



**Bountiful City
Planning Commission Agenda
Tuesday, February 06, 2024
6:30 p.m.**

NOTICE IS HEREBY GIVEN that Bountiful City Planning Commission will hold a meeting in the Council Chambers, Bountiful City Hall, 795 South Main, Bountiful, Utah, 84010, at the time and on the date given above. The public is invited to attend. Persons who are disabled as defined by the Americans with Disabilities Act may request an accommodation by contacting the Bountiful City Planning Office at 801-298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome and Roll Call
2. Consideration to Approve the meeting minutes from January 16, 2024
 - Review
 - Action
3. Conditional Use Permit for a Tattoo Parlor at 1455 South 500 West
Assistant Planner Hadlock
 - Application withdrawn
4. Conditional Use Permit for a Silo Addition for Weber Basin Water Conservancy District at 38 North Davis Boulevard
Senior Planner Corbridge
 - Review
 - Public Hearing
 - Action
5. Preliminary/Final Architectural and Site Plan Review for a Silo Addition for Weber Basin Water Conservancy District at 38 North Davis Boulevard
Senior Planner Corbridge
 - Review
 - Forward a recommendation to the City Council
6. Open and Public Meeting Act Training
 - City Attorney Jeppsen

7. Planning Director's report, update, and miscellaneous items
8. Adjourn



Bountiful City

Bountiful City

Draft Planning Commission Meeting Minutes

795 South Main Street, Bountiful UT 84010

105 South Main Street, Dothan **Council Chambers City Hall**

Tuesday, January 16, 2024

Commissioners in attendance: Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and Richard Higginson

Commissioners absent: Alan Bott

Ex Officio: Planning Director Francisco Astorga
Senior Planner Amber Corbridge
City Engineer Lloyd Cheney
City Attorney Brad Jeppson
Recording Secretary Sam Harris

Section I: Action Summary

1. Welcome and Roll Call

Chair Jacobs called the meeting to order at 6:30pm and welcomed everyone, including newly appointed member Richard Higginson (City Council) and newly hired City Attorney Brad Jeppsson.

2. Planning Commission meeting minutes from December 6, 2023

Motion: Commissioner Gilmore motioned to approve the Planning Commission meeting minutes from December 6, 2023.

Second: Commissioner Clark seconded the motion.

Vote: The motion passed unanimously (6-0).

3. Planning Commission meeting minutes from December 19, 2023

Motion: Commissioner Gilmore motioned to approve the Planning Commission meeting minutes from December 19, 2023.

1 **Second:** Commissioner Ward seconded the motion.
2

3 **Vote:** The motion passed unanimously (6-0).
4

5 **4. Variance Request to construct an 8' tall precast concrete wall and gate for Dominion**
6 **Energy's Station at 172 East 1500 South (Parcel #030420052)**

7 **Presentation:** Senior Planner Corbridge presented the item.
8

9 **Public Hearing:** Chair Jacobs opened the public hearing. Sherri Morgan, Greg Seegmiller,
10 Rich Reader, and Trent Hodgson provided public comments. Several Dominion Energy
11 employees provided answers and comments during the public hearing.
12

13 **Motion:** Commission Monson motioned to approve the Variance Request with the following
14 conditions:
15

- 16 • There shall be consultation and plan to be studied/approved for mitigation of the
17 weight on Woods Cross City waterline.
- 18 • Comply with Staff's recommendations:
 - 19 ○ Meet staff review comments.
 - 20 ○ Apply for and obtain necessary building permits.

21 **Second:** Commissioner Higginson seconded the motion.
22

23 **Vote:** The motion passed unanimously (6-0).
24

25 **5. Eagle Ridge Drive Dedication Plat**

26 **Presentation:** City Engineer Cheney.
27

28 **Motion:** Commissioner Higginson motioned to forward a positive recommendation to the
29 City Council as presented by Staff.
30

31 **Second:** Commissioner Clark seconded the motion.
32

33 **6. Planning Director's Report/Update**

34 Planning Director Astorga welcomed Council member Richard Higginson to the
35 Commission, relayed changes to the in-written approvals, and provided an update regarding
36 the status of the General Plan update.
37

38 **7. Adjourn**

39 Chair Jacobs adjourned the meeting at 7:14 pm.
40

41

42

43

1 **Section II: Verbatim Transcription**

2 **Lynn Jacobs**

3 Welcome everyone to our Planning Commission Meeting. It's great to have everyone here with
4 us tonight. This may be one of the biggest turnouts we've had in a while so thank you, thanks for
5 coming we love to have everyone join us. A couple of items of note. We have a new member of
6 our commission; council member Higginson has been appointed to represent the City Council.
7 Welcome, we're excited to have you. I understand you've served on the Planning Commission a
8 few times before.

10 **Richard Higginson**

11 Just one time, for six years.

12 **Lynn Jacobs**

13 Well, we're excited to have you back.

17 **Richard Higginson**

18 Happy to be here.

20 **Lynn Jacobs**

21 We have a new City Attorney; would you like to introduce yourself?

23 **Brad Jeppson**

24 I'm Brad Jeppsen. I've been working for West Valley. I've been here for about two weeks. I'm
25 excited to be here. I'm from Mantua up by Logan, and excited to be here.

27 **Lynn Jacobs**

28 Thank you. It's nice to have you. With that we'll move to the next agenda. We have two sets of
29 meeting minutes to review and comment on and approve. I do have a comment on page 3, there
30 is a typo on item six. I think it's available.

32 **Samantha Harris**

33 Okay.

35 **Lynn Jacobs**

36 Does anyone else have any comments? Would anyone like to make a motion? I think we should
37 do this as two items. So, the motion for December 5.

39 **Krissy Gillmore**

40 I'll make a motion to approve the meeting minutes for December 5, 2023.

42 **Lynn Jacobs**

43 We have a motion. Do we have a second?

45 **Jim Clark**

1 Second

2

3 **Lynn Jacobs**

4 Motion and a second. All in favor?

5

6 **Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and**
7 **Richard Higginson**

8 Aye.

9

10 **Lynn Jacobs**

11 Any opposed

12

13 **Lynn Jacobs**

14 Moving to the next agenda item which is December 19th minutes.

15

16 **Krissy Gillmore**

17 I'll make another motion that we approve the meeting minutes for December 19, 2023.

18

19 **Lynn Jacobs**

20 We have a motion. Do we have a second? Beverly seconds. All in favor?

21

22 **Beverly Ward**

23 Aye.

24

25 **Lynn Jacobs**

26 Beverly with the second. All in favor?

27

28 **Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and**
29 **Richard Higginson**

30 Aye.

31

32 **Lynn Jacobs**

33 Any opposed? Passed unanimously. With that, we'll move to the next item on our agenda which
34 is the variance request to construct an 8-foot-tall precast concrete wall and gate for Dominion
35 Energy. Is the representative from Dominion here tonight? Excellent. At a certain point in the
36 presentation, if you have additional comments, we'll ask you to do that. But in the meantime, our
37 Senior Planner Amber Corbridge, take it away.

38

39 **Amber Corbridge**

40 Okay, so, before you tonight we're looking at a variance request. The applicant is here
41 representing Dominion Energy and they're requesting to have a variance from a wall and height
42 fence wall height standards in the single-family residential zone R-4. The subject property is a
43 0.2-acre parcel owned by Mountain Fuel Supply Company, located in the R-4 zone. The
44 applicant stated that this site has a regulator station where natural gas is distributed to the
45 surrounding community. Site improvements include newly remodeled equipment, an eight-foot-

1 high solid precast concrete wall along the North, West and South property lines and a gate along
2 the East property line. The applicant stated that this site needs to be upgraded to a more efficient
3 station due to the increased demand for natural gas.

4
5 Dominion Energy is standardizing the wall fence height to be at least 8 feet high for new or
6 remodeled stations to better mitigate the noise and disruption to neighboring properties and
7 secure the facility. The current standards for this site require the fence and wall height to have a
8 maximum height of six feet. The variance to this would allow for Dominion Energy to construct
9 an eight-foot-high precast concrete wall around the property. And in the Utah Code, there are
10 criteria that need to be met in order for you to grant this variance. The following are the criteria.

11
12 First, literal enforcement of the ordinance would cause an unreasonable hardship for the
13 applicant that is not necessary to carry out the general purposes of land use ordinances.

14
15 In our response to the applicant, we said that the additional height is necessary to protect
16 the station from intrusion and create a greater sound visual buffer between the residential
17 and non-residential uses. The buffer standards between residential and non-residential
18 uses is at least six feet tall and 20 feet from a public street. However, there is no clear
19 maximum standard listed for buffers. The property is at least 20 feet from a public street.
20 Therefore, a literal enforcement of the wall fence height meaning at least six feet tall
21 would not allow for consideration of appropriate additional height in cases of allowed
22 public-private utility facilities in residential zones. The proposed wall would allow for
23 appropriate offering as required by code while providing a decorative concrete wall to
24 provide both visual and sound buffering to the adjacent residential property.

25
26 Second, there are special circumstances attached to the property that do not generally
27 apply to other properties in the same zone.

28
29 Our response is the property is considered a public-private utility facility and by nature of
30 use unique within the zone. This use is necessary within residential zones to provide a
31 needed service to the community. The proposed improvements will provide needed
32 expansion of an existing utility facility.

33
34 Third, granting the variance is essential to the enjoyment of a substantial property right
35 possessed by other property in the same zone.

36
37 Our response to this is utility facilities in residential zones are necessary to provide
38 essential services. These uses by nature are unique and unlike other properties in the
39 residential zone. The proposed variance would allow for reasonable change to the height
40 standards for fences and walls to provide appropriate security and buffering to adjacent
41 properties.

42
43 Fourth, the variance will not substantially affect the general plan and will not be contrary
44 to the public interests.

1 Our response to that is the proposed variance is consistent with the general plan and is in
2 keeping with the public's interests. Utility facilities are a necessary part of the City and
3 provide a desired service for Bountiful City residents.

4
5 And finally, the fifth criteria is the spirit of the land use ordinance is observed and
6 substantial justice done.

7
8 Our response to this is the proposal wall protect the public and utility facility by
9 restricting access to utility equipment and facilities. The land use ordinance anticipates
10 construction of utility facilities within residential zones. The proposed variance would
11 allow for the needed regulator station to upgrade and continue efficient use of the site
12 while providing adequate buffering between uses. As a condition of approval Staff
13 recommends that plans meet all department review comments and the applicant apply for
14 and obtain any necessary building permits. There are no significant impacts with this
15 variance request as it is to upgrade and improve an existing utility facility. The existing
16 chain link fence would be replaced with a more secure, durable and visually appealing
17 wall.

18
19 Based on an analysis of the required criteria from state code, including the findings that
20 we just mentioned. Staff recommends the Planning Commission review this requested
21 variance, hold a public hearing and grant the variance to allow for an eight-foot-high
22 precast concrete wall surrounding the property for an existing utility facility subject to
23 meet and Staff review comments and apply for and obtain necessary building permits.
24 Any questions for Staff?

25
26 **Lynn Jacobs**

27 Thank you, Amber. Does anyone have any questions?

28
29 **Sean Monson**

30 Yeah, I have a couple. I'm a little bit confused reading your Staff report. Is the current standard
31 up to six feet or is it limited to six feet?

32
33 **Amber Corbridge**

34 So, there's two codes we're looking at, the first is in the residential zone, we have a maximum
35 fence height of six feet. That's the variance we are looking at tonight. The other is a buffering
36 standard for uses between commercial and residential which, you know, has to be at least six feet
37 so there's no room for it to be greater than six with buffering if it's in a residential zone. Does that
38 make sense?

39
40 **Sean Monson**

41 Yeah. And the next question, I don't know if you are supposed to answer this or our new City
42 Attorney. As you look at this element number two, there are special circumstances attached to
43 property that not generally apply to other properties the same area. And I admit I have been
44 variance grinch and I freely acknowledge that, but I want to make sure that we're complying and
45 following the law. I mean, it seems to me that what we're saying is it makes this unique property

1 is the use not the topography or the geographic layout. It's the use. That can't be the way the code
2 is interpreted, and Utah code, can it? I mean it can't be that the use is unique, and it has to be that
3 the property is unique.

4

5 **Amber Corbridge**

6 It's a unique use in the zone and so it should be treated differently, but we don't exactly have a
7 standard for fence height, you know, for this type of use. It's very specific and unique.

8

9 **Sean Monson**

10 When you look at these variances. I mean, this always seems to be the issue that we're grappling
11 with. And I guess I look for a deeper understanding from you or our City Attorney. Is that the
12 geographic topography that has to be unique? Or is it the use of has to be unique or the
13 contemplated use that has to be unique because it's contemplated use that has to be unique, this
14 seems like the standard.

15

16 **Brad Jeppson**

17 It's not just the contemplated use. We're talking about the property. We're talking about all
18 elements in this. In this example, we have a permitted use or a conditional use in a non-
19 conditional zone so in this we're not just looking at the type of property or the activity. We're
20 talking about what has been allowed on this property and what is currently being allowed on this
21 property as we go along. We say it's a unique, this is an R-4 zone. This is not an R-4 activity, but
22 it's permitted R-4 activity in the whole state and our City. This would be no different from our
23 own sites in our same zones, water or power, transformer. Same thing, whether they are allowed
24 it in the zone they're unique to the R-4 zone.

25

26 **Lynn Jacobs**

27 It does feel like this site is a little unique in terms of where it is. It's not like fronting the street.
28 It's like set back. It's almost like a flag lot. Where it's not, I don't know if there's a lot of other
29 parcels in the City that are like this. It's very unique in that in that topography. That makes sense.
30 I wonder if that helps.

31

32 **Francisco Astorga**

33 If I may, in addition to what Amber, just wanting to point out the state criteria. There are special
34 circumstances attached to the property that do not generally apply to other properties in the same
35 zone. We are looking at it holistically as both the conditions of the site and also the use.

36

37 **Sean Monson**

38 I think that the wording, special circumstances, does give us some wiggle room.

39

40 **Lynn Jacobs**

41 I really appreciate this discussion, because a lot of times someone might come in asking for
42 variance to offset some special circumstances that they even self-create which is not really what
43 we're after. Good conversation.

44

45 **Beverly Ward**

1 How long has the site been used by Dominion Energy?

2

3 **Francisco Astorga**

4 I do not have that information.

5

6 **Caroline King (Dominion)**

7 1950's, that's when we were granted the property.

8

9 **Beverly Ward**

10 Is that about when the homes were built in area too, kind of grew up together.

11

12 **Lloyd Cheney**

13 Most of the homes were built in the early 60s.

14

15 **Beverly Ward**

16 It may even been there before the homes were there.

17

18 **Lynn Jacobs**

19 I had a question; I was looking through the designs and I see the elevation of the wall. What is
20 the gate reflect? Does it look like the wall? I am having a hard time seeing that in the plans.

21

22 **Amber Corbridge**

23 So, I believe on page 31 of the packet you can see elevation details of the gate.

24

25 **Lynn Jacobs**

26 So, it's still chain link, the gate?

27

28 **Amber Corbridge**

29 Yes.

30

31 **Lynn Jacobs**

32 With kind of security wiring on top? Is it six or is it eight?

33

34 **Amber Corbridge**

35 That one is showing seven plus one.

36

37 **Lynn Jacobs**

38 Hoping to understand what were getting. Any other questions for Staff? Does the applicant have
39 anything to add that may have not brought up yet before we open our public hearing.

40

41 If you can come up to the podium and turn on the mic so it gets recorded.

42

43 **Caroline King (Dominion)**

44 We are doing actually three sides in the precast wall. So we're doing the north side, the west side,
45 and the south side in the precast 8-foot.

1

2 **Lynn Jacobs**

3 Thank you. Okay, well with that we will be opening this to a public hearing and this is a variance
4 request which is a legislative item for us which is a really unique as a Planning Commission that
5 we handle this we get to decide yes or no. This is our decision not City Council.

6

7 **Francisco Astorga**

8 Mr. Chair, a quick correction, not the legislative, it is quasi-judicial item. Sorry about that.
9 Thank you.

10

11 **Lynn Jacobs**

12 Thank you for the correction. I spoke too quickly. But we are the deciding body on this matter.
13 And so as you would like to make a comment, come up to the podium, state your name, state
14 your address, and address your comments to us as your Planning Commission not the Staff or the
15 applicant. After we close the public hearing if we want to we can bring questions back to them
16 for more discussion and debate about this item but we would love to hear your comments and so
17 we would love to open this public hearing for you. Come on up.

18

19 **Sherri Morgan**

20 I'm Sheri Morgan. I live at 190 East 1500 South which was built in the thirties. And I was glad to
21 read the application that has been submitted to see that there are multiple references to noise
22 abatement. Many of the neighbors who live around this property and become very concerned
23 about the noise just recently as we've been looking at the issue of this wall until the upgrades
24 have been put in this summer we had never had a problem with noise coming from this property.
25 But it has become a significant issue since the upgrades. And I'm aware this is a meeting about a
26 wall variance. But I actually think these issues are tied together. And some of us have a proposed
27 solution that ties these issues together.

28

29 So we're looking at Utah Code 10-9A-702. I want to look to the last of the five factors,
30 subsection 2A-5, which is a catch all that a variance can only be granted if the spirit of the land
31 use ordinance is observed and substantial justice is done. This catch all does not specifically tie
32 to the variance of like the other four of the other five, and it's the substantial justice that I think is
33 how we tie the noise problem in. So, obviously this is a residential neighborhood. And once these
34 upgrades have been in place, there was noise that was going 24-7. And we actually had
35 somebody who measured decibels, I wasn't the so I'm not going to speak to it, but it was quite
36 loud, and it took several weeks before we can get someone at Dominion to come and even look
37 at it and talk to us about it. It was a while I think that there's somebody that we know addresses
38 the problem who won't speak to anyone from the neighborhood on the phone.

39 Normally, we don't have any leverage when dealing with a big company like Dominion. We're in
40 a really unique position because right now there's something that Dominion wants, and there's
41 something that we want. And I think that you're in a position to help everyone.

42

43 I think that this variance should be made contingent on addressing the noise problem and I think
44 that we need to have acoustical analysis done to determine what is the proper noise mitigation.
45 There are some issues with this wall as proposed and the first most glaringly obvious issue I see

1 is that there are three concrete walls to help with noise abatement and then there's one chain like
2 fence, and the property to the East of that is in an unfortunate position where there will be no
3 noise abatement for property is directly East where there's a chain link fence. In fact, unless I'm
4 really confused about how sound waves works, it's going to be amplified the property to the East.
5 So, that's a concern just right off it is with the wall as proposed.

6

7 **Sean Monson**

8 Can I ask you one quick question? What is the address of the residence?

9

10 **Sherri Morgan**

11 190 East is the residence East of that.

12

13 **Sean Monson**

14 So it's your house that's directly East?

15

16 **Sherri Morgan**

17 It is. Another problem that I see with this wall with noise abatement and I understand that's not
18 the only purpose of the wall, but that is something that was put into this application. Sorry, I feel
19 like it's a little bit fair game is that the wall is some 40 feet away from the exposed pipe fitting
20 used to be exposed pipe. That's a new feature of the upgrade. There used to be a concrete
21 structure around pipe, not just sides but a lid and I don't know if it's the upgrade or the removal
22 of concrete structure that sounds like something and acoustical analysis could help us with but
23 certainly having walls that far away, for noise abatement seems problematic when there's an
24 exposed pipe there might be a better solution would be to tie the variance with putting some sort
25 of better insulation around the actual pipe. Dominion is a large corporation, we want to be able to
26 work with them, we want to have their service this year. But we're concerned about our
27 enjoyment of our property, getting concerned about our property values, if this was to go back to
28 the 24-7 noise that it had been at and I think substantial justice would be to tie these issues
29 together and to make sure that the variance has to do with the noise problem. I understand that
30 Dominion cares about security also we care about security, too. I think that was a great point. But
31 there's nothing so urgent about security, that this can't be paused and addressed with noise before
32 a variance is granted or not granted. I say this because right now there's a foot wide gap in the
33 fence and it's been there for nine months and it's not onto a private property. It's onto the public
34 access road it goes back so it's not secure and it hasn't been secure. And while we'd all like it to
35 be secured, this isn't an urgent thing. So, I just want to suggest a solution that requires three
36 things: that would be to defer a decision tonight about this variance; to require acoustic analysis
37 to see about what would actually mitigate the noise; and make having that done be a requirement
38 before the variance.

39

40 And I also think it would be important to prescribe a specific decibel level and just looking at the
41 Bountiful City ordinance. It's defined as quiet. I think that is generally forty decibels. And so
42 that's what some of us in the neighborhood would be asking that you do.

43

44 **Lynn Jacobs**

1 I have a follow-up question for you. So, you said there was 24/7 really loud, what are the
2 conditions like now is it still like that or better or worse?

3
4 **Sherri Morgan**

5 It has gotten better. It has been shut down to run at certain times and I'm not the right person to
6 answer this because I'm very often gone at times when it's running, but I know that there's
7 someone in the neighborhood who's actually been measuring the decimals and the times who can
8 answer that, and I think he's here and will be addressing you.

9
10 **Lynn Jacobs**
11 Thank you.

12
13 **Sherri Morgan**
14 Thank you so much.

15
16 **Lynn Jacobs**
17 Thanks for coming.

18
19 **Greg Seegmiller**
20 My name is Greg Seegmiller. I'm the City Engineer for Woods Cross City. I live in Roy, Utah.
21 Do you need the full street address?

22
23 **Brad Jeppson**
24 Yeah, I think we need it for the record for tracking folks.

25
26 **Greg Seegmiller**
27 I'm just a consulting City Engineer for Woods Cross. My address 5902 South 4150 West. Woods
28 Cross City of course it owns the property to the South and to the East of this parcel. We received
29 information about this public hearing tonight and Woods Cross City has had their tanks there. I
30 don't know how long but there is a water line. As far as I can tell, a fairly large water line that
31 goes right underneath the fence on the South side of the Dominion Energy parcel. We're
32 concerned about a heavy concrete wall that will be placed on top of that and we would propose
33 working with them to either relocate the wall or change the weight of the wall that would pose a
34 problem to our water line.

35
36 **Jim Clark**
37 The weight of the wall could cause damage to the waterline.

38
39 **Greg Seegmiller**
40 Potentially, yeah.

41
42 **Jim Clark**
43 How far down or under is the waterline?

44
45 **Greg Seegmiller**

1 We don't know.

2
3 **Sean Monson**

4 This is a waterline that serves Woods Cross?

5
6 **Jim Clark**

7 Yeah.

8
9 **Greg Seegmiller**

10 All those things on the property service Woods Cross City. So anyway, I just would like to have
11 that opportunity to work with them on a possible change in the wall or material.

12
13 **Richard Higginson**

14 Mr. Chairman, I have a question.

15
16 **Lynn Jacobs**

17 Yeah.

18
19 **Richard Higginson**

20 Is there a design that spans the pipeline that you'd be comfortable with? With a concrete wall was
21 domination on each side?

22
23 **Greg Seegmiller**

24 The pipeline is parallel to property.

25
26 **Lynn Jacobs**

27 Do you know the diameter? How big is your waterline?

28
29 **Greg Seegmiller**

30 Oh, I believe the 16 inch. So, it's good size pipeline.

31
32 **Lynn Jacobs**

33 It runs parallel to the proposed wall,

34
35 **Greg Seegmiller**

36 I have information on GIS that I'm happy to share with you.

37
38 **Lynn Jacobs**

39 Thank you for comment, sir.

40
41 **Rich Reader**

42 Thanks for this opportunity. My name is Rich Reader. I live at 120 East 1500 South. My house is
43 one of the houses that's affected by this. It's actually affecting the entire block from about 75
44 East to about 195 East and 1500 South to 1600 South. It's very, very loud. The application touch
45 that we kind of had, you know a brief summary of the application in that application touches

1 about the enjoyment and the neighborhood quiet of the wall. I'm a little concerned there was a
2 statement in there that says the wall will be an adequate buffer. As charities filled out a lot of our
3 concerns very well. And one them, this wall is relatively very short. Compared to the distances
4 from noise sources. So when the voice hits the wall I don't think there's much attenuation that we
5 will see from the wall within six feet. I'm a mechanical engineer, I designed systems that often
6 include outdoor equipment that's noisy, breeding project or concern for affected neighborhood.
7 We always consult with acoustical engineers, and they provide solutions of what we should
8 incorporate into our projects and I think that's what's required here is good acoustical analysis.
9 I'm worried with this variance is approved every everybody will say oh, with 8-foot-walls all we
10 need. We hope it'll work. We wish it'll work. We think it'll work. I've heard all these kinds of
11 comments. Nobody knows for sure and just doesn't seem in my experience that is adequate for
12 the noises that we've been subject to. Now I've been recording the noise. A Dominion employee
13 after we really, really complained. One of our neighbors had a Facebook going. Finally they sent
14 about two weeks later, a Dominion employee who came out and took sound, interesting he was
15 wearing ear protection and a few hours later it was turned off. And then a few days later it
16 resumed operation at a much lower capacity and kind of early morning hours of the day. That's
17 been so-so acceptable, you know, 24/7 was just horrible. But Dominion hasn't told us what's their
18 future plan. Do they intended crank backup to 24/7 once they get your wall? Is there some
19 schedule that they're only going to run it in the winter? Early morning? We have no idea, that
20 they're explaining that this is this work was done because the increase gas demand. So if they
21 crank it back up to where it was our neighborhoods got a big problem.
22

23 **Lynn Jacobs**

24 Thank you. Any additional comments. Yeah, please. And as you come and comment, if you could
25 kind of add new information that's really helpful for us.

26 **Trent Hodgson**

27 So my name is Trent Hodgson. I live at 91 East and 1600 South. Actually just one backyard away
28 from the property in question. But I, we kind of banded together as a neighborhood, had a
29 meeting and several chats and things about noise, that's our main. The noise that wasn't there
30 before the changes happen on the property and the noises that has been since the change in the
31 property. To give you some reference, I can hear this noise from within my home and it is louder
32 sometimes and quieter at other times. But it doesn't wake me up out of a sleep but as I get up out
33 of bed the noise is there. My bed, my bedroom in my basement, surrounded by concrete walls.
34 But I go upstairs the noise increases. So the concern is that we don't do something now like you
35 said, we're going to be living with a noise at some level for the rest of our time living in the
36 neighborhood. So we as a neighborhood, we have gotten together we banded together a little bit
37 to address this because we've had... I was the Facebook guy. I started the conversation on
38 Facebook with Dominion Energy and they responded. They acknowledged that I was there. And
39 shortly afterwards, and I said, I'm little frustrated. I said we're at the point right now where if we
40 don't get this taken care of immediately, I'll be filing a police report because it's absolutely
41 unacceptable. Problem is when we're in the winter months my kids aren't playing outside but if
42 this carries into the spring and summer months. I won't want my kids outside playing. I'm in
43 construction and I am also a safety trainer working in construction for years and years. It's a level
44 where you're having a conversation with somebody you're going to have to raise your voice. I
45

1 just don't want my kids playing around that especially if it's loud. So we as a neighborhood are
2 just really hoping that you guys will have our backs on this and help us to get a solution that will
3 protect the property which is absolutely necessary, I appreciate your time.
4

5 **Richard Higginson**

6 Mr. Hodgson, What's the nature of the noise?
7

8 **Trent Hodgson**

9 So it sounds, I'm in construction so I'll make some comparisons. A high pressure airlines such as
10 a needle for a jackhammer. If you were to pull out the hose it sounds like that the high shrill
11 noise. Obviously, it's pressurized gas I think it's releasing. I'd also compared it to a concrete saw,
12 similar to one who would be cutting concrete on maybe the freeway I-15 project and if you drive
13 past that as a high shrill grinding, loud high-pitched noise. It's just it's kind of a cross between
14 those two things it's not low. It's very shrill.
15

16 **Richard Higginson**

17 Thanks.
18

19 **Lynn Jacobs**

20 Any additional comments? Looks like we can go ahead and close the public hearing at 7:04,
21 bring it back to the group and you know, actually I wonder if the applicant would like to address
22 any of the comments.
23

24 **Tori (Dominion)**

25 My name is Tori (Dominion) [*inaudible*] the safety manager for Dominion Energy. And I agree
26 with the community that noise levels are incredibly high. Normally for these types of things, we
27 will look at a County Health noise ordinance and it usually sets a nighttime/daytime level at the
28 perimeter and how we impact the surrounding community. In the absence of actual established
29 limits. We will look at the Federal Energy Regulatory Commission and they have levels that we
30 need to meet for our compressor station and the numbers they set are fifty at our property
31 boundaries for daytime and fifty for night accounts that greater sensitivity. We are not meeting
32 that level. We would like to meet that level. We want to make sure we're a good corporate citizen
33 that meets the needs of our customers and the surrounding community so we will we try we will
34 try to work with you to bring those noise levels down. The materials that we've selected for the
35 fencing has worked at other rec stations we have and does reduce attenuate the noise levels, to
36 the community health department ranks in those areas.
37

38 **Richard Higginson**

39 Where those first regulations you're quoting the fifty to fifty-five?
40

41 **Tori (Dominion)**

42 That was for the Federal Energy Regulatory Commission. That's what they established the noise
43 that we can exceed for what they call the near sensitive area. So in this situation, we've got our
44 property perimeter.
45

1 **Richard Higginson**

2 What is the station at right now?

3

4 **Tori (Dominion)**

5 Well, it's ranging if you come from the side, we have the high gas flow coming in on one side
6 and that's where most of the noise is coming from. But right now we're probably upper seventies
7 / eighties around the perimeter so it does seem to be attended to.

8

9 **Lynn Jacobs**

10 Does Davis County have a regulation.

11

12 **Tori (Dominion)**

13 Not that I can find. Salt Lake County has one in Salt Lake County similar it has a fifty-five day /
14 fifty nighttime noise ordinance.

15

16 **Lynn Jacobs**

17 I think this is a good conversation.

18

19 **Rich Reader**

20 That's correct Bountiful City noise ordinance says quiet in most acceptable noise categories quiet
21 is in the low forties. I've lived there thirty plus years and I'm one of the newcomers and we've
22 never heard, until this project, fifty-five, is very, very annoying and noticeable. There are ways to
23 get this to where it can be quiet. There's very proven acoustical engineering procedures that can
24 bring this back to the way it was when we all bought our homes. My worry is that they don't fix
25 it right. We're going to be back and if they fix it right, it'll be a good solution. If they follow a
26 sound engineering recommendation it will be cost effective. If they don't fix it right, everybody's
27 going to be upset, will be back, the disruption will continue the fix will be a lot more expensive
28 and it probably won't be satisfactory.

29

30 I think in such a large corporation they need to have study done and put that neighborhood back
31 the way it was. They used to have buildings, now they have a tin shed. It's a fancy tin shed. But I
32 think they need to put the neighborhood back the way it was. Just to come in and say some other
33 national standards would allow it to be higher, if we had all moved in under those kind of noise
34 levels, we would have made decisions. I probably wouldn't have moved there. That's like what
35 you hear if you live next the freeway.

36

37 **Richard Higginson**

38 Or second West.

39

40 **Rich Reader**

41 But you know, you chose to live there. That's one thing. We all moved here, Bountiful's a nice
42 community. While this kind of disruption comes in because some national standard, I don't think
43 that the right solution because I know I've done these projects. I know that you get down, there
44 are ways, the wall is not a total solution.

45

1 **Lynn Jacobs**

2 Thank you. Appreciate that. Anymore from Dominion?

3

4 **John (Dominion)**

5 My name is John [inaudible]. I'm the engineer of the project. I thought I could just explain a little
6 bit as the station works. And everyone's here is right and we want to make it to where it was, you
7 know, quiet what it used to be. So before, I want to start with so what the station is doing is
8 there's a high-pressure gas line, it's steel, it's in the hundreds of pounds per square inch, comes
9 into that regulator station and it and the pressure drops so it goes from like maybe 440. So that's
10 what you're hearing. That's why it sounds like when you're letting air out of your tire something
11 that's it's a really high pressure going into a lower pressure. With some of the history of that
12 station it used to be, I believe a masonry building and the pipes came into the building through
13 the concrete floor and what we've been doing what we found, because it's an older station, it's
14 kind of a safety issue because the pipes come up through the concrete and there might be some
15 rusting with the pipe. So, that's why now they come up out of the ground and straight into the
16 building. Part of the theory of design is instead of now having a masonry building around it, we
17 basically take those walls and push it out to be the sort of the wall. So that's a little bit of what's
18 going on there. That's why it's so loud because the solid part, you know, the law that used to be
19 there for the building is kind of gone. So I just kind of wanted to add that. And it's not really like
20 the station turns on and off. It's whenever there's a lot of like a demand. Everyone's heating their
21 houses the pressure will drop in the low-pressure system all the yellow pipe you see for gas lines,
22 the pressure will drop in that system and then this station will kick in and that's why you'll hear
23 and kind of intermittently. It's, you know, usually when it's colder, it'll trigger because it's saying
24 well the pressures drop too low. Let's add some more so.

25

26 **Lynn Jacobs**

27 About how far is it from your building to the to the wall that we're proposing?

28

29 **John (Dominion)**

30 Looks like about thirty feet. You know, going North and South on the backside it's about fifteen
31 feet. So, I mean it does make sense that it might be you know, it's not like right around like it
32 used to be. Our stations like this Bountiful can be successful, but...

33

34 **Lynn Jacobs**

35 Are the other stations that you've retrofitted like this in other neighborhoods as well?

36

37 **John (Dominion)**

38 Can I just clarify those distances? It's about thirty feet to the North and South. It's about eighty
39 feet to the West. And it's back sixty feet to the East.

40

41 **Lynn Jacobs**

42 To the East where the chainlink fence is? Okay, thank you.

43

44 **Rich Reader**

1 So, I'm looking at that, that is very far. So that's quite a distance. Maybe going in that direction.
2 This sound level....

3
4 [Inaudible]

5
6 **Lynn Jacobs**

7 You might want to come on up.

8
9 **Sean Monson**
10 Tell us your name and who you're with.
11

12 **Dominion Employee**

13 [Inaudible] with Dominion. I work for measurement control. I run the rec stations. We've done
14 them with this design precast wall, you've got the box. Look in there. It's not just for aesthetics. It
15 also helps break up the noise. If you look at sound rooms. They do like egg cartoon stuff. So
16 when the noise comes in it kind of breaks it up. The bricks in there do the same thing. So as it
17 hits, it's not a flat surface that reflects the noise it breaks it up. So that's part of the reason we do
18 this precast wall. A lot of what was there previously, with the chain link fence, there was a lot of
19 weeds and foliage that grew up on the chain link fence, which makes a huge difference with
20 noise because it's hard to get through all foliage. So we take that in that chain link, now, you've
21 got that much to break that noise. We have corrosion problems the way it was with masonry
22 buildings going in for concrete, you got corrosion, you can't dig around the concrete so that's
23 why we brought the pipes outside of the building so that we can inspect those and make sure we
24 have any corrosion. On and off, you know in the morning, everyone gets up wants a hot shower,
25 so you got your water heaters. Everyone gets up their a little cold they turn up the thermostat. So
26 because a lot more demand, as you make that cut from 400 pounds to 45 pounds, you increase
27 the velocity of the gas so when you got a big pipe, kind of pinch it off, the velocity on the other
28 side increases. So that's where the noise is coming from. You just have increased velocity.
29

30 **Lynn Jacobs**

31 One last question I have for Dominion. You guys have probably run into this situation elsewhere
32 where you have noise and issues and concerns from the community. What things that you've
33 done to mitigate that noise at other locations?

34
35 **Tori (Dominion)**

36 Technically, the sound walls are very effective at mitigating the noise, they do provide a great
37 deal of attenuation. The other, some of the other areas we been able at our gate stations and we
38 can look at the valves, change in some of the valves that will also mitigate the noise I don't know
39 that is an option at this station. Mostly arcade stations, but those seem to be pretty effective. We
40 do as you increase the distance the sound level is cut by half and be double the distance from the
41 source. Most of the noise is coming from that high pressure. And we have had success with these
42 types of walls.

43
44 **Lynn Jacobs**

1 Help me understand, the pipes come out and then they go into the building and most of the noise
2 is coming from where the pipes coming out of the ground or was coming from the regulator
3 inside of the building?

4
5 **Tori (Dominion)**
6 It's coming from the high-pressure side as it flows into that rec station and then the pressure is
7 dropped. It's mostly concentrated on that high pressure side.

8
9 **Lynn Jacobs**
10 On the outside of the building?

11
12 **Dominion Employee**
13 It's the center of the site.

14
15 **Tori (Dominion)**
16 So we did take, we did a couple of things. We took some level readings around the perimeter of
17 the station. And then at the actual rec station area. And then we also did a sound spectrum
18 analysis to see just in anticipating so you want to break the noise consisting of several different
19 types of frequencies and you want to break it down into frequencies so you can know where
20 you're having the biggest concern and based on that you can select a material that's going to
21 attenuate to have the biggest bang for your buck is going to attenuate those times. What we
22 found was that the greatest noise was 1000 to 4000 hertz range and this material is pretty
23 effective at attenuating that sound. The greatest results... so the highest level we find is actually
24 at that where the high-pressure pipe is entering into that station and we measured it at 97
25 decibels. That's over, that's well over OSHA level for occupational exposure. That's why our
26 employee was measuring that was wearing his hearing protection, he's supposed to do that. So
27 that is where it's occurring primarily. Again, as you double the distance from that source, you're
28 cutting the noise level in half. It's a logarithmic function.

29
30 **Richard Higginson**
31 I do a question before you go maybe. What was the thought process behind having a full wall of
32 this enclosure be chain link rather than at least partially precast.

33
34 **Tori (Dominion)**
35 Normally, what we do and I'm not sure on this one. We'll wrap the wall around the corners and
36 then we have to have a gate so that we can get equipment in and out of there safely so our
37 employees can go in with the trucks and equipment to do work on the station. And think this one
38 just has...

39
40 **John (Dominion)**
41 Well, I think it's because Woods Cross facilities are somewhat directly out, but I do understand
42 what the neighbors are saying about kind of the problem in that area there.

43
44 **Tori (Dominion)**
45 And that's the most distant from the station as well.

1
2 **Dominion Employee**

3 Originally, the reason we was going to do the precast wall on the North and the West, is because
4 that's where the residential area is we was not going to do it on the South side and just put chain
5 link back up because we figured the foliage would grow back up and we did not have residents
6 that live directly on the other side of that fence. So we figured over time that foliage would
7 probably grow back up through that fence.

8
9 [inaudible]

10
11 **Lynn Jacobs**

12 But you're currently planning doing your wall on this side.

13
14 **Dominion Employee**

15 Yes. Currently, we plan on doing the three sides, the North, West and the South side.

16
17 **Lynn Jacobs**

18 But the East side is all chain link.

19
20 **Dominion Employee**

21 Yes.

22
23 **Brad Jeppson**

24 Chairman, I'd like to have just a brief moment.

25
26 **Lynn Jacobs**

27 Sure. Love to hear your insights.

28
29 **Brad Jeppson**

30 More to counsel to the Commission. I would like to just kind of warn the Council against getting
31 into an idea of adding conditions that aren't related to the specific variance. The statutes in this
32 case limits us, it's very specific, we can require them to mitigate any harmful effects caused by
33 the variance. So we're not here in a situation where we're reaching for adding new conditions to a
34 conditional use permit or anything like that. So, I would warn the Council against establishing or
35 requesting the applicant do anything that's not tied to the variance which is an extra two feet on a
36 wall as a condition of accepting their variance.

37
38 **Sean Monson**

39 That is what I am thinking as well. It's not a conditional use permit to the facility. Right. I think
40 we've already got that again. The question that I have for you though, is that and I can't
41 remember on the variance statutes if they meet the conditions there are five conditions that are
42 outlined in Utah law, is it a situation where the Planning Commission shall grant the variance or
43 as it may grant the variance and that's, I'm wondering what kind of discretion we have regarding
44 granting this variance.

1 **Brad Jeppson**

2 It certainly is a may grant the variance. You do have discretion whether or not they fit those
3 whether you accept it or not. What I would counsel you guys not to do is to tie acceptance of the
4 variance, something other than an instance is mitigating the actual request for variance such as
5 the Woods Cross Engineer talked about adding more weight to wall that specific to this variance.
6 The statute is pretty clear that you guys are here to accept or deny and you can acquire them to
7 mitigate specifically what problems the variance would cause, not that conditional use is already
8 bound.

9 **Lynn Jacobs**

10 Along that same line, would it be appropriate for us to put conditions on the materials that they're
11 using? For instance, you know, right now is a wall they're asking for eight-foot wall they're
12 selling it as a concrete wall, it looks really nice, right?

13 **Brad Jeppson**

14 Well, what part of the variance you looking to mitigate. I'm assuming that we have rules in our
15 City, especially in R-4 zoning. We don't have high walls for a bunch of reasons. Which of those
16 reasons that we try and mitigate by having a specific material?

17 **Krissy Gillmore**

18 I think where I am at, part of their request for variance was for safety to prevent people
19 trespassing in. The other part of the request is the noise and so coming back to the material and
20 even extending that. Do we want to grant variance or something that might not address the
21 problem, part of their problem. That's where I'm kind of conflicted on how this works and what
22 discretion we have.

23 **Brad Jeppson**

24 You can certainly deny it when required on that six-foot wall. What we can't do is we can't say
25 well, you got to do something that's not tied to the negative impacts of the variance. So, if you're
26 trying to say that we need this, this, this condition on the property based on utility, probably
27 outside of statute today, if you're probably saying we want the wall to look like this and this
28 because it will fit in with the neighborhood it will probably within the confines of statute.

29 **Lynn Jacobs**

30 So for instance, going from a six foot wall to an eight-foot wall is not creating the noise, and so
31 we won't be able to tie a required noise study to the variance.

32 **Brad Jeppson**

33 I haven't seen a nexus between that and the noise.

34 **Sean Monson**

35 What's the rationale for the six-foot wall versus eight-foot wall in mitigation factors? There's
36 going to be some reasons why it should be six-feet maybe it's visibility and those are the
37 things...between 6-feet and 8-foot but that's what we can vote for. That's pretty much it. I mean,

1 unfortunately, I don't think anyone really anticipated. I remember when this came up as a
2 conditional use. No, this was not an issue. The noise no one talked about this.

3

4 **Richard Higginson**

5 So, we could mitigate the additional height by saying it had to be open at the top, some sort of an
6 open fence structure rather than...

7

8 **Sean Monson**

9 [Inaudible]

10

11 **Lynn Jacobs**

12 Which is visibility.

13

14 **Brad Jeppson**

15 I think Woods Cross example was a great one as well. Adding the extra weight of the two feet
16 added to the wall may require some mitigation to keep their pipe safe. I'm not an engineer. I can't
17 say whether it does. That's just an example, a clear nexus between what you were actually asking
18 them to do and their variance.

19

20 **Lynn Jacobs**

21 Thank you for the clarification that was incredibly helpful. Any other thoughts or conversation?

22 Where is everyone leaning? Bringing it back to the Commission.

23

24 **Richard Higginson**

25 Happy to share where I'm leaning since I'm the new guy. I'm wishing that our attorney hadn't told
26 us that we couldn't require additional things. That's what I'm wishing because we want to make
27 things all better. But I think that the case has been made and our Staff has endorsed having the
28 higher wall is a good thing for the neighborhood. The neighbors have expressed that as well.
29 We're just hoping we could go further. I'm leaning towards approval.

30

31 **Lynn Jacobs**

32 I feel so much for this area, if I lived in this neighborhood, I wouldn't be so upset. I would be so
33 irate and angry that your peaceful life has been completely disrupted. And that's horrible and I
34 think about what we as Planning Commission can do with what we have in front of us as we
35 have this variance. It seems like we have like two options. Option one is we can either approve
36 the variance or option two is we can deny the variance. If we were to deny variance, Dominion
37 Energy's probably next move is to build a six-foot wall because that's allowed and they don't
38 have to ask for any permission to do that. They can just go do that. And I think that that probably
39 would make less sense than building an eight-foot wall because I don't know that the six-foot or
40 eight-foot wall is really going to fix the noise problem. But it feels like an eight-foot wall more
41 likely to fix the noise problem and a six-foot wall. I'm not a sound engineer, I am a civil
42 engineer. I've been involved in some sound engineering throughout my career and I studied it. It's
43 complicated stuff. And when you think you're going to fix it, sometimes it makes it worse. And it
44 makes me nervous from that perspective, because sometimes putting walls in certain ways can
45 amplify it in another direction. I can see that concern a big way here, where we got three solid

1 walls and a fence over here. You get this amplification effect, right? I don't know if I'm no sound
2 engineer right but logic tells me that that could happen and it makes me nervous. You know? I
3 don't know what to do here tonight. This is a tough one. This is a really tough one. I do think that
4 the Woods Cross concern is incredibly valid and something that absolutely needs to be addressed
5 with our approval.

6

7 **Richard Higginson**

8 One thing that's in the neighborhoods' favor is the fact that Dominion has indicated multiple
9 times tonight that they want to fix the problem also. So maybe they work with the neighbors.

10

11 **Lynn Jacobs**

12 It's helpful.

13

14 **Beverly Ward**

15 I just have a question. It was something Commissioner Monson mentioned about a conditional
16 use permit that. [Inaudible]. Was this something that happened.

17

18 **Lynn Jacobs**

19 There was something a year and a half or two years ago. Where they were looking to do a
20 building.

21

22 **Francisco Astorga**

23 It was a different utility. It was a water well. It was South Davis Water as they applied for a
24 variance as they couldn't meet the front yard setback. Maybe three or four years ago.

25

26 **Lynn Jacobs**

27 Sorry, everyone. Little, history. This is why it's both good and bad that we been on for a few
28 years.

29

30 **Jim Clark**

31 So, what do we do about Woods Cross?

32

33 **Lynn Jacobs**

34 Well, I wonder would it be appropriate to attach a requirement that they meet with Woods Cross
35 mitigate the impact? I don't know. [inaudible]. Can't have them crush a waterline. That's
36 probably their main supply for the whole City. Lloyd, do you have thoughts around that?

37

38 **Lloyd Cheney**

39 Maybe I can add some insight. I talked to Greg Seemiller a couple of times about this, and it's
40 been a long time since anyone has actually located those waterlines.

41

42 **Lynn Jacobs**

43 GIS layer right now. Gotcha.

44

45 **Lloyd Cheney**

1 At this point it's using the crayon on a map. Until you know where your waterline is and where
2 your property line is, where your proposed fence alignment is. It's all just a guess.

3

4 **Sean Monson**

5 We could, I know this isn't a conditional use permit. But we could I imagine as part approve this
6 variance have imposed a condition as mitigating condition that they consult with Woods Cross.
7 That issue be analyzed and addressed before as a condition of approval.

8

9 **Brad Jeppson**

10 I don't see any problem with that mitigation on that there is a nexus between the increased weight
11 and possibility that could crush it, like Lloyd said, I'm not sure that if that's real or imagined, that
12 would take an engineer to figure that out. But that has a clear nexus in my mind.

13

14 **Sean Monson**

15 I have the same thoughts. I really feel for the neighbors and people living in this neighborhood. I
16 know, unfortunately, I think is probably not the proper venue to address it. Right now, in this
17 body. We don't really have the ability to address, how to address the sound issue. There are other
18 avenues you might pursue and need to hold and maybe consult with an attorney about that. But I
19 don't think we're the right body. We don't have the authority under our code or state law. As
20 we've already been talking about to oppose the kind of conditions such as noise mitigation
21 factors that we would all know I'm sure we would all understand and appreciate that we have the
22 power to do that. If we deny this request to being just six-foot wall I don't think helps anyone, it
23 doesn't help the neighborhood.

24

25 **Lynn Jacobs**

26 Any other thoughts. Anyone prepared to make a motion?

27

28 **Jim Clark**

29 Well, I do think we could require a chain link fence instead of being open chain link fence have
30 that slatting I've seen.

31

32 **Lynn Jacobs**

33 I think that's what on here that's what it looks like, to me. Is it slatting? The chain link gate will
34 have slatting in it.

35

36 **Jim Clark**

37 That's certainly going to help with the mitigation.

38

39 **Lynn Jacobs**

40 More discussion? Okay. Yeah, go ahead.

41

42 **Tori (Dominion) (Dominion Energy Employee)**

43 I wanted to comment on the concern about the wall reflecting noise back. [inaudible].

44

45 **Lynn Jacobs**

1 That's helpful.

2

3 **Tori (Dominion)**

4 So, you're probably not going to get a lot of bounce back off that.

5

6 **Lynn Jacobs**

7 Was that what you were going to say?

8

9 **Trent Hodgson**

10 No. So, Trent Hodgson again, I just want to ask one more question to the council about the
11 remodel facility originally. What would be the permitting process for Questar to come in and
12 remodel this facility? Because if there is a permit process, I would assume that permit process
13 has not been followed and that's where we would address the sound issues.

14

15 **Richard Higginson**

16 Lloyd, are they required to get a permit?

17

18 **Lloyd Cheney**

19 [inaudible].

20

21 **Lynn Jacobs**

22 Was it a pre-existing use that they were?

23

24 **Trent Hodgson**

25 Yeah, but I have a pre-existing home if I remodeled my home I'm required to have a permit.

26

27 **Lynn Jacobs**

28 I don't believe any permits were applied for demolition of the existing building or construction of
29 the new metal building.

30

31 **Sean Monson**

32 Would it have been required?

33

34 **Amber Corbridge**

35 Our Building Official told me that that would not been required for what they've done so far, but
36 the wall would be required to have a permit because it's seven-feet or more in height.

37

38 **Lynn Jacobs**

39 This was about building permits in what's required and what's not. Thank you. Thanks for the
40 comment. Well, back in the matter, and was the variance of the wall. Anyone prepared to make a
41 motion?

42

43 **Sean Monson**

44 Chairman, I'll moved that we approve the variance request by Dominion Energy for property
45 parcel number 03-042-0052 with the mitigating condition that there be consultation and a plan to

1 be studied and plan approved for mitigation of the weight on Woods Cross City waterline and
2 recommendations of Staff.

3
4 **Richard Higginson**

5 Second.

6
7 **Lynn Jacobs**

8 We have a motion in the second. All in favor?

9
10 **Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and**
11 **Richard Higginson**

12 Aye.

13
14 **Lynn Jacobs**

15 Any opposed? Okay, variance is passed. I hope we can work together and get this sorted out.

16
17 **Samantha Harris**

18 Oh, are you on?

19
20 **Francisco Astorga**

21 I was going to drive for Lloyd.

22
23 **Lynn Jacobs**

24 Move on to the next agenda item. Eagle Ridge Drive Dedication Plat. Take it away Lloyd.

25
26 **Lloyd Cheney**

27 Over the last couple of years, we've been working very hard to construct the extension of Eagle
28 Ridge Drive from Bountiful Boulevard to our favorite City recreational spot: the B. That
29 construction wrapped up this year. Though the property to construct the road was transferred by
30 deed, there hasn't been an official recorded road dedication plat for the alignment of the road. In
31 the memo you'll see a couple of things. Number one, the master plan that was approved back in
32 January 2022, which identifies the widths of the road, in an that area, so sixty feet wide as
33 planned, not the entire way but from Bountiful Boulevard to approximately the North side of the
34 debris basin, and then the Eagle Ridge Subdivision to the North, that short section of Eagle
35 Ridge Drive is only fifty-four (54) feet wide. There will be a transition between those two
36 roadway widths. The future completion of Eagle Ridge Drive. We've built that facility in
37 accordance with the street master plan, the roadway dedication plat, which is the very last item in
38 your packet, identifies with the appropriate geometry the exact location of the roadway and that
39 runs through the property that's currently owned by Rainey Homes and will become eventually
40 the last phase of the Stone Creek Subdivision. By recording this dedication plat, it dedicates that
41 property as a right-of-way that will grant rights to utilities, will be installed to be maintained
42 there, those utilities were installed with the construction of a right-of-way. Happy to answer any
43 questions you have. It's really just the next step to get this to the Council so we can record this
44 and tie a nice bright ribbon around this project.

1 **Lynn Jacobs**

2 I saw that it looks really nice. Oh that's a beautiful road. I was really surprised to see it, wow that
3 happened fast.

4

5 [Inaudible]

6

7 **Richard Higginson**

8 I do have a question, kind of a tangent from this issue. Lloyd, is the temporary connector to
9 Skyline Drive going to eventually be removed or will it be brought up to code and used as part of
10 subdivision?

11

12 **Lloyd Cheney**

13 You mean the big horseshoe bend?

14

15 **Richard Higginson**

16 Yeah, 25 feet wide 14 feet.

17

18 **Lloyd Cheney**

19 There are no plans to eliminate that, and associated with that I don't know that there are any hard
20 and fast plans to dramatically improve it.

21

22 **Richard Higginson**

23 Was that street dedicated to the City back when it was constructed or is it across private
24 property?

25

26 **Lloyd Cheney**

27 It is, I believe, it was actually dedicated to the County by I think her name is Ethel Kingston.

28

29 **Richard Higginson**

30 Thank you, and thanks for your work on this project. This is huge.

31

32 **Lynn Jacobs**

33 This is awesome. [inaudible]. Any further questions for Staff about this item, it goes to City
34 Council with our recommendation. We need Sharon back to take over the motions.

35

36 **Richard Higginson**

37 I'll be happy to make a motion that we pass along recommendation for final approval to the City
38 Council for the dedication of Eagle Ridge Drive as presented.

39

40 **Lynn Jacobs**

41 Excellent. We have a motion. Do we have a second?

42

43 **Jim Clark**

44 Second.

45

1 **Lynn Jacobs**

2 All in favor?

3

4 **Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and**
5 **Richard Higginson**

6 Aye.

7

8 **Lynn Jacobs**

9 Any opposed?

10

11 Back to our Planning Director's report/update.

12

13 **Francisco Astorga**

14 I'll be brief. Sorry Brad for calling you Clint. My apologies on the record. Did we get Richard a
15 proper welcome to the Commission.

16

17 **Lynn Jacobs**

18 Yes.

19

20 **Richard Higginson**

21 Oh, absolutely.

22

23 **Francisco Astorga**

24 I missed it. I went back to get copies and the last thing: in the past, Shawn, Jim, maybe Lynn will
25 recall that for these variances, we would come back with in-written form approval. We have
26 stopped that practice in that the record shown in the meeting minutes, and that's why we take a
27 look at that. We hope that you're okay with that old school practice of bringing it back two weeks
28 for that in written approval. We're completely comfortable taking the meeting minutes and
29 writing a letter on behalf of the Planning Commission as we're not the ones granting the
30 variance, but it is the commission. So, this is more of procedural change that we'd like to
31 officially let you know that we're no longer following that old practice that we used to have here.
32 If you have any issues, you can call me directly and we can talk about that, but we simply
33 wanted to give you that specific update.

34

35 And the last one, as some of you call and ask about the or email or text me about the General
36 Plan update. What we're currently doing is that we are having the City Council; they're taking a
37 look at each section one at a time, and they are fine tuning it right before you get it. We anticipate
38 that it'll be sometime in the Spring. We're thinking sometime around April, as that when you
39 don't come back to you as an official document to review. If you pay attention to any of the City
40 Council packets, you'll have to find sections here and there as City Council is taking a good look.
41 They were a little slow during the first meeting in December but they were extremely efficient at
42 the meeting from last week in fine tuning the goals. Those are my updates. Any questions for
43 me?

44

45 **Lynn Jacobs**

1 No. Awesome. Thank you.

2

3 **Francisco Astorga**

4 Thank you.

5

6 **Lynn Jacobs**

7 So with that, we will adjourn. Thank you all.

Planning Commission Staff Report



Subject: Conditional Use Permit for a Tattoo Parlor
at 1455 South 500 West Suite F
Author: Jonah David Hadlock, Assistant City Planner
Date: February 6, 2024

Background

On December 14, 2023, the applicants, Matt and Cassidy Morrison, submitted a Conditional Use Permit (CUP) application for a proposed tattoo parlor located at 1455 South 500 West Suite F. The property is in the Heavy Commercial Zone (C-H) which allows for tattoo parlors as a conditional use. On January 29, 2024, the applicant withdrew their submitted application.

Attachments

1. E-mail from applicant withdrawing the application

Jonah Hadlock

From: Cassidy Morrison <clarkcassidy75@gmail.com>
Sent: Monday, January 29, 2024 9:20 AM
To: Jonah Hadlock
Subject: Morrison conditional use

Hi this is Cassidy Morrison just letting you know to be taken off the agenda because we are no longer signing on that space. Thank you.

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Planning Commission Staff Report



Subject: Conditional Use Permit and Final Architectural and Site Plan for a Silo Addition for Weber Basin Water Conservancy District

Address: 38 North Davis Boulevard

Author: Amber Corbridge, Senior Planner

Department: Planning

Date: February 6, 2024

Background

The applicant, Jesse Moreno, with Weber Basin Water Conservancy District is requesting both 1) Conditional Use Permit (CUP) and 2) Preliminary/Final Architectural Site Plan Approval to build a new silo for their water treatment plant located at 38 North Davis Boulevard. The property is zoned R-3 (Single-Family Residential) where this proposed addition for a private utility facility is listed as a conditional use. The applicant states this proposal to build a new silo addition (approximately 13' diameter and 35' tall) with ancillary pump/compressor enclosure (approximately 10' tall and 160 square ft.) will upgrade and improve the existing site infrastructure. This upgrade also includes demolition of the existing Powdered Activated Carbon (PAC) storage feed system building and feed equipment, piping modifications to the raw water and return wash water line upstream of the influent, and paving/grading improvements to the site (see attached plan set for full details of the demolition plan and site improvements). Also, see Figure A-C, generally showing the proposed site changes.

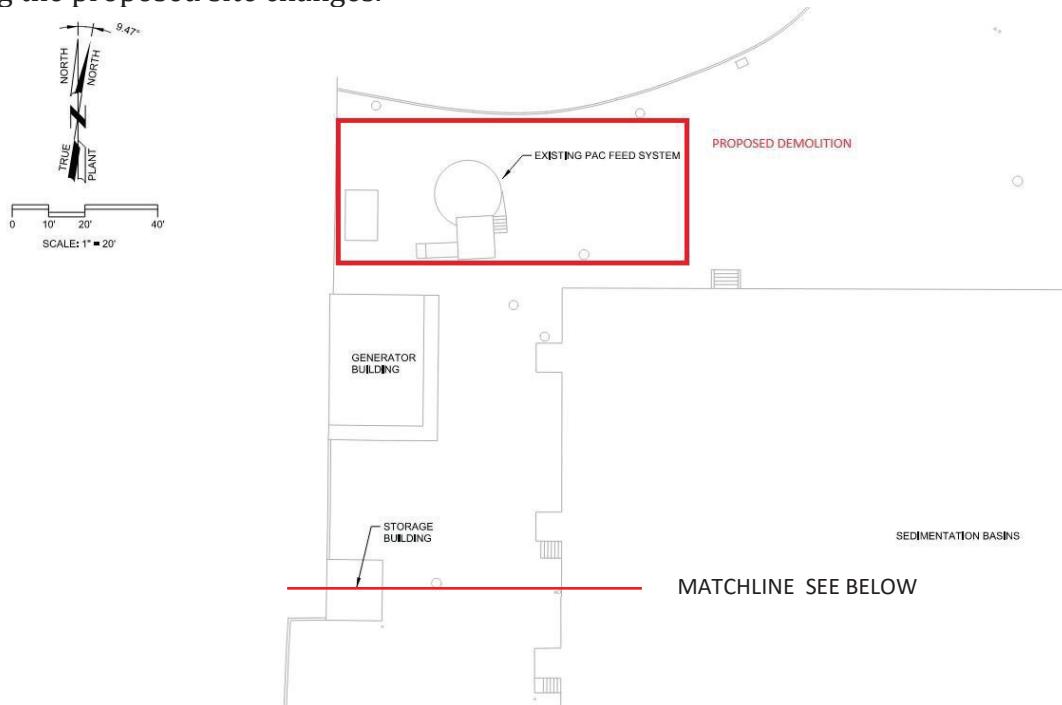


Figure A: Bountiful Weber Basin Water Conservancy District at 38 N Davis Blvd., Proposed Site Plan 2024

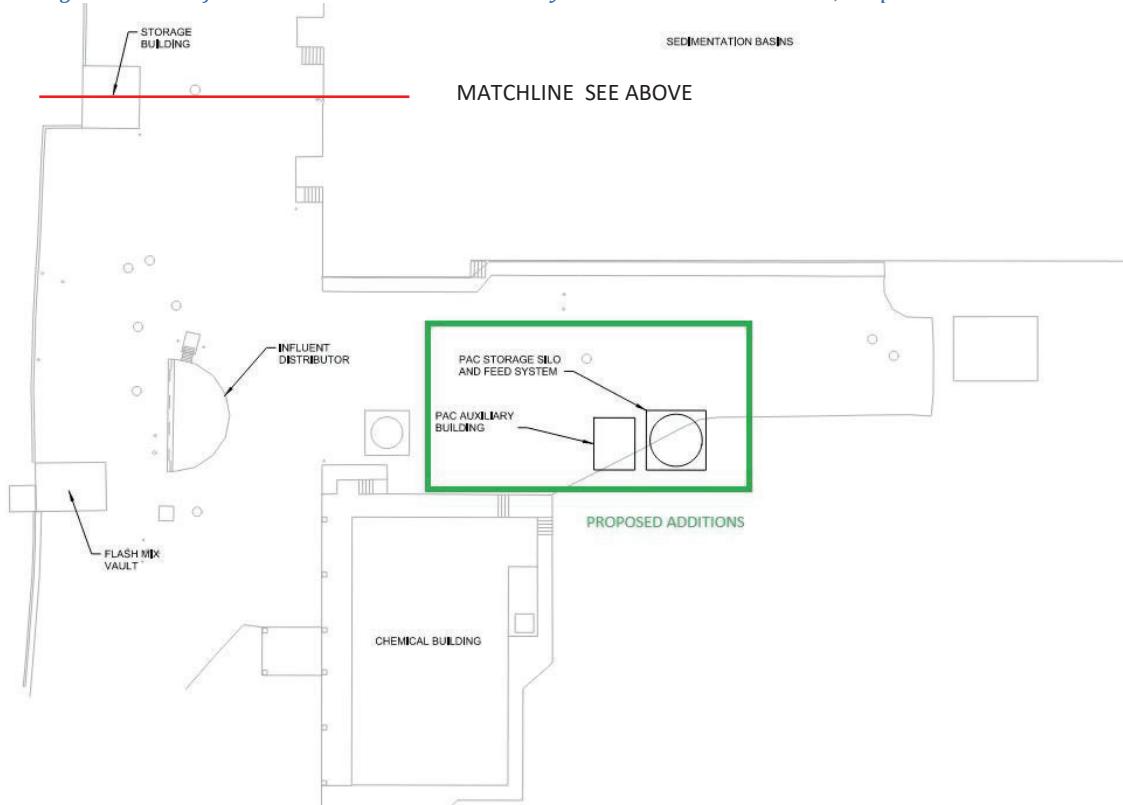


Figure B: Bountiful Weber Basin Water Conservancy District at 38 N Davis Blvd., Site Plan with Changes 2024

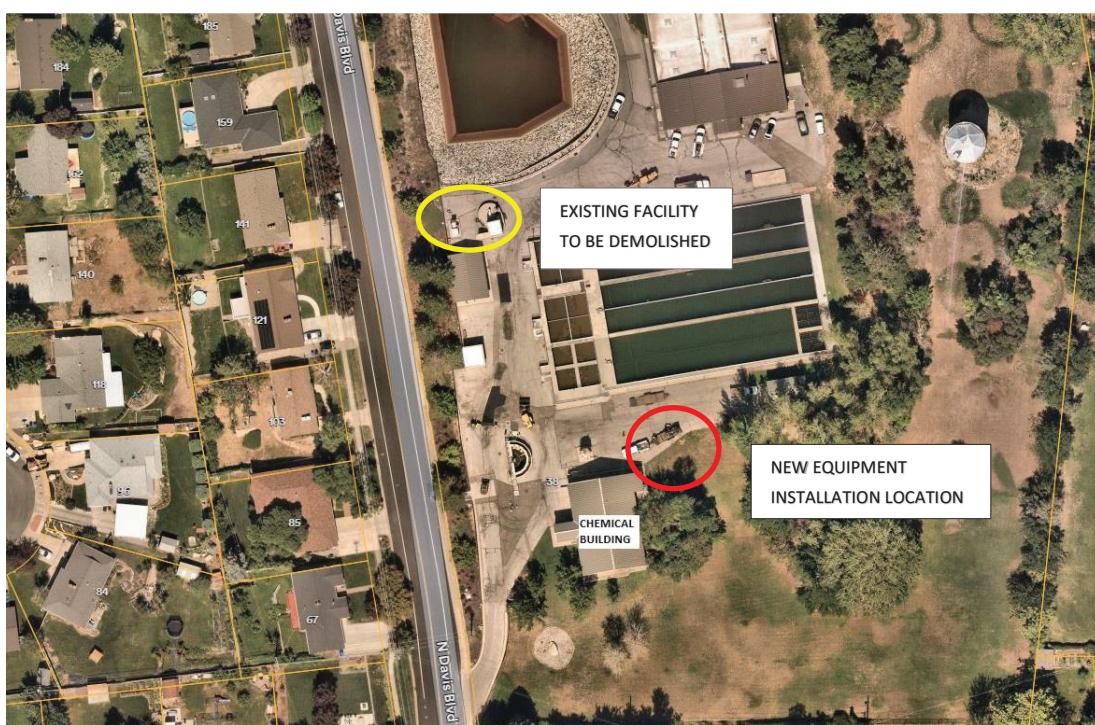


Figure C: Bountiful Weber Basin Water Conservancy District at 38 N Davis Blvd., Nearmap Aerial View Aug 2023, Existing Site Conditions

Analysis

Conditional Use Standards

The Planning Commission shall consider how the proposed addition 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (see Code 14-2-506.C).

The proposed addition would fit in with the surroundings, as there is an already established water treatment facility on the site. The new silo and treatment equipment would serve Bountiful, West Bountiful and North Salt Lake by providing culinary water. The silo structure will be the same design, color, and materials as the silo structure at the Layton Weber Basin Water Conservancy District, as shown below in Image 1. The silo structure would fit in as much as physically possible with neutral colors and simple design. The proposed new location would also sit back further away from the street behind an existing chemical building and would not be visible from the street, as shown in Image 2 below. The small structure proposed to sit adjacent to the silo, to house the supporting system, would also be behind the existing chemical building. Staff recommends the exterior building color match the existing structures on site, being neutral and visually blend in as much as possible.

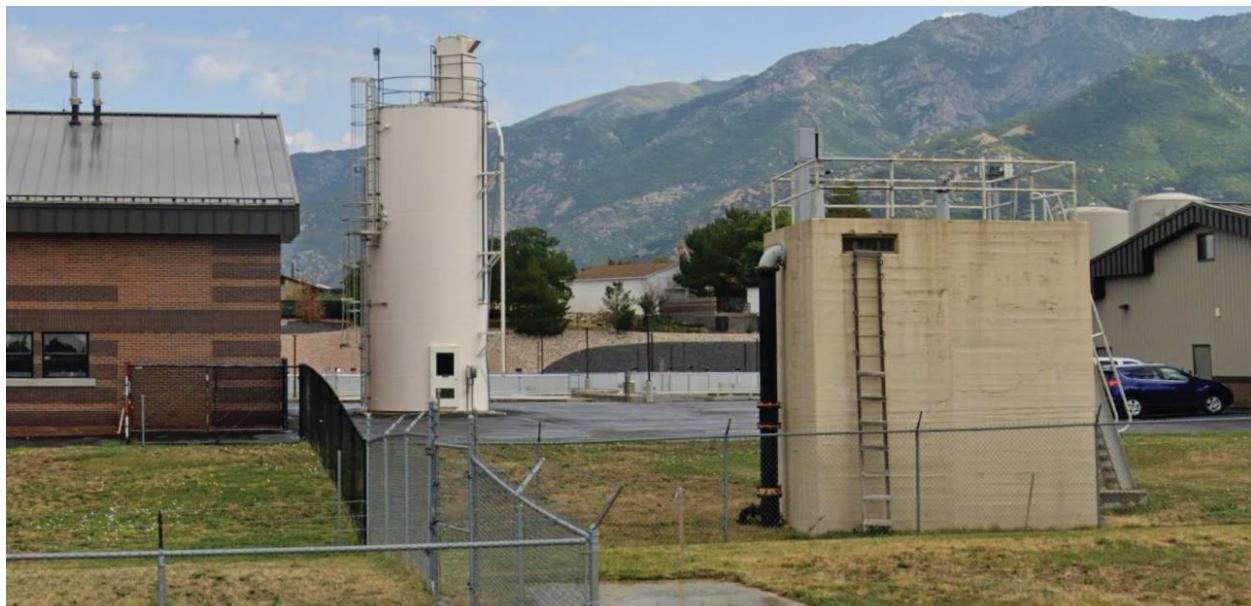


Image 1: [Layton Weber Basin Water Conservancy District, Google Street View August 2023, Existing Silo](#)



Image 2: [Bountiful Weber Basin Water Conservancy District at 38 N Davis Blvd., Google Street View 2022](#)

The applicant stated for the conditional use, to mitigate any potential conflicts with surrounding properties, work to be performed will be during reasonable business hours (8 AM to 5 PM). The potential visual negative impacts associated with the proposed additions would be mitigated with exterior building colors and placement, and no additional site lighting is proposed with the changes. According to Weber Basin Water Conservancy District, the silo will have minimal noise disruption to the neighborhood, as the equipment being used is stored inside the structure.

Occasionally, the silo will be serviced with a Powdered Activated Carbon (PAC), which removes odors and odd tastes found in the water, usually around springtime. This chemical is transferred from a delivery truck to the silo equipment, which makes a blowing type sound. This would happen during regular business hours, which mitigates the noise mitigation associated with the use.

Architectural and Site Plan Review

The Planning Commission shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

- 1. To determine compliance with the Land Use Code*
- 2. To promote the orderly and safe development of land in the City*
- 3. To implement the policies and goals established in the Bountiful City General Plan*
- 4. To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.*

The architectural and site plans have been reviewed by staff, where setbacks, height, landscaping, screening, parking, loading, lighting, and all other applicable standards are reviewed for compliance. The plans for the proposed silo and ancillary equipment meet department review comments. Staff recommends as a condition of approval; the applicant obtain necessary building permits for demolition and construction to accommodate the proposed changes.

Department Review

This staff report was written by the Senior Planner and was reviewed by the City Engineer, City Attorney, and Planning Director.

Significant Impacts

There are minimal impacts of this proposed development on the property and surrounding uses, as it is an upgrade of the existing land use. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

Recommendation

Conditional Use Permit: Staff recommends that the Planning Commission hold a public hearing and approve the Conditional Use Permit (CUP) for a new silo addition at 38 North Davis Boulevard, subject to Preliminary/Final Architectural and Site Plan approval by the City Council and complying with all department staff review comments.

Preliminary/Final Architectural and Site Plan: Staff recommends that the Planning Commission review the Preliminary/Final Architectural and Site Plan application for a new silo addition and site changes, and forward a positive recommendation to the City Council to approve, subject to:

1. Meeting all department staff review comments.
2. Obtain necessary building permits.

Note: Final approval and building permits will be granted when all conditions are met and satisfied.

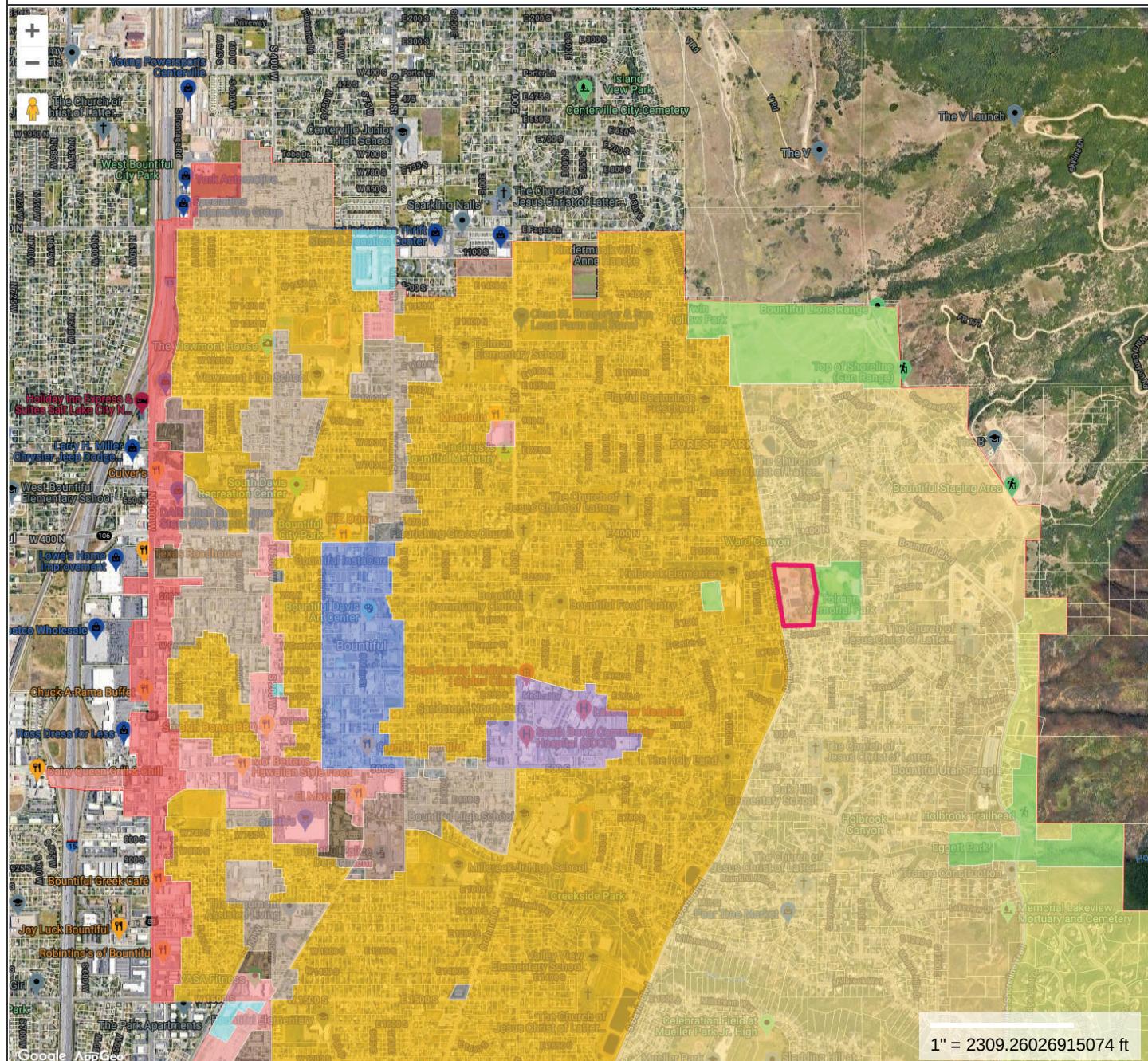
Attachments

1. Statement of Intent
2. Vicinity Map
3. Design Plan Set
4. Boundary Survey
5. Updated Plans

Statement of Intent:

Weber Basin Water Conservancy District (WBWCD/District) owns and operates a water treatment plant located at 38 N Davis Blvd, Bountiful, Utah 84010. To better serve the residents of Bountiful City and provide the highest quality culinary water, the District routinely upgrades its existing infrastructure to better and more improved infrastructure. The District intends on replacing its existing powder activated carbon (PAC) feed building which is used to store dry carbon powder to be mixed and fed manually into our PAC generator building to be used as a treatment process for receiving influent water with a PAC silo which will store and automatically feed PAC into our treatment process. This upgrade includes demolition of the existing PAC storage feed system building and feed equipment, piping modifications to the raw water and return wash water line upstream of the influent distributor, and paving and grading improvements to the site.

Vicinity Map - 38 N Davis Boulevard for a New Silo at the Weber Basin Water Conservancy District



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Bountiful, Utah makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

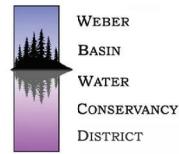
Print map scale is approximate.
Critical layout or measurement activities should not be done using this resource.

Map Theme Legends

Zoning

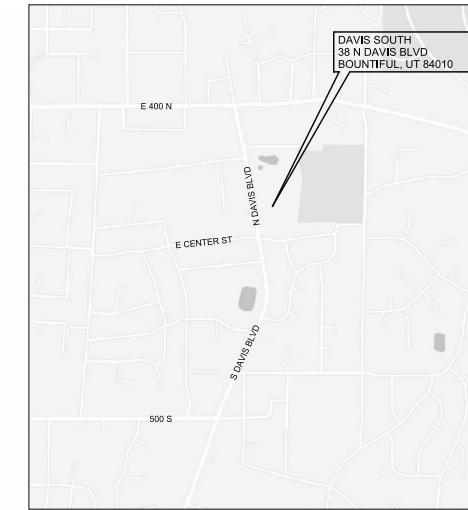
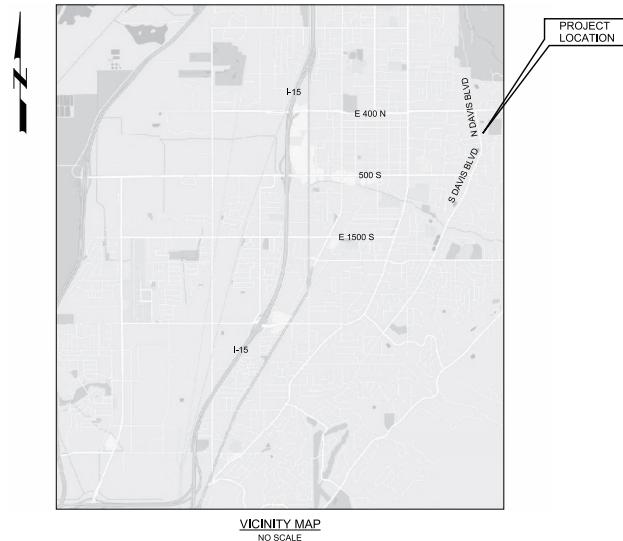
- OS
- C-N
- C-H
- C-G
- DN
- H
- MXD
- PO
- PO-N
- R-F
- R-1
- R-3
- R-4
- RM-7
- RM-13
- RM-19
- RM-25

1 2 3 4 5 6 7 8 9 10 11 12 13



WEBER BASIN WATER CONSERVANCY DISTRICT
**DAVIS SOUTH WATER TREATMENT PLANT
 PAC FEED PROJECT**

FINAL BID SET
 FEBRUARY 2022
 VOLUME 2 OF 2

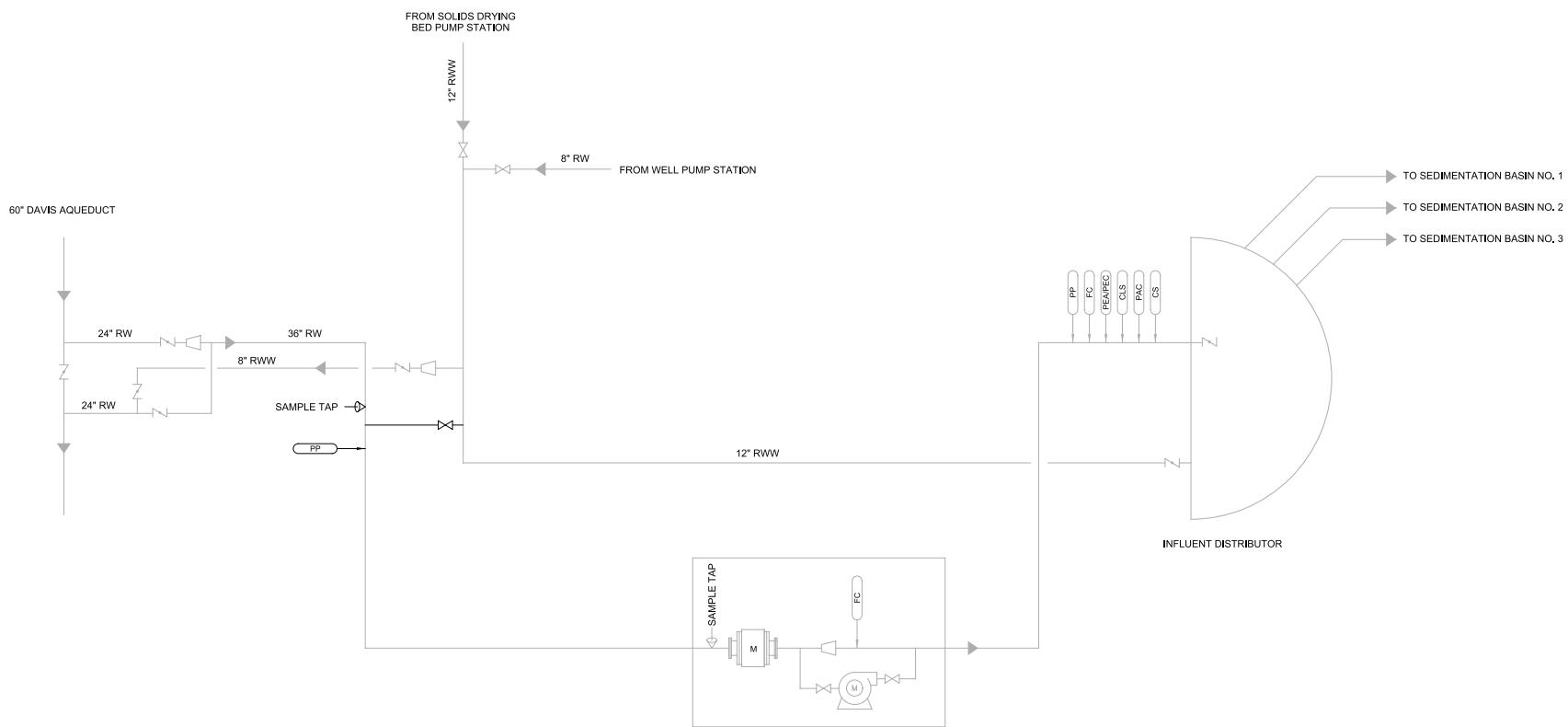


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SHEET NO.	DRAWING NO.	DESCRIPTION
(G) - GENERAL		
1 G01 COVER SHEET		
2 G02	DRAWING INDEX, DESIGN CRITERIA, AND PIPE SCHEDULE	
3 G03	GENERAL NOTES, LEGENDS AND SYMBOLS	
4 G04	GENERAL ABBREVIATIONS	
5 G05	RAW WATER PROCESS FLOW DIAGRAM	
6 G06	OVERALL SITE PLAN	
(D) - DEMOLITION		
7 D01	SITE PLAN	
8 D02	PHOTOS	
9 D03	DETAILS	
(C) - CIVIL		
10 C01	GRADING AND PAVING PLAN	
11 C02	YARD PIPING PLAN	
12 C03	ASPHALT REPLACEMENT AND STORMWATER UPGRADES BID ALTERNATE	
(S) - STRUCTURAL		
13 GS01	GENERAL STRUCTURAL NOTES	
14 S01	PAC SILO AND SUPPORT BUILDING FOUNDATION PLAN	
15 S02	PAC SILO AND SUPPORT BUILDING FOUNDATION SECTION	
(M) - MECHANICAL		
16 GM01	GENERAL MECHANICAL LEGEND AND SYMBOLS	
17 M01	PAC FEED SYSTEM PLANS AND SECTION	
18 M02	EXISTING CHEMICAL BUILDING MODIFICATIONS PLAN	
19 M03	EXISTING CHEMICAL BUILDING MODIFICATIONS DETAILS	
20 M04	EXISTING FLASH MIX TANK MODIFICATIONS PLAN AND DETAILS	
(E) - ELECTRICAL		
21 GE01	ELECTRICAL LEGEND	
22 GE02	ELECTRICAL ABBREVIATIONS	
23 E01	OVERALL SITE PLAN	
24 E02	DUCT BANK SECTION	
25 E03	PARTIAL ONE-LINE DIAGRAM	
26 E04	PAC SILO POWER AND CONTROL PLANS	
27 E05	PAC AUXILIARY BUILDING POWER, CONTROL AND GROUNDING PLAN	
28 E06	CHEMICAL BUILDING LOWER LEVEL POWER AND CONTROL PLAN	
29 E07	CHEMICAL BUILDING UPPER LEVEL POWER AND CONTROL PLAN	
30 E08	SECURITY SYSTEM RISER DIAGRAM	
(IN) - INSTRUMENTATION		
31 GN01	SYMBOLS AND ABBREVIATIONS 1	
32 GN02	SYMBOLS AND ABBREVIATIONS 2	
33 GN03	SYMBOLS AND ABBREVIATIONS 3	
34 GN04	SYMBOLS AND ABBREVIATIONS 4	
35 GN05	SAMPLE LOOP DRAWING	
36 GN06	PAC SYSTEM NETWORK CONNECTION DIAGRAM	
37 N01	PAC STORAGE AND FEED SYSTEM P&ID 1	
38 N02	PAC STORAGE AND FEED SYSTEM P&ID 2	
39 N03	PAC STORAGE AND FEED SYSTEM P&ID 3	
(D) - TYPICAL DETAILS		
40 TC01	CIVIL	
41 TE01	ELECTRICAL 1	
42 TE02	ELECTRICAL 2	
43 TE03	ELECTRICAL 3	
44 TP01	PIPING	
45 TS01	STRUCTURAL 1	
46 TS02	STRUCTURAL 2	

DESIGNED BY DRAWN MM CHECKED CRJ DATE FEBRUARY 2023	REGISTERED PROFESSIONAL ENGINEER No. 10294475202 BRADLEY R. BULWELL STATE OF UTAH	carollo	WE伯R BASIN WATER CONSERVANCY DISTRICT	WEBER BASIN CONSERVANCY DISTRICT DAVIS SOUTH WTP PAC FEED PROJECT GENERAL DRAWING INDEX, DESIGN CRITERIA AND PIPE SCHEDULE	VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0  1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	JOB NO. 201237 DRAWING NO. G02 SHEET NO. 2 OF 48
REV DATE BY	DESCRIPTION	1 2 3 4 5 6 7 8 9 10 11 12 13				

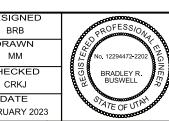
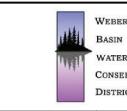
1	2	3	4	5	6	7	8	9	10	11	12	13
GENERAL NOTES			LINE WORK			DETAIL REFERENCES			HATCH PATTERNS			
1. FOLLOWING NOTES ARE GENERAL AND APPLY TO ALL SHEETS OF THESE CONTRACT DOCUMENTS AS IF THEY WERE WRITTEN IN THEIR ENTIRETY ON EACH SHEET.			CONSTRUCTION			VIEW DESCRIPTION, AS NECESSARY			AGGREGATE BASE COURSE (ABC)			
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCRENCES. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS INCLUDING LOCATION AND DIMENSIONS OF ALL EXISTING CONSTRUCTION AND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE IS A CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONSTRUCTION BEFORE PROCEEDING WITH WORK.			FENCE			VIEW DESCRIPTION			GRAVEL			
3. UNLESS DETAILED, SPECIFIED, OR OTHERWISE INDICATED ON THE DRAWINGS, CONSTRUCTION SHALL BE IN THE APPROPRIATE TYPICAL DETAILS AND GENERAL NOTES. TYPICAL DETAILS SHALL APPLY EVEN THOUGH NOT REFERENCED AT SPECIFIC LOCATIONS ON DRAWINGS.			UTILIDUCT			PLAN			ALUMINUM			
4. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF WORK, DETAILS SHALL BE IN THE SAME AS FOR OTHER SIMILAR WORK.			GUARDRAIL			FILE: FILE PLAN NOT REFERENCED			GRATING			
5. CONTRACTOR SHALL COMPLY WITH LOCAL CONSTRUCTION STORM WATER DISCHARGE REGULATIONS AND REQUIREMENTS.			FUTURE CONSTRUCTION			SECTION CUT			ASPHALT PAVING			
6. PRIOR TO EXCAVATION FOR NEW STRUCTURES, ELECTRICAL CONDUIT, FABRICATION OF NEW PIPING (DODOR/OTHER) AND UTILITY LINES, CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE LOCATION OF ALL EXISTING PIPING AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL TEMPORARILY RELOCATE CONFLICTING EXISTING UTILITIES AT TIE-IN/CONNECTION LOCATIONS AND REINSTATE THEM AS REQUIRED TO ELIMINATE THE CONFLICT AT NO ADDITIONAL COST TO THE OWNER.			HIDDEN LINE			C			LANDSCAPING			
7. PIPELINES 12" AND LARGER SHALL HAVE A MINIMUM COVER OF 30" UNLESS THE COVER DEPTH IS SPECIFICALLY INDICATED ON THE DRAWINGS. PIPE SMALLER THAN 12" SHALL HAVE A MINIMUM COVER OF 30" UNLESS NOTED OTHERWISE. PIPES SHALL BE ROUTED AS SHOWN UNLESS MINOR REVISIONS ARE NECESSARY TO MISS EXISTING PIPES, STRUCTURES, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL FITTINGS AND ADAPTERS REQUIRED TO MAKE THE ROUTING CHANGES AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL INCLUDE COST FOR THIS IN THE BID.			REMOVE AND/OR ABANDON			SECTION/DETAIL			BEDROCK			
8. EXISTING FACILITY UTILITIES AND TIES TO EXISTING UTILITIES THAT WERE OBTAINED FROM THE OWNER'S RECORDS OR ELECTRONIC RECORDS, WHETHER THE OWNER ENDS UP ASSUMING ANY RESPONSIBILITY FOR FACILITIES AND UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN, THE CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, SIZES, MATERIAL TYPES, AND ELEVATIONS SHOWN AROUND OR NEAR AREAS OF NEW CONSTRUCTION PRIOR TO START OF CONSTRUCTION.			GATE			SECTION OR DETAIL VIEW TITLE /W REFERENCE			RUBBER			
9. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGE EXISTING UTILITIES AND UTILITIES SHOWN OR NOT SHOWN THAT ARE TO REMAIN IN PLACE. PLANT UTILITIES AND UTILITIES RELATED TO PLANT OPERATIONS SHALL BE EXPEDITIOUSLY REPAIRED OR RECONSTRUCTED TO THE ORIGINAL, OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE WITHOUT ADDITIONAL COMPENSATION.			MATCH LINE			ALPHA = SECTION NUMERIC = DETAIL DESCRIPTION			BRICK OR BLOCK			
10. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING PIPE, EQUIPMENT, ETC. AS REQUIRED AND SHALL PROVIDE ALL FITTINGS, ADAPTERS, AND APPURTENCES REQUIRED TO MAKE THE CONNECTIONS. PROVIDE ALL SUPPORTS FOR A RIGIDLY SUPPORTED COMPLETE AND WORKING SYSTEM.			MATCH LINE SEE DWG #XX#			VIEW DESCRIPTION, AS NECESSARY			SAND OR GROUT			
11. ADJUST ALL VALVE BOXES, VAULTS, PULL BOXES, AND MANHOLES TO FINISHED GRADE UNLESS OTHERWISE SHOWN OR DIRECTED. MANHOLES IN OPEN FIELDS SHALL BE SET TWELVE INCHES ABOVE FINISHED GRADE AND VAULTS SHALL BE SIX INCHES ABOVE FINISHED GRADE.			SYMBOLS			PLAN/VIEW TITLE			BROWNE, BRASS, OR COPPER			
12. THE CONTRACTOR SHALL CONTACT THE PROPER UTILITY REPRESENTATIVE AS FOLLOWS FOR QUESTIONS OR COORDINATION OF CONSTRUCTION RELATED TO EXISTING UTILITIES.			BRACKET			SECTION CUT			EXISTING UNDISTURBED SOIL			
13. CONTRACTOR SHALL VERIFY THAT PIPING SHOWN TO BE ABANDONED OR AS ABANDONED PREVIOUSLY IS NO LONGER IN PLACE OR REMOVED MAY NOT BE SHOWN. WHERE PIPING IS TO BE ABANDONED AND MUST REMAIN IN SERVICE UNTIL COMPLETION OF OTHER PHASES OF WORK, AND IT CONFLICTS WITH NEW PIPING, TEMPORARILY RELOCATE PIPING AS REQUIRED TO MAINTAIN SERVICE BY THE PLANT.			BREAK LINE			SECTION OR DETAIL VIEW TITLE /W REFERENCE			CAST IRON OR FIBERGLASS			
14. ALL EXISTING PIPES THAT ARE TO BE ABANDONED IN PLACE OR REMOVED MAY NOT BE SHOWN. WHERE PIPING IS TO BE ABANDONED AND MUST REMAIN IN SERVICE UNTIL COMPLETION OF OTHER PHASES OF WORK, AND IT CONFLICTS WITH NEW PIPING, TEMPORARILY RELOCATE PIPING AS REQUIRED TO MAINTAIN SERVICE BY THE PLANT.			PIPE BREAK PLAN VIEW			C			STRUCTURAL FILL OR BACKFILL			
15. CONTRACTOR SHALL REMOVE ALL EXISTING PIPING IF REQUIRED TO MISS THE PROPOSED STRUCTURES. PIPING SHALL REMAIN IN SERVICE UNTIL NEW PIPING IS READY TO BE PLACED INTO SERVICE. DOWNTIME SHALL BE A MAXIMUM OF 2 HOURS UNLESS SPECIFIED OR SHOWN OTHERWISE.			PIPE BREAK CROSS SECTION			T.O.W. XXXXX-X ₄ (EAST)			CLSM			
16. ALL SIDEWALKS TO BE 3'0" WIDE UNLESS SHOWN OTHERWISE.			SCALE			ELEVATION			STEEL			
17. THE CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS IN THE VICINITY OF ANY OVERHEAD ELECTRIC LINES. CONTRACTOR SHALL ABIDE BY THE NATIONAL ELECTRIC CODE AND ANY REQUIREMENT BY THE OWNER OF THE ELECTRIC LINES.			NORTH ARROW/PLANT NORTH			TOC XXXXX-XX			CONCRETE (ALL CLASSES)			
18. PROVIDE ALL SHEETING/SHEARING REQUIRED TO PROTECT EXISTING STRUCTURES, PIPES AND FACILITIES.			EQUIPMENT/DEVICE TAG AND NUMBER			DRAWING REFERENCE			TREAD PLATE			
19. CONTRACTOR SHALL VERIFY LOCATION OF ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL ITEMS BEFORE PLACING ANY STRUCTURAL STEEL OR CONCRETE. ALSO, STRUCTURAL DIMENSIONS AND OPENINGS CONTROLLED BY ARCHITECTURAL, MECHANICAL, OR ELECTRICAL EQUIPMENT SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.			EX-EQUIP = EXISTING EQUIPMENT EF-EQUIP = FUTURE EQUIPMENT			DRAWING NUMBER			DRAIN ROCK			
20. MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, ANCHORAGES, OPENINGS, RECESSES, AND REVEALS NOT SHOWN ON THE STRUCTURAL DRAWINGS, THAT ARE REQUIRED BY OTHER CONTRACT DRAWINGS, SHALL BE PROVIDED PRIOR TO CASTING CONCRETE.			PIPE TAG			TYPICAL DETAIL REFERENCE			WOOD			
			PIPE SIZE			TYPICAL DETAIL #			MISCELLANEOUS			
			SIZE FLOW STREAM EX-SIZE FLOW STREAM = EXISTING EF-SIZE FLOW STREAM = FUTURE			TYP #						
			UNDER GROUND OVERHEAD WARNING (STATE/REGION SPECIFIC)			SEE INDICATED DRAWING						
			811 Know what's below. Call before you dig.			SEE INDICATED DRAWING						
			Call before you OVERHEAD Replace with Regional Phone Number			GRID BUBBLE						
			Avoid overhead power line contact. It's costly.			TYP MOD LINE 3 LINE 1 LINE 2 SHT # OF # SHEETS IN DETAIL VER DATE DATE CREATED (REVISED)						
			carollo			GENERAL NOTES, LEGEND, AND SYMBOLS						
			DESIGNED CE DRAWN CE CHECKED CRJ DATE FEBRUARY 2023			WEBB BASIN WATER CONSERVANCY DISTRICT			VERIFY SCALES			
			REGISTERED PROFESSIONAL ENGINEER No. 10294475202 BRADLEY R. BUSHWELL STATE OF UTAH			GENERAL			JOB NO. 201237 DRAWING NO. G03 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY			
			DESCRIPTION			LAST SAVED BY: rmcneal			SHEET NO. 3 OF 46			
			1			FILE NAME: 20123700G03.dgn						

**CHEMICAL ABBREVIATIONS:**

PP	POTASSIUM PERMANGANATE
FC	PIRELLAR COAGULANT
PEA/PEC	POLYMER
CLS	CHLORINE SOLUTION
PAC	POWDERED ACTIVATED CARBON
CS	CAUSTIC SODA

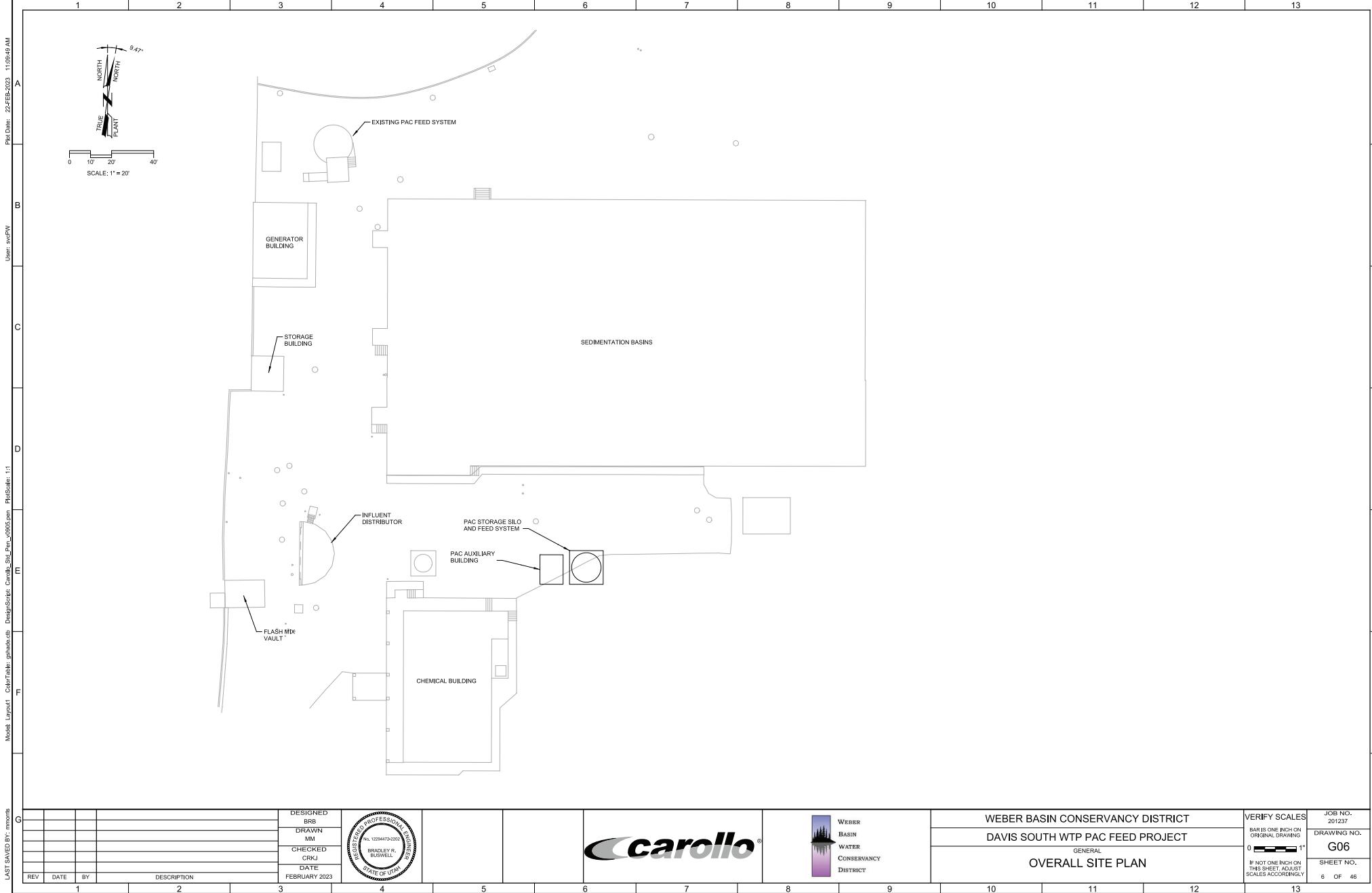
PIPE ABBREVIATIONS:

RW	RAW WATER
RWW	RETURN WASH WATER

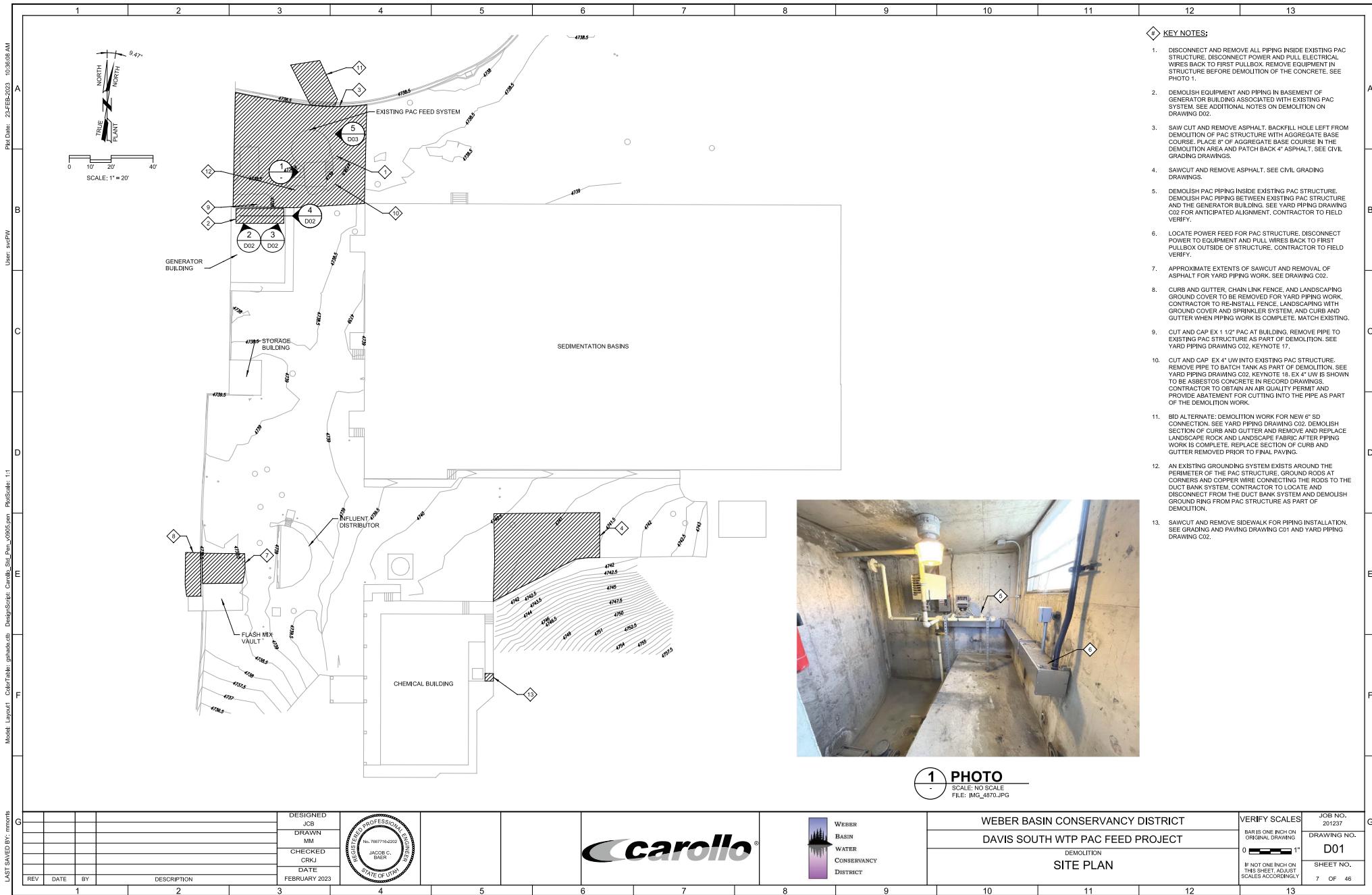



WEBER BASIN CONSERVANCY DISTRICT
DAVIS SOUTH WTP PAC FEED PROJECT
GENERAL
RAW WATER PROCESS FLOW DIAGRAM

JOB NO. 201237
DRAWING NO. G05
SHEET NO. 5 OF 48
VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



PROJECT NO. 201237-100000 FILE NAME: 20123700G06.dgn



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<img alt="Photograph 138: A view of a junction box or electrical panel mounted on a wall. A black hatched area highlights the												

1 2 3 4 5 6 7 8 9 10 11 12 13

Pre Date: 22-FEB-2020 1:33:39 AM

User: aepw

Model: Layout_CarbTanks.dwg Site Plan: A005.dwg BkScale: 1:1

LAST SAVED BY: aepw

DESIGNED JCB
DRAWN MM
CHECKED KMP
DATE FEBRUARY 2023

REV DATE BY DESCRIPTION

1 2 3 4 5 6 7 8 9 10 11 12 13

REGISTERED PROFESSIONAL ENGINEER
No. 7687116-2023
JACOB C.
BAER
STATE OF UTAH

carollo

WEBER
BASIN
WATER
CONSERVANCY
DISTRICT

WEBER BASIN CONSERVANCY DISTRICT
DAVIS SOUTH WTP PAC FEED PROJECT
DEMOLITION
DETAILS

VERIFY SCALES
BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY

JOB NO:
201237
DRAWING NO:
D03
SHEET NO:
9 OF 46

A PLAN

B SECTION - CARBON TANK SLURRY MIXER

C KEY NOTES:

1. CONTRACTOR SHALL DEMOLISH EXISTING PAC STRUCTURE, INCLUDING THE CMU STORAGE BUILDING, CONCRETE STAIRS, BASEMENT LEVEL, AND CARBON TANK. CONTRACTOR SHALL DEMOLISH EXISTING PIPING, INCLUDING MUNICIPAL, ELECTRICAL AND MECHANICAL IN THE BASEMENT OF EXISTING PAC STRUCTURE, ALL PIPING WITHIN THE STRUCTURE, AND SOME YARD PIPING. SEE YARD PIPING PLANS.

2. EXISTING STRUCTURE RECORD DRAWINGS ARE SHOWN FOR REFERENCE. CONTRACTOR TO FIELD VERIFY.

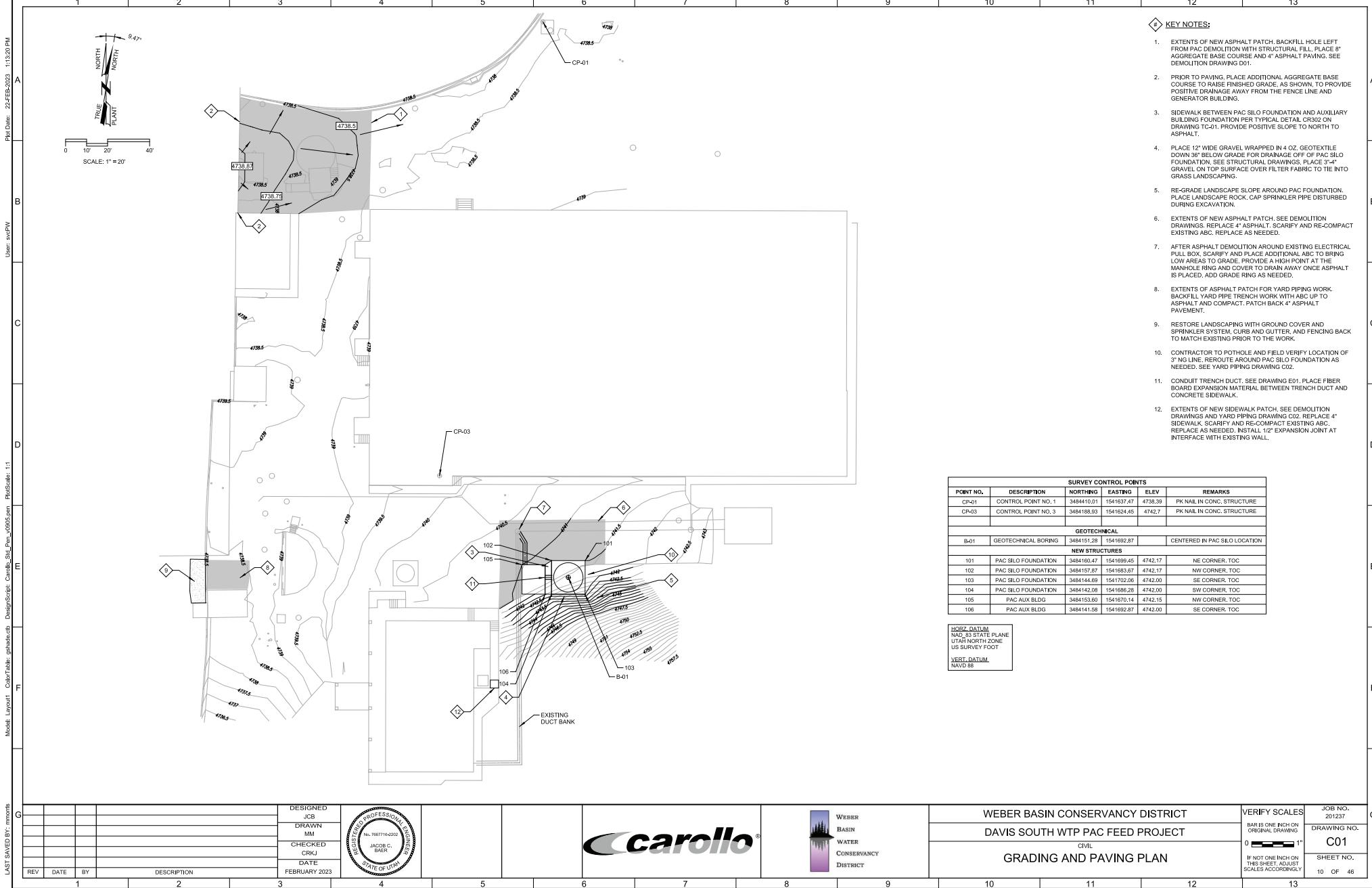
D PHOTO

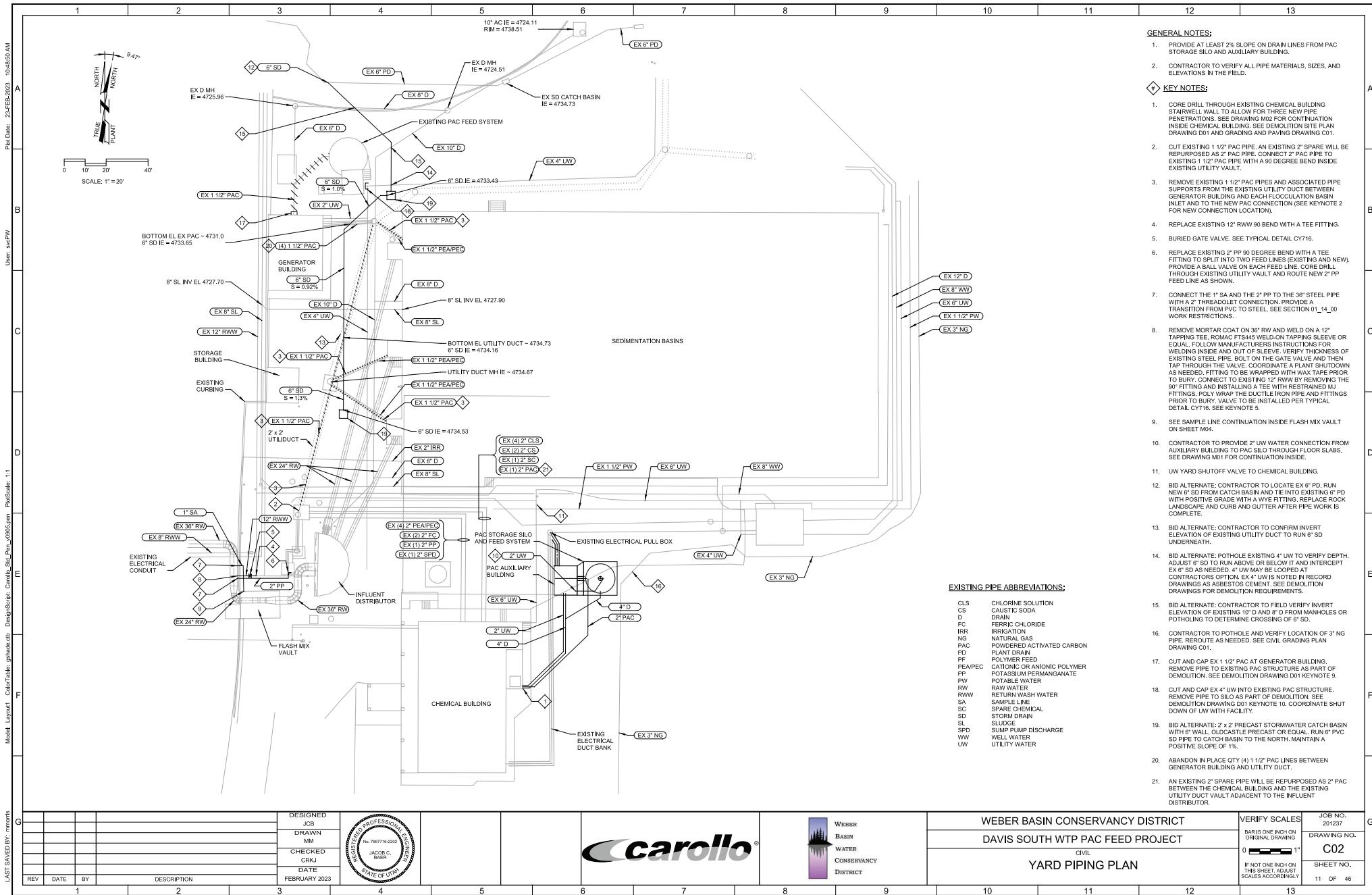
5 PHOTO
D01 SCALE: NO SCALE
FILE: D03_PHOTO 5

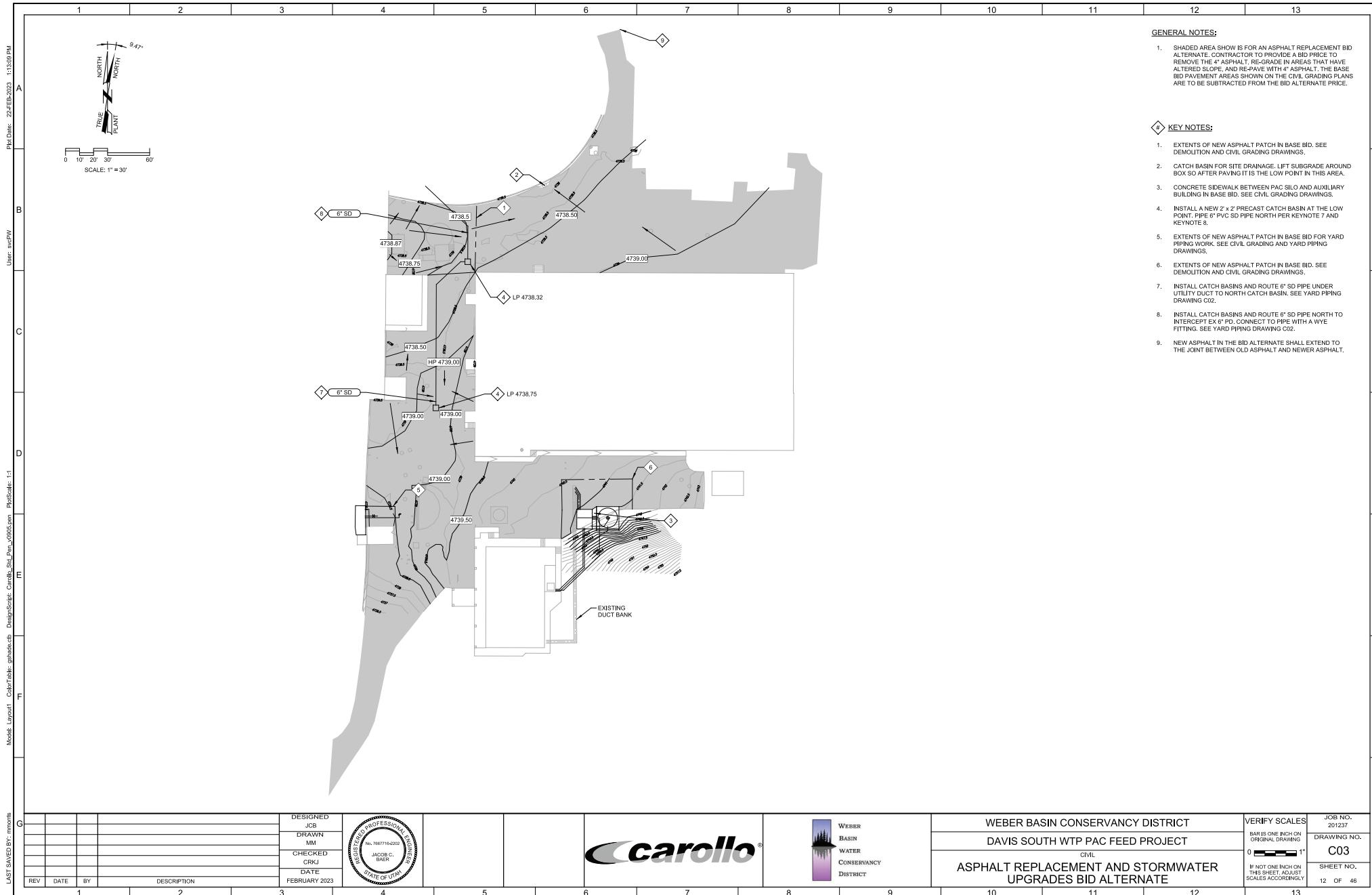
E GENERAL NOTES:

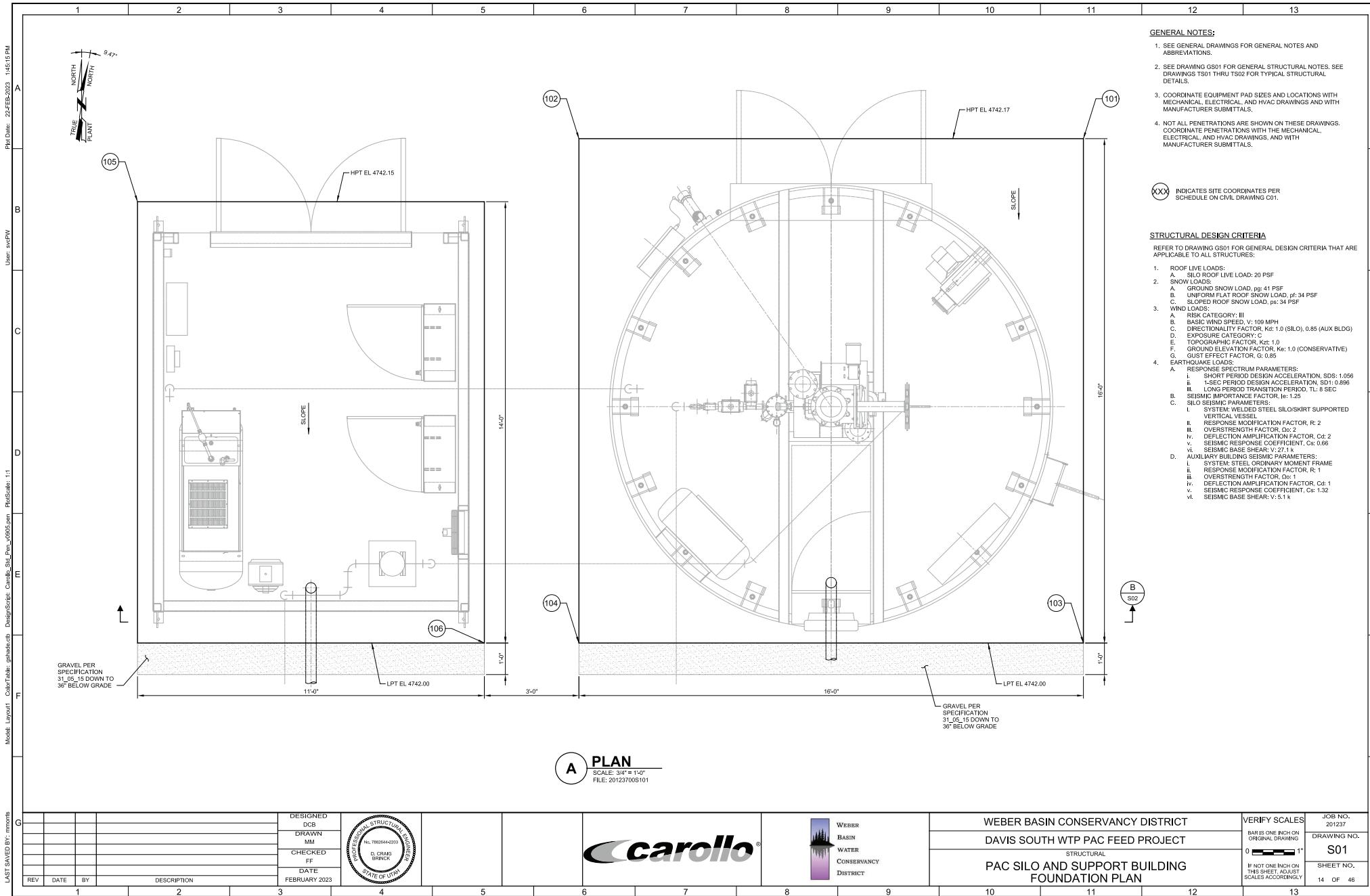
1. CONTRACTOR SHALL TEST THE BLOCK FILL IN THE CMU OVER THE PAC BUILDING FOR HAZARDOUS MATERIALS, INCLUDING ASBESTOS. IF FOUND, OBTAIN AN AIR QUALITY PERMIT FROM THE STATE AND PROVIDE ABATEMENT AS PART OF THE DEMOLITION.

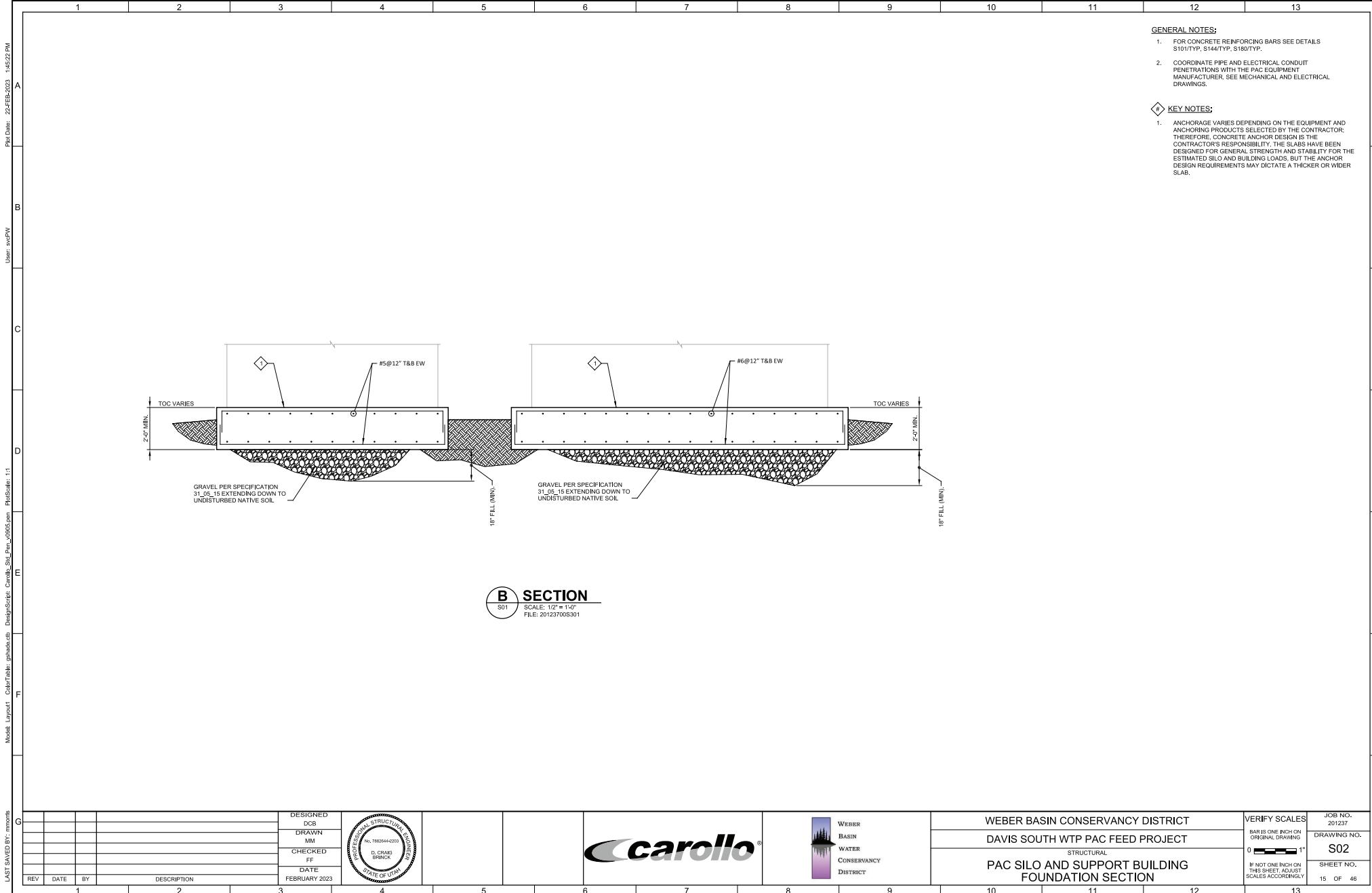
2. DEMOLISH 8" STEEL DRAIN PIPE UP TO EXISTING FLANGE. CONTRACTOR SHALL INSTALL BLIND FLANGE OR OTHERWISE CAP OFF DRAIN PIPE AT EXISTING FLANGE. THE EXISTING 8" ASBESTOS CEMENT PIPE SHALL BE PROTECTED IN PLACE AND SHALL REMAIN IN SERVICE.









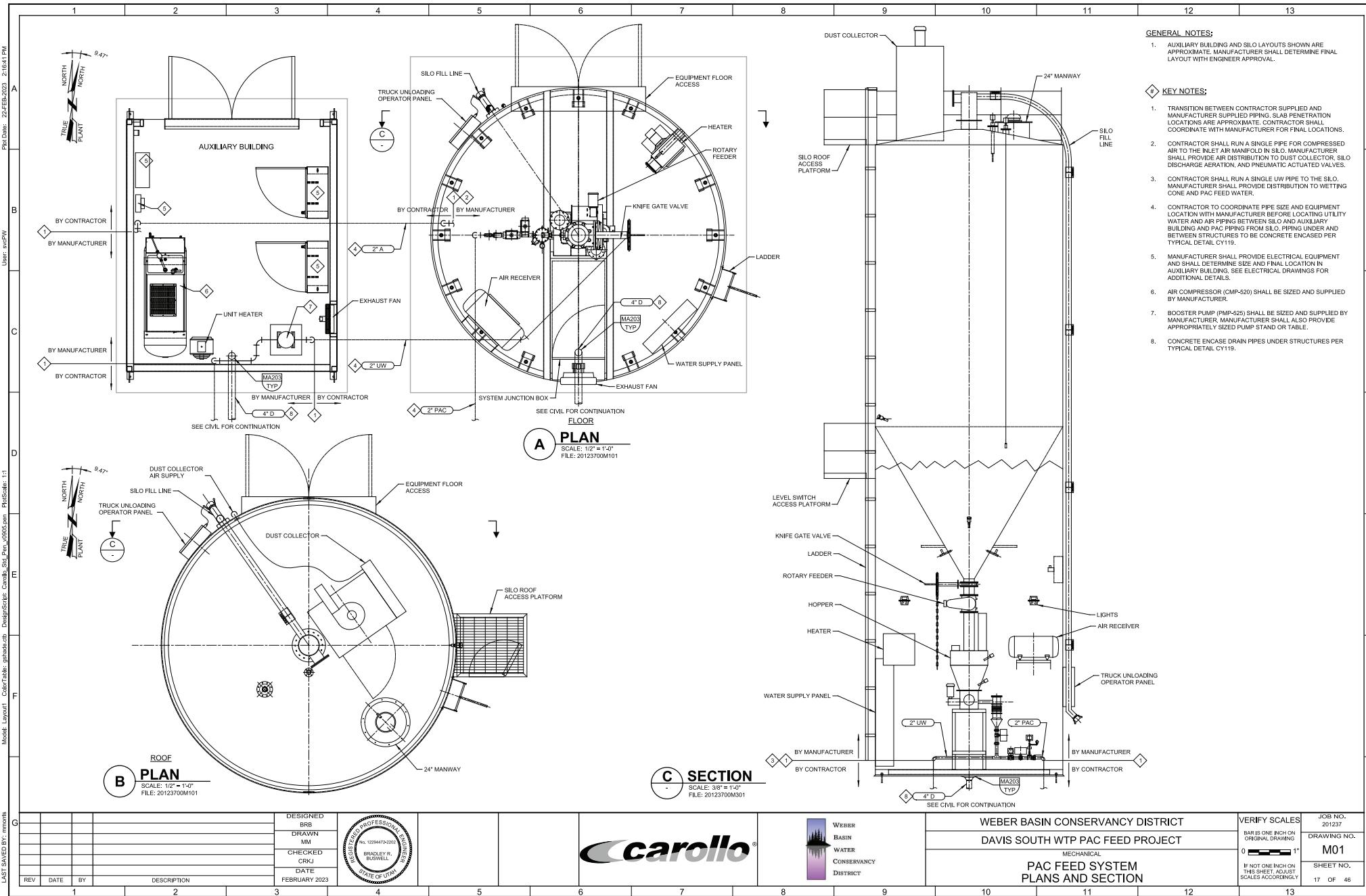


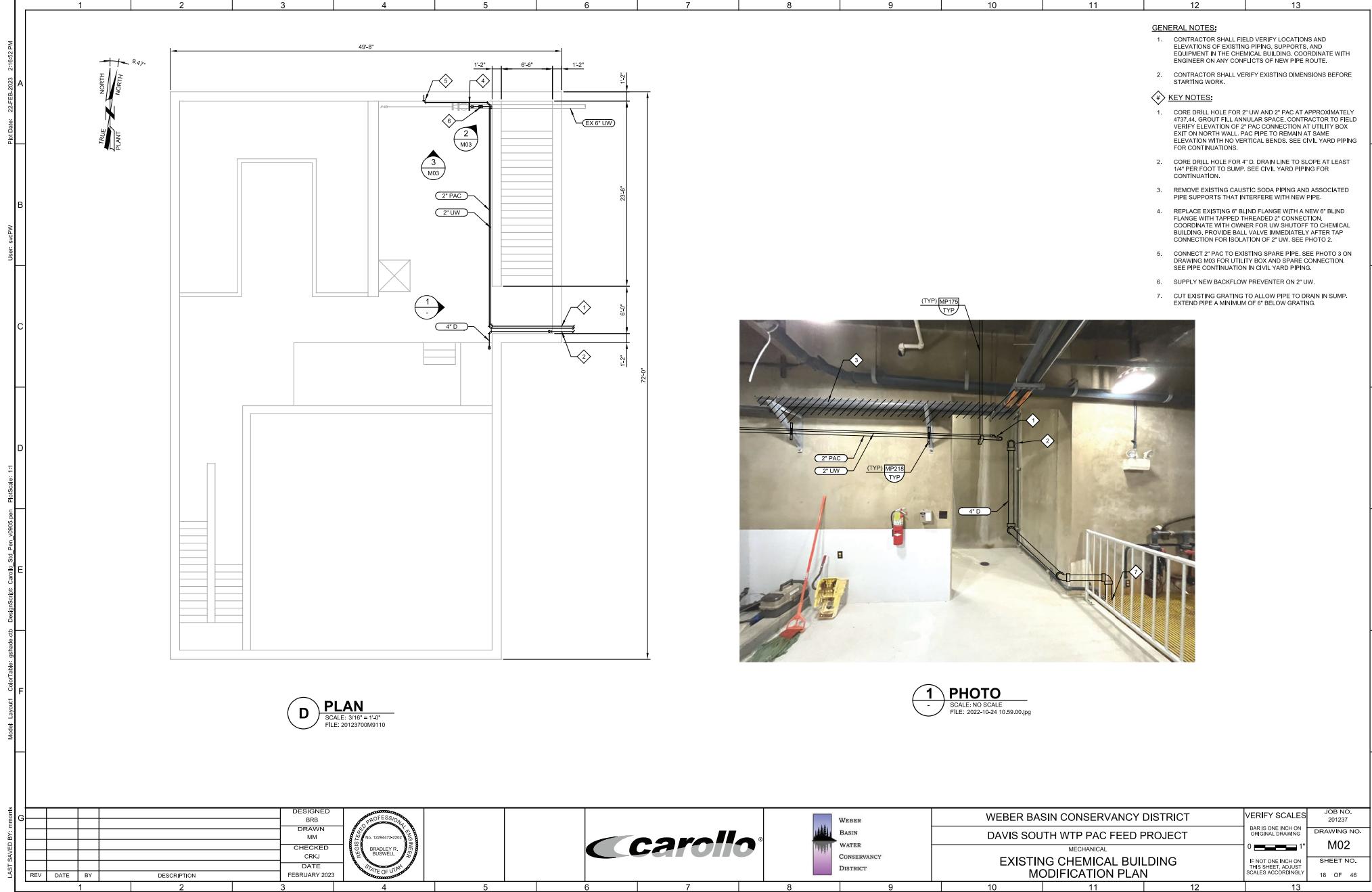
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PIPING SYMBOLS			MECHANICAL SYMBOLS					IDENTIFICATION SYMBOLS				
A												
	DOUBLE LINE	SINGLE LINE	DESCRIPTION	DOUBLE LINE	SINGLE LINE	DESCRIPTION	SINGLE LINE	DESCRIPTION	SINGLE LINE	DESCRIPTION	CHEMICAL INJECTION POINT	
			WELDED JOINT			GATE VALVE		PRIMARY LEVEL ELEMENT: RADAR		STRAINER: WYE TYPE WITH BLOWOFF		
			GROOVED END JOINT			KNIFE GATE VALVE		PRIMARY LEVEL ELEMENT: HIGH PRESSURE AIR OR FLUSHING		THERMOMETER		
			FLANGED JOINT			BUTTERFLY VALVE		PRIMARY FLOW ELEMENT: FLUME		VALVE: ANGLE		PIPE SIZE
			HUB & SPIGOT JOINT (RUBBER GASKET)			CHARACTERIZED BALL CONTROL VALVE		PRIMARY FLOW ELEMENT: AIR		VALVE: AIR RELIEF		CONTINUATION FROM DWG NO.
			PUSH-ON JOINT (RESTRAINED)			BALL VALVE		PRIMARY FLOW ELEMENT: BASKET		VALVE: CONE		UNIQUE IDENTIFIER
			ADAPTER SIDE GROOVED END ADAPTER FLANGE			GLOBE VALVE		PRIMARY FLOW ELEMENT: BLOWER		VALVE: FLAPPER CHECK		CONTINUATION TO DWG NO.
B						3-WAY VALVE		PRIMARY FLOW ELEMENT: CALIBRATION		VALVE: FOUR WAY		EQUIPMENT / VALVE TAG
			FLANGED COUPLING ADAPTER			3-WAY GLOBE TYPE MIXING VALVE		PRIMARY FLOW ELEMENT: COMPRESSOR/TURBINE		VALVE: HOSE		KEY TAG
			FLEXIBLE COUPLING			4-WAY VALVE		PRIMARY FLOW ELEMENT: COMPRESSOR		VALVE: PLUG CONCENTRIC		
			FLEXIBLE COUPLING WITH THRUST TIES			DIAPHRAGM VALVE		PRIMARY FLOW ELEMENT: DIAPHRAGM SEAL		VALVE: PRESSURE RELIEF		
			METAL BELLOWS EXP JOINT			PLUG VALVE		PRIMARY FLOW ELEMENT: DRAIN		PRESSURE-REDUCING REGULATOR		
			ELASTOMER BELLOWS EXP JOINT			CONCENTRIC PLUG VALVE		PRIMARY FLOW ELEMENT: EJECTOR OR EDUCTOR		VALVE: TELESCOPING		
			FLEXIBLE COUPLING ADAPTER			LUBRICATED CONCENTRIC PLUG VALVE		PRIMARY FLOW ELEMENT: ELECTRIC MOTOR		VALVE: THREE WAY AIR OPERATED		
			DISMANTLING JOINT			SWING CHECK VALVE		PRIMARY FLOW ELEMENT: EQUIPMENT DRAIN		VALVE: THREE WAY MOTOR OPERATED		
			EXPANSION COMPENSATOR			WAFER CHECK VALVE		PRIMARY FLOW ELEMENT: EXPANSION JOINT, FLEXIBLE VIBRATION JOINT		VALVE: THREE WAY SOLENOID OPERATED		
			ELBOW UP			PINCH VALVE		PRIMARY FLOW ELEMENT: FAN		VALVE: VACUUM		
			ELBOW DOWN			BALL CHECK VALVE		PRIMARY FLOW ELEMENT: FILTER		PUMP: PERISTALTIC TUBE METERING		
			TEE UP			DUAL CHECK VALVE		PRIMARY FLOW ELEMENT: FIRE HYDRANT		PUMP: PROGRESSIVE CAVITY		
			TEE DOWN			SILENT CHECK VALVE		PRIMARY FLOW ELEMENT: FLAME ARRESTOR		PUMP: RECIPROCATING		
			LATERAL UP			MUD VALVE (PLAN VIEW)		PRIMARY FLOW ELEMENT: FLAME ARRESTOR WITH THERMALLY OPERATED VALVE		PUMP: ROTARY		
			LATERAL DOWN			NEEDLE VALVE		PRIMARY FLOW ELEMENT: FLOOR DRAIN		PUMP: SCREW		
			CONCENTRIC REDUCER			CHECK BACKFLOW PREVENTER		PRIMARY FLOW ELEMENT: GAUGE-PRESSURE		PUMP: SUBMERSIBLE		
			ECCENTRIC REDUCER (FOT, FOB)			3-WAY PLUG VALVE		PRIMARY FLOW ELEMENT: GAUGE-DIFFERENTIAL PRESSURE		PUMP: VERTICAL LIFT		
			UNION			BALL V-NOTCH VALVE		PRIMARY FLOW ELEMENT: WEIR		PIPE REDUCER: CONCENTRIC		
			CAP			PUMP MATERIAL CHANGE		PRIMARY FLOW ELEMENT: MIXER		PIPE REDUCER: ECCENTRIC (FOT, FOB)		
			ANCHOR			FLOAT VALVE		PRIMARY FLOW ELEMENT: OIL OR MOISTURE TRAP		ROTARY CHEMICAL FEEDER		
			ELBOW, 90 DEGREE			CROSS		PRIMARY FLOW ELEMENT: RUPERTURE DISK		SAMPLE PORT		
			ELBOW, 22.5 DEGREE			TEE		PRIMARY FLOW ELEMENT: SIGHT GLASS		SLIDE GATE		
			ELBOW, 11.25 DEGREE			ELBOW, 45 DEGREE		PRIMARY FLOW ELEMENT: SLUICE GATE		STRAINER: WYE TYPE		
			LATERAL									
G				DESIGNED CE								
				DRAWN CE								
				CHECKED CRKJ								
				DATE FEBRUARY 2023								
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	REV	DATE	BY	DESCRIPTION								



WEBER BASIN CONSERVANCY DISTRICT
DAVIS SOUTH WTP PAC FEED PROJECT
MECHANICAL
MECHANICAL LEGEND AND SYMBOLS

VERIFY SCALES
JOB NO.
201237
DRAWING NO.
GM01
SHEET NO.
16 OF 48





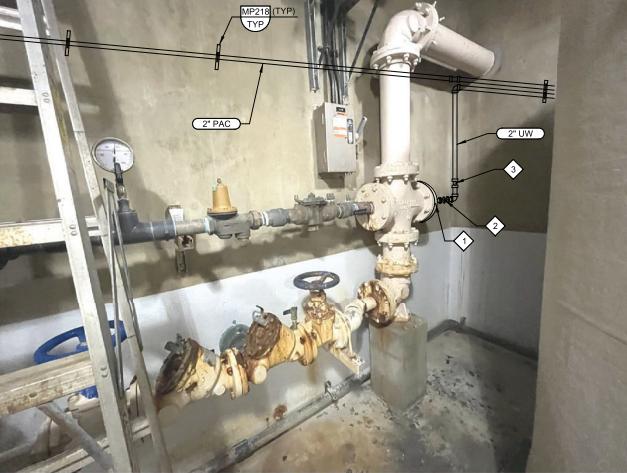
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GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING PIPING SUPPORTS AND EQUIPMENT IN THE CHEMICAL BUILDING. COORDINATE WITH ENGINEER ON ANY CONFLICTS OF NEW PIPE ROUTE.

KEY NOTES:

1. REPLACE EXISTING 6" BLIND FLANGE WITH A NEW 6" BLIND FLANGE WITH TAPPED THREADED 2" CONNECTION. COORDINATE WITH OWNER FOR UW SHUTOFF TO CHEMICAL BUILDING. PROVIDE BALL VALVE IMMEDIATELY AFTER TAP CONNECTION FOR ISOLATION OF 2" UW.
2. SUPPLY NEW BACKFLOW PREVENTER ON 2" UW.
3. 2" BALL VALVE TO ISOLATE BFP.
4. CONNECT 2" PAC TO EXISTING SPARE STUBBED PIPE.



2 PHOTO
M02 SCALE: NO SCALE
FILE: 2022-10-24 10:56.02.jpg



3 PHOTO
M02 SCALE: NO SCALE
FILE: 2022-03-28 11:14.14.jpg

DESIGNED	BRB
DRAWN	MM
CHECKED	CRKJ
DATE	FEBRUARY 2023

REGISTERED PROFESSIONAL ENGINEER
No. 102946752002
BRADLEY R.
BULWELL
STATE OF UTAH

carollo

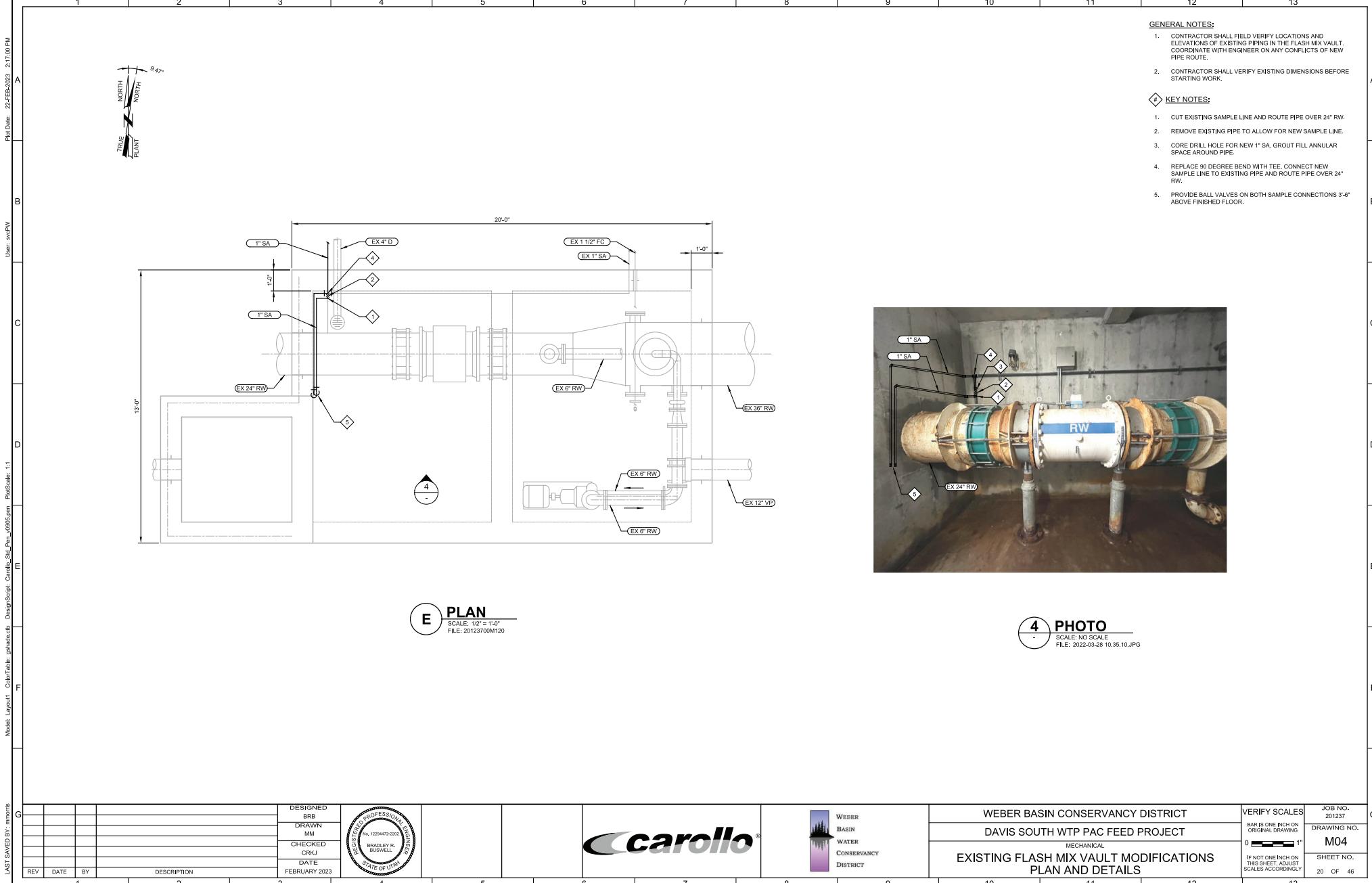


WEBER
BASIN
WATER
CONSERVANCY
DISTRICT

WEBER BASIN CONSERVANCY DISTRICT
DAVIS SOUTH WTP PAC FEED PROJECT
MECHANICAL
EXISTING CHEMICAL BUILDING
MODIFICATION DETAILS

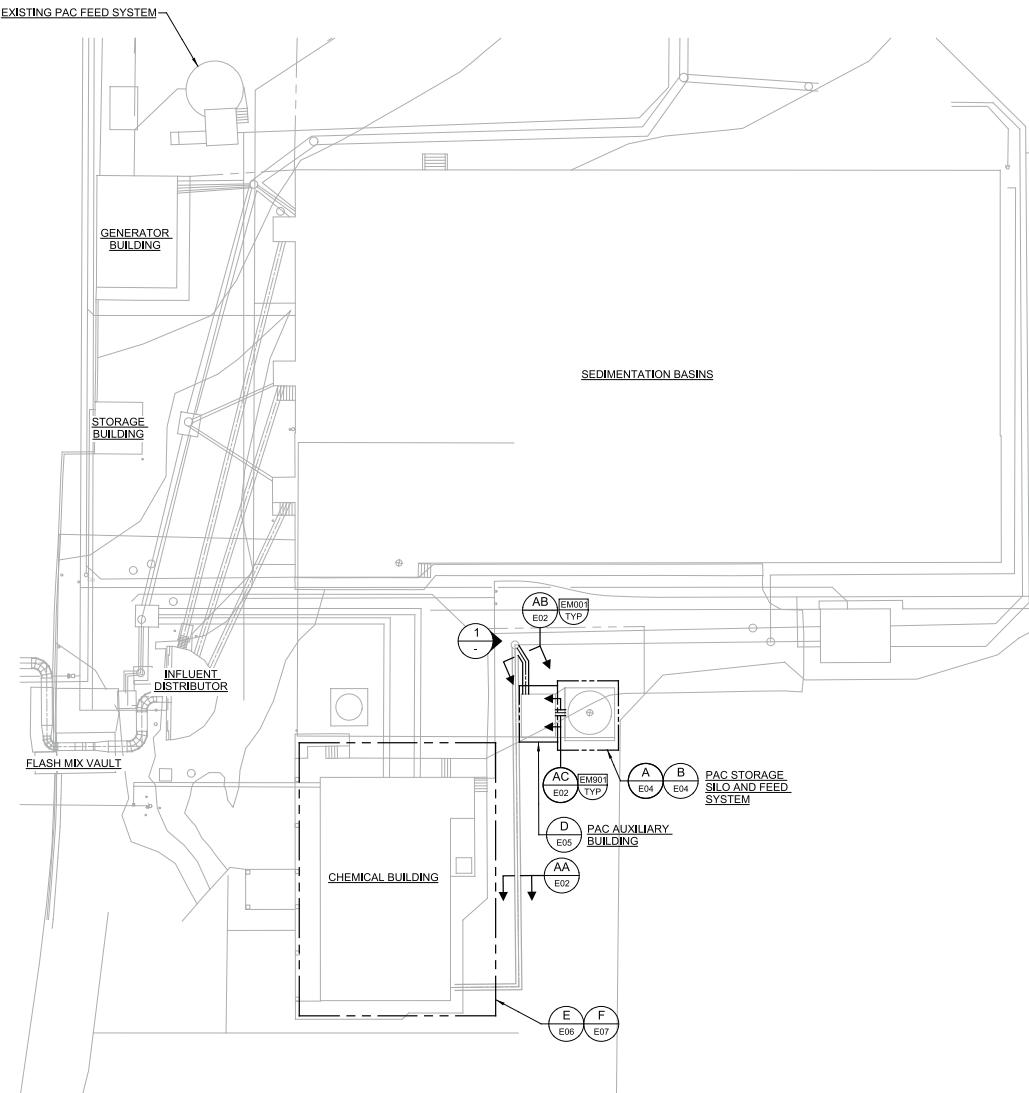
VERIFY SCALES
BAR IS ONE INCH ON
ORIGINAL DRAWING
0  1"

If not one inch on this sheet, adjust
scaled accordingly



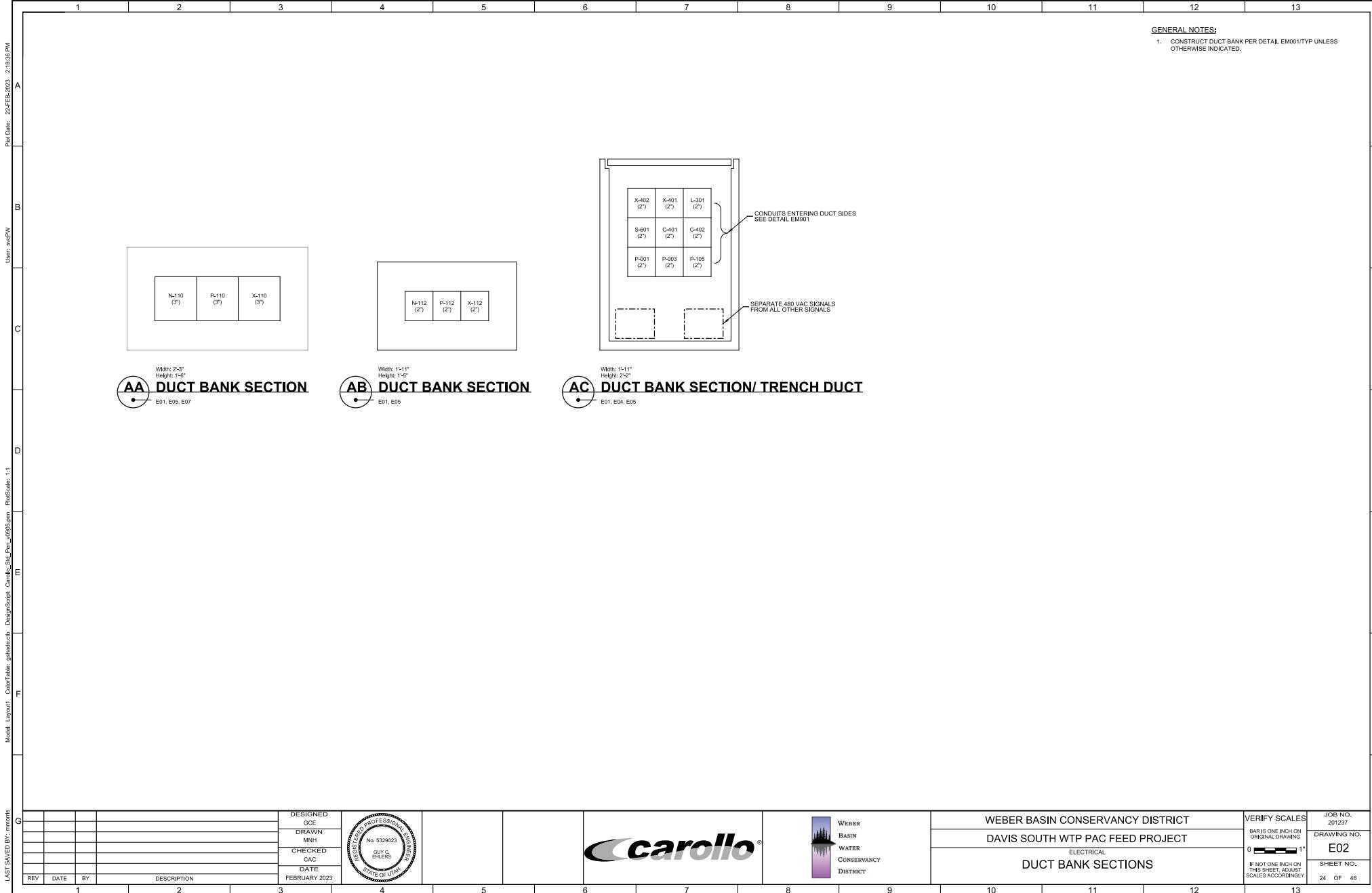
1	2	3	4	5	6	7	8	9	10	11	12	13					
ELECTRICAL PLAN SYMBOLS																	
IDENTIFICATION SYMBOLS			SWITCHES/RECEPTACLES			RACEWAY			MEDIUM VOLTAGE			LOW VOLTAGE					
<p>EQUIPMENT # EQUIPMENT AND INSTRUMENT IDENTIFICATION</p> <p>EQUIPMENT/INSTRUMENT LOCATOR</p> <p>LUMINAIRE IDENTIFICATION</p> <p>CONDUIT IDENTIFICATION</p> <p>REFERS TO ABBREVIATIONS LEGEND FOR ALL OTHER DESIGNATIONS.</p> <p>INDICATES KEYNOTE X (PERTAINS ONLY TO SHEET WHERE NOTE IS FOUND)</p> <p>DISCONNECT SWITCH</p> <p>CAMERA</p> <p>LUMINAIRES</p> <p>LINEAR FIXTURE</p> <p>2' X 2' LAY-IN TROFFER</p> <p>2' X 4' LAY-IN TROFFER</p> <p>LUMINAIRE POLE MOUNTED</p> <p>GO/NO-GO PANEL - STROBE AND HORN</p> <p>GO/NO-GO PANEL - SOLID</p> <p>GO/NO-GO PANEL - STROBE</p> <p>LUMINAIRE, EMERGENCY BATTERY-POWERED</p> <p>LUMINAIRE, EMERGENCY/EXIT BATTERY-POWERED</p> <p>LUMINAIRE, SURFACE OR PENDANT MOUNTED</p> <p>LUMINAIRE, WALL MOUNTED</p> <p>LUMINAIRE, FLOOD/SPOT</p> <p>LUMINAIRE, EXIT ONE OR TWO FACES AS INDICATED. ARROW POINTS IN DIRECTION OF EGRESS.</p>			<p>SWITCHES/RECEPTACLES</p> <p>S SINGLE POLE SWITCH</p> <p>D DOUBLE POLE SWITCH</p> <p>3 THREE-WAY SWITCH</p> <p>3P THREE POSITION SWITCH</p> <p>4P FOUR POSITION SWITCH</p> <p>K KEY OPERATED SWITCH</p> <p>F SWITCH AND FUSELET HOLDER</p> <p>P SWITCH AND PILOT LIGHT</p> <p>D DIMMER SWITCH</p> <p>L LOW VOLTAGE LIGHT SWITCH</p> <p>M MANUAL MOTOR STARTER</p> <p>N NETWORKED SINGLE OR MULTIPLE SWITCH LOCATORS</p> <p>PE PHOTOCELL</p> <p>SR OCCUPANCY SENSOR</p> <p>REF REFERRED LIGHTING CONTROL COMPONENT SCHEDULE</p> <p>SW CIRCUIT DESIGNATION</p> <p>DS DEVICE SWITCHED DESIGNATION</p> <p>MH MOUNTING HEIGHT IN FEET TO BOTTOM OF FIXTURE</p> <p>LT LUMINAIRE TYPE, REFER TO THE LUMINAIRE SCHEDULE</p> <p>CD CONDUIT NUMBER, REFER TO CONDUIT SCHEDULE</p> <p>UN UNLESS OTHERWISE NOTED, GROUPED CONDUITS ARE LABELED LEFT TO RIGHT OR TOP TO BOTTOM.</p> <p>REFERS TO ABBREVIATIONS LEGEND FOR ALL OTHER DESIGNATIONS.</p> <p>DISCONNECT SWITCH</p> <p>A TYPE, REFER TO DISCONNECT SCHEDULE</p> <p>CAMERA</p> <p>LUMINAIRES</p> <p>LINEAR FIXTURE</p> <p>2' X 2' LAY-IN TROFFER</p> <p>2' X 4' LAY-IN TROFFER</p> <p>LUMINAIRE POLE MOUNTED</p> <p>GO/NO-GO PANEL - STROBE AND HORN</p> <p>R = RED LIGHT G = GREEN LIGHT H = HORN</p> <p>GO/NO-GO PANEL - SOLID</p> <p>GO/NO-GO PANEL - STROBE</p> <p>LUMINAIRE, EMERGENCY BATTERY-POWERED</p> <p>LUMINAIRE, EMERGENCY/EXIT BATTERY-POWERED</p> <p>LUMINAIRE, SURFACE OR PENDANT MOUNTED</p> <p>LUMINAIRE, WALL MOUNTED</p> <p>LUMINAIRE, FLOOD/SPOT</p> <p>LUMINAIRE, EXIT ONE OR TWO FACES AS INDICATED. ARROW POINTS IN DIRECTION OF EGRESS.</p>			<p>RACEWAY</p> <p>EXPOSED CONDUIT</p> <p>BREAK AND CONTINUATION IN CONDUIT RUN</p> <p>EXPOSED CONDUIT HIDDEN BEHIND WALLS, FLOORS OR OTHER STRUCTURES</p> <p>UNDERGROUND CONDUIT, DIRECT BURIED OR IN DUCT BANK</p> <p>CONDUIT IN SLAB</p> <p>CONDUIT VERTICAL CHANGE IN DIRECTION</p> <p>T CONDUIT CAP</p> <p>J JUNCTION BOX</p> <p>SE CONDUIT SEAL</p> <p>TE CONDUIT TEE</p> <p>DB DUCT BANK</p> <p>AP APPROXIMATE DIMENSIONS SHOWN ON DUCT BANK SECTIONS</p>			<p>MEDIUM VOLTAGE</p> <p>CIRCUIT BREAKER, MEDIUM VOLTAGE</p> <p>SIZE</p> <p>ANSI RELAY DEVICE</p> <p>QUANTITY</p> <p>MEDIUM VOLTAGE DISCONNECT SWITCH</p> <p>NON-FUSED CUT OUT</p> <p>MEDIUM VOLTAGE DISCONNECTING FUSE</p> <p>SINGLE FUSE CUT OUT</p> <p>MEDIUM VOLTAGE SINGLE FUSE</p> <p>MEDIUM VOLTAGE DOUBLE FUSE</p> <p>MEDIUM VOLTAGE LIVE FRONT TERMINATOR</p> <p>MEDIUM VOLTAGE ELBOW</p> <p>MEDIUM VOLTAGE TEE</p> <p>MEDIUM VOLTAGE CONTACTOR</p> <p>MOV-ELBOW ARRESTER</p>			<p>LOW VOLTAGE</p> <p>CIRCUIT BREAKER</p> <p>TYPE</p> <p>MOTOR CIRCUIT PROTECTOR</p> <p>TM</p> <p>SS</p> <p>FRAME SIZE</p> <p>LOW VOLTAGE CIRCUIT BREAKER</p> <p>AUXILIARY OPERATOR</p> <p>SHUNT TRIP</p> <p>GROUND FAULT INTERRUPTER</p> <p>SOLID STATE</p> <p>DISCONNECT SWITCH</p> <p>TYPE</p> <p>DISCONNECT SCHEDULE</p> <p>FUSED DISCONNECT SWITCH</p> <p>TYPE</p> <p>DISCONNECT SCHEDULE</p> <p>FUSE</p> <p>COMBINATION STARTER</p> <p>WITH CONTROL POWER TRANSFORMER</p> <p>TYPE AS NOTED</p> <p>REFER TO THE SPECIFICATIONS FOR STARTER DEFINITIONS.</p> <p>NEMA STARTER SIZE</p> <p>OVERLOAD</p> <p>MOTOR STARTER/DRIVES:</p> <p>TYPE</p> <p>VFD-4 = 4-PULSE VFD</p> <p>VFD-18 = 18-PULSE VFD</p> <p>VFD-RH = REDUCED HARMONIC VFD</p> <p>TYPE = 400V OR ACTIVE FRONT END AS DEFINED IN THE SPECIFICATIONS</p> <p>RVSS = REDUCED VOLTAGE SOLID STATE STARTER</p> <p>RVAT = REDUCED VOLTAGE AUTO TRANSFORMER</p> <p>a/b = DEVICE WITH BYPASS STARTER, REFER TO THE SPECIFICATIONS</p> <p>b = INPUT OPTIONS</p> <p>LL = LINE REACTOR</p> <p>PH = PASSIVE HARMONIC FILTER</p> <p>c = OUTPUT OPTIONS</p> <p>LR = LOAD REACTOR</p> <p>DV/DT = DV/DW FILTER</p> <p>SWF = SINE WAVE FILTER</p> <p>EQUIPMENT ENCLOSURE</p>			<p>MISCELLANEOUS</p> <p>HP</p> <p>MOTOR</p> <p>HP = HORSEPOWER RATING</p> <p>FULL LOAD AMPS AS NOTED</p> <p>PACKAGED EQUIPMENT</p> <p>LOAD RATING AS INDICATED</p> <p>a = LOAD RATED</p> <p>b = UNIT(HP, KW, VA) AS INDICATED</p> <p>TRANSFORMER</p> <p>a = PRIMARY ID.</p> <p>b = KVA RATING</p> <p>c = NUMBER OF PHASES</p> <p>d = PRIMARY VOLTAGE</p> <p>e = SECONDARY VOLTAGE</p> <p>f = CONNECTION TYPE SYMBOL</p> <p>g = IMPEDANCE</p> <p>GROUNDED WYE CONNECTION</p> <p>DELTA CONNECTION</p> <p>ENGINE-GENERATOR RATINGS AS INDICATED ON THE DRAWINGS</p> <p>a = AMPS</p> <p>b = VOLTAGE/CONNECTION</p> <p>c = PHASE</p> <p>d = WIRE</p> <p>e = PF</p> <p>CURRENT TRANSFORMER WITH SHORTING TERMINAL BLOCK</p> <p>a = QUANTITY</p> <p>b = RATIO</p> <p>POTENTIAL TRANSFORMER</p> <p>a = QUANTITY</p> <p>b = RATIO</p> <p>c/d = CONNECTION TYPE SYMBOL</p> <p>SSM</p> <p>SOLID STATE MULTIFUNCTION METER</p> <p>ATP</p> <p>AMPERE TEST POINT</p> <p>VTP</p> <p>VOLTAGE TEST POINT</p> <p>UTILITY METER</p> <p>LIGHTNING ARRESTER</p> <p>SPD</p> <p>SURGE PROTECTIVE DEVICE</p> <p>DRAWOUT CONNECTION</p> <p>GROUND</p> <p>CAPACITOR</p> <p>BATTERY</p> <p>KIRK KEY INTERLOCK</p> <p>LOAD BANK</p>		
<p>DESIGNED</p> <p>CE</p> <p>DRAWN</p> <p>CE</p> <p>CHECKED</p> <p>CAC</p> <p>DATE</p>			<p>carollo</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>No. 3320232</p> <p>GUY EHLERS</p> <p>STATE OF UTAH</p>			<p>FOIN</p> <p>N = NUMBER OF INDIVIDUAL FIBERS</p> <p>GROUNDING</p> <p>UNDERGROUND GROUND CABLE</p> <p>#40 SDBC UNLESS OTHERWISE NOTED</p> <p>GROUND ROD</p> <p>GROUND ROD AND GROUND WELL</p>			<p>WEBER BASIN CONSERVANCY DISTRICT</p> <p>DAVIS SOUTH WTP PAC FEED PROJECT</p> <p>ELECTRICAL</p> <p>ELECTRICAL LEGEND</p>			<p>VERIFY SCALES</p> <p>JOB NO.</p> <p>102137</p> <p>DRAWING NO.</p> <p>GE01</p> <p>IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY</p> <p>0 1"</p> <p>SHEET NO.</p> <p>21 OF 46</p>					
G			1	2	3	4	5	6	7	8	9	10	11	12	13		
REV	DATE	BY	DESCRIPTION														

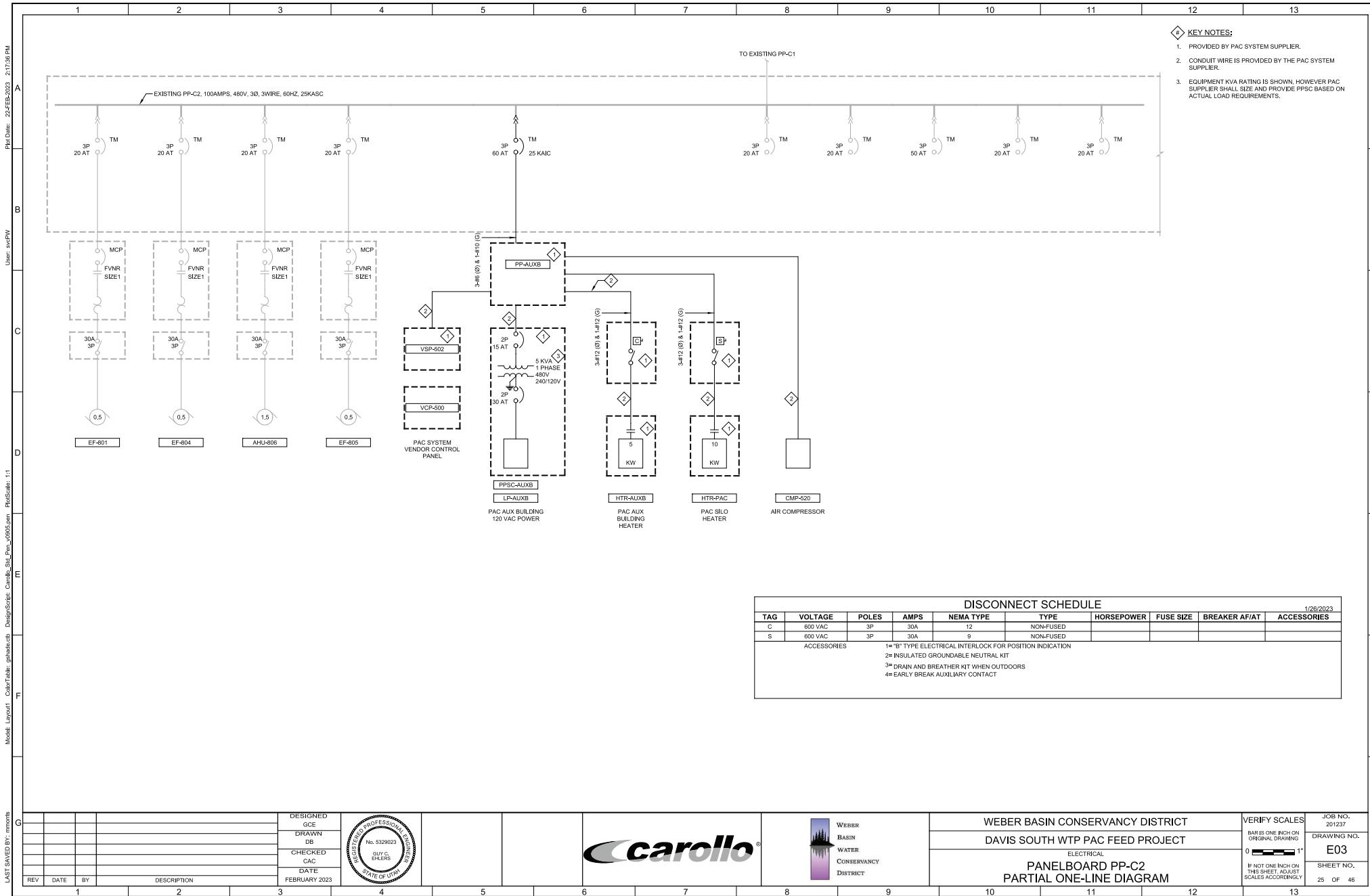
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ABBREVIATIONS												
A	AMP	J	JUNCTION BOX	TACH	TACHOMETER							
ABS	ABSOLUTE	K	KBD INTERLOCK	TBX	TERMINAL BLOCK - UNIT X							
ACC	ACKNOWLEDGING CURRENT	KA	KILOAMP	TD	TEMPERATURE DETECTOR RELAY							
ACT	ACTUATOR	KV	KILOVOLT	TE	TOTALLY ENCLOSED							
ACT	AMP FRAME	KVA	KILOVOLT AMPERE	TEFC	TOTALLY ENCLOSED FAN COOLED							
ACT	AUTOMATIC FREQUENCY CONTROL	KVAR	KILOVARS (CAPACITANCE)	TER	TERMINALLY ENCLOSED NON-VENTILATED							
AMC	AMP-INTERRUPTING CAPACITY	KW	KILOWATT	TERM	TERMINAL							
AM	AMMETER	KWD	KILOWATT DEMAND	TJB	TERMINAL JUNCTION BOX							
ANN	ANNUNCIATOR	KWH	KILOWATT HOUR	TM	TERMAL MAGNETIC							
ANT	ANTENNA	L	LONG-TIME	TP	TIME-DELAY							
APU	AUXILIARY POWER UNIT	L-B	LINE-BUS	TS	TEMPERATURE SWITCH							
ARM	ARMORED CABLE	L-G	LINE-GROUND	TSIW	TWO SPEED CONSEQUENT POLE, ONE WINDING							
ASV	AMMETER SWITCH	LA	LIGHTNING ARRESTOR	TSIW	TWO SPEED SEPARATE WINDING							
AT	AMP TRIP	LBL	LABEL	TSTAT	TERMOSTAT							
ATO	AUTOMATIC THROW OVER	LC	LIGHTING CONTACTOR	UHF	ULTRA HIGH FREQUENCY							
ATP	AMMETER TEST POINT	LCP-X	LARGE CONTROL PANEL NO. X	UNG	UNGROUNDED							
ATS	AUTOMATIC TRANSFER SWITCH	LL	LOW LOAD REACTOR	UPS	UNIVERSAL POWER SUPPLY							
AUTO XFMR	AUTOMATIC TRANSFORMER	LP	LIGHT POLE	UVR	UNDER VOLTAGE RELAY							
AUX	AUXILIARY	LP-X	LIGHTNING PANEL NO. X	V	VOLT							
AWG	AMERICAN WIRE GAGE	LTC	LIGHTING	VA	VOLT AMPERE							
B	BELL	LVL	LEVEL	VAR	VARMETER							
BAT	BATTERY	MAX	MOTOR CONTROLLER NO. X	VCP	VENDOR CONTROL PANEL							
BSP	BRAKE, PNEUMATIC GRADE	MLP	MILLIAMPERE	VFD	VARIABLE FREQUENCY DRIVE							
BHP	BRAKE HORSEPOWER	MA	MOTOR CIRCUIT AMPS	VHF	VERY HIGH FREQUENCY							
BKR	BREAKER	MCA	MOTOR CONTROL CENTER NO. X	VM	VOLTMETER							
BRF	BELOW RAISED FLOOR	MCC-X	MOTOR CONTROL CENTER PROTECTOR	VAP	VAPORPROOF							
C	CONDUIT / CONTINUOUS LOAD	MH	MATERIAL HEIGHT	VR	VOLTAGE REGULATOR							
CB	CIRCUIT BREAKER	MLO	MATERIAL / MOUNTING HEIGHT	VIS	VOLTAGE SWITCH							
CCV	CLOSED CIRCUIT TELEVISION	MOD	MOTOR OPERATED DAMPER	VTP	VOLTAGE TRANSFORMER							
CCT	COUNTER CLOCKWISE	MOT	MOTOR OPERATED VALVE	VTP	VOLTAGE TEST POINT							
CKT	CIRCUIT	MPP	MOTOR PROTECTION RELAY	W	WATT / WEST							
COA	COAXIAL CABLE	MS-X	MOTOR STARTER NO. X	WT	WATER TIGHT							
COM	COMMON	MSP	MOTOR STARTING PANEL	WP	WEATHER PROOF							
COMM	COMMUNICATION	MTO	MOTOR STARTER OVER	XFMR	TRANSFORMER							
CPT	CONTROL POWER TRANSFORMER	MTR-X	MOTOR NO. X									
CR	CONTROLLED RECEPTACLE	MTS	MANUAL TRANSFER SWITCH									
CS	CONTROL SWITCH	MV	MEGAVOLT									
CT	CONTROLLER	MVA	MEGAWATT AMPERES									
CV	CONTROL VALVE	MVS	MEDIUM VOLTAGE SWITCH									
CW	CLOCKWISE / COOL WHITE	MW	MEGAWATT									
DC	DIRECT CURRENT	N	NEUTRAL									
DCS	DISTRIBUTED CONTROL SYSTEM	NC	NORMALLY CLOSED									
DCU-X	DISTRIBUTED CONTROL UNIT NO. X	NEC	NATIONAL ELECTRICAL CODE									
DEMO	DEMOLITION	NFC	NONMETALLIC FLEXIBLE CONDUIT									
DEP	DEDUCTIVE SWITCH	NL	NEUTRAL									
DM	DEMAND METER	NO	NORMALLY OPEN									
DPDT	DOUBLE POLE DOUBLE THROW	NP	NAMENPLATE									
DPST	DOUBLE POLE SINGLE THROW	O	OPEN OR OPENED									
DS	DOOR SWITCH	OH	OVERHEAD									
E/G	EMERGENCY GENERATOR	OL	OVERLOAD RELAY									
EMT	ELECTRICAL METALLIC TUBING	P	POLE									
ENC	ENCLOSURE	PA	PUBLIC ADDRESS									
ENG	ENGINE	PB	PUSHBUTTON / PULL BOX									
ENM	ELECTRICAL NON-METALLIC TUBING	PPX	POXY-LOADED GALVANIZED STEEL CONDUIT									
EP	EXPLOSION PROOF	PCM	PROGRAM CONTROL MODULE									
ETM	ELAPSED TIME METER	PE	PHOTOCELL									
F	SUB-FED	PFCC	POWER FACTOR CORRECTION CAPACITOR									
FA	FIRE ALARM	PFRR	PHASE FAILURE RELAY									
FAC	FIRE ALARM CONTROL PANEL	PH	PHASE									
FOR	FEEDER	PNL	PANEL									
FIA	FIRED LEAD AMPS	PPX	POXY-LOADED PANEL NO. X									
FLX	FLEXIBLE CONDUIT	PR	PRIMARY									
FRC	FIBERGLASS RIGID CONDUIT	PT	POTENTIAL TRANSFORMER									
FRE	FREQUENCY	PVC	POLYVINYL CHLORIDE RIGID PLASTIC CONDUIT									
FU	FUSE	PWR	POWER									
FUS	SW FUSED SWITCH	RAC	RIGID ALUMINUM CONDUIT									
FVN	FULL VOLTAGE NON-REVERSING	RECP	RECEPTACLE									
FVR	FULL VOLTAGE REVERSING	REC	REVERSE									
FWD	FORWARD	RF	RADIO FREQUENCY									
G	GROUND / EQUIPMENT GROUND / GROUND FAULT	RMS	ROOT MEAN SQUARED									
GEN	GENERATOR	RVT	REDUCED VOLTAGE AUTO TRANSFORMER									
GRC	Galvanized Steel Rigid Conduit	RVNR	REDUCED VOLTAGE NON-REVERSING									
GFCI	GROUND FAULT CIRCUIT INTERRUPTER (RECEPTACLE)	RVS	REDUCED VOLTAGE SOLID STATE									
GFR	GROUND FAULT INTERRUPTER (BREAKER)	S	SURGE ARRESTOR									
GFR	GROUND FAULT RELAY	SA	SHORT CIRCUIT									
H	HOT-LEAD	SDBC	SOFT DRAWN BARE COPPER									
HF	HIGH FREQUENCY	SFL	SURGE FEED LOOPS									
HPS	HIGH PRESSURE SODIUM	SLT	SEALANT-LOADED TIGHT FLEXIBLE CONDUIT									
HR	HOUR	SP	SINGLE POLE									
HSTAT	HIGH-STATE	SPD	SURGE PROTECTIVE DEVICE									
HV	HIGH VOLTAGE	SPDT	SINGLE POLE DOUBLE THROW									
HVAC	HEATING/VENTILATION/AIR CONDITIONING	SPST	SINGLE POLE SINGLE THROW									
HZ	HERTZ	SPKR	SPEAKER									
I	INSTANTANEOUS / INTERTINENT LOAD	SS	SOLID STATE									
IC	INTERRUPTING CAPACITY	STB	SHORTING TERMINAL BLOCK									
IB	INSTRUMENT JUNCTION BOX	SW	SWITCH									
IMC	INSTITUTIONAL METAL CONDUIT	SWBD	SWITCHBOARD									
INST	INSTANTANEOUS	SWR	SWITCHGEAR									
INT	INTERLOCK	SYM	SYMMETRICAL									
INTERCOM	INTERCOMMUNICATION											
NOTES:												
1. REFER TO SPECIFICATIONS AND OTHER DRAWINGS FOR ADDITIONAL ABBREVIATIONS.												
DESIGNED DRAWN CHECKED DATE				PROFESSIONAL ENGINEER GUY C. ELLERS STATE OF UTAH				carollo® WEBER BASIN CONSERVANCY DISTRICT DAVIS SOUTH WTP PAC FEED PROJECT ELECTRICAL ELECTRICAL ABBREVIATIONS				
1	2	3	4	5	6	7	8	9	10	11	12	13



EXISTING MANHOLE
1 PHOTO
SCALE: NO SCALE
FILE: 20123700E01

DESIGNED GCE	DRAWN MNH	REGISTERED PROFESSIONAL ENGINEER No. 5329023 GUY C. ELLERS STATE OF UTAH	CHECKED CAC	DATE FEBRUARY 2023	carollo	WEBER BASIN WATER CONSERVANCY DISTRICT	WEBER BASIN CONSERVANCY DISTRICT DAVIS SOUTH WTP PAC FEED PROJECT ELECTRICAL OVERALL SITE PLAN	VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1"	JOB NO. 201237 DRAWING NO. E01 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY SHEET NO. 23 OF 46
REV	DATE	BY	DESCRIPTION						

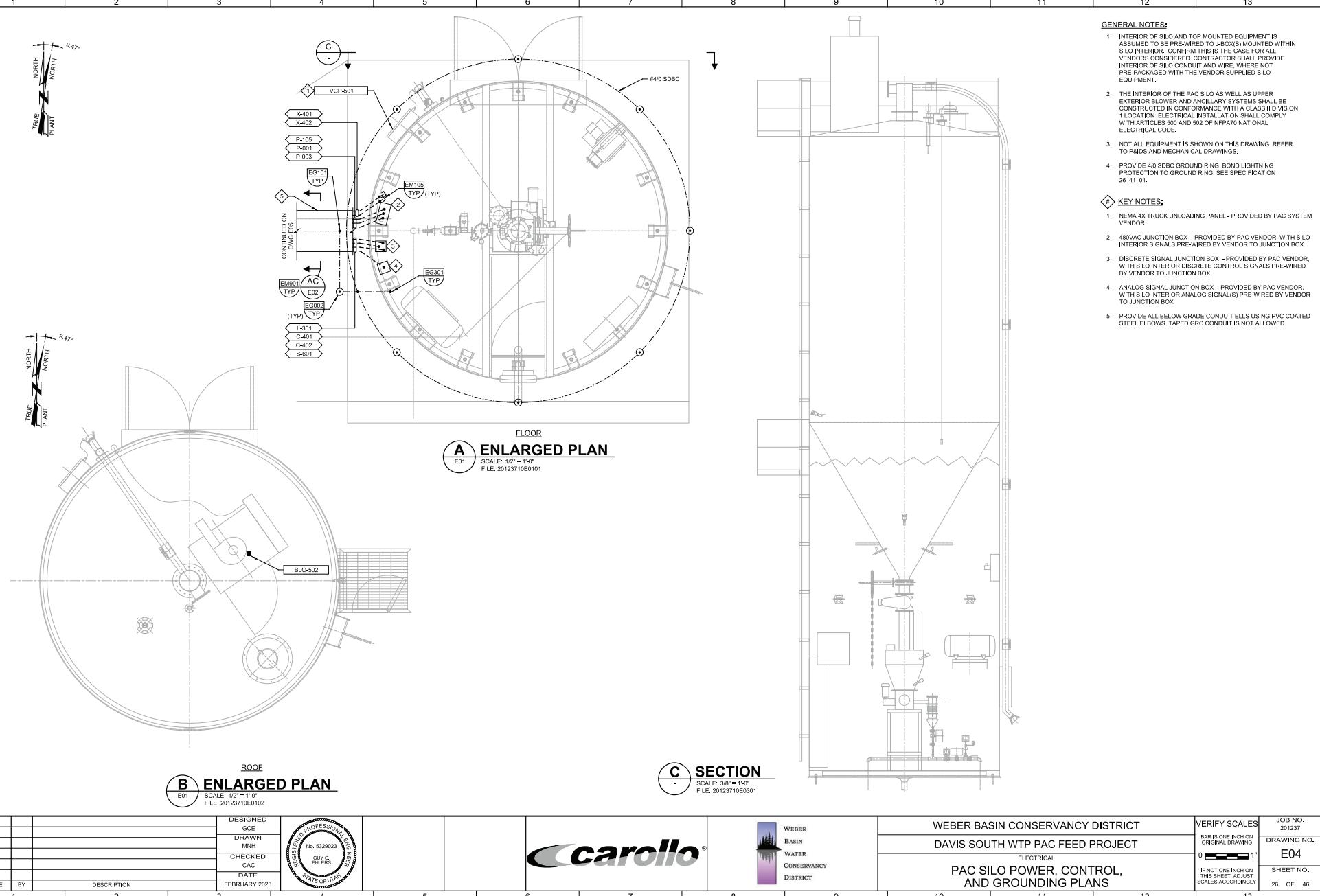


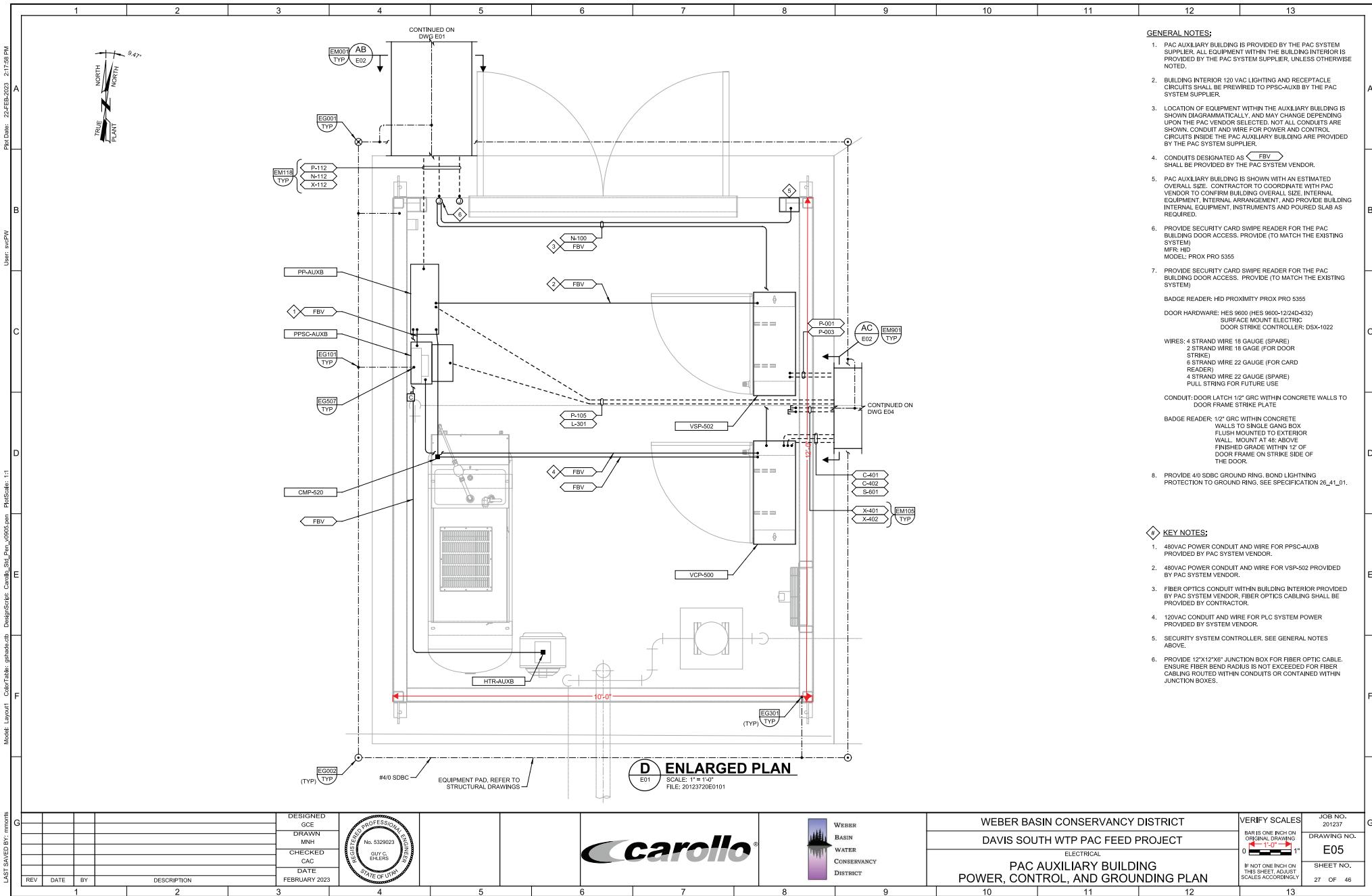


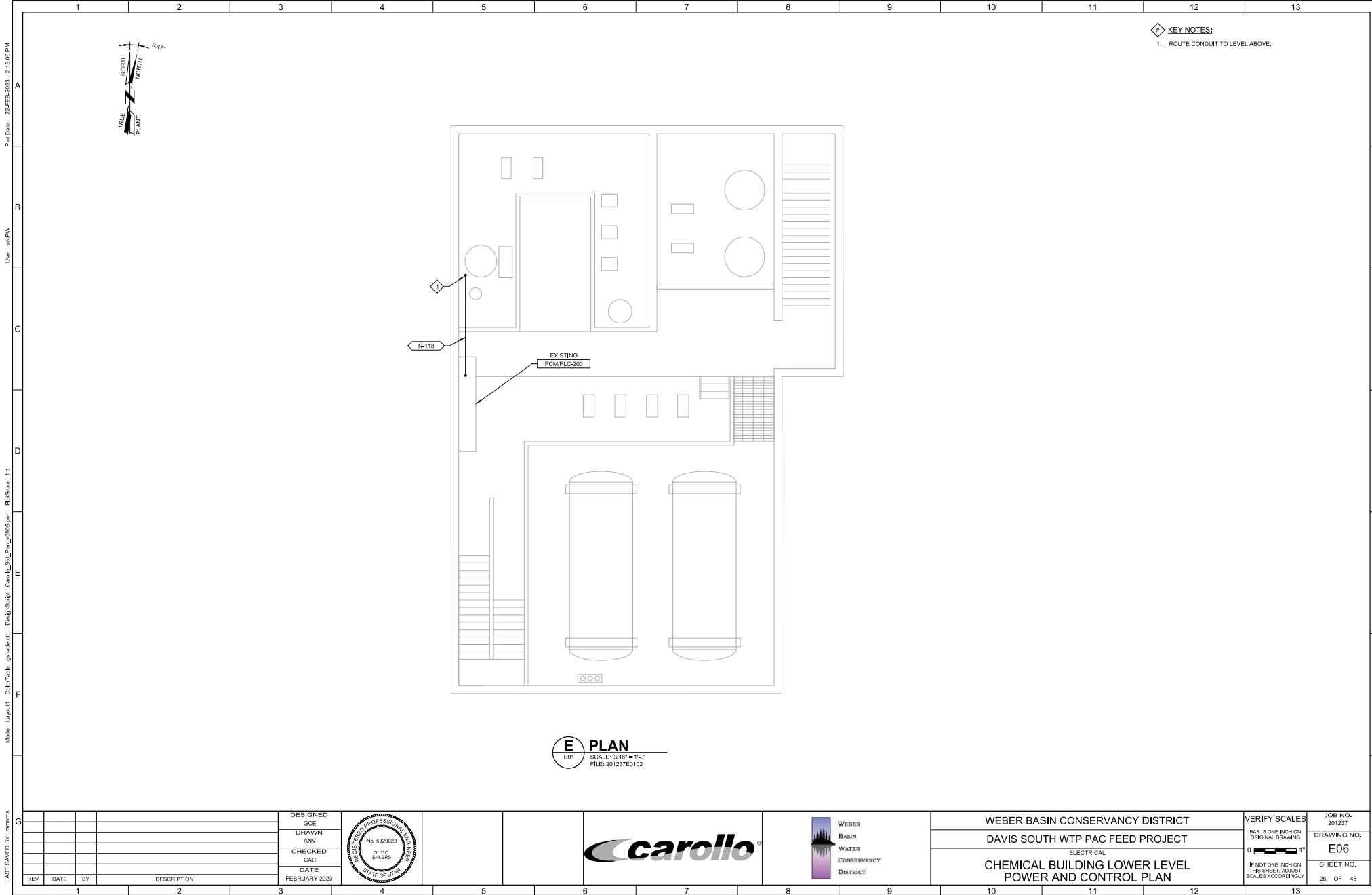
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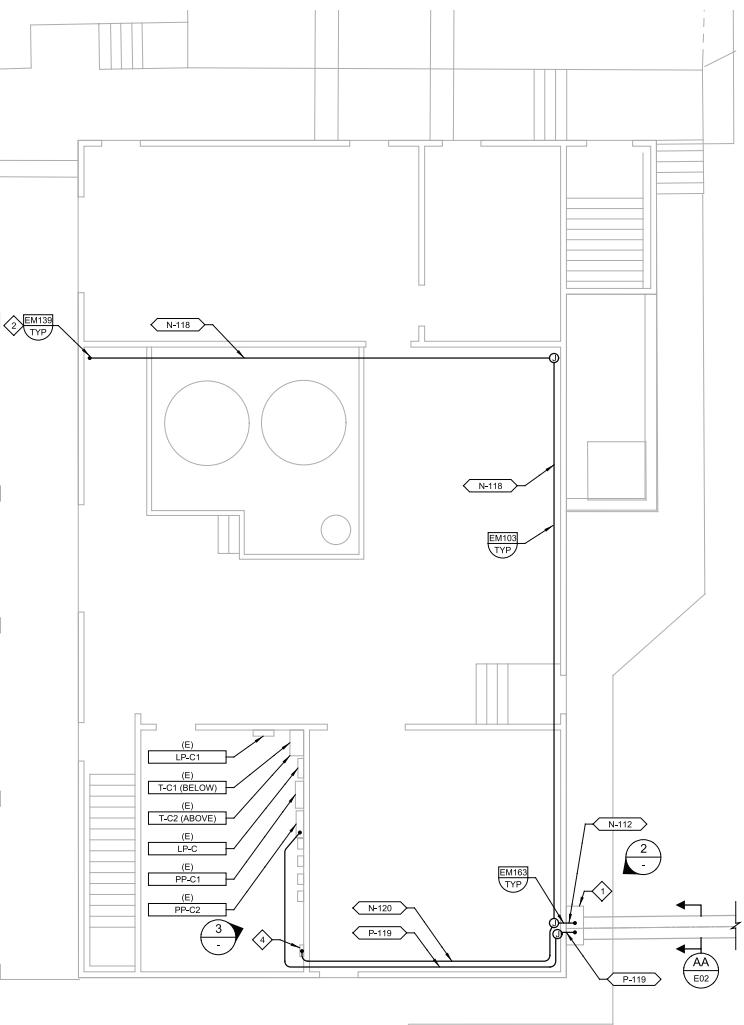
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REV	DATE	BY	DESCRIPTION									
1	FEBRUARY 2023		PROJECT NO. 201237-100000	FILE NAME: 20123700E07.dgn								



F PLAN
E01
SCALE: 3/16" = 1'-0"
FILE: 20123730E0101

REGISTERED PROFESSIONAL ENGINEER
No. 5329023
GUY C. ELLERS
STATE OF UTAH

carollo



EXISTING CHEMICAL BUILDING
2 PHOTO
- SCALE: NO SCALE
FILE: 20123730E0103



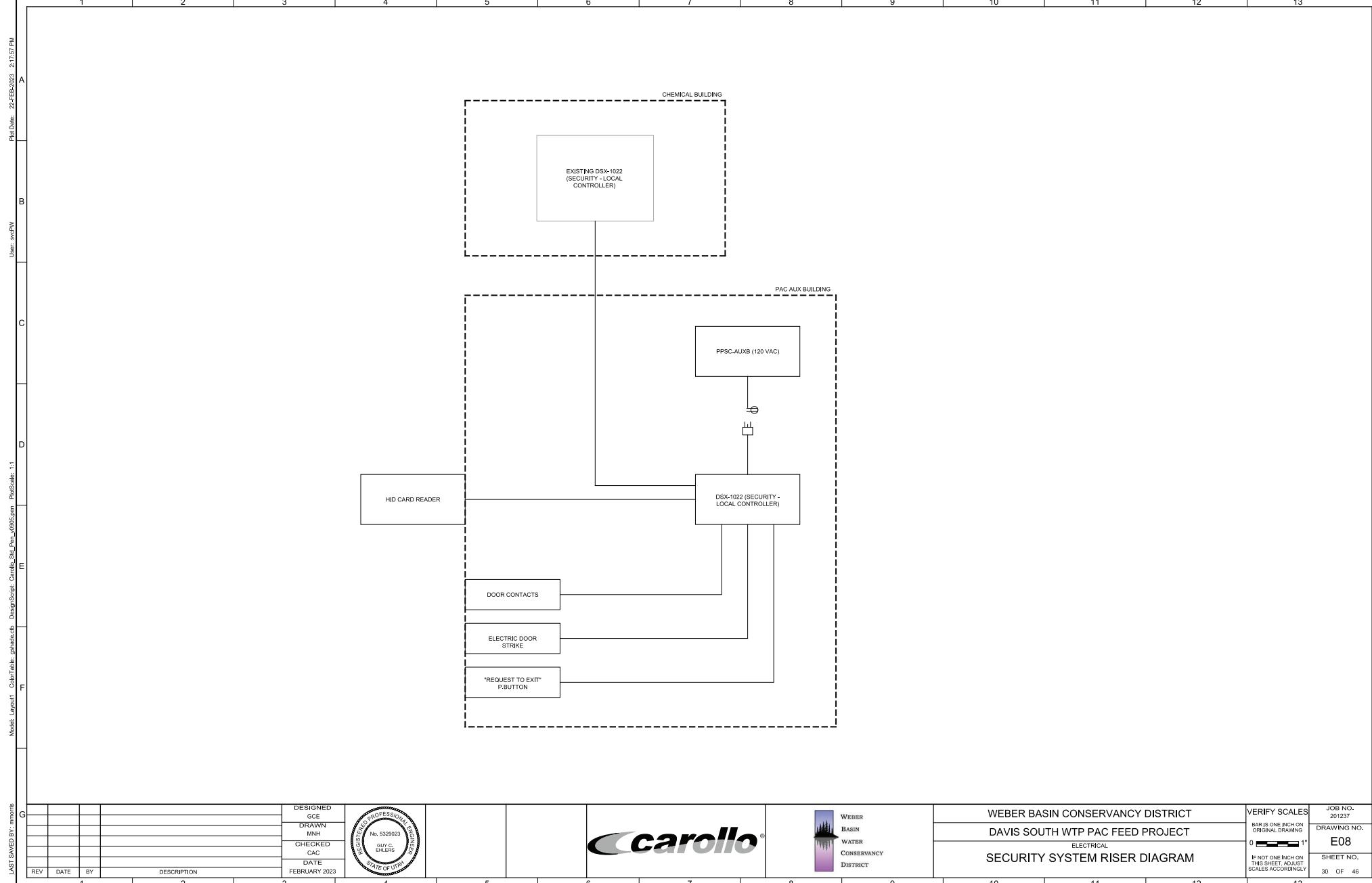
EXISTING CHEMICAL BUILDING
3 PHOTO
- SCALE: NO SCALE
FILE: 20123730E0103

KEY NOTES:

1. EXISTING WIREWAY, USE EXISTING CONDUITS STUBBED INTO BOTTOM OF WIREWAY. PROVIDE NEW CONDUITS FROM TOP OF WIREWAY INTO BUILDING AS SHOWN.
2. ROUTE CONDUIT TO LEVEL BELOW.
3. EXISTING 1" CONDUIT, WITH ETHERNET CABLE. DO NOT DISTURB.
4. EXISTING SECURITY PANEL.

WEBER
BASIN
WATER
CONSERVANCY
DISTRICT
DAVIS SOUTH WTP PAC FEED PROJECT
ELECTRICAL
CHEMICAL BUILDING UPPER LEVEL
POWER AND CONTROL PLAN

VERIFY SCALES
JOB NO.
201237
DRAWING NO.
E07
SHEET NO.
29 OF 46
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY



PROJECT NO. 201237-100000 FILE NAME: 20123700GN001.dwg

PROJECT NO. 201237-100000 FILE NAME: 20123700GN001.dwg



WEBER BASIN CONSERVANCY DISTRICT

DAVIS SOUTH WTP PAC FEED PROJECT INSTRUMENTATION

SYMBOLS AND ABBREVIATIONS

VERIFY SCALES

ORIGINAL DRAWING

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THIS SHEET, ADJUST
SCALES ACCORDINGLY

JC
2

G

24

INSTRUMENT TAG IDENTIFICATION LETTERS

INSTRUMENT FUNCTION		ELEMENT													P&ID LINE SYMBOLS																								
MEASURED VARIABLE		INDICATING TRANSMITTER		CONVERTER TRANSDUCER		RELAY SPECIAL DEVICES		RECORDER		CONTROL/COMMAND		INDICATING CONTROLLER		RECORDING CONTROLLER		SWITCH		SWITCH		SWITCH		SWITCH		ACTION		ALARM		ALARM		TOTALIZE INDICATOR		VALVE		GAUGE		LIGHT		SPEED SETTING	
A	ANALYSIS	AE	AT	AIT	AY	AI	AR	AC	AIC	ARC	AS	ASLL	ASL	ASH	ASHH	ASHL	AALL	AAL	AAH	AAHH					AL														
B	BURNER FLAME	BE	BT	BIT	BY	BI	BR	BC	BIC	BRC	BS	BSSL	BSL	BSSH				BALL	BAL	BAH	BAHH					BL													
C	CONDUCTIVITY	CE	CT	CIT	CY	CI	CR	CC	CIC	CRC	CS	CSLL	CSL	CSHH	CSHL			CALL	CAL	CAH	CAHH					CL													
D	DENSITY	DE	DT	DIT	DY	DI	DR	DC	DIC	DRC	DS	DSLL	DSL	DSSH	DSHL			DALL	DAL	DAH	DAHH					DL													
E	VOLTAGE											ESL																											
F	FLOW	FE	FT	FIT	FY	FI	FR	FC	FIC	FRC	FS	FSLL	FSL	FSH	FSHH	FSHL		FALL	FAL	FAH	FAHH	FQI	FCV	FG	FL														
FF	FLOW RATIO				FFY	FFI		FFC	FFIC																FFL														
H	HAND (MANUAL)*											HC																											
I	CURRENT	IT	IT	IT	TY	II	IR	IC	IIC	IRC	IS	ISLL	ISL	ISH	ISHH			IALL	IAL	IAH	IAHH					HV	HL	HSS											
J	POWER																																						
K	TIME											KY	KI	KR	KC	KIC	KRC	KS	KSSL	KSL	KSH	KSHH					KALL	KAL	KAH	KAHH									
L	LEVEL	LE	LT	LIT	LY	LI	LR	LC	LIC	LRC	LS	LSLL	LSL	LSH	LSHL			LALL	LAL	LAH	LAHH					KV	KL												
M	MOISTURE OR HUMIDITY	ME	MT	MIT	MY	MI	MR	MC	MIC	MRC	MS	MSLL	MSL	MSH	MSHH			MALL	MAI	MAH	MAHH					ML													
N	USER'S CHOICE																																						
P	PRESSURE OR VACUUM	PE	PT	PIT	PY	PI	PR	PC	PIIC	PRC	PS	PSLL	PSL	PSH	PSHH	PSHL		PALL	PAL	PAH	PAHH					PCV	PI												
PD	DIFFERENTIAL PRESSURE	PDT	PDT	PDT	PDY	PDI	PDR	PDC	PDIC	PDRC	PDS	PDSLL	PDSL	PDSH	PDSHH			PDALL	PDAL	PDAH	PDAHH					PDCV	PDL												
Q	QUANTITY	QE	QT	QIT	QY	QI	QR					QS	QSLL	QSL	QSH	QSHH			QALL	QAL	QAH	QAHH																	
R	RADIATION																																						
S	SPEED	SE	ST	SIT	SY	SI	SR	SC	SIC	SRC	SS	SSLL	SSL	SSH	SSHH			SALL	SAL	SAH	SAHH																		
T	TEMPERATURE	TE	TT	TT	TY	TI	TR	TC	TIC	TRC	TS	TSSL	TSL	TSH	TSHH	TSHL		TALL	TAL	TAH	TAHH					TCV	TL												
TD	DIFFERENTIAL TEMPERATURE	TDT	TDT	TDT	TYD	TDI	TDR	TDC	TDIC	TDRC	TDS	TDSL	TDSH	TDSH			TDALL	TDAL	TDAAH	TDHH					TDCV	TDL													
U	MULTIVARIABLE											UI	UR	UC	UIC	URC	US									UL													
V	VISCOSEITY	VE	VT	VIT	VY	VI	VR	VC	VIC	VRC	VS	VSSL	VSL	VSH	VSHH			VALL	VAL	VAH	VAHH					VL													
W	WEIGHT	WE	WT	WIT	WW	WI	WR					WS	WSLL	WSL	WSH	WSHH			WALL	WAL	WAH	WAHH																	
X	UNCLASSIFIED	XE	XT	XT	XY	XI	XR	XC	XIC	XRC	XS	XSSL	XSL	XSH	XSHH			XALL	XAL	XAH	XAHH					XCV	XG	XL											
XV	VIBRATION	XVE	XVT	XVY	XVI	XVR					XVS			XVSH	XVHH												XVL												
Y	STATUS***										YI															YL													
Z	POSITION	ZE	ZT	ZIT	ZY	ZI					ZC**														ZV	ZL**													

* REFER TO OPERATOR PILOT DEVICE LEGEND

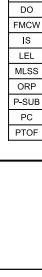
** LETTER INDICATES POSITION (O=OPEN, C=CLOSED, R=RAISE, L=LOWER, ETC)

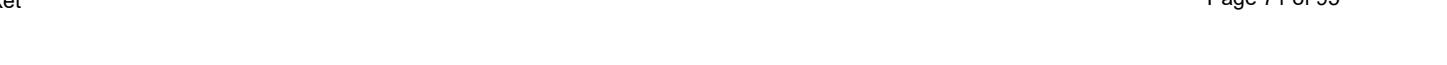
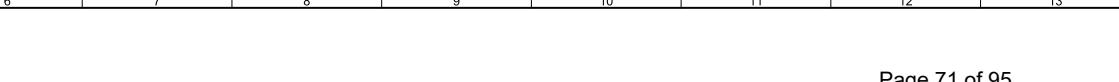
OPERATOR PILOT DEVICE LEGEND

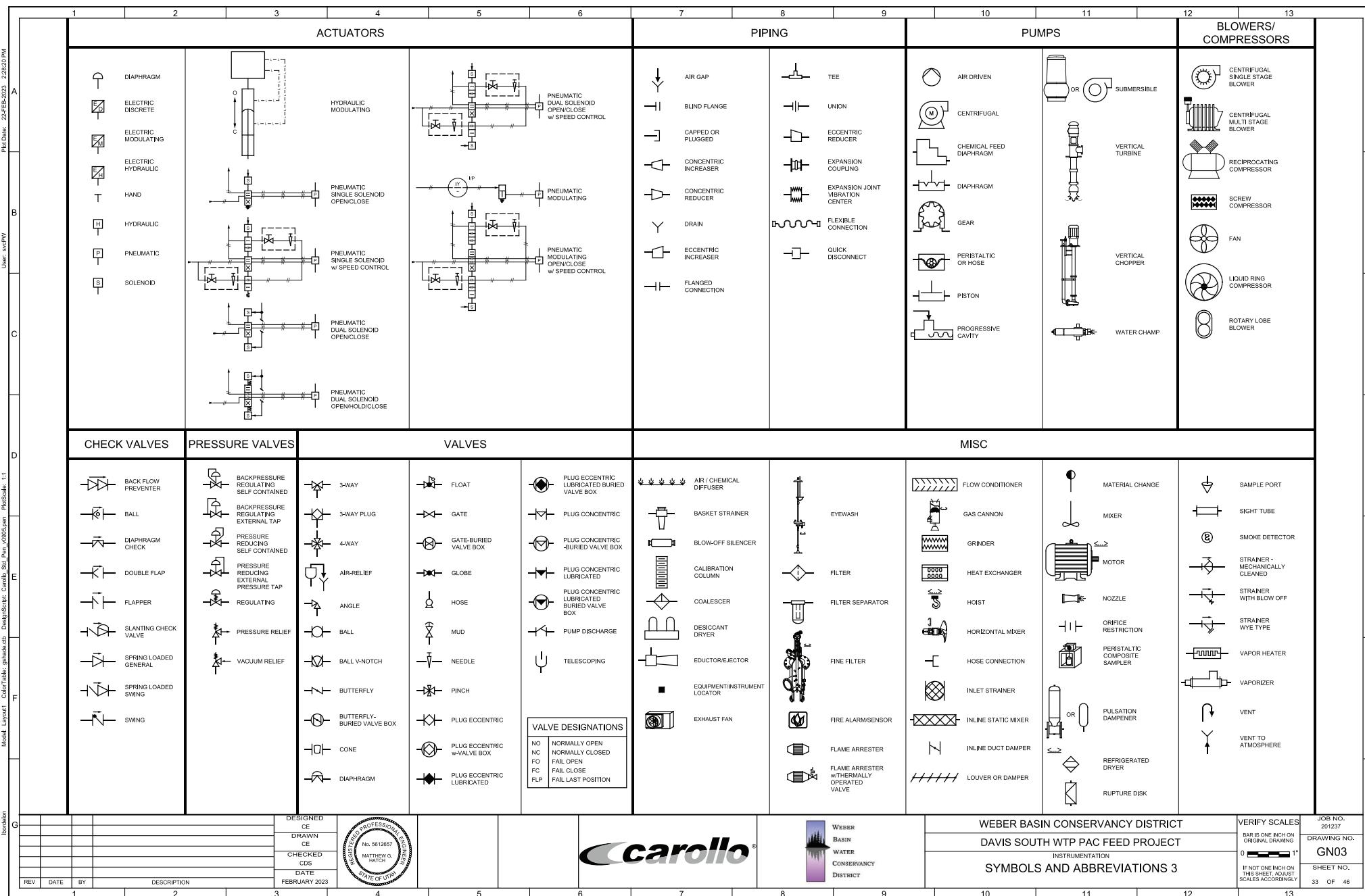
PILOT DEVICE FUNCTION		DEVICE TYPE													PILOT DEVICE TAG (HAND SWITCHES)																				
HAS*	HSB	HSC	HSI	HSD	HSE	HSF	HSG	HSH	HIS	HSJ	HSK	HSL	HSN	HSO	HSP	HSQ	HSR	HSS	HST	HSU	HSV	HSW	HSX	HSY	HSZ										
STOP(SP)																																			
START(ST)																																			
HAND-OFF-AUTO (HOA)																																			
OFF-ON (OO)																																			
SELECT (SEL)																																			
OPEN-CLOSE (O-C)																																			
JOG OPEN-HOLD-CLOSE (JOC)																																			
SEMI-AUTO/ MANUAL (SAM)																																			
LEAD-CAG-STANDBY (LGS)																																			
ONLINE-OFFLINE (O-NOT)																																			
AUTO-MANUAL (AM)																																			
FINED RATE-LEVEL RATE (FRLR)																																			
OPEN-CLOSE (OC)																																			
NO OFFLINE-OFFLINE TRANSITION (NOT)																																			
LW(L)																																			
RESET (RST)																																			
SPEED (SPD)																																			
START-STOP (S-SP)																																			
BYPASS (BYP)																																			
SILENCE																																			
POSITION (POS)																																			

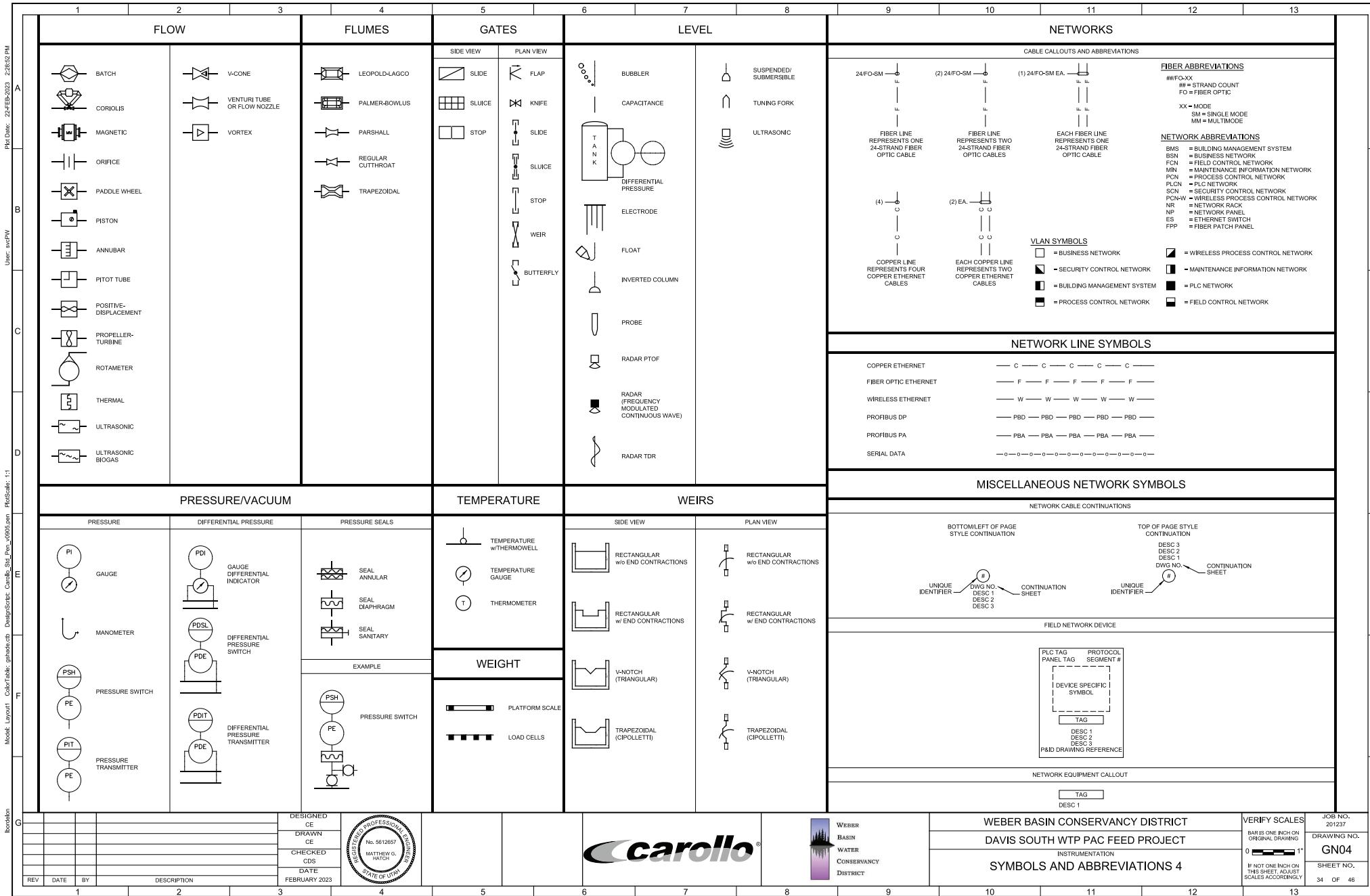
PROJECT NO. 201237-100000

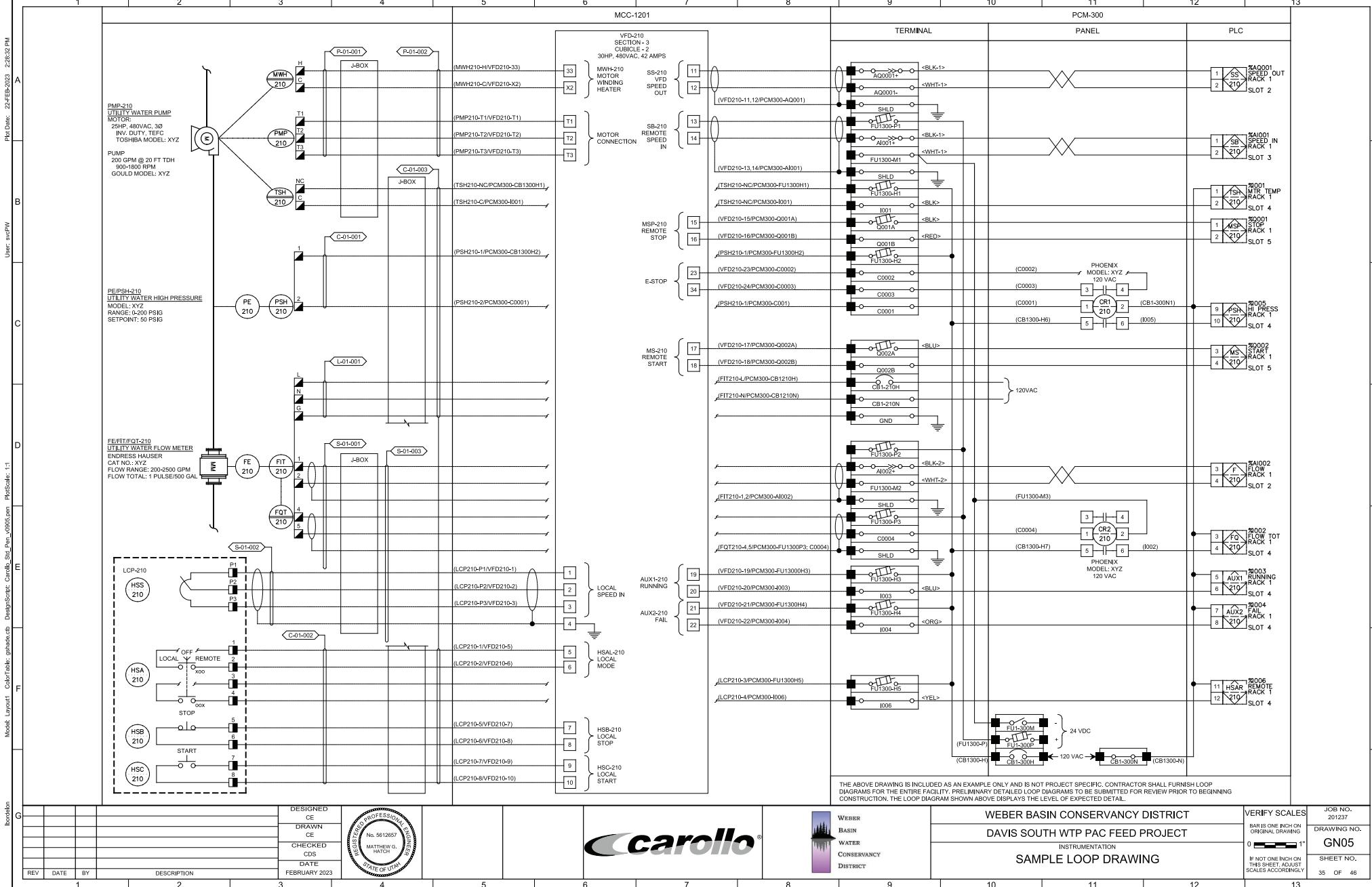
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DESIGNED
DRAWN
CHECKED
CD'S
DATE
FEBRUARY 2023No. 5612657
MATTHEW G. SMITH

WEERR
BASIN
WATER
CONSERVANCY
DISTRICTDAVIS SOUTH WTP PAC FEED PROJECT
INSTRUMENTATION
SYMBOLS AND ABBREVIATIONS 2VERIFY SCALES
JOB NO.
201237
DRAWING NO.
GN02
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY
SHEET NO.
32 OF 46

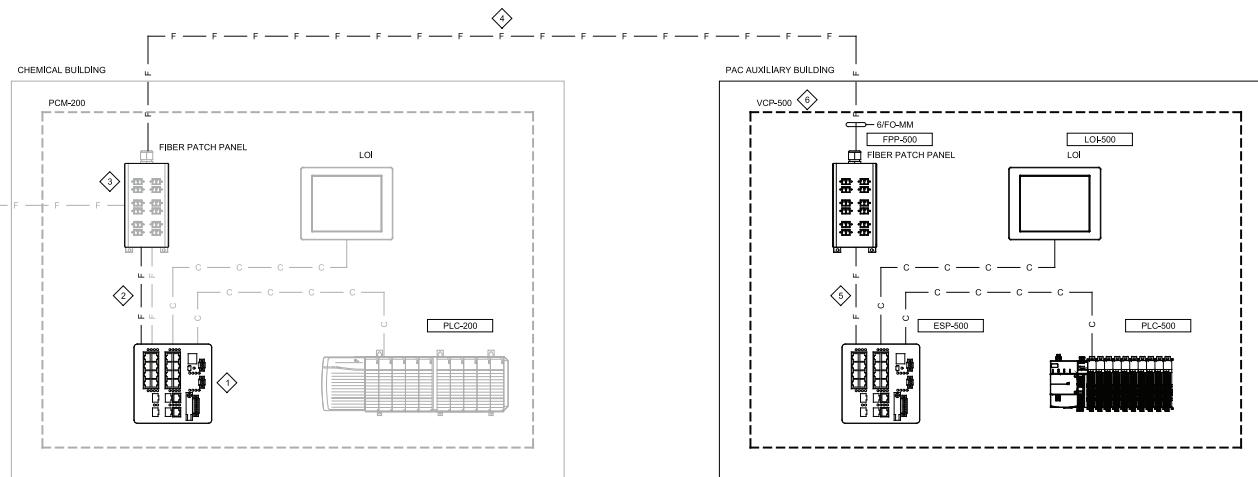






PROJECT NO. 201237-100000 FILE NAME: 20123700GN005.dwg

			DESIGNED MGH DRAWN CGR					WEBER BASIN WATER CONSERVANCY DISTRICT	WEBER BASIN CONSERVANCY DISTRICT DAVIS SOUTH WTP PAC FEED PROJECT INSTRUMENTATION PAC SYSTEM NETWORK CONNECTION DIAGRAM	VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1"	JOB NO. 201237 DRAWING NO. GN06 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY		
1	2	3	CHECKED CDS DATE FEBRUARY 2023		4	5	6	7	8	9	10	11	12

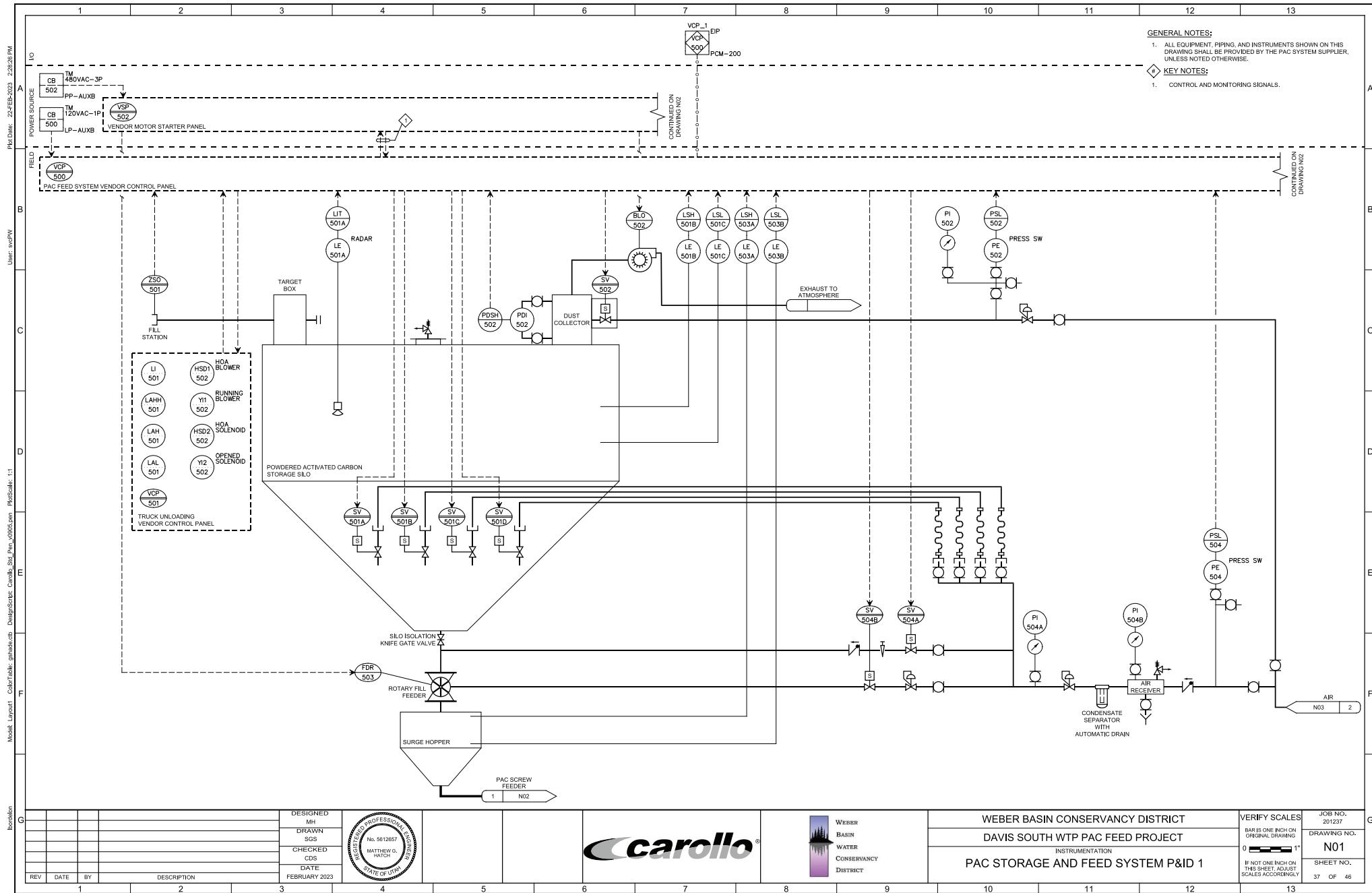


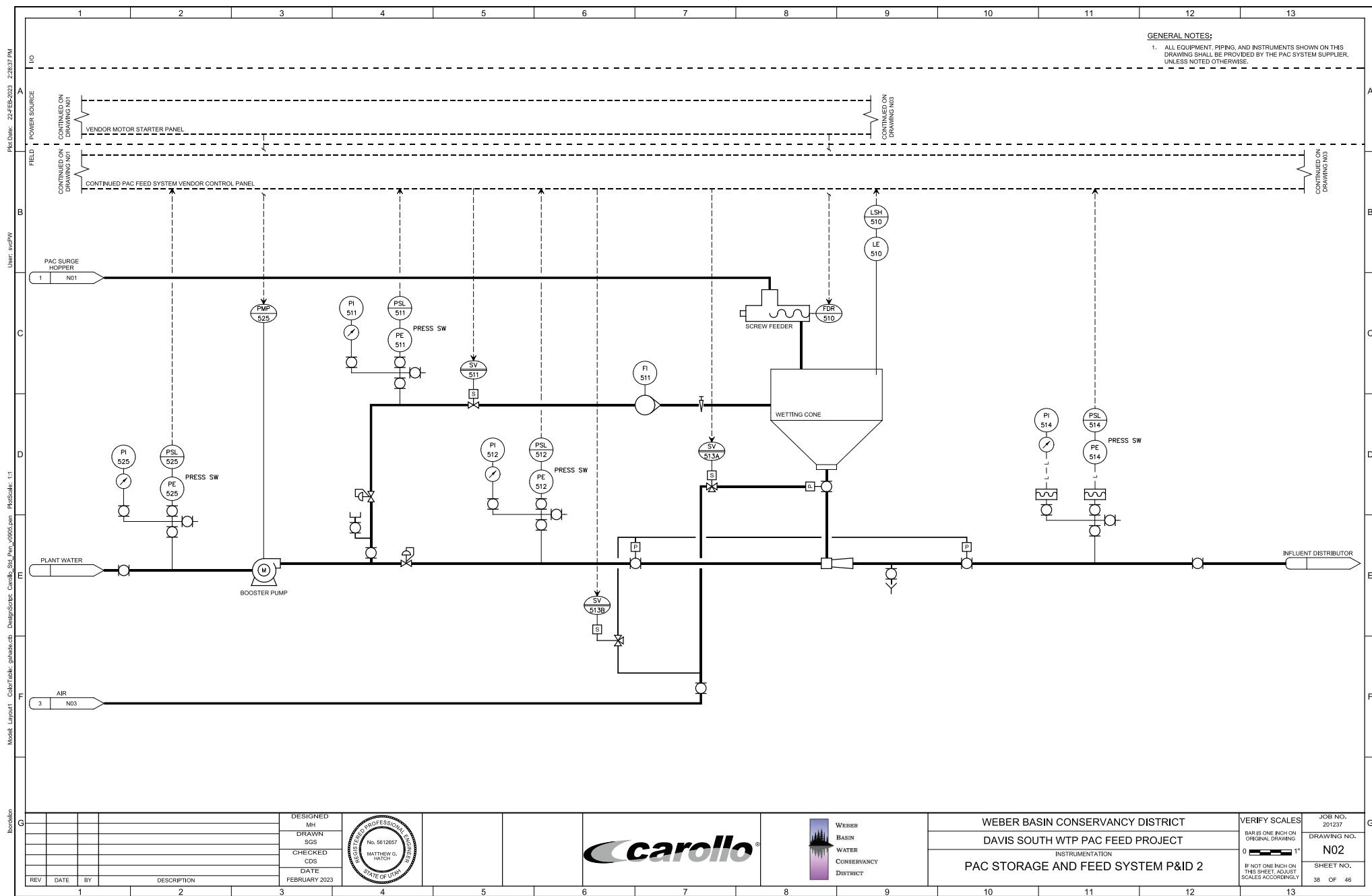
GENERAL NOTES:

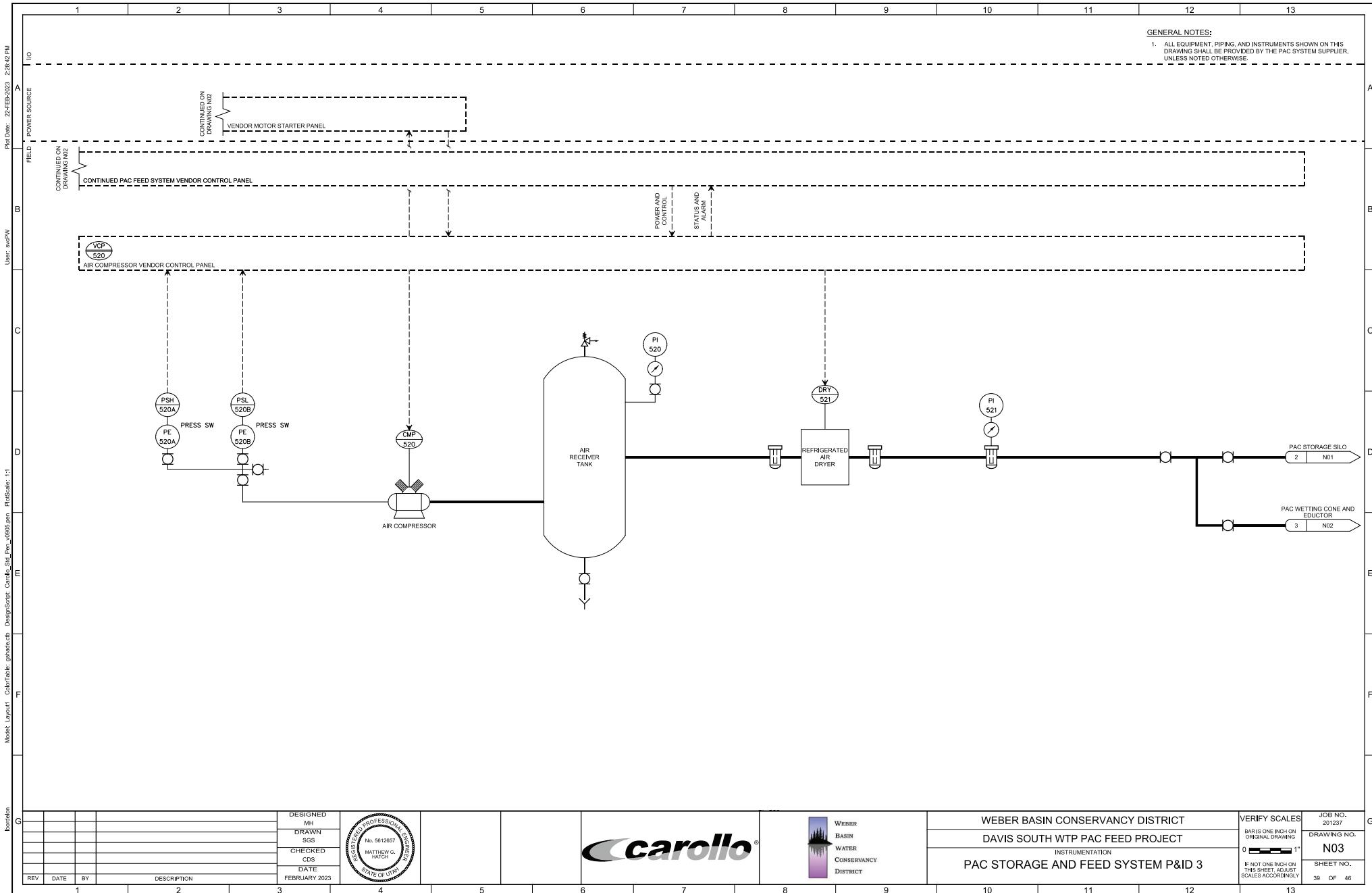
1. COMMUNICATION PROTOCOL SHALL BE ETHERNET IP, UNLESS NOTED OTHERWISE. ALL NETWORK COMMUNICATION SHALL BE MINIMUM 100 MBPS.
2. PROVIDE ADDITIONAL HARDWARE AND CONFIGURATION AS NEEDED FOR A FULLY FUNCTIONAL SYSTEM.

◆ KEY NOTES:

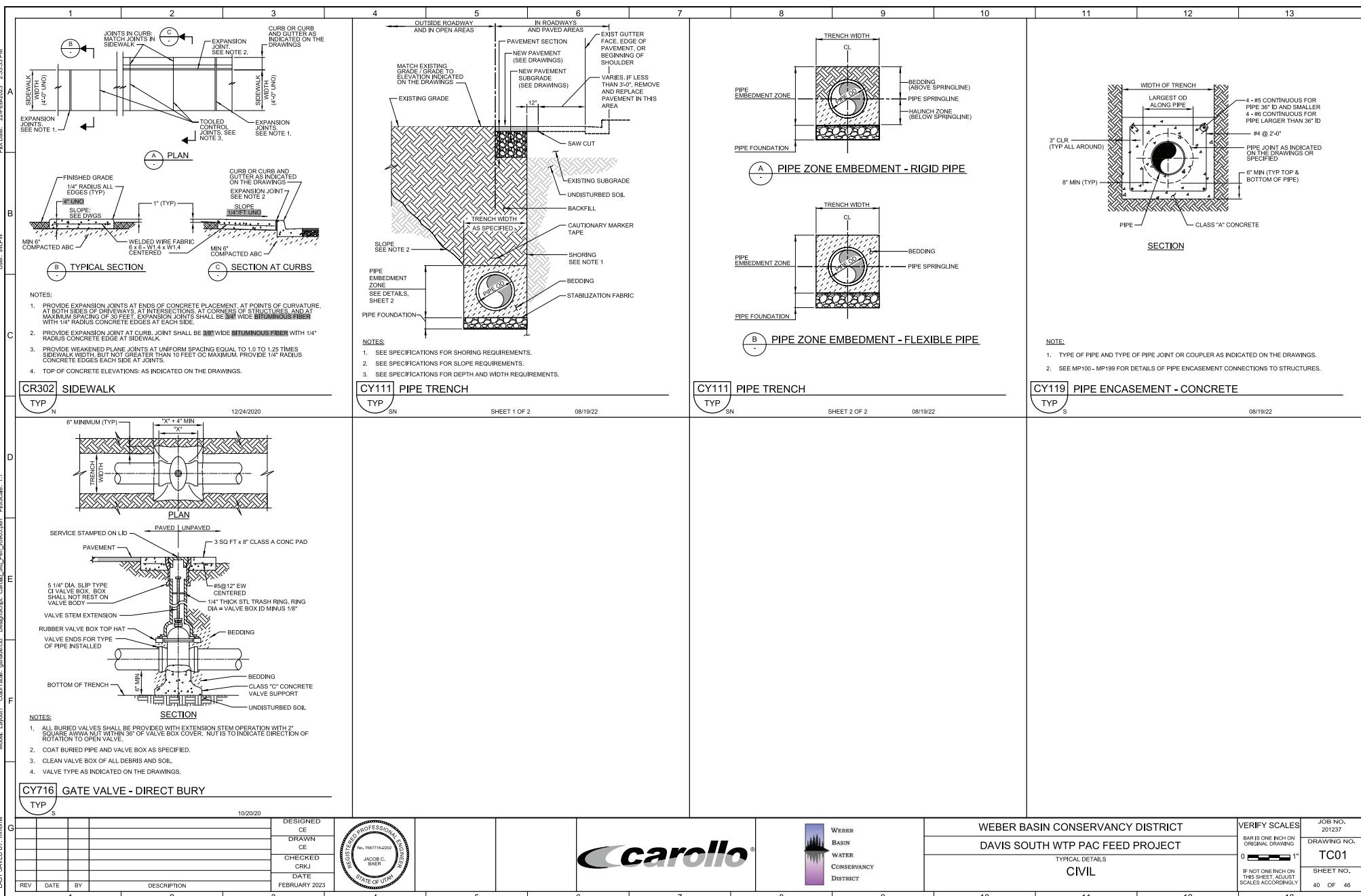
1. NEW ETHERNET SWITCH FURNISHED AND INSTALLED BY OWNER.
2. NEW DUPLEX FIBER OPTIC PATCH CABLE FURNISHED AND INSTALLED BY OWNER.
3. TERMINATE NEW FIBER OPTIC CABLE WITH TYPE SC CONNECTORS. PROVIDE NEW FIBER OPTIC PATCH PANEL CONNECTOR PLATE FOR EXISTING PATCH PANEL.
4. 6-STRAND MULTIMODE FIBER OPTIC CABLE.
5. DUPLEX FIBER OPTIC PATCH CABLE.
6. VENDOR CONTROL PANEL SHALL BE PROVIDED BY THE PAC SYSTEM SUPPLIER.

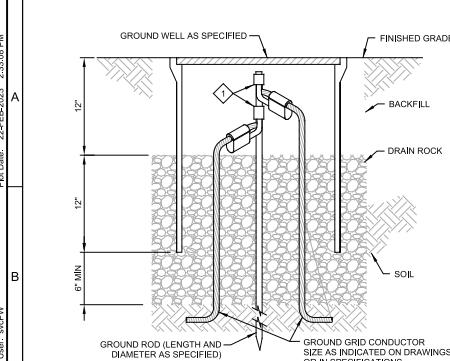




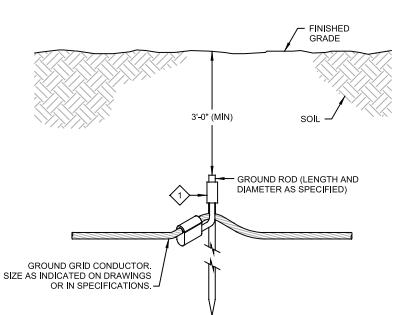


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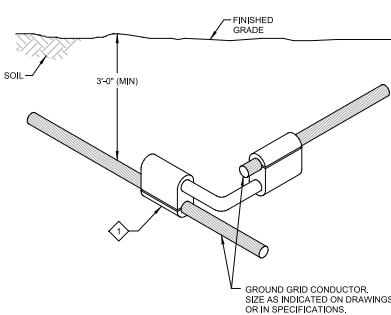




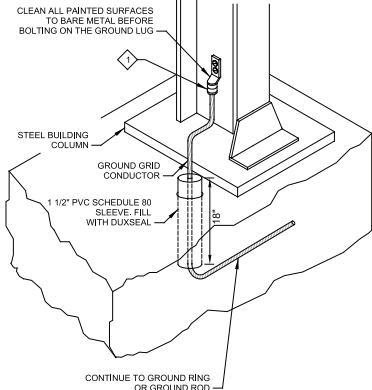
EG001 GROUND ROD AND GROUNDWELL
TYP S COMPRESSION CONNECTION



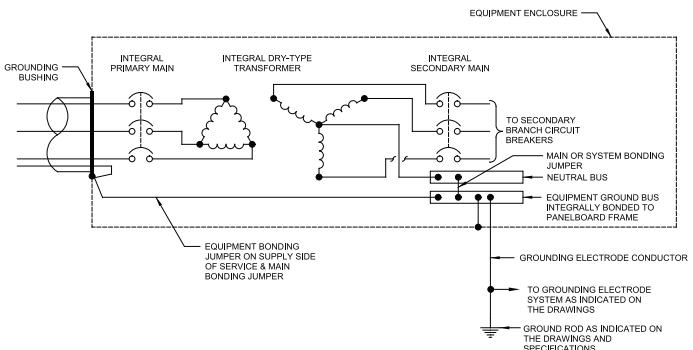
EG002 GROUND ROD
TYP S COMPRESSION CONNECTION



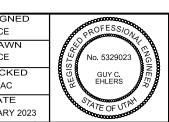
EG101 COPPER GROUNDING CABLE CONNECTION
TYP S COMPRESSION CONNECTION



EG301 BUILDING STRUCTURE GROUNDING
TYP S COMPRESSION CONNECTION

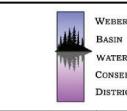


EG507 PACKAGED POWER SUPPLY GROUNDING DETAIL
TYP S



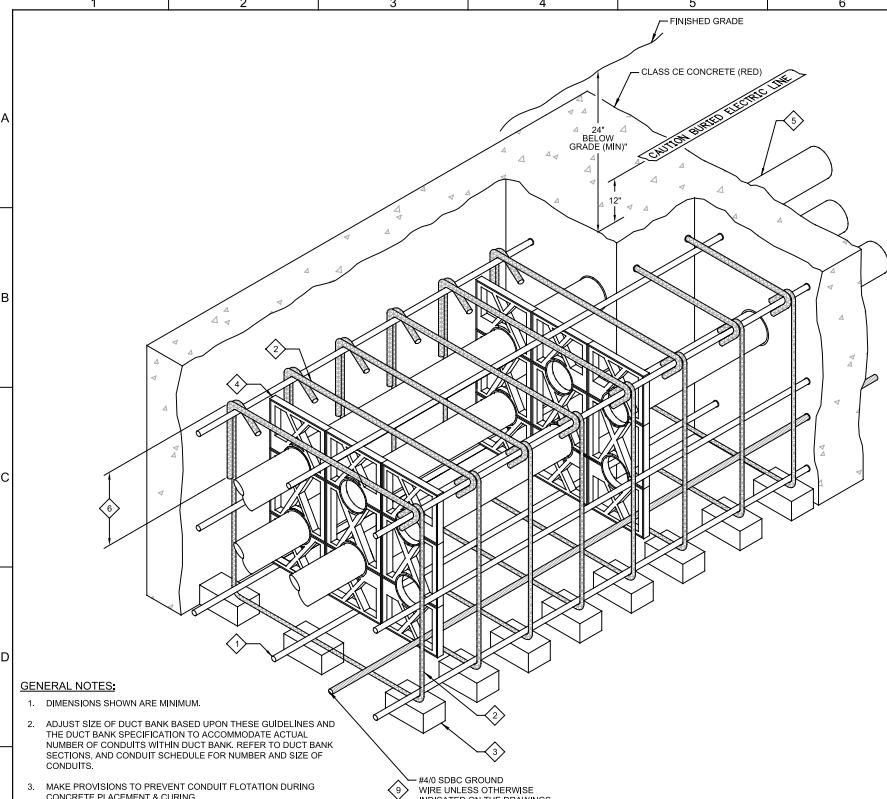
DESIGNED
CE
DRAWN
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CHECKED
CAC
DATE
FEBRUARY 2023

carollo



WEBER
BASIN
WATER
CONSERVANCY
DISTRICT
DAVIS SOUTH WTP PAC FEED PROJECT
TYPICAL DETAILS
ELECTRICAL 1

VERIFY SCALES
JOB NO.
201237
DRAWING NO.
TE01
SHEET NO.
41 OF 46
BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY

**GENERAL NOTES:**

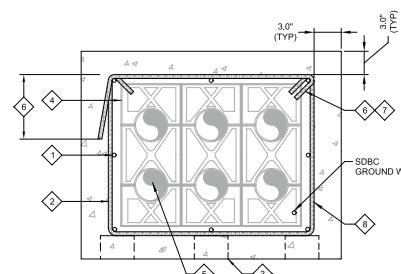
1. DIMENSIONS SHOWN ARE MINIMUM.
2. ADJUST SIZE OF DUCT BANK BASED UPON THESE GUIDELINES AND THE DUCT BANK SPECIFICATION TO ACCOMMODATE ACTUAL NUMBER OF CONDUITS WITHIN DUCT BANK. REFER TO DUCT BANK SECTIONS, AND CONDUIT SCHEDULE FOR NUMBER AND SIZE OF CONDUITS.
3. MAKE PROVISIONS TO PREVENT CONDUIT FLOTATION DURING CONCRETE PLACEMENT & CURING.

KEY NOTES:

1. #4 REINFORCING STEEL TIES MAXIMUM 12' ON CENTER AROUND ENTIRE PERIMETER OF DUCT BANK.
2. #4 REINFORCING STEEL TIES MAXIMUM 24' ON CENTER ALONG LENGTH OF DUCT BANK.
3. MINIMUM OF TWO PRECAST CONCRETE BAR SUPPORTS PLACED UNDER A TIE AT EACH PVC CONDUIT SPACER ALONG LENGTH OF DUCT BANK. PROVIDE PRECAST BAR SUPPORTS AT INTERVALS OF 24' TO REDUCE DEFLECTION.
4. PVC CONDUIT SPACERS ON 8'-0" CENTERS (MAXIMUM), LOCATE 12' FROM TIES.
5. REFER TO DUCT BANK SECTIONS AND SPECIFICATIONS FOR CONDUIT REQUIREMENTS.
6. 1-4" OR 135 DEGREE HOOK FOR SHALLOW DUCT BANKS SHALLOWER THAN 21".
7. CONTRACTOR'S OPTION TO PROVIDE 1-4" LAP LENGTH EACH SIDE OF HORIZONTAL TIE.
8. LOWER PORTION OF TIES COULD BE U-BARS IF UPPER PORTIONS PROVIDES 1-4" VERTICAL LEGS EACH SIDE.
9. BOND THE DUCT BANK GROUND WIRE TO THE GROUNDING SYSTEM AT BOTH ENDS OF THE DUCT BANK.

EM001 REINFORCED CONCRETE DUCT BANK

TYP S

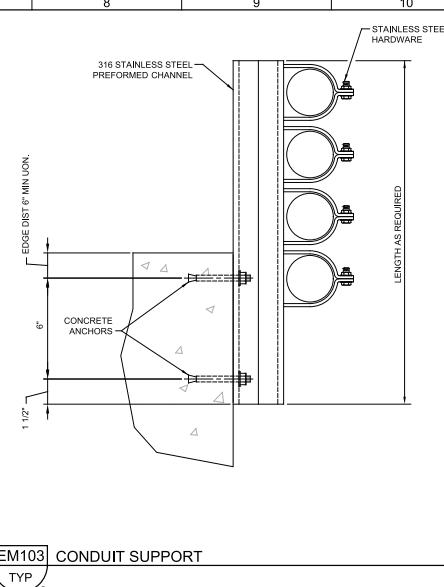


DESIGNED CE	DRAWN CE	CHECKED CAC	DATE FEBRUARY 2023

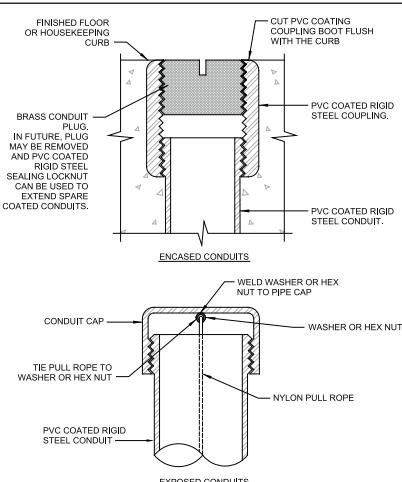
GUY C. SALTER, P.E.

No. 5329023

STATE OF UTAH

**EM103 CONDUIT SUPPORT**

TYP S

**GENERAL NOTES:**

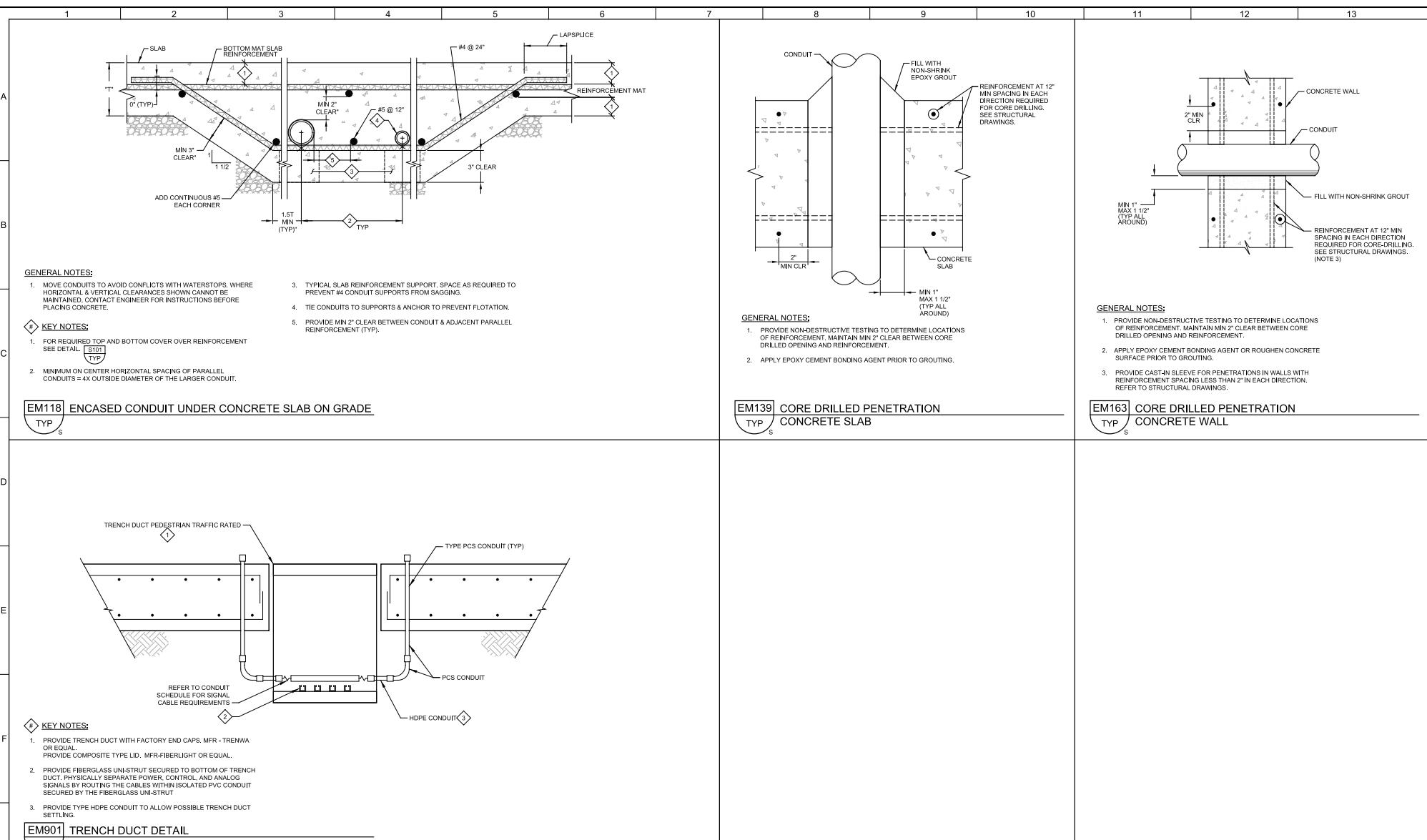
1. PROVIDE 2" MIN CLEAR BETWEEN ADJACENT CONDUITS

EM105 SPARE CONDUIT DETAIL

TYP S

 WEBER BASIN WATER CONSERVANCY DISTRICT	WEBER BASIN CONSERVANCY DISTRICT
	DAVIS SOUTH WTP PAC FEED PROJECT
	TYPICAL DETAILS ELECTRICAL 2

VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1"	JOB NO. 201237
DRAWING NO. TE02	
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	SHEET NO. 42 OF 46



WEBER BASIN CONSERVANCY DISTRICT

DAVIS SOUTH WTP PAC FEED PROJECT

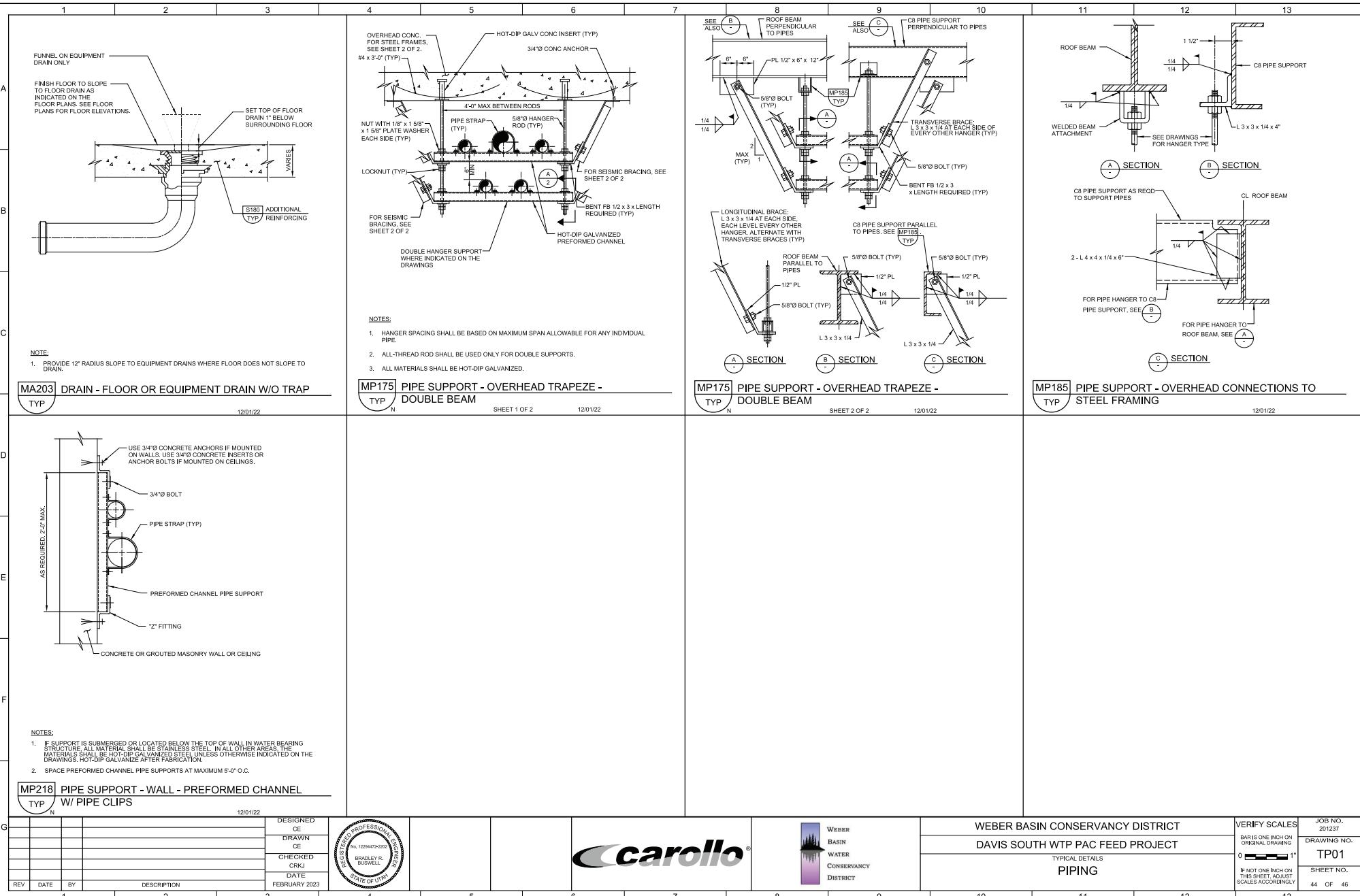
TYPICAL DETAILS

ELECTRICAL 3

VERIFY SCALES
BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"

IF NOT ONE INCH IN
THIS SHEET, ADJUST
SCALES ACCORDINGLY

JOB NO.
201237
DRAWING NO.
TE03
SHEET NO.
43 OF 46



carollo



WEBER BASIN CONSERVANCY DISTRICT

DAVIS SOUTH WTP PAC FEED PROJECT

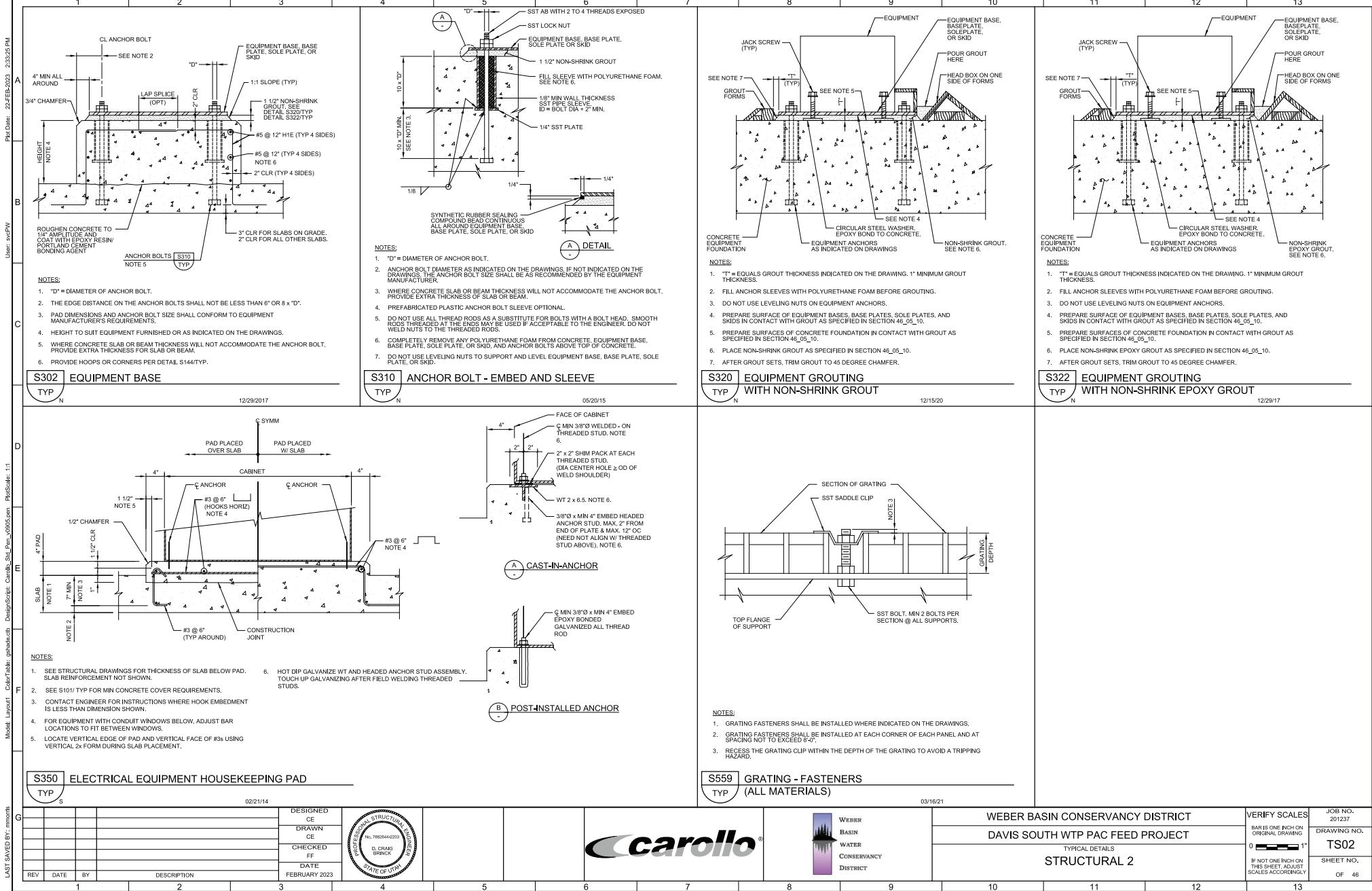
TYPICAL DETAILS

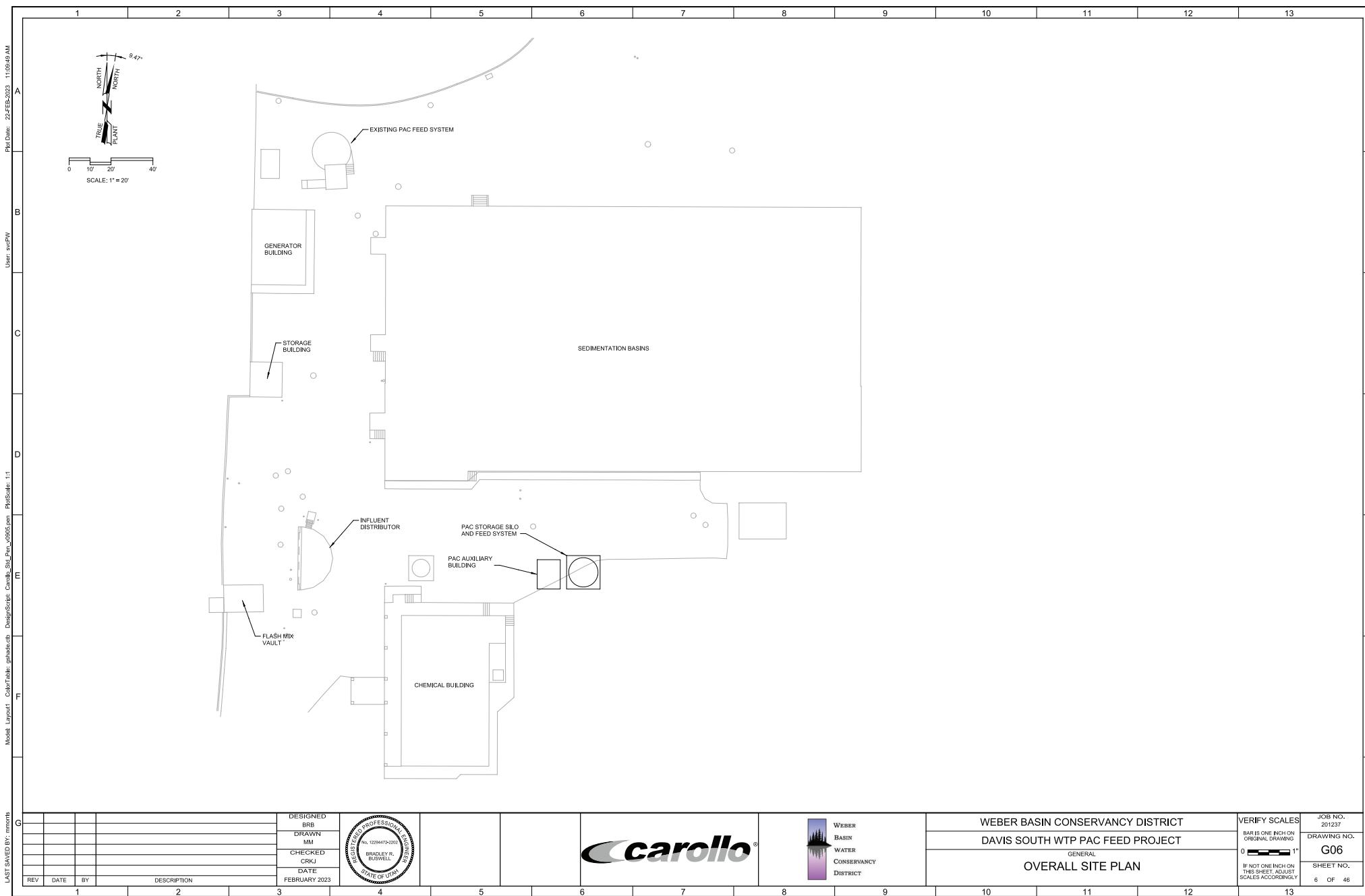
PIPING

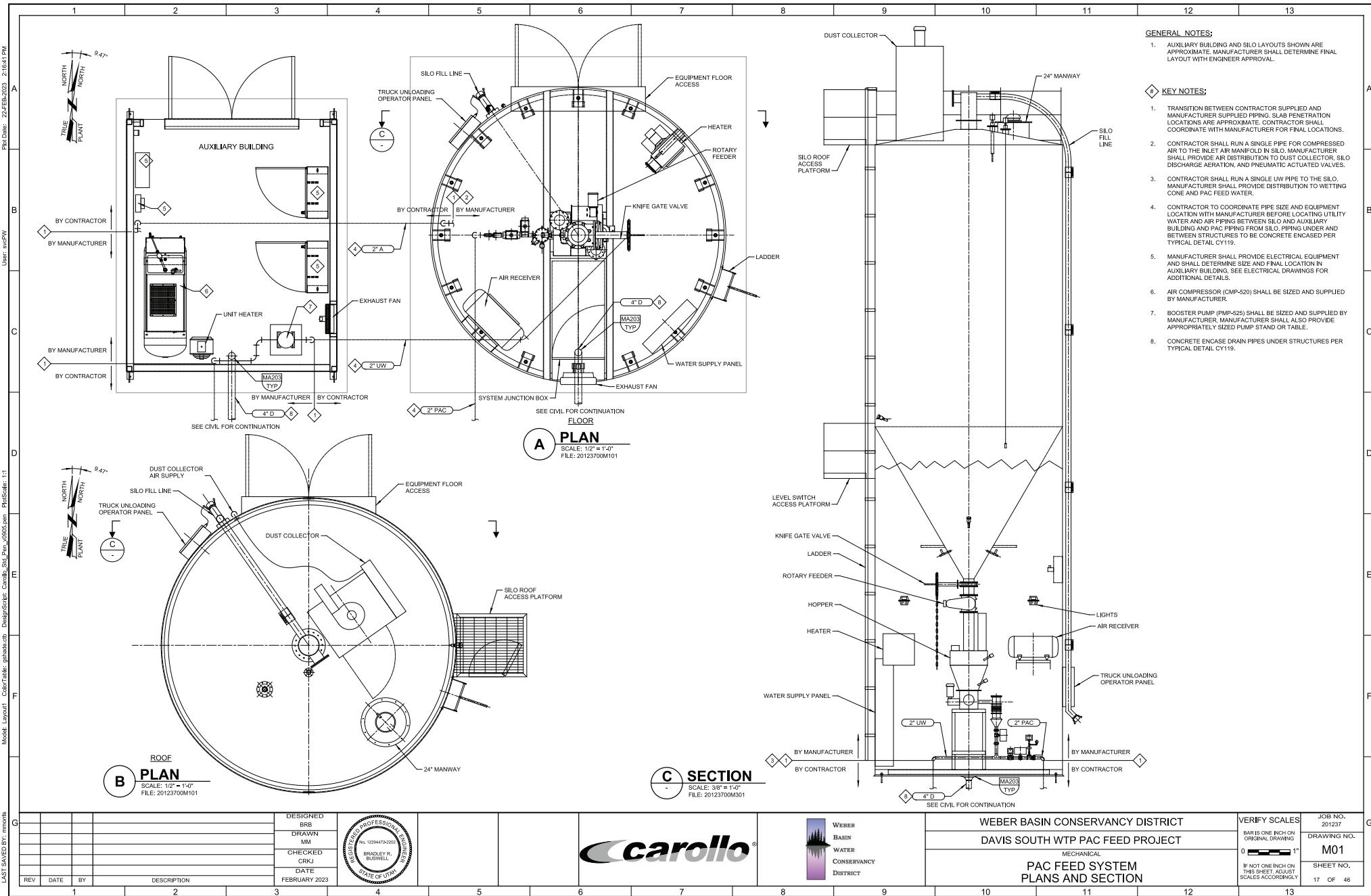
VERIFY SCALES
BAR IS ONE INCH ON
ORIGINAL DRAWING
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IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY
44 OF 48

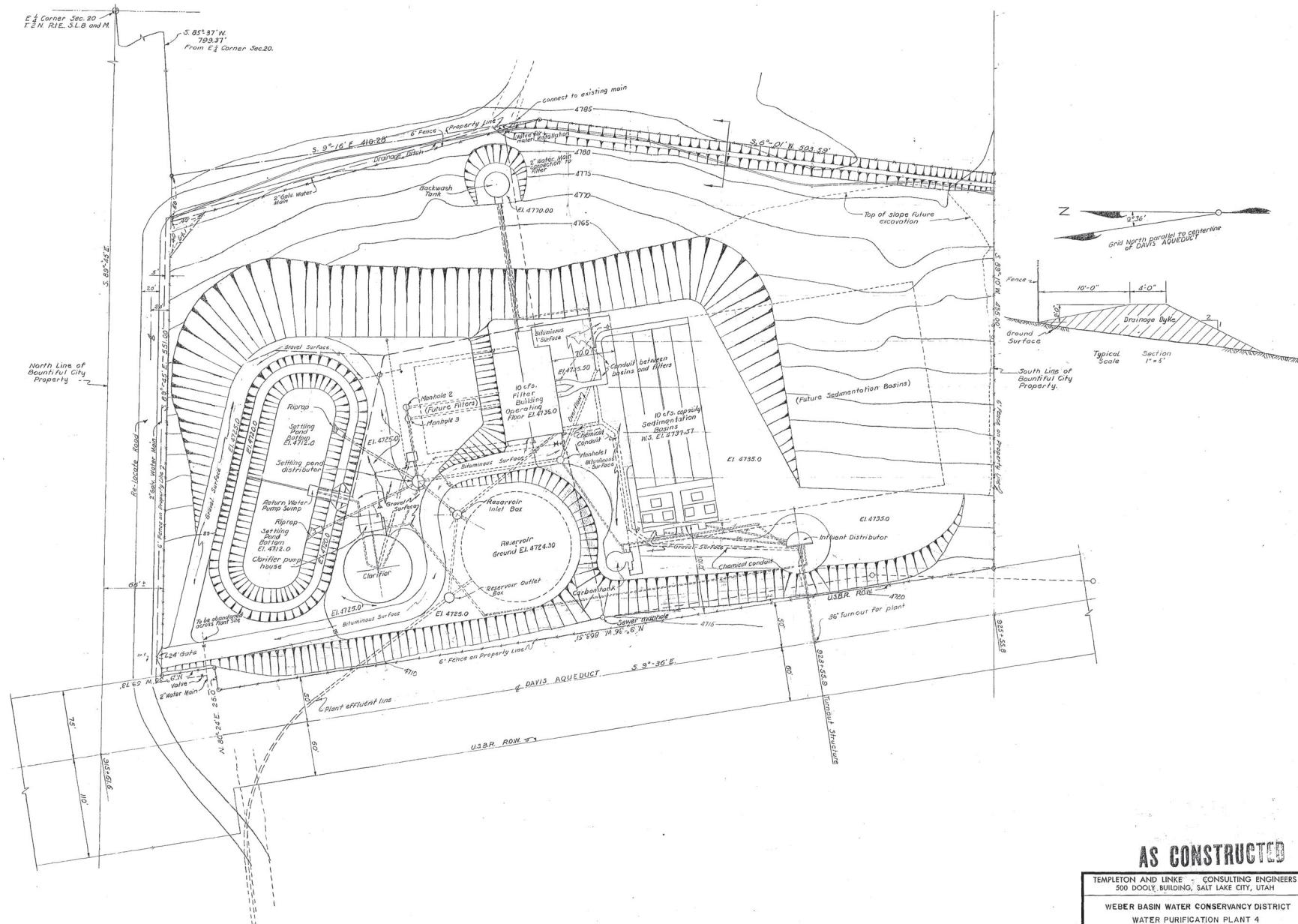
JOB NO.
201237
DRAWING NO.
TP01
SHEET NO.
44 OF 48

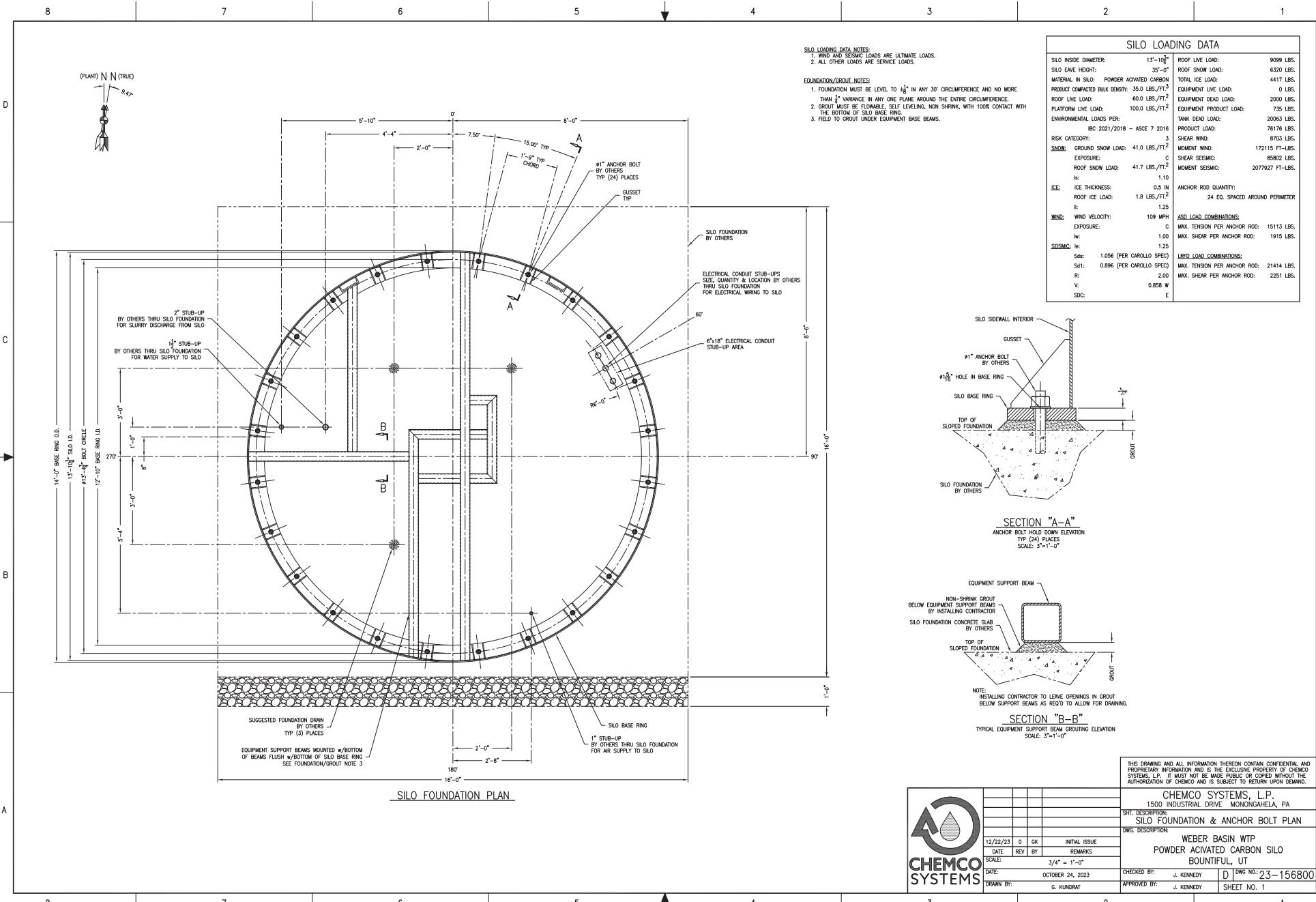
1	2	3	4	5	6	7	8	9	10	11	12	13																																																																																							
<p>1. SEE DIVISION 03 SPECIFICATION FOR REQUIREMENTS FOR CONCRETE CONSTRUCTION.</p> <p>2. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, MINIMUM REINFORCEMENT OF CONCRETE WALLS OR SLABS SHALL BE AS FOLLOWS. CONTACT ENGINEER FOR LOCATIONS INSIDE CONCRETE.</p> <p>10' THICK OR LESS:#6 @ 12" EACH WAY. MORE THAN 10' THICK:#6 @ 12" EACH WAY, EACH FACE.</p> <p>3. WHERE REINFORCEMENT AT CORNERS OR JUNCTURES OF WALLS IS NOT CONTINUOUS, LAP-SPliced OR TERMINATED IN AN ACI STANDARD 90 DEGREE HOOK. SEE DETAIL S144/TYP.</p> <p>4. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, DOWELS BETWEEN ADJACENT CONCRETE PLACEMENTS SHALL BE THE SAME SIZE AND SPACING AS THE REINFORCEMENT WHICH IS SPliced TO THE DOWELS.</p> <p>5. SLAB, BEAM AND COLUMN REINFORCING BARS SHALL HAVE A MINIMUM EXTENSION OR ANCHORAGE INTO SUPPORTS IN ACCORDANCE WITH ACI 318 AND ACI 350.</p> <p>6. PROVIDE STIRRUP SPACES SHALL BE TO SECURE TOP BARS AGAINST DISPLACEMENT AS REQUIRED.</p> <p>7. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, CONCRETE COVER OVER #11 AND SMALLER REINFORCING BARS SHALL BE AS FOLLOWS:</p> <p>A. SLABS AND JOINTS: FORMED CONCRETE SURFACES AND UNFORMED TOP SURFACES FOR DRY CONDITIONS: #7 BARS AND SMALLER.....1" #8 BARS AND LARGER.....1 1/2"</p> <p>FORMED CONCRETE SURFACES AND UNFORMED TOP SURFACES EXPOSED TO WEATHER, IN CONTACT WITH SOIL OR FLUIDS, OR LOCATED OVER FLUIDS:.....2"</p> <p>B. BEAMS AND COLUMNS: FORMED CONCRETE SURFACES FOR DRY CONDITIONS: STIRRUPS, SPIRALS AND TIRES.....1 1/2" PRINCIPAL REINFORCEMENT.....2"</p> <p>FORMED CONCRETE SURFACES EXPOSED TO WEATHER, IN CONTACT WITH SOIL OR FLUIDS, OR IN BEAMS LOCATED OVER FLUIDS: STIRRUPS AND TIRES.....2" PRINCIPAL REINFORCEMENT.....2"</p> <p>C. WALLS: FORMED CONCRETE SURFACES FOR DRY CONDITIONS: #7 BARS AND SMALLER.....1" #8 BARS AND LARGER.....1 1/2"</p> <p>FORMED CONCRETE SURFACES EXPOSED TO WEATHER, OR IN CONTACT WITH SOIL OR FLUIDS:.....2"</p>																																																																																																			
<p>D. FOOTINGS AND SLABS ON GRADE: FORMED VERTICAL CONCRETE SURFACES.....2" AT UNFORMED CONCRETE SURFACES CAST AGAINST SOIL, ROCK, OR CONCRETE WORK MATS.....3" TOP SURFACE OF FOOTINGS AND SLABS.....SAME AS SLABS</p> <p>E. WATERSTOP:</p> <p>A. PROVIDE WATERSTOP AT JOINTS IN SLABS AND WALLS OF LIQUID-CONTAINING STRUCTURES, AND PORTIONS OF STRUCTURES BELOW THE DESIGN GROUNDWATER LEVEL. MAKE WATERSTOP CONTINUOUS THROUGH STRUCTURE, SPlicing WATERSTOP IN ACCORDANCE WITH ACI 350.</p> <p>B. END WATERSTOP 3" BELOW TOP OF WALL, WHERE TOP OF WALL IS COVERED BY A SLAB WITHOUT BEAM, CONTINUE WATERSTOP TO WALL-SLAB JOINT, WHERE TOP OF WALL IS COVERED BY A SLAB WITH WATERSTOP. MAKE WATERSTOP CONTINUOUS, SPlicing WATERSTOP IN WALLS WITH WATERSTOP IN SLAB.</p> <p>F. CURE CONCRETE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. WHERE WATER CURING IS SPECIFIED, MEMBRANE CURING IS NOT ALLOWED.</p> <p>A. THE CONTRACTOR IS WARNED THAT WATER CURING IS DIFFICULT AT TIMES DUE TO WIND AND DRY CONDITIONS. STUDY SPECIFICATION REQUIREMENTS AND FURNISH ADEQUATE SYSTEMS TO PROVIDE WATER CURING WHERE REQUIRED.</p> <p>B. KEEP WATER CURED SURFACES VISIBLE MOIST AT ALL TIMES. FLOOD TOPS OF WALLS NOT LESS THAN 3 TIMES DAILY.</p> <p>G. DO NOT PLACE BACKFILL AGAINST WALLS UNTIL:</p> <p>A. WALLS HAVE BEEN CAST TO FULL HEIGHT OF STRUCTURE AND CONCRETE HAS REACHED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH (f_c).</p> <p>B. CONNECTING SLABS AND BEAMS HAVE BEEN CAST AND CONCRETE IN THOSE ELEMENTS HAS REACHED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH (f_c).</p> <p>H. LAP SPLICES:</p> <p>A. SEE TABLE 1 OF THIS DETAIL FOR LAP SPLICE LENGTHS.</p> <p>B. WHEN MULTIPLE BARS ARE SPliced AT THE SAME SECTION, THE "CLEAR BAR SPACING" IS DEFINED AS THE MINIMUM CLEAR DISTANCE BETWEEN THE BARS OUTSIDE THE BENDING RADIUS OF ONE BAR DIAMETER.</p> <p>C. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, BARS AT A LAP SPLICE SHALL BE IN CONTACT WITH EACH OTHER.</p> <p>D. "TOP BARS" ARE HORIZONTAL REINFORCEMENT AT LOCATIONS WHERE MORE THAN 12 INCHES OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE BAR.</p> <p>12. FORM EXPOSED CONCRETE CORNERS AND EDGES WITH 3/4" CHAMFER UNLESS OTHERWISE INDICATED ON THE DRAWINGS.</p>																																																																																																			
<p>TABLE 1: REINFORCING BAR LAP SPLICES: f_c = 4500 PSI, f_y = 60,000 PSI</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2">BAR SIZE</th> <th rowspan="2">MINIMUM COVER (BAR DIA)</th> <th rowspan="2">MINIMUM CLEAR BAR SPACING (BAR DIA)</th> <th colspan="2">LAP SPLICE LENGTH (INCHES)</th> </tr> <tr> <th>TOP BARS</th> <th>OTHER BARS</th> </tr> </thead> <tbody> <tr> <td>#4</td> <td>MORE THAN 1</td> <td>MORE THAN 2</td> <td>32 *</td> <td>25 *</td> </tr> <tr> <td></td> <td>MORE THAN 2</td> <td>MORE THAN 4</td> <td>20</td> <td>16</td> </tr> <tr> <td>#5</td> <td>MORE THAN 1</td> <td>MORE THAN 2</td> <td>40 *</td> <td>31 *</td> </tr> <tr> <td></td> <td>MORE THAN 2</td> <td>MORE THAN 4</td> <td>26</td> <td>20</td> </tr> <tr> <td>#6</td> <td>MORE THAN 1</td> <td>MORE THAN 2</td> <td>48 *</td> <td>37 *</td> </tr> <tr> <td></td> <td>MORE THAN 2</td> <td>MORE THAN 4</td> <td>30</td> <td>24</td> </tr> <tr> <td>#7</td> <td>MORE THAN 1</td> <td>MORE THAN 2</td> <td>70 *</td> <td>54 *</td> </tr> <tr> <td></td> <td>MORE THAN 2</td> <td>MORE THAN 4</td> <td>43</td> <td>33</td> </tr> <tr> <td>#8</td> <td>MORE THAN 1</td> <td>MORE THAN 2</td> <td>81 *</td> <td>62 *</td> </tr> <tr> <td></td> <td>MORE THAN 2</td> <td>MORE THAN 4</td> <td>50</td> <td>38</td> </tr> <tr> <td>#9</td> <td>MORE THAN 1</td> <td>MORE THAN 2</td> <td>90 *</td> <td>70 *</td> </tr> <tr> <td></td> <td>MORE THAN 2</td> <td>MORE THAN 4</td> <td>56</td> <td>42</td> </tr> <tr> <td>#10</td> <td>MORE THAN 1</td> <td>MORE THAN 2</td> <td>104 *</td> <td>81 *</td> </tr> <tr> <td></td> <td>MORE THAN 2</td> <td>MORE THAN 4</td> <td>62</td> <td>58 *</td> </tr> <tr> <td>#11</td> <td>MORE THAN 1</td> <td>MORE THAN 2</td> <td>114 *</td> <td>88 *</td> </tr> <tr> <td></td> <td>MORE THAN 2</td> <td>MORE THAN 4</td> <td>69</td> <td>54</td> </tr> </tbody> </table> <p>REINFORCING BAR LAP SPLICE TABLE NOTES:</p> <p>1. TABULATED SPLICE LENGTHS ARE APPLICABLE ONLY WHEN BOTH REQUIREMENTS FOR MINIMUM COVER AND FOR MINIMUM CLEAR BAR SPACING ARE SATISFIED.</p> <p>2. * IF THE CLEAR BAR SPACING IS LESS THAN OR EQUAL TO TWO BAR DIAMETERS, OR THE COVER IS LESS THAN OR EQUAL TO ONE BAR DIAMETER, THE LAP SPLICE LENGTH SHALL BE INCREASED BY 50 PERCENT.</p>													BAR SIZE	MINIMUM COVER (BAR DIA)	MINIMUM CLEAR BAR SPACING (BAR DIA)	LAP SPLICE LENGTH (INCHES)		TOP BARS	OTHER BARS	#4	MORE THAN 1	MORE THAN 2	32 *	25 *		MORE THAN 2	MORE THAN 4	20	16	#5	MORE THAN 1	MORE THAN 2	40 *	31 *		MORE THAN 2	MORE THAN 4	26	20	#6	MORE THAN 1	MORE THAN 2	48 *	37 *		MORE THAN 2	MORE THAN 4	30	24	#7	MORE THAN 1	MORE THAN 2	70 *	54 *		MORE THAN 2	MORE THAN 4	43	33	#8	MORE THAN 1	MORE THAN 2	81 *	62 *		MORE THAN 2	MORE THAN 4	50	38	#9	MORE THAN 1	MORE THAN 2	90 *	70 *		MORE THAN 2	MORE THAN 4	56	42	#10	MORE THAN 1	MORE THAN 2	104 *	81 *		MORE THAN 2	MORE THAN 4	62	58 *	#11	MORE THAN 1	MORE THAN 2	114 *	88 *		MORE THAN 2	MORE THAN 4	69	54
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<p>S101 REINFORCED CONCRETE NOTES</p> <p>TYP S</p> <p>SHEET 1 OF 3 03/12/19</p> <p></p> <p>S101 REINFORCED CONCRETE NOTES</p> <p>TYP S</p> <p>SHEET 2 OF 3 03/12/19</p> <p></p> <p>S101 REINFORCED CONCRETE NOTES</p> <p>TYP S</p> <p>SHEET 3 OF 3 03/12/19</p> <p></p> <p>NOTES:</p> <ol style="list-style-type: none"> BAR SPACING, AND ORIENTATION OF BAR LAYERS SHALL BE AS INDICATED ON THE DRAWINGS. AT INTERSECTION, MAKE BAR SIZE THE LARGER OF BAR SIZES IN CONNECTING WALLS. PLACE BARS IN SAME LAYERS AS AT CONNECTING WALLS (TYP). BAR TAILS: 12 BAR DIAMETERS PLUS 12". <p>S144 WALL REINFORCEMENT AT CORNERS & INTERSECTIONS</p> <p>TYP S</p> <p>SHEET 1 OF 2 05/31/16</p> <p>DESIGNED BY: D. CRAGG DRINKWATER, STATE OF UTAH</p> <p>DRAWN BY: D. CRAGG DRINKWATER, STATE OF UTAH</p> <p>CHECKED BY: D. CRAGG DRINKWATER, STATE OF UTAH</p> <p>DATE: FEBRUARY 2023</p> <p>S144 WALL REINFORCEMENT AT CORNERS & INTERSECTIONS</p> <p>TYP S</p> <p>SHEET 2 OF 2 05/31/16</p> <p>carollo</p> <p>S180 ADDITIONAL REINFORCING AT OPENINGS IN CONCRETE SLABS OR WALLS</p> <p>TYP S.N.</p> <p>WEWEBR BASIN CONSERVANCY DISTRICT</p> <p>DAVIS SOUTH WTP PAC FEED PROJECT</p> <p>TYPICAL DETAILS</p> <p>STRUCTURAL 1</p> <p>VERIFY SCALES</p> <p>JOB NO. 201237</p> <p>DRAWING NO. TS01</p> <p>IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY</p>																																																																																																			

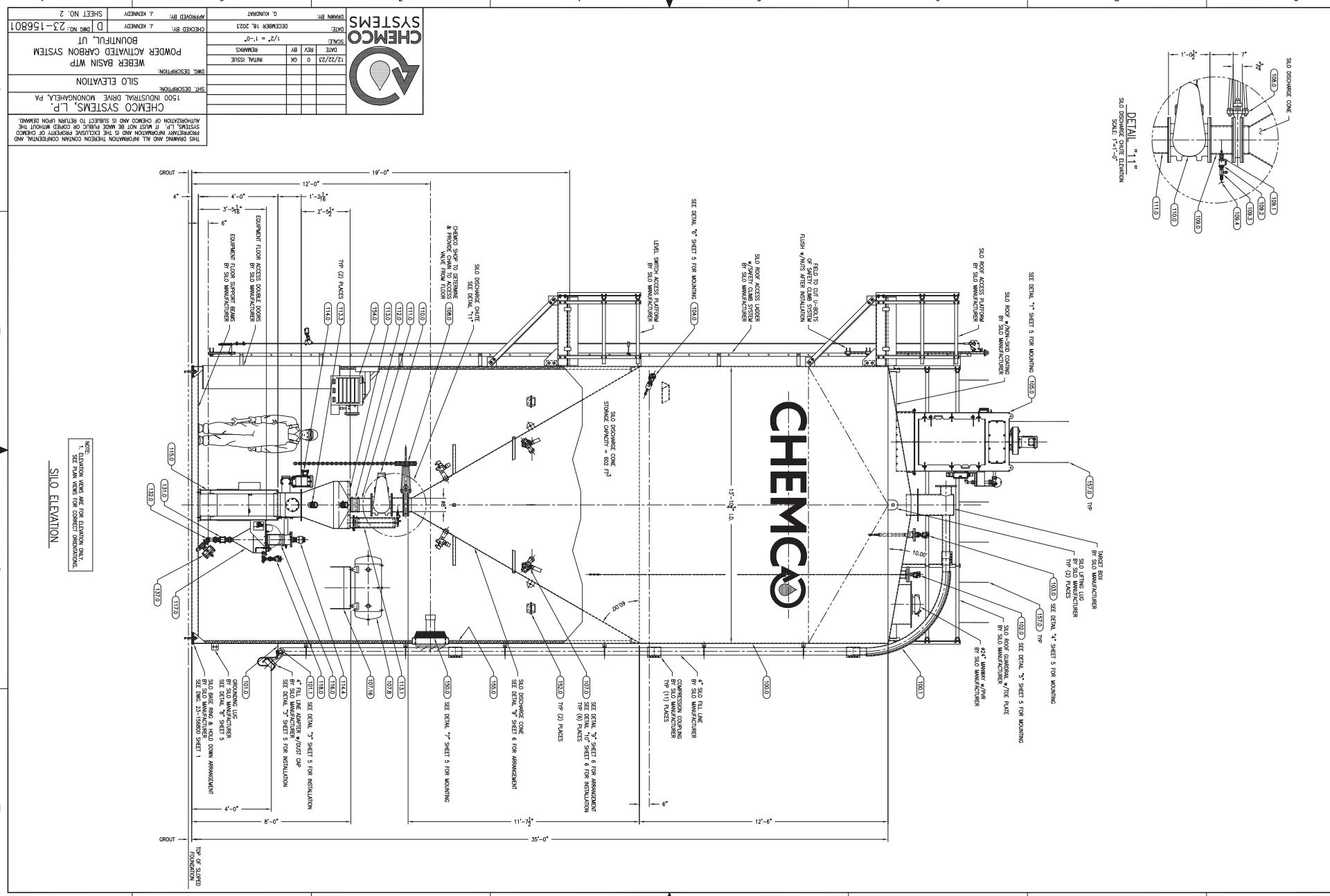


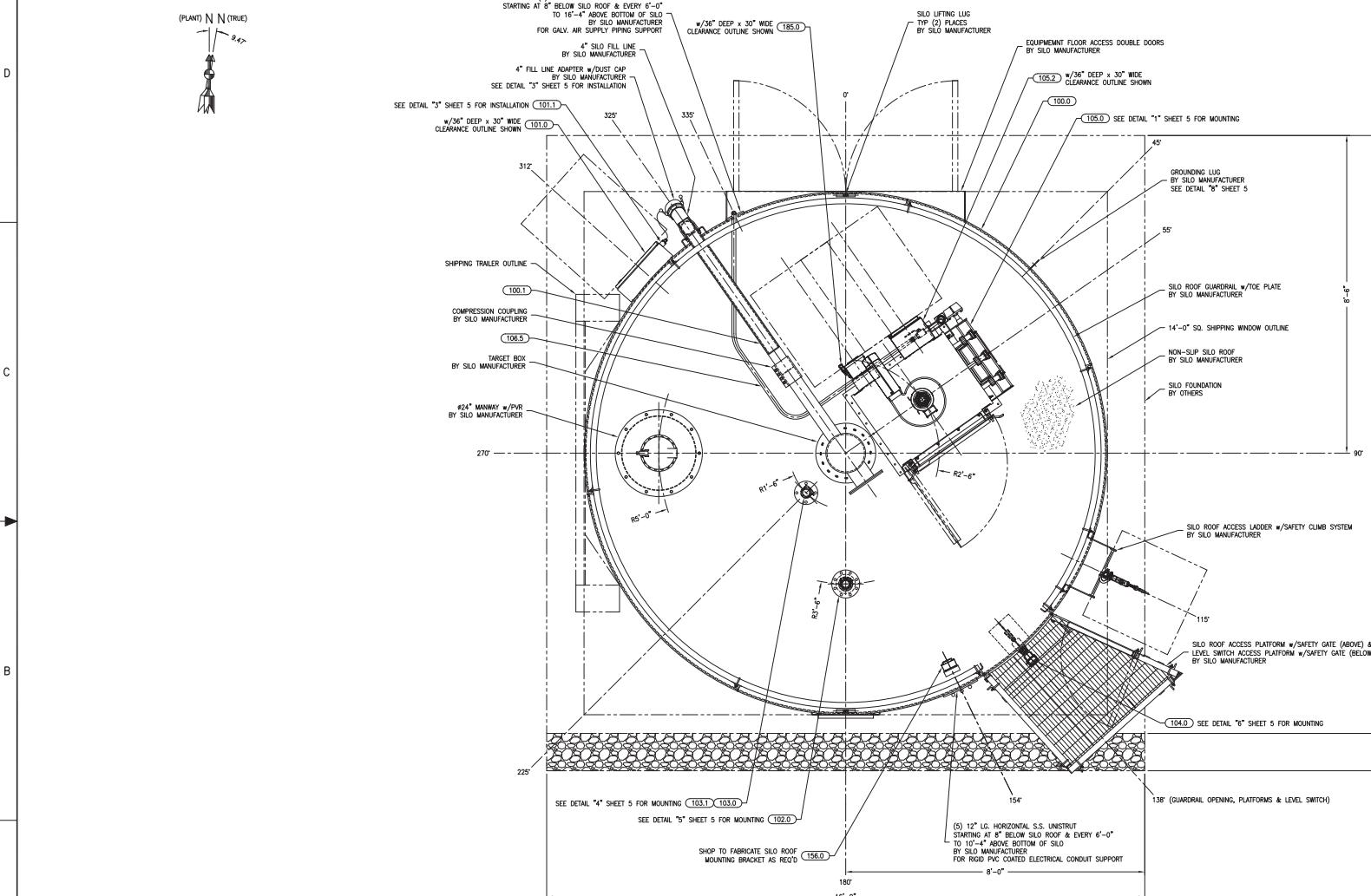












SILO ROOF PLAN



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		CHEMCO SYSTEMS, L.P. 1500 INDUSTRIAL DRIVE, MONONGAHELA, PA			
		SHR. DESCRIPTION: SILO ROOF PLAN			
		DRG. DESCRIPTION: WEBER BASIN WTP POWDER ACTIVATED CARBON SYSTEM BOUNTIFUL, UT			
12/22/23	O	OK	INITIAL ISSUE		
DATE	REV	BY	REMARKS		
SCALE:	3/4" = 1'-0"				
DRAWN BY:		NOVEMBER 29, 2023		CHECKED BY:	J. KENNEDY
DRAWN BY:		C. KUNDRAT		APPROVED BY:	D. DING NO. 23-156801
DRAWN BY:				APPROVED BY:	HEWITT SHEET NO. 3

