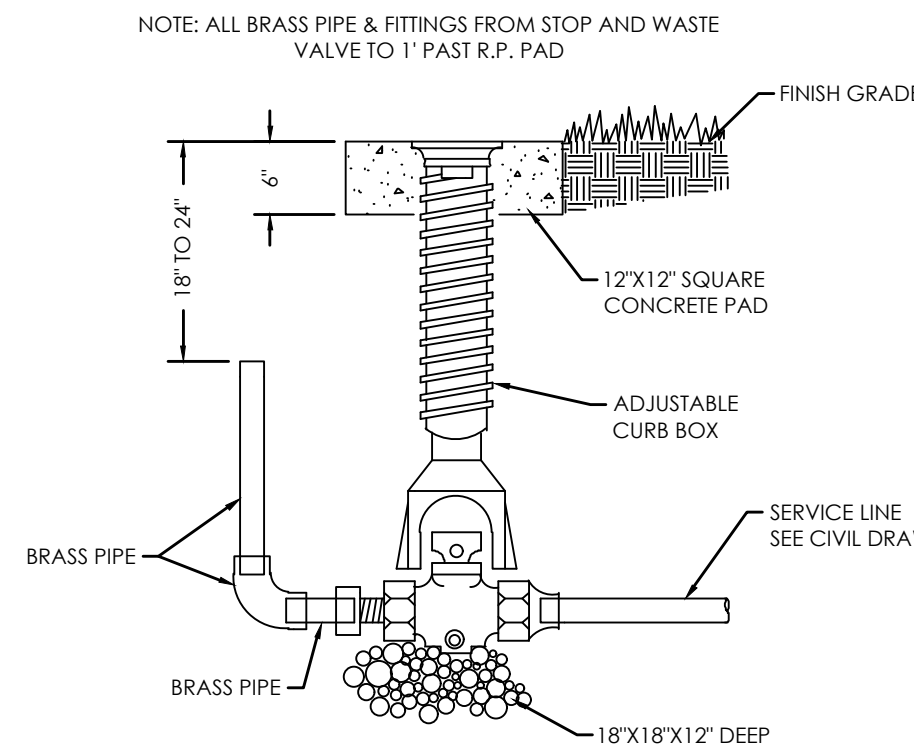


FOR
REVIEW
ONLY

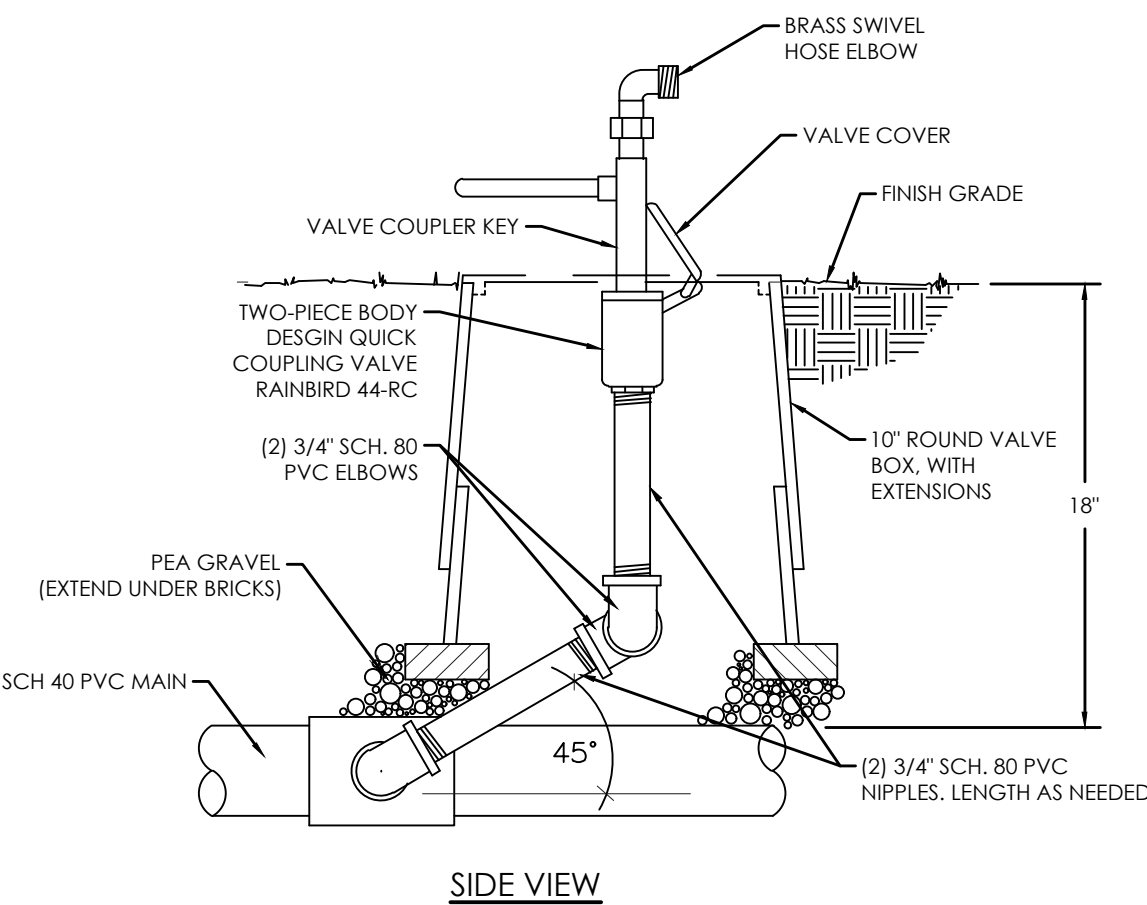
HARVEST POINTE WEST
SOUTH JORDAN, UTAH
IRRIGATION DETAILS



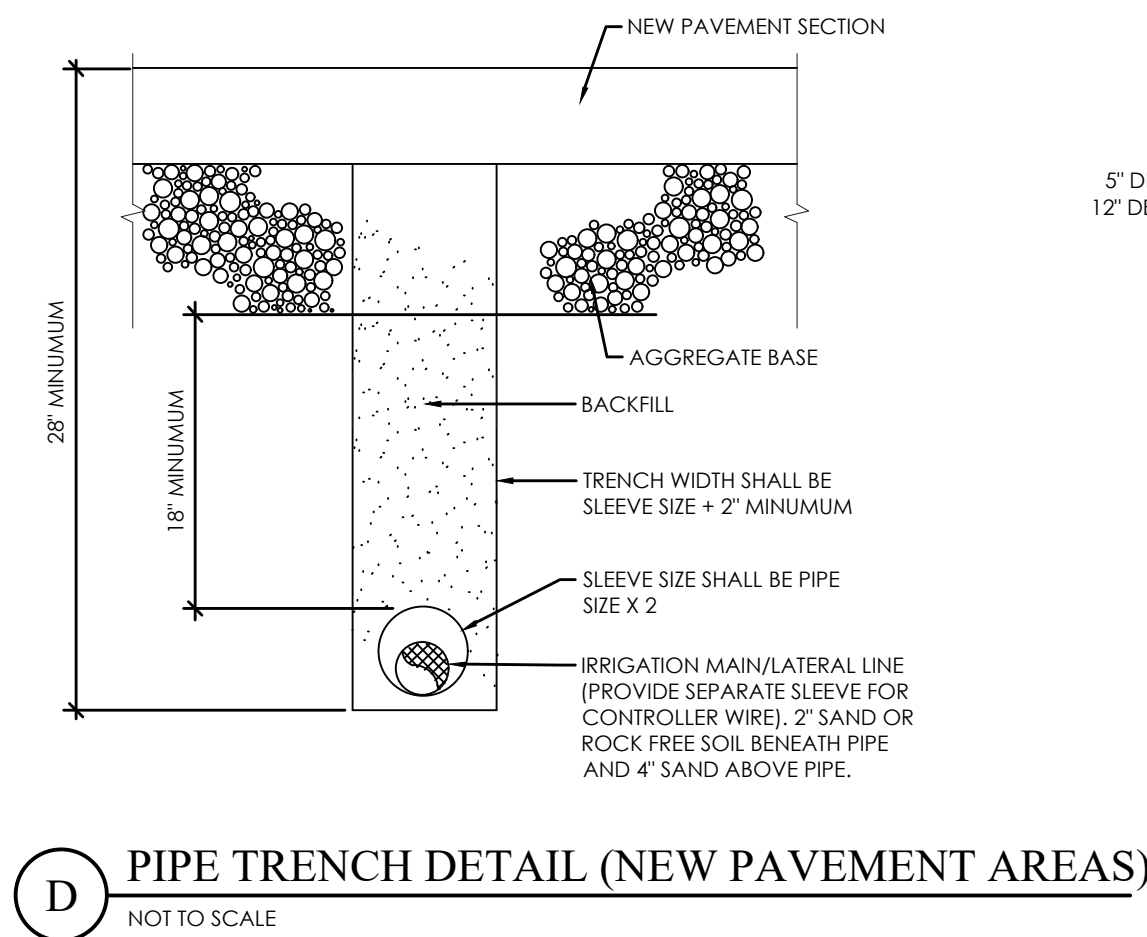
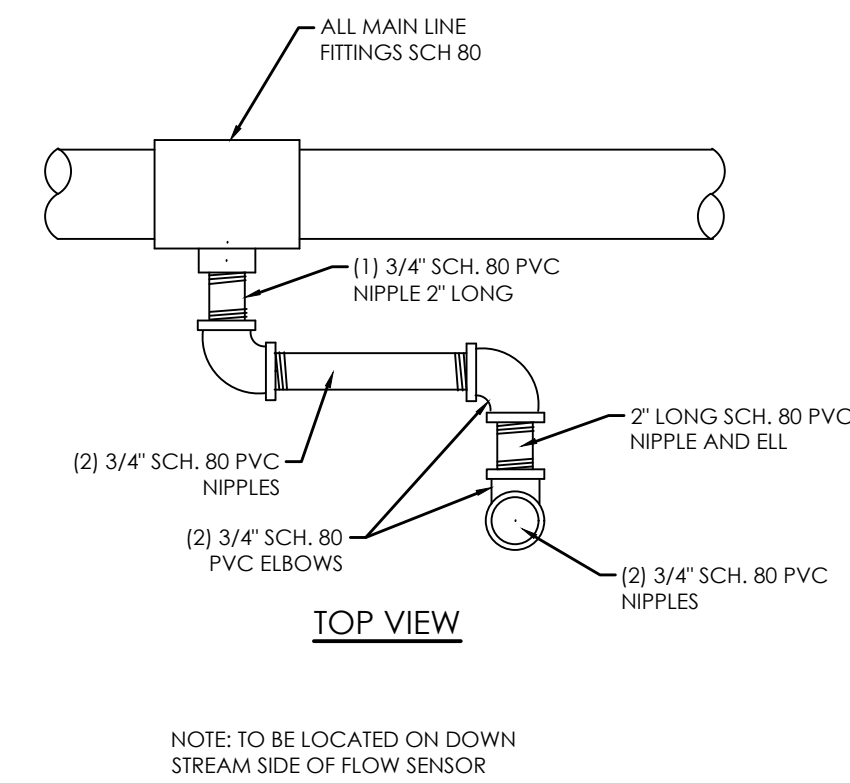
A REDUCED PRESSURE BACK FLOW PRESSURE
NOT TO SCALE



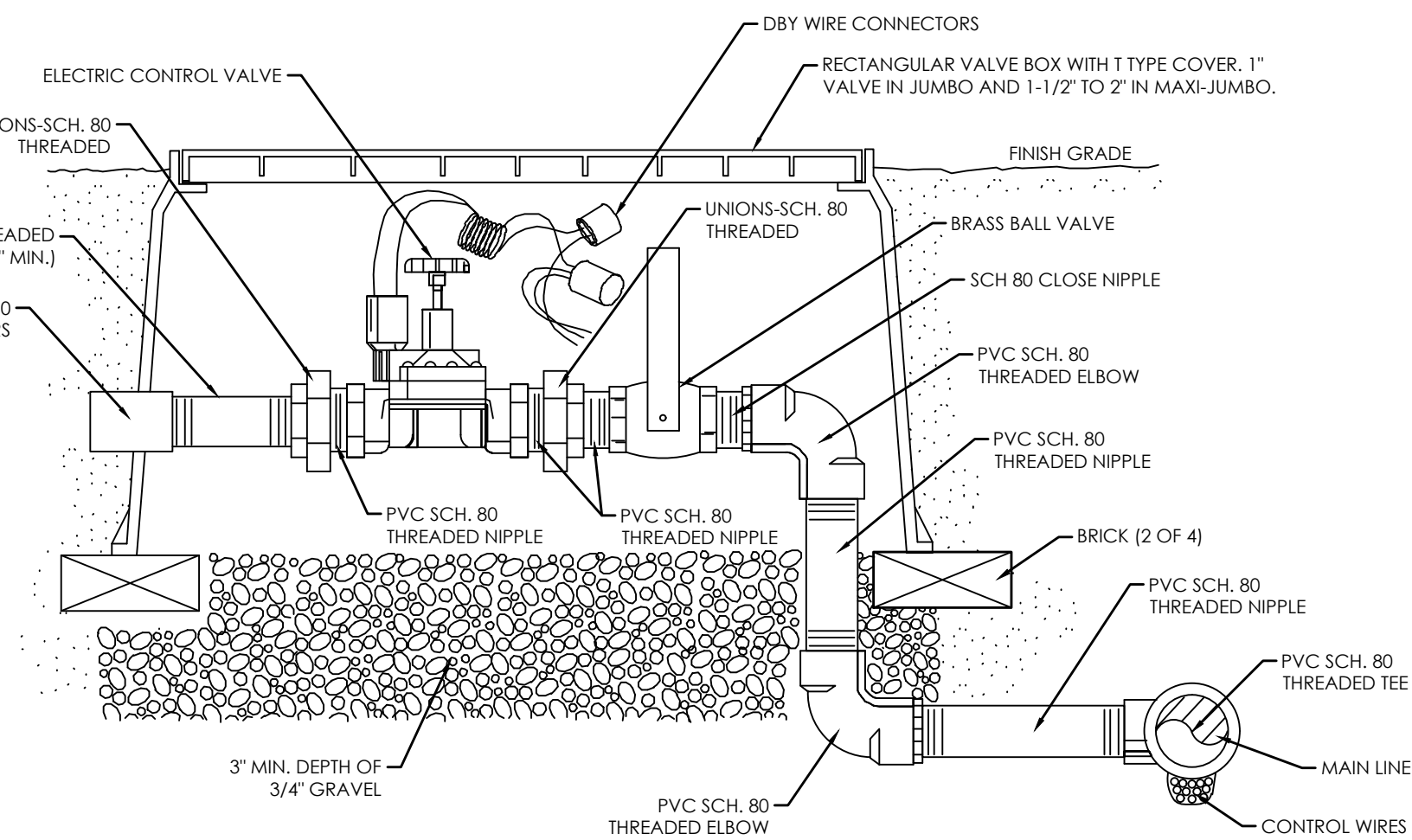
B STOP & WASTE VALVE DETAIL
NOT TO SCALE



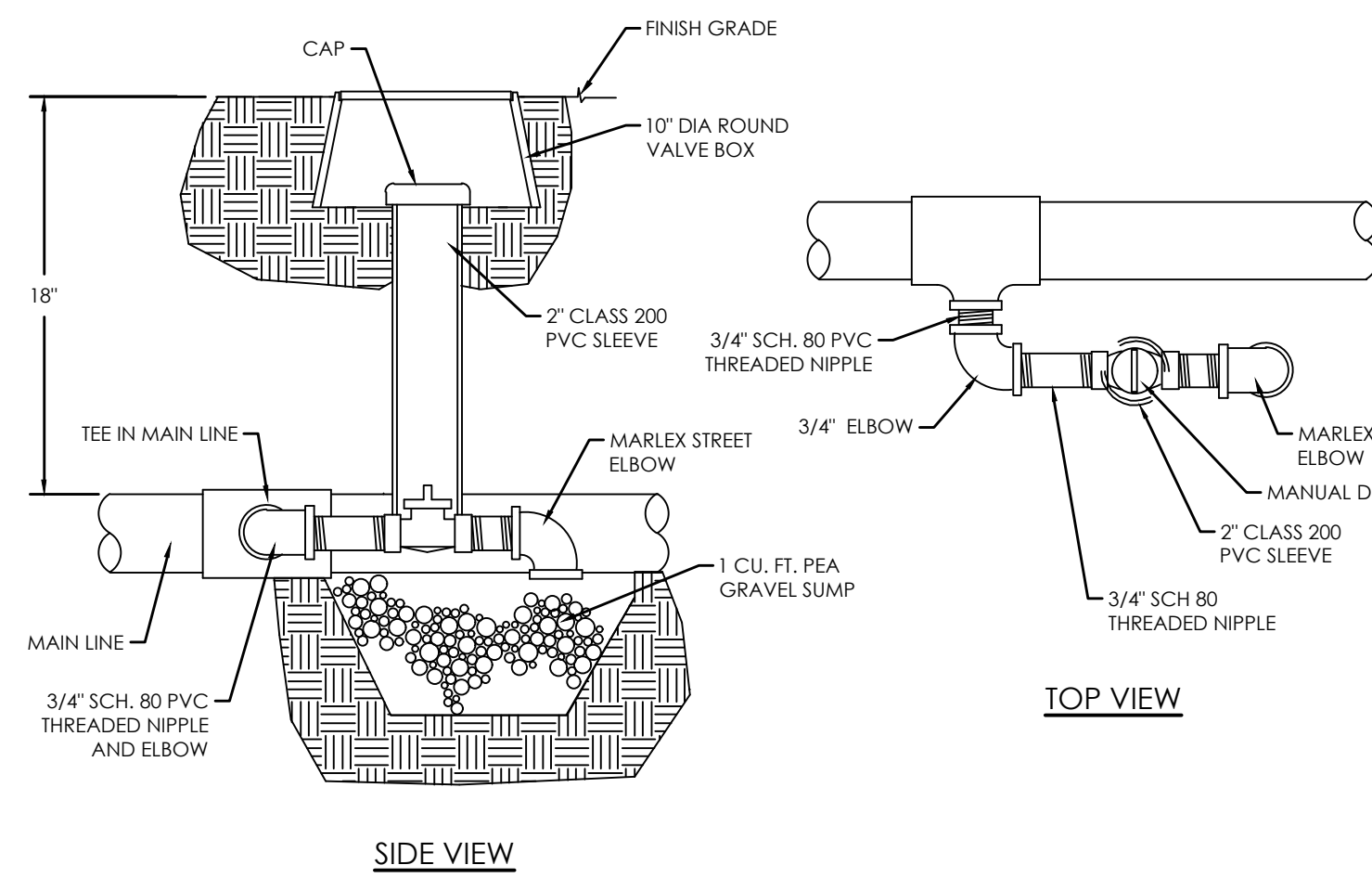
C QUICK COUPLING VALVE
NOT TO SCALE



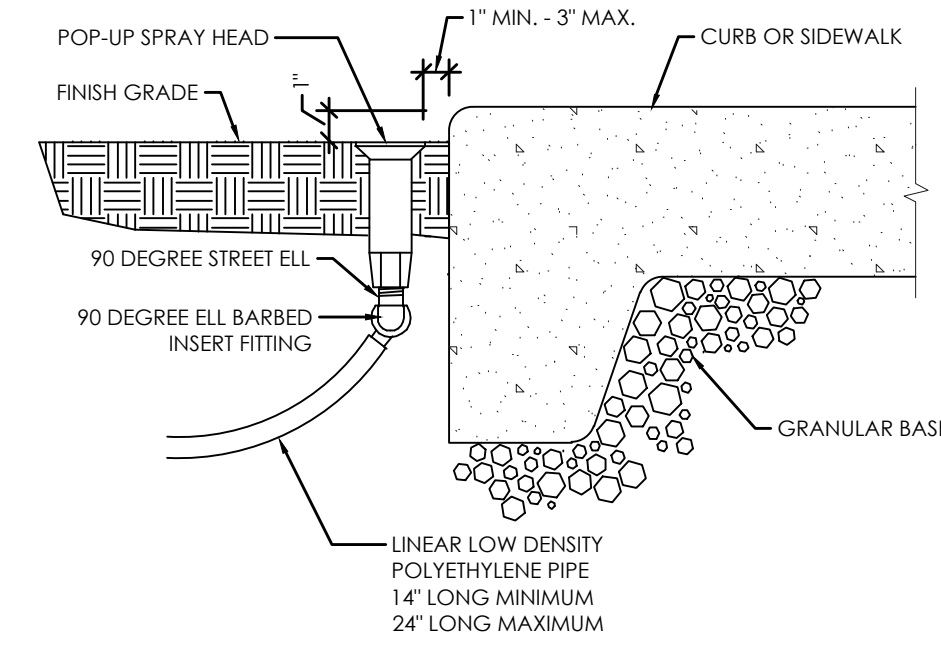
E TRENCH SECTION
NOT TO SCALE



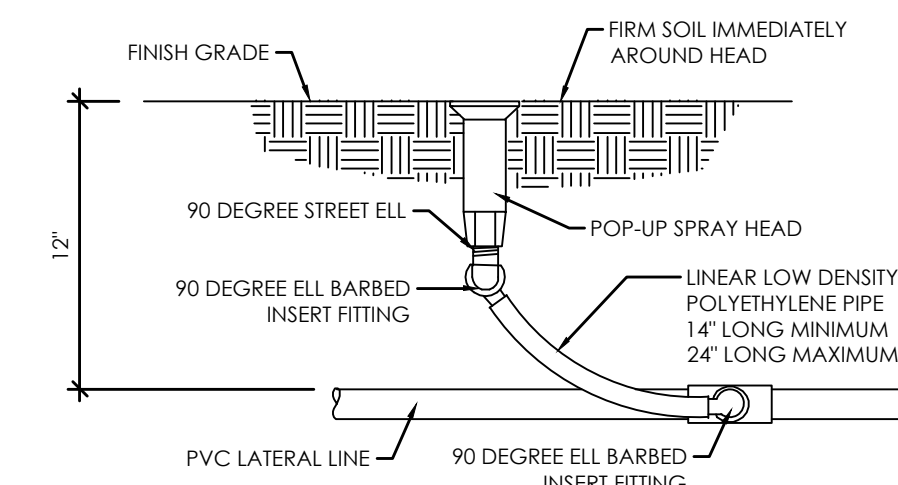
F ELECTRONIC CONTROL VALVE
NOT TO SCALE



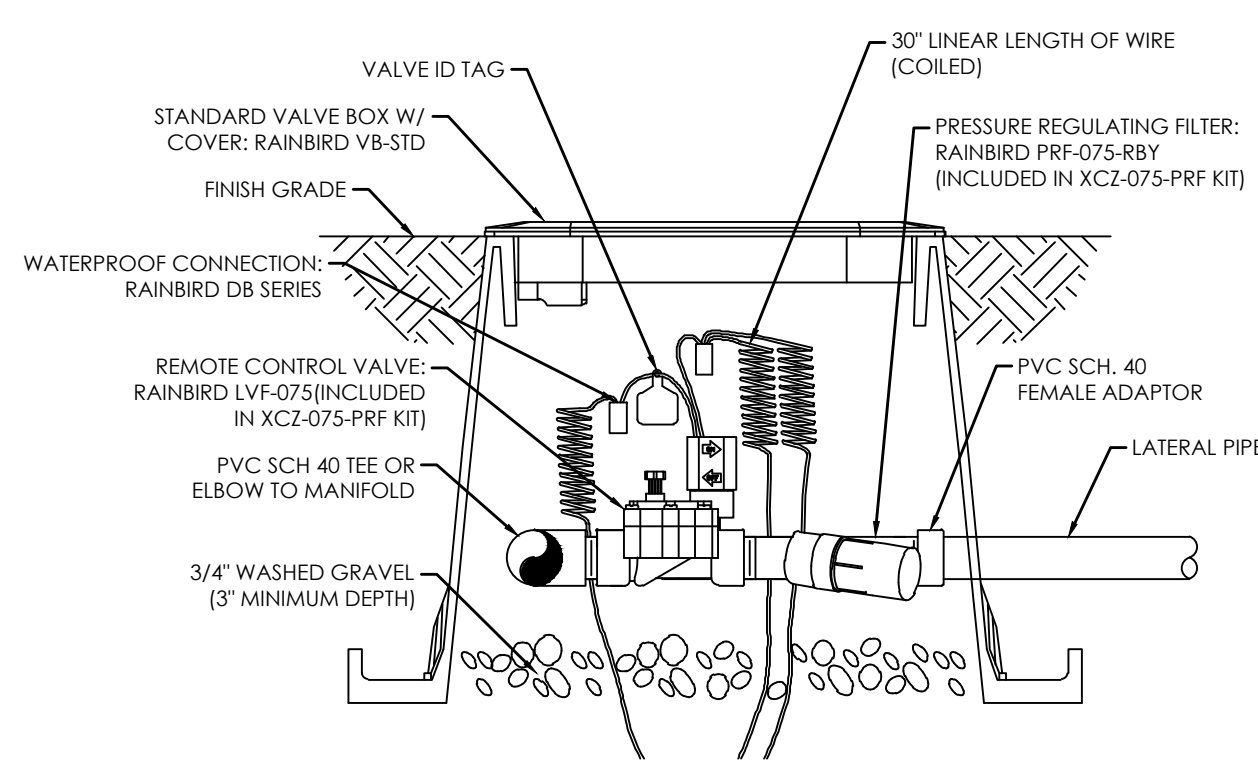
G MANUAL DRAIN VALVE
NOT TO SCALE



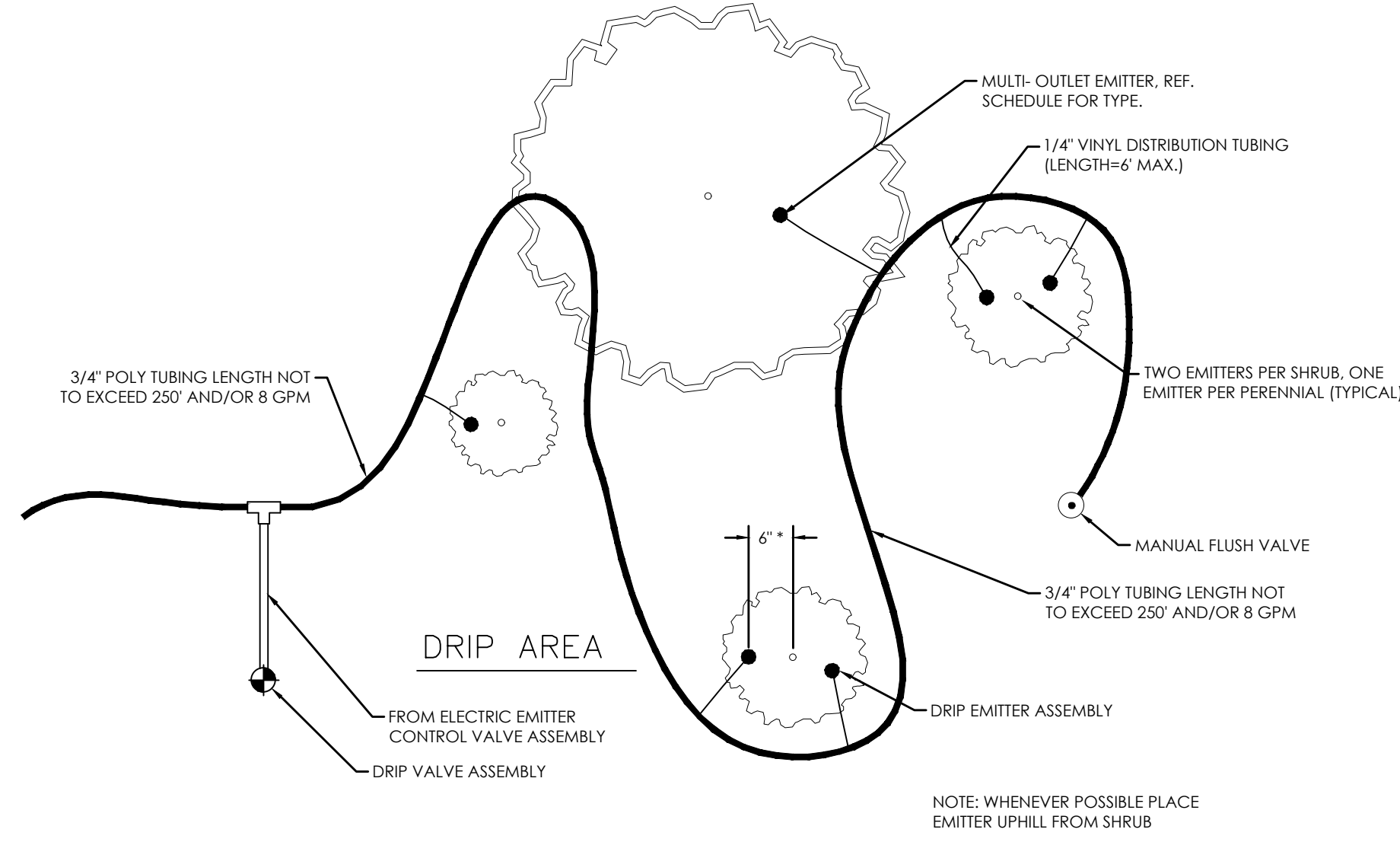
H SPRAY HEAD NEXT TO CURB OR WALK
NOT TO SCALE



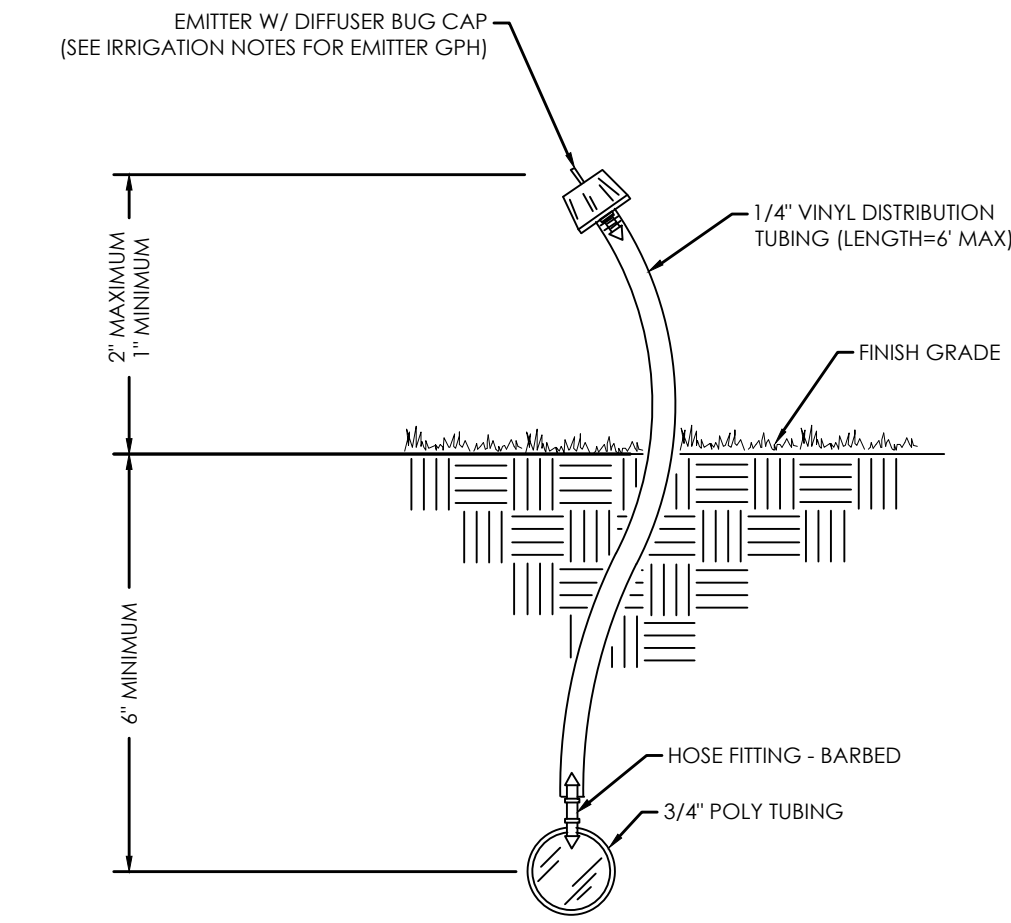
I SPRAY HEAD ASSEMBLY
NOT TO SCALE



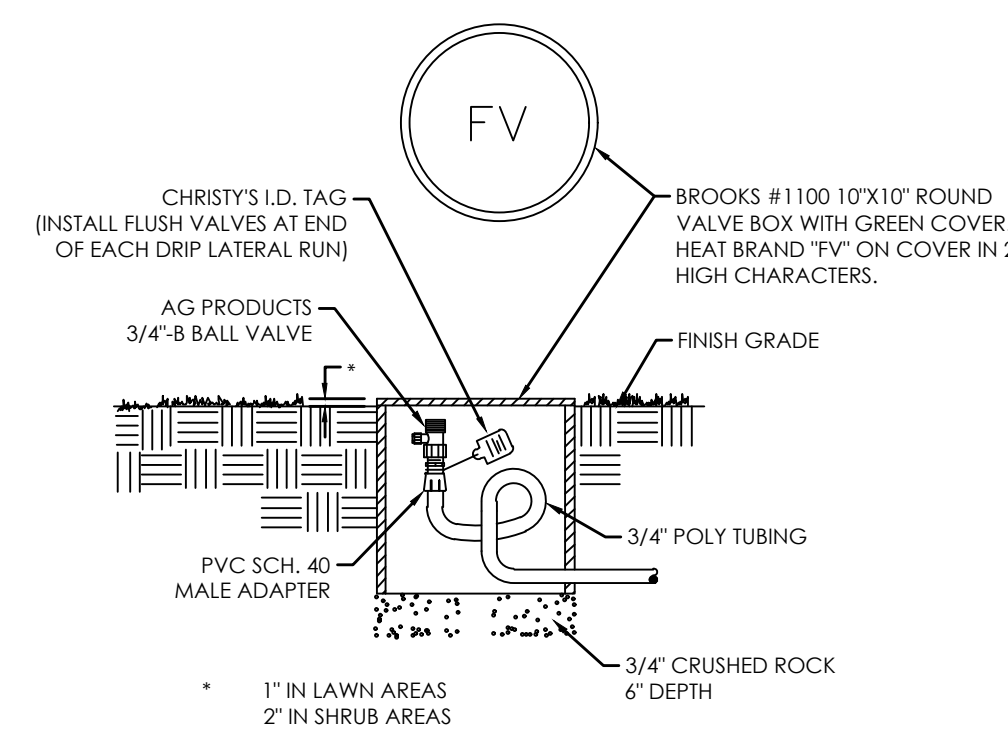
J CONTROL ZONE KIT
NOT TO SCALE



K TYPICAL DRIP EMITTER LAYOUT
NOT TO SCALE



L DRIP EMITTER ON VINYL TUBING RISER
NOT TO SCALE

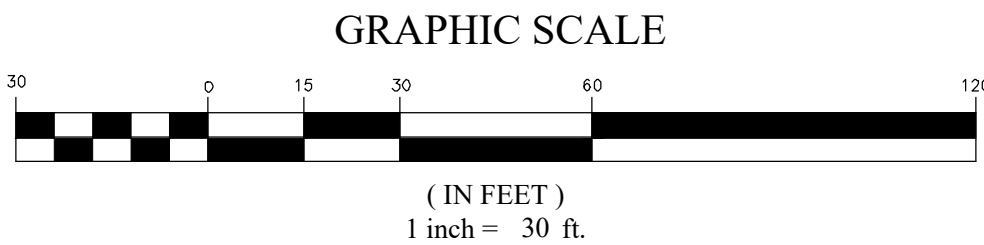


M MANUAL FLUSH VALVE
NOT TO SCALE







REVISION BLOCK		DESCRIPTION
NO.	DATE	
1		
2		
3		
4		
5		
6		

IRRIGATION DETAILS	
Scale:	Drawn: BW
Date: 01/18/2024	Job #: 22-0403
Sheet:	L2.3

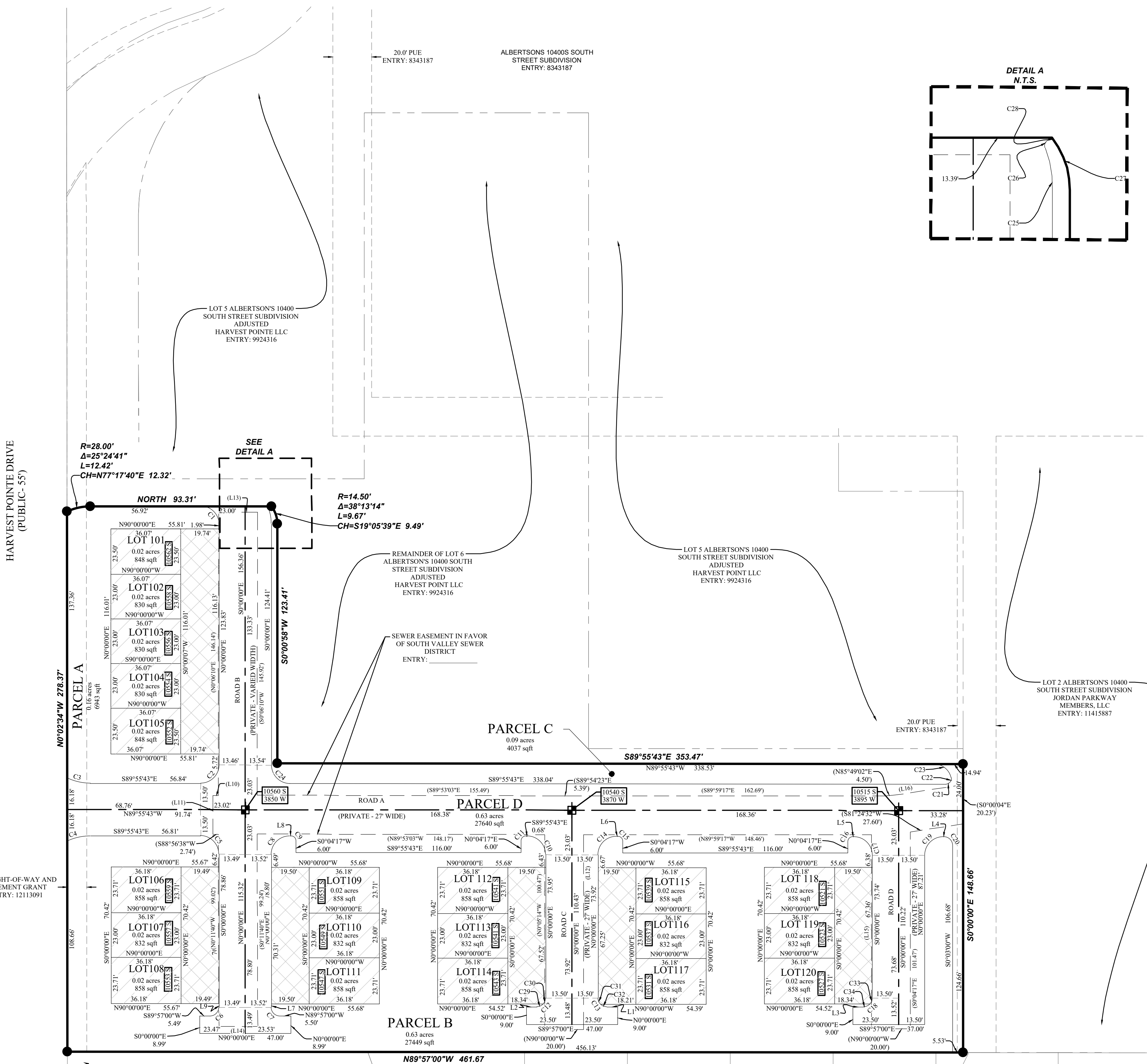
AMENDMENT PLAT
VACATING AND AMENDING PART OF ADJUSTED LOT 6 OF ALBERTSON'S 10400 SOUTH STREET SUBDIVISION
LOCATED IN THE NW 1/4 OF SECTION 17, T3S, R1W,
SALT LAKE BASE & MERIDIAN
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH



_____	BOUNDARY
_____	SECTION LINE
_____	EASEMENT
_____	RIGHT-OF-WAY LINE
_____	CENTERLINE
_____	BUILDING SETBACK
_____	EXISTING PROPERTY LINE

- | | |
|---|-----------------------------|
|  | SECTION MONUMENT (FOUND) |
|  | STREET MONUMENT (TO BE SET) |
|  | BOUNDARY MARKERS |
|  | PRIVATE AREA |
|  | LIMITED COMMON |
|  | COMMON AREA |

2. #5 X 24" REBAR & CAP (FOCUS EYE) TO BE SET AT ALL REAR LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AS A HIGHLY DEDICATED AS COMMON AREA, AND TO BE MAINTAINED BY THE HARVEST POINTE TOWNHOMES OWNERS ASSOCIATION, A UTAH NONPROFIT CORPORATION, WITH A REGISTERED ADDRESS OF 225 S 200 E, #20, SALT LAKE CITY, UTAH
3. ALL COMMON AREAS, LIMITED COMMON AREAS AND PRIVATE ROADS ARE TO BE SUBJECT TO SUBURBAN LOT AND DRAINAGE EASEMENTS
4. ALL UNITS BUILDING WALLS ARE PARALLEL WITH, PERPENDICULAR TO, OR AT AN ANGLE TO REFERENCE BEARING SHOWN ON BUILDING
5. OWNERS AND POTENTIAL PURCHASERS OF PROPERTY LEGALLY DESCRIBED BY THIS PLAT (THE "PROPERTY") SHOULD FAMILIARIZE THEMSELVES WITH ALL SUBURBAN LOT INFORMATION, EASEMENTS, AND OTHER INFORMATION CONTAINED WITHIN THIS PLAT AND ALSO WITH ANY CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&RS) DOCUMENTS THAT MAY BE RECORDED AGAINST THE PROPERTY. OWNERS AND POTENTIAL PURCHASERS OF THE PROPERTY MUST COMPLY WITH ALL NOTES, EASEMENTS, CC&RS, AND OTHER RECORDED INFORMATION, EASEMENTS, CC&RS, OR OTHER RECORDED DOCUMENTS RELATED TO THIS PLAT, AS CURRENTLY EXISTING OR AS MAY FROM TIME TO TIME BE CHANGED AND/OR AMENDED. FAILURE TO ADHERE TO THE NOTES, LOT INFORMATION, EASEMENTS, CC&RS, OR OTHER DOCUMENTS RECORDED AGAINST THE PROPERTY COULD RESULT IN FINANCIAL LOSS OR CHANGES IN EXPECTED PROPERTY USE.
6. MANY AREAS IN THE CITY OF SOUTH JORDAN HAVE GROUNDWATER PROBLEMS DUE TO A HIGH OR FLUCTUATING WATER TABLE. CITY APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION WILL PRESENT GROUNDWATER PROBLEMS, IF ANY.
7. APPROVAL OF THIS PLAT BY SOUTH JORDAN CITY DOES NOT MEAN THAT INDIVIDUAL LOT DRAINAGE TO A ROAD OR RETENTION FACILITY IS ASSURED. DEVELOPMENT AND GRADING MAY NECESSITATE SWALES AND OTHER DRAINAGE FACILITIES TO PROTECT INDIVIDUAL PROPERTIES. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT SWALES AND OTHER DRAINAGE FACILITIES ARE APPROPRIATE AND MAINTAINED NOR THAT DRAINAGE FROM ADJACENT PROPERTIES IS PREVENTED.
8. THE OWNER CERTIFIES THAT THE TITLE REPORT DATED _____, WHICH WAS PREPARED BY _____ WAS PROVIDED TO OWNER'S SURVEYOR AND THAT THE PLAT SHOWS ALL EASEMENTS AND ENCUMBRANCES LISTED IN SAID TITLE REPORT.
9. THIS PLAT IS SUBJECT TO THAT CERTAIN DEVELOPMENT AGREEMENT DATED JANUARY 30, 2023, BY AND BETWEEN THE CITY OF SOUTH JORDAN AND HARVEST POINTE, LLC, INCLUDING ALL PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES, ASSESSMENTS, LIENS OR RIGHTS, IF ANY, CONTAINED IN THE ALBERTA COUNTY BOOK 20, 104 DIVISION 1, 111, 111, IN BOOK 11398, AT PAGE 2762 OF THE OFFICIAL RECORDS OF SALT LAKE COUNTY.
10. THE FINISH FLOOR ELEVATION ON EACH LOT WILL NOT EXCEED 4 ABOVE THE TOP BACK OF CURVE ELEVATION ACROSS THE FRONTAGE OF THE LOT.
11. PARCEL D IS TO BE A REMNANT PARCEL OF PARCEL NO. 27-17-176-031 AND TO BE A REMNANT OF THE ALBERTA COUNTY BOOK 20, 104 DIVISION 1, 111, 111, IN BOOK 11398, AT PAGE 2762 OF THE OFFICIAL RECORDS OF SALT LAKE COUNTY.
12. PARCEL E CONVEYED AS PRIVATE, RIGHT-OF-WAY TO BE OWNED AND MAINTAINED BY THE HOA.



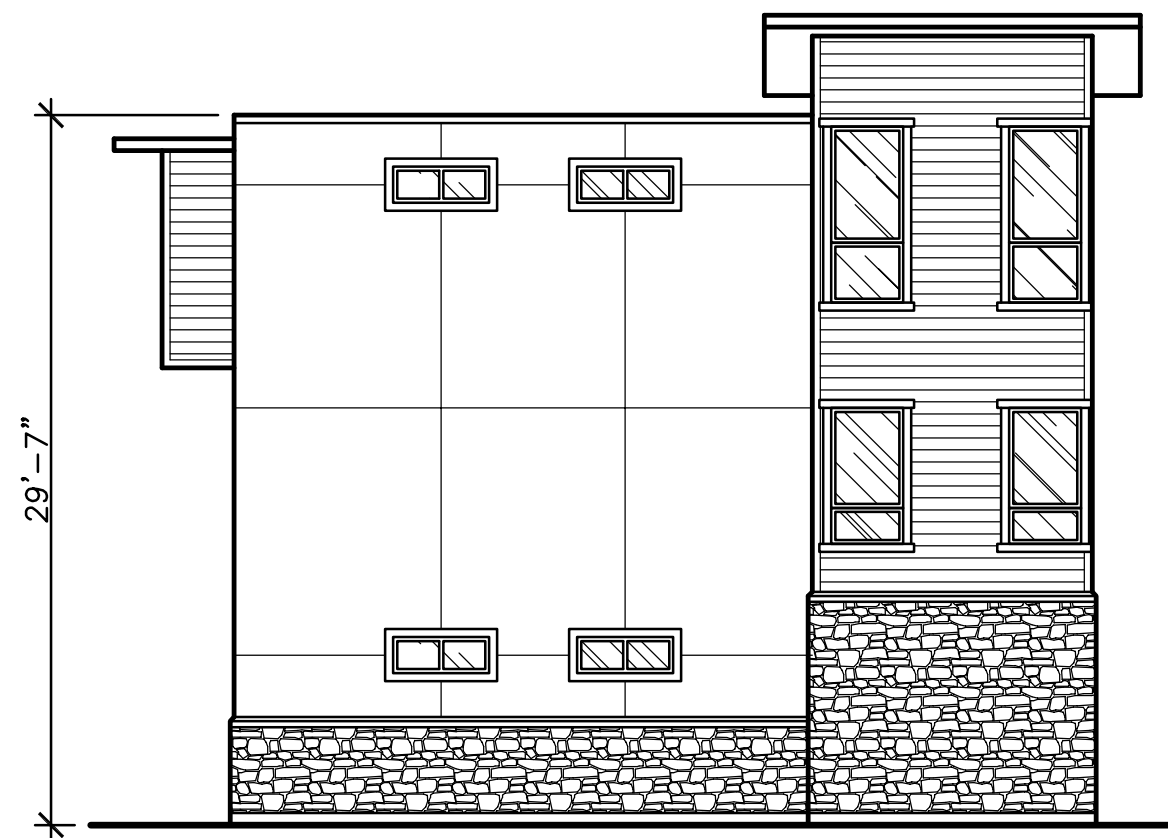
Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	9.50	89°48'14"	14.89	N44°53'08"W	13.41
C2	9.50	90°03'50"	14.93	N45°02'31"E	13.44
C3	28.00	25°15'26"	12.34	S77°18'06"E	12.24
C4	28.00	25°16'43"	12.35	N77°25'56"E	12.25
C5	9.50	89°47'00"	14.89	S44°54'13"E	13.41
C6	4.50	89°50'01"	7.06	S44°59'00"W	6.36
C7	4.50	89°57'00"	7.06	N44°58'30"W	6.36
C8	9.50	90°04'17"	14.93	N45°02'09"E	13.44
C9	2.50	90°00'00"	3.93	S44°55'43"E	3.54
C10	9.50	89°55'43"	14.91	S44°57'51"E	13.43
C11	2.50	90°00'00"	3.93	N45°04'17"E	3.54
C12	4.50	90°03'00"	7.07	S45°01'30"W	6.37
C13	4.50	89°57'00"	7.06	N44°58'30"W	6.36
C14	9.50	90°04'17"	14.93	N45°02'09"E	13.44
C15	2.50	90°00'00"	3.93	S44°55'43"E	3.54
C16	2.50	90°00'00"	3.93	N45°04'17"E	3.54
C17	9.50	89°55'43"	14.91	S44°57'51"E	13.43
C18	4.50	90°03'00"	7.07	S45°01'30"W	6.37
C19	9.50	90°04'17"	14.93	N45°02'09"E	13.44
C20	4.50	89°55'43"	7.06	S44°57'51"E	6.36
C21	3.50	47°07'51"	2.88	S59°54'14"E	2.80
C22	2.50	48°26'28"	2.11	N12°59'22"E	2.05
C23	9.00	78°21'49"	12.31	N51°19'55"W	11.37
C24	9.50	89°56'10"	14.91	S44°57'29"E	13.43
C25	18.20	23°04'19"	7.33	S89°27'39"E	7.28
C26	1.00	66°58'00"	2.91	S62°35'43"W	1.99
C27	14.50	33°56'15"	8.59	N16°57'10"W	8.46
C28	14.50	41°16'59"	10.8	N36°03'47"W	10.8
C29	4.50	47°15'38"	3.71	S66°25'11"W	3.61
C30	4.50	42°47'22"	3.36	S21°23'41"W	3.28
C31	4.50	43°56'23"	3.45	N21°58'12"W	3.37
C32	4.50	46°00'37"	3.61	N66°56'42"W	3.52
C33	4.50	41°31'44"	3.26	N20°45'52"E	3.19
C34	4.50	48°31'16"	3.81	N65°47'22"E	3.70

Line Table		
LINE	DIRECTION	LENGTH
L1	N89°57'00"W	5.50
L2	N89°57'00"W	5.50
L3	N89°57'00"W	5.50
L4	S89°55'43"E	0.33
L5	S89°55'43"E	0.68
L6	S89°55'43"E	0.68
L7	N00°00'00"E	2.00
L8	S89°55'43"E	0.68
L9	S00°00'00"E	2.02

Easement Table		
LINE	DIRECTION	LENGTH
(L10)	N88°56'38"E	2.72
(L11)	N00°00'00"E	20.00
(L12)	S00°05'14"E	100.45
(L13)	N90°00'00"E	20.00
(L14)	N90°00'00"W	20.00
(L15)	N00°04'17"W	100.08
(L16)	N81°24'32"E	36.28

PLAT PREPARED BY

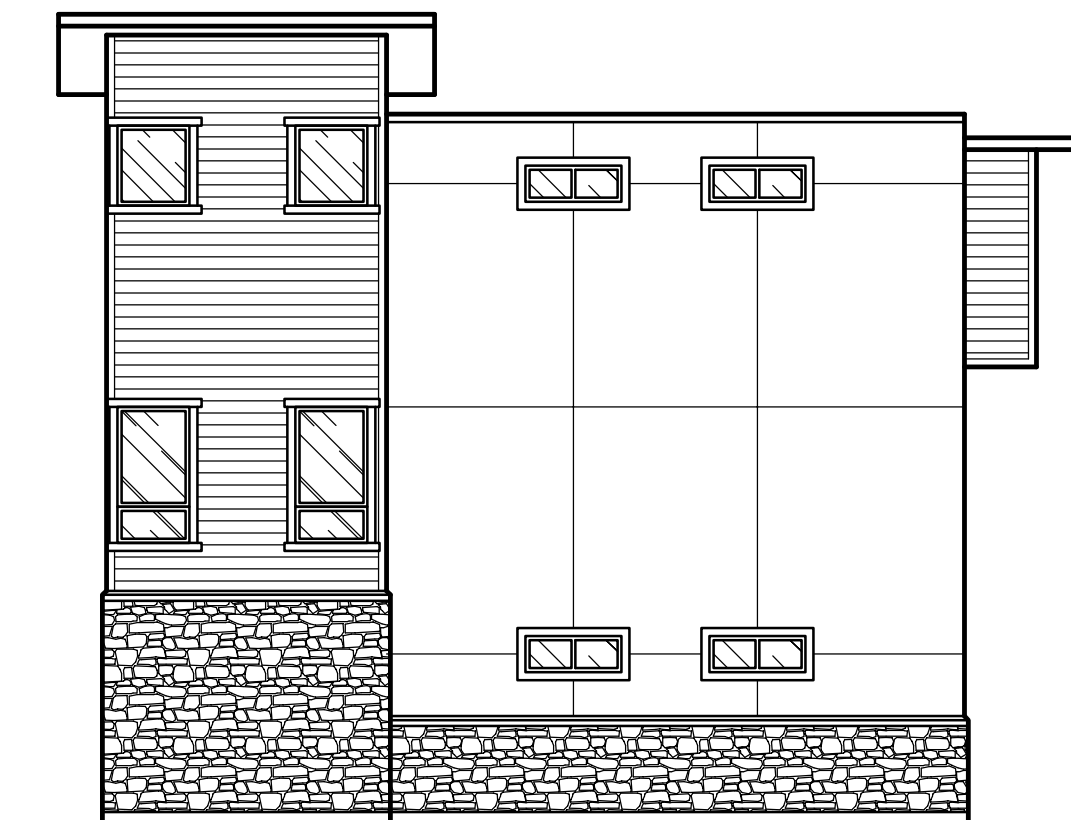




SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION

AT RESIDENCES



REAR ELEVATION

SOUTH JORDAN CITY PLANNING COMMISSION STAFF REPORT

Meeting Date: 02/27/2024

Issue: **WALMER REZONE**
Rezone from R-1.8 Residential Single-Family to R-2.5 Residential Single-Family

Address: **10593 S. 3200 W.**
File No: **PLZBA202400014**
Applicant: **High Country Homes & Developments, Inc.**
Property Owner: **Keith Walmer**
Submitted by: **Andrew McDonald, Planner I**
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready): Based on the findings in this report, I move that the Planning Commission forward a recommendation to the City Council to **approve** Ordinance 2024-04-Z; rezoning the subject property from R-1.8 to R-2.5.

ACREAGE:	Approximately .88 (acres)
CURRENT ZONE:	Residential Single-Family (R-1.8)
FUTURE LAND USE PLAN:	SN (Stable Neighborhood)
NEIGHBORING ZONES:	North – Residential Single-Family (R-1.8)
	East – Residential Single-Family (R-1.8)
	South – Residential Single-Family (R-1.8)
	West – Residential Single-Family (R-2.5)

REZONE REVIEW STANDARDS:

The rezoning of property may not be considered if the proposed zoning does not conform to the general plan. The following guidelines shall be considered in the rezoning of parcels:

- A. The parcel to be rezoned meets the minimum area requirements of the proposed zone or if the parcel, when rezoned, will contribute to a zone area which meets the minimum area requirements of the zone.
- B. The parcel to be rezoned can accommodate the requirements of the proposed zone.
- C. The rezoning will not impair the development potential of the parcel or neighboring properties.

City Code § 17.22.020

The Planning Commission shall receive public comment at the public hearing regarding the proposed rezoning and make a recommendation on the rezoning to the City Council.

See City Code § 17.22.040

BACKGROUND:

High Country Homes & Developments, Inc. (on behalf of the property owner, Keith Walmer) filed an application to rezone the subject property. The property currently is zoned R-1.8 Residential Single-Family (maximum 1.8 units per acre). The applicant requests a rezone to R-2.5 Residential Single-Family (maximum 2.5 units per acre). The adjacent properties to the north, east, and south are zoned R-1.8. The properties to the west (across 3200 West) are zoned R-2.5 (see Current Zoning Map).

The property owner would like to sell the east half of the subject property (fronting Alexanderpark Lane) to the applicant. It is expected that the applicant will subdivide the existing properties into two lots. Lot 2 will be developed into a single-family dwelling comparative to the surrounding area. The subject property is not part of a recorded subdivision. Without a rezone, the expected subdivision will not comply with density requirements. Although the existing lot and the new lot could both meet the minimum lot area of the R-1.8 Zone (14,520 ft²), the density of the subdivision would not comply with the zone's density requirement.

The subject property is already developed with a single-family home and a barn. These buildings will remain. The subject property does not qualify for flag-lot development, and is not being proposed with this application. The existing-future-land use is SN (Stable Neighborhood), and will not be amended with this application. The frontage along Alexanderpark Lane has already been improved with utilities and services when the Alexander Place Subdivision developed nearly twenty years ago. An Infrastructure Analysis Report has been included in the supporting materials.

This application is scheduled for a public hearing before the City Council on March 5, 2024.

ANALYSIS, CONCLUSION & RECOMMENDATION:

Analysis:

- The application meets the rezone standards of review.
- The rezone will bring the subject property into compliance with City Code.
- The rezone from R-1.8 to R-2.5, and the expected subdivision is consistent with the General Plan and the neighborhood.

Conclusion: The rezone is consistent with the General Plan and City Code.

Recommendation:

Staff recommends that the Planning Commission take comments at the public hearing; and **recommend approval** of the application (File # PLZBA202400014) to City Council, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Recommend approval of an amended application.
- Recommend denial of the application.
- Schedule the application for a decision at some future date

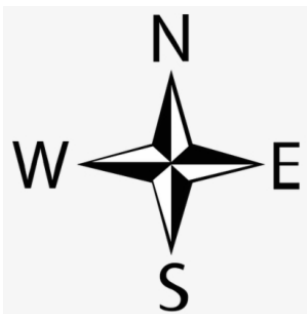
SUPPORT MATERIALS:

- Location Map
- Current Zoning Map
- Infrastructure Analysis Report
- Ordinance 2024-04-Z
- Public Mailing Notice



Andrew McDonald, AICP Candidate
Planner I, Planning Department

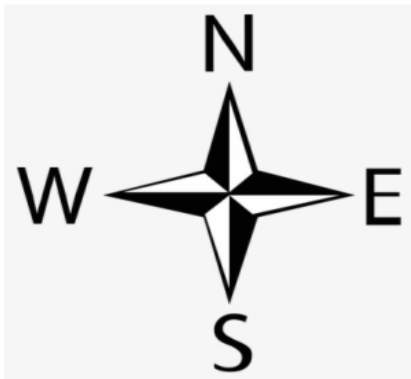
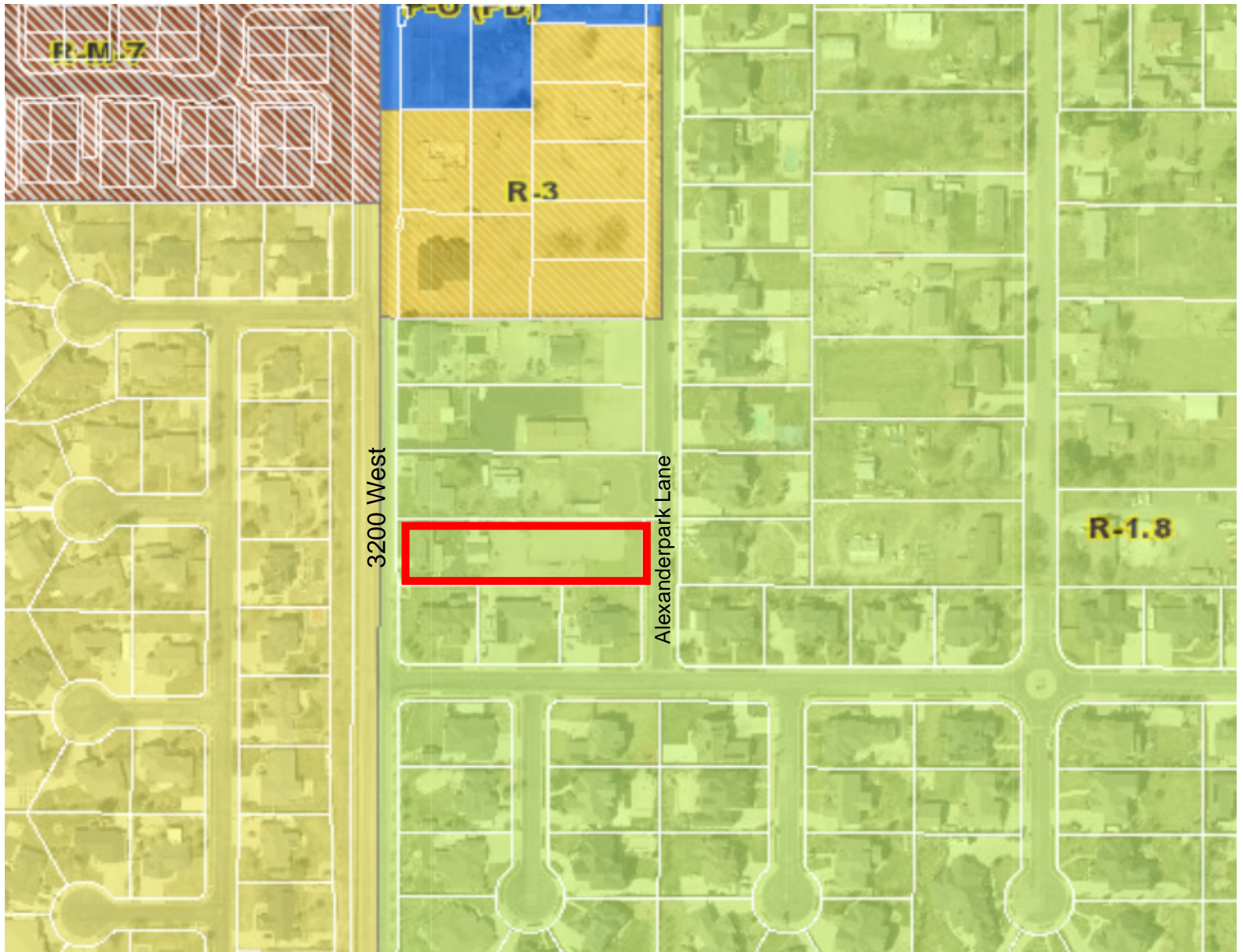
Location Map



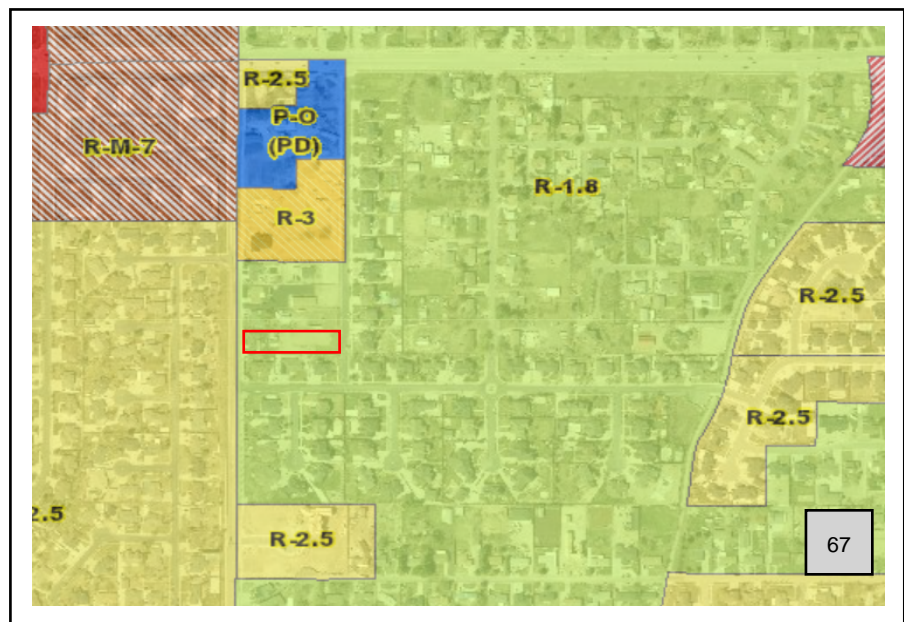
Source: City of South Jordan GIS Map as of February 2024.

Current Zoning Map

Item I.1.



Source: City of South Jordan
Public Online Current Zoning Map
as of February 2024



LAND USE AMMENDMENTS & REZONE DEVELOPMENT PROJECTS

INFRASTRUCTURE ANALYSIS

Project Name/Number	Walmer Property Rezone	10593 S. 3200 West
Planner Assigned	Andrew McDonald	
Engineer Assigned	Jared Francis	

The Engineering Department has reviewed this application and has the following comments:

Transportation: *(Provide a brief description of the access, transportation master plan and how this change affects Master Plan, condition/status of existing roadways. Determine whether a Traffic Study should be completed)*

The project proposes to subdivide an existing lot with frontage on both 3200 West and on Alexander Park Lane, with its primary access being from 3200 West. The existing home will continue to access 3200 West and the newly created lot will access Alexander Park Lane. The right of way improvements on 3200 West have already been installed, however, the development will be required to install public right of way improvements along it's frontage on Alexander Park Lane and dedicate public right of way as necessary. There is also a reimbursement agreement recorded against the property that will need to be met prior to development.

Culinary Water: *(Provide a brief description of the water servicing the area, look into deficiencies, and determine if water modeling needs to be performed at this time, look at Water Master Plan and evaluate the change to the Master Plan)*

There is an existing City owned 8" water main on the east side of Alexander Park Lane that will be used to provide culinary water to the proposed lot. If a service lateral hasn't previously been installed for the proposed lot, it will need to be done as part of the development.

Secondary Water: *(Provide a brief description of the secondary water servicing the area, briefly look into feasibility)*

There is an existing secondary water main on the west side of Alexander Park Lane.

Sanitary Sewer: *(Attach letter from South Valley Sewer stating that this zone/land use change does not affect service and that any future project can be serviced by the District)*

There is a sewer main in Alexander Park Lane. Sewer main design and connection requirements will be determined by the South Valley Sewer District.

Storm Drainage: *(How will this area be serviced for storm drainage, kept on site, Master Storm Plan, etc. any other issues with drainage)*


In order to comply with State and City guidelines, proposed developments must retain on site, through use of approved low impact development devices and best management practices, all rainfall events less than or equal to the 80th percentile rainfall event. For storm events greater than the 80th percentile, the additional storm water must either be retained on site or discharged into an approved storm drain system. There is an existing public storm drain system in Alexander Park Lane.

Other Items: *(Any other items that might be of concern)*

Report Approved:


Development Engineer

2/20/24
Date


Brad Klavano, PE, PLS
Director of Engineering Services/City Engineer

2/20/24
Date

ORDINANCE NO. 2024 – 04–Z

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SOUTH JORDAN, UTAH, REZONING PROPERTY LOCATED AT 10593 SOUTH 3200 WEST FROM R-1.8 (RESIDENTIAL) ZONE TO R-2.5 (SINGLE-FAMILY RESIDENTIAL) ZONE; HIGH COUNTRY HOMES & DEVELOPMENTS, INC (APPLICANT).

WHEREAS, the City Council of the City of South Jordan (“City Council”) has adopted the Zoning Ordinance of the City of South Jordan (Title 17 of the Municipal Code) with the accompanying Zoning Map; and

WHEREAS, Applicant, High Country Homes & Developments, Inc., proposed that the City Council amend the Zoning Map by rezoning the property described in the attached **Exhibit A**; and

WHEREAS, the South Jordan Planning Commission reviewed the proposed rezoning and made a recommendation to the City Council; and

WHEREAS, the City Council held a public hearing concerning the proposed rezoning; and

WHEREAS, the City Council finds that the rezoning will enhance the public health, safety and welfare and promote the goals of the General Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SOUTH JORDAN, UTAH:

SECTION 1. Rezone. The property described in Application PLZBA202400014 filed by High Country Homes & Developments Inc., located at 10593 S. 3200 W. in the City of South Jordan, Utah is hereby reclassified from R-1.8 (Residential) Zone to R-2.5 (Single-Family Residential) Zone on property described in the attached **Exhibit A**.

SECTION 2. Filing of Zoning Map. The Official Zoning Map showing such changes shall be filed with the South Jordan City Recorder.

SECTION 3. Severability. If any section, part or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance and all sections, parts, provisions and words of this Ordinance shall be severable.

SECTION 4. Effective Date. This Ordinance shall become effective immediately upon publication or posting as required by law.

[SIGNATURE PAGE FOLLOWS]

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF SOUTH JORDAN, UTAH, ON THIS _____ DAY OF _____, 2024 BY THE FOLLOWING VOTE:

	YES	NO	ABSTAIN	ABSENT
Patrick Harris	_____	_____	_____	_____
Kathie Johnson	_____	_____	_____	_____
Donald Shelton	_____	_____	_____	_____
Tamara Zander	_____	_____	_____	_____
Jason McGuire	_____	_____	_____	_____

Mayor: _____
Dawn R. Ramsey

Attest: _____
City Recorder

Approved as to form:

Office of the City Attorney

EXHIBIT “A”

(Property Description)

BEG E 31.075 FT FR W 1/4 COR SEC 16, T3S, R1W, SLM; E 372 FT; N 101.54 FT; W 378 FT; S 48.50 FT; S 8°09'27" E 15.47 FT; S 0°01' W 20.03 FT; S 12°17'29" E 18.15 FT TO BEG.
10725-0653

Dawn R. Ramsey, *Mayor*
Patrick Harris, *Council Member*
Kathie L. Johnson, *Council Member*
Donald J. Shelton, *Council Member*
Tamara Zander, *Council Member*
Jason T. McGuire, *Council Member*



PH: 801.446-HELP @SouthJordanUT

NOTICE OF PUBLIC HEARING

February 17, 2024

Dear Recipient:

High Country Homes & Development Inc., on behalf of property owner, has filed an application (File #**PLZBA202400014**) at **10593 S. 3200 W.** The applicant is requesting that the South Jordan City Planning Commission review and forward a recommendation to the City Council to rezone the subject property from the Residential Single-Family (R-1.8) Zone to the Residential Single-Family (R-2.5) Zone.

You are receiving this notice because Salt Lake County records indicate that you own property that is within 300' (feet) of the subject property; or are listed as an affected entity. A map showing the property location is attached to this notice.

A public hearing regarding this proposal will be held before the South Jordan City Planning Commission **at 6:30 p.m. on Tuesday February 27, 2024; and at 6:30 p.m. on Tuesday March 5, 2024** for the South Jordan City Council in the South Jordan City Council Chambers (1600 W. Towne Center Drive). All interested parties are invited to attend. Virtual attendance can be done by following instructions provided at: **<http://www.sjc.utah.gov/planning-commission/>** for Planning Commission; and **<https://www.sjc.utah.gov/241/City-Council>** for City Council. Virtual attendance is contingent upon on individual's internet connection, not the City.

Public comments may be submitted in writing by mail or by emailing Andrew McDonald at **amcdonald@sjc.utah.gov**, **by 12:00 p.m. on February 27, 2024 for the Planning Commission and by 12:00 p.m. on March 5, 2024 for City Council**. This ensures that any comments received can be reviewed by the Commission and Council, and included in the record prior to the meeting. Any emails or signed letters received will be placed on record. **There is a 10 MB file size limit on emailed comments.** Comments may also be given, and added to the record, during the public comment portion of the hearing.

Should you desire further information, you may contact the South Jordan Planning & Zoning Department: **(801) 446-4357** during regular business hours or by contacting the email provided.

[Type text]

Respectfully,
Andrew McDonald, AICP Candidate
City of South Jordan Planning Department

Location Map of Subject Property



Source: City of South Jordan GIS Map as of February 2024.