



**Wednesday, January 10, 2024
Development Review Committee**

DEVELOPMENT REVIEW COMMITTEE AGENDA

PUBLIC NOTICE is hereby given that the Development Review Committee of Spanish Fork, Utah, will hold a regular meeting at the City Council Chambers at Library Hall, 80 South Main Street, Second Floor, Spanish Fork, Utah, commencing at 10:00 a.m. This meeting is not available to attend virtually.

1. Approval of Minutes

A. December 20, 2023.

2. Site Plan

A. ARBY'S SITE IMPROVEMENTS. This proposal involves additional site improvements to an existing lot located at approximately 955 East Expressway Lane.

3. Final Plat

A. COMMERCE WAY CONDOMINIUMS. This proposal involves the subdivision of an office building located at approximately 692 East Market Place Drive to create 8 individual units.

4. Re-Final Plat

A. WILLOW ESTATES (FORMERLY JOHNSON SUBDIVISION) PLAT A. This proposal involves the reapproval of a plat located at 1100 South 3440 East.

5. Adjourn

Draft Minutes
Spanish Fork City Development Review Committee
80 South Main Street
Spanish Fork City
December 20, 2023

Staff Members Present: **Chris Thompson**, Public Works Director; **Seth Perrins**, City Manager; **Dave Anderson**, Community Development Director; **Brandon Snyder**, Senior Planner; **Mary Martin**, Associate Planner; **Kimberly Brenneman**, Development Coordination Manager; **Vaughn Pickell**, City Attorney; **Ana Burgi**, Assistant City Attorney; **John Little**, Chief Building Official; **Byron Haslam**, Senior Engineer; **Marcie Clark**, Department Development Secretary; **Jered Johnson**, Engineering Division Manager; **Kevin Taylor**, Senior Power Utility Planner; **Jake Theurer**, Power and Light Superintendent; **Bart Morrill**, Parks Maintenance Supervisor; **Jason Turner**, Fire Marshall.

Citizens Present: Brent Lindstrum, Keith Lindstrum, Dave Erickson, Parker Johnson, Cart Boggess, Mike McDonald.

Chris Thompson called the meeting to order at 10:00 a.m.

MINUTES

December 13, 2023

Jered Johnson **moved** to approve the minutes of December 12, 2023.

Jake Theurer **seconded** and the motion **passed** all in favor.

PRELIMINARY PLAT AND ZONE CHANGE

THE ORCHARDS MASTER PLANNED DEVELOPMENT

Mary Martin explained the Preliminary Plat was approved earlier this year, however, to accommodate for the needed railroad right-of-way the applicant has re-configured their subdivisions and added a couple lots and applied for the Master Planned Development Overlay.

Byron Haslam stated that he has not completed his full review and as he is able to complete a full review, he will likely have more redline comments.

Jason Turner expressed concern with the length of the dead-end roads. It was determined that would be a non-issue.

There was discussion of the required distance for a driveway approach from 3400 East.

There was discussion of the dedication of the railroad right-of-way and how that will be executed.

The power design needs to be revised adjusting to the new design.

Jered Johnson stated that the plans show the ditch to be abandoned by the irrigation company. This is something that is coordinated with the irrigation company.

The applicant stated that the ditch has already been abandoned. It was recommended to update the plans noting it was abandoned and not worded in a future tense.

Vaughn Pickell **moved** to recommend the approval of the proposed The Orchards Master Planned Development to City Council based on the following finding and conditions:

Finding:

1. That the application conforms to the City's General Plan Designation and Zoning Map.

Conditions:

1. That the applicant meets the City's Zoning requirements and Construction Standards.
2. That the applicant addresses any red-lines.
3. That the Preliminary Plat indicates the parcel on the east side of the development, adjacent to the railroad, be included in the subdivision and dedicated to the City.
4. That the Public Utility Easements labeled on the plat be re-labeled as Municipal Utility Easements.
5. That the in between the lot easements be removed, and the rear utility easements be ten-feet, per City Standards.
6. That the applicant provides a street tree plan and complies with the architectural and other requirements of the Master Planned Development Overlay District.

Seth Perrins **seconded** and the motion **passed** all in favor.

ZONE CHANGE

MCDONALD ZONE CHANGE

Brandon Snyder stated the applicant would like the property zone changed from R-R to C-2. This is in line with the General Plan.

Seth Perrins asked if there should be a concept design with the Zone Change application.

Dave Anderson stated with the configuration of the property he feels comfortable moving forward with the Zone Change without a Site Plan.

Mike McDonald stated there is no immediate plan to develop the property. They are looking to sell a portion of the property and the zone changing to C-2 is part of the purchase agreement.

Seth Perrins wanted to emphasize with this site only having frontage along a County Road and UDOT, that access may be limited. Seth Perrins asked if there is not already language recorded that a cross access easement be recorded for the three parcels so that if they are sold off there does not become an access issue.

Vaughn Pickell stated the mechanism would be a Reciprocal Access and Parking Easement be recorded.

Dave Anderson **moved** to recommend the approval of the proposed McDonald Zone Change from R-R to C-2 to City Council based on the following finding and conditions:

Finding:

1. That the proposal is consistent with the City's General Plan Land Use Map designation.

Conditions:

1. The applicant provides the necessary access and parking easement to guarantee the different property owners in the development have adequate access, parking, and other items.

Seth Perrins seconded and the motion passed all in favor.

CONCEPT REVIEW

LEISURE VILLAS CONCEPT

Dave Erickson stated they have built similar projects in many other cities, with one of the developments in Springville. The applicant stated the objective of the development is to create a community with amenities that create a gathering of residents of the same age and interests.

There was discussion related to the amenities and cohesiveness from the existing recorded plats of Annie's Acres and the connection of the proposed new development.

There was discussion of open space versus amenities.

Seth Perrins feels this proposal is a significant enough departure from the original approval, that he does not feel it would be supported. He stated the approved usable open space is a big deal in development. If Dave Erickson would like to build what was previously approved, then he could move forward. If he is desiring to change the design, then there would be scrutiny of the proposal including the amenities, the road accesses, the development agreement, the design of the units, and the density.

TITLE 15 AMENDMENTS

COMMUNITY DEVELOPMENT JANUARY 2024

Ana Burgi asked if it is necessary for the definition of Impound Yard as it seems redundant.

Brandon Snyder stated it is to help distinguish that this is not a yard for cars that would be undergoing repair work or a "pick-n-pull" lot.

Vaughn Pickell and Ana Burgi agreed that it is redundant but sees the purpose of the proposed language.

Vaughn Pickell **moved** to recommend the approval of the proposed Title 15 Amendments to City Council with the following conditions:

Conditions:

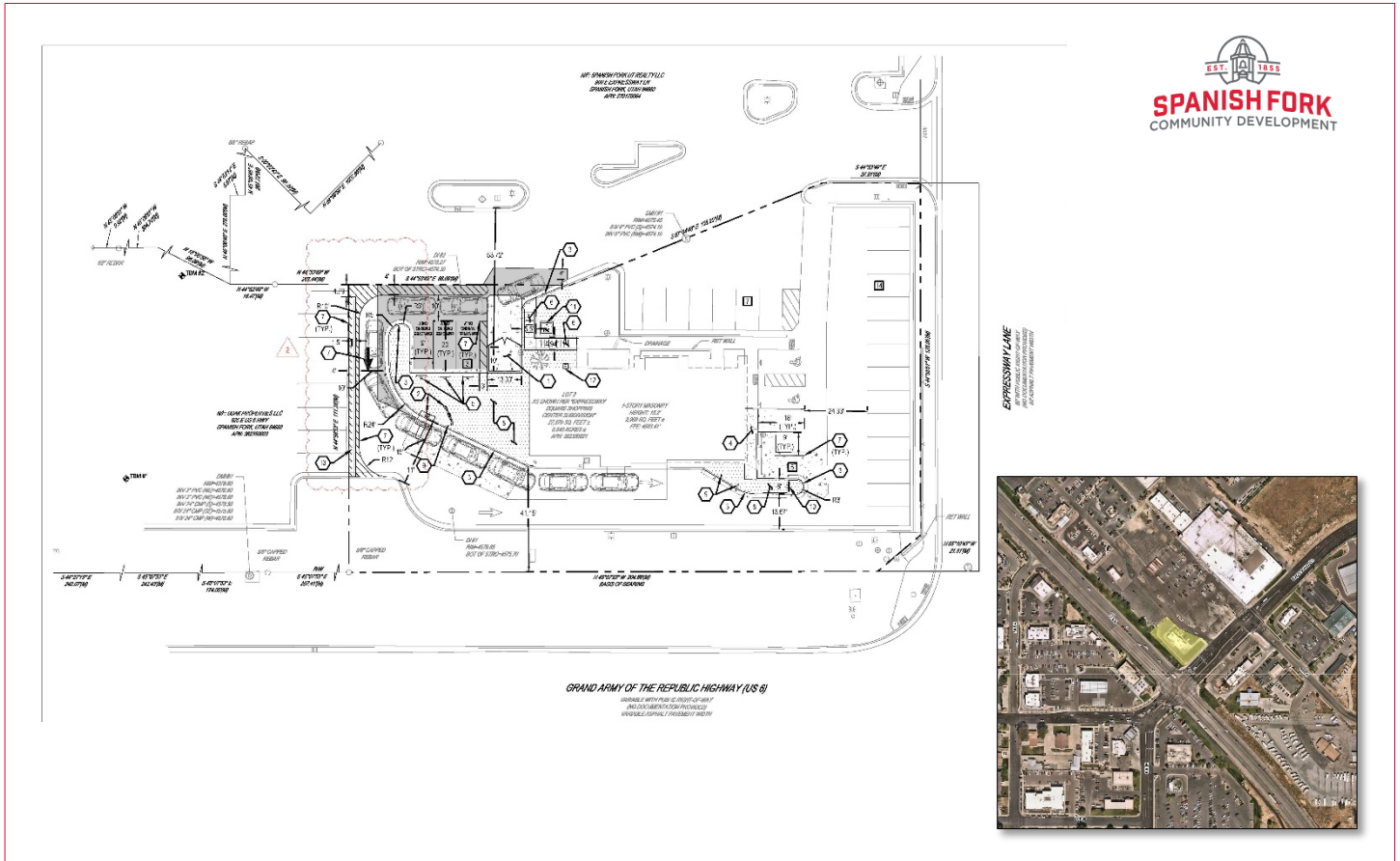
1. That the numbering and formatting issues be address, as raised by Ana Burgi
2. That any other conflicting language or verbiage be resolved with the Legal and Planning Department before the Planning Commission Meeting.

Jered Johnson **seconded** and the motion **passed** all in favor.

Jake Theurer moved to adjourn the meeting at 11:10 a.m.

Adopted:

Kimberly Brenneman
Development Coordination Manager



Arby's Site Improvements Site Plan Approval Request

Recommendation

January 10, 2024, Development Review Committee meeting.
Located at 955 East Expressway Lane, including 0.64 acres.
The subject property is zoned S-C.
The applicant has requested that a Site Plan be approved to install additional improvements to enhance the drive-through circulation.

That the proposed Site Plan be approved based on the following finding and subject to the following conditions.

Finding

- 1. That the proposal conforms to the City's General Plan Designation and Zoning Map.

Conditions

- 1. That the applicant meets the City's Development and Construction standards, zoning requirements, and other applicable City ordinances.
- 2. That the applicant addresses any red-lines.

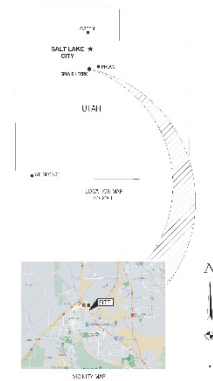
Key Issues

- 1. Traffic Circulation.

Exhibits

- 1. Site Plan.

CITY OF SPANISH FORK, UTAH COUNTY, UTAH
 SITE IMPROVEMENT PLANS
 FOR
ARBY'S #1445
 955 EXPRESSWAY LANE,
 SPANISH FORK, UT 84660



SHEET NUMBER	SHEET TITLE
001	COVER SHEET
002	GENERAL NOTES
003	UTILITY NOTES
004	EXISTING UTILITIES
005	PROPOSED UTILITIES
006	PROPOSED PAVEMENT
007	PROPOSED SIDEWALKS
008	PROPOSED SIGNAGE
009	PROPOSED LIGHTING
010	PROPOSED LANDSCAPE
011	PROPOSED FENCE
012	PROPOSED SECURITY
013	PROPOSED ACCESS
014	PROPOSED DRIVE
015	PROPOSED DRIVE
016	PROPOSED DRIVE
017	PROPOSED DRIVE
018	PROPOSED DRIVE
019	PROPOSED DRIVE
020	PROPOSED DRIVE

APPROVED FOR:
 PROJECT ENGINEER
 DATE: 01/10/2024
 PROJECT NO: 2023-001

REVISIONS:

NO.	DATE	DESCRIPTION
1	01/10/2024	ISSUE FOR PERMIT
2	01/10/2024	REVISED PER CITY COMMENTS
3	01/10/2024	REVISED PER CITY COMMENTS
4	01/10/2024	REVISED PER CITY COMMENTS
5	01/10/2024	REVISED PER CITY COMMENTS
6	01/10/2024	REVISED PER CITY COMMENTS
7	01/10/2024	REVISED PER CITY COMMENTS
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17	01/10/2024	REVISED PER CITY COMMENTS
18	01/10/2024	REVISED PER CITY COMMENTS
19	01/10/2024	REVISED PER CITY COMMENTS
20	01/10/2024	REVISED PER CITY COMMENTS

CONTRACT INFORMATION:

OWNER: ARBY'S
 955 EXPRESSWAY LANE
 SPANISH FORK, UT 84660

DESIGNER: CESO
 1000 WEST 1000 SOUTH
 SPANISH FORK, UT 84660

DATE: 01/10/2024

PROJECT NO: 2023-001

SCALE: AS SHOWN

PROJECT LOCATION: 955 EXPRESSWAY LANE, SPANISH FORK, UT 84660

PROJECT DESCRIPTION: SITE IMPROVEMENT PLANS FOR ARBY'S #1445

PROJECT STATUS: PERMITTING

PROJECT CONTACT: CESO
 PROJECT ENGINEER: [Name]
 PHONE: [Phone Number]
 EMAIL: [Email Address]

GENERAL NOTES:

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EXISTING UTILITIES:

1. 12" WATER MAIN

2. 12" SANITARY SEWER

3. 12" GAS MAIN

4. 12" ELECTRIC MAIN

5. 12" TELEPHONE MAIN

6. 12" CABLE MAIN

7. 12" FIBER OPTIC MAIN

8. 12" RAINWATER MAIN

9. 12" STORMWATER MAIN

10. 12" GROUNDWATER MAIN

11. 12" SURFACE WATER MAIN

12. 12" AIR MAIN

13. 12" VENT MAIN

14. 12" EXHAUST MAIN

15. 12" DRAIN MAIN

16. 12" CONDENSATE MAIN

17. 12" RADIANT MAIN

18. 12" REFRIGERANT MAIN

19. 12" FUEL MAIN

20. 12" OIL MAIN

21. 12" AC MAIN

22. 12" HEAT MAIN

23. 12" COOLING MAIN

24. 12" CHILLER MAIN

25. 12" BOILER MAIN

26. 12" PUMP MAIN

27. 12" VALVE MAIN

28. 12" FITTING MAIN

29. 12" JOINT MAIN

30. 12" END MAIN

PROPOSED UTILITIES:

1. 12" WATER MAIN

2. 12" SANITARY SEWER

3. 12" GAS MAIN

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28. 12" FITTING MAIN

29. 12" JOINT MAIN

30. 12" END MAIN

PROPOSED PAVEMENT:

1. ASPHALT PAVEMENT

2. CONCRETE PAVEMENT

3. GRAVEL PAVEMENT

4. SAND PAVEMENT

5. DIRT PAVEMENT

6. STONE PAVEMENT

7. BRICK PAVEMENT

8. TILE PAVEMENT

9. MARBLE PAVEMENT

10. GRANITE PAVEMENT

11. SLATE PAVEMENT

12. QUARTZ PAVEMENT

13. GEMSTONE PAVEMENT

14. METAL PAVEMENT

15. WOOD PAVEMENT

16. PLASTIC PAVEMENT

17. RUBBER PAVEMENT

18. GLASS PAVEMENT

19. CERAMIC PAVEMENT

20. POLYMER PAVEMENT

21. BIOPLASTIC PAVEMENT

22. NANOTECHNOLOGY PAVEMENT

23. SMART PAVEMENT

24. SELF-HEALING PAVEMENT

25. ENERGY EFFICIENT PAVEMENT

26. SUSTAINABLE PAVEMENT

27. GREEN PAVEMENT

28. ECO-FRIENDLY PAVEMENT

29. LOW CARBON PAVEMENT

30. ZERO EMISSION PAVEMENT

PROPOSED SIDEWALKS:

1. ASPHALT SIDEWALK

2. CONCRETE SIDEWALK

3. BRICK SIDEWALK

4. TILE SIDEWALK

5. MARBLE SIDEWALK

6. GRANITE SIDEWALK

7. SLATE SIDEWALK

8. QUARTZ SIDEWALK

9. GEMSTONE SIDEWALK

10. METAL SIDEWALK

11. WOOD SIDEWALK

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24. ECO-FRIENDLY SIDEWALK

25. LOW CARBON SIDEWALK

26. ZERO EMISSION SIDEWALK

PROPOSED SIGNAGE:

1. ARBY'S SIGNAGE

2. ADDRESS SIGNAGE

3. DIRECTIONAL SIGNAGE

4. PARKING SIGNAGE

5. TRAFFIC SIGNAGE

6. SAFETY SIGNAGE

7. ACCESSIBILITY SIGNAGE

8. LANGUAGE SIGNAGE

9. CULTURAL SIGNAGE

10. HISTORICAL SIGNAGE

11. ART SIGNAGE

12. PUBLIC SIGNAGE

13. COMMERCIAL SIGNAGE

14. RESIDENTIAL SIGNAGE

15. INDUSTRIAL SIGNAGE

16. MARINE SIGNAGE

17. TRANSPORTATION SIGNAGE

18. AVIATION SIGNAGE

19. SPACE SIGNAGE

20. AEROSPACE SIGNAGE

21. DEFENSE SIGNAGE

22. SECURITY SIGNAGE

23. LAW ENFORCEMENT SIGNAGE

24. FIRE DEPARTMENT SIGNAGE

25. POLICE SIGNAGE

26. EMERGENCY SIGNAGE

27. HEALTHCARE SIGNAGE

28. EDUCATION SIGNAGE

29. RESEARCH SIGNAGE

30. INNOVATION SIGNAGE

PROPOSED LIGHTING:

1. STREET LIGHTING

2. AREA LIGHTING

3. FLOOD LIGHTING

4. SECURITY LIGHTING

5. SIGNAGE LIGHTING

6. LANDSCAPE LIGHTING

7. ARCHITECTURAL LIGHTING

8. THEATRICAL LIGHTING

9. ENTERTAINMENT LIGHTING

10. SPORTS LIGHTING

11. INDUSTRIAL LIGHTING

12. OFFICE LIGHTING

13. RETAIL LIGHTING

14. RESTAURANT LIGHTING

15. HOTEL LIGHTING

16. RESIDENTIAL LIGHTING

17. COMMERCIAL LIGHTING

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28. EMERGENCY LIGHTING

29. HEALTHCARE LIGHTING

30. EDUCATION LIGHTING

PROPOSED LANDSCAPE:

1. TREES

2. SHRUBS

3. FLOWERING PLANTS

4. GRASSES

5. PERENNIALS

6. ANNUALS

7. HERBACEOUS PLANTS

8. BULBS

9. SUCкулУЛ PLANTS

10. CACTI

11. PALMS

12. TROPICAL PLANTS

13. SUBTROPICAL PLANTS

14. TEMPERATE PLANTS

15. COLD HARDY PLANTS

16. DROUGHT TOLERANT PLANTS

17. SUN TOLERANT PLANTS

18. SHADE TOLERANT PLANTS

19. WIND TOLERANT PLANTS

20. SALT TOLERANT PLANTS

21. AIR POLLUTION TOLERANT PLANTS

22. NOISE TOLERANT PLANTS

23. SOIL TOLERANT PLANTS

24. WATER TOLERANT PLANTS

25. DRY TOLERANT PLANTS

26. HIGH ALKALINITY TOLERANT PLANTS

27. HIGH ACIDITY TOLERANT PLANTS

28. HIGH SALINITY TOLERANT PLANTS

29. HIGH TEMPERATURE TOLERANT PLANTS

30. HIGH HUMIDITY TOLERANT PLANTS

CESO
 CIVIL ENGINEERING & SURVEYING
 1000 WEST 1000 SOUTH
 SPANISH FORK, UT 84660
 (435) 467-1000
 www.ceso.com

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SPANISH FORK
 UTAH COUNTY, UTAH

COVER SHEET
 SHEET NO: 001
 TOTAL SHEETS: 020

C1.0

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14. 12" EXHAUST MAIN

15. 12" DRAIN MAIN

16. 12" CONDENSATE MAIN

17. 12" RADIANT MAIN

18. 12" REFRIGERANT MAIN

19. 12" FUEL MAIN

20. 12" OIL MAIN

21. 12" AC MAIN

22. 12" HEAT MAIN

23. 12" COOLING MAIN

24. 12" CHILLER MAIN

25. 12" BOILER MAIN

26. 12" PUMP MAIN

27. 12" VALVE MAIN

28. 12" FITTING MAIN

29. 12" JOINT MAIN

30. 12" END MAIN

PROPOSED UTILITIES:

1. 12" WATER MAIN

2. 12" SANITARY SEWER

3. 12" GAS MAIN

4. 12" ELECTRIC MAIN

5. 12" TELEPHONE MAIN

6. 12" CABLE MAIN

7. 12" FIBER OPTIC MAIN

8. 12" RAINWATER MAIN

9. 12" STORMWATER MAIN

10. 12" GROUNDWATER MAIN

11. 12" SURFACE WATER MAIN

12. 12" AIR MAIN

13. 12" VENT MAIN

14. 12" EXHAUST MAIN

15. 12" DRAIN MAIN

16. 12" CONDENSATE MAIN

17. 12" RADIANT MAIN

18. 12" REFRIGERANT MAIN

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24. 12" CHILLER MAIN

25. 12" BOILER MAIN

26. 12" PUMP MAIN

27. 12" VALVE MAIN

28. 12" FITTING MAIN

29. 12" JOINT MAIN

30. 12" END MAIN

PROPOSED PAVEMENT:

1. ASPHALT PAVEMENT

2. CONCRETE PAVEMENT

3. GRAVEL PAVEMENT

4. SAND PAVEMENT

5. DIRT PAVEMENT

6. STONE PAVEMENT

7. BRICK PAVEMENT

8. TILE PAVEMENT

9. MARBLE PAVEMENT

10. GRANITE PAVEMENT

11. SLATE PAVEMENT

12. QUARTZ PAVEMENT

13. GEMSTONE PAVEMENT

14. METAL PAVEMENT

15. WOOD PAVEMENT

16. PLASTIC PAVEMENT

17. RUBBER PAVEMENT

18. GLASS PAVEMENT

19. CERAMIC PAVEMENT

20. POLYMER PAVEMENT

21. BIOPLASTIC PAVEMENT

22. NANOTECHNOLOGY PAVEMENT

23. SMART PAVEMENT

24. SELF-HEALING PAVEMENT

25. ENERGY EFFICIENT PAVEMENT

26. SUSTAINABLE PAVEMENT

27. GREEN PAVEMENT

28. ECO-FRIENDLY PAVEMENT

29. LOW CARBON PAVEMENT

30. ZERO EMISSION PAVEMENT

PROPOSED SIDEWALKS:

1. ASPHALT SIDEWALK

2. CONCRETE SIDEWALK

3. BRICK SIDEWALK

4. TILE SIDEWALK

5. MARBLE SIDEWALK

6. GRANITE SIDEWALK

7. SLATE SIDEWALK

8. QUARTZ SIDEWALK

9. GEMSTONE SIDEWALK

10. METAL SIDEWALK

11. WOOD SIDEWALK

12. PLASTIC SIDEWALK

13. RUBBER SIDEWALK

14. GLASS SIDEWALK

15. CERAMIC SIDEWALK

16. POLYMER SIDEWALK

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19. SMART SIDEWALK

20. SELF-HEALING SIDEWALK

21. ENERGY EFFICIENT SIDEWALK

22. SUSTAINABLE SIDEWALK

23. GREEN SIDEWALK

24. ECO-FRIENDLY SIDEWALK

25. LOW CARBON SIDEWALK

26. ZERO EMISSION SIDEWALK

PROPOSED SIGNAGE:

1. ARBY'S SIGNAGE

2. ADDRESS SIGNAGE

3. DIRECTIONAL SIGNAGE

4. PARKING SIGNAGE

5. TRAFFIC SIGNAGE

6. SAFETY SIGNAGE

7. ACCESSIBILITY SIGNAGE

8. LANGUAGE SIGNAGE

9. CULTURAL SIGNAGE

10. HISTORICAL SIGNAGE

11. ART SIGNAGE

12. PUBLIC SIGNAGE

13. COMMERCIAL SIGNAGE

14. RESIDENTIAL SIGNAGE

15. INDUSTRIAL SIGNAGE

16. MARINE SIGNAGE

17. TRANSPORTATION SIGNAGE

18. AVIATION SIGNAGE

19. SPACE SIGNAGE

20. AEROSPACE SIGNAGE

21. DEFENSE SIGNAGE

22. SECURITY SIGNAGE

23. LAW ENFORCEMENT SIGNAGE

24. FIRE DEPARTMENT SIGNAGE

25. POLICE SIGNAGE

26. EMERGENCY SIGNAGE

27. HEALTHCARE SIGNAGE

28. EDUCATION SIGNAGE

29. RESEARCH SIGNAGE

30. INNOVATION SIGNAGE

PROPOSED LIGHTING:

1. STREET LIGHTING

2. AREA LIGHTING

3. FLOOD LIGHTING

4. SECURITY LIGHTING

5. SIGNAGE LIGHTING

6. LANDSCAPE LIGHTING

7. ARCHITECTURAL LIGHTING

8. THEATRICAL LIGHTING

9. ENTERTAINMENT LIGHTING

10. SPORTS LIGHTING

11. INDUSTRIAL LIGHTING

12. OFFICE LIGHTING

13. RETAIL LIGHTING

14. RESTAURANT LIGHTING

15. HOTEL LIGHTING

16. RESIDENTIAL LIGHTING

17. COMMERCIAL LIGHTING

18. PUBLIC LIGHTING

19. TRANSPORTATION LIGHTING

20. AVIATION LIGHTING

21. SPACE LIGHTING

22. AEROSPACE LIGHTING

23. DEFENSE LIGHTING

24. SECURITY LIGHTING

25. LAW ENFORCEMENT LIGHTING

26. FIRE DEPARTMENT LIGHTING

27. POLICE LIGHTING

28. EMERGENCY LIGHTING

29. HEALTHCARE LIGHTING

30. EDUCATION LIGHTING

PROPOSED LANDSCAPE:

1. TREES

2. SHRUBS

3. FLOWERING PLANTS

4. GRASSES

5. PERENNIALS

6. ANNUALS

7. HERBACEOUS PLANTS

8. BULBS

9. SUCкулУЛ PLANTS

10. CACTI

11. PALMS

12. TROPICAL PLANTS

13. SUBTROPICAL PLANTS

14. TEMPERATE PLANTS

15. COLD HARDY PLANTS

16. DROUGHT TOLERANT PLANTS

17. SUN TOLERANT PLANTS

18. SHADE TOLERANT PLANTS

19. WIND TOLERANT PLANTS

20. SALT TOLERANT PLANTS

21. AIR POLLUTION TOLERANT PLANTS

22. NOISE TOLERANT PLANTS

23. SOIL TOLERANT PLANTS

24. WATER TOLERANT PLANTS

25. DRY TOLERANT PLANTS

26. HIGH ALKALINITY TOLERANT PLANTS

27. HIGH ACIDITY TOLERANT PLANTS

28. HIGH SALINITY TOLERANT PLANTS

29. HIGH TEMPERATURE TOLERANT PLANTS

30. HIGH HUMIDITY TOLERANT PLANTS

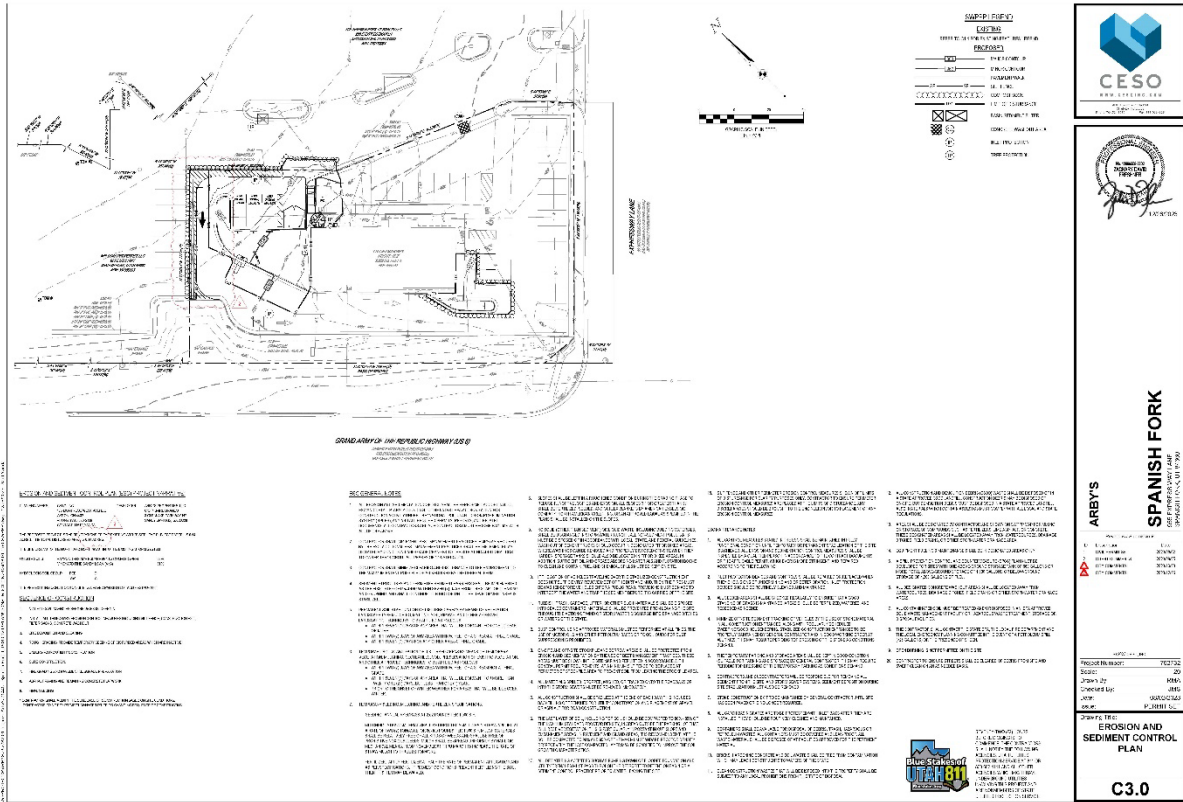
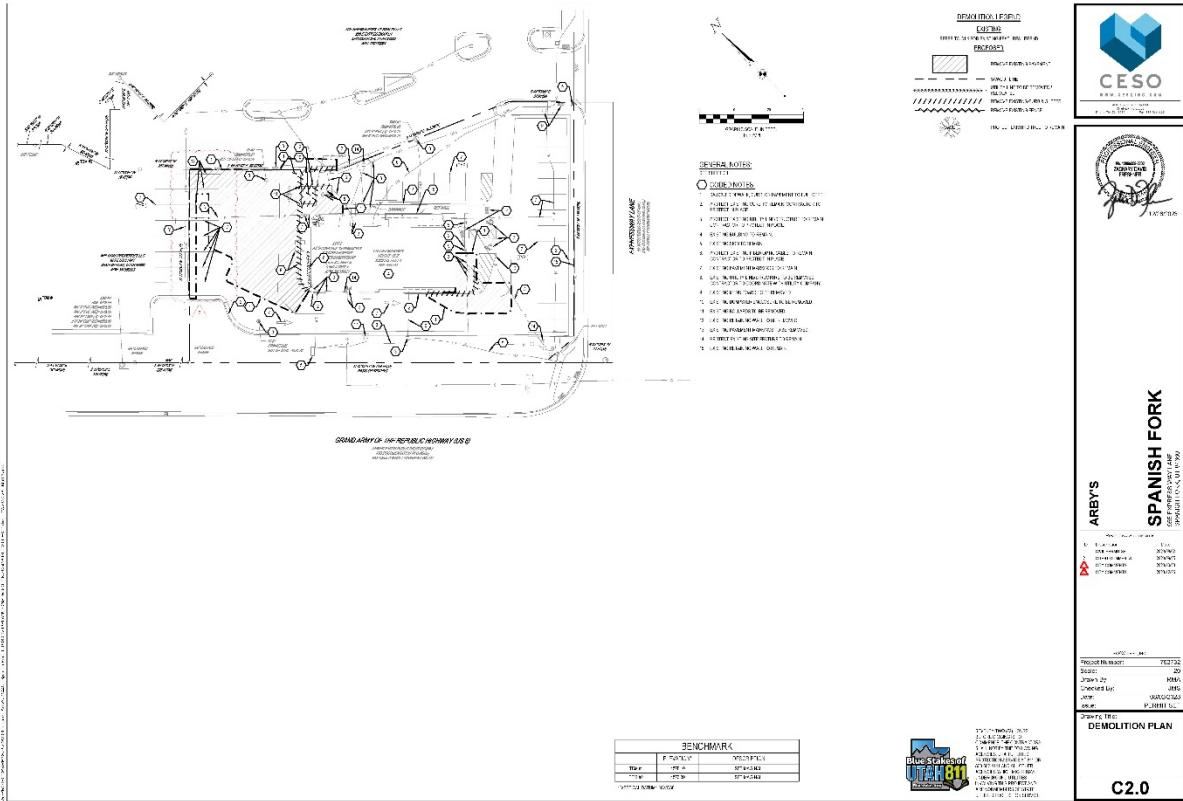
CESO
 CIVIL ENGINEERING & SURVEYING
 1000 WEST 1000 SOUTH
 SPANISH FORK, UT 84660
 (435) 467-1000
 www.ceso.com

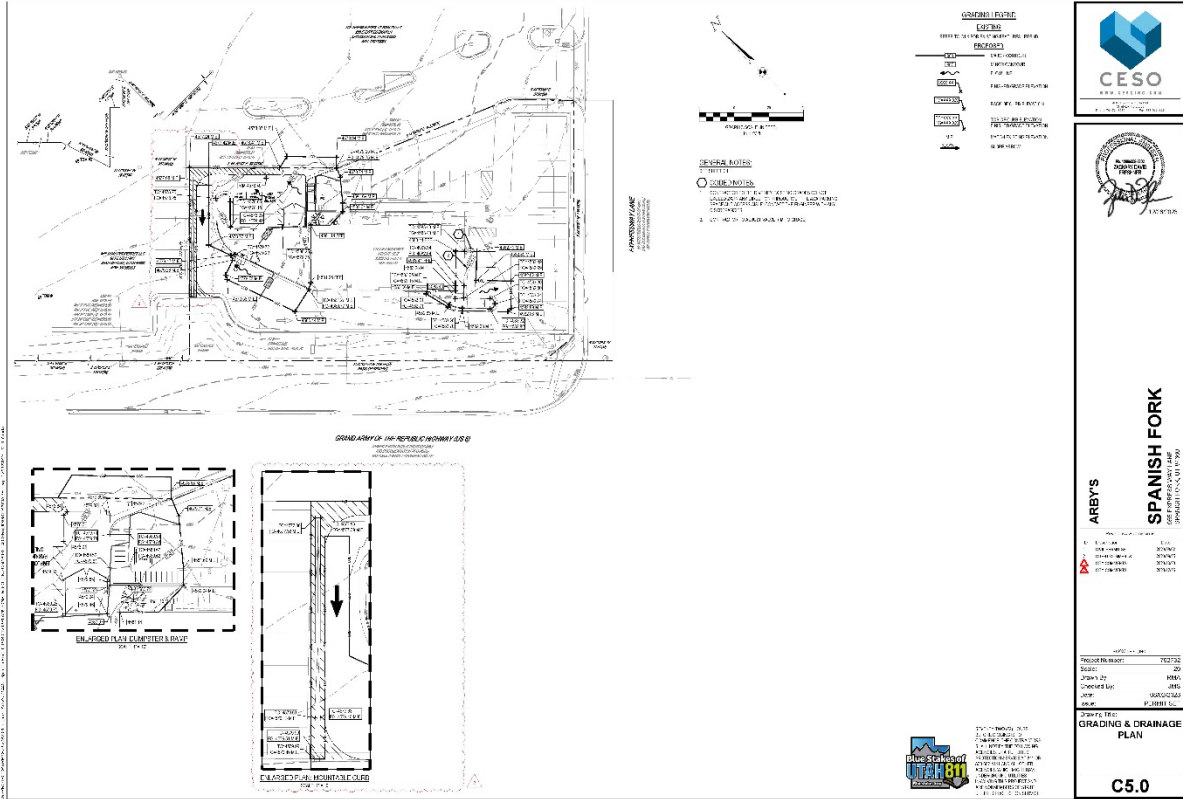
ARBY'S
 955 EXPRESSWAY LANE
 SPANISH FORK, UT 84660

SPANISH FORK
 UTAH COUNTY, UTAH

GENERAL NOTES
 SHEET NO: 001
 TOTAL SHEETS: 020

C1.1





CESO
CITY ENGINEERING SERVICES OFFICE

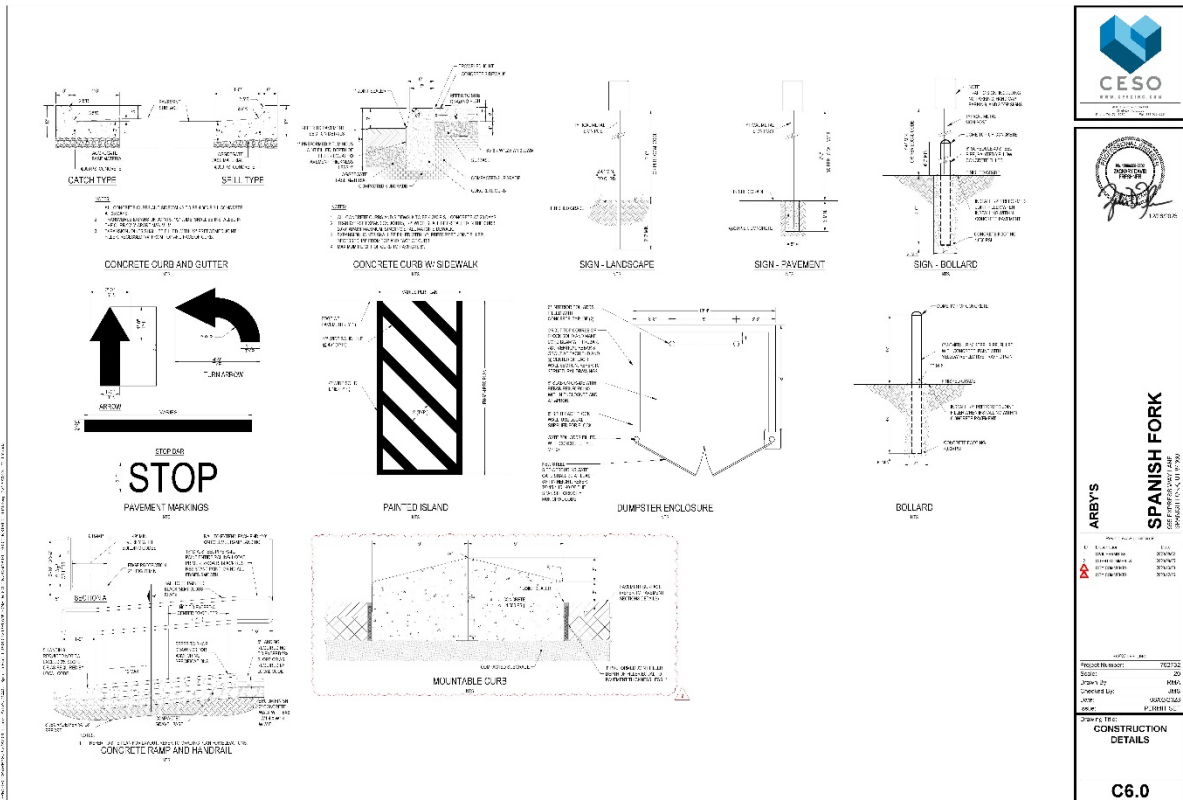
ARBYS

SPANISH FORK
PROJECT LOCATION

PROJECT NO.	72732
DATE	02/20/24
DESIGNED BY	ARL
CHECKED BY	ARL
DATE	02/20/24
PROJECT NO.	72732

PROJECT TITLE: **GRADING & DRAINAGE PLAN**

C5.0



CESO
CITY ENGINEERING SERVICES OFFICE

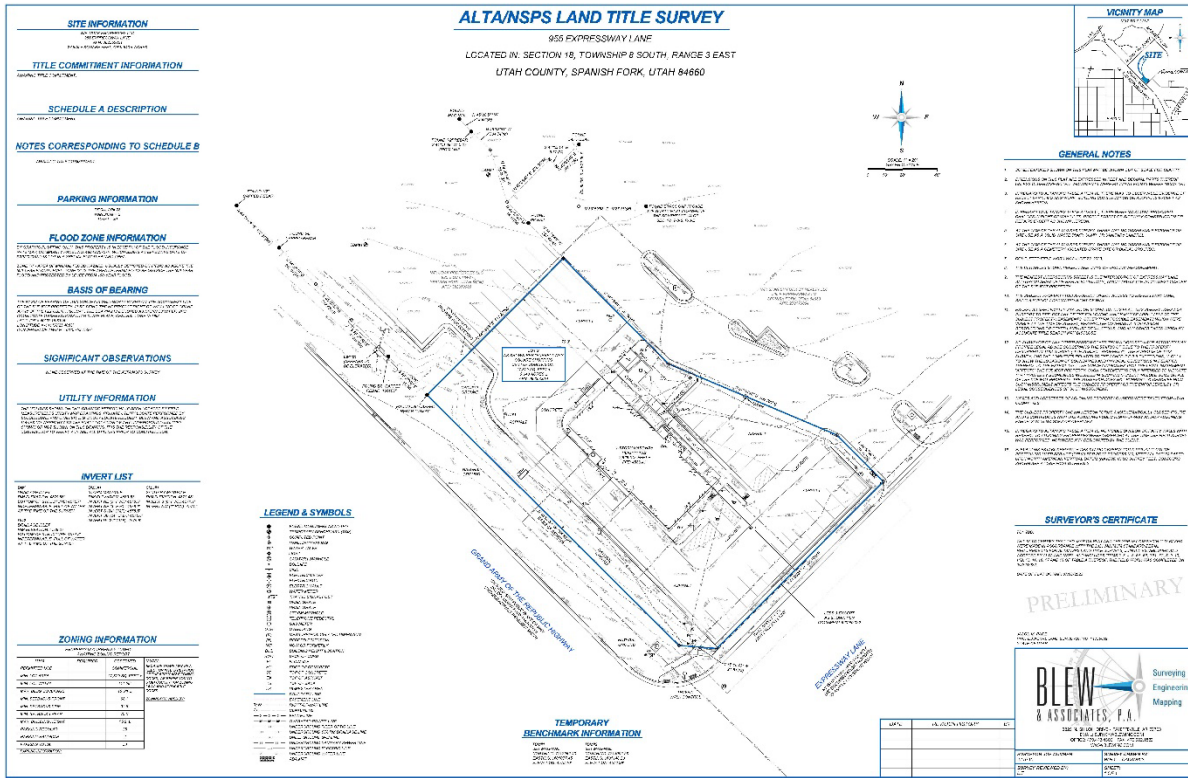
ARBYS

SPANISH FORK
PROJECT LOCATION

PROJECT NO.	72732
DATE	02/20/24
DESIGNED BY	ARL
CHECKED BY	ARL
DATE	02/20/24
PROJECT NO.	72732

PROJECT TITLE: **CONSTRUCTION DETAILS**

C6.0



CITY OF SPANISH FORK, UTAH COUNTY, UTAH SITE IMPROVEMENT PLANS

FOR ARBY'S #1445

955 EXPRESSWAY LANE,
SPANISH FORK, UT 84660

OWNER/DEVELOPER:
ARBY'S PROPERTIES, LLC
C/O INSPIRE BRANDS
3 GLENLAKE PKWY NE
SANDY SPRINGS, GA 30328

ARCHITECT:
RED ARCHITECTURE & PLANNING
589 NATIONWIDE BLVD
COLUMBUS, OH 43215
PHONE: (614) 487-8770
CONTACT: MARK THOMPSON

ENGINEER:
CESO, INC.
175 MONTROSE WEST AVE. SUITE 400
AKRON, OH 44321
PHONE: (330) 396-5139
CONTACT: MATT YANDA

GOVERNING AGENCIES AND UTILITY COMPANIES:

SEWER:
SPANISH FORK PUBLIC WORKS
WASTEWATER DIVISION
40 S MAIN ST., OFFICE 210
SPANISH FORK, UT 84660
PHONE: (801) 804-4550

GAS SERVICE:
DOMINION ENERGY
CUSTOMER SERVICE
PHONE: (800) 323-5517

WATER:
SPANISH FORK PUBLIC WORKS
WATER DIVISION
40 S MAIN ST., OFFICE 210
SPANISH FORK, UT 84660
PHONE: (801) 804-4550

COMMUNICATIONS:
SPANISH FORK COMMUNITY NETWORK
65 SOUTH 630 WEST
SPANISH FORK, UT 84660
PHONE: (801) 798-2877

STORMWATER:
SPANISH FORK PUBLIC WORKS
STORMWATER DIVISION
40 S MAIN ST., OFFICE 210
SPANISH FORK, UT 84660
PHONE: (801) 804-4550

ELECTRIC:
SPANISH FORK PUBLIC WORKS
POWER & LIGHT DIVISION
40 S MAIN ST., OFFICE 210
SPANISH FORK, UT 84660
PHONE: (801) 804-4550

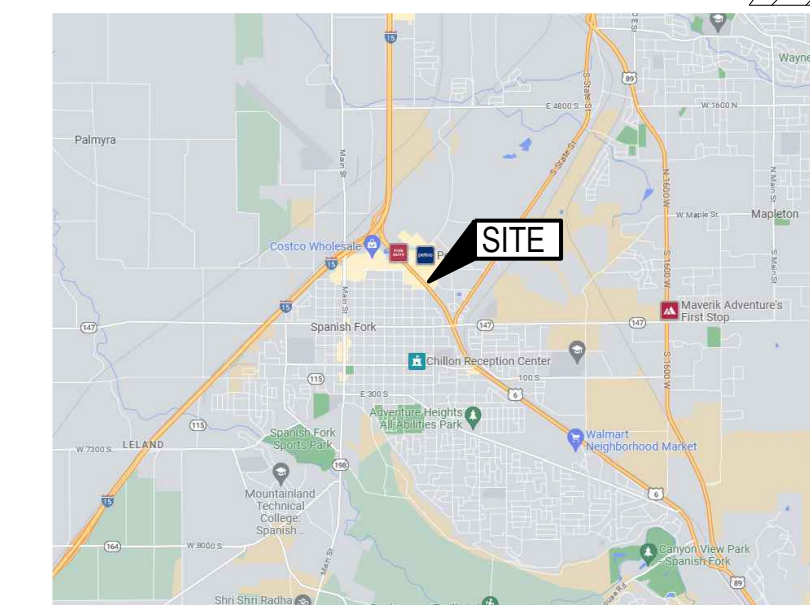
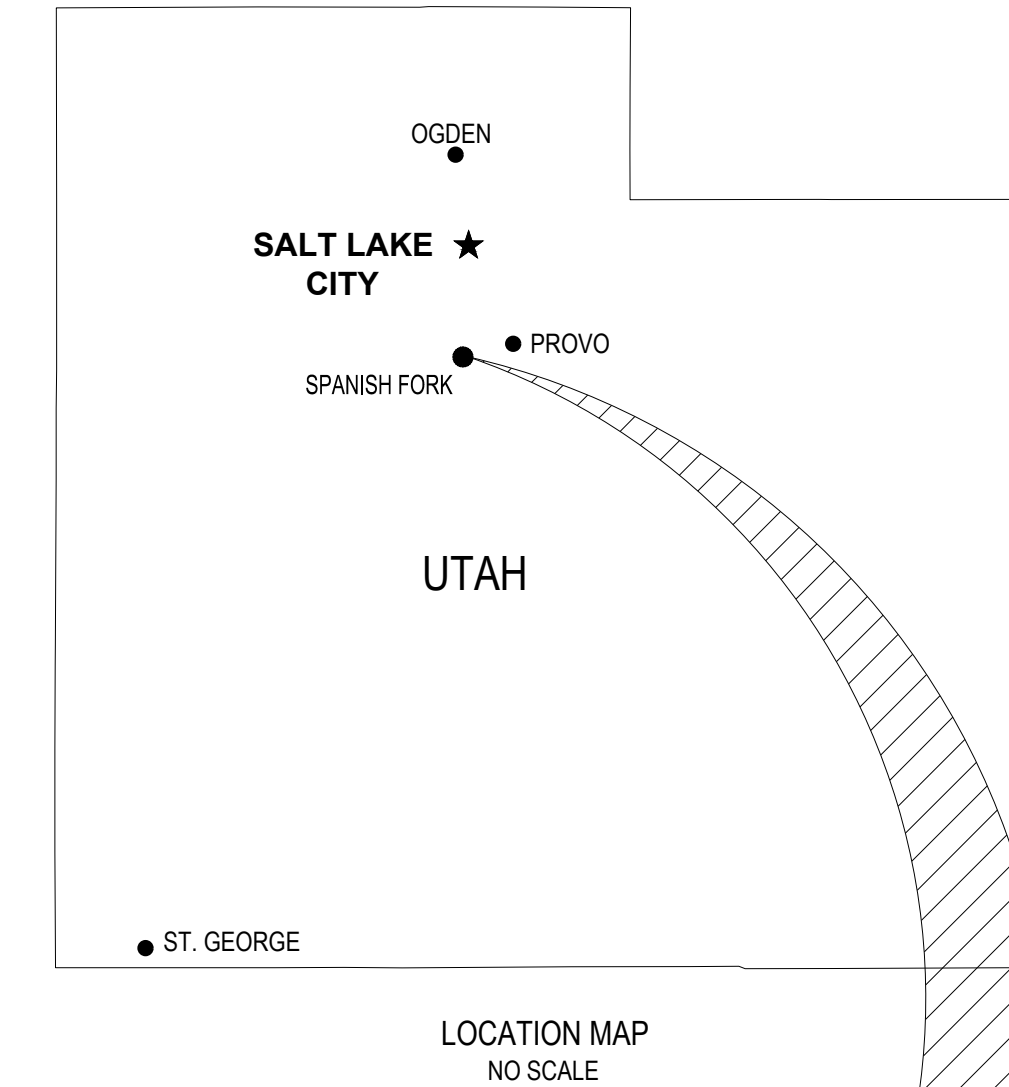
ZONING:
SPANISH FORK PLANING & ECONOMIC
DEVELOPMENT
40 S MAIN ST
SPANISH FORK, UT 84660
PHONE: (801) 804-4580

PROPERTY DATA:

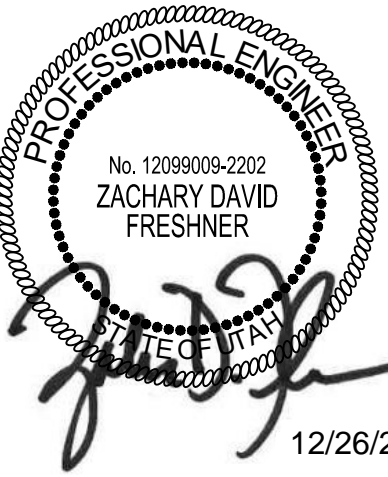
PARCEL OWNER: UDAK PROPERTIES LLC
PARCEL ID: 382350021
ADDRESS: 955 EXRESSWAY LN
SPANISH FORK, UT 84660
PROPERTY AREA: 0.640 AC
ZONING: S-C (SHOPPING CENTER)
PROPOSED USE: RESTAURANT WITH DRIVE-THRU

	REQUIRED	PROPOSED
BUILDING SETBACKS		
FRONTAGE ALONG STREET:	25'	68.09' (EXISTING)
SIDE:	0'	32.07' (EXISTING)
REAR:	0'	69.99' (EXISTING)
CORNER:	15'	67.25' (EXISTING)
MAXIMUM BUILDING HEIGHT:	48'	
BUILDING AREA:		2,969 SF (EXISTING)
PARKING:		
TOTAL PARKING SPACES:	30	29
ADA PARKING SPACES:	2	2
FLOODPLAIN DESIGNATION:	AREA OF MINIMAL FLOOD HAZARD ZONE X COMMUNITY PANEL NO. 49049C0757F EFFECTIVE DATE OF 06/19/2020	

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	EROSION AND SEDIMENT CONTROL PLAN
C3.1	EROSION AND SEDIMENT CONTROL DETAILS
C4.0	SITE IMPROVEMENT PLAN
C5.0	GRADING & DRAINAGE PLAN
C6.0	CONSTRUCTION DETAILS
1 OF 1	ALTA/NSPS LAND TITLE SURVEY



4601 Park Road Suite 650
Charlotte, NC 28209
Phone: 704.521.7979 Fax: 888.208.4826



ARBY'S
SPANISH FORK
955 EXPRESSWAY LANE
SPANISH FORK, UT 84660

Revisions / Submissions		
ID	Description	Date
1	CIVIL PERMIT SET	2023/08/02
2	CLIENT COMMENTS	2023/09/25
⚠️	CITY COMMENTS	2023/10/23
⚠️	CITY COMMENTS	2023/12/26

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Project Number: 762732
Scale: 20
Drawn By: RMA
Checked By: JMS
Date: 08/02/2023
Issue: PERMIT SET

Drawing Title:
COVER SHEET

C1.0

SURVEY PROVIDED BY:
BLEW & ASSOCIATES, P.A.
3825 N SHILOH DRIVE
FAYETTEVILLE, AR 72703
PHONE: 479.443.4506
DATED: 2023.07.03

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: UTAH UTILITIES PROTECTION SERVICE AT 811 OR 800-652-4111 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

BENCHMARK		
	ELEVATION*	DESCRIPTION
TBM #1	4578.10	SET MAG-NAIL
TBM #2	4576.39	SET MAG-NAIL

* VERTICAL DATUM: NAVD88

GENERAL NOTES

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS SPECIFIED BY A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
- FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS AT ALL TIMES.
- PRIOR TO DEMOLITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE STATE 811 AND NOTIFY ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED/RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. IF THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN INSIDE AND OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGES AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. ANY EXISTING SITE FEATURE TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO, OR BETTER THAN, THE EXISTING CONDITIONS. PRIOR TO BEING DAMAGED, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- PRIOR TO DEMOLITION, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE GOVERNING AGENCIES GUIDELINES AND STANDARDS. DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SAWCUT LINE PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF THE SAWCUT THAT WILL BE REQUIRED AS WELL AS PAVEMENT REPAIRS TO INSTALL UTILITY TRENCHING. IF ANY DAMAGE OCCURS ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS. SAWCUT EXISTING PAVEMENT TO FULL DEPTH, USING CARE TO CUT NEAT, STRAIGHT LINES. CUT AT EXISTING JOINTS WHERE POSSIBLE.
- THE CONTRACTOR SHALL MAINTAIN A WELL-DRAINED SITE, FREE OF STANDING WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO COORDINATE ACCESS POINTS AND ELEVATIONS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORS, ENTRY RAMP, AND CANOPY.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ACCESSIBILITY STANDARDS SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES. ADA PARKING STALLS SHALL MEET ADA GRADE GUIDELINES. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AT ACCESS POINTS, ACCESSIBLE ROUTES, AND EXISTING PARKING TO REMAIN TO DETERMINE COMPLIANCE WITH STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
- PROVIDE SIGNAGE AND STRIPING AS SHOWN. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE GOVERNING MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). PAVEMENT MARKINGS ON ASPHALT SHALL BE WHITE. PAVEMENT MARKINGS ON CONCRETE SHALL BE YELLOW.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING SIGNAGE.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
- REFER TO ORIGINAL SURVEY PROVIDED BY BLEW & ASSOCIATES DATED JULY 3, 2023.
- ALL LIGHT POLES TO BE LOCATED 3' FROM THE BACK OF CURB, AS MEASURED FROM THE FACE OF POLE FOUNDATION, UNLESS OTHERWISE DENOTED ON PLANS.

GRADING NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
- ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ADA ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE GRADED WITH A 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS. ALL ADA ACCESSIBLE ROUTES SHALL BE GRADED WITH A 2.0% MAXIMUM CROSS SLOPE AND 5.0% MAXIMUM RUNNING SLOPE.
- MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN THE LIMITS OF DISTURBANCE (LOD).
- COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.
- EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION PRIOR TO DAMAGE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WITHIN PAVED AREAS.
- ALL TOPSOIL MUST BE REMOVED BEFORE FILL MATERIAL IS PLACED.
- ALL WET, OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACTION, OR SOIL TREATMENT (LIME/CEMENT) UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER.
- ALL UNSURFACED AREAS, DISTURBED BY GRADING, OPERATION SHALL RECEIVE 6" OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER AND SEED WITH LOW MAINTENANCE GRASS SEED MIX. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. ALL EXPOSED SURFACE AREAS SHALL BE STABILIZED PER THE SWPPP AND LANDSCAPE REQUIREMENTS AS PART OF THIS PLAN SET.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
- ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL COUNTY AND UDOT STANDARDS.
- ALL DOWNSPOUT DRAIN LINES OR ROOF LEADERS SHALL HAVE A 1.0% MINIMUM SLOPE, UNLESS OTHERWISE NOTED. CONNECT ALL DOWNSPOUTS AND ROOF LEADERS TO THE STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF LEADER LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
- WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.
- IF EXISTING FIELD TILES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE REPAIRED AND/OR TIED INTO A STORM SEWER SYSTEM AS NEEDED TO MAINTAIN POSITIVE DRAINAGE.

UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- WATER AND SANITARY UTILITIES SHALL HAVE TEN (10') FEET OF HORIZONTAL CLEARANCE WHEN PARALLEL OR 18" VERTICAL CLEARANCE WHEN CROSSING. ALL CLEARANCE DISTANCES SHALL BE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
- IF A WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWER LINE SHOULD BE CONSTRUCTED OF A WATERTIGHT MATERIAL APPROVED BY THE REGULATORY AGENCY FOR USE IN WATER MAIN CONSTRUCTION AND SHALL EXTEND TEN (10') FEET ON BOTH SIDES OF THE CROSSING, AS MEASURED PERPENDICULAR TO THE WATER LINES. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
- UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.

EXISTING FEATURES LEGEND

APPLIES TO ALL CIVIL SHEETS

	RIGHT OF WAY		PARCEL LINE
	PROPERTY BOUNDARY		EASEMENT
	CURB		EDGE OF PAVEMENT
	EDGE OF WALK		PAVEMENT MARKINGS
	GAS LINE		WATER LINE
	UNDERGROUND ELECTRIC		UNDERGROUND TELE
	UNDERGROUND FIBER OPTIC		OVERHEAD LIGHTING
	STORM SEWER		SANITARY SEWER
	MAJOR CONTOURS		MINOR CONTOURS
	WATER METER		STORM CATCH BASIN
	WATER VALVE		STORM INLET BASIN
	POWER/TELE POLE		STORM MANHOLE
	AIR CONDITIONER		STORM CLEANOUT
	ELECTRIC BOX		SANITARY MANHOLE
	LIGHT POLE		SANITARY CLEANOUT
	GAS VALVE		TRAFFIC MANHOLE
	GAS METER		SIGN
			TELEPHONE POLE



CESO
WWW.CESOINC.COM

4601 Park Road Suite 650
Charlotte, NC 28209
Phone: 704.521.7979 Fax: 888.208.4826



12/26/2023

ARBY'S

SPANISH FORK
955 EXPRESS WAY LANE
SPANISH FORK, UT 84660

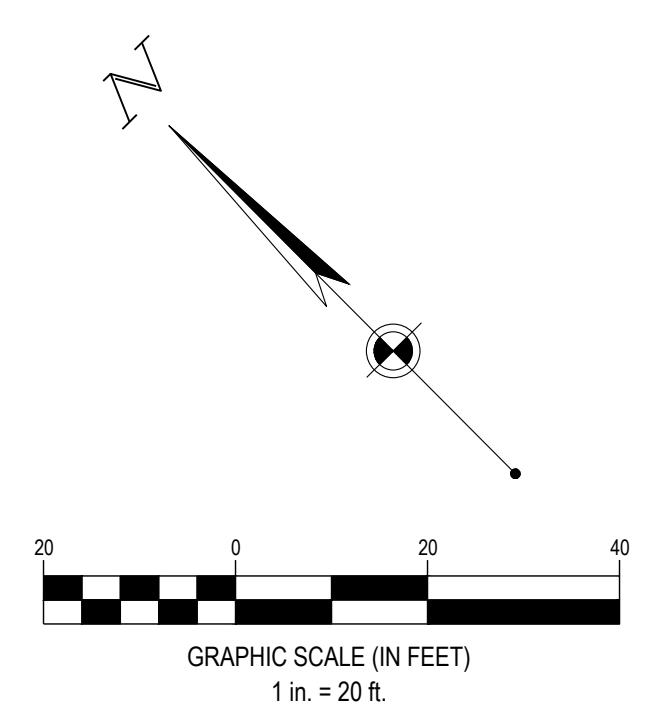
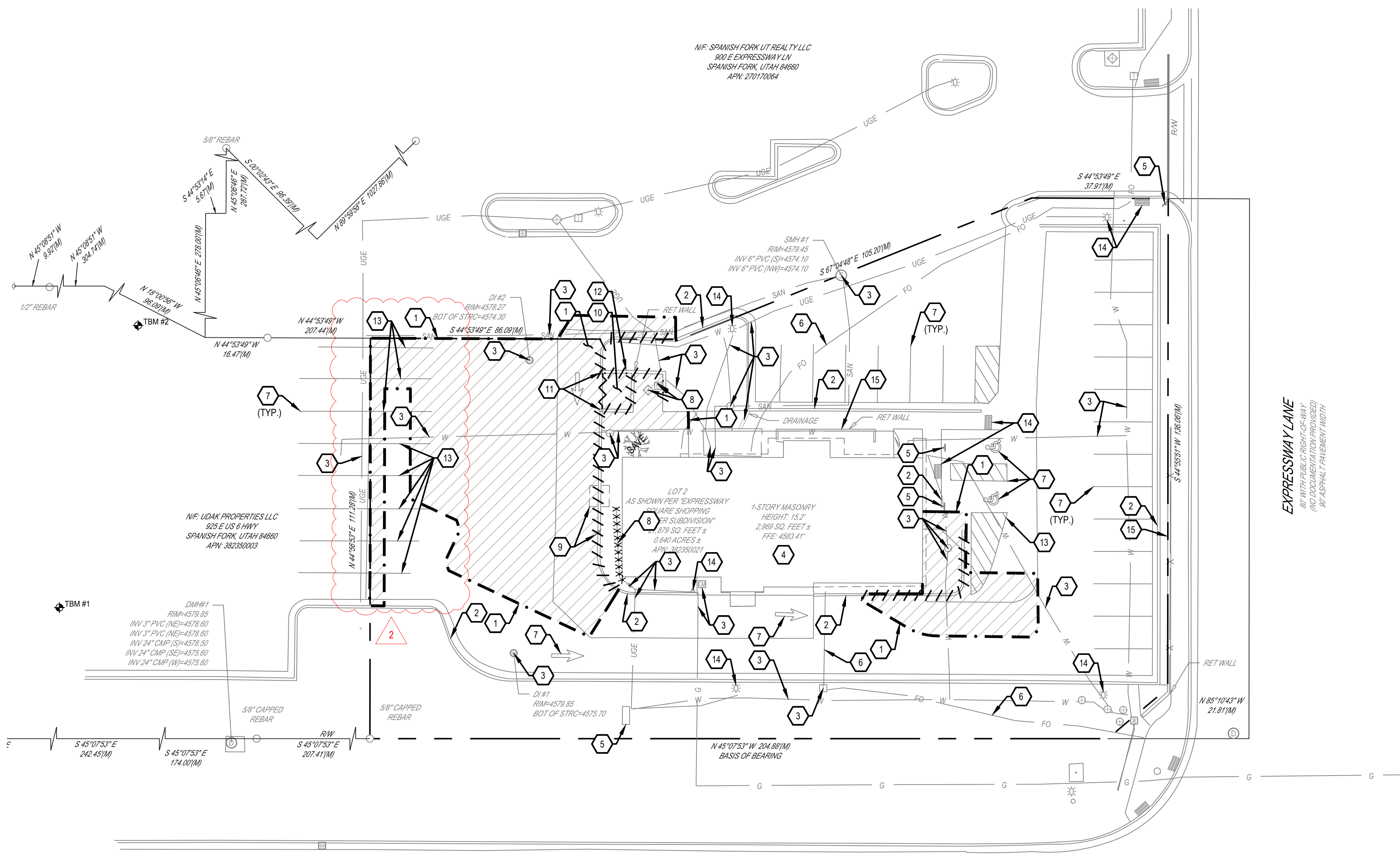
Revisions / Submissions		
ID	Description	Date
1	CIVIL PERMIT SET	2023/08/02
2	CLIENT COMMENTS	2023/09/25
3	CITY COMMENTS	2023/10/23
4	CITY COMMENTS	2023/12/26

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Project Number: **762732**
Scale: **20**
Drawn By: **RMA**
Checked By: **JMS**
Date: **08/02/2023**
Issue: **PERMIT SET**

Drawing Title:
GENERAL NOTES

C1.1

W:\PROJECTS\ARBYS\762732-01 Inspire - Arby's #1445 - Spanish Fork, UT\03-CIVIL\PLAN\CONSTRUCTION\762732-01-C20-DEMO.dwg - 12/26/2023 - Matt Yanda



DEMOLITION LEGEND

- EXISTING**
REFER TO C1.1 FOR EXISTING FEATURES LEGEND
- PROPOSED**
- REMOVE EXISTING PAVEMENT
 - SAWCUT LINE
 - UTILITY LINE TO BE REMOVED / RELOCATED
 - REMOVE EXISTING CURB & GUTTER
 - REMOVE EXISTING FENCE
 - PROTECT EXISTING TREE TO REMAIN

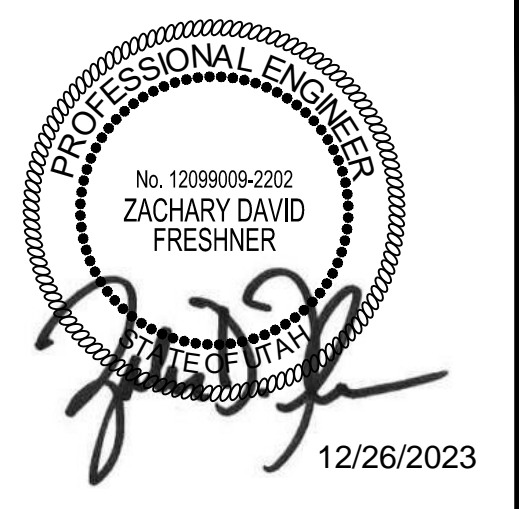
GENERAL NOTES:
SEE SHEET C1.1

CODED NOTES:

1. SAWCUT SIDEWALK, CURB, OR PAVEMENT TO FULL DEPTH.
2. PROTECT EXISTING CURB TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
3. PROTECT EXISTING UTILITY LINE/STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
4. EXISTING BUILDING TO REMAIN.
5. EXISTING SIGN TO REMAIN.
6. PROTECT EXISTING FIBER OPTIC CABLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
7. EXISTING PAVEMENT MARKINGS TO REMAIN.
8. EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
9. EXISTING MENU BOARD TO BE REMOVED.
10. EXISTING DUMPSTER ENCLOSURE TO BE REMOVED.
11. EXISTING BOLLARDS TO BE REMOVED.
12. EXISTING RETAINING WALL TO BE REMOVED.
13. EXISTING PAVEMENT MARKINGS TO BE REMOVED.
14. PROTECT EXISTING SITE FEATURE TO REMAIN.
15. EXISTING RETAINING WALL TO REMAIN.

GRAND ARMY OF THE REPUBLIC HIGHWAY (US 6)
VARIABLE WITH PUBLIC RIGHT-OF-WAY
(INDICATED BY DASHED LINE)
VARIABLE ASPHALT PAVEMENT WIDTH

EXPRESSWAY LANE
(INDICATED BY DASHED LINE)
VARIABLE ASPHALT PAVEMENT WIDTH



ARBY'S

SPANISH FORK
955 EXPRESS WAY LANE
SPANISH FORK, UT 84660

Revisions / Submissions		
ID	Description	Date
1	CIVIL PERMIT SET	2023/08/02
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Project Number: 762732
Scale: 20
Drawn By: RMA
Checked By: JMS
Date: 08/02/2023
Issue: PERMIT SET

Drawing Title:
DEMOLITION PLAN

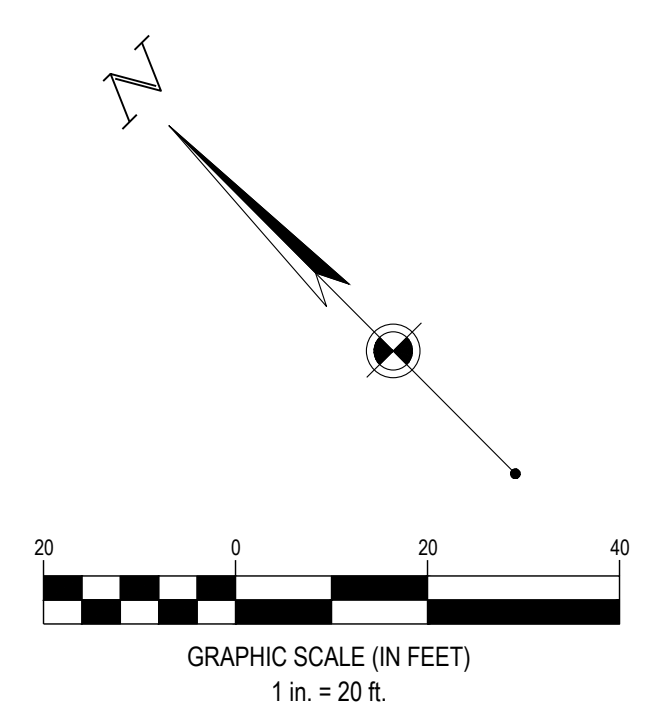
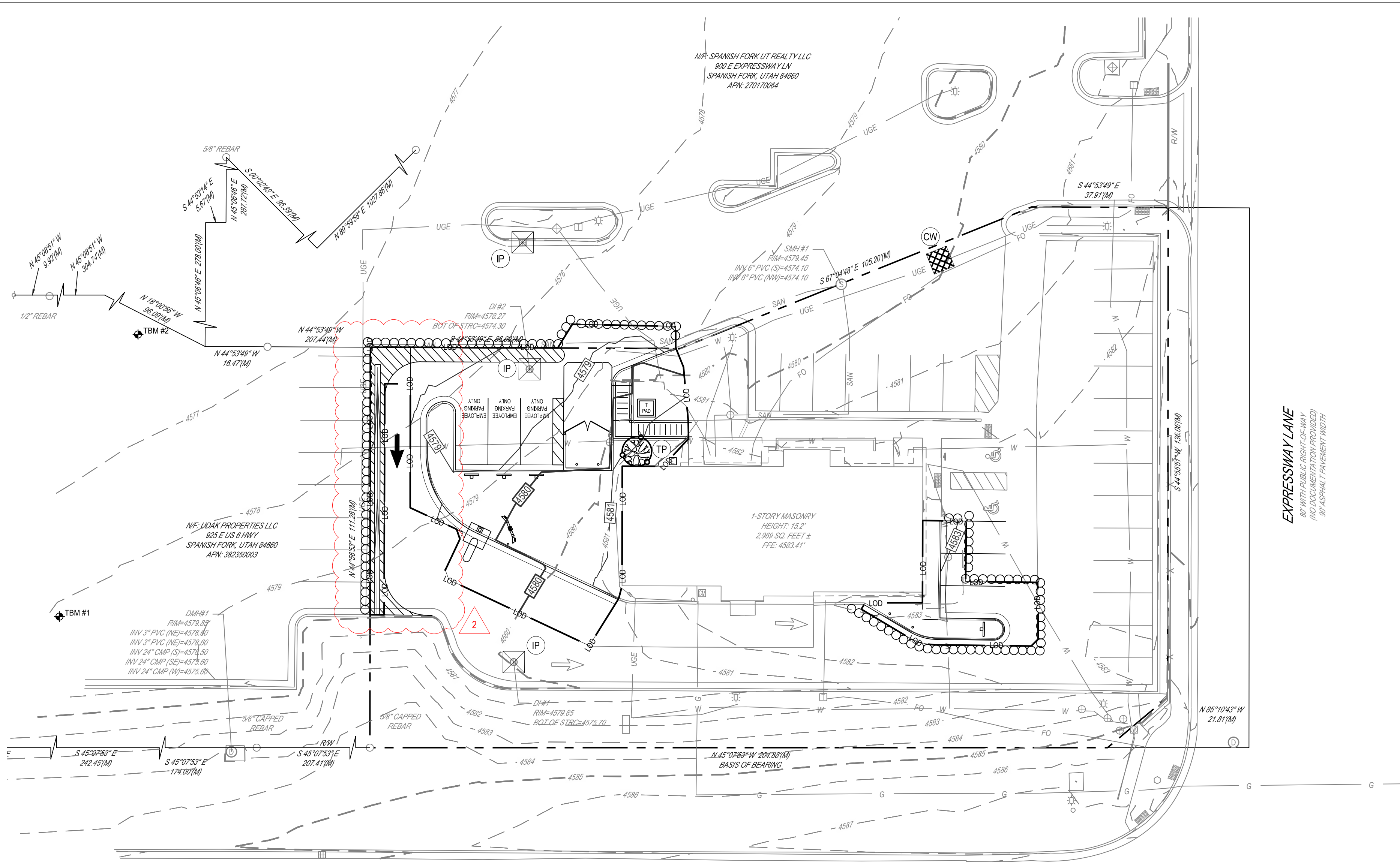
BENCHMARK		
	ELEVATION'	DESCRIPTION
TBM #1	4578.10	SET MAG-NAIL
TBM #2	4576.39	SET MAG-NAIL

* VERTICAL DATUM: NAVD88



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: UTAH UTILITIES PROTECTION SERVICE AT 811 OR 800-652-4111 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

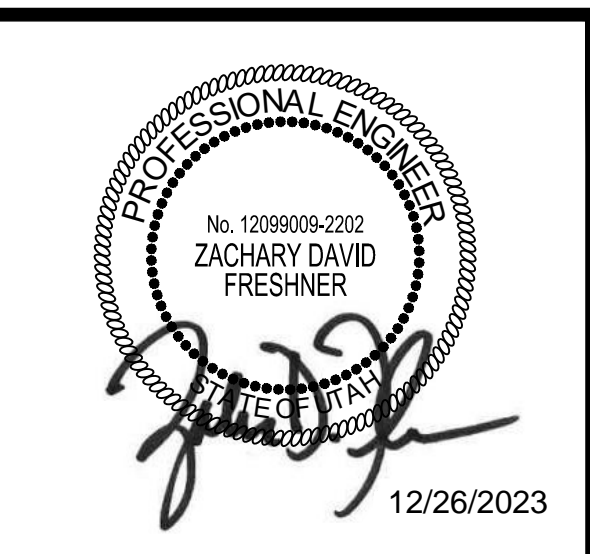
C2.0



SWPPP LEGEND

REFER TO C1.1 FOR EXISTING FEATURES LEGEND

EXISTING		PROPOSED	
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	PAVEMENT/WALK		PAVEMENT/WALK
	SILT FENCE		SILT FENCE
	COMPOST SOCK		COMPOST SOCK
	LIMIT OF DISTURBANCE		LIMIT OF DISTURBANCE
	BASIN SEDIMENT FILTER		BASIN SEDIMENT FILTER
	CONCRETE WASHOUT AREA		CONCRETE WASHOUT AREA
	INLET PROTECTION		INLET PROTECTION
	TREE PROTECTION		TREE PROTECTION



GRAND ARMY OF THE REPUBLIC HIGHWAY (US 6)
 VARIABLE WITH PUBLIC RIGHT-OF-WAY
 (NOT DOCUMENTED OR PROVIDED)
 VARIABLE ASPHALT PAVEMENT WIDTH

EROSION AND SEDIMENT CONTROL PLAN (ESC) PROJECT NARRATIVE:

PLAN ENGINEERS: CESO, INC. 175 MONTROSE WEST AVENUE AKRON, OH 44321 PHONE: (330) 386-4139 CONTACT: MATT YANDA

DEVELOPER: ARBY'S PROPERTIES, LLC C/O INSPIRE BRANDS 3 GLENLAKE PARKWAY NE SANDY SPRINGS, GA 30028

THE PROPOSED PROJECT IS THE RENOVATIONS OF THE EXISTING ARBY'S SITE. THE SUBJECT PARCEL IS 0.64 ACRES. THE TOTAL DISTURBED AREA IS 0.14 ACRES.

THE SITE DRAINS TO THE NORTH AND NORTHWEST INTO THE EXISTING STORM SYSTEM.

ON-SITE SOILS: PAYSON TERRACE ESCARPMENTS COMPLEX (PEE) 69% VINEYARD FINE SANDY LOAM (VVA) 31%

HYDROLOGIC SOIL GROUP: PEE D VVA A

THE PRE-EXISTING CONDITIONS ON-SITE IS A PAVED PARKING LOT AND RESTAURANT.

SEQUENCE OF CONSTRUCTION

- NOTIFY LOCAL AGENCIES BEFORE WORK IS TO BEGIN.
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING SILT FENCE, CONSTRUCTION EXIT, FILTER SACKS, CONCRETE WASHOUT.
- SITE DEMOLITION AND CLEARING.
- ROUGH GRADING. PROVIDE TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
- UNDERGROUND UTILITY CONSTRUCTION.
- CURB CONSTRUCTION.
- FINE GRADING AND PAVEMENT SUBGRADE PREPARATION.
- ASPHALT PAVING AND REMAINING CONCRETE FLATWORK.
- FINAL SEEDING.

* CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.

ESC GENERAL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO ESC AND DETAIL PLANS, ACCORDING TO THE LATEST EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE ESC. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT.
- SEDIMENT STRUCTURES AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE DEVELOPMENT AREA IS STABILIZED.
- PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
 - WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
 - WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
 - WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
- TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MATTING, GEOTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
 - WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE.
 - WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN TWENTY ONE (21) DAYS, BUT LESS THAN ONE (1) YEAR.
 - PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
- TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:
 - SEEDING: ANNUAL RYEGRASS AT 2.02 POUNDS PER 1,000 S.F.
 - MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORM BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.
 - FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
- NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. ALL NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. AT A MINIMUM SILT FENCE TO BE PLACED AT PERIMETER OF STOCKPILE AREA TO PREVENT SOIL FROM LEAVING THE STOCKPILE AREA.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY. IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION, THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY. THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
- ALL DEWATERING ACTIVITIES SUCH AS PUMPING DOWN OF FLOODED FOUNDATION AND UTILITY TRENCHES MUST PASS THROUGH THE RETROFITTED DETENTION BASIN OR A SEDIMENT CONTROL PRACTICE PRIOR TO WATER LEAVING THE SITE.
- SILT FENCE AND OTHER PERIMETER EROSION CONTROL MEASURES SHOWN OFF LIMITS OF DISTURBANCE FOR CLARITY PURPOSES ONLY. CONTRACTOR TO ENSURE PERIMETER EROSION CONTROL MEASURES ARE PLACED AT THE LIMITS OF DISTURBANCE. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER PRIOR TO PLACEMENT OF ANY EROSION CONTROL MEASURES.

ESC MAINTENANCE NOTES

- ALL CONTROL MEASURES STATED IN THE ESC SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
 - INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION. INLET PROTECTION DEVICES SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
 - ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
 - MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED BY GENERAL CONTRACTOR AND IN GOOD WORKING ORDER AT ALL TIMES. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE) BY GENERAL CONTRACTOR. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
 - STONE CONSTRUCTION EXIT TO BE MAINTAINED BY GENERAL CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
 - ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
 - CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
 - BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
 - CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE SHALL BE DISPOSED OF IN A STATE APPROVED C&D LANDFILL. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN A STATE APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH ALL LOCAL AND STATE REGULATIONS.
- AREA SHALL BE DESIGNATED BY CONTRACTOR AND SHOWN ON SWPPP MAP FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 680 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES.
- THE CONTRACTOR SHALL CONTACT THE STATE EPA, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.
- CONTRACTOR TO ENSURE STREETS SHALL BE CLEANED OF DEBRIS FROM SITE AND SWEEPED CLEAN ON AN AS NEEDED BASIS.



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: UTAH UTILITIES PROTECTION SERVICE AT 811 OR 800-852-4111 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

ARBY'S

SPANISH FORK
 955 EXPRESS WAY LANE
 SPANISH FORK, UT 84660

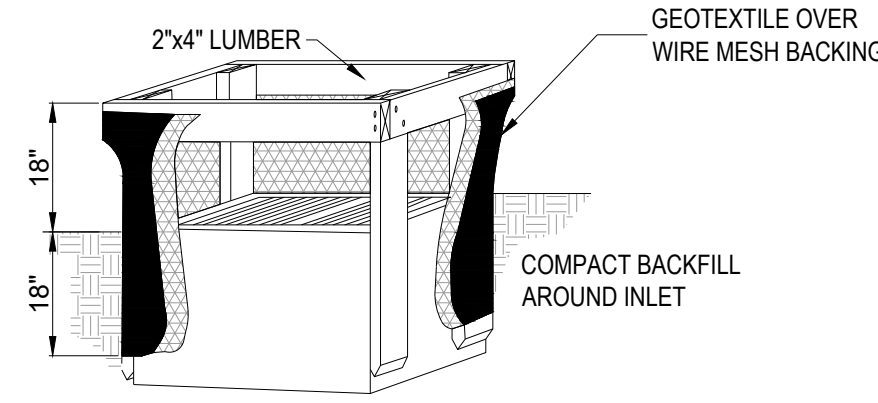
Revisions / Submissions		
ID	Description	Date
1	CIVIL PERMIT SET	2023/08/02
2	CLIENT COMMENTS	2023/09/25
3	CITY COMMENTS	2023/10/23
4	CITY COMMENTS	2023/12/26

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Project Number: 762732
 Scale: 20
 Drawn By: RMA
 Checked By: JMS
 Date: 08/02/2023
 Issue: PERMIT SET

Drawing Title:
EROSION AND SEDIMENT CONTROL PLAN

C3.0



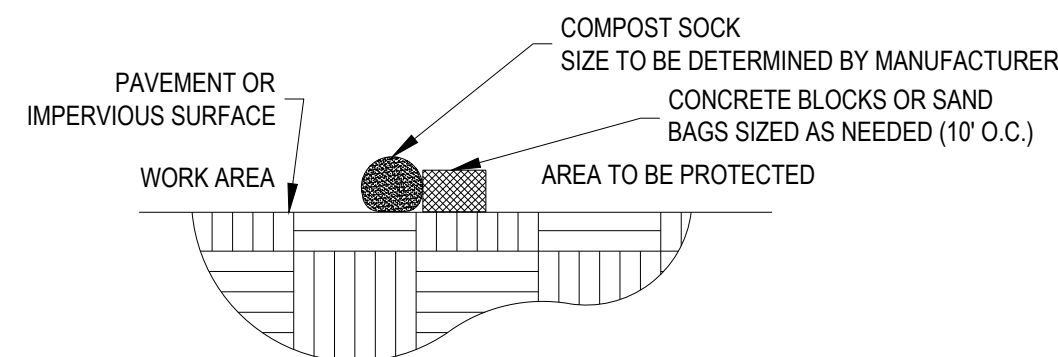
SECTION

NOTES:

1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.
2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH OF AT LEAST 18 INCHES.
3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN 18" INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
5. GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
7. A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

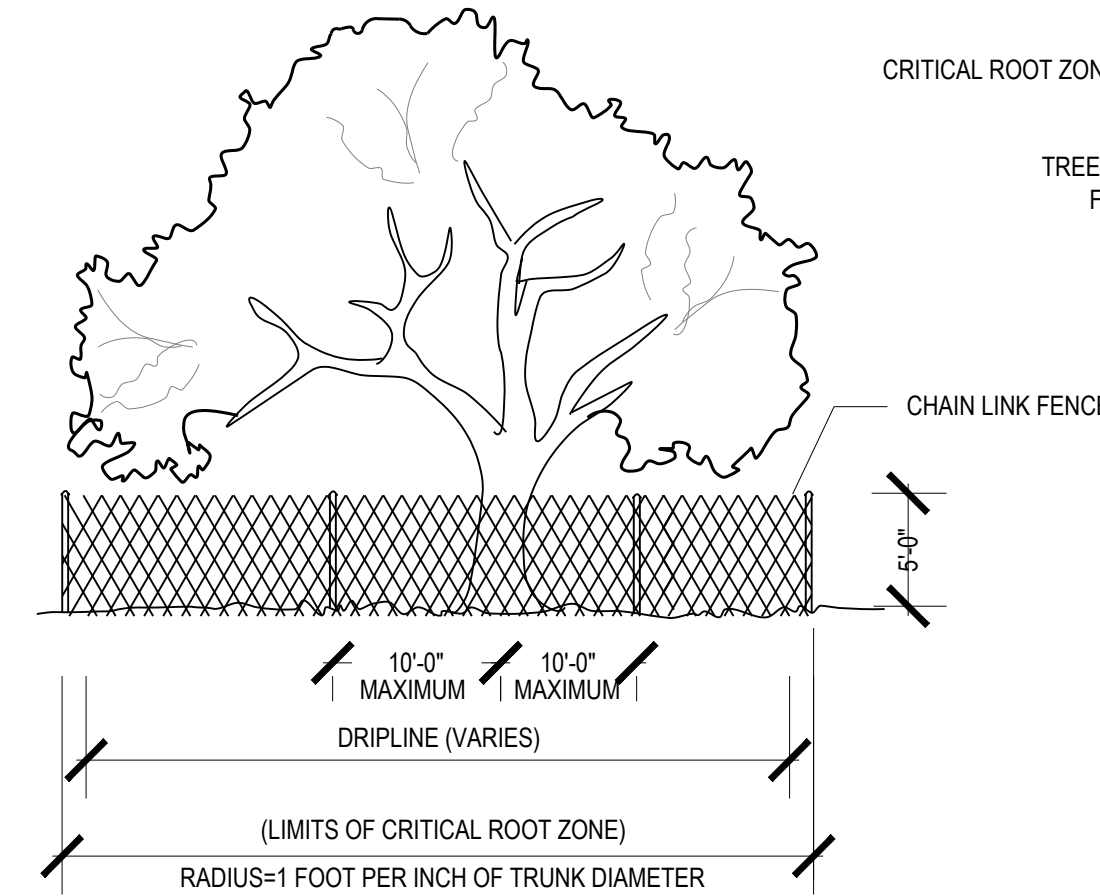
AREA INLET PROTECTION

NTS



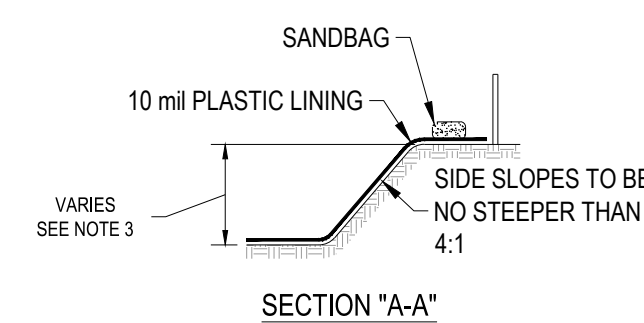
CURB INLET PROTECTION

NTS

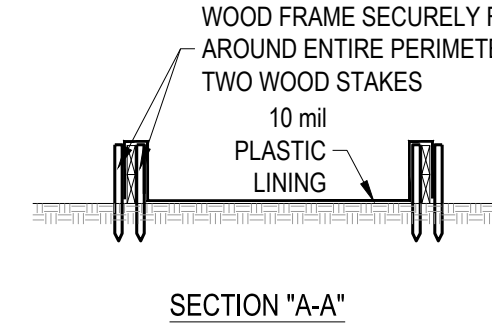


NOTE:

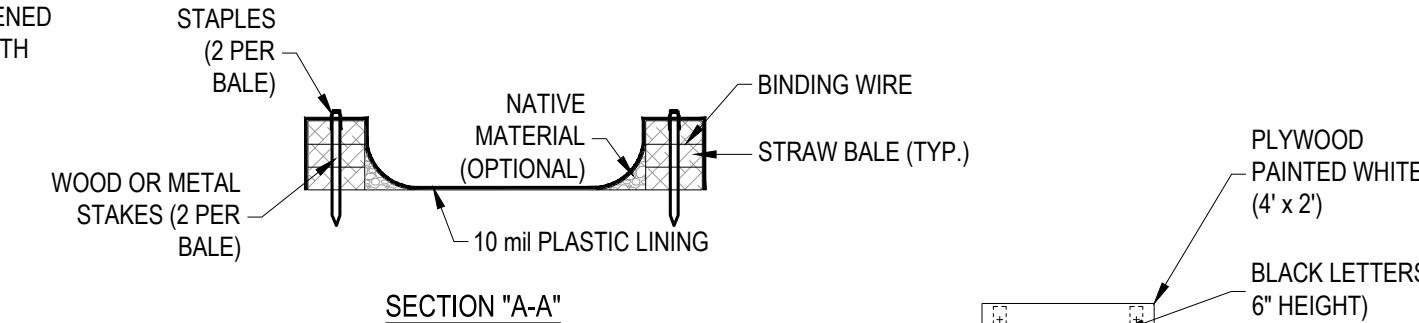
INLET PROTECTION SHALL BE DANDY CURB BAG OR APPROVED OTHER.



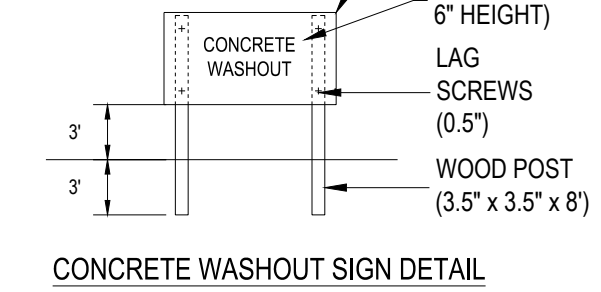
BELOW GRADE



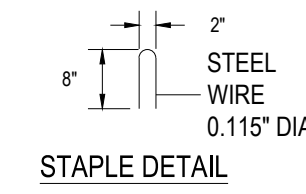
ABOVE GRADE WITH WOOD PLANKS



ABOVE GRADE W/ HAYBALES



CONCRETE WASHOUT SIGN DETAIL



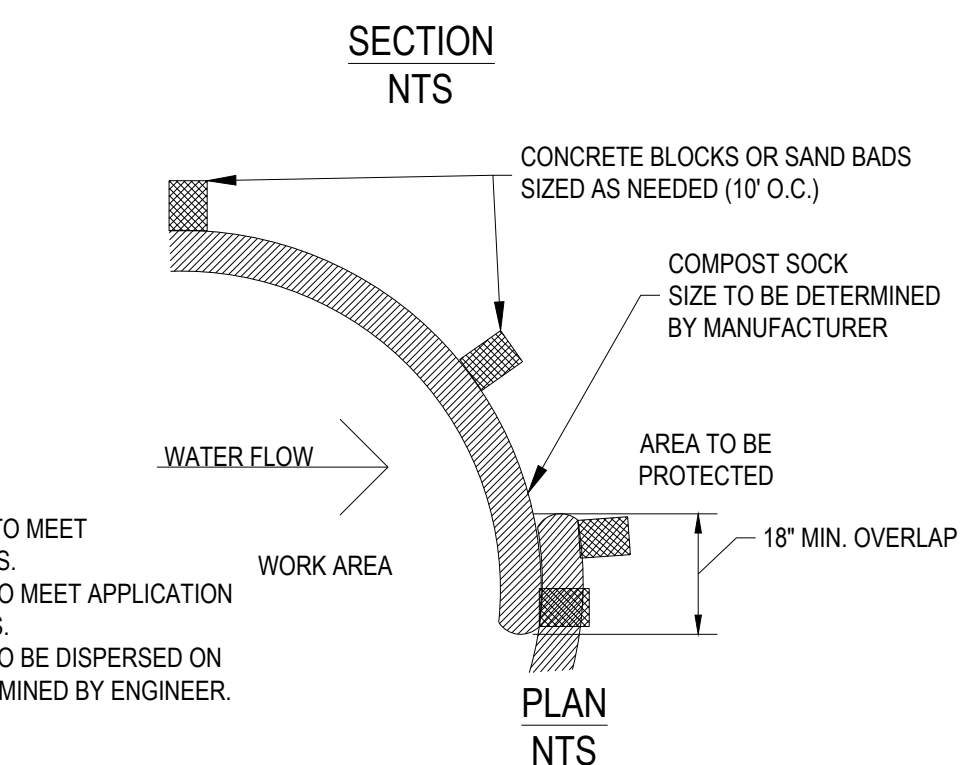
STAPLE DETAIL

NOTES:

1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING BUT NOT LIMITED TO OPERATIONS ASSOCIATED WITH GROUT AND MORTAR.

CONCRETE WASHOUT

NTS



COMPOST SOCK ON PAVEMENT

NTS

NOTES:

1. ALL MATERIAL TO MEET SPECIFICATIONS.
2. FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
3. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

NOTES:

1. NO TRUCKS OR HEAVY EQUIPMENT ALLOWED WITHIN BARRIERS. ONLY HAND LABOR ALLOWED.
2. NO CONSTRUCTION MATERIALS, SOILS DEPOSITS, OR SOLVENTS SHALL BE ALLOWED WITHIN BARRIERS.
3. BARRIERS ARE TO BE IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN TREE AREA.
4. BARRIERS ARE TO STAY IN PLACE UNTIL ALL PAVING, CONSTRUCTION, AND HEAVY EQUIPMENT IS REMOVED FROM THE AREA.
5. CRITICAL ROOT ZONE: 1 INCH OF TREE AT DIAMETER BREST HEIGHT (DBH) IS EQUAL TO 1 FOOT OF CRITICAL ROOT ZONE (CRZ). IE. 30 INCH DBH = 30 FOOT CRZ

TREE PROTECTION NOTES

1. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, DO NOT PLACE SOIL DEPOSITS, DEBRIS SOLVENTS, MACHINERY CONSTRUCTION MATERIAL OF ANY KIND WITHIN THE DRIP LINE OF A TREE TO REMAIN.
2. BEFORE CONSTRUCTION STARTS ALL PROTECTED TREES SHALL BE PRUNED AS FOLLOWS UNLESS OTHERWISE DIRECTED BY THE OWNER OR HIS REPRESENTATIVE: REMOVE ANY DEAD OR DISEASED TRUNKS OR BRANCHES, AND REMOVE WEAK OR CROSSED BRANCHES. ALL CUTS SHALL BE MADE SUFFICIENTLY CLOSE TO THE TRUNK OR PARENT LIMB. WITHOUT CUTTING INTO THE BRANCH COLLAR OR LEAVING A PROTRUDING STUB, SO THAT CLOSURE CAN READILY START. ALL TRIMMINGS SHALL BE DONE BY A QUALIFIED TREE SURGEON. PRUNING SHALL BE IN ACCORDANCE WITH ANSI A-300 PRUNING STANDARDS.
3. ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTED RADIUS. A 3" LAYER OF MULCH SHALL BE IMMEDIATELY APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES. A SOIL AUGER WILL BE USED TO BORE UNDER ROOT SYSTEMS UTILITIES ARE TO BE INSTALLED WITHIN 10' OF A PROTECTED TREE.

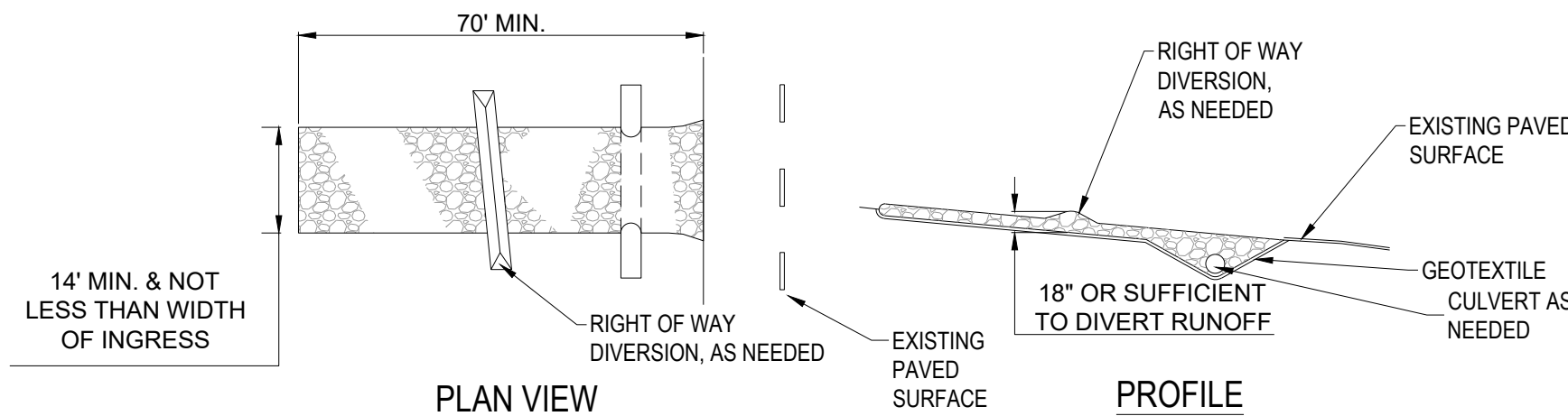
ROOT PRUNING NOTE:

WHEN THE CRITICAL ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS. ROOTS CAN BE PRUNED BY UTILIZING TRENCHING EQUIPMENT DESIGNED FOR THIS PURPOSE OR BY HAND DIGGING A TRENCH AND PRUNING ROOTS WITH A PRUNING SAW, CHAIN SAW OR OTHER EQUIPMENT DESIGNED FOR TREE PRUNING. ROOTS LOCATED WITHIN A CRITICAL ROOT ZONE THAT WILL BE IMPACTED BY CONSTRUCTION MUST BE PRUNED TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM THE EXISTING GRADE. WHEN UNDERGROUND UTILITY LINES ARE TO BE INSTALLED WITHIN THE CRITICAL ROOT ZONE, THE ROOT PRUNING REQUIREMENTS MAY BE WAIVED IF THE LINES ARE INSTALLED VIA TUNNELING OR DIRECTIONAL BORING AS OPPOSED TO OPEN TRENCHING. A LICENSED CERTIFIED ARBORIST SHALL PROVIDE PRUNING.

TYP. TREE PROTECTION

NTS

GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE	
MINIMUM TENSILE STRENGTH	200 lbs.
MINIMUM PUNCTURE STRENGTH	80 psi.
MINIMUM TEAR STRENGTH	50 lbs.
MINIMUM BURST STRENGTH	320 psi.
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	EOS < 0.6 mm.
PERMITTIVITY	1x10-3 cm/sec.



STABILIZED CONSTRUCTION ENTRANCE

NTS

NOTES:

1. STONE SIZE - (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS.
3. THICKNESS - THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
4. WIDTH - THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. GEOTEXTILE - A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:
6. TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICAL BEFORE MAJOR GRADING ACTIVITIES.
7. CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
8. WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
9. MAINTENANCE - TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR A SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
10. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
11. REMOVAL - THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.



ARBY'S
SPANISH FORK
955 EXPRESS WAY LANE
SPANISH FORK, UT 84660

Revisions / Submissions		
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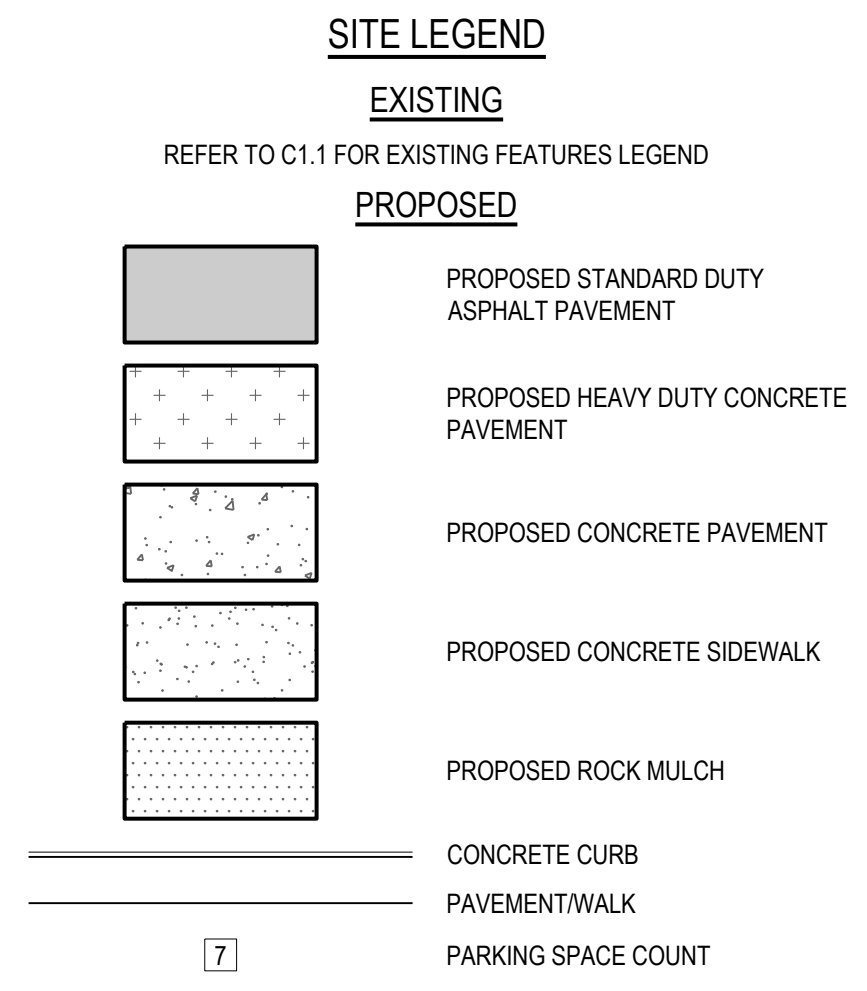
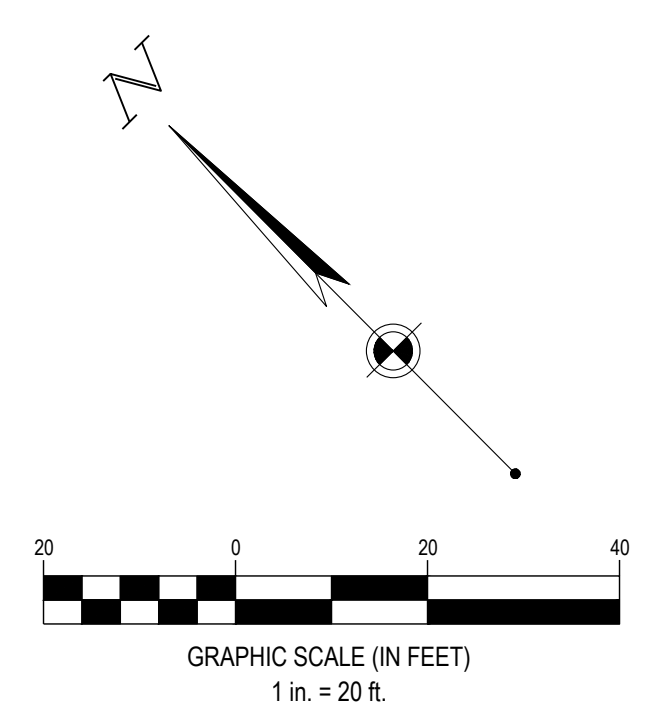
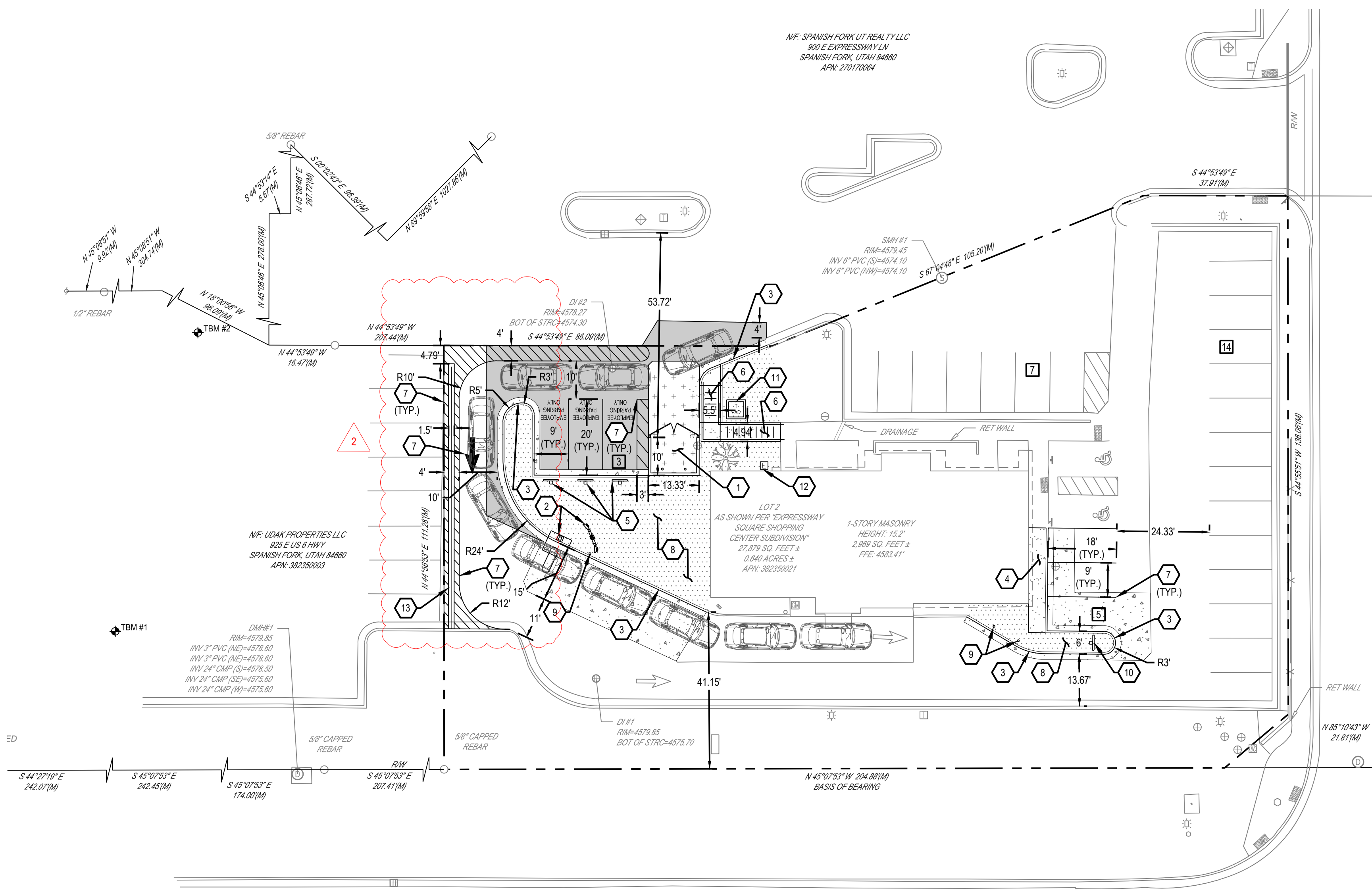
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Project Number: 762732
Scale: 20
Drawn By: RMA
Checked By: JMS
Date: 08/02/2023
Issue: PERMIT SET

Drawing Title:
EROSION AND SEDIMENT CONTROL DETAILS

C3.1



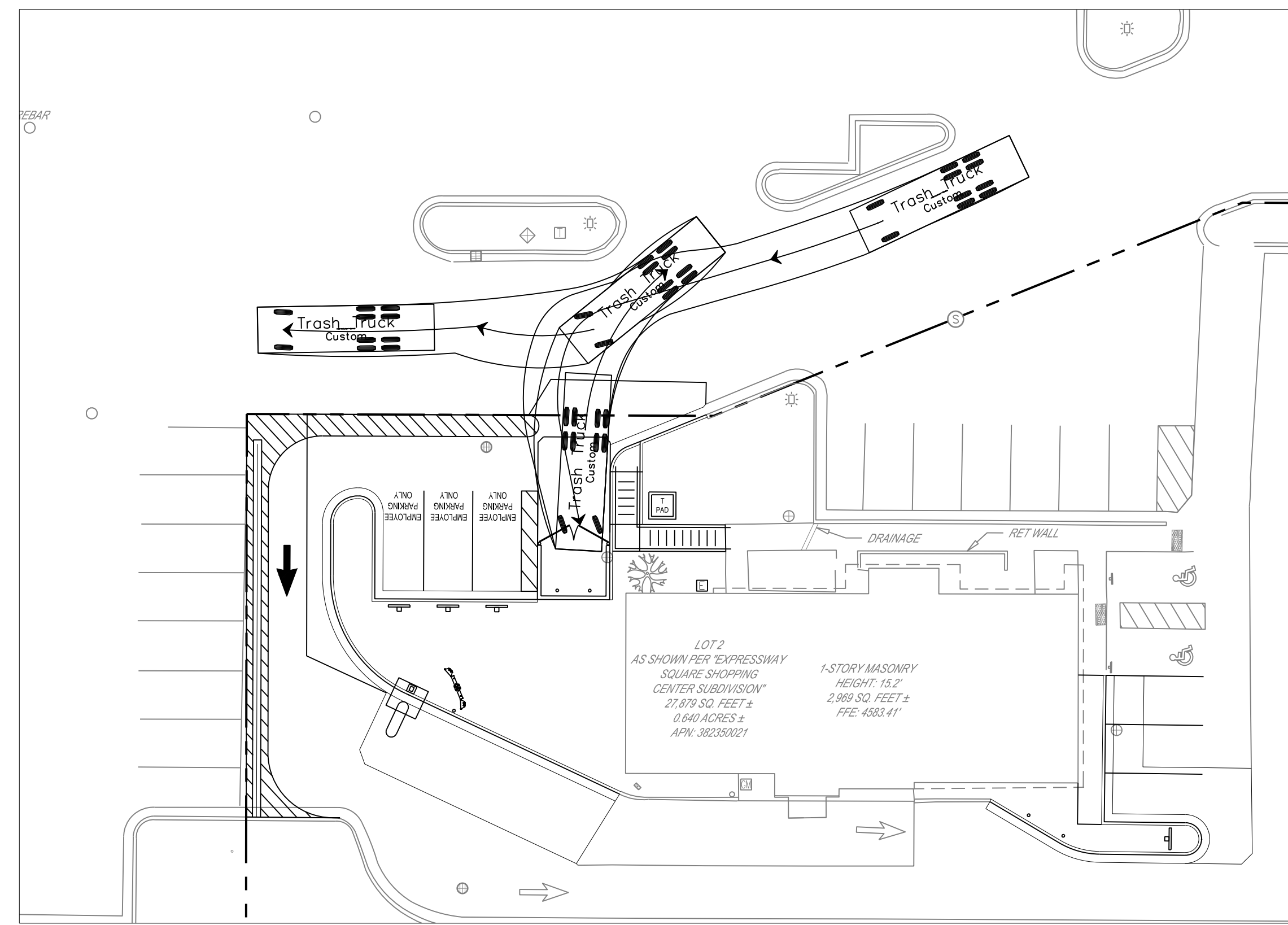
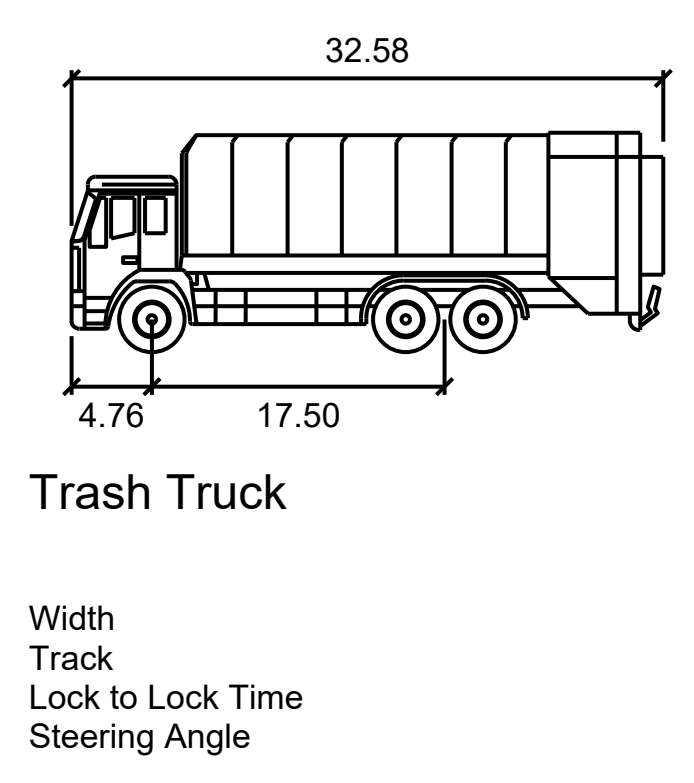
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- GENERAL NOTES:**
SEE SHEET C1.1
- CODED NOTES:**
1. PROPOSED DUMPSTER ENCLOSURE PER LOCAL REQUIREMENTS. REFER TO CONSTRUCTION DETAILS, SHEET C6.0.
 2. PROPOSED MENU BOARD AND DRIVE THRU FEATURES TO BE COORDINATED WITH SIGN VENDOR.
 3. PROPOSED 6" CONCRETE CURB AND GUTTER. REFER TO CONSTRUCTION DETAILS, SHEET C6.0.
 4. PROPOSED CONCRETE INTEGRAL CURB AND SIDEWALK. REFER TO CONSTRUCTION DETAILS, SHEET C6.0.
 5. EMPLOYEE PARKING SIGNAGE. REFER TO CONSTRUCTION DETAILS, SHEET C6.0.
 6. PROPOSED CONCRETE RAMP AND HANDRAIL. REFER TO CONSTRUCTION DETAILS, SHEET C6.0.
 7. PROPOSED PARKING LOT PAVEMENT MARKINGS. REFER TO CONSTRUCTION DETAILS, SHEET C6.0.
 8. PROPOSED ROCK MULCH. MATCH EXISTING HARDSCAPE IN-KIND.
 9. PROPOSED 6" BOLLARD PROTECTION. REFER TO CONSTRUCTION DETAILS, SHEET C6.0.
 10. PROPOSED "DO NOT ENTER" SIGN PER LOCAL REQUIREMENTS.
 11. PROPOSED TRANSFORMER AND CONCRETE PAD. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
 12. PROPOSED ELECTRIC METER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
 13. PROPOSED MOUNTABLE CONCRETE CURB. REFER TO CONSTRUCTION DETAILS, SHEET C6.0.

NOTE:
ALL FULL DEPTH PAVEMENT REPLACEMENT AREAS SHALL RECEIVE NEW PAVEMENT SECTION THAT MATCHES TYPE AND DEPTH OF EXISTING PAVEMENT SECTIONS. FINISH SURFACE SHALL MATCH EXISTING PAVEMENT SURFACE. CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE. NO PONDING OR WATER ON THE FINAL SURFACE WILL BE ALLOWED.

GRAND ARMY OF THE REPUBLIC HIGHWAY (US 6)
VARIABLE WITH PUBLIC RIGHT-OF-WAY
(NO DOCUMENTATION PROVIDED)
VARIABLE ASPHALT PAVEMENT WIDTH



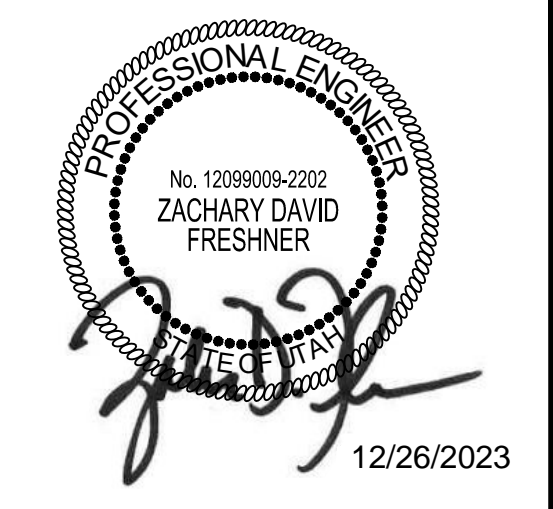
TRASH TRUCK TURNING MOVEMENT EXHIBIT
SCALE: 1" = 20'

BENCHMARK		
	ELEVATION'	DESCRIPTION
TBM #1	4578.10	SET MAG-NAIL
TBM #2	4576.39	SET MAG-NAIL

* VERTICAL DATUM: NAVD88



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: UTAH UTILITIES PROTECTION SERVICE AT 811 OR 800-652-4111 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



ARBY'S

SPANISH FORK
955 EXPRESS WAY LANE
SPANISH FORK, UT 84660

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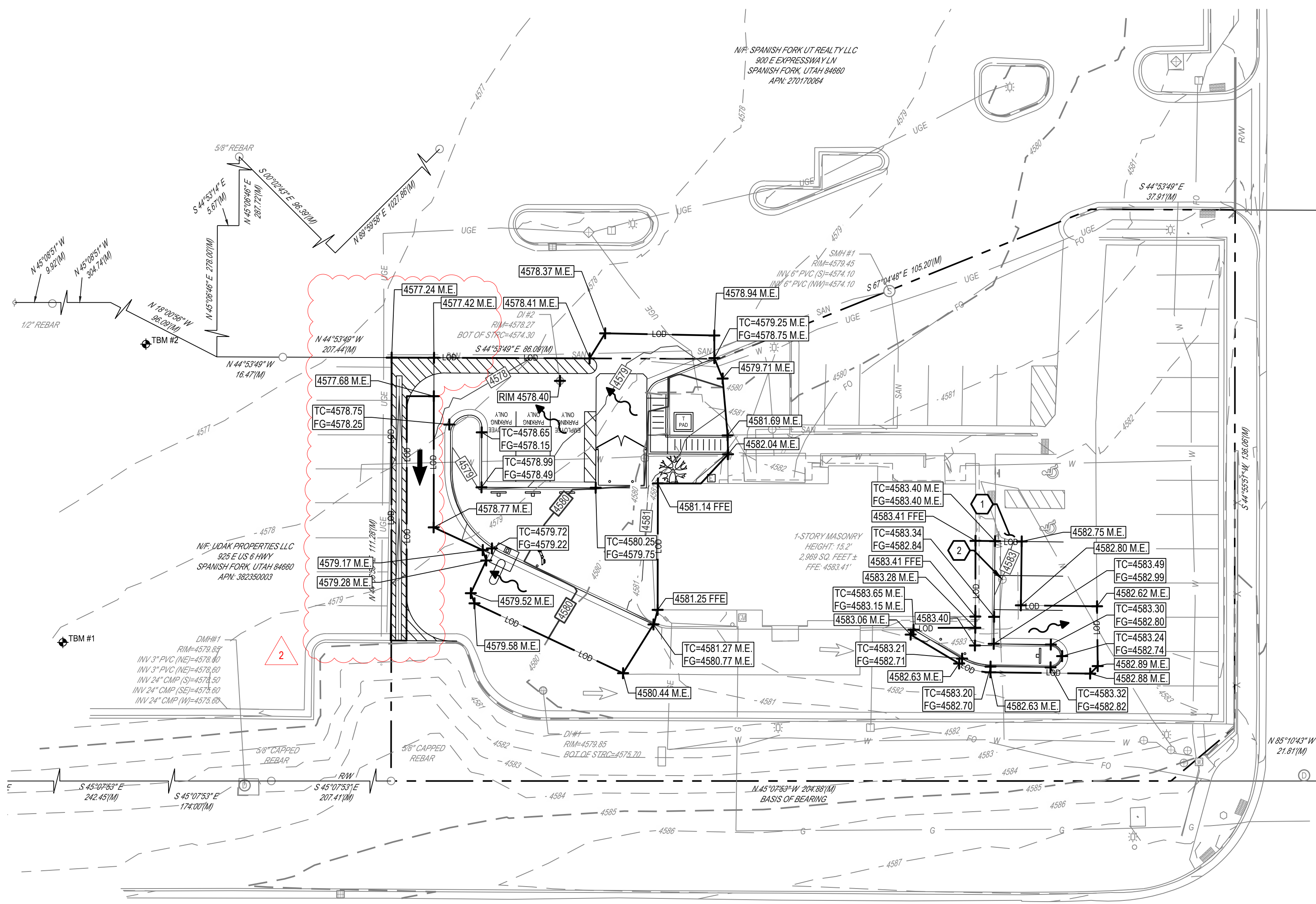
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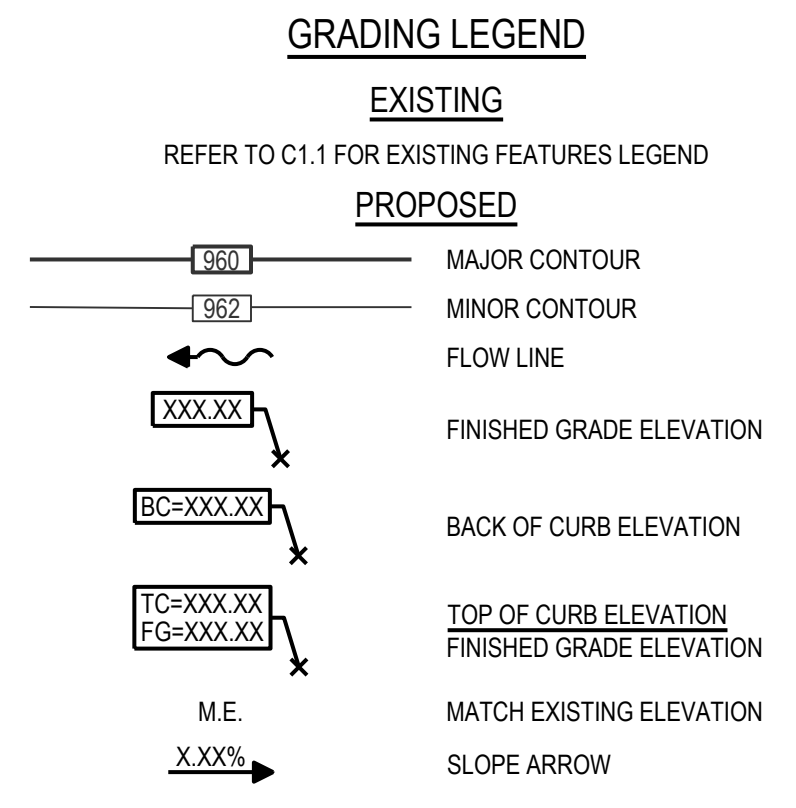
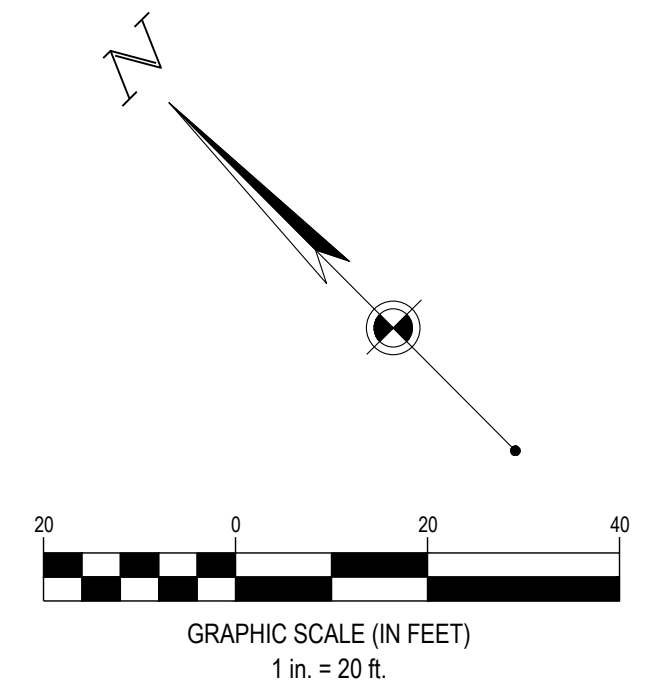
Drawing Title:
SITE IMPROVEMENT PLAN

C4.0

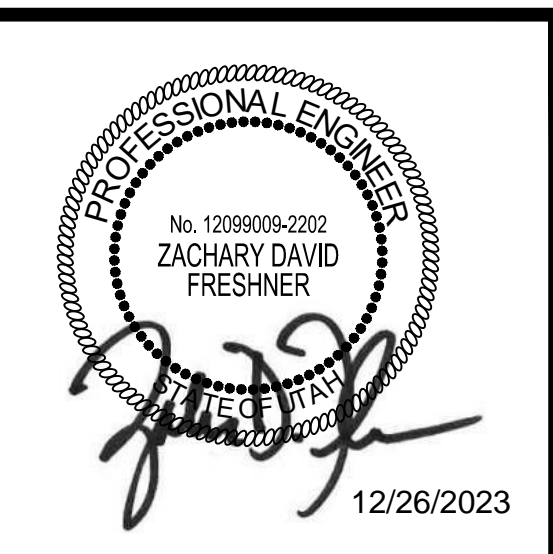
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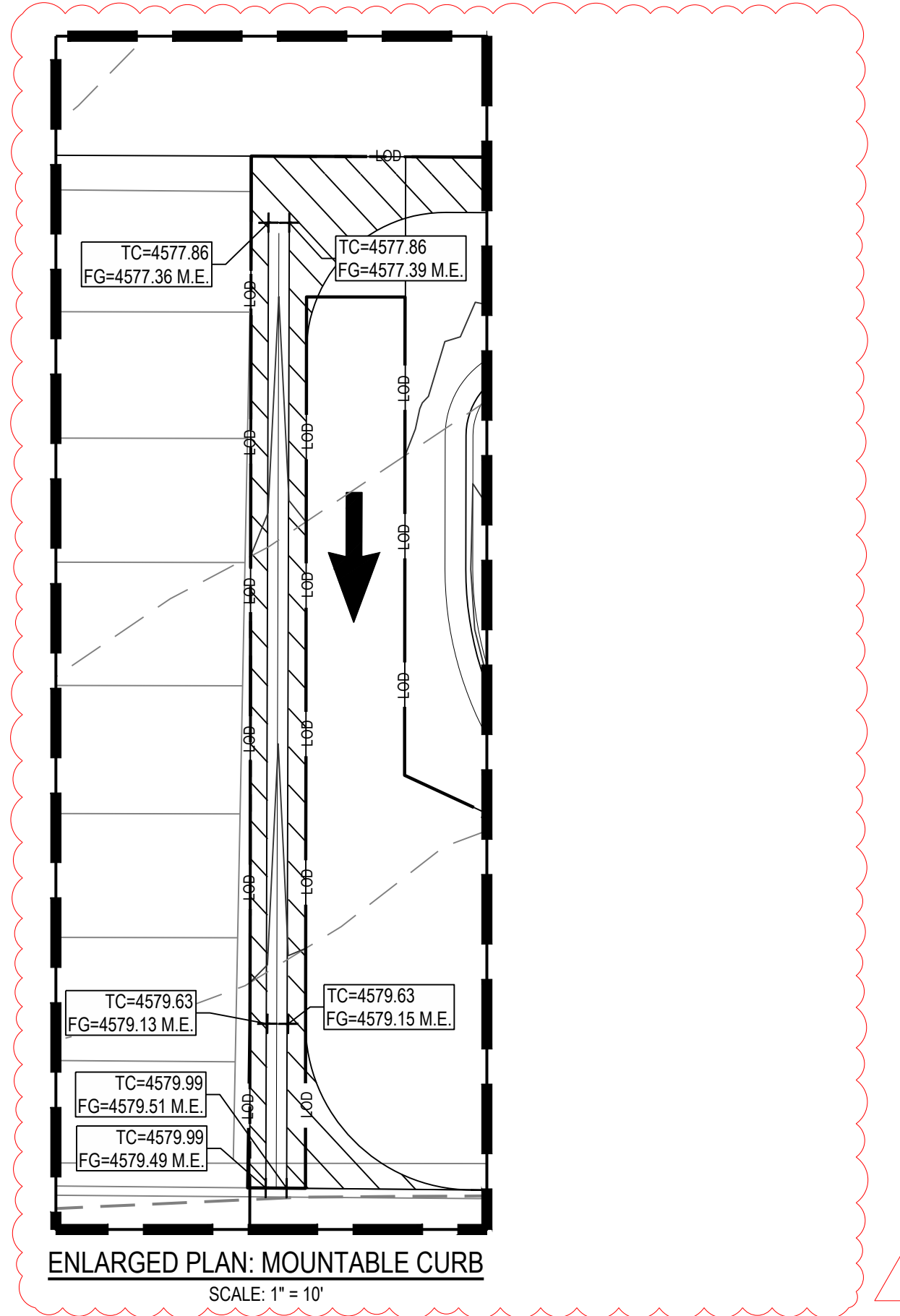
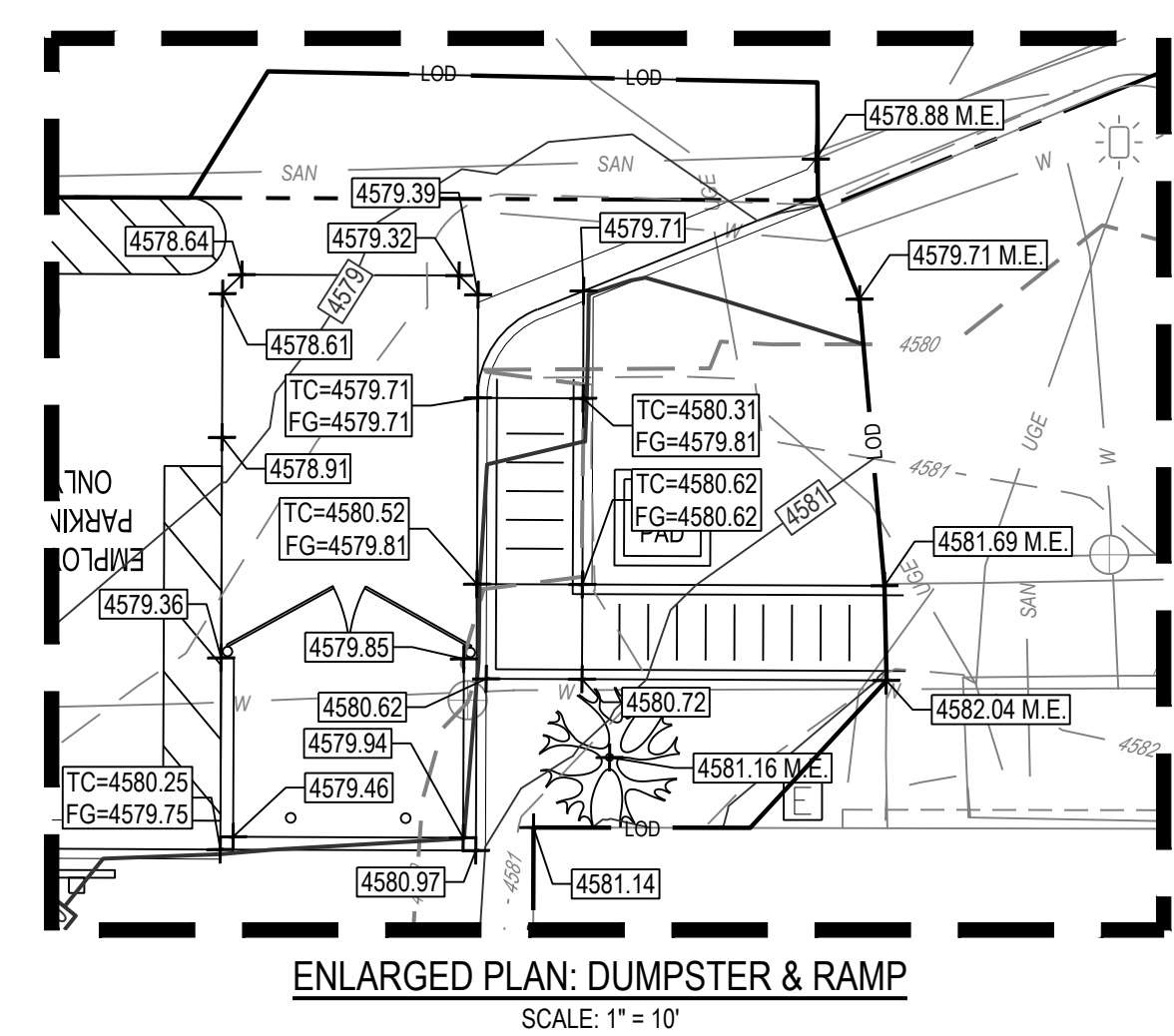
EXPRESSWAY LANE
AND DOCUMENTATION PROVIDED
BY ASPHALT PAVEMENT WIDTH



- GENERAL NOTES:**
SEE SHEET C1-1
- CODED NOTES:**
- CONTRACTOR TO FIELD VERIFY EXISTING GRADES DO NOT EXCEED 2% IN ANY DIRECTION THROUGHOUT THE ADA PARKING SPACE AND ACCESS AISLE. CONTACT THE ENGINEER WITH ANY DISCREPANCIES.
 - CONTRACTOR TO ADJUST VALVE RIM TO GRADE.



GRAND ARMY OF THE REPUBLIC HIGHWAY (US 6)
VARIABLE WITH PUBLIC RIGHT-OF-WAY
(NO DOCUMENTATION PROVIDED)
VARIABLE ASPHALT PAVEMENT WIDTH



ARBYS

SPANISH FORK
955 EXPRESS WAY LANE
SPANISH FORK, UT 84660

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Issue: PERMIT SET

Drawing Title:
GRADING & DRAINAGE PLAN



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C5.0



CESO
WWW.CESOINC.COM

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Charlotte, NC 28209
Phone: 704.521.7979 Fax: 888.208.4826



12/26/2023

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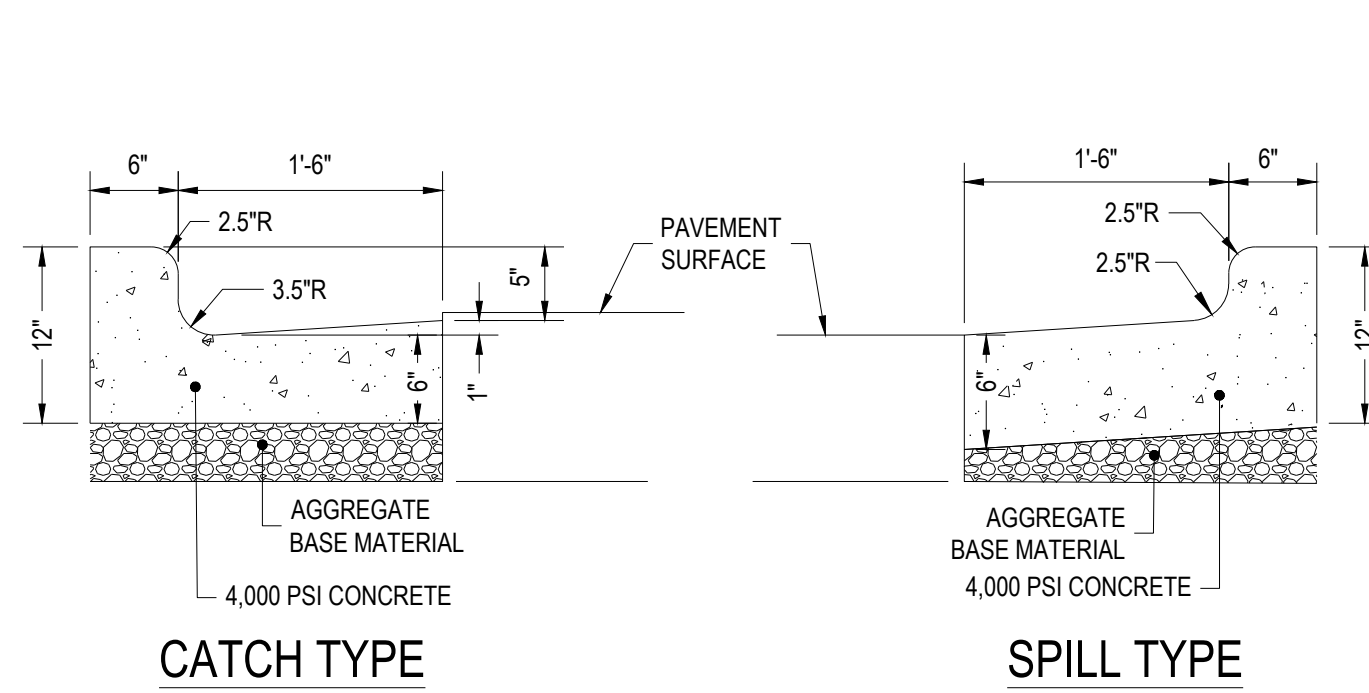
955 EXPRESS WAY LANE
SPANISH FORK, UT 84660

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Drawing Title:
**CONSTRUCTION
 DETAILS**

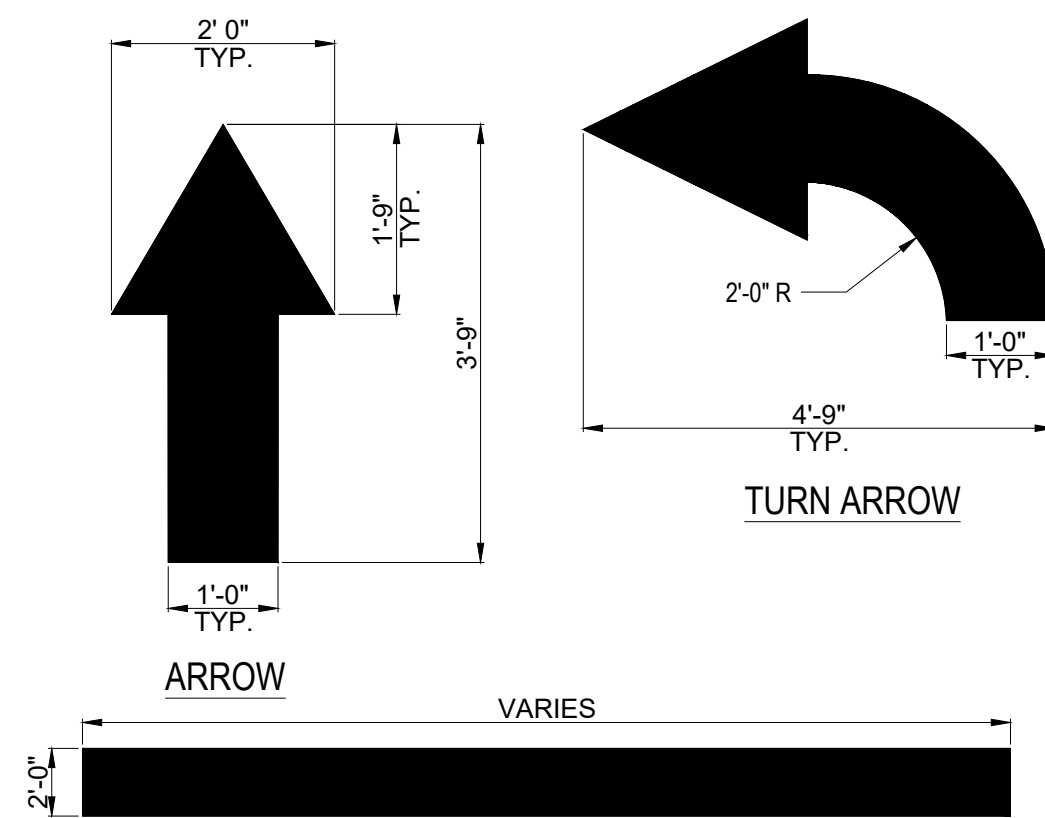
C6.0



- NOTES:
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE 4,000 P.S.I. CONCRETE AT 28 DAYS.
 2. TRANSVERSE EXPANSION JOINTS, 1/2" WIDE, SHALL BE INSTALLED IN THE CURB 20'-0" APART MAXIMUM.
 3. EXPANSION JOINTS SHALL BE FILLED WITH 1/2" PREFORMED JOINT FILLER, RECESSED 1/4" FROM TOP AND FACE OF CURB.

CONCRETE CURB AND GUTTER

NTS

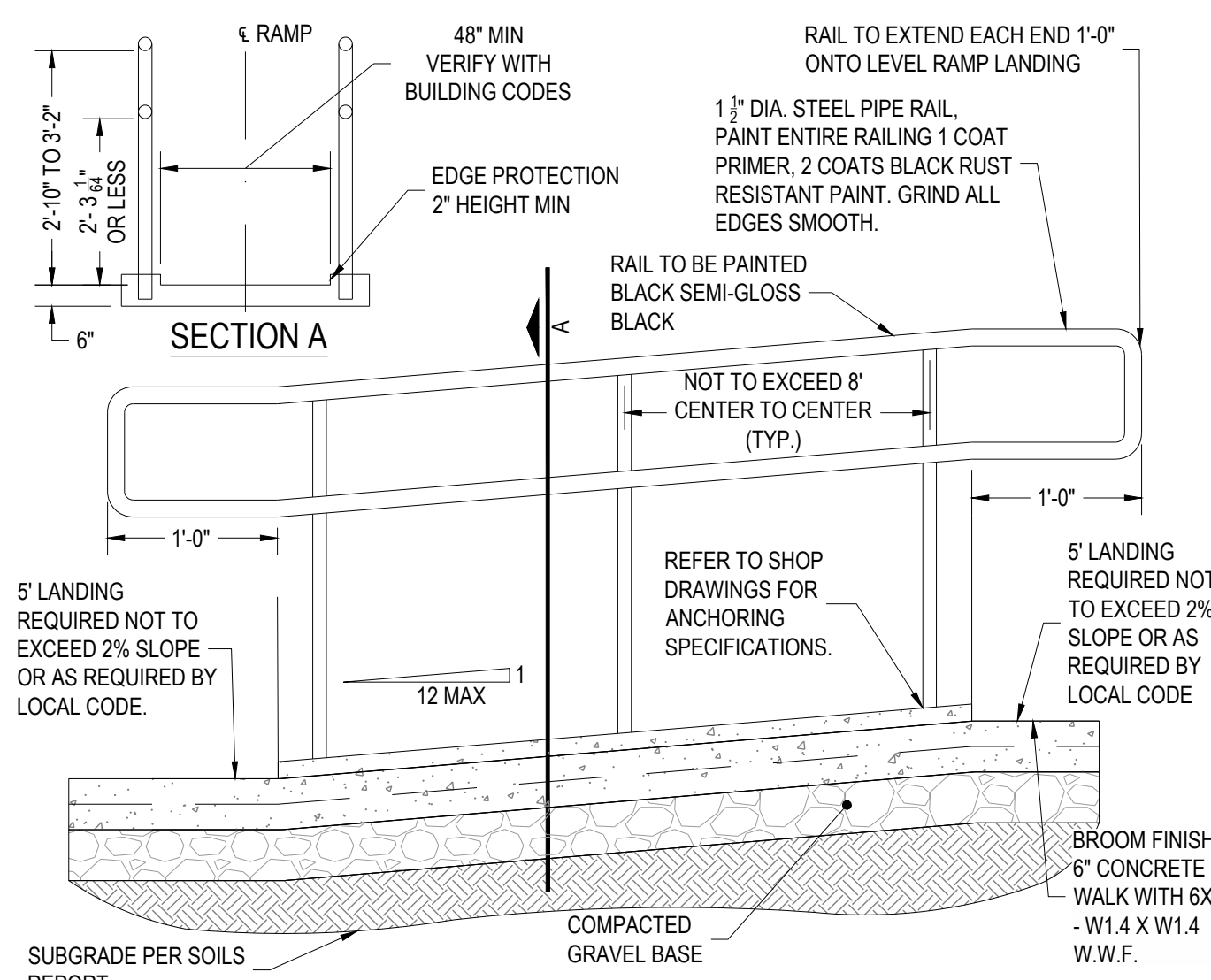


STOP BAR

STOP

PAVEMENT MARKINGS

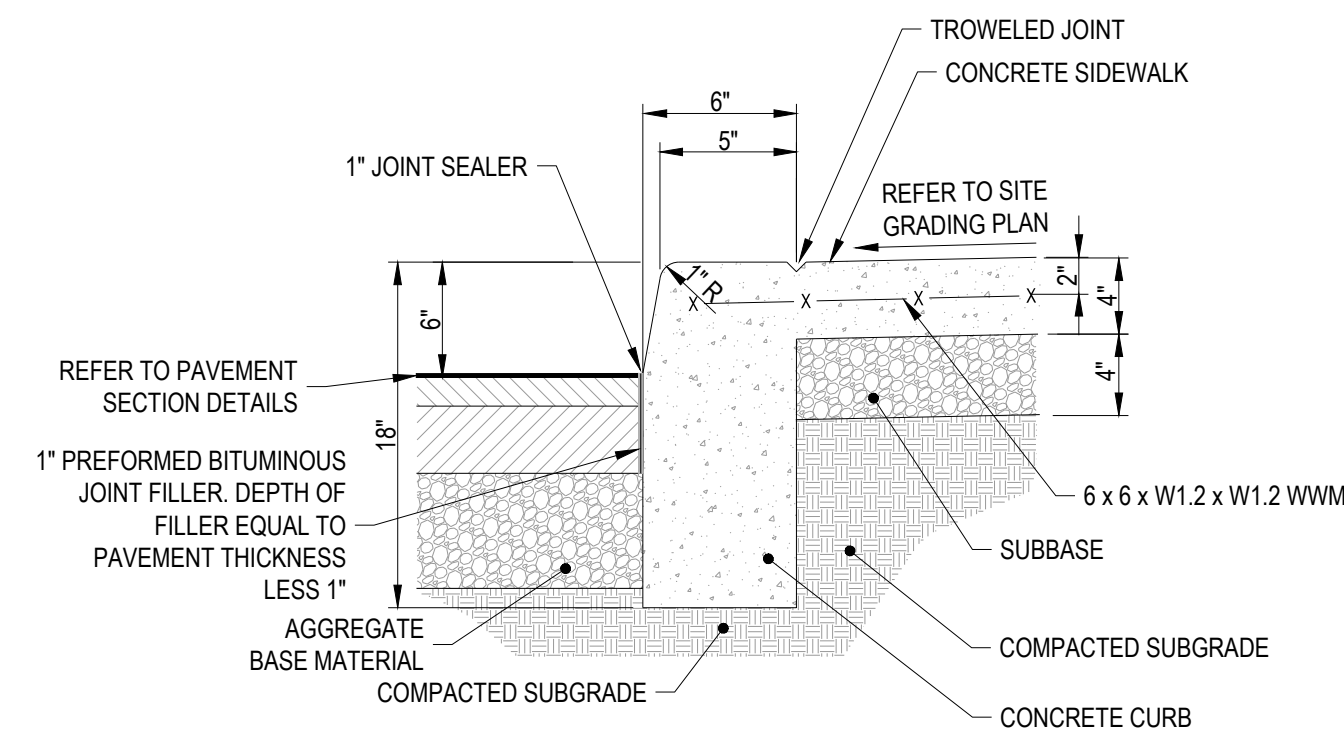
NTS



- NOTES:
1. REFER TO SITE PLAN FOR LAYOUT. REFER TO GRADING PLAN FOR ELEVATIONS.

CONCRETE RAMP AND HANDRAIL

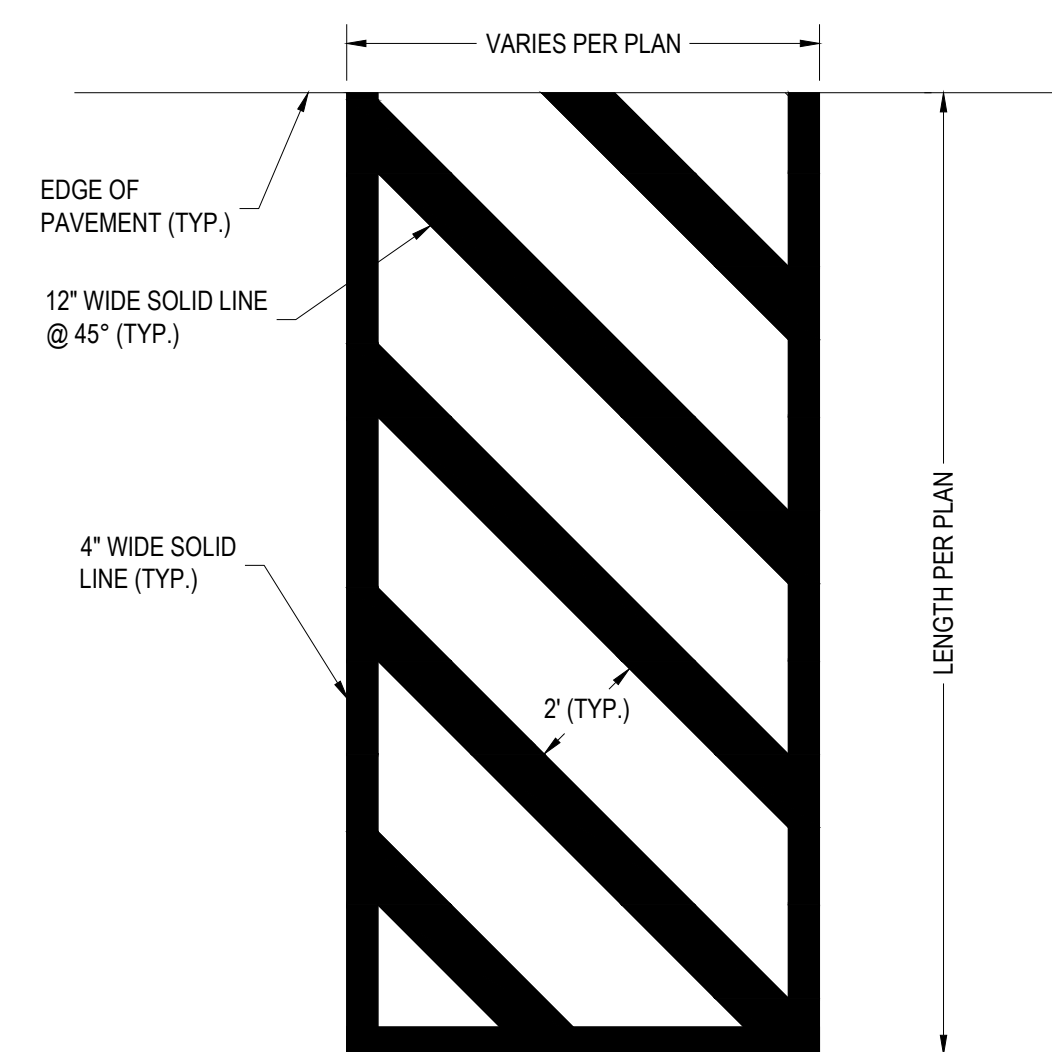
NTS



- NOTES:
1. ALL CONCRETE CURBS AND SIDEWALK TO BE 4,000 P.S.I. CONCRETE AT 28 DAYS.
 2. TRANSVERSE EXPANSION JOINTS, 1/2" WIDE, SHALL BE INSTALLED IN THE CURB 20'-0" APART MAXIMUM. SPACING SHALL MATCH SIDEWALK.
 3. EXPANSION JOINTS SHALL BE FILLED WITH 1/2" PREFORMED JOINT FILLER, RECESSED 1/4" FROM TOP AND FACE OF CURB.
 4. MAXIMUM HEIGHT OF CURB TO PAVING IS 6".

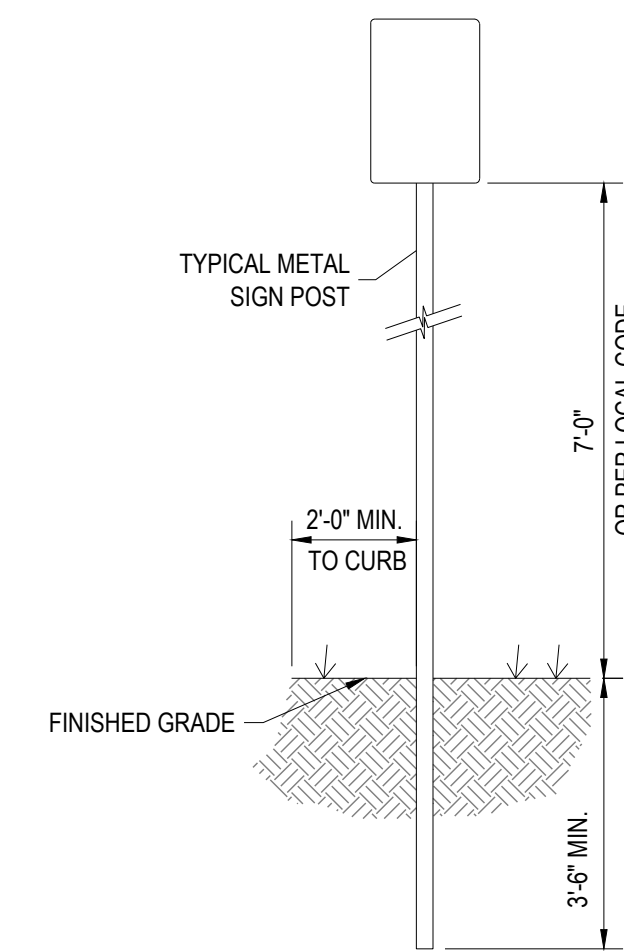
CONCRETE CURB W/ SIDEWALK

NTS



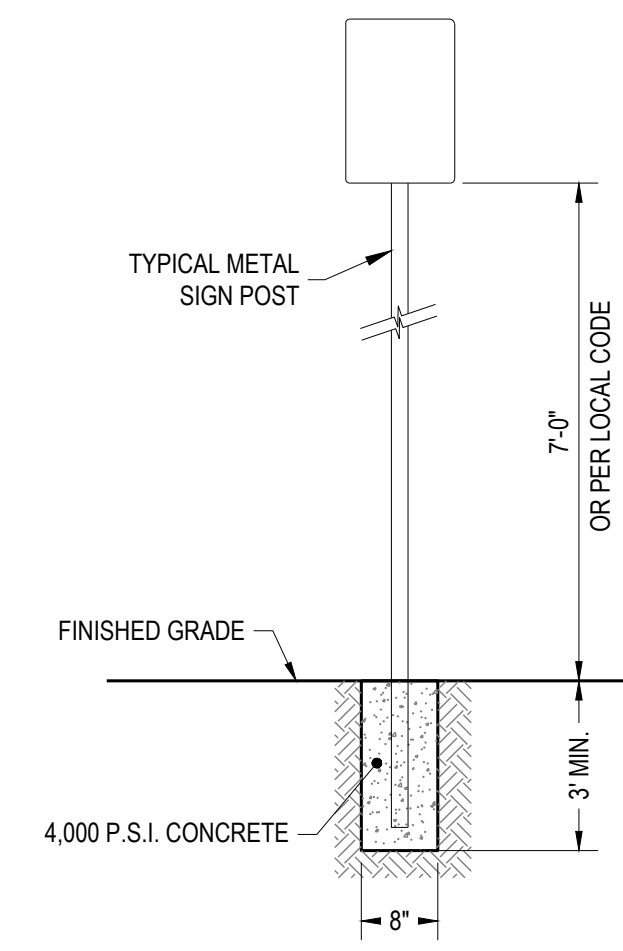
PAINTED ISLAND

NTS



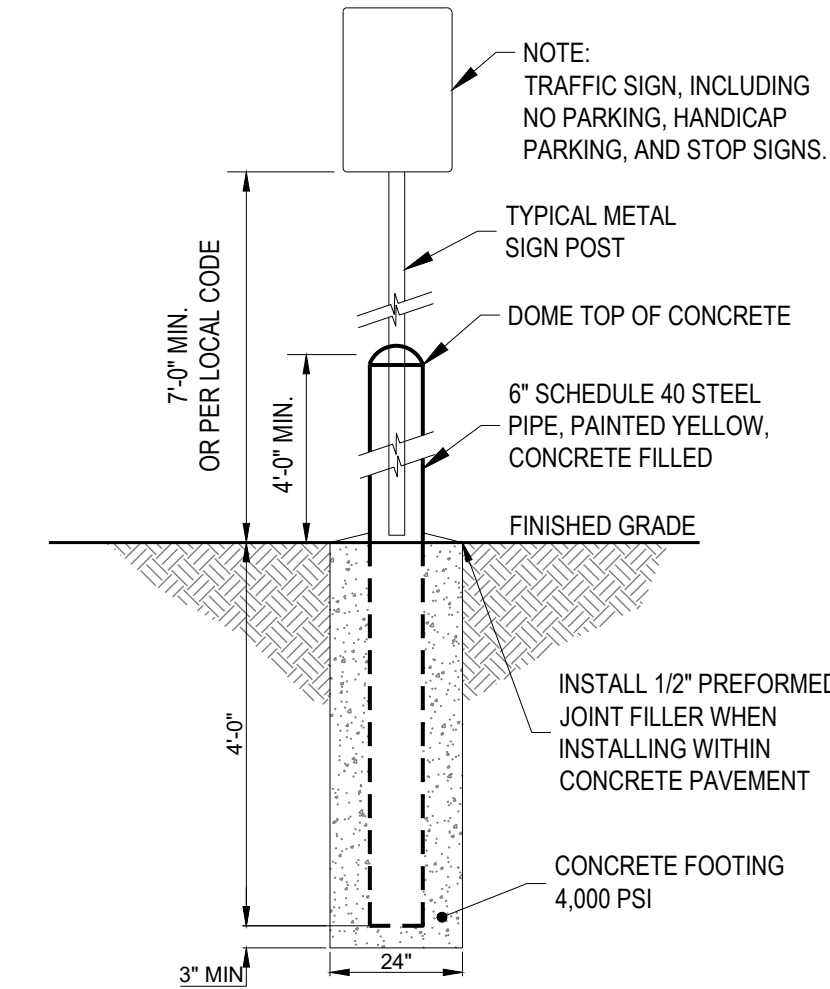
SIGN - LANDSCAPE

NTS



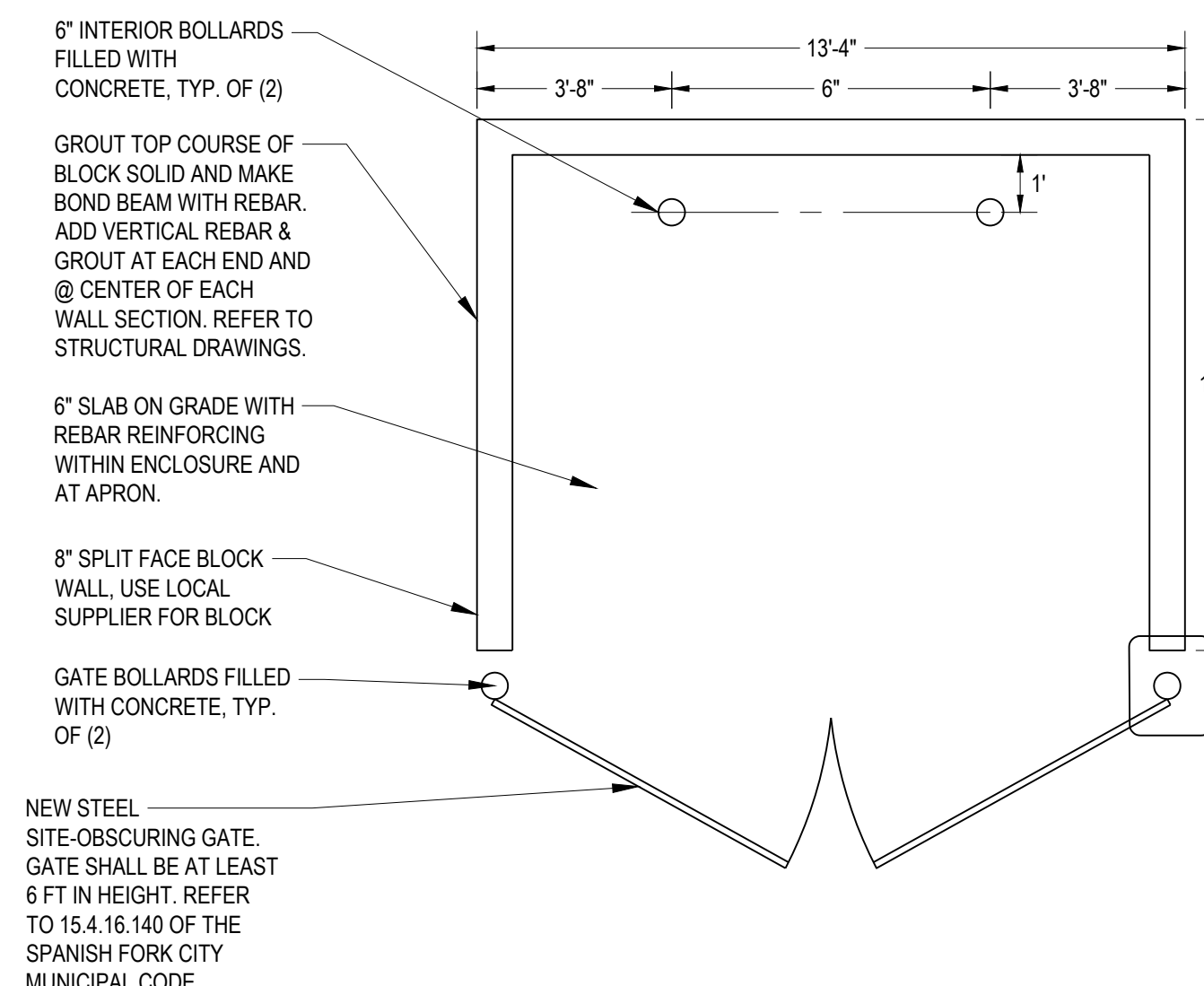
SIGN - PAVEMENT

NTS



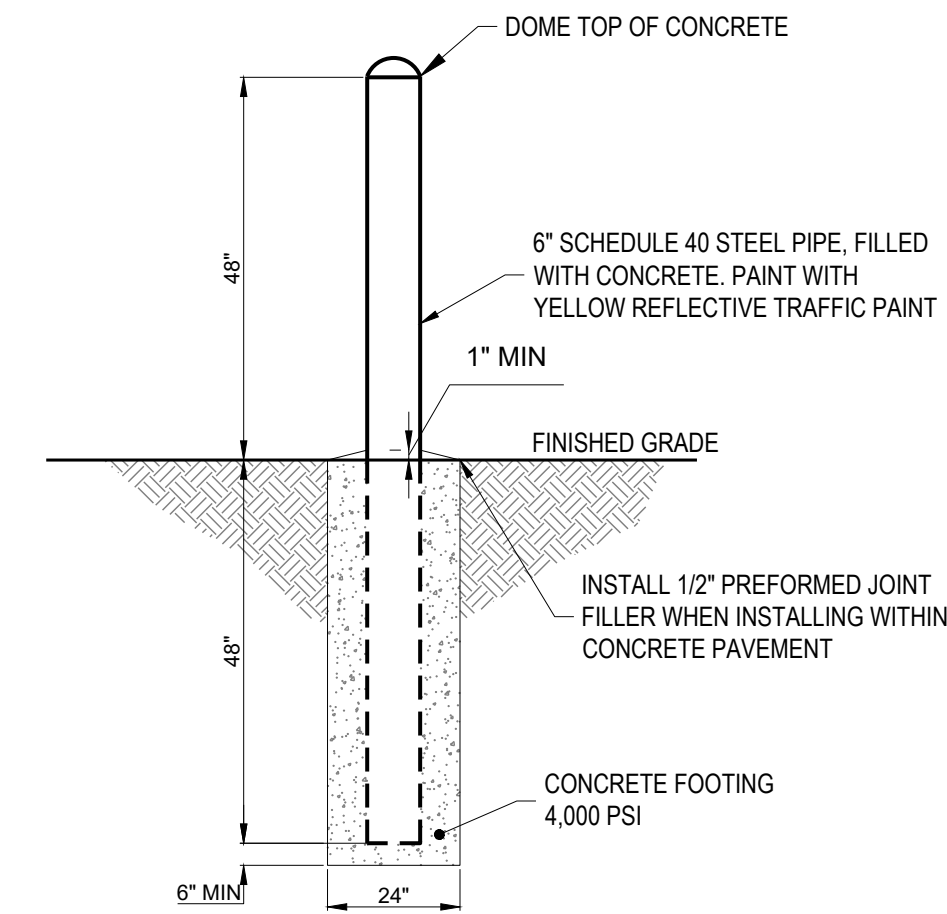
SIGN - BOLLARD

NTS



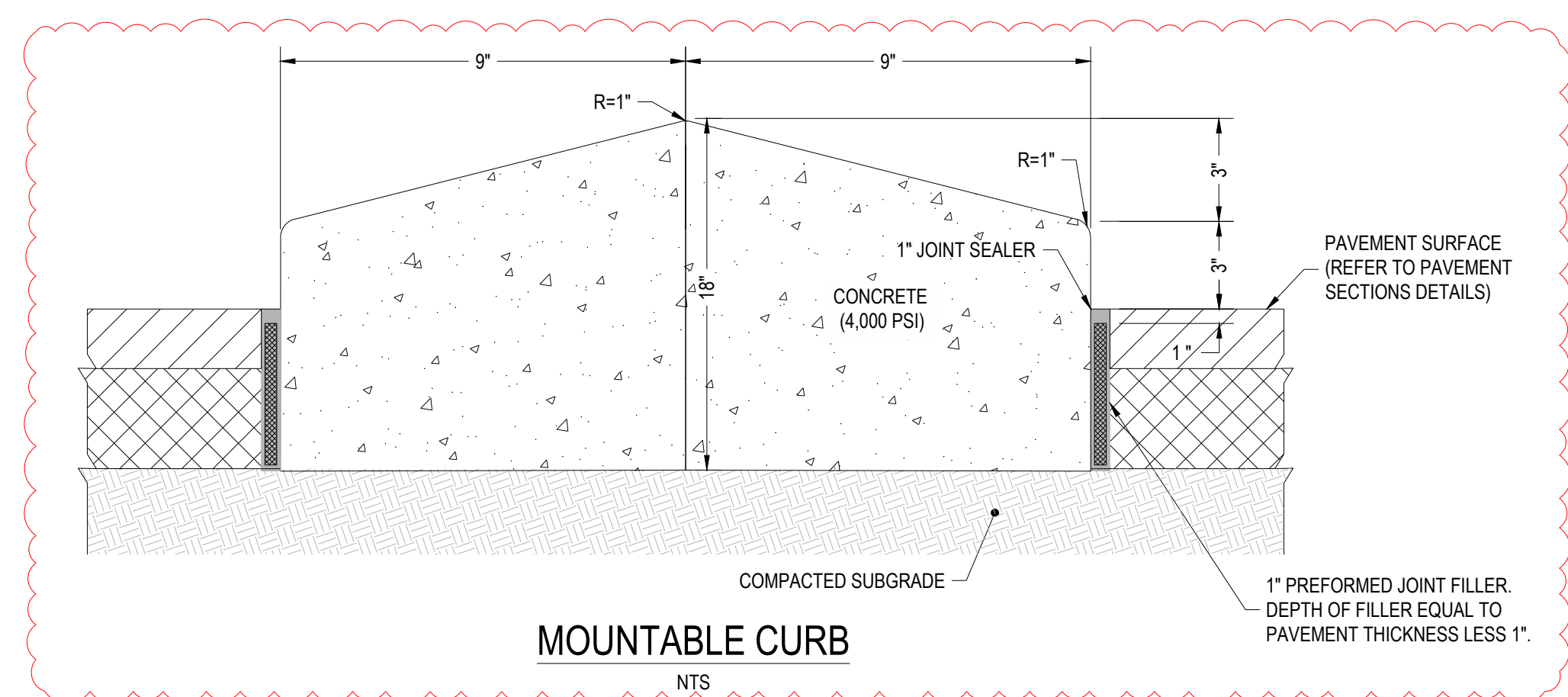
DUMPSTER ENCLOSURE

NTS



BOLLARD

NTS



MOUNTABLE CURB

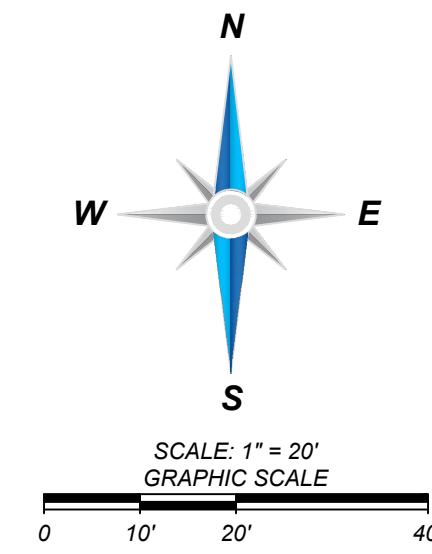
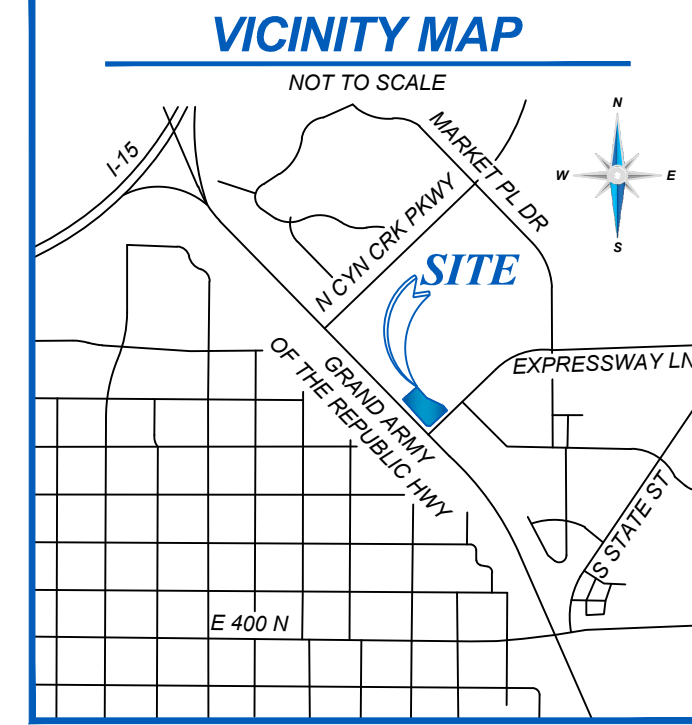
NTS

ALTA/NSPS LAND TITLE SURVEY

955 EXPRESSWAY LANE

LOCATED IN: SECTION 18, TOWNSHIP 8 SOUTH, RANGE 3 EAST

UTAH COUNTY, SPANISH FORK, UTAH 84660



GENERAL NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- IN REGARD TO ALTA/NSPS TABLE ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS EXCEPT AS SHOWN HEREON.
- IN REGARD TO ALTA/NSPS TABLE ITEM 17, THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS EXCEPT AS SHOWN HEREON.
- AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUNDS.
- COMPLETED FIELD WORK WAS JUNE 22, 2023.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF EXPRESSWAY LANE AND GRAND ARMY OF THE REPUBLIC HIGHWAY, WHICH ABUTS THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY HAS APPARENT DIRECT ACCESS TO EXPRESSWAY LANE, BEING A PUBLICLY DEDICATED RIGHT-OF-WAY.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED UTAH ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY (THE SUBJECT PROPERTY). THE PURPOSE OF THIS SURVEY, AND THE COMMENTS RELATED TO THE SCHEDULE B-II EXCEPTIONS, IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBJECTIONS IN RELATION THERETO. TO THE EXTENT THAT THE SURVEY INDICATES THAT THE LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY, SUCH STATEMENT IS ONLY INTENDED TO INDICATE THAT PROPERTY BOUNDARIES INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY OR THE ENFORCEABILITY OR LEGAL CONSEQUENCES OF SUCH INSTRUMENT.
- NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM UTAH COUNTY GIS.
- THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
- IN REGARD TO ALTA/NSPS TABLE ITEM 10, NO VISIBLE DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELD SURVEY WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT.
- ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING, VERTICAL DATUM BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVD88) IN US SURVEY FEET. CONTOURS SHOWN ARE AT ONE FOOT INTERVALS.

SURVEYOR'S CERTIFICATE

TO: TBD;
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6A, 6B, 7B1, 7C, 8, 9, 10, 11B, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 06/22/2023.
 DATE OF PLAT OR MAP: 07/03/2023

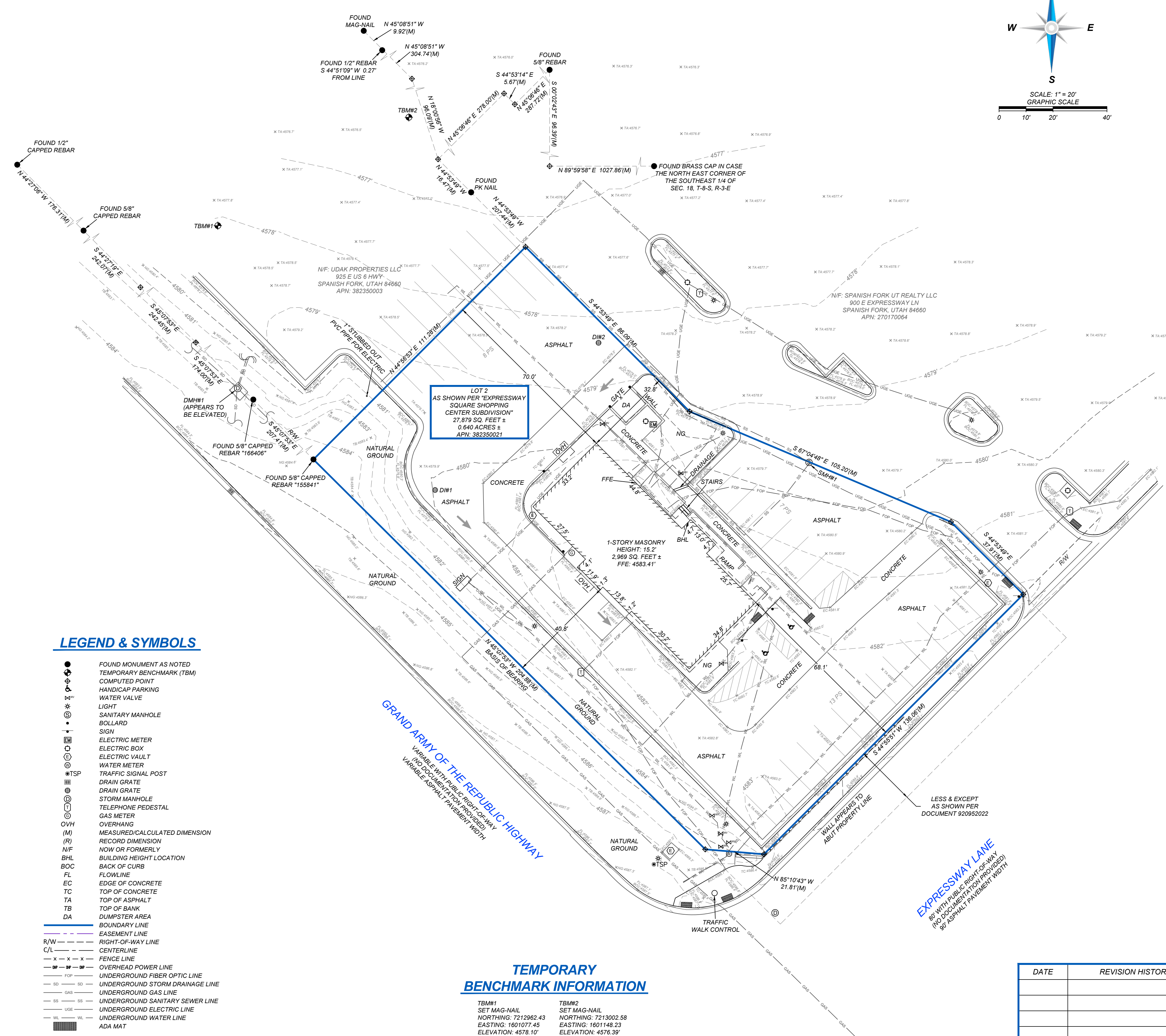
JASON M. PAGE
 PROFESSIONAL LAND SURVEYOR NO. 11756602
 STATE OF UTAH

PRELIMINARY

8225 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
 EMAIL: SURVEY@BLEWINC.COM
 OFFICE: 479.443.4506 FAX: 479.582.1883
 WWW.BLEWINC.COM

DATE	REVISION HISTORY	BY

SURVEYOR JOB NUMBER: 23-3715	SURVEY DRAWN BY: W.R.G. - 07/03/2023
SURVEY REVIEWED BY: L.T.	SHEET: 1 OF 1



SITE INFORMATION

N/F: UDAK PROPERTIES LLC
 955 EXPRESSWAY LANE
 APN: 382350021
 27,879 ± SQUARE FEET, OR 0.640 ± ACRES

TITLE COMMITMENT INFORMATION

AWAITING TITLE COMMITMENT.

SCHEDULE A DESCRIPTION

AWAITING TITLE COMMITMENT.

NOTES CORRESPONDING TO SCHEDULE B

AWAITING TITLE COMMITMENT.

PARKING INFORMATION

REGULAR: 28
 HANDICAP: 2
 TOTAL: 30

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 49049C0757F, WHICH BEARS AN EFFECTIVE DATE OF 6/19/2020 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH BASED ON THE SOUTHWEST LINE OF THE SUBJECT PROPERTY, ALSO BEING THE NORTHEAST RIGHT-OF-WAY LINE OF GRAND ARMY OF THE REPUBLIC HIGHWAY. THE BEARING IS DENOTED AS N45°07'53"W PER GPS COORDINATE OBSERVATIONS UTAH STATE PLANE, CENTRAL ZONE NAD83.
 LATITUDE = 40°07'16.8316"
 LONGITUDE = -111°38'25.4083"
 CONVERGENCE ANGLE = 00°05'23.7537"

SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT THE TIME OF THE ALTA/NSPS SURVEY.

UTILITY INFORMATION

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS UTILITY MAP DRAWINGS. PRIVATE UTILITY LOCATE PERFORMED BY BLOODHOUND AND UTAH 811 DIG UTILITY LOCATE REQUEST. BLEW AND ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION.

INVERT LIST

DM#1	DMH#1	SMH#1
DRAINAGE INLET	STORM MANHOLE	SANITARY MANHOLE
RIM ELEVATION: 4579.85'	RIM ELEVATION: 4583.51'	RIM ELEVATION: 4579.45'
BOTTOM OF STRUCTURE: 4575.7'	INVERT NE (3" PVC): 4578.6'	INVERT S (6" PVC): 4574.1'
INDETERMINABLE, FULL OF WATER AT THE TIME OF THE SURVEY.	INVERT NE (3" PVC): 4578.6'	INVERT NW (6" PVC): 4574.1'
	INVERT S (24" CMP): 4578.5'	
	INVERT SE (24" CMP): 4575.6'	
	INVERT W (24" CMP): 4575.6'	

LEGEND & SYMBOLS

- FOUND MONUMENT AS NOTED
- TEMPORARY BENCHMARK (TBM)
- COMPUTED POINT
- HANDICAP PARKING
- WATER VALVE
- LIGHT
- SANITARY MANHOLE
- BOLLARD
- SIGN
- ELECTRIC METER
- ELECTRIC BOX
- ELECTRIC VAULT
- WATER METER
- TSP
- DRAIN GRATE
- DRAIN GRATE
- STORM MANHOLE
- TELEPHONE PEDESTAL
- GAS METER
- OVH
- (M)
- (R)
- N/F
- BHL
- BOC
- FL
- EC
- TC
- TA
- TB
- DA
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- FENCE LINE
- OVERHEAD POWER LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND STORM DRAINAGE LINE
- UNDERGROUND GAS LINE
- UNDERGROUND SANITARY SEWER LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- ADA MAT

ZONING INFORMATION

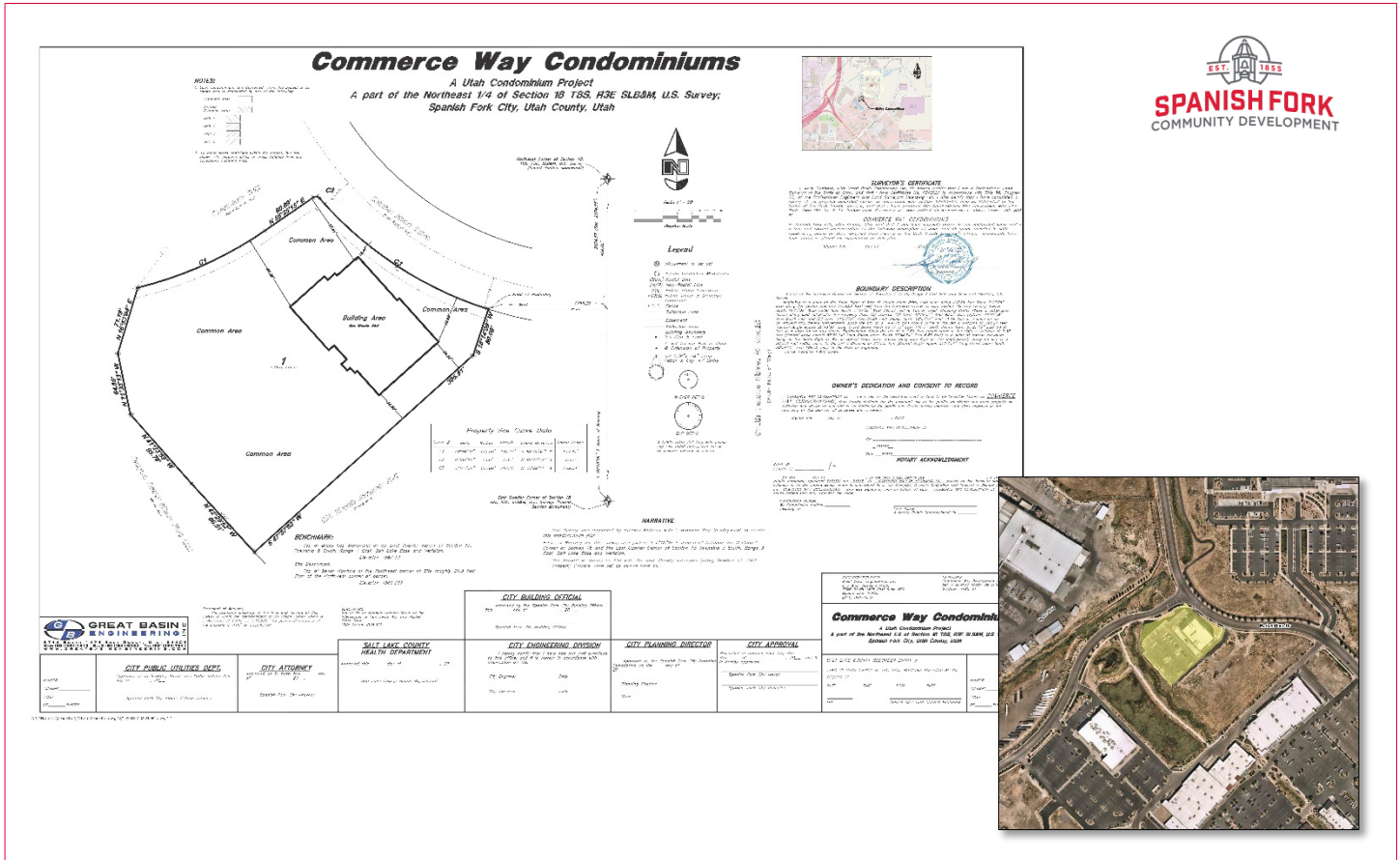
PROPERTY IS CURRENTLY ZONED:
 AWAITING ZONING REPORT

ITEM	REQUIRED	OBSERVED	NOTES
PERMITTED USE	COMMERCIAL		BECAUSE THERE MAY BE A NEED FOR INTERPRETATION OF THE APPLICABLE ZONING CODES, WE REFER YOU TO UTAH COUNTY FOR ZONING LAWS AND APPLICABLE CODES.
MIN. LOT AREA	27,879 SQ. FEET ±		
MIN. LOT WIDTH	111.28'		
MAX. BLDG COVERAGE	10.6% ±		
MIN. SETBACKS FRONT	68.1'		
MIN. SETBACKS SIDE	32.8'		
MIN. SETBACKS REAR	70.0'		
MAX. BUILDING HEIGHT	15.2' ±		
PARKING REGULAR	28		
PARKING HANDICAP	2		
PARKING TOTAL	30		

ZONING PROVIDED BY:

TEMPORARY BENCHMARK INFORMATION

TBM#1	TBM#2
SET MAG-NAIL	SET MAG-NAIL
NORTHING: 7212962.43	NORTHING: 7213002.58
EASTING: 1601077.45	EASTING: 1601148.23
ELEVATION: 4578.10'	ELEVATION: 4576.39'



Commerce Way Condominiums Final Plat Approval Request

Recommendation

January 10, 2024, Development Review Committee meeting.

Located at 692 East Market Place Dr, including 1.8 acres.

The subject property is zoned B-P.

The applicant has requested that a Final Plat be approved to create units to be sold individually.

That the proposed Final Plat be approved based on the following finding and subject to the following conditions.

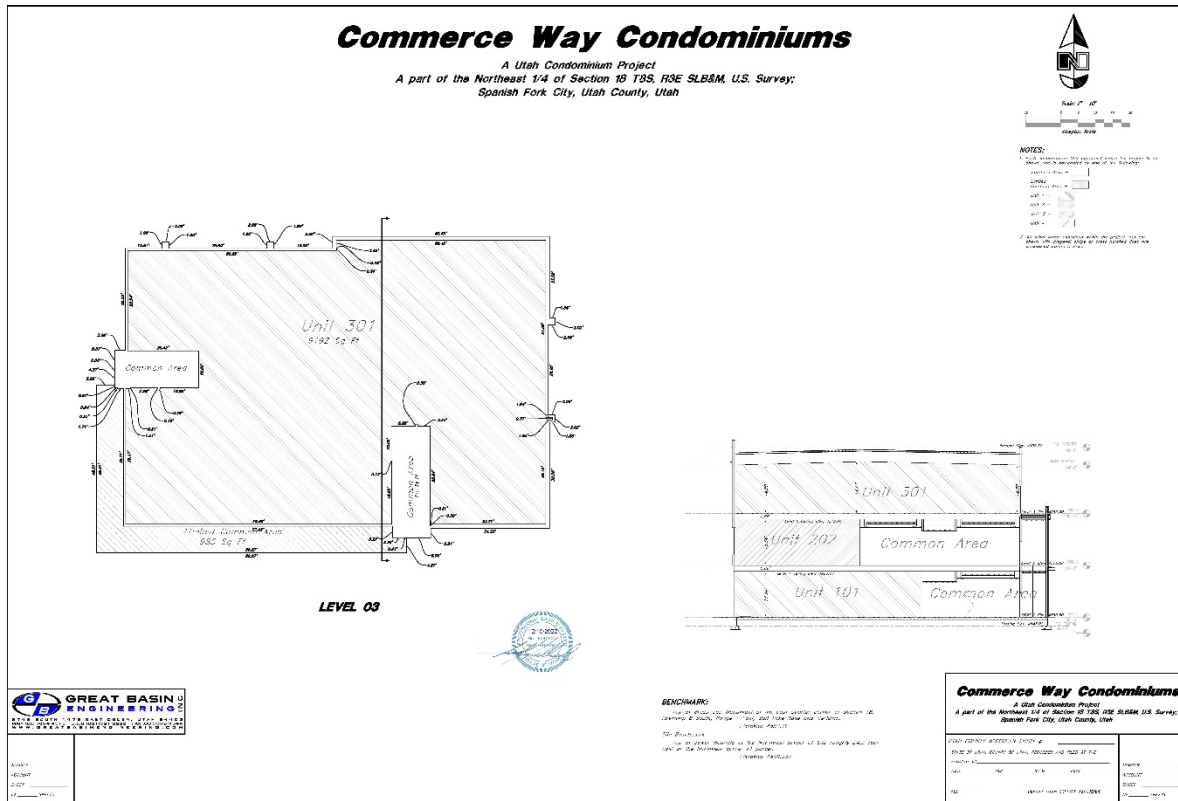
- Finding**
1. That the proposal conforms to the City's General Plan Designation and Zoning Map.
- Conditions**
1. That the applicant meets the City's Development and Construction standards, zoning requirements, and other applicable City ordinances.
 2. That the applicant addresses any red-lines.

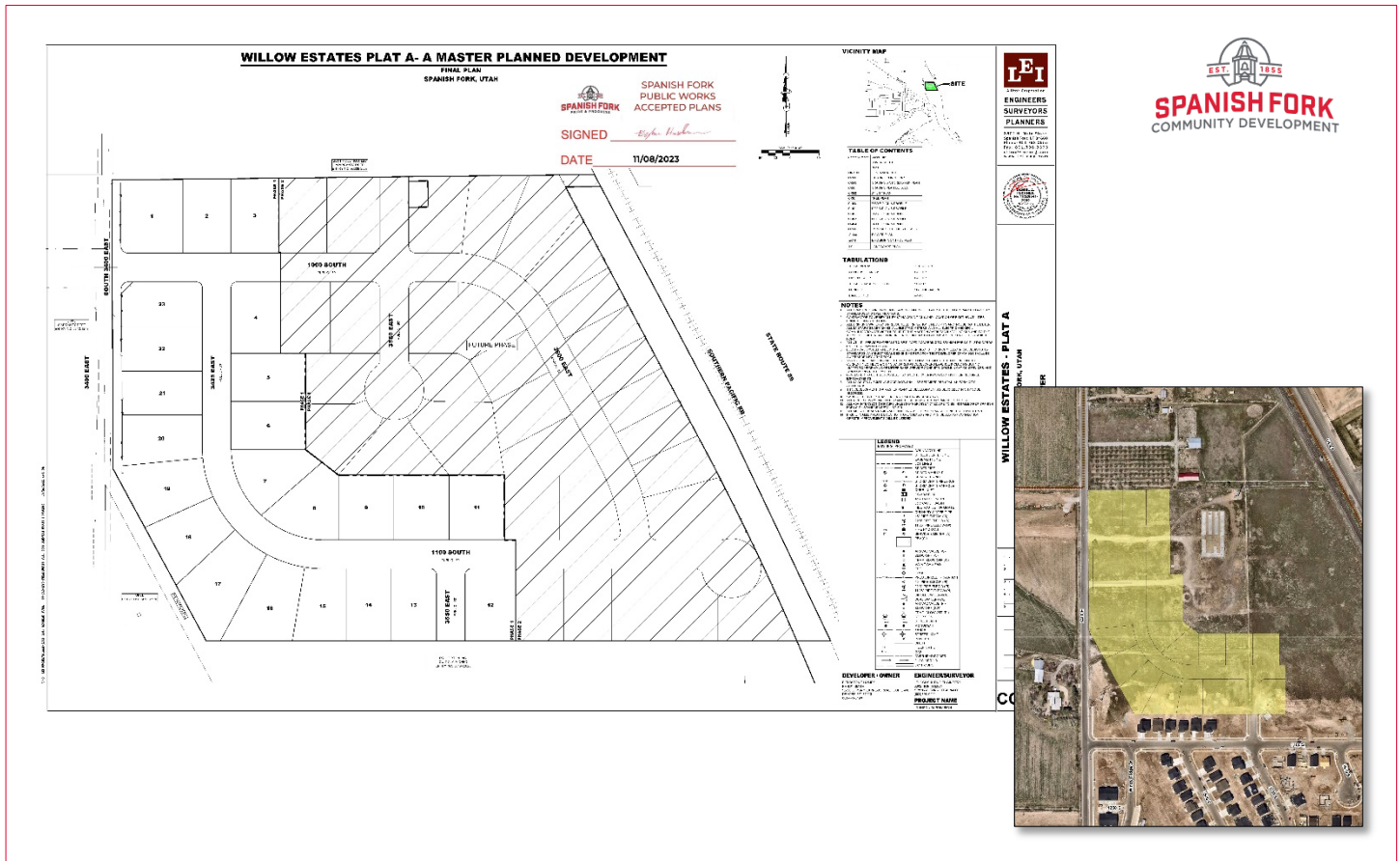
Key Issues

1. Conformity with state statute for condominium plats.

Exhibits

1. Plat.





Willow Estates Plat A Final Plat Approval Request

January 10, 2024, Development Review Committee meeting.
 Located at 1100 South 3440 East, including 11.02 acres.
 The subject property is zoned R-1-15.
 The applicant has requested that a Final Plat be approved.

Key Issues

- 1. Improvements.
- 2. Circulation.

Recommendation

That the proposed Final Plat be approved based on the following finding and subject to the following conditions.

Finding

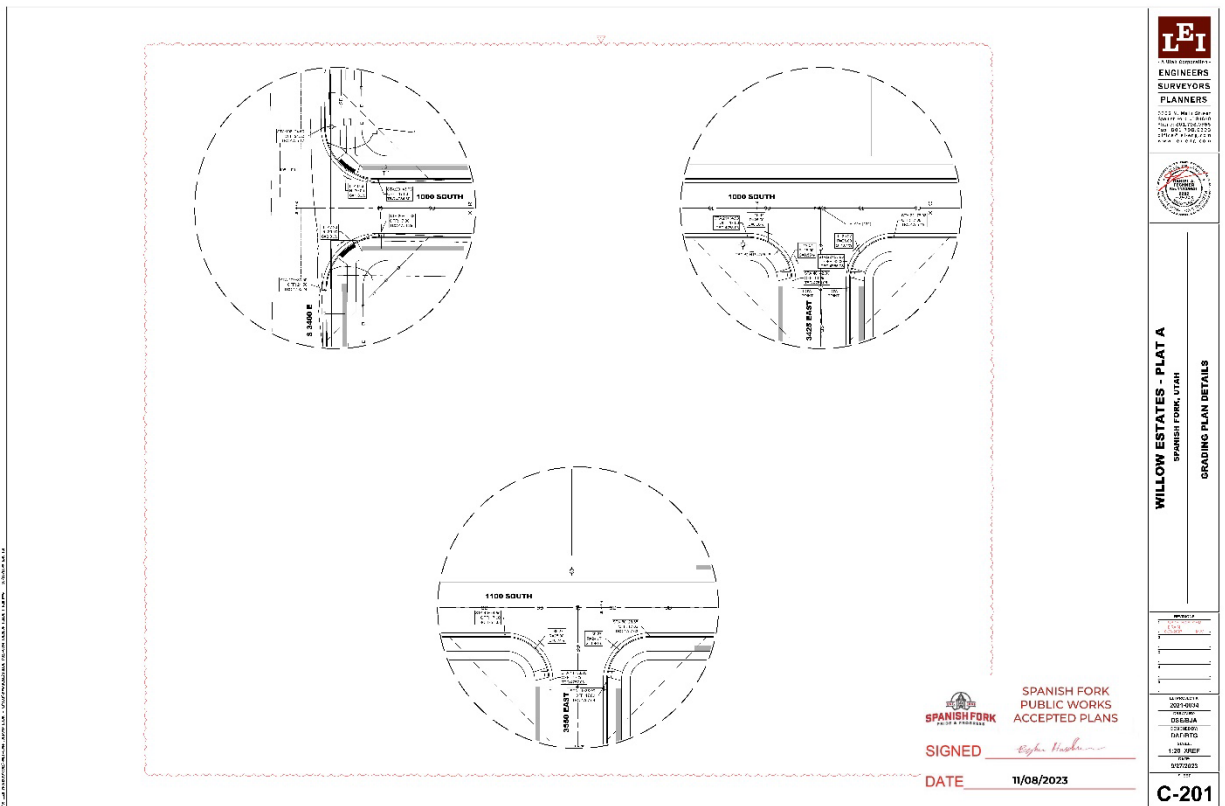
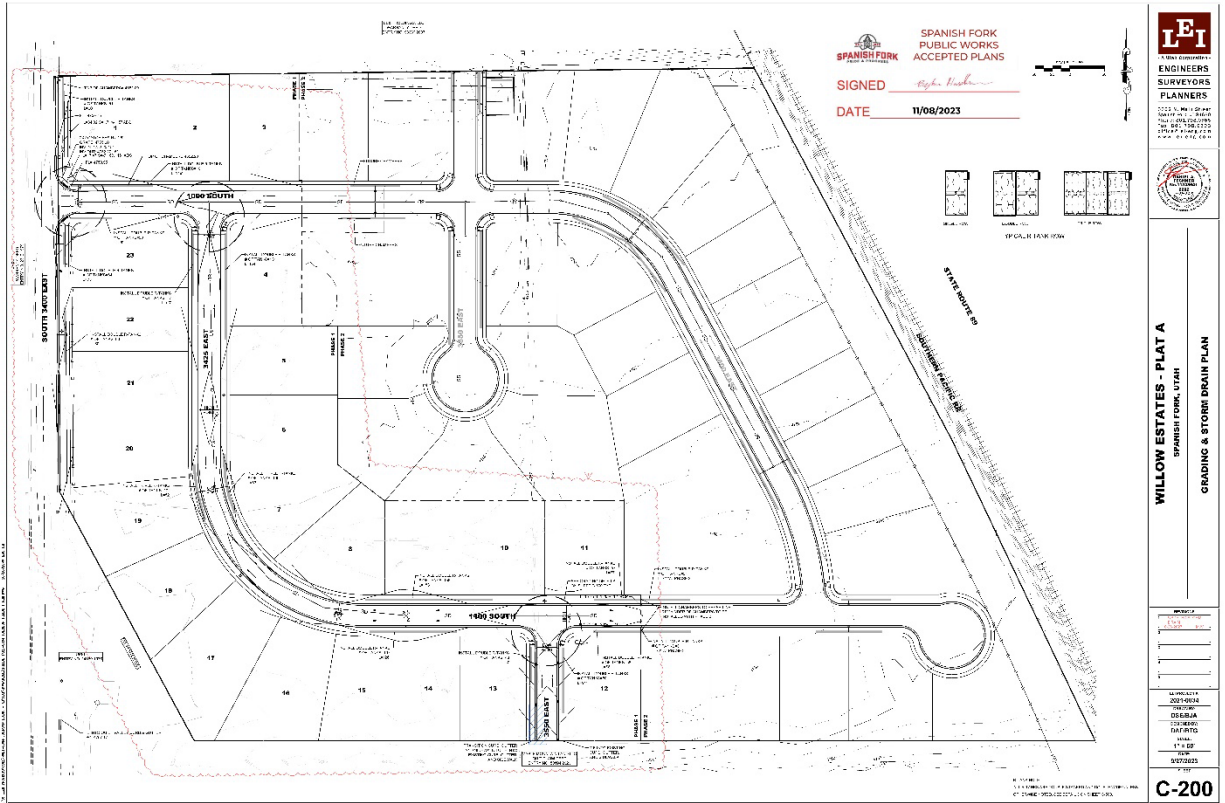
- 1. That the proposal conforms to the City's General Plan Designation and Zoning Map.

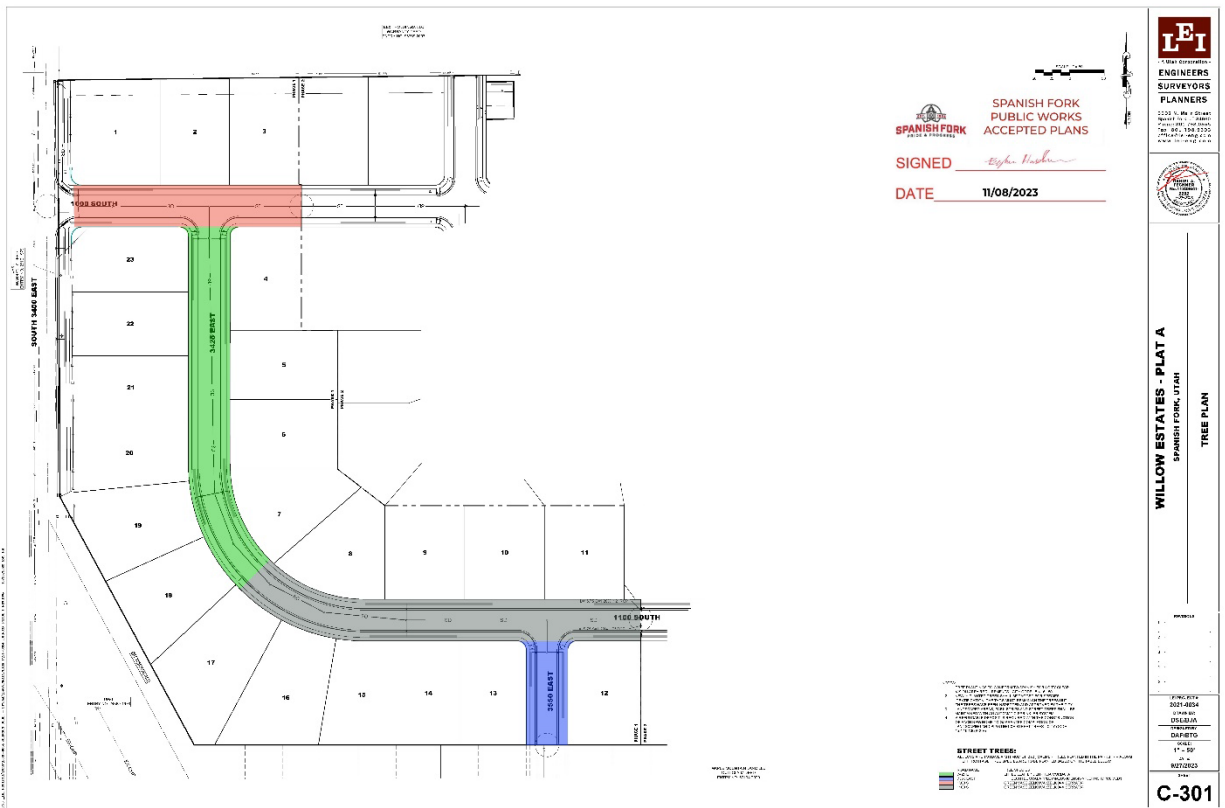
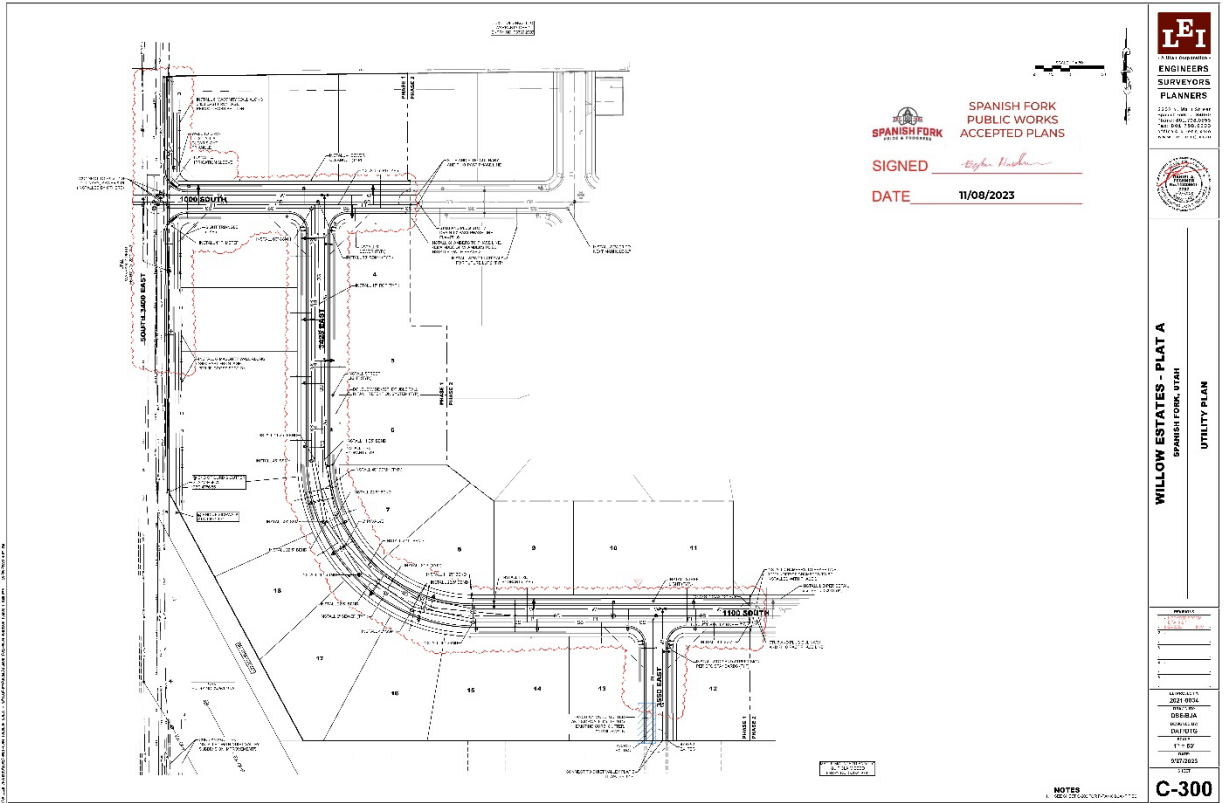
Conditions

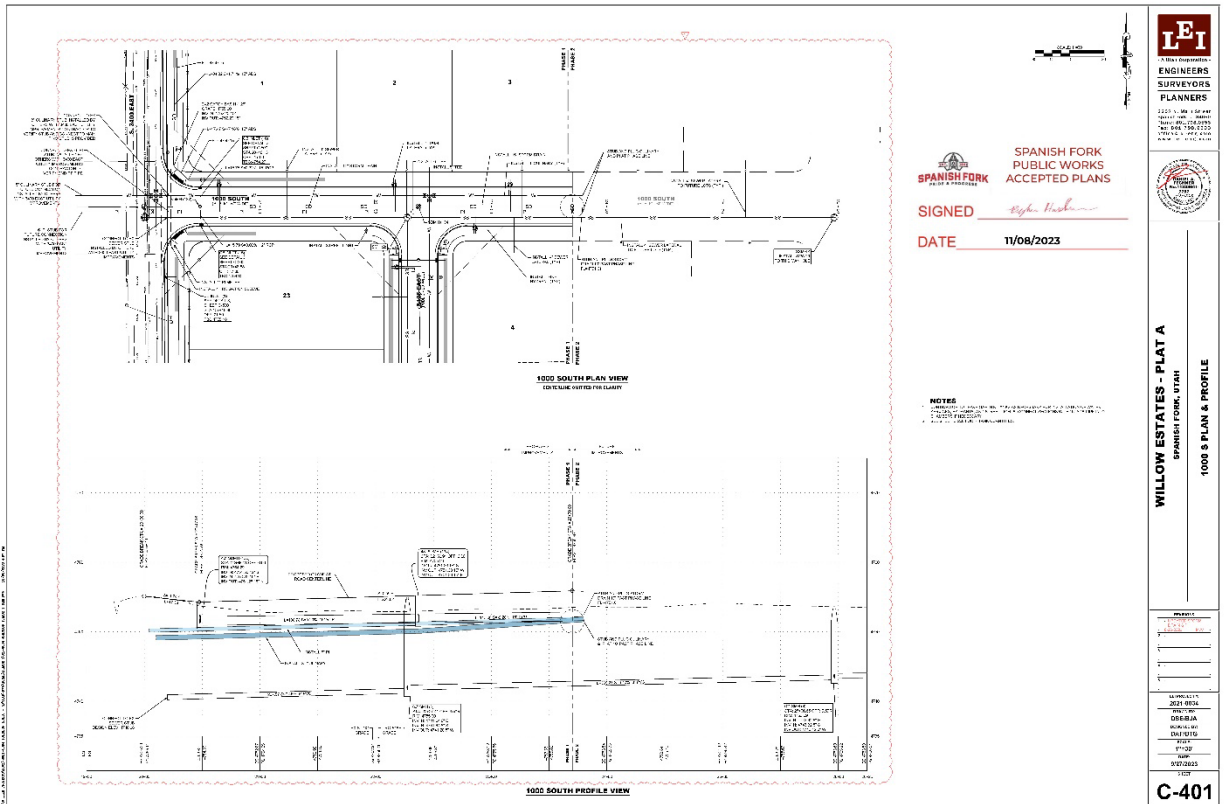
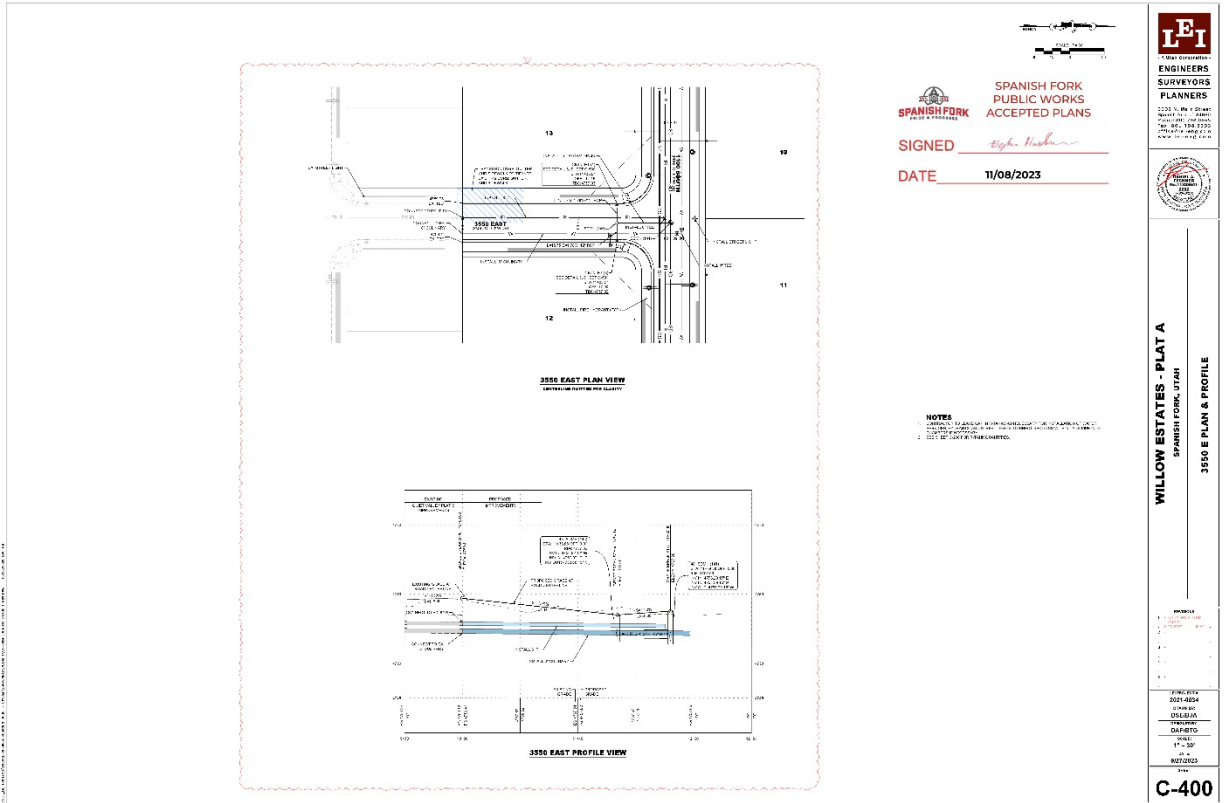
- 1. That the applicant meets the City's Development and Construction standards, zoning requirements, and other applicable City ordinances.
- 2. That the applicant addresses any red-lines.

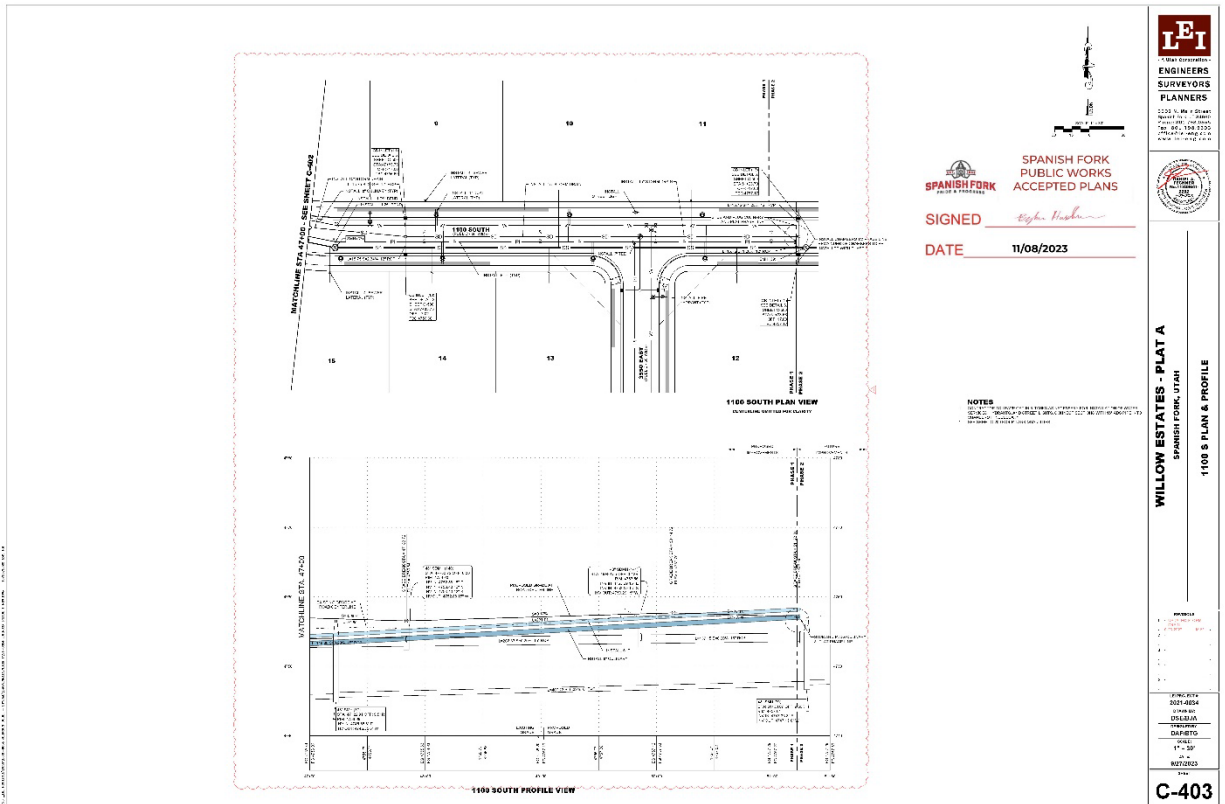
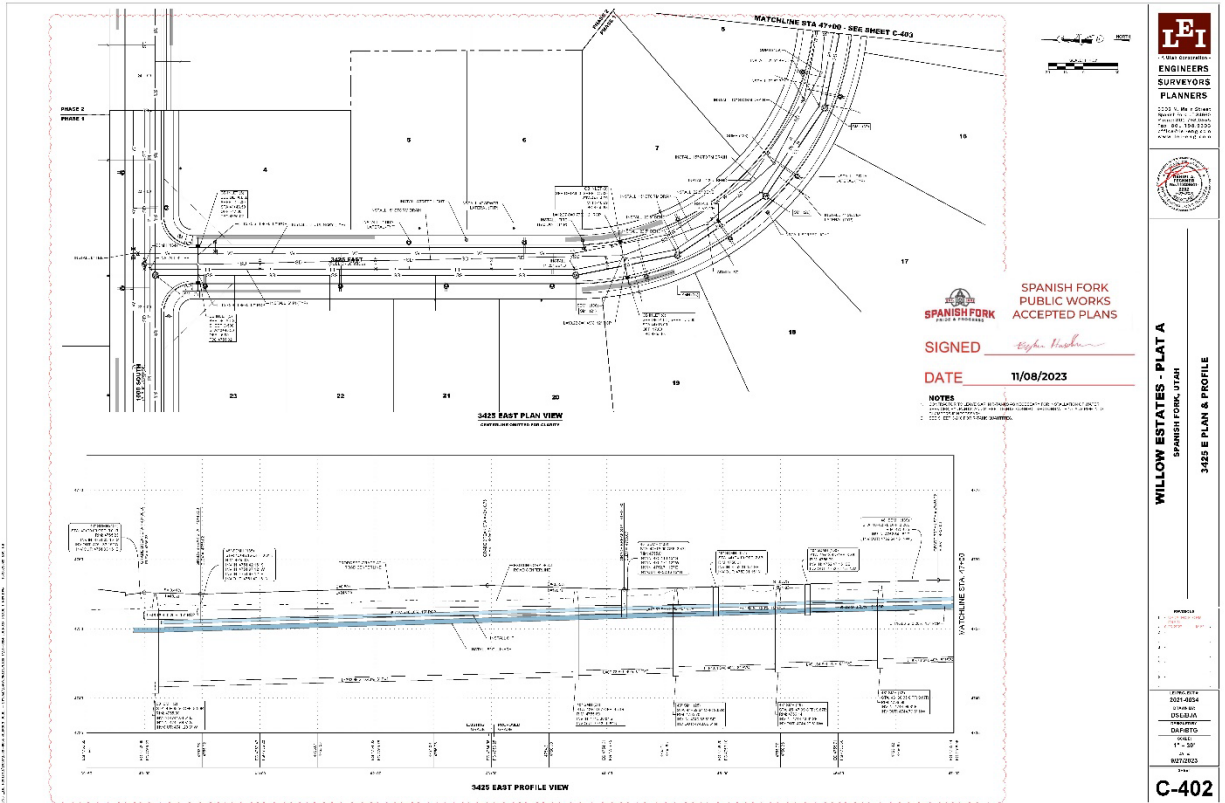
Exhibits

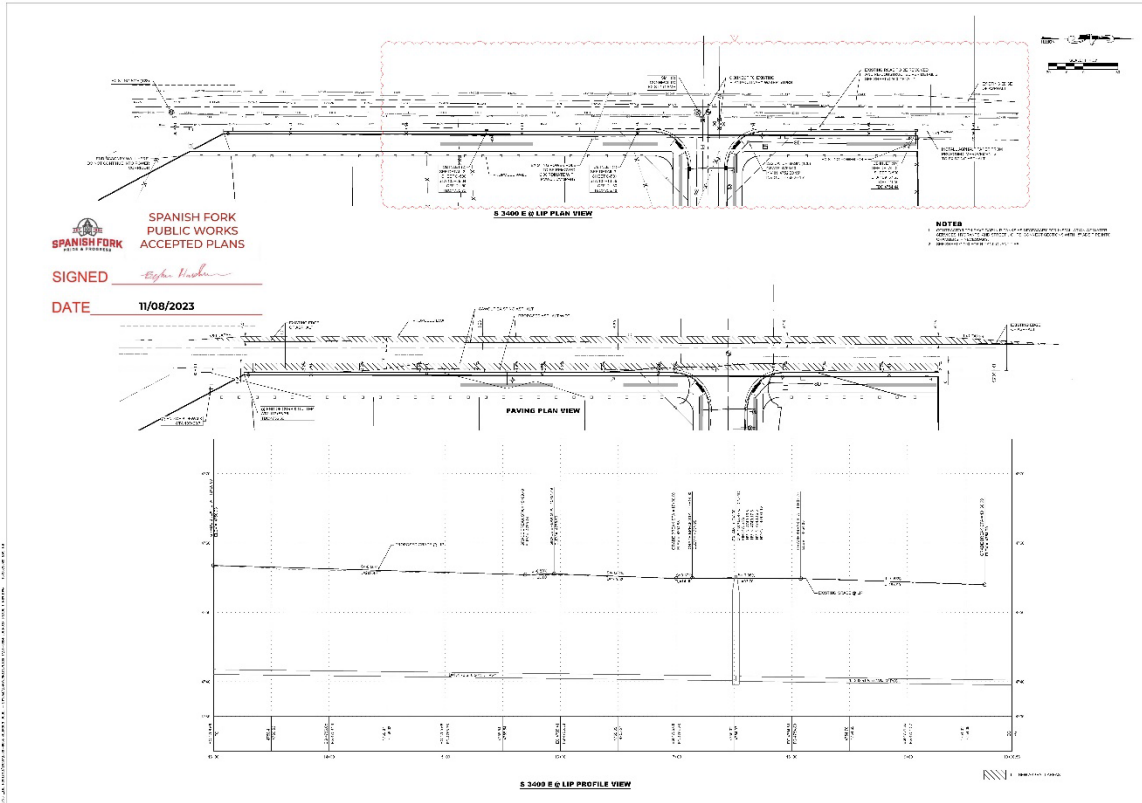
- 1. Final Plat.











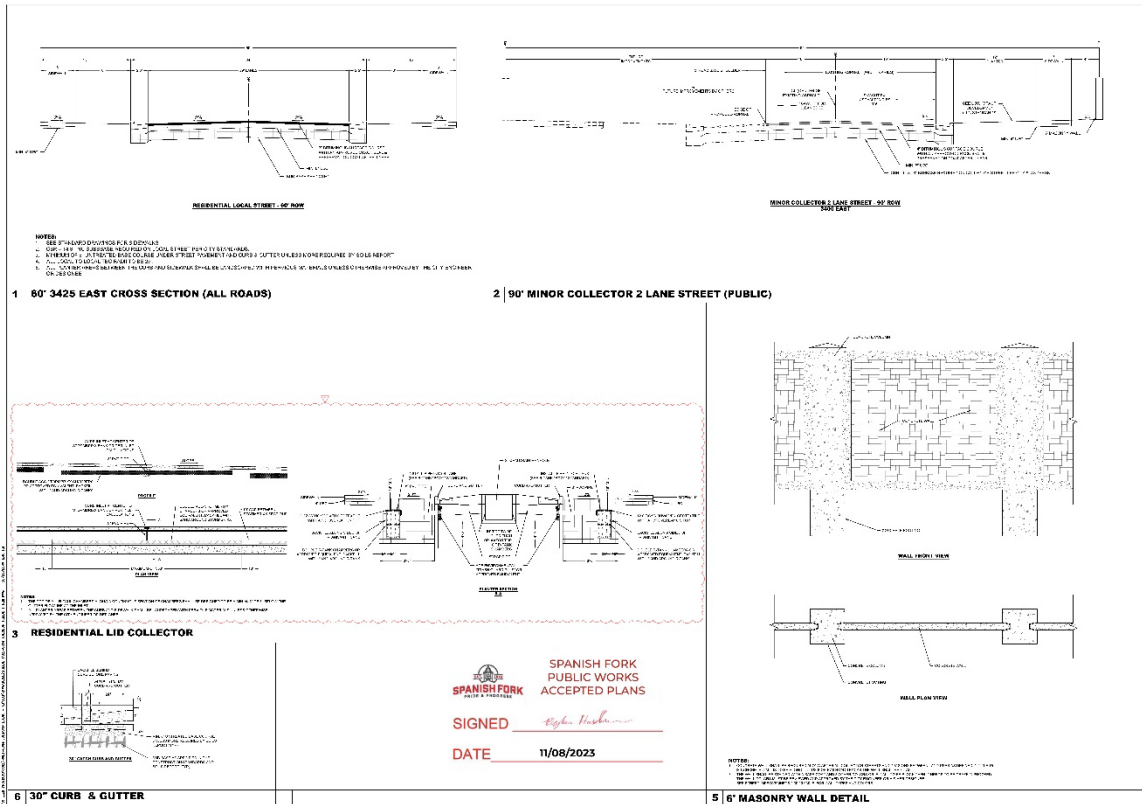
LEI
 ENGINEERS
 SURVEYORS
 PLANNERS

1200 N. 9th Street
 Salt Lake City, UT 84143
 Tel: 801.484.1200
 Fax: 801.484.1201

WILLOW ESTATES - PLAT A
 SPANISH FORK, UTAH
 3400 E PLAN & PROFILE

C-404

PROJECT: 2021-0824
 DRAWN BY: DREBIA
 CHECKED BY: DREBIA
 DATE: 11/08/2023



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 ENGINEERS
 SURVEYORS
 PLANNERS

1200 N. 9th Street
 Salt Lake City, UT 84143
 Tel: 801.484.1200
 Fax: 801.484.1201

WILLOW ESTATES - PLAT A
 SPANISH FORK, UTAH
 TYPICAL SECTIONS & DETAILS

C-500

PROJECT: 2021-0824
 DRAWN BY: DREBIA
 CHECKED BY: DREBIA
 DATE: 11/08/2023

