



PLANNING COMMISSION STAFF REPORT

MEETING DATE:	February 1, 2024
PROJECT NUMBER:	S-19-009
REQUEST(S):	An application for a Final Subdivision Plat to consolidate three parcels into one-lot, located at 3535 South State Street.
ADDRESS:	130 East Winslow Avenue, 3549-3555 South 200 East, and 3535 South State Street
PARCEL NUMBERS:	16-31-103-020; 16-31-126-023; and 16-31-103-023
PROPERTY OWNER:	Katmark Partners, LLC
APPLICANT:	Katmark Partners, LLC
TYPE OF APPLICATION:	Administrative – Subdivision Plat

STAFF RECOMMENDATION:

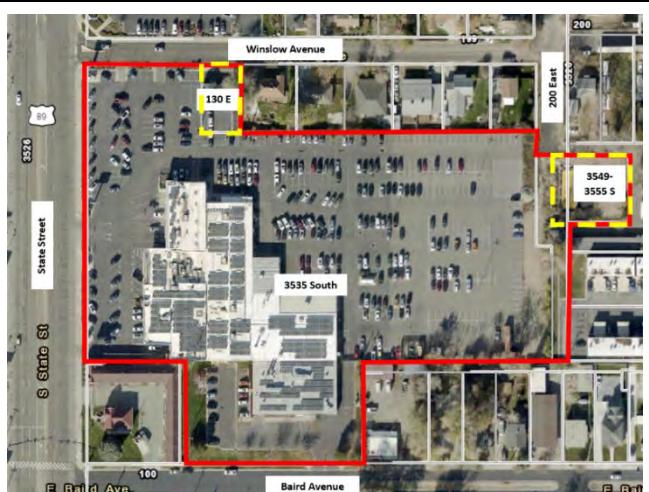
Staff recommends the Planning Commission approve the preliminary subdivision plat to consolidate three parcels into one-lot, located at 3535 South State Street. Staff's recommendation is based upon its analysis and findings included below.

SYNOPSIS:

On June 25, 2021, Katmark Partners, LLC submitted a plat application. The plat application is to consolidate three parcels into one lot, in order to expand the existing Auto Dealership.

This is part of a larger project to update their Car Dealership. The other applications they have submitted have included:

1. Rezone Application – This application was reviewed by the Planning Commission and City Council to change the zoning map from Residential Multiple (RM) to Commercial Corridor (CC) for the two parcels located at 130 East Winslow Avenue and 3549-3555 South 200 East. On February 8, 2023, the City Council approved the zone change.
2. A vacation of a portion of 200 East. This was reviewed and approved by the City Council on February 22, 2023.
3. Conditional Use Application for the operation of an Auto Dealership. This application will come before the Planning Commission on February 1, 2024.



The subject property located at 130 East Winslow Avenue is their marketing office for the dealership. The subject property at 3549-3555 South 200 East has been vacant land since late 2019. The applicant intends to expand their parking onto this area, once the subdivision plat has been approved and recorded. The subject property at 3535 South State Street is the existing Subaru Dealership.

On January 18, 2024, the Planning Commission held a public hearing on this matter. There was some discussion on the difference between the plat application and the Conditional Use Permit application. There was also a question about the drive approach proximity along Winslow Avenue to State Street. There was one public comment, he is concerned that the other homes on Winslow Avenue that are not part of the plat will be rezoned and later the dealership will continue to encroach into the residential zone. Additionally, the member of the public does not believe that the Subaru sets parking standards for their dealerships. The Planning Commission voted unanimously to approve the Preliminary Subdivision Plat.

The Planning Commission is the land use authority for a subdivision plat approvals.

EXISTING ZONING	EXISTING USE	EXISTING PARCEL SIZES	PROPOSED LOT SIZE
Commercial Corridor	Vacant / Office / Auto Dealership	3535 S: 6.73 acres 130 E Winslow: 0.13 acres 3549-3555 S: 0.19 acres	Total Size After Consolidation: 7.19 acres

SOUTH SALT LAKE

PLANNING COMMISSION STAFF REPORT

GENERAL INFORMATION:

Location: 3535 South State Street
130 East Winslow Avenue
3549-3555 South 200 East

Proposed Project Size 7.19 acres (after consolidation)

Surrounding Land Use Districts: North: Residential Multiple
South: Commercial Corridor
East: Residential Multiple
West: Commercial Corridor

Figure 1: Existing Parcel Lines

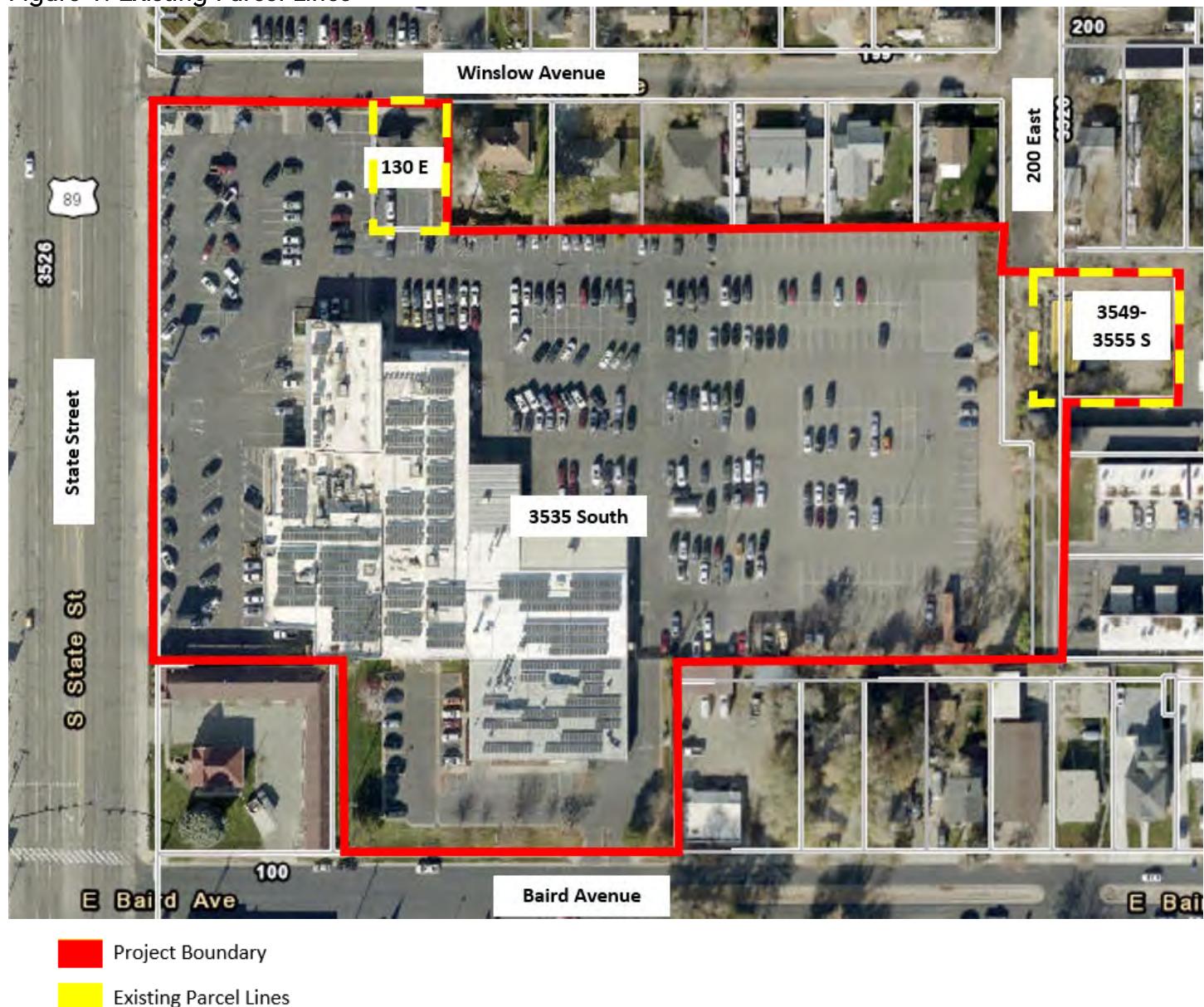


Figure 2: Existing Site Conditions

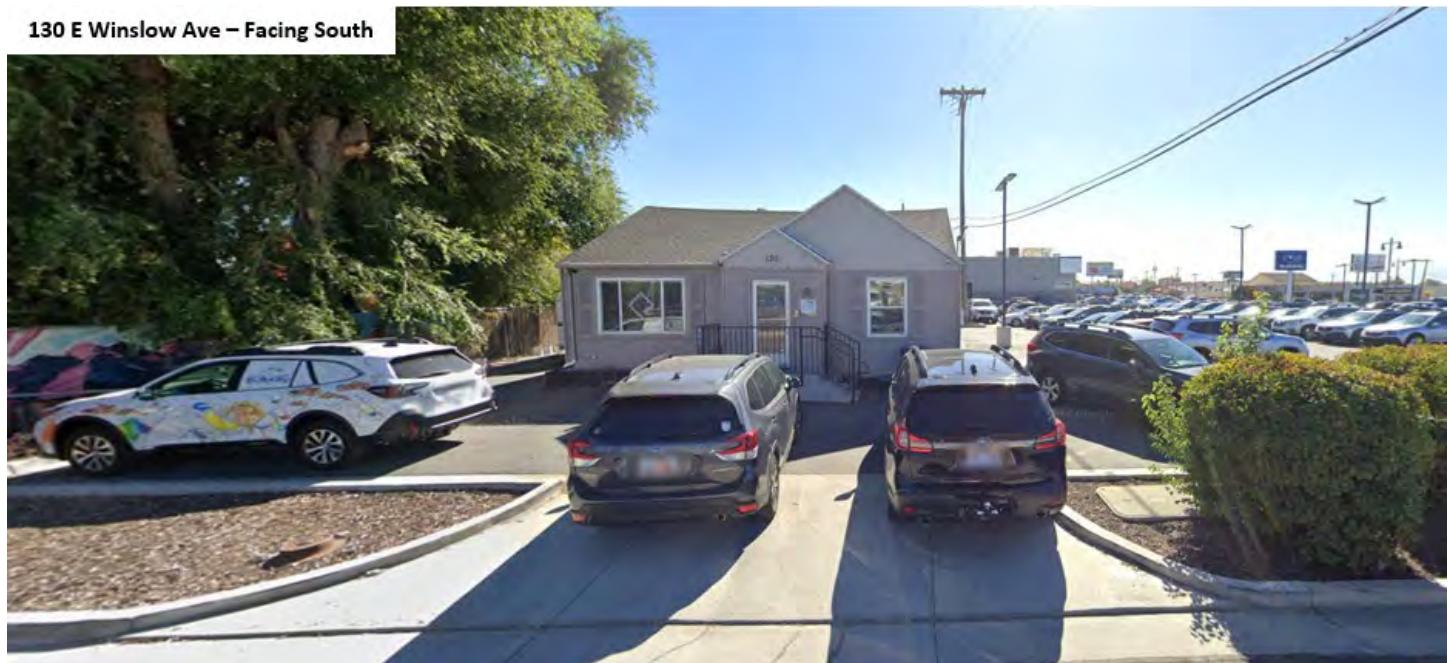
3535 S State St – Facing Northeast



3535 S State St – Facing Southeast



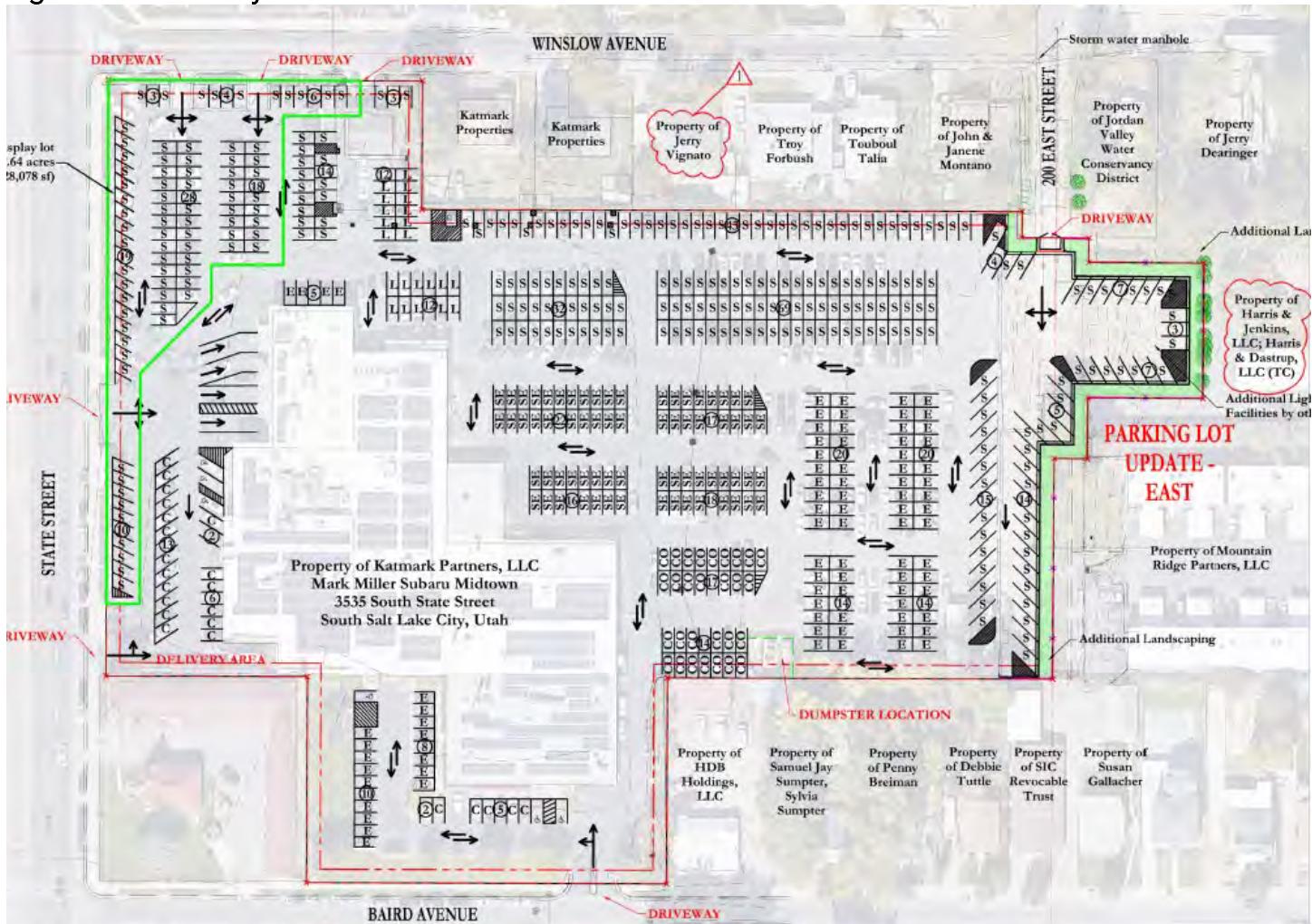
130 E Winslow Ave – Facing South



3549-3555 S 200 E – Facing South

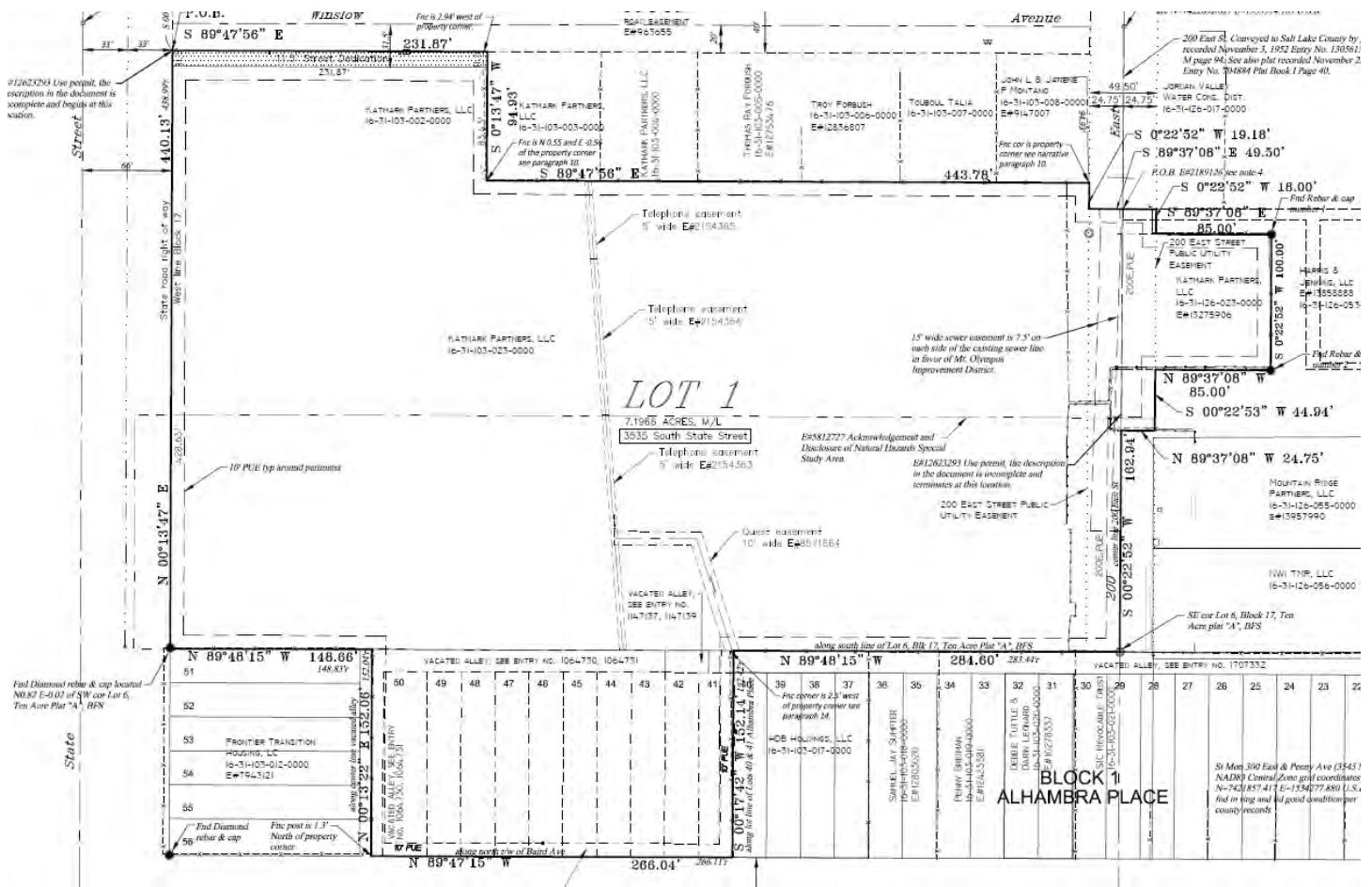


Figure 3: Preliminary Site Plan



***SITE PLAN IS CONCEPTUAL – SUBJECT TO TECHNICAL REVIEW**

Figure 4: Preliminary Subdivision Plat **Full Preliminary Plat is the Attachments**



PLANNING COMMISSION AUTHORITY:

17.11.030. Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

A. Planning Commission. The planning commission is the land use authority on issues of: Subdivision and Subdivision Plat approval, vacating, altering or amending a Subdivision Plat; Conditional Use Permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

GENERAL PLAN CONSIDERATIONS:

Land Use & Neighborhood Strategy 8: Appropriately seek the redevelopment of legal non-conforming uses, properties, and structures to be more conforming over the long term.

Analysis: The proposed consolidation plat would make 130 E Winslow Avenue no longer a non-conforming in regards to the parking standards. This property does not meet the on-site parking standards for the office use. The property at 3549-3555 S is vacant and no development can occur until it is been platted via the plat application process.

Economic Development Vision Statement: South Salt Lake is a community of opportunity for a variety of businesses with diverse ownership serving a diverse community. Quality of life in South Salt Lake is enhanced through sustainable businesses in a sustainable community. South Salt Lake encourages and supports businesses by helping them form, expand, and thrive in our community. We build on past success for our future.

Analysis: The Economic Development Vision Statement calls out encouraging and supporting businesses to expand and thrive in the community. As stated above Mark Miller Subaru has been at this location in the City since 1961. The consolidation plat would allow a long existing, sustainable business, to expand its operations in order to comply with the manufacturer requirements, and continue to thrive in the City

Economic Development Goal #3: Continue to support existing and future businesses through the city's partnership with the South Salt Lake Chamber of Commerce and comprehensive business retention and recruitment program.

Analysis: Mark Miller Subaru has been operating at this location in South Salt Lake since 1961. They have been a good partner with the City over the years. The dealership has outgrown their space and in order to meet the requirements of the Subaru manufacturer need more room on their lot to store cars. This stall requirement comes directly from the manufacturer and can affect their franchise status, which is why they have applied for a plat application to consolidate their properties. This consolidation will allow them to expand their business operations in order to meet the manufacturer requirements.

Economic Development Strategy 5: Maintain and enhance neighborhood health, vitality, and integrity.

Analysis: One of the actions for this strategy is "encourage incremental development where appropriate to avoid vacant and underutilized parcels". The property at 3549-3555 S is vacant and no development or building permits can be issued until a subdivision plat has been completed and recorded. Similarly, 3535 S State Street has not been legally platted before, and as a result, no building permits may be issued for this property until a subdivision plat has been completed and recorded.

ORDINANCE ANALYSIS:

Ordinance	Finding	Condition of Approval
Title 17 – Land Use and Development		
17.06.300 – Landscaping		
1. Landscaped Areas. Landscaped Areas shall comprise not less than 15 percent of a commercial or professional office site.	The new areas that are being developed (3549-3555 S property) meet the 15% landscaping requirement. The rest of the site will be required to meet the landscape standards in place at that time that they are redeveloped.	The rest of the site shall be required to meet the landscape standards in place at that time that they are redeveloped.
2. Plant Coverage. Live plants, not including tree canopies, shall cover at least 75% of required Landscaped Areas.	The new areas that are being developed (3549-3555 S) meet the 75% live plant material requirement. The rest of the site will be required to meet the landscape standards in place at that time that they are redeveloped.	The rest of the site shall be required to meet the landscape standards in place at that time that they are redeveloped.
3. Water features, landscape boulders, decorative rocks, gravel, and organic mulch are permitted but shall not be considered a substitute for plants.	Not Applicable	

4. If ornamental gravel is utilized, it must be contained within durable borders and arranged in a decorative pattern that incorporates varying sizes, types, or colors of gravel.	Not Applicable	
17.10.140 – Subdivision Development Lot Standards		
1. All Final Plats shall result in the creation of compliant Lots and Building sites.	The proposed new lot will be 7.19 acres. This lot is compliant with the standards of the Commercial Corridor.	
2. Frontage on public street	The exiting dealership fronts State Street. The existing marketing building fronts Winslow Avenue. There is also access to the property from 200 East and Baird Avenue.	
3. Street right-of-way shall be separate and distinct from subdivided lots.	The lot is separate from the Right of Way and all development is to take place within the proposed property lines.	
4. Minimum area and dimensions shall conform.	There is a one-acre minimum in the Commercial Corridor land use district. The proposed lot area is 7.19 acres, which is sufficient to accommodate the proposed development.	
5. Side boundary lines shall be at right angles to the street.	All newly created side boundary lines are at right angles to all adjacent streets.	
6. Side boundary lines of lots shall be radial to center of a Cul-de-Sac	Not Applicable	
7. Corner lots for residential uses shall be platted wider than interior lots	Not Applicable	
8. Lots shall not divide City boundary	All existing and proposed parcels are located within South Salt Lake City.	
9. Double frontage residential lots	Not Applicable	
10. Building envelope separation between Structures	The existing structures will remain as they are. All new development will meet the minimum separation standards.	
11. Side lot lines shall be at right angles to street lines	The newly created side lot lines are at a right angle to street lines.	
12. Dimensions of Corner Lots shall be large enough to allow for erection of Buildings	The final site plan indicates sufficient size to allow for erection of buildings.	
13. Depth and width of properties shall be adequate to provide for off-street parking and loading facilities	The final site plan provides adequate off-street parking. There are 566 stalls provided, which meets the Auto Dealership requirement. The minimum required is 18 stalls.	
14. New Single-Family lots	Not Applicable	
15. If Access from an Arterial or Collector Street is necessary for new adjoining lots, such lots shall be served by separate local street	Not Applicable	

16. Driveways shall be designed and arranged to avoid vehicles backing onto Streets	There is ingress and egress provided from State Street, 200 East, Winslow Avenue, and Baird Avenue.	The western drive approach along Winslow Avenue shall be closed. Once closed, it shall match the existing sidewalk and landscaping.
17. Lots shall be laid out to provide positive drainage away from all buildings.	Per the Engineering review, there is positive drainage away from all buildings.	
17.10.160(A) - Drainage and Storm Sewers General Requirements		
1. Each plat shall make adequate provision for storm or flood water runoff.	Per the Engineering review, there is adequate provision for storm or flood water runoff.	
17.10.160(B) – Nature of Stormwater Facilities		
1. Applicants may be required to carry away by pipe or open channel any spring or surface water that may exist either previously to or as a result of the subdivision.	Not applicable per Engineering review.	
2. Adequate underground stormwater systems shall be constructed and maintained.	Per the Engineering review, there is an adequate underground stormwater system.	
3. Accommodation of Upstream Drainage Areas.	Not applicable	
4. Adequate storm / flood water drainage will be provided to an approved drainage watercourse or facility with capacity.	Per the Engineering review, there is adequate storm or flood water drainage.	
5. Areas of poor drainage shall be remediated as applicable.	Per the Engineering review, there is adequate storm or flood water drainage.	
6. Flood plain areas shall be preserved upon recommendation of City Engineer when necessary for the health, safety, or welfare of the population of the area.	No flood plain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer.	
17.10.170 - Water Facilities		
1. Applicant shall extend public culinary water supply-system for the purpose of providing an adequate water-supply to the Plat	The proposed development connects to an existing water meter. Adequate water supply provisions are proposed per SSL Engineering review.	
2. Applicant shall install adequate water facilities including fire hydrants.	There are three existing hydrants on or near the property. The hydrant locations are included on the ALTA Survey.	
3. Fire flow shall be approved by the Fire Marshal.	A fire flow test was performed and the results were reviewed by the Fire Marshal. The Fire Marshal has reviewed and approved all proposed fire flow rates.	
4. Water main extensions shall meet the City's standards.	Approved, per the SSL Engineering review.	

5. Location of all fire hydrants, all water and storage supply improvements shall be shown.	There are three existing hydrants on or near the property. The hydrant locations are included on the ALTA Survey.	
6. A determination shall be made as to location or extent of facilities to be maintained by South Salt Lake City, if any.	Not applicable. There are no facilities at this location to be maintained by South Salt Lake City.	
7. Fire hydrants required for all plats.	There are three existing hydrants on or near the property. The hydrant locations are included on the ALTA Survey.	
17.10.180 - Sewer Facilities		
1. The applicant shall install sanctuary sewer facilities in a manner prescribed by the applicable sanitary sewer authority.	Per Mt. Olympus Improvement District, there is adequate sewer capacity in this area.	
2. Sanitary sewer facilities shall connect with the public sanitary sewer at sizes required by the sanitary sewer authority	Per Mt. Olympus Improvement District, there is adequate sewer capacity in this area.	
17.10.190 - Utilities		
1. A. Utility facilities shall be located underground in new subdivisions.	All utilities will be undergrounded.	All undergrounding of utilities shall be completed within one-year of receiving final plat approval.
2. Easements centered on Rear Lot Lines shall be provided for private and municipal utilities; such easements shall be at least 10' wide.	The 10' PUE on the plat has been reviewed and approved by the City Engineer.	
17.10.200 - Sidewalks, Trails, and Bike Paths		
1. Subdivision shall comply with the applicable road profile.	There is an 11.5-foot Right of Way dedication along Winslow Avenue. All existing Right of Way improvements along State Street, Winslow Avenue, and Baird Avenue will remain in place.	
2. Trails, pedestrian paths, and bike paths shall relate appropriately to topography.	Public and internal pathways relate appropriately to topography on the site and comply with South Salt Lake code.	
3. Trails, pedestrian paths, and bike paths shall be provided in accordance with the Trails Master Plan.	The Trails Master Plan does not include any facilities adjacent to the subject property.	

STAFF RECOMMENDATION:

Staff recommends the Planning Commission approve the preliminary subdivision plat to consolidate three parcels into one-lot, located at 3535 South State Street, based upon the information submitted by the applicant, the general plan considerations and ordinance analysis and proposes the following Findings of Fact, Conclusions of Law and Conditions of Approval.

Findings of Fact:

1. On June 25, 2021, Katmark Partners, LLC, submitted a plat application to consolidate three parcels, in order to expand the existing Auto Dealership on site.
2. The subject parcels are located at 3535 South State Street, 130 East Winslow Avenue, and 3549-3555 South 200 East.
3. All three parcels are located in the Commercial Corridor land use district.
4. The proposed consolidation plat will consolidate three parcels into a 7.19-acre lot.
5. The business will have access from State Street, Winslow Avenue, Baird Avenue, and 200 East.

Conclusions of Law:

1. The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The use, as specifically conditioned below, is compatible in use, scale, and design with allowed uses in the Commercial Corridor land use district.
3. The subdivision as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.
4. The subdivision, as specifically conditioned below does not impose disproportionate burdens on the citizens of the city.
5. Staff has reviewed this subdivision for compliance with SSL Municipal Code Section "17.10.140 Subdivision Development Lot Standards" and found that this subdivision is compliant with this section, as outlined above.
6. Staff has reviewed this subdivision for compliance with SSL Municipal Code Section "17.10.150 Subdivision and Condominium Plat Layout Requirements" and found that this subdivision is compliant with this section, as outlined above.
7. Staff has reviewed this subdivision for compliance with SSL Municipal Code Sections 17.10.160, 17.10.170, 17.10.180, 17.10.190, 17.10.200, and 17.10.210, and found that this subdivision is compliant with those sections, as outlined above.

Conditions of Approval:

1. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;
2. Prior to plat recordation and issuance of full building permits for the subsequent lot, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The applicant shall complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all required landscaping and public infrastructure improvements

including street lights, and closing the western most curb cut along Winslow Avenue within one year of receiving final plat approval;

4. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;
5. The applicant shall dedicate an easement to the City of South Salt Lake for purposes of storm water management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;
6. The proposed development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering department;
7. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit;
8. The applicant shall record the plat with the Salt Lake County Recorder's Office within 365 days of receiving final plat approval; or the approval will expire. However, if the applicant elects to install Infrastructure Improvements has deposited a 10% Warranty Assurance, and is actively working on the issued building permit, the plat approval will not expire until two years after final plat approval;
9. The western drive approach along Winslow Avenue shall be closed. Once closed, it shall match the existing sidewalk and landscaping;
10. All undergrounding of utilities shall be completed within 365 days of receiving final plat approval; and
11. All items of the staff report.

PLANNING COMMISSION OPTIONS:

Option 1: Approval

Move to approve an application by Katmark Partners, LLC to consolidate three parcels into one lot located at 3535 South State Street, 130 East Winslow Avenue, and 3549-3555 South 200 East, based on the Findings of Fact, Conclusions of Law, and Conditions of Approval as outlined in the staff report and enumerated on the record.

Option 2: Denial

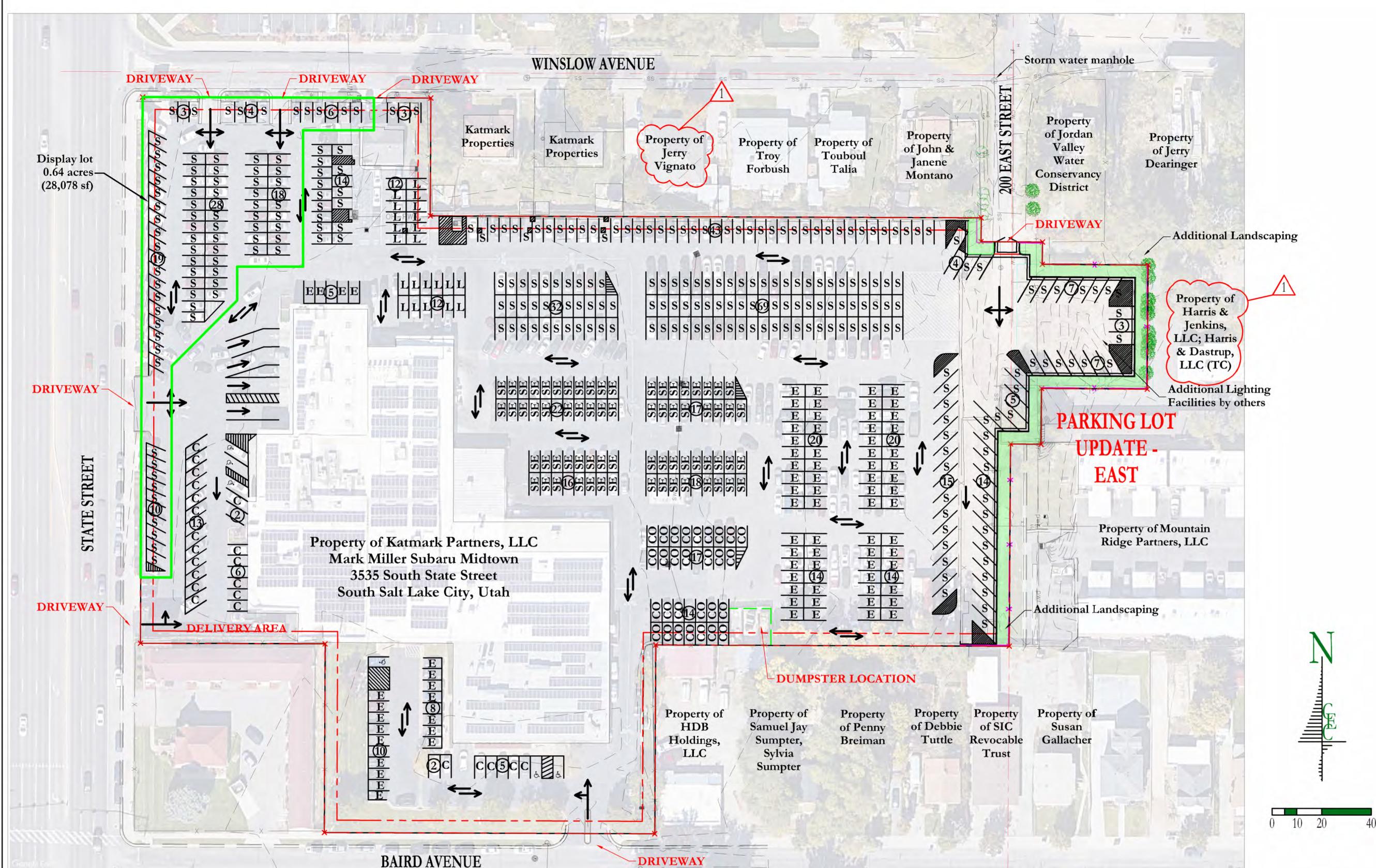
Move to deny the application by Katmark Partners, LLC to consolidate three parcels into one lot located at 3535 South State Street, 130 East Winslow Avenue, and 3549-3555 South 200 East, based on the findings discussed on the record.

Option 3: Continuance

Move to table the decision on the application by Katmark Partners, LLC to consolidate three parcels into one lot located at 3535 South State Street, 130 East Winslow Avenue, and 3549-3555 South 200 East, to a date certain to allow the Applicant and Staff time to respond to specific inquires or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

Attachments:

1. Proposed Site Plan
2. Civil Plan Set
3. ALTA Survey



C	Customer	Parking Stalls	28	L	Loaner	Parking Stalls	24
CO	Collision	Parking Stalls	31	S	Sales	Parking Stalls	304
E	Employee	Parking Stalls	91	SE	Service	Que	Parking Stalls
&	Handicap	Parking Stalls	6				73

PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENT
3535 SOUTH STATE STREET
SOUTH SALT LAKE, UTAH

TITLE: PARKING & VEHICLE CIRCULATION

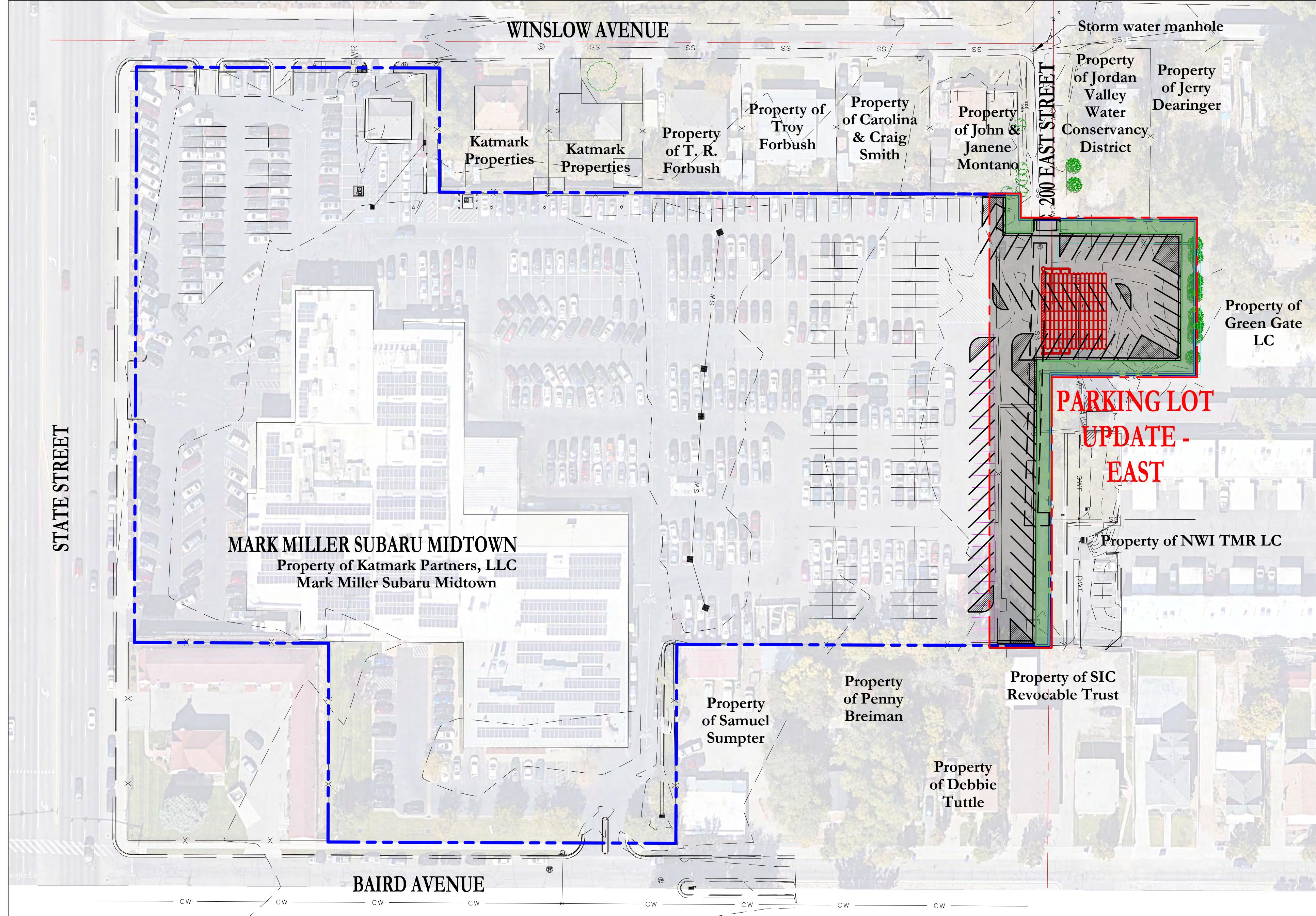
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ARCHSTONE GROUP
PROJECT NUMBER:

PROJECT NUMBER:
ARCH19002

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SHEET: 1 of 1

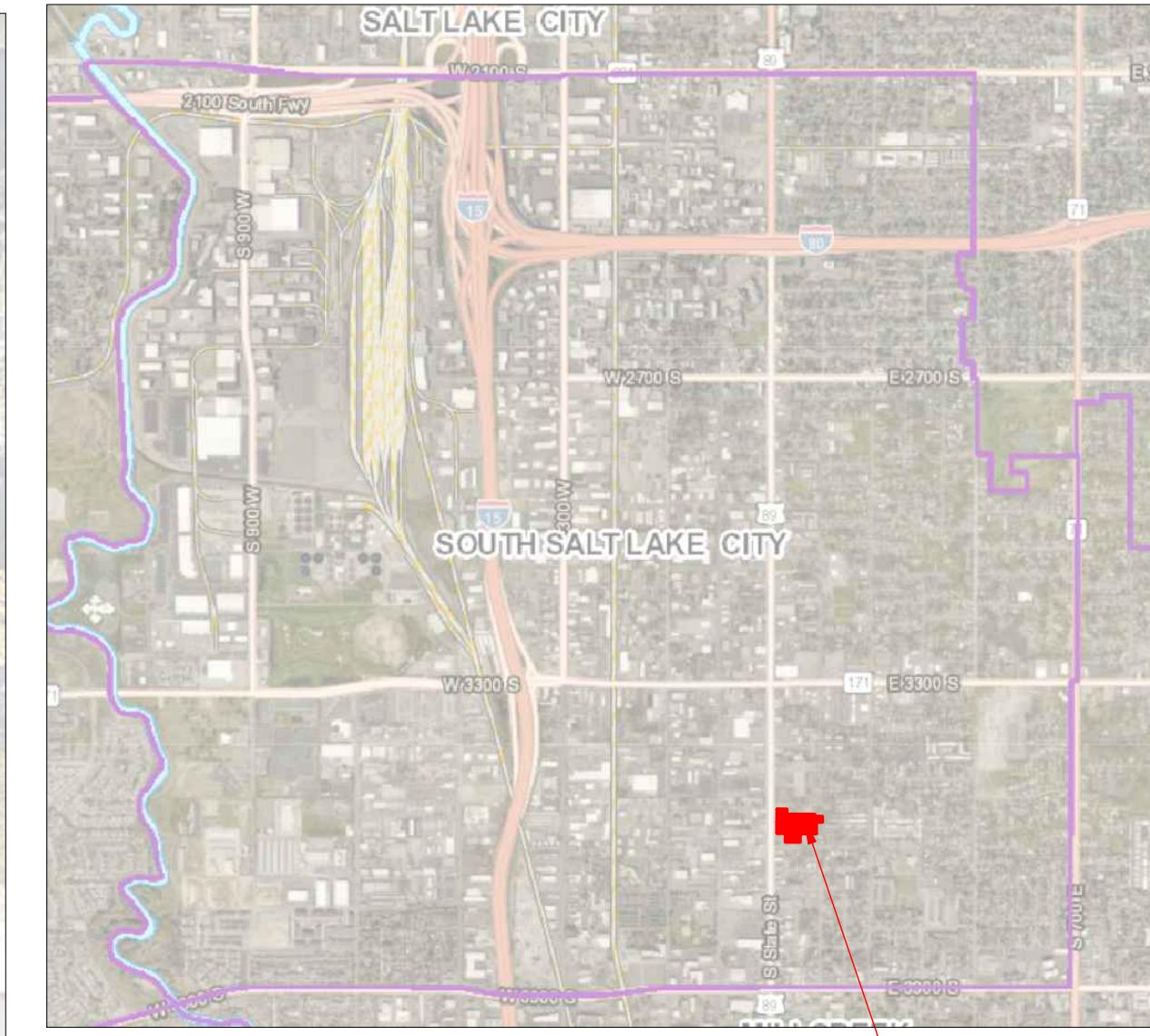
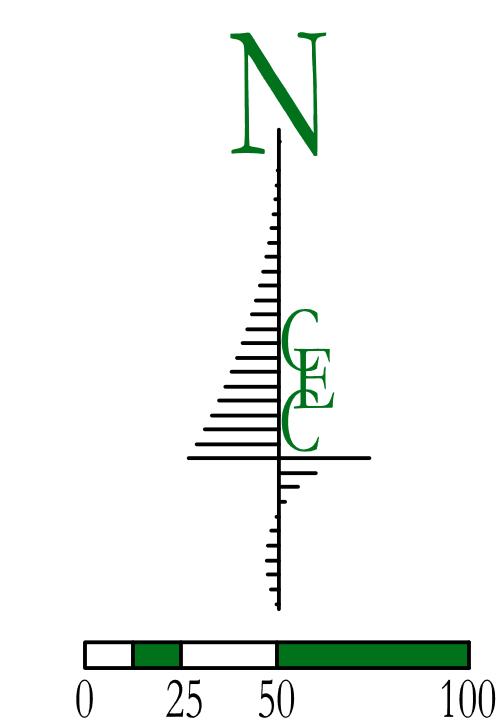
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LEGEND AND SYMBOLS

Centerline of road	Culinary water manhole & pipe	Fire hydrant
Contour line	FO	FO
1234	Gas manhole & line	Gas
Curb & gutter	Irrigation manhole and pipe	IRR
Easement line	Land drain manhole & pipe	LD
Fence	Power pole and line	P
Lot line	Sanitary sewer manhole & pipe	ss
Phase/boundary line	Storm water manhole & pipe	SW
Right of way line	Telephone pedestal & line	TELE
Section corner & line		

*Note: All existing features will be in a shaded line



VICINITY MAP

Project location

SHEET INDEX

NO.	DATE	BY	REVISIONS
1 OF 6	COVER		
2 OF 6	NOTES		
3 OF 6	EAST PARKING LOT - SITE PLAN		
4 OF 6	EAST PARKING LOT - GRADING PLAN		
5 OF 6	DETAILS		
6 OF 6	DETAILS		

PROJECT / LOCATION: KATMARK SUBDIVISION
IMPROVEMENTS
SOUTH SALT LAKE, UTAH

TITLE: COVER

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg

SHEET: 1 of 6



STORM WATER POLLUTION PREVENTION PLAN SHEET INDEX

SWPPP 1	SWPPP NOTES & DETAILS
SWPPP 2	EAST PARKING LOT - SWPPP
SWPPP 3	SWPPP DETAILS

EROSION CONTROL NOTES

- During construction, the contractor shall be responsible for preventing and controlling soil erosion due to wind and water runoff. The contractor shall be sole responsible for constructing and maintaining the erosion control facilities. All surrounding streets shall be kept clean of debris from traffic from the project site.
- The contractor shall comply with the requirements of the "best management practices" for storm water protection. This requirement may include protecting all inlet boxes, catch basins, drainage ditches, etc. during construction. The contractor shall protect all surrounding properties and streets from site runoff as required. Approved storm water protection methods and drainage provisions must be used to protect adjoining properties during construction.
- The contractor shall use vehicle tracking control best management practices at all locations where vehicles will enter or exit the site. Control facilities must be maintained while construction work is in progress, adjusted when necessary, and removed from the site when the project is completed.
- The contractor shall install storm water inlet protection devices immediately upon all individual storm water inlets becoming functional.
- All wash water from construction vehicles (concrete trucks, vehicle cleaning, etc.) shall be disposed in a manner that prevents contact with natural storm water discharges from the site.
- All construction materials spilled, dropped, washed or tracked from vehicles onto City roadways or into storm drainage facilities must be removed immediately.
- No rubbish, trash, garbage or other such materials shall be discharged into drainage ditches or storm water runoff channels.
- The contractor shall adhere to all conditions of the "Utah State Storm Water Pollution and Prevention Plan" adopted for this project. The contractor shall be responsible for adjusting the erosion control measures (silt fences, straw bales, etc.) due to grade changes or other unforeseen conditions during development of the project.

**GENERAL CONSTRUCTION NOTES**

- The utilities shown on the drawings are for informational purposes only. The contractor shall locate all underground utilities, contact blue stakes and other applicable utilities prior to laying pipe within 200 feet of said utilities which may be exposed, damaged or crossed as shown on the drawings or as "blue staked". The contractor shall coordinate with the utility company to move the utility if necessary. The contractor shall not modify grade of project lines in order to go over and around existing utilities. The contractor shall pothole for the location of utilities prior to excavation.
- The contractor shall review and verify all dimensions shown on the drawings.
- The contractor shall be responsible to provide appropriate signing and barricading. All flagging, signage and barricades and all traffic control required shall be in compliance with the current "manual on uniform traffic control devices".
- All public and private roadways must be cleaned daily, or as often as required, of all loose dirt, mud, gravel and all debris as a result of the construction work. This requirement shall apply continuously throughout the duration of the project and shall not be limited to normal construction working hours.
- All dust on project site shall be controlled by sweeping and watering the construction area.
- The contractor shall be completely responsible for the job site conditions during the course of construction, including safety of all persons and adjoining property. This requirement shall apply continuously throughout the duration of the project and not be limited to normal construction working hours.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify project engineer of any discrepancies or conflicts prior to any connections being made.
- The contractor shall be responsible for meeting all of the requirements established for safe trenching. (See OSHA and UOSHA requirements, latest editions).
- Specific information provided in the contract documents shall supersede items covered in these drawings.
- The contractor shall contact and coordinate all utility connections with the utility owner.
- All construction to comply with specifications contained herein and with South Salt Lake City standards and specifications.
- Follow all recommendations of the approved geotechnical report. South Salt Lake City Standard Specifications and Details shall govern, however, unless geotechnical report recommendations are more stringent.
- All public improvements, which are to be owned and maintained by South Salt Lake City, shall be constructed according to the South Salt Lake City Standard Specifications and Details for Municipal Construction (latest edition).

CAUTION NOTICE TO CONTRACTOR

The contractor is herewith instructed that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information shown is not to be relied on as being exact or complete. The contractor is required to call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It is the sole responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the drawings.

The contractor shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property. This requirement shall apply continuously and not be limited to the normal working hours; and the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from sole negligence of the owner or the engineer.

ABBREVIATIONS USED IN DRAWINGS

adj	adjust	dwg	drawing	hp	high point	pr	proposed	tbc	top back of curb
arv	air release valve	elec	electrical	in	inch	prc	point of reverse curve	tele	telephone
bw	back of walk	eg	existing grade	inv	invert	prv	pressure reducing valve	toa	top of asphalt
bvce	beginning vertical curve elev.	elev	elevation	irr	irrigation	pt	point of tangency	toe	toe of slope
bvcs	beginning vertical curve station	eoc	edge of concrete	lf	linear foot	pue	public utility easement	top	top of slope
bw	both ways	ep	edge of pavement	lip	lip of curb	pvc	polyvinyl chloride pipe	tow	top of wall
cb	catch basin	evce	end vertical curve elev.	lt	left	r	radius	tow	top of walk
chord	chord bearing	evcs	end vertical curve station	max	maximum	rc	rebar & cap	typ	typical
cl	centerline	ew	each way	mh	manhole	row	right of way	w	water
cmp	corrugated metal pipe	exist	existing	min	minimum	rt	right	wm	water meter
co	clean out	ff	finished floor elevation	mon	monument	sd	storm drain	wmh	water manhole
conc	concrete	fg	finished grade	nts	not to scale	sec cor	section corner	wv	water valve
conc	concrete	fh	fire hydrant	oc	on center	ser	south end radius		
cw	culinary water	fl	flow line	ohp	over head power	ss	sanitary sewer		
da	delta angle	fo	fiber optic	pc	point of curvature	ssmh	sanitary sewer manhole		
det	detail	ft	foot	pi	point of intersection	sta	station		
dia	diameter	gb	grade break	pl	property line	std	standard		
dip	ductile iron pipe	hdpe	high density poly ethylene	pp	power pole	sw	secondary water		

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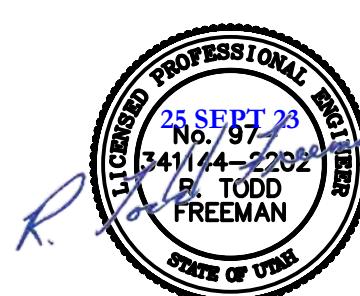
CIVIL ENGINEERING
CONSULTANTS, PLLC.
5141 SOUTH 1500 WEST
RIVERDALE, UT 84405
801.866.0550

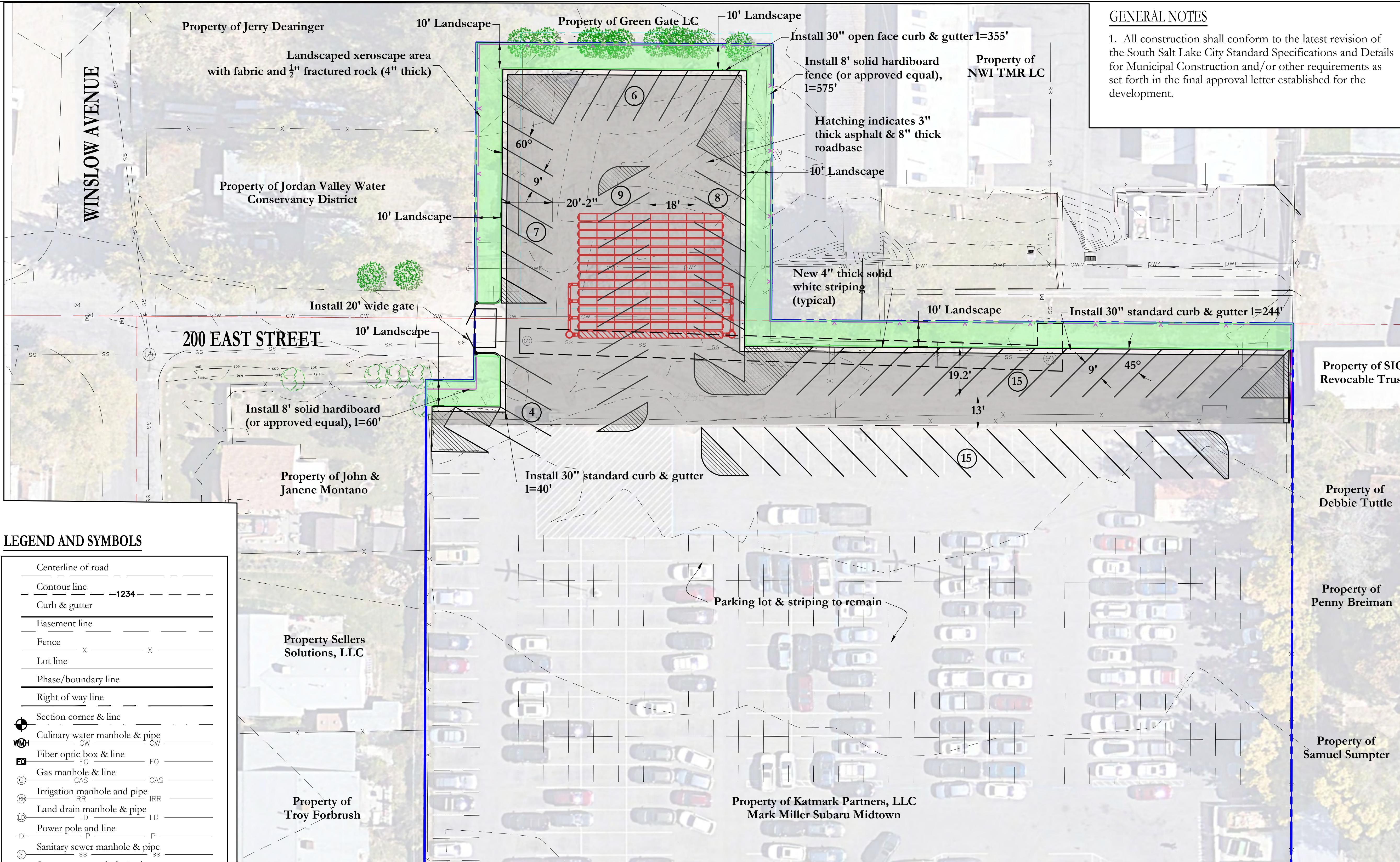
NO.	DATE	BY	REVISIONS

DATE: SEPTEMBER 2023
DRAWN: JEO
CHECKED: RTF

PROJECT / LOCATION: KATMARK SUBDIVISION
IMPROVEMENTS
SOUTH SALT LAKE, UTAH
TITLE:

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg
SHEET: 2 of 6





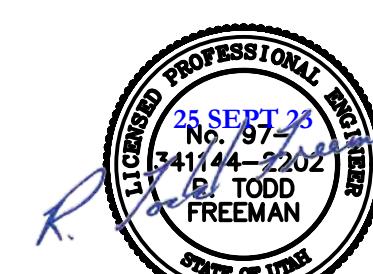
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CONSULTANTS, PLLC.
5141 SOUTH 1500 WEST
RIVERDALE, UT 84405
801.866.0550

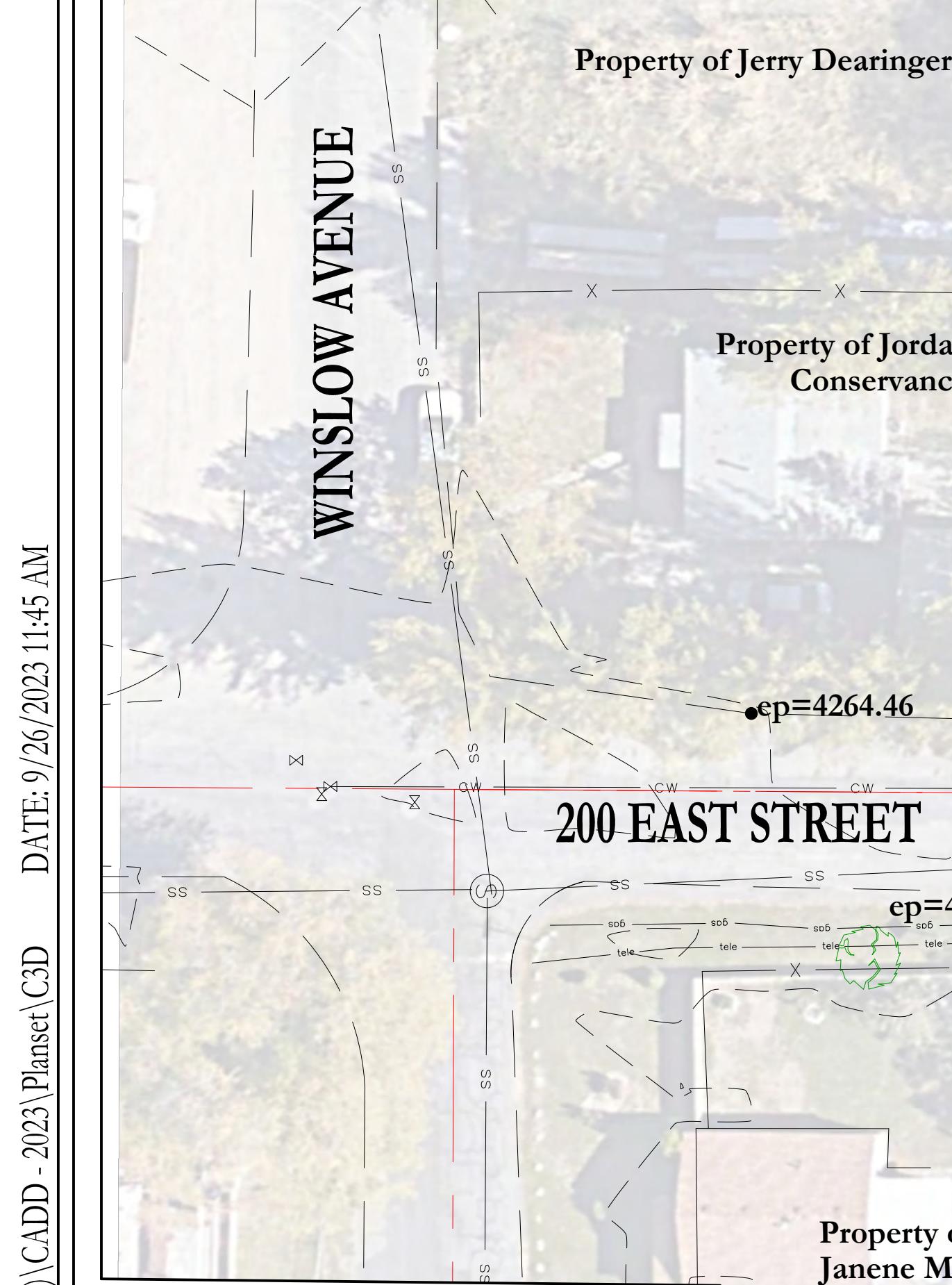
NO.	DATE	BY	REVISIONS

DATE: SEPTEMBER 2023
DRAWN: JEO
CHECKED: RTF

PROJECT / LOCATION: KATMARK SUBDIVISION
IMPROVEMENTS
SOUTH SALT LAKE, UTAH
TITLE: EAST PARKING LOT - SITE PLAN

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg
SHEET: 3 of 6





LEGEND AND SYMBOLS

Centerline of road	—
Contour line	— 1234 —
Curb & gutter	— — — —
Easement line	— — — —
Fence	X — — — — X
Lot line	— — — —
Phase/boundary line	— — — —
Right of way line	— — — —
Section corner & line	● — — — —
Culinary water manhole & pipe	● CW — — — —
Fiber optic box & line	● FO — — — —
Gas manhole & line	● GAS — — — —
Irrigation manhole and pipe	● IRR — — — —
Land drain manhole & pipe	● LD — — — —
Power pole and line	● P — — — —
Sanitary sewer manhole & pipe	● SS — — — —
Storm water manhole & pipe	● SW — — — —
Telephone pedestal & line	● TELE — — — —
Fire hydrant	●
Storm water catch basin	■
Street sign	— — — —
Street light	●
Water meter	●
Water valve	●
*Note: All existing features will be in a shaded line	
Install 3" thick asphalt & 8" thick roadbase	■

LEGEND

Install 3" thick asphalt &
8" thick roadbase

0 10 20 40

GENERAL NOTES

1. All construction shall conform to the latest revision of the South Salt Lake City Standard Specifications and Details for Municipal Construction and/or other requirements as set forth in the final approval letter established for the development.



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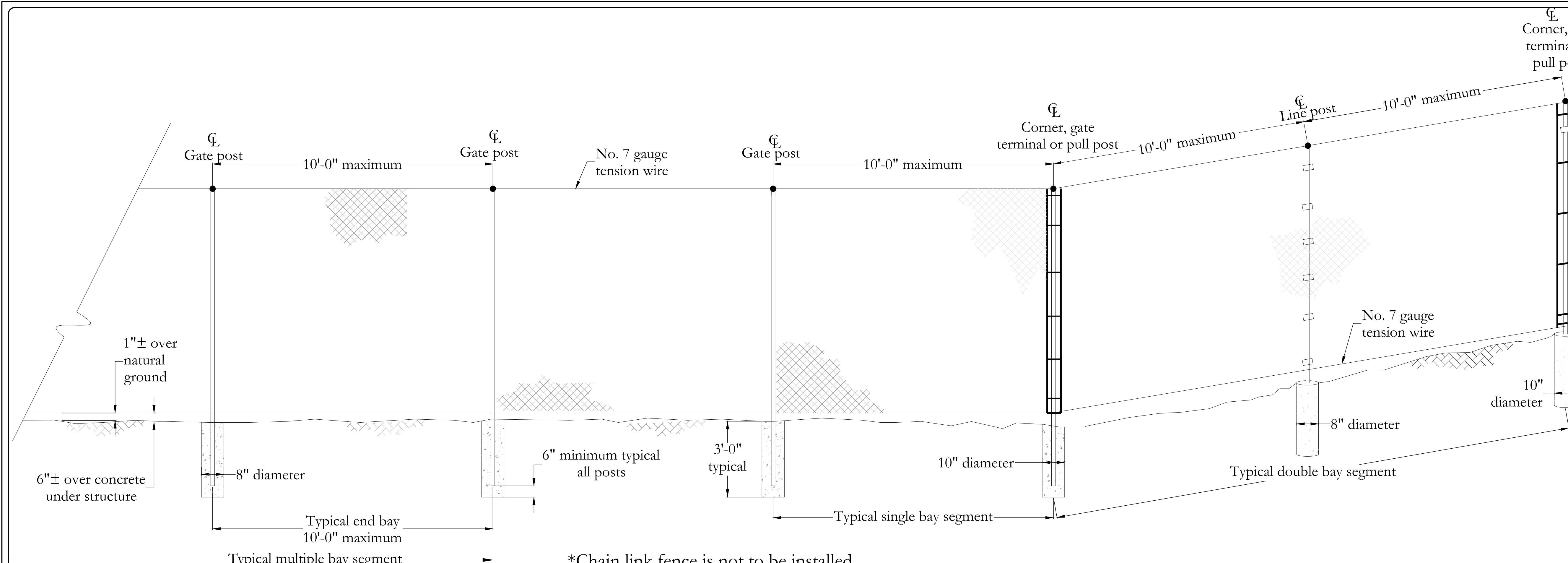
NO.	DATE	BY	REVISIONS

DATE: SEPTEMBER 2023
DRAWN: JEO
CHECKED: RTF

PROJECT / LOCATION: KATMARK SUBDIVISION
IMPROVEMENTS
SOUTH SALT LAKE, UTAH
TITLE: EAST PARKING LOT - GRADING PLAN



CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg
SHEET: 4 of 6



*Chain link fence is not to be installed.
This detail is for repair purposes only.

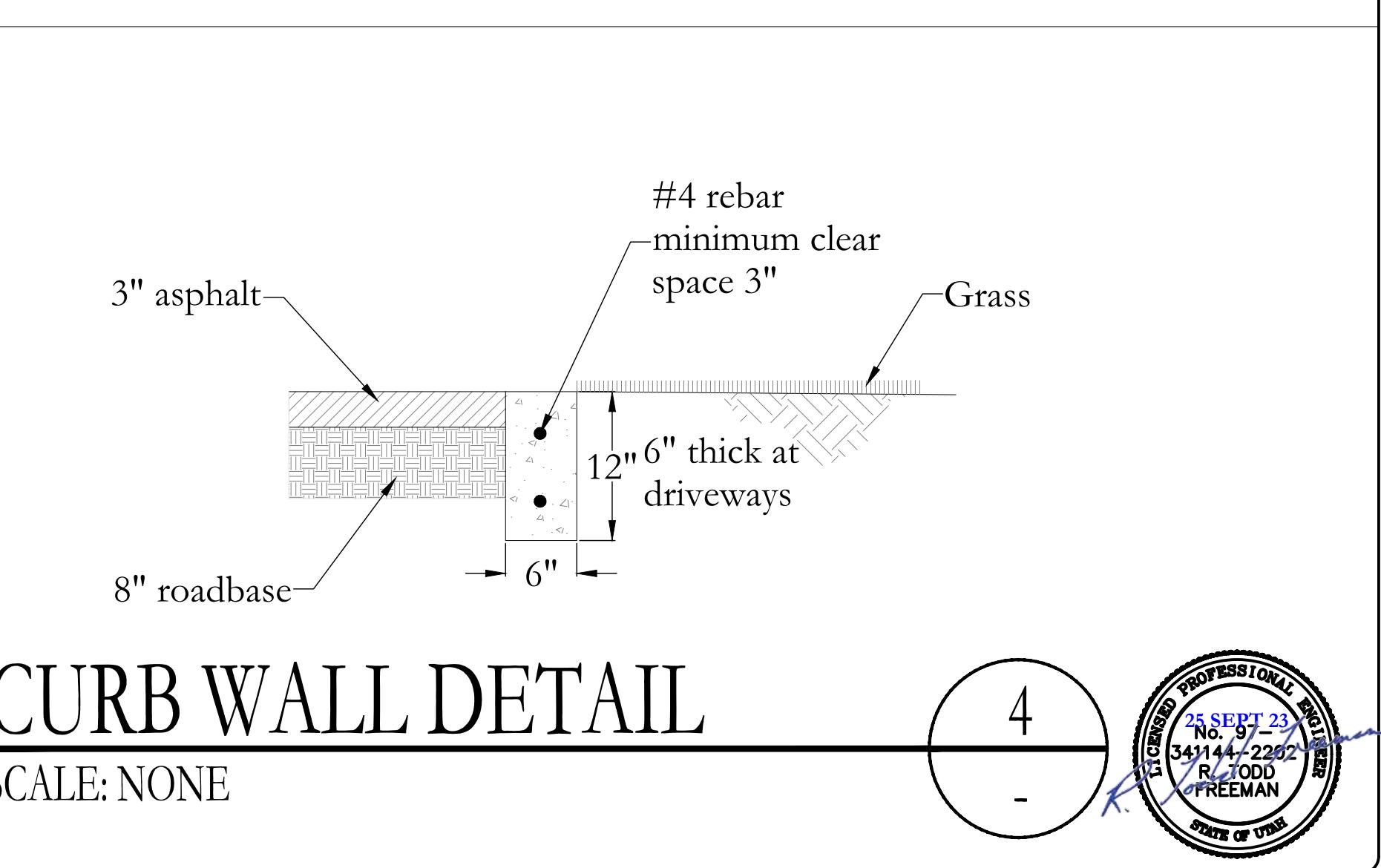
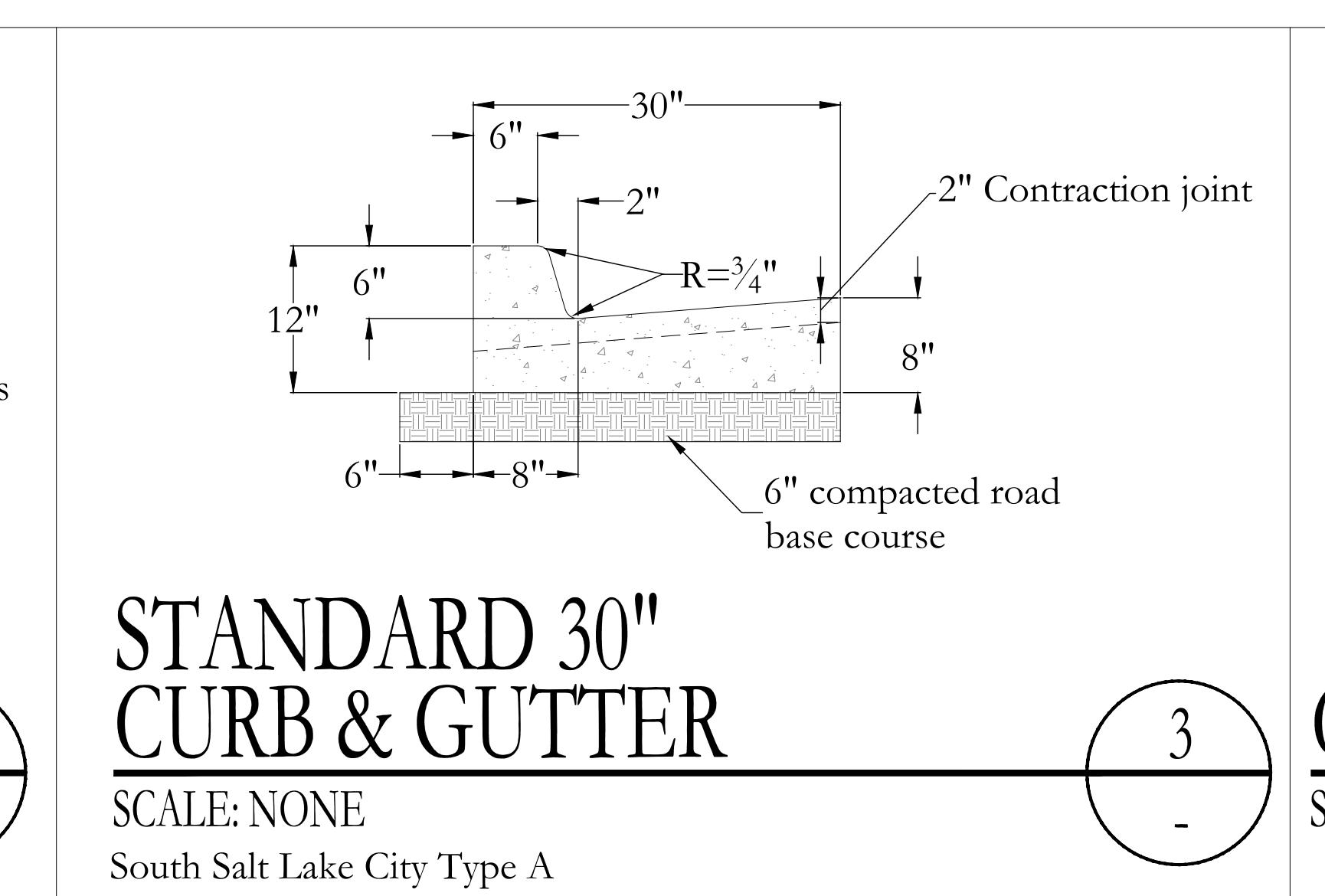
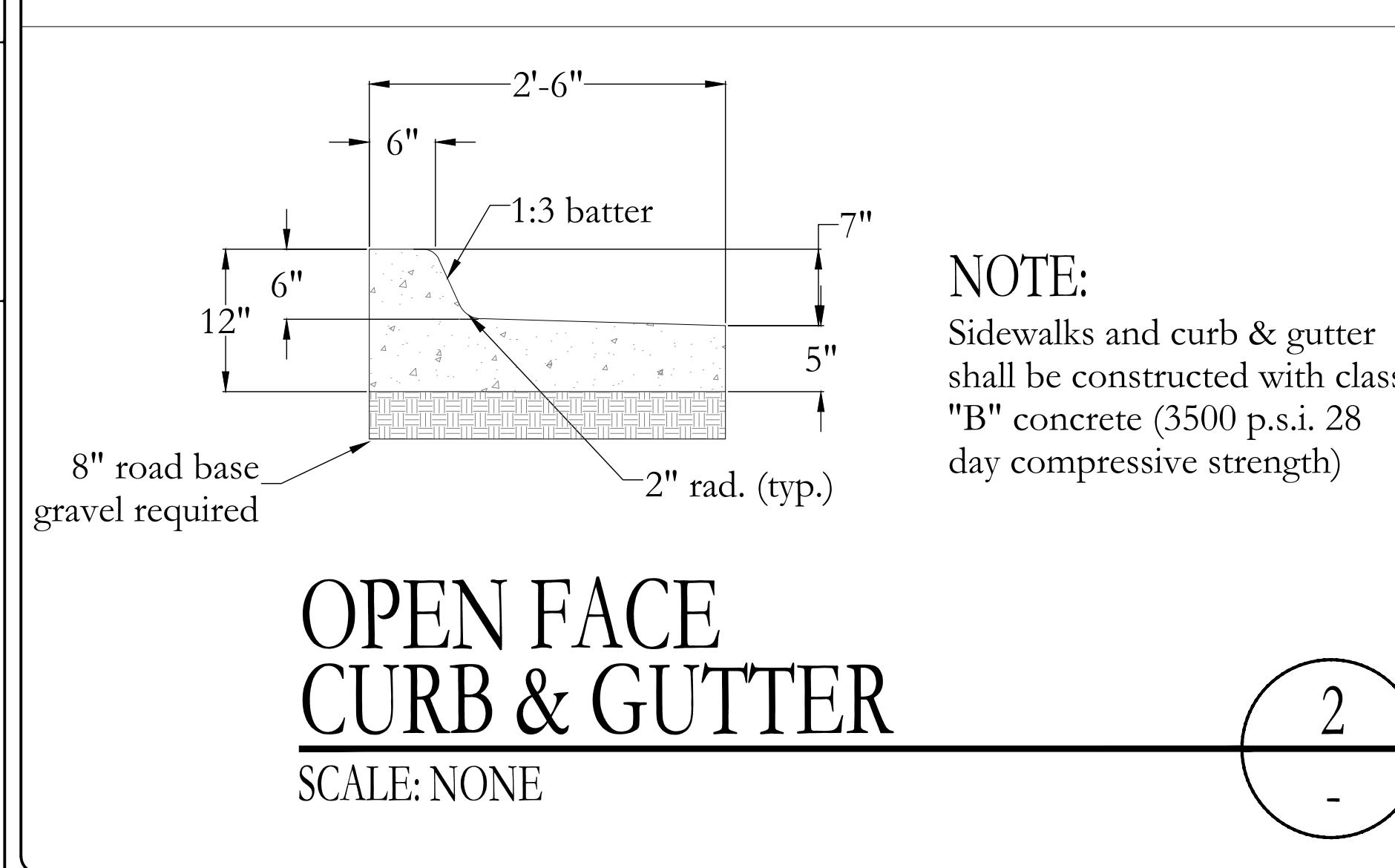
NOTES.

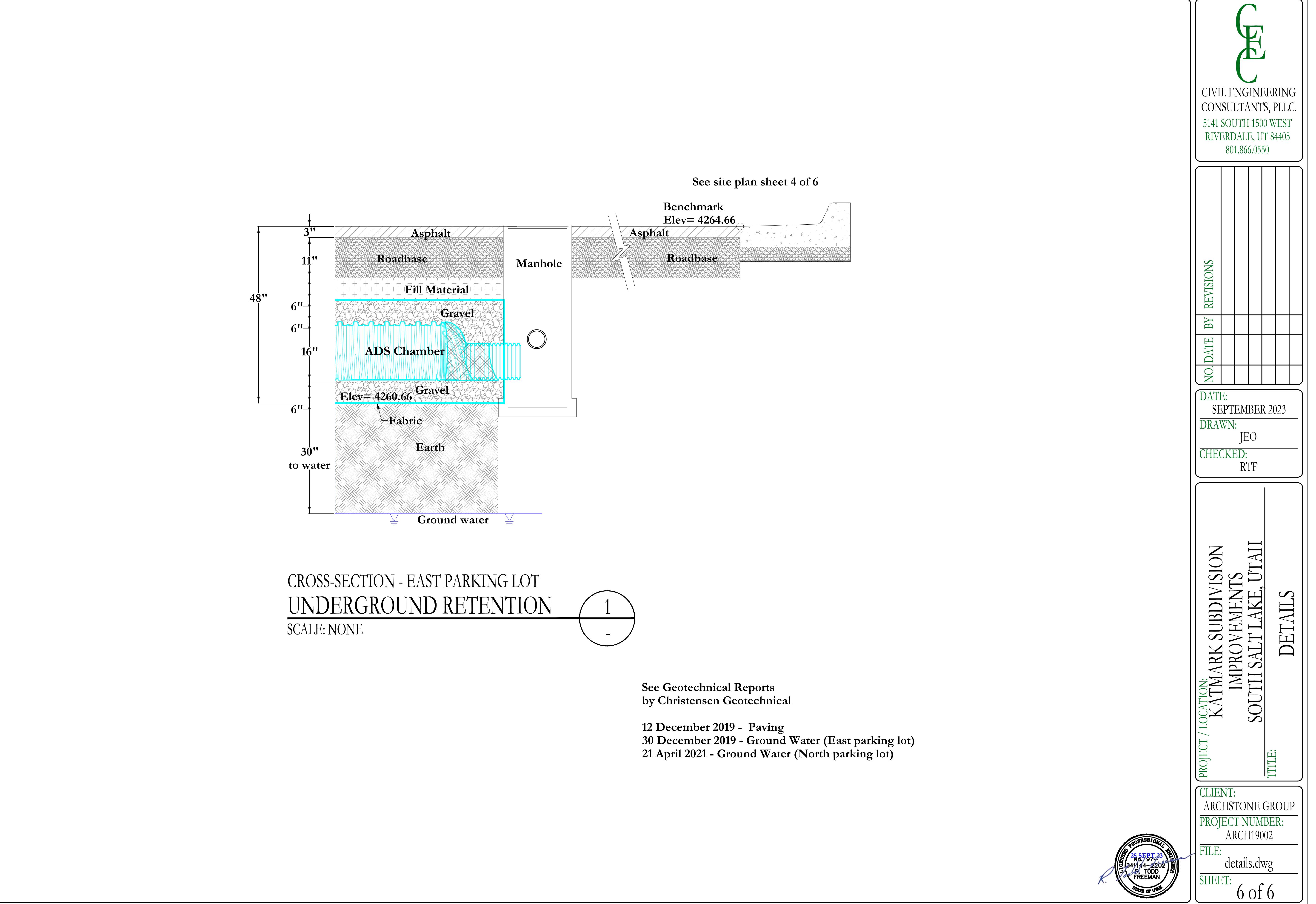
1. All fabric shall be 6' high chain link of 2" galvanized mesh of 9 gauge.
2. All steel pipe members shall conform to the requirements of astm designation a-120, schedule 40, hot dipped zinc coated steel pipe.
3. All posts shall be set in concrete and shall be topped with ball type or other approved ornament.
4. All end, corner or pull posts shall be 9 feet in length with a minimum diameter of 2-3/8 inches: all line posts shall be 8 feet 8 inches in length with a minimum diameter of 1-7/8 inches.



SCALE: NONE

—





STORM WATER POLLUTION PREVENTION PLAN

KATMARK SUBDIVISION

SCOPE OF PROJECT

Regrading, removal, clearing and grubbing site. Install ADS underground storm water systems at two locations (see drawings). Install new parking lots with asphalt, roadbase and curb & gutter and storm water inlet boxes.

SITE DETAILS

1. The Construction site is located within the boundaries of South Salt Lake City, Davis County. Estimated area that will be developed is 0.6 acres - East parking lot, 0.5 acres - North parking lot.
2. The Coefficient of Run-off following construction will be changed to reflect medium density for residential development. Upon project completion, a storm water detention basin will be fully operational and miscellaneous storm water facilities completed.

Pre-development (medium vegetation): **C=0.35**

Residential development (home & landscaping): **C=0.55**

3. The collection and detention of storm water will follow the South Salt Lake City approved design drawings.
4. The drainage pattern on the existing site will be altered to direct the storm water to be collected in 2 proposed ADS underground storm water systems.

CLEARING AND GRUBBING

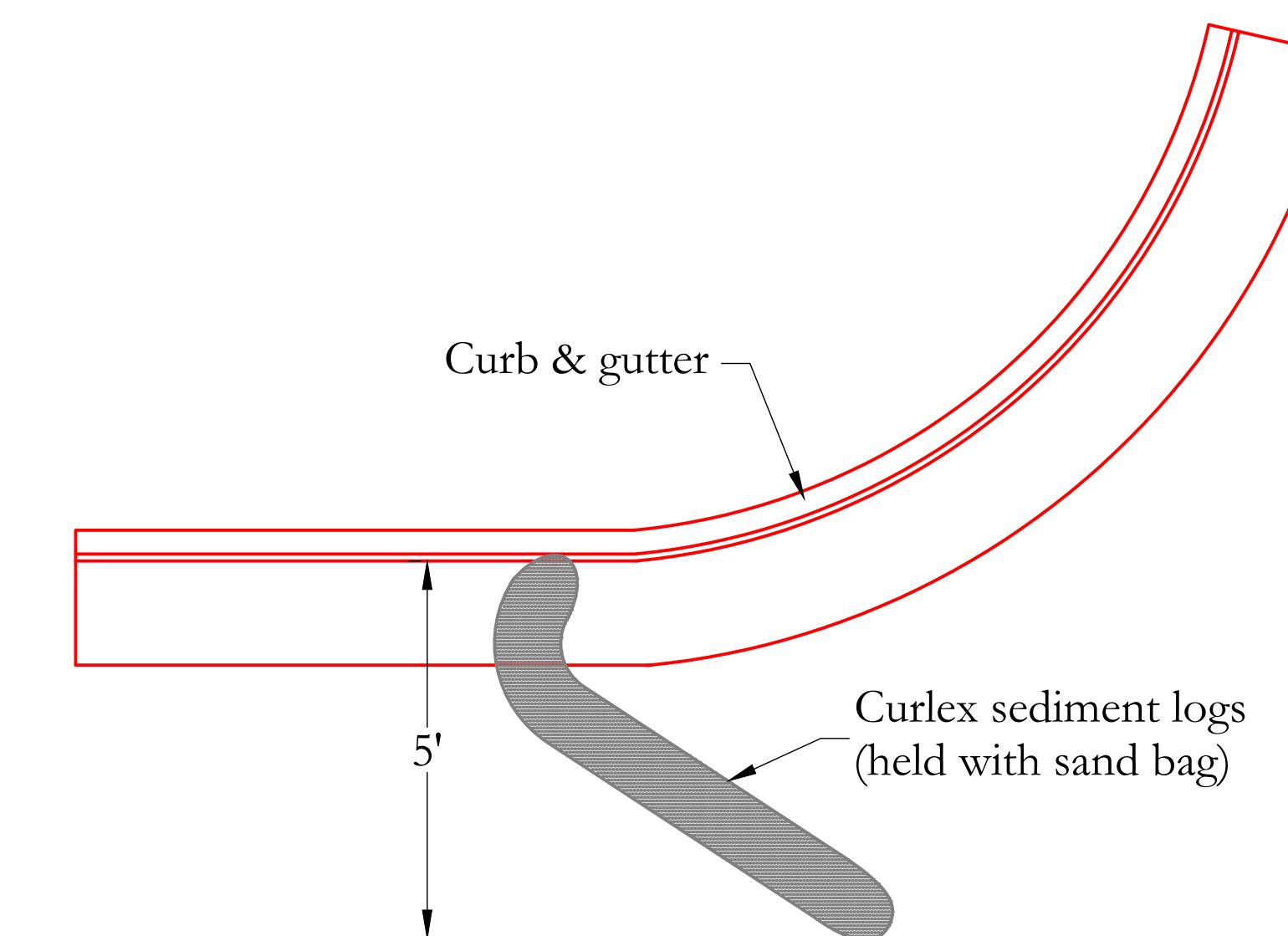
1. During the clearing and grubbing construction work, additional efforts will be extended to protect any debris from entering the South Salt Lake City Storm Water facilities.
2. These environmental controls will be monitored a minimum of every 14 days or after a 1/2" inch or more of rain fall. Sediment will be removed from these sediment traps when their capacity has been reduced by 50%.
3. Entrance to the site or exit from the site, a "Stabilized Construction Entrance" will be installed for vehicle cleaning.
4. Contractor shall monitor and remove from the site all loose construction waste, debris, and litter on a weekly basis and prevented from entering into the South Salt Lake City Storm Water facilities.

MISCELLANEOUS NOTES

1. The construction wash out area is to be used for on-site construction activities only.
2. The contractor shall furnish portable restroom facilities and locate in a secure area.
3. The contractor shall establish a monitoring process to document the management of all Best Management Practices established on site. The monitoring process shall be noted, documented and maintained on a weekly basis.

LANDSCAPING NOTE

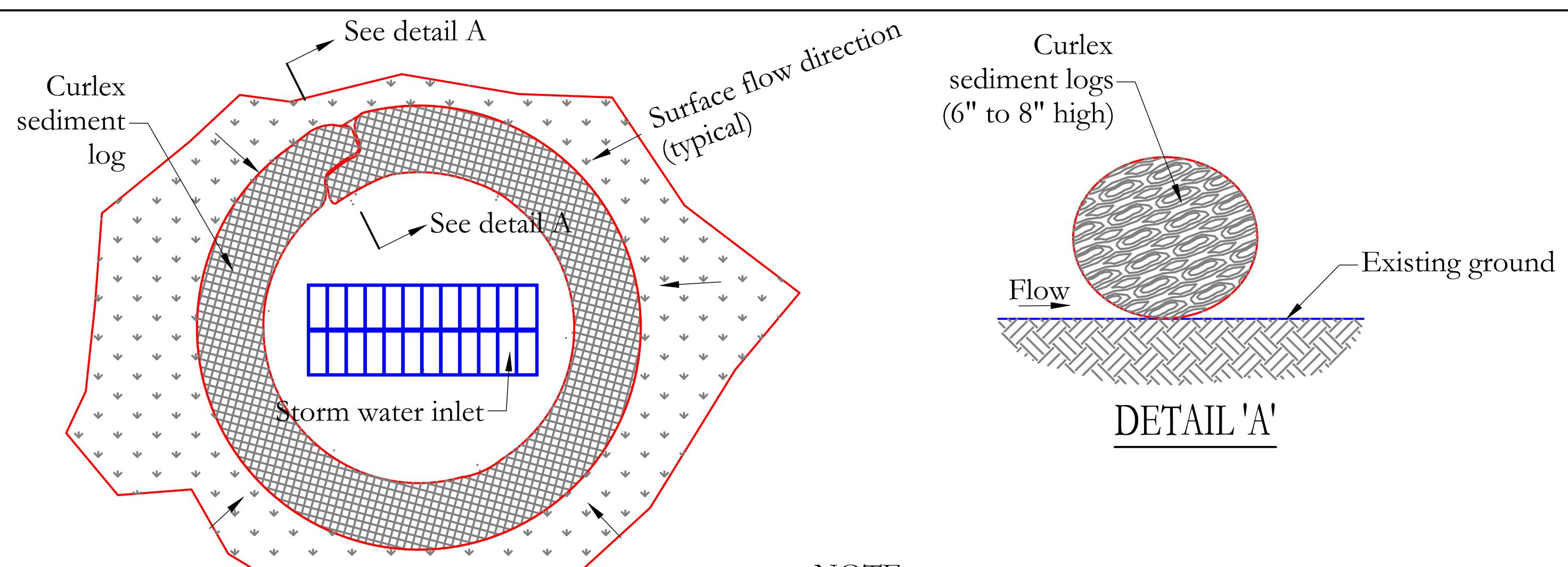
1. During the landscaping work the contractor will monitor the "Sediment Logs", "Silt Fencing" and the "Stabilized Construction Entrance". Sediment will be removed from these sediment traps when their capacity has been reduced by 50%.
2. The "Stabilized Construction Entrance" and "Silt fencing" will be removed immediately prior to the landscaping work. The "Sediment Logs" will be relocated as required to allow proper construction to take place. Following the placement of sod and sweeping of roadways "Sediment Logs" will be removed.



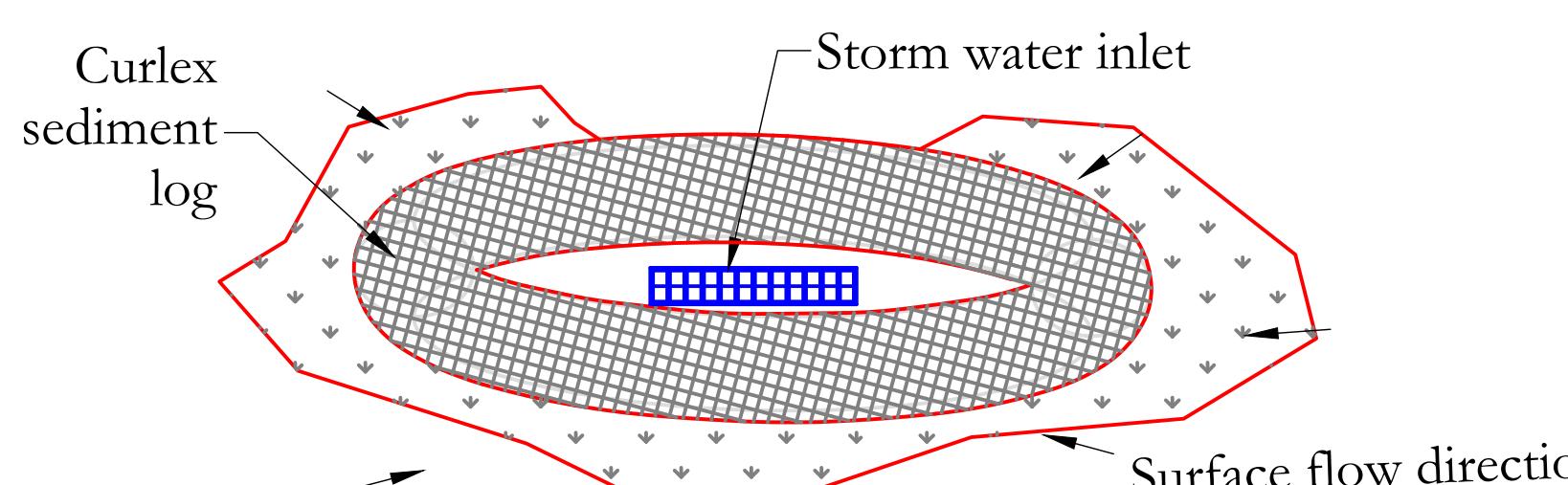
CURLEX SEDIMENT LOG PROTECTION

SCALE: NONE

1
-



PLAN VIEW



CURLEX SEDIMENT LOG INLET PROTECTION

SCALE: NONE

2
-

NOTE:
The Contractor shall set a barricade over the catch basin to protect the curlex sediment logs.

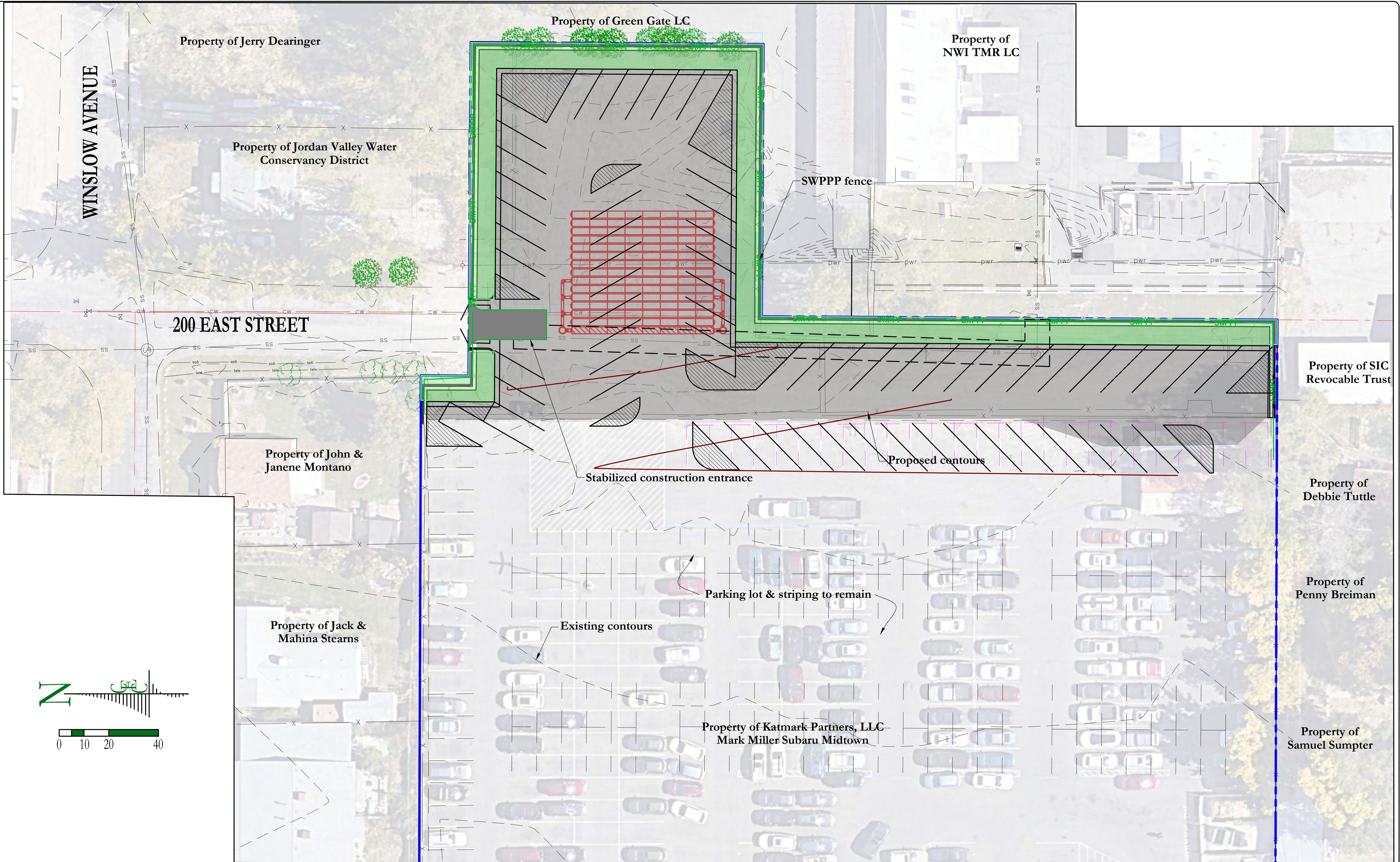
PROJECT / LOCATION: KATMARK SUBDIVISION
IMPROVEMENTS
SOUTH SALT LAKE, UTAH
TITLE: SWPPP - NOTES & DETAILS

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: swppp.dwg
SHEET: SWPPP 1

DATE: SEPTEMBER 2023
DRAWN: JEO
CHECKED:

CEC

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RIVERDALE, UT 84405
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PROJECT / LOCATION:

KATMARK SUBDIVISION
IMPROVEMENTS
SOUTH SALT LAKE, UTAH

TITLE:

EAST PARKING LOT - SWPPP

CLIENT:
ARCHSTONE GROUPPROJECT NUMBER:
ARCH19002FILE:
swppp.dwgSHEET:
SWPPP 2

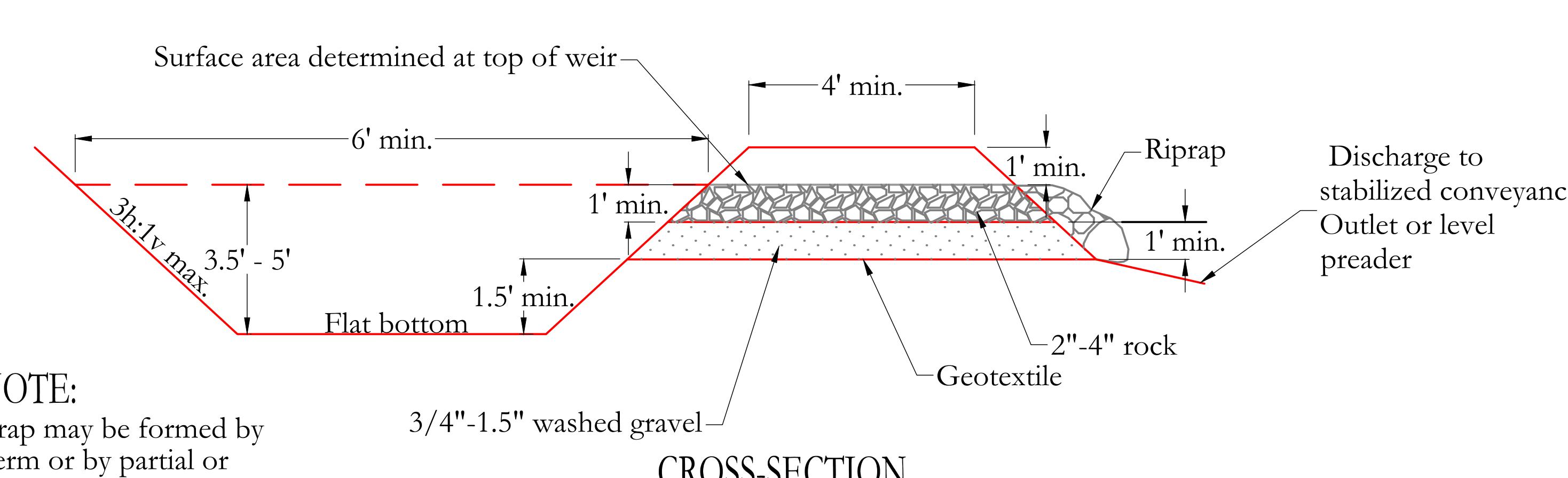
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NO. DATE BY REVISIONS

DATE: SEPTEMBER 2023

DRAWN: JEO

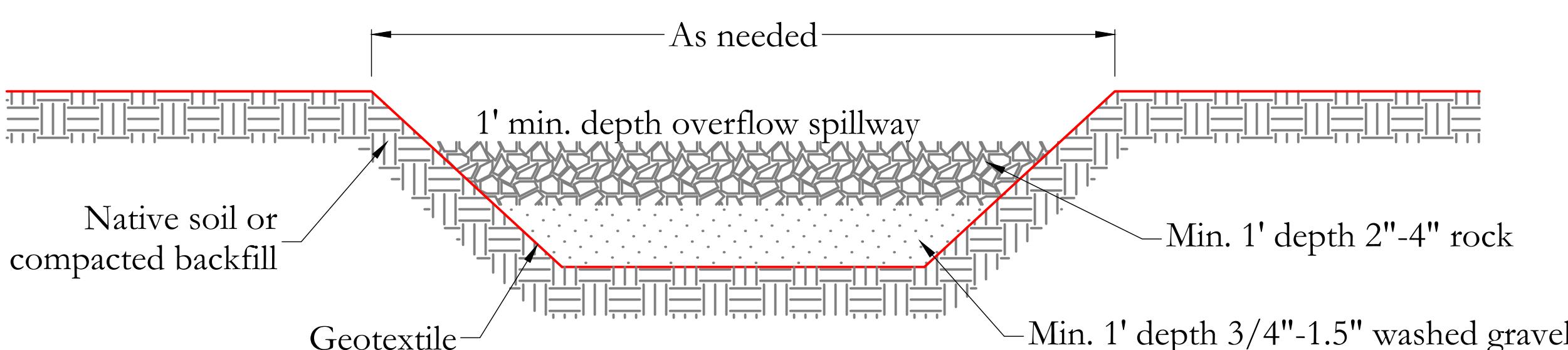
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NOTE:

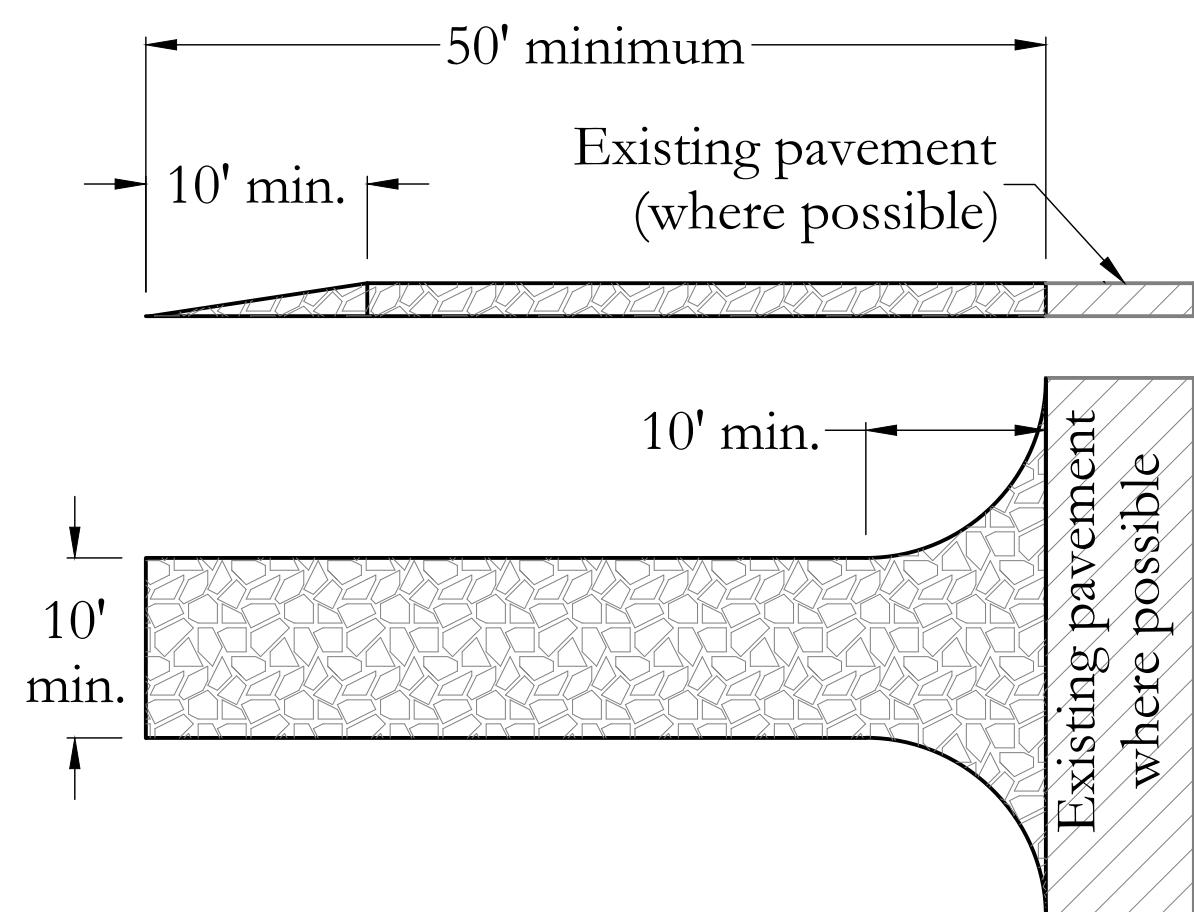
Trap may be formed by berm or by partial or complete excavation.

CROSS-SECTION



SILT TRAP BASIN

SCALE: NONE

1
-

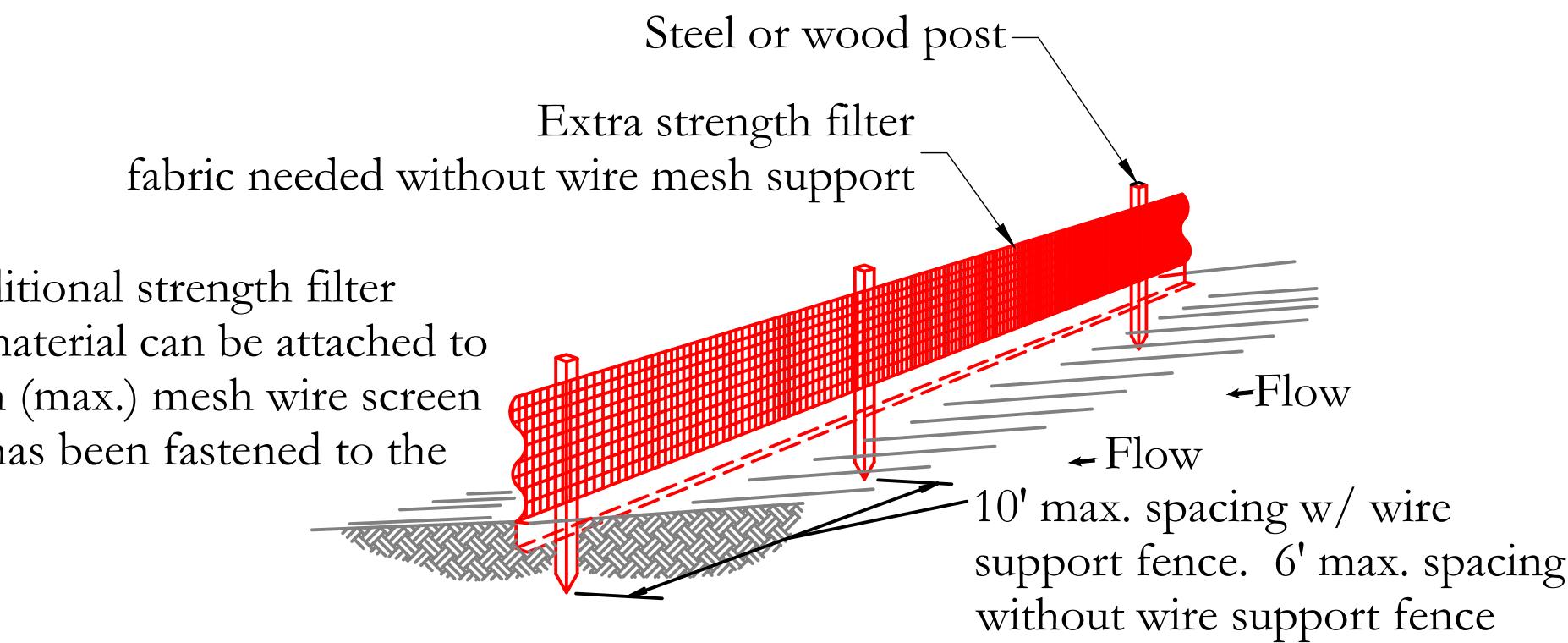
STABILIZED CONSTRUCTION ENTRANCE PLAN

SCALE: NONE

2
-

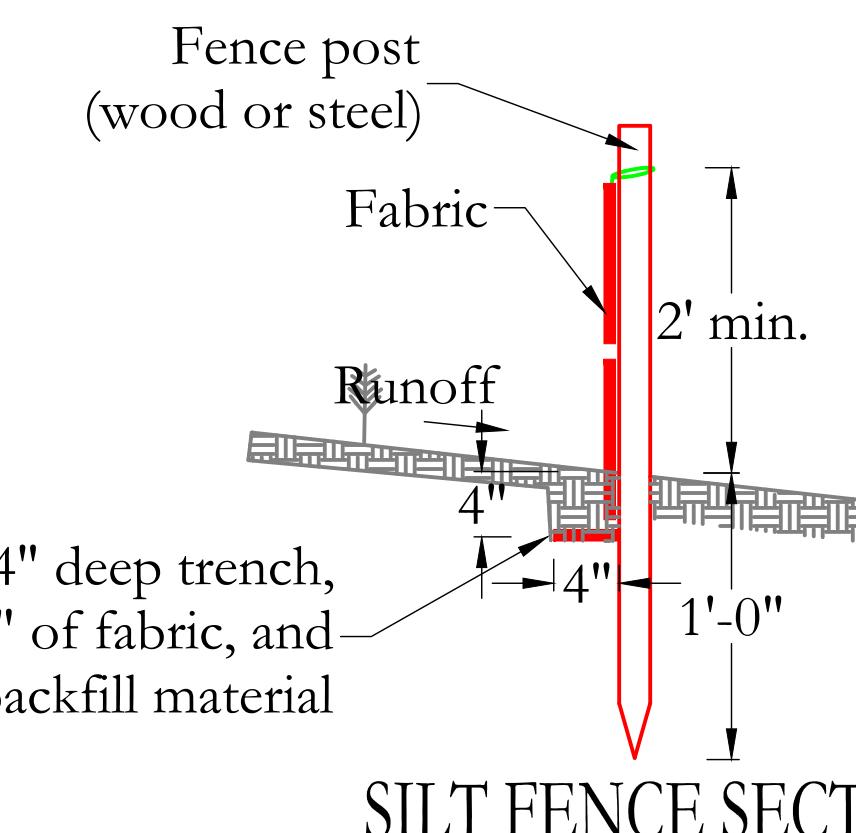
NOTES:

1. STONE SIZE- Use 2 to 3-inch stone or reclaimed concrete equivalent.
2. LENGTH- As required, but not less than 50-feet.
3. THICKNESS- Not less than 8-inches.
4. WIDTH- 10-foot minimum, but not less than the full width at points where ingress of egress occurs.
5. SURFACE WATER- All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 side slopes will be permitted.
6. MAINTENANCE- The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment into the public right-of-way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right-of-ways must be removed immediately.
7. Periodic inspection and needed maintenance shall be proved after each rainfall.
8. Geotextile underliner will be installed under stone covering.



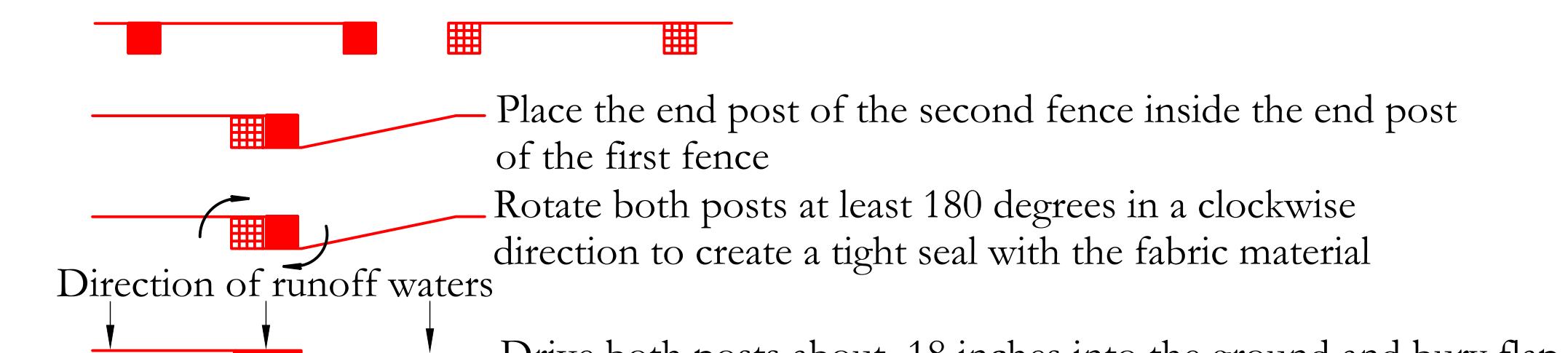
NOTES:

1. The height of a silt fence shall not exceed 36-inches.
2. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
3. Posts shall be spaced a maximum of 10-feet apart at the barrier location and driven securely into the ground a minimum of 12-inches. When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet.
4. A trench shall be excavated approximately 4 inches wide and 4 inches deep along the line of posts and upslope from the barrier.
5. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1-inch long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2-inches and shall not extend more than 36-inches above the original ground surface.
6. The standard strength filter fabric shall be stapled or wired to the fence, and 8-inches of the fabric shall be extended into the trench. the fabric shall not extend more than 36-inches above the original ground surface.
7. The trench shall be backfilled and the soil compacted over the filter fabric.
8. Install per manufacturer's specifications.



Dig 4" wide & 4" deep trench,
bury bottom 8" of fabric, and
anchor with compacted backfill material

SILT FENCE SECTION



ATTACHING TWO SILT FENCES

SILT FENCE

SCALE: NONE

3
-

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RIVERDALE, UT 84405
801.866.0550

NO.	DATE	BY	REVISIONS

DATE: SEPTEMBER 2023
DRAWN: JEO
CHECKED:

PROJECT / LOCATION: KATMARK SUBDIVISION IMPROVEMENTS SOUTH SALT LAKE, UTAH
TITLE:

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: swppp.dwg
SHEET: SWPPP 3

KATMARK SUBDIVISION

Being an amendment of a portion of Block 1, Alhambra Place, as recorded E#266613
 Also part of Lots 5, 6, & 13, Block 17, 10 Acre Plat "A" Big Field Survey, Salt Lake County, Utah
 Located in the NW 1/4 of Section 31, Township 1 South, Range 1 East, Salt Lake Base & Meridian

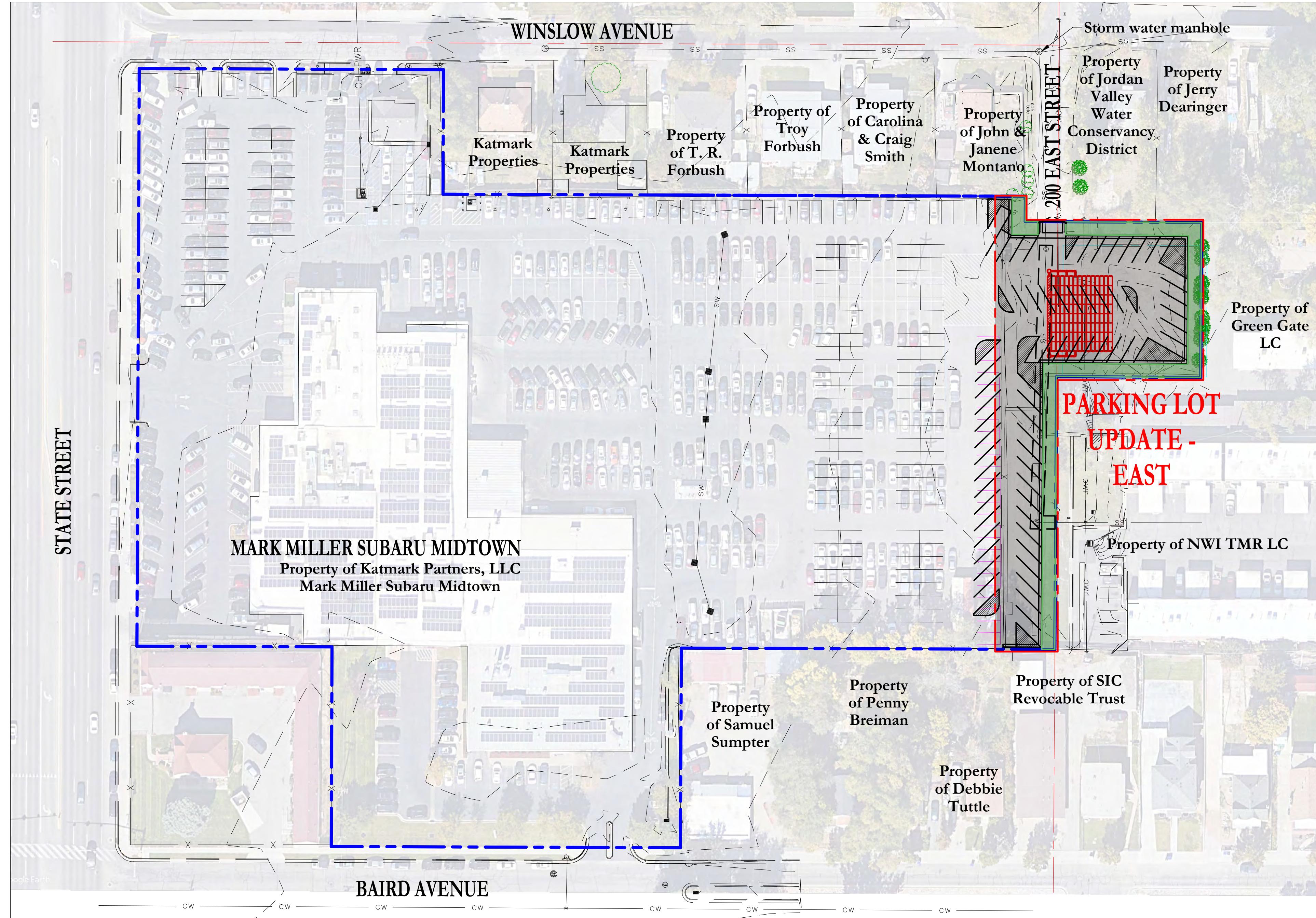
COMCAST Approval as to Form, Signed this _____ day of _____, 20_____. _____ Signature		JORDAN VALLEY WATER CONSERVANCY DISTRICT Approval as to Form, Signed this _____ day of _____, 20_____. _____ Signature
SALT LAKE COUNTY HEALTH DEPARTMENT I hereby certify that the soils, percolation rates, and site conditions for this subdivision have been investigated by this office and are approved for on site wastewater disposal systems. Signed this _____ day of _____. _____ Director, Salt Lake County Health Department		MT. OLYMPUS IMPROVEMENT DISTRICT Approval as to Form, Signed this _____ day of _____, 20_____. _____ Signature
FIRE MARSHAL Approval as to Form, Signed this _____ day of _____, 20_____. _____ Signature		
APPROVAL AS TO FORM Approved this _____ day of _____, 20_____. _____ South Salt Lake City Attorney _____		
SOUTH SALT LAKE CITY APPROVAL This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision thereon are hereby approved and accepted by the City of South Salt Lake, Utah this _____ day of 20_____. _____ Attest: _____ City Recorder: _____		
SOUTH SALT LAKE CITY COMMUNITY DEVELOPMENT APPROVAL This is to certify that this subdivision plot was duly approved by the City of South Salt Lake Community Development Director on the _____ day of _____, 20_____. _____ Director, South Salt Lake Planning		
SOUTH SALT LAKE CITY ENGINEER I hereby certify that the required public improvement standards and drawings for this subdivision conform with City standards. Signed this _____ day of _____, 20_____. _____ Signature		
SOUTH SALT LAKE CITY PLANNING COMMISSION APPROVAL This is to certify that this subdivision plot was duly approved by the City of South Salt Lake Planning Commission on the _____ day of _____, 20_____. _____ Chair, South Salt Lake Planning		
PACIFICORP Pacificorp shall have the right to install, maintain and operate their equipment above and below ground and all other related facilities within the public utility easement identified on this plot Map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the P.U.E. at the owner's expense. At no time may any permanent structures be placed within the P.U.E. or any other obstruction which interferes with the use of the P.U.E. without prior written approval of RMP. Approved by Rocky Mountain Power on this _____ day of _____, 20_____. _____ By: _____ Title: _____		
DOMINION ENERGY COMPANY Dominion approves this plat solely for the purposes of approximating the location, boundaries, courses and dimensions of its rights-of-way and easements and its existing facilities. This approval shall not be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded right-of-way and easement grant(s) or by prescription. Dominion may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities including prescriptive rights and other rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the owners dedication or the notes and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information, including information related to allowed activities within rights-of-way, please contact Dominion's right-of-way department at 1-800-366-8532. Approved by Dominion Energy on this _____ day of _____, 20_____. _____ By: _____ Title: _____		

NARRATIVE from ALTA PLAT (See narrative Sheet 1, note 4)

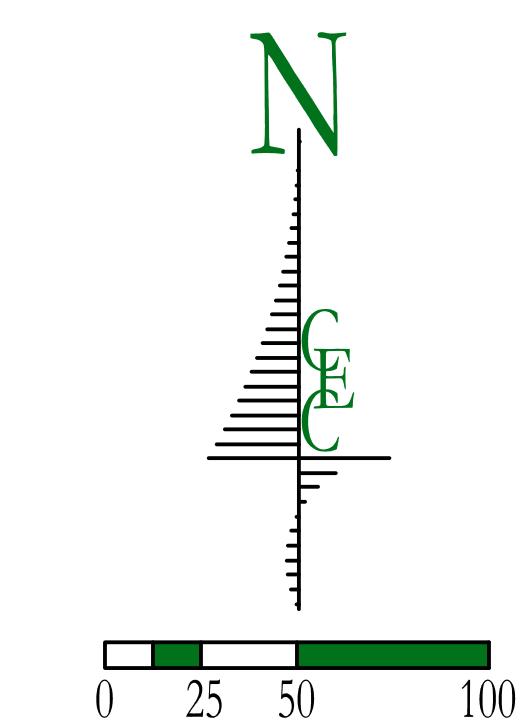
- This plot is a continuation of an ALTA/NSPS survey which was completed on a portion of this property September 12, 2019. In addition to the ALTA survey a vacating plot was prepared for a portion of 200 East Street and submitted to South Salt Lake City for them to complete the required process to vacate. Both documents are incorporated herein by this reference. The purpose of this survey is to create a one (1) lot subdivision to meet South Salt Lake City development requirements and is to compliment the ALTA and vacation survey work. This ALTA/NSPS Land Title Survey is being done under city requirements to get subdivision approval.
- Utilities shown hereon are based on physical survey ties of visible utilities observed at the time of the survey. No representation as to accuracy of underground utilities is made. Any underground utility, power or communication lines which may be on the lot may have prescriptive rights, care should be exercised when dealing with such utilities.
- Documents of record have been shown as provided in a title commitment issued by Metro National Title, 84111 East Broadway, SLC, 84111 commitment number 87685, dated October 7, 2021 at 7:45am. (If the certification contains different information the certification takes precedence.)
- The subject property is described in three documents of record and a vacation plot. First, Katmark, LLC Entry number 13067740, which describes the property west of 200 East Street and the southerly 171.71 feet of the west half of 200 East. The second, NAMICA, LLC Entry number 13067740, which describes the property which is a small parcel on the east side of 200 East, and Katmark E#11769479 the small parcel on the north fronting on Winslow Ave. Along with the vacation of a portion of 200 East street these documents comprise what is being platted as Lot 1, Katmark Subdivision.
- The basis of bearing for this plot is NAD83 State Plane grid Utah Central Zone as derived by RTK GPS observations on physical monuments as described in the Boundary Description for this plot.
- On the first ALTA/NSPS which I have done on the "NAMICA, LLC" property there is a description of the components which were surveyed to identify Block 17, Ten Acre Plat "A", Big Field Survey (BFS). That block base is still relevant in this work but will not be duplicated hereon.
- The ALTA portion of the project began by establishing the location of Lots 5, 6 and 13 of Block 17, Ten Acre Plat "A", BFS (Big Field Survey). Existing monumentation as shown was located and surveyed for position and comparison to record information. These lot locations and dimensions are shown and noted hereon.
- It should be noted that the west line of the block is the current east right of way line of State Street. It appears that State Street was a 66 foot (4 rod) wide road when originally plotted as part of the BFS. Today, however, the street is 132 feet (8 rod) wide road and the expansion appears to have been to the west making the original west right of way the current centerline of the street.
- Winslow Ave. was established at a record distance 1869.08 feet along the center of State street from the monument of State St. & 3300 South St. The location of the intersection of Winslow Ave. & 200 East St. is discussed in said prior ALTA survey. The parcels on the south side of Winslow Ave. call for the property to be tied to the NW corner of Lot 6, Block 17, but as they are plotted the property locations are 33 feet too far west (this includes that Katmark E#11769479 plot). It is apparent that they use east distances which come from the OLD center line of State Street. The identification of the NW corner of Lot 6 is based on a plot "SA323" with a note at the top "Part of 10 Acre "A" betw State to Road No 9 East No.13-59". The document provides enough information to be able to prorate the lot lines for Block 17 holding the county monuments at the 4 intersections of the block.
- The location of the east line of Katmark properties which is the second course in the surveyed boundary description (S0015'32"W, 94.93') is identified by a purchase by Katmark for parcel no. 16-31-103-004 and the Forbush property (E#12753476).
- The east boundary of 13067740 describes the line to be 95.02 feet long while the west boundary of 11769479 describes the line to be 94.93 feet long. This would create a gap on the south of 11769479 as well as the south boundary of each parcel to the west. There is only one fence line along this boundary. At the SE corner of Montano property the east end of the fence corner matches the 94.93 foot distance from the south boundary of Winslow Ave. At the SW corner of former Martinez property (16-31-103-003) where the south fence runs East and North, the corner is 0.55 feet north of line 94.93 feet. The distance is held to the 94.93 foot distance.
- There is also a second fence to the north of the 94.93 foot distance.
- The location of 200 East Street was identified in said ALTA survey. The narrative of that survey identifies how the street was established. As part of the ALTA survey project a vacating plot was required by the city to be prepared for a portion of 200 East Street. The line of that vacation was created as an extension of the north boundary of the NAMICA, LLC parcel. The boundaries of this NAMICA parcel are discussed in the ALTA survey.
- Rebar and cap's number 1 and number 2 were found during said prior ALTA survey and, as discussed in that survey, it is understandable that they may not be precisely located due to the presence of trees and bushes that would have made it difficult to drive a rebar in the wood or roots in addition to the growth of the trees moving them. Fence posts were also found near these locations but because there are two fences along both the north and south sides of the parcel is not known which is actually intended to be the property line. See ALTA survey plot Record of Survey number S2020-05-0331 for additional detail on the boundary.
- The north boundary of Alhambra Place, which is a subdivision recorded as noted in the boundary description, is identified by an existing fence and is the southern boundary of Katmark. The fence is not precisely straight but does closely approximate the property line.
- Katmark property Entry no 13067740 identifies the lot line between lots 40 and 41 of Alhambra Place as the boundary. There is a fence line near this lot line but does not run along the lot line boundary. The south end of the fence begins on or very near the lot line boundary and the fence deviates to the northwest as it runs northerly.
- An existing chain link fence line is on the property line that is common to the east boundary of Frontier Transition Housing property (FTH). The north boundary of FTI is described as the lot line between Lots 5 and 6, Block 17, Ten Acre Plat "A", BFS. The chain link fence is common to this lot line.
- The power company has an easement which was intended to be the inside 10 feet of the property on the south bordering Baird Street, a strip east of the center of the alley which is west of Lot 50. The easement was granted as Entry number 8520321 and when the description is drafted from the west line of Block 17 as described by the metes the easement is does not conform to the location indicated on Exhibit A of the document, which is a drawing, showing the location to be as shown and noted hereon as exception 23. This easement will be re-granted by the subdivision to ensure that the rights of the power company remain intact and as shown on the Exhibit A drawing.

Landmark Surveying, Inc. A Complete Land Surveying Service www.LandmarkSurveyUtah.com		4646 South 3500 West - #4-3 West Haven, UT 84401 801-731-4075	Salt Lake County Recorder Entry no. _____ Fee paid _____
DEVELOPER: Katmark Partners, LLC Address: 3113 Carrigan Canyon Road, SLC, UT 84109		2 of 2	Filed for record and recorded _____ day of _____ 20_____ at _____
Part Lots 5, 6, & 13, Blk 17, 10 Acre Plat "A" Big Field Survey, Salt Lake County, Utah NW 1/4 of Section 31, T1S, R1E, SLB&M.		Subdivision - Amended Plat	in book _____ of official records, on page _____
Revisions:		DRAWN BY: EDR CHECKED BY: ... DATE: July 31, 2023 PROJ: 3959	County Recorder: Rashelle Hobbs By Deputy: _____

This plot and associated documents are "PRELIMINARY NOT FINAL" and subject to change without a valid signature and date across the Professional Land Surveyor's seal in accordance with R156-22-601 of the Utah Admin. Rules. A copy of the Declaration of Surveyor's Professional Licensing, if this document is unsigned it is a Preliminary document(s) and is not intended for and shall not be used in Construction, nor to be Recorded or Filed, nor implemented or used as a Final Product.



LEGEND AND SYMBOLS

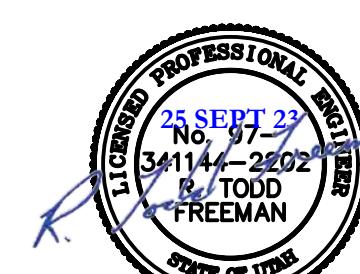


VICINITY MAP

SHEET INDEX	
1 OF 6	COVER
2 OF 6	NOTES
3 OF 6	EAST PARKING LOT - SITE PLAN
4 OF 6	EAST PARKING LOT - GRADING PLAN
5 OF 6	DETAILS
6 OF 6	DETAILS

STORM WATER POLLUTION PREVENTION PLAN SHEET INDEX

SWPPP 1	SWPPP NOTES & DETAILS
SWPPP 2	EAST PARKING LOT - SWPPP
SWPPP 3	SWPPP DETAILS



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CIVIL ENGINEERING
CONSULTANTS, PLLC.
5141 SOUTH 1500 WEST
RIVERDALE, UT 84405
801.866.0550

REVISIONS BY DATE NO.

DATE: SEPTEMBER 2023

DRAWN: JEO

CHECKED: RTF

**KATMARK SUBDIVISION
IMPROVEMENTS
SOUTH SALT LAKE, UTAH**

LOCATION: **COVER**

PROJECT / LOCATION:	KATM
IM	SOUTH
<hr/>	
TITLE:	

CLIENT: ARCHSTONE GROUP

PROJECT NUMBER: ARCH19002

FILE: ~arch19002.dwg

SHEET: 1 of 6

EROSION CONTROL NOTES

- During construction, the contractor shall be responsible for preventing and controlling soil erosion due to wind and water runoff. The contractor shall be sole responsible for constructing and maintaining the erosion control facilities. All surrounding streets shall be kept clean of debris from traffic from the project site.
- The contractor shall comply with the requirements of the "best management practices" for storm water protection. This requirement may include protecting all inlet boxes, catch basins, drainage ditches, etc. during construction. The contractor shall protect all surrounding properties and streets from site runoff as required. Approved storm water protection methods and drainage provisions must be used to protect adjoining properties during construction.
- The contractor shall use vehicle tracking control best management practices at all locations where vehicles will enter or exit the site. Control facilities must be maintained while construction work is in progress, adjusted when necessary, and removed from the site when the project is completed.
- The contractor shall install storm water inlet protection devices immediately upon all individual storm water inlets becoming functional.
- All wash water from construction vehicles (concrete trucks, vehicle cleaning, etc.) shall be disposed in a manner that prevents contact with natural storm water discharges from the site.
- All construction materials spilled, dropped, washed or tracked from vehicles onto City roadways or into storm drainage facilities must be removed immediately.
- No rubbish, trash, garbage or other such materials shall be discharged into drainage ditches or storm water runoff channels.
- The contractor shall adhere to all conditions of the "Utah State Storm Water Pollution and Prevention Plan" adopted for this project. The contractor shall be responsible for adjusting the erosion control measures (silt fences, straw bales, etc.) due to grade changes or other unforeseen conditions during development of the project.

**GENERAL CONSTRUCTION NOTES**

- The utilities shown on the drawings are for informational purposes only. The contractor shall locate all underground utilities, contact blue stakes and other applicable utilities prior to laying pipe within 200 feet of said utilities which may be exposed, damaged or crossed as shown on the drawings or as "blue staked". The contractor shall coordinate with the utility company to move the utility if necessary. The contractor shall not modify grade of project lines in order to go over and around existing utilities. The contractor shall pothole for the location of utilities prior to excavation.
- The contractor shall review and verify all dimensions shown on the drawings.
- The contractor shall be responsible to provide appropriate signing and barricading. All flagging, signage and barricades and all traffic control required shall be in compliance with the current "manual on uniform traffic control devices".
- All public and private roadways must be cleaned daily, or as often as required, of all loose dirt, mud, gravel and all debris as a result of the construction work. This requirement shall apply continuously throughout the duration of the project and shall not be limited to normal construction working hours.
- All dust on project site shall be controlled by sweeping and watering the construction area.
- The contractor shall be completely responsible for the job site conditions during the course of construction, including safety of all persons and adjoining property. This requirement shall apply continuously throughout the duration of the project and not be limited to normal construction working hours.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify project engineer of any discrepancies or conflicts prior to any connections being made.
- The contractor shall be responsible for meeting all of the requirements established for safe trenching. (See OSHA and UOSHA requirements, latest editions).
- Specific information provided in the contract documents shall supersede items covered in these drawings.
- The contractor shall contact and coordinate all utility connections with the utility owner.
- All construction to comply with specifications contained herein and with South Salt Lake City standards and specifications.
- Follow all recommendations of the approved geotechnical report. South Salt Lake City Standard Specifications and Details shall govern, however, unless geotechnical report recommendations are more stringent.
- All public improvements, which are to be owned and maintained by South Salt Lake City, shall be constructed according to the South Salt Lake City Standard Specifications and Details for Municipal Construction (latest edition).

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NO. DATE BY REVISIONS

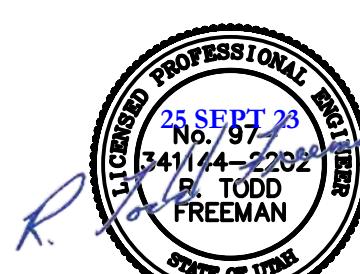
DATE: SEPTEMBER 2023
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CHECKED: RTF

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IMPROVEMENTS: SOUTH SALT LAKE, UTAH
TITLE:

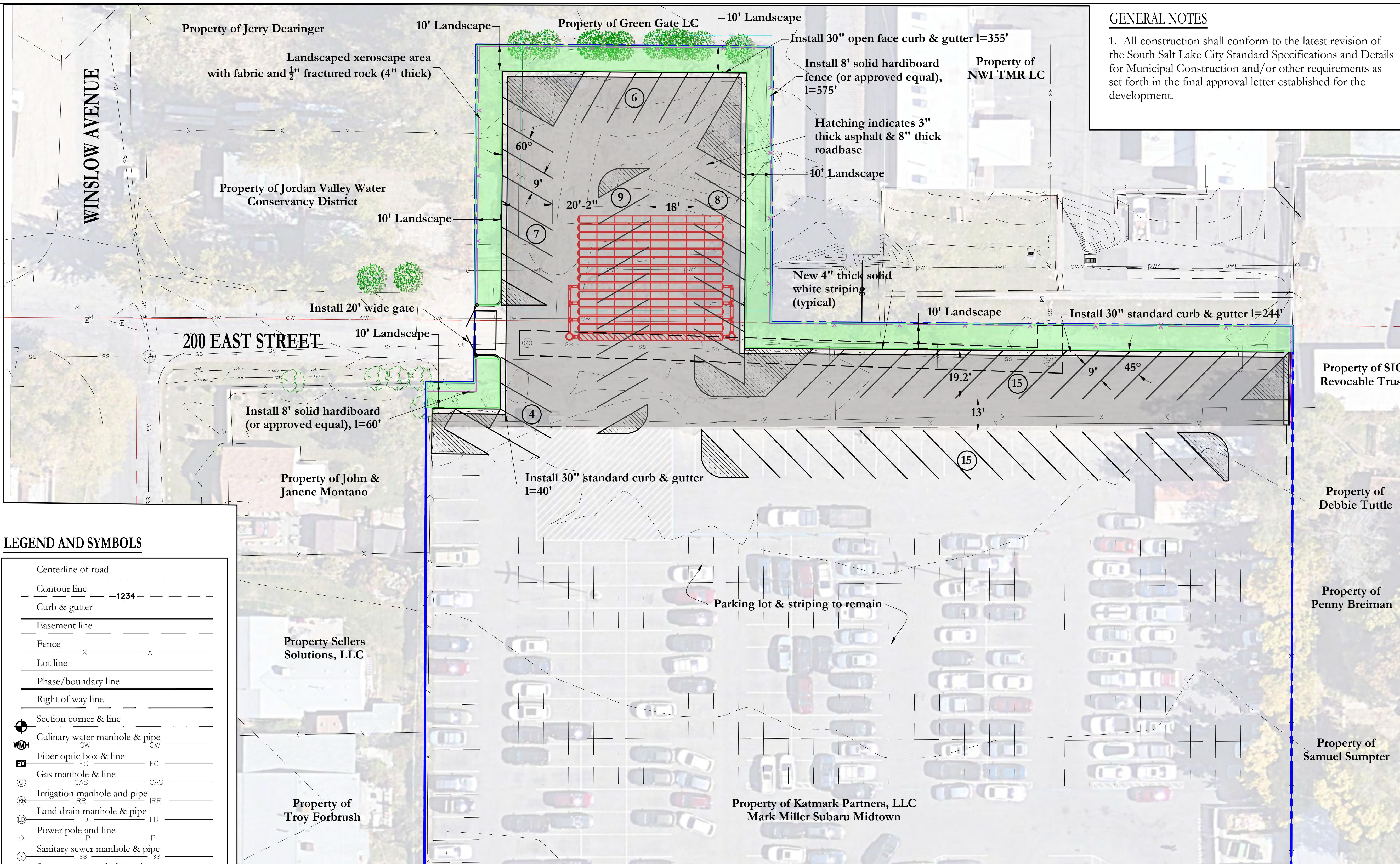
NOTES

ABBREVIATIONS USED IN DRAWINGS

adj	adjust	dwg	drawing	hp	high point	pr	proposed	tbc	top back of curb
arv	air release valve	elec	electrical	in	inch	prc	point of reverse curve	tele	telephone
bw	back of walk	eg	existing grade	inv	invert	prv	pressure reducing valve	toa	top of asphalt
bvce	beginning vertical curve elev.	elev	elevation	irr	irrigation	pt	point of tangency	toe	toe of slope
bvcs	beginning vertical curve station	eoc	edge of concrete	lf	linear foot	pue	public utility easement	top	top of slope
bw	both ways	ep	edge of pavement	lip	lip of curb	pvc	polyvinyl chloride pipe	tow	top of wall
cb	catch basin	evce	end vertical curve elev.	lt	left	r	radius	tow	top of walk
chord	chord bearing	evcs	end vertical curve station	max	maximum	rc	rebar & cap	typ	typical
cl	centerline	ew	each way	mh	manhole	row	right of way	w	water
cmp	corrugated metal pipe	exist	existing	min	minimum	rt	right	wm	water meter
co	clean out	ff	finished floor elevation	mon	monument	sd	storm drain	wmh	water manhole
conc	concrete	fg	finished grade	nts	not to scale	sec cor	section corner	wv	water valve
conc	concrete	fh	fire hydrant	oc	on center	ser	south end radius		
cw	culinary water	fl	flow line	ohp	over head power	ss	sanitary sewer		
da	delta angle	fo	fiber optic	pc	point of curvature	ssmh	sanitary sewer manhole		
det	detail	ft	foot	pi	point of intersection	sta	station		
dia	diameter	gb	grade break	pl	property line	std	standard		
dip	ductile iron pipe	hdpe	high density poly ethylene	pp	power pole	sw	secondary water		



CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg
SHEET: 2 of 6



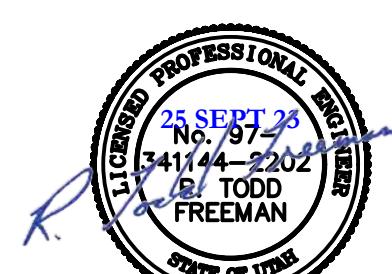
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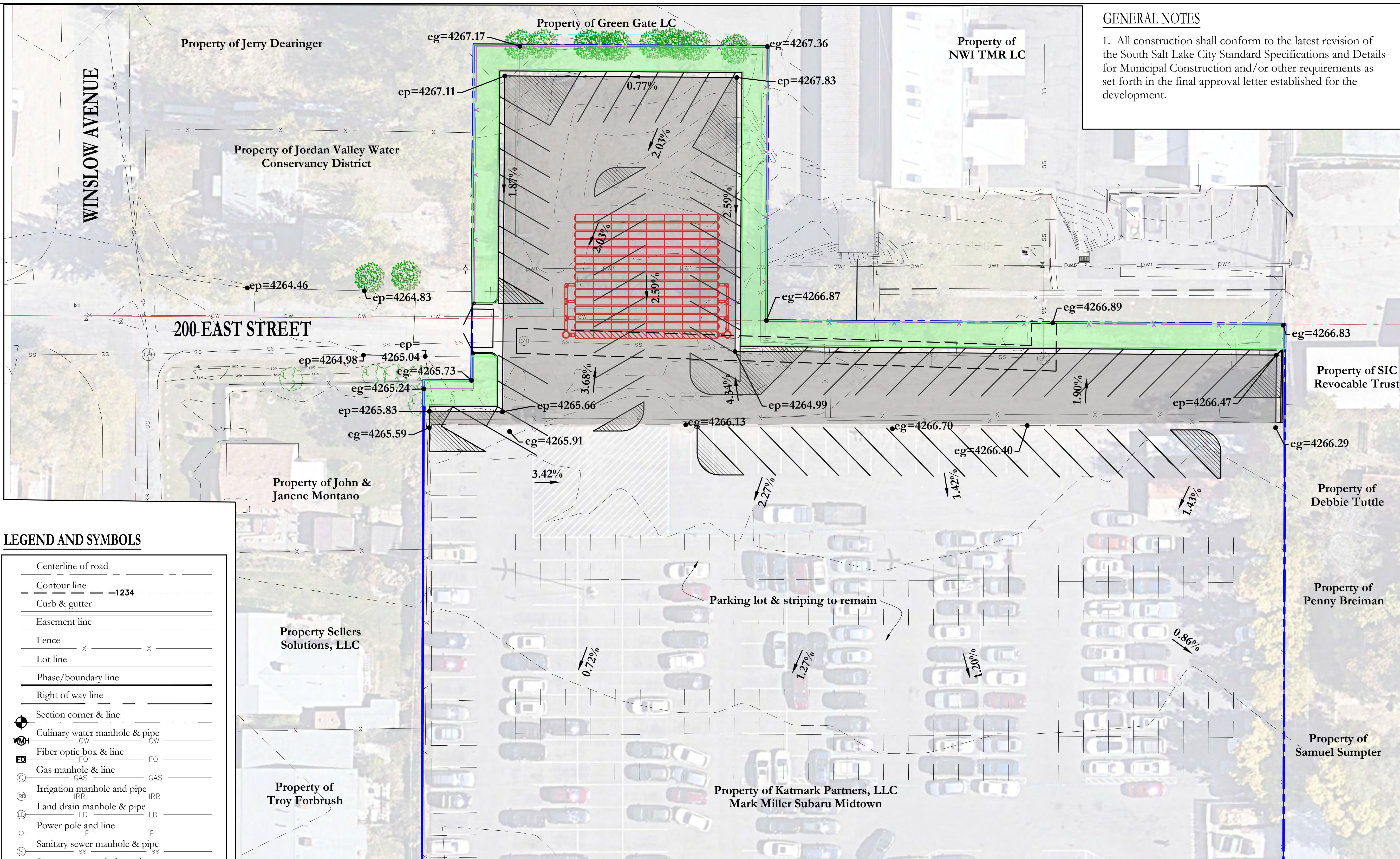
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DATE: SEPTEMBER 2023
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PROJECT / LOCATION: KATMARK SUBDIVISION
IMPROVEMENTS
SOUTH SALT LAKE, UTAH
TITLE: EAST PARKING LOT - SITE PLAN

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg
SHEET: 3 of 6





LEGEND AND SYMBOLS

Centerline of road

Contour line

1234

Curb & gutter

Easement line

Fence

X

X

Lot line

Phase/boundary line

Right of way line

Section corner & line

Culinary water manhole & pipe

CW

CW

Fiber optic box & line

FO

FO

Gas manhole & line

GAS

GAS

Irrigation manhole and pipe

IRR

IRR

Land drain manhole & pipe

LD

LD

Power pole and line

P

P

Sanitary sewer manhole & pipe

SS

SS

Storm water manhole & pipe

SW

SW

Telephone pedestal & line

TELE

TELE

Fire hydrant

Storm water catch basin

Street sign

Street light

Water meter

*Note:

All existing features
will be in a shaded line

Water valve

*Note:
All existing features
will be in a shaded line

LEGEND

Install 3" thick asphalt &
8" thick roadbase

GENERAL NOTES

1. All construction shall conform to the latest revision of the South Salt Lake City Standard Specifications and Details for Municipal Construction and/or other requirements as set forth in the final approval letter established for the development.

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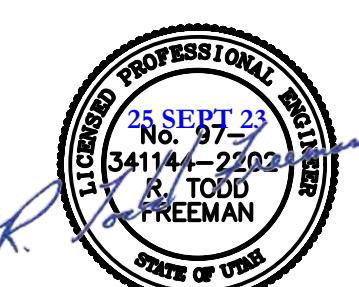
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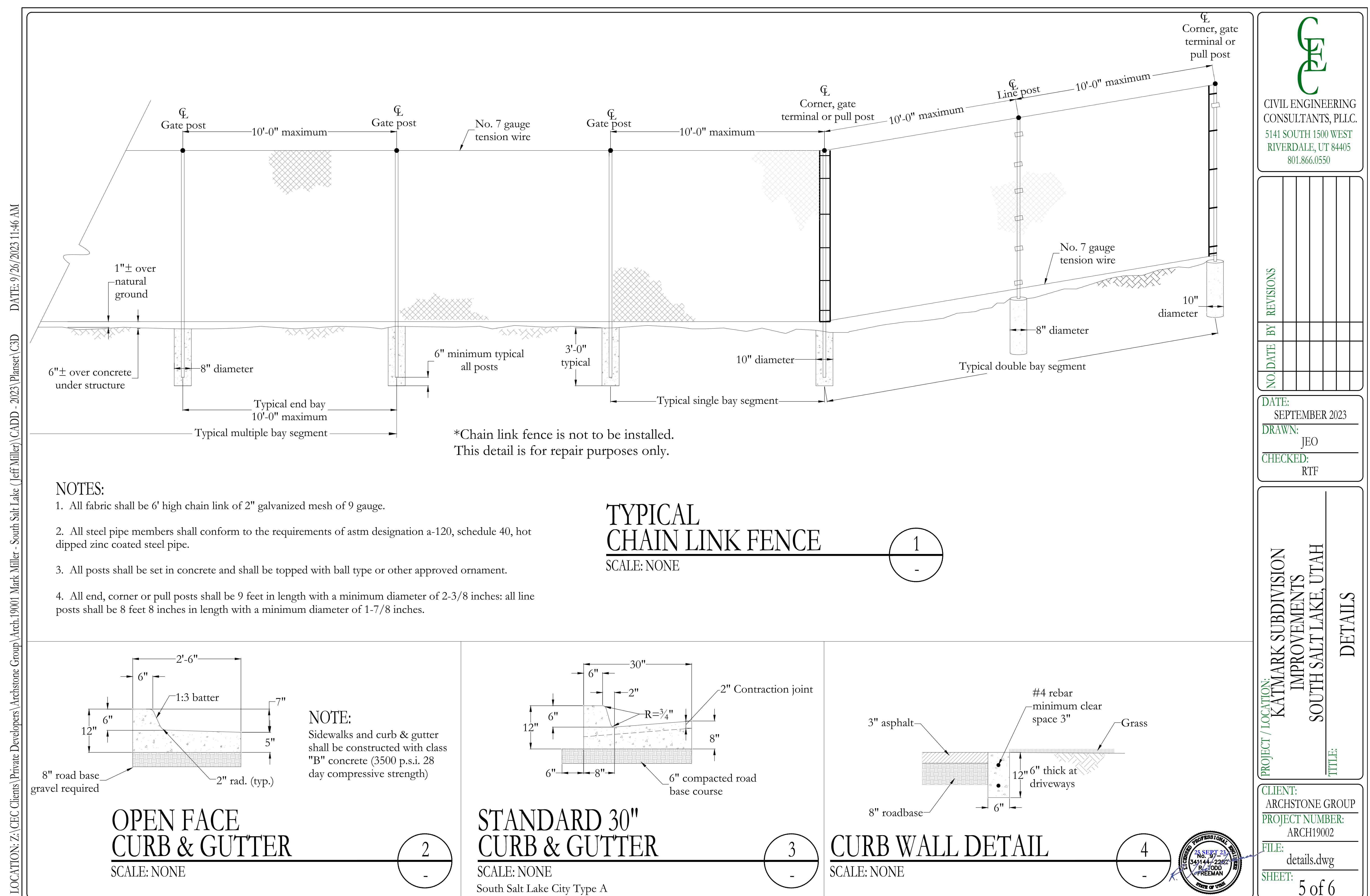
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IMPROVEMENTS
SOUTH SALT LAKE, UTAH

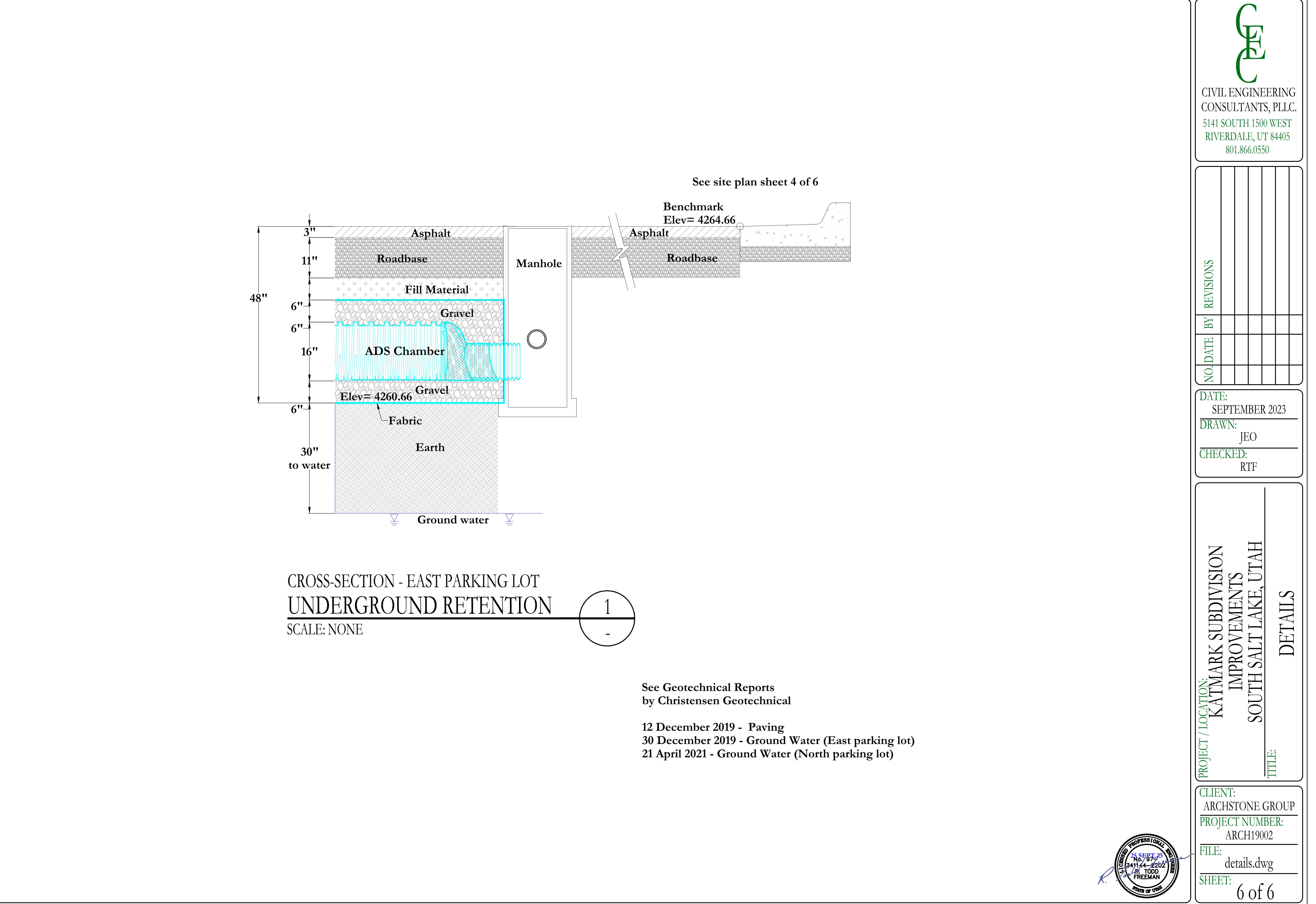
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TITLE: EAST PARKIN

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: ~arch19002.dwg
SHEET: 4 of 6







STORM WATER POLLUTION PREVENTION PLAN

KATMARK SUBDIVISION

SCOPE OF PROJECT

Regrading, removal, clearing and grubbing site. Install ADS underground storm water systems at two locations (see drawings). Install new parking lots with asphalt, roadbase and curb & gutter and storm water inlet boxes.

SITE DETAILS

1. The Construction site is located within the boundaries of South Salt Lake City, Davis County. Estimated area that will be developed is 0.6 acres - East parking lot, 0.5 acres - North parking lot.
2. The Coefficient of Run-off following construction will be changed to reflect medium density for residential development. Upon project completion, a storm water detention basin will be fully operational and miscellaneous storm water facilities completed.

Pre-development (medium vegetation): **C=0.35**

Residential development (home & landscaping): **C=0.55**

3. The collection and detention of storm water will follow the South Salt Lake City approved design drawings.
4. The drainage pattern on the existing site will be altered to direct the storm water to be collected in 2 proposed ADS underground storm water systems.

CLEARING AND GRUBBING

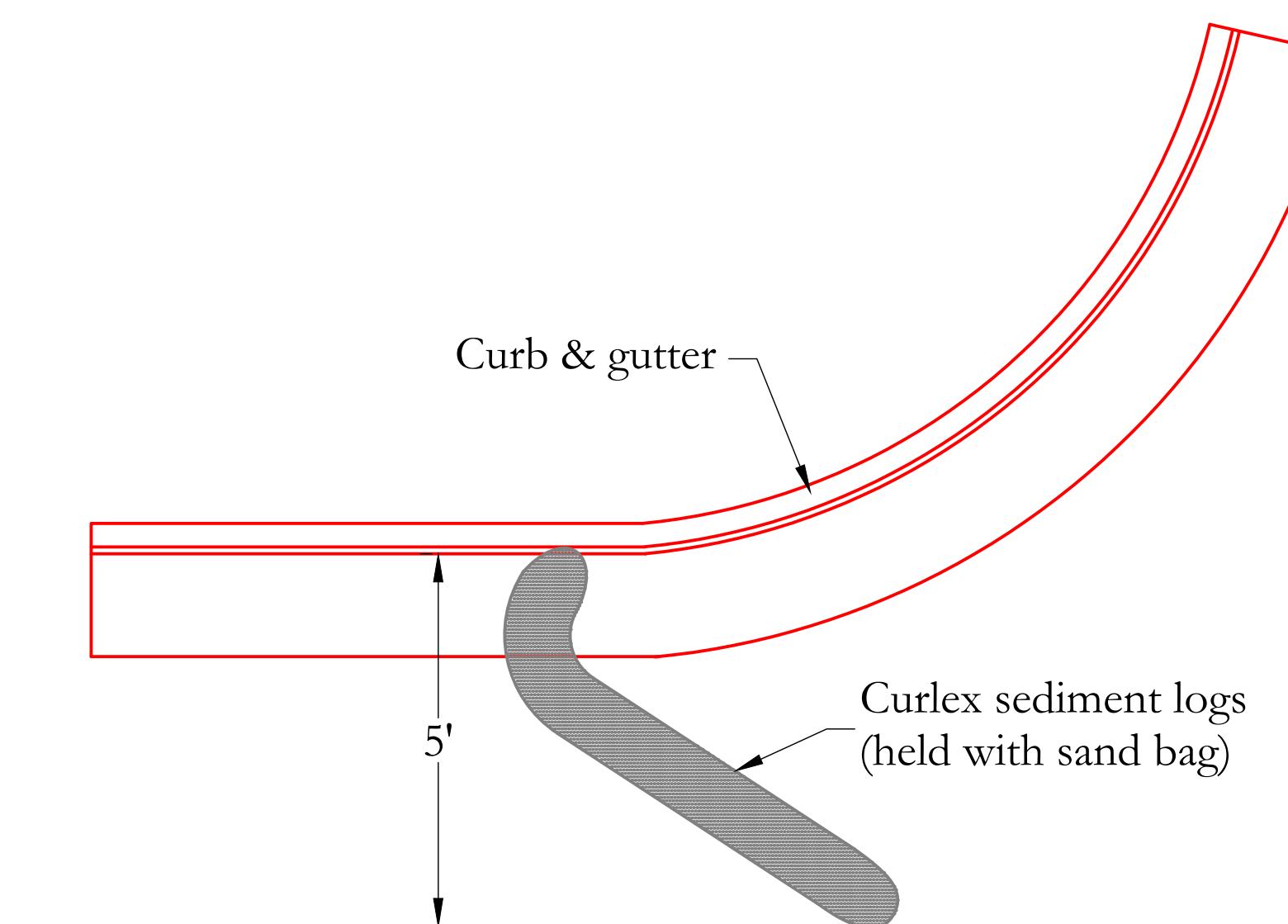
1. During the clearing and grubbing construction work, additional efforts will be extended to protect any debris from entering the South Salt Lake City Storm Water facilities.
2. These environmental controls will be monitored a minimum of every 14 days or after a 1/2" inch or more of rain fall. Sediment will be removed from these sediment traps when their capacity has been reduced by 50%.
3. Entrance to the site or exit from the site, a "Stabilized Construction Entrance" will be installed for vehicle cleaning.
4. Contractor shall monitor and remove from the site all loose construction waste, debris, and litter on a weekly basis and prevented from entering into the South Salt Lake City Storm Water facilities.

MISCELLANEOUS NOTES

1. The construction wash out area is to be used for on-site construction activities only.
2. The contractor shall furnish portable restroom facilities and locate in a secure area.
3. The contractor shall establish a monitoring process to document the management of all Best Management Practices established on site. The monitoring process shall be noted, documented and maintained on a weekly basis.

LANDSCAPING NOTE

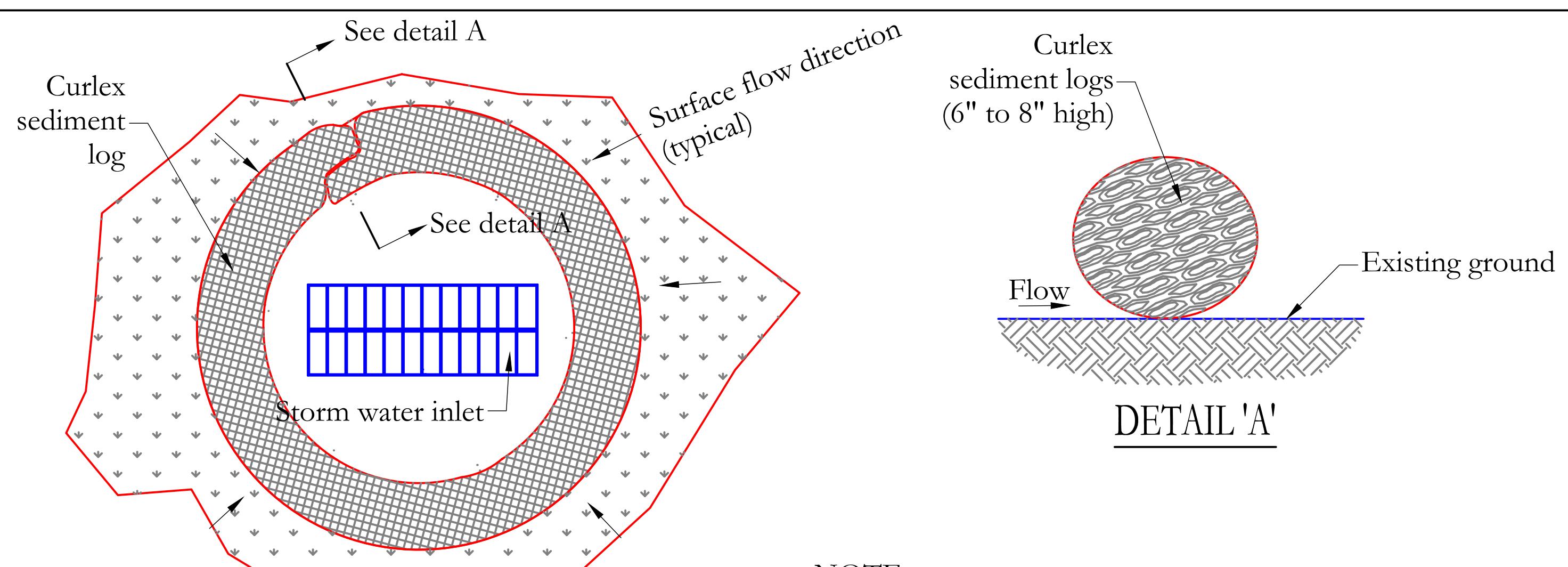
1. During the landscaping work the contractor will monitor the "Sediment Logs", "Silt Fencing" and the "Stabilized Construction Entrance". Sediment will be removed from these sediment traps when their capacity has been reduced by 50%.
2. The "Stabilized Construction Entrance" and "Silt fencing" will be removed immediately prior to the landscaping work. The "Sediment Logs" will be relocated as required to allow proper construction to take place. Following the placement of sod and sweeping of roadways "Sediment Logs" will be removed.



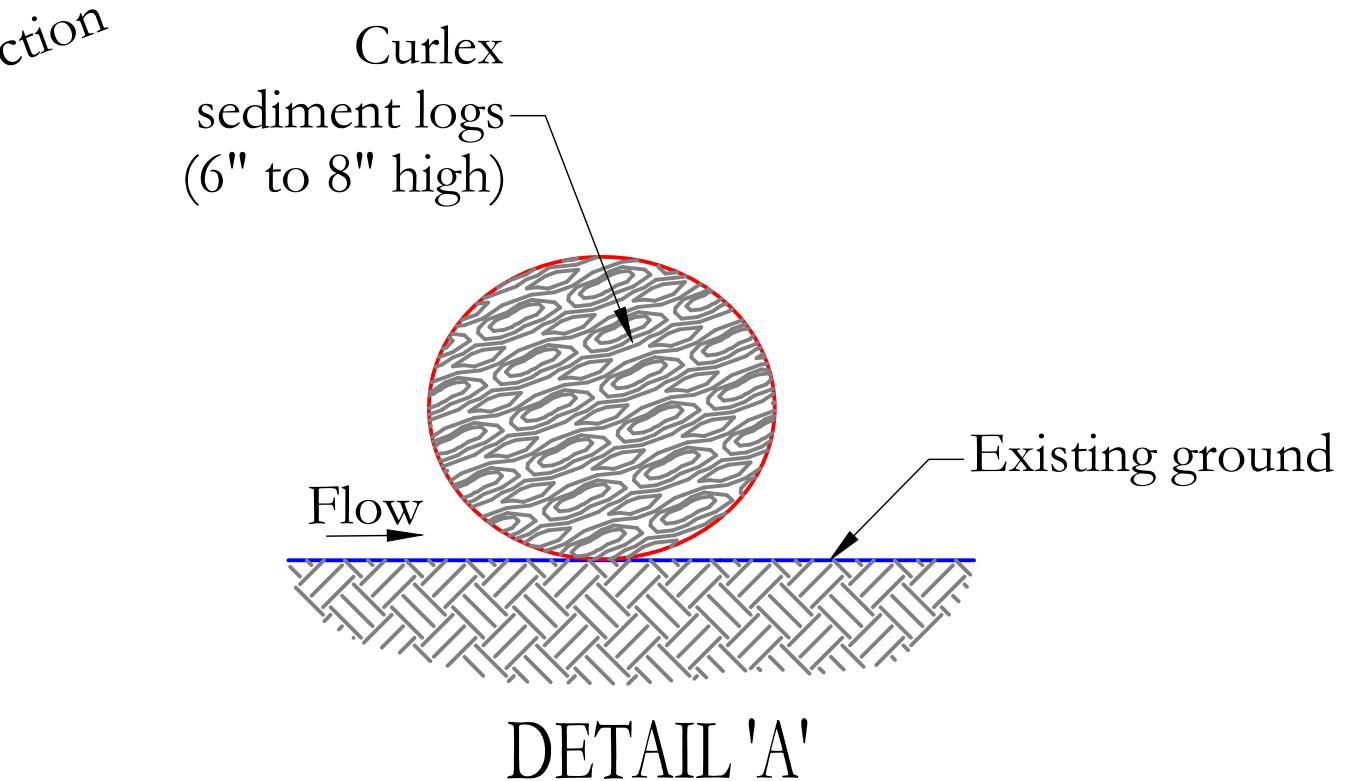
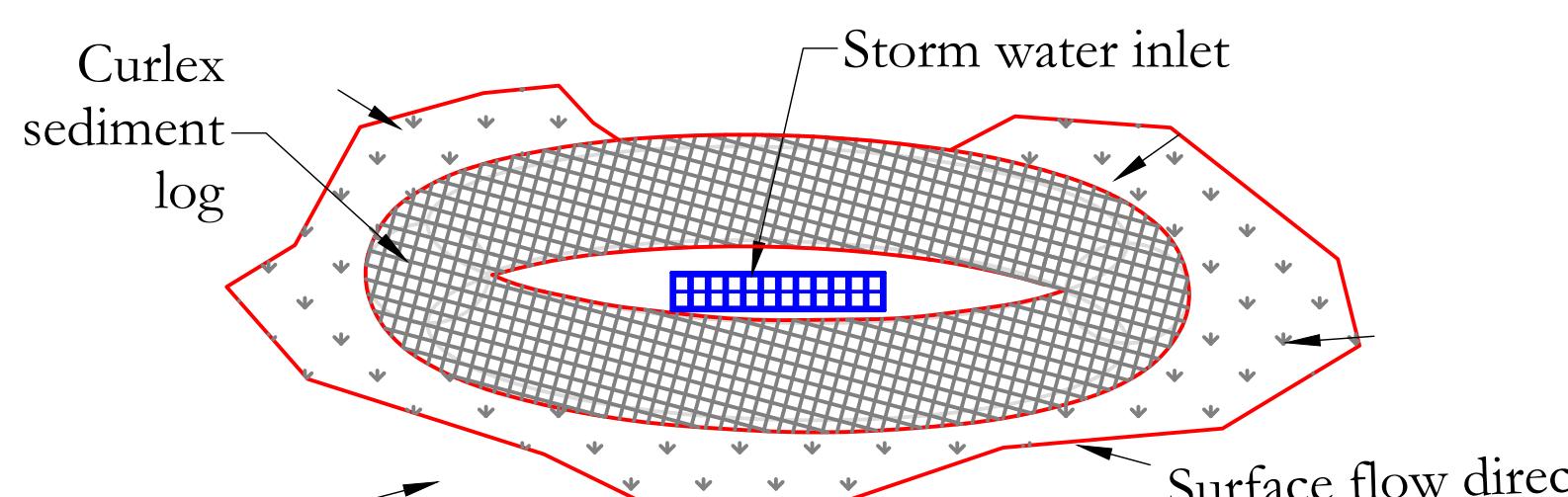
CURLEX SEDIMENT LOG PROTECTION

SCALE: NONE

1
-



PLAN VIEW



DETAIL 'A'

NOTE:
The Contractor shall set a barricade over the catch basin to protect the curlex sediment logs.

CURLEX SEDIMENT LOG INLET PROTECTION

SCALE: NONE

2
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2
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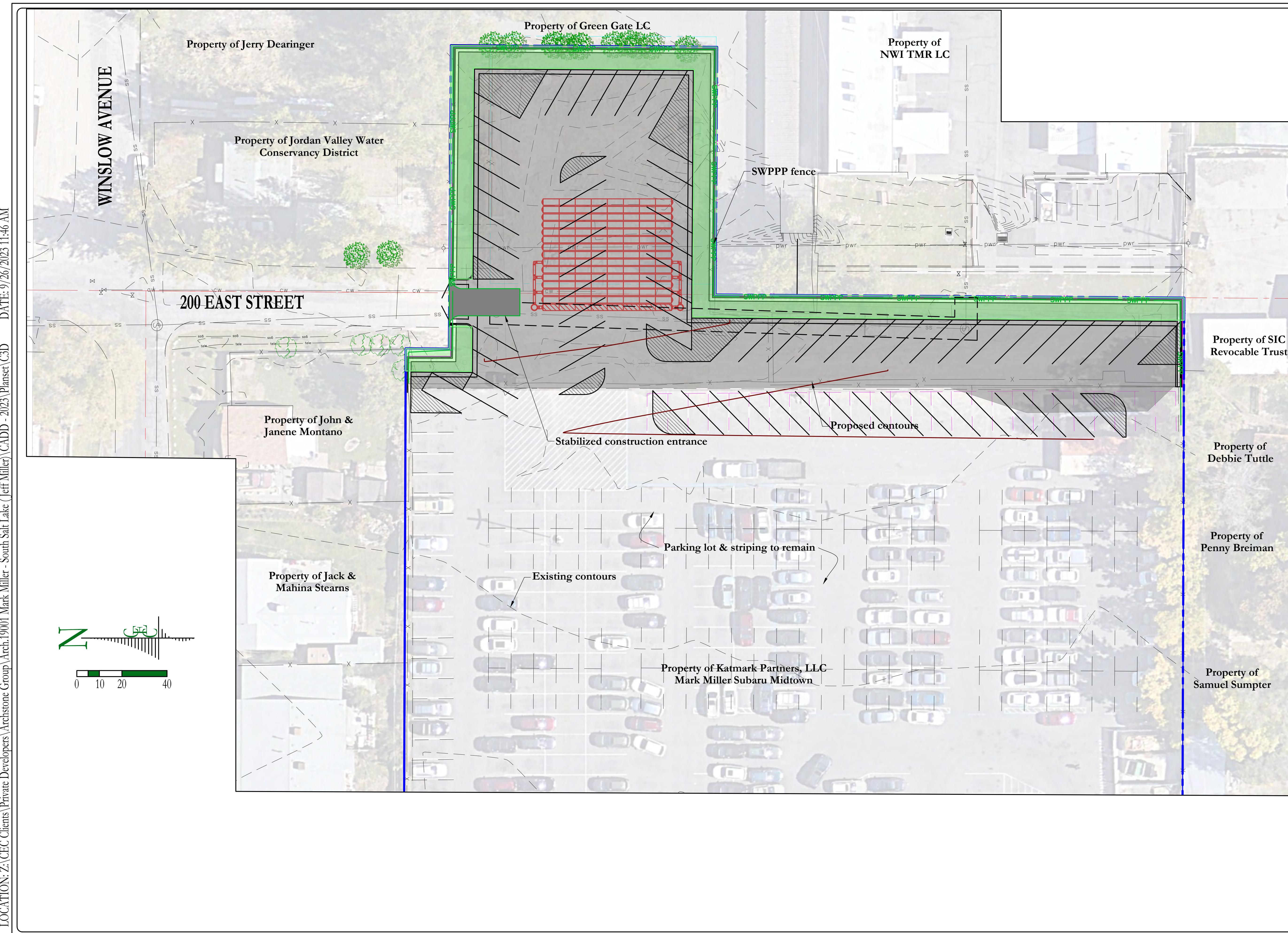
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IMPROVEMENTS
SOUTH SALT LAKE, UTAH
TITLE: SWPPP - NOTES & DETAILS

CLIENT: ARCHSTONE GROUP
PROJECT NUMBER: ARCH19002
FILE: swppp.dwg
SHEET: SWPPP 1

NO. DATE	BY	REVISIONS

DATE: SEPTEMBER 2023
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SWPPP - NOTES & DETAILS



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TITLE:

CLIENT: ARCHSTONE GROUP

PROJECT NUMBER: ARCH19002

FILE: swppp.dwg

SHEET: SWPPP 2

