



**Bountiful City**  
**Planning Commission Agenda**  
**Tuesday, February 06, 2024**  
**6:30 p.m.**

**NOTICE IS HEREBY GIVEN** that Bountiful City Planning Commission will hold a meeting in the Council Chambers, Bountiful City Hall, 795 South Main, Bountiful, Utah, 84010, at the time and on the date given above. The public is invited to attend. Persons who are disabled as defined by the Americans with Disabilities Act may request an accommodation by contacting the Bountiful City Planning Office at 801-298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

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1. Welcome and Roll Call
2. Consideration to Approve the meeting minutes from January 16, 2024
  - Review
  - Action
3. Conditional Use Permit for a Tattoo Parlor at 1455 South 500 West  
*Assistant Planner Hadlock*
  - Application withdrawn
4. Conditional Use Permit for a Silo Addition for Weber Basin Water Conservancy District at 38 North Davis Boulevard  
*Senior Planner Corbridge*
  - Review
  - Public Hearing
  - Action
5. Preliminary/Final Architectural and Site Plan Review for a Silo Addition for Weber Basin Water Conservancy District at 38 North Davis Boulevard  
*Senior Planner Corbridge*
  - Review
  - Forward a recommendation to the City Council
6. Open and Public Meeting Act Training
  - City Attorney Jeppsen

7. Planning Director's report, update, and miscellaneous items
8. Adjourn



**Bountiful City**

**Draft Planning Commission Meeting Minutes**

**795 South Main Street, Bountiful UT 84010**

**Council Chambers City Hall**

**Tuesday, January 16, 2024**

**Commissioners in attendance:** Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and Richard Higginson

**Commissioners absent:** Alan Bott

**Ex Officio:** Planning Director Francisco Astorga  
Senior Planner Amber Corbridge  
City Engineer Lloyd Cheney  
City Attorney Brad Jeppson  
Recording Secretary Sam Harris

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## **Section I: Action Summary**

### **1. Welcome and Roll Call**

Chair Jacobs called the meeting to order at 6:30pm and welcomed everyone, including newly appointed member Richard Higginson (City Council) and newly hired City Attorney Brad Jeppson.

### **2. Planning Commission meeting minutes from December 6, 2023**

**Motion:** Commissioner Gilmore motioned to approve the Planning Commission meeting minutes from December 6, 2023.

**Second:** Commissioner Clark seconded the motion.

**Vote:** The motion passed unanimously (6-0).

### **3. Planning Commission meeting minutes from December 19, 2023**

**Motion:** Commissioner Gilmore motioned to approve the Planning Commission meeting minutes from December 19, 2023.

1       **Second:** Commissioner Ward seconded the motion.

2  
3       **Vote:** The motion passed unanimously (6-0).

4  
5       **4. Variance Request to construct an 8' tall precast concrete wall and gate for Dominion**  
6       **Energy's Station at 172 East 1500 South (Parcel #030420052)**

7  
8       **Presentation:** Senior Planner Corbridge presented the item.

9  
10       **Public Hearing:** Chair Jacobs opened the public hearing. Sherri Morgan, Greg Seegmiller,  
11       Rich Reader, and Trent Hodgson provided public comments. Several Dominion Energy  
12       employees provided answers and comments during the public hearing.

13  
14       **Motion:** Commission Monson motioned to approve the Variance Request with the following  
15       conditions:

- 16       • There shall be consultation and plan to be studied/approved for mitigation of the
- 17       weight on Woods Cross City waterline.
- 18       • Comply with Staff's recommendations:
  - 19           ○ Meet staff review comments.
  - 20           ○ Apply for and obtain necessary building permits.

21  
22       **Second:** Commissioner Higginson seconded the motion.

23  
24       **Vote:** The motion passed unanimously (6-0).

25  
26       **5. Eagle Ridge Drive Dedication Plat**

27  
28       **Presentation:** City Engineer Cheney.

29  
30       **Motion:** Commissioner Higginson motioned to forward a positive recommendation to the  
31       City Council as presented by Staff.

32  
33       **Second:** Commissioner Clark seconded the motion.

34  
35       **6. Planning Director's Report/Update**

36  
37       Planning Director Astorga welcomed Council member Richard Higginson to the  
38       Commission, relayed changes to the in-written approvals, and provided an update regarding  
39       the status of the General Plan update.

40  
41       **7. Adjourn**

42       Chair Jacobs adjourned the meeting at 7:14 pm.



**Section II: Verbatim Transcription**

**Lynn Jacobs**

Welcome everyone to our Planning Commission Meeting. It's great to have everyone here with us tonight. This may be one of the biggest turnouts we've had in a while so thank you, thanks for coming we love to have everyone join us. A couple of items of note. We have a new member of our commission; council member Higginson has been appointed to represent the City Council. Welcome, we're excited to have you. I understand you've served on the Planning Commission a few times before.

**Richard Higginson**

Just one time, for six years.

**Lynn Jacobs**

Well, we're excited to have you back.

**Richard Higginson**

Happy to be here.

**Lynn Jacobs**

We have a new City Attorney; would you like to introduce yourself?

**Brad Jeppson**

I'm Brad Jepps. I've been working for West Valley. I've been here for about two weeks. I'm excited to be here. I'm from Mantua up by Logan, and excited to be here.

**Lynn Jacobs**

Thank you. It's nice to have you. With that we'll move to the next agenda. We have two sets of meeting minutes to review and comment on and approve. I do have a comment on page 3, there is a typo on item six. I think it's available.

**Samantha Harris**

Okay.

**Lynn Jacobs**

Does anyone else have any comments? Would anyone like to make a motion? I think we should do this as two items. So, the motion for December 5.

**Krissy Gillmore**

I'll make a motion to approve the meeting minutes for December 5, 2023.

**Lynn Jacobs**

We have a motion. Do we have a second?

**Jim Clark**

1 Second

2  
3 **Lynn Jacobs**

4 Motion and a second. All in favor?

5  
6 **Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and**  
7 **Richard Higginson**

8 Aye.

9  
10 **Lynn Jacobs**

11 Any opposed

12  
13 **Lynn Jacobs**

14 Moving to the next agenda item which is December 19th minutes.

15  
16 **Krissy Gillmore**

17 I'll make another motion that we approve the meeting minutes for December 19, 2023.

18  
19 **Lynn Jacobs**

20 We have a motion. Do we have a second? Beverly seconds. All in favor?

21  
22 **Beverly Ward**

23 Aye.

24  
25 **Lynn Jacobs**

26 Beverly with the second. All in favor?

27  
28 **Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and**  
29 **Richard Higginson**

30 Aye.

31  
32 **Lynn Jacobs**

33 Any opposed? Passed unanimously. With that, we'll move to the next item on our agenda which  
34 is the variance request to construct an 8-foot-tall precast concrete wall and gate for Dominion  
35 Energy. Is the representative from Dominion here tonight? Excellent. At a certain point in the  
36 presentation, if you have additional comments, we'll ask you to do that. But in the meantime, our  
37 Senior Planner Amber Corbridge, take it away.

38  
39 **Amber Corbridge**

40 Okay, so, before you tonight we're looking at a variance request. The applicant is here  
41 representing Dominion Energy and they're requesting to have a variance from a wall and height  
42 fence wall height standards in the single-family residential zone R-4. The subject property is a  
43 0.2-acre parcel owned by Mountain Fuel Supply Company, located in the R-4 zone. The  
44 applicant stated that this site has a regulator station where natural gas is distributed to the  
45 surrounding community. Site improvements include newly remodeled equipment, an eight-foot-

1 high solid precast concrete wall along the North, West and South property lines and a gate along  
2 the East property line. The applicant stated that this site needs to be upgraded to a more efficient  
3 station due to the increased demand for natural gas.  
4

5 Dominion Energy is standardizing the wall fence height to be at least 8 feet high for new or  
6 remodeled stations to better mitigate the noise and disruption to neighboring properties and  
7 secure the facility. The current standards for this site require the fence and wall height to have a  
8 maximum height of six feet. The variance to this would allow for Dominion Energy to construct  
9 an eight-foot-high precast concrete wall around the property. And in the Utah Code, there are  
10 criteria that need to be met in order for you to grant this variance. The following are the criteria.  
11

12 First, literal enforcement of the ordinance would cause an unreasonable hardship for the  
13 applicant that is not necessary to carry out the general purposes of land use ordinances.  
14

15 In our response to the applicant, we said that the additional height is necessary to protect  
16 the station from intrusion and create a greater sound visual buffer between the residential  
17 and non-residential uses. The buffer standards between residential and non-residential  
18 uses is at least six feet tall and 20 feet from a public street. However, there is no clear  
19 maximum standard listed for buffers. The property is at least 20 feet from a public street.  
20 Therefore, a literal enforcement of the wall fence height meaning at least six feet tall  
21 would not allow for consideration of appropriate additional height in cases of allowed  
22 public-private utility facilities in residential zones. The proposed wall would allow for  
23 appropriate offering as required by code while providing a decorative concrete wall to  
24 provide both visual and sound buffering to the adjacent residential property.  
25

26 Second, there are special circumstances attached to the property that do not generally  
27 apply to other properties in the same zone.  
28

29 Our response is the property is considered a public-private utility facility and by nature of  
30 use unique within the zone. This use is necessary within residential zones to provide a  
31 needed service to the community. The proposed improvements will provide needed  
32 expansion of an existing utility facility.  
33

34 Third, granting the variance is essential to the enjoyment of a substantial property right  
35 possessed by other property in the same zone.  
36

37 Our response to this is utility facilities in residential zones are necessary to provide  
38 essential services. These uses by nature are unique and unlike other properties in the  
39 residential zone. The proposed variance would allow for reasonable change to the height  
40 standards for fences and walls to provide appropriate security and buffering to adjacent  
41 properties.  
42

43 Fourth, the variance will not substantially affect the general plan and will not be contrary  
44 to the public interests.  
45

1 Our response to that is the proposed variance is consistent with the general plan and is in  
2 keeping with the public's interests. Utility facilities are a necessary part of the City and  
3 provide a desired service for Bountiful City residents.

4  
5 And finally, the fifth criteria is the spirit of the land use ordinance is observed and  
6 substantial justice done.

7  
8 Our response to this is the proposal wall protect the public and utility facility by  
9 restricting access to utility equipment and facilities. The land use ordinance anticipates  
10 construction of utility facilities within residential zones. The proposed variance would  
11 allow for the needed regulator station to upgrade and continue efficient use of the site  
12 while providing adequate buffering between uses. As a condition of approval Staff  
13 recommends that plans meet all department review comments and the applicant apply for  
14 and obtain any necessary building permits. There are no significant impacts with this  
15 variance request as it is to upgrade and improve an existing utility facility. The existing  
16 chain link fence would be replaced with a more secure, durable and visually appealing  
17 wall.

18  
19 Based on an analysis of the required criteria from state code, including the findings that  
20 we just mentioned. Staff recommends the Planning Commission review this requested  
21 variance, hold a public hearing and grant the variance to allow for an eight-foot-high  
22 precast concrete wall surrounding the property for an existing utility facility subject to  
23 meet and Staff review comments and apply for and obtain necessary building permits.  
24 Any questions for Staff?

25  
26 **Lynn Jacobs**

27 Thank you, Amber. Does anyone have any questions?

28  
29 **Sean Monson**

30 Yeah, I have a couple. I'm a little bit confused reading your Staff report. Is the current standard  
31 up to six feet or is it limited to six feet?

32  
33 **Amber Corbridge**

34 So, there's two codes we're looking at, the first is in the residential zone, we have a maximum  
35 fence height of six feet. That's the variance we are looking at tonight. The other is a buffering  
36 standard for uses between commercial and residential which, you know, has to be at least six feet  
37 so there's no room for it to be greater than six with buffering if it's in a residential zone. Does that  
38 make sense?

39  
40 **Sean Monson**

41 Yeah. And the next question, I don't know if you are supposed to answer this or our new City  
42 Attorney. As you look at this element number two, there are special circumstances attached to  
43 property that not generally apply to other properties the same area. And I admit I have been  
44 variance grinch and I freely acknowledge that, but I want to make sure that we're complying and  
45 following the law. I mean, it seems to me that what we're saying is it makes this unique property

1 is the use not the topography or the geographic layout. It's the use. That can't be the way the code  
2 is interpreted, and Utah code, can it? I mean it can't be that the use is unique, and it has to be that  
3 the property is unique.

4  
5 **Amber Corbridge**

6 It's a unique use in the zone and so it should be treated differently, but we don't exactly have a  
7 standard for fence height, you know, for this type of use. It's very specific and unique.

8  
9 **Sean Monson**

10 When you look at these variances. I mean, this always seems to be the issue that we're grappling  
11 with. And I guess I look for a deeper understanding from you or our City Attorney. Is that the  
12 geographic topography that has to be unique? Or is it the use of has to be unique or the  
13 contemplated use that has to be unique because it's contemplated use that has to be unique, this  
14 seems like the standard.

15  
16 **Brad Jeppson**

17 It's not just the contemplated use. We're talking about the property. We're talking about all  
18 elements in this. In this example, we have a permitted use or a conditional use in a non-  
19 conditional zone so in this we're not just looking at the type of property or the activity. We're  
20 talking about what has been allowed on this property and what is currently being allowed on this  
21 property as we go along. We say it's a unique, this is an R-4 zone. This is not an R-4 activity, but  
22 it's permitted R-4 activity in the whole state and our City. This would be no different from our  
23 own sites in our same zones, water or power, transformer. Same thing, whether they are allowed  
24 it in the zone they're unique to the R-4 zone.

25  
26 **Lynn Jacobs**

27 It does feel like this site is a little unique in terms of where it is. It's not like fronting the street.  
28 It's like set back. It's almost like a flag lot. Where it's not, I don't know if there's a lot of other  
29 parcels in the City that are like this. It's very unique in that in that topography. That makes sense.  
30 I wonder if that helps.

31  
32 **Francisco Astorga**

33 If I may, in addition to what Amber, just wanting to point out the state criteria. There are special  
34 circumstances attached to the property that do not generally apply to other properties in the same  
35 zone. We are looking at it holistically as both the conditions of the site and also the use.

36  
37 **Sean Monson**

38 I think that the wording, special circumstances, does give us some wiggle room.

39  
40 **Lynn Jacobs**

41 I really appreciate this discussion, because a lot of times someone might come in asking for  
42 variance to offset some special circumstances that they even self-create which is not really what  
43 we're after. Good conversation.

44  
45 **Beverly Ward**

1 How long has the site been used by Dominion Energy?

2  
3 **Francisco Astorga**

4 I do not have that information.

5  
6 **Caroline King (Dominion)**

7 1950's, that's when we were granted the property.

8  
9 **Beverly Ward**

10 Is that about when the homes were built in area too, kind of grew up together.

11  
12 **Lloyd Cheney**

13 Most of the homes were built in the early 60s.

14  
15 **Beverly Ward**

16 It may even been there before the homes were there.

17  
18 **Lynn Jacobs**

19 I had a question; I was looking through the designs and I see the elevation of the wall. What is  
20 the gate reflect? Does it look like the wall? I am having a hard time seeing that in the plans.

21  
22 **Amber Corbridge**

23 So, I believe on page 31 of the packet you can see elevation details of the gate.

24  
25 **Lynn Jacobs**

26 So, it's still chain link, the gate?

27  
28 **Amber Corbridge**

29 Yes.

30  
31 **Lynn Jacobs**

32 With kind of security wiring on top? Is it six or is it eight?

33  
34 **Amber Corbridge**

35 That one is showing seven plus one.

36  
37 **Lynn Jacobs**

38 Hoping to understand what were getting. Any other questions for Staff? Does the applicant have  
39 anything to add that may have not brought up yet before we open our public hearing.

40  
41 If you can come up to the podium and turn on the mic so it gets recorded.

42  
43 **Caroline King (Dominion)**

44 We are doing actually three sides in the precast wall. So we're doing the north side, the west side,  
45 and the south side in the precast 8-foot.

**Lynn Jacobs**

Thank you. Okay, well with that we will be opening this to a public hearing and this is a variance request which is a legislative item for us which is a really unique as a Planning Commission that we handle this we get to decide yes or no. This is our decision not City Council.

**Francisco Astorga**

Mr. Chair, a quick correction, not the legislative, it is quasi-judicial item. Sorry about that. Thank you.

**Lynn Jacobs**

Thank you for the correction. I spoke too quickly. But we are the deciding body on this matter. And so as you would like to make a comment, come up to the podium, state your name, state your address, and address your comments to us as your Planning Commission not the Staff or the applicant. After we close the public hearing if we want to we can bring questions back to them for more discussion and debate about this item but we would love to hear your comments and so we would love to open this public hearing for you. Come on up.

**Sherri Morgan**

I'm Sheri Morgan. I live at 190 East 1500 South which was built in the thirties. And I was glad to read the application that has been submitted to see that there are multiple references to noise abatement. Many of the neighbors who live around this property and become very concerned about the noise just recently as we've been looking at the issue of this wall until the upgrades have been put in this summer we had never had a problem with noise coming from this property. But it has become a significant issue since the upgrades. And I'm aware this is a meeting about a wall variance. But I actually think these issues are tied together. And some of us have a proposed solution that ties these issues together.

So we're looking at Utah Code 10-9A-702. I want to look to the last of the five factors, subsection 2A-5, which is a catch all that a variance can only be granted if the spirit of the land use ordinance is observed and substantial justice is done. This catch all does not specifically tie to the variance of like the other four of the other five, and it's the substantial justice that I think is how we tie the noise problem in. So, obviously this is a residential neighborhood. And once these upgrades have been in place, there was noise that was going 24-7. And we actually had somebody who measured decibels, I wasn't the so I'm not going to speak to it, but it was quite loud, and it took several weeks before we can get someone at Dominion to come and even look at it and talk to us about it. It was a while I think that there's somebody that we know addresses the problem who won't speak to anyone from the neighborhood on the phone. Normally, we don't have any leverage when dealing with a big company like Dominion. We're in a really unique position because right now there's something that Dominion wants, and there's something that we want. And I think that you're in a position to help everyone.

I think that this variance should be made contingent on addressing the noise problem and I think that we need to have acoustical analysis done to determine what is the proper noise mitigation. There are some issues with this wall as proposed and the first most glaringly obvious issue I see



1 is that there are three concrete walls to help with noise abatement and then there's one chain like  
2 fence, and the property to the East of that is in an unfortunate position where there will be no  
3 noise abatement for property is directly East where there's a chain link fence. In fact, unless I'm  
4 really confused about how sound waves works, it's going to be amplified the property to the East.  
5 So, that's a concern just right off it is with the wall as proposed.

6  
7 **Sean Monson**

8 Can I ask you one quick question? What is the address of the residence?  
9

10 **Sherri Morgan**

11 190 East is the residence East of that.  
12

13 **Sean Monson**

14 So it's your house that's directly East?  
15

16 **Sherri Morgan**

17 It is. Another problem that I see with this wall with noise abatement and I understand that's not  
18 the only purpose of the wall, but that is something that was put into this application. Sorry, I feel  
19 like it's a little bit fair game is that the wall is some 40 feet away from the exposed pipe fitting  
20 used to be exposed pipe. That's a new feature of the upgrade. There used to be a concrete  
21 structure around pipe, not just sides but a lid and I don't know if it's the upgrade or the removal  
22 of concrete structure that sounds like something and acoustical analysis could help us with but  
23 certainly having walls that far away, for noise abatement seems problematic when there's an  
24 exposed pipe there might be a better solution would be to tie the variance with putting some sort  
25 of better insulation around the actual pipe. Dominion is a large corporation, we want to be able to  
26 work with them, we want to have their service this year. But we're concerned about our  
27 enjoyment of our property, getting concerned about our property values, if this was to go back to  
28 the 24-7 noise that it had been at and I think substantial justice would be to tie these issues  
29 together and to make sure that the variance has to do with the noise problem. I understand that  
30 Dominion cares about security also we care about security, too. I think that was a great point. But  
31 there's nothing so urgent about security, that this can't be paused and addressed with noise before  
32 a variance is granted or not granted. I say this because right now there's a foot wide gap in the  
33 fence and it's been there for nine months and it's not onto a private property. It's onto the public  
34 access road it goes back so it's not secure and it hasn't been secure. And while we'd all like it to  
35 be secured, this isn't an urgent thing. So, I just want to suggest a solution that requires three  
36 things: that would be to defer a decision tonight about this variance; to require acoustic analysis  
37 to see about what would actually mitigate the noise; and make having that done be a requirement  
38 before the variance.  
39

40 And I also think it would be important to prescribe a specific decibel level and just looking at the  
41 Bountiful City ordinance. It's defined as quiet. I think that is generally forty decibels. And so  
42 that's what some of us in the neighborhood would be asking that you do.  
43

44 **Lynn Jacobs**



1 I have a follow-up question for you. So, you said there was 24/7 really loud, what are the  
2 conditions like now is it still like that or better or worse?

3  
4 **Sherri Morgan**

5 It has gotten better. It has been shut down to run at certain times and I'm not the right person to  
6 answer this because I'm very often gone at times when it's running, but I know that there's  
7 someone in the neighborhood who's actually been measuring the decimals and the times who can  
8 answer that, and I think he's here and will be addressing you.

9  
10 **Lynn Jacobs**

11 Thank you.

12  
13 **Sherri Morgan**

14 Thank you so much.

15  
16 **Lynn Jacobs**

17 Thanks for coming.

18  
19 **Greg Seegmiller**

20 My name is Greg Seegmiller. I'm the City Engineer for Woods Cross City. I live in Roy, Utah.  
21 Do you need the full street address?

22  
23 **Brad Jeppson**

24 Yeah, I think we need it for the record for tracking folks.

25  
26 **Greg Seegmiller**

27 I'm just a consulting City Engineer for Woods Cross. My address 5902 South 4150 West. Woods  
28 Cross City of course it owns the property to the South and to the East of this parcel. We received  
29 information about this public hearing tonight and Woods Cross City has had their tanks there. I  
30 don't know how long but there is a water line. As far as I can tell, a fairly large water line that  
31 goes right underneath the fence on the South side of the Dominion Energy parcel. We're  
32 concerned about a heavy concrete wall that will be placed on top of that and we would propose  
33 working with them to either relocate the wall or change the weight of the wall that would pose a  
34 problem to our water line.

35  
36 **Jim Clark**

37 The weight of the wall could cause damage to the waterline.

38  
39 **Greg Seegmiller**

40 Potentially, yeah.

41  
42 **Jim Clark**

43 How far down or under is the waterline?

44  
45 **Greg Seegmiller**

1 We don't know.

2  
3 **Sean Monson**

4 This is a waterline that serves Woods Cross?

5  
6 **Jim Clark**

7 Yeah.

8  
9 **Greg Seegmiller**

10 All those things on the property service Woods Cross City. So anyway, I just would like to have  
11 that opportunity to work with them on a possible change in the wall or material.

12  
13 **Richard Higginson**

14 Mr. Chairman, I have a question.

15  
16 **Lynn Jacobs**

17 Yeah.

18  
19 **Richard Higginson**

20 Is there a design that spans the pipeline that you'd be comfortable with? With a concrete wall was  
21 domination on each side?

22  
23 **Greg Seegmiller**

24 The pipeline is parallel to property.

25  
26 **Lynn Jacobs**

27 Do you know the diameter? How big is your waterline?

28  
29 **Greg Seegmiller**

30 Oh, I believe the 16 inch. So, it's good size pipeline.

31  
32 **Lynn Jacobs**

33 It runs parallel to the proposed wall,

34  
35 **Greg Seegmiller**

36 I have information on GIS that I'm happy to share with you.

37  
38 **Lynn Jacobs**

39 Thank you for comment, sir.

40  
41 **Rich Reader**

42 Thanks for this opportunity. My name is Rich Reader. I live at 120 East 1500 South. My house is  
43 one of the houses that's affected by this. It's actually affecting the entire block from about 75  
44 East to about 195 East and 1500 South to 1600 South. It's very, very loud. The application touch  
45 that we kind of had, you know a brief summary of the application in that application touches

1 about the enjoyment and the neighborhood quiet of the wall. I'm a little concerned there was a  
2 statement in there that says the wall will be an adequate buffer. As charities filled out a lot of our  
3 concerns very well. And one them, this wall is relatively very short. Compared to the distances  
4 from noise sources. So when the voice hits the wall I don't think there's much attenuation that we  
5 will see from the wall within six feet. I'm a mechanical engineer, I designed systems that often  
6 include outdoor equipment that's noisy, breeding project or concern for affected neighborhood.  
7 We always consult with acoustical engineers, and they provide solutions of what we should  
8 incorporate into our projects and I think that's what's required here is good acoustical analysis.  
9 I'm worried with this variance is approved every everybody will say oh, with 8-foot-walls all we  
10 need. We hope it'll work. We wish it'll work. We think it'll work. I've heard all these kinds of  
11 comments. Nobody knows for sure and just doesn't seem in my experience that is adequate for  
12 the noises that we've been subject to. Now I've been recording the noise. A Dominion employee  
13 after we really, really complained. One of our neighbors had a Facebook going. Finally they sent  
14 about two weeks later, a Dominion employee who came out and took sound, interesting he was  
15 wearing ear protection and a few hours later it was turned off. And then a few days later it  
16 resumed operation at a much lower capacity and kind of early morning hours of the day. That's  
17 been so-so acceptable, you know, 24/7 was just horrible. But Dominion hasn't told us what's their  
18 future plan. Do they intended crank backup to 24/7 once they get your wall? Is there some  
19 schedule that they're only going to run it in the winter? Early morning? We have no idea, that  
20 they're explaining that this is this work was done because the increase gas demand. So if they  
21 crank it back up to where it was our neighborhoods got a big problem.

22  
23 **Lynn Jacobs**

24 Thank you. Any additional comments. Yeah, please. And as you come and comment, if you could  
25 kind of add new information that's really helpful for us.

26  
27 **Trent Hodgson**

28 So my name is Trent Hodgson. I live at 91 East and 1600 South. Actually just one backyard away  
29 from the property in question. But I, we kind of banded together as a neighborhood, had a  
30 meeting and several chats and things about noise, that's our main. The noise that wasn't there  
31 before the changes happen on the property and the noises that has been since the change in the  
32 property. To give you some reference, I can hear this noise from within my home and it is louder  
33 sometimes and quieter at other times. But it doesn't wake me up out of a sleep but as I get up out  
34 of bed the noise is there. My bed, my bedroom in my basement, surrounded by concrete walls.  
35 But I go upstairs the noise increases. So the concern is that we don't do something now like you  
36 said, we're going to be living with a noise at some level for the rest of our time living in the  
37 neighborhood. So we as a neighborhood, we have gotten together we banded together a little bit  
38 to address this because we've had... I was the Facebook guy. I started the conversation on  
39 Facebook with Dominion Energy and they responded. They acknowledged that I was there. And  
40 shortly afterwards, and I said, I'm little frustrated. I said we're at the point right now where if we  
41 don't get this taken care of immediately, I'll be filing a police report because it's absolutely  
42 unacceptable. Problem is when we're in the winter months my kids aren't playing outside but if  
43 this carries into the spring and summer months. I won't want my kids outside playing. I'm in  
44 construction and I am also a safety trainer working in construction for years and years. It's a level  
45 where you're having a conversation with somebody you're going to have to raise your voice. I

1 just don't want my kids playing around that especially if it's loud. So we as a neighborhood are  
2 just really hoping that you guys will have our backs on this and help us to get a solution that will  
3 protect the property which is absolutely necessary, I appreciate your time.  
4

5 **Richard Higginson**

6 Mr. Hodgson, What's the nature of the noise?  
7

8 **Trent Hodgson**

9 So it sounds, I'm in construction so I'll make some comparisons. A high pressure airlines such as  
10 a needle for a jackhammer. If you were to pull out the hose it sounds like that the high shrill  
11 noise. Obviously, it's pressurized gas I think it's releasing. I'd also compared it to a concrete saw,  
12 similar to one who would be cutting concrete on maybe the freeway I-15 project and if you drive  
13 past that as a high shrill grinding, loud high-pitched noise. It's just it's kind of a cross between  
14 those two things it's not low. It's very shrill.  
15

16 **Richard Higginson**

17 Thanks.  
18

19 **Lynn Jacobs**

20 Any additional comments? Looks like we can go ahead and close the public hearing at 7:04,  
21 bring it back to the group and you know, actually I wonder if the applicant would like to address  
22 any of the comments.  
23

24 **Tori (Dominion)**

25 My name is Tori (Dominion) [*inaudible*] the safety manager for Dominion Energy. And I agree  
26 with the community that noise levels are incredibly high. Normally for these types of things, we  
27 will look at a County Health noise ordinance and it usually sets a nighttime/daytime level at the  
28 perimeter and how we impact the surrounding community. In the absence of actual established  
29 limits. We will look at the Federal Energy Regulatory Commission and they have levels that we  
30 need to meet for our compressor station and the numbers they set are fifty at our property  
31 boundaries for daytime and fifty for night accounts that greater sensitivity. We are not meeting  
32 that level. We would like to meet that level. We want to make sure we're a good corporate citizen  
33 that meets the needs of our customers and the surrounding community so we will we try we will  
34 try to work with you to bring those noise levels down. The materials that we've selected for the  
35 fencing has worked at other rec stations we have and does reduce attenuate the noise levels, to  
36 the community health department ranks in those areas.  
37

38 **Richard Higginson**

39 Where those first regulations you're quoting the fifty to fifty-five?  
40

41 **Tori (Dominion)**

42 That was for the Federal Energy Regulatory Commission. That's what they established the noise  
43 that we can exceed for what they call the near sensitive area. So in this situation, we've got our  
44 property perimeter.  
45

1 **Richard Higginson**

2 What is the station at right now?

4 **Tori (Dominion)**

5 Well, it's ranging if you come from the side, we have the high gas flow coming in on one side  
6 and that's where most of the noise is coming from. But right now we're probably upper seventies  
7 / eighties around the perimeter so it does seem to be attended to.

9 **Lynn Jacobs**

10 Does Davis County have a regulation.

12 **Tori (Dominion)**

13 Not that I can find. Salt Lake County has one in Salt Lake County similar it has a fifty-five day /  
14 fifty nighttime noise ordinance.

16 **Lynn Jacobs**

17 I think this is a good conversation.

19 **Rich Reader**

20 That's correct Bountiful City noise ordinance says quiet in most acceptable noise categories quiet  
21 is in the low forties. I've lived there thirty plus years and I'm one of the newcomers and we've  
22 never heard, until this project, fifty-five, is very, very annoying and noticeable. There are ways to  
23 get this to where it can be quiet. There's very proven acoustical engineering procedures that can  
24 bring this back to the way it was when we all bought our homes. My worry is that they don't fix  
25 it right. We're going to be back and if they fix it right, it'll be a good solution. If they follow a  
26 sound engineering recommendation it will be cost effective. If they don't fix it right, everybody's  
27 going to be upset, will be back, the disruption will continue the fix will be a lot more expensive  
28 and it probably won't be satisfactory.

30 I think in such a large corporation they need to have study done and put that neighborhood back  
31 the way it was. They used to have buildings, now they have a tin shed. It's a fancy tin shed. But I  
32 think they need to put the neighborhood back the way it was. Just to come in and say some other  
33 national standards would allow it to be higher, if we had all moved in under those kind of noise  
34 levels, we would have made decisions. I probably wouldn't have moved there. That's like what  
35 you hear if you live next the freeway.

37 **Richard Higginson**

38 Or second West.

40 **Rich Reader**

41 But you know, you chose to live there. That's one thing. We all moved here, Bountiful's a nice  
42 community. While this kind of disruption comes in because some national standard, I don't think  
43 that the right solution because I know I've done these projects. I know that you get down, there  
44 are ways, the wall is not a total solution.

1 **Lynn Jacobs**

2 Thank you. Appreciate that. Anymore from Dominion?

3  
4 **John (Dominion)**

5 My name is John [inaudible]. I'm the engineer of the project. I thought I could just explain a little  
6 bit as the station works. And everyone's here is right and we want to make it to where it was, you  
7 know, quiet what it used to be. So before, I want to start with so what the station is doing is  
8 there's a high-pressure gas line, it's steel, it's in the hundreds of pounds per square inch, comes  
9 into that regulator station and it and the pressure drops so it goes from like maybe 440. So that's  
10 what you're hearing. That's why it sounds like when you're letting air out of your tire something  
11 that's it's a really high pressure going into a lower pressure. With some of the history of that  
12 station it used to be, I believe a masonry building and the pipes came into the building through  
13 the concrete floor and what we've been doing what we found, because it's an older station, it's  
14 kind of a safety issue because the pipes come up through the concrete and there might be some  
15 rusting with the pipe. So, that's why now they come up out of the ground and straight into the  
16 building. Part of the theory of design is instead of now having a masonry building around it, we  
17 basically take those walls and push it out to be the sort of the wall. So that's a little bit of what's  
18 going on there. That's why it's so loud because the solid part, you know, the law that used to be  
19 there for the building is kind of gone. So I just kind of wanted to add that. And it's not really like  
20 the station turns on and off. It's whenever there's a lot of like a demand. Everyone's heating their  
21 houses the pressure will drop in the low-pressure system all the yellow pipe you see for gas lines,  
22 the pressure will drop in that system and then this station will kick in and that's why you'll hear  
23 and kind of intermittently. It's, you know, usually when it's colder, it'll trigger because it's saying  
24 well the pressures drop too low. Let's add some more so.

25  
26 **Lynn Jacobs**

27 About how far is it from your building to the to the wall that we're proposing?

28  
29 **John (Dominion)**

30 Looks like about thirty feet. You know, going North and South on the backside it's about fifteen  
31 feet. So, I mean it does make sense that it might be you know, it's not like right around like it  
32 used to be. Our stations like this Bountiful can be successful, but...

33  
34 **Lynn Jacobs**

35 Are the other stations that you've retrofitted like this in other neighborhoods as well?

36  
37 **John (Dominion)**

38 Can I just clarify those distances? It's about thirty feet to the North and South. It's about eighty  
39 feet to the West. And it's back sixty feet to the East.

40  
41 **Lynn Jacobs**

42 To the East where the chainlink fence is? Okay, thank you.

43  
44 **Rich Reader**

1 So, I'm looking at that, that is very far. So that's quite a distance. Maybe going in that direction.  
2 This sound level....

3  
4 [Inaudible]

5  
6 **Lynn Jacobs**

7 You might want to come on up.  
8

9 **Sean Monson**

10 Tell us your name and who you're with.  
11

12 **Dominion Employee**

13 [Inaudible] with Dominion. I work for measurement control. I run the rec stations. We've done  
14 them with this design precast wall, you've got the box. Look in there. It's not just for aesthetics. It  
15 also helps break up the noise. If you look at sound rooms. They do like egg carton stuff. So  
16 when the noise comes in it kind of breaks it up. The bricks in there do the same thing. So as it  
17 hits, it's not a flat surface that reflects the noise it breaks it up. So that's part of the reason we do  
18 this precast wall. A lot of what was there previously, with the chain link fence, there was a lot of  
19 weeds and foliage that grew up on the chain link fence, which makes a huge difference with  
20 noise because it's hard to get through all foliage. So we take that in that chain link, now, you've  
21 got that much to break that noise. We have corrosion problems the way it was with masonry  
22 buildings going in for concrete, you got corrosion, you can't dig around the concrete so that's  
23 why we brought the pipes outside of the building so that we can inspect those and make sure we  
24 have any corrosion. On and off, you know in the morning, everyone gets up wants a hot shower,  
25 so you got your water heaters. Everyone gets up their a little cold they turn up the thermostat. So  
26 because a lot more demand, as you make that cut from 400 pounds to 45 pounds, you increase  
27 the velocity of the gas so when you got a big pipe, kind of pinch it off, the velocity on the other  
28 side increases. So that's where the noise is coming from. You just have increased velocity.  
29

30 **Lynn Jacobs**

31 One last question I have for Dominion. You guys have probably run into this situation elsewhere  
32 where you have noise and issues and concerns from the community. What things that you've  
33 done to mitigate that noise at other locations?  
34

35 **Tori (Dominion)**

36 Technically, the sound walls are very effective at mitigating the noise, they do provide a great  
37 deal of attenuation. The other, some of the other areas we been able at our gate stations and we  
38 can look at the valves, change in some of the valves that will also mitigate the noise I don't know  
39 that is an option at this station. Mostly arcade stations, but those seem to be pretty effective. We  
40 do as you increase the distance the sound level is cut by half and be double the distance from the  
41 source. Most of the noise is coming from that high pressure. And we have had success with these  
42 types of walls.  
43

44 **Lynn Jacobs**



1 Help me understand, the pipes come out and then they go into the building and most of the noise  
2 is coming from where the pipes coming out of the ground or was coming from the regulator  
3 inside of the building?  
4

5 **Tori (Dominion)**

6 It's coming from the high-pressure side as it flows into that rec station and then the pressure is  
7 dropped. It's mostly concentrated on that high pressure side.  
8

9 **Lynn Jacobs**

10 On the outside of the building?  
11

12 **Dominion Employee**

13 It's the center of the site.  
14

15 **Tori (Dominion)**

16 So we did take, we did a couple of things. We took some level readings around the perimeter of  
17 the station. And then at the actual rec station area. And then we also did a sound spectrum  
18 analysis to see just in anticipating so you want to break the noise consisting of several different  
19 types of frequencies and you want to break it down into frequencies so you can know where  
20 you're having the biggest concern and based on that you can select a material that's going to  
21 attenuate to have the biggest bang for your buck is going to attenuate those times. What we  
22 found was that the greatest noise was 1000 to 4000 hertz range and this material is pretty  
23 effective at attenuating that sound. The greatest results... so the highest level we find is actually  
24 at that where the high-pressure pipe is entering into that station and we measured it at 97  
25 decibels. That's over, that's well over OSHA level for occupational exposure. That's why our  
26 employee was measuring that was wearing his hearing protection, he's supposed to do that. So  
27 that is where it's occurring primarily. Again, as you double the distance from that source, you're  
28 cutting the noise level in half. It's a logarithmic function.  
29

30 **Richard Higginson**

31 I do a question before you go maybe. What was the thought process behind having a full wall of  
32 this enclosure be chain link rather than at least partially precast.  
33

34 **Tori (Dominion)**

35 Normally, what we do and I'm not sure on this one. We'll wrap the wall around the corners and  
36 then we have to have a gate so that we can get equipment in and out of there safely so our  
37 employees can go in with the trucks and equipment to do work on the station. And think this one  
38 just has...  
39

40 **John (Dominion)**

41 Well, I think it's because Woods Cross facilities are somewhat directly out, but I do understand  
42 what the neighbors are saying about kind of the problem in that area there.  
43

44 **Tori (Dominion)**

45 And that's the most distant from the station as well.



**Dominion Employee**

Originally, the reason we was going to do the precast wall on the North and the West, is because that's where the residential area is we was not going to do it on the South side and just put chain link back up because we figured the foliage would grow back up and we did not have residents that live directly on the other side of that fence. So we figured over time that foliage would probably grow back up through that fence.

[inaudible]

**Lynn Jacobs**

But you're currently planning doing your wall on this side.

**Dominion Employee**

Yes. Currently, we plan on doing the three sides, the North, West and the South side.

**Lynn Jacobs**

But the East side is all chain link.

**Dominion Employee**

Yes.

**Brad Jeppson**

Chairman, I'd like to have just a brief moment.

**Lynn Jacobs**

Sure. Love to hear your insights.

**Brad Jeppson**

More to counsel to the Commission. I would like to just kind of warn the Council against getting into an idea of adding conditions that aren't related to the specific variance. The statutes in this case limits us, it's very specific, we can require them to mitigate any harmful effects caused by the variance. So we're not here in a situation where we're reaching for adding new conditions to a conditional use permit or anything like that. So, I would warn the Council against establishing or requesting the applicant do anything that's not tied to the variance which is an extra two feet on a wall as a condition of accepting their variance.

**Sean Monson**

That is what I am thinking as well. It's not a conditional use permit to the facility. Right. I think we've already got that again. The question that I have for you though, is that and I can't remember on the variance statutes if they meet the conditions there are five conditions that are outlined in Utah law, is it a situation where the Planning Commission shall grant the variance or as it may grant the variance and that's, I'm wondering what kind of discretion we have regarding granting this variance.

1 **Brad Jeppson**

2 It certainly is a may grant the variance. You do have discretion whether or not they fit those  
3 whether you accept it or not. What I would counsel you guys not to do is to tie acceptance of the  
4 variance, something other than an instance is mitigating the actual request for variance such as  
5 the Woods Cross Engineer talked about adding more weight to wall that specific to this variance.  
6 The statute is pretty clear that you guys are here to accept or deny and you can acquire them to  
7 mitigate specifically what problems the variance would cause, not that conditional use is already  
8 bound.  
9

10 **Lynn Jacobs**

11 Along that same line, would it be appropriate for us to put conditions on the materials that they're  
12 using? For instance, you know, right now is a wall they're asking for eight-foot wall they're  
13 selling it as a concrete wall, it looks really nice, right?  
14

15 **Brad Jeppson**

16 Well, what part of the variance you looking to mitigate. I'm assuming that we have rules in our  
17 City, especially in R-4 zoning. We don't have high walls for a bunch of reasons. Which of those  
18 reasons that we try and mitigate by having a specific material?  
19

20 **Krissy Gillmore**

21 I think where I am at, part of their request for variance was for safety to prevent people  
22 trespassing in. The other part of the request is the noise and so coming back to the material and  
23 even extending that. Do we want to grant variance or something that might not address the  
24 problem, part of their problem. That's where I'm kind of conflicted on how this works and what  
25 discretion we have.  
26

27 **Brad Jeppson**

28 You can certainly deny it when required on that six-foot wall. What we can't do is we can't say  
29 well, you got to do something that's not tied to the negative impacts of the variance. So, if you're  
30 trying to say that we need this, this, this condition on the property based on utility, probably  
31 outside of statute today, if you're probably saying we want the wall to look like this and this  
32 because it will fit in with the neighborhood it will probably within the confines of statute.  
33

34 **Lynn Jacobs**

35 So for instance, going from a six foot wall to an eight-foot wall is not creating the noise, and so  
36 we won't be able to tie a required noise study to the variance.  
37

38 **Brad Jeppson**

39 I haven't seen a nexus between that and the noise.  
40

41 **Sean Monson**

42 What's the rationale for the six-foot wall versus eight-foot wall in mitigation factors? There's  
43 going to be some reasons why it should be six-feet maybe it's visibility and those are the  
44 things...between 6-feet and 8-foot but that's what we can vote for. That's pretty much it. I mean,

1 unfortunately, I don't think anyone really anticipated. I remember when this came up as a  
2 conditional use. No, this was not an issue. The noise no one talked about this.

3  
4 **Richard Higginson**

5 So, we could mitigate the additional height by saying it had to be open at the top, some sort of an  
6 open fence structure rather than...

7  
8 **Sean Monson**

9 [Inaudible]

10  
11 **Lynn Jacobs**

12 Which is visibility.

13  
14 **Brad Jeppson**

15 I think Woods Cross example was a great one as well. Adding the extra weight of the two feet  
16 added to the wall may require some mitigation to keep their pipe safe. I'm not an engineer. I can't  
17 say whether it does. That's just an example, a clear nexus between what you were actually asking  
18 them to do and their variance.

19  
20 **Lynn Jacobs**

21 Thank you for the clarification that was incredibly helpful. Any other thoughts or conversation?  
22 Where is everyone leaning? Bringing it back to the Commission.

23  
24 **Richard Higginson**

25 Happy to share where I'm leaning since I'm the new guy. I'm wishing that our attorney hadn't told  
26 us that we couldn't require additional things. That's what I'm wishing because we want to make  
27 things all better. But I think that the case has been made and our Staff has endorsed having the  
28 higher wall is a good thing for the neighborhood. The neighbors have expressed that as well.  
29 We're just hoping we could go further. I'm leaning towards approval.

30  
31 **Lynn Jacobs**

32 I feel so much for this area, if I lived in this neighborhood, I wouldn't be so upset. I would be so  
33 irate and angry that your peaceful life has been completely disrupted. And that's horrible and I  
34 think about what we as Planning Commission can do with what we have in front of us as we  
35 have this variance. It seems like we have like two options. Option one is we can either approve  
36 the variance or option two is we can deny the variance. If we were to deny variance, Dominion  
37 Energy's probably next move is to build a six-foot wall because that's allowed and they don't  
38 have to ask for any permission to do that. They can just go do that. And I think that that probably  
39 would make less sense than building an eight-foot wall because I don't know that the six-foot or  
40 eight-foot wall is really going to fix the noise problem. But it feels like an eight-foot wall more  
41 likely to fix the noise problem and a six-foot wall. I'm not a sound engineer, I am a civil  
42 engineer. I've been involved in some sound engineering throughout my career and I studied it. It's  
43 complicated stuff. And when you think you're going to fix it, sometimes it makes it worse. And it  
44 makes me nervous from that perspective, because sometimes putting walls in certain ways can  
45 amplify it in another direction. I can see that concern a big way here, where we got three solid

1 walls and a fence over here. You get this amplification effect, right? I don't know if I'm no sound  
2 engineer right but logic tells me that that could happen and it makes me nervous. You know? I  
3 don't know what to do here tonight. This is a tough one. This is a really tough one. I do think that  
4 the Woods Cross concern is incredibly valid and something that absolutely needs to be addressed  
5 with our approval.

6  
7 **Richard Higginson**

8 One thing that's in the neighborhoods' favor is the fact that Dominion has indicated multiple  
9 times tonight that they want to fix the problem also. So maybe they work with the neighbors.

10  
11 **Lynn Jacobs**

12 It's helpful.

13  
14 **Beverly Ward**

15 I just have a question. It was something Commissioner Monson mentioned about a conditional  
16 use permit that. [Inaudible]. Was this something that happened.

17  
18 **Lynn Jacobs**

19 There was something a year and a half or two years ago. Where they were looking to do a  
20 building.

21  
22 **Francisco Astorga**

23 It was a different utility. It was a water well. It was South Davis Water as they applied for a  
24 variance as they couldn't meet the front yard setback. Maybe three or four years ago.

25  
26 **Lynn Jacobs**

27 Sorry, everyone. Little, history. This is why it's both good and bad that we been on for a few  
28 years.

29  
30 **Jim Clark**

31 So, what do we do about Woods Cross?

32  
33 **Lynn Jacobs**

34 Well, I wonder would it be appropriate to attach a requirement that they meet with Woods Cross  
35 mitigate the impact? I don't know. [inaudible]. Can't have them crush a waterline. That's  
36 probably their main supply for the whole City. Lloyd, do you have thoughts around that?

37  
38 **Lloyd Cheney**

39 Maybe I can add some insight. I talked to Greg Seemiller a couple of times about this, and it's  
40 been a long time since anyone has actually located those waterlines.

41  
42 **Lynn Jacobs**

43 GIS layer right now. Gotcha.

44  
45 **Lloyd Cheney**

1 At this point it's using the crayon on a map. Until you know where your waterline is and where  
2 your property line is, where your proposed fence alignment is. It's all just a guess.

3  
4 **Sean Monson**

5 We could, I know this isn't a conditional use permit. But we could I imagine as part approve this  
6 variance have imposed a condition as mitigating condition that they consult with Woods Cross.  
7 That issue be analyzed and addressed before as a condition of approval.

8  
9 **Brad Jeppson**

10 I don't see any problem with that mitigation on that there is a nexus between the increased weight  
11 and possibility that could crush it, like Lloyd said, I'm not sure that if that's real or imagined, that  
12 would take an engineer to figure that out. But that has a clear nexus in my mind.

13  
14 **Sean Monson**

15 I have the same thoughts. I really feel for the neighbors and people living in this neighborhood. I  
16 know, unfortunately, I think is probably not the proper venue to address it. Right now, in this  
17 body. We don't really have the ability to address, how to address the sound issue. There are other  
18 avenues you might pursue and need to hold and maybe consult with an attorney about that. But I  
19 don't think we're the right body. We don't have the authority under our code or state law. As  
20 we've already been talking about to oppose the kind of conditions such as noise mitigation  
21 factors that we would all know I'm sure we would all understand and appreciate that we have the  
22 power to do that. If we deny this request to being just six-foot wall I don't think helps anyone, it  
23 doesn't help the neighborhood.

24  
25 **Lynn Jacobs**

26 Any other thoughts. Anyone prepared to make a motion?

27  
28 **Jim Clark**

29 Well, I do think we could require a chain link fence instead of being open chain link fence have  
30 that slatting I've seen.

31  
32 **Lynn Jacobs**

33 I think that's what on here that's what it looks like, to me. Is it slatting? The chain link gate will  
34 have slatting in it.

35  
36 **Jim Clark**

37 That's certainly going to help with the mitigation.

38  
39 **Lynn Jacobs**

40 More discussion? Okay. Yeah, go ahead.

41  
42 **Tori (Dominion) (Dominion Energy Employee)**

43 I wanted to comment on the concern about the wall reflecting noise back. [inaudible].

44  
45 **Lynn Jacobs**

1 That's helpful.

2  
3 **Tori (Dominion)**

4 So, you're probably not going to get a lot of bounce back off that.

5  
6 **Lynn Jacobs**

7 Was that what you were going to say?

8  
9 **Trent Hodgson**

10 No. So, Trent Hodgson again, I just want to ask one more question to the council about the  
11 remodel facility originally. What would be the permitting process for Questar to come in and  
12 remodel this facility? Because if there is a permit process, I would assume that permit process  
13 has not been followed and that's where we would address the sound issues.

14  
15 **Richard Higginson**

16 Lloyd, are they required to get a permit?

17  
18 **Lloyd Cheney**

19 [inaudible].

20  
21 **Lynn Jacobs**

22 Was it a pre-existing use that they were?

23  
24 **Trent Hodgson**

25 Yeah, but I have a pre-existing home if I remodeled my home I'm required to have a permit.

26  
27 **Lynn Jacobs**

28 I don't believe any permits were applied for demolition of the existing building or construction of  
29 the new metal building.

30  
31 **Sean Monson**

32 Would it have been required?

33  
34 **Amber Corbridge**

35 Our Building Official told me that that would not been required for what they've done so far, but  
36 the wall would be required to have a permit because it's seven-feet or more in height.

37  
38 **Lynn Jacobs**

39 This was about building permits in what's required and what's not. Thank you. Thanks for the  
40 comment. Well, back in the matter, and was the variance of the wall. Anyone prepared to make a  
41 motion?

42  
43 **Sean Monson**

44 Chairman, I'll moved that we approve the variance request by Dominion Energy for property  
45 parcel number 03-042-0052 with the mitigating condition that there be consultation and a plan to

1 be studied and plan approved for mitigation of the weight on Woods Cross City waterline and  
2 recommendations of Staff.

3  
4 **Richard Higginson**  
5 Second.

6  
7 **Lynn Jacobs**  
8 We have a motion in the second. All in favor?

9  
10 **Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and**  
11 **Richard Higginson**  
12 Aye.

13  
14 **Lynn Jacobs**  
15 Any opposed? Okay, variance is passed. I hope we can work together and get this sorted out.

16  
17 **Samantha Harris**  
18 Oh, are you on?

19  
20 **Francisco Astorga**  
21 I was going to drive for Lloyd.

22  
23 **Lynn Jacobs**  
24 Move on to the next agenda item. Eagle Ridge Drive Dedication Platt. Take it away Lloyd.

25  
26 **Lloyd Cheney**  
27 Over the last couple of years, we've been working very hard to construct the extension of Eagle  
28 Ridge Drive from Bountiful Boulevard to our favorite City recreational spot: the B. That  
29 construction wrapped up this year. Though the property to construct the road was transferred by  
30 deed, there hasn't been an official recorded road dedication plat for the alignment of the road. In  
31 the memo you'll see a couple of things. Number one, the master plan that was approved back in  
32 January 2022, which identifies the widths of the road, in an that area, so sixty feet wide as  
33 planned, not the entire way but from Bountiful Boulevard to approximately the North side of the  
34 debris basin, and then the Eagle Ridge Subdivision to the North, that short section of Eagle  
35 Ridge Drive is only fifty-four (54) feet wide. There will be a transition between those two  
36 roadway widths. The future completion of Eagle Ridge Drive. We've built that facility in  
37 accordance with the street master plan, the roadway dedication plat, which is the very last item in  
38 your packet, identifies with the appropriate geometry the exact location of the roadway and that  
39 runs through the property that's currently owned by Rainey Homes and will become eventually  
40 the last phase of the Stone Creek Subdivision. By recording this dedication plat, it dedicates that  
41 property as a right-of-way that will grant rights to utilities, will be installed to be maintained  
42 there, those utilities were installed with the construction of a right-of-way. Happy to answer any  
43 questions you have. It's really just the next step to get this to the Council so we can record this  
44 and tie a nice bright ribbon around this project.

1 **Lynn Jacobs**

2 I saw that it looks really nice. Oh that's a beautiful road. I was really surprised to see it, wow that  
3 happened fast.

4  
5 [Inaudible]

6  
7 **Richard Higginson**

8 I do have a question, kind of a tangent from this issue. Lloyd, is the temporary connector to  
9 Skyline Drive going to eventually be removed or will it be brought up to code and used as part of  
10 the subdivision?

11  
12 **Lloyd Cheney**

13 You mean the big horseshoe bend?

14  
15 **Richard Higginson**

16 Yeah, 25 feet wide 14 feet.

17  
18 **Lloyd Cheney**

19 There are no plans to eliminate that, and associated with that I don't know that there are any hard  
20 and fast plans to dramatically improve it.

21  
22 **Richard Higginson**

23 Was that street dedicated to the City back when it was constructed or is it across private  
24 property?

25  
26 **Lloyd Cheney**

27 It is, I believe, it was actually dedicated to the County by I think her name is Ethel Kingston.

28  
29 **Richard Higginson**

30 Thank you, and thanks for your work on this project. This is huge.

31  
32 **Lynn Jacobs**

33 This is awesome. [inaudible]. Any further questions for Staff about this item, it goes to City  
34 Council with our recommendation. We need Sharon back to take over the motions.

35  
36 **Richard Higginson**

37 I'll be happy to make a motion that we pass along recommendation for final approval to the City  
38 Council for the dedication of Eagle Ridge Drive as presented.

39  
40 **Lynn Jacobs**

41 Excellent. We have a motion. Do we have a second?

42  
43 **Jim Clark**

44 Second.



1 **Lynn Jacobs**

2 All in favor?

3  
4 **Chair Lynn Jacobs, James Clark, Sean Monson, Krissy Gillmore, Beverly Ward, and**  
5 **Richard Higginson**

6 Aye.

7  
8 **Lynn Jacobs**

9 Any opposed?

10  
11 Back to our Planning Director's report/update.

12  
13 **Francisco Astorga**

14 I'll be brief. Sorry Brad for calling you Clint. My apologies on the record. Did we get Richard a  
15 proper welcome to the Commission.

16  
17 **Lynn Jacobs**

18 Yes.

19  
20 **Richard Higginson**

21 Oh, absolutely.

22  
23 **Francisco Astorga**

24 I missed it. I went back to get copies and the last thing: in the past, Shawn, Jim, maybe Lynn will  
25 recall that for these variances, we would come back with in-written form approval. We have  
26 stopped that practice in that the record shown in the meeting minutes, and that's why we take a  
27 look at that. We hope that you're okay with that old school practice of bringing it back two weeks  
28 for that in written approval. We're completely comfortable taking the meeting minutes and  
29 writing a letter on behalf of the Planning Commission as we're not the ones granting the  
30 variance, but it is the commission. So, this is more of procedural change that we'd like to  
31 officially let you know that we're no longer following that old practice that we used to have here.  
32 If you have any issues, you can call me directly and we can talk about that, but we simply  
33 wanted to give you that specific update.

34  
35 And the last one, as some of you call and ask about the or email or text me about the General  
36 Plan update. What we're currently doing is that we are having the City Council; they're taking a  
37 look at each section one at a time, and they are fine tuning it right before you get it. We anticipate  
38 that it'll be sometime in the Spring. We're thinking sometime around April, as that when you  
39 don't come back to you as an official document to review. If you pay attention to any of the City  
40 Council packets, you'll have to find sections here and there as City Council is taking a good look.  
41 They were a little slow during the first meeting in December but they were extremely efficient at  
42 the meeting from last week in fine tuning the goals. Those are my updates. Any questions for  
43 me?

44  
45 **Lynn Jacobs**

- 1 No. Awesome. Thank you.
- 2
- 3 **Francisco Astorga**
- 4 Thank you.
- 5
- 6 **Lynn Jacobs**
- 7 So with that, we will adjourn. Thank you all.

# Planning Commission Staff Report



**Subject:** Conditional Use Permit for a Tattoo Parlor  
at 1455 South 500 West Suite F  
**Author:** Jonah David Hadlock, Assistant City Planner  
**Date:** February 6, 2024

## **Background**

On December 14, 2023, the applicants, Matt and Cassidy Morrison, submitted a Conditional Use Permit (CUP) application for a proposed tattoo parlor located at 1455 South 500 West Suite F. The property is in the Heavy Commercial Zone (C-H) which allows for tattoo parlors as a conditional use. On January 29, 2024, the applicant withdrew their submitted application.

## **Attachments**

1. E-mail from applicant withdrawing the application

## Jonah Hadlock

---

**From:** Cassidy Morrison <clarkcassidy75@gmail.com>  
**Sent:** Monday, January 29, 2024 9:20 AM  
**To:** Jonah Hadlock  
**Subject:** Morrison conditional use

Hi this is Cassidy Morrison just letting you know to be taken off the agenda because we are no longer signing on that space. Thank you.

**CAUTION:** This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

# Planning Commission Staff Report



**Subject:** Conditional Use Permit and Final  
Architectural and Site Plan for a Silo Addition  
for Weber Basin Water Conservancy District

**Address:** 38 North Davis Boulevard

**Author:** Amber Corbridge, Senior Planner

**Department:** Planning

**Date:** February 6, 2024

## **Background**

The applicant, Jesse Moreno, with Weber Basin Water Conservancy District is requesting both 1) Conditional Use Permit (CUP) and 2) Preliminary/Final Architectural Site Plan Approval to build a new silo for their water treatment plant located at 38 North Davis Boulevard. The property is zoned R-3 (Single-Family Residential) where this proposed addition for a private utility facility is listed as a conditional use. The applicant states this proposal to build a new silo addition (approximately 13' diameter and 35' tall) with ancillary pump/compressor enclosure (approximately 10' tall and 160 square ft.) will upgrade and improve the existing site infrastructure. This upgrade also includes demolition of the existing Powdered Activated Carbon (PAC) storage feed system building and feed equipment, piping modifications to the raw water and return wash water line upstream of the influent, and paving/grading improvements to the site (see attached plan set for full details of the demolition plan and site improvements). Also, see Figure A-C, generally showing the proposed site changes.

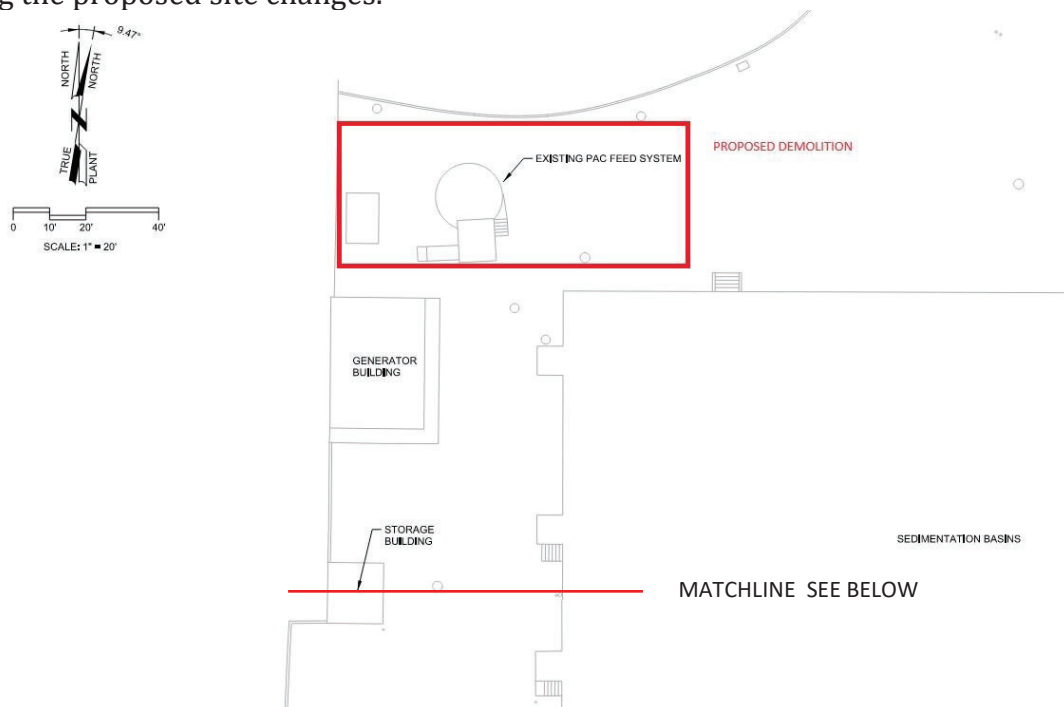




Figure A: Bountiful Weber Basin Water Conservancy District at 38 N Davis Blvd., Proposed Site Plan 2024

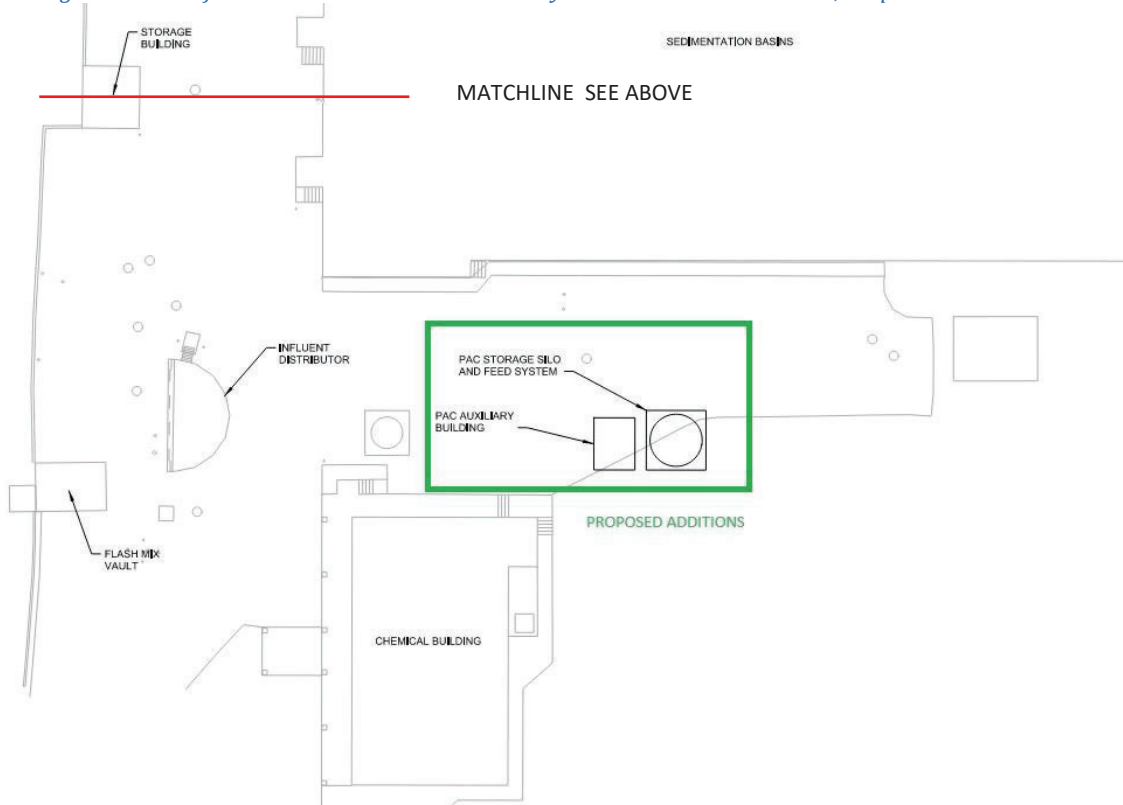


Figure B: Bountiful Weber Basin Water Conservancy District at 38 N Davis Blvd., Site Plan with Changes 2024

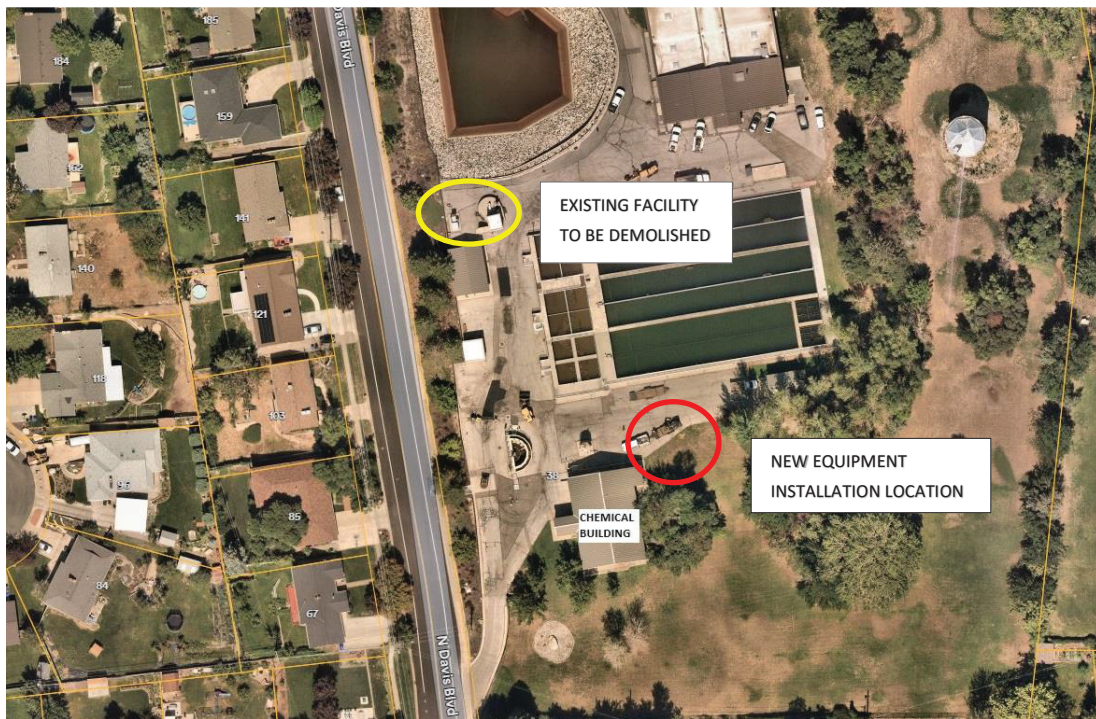


Figure C: Bountiful Weber Basin Water Conservancy District at 38 N Davis Blvd., Nearmap Aerial View Aug 2023, Existing Site Conditions



## **Analysis**

### ***Conditional Use Standards***

*The Planning Commission shall consider how the proposed addition 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (see Code 14-2-506.C).*

The proposed addition would fit in with the surroundings, as there is an already established water treatment facility on the site. The new silo and treatment equipment would serve Bountiful, West Bountiful and North Salt Lake by providing culinary water. The silo structure will be the same design, color, and materials as the silo structure at the Layton Weber Basin Water Conservancy District, as shown below in Image 1. The silo structure would fit in as much as physically possible with neutral colors and simple design. The proposed new location would also sit back further away from the street behind an existing chemical building and would not be visible from the street, as shown in Image 2 below. The small structure proposed to sit adjacent to the silo, to house the supporting system, would also be behind the existing chemical building. Staff recommends the exterior building color match the existing structures on site, being neutral and visually blend in as much as possible.



*Image 1: [Layton](#) Weber Basin Water Conservancy District, Google Street View August 2023, Existing Silo*





*Image 2: [Bountiful Weber Basin Water Conservancy District](#) at 38 N Davis Blvd., Google Street View 2022*

The applicant stated for the conditional use, to mitigate any potential conflicts with surrounding properties, work to be performed will be during reasonable business hours (8 AM to 5 PM). The potential visual negative impacts associated with the proposed additions would be mitigated with exterior building colors and placement, and no additional site lighting is proposed with the changes. According to Weber Basin Water Conservancy District, the silo will have minimal noise disruption to the neighborhood, as the equipment being used is stored inside the structure.

Occasionally, the silo will be serviced with a Powdered Activated Carbon (PAC), which removes odors and odd tastes found in the water, usually around springtime. This chemical is transferred from a delivery truck to the silo equipment, which makes a blowing type sound. This would happen during regular business hours, which mitigates the noise mitigation associated with the use.

### ***Architectural and Site Plan Review***

*The Planning Commission shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:*

- 1. To determine compliance with the Land Use Code*
- 2. To promote the orderly and safe development of land in the City*
- 3. To implement the policies and goals established in the Bountiful City General Plan*
- 4. To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.*

The architectural and site plans have been reviewed by staff, where setbacks, height, landscaping, screening, parking, loading, lighting, and all other applicable standards are reviewed for compliance. The plans for the proposed silo and ancillary equipment meet department review comments. Staff recommends as a condition of approval; the applicant obtain necessary building permits for demolition and construction to accommodate the proposed changes.

### **Department Review**

This staff report was written by the Senior Planner and was reviewed by the City Engineer, City Attorney, and Planning Director.

### **Significant Impacts**

There are minimal impacts of this proposed development on the property and surrounding uses, as it is an upgrade of the existing land use. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

### **Recommendation**

Conditional Use Permit: Staff recommends that the Planning Commission hold a public hearing and approve the Conditional Use Permit (CUP) for a new silo addition at 38 North Davis Boulevard, subject to Preliminary/Final Architectural and Site Plan approval by the City Council and complying with all department staff review comments.

Preliminary/Final Architectural and Site Plan: Staff recommends that the Planning Commission review the Preliminary/Final Architectural and Site Plan application for a new silo addition and site changes, and forward a positive recommendation to the City Council to approve, subject to:

1. Meeting all department staff review comments.
2. Obtain necessary building permits.

*Note: Final approval and building permits will be granted when all conditions are met and satisfied.*

### **Attachments**

1. Statement of Intent
2. Vicinity Map
3. Design Plan Set
4. Boundary Survey
5. Updated Plans

#### Statement of Intent:

Weber Basin Water Conservancy District (WBWCD/District) owns and operates a water treatment plant located at 38 N Davis Blvd, Bountiful, Utah 84010. To better serve the residents of Bountiful City and provide the highest quality culinary water, the District routinely upgrades its existing infrastructure to better and more improved infrastructure. The District intends on replacing its existing powder activated carbon (PAC) feed building which is used to store dry carbon powder to be mixed and fed manually into our PAC generator building to be used as a treatment process for receiving influent water with a PAC silo which will store and automatically feed PAC into our treatment process. This upgrade includes demolition of the existing PAC storage feed system building and feed equipment, piping modifications to the raw water and return wash water line upstream of the influent distributor, and paving and grading improvements to the site.



1" = 2309.26026915074 ft



Bountiful, Utah makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Page 38 of 95

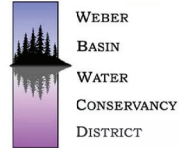
## Map Theme Legends

### Zoning

- OS
- C-N
- C-H
- C-G
- DN
- H
- MXD
- PO
- PO-N
- R-F
- R-1
- R-3
- R-4
- RM-7
- RM-13
- RM-19
- RM-25

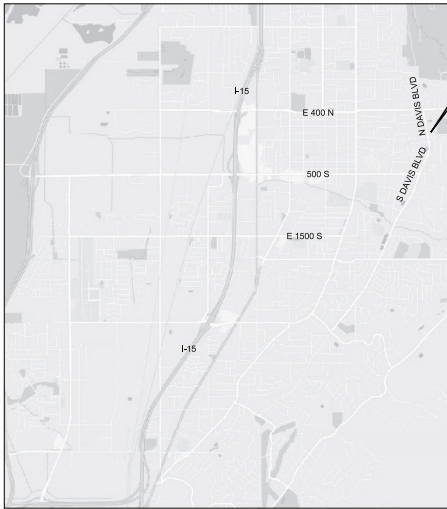


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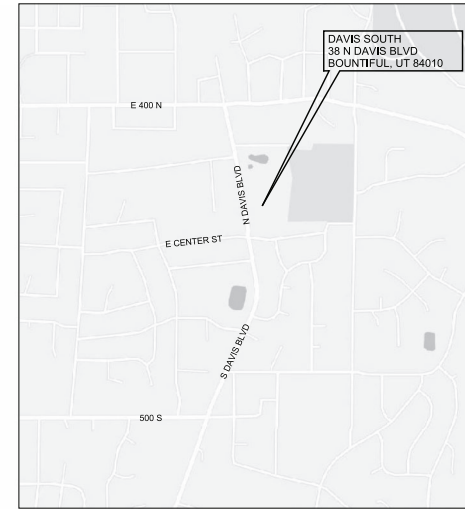
# WEBER BASIN WATER CONSERVANCY DISTRICT DAVIS SOUTH WATER TREATMENT PLANT PAC FEED PROJECT

FINAL BID SET  
FEBRUARY 2022  
VOLUME 2 OF 2



VICINITY MAP  
NO SCALE

PROJECT  
LOCATION



LOCATION MAP  
NO SCALE

DAVIS SOUTH  
38 N DAVIS BLVD  
BOUNTIFUL, UT 84010



JOB NO. 201237
DRAWING NO. G01
SHEET NO. 1 OF 46

Plot Date: 22-FEB-2023 11:09:53 AM

User: wpjw

Model: Layout1 ColorTable: galside.ctb Design/Script: Carollo-Stl\_Pac\_0905.dgn PlotScale: 1:1

LAST SAVED BY: mmwbs

SHEET NO.		DRAWING NO.		DESCRIPTION		DAVIS SOUTH PAC DESIGN CRITERIA		UNITS		VALUE		PIPING SCHEDULE																					
						DESCRIPTION						FLOW STREAM IDENTIFIER		SERVICE		PIPE SIZE		MATERIAL		PRESSURE CLASS/WALL THICKNESS		PIPE SPEC. SECTION		JOINTS/FITTINGS		LINING		COATING		TESTING		NOTES	
						PLANT CAPACITY						D		DRAINS																			
1		G01		COVER SHEET		DESIGN MAXIMUM CAPACITY		MGD		16		PAC		ALL LOCATIONS		ALL SIZES		PVC		SCH 80		40_05_31.01		SW						GR			
2		G02		DRAWING INDEX, DESIGN CRITERIA, AND PIPE SCHEDULE		MINIMUM CAPACITY		MGD		2		PAC		POWDER ACTIVATED CARBON																			
3		G03		GENERAL NOTES, LEGENDS AND SYMBOLS		POWDERED ACTIVATED CARBON (PAC)						PP		ALL LOCATIONS		ALL SIZES		PVC		SCH 80		40_05_31.01		SWFL						LH		80 NO 90° BENDS	
4		G04		GENERAL ABBREVIATIONS		CHARACTERISTICS: DRY POWDER, 18 LB/CU FT						RWW		ALL LOCATIONS		ALL SIZES		PVC		SCH 80		40_05_31.01		SWFL						LH		80	
5		G05		RAW WATER PROCESS FLOW DIAGRAM		STORAGE TYPE: BULK DRY SILO, PNEUMATICALLY LOADED		NO,		1																							
6		G06		OVERALL SITE PLAN		NUMBER OF SILOS		CU FT		2,000																							
7		D01		SITE PLAN		STORAGE CAPACITY		POUNDS		36,000																							
8		D02		PHOTOS		DAYS STORAGE (AVE DOSE, MAX PLANT CAPACITY)				13																							
9		D03		DETAILS		METERING TYPE: VOLUMETRIC DRY FEEDER		NO,		1																							
10		C01		GRADING AND PAVING PLAN		NUMBER OF DRY FEEDERS		CF/HOUR		18																							
11		C02		YARD PIPING PLAN		FEEDER CAPACITY																											
12		C03		ASPHALT REPLACEMENT AND STORMWATER UPGRADES BID ALTERNATE		DOSAGE																											
13		GS01		GENERAL STRUCTURAL NOTES		MIN. DOSE		MG/L		10																							
14		S01		PAC SILO AND SUPPORT BUILDING FOUNDATION PLAN		AVG. DOSE		MG/L		20																							
15		S02		PAC SILO AND SUPPORT BUILDING FOUNDATION SECTION		MAX. DOSE		MG/L		50																							
16		GM01		GENERAL MECHANICAL LEGEND AND SYMBOLS																													
17		M01		PAC FEED SYSTEM PLANS AND SECTION																													
18		M02		EXISTING CHEMICAL BUILDING MODIFICATIONS PLAN																													
19		M03		EXISTING CHEMICAL BUILDING MODIFICATIONS DETAILS																													
20		M04		EXISTING FLASH MIX VAULT MODIFICATIONS PLAN AND DETAILS																													
21		GE01		ELECTRICAL LEGEND																													
22		GE02		ELECTRICAL ABBREVIATIONS																													
23		E01		OVERALL SITE PLAN																													
24		E02		DUCT BANK SECTIONS																													
25		E03		PANELBOARD PP-C2 PARTIAL ONE-LINE DIAGRAM																													
26		E04		PAC SILO POWER AND CONTROL PLANS																													
27		E05		PAC AUXILIARY BUILDING POWER, CONTROL AND GROUNDING PLAN																													
28		E06		CHEMICAL BUILDING LOWER LEVEL POWER AND CONTROL PLAN																													
29		E07		CHEMICAL BUILDING UPPER LEVEL POWER AND CONTROL PLAN																													
30		E08		SECURITY SYSTEM RISER DIAGRAM																													
31		GN01		SYMBOLS AND ABBREVIATIONS 1																													
32		GN02		SYMBOLS AND ABBREVIATIONS 2																													
33		GN03		SYMBOLS AND ABBREVIATIONS 3																													
34		GN04		SYMBOLS AND ABBREVIATIONS 4																													
35		GN05		SAMPLE LOOP DRAWING																													
36		GN06		PAC SYSTEM NETWORK CONNECTION DIAGRAM																													
37		N01		PAC STORAGE AND FEED SYSTEM P&ID 1																													
38		N02		PAC STORAGE AND FEED SYSTEM P&ID 2																													
39		N03		PAC STORAGE AND FEED SYSTEM P&ID 3																													
40		TC01		CIVIL																													
41		TE01		ELECTRICAL 1																													
42		TE02		ELECTRICAL 2																													
43		TE03		ELECTRICAL 3																													
44		TP01		PIPING																													
45		TS01		STRUCTURAL 1																													
46		TS02		STRUCTURAL 2																													
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WEBER  
BASIN  
WATER  
CONSERVANCY  
DISTRICT

WEBER BASIN CONSERVANCY DISTRICT  
DAVIS SOUTH WTP PAC FEED PROJECT  
GENERAL  
DRAWING INDEX, DESIGN CRITERIA  
AND PIPE SCHEDULE

VERIFY SCALES  
BAR IS ONE INCH ON ORIGINAL DRAWING  
0 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

JOB NO.  
201237  
DRAWING NO.  
G02  
SHEET NO.  
2 OF 46

1	2	3	4	5	6	7	8	9	10	11	12	13			
<b>GENERAL NOTES</b>			<b>LINE WORK</b>			<b>DETAIL REFERENCES</b>			<b>HATCH PATTERNS</b>						
<p>1. FOLLOWING NOTES ARE GENERAL AND APPLY TO ALL SHEETS OF THESE CONTRACT DOCUMENTS AS IF THEY WERE WRITTEN IN THEIR ENTIRETY ON EACH SHEET.</p> <p>2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS INCLUDING LOCATION AND DIMENSIONS OF ALL EXISTING CONSTRUCTION AND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE IS A CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONSTRUCTION BEFORE PROCEEDING WITH WORK.</p> <p>3. UNLESS DETAILED, SPECIFIED, OR OTHERWISE INDICATED ON THE DRAWINGS, CONSTRUCTION SHALL BE AS INDICATED IN THE APPLICABLE TYPICAL DETAILS AND GENERAL NOTES. TYPICAL DETAILS SHALL APPLY EVEN THOUGH NOT REFERENCED AT SPECIFIC LOCATIONS ON DRAWINGS.</p> <p>4. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF WORK, DETAILS SHALL BE IN THE SAME AS FOR OTHER SIMILAR WORK.</p> <p>5. CONTRACTOR SHALL COMPLY WITH LOCAL CONSTRUCTION STORM WATER DISCHARGE REGULATIONS AND REQUIREMENTS.</p> <p>6. PRIOR TO EXCAVATION FOR NEW STRUCTURES, ELECTRICAL CONDUIT, FABRICATION OF NEW PIPING AND/OR OTHER PROPOSED UTILITIES, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING PIPING AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL TEMPORARILY RELOCATE CONFLICTING EXISTING UTILITIES AT THE-IN-CONNECTION LOCATIONS AND REINSTALL THEM AS REQUIRED TO ELIMINATE THE CONFLICT AT NO ADDITIONAL COST TO THE OWNER.</p> <p>7. ALL PIPELINES 12" AND LARGER SHALL HAVE A MINIMUM COVER OF 36" UNLESS THE COVER DEPTH IS SPECIFICALLY INDICATED ON THE DRAWINGS. PIPE SMALLER THAN 12" SHALL HAVE A MINIMUM COVER OF 30" UNLESS NOTED OTHERWISE. PIPES SHALL BE ROUTED AS SHOWN UNLESS MINOR REVISIONS ARE NECESSARY TO MISS EXISTING PIPES, STRUCTURES, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL FITTINGS AND ADAPTERS REQUIRED TO MAKE THE ROUTING CHANGES AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL INCLUDE COST FOR THIS IN THE BID.</p> <p>8. EXISTING FACILITY AND UTILITY INFORMATION SHOWN ON THE DRAWINGS WAS OBTAINED FROM AVAILABLE RECORDS OR ELECTRONIC FILES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR FACILITIES AND UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, SIZES, MATERIAL TYPES, AND ELEVATIONS SHOWN AROUND OR NEAR AREAS OF NEW CONSTRUCTION PRIOR TO START OF CONSTRUCTION.</p> <p>9. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGE EXISTING FACILITIES AND UTILITIES SHOWN OR NOT SHOWN THAT ARE TO REMAIN IN PLACE. ALL FACILITIES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE EXPEDITIOUSLY REPAIRED OR RECONSTRUCTED TO THE ORIGINAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE WITHOUT ADDITIONAL COMPENSATION.</p> <p>10. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING PIPE, EQUIPMENT, ETC. AS REQUIRED AND SHALL PROVIDE ALL FITTINGS, ADAPTERS, AND APPURTENANCES REQUIRED TO MAKE THE CONNECTIONS. PROVIDE ALL SUPPORTS REQUIRED FOR A RIGIDLY SUPPORTED COMPLETE AND WORKING SYSTEM.</p> <p>11. ADJUST ALL VALVE BOXES, VAULTS, PULL BOXES, AND MANHOLES TO FINISHED GRADE UNLESS OTHERWISE SHOWN OR DIRECTED. MANHOLES IN OPEN FIELDS SHALL BE SET TWELVE INCHES ABOVE FINISHED GRADE AND VAULTS SHALL BE SIX INCHES ABOVE FINISHED GRADE.</p> <p>12. THE CONTRACTOR SHALL CONTACT THE PROPER UTILITY REPRESENTATIVE AS FOLLOWS FOR QUESTIONS OR COORDINATION OF CONSTRUCTION RELATED TO EXISTING UTILITIES. BLUE STAKE OF UTAH: CALL 811</p> <p>13. CONTRACTOR SHALL VERIFY THAT PIPING SHOWN TO BE ABANDONED OR AS ABANDONED PREVIOUSLY IS NO LONGER IN SERVICE. LINES IN SERVICE SHALL BE MAINTAINED UNTIL NO LONGER REQUIRED BY THE PLANT.</p> <p>14. ALL EXISTING PIPES THAT ARE TO BE ABANDONED IN PLACE OR REMOVED MAY NOT BE SHOWN, WHERE PIPING IS TO BE ABANDONED AND MUST REMAIN IN SERVICE UNTIL COMPLETION OF OTHER PHASES OF WORK, AND IT CONFLICTS WITH NEW PIPING, TEMPORARILY RELOCATE PIPING AS REQUIRED TO MAINTAIN SERVICE BY THE PLANT.</p> <p>15. CONTRACTOR SHALL REROUTE THE EXISTING PIPING IF REQUIRED TO MISS THE PROPOSED STRUCTURES. THE EXISTING PIPE SHALL REMAIN IN SERVICE UNTIL NEW PIPING IS READY TO BE PLACED INTO SERVICE. DOWNTIME SHALL BE A MAXIMUM OF 2 HOURS, UNLESS SPECIFIED OR SHOWN OTHERWISE.</p> <p>16. ALL SIDEWALKS TO BE 3'-0" WIDE UNLESS SHOWN OTHERWISE.</p> <p>17. THE CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS IN THE VICINITY OF ANY OVERHEAD ELECTRIC LINES. CONTRACTOR SHALL ABIDE BY THE NATIONAL ELECTRIC CODE AND ANY REQUIREMENT BY THE OWNER OF THE ELECTRIC LINES.</p> <p>18. PROVIDE ALL SHEETING/SHORING REQUIRED TO PROTECT EXISTING STRUCTURES, PIPES AND FACILITIES.</p> <p>19. CONTRACTOR SHALL VERIFY LOCATION OF ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL ITEMS BEFORE PLACING ANY STRUCTURAL STEEL OR CONCRETE. ALSO, STRUCTURAL DIMENSIONS AND OPENINGS CONTROLLED BY ARCHITECTURAL, MECHANICAL, OR ELECTRICAL EQUIPMENT SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.</p> <p>20. MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, ANCHORAGES, OPENINGS, RECESSES, AND REVEALS NOT SHOWN ON THE STRUCTURAL DRAWINGS, THAT ARE REQUIRED BY OTHER CONTRACT DRAWINGS, SHALL BE PROVIDED PRIOR TO CASTING CONCRETE.</p>			<p>CONSTRUCTION</p> <p>FENCE</p> <p>UTIL/DUCT</p> <p>GUARDRAIL</p> <p>FUTURE CONSTRUCTION</p> <p>CENTER LINE</p> <p>HIDDEN LINE</p> <p>REMOVE AND/OR ABANDON</p> <p>GATE</p> <p>MATCH LINE</p> <p style="text-align: right;">MATCH LINE SEE DWG #XXXX</p>			<p style="text-align: center;"><b>SYMBOLS</b></p> <p>BRACKET</p> <p>BREAK LINE</p> <p>PIPE BREAK PLAN VIEW</p> <p>PIPE BREAK CROSS SECTION</p> <p>SCALE</p> <p style="text-align: center;">0 50' 100' 200'</p> <p>NORTH ARROW/PLANT NORTH</p> <p>EQUIPMENT/DEVICE TAG AND NUMBER</p> <p>PIPE TAG</p> <p>PIPE SIZE</p> <p>SIZE FLOW STREAM</p> <p>EX-SIZE FLOW STREAM = EXISTING</p> <p>EF-SIZE FLOW STREAM = FUTURE</p> <p style="text-align: center;">Avoid overhead power line contact. It's costly.</p> <p style="text-align: center;">   <b>Call before you OVERHEAD</b>              Know what's below.              Call before you dig.              Replace with Regional Phone Number           </p>			<p>PIPE CONTINUATION (SINGLE LINE)</p> <p>KEY TAG</p> <p>KEY NOTE</p> <p>REVISION DELTA</p> <p>EXISTING ELEVATION</p> <p>ELEVATION</p> <p>T.O.W. XXXX.X4 (EXIST)</p> <p>TOC XXXX.XX</p> <p>AREA DESIGNATOR (WHEN APPLICABLE)</p> <p>DISCIPLINE DESIGNATOR</p> <p>SHEET NUMBER</p> <p>TYPICAL DETAIL #</p> <p>TYP</p> <p>TYP - INDICATES THE TYPICAL DETAIL IS USED IN MULTIPLE LOCATIONS WITHIN THE DRAWING</p> <p>EXTERIOR ELEVATION VIEWS</p> <p>PHOTO LOCATION</p> <p>GRID BUBBLE</p> <p>TYPICAL DETAIL NUMBER</p> <p>LINE 3</p> <p>LINE 1</p> <p>LINE 2</p> <p>MOD</p> <p>MODIFICATION NOTE</p> <p>S = STANDARD</p> <p>J = JOB SPECIFIC</p> <p>R = REVISED</p> <p>N = NOTE TO TYPICAL DETAIL USER</p> <p>INDICATES LOCATED ON TYPICAL DETAIL SHEETS</p> <p>SHT # OF #</p> <p>SHEETS IN DETAIL</p> <p>VER DATE</p> <p>DATE CREATED (REVISED)</p>			<p style="text-align: center;"><b>MISCELLANEOUS</b></p>			
									<p>AGGREGATE BASE COURSE (ABC)</p> <p>ALUMINUM</p> <p>ASPHALT PAVING</p> <p>BEDROCK</p> <p>BRICK OR BLOCK</p> <p>BRONZE, BRASS, OR COPPER</p> <p>CAST IRON OR FIBERGLASS</p> <p>CLSM</p> <p>CONCRETE (ALL CLASSES)</p> <p>DRAIN ROCK</p> <p>GRAVEL</p> <p>GRATING</p> <p>LANDSCAPING</p> <p>RUBBER</p> <p>SAND OR GROUT</p> <p>EXISTING/ UNDISTURBED SOIL</p> <p>STRUCTURAL FILL OR BACKFILL</p> <p>STEEL</p> <p>TREAD PLATE</p> <p>WOOD</p>						
									<b>GENERAL NOTES, LEGEND, AND SYMBOLS</b>						
<p>DESIGNED CE</p> <p>DRAWN CE</p> <p>CHECKED CRJ</p> <p>DATE FEBRUARY 2023</p>			<p>PROJECT NO. 201237-100000</p> <p>FILE NAME: 20123700003.dgn</p>			<p>WEBER BASIN CONSERVANCY DISTRICT</p> <p>DAVIS SOUTH WTP PAC FEED PROJECT</p> <p>GENERAL</p>			<p>VERIFY SCALES</p> <p>BAR IS ONE INCH ON ORIGINAL DRAWING</p> <p>0 1"</p> <p>IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY</p> <p>JOB NO. 201237</p> <p>DRAWING NO. G03</p> <p>SHEET NO. 3 OF 46</p>						



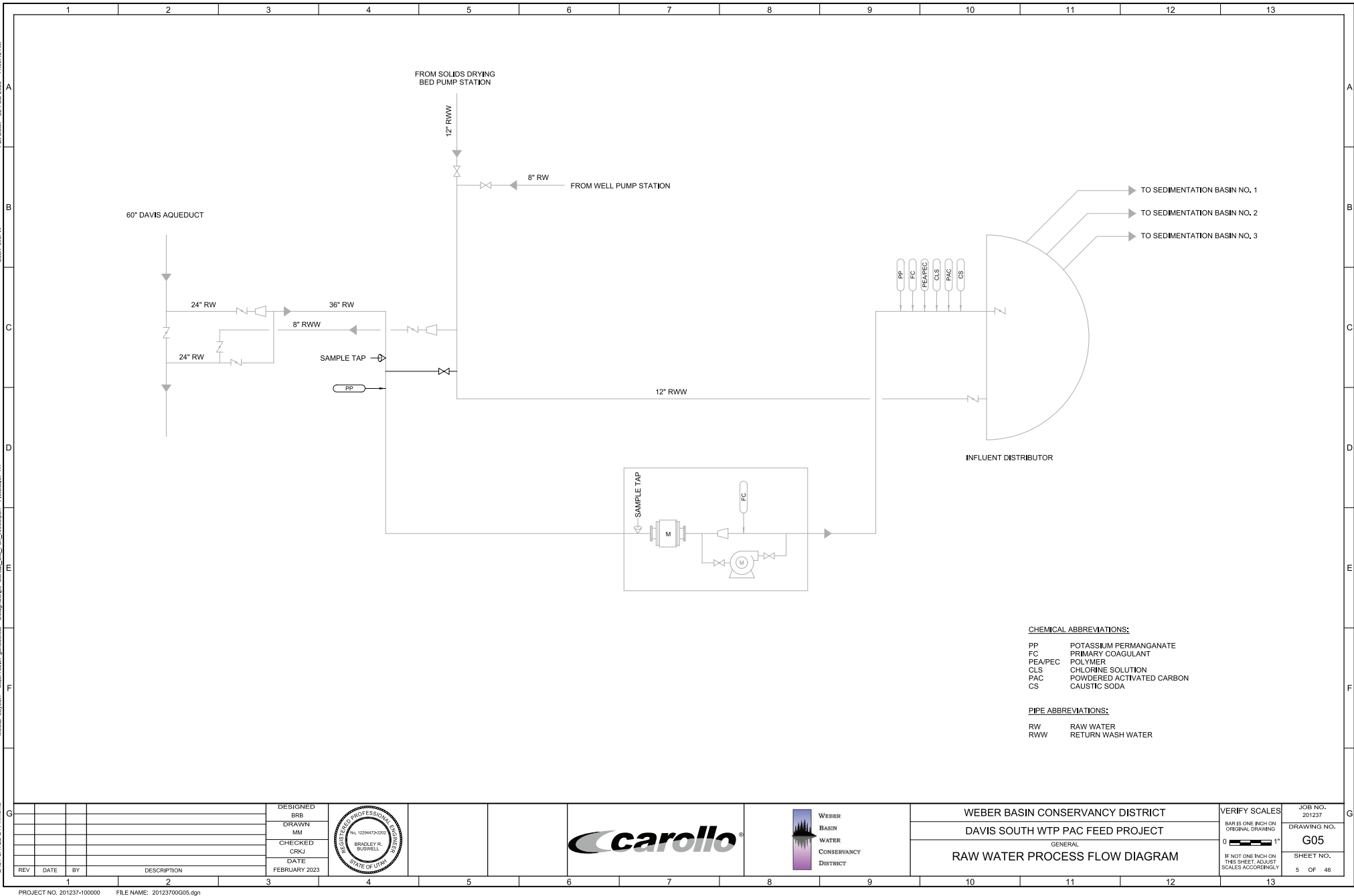
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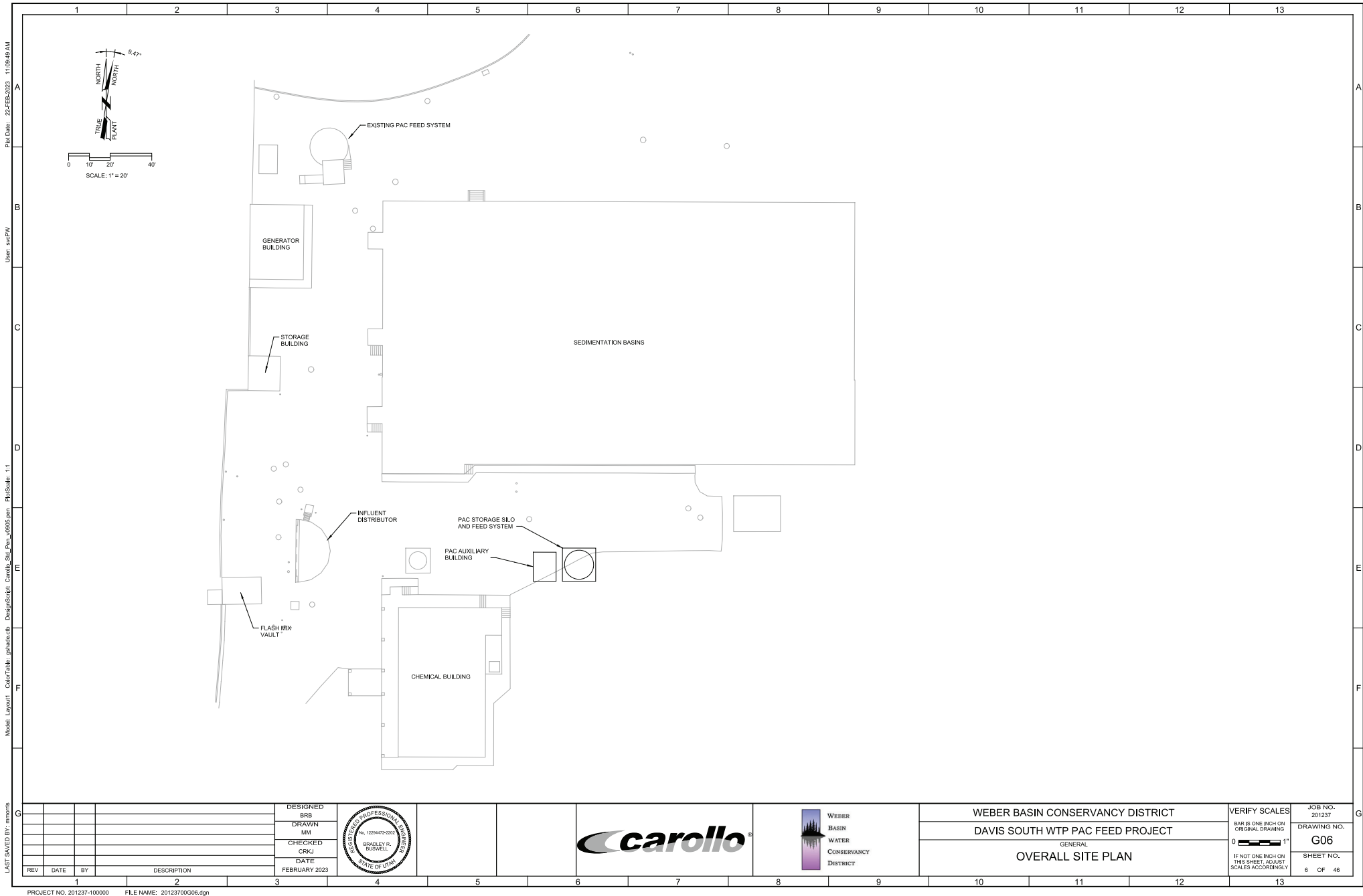
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User: sap/PW

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LAST SAVED BY: mmonte



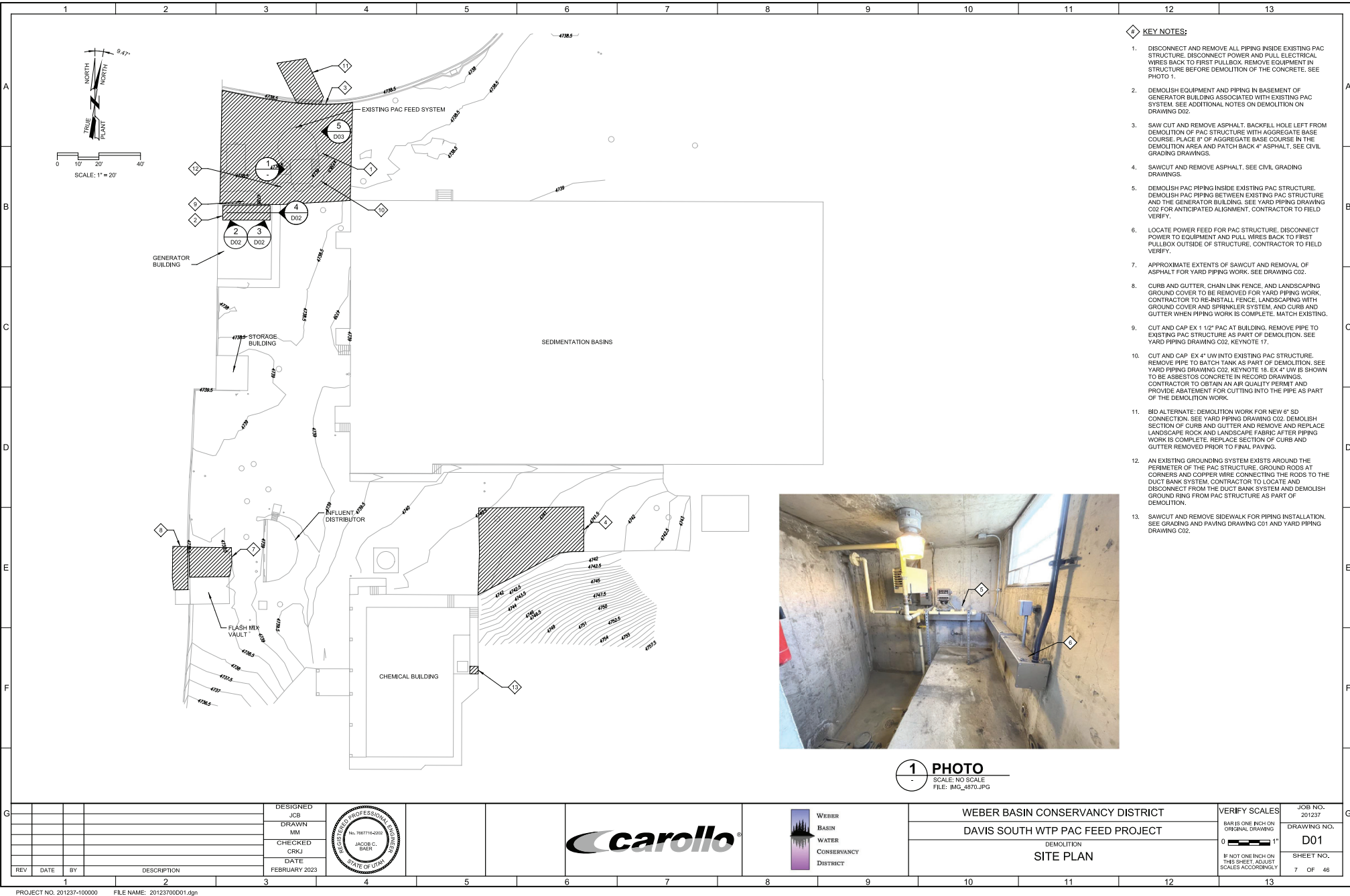


Plot Date: 23-FEB-2023 10:36:08 AM

User: acp/PW

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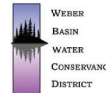
LAST SAVED BY: mmwbs



DESIGNED	JCB
DRAWN	MM
CHECKED	CRKJ
DATE	FEBRUARY 2023



**carollo**



WEBER BASIN CONSERVANCY DISTRICT  
DAVIS SOUTH WTP PAC FEED PROJECT  
DEMOLITION  
SITE PLAN

VERIFY SCALES	JOB NO. 201237
BAR IS ONE INCH ON ORIGINAL DRAWING	DRAWING NO. D01
IF NOT ONE INCH ON SCALES ACCORDINGLY	SHEET NO. 7 OF 46

PROJECT NO. 201237-100000 FILE NAME: 20123700D01.dgn

Plot Date: 22-FEB-2023 11:34:42 AM

User: rwp/PW

Model: Layout1 ColorTable: gribaudi.ctb Design/Script: Carollo\_Sit\_Pac\_v0005.dgn PlotScale: 1:1

LAST SAVED BY: rwp/rwp



**2 PHOTO**  
D01 SCALE: NO SCALE  
FILE: IMG\_4853.JPG



**3 PHOTO**  
D01 SCALE: NO SCALE  
FILE: IMG\_4855.JPG

**GENERAL NOTES:**

1. REMOVE ALL PIPING, TANKS, PUMPS AND APPURTENANCES ASSOCIATED WITH THE EXISTING PAC SYSTEM. CAP PIPES AT EXTERIOR WALL. SEE CIVIL AND DEMO DRAWINGS. DISCONNECT WATER FROM UW HEADER AND CAP CONNECTIONS. LEAVE THE UW HEADER.
2. DISCONNECT ELECTRICAL CONNECTIONS AT JUNCTION BOXES AND ABANDON WIRES IN WIREWAY, WIREWAY TO REMAIN IN PLACE.

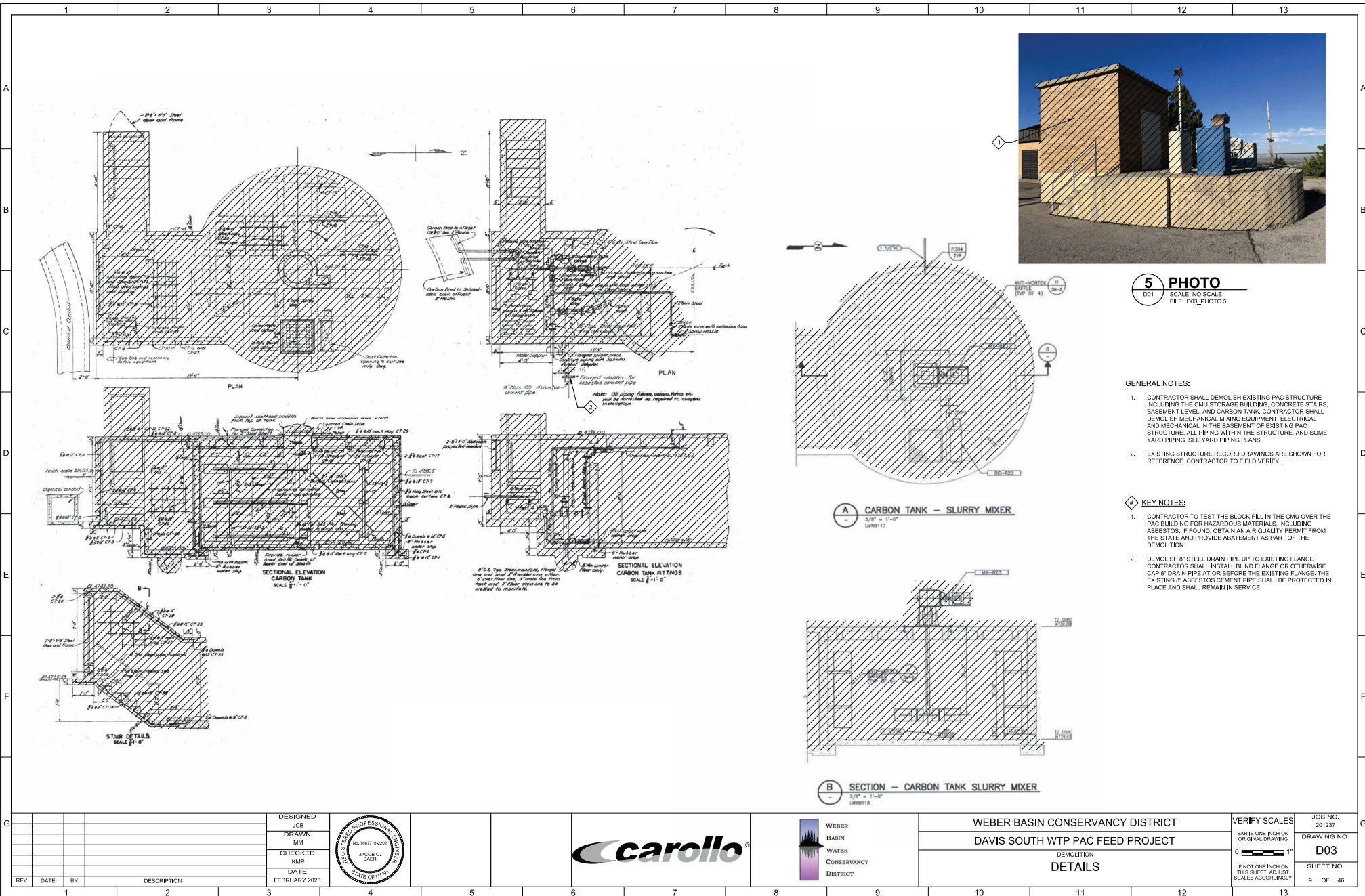


**4 PHOTO**  
D01 SCALE: NO SCALE  
FILE: IMG\_4864.JPG

DESIGNED JCB						WEBER BASIN CONSERVANCY DISTRICT DAVIS SOUTH WTP PAC FEED PROJECT DEMOLITION PHOTOS	VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	JOB NO. 201237 DRAWING NO. D02 SHEET NO. 8 OF 46						
DRAWN MM														
CHECKED CRKJ														
DATE FEBRUARY 2023														
REV	DATE	BY	DESCRIPTION	3	4	5	6	7	8	9	10	11	12	13
1			2	3	4	5	6	7	8	9	10	11	12	13
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PROJECT NO. 201237-100000 FILE NAME: 20123700D02.dgn



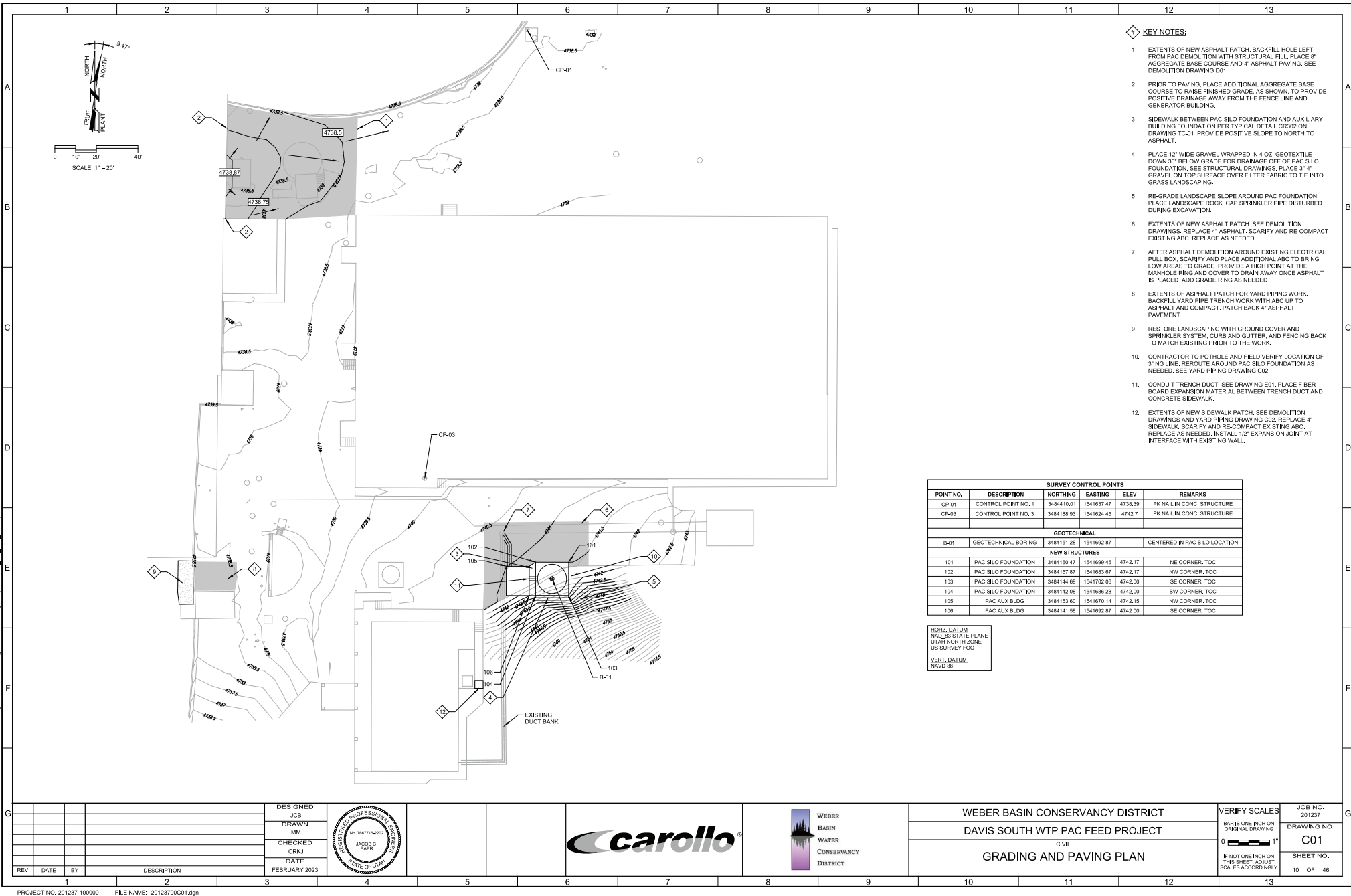


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LAST SAVED BY: mmont



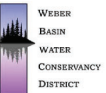
KEY NOTES:

- EXTENTS OF NEW ASPHALT PATCH. BACKFILL HOLE LEFT FROM PAC DEMOLITION WITH STRUCTURAL FILL. PLACE 8" AGGREGATE BASE COURSE AND 4" ASPHALT PAVING. SEE DEMOLITION DRAWING D01.
- PRIOR TO PAVING, PLACE ADDITIONAL AGGREGATE BASE COURSE TO RAISE FINISHED GRADE AS SHOWN, TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FENCE LINE AND GENERATOR BUILDING.
- SIDEWALK BETWEEN PAC SILO FOUNDATION AND AUXILIARY BUILDING FOUNDATION PER TYPICAL DETAIL CR302 ON DRAWING TC-01. PROVIDE POSITIVE SLOPE TO NORTH TO ASPHALT.
- PLACE 12" WIDE GRAVEL, WRAPPED IN 4 OZ. GEOTEXTILE DOWN 36" BELOW GRADE FOR DRAINAGE OFF OF PAC SILO FOUNDATION. SEE STRUCTURAL DRAWINGS. PLACE 3'-4" GRAVEL ON TOP SURFACE OVER FILTER FABRIC TO TIE INTO GRASS LANDSCAPING.
- RE-GRASS LANDSCAPE SLOPE AROUND PAC FOUNDATION. PLACE LANDSCAPE ROCK. CAP SPRINKLER PIPE DISTURBED DURING EXCAVATION.
- EXTENTS OF NEW ASPHALT PATCH. SEE DEMOLITION DRAWINGS. REPLACE 4" ASPHALT. SCARIFY AND RE-COMPACT EXISTING ABC. REPLACE AS NEEDED.
- AFTER ASPHALT DEMOLITION AROUND EXISTING ELECTRICAL PULL BOX, SCARIFY AND PLACE ADDITIONAL ABC TO BRING LOW AREAS TO GRADE. PROVIDE A HIGH POINT AT THE MANHOLE RING AND COVER TO DRAIN AWAY ONCE ASPHALT IS PLACED. ADD GRADE RING AS NEEDED.
- EXTENTS OF ASPHALT PATCH FOR YARD PIPING WORK. BACKFILL YARD PIPE TRENCH WORK WITH ABC UP TO ASPHALT AND COMPACT. PATCH BACK 4" ASPHALT PAVEMENT.
- RESTORE LANDSCAPING WITH GROUND COVER AND SPRINKLER SYSTEM. CURB AND GUTTER, AND FENCING BACK TO MATCH EXISTING PRIOR TO THE WORK.
- CONTRACTOR TO POTHOLE AND FIELD VERIFY LOCATION OF 3" NG LINE. REROUTE AROUND PAC SILO FOUNDATION AS NEEDED. SEE YARD PIPING DRAWING C02.
- CONDUIT TRENCH DUCT. SEE DRAWING E01. PLACE FIBER BOARD EXPANSION MATERIAL BETWEEN TRENCH DUCT AND CONCRETE SIDEWALK.
- EXTENTS OF NEW SIDEWALK PATCH. SEE DEMOLITION DRAWINGS AND YARD PIPING DRAWING C02. REPLACE 4" SIDEWALK. SCARIFY AND RE-COMPACT EXISTING ABC. REPLACE AS NEEDED. INSTALL 12" EXPANSION JOINT AT INTERFACE WITH EXISTING WALL.

SURVEY CONTROL POINTS				
POINT NO.	DESCRIPTION	NORTHING	EASTING	ELEV.
CP-01	CONTROL POINT NO. 1	3484410.01	1541637.47	4738.39
CP-03	CONTROL POINT NO. 3	3484188.93	1541624.45	4742.7
GEOTECHNICAL				
B-01	GEOTECHNICAL BORING	3484151.28	1541692.87	CENTERED IN PAC SILO LOCATION
NEW STRUCTURES				
101	PAC SILO FOUNDATION	3484190.47	1541699.45	NE CORNER, TOC
102	PAC SILO FOUNDATION	3484157.87	1541693.67	NW CORNER, TOC
103	PAC SILO FOUNDATION	3484144.69	1541702.06	SE CORNER, TOC
104	PAC SILO FOUNDATION	3484142.08	1541686.28	SW CORNER, TOC
105	PAC AUX BLDG	3484153.60	1541670.14	NW CORNER, TOC
106	PAC AUX BLDG	3484141.58	1541692.87	SE CORNER, TOC

HORIZ. DATUM  
NAD 83 STATE PLANE  
UTAH NORTH ZONE  
US SURVEY FOOT  
VERT. DATUM  
NAVD 88

carollo



WEBER BASIN CONSERVANCY DISTRICT  
DAVIS SOUTH WTP PAC FEED PROJECT  
CIVIL  
GRADING AND PAVING PLAN

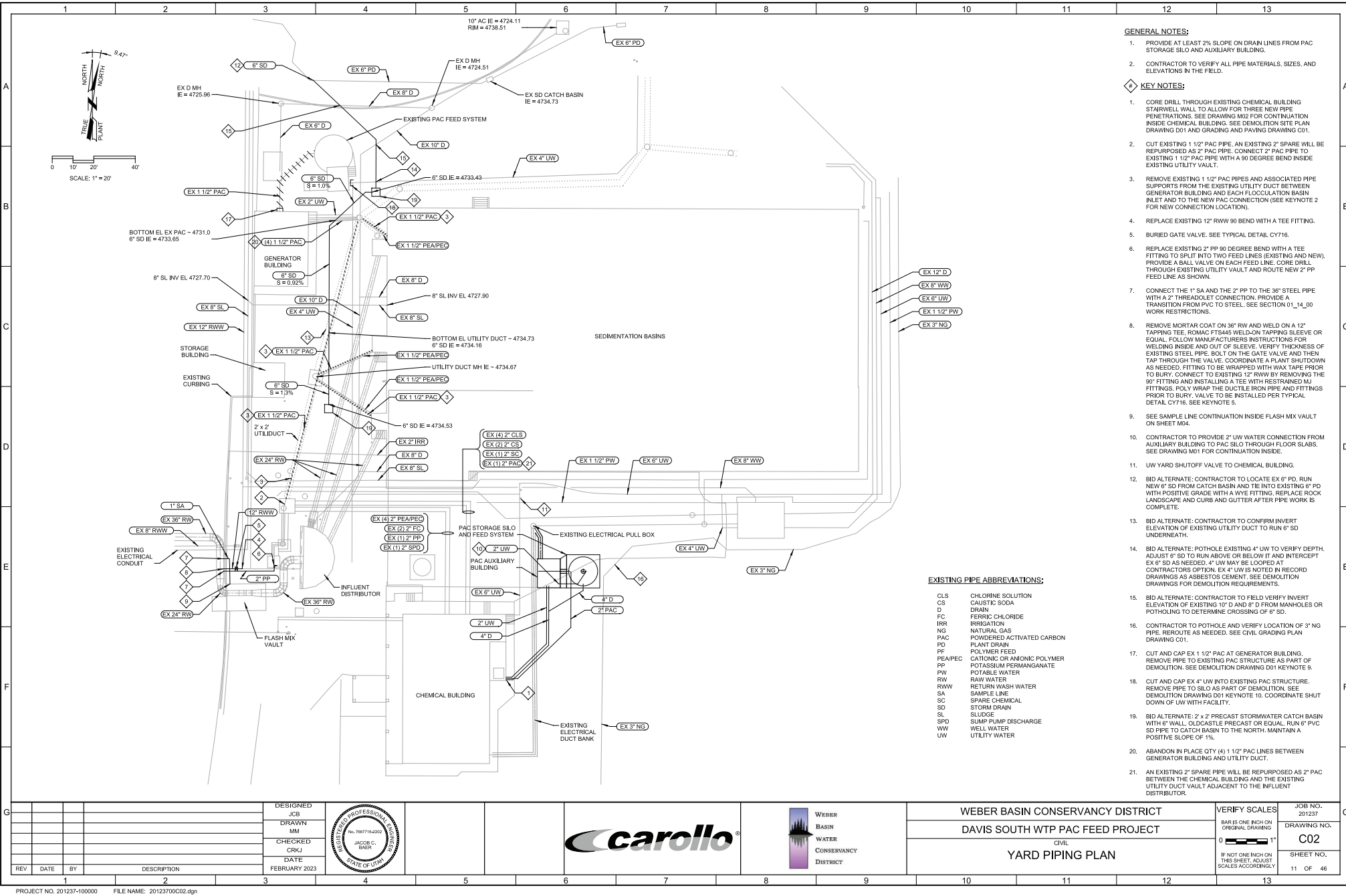
VERIFY SCALES  
JOB NO. 201237  
DRAWING NO. C01  
SHEET NO. 10 OF 46

Plot Date: 24-FEB-2023 10:46:50 AM

User: rwp

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Design/Script: Carollo-Sta-Pro-v0605.dgn  
Plot/Scale: 1:1

LAST SAVED BY: rwp



GENERAL NOTES:

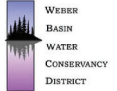
1. PROVIDE AT LEAST 2% SLOPE ON DRAIN LINES FROM PAC STORAGE SILO AND AUXILIARY BUILDING.
2. CONTRACTOR TO VERIFY ALL PIPE MATERIALS, SIZES, AND ELEVATIONS IN THE FIELD.

KEY NOTES:

1. CORE DRILL THROUGH EXISTING CHEMICAL BUILDING STAIRWELL WALL TO ALLOW FOR THREE NEW PIPE PENETRATIONS. SEE DRAWING M02 FOR CONTINUATION INSIDE CHEMICAL BUILDING. SEE DEMOLITION SITE PLAN DRAWING D01 AND GRADING AND PAVING DRAWING C01.
2. CUT EXISTING 1 1/2\"/>
3. REMOVE EXISTING 1 1/2\"/>
4. REPLACE EXISTING 12\"/>
5. BURIED GATE VALVE. SEE TYPICAL DETAIL CY716.
6. REPLACE EXISTING 2\"/>
7. CONNECT THE 1\"/>
8. REMOVE MORTAR COAT ON 36\"/>
9. SEE SAMPLE LINE CONTINUATION INSIDE FLASH MIX VAULT ON SHEET M04.
10. CONTRACTOR TO PROVIDE 2\"/>
11. UW YARD SHUTOFF VALVE TO CHEMICAL BUILDING.
12. BID ALTERNATE: CONTRACTOR TO LOCATE EX 6\"/>
13. BID ALTERNATE: CONTRACTOR TO CONFIRM INVERT ELEVATION OF EXISTING UTILITY DUCT TO RUN 6\"/>
14. BID ALTERNATE: POTHOLE EXISTING 4\"/>
15. BID ALTERNATE: CONTRACTOR TO FIELD VERIFY INVERT ELEVATION OF EXISTING 10\"/>
16. CONTRACTOR TO POTHOLE AND VERIFY LOCATION OF 3\"/>
17. CUT AND CAP EX 1 1/2\"/>
18. CUT AND CAP EX 4\"/>
19. BID ALTERNATE: 2\"/>
20. ABANDON IN PLACE QTY (4) 1 1/2\"/>
21. AN EXISTING 2\"/>

EXISTING PIPE ABBREVIATIONS:

CLS	CHLORINE SOLUTION
CS	CAUSTIC SODA
D	DRAIN
FC	FERRIC CHLORIDE
IRR	IRRIGATION
NG	NATURAL GAS
PAC	POWDERED ACTIVATED CARBON
PD	PLANT DRAIN
PF	POLYMER FEED
PEA/PEC	CATIONIC OR ANIONIC POLYMER
PP	POTASSIUM PERMANGANATE
PW	POTABLE WATER
RW	RAW WATER
RWW	RETURN WASH WATER
SA	SAMPLE LINE
SC	SPARE CHEMICAL
SD	STORM DRAIN
SL	SLUDGE
SPD	SUMP PUMP DISCHARGE
WW	WELL WATER
UW	UTILITY WATER



WEBER BASIN CONSERVANCY DISTRICT  
DAVIS SOUTH WTP PAC FEED PROJECT  
CIVIL  
YARD PIPING PLAN

VERIFY SCALES	JOB NO.
BAR IS ONE INCH ON ORIGINAL DRAWING	201237
0 1'	DRAWING NO.
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	C02
	SHEET NO.
	11 OF 46

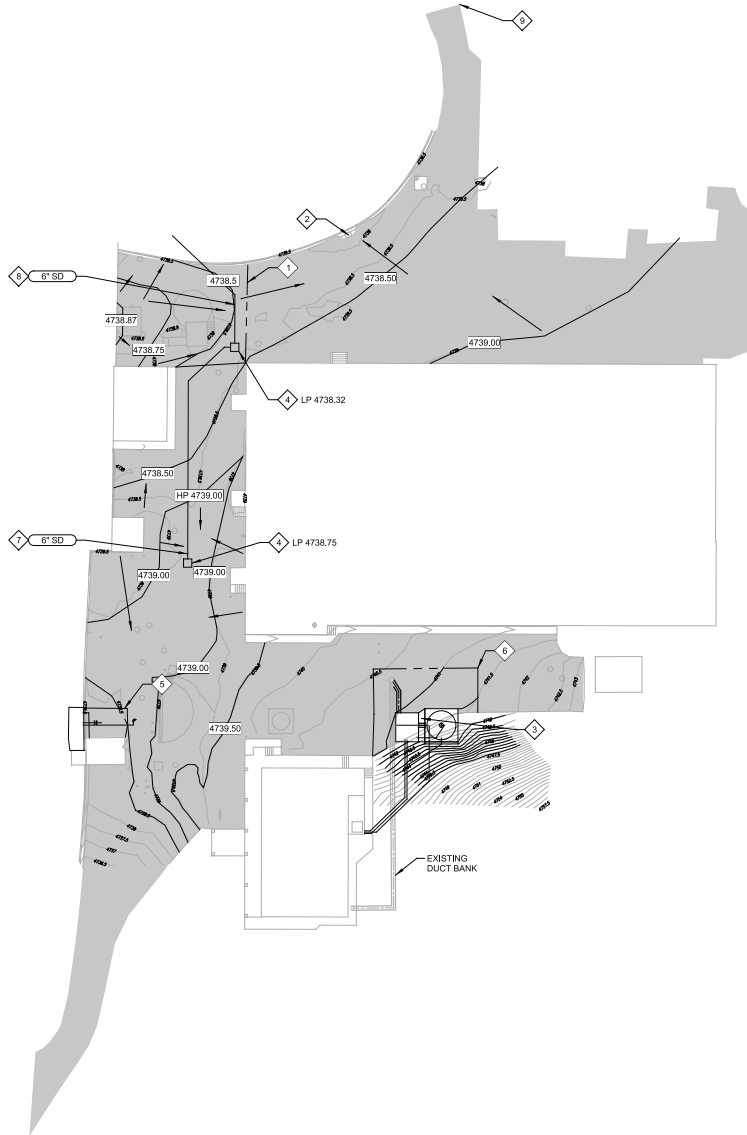
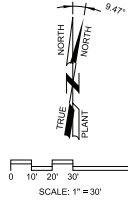


Plot Date: 22-FEB-2023 11:30:09 PM

User: sap/PW

Model: Layout1 ColorTable: galside.ctb Design/Script: Carollo\_Sit\_Plan\_v0905.dgn PlotScale: 1:1

LAST SAVED BY: mmonts



**GENERAL NOTES:**

1. SHADED AREA SHOW IS FOR AN ASPHALT REPLACEMENT BID ALTERNATE. CONTRACTOR TO PROVIDE A BID PRICE TO REMOVE THE 4" ASPHALT, RE-GRADE IN AREAS THAT HAVE ALTERED SLOPE, AND RE-PAVE WITH 4" ASPHALT. THE BASE BID PAVEMENT AREAS SHOWN ON THE CIVIL GRADING PLANS ARE TO BE SUBTRACTED FROM THE BID ALTERNATE PRICE.

**KEY NOTES:**

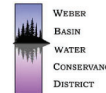
1. EXTENTS OF NEW ASPHALT PATCH IN BASE BID. SEE DEMOLITION AND CIVIL GRADING DRAWINGS.
2. CATCH BASIN FOR SITE DRAINAGE. LIFT SUBGRADE AROUND BOX SO AFTER PAVING IT IS THE LOW POINT IN THIS AREA.
3. CONCRETE SIDEWALK BETWEEN PAC SILO AND AUXILIARY BUILDING IN BASE BID. SEE CIVIL GRADING DRAWINGS.
4. INSTALL A NEW 2' x 2' PRECAST CATCH BASIN AT THE LOW POINT. PIPE 6" PVC SD PIPE NORTH PER KEYNOTE 7 AND KEYNOTE 8.
5. EXTENTS OF NEW ASPHALT PATCH IN BASE BID FOR YARD PAVING WORK. SEE CIVIL GRADING AND YARD PAVING DRAWINGS.
6. EXTENTS OF NEW ASPHALT PATCH IN BASE BID. SEE DEMOLITION AND CIVIL GRADING DRAWINGS.
7. INSTALL CATCH BASINS AND ROUTE 6" SD PIPE UNDER UTILITY DUCT TO NORTH CATCH BASIN. SEE YARD PAVING DRAWING C02.
8. INSTALL CATCH BASINS AND ROUTE 6" SD PIPE NORTH TO INTERCEPT EX 6" PD. CONNECT TO PIPE WITH A WYE FITTING. SEE YARD PAVING DRAWING C02.
9. NEW ASPHALT IN THE BID ALTERNATE SHALL EXTEND TO THE JOINT BETWEEN OLD ASPHALT AND NEWER ASPHALT.

REV	DATE	BY	DESCRIPTION
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DESIGNED  
JCB  
DRAWN  
MM  
CHECKED  
CRKJ  
DATE  
FEBRUARY 2023



**carollo**



WEBER BASIN CONSERVANCY DISTRICT  
DAVIS SOUTH WTP PAC FEED PROJECT  
CIVIL  
ASPHALT REPLACEMENT AND STORMWATER  
UPGRADES BID ALTERNATE

VERIFY SCALES  
BAR IS ONE INCH ON  
ORIGINAL DRAWING  
0 1"  
IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
SCALES ACCORDINGLY

JOB NO.  
201237  
DRAWING NO.  
C03  
SHEET NO.  
12 OF 46



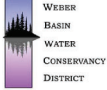
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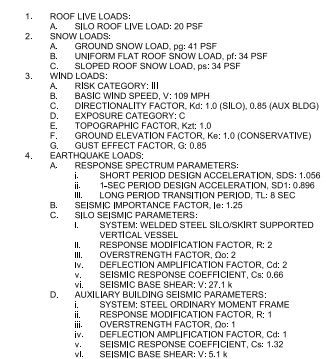
User: ac-PW

Model: Layout

Design/Subject: Carullo, Sta. Pac. 05051.dgn Plot Scale: 1:1

LAST SAVED BY: mrcorbo

	1	2	3	4	5	6	7	8	9	10	11	12	13																															
	<b>GENERAL NOTES:</b> 1. USE STRUCTURAL DRAWINGS IN CONJUNCTION WITH PROJECT DRAWINGS BY OTHER DISCIPLINES AND WITH THE SPECIFICATIONS. 2. UNLESS DETAILED, SPECIFIED, OR INDICATED OTHERWISE, CONSTRUCTION SHALL BE AS INDICATED IN THE GENERAL NOTES AND TYPICAL DETAILS. 3. PRESENTATION CONVENTIONS FOR STRUCTURAL DRAWINGS: A. SCREENED LINE WORK INDICATES EXISTING CONDITIONS. B. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES. C. PLANS ARE TREATED AS HORIZONTAL SECTIONS, (I.E.: PLAN AT ELEVATION 110' SHOWS CONSTRUCTION AT AND BELOW ELEVATION 110.) 4. VERIFY DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK. ADVISE ENGINEER IMMEDIATELY OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DIMENSIONS, AND INFORMATION SHOWN ON THESE DRAWINGS. CONFIRM THE FOLLOWING BEFORE PREPARATION AND SUBMITTAL OF SHOP DRAWINGS: A. DIMENSIONS AND WEIGHTS FOR EQUIPMENT SELECTED. B. SIZES AND LOCATIONS OF EQUIPMENT PADS FOR EQUIPMENT SELECTED. 5. TYPICAL DETAILS ARE INCLUDED ON THE 'TS' DRAWINGS. A. TYPICAL DETAILS ARE INTENDED TO APPLY AT LOCATIONS DESCRIBED BY THEIR TITLES, EVEN WHEN NOT SPECIFICALLY REFERENCED ON THE DRAWINGS. B. IN STRUCTURAL TYPICAL DETAILS, ORIENTATION OF BARS IN EACH MAT OF REINFORCEMENT (WHETHER 'LINES' OR 'DOTS' ARE CLOSER TO THE FACE OF THE CONCRETE) IS GENERALLY ARBITRARY. SEE DRAWINGS OF EACH STRUCTURE FOR ORIENTATION REQUIRED AT THAT STRUCTURE. 6. SEE CIVIL DRAWINGS FOR STRUCTURE COORDINATES, POINTS ON THE STRUCTURES TO WHICH SITE COORDINATES REFER ARE SHOWN ON THE STRUCTURAL PLANS. 7. DRAWINGS PREPARED BY OTHER DISCIPLINES INCLUDE OPENINGS, ANCHORS, PIPES, CONDUITS, AND OTHER ITEMS THAT ARE EMBEDDED INTO OR PASS THROUGH STRUCTURES. A. CONFIRM SIZE AND LOCATIONS OF OPENINGS, PENETRATIONS AND EMBEDMENT FOR ITEMS AND EQUIPMENT FURNISHED. B. IN GENERAL, OPENINGS, EMBEDMENTS, AND PENETRATIONS LESS THAN 12 INCHES IN DIAMETER ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. C. SEE MECHANICAL DRAWINGS FOR DETAILS OF PIPE PENETRATIONS, PIPE SUPPORTS, AND ASSOCIATED STRUCTURAL REQUIREMENTS. D. SEE MECHANICAL DRAWINGS FOR EQUIPMENT PADS AND PIPE SUPPORTS.			<b>GEOTECHNICAL REPORT / FOUNDATION DESIGN CRITERIA:</b> 1. GEOTECHNICAL INVESTIGATION REPORT: TITLE: PAC SILO PREPARED BY: AGEC APPLIED GEOTECH. REPORT NO: 1220741 DATED: 11/22/22. 2. FOUNDATION DESIGNS ARE BASED ON RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT. A. NET ALLOWABLE BEARING PRESSURE: 2,000 PSF. B. FROST DEPTH: 30" C. LATERAL EARTH PRESSURE (UNO): SURCHARGE: EQUIVALENT TO 2 FEET OF SOIL ABOVE FINISHED GRADE. <table><tr><td></td><td>STATIC</td><td>SEISMIC</td></tr><tr><td>ACTIVE (PSF/FT):</td><td>50</td><td>93</td></tr><tr><td>AT REST (PSF/FT):</td><td>45</td><td>83</td></tr><tr><td>PASSIVE (PSF/FT):</td><td>250</td><td>207</td></tr><tr><td>SLIDING COEFFICIENT OF FRICTION:</td><td>0.35</td><td>0.35</td></tr></table> <b>TYPICAL STRUCTURAL MATERIALS:</b> 1. MATERIALS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS. 2. SEE PROJECT SPECIFICATIONS AND NOTES ON DRAWINGS OF SPECIFIC STRUCTURES FOR DETAILED AND LOCATION-SPECIFIC REQUIREMENTS. <b>REINFORCING STEEL (FOR CONCRETE AND MASONRY):</b> 1. DEFORMED BARS: A. TYPICAL: ASTM A 615, GRADE 60. <b>CONCRETE:</b> 1. NORMAL DENSITY. 2. MINIMUM SPECIFIED CONCRETE COMPRESSIVE STRENGTH, $f_c$ (AT 28 DAYS UNO). A. STRUCTURES: "CLASS A" $f_c$ = 4500 PSI. B. FILL AND THRUST BLOCKS: "CLASS C" $f_c$ = 2500 PSI. C. ELECTRICAL DUCT ENCASMENT: "CLASS CE" $f_c$ = 2500 PSI. D. PRECAST MEMBERS: "CLASS D" $f_c$ = 5000 PSI. E. PAVING/CURB AND GUTTERS/SEWALK: "CLASS PM" $f_c$ = 4500 PSI. <b>STRUCTURAL STEEL:</b> 1. SECTIONS A. SHAPES: W, WT: ASTM A 992 ( $F_y$ = 50 KSI) B. SHAPES: S, ST, M, MT, HP, C, MC, L: ASTM A 36 ( $F_y$ = 36 KSI) C. PLATES AND BARS: ASTM A 36 ( $F_y$ = 36 KSI) D. PIPES: ASTM A 53, GRADE B ( $F_y$ = 35 KSI) E. HOLLOW STRUCTURAL SECTIONS: ROUND: ASTM A 500, GRADE B ( $F_y$ = 42 KSI) SQUARE AND RECTANGULAR: ASTM A 500, GRADE B ( $F_y$ = 46 KSI) 2. CONNECTIONS: A. BOLTS - STEEL TO-STEEL: ASTM F 3125 GRADE A325 HIGH-STRENGTH BOLTS, WITH LOAD INDICATOR WASHERS. B. BOLTS - STEEL TO CONCRETE OR MASONRY: ANCHOR BOLTS WITH HEX FORGED HEAD. ASTM F 1554, GRADE 36 GALVANIZED C. WELDS - SHIELDED METAL ARC PROCESS USING E70-XX ELECTRODES. <b>STAINLESS STEEL:</b> 1. ANSI TYPE 316/316L EXCEPT WHERE TYPE 304/304L IS INDICATED ON THE DRAWINGS. 2. SECTIONS: SHAPES AND BARS: ASTM A 276. 3. BOLTED CONNECTIONS - BOLTS AND ANCHOR BOLTS: A. MATCH ALLOY OF THE STRUCTURAL MEMBERS CONNECTED. B. TYPE 316/316L: ASTM F 593, GRADE B8M, CLASS 1, HEAVY HEX. C. TYPE 304/304L: ASTM F 593, GRADE B8, CLASS 1, HEAVY HEX. 4. WELDED CONNECTIONS: A. TYPE 316L: E316L-15 ELECTRODES. B. TYPE 304L: E304L-15 ELECTRODES.				STATIC	SEISMIC	ACTIVE (PSF/FT):	50	93	AT REST (PSF/FT):	45	83	PASSIVE (PSF/FT):	250	207	SLIDING COEFFICIENT OF FRICTION:	0.35	0.35	<b>CONSTRUCTION:</b> CONFORM TO THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS. <b>EXCAVATION AND BACKFILLING:</b> 1. EXPOSE AND PREPARE SUBGRADE AS SHOWN ON THE DRAWINGS AND SPECIFIED. OBTAIN ENGINEER'S OBSERVATION OF SUBGRADE SURFACES, AS EXPOSED AND AS PREPARED, BEFORE PROCEEDING WITH FOUNDATION CONSTRUCTION. <b>CONCRETE:</b> 1. SEE S101/TYP FOR CONCRETE NOTES, INCLUDING CLEAR COVER AND LAP SPLICE LENGTH REQUIREMENTS FOR REINFORCING. 2. SUBMIT LOCATIONS OF CONSTRUCTION JOINTS NOT SHOWN ON THE DRAWINGS FOR ACCEPTANCE BY THE ENGINEER BEFORE FORM LAYOUT. 3. PROVIDE CHAMFER AT EXPOSED EDGES OF CAST-IN-PLACE CONCRETE. SEE SPECIFICATION 03_L11_07 FOR CHAMFERS. 4. PROVIDE REINFORCING: A. AT OPENINGS - AS INDICATED IN S180/TYP. 5. WELDING OF REINFORCING IS NOT PERMITTED. 6. MAINTAIN MINIMUM 3 INCHES CLEAR CONCRETE COVER BETWEEN REINFORCING AND EMBEDMENTS. 7. FINISH CONCRETE AS SPECIFIED IN SECTION 03_35_29. 8. CONCRETE PADS A. EQUIPMENT PAD SEE S302/TYP. B. HOUSEKEEPING PAD FOR ELECTRICAL EQUIPMENT SEE S350/TYP. <b>STEEL AND STAINLESS STEEL - CONNECTIONS:</b> 1. BOLTED: A. MADE USING 3/4-INCH DIAMETER BOLTS. B. HAVING A MINIMUM OF 2 BOLTS, SPACED NOT CLOSER THAN 3 INCHES ON CENTER. C. WITH A DISTANCE OF AT LEAST 1 1/2 INCHES FROM CENTER OF BOLT TO ANY EDGE OF A PLATE OR STRUCTURAL ELEMENT. 2. WELDED: A. FILLET WELDS: PER AWS CODE BASED ON THE THICKNESS OF THE MATERIALS BEING JOINED, AND FULL LENGTH OF THE JOINT. 3. INTERFACE BETWEEN MATERIALS: A. AT BOLTED CONNECTIONS THAT INCLUDE DIFFERENT METALS (E.G.: STEEL AND STAINLESS STEEL, OR ALUMINUM AND STEEL) PROVIDE ISOLATING SLEEVES AND WASHERS AS SPECIFIED IN SECTION 05_05_24. B. WHERE ALUMINUM IS IN CONTACT WITH MASONRY OR CONCRETE, COAT ALUMINUM SURFACES WITH A BITUMINOUS COATING. 4. POST-INSTALLED ANCHORS IN CONCRETE: A. INSTALL IN FULL COMPLIANCE WITH ACCEPTED BUILDING CODE EVALUATION REPORT AND MANUFACTURER'S INSTRUCTIONS. B. DO NOT CUT, DAMAGE, OR INTERRUPT EXISTING REINFORCEMENT TO INSTALL LOCATIONS OF REINFORCEMENT IN MEMBERS BEFORE DRILLING HOLES FOR ANCHORS.			<b>METAL FABRICATIONS:</b> 1. HANDRAILS AND GUARDRAILS: A. STEEL, EXCEPT WHERE OTHER MATERIALS ARE NOTED. 2. GRATING: A. ALUMINUM WITH TYPE 316 STAINLESS STEEL FASTENERS, UNLESS OTHERWISE NOTED. B. GRATING AND ITS SEATS OR SUPPORTS SHALL BE OF THE SAME MATERIAL. C. UNLESS INDICATED ON THE DRAWINGS AS 'REMOVABLE GRATING', SECURELY FASTEN GRATING TO SUPPORTS AS INDICATED IN S559/TYP. 3. COVER PLATES: A. STEEL WITH STEEL FASTENERS, UNLESS OTHERWISE NOTED. B. COVER PLATE AND ITS SEATS OR SUPPORTS SHALL BE OF THE SAME MATERIAL. <b>SPECIAL INSPECTION:</b> 1. SPECIAL INSPECTION IS REQUIRED FOR THE FOLLOWING STRUCTURAL MATERIALS AND CONSTRUCTION. SEE SPECIFICATION SECTION 01_45_24 FOR DETAILS. 2. DIVISION 2 SITE CONSTRUCTION (EARTHWORK) A. EXCAVATION DEPTH. B. ADEQUACY OF EXPOSED SURFACE TO PROVIDE REQUIRED SUPPORT. C. PREPARATION OF SOILS/SURFACES SUPPORTING CONSTRUCTION. D. FILL AND BACKFILL. 3. DIVISION 3 CONCRETE: A. LOCATIONS. B. FORMWORK AND MEMBER SIZES. C. REINFORCING STEEL. D. ANCHORS: CAST-IN AND POST-INSTALLED. E. CONCRETE MIX AND PLACEMENT. F. PROTECTION AND CURING PROCEDURES. G. PRECAST CONCRETE. 4. DIVISION 5 METALS A. GENERAL ALL METALS: 1) MEMBER LOCATIONS. 2) MEMBER SIZES/TYPES. 3) ANCHORS - CAST-IN AND BUILT-IN ANCHOR BOLTS. 4) ANCHORS - POST-INSTALLED MECHANICAL AND ADHESIVE. B. STRUCTURAL STEEL (CARBON AND STAINLESS). 1) HIGH-STRENGTH BOLTING. 2) WELDING. <b>STRUCTURAL OBSERVATION:</b> 1. STRUCTURAL OBSERVATION IS REQUIRED DURING AND AT SPECIFIC STAGES OF CONSTRUCTION. SEE SPECIFICATION SECTION 01_45_24 FOR DETAILS.			<b>STRUCTURAL SYMBOLS:</b> 1. SEE GENERAL DRAWINGS FOR KEY TO DRAWING TITLES AND SECTION CUTS, AND FOR DEFINITION OF MATERIALS SHADING PATTERNS. 2. WELDING: SYMBOLS: IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) A2.4. <b>STRUCTURAL ABBREVIATIONS:</b> 1. SEE GENERAL DRAWINGS FOR GENERAL LIST OF ABBREVIATIONS USED ON DRAWINGS. 2. ABBREVIATIONS FOR NAMES OF TECHNICAL GROUPS MAY BE FOUND IN THE PROJECT SPECIFICATIONS. 3. STRUCTURAL MEMBERS: A. STEEL: ABBREVIATIONS AND DESIGNATIONS ARE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION'S STEEL CONSTRUCTION MANUAL, CURRENT EDITION. 4. ABBREVIATIONS FOR STRUCTURAL DRAWINGS: WHEN USED ON THE STRUCTURAL DRAWINGS, THE FOLLOWING ABBREVIATIONS HAVE THE MEANINGS LISTED. <table><tr><td>REINFORCEMENT:</td><td>OTHER:</td></tr><tr><td>BO: BOTTOM OF</td><td>L: ANGLE</td></tr><tr><td>EF: EACH FACE</td><td>PL: PLATE</td></tr><tr><td>IF: INSIDE FACE</td><td></td></tr><tr><td>O.F: OUTSIDE FACE</td><td></td></tr><tr><td>T.O: TOP OF</td><td></td></tr><tr><td># NUMBER (REINFORCING BAR SIZE)</td><td></td></tr></table> <b>DEFERRED DESIGN SUBMITTALS</b> AS DEFINED IN THE BUILDING CODE, DEFERRED DESIGN SUBMITTALS ARE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF PERMIT APPLICATION, AND THAT ARE TO BE REVIEWED BY THE REGISTERED DESIGN PROFESSIONAL AND SUBSEQUENTLY SUBMITTED TO THE BUILDING OFFICIAL. DEFERRED DESIGN SUBMITTALS FOR THIS PROJECT INCLUDE: 1. DIVISION 3 CONCRETE. 2. DIVISION 5 METALS. A. 05_05_24 MECHANICAL ANCHORING AND FASTENING TO CONCRETE. 3. DIVISION 15. A. 15050 COMMON WORK RESULTS FOR MECHANICAL EQUIPMENT. B. 15061 PIPE SUPPORTS. 4. LIFTING EYES: SUBMIT DETAILS WITH CALCULATIONS DEMONSTRATING THE SPECIFIED LOAD CAPACITY TO ENGINEER. DELIVER REMOVABLE EYES TO OWNER AFTER INSTALLATION OF REMOVABLE PANELS.			REINFORCEMENT:	OTHER:	BO: BOTTOM OF	L: ANGLE	EF: EACH FACE	PL: PLATE	IF: INSIDE FACE		O.F: OUTSIDE FACE		T.O: TOP OF		# NUMBER (REINFORCING BAR SIZE)	
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	<b>DESIGNED</b> CE												WEBER BASIN CONSERVANCY DISTRICT DAVIS SOUTH WTP PAC FEED PROJECT GENERAL STRUCTURAL NOTES			VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY			JOB NO. 201237 DRAWING NO. GS01 SHEET NO. 13 OF 46																									
	1	2	3	4	5	6	7	8	9	10	11	12	13																															
	PROJECT NO. 201237-100000 FILE NAME: 201237000S01.dgn																																											



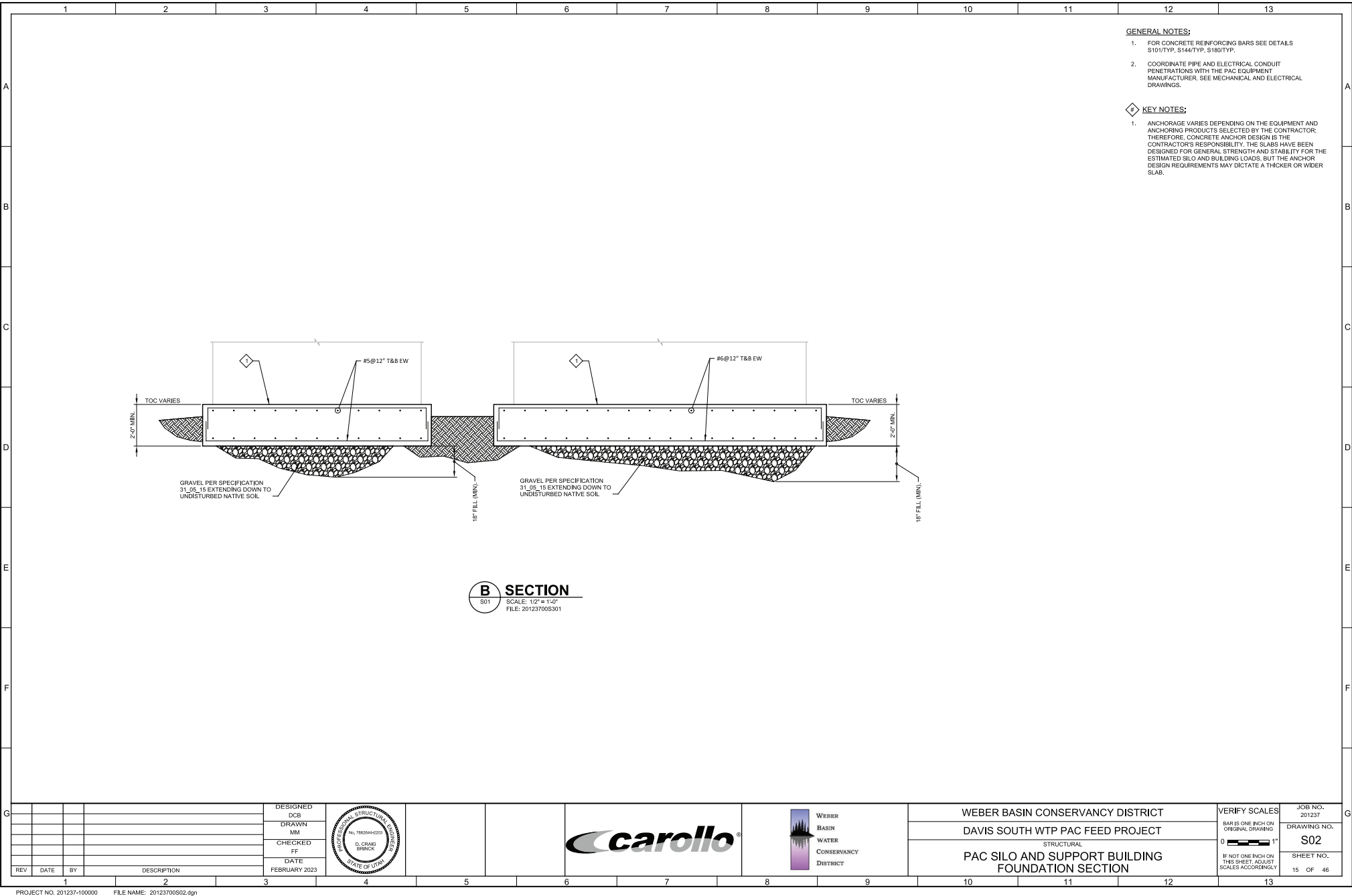
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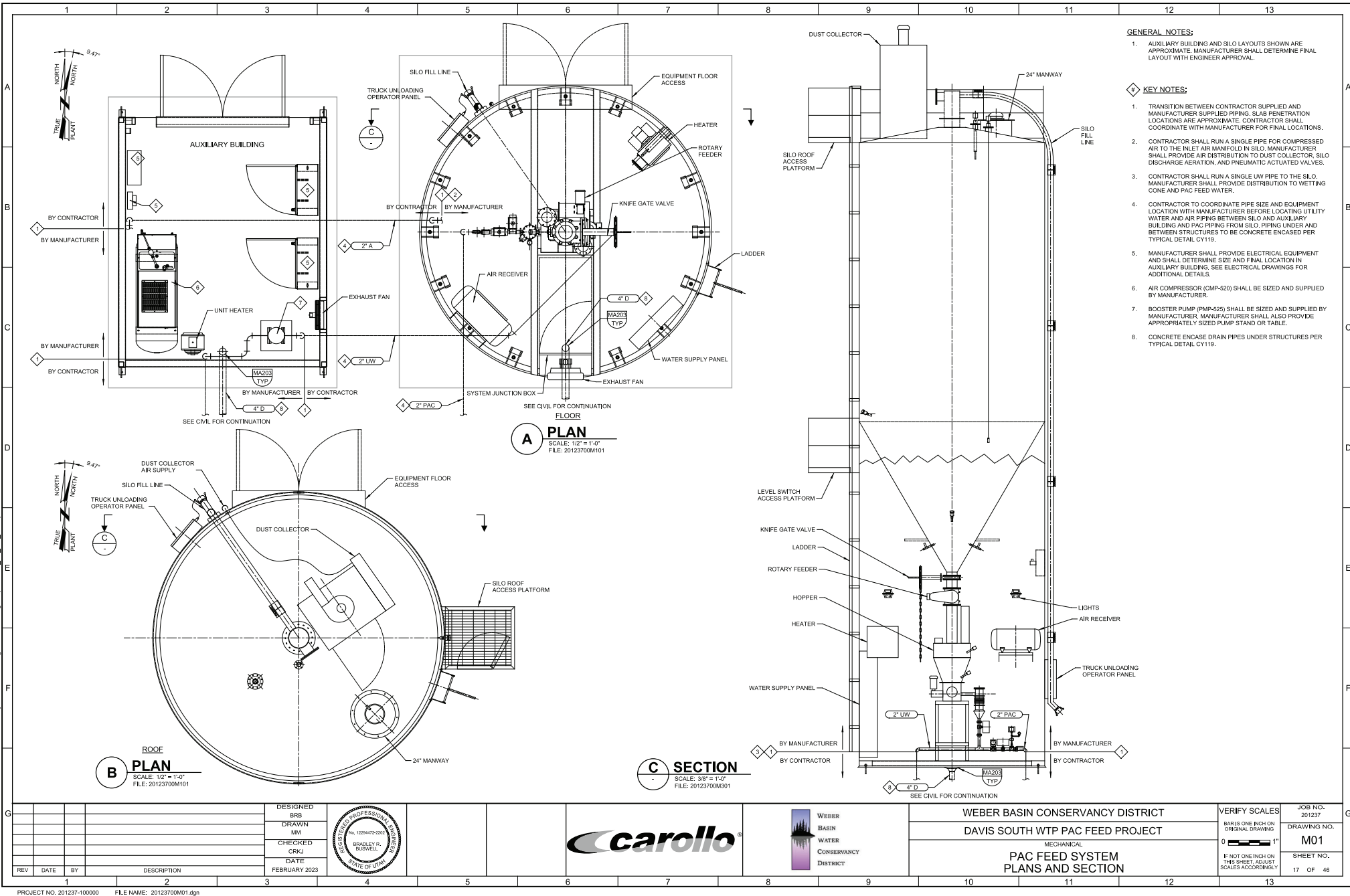
Page 55 of 95

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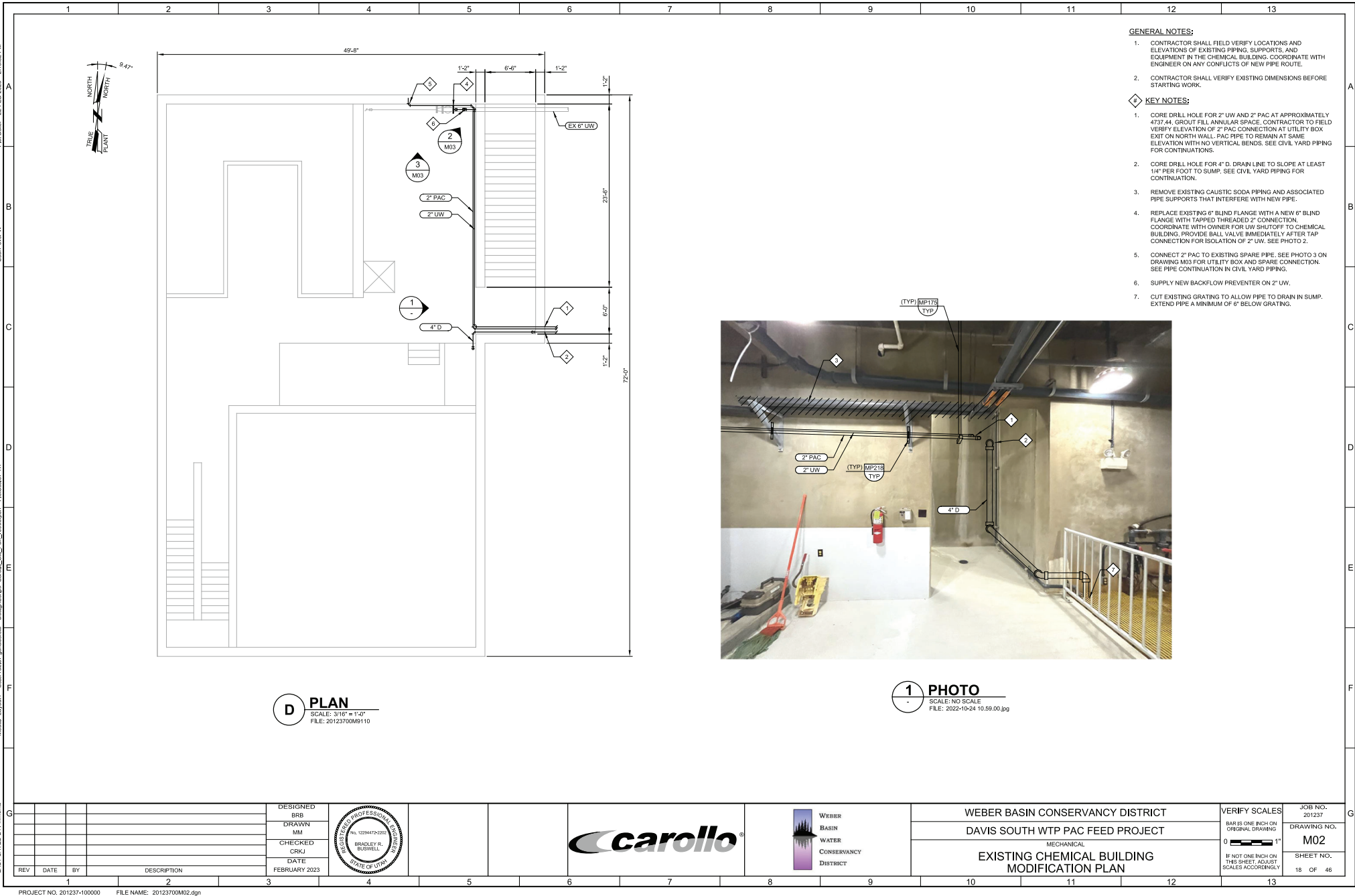


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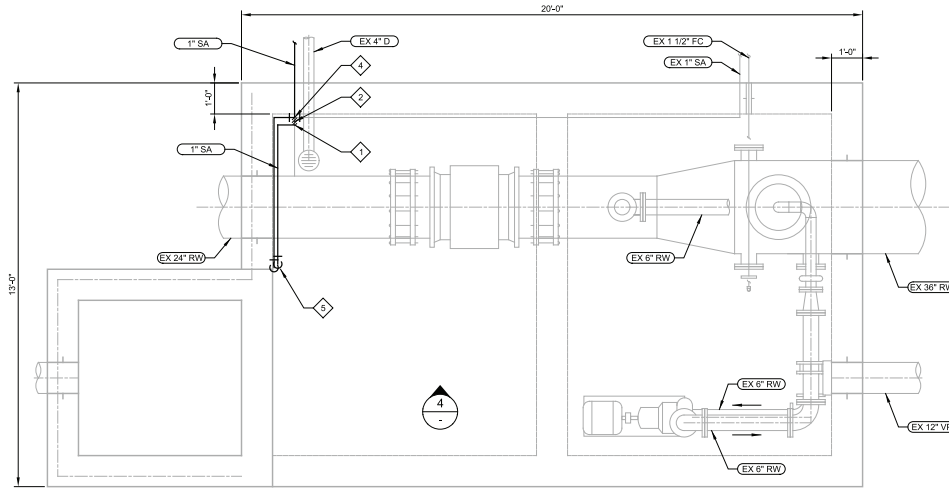


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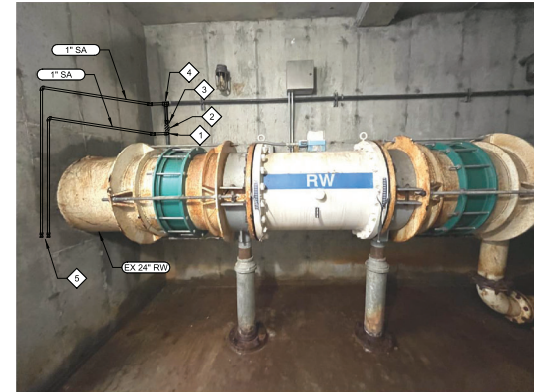
**E PLAN**  
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**GENERAL NOTES:**

1. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING PIPING IN THE FLASH MIX VAULT. COORDINATE WITH ENGINEER ON ANY CONFLICTS OF NEW PIPE ROUTE.
2. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS BEFORE STARTING WORK.

**KEY NOTES:**

1. CUT EXISTING SAMPLE LINE AND ROUTE PIPE OVER 24" RW.
2. REMOVE EXISTING PIPE TO ALLOW FOR NEW SAMPLE LINE.
3. CORE DRILL HOLE FOR NEW 1" SA. GROUT FILL ANNULAR SPACE AROUND PIPE.
4. REPLACE 90 DEGREE BEND WITH TEE. CONNECT NEW SAMPLE LINE TO EXISTING PIPE AND ROUTE PIPE OVER 24" RW.
5. PROVIDE BALL VALVES ON BOTH SAMPLE CONNECTIONS 3'-6" ABOVE FINISHED FLOOR.



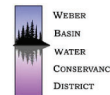
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DATE  
FEBRUARY 2023



**carollo**



WEBER BASIN CONSERVANCY DISTRICT  
DAVIS SOUTH WTP PAC FEED PROJECT  
MECHANICAL  
EXISTING FLASH MIX VAULT MODIFICATIONS  
PLAN AND DETAILS

VERIFY SCALES  
BAR IS ONE INCH ON ORIGINAL DRAWING  
0 1'  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

JOB NO.  
201237  
DRAWING NO.  
M04  
SHEET NO.  
20 OF 46

ELECTRICAL PLAN SYMBOLS													ELECTRICAL ONE-LINE SYMBOLS												
IDENTIFICATION SYMBOLS													SWITCHES/RECEPTACLES												
<p><b>EQUIP #</b> EQUIPMENT AND INSTRUMENT IDENTIFICATION</p> <p><b>EQUIPMENT/INSTRUMENT LOCATOR</b></p> <p><b>LUMINAIRE IDENTIFICATION</b>  a = CIRCUIT DESIGNATION  b = DEVICE SWITCHED FROM  c = MOUNTING HEIGHT IN FEET TO BOTTOM OF FIXTURE  X = LUMINAIRE TYPE, REFER TO THE LUMINAIRE SCHEDULE</p> <p><b>CONDUIT IDENTIFICATION</b>  XXXX = CONDUIT NUMBER, REFER TO CONDUIT SCHEDULE UNLESS OTHERWISE NOTED, GROUPED CONDUITS ARE LABELED LEFT TO RIGHT OR TOP TO BOTTOM.</p> <p><b>INDICATES KEYNOTE X (PERTAINS ONLY TO SHEET WHERE NOTE IS FOUND)</b></p> <p><b>DISCONNECT SWITCH</b>  A = TYPE, REFER TO DISCONNECT SCHEDULE</p> <p><b>CAMERA</b></p> <p><b>LUMINAIRES</b></p> <p><b>LINEAR FIXTURE</b></p> <p><b>2' X 2' LAY-IN TROFFER</b></p> <p><b>2' X 4' LAY-IN TROFFER</b></p> <p><b>LUMINAIRE POLE MOUNTED</b></p> <p><b>GOING-GO PANEL - STROBE AND HORN</b>  R = RED LIGHT  G = GREEN LIGHT  H = HORN</p> <p><b>GOING-GO PANEL - SOLID</b></p> <p><b>GOING-GO PANEL - STROBE</b></p> <p><b>LUMINAIRE, EMERGENCY BATTERY-POWERED</b></p> <p><b>LUMINAIRE, EMERGENCY/EXIT BATTERY-POWERED</b></p> <p><b>LUMINAIRE, EMERGENCY BATTERY-POWERED REMOTE</b></p> <p><b>LUMINAIRE, SURFACE OR PENDANT MOUNTED</b></p> <p><b>LUMINAIRE, WALL MOUNTED</b></p> <p><b>LUMINAIRE, FLOOD/SPOT</b></p> <p><b>LUMINAIRE, EXIT ONE OR TWO FACES AS INDICATED. ARROW POINTS IN DIRECTION OF EGRESS.</b></p>													<p><b>SINGLE POLE SWITCH</b>  a = CIRCUIT DESIGNATION  b = DEVICE SWITCHED DESIGNATION  c = TYPE</p> <p><b>DOUBLE POLE SWITCH</b>  3P = THREE POSITION SWITCH  4 = FOUR-WAY SWITCH  K = KEY OPERATED SWITCH  F = SWITCH AND FUSE/STAT HOLDER  P = SWITCH AND PILOT LIGHT  T = THERMOSTAT  D = DIMMER SWITCH  L = LOW VOLTAGE LIGHT SWITCH  N = NETWORKED SINGLE OR MULTIPLE SWITCH LOCATIONS</p> <p><b>REFER TO ABBREVIATIONS LEGEND FOR ALL OTHER DESIGNATIONS.</b></p> <p><b>OCCUPANCY SENSOR</b>  a = REFERENCE LIGHTING CONTROL COMPONENT SCHEDULE  b = CIRCUIT DESIGNATION  c = DEVICE SWITCHED DESIGNATION  d = MOUNTING HEIGHT IN FEET TO BOTTOM OF SENSOR</p> <p><b>PHOTOCELL</b></p> <p><b>SWITCH AND SINGLE RECEPTACLE</b>  a = CIRCUIT DESIGNATION  b = DEVICE TYPE DESIGNATION</p> <p><b>DUPLEX RECEPTACLE</b></p> <p><b>QUADRUPLX RECEPTACLE</b></p> <p><b>IN FLOOR DUPLEX RECEPTACLE</b></p> <p><b>IN FLOOR QUADRUPLX RECEPTACLE</b></p> <p><b>DUPLEX RECEPTACLE w/SPILT WIRE</b></p> <p><b>DEDICATED RECEPTACLE</b></p> <p><b>SPECIAL PURPOSE RECEPTACLE</b></p> <p><b>WELDING RECEPTACLE</b>  a = CIRCUIT DESIGNATION  b = DISCONNECT TYPE</p> <p><b>TWIST LOCK RECEPTACLE</b>  a = AMP RATING</p> <p><b>TELEPHONE OUTLET</b>  a = CIRCUIT DESIGNATION  b = MOUNTING HEIGHT</p> <p><b>DATA COMMUNICATIONS OUTLET</b>  a = CIRCUIT DESIGNATION  b = MOUNTING HEIGHT</p> <p><b>FIRE ALARM</b></p> <p><b>SMOKE DETECTOR</b>  a = TYPE  I = IONIZATION  P = PHOTOELECTRIC  d = DUCT DETECTOR</p> <p><b>FIRE ALARM CONTROL PANEL</b></p> <p><b>FIRE ALARM PULL STATION</b></p> <p><b>FIRE ALARM HORN/STROBE COMBINATION</b></p> <p><b>FIRE ALARM STROBE</b></p> <p><b>FIRE SPRINKLER</b>  F = FLOW SWITCH  T = TAMPER SWITCH</p>												
RACEWAY													MEDIUM VOLTAGE												
<p><b>EXPOSED CONDUIT</b></p> <p><b>BREAK AND CONTINUATION IN CONDUIT RUN</b></p> <p><b>EXPOSED CONDUIT HIDDEN BEHIND WALLS, FLOORS OR OTHER STRUCTURES</b></p> <p><b>UNDERGROUND CONDUIT, DIRECT BURIED OR IN DUCT BANK</b></p> <p><b>CONDUIT IN SLAB</b></p> <p><b>CONDUIT VERTICAL CHANGE IN DIRECTION</b></p> <p><b>CONDUIT CAP</b></p> <p><b>JUNCTION BOX</b></p> <p><b>CONDUIT SEAL</b></p> <p><b>CONDUIT TEE</b></p> <p><b>DUCT BANK</b>  APPROXIMATE DIMENSIONS SHOWN ON DUCT BANK SECTIONS</p> <p><b>CONDUIT SIZE AND CONDUCTORS</b></p> <p><b>INDIVIDUAL CONDUCTORS</b>  W/C (3-X (Ø), 1-Y (N) &amp; 1-Z (G))  W/C (WHERE INDICATED); W = CONDUIT TRADE SIZE</p> <p>3-X (Ø):  3 = QUANTITY  X = SIZE OF CONDUCTORS  (Ø) = DESIGNATES PHASE CONDUCTORS</p> <p>1-Y (N) (WHERE INDICATED):  1 = QUANTITY  Y = SIZE OF CONDUCTORS  (N) = DESIGNATES NEUTRAL CONDUCTORS</p> <p>1-Z (G) (WHERE INDICATED):  1 = QUANTITY  Z = SIZE OF CONDUCTORS  (G) = DESIGNATES GROUND CONDUCTORS</p> <p>U(3-X (Ø) &amp; 1-X (G))  U = NUMBER OF PARALLEL RUNS</p> <p><b>VFD CONDUCTORS</b>  U(Ø/N-C-X (Ø) &amp; INTEGRAL (G)) (VFD)  U = NUMBER OF PARALLEL RUNS  N/C = NUMBER OF PHASE CONDUCTORS IN CABLE  X = SIZE OF CONDUCTORS  VFD = VFD CABLE</p> <p><b>MULTI-CONDUCTOR CABLES</b>  K/2/C#16S  K (WHERE INDICATED) = NUMBER OF PAIRS  2/C#16S = TWO CONDUCTOR, 16 GAUGE, TWISTED SHIELDED PAIR</p> <p>K/3/C#16S  K (WHERE INDICATED) = NUMBER OF TRIPLETS  3/C#16S = THREE CONDUCTOR, 16 GAUGE, TWISTED SHIELDED TRIPLETS</p> <p>U(Ø/N-C-X (Ø) &amp; INTEGRAL (G)) (MC)  U = NUMBER OF PARALLEL RUNS  MC = MULTI-CONDUCTOR CABLE  N/C = NUMBER OF PHASE CONDUCTORS IN THE CABLE  X = SIZE OF CONDUCTORS</p> <p><b>FIBER OPTIC CABLES</b>  FON  N = NUMBER OF INDIVIDUAL FIBERS</p> <p><b>GROUNDING</b></p> <p><b>UNDERGROUND GROUND CABLE #40 SDCC UNLESS OTHERWISE NOTED</b></p> <p><b>GROUND ROD</b></p> <p><b>GROUND ROD AND GROUND WELL</b></p>													<p><b>CIRCUIT BREAKER, MEDIUM VOLTAGE</b>  a = CIRCUIT BREAKER NUMBER  b = FRAME SIZE</p> <p><b>ANSI RELAY DEVICE</b>  a = ANSI DEVICE FUNCTION  b = QUANTITY</p> <p><b>MEDIUM VOLTAGE DISCONNECT SWITCH NON-FUSED CUT OUT</b></p> <p><b>MEDIUM VOLTAGE DISCONNECTING FUSE SINGLE FUSE CUT OUT</b></p> <p><b>MEDIUM VOLTAGE DISCONNECTING FUSE DOUBLE FUSE CUT OUT</b></p> <p><b>MEDIUM VOLTAGE SINGLE FUSE</b></p> <p><b>MEDIUM VOLTAGE DOUBLE FUSE</b></p> <p><b>MEDIUM VOLTAGE LIVE FRONT TERMINATOR</b></p> <p><b>MEDIUM VOLTAGE ELBOW</b></p> <p><b>MEDIUM VOLTAGE TEE</b></p> <p><b>MEDIUM VOLTAGE CONTACTOR</b></p> <p><b>MEDIUM VOLTAGE STARTER</b></p> <p><b>MOV-ELBOW ARRESTER</b></p> <p><b>LOW VOLTAGE</b></p> <p><b>LOW VOLTAGE CIRCUIT BREAKER</b>  a = TYPE  b = MOTOR CIRCUIT PROTECTOR  TM = THERMAL MAGNETIC  SS = SOLID STATE</p> <p><b>FRAME SIZE (MANUFACTURER TO DETERMINE FRAME SIZE UNLESS INDICATED)</b>  c = NUMBER OF POLES  d = TRIP SETTING (AT = AMP TRIP)  e = DESIGNATION  f = INTERRUPTING RATING</p> <p><b>LOW VOLTAGE CIRCUIT BREAKER AUXILIARY OPERATOR</b>  a = SHUNT TRIP  b = GROUND FAULT INTERRUPTER  c = SOLENOID KEY RELEASE</p> <p><b>DISCONNECT SWITCH</b>  A = TYPE, REFER TO DISCONNECT SCHEDULE</p> <p><b>FUSED DISCONNECT SWITCH</b>  S = TYPE, REFER TO DISCONNECT SCHEDULE  b = FUSE RATING</p> <p><b>FUSE</b></p> <p><b>COMBINATION STARTER WITH CONTROL POWER TRANSFORMER</b>  a = CIRCUIT BREAKER DISCONNECT, TYPE AS NOTED  b = STARTER TYPE  c = NEMA STARTER SIZE  d = OVERLOAD</p> <p><b>MOTOR STARTER/DRIVES:</b>  a = DEVICE TYPE  VFD-6 = 6-PULSE VFD  VFD-18 = 18-PULSE VFD  VFD-RH = REDUCED HARMONIC VFD (18-PULSE OR ACTIVE FRONT END AS DEFINED IN THE SPECIFICATIONS)  RVSS = REDUCED VOLTAGE SOLID STATE STARTER  RVAT = REDUCED VOLTAGE AUTO TRANSFORMER  a/b = DEVICE WITH BYPASS STARTER, REFER TO THE SPECIFICATIONS</p> <p><b>INPUT OPTIONS</b>  LL = LINE REACTOR  PHF = PASSIVE HARMONIC FILTER</p> <p><b>OUTPUT OPTIONS LR = LOAD REACTOR  D/VDI = Dvdi FILTER  SWF = SINE WAVE FILTER</b></p> <p><b>EQUIPMENT ENCLOSURE</b></p>												
MISCELLANEOUS													MISCELLANEOUS												
													<p><b>MOTOR</b>  HP = HORSEPOWER RATING  FULL LOAD AMPS AS NOTED</p> <p><b>PACKAGED EQUIPMENT</b>  LOAD RATING AS INDICATED  a = RATED LOAD  b = UNIT/HP, KW, KVA AS INDICATED</p> <p><b>TRANSFORMER</b>  a = DEVICE I.D.  b = KVA RATING  c = NUMBER OF PHASES  d = PRIMARY VOLTAGE  e = SECONDARY VOLTAGE  f/g = CONNECTION TYPE SYMBOL  h = IMPEDANCE</p> <p><b>GROUNDING WYE CONNECTION</b></p> <p><b>DELTA CONNECTION</b></p> <p><b>ENGINE-GENERATOR RATINGS AS INDICATED ON THE DRAWINGS</b>  a = KVA/KW  b = VOLTAGE/CONNECTION  c = PHASE  d = WIRE  e = PF</p> <p><b>CURRENT TRANSFORMER WITH SHORTING TERMINAL BLOCK</b>  a = QUANTITY  b = RATIO</p> <p><b>POTENTIAL TRANSFORMER</b>  a = QUANTITY  b = RATIO  c/d = CONNECTION TYPE SYMBOL</p> <p><b>SOLID STATE MULTIFUNCTION METER</b></p> <p><b>AMPERE TEST POINT</b></p> <p><b>VOLTAGE TEST POINT</b></p> <p><b>UTILITY METER</b></p> <p><b>LIGHTNING ARRESTER</b></p> <p><b>SURGE PROTECTIVE DEVICE</b></p> <p><b>DRAWOUT CONNECTION</b></p> <p><b>GROUND</b></p> <p><b>CAPACITOR</b></p> <p><b>BATTERY</b></p> <p><b>KIRK KEY INTERLOCK</b></p> <p><b>LOAD BANK</b></p>												
<p>DESIGNED CE</p> <p>DRAWN CE</p> <p>CHECKED CAC</p> <p>DATE FEBRUARY 2023</p>													<p>WEBER BASIN CONSERVANCY DISTRICT</p> <p>DAVIS SOUTH WTP PAC FEED PROJECT</p> <p>ELECTRICAL</p> <p>ELECTRICAL LEGEND</p>												
<p>REV DATE BY DESCRIPTION</p>													<p>VERIFY SCALES</p> <p>BAR IS ONE INCH ON ORIGINAL DRAWING</p> <p>0 1"</p> <p>IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY</p> <p>JOB NO. 201237</p> <p>DRAWING NO. GE01</p> <p>SHEET NO. 21 OF 46</p>												

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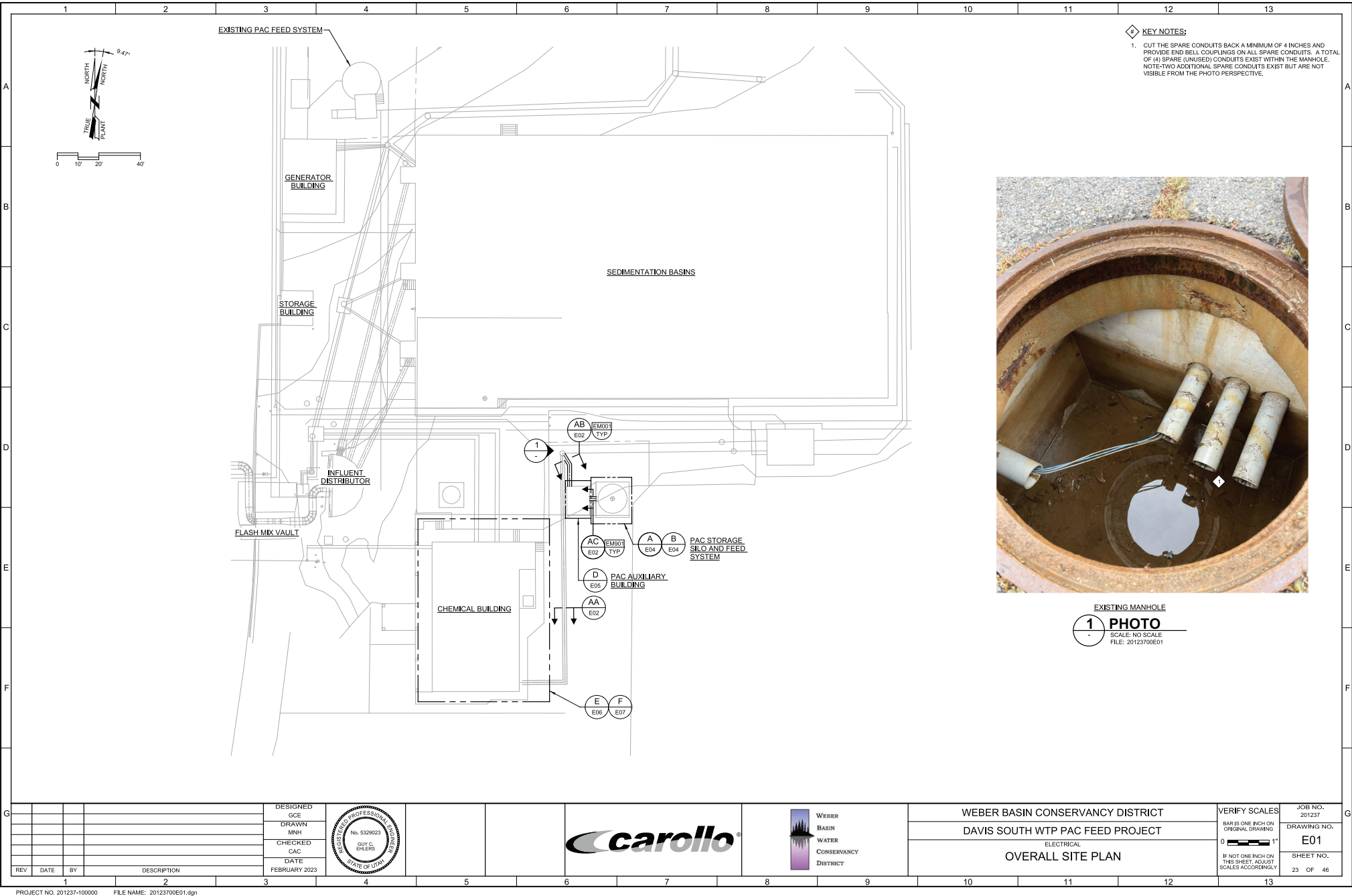
ABBREVIATIONS															POWER DEVICE FUNCTION NUMBERS																
A	A	AMP	J	JUNCTION BOX	TACH	TACHOMETER	1	MASTER ELEMENT	83	AUTOMATIC SELECTIVE CONTROL OR TRANSFER RELAY																					
	ABS	ABSOLUTE	K	KEY INTERLOCK	TD -X	TERMINAL BLOCK - UNIT X	2	TIME-DELAY STARTING OR CLOSING RELAY	84	OPERATING MECHANISM																					
	AC	ALTERNATING CURRENT	KA	KILOAMP	TD	THERMOCOUPLE / TIME CLOCK / TRAY CABLE	3	CHECKING OR INTERLOCKING RELAY	85	PILOT COMMUNICATIONS, CARRIER OR PILOT-WIRE RELAY																					
	ACTR	ACTUATOR	KV	KILOVOLT	TE	TEMPERATURE DETECTOR RELAY	4	MASTER CONTACTOR	86	LOCKOUT RELAY																					
	AF	AMP FRAME	KVA	KILOVOLT AMPERE	TEFC	TOTALLY ENCLOSED FAN COOLED	5	STOPPING DEVICE	87	DIFFERENTIAL PROTECTIVE RELAY																					
	AFC	AUTOMATIC FREQUENCY CONTROL	KVAR	KILOVAR (REACTANCE)	TENV	TOTALLY ENCLOSED NON-VENTILATED	6	STARTING CIRCUIT BREAKER	88	AUXILIARY MOTOR OR MOTOR GENERATOR																					
	AIC	AMP INTERRUPTING CAPACITY	KW	KILOWATT	TERM	TERMINAL	7	ANODE CIRCUIT BREAKER	89	LINE SWITCH																					
	AM	ANNUNCIATOR	KWH	KILOWATT DEMAND	TJB	TERMINAL JUNCTION BOX	8	CONTROL POWER DISCONNECTING DEVICE	90	REGULATING DEVICE																					
	ANN	ANNUNCIATOR			TM	THERMAL MAGNETIC	9	REVERSING DEVICE	91	VOLTAGE DIRECTIONAL RELAY																					
	ANT	ANTENNA			TS	TEMPERATURE SWITCH	10	UNIT SEQUENCE SWITCH	92	VOLTAGE AND POWER DIRECTIONAL RELAY																					
	APU	AUXILIARY POWER UNIT	L	LONG-TIME	TS1W	TWO SPEED CONSEQUENT POLE, ONE WINDING	11	MULTIFUNCTION DEVICE	93	FIELD-CHANGING CONTACTOR																					
	ARM	ARMORED CABLE	L-B	LINE-BUS	TS2W	TWO SPEED SEPARATE WINDING	12	OVERSPEED DEVICE	94	TRIPPING OR TRIP-FREE RELAY																					
	AS	ASYMMETRIC	LA	LIGHTNING ARRESTOR	TSAT	THERMOSTAT	13	SYNCHRONOUS-SPEED DEVICE																							
	ASYM	ASYMMETRICAL	LBL	LABEL			14	UNDER-SPEED DEVICE																							
B	AT	AMP TRIP	LCL	LOCAL CONTROL PANEL NO. X	UHF	ULTRA HIGH FREQUENCY	15	SPEED OR FREQUENCY MATCHING DEVICE																							
	ATO	AUTOMATIC THROW OVER	LCP- X	LOCAL CONTROL PANEL NO. X	UNGS	UNGROUNDING	16	DATA COMMUNICATIONS DEVICE																							
	ATP	AMMETER TEST POINT	LL	LEAD-LAS LOAD REACTOR	UPS	UNINTERRUPTIBLE POWER SUPPLY	17	SHUNTING OR DISCHARGING SWITCH																							
	ATS	AUTOMATIC TRANSFER SWITCH	LP	LIGHT POLE	UVR	UNDER VOLTAGE RELAY	18	ACCELERATING OR DECELERATING DEVICE																							
	AUTO XFMR	AUTOMATIC TRANSFORMER	LP- X	LIGHTING PANEL NO. X			19	STARTING-TO-RUNNING TRANSITION CONTACTOR																							
	AUX	AUXILIARY	LTG	LIGHTING	V	VOLT	20	ELECTRICALLY OPERATED VALVE																							
	AWG	AMERICAN WIRE GAGE	LV	LOW VOLTAGE	V	VOLT	21	DISTANCE RELAY																							
			LVL	LEVEL	VAR	VARMETER	22	EQUALIZER CIRCUIT BREAKER																							
	B	BATTERY	M-X	MOTOR CONTROLLER NO. X	VFD	VARIABLE FREQUENCY DRIVE	23	TEMPERATURE CONTROL DEVICE																							
	BFS	BELOW FINISHED GRADE	ML	MILLIAMPERE	VHF	VERY HIGH FREQUENCY	24	VOLTS PER HERTZ RELAY																							
	BHP	BRAKE HORSEPOWER	MCA	MOTOR CIRCUIT AMPS	VM	VOLTMETER	25	SYNCHRONIZING OR SYNCHRONISM-CHECK DEVICE																							
	BKR	BREAKER	MCC- X	MOTOR CIRCUIT CENTER NO. X	VP	VAPORPROOF	26	APPARATUS THERMAL RELAY																							
	BRF	BELOW RAISED FLOOR	MCP	MOTOR CIRCUIT PROTECTOR	VR	VOLTAGE REGULATOR	27	UNDERVOLTAGE RELAY																							
	C	CONDUIT / CONTINUOUS LOAD	MH	MANHOLE / MOUNTING HEIGHT	VS	VOLTAGE SWITCH	27N	GROUND FAULT UNDERVOLTAGE RELAY																							
CB	CIRCUIT BREAKER	ML	MAIN LUGS ONLY	VT	VOLTAGE TRANSFORMER	28	FLAME DETECTOR																								
CCTV	CLOSED CIRCUIT TELEVISION	MOD	MOTOR OPERATED DAMPER	VTP	VOLTAGE TEST POINT	29	ISOLATING CONTACTOR																								
CCW	COUNTER CLOCKWISE	MOV	METAL OXIDE VARISTOR			30	ANNUNCIATOR RELAY																								
CKT	CIRCUIT	MPR	MOTOR PROTECTION RELAY	W	WATT / WEST	31	SEPARATE EXCITATION DEVICE																								
COAX	COAXIAL CABLE	MS-X	MOTOR STARTER NO. X	WP	WATER TIGHT	32	DIRECTIONAL POWER RELAY																								
COM	COMMON	MSP	MOTOR STARTING PANEL	WT	WEATHER PROOF	33	POSITION SWITCH																								
COMM	COMMUNICATION	MTR-X	MOTOR NO. X	XFMR	TRANSFORMER	34	MASTER SEQUENCE DEVICE																								
CPT	CONTROL POWER TRANSFORMER	MTS	MANUAL TRANSFER SWITCH			35	BRUSH-OPERATING OR SLIP-RING SHORT-CIRCUITING DEVICE																								
CR	CONTROLLED RECTANGLE	MV	MEGAVOLT			36	POLARITY DEVICE																								
CS	CONTROL SWITCH	MVA	MEGAVOLT-AMPERES			37	UNDERCURRENT OR UNDERPOWER RELAY																								
CT	CURRENT TRANSFORMER	MVS	MEDIUM VOLTAGE SWITCH			38	BEARING PROTECTIVE DEVICE																								
CV	CLOCKWISE / COOL WHITE	MW	MEGAWATT			39	MECHANICAL CONDITION MONITOR																								
C	DC	DIRECT CURRENT	N	NEUTRAL			40	FIELD RELAY																							
	DCS	DISTRIBUTED CONTROL SYSTEM	NC	NORMALLY CLOSED			41	FIELD CIRCUIT BREAKER																							
	DCU- X	DISTRIBUTED CONTROL UNIT NO. X	NEC	NATIONAL ELECTRICAL CODE			42	RUNNING CIRCUIT BREAKER																							
	DEMOLITION		NFC	NONMETALLIC FLEXIBLE CONDUIT			43	MANUAL TRANSFER OR SELECTOR DEVICE																							
	DISC	DISCONNECT SWITCH	NL	NIGHT LIGHT			44	UNIT SEQUENCE STARTING RELAY																							
	DM	DEMAND METER	NP	NORMALLY OPEN			45	ABNORMAL ATMOSPHERIC CONDITION MONITOR																							
	DPT	DOUBLE POLE DOUBLE THROW	NO	NONE			46	REVERSE-PHASE OR BALANCE CURRENT RELAY																							
	DPST	DOUBLE POLE SINGLE THROW					47	PHASE-BALANCE OR PHASE-SEQUENCE VOLTAGE RELAY																							
	DS	DOOR SWITCH	O	OPEN OR OPENED			48	INCOMPLETE SEQUENCE RELAY																							
	E/G	EMERGENCY GENERATOR	OH	OVERHEAD			49	MACHINE OR TRANSFORMER THERMAL RELAY																							
	EM	EMERGENCY	OL	OVERLOAD RELAY			50	INSTANTANEOUS OVERCURRENT RELAY																							
	EMT	ELECTRICAL METALLIC TUBING					51	AC TIME OVERCURRENT RELAY																							
	ENCL	ENCLOSURE	PA	POLE			52	AC CIRCUIT BREAKER																							
	ENG	ENGINE	PB	PUSH-BUTTON / PULL BOX			53	FIELD EXCITATION RELAY																							
ENT	ELECTRICAL NON-METALLIC TUBING	PCS	PVC COATED GALVANIZED STEEL CONDUIT			54	TURNING GEAR ENGAGING DEVICE																								
EXP	EXPLOSION PROOF	PCM	PROCESS CONTROL MODULE			55	POWER FACTOR RELAY																								
ETM	ELAPSED TIME METER	PE	PHOTOCELL			56	FIELD APPLICATION RELAY																								
D	F	SUB-FED	PF	POWER FACTOR			57	SHORT-CIRCUITING OR GROUNDING DEVICE																							
	FA	FIRE ALARM	PFCC	POWER FACTOR CORRECTION CAPACITOR			58	RECTIFICATION FAILURE RELAY																							
	FACP	FIRE ALARM CONTROL PANEL	PFR	PHASE FAILURE RELAY			59	OVERVOLTAGE RELAY																							
	FDR	FEEDER	PH	PHASE			60	VOLTAGE OR CURRENT BALANCE RELAY																							
	FLA	FULL LOAD AMPS	PNL	PANEL			61	DENSITY SWITCH OR SENSOR																							
	FLX	FLEXIBLE CONDUIT	PPX	POWER PANEL NO. X			62	TIME-DELAY STOPPING OR OPENING RELAY																							
	FO	FIBER OPTIC	PRI	PRIMARY			63	PRESSURE SWITCH																							
	FRC	FIBERGLASS RIGID CONDUIT	PT	POTENTIAL TRANSFORMER			64	GROUND DETECTOR RELAY																							
	FREQ	FREQUENCY	PVC	POLYVINYL CHLORIDE RIGID PLASTIC CONDUIT			65	GOVERNOR																							
	FUSE	FUSE	PWR	POWER			66	NOTCHING OR JOGGING DEVICE																							
	FV	5W FUSED SWITCH	RAC	RIGID ALUMINUM CONDUIT			67	AC DIRECTIONAL OVERCURRENT RELAY																							
	FVNR	FULL VOLTAGE NON-REVERSING	RECP	RECEPTACLE			68	BLOCKING OR OUT OF STEP RELAY																							
	FVR	FULL VOLTAGE REVERSING	REV	REVERSE			69	PERMISSIVE CONTROL DEVICE																							
	FWD	FORWARD	RF	RADIO FREQUENCY			70	RHEOSTAT																							
E	G	GROUND / EQUIPMENT GROUND / GROUND FAULT	RMS	ROOT MEAN SQUARED			71	LIQUID LEVEL SWITCH																							
	GEN	GENERATOR	RV	REDUCED VOLTAGE AUTO TRANSFORMER			72	DC CIRCUIT BREAKER																							
	GRC	GALVANIZED STEEL RIGID CONDUIT	RVSS	REDUCED VOLTAGE SOLID STATE			73	LOAD-RESISTOR CONTACTOR																							
	GFCI	GROUND FAULT CIRCUIT INTERRUPTER (RECEPTACLE)	SA	SURGE ARRESTER			74	ALARM RELAY																							
	GFI	GROUND FAULT INTERRUPTER (BREAKER)	SC	SHORT CIRCUIT			75	POSITION CHANGING MECHANISM																							
	GFR	GROUND FAULT RELAY	SOBC	SOFT DRAWN BARE COPPER			76	DO OVERCURRENT RELAY																							
	H	HOT-LEG	SPL	SUB FEED LUGS			77	TELEMETERING DEVICE																							
	HF	HIGH FREQUENCY	SLT	SEAL-TIGHT LIQUID-TIGHT FLEXIBLE CONDUIT			78	PHASE-ANGLE MEASURING RELAY																							
	HP	HORSEPOWER	SM	SURFACE MOUNTED			79	AC RECLOSING RELAY																							

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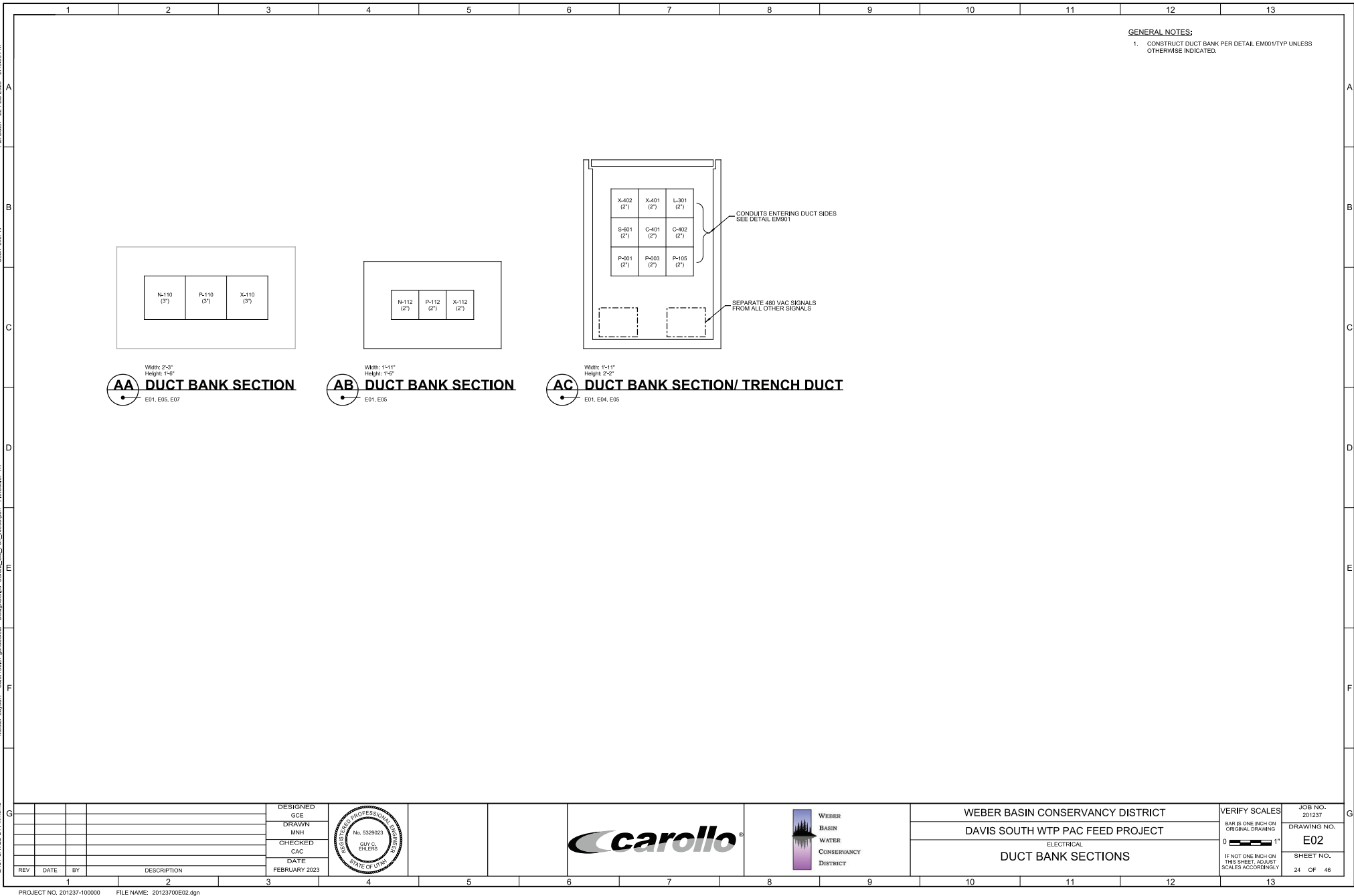


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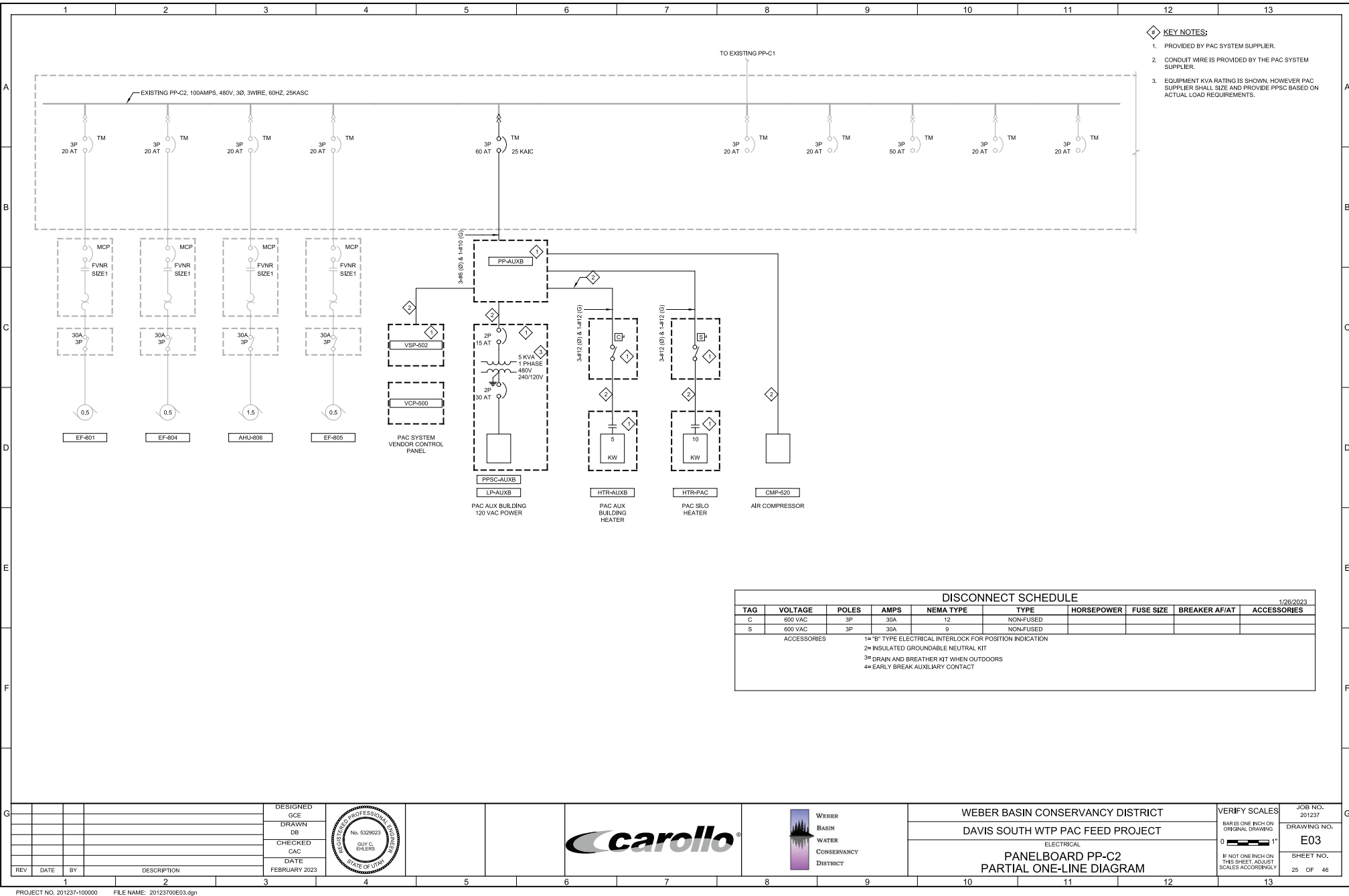


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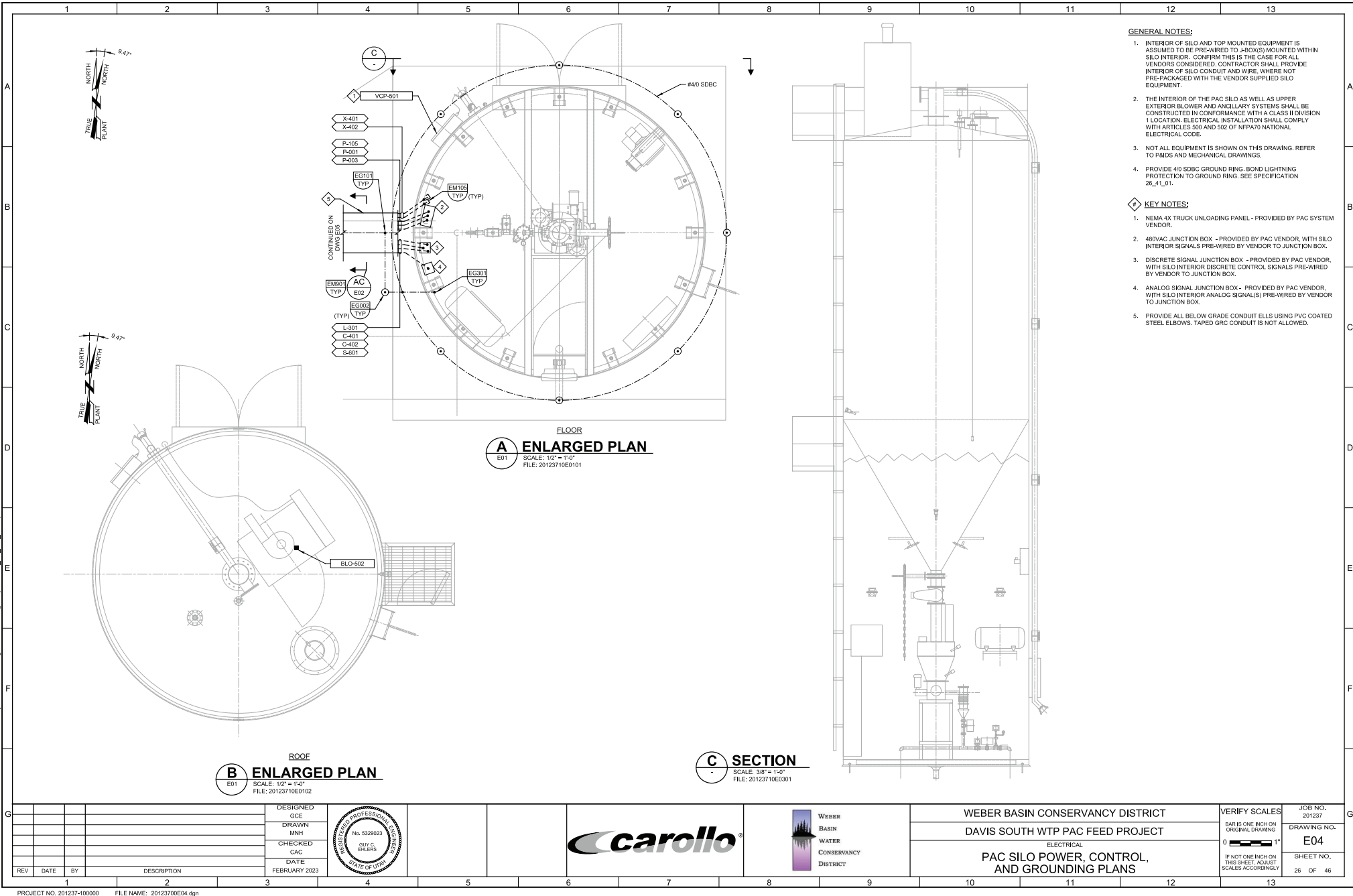


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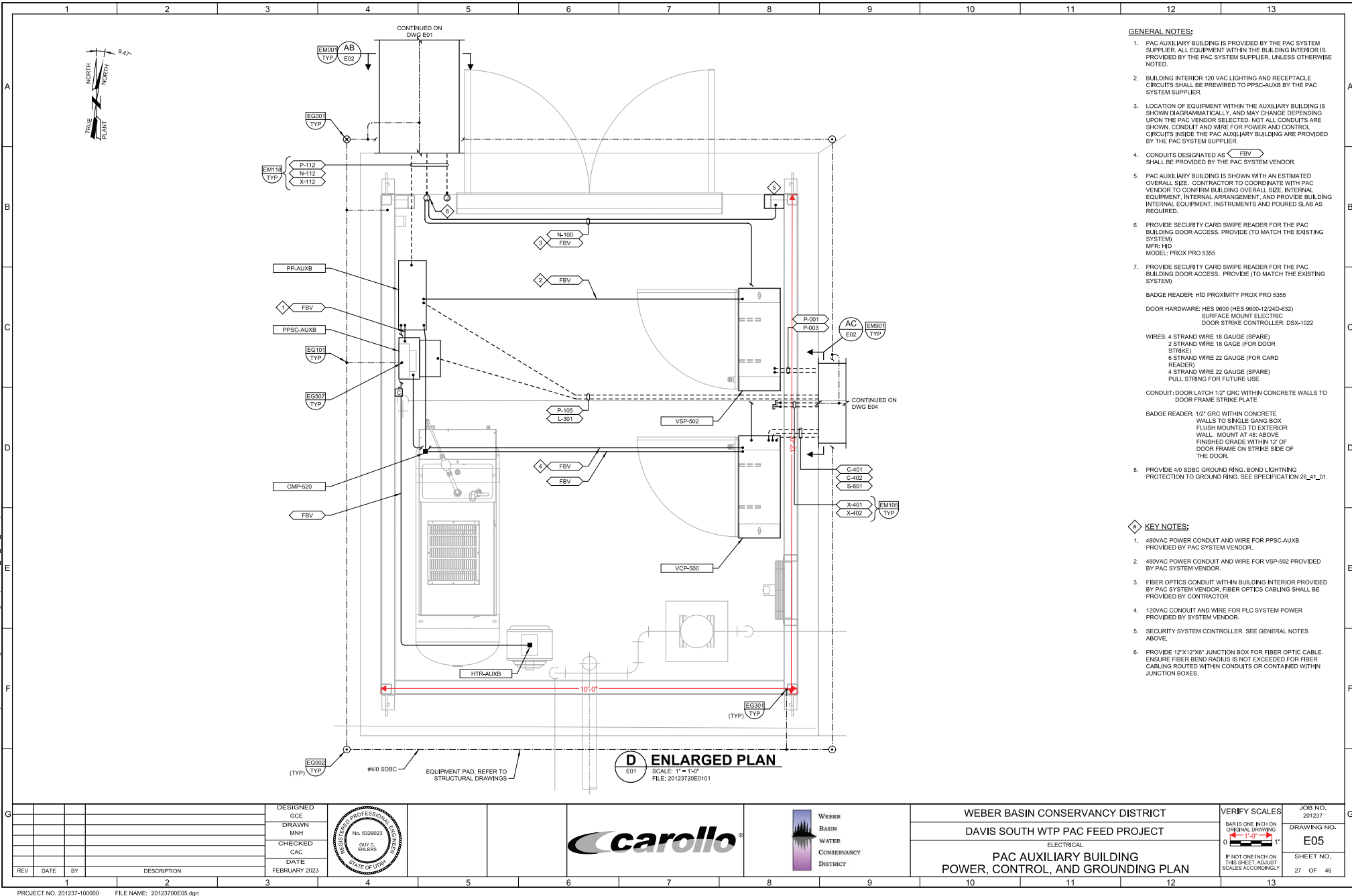


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User: sap/PW

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LAST SAVED BY: rmoore



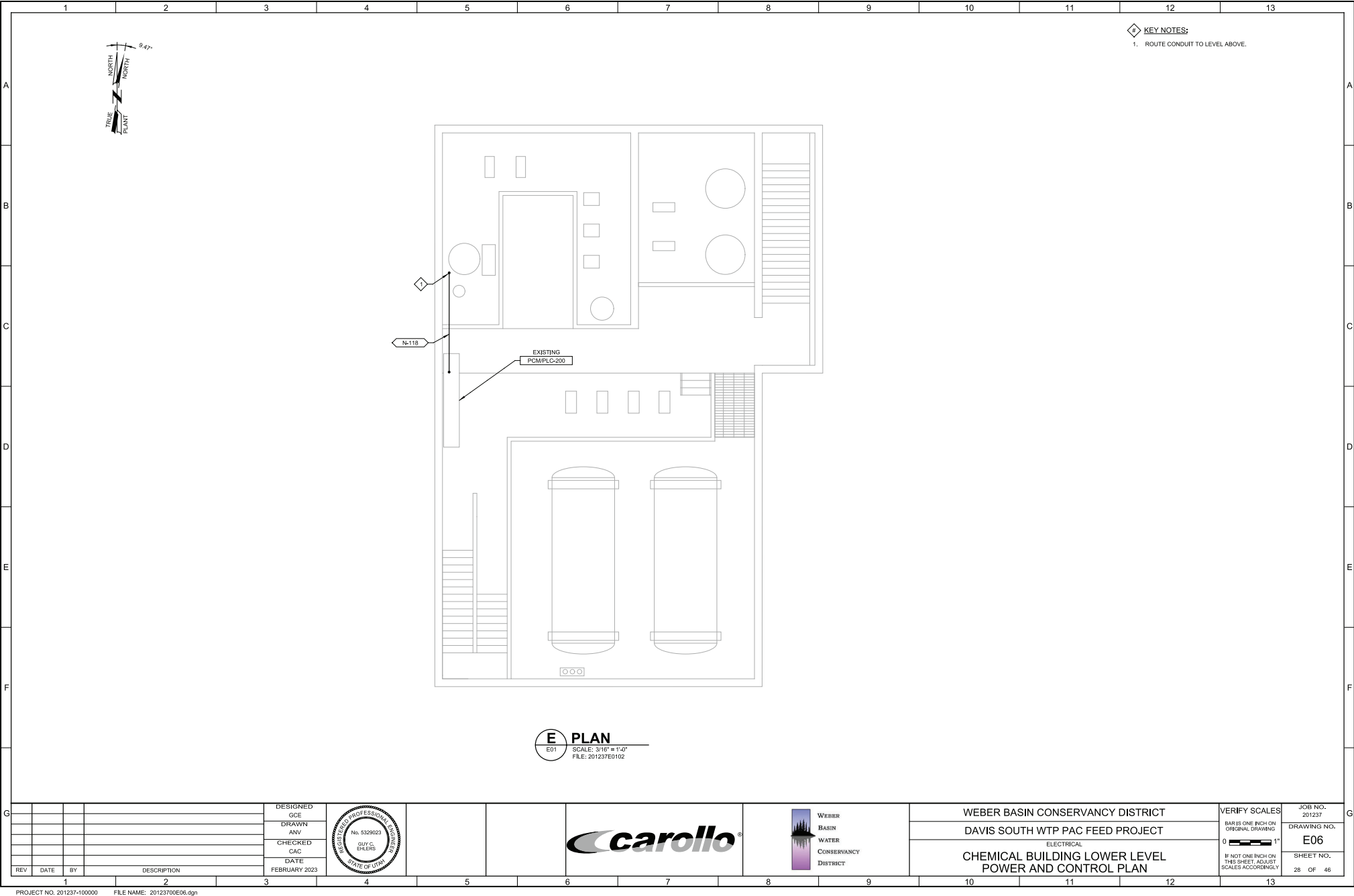


Plot Date: 22-FEB-2023 2:18:08 PM

User: sapw

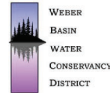
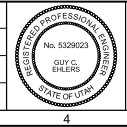
Model: Layout1 ColorTable: galside.ctb Design/Script: Carollo\_Sht\_Pac\_v0605.dgn PlotScale: 1:1

LAST SAVED BY: mcmr



REV	DATE	BY	DESCRIPTION

DESIGNED	GCE
DRAWN	ANV
CHECKED	CAC
DATE	FEBRUARY 2023



WEBER BASIN CONSERVANCY DISTRICT
DAVIS SOUTH WTP PAC FEED PROJECT
ELECTRICAL
CHEMICAL BUILDING LOWER LEVEL
POWER AND CONTROL PLAN

VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

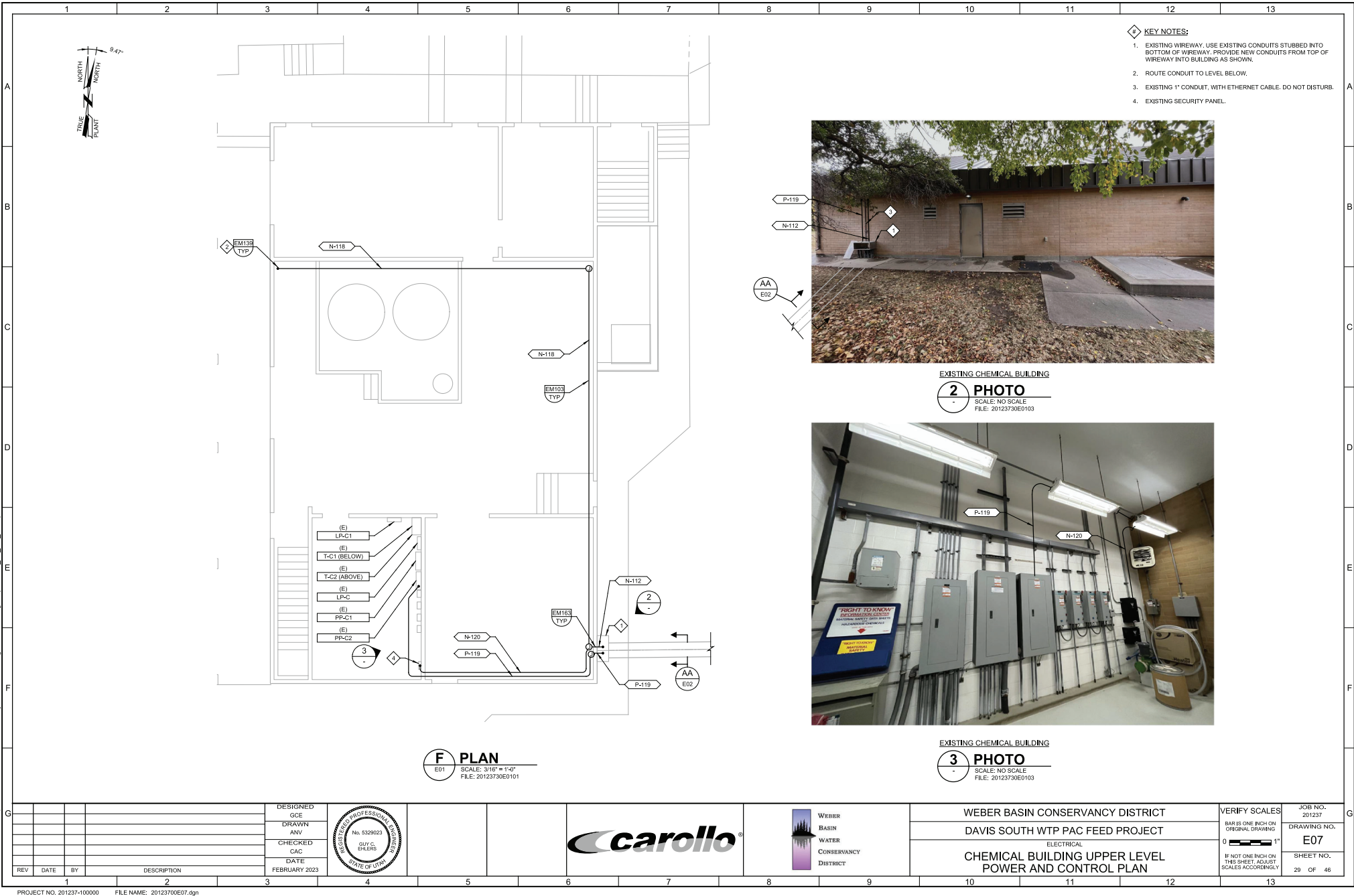
JOB NO.	201237
DRAWING NO.	E06
SHEET NO.	28 OF 46

Plot Date: 22-FEB-2023 2:18:04 PM

User: wpw

Model: Layout ColorTable: galside.ctb DesignScript: Carullo-Sta\_Pac\_v0905.dgn PlotScale: 1:1

LAST SAVED BY: hbaesard

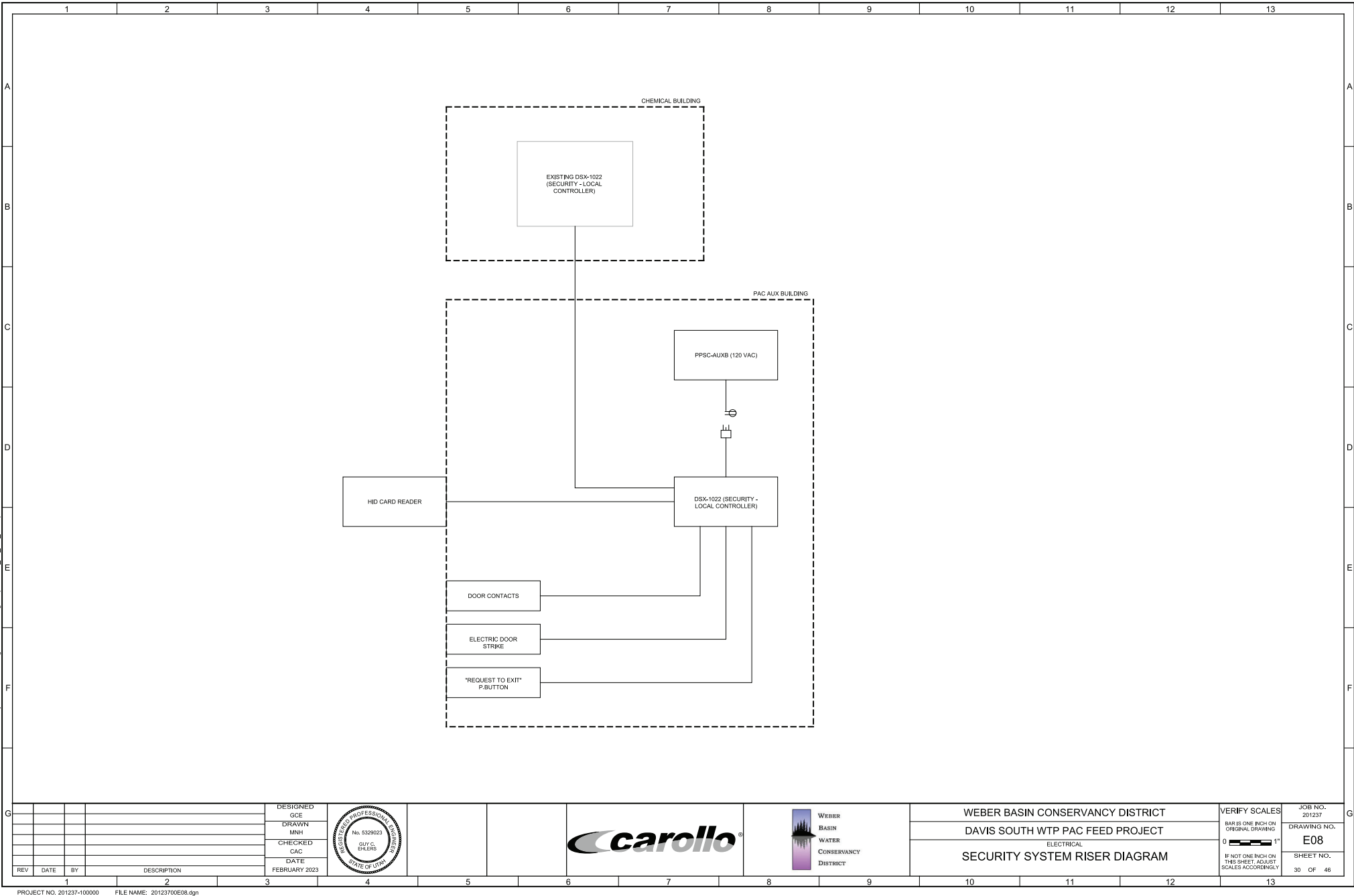


Plot Date: 22-FEB-2023 2:17:57 PM

User: sapPW

Model: Layout1 Carollo\_Soft\_Pac\_v0605.dgn PlotScale: 1:1

LAST SAVED BY: mmoore



G				DESIGNED GCE							WEBER BASIN CONSERVANCY DISTRICT			VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	JOB NO. 201237 DRAWING NO. E08 SHEET NO. 30 OF 46	G																						
				DRAWN MNH							DAVIS SOUTH WTP PAC FEED PROJECT																											
				CHECKED CAC							ELECTRICAL																											
				DATE FEBRUARY 2023							SECURITY SYSTEM RISER DIAGRAM																											
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PROJECT NO. 201237-100000													FILE NAME: 20123700E08.dgn																									

PROJECT NO. 201237-100000 FILE NAME: 20123700E08.dgn

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DESIGNED: CE  
DRAWN: CE  
CHECKED: CDS  
DATE: FEBRUARY 2023

WEBER BASIN CONSERVANCY DISTRICT  
DAVIS SOUTH WTP PAC FEED PROJECT  
INSTRUMENTATION  
SYMBOLS AND ABBREVIATIONS 1

PROJECT NO. 201237-100000 FILE NAME: 20123700GN001.dwg

VERIFY SCALES: BAR IS ONE INCH ON ORIGINAL DRAWING  
DRAWING NO. GN01  
SHEET NO. 31 OF 46

INSTRUMENT TAG IDENTIFICATION LETTERS													P&ID LINE SYMBOLS																
MEASURED VARIABLE \ INSTRUMENT FUNCTION		ELEMENT	TRANSMITTER	INDICATING TRANSMITTER	CONVERTER TRANSDUCER, RELAY SPECIAL DEVICES	INDICATOR	RECORDER	CONTROL COMMAND	INDICATING CONTROLLER	RECORDING CONTROLLER	SWITCH	SWITCH LOW LOW	SWITCH LOW	SWITCH HIGH	SWITCH HIGH-HIGH	SWITCH COMBINATION HIGH LOW	ACTION	ALARM LOW LOW	ALARM LOW	ALARM HIGH	ALARM HIGH-HIGH	TOTALIZE INDICATOR TRANSMITTER	VALVE	GAUGE	LIGHT	SPEED SETTING	INSTRUMENT OR CONNECTION TO PROCESS		
																											PNEUMATIC SIGNAL		
ELECTRIC SIGNAL																													
HYDRAULIC SIGNAL																													
CAPILLARY TUBE																													
ELECTROMAGNETIC OR SONIC SIGNAL (GUIDED)																													
ELECTROMAGNETIC OR SONIC SIGNAL (NOT GUIDED)																													
INTERNAL SYSTEM LINK (SOFTWARE OR DATA LINK)																													
PROCESS LINE SYMBOLS																													
PRIMARY PROCESS FLOW IN PIPE																													
SECONDARY PROCESS FLOW IN PIPE																													
PRIMARY PROCESS FLOW IN CHANNEL																													
SECONDARY PROCESS FLOW IN CHANNEL																													
DESIGNATIONS																													
EQUIPMENT ENCLOSURE																													
EXISTING																													
FUTURE																													
MISCELLANEOUS P&ID SYMBOLS																													
PROCESS CONTINUATION																													
SIGNAL CONTINUATION																													
PIPE CALLOUT																													
SCHEMATIC DETAIL																													
TYPICAL DETAIL																													

OPERATOR PILOT DEVICE LEGEND																									
PILOT DEVICE FUNCTION \ DEVICE TYPE		LOCAL-OFF-REMOTE (L/O) OR LOCAL-STOP-REMOTE (L/S)	STOP (SP)	START (ST)	HAND-OFF-AUTO (HO/A)	OFF-ON (OO)	SELECT (SEL)	OPEN-STOP-CLOSE (OSC)	JOG OPEN/HOLD-CLOSE (JOHC)	SEMI-AUTO/AUTO-MANUAL (S/A/M)	LEAD-LAG-STANDBY (L/OS)	JOG OPEN-JOG CLOSE (JO/C)	ONLINE-OFFLINE (O/O/F)	AUTO-MANUAL (AM)	FIXED RATE-LEVEL RATE (FL/R)	OPEN-CLOSE (OC)	NO OFFLINE-OFFLINE TRANSITION (NOOT)	LOW-HIGH (L/H)	RESET (RST)	SPEED (SPD)	START-STOP (ST/SP)	E-STOP (E-SP)	BYPASS (BYP)	SILENCE	POSITION (POS)
HAS* HSB HSC HSD HSE HSF HSG HSH HJS HSK HSL HSM HSN HSO HSP HSQ HSR HSS HST HSU HSV HSW HSX HSY HSZ																									

I/O TYPE DESIGNATIONS												
RNG RUNNING												
FAIL FAILED/FAULT												
FWD RUNNING FORWARD												
FAST RUNNING HIGH												
SLOW RUNNING LOW												
REV RUNNING REVERSE												
SVC SOLENOID VALVE CLOSE												
SVO SOLENOID VALVE OPEN												
RUN RUN												
SLWC MOTOR START LOW												
REVC MOTOR START REVERSE												
SPDC SPEED COMMAND												
SPDF SPEED FEEDBACK												
REM LOR IN REMOTE												
LOC LOR IN LOCAL												
AUTO HOA IN AUTO												
HAND HOA IN HAND												
RST RESET												

INSTRUMENT TYPE DESIGNATIONS												
CGD COMBUSTIBLE GAS DETECTOR												
COND CONDUCTIVITY												
DO DISSOLVED OXYGEN												
FMWC FREQ. MODULATED CONT. WAVE												
IS INTRINSIC SAFETY BARRIER												
LEL LOWER EXPLOSIVE LIMIT												
MLSS MIXED LIQUOR SUSPENDED SOLIDS												
ORP OXIDATION REDUCTION POTENTIAL												
P-SUB PRESSURE SUBMERSIBLE												
PC PARTICLE COUNTER												
PTOF PULSE TIME OF FLIGHT												
RTD RESISTANCE TEMP DETECTOR												
SB SLUDGE BLANKET												
SC STREAMING CURRENT												
SD SLUDGE DEPTH												
SH SODIUM HYPOCHLORITE												
SO2 SULFUR DIOXIDE												
TOR TIME DOMAIN REFLECTOMETRY												
TOC TOTAL ORGANIC CARBON												
TSS TOTAL SUSPENDED SOLIDS												
UVI UV INTENSITY												
UVT UV TRANSMITTANCE												

SPECIFIC ABBREVIATIONS												
HTR HEATER												
HTU HEAT TRACE UNIT												
MWH MOTOR WINDING HEATER												
SV SOLENOID VALVE												
SPD SURGE PROTECTIVE DEVICE												
UPS UNINTERRUPTIBLE POWER SUPPLY												
YA STATUS AUTO												
YR STATUS REMOTE												
Y1 STATE RUNNING												
Y2 ALARM FAILED/FAULT												

WEVER BASIN CONSERVANCY DISTRICT												
DAVIS SOUTH WTP PAC FEED PROJECT												
INSTRUMENTATION												
SYMBOLS AND ABBREVIATIONS 2												

VERIFY SCALES												
JOB NO. 201237												
DRAWING NO. GN02												
SHEET NO. 32 OF 46												

ACTUATORS						PIPING			PUMPS			BLOWERS/ COMPRESSORS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
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<div></div> BACK FLOW PREVENTER		<div></div> BALL		<div></div> DIAPHRAGM CHECK		<div></div> DOUBLE FLAP		<div></div> FLAPPER		<div></div> SLANTING CHECK VALVE		<div></div> SPRING LOADED GENERAL		<div></div> SPRING LOADED SWING		<div></div> SWING		<div></div> BACKPRESSURE REGULATING SELF CONTAINED		<div></div> BACKPRESSURE REGULATING EXTERNAL TAP		<div></div> PRESSURE REDUCING SELF CONTAINED		<div></div> PRESSURE REDUCING EXTERNAL PRESSURE TAP		<div></div> REGULATING		<div></div> PRESSURE RELIEF		<div></div> VACUUM RELIEF																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
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<div></div> PLUG ECCENTRIC LUBRICATED BURIED VALVE BOX		<div></div> PLUG CONCENTRIC		<div></div> PLUG CONCENTRIC BURIED VALVE BOX		<div></div> PLUG CONCENTRIC LUBRICATED		<div></div> PLUG CONCENTRIC LUBRICATED BURIED VALVE BOX		<div></div> PUMP DISCHARGE		<div></div> TELESCOPING								<div></div> AIR / CHEMICAL DIFFUSER		<div></div> BASKET STRAINER		<div></div> BLOW-OFF SILENCER		<div></div> CALIBRATION COLUMN		<div></div> COALESCE		<div></div> DESICCANT DRYER		<div></div> EDUCTOR/EJECTOR		<div></div> EQUIPMENT/INSTRUMENT LOCATOR		<div></div> EXHAUST FAN		<div></div> EYEWASH		<div></div> FILTER		<div></div> FILTER SEPARATOR		<div></div> FINE FILTER		<div></div> FIRE ALARM/SENSOR		<div></div> FLAME ARRESTOR		<div></div> FLAME ARRESTOR w-THERMALLY OPERATED VALVE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
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						<div></div> SAMPLE PORT		<div></div> SIGHT TUBE		<div></div> SMOKE DETECTOR		<div></div> STRAINER - MECHANICALLY CLEANED		<div></div> STRAINER WITH BLOW OFF		<div></div> STRAINER WYE TYPE		<div></div> VAPOR HEATER		<div></div> VAPORIZER		<div></div> VENT		<div></div> VENT TO ATMOSPHERE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
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**l'bordelon**[illegible]

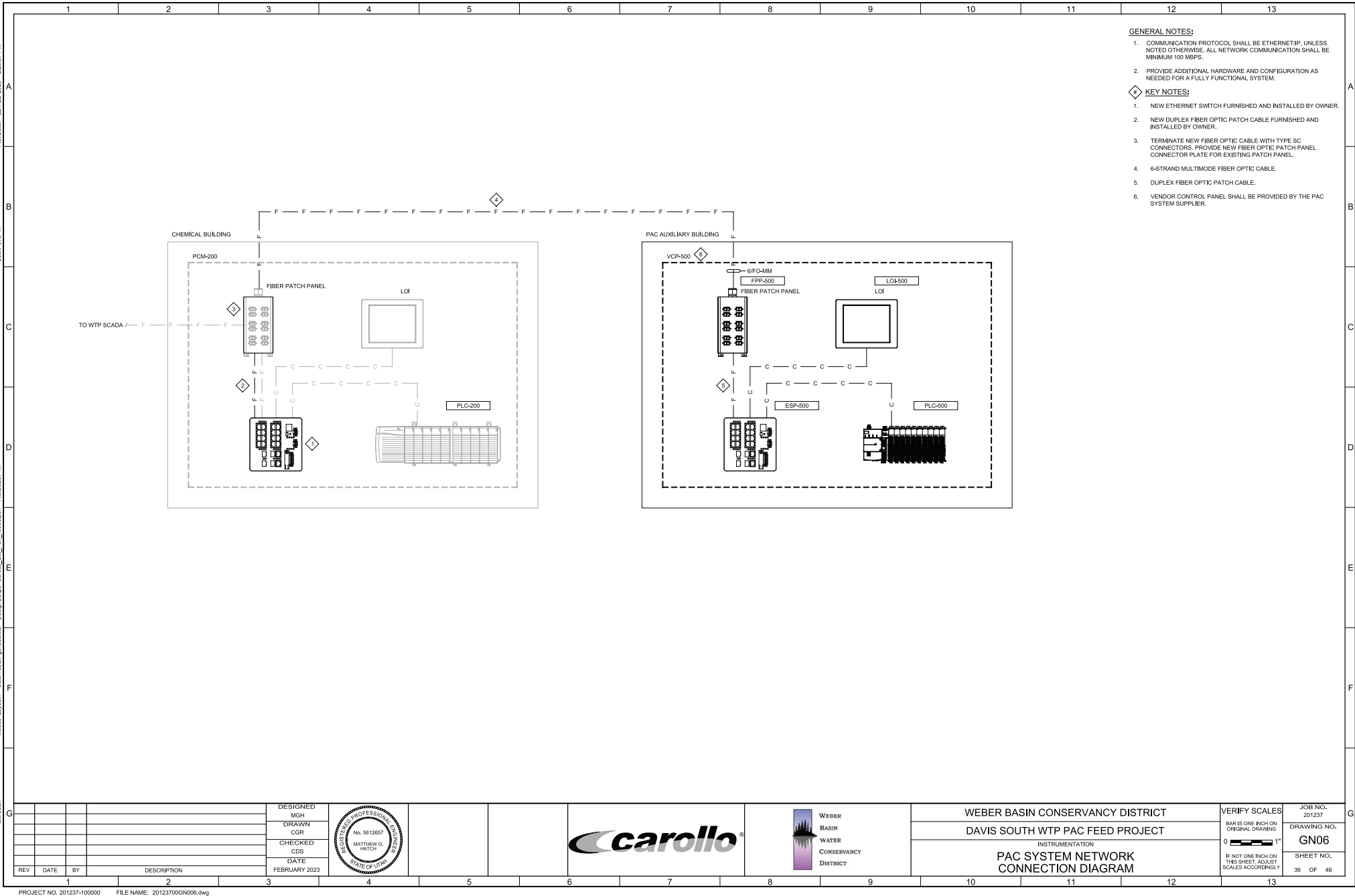


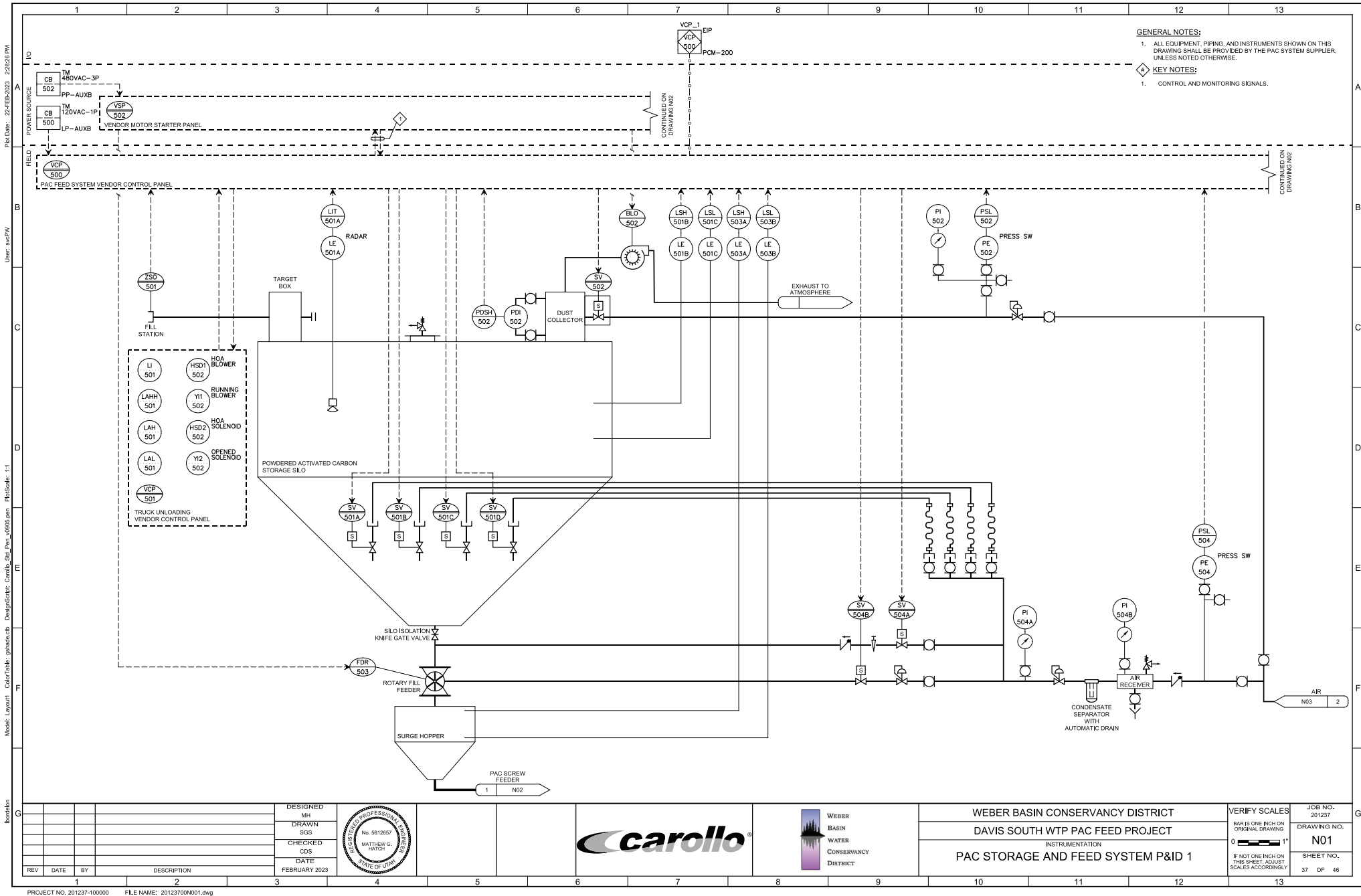
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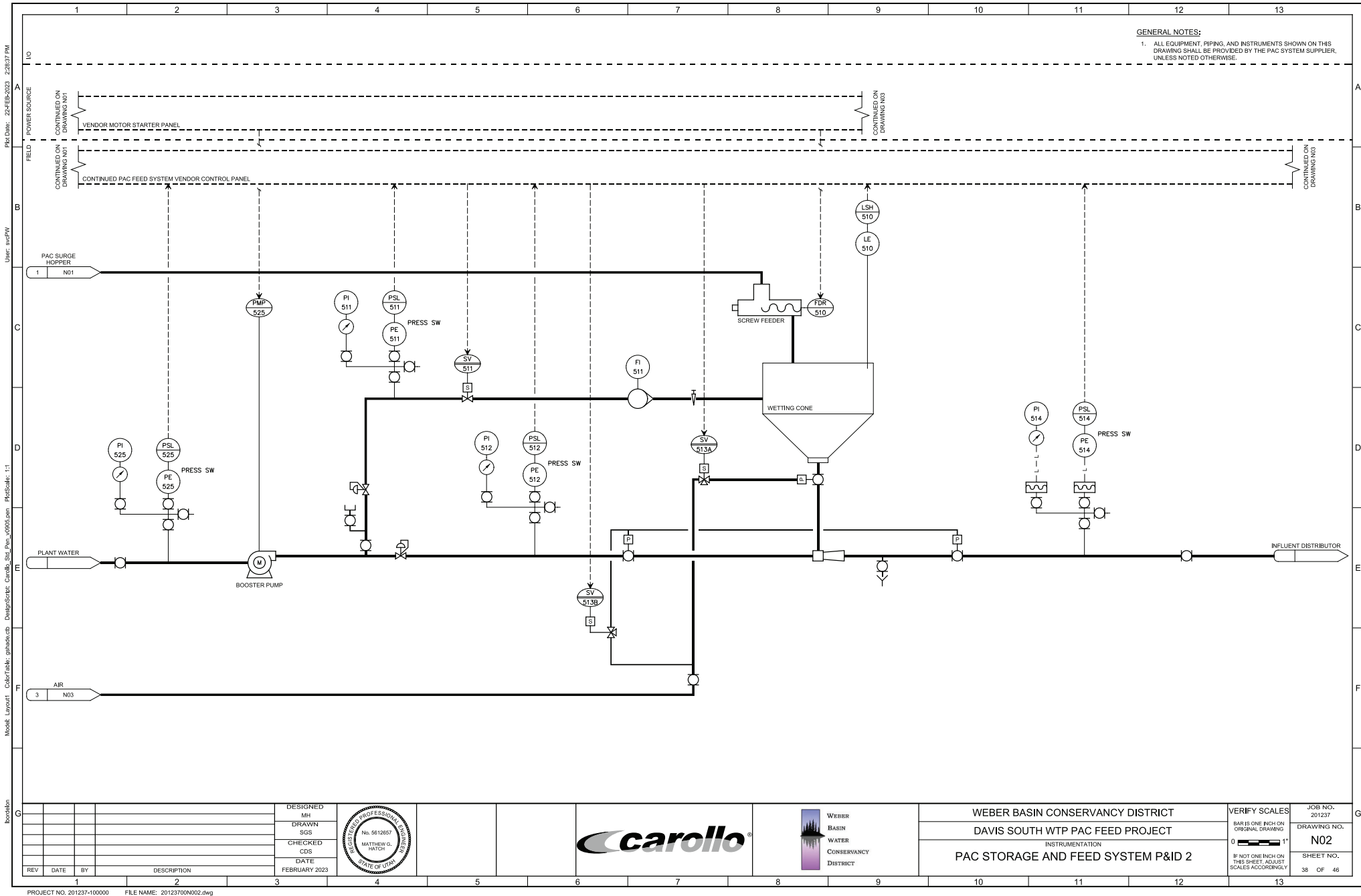
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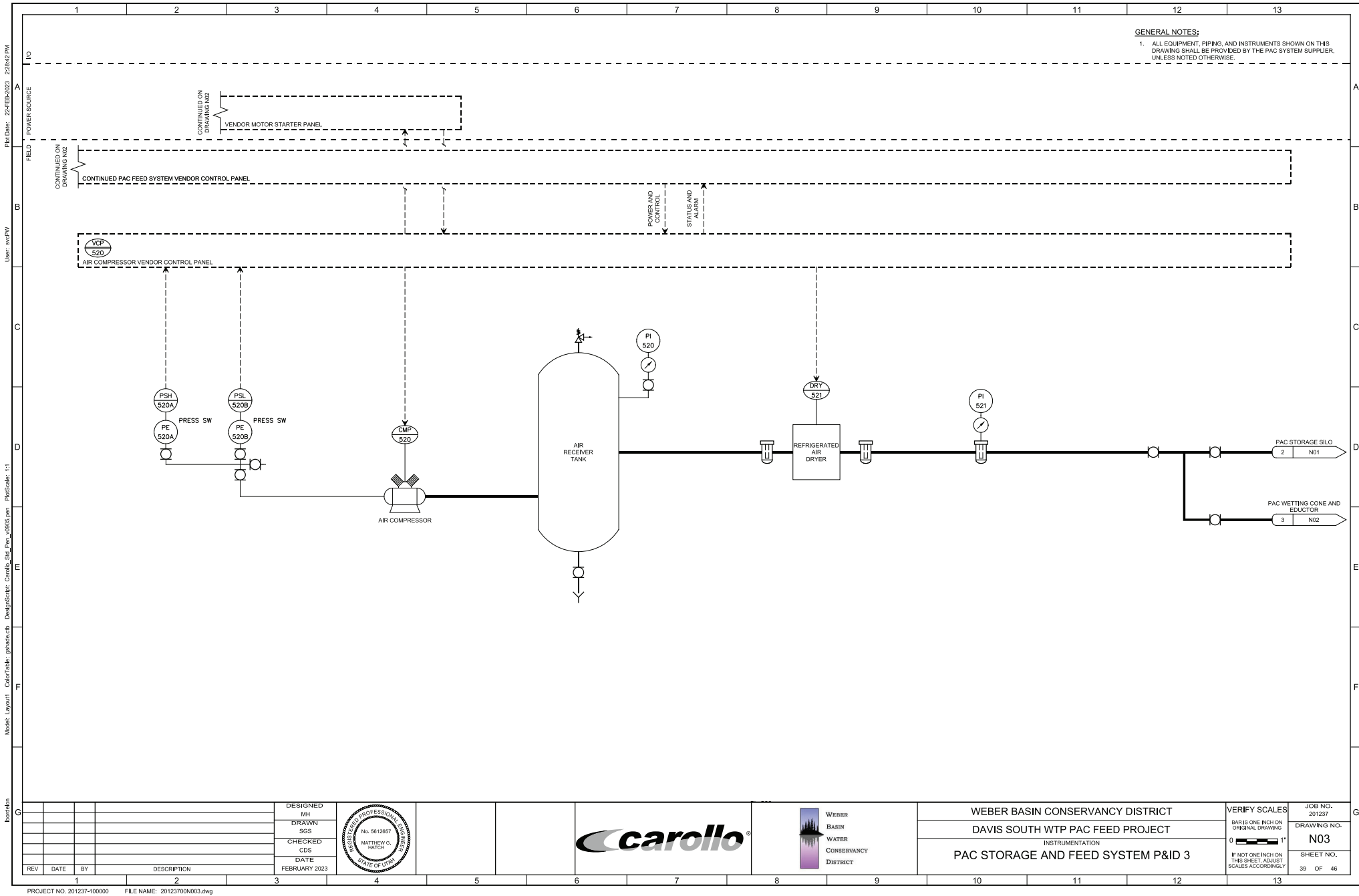
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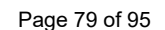










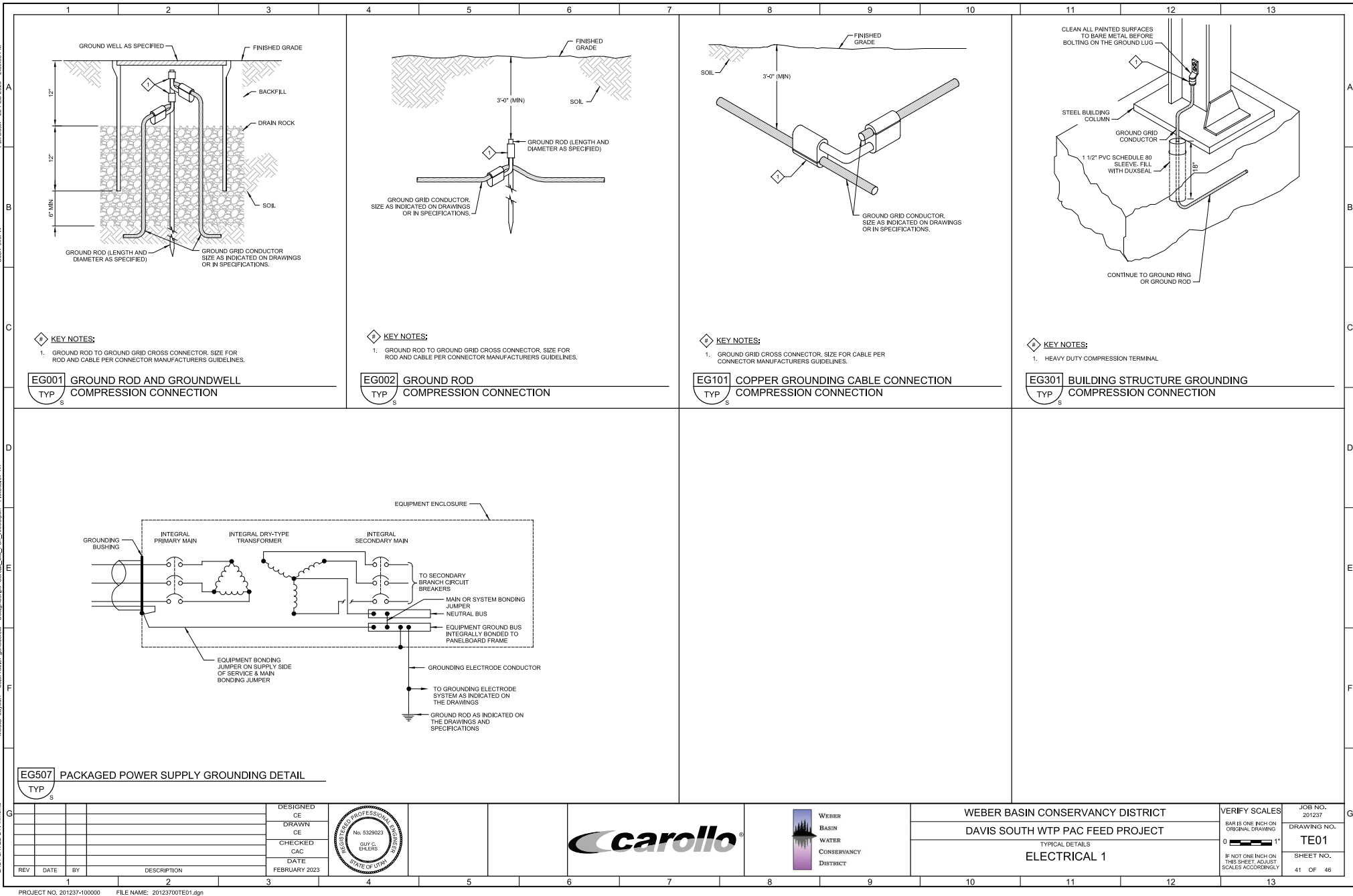


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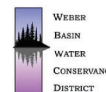
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LAST SAVED BY: mmont



REV	DATE	BY	DESCRIPTION
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DRAWN CE
CHECKED CAC
DATE FEBRUARY 2023



WEBER BASIN CONSERVANCY DISTRICT  
DAVIS SOUTH WTP PAC FEED PROJECT  
TYPICAL DETAILS  
ELECTRICAL 1

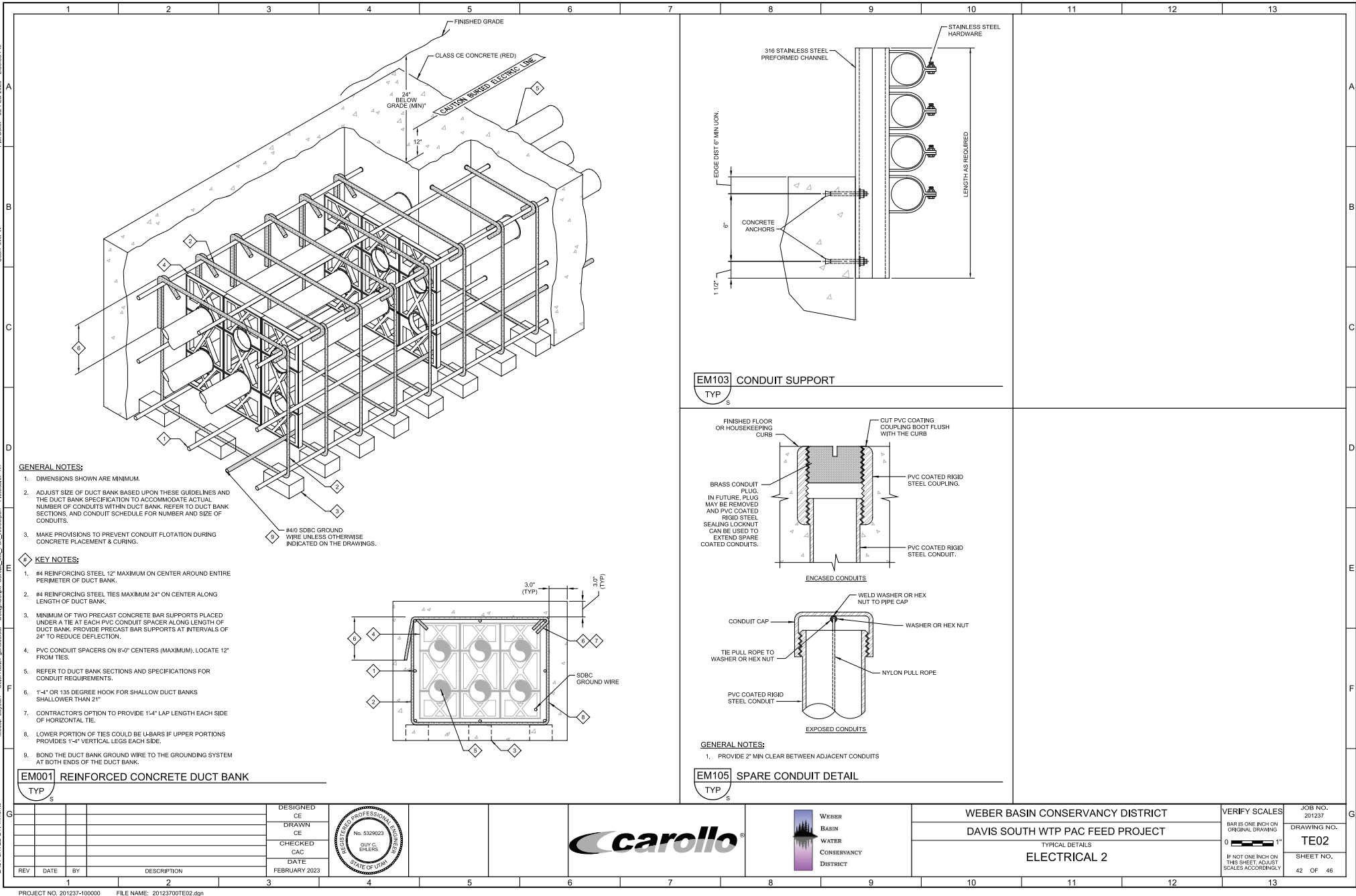
VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1'
JOB NO. 201237
DRAWING NO. TE01
SHEET NO. 41 OF 46

Plot Date: 22-FEB-2023 2:30:03 PM

User: wpw

Model: Layout ColorTable: galsid.ctb Design/Subject: Canville-Sta Pac-0905.dgn PlotScale: 1:1

LAST SAVED BY: mcmr

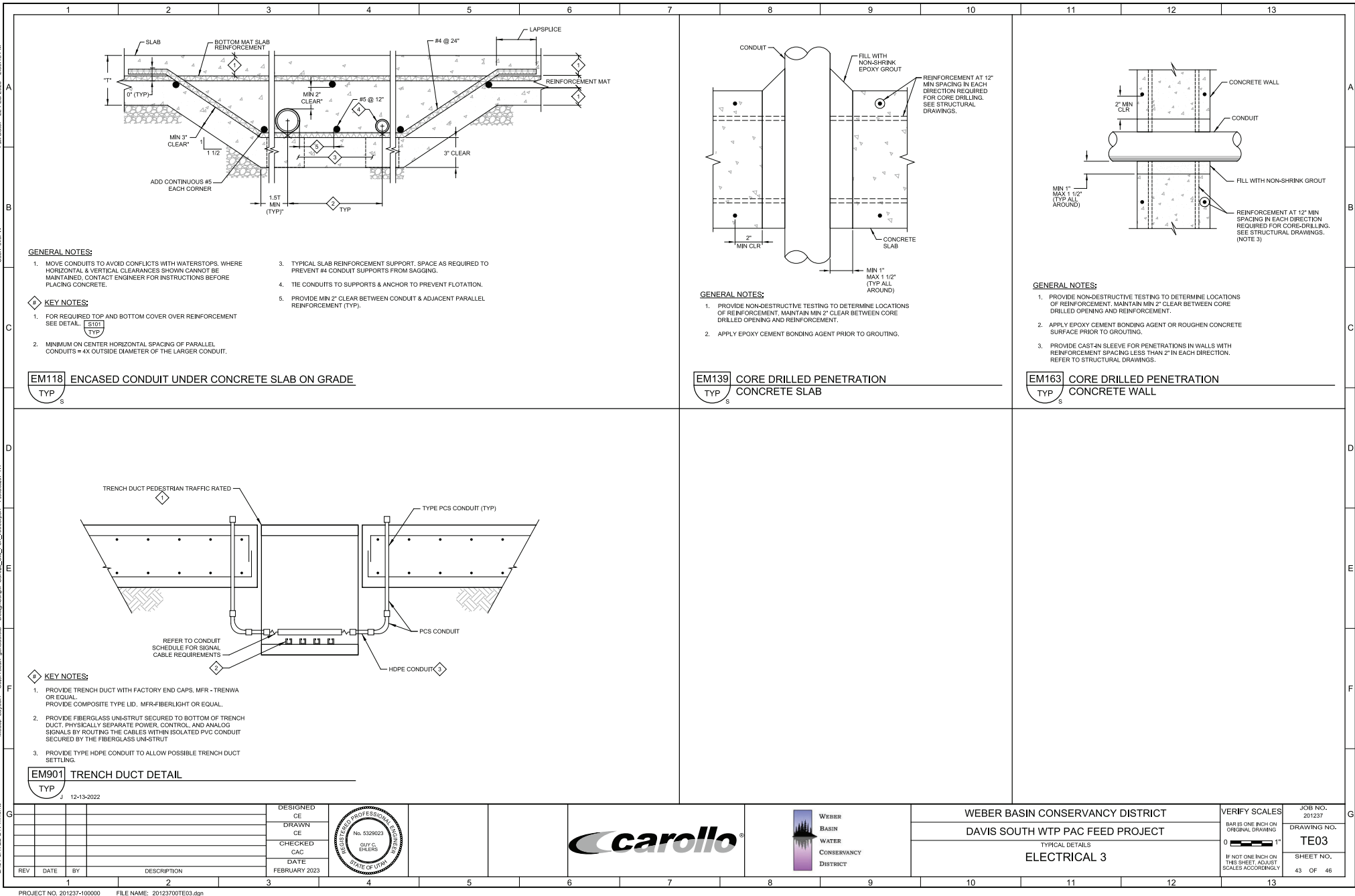


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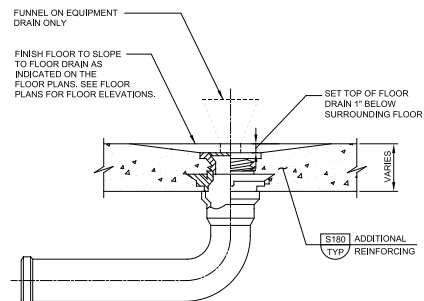
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LAST SAVED BY: mmcc



LAST SAVED BY: mmorris

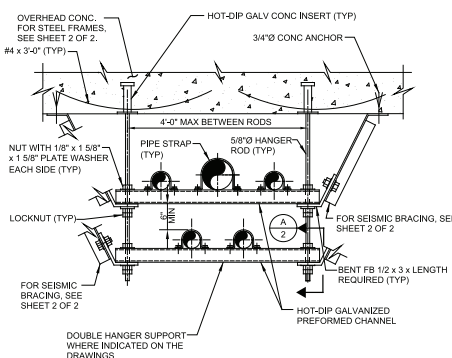


NOTE:

1. PROVIDE 12" RADIUS SLOPE TO EQUIPMENT DRAINS WHERE FLOOR DOES NOT SLOPE TO DRAIN.

**MA203 DRAIN - FLOOR OR EQUIPMENT DRAIN W/O TRAP**

12/01/22



NOTES:

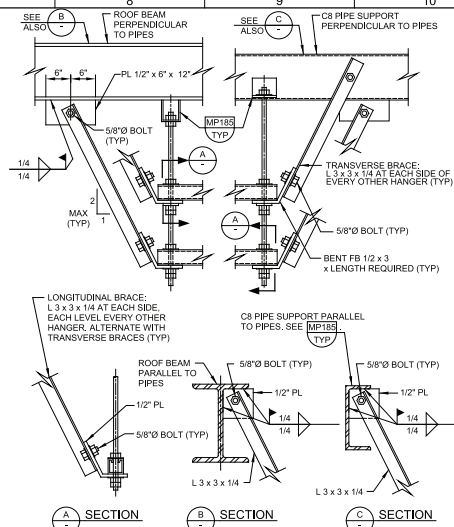
1. HANGER SPACING SHALL BE BASED ON MAXIMUM SPAN ALLOWABLE FOR ANY INDIVIDUAL PIPE.
2. ALL-THREAD ROD SHALL BE USED ONLY FOR DOUBLE SUPPORTS.
3. ALL MATERIALS SHALL BE HOT-DIP GALVANIZED.

MP175	PIPE SUPPORT - OVERHEAD TRAPEZE -
TYP	DOUBLE BEAM



SHEET 1 OF 2 12/01/20

12/01/2

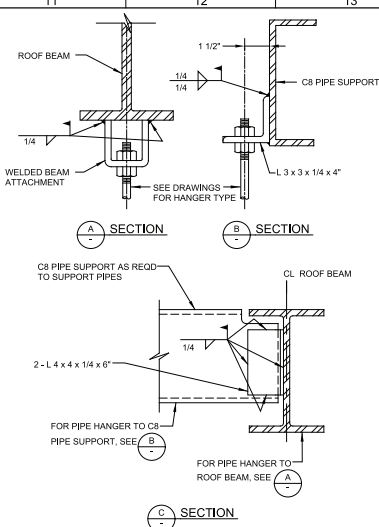


MP175	PIPE SUPPORT - OVERHEAD TRAPEZE -
TYR	DOUBLE BEAM



SHEET 2 OF 2

01/22

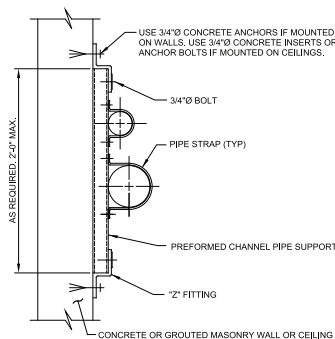


## MP185 PIPE SUPPORT - OVERHEAD CONNECTIONS TO STEEL FRAMING

1

STREET ADDRESS

12/01/2



NOTES:

1. IF SUPPORT IS SUBMERGED OR LOCATED BELOW THE TOP OF WALL IN WATER BEARING STRUCTURE, ALL MATERIAL SHALL BE STAINLESS STEEL. IN ALL OTHER AREAS, THE MATERIALS SHALL BE A307 CARBON STEEL UNLESS OTHERWISE INDICATED ON THE DRAWINGS. HOT-DIP GALVANIZE AFTER FABRICATION.
2. SPACE PREFORMED CHANNEL PIPE SUPPORTS AT MAXIMUM 5'-0" O.C.

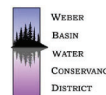
MP218	PIPE SUPPORT - WALL - PREFORMED CHANNEL
TYP	W/ PIPE CLIPS



12/01/22

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CHECKED	CRKJ
DATE	FEBRUARY 2023



WEBER  
BASIN  
WATER  
CONSERVANCY  
DISTRICT

WEBER BASIN CONSERVANCY DISTRICT

DAVIS SOUTH WTP PAC FEED PROJECT

## TYPICAL DETAILS

### PIPING

VERIFY SCALES
---------------

BAR IS ONE INCH ON  
ORIGINAL DRAWING

IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
SCALES ACCORDINGLY

JOB NO.

201237

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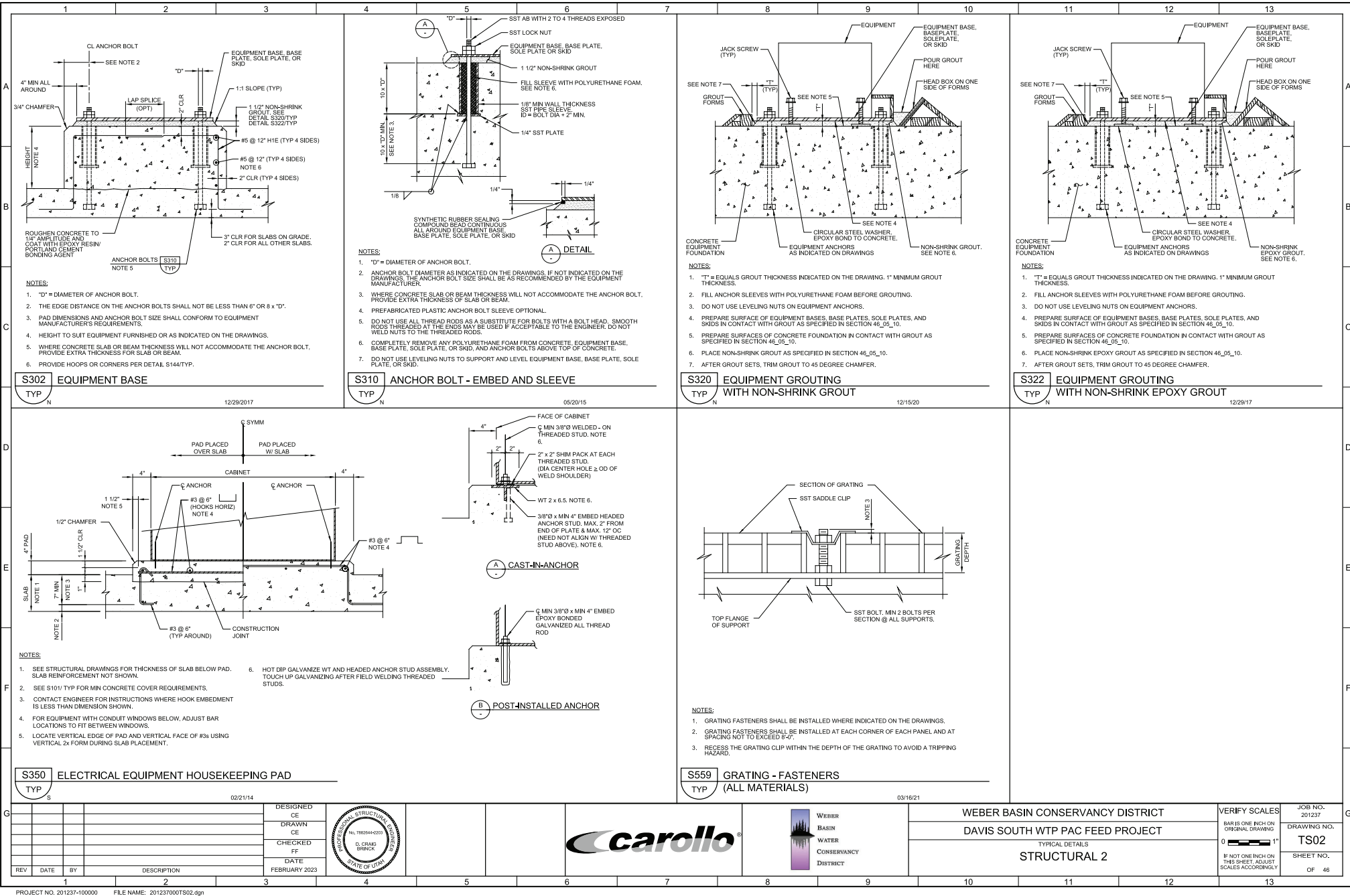
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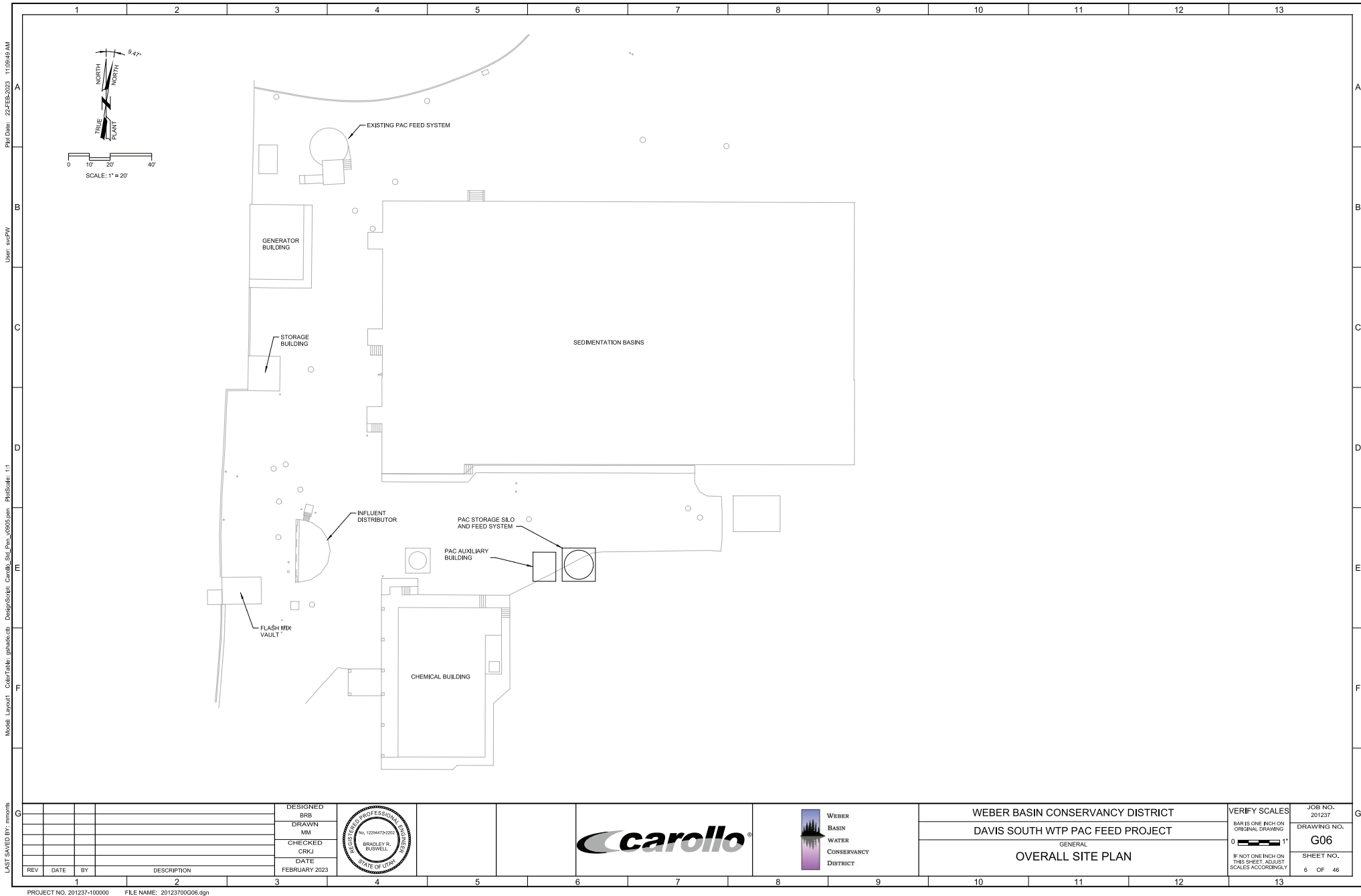
TP01

44 OF 44







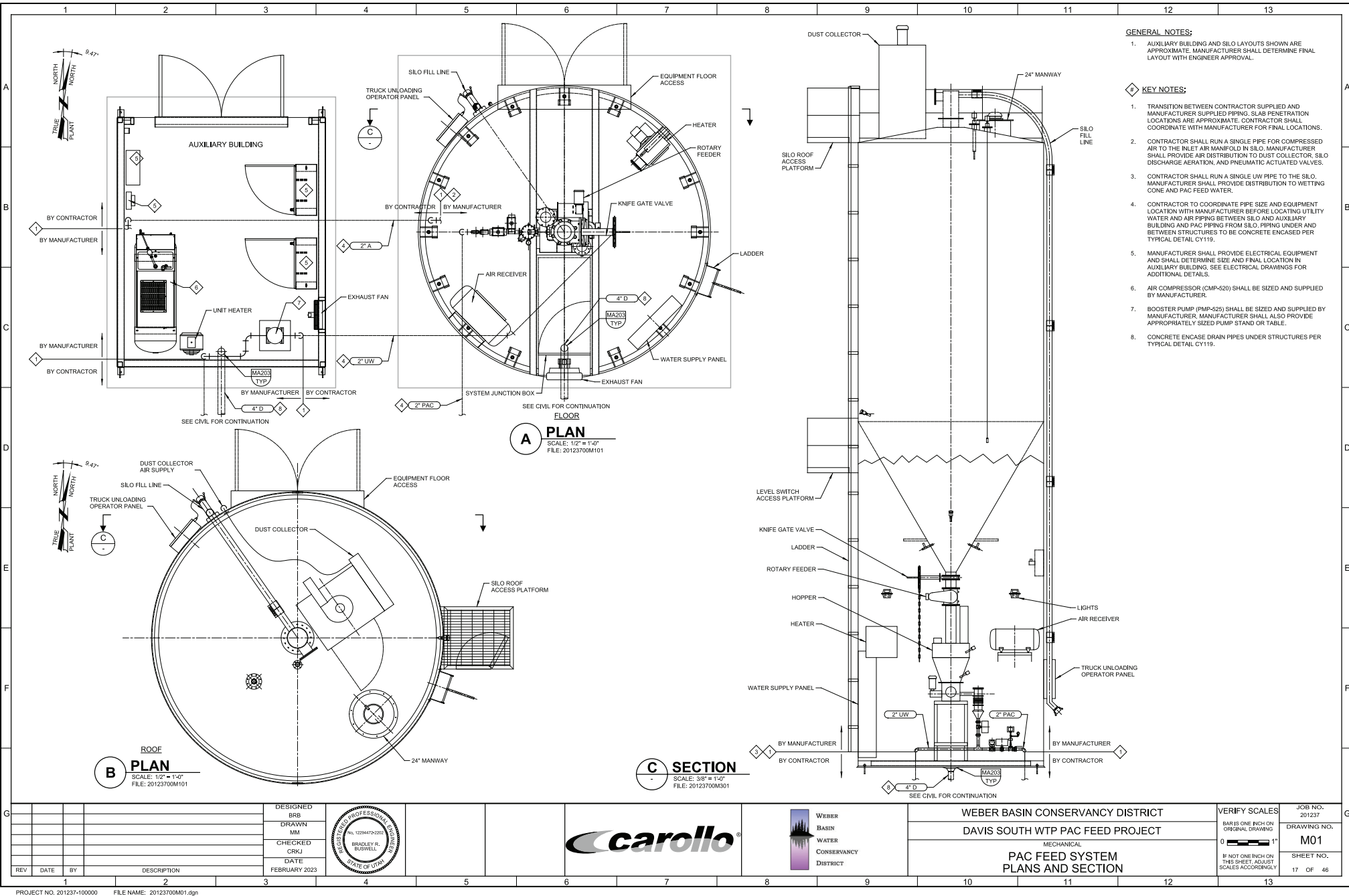


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LAST SAVED BY: mmont

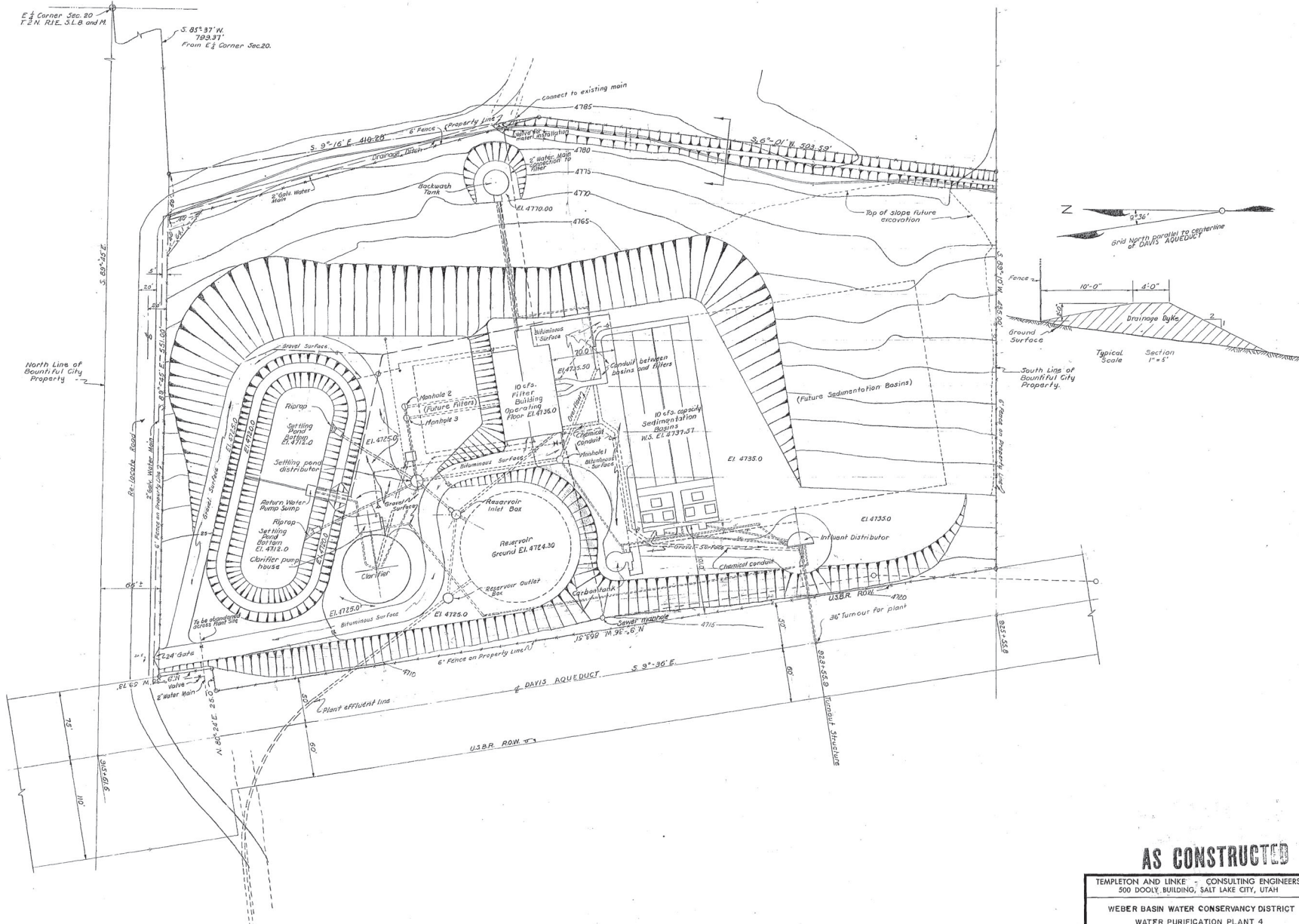


**GENERAL NOTES:**

1. AUXILIARY BUILDING AND SILO LAYOUTS SHOWN ARE APPROXIMATE. MANUFACTURER SHALL DETERMINE FINAL LAYOUT WITH ENGINEER APPROVAL.

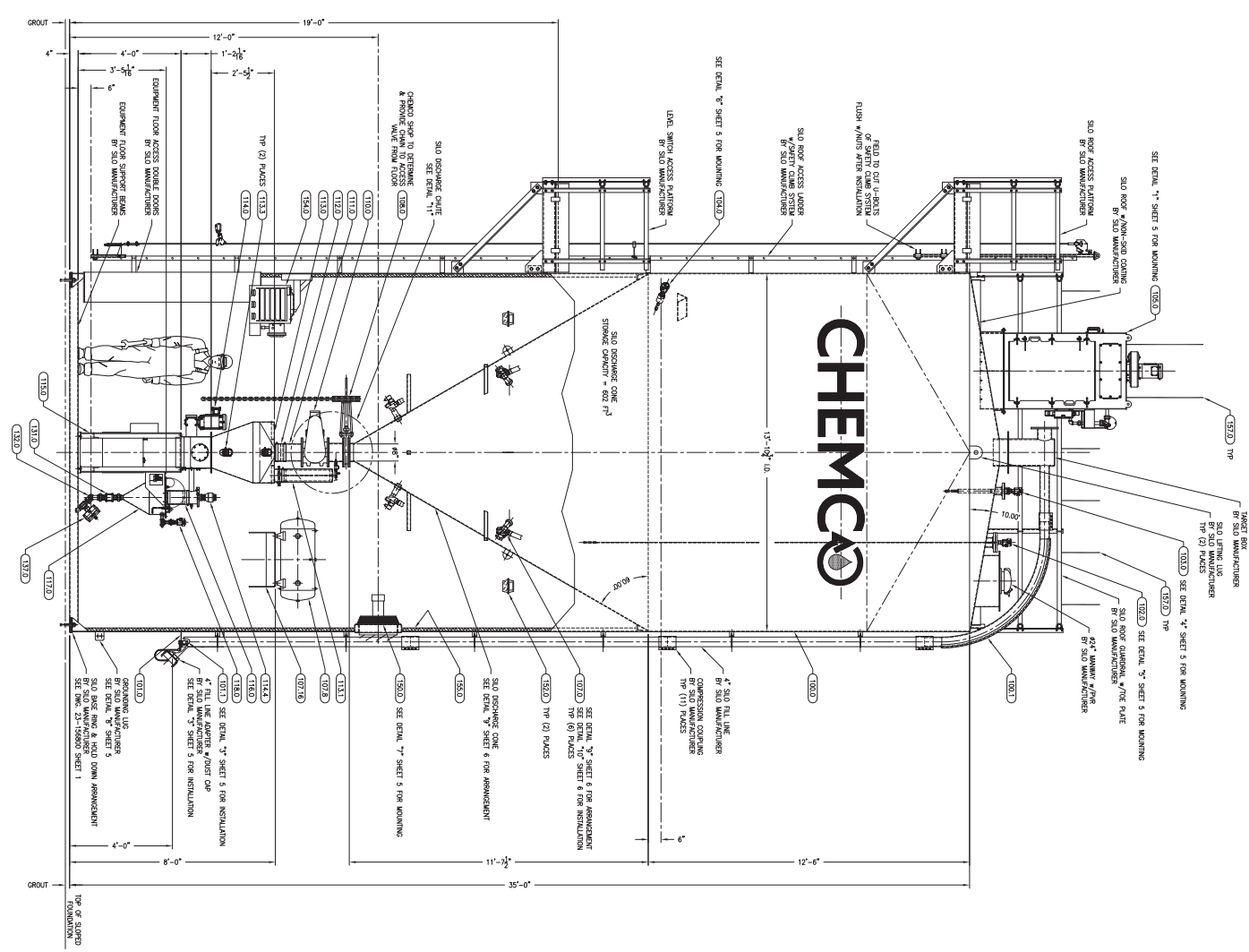
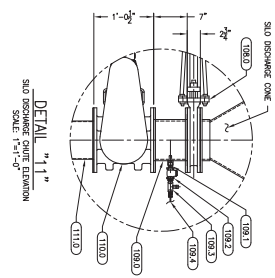
**KEY NOTES:**

1. TRANSITION BETWEEN CONTRACTOR SUPPLIED AND MANUFACTURER SUPPLIED PIPING, SLAB PENETRATION LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE WITH MANUFACTURER FOR FINAL LOCATIONS.
2. CONTRACTOR SHALL RUN A SINGLE PIPE FOR COMPRESSED AIR TO THE INLET AIR MANIFOLD IN SILO. MANUFACTURER SHALL PROVIDE AIR DISTRIBUTION TO DUST COLLECTOR, SILO DISCHARGE AERATION, AND PNEUMATIC ACTUATED VALVES.
3. CONTRACTOR SHALL RUN A SINGLE UW PIPE TO THE SILO. MANUFACTURER SHALL PROVIDE DISTRIBUTION TO WETTING CONE AND PAC FEED WATER.
4. CONTRACTOR TO COORDINATE PIPE SIZE AND EQUIPMENT LOCATION WITH MANUFACTURER BEFORE LOCATING UTILITY WATER AND AIR PIPING BETWEEN SILO AND AUXILIARY BUILDING AND PAC PIPING FROM SILO. PIPING UNDER AND BETWEEN STRUCTURES TO BE CONCRETE ENCASED PER TYPICAL DETAIL CY119.
5. MANUFACTURER SHALL PROVIDE ELECTRICAL EQUIPMENT AND SHALL DETERMINE SIZE AND FINAL LOCATION IN AUXILIARY BUILDING. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS.
6. AIR COMPRESSOR (CMP-S20) SHALL BE SIZED AND SUPPLIED BY MANUFACTURER.
7. BOOSTER PUMP (PMP-S25) SHALL BE SIZED AND SUPPLIED BY MANUFACTURER. MANUFACTURER SHALL ALSO PROVIDE APPROPRIATELY SIZED PUMP STAND OR TABLE.
8. CONCRETE ENCASE DRAIN PIPES UNDER STRUCTURES PER TYPICAL DETAIL CY119.







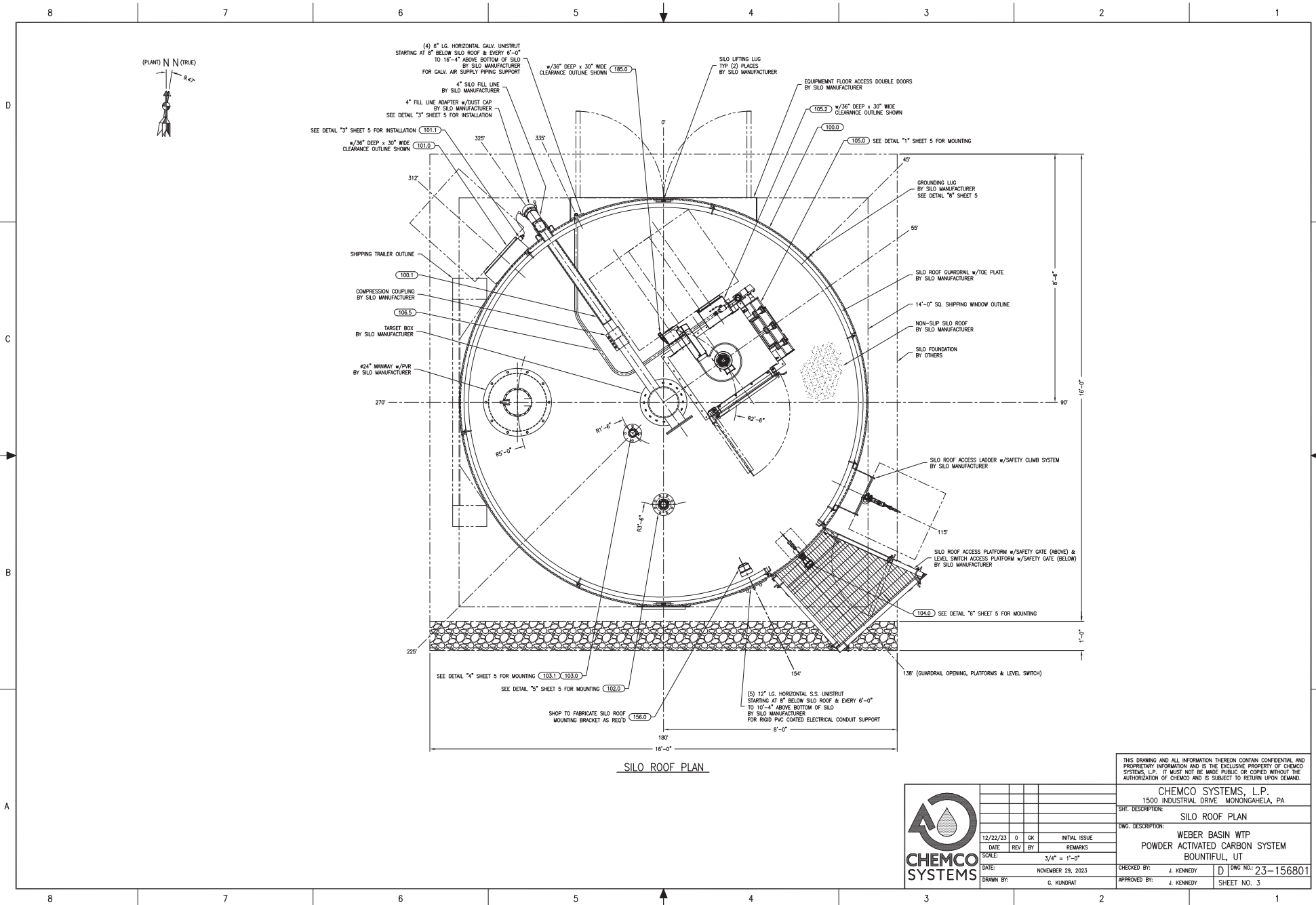


DATE	12/22/23	BY	CK	REVISIONS
SCALE	1/2" = 1'-0"	BY	CK	INITIAL ISSUE
DESIGNED BY	L. KENNEDY			
CHECKED BY	L. KENNEDY			
APPROVED BY	L. KENNEDY			

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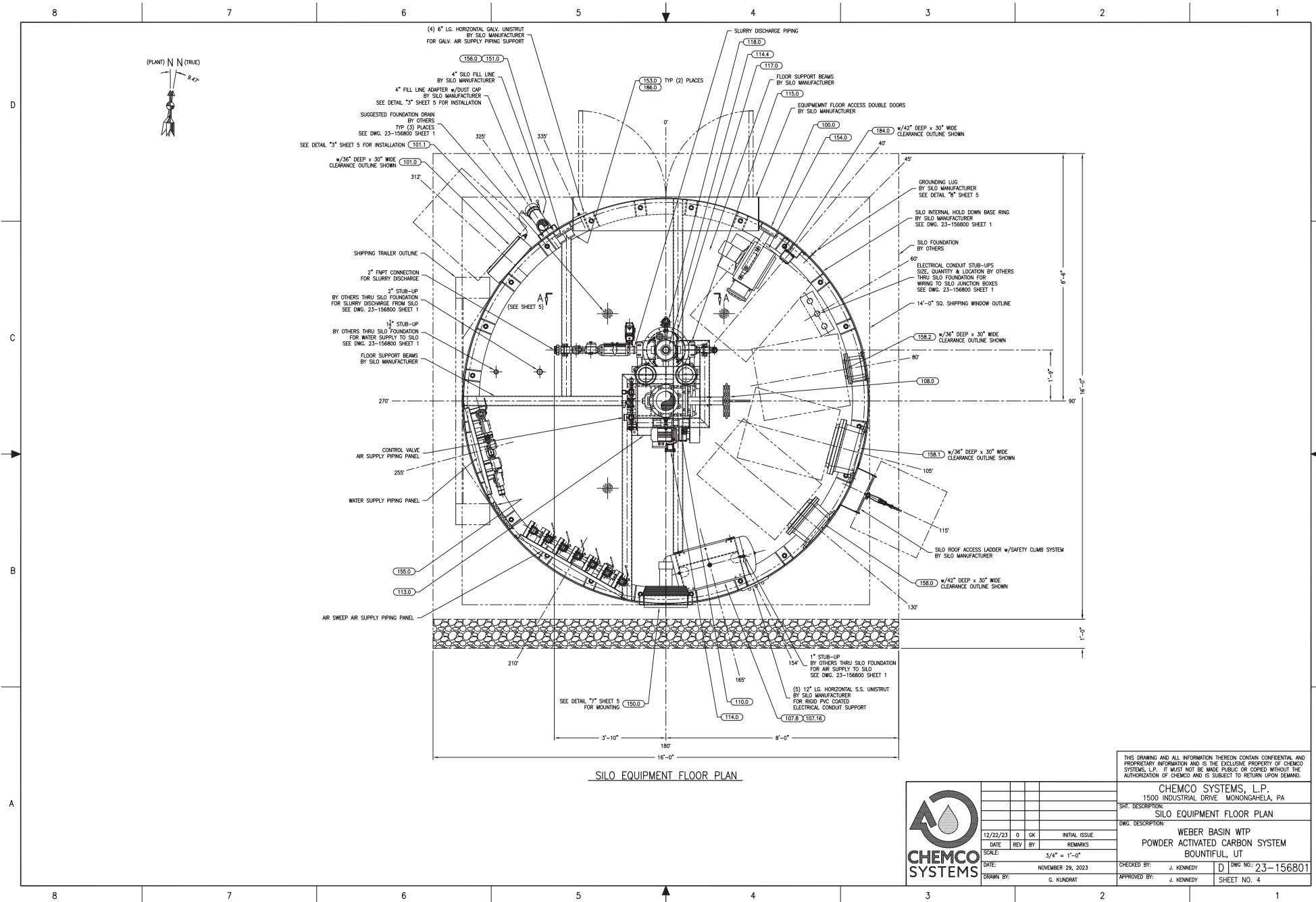
CHEMCO SYSTEMS, L.P.  
1500 INDUSTRIAL DRIVE, MONROESVILLE, PA  
SLO ELEVATION  
POWDER ACTIVATED CARBON SYSTEM  
BOUNTIFUL UT  
SHEET NO. 23-156801

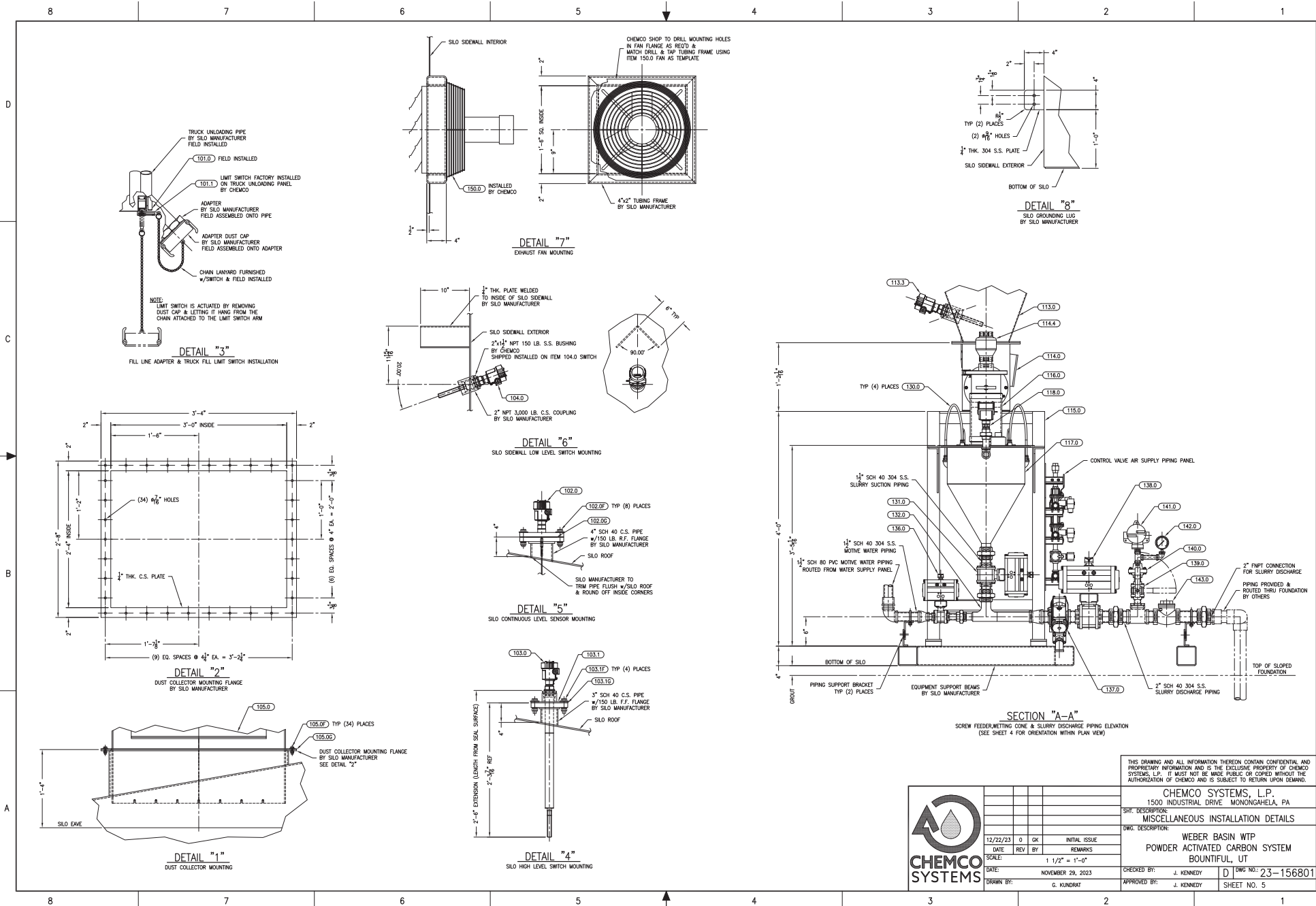




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CHEMCO SYSTEMS, L.P. 1500 INDUSTRIAL DRIVE MONONGAHELA, PA	
SHEET DESCRIPTION: SILO ROOF PLAN	
DWG. DESCRIPTION: WEBER BASIN WTP POWDER ACTIVATED CARBON SYSTEM BOUNTIFUL, UT	
12/22/23	0
DATE	REV
BY	INITIAL
SCALE: 3/4" = 1'-0"	REMARKS
DATE: NOVEMBER 29, 2023	CHECKED BY: J. KENNEDY
DRAWN BY: G. KUNDRAI	APPROVED BY: J. KENNEDY
	DWG NO.: 23-156801
	SHEET NO. 3





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			CHEMCO SYSTEMS, L.P.		
			1500 INDUSTRIAL DRIVE MONONGAHELA, PA		
			SHT. DESCRIPTION:		
			MISCELLANEOUS INSTALLATION DETAILS		
			DWG. DESCRIPTION:		
12/22/23			0	GK	INITIAL ISSUE
DATE			REV	BY	REMARKS
SCALE:			1 1/2" = 1'-0"		
DATE:			NOVEMBER 29, 2023		
DRAWN BY:			G. KUDRAT		
CHECKED BY:			J. KENNEDY		D
APPROVED BY:			J. KENNEDY		
DWG NO.:			23-156801		
SHEET NO.:			5		

