



Planning Commission Agenda

2267 North 1500 West Clinton City, UT 84015

January 2, 2024

7:00 pm

I. Call to Order

- a. Invocation or Thought
- b. Pledge
- c. Roll Call
- d. Declaration of Conflicts

II. Business:

1. **Public Hearing:** Review and action on a conditional use permit for Walmart outside sidewalk sales and seasonal storage containers on 22.58 acres located at 1632 North 2000 West in the PZ (Performance Zone) zoning district (Parcel No. 14-352-0017)
2. **Public Hearing:** Review and action by Ivory Development for final plat approval for Cranefield Estates PRUD Phase 15, a 27 lot residential subdivision consisting of approximately 11.29 acres located at approximately 2600 North and 3200 West (Parcel No. 13-470-0073), which lies in the A-1 zoning district.
3. **Discussion Item Only:** Review of Possible Amendments to the R-M (Multi-Family) Zone, New Planned Development Overlay Ordinance, and Preview of upcoming Multi-Family Open House.
4. **Planning Commission Training:** *A Primer on Public Meetings for Planning Commissioners* (Video) – Time permitting
5. Election of Chairperson and Vice-Chairperson for 2024

III. Other Business

- a. Approval of December 12, 2023 Meeting Minutes
- b. Director's Report
- c. Commission Report

IV. Adjourn

The order of agenda items may be changed or times accelerated.

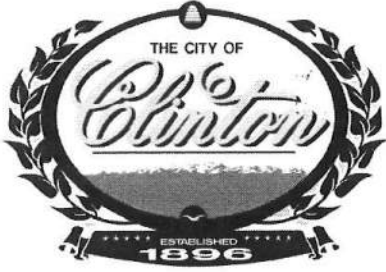
THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY MEETINGS

If you attend this meeting and, due to a disability, will need assistance in understanding or participating, then please notify the Community Development Department at (801) 614-0740 prior to the meeting and we will seek to provide assistance.

CLINTON CITY

PLANNING COMMISSION AGENDA ITEM

SUBJECT: <i>Public Hearing</i> – Review and action on a request by Walmart to renew their Conditional Use Permit (CUP) for outside sidewalk sales and seasonal storage containers located at 1632 North 2000 West (Parcel#: 143520006)	AGENDA ITEM: <div style="text-align: center; font-size: 2em;">1</div>
PETITIONER: David Covell representing Walmart SUBMITTED BY: Keaton Jones, Community Development	MEETING DATE: January 2, 2024
RECOMMENDATION: To approve the Conditional Use Permit renewal request for outside sidewalk sales and seasonal storage containers located at 1632 North 2000 West for a term of five (5) years, after which the CUP is eligible for review and possible renewal.	ROLL CALL VOTE: <div style="text-align: center; font-size: 1.5em;">YES</div>
BACKGROUND: <ol style="list-style-type: none"> (1) The proposal consists of various outside sidewalk sales held in conjunction with holidays, seasonal periods, or on a year-round basis. It is also proposed that the continued use of seasonal storage containers be allowed on the site. Commercial parcel located at 1632 North 2000 West. (2) Staff recommends a five (5) year approval, but the timeframe is up to the discretion of the Commission. (3) CUP REVIEW FINDINGS: The proposed use is (a) not detrimental to persons or property, (b) consistent with the objectives of the General Plan (c) compatible with the character of the site, adjacent properties and surrounding neighborhoods. (The Design Compatibility finding is not applicable for temporary uses.) The site can accommodate outside sidewalk sales and seasonal storage containers while maintaining sufficient parking for both employees and customers, and will not generate excessive traffic not already otherwise present in this commercial area. (4) Required Public Notice was made. No public comment has been received to date. (5) Conditions of Approval are recommended and attached for review. 	
ATTACHMENTS: <ol style="list-style-type: none"> 1) Conditions of Approval 2) Submittal Documents – application, site plan, sidewalk sales schedule 	



Conditional Use Permit (CUP) Application

Community Development

2267 North 1500 West

Clinton City, UT 84015

Phone: (801) 614-0740

Fax: (801) 614-0752

Web-site: clintoncity.net

Staff Use Only	Date: _____	Zone: _____	PC Date: _____
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PROJECT NAME: Walmart Inc. DBA Walmart# 5234

PROJECT ADDRESS: 1632 N. 2000 WEST CLINTON, UT 84015

(ADDRESS MUST BE ASSIGNED BY PLANNING PRIOR TO SUBMITTAL, IF APPLICABLE)

PROPOSED USE / DESCRIPTION: SIDEWALK SALES, PARKING LOT SALES AND TEMPORARY CONTAINERS.

CONTACT NAME: DAVID COVELL

ADDRESS: 1632 N. 2000 WEST CLINTON, UT 84015

PHONE# 801-779-3165 **FAX #** _____ **E-MAIL:** complic@wal-mart.com

Engineer and/or Surveyor:: _____

PHONE# _____ **FAX #** _____ **E-MAIL:** _____

OWNER'S NAME: (if different from contact person) _____

I HAVE READ THE APPLICATION AND HEREBY CERTIFY THAT THE INFORMATION IS CORRECT TO THE BEST OF MY KNOWLEDGE.

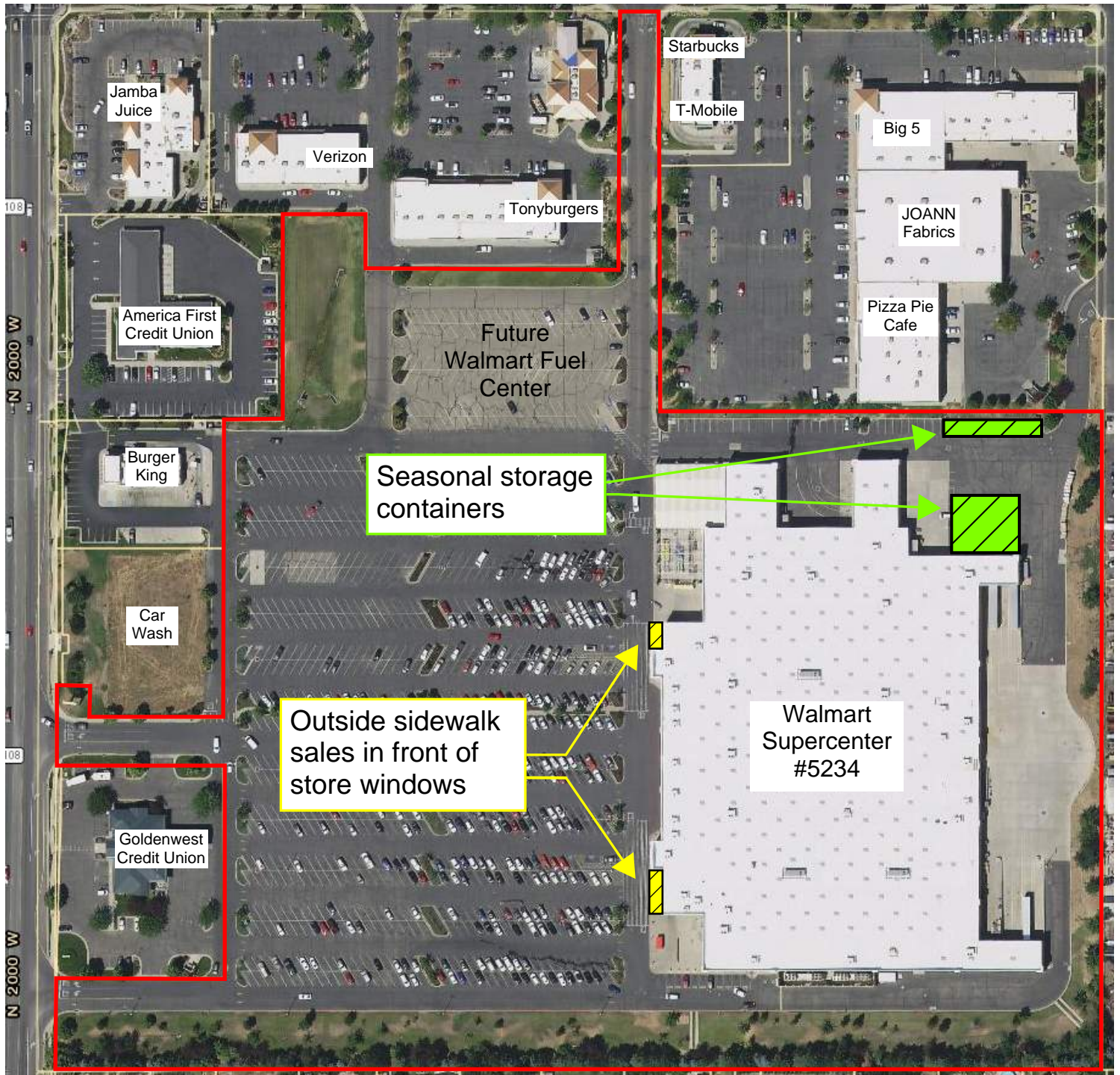
Julie Gang Lee
Signature of owner or applicant

SUBMITTAL CHECK LIST:


The following checklist can be used as a guide to assist you in obtaining approval.

- Seven (7) site plans; Six (6) copies at 24" x 36" and one (1) copy at 11" x 17" (see check list 1-24 on attached page) along with;
- Copy of county ownership plat
- One (1) copy of the Storm Water Pollution Prevention Plan (SWPPP)
- Payment of appropriate fees.
- For new construction, building additions, or when the site does not meet present site development requirements, the following are also required.
 - A. Building elevations of all four sides' one (1) copy on 24" x 36" and one (1) on 8.5" x 11", including a 3-D model, preferably using "Google Sketch-up" or similar program, in digital format.
 - B. "Material/Color board" of the types of materials proposed to be used on the building,
 - C. Preliminary utility plan showing the manner in which water, sewer and storm sewer services will be provided
 - D. A landscaping plan, which shows areas to be landscaped, specific types of landscaping to be used (i.e. trees, shrubs and grass), and areas to be preserved in their existing conditions, and an irrigation plan.

Walmart Conditional Use Permit Site Plan



 Seasonal storage container area

 Outside sidewalk sales area

 Walmart property boundary line



Walmart Sidewalk Sales Schedule

Memorial Day - Sidewalk sales

Summer Solicitation Sale - Sidewalk sales

Labor Day - Sidewalk Sales

Pumpkins on Sidewalk - September to end of October

Water Softener Sale - Year-round under south entrance window

Kayak Display Sales - May through August

CONDITIONS OF APPROVAL

- 1) This approval is for a Conditional Use Permit (CUP) for Walmart's outside sidewalk sales and seasonal storage containers located at 1632 North and 2000 West (Parcel No. 14-352-0006). The CUP will expire five (5) years from the date of approval. Prior to expiration, an application for renewal of the CUP Permit may be submitted, reviewed, and forwarded to the Planning Commission for possible renewal.
- 2) Conditions established during the original store & site plan approval remain in full effect.
- 3) Appropriate measures will be taken to prevent product from entering the storm drain system from the parking lot coral & other areas.
- 4) The sidewalk sales and temporary storage containers shall be for seasonal items at designated locations as per site plan approved on January 2, 2023.
- 5) Extra lighting will not be allowed for the parking lot sales, sidewalk sales or temporary storage containers.

CLINTON CITY

PLANNING COMMISSION AGENDA ITEM

<p>SUBJECT: Advertised Public Meeting - Review and action by Ivory Development for final plat approval for Cranefield Estates PRUD Phase 15, a 27 lot residential subdivision consisting of approximately 11.29 acres located at approximately 2600 North and 3200 West (Parcel No. 13-470-0073), which lies in the A-1 zoning district.</p>	<p>AGENDA ITEM:</p> <p style="font-size: 2em;">2</p>
<p>PETITIONER: Ethan Brown, on behalf of Ivory Development</p> <p>SUBMITTED BY: Peter Matson, Community Development</p>	<p>MEETING DATE:</p> <p>January 2, 2024</p>
<p>RECOMMENDATION: To recommend to the City Council the adoption of Resolution No. 02-24, approving Cranefield Estates Phase 15 Final Plat subject to the conditions of approval.</p>	<p>ROLL CALL VOTE:</p> <p style="font-size: 1.5em;">YES</p>
<p>ORDINANCE REFERENCES: Subdivision Ordinance Section 26-1-6(1) Land Use Authority (City Council); City Engineering Standards and Specifications; and Zoning Ordinance Chapter 14 Residential, Single Family Zone (R-1-10)</p>	
<p>BACKGROUND:</p> <ol style="list-style-type: none"> (1) This phase of Cranefield Estates is located at approximately 2600 North and 3200 West. The property is a PRUD in the A-1 zone with underlying zoning standards of the R-1-10 zone. Phase 15 is on the west side of 3000 West and consists of 27 lots. (2) Fencing – This phase is not adjacent to any dissimilar land uses. There is no proposed developer-installed fencing along any property boundaries. If desired, fencing will be installed by the individual home owners. Existing fencing along the east property lines will remain. (3) The improvement plans indicate the installation of a rear yard drainage system throughout the phase with a note on each plan sheet indicating the system is privately owned and is to be maintained by the Cranefield HOA. This is listed as a condition of approval in Resolution 13-22. (4) The latest overall preliminary plat for Cranefield Estates is attached for reference showing how phase 15 is situated relative to existing and future phases of the subdivision. (5) Standard conditions of approval are recommended and are outlined in Resolution 13-22. 	
<p>ATTACHMENTS:</p> <ol style="list-style-type: none"> 1) DRAFT Resolution 02-24 2) Cranefield Estates Preliminary Overall Plat – Phasing Plan 3) Cranefield Estates Phase 15 Final Plat 4) Cranefield Estates Phase 15 Improvement Plans 	

RESOLUTION NO. 02-24

A RESOLUTION APPROVING THE FINAL PLAT FOR THE CRANEFIELD PHASE 15 SUBDIVISION

WHEREAS, Section 26-1-6(1) of the Clinton City Subdivision Ordinance vests the City Council with the authority to approve, amend and approve, conditionally approve or disapprove an application for final plat and Section 26-3-4(4) directs Council this be done by resolution; and

WHEREAS, The Clinton City Planning Commission has reviewed the Final Plat for the Cranefield Phase 15 Subdivision and recommended approval of the final plat.

NOW, THEREFORE, BE IT RESOLVED BY THE CLINTON CITY COUNCIL THAT THE FINAL PLAT FOR THE CRANEFIELD, PHASE 15 SUBDIVISION IS HEREBY APPROVED WITH THE FOLLOWING FINDINGS, AND CONDITIONS:

SECTION 1. By majority vote, on a motion before the Clinton City Council, the Final Plat for Cranefield Phase 15 Subdivision is approved based upon the following findings, and conditions:

- The Council concurs with the findings of the Clinton City Planning Commission.

SECTION 2. Reviewed in a public meeting the 2nd day of January 2024 by the Clinton City Planning Commission and recommended for approval through a motion passed by a majority of the members of the Commission based upon the following findings and conditions:

- 1 All comments related to the plat and engineering shall be corrected and reviewed by the City before the final plat is presented for signatures.
- 2 Final Plat approval is subject to review and approval by Davis-Weber County Canal Companies (DWCCC).
- 3 A preconstruction meeting shall not be scheduled until all required changes have been made to the Final Plat and Improvements Drawings, the required number of copies provided to the City, and the plans are stamped approved by the City.
- 4 Plat shall not be recorded until a Subdivider's Improvement Agreement and Subdivider's Escrow Agreement have been completed and executed to ensure the completion of the improvements in this development.
- 5 It is the developer/contractor's responsibility to comply with all Clinton City Standards, Ordinances, Staff, Engineer and development requirements established during the approval process. Wherever there is a discrepancy between these drawings and City Standards the more stringent requirement will apply. If there is any doubt as to the requirement, the developer is to seek clarification from the Community Development

Department and obtain the determination in writing. Copies of the Standards are available at the Community Development Department.

- 6 The developer/contractor is responsible for insuring that all required inspections are performed by the Clinton City Public Works Department. If the developer is unsure of what inspections are required he can obtain a list from the Public Works Department. The developer is cautioned not to proceed past an inspection point without insuring that the inspection has been performed and work passed by representative(s) of Public Works.
- 7 It is the developer/contractor's responsibility to ensure adequate dust, trash and weed control practices are observed while any of the lots are under their control.
- 8 Prior to Conditional Acceptance by the City, the Subdivider shall clear any construction debris from lots within the subdivision, except lots with buildings under construction, and level vacant lots within the subdivision in such a way that weed control, via mowing with a brush hog or similar item, is possible and all vacant lots will be mowed for weed control.
- 9 The rear yard drainage system shown on the Improvement Drawings is privately owned and is to be maintained by the Cranefield Estates H.O.A.

SECTION 3. Effective date. This Resolution shall become effective upon signature and posting.

PASSED BY MOTION AND ORDERED PUBLISHED by the Council of Clinton City, Utah, this 9th day of January 2024.

December 22, 2023
NOTICE PUBLISHED

BRANDON STANGER
MAYOR

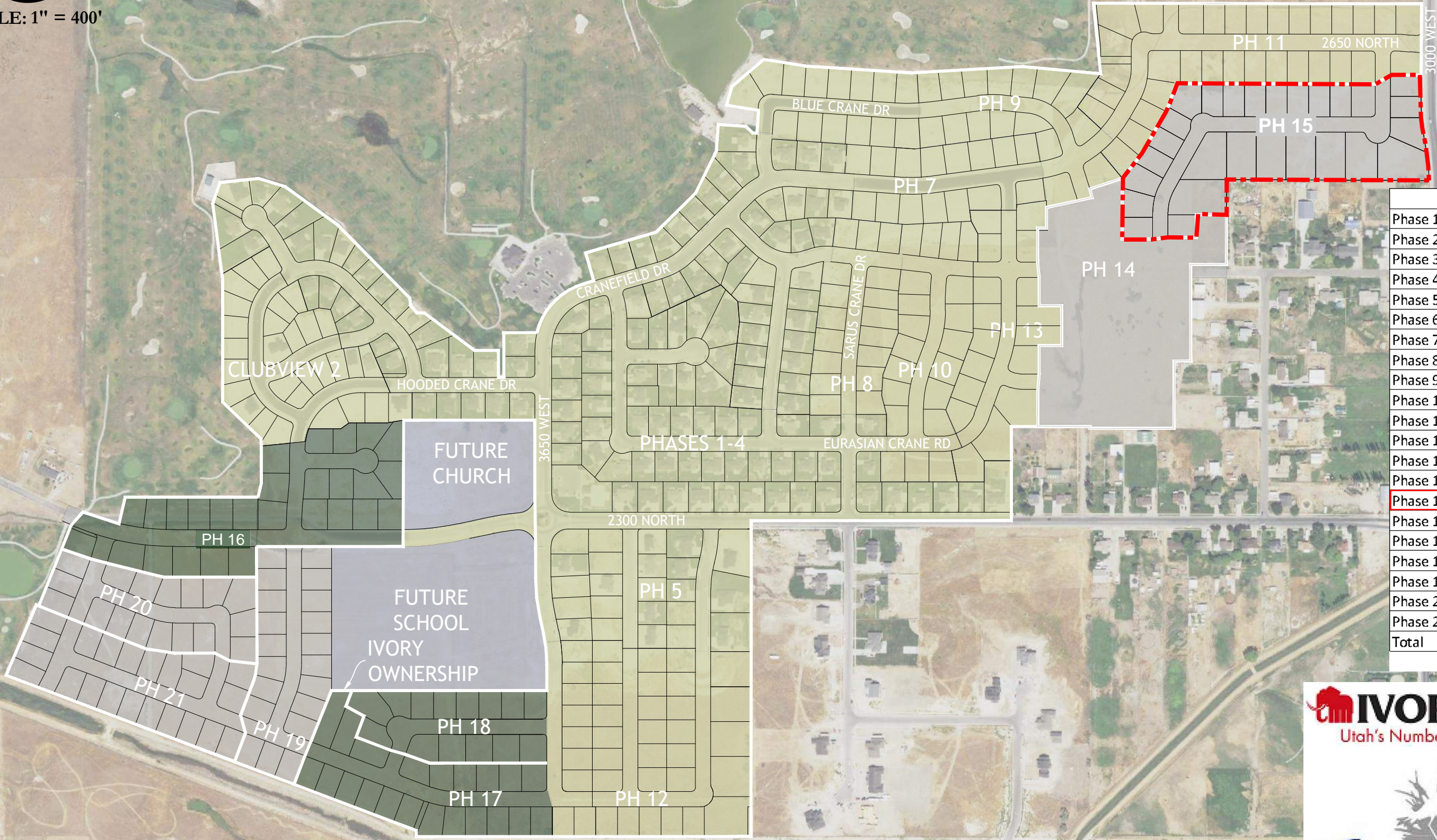
ATTEST:

LISA TITENSOR
CITY RECORDER

Posted: _____



SCALE: 1" = 400'



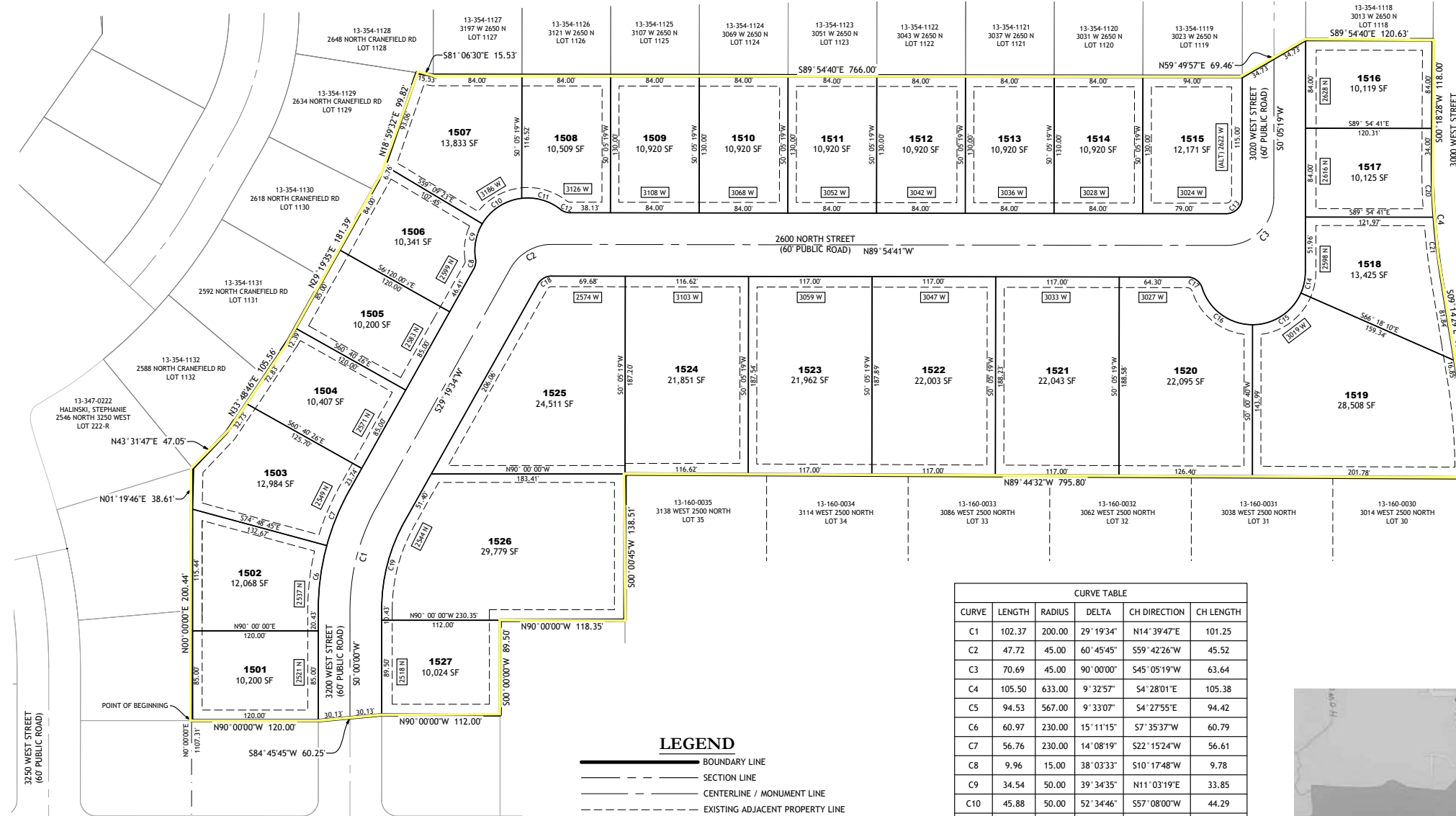
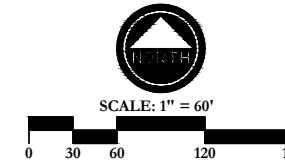
Phase	Lots
Phase 1 Amended	67
Phase 2 (Clubview 1)	28
Phase 3	21
Phase 4	18
Phase 5	22
Phase 6 (Clubview 2)	29
Phase 7	29
Phase 8	17
Phase 9	16
Phase 10	20
Phase 11	32
Phase 12	38
Phase 13	17
Phase 14	22
Phase 15 (final plat)	27
Phase 16 (conceptual)	27
Phase 17 (conceptual)	21
Phase 18 (conceptual)	14
Phase 19 (conceptual)	20
Phase 20 (conceptual)	17
Phase 21 (conceptual)	22
Total	524

 **IVORYHOMES**
Utah's Number One Homebuilder


Cranefield
ESTATES

CRANEFIELD ESTATES PRUD PHASE 15

LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN, CLINTON CITY, DAVIS COUNTY, UTAH
2024



CRANEFIELD ESTATES Phase 15	
Lot 1501	2521 North 3200 West
Lot 1502	2537 North 3200 West
Lot 1503	2549 North 3200 West
Lot 1504	571 North 3200 West
Lot 1505	2583 North 3200 West
Lot 1506	2599 North 3200 West
Lot 1507	3186 West 2600 North
Lot 1508	3126 West 2600 North
Lot 1509	3108 West 2600 North
Lot 1510	3068 West 2600 North
Lot 1511	3052 West 2600 North
Lot 1512	3042 West 2600 North
Lot 1513	3036 West 2600 North
Lot 1514	3028 West 2600 North
Lot 1515	3024 West 2600 North
Lot 1515 (alt)	2622 West 3020 West
Lot 1516	2628 North 3020 West
Lot 1517	2616 North 3020 West
Lot 1518	2598 North 3020 West
Lot 1519	3019 West 2600 North
Lot 1520	3027 West 2600 North
Lot 1521	3033 West 2600 North
Lot 1522	3047 West 2600 North
Lot 1523	3059 West 2600 North
Lot 1524	3103 West 2600 North
Lot 1525	3133 West 2600 North
Lot 1526	3166 West 2600 North
Lot 1527	2518 North 3200 West

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CH DIRECTION	CH LENGTH
C1	102.37	200.00	29°19'34"	N14°39'47"E	101.25
C2	47.72	45.00	60°45'45"	S59°42'26"W	45.52
C3	70.69	45.00	90°00'00"	S45°05'19"W	63.64
C4	105.50	633.00	9°32'57"	S4°28'01"E	105.38
C5	94.53	567.00	9°33'07"	S4°27'55"E	94.42
C6	60.97	230.00	15°11'15"	S7°35'37"W	60.79
C7	56.76	230.00	14°08'19"	S22°15'24"W	56.61
C8	9.96	15.00	38°03'33"	S10°17'48"W	9.78
C9	34.54	50.00	39°34'35"	N11°03'19"E	33.85
C10	45.88	50.00	52°34'46"	S57°08'00"W	44.29
C11	39.03	50.00	44°43'29"	N74°12'53"W	38.05
C12	9.96	15.00	38°03'33"	N70°52'55"W	9.78
C13	23.56	15.00	90°00'00"	S45°05'19"W	21.21
C14	20.60	50.00	23°36'31"	N11°53'34"E	20.46
C15	57.87	50.00	66°18'50"	N56°51'15"E	54.69
C16	62.94	50.00	72°07'16"	S53°55'42"E	58.86
C17	18.86	15.00	72°02'37"	S53°53'22"E	17.64
C18	15.91	15.00	60°45'45"	N59°42'26"E	15.17
C19	87.01	170.00	29°19'34"	N14°39'47"E	86.07
C20	50.05	633.00	4°31'48"	S1°57'26"E	50.03
C21	55.45	633.00	5°01'09"	S6°43'54"E	55.43

LEGEND

- BOUNDARY LINE
- SECTION LINE
- CENTERLINE / MONUMENT LINE
- EXISTING ADJACENT PROPERTY LINE
- LOT LINE
- TIE LINE
- RIGHT OF WAY LINE
- PUBLIC UTILITY & DRAINAGE EASEMENT
- SECTION CORNER
- STREET MONUMENT
- 3/8" REBAR & CAP MARKED "EDM PARTNERS, LLC" WILL BE SET AT ALL EXTERIOR BOUNDARY AND REAR LOT CORNERS UNLESS OTHERWISE NOTED ON THIS PLAT



LOT EASEMENTS
THERE IS A 10 FOOT WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT ON THE FRONT LOT LINES AND THE SUBDIVISION BOUNDARY. THERE IS AN 8 FOOT WIDE PUBLIC UTILITY EASEMENT ON EACH SIDE LOT LINE OR REAR LOT LINE AS INDICATED BY DASHED LINES.

CLINTON CITY WATER TABLE NOTE:
MANY AREAS IN CLINTON CITY HAVE WATER PROBLEMS DUE TO A SEASONALLY HIGH (FLUCTUATING) WATER TABLE. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY CLINTON CITY THAT ANY BUILDING AT ANY SPECIFIED ELEVATION WILL SOLVE GROUND WATER PROBLEMS. SOLUTION OF THESE PROBLEMS IS THE SOLE RESPONSIBILITY OF THE PERMIT APPLICANT AND PROPERTY OWNER.

UTILITY NOTE:
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES THROUGH THE FACILITIES IN THE PUE.

SURVEYOR'S CERTIFICATE
I, TYLER E. JENKINS DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 4938730 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS:

CRANEFIELD ESTATES PRUD PHASE 15

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

12/28/2023
FOR REVIEW ONLY
DO NOT RECORD

4938730
TYLER E. JENKINS
STATE OF UTAH

OWNER'S DEDICATION
I/WE, THE UNDERSIGNED OWNER(S) OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, STREETS, AND COMMON AREAS AS SHOWN HEREON TO BE HEREAFTER KNOWN AS:

CRANEFIELD ESTATES PRUD PHASE 15

AND DO HEREBY DEDICATE, GRANT, AND CONVEY TO CLINTON CITY ALL EASEMENTS AS SHOWN ON THIS PLAT AS PUBLIC UTILITY AND DRAINAGE EASEMENTS, THE SAME TO BE USED FOR INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY CLINTON CITY. ALSO, AS OWNER(S) DO HEREBY GRANT UNTO EACH PRIVATE UTILITY COMPANY AND PUBLIC UTILITY AGENCY PROVIDING UTILITY SERVICES TO THIS PROJECT A PERPETUAL NON-EXCLUSIVE EASEMENT OVER PARCEL A AND AREAS DESIGNATED AS PUBLIC UTILITY EASEMENTS AS SHOWN HEREON TO INSTALL, USE, KEEP, MAINTAIN, REPAIR AND REPLACE AS REQUIRED, UNDERGROUND UTILITY LINES, PIPES AND CONDUITS OF ALL TYPES AND APPURTENANCES THERETO SERVING THIS PROJECT.

NAME: CHRISTOPHER P. GAMVROULAS
TITLE: PRESIDENT OF IVORY DEVELOPMENT

ACKNOWLEDGEMENT
ON THE _____ DAY OF _____, 20____, CHRISTOPHER P. GAMVROULAS PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN THE STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE PRESIDENT OF IVORY DEVELOPMENT LLC AND THAT HE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC _____ COMMISSION NUMBER _____ SIGNATURE _____

A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH. COMMISSION EXPIRES _____

ACKNOWLEDGEMENT OF CLINTON CITY OFFICIALS
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME BRANDON STANGER, MAYOR OF CLINTON CITY AND DENNIS W. CLUFF, CLINTON CITY RECORDER, WHO BEING BY ME DULY SWORN OR AFFIRMED, DID SAY THAT THEY ARE THE MAYOR AND CITY RECORDER RESPECTIVELY AND SIGNED IN BEHALF OF CLINTON CITY BY THE AUTHORITY OF THE CLINTON CITY COUNCIL AND ACKNOWLEDGED TO ME THAT THE CLINTON CITY COUNCIL EXECUTED THE SAME.

NOTARY PUBLIC _____ COMMISSION NUMBER _____ SIGNATURE _____

A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH. COMMISSION EXPIRES _____

BOUNDARY DESCRIPTION
THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN; CLINTON CITY, DAVIS COUNTY, UTAH, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT BEING S89°59'15"E 1457.41 FEET ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER AND N00°00'00"E 1107.31 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 20; AND RUNNING THENCE N00°00'00"E 200.44 FEET; THENCE N01°20'39"E 24.03 FEET; THENCE N34°26'23"E 9.99 FEET; THENCE N33°48'45"E 198.36 FEET; THENCE M41°43'07"E 74.33 FEET; THENCE M48°50'31"W 19.82 FEET TO THE SOUTHERLY BOUNDARY LINE OF CRANEFIELD ESTATES PRUD PHASE 11 RECORDED AS ENTRY NUMBER 1342711, IN THE OFFICE OF THE DAVIS COUNTY RECORDER; THENCE ALONG SAID SOUTHERLY BOUNDARY LINE THE FOLLOWING SIX (6) COURSES AND DISTANCES: 1) THENCE N29°19'35"E 60.74 FEET; 2) THENCE N18°59'32"E 99.82 FEET; 3) THENCE S81°06'30"E 15.53 FEET; 4) THENCE S89°54'40"E 120.63 FEET; 5) THENCE N59°49'59"E 69.46 FEET; AND 6) THENCE S89°54'40"E 120.63 FEET TO THE WESTERLY RIGHT OF WAY LINE OF 3000 WEST STREET; THENCE ALONG SAID WESTERLY LINE THE FOLLOWING FOUR (4) COURSES AND DISTANCES: 1) S00°18'28"W 118.00 FEET; 2) THENCE ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 633.00 FEET, A CHORD DISTANCE OF 105.50 FEET, A CHORD DIRECTION OF S04°28'01"E, AND A CHORD DISTANCE OF 105.38 FEET; 3) THENCE S09°14'29"E 88.69 FEET; AND 4) THENCE ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 567.00 FEET, A CHORD DISTANCE OF 94.53 FEET, A CHORD DIRECTION OF S04°27'55"E, AND A CHORD DISTANCE OF 94.42 FEET TO THE NORTHERLY BOUNDARY OF GENTRY FARMS PHASE NO. 3 SUBDIVISION, RECORDED AS ENTRY NUMBER 1198387, IN THE OFFICE OF THE DAVIS COUNTY RECORDER; THENCE ALONG THE NORTHERLY AND WESTERLY BOUNDARY LINE OF SAID GENTRY FARMS NO. 3 SUBDIVISION THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1) N89°44'32"W 795.80 FEET; AND 2) THENCE S00°00'45"W 138.51 FEET; THENCE N90°00'00"W 118.35 FEET; THENCE S00°00'00"W 89.50 FEET; THENCE N90°00'00"W 112.00 FEET; THENCE S84°45'45"W 60.25 FEET; THENCE N90°00'00"W 120.00 FEET TO THE POINT OF BEGINNING.
CONTAINS 11.27 ACRES IN AREA, 27 LOTS
ROTATE BEARINGS 0°20'40" CLOCKWISE TO ACHIEVE NAD 83 DATUM BEARINGS.

CRANEFIELD ESTATES PRUD PHASE 15
LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 20,
TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND
MERIDIAN, CLINTON CITY, DAVIS COUNTY, UTAH
2024

SHEET 1 OF 1

RECORDED # _____
STATE OF UTAH, COUNTY OF DAVIS, RECORDED AND FILED AT THE REQUEST OF _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE _____ DAVIS COUNTY RECORDER

<p>DAVIS & WEBER COUNTIES CANAL COMPANY I, _____, ON BEHALF OF DAVIS AND WEBER COUNTIES CANAL COMPANY AM AN AUTHORIZED AGENT AND HAVE AUTHORITY TO SIGN ON AND IN BEHALF OF DAVIS AND WEBER COUNTIES CANAL COMPANY, SIGNED THIS _____ DAY OF _____, 20____.</p> <p>DAVIS & WEBER COUNTIES CANAL COMPANY</p>		<p>COMCAST APPROVED THIS _____ DAY OF _____, 20____ BY COMCAST.</p> <p>SIGNED _____</p>		<p>CENTURYLINK APPROVED THIS _____ DAY OF _____, 20____ BY CENTURYLINK.</p> <p>SIGNED _____</p>		<p>DATE _____</p>	<p>REVISIONS _____</p>	<p>BY _____</p>		
<p>ROCKY MOUNTAIN POWER I, _____, ON BEHALF OF ROCKY MOUNTAIN POWER AM AN AUTHORIZED AGENT AND HAVE AUTHORITY TO SIGN ON AND IN BEHALF OF ROCKY MOUNTAIN POWER, SIGNED THIS _____ DAY OF _____, 20____ BY ROCKY MOUNTAIN POWER.</p> <p>SIGNED _____</p>		<p>DOMINION ENERGY COMPANY DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL, OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE OWNERS DEDICATION, AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.</p> <p>APPROVED THIS _____ DAY OF _____, 20____.</p> <p>DOMINION ENERGY COMPANY, TITLE _____</p>		<p>CLINTON CITY ENGINEER I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.</p> <p>DATE _____ CLINTON CITY ENGINEER _____</p>		<p>PLANNING COMMISSION APPROVED THIS _____ DAY OF _____, 20____ BY THE CLINTON CITY PLANNING COMMISSION.</p> <p>CHAIR, CLINTON CITY PLANNING COMMISSION _____</p>		<p>CLINTON CITY APPROVAL PRESENTED TO CLINTON CITY THIS _____ DAY OF _____, 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.</p> <p>ATTEST: _____ MAYOR _____</p>		<p>2815 East 3300 South, Salt Lake City, UT 84109 (801) 305-4670 www.edmpartners.com</p>

CRANEFIELD ESTATES

PHASE 15

CLINTON CITY

GENERAL NOTES

- THE CONTRACTOR SHALL, CONSTRUCT ACCORDING TO THE FOLLOWING, AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED IN WRITING:
 - APPROVED CONSTRUCTION DRAWINGS
 - CLINTON CITY STANDARDS
 - DAVIS AND WEBER COUNTIES CANAL COMPANY STANDARDS
 - UTAH DIVISION OF DRINKING WATER R309
 - INTERNATIONAL UNIFORM FIRE CODE
 - INTERNATIONAL UNIFORM BUILDING CODE
 - MUTCDC
 - APWA STANDARD PLANS AND SPECIFICATIONS
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND CONDUCT WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
- CONTACT "BLUE STAKES" 72 HOURS PRIOR TO STARTING CONSTRUCTION AND NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS NOT SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS, AND CABLE TELEVISION, OF PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING HIS/HER CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED AND TO FIELD LOCATE ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- PROVIDE EROSION AND SEDIMENT CONTROL DURING ALL CONSTRUCTION IN ACCORDANCE WITH DAVIS COUNTY, STATE AND FEDERAL LAWS AND REGULATIONS.
- PROVIDE DUST CONTROL DURING ALL CONSTRUCTION IN ACCORDANCE WITH DAVIS COUNTY AND STATE OF UTAH REQUIREMENTS.
- PROTECT ALL EXISTING PAVEMENTS, STRUCTURES AND EXISTING UTILITIES. REPAIR OR REPLACE IF DAMAGED OR DISTURBED AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE TRAFFIC AND PEDESTRIAN CONTROL, CONSTRUCTION SIGNING, WARNING SIGNS AND BARRIERS, INCLUDING CONSTRUCTION TRAFFIC ENTERING AND EXITING ROADWAYS, IN ACCORDANCE WITH KANE COUNTY AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCDC) REGULATIONS.
- LIMIT CONSTRUCTION ACTIVITIES TO THE PROJECT BOUNDARIES (LIMITS OF DISTURBANCE SHOWN ON THE DRAWINGS) UNLESS OTHERWISE PERMITTED BY THE OWNER.
- ATTEND ALL PRE-CONSTRUCTION AND SITE COORDINATION MEETINGS.
- RECORD AND PROVIDE A RECORD DRAWING OF CONDUIT AND UTILITY LOCATIONS TO THE OWNER.
- EXCAVATION MATERIAL SHALL BE STOCKPILED. COORDINATE WITH OWNER PRIOR TO DISPOSAL.
- THE CONTRACTOR'S EFFORTS TOWARDS CONTROLLING SEDIMENT TRANSPORTATION AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF WHICH OCCURS DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED BY THE COUNTY. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED BY THE CONTRACTOR.
- ALL CONSTRUCTION EQUIPMENT AND PERSONNEL MUST USE DESIGNATED CONSTRUCTION ACCESS POINTS AND CONSTRUCTION AREAS WHEN ENTERING/EXITING THE PROJECT SITE. THE INTENT OF THE GRADING DESIGN IS TO MINIMIZE DISTURBANCES TO EXISTING VEGETATION AND ALL EFFORTS SHALL BE MADE BY THE CONTRACTOR TO LIMIT SITE DISTURBANCE.
- REQUIRED COMPACTION FOR ALL ROADWAY AND UTILITY CONSTRUCTION SHALL BE TESTED PER CITY REQUIREMENTS.
- THE TERM CONTRACTOR SHALL MEAN ALL CONTRACTORS, SUBCONTRACTORS, AND ALL FOLLOW ON CONTRACTORS. REQUIREMENTS FOR ONE SHALL APPLY TO ALL.
- ADDITIONAL NOTES ARE PLACED ON DESIGN OR DETAIL DRAWINGS AND ARE TO BE ADHERED TO IN THEIR ENTIRETY.
- SITE SHALL BE CLEARED AND GRUBBED AND TOPSOIL SHALL BE STRIPPED AND STOCKPILED PRIOR TO IMPORT OF SELECT MATERIAL.

PIPING INSTALLATION NOTES

- CONTRACTOR SHALL SLOPE ALL EXCAVATIONS TO AN ANGLE OF REPOSE OF MATERIAL BEING EXCAVATED OR USE BRACING OR SHORING. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH OSHA REGULATIONS AND GUIDELINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FLAGGING, CAUTION SIGNS AND PUBLIC SAFETY ON ALL ADJACENT ROADS AND THE CONSTRUCTION SITE.
- NATIVE BACK FILL SHALL BE COMPACTED TO AVERAGE 96% DENSITY WITH NO DENSITY LESS THAN 92% OF MODIFIED PROCTOR DENSITY, ACCORDING TO ASTM-D1557.
- CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY COUNTY, STATE AND INDIVIDUAL UTILITY CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILL OF UTILITY TRENCHES TO LEVEL OF FINISHED GRADE.
- ADJUST WATER AND SEWER LINE ALIGNMENT IN FIELD (PER ENGINEER) TO ACCOMMODATE EXISTING UTILITIES AND TERRAIN.
- ALL WATER LINE AND PI FITTINGS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
- COMPLETED WATER LINES SHALL BE DISINFECTED ACCORDING TO AWWA STANDARD C651. ADDITIONALLY, ALL WATER LINES SHALL BE PRESSURE TESTED AND FLUSHED PER OWNER REQUIREMENTS.
- CONTRACTOR TO PROTECT EXISTING FACILITIES. DAMAGED FACILITIES TO BE REPLACED IN-KIND.
- CAUTION TO CONTRACTORS: KNOWN SEWERS, WATER LINES, TELEPHONE CONDUITS, GAS, ELECTRICAL CABLES AND OTHER UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN ON THE DRAWINGS TO EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER. IT IS EXPECTED THAT THERE MAY BE DISCREPANCIES AND OMISSIONS IN THE LOCATION AND QUANTITIES OF UTILITIES AND STRUCTURES SHOWN. INFORMATION IS SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR BUT IS NOT GUARANTEED TO BE EITHER CORRECT OR COMPLETE, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED. THE CONTRACTOR SHALL MAKE SUCH INVESTIGATIONS AS ARE DEEMED SUFFICIENT AHEAD OF EXCAVATION TO LOCATE UNDERGROUND UTILITIES AND STRUCTURES SO AS NOT TO ACCIDENTALLY DAMAGE THEM DURING CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UNDERGROUND UTILITIES DAMAGED DURING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL INSTALL BLUE BOARD INSULATION OVER WATER AND FORCE MAIN LINES AT ALL CULVERT CROSSINGS WITH LESS THAN 2' OF VERTICAL SEPARATION.

LOT DRAINAGE NOTES

- LOTS SHALL BE LAID OUT SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, AND INDIVIDUAL LOT DRAINAGE SHALL BE COORDINATED WITH THE GENERAL STORM DRAINAGE PATTERN FOR THE AREA. DRAINAGE SHALL BE DESIGNED TO AVOID CONCENTRATION OF STORM DRAINAGE WATER FROM EACH LOT TO ADJACENT LOTS.

BENCHMARK

Project benchmark is a flat brass monument in at the intersection of 2300 North Street and 3000 West Street. (Southeast corner of section 20, T5N, R2W) Elevation = 4275.40

GEOTECHNICAL STUDY

A site specific geotechnical study has been prepared for this project by AGECE, Inc. The report is dated October 18, 2005 was prepared by Douglas R. Hawkes, and is listed as project number 1050869. A more recent Corrosion Testing report/Pavement Subgrade Assessment and Redesign report have been prepared by IGES, Inc, dated November 1, 2017 and November 2, 2017 respectively, whose project numbers are 02058-028.

The requirements outlined in these documents shall be followed on this project. Any information provided in the more recent IGES, Inc documents shall supercede any conflicting information found in the geotechnical study prepared by AGECE, Inc.

SHEET INDEX

O-1	TITLE SHEET
1 of 1	SUBDIVISION PLAT SHEET 1 OF 1
O-2	OVERALL SITE UTILITY PLAN
O-3	OVERALL GRADING & DRAINAGE PLAN
PP-1	3200 WEST PLAN & PROFILE
PP-2	2600 NORTH PLAN & PROFILE
PP-3	3020 WEST PLAN & PROFILE
PP-4	REAR YARD DRAIN PLAN & PROFILE
PP-5	REAR YARD DRAIN PLAN & PROFILE
PP-6	REAR YARD DRAIN PLAN & PROFILE
PP-7	REAR YARD DRAIN PLAN & PROFILE
PP-8	REAR YARD DRAIN PLAN & PROFILE
PP-9	REAR YARD DRAIN PLAN & PROFILE
PP-10	REAR YARD DRAIN PLAN & PROFILE



VICINITY MAP
1" = 150'



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OWNER:

Ivory Development
978 East Woodoak Lane
Salt Lake City, UT 84117
801-747-7000



NOTES:

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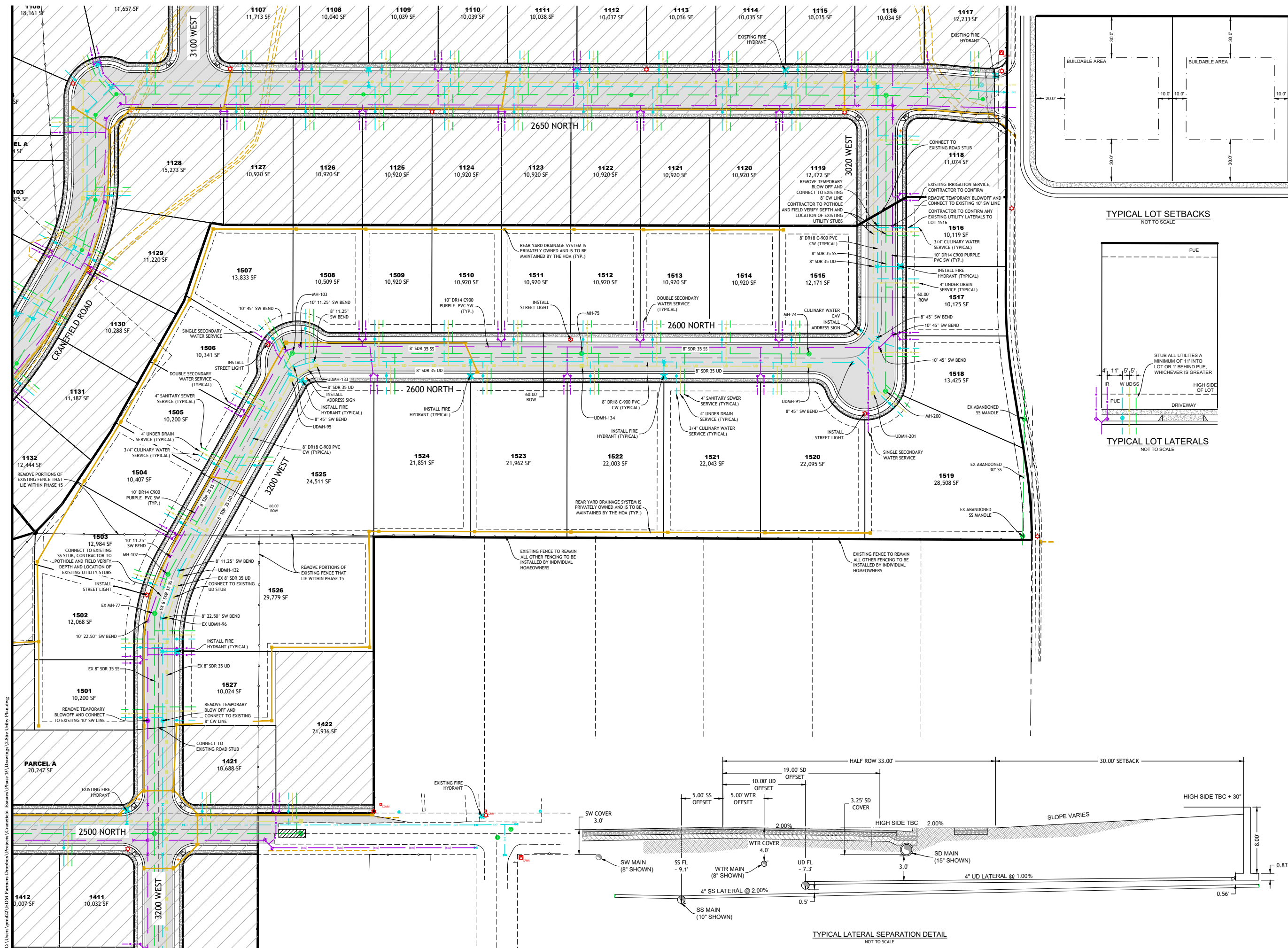


Cranefield Estates
Phase 15
Title Sheet

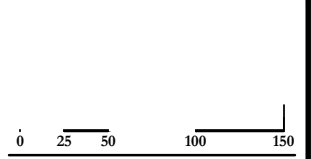
PROJECT: _____
DRAWN BY: _____ KMW
REVIEWED BY: _____ NMM
REVISIONS: _____
No. DATE REMARKS

DATE: December 28, 2023

SHEET NUMBER:
O-1



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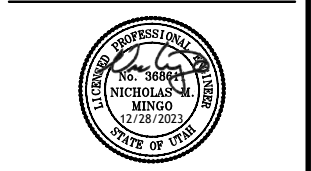


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LEGEND:

- 8" SDR 35 SANITARY SEWER
- EXISTING SANITARY SEWER
- SANITARY SEWER MANHOLE
- 8" PVC C-900 WATER LINE
- EXISTING WATER LINE
- WATER VALVE, TEE & BEND
- HYDRANT / EX HYDRANT
- 6" PVC C-900 SEC. WATER LINE
- EX. IRRIGATION OR SEC. W/ MH
- SEC. WATER VALVE, TEE & BEND
- PROPOSED STREET LIGHT
- EXISTING OVERHEAD UTILITY
- RCP CL III STORM DRAIN
- EXISTING STORM DRAIN
- SD COMBOBOX, CB & CO
- PROPOSED UNDER DRAIN
- EXISTING UNDER DRAIN
- UNDER DRAIN CLEANOUT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR

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Crane Field Estates
Phase 15
Overall Site Utility Plan

PROJECT:	REVISIONS:
DRAWN BY: KMW	No. DATE REMARKS
REVIEWED BY: NMM	

DATE: December 28, 2023
SHEET NUMBER:

O-2

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SCALE: 1" = 50'
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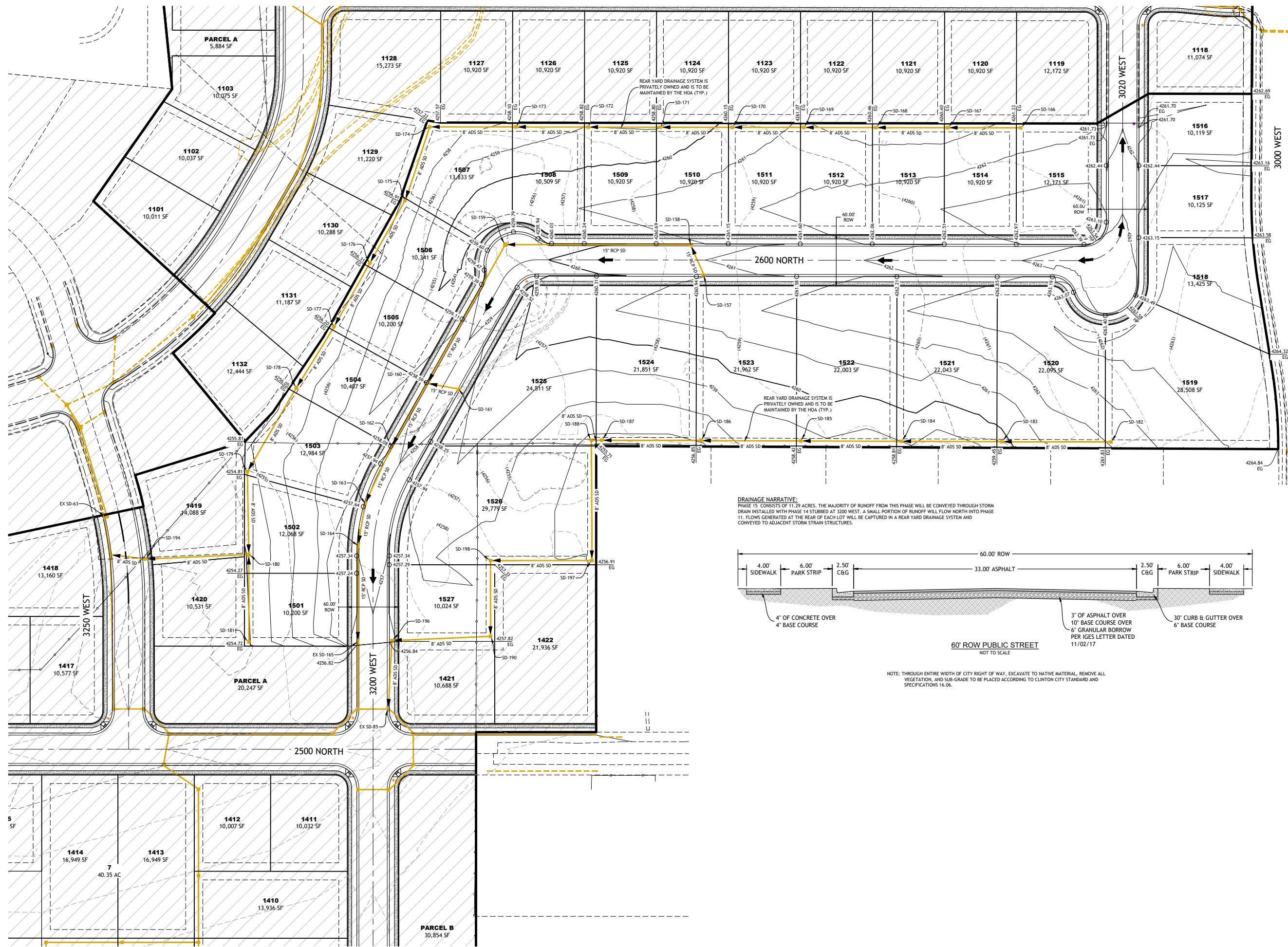
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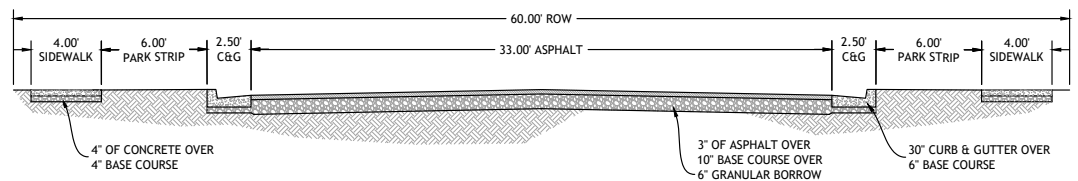
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	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR



DRAINAGE NARRATIVE:
 PHASE 15 CONSISTS OF 11.29 ACRES. THE MAJORITY OF RUNOFF FROM THIS PHASE WILL BE CONVEYED THROUGH STORM DRAIN INSTALLED WITH PHASE 14 STUBBED AT 3200 WEST. A SMALL PORTION OF RUNOFF WILL FLOW NORTH INTO PHASE 11. FLOWS GENERATED AT THE REAR OF EACH LOT WILL BE CAPTURED IN A REAR YARD DRAINAGE SYSTEM AND CONVEYED TO ADJACENT STORM STRAIN STRUCTURES.



NOTE: THROUGH ENTIRE WIDTH OF CITY RIGHT OF WAY, EXCAVATE TO NATIVE MATERIAL, REMOVE ALL VEGETATION, AND SUB-GRADE TO BE PLACED ACCORDING TO CLINTON CITY STANDARD AND SPECIFICATIONS 16.06.

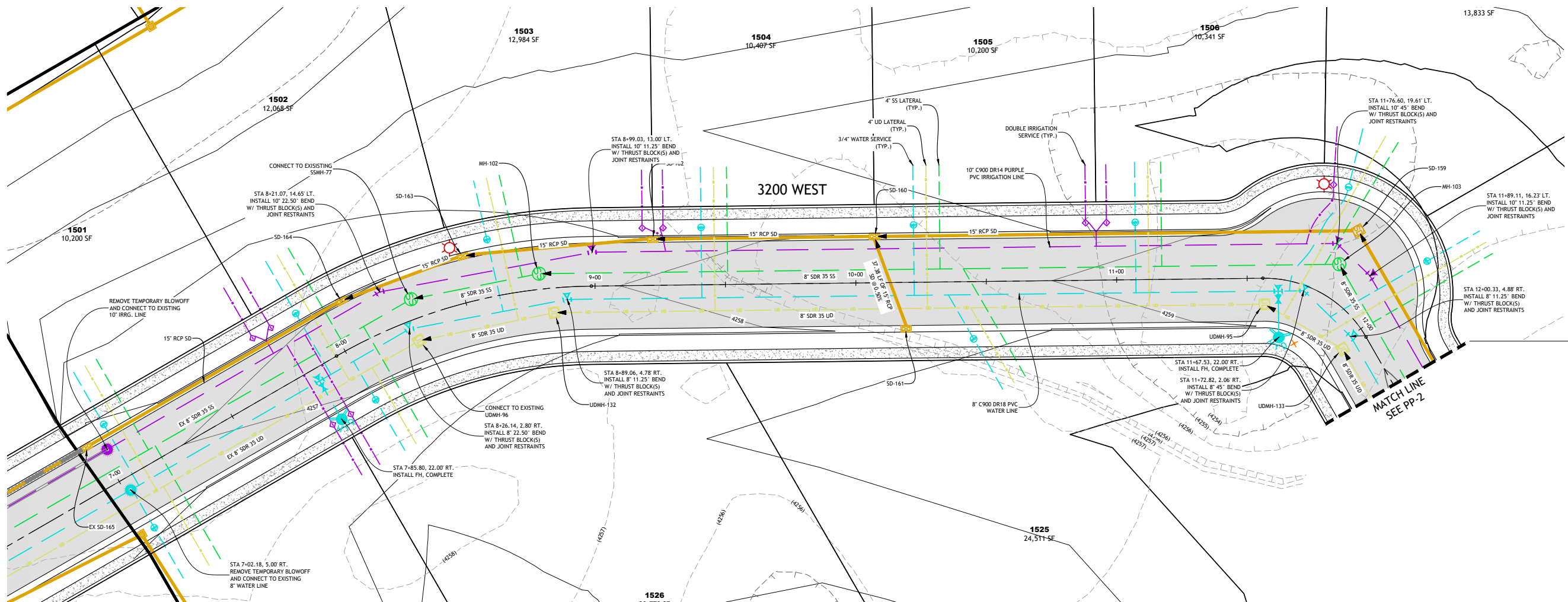


Cranefield Estates
Phase 15
 Overall Grading & Drainage Plan

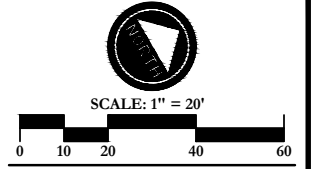
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 REVISIONS: _____
 No. DATE REMARKS

DATE: December 28, 2023

SHEET NUMBER:
O-3



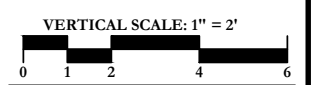
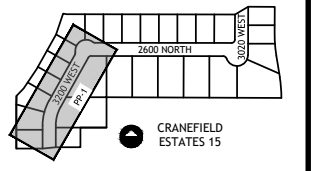
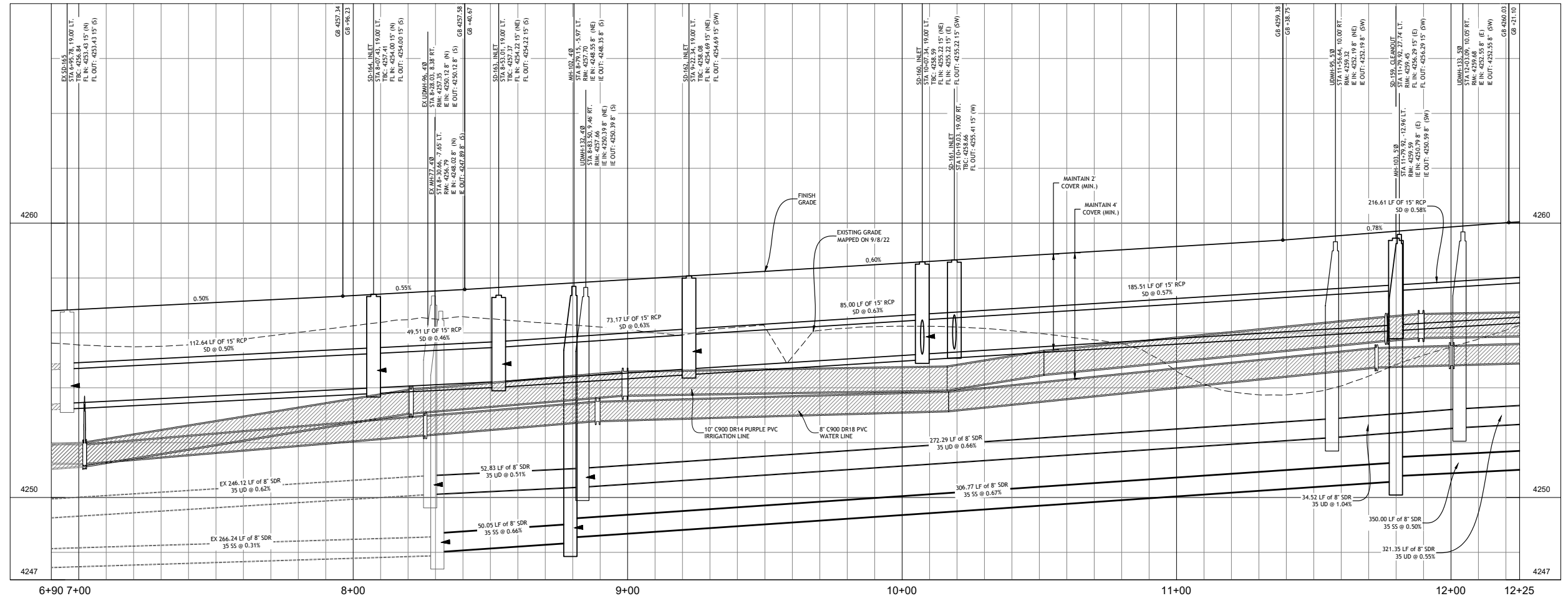
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Cranfield Estates
Phase 15
3200 West
Plan & Profile

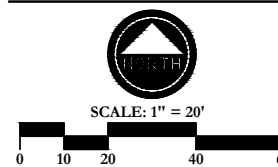
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REVIEWED BY: NMM
REVISIONS:
No. DATE REMARKS

DATE: December 28, 2023

SHEET NUMBER:
PP-1



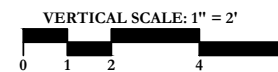
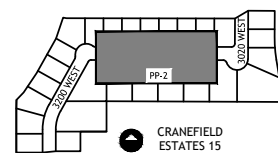
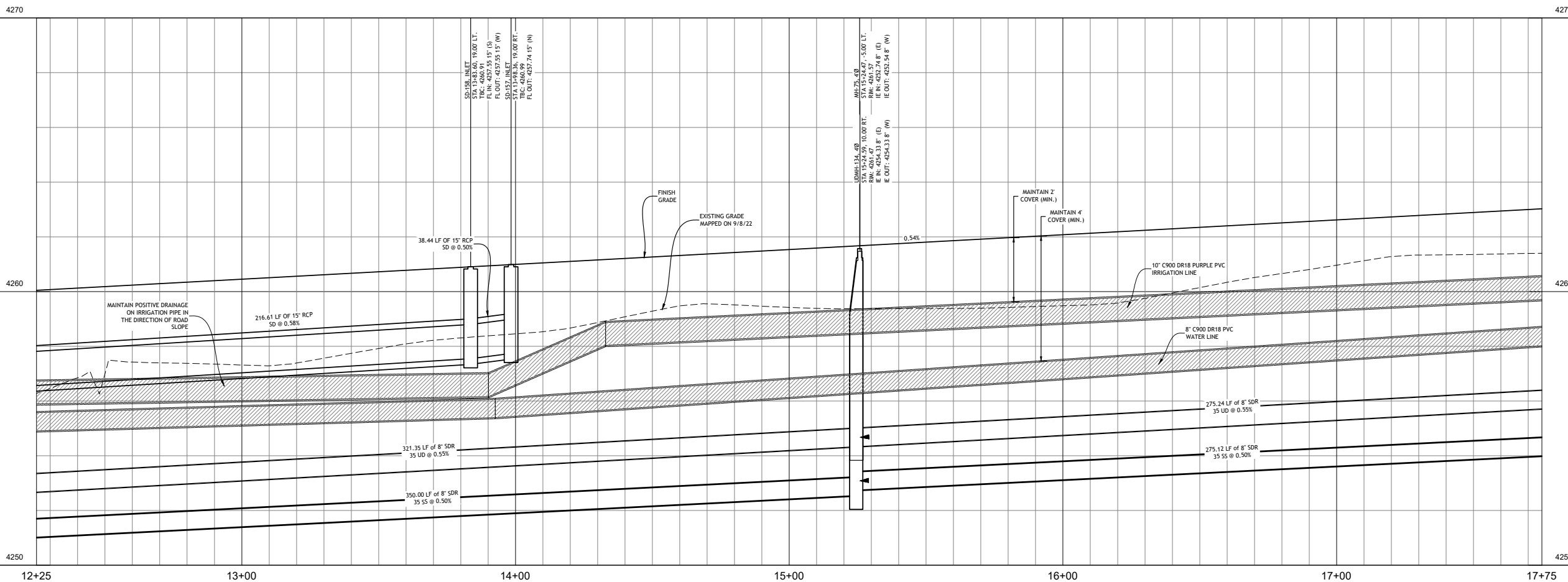
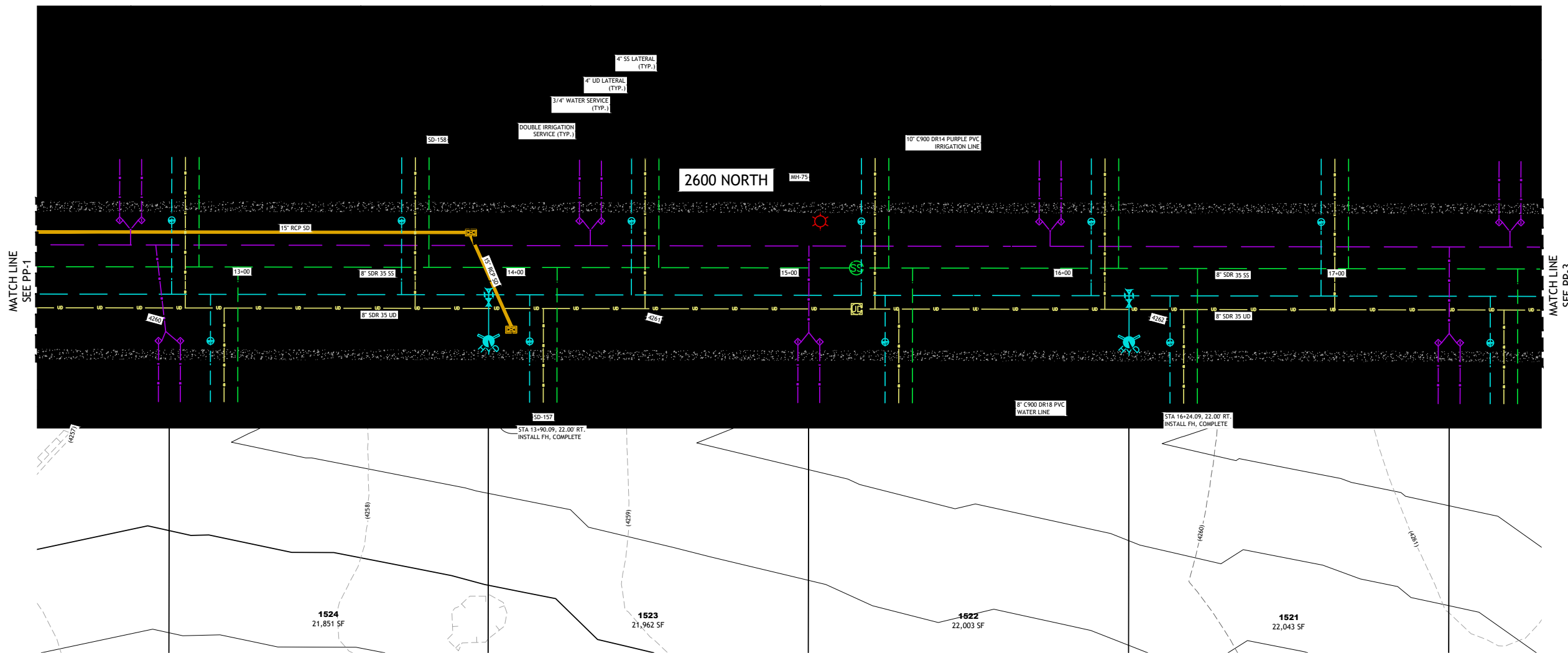
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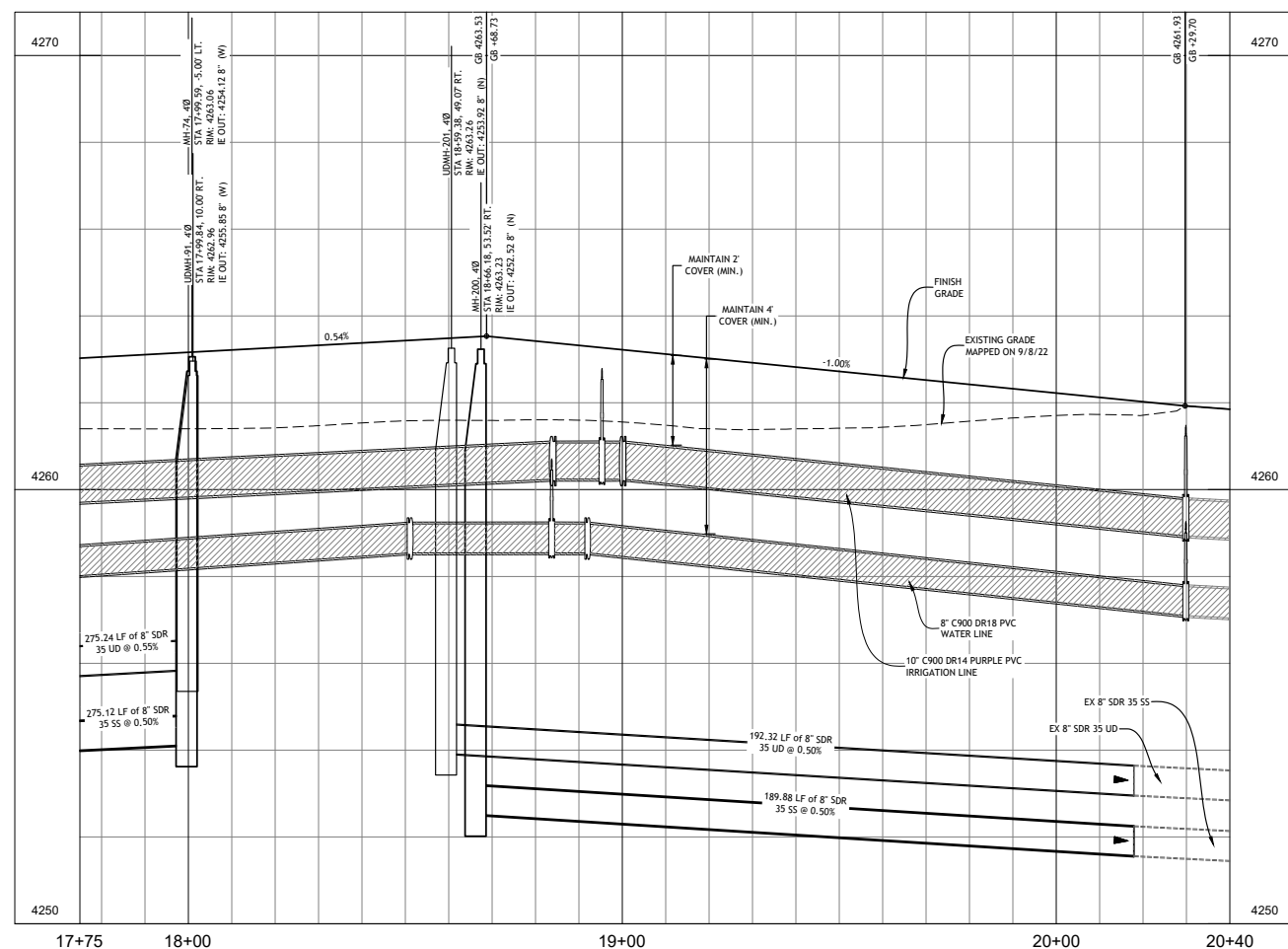
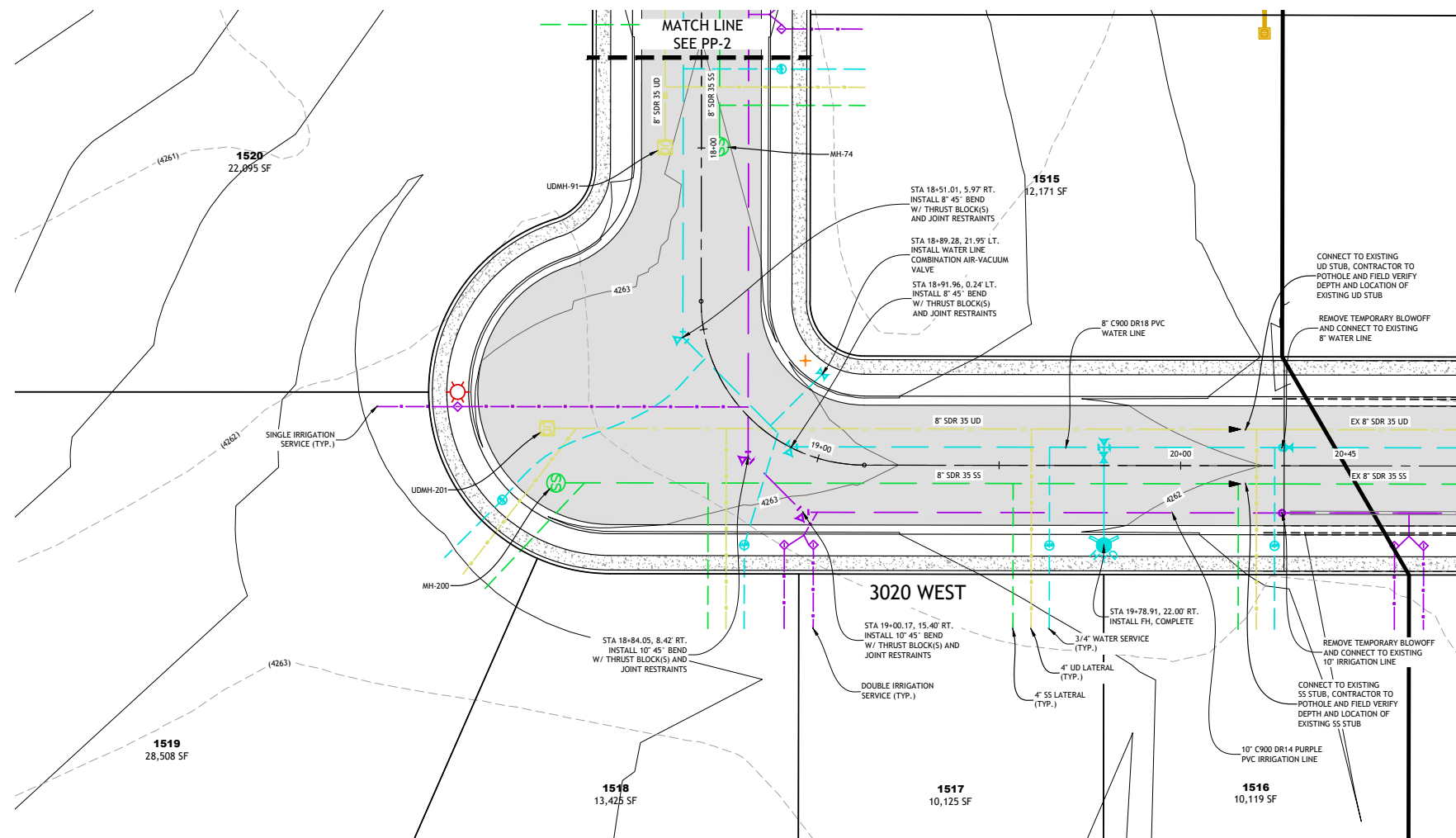
CraneField Estates
Phase 15
2600 North
Plan & Profile

PROJECT:
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REVIEWED BY: NMM
REVISIONS:
No. DATE REMARKS

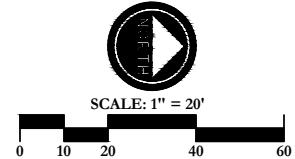
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PP-2

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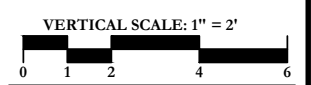
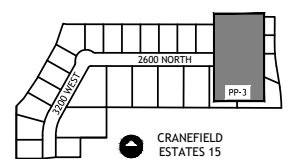
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Cranefield Estates
Phase 15
3020 West
Plan & Profile

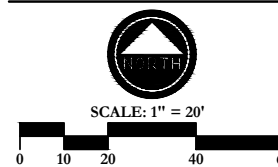
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REVIEWED BY: NMM
REVISIONS: _____
No. DATE REMARKS

DATE: December 28, 2023

SHEET NUMBER:
PP-3



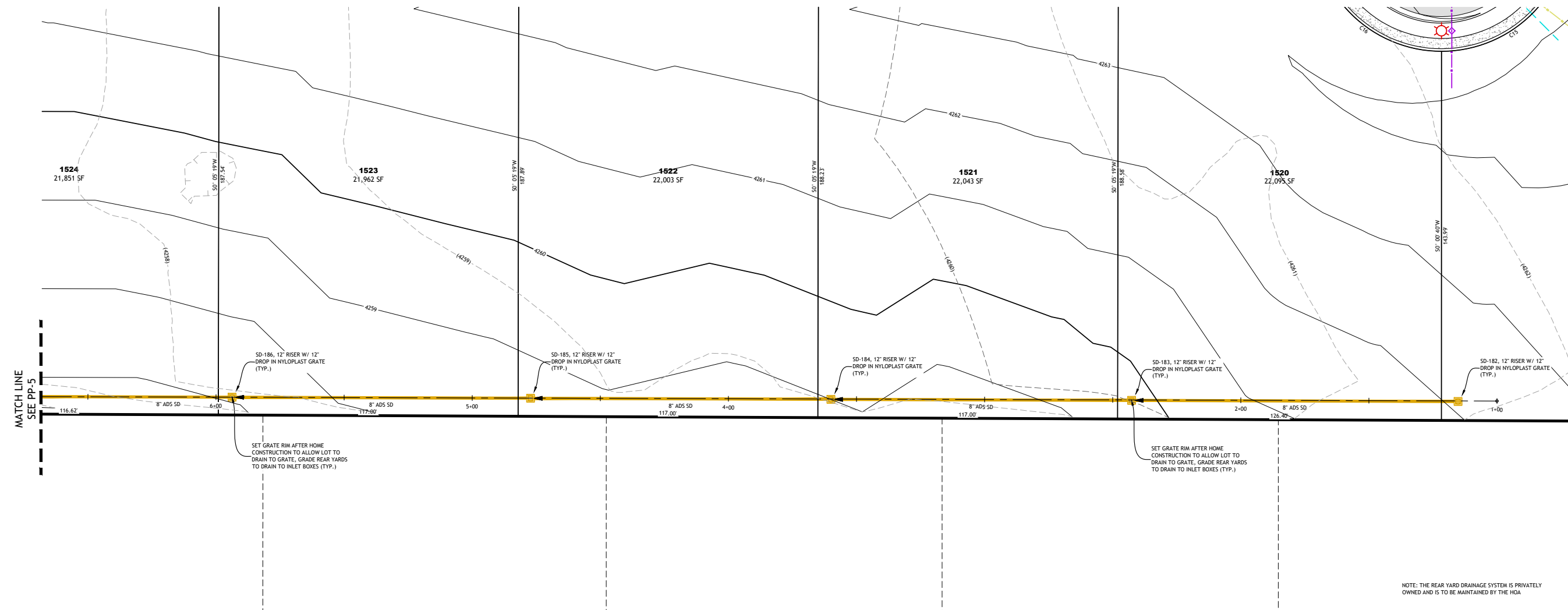
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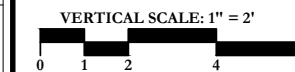
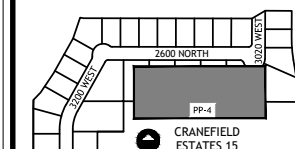
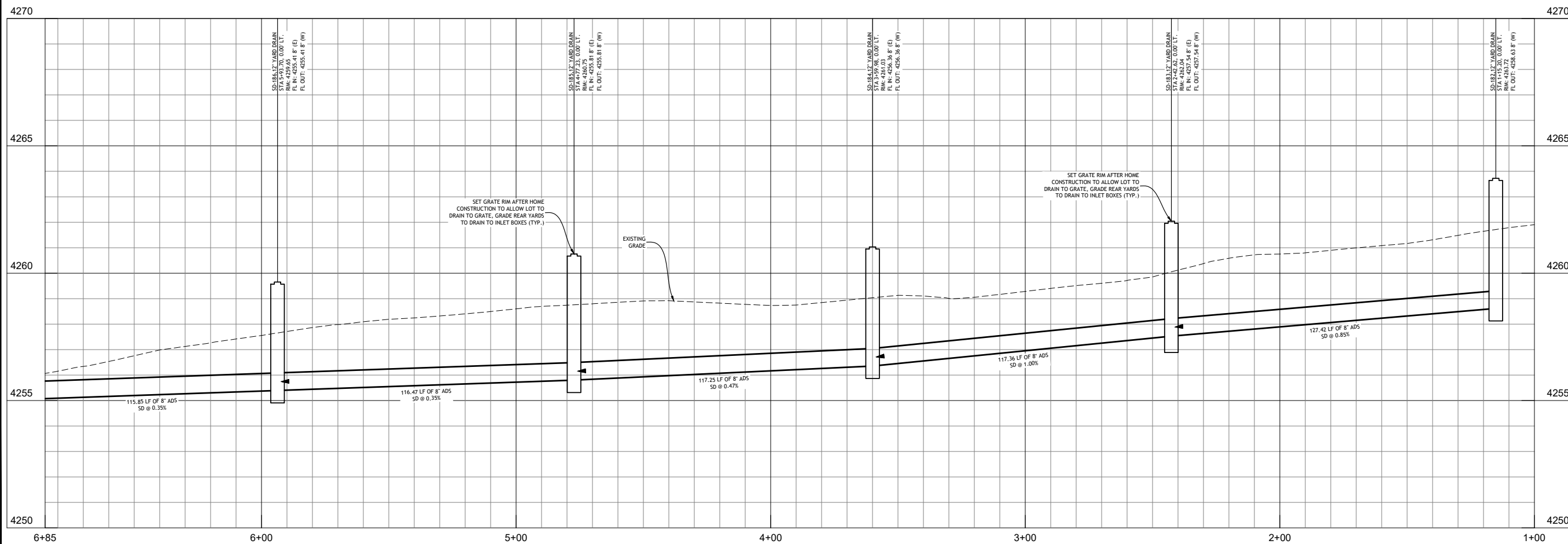
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NOTE: THE REAR YARD DRAINAGE SYSTEM IS PRIVATELY OWNED AND IS TO BE MAINTAINED BY THE HOA



CraneField Estates
Phase 15
Rear Yard Drain
Plan & Profile

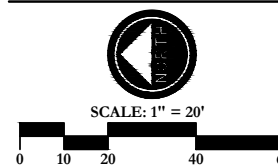
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DRAWN BY: KMW
REVIEWED BY: NMM
REVISIONS:
No. DATE REMARKS

DATE: December 28, 2023

SHEET NUMBER:
PP-4



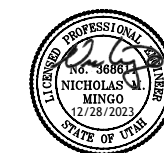
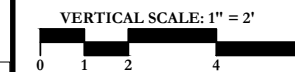
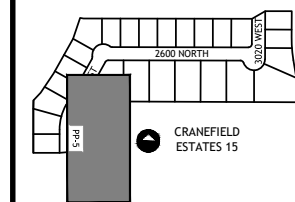
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OWNER:
Ivory Development
978 East Woodoak Lane
Salt Lake City, UT 84117
801-747-7000



- NOTES:
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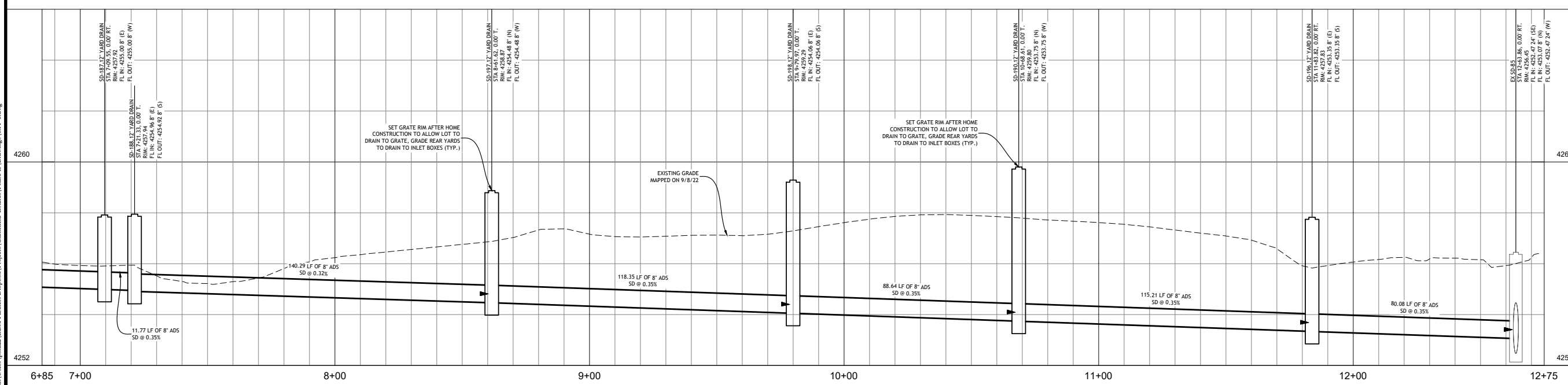
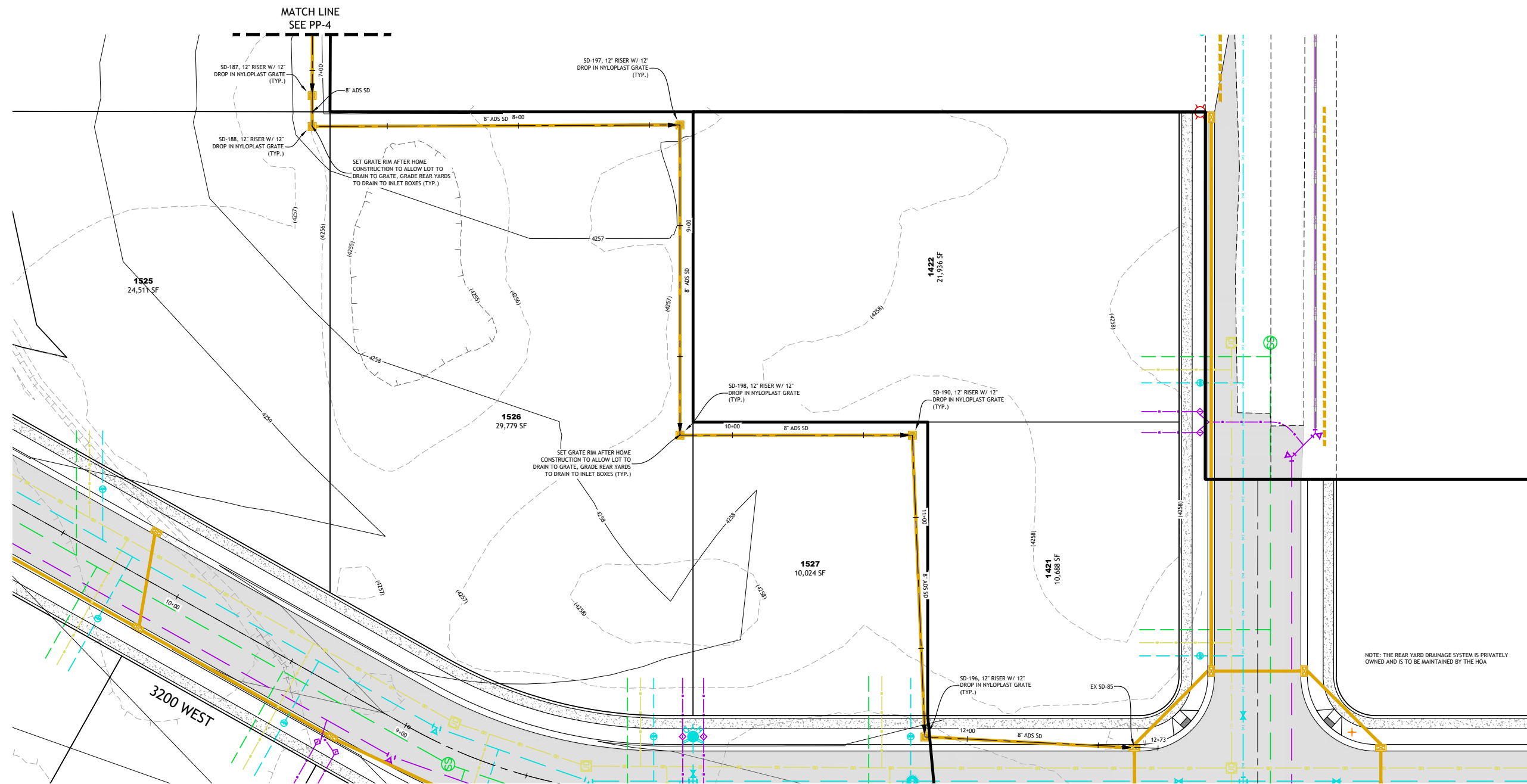


CraneField Estates Phase 15 Rear Yard Drain Plan & Profile

PROJECT: _____
DRAWN BY: _____ KMW
REVIEWED BY: _____ NMM
REVISIONS: _____
No. DATE REMARKS

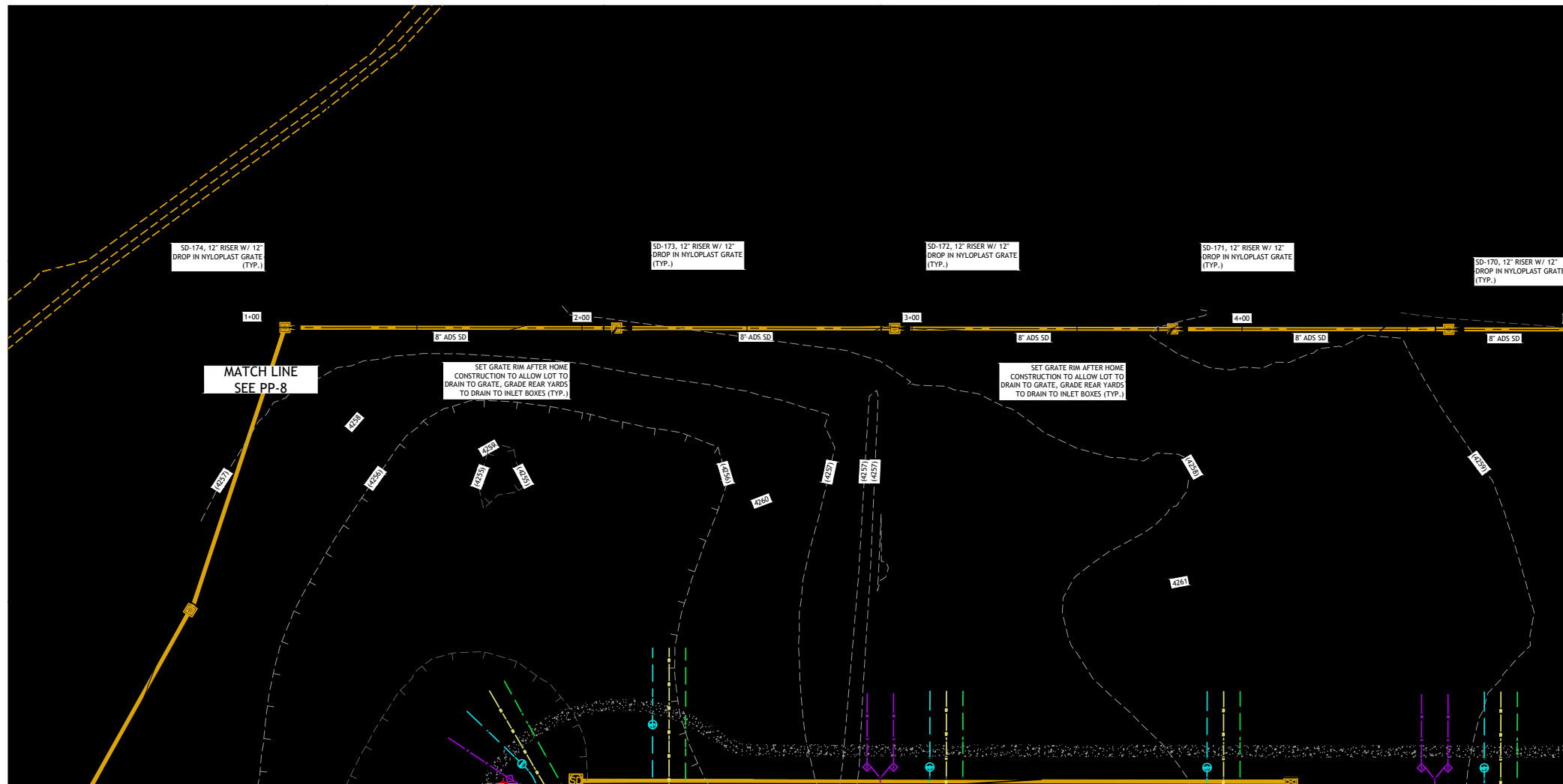
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SHEET NUMBER:
PP-5

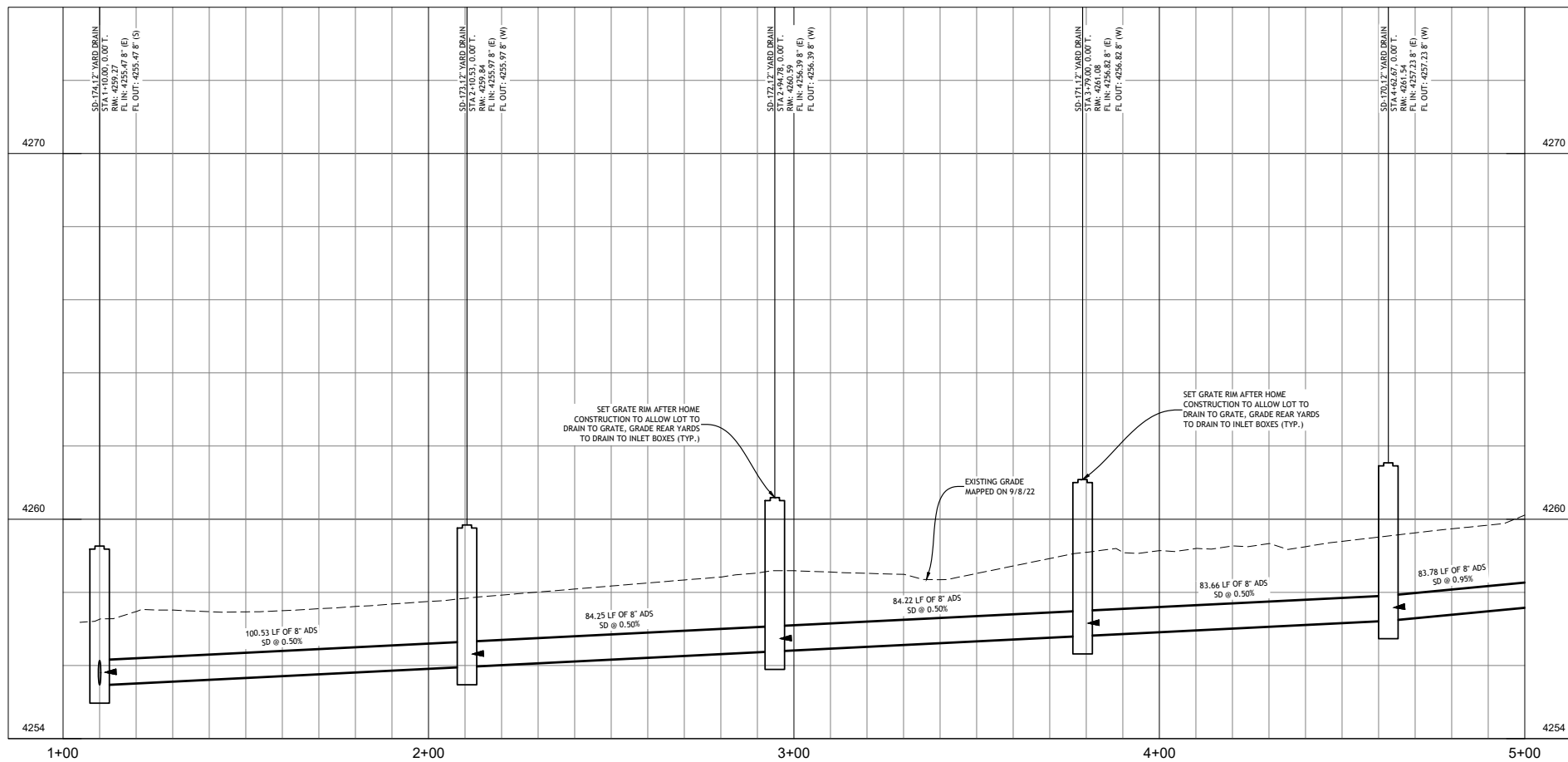


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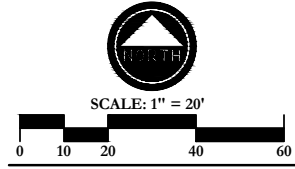
C:\Users\jmd21\EDM Partners\Projects\Cranefield Estates\Phase 15\Drawings\9 PP-6.dwg



NOTE: THE REAR YARD DRAINAGE SYSTEM IS PRIVATELY OWNED AND IS TO BE MAINTAINED BY THE HOA



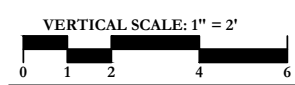
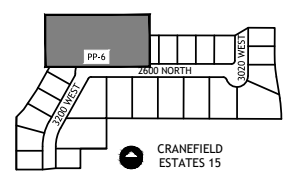
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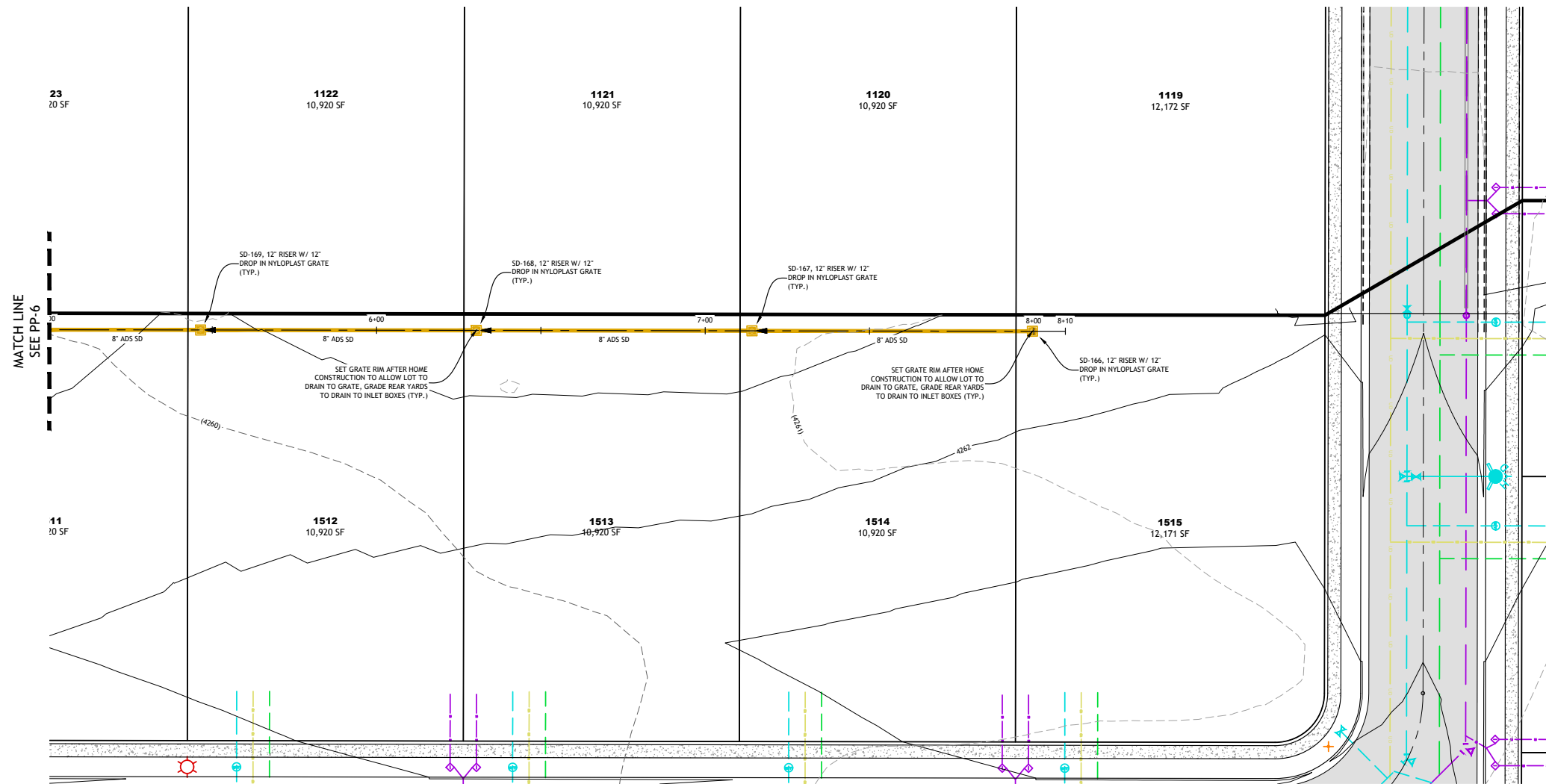


Cranefield Estates
Phase 15
Rear Yard Drain
Plan & Profile

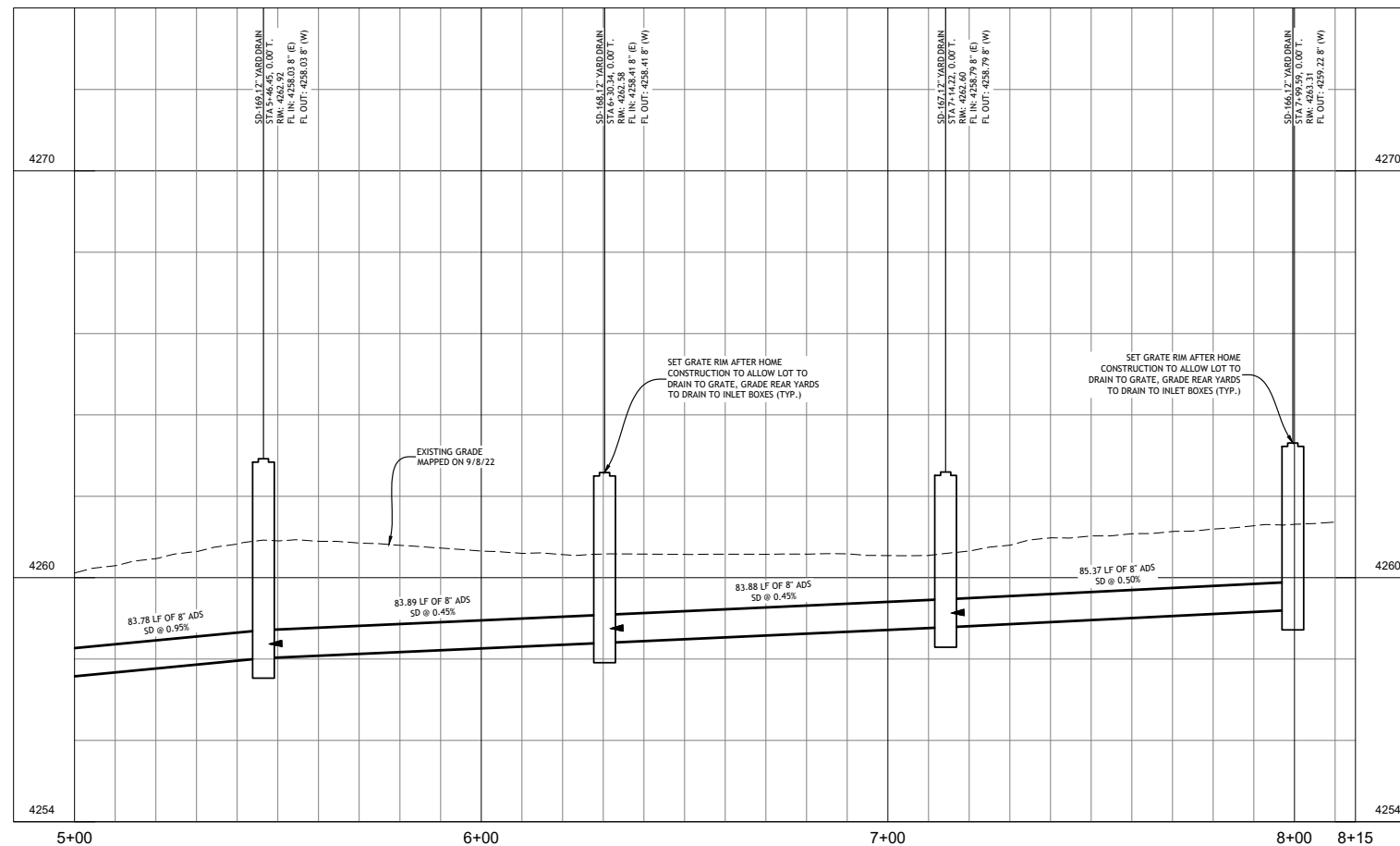
PROJECT: _____
DRAWN BY: KMW
REVIEWED BY: NMM
REVISIONS: _____
No. DATE REMARKS

DATE: December 28, 2023

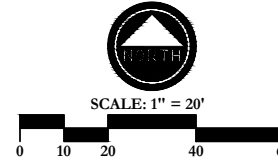
SHEET NUMBER:
PP-6



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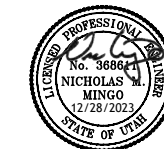
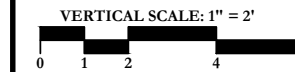
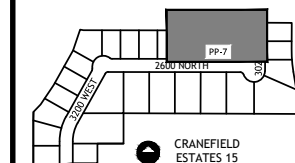
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CraneField Estates
Phase 15
Rear Yard Drain
Plan & Profile

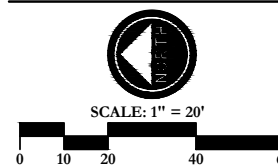
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No. DATE REMARKS

DATE: December 28, 2023

SHEET NUMBER:
PP-7



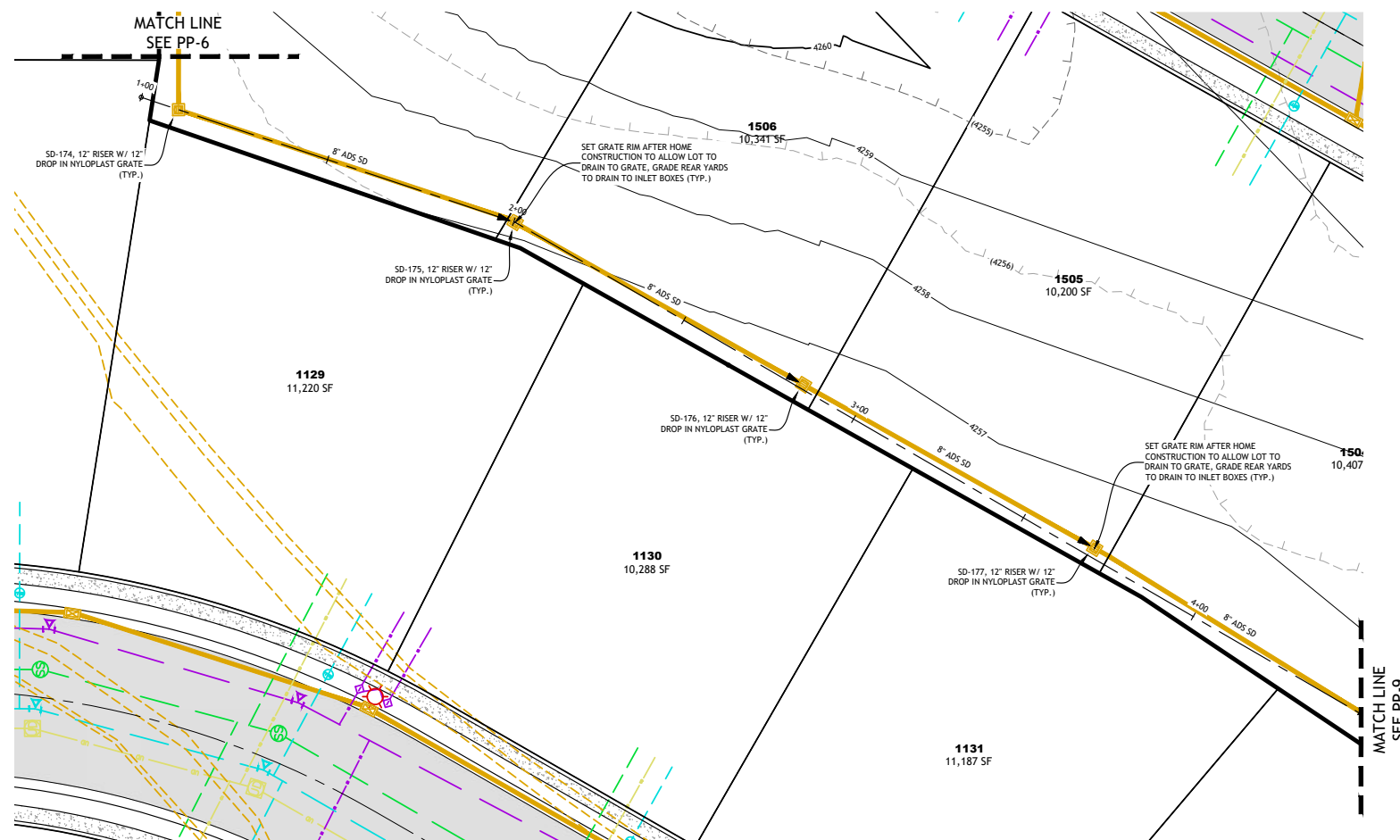
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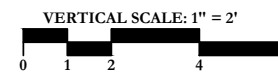
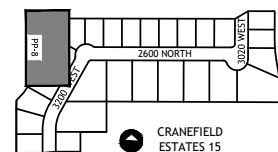
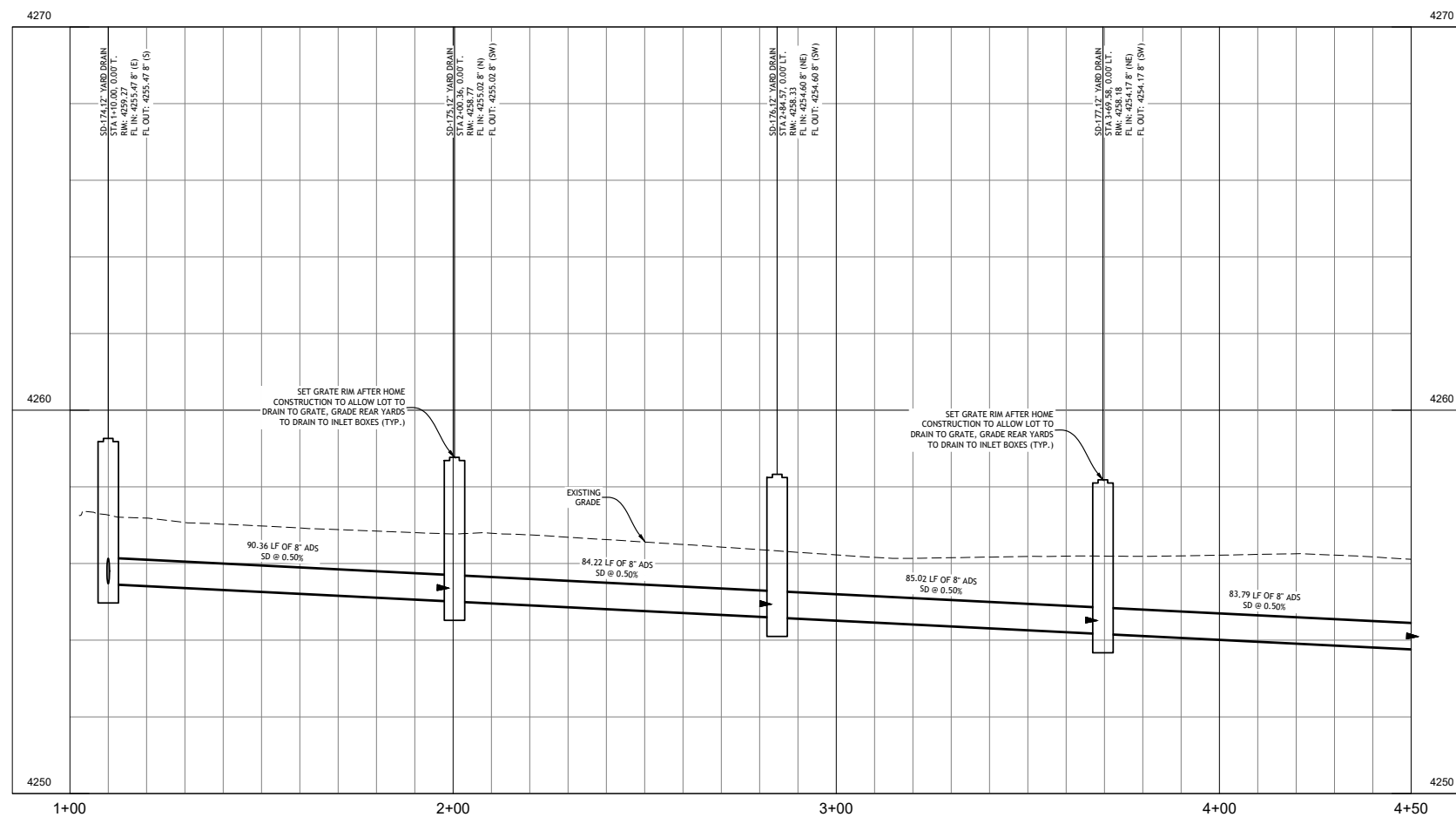
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CraneField Estates
Phase 15
Rear Yard Drain
Plan & Profile

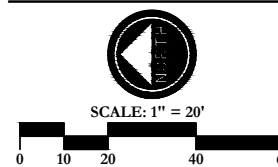
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REVISIONS: _____
No. DATE REMARKS

DATE: December 28, 2023

SHEET NUMBER:
PP-8



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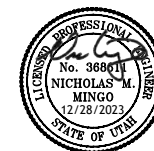
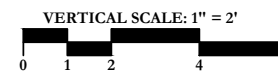
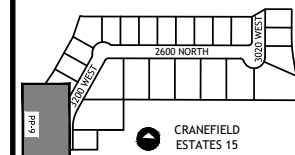
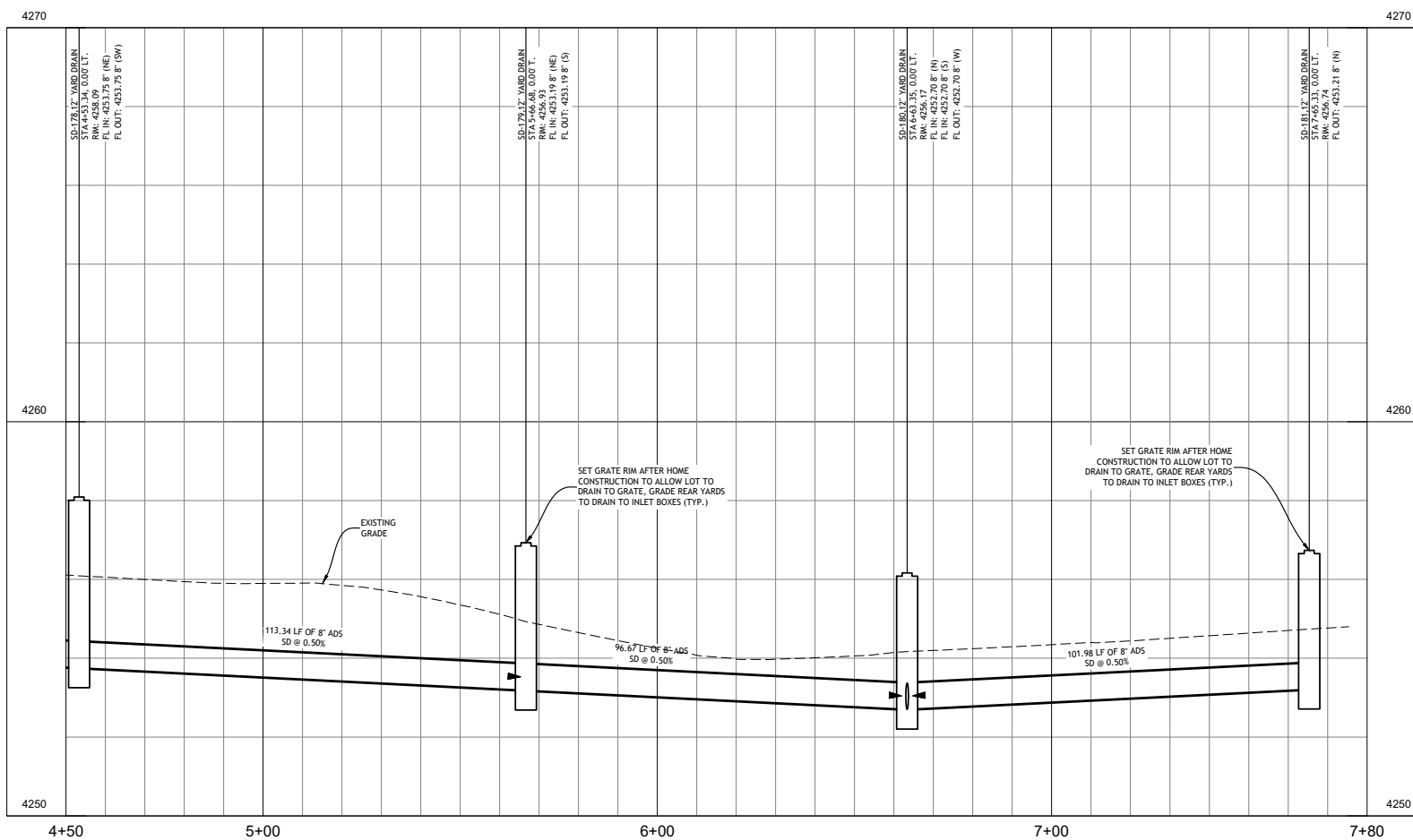
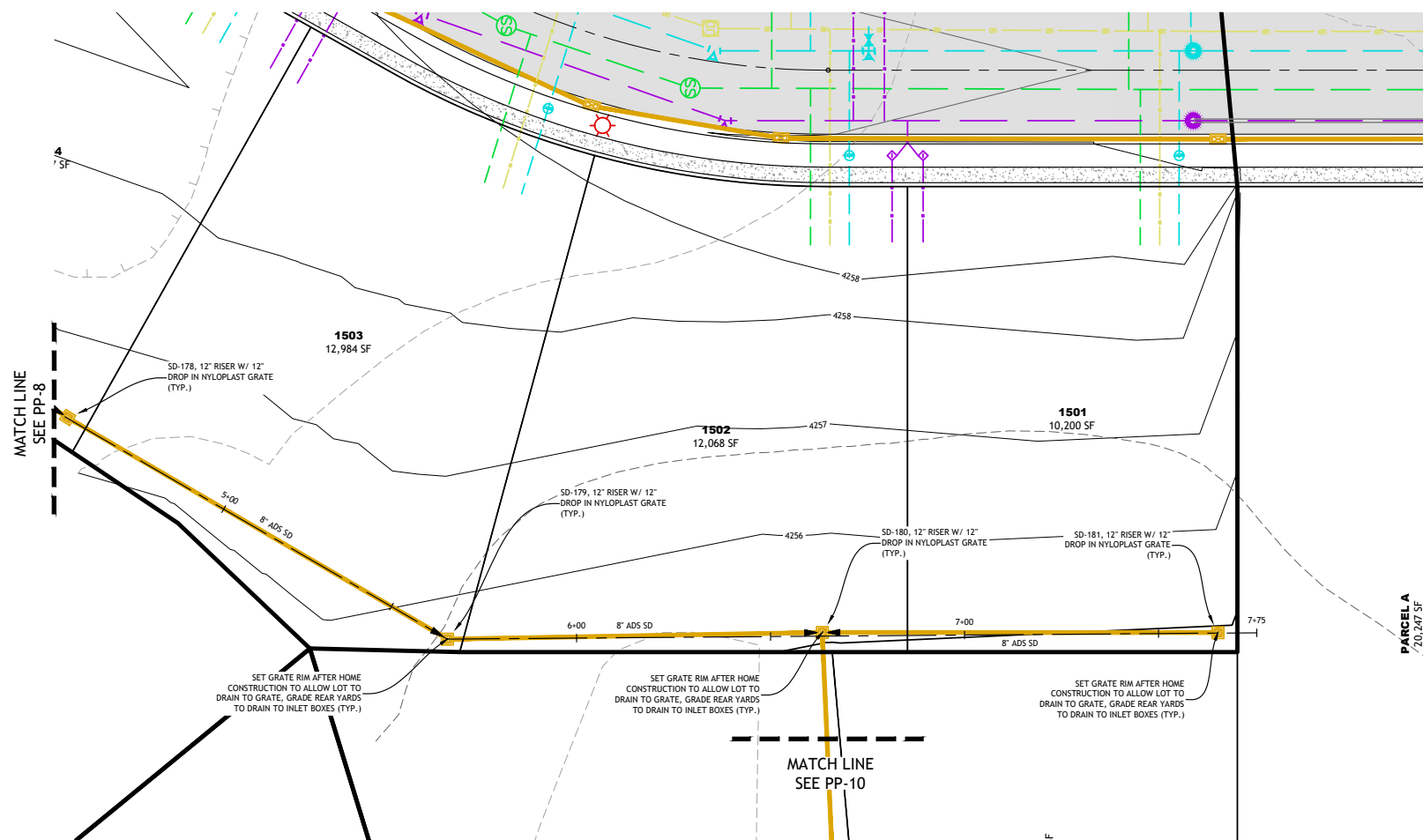


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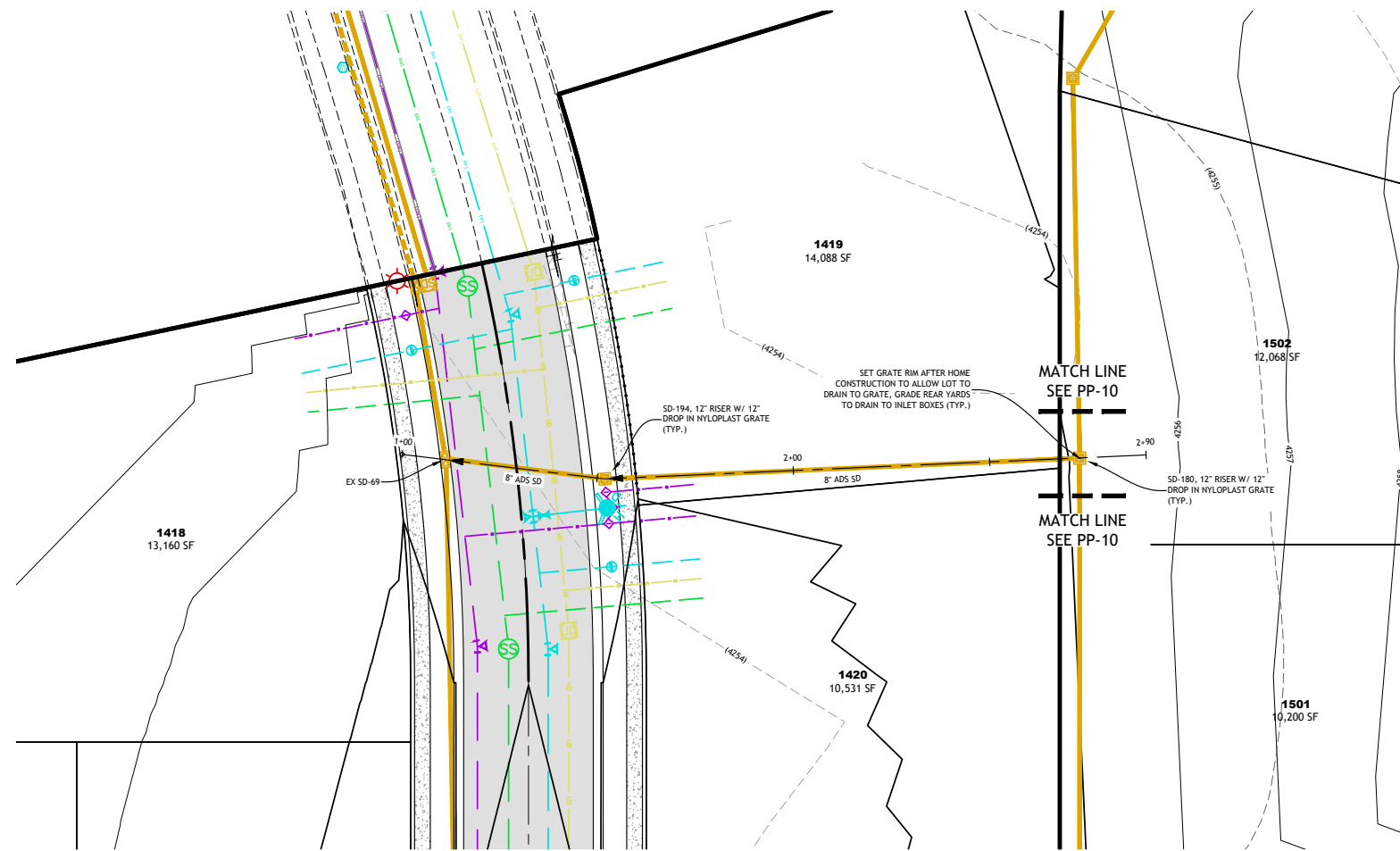


CraneField Estates
Phase 15
Rear Yard Drain
Plan & Profile

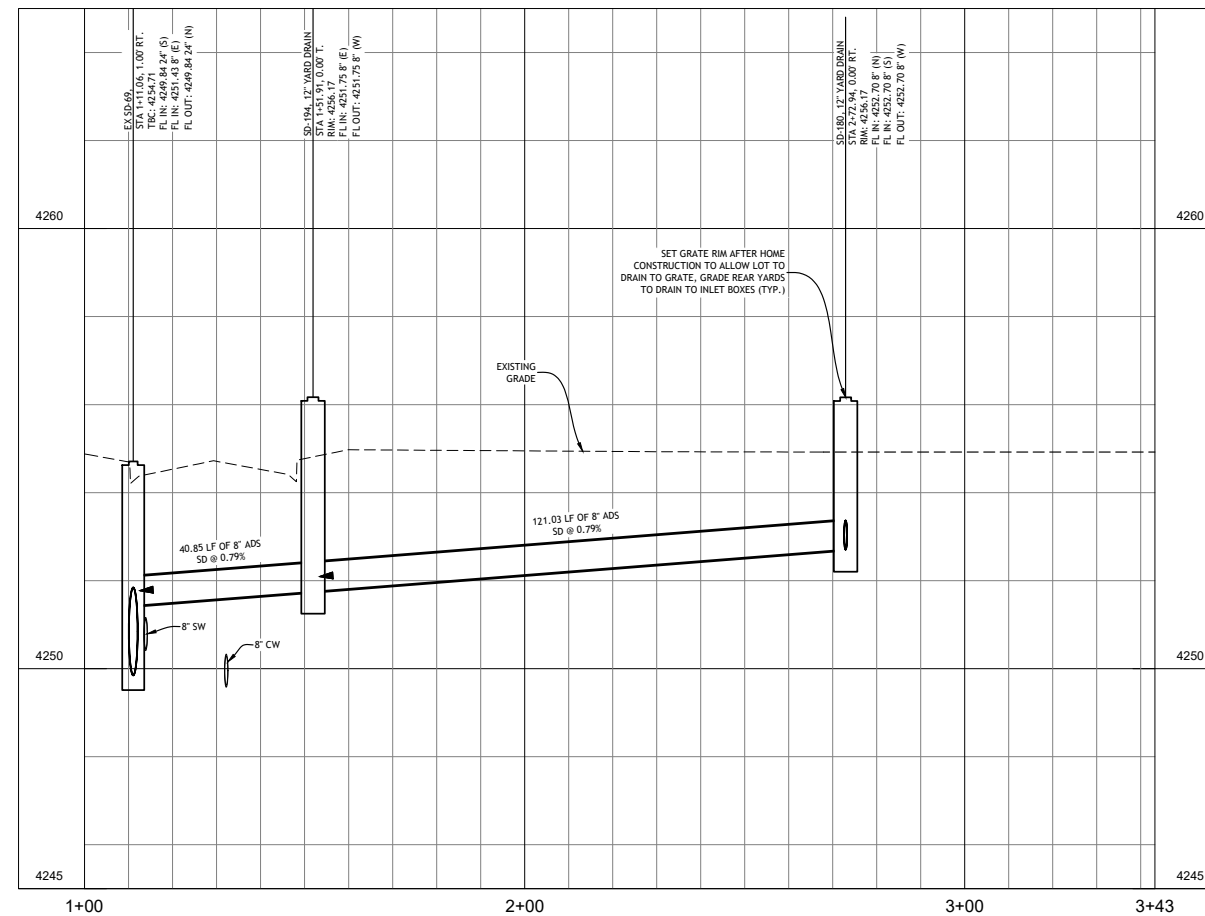
PROJECT: _____
DRAWN BY: KMW
REVIEWED BY: NMM
REVISIONS: _____
No. DATE REMARKS

DATE: December 28, 2023

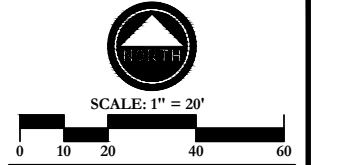
SHEET NUMBER:
PP-9



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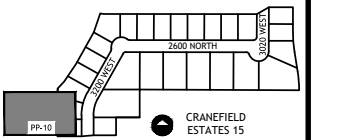
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VERTICAL SCALE: 1" = 2'



Cranefield Estates
Phase 15
Rear Yard Drain
Plan & Profile

PROJECT: _____
DRAWN BY: _____ KMW
REVIEWED BY: _____ NMM
REVISIONS: _____
No. DATE REMARKS

DATE: December 28, 2023

SHEET NUMBER:
PP-10

PLANNING COMMISSION MEETING

DISCUSSION AGENDA ITEM

SUBJECT: <i>DISCUSSION ONLY</i> – Continuation of review of possible updates to the R-M (Multi-Family Residential) Zone, Planned Residential Development overlay zone, and preview of upcoming Multi-Family Open House	AGENDA ITEM: 3
PETITIONER: Peter Matson, Community Development	MEETING DATE: January 2, 2024
RECOMMENDATION: Review and discuss possible updates to the R-M (Multi-Family Residential) Zone chapter of the Zoning Ordinance and provide feedback to staff for ordinance amendments.	ROLL CALL VOTE: N/A
BACKGROUND: Strategy 1 of the City’s Moderate Income Housing Plan identifies actions related to rezoning for densities necessary to facilitate the production of moderate income housing. This strategy specifically indicates that the city is to review and update the R-M zone to improve site and development standards and add design guidelines.	
PROPOSED CHANGES FOR CONSIDERATION: <ol style="list-style-type: none"> (1) Existing standards in the R-M zone address development of attached units between two and six units attached. The associated density range is 7-12 units per acre. The zone does not address development of stacked units typical of an apartment complex. (2) The current building setbacks are larger than what is typically found in a multi-family/townhome development. Setbacks need to be examined and updated accordingly. (3) The R-M zone does not include design standards typically found in such a code. Design guidelines can be added to this chapter or a PRUD or Condo/Townhouse zone could be considered. (4) The attached ordinance outline covers the general provisions for the ordinance amendment. The attached tables indicate proposed development standards. (5) An open house regarding multi-family zoning is scheduled for Thursday, January 4th 6-8pm in the council chambers. The intent is to gather input from the public on what kind of multi-family housing should be allowed and where. Commission members are welcome to attend. You will be included in the email announcement that goes out. Staff will present the various posters that will be used during the open house to solicit feedback. 	
ATTACHMENTS: <ol style="list-style-type: none"> 1) Proposed R-M / Planned Development Ordinance Outline 2) Townhome / Small-Lot SF development standards comparison table 	

R-M / Planned Residential Development Ordinance

Density

- **Setbacks**
 - Underlying zone
 - Overlay flexibility
- **Base Density Standards**
 - R-M 8–12 units/gross acre
 - Density bonus options for additional or upgraded amenities
 - Recreation and site amenities
 - Enclosed parking
 - Exterior building materials
 - Fencing
 - Streetscape enhancements
- **Required Open Space**
 - Accessible open space – 10%
 - Yards/limited common – 30%
 - Density bonus – 10-15%
- **Public and Private Street Widths**
 - Public with 32' asphalt
 - Private 52' with 26' asphalt
 - Private alley – 26' asphalt
 - No private drives?

Design

- **Amenities –**
 - Minimum required amenity package (base)
 - Amenity alternatives for density bonus
 - Accessible open space proximity to front doors
- **Design Guidelines**
 - Setbacks
 - Building orientation
 - Parking
 - Lighting
 - Building materials – minimum % masonry, no vinyl siding, variations per unit/home and building
 - Façade variation standards
 - Entry features
 - Roof form

Process

- **Base Zone for buildings on separate lots; Overlay for planned developments**
- **Applicable Zones**
 - R-M, R-1-6 (?)
- **Minimum Overlay Acreage**
 - Based on underlying zone?
 - Site capacity to meet open space and stormwater needs?
- **Review Process**
 - Conceptual Plan – with overlay zone or zone change.
 - Preliminary Plan and Plat
 - Final Plan and Plat
 - Preliminary and final concurrent with subdivision plat review and approval process

R-M Zone Site Development Standards

The purpose of the R-M zone is to provide medium-density attached or detached dwelling units (townhomes, twin homes, patio homes, small-lot single family) while providing usable, accessible open space and preserving the hometown feel of Clinton.

Units per building*	1	2-4	5-6
Max density (units per gross acre)	8		
Max building height (2 ½ story)	35 ft		
Min lot size	4,000 sf		
Min dwelling	1,200 sf		
Min lot width	45 ft		
Min rear setback	20 ft	15 ft	15 ft
Min interior side setback	5 ft	7.5 ft	10 ft
Min exterior/corner side setback	15 ft		
Min front setback/driveway**	22 ft		
Min major street setback	30 ft		
2-car garage	Side by side		
OPEN SPACE			
Yards/communal areas combined	30.0%		
Communal areas only	10.0%		
STREETS, DRIVES, PARKING			
Public streets	Required		
Traditional	ROW width	60 ft	
	Asphalt width	32 ft	
Private streets, drives, alleys	Not allowed		
* Buildings with backs or fronts along perimeter visible to passing or approaching traffic must be 4 units or less to preserve hometown feel.	** Driveway width must fit two cars side by side.		

I Overlay Zone Site Development Standards

The purpose of the overlay zone is to offer a density bonus and flexibility of reduced public ROW in cases where a developer contributes significant enhancements, such as dedicated public park and/or trail space. Density bonus percentage should be commensurate with enhancements contributed, not to exceed 50%. Base R-M standards apply, except the optional alterations listed below.

Units per building		1	2-4	5-6
Max density (units per gross acre)		12		
Min rear setback		15 ft	15 ft	15 ft
STREETS, DRIVES, PARKING				
Public streets		Required		
Traditional	ROW width	60 ft		
	Asphalt width	32 ft		
Reduced	ROW width	54 ft		
	Asphalt width	26 ft		
	Guest parking*	1 stall per 2 units		
* No on-street parking allowed on reduced ROW. Guest stalls must be dispersed around development. Stalls must be owned and maintained by HOA.				

CLINTON CITY PLANNING COMMISSION AGENDA ITEM

SUBJECT: <u>Planning Commission Training</u> – “A Primer on Public Meetings for Planning Commissioners” - Video	AGENDA ITEM: 4
PETITIONER: Peter Matson, Community Development	MEETING DATE: January 2, 2024
RECOMMENDATION: N/A	ROLL CALL VOTE: YES
ORDINANCE REFERENCE: N/A	
BACKGROUND: This training video is a recording from a recent multi-city planning commissioner training session held in Utah County a few weeks ago. This video includes a portion of the training session and the presenter is Wilf Sommerkorn. Wilf has 40+ years of experience with planning commissions from a variety of cities and counties across the Wasatch Front. This part of the session covers basic aspects of a planning commission meeting with specifics regarding the role of the commission and important guidelines and laws we need to follow.	
ATTACHMENTS: N/A	

CLINTON CITY PLANNING COMMISSION ITEM

<p>SUBJECT: <u>Election of Chairperson and Vice-Chairperson:</u> The Planning Commission Rules of Procedure indicate that the Commission, at the beginning of each calendar year, shall elect by a majority vote, a Chairperson and Vice-Chairperson.</p>	<p>AGENDA ITEM:</p> <p style="text-align: center; font-size: 2em;">5</p>
<p>PETITIONER: Peter Matson, Community Development</p>	<p>MEETING DATE: January 2, 2024</p>
<p>RECOMMENDATION: Move to elect a Chairperson and Vice-Chairperson</p>	<p>ROLL CALL VOTE:</p> <p style="text-align: center;">NO</p>
<p>ORDINANCE REFERENCES: Clinton City Planning Commission Rules of Procedure</p>	
<p>BACKGROUND:</p> <ul style="list-style-type: none"> (1) The duties of the Chairperson and Vice-Chairperson are outlined in the Rules of Procedure Chapter 1. In general, the Chairperson presides and conducts the meetings. (2) The Vice-Chairperson, during the absence of the Chairperson, performs all the duties and functions of the Chairperson. 	
<p>ATTACHMENTS:</p> <ul style="list-style-type: none"> (1) Planning Commission Rules of Procedure – Page 1. 	

**Clinton City Planning Commission
Rules of Procedures**

Chapter 1.	Organization
Chapter 2.	Rights and Duties of Members
Chapter 3.	Meetings
Chapter 4.	Procedures –
Chapter 5.	Amendment
Chapter 6.	Recording of Rules

Chapter 1 Organization.

- (1) Appointment of Chairperson and Vice-Chairperson
- (2) Commission Staff

(1) Appointment of Chairperson and Vice-Chairperson

The Commission, at its first regular meeting in December, shall elect by majority vote, a Chairperson and Vice-Chairperson. Said officers shall serve one year (January 1 to December 31).

(a) The Chairperson to preside at Commission Meetings.

The Chairperson shall preside at all meetings of the Commission and shall give the general direction for the meetings.

(b) Duties of the Chairperson.

(i) To take the Chair precisely on the day and at the hour for which the meeting of the Commission has been called, or to which the Commission may have adjourned, and immediately to call the Commission to order, and proceed with the order of business.

(ii) To announce the business before the Commission in the order in which it is to be acted upon.

(iii) To receive and submit in the proper manner all motions and propositions presented by the members of the Commission.

(iv) To put to vote all questions which are properly moved or which necessarily arise in the course of proceedings and to announce the results thereof.

(v) To inform the Commission when necessary, or when referred to for that purpose, on any point of order or practice

(vi) It shall be the general duty of the Chairperson of the Commission to authenticate by signature when necessary, or when directed by the Commission all of the acts and proceedings of the Commission.

(vii) To maintain order at the meetings of the Commission.

(viii) To present, each December, an annual report to the Mayor and City Council covering the actions of the Commission.

(c) Duties of the Vice-Chairperson.

The Vice-Chairperson, during the absence of the Chairperson, shall have and perform all the duties and functions of the Chairperson

(d) Temporary Chairperson.

In the event of the absence of or disability of both the Chairperson and the Vice-Chairperson, the Commission shall elect a temporary Chairperson to serve until the Chairperson or Vice-Chairperson so absent or disabled shall return or the disability shall be removed, as the case may be. In such event, the temporary Chairperson shall have all powers to perform the functions and duties herein assigned to the Chairperson of the Commission.

(2) Commission Staff

(a) Community Development Director

The Community Development Director of Clinton, as appointed by the City Manager, shall serve as staff to the Planning Commission. The staff member shall have the following duties:

(i) Within four (4) days, unless approved by the Chairperson, of each regularly scheduled Commission meeting, supply each member of the Commission sufficient materials and documents to advise the Commission members of the issues to be discussed at the meeting.

(ii) To recommend courses of actions in congruence with applicable Clinton City Ordinances.

(iii) To present reports and materials to Commission members with regard to the City's best interest.

(iv) To present staff reports, recommendations and comments on any item of business as it is put before the Commission by the Chairperson

(v) To clarify or explain any point of business as requested by the Chairperson.

(vi) To call special meetings as deemed necessary with the approval of the Chairman and/or majority of the Commission.

(b) Secretary

The Community Development Director shall appoint an individual to act as secretary for the Commission. The secretary shall have the following duties:

(i) To give notice of all Commission meetings as hereinafter provided.



2267 N 1500 W
Clinton UT 84015

Planning Commission Members

Chair – Dan Evans

Vice Chair – Dereck Bauer

Mark Gregersen

Jolene Cressall

Ed Olson

Tony Thompson

Date of Meeting	December 12, 2023	Call to Order	6:00pm.
Staff Present	Community Development Director Peter Matson and Lisa Titensor recorded the minutes.		
Attendees	Jana Moore, Sharon Bingham, J Daniels, Lori Bryson, Richard Daniels, Crista Daniels, Paul & Christy Bezzant, Dereck Terry, Gary Adair, John Diamond, Marilyn Diamond, Judy Frandsen, Beth Johnson, Richard Higginson, Preston Anderson, Larry Solien, Julie Thorne, Ashley Bailey, Mike Stanton, Bette Parkin, PamWilcock		
Prayer or Thought	Commissioner Thompson		
Pledge	Commissioner Cressall		
Roll Call/Attendance	Present were: Jolene Cressall, Mark Gregersen, Ed Olson, Dan Evans, Dereck Bauer and Tony Thompson.		
Declaration of Conflicts	There were none.		
PUBLIC HEARING: REVIEW AND POSSIBLE ACTION ON A DEVELOPMENT AGREEMENT FOR APPROXIMATELY 19.20 ACRES ZONED R-M (MULTI-FAMILY RESIDENTIAL) AND 4.20 ACRES ZONED PZ (PERFORMANCE ZONE) LOCATED AT APPROXIMATELY 2541 NORTH 2000 WEST. THE AGREEMENT ADDRESSES RESIDENTIAL DESIGN AND DEVELOPMENT STANDARDS, UTILITY SERVICES AND STREET CONNECTIONS TO THE PROPOSED DEVELOPMENT.			
Petitioner	Community Development Director Peter Matson		
Discussion	<p>On November 28, 2023, the Council approved the general plan amendment and rezone to P-Z and R-M for the subject property subject to public hearings being scheduled before the planning commission and Council to review and approve the development agreement. The Council is asking the Commission to review updates to the agreement added since the Commission’s initial review back in August 2023. The development agreement describes what the City agrees to provide (City’s undertakings) and what the owner/developer agrees to complete (Owners’ Undertakings and Rights). The Agreement includes additional sections common in most municipal development agreements including Article VII specifying that the terms of the agreement are binding on the owners, successors and assignees (future owners and developers). Updates to the Agreement since the commission’s initial review are shown in the strikeout/<u>underlined</u> text. A clean copy of the latest draft is also attached to the staff report for reference.</p> <p>The substantive language of the development agreement is found in Article IV, which describes what the Owner/developer agrees to complete based on the zoning that has been approved for the subject property. More specifically, this portion of the agreement provides guidelines and standards regarding the following:</p>		

- Maximum residential density – small-lot single-family and townhomes combined not to exceed 8.50 units per acres or no more than 163 total units;
- Residential site amenities – a primary open space area with a pickle ball court, tot lot/play structure, dog park and park benches, and a secondary open space area with a park bench and little library;
- Residential design standards for the townhomes and single family homes – architectural details, minimum masonry, roof pitch and porches;
- Residential site development standards –setbacks, lot standards, landscaping, street trees and fencing;
- HOA requirements – common area and private drive maintenance, parking enforcement and garbage can placement;
- Safety standards – no construction access through adjacent neighborhoods, and purchase and installation of two digital speed signs on 2650 North and 2100 West with all costs covered by owner/developer;
- Public/private utilities and street connections – connection and access to 2000 West constructed with first development phase and concurrently with the residential street connections.

Once the development agreement is approved, it will be recorded against each of the parcels within the subject area, and any future owners or developers will be required to adhere to the agreement standards.

Commissioner Gregersen asked regarding the roads what the future improvements through the adjoining property to the south would be.

Mr. Matson clarified it would be a public road connection. There will be minimal improvements on the south side until the property to the north develops.

Commissioner Bauer stated he feels this is too high of density to border the larger lots to the west. He feels that the General Plan should be updated prior to considering a rezone. He is also concerned with the width of the roads. Safety is most important.

Commissioner Cressall agrees with Commissioner Bauer. She feels the General Plan update should take place first. She referred to title 28-15 regarding multi-family housing. She found five instances in the development agreement that conflict with that title. She is not in favor of setting a precedent. She would like the City ordinances updated prior to considering a rezone. City department heads and staff comments and concerns should be a consideration. She would also like to see larger lots buffer the existing homes. She feels narrow roads are a huge concern not only for safety but for garbage and parking. She is in favor of four unit town homes. She agrees the city needs to provide additional housing, but not this way. She referred to the following items in the code that the development agreement does not follow:

- Lot area square feet
- Lot width
- Side interior dwelling
- Minimum interior corner side setback
- Rear setback

Commissioner Thompson expressed concern over the tot lot and who would own it after the specified period of time. Regarding the lot standards, he asked for clarification of what would be allowed on the rear yard setbacks.

	<p>Mr. Matson responded anywhere from 16’ to 23’ depending on the size of the lot and the floor plan. The lots are from 81’ to 91’ deep. He suggested the agreement could identify a range.</p> <p>Dereck Terry stated the home plans proposed for this project has one home plan that has a larger square footage which will create a 15’ back yard. The agreement will not allow building two of those homes back to back; 15’ will be the minimum.</p> <p>Commissioner Thompson stated if the intent is not to build the same floor plan back to back, it should be identified in the development agreement.</p> <p>Commissioner Gregersen asked about paragraph 14 regarding infrastructure and if the developer will install the sewer line.</p> <p>Mr. Terry confirmed the developer will put in the sewer line. He explained once all the items in the development agreement have been accomplished, it will be turned over to the HOA for continued maintenance.</p> <p>Commissioner Evans opened the public hearing at 6:32 pm.</p> <p>Paul Bezzant stated he agrees that the general plan should be taken into consideration. He does not feel this development will be congruent with the existing homes. He feels this is the worst location for a high density development due to the traffic on 2000 West. He feels that the City Council should follow the Planning Commission’s recommendation of land use. This needs to be looked into further.</p> <p>Marilyn Diamond stated her grandparents bought the property 125 years ago. It has been used for farming. This is no longer an option. Water is a huge issue and has made farming almost impossible. Clinton has changed. She would prefer the way Clinton used to be as well, but due to the changes Clinton has made, this property also needs to be changed. This plan fits in with what is being asked by Utah Governor Cox for smaller lots and water conservation.</p> <p>Commissioner Evans closed the public hearing at 6:39 p.m.</p> <p>Commissioner Gregersen clarified the Planning Commission is not a legislative body. They can only make recommendations to the City Council. He does not feel this development is appropriate for this area and is concerned with the narrow roads.</p>
<p>CONCLUSION</p>	<p><i>Commissioner Cressall moved not to forward a recommendation on to the City Council to adopt Resolution 20-23 approval of a Development Agreement, with any recommended changes, for approximately 19.20 acres zoned R-M (Multi-Family Residential) and 4.20 acres zoned PZ (Performance Zone) located at approximately 2541 North 2000 West (Parcels 13-490-0028, 13-049-0009, 13-049-0013, 13-049-0014, and 13-049-0015). Because the multi family portion of the code needs to be updated and the development agreement should follow Chapter 28 section 15 including larger lots, no private drives, more open space and four unit town homes. Commissioner Gregersen seconded the motion. Voting by roll call is as follows: Commissioner Bauer, aye; Commissioner Cressall, aye; Commissioner Gregersen, aye; Commissioner Olson, Commissioner Thompson aye; and Commissioner Evans, aye.</i></p>
	<ul style="list-style-type: none"> ● Approval of November 21, 2023 Planning Commission Meeting Minutes. <i>Commissioner Cressall moved to approve the minutes of the November 23, 2023 Planning Commission Meeting. Commissioner Olson seconded the motion. Commissioners Cressall, Gregersen, Olson, Thompson and Evans voted in favor. Commissioner Bauer abstained because he was not in attendance.</i> ● Directors Report: Commission Comments: The next meeting will be held in January. A review of an expired conditional use permit will be addressed. Cranefield Subdivision phase 15

	will also be on the agenda.
OTHER ISSUES	<ul style="list-style-type: none"> • There were none.
ADJOURNMENT	<p><i>Commissioner Bauer moved to adjourn. Commissioner Thompson seconded the motion. Commissioners Bauer, Cressall, Gregersen, Olson, Thompson and Evans voted in favor. The meeting adjourned at 6:50 pm.</i></p>

*Dated this th day of December, 2023
/s/Lisa Titensor, Clinton City Recorder*