

SOUTH SALT LAKE

PLANNING COMMISSION STAFF REPORT

MEETING DATE: February 1, 2024
PROJECT NUMBER: S-19-009
REQUEST(S): An application for a Final Subdivision Plat to consolidate three parcels into one-lot, located at 3535 South State Street.
ADDRESS: 130 East Winslow Avenue, 3549-3555 South 200 East, and 3535 South State Street
PARCEL NUMBERS: 16-31-103-020; 16-31-126-023; and 16-31-103-023
PROPERTY OWNER: Katmark Partners, LLC
APPLICANT: Katmark Partners, LLC
TYPE OF APPLICATION: Administrate – Subdivision Plat

STAFF RECOMMENDATION:

Staff recommends the Planning Commission approve the preliminary subdivision plat to consolidate three parcels into one-lot, located at 3535 South State Street. Staff’s recommendation is based upon its analysis and findings included below.

SYNOPSIS:

On June 25, 2021, Katmark Partners, LLC submitted a plat application. The plat application is to consolidate three parcels into one lot, in order to expand the existing Auto Dealership.

This is part of a larger project to update their Car Dealership. The other applications they have submitted have included:

1. Rezone Application – This application was reviewed by the Planning Commission and City Council to the change the zoning map from Residential Multiple (RM) to Commercial Corridor (CC) for the two parcels located at 130 East Winslow Avenue and 3549-3555 South 200 East. On February 8, 2023, the City Council approved the zone change.
2. A vacation of a portion of 200 East. This was reviewed and approved by the City Council on February 22, 2023.
3. Conditional Use Application for the operation of an Auto Dealership. This application will come before the Planning Commission on February 1, 2024.



The subject property located at 130 East Winslow Avenue is their marketing office for the dealership. The subject property at 3549-3555 South 200 East has been vacant land since late 2019. The applicant intends to expand their parking onto this area, once the subdivision plat has been approved and recorded. The subject property at 3535 South State Street is the existing Subaru Dealership.

On January 18, 2024, the Planning Commission held a public hearing on this matter. There was some discussion on the difference between the plat application and the Conditional Use Permit application. There was also a question about the drive approach proximity along Winslow Avenue to State Street. There was one public comment, he is concerned that the other homes on Winslow Avenue that are not part of the plat will be rezoned and later and the dealership will continue to encroach in tot the residential zone. Additionally, the member of the public does not believe that the Subaru sets parking standards for their dealerships. The Planning Commission voted unanimously to approve the Preliminary Subdivision Plat.

The Planning Commission is the land use authority for a subdivision plat approvals.

| EXISTING ZONING | EXISTING USE | EXISTING PARCEL SIZES | PROPOSED LOT SIZE |
|---------------------|-----------------------------------|--|---|
| Commercial Corridor | Vacant / Office / Auto Dealership | 3535 S: 6.73 acres 130 E Winslow: 0.13 acres 3549-3555 S: 0.19 acres | Total Size After Consolidation: 7.19 acres |

GENERAL INFORMATION:

Location: 3535 South State Street
 130 East Winslow Avenue
 3549-3555 South 200 East

Proposed Project Size 7.19 acres (after consolidation)

Surrounding Land Use Districts: North: Residential Multiple
 South: Commercial Corridor
 East: Residential Multiple
 West: Commercial Corridor

Figure 1: Existing Parcel Lines



- Project Boundary
- Existing Parcel Lines

Figure 2: Existing Site Conditions

3535 S State St – Facing Northeast



3535 S State St – Facing Southeast

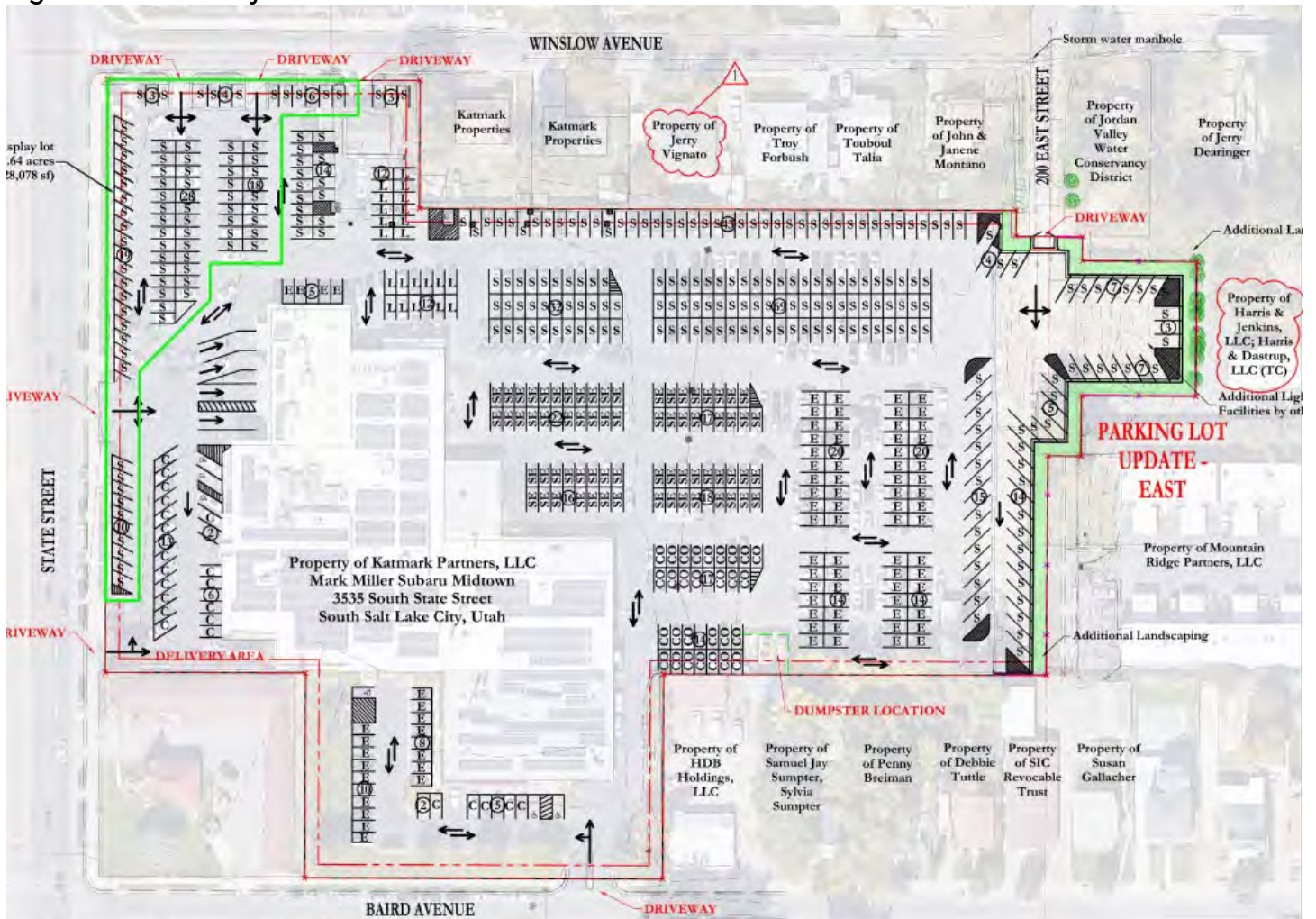


130 E Winslow Ave – Facing South



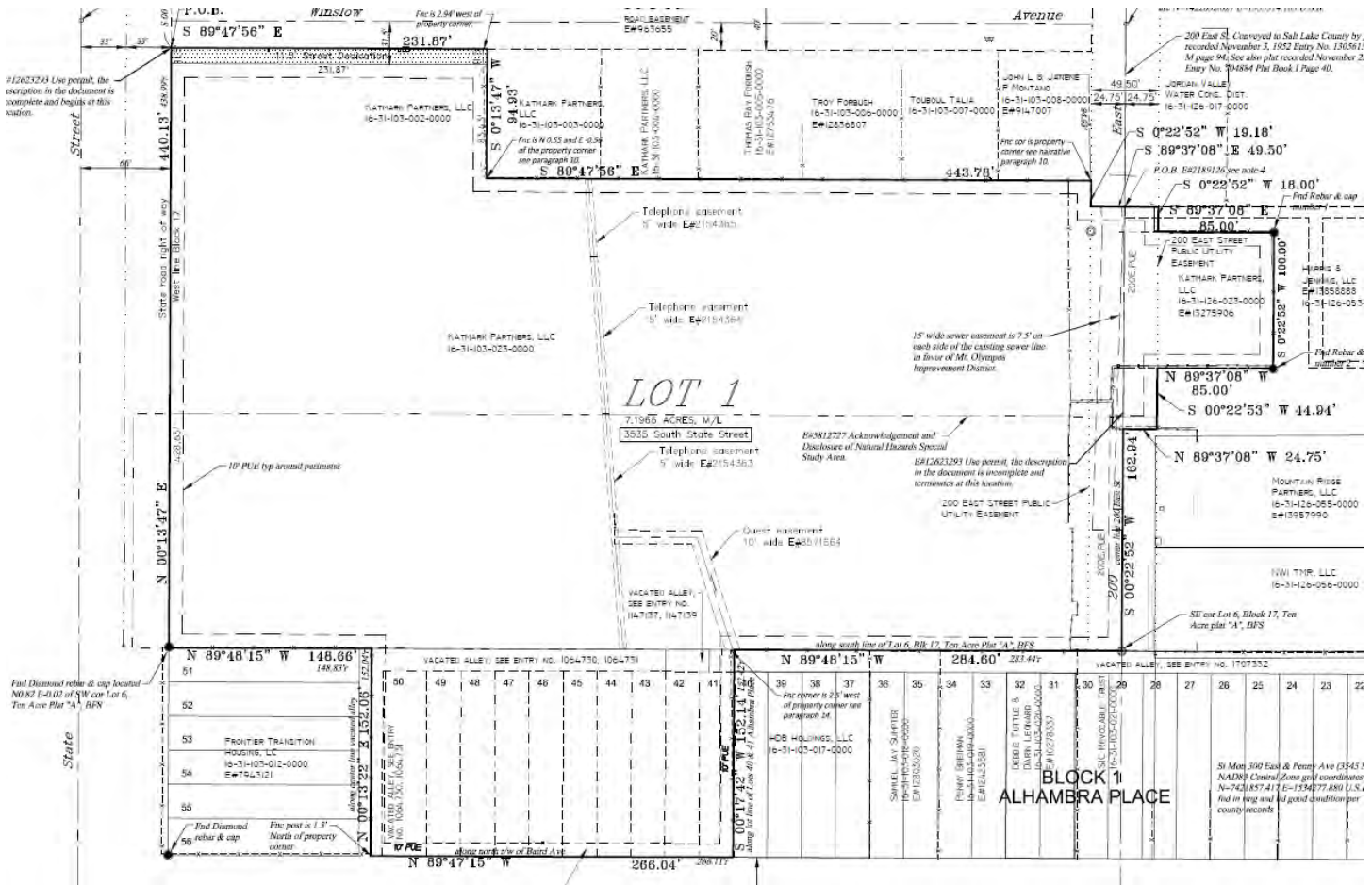


Figure 3: Preliminary Site Plan



*SITE PLAN IS CONCEPTUAL – SUBJECT TO TECHNICAL REVIEW

Figure 4: Preliminary Subdivision Plat **Full Preliminary Plat is the Attachments**



PLANNING COMMISSION AUTHORITY:

17.11.030. Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

- A. **Planning Commission.** The planning commission is the land use authority on issues of: **Subdivision and Subdivision Plat approval**, vacating, altering or amending a Subdivision Plat; Conditional Use Permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

GENERAL PLAN CONSIDERATIONS:

Land Use & Neighborhood Strategy 8: Appropriately seek the redevelopment of legal non-conforming uses, properties, and structures to be more conforming over the long term.

Analysis: The proposed consolidation plat would make 130 E Winslow Avenue no longer a non-conforming in regards to the parking standards. This property does not meet the on-site parking standards for the office use. The property at 3549-3555 S is vacant and no development can occur until it is been platted via the plat application process.

Economic Development Vision Statement: South Salt Lake is a community of opportunity for a variety of businesses with diverse ownership serving a diverse community. Quality of life in South Salt Lake is enhanced through sustainable businesses in a sustainable community. South Salt Lake encourages and supports businesses by helping them form, expand, and thrive in our community. We build on past success for our future.

Analysis: The Economic Development Vision Statement calls out encouraging and supporting businesses to expand and thrive in the community. As stated above Mark Miller Subaru has been at this location in the City since 1961. The consolidation plat would allow a long existing, sustainable business, to expand its operations in order to comply with the manufacturer requirements, and continue to thrive in the City

Economic Development Goal #3: Continue to support existing and future businesses through the city's partnership with the South Salt Lake Chamber of Commerce and comprehensive business retention and recruitment program.

Analysis: Mark Miller Subaru has been operating at this location in South Salt Lake since 1961. They have been a good partner with the City over the years. The dealership has outgrown their space and in order to meet the requirements of the Subaru manufacturer need more room on their lot to store cars. This stall requirement comes directly from the manufacturer and can affect their franchise status, which is why they have applied for a plat application to consolidate their properties. This consolidation will allow them to expand their business operations in order to meet the manufacturer requirements.

Economic Development Strategy 5: Maintain and enhance neighborhood health, vitality, and integrity.

Analysis: One of the actions for this strategy is "encourage incremental development where appropriate to avoid vacant and underutilized parcels". The property at 3549-3555 S is vacant and no development or building permits can be issued until a subdivision plat has been completed and recorded. Similarly, 3535 S State Street has not been legally platted before, and as a result, no building permits may be issued for this property until a subdivision plat has been completed and recorded.

ORDINANCE ANALYSIS:

| Ordinance | Finding | Condition of Approval |
|---|--|---|
| Title 17 – Land Use and Development | | |
| 17.06.300 – Landscaping | | |
| 1. Landscaped Areas. Landscaped Areas shall comprise not less than 15 percent of a commercial or professional office site. | The new areas that are being developed (3549-3555 S property) meet the 15% landscaping requirement. The rest of the site will be required to meet the landscape standards in place at that time that they are redeveloped. | The rest of the site shall be required to meet the landscape standards in place at that time that they are redeveloped. |
| 2. Plant Coverage. Live plants, not including tree canopies, shall cover at least 75% of required Landscaped Areas. | The new areas that are being developed (3549-3555 S) meet the 75% live plant material requirement. The rest of the site will be required to meet the landscape standards in place at that time that they are redeveloped. | The rest of the site shall be required to meet the landscape standards in place at that time that they are redeveloped. |
| 3. Water features, landscape boulders, decorative rocks, gravel, and organic mulch are permitted but shall not be considered a substitute for plants. | Not Applicable | |

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| 4. If ornamental gravel is utilized, it must be contained within durable borders and arranged in a decorative pattern that incorporates varying sizes, types, or colors of gravel. | Not Applicable | |
| 17.10.140 – Subdivision Development Lot Standards | | |
| 1. All Final Plats shall result in the creation of compliant Lots and Building sites. | The proposed new lot will be 7.19 acres. This lot is compliant with the standards of the Commercial Corridor. | |
| 2. Frontage on public street | The exiting dealership fronts State Street. The existing marketing building fronts Winslow Avenue. There is also access to the property from 200 East and Baird Avenue. | |
| 3. Street right-of-way shall be separate and distinct from subdivided lots. | The lot is separate from the Right of Way and all development is to take place within the proposed property lines. | |
| 4. Minimum area and dimensions shall conform. | There is a one-acre minimum in the Commercial Corridor land use district. The proposed lot area is 7.19 acres, which is sufficient to accommodate the proposed development. | |
| 5. Side boundary lines shall be at right angles to the street. | All newly created side boundary lines are at right angles to all adjacent streets. | |
| 6. Side boundary lines of lots shall be radial to center of a Cul-de-Sac | Not Applicable | |
| 7. Corner lots for residential uses shall be platted wider than interior lots | Not Applicable | |
| 8. Lots shall not divide City boundary | All existing and proposed parcels are located within South Salt Lake City. | |
| 9. Double frontage residential lots | Not Applicable | |
| 10. Building envelope separation between Structures | The existing structures will remain as they are. All new development will meet the minimum separation standards. | |
| 11. Side lot lines shall be at right angles to street lines | The newly created side lot lines are at a right angle to street lines. | |
| 12. Dimensions of Corner Lots shall be large enough to allow for erection of Buildings | The final site plan indicates sufficient size to allow for erection of buildings. | |
| 13. Depth and width of properties shall be adequate to provide for off-street parking and loading facilities | The final site plan provides adequate off-street parking. There are 566 stalls provided, which meets the Auto Dealership requirement. The minimum required is 18 stalls. | |
| 14. New Single-Family lots | Not Applicable | |
| 15. If Access from an Arterial or Collector Street is necessary for new adjoining lots, such lots shall be served by separate local street | Not Applicable | |

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| 16. Driveways shall be designed and arranged to avoid vehicles backing onto Streets | There is ingress and egress provided from State Street, 200 East, Winslow Avenue, and Baird Avenue. | The western drive approach along Winslow Avenue shall be closed. Once closed, it shall match the existing sidewalk and landscaping. |
| 17. Lots shall be laid out to provide positive drainage away from all buildings. | Per the Engineering review, there is positive drainage away from all buildings. | |
| 17.10.160(A) - Drainage and Storm Sewers General Requirements | | |
| 1. Each plat shall make adequate provision for storm or flood water runoff. | Per the Engineering review, there is adequate provision for storm or flood water runoff. | |
| 17.10.160(B) – Nature of Stormwater Facilities | | |
| 1. Applicants may be required to carry away by pipe or open channel any spring or surface water that may exist either previously to or as a result of the subdivision. | Not applicable per Engineering review. | |
| 2. Adequate underground stormwater systems shall be constructed and maintained. | Per the Engineering review, there is an adequate underground stormwater system. | |
| 3. Accommodation of Upstream Drainage Areas. | Not applicable | |
| 4. Adequate storm / flood water drainage will be provided to an approved drainage watercourse or facility with capacity. | Per the Engineering review, there is adequate storm or flood water drainage. | |
| 5. Areas of poor drainage shall be remediated as applicable. | Per the Engineering review, there is adequate storm or flood water drainage. | |
| 6. Flood plain areas shall be preserved upon recommendation of City Engineer when necessary for the health, safety, or welfare of the population of the area. | No flood plain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer. | |
| 17.10.170 - Water Facilities | | |
| 1. Applicant shall extend public culinary water supply-system for the purpose of providing an adequate water-supply to the Plat | The proposed development connects to an existing water meter. Adequate water supply provisions are proposed per SSL Engineering review. | |
| 2. Applicant shall install adequate water facilities including fire hydrants. | There are three existing hydrants on or near the property. The hydrant locations are included on the ALTA Survey. | |
| 3. Fire flow shall be approved by the Fire Marshal. | A fire flow test was performed and the results were reviewed by the Fire Marshal. The Fire Marshal has reviewed and approved all proposed fire flow rates. | |
| 4. Water main extensions shall meet the City's standards. | Approved, per the SSL Engineering review. | |

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| 5. Location of all fire hydrants, all water and storage supply improvements shall be shown. | There are three existing hydrants on or near the property. The hydrant locations are included on the ALTA Survey. | |
| 6. A determination shall be made as to location or extent of facilities to be maintained by South Salt Lake City, if any. | Not applicable. There are no facilities at this location to be maintained by South Salt Lake City. | |
| 7. Fire hydrants required for all plats. | There are three existing hydrants on or near the property. The hydrant locations are included on the ALTA Survey. | |
| 17.10.180 - Sewer Facilities | | |
| 1. The applicant shall install sanctuary sewer facilities in a manner prescribed by the applicable sanitary sewer authority. | Per Mt. Olympus Improvement District, there is adequate sewer capacity in this area. | |
| 2. Sanitary sewer facilities shall connect with the public sanitary sewer at sizes required by the sanitary sewer authority | Per Mt. Olympus Improvement District, there is adequate sewer capacity in this area. | |
| 17.10.190 – Utilities | | |
| 1. A. Utility facilities shall be located underground in new subdivisions. | All utilities will be undergrounded. | All undergrounding of utilities shall be completed within one-year of receiving final plat approval. |
| 2. Easements centered on Rear Lot Lines shall be provided for private and municipal utilities; such easements shall be at least 10' wide. | The 10' PUE on the plat has been reviewed and approved by the City Engineer. | |
| 17.10.200 - Sidewalks, Trails, and Bike Paths | | |
| 1. Subdivision shall comply with the applicable road profile. | There is an 11.5-foot Right of Way dedication along Winslow Avenue. All existing Right of Way improvements along State Street, Winslow Avenue, and Baird Avenue will remain in place. | |
| 2. Trails, pedestrian paths, and bike paths shall relate appropriately to topography. | Public and internal pathways relate appropriately to topography on the site and comply with South Salt Lake code. | |
| 3. Trails, pedestrian paths, and bike paths shall be provided in accordance with the Trails Master Plan. | The Trails Master Plan does not include any facilities adjacent to the subject property. | |

STAFF RECOMMENDATION:

Staff recommends the Planning Commission approve the preliminary subdivision plat to consolidate three parcels into one-lot, located at 3535 South State Street, based upon the information submitted by the applicant, the general plan considerations and ordinance analysis and proposes the following Findings of Fact, Conclusions of Law and Conditions of Approval.

Findings of Fact:

1. On June 25, 2021, Katmark Partners, LLC, submitted a plat application to consolidate three parcels, in order to expand the existing Auto Dealership on site.
2. The subject parcels are located at 3535 South State Street, 130 East Winslow Avenue, and 3549-3555 South 200 East.
3. All three parcels are located in the Commercial Corridor land use district.
4. The proposed consolidation plat will consolidate three parcels into a 7.19-acre lot.
5. The business will have access from State Street, Winslow Avenue, Baird Avenue, and 200 East.

Conclusions of Law:

1. The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The use, as specifically conditioned below, is compatible in use, scale, and design with allowed uses in the Commercial Corridor land use district.
3. The subdivision as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.
4. The subdivision, as specifically conditioned below does not impose disproportionate burdens on the citizens of the city.
5. Staff has reviewed this subdivision for compliance with SSL Municipal Code Section "17.10.140 Subdivision Development Lot Standards" and found that this subdivision is compliant with this section, as outlined above.
6. Staff has reviewed this subdivision for compliance with SSL Municipal Code Section "17.10.150 Subdivision and Condominium Plat Layout Requirements" and found that this subdivision is compliant with this section, as outlined above.
7. Staff has reviewed this subdivision for compliance with SSL Municipal Code Sections 17.10.160, 17.10.170, 17.10.180, 17.10.190, 17.10.200, and 17.10.210, and found that this subdivision is compliant with those sections, as outlined above.

Conditions of Approval:

1. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;
2. Prior to plat recordation and issuance of full building permits for the subsequent lot, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The applicant shall complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all required landscaping and public infrastructure improvements

including street lights, and closing the western most curb cut along Winslow Avenue within one year of receiving final plat approval;

4. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;
5. The applicant shall dedicate an easement to the City of South Salt Lake for purposes of storm water management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;
6. The proposed development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering department;
7. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit;
8. The applicant shall record the plat with the Salt Lake County Recorder's Office within 365 days of receiving final plat approval; or the approval will expire. However, if the applicant elects to install Infrastructure Improvements has deposited a 10% Warranty Assurance, and is actively working on the issued building permit, the plat approval will not expire until two years after final plat approval;
9. The western drive approach along Winslow Avenue shall be closed. Once closed, it shall match the existing sidewalk and landscaping;
10. All undergrounding of utilities shall be completed within 365 days of receiving final plat approval; and
11. All items of the staff report.

PLANNING COMMISSION OPTIONS:

Option 1: Approval

Move to approve an application by Katmark Partners, LLC to consolidate three parcels into one lot located at 3535 South State Street, 130 East Winslow Avenue, and 3549-3555 South 200 East, based on the Findings of Fact, Conclusions of Law, and Conditions of Approval as outlined in the staff report and enumerated on the record.

Option 2: Denial

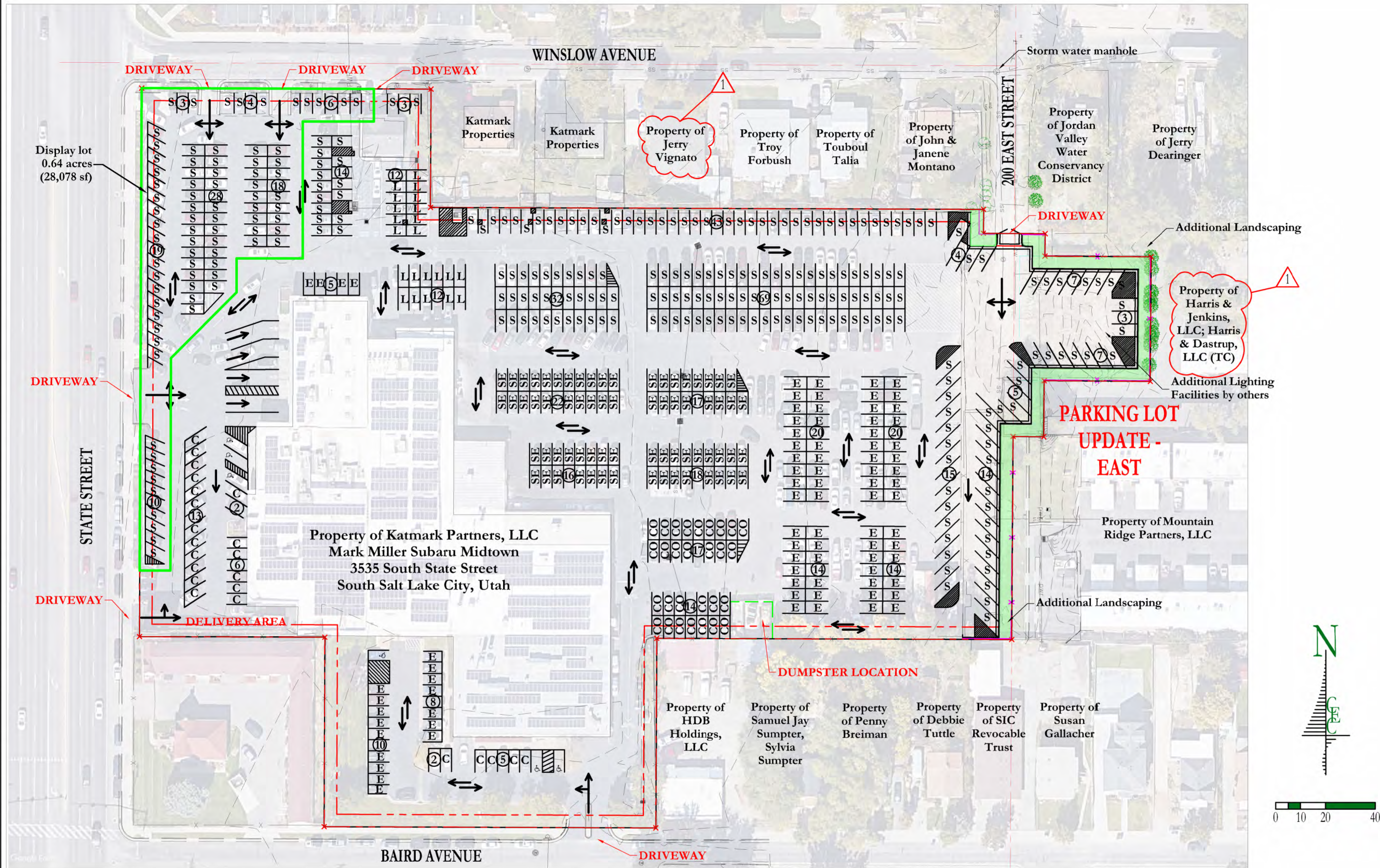
Move to deny the application by Katmark Partners, LLC to consolidate three parcels into one lot located at 3535 South State Street, 130 East Winslow Avenue, and 3549-3555 South 200 East, based on the findings discussed on the record.

Option 3: Continuance

Move to table the decision on the application by Katmark Partners, LLC to consolidate three parcels into one lot located at 3535 South State Street, 130 East Winslow Avenue, and 3549-3555 South 200 East, to a date certain to allow the Applicant and Staff time to respond to specific inquires or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

Attachments:

1. Proposed Site Plan
2. Civil Plan Set
3. ALTA Survey



| | | | | | |
|----|--------------------------|----|----|-----------------------------|------------|
| C | Customer Parking Stalls | 28 | L | Loaner Parking Stalls | 24 |
| CO | Collision Parking Stalls | 31 | S | Sales Parking Stalls | 304 |
| E | Employee Parking Stalls | 91 | SE | Service Que Parking Stalls | 73 |
| ♿ | Handicap Parking Stalls | 6 | | | |
| | | | | Total Parking Stalls | 557 |

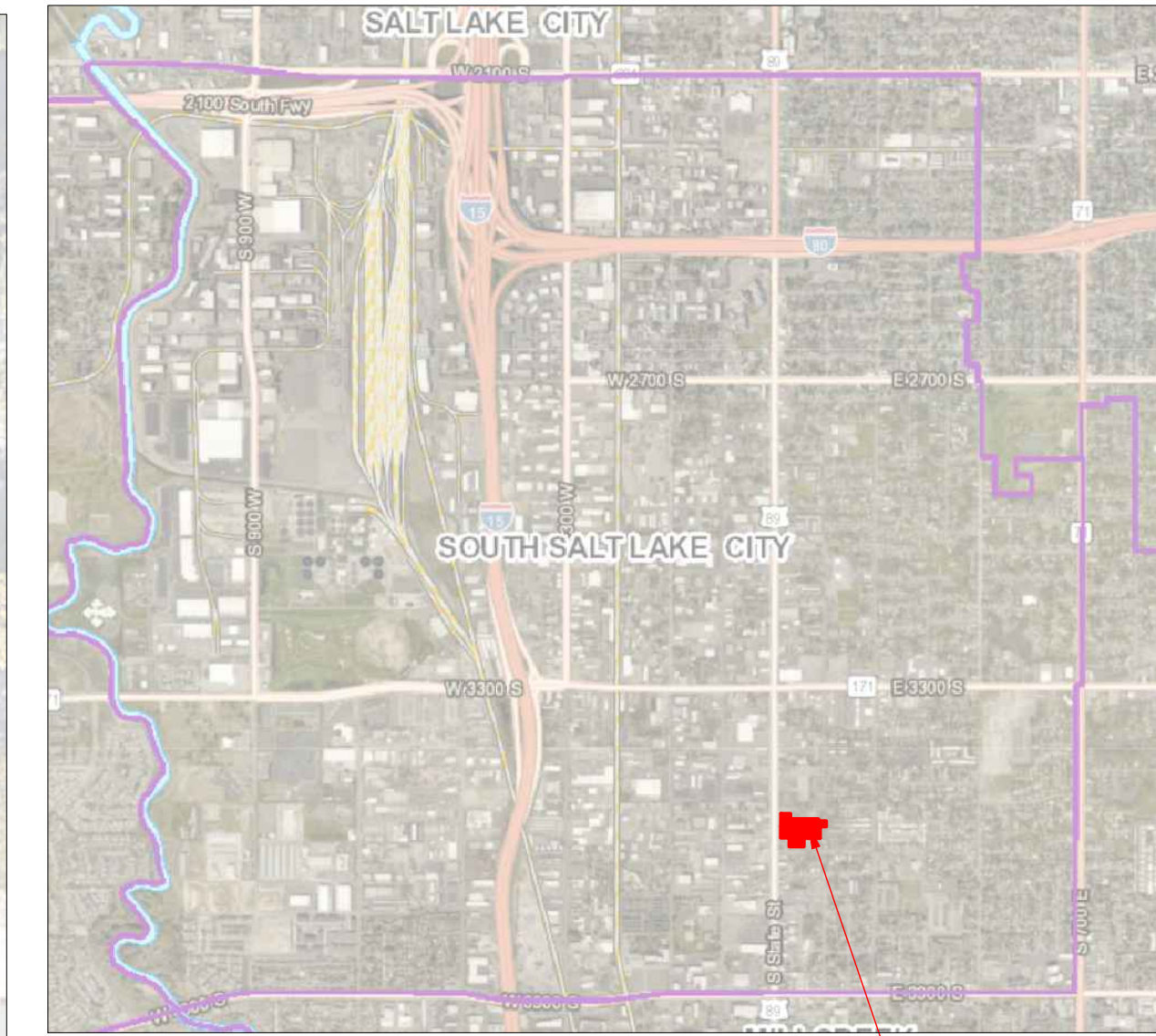
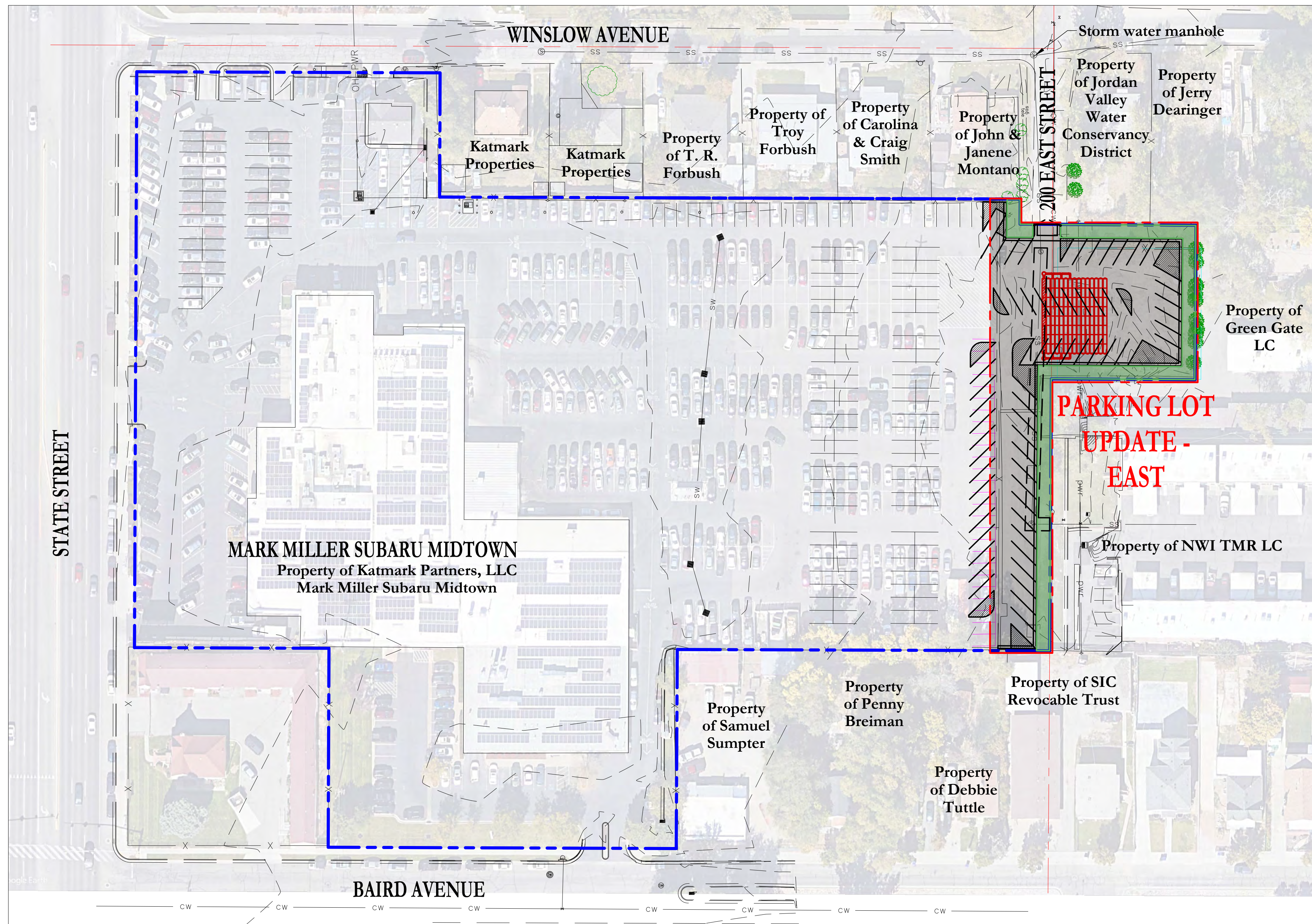
CEC
 CIVIL ENGINEERING
 CONSULTANTS, PLLC.
 5141 SOUTH 1500 WEST
 RIVERDALE, UT 84405
 801.866.0550

| NO. | DATE | BY | REVISIONS |
|-----|----------|-----|--------------------|
| 1 | 1/5/2023 | RTF | Parcel name update |
| | | | |
| | | | |
| | | | |

DATE: DECEMBER 2023
 DRAWN: JEO
 CHECKED: RTF

PROJECT / LOCATION:
 KATMARK SUBDIVISION IMPROVEMENT
 3535 SOUTH STATE STREET
 SOUTH SALT LAKE, UTAH
 TITLE:
 PARKING & VEHICLE CIRCULATION

CLIENT:
 ARCHSTONE GROUP
 PROJECT NUMBER:
 ARCH19002
 FILE:
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 SHEET:
 1 of 1



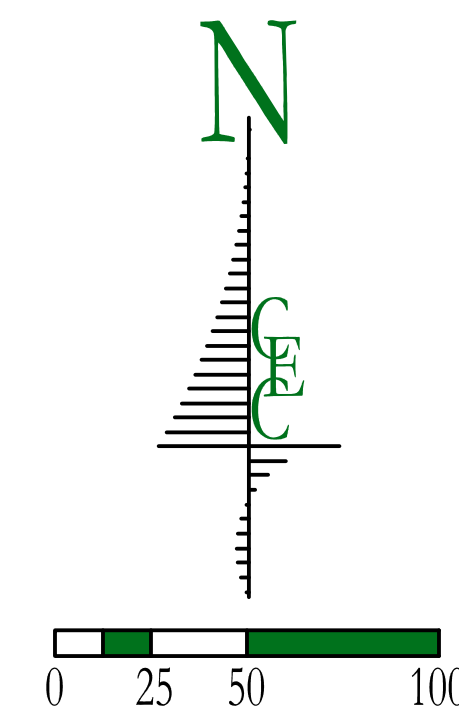
VICINITY MAP Project location

| SHEET INDEX | |
|-------------|---------------------------------|
| 1 OF 6 | COVER |
| 2 OF 6 | NOTES |
| 3 OF 6 | EAST PARKING LOT - SITE PLAN |
| 4 OF 6 | EAST PARKING LOT - GRADING PLAN |
| 5 OF 6 | DETAILS |
| 6 OF 6 | DETAILS |

| STORM WATER POLLUTION PREVENTION PLAN SHEET INDEX | |
|---|--------------------------|
| SWPPP 1 | SWPPP NOTES & DETAILS |
| SWPPP 2 | EAST PARKING LOT - SWPPP |
| SWPPP 3 | SWPPP DETAILS |

LEGEND AND SYMBOLS

| | | |
|-----------------------|-------------------------------|--|
| Centerline of road | Culinary water manhole & pipe | Fire hydrant |
| Contour line —1234 | Fiber optic box & line | Storm water catch basin |
| Curb & gutter | Gas manhole & line | Street sign |
| Easement line | Irrigation manhole and pipe | Street light |
| Fence x x x | Land drain manhole & pipe | Water meter |
| Lot line | Power pole and line | Water valve |
| Phase/boundary line | Sanitary sewer manhole & pipe | *Note: All existing features will be in a shaded line |
| Right of way line | Storm water manhole & pipe | |
| Section corner & line | Telephone pedestal & line | |



CEC
 CIVIL ENGINEERING CONSULTANTS, PLLC.
 5141 SOUTH 1500 WEST
 RIVERDALE, UT 84405
 801.866.0550

| NO | DATE | BY | REVISIONS |
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| | | | |
| | | | |

DATE: SEPTEMBER 2023
 DRAWN: JEO
 CHECKED: RTF

PROJECT / LOCATION:
 KATMARK SUBDIVISION IMPROVEMENTS
 SOUTH SALT LAKE, UTAH
 TITLE:
 COVER

CLIENT: ARCHSTONE GROUP
 PROJECT NUMBER: ARCH19002
 FILE: ~arch19002.dwg
 SHEET: 1 of 6



LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Plans\3D DATE: 9/26/2023 11:45 AM

EROSION CONTROL NOTES

1. During construction, the contractor shall be responsible for preventing and controlling soil erosion due to wind and water runoff. The contractor shall be sole responsible for constructing and maintaining the erosion control facilities. All surrounding streets shall be kept clean of debris from traffic from the project site.
2. The contractor shall comply with the requirements of the "best management practices" for storm water protection. This requirement may include protecting all inlet boxes, catch basins, drainage ditches, etc. during construction. The contractor shall protect all surrounding properties and streets from site runoff as required. Approved storm water protection methods and drainage provisions must be used to protect adjoining properties during construction.
3. The contractor shall use vehicle tracking control best management practices at all locations where vehicles will enter or exit the site. Control facilities must be maintained while construction work is in progress, adjusted when necessary, and removed from the site when the project is completed.
4. The contractor shall install storm water inlet protection devices immediately upon all individual storm water inlets becoming functional.
5. All wash water from construction vehicles (concrete trucks, vehicle cleaning, etc.) shall be disposed in a manner that prevents contact with natural storm water discharges from the site.
6. All construction materials spilled, dropped, washed or tracked from vehicles onto City roadways or into storm drainage facilities must be removed immediately.
7. No rubbish, trash, garbage or other such materials shall be discharged into drainage ditches or storm water runoff channels.
8. The contractor shall adhere to all conditions of the "Utah State Storm Water Pollution and Prevention Plan" adopted for this project. The contractor shall be responsible for adjusting the erosion control measures (silt fences, straw bales, etc.) due to grade changes or other unforeseen conditions during development of the project.



GENERAL CONSTRUCTION NOTES

1. The utilities shown on the drawings are for informational purposes only. The contractor shall locate all underground utilities, contact blue stakes and other applicable utilities prior to laying pipe within 200 feet of said utilities which may be exposed, damaged or crossed as shown on the drawings or as "blue staked". The contractor shall coordinate with the utility company to move the utility if necessary. The contractor shall not modify grade of project lines in order to go over and around existing utilities. The contractor shall pothole for the location of utilities prior to excavation.
2. The contractor shall review and verify all dimensions shown on the drawings.
3. The contractor shall be responsible to provide appropriate signing and barricading. All flagging, signage and barricades and all traffic control required shall be in compliance with the current "manual on uniform traffic control devices".
4. All public and private roadways must be cleaned daily, or as often as required, of all loose dirt, mud, gravel and all debris as a result of the construction work. This requirement shall apply continuously throughout the duration of the project and shall not be limited to normal construction working hours.
5. All dust on project site shall be controlled by sweeping and watering the construction area.
6. The contractor shall be completely responsible for the job site conditions during the course of construction, including safety of all persons and adjoining property. This requirement shall apply continuously throughout the duration of the project and not be limited to normal construction working hours.
7. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify project engineer of any discrepancies or conflicts prior to any connections being made.
8. The contractor shall be responsible for meeting all of the requirements established for safe trenching. (See OSHA and UOSHA requirements, latest editions).
9. Specific information provided in the contract documents shall supersede items covered in these drawings.
10. The contractor shall contact and coordinate all utility connections with the utility owner.
11. All construction to comply with specifications contained herein and with South Salt Lake City standards and specifications.
12. Follow all recommendations of the approved geotechnical report. South Salt Lake City Standard Specifications and Details shall govern, however, unless geotechnical report recommendations are more stringent.
13. All public improvements, which are to be owned and maintained by South Salt Lake City, shall be constructed according to the South Salt Lake City Standard Specifications and Details for Municipal Construction (latest edition).

14. Notify South Salt Lake City Public Works Inspection Department, 48 hours prior to beginning construction of any roadways or public improvements, including sewer facilities. All inspections must be done prior to, or concurrent with, construction. Failure to make this notification may result in the uncovering and/or removal of all construction done without notification, at the discretion of the City Engineer.
15. The use of motor oils and other petroleum-based or toxic liquids, for dust suppression, is absolutely prohibited.
16. Builder/Owner shall replace any existing sidewalk or curb & gutter along the frontage of this project, that is found to be defective, as directed by the South Salt Lake City Inspector.
17. Dust, mud, and erosion shall be adequately controlled by whatever means necessary, and the roadway shall be kept free of mud and debris, at all times.
18. Any proposed changes to the approved design shall be reviewed and approved by the Engineer or Architect of record and the City Engineer.
19. Provide slope away from buildings that complies with the requirements of the International Building Code (2% minimum/12% maximum on hard surfaces, 5% minimum / 2:1 maximum in landscape areas - for minimum 10 feet in any case).

CAUTION NOTICE TO CONTRACTOR

The contractor is herewith instructed that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information shown is not to be relied on as being exact or complete. The contractor is required to call the appropriate utility company as least 48 hours before any excavation to request exact field location of utilities. Is the sole responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the drawings.

The contractor shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property. This requirement shall apply continuously and not be limited to the normal working hours; and the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from sole negligence of the owner or the engineer.

ABBREVIATIONS USED IN DRAWINGS

| | | | | | | | | | |
|-------|----------------------------------|-------|----------------------------|-----|-----------------------|---------|-------------------------|------|------------------|
| adj | adjust | dwg | drawing | hp | high point | pr | proposed | tbc | top back of curb |
| arv | air release valve | elec | electrical | in | inch | prc | point of reverse curve | tele | telephone |
| bw | back of walk | eg | existing grade | inv | invert | prv | pressure reducing valve | toa | top of asphalt |
| bvce | beginning vertical curve elev. | elev | elevation | irr | irrigation | pt | point of tangency | toe | toe of slope |
| bvcs | beginning vertical curve station | eoc | edge of concrete | lf | linear foot | pue | public utility easement | top | top of slope |
| bw | both ways | ep | edge of pavement | lip | lip of curb | pvc | polyvinyl chloride pipe | tow | top of wall |
| cb | catch basin | evce | end vertical curve elev. | lt | left | r | radius | tow | top of walk |
| chord | chord bearing | evcs | end vertical curve station | max | maximum | rc | rebar & cap | typ | typical |
| cl | centerline | ew | each way | mh | manhole | row | right of way | w | water |
| cmp | corrugated metal pipe | exist | existing | min | minimum | rt | right | wm | water meter |
| co | clean out | ff | finished floor elevation | mon | monument | sd | storm drain | wmh | water manhole |
| conc | concrete | fg | finished grade | nts | not to scale | sec cor | section corner | wv | water valve |
| conc | concrete | fh | fire hydrant | oc | on center | ser | south end radius | | |
| cw | culinary water | fl | flow line | ohp | over head power | ss | sanitary sewer | | |
| da | delta angle | fo | fiber optic | pc | point of curvature | ssmh | sanitary sewer manhole | | |
| det | detail | ft | foot | pi | point of intersection | sta | station | | |
| dia | diameter | gb | grade break | pl | property line | std | standard | | |
| dip | ductile iron pipe | hdpe | high density poly ethylene | pp | power pole | sw | secondary water | | |



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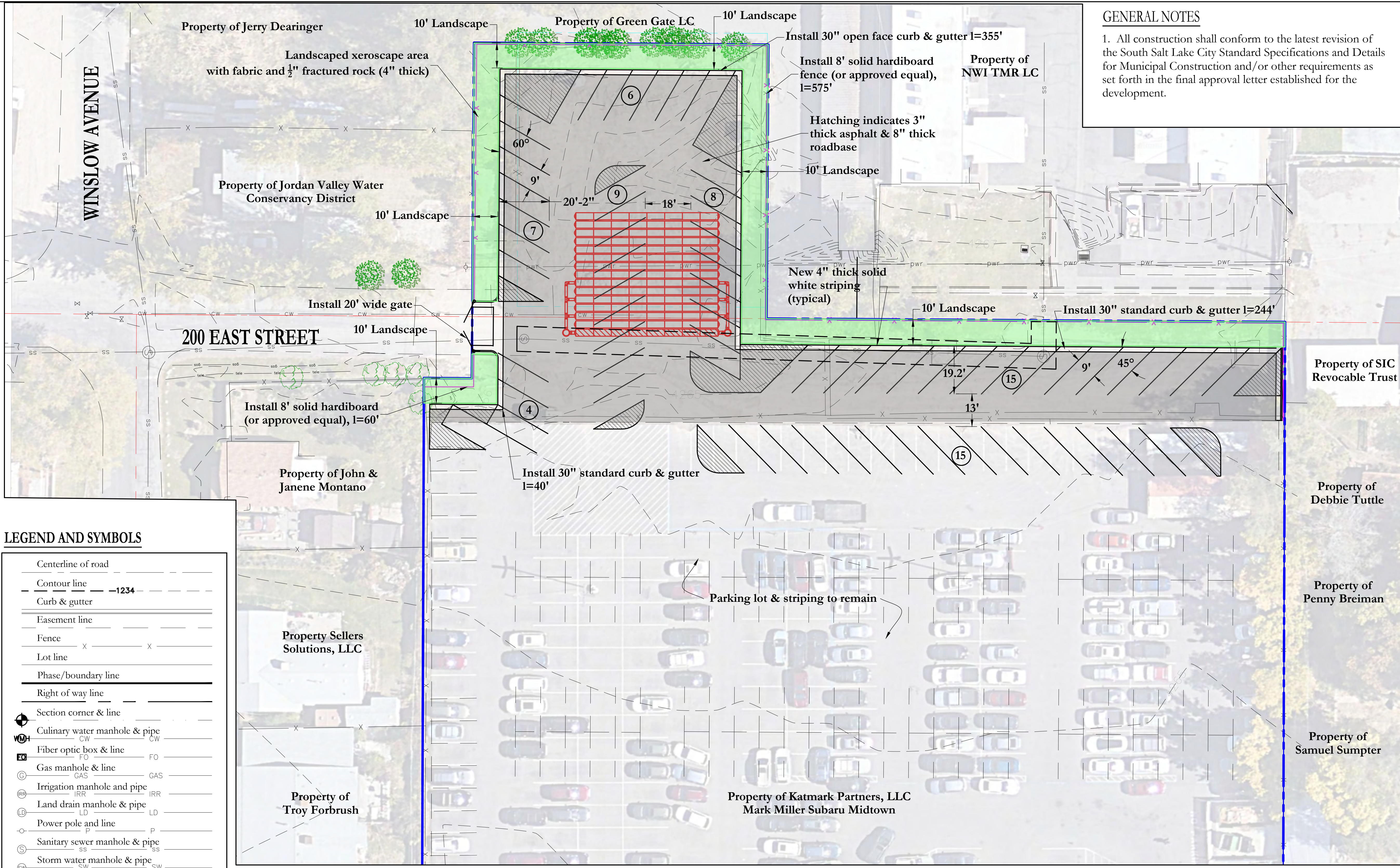
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PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH
TITLE: NOTES

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg
SHEET: 2 of 6



LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Planset\C3D DATE: 9/26/2023 11:45 AM

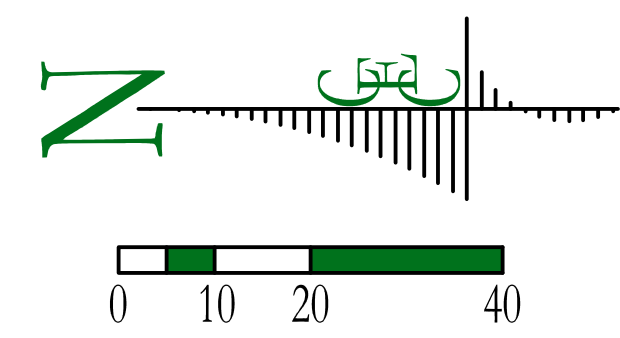


GENERAL NOTES
 1. All construction shall conform to the latest revision of the South Salt Lake City Standard Specifications and Details for Municipal Construction and/or other requirements as set forth in the final approval letter established for the development.

LEGEND AND SYMBOLS

| | |
|-------------------------------|-----------|
| Centerline of road | --- |
| Contour line | -1234 |
| Curb & gutter | --- |
| Easement line | --- |
| Fence | X |
| Lot line | --- |
| Phase/boundary line | --- |
| Right of way line | --- |
| Section corner & line | ● |
| Culinary water manhole & pipe | ⊕ CW |
| Fiber optic box & line | ⊕ FO |
| Gas manhole & line | ⊕ GAS |
| Irrigation manhole and pipe | ⊕ IRR |
| Land drain manhole & pipe | ⊕ LD |
| Power pole and line | ⊕ P |
| Sanitary sewer manhole & pipe | ⊕ SS |
| Storm water manhole & pipe | ⊕ SW |
| Telephone pedestal & line | ⊕ TELE |
| Fire hydrant | ⊕ |
| Storm water catch basin | ■ |
| Street sign | ⊕ |
| Street light | ⊕ |
| Water meter | ⊕ |
| Water valve | ⊕ |

*Note:
All existing features will be in a shaded line



NOTES:
 Parking Stalls: (9'x18' unless noted - matching existing)
 (#) - indicates number of stalls available

Landscaping Area: 5,686 sq. ft. (21%)
 Impervious Area: 20,883 sq. ft. (79%)
 Total Site Area: 26,569 sq. ft.

LEGEND

| | |
|---|--|
| ■ | Install 3" thick asphalt & 8" thick roadbase |
| ■ | Landscape Area (21%) |

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PROJECT / LOCATION:
 KATMARK SUBDIVISION IMPROVEMENTS
 SOUTH SALT LAKE, UTAH

TITLE:
 EAST PARKING LOT - SITE PLAN

CLIENT:
 ARCHSTONE GROUP

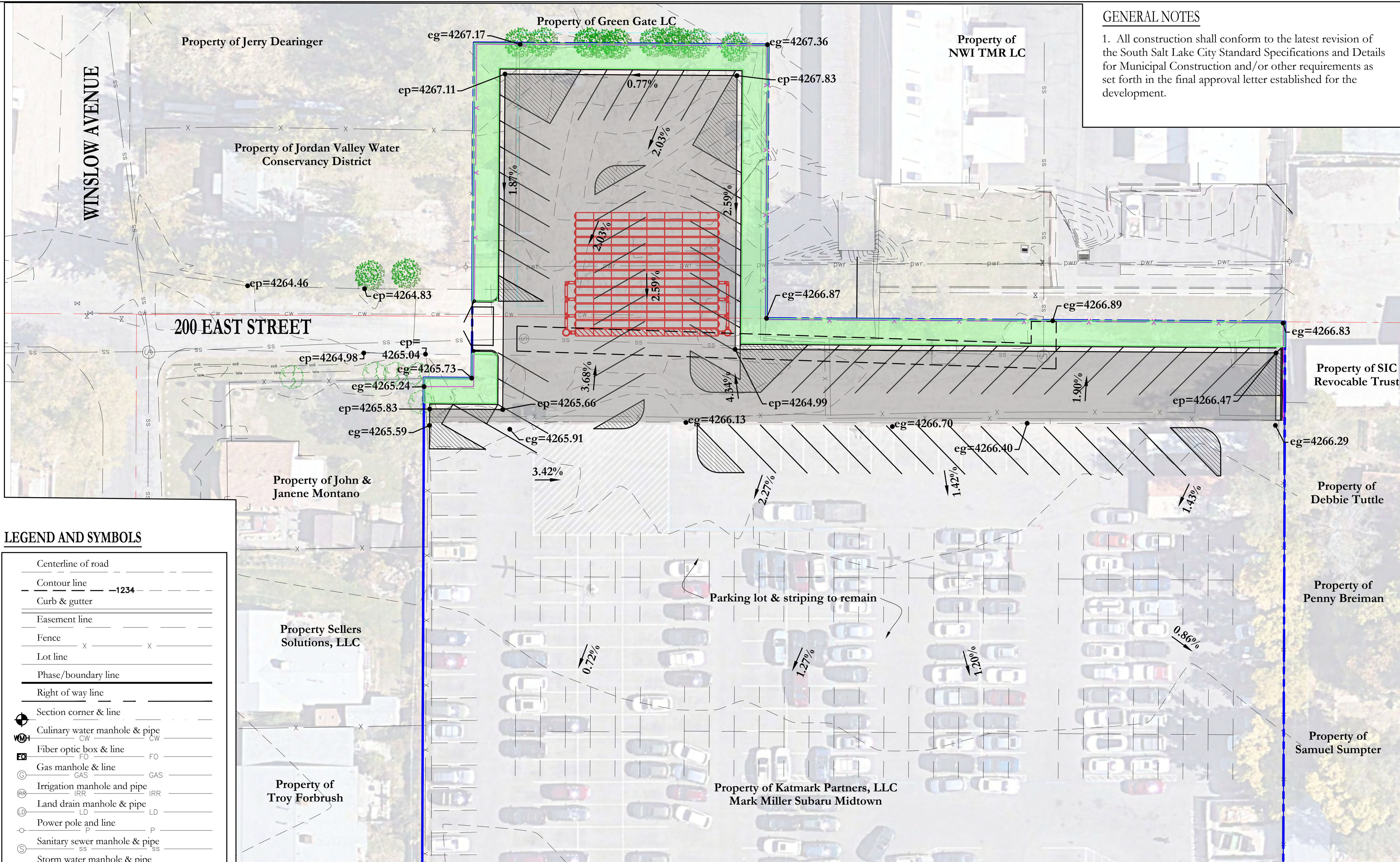
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FILE:
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SHEET:
 3 of 6



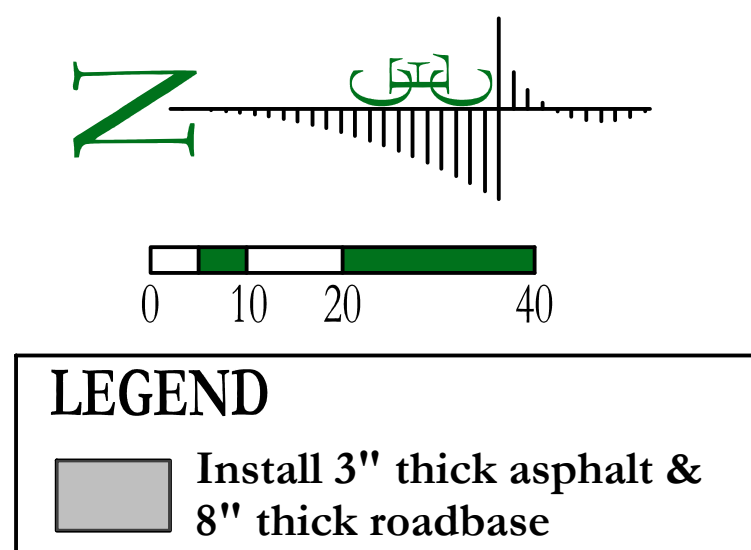
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GENERAL NOTES
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LEGEND AND SYMBOLS

- Centerline of road
 - Contour line -1234
 - Curb & gutter
 - Easement line
 - Fence X X
 - Lot line
 - Phase/boundary line
 - Right of way line
 - Section corner & line
 - Culinary water manhole & pipe CW
 - Fiber optic box & line FO
 - Gas manhole & line GAS
 - Irrigation manhole and pipe IRR
 - Land drain manhole & pipe LD
 - Power pole and line P
 - Sanitary sewer manhole & pipe SS
 - Storm water manhole & pipe SW
 - Telephone pedestal & line TELE
 - Fire hydrant
 - Storm water catch basin
 - Street sign
 - Street light
 - Water meter
 - Water valve
- *Note:
 All existing features will be in a shaded line



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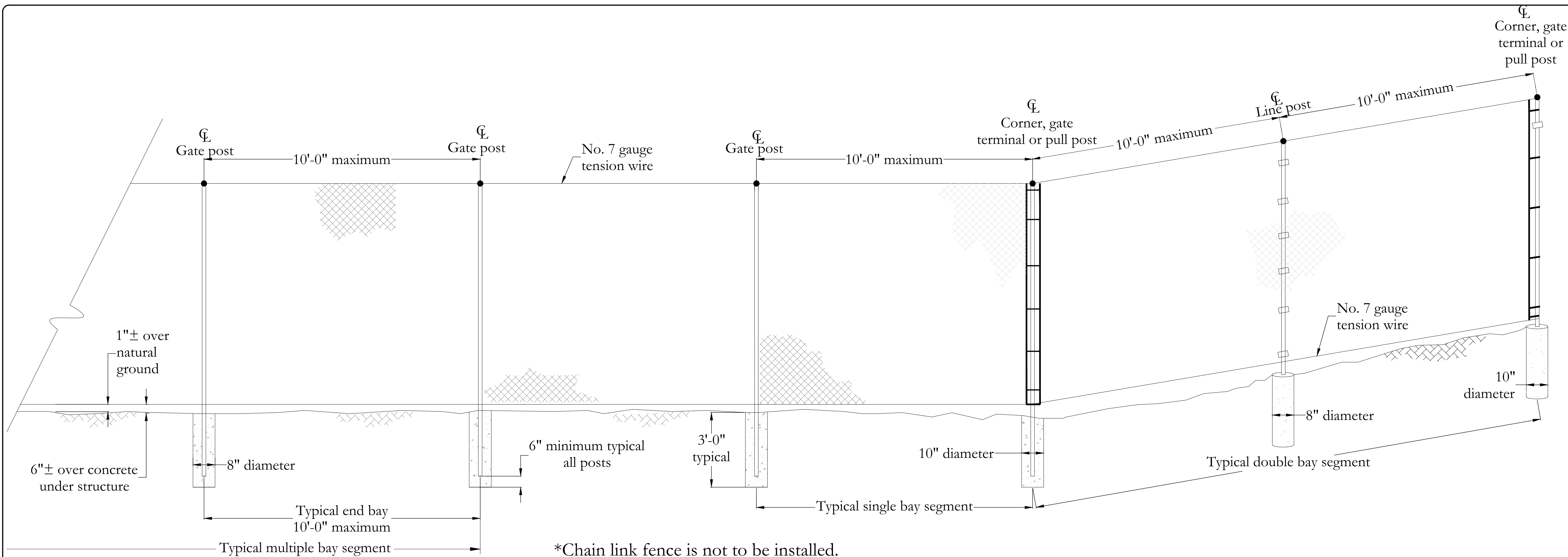
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 CHECKED: RTF

PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH
 TITLE: EAST PARKING LOT - GRADING PLAN

CLIENT: ARCHSTONE GROUP
 PROJECT NUMBER: ARCH19002
 FILE: ~arch19002.dwg
 SHEET: 4 of 6



LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Planset\C3D DATE: 9/26/2023 11:46 AM

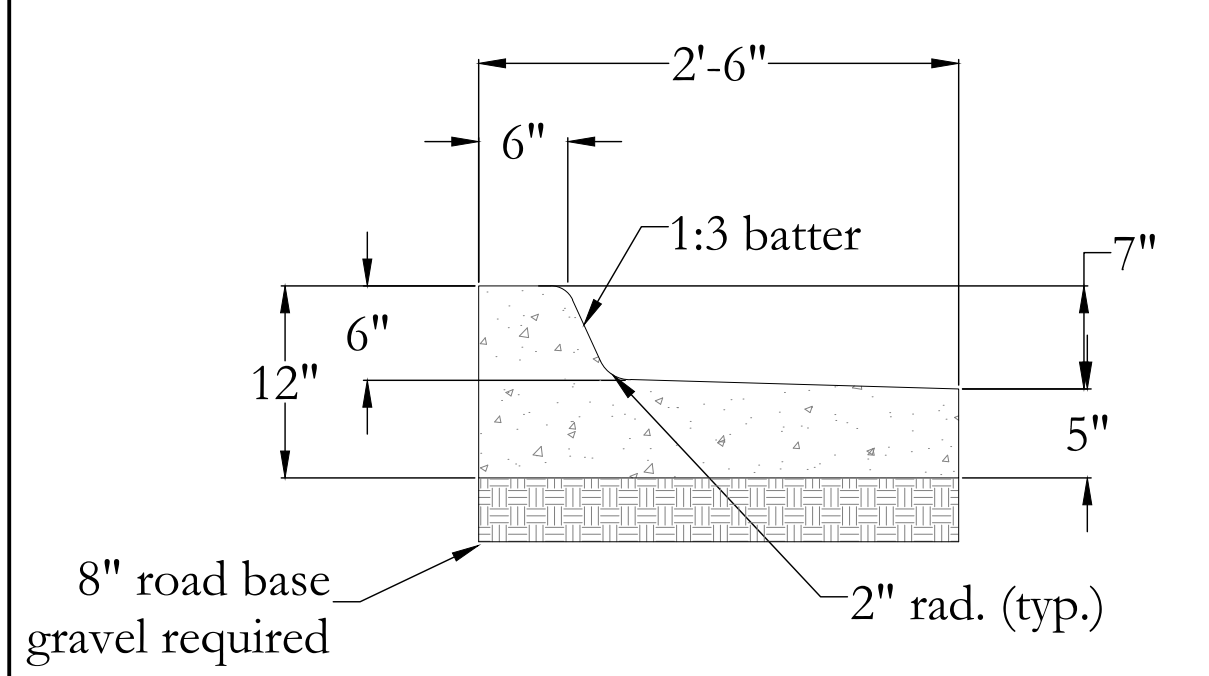
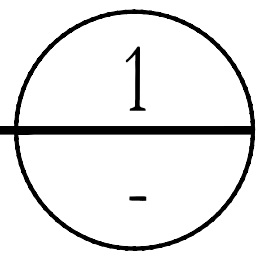


*Chain link fence is not to be installed.
This detail is for repair purposes only.

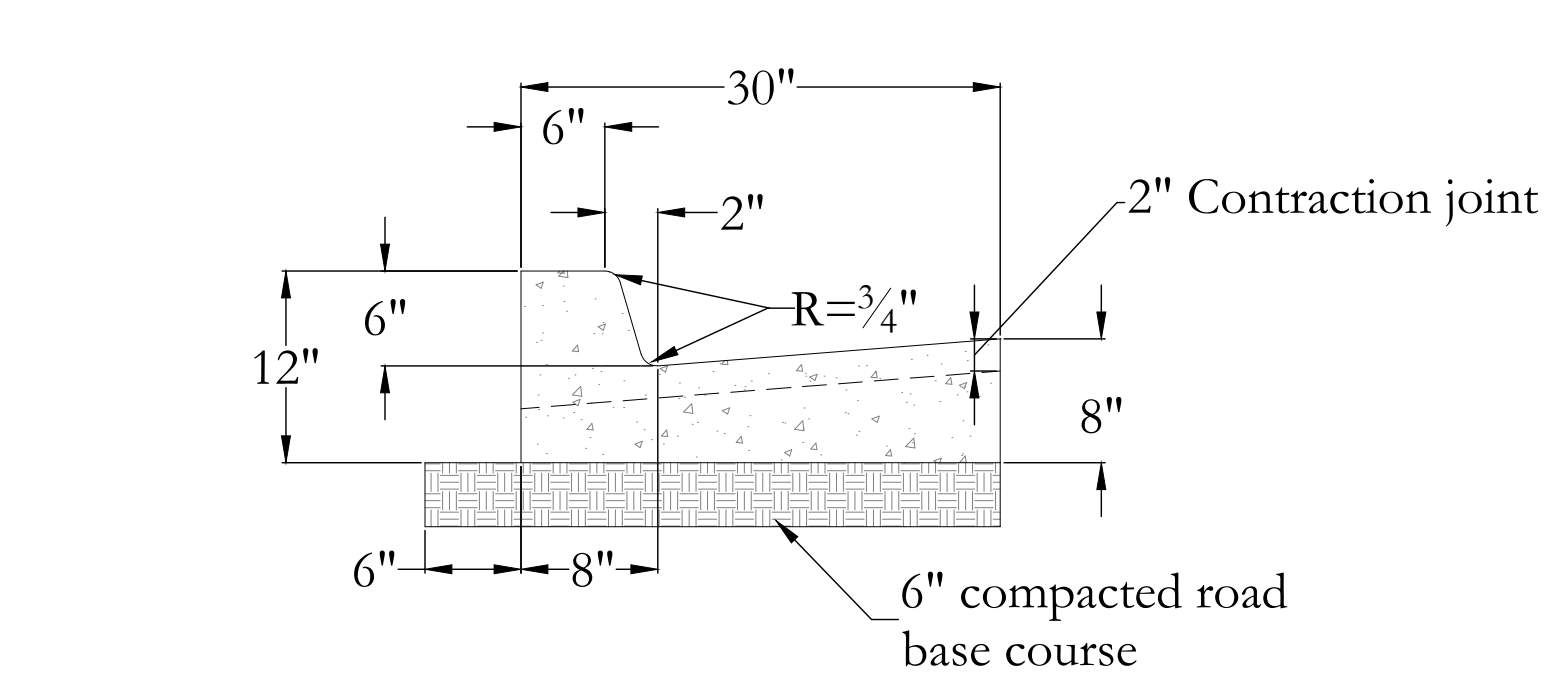
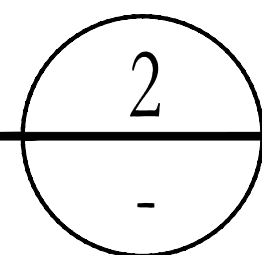
NOTES:

1. All fabric shall be 6' high chain link of 2" galvanized mesh of 9 gauge.
2. All steel pipe members shall conform to the requirements of astm designation a-120, schedule 40, hot dipped zinc coated steel pipe.
3. All posts shall be set in concrete and shall be topped with ball type or other approved ornament.
4. All end, corner or pull posts shall be 9 feet in length with a minimum diameter of 2-3/8 inches; all line posts shall be 8 feet 8 inches in length with a minimum diameter of 1-7/8 inches.

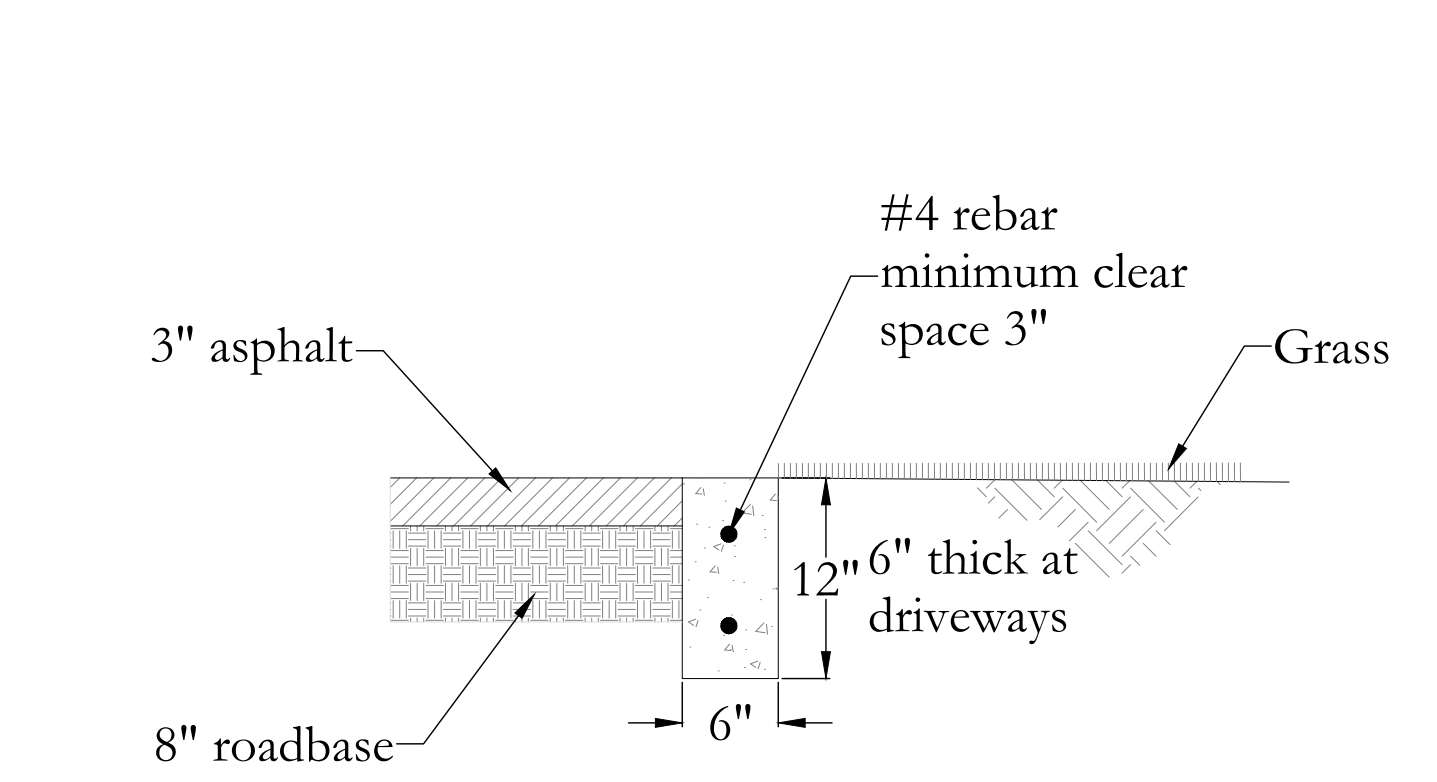
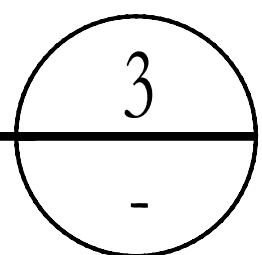
TYPICAL CHAIN LINK FENCE
SCALE: NONE



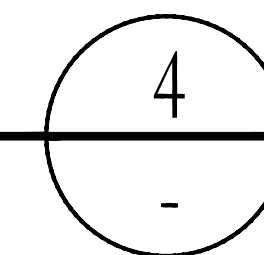
OPEN FACE CURB & GUTTER
SCALE: NONE



STANDARD 30" CURB & GUTTER
SCALE: NONE
South Salt Lake City Type A



CURB WALL DETAIL
SCALE: NONE



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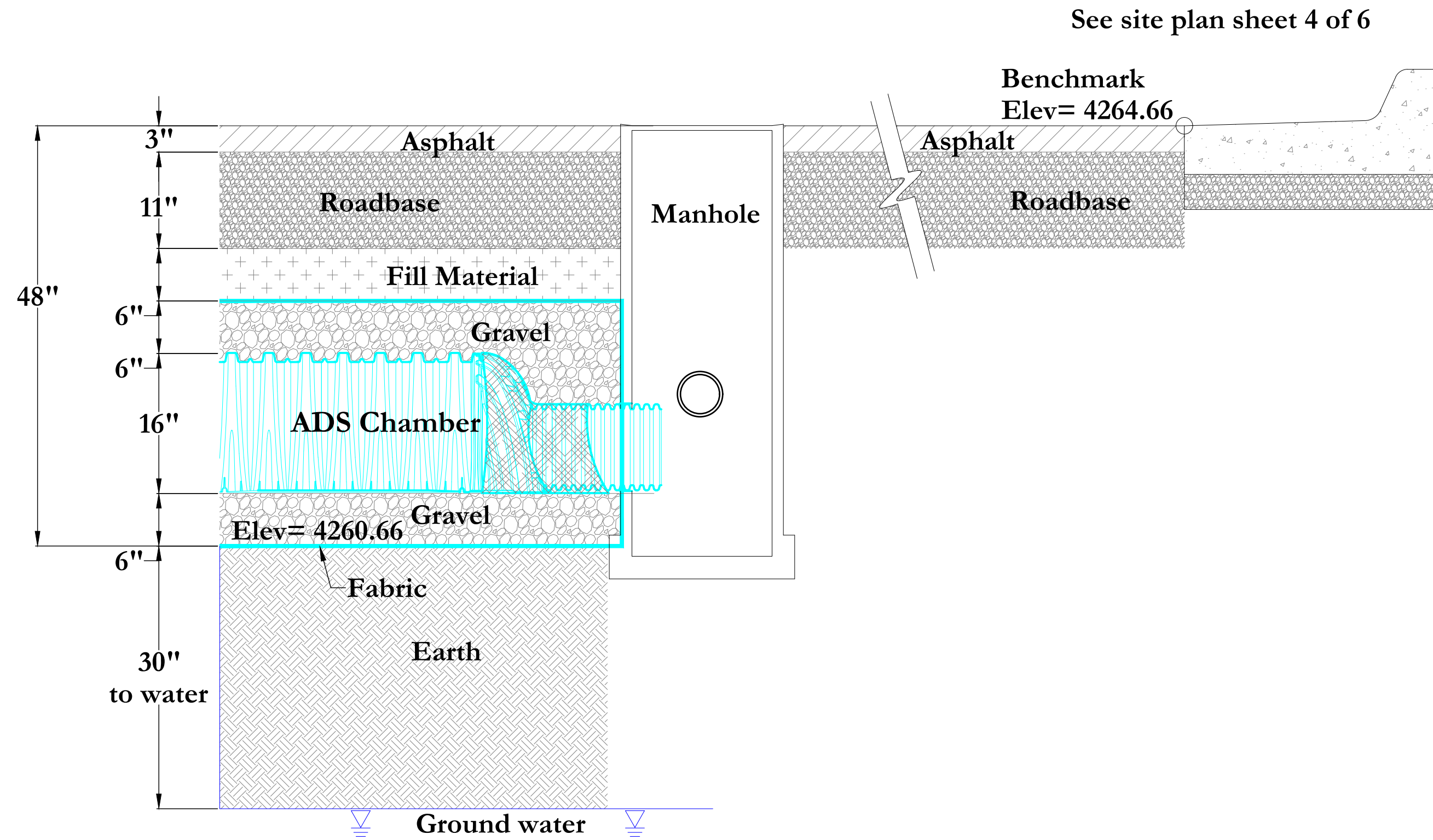
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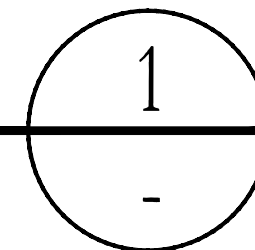
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TITLE: DETAILS

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: details.dwg
SHEET: 5 of 6

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CROSS-SECTION - EAST PARKING LOT
 UNDERGROUND RETENTION
 SCALE: NONE



See Geotechnical Reports
 by Christensen Geotechnical

12 December 2019 - Paving
 30 December 2019 - Ground Water (East parking lot)
 21 April 2021 - Ground Water (North parking lot)



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PROJECT / LOCATION:
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 SOUTH SALT LAKE, UTAH
 TITLE:
 DETAILS

CLIENT:
 ARCHSTONE GROUP
 PROJECT NUMBER:
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STORM WATER POLLUTION PREVENTION PLAN KATMARK SUBDIVISION

SCOPE OF PROJECT

Regrading, removal, clearing and grubbing site. Install ADS underground storm water systems at two locations (see drawings). Install new parking lots with asphalt, roadbase and curb & gutter and storm water inlet boxes.

SITE DETAILS

- The Construction site is located within the boundaries of South Salt Lake City, Davis County. Estimated area that will be developed is 0.6 acres - East parking lot, 0.5 acres - North parking lot.
 - The Coefficient of Run-off following construction will be changed to reflect medium density for residential development. Upon project completion, a storm water detention basin will be fully operational and miscellaneous storm water facilities completed.
- Pre-development (medium vegetation): **C=0.35**
Residential development (home & landscaping): **C=0.55**
- The collection and detention of storm water will follow the South Salt Lake City approved design drawings.
 - The drainage pattern on the existing site will be altered to direct the storm water to be collected in 2 proposed ADS underground storm water systems.

CLEARING AND GRUBBING

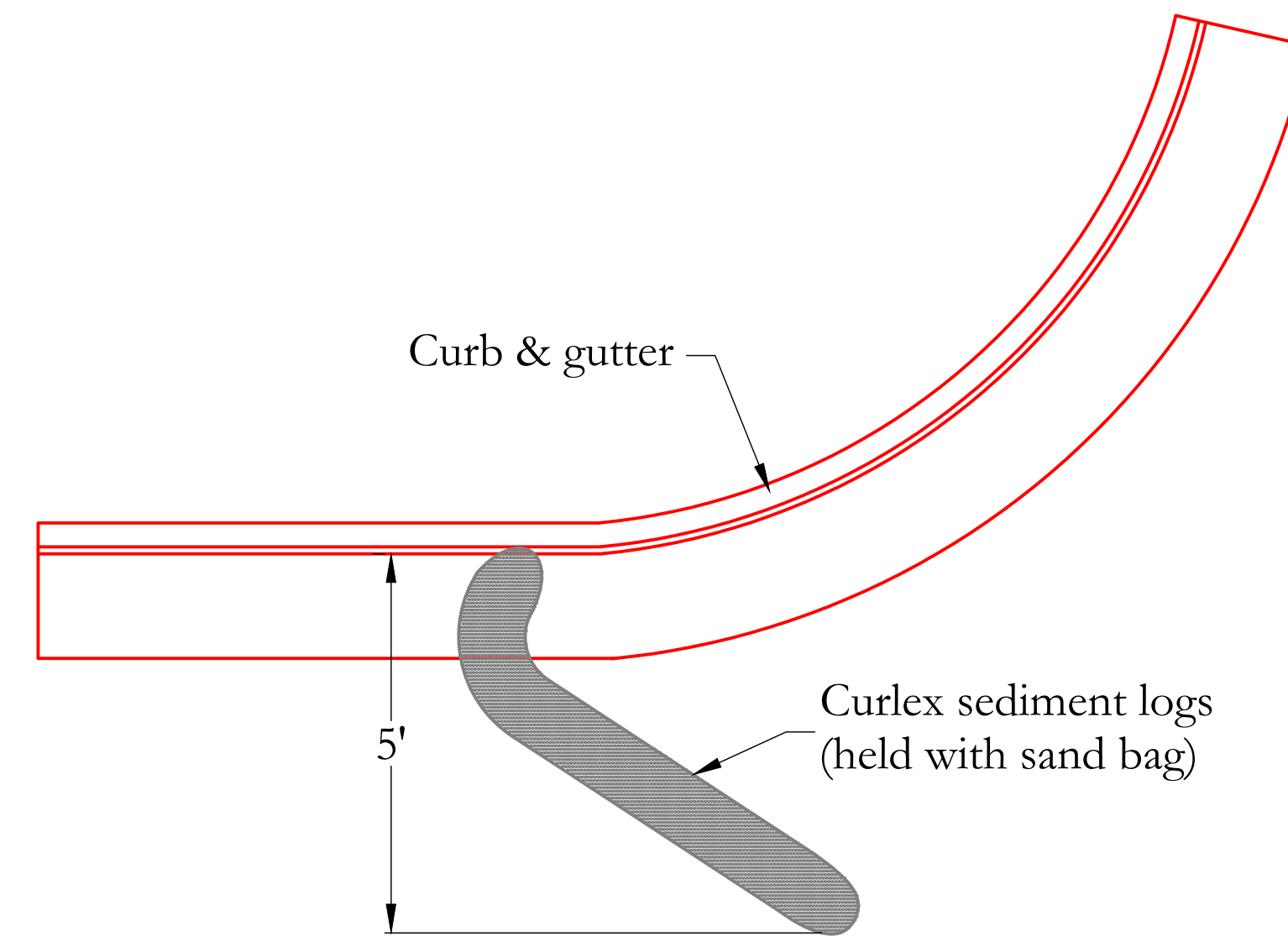
- During the clearing and grubbing construction work, additional efforts will be extended to protect any debris from entering the South Salt Lake City Storm Water facilities.
- These environmental controls will be monitored a minimum of every 14 days or after a 1/2" inch or more of rain fall. Sediment will be removed from these sediment traps when their capacity has been reduced by 50%.
- Entrance to the site or exit from the site, a "Stabilized Construction Entrance" will be installed for vehicle cleaning.
- Contractor shall monitor and remove from the site all loose construction waste, debris, and litter on a weekly basis and prevented from entering into the South Salt Lake City Storm Water facilities.

MISCELLANEOUS NOTES

- The construction wash out area is to be used for on-site construction activities only.
- The contractor shall furnish portable restroom facilities and locate in a secure area.
- The contractor shall establish a monitoring process to document the management of all Best Management Practices established on site. The monitoring process shall be noted, documented and maintained on a weekly basis.

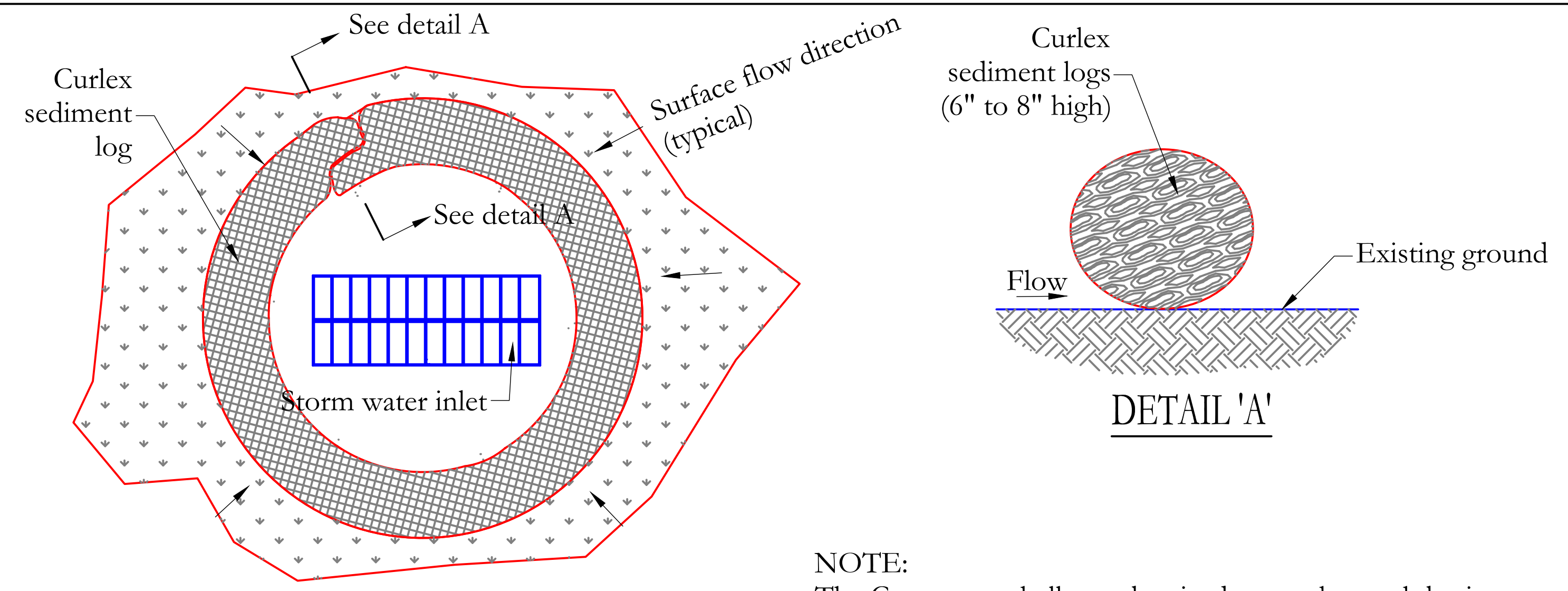
LANDSCAPING NOTE

- During the landscaping work the contractor will monitor the "Sediment Logs", "Silt Fencing" and the "Stabilized Construction Entrance". Sediment will be removed from these sediment traps when their capacity has been reduced by 50%.
- The "Stabilized Construction Entrance" and "Silt fencing" will be removed immediately prior to the landscaping work. The "Sediment Logs" will be relocated as required to allow proper construction to take place. Following the placement of sod and sweeping of roadways "Sediment Logs" will be removed.



CURLEX SEDIMENT LOG PROTECTION
SCALE: NONE

1
-



PLAN VIEW

DETAIL 'A'

NOTE:
The Contractor shall set a barricade over the catch basin to protect the curlex sediment logs.

CURLEX SEDIMENT LOG INLET PROTECTION
SCALE: NONE

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DATE: SEPTEMBER 2023
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PROJECT / LOCATION:
KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH

TITLE:
SWPPPP - NOTES & DETAILS

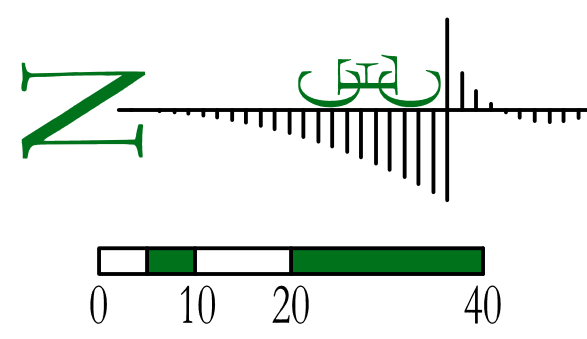
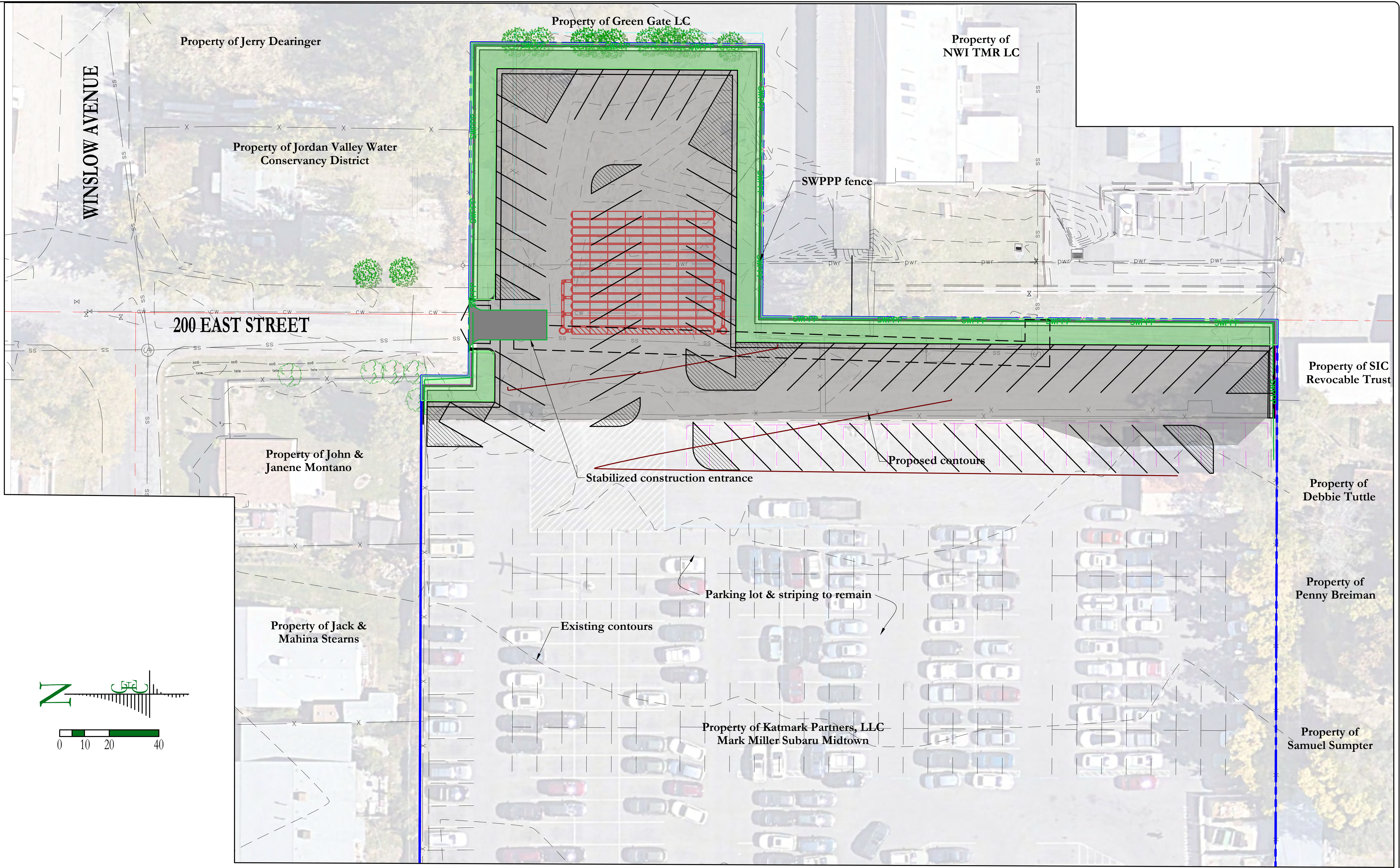
CLIENT:
ARCHSTONE GROUP

PROJECT NUMBER:
ARCH19002

FILE:
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SHEET:
SWPPPP 1

LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Planset\C3D DATE: 9/26/2023 11:46 AM



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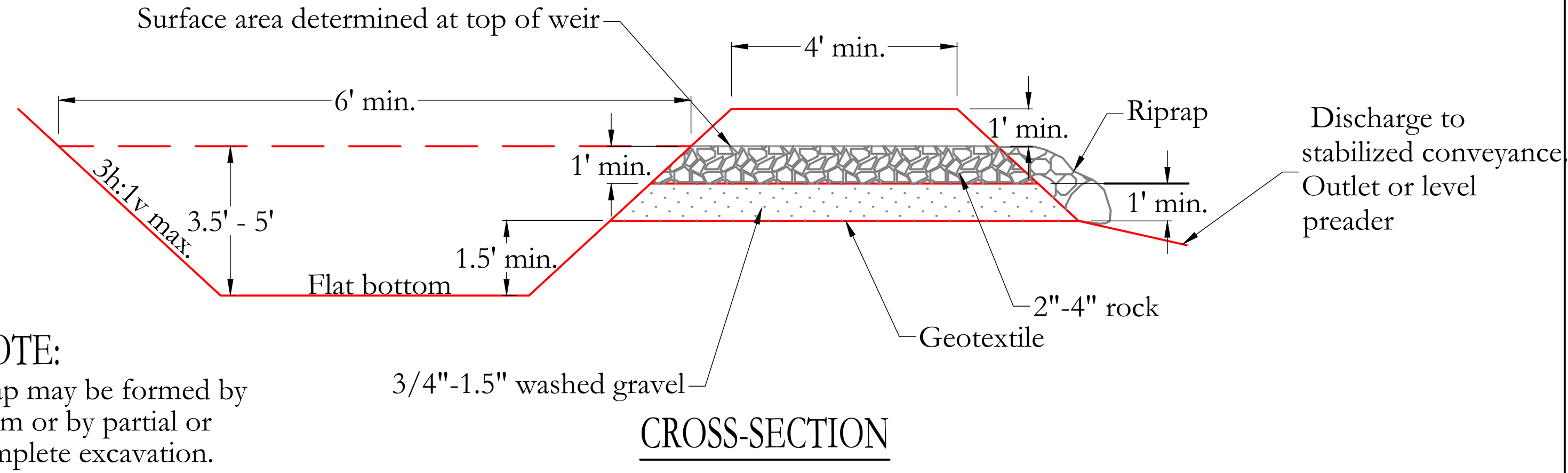
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DATE: SEPTEMBER 2023
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PROJECT / LOCATION:
 KATMARK SUBDIVISION
 IMPROVEMENTS
 SOUTH SALT LAKE, UTAH
 TITLE:
 EAST PARKING LOT - SWPPP

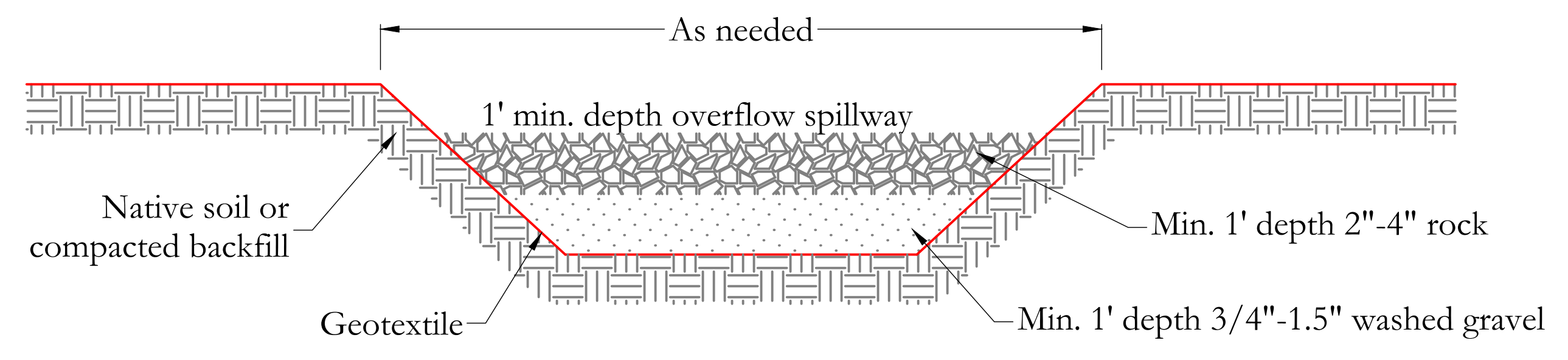
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 PROJECT NUMBER:
 ARCH19002
 FILE:
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 SHEET:
 SWPPP 2

LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Plans\3D DATE: 9/26/2023 11:46 AM



NOTE:
Trap may be formed by berm or by partial or complete excavation.

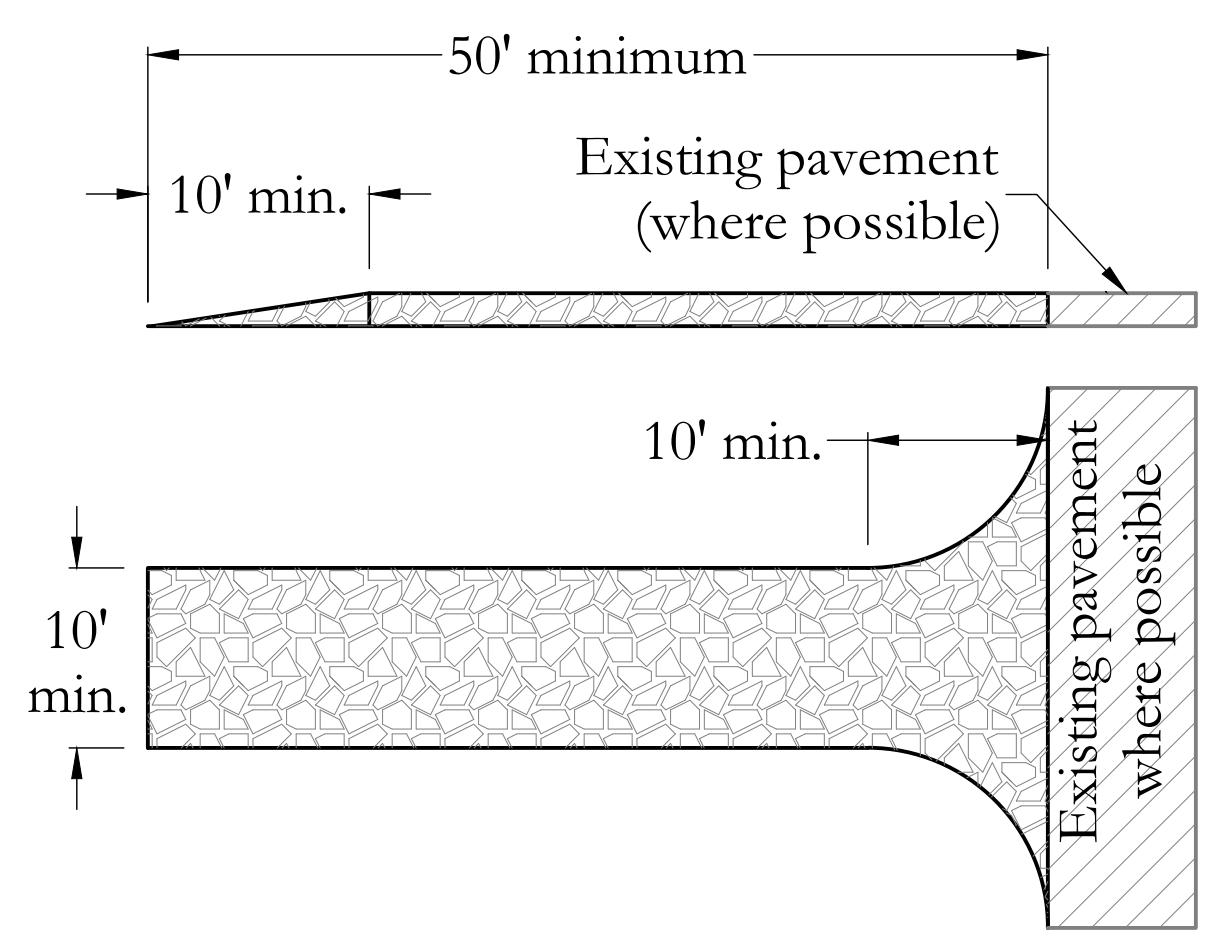
CROSS-SECTION



SILT TRAP BASIN

SCALE: NONE

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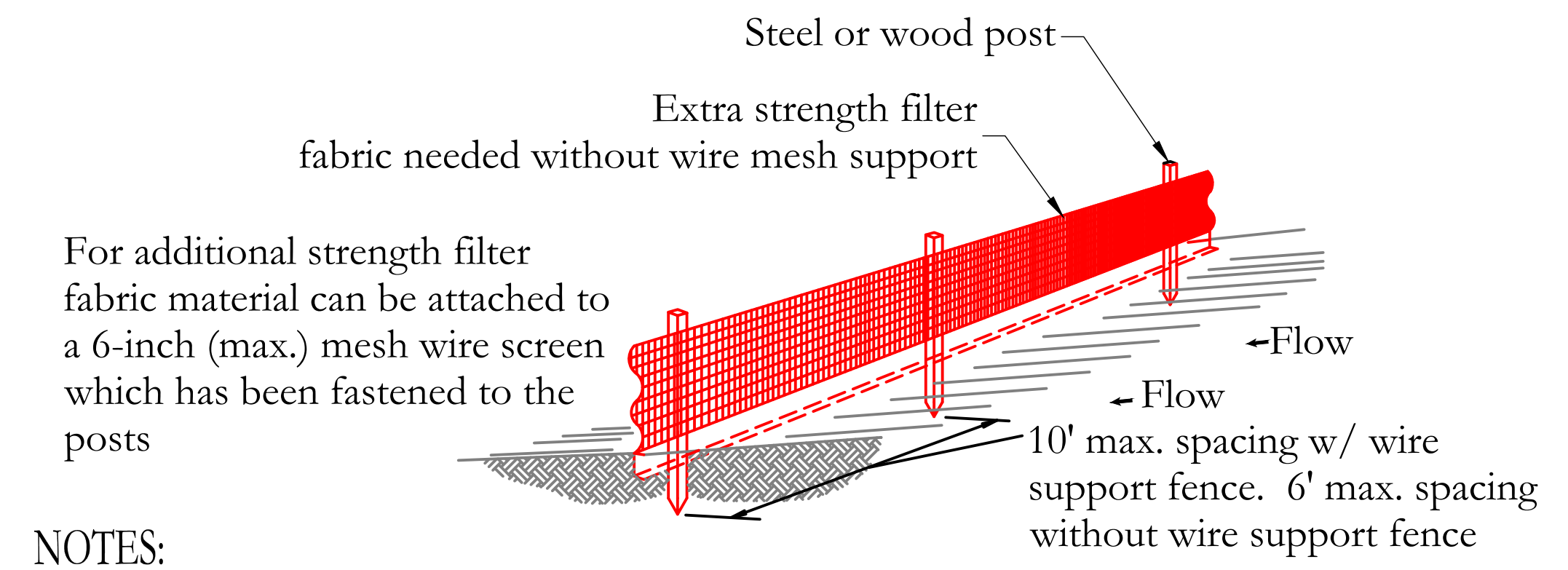
STABILIZED CONSTRUCTION ENTRANCE PLAN

SCALE: NONE

2
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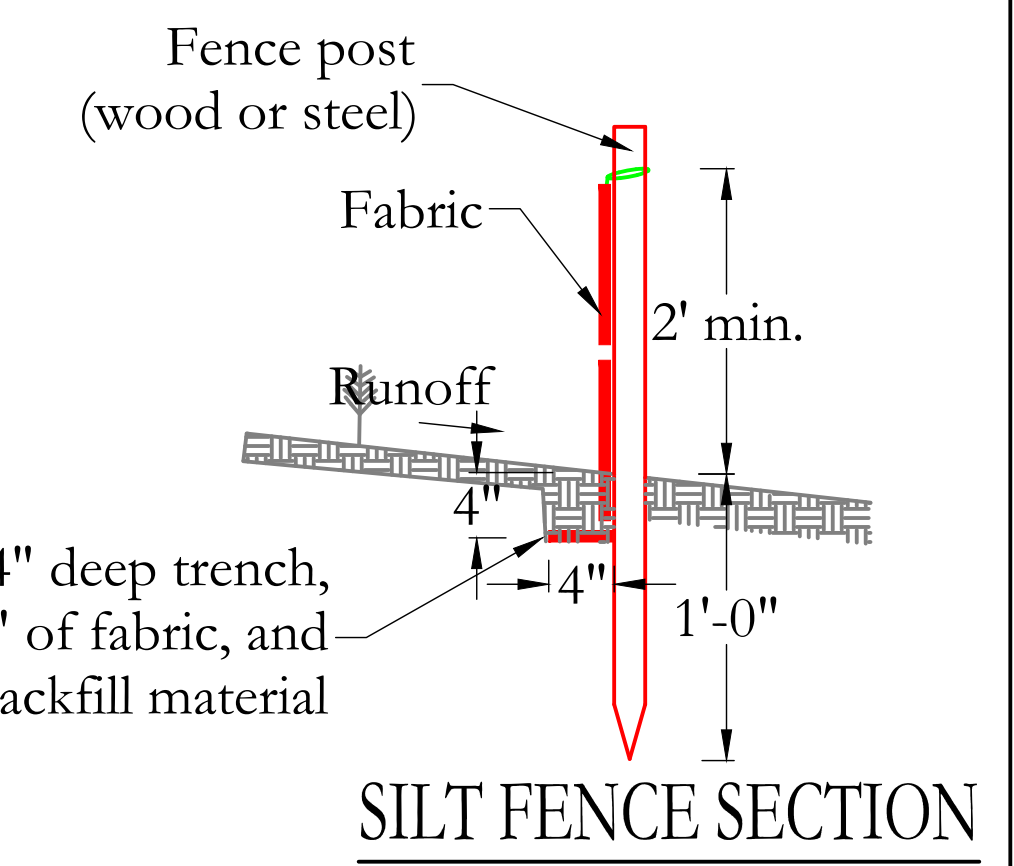
NOTES:

1. STONE SIZE- Use 2 to 3-inch stone or reclaimed concrete equivalent.
2. LENGTH- As required, but not less than 50-feet.
3. THICKNESS- Not less than 8-inches.
4. WIDTH- 10-foot minimum, but not less than the full width at points where ingress or egress occurs.
5. SURFACE WATER- All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 side slopes will be permitted.
6. MAINTENANCE- The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment into the public right-of-way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right-of-ways must be removed immediately.
7. Periodic inspection and needed maintenance shall be proved after each rainfall.
8. Geotextile underliner will be installed under stone covering.

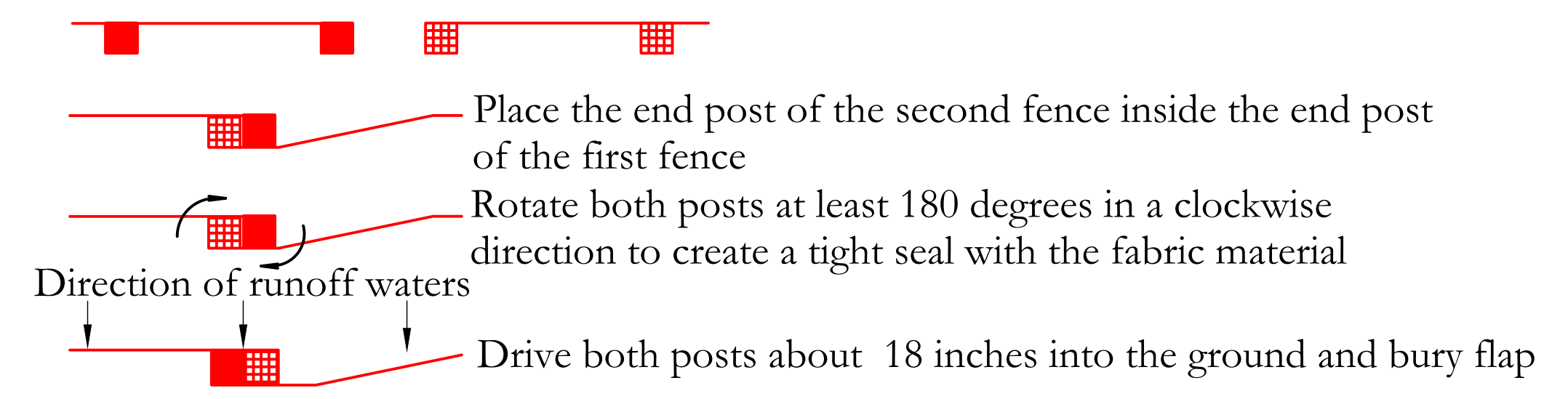


NOTES:

1. The height of a silt fence shall not exceed 36-inches.
2. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
3. Posts shall be spaced a maximum of 10-feet apart at the barrier location and driven securely into the ground a minimum of 12-inches. When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet.
4. A trench shall be excavated approximately 4 inches wide and 4 inches deep along the line of posts and upslope from the barrier.
5. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1-inch long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2-inches and shall not extend more than 36-inches above the original ground surface.
6. The standard strength filter fabric shall be stapled or wired to the fence, and 8-inches of the fabric shall be extended into the trench. the fabric shall not extend more than 36-inches above the original ground surface.
7. The trench shall be backfilled and the soil compacted over the filter fabric.
8. Install per manufacturer's specifications.



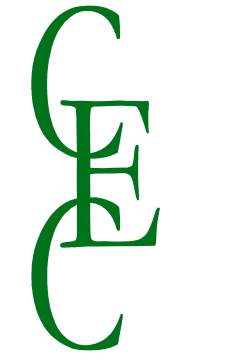
SILT FENCE SECTION



ATTACHING TWO SILT FENCES

SILT FENCE
SCALE: NONE

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DATE: SEPTEMBER 2023
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PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH
TITLE: SWPPP DETAILS

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: swppp.dwg
SHEET: SWPPP 3

KATMARK SUBDIVISION

Being an amendment of a portion of Block 1, Alhambra Place, as recorded E#266613
Also part of Lots 5, 6, & 13, Block 17, 10 Acre Plat "A" Big Field Survey, Salt Lake County, Utah
Located in the NW 1/4 of Section 31, Township 1 South, Range 1 East, Salt Lake Base & Meridian

NARRATIVE from ALTA PLAT (See narrative Sheet 1, note 4)

- This plat is a continuation of an ALTA/NSPS survey which was completed on a portion of this property September 12, 2019. In addition to the ALTA survey a vacating plat was prepared for a portion of 200 East Street and submitted to South Salt Lake City for them to complete the required process to vacate. Both documents are incorporated herein by this reference. The purpose of this survey is to create a one (1) lot subdivision to meet South Salt Lake City development requirements and is to compliment the ALTA and vacation survey work. This ALTA/NSPS Land Title Survey is being done under city requirements to get subdivision approval.
- Utilities shown hereon are based on physical survey ties of visible utilities observed at the time of the survey. No representation as to accuracy of underground utilities is made herein. Unknown Public utilities which may be on this lot may have prescriptive rights, care should be exercised when dealing with such utilities.
- Documents of record have been shown as provided in a title commitment issued by Metro National Title, 345 East Broadway, SLC, 84111 commitment number 87685, dated October 7, 2021 at 7:45am. (If the certification contains different information the certification takes precedence.)
- The subject property is described in three documents of record and a vacation plat. First, Katmark, LLC Entry number 13067740, which describes the property west of 200 East Street and the southerly 171.71 feet of the west half of 200 East. The second, NAMICA, LLC Entry number 13067740, which describes the property which is a small parcel on the east side of 200 East, and Katmark E#11769479 the small parcel on the north fronting on Winslow Ave. Along with the vacation of a portion of 200 East street these documents comprise what is being plotted as Lot 1, Katmark Subdivision.
- The basis of bearing for this plat is NAD83 State Plane grid Utah Central Zone as derived by RTK GPS observations on physical monuments as described in the Boundary Description for this plat.
- On the first ALTA/NSPS which I have done on the "NAMICA, LLC" property there is a diagram of the county monuments which were surveyed to identify Block 17, Ten Acre Plat "A", Big Field Survey (BFS). That block base is still relevant in this work but will not be duplicated hereon.
- The ALTA portion of the project began by establishing the location of Lots 5, 6 and 13 of Block 17, Ten Acre Plat "A", BFS (Big Field Survey). Existing monumentation as shown was located and surveyed for position and comparison to record information. These lot locations and dimensions are shown and noted hereon.
- It should be noted that the west line of the block is the current east right of way line of State Street. It appears that State Street was a 66 foot (4 rod) wide road when originally platted as part of the BFS. Today, however, the street is 132 feet (8 rod) wide road and the expansion appears to have been to the west making the original west right of way line the current centerline of the street.
- Winslow Ave. was established at record distance 1869.088 feet along the center of State street from the monument at State St. & 3300 South St. The location of the intersection of Winslow Ave. & 200 East St. is discussed in said prior ALTA survey. The parcels on the south side of Winslow Ave. call for the property to be tied to the NW corner of Lot 6, Block 17 but when they are plotted the property locations are 33 feet too far east (this includes the Katmark E#11769479 parcel). It is apparent that they use east distances which come from the OLD center line of State Street. The identification of the NW corner of Lot 6 is based on a plat "SA323" with a note at the top "Part of 10 Acre "A" betw Slate to Road No 9 East No.13-59". The document provides enough information to be able to prorate the lot lines for Block 17 holding the county monuments at the 4 intersections of the block.
- The location of the east line of Katmark properties which is the second course in the surveyed boundary description (S00°15'32"W 94.93') is identified by a purchase by Katmark for parcel no. 16-31-103-004 and the Forbush property (E#12753476).
- The east boundary of 13067740 describes the line to be 95.02 feet long while the west boundary of 11769479 describes the line to be 94.93 feet long. This would create a gap on the south of 11769479 as well as the south boundary of each parcel to the west. There is only one fence line along this boundary. At the SE corner of Montana property the east end of the fence corner matches the 94.93 foot distance from the south boundary of Winslow Ave. At the SW corner of former Martinez property (16-31-103-003) where the south fence runs East and North, the corner is 0.55 feet north of a line at 94.93 feet. The deed distance is held for the west line of Martinez. There is also a second fence to the north at the 94.93 foot distance.
- The location of 200 East Street was identified in said ALTA survey. The narrative of that survey identifies how the street was established. As part of the ALTA survey project a vacating plat was required by the city to be prepared for a portion of 200 East Street. The line of that vacation was created as an extension of the north boundary of the NAMICA, LLC parcel. The boundaries of this NAMICA parcel are discussed in the ALTA survey.
- Rebar and cap's number 1 and number 2 were found during said prior ALTA survey and, as discussed in that survey, it is understandable that they may not be precisely located due to the presence of trees and bushes that would have made it difficult to drive a rebar in the wood or roots in addition to the growth of the trees moving them. Fence posts were also found near these locations but because there are two fences along both the north and south of the parcel it is not known which is actually intended to be the property line. See ALTA survey plat Record of Survey number s2020-05-0331, for additional detail on the boundary.
- The north boundary of Alhambra Place, which is a subdivision recorded as noted in the boundary description, is identified by an existing fence and is the southern boundary of Katmark. The fence is not precisely straight but does closely approximate the property line.
- Katmark property Entry no 13067740 identifies the lot line between lots 40 and 41 of Alhambra Place as the boundary. There is a fence line near this lot line but does not run along the lot line boundary. The south end of the fence begins on or very near the lot line boundary and the fence deviates to the northwest as it runs northerly.
- An existing chain link fence line is on the property line that is common to the east boundary of Frontier Transition Housing property (FTH). The north boundary of FTH is described as the lot line between Lots 5 and 6, Block 17, Ten Acre Plat "A", BFS. The chain link fence is close to this lot line.
- The power company has an easement which was intended to be the inside 10 feet of the property on the south bordering Baird Street, a strip east of the center of the alley which is west of Lot 50. The easement was granted as Entry number 8520321 and when the description is drafted from the west line of Block 17 as described by the metes the easement is does not conform to the location indicated on Exhibit A of the document, which is a drawing, showing the location to be as shown and noted hereon as exception 23. This easement will be re-granted by the subdivision to ensure that the rights of the power company remain intact and as shown on the Exhibit A drawing.

COMCAST
Approval as to Form, Signed this ____ day of _____, 20__ .
Signature _____

JORDAN VALLEY WATER CONSERVANCY DISTRICT
Approval as to Form, Signed this ____ day of _____, 20__ .
Signature _____

SALT LAKE COUNTY HEALTH DEPARTMENT
I hereby certify that the soils, percolation rates, and site conditions for this subdivision have been investigated by this office and are approved for on site wastewater disposal systems. Signed this ____ day of _____

Director, Salt Lake County Health Department

MT. OLYMPUS IMPROVEMENT DISTRICT
Approval as to Form, Signed this ____ day of _____, 20__ .
Signature _____

FIRE MARSHAL
Approval as to Form, Signed this ____ day of _____, 20__ .
Signature _____

APPROVAL AS TO FORM
Approved this ____ day of _____, 20__ .

South Salt Lake City Attorney

SOUTH SALT LAKE CITY APPROVAL
This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision thereon are hereby approved and accepted by the City of South Salt Lake, Utah this ____ day of 20__ .

Mayor:

Attest:

City Recorder:

SOUTH SALT LAKE CITY COMMUNITY DEVELOPMENT APPROVAL
This is to certify that this subdivision plat was duly approved by the City of South Salt Lake Community Development Director on the ____ day of _____, 20__ .

Director, South Salt Lake Planning

SOUTH SALT LAKE CITY ENGINEER
I hereby certify that the required public improvement standards and drawings for this subdivision conform with City standards.
Signed this ____ day of _____, 20__ .

Signature

SOUTH SALT LAKE CITY PLANNING COMMISSION APPROVAL
This is to certify that this subdivision plat was duly approved by the City of South Salt Lake Planning Commission on the ____ day of _____, 20__ .


Chair, South Salt Lake Planning

PACIFICORP
Pacificorp shall have the right to install, maintain and operate their equipment above and below ground and all other related facilities within the public utility easement identified on this plat Map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the P.U.E. at the owner's expense. At no time may any permanent structures be placed within the P.U.E. or any other obstruction which interferes with the use of the P.U.E. without prior written approval of RMP.
Approved by Rocky Mountain Power on this ____ day of _____, 20__ .

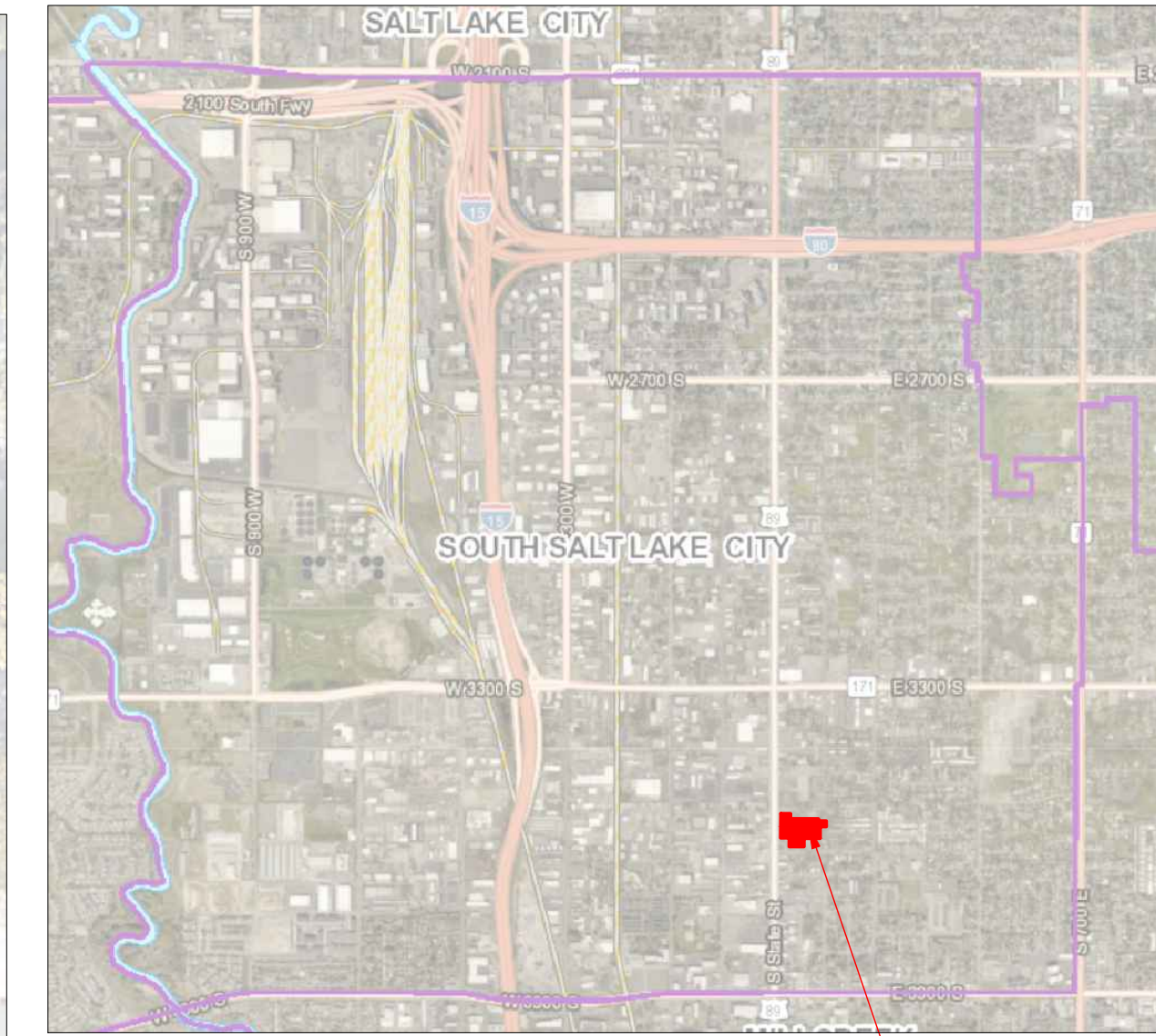
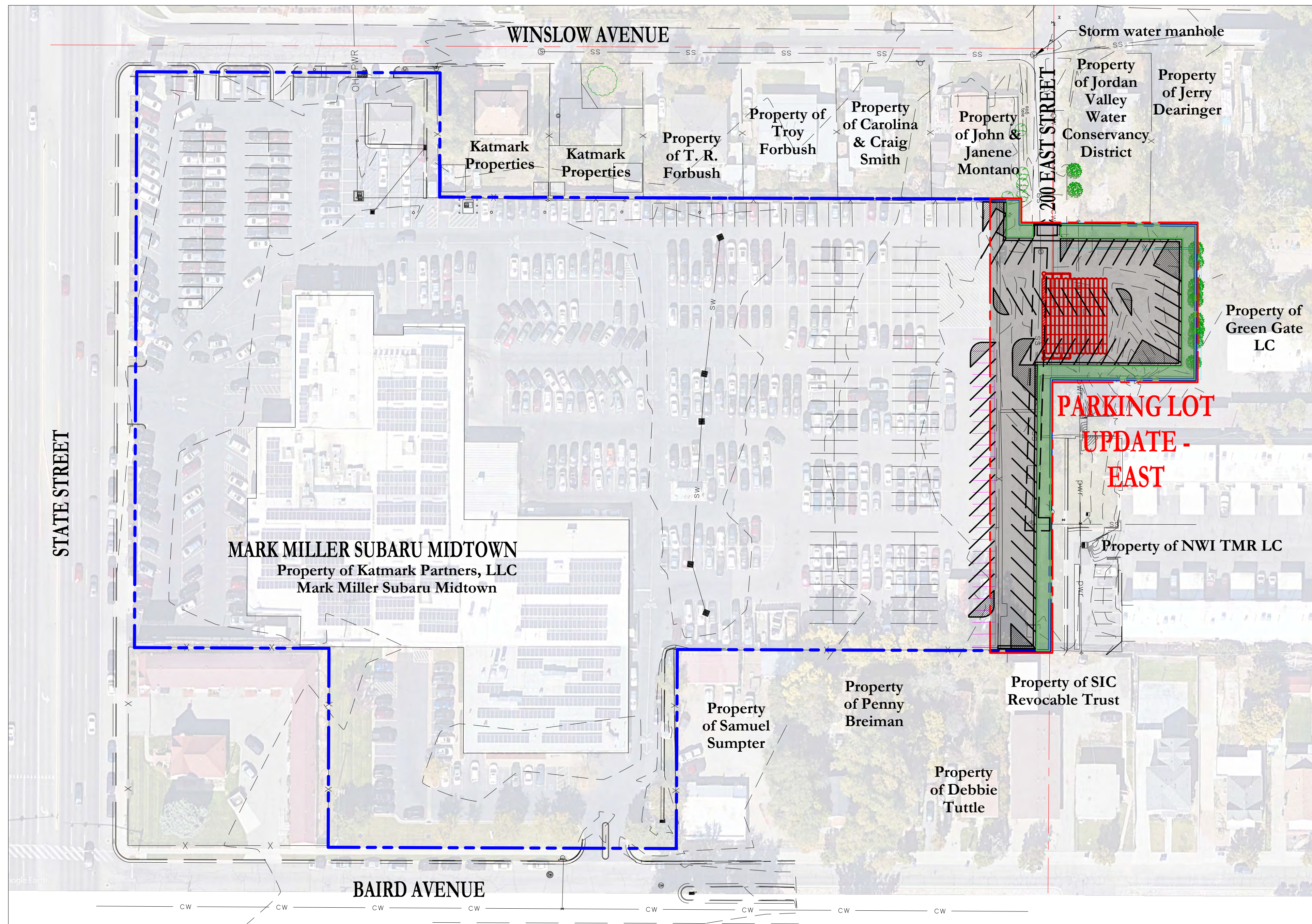
By: _____ Title: _____

DOMINION ENERGY COMPANY
Dominion approves this plat solely for the purposes of approximating the location, boundaries, courses and dimensions of its rights-of-way and easements and its existing facilities. This approval shall not be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded right-of-way and easement grant(s) or by prescription. Dominion may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities including prescriptive rights and other rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the owners dedication or the notes and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information, including information related to allowed activities within rights-of-way, please contact Dominion's right-of-way department at 1-800-366-8532.
Approved by Dominion Energy on this ____ day of _____, 20__ .

By: _____ Title: _____

| | | | |
|--|----------------------------|---|--|
|  Landmark Surveying, Inc. A Complete Land Surveying Service www.LandmarkSurveyUtah.com | | 4646 South 3500 West - #A-3 West Haven, UT 84401 801-731-4075 | Salt Lake County Recorder Entry no. _____ Fee paid _____ |
| DEVELOPER: Katmark Partners, LLC Address: 3113 Carrigan Canyon Road, SLC, UT 84109 | | 2 of 2 | Filed for record and recorded ____ day of _____, 20__ . at _____ |
| Part Lots 5, 6, & 13, Blk 17, 10 Acre Plat "A" Big Field Survey, Salt Lake County, Utah NW 1/4 of Section 31, T1S, R1E, SLB&M. | | Subdivision - Amended Plat | in book _____ of official records, on page _____ County Recorder: Rashelle Hobbs By Deputy: _____ |
| Revisions: | DRAWN BY: EDR | | |
| | CHECKED BY: ... | | |
| | DATE: July 31, 2023 | | |
| | PROJ: 3959 | | |

Project Name: 3959 EEC Miller s/c Katmark Sub_05-24-2023.dwg Save Date: July 31, 2023 8:02 AM Sheet: 3959 Sub Plat 2



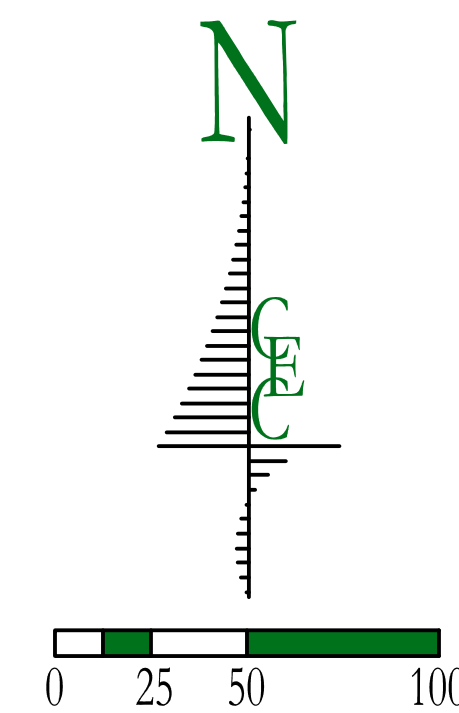
VICINITY MAP Project location

| SHEET INDEX | |
|-------------|---------------------------------|
| 1 OF 6 | COVER |
| 2 OF 6 | NOTES |
| 3 OF 6 | EAST PARKING LOT - SITE PLAN |
| 4 OF 6 | EAST PARKING LOT - GRADING PLAN |
| 5 OF 6 | DETAILS |
| 6 OF 6 | DETAILS |

| STORM WATER POLLUTION PREVENTION PLAN SHEET INDEX | |
|---|--------------------------|
| SWPPP 1 | SWPPP NOTES & DETAILS |
| SWPPP 2 | EAST PARKING LOT - SWPPP |
| SWPPP 3 | SWPPP DETAILS |

LEGEND AND SYMBOLS

| | | |
|-----------------------|-------------------------------|--|
| Centerline of road | Culinary water manhole & pipe | Fire hydrant |
| Contour line | Fiber optic box & line | Storm water catch basin |
| Curb & gutter | Gas manhole & line | Street sign |
| Easement line | Irrigation manhole and pipe | Street light |
| Fence | Land drain manhole & pipe | Water meter |
| Lot line | Power pole and line | Water valve |
| Phase/boundary line | Sanitary sewer manhole & pipe | <i>*Note: All existing features will be in a shaded line</i> |
| Right of way line | Storm water manhole & pipe | |
| Section corner & line | Telephone pedestal & line | |



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 801.866.0550

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DATE: SEPTEMBER 2023
 DRAWN: JEO
 CHECKED: RTF

PROJECT / LOCATION:
 KATMARK SUBDIVISION IMPROVEMENTS
 SOUTH SALT LAKE, UTAH
 TITLE:
 COVER

CLIENT: ARCHSTONE GROUP
 PROJECT NUMBER: ARCH19002
 FILE: ~arch19002.dwg
 SHEET: 1 of 6



EROSION CONTROL NOTES

1. During construction, the contractor shall be responsible for preventing and controlling soil erosion due to wind and water runoff. The contractor shall be sole responsible for constructing and maintaining the erosion control facilities. All surrounding streets shall be kept clean of debris from traffic from the project site.
2. The contractor shall comply with the requirements of the "best management practices" for storm water protection. This requirement may include protecting all inlet boxes, catch basins, drainage ditches, etc. during construction. The contractor shall protect all surrounding properties and streets from site runoff as required. Approved storm water protection methods and drainage provisions must be used to protect adjoining properties during construction.
3. The contractor shall use vehicle tracking control best management practices at all locations where vehicles will enter or exit the site. Control facilities must be maintained while construction work is in progress, adjusted when necessary, and removed from the site when the project is completed.
4. The contractor shall install storm water inlet protection devices immediately upon all individual storm water inlets becoming functional.
5. All wash water from construction vehicles (concrete trucks, vehicle cleaning, etc.) shall be disposed in a manner that prevents contact with natural storm water discharges from the site.
6. All construction materials spilled, dropped, washed or tracked from vehicles onto City roadways or into storm drainage facilities must be removed immediately.
7. No rubbish, trash, garbage or other such materials shall be discharged into drainage ditches or storm water runoff channels.
8. The contractor shall adhere to all conditions of the "Utah State Storm Water Pollution and Prevention Plan" adopted for this project. The contractor shall be responsible for adjusting the erosion control measures (silt fences, straw bales, etc.) due to grade changes or other unforeseen conditions during development of the project.



GENERAL CONSTRUCTION NOTES

1. The utilities shown on the drawings are for informational purposes only. The contractor shall locate all underground utilities, contact blue stakes and other applicable utilities prior to laying pipe within 200 feet of said utilities which may be exposed, damaged or crossed as shown on the drawings or as "blue staked". The contractor shall coordinate with the utility company to move the utility if necessary. The contractor shall not modify grade of project lines in order to go over and around existing utilities. The contractor shall pothole for the location of utilities prior to excavation.
2. The contractor shall review and verify all dimensions shown on the drawings.
3. The contractor shall be responsible to provide appropriate signing and barricading. All flagging, signage and barricades and all traffic control required shall be in compliance with the current "manual on uniform traffic control devices".
4. All public and private roadways must be cleaned daily, or as often as required, of all loose dirt, mud, gravel and all debris as a result of the construction work. This requirement shall apply continuously throughout the duration of the project and shall not be limited to normal construction working hours.
5. All dust on project site shall be controlled by sweeping and watering the construction area.
6. The contractor shall be completely responsible for the job site conditions during the course of construction, including safety of all persons and adjoining property. This requirement shall apply continuously throughout the duration of the project and not be limited to normal construction working hours.
7. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify project engineer of any discrepancies or conflicts prior to any connections being made.
8. The contractor shall be responsible for meeting all of the requirements established for safe trenching. (See OSHA and UOSHA requirements, latest editions).
9. Specific information provided in the contract documents shall supersede items covered in these drawings.
10. The contractor shall contact and coordinate all utility connections with the utility owner.
11. All construction to comply with specifications contained herein and with South Salt Lake City standards and specifications.
12. Follow all recommendations of the approved geotechnical report. South Salt Lake City Standard Specifications and Details shall govern, however, unless geotechnical report recommendations are more stringent.
13. All public improvements, which are to be owned and maintained by South Salt Lake City, shall be constructed according to the South Salt Lake City Standard Specifications and Details for Municipal Construction (latest edition).

14. Notify South Salt Lake City Public Works Inspection Department, 48 hours prior to beginning construction of any roadways or public improvements, including sewer facilities. All inspections must be done prior to, or concurrent with, construction. Failure to make this notification may result in the uncovering and/or removal of all construction done without notification, at the discretion of the City Engineer.
15. The use of motor oils and other petroleum-based or toxic liquids, for dust suppression, is absolutely prohibited.
16. Builder/Owner shall replace any existing sidewalk or curb & gutter along the frontage of this project, that is found to be defective, as directed by the South Salt Lake City Inspector.
17. Dust, mud, and erosion shall be adequately controlled by whatever means necessary, and the roadway shall be kept free of mud and debris, at all times.
18. Any proposed changes to the approved design shall be reviewed and approved by the Engineer or Architect of record and the City Engineer.
19. Provide slope away from buildings that complies with the requirements of the International Building Code (2% minimum/12% maximum on hard surfaces, 5% minimum / 2:1 maximum in landscape areas - for minimum 10 feet in any case).

CAUTION NOTICE TO CONTRACTOR

The contractor is herewith instructed that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information shown is not to be relied on as being exact or complete. The contractor is required to call the appropriate utility company as least 48 hours before any excavation to request exact field location of utilities. Is the sole responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the drawings.

The contractor shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property. This requirement shall apply continuously and not be limited to the normal working hours; and the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from sole negligence of the owner or the engineer.

ABBREVIATIONS USED IN DRAWINGS

| | | | | | | | | | |
|-------|----------------------------------|-------|----------------------------|-----|-----------------------|---------|-------------------------|------|------------------|
| adj | adjust | dwg | drawing | hp | high point | pr | proposed | tbc | top back of curb |
| arv | air release valve | elec | electrical | in | inch | prc | point of reverse curve | tele | telephone |
| bw | back of walk | eg | existing grade | inv | invert | prv | pressure reducing valve | toa | top of asphalt |
| bvce | beginning vertical curve elev. | elev | elevation | irr | irrigation | pt | point of tangency | toe | toe of slope |
| bvcs | beginning vertical curve station | eoc | edge of concrete | lf | linear foot | pue | public utility easement | top | top of slope |
| bw | both ways | ep | edge of pavement | lip | lip of curb | pvc | polyvinyl chloride pipe | tow | top of wall |
| cb | catch basin | evce | end vertical curve elev. | lt | left | r | radius | tow | top of walk |
| chord | chord bearing | evcs | end vertical curve station | max | maximum | rc | rebar & cap | typ | typical |
| cl | centerline | ew | each way | mh | manhole | row | right of way | w | water |
| cmp | corrugated metal pipe | exist | existing | min | minimum | rt | right | wm | water meter |
| co | clean out | ff | finished floor elevation | mon | monument | sd | storm drain | wmh | water manhole |
| conc | concrete | fg | finished grade | nts | not to scale | sec cor | section corner | wv | water valve |
| conc | concrete | fh | fire hydrant | oc | on center | ser | south end radius | | |
| cw | culinary water | fl | flow line | ohp | over head power | ss | sanitary sewer | | |
| da | delta angle | fo | fiber optic | pc | point of curvature | ssmh | sanitary sewer manhole | | |
| det | detail | ft | foot | pi | point of intersection | sta | station | | |
| dia | diameter | gb | grade break | pl | property line | std | standard | | |
| dip | ductile iron pipe | hdpe | high density poly ethylene | pp | power pole | sw | secondary water | | |



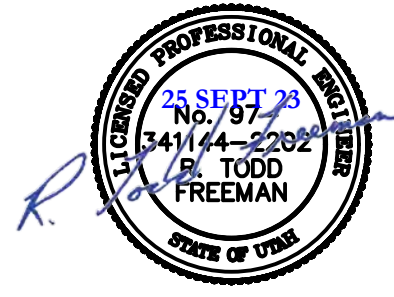
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5141 SOUTH 1500 WEST
RIVERDALE, UT 84405
801.866.0550

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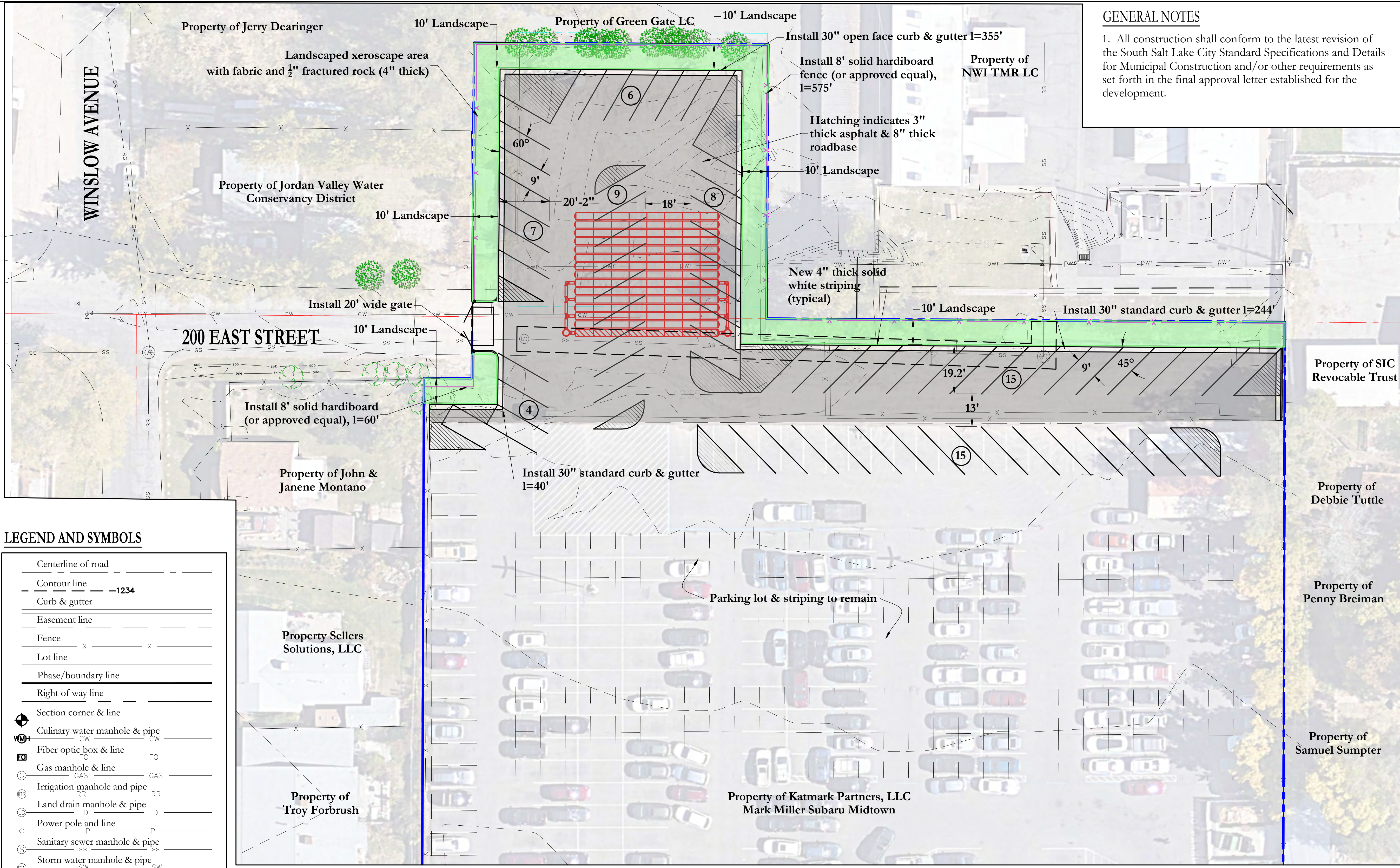
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PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH
TITLE: NOTES

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg
SHEET: 2 of 6



LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Planset\C3D DATE: 9/26/2023 11:45 AM

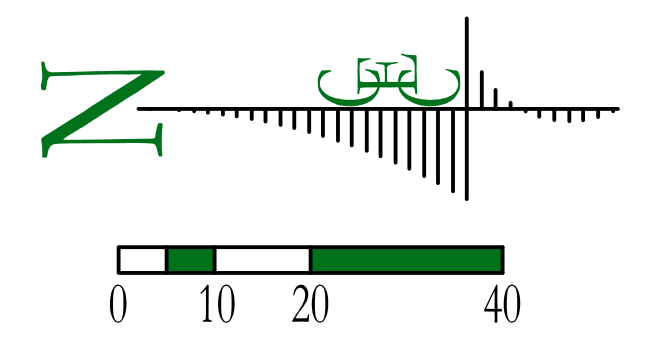


GENERAL NOTES
 1. All construction shall conform to the latest revision of the South Salt Lake City Standard Specifications and Details for Municipal Construction and/or other requirements as set forth in the final approval letter established for the development.

LEGEND AND SYMBOLS

| | |
|-------------------------------|-----------|
| Centerline of road | --- |
| Contour line | -1234 |
| Curb & gutter | --- |
| Easement line | --- |
| Fence | X |
| Lot line | --- |
| Phase/boundary line | --- |
| Right of way line | --- |
| Section corner & line | ● |
| Culinary water manhole & pipe | ⊕ CW |
| Fiber optic box & line | ⊕ FO |
| Gas manhole & line | ⊕ GAS |
| Irrigation manhole and pipe | ⊕ IRR |
| Land drain manhole & pipe | ⊕ LD |
| Power pole and line | ⊕ P |
| Sanitary sewer manhole & pipe | ⊕ SS |
| Storm water manhole & pipe | ⊕ SW |
| Telephone pedestal & line | ⊕ TELE |
| Fire hydrant | ⊕ |
| Storm water catch basin | ■ |
| Street sign | ⊕ |
| Street light | ⊕ |
| Water meter | ⊕ |
| Water valve | ⊕ |

*Note:
All existing features will be in a shaded line



NOTES:
 Parking Stalls: (9'x18' unless noted - matching existing)
 (#) - indicates number of stalls available

Landscaping Area: 5,686 sq. ft. (21%)
 Impervious Area: 20,883 sq. ft. (79%)
 Total Site Area: 26,569 sq. ft.

LEGEND

| | |
|---|--|
| ■ | Install 3" thick asphalt & 8" thick roadbase |
| ■ | Landscape Area (21%) |

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DATE: SEPTEMBER 2023
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PROJECT / LOCATION:
 KATMARK SUBDIVISION IMPROVEMENTS
 SOUTH SALT LAKE, UTAH

TITLE:
 EAST PARKING LOT - SITE PLAN

CLIENT:
 ARCHSTONE GROUP

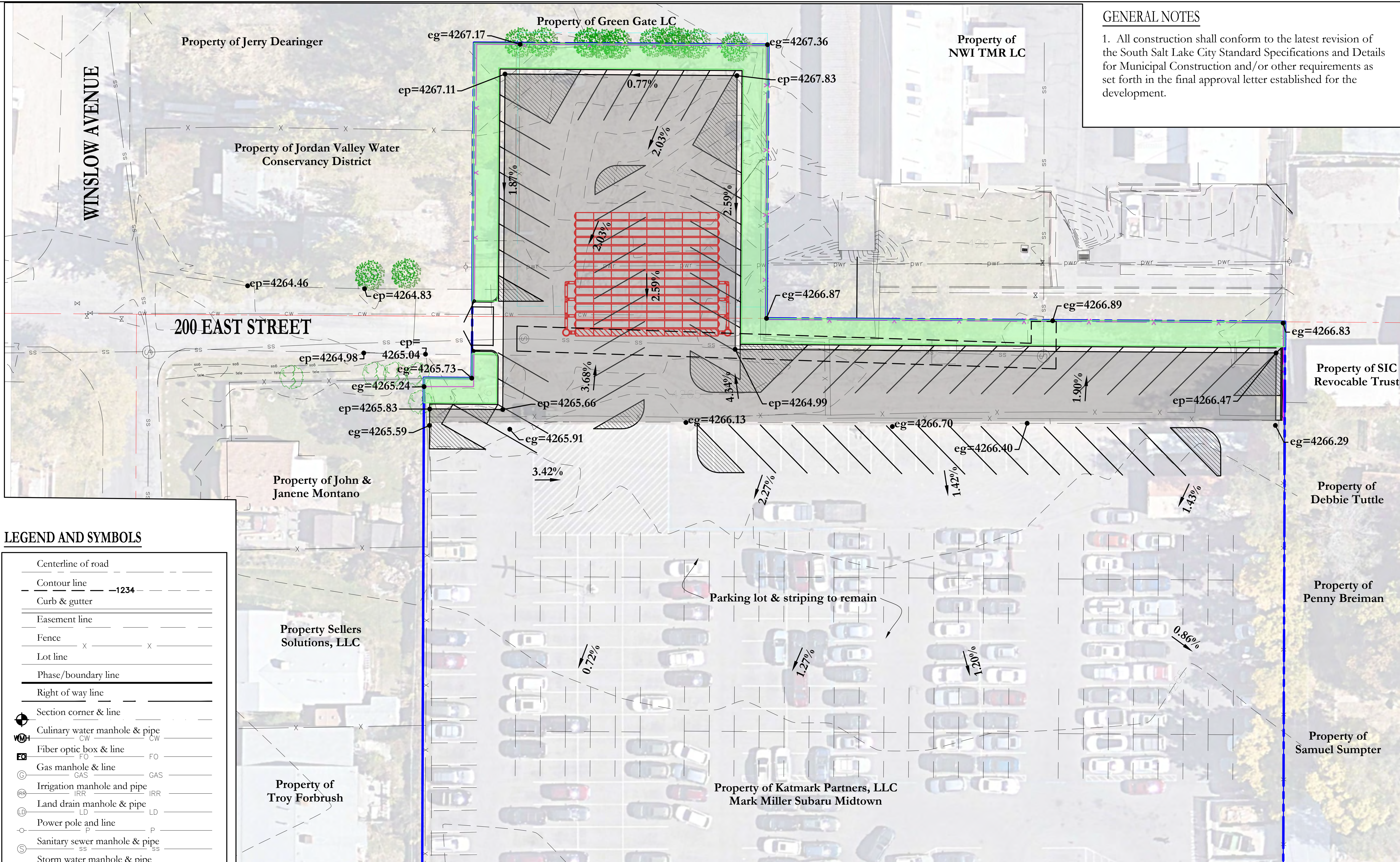
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 3 of 6



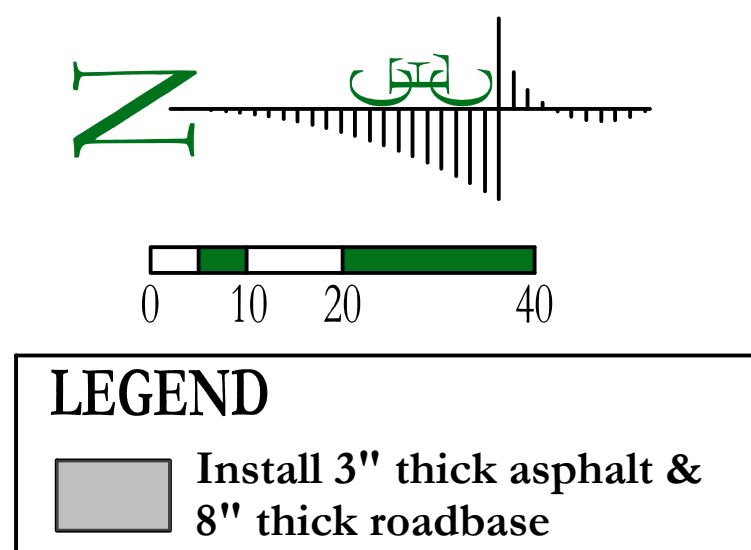
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GENERAL NOTES
 1. All construction shall conform to the latest revision of the South Salt Lake City Standard Specifications and Details for Municipal Construction and/or other requirements as set forth in the final approval letter established for the development.

LEGEND AND SYMBOLS

- Centerline of road
 - Contour line -1234
 - Curb & gutter
 - Easement line
 - Fence X X
 - Lot line
 - Phase/boundary line
 - Right of way line
 - Section corner & line
 - Culinary water manhole & pipe CW
 - Fiber optic box & line FO
 - Gas manhole & line GAS
 - Irrigation manhole and pipe IRR
 - Land drain manhole & pipe LD
 - Power pole and line P
 - Sanitary sewer manhole & pipe SS
 - Storm water manhole & pipe SW
 - Telephone pedestal & line TELE
 - Fire hydrant
 - Storm water catch basin
 - Street sign
 - Street light
 - Water meter
 - Water valve
- *Note:
 All existing features will be in a shaded line



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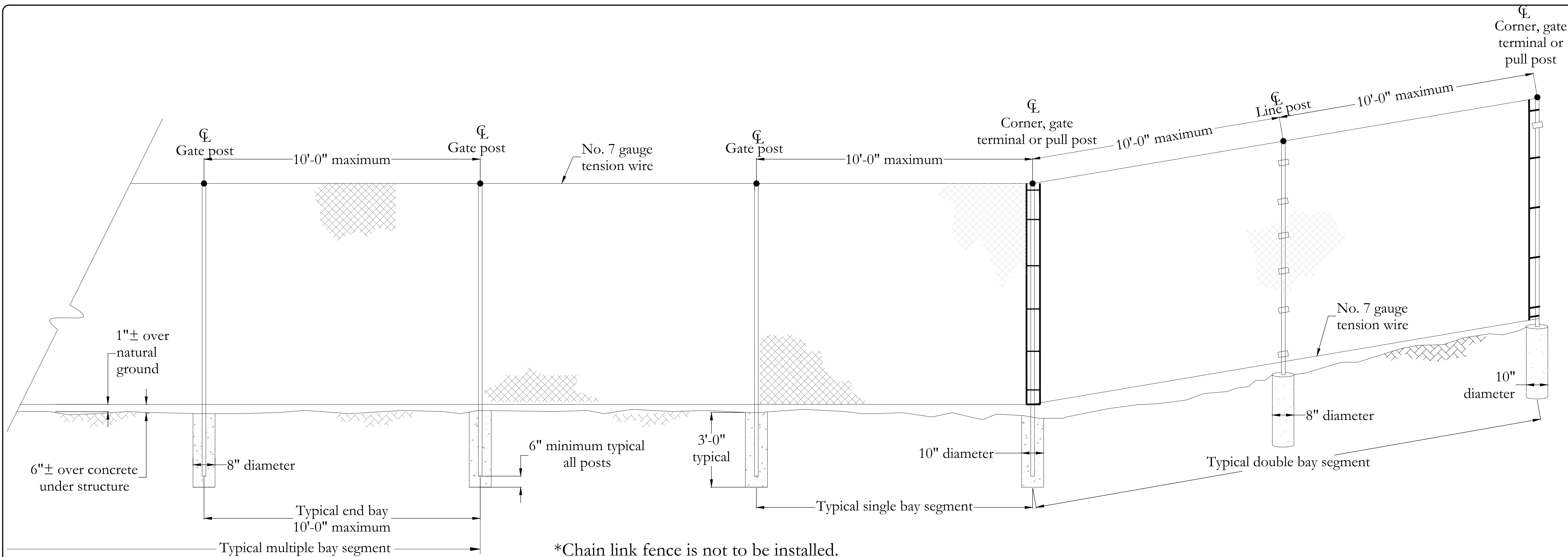
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PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH
 TITLE: EAST PARKING LOT - GRADING PLAN

CLIENT: ARCHSTONE GROUP
 PROJECT NUMBER: ARCH19002
 FILE: ~arch19002.dwg
 SHEET: 4 of 6



LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Plans\3D DATE: 9/26/2023 11:46 AM

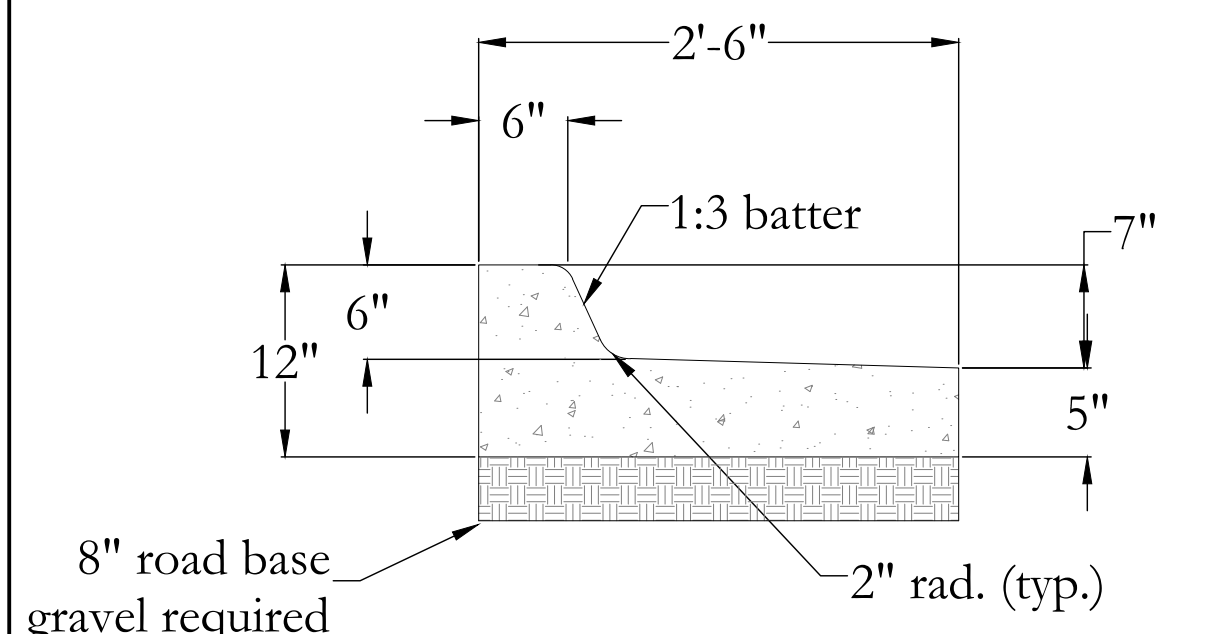
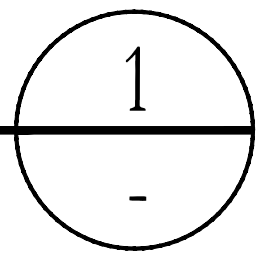


*Chain link fence is not to be installed.
This detail is for repair purposes only.

NOTES:

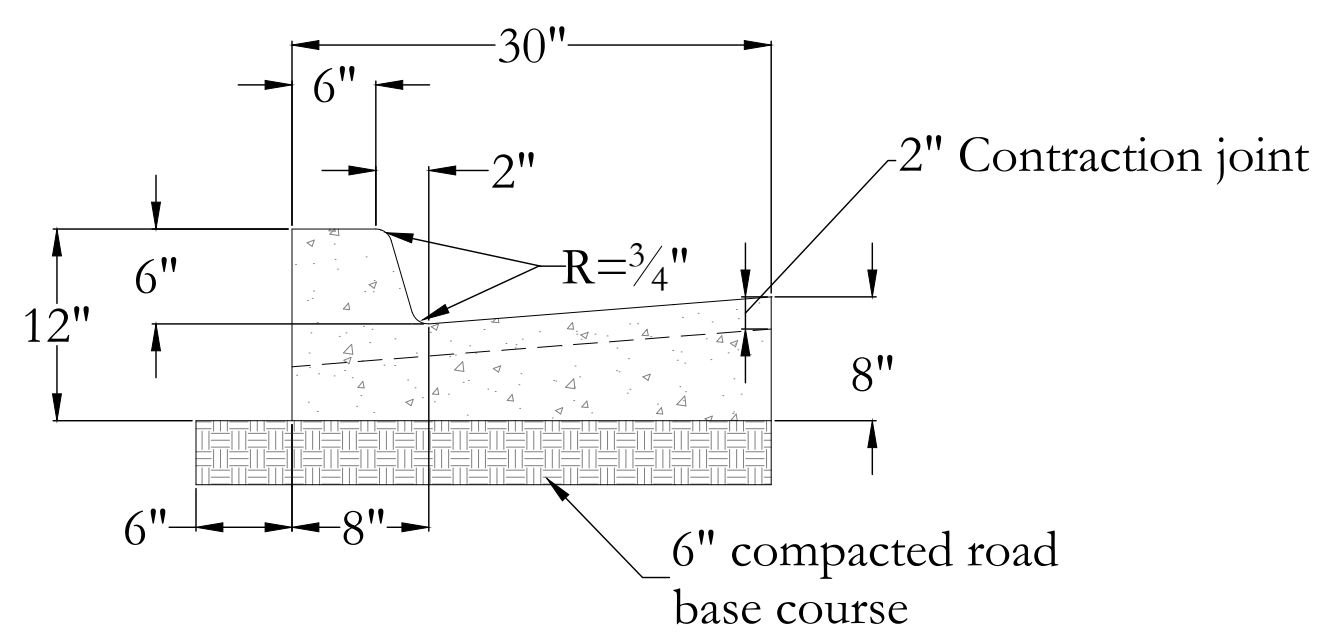
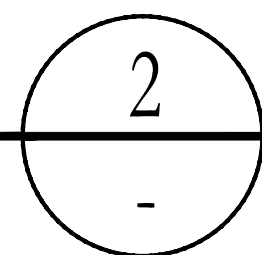
1. All fabric shall be 6' high chain link of 2" galvanized mesh of 9 gauge.
2. All steel pipe members shall conform to the requirements of astm designation a-120, schedule 40, hot dipped zinc coated steel pipe.
3. All posts shall be set in concrete and shall be topped with ball type or other approved ornament.
4. All end, corner or pull posts shall be 9 feet in length with a minimum diameter of 2-3/8 inches; all line posts shall be 8 feet 8 inches in length with a minimum diameter of 1-7/8 inches.

TYPICAL CHAIN LINK FENCE
SCALE: NONE

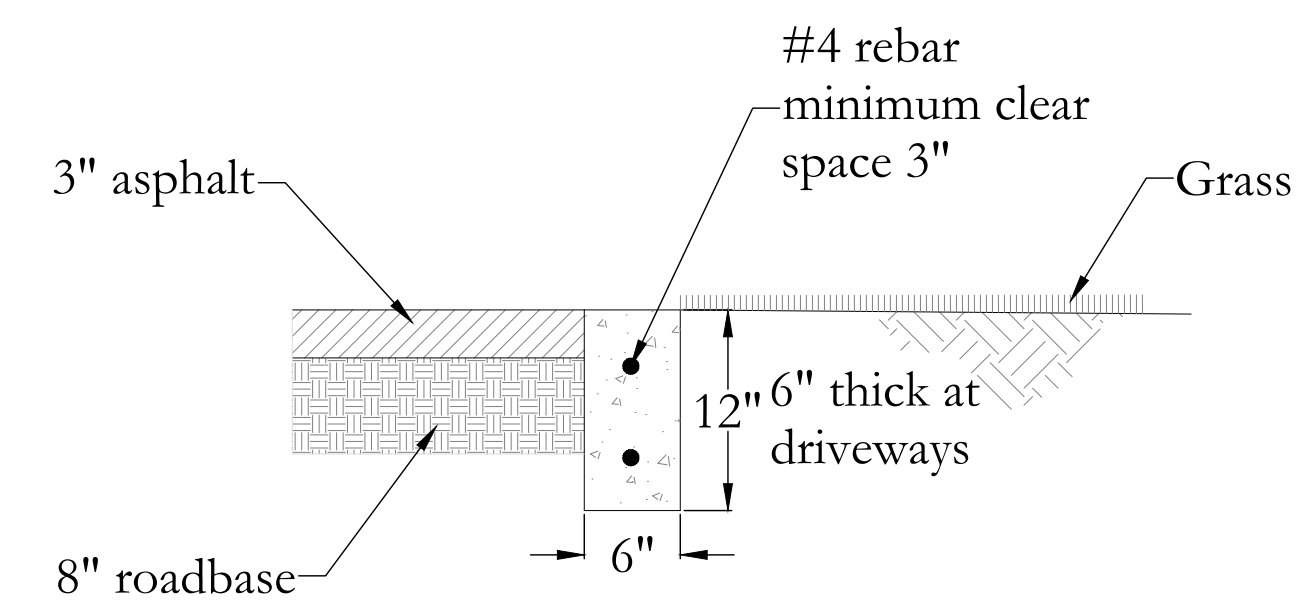
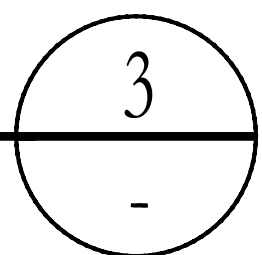


NOTE:
Sidewalks and curb & gutter shall be constructed with class "B" concrete (3500 p.s.i. 28 day compressive strength)

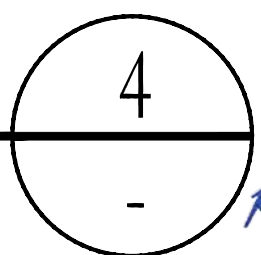
OPEN FACE CURB & GUTTER
SCALE: NONE



STANDARD 30" CURB & GUTTER
SCALE: NONE
South Salt Lake City Type A



CURB WALL DETAIL
SCALE: NONE



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801.866.0550

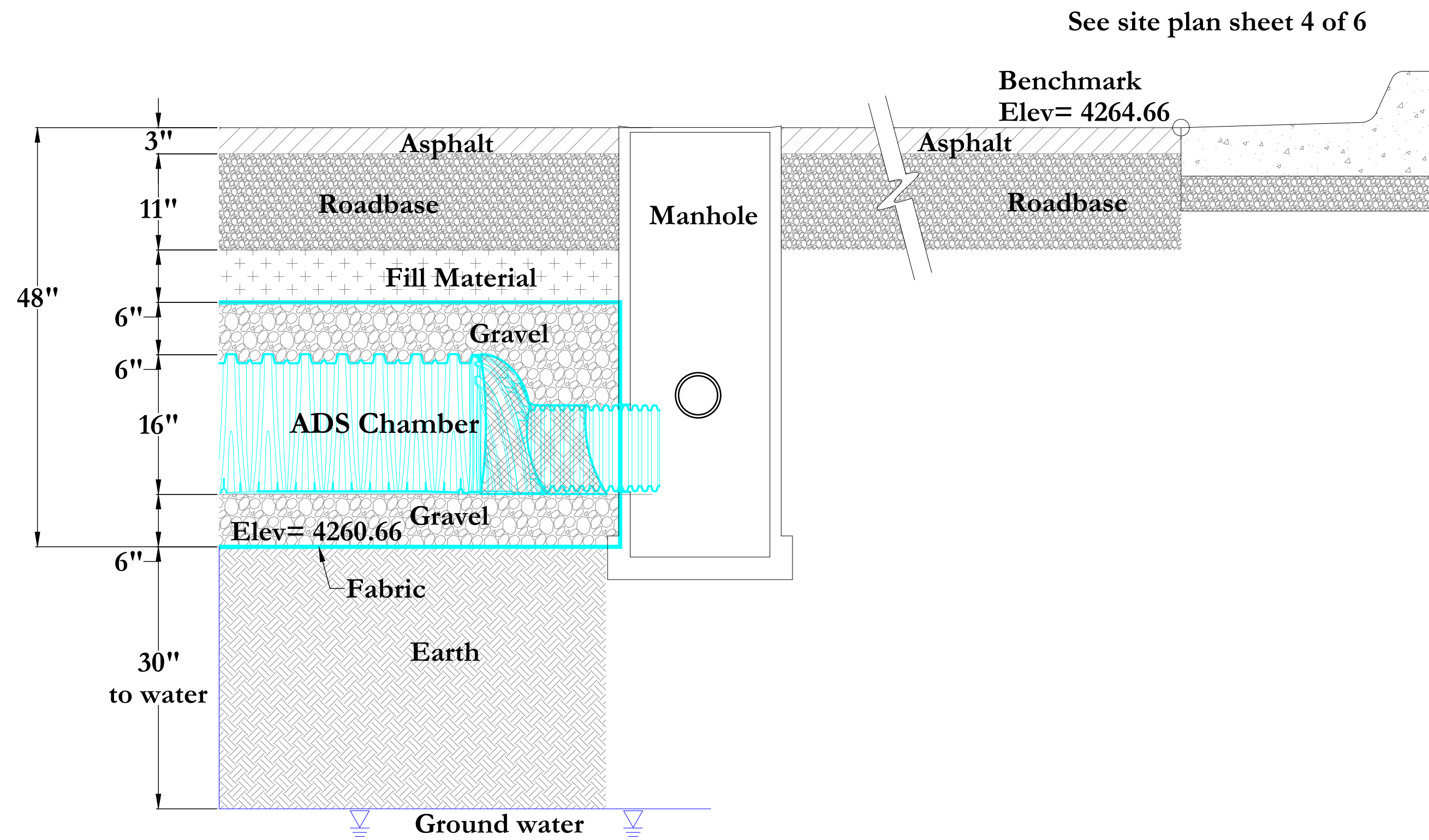
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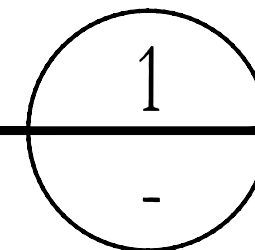
PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH
TITLE: DETAILS

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: details.dwg
SHEET: 5 of 6

LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Planset\C3D DATE: 9/26/2023 11:46 AM



CROSS-SECTION - EAST PARKING LOT
 UNDERGROUND RETENTION
 SCALE: NONE



See Geotechnical Reports
 by Christensen Geotechnical

12 December 2019 - Paving
 30 December 2019 - Ground Water (East parking lot)
 21 April 2021 - Ground Water (North parking lot)



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STORM WATER POLLUTION PREVENTION PLAN KATMARK SUBDIVISION

SCOPE OF PROJECT

Regrading, removal, clearing and grubbing site. Install ADS underground storm water systems at two locations (see drawings). Install new parking lots with asphalt, roadbase and curb & gutter and storm water inlet boxes.

SITE DETAILS

- The Construction site is located within the boundaries of South Salt Lake City, Davis County. Estimated area that will be developed is 0.6 acres - East parking lot, 0.5 acres - North parking lot.
 - The Coefficient of Run-off following construction will be changed to reflect medium density for residential development. Upon project completion, a storm water detention basin will be fully operational and miscellaneous storm water facilities completed.
- Pre-development (medium vegetation): **C=0.35**
Residential development (home & landscaping): **C=0.55**
- The collection and detention of storm water will follow the South Salt Lake City approved design drawings.
 - The drainage pattern on the existing site will be altered to direct the storm water to be collected in 2 proposed ADS underground storm water systems.

CLEARING AND GRUBBING

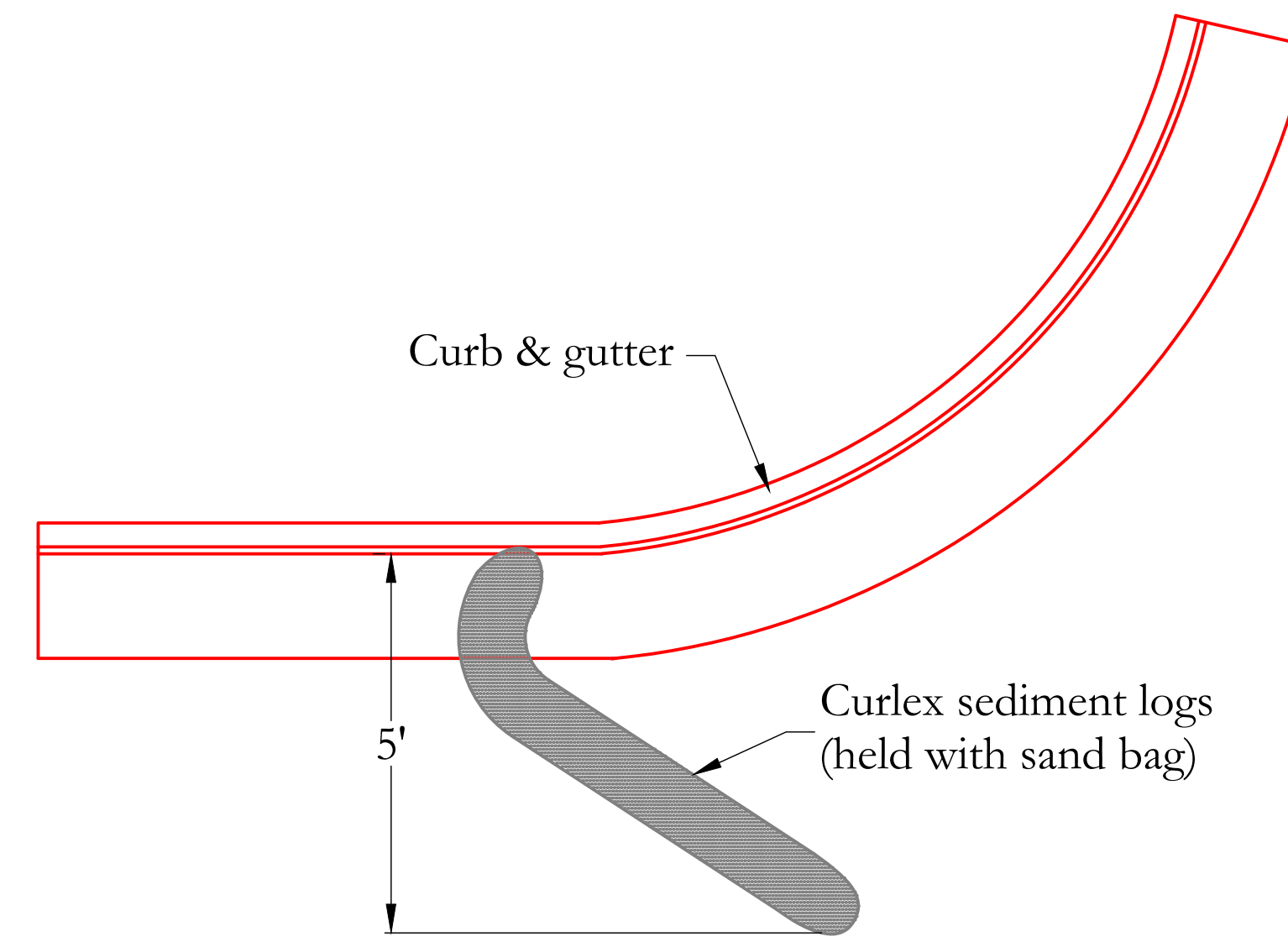
- During the clearing and grubbing construction work, additional efforts will be extended to protect any debris from entering the South Salt Lake City Storm Water facilities.
- These environmental controls will be monitored a minimum of every 14 days or after a 1/2" inch or more of rain fall. Sediment will be removed from these sediment traps when their capacity has been reduced by 50%.
- Entrance to the site or exit from the site, a "Stabilized Construction Entrance" will be installed for vehicle cleaning.
- Contractor shall monitor and remove from the site all loose construction waste, debris, and litter on a weekly basis and prevented from entering into the South Salt Lake City Storm Water facilities.

MISCELLANEOUS NOTES

- The construction wash out area is to be used for on-site construction activities only.
- The contractor shall furnish portable restroom facilities and locate in a secure area.
- The contractor shall establish a monitoring process to document the management of all Best Management Practices established on site. The monitoring process shall be noted, documented and maintained on a weekly basis.

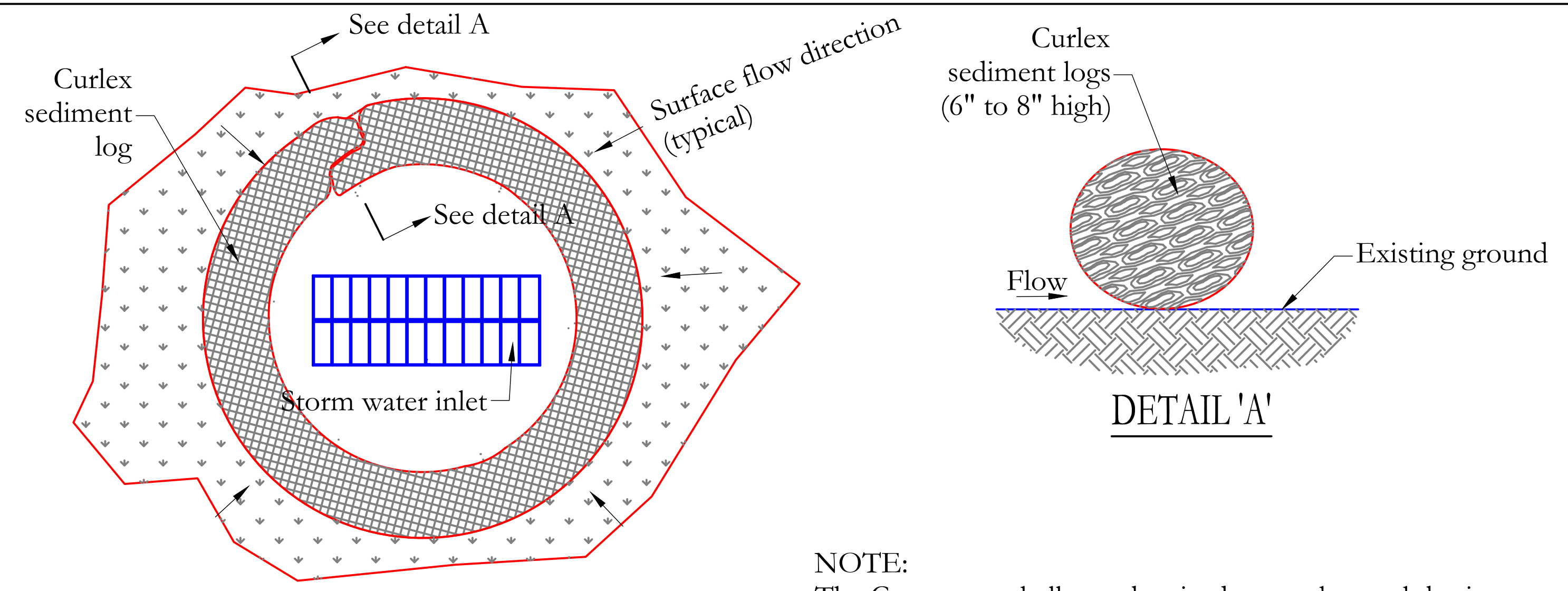
LANDSCAPING NOTE

- During the landscaping work the contractor will monitor the "Sediment Logs", "Silt Fencing" and the "Stabilized Construction Entrance". Sediment will be removed from these sediment traps when their capacity has been reduced by 50%.
- The "Stabilized Construction Entrance" and "Silt fencing" will be removed immediately prior to the landscaping work. The "Sediment Logs" will be relocated as required to allow proper construction to take place. Following the placement of sod and sweeping of roadways "Sediment Logs" will be removed.



CURLEX SEDIMENT LOG PROTECTION
SCALE: NONE

1
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PLAN VIEW

DETAIL 'A'

NOTE:
The Contractor shall set a barricade over the catch basin to protect the curlex sediment logs.

CURLEX SEDIMENT LOG INLET PROTECTION
SCALE: NONE

2
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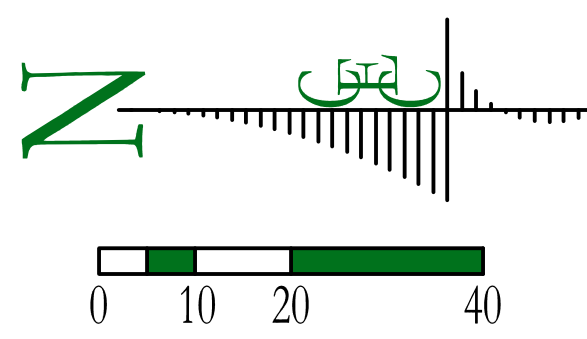
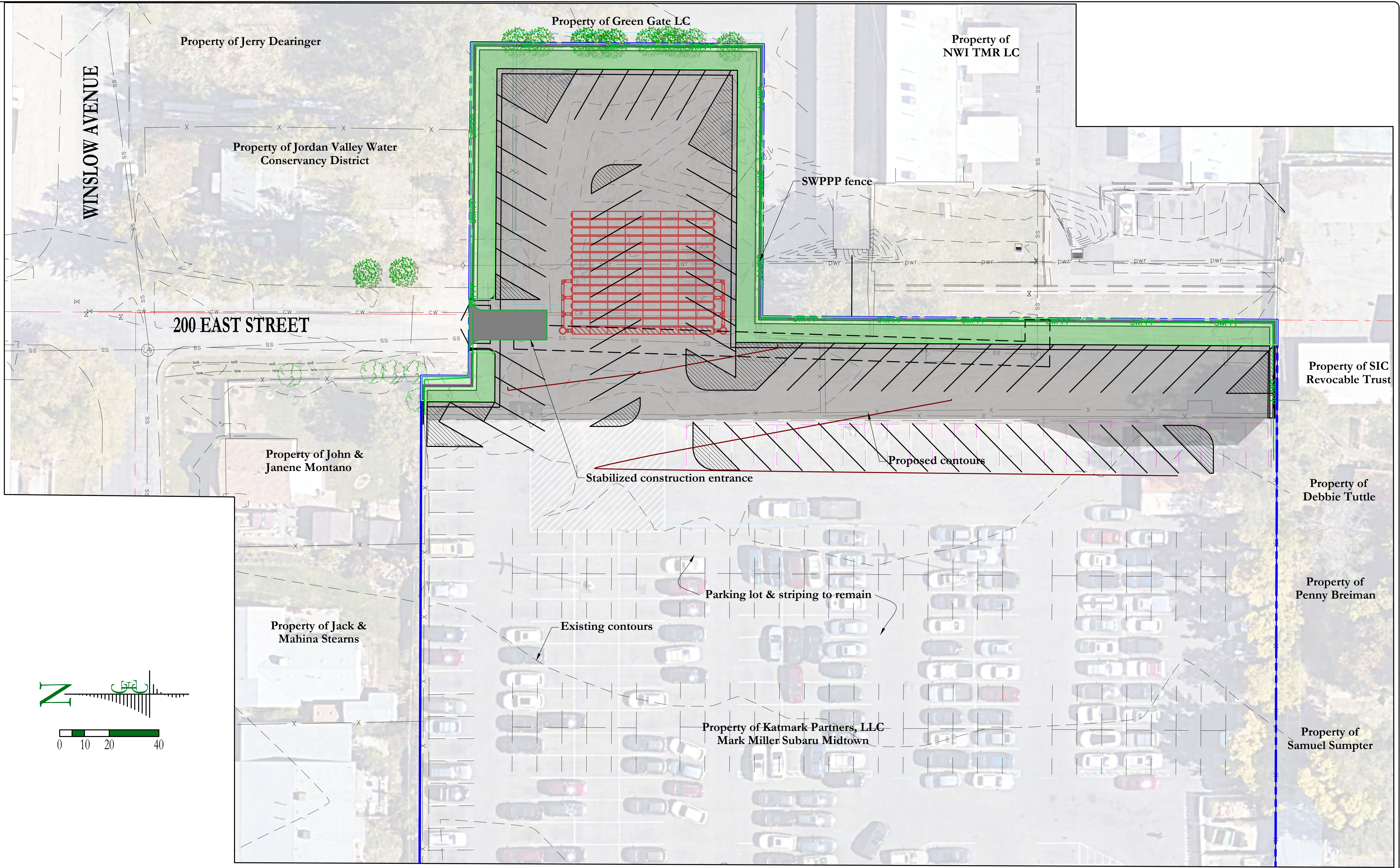
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PROJECT / LOCATION:
KATMARK SUBDIVISION IMPROVEMENTS
SOUTH SALT LAKE, UTAH

TITLE:
SWPPPP - NOTES & DETAILS

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: swpppp.dwg
SHEET: SWPPPP 1

LOCATION: Z:\CEC Clients\Private Developers\Archstone Group\Arch.19001 Mark Miller - South Salt Lake (Jeff Miller)\CADD - 2023\Planset\C3D DATE: 9/26/2023 11:46 AM



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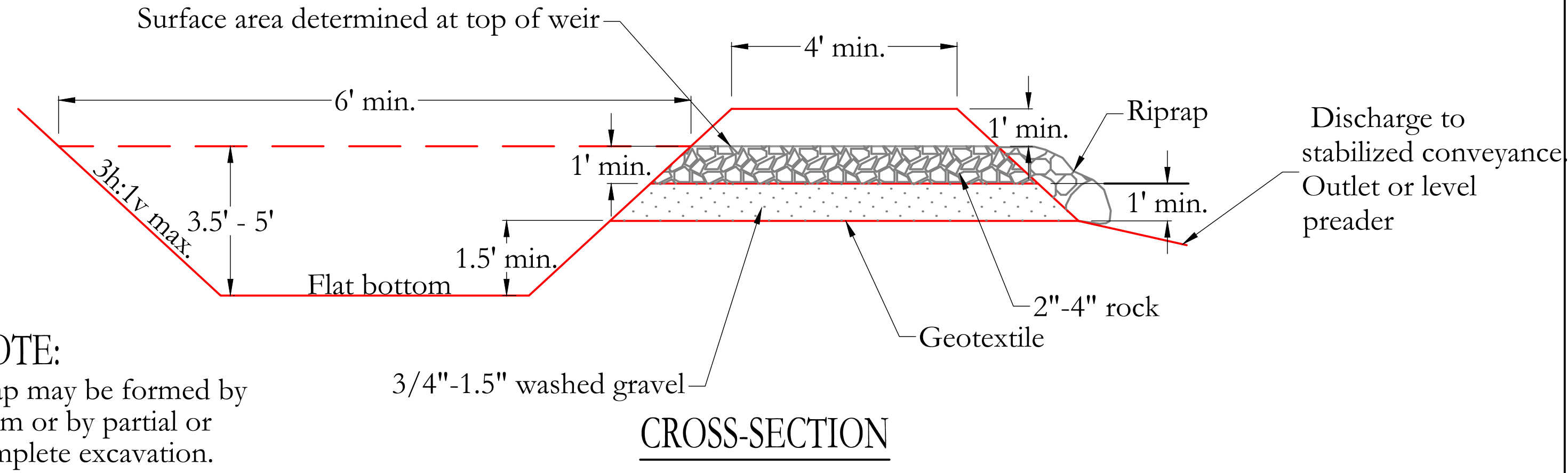
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 TITLE:
 EAST PARKING LOT - SWPPP

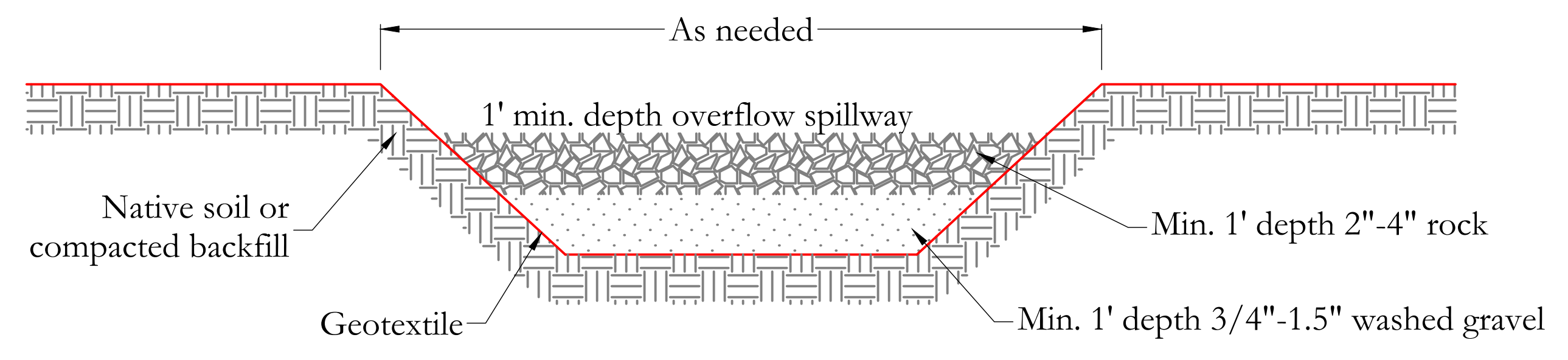
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 FILE:
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 SWPPP 2

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NOTE:
Trap may be formed by berm or by partial or complete excavation.

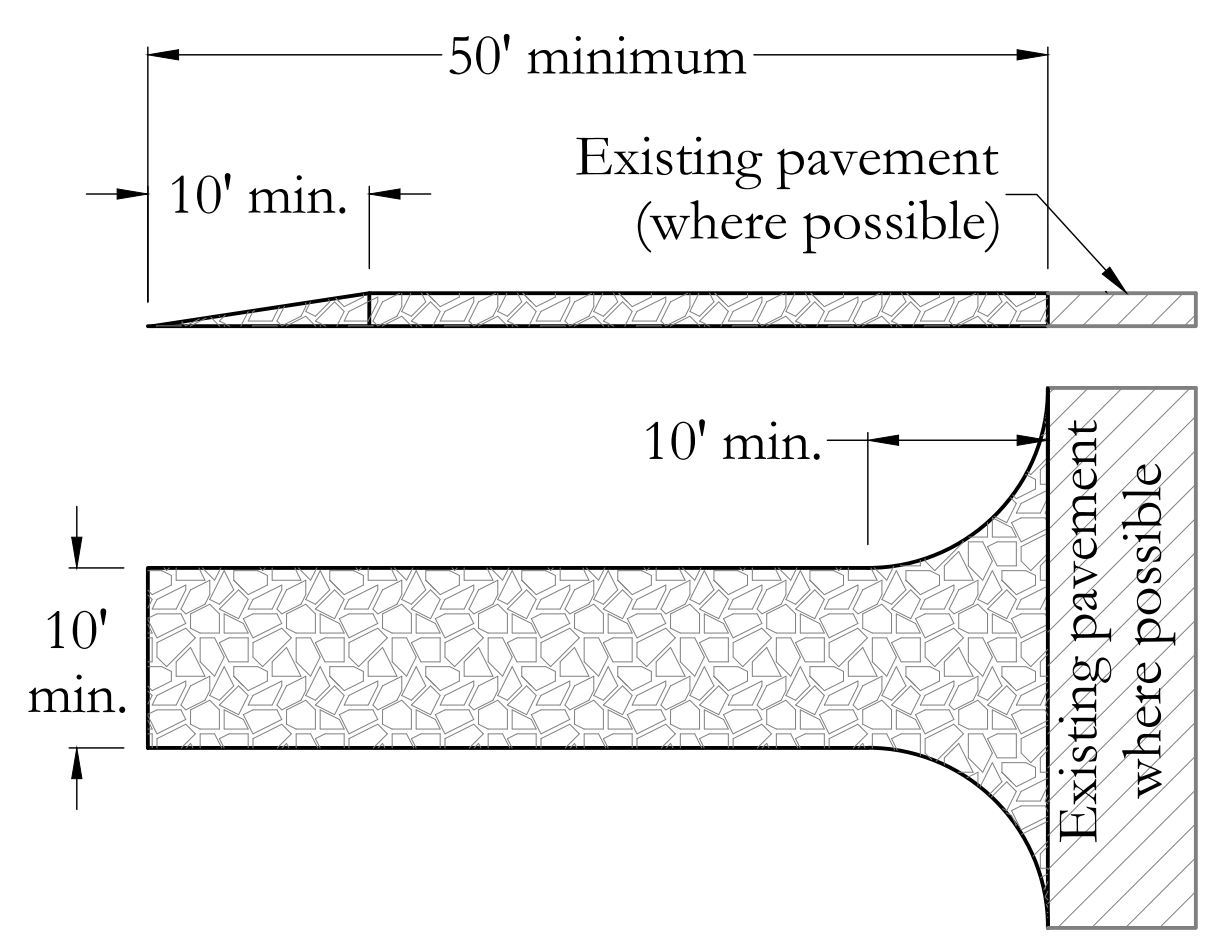
CROSS-SECTION



SILT TRAP BASIN

SCALE: NONE

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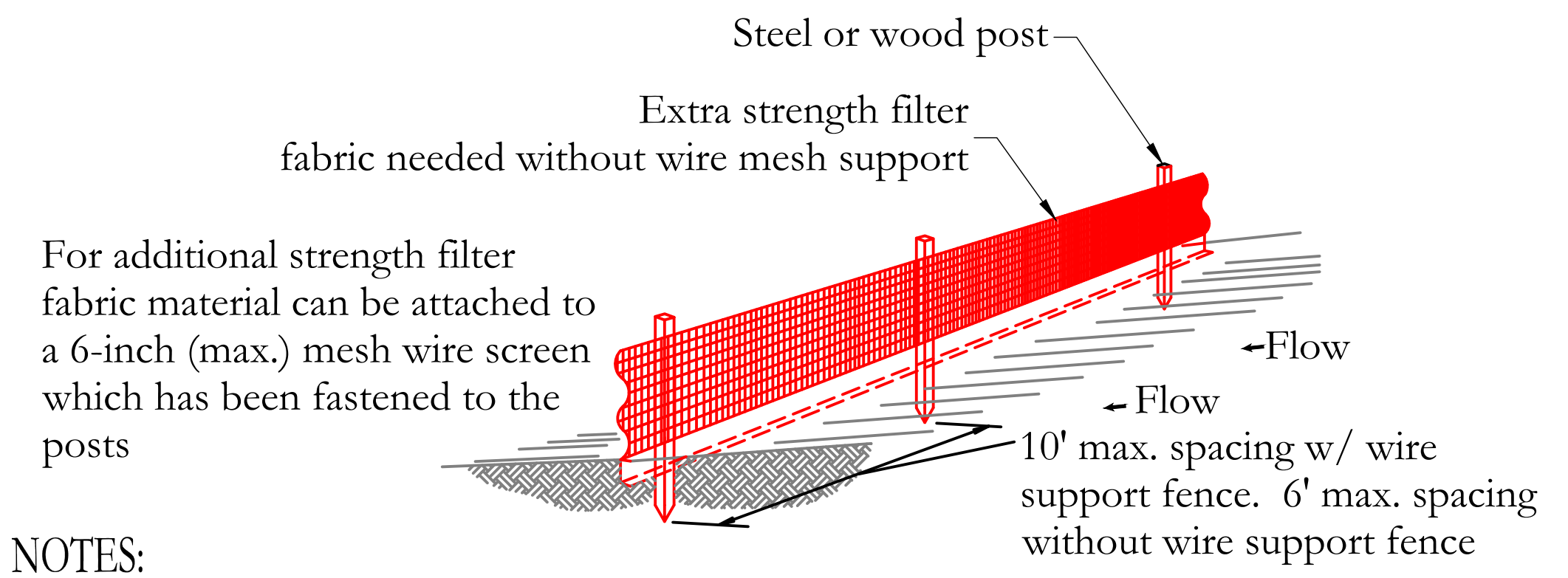
STABILIZED CONSTRUCTION ENTRANCE PLAN

SCALE: NONE

2
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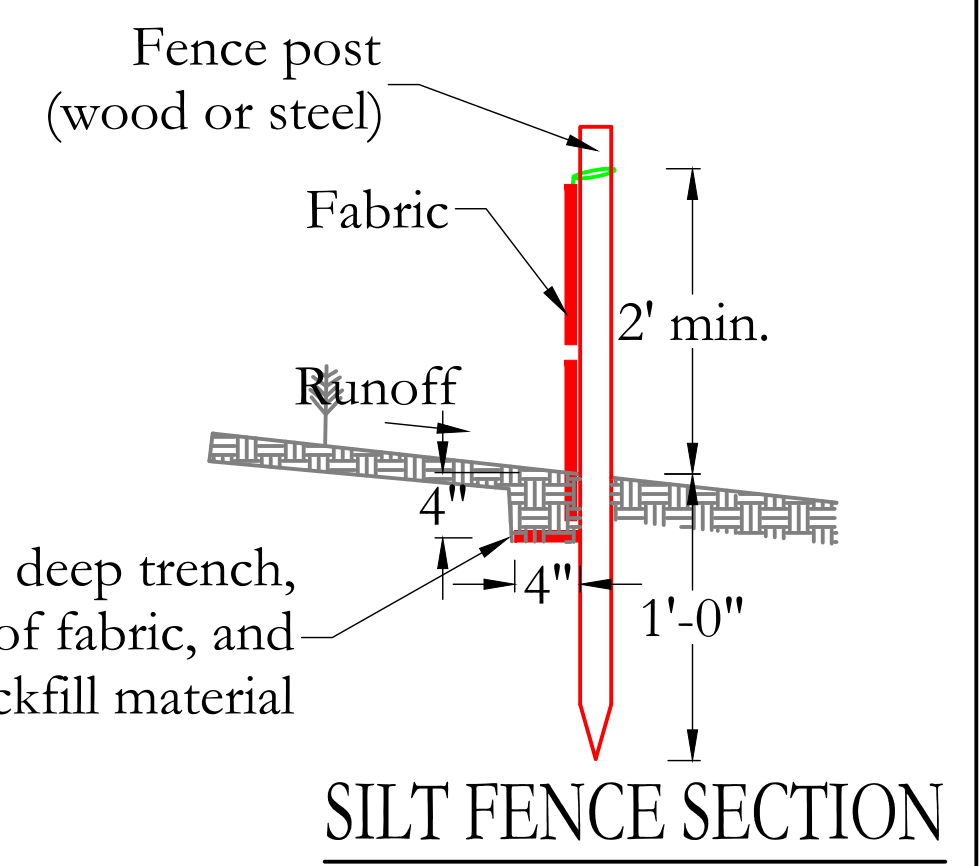
NOTES:

1. STONE SIZE- Use 2 to 3-inch stone or reclaimed concrete equivalent.
2. LENGTH- As required, but not less than 50-feet.
3. THICKNESS- Not less than 8-inches.
4. WIDTH- 10-foot minimum, but not less than the full width at points where ingress or egress occurs.
5. SURFACE WATER- All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 side slopes will be permitted.
6. MAINTENANCE- The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment into the public right-of-way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right-of-ways must be removed immediately.
7. Periodic inspection and needed maintenance shall be proved after each rainfall.
8. Geotextile underliner will be installed under stone covering.

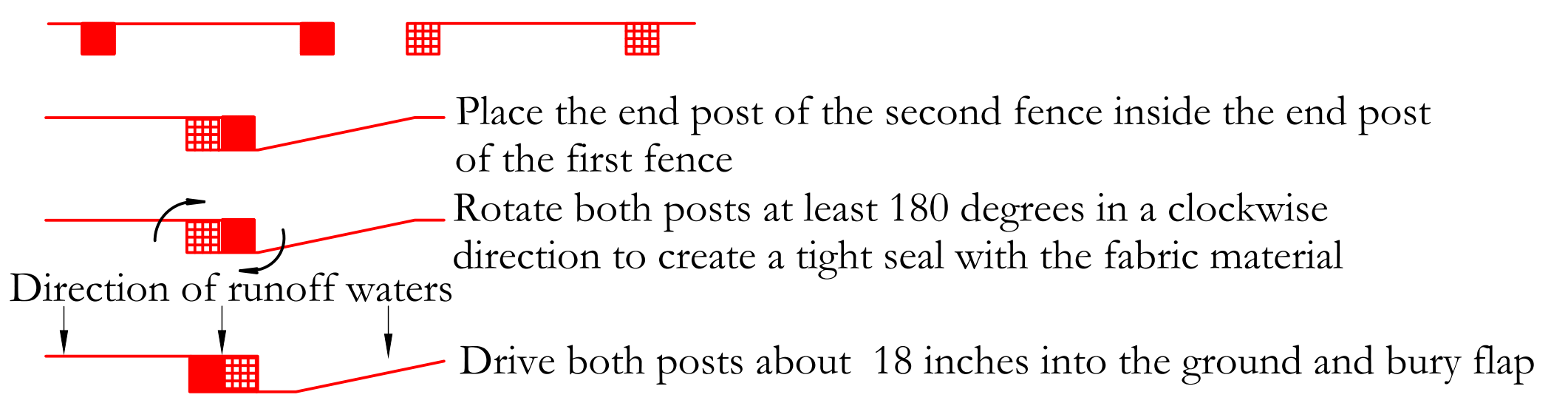


NOTES:

1. The height of a silt fence shall not exceed 36-inches.
2. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
3. Posts shall be spaced a maximum of 10-feet apart at the barrier location and driven securely into the ground a minimum of 12-inches. When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet.
4. A trench shall be excavated approximately 4 inches wide and 4 inches deep along the line of posts and upslope from the barrier.
5. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1-inch long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2-inches and shall not extend more than 36-inches above the original ground surface.
6. The standard strength filter fabric shall be stapled or wired to the fence, and 8-inches of the fabric shall be extended into the trench. the fabric shall not extend more than 36-inches above the original ground surface.
7. The trench shall be backfilled and the soil compacted over the filter fabric.
8. Install per manufacturer's specifications.



SILT FENCE SECTION



ATTACHING TWO SILT FENCES

SILT FENCE
SCALE: NONE

3
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PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH
 TITLE: SWPPP DETAILS

CLIENT: ARCHSTONE GROUP
 PROJECT NUMBER: ARCH19002
 FILE: swppp.dwg
 SHEET: SWPPP 3

ALTA / NSPS LAND TITLE SURVEY
PART OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
Being a part of Lot 6, Block 17, Plat A, Big Fields Survey

COMMITMENT DESCRIPTIONS
Metro National Title
345 East Broadway
Salt Lake City, Utah 84111

Commitment Number: 87685, Dated: October 7, 2021 at 7:45 AM

Parcel 1: Beginning South 0°00'45" East 134.75 feet and North 89°59'15" East 33.00 feet from the Northwest corner of Lot 6, Block 17, Ten Acre Plat "A", Big Field Survey, and running thence North 89°57'32" East 171.87 feet along the South right of way line of Winslow Avenue, thence South 0°00'45" East 95.02 feet, thence North 89°59'15" East 503.11 feet to the West right of way line of 200 East Street; thence South 0°12'45" West 172.15 feet along said 200 East Street; thence North 89°59'15" East 24.75 feet to the centerline of 200 East; thence South 0°12'45" West 171.71 feet along the centerline of 200 East to the Southeast corner of Lot 6, Block 17, Ten Acre Plat A, B.E.S.; thence South 89°58'15" West 283.44 feet along said Lot 6 to the Extension of the West line of Lot 41 of Alhambra Place Subdivision; thence South 0°3'15" West 152.42 feet along said West line to the North right of way line of Baird Avenue; thence North 89°56'45" West 266.11 feet along said right of way line to the centerline of a 17.66 foot road as shown on said Alhambra Place Subdivision Plat; thence North 0°03'15" East 152.04 feet along said center line to the South line of said Lot 6; thence South 89°58'15" West 148.83 feet along said South line to the East right of way line of State Street; thence North 0°00'45" West 438.99 feet along the East right of way line of State Street to the point of beginning. Less and excepting therefrom that portion of the subject property lying within 200 East Street as disclosed by that certain recorded plat recorded November 3, 1952 in as Entry No. 1305615 Plat Book M at Page 94. (Note: There is not a legal description, just the drawing showing adjacent land owners at time of recording.)

ALSO INCLUDING THE FOLLOWING:
Beginning at a point on the center line of Second East Street, said point being North 207.88 feet and West 726.6 feet from the Southeast corner of Lot 13, Block 17, Ten Acre Plat "A", Big Field Survey, and running thence North 100 feet; the East 109.75 feet; thence South 100 feet; thence West 109.75 feet to the point of beginning. Less and excepting therefrom that portion of the subject property lying within 200 East Street as disclosed by that certain recorded plat recorded November 3, 1952 in as Entry No. 1305615 Plat Book M at Page 94. (Note: There is not a legal description, just the drawing showing adjacent land owners at time of recording.)

Parcel 2: 18' Strip Description: A tract of land located in the Northwest Quarter of Section 31, Township 1 South, Range 1 East, Salt Lake Base and Meridian, being a part of Lot 13, of Block 17, Ten Acre Plat "A", Big Field Survey, Salt Lake County, Utah; having a basis of bearing of North 00°33'02" East between ring and lid monuments in 300 East Street established at the intersections of Baird Avenue (NAD83 coordinates N=7421376.164 E=1534297.555 U.S.F.) and 3300 South Street (NAD83 coordinates N=7423900.677 E=1534297.555 U.S.F.), said tract currently having a Salt Lake County serial number of 16-31-126-023-0000, more particularly described by survey as follows:
COMMENCING at a point located the following courses:
1) 134.75 feet South 00°13'47" West, along the west line of Block 17, Ten Acre Plat "A", Big Field Survey, to the Southeast corner of the intersection of State Street (100 East Street) and Winslow Avenue, and
2) 231.87 feet South 89°47'56" East, along the south right of way of Winslow Avenue, and
3) 94.93 feet South 00°13'47" West, and
4) 443.78 feet South 89°47'56" East, along or near an old existing fence line, to a fence corner being on the west right of way line of 200 East Street, and
5) 37.18 feet South 00°13'47" West, along said west right of way, and 6) 49.50 feet South 89°37'08" East, to the east right of way line of 200 East Street; FROM the Northwest corner of Lot 6 said Block 17, said point being the northwest corner of a parcel described in document recorded as Entry number 13275906 and being a common corner of a parcel described in document recorded as Entry number 13275906; RUNNING thence South 89°37'08" East 85.00 feet, along the common boundary of said Entry numbers 13275906 and 13168229; thence North 00°22'52" East 18.00 feet, to the north boundary of said Entry number 13168229; thence North 89°37'08" West 85.00 feet, along said north boundary, to said east right of way line of 200 East Street; thence South 00°22'52" West 18.00 feet, along said east right of way, to the point of beginning.

Parcel 3: Vacating Description as shown on the vacating plat:
A tract of land being a portion of 200 East Street that has not been previously vacated between the south line of Lot 13, Block 17, Ten Acre Plat "A", Big Field Survey, Salt Lake County, Utah, and a point approximately 152.56 feet southerly of the center of Winslow Avenue, said tract being described by metes and bounds as follows:
A tract of land located in the Northwest Quarter of Section 31, Township 1 South, Range 1 East, Salt Lake Base and Meridian, being a part of said Lot 13, having a basis of bearing of North 00°33'02" East between ring and lid monuments in 300 East Street established at the intersections of Baird Avenue (NAD83 coordinates N=7421376.164 E=1534297.555 U.S.F.), more particularly described by survey as follows; COMMENCING at a point located 8.47 feet North 00°32'43" East, along the monument line between Baird Avenue and Penny Avenue, and 763.66 feet North 89°47'15 West, along the center line of Baird Avenue, and 185.23 feet North 00°22'52" East, along the center line of 200 East Street, to the North boundary of said Alhambra Place being a subdivision recorded as Entry number 26613 in Book "H" of plats page 54 on June 1st 1910 (said point of beginning being the common corner to Lots 5, 6, 13, and 14, of said Block 17; FROM said monument at Baird Avenue and 300 East Street; RUNNING thence North 89°48'15" W 24.75 feet, along the north boundary of said Alhambra Place (being the south line of said Lot 6, Block 17, to the west right of way line of said 200 East Street; thence North 00°22'52" East 325.96 feet, along said west right of way line; thence South 89°37'08" East 49.50 feet, to the east right of way line of said 200 East Street; thence South 00°22'52" West 18.00 feet, along said east right of way line, to said north boundary of Alhambra Place (being the south line of said Lot 13, Block 17; thence North 89°48'15" W 24.75 feet, to the point of beginning.

The above 3 parcels are also described as follows as shown on the proposed plat of Katmark Subdivision:
A tract of land located in the Northwest Quarter of Section 31, Township 1 South, Range 1 East, Salt Lake Base and Meridian, being a part of Lots 5, 6, and 13, of Block 17, Ten Acre Plat "A", Big Field Survey, Salt Lake County, Utah; having a basis of bearing of North 00°33'02" East between ring and lid monuments in 300 East Street established at the intersections of Baird Avenue (NAD83 coordinates N=7421376.164 E=1534297.555 U.S.F.), and 3300 South Street (NAD83 coordinates N=7423900.677 E=1534297.555 U.S.F.), said tract currently having a Salt Lake County serial number of 16-31-126-023-0000, more particularly described by survey as follows:
BEGINNING at the Southeast corner of the intersection of State Street (100 East Street) and Winslow Avenue, said point being located 134.75 feet South 00°13'47" West, along the west line of Block 17, Ten Acre Plat "A", Big Field Survey, from the Northwest corner of Lot 6 said Block 17; RUNNING thence South 89°47'56" East 386.71 feet, along the south right of way of Winslow Avenue; thence South 00°15'32" East 94.93 feet;
thence South 89°47'56" East 288.13 feet, along or near an old existing fence line, to a fence corner being on the west right of way line of 200 East Street; thence South 00°22'52" West 19.18 feet, along said west right of way;
thence South 89°37'08" East 134.50 feet, a portion of which is along the northerly vacated line of 200 East Street and the north boundary of a parcel described in document recorded as Entry number 13168229; thence South 00°22'52" West 118.00 feet, along a common boundary line identified by documents recorded as Entry numbers 13168229 and 13275906 in a portion of which is an extension of said common boundary line, to the southeast corner of said Entry number 13275906 as surveyed; thence North 89°37'08" West 85.00 feet, along a common boundary line identified by documents recorded as Entry numbers 13168229 and 13275906 to the east line of the vacated 200 East Street; thence South 00°22'53" West 44.94 feet, along said east line of vacated 200 East Street, to the common boundary line identified by documents recorded as Entry numbers 13168229 and 12994031; thence North 89°37'08" West 24.75 feet, along said common boundary line, to the center line of vacated 200 East Street; thence South 00°22'53" West 162.94 feet, along said center line, to the north boundary of Alhambra Place subdivision which is recorded as Entry No. 266613, Jan. 1, 1910 in Book F page 54 (which line is the south line of Lot 6, said Block 17); thence North 89°48'15" West 284.60 feet, along said Alhambra Place, to a line being the extension of the lot line between Lots 40 and 41 said Alhambra Place;

thence South 00°17'42" West 152.14 feet, along said line between Lots 40 and 41, to the north right of way of Baird Avenue (3605 South Street); thence North 89°47'15" West 266.04 feet, along said north right of way of Baird Avenue, to the center of a vacated alley of Alhambra Place, vacated by document recorded as E#1064730 and E#1064731, said point is also identified as the center of the vacated alley by deed recorded as E#7943121; thence North 00°13'22" East 152.06 feet, along an existing chain link fence line representing the physical location of the center of said vacated alley, to the south line of Lot 6 said Block 17 (being also the north line of Lot 13 said Block 17); thence North 89°48'15" West 148.66 feet, along or near an existing chain link fence line representing the physical location of the south line of said Lot 6 and north line of said Lot 13, to the east right of way of State Street (being the west line of said Block 17); thence North 00°13'47" East 440.13 feet, along said east right of way, to the point of beginning.

MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS (Effective February 23, 2016)

- 5. A. Monuments**
 - i. The location, size, character, and type of any monuments found during the fieldwork. SURVEY RESPONSE: All such have been shown and identified.
 - ii. The location, size, character, and type of any monuments set during the fieldwork, if item 1 of Table A was selected or if otherwise required by applicable jurisdictional requirements and/or standards of practice. SURVEY RESPONSE: No corners have been set in this project.
 - iii. The location, description, and character of any lines that control the boundaries of the surveyed property. SURVEY RESPONSE: This information is contained throughout the Narrative and on the plats.
- 5. B. Rights of Way and Access**
 - i. The distance from the appropriate corner or corners of the surveyed property to the nearest right of way line, if the surveyed property does not abut a right of way. SURVEY RESPONSE: This property abuts public rights of way.
 - ii. The name of any street, highway, or other public or private way abutting the surveyed property, together with the width of the traveled way and the location of each edge of the traveled way including an divided streets and highways. If the documents provided to or obtained by the surveyor pursuant to Section 4 indicate no access from the surveyed property to the abutting street or highway, the width and location of the traveled way needed to be located. SURVEY RESPONSE: Points of access to public streets have been shown.
 - iii. Visible evidence of physical access (e.g., curb cuts, driveways) to any abutting streets, highways, or other public or private ways. SURVEY RESPONSE: Other access drives, roads, or lanes have been shown.
 - iv. The location and character of vehicular, pedestrian, or other forms of access by other than the apparent occupants of the surveyed property to or across the surveyed property observed in the process of conducting the fieldwork (e.g., driveways, alleys, private roads, railroads, railroad sidings and spurs, sidewalks, footpaths). SURVEY RESPONSE: Such have been shown.
 - v. Without expressing a legal opinion as to ownership or nature, the location and extent of any potentially encroaching driveways, alleys, and other ways of access from adjoining properties onto the surveyed property observed in the process of conducting the fieldwork. SURVEY RESPONSE: The only observed points of access have been shown and appear to all be on the subject property. It does not appear that there are points of encroachment to the property. There are fences surrounding much of the property (which fences will be addressed later) but no visible points of entry were observed in the conduct of the survey.
 - vi. Where documentation of the location of any street, road, or highway right of way abutting, on or crossing the surveyed property was not disclosed in documents provided to or obtained by the surveyor, or was not otherwise available from the controlling jurisdiction (see Section 6.C.iv. below), the evidence and location of any such street, road, or highway, or other public or private way surveyed in the process of conducting the fieldwork, which may indicate the location of such right of way lines (e.g., lines of occupation, survey monuments). SURVEY RESPONSE: This is being addressed with respect to 200 East Street with a proposed vacation of the portion of the street that is within the surveyed property.
 - vii. Evidence of access to and from waters adjoining the surveyed property observed in the process of conducting the fieldwork (e.g., paths, boat slips, launches, piers, docks). SURVEY RESPONSE: No such waters or access points were observed.
- 5. C. Lines of Possession and Improvements along the Boundaries**
 - i. The character and location of evidence of possession or occupation along the perimeter of the surveyed property, both by the occupants of the surveyed property and by adjoining, observed in the process of conducting the fieldwork. SURVEY RESPONSE: Such observed items have been surveyed, shown and noted herein as well as being discussed throughout the narrative. There appear to be two areas where the fences encroach on to the subject property, one, being on the northern boundary and two, a portion of a north-south section of fence line that is near the Lot line of Lots 40 and 41, Alhambra Place.
 - ii. Unless physical access is restricted, the character and location of all walls, buildings, fences, and other improvements within five feet of each side of the boundary lines, observed in the process of conducting the fieldwork. Trees, bushes, shrubs, and other natural vegetation need not be located other than as specified in the contract, unless they are deemed by the surveyor to be evidence of possession pursuant to Section 5.C.i. SURVEY RESPONSE: Where access was available to adjoining properties such have been shown. Also, see Minimum Standards Item 5.C.i.
 - iii. Without expressing a legal opinion as to the ownership or nature of the potential encroachment, the evidence, location and extent of potentially encroaching structural appurtenances and projections observed in the process of conducting the fieldwork (e.g., fire escapes, bay windows, windows and doors that open out, flue pipes, stoops, eaves, cornices, awarays, steps, trim) by or onto adjoining property, and other rights of way, easements, or setback lines disclosed in documents provided to or obtained by the surveyor. SURVEY RESPONSE: No such items were observed on the properties.

- 5.D. Buildings**

The location of buildings on the surveyed property observed in the process of conducting the fieldwork. SURVEY RESPONSE: Shown and noted on the plat.
- 5.E. Easements and servitudes**
 - i. Evidence of any easements or servitudes burdening the surveyed property as disclosed in the documents provided to or obtained by the surveyor pursuant to Section 4 and observed in the process of conducting the fieldwork. SURVEY RESPONSE: Only records provided by the client, clients title company in the title policy have been examined which are on record with the County Recorder's Office.
 - ii. Evidence of easements, servitudes, or other uses by other than the apparent occupants of the surveyed property not disclosed in the documents provided to or obtained by the surveyor pursuant to Section 4, but observed in the process of conducting the fieldwork if they appear to affect the surveyed property (e.g., roads; drives; sidewalks, paths, and other ways of access; utility service lines; water courses; ditches; drains; telephone, fiber optic lines, or electric lines; or water, sewer, oil or gas pipelines on or across the surveyed property and on adjoining properties). SURVEY RESPONSE: To the best of our ability such observed items that exist within the properties surveyed are shown and noted.
 - iii. Surface indications of underground easements or servitudes on or across the surveyed property observed in the process of conducting the fieldwork (e.g., utility cuts, vent pipes, filler pipes). SURVEY RESPONSE: The only underground utilities that would be shown on this plat are those that may have had "blue stakes" (811 Locator markings) that were there at the time of the survey. There were no other observed evidence of such items.
- 5.F. Cemeteries**

As accurately as the evidence permits, the perimeter of cemeteries and burial grounds, and the location of isolated gravesites not within a cemetery or burial ground, (i) disclosed in the documents provided to or obtained by the surveyor, or (ii) observed in the process of conducting the fieldwork. SURVEY RESPONSE: There were no observed evidence of such items nor have I been provided with any verbal information relating to such.

- 5. G. Water Features**
 - i. The location of springs, ponds, lakes, streams, rivers, canals, ditches, marshes, and swamps on, running through, or outside, but within five feet of the perimeter boundary of, the surveyed property, observed during the process of conducting the fieldwork. SURVEY RESPONSE: This is an urban setting and no such items were observed.
 - ii. The location of any water feature forming a boundary of the surveyed property. The attribute(s) of the water feature located (e.g., top of bank, edge of water, high water mark) should be congruent with the boundary as described in the record description or, in the case of an original survey, in the new description (see Section 6.B.vi. below). SURVEY RESPONSE: No boundaries are described to be coincident with a water course.

TABLE A of the ALTA STANDARDS

There were no Table A items selected as part of this ALTA/NSPS Land Title Survey request.

SECHEDEULE B - PART II, Exceptions

SCHEDULE B Section II - Exceptions: Commitment Number: 041-5920118 revised as dated July 31, 2018.

Only numbered exceptions as contained hereon have been addressed by this survey for the properties described herein.

- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a Public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records. SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.
2. Any facts, rights, interests or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land. SURVEY RESPONSE: This item is limited to matters that are visible with respect to the property described. In a physical inspection of the property there does not appear to be any public uses or encroachments excepting that of 200 East Street and a portion of an alley not vacated of Alhambra Place. The property does front on public roads, State Street, Baird Avenue, and 200 East Street. There is a portion of 200 East Street that is being proposed to be vacated prior to or concurrent with a subdivision plat being approved by the city. There is also a portion of an alley that is shown on the recorded plat of Alhambra Place which has not presently been vacated. This is noted on the plat on the north of Lot 41 Alhambra Place with the note beginning with; "E#1988261 Probably distribution, ...". I'm not sure at this point how the city is going to handle this public interest item which appears to still be valid based on the Alhambra Park plat. They may require a formal ordinance to vacate or they could use the proposed subdivision plat under UCA 10-9a-609 which would statutorily vacate, supercede, and replace any contrary provision shown, dedicated, or noted on or in a previously recorded plat. See note 2 sheet 2 of this ALTA survey.
3. Easements, liens or encumbrances or claims thereof, not shown by the Public Record. SURVEY RESPONSE: Except for utilities in 200 East Street, there does not appear to be any such items that could be considered public or quasi-public utilities which are not covered by written documents of record. Respecting 200 East Street, the sewer line has a recorded document, see exception, and the storm drain facility does not appear to have a recorded document. There may be other underground utilities that are not known at this time which may have an encumbrance on the street property. The status of some of the visible utilities not covered by recorded documents, which are shown and noted as observed in the survey, is not known. There are sewer, water, storm drain, irrigation, telecommunications, and electrical facilities (this list may not be comprehensive) in and around the property which were not identified in the documents contained in the title report, the status of such is not known.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records. SURVEY RESPONSE: Such items relating to the occupation of the property (fences), public streets, alleys, utilities (only those identified as public) are shown and noted with this exception or other exceptions. The south 171.71 feet of the west half of 200 East Street is included in the deed of record for the Miller's but to my knowledge has never been vacated. See exception 2 above.
5. a) Unpatented mining claims; SURVEY RESPONSE: A search for such in the BLM records has not been done in connection with this survey for such claims. In an examination of the property, though not thorough, evidence of mining activity was not observed.
5. b) Reservations or exceptions in patents or in Acts authorizing the issuance thereof. SURVEY RESPONSE: This section is not designated as a School Trust Land section, therefore, no reservations associated with such would be present. Other Acts that may exist have not been researched nor information on such provided.
5. c) water rights, claims or title to water, whether or not the matters excepted under a), b) or c) are shown by the Public Records. SURVEY RESPONSE: I have not searched any water title records nor is such a part of this survey.
6. Any lien, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown in the Public Records. SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.
7. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met. SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.
8. The following affects Parcel 1:
Lien of Taxes, now accruing as a lien, but not yet due and payable Year: 2021
Tax ID No.: 16-31-103-023; Prior year: 2020 Paid; Amount: \$123,601.05
SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.
- Lien of Taxes, now accruing as a lien, but not yet due and payable Year: 2021
Tax ID No.: 16-31-103-002; Prior year: 2020 Paid; Amount: \$2,776.26
SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.
9. the following affects Parcel 2:
Lien of Taxes, now accruing as a lien, but not yet due and payable Year: 2021
Tax ID No.: 16-31-126-023; Prior year: 2020 Paid; Amount: \$1,107.96
SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.
10. The following affects Parcel 3:
The county has not assigned a Tax Parcel Number to that portion of the subject property located in 200 East Street.

11. The land described herein is located within the boundaries of South Salt Lake and is subject to any assessments levied thereby. For current status call (801) 483-6000.
The land described herein is located within the boundaries of the Mt. Olympus Improvement District and is subject to any assessments levied thereby. For current status call (801) 262-2904
SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.

12. The following affects Parcel 1:
Lien of Taxes, now accruing as a lien, but not yet due and payable Year: 2021
Tax ID No.: 16-31-103-002; Prior year: 2020 Paid; Amount: \$1,107.96
SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.

13. The following affects Parcel 2:
Lien of Taxes, now accruing as a lien, but not yet due and payable Year: 2021
Tax ID No.: 16-31-126-023; Prior year: 2020 Paid; Amount: \$1,107.96
SURVEY RESPONSE: This is not a survey item and will not be addressed in this survey.

14. The land is included within the boundaries of Summit County, Weber Basin Water Conservancy District, Summit County Special Service District No. and Rhoades Valley Recreational Service District., and is subject to charges and assessments made thereby. SURVEY RESPONSE: This is an item that is not shown nor noted on the plat. For details related to the effect that this item has on the property refer to the creation documents.

15. Water rights, claims or title to water, whether or not shown by the public records. SURVEY RESPONSE: See exception 5.c. above.

16. The following affects Parcel 1:
Acknowledgement and Disclosure
Dated: December 1962; Recorded: May 4, 1994; Entry No.: 5812727; Book/Page: 6932 / 2182
Wherein the subject property is either partially or wholly located within a Natural Hazards Special Study Area as shown on the Natural Hazards Map adopted by the Board of County Commissioners of Salt Lake County pursuant to Ordinance No. 1074 for: High Liquefaction Potential
SURVEY RESPONSE: This document is a notice and covers a southerly portion of Lot 6 Block 17 Plat A Big Field Survey which is a southerly portion of the Miller's property.

17. The following affects Parcel 1:
Utility Easement, and the terms and conditions thereof:
Grantor: CARS-DB4, L.P.
Grantee: Utah Power
Purpose: An easement for the purpose of a underground power line.
Recorded: February 5, 2003 Entry No.: 8520231; Book/Page: 8734 / 88
SURVEY RESPONSE: See narrative paragraph 17 for explanation of the easement being shown in two different locations.

18. The following affects Parcel 1:
Easement Agreement, and the terms and conditions thereof:
Grantor: Quest Corporation
Grantee: Mountain Fuel Supply Company, a corporation
Purpose: A right of way and easement 10 feet in width to lay, maintain, operate, repair, inspect, protect, remove and replace pipelines, valves, valve boxes and other gas transmission and distribution facilities. Recorded: March 18, 2003
Entry No.: 8571664; Book/Page: 8757 / 7132
SURVEY RESPONSE: As shown and noted. One of the courses in the description states, "thence West 60.71 feet, said course being 10.00 feet North of the face of the existing building". The plotting of the metes of the description do not coincide with a building face as it exists today. This document was executed March 10, 2003. There is an ALTA survey on file with the county as s2011-10-0364 (See exception 30) which shows a different building configuration which is shown hereon.

19. The following affects Parcel 1:
Easement Agreement, and the terms and conditions thereof:
Grantor: Quest Corporation
Grantee: Mountain Fuel Supply Company, a corporation
Purpose: A right of way and easement 10 feet in width to lay, maintain, operate, repair, inspect, protect, remove and replace pipelines, valves, valve boxes and other gas transmission and distribution facilities. Recorded: March 18, 2003
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20. The following affects Parcel 1:
Conditionally Use Permit including the terms and conditions thereof: Between: South Salt Lake Community Development
And: Katmark Partners LLC
Dated: March 4, 2015; Recorded: September 26, 2017; Entry No.: 12623293; Book/Page: 10602 / 1424
SURVEY RESPONSE: This document is a permit which states, "[a] public meeting held on Wednesday, 4 March 2015, the Department of Community Development approved a conditional use permit to install a 484-panel photovoltaic solar array on the roof of the Mark Miller Subaru Midtown Facility, located at 3535 South State Street, ...".
This facility has not been surveyed nor is it shown on this plat.

21. The following affects Parcel 1:
Legally Existing Nonconforming Use Certificate, and the terms and conditions thereof: Recorded: December 2, 1993; Entry No.: 11733095; Book/Page: 10022 / 6404
Wherein: Zoning Violation
SURVEY RESPONSE: This affects parcel 16-31-103-002 Entry no. 11769479 and is shown and noted. See document for details.

22. The following affects parcel 1:
Conditional Use Permit including the terms and conditions thereof: Between: South Salt Lake Community Development
And: Katmark Partners LLC
Dated: March 4, 2015; Recorded: September 26, 2017; Entry No.: 12623293; Book/Page: 10602 / 1424
SURVEY RESPONSE: This document is a permit which states, "[a] public meeting held on Wednesday, 4 March 2015, the Department of Community Development approved a conditional use permit to install a 484-panel photovoltaic solar array on the roof of the Mark Miller Subaru Midtown Facility, located at 3535 South State Street, ...".
This facility has not been surveyed nor is it shown on this plat.

23. The following affects a portion of Parcel 1:
The interest, if any, of Salt Lake County in and to that certain Alley lying North of the East 18 feet of Lot 41, Block 1, Alhambra Subdivision. The alley to the West was vacated by that certain Resolution recorded February 1, 1949 as Entry No. 1147137 and on the East by that certain Resolution recorded March 23, 1960 as Entry No. 1170332 in Book 7696 at Page 881. The vested owner has shown an interest in that portion of the alley lying North of the East 18 feet of said Lot 41 since that certain Decree recorded March 25, 1964 as Entry No. 1988261 in Book 2170 at Page 276 of Official Records.
SURVEY RESPONSE: Shown and noted.

24. The following affects a portion of Parcel 1:
Easement, and the terms and conditions thereof:
Imposed by: Vacation Resolution
Of: The Alley North and West of Lots 43 through 50, Block 1, in Alhambra Subdivision
Purpose: Reserves easements for existing utilities that may have been constructed across the vacated street or alley.
Dated: November 25, 1946; Entry No.: 1064730; Book/Page: 508 / 373
SURVEY RESPONSE: Shown and noted.

Order
Recorded: November 27, 1946 Entry No.: 1064731; Book/Page: 508/374
SURVEY RESPONSE: This order is "vacating of a certain alley" which is shown and noted.

15. The following affects a portion of Parcel 1:
Easement, and the terms and conditions thereof:
Imposed by: Vacation Resolution
Of: The alley North of Lots 42 and a portion of Lot 41, Block 1, Alhambra Subdivision.
Purpose: Reserves easements for existing utilities that may have been constructed across the vacated street or alley.
Dated: January 28, 1949; Recorded: February 1, 1949; Entry No.: 1147137; Book/Page: 659 / 462
SURVEY RESPONSE: Shown and noted.

Order
Recorded: February 1, 1949 Entry No.: 1147139; Book/Page: 659/465
SURVEY RESPONSE: This order is "vacating of a certain alley" which is shown and noted.

16. The following affects Parcel 1:
Right of Way Easement Grant, and the terms and conditions thereof:
Grantor: Mountain Fuel Supply Company, a corporation
Grantee: Mountain Fuel Supply Company, a corporation
Purpose: A right of way and easement 5 feet in width to lay, maintain, operate, repair, inspect, protect, remove and replace pipelines, valves, valve boxes and other gas transmission and distribution facilities. Recorded: September 15, 1952; Entry No.: 1299994; Book/Page: 953 / 561
SURVEY RESPONSE: See note 1 Sheet 2.

17. The following affects Parcel 1:
Easement, and the terms and conditions thereof:
Grantor: Mountain States Telephone and Telegraph Company
Purpose: The right, privilege and authority to construct, operate, maintain and repair its lines of Telephone and Telegraph, including underground conduit, poles, anchors, cables, wires and fixtures under, under, over and across the property.
Recorded: May 5, 1966; Entry No.: 2154363; Book/Page: 2456 / 107
SURVEY RESPONSE: As shown and noted.

18. The following affects Parcel 1:
Easement, and the terms and conditions thereof:
Grantor: Mountain States Telephone and Telegraph Company
Purpose: The right, privilege and authority to construct, operate, maintain and repair its lines of Telephone and Telegraph, including underground conduit, poles, anchors, cables, wires and fixtures under, under, over and across the property.
Recorded: May 5, 1966; Entry No.: 2154364; Book/Page: 2456 / 108
SURVEY RESPONSE: As shown and noted.

19. The following affects Parcel 1:
Easement, and the terms and conditions thereof:
Grantor: Mountain States Telephone and Telegraph Company
Purpose: The right, privilege and authority to construct, operate, maintain and repair its lines of Telephone and Telegraph, including underground conduit, poles, anchors, cables, wires and fixtures under, under, over and across the property.
Recorded: May 5, 1966; Entry No.: 2154365; Book/Page: 2456 / 109
SURVEY RESPONSE: As shown and noted.

20. The following affects Parcel 2:
Easement, and the terms and conditions thereof:
Grantor: Mountain States Telephone and Telegraph Company
Purpose: The right, privilege and authority to construct, operate, maintain and repair its lines of Telephone and Telegraph, including underground conduit, poles, anchors, cables, wires and fixtures under, under, over and across the property.
Recorded: February 21, 1967; Entry No.: 2189126; Book/Page: 2531 / 461
SURVEY RESPONSE: Affects a northeasterly portion of 200 East Street as shown and noted. See note 4 sheet 2.

21. The following affects Parcel 1:
Agreement, including the terms and conditions thereof: Between: W.J. Leitheiser
And: Salt Lake County
Dated: July 27, 1981; Recorded: July 29, 1981; Entry No.: 3589526; Book/Page: 6275 / 757
SURVEY RESPONSE: This document states, "On April 28, 1981 Salt Lake County granted a temporary extension of time to the requirement for installation of the off-site improvements consisting of curb, gutter and sidewalk abutting the property owned by SECONO PARTY located at 130 Winslow Avenue and more particularly described as follows: The description is plotted herein and is parcel 16-31-103-002 Entry no. 11769479. The curb appears to be installed which by the terms of the agreement would nullify said agreement.

22. The following affects Parcel 1:
Acknowledgement and Disclosure
Dated: December 1962; Recorded: May 4, 1994; Entry No.: 5812727; Book/Page: 6932 / 2182
Wherein the subject property is either partially or wholly located within a Natural Hazards Special Study Area as shown on the Natural Hazards Map adopted by the Board of County Commissioners of Salt Lake County pursuant to Ordinance No. 1074 for: High Liquefaction Potential
SURVEY RESPONSE: This document is a notice and covers a southerly portion of Lot 6 Block 17 Plat A Big Field Survey which is a southerly portion of the Miller's property.

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Grantor: CARS-DB4, L.P.
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Purpose: An easement for the purpose of a underground power line.
Recorded: February 5, 2003 Entry No.: 8520231; Book/Page: 8734 / 88
SURVEY RESPONSE: See narrative paragraph 17 for explanation of the easement being shown in two different locations.

24. The following affects Parcel 1:
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Purpose: A right of way and easement 10 feet in width to lay, maintain, operate, repair, inspect, protect, remove and replace pipelines, valves, valve boxes and other gas transmission and distribution facilities. Recorded: March 18, 2003
Entry No.: 8571664; Book/Page: 8757 / 7132
SURVEY RESPONSE: As shown and noted. One of the courses in the description states, "thence West 60.71 feet,

