



FARR WEST CITY COUNCIL AGENDA

January 4, 2024 at 7 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the City Council of Farr West City will hold a 6:30 p.m. work session and their regular meeting at 7:00 pm on Thursday, January 4, 2024 at the Farr West City Hall, 1896 North 1800 West, Farr West

Call to Order – Mayor Ken Phippen

1. Swearing in of new Council Members: Bob Blind, David Jay and Timothy Shupe
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Opening Prayer
3. Comments/Reports
 - a. Public Comments (*2 minutes*)
 - b. Report from the Planning Commission
4. Consent Items
 - a. Assignments and direction for Planning Commission
 - b. Consider approval of minutes dated November 16, 2023
 - c. Consider approval of bills dated December 6, 2023
 - d. Consider approval of the 2024 Business License Renewals
 - e. Consider approval of council assignments and board appointments
5. Business Items
 - a. Consider approval of business licenses – Pony Kustoms, Adan Meza
Fanelli Orthodontics, PLLC
Kidney & Hypertension Institute of Utah
Talmage Smedley
Blue Sky Energy Corporation
 - b. Presentation and acceptance of the 2022-2023 Fiscal Year Audit Report – Child, Richards CPA & Advisors
 - c. Public Hearing to consider and act on the request to vacate a public utility easement for Steven and Shirlene Wilson located at 2880 West 3325 North
 - d. Consider approval of Ordinance No. 2024-01, vacating the public utility easement for Steven and Shirlene Wilson located at 2880 West 3325 North
 - e. Consider approval of the Tesla, Inc. charging station site plan located at 1750 West 2700 North
 - f. Consider approval of Ordinance No. 2024-02, amending the M-1 Manufacturing zone ordinance
 - g. Consider approval of Ordinance No. 2024-03, amending the Fee Schedule Enumerated of the Farr West City Code
 - h. Confirm date and times of Council Meetings as the first and third Thursday of the month at 7:00 p.m. at Farr West City Hall, 1896 North 1800 West, Farr West
 - i. Set a public hearing for the Planning Commission for Thursday, January 25, 2024 to consider approval of updates to the subdivision ordinance as mandated by SB 174
6. Mayor/Council Follow-up
 - a. Report on Assignments
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was emailed to each member of the City Council, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on December 29, 2023.

Lindsay Afuvai, Recorder

Report Criteria:

Business.License Status = ACTIVE

Account No	Bus Name	Location	Bus Phone1	Mangr Name
40	PACIFIC TRI-STAR COMPANY	3236 N. 2000 W.	801-782-1408	ROBERT GIBB
50	EQUITY LIFESTYLE PROPERTIES	1111 N. 2000 W.	731-3120	MIKE JOHNSON
60	ECONOMY PLUS STORAGE	1850 W. 900 N.	801-706-7520	ALAN M. CURTIS
85	G-FORCE ENTERPRISES L.L.C.	2512 REMUDA DR	801-391-0342	GRANT DORNEY
125	JERRY'S NURSERY, GARDEN CENTER & LANDSCA	1410 N. 1900 W.	801-782-4149	DALE BARNETT
155	FARR WEST BARBER SHOP	1880 N. 2000 W.	801-791-4358	BRENDA M. FULMER
165	HOAGIES PETRO MART	2705 N. 2000 W.	731-4272	MATT CHUGG
170	SELECT MARKETING, LLC	2453 W. 2000 N.	801-791-5772	PAMELA B. DESPAIN/ ROBERT
175	DENNIS W. MOSS PLUMBING	1375 W. HARRISVILLE RD.	782-5594	Dennis W Moss
205	TRAMCOR CORPORATION	908 N. 2000 W.	731-5522	LUCAS BRAEGGER
215	FARR WEST HOLDING, L.C.	1892 Heritage Ranch Dr	801-644-9502	STEPHEN W. FISHBURN
230	TRI-TECH GLASS	2543 N. 2000 W.	801-710-2555	RANDY THORNOCK
280	JULIE'S	2476 W 2000 N	731-0868	
305	SCHOONMAKER ELECTRO MECHANICAL	2671 W. 1900 N.	801-589-6210	MICHAEL SCHOONMAKER
325	FARR WEST STORAGE	1100 N. 2000 W.	801-458-7994	SHERRIE NORTHROP
335	PETERSEN INC.	1527 N. 2000 W.	732-2000	MARK JENKINS
350	KINDERMUSIK & PIANO	1576 FARR WEST DR.	801-782-8143	SUSAN LARSEN
355	STYLIN	1858 W. FARR WEST DR.	782-6208	
375	NORTHROP AUCTION SERVICE L.L.C.	1100 N. 2000 W.	801-458-7994	ED NORTHROP
405	COUNTRY BOY'S DELI	3936 N. HWY 126	731-1120	
410	SCREENSCAPE IMPRESSIONS	1690 N. 1900 W.	801-644-7162	
415	MAVERIK, INC #481	1874 W. 2700 N.	801-786-2127	DANICE ZULLIGER
435	FARR WEST AUTO BODY	1869 N. 2000 W.	791-7330	DALE REDFORD
495	MIKE CONWAY CONST., INC.	3189 N. HIGLEY RD.	801-791-0020	LORETTA CONWAY
500	SMITH & EDWARDS CO.	3936 N. HWY 126	731-1120	
570	DR. SAMUEL D. KNIGHT	1741 N 2000 W	731-3200	SAMUEL D. KNIGHT
660	HAIR BY JOLENE	1365 W. 1500 N.	801-458-6047	JOLENE MERRILL
686	7-ELEVEN SALES CORPORATION	1829 W 2700 N	801-782-8522	
700	DIAMOND WK LLC	1025 N. 2000 W.	801-731-5531	NATHAN WILSON
705	JAN'S SALON	2594 W. 1800 N.	801-391-8396	JANET STEED
730	DC MANAGEMENT UTAH LLC/ARBY'S	1814 W. 2700 N.	801-737-9194	SABRENA ADAMS
750	GOLDENWEST CREDIT UNION	1765 W. 2700 N.	801-621-4550	DUSTIN HODGES
775	SUNBELT RENTALS, INC.	1548 N. 2000 W.	801-732-8807	MIKE TRENT
780	STEVEN BARKER CONST. INC.	2476 W. 2000 N.	732-3685	
800	ASSOCIATED FOOD STORES, INC.	1825 W. 2530 N.	801-978-8515	ROGER WHITE
815	C-A-L RANCH STORE	955 N. 2000 W.	732-9348	MARK MURRAY
835	M & V MAINTENANCE, INC.	928 N. 2075 W.	801-643-2847	MIGUEL ESCOBEDO
910	GRB ENT., INC.	2686 N. 1850 W.	801-737-1100	TRAVIS READING

Account No	Bus Name	Location	Bus Phone1	Mangr Name
990	PAULA'S PIGGLY WIGGLY PRESCHOOL	2110 W. 2500 N.	731-9197	PAULA HARRIS
1005	BRINKERHOFF EXCAVATING	3738 N. HIGLEY RD.	731-3391	LINDA BRINKERHOFF
1055	WASATCH VALLEY EXCAVATION	1859 N. 2000 W.	801-745-1930	BEAU MONTGOMERY
1060	HERITAGE RANCH & STALLION STATION, LC.	1892 HERITAGE RANCH DR	801-644-9502	ANDY FISHBURN
1065	RHINO-TURF	2488 W. CLYDESDALE COURT	801-731-2987	AMY EARL
1085	HONE PROPANE INC.	3730 N. HIGLEY RD.	801-731-8998	Brandon Hone
1095	TRESSES	1095 N. 1500 W.	801-941-9547	TESHA THOMAS
2201	FINE ART AND PHOTOGRAPHY BY GILLIAN LLC	2417 W 2850 N	801-200-5598	Gillian Steenblik
2202	ASPEN SPRINGS STORAGE	3344 N 2000 W	801-648-5640	BRINTON NEFF
2203	PETERSON HVAC	2652 W 2275 N	801-388-1913	ZACH PETERSON
2204	TIMBER CREEK SERVICES LLC	2451 W 3125 N	385-416-0554	GREGG M DEMILLE
2205	SIMMONS CUSTOM WOOD FLAGS	1370 W 1750 N	801-814-9932	SKYLER SIMMONS
2206	MILLER MADE LLC	2742 W 3500 N	801-389-4965	JARRET MILLER
2207	RBR RENTALS	3844 N 2525 W	801-540-8751	ROBERT BRIAN
2208	THE FISHER FAMILY HOMESTEAD ASSISTED LIVING HOME	1380 N 2000 W	801-564-7847	SONIA FISHER
2211	UP N OVER GARAGE DOORS	2424 W 2900 N	801-663-8315	DERRICK OR FLORA GREEN
2212	4950 AUTOMOTIVE LLC	3677 N HWY 126	801-719-0133	SETH WALDRON
2301	OM CONSULTING	2379 W 2850 N	406-285-1232	OSCAR INDRELAND
2302	NEED A BREAK VACATIONS	1256 N 1725 W	801-430-8103	Clayton Monahan
2303	BARNFIND MOTORS LLC	3714 N HIGLEY RD	801-710-1375	JAMIE BOOTS
2304	SRNK, LLC	2381 W 2525 N	801-791-9706	SHAWN NIEDERHAUSER
2305	KH BOOKKEEPING LLC	2547 N 2250 W	801-389-0210	MARY KAITLYN HOTH
2306	JPS HANDIWORKS AND COLLECTABLES	3658 N 2800 W	801-332-0800	JOEL SCHNEIDER
2307	SHEARS 10, LLC	2570 W 1800 N	801-809-7213	KERSTIN PALMER
2308	TONI WILSON	2828 W 3600 N	435-222-4596	TONI WILSON
2309	EBERT SOLUTIONS	1754 N 1350 W	801-710-0788	JAMES EBERT
2310	LIBERTY HILL LANDSCAPES	2664 W 2725 N	385-424-8743	BEN CHILDS
2311	WHITE PINE ENGINEERING LLC	2397 N 2400 W	385-329-1033	JACKSON SAGERS
2312	MINDY KOTTER	2604 W 2575 N	801-920-6357	MINDY KOTTER
2313	HR BUSINESS PARTNER ADVISORS	1735 N 1350 W	801-920-8307	RICHARD SLATER
2314	MRD LLC	3254 N PELICAN DR	805-799-0742	DANIEL MEZA
2315	LOTUS AESTHETICS, LLC		801-309-6285	MANDI LOU TANNER
2316	UTAH CRYOGENIC PIPING LLC	3915 N 2700 W	801-317-6171	JAMES CHADWICK
2317	WIN FINANCIAL PLANNING AND CONSULTING, LLC	1256 N 1725 W	801-940-1550	WILLOW NIMORI
2318	TJM ENGRAVING	2661 W 2450 N	801-791-4403	TRAVIS MOULDING
2319	IDAHO LANDCARE COMPANY INC.	3677 N HWY 126 STE X	435-554-8873	JEREMY VINCENT
2320	JENNY ROSE PHOTOGRAPY	2684 W REMUDA DR	801-430-7065	JENNIFER C. ROSE
2321	AMERIMEX AUTO GLASS LLC	3924 N 2700 W	435-754-5427	MA. TERESA VAZQUEZ ESPARZA
2322	B & C LANDSCAPING	2805 W 3500 N	385-298-5948	CALVIN ROBERTS
2323	MILE9 VINYL LLC	3882 N 2550 W	801-686-5245	TYLER PETERSON
2324	TIMBER CREEK HAUL LLC	2451 W 3125 N	385-416-0554	GREGG DEMILLE

Account No	Bus Name	Location	Bus Phone1	Mangr Name
2325	GRAY MOUNTAIN MECHANICAL LLC	3582 N 3050 W	801-866-2289	MICHAEL SCHUMM
2326	FLOWERS BY MEG	2747 W 3375 N	801-391-0798	MEGAN HOFFMANN
2327	MARKAY JOHNSON CONSTRUCTION OF UTAH	2117 N HERITAGE DR	801-792-9361	SHARON BROADHEAD
2328	PRECIOUS PIECES COMPANY	3677 N HWY 126 #P	801-866-9419	LAURIE SCHMANSKI
2329	UPLIFY TECH INC	3433 N 2575 W	208-403-2547	KAYDEN HUSKINSON
2330	RKDO PRODUCTIONS, LLC	3677 N HWY 126 STE W	385-389-7880	JOSHUA ROCHA
2331	PLATINUM CLEANING, LLC	2676 W 2400 N	801-941-9411	CLANCY RHEES
2332	BLAST 'EM BINS	3834 N 2550 W	801-829-8480	CADEN PETERSON
2333	THE WHITE ROSE EVENTS	3677 N 2000 W	435-300-0837	ROBERTO MOLINA
2334	ASPHALT CONSTRUCTION AND EXCAVATING COMPANY	1256 N 1725 W	801-831-0386	CLAYTON MONAHAN
2335	BLACK WATCH ARMORY LLC	2587 W 2750 N	801-882-6864	MATT WORTHMANN
2336	TEK SYSTEMS SOLUTIONS	2656 REMUDA DR	801-680-1415	SCOTT CHANDLER
2337	CONNMANN CREATIVE LLC	2556 W 2575 N	970-319-7398	ERIC CONN
2338	WASATCH LA SAL ADVENTURE RENTALS LLC	1246 N 2000 W	801-866-3778	BRADY KOHLI
2339	AESTHETICS BY ELIZA	1812 N 2000 W #4	801-389-9908	ELIZABETH CASTANEDA
2340	CALDWELL HAULING	2627 W 2500 N	801-675-2942	JUSTIN CALDWELL
2341	NORTH EASTERN SERVICES	1631 W HARRISVILLE RD	801-979-0267	DAVID CARLSON
2342	GREAT SCOTT LLC	2430 W 2425 N	801-458-8824	JUSTIN C. SCOTT
2343	HAPTIC ANALYTICS CORPORATION	2185 W 1025 N	801-686-1089	LOGAN MORRIS & BAILEE BUSBY
2344	ACE OF SHADES LLC	2624 W 3975 N	801-388-2626	BRAYDEN SCHMANSKI
2401	KNIGHT FAMILY DENTISTRY	1741 N 2000 W	801-731-3200	SKYLER KNIGHT
3001	BELLA'S FRESH MEXICAN GRILL	2651 NORTH 1850 WEST	801-737-0557	JOE COTTAM
3020	NORTHERN ASPHALT PAVING LLC	3754 N. HIGLEY RD.	801-732-1617	JULIE MARTINEZ
3150	AUTO TRANSPORT GROUP, LLC	1621 W. 2550 N.	801-612-1319	BRENT LARSEN
3155	UTAH TRUCK & TRAILER REPAIR, LLC	1621 W. 2550 N.	801-866-0325	Brandt Baldwin
3175	JBF HEATING & AIR INC.	3691 N. HIGLEY RD	801-940-2937	JARED FOWERS
3185	T-MOBILE WEST LLC	1020 N. 2000 W.	630-857-2106	
3220	A M E MEDICAL BILLING	928 N. 2075 W.	801-791-7626	AMANDA ESCOBEDO
3260	JACKSON MOBILE SERVICE	2599 W. NORTH PLAIN CITY RD	801-721-6652	BRUCE JACKSON
3270	ENCORE SERVICES	2173 HERITAGE DR.	801-721-2111	GUY WARR
3280	HEALTHY TREES FOR LIFE, LLC	1111 N. 2000 W. #410	801-510-3926	RONALD CURTIS
3295	GREENHALGH AWARDS	1834 N. 1775 W.	801-782-9829	STAN GREENHALGH
4020	BLUE THUNDER TRANSPORTATION	908 N. 2000 W.	801-731-5905	SHELBY BRAEGGER
4045	CHILDREN'S CARE-A-LOT DAYCARE	1311 W. 1100 N.	801-458-7143	VERONICA ESTRADA
4055	WHIPPLE EYECARE	1741 N 2000 W	731-5558	Dr. Whipple
4120	NORTH POST STORAGE AND RETAIL	3645 N. HIGHWAY 126	801-731-9000	ASHLEE CLAYTON
5000	C.S. CONSTRUCTION & DEVELOPMENT, INC.	1296 W. 1100 N.	801-941-4855	CALEB STOKER
5030	APPLESEED ACADEMY	3510 N. 3050 W.	801-814-0885	MISTY VIGIL
5040	TRI-CITY STORAGE	2214 W 1800 N	801-589-1945	Andy Straham
5050	TRANSFLEET SERVICES, LLC	1825 W. 2550 N.	801-568-1135	ANDY MADSEN
5055	RW WOODWORKS LLC	3358 N. HIGLEY RD.	801-731-3478	

Account No	Bus Name	Location	Bus Phone1	Mangr Name
5065	BEN LOMOND LANDSCAPE MAINTENANCE	3677 N. HWY 126	786-8600	CRAIG MITTON
5090	REMUDA GOLF COURSE	2600 W. 3500 N.	801-731-7200	ZACHARY ALAND
5140	FARR WEST JUMBO BURGERS INC	2665 W. 1772 N.	801-737-0895	MOHAMMAD ASHFAQ
6020	BURNETT SERVICES, LLC	1858 Heritage Ranch Dr	801-791-9079	DARREN BURNETT
6035	B & F ELECTRONICS & CONTROLS	1722 W. 1300 N.	801-737-2308	MARK BERGER
6070	TINA'S LITTLE HAIR HOUSE	3372 N. 2575 W.	801-695-1504	TINA PHIPPEN
7070	REAL DEALS ON HOME DECOR - FARR WEST	3479 N. Hwy 126	801-644-0562	MENDIE MOYES
7110	C & S ARMS - CHAD WYATT	2632 N. 2575 W.	801-389-1599	CHAD M. WYATT
7125	PRO BUSINESS PAYROLL	2569 W. 1800 N.	801-528-2644	KIM L. OLSEN
7155	L. TODD WHITELEY INSURANCE AGENCY INC.	2687 N. 2000 W.	801-782-5967	L. TODD WHITELEY
7185	CARL WHITELEY UPHOLSTERY	1968 N. 2000 W.	801-782-2069	CARL WHITELEY
7190	LMS INTELLIBOUND INC	1825 W. 2550 N.	770-414-1929	SHAWN JORDAN
7260	FOOTLOOSE REFLEXOLOGY	1233 W. 1200 N.	801-529-8777	JUDY A. SMITH
7320	MURRAY INSURANCE AGENCY LLC	1812 N. 2000 W. STE 1	801-786-0444	TREVOR MURRAY
7335	ELEVATED FITNESS INC.	3581 N Hwy.126	801-731-2205	JAMES HOYT
7350	BRIGHAM EYE SPECIALISTS	2850 N. 2000 W. Ste 202	801-731-6326	SCOTT D TURNER
7405	ROCKY MOUNTAIN TRUCK PARTS	3700 N. 2000 W.	801-392-1060	SHAN KINSEY
7410	M D TRANSPORTATION	3700 N. 2000 W.	801-726-8436	MIKE MUNSEE
7430	SIKOTARMAA LLC	1776 W. 2550 N.	801-458-8088	RAKESHKUMAR A. PATEL
7475	BT MACK ENTERPRISES	2648 REMUDA DR.	801-649-6609	LARRY WELCH
7480	SHEAR IMAGE SALON	2627 W. 2500 N.	801-725-4353	ALLISON CALDWELL
7495	FARR WEST PEDIATRICS P.C.	2780 N. 2000 W.	435-734-2433	KIM PALMER
7530	SUMKO-BITNER ORTHOPAEDIC AND SPORTS MEDICINE	2850 N. 2000 W.	866-734-2151	PATTI BENNETT
7550	TOONE CLEANING	1816 Heritage Ranch Dr	801-710-6570	ANGI TOONE
7570	FARR WEST LC	2850 N. 2000 W.		CAREY LLOYD
7575	SUNDANCE PHYSICAL THERAPY	2850 N. 2000 W.	801-731-5421	CLAY SNITEMAN
7585	EAR TECH - KERRY BRAUNBERGER, TERRY CLAW	2850 N. 2000 W.	801-399-9955	CONNIE RODSETH
7590	CENTRAL UTAH CLINIC P.C.	2850 N. 2000 W.	801-429-8000	DIRECTOR OF FACILITIES
7595	SCHWEPPPE PEDIATRIC DENTAL	2850 N. 2000 W. STE 205	801-479-9220	KAREN KELLESBERGER
7600	LANCE ALBRECHTSEN DDS, MS	2850 N. 2000 W. STE 205	801-479-9800	RACHEL TAYLOR
7625	REDFORD AUTO BODY	1869 N. 2000 W.	801-309-5757	KEVIN REDFORD
7650	BIG CARPET, LLC	1968 N. 2000 W.	801-675-5975	DENNIS BIGELOW
7655	THORO-CLENE LC	2189 N. 2000 W.	801-731-8079	JAMIE ELLIS
7695	AVEX SUPPLY	3677 N. HWY 126 STE 3C	801-528-5118	NICK BAUER
7700	JIFFY LUBE #3379	1783 WEST 2700 NORTH	801-737-3103	JOEY PATTISON
7705	STAR LIGHT SALON	2770 N. 2000 W.	801-645-2556	NANCY VAUSE
7715	HEIDI FURGESON	2658 W. 3300 N.	801-731-2386	HEIDI FURGESON
7740	REDBOX AUTOMATED RETAIL, LLC	1874 W 2700 N	630-756-8978	JEFF KIST, REDBOX CONTROLLER
7750	ROCKY MOUNTAIN MEDIUM DUTY TRUCK PARTS	3690 N. 2000 W.	801-781-1015	NELSON WOODBURY
7775	SUMMIT HARDCAPES	1256 N. 1725 W.	801-737-0991	CLAYTON MONAHAN
7805	REDBOX AUTOMATED RETAIL, LLC	1829 W. 2700 N.	630-756-8978	JEFF KIST, REDBOX CONTROLLER

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7830	JC RAPID RECOVERY	2627 W. 2500 N.	801-675-2942	JUSTIN CALDWELL
7850	ALTITUDE AUDIO VIDEO	2868 W 3325 N	801-388-0891	RICKY YORGASON
7855	DIVERSIFIED CONSTRUCTION SERVICES INC	2950 N. 2000 W.	801-732-9342	Andrea (Andie) Neeley
7900	RUSH TRUCK CENTERS OF UTAH, INC	1050 N. 2000 W.	801-564-6600	Jordan Peterson
7931	BRIDGERLAND HEATING & AIR CONDITIONING,	2718 N. 3500 N.	801-866-8181	BROOKLYN ANDERSEN
7955	FARR WEST FAMILY DENTAL, P.C.	1761 N. 2000 W.	801-731-9058	ISABEL TINGEY
7965	IN-HOME CARE ASSISTANCE	928 N. 2075 W.	801-510-9670	MIGUEL A. ESCOBEDO
8000	FARR WEST ANIMAL HOSPITAL	1400 N. 2000 W.	801-731-0511	JEFFREY S. BAILEY
8050	KRIS FOWERS, LMT	1395 N. 1350 W.	801-589-8861	KRIS FOWERS
8065	UNITED PEST	1295 W. HARRISVILLE RD	801-784-7211	ROBERT ATKINSON
8075	NICOLE ANDERSON PHOTOGRAPHY	3484 N. 2500 W.	435-553-4181	NICOLE ANDERSON
8080	THE OUTDOOR GARDEN	1806 N. 2500 W.	801-458-9094	STEVE BIRD
8085	AMERICAN PROMOTIONAL EVENTS	NW CORNER 1800 N. 2000 W.	253-830-3062	SHARLA HANSEN
8095	WINCO FIREWORKS LLC	1797 W. 2700 N.	801-732-5880	LAUREN COLLAR
8120	BLAIR NELSON HUNTING GUIDE	1514 N. 2000 W.	801-731-0449	BLAIR NELSON
8170	INSPIRED IRON WORKS	2241 W. 3300 N.	801-645-7251	LARRY BELNAP
8280	UTAH DEL, INC.	2618 N. 1850 W.	801-782-1148	JUAN YAK
8320	FARR WEST ORTHODONTICS	1761 N. 2000 W.	801-731-4850	Michael Richards
8325	MILLER'S FARR WEST	1750 W. 2700 N.	435-257-4570	PETROLENA GARCIA
8340	JSEM ENTERPRISES	1790 W. 2700 N.	801-737-9000	NICOLE MOORE-RUGE
8395	PARADISE FARM HERBAL APOTHECARY	1281 W. HARRISVILLE RD	801-668-4977	KELLIE ADAMS
8405	PKA CREATIONS	2063 W. 1025 N.	801-643-2329	KELLY & PAULA ANDREWS
8440	JACOBSON ENGINEERING LLC	2745 W. 3450 N.	801-859-4127	Joel B. Jacobson
8445	NON-TYPICAL EXCAVATION	1357 N. 2000 W.	801-941-3427	PARKER VENABLE
8480	UTAH ICE VOLLEYBALL	1896 N. 1800 W.	801-389-5298	TAMMY MCKEAN
8500	GRANT'S SERVICE INC.	1075 N. 2000 W.	801-393-4874	BRANDON BUTLER
8510	FORESITE DESIGNS	2971 W. 3450 N.	801-710-7095	NATE CARVER
8545	KC CREATIONS 4 U	1215 W. 1200 N.	801-391-3052	KATHERINE CHESTER
8565	PEAK HEALTH & WELLNESS, LLC	2850 N. 2000 W. #203	801-689-3389	BRYAN HAINSWORTH
8575	THE PARLOR	2696 W. 2175 N.	801-388-1529	VIVIAN MEYER
8585	TIMELESS SALON	3790 N 2525 W	801-458-7489	KELSEY SPENCER
8610	Kannegiesser Arms	2869 W. 3450 N.	801-731-4248	JAMES KANNEGIESSEN
8625	SOLDIER CREEK CONSTRUCTION	2360 W. 2825 N.	801-678-9831	ROBERT THAYN
8630	PEGASUS TAXI-CAB	3570 N. 3050 W.	801-920-0010	RODRIGO I. TIRADO
8640	BENJAMIN H. HALE, DMD	1761 N 2000 W	801-731-4440	MELANIE
8645	INVICTUS DESIGNS, LLC	3677 N. HWY 126 STE M	801-641-3626	ROBERT AND BETH SIMMONS
8665	LAROSE PAVING INC.	1406 N. 2000 W.	801-675-5309	MIKE LAROSE
8675	RJ OLSON TRUCKING, LLC	3279 N. PELICAN DR.	801-643-4559	RUSSELL AND MELISSA OLSON
8685	GARRETT CONSULTING, LLC	3352 N. 2375 W.	435-757-8743	MARSHAL GARRETT
8700	LUDWIG MATHIAS, LLC	2645 N. 2450 W.	801-414-5459	NATHAN S. PETERSON
8705	TAAG PROFESSIONAL CLEANING & WINDOWS LLC	1743 FARR WEST DR	801-388-0652	KESHA HOYT

Account No	Bus Name	Location	Bus Phone1	Mangr Name
8735	SEASONS ASSISTED LIVING OF FARR WEST LLC	1979 HERITAGE DR.	801-394-0044	JARED ANDERSEN
8800	OGDEN CYCLE ASSOCIATION	2390 W 4000 N	801-337-1262	BRAD SWEET
8815	E & E WELDING	3221 N. HIGLEY RD	801-603-7280	SCOTT ESPLIN
8825	BARGAIN BLINDS	1272 W. 1100 N.	801-829-1016	NELSON BOWEN
8830	COLLIER CORNER	1263 N. 1700 W.	801-782-3110	TAUNYA COLLIER
8840	MR RESTAURANTS, L.C.	1655 W. 2700 N.	801-621-0905	Ashley Aicher
8865	SERENITY HOUSE INNER WELLNESS	2375 N. 2000 W.	801-920-7131	SHEILA TAYLOR/DONNA RUSSELL
8870	FARR WEST AUTO INC.	2010 W. 1025 N.	801-928-3635	JOSHUA MAES
8875	ACIERTO LLC	2053 N. 2000 W.	801-917-0070	JOSEPH D. MATTHEWS
8895	COPART	3586 N. 2000 W.	801-294-3000	LUKE JOHNSON
8900	MATTRESS DIRECT OF OGDEN	1990 N. 2000 W. STE 101	801-819-9800	JOSH BALIN
8905	SHAYS BEAUTY LLC	1990 N. 2000 W. STE 103	801-678-0778	SHAYLIE STEPHENS
8915	GRANGE ENERGY MANAGEMENT AND POWER LLC	1505 N 2000 W	801-710-3412	BRYAN GRANGE
8925	MINDI HOELLEIN NAILS	2256 W. 1025 N.	385-244-9100	MINDI HOELLEIN
8940	UTAH LAKE CONSTRUCTION	3591 N. 2550 W.	801-721-7420	JOHN T. GRAHAM
8945	TACO BELL #033178	1797 W 2700 N	801-782-4123	JENNIFER CLARY
8960	PRICE ENGINEERING	3677 N HWY 126 STE 4B	801-791-6274	KYLE PRICE
8985	FRESENIUS MEDICAL CARE	1735 W 2700 N	801-737-9664	PAT WATKINS
8995	SUMMIT HAND THERAPY	2850 N 2000 W STE 107	801-540-1635	SAMUEL DELONG
9040	ROOTS AUTO SALES, LLC	3345 N 1900 W	801-860-6003	
9065	KIT AND KIN	2673 W 2125 N	801-695-8211	LORALEEN WALKER
9070	WESTERN STATES FLOORING, INC.	1980 N 2000 W	801-719-0978	MARHSAL PETERSON
9075	UNIFORMITY APPAREL, LLC	3677 N HWY 126	435-730-1523	CHELSEA CHRISTENSEN
9080	LACEY SUMMERS	3171 N. PELICAN DR.	801-678-2642	LACEY SUMMERS
9100	TACTICAL GROUP LLC	2053 N 2000 W	801-917-0070	JULIE MATTHEWS
9105	PLAN AHEAD, LLC	1838 W 2700 N	801-689-3471	KIM STOOKEY
9115	CHRYSALIS-UTAH, INC.	1374 W 1100 N	801-820-6420	ISAIAH MAUGA
9120	Hair We Go LLC	2458 W 2825 N	801-678-6945	
9140	SHUTTER BUG STUDIOS	1980 N 2000 W #106	801-821-8164	
9145	MOONSTONE CONSTRUCTION LLC	3677 N HWY 126	801-430-2591	NATHAN MOON
9160	HEALING LOVING ARTS	2020 W 2500 N	385-370-5121	Stacy C Price
9165	THREE PRINCESS HOME DECOR & MORE	3560 N 2500 W	385-414-0118	
9170	VOODOO DADDY LLC	3594 N 3050 W	801-645-1226	
9185	RED OAK PRODUCTS LLC	3921 N 2800 W	801-549-8555	JELAIRE SMEDLEY
9220	BINGHAM MARRIAGE & FAMILY COUNSELING	1812 N 2000 W, Suite 1	801-453-7752	
9225	ADDISON JAYNE	1505 W 2000 N	801-814-0426	
9230	OLD DOMINION FREIGHT LINE	1780 W 2550 N	801-782-4465	KLINT KING
9235	IMPRESS BARBERSHOP	1825 W 2550 N	801-644-7537	HECTOR RODRIGUEZ
9240	AAA AUTO BROKERS LLC	2802 N 2350 W	801-940.0315	
9255	SHAVED METAL FABRICATION LLC	2985 W 3450 N	801-663-2573	
9270	RG CONCRETE INC	3677 N HWY 126 6B	801-689-3053	NICOLE SASE

Account No	Bus Name	Location	Bus Phone1	Mangr Name
9275	RG HOMES LLC	3677 N HWY 126 6B	801-689-3053	NICOLE SASE
9285	OPHIR MILLS, LLC	1111 N 2000 W #107	435-248-2434	
9290	A HOME AWAY FROM HOME CHILDCARE	2363 W 2525 N	801-603-1247	
9295	COLLEEN'S COOKIES AND CREAM	2471 N 2700 W	801-725-7723	
9315	ROE RX INC.	1812 N 2000 W STE 9	801-698-2497	
9335	ARMORFISH DESIGN	2168 W 3300 N	815-701-1609	
9345	DARNIT DANA'S QUILTING LLC	2480 W 2425 N	801-776-5275	DANA BONE
9350	OH SEW IMPRESSIVE	2621 W 2400 N	801-518-5506	
9365	LITTLE BEAR DAYCARE	3597 N 3050 W	801-814-3854	MICHELLE SHEPPARD
9370	DENTAL HEALTH & WELLNESS	1812 N 2000 W #8	801-782-9312	ASHLEE WOLTHUIS
9375	JORDAN ANDERSON LLC	2807 W 3375 N	801-644-3924	JORDAN ANDERSON
9385	ANDREW H BURGON PODIATRY, PLLC	1761 N 2000 W	801-564-1562	ANDREW H BURGON
9390	A & S MACHINING	3311 NORTH HIGLEY RD	385-251-5581	
9395	ROCKY MOUNTAIN ALUMINUM ART, LLC	1819 N 2000 W	801-708-4562	JEAB AMMAR
9420	ISLAND VIEW DENTAL LABORATORY	1741 N 2000 W #8	801-732-0236	JEFFREY STEED
9425	MOUNTAINLAND SUPPLY LLC	3142 N SR 126	801-689-0520	SCOTT KNIGHT
9430	FLORES CARPETS LLC	1801 N 2300 W	801-791-6463	
9435	RAE AND COMPANY	1812 N 2000 W STE 3	801-732-2688	
9445	CHERISHED MOMENTS	3677 N HWY 126 # P	801-737-3907	
9450	PARAGON WOODWORKING L.C.	3660 N HIGLEY RD	801-502-4347	JON ANGLESEY
9455	BUNDERSON MACHINE WORKS	3753 N 2800 W	801-543-9597	DAVE BUNDERSON
9460	BEACH BUDDY BOOKS	3753 N 2800 W	801-791-8720	TAMMY BUNDERSON
9465	FORE EDGE GRANGE	1532 W 1500 N	915-630-5279	
9470	MARSH CONSTRUCTION LC	3746 N HIGLEY RD	801-782-7798	DAVE MARSH
9475	TREE OF LIFE CHILDREN'S CENTER	1812 N 2000 W STE 5 & 6	801-605-3086	TAY CHUGG
9480	SPORT SAK LLC	3502 N 2500 W	801-540-0513	HEIDI BAUERLE
9490	NILS SWEDISH CREAMERY	1812 N 2000 W STE 2	801-814-0882	WYATT BERGSJO
9495	HELPER'S LLC	2455 N 2250 W	801-668-1121	JUAN CARLOS ORTIZ
9505	THE IVY COTTAGE	2664 REMUDA DR	801-645-5879	CRIS STRANK
9510	QUICK-N-EASY BLINDS	1007 N 1275 W	801-309-4439	CRYSTAL NOYES
9525	NAILFREAK	2627 W 2925 N	801-513-7919	CRYSTAL GRAMSE
9530	TAYLOR A WEDDEL	1576 N 2000 W	435-452-2948	
9540	ROGUE SERVICES LLC	3677 N HWY 126 STE T&U	801-565-1360	
9550	ALTSCHUL CONSTRUCTION, INC	2527 W 2325 N	801-644-1450	KYLE BROWNE
9555	B.D.S TRANSPORT LLC	3483 N 2825 W	801-710-1115	BRIAN SWAYNGIM
9560	FORTUNE TAYLOR SKIN CARE	1576 N 2000 W	435-452-2948	
9575	MYCHELLE CRABB	2584 W 3900 N	801-645-2238	MYCHELLE CRABB
9585	J.C. ELECTRIC, INC.	1957 N 2000 W	801-745-2210	JASON C. LEWIS
9595	SHEAR HAIR SALON	3213 N HIGLEY RD	801-391-9424	
9650	BAIRD FINANCIAL SERVICES, LLC	1671 W 1200 N	801-540-6731	RUSSELL BAIRD
9655	SHAW'S WOODEN TOYS	1671 W 1200 N	801-529-7070	

Account No	Bus Name	Location	Bus Phone1	Mangr Name
9660	VALLEY DESIGN BUILD LLC	3092 N 2000 W	801-510-7142	Marianne Morris
9665	RISE HEALTH COACHING	2850 N 2000 W #102A	801-675-7648	
9670	MAGNE-TECH, LLC	2745 W 3450 N	801-859-4127	JOEL JACOBSON
9675	DAVE'S GARAGE LLC	3138 N PELICAN DR	801-710-7858	VICKY STUART
9680	BEEHIVE PHOTO BOOTHS AND GAMES	3893 N 2550 W	801-927-7577	
9685	PARK PLAZA PRESCHOOL	3893 N 2550 W	801-499-9795	
9695	AUBREA HUFSTETLER SALON	2773 N 2675 W	801-725-9054	
9700	MID STREET SALON LLC	2389 N 2000 W	801-941-7193	MELANIE CHAMBERS
9705	TREE OF LIFE COUNSELING CENTER	1812 N 2000 W #7	801-710-0421	Brandon Aven
9710	ALEX LAWN CARE INC.	1264 N 1725 W	801-734-0660	ALEJANDRO RAMIREZ GODINEZ
9725	C & A PACKING SERVICES	3677 N HWY 126 STE N	801-971-2914	ANDREA DIAZ
9730	SUMMIT STONE SUPPLY LLC	1980 N 2000 W #101	801-707-3373	KARLA FOREST
9735	BCP SUNSET LLC	3092 N 2000 W	801-731-5381	TRAVIS PETERSEN
9740	V. PATRICK HALL, DMD PLLC	1933 N 1700 W	801-695-5896	V. PATRICK HALL
9750	ROPEY TRANSPORTATION INC.	2531 W 3900 N	801-710-3804	KERI ROPELATO
9755	UPCYCLED BARNTIQUE LLC	3935 N 2800 W	801-644-2758	DEON PETERSON VALDEZ
9760	CAST IRON FUSION INC	2214 W 2475 N	385-451-9609	JON REED
9765	IRON OX, LLC	2547 N 2250 W	801-389-8688	ANDREW HOTH
9770	WENDY'S #6058	1750 W 2700 N	801-737-9686	JULENE HUGHES
9775	VIENNA'S CREATIONS	2060 W 2500 N	801-349-0521	VANISHA ROYBAL
9780	MIKARDI LLC	2754 W 3500 N	801-693-8220	JOSHUA JORGENSEN
9785	JW HANDYMAN SERVICES	1576 N 2000 W	385-240-7669	JOSH WEDDEL
9790	TONS OF FUN, LEARNING, AND CARING	2501 W 3050 N	801-888-9005	
9795	COZY CUTIES	2364 W 2325 N	801-686-1710	
9800	A1 SHED CENTER	3810 N HWY 126	801-200-0335	BRANDON SUAREZ
9805	AIR RENTALS	2599 W NORTH PLAIN CITY RD	801-603-9393	TAREN JACKSON
9810	MOORE GUNS	2804 W 3450 N	209-601-5401	JONATHAN MOORE
9815	BLACK ROCK PEST SERVICES LLC	3609 REMUDA DR	801-410-7243	KADEN FOGG
9820	CYNKEN ENTERPRISES LLC	3556 S 5600 S #1-536	801-564-5555	Cindy Newman
9825	CENTER FOR RELATIONAL CHANGE	2850 N 2000 W #102	734-478-7009	HEATHER GARDNER
9830	GROWING WITH THE SEASONS	2574 W 1900 N	801-645-8096	HESPER EWING
9835	UTAH PHYSICAL THERAPY, INC	1741 N 2000 W	801-689-0200	CHAD TENNEY
9840	BCP EQUIPMENT LLC	3092 N 2000 W	801-731-5381	Travis Petersen
9855	LOU CHAN HAIR	2368 N 2350 W	801-645-6291	CHANTEL REDD
9860	PEARSON & SONS ROOFING	3040 W 3375 N	801-499-1517	SUSANNAH T. TRACY, JOHN T. PEARS
9870	PA SHUPE GUNWORKS	2521 N 2125 W	801-731-7582	TIMOTHY SHUPE
9875	MORREALE CUSTOMS	2537 N 2125 W	801-814-4092	BRANDON MORREALE
9880	CHAOS TO CALM ORGANIZER	2672 N 2450 W	385-390-2248	ANGELA PEARSON
9885	HELTH INC	1980 N 2000 W STE 3	505-620-4413	SCOTT JAMES
9890	CASSIE'S HAIR HAIR	2365 W 2850 N	801-548-5722	CASSANDRA BERGER
9895	JJA CODE	2924 N 2575 W	801-899-7890	JASON ANDERSON

Account No	Bus Name	Location	Bus Phone1	Mangr Name
9900	SUMMIT BRANDING LLC	2924 N 2575 W	801-916-0535	JASON ANDERSON
9905	INNOVATION CUSTOM INTERIORS LLC	1990 N 2000 W #104	951-335-2663	JESUS SOLANO
9910	NU DAWN ESTHETICS	2662 W 2325 N	435-225-5960	ASHLEY PASKETT
9915	ELEVATION HOSPICE OF UTAH LLC	3677 N HWY 126, SUITE 5B	801-610-1868	JOSHUA SIMPSON
9920	BEEHIVE BROOMS, INC	1256 N 1725 W	801-940-1550	WILLOW NIMORI
9930	THE GINGER BURROW	3345 N 3050 W	385-205-7202	STACI NEBEKER
9935	NORDIC ROOTS FINE WOODWORKING LLC	3703 N 2800 W	385-238-9304	TODD M. ROBINSON
9940	AUTISM IN MOTION, CORP	2811 N 2350 W	801-452-1940	GENNIE L TUCKER
9945	HOME SAUNA SALES & SETUP	1980 N 2000 W	801-430-8669	HEIDI LYTHGOE
9950	HEART R8 GUIDING	2533 W 3100 N	801-645-4266	JEREMY LILLEGARD
9955	MOD-DOC, NC.	1741 N 2000 W STE 400	801-205-3458	J. ALLAN GARCIA
9965	JAMES BELL PROPERTIES	2746 N 2500 W	530-919-8095	JAMES BELL
9975	HURRICANE MARINE CONSTRUCTION LLC	3159 N HIGLEY RD	843-295-8276	Amber Penrod
9980	SAGE & TIMBER COUNSELING	3929 N 2700 W	435-232-2895	AMANDA BANFILL
9985	ROCKY MOUNTAIN FENCE, INC	2202 N 2000 W	801-645-6295	LEVI CALL
9990	PERSONAL TOUCH WELLNESS	1111 N 2000 W #209	208-406-8461	KONI CHRISTENSEN
9995	CRISTAL CLEAN SOLUTION	3931 N 2500 W	801-695-5265	CRISTAL A GARCIA

Report Criteria:

Business License Status = ACTIVE

Application for Business License

Application date: 12.7.23



Owner Name: ADAN MEZA

Owner Address: [REDACTED]

Telephone: [REDACTED]

Business Name: PONY'S KUSTOMS DBA: 15218960-003-STC

Business Address: 3394 N 2000 W City: Farr West State: UT Zip: 84404

Mailing Address: S. A. A. City: " State: " Zip: "

Business Phone Number: 619-602-4866 Number of employees: 0

Manager Name: ADAN MEZA Contact Phone: 619-602-4866

**If business is commercial or manufacturing/warehousing, please list square footage: _____

State Sales Tax ID # 15218960-003-STC State License # _____

If a daycare or preschool, number of own children: _____; number of other children: _____

Describe your type of business in detail: AUTOMOTIVE restoration

Businesses that require Health Department inspection and permit: ANY business that is selling food, tattoo and piercing salons, tanning salons, day cares, nursing and assisted livings.

Health Department Permit # _____ or check if not applicable

All new business licenses or change of ownership/tenant are required to undergo a fire inspection from Weber Fire District. Please contact Jolene at Weber Fire District at 801-782-3580 to schedule the inspection. Proof of passed inspection must be submitted with the business license application before any approval is given.

BUSINESS LICENSE FEE SCHEDULE

COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

MANUFACTURING/WAREHOUSING

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

OTHER

Contractor	Professional	Interstate Commerce
\$100.00	\$50.00	\$50.00

ALCOHOL

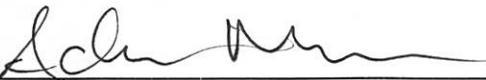
Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

*If you are renewing an alcohol license:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? _____

Type of License Applying For: Commercial License fee due: \$ 100

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature:  Date: 12.7.23

For office use only:

Amount paid: 100 - Date paid: 12/7/2023 Receipt Number: b-006792
City Council Date: Jdh 4, 2023 Approved: _____ Disapproved: _____
License number: _____ Date issued: _____

Application for Business License

Application date: 12/12/2023

FARR WEST CITY

Owner Name: Christopher Fanelli

Owner Ad

Telephone

Business Name: Fanelli Orthodontics, PLLC DBA: _____

Business Address: 2850 North 2000 West Suite #205 City: Farr West State: UT Zip: 84404

Mailing Address: 5677 South 1475 East Suite 2A City: South Ogden State: UT Zip: 84403

Business Phone Number: 801-479-9800 Number of employees: 13

Manager Name: Christopher Fanelli Contact Phone: 801-479-9800

**If business is commercial or manufacturing/warehousing, please list square footage: _____

Federal EIN: 92-2823909

Dental License

State Sales Tax ID # N/A State License # 13302496-0162 12739951-9922

If a daycare or preschool, number of own children: _____; number of other children: _____

Describe your type of business in detail: Orthodontists who provide orthodontic services (braces and clear aligners) for both adults and children.

Businesses that require Health Department inspection and permit: ANY business that is selling food, tattoo and piercing salons, tanning salons, day cares, nursing and assisted livings.

Health Department Permit # _____ or check if not applicable

All new business licenses or change of ownership/tenant are required to undergo a fire inspection from Weber Fire District. Please contact Jolene at Weber Fire District at 801-782-3580 to schedule the inspection. Proof of passed inspection must be submitted with the business license application before any approval is given.

BUSINESS LICENSE FEE SCHEDULE

COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

MANUFACTURING/WAREHOUSING

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

OTHER

Contractor	Professional	Interstate Commerce
\$100.00	\$50.00	\$50.00

ALCOHOL

Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

*If you are renewing an alcohol license:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? NO

Type of License Applying For: Professional License fee due: \$50.00

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature: Christopher Tomelli Date: 12/12/2023

For office use only:

Amount paid: _____ Date paid: _____ Receipt Number: _____

City Council Date: _____ Approved: _____ Disapproved: _____

License number: _____ Date issued: _____



Weber Fire District
Fire Inspection Results

Business Inspection

Passed

Current Date	Inspected by	Inspection Contact Name	Inspection Status
12/13/2023	Hansel, Alec	Christopher Fanelli	Completed

Business Name	Address	Suite	City	State
Fanelli Orthodontics	2850 N 2000 W	205	OGDEN	UT
Zip	Building Type			
84404	Unknown			

ACCESS:

✓ Pass

ITEM: Fire lane, Hydrant and FDC are accessible for emergency response.

CODE: IFC - 503.4 - Obstruction of fire apparatus access roads. - Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times.

IFC - 507.5.4 - Obstruction. - Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants.

✓ Pass

ITEM: Is the address on the building and visible from the street?

CODE: IFC - 505.1 - Address identification. - New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible

from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

✓ Pass

ITEM: Knox box? Do the keys work? (Not required at all businesses.)

CODE: IFC - 506.1 - Where required. - Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official, after consultation with the building owner, may require a key box to be installed in an approved location. The key box shall contain keys to gain necessary access as required by the fire code official. For each fire jurisdiction that has at least one building with a required key box, the fire jurisdiction shall adopt an ordinance, resolution, or other operating rule or policy that creates a process to ensure that each key to each key box is properly accounted for and secure.

EXITING:

✓ Pass

ITEM: Are exit paths clear?

CODE: IFC - 1032.2 - Reliability. - Required exit accesses, exits and exit discharges shall be continuously maintained free from obstructions or impediments to full instant use in the case of fire or other emergency where the building area served by the means of egress is occupied. An exit or exit passageway shall not be used for any purpose that interferes with a means of egress.

✓ Pass

ITEM: Exit door opens without a key or special knowledge

CODE: IFC - 1010.2 - Door operations. - Except as specifically permitted by this section, egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort.

✓ Pass

ITEM: Do exit doors require exit signs. (Refer to code)

CODE: IFC - 1013.1 - Where required. - Exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or the path of egress travel is not immediately visible to the occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that any

point in an exit access corridor or exit passageway is within 100 feet (30 480 mm) or the listed viewing distance of the sign, whichever is less, from the nearest visible exit sign. Exceptions: 1. Exit signs are not required in rooms or areas that require only one exit or exit access. 2. Main exterior exit doors or gates that are obviously and clearly identifiable as exits need not have exit signs where approved by the fire code official. 3. Exit signs are not required in occupancies in Group U and individual sleeping units or dwelling units in Group R-1, R-2 or R-3. 4. Exit signs are not required in dayrooms, sleeping rooms or dormitories in occupancies in Group I-3. 5. In occupancies in Groups A-4 and A-5, exit signs are not required on the seating side of vomitories or openings into seating areas where exit signs are provided in the concourse that are readily apparent from the vomitories. Egress lighting is provided to identify each vomitory or opening within the seating area in an emergency.

✓ Pass

ITEM: Ensure locks on doors with panic hardware are not in use during business hours.

CODE: IFC - 1032.1 - General. - The means of egress for buildings or portions thereof shall be maintained in accordance with this section.

✓ Pass

ITEM: Test emergency lighting and exit signs

CODE: IFC - 1013.1 - Where required. - Exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or the path of egress travel is not immediately visible to the occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that any point in an exit access corridor or exit passageway is within 100 feet (30 480 mm) or the listed viewing distance of the sign, whichever is less, from the nearest visible exit sign. Exceptions: 1. Exit signs are not required in rooms or areas that require only one exit or exit access. 2. Main exterior exit doors or gates that are obviously and clearly identifiable as exits need not have exit signs where approved by the fire code official. 3. Exit signs are not required in occupancies in Group U and individual sleeping units or dwelling units in Group R-1, R-2 or R-3. 4. Exit signs are not required in dayrooms, sleeping rooms or dormitories in occupancies in Group I-3. 5. In occupancies in Groups A-4 and A-5, exit signs are not required on the seating side of vomitories or openings into seating areas where exit signs are provided in the concourse that are readily apparent from the vomitories. Egress lighting is provided to identify each vomitory or opening within the seating area in an emergency.

FIRE EXTINGUISHERS:

✓ Pass

ITEM: Do fire extinguishers have a current inspection tag?

CODE: IFC - 906.2.1 - Certification of service personnel for portable fire extinguishers. - Service personnel providing or conducting maintenance on portable fire extinguishers shall possess a valid certificate issued by an approved governmental agency, or other approved organization for the type of

work performed.

✓ Pass

ITEM: Are fire extinguishers properly mounted and accessible?

CODE: IFC - 906.10 - Wheeled units. - Wheeled fire extinguishers shall be conspicuously located in a designated location.

IFC - 906.6 - Unobstructed and unobscured. - Portable fire extinguishers shall not be obstructed or obscured from view. In rooms or areas in which visual obstruction cannot be completely avoided, means shall be provided to indicate the locations of extinguishers.

IFC - 906.9.3 - Floor clearance. - The clearance between the floor and the bottom of installed hand-held portable fire extinguishers shall be not less than 4 inches (102 mm).

IFC - 906.9.1 - Extinguishers weighing 40 pounds or less. - Portable fire extinguishers having a gross weight not exceeding 40 pounds (18 kg) shall be installed so that their tops are not more than 5 feet (1524 mm) above the floor.

IFC - 906.9.2 - Extinguishers weighing more than 40 pounds. - Hand-held portable fire extinguishers having a gross weight exceeding 40 pounds (18 kg) shall be installed so that their tops are not more than 3.5 feet (1067 mm) above the floor.

FIRE PROTECTION SYSTEMS:

✓ Pass

ITEM: Are there damaged or painted sprinkler heads?

CODE: IFC - 903.1 - General. - Automatic sprinkler systems shall comply with this section.

✓ Pass

ITEM: Are all riser valves in the appropriate position?

CODE: IFC - 903.4 - Sprinkler system supervision and alarms. - Valves controlling the water supply for automatic sprinkler systems, pumps, tanks, water levels and temperatures, critical air pressures and waterflow switches on all sprinkler systems shall be electrically supervised by a listed fire alarm control unit. Exceptions: 1. Automatic sprinkler systems protecting one- and two-family dwellings. 2. Limited area sprinkler systems in accordance with Section 903.3.8. 3. Automatic sprinkler systems installed in accordance with NFPA 13R where a common supply main is used to supply both domestic water and the automatic sprinkler system, and a separate shutoff valve for the automatic sprinkler system is not provided. 4. Jockey pump control valves that are sealed or locked in the open position. 5. Control valves to commercial kitchen hoods, paint spray booths or dip tanks that are sealed or locked in the open position. 6. Valves controlling the fuel supply to fire pump engines that are sealed or locked in the open position. 7. Trim valves to pressure switches in dry, preaction and deluge sprinkler systems that are sealed or locked in the open position. 8. Underground key or hub gate valves in roadway boxes.

✓ Pass

ITEM: Current annual tag on riser? (If not notify fire marshal immediately!)

CODE: IFC - 901.6 - Inspection, testing and maintenance. - Fire protection and life safety systems shall be maintained in an operative condition at all times, and shall be replaced or repaired where defective. Nonrequired fire protection and life safety systems and equipment shall be inspected, tested and maintained or removed in accordance with Section 901.8.

✓ Pass

ITEM: Provide spare sprinkler heads and compatible wrench

CODE: NFPA - NFPA 13 - NFPA 13 Fire Sprinkler Systems.

✓ Pass

ITEM: Does hood suppression system have current inspection tag?

CODE: IFC - 606.3.3.3.1 - Tags. - When a commercial kitchen hood or duct system is inspected, a tag containing the service provider name, address, telephone number and date of service shall be provided in a conspicuous location. Prior tags shall be covered or removed.

✓ Pass

ITEM: Is the Hood system clean? Is there a tag showing last date cleaned?

CODE: IFC - 606.3.3 - Cleaning. - Hoods, grease-removal devices, fans, ducts and other appurtenances shall be cleaned at intervals as required by Sections 606.3.3.1 through 606.3.3.3.

✓ Pass

ITEM: Are there caps on the FDC? (If missing or broken Knox caps will be required.)

CODE: IFC - 912.4.1 - Locking fire department connection caps. - The fire code official is authorized to require locking caps on fire department connections for water-based fire protection systems where the responding fire department carries appropriate key wrenches for removal.

FIRE ALARM SYSTEMS:

✓ Pass

ITEM: Does the alarm panel have current inspection tag?

CODE: IFC - 907.8 - Inspection, testing and maintenance. - The maintenance and testing schedules and procedures for fire alarm and fire detection systems shall be in accordance with Sections 907.8.1 through 907.8.4 and NFPA 72. Records of inspection, testing and maintenance shall be maintained.

✓ Pass

ITEM: Is the alarm on and in service? (No trouble warnings Etc.)

CODE: IFC - 907.8.4 - Inspection, testing and maintenance. - The building owner shall be responsible to maintain the fire and life safety systems in an operable condition at all times. Service personnel shall meet the qualification requirements of NFPA 72 for inspection, testing and maintenance of such systems. Records of inspection, testing and maintenance shall be maintained.

FIRE SEPARATIONS:

✓ Pass

ITEM: No holes or penetrations in fire walls and ceilings

CODE: IFC - 703.2 - Repair of penetrations. - Where damaged, materials used to protect membrane-and through-penetrations shall be replaced or restored with materials or systems that meet or exceed the code requirements applicable at the time when the assembly was constructed, remodeled or altered.

ELECTRICAL:

✓ Pass

ITEM: Proper use of extension cords? (Stationary appliances must be hardwired))

CODE: IFC - 603.6 - Extension cords. - Extension cords shall not be a substitute for permanent wiring and shall be listed and labeled in accordance with UL 817. Extension cords shall not be affixed to structures, extended through walls, ceilings or floors, or under doors or floor coverings, nor shall such cords be subject to environmental damage or physical impact. Extension cords shall be used only with portable appliances. Extension cords marked for indoor use shall not be used outdoors.

✓ Pass

ITEM: Provide cover plates for all junction boxes, switches and outlets.

CODE: IFC - 603.2.2 - Open electrical terminations. - Open junction boxes and open-wiring splices shall be prohibited. Approved covers shall be provided for all switch and electrical outlet boxes.

✓ Pass

ITEM: Remove exposed wiring or protect in approved conduit

CODE: National Electrical Code - NEC 334 - National Electrical Code 334

✓ Pass

ITEM: Provide a clear workspace at all electrical panels (30" in width, 36" in depth and 78" in height)

CODE: IFC - 603.4 - Working space and clearances. - Working space around electrical equipment shall be provided in accordance with Section 110.26 of NFPA 70 for electrical equipment rated 1,000 volts or less, and Section 110.33 of NFPA 70 for electrical equipment rated over 1,000 volts. The minimum required working space shall be not less than 30 inches (762 mm) in width, 36 inches (914 mm) in depth and 78 inches (1981 mm) in height in front of electrical service equipment. Where the electrical service equipment is wider than 30 inches (762 mm), the minimum working space shall be not less than the width of the equipment. Storage of materials shall not be located within the designated working space.

✓ Pass

ITEM: Does the the electrical room need labeling?

CODE: IFC - 603.4.1 - Labeling. - Doors into electrical control panel rooms shall be marked with a plainly visible and legible sign stating "ELECTRICAL ROOM" or similar approved wording. The disconnecting means for each service, feeder or branch circuit originating on a switchboard or panelboard shall be legibly and durably marked to indicate its purpose unless such purpose is clearly evident. Where buildings or structures are supplied by more than one power source, markings shall be provided at each service equipment location and at all interconnected electric power production sources identifying all electric power sources at the premises in accordance with NFPA 70.

✓ Pass

ITEM: Provide covers for open breakers in electrical panels. Are breakers labeled?

FLAMMABLE LIQUIDS - COMPRESSED GASES:

N/A

ITEM: Are flammable liquids stored properly/proper quantities?

CODE: IFC - 5704.3.4.4 - Liquids for maintenance and operation of equipment. - In all occupancies, quantities of flammable and combustible liquids in excess of 10 gallons (38 L) used for maintenance purposes and the operation of equipment shall be stored in liquid storage cabinets in accordance with Section 5704.3.2. Quantities not exceeding 10 gallons (38 L) are allowed to be stored outside of a cabinet where in approved containers located in private garages or other approved locations.

N/A

ITEM: Secure compressed gas cylinders / identify gas in container

CODE: IFC - 5303.5.3 - Securing compressed gas containers, cylinders and tanks. - Compressed gas containers, cylinders and tanks shall be secured to prevent falling caused by contact, vibration or seismic activity. Securing of compressed gas containers, cylinders and tanks shall be by one of the following methods: 1. Securing containers, cylinders and tanks to a fixed object with one or more

restraints. 2. Securing containers, cylinders and tanks on a cart or other mobile device designed for the movement of compressed gas containers, cylinders or tanks. 3. Nesting of compressed gas containers, cylinders and tanks at container filling or servicing facilities or in sellers' warehouses not open to the public. Nesting shall be allowed provided that the nested containers, cylinders or tanks, if dislodged, do not obstruct the required means of egress. 4. Securing of compressed gas containers, cylinders and tanks to or within a rack, framework, cabinet or similar assembly designed for such use. Exception: Compressed gas containers, cylinders and tanks in the process of examination, filling, transport or servicing.

STORAGE - HOUSEKEEPING:

✓ Pass

ITEM: Storage in an orderly manner to provide access / egress

CODE: IFC - 315.3 - Storage in buildings. - Storage of materials in buildings shall be orderly and stacks shall be stable. Storage of combustible materials shall be separated from heaters or heating devices by distance or shielding so that ignition cannot occur.

✓ Pass

ITEM: Maintain proper clearance around utilities in mechanical and electrical rooms

CODE: IFC - 315.3.4 - Attic, under-floor and concealed spaces. - Attic, under-floor and concealed spaces used for storage of combustible materials shall be protected on the storage side as required for 1-hour fire-resistance-rated construction. Openings shall be protected by assemblies that are self-closing and are of noncombustible construction or solid wood core not less than 13/4 inches (44.5 mm) in thickness. Storage shall not be placed on exposed joists. Exceptions: 1. Areas protected by approved automatic sprinkler systems. 2. Group R-3 and Group U occupancies.

IFC - 315.3.2 - Means of egress. - Combustible materials shall not be stored in exits or enclosures for stairways and ramps. Combustible materials in the means of egress during construction, demolition, remodeling or alterations shall comply with Section 3312.3.

IFC - 315.3.3 - Equipment rooms. - Combustible material shall not be stored in boiler rooms, mechanical rooms, electrical equipment rooms or in fire command centers as specified in Section 508.1.5.

✓ Pass

ITEM: No storage within 24" of ceiling or 18" from sprinkler heads

CODE: IFC - 315.3.1 - Ceiling clearance. - Storage shall be maintained 2 feet (610 mm) or more below the ceiling in nonsprinklered areas of buildings or not less than 18 inches (457 mm) below sprinkler head deflectors in sprinklered areas of buildings. Exceptions: 1. The 2-foot (610 mm) ceiling clearance is not required for storage along walls in nonsprinklered areas of buildings. 2. The 18-inch (457 mm) ceiling clearance is not required for storage along walls in areas of buildings equipped with an automatic sprinkler system in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.

✓ Pass

ITEM: Provide approved metal container for oily rag storage

CODE: IFC - 304.3.1 - Spontaneous ignition. - Materials susceptible to spontaneous ignition, such as oily rags, shall be stored in a listed disposal container. Contents of such containers shall be removed and disposed of daily.

✓ Pass

ITEM: Keep dumpster 5' away from building

CODE: IFC - 304.3.3 - Capacity exceeding 1.5 cubic yards. - Dumpsters and containers with an individual capacity of 1.5 cubic yards [40.5 cubic feet (1.15 m³)] or more shall not be stored in buildings or placed within 5 feet (1524 mm) of combustible walls, openings or combustible roof eave lines. Exceptions: 1. Dumpsters or containers that are placed inside buildings in areas protected by an approved automatic sprinkler system installed throughout in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3. 2. Storage in a structure shall not be prohibited where the structure is of Type I or IIA construction, located not less than 10 feet (3048 mm) from other buildings and used exclusively for dumpster or container storage. 3. Dumpsters or containers that are located adjacent to buildings where the exterior area is protected by an approved automatic sprinkler system.

BUSINESS LICENSE:

✓ Pass

ITEM: Does the business have a current license with the city.

Inspection Note

Fire inspection passed. May occupy with building department approval.

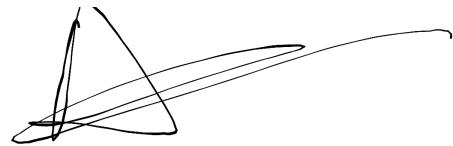
Inspection Signatures

Occupancy Contact Signature



Christopher Fanelli
717-725-2453
Drfanelli@doctoraortho.com

Inspector Signature



Hansel, Alec
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ahansel@weberfd.com

Application for Business License



Application date: 12/14/2023

Owner Name: Anthony Marelli

Owner Address

Telephone: 8

Business Name: Kidney & Hypertension Institute of Utah DBA: Nephrology Associates of Utah

Business Address: 1735 W 2700 N City: Farr West State: UT Zip: 84404

Mailing Address: 2132 N 1700 West, suite 110 City: Layton State: UT Zip: 84041

Business Phone Number: 801-779-3500 Number of employees: 2

Manager Name: Anthony Marelli Contact Phone: 801-557-1956

**If business is commercial or manufacturing/warehousing, please list square footage: 436 sq ft

State Sales Tax ID # _____ State License # _____

If a daycare or preschool, number of own children: _____; number of other children: _____

Describe your type of business in detail: Providing ambulatory healthcare services for patients kidney disease kidney transplant, or acute kidney injury.

Businesses that require Health Department inspection and permit: ANY business that is selling food, tattoo and piercing salons, tanning salons, day cares, nursing and assisted livings.

Health Department Permit # _____ or check if not applicable _____

All new business licenses or change of ownership/tenant are required to undergo a fire inspection from Weber Fire District. Please contact Jolene at Weber Fire District at 801-782-3580 to schedule the inspection. Proof of passed inspection must be submitted with the business license application before any approval is given.

BUSINESS LICENSE FEE SCHEDULE

COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

MANUFACTURING/WAREHOUSING

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

OTHER

Contractor	Professional	Interstate Commerce
\$100.00	\$50.00	\$50.00

ALCOHOL

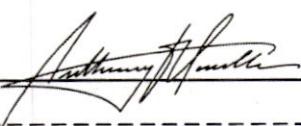
Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

*If you are renewing an alcohol license:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? _____

Type of License Applying For: Commercial License fee due: \$100.00

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature:  Date: 12/14/2023

For office use only:

Amount paid: 100 - Date paid: 12/15/2023 Receipt Number: 6.00b80b

City Council Date: 14/2024 Approved: _____ Disapproved: _____

License number: _____ Date issued: _____

Application for Residential Business License



Application date: 12/15/23

Owner Name: Talmage Smedley

Owner Address: 3921 N 2800 W City: Farr West State: UT Zip: 84404

Telephone: 801-510-3052 Fax: _____ Email: team@tsdoghouse.com

Business Name: TalImage Smedley DBA: T'S Doghouse

State Sales Tax ID # 10281856-005-STC State License # 10791977-0151

If a daycare or preschool, number of own children: _____; number of other children: _____

Describe your type of business in detail: Small group dog training classes
(2-3 classes per week; 3-4 participants per class)
Board and train (maximum 3-4 per month)

Businesses that require Health Department inspection and permit: ANY business that is selling food, day cares, nursing and assisted livings.

Health Department Permit # — or check if not applicable —

All daycares are required to undergo a fire inspection from Weber Fire District. Please contact Jolene at Weber Fire District at 801-782-3580 to schedule the inspection. Proof of passed inspection must be submitted with the business license application before any approval is given.

Please initial each box acknowledging you understand and comply with the ordinance requirements (Farr West City Ordinance, Chapter 5.16)

- Only persons who are bona fide residents of the premises shall be engaged in the business or occupation.
- The business shall not physically change or alter the exterior of the dwelling.
- No business signs or advertising will be on the premises.
- The business will not cause an increase in vehicular traffic.**
- The business will not require additional off street parking beyond that normally required for residential uses.**
- The business will meet all applicable safety, fire, building and health codes.

- The business will not produce noise, dust, odors, noxious fumes glare or other hazards to safety and health which are emitted from and may be discernible beyond the premises. Residential businesses may not create a public nuisance as defined by State law or this code.
- The business will not create a hazard by using flammable, explosive or other dangerous materials or by keeping or raising animals which are capable of inflicting harm or discomfort or endangering the health and safety of any person or property.
- Any nursery or daycare use of the dwelling shall comply with state laws governing such use.
- If the business is conducted within the living quarters of the home, it will not occupy more than 25% of the main floor area, or more than 400 square feet of the home. If conducted within the garage, it shall not occupy more than 33% of the garage area. *Businesses in accessory building may use the whole structure for business use.

Residential Business License Fee
\$30.00

***Residential businesses conducted entirely within the primary residence are not subject to the \$30.00 fee.**

Is this business conducted entirely within the primary residence? No
If no, is it conducted in a garage and/or accessory building? Yes

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature:  Date: 12-15-2023

For office use only:

Amount paid: 30 Date paid: 12.18.23 Receipt Number: 20135604
City Council Date: _____ Approved: _____ Disapproved: _____
License number: _____ Date issued: _____

Application for Business License



Application date: 01/01/2024

Owner Name: Alan Hall

Owner Add:

Telephone:

Business Name: Blue Sky Energy Corporation DBA: _____

Business Address: 2105 W 1800 N City: Ogden State: UT Zip: 84404

Mailing Address: PO Box 220 City: Roy State: UT Zip: 84067

Business Phone Number: (801) 815-5256 Number of employees: 5

Manager Name: Jeff Lowe Contact Phone: (435) 279-0123

**If business is commercial or manufacturing/warehousing, please list square footage: _____

State Sales Tax ID # 15598695-004-STC State License # Type text here 12548888-0142

If a daycare or preschool, number of own children: _____; number of other children: _____

Describe your type of business in detail: _____ Headquarters office _____

Businesses that require Health Department inspection and permit: ANY business that is selling food, tattoo and piercing salons, tanning salons, day cares, nursing and assisted livings.

Health Department Permit # _____ or check if not applicable _____

All new business licenses or change of ownership/tenant are required to undergo a fire inspection from Weber Fire District. Please contact Jolene at Weber Fire District at 801-782-3580 to schedule the inspection. Proof of passed inspection must be submitted with the business license application before any approval is given.

BUSINESS LICENSE FEE SCHEDULE

COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

MANUFACTURING/WAREHOUSING

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

OTHER

Contractor	Professional	Interstate Commerce
\$100.00	\$50.00	\$50.00

ALCOHOL

Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

*If you are renewing an alcohol license:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? _____

Type of License Applying For: Professional License fee due: \$50

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature: Alan E Hall Date: 12/20/2023

For office use only:

Amount paid: 50 - Date paid: 12/27/23 Receipt Number: b.006819
City Council Date: Jan 4, 2024 Approved: _____ Disapproved: _____
License number: _____ Date issued: _____

APPLICATION

Date Submitted:	Fees (office use)	
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Type of Vacation or Modification Request:

Easement Road Subdivision Subdivision Lot

APPLICANT CONTACT INFORMATION

Name of Applicant: Steven and Shikene Wilson

Mailing Address:

2880 W. 3325 N. Farr west 84404

Phone: 801-920-6783 Email: SteveWilson10@digis.net

PROPERTY INFORMATION

Property Address	Land Serial Number
Subdivision Name:	Lot Number

Description of Project or Requested Action:

30 x 30 x 13 garage 4 ft to property line or closer.

Included Documents:	
<input type="checkbox"/> Petition <input type="checkbox"/> Approval Letters <input type="checkbox"/> Amended Plat	
Signature of Applicant:	Date

ORDINANCE NO. 2024-01

AN ORDINANCE OF THE FARR WEST CITY COUNCIL VACATING THE PUBLIC UTILITY EASEMENT(S) ON LOT 163R REMUDA COURT PHASE 2 SUBDIVISION

WHEREAS, Farr West City has received a request from the owners of lot 163R REMUDA COURT PHASE 2 parcel number 193620031 located at 2880 West 3325 North, Farr West, Utah to vacate all or some of a Public Utility Easement (“PUE”) along the boundary of said Lot; and

WHEREAS, Farr West City, pursuant to §10-9a-208 U.C.A., has given notice of the proposed vacation of the PUE as required; and

WHEREAS, no objections to the vacation have been received by Farr West City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF FARR WEST CITY, STATE OF UTAH, AS FOLLOWS:

Section 1. Vacation of Utility Easement

Farr West City hereby vacates the following Public Utility Easement(s) located on lot 163R REMUDA COURT PHASE 2 parcel number 193620031 located at 2880 West 3325 North, Farr West, Utah. The easement to be vacated is more specifically described as follows:

All public utility easements excepting the easement(s) or portion of easement(s) running adjacent and parallel to the street(s) located within lot 163R REMUDA COURT PHASE 2 subdivision, located in the Southeast quarter of Section 22, Township 7 North, Range 2 West, Salt Lake Base and Meridian, Weber County, Utah; said subdivision recorded in the Office of the Weber County Recorder for Weber County, Utah.

Section 2. Effective Date.

This ordinance shall take effect upon its adoption and publication or posting by the City Council of Farr West City, Utah this _____ day of _____, 2024.

Farr West City Mayor

ATTEST:

City Recorder

Vote of City Council

Yes	No	
____	____	Council Member Ferrin
____	____	Council Member Williams
____	____	Council Member Shupe
____	____	Council Member Blind
____	____	Council Member Jay

Application for Site Plan Approval



1896 North 1800 West
Farr West, UT 84404
Phone – (801)731-4187
Fax – (801) 731-7732

Date Submitted: _____

Applicant Name: Meghan Youngbar, agent of Dewberry Engineers, Inc Applicant Address: _____

Phone: _____

Business Name: Richard L Miller Properties LLC Application Number: _____

Business Address: 2455 W Main St. Tremonton, UT 84337 Phone: _____

Address and description of site being considered: 1750 West 2700 North, Farr West, UT 84404

Tax ID number of site being considered: 19-146-0005

Current zoning of site: C-2-Commercial

FEE SCHEDULE

Application: \$100.00 Engineering Deposit: \$1,000.00

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- All proposed new development except single-family detached residences.
- All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- Issuance of a conditional use permit for new construction.
- New signs
- Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- All plans for earth sheltered dwellings.

The following information is required for site plan approval (check box next to all items submitted with application):

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, and in an electronic PDF format.
- Lot dimensions and orientations: North arrow, etc.
- Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- Indication of proposed use of buildings.
- All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- Height of all existing and proposed walls and fences and type of construction.
- Location and type of landscaping.
- All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- Location, type, lighting and size of proposed and existing signs.
- Location, type and size of proposed and existing light poles.
- A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- One copy of a current county ownership plat showing the property and adjacent properties.
- Approval letter from Weber Fire District (801-782-3580).
- Approval letter from Bona Vista Water (801-621-0474).

If any of the above information is not being provided please indicate reasoning:

Approval letter from Bona Vista Water is not needed due to no proposed water connections.

Answer the following questions as applicable: (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? Tesla is proposing to expand the existing parking area to provide EV charging as an accessory use to the existing multi-use fueling station and quick service restaurant.

2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

The use of the parcel is not proposed to change. Tesla should be considered compatible as a fueling station for electric vehicles similar to the existing petroleum fueling station.

Signature of Applicant:

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. **All** property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.



Owner Signature



Print Name

I/We authorize _____ to act as my/our agent in all matters relating to this application.
(Print name)

State of Utah)

§

Count of _____)

On this _____ day of _____, in the year _____, before me _____,
a notary public, personally appeared _____, proved
on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument,
and acknowledge (he/she/they) executed the same. Witness my hand and official seal.

NOTARY PUBLIC

E
A
L

State of Utah)

§

County of _____)

On this _____ day of _____, in the year _____, before me _____, a notary public, personally appeared _____, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.

NOTARY PUBLIC

S
E
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For City Use:

Fee received by: A. Neifer Date received: 9. 6. 2023
Receipt number: 2.013471 Cash/Check (circle one) CC
Date site plan received: 9. 5. 2023 (Building permit) Received by: Natalie
Date met with city engineer: _____ Signed: _____
Date engineer approved plan: _____ Signed: _____
Date planning commission approved: _____
Date city council approved (conditional use permit only): _____

MEMORANDUM



CONSULTING ENGINEERS

TO: Farr West City Planning Commission and City Council

FROM: Matt Robertson, P.E.
City Engineer

RE: **TESLA CHARGING STATION SITE PLAN**
Site Plan Review

Date: December 11, 2023

Our office has completed a review of the site plan for the Tesla Charging Station located at 1750 West 2700 North (behind the Subway and Wendy's buildings). The project includes about 14,000 SF of asphalt and 3,100 SF of landscaping between the new parking lot and the Subway parking lot. We recommend approval of the site plan with the following comments:

1. A Long-Term Stormwater Management Agreement will need to be signed and recorded on the property to ensure that the private, on-site stormwater system is maintained and to give the City permission to inspect the system.
2. A pre-construction conference with the Developer and their Contractor should be held with the City and utility providers prior to beginning any construction.

Please let me know if you have any further questions.

TESLA



TESLA

3500 DEER CREEK ROAD
PALO ALTO, CA 94304
(650) 681-5000

Dewberry®

Dewberry Engineers Inc.
990 SOUTH BROADWAY
SUITE 400
DENVER, CO 80209-4275
PHONE: 303.825.1802



MICHAEL J. MCTAVISH, P.E.
UTAH LICENSE No. 9658608-2202

FARR WEST, UT

TRT ID: 27285

SITE ADDRESS:

1750 W 2700 N

FARR WEST, UT 84404

SITE INFORMATION		APPLICABLE CODES	PROJECT DESCRIPTION	STRUCTURAL DESIGN CRITERIA	DRAWING INDEX	
PROPOSED TESLA EV SITE ADDRESS: 1750 W 2700 N FARR WEST, UT 84404		ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES: UTAH BUILDING & ENERGY CODES, CONSISTENT WITH THE FOLLOWING CODES: BUILDING CODE 2018 OF UTAH. COMMERCIAL ENERGY CONSERVATION CODE 2018 OF UTAH. NATIONAL ELECTRICAL CODE 2020 OF UTAH. CITY CODE OF FARR WEST, UT ORD. 2023-02, PASSED 02-02-2023 AND RES. 2023-01, PASSED 01-19-2023.	<ul style="list-style-type: none"> INSTALL PAD MOUNTED UTILITY TRANSFORMER PAVE $\pm 14,050$ SF PARKING AREA INSTALL (1) TESLA STANDALONE SUPERCHARGER CABINET INSTALL (4) TESLA STANDALONE CHARGE POSTS INSTALL (2) TESLA PRE-ASSEMBLED SUPERCHARGER UNITS INSTALL (1) 2500A, 277/480V SWITCHBOARD INSTALL (4) WASTE MANAGEMENT BINS INSTALL (3) 20' LIGHT POST W/ DUAL-HEADED LIGHT FIXTURE PROVISIONS FOR (2) FUTURE TESLA PRE-ASSEMBLED SUPERCHARGER UNITS 	<p>WIND DESIGN DATA:</p> <ul style="list-style-type: none"> ULTIMATE WIND SPEED = 115 MPH OCCUPANCY CATEGORY: II WIND IMPORTANCE FACTOR: I = 1.0 WIND EXPOSURE CATEGORY: C <p>SEISMIC DESIGN DATA:</p> <ul style="list-style-type: none"> OCCUPANCY CATEGORY: II SEISMIC IMPORTANCE FACTOR: I = 1.0 SITE CLASS: D (ASSUMED) MAPPED SPECTRAL RESPONSE COEFFICIENTS: $S_{g1} = 1.235$ $S_{1} = 0.447$ DESIGN SPECTRAL RESPONSE COEFFICIENTS: $S_{g2} = 0.828$ $S_{01} = 0.462$ SEISMIC DESIGN CATEGORY: D ASSUMED SOIL PROPERTIES: ALLOWABLE BEARING PRESSURE: 2,000 PSF ALLOWABLE LATERAL BEARING PRESSURE: 150 PSF/FT 	<p>SHT. NO.</p> <p>T-1</p> <p>GN-1</p> <p>GN-2</p> <p>C-1</p> <p>C-2</p> <p>C-3</p> <p>C-3A</p> <p>C-4</p> <p>C-5</p> <p>C-6</p> <p>C-7</p> <p>C-8</p> <p>C-9</p> <p>C-10</p> <p>C-11</p> <p>C-11.1</p> <p>C-12</p> <p>C-12.1</p> <p>C-12.2</p> <p>C-12.3</p> <p>E-1</p> <p>E-2</p> <p>E-3</p> <p>E-4</p> <p>G-1</p>	<p>SHEET TITLE</p> <p>TITLE SHEET</p> <p>GENERAL NOTES I</p> <p>GENERAL NOTES II</p> <p>DETAILED SITE PLAN</p> <p>EXISTING CONDITIONS PLAN</p> <p>EQUIPMENT/PARKING PLAN</p> <p>LANDSCAPE & IRRIGATION PLAN</p> <p>GRADING PLAN</p> <p>AUTOTURN CLEARANCE DIAGRAM</p> <p>CONSTRUCTION DETAILS I</p> <p>CONSTRUCTION DETAILS II</p> <p>CONSTRUCTION DETAILS III</p> <p>CONSTRUCTION DETAILS IV</p> <p>CONSTRUCTION DETAILS V</p> <p>EXISTING DRAINAGE PLAN</p> <p>EXISTING DRAINAGE CALCULATIONS</p> <p>PROPOSED DRAINAGE PLAN</p> <p>PROPOSED DRAINAGE CALCULATIONS</p> <p>STORMWATER MANAGEMENT DETAILS I</p> <p>STORMWATER MANAGEMENT DETAILS II</p> <p>ELECTRICAL ONE-LINE DIAGRAM</p> <p>ELECTRICAL DETAILS</p> <p>UTILITY DETAILS</p> <p>ARC FLASH LABELS & BREAKER SETTINGS</p> <p>GROUNDING SCHEMATIC & DETAILS</p>
PROPERTY OWNER: RICHARD L MILLER PROPERTIES LLC 2455 W MAIN ST TREMONTON, UT 84337						
PARCEL ID: PARCEL ID: 19-146-0005		IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.				
POWER COMPANY: ROCKY MOUNTAIN POWER BRIAN HERRSCHER (385) 249-4790 brian.herrscher@pacificorp.com WORK ORDER: TBD						
COUNTY: WEBER COUNTY						
LATITUDE*: 41° 18' 26.92" N						
LONGITUDE*: 112° 01' 18.85" W *BASED ON GOOGLE EARTH						
CONTACT ENGINEER: STEPHEN STOUT DEWBERRY ENGINEERS INC. 973.434.1354 sstout@Dewberry.com						
ZONING INFORMATION						
PERMITTING JURISDICTION: CITY OF FARR WEST APN: 19-146-0005						
CONTRACTOR NOTE						
CONTRACTOR SHALL COMPLETE INSTALL PER THE SIGNED AND SEALED SET OF DRAWINGS. ANY NECESSARY DEVIATIONS FROM THE DRAWINGS MUST BE SUBMITTED THROUGH AN RFI REQUEST PROCESS WITH ENGINEERING FOR AN APPROVAL PRIOR TO CONTRACTOR PROCEEDING WITH A DEVIATION OF THE SIGNED AND SEALED SET OF DRAWINGS.						
AERIAL MAP		LOCATION MAP		BEFORE SCALING		
				CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE TESLA REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.		
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				<p>BLUE STAKES OF UTAH 811</p> <p>811 OR (801) 208-2100</p>		
SHEET TITLE		TITLE SHEET		SHEET NUMBER		
				T-1		

GENERAL NOTES:

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
GENERAL CONTRACTOR(s) OR SUB-CONTRACTOR(s) – CIVIL CONTRACTOR AND/OR ELECTRICIAN CONTRACTOR
PROJECT OWNER/CONSTRUCTION MANAGER – TESLA
PROJECT HOST – LEGAL PROPERTY OWNER
ENGINEER – DEWBERRY ENGINEERS INC.
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF PROJECT OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. THE GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE THE INSTALLATION AS INDICATED ON THE DRAWINGS FOR A FULLY FUNCTIONAL CHARGING STATION AND COMPLETE PROJECT.
- THE SUB-CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON DRAWINGS, THE GENERAL CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE PROJECT ENGINEER. ONLY WRITTEN APPROVALS SHALL BE DEEMED TO CONFIRM ANY SUCH CHANGES AS BEING APPROVED.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT UNIQUE JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK.
- THE GENERAL CONTRACTOR SHALL REVIEW ROUTING OF CONDUIT, POWER AND GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING PLAN DRAWING. THE GENERAL CONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONSTRUCTION MANAGER AND PROJECT HOST.
- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE PROJECT HOST. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF GENERAL CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY.
- APPLICABLE BUILDING CODES:
THE GENERAL CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
THE GENERAL CONTRACTOR WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION
- FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.
- THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER GENERAL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S).
- CONSTRUCTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND GENERAL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) TO THE SITE AND/OR BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
- THE GENERAL CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE PROJECT HOST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OR 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
- ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE PROJECT OWNER AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
- GENERAL CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES AND ALL SPECIFIED CLOSE-OUT DOCUMENTATION TO THE PROJECT OWNER UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
- THE GENERAL CONTRACTOR SHALL LEAVE THE WORK AREA AND SURROUNDING PREMISES IN A CLEAN CONDITION.
- THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
- NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.

SITE WORK NOTES:**PART 1 – GENERAL****1.1 REFERENCES:**

- DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION–CURRENT EDITION).
- AASHTO (AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS)
- ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
- OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).

1.2 INSPECTION AND TESTING:

- FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY AN INDEPENDENT TESTING LAB. THIS WORK IS TO BE COORDINATED BY THE GENERAL CONTRACTOR.
- ALL WORK SHALL BE INSPECTED AND VERIFIED FOR CONFORMANCE AND RELEASED BY THE ENGINEER WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE GENERAL CONTRACTOR(S)'S RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.

1.3 SITE MAINTENANCE AND PROTECTION:

- PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE CONTRACT.
- AVOID DAMAGE AND TAKE PROTECTIVE MEASURES TO THE SITE AND TO EXISTING FACILITIES, IMPROVEMENTS, STRUCTURES, PAVEMENTS, CURBS, AND LANDSCAPING DESIGNATED TO REMAIN. ANY DAMAGED PART SHALL BE REPAIRED AT SUB-CONTRACTOR(S) EXPENSE TO THE SATISFACTION OF THE PROJECT HOST.
- KEEP SITE FREE OF ALL PONDING OR STANDING WATER.
- PROVIDE EROSION CONTROL MEASURES, IF REQUIRED, SHALL BE IN ACCORDANCE WITH STATE DOT, LOCAL PERMITTING AGENCY AND EPA REQUIREMENTS.
- PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE SUB-CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE GENERAL CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK AS DIRECTED BY THE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE PROJECT OWNER AND/OR LOCAL UTILITIES.
- EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE PROJECT HOST OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE PROJECT HOST AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
- PROVIDE A MINIMUM 48-HOUR NOTICE TO THE PROJECT HOST AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.
- SOD PLANTED IN THE FALL MUST ESTABLISH ITS ROOTS BEFORE THE FIRST WINTER FROST. DETERMINE WHEN THE FIRST FROST USUALLY OCCURS, AND PLANT THE SOD NO LATER THAN ONE MONTH BEFORE THE FIRST FROST. IF THE CONSTRUCTION IS FINISHED LATER THAN ONE MONTH BEFORE THE FIRST FROST, USE STRAW UNTIL SOD CAN BE INSTALLED.
- THE GENERAL CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS, RUBBISH, DEBRIS, STUMPS, STICKS, AND STONES.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT TREES, VEGETATION, AND ROOT SYSTEMS DURING CONSTRUCTION.
- CONTRACTOR TO COORDINATE POST CONSTRUCTION LANDSCAPING FINISHES WITH OWNER AND TESLA.

PART 2 – PRODUCTS**2.1 GRANULAR BACKFILL:** SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE	TOTAL PERCENT PASSING
1-1/2 INCH	100
1 INCH	75 TO 100
3/4 INCH	80 TO 100
3/8 INCH	35 TO 75
NO. 4	30 TO 60
NO. 30	7 TO 30
NO. 200	3 TO 15

2.2 GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SE OR SW-SM).**2.3 ALL STRUCTURAL BACKFILL AND SUBBASE UNDER SLABS:** SHALL BE SELECT STRUCTURAL FILL MEETING THE GRADATION AND SOUNDNESS REQUIREMENTS IN ACCORDANCE WITH THE FOLLOWING:

SIEVE SIZE	TOTAL PERCENT PASSING
4 INCH	100
NO. 40	0 TO 70
NO. 200	0 TO 40

2.4 MATERIALS: SHALL BE SUBSTANTIALLY FREE OF SHALE OR OTHER SOFT, POOR DURABILITY PARTICLES. IF TESTING IS ELECTED BY PROJECT OWNER, MATERIAL WITH A MAGNESIUM SULFATE SOUNDNESS LOSS EXCEEDING 30% WILL BE REJECTED.**2.5 COARSE AGGREGATE FOR SUBBASE COURSE:** SHALL CONFORM TO ASTM D2940.**2.6 UNSUITABLE MATERIAL:** HIGH AND MODERATELY PLASTIC SILTS AND CLAYS (LL>45), MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION, AND DEBRIS AS DETERMINED BY THE ENGINEER. TYPICALLY THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT, MH, CH, OH, ML, AND OL.**PART 3 – EXECUTION****3.1 GENERAL:**

- BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF A RAIN EVENT, NO SEDIMENT WILL LEAVE THE WORK SITE.
- BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
- CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.
- REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.
- REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR UNDESIRABLE MATERIALS.

3.6 ASPHALT PAVING ROAD:

- AASHTO
- STATE SPECIFIC ASPHALT SPECIFICATIONS FOR HIGHWAYS
- THE SUB-CONTRACTOR IS RESPONSIBLE FOR RE-STRIPING AND APPLYING SEALCOATING, UNLESS OTHERWISE SPECIFIED.

F. EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH GRANULAR FILL.

G. REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.

H. PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE ENGINEER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.

I. SEPARATE AND STOCKPILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.

J. DURING EXCAVATION, THE SUB-CONTRACTOR SHALL PROVIDE SHORING, SHEETING, AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF EXCAVATION.

K. WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.

3.2 BACKFILL:

A. AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH SPECIFIED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.

B. PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.

C. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW, OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

D. BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 12-INCHES LOOSE THICKNESS AND COMPACTED. WHERE HAND OPERATED COMPACTORS ARE USED, FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12-INCHES IN LOOSE DEPTH AND COMPACTED.

E. THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS ESTABLISHED BY THE STANDARD PROCTOR TEST, ASTM D 698.

F. WHENEVER THE DENSITY TESTING INDICATES THAT THE SUB-CONTRACTOR(S) HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE CONSTRUCTION MANAGER. THE SUB-CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.

G. THE SUB-CONTRACTOR SHALL OBTAIN GRAB SAMPLES OF SUFFICIENT QUANTITY TO PROVIDE TO LAB FOR PURPOSE OF DETERMINING MAX DRY DENSITY. ALL LOOSE AND/OR ORGANIC MATERIAL SHALL BE REMOVED PRIOR TO PREPARATION OF THE AREA FOR PLACEMENT OF STRUCTURAL BACKFILL. OVERALL PLAN AREA OF WORK SHALL EXTEND 3'-0" MINIMUM BEYOND THE FINAL DIMENSIONS.

H. SCARIFY THE EXISTING SOILS TO A DEPTH OF 6" AND RE-COMPACT USING A VIBRATING PLATE OR TAMPER. ANY SOFT AREAS SHALL BE OVEREXCAVATED 12" AND BACKFILLED WITH MATERIALS AND COMPACTION REQUIREMENTS SHOWN ON THE DRAWINGS.

I. PLACEMENT AND COMPACTION OF STRUCTURAL BACKFILL AND SUBBASE SHALL BE IN 12" LIFTS. EXCAVATE FOR THE FOOTING EDGE AS SHOWN ON THE DRAWINGS.

3.3 TRENCHING EXCAVATION:

J. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.

K. EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.

L. WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, EXCAVATE THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION, THEN BACKFILL WITH 12" OF GRANULAR MATERIAL.

3.4 TRENCHING BACKFILL:

A. PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.

B. NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF BACKFILLING.

C. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.

D. PLACE GRANULAR BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS AND HANCHES.

E. PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.

F. ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 12-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.

G. COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS ESTABLISHED BY THE STANDARD PROCTOR TEST, ASTM D 698.

H. PER LOCAL REGULATORY AUTHORITY AND AS APPLICABLE, ALL TRENCHES IN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.

3.5 FINISH GRADING:

A. PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL MATCH SURROUNDING TOPOGRAPHY AND STRUCTURES.

B. UTILIZE GRANULAR FILL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.

ELECTRICAL NOTES:

- THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS, ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, SUB-CONTRACTOR SHALL NOTIFY THE PROJECT HOST AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE PROJECT HOST HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
- THE GENERAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE SUB-CONTRACTOR, PRIOR TO THE SUBMITTAL OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE THE SUBCONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
 - A. UL - UNDERWRITERS LABORATORIES
 - B. NEC - NATIONAL ELECTRICAL CODE
 - C. NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - D. OSHA - OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
 - E. SBC - STANDARD BUILDING CODE
 - F. NFPA - NATIONAL FIRE PROTECTION ASSOCIATION
- DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH ENGINEER ANY SIZES AND LOCATIONS WHEN NEEDED.
- EXISTING SERVICES: THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE PROJECT HOST.
- THE GENERAL CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. THE GENERAL CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO THE WORK BEGINNING OR ORDERING EQUIPMENT.
- THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL, UNLESS OTHERWISE SPECIFIED BY CONSTRUCTION MANAGER OR BY PROJECT DEVELOPER.
- THE GENERAL CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE PROJECT HOST'S CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER, PRIOR TO BEGINNING ANY WORK.
- CONDUCTORS: THE CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER OR ALUMINUM WITH TYPE (THWN-2) INSULATION, 600 VOLT, COLOR CODED UNLESS SPECIFIED DIFFERENTLY ON DRAWINGS.
- ALL (THWN-2) WIRING INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER. SUB-CONTRACTOR IS TO PROVIDE ALL ELECTRICAL EQUIPMENT UNLESS OTHERWISE DIRECTED.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL SUB-CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY THE CONSTRUCTION MANGER.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
- ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
- MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF UL APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.
- GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURES CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
- ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE CONTRACTOR(S) RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE CONSTRUCTION MANAGER UPON FINAL ACCEPTANCE.
- THE SUBCONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES.
- DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
- ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "INALOX" BY IDEAL INDUSTRIAL INC. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED ALUMINUM & COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
- ALL EXTERIOR AND INTERIOR ABOVE GROUND CONDUIT SHALL BE RIGID GALVANIZED STEEL UNLESS SPECIFIED OTHERWISE. RACEWAYS: ALL CONDUITS SHALL BE SCHEDULE 40 EMT MEETING OR EXCEEDING NEMA TC2 - 1990 UNLESS SPECIFIED OTHERWISE. THE SUB-CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 3 FT. RADIUS. EMT CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'GOLD GALV.'
- SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
- CONNECTORS FOR POWER CONDUCTORS: SUB-CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
- THE SUB-CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC".
- WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.
- ALL BOLTS SHALL BE STAINLESS STEEL.
- ALL MATERIALS AND EQUIPMENT SUPPLIED AND INSTALLED BY THE SUBCONTRACTOR SHOULD BE NEW AND UNUSED.
- PER NEC 625.22 - THE USER INTERFACE (CHARGE POST) IS CONTROLLED BY THE ELECTRICAL EQUIPMENT (SUPERCHARGER CABINET) AND THE FOLLOWING PRECAUTIONS HAVE BEEN TAKEN TO ENSURE THE SAFETY OF CUSTOMERS AND THOSE AROUND THE EQUIPMENT. BEFORE ANY VOLTAGE OR CURRENT IS APPLIED TO THE CHARGE POST, THE CABINET MUST COMMUNICATE WITH THE TESLA VEHICLE. THERE IS A "HANDSHAKE" BETWEEN THE CAR AND THE CABINET CONFIRMING THAT THE VEHICLE IS ACTUALLY A TESLA AND THAT THE VEHICLE CAN HANDLE THE SUPERCHARGING. VOLTAGE IS THEN APPLIED TO THE POWER SOCKETS IN THE CHARGE POST AND ONCE THE VOLTAGE READING FROM THE CAR IS VERIFIED AS THE SAME IN THE CHARGING CABINET, THEN CURRENT BEGINS TO FLOW. IF AT ANY POINT IN THIS PROCESS A FAULT IS DETECTED, THE CHARGING WILL STOP IMMEDIATELY, WITHIN A MATTER OF MILLISECONDS. DURING THE NORMAL CHARGING CYCLE, IF ANY FAULT OR IRREGULARITY IS DETECTED, THE CHARGING WILL AGAIN STOP WITHIN MILLISECONDS OF DETECTION. BEYOND THIS LOGIC PROTECTION, THERE IS PHYSICAL PROTECTION FROM OVER-CURRENT OR OVER-VOLTAGE WITHIN EACH OF THE CHARGERS. BEYOND THAT, FAST ACTING FUSES ALSO PROTECT THE VEHICLE OUTPUTS FROM OUTPUTTING TOO HIGH OF A CURRENT.

TRAFFIC MANAGEMENT NOTES:

- ALL TEMPORARY CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS, UNLESS SUPERCEDED BY THESE PLANS.
- ALL SIGN LEGENDS, BORDERS, AND MOUNTING SHALL BE IN ACCORDANCE WITH THE MUTCD.
- TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
- TEMPORARY CONSTRUCTION SIGNING, BARRICADES, AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.
- SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, CHANNELIZING DEVICES, BARRIERS, AND CRASH ATTENUATORS MUST PASS THE CRITERIA SET FORTH IN NCHRP REPORT 350, "RECOMMENDED PROCEDURES FOR THE SAFETY PERFORMANCE EVALUATION OF HIGHWAY FEATURES" AND/OR "MANUAL FOR ASSESSING SAFETY HARDWARE" (MASH).
- CONTRACTORS SHALL NOTIFY THE OWNER AND ALL TENANTS OF THIS PROPERTY AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT, AND SIMILAR OPERATIONS.
- THE FIRST FIVE PLASTIC DRUMS OF A TAPER SHALL BE MOUNTED WITH TYPE A LIGHTS.
- MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUMS OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
- MINIMUM LANE WIDTH IS TO BE 11 FEET (3.3m) UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN BARRIER.
- EXISTING PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES THROUGH A COMBINATION OF PEDESTRIAN DETOURS OR PROTECTED SAFE ROUTES. ALL PEDESTRIAN ROUTES SHALL MEET APPLICABLE ACCESSIBILITY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC THROUGHOUT CONSTRUCTION AT THIS LOCATION. THE CONTRACTOR SHALL INSTALL TEMPORARY TRAFFIC SIGNS, DRUMS, CONES, OR OTHER TRAFFIC CONTROL DEVICES TO DIRECT VEHICLES AND PEDESTRIANS AROUND THE WORK ZONE.

REINFORCED CONCRETE NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
- ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
- MAXIMUM AGGREGATE SIZE SHALL BE 3/4".
- THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 615, GRADE 60
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING

- REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH "DETAILED MANUAL-2004 PUBLICATION SP-66" AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI-318-08.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B"; ALL HOOKS SHALL BE STANDARD, UNO.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH:	3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:	#6 AND LARGER 2 IN. #5 AND SMALLER & WMF 1-1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:	SLAB AND WALL 3/4 IN. BEAMS AND COLUMNS 1-1/2 IN.

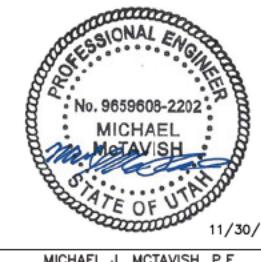
- A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE ANCHOR, SHALL BE PER MANUFACTURERS WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- DO NOT WELD OR TACKWELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- LOCATE ADDITIONAL EXPANSION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- Maintain temperature of cast in place concrete between 50 degrees and 90 degrees Fahrenheit. For cold-weather and hot-weather concrete placement, conform to applicable ACI codes and recommendations. In either case, materials containing chloride, calcium, salts, etc. shall not be used. Protect fresh concrete from weather for 7 days minimum.
- UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.
- PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING.



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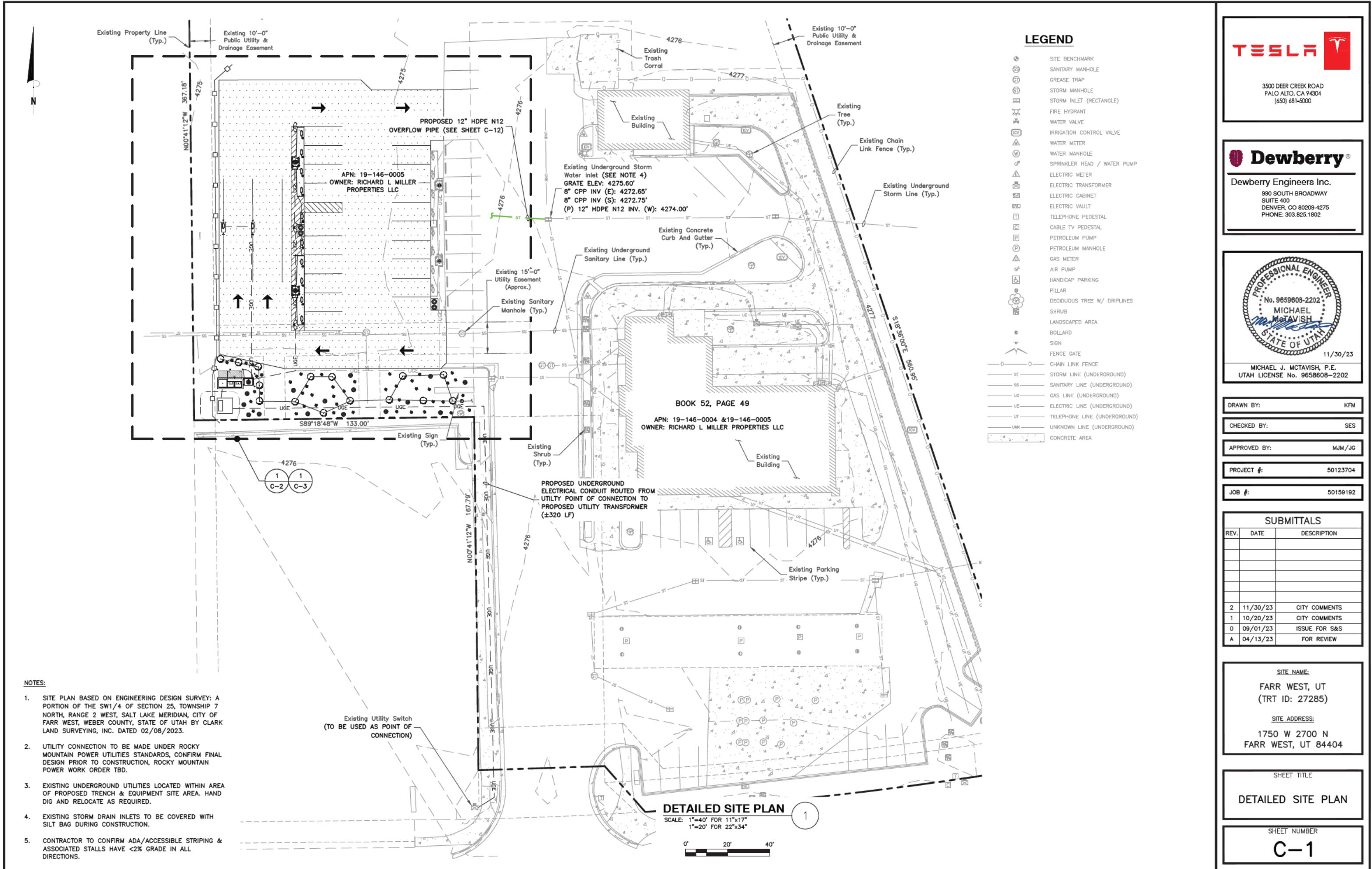


DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:
FARR WEST, UT
(TRT ID: 27285)
SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE
GENERAL NOTES II
SHEET NUMBER
GN-2



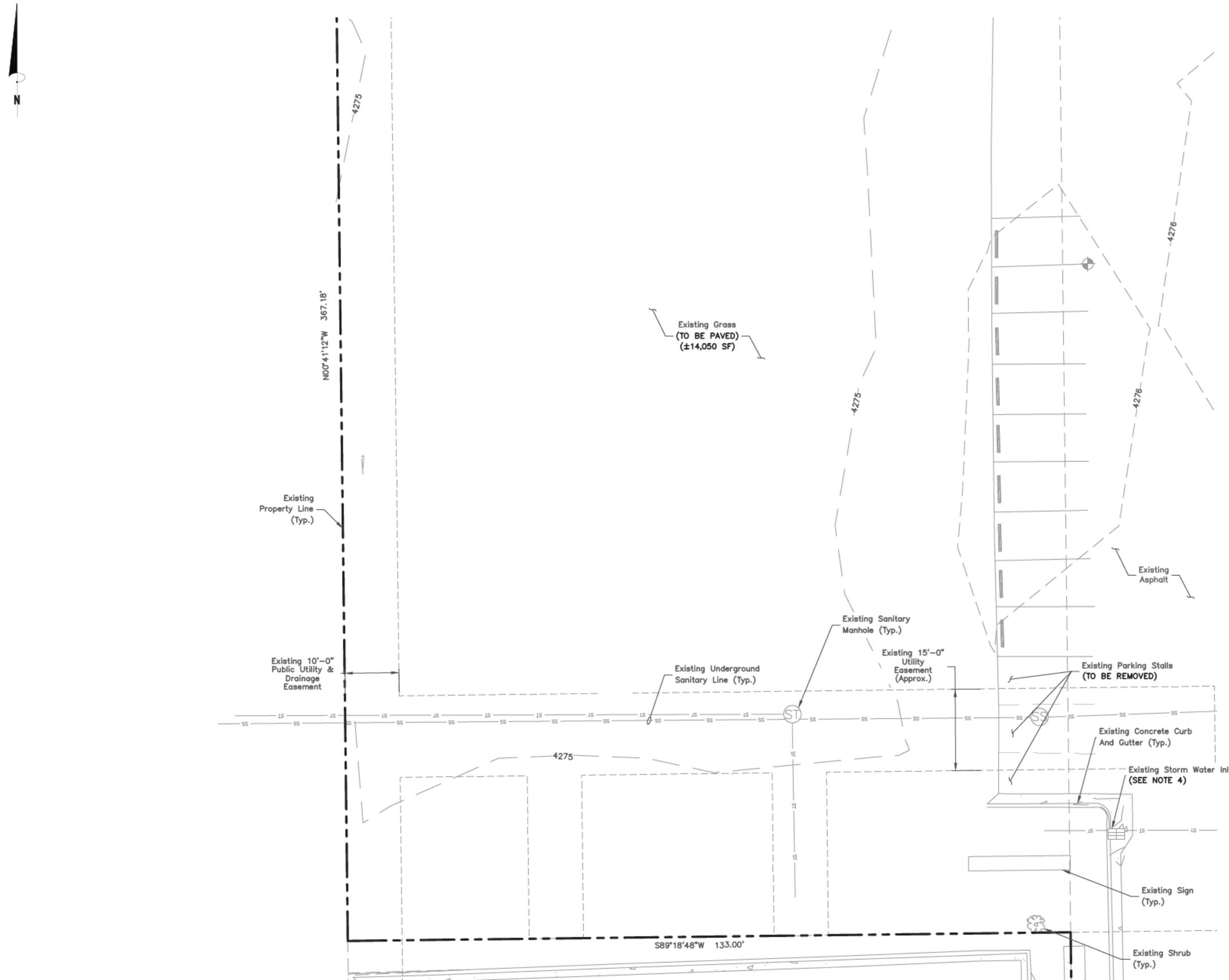
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MICHAEL J. MCTAVISH, P.E.
UTAH LICENSE No. 9658608-2202



EXISTING CONDITIONS PLAN

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"

0' 10' 20'

1

NOTES:

1. SITE PLAN BASED ON ENGINEERING DESIGN SURVEY: A PORTION OF THE SW1/4 OF SECTION 25, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE MERIDIAN, CITY OF FARR WEST, WEBER COUNTY, STATE OF UTAH BY CLARK LAND SURVEYING, INC. DATED 02/08/2023.
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3. EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
4. EXISTING STORM DRAIN INLETS TO BE COVERED WITH SILT BAG DURING CONSTRUCTION.
5. CONTRACTOR TO CONFIRM ADA/ACCESSIBLE STRIPING & ASSOCIATED STALLS HAVE <2% GRADE IN ALL DIRECTIONS.



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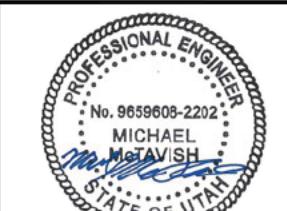
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SHEET TITLE
EXISTING CONDITIONS
PLAN

SHEET NUMBER
C-2

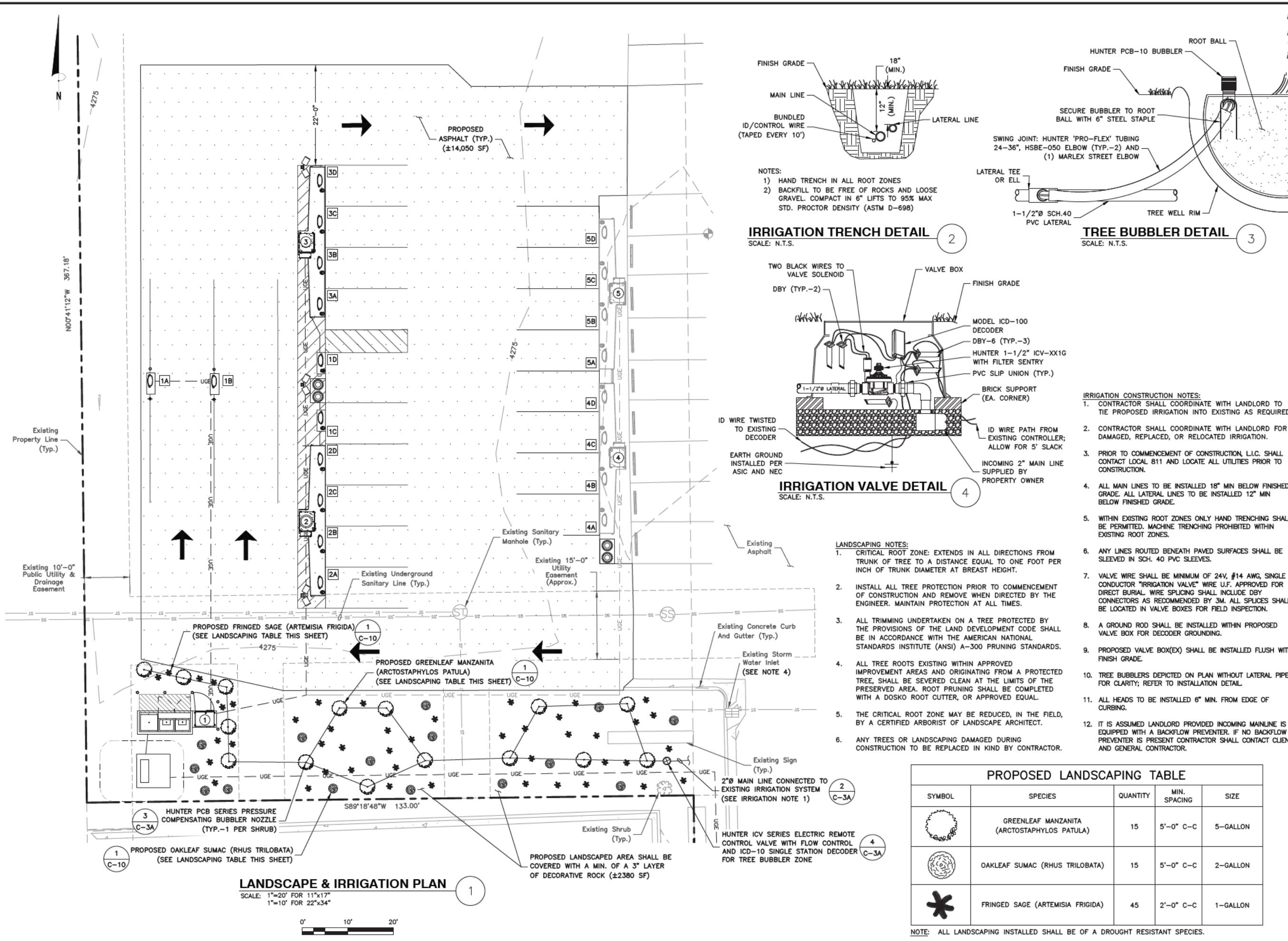


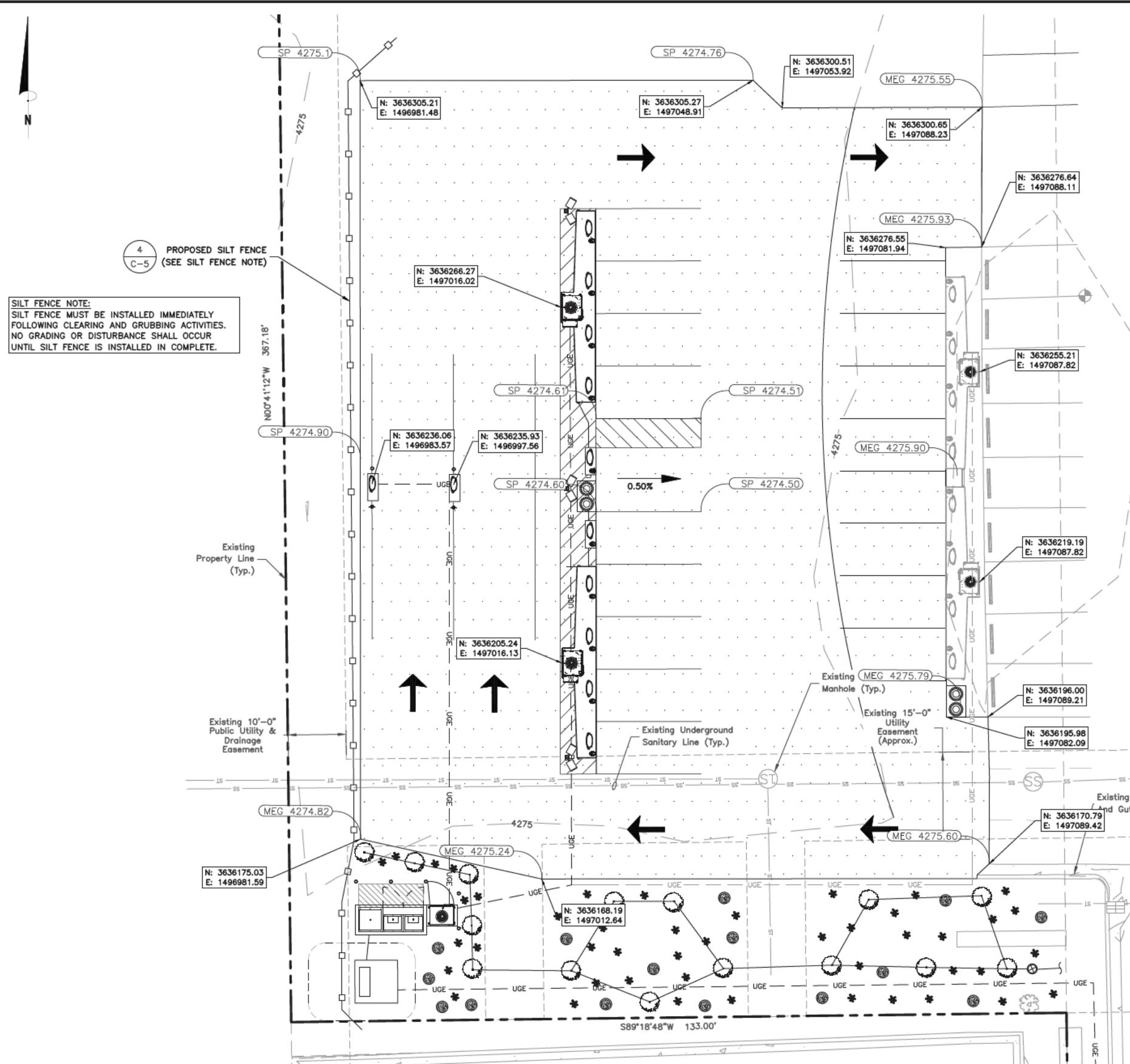
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SITE NAME: FARR WEST, UT (TRT ID: 27285)
SITE ADDRESS: 1750 W 2700 N FARR WEST, UT 84404

SHEET TITLE: LANDSCAPE & IRRIGATION PLAN
SHEET NUMBER: C-3A





LEGEND

—————	Existing Roadway
————— —————	Existing Easement
— — [102] — — —	Existing Contour
.	Existing Tree Line
———— OHE —————	Existing Overhead Electric
———— [] —————	PROPOSED SILT FENCE
———— ————— —————	PROPOSED ACCESS/UTILITY EASEMENT
———— ————— —————	PROPOSED LEASE AREA
———— ————— —————	PROPOSED UNDERGROUND CONDUIT
———— ————— —————	LOCUS PROPERTY LINE
SP 50.00'	PROPOSED SPOT ELEVATION
SP —	SPOT GRADE
MEG —	MATCH EXISTING GRADE
[9] —————	PROPOSED CONTOUR
5%	PROPOSED GRADING FLOW ARROW



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SILT FENCE DETAIL

SCALE: MTS

NOTES

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3. EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
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5. CONTRACTOR TO CONFIRM ADA/ACCESSIBLE STRIPING & ASSOCIATED STALLS HAVE <2% GRADE IN ALL DIRECTIONS.

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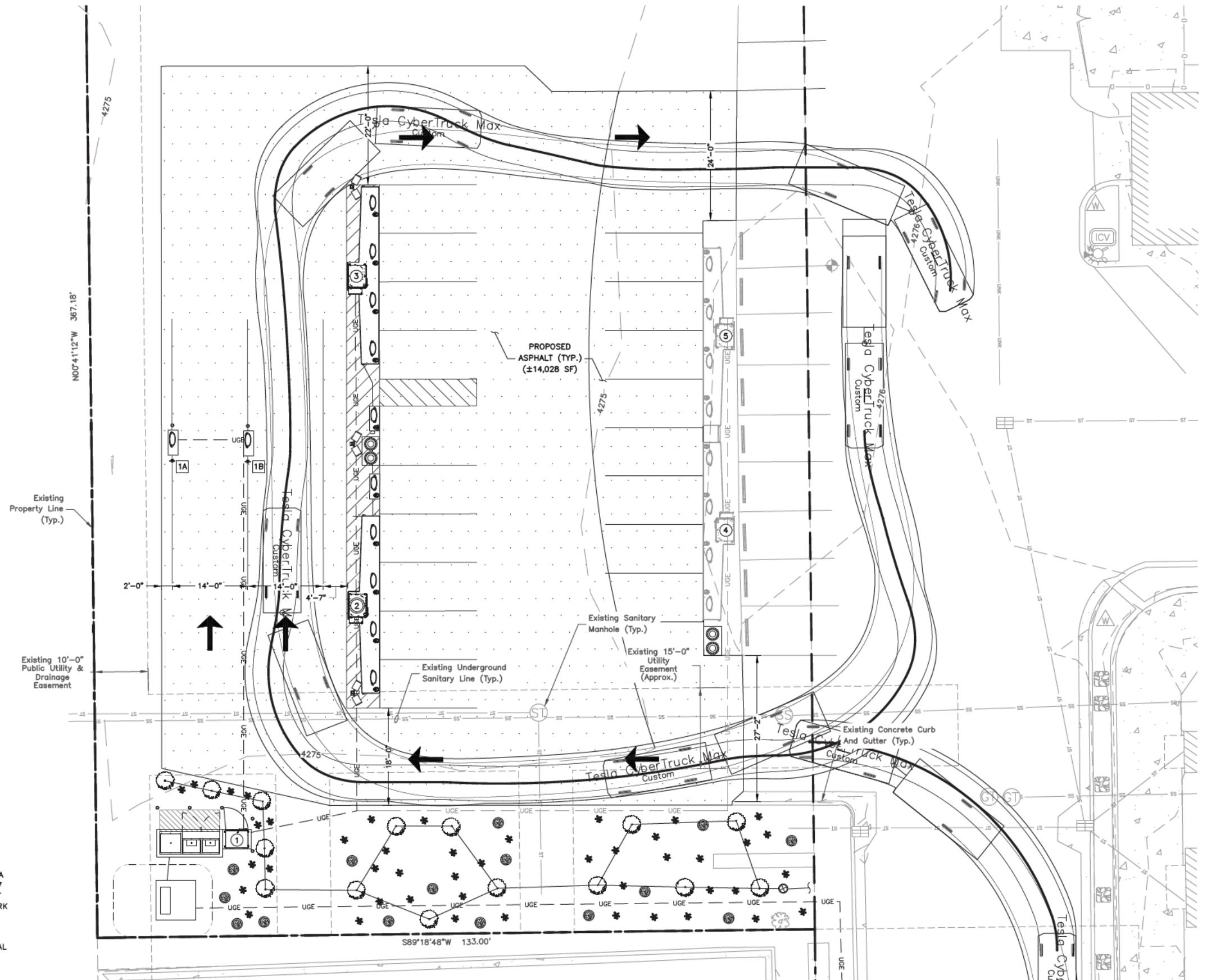
SHEET TITLE

GRADING PLAN

SHEET NUMBER

C-4

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AUTOTURN CLEARANCE DIAGRAM

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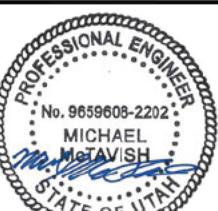
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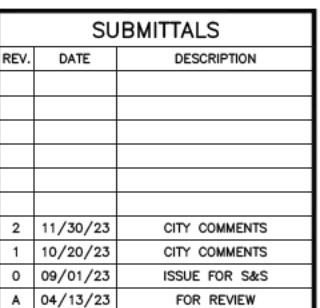
Dewberry Engineers Inc.

990 SOUTH BROADWAY
SUITE 400
DENVER, CO 80209-4275
PHONE: 303.825.1802



11
HAFEL J MCTAVISH P

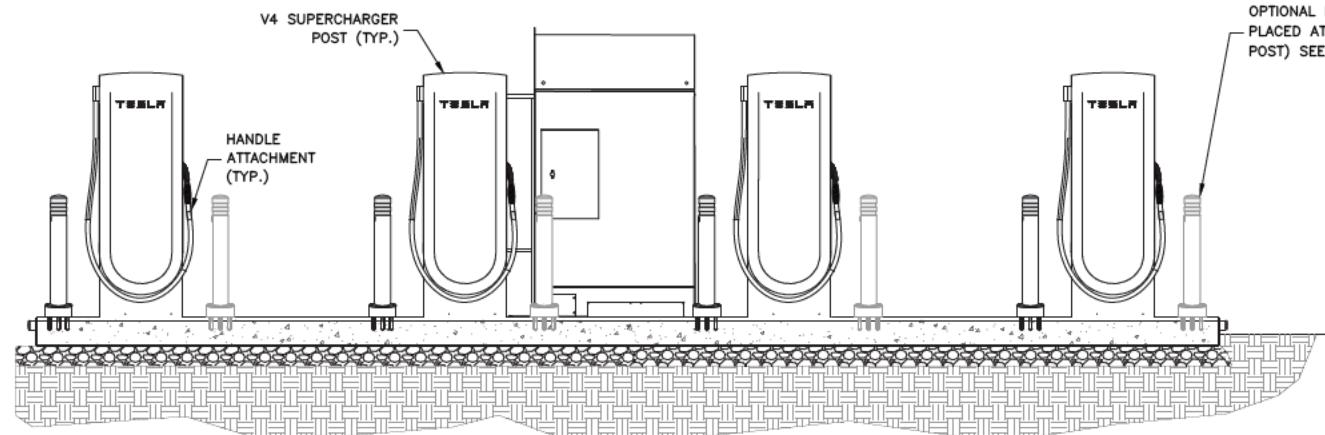
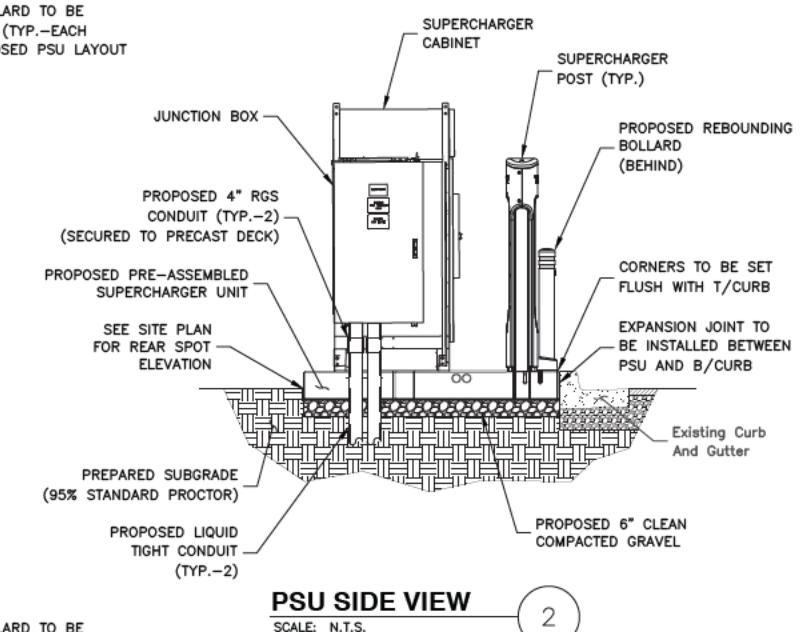
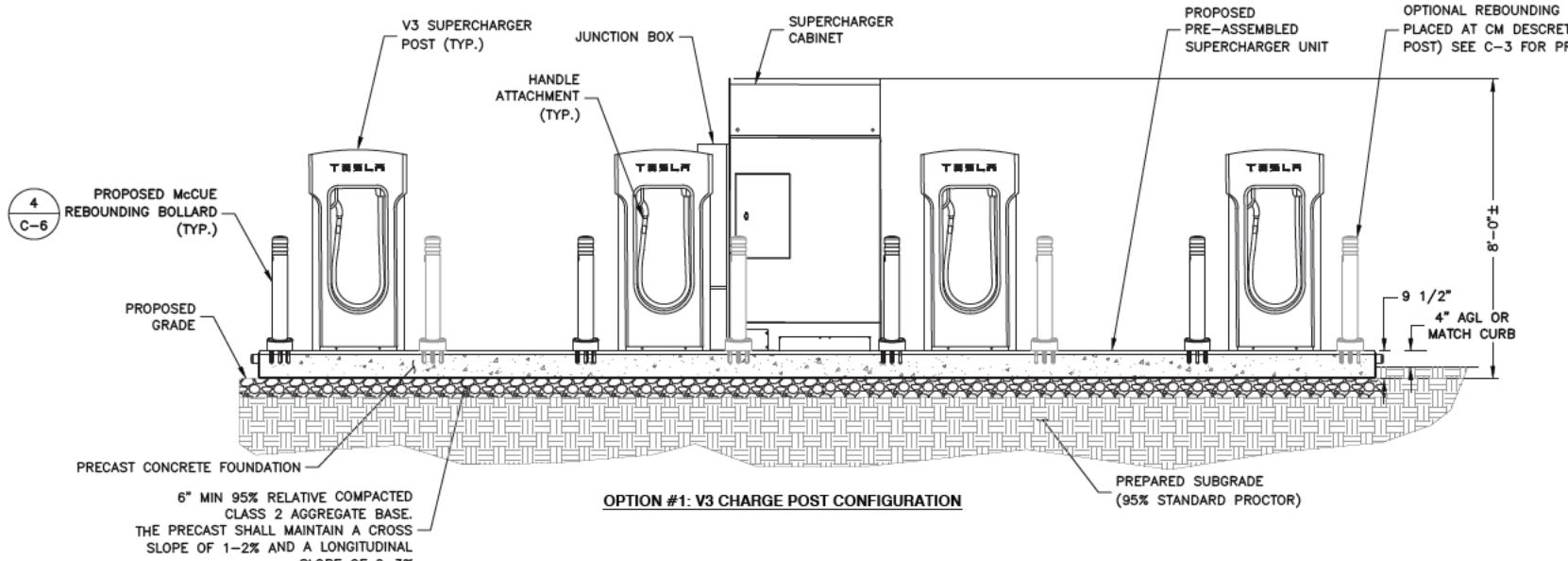
DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192



SITE NAME:
FARR WEST, UT
(TRT ID: 27285)

SHEET TITLE
**CONSTRUCTION
DETAILS 1**

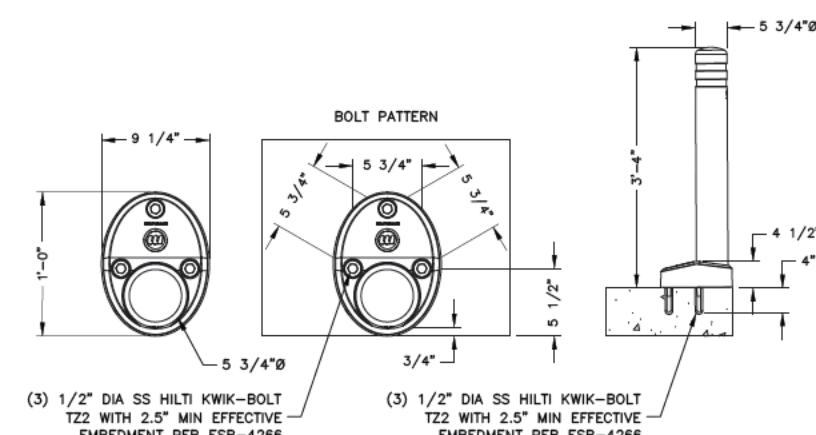
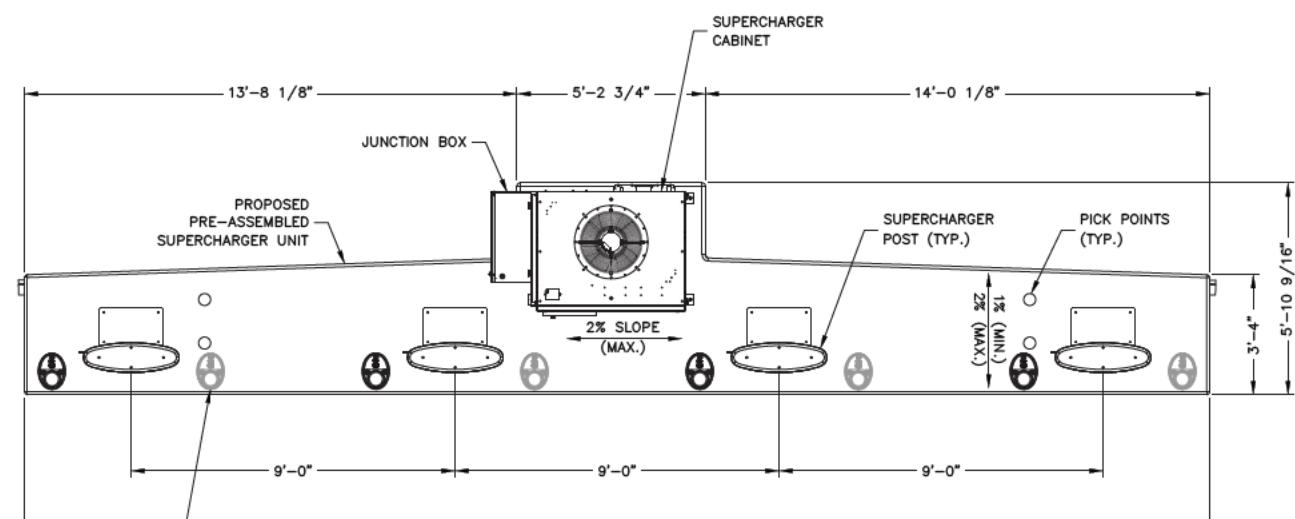
SHEET NUMBER
C-6



NOTE:

OPTION #2: ALTERNATIVE CHARGE POST CONFIGURATION

1. FINAL CHARGE POST CONFIGURATION SELECTION DETERMINED BY TESLA DESIGN MANAGER BASED ON AVAILABILITY AT TIME OF CONSTRUCTION.

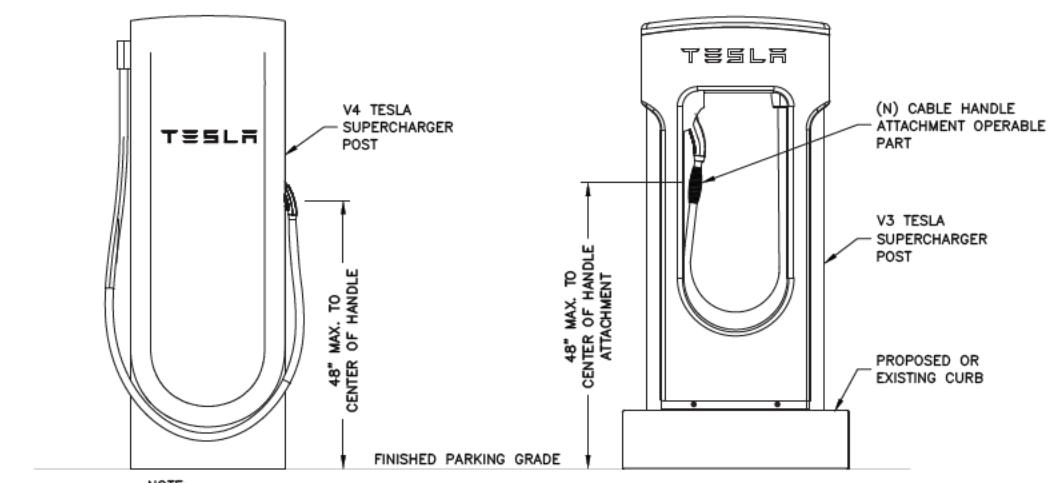
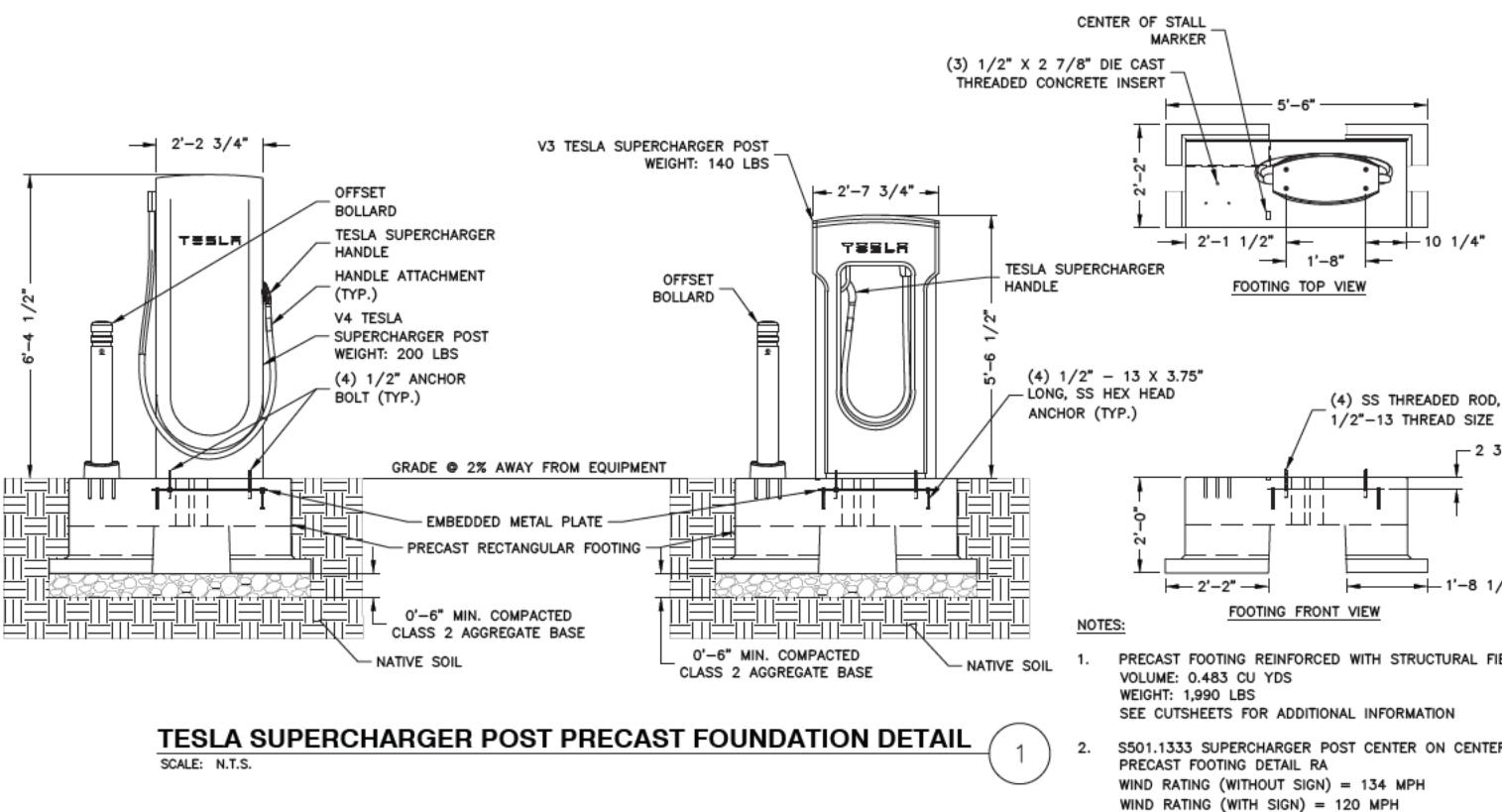




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APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

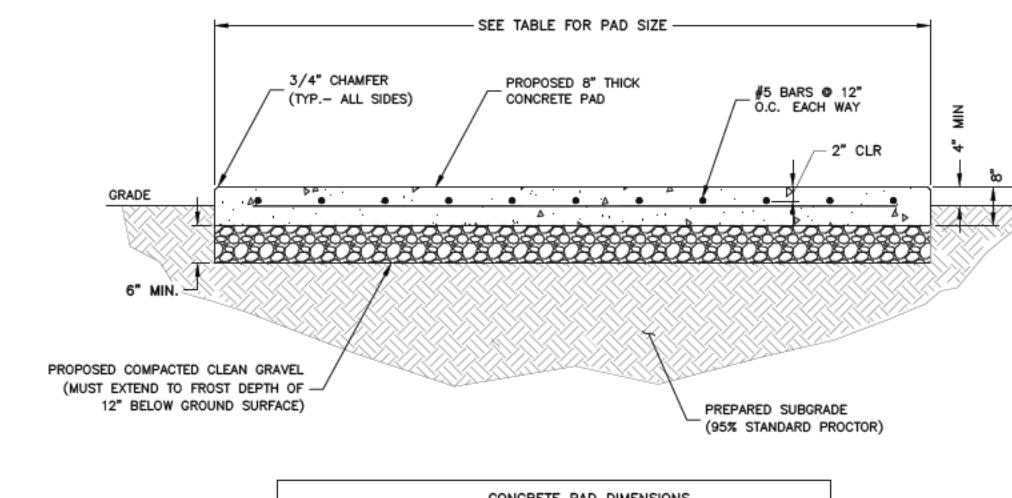
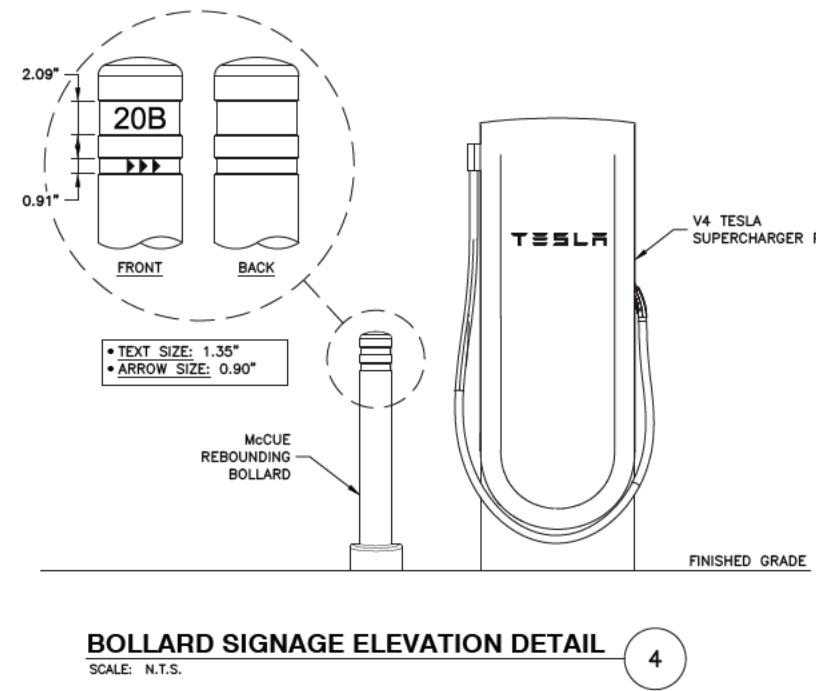
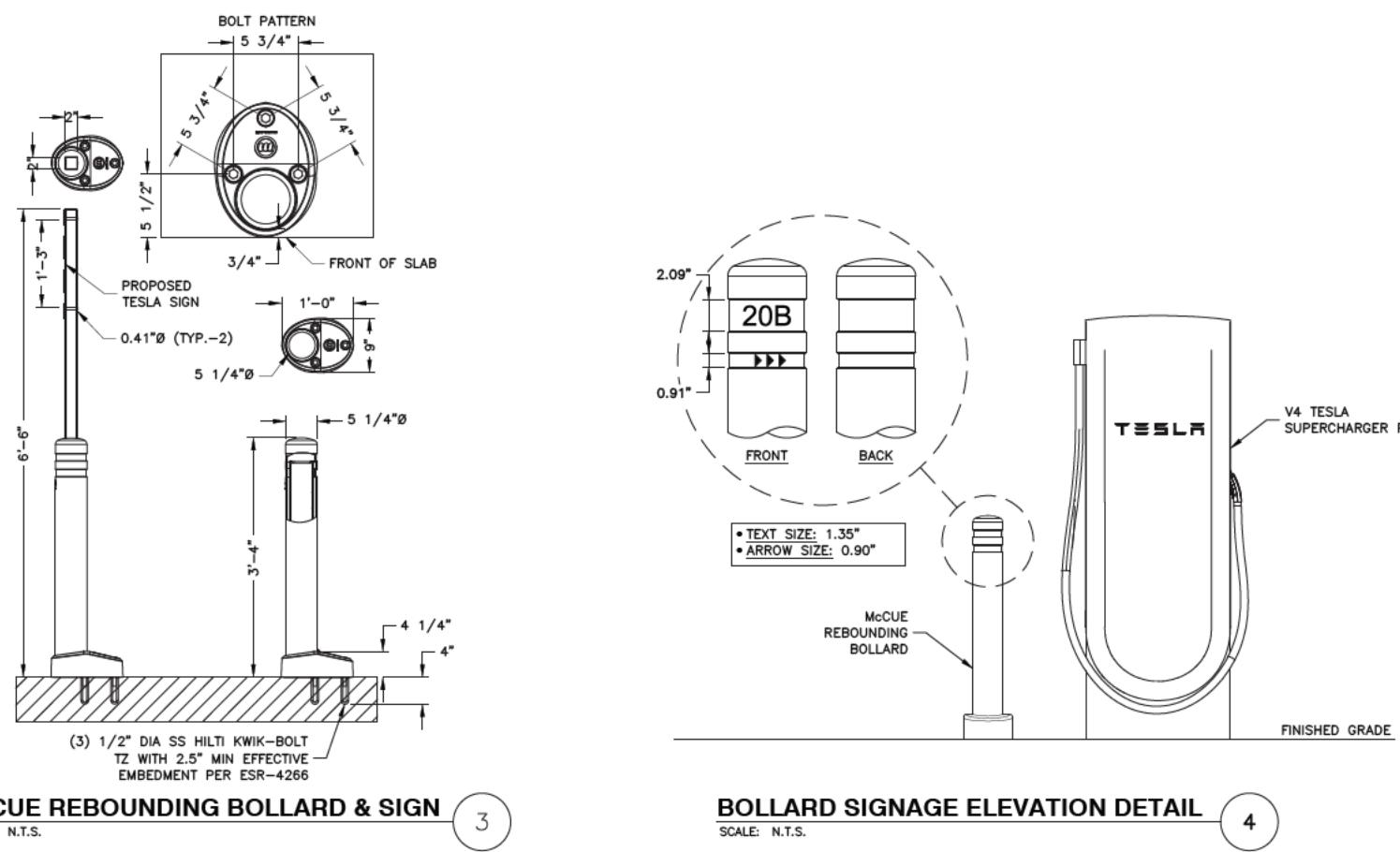
SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:
FARR WEST, UT
(TRT ID: 27285)

SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE
CONSTRUCTION DETAILS II

SHEET NUMBER
C-7

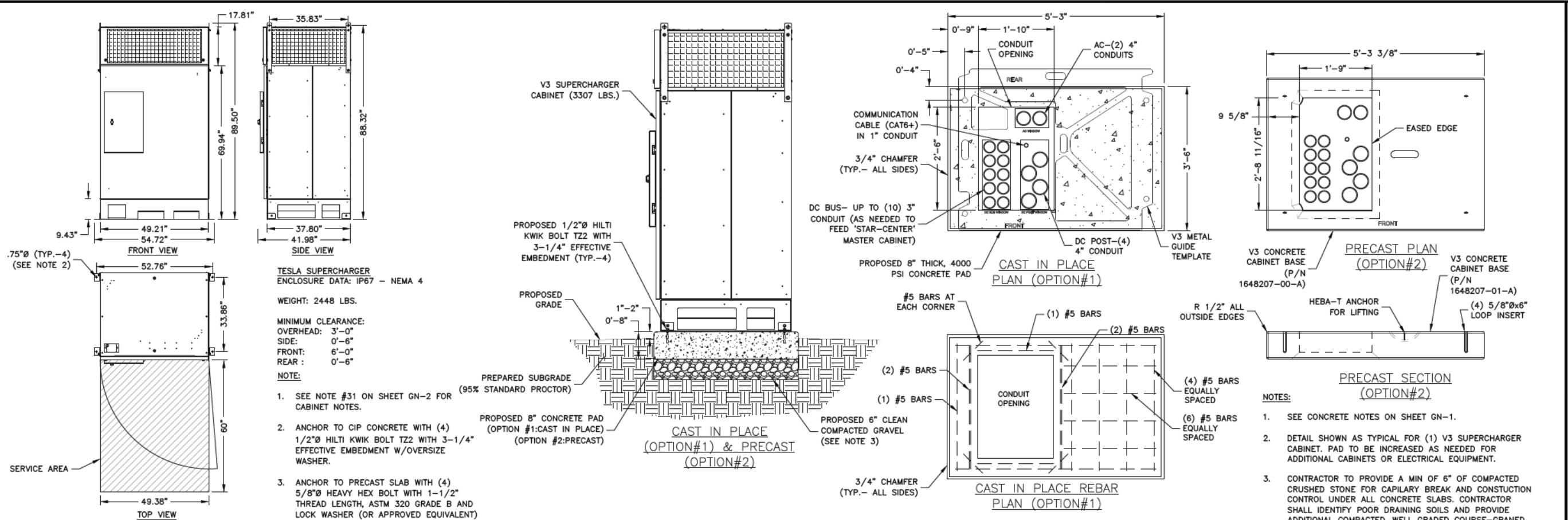


CONCRETE PAD DIMENSIONS					
PAD TYPE	CONCRETE	L	W	t (THICKNESS)	AREA
SWITCHGEAR*	4000 PSI	12'-6"	5'-3"	8"	66.0 S.F.

NOTE:

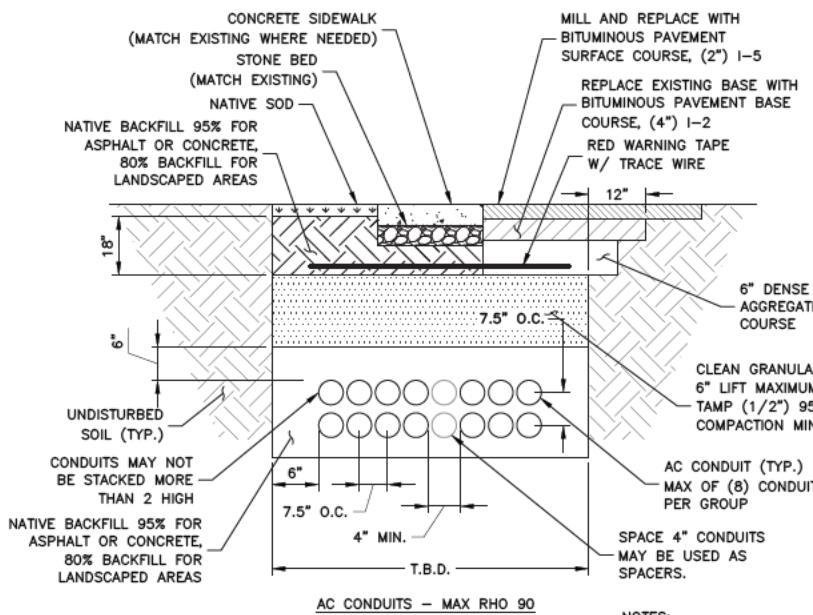
1. SEE CONCRETE NOTES ON SHEET GN-2.

* SWITCHGEAR ANCHORS SHALL BE: (12) 1/2"Ø HILTI HIT-HY 200 V3 + HIS-N B7 W/ 5" EFFECTIVE EMBEDMENT



TESLA SUPERCHARGER CABINET DETAIL

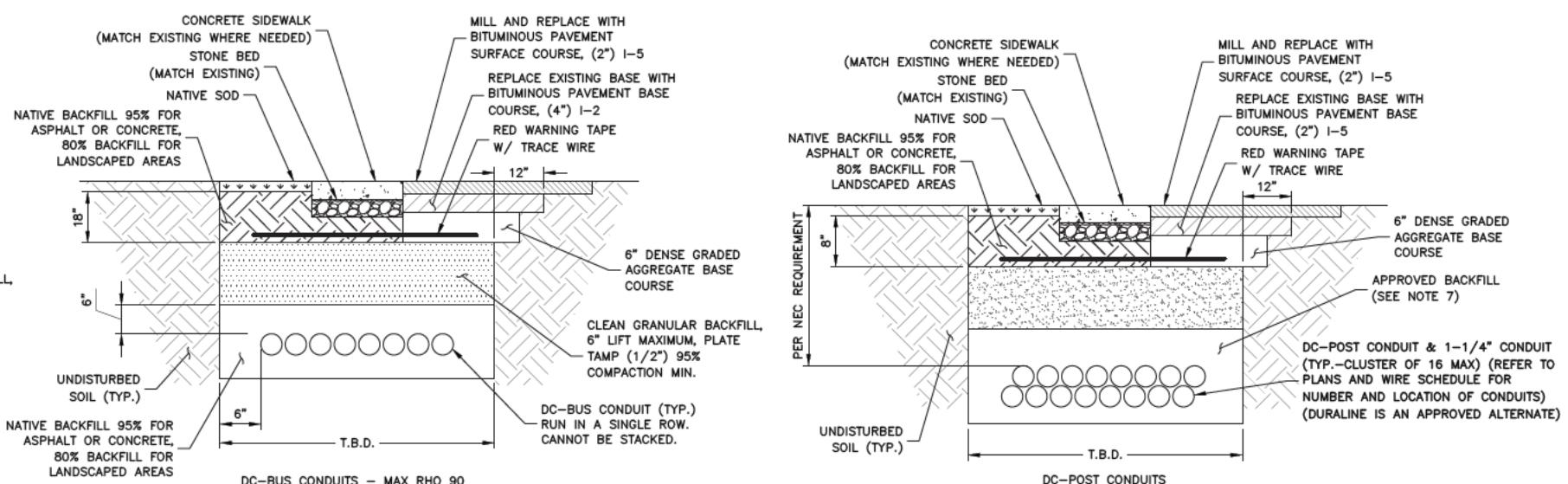
SCALE: N.T.S.



1. IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
2. IF NOT, PROVIDE CLEAN, COMPATIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
3. CONCRETE ENCASE CONDUIT WHEN TRENCHING UNDER SITE ACCESS ROAD.
4. ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE CONSTRUCTION CONDITIONS OR BETTER.
5. MAINTAIN 12" SEPARATION MIN. BETWEEN AC OR DC CONDUCTORS AND COMMUNICATION CABLES.

V3 CABINET FOUNDATION PLAN

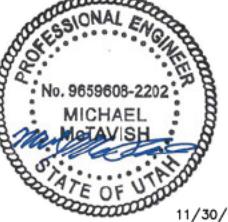
SCALE: N.T.S.



6. CONFIRM ALL DEPTHS W/UTILITY & NEC PRIOR TO CONSTRUCTION.
7. FOR TRENCHES WITH MIXED CIRCUIT TYPES, APPLY THE CONDUIT SPACING FOR THE CIRCUIT TYPE WITH THE LARGER SPACING REQUIREMENT.
8. APPROVED BACKFILL IS REQUIRED TO MEET THE DESIGNED RHO VALUES. USE THE SPECIFIED BACKFILL LISTED BELOW OR TEST NATIVE SOIL CONDITIONS TO CONFIRM MAX DEFINED RHO VALUES. MINIMUM 2" OF APPROVED BACKFILL COVERAGE AROUND CONDUITS IS REQUIRED.
9. RHO 90 BACKFILL - LOW STRENGTH FLUIDIZED THERMAL (SLURRY) BACKFILL WITH MIN 28 DAY COMPRESSIVE STRENGTH OF 150 PSI MUST BE USED TO ACHIEVE MAX RHO 90.

TYP. BURIED CONDUIT TRENCH DETAILS

SCALE: N.T.S.



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CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

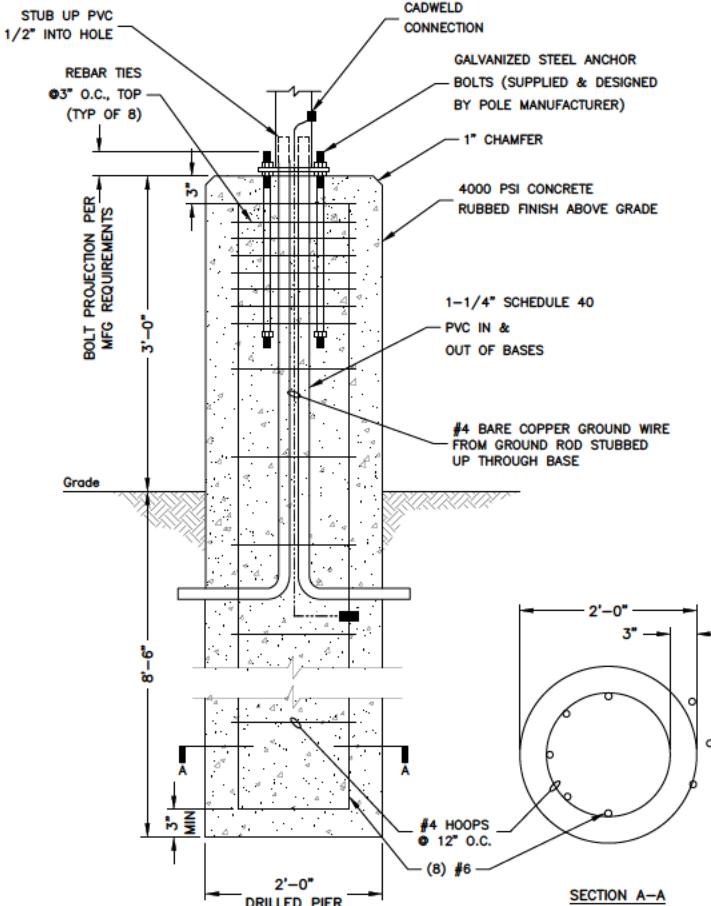
SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:	FARR WEST, UT
SITE ADDRESS:	1750 W 2700 N FARR WEST, UT 84404

SHEET TITLE	CONSTRUCTION DETAILS III
SHEET NUMBER	C-8

Site Lighter (SL1)

EXTERIOR LED FIXTURE



PEDESTRIAN LIGHT POLE BASE DETAIL

SCALE: N.T.S.

1



TECHNICAL SPECS

Housing	Watts	TYPE				FRONT ROW		FLOOD	
		T2	T5	T4	T9	FR	FL	F40	F30
SM	50	8.676	8.676	8.598	8.676	8.676	8.676	8.439	8.326
SM	75	12.284	12.284	12.161	12.284	12.284	12.284	11.916	11.798
SM	100	16.229	16.229	16.062	16.229	16.229	16.229	14.527	14.656
MD	125	21.336	21.336	20.968	21.336	21.336	21.336	20.541	20.239
MD	150	24.267	24.267	24.153	24.267	24.267	24.267	23.665	23.481
MD	200	30.980	30.980	30.670	30.980	30.980	30.980	28.051	29.241
LG	300	46.925	46.925	46.655	46.925	46.925	46.925	45.527	45.057
XL	400	62.341	62.341	61.718	62.341	62.341	62.341	60.471	59.847

Performance data is typical under 120°F ambient temperature.

Lumen Multipliers

Allows to calculate the actual lumen output for your application.

COLOR TEMP	
CCT	Multiplier
5000	1.000
4000	1.029
3500	0.980
3200	—
2800	0.876
2200	0.780

Bug Ratings

HOUSING	WATTS	OPTIC	BUG RATE						
SM	50	T5	81-U0-G1	T4	81-U0-G2	T3	81-U0-G1	T2	81-U0-G1
SM	75	T5	84-U0-G2	T4	81-U0-G2	T3	81-U0-G2	T2	82-U0-G1
SM	100	T5	84-U0-G2	T4	82-U0-G2	T3	82-U0-G2	T2	82-U0-G1
MD	125	T5	84-U0-G2	T4	82-U0-G2	T3	82-U0-G2	T2	82-U0-G1
MD	150	T5	85-U0-G3	T4	82-U0-G2	T3	82-U0-G2	T2	82-U0-G1
MD	200	T5	85-U0-G3	T4	82-U0-G2	T3	82-U0-G2	T2	85-U0-G2
LG	300	T5	85-U0-G3	T4	82-U0-G3	T3	82-U0-G3	T2	82-U0-G2
XL	400	T5	85-U0-G4	T4	82-U0-G3	T3	82-U0-G3	T2	82-U0-G4

Bug Ratings

LL-SL1-SM-15WD-50K-T3-UNV-02-BRN-BR

With Options LL-SL1-MD-15WD-50K-T3-UNV-02-BRN-BR-ULTRABLUE-05E

ORDERING

HOUSING MODEL	HOUSING COLOR	OPTIC	FRONT ROW	FLOOD	TYPE	WATT	TYPE
LL-SL1-SM	SM	5000K, 3000K, 2000K	FR	FR	T2	100W	100W
LL-SL1-MD	MD	5000K, 3000K, 2000K	FR	FR	T5	125W	125W
LL-SL1-LG	LG	5000K, 3000K, 2000K	FR	FR	T5	150W	150W
LL-SL1-XL	XL	5000K, 3000K, 2000K	FR	FR	T5	200W	200W

HOUSING COLOR	OPTIC	FRONT ROW	FLOOD	TYPE	WATT	TYPE
SM	5000K	FR	FR	T2	100W	100W
MD	5000K	FR	FR	T5	125W	125W
LG	5000K	FR	FR	T5	150W	150W
XL	5000K	FR	FR	T5	200W	200W

ORDER EXAMPLES

LL-SL1-SM-15WD-50K-T3-UNV-02-BRN-BR

With Options LL-SL1-MD-15WD-50K-T3-UNV-02-BRN-BR-ULTRABLUE-05E

Implementation

11/30/23

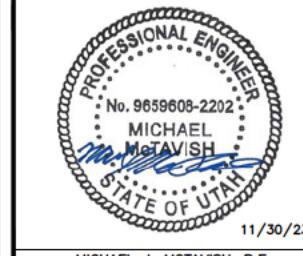


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PHONE: 303.825.1802



11/30/23

MICHAEL J. MCTAVISH, P.E.
UTAH LICENSE No. 9658608-2202

DRAWN BY: KFM

CHECKED BY: SES

APPROVED BY: MJM/JG

PROJECT #: 50123704

JOB #: 50159192

SUBMITTALS

REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:

FARR WEST, UT
(TRT ID: 27285)

SITE ADDRESS:

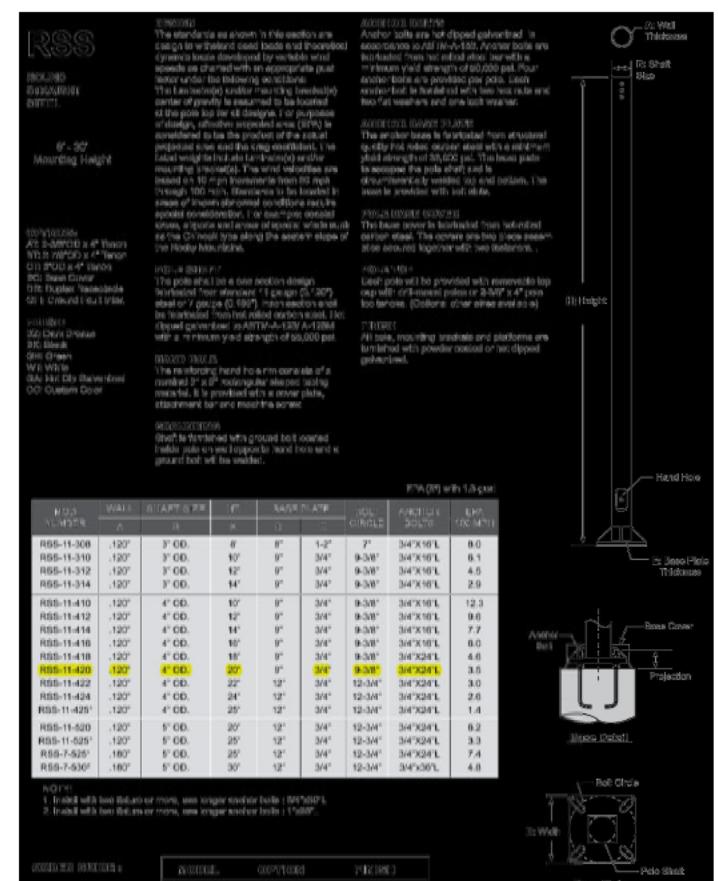
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE

CONSTRUCTION
DETAILS IV

SHEET NUMBER

C-9



ORDER INFORMATION:
RSS-11-420-DR-BZ - 20FT POLE

LIGHT FIXTURE AND POLE DETAIL
SCALE: N.T.S.

2

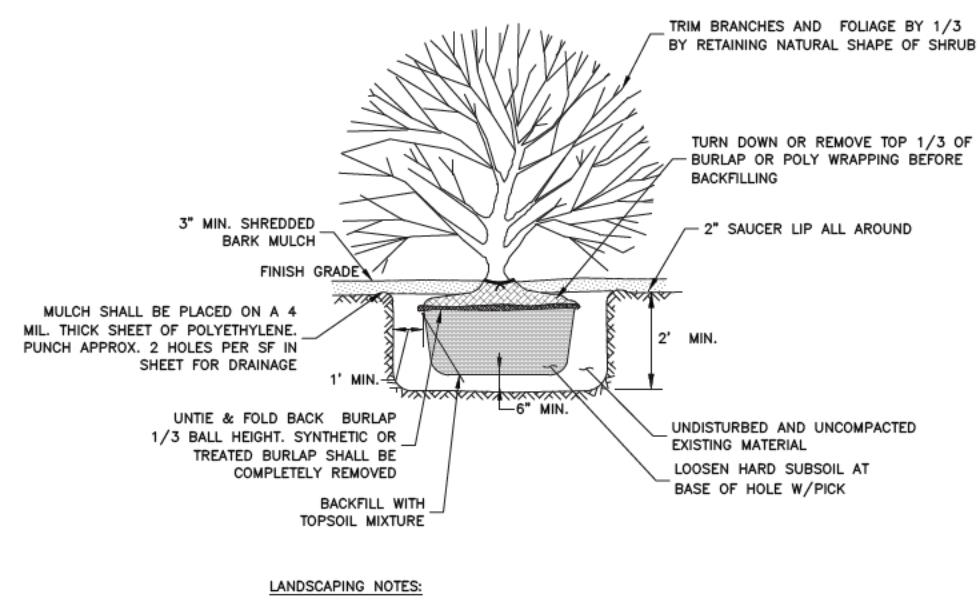


DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

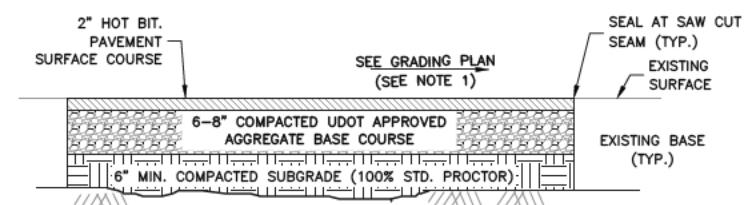
SITE NAME:	FARR WEST, UT (TRT ID: 27285)
SITE ADDRESS:	1750 W 2700 N FARR WEST, UT 84404

SHEET TITLE	CONSTRUCTION DETAILS V
SHEET NUMBER	C-10



SHRUB PLANTING

SCALE: N.T.S.

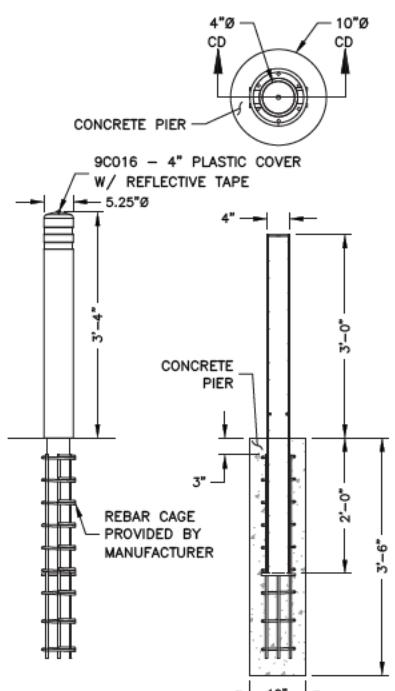


NOTE:

1. MAINTAIN EXISTING DRAINAGE PATTERNS. SLOPE TOWARD EXISTING STORM DRAIN.
2. CONTRACTOR SHALL IDENTIFY POORLY DRAINING SOILS AND PROVIDE ADDITIONAL COMPACTED, WELL DRAINING, COARSE-GRAINED SOIL BACKFILL TO FROST DEPTH. CONTRACTOR TO NOTIFY TESLA CM AND ENGINEER.

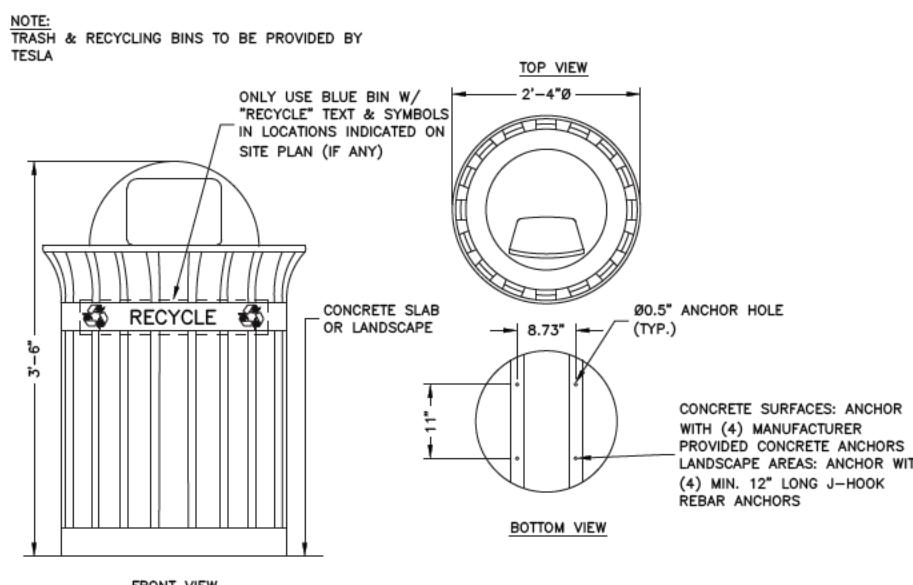
ASPHALT PAVEMENT DETAIL

SCALE: N.T.S.



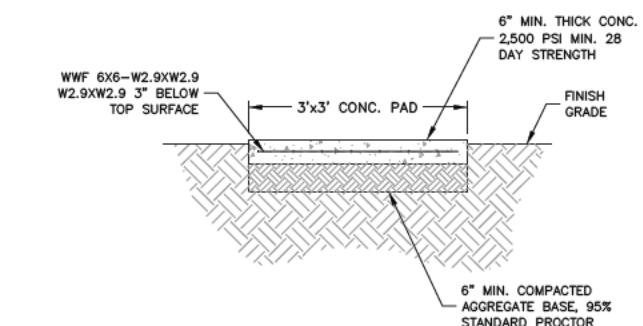
McCUE CRASH CORE BOLLARD DETAIL

SCALE: N.T.S.



WASTE MANAGEMENT BIN DETAIL

SCALE: N.T.S.



NOTES:

1. SAW CUT AREA TO BE REPAIRED/REPLACED. DISPOSE OF DEBRIS PROPERLY OFF SITE.
2. INSTALL FORMS AS NECESSARY.
3. COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
4. CONCRETE TO BE 2,500 PSI AIR ENTRAINED CONCRETE.
5. INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.

ACCESSORY CONCRETE PAD DETAIL

SCALE: N.T.S.

C-10



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DENVER, CO 80209-4275
PHONE: 303.825.1802



11/30/23

OWN BY:	KFM
CKED BY:	SES
ROVED BY:	MJM/JG
JECT #:	50123704

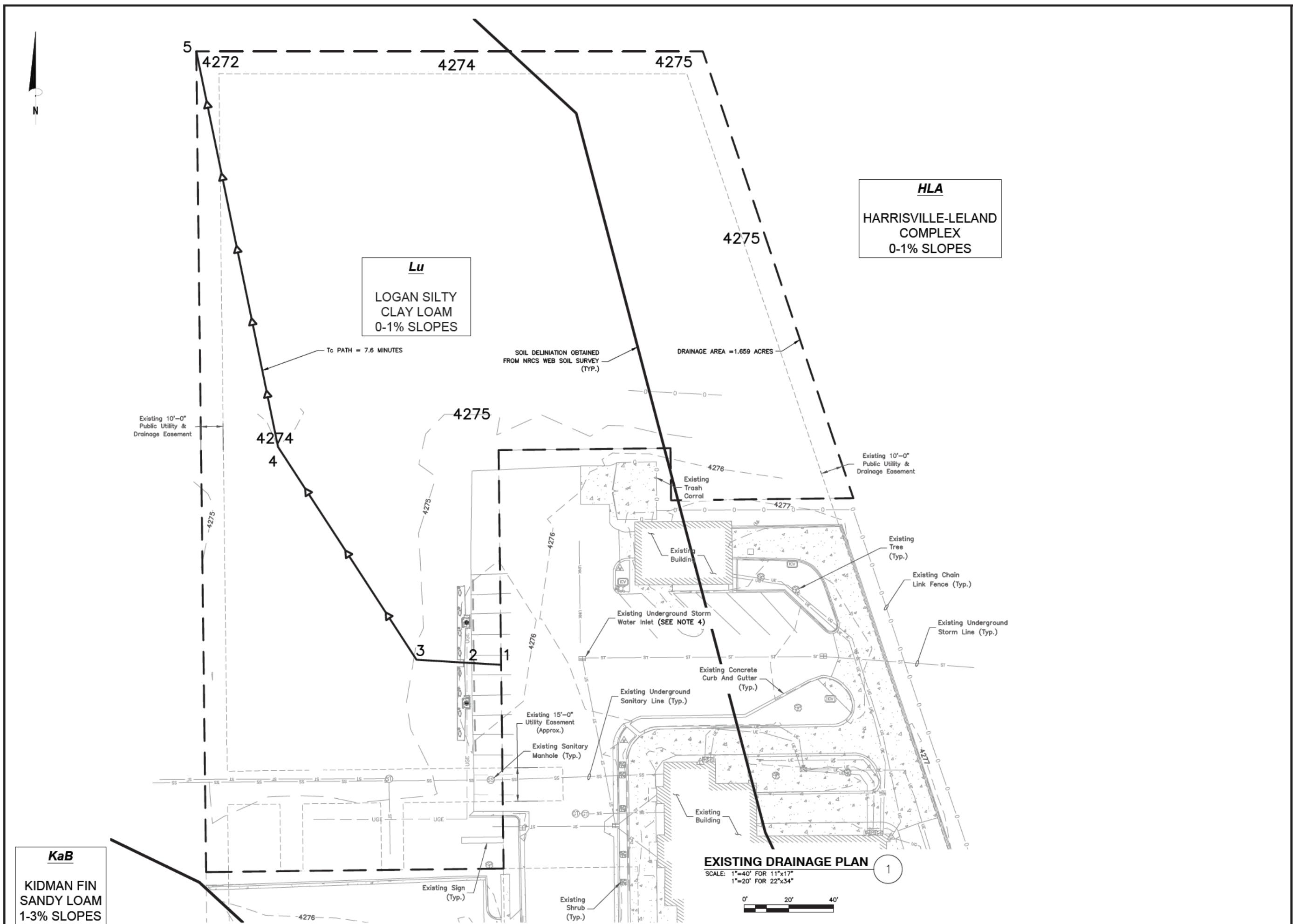
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REV.	DATE	DESCRIPTION
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1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

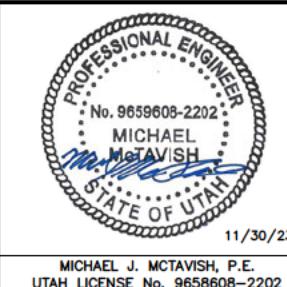
SITE NAME:
TARR WEST, UT
(TRT ID: 27285)

SITE ADDRESS:
750 W 2700 N
3 WEST UNIT 84404

SHEET TITLE
**EXISTING DRAINAGE
PLAN**

SHEET NUMBER
C-11





DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:
FARR WEST, UT
(TRT ID: 27285)

SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE
**EXISTING DRAINAGE
CALCULATIONS**

SHEET NUMBER
C-11.1

Farr West EXISTING DRAINAGE
Prepared by Dewberry Engineers Inc.
HydroCAD® 9.00 s/n 06113 © 2009 HydroCAD Software Solutions LLC

Type III 24-hr 10-YEAR Rainfall=2.14"
Printed 8/24/2023
Page 5

Summary for Subcatchment 1S: Existing Lot

Runoff = 0.92 cfs @ 12.12 hrs, Volume= 0.071 af, Depth> 0.51"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-YEAR Rainfall=2.14"

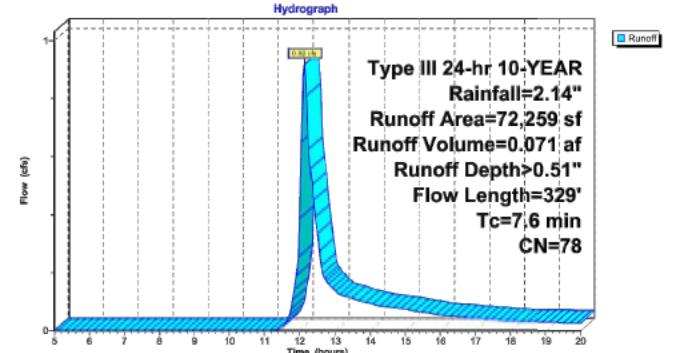
Area (sf)	CN	Description
70,189	77	Brush, Fair, HSG D
2,070	98	Paved parking, HSG D

Area (sf)	CN	Description
72,259	78	Weighted Average
70,189	97.14% Pervious Area	
2,070	2.86% Impervious Area	

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	14	0.0300	0.61	Sheet Flow, 1-2	Smooth surfaces n= 0.011 P2= 1.00"
0.3	25	0.0400	1.40	Shallow Concentrated Flow, 2-3	Short Grass Pasture Kv= 7.0 fps
2.8	110	0.0090	0.66	Shallow Concentrated Flow, 3-4	Short Grass Pasture Kv= 7.0 fps
4.1	180	0.0110	0.73	Shallow Concentrated Flow, 4-5	Short Grass Pasture Kv= 7.0 fps
7.6	329	Total			

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	14	0.0300	0.61	Sheet Flow, 1-2	Smooth surfaces n= 0.011 P2= 1.00"
0.3	25	0.0400	1.40	Shallow Concentrated Flow, 2-3	Short Grass Pasture Kv= 7.0 fps
2.8	110	0.0090	0.66	Shallow Concentrated Flow, 3-4	Short Grass Pasture Kv= 7.0 fps
4.1	180	0.0110	0.73	Shallow Concentrated Flow, 4-5	Short Grass Pasture Kv= 7.0 fps
7.6	329	Total			

Subcatchment 1S: Existing Lot



Farr West EXISTING DRAINAGE
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Type III 24-hr 25-YEAR Rainfall=2.49"
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Page 8

Summary for Subcatchment 1S: Existing Lot

Runoff = 1.33 cfs @ 12.12 hrs, Volume= 0.098 af, Depth> 0.71"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25-YEAR Rainfall=2.49"

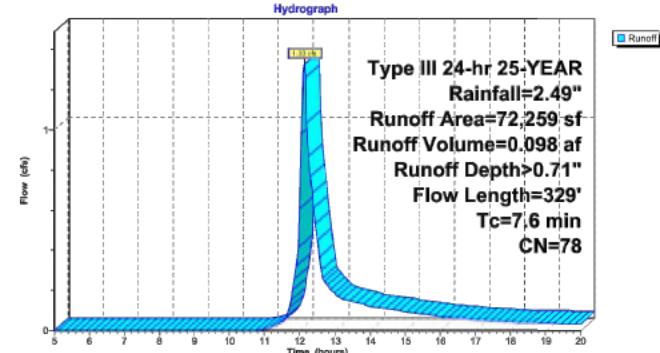
Area (sf)	CN	Description
70,189	77	Brush, Fair, HSG D
2,070	98	Paved parking, HSG D

Area (sf)	CN	Description
72,259	78	Weighted Average
70,189	97.14% Pervious Area	
2,070	2.86% Impervious Area	

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	14	0.0300	0.61	Sheet Flow, 1-2	Smooth surfaces n= 0.011 P2= 1.00"
0.3	25	0.0400	1.40	Shallow Concentrated Flow, 2-3	Short Grass Pasture Kv= 7.0 fps
2.8	110	0.0090	0.66	Shallow Concentrated Flow, 3-4	Short Grass Pasture Kv= 7.0 fps
4.1	180	0.0110	0.73	Shallow Concentrated Flow, 4-5	Short Grass Pasture Kv= 7.0 fps
7.6	329	Total			

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	14	0.0300	0.61	Sheet Flow, 1-2	Smooth surfaces n= 0.011 P2= 1.00"
0.3	25	0.0400	1.40	Shallow Concentrated Flow, 2-3	Short Grass Pasture Kv= 7.0 fps
2.8	110	0.0090	0.66	Shallow Concentrated Flow, 3-4	Short Grass Pasture Kv= 7.0 fps
4.1	180	0.0110	0.73	Shallow Concentrated Flow, 4-5	Short Grass Pasture Kv= 7.0 fps
7.6	329	Total			

Subcatchment 1S: Existing Lot



Farr West EXISTING DRAINAGE
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Type III 24-hr 100-YEAR Rainfall=3.04"
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Page 14

Summary for Subcatchment 1S: Existing Lot

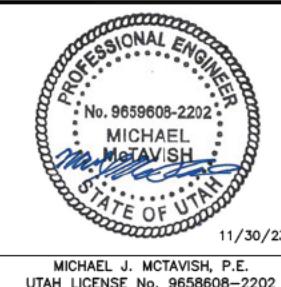
Runoff = 2.04 cfs @ 12.12 hrs, Volume= 0.147 af, Depth> 1.06"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 100-YEAR Rainfall=3.04"

Area (sf)	CN	Description
70,189	77	Brush, Fair, HSG D
2,070	98	Paved parking, HSG D

Area (sf)	CN	Description
72,259	78	Weighted Average
70,189	97.14% Pervious Area	
2,070	2.86% Impervious Area	

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	14	0.0300	0.61	Sheet Flow, 1-2	Smooth surfaces n= 0.011 P2= 1.00"
0.3	25	0.0400	1.40	Shallow Concentrated Flow	

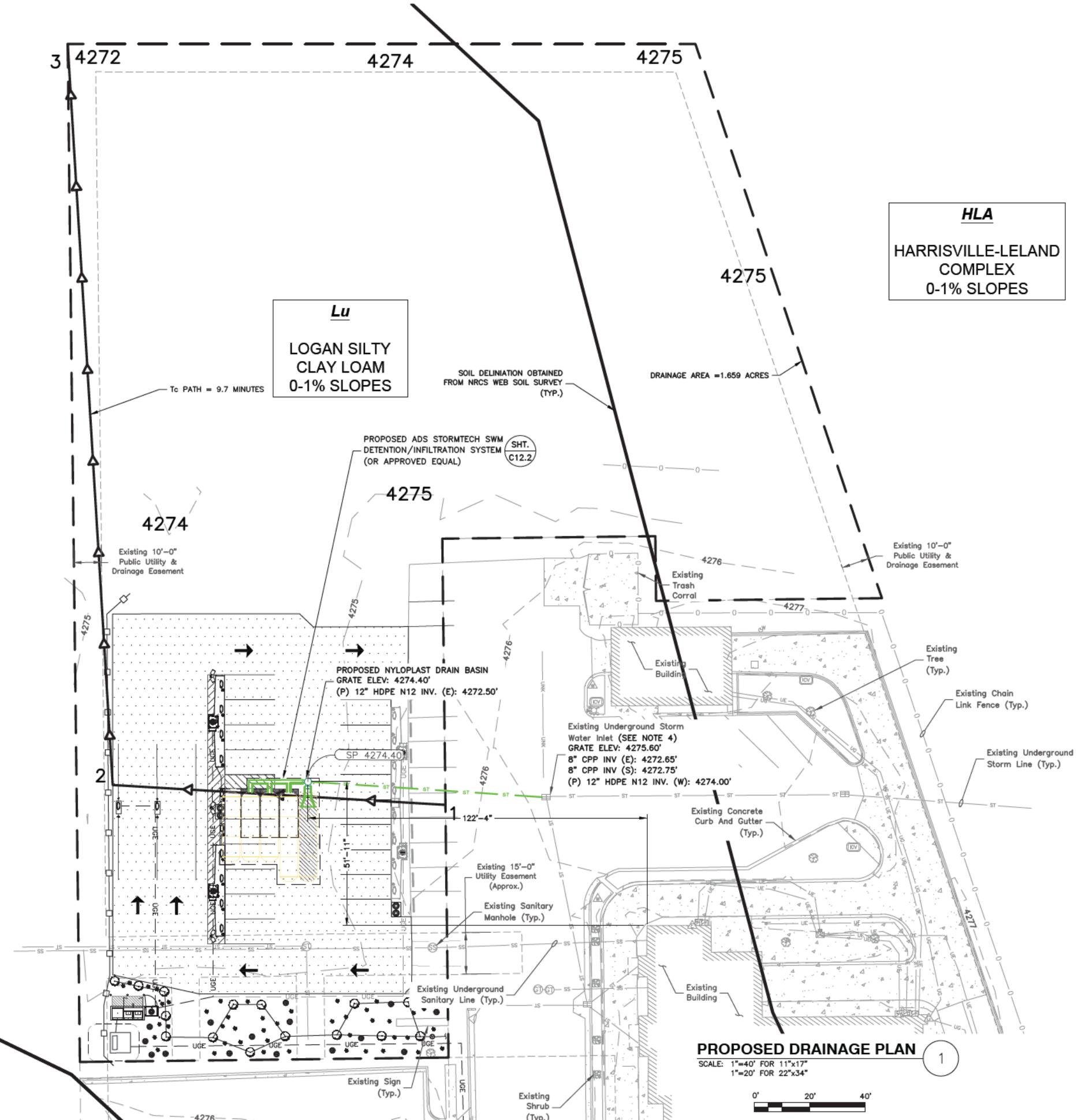


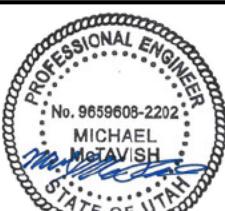
DRAWN BY: KFM
CHECKED BY: SES
APPROVED BY: MJM/JG
PROJECT #: 50123704
JOB #: 50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:
FARR WEST, UT
(TRT ID: 27285)
SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE
PROPOSED DRAINAGE PLAN
SHEET NUMBER
C-12





MICHAEL J. MCTAVISH, P.E.
UTAH LICENSE No. 9658608-2202

DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
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SITE NAME:
FARR WEST, UT
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SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE
**PROPOSED DRAINAGE
CALCULATIONS**

SHEET NUMBER
C-12.1

Farr West PROPOSED DRAINAGE
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Type III 24-hr 10-YEAR Rainfall=2.14"
Printed 8/24/2023
Page 5

Summary for Subcatchment 1S: Existing Lot

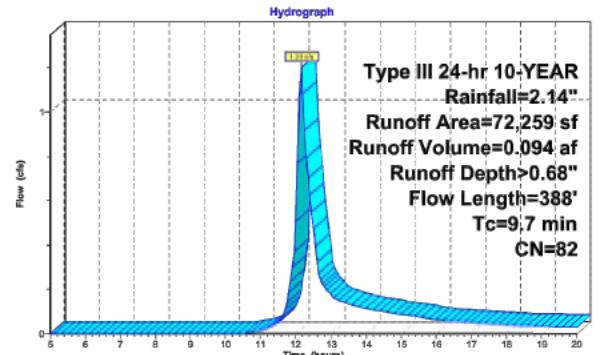
Runoff = 1.20 cfs @ 12.15 hrs, Volume= 0.094 af, Depth> 0.68"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-YEAR Rainfall=2.14"

Area (sf)	CN	Description
56,051	77	Brush, Fair, HSG D
2,070	98	Paved parking, HSG D
* 13,366	98	Proposed Paved parking, HSG D
772	98	Unconnected roofs, HSG D

Tc	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.5	120	0.0200	0.80	Sheet Flow, 1-2	Smooth surfaces n= 0.011 P2= 1.00"
7.2	268	0.0078	0.62	Shallow Concentrated Flow, 2-3	Short Grass Pasture Kv= 7.0 fps
9.7	388	Total			

Subcatchment 1S: Existing Lot



Farr West PROPOSED DRAINAGE
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Type III 24-hr 25-YEAR Rainfall=2.49"
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Page 8

Summary for Subcatchment 1S: Existing Lot

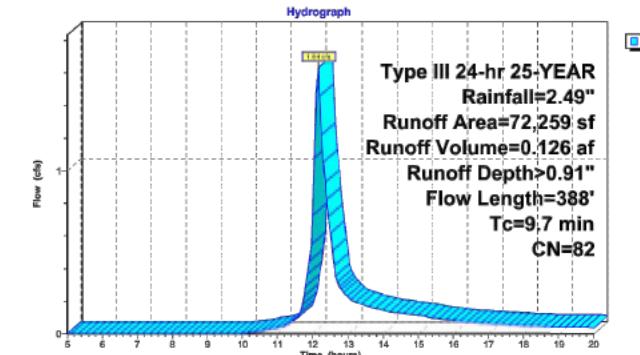
Runoff = 1.64 cfs @ 12.15 hrs, Volume= 0.126 af, Depth> 0.91"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25-YEAR Rainfall=2.49"

Area (sf)	CN	Description
56,051	77	Brush, Fair, HSG D
2,070	98	Paved parking, HSG D
* 13,366	98	Proposed Paved parking, HSG D
772	98	Unconnected roofs, HSG D

Tc	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.5	120	0.0200	0.80	Sheet Flow, 1-2	Smooth surfaces n= 0.011 P2= 1.00"
7.2	268	0.0078	0.62	Shallow Concentrated Flow, 2-3	Short Grass Pasture Kv= 7.0 fps
9.7	388	Total			

Subcatchment 1S: Existing Lot



Farr West PROPOSED DRAINAGE
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Type III 24-hr 100-YEAR Rainfall=3.04"
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Page 14

Summary for Subcatchment 1S: Existing Lot

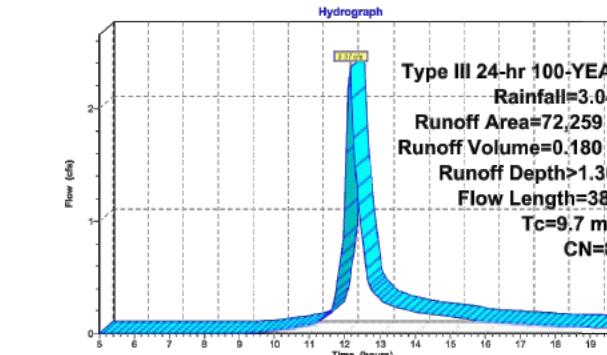
Runoff = 2.37 cfs @ 12.14 hrs, Volume= 0.180 af, Depth> 1.30"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 100-YEAR Rainfall=3.04"

Area (sf)	CN	Description
56,051	77	Brush, Fair, HSG D
2,070	98	Paved parking, HSG D
* 13,366	98	Proposed Paved parking, HSG D
772	98	Unconnected roofs, HSG D

Tc	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.5	120	0.0200	0.80	Sheet Flow, 1-2	Smooth surfaces n= 0.011 P2= 1.00"
7.2	268	0.0078	0.62	Shallow Concentrated Flow, 2-3	Short Grass Pasture Kv= 7.0 fps
9.7	388	Total			

Subcatchment 1S: Existing Lot



PROPOSED RUNOFF CALCS

SCALE: N.T.S.

1

SITE NAME:
FARR WEST, UT
(TRT ID: 27285)

SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE
**PROPOSED DRAINAGE
CALCULATIONS**

SHEET NUMBER
C-12.1

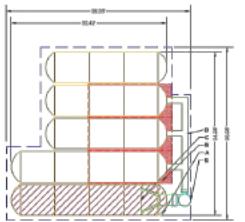
PROJECT INFORMATION	
INTERNAL PRODUCT MANAGER	
INTERNAL REP	
PRODUCT ID	



TESLA - FARR WEST

MC-3500 STORMTECH CHAMBER SPECIFICATIONS

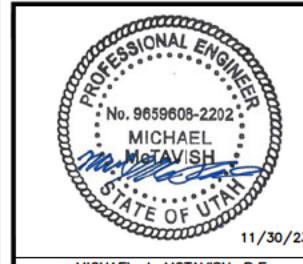
CONTACT STORMTECH AT 1-888-800-2824 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR ODOMETER



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PHONE: 303.825.1802



MICHAEL J. MCTAVISH, P.E.
UTAH LICENSE No. 9658608-2202

DRAWN BY:	KF
CHECKED BY:	SE
APPROVED BY:	MJM/J

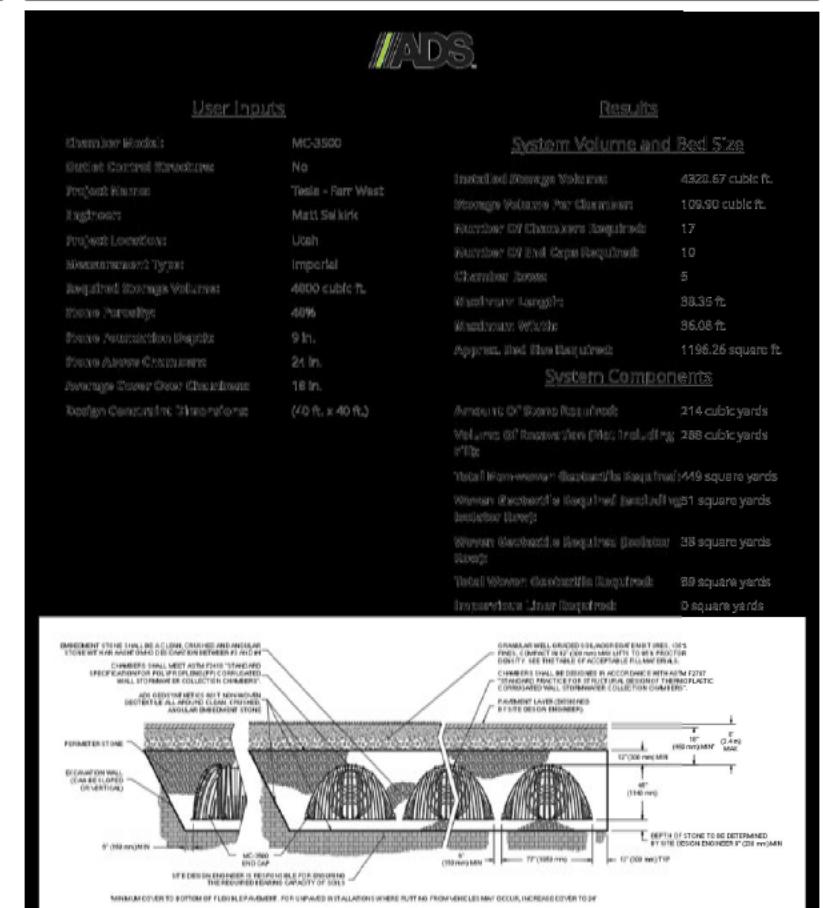
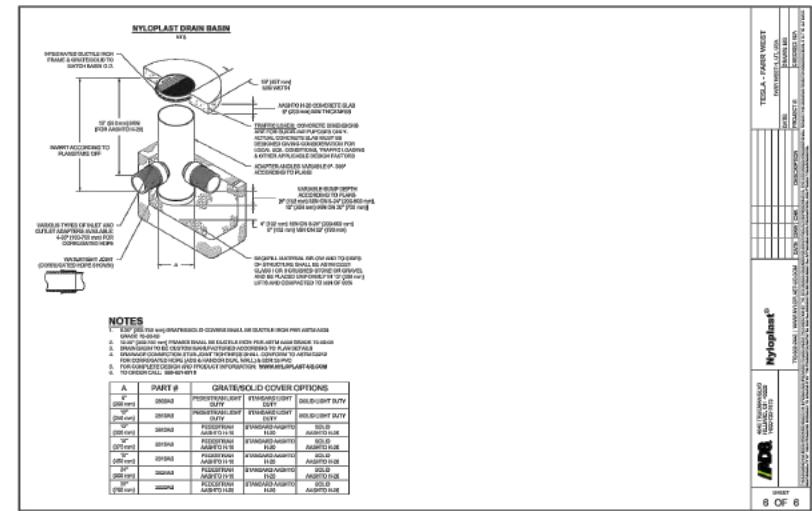
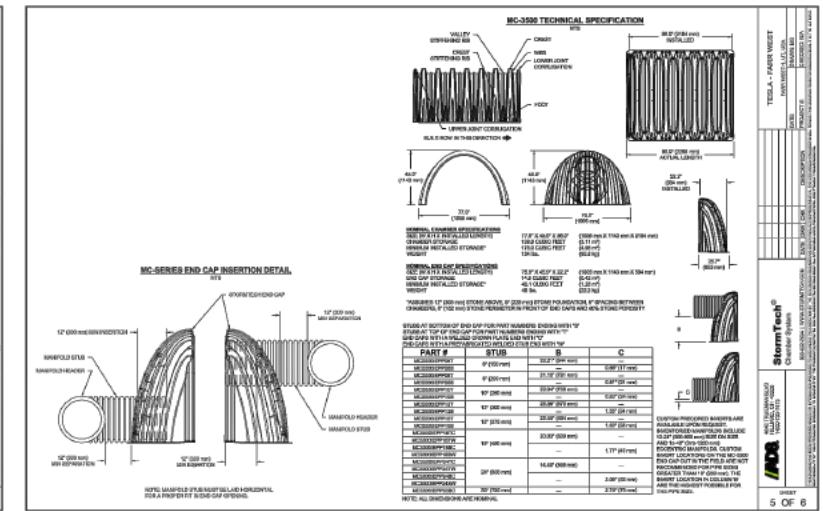
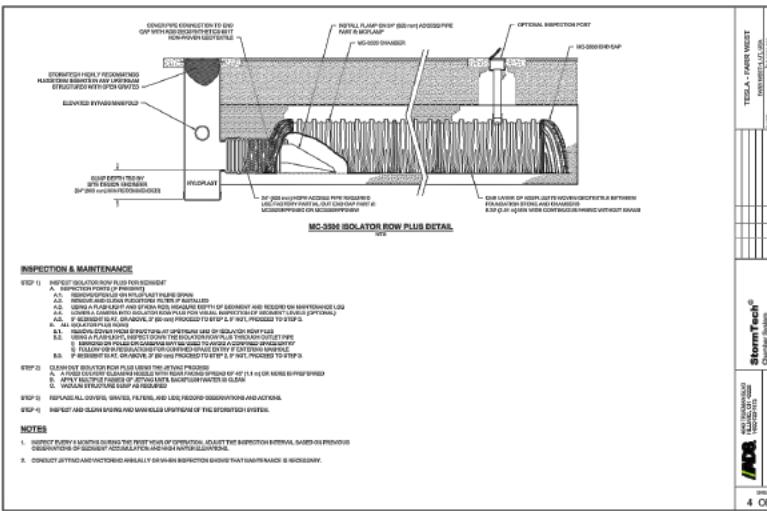
SUBMITTALS		
REV.	DATE	DESCRIPTION
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1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:
FARR WEST, UT
(TRT ID: 27285)

SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE
**STORMWATER
MANAGEMENT DETAILS**

SHEET NUMBER
C-12.2

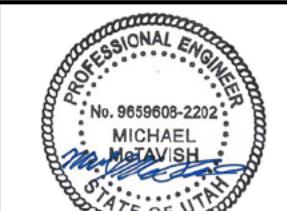




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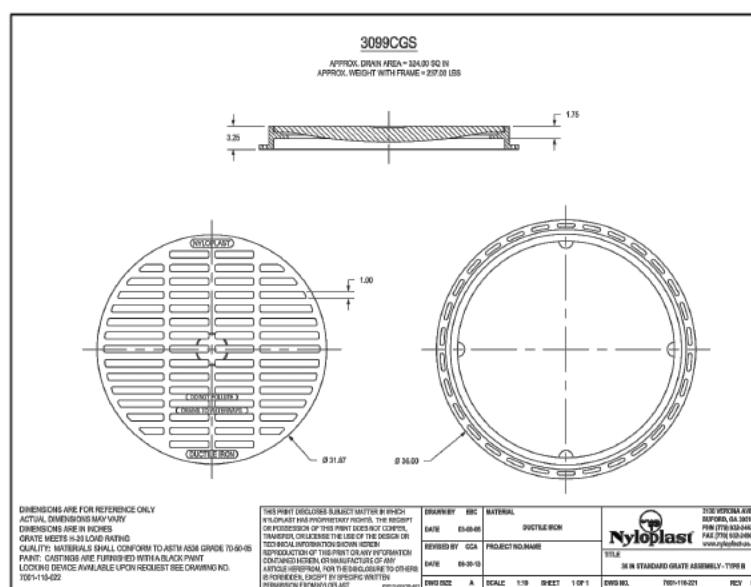
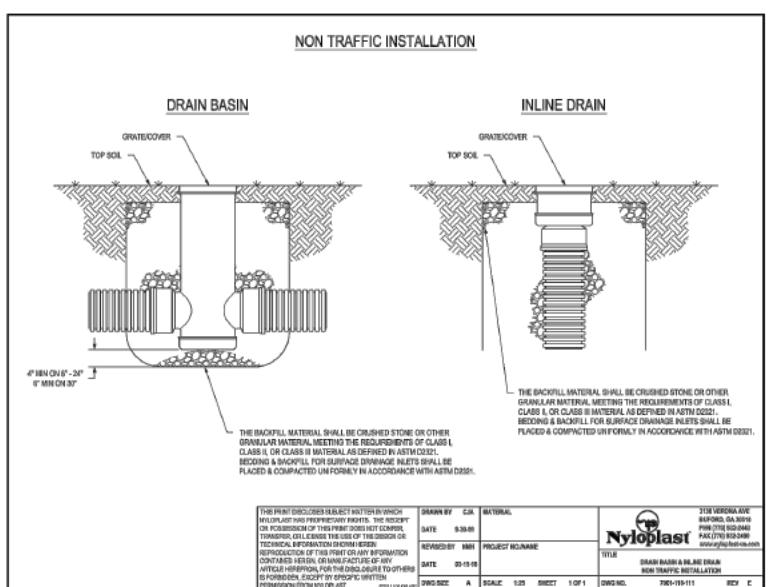
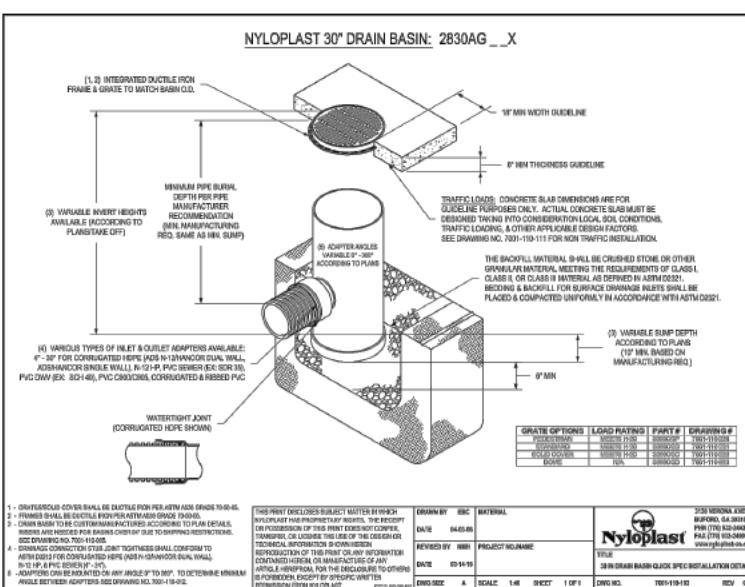
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PHONE: 303.825.1802



11/30/23

MICHAEL J. MCTAVISH, P.E.
UTAH LICENSE No. 9658608-2202



Section 2721 Engineered Surface Drainage Products

GENERAL
PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawings and referenced within the contract specifications. The ductile iron grates for each of these inlets are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be manufactured by Nyloplast a division of Advanced Drainage Systems, Inc. or prior approved equal.

MATERIALS
The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. The joint tightness shall conform to ASTM D2412 for joints for drain and sewer casting pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F427. The pipe bell socket shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1734 cell class 1245.

INSTALLATION
The surface drainage inlets shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2421. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2421. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load need installations, a concrete slab shall be poured under and around the grates and frames. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of lines, ground water, and soft foundations refer to ASTM D2421 guidelines.

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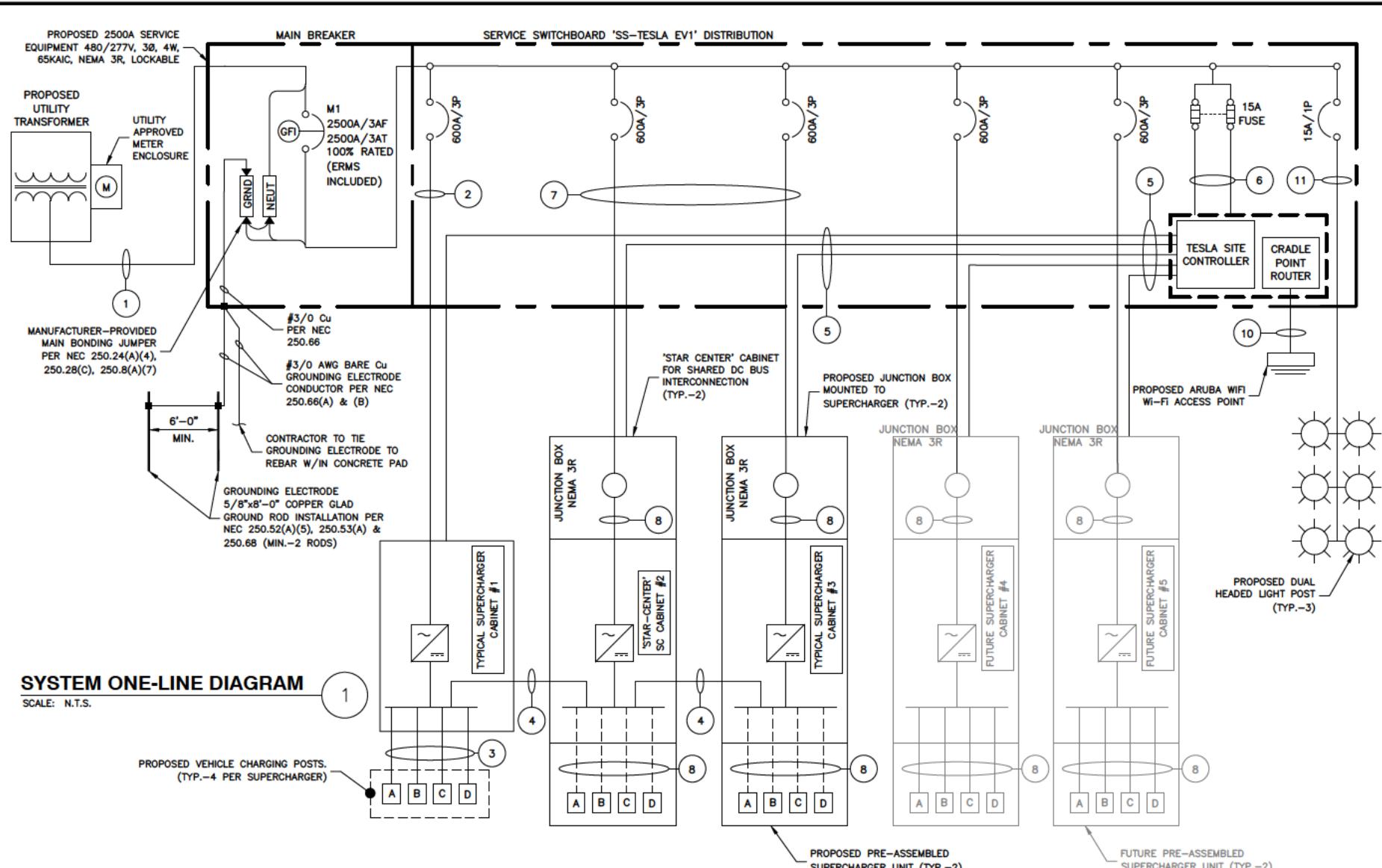
nyloplast DRAIN BASIN A division of ADS		Shop Drawing	
		PO#	Part Number 2830AG10
		Customer approval	
Project Name	Tesla - Far west	Dia. 30	Structure No. N/A
Prepared By	nicholas Advanced Drainage Systems 716-574-2850 nicholas.pema@ads-plpe.com	Grate	30; Standard;
		Accessories	
Rim Elev.	4277.00 ft.	Basin Height	117 in.
			Sump Depth 24.00 in.
Stub size	Angle	Pipe Type	Invert Elev. ft. AMSL Production Depth inches
Stub #1	24 in.	ADS N12	4269.25 ft. 93.00 in.
Stub #2	15 in.	ADS N12	4271.20 ft. 69.60 in.
Stub #3	12 in.	ADS N12	4272.50 ft. 54.00 in.
Stub #4			
Stub #5			
Stub #6			
CUSTOMER NOTES		PART CODES	
3099CGS;			
<p>This product is made to order and non-Refundable Nyloplast, 3130 Verona Ave, Buford, GA 30518, (866) 888-8479 Nyloplast® is a registered trademark of Advanced Drainage Systems®</p>			
<p>Nyloplast® is not responsible for accuracy of shop drawings submitted by customer through Basin Configurator. Submission of shop drawings for purchase and fabrication constitute an approval for production as designed by customer.</p>			

DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
1	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

<p>SITE NAME: FARR WEST, UT (TRT ID: 27285)</p> <p>SITE ADDRESS: 1750 W 2700 N FARR WEST, UT 84404</p>		
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<p>SHEET TITLE STORMWATER MANAGEMENT DETAILS II</p> <p>SHEET NUMBER C-12.3</p>		
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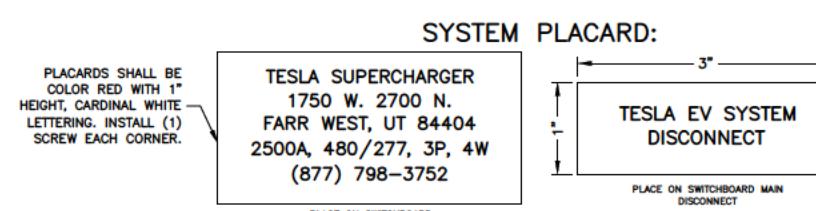
NOTES:

1. NEUTRAL MUST BE INCLUDED FOR PROPER OPERATION OF TESLA SUPERCHARGERS.
2. ALL CONDUCTORS TO RECEIVE ANTI-OXIDATIVE COATING DURING INSTALLATION.
3. CONDUCTOR LENGTHS ARE ESTIMATES ONLY. FINAL CONDUCTOR ROUTING PATH AND LENGTHS SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD BASED ON PHYSICAL MEASUREMENTS. CONTRACTOR TO ORDER CONDUCTORS BASED ON FIELD MEASUREMENTS (MUST BE APPROVED BY TESLA INSTALLATION MANAGER).
4. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) AND UTILITY COMPANY STANDARDS.
5. DC RUN LENGTH MAXIMUM IS 340' INCLUDING BURIED DEPTH. ANY DC RUN LENGTHS OVER THE MAXIMUM SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF TESLA.
6. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRE CONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATION.
7. UTILITY CONDUITS, CONNECTORS, TRANSFORMER PAD & TRANSFORMER FOUNDATION TO BE INSTALLED PER UTILITY SPECIFICATION. CONFIRM LATEST SPECIFICATIONS PRIOR TO CONSTRUCTION.
8. EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
9. CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC SAFETY MEASURES THROUGHOUT DURATION OF CONSTRUCTION. COORDINATE ANY ACCESS ROAD CLOSURES W/OWNER.
10. ALL OUTDOOR ELECTRICAL EQUIPMENT SHALL BE IN NEMA 3R RATED UNLESS OTHERWISE NOTED.

CKT NO.	TRIP AMPS	DESCRIPTION	KVA			KVA			DESCRIPTION	TRIP AMPS	CKT NO.			
			A	B	C	A	B	C						
1	600A	SUPERCHARGER #1	129.00	—	—	129.00	—	—	SUPERCHARGER #2	600A	2			
3			—	129.00	—	—	129.00	—			4			
5			—	—	129.00	—	—	129.00			6			
7	600A	SUPERCHARGER #3	129.00	—	—	129.00	—	—	SUPERCHARGER #4 (FUTURE)	600A	8			
9			—	129.00	—	—	129.00	—			10			
11			—	—	129.00	—	—	129.00			12			
13	600A	SUPERCHARGER #5 (FUTURE)	129.00	—	—	0.10	—	—	CONTROLLER	15A	14			
15			—	129.00	—	—	0.10	—			16			
17			—	—	129.00	—	—	0.25			18			
TOTALS			PHASE	A	B	C								
TOTALS			APPARENT POWER	645.10 KVA	645.10 KVA	645.25 KVA								
TOTALS			TOTAL CURRENT	2330 A										

SERVICE ELECTRICAL CIRCUIT SCHEDULE			
NO:	FROM	TO	CONFIGURATION
1	PROPOSED TRANSFORMER	PROPOSED SERVICE EQUIPMENT PANEL	[8 SETS:] (3) 600KCMIL AL (THWN-2) (1) 600KCMIL AL (THWN-2) NEUT IN 4" CONDUIT
2	PROPOSED SERVICE BREAKER (600A) 80% RATED (TYP.-1)	PROPOSED STANDALONE TESLA SUPERCHARGER (TYP.-1)	[2 SETS:] (3) 500KCMIL AL (THWN-2) (1) 500KCMIL AL (THWN-2) NEUT (1) #1 CU OR 2/0 AL EGC* IN 4" PVC/HDPE CONDUIT**
3A	PROPOSED TESLA SUPERCHARGER (TYP.-1)	PROPOSED STANDALONE V3 TESLA POST*** (TYP.-4)	[1 SET PER CHARGE POST:] (4) 350KCMIL AL (XHHW-2) (1000V RATED) (1) #1 CU EGC OR (1) 2/0 AWG AL EGC* & SHIELDED 600V COMM CABLE (PER TESLA) IN 4" PVC/HDPE CONDUIT** (DURALINE ACCEPTABLE)
3B	PROPOSED TESLA SUPERCHARGER (TYP.-1)	PROPOSED STANDALONE V4 TESLA POST*** (TYP.-4)	[1 SET PER CHARGE POST:] (4) 600KCMIL AL (XHHW-2) (1000V RATED) (1) 2/0 AWG CU EGC (1000V RATED) (2) #8 CU LVDC & 1000V RATED COMM CABLE**** IN 4" CONDUIT** (DURALINE ACCEPTABLE)
4	'STAR CENTER' SUPERCHARGER CABINET DC BUS	DC BUS OF EACH TYPICAL SUPERCHARGER CABINET	[2 SETS:] (2) 600MCM AL (XHHW-2) (1) 1/0 AWG CU EGC & (1) 3/0 AWG AL DC MID (1000V RATED) IN 3" PVC/HDPE CONDUIT**
5	INTEGRATED SITE CONTROLLER	SUPERCHARGER (TYP.-3)	SHIELDED 600V RATED CAT6 COMM CABLE IN 1" PVC/HDPE CONDUIT**
6	PROPOSED SERVICE EQUIPMENT: PANEL (15A)	TESLA CONTROLLER	FACTORY INSTALLED WIRING (BY MANUFACTURER)
7	PROPOSED SERVICE BREAKER (600A) (TYP.-2)	PROPOSED PSU JUNCTION BOX (TYP.-2)	[2 SETS:] (3) 500KCMIL AL (THWN-2) (1) 500KCMIL AL (THWN-2) NEUT (1) #1 CU OR 2/0 AL EGC* IN 4" PVC/HDPE CONDUIT**
8	PROPOSED PSU JUNCTION BOX (TYP.-2)	PROPOSED PSU TESLA SUPERCHARGER (TYP.-2)	[2 SETS:] (3) 500KCMIL AL (THWN-2) (1) 500KCMIL AL (THWN-2) NEUT (1) #1 CU OR 2/0 AL EGC*
9A	PROPOSED PSU TESLA SUPERCHARGER (TYP.-5)	PROPOSED V3 TESLA POST*** (TYP.-4)	[1 SET PER CHARGE POST:] (4) 350KCMIL AL (XHHW-2) (1000V RATED) (1) #1 CU EGC OR (1) 2/0 AWG AL EGC* & SHIELDED 600V COMM CABLE (PER TESLA)
9B	PROPOSED PSU TESLA SUPERCHARGER (TYP.-5)	PROPOSED V4 TESLA POST*** (TYP.-4)	[1 SET PER CHARGE POST:] (4) 600KCMIL AL (XHHW-2) (1000V RATED) (1) 2/0 AWG CU EGC (1000V RATED) (2) #8 CU LVDC & 1000V RATED COMM CABLE
10	PROPOSED CRADLEPOINT ROUTER	PROPOSED ARUBA WIFI ACCESS POINT	(1) CAT5e OR CAT6 COMM CABLE IN 1" PVC/HDPE CONDUIT** (2) #10 CU (1) #10 CU GND IN 1" PVC/HDPE CONDUIT**
11	PROPOSED SERVICE EQUIPMENT: PANEL (15A)	PROPOSED SITE LIGHTING	(1) #10 CU (2) #10 CU (1) #10 CU GND IN 1" PVC/HDPE CONDUIT**

* MODIFIED PER NEC 250.64(A)(2)
** PER UL 615A AND NEC 253, LISTED HDPE CONDUIT PERMITTED. CONTRACTOR TO CONFIRM USE W/ TESLA CM
*** INSTALL APPLICABLE WIRING CONFIGURATION CORRESPONDING WITH CHARGE POST TYPE INSTALLED.
**** COMM CABLE TO BE ROUTED W/IN 4" CONDUIT. 1.25" CONDUIT CAN BE USED FOR RUNS OVER ±200FT.



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999 SOUTH BROADWAY
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DRAWN BY: KFM
CHECKED BY: SES
APPROVED BY: MJM/JG
PROJECT #: 50123704
JOB #: 50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:
FARR WEST, UT
(TRT ID: 27285)
SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE
ELECTRICAL ONE-LINE DIAGRAM
SHEET NUMBER
E-1



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PALO ALTO, CA 94304
(650) 681-5000



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990 SOUTH BROADWAY
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JOSEPH GIGANTIOLLO, P.E.
UTAH LICENSE No. 13236761-2022

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APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

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2	11/30/23	CITY COMMENTS
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SITE NAME:	FARR WEST, UT (TRT ID: 27285)
SITE ADDRESS:	1750 W 2700 N FARR WEST, UT 84404

SHEET TITLE	ELECTRICAL DETAILS
SHEET NUMBER	E-2

AC SUPERCHARGER LENGTHS		
SUPERCHARGER	LINEAR LENGTH BREAKER PANEL TO SUPERCHARGER	ESTIMATED LENGTH*
1	5'	30'
LENGTH OF AC AL WIRE PER CONDUIT**:	120'	
TOTAL NUMBER OF CONDUITS:	2	
LENGTH OF AC AL WIRE ***:	240'	
2	65'	90'
LENGTH OF AC AL WIRE PER CONDUIT**:	360'	
TOTAL NUMBER OF CONDUITS:	2	
LENGTH OF AC AL WIRE***:	720'	
3	125'	150'
LENGTH OF AC AL WIRE PER CONDUIT**:	600'	
TOTAL NUMBER OF CONDUITS:	2	
LENGTH OF AC AL WIRE***:	1200'	
TOTAL LENGTH OF AC AL WIRE****:	2160'	
TOTAL LENGTH OF EGC*****:	540'	
NOTES:		
1. SEE SHEET E-1 FOR WIRE CONFIGURATION.		
* AC CONDUCTORS: 25 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.		
** ESTIMATED LENGTH OF AL WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SUPERCHARGER		
*** LENGTH = LENGTH OF AC AL WIRE PER CONDUIT X # OF CONDUITS		
**** TOTAL LENGTH = SUM OF AC LENGTHS		
***** TOTAL LENGTH OF EGC = LENGTH X # SETS		

SECONDARY SERVICE LENGTHS		
	LINEAR LENGTH	ESTIMATED LENGTH*
TRANSFORMER TO SWITCHGEAR	10'	35'
TOTAL LENGTH OF AL WIRE**:	BY UTILITY	
NUMBER OF WIRE FILLED CONDUITS:	8	
TOTAL LENGTH OF AC AL WIRE***:	BY UTILITY	

NOTES:

1. SEE SHEET E-1 FOR WIRE CONFIGURATION.

* AC CONDUCTORS: 25 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.

** ESTIMATED LENGTH OF AL WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SET

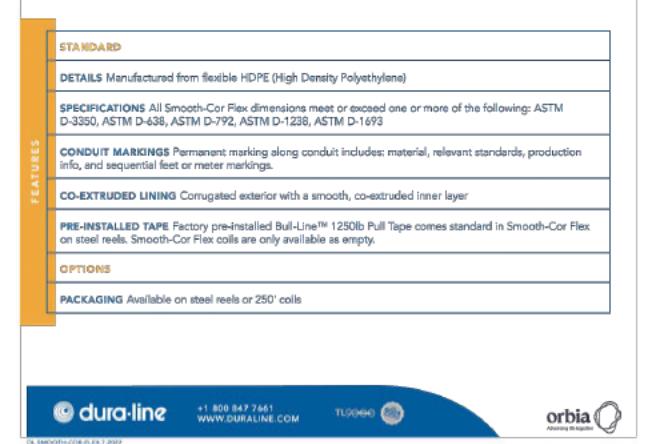
*** LENGTH OF AL WIRE PER DISCONNECT = ESTIMATED TOTAL LENGTH OF AL WIRE X # WIRE SETS

DC CHARGING POST LENGTHS			
SUPERCHARGER	CHARGE POST	LINEAR LENGTH	ESTIMATED DC WIRE LENGTH*
1	1A	90'	112'
	1B	75'	97'
	1C	90'	112'
	1D	100'	122'
CONDUIT LENGTH:			443'
TOTAL CONDUCTOR LENGTH**:			1772'
TOTAL LENGTH OF EGC & COMM CABLE:			443'
NOTES:			
1. SEE SHEET E-1 FOR WIRE CONFIGURATION.			
2. ANY DC RUN OVER 330' SHALL BE BROUGHT TO THE ATTENTION OF TESLA CM.			
* 22 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.			
** ESTIMATED LENGTH OF DC AL WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SUPERCHARGER			

CONDUCTOR LENGTHS

SCALE: N.T.S.

1



11/19/2021 Report No. 32195766.001
Project No. 234176170
Mr. Mark Edwards
Tesla, Inc.
3500 Deer Creek Rd
Palo Alto, CA 94304, USA
Tel: (678) 438 9475
Email: Markedwards@tesla.com
Subject: Duraline Conduits 2", 3" and 4" Testing



and 61+/-2 psi. The test has been performed per ASTM 2412 as required by both UL 1990 and UL 1660. All samples were visually inspected and no any cracks observed on samples after the test. Those stiffness test data are reference for Tesla engineers to determine conduit burial depth for Tesla supercharger station installation.

The Duraline conduit test report is enclosed.

The above Duraline conduits can be used in the field installation of charge post CS-350-A2 per NEC with adequate depth calculation.

If there are any questions regarding the results contained in this report, or any of the other services offered by TUV Rheinland of North America, Inc., please do not hesitate to contact the undersigned.

Please note, this letter report does not represent authorization for the use of any TUV Rheinland certification marks.

Evaluated by: Reviewed by:

Zhiliang Hu
Principal Test Engineer
Email:zhu@us.tuv.com

Howard Liu
Manager, Power Electronics Segment – Americas
Email:hl Liu@us.tuv.com



M5000914 Attachment 1

Page 1 of 2 Rev. 0

M5000914 Attachment 1

Page 2 of 2

Rev. 0

NOTES:

1. DURALINE SMOOTH-COR FLEX CONDUIT HAS BEEN CERTIFIED AS CRITICAL COMPONENT OF THE SUPERCHARGER TO TUV.
2. PRODUCT WILL BE USED TO CONNECT THE TESLA SUPERCHARGER CABINET TO TESLA CHARGE POST.
3. DURALINE SMOOTH-COR FLEX CONDUIT SHALL NOT BE INSTALLED WITHIN SUPERCHARGER CABINETS OR POST. CONTRACTOR SHALL TRANSITION SMOOTH-COR FLEXIBLE CONDUIT TO PVC CONDUIT AND SWEEP PVC CONDUIT INTO THE SUPERCHARGER CABINETS OR POST.

DURALINE SMOOTH-COR FLEX DETAILS

SCALE: N.T.S.

2



3500 DEER CREEK ROAD
PALO ALTO, CA 94304
(650) 681-5000

 **Dewberry®**

Dewberry Engineers Inc.

990 SOUTH BROADWAY
SUITE 400
DENVER, CO 80209-4275
PHONE: 303.825.1802



JOSEPH GIGANTIELLO, P.E.
UTAH LICENSE No. 13236761-2022

DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

SUBMITTALS

EV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:
FARR WEST, UT
(TRT ID: 37285)

SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TWO F

UTILITY DETAILS

SHEET NUMBER

E-3

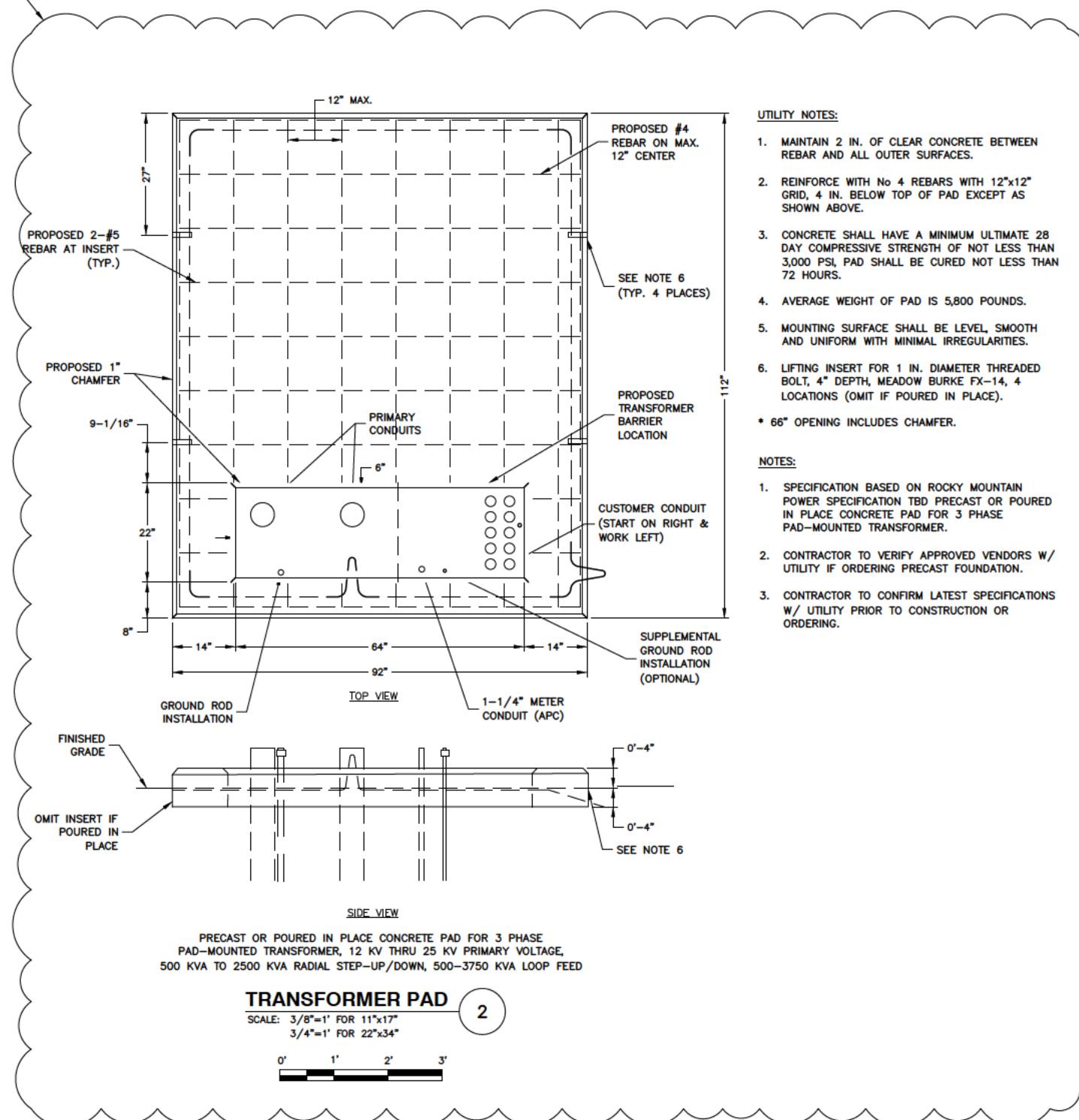
DETAIL IS FOR DIAGRAMATIC REFERENCE.
PENDING TRANSFORMER PAD SPECIFICATION
FROM ROCKY MOUNTAIN POWER

SCOPE OF WORK				
UTILITY	ROCKY MOUNTAIN POWER			
CATEGORY	ITEMS	TESLA	UTILITY	
PRIMARY	PRIMARY TRENCHING	X		
	INSTALL PRIMARY CONDUIT	X		
	INSTALL PULL ROPE	X		
	INSTALL PRIMARY FEEDERS			X
	PROVIDE PRIMARY FEEDERS			X
	PROVIDE ROAD CUTS/ROAD BORES (IF NECESSARY)	X		
TRANSFORMER	INSTALL TRANSFORMER PAD	X		
	PROVIDE TRANSFOMER	X		
	INSTALL TRANSFORMER			X
	INSTALL CONNECTIONS-PRIMARY			X
	INSTALL CONNECTIONS-SECONDARY			X
SWITCHBOARD	PROVIDE METER			X
	INSTALL METER			X
	LAND SECONDARY FEEDERS	X		
SECONDARY	SECONDARY TRENCHING	X		
	INSTALL SECONDARY CONDUIT	X		
	INSTALL PULL ROPE	X		
	PROVIDE SECONDARY FEEDERS			X
	INSTALL SECONDARY FEEDERS			X
	PROVIDE ROAD CUTS/ROAD BORES (IF NECESSARY)	X		
	PAVEMENT REPLACEMENT (IF NECESSARY)	X		

UTILITY SOW TABLE

SCALE: N.T.S.

1



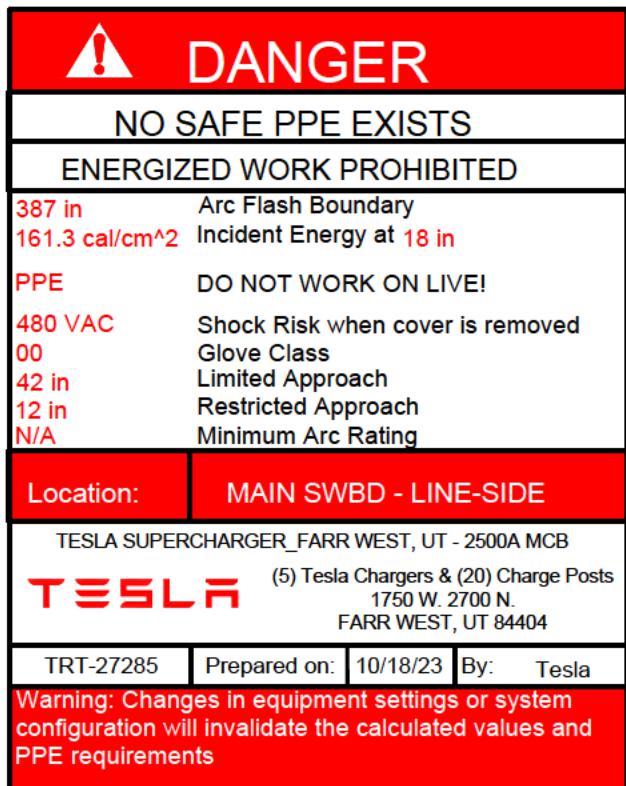
PRECAST OR POURED IN PLACE CONCRETE PAD FOR 3 PHASE
PAD-MOUNTED TRANSFORMER, 12 KV THRU 25 KV PRIMARY VOLTAGE,
500 KVA TO 2500 KVA RADIAL STEP-UP/DOWN, 500-3750 KVA LOOP FEED

TRANSFORMER PAD

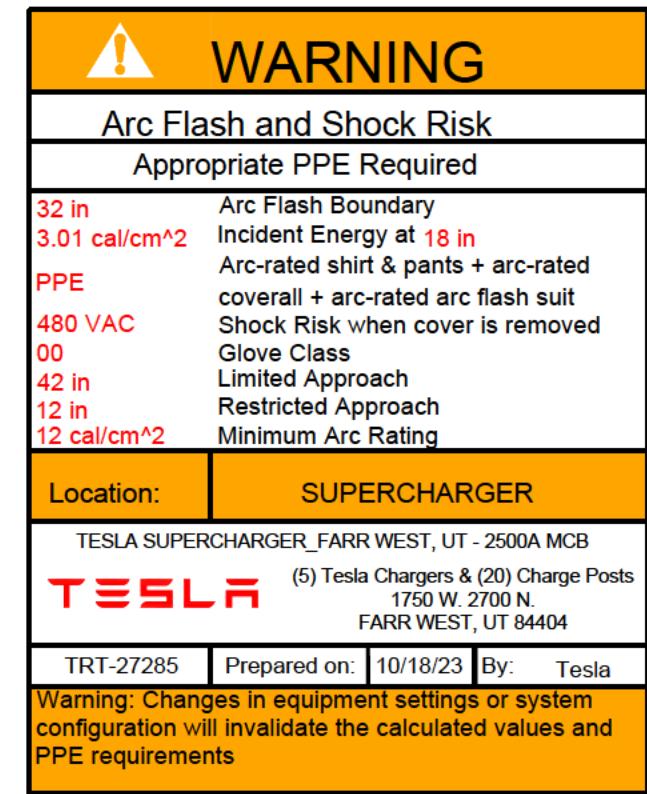
SCALE: 3/8"=1' FOR 11"x14"
3/4"=1' FOR 22"x34"

0' 1' 2' 3'

↑ ↑ ↑ ↗



SWITCHBOARD MAIN BREAKER



SUPERCHARGER CABINET (TYP.-5)

ARC FLASH WARNING LABELS

SCALE: N.T.S.

1

BREAKER SETTINGS – GE		
MAIN SERVICE SWITCHBOARD – 2500A MCB – ZPOWER		
	PHASE	GROUND
DESIGNATION	FRAME AMPS	2500
	AIC RATING	100
FRAME	MANUFACTURER	GE
	TYPE/MODEL	SSF
TRIP UNIT	SENSOR AMPS	2500
	PLUG AMPS	2500
	DESCRIPTION	LSI(CB), 2500–3000AF, UL489
	TYPE/MODEL	ENTELLIGUARD
TRIP UNIT SETTINGS (2500A TRIP)	LONG TIME PICKUP (LT)	1.0 (2500A)
	LONG TIME DELAY (LTD)	C-2
	LT CURVE	I2T
	SHORT TIME PICKUP (STPU)	1.0 (2500A)
	SHORT TIME DELAY (STD/IT'S T)	ST02–MIN IT'S T: OFF
	INSTANTANEOUS PICKUP (INST PU)	3.0 (7500A)
	GROUND FAULT PICKUP (GF PU)	
	GROUND FAULT DELAY (GFD/IT'S T)	0.48 (1200A)
		GFD: 9.0 IT'S T: OFF
SUPERCHARGER CABINET BREAKER – 600A		
TRIP UNIT	TYPE/MODEL	PD-3 THERMAL MAG TRIP UNIT (600A TRIP)
TRIP UNIT SETTINGS	INSTANTANEOUS (II)	5 (3000A)

GE BREAKER SETTINGS

SCALE: N.T.S.

2

BREAKER SETTINGS – EATON		
MAIN SERVICE SWITCHBOARD – 2500A MCB – ZPOWER		
	PHASE	GROUND
DESIGNATION	FRAME AMPS	2500
	AIC RATING	65
FRAME	MANUFACTURER	EATON
	TYPE/MODEL	SBN-625
TRIP UNIT	SENSOR AMPS	2500
	PLUG AMPS	2500
	DESCRIPTION	LSI, 2500AF, 2000–2500AF
	TYPE/MODEL	MAGNUM SB, DT 520
TRIP UNIT SETTINGS (2500A TRIP)	LONG DELAY PICKUP (Ir)	1 (2500A)
	LONG DELAY TIME (tr)	15s
	SHORT DELAY PICKUP (Isd)	2 (5000A)
	SHORT DELAY TIME (I2t)	0.1s (OUT)
	INSTANTANEOUS PICKUP (II)	3 (7500A)
	GROUND FAULT PICKUP (Ig)	
	GROUND FAULT DELAY TIME (tg)	0.48 (1200A)
SUPERCHARGER CABINET BREAKER – 600A		
TRIP UNIT	TYPE/MODEL	PD-3 THERMAL MAG TRIP UNIT (600A TRIP)
TRIP UNIT SETTINGS	INSTANTANEOUS (II)	5 (3000A)

EATON BREAKER SETTINGS

SCALE: N.T.S.

3



DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:
FARR WEST, UT
(TRT ID: 27285)

SITE ADDRESS:
1750 W 2700 N
FARR WEST, UT 84404

SHEET TITLE:
ARC FLASH LABELS
& BREAKER SETTINGS

SHEET NUMBER:
E-4



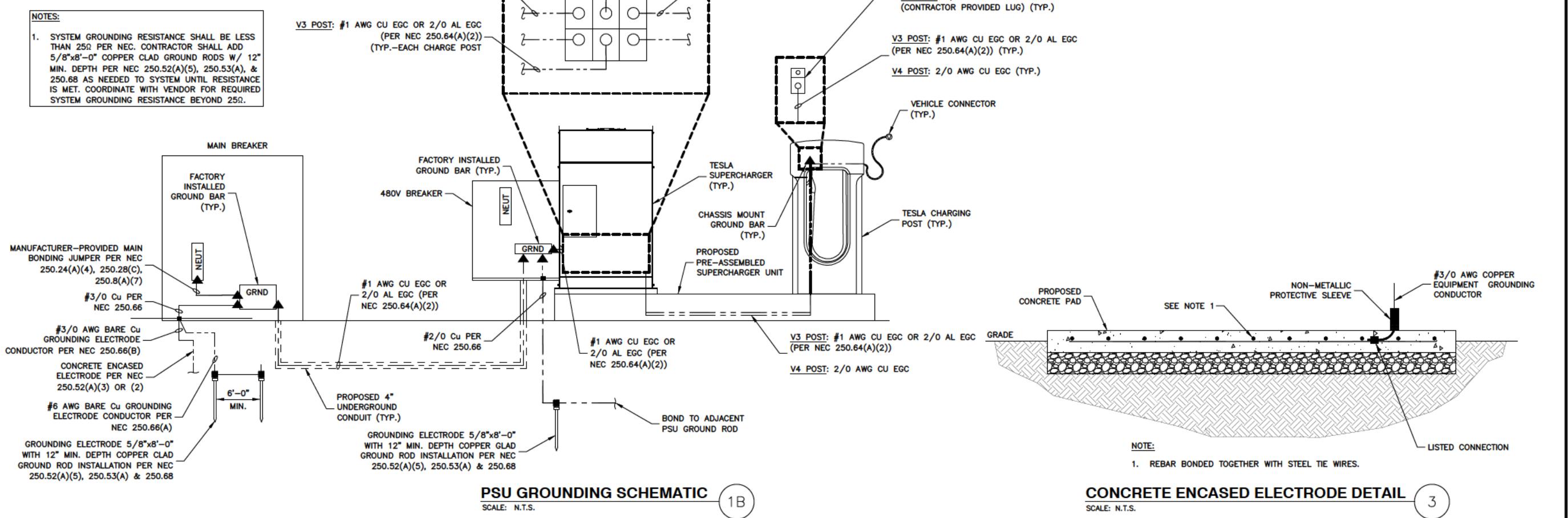
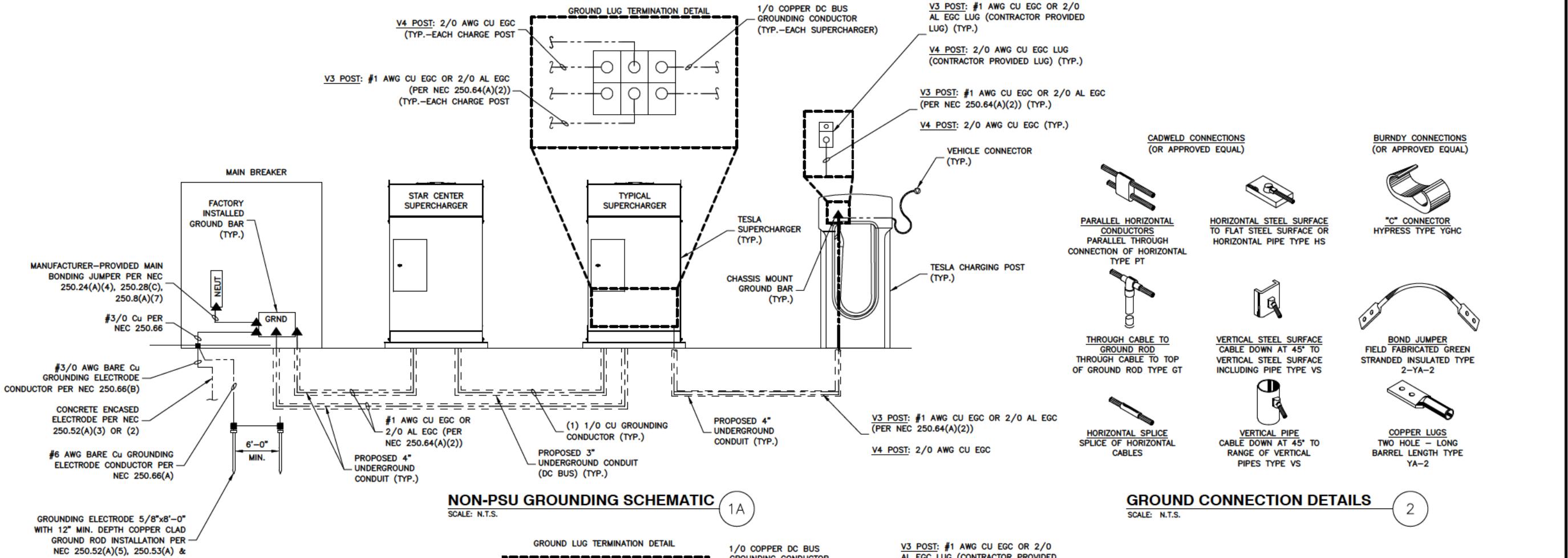
JOSEPH GIGANTIOLLO, P.E.
UTAH LICENSE No. 13236761-2022

DRAWN BY:	KFM
CHECKED BY:	SES
APPROVED BY:	MJM/JG
PROJECT #:	50123704
JOB #:	50159192

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	11/30/23	CITY COMMENTS
1	10/20/23	CITY COMMENTS
0	09/01/23	ISSUE FOR S&S
A	04/13/23	FOR REVIEW

SITE NAME:	FARR WEST, UT (TRT ID: 27285)
SITE ADDRESS:	1750 W 2700 N FARR WEST, UT 84404

SHEET TITLE	GROUNDING SCHEMATIC & DETAILS
SHEET NUMBER	G-1



ORDINANCE NO. 2024-02

AN ORDINANCE OF FARR WEST CITY, UTAH AMENDING SECTION 17.40 OF THE FARR WEST CITY MUNICPAL CODE

WHEREAS, Chapter 17.40 “M-1 Manufacturing Zone” of the Farr West City Code of Ordinances establishes areas where processing, assembling, manufacturing, and warehousing activities may take place in Farr West City (“City”); and

WHEREAS, the Farr West City Planning Commission has recommended updating and amending Chapter 17.40 “M-1 Manufacturing Zone” to the Farr West City Council; and

WHEREAS, the Farr West City Council desires to update Chapter 17.40 “M-1 Manufacturing Zone” as proposed by the Planning Commission; and

NOW THEREFORE, be it ordained by the Farr West City Council that Title 17 Section 17.40 shall be amended to read as follows in the attached “**Exhibit A**”.

This Ordinance supersedes all prior ordinances and policies of Farr West City to the extent that such may be in conflict with the specific provisions contained herein. In all other respects, such prior ordinances, resolutions, actions and policies shall remain in full force and effect.

This ordinance shall take effect 15 days after publication or posting by the City Council of Farr West City, Utah.

Dated this _____ day of _____, 2024.

MAYOR OF FARR WEST CITY, UTAH

By _____
Ken Phippen

ATTEST:

Recorder
Farr West City, Utah

Vote of City Council

Yes No

____ Council Member Ferrin
____ Council Member Williams
____ Council Member Shupe
____ Council Member Blind
____ Council Member Jay

ATTACHMENT A

CHAPTER 17.40

M-1 MANUFACTURING ZONE

SECTION:

17.40.010: Purpose

17.40.020: Permitted Uses

17.40.030: Conditional Uses

17.40.040: Basis for Issuance of Conditional Permit

17.40.050: Prohibited Uses

17.40.060: Site Development Standards

17.40.070: Additional Requirements

17.40.080: M-1 Zone Adjacent to a Residential or Agricultural Zone

17.40.010: PURPOSE:

The M-1 Manufacturing Zone is established to provide areas in the City where processing, assembling, manufacturing, and warehousing activities may take place, and for incidental service facilities to serve the manufacturing uses. The zone is intended to encourage the orderly growth of the city and its economic base. (Ord. 2014-04)

17.40.020: PERMITTED USES:

The following uses are permitted in the M-1 Zone:

All permitted uses in the C-2 General Commercial Zone

Assembling

Boat building and repair

Construction services

Major and minor Automotive repair, detailing and body work

Packaging

Building materials sales with no bulk soil, rock, and aggregate sales, storage, or processing

Motor/recreation vehicle sales and service

Warehousing and storage units

Sexually oriented businesses, subject to the requirements of title 5, chapter 5.10 of this Code.
(Ord. 2017-04)

17.40.030 CONDITIONAL USE:

- A. Permits for conditional uses shall be authorized only upon recommendation by the Planning Commission and approval by the City Council.
- B. The Planning Commission review of conditional uses shall be made with the general purpose of guiding and accomplishing a coordinated, adjusted, and harmonious development in accordance with existing and future needs of the city. In making a recommendation on conditional uses, the Planning Commission shall consider the existing site zoning, the Zoning Ordinances, the approved General Plan, and the use of the surrounding property; the present and future requirements for streets, off street parking, and on street parking in relation to exits and entrances from public streets, pedestrian and vehicular traffic circulation, availability of water and other utilities, and other public requirements including the health, safety and welfare of the citizens of the city. The City Council, upon recommendation by the Planning Commission or on its own motion, may impose reasonable conditions as are necessary to protect the rights of surrounding property owners and tenants and to carry out the purposes of this chapter and characteristics of this zone.

17.40.040: BASIS FOR ISSUANCE OF CONDITIONAL USE PERMIT:

A conditional use permit shall not be authorized unless a public hearing is held, and evidence is presented to establish:

- A. That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community; and
- B. That such use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses, buildings, and structures when considering traffic generation, parking, building design and location, landscaping and signs; and
- C. That the proposed use will comply with the regulations and conditions specified in this title for such use; and
- D. That the proposed use conforms to the goals, policies and governing ordinances and principles and land use of the General Plan for Farr West City; and
- E. That the proposed use will not lead to the deterioration of the environment, or ecology of the general area, nor will produce conditions or emit pollutants of such a type or of such a quantity to detrimentally affect, to any appreciable degree, public or private property including the operation of existing uses thereon, in the immediate vicinity or the community or area as a whole. (Ord. 2010-03)

The following conditional uses shall be permitted only after approval has been given by the City Council upon recommendation by the Planning Commission:

Contractor's equipment storage yard or equipment rental

Dry cleaning and laundry facilities

Indoor firearms/archery range

Laboratory

Liquor stores

Manufacture, compounding, processing and packaging

Medical and dental facilities

Medical research facility

Metal plating, metal anodizing, metal polishing

Primary metal industries

Processing

Public utility production

Public and quasi-public uses

Research and development

Trucking businesses

Wireless telecommunications facilities, subject to chapter 17.50 of this title.

17.40.050: PROHIBITED USES:

No residential uses shall be permitted in the M-1 Zone, except as part of a business enterprise that is either required by law to always have someone on site or where such on-site residence is customary in the industry. (Ord. 2017-04)

Hazardous products: Gaseous or Liquid nonfood products that are, or have the potential of being combustible, explosive, poisonous or infectious, radioactive or otherwise hazardous or capable of posing a risk to health, safety, property, or environment.

17.40.060: SITE DEVELOPMENT STANDARDS:

- A. Front and side yard setbacks from a public dedicated street: Twenty feet (20').
- B. Side yard setback (adjacent to manufacturing or commercially zoned property): As required in the adopted building code.
- C. Rear yard setback (adjacent to manufacturing or commercially zoned property): As required in the adopted building code.
- D. Side yard setback (adjacent to residentially zoned property): Twenty feet (20').
- E. Rear yard setback (adjacent to residentially zoned property): Twenty feet (20').
- F. Lot of area and width: As required in the adopted zone.
- G. Minimum height: Eight feet (8') or one story whichever is greater.

H. Maximum height: No requirement.

I. Parking requirements: See sections 17.44.130 through 17.44.150 of this title. (Ord. 2017-04: Ord. 93-003 § 8-6(4))

17.40.070: ADDITIONAL REQUIREMENTS:

A. Landscaping:

1. Area Requirements: An area of not less than ten percent (10%) of the site as depicted on the site plan shall be landscaped with live plantings. The perimeter area and slopes of retention/detention basins may be included as part of the landscape area if landscaped. The park strip between any public street and the site, whether existing or proposed, is the responsibility of the site property owner/ tenant to maintain. (Ord. 17-02)
2. Screening; Visual/Noise: Landscaping prescribed by the Planning Commission to accomplish other requirements of this title, as in visual screening, noise abatement or other needs based on site conditions may be required as part of, or in addition to, the ten percent (10%) landscaping requirement.
3. Location: Front setbacks, side setbacks facing the street, and other areas visible to the public are required to be landscaped.
4. Ground Cover: All landscaped areas shall be covered with a minimum three (3) inch layer of decorative rock or other approved medium to allow water to infiltrate the ground and inhibit weed growth. Detention basins shall also be lined with rock.
5. Plant Materials: All Landscaped areas shall be planted with plants that are well-suited to conditions at the project site and may include native and locally adapted shrubs, trees, or ornamental grasses and perennials compatible with xeriscape environment. (Xeriscape is a landscaping method developed especially for arid and semiarid climates the utilizes water-conservation techniques.)
6. Watering: The landscaping plan shall include a secondary water supply. Culinary water shall not be used. The irrigation systems shall be designed to minimize water consumption by using an underground drip or bubble system with an automatic controller.
7. Maintenance: The preservation of the landscaping shall be maintained in a healthy, neat, and orderly condition free of weeds and litter. Diseased or dead plant materials shall be removed and replaced by June 1 if due to winter kill or October 1 if the plant materials die during the summer months. The preservation and maintenance of the landscaping in the park strip areas are the responsibility of the property owner/ tenant.
8. Completion Requirements: Landscaping shall be completed prior to the issuance of the Certificate of Occupancy for the building or structure with which it is associated. In the case of inclement weather that prevents the installation of the required landscaping, the time of completion may be extended, in writing, upon approval of the Chief Building Official.

B. Outside Storage: Any part of a lot used for the storage of equipment, merchandise, parts, or other items, if not in an enclosed building or if visible from the frontage, shall be enclosed by a sight obscuring wall or fence with a minimum height of six feet (6').

C. Dust and weeds shall be controlled in all areas not covered by landscaping or pavement.

D. Miscellaneous: See sections 17.44.130 through 17.44.150 of this title. (Ord. 2017-04: Ord. 2015-10: Ord. 93-003 § 8-6(5))

17.40.080: M-1 ZONE ADJACENT TO A RESIDENTIAL OR AGRICULTURAL ZONE:

A. Set back from any residential or agricultural zone:

1. Setbacks adjacent to any residential or agricultural zone shall be equal to or greater than the highest point of the building.
2. The minimum setback is twenty (20) feet.

B. Outside storage and staging of pallets, products, equipment, and materials are not allowed.

C. Lighting:

1. Light, other than natural light, shall not negatively impact residential or agricultural property.
2. No exterior light pole or light fixture shall be closer than four feet (4') from a residential or agricultural property line.
3. Light fixtures within twenty feet (20') of a residential or agricultural property line shall have a solid cover, from the top of the light fixture and bulb to four inches (4") beyond the bottom of the light fixture and bulb. The cover shall surround the light fixture and bulb for one hundred eighty degrees (180°) on the side of the fixture adjacent to the residential or agricultural property.
4. Exterior lighting twenty feet (20') or more from a residential or agricultural property line shall be directed straight down or away from a residential or agricultural property line.

5. The beam of exterior lighting shall not shine directly onto residential or agricultural property.

6. Other lighting designs and covers may be approved at the sole discretion of Farr West City.

D. Noise Levels:

1. Operational noise levels shall be submitted to and approved by Farr West City prior to final approval of construction documents.
2. Noise from a property in a M-1 zone that is determined to be a nuisance by Farr West City shall be abated by the property owner.

E. Walls/barriers: A solid visual wall/barrier at least eight feet (8') in height shall be erected along all property lines in common with residential or agricultural zoned property. The type and

materials of such wall shall be approved by the planning commission as a part of the site plan review. See chapter 17.46 of this title and Ord. 2022-06

ORDINANCE NO. _____

**AN ORDINANCE OF FARR WEST CITY, UTAH AMENDING SECTION 3.30.010 OF THE
FARR WEST CITY MUNICPAL CODE**

WHEREAS, Chapter 3.30.010 “Fee Schedule Enumerated” of the Farr West City Code of Ordinances provides for certain fees applicable to various activities within Farr West City (“City”); and

WHEREAS, Section 3.30.010 currently provides for a fee in the amount of \$200.00 for excavation permits; and

WHEREAS, the Farr West City Public Works has requested an update to the fee schedule for excavation permits; and

WHEREAS, the Farr West City Council desires to update 3.30.010 “Fee Schedule Enumerated” to update the excavation permit fee; and

NOW THEREFORE, be it ordained by the Farr West City Council that the excavation permit fee found in Title 3 Section 3.30.010 shall be amended to read as follows:

3.30.010 FEE SCHEDULE ENUMERATED

Code Section	Item	Fee	Effective Date
12.04.050	Excavation bonding and permit fee	\$10,000.00 minimum bond/ \$400.00 200.00 minimum permit fee	Oct-14 Nov-23

This Ordinance supersedes all prior ordinances and policies of Farr West City to the extent that such may be in conflict with the specific provisions contained herein. In all other respects, such prior ordinances, resolutions, actions and policies shall remain in full force and effect.

This ordinance shall take effect 15 days after publication or posting by the City Council of Farr West City, Utah.

Dated this _____ day of _____, 2023.

MAYOR OF FARR WEST CITY, UTAH

By _____
Ken Phippen

ATTEST:

Recorder
Farr West City, Utah

Vote of City Council

Yes No

____ Council Member Leatham
____ Council Member Blazzard
____ Council Member Ferrin
____ Council Member Chugg
____ Council Member Williams