



PLANNING COMMISSION STAFF REPORT

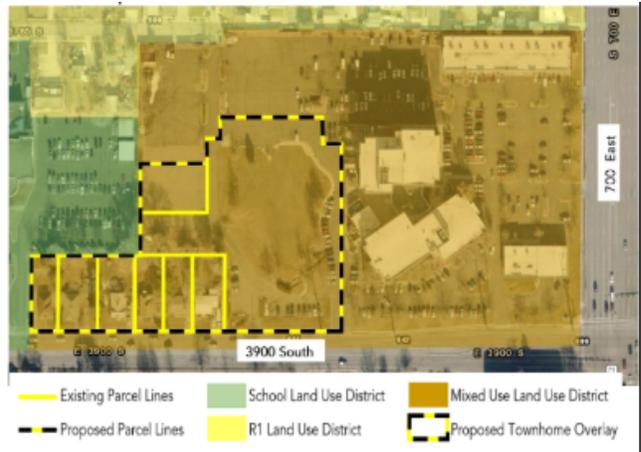
MEETING DATE: February 1, 2024  
 REQUEST: A petition for an extension for the final subdivision plat amendment to subdivide eight existing parcels into a 61-lot subdivision plat.  
 ADDRESS: 547-617 East 3900 South  
 PARCEL NUMBER(S): 16-31-429-006; 007; 008; 009; 010; 011; 019; 024  
 PROPERTY OWNER: CW The Monroe, LLC  
 APPLICANT: C.W. Urban, Chase Freebairn, Representative

**SYNOPSIS:**

On June 1, 2023, the Planning Commission approved C.W. Urban's preliminary subdivision plat amendment for a three-lot plat for the redevelopment of eight existing parcels located at 547-617 East 3900 South.

On June 15, 2023, the Planning Commission approved C.W. Urban's final subdivision plat amendment for the three-lot plat. This approval came with the condition that the applicant record the final "The Monroe" subdivision plat within 180 days of the final subdivision plat approval.

On November 13, 2023, Chase Freebairn, representing C.W. Urban, submitted a plat application to petition the Planning Commission for a 365-day extension of the final subdivision plat.



Per 17.10.100(B)(7)(d) of the South Salt Lake Municipal Code and extension can be approved by the Planning Commission if the following apply:

- The applicant writes to the Community Development Department prior to the expiration of the approval,
- The Applicant can demonstrate no change in circumstance that would result in an unmitigated impact or would result in a finding of non-compliance with the Land Use Regulations in effect or pending at the time of the extension request; and
- Notice of the request extension shall be provided consistent with the requirements for Final Plat. C.W. Urban has not made any changes to their subdivision plat proposal.

The Planning Commission is the final land use authority on all subdivision plats. Per the South Salt Lake Municipal Code, an extension may be granted under 17.10.100(B)(7)(d) when the applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Land Use Regulations in effect or pending at the time of the extension request.

**STAFF RECOMMENDATION:**

Staff recommends that the Planning Commission modify the extension timeline from 180 days to 365 days. Staff also proposes approving the petition for an extension lasting 365 days from the date of this request, focusing on the final subdivision plat amendment to subdivide eight existing parcels into a 61-lot subdivision plat situated at 547-617 East 3900 South. The recommendation from the staff is grounded in the analysis and findings detailed below. The extension falls within the provisions of 17.10.100(B)(7)(d) and can be granted accordingly.

EXISTING ZONING	EXISTING USE	PROPOSED USES	PROPOSED LOT	PROPERTY ACCESS
Mixed Use	Vacant Land	Residential Townhomes	Approx.: 3.98 acres	3900 South

### GENERAL INFORMATION:

Location: 547 East 3900 South  
561 East 3900 South  
567 East 3900 South  
571 East 3900 South  
585 East 3900 South  
595 East 3900 South  
617 East 3900 South

Proposed Project Size: Approx.: 3.98 acres

Surrounding Land Use Districts: North: Mixed Use  
South: R-2-10 (Medium Density Residential Zone – Millcreek)  
East: Mixed Use  
West: School (Granite Peaks Adult Education serves adult learners via teaching English classes, GED preparation, adult high school diploma courses, etc.)

Figure 1: Existing Zoning and Proposed Townhome Overlay District



Figure 2: Existing Site Conditions



547 E 3900 S – looking east



Figure 3: Proposed Renderings





**3** Building B Rear/Left

Proposed 5-plex with Live/Work Units



Building G Front/Right

Proposed 7-plex



Building G Rear/Right

Proposed 7-plex



Figure 4: Applicant's Conceptual Site Plan **\*\*Final Plat in attachments\*\***

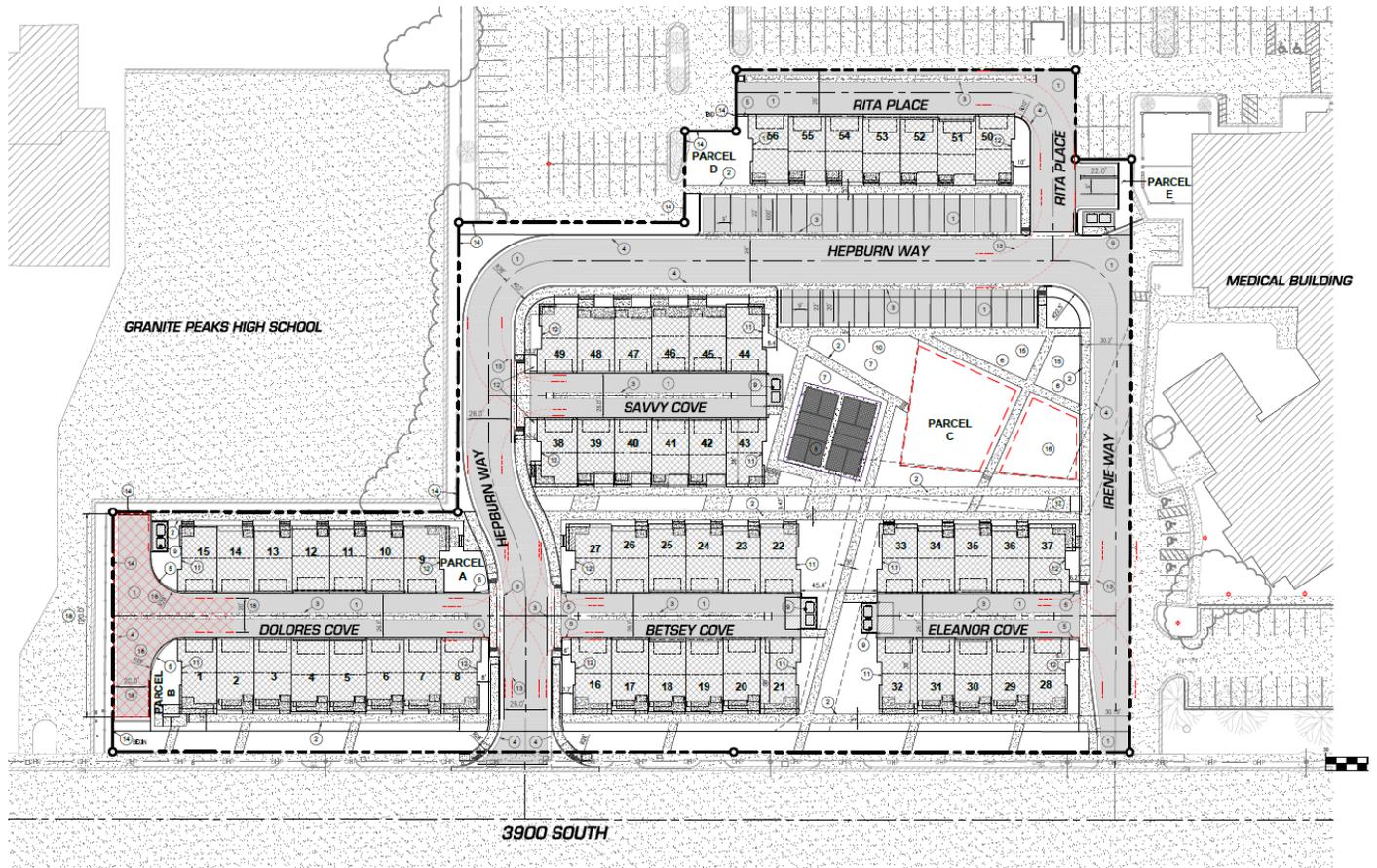
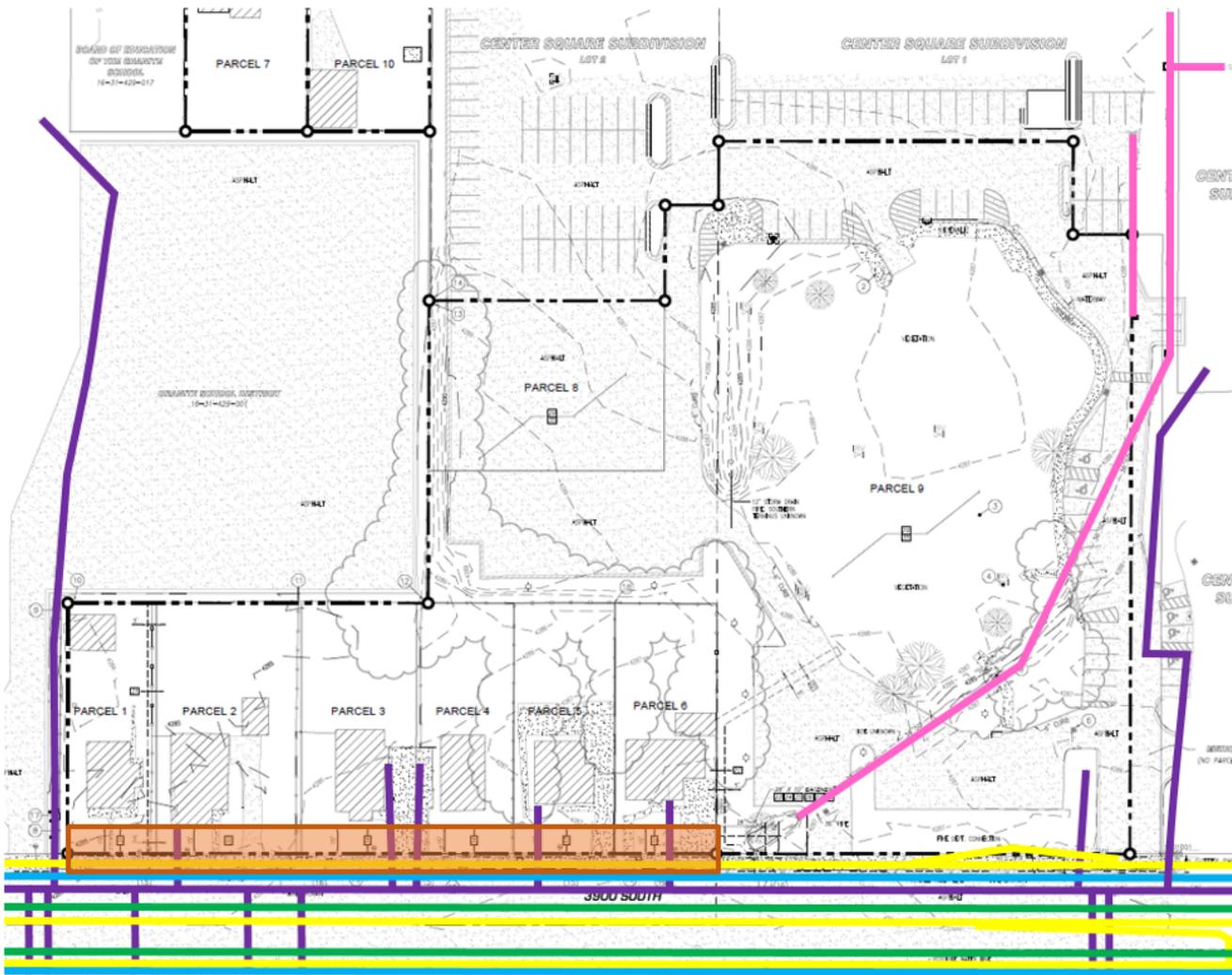


Figure 5: ALTA Survey



- Gas
- Sewer
- Power/Comm.
- Water
- Storm Drain
- Easement

**PLANNING COMMISSION AUTHORITY:**

17.11.030. Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

- A. Planning Commission. The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering or amending a Subdivision Plat; Conditional Use permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

**GENERAL PLAN CONSIDERATIONS:**

C.W. Urban's plat extension application, along with supporting documentation and analysis of the pertinent code sections and general plan goals, does not include any changes from the original application and staff report for the final subdivision plat amendment. The general plan considerations remain unchanged and can be found in the previous staff report.

## STAFF RECOMMENDATION:

### *Findings of Fact*

The findings of fact for the final subdivision plat amendments of C.W. Urban are listed in the preceding Staff Report. The information submitted for C.W. Urban's plat extension application, along with supporting documentation and analysis of the pertinent code sections and general plan goals, does not include any changes from the original application and staff report. The provided information remains unchanged.

### *Conclusions of Law*

Per 17.10.100(B)(7)(d), The Planning Commission may grant an extension to the expiration date when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Land Use Regulations in effect or pending at the time of the extension request.

C.W. Urban's plat extension application, along with supporting documentation and analysis of the pertinent code sections and general plan goals, does not include any changes from the original application and staff report. Notice of the request for extension shall be provided consistent with the requirements for a Final Plat.

### *Conditions of Approval*

At the time of the approval of the C.W. Urban final subdivision plat amendment, the following additional conditions were applied:

1. If The Monroe plat is approved, the plat shall not be recorded until such time that the South Salt Lake Planning Commission grants the final plat approval of the Center Square Subdivision plat, and said plat is recorded with the office of the Salt Lake County Recorder;
2. If the zoning map amendment is approved, the petition for the zoning map amendment will not take effect until such time that the South Salt Lake Planning Commission grants the final plat approval of The Monroe subdivision plat and Center Square Subdivision plat, and said plats are recorded with the office of the Salt Lake County Recorder;
3. If approved and the applicant fails to record the final The Monroe subdivision plat and Center Square Subdivision plat within 180 days of final subdivision plat approval, the zoning map amendment petition approval is void. However, if the applicant elects to install Infrastructure Improvements, has deposited a 10% Warranty Assurance, and is actively working on the issued building permit, the plat approval will not expire until 2 years after final plat approval.
4. If the zoning map amendment is approved, it will not take effect until such time that the Development Agreement is executed. The Development Agreement shall be executed prior to final subdivision plat approval for The Monroe subdivision plat and Center Square Subdivision plat.
5. The Development Agreement shall have a sunset clause of 180 days from approval on entitlement, if construction and execution of the project does not commence.
6. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;
7. Prior to plat recordation and any additional development of the subsequent lots, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the subdivision plat attached hereto;
8. The applicant shall complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all required landscaping and public infrastructure improvements;
9. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;
10. The applicant shall dedicate an easement to the City of South Salt Lake for purposes of stormwater management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;
11. The proposed buildings shall be constructed according to South Salt Lake townhome design standards; and
12. All items of the staff report.

C.W. Urban has been actively working to fulfill the conditions of approval. Since the final subdivision plat was approved, they have chosen to offer a 10% Warranty Assurance. However, the plat cannot be recorded until the right of way is completed, a process that typically takes six months. C.W. Urban is actively working to ensure that all the necessary conditions are met.

### **PLANNING COMMISSION OPTIONS:**

#### Option 1: Approval

Move to approve the application by Chase Freebairn, on behalf of C.W. Urban for an extension one-year from the date of this request, for the petition for a final subdivision plat for a 61-lot subdivision at the subject properties located at 547-617 East 3900 South, to include the TO, with the conditions enumerated in the staff report and stated on the record. An extension can be granted under 17.10.100(B)(7)(d).

#### Option 2: Denial

Denial Move to deny the application by Chase Freebairn, on behalf of C.W. Urban for an extension of one-year from the date of this request, for the petition for a final subdivision plat for a 61-lot subdivision at the subject properties located at 547-617 East 3900 South, to include the TO, with the conditions enumerated in the staff report and stated on the record.

#### Option 3: Continuance

Continuance Move to table the decision on the application by Chase Freebairn, on behalf of C.W. Urban for an extension of one-year from the date of this request, for the petition for a final subdivision plat for a 61-lot subdivision at the subject properties located at 547-617 East 3900 South, to a date certain to allow the Applicant and Staff time to respond to specific inquiries or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

#### Attachments:

1. June 15, 2023 Staff Report

# SOUTH SALT LAKE

## PLANNING COMMISSION STAFF REPORT

**MEETING DATE:** June 15, 2023  
**REQUEST:** A petition for final subdivision plat approval to subdivide eight existing parcels into a 61-lot subdivision plat.  
**ADDRESS:** 547-617 East 3900 South  
**PARCEL NUMBER(S):** 16-31-429-006; 007; 008; 009; 010; 011; 019; 024  
**PROPERTY OWNER:** CW The Monroe, LLC  
**APPLICANT:** C.W. Urban, Ian Cahoon, Representative  
**TYPE OF ITEM:** Administrative – Final Subdivision Plat Approval

**CITY COUNCIL DECISION:**

On June 7, 2023, the City Council held a public meeting to discuss the approval of the Townhome Overlay (TO) on the subject properties. The City Council voted 6-0 in approval of including the TO, with one council member abstaining from the vote. Overall, the Council was supportive of the project.

**PLANNING COMMISSION PRELIMINARY PLAT HEARING:**

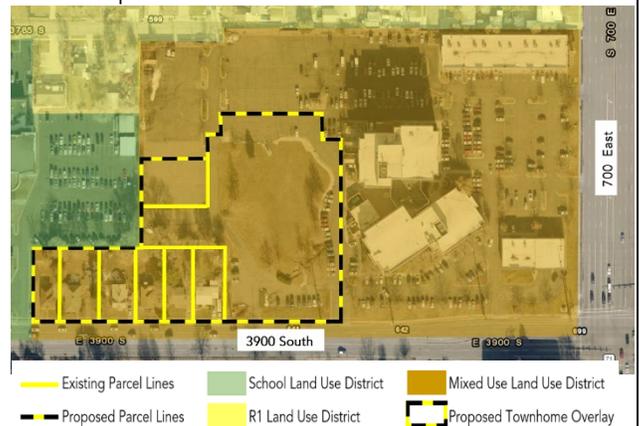
On April 20, 2023, the Planning Commission held a public hearing for this application. There was one public comment about the security of the parking lot in the northwest corner. The member of the public was concerned that the development would create a pocket that is not easily visible and nuisance activity would occur. The developer stated that if there were an increase in nuisance activity they would look at different options to mitigate the issue. The Planning Commission has a few questions about the where the parking would be located for the live/work units. The Planning Commission unanimously approved the preliminary subdivision plat amendment.

**STAFF RECOMMENDATION:**

Staff recommends the Planning Commission hold a public hearing and approve a final subdivision plat to subdivide eight existing parcels located at 547-617 East 3900 South into a 61-lot plat. Staff’s recommendation is based upon its analysis and findings included below.

**SYNOPSIS:**

C.W. Urban is proposing redevelopment of eight existing parcels located at 547-617 East 3900 South. In order to redevelop the property into townhomes, the applicant is making two requests.



1. Consideration of final plat approval for a 61-lot townhome subdivision located at 547-617 East 3900 South. The 61 lots include the 56 dwelling units and the 5 common space lots.
2. Consideration for a recommendation of approval to the City Council to amend the zoning to include the Townhome Overlay (TO).

The subject property currently has no existing buildings/structures. The applicant intends to construct nine townhome buildings containing 56 dwelling units and common amenity space for the property owners. They are also proposing to have 19 of the 56 units be live/work units, which will provide a ground floor commercial space that can be used by the tenant. Some of the uses that would be permitted in the Mixed Use land use district are retail, art studio, art gallery, and hair salons.

The Planning Commission is the Land Use Authority on all subdivision plat applications and amendments. The City Council is the Authority on use of the TO.

EXISTING ZONING	EXISTING USE	PROPOSED USES	PROPOSED LOT	PROPERTY ACCESS
Mixed Use	Vacant Land	Residential Townhomes	Approx.: 3.98 acres	3900 South

**GENERAL INFORMATION:**

**Location:** 547 East 3900 South  
 561 East 3900 South  
 567 East 3900 South  
 571 East 3900 South  
 585 East 3900 South  
 595 East 3900 South  
 617 East 3900 South  
**Proposed Project Size:** Approx.: 3.98 acres  
**Surrounding Land Use Districts:** North: Mixed Use  
 South: R-2-10 (Medium Density Residential Zone – Millcreek)  
 East: Mixed Use  
 West: School (Granite Peaks Adult Education serves adult learners via teaching English classes, GED preparation, adult high school diploma courses, etc.)

**Figure 1: Existing Zoning and Proposed Townhome Overlay District**



Figure 2: Existing Site Conditions



Figure 3: Proposed Renderings





**3** Building B Rear/Left

Proposed 5-plex with Live/Work Units



Building G Front/Right

Proposed 7-plex



Building G Rear/Right

Proposed 7-plex



Figure 4: Applicant's Conceptual Site Plan **\*\*Final Plat in attachments\*\***

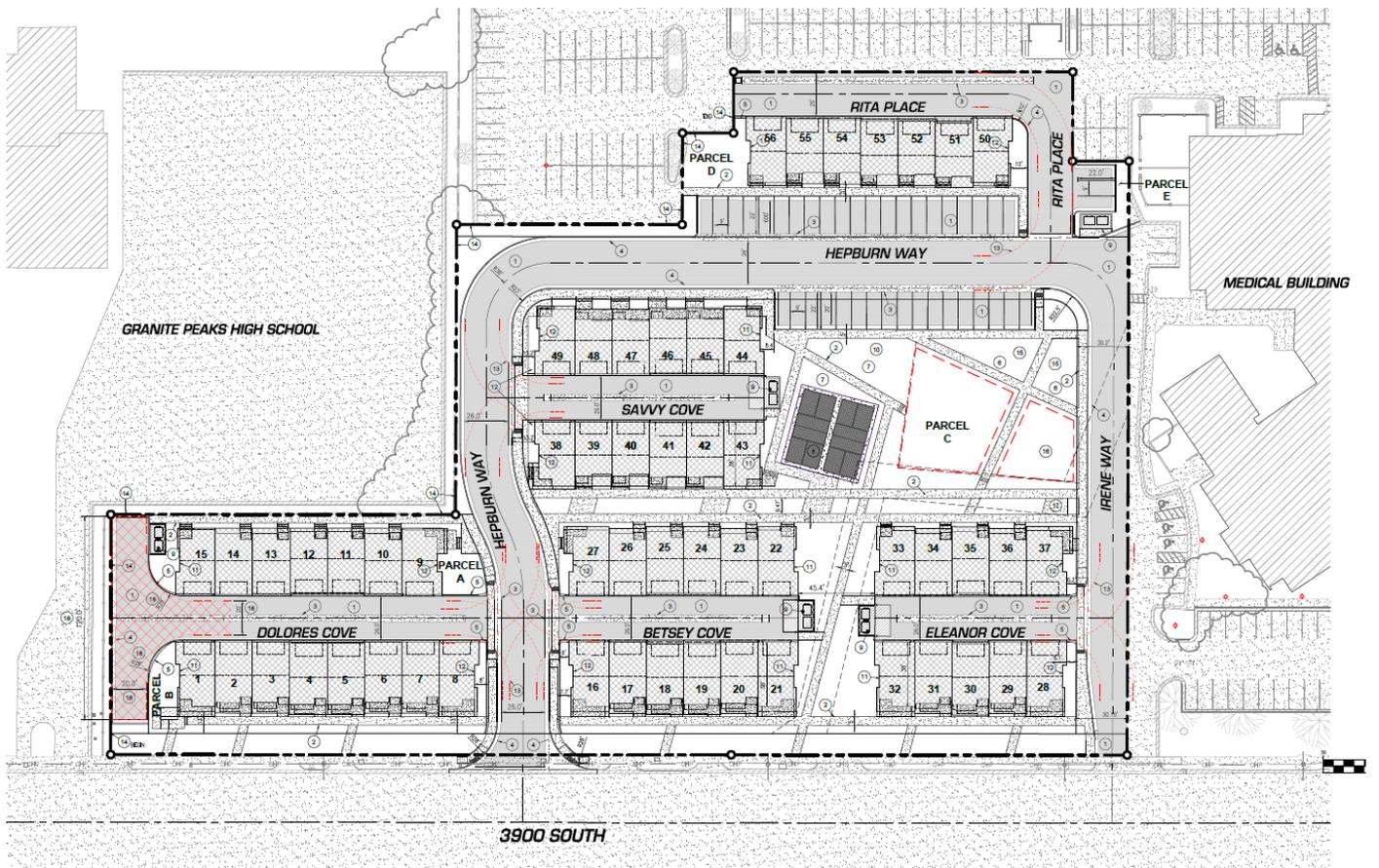
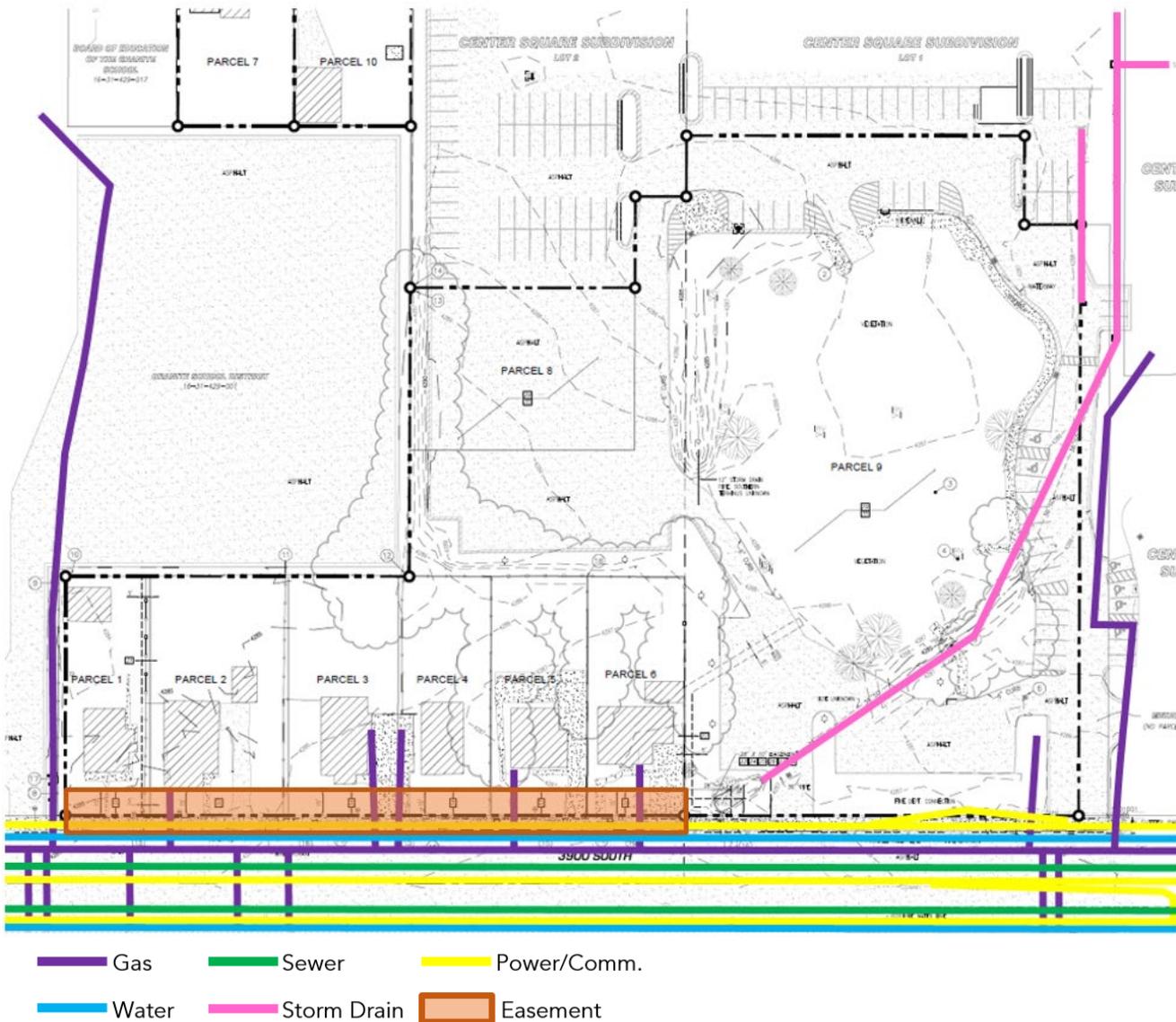


Figure 5: ALTA Survey



**PLANNING COMMISSION AUTHORITY:**

**17.11.030. Land use authority designations.**

Pursuant to state law, the following administrative land use authority designations are made:

- A. **Planning Commission.** The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering or amending a Subdivision Plat; Conditional Use permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

**GENERAL PLAN CONSIDERATIONS:**

**Community Values Goal 1.** Ensure that existing and new development has equitable access to all service and amenities in South Salt Lake.

**Analysis:** The proposed development meets all of the required unit, general, recreational, and energy efficiency amenities.

**Community Values Goal 2.** Support neighborhood livability by creating pedestrian, bike, and play environments appropriate to the surrounding housing types.

**Analysis:** The proposed development will add to the livability of the area by adding new sidewalks, streets, and play environments within the development. This project will also improve the sidewalk and walkability along 3900 South.

**Community Values Goal 3.** Take advantage of opportunities relating to the city’s location at the center of the regional transportation, transit, trails, open space, library, recreation, and school systems to serve residents, businesses, and visitors.

**Analysis:** The proposed development is located nearby multiple bus stops, I-15, 700 East, and State Street. It is also a little over a mile to the new Granite Library.

**Land Use & Neighborhoods Goal 1.** Continue to welcome new residents and businesses into South Salt Lake.

**Analysis:** The proposed development will create 56 new housing units, which will bring new residents to South Salt Lake.

**Housing Goals Strategy 3.** Encourage the development of housing that ranges in size and scale to accommodate the needs of all residents.

**Analysis:** The proposed development will include 19 live/work units. The project will also have 2-bedroom and 3-bedroom units. The live/work units and the traditional units with the different number of bedrooms will help accommodate the different needs of residents in the city. The live/work units will also allow residents to have a commercial space that they can use for their own business. Some of the uses that would be permitted in the Mixed Use land use district are retail, art studio, art gallery, and hair salons.

**Housing Goals Strategy 5.** Ensure that all residents have access to retail, services, and neighborhood amenities that are easily and safely accessible by foot, bike, or transit.

**Analysis:** The proposed development will include 19 live work units. The live/work units will allow the owners to have a commercial space on the ground floor of their unit. Some of the uses that would be permitted in the Mixed Use land use district are retail, art studio, art gallery, and hair salons. There are also multiple restaurants and retail shops that are accessible by foot, bike, and transit.

**Economic Development Strategy 3.** Encourage development and preservation of neighborhood-based shops and services in strategic locations.

**Analysis:** The proposed development will have 19 live/work units in three of the buildings. Some of the uses that would be permitted in the Mixed Use land use district are retail, art studio, art gallery, and hair salons. The 19 units will help encourage and bring in neighborhood-based retail that will benefit all the residents in the area.

**ORDINANCE ANALYSIS:**

Ordinance	Complies	Notes / Insufficiency
<b>Title 17 – Land Use and Development</b>		
<b>17.10.120 – Requirements for Improvement and Design</b>		
A. Townhome Internal Primary Access roads shall be 26 feet of unobstructed travel lanes, plus 2.5 feet of curb/gutter on both sides.	All internal primary access roads have 26 feet of unobstructed travel lanes plus 2.5 feet of curb and gutter on both sides.	

B. Townhome Secondary Access roads shall be 26 feet of unobstructed alley access lanes.	All secondary access roads have 26 feet of unobstructed alley lanes.	
<b>17.10.150 – Subdivision and Condominium Plat Layout Requirements</b>		
A. Roads shall be graded to City standards; access shall minimize conflict of movement of different types of traffic; proposed streets extend to boundary.	Adequate grading has been shown per the Engineering review.	
B. All subdivisions must have frontage on and access from an existing street; subdivisions using existing street frontage shall suitably improve the road; all streets must integrate into the streets masterplan; streets shall be configured to address specific current and future traffic generators.	The subdivision fronts along 3900 South. This street frontage will remain as is. The traffic study did not recommend any mitigation measures. Additionally, the existing and projected traffic will not change the current Level of Service. The provided traffic study was reviewed by Engineering.	
C. Street lights shall be placed according to SSL Design Standards, as approved by the City Engineer.	Per the SSL Engineer, street lights are not required for this project.	
D. Roads shall comply with SSL design standards Construction Specifications and Standard Drawings, and Streets Master Plan.	All roads comply with the SSL design standards per the Engineering review.	
E. All Structures must meet the requirements of Appendix D of the International Fire Code in effect in the state of Utah.	All structures comply with Appendix D of the IFC per the Fire Marshal.	
F. The minimum curb radius for all intersections is 28 feet.	All curb radiuses have a minimum of 28-feet.	
G. The applicant shall be required to dedicate and improve such areas along the Right-of-Way.	There is a 12.5-foot right of way dedication along 3900 South.	
<b>17.10.160(A) - Drainage and Storm Sewers General Requirements</b>		
A. Each plat shall make adequate provision for storm or flood water runoff.	Adequate provision for storm or flood water runoff is provided per SSL Engineering review.	
<b>17.10.160(B) – Nature of Stormwater Facilities</b>		
A. Upon recommendation of the City Engineer, applicants may be required to carry away by pipe or open channel any spring or surface water that may exist either previously to or because of the subdivision.	Not applicable per Engineering review.	
B. Adequate underground stormwater systems shall be constructed and maintained.	Adequate underground storm water systems are provided per Engineering review.	
C. Accommodation of Upstream Drainage Areas.	Not applicable	
D. Adequate storm / flood water drainage will be provided to an approved drainage watercourse or facility with capacity.	Adequate storm and flood water drainage is provided per Engineering review.	
E. Areas of poor drainage shall be remediated as applicable.	The submitted soils report indicates a water table ranges from 14 to 15.5 feet at the subject site.	

	Sufficient drainage is provided per Engineering review.	
F. Flood plain areas shall be preserved upon recommendation of City Engineer when necessary for the health, safety, or welfare of the population of the area.	No flood plain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer.	
<b>17.10.170 - Water Facilities</b>		
A. Applicant shall extend public culinary water supply-system for the purpose of providing an adequate water-supply to the Plat	Adequate water supply provisions are proposed per SSL Engineering review and the Jordan Valley Water Conservancy will serve letter.	
B. Applicant shall install adequate water facilities including fire hydrants.	There are 7 proposed fire hydrants throughout the project area. All locations are included on the plat or site plan. They have also been approved by the Fire Marshall.	
C. Fire flow shall be approved by the Fire Marshal.	A fire flow test was performed and the results were adequate for the proposed subdivision per Fire Marshal review.	
D. Water main extensions shall meet the City's standards.	The water main extensions meet SSL standards per SSL Engineering review. All work shall be inspected to ensure compliance with South Salt Lake standards.	
E. Location of all fire hydrants, all water and storage supply improvements shall be shown on the Final Site Plan.	The location of all fire hydrants, all water and storage supply improvements, and the boundary lines of proposed districts, indicating all improvements proposed to be served are shown on the final site plan.	
F. A determination shall be made as to location or extent of facilities to be maintained by South Salt Lake City.	Not applicable. There are no facilities at this location to be maintained by South Salt Lake City.	
G. Fire hydrants required for all plats.	There are 7 proposed fire hydrants throughout the project area. All locations are included on the plat or site plan. They have also been approved by the Fire Marshall.	
<b>17.10.180 - Sewer Facilities</b>		
A. General Requirements. Applicant shall install sanitary sewer facilities in a manner prescribed by the applicable sanitary sewer authority.	A will serve letter has been submitted from Mt. Olympus Improvement District.	
<b>17.10.190 – Utilities</b>		
A. Utility facilities shall be located underground in new subdivisions.	All new utilities are shown to be underground.	
B. Easements. Easements centered on Rear Lot Lines shall be provided for private and municipal utilities.	All of the common spaces (Parcel A, B, C, D, and E) as well as the roadways will serve at the public utility easements. This has been reviewed and approved by the City Engineer.	
<b>17.10.200 - Sidewalks, Trails, and Bike Paths</b>		
A. Subdivision shall comply with the applicable road profile.	Current right of way improvements include curb/gutter, a park strip of approximately three feet, and a five-foot sidewalk. The proposed site plans included leaving the current infrastructure in place along 3900 South. A 12.5-foot dedication is required along 3900 South.	

B. Trails, pedestrian paths, and bike paths shall relate appropriately to topography.	Public and internal pathways relate appropriately to topography on the site and comply with South Salt Lake code.	
C. Trails, pedestrian paths, and bike paths shall be provided in accordance with the Trails Master Plan.	The Trails Master Plan does not include any facilities adjacent to the subject property.	

**PLANNING COMMISSION PRELIMINARY PLAT HEARING:**

On April 20, 2023, the Planning Commission held a public hearing for this application. There was one public comment about the security of the parking lot in the northwest corner. The member of the public was concerned that the development would create a pocket that is not easily visible and nuisance activity would occur. The developer stated that if there were an increase in nuisance activity they would look at different options to mitigate the issue. The Planning Commission has a few questions about the where the parking would be located for the live/work units. The Planning Commission unanimously approved the preliminary subdivision plat amendment.

**STAFF RECOMMENDATION:**

Based upon the information submitted in the application, supporting documentation, and analysis of the relevant code sections and general plan goals, Staff recommends the Planning Commission move to approve, with conditions, the final subdivision plat amendment and proposes the following findings of fact and conclusions of law and conditions of approval:

*Findings of Fact:*

1. The subject properties, located at 547-617 East 3900 South, consist of eight separate parcels.
2. All eight parcels are located in the Mixed Use land use district.
3. The subject properties are currently vacant, undeveloped land.
4. The proposed zoning map amendment is to add the Townhome Overlay to the existing zoning.
5. The proposed subdivision will subdivide eight parcels located at 547-617 East 3900 South.
6. The proposed subdivision will create 61-lots that will be 3.98 acres in size.
7. The property owner is applying for the subdivision and zoning amendment to construct a townhome development.
8. The proposed development will be located in the Mixed Use, and if City Council approves the pending rezone application, the Townhome Overlay land use districts.
9. The proposed building falls into the Dwelling, Townhome land use category.
10. The Dwelling, Townhome use is a permitted land use in the Townhome Overlay.
11. The proposed lot will be served by new vehicular and pedestrian access points on 3900 South.

*Conclusions of Law:*

1. The subdivision, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The subdivision, as specifically conditioned below is compatible in use, scale, and design with the allowed uses in Commercial Corridor.
3. The subdivision as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.
4. The subdivision, as specifically conditioned below does not impose disproportionate burdens on the citizens of the city.
5. Staff has reviewed this subdivision for compliance with SSL Municipal Code Sections: 17.10.130, 17.10.140, 17.10.150, 17.10.160, 17.10.170, 17.10.180, 17.10.190, 17.10.200, and 17.10.300, and found that this subdivision is compliant with those sections, as outlined above.

*Conditions of Approval:*

1. If The Monroe plat is approved, the plat shall not be recorded until such time that the South Salt Lake Planning Commission grants the final plat approval of the Center Square Subdivision plat, and said plat is recorded with the office of the Salt Lake County Recorder;
2. If the zoning map amendment is approved, the petition for the zoning map amendment will not take effect until such time that the South Salt Lake Planning Commission grants the final plat approval of The Monroe subdivision plat and Center Square Subdivision plat, and said plats are recorded with the office of the Salt Lake County Recorder;
3. If the zoning map amendment is approved, and the applicant fails to record the final The Monroe subdivision plat and Center Square Subdivision plat within 180 days of final subdivision plat approval, the zoning map amendment petition approval is void;
4. If the zoning map amendment is approved, it will not take effect until such time that the Development Agreement is executed. The Development Agreement shall be executed prior to final subdivision plat approval for The Monroe subdivision plat and Center Square Subdivision plat.
5. The Development Agreement shall have a sunset clause of 180 days from approval on entitlement, if construction and execution of the project does not commence.
6. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;
7. Prior to plat recordation and any additional development of the subsequent lots, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the subdivision plat attached hereto;
8. The applicant shall complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all required landscaping and public infrastructure improvements;
9. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;
10. The applicant shall dedicate an easement to the City of South Salt Lake for purposes of storm water management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;
11. The proposed buildings shall be constructed according to South Salt Lake townhome design standards; and
12. All items of the staff report.

## **PLANNING COMMISSION OPTIONS:**

### **Option 1: Approval**

Move to approve the application by C.W. Urban for a final subdivision plat for a 61-lot subdivision at the subject properties located at 547-617 East 3900 South, to include the TO, with the conditions enumerated in the staff report and stated on the record.

### **Option 2: Denial**

Move to deny the application by C.W. Urban for a final subdivision plat for a 61-lot subdivision at the subject properties located at 547-617 East 3900 South, to include the TO, with the conditions enumerated in the staff report and stated on the record.

### **Option 3: Continuance**

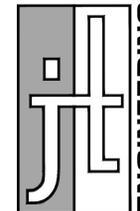
Move to table the decision on the application by C.W. Urban for a final subdivision plat for a 61-lot subdivision at the subject properties located at 547-617 East 3900 South, to include the TO, to a date certain to allow the Applicant and Staff time to respond to specific inquires or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

### **Attachments:**

1. Proposed Final Plat
2. Civil Engineering Drawings
3. Proposed Elevations

# THE MONROE TOWNHOMES

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31,  
TOWNSHIP 1 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN,  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH  
JUNE 2023



JT Engineering, PC  
7886 South 2325 East  
South Weber, Utah  
Mobile 801.866.7702



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CLINTON, UT 84015  
(801)-663-1641  
willis.long@laytonsurveys.com

## SURVEYOR'S CERTIFICATE:

I, WILLIS D. LONG, OF LAYTON SURVEYS LLC, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 10708886 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, IN ACCORDANCE WITH SECTION 17-23-17, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS THE MONROE TOWNHOMES AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.



JUNE 9, 2023  
DATE:

WILLIS D. LONG  
LICENSE NO. 10708886

## BOUNDARY DESCRIPTION:

(AS SURVEYED, OVERALL BOUNDARY FOR PARCELS 1, 2, 3, 4, 5, 6, 8 & 9)

ALL OF THAT CERTAIN PROPERTY COMPRISED OF EIGHT (8) INDIVIDUAL PARCELS HEREAFTER TO BE KNOWN AS PARCELS 1, 2, 3, 4, 5, 6, 8, & 9 AND REFERENCED BY THE VESTING DOCUMENTS LISTED AT THE END OF THIS DESCRIPTION.

PARCELS 1 THROUGH 6, AND PARCEL 8 ARE LOCATED WITHIN LOT 2 OF BLOCK 19, TEN ACRE PLAT "A" BIG FIELD SURVEY, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. PARCEL 9 IS LOCATED WITHIN LOTS 1 AND 2 OF SAID BLOCK 19. THE EXTERIOR BOUNDARY FOR SAID PARCELS IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MONUMENT LOCATED AT THE INTERSECTION OF 500 EAST AND 3900 SOUTH STREETS AND RUNNING THENCE, SOUTH 89°58'25" EAST, A DISTANCE OF 794.47 FEET; THENCE, NORTH 00°12'23" EAST, A DISTANCE OF 33.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1 OF BLOCK 19; THENCE, NORTH 00°12'23" EAST A DISTANCE OF 7.00 FEET TO THE POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 3900 SOUTH STREET AND THE POINT OF BEGINNING FOR THIS DESCRIPTION; THENCE, NORTH 89°58'25" WEST, ALONG THE NORTHERLY SIDELINE OF SAID 3900 SOUTH STREET AND THE SOUTHERLY LINE OF PARCELS 1 THROUGH 6, A DISTANCE OF 365.70 FEET TO THE SOUTHWEST CORNER OF PARCEL 1; THENCE, NORTH 00°11'33" EAST, ALONG THE WEST LINE OF PARCEL 1, A DISTANCE OF 141.50 FEET TO THE NORTHWEST CORNER OF PARCEL 1; THENCE, SOUTH 89°58'25" EAST, ALONG THE NORTHERLY LINE OF PARCELS 1, 2, 3, & 4, A DISTANCE OF 203.19 FEET TO A POINT ON THE NORTHERLY LINE OF PARCEL 4; THENCE, NORTH 00°12'23" EAST, ALONG THE WEST LINE OF PARCELS 9 & 8, A DISTANCE OF 170.97 FEET TO THE NORTHWEST CORNER OF PARCEL 8 AND THE SOUTHWEST CORNER OF LOT 2 OF THE CENTER SQUARE SUBDIVISION RECORDED ON AUGUST 29, 2008 AS ENTRY No. 10510247, IN BOOK 2008P AT PAGE 216, OF OFFICIAL RECORDS; THENCE, CONTINUING ALONG THE SOUTHERLY AND EASTERLY LINES OF SAID LOT 2, THE SOUTHERLY AND THE WESTERLY LINES OF LOT 1 OF SAID CENTER SQUARE SUBDIVISION, THE FOLLOWING 7 COURSES: (1) SOUTH 89°58'48" EAST, A DISTANCE OF 132.93 FEET; (2) NORTH 00°12'24" EAST, A DISTANCE OF 54.00 FEET; (3) SOUTH 89°59'03" EAST, A DISTANCE OF 30.06 FEET; (4) NORTH 00°12'23" EAST, A DISTANCE OF 36.05 FEET; (5) SOUTH 89°59'08" EAST, A DISTANCE OF 199.88 FEET; (6) SOUTH 00°12'11" WEST, A DISTANCE OF 52.54 FEET; (7) SOUTH 89°59'06" EAST, A DISTANCE OF 33.35 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL DESCRIBED A QUIT CLAIM DEED RECORDED AS ENTRY No. 10639758, IN BOOK 9694, AT PAGE 3031, OF OFFICIAL RECORDS; THENCE, SOUTH 00°11'40" WEST, ALONG THE WEST LINE OF SAID PARCEL AND THE EAST LINE OF PARCEL 9, A DISTANCE OF 350.05 FEET TO THE NORTHERLY SIDELINE OF 3900 SOUTH STREET; THENCE NORTH 89°58'25" WEST, A DISTANCE OF 233.34 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 19, AND THE POINT OF BEGINNING.

CONTAINS 3.981 ACRES, MORE OR LESS

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS, EGRESS AND TRAFFIC AND VEHICULAR PARKING AS DISCLOSED BY THAT CERTAIN CROSS EASEMENT AGREEMENT RECORDED AUGUST 2, 2002 AS ENTRY No. 831054 7 IN BOOK 8628 AT PAGE 2329 OF OFFICIAL RECORDS.

ALSO TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR ALL UTILITIES AND DRAINAGE SYSTEMS AS DISCLOSED AGREEMENT RECORDED MAY 12, 2005 AS ENTRY No. 9375372 IN BOOK 9130 AT PAGE 2898 OF OFFICIAL RECORDS.

THE PARCELS INCLUDED IN THE DESCRIPTION ABOVE ARE DESCRIBED IN THE VESTING DOCUMENTS LISTED BELOW, PROVIDED BY OLD REPUBLIC TITLE, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

PARCEL 1: WARRANTY DEED RECORDED ON JANUARY 30, 2015 AS ENTRY No. 11985338, IN BOOK 1029, AT PAGE 7392. PARCEL 2: WARRANTY DEED RECORDED ON APRIL 1, 2005 AS ENTRY No. 9338477, IN BOOK 9113, AT PAGE 2666. PARCEL 3: WARRANTY DEED RECORDED ON MARCH 13, 1997 AS ENTRY No. 6593283, IN BOOK 7818, AT PAGE 1111. PARCEL 4: WARRANTY DEED RECORDED ON FEBRUARY 13, 1979 AS ENTRY No. 3236156, IN BOOK 4813, AT PAGE 268. PARCEL 5: WARRANTY DEED RECORDED ON OCTOBER 23, 2006 AS ENTRY No. 9884995, IN BOOK 9369, AT PAGE 5094. PARCEL 6: WARRANTY DEED RECORDED ON APRIL 1, 2005 AS ENTRY No. 9338451, IN BOOK 9113, AT PAGE 2503.

PARCEL 8: WARRANTY DEED RECORDED ON JANUARY 27, 1994 AS ENTRY No. 5724647, IN BOOK 6860, AT PAGE 1786.

LESS AND EXCEPTING THAT PORTION LYING WITH THE CENTER SQUARE SUBDIVISION RECORDED ON AUGUST 29, 2008 AS ENTRY No. 10510247, IN BOOK 2008P, AT PAGE 216.

PARCEL 9: WARRANTY DEED RECORDED ON JANUARY 27, 1994 AS ENTRY No. 5724646, IN BOOK 6860, AT PAGE 1783.

LESS AND EXCEPTING THAT PORTION LYING WITH THE CENTER SQUARE SUBDIVISION RECORDED ON AUGUST 29, 2008 AS ENTRY No. 10510247, IN BOOK 2008P, AT PAGE 216.

ALSO LESS AND EXCEPTING THAT PORTION LYING WITHIN THE PARCEL DESCRIBED IN A QUIT CLAIM DEED RECORDED ON MARCH 5, 2009 AS ENTRY No. 10639758, IN BOOK 9694, AT PAGE 3031.

(NOTE, PARCEL 7 WAS NOT USED IN THIS DESCRIPTION ON PURPOSE. THESE PARCEL NUMBERS ARE CONSISTENT WITH THE ALTA/NSPS LAND TITLE SURVEY PREPARED BY JTE ENGINEERING, PC AND LAYTON SURVEYS IN MARCH 2021)

## OWNERS DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT, THE UNDERSIGNED OWNER(S) CW THE MONROE, LLC, A UTAH LIMITED LIABILITY COMPANY, OF THE ABOVE DESCRIBED TRACT OF LAND TO BE HEREAFTER KNOWN AS

### THE MONROE TOWNHOMES

DOES HEREBY CERTIFY TO HAVE CAUSED THIS PLAT TO BE PREPARED AND DOES HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PUBLIC ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNER(S) ALSO HEREBY CONVEYS TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNER(S) ALSO HEREBY CONVEYS ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF THE OWNER(S) HAS/HAVE HEREUNTO SET OUT HANDS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NAME: DARLENE CARTER, ITS MANAGER

## NOTARY ACKNOWLEDGEMENT:

STATE OF \_\_\_\_\_ } S.S.  
COUNTY OF \_\_\_\_\_

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2022, BEFORE ME \_\_\_\_\_ A NOTARY PUBLIC, PERSONALLY APPEARED DARLENE CARTER THE MANAGER OF CW THE MONROE, LLC, PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION REGARDING THE MONROE TOWNHOMES AND WAS SIGNED BY HER ON BEHALF OF SAID CW THE MONROE, LLC, AND ACKNOWLEDGED THAT SHE EXECUTED THE SAME.

COMMISSION NUMBER \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_  
NOTARY PUBLIC COMMISSIONED IN \_\_\_\_\_

## LIEN HOLDER CONSENT:

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2022, \_\_\_\_\_ A UTAH \_\_\_\_\_ COMPANY ENTERED INTO A CONSTRUCTION DEED OF TRUST, SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND FIXTURE FILING ("DEED OF TRUST") WITH MCKINLEY REALTY PARTNERS, LLC, A \_\_\_\_\_ LIMITED LIABILITY COMPANY, WHICH DEED OF TRUST IS SECURED BY THE PROPERTY MORE PARTICULARLY DESCRIBED IN THE ABOVE IDENTIFIED DEED OF TRUST. SAID DEED OF TRUST WAS RECORDED ON \_\_\_\_\_, 202\_\_\_\_, ENTRY No. \_\_\_\_\_ IN BOOK \_\_\_\_\_ AT PAGE \_\_\_\_\_, IN THE OFFICIAL RECORDS OF THE SALT LAKE COUNTY RECORDER'S OFFICE.

MCKINLEY REALTY PARTNERS, LLC, A \_\_\_\_\_ LIMITED LIABILITY COMPANY, IS FULLY AWARE THAT CW THE MONROE, LLC, A UTAH LIMITED LIABILITY COMPANY, IS IN THE PROCESS OF RECORDING A PLAT CREATING A PROJECT KNOWN AS THE MONROE TOWNHOMES, AND MCKINLEY REALTY PARTNERS, LLC, A \_\_\_\_\_ LIMITED LIABILITY COMPANY, HEREBY CONSENTS TO THE RECORDING OF THE PLAT FOR ALL PURPOSES SHOWN THEREON.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022.

MCKINLEY REALTY PARTNERS, LLC  
A \_\_\_\_\_ LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

ITS: \_\_\_\_\_

## NOTARY ACKNOWLEDGEMENT:

STATE OF UTAH } S.S.  
COUNTY OF \_\_\_\_\_

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2022, BEFORE ME \_\_\_\_\_ A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ THE AUTHORIZED AGENT OF MCKINLEY REALTY PARTNERS, LLC, A \_\_\_\_\_ LIMITED LIABILITY COMPANY, PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THE FOREGOING LIEN HOLDER CONSENT REGARDING THE MONROE TOWNHOMES AND WAS SIGNED BY HIM/HER ON BEHALF OF SAID MCKINLEY REALTY PARTNERS, LLC, A \_\_\_\_\_ LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THAT HE/SHE EXECUTED THE SAME.

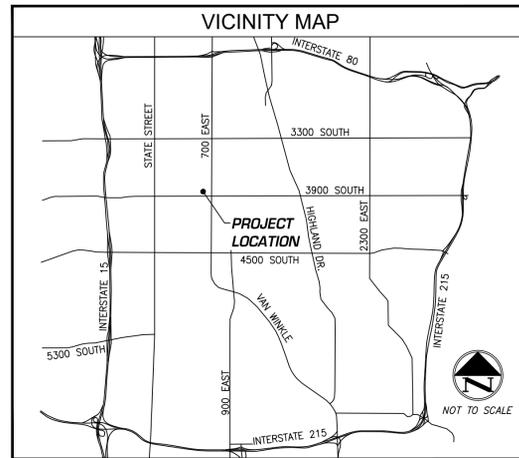
COMMISSION NUMBER \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_  
NOTARY PUBLIC COMMISSIONED IN UTAH \_\_\_\_\_

## ADDRESS TABLE

LOT/UNIT	ADDRESS	LOT/UNIT	ADDRESS	LOT/UNIT	ADDRESS
1	561 E. DOLORES COVE	20	599 E. BETSEY COVE	39	589 E. SAVVY COVE
2	563 E. DOLORES COVE	21	603 E. BETSEY COVE	40	593 E. SAVVY COVE
3	567 E. DOLORES COVE	22	602 E. BETSEY COVE	41	597 E. SAVVY COVE
4	569 E. DOLORES COVE	23	598 E. BETSEY COVE	42	599 E. SAVVY COVE
5	571 E. DOLORES COVE	24	596 E. BETSEY COVE	43	601 E. SAVVY COVE
6	573 E. DOLORES COVE	25	594 E. BETSEY COVE	44	602 E. SAVVY COVE
7	577 E. DOLORES COVE	26	592 E. BETSEY COVE	45	598 E. SAVVY COVE
8	579 E. DOLORES COVE	27	588 E. BETSEY COVE	46	596 E. SAVVY COVE
9	578 E. DOLORES COVE	28	623 E. ELEANOR COVE	47	592 E. SAVVY COVE
10	576 E. DOLORES COVE	29	619 E. ELEANOR COVE	48	588 E. SAVVY COVE
11	572 E. DOLORES COVE	30	617 E. ELEANOR COVE	49	586 E. SAVVY COVE
12	568 E. DOLORES COVE	31	613 E. ELEANOR COVE	50	619 E. RITA PLACE
13	566 E. DOLORES COVE	32	611 E. ELEANOR COVE	51	617 E. RITA PLACE
14	564 E. DOLORES COVE	33	612 E. ELEANOR COVE	52	613 E. RITA PLACE
15	562 E. DOLORES COVE	34	614 E. ELEANOR COVE	53	611 E. RITA PLACE
16	589 E. BETSEY COVE	35	618 E. ELEANOR COVE	54	609 E. RITA PLACE
17	591 E. BETSEY COVE	36	622 E. ELEANOR COVE	55	603 E. RITA PLACE
18	593 E. BETSEY COVE	37	624 E. ELEANOR COVE	56	601 E. RITA PLACE
19	597 E. BETSEY COVE	38	587 E. SAVVY COVE		



## ROCKY MOUNTAIN POWER NOTES:

- PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. § 17-28A-603(4)(C)(I) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE RUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
  - A RECORDED EASEMENT OR RIGHT-OF-WAY
  - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
  - TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
  - ANY OTHER PROVISION OF LAW.

LUMEN	RECORD OF SURVEY
APPROVED THIS ____ DAY OF _____, 20____.	RECORD OF SURVEY NO. _____
LUMEN	COUNTY SURVEYOR _____ DATE _____

DOMINION ENERGY UTAH
QUESTAR GAS COMPANY, DBA DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.
QUESTAR GAS COMPANY dba DOMINION ENERGY UTAH
APPROVED THIS ____ DAY OF _____, 20____.
BY: _____
TITLE: _____

ROCKY MOUNTAIN POWER
APPROVED THIS ____ DAY OF _____, 20____ BY ROCKY MOUNTAIN POWER.
ROCKY MOUNTAIN POWER
JORDAN VALLEY WATER CONSERVANCY DISTRICT
APPROVED THIS ____ DAY OF _____, 20____.
JORDAN VALLEY WATER CONSERVANCY DISTRICT

PLANNING COMMISSION
APPROVED AS TO FORM THIS ____ DAY OF _____, A.D. 20____.
PLANNING COMMISSION APPROVAL
MOUNT OLYMPUS IMPROVEMENT DISTRICT
APPROVED THIS ____ DAY OF _____, 20____.
MT. OLYMPUS IMPROVEMENT DISTRICT

SALT LAKE COUNTY HEALTH DEPT
APPROVED THIS ____ DAY OF _____, 20____.
SALT LAKE COUNTY HEALTH DEPT.
SOUTH SALT LAKE COMMUNITY DEVELOPMENT
APPROVED AS TO FORM THIS ____ DAY OF _____, A.D. 20____.
COMMUNITY DEVELOPMENT DIRECTOR

SOUTH SALT LAKE FIRE MARSHAL
APPROVED AS TO FORM THIS ____ DAY OF _____, A.D. 20____.
SOUTH SALT LAKE FIRE MARSHAL
APPROVAL AS TO FORM
APPROVED AS TO FORM THIS ____ DAY OF _____, A.D. 20____.
SOUTH SALT LAKE CITY ATTORNEY

SOUTH SALT LAKE CITY ENGINEER
APPROVED THIS ____ DAY OF _____, 20____.
SOUTH SALT LAKE CITY ENGINEER
SOUTH SALT LAKE CITY APPROVAL
APPROVED AS TO FORM THIS ____ DAY OF _____, A.D. 20____.
MAYOR _____
ATTEST: RECORDER _____

<h1>THE MONROE TOWNHOMES</h1>
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH
SALT LAKE COUNTY RECORDER
RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____ PAGE _____
1 of 2
DEPUTY SALT LAKE COUNTY RECORDER

# THE MONROE TOWNHOMES

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31,  
TOWNSHIP 1 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN,  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH  
JUNE 2023

## LEGEND & ABBREVIATIONS:

	SECTION MONUMENT
	BOUNDARY LINE
	SECTION LINE
	RIGHT-OF-WAY LINE
	UNIT LOT LINE
	EXISTING PARCEL LINE
	EASEMENT LINE
	BOUNDARY SEGMENT MARKER
	RIGHT-OF-WAY
	TYPICAL
	MONUMENT
	EASEMENT
	20' WIDE EASEMENT DEDICATED TO THE BIG DITCH IRRIGATION COMPANY
	COMMON AREA, U.N.O.
	PRIVATE AREA

## CURVE DATA

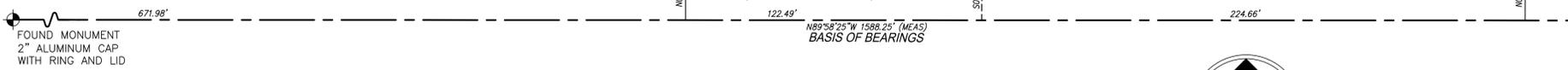
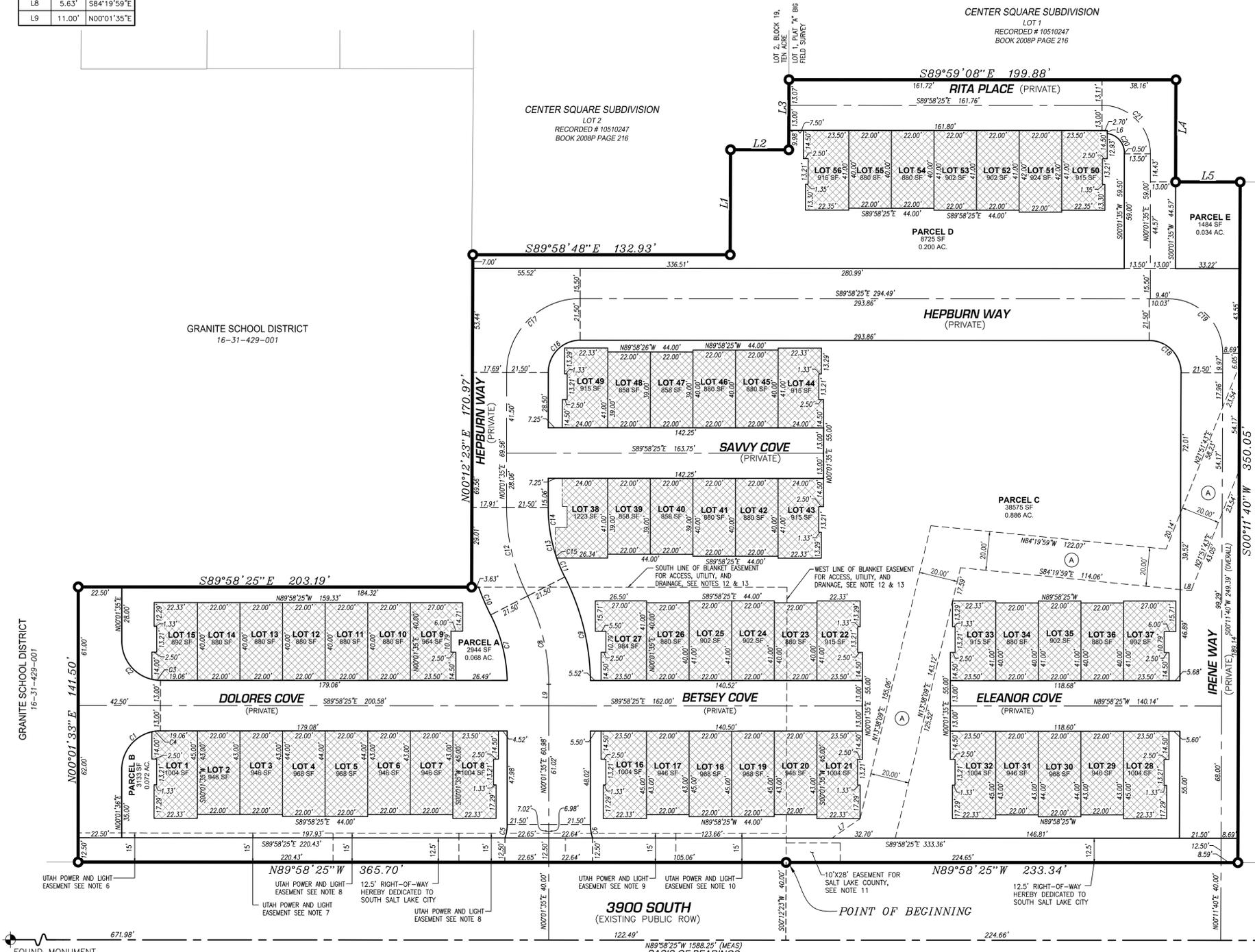
SEGMENT	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	26.94	20.00	77°11'12"	15.96	24.95	S38°37'12"W
C2	26.94	20.00	77°11'14"	15.96	24.95	S38°34'02"E
C3	4.47	20.00	12°48'46"	2.25	4.46	S83°34'02"E
C4	4.47	20.00	12°48'47"	2.25	4.46	S83°37'12"W
C5	7.14	22.00	18°35'43"	3.60	7.11	N9°19'29"E
C6	7.10	22.00	18°29'24"	3.58	7.07	S9°13'07"E
C7	35.04	78.50	25°34'33"	17.82	34.75	N14°13'17"W
C8	47.19	100.00	27°02'08"	24.04	46.75	N13°29'29"W
C9	55.33	121.50	26°05'33"	28.15	54.85	N13°57'47"W
C10	15.61	121.50	72°1'35"	7.81	15.60	S23°19'46"E
C11	10.60	78.50	7°44'21"	5.31	10.60	S23°08'23"E
C12	47.19	100.00	27°02'08"	24.04	46.75	S13°29'29"E
C13	37.04	78.50	27°02'08"	18.87	36.70	S13°29'29"E
C14	24.36	78.50	17°46'51"	12.28	24.26	S8°51'50"E
C15	2.08	78.50	1°30'57"	1.04	2.08	S18°30'44"E
C16	25.92	16.50	90°00'00"	16.50	23.33	S45°01'35"W
C17	59.69	38.00	90°00'00"	38.00	53.74	S45°01'35"W
C18	25.97	16.50	90°10'05"	16.55	23.37	N44°53'22"W
C19	44.06	28.00	90°10'05"	28.08	39.66	N44°53'22"W
C20	14.51	10.00	83°07'24"	8.87	13.27	N41°32'07"W
C21	39.27	25.00	90°00'00"	25.00	35.36	S44°58'25"E

## LINE TABLE

LINE	LENGTH	DIRECTION
L1	54.00'	N00°12'24"E
L2	30.06'	S89°59'03"E
L3	36.05'	N00°12'23"E
L4	52.54'	S00°12'11"W
L5	33.35'	S89°59'06"E
L6	1.57'	S00°01'35"W
L7	17.65'	N59°30'25"E
L8	5.63'	S84°19'59"E
L9	11.00'	N00°01'35"E

### NOTES:

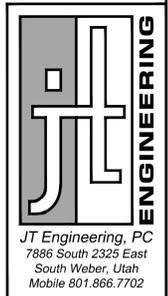
- ALL PROPERTIES ARE SUBJECT TO THE RULES AND REGULATIONS AS SET FORTH IN THE CC&R'S FOR THIS PROJECT. SAID CC&R'S WERE RECORDED IN BOOK 2008P PAGE 216 AS ENTRY No. 10510247 IN BOOK 2008P PAGE 216 OF OFFICIAL RECORDS.
- ALL COMMON AREAS, PARCEL A, B, C, D, E, AND PRIVATE ROADWAYS TO SERVE AS PUBLIC UTILITY AND DRAINAGE EASEMENTS AND TO BE OWNED AND MAINTAINED BY THE MONROE TOWNHOMES HOME OWNER'S ASSOCIATION.
- HOA SHALL MAINTAIN ALL UTILITIES INSTALLED AND MAINTAINED FOR THE BENEFIT OF THE OWNERS COLLECTIVELY, INCLUDING UTILITY LINES SERVING MORE THAN A SINGLE LIVING UNIT. INDIVIDUAL OWNERS SHALL MAINTAIN ALL UTILITY LINES THAT SERVICE ONLY THEIR SINGLE LIVING UNIT.
- OWNER HEREBY CONVEYS TO SOUTH SALT LAKE CITY AND ITS AGENTS A NON-EXCLUSIVE PERPETUAL EASEMENT OVER, ON AND IN PARCELS A, B, C, COMMON AREAS, AND PRIVATE ROADWAYS FOR THE PURPOSE OF ACCESS TO THE PRIVATE STORMWATER MANAGEMENT SYSTEM(S) FOR THE MANAGEMENT, INSPECTION, MAINTENANCE AND REPAIR THEREOF.
- BOUNDARY CORNERS WILL BE SET WITH A REBAR AND CAP. WHERE THE BOUNDARY CORNER LIES IN CONCRETE OR ASPHALT, A NAIL WILL BE SET.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON OCTOBER 25, 2002 AS ENTRY No. 8397668 IN BOOK 8671, AT PAGE 6674, OF OFFICIAL RECORDS.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON OCTOBER 25, 2002 AS ENTRY No. 8397663 IN BOOK 8671, AT PAGE 6659, OF OFFICIAL RECORDS.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON AUGUST 26, 2003 AS ENTRY No. 8789729 IN BOOK 8869, AT PAGE 8498, OF OFFICIAL RECORDS.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON APRIL 2, 2003 AS ENTRY No. 8594842 IN BOOK 8770, AT PAGE 1093, OF OFFICIAL RECORDS.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON DECEMBER 19, 2002 AS ENTRY No. 8466578 IN BOOK 8706, AT PAGE 4229, OF OFFICIAL RECORDS.
- THERE IS AN EXISTING 28' X 10' EASEMENT, AS SHOWN HEREON, FOR THE PURPOSE OF A BOX CULVERT IN FAVOR OF SALT LAKE COUNTY. FIVE (5) DOCUMENTS WERE RECORDED FOR THIS EASEMENT AS FOLLOWS:
  - ENTRY No. 2821379, BOOK 4223, PAGE 8, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821381, BOOK 4223, PAGE 10, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821384, BOOK 4223, PAGE 13, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821387, BOOK 4223, PAGE 16, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821389, BOOK 4223, PAGE 18, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821393, BOOK 4223, PAGE 22, RECORDED ON JUNE 7, 1976.
- THIS PROPERTY IS SUBJECT TO THE TERMS AND CONDITIONS AS DESCRIBED IN THAT CERTAIN UTILITY AND DRAINAGE EASEMENT BETWEEN MEDICAL LEASING LIMITED, ZIONS FIRST NATIONAL BANK, HEALTH SOUTH SALT LAKE SURGICAL CENTER, AND CENTER SQUARE MEDICAL RECORDED ON MAY 12, 2005 AS ENTRY No. 9375372 IN BOOK 9130 AT PAGE 2898, OF OFFICIAL RECORDS. THIS IS A BLANKET EASEMENT THAT ENCUMBERS APPROXIMATELY THE NORTH HALF AND EAST HALF OF THE PROJECT AS SHOWN HEREON.
- THIS PROPERTY IS SUBJECT TO THE TERMS AND CONDITIONS AS DESCRIBED IN THAT CERTAIN PEDESTRIAN AND VEHICULAR INGRESS, EGRESS, AND TRAFFIC AND VEHICULAR PARKING EASEMENT BETWEEN MEDICAL LEASING LIMITED, ZIONS FIRST NATIONAL BANK, HEALTH SOUTH SALT LAKE SURGICAL CENTER, AND MEDWOOD, LC RECORDED ON AUGUST 2, 2002 AS ENTRY No. 8310547 IN BOOK 8629 AT PAGE 2329, OF OFFICIAL RECORDS. THIS IS A BLANKET EASEMENT THAT ENCUMBERS APPROXIMATELY THE NORTH HALF AND EAST HALF OF THE PROJECT AS SHOWN HEREON.



CENTER SQUARE SUBDIVISION  
LOT 1  
RECORDED # 10510247  
BOOK 2008P PAGE 216

CENTER SQUARE SUBDIVISION  
LOT 1  
RECORDED # 10510247  
BOOK 2008P PAGE 216

MEDICAL LEASING LTD.  
(PART OF LOT 1, PARCEL  
No. 16-31-429-025)



JT Engineering, PC  
7886 South 2325 East  
South Weber, Utah  
Mobile 801.866.7702

SALT LAKE COUNTY RECORDER

RECORDED # \_\_\_\_\_

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_

DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

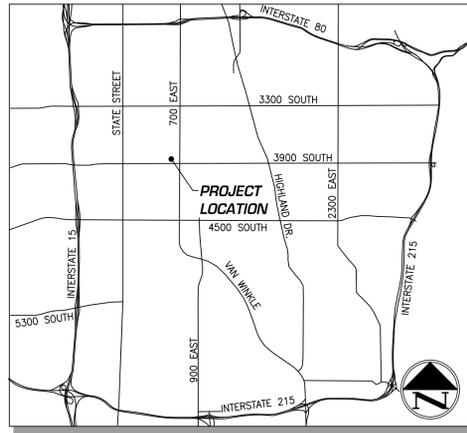
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DEPUTY SALT LAKE COUNTY RECORDER

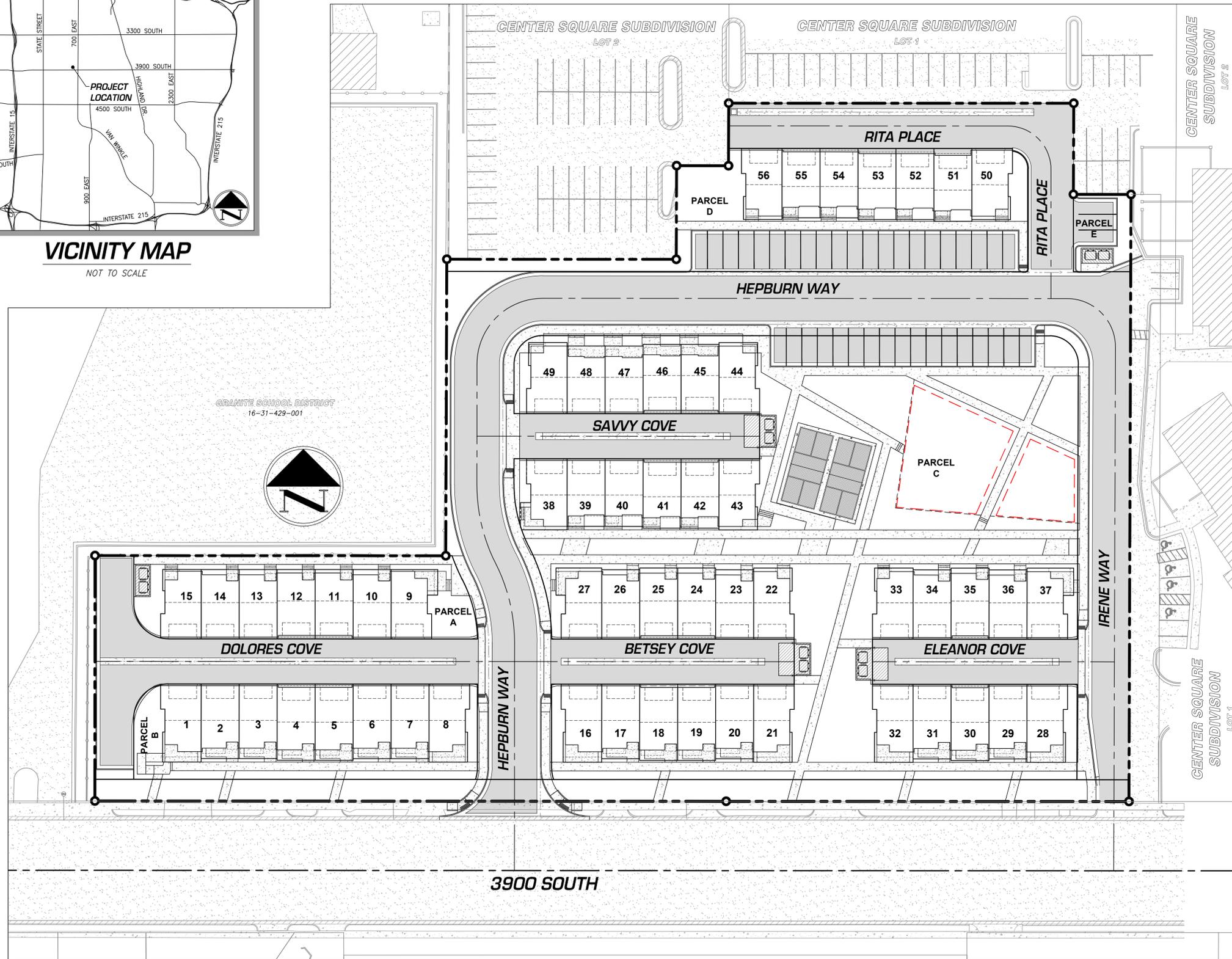
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of  
2

# THE MONROE

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31  
TOWNSHIP 1 SOUTH, RANGE 1 EAST  
SALT LAKE BASE & MERIDIAN  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH



**VICINITY MAP**  
NOT TO SCALE



## INDEX OF DRAWINGS

#	SHEET	SHEET TITLE
1	CV1	COVERSHEET
2	GN1	GENERAL NOTES
3	1 OF 3	ALTA/NSPS LAND TITLE SURVEY
4	2 OF 3	ALTA/NSPS LAND TITLE SURVEY
5	3 OF 3	ALTA/NSPS LAND TITLE SURVEY
6	1 OF 2	PRELIMINARY PLAT
7	2 OF 2	PRELIMINARY PLAT
8	2 OF 2	PRELIMINARY PLAT WITH SITE OVERLAY
9	DP1	DEMOLITION PLAN
10	SP1	SITE PLAN
11	UT1	UTILITY PLAN
12	GP-KEY	GRADING PLAN KEY SHEET
13	GP1	GRADING PLAN
14	GP2	GRADING PLAN
15	GP3	GRADING PLAN
16	GP4	GRADING PLAN
17	GP5	GRADING PLAN
18	GP6	GRADING PLAN
19	GP7	GRADING PLAN
20	CS1	CROSS SECTIONS
21	CS2	CROSS SECTION I
22	PP-KEY	PLAN AND PROFILE KEY SHEET
23	PP1	HEPBURN WAY
24	PP2	HEPBURN WAY
25	PP-3	IRENE WAY EDGE OF ASPHALT
26	PP4	DOLORES AND BETSEY COVE
27	PP5	BETSEY AND ELEANOR COVE
28	PP6	SAVVY COVE
29	PP7	IRENE WAY
30	PP8	36" STORM DRAIN
31	PP9	36" STORM DRAIN
32	PP10	PARCEL C DETENTION BASIN
33	EC1	EROSION CONTROL PLAN
34	EC2	EROSION CONTROL PLAN
35	DT1	PROJECT DETAILS
36	DT2	JVWCD WATER DETAILS
37	DT3	MOID SEWER DETAILS
38	DT4	STORMTECH DETAILS
39	DT5	STORMTECH DETAILS
40	DT6	STORMTECH DETAILS
41	DT7	STORMTECH DETAILS

### DEVELOPER

CW URBAN, LLC  
CONTACT: WALKER WOOD  
IAN CAHOON  
(866) 744-2489

### CIVIL ENGINEER

JT ENGINEERING, PC  
7886 SOUTH 2325 EAST  
SOUTH WEBER, UTAH 84405  
CONTACT: JASON THOMPSON  
(801) 866-7702

### PROJECT DATA

#### ACREAGE SUMMARY

LOTS:	1.193
PARCELS:	1.260
PRIVATE ROAD	1.357
PUBLIC R.O.W.	0.172
TOTAL AREA:	3.982

TOTAL UNITS: 56



JT Engineering, PC  
7886 South 2325 East  
South Weber, Utah 84405  
ph 801.866.7702

PRELIMINARY FOR REVIEW



#	DATE	BY	DESCRIPTION
1	07/07/23	JHT	ADDRESS CITY COMMENTS

THE MONROE TOWNHOMES  
**COVERSHEET**  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE:	ARCH D
H. SCALE:	1" = 30'
V. SCALE:	N/A
DATE:	SEPT. 30, 2022
© COPYRIGHT:	2022

SHEET NO.  
**CV1**  
1 of 41



LEGEND, SYMBOLS, AND ABBREVIATIONS

SECTION CORNER AS NOTED	12"SS	SANITARY SEWER PIPE (SIZE AS NOTED)	TYP	TYPICAL
1/4 CORNER AS NOTED	24"W	CULINARY WATER PIPE (SIZE AS NOTED)	ROW	RIGHT OF WAY
BOUNDARY CORNER, SET 5/8" RBC MARKED L5107078886 WHERE INDICATED	8"IRR	SECONDARY WATER PIPE (SIZE AS NOTED)	EX	EXISTING
BOUNDARY LINE	18"SD	STORM DRAIN PIPE (SIZE AS NOTED)	(R1)	SEE SURVEY'S REFERENCED IN GENERAL NOTE 4A
SECTION LINE	GAS	GAS PIPE (SIZE AS NOTED)	(R2)	SEE PLAT REFERENCED IN GENERAL NOTE 4B
PARCEL LINE (INTERIOR)	BE	BURIED ELECTRICAL (SIZE AS NOTED)	(MEAS)	MEASURED
PARCEL LINE (EXTERIOR)	OHP	OVERHEAD POWER	MON	MONUMENT
EX. MAJOR CONTOUR LINE	COMM	COMMUNICATION LINES	RBC	REBAR AND CAP
EX. MINOR CONTOUR LINE	FIRE HYDRANT	S.D. MANHOLE	S.S.	SANITARY SEWER
PRECAST FENCE	WATER METER	S.D. CURB INLET BOX	S.D.	STORM DRAIN
WOOD FENCE	IRRIGATION SERVICE	S.D. INLET BOX	[#]	EXCEPTION # FROM TITLE REPORT (SEE GENERAL NOTE 3)
VINYL FENCE	WATER VALVE	S.D. COMBINATION BOX		
CHAIN LINK FENCE	IRRIGATION VALVE	S.S. MANHOLE		
DITCH FLOWLINE	STREET LIGHT	S.S. LATERAL		
ASPHALT PAVEMENT	STREET MONUMENT	POWER POLE WITH STREET LIGHT		
CURB AND GUTTER	TREES/SHRUBS	APPROXIMATE EXTENT OF TREE COVER		
BUILDING				

VICINITY MAP



SURVEYORS NARRATIVE:

AT THE REQUEST OF CW URBAN, LLC, A SURVEY WAS PERFORMED IN CONFORMANCE WITH THE MINIMUM STANDARDS FOR AN ALTA/NSPS LAND TITLE SURVEY AND SATISFIES THE FOLLOWING TABLE "A" ALTA ITEMS (2, 4, 5, AND 13) AS DEFINED BY THE CLIENT AND AS INDICATED IN THE SURVEYOR'S CERTIFICATE, AND THE FINAL BOUNDARY DETERMINATION IS SUPPORTED BY THE FOLLOWING: A TITLE REPORT FURNISHED BY THE CLIENT (SEE GENERAL NOTE 1), ADJACENT SUBDIVISION AND SURVEYS FOR THE SUBJECT PROPERTY AND ADJACENT PROPERTIES (SEE GENERAL NOTE 4) WHICH BOUNDS THE SUBJECT PARCEL ON THE NORTH AND EAST SIDES OF THE SURVEY; EVIDENCE OF OCCUPATION, FOUND MONUMENTS, SUPPORTING LEGAL DOCUMENTS AND PREVIOUS SURVEYS WERE ALL TAKEN INTO CONSIDERATION WHEN FINALIZING THE OVERALL BOUNDARY OF THE SURVEY SHOWN HEREON.

BASIS OF BEARINGS:

THE BEARING NORTH 89°58'25" WEST ALONG THE MONUMENT LINE BETWEEN THE MONUMENT AT THE INTERSECTION OF 500 EAST AND 3900 SOUTH AND THE MONUMENT AT THE INTERSECTION OF 700 EAST AND 3900 SOUTH, AS MEASURED AND SHOWN HEREON, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

SURVEYOR'S CERTIFICATE:

1) CW URBAN, LLC  
2) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 5, AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 15, 2021.  
DATE OF MAP: APRIL 20, 2022  
WILLIS D. LONG  
LICENSE NO. 10708886

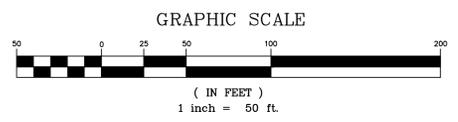


PROPERTY DESCRIPTION:

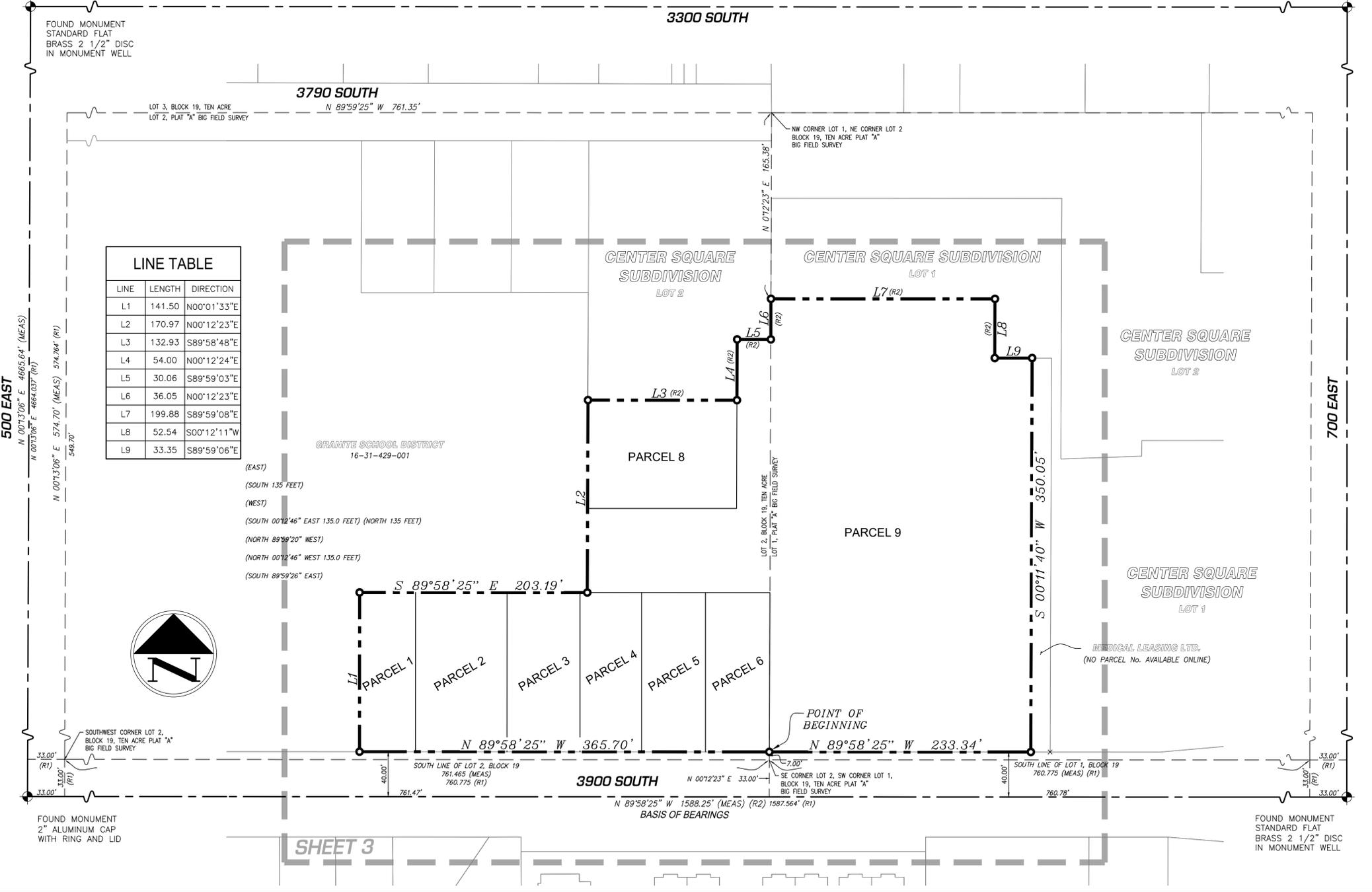
(AS SURVEYED, OVERALL BOUNDARY FOR PARCELS 1, 2, 3, 4, 5, 6, 8 & 9)

ALL OF THAT CERTAIN PROPERTY COMPRISED OF EIGHT (8) INDIVIDUAL PARCELS HEREAFTER TO BE KNOWN AS PARCELS 1, 2, 3, 4, 5, 6, 8, & 9 AND REFERENCED BY THE VESTING DOCUMENTS LISTED AT THE END OF THIS DESCRIPTION.

PARCELS 1 THROUGH 6, AND PARCEL 8 ARE LOCATED WITHIN LOT 2 OF BLOCK 19, TEN ACRE PLAT "A" BIG FIELD SURVEY, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. PARCEL 9 IS LOCATED WITHIN LOTS 1 AND 2 OF SAID BLOCK 19, THE EXTERIOR BOUNDARY FOR SAID PARCELS IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE MONUMENT LOCATED AT THE INTERSECTION OF 500 EAST AND 3900 SOUTH STREETS AND RUNNING THENCE, SOUTH 89°58'25" EAST, A DISTANCE OF 794.47 FEET; THENCE, NORTH 00°12'23" EAST, A DISTANCE OF 33.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1 OF BLOCK 19; THENCE, NORTH 00°12'23" EAST, A DISTANCE OF 7.00 FEET TO THE POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 3900 SOUTH STREET AND THE POINT OF BEGINNING FOR THIS DESCRIPTION; THENCE, NORTH 89°58'25" WEST, ALONG THE NORTHERLY SIDELINE OF SAID 3900 SOUTH STREET AND THE SOUTHERLY LINE OF PARCELS 1 THROUGH 6, A DISTANCE OF 365.70 FEET TO THE SOUTHWEST CORNER OF PARCEL 1; THENCE, NORTH 00°11'40" EAST, ALONG THE WEST LINE OF PARCEL 1, A DISTANCE OF 141.50 FEET TO THE NORTHWEST CORNER OF PARCEL 8 AND THE SOUTHWEST CORNER OF LOT 2 OF THE CENTER SQUARE SUBDIVISION RECORDED ON AUGUST 29, 2008 AS ENTRY NO. 10510247, IN BOOK 2008P AT PAGE 216, OF OFFICIAL RECORDS; THENCE, CONTINUING ALONG THE SOUTHERLY AND EASTERLY LINES OF SAID LOT 2, THE SOUTHERLY AND WESTERLY LINES OF LOT 1 OF SAID CENTER SQUARE SUBDIVISION, THE FOLLOWING 7 COURSES: (1) SOUTH 89°58'25" EAST, A DISTANCE OF 132.93 FEET; (2) NORTH 00°12'24" EAST, A DISTANCE OF 54.00 FEET; (3) SOUTH 89°59'03" EAST, A DISTANCE OF 30.06 FEET; (4) NORTH 00°12'23" EAST, A DISTANCE OF 36.05 FEET; (5) SOUTH 89°59'08" EAST, A DISTANCE OF 199.88 FEET; (6) SOUTH 00°12'11" WEST, A DISTANCE OF 52.54 FEET; (7) SOUTH 89°59'06" EAST, A DISTANCE OF 33.35 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL DESCRIBED IN A QUIT CLAIM DEED RECORDED AS ENTRY NO. 10639758, IN BOOK 9694, AT PAGE 3031, OF OFFICIAL RECORDS; THENCE, SOUTH 00°11'40" WEST, ALONG THE WEST LINE OF SAID PARCEL AND THE EAST LINE OF PARCEL 9, A DISTANCE OF 350.05 FEET TO THE NORTHERLY SIDELINE OF 3900 SOUTH STREET; THENCE NORTH 89°58'25" WEST, A DISTANCE OF 233.34 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 19, AND THE POINT OF BEGINNING.  
CONTAINS 3.981 ACRES, MORE OR LESS  
TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS, EGRESS AND TRAFFIC AND VEHICULAR PARKING AS DISCLOSED BY THAT CERTAIN CROSS EASEMENT AGREEMENT RECORDED AUGUST 2, 2002 AS ENTRY NO. 831054 7 IN BOOK 8628 AT PAGE 2329 OF OFFICIAL RECORDS.  
ALSO TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR ALL UTILITIES AND DRAINAGE SYSTEMS AS DISCLOSED AGREEMENT RECORDED MAY 12, 2005 AS ENTRY NO. 9375372 IN BOOK 9130 AT PAGE 2898 OF OFFICIAL RECORDS.  
THE PARCELS INCLUDED IN THE DESCRIPTION ABOVE ARE DESCRIBED IN THE VESTING DOCUMENTS LISTED BELOW, PROVIDED BY OLD REPUBLIC TITLE, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER.  
PARCEL 1, WARRANTY DEED RECORDED ON JANUARY 30, 2015 AS ENTRY NO. 11985338, IN BOOK 1029, AT PAGE 7392. PARCEL 2, WARRANTY DEED RECORDED ON APRIL 1, 2005 AS ENTRY NO. 9338477, IN BOOK 9113, AT PAGE 2886. PARCEL 3, WARRANTY DEED RECORDED ON MARCH 13, 1997 AS ENTRY NO. 6593293, IN BOOK 7618, AT PAGE 1111. PARCEL 4, WARRANTY DEED RECORDED ON FEBRUARY 13, 1979 AS ENTRY NO. 3236156, IN BOOK 4813, AT PAGE 268. PARCEL 5, WARRANTY DEED RECORDED ON OCTOBER 23, 2006 AS ENTRY NO. 9884995, IN BOOK 9369, AT PAGE 5094. PARCEL 6, WARRANTY DEED RECORDED ON APRIL 1, 2005 AS ENTRY NO. 9338451, IN BOOK 9113, AT PAGE 2503.  
PARCEL 8, WARRANTY DEED RECORDED ON JANUARY 27, 1994 AS ENTRY NO. 5724647, IN BOOK 6860, AT PAGE 1786.  
LESS AND EXCEPTING THAT PORTION LYING WITH THE CENTER SQUARE SUBDIVISION RECORDED ON AUGUST 29, 2008 AS ENTRY NO. 10510247, IN BOOK 2008P, AT PAGE 216.  
PARCEL 9, WARRANTY DEED RECORDED ON JANUARY 27, 1994 AS ENTRY NO. 5724646, IN BOOK 6860, AT PAGE 1783.  
LESS AND EXCEPTING THAT PORTION LYING WITH THE CENTER SQUARE SUBDIVISION RECORDED ON AUGUST 29, 2008 AS ENTRY NO. 10510247, IN BOOK 2008P, AT PAGE 216.  
ALSO LESS AND EXCEPTING THAT PORTION LYING WITHIN THE PARCEL DESCRIBED IN A QUIT CLAIM DEED RECORDED ON MARCH 5, 2009 AS ENTRY NO. 10639758, IN BOOK 9694, AT PAGE 3031.  
(NOTE: PARCEL 7 WAS NOT USED IN THIS DESCRIPTION ON PURPOSE. THESE PARCEL NUMBERS ARE CONSISTENT WITH THE ALTA/NSPS LAND TITLE SURVEY PREPARED BY JTE ENGINEERING, PC AND LAYTON SURVEYS IN MARCH 2021)



BASIS OF BEARINGS / SECTION DETAIL & KEY MAP



**JTE ENGINEERING**  
JTE Engineering, PC  
7886 South 2325 East  
South Weber, Utah 84405  
ph 801.866.7702  
jason@jteengpc.com

#	DATE	DESCRIPTION
1	3/17/21	RELEASED TO CLIENT
2	7/20/21	ADD EXISTING GAS LINES
3	4/09/22	SEE GENERAL NOTE 1 ON SHEET 2

**MEDICAL LEASING LTD. PROPERTY**  
ALTA/NSPS LAND TITLE SURVEY  
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31,  
TOWNSHIP 1 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN,  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D
SCALE: 1" = 50'
DRAWN BY: JHT
CHECKED BY: WDL
PROJECT NO: 210205

SHEET NO.  
**1 OF 3**



GENERAL NOTES:

- 1) THIS SURVEY IS BASED UPON THE FILE NO. 21536770M, DATED JANUARY 19, 2021 PREPARED AND ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
2) DOCUMENTS OF ADJOINING PROPERTIES OR OTHER DOCUMENTS NOT FURNISHED WITH THE REFERENCED TITLE REPORTS HAVE NOT BEEN USED IN THE PERFORMANCE OF THIS SURVEY. THEREFORE, ISSUES THAT MAY EXIST REGARDING GAPS OR OVERLAPS OF DESCRIPTIONS AND QUESTIONS AS TO UNDERLYING FEE OWNERSHIP, JUNIOR AND SENIOR RIGHTS OF OWNERSHIP PERTAINING TO ADJOINING PROPERTIES, ARE NOT ADDRESSED ON OR BY THIS MAP. THE INFLUENCE OF OTHER DOCUMENTS COULD RESULT IN THE VARIANCE OF PROPERTY LINES AS SHOWN HEREON.
3) NOTES PERTAINING TO EXCEPTIONS TO COVERAGE OF REFERENCED COMMITMENTS FOR TITLE INSURANCE, SCHEDULE B, PART II:
ITEMS 1-4 NOT ADDRESSED BY THIS SURVEY
ITEM 5 IT IS THE INTENT OF THIS SURVEY TO REPRESENT A CORRECT SURVEY
ITEMS 6-20 NOT ADDRESSED BY THIS SURVEY
ITEM 21 IN FAVOR OF: MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY
PURPOSE: A RIGHT OF WAY AND EASEMENT TO CONSTRUCT, RECONSTRUCT, OPERATE, MAINTAIN AND REPAIR ITS UNDERGROUND TELEPHONE AND TELEGRAPH CABLES.
RECORDED: AUGUST 26, 1983; ENTRY No. 1942036 (ALSO HANDWRITTEN AS 1924036); IN BOOK 2091, AT PAGE 175
SURVEYOR'S NOTE: APPEARS TO AFFECTS PARCEL 1, AS SHOWN HEREON
ITEM 22 IN FAVOR OF: MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY
PURPOSE: A RIGHT OF WAY AND EASEMENT AND RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, AND REMOVE SUCH COMMUNICATION AND OTHER FACILITIES AS MAY BE REQUIRED.
RECORDED: FEBRUARY 11, 1976; ENTRY No. 2784776; IN BOOK 4102, AT PAGE 63
SURVEYOR'S NOTE: APPEARS TO AFFECTS PARCEL 9, AS SHOWN HEREON.
ITEM 23 IN FAVOR OF: SALT LAKE COUNTY
PURPOSE: A PERPETUAL EASEMENT TO CONSTRUCT A BOX CULVERT.
RECORDED: JUNE 7, 1976; ENTRY No. 2821379; IN BOOK 4223, AT PAGE 8
SURVEYOR'S NOTE: APPEARS TO AFFECTS PARCEL 9, AS SHOWN HEREON.
ITEM 24 IN FAVOR OF: SALT LAKE COUNTY
PURPOSE: A PERPETUAL EASEMENT TO CONSTRUCT A BOX CULVERT.
RECORDED: JUNE 7, 1976; ENTRY No. 2821381; IN BOOK 4223, AT PAGE 10
SURVEYOR'S NOTE: APPEARS TO BE THE SAME EASEMENT AS DESCRIBED IN EXCEPTION 23 AND APPEARS TO AFFECT PARCEL 9, AS SHOWN HEREON.
ITEM 25 IN FAVOR OF: SALT LAKE COUNTY
PURPOSE: A PERPETUAL EASEMENT TO CONSTRUCT A BOX CULVERT.
RECORDED: JUNE 7, 1976; ENTRY No. 2821384; IN BOOK 4223, AT PAGE 13
SURVEYOR'S NOTE: APPEARS TO BE THE SAME EASEMENT AS DESCRIBED IN EXCEPTION 23 AND APPEARS TO AFFECT PARCEL 9, AS SHOWN HEREON.
ITEM 26 IN FAVOR OF: SALT LAKE COUNTY
PURPOSE: A PERPETUAL EASEMENT TO CONSTRUCT A BOX CULVERT.
RECORDED: JUNE 7, 1976; ENTRY No. 2821387; IN BOOK 4223, AT PAGE 16
SURVEYOR'S NOTE: APPEARS TO BE THE SAME EASEMENT AS DESCRIBED IN EXCEPTION 23 AND APPEARS TO AFFECT PARCEL 9, AS SHOWN HEREON.
ITEM 27 IN FAVOR OF: SALT LAKE COUNTY
PURPOSE: A PERPETUAL EASEMENT TO CONSTRUCT A BOX CULVERT.
RECORDED: JUNE 7, 1976; ENTRY No. 2821389; IN BOOK 4223, AT PAGE 18
SURVEYOR'S NOTE: APPEARS TO BE THE SAME EASEMENT AS DESCRIBED IN EXCEPTION 23 AND APPEARS TO AFFECT PARCEL 9, AS SHOWN HEREON.
ITEM 28 IN FAVOR OF: SALT LAKE COUNTY
PURPOSE: A PERPETUAL EASEMENT TO CONSTRUCT A BOX CULVERT.
RECORDED: JUNE 7, 1976; ENTRY No. 2821393; IN BOOK 4223, AT PAGE 22
SURVEYOR'S NOTE: APPEARS TO BE THE SAME EASEMENT AS DESCRIBED IN EXCEPTION 23 AND APPEARS TO AFFECT PARCEL 9, AS SHOWN HEREON.
ITEM 29 BETWEEN: MEDICAL LEASING LIMITED, ZIONS FIRST NATIONAL BANK, HEALTH SOUTH SALT LAKE SURGICAL CENTER, AND MEDWOOD, L.C.
PURPOSE: A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS, EGRESS, AND TRAFFIC AND VEHICULAR PARKING.
RECORDED: AUGUST 2, 2002; ENTRY No. 8310547; IN BOOK 8628, AT PAGE 2329
SURVEYOR'S NOTE: BLANKET EASEMENT, APPEARS TO AFFECT PARCELS 8 & 9
ITEM 30 IN FAVOR OF: UTAH POWER AND LIGHT COMPANY
PURPOSE: AN OVERHANG EASEMENT FOR THE CONSTRUCTION, RECONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, ENLARGEMENT, AND REMOVAL OF ELECTRICAL POWER LINES, TRANSMISSION, DISTRIBUTION AND COMMUNICATION LINES.
RECORDED: OCTOBER 25, 2002; ENTRY No. 8397663; IN BOOK 8671, AT PAGE 6659
SURVEYOR'S NOTE: APPEARS TO AFFECT THE SOUTH 15 FEET OF PARCEL 2, AS SHOWN HEREON.
ITEM 31 IN FAVOR OF: UTAH POWER AND LIGHT COMPANY
PURPOSE: AN OVERHANG EASEMENT FOR THE CONSTRUCTION, RECONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, ENLARGEMENT, AND REMOVAL OF ELECTRICAL POWER LINES, TRANSMISSION, DISTRIBUTION AND COMMUNICATION LINES.
RECORDED: OCTOBER 25, 2002; ENTRY No. 8397668; IN BOOK 8671, AT PAGE 6674
SURVEYOR'S NOTE: APPEARS TO AFFECT THE SOUTH 15 FEET OF PARCEL 1, AS SHOWN HEREON.
ITEM 32 IN FAVOR OF: UTAH POWER AND LIGHT COMPANY
PURPOSE: AN OVERHANG EASEMENT FOR THE CONSTRUCTION, RECONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, ENLARGEMENT, AND REMOVAL OF ELECTRICAL POWER LINES, TRANSMISSION, DISTRIBUTION AND COMMUNICATION LINES.
RECORDED: APRIL 2, 2003; ENTRY No. 8594842; IN BOOK 8770, AT PAGE 1093
SURVEYOR'S NOTE: APPEARS TO AFFECT THE SOUTH 15 FEET OF PARCEL 5, AS SHOWN HEREON.
ITEM 34 IN FAVOR OF: UTAH POWER AND LIGHT COMPANY
PURPOSE: AN OVERHANG EASEMENT FOR THE CONSTRUCTION, RECONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, ENLARGEMENT, AND REMOVAL OF ELECTRICAL POWER LINES, TRANSMISSION, DISTRIBUTION AND COMMUNICATION LINES.
RECORDED: AUGUST 26, 2003; ENTRY No. 8789729; IN BOOK 8869, AT PAGE 8498
SURVEYOR'S NOTE: APPEARS TO AFFECT THE SOUTH 15 FEET OF PARCELS 3 & 4, AS SHOWN HEREON.
ITEM 35 BETWEEN: MEDICAL LEASING LIMITED, ZIONS FIRST NATIONAL BANK, HEALTH SOUTH SALT LAKE SURGICAL CENTER, AND CENTER SQUARE MEDICAL, LTD.
PURPOSE: A NON-EXCLUSIVE EASEMENT FOR EXISTING AND FUTURE UTILITIES AND DRAINAGE SYSTEMS.
RECORDED: MAY 12, 2005; ENTRY No. 9375372; IN BOOK 9130, AT PAGE 2898
SURVEYOR'S NOTE: BLANKET EASEMENT, AFFECTS PARCELS 8 & 9
ITEM 36 NOT WITHSTANDING THOSE ITEMS DESCRIBED HEREIN ABOVE, THE LAND IS ALSO SUBJECT TO AND ADDITIONAL DISCREPANCIES OR CONFLICTS IN THE BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH AN A.L.T.A. SURVEY (MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS"), MAY DISCLOSE.
ITEMS 37-38 NOT ADDRESSED BY THIS SURVEY
4) DOCUMENTS FURNISHED AND UTILIZED IN THE PERFORMANCE OF THIS SURVEY, NOT LISTED ABOVE OR IN THE AS-SURVEYED DESCRIPTIONS, ARE AS FOLLOWS:
A. BLOCKS 19, 20, 10 - ACRE PLAT "A", AREA REFERENCE PLAT, PREPARED BY THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR, DATE CONVERTED: 11/12/92, REVISION 13, 8-8-08.
B. CENTER SQUARE SUBDIVISION RECORDED AUGUST 29, 2008, AS ENTRY No. 10510247 IN BOOK 2008P, AT PAGE 216, OF OFFICIAL RECORDS.
C. RECORD OF SURVEY DATED SEPTEMBER 30, 2008, SIGNED AND CERTIFIED BY RICHARD W. MILLER, MILLER ASSOCIATES, INC, FILED AT THE SALT LAKE COUNTY SURVEYOR'S OFFICE AS FILE NUMBER S2008-01-0059
D. RECORD OF SURVEY DATED SEPTEMBER 20, 2012, SIGNED AND CERTIFIED BY ROBERT R. HERMADSON OF BUSH & GUDCELL, INC., FILED AT THE SALT LAKE COUNTY SURVEYOR'S OFFICE AS FILE NUMBER S2013-06-0227.
E. RECORD OF SURVEY DATED JUNE 27, 2001, SIGNED AND CERTIFIED BY MICHAEL D. HOFFMAN, MCNEIL ENGINEERING AND LAND SURVEYING, LC, FILED AT THE SALT LAKE COUNTY SURVEYOR'S OFFICE AS FILE NUMBER S01-08-0552.
5) SUBJECT PROPERTY IS LOCATED AT 547 EAST 3900 SOUTH, SOUTH SALT LAKE, UTAH 84107 AS PROVIDED IN THE COMMITMENT FOR TITLE INSURANCE
6) EXISTING GAS LINES SHOWN ARE BASED ON MAPS PROVIDED BY DOMINION ENERGY.
7) AT THE REQUEST OF THE CLIENT, CW URBAN, LLC, PARCELS 7 AND 10 WERE REMOVED FROM THIS SURVEY AS PART OF DELTA REVISION No. 2. THESE PARCELS HAVE BEEN SOLD AND ARE NO LONGER OWNED BY CLIENT AND ARE NOT A PART OF THEIR PROPOSED DEVELOPMENT.

PROPERTY DESCRIPTION:

(AS DESCRIBED IN THE COMMITMENT FOR TITLE INSURANCE)
PARCEL 1:
BEGINNING 315.7 FEET WEST AND 7 FEET NORTH FROM THE SOUTHEAST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; AND RUNNING THENCE WEST 50 FEET; THENCE NORTH 141.5 FEET; THENCE EAST 50 FEET; THENCE SOUTH 141.5 FEET TO THE POINT OF BEGINNING.
PARCEL 2:
BEGINNING 234 FEET WEST FROM THE SOUTHEAST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; THENCE WEST 81.7 FEET; THENCE NORTH 148.5 FEET; THENCE EAST 81.7 FEET; THENCE SOUTH 148.5 FEET TO THE POINT OF BEGINNING.
LESS AND EXCEPTING THEREFROM THAT PORTION OF THE SUBJECT PROPERTY AS DISCLOSED BY THAT CERTAIN WARRANTY DEED RECORDED MARCH 3, 1976 AS ENTRY No. 2791143 IN BOOK 4124 AT PAGE 29, BEING DESCRIBED AS FOLLOWS:
A PARCEL OF LAND IN FEE FOR HIGHWAY PURPOSES KNOWN AS PROJECT NO. CR-220(2) BEING PART OF AN ENTIRE TRACT OF PROPERTY IN LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, THE BOUNDARIES OF SAID PARCEL OF LAND ARE DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT 234 FEET WEST FROM THE SOUTHEAST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; AND RUNNING THENCE WEST 81.7 FEET; THENCE NORTH 7.0 FEET; THENCE EAST 81.7 FEET; THENCE SOUTH 7.0 FEET TO THE POINT OF BEGINNING.
PARCEL 3:
COMMENCING 525 FEET EAST OF THE SOUTHWEST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; THENCE NORTH 148.5 FEET; THENCE EAST 15 FEET; THENCE SOUTH 148.5 FEET; THENCE WEST 15 FEET TO BEGINNING.
ALSO:
COMMENCING 540 FEET EAST OF THE SOUTHWEST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; THENCE NORTH 148.5 FEET; THENCE EAST 50 FEET; THENCE SOUTH 148.5 FEET; THENCE WEST 50 FEET TO THE POINT OF BEGINNING.
LESS AND EXCEPTING THEREFROM THAT PORTION OF THE SUBJECT PROPERTY AS DISCLOSED BY THAT CERTAIN WARRANTY DEED RECORDED SEPTEMBER 26, 1975 AS ENTRY No. 2746132 IN BOOK 3981 AT PAGE 266 AND BY THAT CERTAIN QUIET CLAIM DEED RECORDED SEPTEMBER 26, 1975 AS ENTRY No. 2746133 IN BOOK 3981 AT PAGE 267, BEING DESCRIBED AS FOLLOWS:
A PARCEL OF LAND IN FEE FOR HIGHWAY PURPOSES KNOWN AS PROJECT NO. CR-220(2) BEING PART OF AN ENTIRE TRACT OF PROPERTY IN LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, THE BOUNDARIES OF SAID PARCEL ARE DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT 525 FEET EAST FROM THE SOUTHWEST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY AND RUNNING THENCE EAST 85 FEET; THENCE NORTH 7.0 FEET; THENCE WEST 65 FEET; THENCE SOUTH 7.0 FEET TO THE POINT OF BEGINNING.
PARCEL 4:
BEGINNING AT A POINT ON THE NORTH LINE OF 3900 SOUTH STREET 590 FEET EAST AND 7 FEET NORTH FROM THE SOUTHWEST CORNER OF SAID LOT 2, BLOCK 19 TEN ACRE PLAT "A", BIG FIELD SURVEY; THENCE NORTH 141.5 FEET; THENCE EAST 55 FEET; THENCE SOUTH 141.5 FEET; THENCE WEST 55 FEET TO BEGINNING.
PARCEL 5:
BEGINNING AT A POINT WHICH IS WEST 57.0 FEET FROM THE SOUTHWEST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; RUNNING THENCE WEST 57.0 FEET; THENCE NORTH 148.5 FEET; THENCE EAST 57.0 FEET; THENCE SOUTH 148.5 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPTING THEREFROM THAT PORTION OF THE SUBJECT PROPERTY AS DISCLOSED BY THAT CERTAIN WARRANTY DEED RECORDED NOVEMBER 21, 1975 AS ENTRY No. 2762459 IN BOOK 4033 AT PAGE 169, BEING DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT 57 FEET WEST FROM THE SOUTHWEST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY, AND RUNNING THENCE WEST 57 FEET; THENCE NORTH 7.0 FEET; THENCE EAST 57 FEET; THENCE SOUTH 7.0 FEET TO THE POINT OF BEGINNING.
PARCEL 6:
COMMENCING AT THE SOUTHWEST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY, AND RUNNING THENCE WEST 57 FEET; THENCE NORTH 148.5 FEET; THENCE EAST 57 FEET; THENCE SOUTH 148.5 FEET TO THE POINT OF BEGINNING.
LESS AND EXCEPTING THAT PORTION OF SAID PROPERTY AS DISCLOSED BY THAT CERTAIN WARRANTY DEED RECORDED MAY 25, 1976 AS ENTRY No. 2817796 IN BOOK 4210 AT PAGE 404 THAT CERTAIN WARRANTY DEED RECORDED MAY 25, 1976 AS ENTRY No. 2817797 IN BOOK 4210 AT PAGE 405, BEING DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY, AND RUNNING THENCE WEST 57 FEET; THENCE NORTH 7.0 FEET; THENCE EAST 57 FEET; THENCE SOUTH 7.0 FEET TO THE POINT OF BEGINNING.
PARCEL 7: (SURVEYOR'S NOTE: NOT ADDRESSED BY THIS SURVEY, SEE GENERAL NOTE 7)
BEGINNING AT A POINT 231.96 FEET NORTH 89°59'26" WEST AND 24.75 FEET SOUTH 07°2'38" WEST FROM THE NORTHEAST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; THENCE NORTH 89°59'26" WEST 68.74 FEET; THENCE SOUTH 07°2'46" EAST 135.0 FEET; THENCE SOUTH 89°59'20" EAST 68.74 FEET; THENCE NORTH 00°12'38" EAST 135.0 FEET TO THE POINT OF BEGINNING.
PARCEL 8:
BEGINNING NORTH 00°12'23" EAST 148.69 FEET AND NORTH 89°58'40" WEST 163.33 FEET AND NORTH 00°12'30" EAST 74.61 FEET FROM THE SOUTHWEST CORNER OF LOT 1, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; THENCE SOUTH 89°58'48" EAST 132.93 FEET; THENCE NORTH 00°12'24" EAST 96.21 FEET; THENCE NORTH 89°58'48" WEST 132.93 FEET; THENCE SOUTH 00°12'30" WEST 96.25 FEET TO THE POINT OF BEGINNING.
PARCEL 9:
BEGINNING NORTH 00°12'23" EAST 7 FEET FROM THE SOUTHWEST CORNER OF LOT 1, BLOCK 19, TEN ACRE PLAT "A", BIG FIELD SURVEY; THENCE NORTH 00°12'13 11 EAST 141.69 FEET; THENCE NORTH 89°58'40" WEST 163.33 FEET; THENCE NORTH 00°12'30" EAST 74.61 FEET; THENCE SOUTH 89°59'103 11 EAST 133.26 FEET; THENCE NORTH 00°12'2411 EAST 150.21 FEET; THENCE SOUTH 89°59'103 11 EAST 30.06 FEET; THENCE NORTH 00°12'2311 EAST 36.05 FEET; THENCE SOUTH 89°59'0811 EAST 199.88 FEET; THENCE SOUTH 00°12'111 WEST 52.54 FEET; THENCE SOUTH 89°59'06" EAST 33.35 FEET MORE OR LESS; THENCE SOUTH 00°11 14011 WEST 350.05 FEET; THENCE NORTH 89°58'125 11 WEST 233.34 FEET MORE OR LESS TO THE POINT OF BEGINNING.
PARCEL 10: (SURVEYOR'S NOTE: NOT ADDRESSED BY THIS SURVEY, SEE GENERAL NOTE 7)
COMMENCING 162.96 FEET WEST AND 1.5 RODS SOUTH FROM THE NORTHEAST CORNER OF LOT 2, BLOCK 19, TEN ACRE PLAT 11A11, BIG FIELD SURVEY, THENCE WEST 69 FEET; THENCE SOUTH 135 FEET; THENCE EAST 69 FEET; THENCE NORTH 135 FEET TO BEGINNING.
PARCEL 11:
TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS, EGRESS AND TRAFFIC AND VEHICULAR PARKING AS DISCLOSED BY THAT CERTAIN CROSS EASEMENT AGREEMENT RECORDED AUGUST 2, 2002 AS ENTRY No. 831054 7 IN BOOK 8628 AT PAGE 2329 OF OFFICIAL RECORDS.
SURVEYOR'S NOTE: PARCEL 11 IS AN EASEMENT AGREEMENT BETWEEN MEDICAL LEASING LIMITED, ZIONS FIRST NATIONAL BANK, HEALTH SOUND SALT LAKE SURGICAL CENTER, AND MEDWOOD L.C. THE EASEMENT APPEARS TO AFFECT PARCEL 9 (SHOWN HEREON), THE CENTER SQUARE SUBDIVISION, AND ASSESSOR'S PARCEL No. 16-32-301-006 (PARCEL IS ALSO DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED ON NOVEMBER 3, 2020 AS ENTRY No. 13449246 IN BOOK 11053 AT PAGE 3231 OF OFFICIAL RECORDS).
PARCEL 12:
TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR ALL UTILITIES AND DRAINAGE SYSTEMS AS DISCLOSED AGREEMENT RECORDED MAY 12, 2005 AS ENTRY No. 9375372 IN BOOK 9130 AT PAGE 2898 OF OFFICIAL RECORDS.
SURVEYOR'S NOTE: PARCEL 12 IS AN EASEMENT AGREEMENT BETWEEN MEDICAL LEASING LIMITED, ZIONS FIRST NATIONAL BANK, HEALTH SOUND SALT LAKE SURGICAL CENTER, AND CENTER SQUARE MEDICAL. THE EASEMENT APPEARS TO AFFECT PARCEL 9 (SHOWN HEREON), THE CENTER SQUARE SUBDIVISION, AND ASSESSOR'S PARCEL No. 16-32-301-006 (PARCEL IS ALSO DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED ON NOVEMBER 3, 2020 AS ENTRY No. 13449246 IN BOOK 11053 AT PAGE 3231 OF OFFICIAL RECORDS).



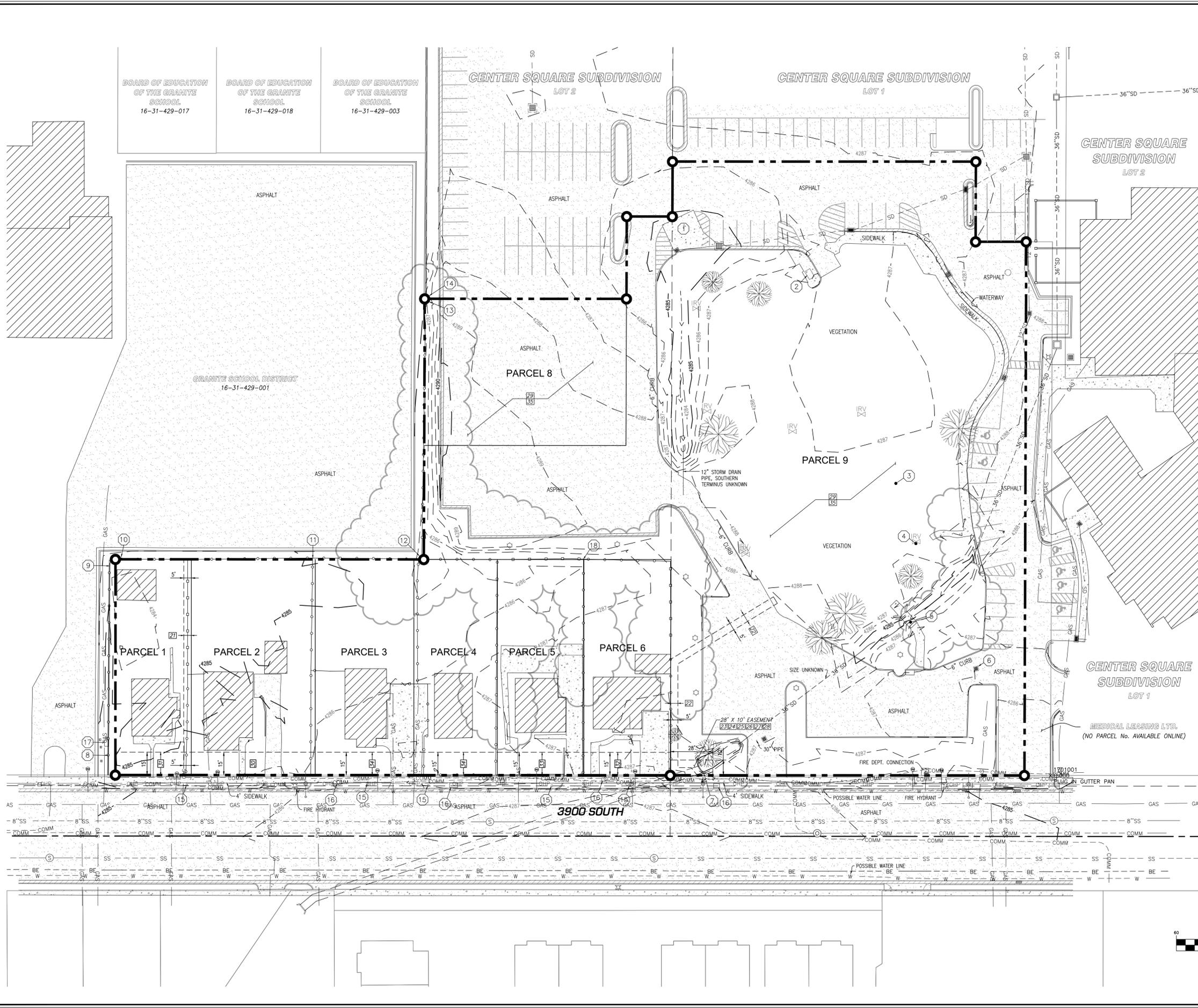
Table with 4 columns: #, DATE, DESCRIPTION, REVISIONS. Row 1: 1, 3/17/21, RELEASED TO CLIENT. Row 2: 2, 7/22/21, ADD EXISTING GAS LINES. Row 3: 3, 4/29/22, SEE GENERAL NOTE 7 ON SHEET 2.

MEDICAL LEASING LTD. PROPERTY
ALTA INSPS LAND TITLE SURVEY
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

Table with 2 columns: SHEET SIZE: ARCH D, SCALE: 1" = 20', DRAWN BY: JHT, CHECKED BY: WDL, PROJECT NO: 210205.

SHEET NO. 2 OF 3

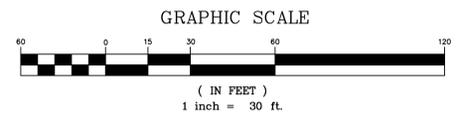
PATH: 3900 South ALTA - DELTA 2.dwg PLOTTED: April 20, 2022 1:51 PM



- ### KEY NOTES
- 1 APPARENT OLD CONCRETE DUMPSTER PAD
  - 2 ELECTRICAL TRANSFORMER
  - 3 3-INCH VERTICAL PVC PIPE STUB
  - 4 4-INCH VERTICAL PVC PIPE STUB
  - 5 PEDESTRIAN BRIDGE
  - 6 STORM DRAIN INLET, FULL OF SILT AND DEBRIS
  - 7 CULVERT CONCRETE HEADWALL
  - 8 CHAIN LINK FENCE, WITH CONCRETE MOW STRIP 4.0 FEET OUTSIDE PROPERTY
  - 9 CHAIN LINK FENCE, WITH CONCRETE MOW STRIP 4.7 FEET OUTSIDE PROPERTY
  - 10 CHAIN LINK FENCE 0.2 FEET OUTSIDE PROPERTY
  - 11 CHAIN LINK FENCE 1.0 FEET OUTSIDE PROPERTY
  - 12 CHAIN LINK CORNER, 0.3 FEET NORTH AND 1.3 FEET WEST OF PROPERTY CORNER
  - 13 CHAIN LINK FENCE 0.6 FEET INSIDE PROPERTY
  - 14 CMU FENCE BEGINS 2.5 FT NORTH OF PROPERTY
  - 15 MAILBOX
  - 16 VAULT WITH METAL LID
  - 17 MULTIPLE ABOVE GROUND UTILITY BOXES
  - 18 FOUND NAIL AND WASHER MARKED BUSH & GUDGELL IN WOOD POST



- ### NOTES:
1. PAVEMENT MARKINGS WERE NOT SHOWN WITHIN THE BOUNDARY OF THIS PROJECT WHERE IT IS ANTICIPATED THAT DEMOLITION WILL OCCUR WITH PROPOSED DEVELOPMENT.
  2. DRY UTILITIES SUCH AS FIBEROPTIC, COMMUNICATIONS, GAS, AND ETC, SHOWN HEREON ARE BASED ON BLUESTAKES PAINT MARKINGS AND MUST BE VERIFIED BY OWNER. OTHER UTILITIES SUCH AS MANHOLES, FIRE HYDRANTS, AND OTHER STRUCTURES/OBJECTS VISIBLE ON THE SURFACE, WERE LOCATED WITH SURVEY GRADE GPS EQUIPMENT.
  3. DUE TO SWPPP MEASURES PLACED ON INLET BOXES AND SILT IN OTHERS, NOT ALL PIPE FLOWLINES WERE ABLE TO BE MEASURED AND THEREFORE THE PRESENCE OF PIPES INTERCONNECTING INLETS IS INCOMPLETE.
  4. EXISTING GAS LINES SHOWN ARE BASED ON MAPS PROVIDED BY DOMINION ENERGY. IT IS NOT THE INTENT OF THIS INFORMATION TO REPRESENT THE EXACT LOCATION OF THE GAS LINES.



**JTE Engineering, PC**  
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#	DATE	DESCRIPTION
1	3/17/21	RELEASED TO CLIENT
2	7/22/21	ADD EXISTING GAS LINES
3	4/20/22	SEE GENERAL NOTE 7 ON SHEET 2

## MEDICAL LEASING LTD. PROPERTY

### ALTAINSPS LAND TITLE SURVEY

LOCATED IN THE SOUTH QUARTER OF SECTION 31,  
 TOWNSHIP 1 SOUTH, RANGE 1 EAST,  
 SALT LAKE BASE AND MERIDIAN,  
 SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D
SCALE: 1" = 30'
DRAWN BY: JHT
CHECKED BY: WDL
PROJECT No: 210205

SHEET NO.  
**3 OF 3**



**1 Building A Front/Left**



**3 Building A Rear/Left**



**2 Building A Front/Right**



**4 Building A Rear/Right**

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**URBAN**

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building A - 3D Views**

SHEET:  
**A000.1**

ISSUE DATE:



**1** Building B Front/Left



**2** Building B Front/Right



**3** Building B Rear/Left



**4** Building B Rear/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building B - 3D Views**

SHEET:  
**B000.1**

ISSUE DATE:



**1** Building C Front/Left



**2** Building C Front/Right



**3** Building C Rear/Left



**4** Building C Rear/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building C - 3D Views**

SHEET:  
**C000.1**

ISSUE DATE:



**1** Building D Front/Left



**2** Building D Front/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building D - Front  
3D Views**

SHEET:  
**D000.1**

ISSUE DATE:

1

2

3

4

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D

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C

C

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A

A

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1 Building D Rear/Left

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# C.W. URBAN



2 Building D Rear/Right

PROJECT **theMONROE**  
3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
3D Views - Rear  
Building D

SHEET:  
**D000.2**

ISSUE DATE:



**1** Building E Front/Left



**2** Building E Front/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building E - Front  
3D Views**

SHEET:  
**E000.1**

ISSUE DATE:



**1** Building E Rear/Left



**2** Building E Rear/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building E - Rear 3D Views**

SHEET:  
**E000.2**

ISSUE DATE:



**1** Building F Front/Left



**2** Building F Front/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building F - Front 3D Views**

SHEET:

**F000.1**

ISSUE DATE:



**1** Building F Rear/Left



**2** Building F Rear/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building F - Rear 3D Views**

SHEET:  
**F000.2**

ISSUE DATE:



**1** Building G Front/Left



**2** Building G Front/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building G - Front  
3D Views**

SHEET:  
**G000.1**

ISSUE DATE:



**1** Building G Rear/Left



**2** Building G Rear/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building G - Rear 3D Views**

SHEET:  
**G000.2**

ISSUE DATE:



**1** Building H Front/Left



**2** Building H Front/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building H - Front  
3D Views**

SHEET:  
**H000.1**

ISSUE DATE:



**1** Building H Rear/Left



**2** Building H Rear/Right

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PROJECT  
**theMONROE**  
3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building H - Rear 3D Views**

SHEET:  
**H000.2**

ISSUE DATE:



**1** Building J Front/Left



**2** Building J Front/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building J - Front 3D Views**

SHEET:

**J000.1**

ISSUE DATE:



**1** Building J Rear/Left



**2** Building J Rear/Right

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PROJECT  
**theMONROE**

3900 S 700 E, SOUTH SALT LAKE

REVISIONS:

TITLE:  
**Building J - Rear 3D Views**

SHEET:  
**J000.2**

ISSUE DATE:

**CURVE DATA**

SEGMENT	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	26.94	20.00	77°11'12"	15.96	24.95	S38°37'12"W
C2	26.94	20.00	77°11'14"	15.96	24.95	S38°34'02"E
C3	4.47	20.00	12°48'46"	2.25	4.46	S83°34'02"E
C4	4.47	20.00	12°48'47"	2.25	4.46	S83°37'12"W
C5	7.14	22.00	18°35'43"	3.60	7.11	N9°19'29"E
C6	7.10	22.00	18°29'24"	3.58	7.07	S9°13'07"E
C7	35.04	78.50	25°34'33"	17.82	34.75	N14°13'17"W
C8	47.19	100.00	27°02'08"	24.04	46.75	N13°29'29"W
C9	41.95	121.50	19°47'00"	21.19	41.74	N10°48'30"W
C10	15.61	121.50	7°21'35"	7.81	15.60	S23°19'46"E
C11	13.38	121.50	6°18'33"	6.70	13.37	N23°51'17"W
C12	10.60	78.50	7°44'21"	5.31	10.60	S23°08'23"E
C13	47.19	100.00	27°02'08"	24.04	46.75	S13°29'29"E
C14	37.04	78.50	27°02'08"	18.87	36.70	S13°29'29"E
C15	24.36	78.50	17°46'51"	12.28	24.26	S8°51'50"E
C16	2.08	78.50	1°30'57"	1.04	2.08	S18°30'44"E
C17	25.92	16.50	90°00'00"	16.50	23.33	S45°01'35"W
C18	59.89	38.00	90°00'00"	38.00	53.74	S45°01'35"W
C19	25.97	16.50	90°10'05"	16.55	23.37	N44°53'22"W
C20	44.06	28.00	90°10'05"	28.08	39.66	N44°53'22"W
C21	14.51	10.00	83°07'24"	8.87	13.27	N41°32'07"W
C22	39.27	25.00	90°00'00"	25.00	35.36	S44°58'25"E

**LINE TABLE**

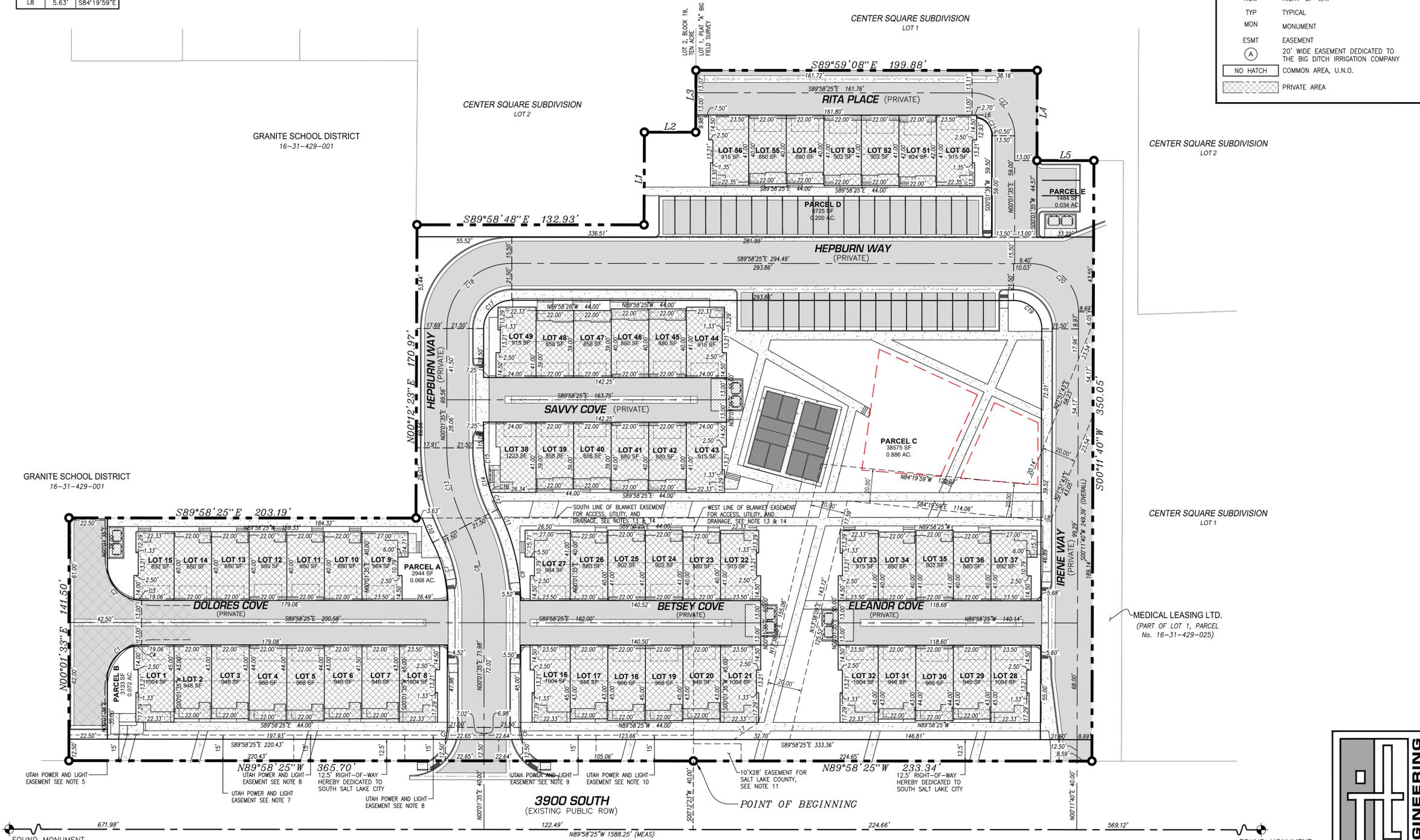
LINE	LENGTH	DIRECTION
L1	54.00'	N00°12'24"E
L2	30.06'	S89°59'03"E
L3	36.05'	N00°12'23"E
L4	52.54'	S00°12'11"W
L5	33.35'	S89°59'06"E
L6	1.57'	S00°01'35"W
L7	17.85'	N55°30'25"E
L8	5.63'	S84°19'59"E

# THE MONROE TOWNHOMES \*\*WITH SITE OVERLAY\*\*

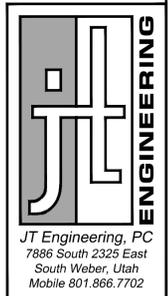
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31,  
TOWNSHIP 1 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN,  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

**LEGEND & ABBREVIATIONS:**

- SECTION MONUMENT
- BOUNDARY LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- UNIT LOT LINE
- EXISTING PARCEL LINE
- EASEMENT LINE
- BOUNDARY SEGMENT MARKER
- ROW
- TYP
- MON
- ESMT
- 20' WIDE EASEMENT DEDICATED TO THE BIG DITCH IRRIGATION COMPANY
- COMMON AREA, U.N.O.
- PRIVATE AREA



PATH: O:\\_Plot (FINAL)\dwg PLOTTED: February 1, 2023 4:38PM



RECORDER # \_\_\_\_\_

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_

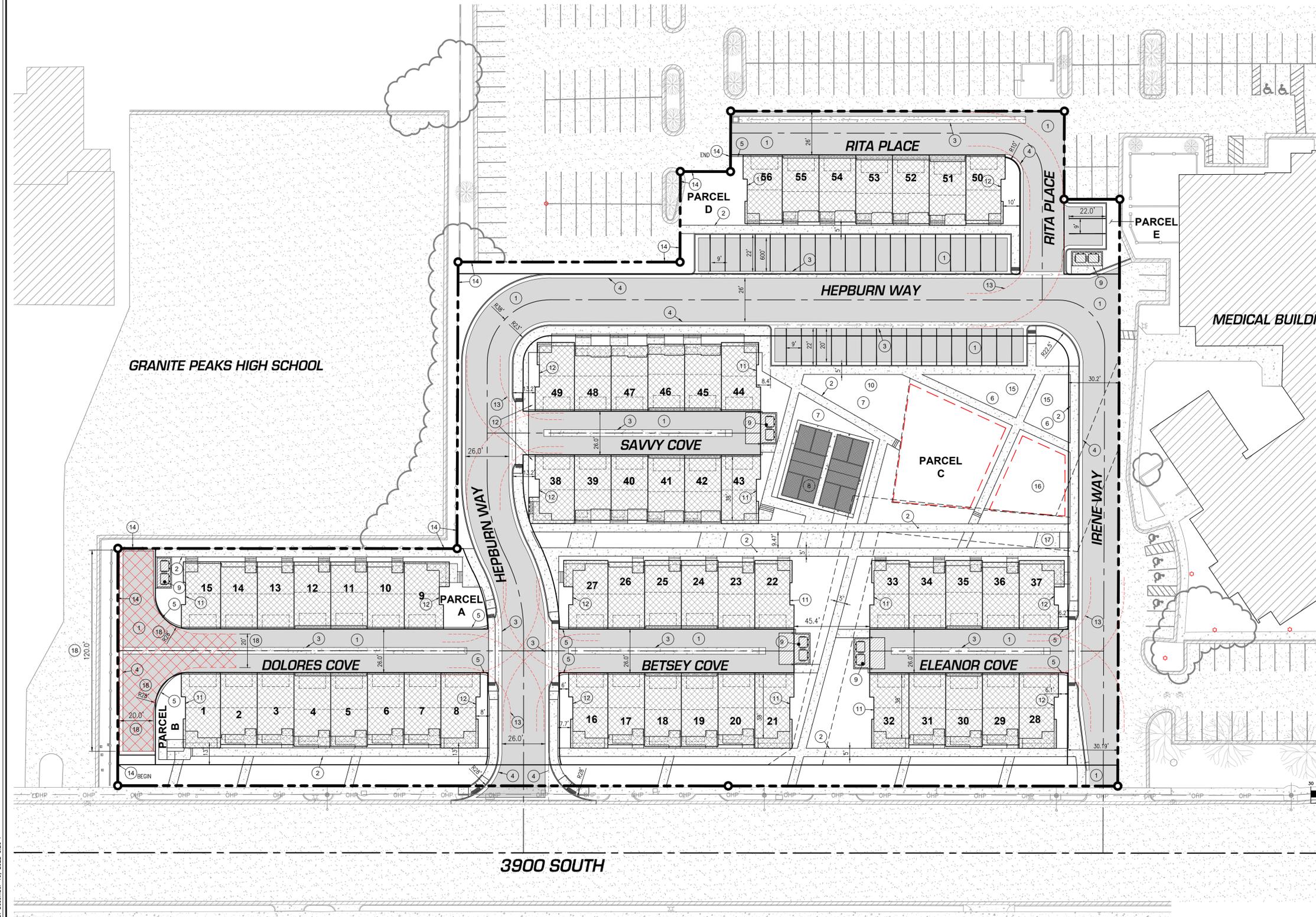
DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

FEE \$ \_\_\_\_\_ SALT LAKE COUNTY RECORDER

2  
of  
2



TWO RESIDENTIAL PROPERTIES



KEY NOTES

- 1 ASPHALT (PAVEMENT STRUCTURE TO BE PROVIDED BY OTHERS).
- 2 SIDEWALK, WIDTH AS SHOWN.
- 3 4' WATERWAY
- 4 30" CURB AND GUTTER
- 5 12" EDGE CURB
- 6 COMMUNITY GARDENS, SEE LANDSCAPE PLAN FOR DETAILS.
- 7 BBQ/PICNIC AREA, SEE LANDSCAPE PLAN FOR DETAILS.
- 8 PICKLEBALL COURTS
- 9 DUMPSTER ENCLOSURE (5 TOTAL), SEE LANDSCAPE DESIGN PLANS FOR DETAIL.
- 10 COMMUNITY MAILBOX LOCATION, SEE LANDSCAPE PLAN FOR DETAILS.
- 11 ELECTRICAL POWER METERS, COORDINATE LOCATION WITH ARCHITECTURAL DRAWINGS.
- 12 NATURAL GAS METERS, COORDINATE LOCATION WITH ARCHITECTURAL DRAWINGS.
- 13 20 FT WIDE TRAVEL PATH WITH 28' INSIDE CURVE RADIUS
- 14 INSTALL 6" TALL IRON FENCE ALONG WEST PROPERTY LINE AS SHOWN. SEE LANDSCAPE PLANS FOR COLOR, MATERIAL, AND STYLE.
- 15 YOGA GARDEN, SEE LANDSCAPE PLAN FOR DETAILS.
- 16 TOT LOT PLAYGROUND, SEE LANDSCAPE PLAN FOR DETAILS.
- 17 BIKE LOCKERS AND BIKE REPAIR STATION, SEE LANDSCAPE PLAN FOR DETAILS.
- 18 DASHED LINE REPRESENTS A HAMMERHEAD CONFIGURATION BASED ON THE 2021 INTERNATIONAL FIRE CODE APPENDIX D, SECTION D103 "120' HAMMERHEAD".



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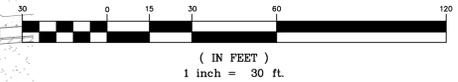
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REVISIONS	
#	DESCRIPTION
1	12/16/22 JHT ADDRESS CITY COMMENTS



GRAPHIC SCALE



THE MONROE TOWNHOMES  
**SITE PLAN**

600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

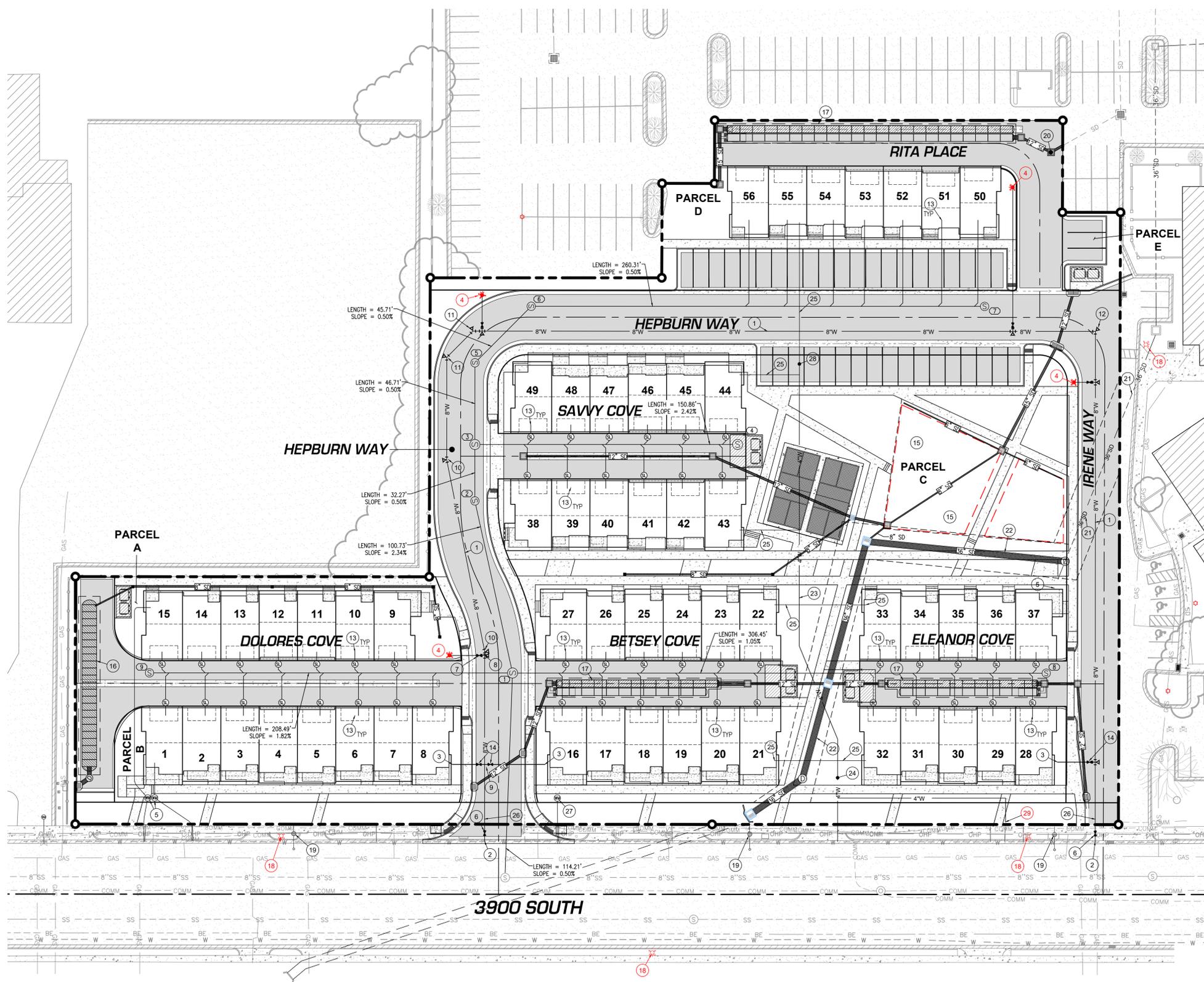
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H. SCALE: 1" = 10'  
V. SCALE: N/A  
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**SP1**  
10 of 41

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PATH: 05\_SPT\_Site Plan.dwg PLOTTED: December 19, 2022 5:20 P

PATH: 06\_UTI\_UTILITY\_Plan.dwg PLOTTED: January 10, 2023 2:36 P



**KEY NOTES**

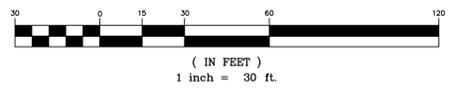
- 1 8" PVC-C900 (DR18) CULINARY WATERLINE
  - 2 HOT TAP EXISTING 10" ASBESTOS CEMENT WATERLINE
  - 3 2" POLY FIRE LINE TO BUILDING
  - 4 FIRE HYDRANT WITH 6" LATERAL
  - 5 2" WATER SERVICE LATERAL WITH METER BOX PER JWCD STANDARDS
  - 6 8" GATE VALVE
  - 7 6" GATE VALVE
  - 8 8"x6" TEE
  - 9 8"x6" CROSS
  - 10 11.25 DEGREE BEND
  - 11 45 DEGREE BEND
  - 12 90 DEGREE BEND
  - 13 4" PVC SDR-35 SANITARY SEWER LATERAL
  - 14 2" BUTTERFLY VALVE
  - 15 DETENTION AREA, SEE GRADING PLAN FOR ADDITIONAL INFORMATION
  - 16 UNDERGROUND RETENTION AREA, SEE GRADING PLAN FOR ADDITIONAL INFORMATION
  - 17 UNDERGROUND DETENTION AREA, SEE GRADING PLAN FOR ADDITIONAL INFORMATION
  - 18 EXISTING FIRE HYDRANT
  - 19 EXISTING SINGLE-CIRCUIT 138 KV STEEL POLE
  - 20 CONNECT TO EXISTING INLET BOX, ADJUST INLET BOX TO GRADE AND INSTALL SOLID RING AND LID.
  - 21 EXISTING 36-INCH RCP PIPE FOR BIG DITCH IRRIGATION COMPANY
  - 22 NEW 36-INCH RCP PIPE TO RE-ROUTE THE BIG DITCH IRRIGATION COMPANY PIPING AND OPEN DITCH.
  - 23 4" PVC-C900 (DR18) CULINARY WATERLINE
  - 24 INSTALL 4" METER WITH VAULT PER JWCD STANDARDS
  - 25 2" WATER SERVICE LATERAL
  - 26 INSTALL FIRE BOX PER JWCD STANDARDS
  - 27 1-1/2" WATER SERVICE LATERAL WITH METER BOX PER JWCD STANDARDS
  - 28 TRANSITION FROM 4" MAIN TO 2" LATERAL
  - 29 CONNECT TO EXISTING 4" FIRE LINE AND INSTALL 4" GATE VALVE
- SEE SITE PLAN FOR UTILITY METER LOCATIONS.

**NOTES:**

1. ANY WORK REQUIRING A SHUTDOWN TO THE 10" WATERMAIN ALONG 3900 SOUTH SHOULD BE SCHEDULED FOR A TIME THAT IS ACCEPTABLE TO THE GRANITE CONNECTION SCHOOL AND ALSO TO THE MEDICAL FACILITIES LOCATED AT 3802 S 700 E AND AT 3830 S 700 E.
2. VERIFY OUTSIDE DIAMETER ON THE EXISTING 10" ASBESTOS CEMENT WATERLINE PRIOR TO START OF WORK TO CONFIRM THE SERVICE SADDLES AND HOT TAP SADDLES HAVE THE CORRECT O.D. RANGE.
3. CONTROLLED LOW-STRENGTH MATERIAL (CLSM) 50-100 PSI COMPRESSIVE STRENGTH WILL BE REQUIRED FOR THE PIPE ZONE BACKFILL MATERIAL ON THE 10" ASBESTOS CEMENT WATERLINE.



**GRAPHIC SCALE**



**ENGINEERING**

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South Weber, Utah 84405  
ph 801.866.7702

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PROFESSIONAL SEAL  
LICENSED PROFESSIONAL ENGINEER  
No. 494095-2202  
JASON H. THOMPSON  
1/10/2023  
STATE OF UTAH

#	DATE	BY	DESCRIPTION
1	01/10/23	JHT	ADDRESS CITY COMMENTS

THE MONROE TOWNHOMES

**UTILITY PLAN**

600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D
H. SCALE: 1" = 30'
V. SCALE: N/A
DATE: SEPT. 30, 2022
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SHEET NO.

**UT1**

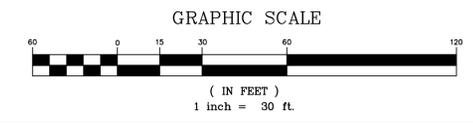
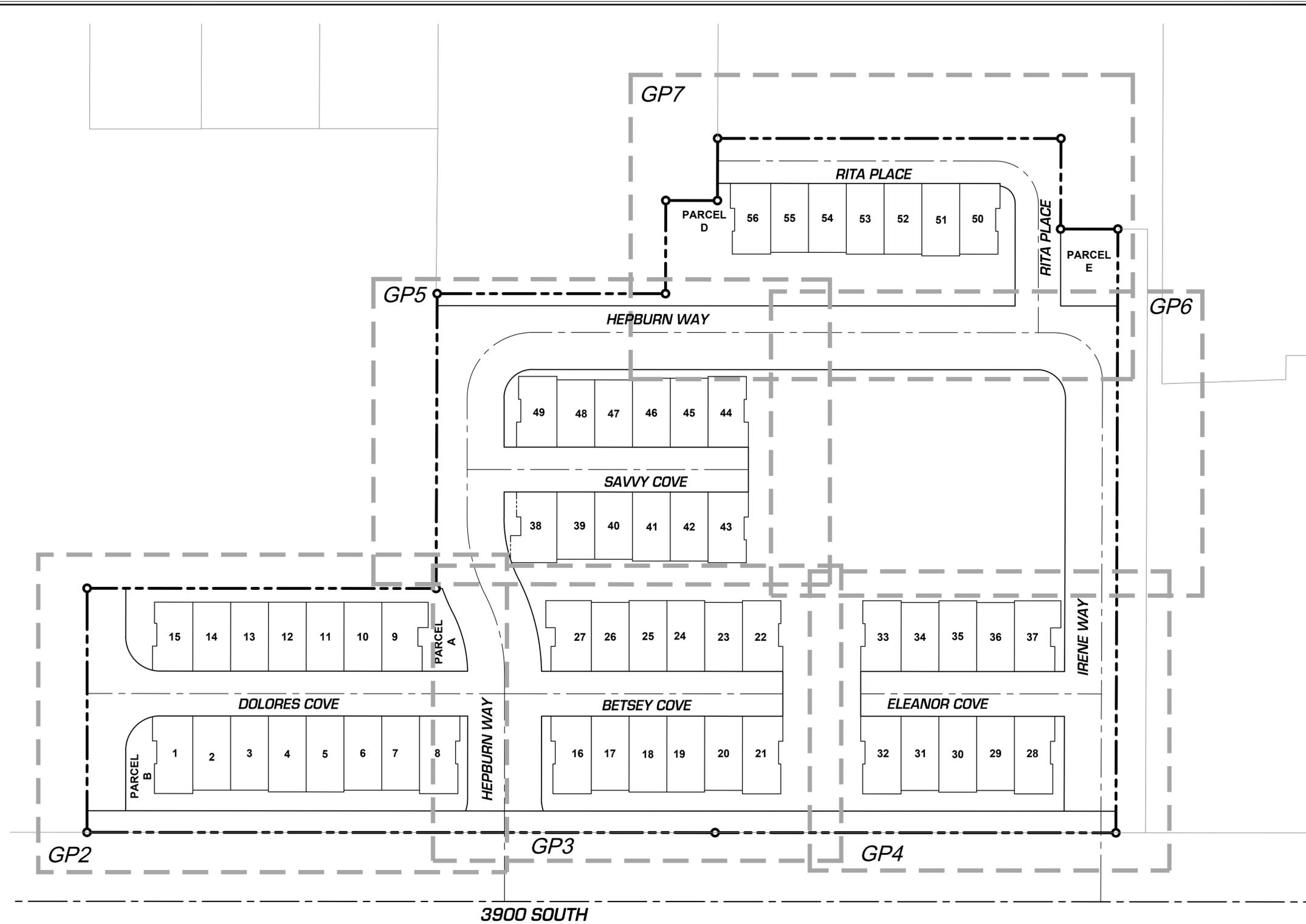
11 of 41

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P:\H:\07-GP-KEY Grading Plan Key Sheet.dwg PLOTTED: October 5, 2022 2:43 P



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FOR REVIEW



#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES  
**GRADING PLAN KEY SHEET**  
 600 EAST 3900 SOUTH  
 SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

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H. SCALE: 1" = 30'
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**GP-KEY**  
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#	DATE	BY	DESCRIPTION
1	12/16/22	JHT	ADDRESS CITY COMMENTS

THE MONROE TOWNHOMES  
**GRADING PLAN**  
 600 EAST 3900 SOUTH  
 SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D  
 H. SCALE: 1" = 30'  
 V. SCALE: N/A  
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SHEET NO.  
**GP1**  
 13 of 41

# STORM DRAIN STRUCTURE IDENTIFICATION SYMBOL AND NUMBER SEE GP2-GP7 AND THE PP SHEETS FOR STRUCTURE DESIGN INFORMATION SUCH AS RIM AND FLOWLINE ELEVATIONS.

- NOTES:
1. EROSION CONTROL PLAN AND SWPPP WILL BE PREPARED BY A 3RD PARTY WITH THE FINAL DESIGN AND APPROVALS. SAID PLAN WILL INCLUDE BMP'S SUCH AS SILT FENCE, INLET PROTECTION, STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, TOILET AREA, ETC.
  2. CMT ENGINEERING LABORATOIRES ENCOUNTERED GROUNDWATER AT DEPTHS OF 14 TO 15.5 FEET DURING THEIR FIELD EXPLORATION.
  3. THE BOTTOM OF THE GRAVEL BELOW THE STORMTECH MC-7200 CHAMBERS WILL BE APPROXIMATELY 8 FEET BELOW THE TOP OF ASPHALT.
  4. THE BOTTOM OF THE GRAVEL BELOW THE STORMTECH SC-740 CHAMBERS WILL BE APPROXIMATELY 5 FEET BELOW THE TOP OF ASPHALT.

SEE DEMOLITION PLAN FOR INFORMATION REGARDING RIM AND INVERTS FOR STRUCTURES AND PIPES ALSO SEE SHEET PP9

EXISTING 36" PIPE AND DITCH TO BE RE-ROUTED AROUND BUILDINGS. SEE SHEET PP8 & PP9 FOR DETAILS.

SEE SHEET GP6 FOR DETAILS ABOUT DETENTION BASIN

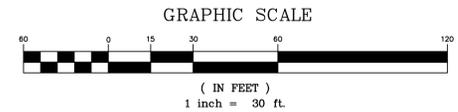
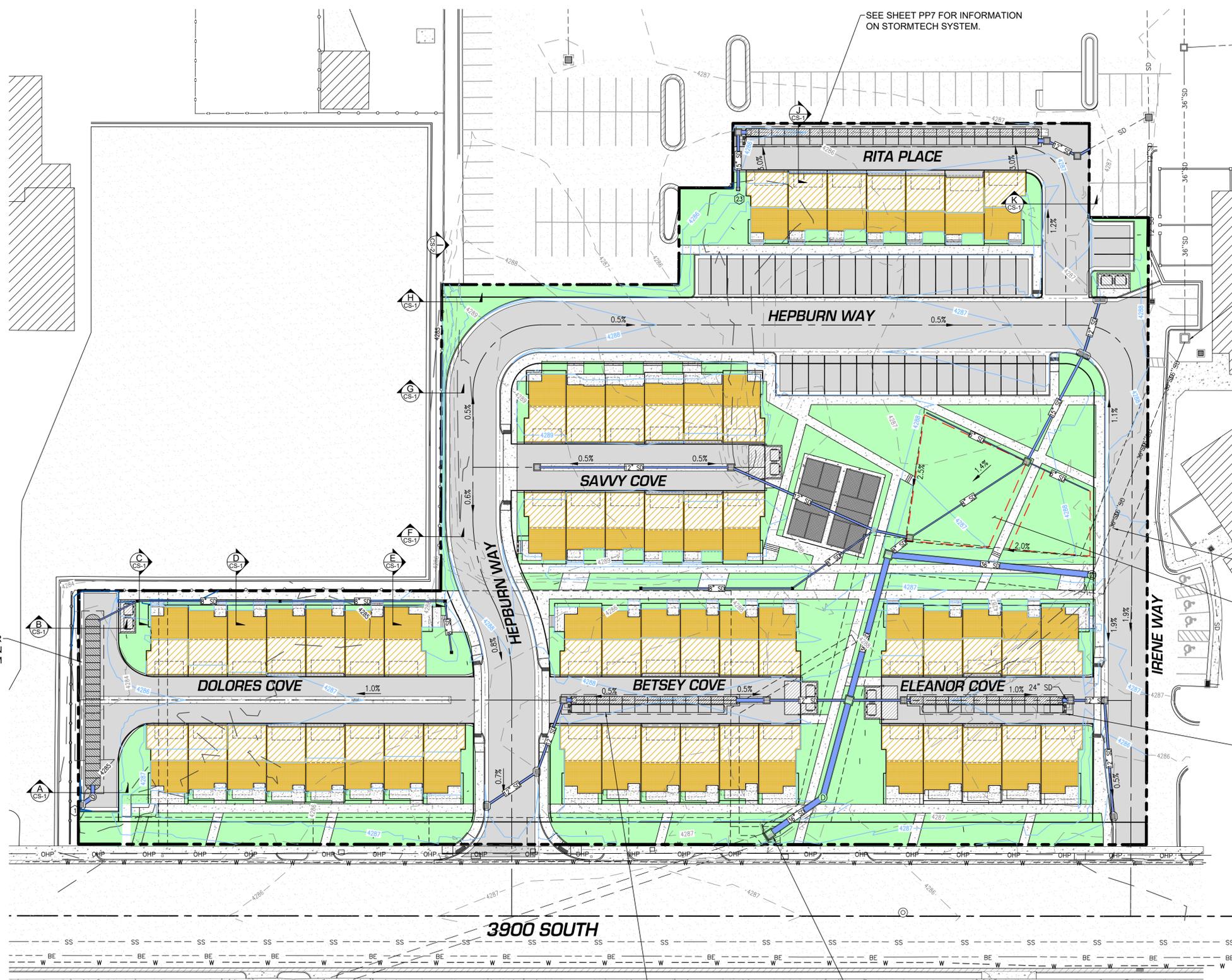
SEE SHEET PP5 FOR INFORMATION ON STORMTECH SYSTEM.

SEE SHEET PP4 FOR INFORMATION ON STORMTECH SYSTEM

SEE SHEET PP7 FOR INFORMATION ON STORMTECH SYSTEM.

SEE SHEET PP5 FOR INFORMATION ON STORMTECH SYSTEM.

SEE SHEET PP8 FOR DESIGN INFORMATION.



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 12/19/2022  
 STATE OF UTAH

#	DATE	BY	DESCRIPTION
1	12/16/22	JHT	ADDRESS CITY COMMENTS

THE MONROE TOWNHOMES  
**GRADING PLAN**  
 LOTS 1 TO 15  
 600 EAST 3900 SOUTH  
 SOUTHSALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D
H. SCALE: 1" = 10'
V. SCALE: N/A
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**GP2**  
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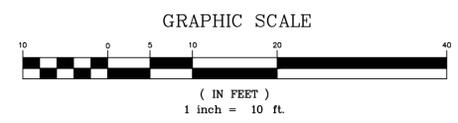
GRANITE PEAKS HIGH SCHOOL

GRANITE PEAKS HIGH SCHOOL

DOLORES COVE

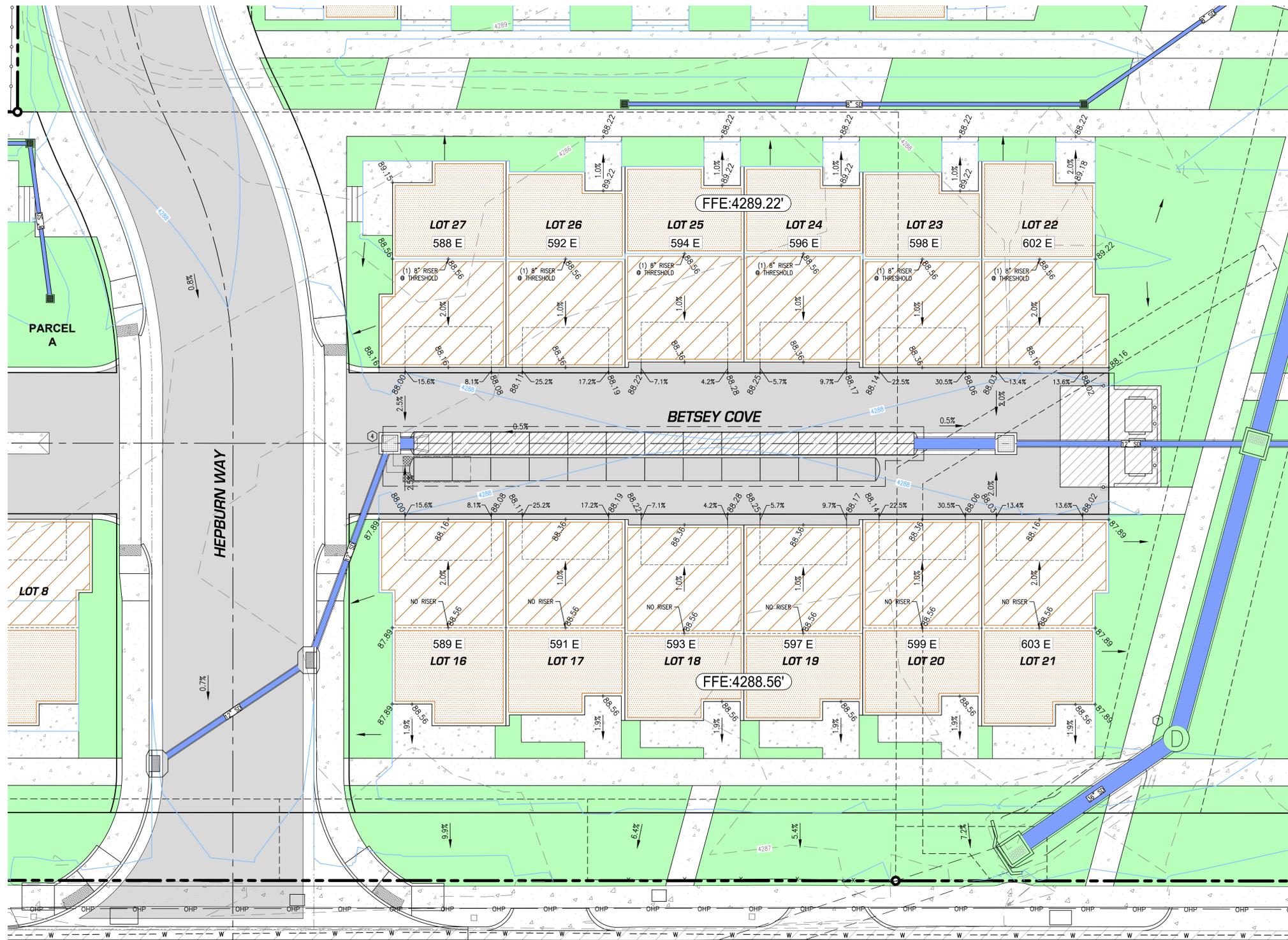
3900 SOUTH

HEPBURN WAY



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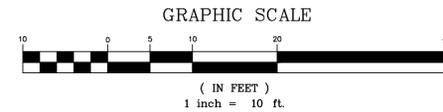


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#	DATE	DESCRIPTION
1	12/19/22	JHT ADDRESS CITY COMMENTS

THE MONROE TOWNHOMES  
**GRADING PLAN**  
LOTS 16 TO 27  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

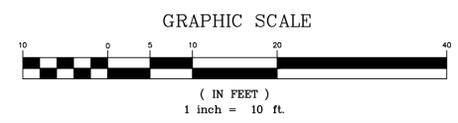
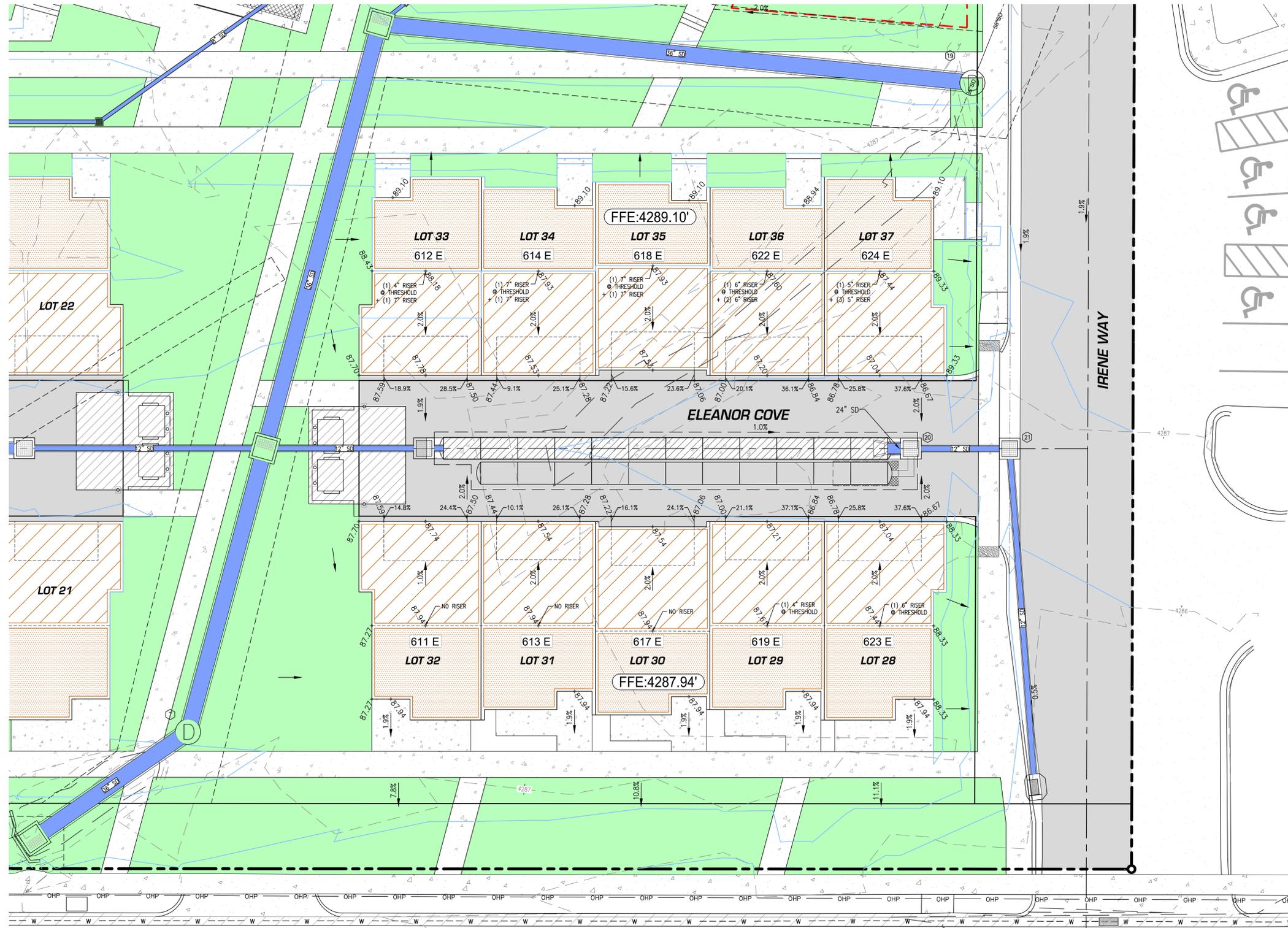
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**GP3**  
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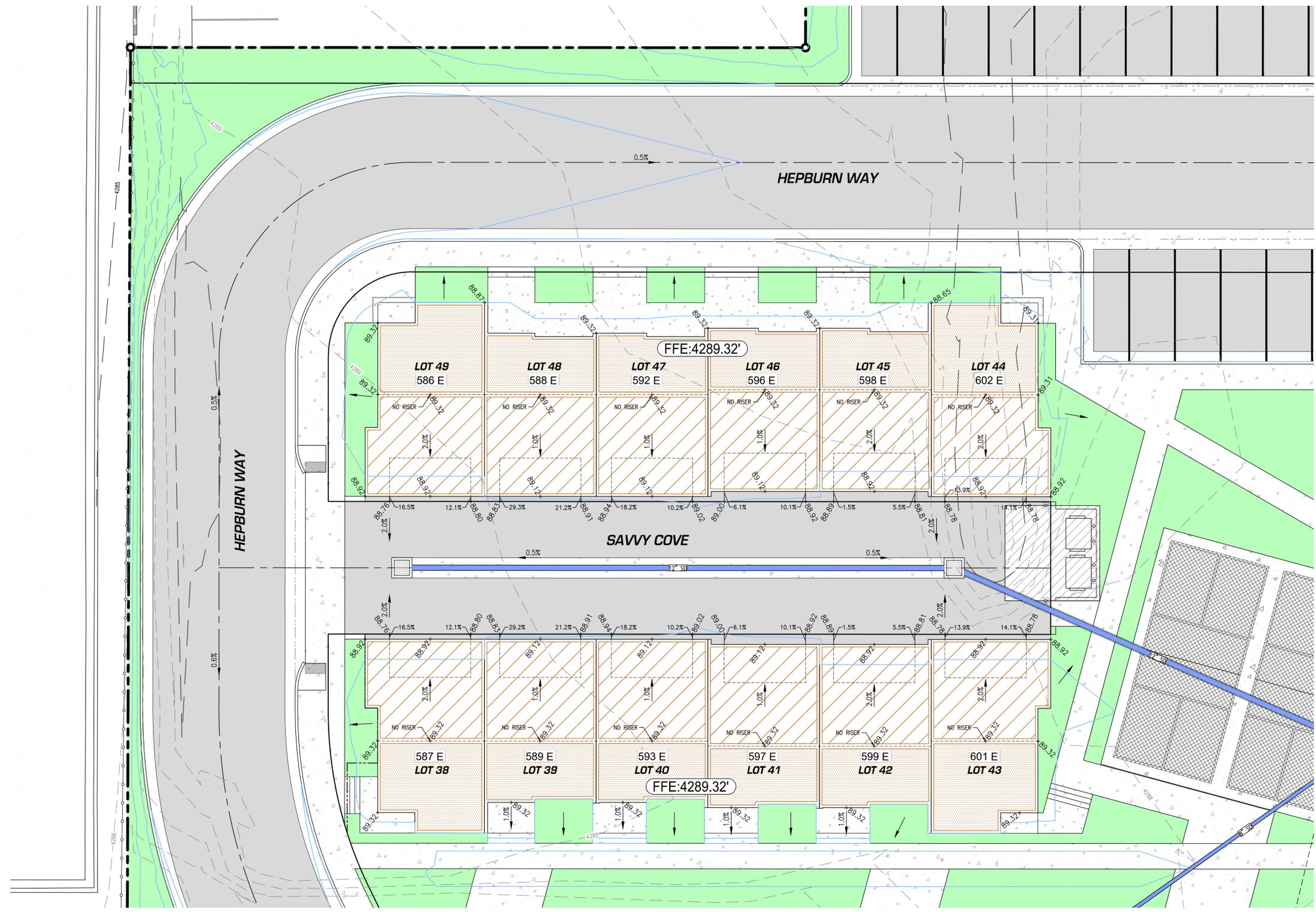
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1	12/19/2022	JHT		

THE MONROE TOWNHOMES  
**GRADING PLAN**  
LOTS 28 - 37  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

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**GP4**  
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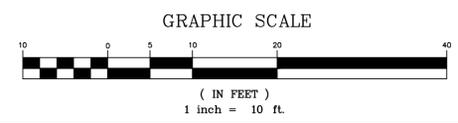


#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES  
**GRADING PLAN**  
LOTS 38 - 49  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

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**GP5**  
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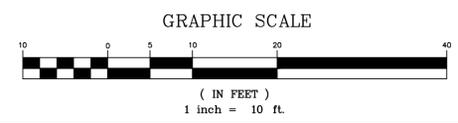
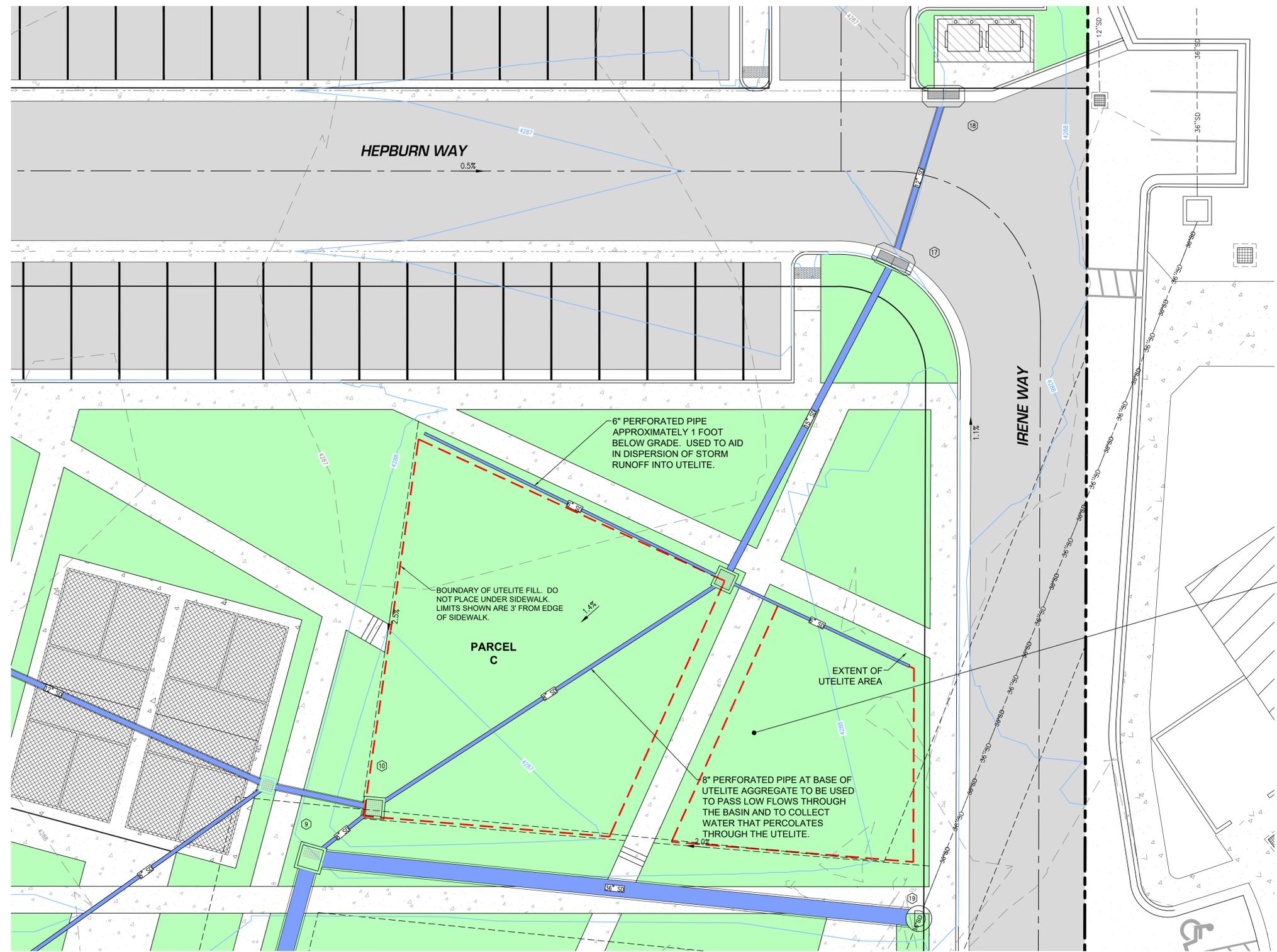


#	DATE	BY	DESCRIPTION	REVISIONS
1	12/16/22	JHT	ADDRESS CITY COMMENTS	

THE MONROE TOWNHOMES  
**GRADING PLAN**  
 600 EAST 3000 SOUTH  
 SOUTHSALT LAKE CITY, SALT LAKE COUNTY, UTAH

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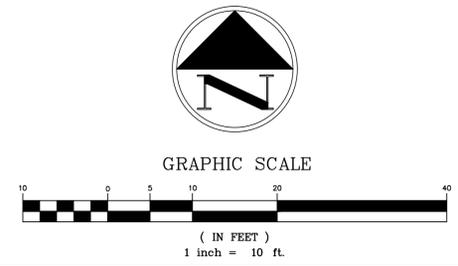
PROFESSIONAL SEAL  
 LICENSE NO. 4940495-2202  
 JASON H. THOMPSON  
 10/5/2022  
 STATE OF UTAH

#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES  
**GRADING PLAN**  
 LOTS 50 - 56  
 600 EAST 3900 SOUTH  
 SOUTHSALT LAKE CITY, SALT LAKE COUNTY, UTAH

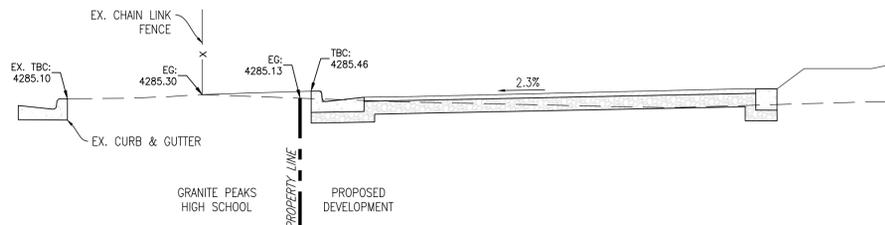
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**GP7**  
 19 of 41

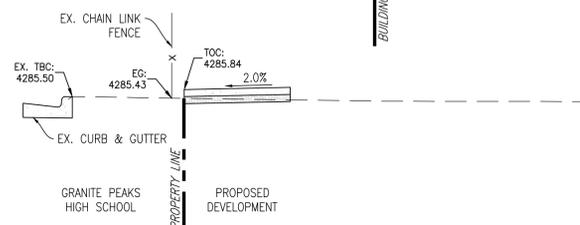


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 UTILITY NOTIFICATION CENTER, INC.  
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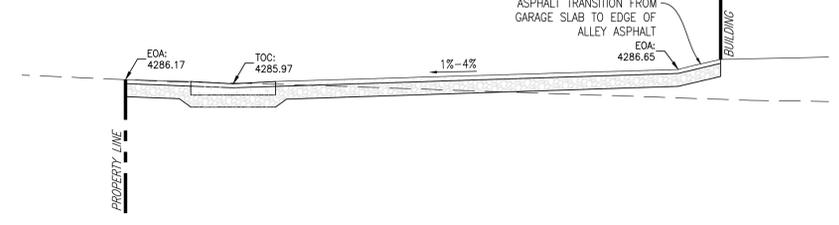
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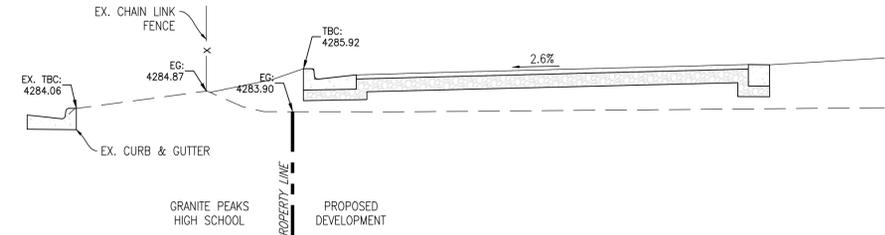
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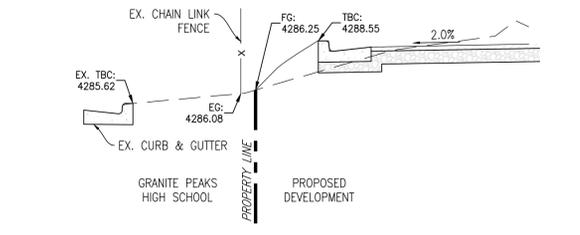
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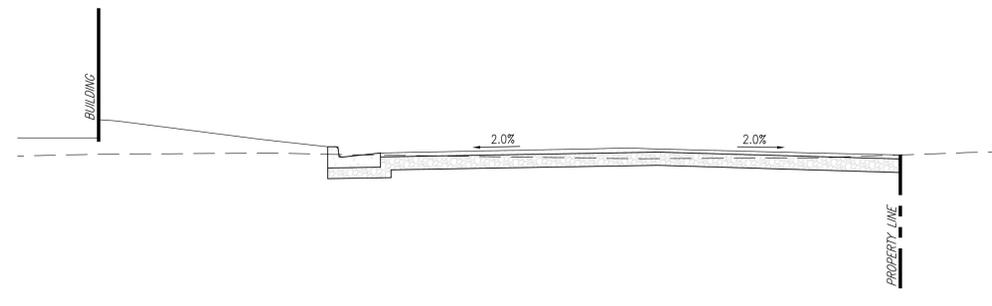
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SCALE: 1" = 4'



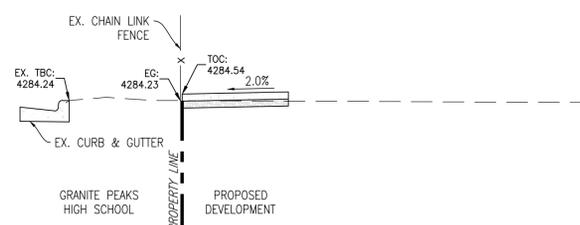
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SCALE: 1" = 4'



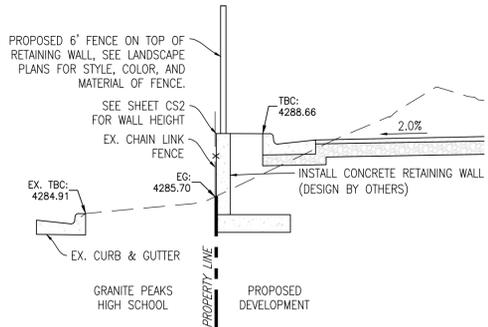
**SECTION F**  
SCALE: 1" = 4'



**SECTION K**  
SCALE: 1" = 4'

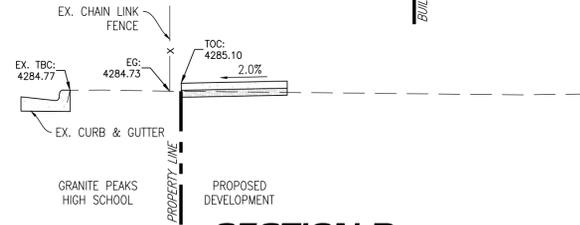


**SECTION C**  
SCALE: 1" = 4'

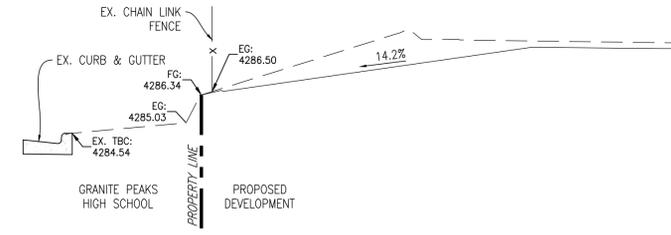


**SECTION G**  
SCALE: 1" = 4'

NOTE: FENCING WILL BE INSTALLED ALONG THE WESTERLY BOUNDARY OF THE PROJECT. SEE THE SITE PLAN FOR THE EXACT EXTENTS OF THE FENCING. THE FENCING IS NOT SHOWN ON THESE CROSS-SECTIONS FOR CLARITY PURPOSES.



**SECTION D**  
SCALE: 1" = 4'



**SECTION H**  
SCALE: 1" = 4'



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#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES  
**CROSS SECTIONS**  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D
H. SCALE: N/A
V. SCALE: 1" = 4'
DATE: SEPT. 30, 2022
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SHEET NO.  
**CS1**  
20 of 41

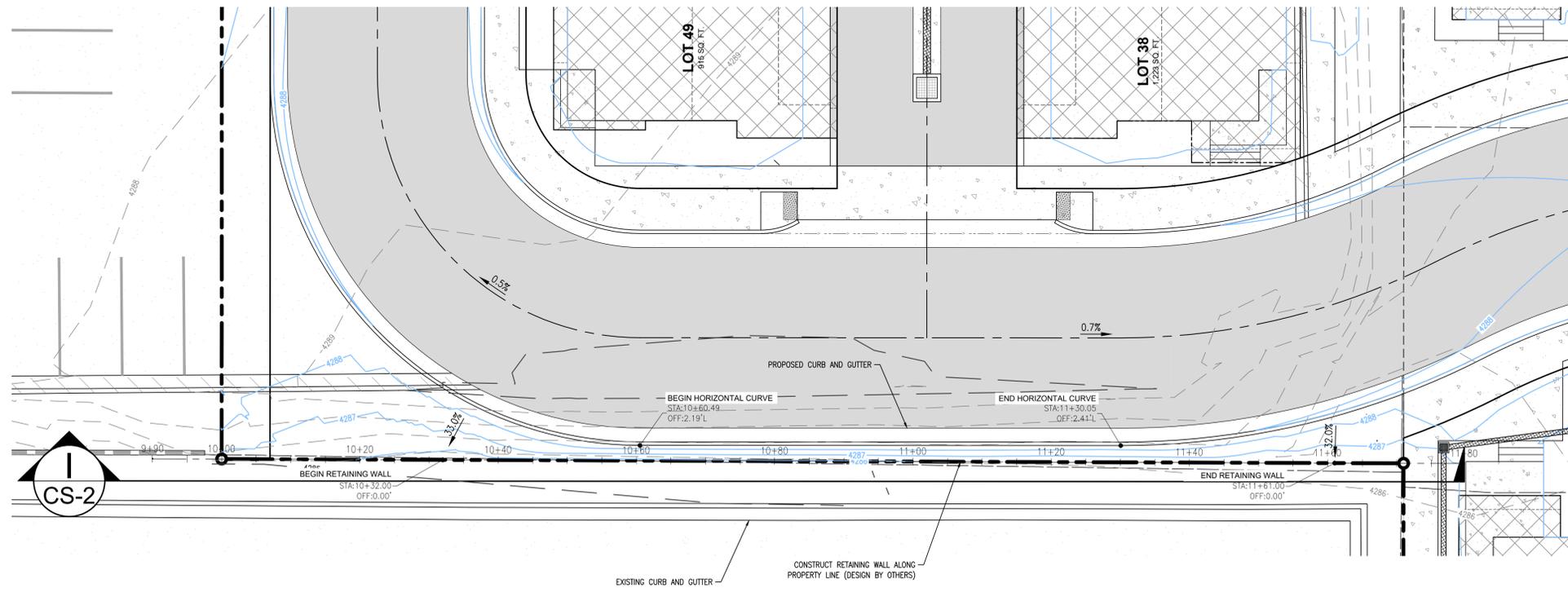


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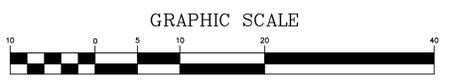
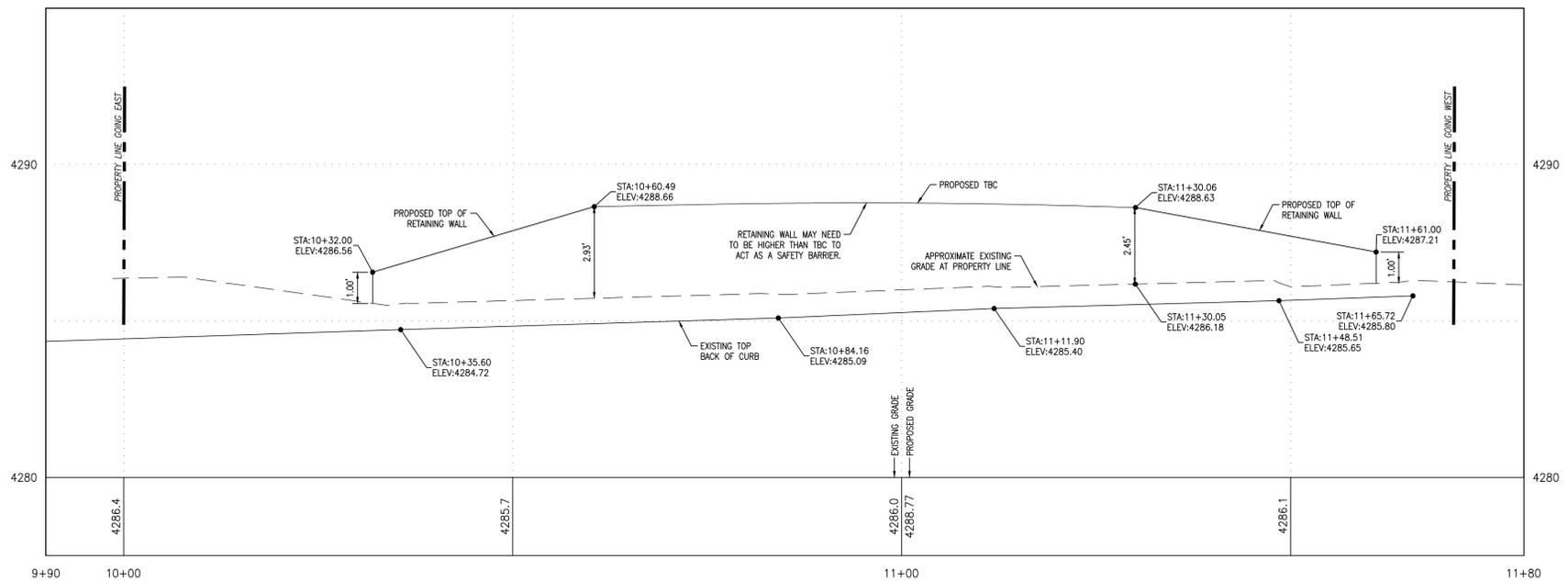
FOR REVIEW



#	DATE	BY	DESCRIPTION



**CROSS SECTION I**  
 STA. 9+90.00 TO 11+80.00



GRAPHIC SCALE

( IN FEET )  
 H-Scale 1 inch = 10 ft.  
 V-Scale 1 inch = 2.5 ft.

THE MONROE TOWNHOMES  
**CROSS SECTION I**  
 600 EAST 3900 SOUTH  
 SOUTHSALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D

H. SCALE: 1" = 10'

V. SCALE: 1" = 2.5'

DATE: SEPT. 30, 2022

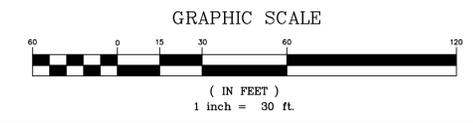
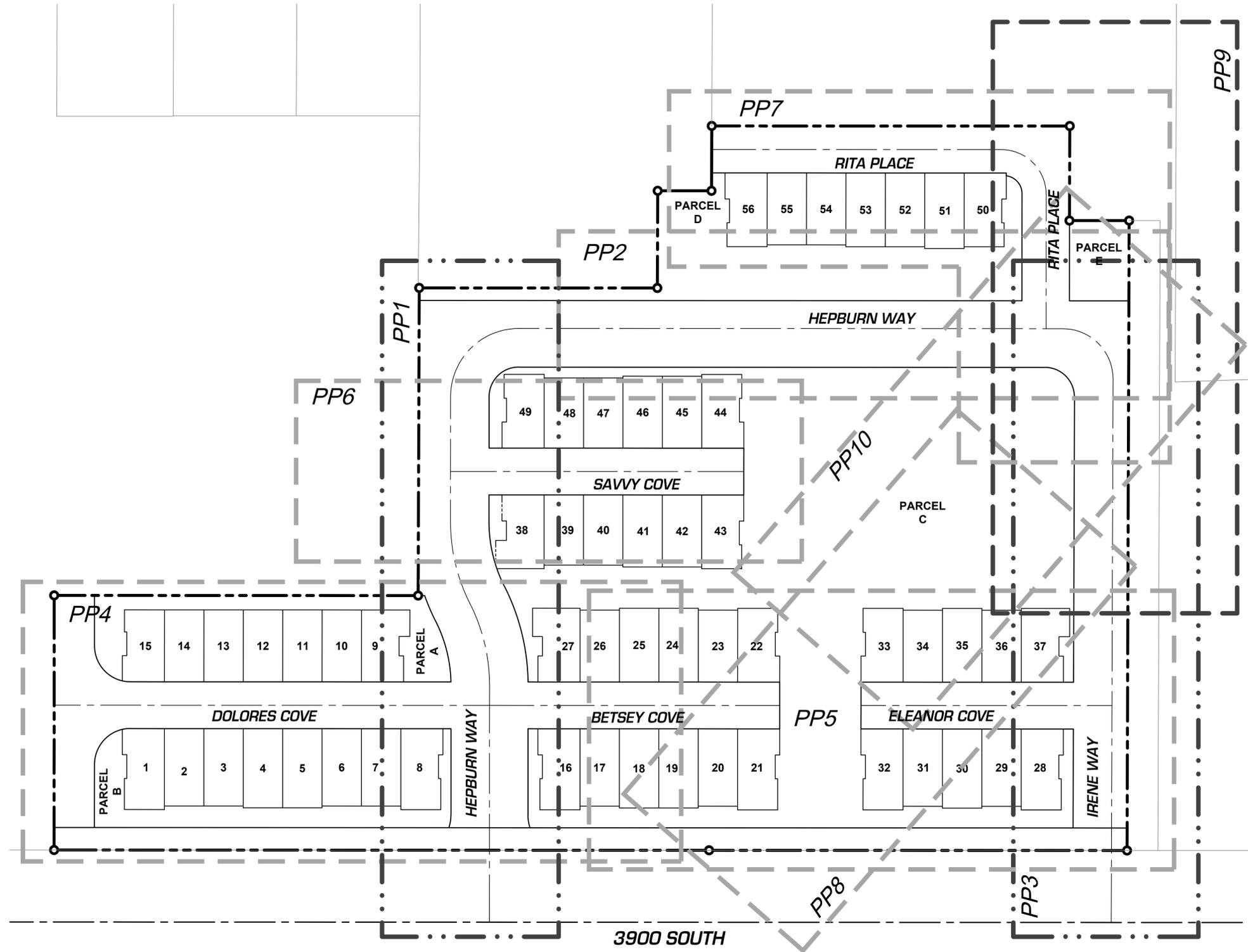
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**CS2**

21 of 41

PLAN: 17\_PP-KEY.dwg Key Sheet.dwg PLOTTED: October 5, 2022 3:42 P



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#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES  
**PLAN AND PROFILE KEY SHEET**  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D
H. SCALE: 1" = 30'
V. SCALE: N/A
DATE: SEPT. 30, 2022
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SHEET NO.  
**PP-KEY**  
22 of 41

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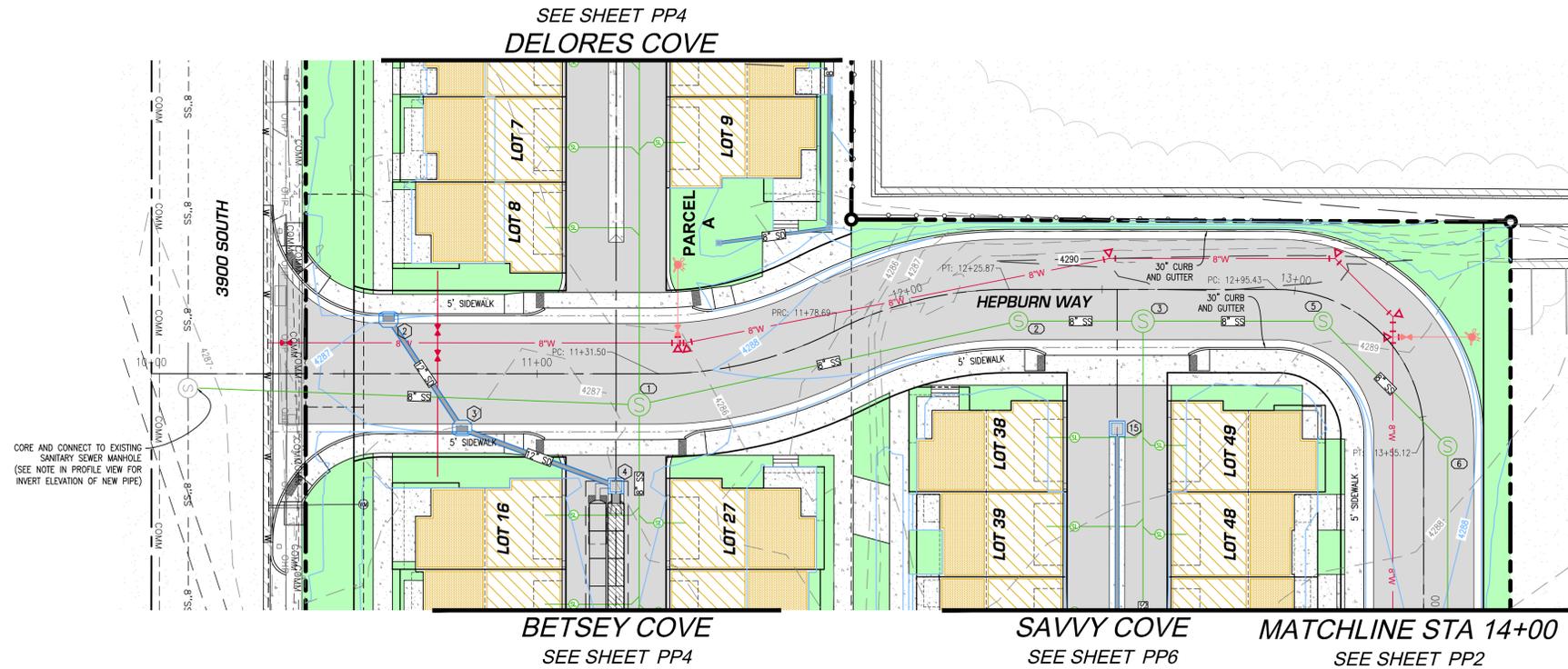


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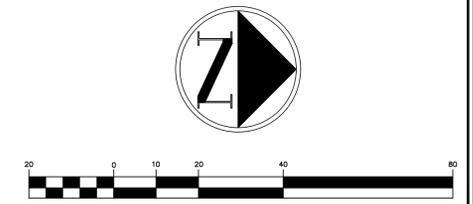
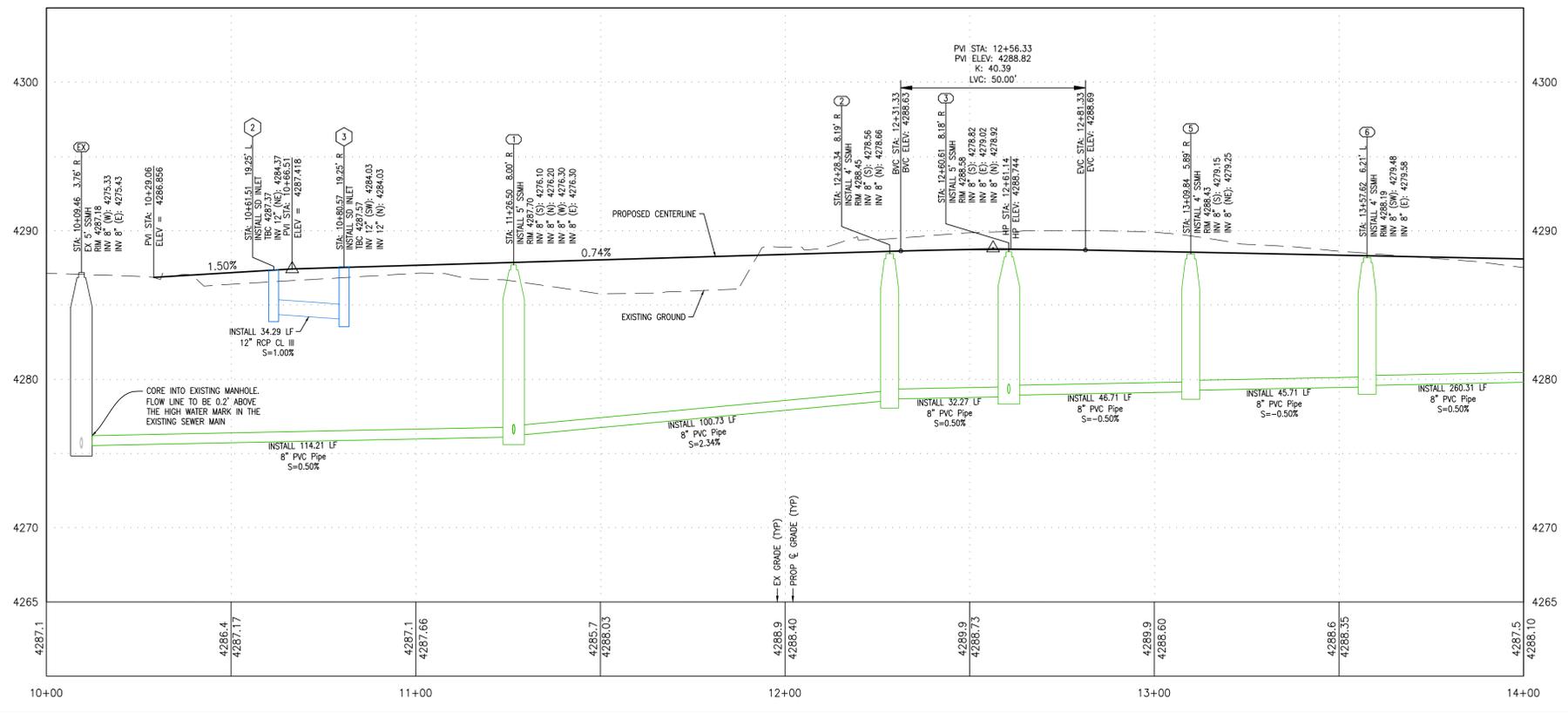
THE MONROE TOWNHOMES  
**HEPBURN WAY**  
 STA 10+00 TO 14+00  
 600 EAST 3900 SOUTH  
 SOUTHSALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D  
 H. SCALE: 1" = 20'  
 V. SCALE: 1" = 5'  
 DATE: SEPT. 30, 2022  
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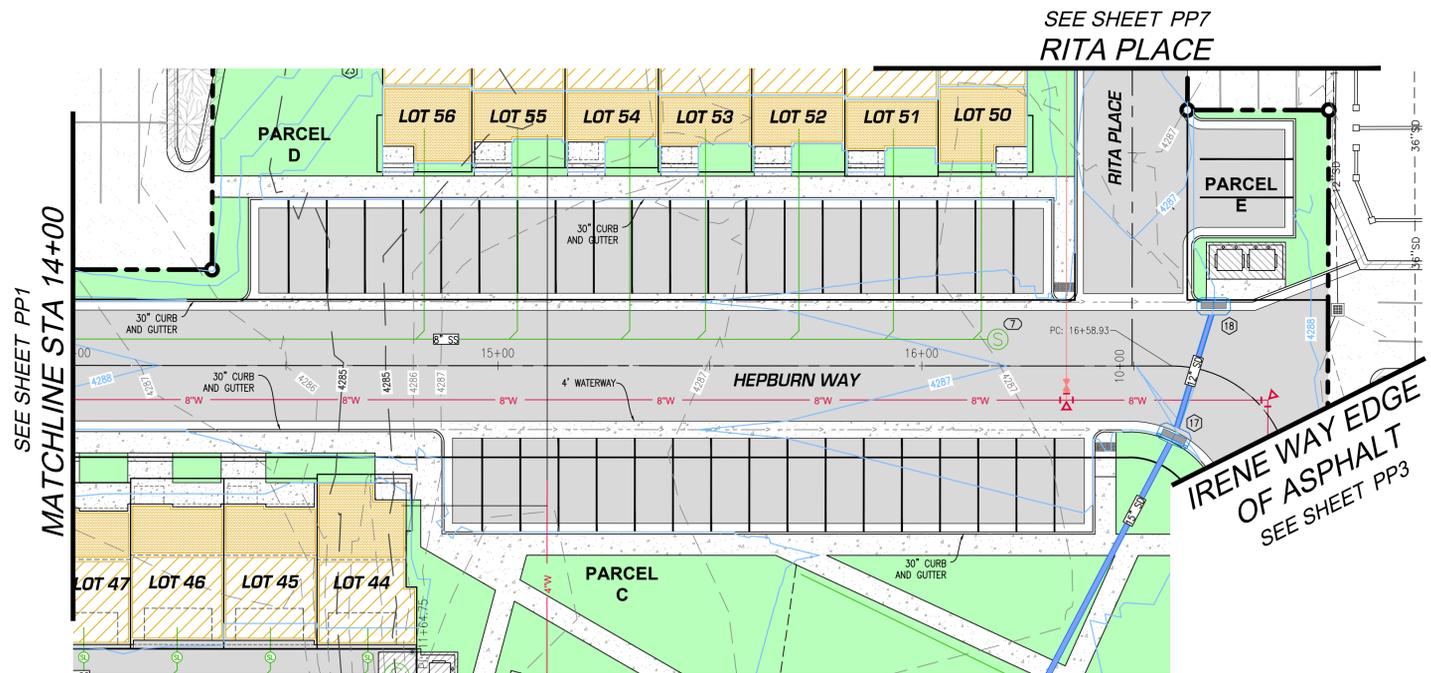
SHEET NO.  
**PP1**  
 23 of 41



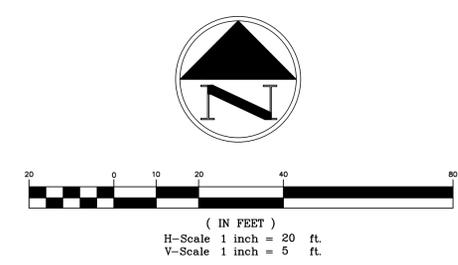
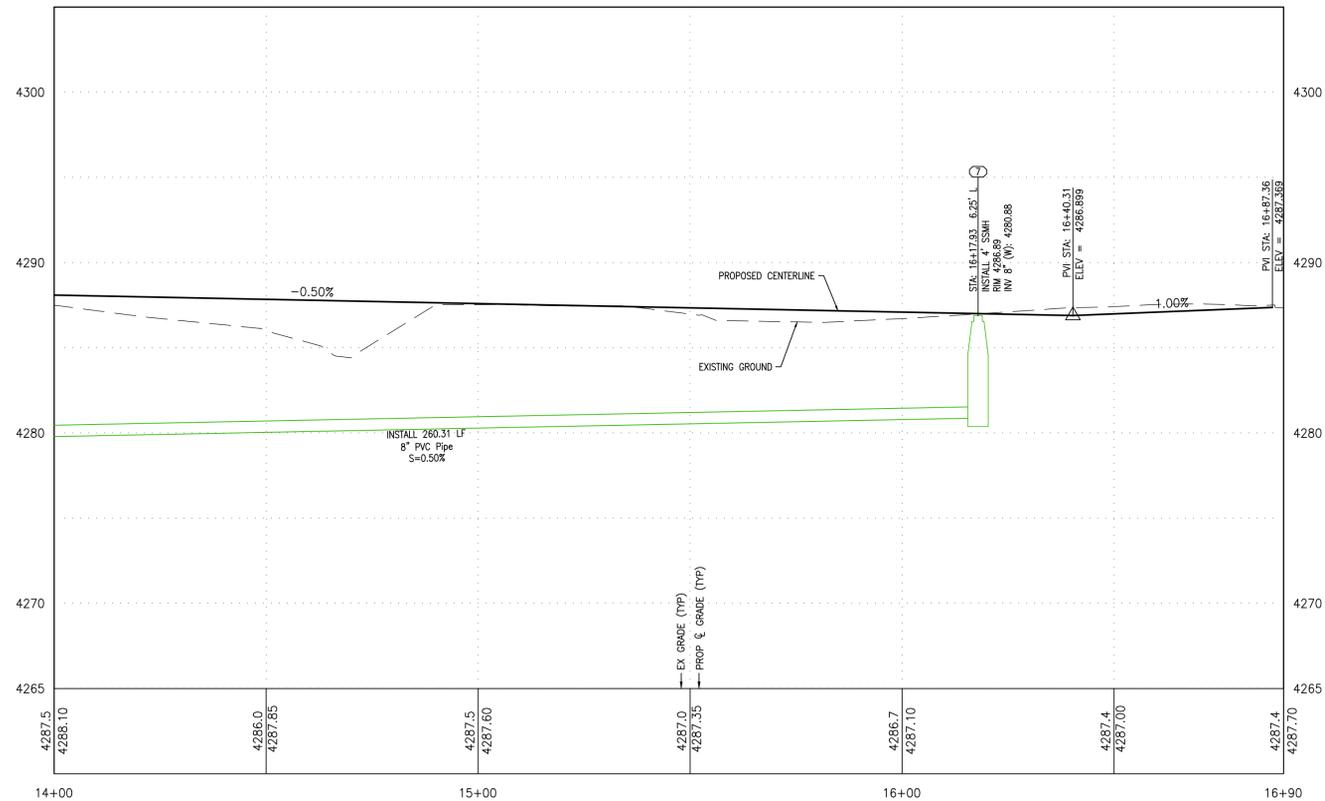
**HEPBURN WAY**  
 STA. 10+00.00 TO 14+00.00



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STA. 14+00.00 TO 16+90.00



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12/16/2022  
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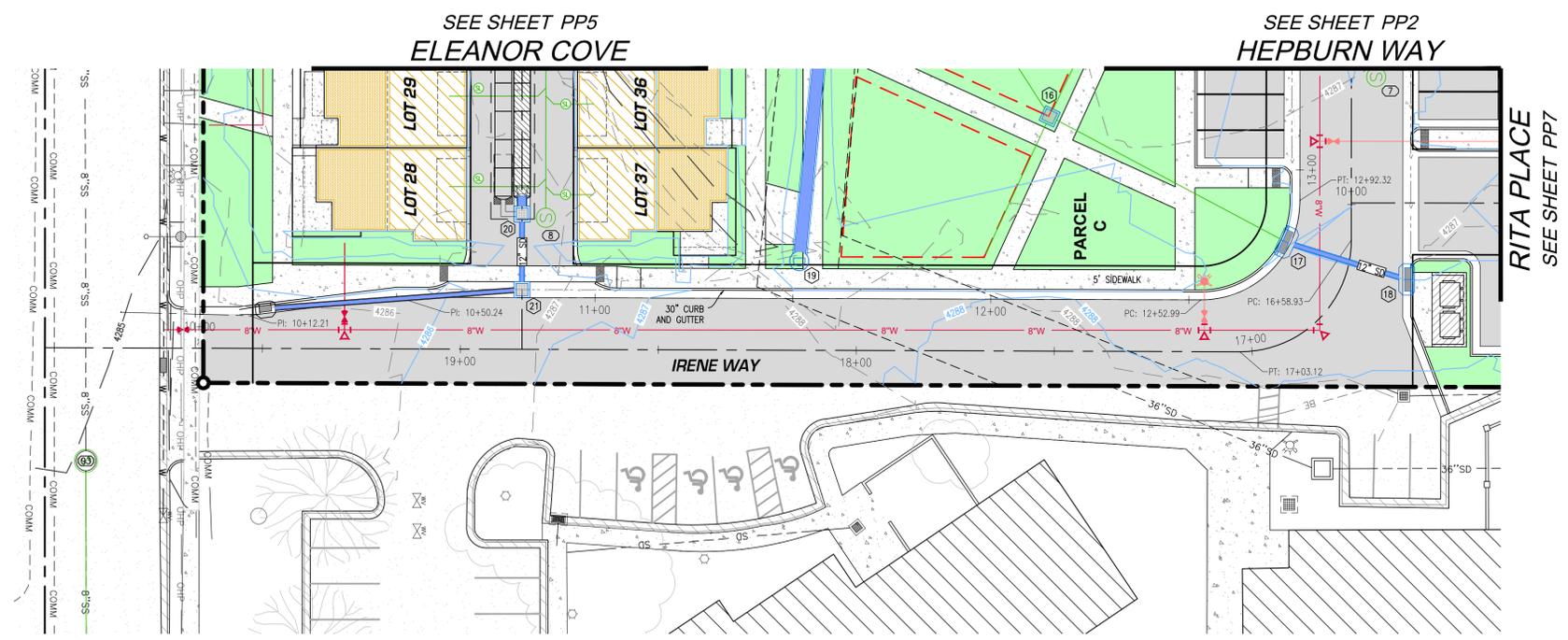
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1	12/16/22	JHT	ADDRESS CITY COMMENTS

THE MONROE TOWNHOMES  
**HEPBURN WAY**  
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600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

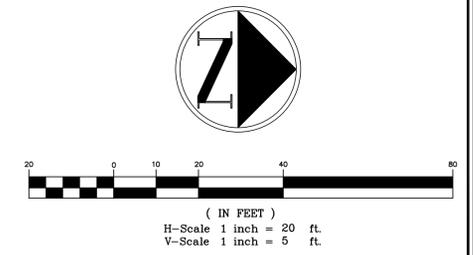
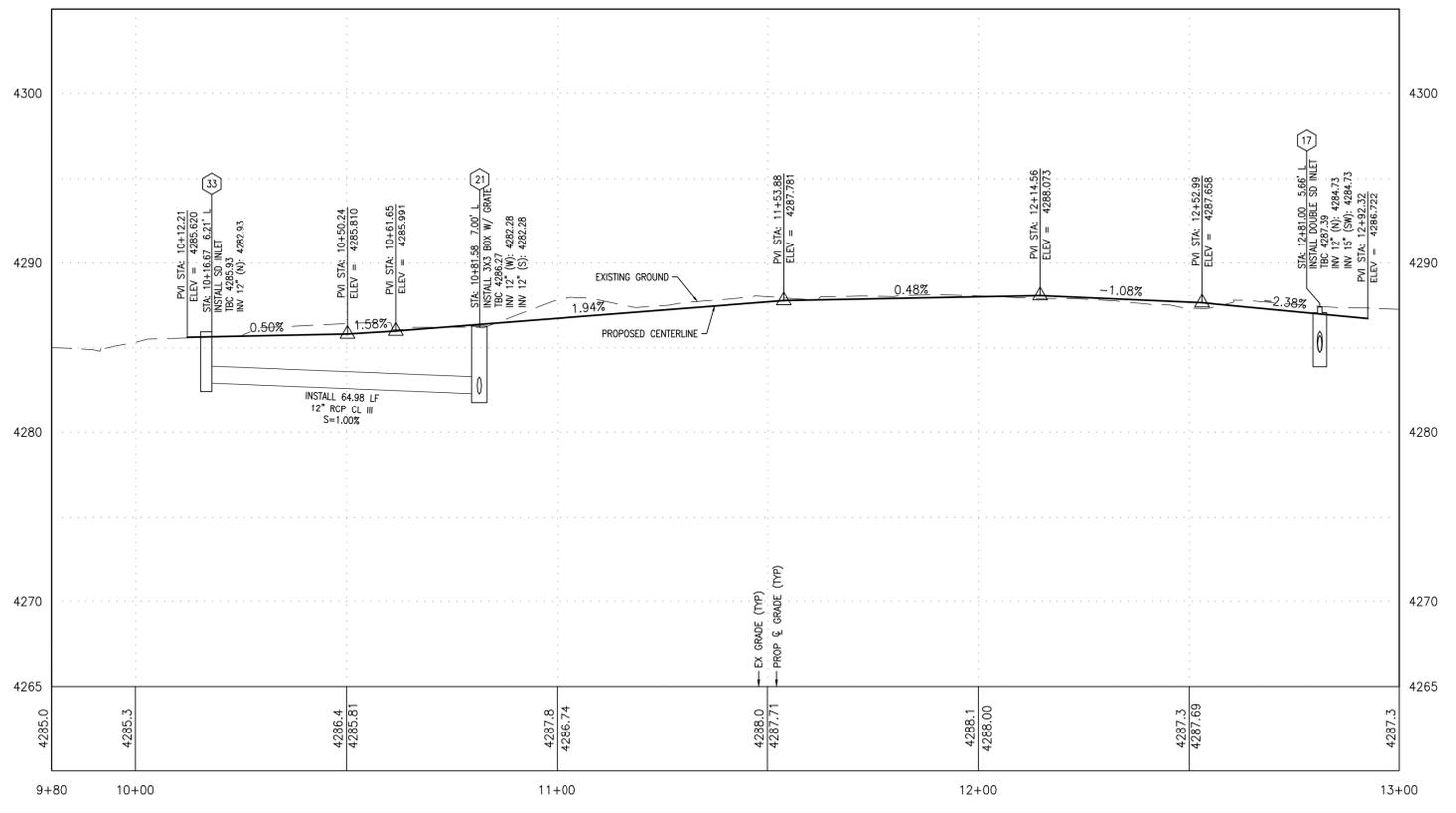
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H. SCALE: 1" = 20'  
V. SCALE: 1" = 5'  
DATE: SEPT. 30, 2022  
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SHEET NO.  
**PP2**  
24 of 41

PAH: 19\_PP2\_Plan & Profile.dwg PLOTTED: December 15, 2022 11:15 A



**IRENE WAY EDGE OF ASPHALT**  
STA. 9+80.00 TO 13+00.00



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STATE OF UTAH

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THE MONROE TOWNHOMES

**IRENE WAY EDGE OF ASPHALT**  
STA 9+80 TO 13+00

600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

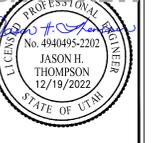
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H. SCALE: 1" = 20'
V. SCALE: 1" = 5'
DATE: SEPT. 30, 2022
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SHEET NO.  
**PP3**  
25 of 41



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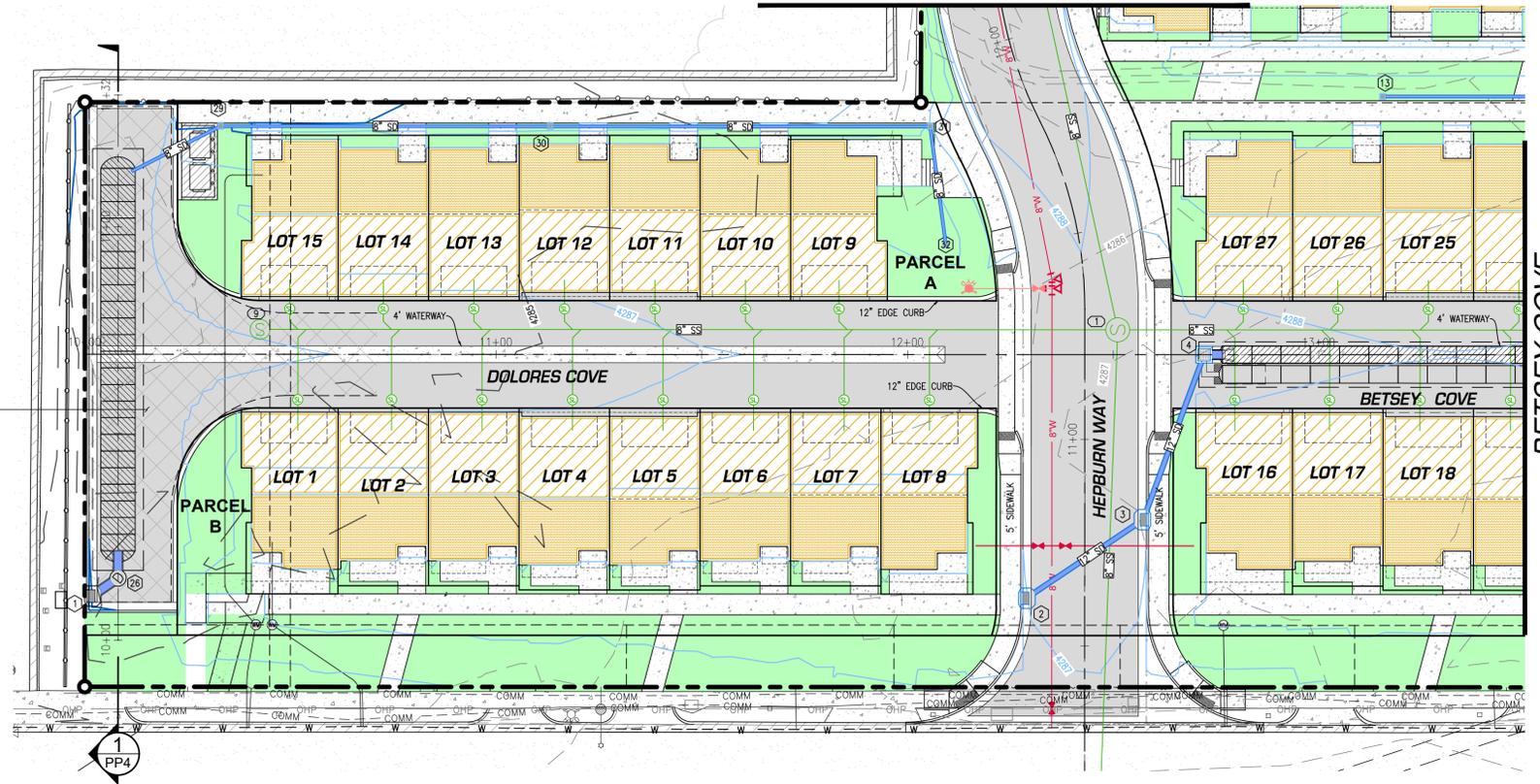
REVISIONS	
#	DESCRIPTION
1	ADDRESS CITY COMMENTS

THE MONROE TOWNHOMES  
**DOLORES AND BETSEY COVE**  
 STA 9+80 TO 13+50  
 600 EAST 3900 SOUTH  
 SOUTHSALT LAKE CITY, SALT LAKE COUNTY, UTAH

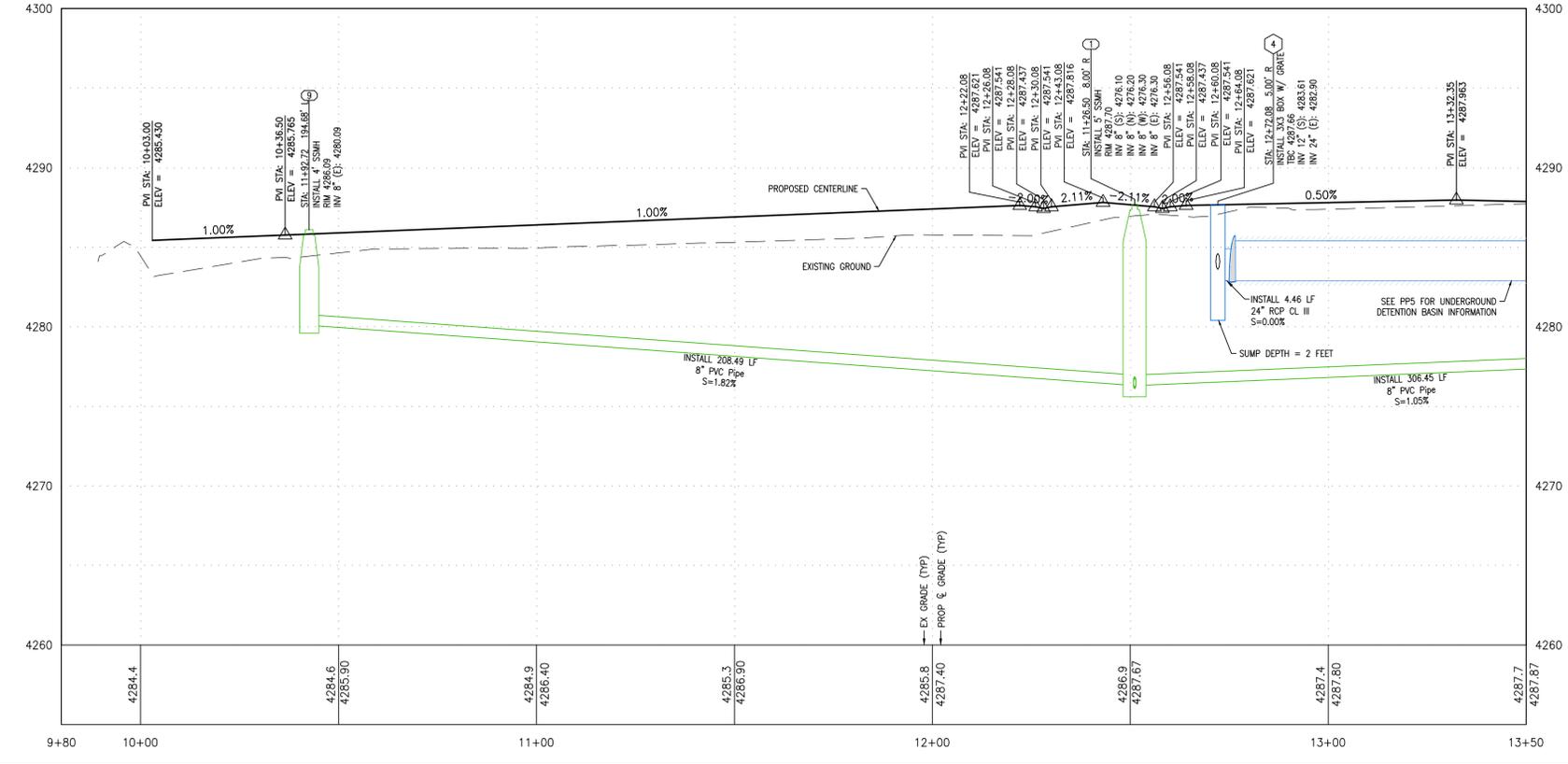
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 DATE: SEPT. 30, 2022  
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SHEET NO.  
**PP4**  
 26 of 41

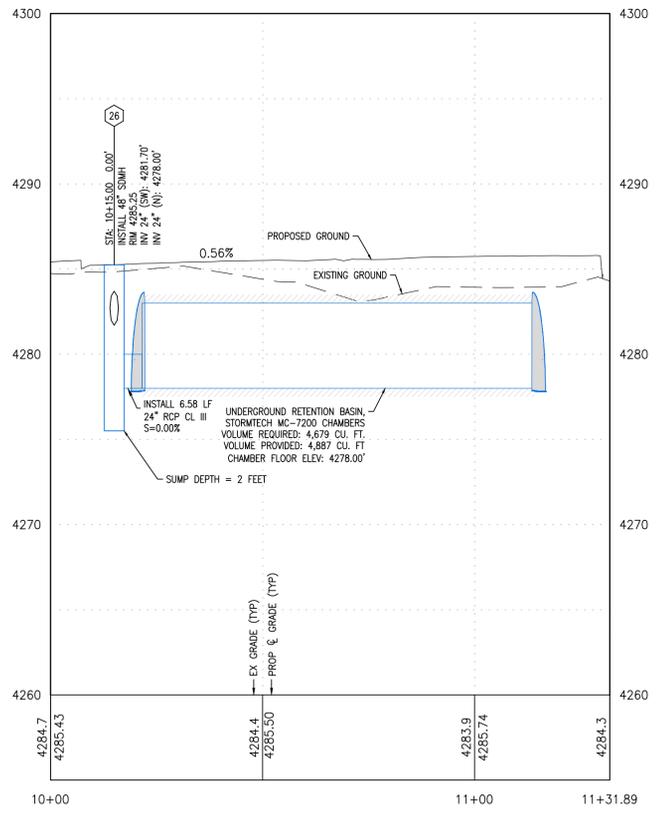
SEE SHEET PP1  
 HEPBURN WAY



**DOLORES AND BETSEY COVE**  
 STA. 9+80.00 TO 13+50.00

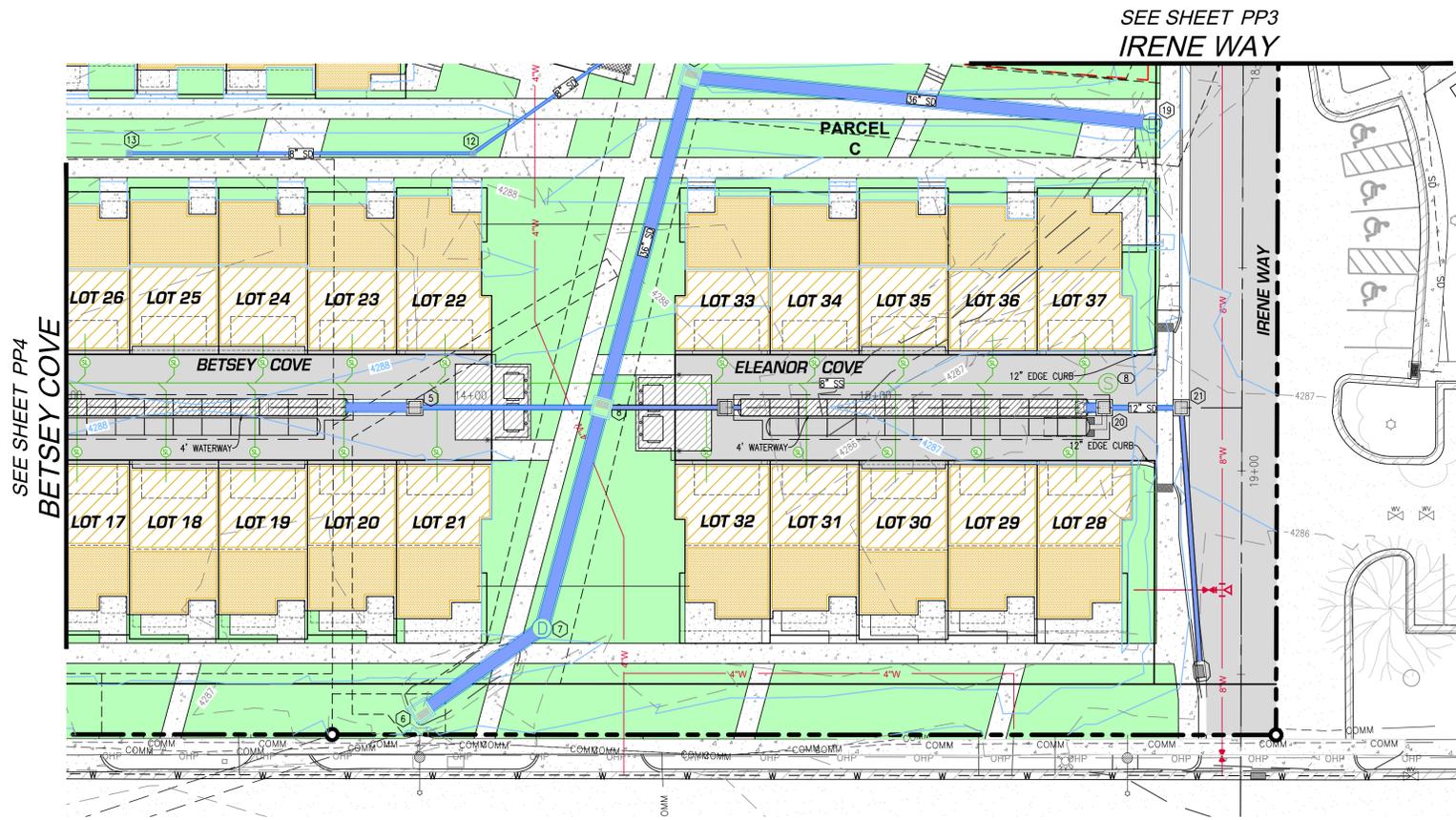


**SECTION 1**  
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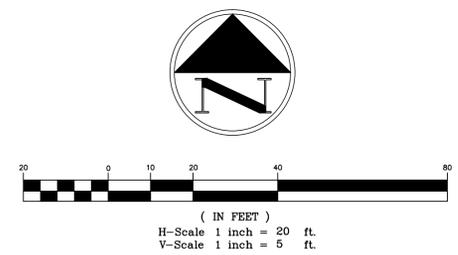
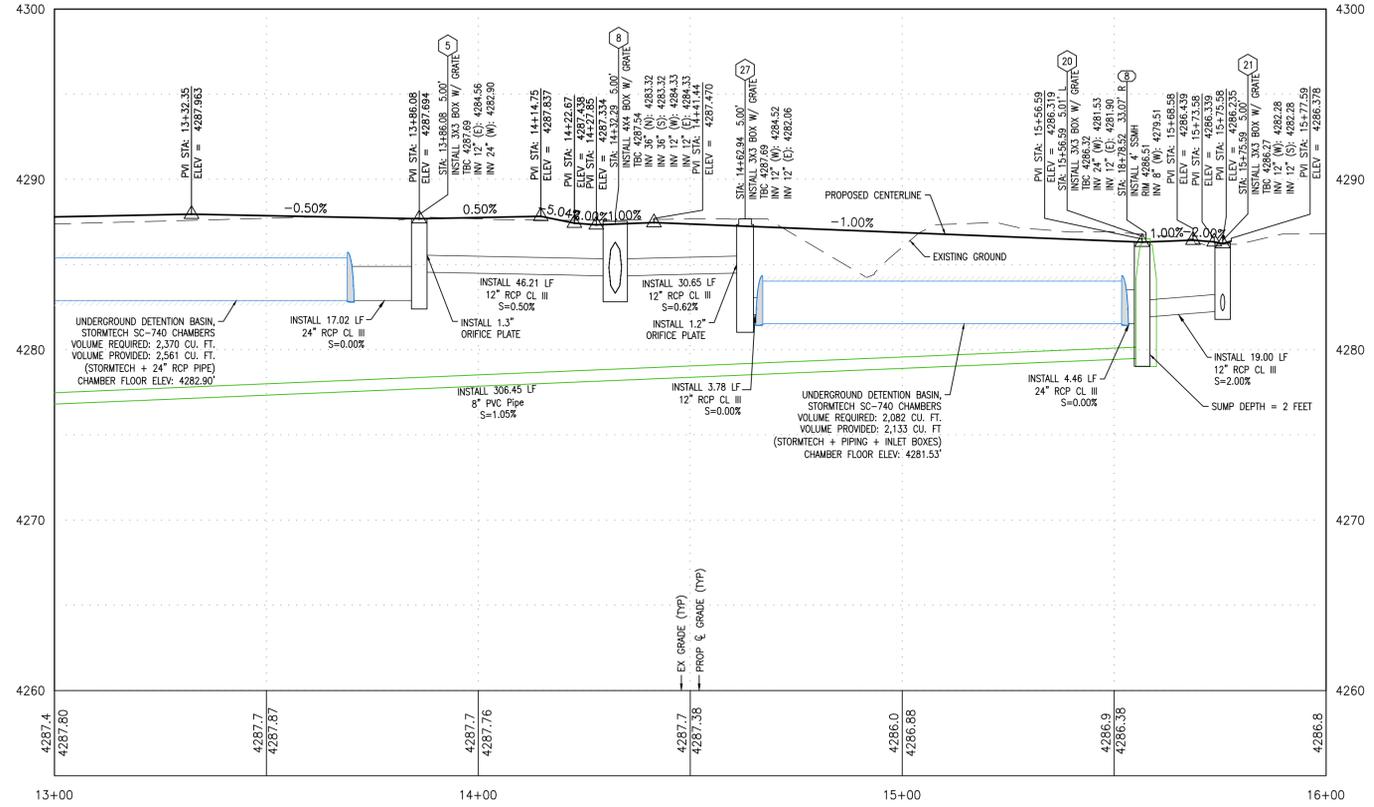


( IN FEET )  
 H-SCALE 1 inch = 20 ft.  
 V-SCALE 1 inch = 5 ft.

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**BETSY AND ELEANOR COVE**  
STA. 13+00.00 TO 16+00.00



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**BETSEY AND ELEANOR COVE**  
STA 13+00 TO 16+00  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D

H SCALE: 1" = 20'

V SCALE: 1" = 5'

DATE: SEPT. 30, 2022

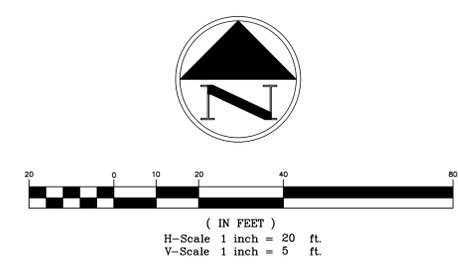
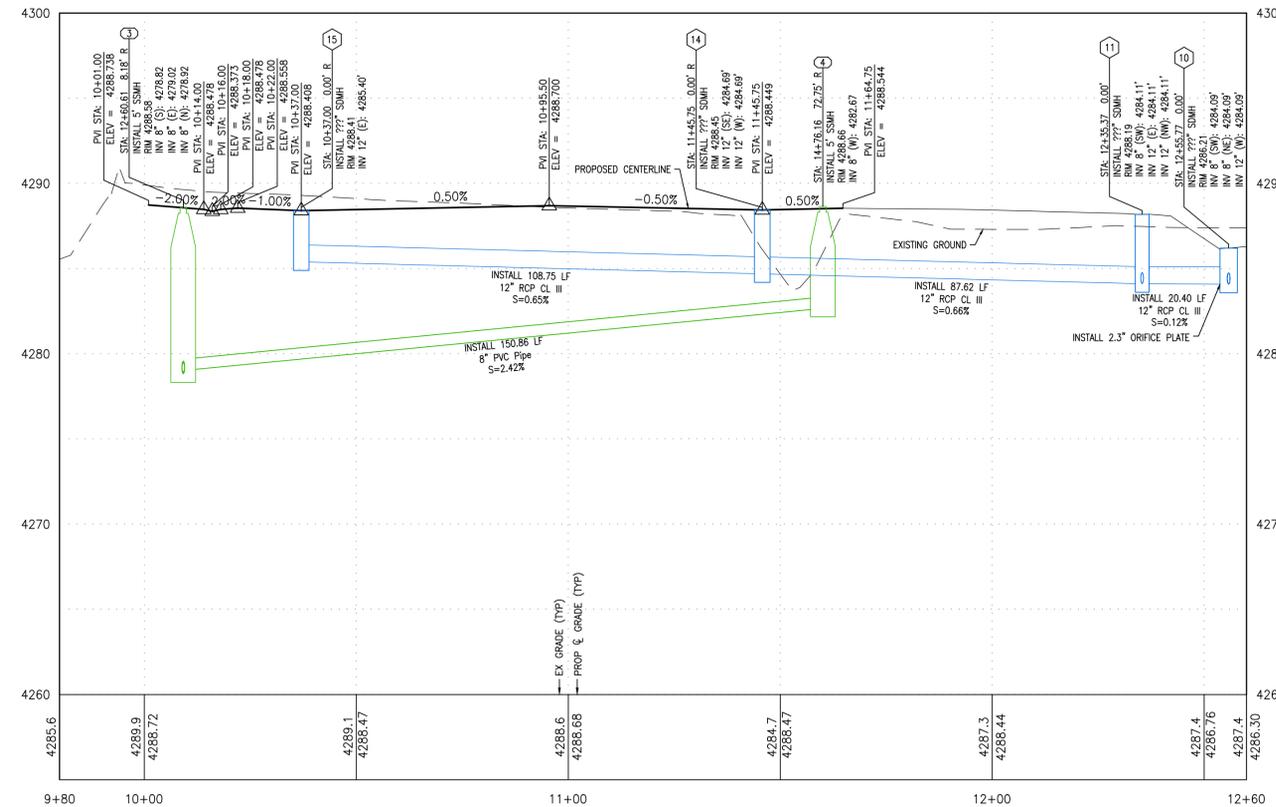
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**PP5**  
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### SAVVY COVE

STA. 9+80.00 TO 12+60.00



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PRELIMINARY FOR REVIEW

PROFESSIONAL SEAL  
JASON H. THOMPSON  
No. 494095-2202  
12/16/2022  
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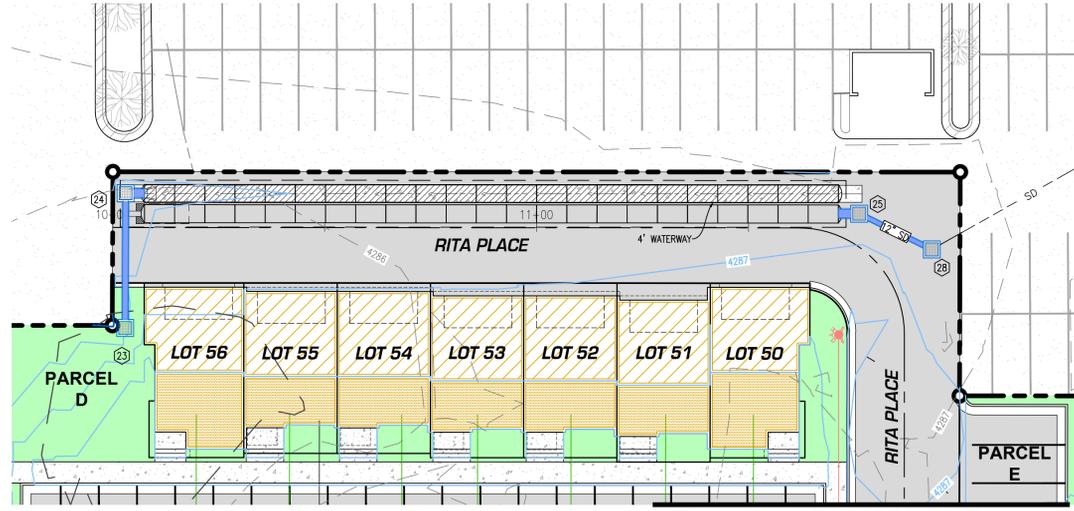
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1	12/16/22	JHT	ADDRESS CITY COMMENTS

THE MONROE TOWNHOMES  
**SAVVY COVE**  
STA 9+80 TO 12+50  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

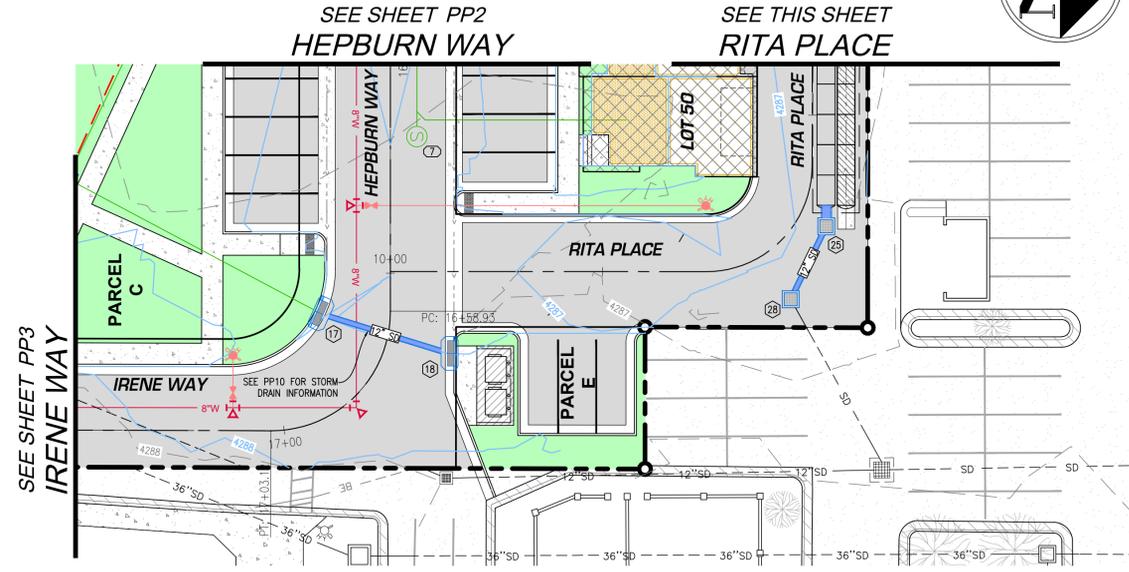
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H. SCALE: 1" = 20'  
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DATE: SEPT. 30, 2022  
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SHEET NO.  
**PP6**  
28 of 41

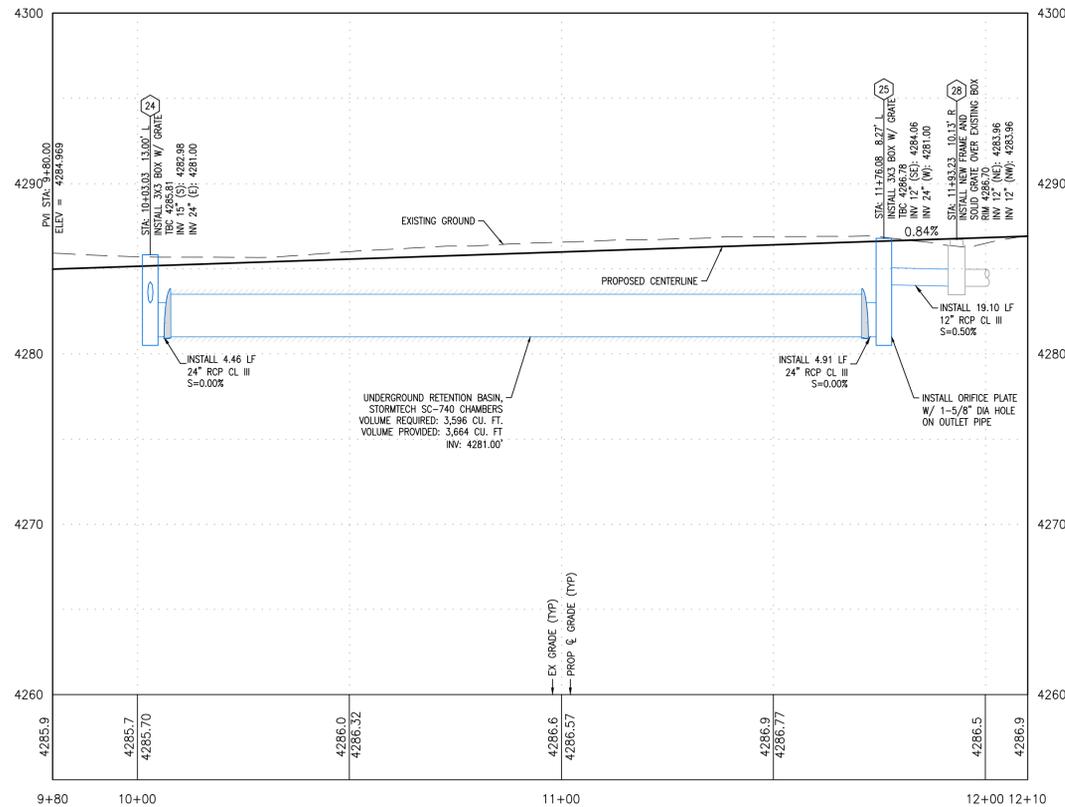
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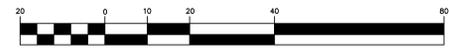
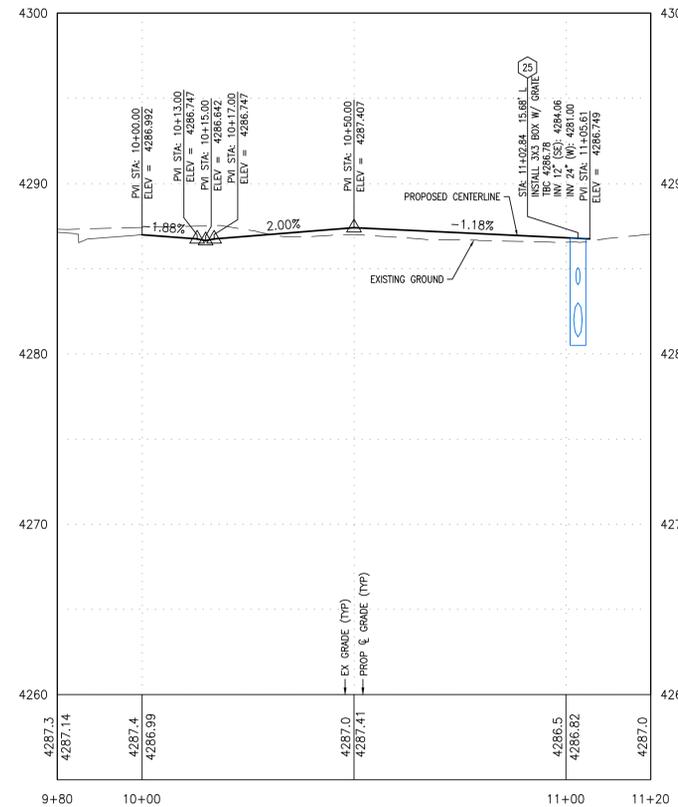
RITA PLACE  
SEE THIS SHEET



RITA PLACE  
STA. 9+80.00 TO 12+10.00



RITA PLACE  
STA. 9+80.00 TO 11+20.00



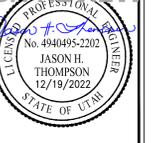
( IN FEET )  
H-SCALE 1 inch = 20 ft.  
V-SCALE 1 inch = 5 ft.

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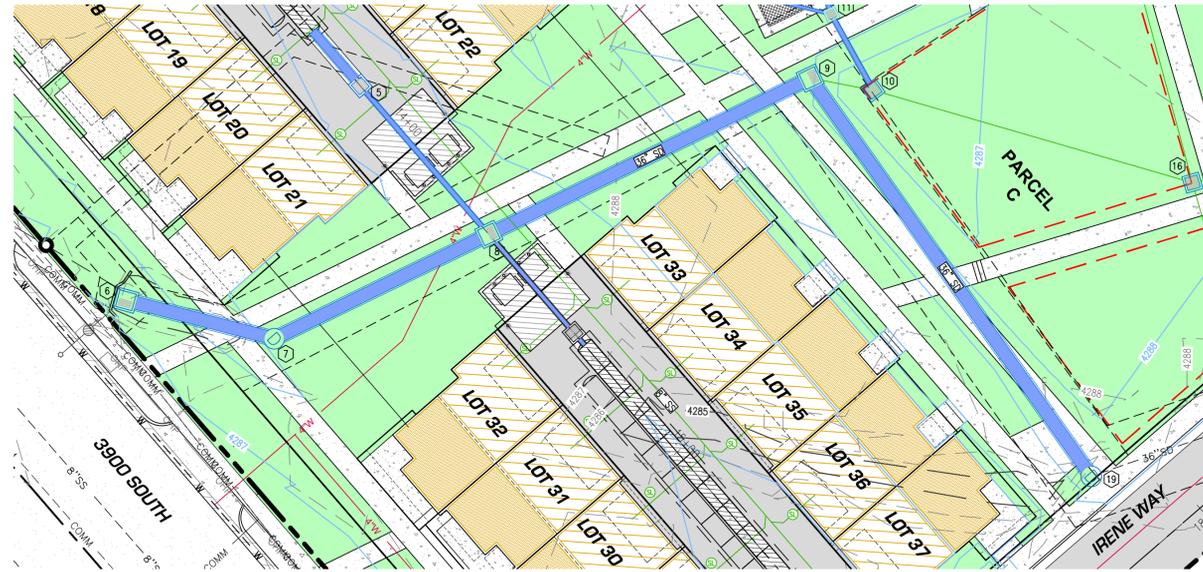


#	DATE	BY	DESCRIPTION
1	12/16/22	JHT	ADDRESS CITY COMMENTS

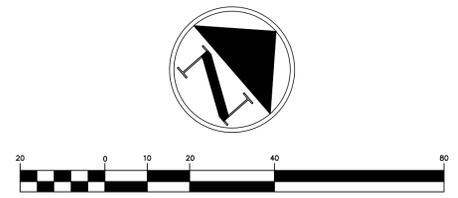
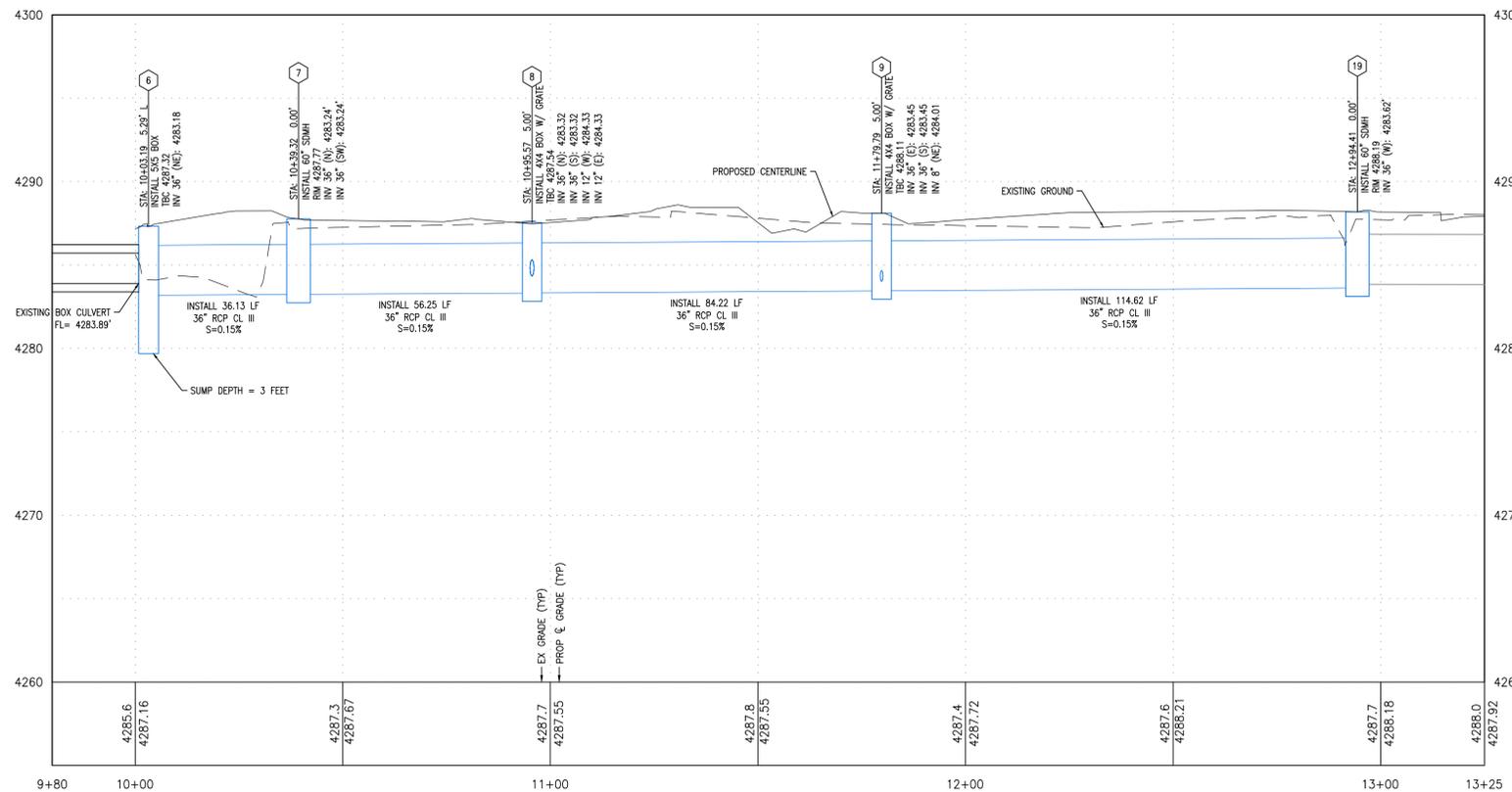
THE MONROE TOWNHOMES  
**RITA PLACE**  
STA 9+80 TO 12+10  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D  
H. SCALE: 1" = 20'  
V. SCALE: 1" = 5'  
DATE: SEPT. 30, 2022  
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**PP7**  
29 of 41



### 36" STORM DRAIN STA. 9+80.00 TO 13+25.00



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PRELIMINARY  
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#	DATE	BY	DESCRIPTION	REVISIONS
1	12/16/22	JHT	ADDRESS CITY COMMENTS	

THE MONROE TOWNHOMES  
**36" STORM DRAIN**  
**STA 9+80 TO 13+25**  
 600 EAST 3900 SOUTH  
 SOUTHSALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D

H. SCALE: 1" = 20'

V. SCALE: 1" = 5'

DATE: SEPT. 30, 2022

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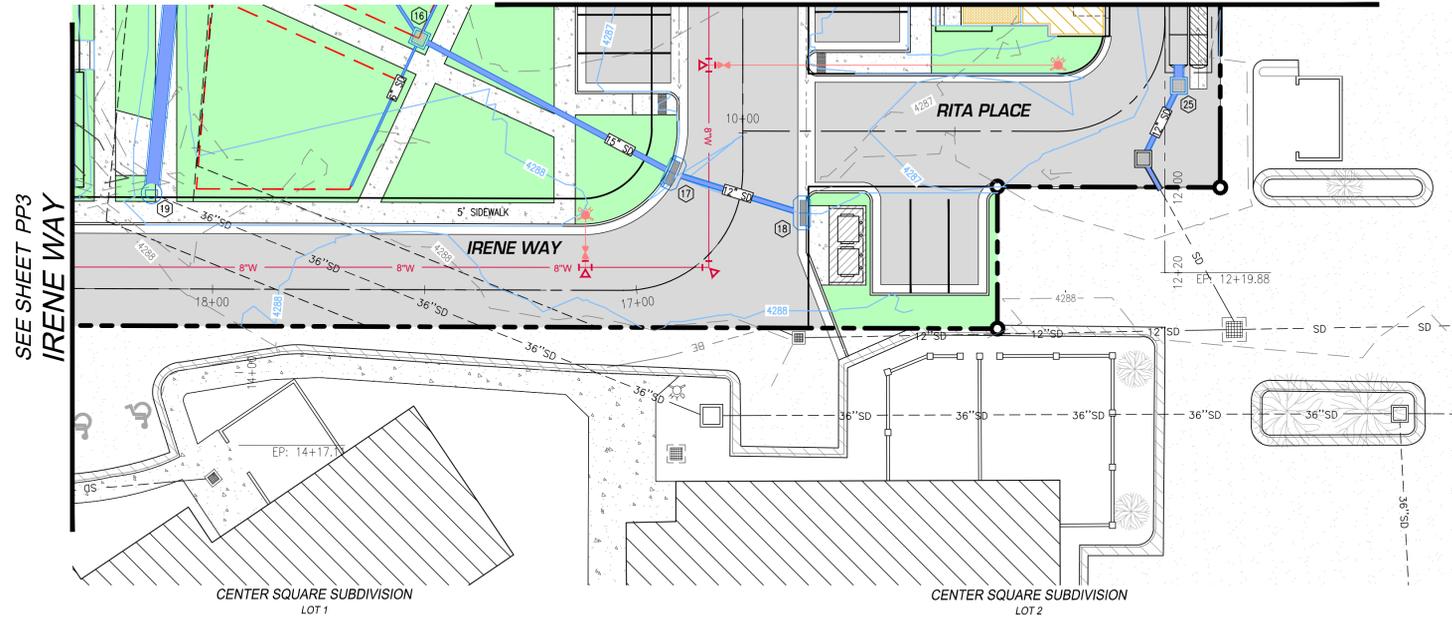
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**PP8**

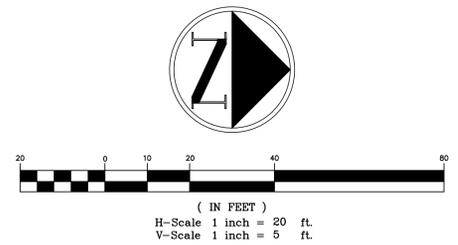
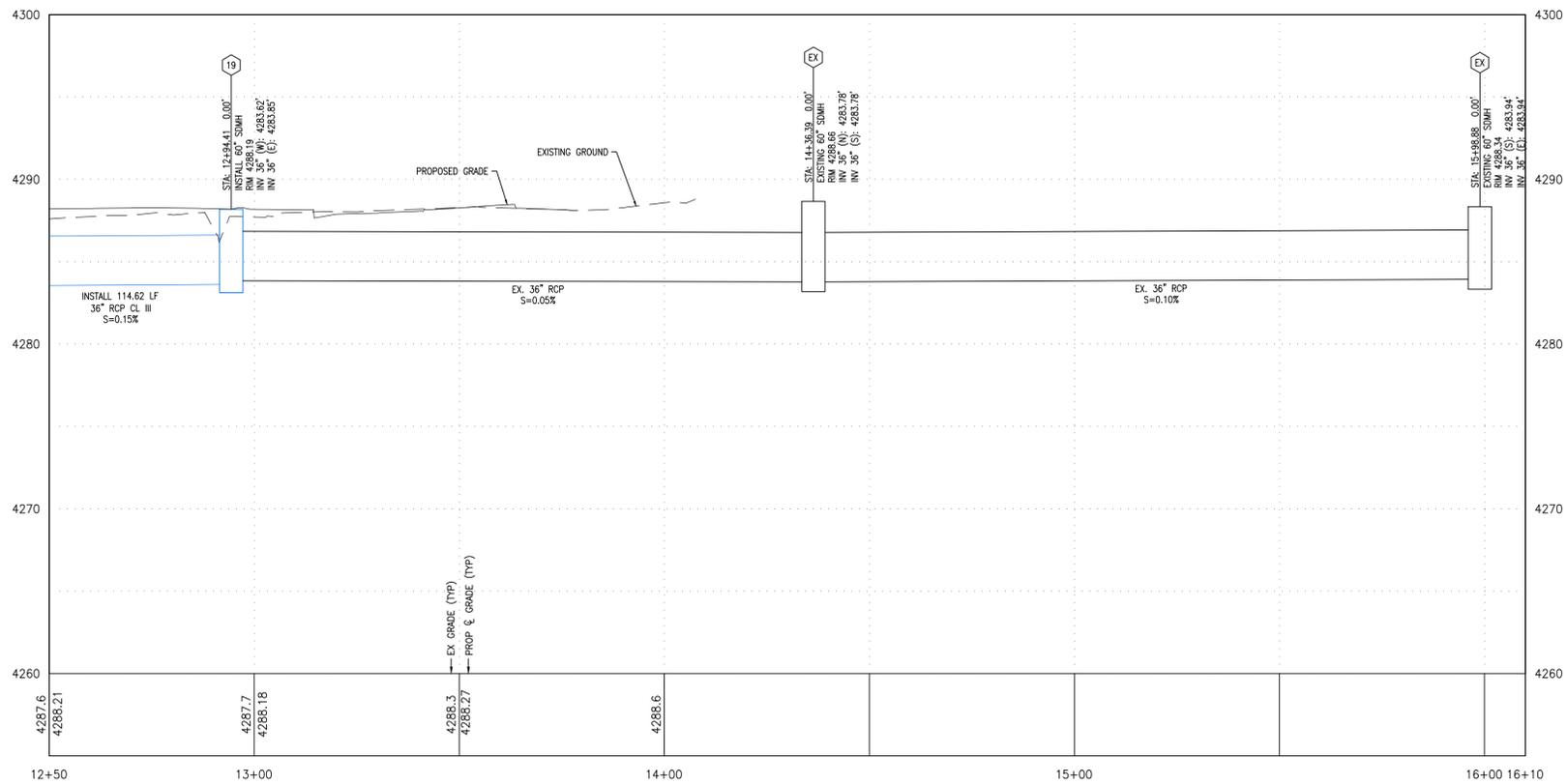
30 of 41

SEE SHEET PP2  
HEPBURN WAY

SEE SHEET PP7  
RITA PLACE



**36" STORM DRAIN**  
STA. 12+50.00 TO 16+10.00



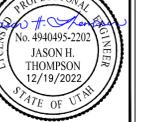
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#	DATE	BY	DESCRIPTION
1	12/19/22	JHT	ADDRESS CITY COMMENTS

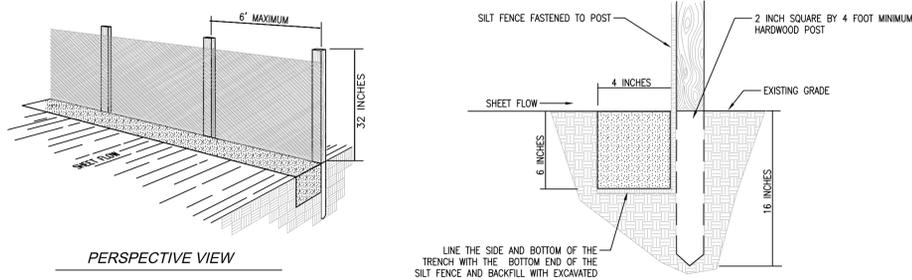
THE MONROE TOWNHOMES  
**36" STORM DRAIN**  
STA 12+50 TO 16+10  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D  
H. SCALE: 1" = 20'  
V. SCALE: 1" = 5'  
DATE: SEPT. 30, 2022  
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**PP9**  
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PERSPECTIVE VIEW

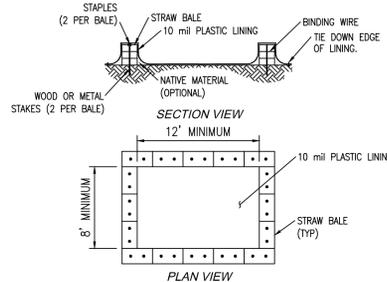
PLAN VIEW

**SILT FENCE GENERAL NOTES:**

- WHERE POSSIBLE, LAYOUT THE SILT FENCE 5 FOOT TO 10 FOOT BEYOND THE TOE OF SLOPE.
- ALIGN THE FENCE ALONG THE CONTOUR AS CLOSE AS POSSIBLE.
- WHEN EXCAVATING THE TRENCH, USE MACHINERY THAT WILL PRODUCE NO MORE THAN THE DESIRED DIMENSIONS.
- AVOID USING JOINTS ALONG THE FENCE AS MUCH AS POSSIBLE. IF A JOINT IS NECESSARY, SPLICE THE SILT FENCE AT A POST WITH A 6 INCH OVERLAP AND SECURELY FASTEN BOTH ENDS TO THE POST.
- MAINTAIN A PROPERLY FUNCTIONING SILT FENCE THROUGHOUT THE DURATION OF THE PROJECT OR UNTIL DISTURBED AREAS HAVE BEEN VEGETATED.
- REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA.
- WHEN PLACING FENCE ON SLOPES STEEPER THAN 2:1 SEE SWPPP REPORT.

**1 SILT FENCE DETAIL**

SCALE: N.T.S.

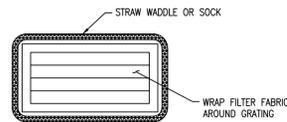


**CONCRETE WASHOUT GENERAL NOTES:**

- TEMPORARY CONCRETE WASHOUT TYPE ABOVE GRADE WILL BE CONSTRUCTED AS SHOWN ABOVE, WITH A RECOMMENDED MINIMUM LENGTH OF 12 FEET AND WIDTH OF 8 FEET.
- THE WASHOUT WILL BE A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS.
- PLASTIC LINING WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
- SIGNS SHALL BE POSTED MARKING THE LOCATION OF THE WASHOUT AREA TO ENSURE EQUIPMENT OPERATORS USE THE PROPER FACILITY.
- THE WASHOUT AREA WILL BE CONSTRUCTED BEFORE CONCRETE POURS OCCUR AT THE SITE.
- THE WASHOUT AREAS WILL BE INSPECTED DAILY TO ENSURE THAT ALL CONCRETE WASHING IS BEING DISCHARGED INTO THE WASHOUT AREA. NO LEAKS OR TEARS ARE PRESENT, AND TO IDENTIFY WHEN CONCRETE WASTES NEED TO BE REMOVED. THE WASHOUT AREAS WILL BE CLEANED OUT ONCE THE AREA IS FILLED TO 75 PERCENT OF THE HOLDING CAPACITY. THEN THE CONCRETE WASTES WILL BE ALLOWED TO HARDEN, BE BROKEN UP, AND REMOVED.

**3 CONCRETE WASHOUT AREA**

SCALE: N.T.S.

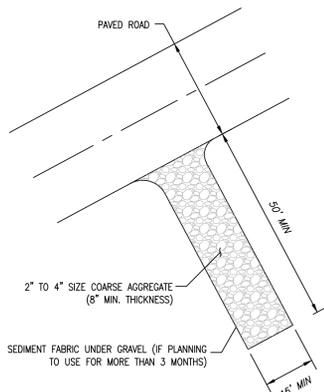


**INLET PROTECTION GENERAL NOTES:**

- PLACE WOOD BOARD OVER TOP OF BOX UNTIL READY TO PLACE TOP SECTION WITH INLET GRATE.
- SURROUND INLET BOX WITH STRAW WADDLE OR SOCK UNTIL PLACEMENT OF CONCRETE COLLAR, WATERWAYS AND ASPHALT.
- PROVIDE MINIMUM 2 FOOT OVERLAP OF ENDS OF WADDLE OR SOCK TO ENSURE NO GAP OCCURS. SECURE SECTIONS TO EACH OTHER AT BOTH ENDS OF THE OVERLAP.
- AFTER COMPLETION OF THE TOP OF BOX, WRAP INLET GRATE WITH FILTER FABRIC AND PLACE ON INLET.
- INSPECT WEEKLY AND AFTER STORM EVENTS. REMOVE ACCUMULATED SILTS ON THE FILTER FABRIC. REPLACE FILTER FABRIC IF RIPPED.
- CLEAN OUT INLET BOX AT END OF CONSTRUCTION.

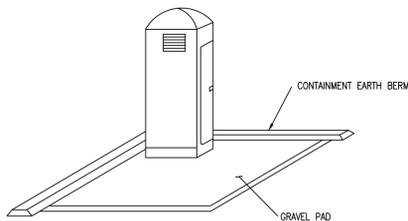
**2 INLET PROTECTION**

SCALE: N.T.S.



**4 STABILIZED CONSTRUCTION ENTRANCE**

SCALE: N.T.S.



**5 PORTABLE TOILET**

SCALE: N.T.S.

**PORTABLE TOILET GENERAL NOTES:**

- LOCATE PORTABLE TOILETS IN CONVENIENT LOCATIONS THROUGHOUT THE SITE.
- PREPARE LEVEL, GRAVEL SURFACE AND PROVIDE CLEAR ACCESS TO THE TOILETS FOR SERVICING AND FOR ON-SITE PERSONNEL.
- CONSTRUCT EARTH BERM PERIMETER (SEE EARTH BERM BARRIER INFORMATION SHEET), CONTROL FOR SPILL/PROTECTION LEAK.
- PORTABLE TOILETS SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY LICENSED SERVICE WITH DAILY OBSERVATION FOR LEAK DETECTION.
- REGULAR WASTE COLLECTION SHOULD BE ARRANGED WITH LICENSED SERVICE.

**EROSION & SEDIMENTATION CONTROL NOTES**

- AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
- THE CONTRACTOR SHALL REMOVE LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, FROM THE SITE ON A DAILY BASIS, OR AS A MINIMUM, PRIOR TO ANY ANTICIPATED STORM EVENT; OR OTHERWISE PREVENT SUCH MATERIAL FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
- CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLE WILL ENTER OR EXIT THE SITE. VEHICLE TRACKING CONTROL FACILITIES, SILT FENCE, AND INLET PROTECTION WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY FOR PHASING OF THE WORK, UNTIL ALL WORK IS COMPLETE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING STREETS CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, THE CONTRACTOR SHALL REMOVE OFF-SITE ACCUMULATIONS OF SEDIMENT IMMEDIATELY TO MINIMIZE OFF SITE IMPACTS. AT NO TIME SHALL SEDIMENT BE WASHED DOWN UNPROTECTED INLETS INTO THE PUBLIC STORM SEWER SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED, AND SHALL REMOVE SEDIMENT FROM SEDIMENT TRAPS OR PONDS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- EXCEPT AS PROVIDED IN (A), (B), AND (C) BELOW, THE CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
  - WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
  - IN ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 0-10 INCHES), SEMI-ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 10 TO 20 INCHES), AND AREAS EXPERIENCING DROUGHTS WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IS PRECLUDED BY SEASONAL ARID CONDITIONS, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
- EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL IN PROPOSED PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED OR SEED PER PLAN.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF SPANISH FORK CITY MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ANY NECESSARY CHANGES AND POSTING ANY UPDATES TO THE PLANS AND RECORDING CHANGES IN THE STORMWATER POLLUTION PLAN DOCUMENT.
- THIS PLAN IS ONLY TO BE USED FOR INSTALLATION OF EROSION CONTROL FACILITIES. DO NOT USE THIS PLAN FOR FINISH GRADING OR STORM SEWER CONSTRUCTION. PLEASE NOTE THAT BOTH EXISTING AND PROPOSED CONTOURS ARE SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL AMEND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHENEVER:
  - THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN;
  - INSPECTIONS OR INVESTIGATIONS BY SITE OPERATORS, LOCAL, STATE, OR FEDERAL OFFICIALS INDICATE THE SWPPP IS PROVING INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART III.D.1. OF THE PERMIT, OR IS OTHERWISE NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY; AND
  - A NEW CONTRACTOR AND/OR SUBCONTRACTOR WILL IMPLEMENT A MEASURE OF THE SWPPP IN ORDER TO IDENTIFY THEIR ROLE AND RESPONSIBILITY FOR THE SWPPP. AMENDMENTS TO THE PLAN MAY BE REVIEWED BY THE EXECUTIVE SECRETARY (OR AUTHORIZED REPRESENTATIVE) IN THE SAME MANNER AS PART III.B.2. OF THE PERMIT.
- THE CONTRACTOR SHALL KEEP A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, AND INCLUDE THIS INFORMATION IN THE SWPPP.
- THE TOTAL AREA TO BE DISTURBED CONTAINS APPROXIMATELY 1.7 ACRES. THE ESTIMATED RUNOFF COEFFICIENT UPON COMPLETION OF CONSTRUCTION ACTIVITIES IS 0.35.
- THE CONTRACTOR SHALL NOTE THAT FLUCTUATIONS OF THE GROUNDWATER TABLE MAY OCCUR DUE TO VARIOUS FACTORS NOT EVIDENT AT THE TIME OF PREPARATION OF THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY DEWATERING PERMITS REQUIRED FOR THE PROJECT.
- THIS PROPERTY IS LOCATED IN AN AREA "SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE". SEE LETTER OF MAP REVISION (LOMC) ISSUED APRIL 14, 2015, EFFECTIVE AUGUST 24, 2015 FOR CASE No. 15-08-0603P.
- THERE ARE NO SURFACE WATER FEATURES LOCATED ON THIS SITE.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR SHALL CONTAIN AND TREAT ALL LEAKS AND SPILLS FROM ANY EQUIPMENT OR FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE. CONCRETE TRUCK WASHING SHALL BE DONE AT THE LOCATION SHOWN.
- MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS TO CONTAIN AND CLEANUP FUEL OR CHEMICAL SPILLS AND LEAKS.
- FUGITIVE DUST BLOWING FROM THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
- NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL MEASURES PRESENTED IN THE SWPPP SHALL BE INITIATED AS SOON AS PRACTICABLE.
- IF THE GRAVEL CONSTRUCTION ENTRANCES ARE NOT EFFECTIVE IN REMOVING THE MAJORITY OF DIRT OR MUD FROM THE TIRES OF THE CONSTRUCTION VEHICLES, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP AND THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
- ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAIN CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- THE CONTRACTOR SHALL POST THESE PLANS AND THE SWPPP IN THE JOB TRAILER, LOG ALL CHANGES, AND UPDATE PLANS AND THE SWPPP AS REQUIRED.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) AND CONFORM TO ALL CITY AND STATE REQUIREMENTS FOR EROSION CONTROL AND STORM WATER PROTECTION.
- IN THE UNLIKELY EVENT THAT A PHASE DOES NOT IMPROVED ACCESS AND/OR AN ACCESS ROAD IS CONSTRUCTED, BEST MANAGEMENT PRACTICES SHALL BE APPLIED IN ANY TEMPORARY OR PERMANENT STRUCTURES OR ACCESS POINTS.
- THE CONTRACTOR SHALL COMPLETE WEEKLY INSPECTION FORMS FOR THE CITY'S RECORDS, COVERING WEEKLY INSPECTIONS AND MAINTENANCE.
- EXISTING PERIMETER FENCING TO ACT AS CONSTRUCTION FENCING. IF PERIMETER FENCING IS REMOVED, A CONSTRUCTION FENCE SHALL BE INSTALLED UNTIL A NEW FENCE OR WALL IS CONSTRUCTED.

#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES

# SWPPP NOTES

600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D
H. SCALE: N/A
V. SCALE: N/A
DATE: SEPT. 30, 2022
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SHEET NO.

## EC2

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Know what's below. **811**

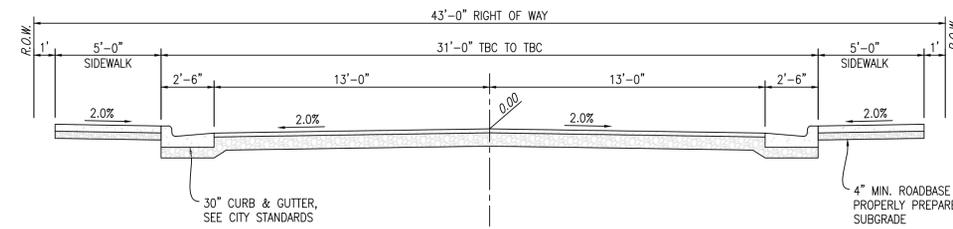
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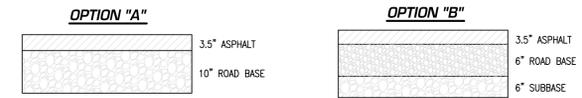
**IT Engineering, PC**  
 7886 South 2325 East  
 South Weber, Utah 84405  
 ph 801.866.7702

FOR REVIEW



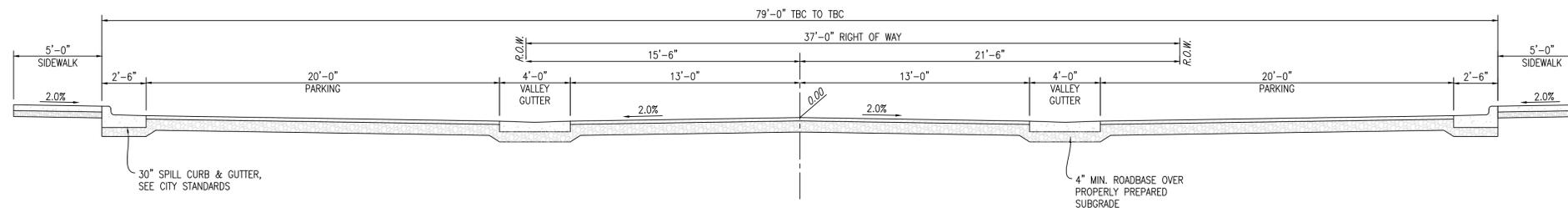
**PRIMARY ROAD - CROSS-SECTION**

SCALE: 1" = 4'



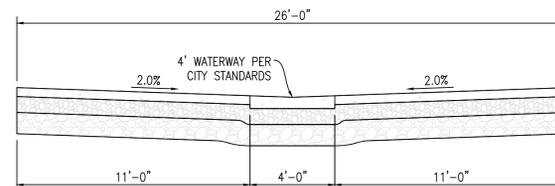
**PAVEMENT SECTION FOR ROADWAYS**

PAVEMENT SECTION BASED ON THE GEOTECHNICAL ENGINEERING PROVIDED BY CMT  
 ENGINEERING PROJECT NO. 900129, DATED APRIL 8, 2021



**PRIMARY ROAD - CROSS-SECTION @ PARKING**

SCALE: 1" = 4'



**26' ROAD CROSS-SECTION**

SCALE: 1" = 4'

REVISIONS	
#	DATE BY DESCRIPTION

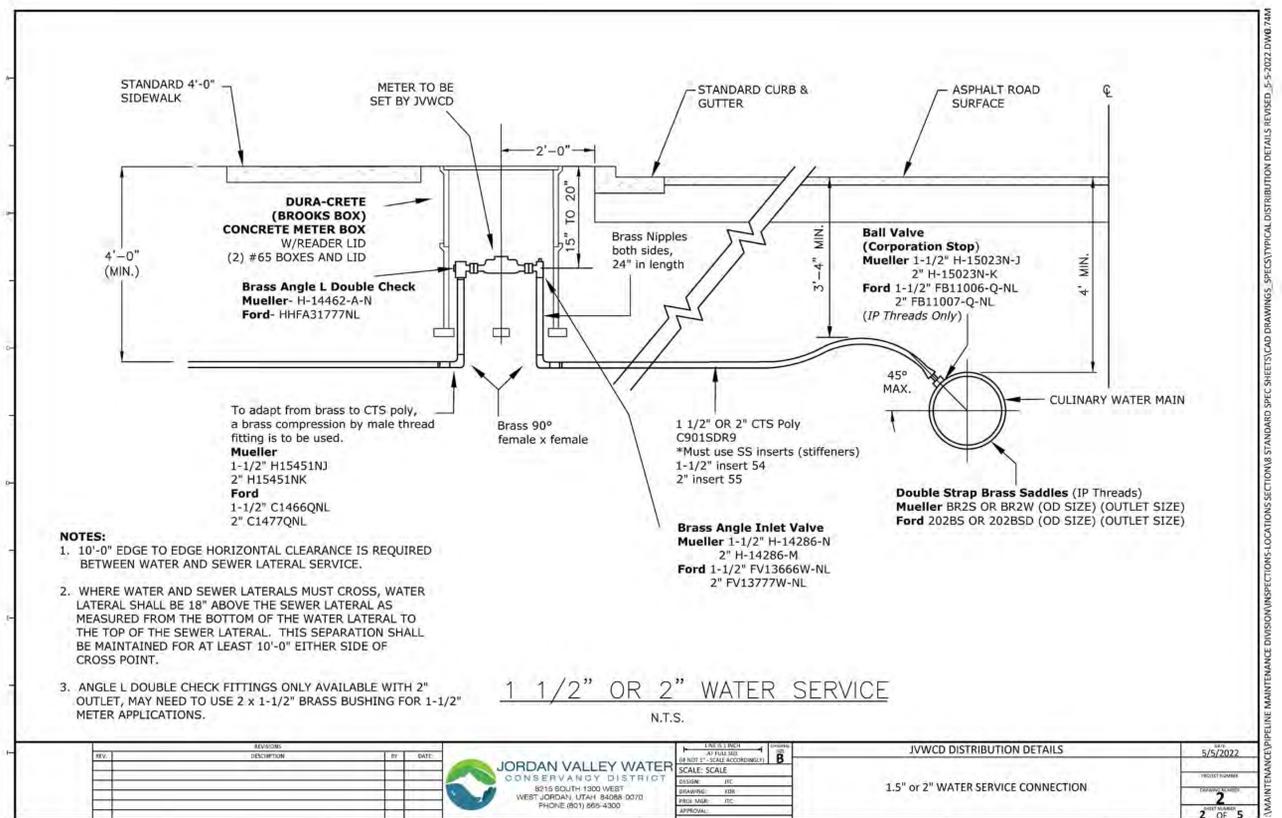
THE MONROE TOWNHOMES  
**PROJECT DETAILS**  
 600 EAST 3900 SOUTH  
 SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

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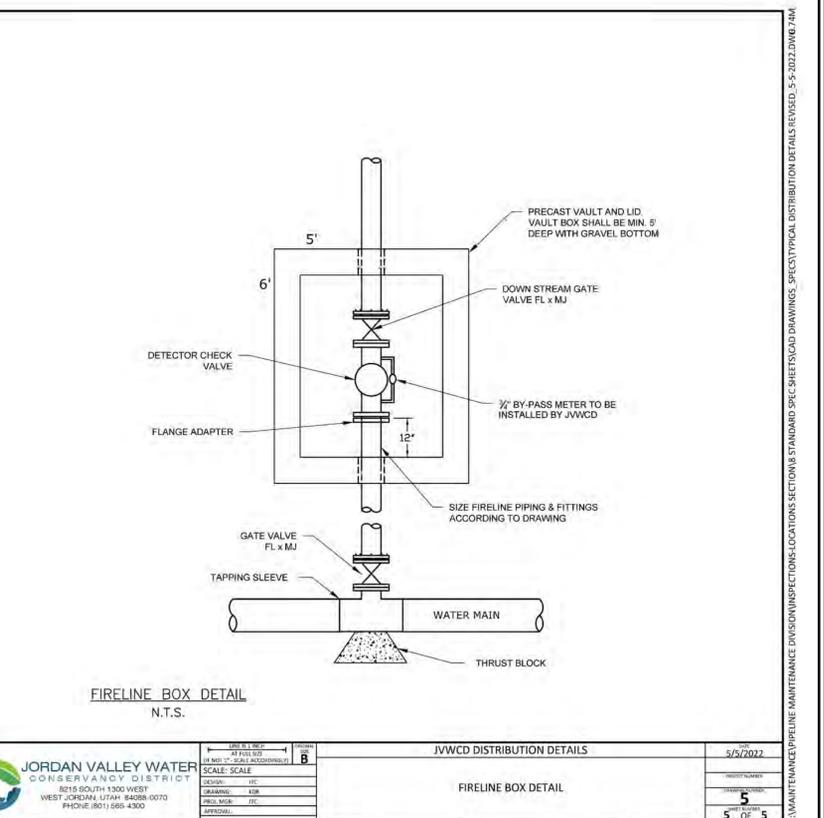
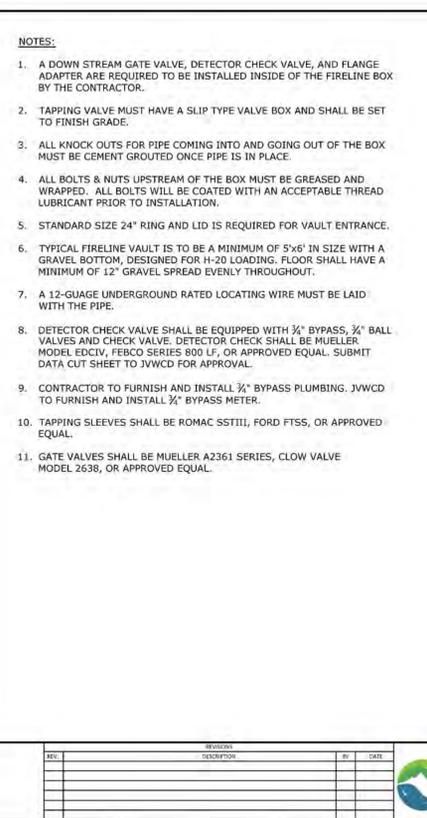
SHEET NO.  
**DT1**  
 35 of 41



PATH: 31\_DTZ\_Details.dwg PLOTTED: October 5, 2022 4:29 P



1: MAINTENANCE PIPELINE MAINTENANCE DIVISION/INSPECTIONS/LOCATIONS SECTIONS/STANDARD SPEC SHEETS/LOAD DRAWINGS, SPEC TYPICAL DISTRIBUTION DETAILS REVISED 5-5-2022 JVVCD 7481



**ENGINEERING**

**IT Engineering, PC**  
7886 South 2325 East  
South Weber, Utah 84405  
ph 801.866.7702

**FOR REVIEW**

**PROFESSIONAL ENGINEER**  
No. 494095-2202  
JASON H. THOMPSON  
10/5/2022  
STATE OF UTAH

#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES

**JVVCD WATER DETAILS**

600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D
H. SCALE: N/A
H. SCALE: N/A
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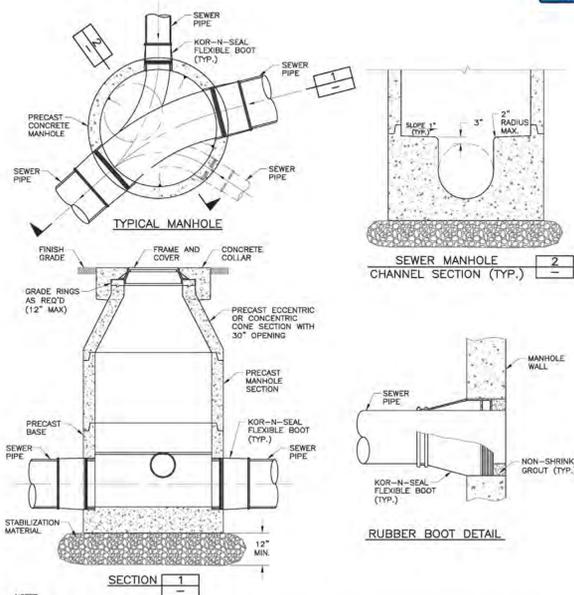
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<b>DT2</b>
36 of 41

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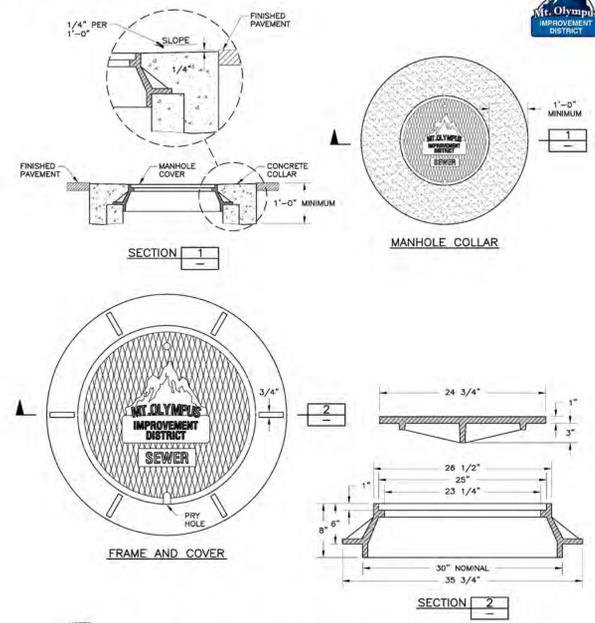
**Typical Sanitary Sewer Manhole**



- NOTES:**
- MANHOLE SIZE:
    - A. DIAMETER IS 4 FEET: FOR SEWERS UNDER 12" DIAMETER.
    - B. DIAMETER IS 5 FEET: FOR SEWERS 12" THROUGH 24".
    - C. CONSULT WITH MTDIO FOR SEWERS LARGER THAN 24".
  - PRECAST REINFORCED CONCRETE MANHOLE SECTIONS SHALL CONFORM TO ASTM C 478. JOINTS SHALL BE RUBBER GASKET, OR SEALED WITH APPROVED SEALANT.
  - CONCRETE: CLASS 4000, APWA SECTION 03 30 04.
  - GROUT: 2 PARTS SAND TO 1 PART CEMENT MORTAR, ASTM C 1329. GROUT SHALL BE NON-SHRINK.
  - MANHOLES SHALL NOT HAVE STEPS.
  - ADDITIONAL WATERPROOFING OF MANHOLES MAY BE REQUIRED WITHIN 400 FEET OF WATERBODIES AT THE DISCRETION OF THE DISTRICT ENGINEER.

SHEET 1

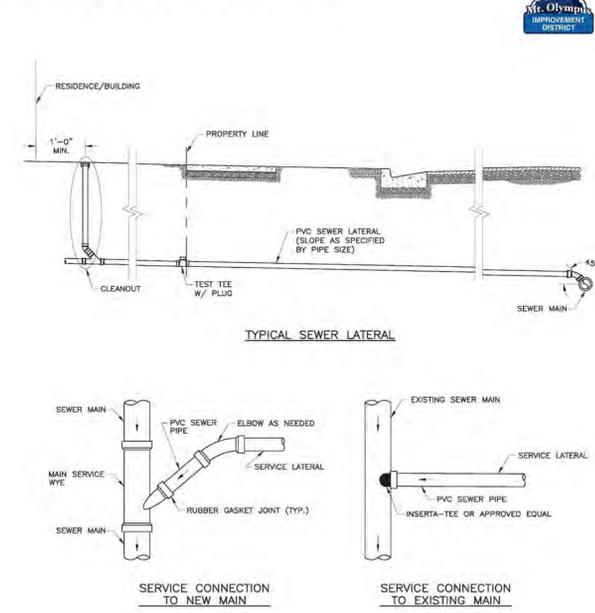
**Manhole Collar**



- NOTES:**
- CONCRETE SHALL BE CLASS 4000 AS PER APWA SECTION 03 30 04. U-CURF OR HAND MIXED CONCRETE WILL NOT BE ACCEPTED.
  - BACKFILL WITH GRADE 1 UNTRATED BASE COURSE AS PER APWA 32 11 23 2.1.
  - GRADE RINGS SHALL BE APWA STANDARD PLAN NO. 361. MTDIO ALLOWS THE USE OF WHIRLYGIG OR APPROVED EQUIVALENT FOR SETTING GRADE RINGS.
  - CONCRETE COLLAR SHALL BE APWA STANDARD PLAN NO. 382.
  - LID SHALL BE CAST WITH "MTDIO" LOGO.

SHEET 3

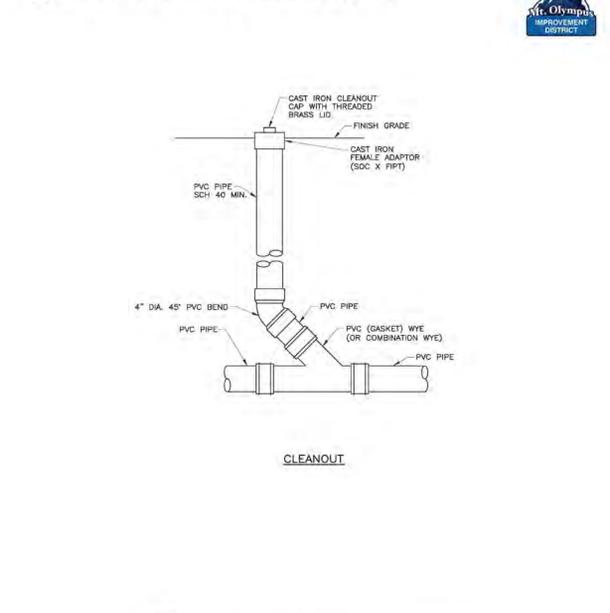
**Typical Sewer Lateral & Cleanout**



- NOTES:**
- SERVICE LATERAL SHALL BE 4" OR 6" AS SHOWN ON PLANS OR AS DIRECTED BY MT. OLYMPUS IMPROVEMENT DISTRICT.
  - SEWER LATERALS SHALL CONNECT TO SEWER MAIN AT EITHER A 22.5° OR 45° ANGLE.
  - LATERAL CONNECTIONS SHALL BE A MINIMUM OF 24 INCHES OFF OF BELL SPIGOT OF SEWER MAIN.
  - ONLY ONE (1) NEW LATERAL CONNECTION SHALL BE ALLOWED PER 4 FOOT SEGMENT OF SEWER MAIN PIPE.

SHEET 5

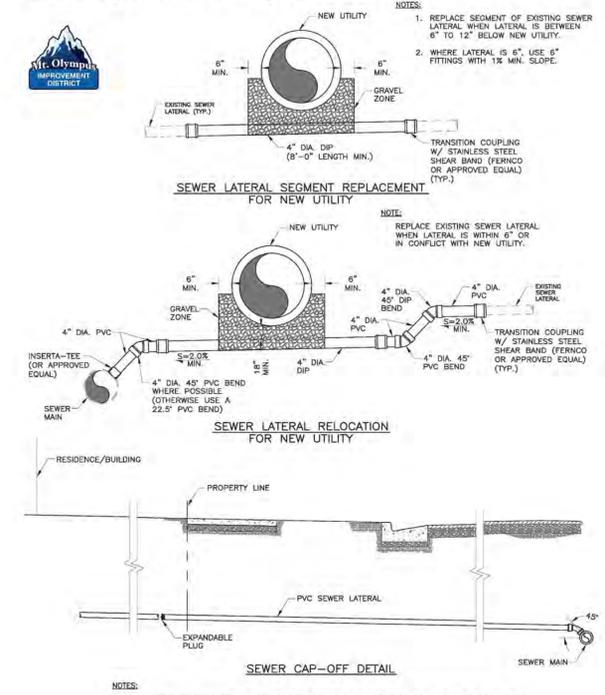
**Typical Sewer Lateral & Cleanout (Cont.)**



- NOTES:**
- SIZE OF PIPING AS SHOWN ON DRAWINGS OR AS DETERMINED BY MT. OLYMPUS IMPROVEMENT DISTRICT.
  - PVC JOINTS SHALL BE GASKETED JOINTS. NO GLUE JOINTS ARE ALLOWED.
  - WHEN CONNECTING TO INTERIOR PIPING, SHEAR BAND FERROCO OR APPROVED EQUAL SHALL BE USED.

SHEET 6

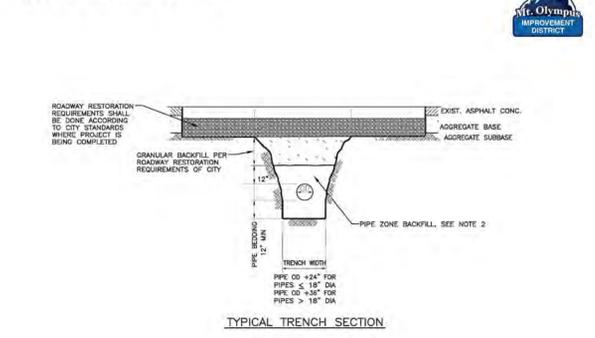
**Lateral Replacement & Cap-Off**



- NOTES:**
- A BAG OF QUIK-CRETE OR APPROVED EQUAL SHALL BE USED TO MIX AND FILL AROUND EXPANDABLE PLUG.
  - CAP-OFF SHALL BE BEHIND PROPERTY LINE. OLD PROPERTY LINE CLEANOUTS SHALL BE ABANDONED AS PART OF CAP-OFF PROCESS.

SHEET 7

**Typical Trench Detail**



- NOTES:**
- TRENCH EXCAVATION IN ACCORDANCE WITH APWA 31 23 16, OSHA, AND UOSH SAFETY STANDARDS.
  - PIPE ZONE MATERIAL TO BE A-1-U OR A-1-D ASTM D 3982 3/4" MAXIMUM PARTICLE SIZE PEA GRAVEL AND "SQUEEZY" IS NOT ALLOWED IN ANY PART OF THE PIPE ZONE. MATERIAL SHALL BE PLACED IN LIFT NOT EXCEEDING 8" AND COMPACTED TO A MODIFIED PROCTOR DENSITY OF 98% OR GREATER (PER ASTM 1587) WITHOUT DAMAGING OR DEFLECTING PIPE.
  - RECYCLED ASPHALT SHALL NOT BE USED FOR BACKFILL IN ANY PART OF THE TRENCH.
  - FOR NEW CONNECTIONS TRENCH WIDTH SHALL BE 4 FOOT MINIMUM.

SHEET 8

**ENGINEERING**

**IT Engineering, PC**  
7886 South 2325 East  
South Weber, Utah 84405  
ph 801.866.7702

**FOR REVIEW**

PROFESSIONAL ENGINEER  
No. 494095-2202  
JASON H. THOMPSON  
10/5/2022  
STATE OF UTAH

#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES

**MOID SEWER DETAILS**

600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

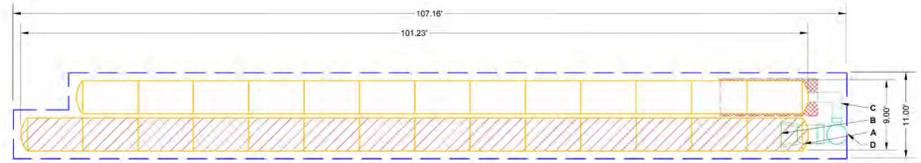
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H. SCALE: N/A
H. SCALE: N/A
DATE: SEPT. 30, 2022
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SHEET NO.

**DT3**

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PROPOSED LAYOUT		CONCEPTUAL ELEVATIONS		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		*INVERT ABOVE BASE OF CHAMBER	
27	STORMTECH SC-740 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	11.00								
4	STORMTECH SC-740 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	4.50								
6	STONE ABOVE (IN)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	4.50	PREFABRICATED EZ END CAP	A	24" BOTTOM PREFABRICATED EZ END CAP / PART# SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	0.10'				
6	STONE BELOW (IN)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	4.50	LAMP	B	INSTALL LAMP ON 24" ACCESS PIPE / PART# SC74024RAMP					
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	4.50	MANIFOLD	C	12" x 12" TOP MANIFOLD, ADS N-12	12.50'				
2347	INSTALLED SYSTEM VOLUME (CFT)	TOP OF STONE	3.50	NYLOPLAST (INLET W/ ISO PLUS ROW)	D	30" DIAMETER (24.00" SUMP MIN)				2.3 CFS IN	
	PERIMETER STONE INCLUDED	TOP OF SC-740 CHAMBER	12" x 12" TOP MANIFOLD INVERT								
	(COVER STONE INCLUDED)	24" ISOLATOR ROW PLUS INVERT									
	(BASE STONE INCLUDED)	BOTTOM OF SC-740 CHAMBER									
1148	SYSTEM AREA (SF)	BOTTOM OF SC-740 CHAMBER	0.50								
236.3	SYSTEM PERIMETER (ft)	BOTTOM OF STONE	0.00								



- ISOLATOR ROW PLUS (SEE DETAIL)
- PLACE MINIMUM 12.50' OF ADSPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS
- BED LIMITS

**NOTES**

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE.
- BE DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

MONROE BETSEY  
SOUTH SALT LAKE UT

DATE: \_\_\_\_\_ DRAWN: JT  
PROJECT #: \_\_\_\_\_ CHECKED: MA

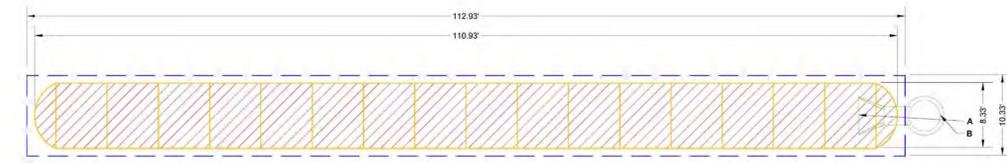
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HELIX, OH 43028  
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ADS

SHEET 2 OF 6

PROPOSED LAYOUT		CONCEPTUAL ELEVATIONS		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		*INVERT ABOVE BASE OF CHAMBER	
16	STORMTECH MC-7200 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	12.75								
8	STORMTECH MC-7200 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	4.50	LAMP	A	INSTALL LAMP ON 24" ACCESS PIPE / PART# MC720024RAMP					
12	STONE ABOVE (IN)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	4.50	CONCRETE STRUCTURE	B	DESIGN BY ENGINEER (PROVIDED BY OTHERS)					
6	STONE BELOW (IN)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	7.75								
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	7.75								
4887	INSTALLED SYSTEM VOLUME (CFT)	TOP OF STONE	6.75								
	PERIMETER STONE INCLUDED	TOP OF MC-7200 CHAMBER	12" x 12" TOP MANIFOLD INVERT								
	(COVER STONE INCLUDED)	24" ISOLATOR ROW PLUS INVERT									
	(BASE STONE INCLUDED)	BOTTOM OF MC-7200 CHAMBER									
1167	SYSTEM AREA (SF)	BOTTOM OF SC-740 CHAMBER	0.50								
246.5	SYSTEM PERIMETER (ft)	BOTTOM OF STONE	0.00								



- ISOLATOR ROW PLUS (SEE DETAIL)
- NO WOVEN GEOTEXTILE
- BED LIMITS

**NOTES**

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE.
- BE DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
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MONROE DOLORES  
SOUTH SALT LAKE UT

DATE: \_\_\_\_\_ DRAWN: JT  
PROJECT #: \_\_\_\_\_ CHECKED: MA

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SHEET 2 OF 5

PROPOSED LAYOUT		CONCEPTUAL ELEVATIONS		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		*INVERT ABOVE BASE OF CHAMBER	
23	STORMTECH SC-740 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	11.00								
4	STORMTECH SC-740 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	4.50								
6	STONE ABOVE (IN)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	4.50	PREFABRICATED EZ END CAP	A	24" BOTTOM PREFABRICATED EZ END CAP / PART# SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	0.10'				
6	STONE BELOW (IN)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	4.50	LAMP	B	INSTALL LAMP ON 24" ACCESS PIPE / PART# SC74024RAMP					
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	4.50	MANIFOLD	C	12" x 12" TOP MANIFOLD, ADS N-12	12.50'				
2018	INSTALLED SYSTEM VOLUME (CFT)	TOP OF STONE	3.50	NYLOPLAST (INLET W/ ISO PLUS ROW)	D	30" DIAMETER (24.00" SUMP MIN)				2.3 CFS IN	
	PERIMETER STONE INCLUDED	TOP OF SC-740 CHAMBER	12" x 12" TOP MANIFOLD INVERT								
	(COVER STONE INCLUDED)	24" ISOLATOR ROW PLUS INVERT									
	(BASE STONE INCLUDED)	BOTTOM OF SC-740 CHAMBER									
988	SYSTEM AREA (SF)	BOTTOM OF SC-740 CHAMBER	0.50								
207.9	SYSTEM PERIMETER (ft)	BOTTOM OF STONE	0.00								



- ISOLATOR ROW PLUS (SEE DETAIL)
- PLACE MINIMUM 12.50' OF ADSPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS
- BED LIMITS

**NOTES**

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE.
- BE DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
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MONROE ELEANOR  
SOUTH SALT LAKE CITY UT

DATE: \_\_\_\_\_ DRAWN: JT  
PROJECT #: \_\_\_\_\_ CHECKED: MA

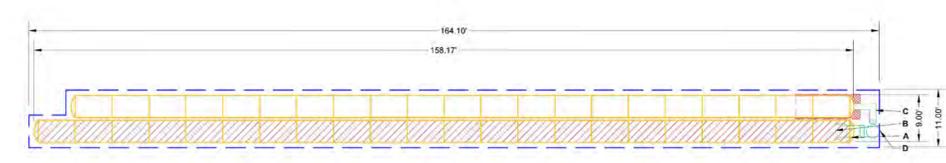
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SHEET 2 OF 6

PROPOSED LAYOUT		CONCEPTUAL ELEVATIONS		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		*INVERT ABOVE BASE OF CHAMBER	
43	STORMTECH SC-740 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	11.00								
4	STORMTECH SC-740 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	4.50								
6	STONE ABOVE (IN)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	4.50	PREFABRICATED EZ END CAP	A	24" BOTTOM PREFABRICATED EZ END CAP / PART# SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	0.10'				
6	STONE BELOW (IN)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	4.50	LAMP	B	INSTALL LAMP ON 24" ACCESS PIPE / PART# SC74024RAMP					
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	4.50	MANIFOLD	C	12" x 12" TOP MANIFOLD, ADS N-12	12.50'				
3665	INSTALLED SYSTEM VOLUME (CFT)	TOP OF STONE	3.50	NYLOPLAST (INLET W/ ISO PLUS ROW)	D	30" DIAMETER (24.00" SUMP MIN)				2.3 CFS IN	
	PERIMETER STONE INCLUDED	TOP OF SC-740 CHAMBER	12" x 12" TOP MANIFOLD INVERT								
	(COVER STONE INCLUDED)	24" ISOLATOR ROW PLUS INVERT									
	(BASE STONE INCLUDED)	BOTTOM OF SC-740 CHAMBER									
1771	SYSTEM AREA (SF)	BOTTOM OF SC-740 CHAMBER	0.50								
382.2	SYSTEM PERIMETER (ft)	BOTTOM OF STONE	0.00								



- ISOLATOR ROW PLUS (SEE DETAIL)
- PLACE MINIMUM 12.50' OF ADSPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS
- BED LIMITS

**NOTES**

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE.
- BE DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
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MONROE RITA PLACE  
SOUTH SALT LAKE UT

DATE: \_\_\_\_\_ DRAWN: JT  
PROJECT #: \_\_\_\_\_ CHECKED: MA

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ADS

SHEET 2 OF 6

**IT Engineering, PC**  
7886 South 2325 East  
South Weber, Utah 84405  
ph 801.866.7702

FOR REVIEW

PROFESSIONAL SEAL  
No. 494095-2202  
JASON H. THOMPSON  
10/5/2022  
STATE OF UTAH

#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

**STORMTECH DETAILS**

SHEET SIZE: ARCH D
H. SCALE: N/A
D. SCALE: N/A
DATE: SEPT. 30, 2022
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SHEET NO.  
**DT4**  
38 of 41

PROJECT INFORMATION	
ENGINEER PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	



## MONROE BETSEY SOUTH SALT LAKE, UT

### SC-740 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPIDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-IPS COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LB/FT<sup>2</sup>. THE ASC IS DEFINED IN SECTION 2.2 OF ASTM F2418, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.55 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

### IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONES/HOOTER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

### NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
    - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
    - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  - FULL 30" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-852-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

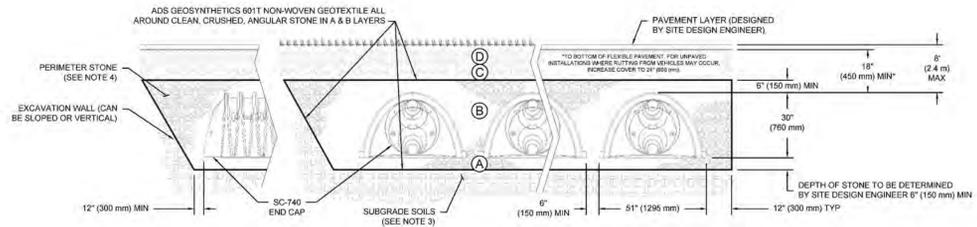
88902-408, 06/22

### ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M14 <sup>1</sup> A-1, A-2.4, A-3 OR AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 76, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LB (5,500 kg). DYNAMIC FORCE NOT TO EXCEED 20,000 LB (9,000 kg).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57	FLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

### PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (150 mm) (MAX) LIFTS USING TWO LIFT COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STRENGTH DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAVING OR DRAGGING WITHOUT COMPACTION EQUIPMENT.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



### NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LB/FT<sup>2</sup>. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

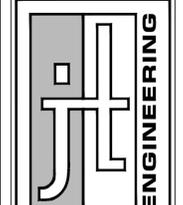
MONROE BETSEY  
SOUTH SALT LAKE, UT  
DRAWN: JT  
CHECKED: N/A

DATE: \_\_\_\_\_  
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StormTech  
Chamber System

ADS  
4640 TOLSON BLVD  
HILLIARD, OH 43026  
1-800-753-7473

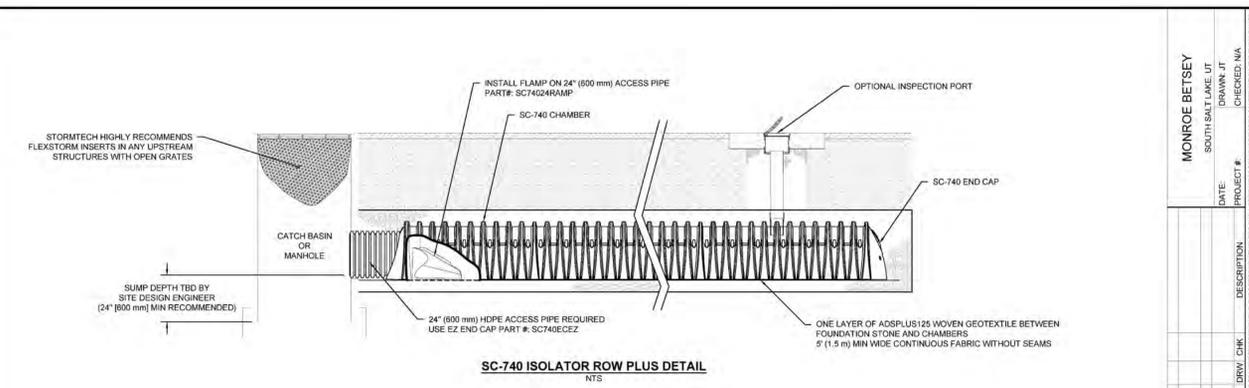
SHEET  
3 OF 6



IT Engineering, PC  
7886 South 2325 East  
South Weber, Utah 84405  
ph 801.866.7702



#	DATE	BY	DESCRIPTION



### INSPECTION & MAINTENANCE

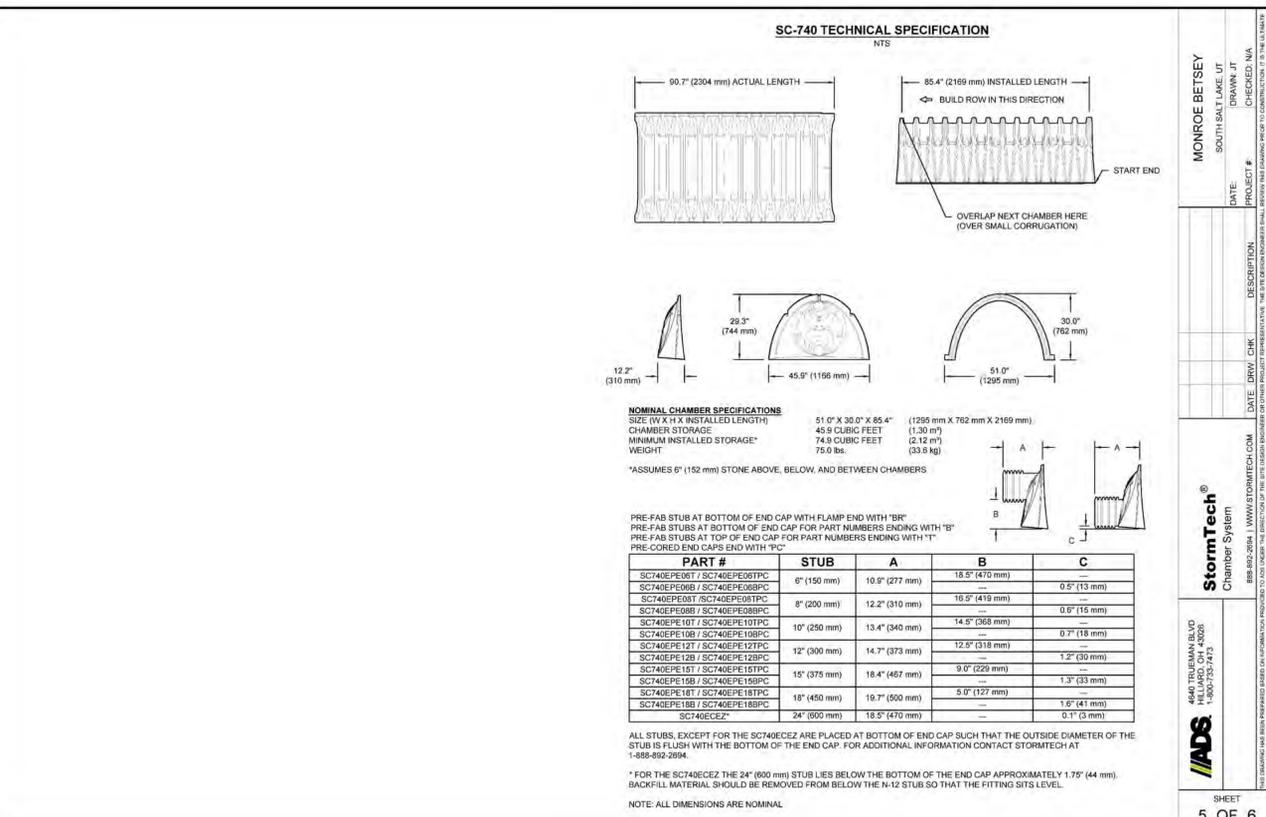
- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- REMOVE/OPEN LID ON UPSTREAM INLINE DRAIN.
  - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED.
  - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG.
  - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL).
  - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS.
  - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE.
  - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY.
  - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE.
  - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED OULVERT CLEANING NOZZLE WITH REAR FACING SPRAY OF 45° (1.1 m) OR MORE IS PREFERRED.
  - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLOW WATER IS CLEAN.
  - VACUUM STRUCTURE SUMP AS REQUIRED.
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.
- NOTES
- INSPECT EVERY 8 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
  - CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

MONROE BETSEY  
SOUTH SALT LAKE, UT  
DRAWN: JT  
CHECKED: N/A

StormTech  
Chamber System

ADS  
4640 TOLSON BLVD  
HILLIARD, OH 43026  
1-800-753-7473

SHEET  
4 OF 6



MONROE BETSEY  
SOUTH SALT LAKE, UT  
DRAWN: JT  
CHECKED: N/A

StormTech  
Chamber System

ADS  
4640 TOLSON BLVD  
HILLIARD, OH 43026  
1-800-753-7473

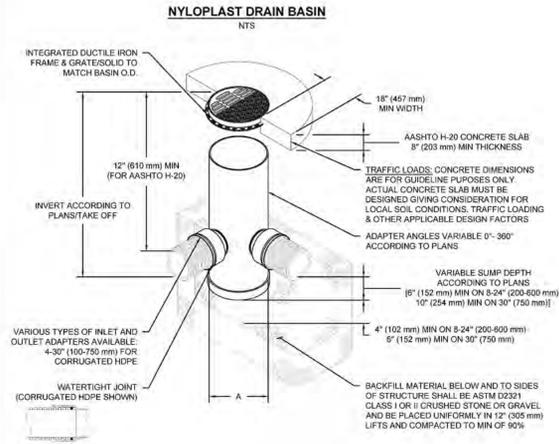
SHEET  
5 OF 6

# STORMTECH DETAILS

THE MONROE TOWNHOMES  
600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D  
H. SCALE: N/A  
H. SCALE: N/A  
DATE: SEPT. 30, 2022  
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SHEET NO.  
**DT5**  
39 of 41



- NOTES**
- 8-30" (200-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
  - 12-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
  - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
  - DRAINAGE CONNECTION STUD JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HOPE (ADS & HANCOCK DUAL WALL) & 30R 35 PVC
  - FOR COMPLETE DESIGN AND PRODUCT INFORMATION: [WWW.NYLOPLAST-US.COM](http://WWW.NYLOPLAST-US.COM)
  - TO ORDER CALL: 800-821-4710

A	PART #	GRATE/SOLID COVER OPTIONS			
8"	2608AG	PEDESTRIAN LIGHT DUTY	STANDARD LIGHT DUTY	SOLID LIGHT DUTY	SOLID LIGHT DUTY
10"	2810AG	PEDESTRIAN LIGHT DUTY	STANDARD LIGHT DUTY	SOLID LIGHT DUTY	SOLID LIGHT DUTY
12"	2812AG	PEDESTRIAN AASHTO H-10	STANDARD AASHTO H-20	SOLID AASHTO H-20	AASHTO H-20
15"	2815AG	PEDESTRIAN AASHTO H-10	STANDARD AASHTO H-20	SOLID AASHTO H-20	AASHTO H-20
18"	2818AG	PEDESTRIAN AASHTO H-10	STANDARD AASHTO H-20	SOLID AASHTO H-20	AASHTO H-20
24"	2824AG	PEDESTRIAN AASHTO H-10	STANDARD AASHTO H-20	SOLID AASHTO H-20	AASHTO H-20
30"	2830AG	PEDESTRIAN AASHTO H-20	STANDARD AASHTO H-20	SOLID AASHTO H-20	AASHTO H-20

**MONROE BETSEY**  
SOUTH SALT LAKE, UT

**Nyloplast®**  
770-892-5443 | [WWW.NYLOPLAST-US.COM](http://WWW.NYLOPLAST-US.COM)

4648 TRINAM BLVD  
HILLIARD, OH 43026  
1-800-733-7473

**ADS**

SHEET  
6 OF 6

DATE: DRAWN: CHK: DESCRIPTION: PROJECT #: CHECKED: N/A



**IT Engineering, PC**  
7886 South 2325 East  
South Weber, Utah 84405  
ph 801.866.7702



REVISIONS

#	DATE	BY	DESCRIPTION

THE MONROE TOWNHOMES

# STORMTECH DETAILS

600 EAST 3900 SOUTH  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SHEET SIZE: ARCH D  
H. SCALE: N/A  
H. SCALE: N/A  
DATE: SEPT. 30, 2022  
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SHEET NO.  
**DT6**  
40 of 41



# THE MONROE TOWNHOMES

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31,  
TOWNSHIP 1 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN,  
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH  
JUNE 2023

## LEGEND & ABBREVIATIONS:

	SECTION MONUMENT
	BOUNDARY LINE
	SECTION LINE
	RIGHT-OF-WAY LINE
	UNIT LOT LINE
	EXISTING PARCEL LINE
	EASEMENT LINE
	BOUNDARY SEGMENT MARKER
	RIGHT-OF-WAY
	TYPICAL
	MONUMENT
	EASEMENT
	20' WIDE EASEMENT DEDICATED TO THE BIG DITCH IRRIGATION COMPANY
	COMMON AREA, U.N.O.
	PRIVATE AREA

## CURVE DATA

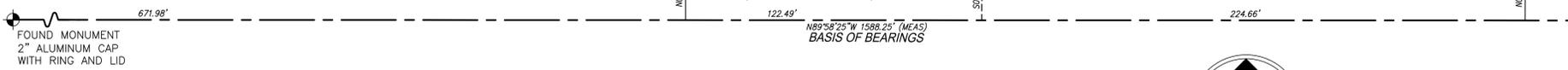
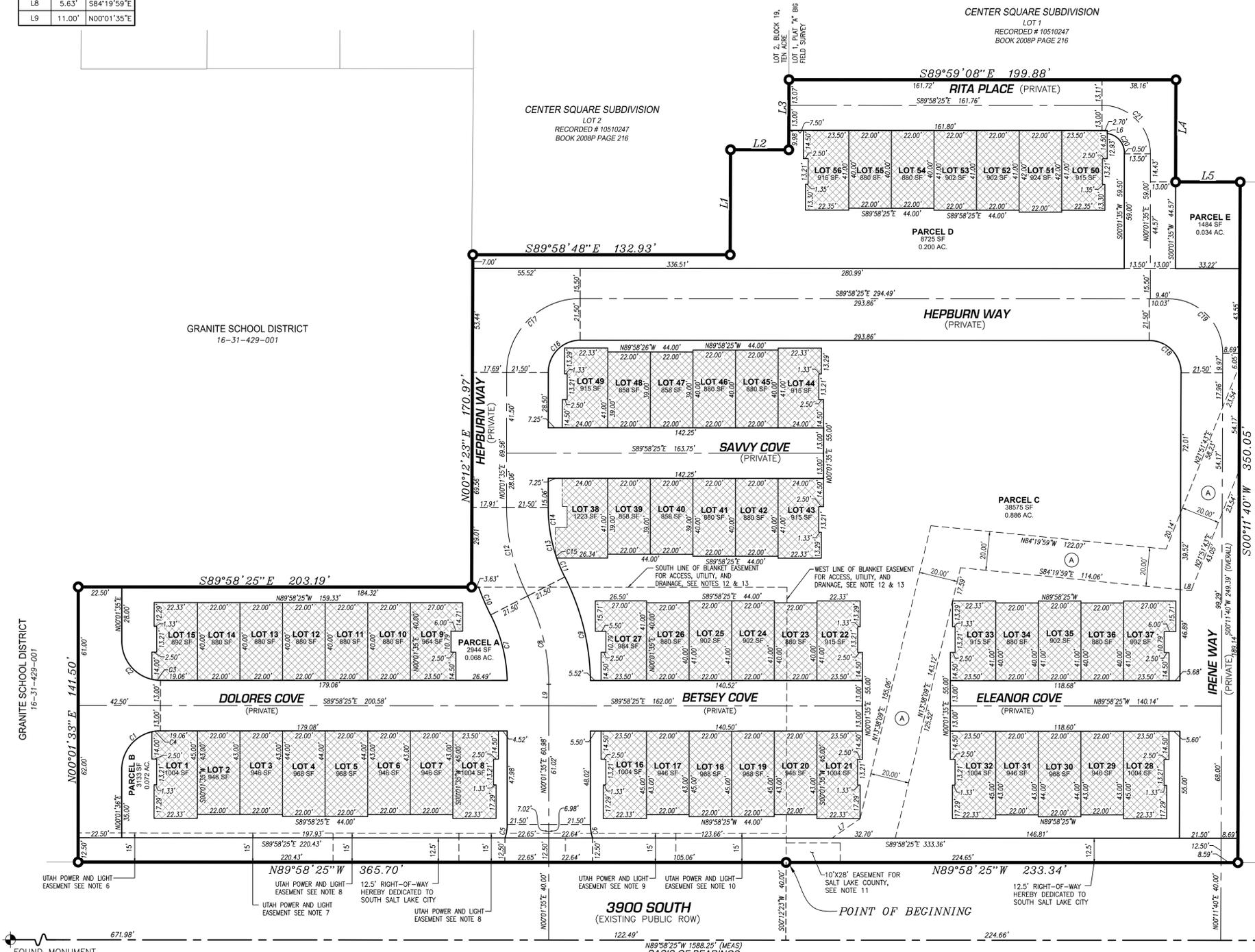
SEGMENT	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	26.94	20.00	77°11'12"	15.96	24.95	S38°37'12"W
C2	26.94	20.00	77°11'14"	15.96	24.95	S38°34'02"E
C3	4.47	20.00	12°48'46"	2.25	4.46	S83°34'02"E
C4	4.47	20.00	12°48'47"	2.25	4.46	S83°37'12"W
C5	7.14	22.00	18°35'43"	3.60	7.11	N9°19'29"E
C6	7.10	22.00	18°29'24"	3.58	7.07	S9°13'07"E
C7	35.04	78.50	25°34'33"	17.82	34.75	N14°13'17"W
C8	47.19	100.00	27°02'08"	24.04	46.75	N13°29'29"W
C9	55.33	121.50	26°05'33"	28.15	54.85	N13°57'47"W
C10	15.61	121.50	72°1'35"	7.81	15.60	S23°19'46"E
C11	10.60	78.50	7°44'21"	5.31	10.60	S23°08'23"E
C12	47.19	100.00	27°02'08"	24.04	46.75	S13°29'29"E
C13	37.04	78.50	27°02'08"	18.87	36.70	S13°29'29"E
C14	24.36	78.50	17°46'51"	12.28	24.26	S8°51'50"E
C15	2.08	78.50	1°30'57"	1.04	2.08	S18°30'44"E
C16	25.92	16.50	90°00'00"	16.50	23.33	S45°01'35"W
C17	59.69	38.00	90°00'00"	38.00	53.74	S45°01'35"W
C18	25.97	16.50	90°10'05"	16.55	23.37	N44°53'22"W
C19	44.06	28.00	90°10'05"	28.08	39.66	N44°53'22"W
C20	14.51	10.00	83°07'24"	8.87	13.27	N41°32'07"W
C21	39.27	25.00	90°00'00"	25.00	35.36	S44°58'25"E

## LINE TABLE

LINE	LENGTH	DIRECTION
L1	54.00'	N00°12'24"E
L2	30.06'	S89°59'03"E
L3	36.05'	N00°12'23"E
L4	52.54'	S00°12'11"W
L5	33.35'	S89°59'06"E
L6	1.57'	S00°01'35"W
L7	17.65'	N59°30'25"E
L8	5.63'	S84°19'59"E
L9	11.00'	N00°01'35"E

### NOTES:

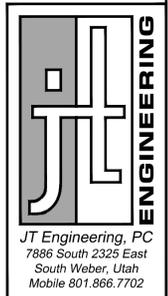
- ALL PROPERTIES ARE SUBJECT TO THE RULES AND REGULATIONS AS SET FORTH IN THE CC&R'S FOR THIS PROJECT. SAID CC&R'S WERE RECORDED IN BOOK 20 AS ENTRY No. \_\_\_\_\_ IN BOOK \_\_\_\_\_ AT PAGE \_\_\_\_\_ OF OFFICIAL RECORDS.
- ALL COMMON AREAS, PARCEL A, B, C, D, E, AND PRIVATE ROADWAYS TO SERVE AS PUBLIC UTILITY AND DRAINAGE EASEMENTS AND TO BE OWNED AND MAINTAINED BY THE MONROE TOWNHOMES HOME OWNER'S ASSOCIATION.
- HOA SHALL MAINTAIN ALL UTILITIES INSTALLED AND MAINTAINED FOR THE BENEFIT OF THE OWNERS COLLECTIVELY, INCLUDING UTILITY LINES SERVING MORE THAN A SINGLE LIVING UNIT. INDIVIDUAL OWNERS SHALL MAINTAIN ALL UTILITY LINES THAT SERVICE ONLY THEIR SINGLE LIVING UNIT.
- OWNER HEREBY CONVEYS TO SOUTH SALT LAKE CITY AND ITS AGENTS A NON-EXCLUSIVE PERPETUAL EASEMENT OVER, ON AND IN PARCEL A, B, C, COMMON AREAS, AND PRIVATE ROADWAYS FOR THE PURPOSE OF ACCESS TO THE PRIVATE STORMWATER MANAGEMENT SYSTEM(S) FOR THE MANAGEMENT, INSPECTION, MAINTENANCE AND REPAIR THEREOF.
- BOUNDARY CORNERS WILL BE SET WITH A REBAR AND CAP. WHERE THE BOUNDARY CORNER LIES IN CONCRETE OR ASPHALT, A NAIL WILL BE SET.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON OCTOBER 25, 2002 AS ENTRY No. 8397668 IN BOOK 8671, AT PAGE 6674, OF OFFICIAL RECORDS.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON OCTOBER 25, 2002 AS ENTRY No. 8397663 IN BOOK 8671, AT PAGE 6659, OF OFFICIAL RECORDS.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON AUGUST 26, 2003 AS ENTRY No. 8789729 IN BOOK 8869, AT PAGE 8498, OF OFFICIAL RECORDS.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON APRIL 2, 2003 AS ENTRY No. 8594842 IN BOOK 8770, AT PAGE 1093, OF OFFICIAL RECORDS.
- THE EXISTING 15' WIDE EASEMENT SHOWN HEREON, IN FAVOR OF UTAH POWER AND LIGHT COMPANY, WAS RECORDED ON DECEMBER 19, 2002 AS ENTRY No. 8466578 IN BOOK 8706, AT PAGE 4229, OF OFFICIAL RECORDS.
- THERE IS AN EXISTING 28' X 10' EASEMENT, AS SHOWN HEREON, FOR THE PURPOSE OF A BOX CULVERT IN FAVOR OF SALT LAKE COUNTY. FIVE (5) DOCUMENTS WERE RECORDED FOR THIS EASEMENT AS FOLLOWS:
  - ENTRY No. 2821379, BOOK 4223, PAGE 8, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821381, BOOK 4223, PAGE 10, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821384, BOOK 4223, PAGE 13, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821387, BOOK 4223, PAGE 16, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821389, BOOK 4223, PAGE 18, RECORDED ON JUNE 7, 1976.
  - ENTRY No. 2821393, BOOK 4223, PAGE 22, RECORDED ON JUNE 7, 1976.
- THIS PROPERTY IS SUBJECT TO THE TERMS AND CONDITIONS AS DESCRIBED IN THAT CERTAIN UTILITY AND DRAINAGE EASEMENT BETWEEN MEDICAL LEASING LIMITED, ZIONS FIRST NATIONAL BANK, HEALTH SOUTH SALT LAKE SURGICAL CENTER, AND CENTER SQUARE MEDICAL RECORDED ON MAY 12, 2005 AS ENTRY No. 9375372 IN BOOK 9130 AT PAGE 2898, OF OFFICIAL RECORDS. THIS IS A BLANKET EASEMENT THAT ENCUMBERS APPROXIMATELY THE NORTH HALF AND EAST HALF OF THE PROJECT AS SHOWN HEREON.
- THIS PROPERTY IS SUBJECT TO THE TERMS AND CONDITIONS AS DESCRIBED IN THAT CERTAIN PEDESTRIAN AND VEHICULAR INGRESS, EGRESS, AND TRAFFIC AND VEHICULAR PARKING EASEMENT BETWEEN MEDICAL LEASING LIMITED, ZIONS FIRST NATIONAL BANK, HEALTH SOUTH SALT LAKE SURGICAL CENTER, AND MEDWOOD, LC RECORDED ON AUGUST 2, 2002 AS ENTRY No. 8310547 IN BOOK 8629 AT PAGE 2329, OF OFFICIAL RECORDS. THIS IS A BLANKET EASEMENT THAT ENCUMBERS APPROXIMATELY THE NORTH HALF AND EAST HALF OF THE PROJECT AS SHOWN HEREON.



CENTER SQUARE SUBDIVISION  
LOT 2  
RECORDED # 10510247  
BOOK 2008P PAGE 216

CENTER SQUARE SUBDIVISION  
LOT 1  
RECORDED # 10510247  
BOOK 2008P PAGE 216

MEDICAL LEASING LTD.  
(PART OF LOT 1, PARCEL  
No. 16-31-429-025)



JT Engineering, PC  
7886 South 2325 East  
South Weber, Utah  
Mobile 801.866.7702

SALT LAKE COUNTY RECORDER

RECORDED # \_\_\_\_\_

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_

DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

FEE \$ \_\_\_\_\_

DEPUTY SALT LAKE COUNTY RECORDER

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of  
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