



**PARK CITY HISTORIC PRESERVATION BOARD
SUMMIT COUNTY, UTAH
December 6, 2023**

The Historic Preservation Board of Park City, Utah, will hold its regular meeting in person at the Marsac Municipal Building, Council Chambers, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online with options to listen, watch, or participate virtually. [Click here for more information.](#)

1. ROLL CALL

2. MINUTES APPROVAL

- 2.A. Consideration to Approve the Historic Preservation Board Meeting Minutes from November 1, 2023

3. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

4. PUBLIC COMMUNICATIONS

5. CONTINUATIONS

- 5.A. **844 Empire Avenue - Material Deconstruction** - The Applicant Seeks Material Deconstruction Approval to Construct a Side Addition on a Significant Historic Structure in the Historic Residential - 1 Zoning District. PL-22-05350 (Continued from 11/01/2023 Meeting)
(A) Public Hearing; (B) Continue to January 3, 2024

6. REGULAR AGENDA

- 6.A. **959 Park Avenue - Material Deconstruction** - The Applicant Proposes to Replace the North Foundation Wall on a Landmark Historic Site. PL-23-05892.
(A) Public Hearing; (B) Action
- 6.B. **Fiscal Year 2024 Q1 Historic District Grant Program** - The Historic Preservation Board will Review the 2024 Q1 Grant Applications and Determine the Awardees.
- 6.C. **Historic District Design Guideline Updates** - The Historic Preservation Board Will Review Draft Illustrations for Land Management Code Chapter 15-13 *Design Guidelines for Historic Districts and Historic Sites*, Amendments to Maximum Driveway Designs in the Historic Districts, Removal of the Requirement that Non-Historic Structures Have an Opaque Finish, and Minor Corrections.
(A) Public Hearing; (B) Recommendation for the Planning Commission's Consideration on December 13, 2024

7. WORK SESSION

- 7.A. **Temporary Structures Design Regulations – Work Session** – The Historic Preservation Board Will Review Proposed Design Standards for Temporary Structures Including Tents, Alpenglobes, Enclosures, and Other Structures Erected on a Temporary Basis.

(A) Public Input

8. ADJOURNMENT



**PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD MEETING
MARSAC MUNICIPAL BUILDING
COUNCIL CHAMBERS
445 MARSAC AVENUE
PARK CITY, SUMMIT COUNTY, UTAH
MINUTES OF NOVEMBER 1, 2023**

BOARD MEMBERS IN ATTENDANCE: Randy Scott-Chair, Lola Beatlebrox, Puggy Holmgren, John Hutchings, Jack Hodgkins

EX OFFICIO MEMBERS: Rebecca Ward, Assistant Planning Director; Caitlyn Tubbs, Senior Historic Preservation Planner; John Robertson, City Engineer; Dave Thacker, Chief Building Officer; Jaron Ehlers, Planning Technician; Mark Harrington, City Attorney

1. ROLL CALL

Chair Randy Scott called the meeting to order at 5:02 p.m. and conducted a roll call. All Board Members present were in chambers with the exception of Board Member Jack Hodgkins, who participated remotely, and Board Member Alan Long, who was absent.

2. MINUTES APPROVAL

A. Consideration to Approve the Historic Preservation Board Meeting Minutes from October 4, 2023.

Board Member Holmgren noted a repeated error in identifying Board Member Douglas Stephens as “Mayor Pro Tem” when in fact he served as Chair Pro Tem.

MOTION: Board Member Holmgren moved to APPROVE the Historic Preservation Board Meeting Minutes from October 4, 2023, as corrected. Board Member Hutchings seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

3. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

There were no Staff or Board Communications or Disclosures.

4. PUBLIC COMMUNICATIONS

There were no public communications.

5. REGULAR AGENDA

A. 2024 Regular Meetings - Consideration to Adopt the Historic Preservation Board Regular Meeting Dates for 2024.

Chair Scott reported that a calendar invite had, or shortly would, go out for the 2024 Historic Preservation Board Meeting dates. He asked if there were any issues with the dates.

MOTION: Board Member Beatlebrox moved to APPROVE the Calendar of Regular Meetings for 2024. Board Member Holmgren seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board. Chair Scott noted that he could not hear Board Member Hutchings' vote, however, a quorum was present and the vote was unanimous.

B. 1003 Norfolk Avenue - Material Deconstruction - The Applicant Seeks Approval for Material Deconstruction for a Portion of a Landmark Historic Structure to Facilitate the Construction of a Rear Addition in the HR-1 Zoning District. PL-23-05845.

Senior Historic Preservation Planner, Caitlyn Tubbs reported that the above item previously came before the Board. 1003 Norfolk Avenue is within the Historic Residential – 1 (“HR-1”) Zoning District and is located at the corner of Norfolk Avenue and 10th Street. She presented a current photograph of the front façade of the home. With regard to the history of the home, she reported that the 1900 Sanborn Maps show that it has a smaller footprint than exists today with a wrap-around porch at the front corner of the house. The presented photograph showed a seam in the wall that indicates where the porch was walled off sometime between 1900 and 1907. Planner Tubbs stated that there was an addition to the rear of the home in 1907 and a further addition to the rear of the home, circa 1941.

In November 2020, a complete Historic District Design Review application was received for the property. In February 2021, the Board approved the proposed Material Deconstruction. Thereafter, in April 2022 the Planning Director at that time approved the Historic District Design Review. Because the applicant did not apply for a Building Permit within one year of these approvals, the approvals expired pursuant to the provisions in the Land Management Code. She stated that the current proposal was the same and no changes were made to what was previously approved.

Planner Tubbs reminded the Board that the applicant is proposing to remove the post-1900 additions performed in 1907 and 1941 and restore the 1900 footprint of the home. The applicant also proposed to remove the gambrel roof overbuild that covers the rear additions. The proposal also sought to restore the wrap-around porch as seen in the original 1900 Sanborn Map. She added that the applicant also proposed to convert an Accessory Building into a detached garage. The garage had been on the site since the 1940s and was considered Historically Contributing to the site. The applicant also sought to construct a rear addition and replace some windows and the front door.

Planner Tubbs presented a diagram showing the original 1900 footprint of the home, as well as the 1907 and 1941 additions. She explained that the applicant proposed to restore the footprint highlighted in purple. With regard to the gambrel-overbuilt roof that sits on top of the two additions, Planner Tubbs noted it was not one of the more common roof shapes seen in Old Town. She showed an image that depicted how the previously existing roof remained underneath the overbuild. The applicant would remove the gambrel roof and restore the historic roof form.

Planner Tubbs next presented images of the detached garage that reflected both the current conditions and historical conditions of that garage. With regard to the front door, she advised that it had suffered severe water damage. The applicant proposed to document the front door and diagram all of its features in order to create a custom replication of that door. There would be no alteration of the door location or opening dimension; rather, there would be a like-for-like replacement.

Planner Tubbs reported there are seven historic window openings proposed to be replaced. Staff recommended the windows be surveyed before removal to ensure that they were not salvageable in any way. If any windows can be salvaged, they would need to be kept in place; however, based on the Physical Conditions Report attached to the Packet, the windows had also sustained some fairly severe water damage and some were inoperable.

Staff recommended that the Board review the proposed Material Deconstruction, conduct a public hearing, and consider approving the Material Deconstruction request for 1003 Norfolk Avenue, based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action letter. The Historic District Design Review application would continue past this point and is subject to another public hearing before the Interim Planning Director.

On behalf of the applicant, Jonathan DeGray, AIA apologized for having to bring the matter back before the Board. He noted that the current Board Members were on the Board when the application was originally approved. The owner simply was not able to get to it because of his schedule.

Chair Scott opened the public hearing. There was no public comment. Chair Scott closed the public hearing.

Board Member Holmgren noted that she loves the door. Board Member Beatlebrox felt it was a great project. The other Board Members agreed.

MOTION: Board Member Hutchings moved to APPROVE 1003 Norfolk Avenue – Material Deconstruction – subject to the following:

Findings of Fact

1. The property is located at 1003 Norfolk Avenue in the Historic Residential – 1 (HR-1) Zoning District.
2. The Site is designated a Landmark Historic Site on Park City's Historic Sites Inventory.
3. The Property is also known as Lot 1 of the 1003 Norfolk Avenue Amended Plat.
4. Development on this Site has spanned across three of Park City's designated Historic eras, including the Settlement and Mining Boom Era (1868-1893), the Mature Mining Era (1894-1930), and the Mining Decline and Emergence of Recreation Industry Era (1931-1962).
5. The house first appears on the 1900 Sanborn Fire Insurance Map as a simple, one-story T/L Cross-wing cottage-style house with a single-story L-shaped front porch and footprint to the southwest corner of the T cottage.
6. The 1907 Sanborn Fire Insurance Map shows an addition to the west, which brought the footprint closer to the accessory structure on site and enclosed the southern side of the L-shaped porch.
7. A series of non-historic additions took place after the 1941 Sanborn Fire Insurance Map, including a gambrel roof overbuild that can be seen protruding from the historic ridgeline.
8. On November 1, 2020, the Planning Department received a complete Historic District Design Review (HDDR) application.
9. The Historic Preservation Board approved Material Deconstruction at 1003 Norfolk on February 3, 2021.
10. The Applicant obtained Historic District Design Review approval from the Planning Director on April 7, 2022.

11. This approval expired on April 7, 2023. The Applicant did not seek an extension prior to expiration of the approval.
12. On September 5, 2023, the Applicant submitted a new HDDR application with the same proposal.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the Historic Preservation Board's November 1, 2023 approval for the Material Deconstruction of the 1907 addition and the siding enclosing a portion of the original L-shaped front porch. Any changes, modifications, or deviations from the approved Material Deconstruction that have not been approved in advance by the Planning and Building Departments may result in a Stop Work Order.
2. The applicant is responsible for notifying the Planning and Building Departments prior to making any changes to approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The applicant shall obtain HDDR approval from the Planning Director, or their designee, prior to submitting a building permit application.
5. The applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a building permit application.
6. An Encroachment Agreement may be required prior to the issuance of a building permit for projects utilizing soil nails that encroach onto neighboring properties.
7. A Soils Report completed by a geotechnical engineer as well as a temporary shoring plan, if applicable, will be required at the time of building permit application.

8. The site shall be re-graded so that all water drains away from the Structure and does not enter the foundation.
9. Historic materials removed from the Structure that are salvageable or in otherwise good condition shall be used to repair/replace irreparable materials on the Site.
10. The form and pitch of the 1900 roof shall be preserved and maintained.
11. The Applicant shall provide to the Planning Department a determination of the existing historic windows detailing their operability and salvageability prior to proceeding to the Historic District Design Review public hearing.

Board Member Beatlebrox seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

- C. **844 Empire Avenue - Material Deconstruction - The Applicant Seeks Material Deconstruction Approval to Construct a Side Addition on a Significant Historic Structure in the Historic Residential - 1 Zoning District. PL-22-05350.**

Planner Tubbs reported that the above request for Material Deconstruction was being made for a Significant Historic Structure on a very uniquely shaped lot with frontage along the 9th Street public Right-of-Way, Empire Avenue, and Crescent Tram Road. The property is located in the HR-1 Zoning District. A photograph was presented depicting what is currently serving as the front entrance for the home; however, historically this was the rear of the property.

Referencing a tax photograph, Planner Tubbs advised that at some point after 1941, the front porch was removed and the roof was extended to create more living space on the ground floor. At that time, this became the rear of the house. She noted that in 1900, the home was a fairly simple form, and by 1907 a rear porch was added. Sometime after 1941, the porch was removed and altered to allow for the new entrance.

Planner Tubbs explained that the applicant proposed to lift the Historic Structure and construct a new foundation. It would then be set back onto the foundation within two feet of its current elevation. The applicant proposed to remove the non-historic northern roof form and restore the historic front porch. The request also included the removal of approximately 308 square feet of siding on the east-facing façade in order to accommodate an addition. The applicant was also looking to modify approximately 277 square feet of the southern roof to accommodate a dormer addition on the historic rear of the home where the roof form was already altered to accommodate the original porch and current front door.

Planner Tubbs reported that the applicant was looking to construct a detached single-car garage near Empire Avenue. She noted this would be new construction and outside of the Board's scope of review this evening. Photographs were presented that showed the approximate area where the siding would be removed to accommodate the proposed addition. She also presented a rendering of the front of the home with the restored front porch and the 9th Street Right-of-Way continuing downhill in front of the home.

Planner Tubbs presented a rendering of the proposed dormer modification on the rear of the roof. She noted there were some existing dormers in place, and the applicant sought to modify that roof form in order to accommodate some additional living space and some headroom on the second story. Staff recommended the Board review the proposed Material Deconstruction, open a public hearing, and consider approving the request for 844 Empire Avenue.

Architect DeGray, on behalf of the applicant, pointed out that there was a fire some years ago and the structure was condemned and deemed uninhabitable. The fire damage to the roof was fairly extensive on the southern side of the gable to the first dormer. He stated that the reality was that the roof would need to be reframed because there was nothing they could save. This led them to propose the dormer. He noted there was also a desire to utilize the upper floor, and the shed dormer would provide additional headroom.

Board Member Hutchings asked if the roof form had changed from its historic form. Planner Tubbs explained that the roof form had been modified over the years with what was historically the rear porch. It was also modified with the removal of that porch and the centralized entryway. She added that overall, the pitch of the main component of the roof was Historic; however, the roof form itself had been modified over time. She stated that in response to an inquiry that they did not have any tax photographs of the rear of the home to determine if the dormers were Historic.

Board Member Beatlebrox commented that this structure has been neglected over time and it is a challenge to make it right. She felt this plan was excellent, especially for the façade on the other side, and was grateful that it would be restored.

Chair Scott opened the public hearing.

Linda McReynolds identified herself as the neighbor to the east of the home. Her home is located along the applicant's western property line, which looks directly at the east façade. Speaker McReynolds presented a view from her patio that showed an engineered stacked stone wall. She expressed concern about the wall's integrity given that the addition to this structure would be located five feet from this stacked stone wall. In response to Board Member Beatlebrox's request, Speaker McReynolds passed her photographs along to the Board so they could view them. Speaker McReynolds commented that she did everything right when she built the stacked stoned wall, and she expressed concern that a foundation five feet away from the wall might crumble it.

Chair Scott acknowledged this concern and expressed that her concerns were likely a Planning Department issue. He explained that the Board only addressed Historic Materials. Planner Tubbs stated that this proposal has not yet gone to Planning for Final Action on the design review. She stated that would be scheduled, and another public hearing notice would be issued to surrounding neighbors. She explained to the speaker that she could include an email or letter to be included as part of the official record.

Speaker McReynolds understood that the Board was only focused on the deconstruction of the house. Chair Scott added that the Board was focused on projects involving Historical Materials. Speaker McReynolds encouraged the salvage of any materials that could be salvaged. She noted numerous resources show how Historic windows could be restored. Board Member Beatlebrox referenced the photograph showing a path to the porch and much more room as shown in the photographs provided by the speaker. Speaker McReynolds provided off-microphone comments on the photographs.

Mike Morse gave his address as 835 Norfolk Avenue, which is on the southeast side of the subject property. His property runs along Crescent Tram where the applicant would access the front door. He expressed concern about the scope and size of the proposed project. Based on the renderings, he felt the project appeared somewhat off-scale and noted there was not that much room there. He added that he has a bank of trees that separates the two properties that provide great privacy from Crescent Tram Road and this property. Speaker Morse expressed concern that it would be completely torn apart with a project like this.

There was no further public comment. Chair Scott closed the public hearing.

Board Member Hutchings reported that he had quite a few concerns about this project. The return of the Historic form on the front was great and consistent with what they wanted to do. However, he felt the addition needed some sort of separation or transition, yet acknowledged that might not be within the Board's purview. He did not see the sliding door on the porch as part of the Material Deconstruction, and he felt they were adding a door to a Historic part of the home, which he would not approve. On the back of the home, he was unaware of any situation where they had ever allowed a change in the Historic roof pitch similar to what was proposed. He felt it would add an entirely new second level to a Historic Structure, and he would not support that either.

Board Member Beatlebrox understood that the area shown on a presented photograph was added much later and because the owner was planning to return to the 1900 version of the home, that was Historic as well. Chair Scott noted that there were no Sanborn Maps for them to review.

Planner Tubbs presented an image from the Sanborn Maps and explained that the Historic front of the home looked onto the 9th Street stairs Right-of-Way and Crescent Tram Road run diagonally across each of the Sanborn Maps. Therefore, historically the

front of the home faced north. Over time as the addition was added to accommodate the ground floor living space, the front of the home essentially flipped. She added that what was historically a rear porch was taken down and modified to be an entry stoop projecting roof. The photograph before the Board showed what had been historically the rear of the house, even though it was currently used as the front entrance. The modification to the roof was again modified, and the projecting stoop cover was added.

Architect DeGray referenced another photograph and noted the ghost line of a roof shape off the back of the roof. He commented that the roof had gone through a number of renovations, and the ghost line would indicate that the roof was much smaller at one point and had a very steep pitch coming to a point. He then referenced another photograph that showed the roof at one point in time actually had a flat top and the back was built out towards the entry porch. Architect DeGray stated that the current roof was actually built on top of the flat area and created another peak that was even higher. He could not tell whether the dormers were there but clarified that the roof had evolved over time. He explained that they pursued modifications to the rear of the building, as it is a secondary façade that would enhance the usability of the existing second floor.

Board Member Hutchings agreed it was a secondary façade but noted that this property was unique in that it borders three streets. He stated that everyone who drives up Crescent Tram Road would see the back of this Historic Structure.

Chair Scott noted that the Code was written in terms of what could be done with a primary façade versus a secondary façade, and offered that the back was not even considered secondary, but rather tertiary. He stated that the Board had allowed more modifications to Historical Material on the backside of a house. He commented that this structure had a Historic front and back, and a current front and back.

Board Member Hodgkins did not feel the back was really the back in this case, and noted that prior approvals had truly been in a backyard. He felt that it seemed as though the owner would continue to use this façade for the main entrance, even if they restored the other side to the original front façade. He agreed with Board Member Hutchings' comments regarding the dormers and felt as though it was not in keeping with historic character and was large. He added that something like this was not there before, regardless of whether the small dormers existed. He suspected they were added in kind or at the same time as the smaller dormers seen in the 1942 photograph that would remain. Board Member Hodgkins was not in support of allowing the demolition of the roof on this façade to the extent proposed.

With respect to the east façade, the proposal would remove a significant percentage of Historic Material for an addition. He noted the Land Management Code added transitional items to be able to pull additions back and allow Historic Structures to be seen or viewed in their original shape. He stated it often depended on whether an applicant was grandfathered into requiring a transitional element. He stated that perhaps a transitional

element would not be required here, but stressed the significant percentage of the Historic façade that would be demolished and he was not in favor of that.

Chair Scott noted that usually when additions to the side of the primary façade are proposed, transitional elements are required.

Board Member Hodgkins added that in this case, he could not tell whether this was the side or the back, as it depended on where you looked or what public way you were standing on. He commented that because it was the only side that did not face a public way perhaps it was the back.

Architect DeGray clarified that transitional elements were required only if the proposed addition exceeded 50% of the footprint of the original house. Based on this, the subject project would not require a transitional element.

Chair Scott commented that in situations like this, the Board really wanted to follow and comply with the Land Management Code. Board Member Hodgkins understood that this project likely did not require a transitional element, but his objection was to the high percentage of Historic Material that would be lost. It was confirmed that the material referenced by Board Member Hodgkins was Historic Material. Board Member Beatlebrox understood that the garage on the right was freestanding.

In response to an inquiry from Board Member Hutchings regarding the requirement for a transitional element, Planner Tubbs stated that the Land Management Code required a transitional element if the proposed addition is 50% or more of the footprint of the Historic Structure, or if the addition is over the Historic ridgeline of the Historic Structure. She did not have the square footage with her, but she stated that it was less than 50 percent, and the addition would sit below the ridgeline.

Chair Scott liked the fact that the Historic primary façade was being restored to its Historic form. He found it difficult to get his arms around which façade would be considered primary. He stated that the dormer on the south side was difficult to accept, and offered that this was a really important façade regardless of whether it would be considered primary or secondary since it was the most visible façade.

Chair Scott visited the site before the meeting and looked at the dormers pointing north and south. He noted that the Historic dormers were at a different level, which told him that the entire other side was probably done at a different time and probably did not contain Historic Material. He acknowledged that he did not know what to recommend on this application, but he could not accept the dormers on the south side.

Board Member Holmgren stated she was torn because the Board was not to get into design review. She felt very strongly that the presented rendering was not appropriate as far as allowing Material Deconstruction. She felt as though a lot of that material from the wall with the windows could be saved.

Chair Scott assumed one of the primary objectives was to have this house taken care of and Board Member Beatlebrox agreed. She noted the hodgepodge currently existing was not as clean as it was originally.

Chair Scott requested guidance from Senior City Attorney Mark Harrington regarding the scope of the Board's purview in this matter. He stated that currently, it was potentially the opinion of the Board, but asked if the Board was required to approach it as suggested by Architect DeGray; that is, that the primary façade was the Historic façade being restored.

Board Member Hutchings referenced the Staff Report citation to Land Management Code Section 15-3-2 and offered that with respect to the roof, it would seem to prohibit modifications from Historic roof forms. He did not believe that the section mentioned primary façades or secondary façades. He expressed that the point was well taken that this roof had likely been modified, and if the applicant wanted to bring it back to its original form he would be in support of that. However, the applicant's proposal was not in its original form. The fact that the house had undergone several structural changes did not impact his decision that this house should have a historic feel to it.

Senior City Attorney, Mark Harrington reported that the Board could provide direction to Staff in terms of the concerns raised. This could give the applicant a chance to either address the Board's concerns or make counter-arguments. He noted there were three primary concerns raised by the Board, and suggested allowing Staff and the applicant to address those. If Staff and/or the applicant return and argue that the proposal meets the Code, the Board would then have to decide whether they were in a definitional fight or rely on other provisions under the Design Guidelines as suggested by Board Member Hutchings.

City Attorney Harrington suggested determining whether there was consensus on the three concerns that the Board felt should be addressed to achieve compliance. The applicant could either address those or not and call for a vote at the next meeting. Depending on the outcome, the applicant could also appeal.

Chair Scott summarized that the first of the three issues or concerns was restoring the structure to its Historic form on the Historic primary façade. The second was the addition to the east.

At this point, Board Member Beatlebrox stated that one of the key problems was that there were three different views because of the unique lot shape. She stated no Land Management Code provision addressed a home with three sides bordered by roads. If they could say the façade that faced 9th Street was the primary façade, then the Land Management Code would work because the rear façade would not be seen, and would be deemed tertiary. Board Member Beatlebrox felt this presented a difficult issue, and if they could resolve it, then everything else would fall into place. She agreed that there seemed to be a lot of wall taken down, but on the other hand, it was less than 50 percent.

Board Member Hutchings stated the Board was being asked to approve two separate Material Deconstructions. One was on the east side for the addition, and the other was on the south side for the roof. Board Member Hodgkins added they were also being asked to approve the demolition of the current entry porch on the south façade. Architect DeGray clarified that the modification was to the roof on the south side, but the footprint of the porch would remain as is. Board Member Hodgkins understood but noted that clearly the roofline would change, and questioned whether the Board would have to approve demolition of the roofline of the porch.

Planner Tubbs advised that the porch was an addition from the 1970s, and was outside the historic period of significance. She also referenced the Staff Report Packet that included a figure illustrating the Setback determination made by former Planning Director Bruce Erickson, which showed that from a Setback standpoint, this property has three front yards, one side yard, and one rear yard. That determination was made as part of the original Plat Amendment application.

Board Member Hutchings asked if that meant this property had three primary façades. Planner Tubbs stated it was determined to have three front yards, however, whether that equated to three primary façades was still in question as it was not part of that prior determination. Board Member Hutchings stated his two issues for the Board were the volume of the Material Deconstruction on the east side and the Material Deconstruction on the south side. He did not recall ever considering a volume issue as part of Material Deconstruction for an addition.

Chair Scott commented that typically the Board had seen homes with an addition on the rear with transition elements where large parts of the back of the home were removed. The volume of this proposal did not stand out to him because he viewed it as the backyard. It was noted that it was on the side.

Board Member Hodgkins did not recall that that the Board ever approved 75% of a rear yard façade and reiterated that this application was asking for demolition of a much higher percentage of a Historic façade than the Board had typically seen. Board Member Hutchings agreed.

Assistant Planning Director, Rebecca Ward reported that the Land Management Code addressed Additions to Primary Structures for Historic Structures, and read the provision as follows: "Additions to Historic Structures shall not contribute significantly to the removal or loss of Historic Material." She asked Architect DeGray about the Setbacks from the façade. Architect DeGray responded that he would need to get those plan views to provide a response. Assistant Director Ward noted that the cited Code section was 15-13-2(B)(4)(a)(5).

Architect DeGray stated that the addition off of 9th Street was 10 feet back from the front façade, and at the rear off of Crescent Tram Road it was 5'-4" from the porch to the wall of the addition.

It was noted by Board Member Hodgkins that this was from the lower level and at the upper level the Setback on the front was even less because of the porch. Architect DeGray stated the porch was five feet, so the addition was set back from the wall at 5 feet on each side of the building.

Board Member Hutchings felt there were a lot of issues with the addition. Architect DeGray commented that the issue seemed to be whether or not the proposal for the addition and the dormer were Code-compliant. He suggested the applicant meet with Staff and bring this back to the Board at the next meeting with a determination from Staff along with any corrections required to make it work. He mentioned that although the Board was getting somewhat into design review if the Design Review came back and stated the design met the Code, then the Board would focus on the Historic Material to be removed.

There was consensus from the Board to proceed in this manner. There was then discussion on the standards the Board could rely upon to determine whether it would be appropriate to remove that much Historic Material. Chair Scott referenced the Code section read by Assistant Director Ward. He noted within that section there was a definition of "significantly," which to him was over 50 percent. He agreed it would be up for discussion as to how the 50% would be calculated.

Board Member Hutchings observed that the removal of Historic Material seemed significant to him. Architect DeGray reiterated his suggestion to take this to Staff for a determination of what they would be willing to support. The applicant would then bring this back before the Board and he would argue it one way or another at that point.

Board Member Hodgkins asked if there was ever a determination of whether the Board was being asked to approve demolition of the upper dormer for a door. Architect DeGray stated that would be part of the scope of the Material Deconstruction and would be discussed with Staff.

Planner Tubbs stated that this item could return to the Board on December 6, 2023.

MOTION: Board Member Holmgren moved to CONTINUE 844 Empire Avenue – Material Deconstruction – to December 6, 2023. Board Member Hutchings seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

- D. **218 Sandridge Road - Material Deconstruction - The Applicant Seeks Material Deconstruction to Remove Approximately 200 Square Feet of the Original 1889 Roof Form and a 1941 Roof Addition to**

Accommodate the Construction of an Addition to a Significant Historic Structure located in the Historic Residential - 1 Zoning District. PL-23-05692.

Planner Tubbs reported that 218 Sandridge Road is located in the HR-1 Zoning District. She presented an image showing the location of the parcel highlighted in red, and explained that it sat just below Sandridge Road to the east of Marsac Avenue. The property has frontage along Sandridge Road and the public stairs Right-of-Way that head to Swede Alley. She presented a photograph of the Historic front of the home as viewed from Sandridge Road and looking south. The property had undergone several modifications over the years. It was originally constructed circa 1889. In 1900, the Sanborn Maps showed a westerly addition with a Bay window. In 1907, a portion of the eastern side of the building was removed while the western addition remained. She noted that the western addition remained through the 1929 Sanborn Maps, and was expanded sometime between 1929 and 1941. Also in 1941, there was a rear porch that spanned approximately two-thirds the width of the Historic Structure. Since then, she reported that the rear porch had been enclosed and was currently used as living space.

Planner Tubbs presented a tax photograph showing the 1889 roof form. She pointed out a steeper projection that reflected the 1907 addition. She also highlighted the shed roof that extended toward the south, which reflected the 1941 addition. At this point in time, the rear porch was still open; however, it had since been closed off for additional living space. She reported that the applicant proposed to remove the 1941 roof form addition to accommodate a new addition to the structure. As part of this, they would restore the 1907 roof form, which is the steeper portion of the roof shown on the left of the tax photograph.

The applicant also proposed to modify approximately 200 square feet of the 1889 roof form to provide access to a proposed rooftop deck. The applicant proposed to replace five windows on the southern façade. She stated these windows were noted on the Existing Conditions Report as not necessarily being original windows but were 50 years or older.

Planner Tubbs presented an aerial view of the property that highlighted the 1889 roof form in blue. The 1907 roof form addition was shown in orange, and the 1941 addition was shown in purple. She also pointed out the portion of the approximate area of the 1889 roof form that would be modified to accommodate the rooftop deck. She presented some additional images to illustrate the proposal. She noted that one of the images showed a good view of the 1907-peaked roof form and the 1941 shed addition. These would be removed and replaced with the rooftop deck, and she pointed out the proposed access from the 1889 roof form to the rooftop deck.

With respect to the windows, Planner Tubbs advised that Staff recommended that if these windows were replaced, they be surveyed to determine whether they were absolutely beyond salvage. If they are determined to be inoperable and unsalvageable, replacement

windows could be appropriate; however, they would like to see those windows remain if they are deemed salvageable.

Staff recommended that the Board review the proposed Material Deconstruction, conduct a public hearing, and consider approving the request to restore the 1907 roof form through the removal of the 1941 roof form based on the Draft Final Action Letter. Staff also recommended the Board consider denying in part the request to modify approximately 200 square feet of the 1889 roof form.

Planner Tubbs reported that Molly Guinan from Elliott Workgroup was present on behalf of the applicant. Architect Guinan advised that she prepared a presentation, and noted that some of the information presented by Planner Tubbs was not entirely consistent with the latest submittal. Architect Guinan presented some images of the home and reported that 218 Sandridge Road was originally built in 1889, with its most visibly accessible façade being the east façade that sits on Sandridge Road. The east façade was the only one that had not been modified over time. The home underwent substantial contemporary additions and modifications in 1907, 1941, and in the late 1960s. She explained that they viewed the south façade as the original entrance façade and the north façade as the contemporary entrance. She advised that they had no historic images of the rear façade, but it was clear that it had been substantially modified numerous times. For purposes of this discussion, their main focus was the proposed modification to the 1889 and 1907 roof forms.

Architect Guinan explained that the elements of the roof that had not been modified were the original ridgelines, roof slopes, and some eaves and fascia. They believed that the proposed solution would minimize the impact of these Historic elements and would preserve the ridgelines, existing slopes, eaves, and fascia. The 1889 roof was modified in 1907 when the second gable was added, and again in 1941 with the addition of a shed roof. She advised that this took away 55 square feet of the 1889 roof slope and 125 square feet of the 1907 roof slope. She explained that the proposed design would remove the 1941 roof, and add a roof deck and a flat roof dormer. They would re-establish 90 square feet of the 1907 roof slope and remove an additional 114 square feet of the 1889 roof slope that was previously modified twice. This would help to re-establish the original LT design.

Architect Guinan stated that the proposed solution would not add any square footage to the upper floor of the residence; rather, it would simply add ceiling height to accommodate a bedroom. The proposed addition would sit at the original roof edge to help define that existing line. She presented images of the 1941 square footage proposed to be removed, along with the portion they proposed to pop up from that space that reflected the additional 114 square feet of the 1889 roof form referenced earlier. The proposed addition would have an 8-foot ceiling and she illustrated the portion of the roof that had a 6'-7" ceiling height.

She referenced the comments in the Staff Report that it would be highly visible from the City stairs and Swede Alley, and presented photographs from both of those locations that showed the views. They also prepared rendered views to show the visibility from the stairs. She noted that from the stairs one would see the removal of the 1941 roof, but the pop-up flat roof dormer was recessed to the point where it would not be visible from those locations.

Architect Guinan next presented the updated submittal without the chimney and the concrete material at the bottom. In response to an inquiry, she reported that they had gone through one meeting with the Design Review Board. Planner Tubbs added that the first iteration of the design was included in the Packet to illustrate the access to the rooftop deck. Chair Scott understood that the focus for the Board was the rooftop deck. Architect Guinan stated that the second part of the proposal involved the windows on the south side, and noted those windows were not Historic.

Board Member Holmgren asked for clarification on what was before the Board. Chair Scott understood the focus was on the windows and the Material Deconstruction of the 1941 modified roof to accommodate a rooftop deck. Architect Guinan added that it also involved a portion of the 1889 slope.

Board Member Hutchings referenced a prior slide showing a blue highlighted area that represented an area proposed for removal. He also understood the request involved the Material Deconstruction of the 1889 roof behind that area to accommodate the roof deck. It was noted the removal of windows was also part of the request.

Architect Guinan stated that in addition to the window removal on the south side, there would also be additional Material Deconstruction. She explained that the windows on the south façade were not Historic. The only Historic windows remaining were on the east façade, which is the Sandridge Road side. The windows on the Historic façade would remain, but the applicant would make them operable, as they were currently all painted shut. She advised that the applicant proposed an addition to the south façade, which contains an entrance and stair that would be set back and subservient to the existing entrance and stair on the east façade. It would rest below the existing 1889 roof, which would clearly delineate the new construction from the once-historic façade.

She stated that none of the south façade was currently Historic, as all windows had previously been replaced and the porch filled in between 1940 and the 1960s. The proposal also included a detached garage as shown in the rendering, and she noted that they moved the contemporary addition to a separate mass so as to not overpower the original forms. Architect Guinan explained that this addition would require the removal of some material on the south side, but they did not believe that any of it was Historic Material.

Chair Scott opined that based on what was presented, this application would likely come back to the Board based on modifications to the new submittal. He suggested addressing the windows when it comes back because it reflected a new design approach.

Assistant Director Ward understood that once there was clarification on the roof, the design would then be revised and reviewed by the Design Review Team. She clarified that the first question was about the roof form and to what degree alterations to the roof form would be allowed. Chair Scott confirmed that would be the focus of discussion at tonight's meeting.

Chair Scott opened the public hearing. There was no public comment. Chair Scott closed the public hearing.

Board Member Hutchings expressed no concerns about removing the 1941 portions of the roof and returning it to the 1907 roof form. He did have concerns about removing the big section of the 1889 roof.

Chair Scott looked at the Design Guidelines and stated that Section 15-13-2(7)(A) provides that "New balconies and roof decks on Historic Structures shall be visibly subordinate to the Historic Structure from the primary Right-of-Way. Installing a balcony in a Historic Structure's primary façade is not allowed, however, a balcony may be considered on a secondary or tertiary façade." He noted that was the only thing in the Code that he found that would relate to this request. He stated that the side facing west was not primary. Architect Guinan added that the west side had always been a tertiary façade.

Board Member Hutchings suggested focusing on the "significant" aspect and wondered if the proposal sought to remove a significant portion of the Historic roof. He felt this proposal would remove three-quarters of the roof.

Architect Guinan stated that looking at the whole roof, it would be approximately one-quarter, but almost half of the west side of the roof. She advised that she calculated that by removing the 1941 roof, they would re-establish square footage but also take square footage away.

Board Member Hutchings understood but stated if the proposal were to remove less of the roof he might support it, but he felt a lot of Historic Material would be removed.

Board Member Beatlebrox commented that the proposal would very much change the character of the Historic Structure. Chair Scott mentioned that it was difficult to stay out of the design conversation. It was noted by Board Member Holmgren the Board had been advised to stay out of the design conversation.

Board Member Holmgren added that the Board was here to respect the original material and to determine if it was possible to be saved and used.

Board Member Hodgkins agreed that it was difficult to see the original house in this design. He had questions about what actually would be removed as part of this proposal and mentioned the yellow door on the presented image.

Architect Guinan advised that that part of the house would remain intact. She added that they would like to change the windows because they were single-pane, but they would remain to look as they are. It was noted that the deck would be above the four windows, and the proposal would only remove the 1941 roof. The 1889 gable pitch would remain to the bottom, which was the portion that would be restored following the removal of the 1941 portion. The roof deck above the four windows would be flat and the pop-out dormer would be set back from that.

Board Member Hodgkins sought clarification that the original siding would remain in place. He felt the rendering showed something very modern, whereas if they kept the siding it would look different than the rendering.

Architect Guinan confirmed that all of the siding would remain. She added that they tried to use a different material for the flat roof dormer to separate it from the visual aspects of the Historic Structure. She recognized that the renderings looked quite glaring, and perhaps showing a different material or scaling it down some would be helpful. She explained that the idea was to show it as a new portion and separate from the original building.

Board Member Hodgkins appreciated that, and returned to the original question of the high percentage of roof to be removed and agreed with Board Member Hutchings' position that it would be significant.

Architect Guinan advised that they had a drone view, although it was not included because she wanted to show the visuals from more of a street view.

There was discussion about the images that showed the location of the areas of removal. Planner Tubbs showed the approximate location of the area of the roof to be modified. Board Member Hodgkins felt that the actual area of removal was larger than that depicted in the image.

Chair Scott stated that in terms of the Historic Material, it would be everything above the 1941 roof. He noted that it was not on the primary façade, and the Design Guidelines would allow for this proposal as long as it was not visible from the primary façade. He felt that he could move forward with this application. He understood there was more design work to be done, and if there was a way to minimize it that would be easier for the Board to swallow.

Board Member Hodgkins agreed that this area would not be visible from any vantage point, except for possibly across the valley, which is an important consideration because the materials would scream non-historic.

Board Member Holmgren queried whether they could reuse the materials from the roof. She saw this addition as something completely different.

In response to an inquiry from the Board, Planner Tubbs explained that since there was no Historic period that prevailed over another in Park City, a 1907 addition was considered just as significant as an 1889 form. Therefore, the restoration of one significantly historic period over another was allowable per the Land Management Code.

However, when dealing with the modification of an original roof form that has not been modified over time, that is where the prohibition of those changes would be applied. She noted that the applicant found some evidence that might point to some modifications over time, which the Board could also take into consideration.

Planner Tubbs continued by stating that the utilization of this area of the roof to access the rooftop deck was central to the proposed design. The applicant wanted feedback from the Board on the amount of Historic Material, if any, that could be removed.

Assistant Director Ward requested clarification on the proposed changes to the 1889 roof form and queried whether the addition would be higher than the 1907 roof form.

Planner Tubbs responded that the addition would be higher than the 1907 roof form, but would sit below the 1889 ridgeline. Assistant Director Ward then asked whether the addition would be allowed per the Code or whether it would be required to be two feet below the 1907 ridgeline. Planner Tubbs stated she would have to look into that prior to responding.

Assistant Director Ward explained that was another reason for the recommendation of no changes to the 1889 roof form because the Code recommended that additions be constructed below the Historic ridgeline. There was discussion regarding the images and Board Member Beatlebrox observed that the addition did not appear to sit below. Chair Scott noted that would be a Design Review issue with Staff.

Board Member Hutchings stated that the Material Deconstruction would occur above the 1907 ridgeline.

Board Member Beatlebrox asked if there was a transitional element between the original building and the addition. Architect Guinan responded there was not on this roof form, but there was a transition element for the addition on the side. She expressed a transitional element was not required on this roof, but they would be open to including one if it meant they could have a normal height space in that location.

Assistant Director Ward opined that the applicant was seeking a decision on the roof form specifically; so that as they go through the design process they know what parameters they would be working within.

Chair Scott asked Planner Tubbs to show on a photograph the angle of the existing roof so the Board could get a feel for the Historic Material sought to be removed. Planner Tubbs noted the 1907 and the 1889 ridgelines with her cursor.

Using the rendering, Chair Scott observed that the Historic Material to be removed would be located in the area where the railing meets the facing roof.

Planner Tubbs marked up the image showing the various editions of the roof. Board Member Hodgkins felt that the proposal would take out a chunk of both original rooflines, and in his mind, too much Historic Material would be removed. He agreed with Staff's recommendation to deny the proposal. He acknowledged the applicant could return with a revised plan.

Board Member Hutchings asked whether the applicant would achieve the design they wanted should the Board approve Material Deconstruction of the 1889 roof. He noted the applicant did not propose the removal of any part of the 1907 roof. Architect Guinan confirmed and stated it would come right up against the 1907 roof in the back corner, but they could pull it off of that and make it just the 1889 roof. She explained the current proposal was closer to the orange line shown on the presented slide. Chair Scott identified the area of the roof that would be restored.

Board Member Hodgkins asked if they were just taking action on the roof. Chair Scott confirmed the Board would vote on the roof only, and then would talk briefly about the windows.

Chair Scott felt the Board was generally agreeable with the roof deck, but would likely not approve this application as is, with a statement that it might consider approval if the removal of Historic Material from the roof were minimized.

Board Members Hutchings understood the vote would be to approve the restoration to the 1907 roof and deny the Material Deconstruction on the 1889 roof. Board Member Hodgkins thought they were approving the removal of the 1941 roofline.

City Attorney Harrington explained there were two ways the Board could proceed. First, they could formally deny that part they want to deny, or, they could indicate consensus on the first item and see if the applicant wanted to return with a comprehensive approval if they are going to modify the proposal. He stated that if they deny it now, the applicant would be required to file a separate application. He expressed that he would lean toward the former [sic] and just provide consensus direction that they were agreeable with the 1941 roof, but would want changes that minimize removal of Historic Material. The

applicant was agreeable to this proposal. Assistant Director Ward asked if January 3, 2024, would be agreeable.

MOTION: Board Member Hutchings moved to APPROVE the restoration of the 1907 roofline, which is Material Deconstruction of the 1941 roofline, and CONTINUE the issue of Material Deconstruction of approximately 200 square feet of the 1889 roof to January 3, 2024. Board Member Holmgren seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

City Attorney Harrington clarified that they would have one Final Action Letter for the January 3rd meeting. He stated they would not have to re-vote on that component unless the applicant proposed a modification. He stated they would not have two separate Final Action Letter dates for purposes of appeal.

Architect Guinan did not know if they needed to discuss the windows since they are non-historic. She felt it would just be a question of whether the siding where the addition comes out is Historic.

Assistant Director Ward suggested discussing that on January 3rd as well so that Staff could ensure that the full scope of the proposal was addressed.

City Attorney Harrington opined that the balance of the application was continued so no further motion regarding the windows was required.

E. 2024 Preservation Awards - The Historic Preservation Board will Review Proposed Nominations for the 2024 Preservation Awards and Select Award Recipients.

Planner Tubbs reminded the Board Members that the proposed nominations came before the Board on October 4, 2023. At this meeting, the Board would select one Grand Prize winner and up to three recipients of a plaque. Staff also requested the Board to choose the members of the Artists Selection Committee. She reported that the goal was to issue a Request for Proposal ("RFP") for the artists at the end of next week, and they would begin holding interviews and select an artist between the end of December to the end of January. The goal was to have the art piece completed and ready for presentation to the City Council in May 2024 in honor of National Preservation Month.

Up to three members of the Board could sit on the Artist Selection Committee. The Committee would also include one member nominated from the Public Arts Advisory Board and a member of Planning Staff. The time commitment would be 3 – 5 hours.

Planner Tubbs listed the nominees for the 2024 Preservation Award as follows:

1. Alliance Caretaker's Cabin, which has received new footings to keep it from sinking into the hillside;
2. 909 Woodside Avenue;
3. Daly West Headframe; and
4. 901 Woodside Avenue

She noted the Daly West Headframe was nominated last year and was awarded a plaque, so Staff did not recommend awarding another plaque unless the Board felt very strongly otherwise.

Board Member Hutchings asked why Daly West Headframe was nominated again. Planner Tubbs explained that the Preservation Award nominee pool came from preservation projects completed within the last two years. She noted that last year's Grand Prize winner was the King Con Ore Bin.

Board Member Beatlebrox suggested selecting one of the homes this year to make sure that people know they value those structures. Chair Scott agreed.

Board Member Holmgren liked 909 Woodside. There was consensus, with Board Member Hodgkins noting that his favorite was the Caretaker's Cabin. Board Member Hutchings stated that if they were not going to choose a home, he would agree with the Caretaker's Cabin, however, if the Board preferred choosing a home, he liked 909 Woodside. It was noted that they could pick a winner, and also select additional nominees to receive a plaque. There was consensus to award a plaque to the Caretaker's Cabin.

Chair Scott liked 901 Woodside but did not know it was completed. Board Member Hodgkins concurred and stated it could be nominated next year. Board Member Hutchings commented that it was huge and he felt it was out of place. Board Member Holmgren stated there was consensus that 909 Woodside would be the Awardee, and the Caretaker's Cabin would receive a plaque.

Board Members Beatlebrox and Holmgren expressed interest in serving on the Artist Selection Committee. Board Member Holmgren noted some time constraints and stated she was available Tuesdays and Wednesdays. Board Member Beatlebrox felt that Board Member Long would also like to serve on the Committee. The remaining Board Members and Chair Scott passed on serving on this year's Committee.

Following a brief recess, Chair Scott announced that a quorum was present and the meeting continued.

6. WORK SESSION

A. Historic District Design Guideline Illustrations - The Historic Preservation Board will Review Draft Amendments to the Standards Adopted in Chapter 15-13: Design Guidelines for Historic Districts and Historic Sites of the Land Management Code.

Planner Tubbs recalled a number of Work Sessions in which they reviewed an assortment of Design Guidelines for Historic Districts. This Work Session provided an update on the amendments to the Guidelines. Staff was working on incorporating a recommendation to illustrate the Design Guidelines. They were also working on a recommendation to clarify the Driveway Regulations, as well as to limit Opacity Requirements in Historic Districts to Historic Structures only. Finally, Staff was working on a recommendation for minor grammatical corrections within the Land Management Code.

Following the October Joint Session with the Planning Commission, Staff was also working on Design Guidelines for Temporary Structures, including Temporary Balcony Enclosures, Tents, and Yurts. Those would move through a separate process given that they wanted to expedite those for the coming winter.

Planner Tubbs reported that the City contracted with lo LandArch to create illustrations and graphics that would be adopted within the Land Management Code. It was commonly seen as a Best Practice to offer some sort of visual component with these regulations. Local cities as well as cities across the nation have incorporated illustrations, photographs, or other graphics into their Design Guidelines for their Historic Districts. She mentioned that the 1983 Guidelines were 52 pages long and included illustrations. The current Guidelines are around 27,000 words over 81 pages, and there were no current illustrations. Illustrations were something they want to incorporate into the current standards as quickly as possible.

She next advised that following feedback received from the community and the Board, Staff was looking to clarify Driveway Regulations within the Historic Districts. There was a recommendation in the Code to visually minimize the amount of off-street parking so as not to detract from Historic Structures and alter the Historic character.

Planner Tubbs reported that currently driveways were recommended to have a width of 10 feet, with a maximum width of 12 feet. For the amount of area within the Front Setback, a driveway cannot exceed the 12-foot width. She presented images of driveway configurations showing an extensive amount of pavement that visually presented as a large mass.

Staff recommended limiting driveway width to 10 feet and requiring a minimum of 18 inches between driveways for landscaping to visually break up the appearance of paving in front of structures in the Historic District.

Board Member Hutchings asked if the presented example involved neighboring homes or two driveways in front of one house. Planner Tubbs explained the example was taken

from one 25-foot-wide property. Some infill structures have proposed side-by-side garage configurations, which were currently permitted by the Land Management Code. She explained that the recommendations would seek to break up the visual mass in front of one structure.

Planner Tubbs noted that in June 2023, the Board held a Work Session to address Opacity requirements in the Historic District. Currently, all buildings are required to have a fully opaque treatment on materials that were traditionally painted. For example, any proposed wood siding is required to be fully opaque, meaning the texture of the grain is visible but a color difference is not visible. She presented images depicting various opacities. She reminded the Board Members that they were previously comfortable with allowing a variety of opacities on new construction or non-historic materials; however, Historic Materials and Historic Structures should still have the full opacity treatment. The proposed modifications would make the changes suggested by the Board.

Board Member Holmgren asked if this meant no paint. Planner Tubbs explained that in some instances under the new requirements, a varnish or sealant could be proposed on any material that was non-historic or on a Historic Structure. Board Member Holmgren noted her home was purple. Chair Scott stated the requirements were for fully opaque paint and stain treatments on Historic Structures.

Planner Tubbs stated Staff also recommended minor corrections within the Land Management Code. She noted some conflicting statements and pointed out some requirements that listed a standard, and within the sentence, the word “should/shall” appeared next to each other. She explained that “should” was a recommendation and “shall” was a requirement. Staff would go through the provisions and remove the conflicting words.

Staff was also looking to replace the word “Guidelines” with “Regulations.” She commented that these were enacted ordinances and requirements, and not recommendations, whereas the word “Guidelines” connoted a recommendation. They also recommend removing the asterisk within the Historic Sites Inventory, which denotes which properties were under appeal for a determination of significance. Currently, there are no properties on the Historic Site Inventory under appeal. Staff also recommended removing gender-specific terms with more neutral terms. Some minor grammatical and spelling errors would also be corrected.

Planner Tubbs noted they were also focusing on the regulations for Temporary Structures, and were working to get these Code amendments through the process as expeditiously as possible.

Board Member Holmgren wanted to see the word “Guidelines” used for exterior color instead of “Regulation.” She noted that as soon as they use “Regulation” it becomes black or white and there is no room for error. She mentioned Rick Martinez’ hot pink house, and she did not want to take away the personality.

Chair Scott felt that “Regulation” had to do with the type of product to be used, not color. Planner Tubbs agreed and stated the Design Guidelines did not regulate color. Chair Scott liked the word “Regulation” as it related to a lot of these issues.

Planner Tubbs stated they would return with more detail and a proposed Ordinance, as well as lo LandArch’s graphics for the Board’s review.

7. ADJOURN

MOTION: Board Member Beatlebrox moved to ADJOURN. Board Member Hutchings seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

The Historic Preservation Board Meeting adjourned at approximately 7:15 p.m.

Approved by _____
Randy Scott, Chair
Historic Preservation Board

PENDING APPROVAL



2 story
Addition

5' → ←

FENCE

Stacked
rock
wall



5 feet to new
2 story addition

Stacked rock wall

built per
recommendations
Applied Geotechnical
Engineering Consultants

Gary Bosh Constructor
PMMC Building
Permit 2004

Historic Preservation Board Continuation Report



Subject: 844 Empire Avenue
Application: PL-22-05350
Author: Caitlyn Tubbs, Senior Planner
Date: December 6, 2023

Recommendation

This item, and the required public hearing, was continued from the November 1, 2023, Historic Preservation Board meeting. Staff recommends the Historic Preservation Board (A) Open a Public Hearing; and (B) Continue the Material Deconstruction of 844 Empire Avenue to January 3, 2024, to allow Staff time to review the Applicant’s updated Historic Preservation Plan and new panelization proposal.

Historic Preservation Board Staff Report



Subject: 959 Empire Avenue
Application: PL-23-05892
Author: Lillian Zollinger, Planner II
Date: December 6, 2023
Type of Item: Material Deconstruction

Recommendation

(I) Review the proposed Material Deconstruction for 959 Park Avenue, (II) conduct a public hearing, and (III) consider approving the Material Deconstruction subject to the Findings of Fact, Conclusions of Law, and Conditions of Approval in the Draft Final Action Letter (Exhibit A).

Description

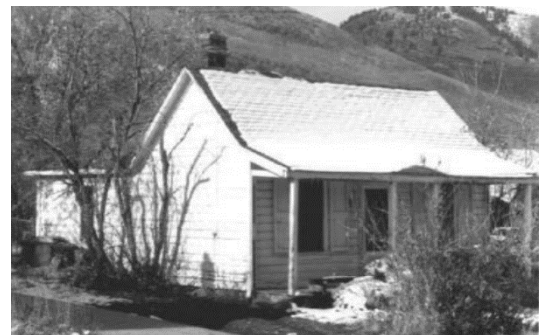
Applicant: Tomas Rizo and Samantha Basile,
represented by Mike Jozewicz
Historic Designation: Landmark Historic Structure
Location: 959 Park Avenue
Zoning District: Historic Residential – 1
Adjacent Land Uses: Residential, Commercial
Reason for Review: The Historic Preservation Board reviews and takes Final Action on Material Deconstruction¹

DRC Development Review Committee
DRT Design Review Team
HDDR Historic District Design Review
HPB Historic Preservation Board
HR-1 Historic Residential – 1
HSI Historic Sites Inventory
LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Summary

959 Park Avenue is a Single-Family Dwelling (SFD) designated a Landmark Historic Site on Park City’s Historic Sites Inventory (HSI) constructed c. 1895. The Applicant proposes to repair the North foundation wall of the structure.



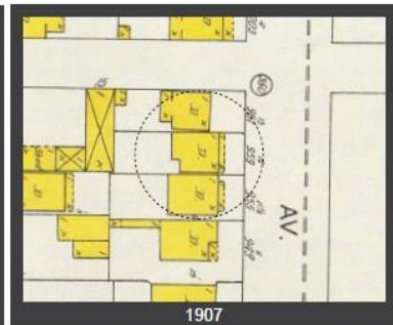
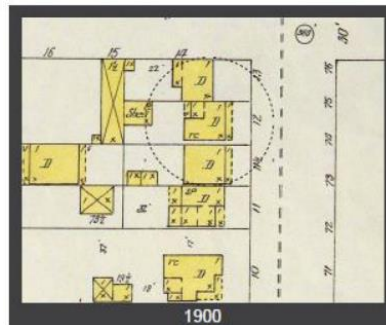
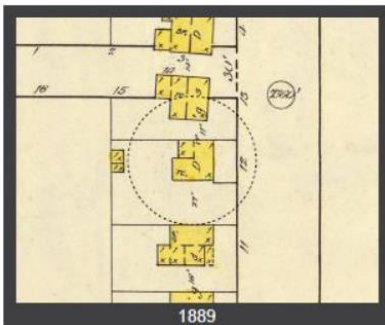
959 Park Avenue c. 1983

¹ LMC [§ 15-11-12.5](#)

Background

959 Park Avenue first appears on the 1889 Sanborn Map, at the intersection of Park Avenue and 10th Street. The SFD is “a one story frame hall and parlor house with a gable roof and original rear extension” ([HSI Form](#)).

On the 1900 Sanborn Map, the Structure has a minor addition to the rear of the structure, as well as a porch across the entire front. In the 1907 Sanborn Map, the minor addition was slightly extended towards the rear. No changes are noted on the 1929 or 1941 Sanborn Maps.



The roof has been replaced with a standing seam metal roof but retains the same roof form. The HSI form does not identify if/which windows are historic, however, the façade has remained in similar condition since the SFD’s construction. The front door has been replaced and is not historic. No significant alterations, repairs, or additions have occurred otherwise, and the Structure retains its historic character and integrity.

Analysis

Pursuant to the Land Management Code (LMC) [§ 15-1-8](#), the Historic Preservation Board conducts a public hearing and takes Final Action for Material Deconstruction. The Applicant will be required to obtain Historic District Design Review (HDDR) approval prior to the issuance of a building permit in accordance with the same Section.

(I) As-Builts and Proposed Material Deconstruction.

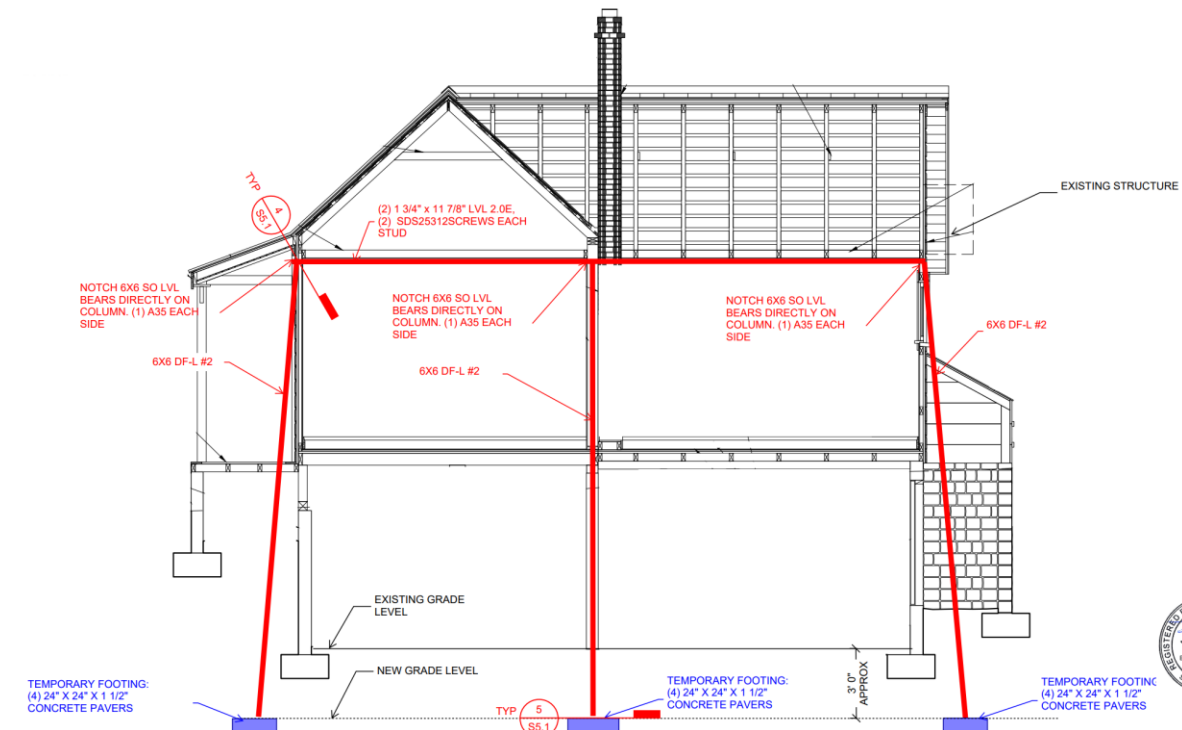
Material Deconstruction is defined in LMC [§ 15-15-1](#) as “*The disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or to remove those historic construction materials or building components that are beyond repair.*”

The Applicant proposes to deconstruct and reconstruct the North foundation wall. Per

the Physical Conditions Report submitted by the Applicant (see Exhibit D), the foundation wall is made of stacked rubble and brick, which appears to be loose, and not secured with mortar. The Applicant believes the wall is settling due to the compromised foundation and the northeast corner at Park Ave is cracking in multiple places.



To replace the foundation, the Applicant proposes that a shoring beam be screwed to each wall stud and have floor joists supported with temporary walls during construction (shown below). The proposal is to support the foundation in place, rather than lift the structure, while the foundation is reconstructed. The interior shoring and kickers will be installed before any excavation work begins. The existing foundation will be dug out from under the structure, deconstructed, removed, and replaced.



(II) The proposal to reconstruct the northern foundation wall of the Historic Structure complies with LMC § 15-13-2(B), Design Guidelines for Historic Residential Sites.

Pursuant to LMC [§ 15-13-2\(B\)\(2\)\(b\)](#), the following are required for Foundations:

Requirement	Analysis of Proposal
(1) The historic placement, orientation, and grade of a historic building shall be retained, as shall the original grade of the property where feasible.	Complies: The SFD will not be removed from its existing location and the grading will remain the same.
(2) A new foundation shall not raise or lower a historic structure generally more than two (2) feet from its original floor elevation.	Complies: The replaced foundation will not raise or lower the structure.
(3) A historic site shall be returned to original grade following construction of a foundation. When the original grade cannot be achieved, generally no more than six inches (6") of the new foundation shall be visible above final grade on the primary and secondary facades.	Complies: The replaced foundation will not change the grade.
(4) Re-grade the site so that all water drains away from the structure and does not enter the foundation.	See Condition of Approval 12: The new foundation helps to prevent water from seeping into the structure.
(5) A plinth, or trim board at the base of the historic structure, shall be added to visually anchor the historic structure to the new foundation.	Complies: The replaced foundation will not raise or lower the structure.
(6) Any re-grading of the site shall blend with grade of adjacent sites and shall not create the need for incompatible retaining walls.	Complies: The replaced foundation will not change the grade, other than to drain water way from the structure.
(7) The form, material, and detailing of a new foundation shall be similar to the historic foundation (when extant) or similar to foundations of nearby historic structures.	See Condition of Approval 18: The foundation shall be replaced in similar kind to the existing foundation.
(8) Historic foundations shall not be concealed with masonry block, plywood panels, corrugated metal, or wood shingles. Masonry foundations shall be cleaned, repaired, or re-pointed according to masonry guidelines. The replacement of existing historic material is allowed only when it can be shown that the historic material is no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.	Complies: The replaced foundation will not be concealed with any materials.

(III) Financial Guarantee.

Pursuant to LMC [§ 15-11-9](#), a Financial Guarantee is required prior to the issuance of a building permit. The Chief Building Official will determine the dollar amount for the necessary Financial Guarantee and the Applicant will be required to record an encumbrance agreement, or other instrument in a form acceptable to the City Attorney,

with the Summit County Recorder's Office. When the work has been completed the Applicant will be responsible for contacting Park City Municipal Corporation to request a release of the encumbrance. Planning Staff will conduct an inspection to ensure compliance with the Conditions of Approval, Historic Preservation Plan, and all other required codes, standards, and ordinances.

(IV) The Development Review Committee does not require Conditions of Approval.²

The Development Review Committee reviewed the proposed Material Deconstruction on November 7, 2023, and found compliance with their required standards.

The Design Review Team reviewed the proposed Material Deconstruction on November 22, 2023, and found compliance with their required standards.

In addition to the HPB's approval for Material Deconstruction the Applicant will be required to obtain Historic District Design Review (HDDR) approval, subject to LMC [Chapter 15-13](#), *Design Guidelines for Historic Districts and Sites*, and LMC [§ 15-11-9](#), *Preservation Policy*, prior to the issuance of a building permit. Per LMC [§ 15-1-8](#), the Planning Director, or their Designee, is the Review Authority for Historic District Design Reviews.

Department Review

The Planning Department and City Attorney's Office reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on November 22, 2023. Staff mailed a courtesy notice to property owners within 100 feet on November 22, 2023. The *Park Record* published a notice on November 22, 2023.³

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Historic Preservation Board may approve the Material Deconstruction;
- The Historic Preservation Board may deny the Material Deconstruction and direct staff to make Findings for the denial; or
- The Historic Preservation Board may request additional information and continue the discussion to a date certain or uncertain.

² The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney's Office, Local Utilities including Rocky Mountain Power and Dominion Energy, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

³ LMC [§ 15-1-21](#)

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Proposed Plans

Exhibit C: Existing Physical Conditions Report

Exhibit D: Historic Preservation Plan

Exhibit E: Photographs



Planning Department

December 6, 2023

Tomas Rizo & Samantha Basile
31 Walter Street
San Francisco, CA 94114

CC: Mike Jozewicz, architect

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address: 959 Park Avenue
Zoning District: Historic Residential - 1
Application: Material Deconstruction
Project Number: PL-23-05892
Action: APPROVED WITH CONDITIONS (See Below)
Date of Final Action: December 6, 2023
Project Summary: Applicant Seeks Approval for Material Deconstruction to replace the north foundation wall of Landmark Historic Structure.

Action Taken

On December 6, 2023, the Historic Preservation Board conducted a public hearing and approved the Material Deconstruction to accommodate replacement of the north foundation wall of 959 Park Avenue according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. 959 Park Avenue is a Landmark Historic Structure on Park City’s Historic Sites Inventory.
2. The home was originally constructed c. 1895 and is a one-story frame hall and parlor house with a gable roof and original rear extension.
3. In 1984, 959 Park Avenue was listed on the National Register of Historic Places as part of the Park City Mature Mining Era.



Planning Department

4. On October 5, 2023, the Applicant submitted a full Historic District Design Review Application.

Material Deconstruction

5. The Applicant proposes the Material Deconstruction of the north foundation wall by stabilizing the Landmark Historic Structure with interior shoring beams and temporary walls, so as to not lift the structure.

Conclusions of Law

1. The proposed foundation replacement complies with the requirements set forth in the Historic Residential (HR-1) District (LMC Chapter 15-2.2).
2. The proposed foundation replacement complies with foundation requirements set forth in the Design Guidelines For Historic Residential Sites (LMC § 15-13-2(B)(2)(b)).
3. The proposed foundation replacement complies with material deconstruction requirements set forth in the Preservation Policy (LMC § 15-11-9).

Conditions of Approval

1. The Applicant is responsible for notifying the Planning Department and Building Department prior to proposing any changes to this approval.
2. The Applicant shall submit in writing any changes, modifications, or deviations from the approved scope of work for Planning review and approval/denial in accordance with the applicable standards prior to construction.
3. The Applicant must obtain Historic District Design Review approval prior to the issuance of a building permit.
4. An encroachment or access agreement is required for work conducted five feet or less from a lot line or having the potential to encroach on another property. An encroachment agreement may also be required for projects utilizing soils nails that encroach onto neighboring properties.
5. A Soils Report completed by a geotechnical engineer as well as a temporary shoring plan, if applicable, will be required at the time of building permit application.
6. Within five (5) days of installation of the cribbing and shoring, the structural engineer will inspect and approve the cribbing and shoring as constructed.
7. Historic Structures which are lifted off the foundation must be returned to the completed foundation within 45 days of the date the building permit was issued.
8. The Planning Director may make a written determination to extend this period up to 30 additional days if, after consultation with the Historic Preservation Planner, Chief Building Official, and City Engineer, they determine it is necessary. This



Planning Department

would be based upon the need to immediately stabilize an existing Historic property, or specific site conditions such as access, or lack thereof, exist, or in an effort to reduce impacts on adjacent properties.

9. The Historic Preservation Plan must include a cribbing and excavation stabilization shoring plan reviewed and stamped by a State of Utah licensed and registered structural engineer prior to issuance of a building permit. Cribbing or shoring must be of engineer-specified materials.
10. The Applicant is responsible for notifying the Planning and Building Departments if changes are made. If the cribbing and/or shoring plan(s) are to be altered at any time during construction, the structural engineer shall submit a new cribbing and/or shoring plan for review. The structural engineer shall be required to re-inspect and approve the cribbing and/or shoring alterations within five (5) days of any relocation or alteration.
11. The Applicant shall also request an inspection through the Building Department following the modification to the cribbing and/or shoring. Failure to request such an inspection will be a violation of the Preservation Plan and enforcement action through the financial guarantee for historic preservation or ACE could take place.
12. The foundation shall be replaced and site regraded so that all water drains away from the Structure and does not enter the foundation.
13. Any areas disturbed during construction surrounding the proposed work shall be brought back to their original state.
14. Deteriorated or damaged historic features and elements shall be repaired rather than replaced. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element shall match the original in design, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic material safe no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.
15. The historic windows, as listed on the Physical Conditions Report, shall be covered up and protected during construction.
16. Should the Applicant uncover historic window and/or door openings that were not documented at the time of the Historic Preservation Board's review, the Applicant shall schedule a site visit with the Planning Department and determine if the opening should be restored. Any physical evidence of lost historic window and/or door openings shall be documented, regardless of plans for restoration.
17. The Applicant shall provide the City with a Financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan, and



Planning Department

this Financial Guarantee shall be recorded with the Summit County Recorder's Office prior to submittal of a building permit.

18. The form, material, and detailing of a new foundation shall be similar to the historic foundation or similar to foundations of nearby historic structures. Historic foundations shall not be concealed with masonry block, plywood panels, corrugated metal, or wood shingles.

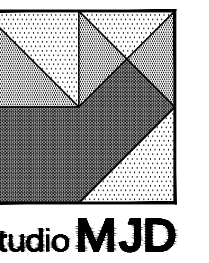
If you have questions or concerns regarding this Final Action Letter, please call (435)-615-5068 or email lillian.zollinger@parkcity.org.

Sincerely,

Randy Scott, Historic Preservation Board Chair

CC: Lillian Zollinger, Planner II

DRAFT



MIKE JOZEWICZ DESIGN STUDIO
 405 E WASHINGTON BLVD, UNIT B
 LOS ANGELES, CA 90010
 MAIL@MIKEJOZEWICZ.COM
 213 290 4046 O
 919 889 9801 M

**NOT FOR
 CONSTRUCTION**

959 PARK CABIN
 959 PARK AVE
 PARK CITY, UTAH 84060

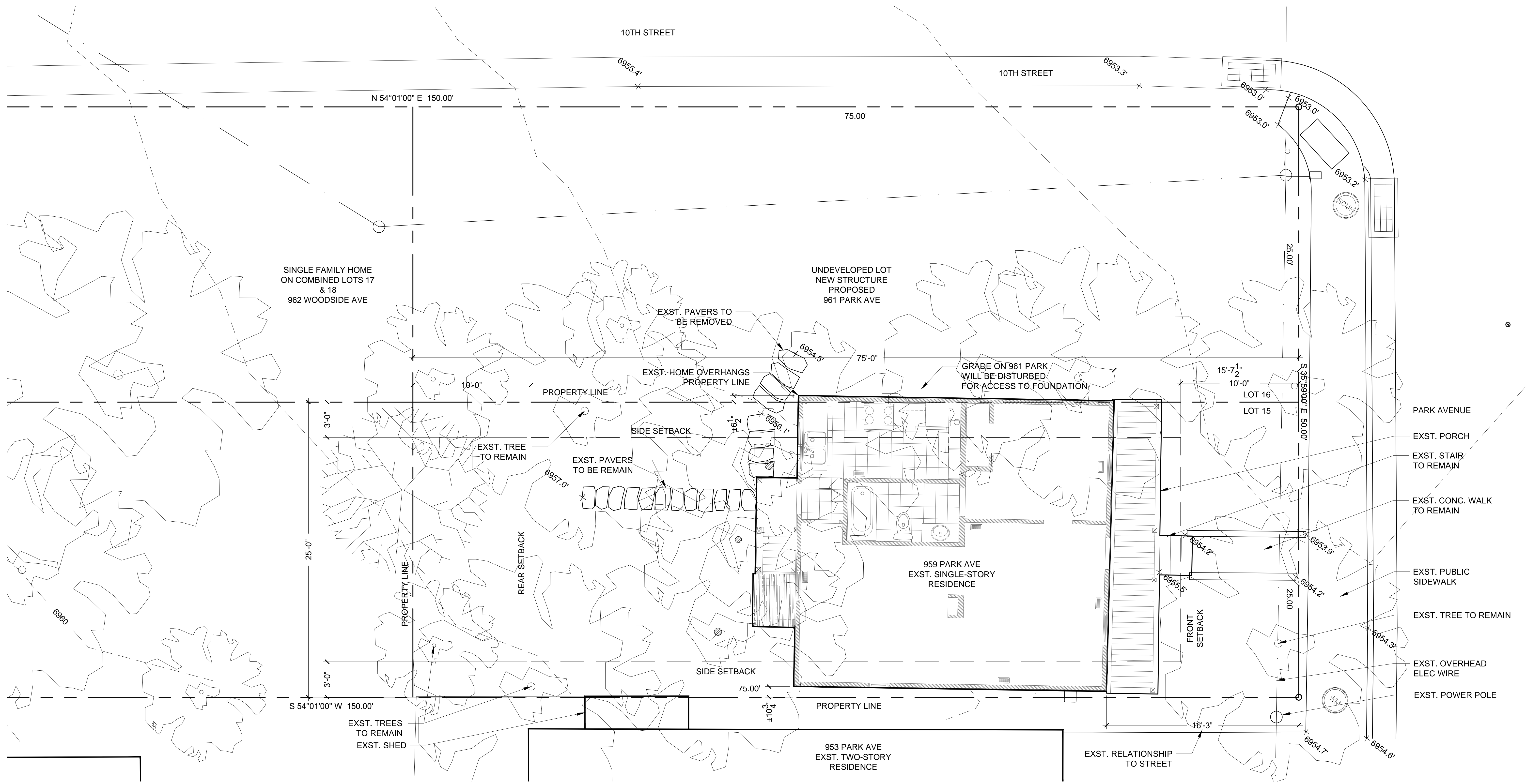
TITLE: SITE PLAN
 SCALE: -
 DATE: 9/11/2023
 DRAWN BY: MWJ

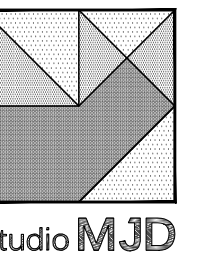
DATE	DESCRIPTION
V1 2/25/21	MEASURED DWGS
V2 6/21/21	DD PROGRESS SET
V3 4/29/22	DD PROGRESS SET
V4	
V5	
V6	

SHEET
A0.10

GENERAL NOTES

1. EXISTING HOME TO REMAIN IN EXISTING POSITION.
2. GRADE TO BE RETURNED TO EXISTING LEVEL AFTER WORK.





MIKE JOZEWICZ DESIGN STUDIO
 405 E WASHINGTON BLVD, UNIT B
 LOS ANGELES, CA 90010
 MAIL@MIKEJOZEWICZ.COM
 213 290 4046 O
 919 889 9601 M

**NOT FOR
 CONSTRUCTION**

959 PARK CABIN
 959 PARK AVE
 PARK CITY, UTAH 84060

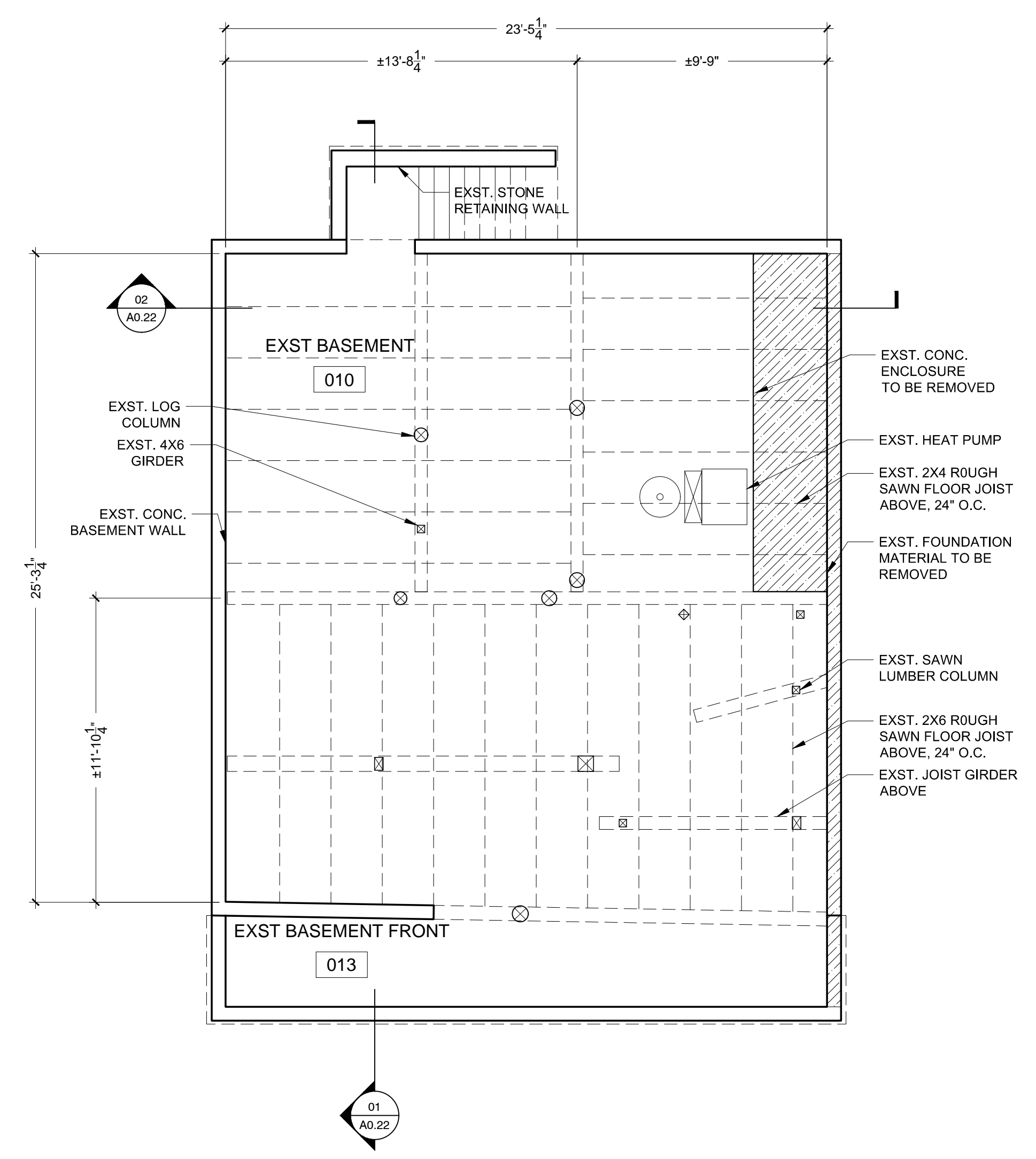
TITLE: EXISTING FLOOR PLANS

SCALE: 1/2" = 1'-0"
 DATE: 9/19/2023
 DRAWN BY: MWJ

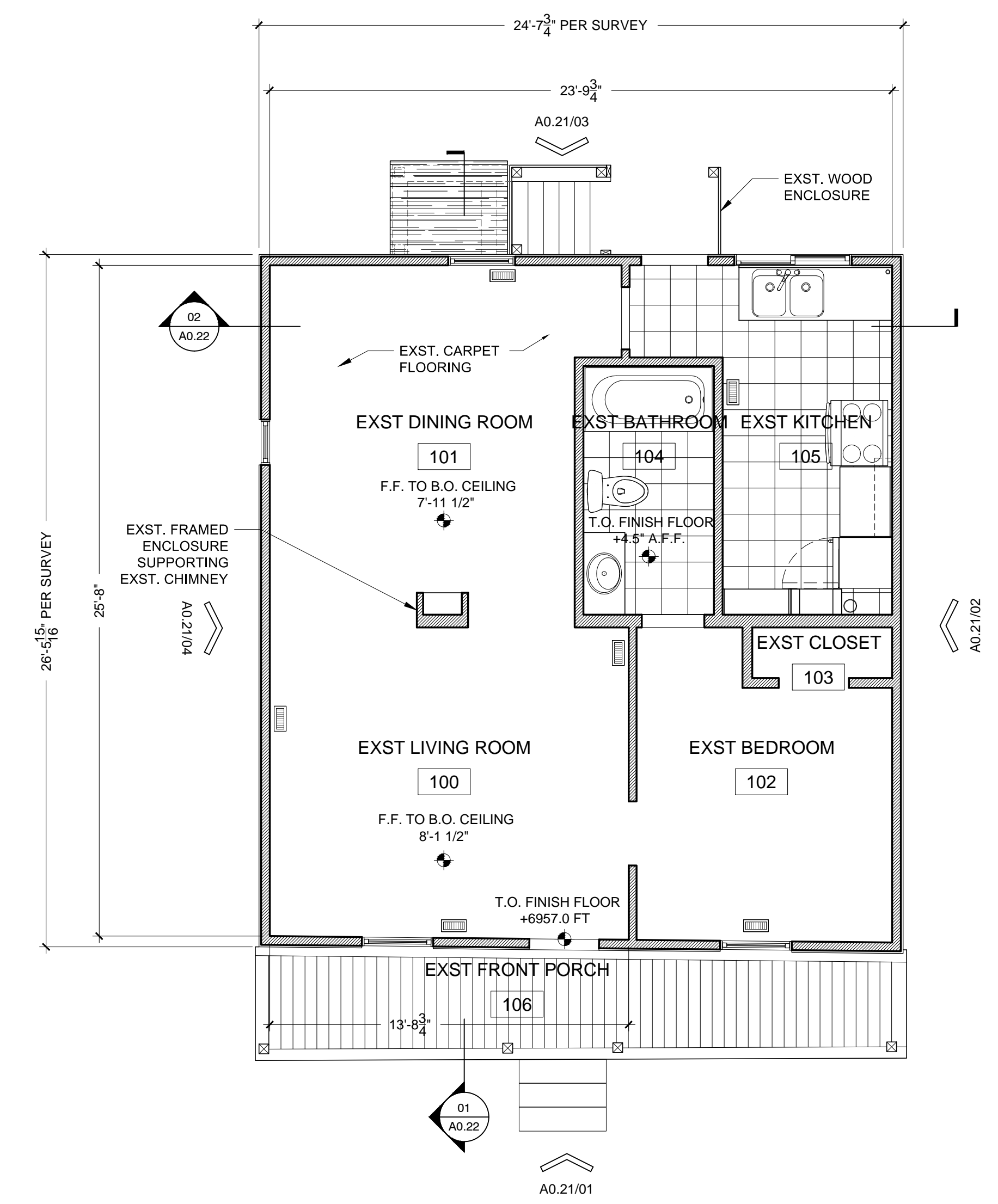
DATE	DESCRIPTION
V1 2/25/21	MEASURED DWGS
V2 6/21/21	DD PROGRESS SET
V3 4/29/22	DD PROGRESS SET
V4 9/13/23	HDDR SUBMITTAL
V5	
V6	

SHEET

A0.20



EXISTING PLAN - BASEMENT 1/4" = 1'-0" 02



EXISTING PLAN - FIRST FLOOR 1/4" = 1'-0" 01

NOT FOR CONSTRUCTION

STW15

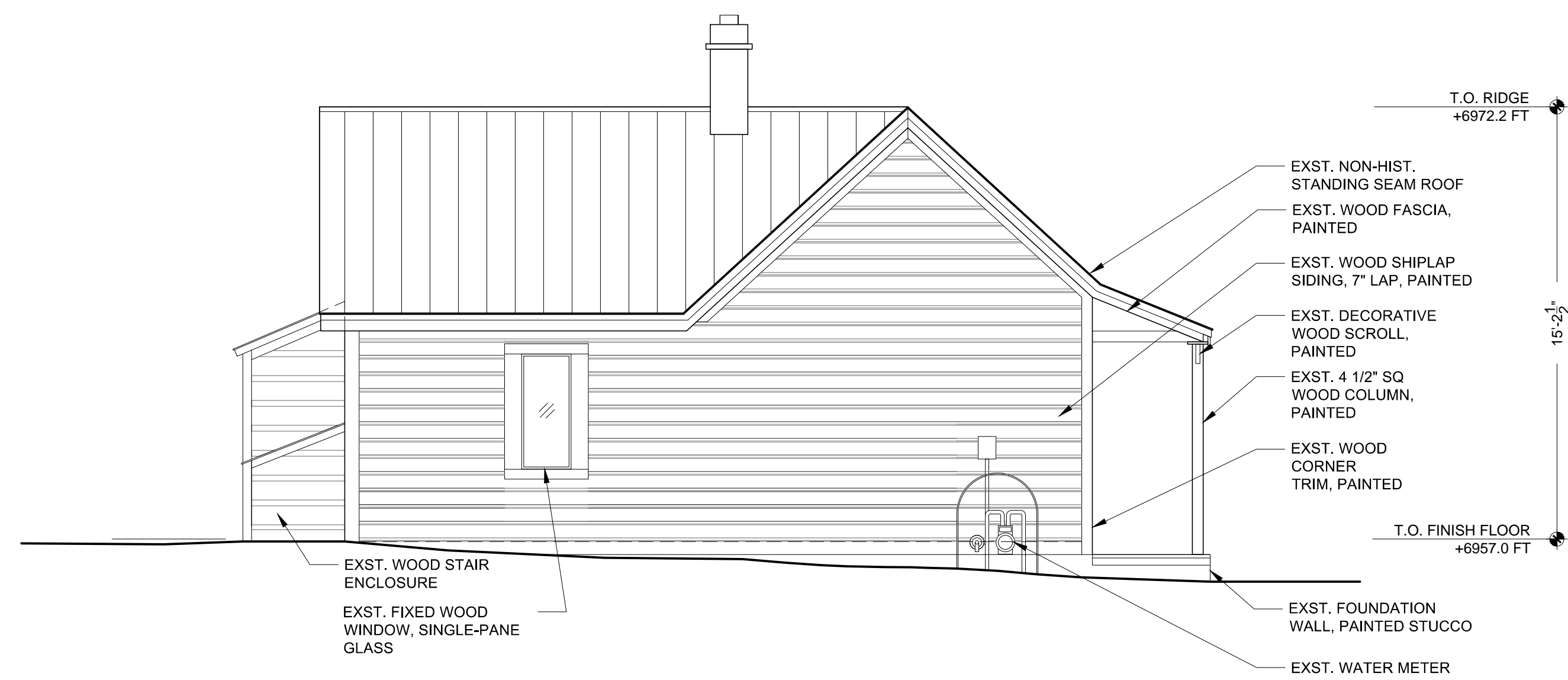
959 PARK CABIN
 959 PARK AVE
 PARK CITY, UTAH 84060

TITLE: EXISTING ELEVATIONS
 SCALE: 1/4" = 1'-0"
 DATE: 9/19/2023
 DRAWN BY: MWJ

DATE	DESCRIPTION
V1 2/25/21	MEASURED DWGS
V2 6/21/21	DD PROGRESS SET
V3 4/29/22	DD PROGRESS SET
V4 9/13/23	HDDR SUBMITTAL
V5	
V6	

SHEET

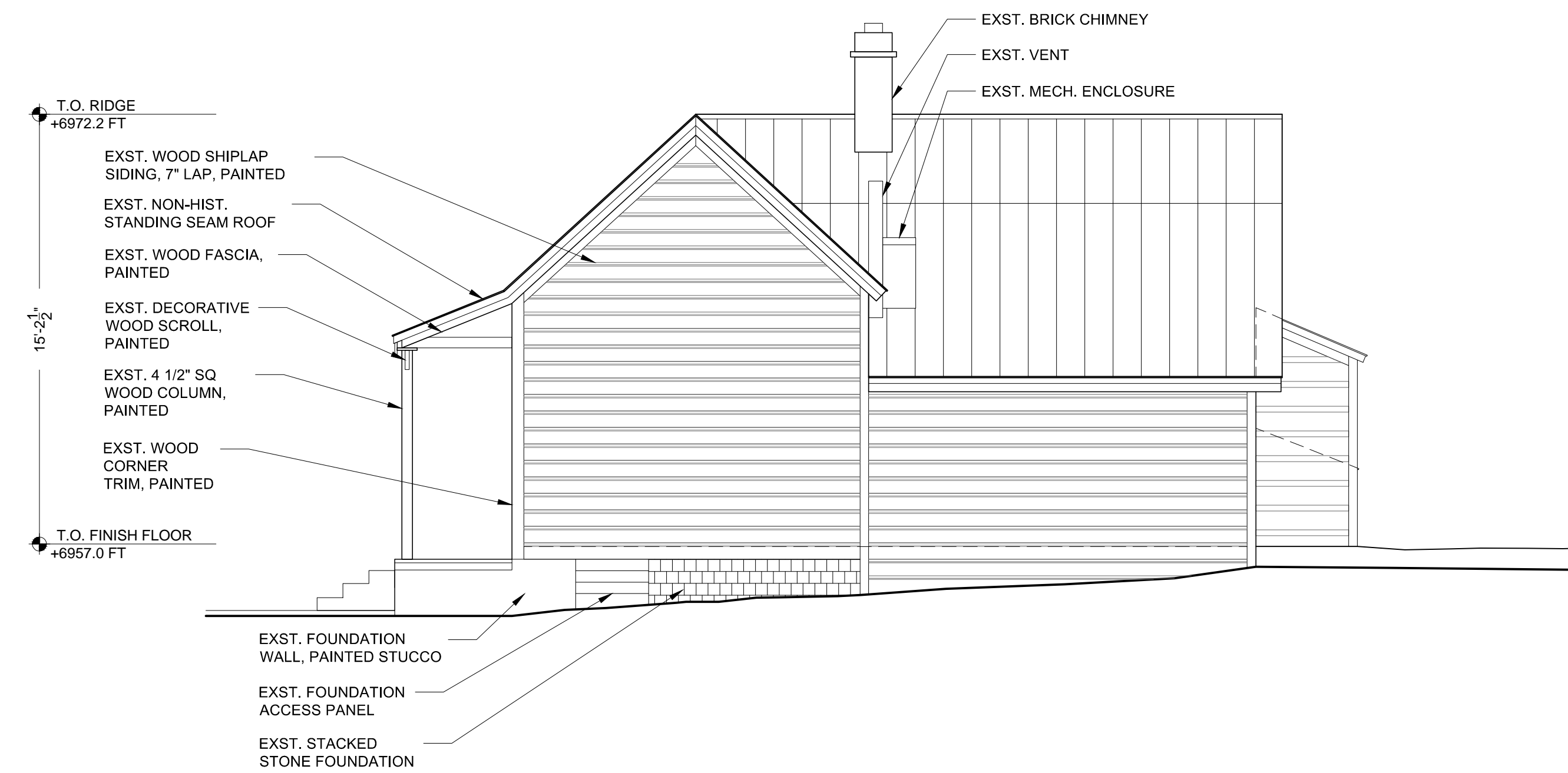
A0.21



EXISTING SOUTH ELEVATION

1/4" = 1'-0"

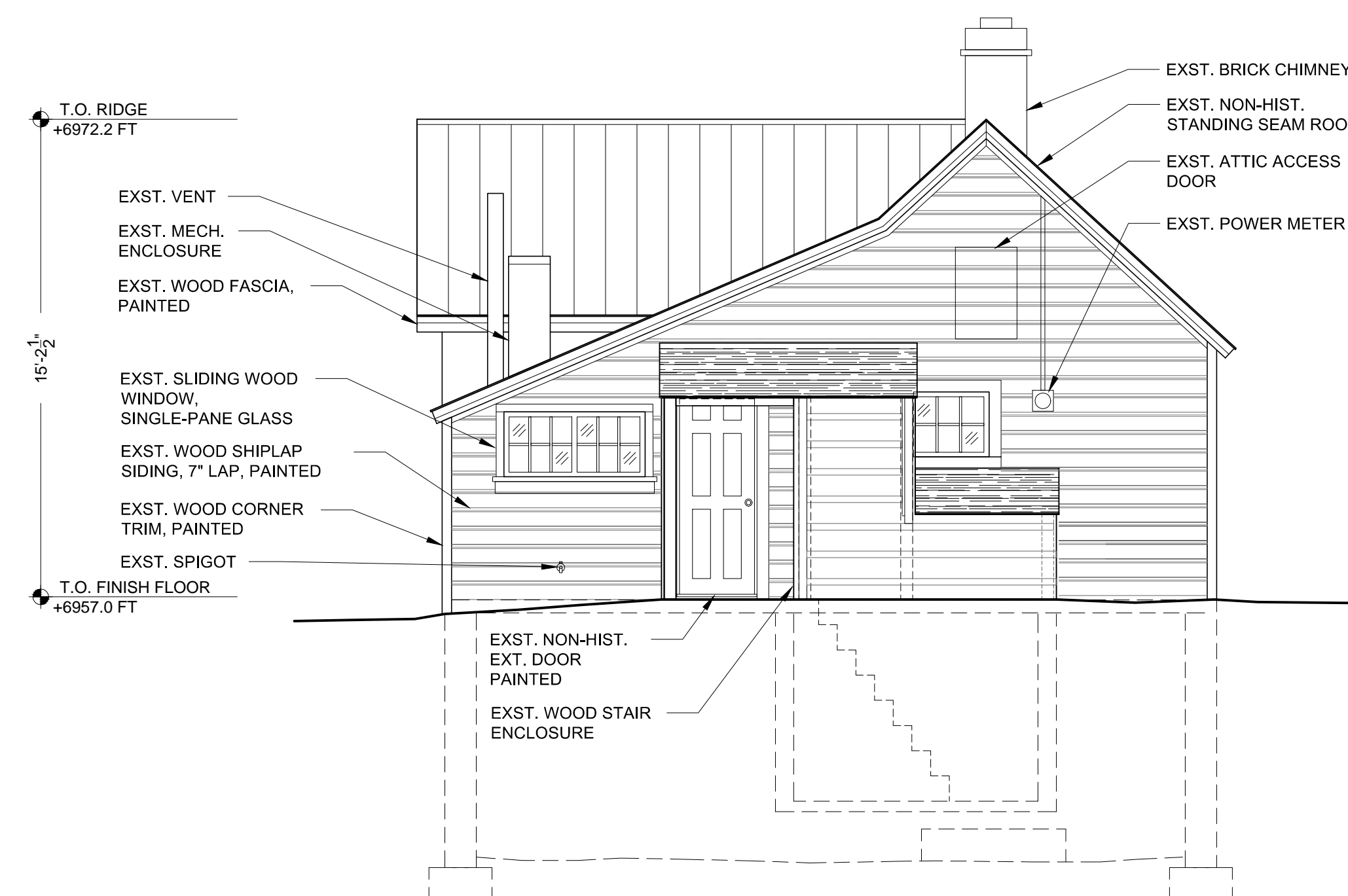
04



EXISTING NORTH ELEVATION

1/4" = 1'-0"

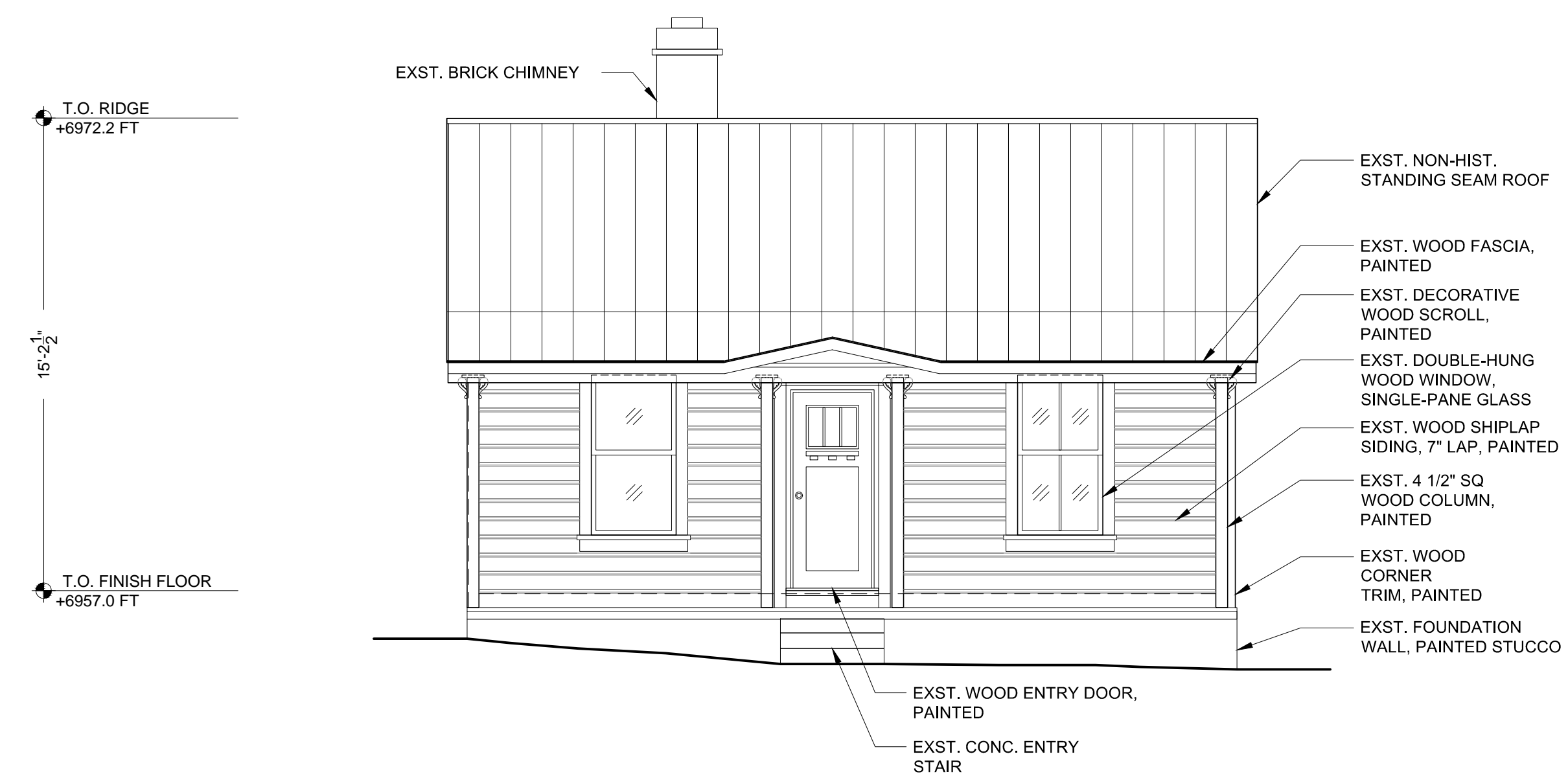
02



EXISTING WEST ELEVATION

1/4" = 1'-0"

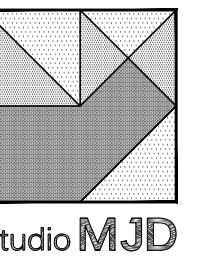
03



EXISTING EAST ELEVATION

1/4" = 1'-0"

01



MIKE JOZEWICZ DESIGN STUDIO
 405 E WASHINGTON BLVD, UNIT B
 LOS ANGELES, CA 90010
 MAIL@MIKEJOZEWICZ.COM
 213 290 4046 O
 919 889 9601 M

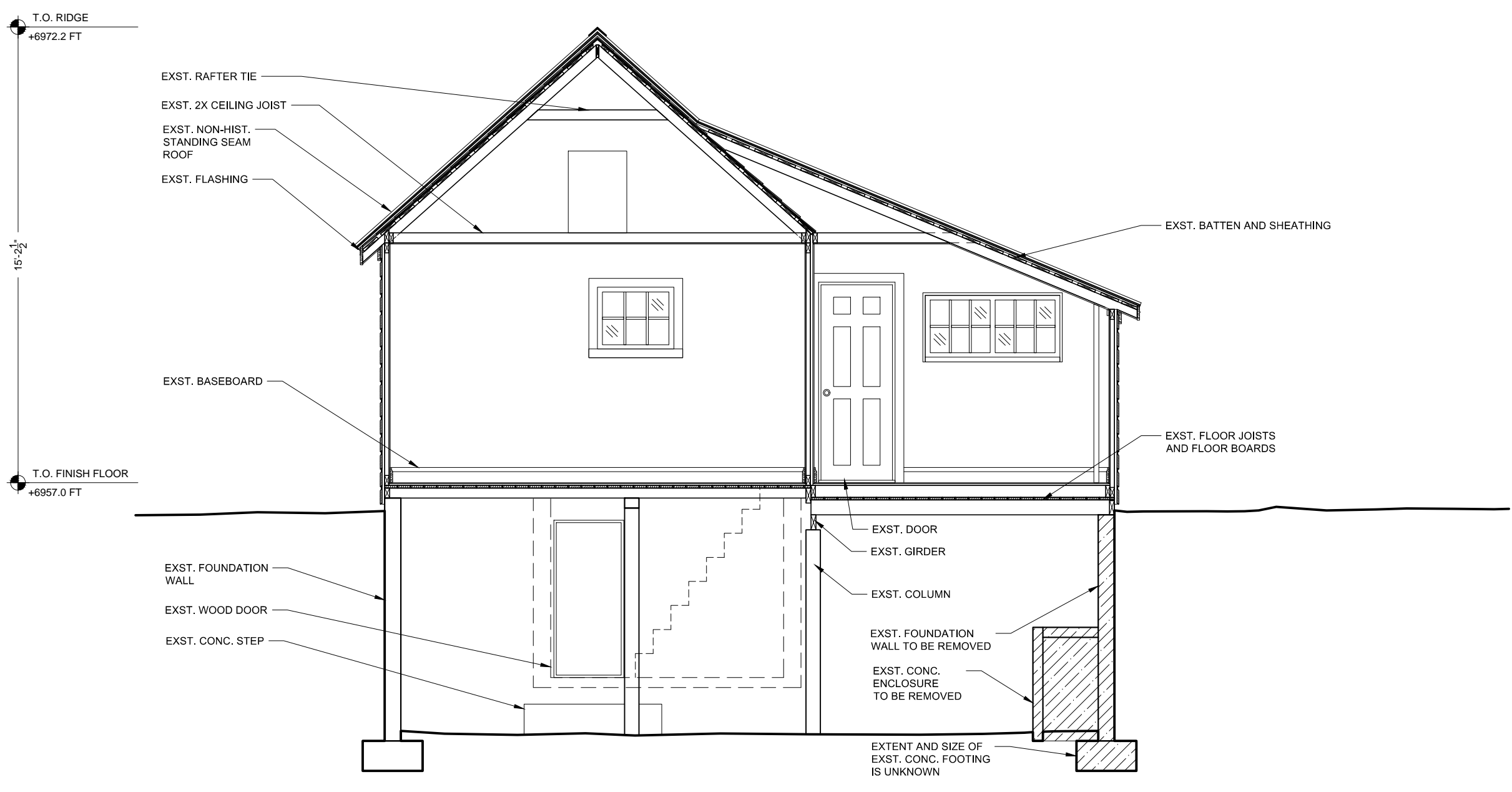
NOT FOR CONSTRUCTION

959 PARK CABIN
 959 PARK AVE
 PARK CITY, UTAH 84060

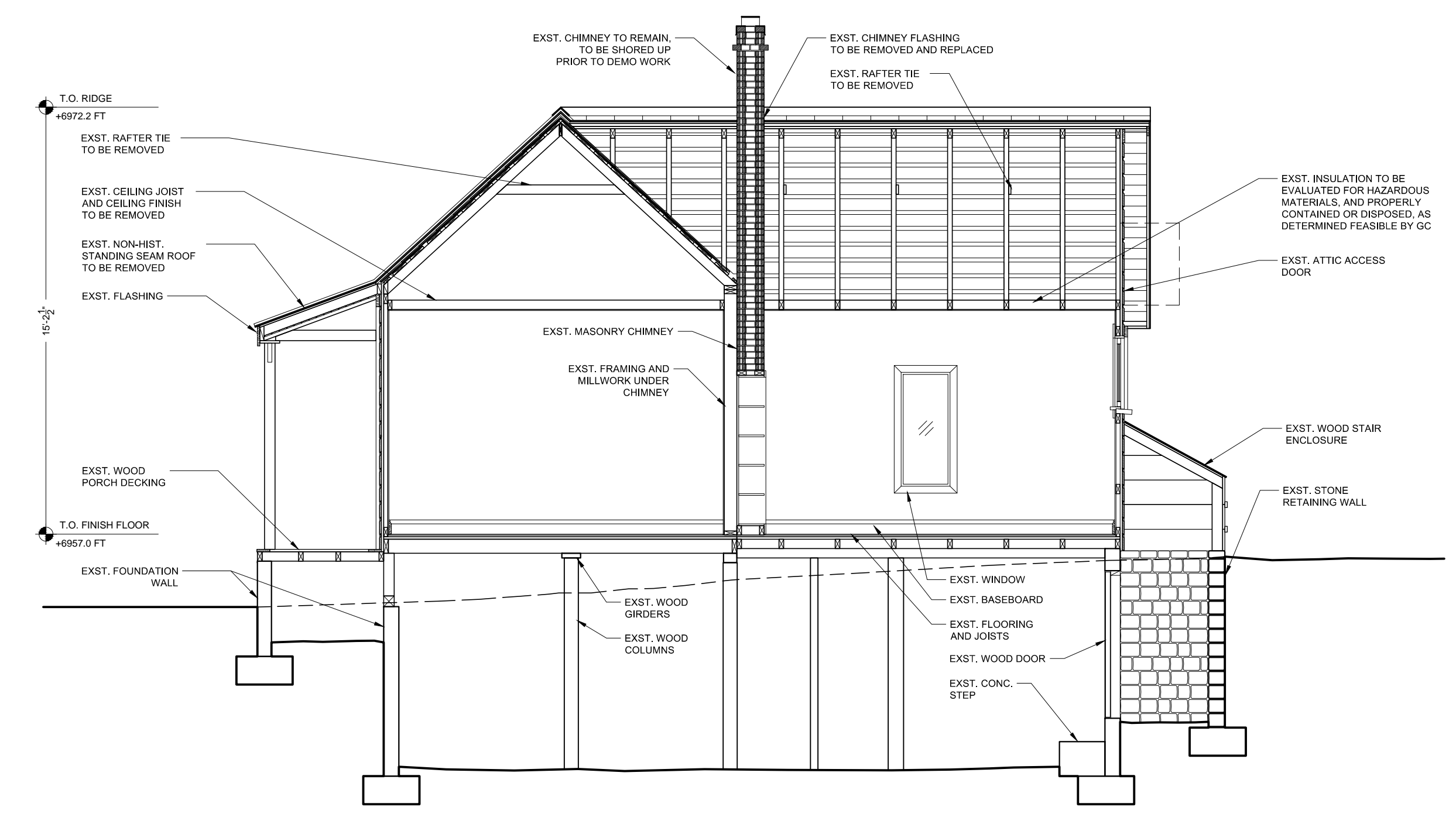
TITLE: DEMOLITION SECTIONS
 SCALE: 3/8" = 1'-0"
 DATE: 9/13/2023
 DRAWN BY: MWJ

DATE	DESCRIPTION
V1 2/25/21	MEASURED DWGS
V2 6/21/21	DD PROGRESS SET
V3 4/29/22	DD PROGRESS SET
V4 9/13/23	HDDR SUBMITTAL
V5 -	-
V6 -	-

SHEET
A0.22



BUILDING SECTION 1/4" = 1'-0" 02



BUILDING SECTION 1/4" = 1'-0" 01

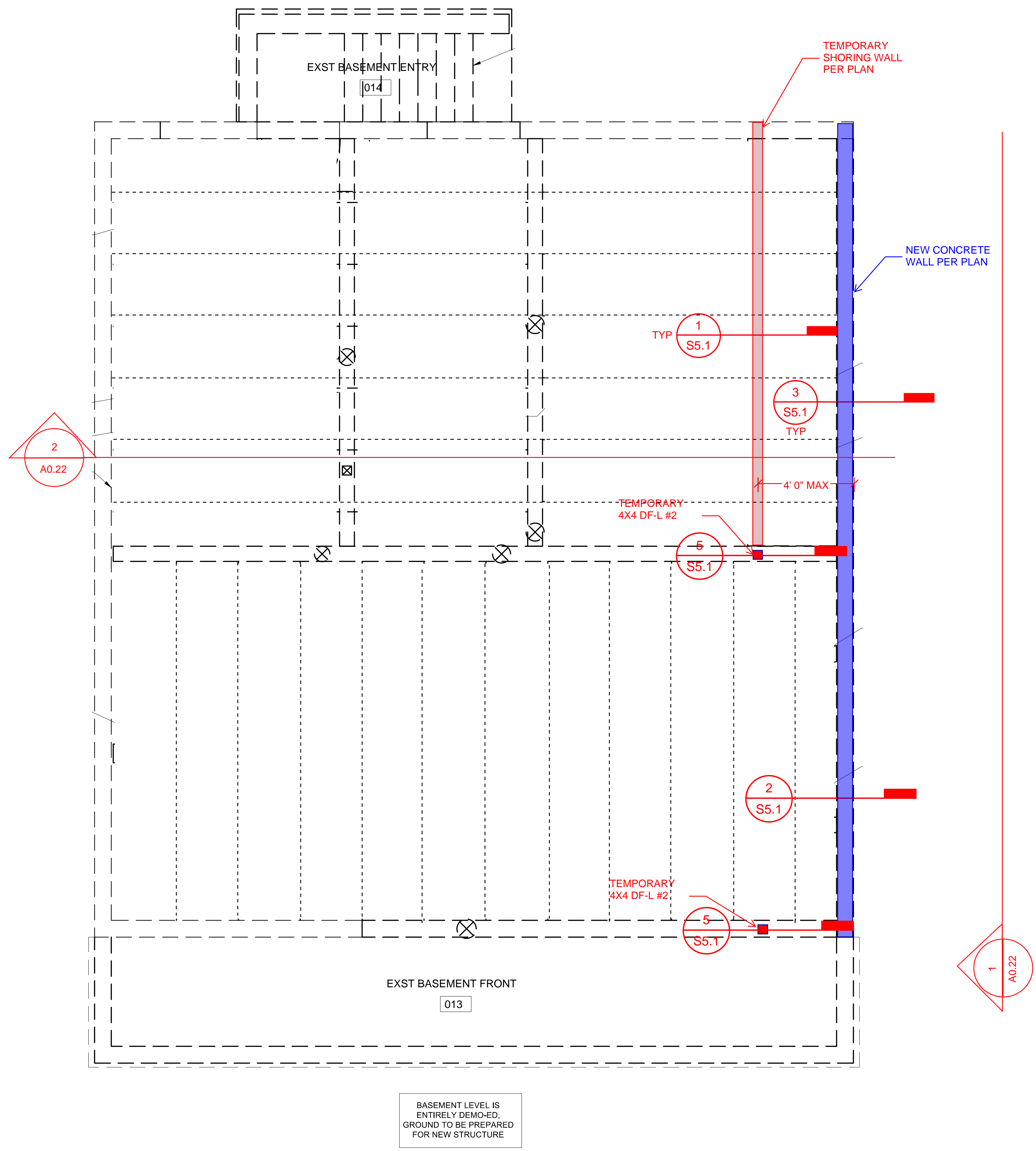
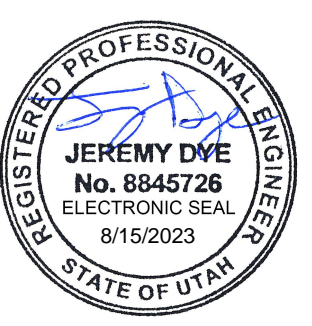
**NOT FOR
 CONSTRUCTION**

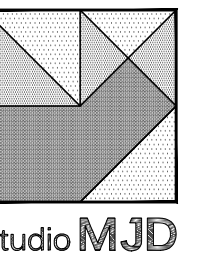
959 PARK CABIN
 959 PARK AVE
 PARK CITY, UTAH 84060

TITLE: DEMOLITION FLOOR PLANS
 SCALE: 1/2" = 1'-0"
 DATE: 5/19/2022
 DRAWN BY: MWJ

DATE	DESCRIPTION
V1 2/25/21	MEASURED DWGS
V2 6/21/21	DD PROGRESS SET
V3 4/29/22	DD PROGRESS SET
V4 -	-
V5 -	-
V6 -	-

SHEET
A0.30





MIKE JOZEWICZ DESIGN STUDIO
 405 E WASHINGTON BLVD, UNIT B
 LOS ANGELES, CA 90010
 MAIL@MIKEJOZEWICZ.COM
 213 290 4046 O
 919 889 9601 M

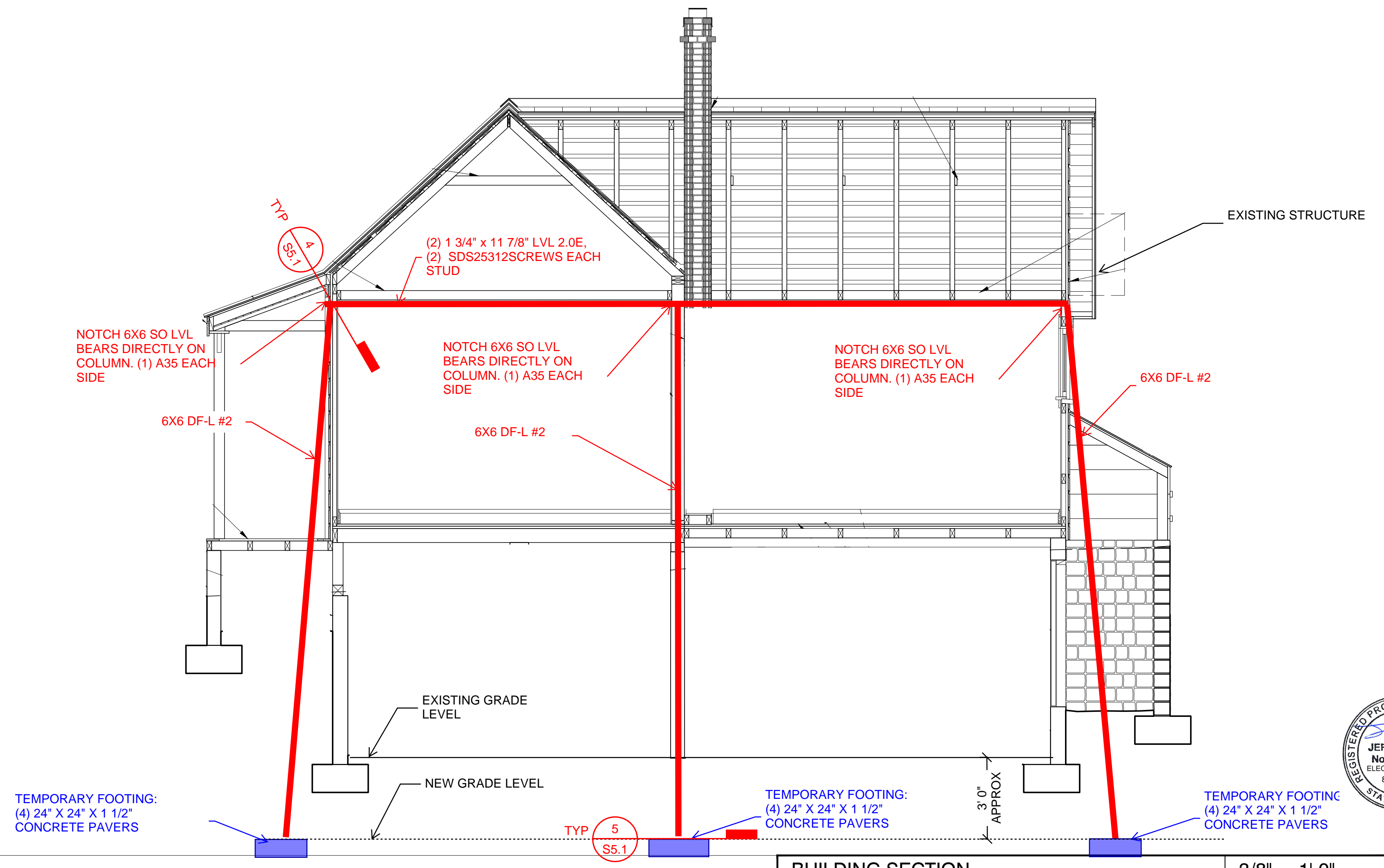
NOT FOR CONSTRUCTION

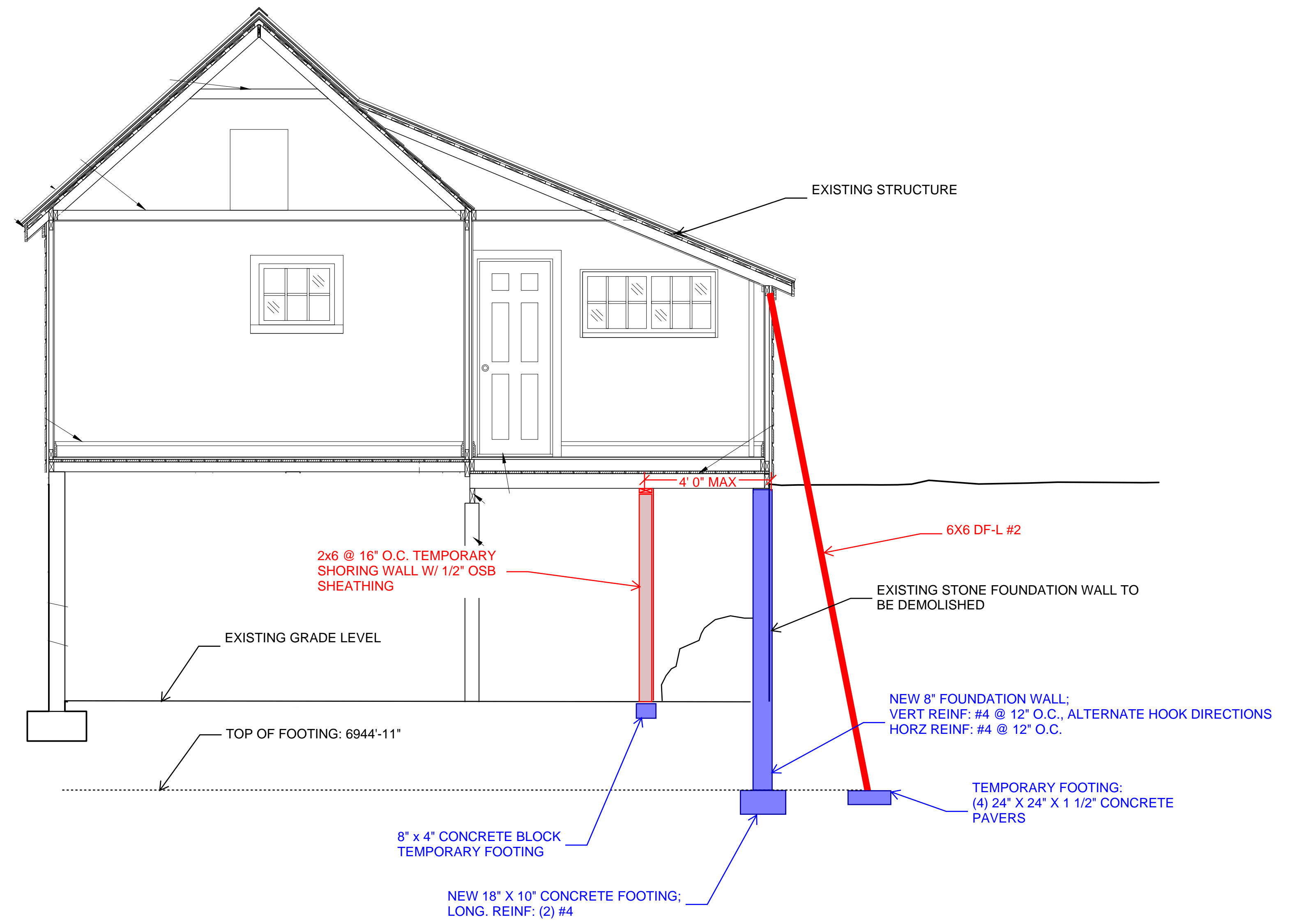
959 PARK CABIN
 959 PARK AVE
 PARK CITY, UTAH 84060

TITLE: DEMOLITION SECTIONS
 SCALE: 3/8" = 1'-0"
 DATE: 5/19/2022
 DRAWN BY: MWJ

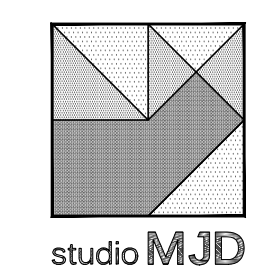
DATE	DESCRIPTION
V1 2/25/21	MEASURED DWGS
V2 6/21/21	DD PROGRESS SET
V3 4/29/22	DD PROGRESS SET
V4	
V5	
V6	

SHEET
A0.22





BUILDING SECTION | 3/8" = 1'-0" | 02



MIKE JOZEWICZ DESIGN STUDIO
 405 E WASHINGTON BLVD, UNIT B
 LOS ANGELES, CA 90010
 MAIL@MIKEJOZEWICZ.COM
 213 290 4046 O
 919 889 9601 M

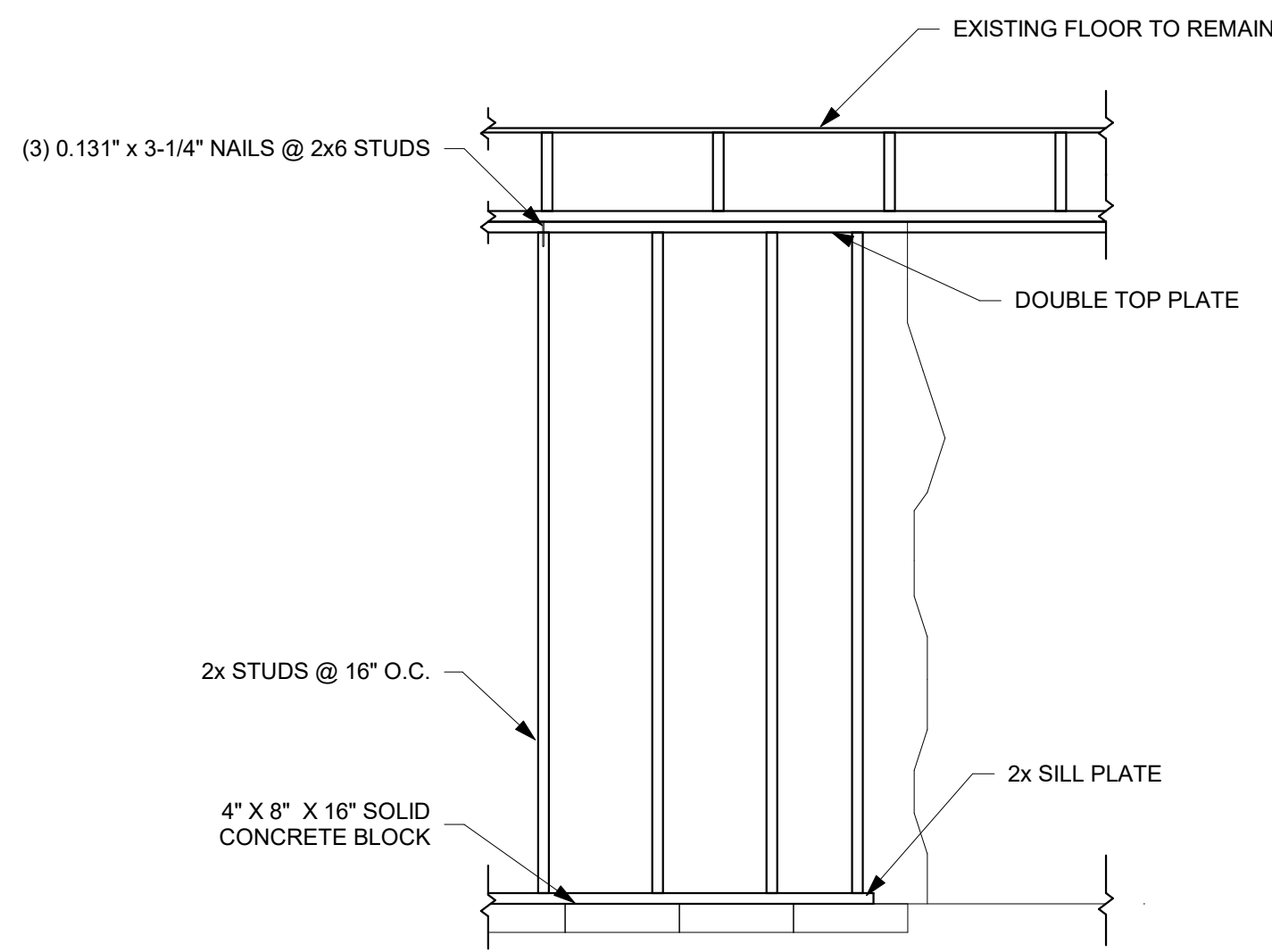
NOT FOR CONSTRUCTION

959 PARK CABIN
 959 PARK AVE
 PARK CITY, UTAH 84060

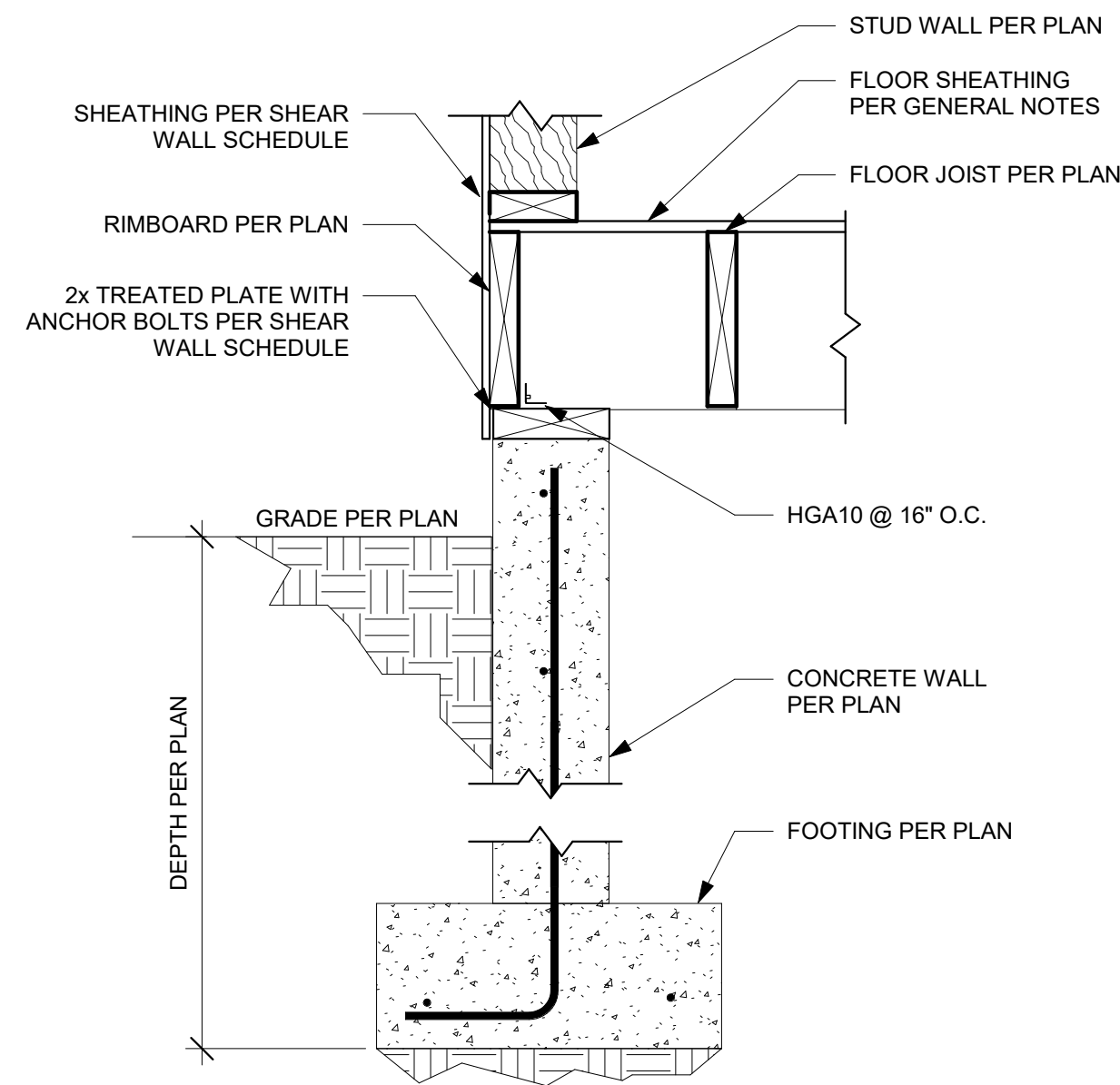
TITLE: DEMOLITION SECTIONS
 SCALE: 3/8" = 1'-0"
 DATE: 5/19/2022
 DRAWN BY: MWJ

DATE	DESCRIPTION
V1 2/25/21	MEASURED DWGS
V2 6/21/21	DD PROGRESS SET
V3 4/29/22	DD PROGRESS SET
V4	-
V5	-
V6	-

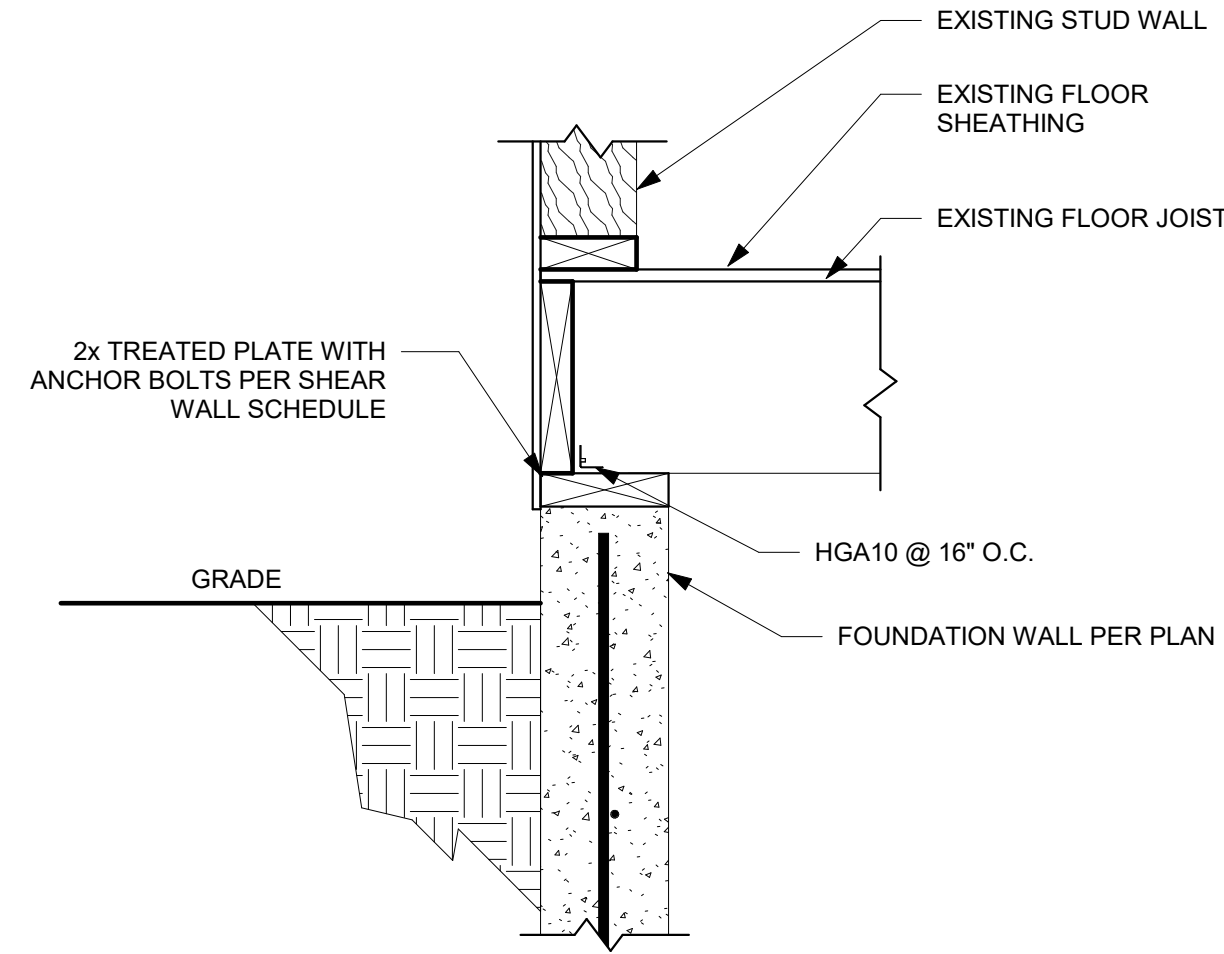
SHEET
A0.22



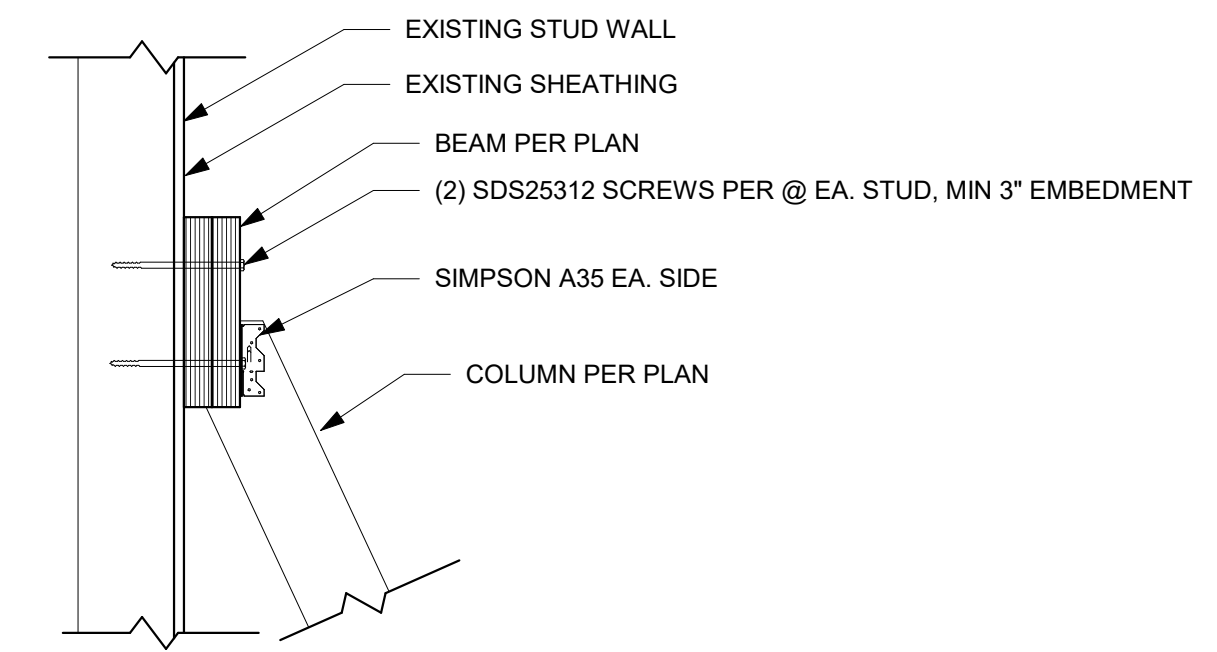
1 TEMPORARY SHORING
N.T.S.



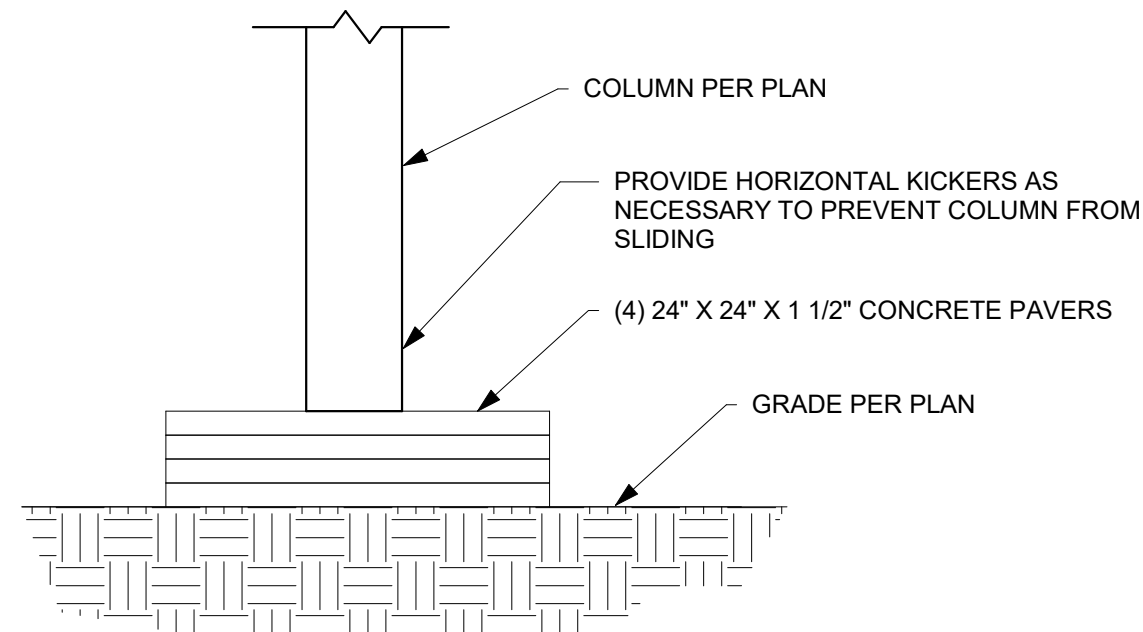
2 WOOD JOISTS ON CONCRETE WALL, PARALLEL
N.T.S.



3 WOOD FLOOR JOIST ON CONCRETE FOUNDATION WALL PERPENDICULAR
N.T.S.



4 LVL TO 6X6 KICKER
N.T.S.

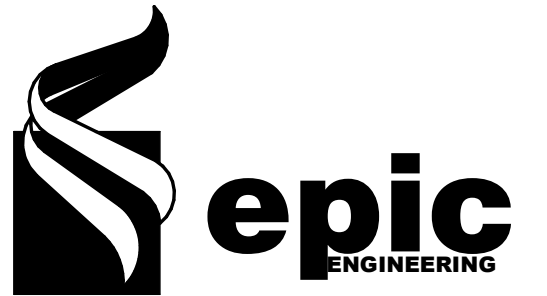


5 KICKER TO TEMPORARY FOOTING
N.T.S.

CONSTRUCTION NOTES

DATE

Issue Date

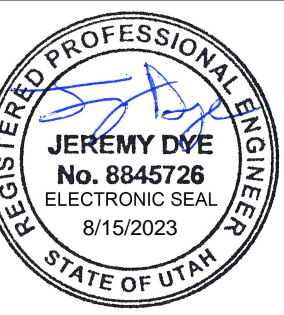


REVISIONS

MARK	DATE	DESCRIPTION

DRAWN: EPIC
DESIGNER: SA
REVIEWED: JD

PROJECT #
23SM5335



SCALES

As indicated

PROJECT NAME:

961 PARK AVENUE

PROJECT LOCATION:

961 PARK AVENUE
PARK CITY, UT 84060

SHEET TITLE:

STRUCTURAL DETAILS

PLAN SET:

PERMIT

SHEET

S5.1



PHYSICAL CONDITIONS REPORT

For Use with the *Historic District Design Review (HDDR)* Application

For Official Use Only

PLANNER: _____ APPLICATION #: _____
DATE RECEIVED: _____

PROJECT INFORMATION

NAME: 959 Park Cabin Foundation Renovation - Tomas Rizo/Samantha Basile, Owners
ADDRESS: 959 Park Avenue
Park City, Utah 84060

TAX ID: SA-20 OR
SUBDIVISION: Snyder's Addition OR
SURVEY: Alliance Engineering, 9/28/16 LOT #: 15 BLOCK #: 3
HISTORIC DESIGNATION: LANDMARK SIGNIFICANT NOT HISTORIC

APPLICANT INFORMATION

NAME: Tomas Rizo & Samantha Basile
MAILING ADDRESS: 31 Walter Street
San Francisco, CA 94114

PHONE #: (415) 810 - 4178 FAX #: () -
EMAIL: tomrizo@hotmail.com samrosebasile@gmail.com

APPLICANT'S REPRESENTATIVE INFORMATION

NAME: Mike Jozewicz, RA
PHONE #: (213) 290 - 4046 / 919-889-9601 cell
EMAIL: mail@mikejozewicz.com

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.


ACKNOWLEDGMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: 

Name of Applicant: Mike Jozewicz, RA

Mailing Address: 405 E Washington Blvd, Unit B
Los Angeles, CA 90015

Phone #: (213) 290 - 4046 Fax #: () -

Email: mail@mikejozewicz.com 919-889-9601 cell

Type of Application: HDDR application for foundation renovation

AFFIRMATION OF SUFFICIENT INTEREST

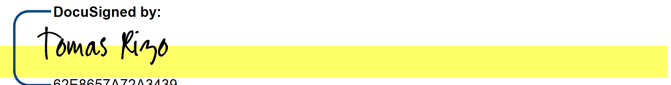
I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: Tomas Rizo & Samantha Basile

Mailing Address: 31 Walter Street
San Francisco, CA 94114

Street Address/ Legal: 959 Park Avenue Park City, Utah 84060

Description of Subject Property: 655 sq ft, single-family, single story with basement, wood-framed residence

Signature:  Date: 10/3/2023

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attaché a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

PHYSICAL CONDITIONS REPORT

Detailed Description of Existing Conditions. Use this page to describe all existing conditions. Number items consecutively to describe all conditions, including building exterior, additions, site work, landscaping, and new construction. Provide supplemental pages of descriptions as necessary for those items not specifically outlined below.

1. Site Design

This section should address landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use as many boxes as necessary to describe the physical features of the site. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Site

This involves: An original part of the building
 A later addition

Estimated date of construction: Unknown

Describe existing feature:

The front yard contains a stone walk and concrete stairs leading up to the porch. The rear yard has two slate stone walks. The date of installation is unknown, but believed to not be original.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

The stone walk is not continuous and creates a tripping hazard. The stair step are not spaced evenly, making the first and last step dangerous. The concrete is deteriorating at corners. The slate stone walks are partially covered by soil and are not an even walking surface.

Photo Numbers: 1,2

Illustration Numbers: _____

2. Structure

Use this section to describe the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Building wood framed structure

This involves: An original part of the building
 A later addition

Estimated date of construction: 1896

Describe existing feature:

The floor system is rough sawn 2x4 floor joists spaced 24" OC with 1" floor boards overlaid. These joists are supported by an assortment of 4x6 girders on log columns. The ceiling joists and roof joists are also 2x4, with rough timber collars.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

The floor system is undersized by modern standards. Both floor joists and floor girders lack sufficient depth. The floor deflect when weight is applied to it. The connection of the floor system to foundations walls is precarious, as there are minimal fasteners and no plates. The log columns do not appear to be bearing on an adequate foundation. The roof joists are also undersized. In some areas, including the north portion of the porch and northwest corner of the shed roof, the roof is deforming.

Photo Numbers: 3,4,5 Illustration Numbers: _____

3. Roof

Use this section to describe the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Standing Seam Roof and Flashing

This involves: An original part of the building
 A later addition

Estimated date of construction: 1980s

Describe existing feature:

The house has a black standing seam metal roof, which is not original. It has flashing at fascia and at the chimney.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

The actual roofing material appears to have a few years of life left in it. The finish is coming off on the front of the home. The fascia flashing is installed poorly. It peels away from the fascia in some locations, and is damaged from wear and tear in certain locations. The most problematic area is the shed roof on the north side of the house. A combination of flashing, roofing membrane and sealant cover vents and an old stove vent. Water is infiltrating into the house below. The flashing on the chimney does not appear to be leaking, but is not well executed.

Photo Numbers: 6,7,8,9,10 Illustration Numbers: _____

4. Chimney

Use this section to describe any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Masonry Chimney

This involves: An original part of the building
 A later addition

Estimated date of construction: 1896

Describe existing feature:

A skinny masonry chimney is located on the rear gable of the house.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Bricks appear to be loose on the perimeter, mortar is deteriorated, flashing should be re-done. Due to skinny proportions it is prone to further damage in the case of lateral loads.

Photo Numbers: 11 Illustration Numbers: _____

5. Exterior Walls

Use this section to describe exterior wall construction, finishes, and masonry. Be sure to also document other exterior elements such as porches and porticoes separately. Must include descriptions of decorative elements such as corner boards, fascia board, and trim. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Vertical plank walls with channel lap siding

This involves: An original part of the building
 A later addition Estimated date of construction: 1896

Describe existing feature:

Due to the thickness of the exterior walls, the perimeter walls appear to not be actual 2x framed walls. We believe the exterior walls are made of vertical planks covered in lap siding. Trim boards occur at the corners, at the soffit, and around the window and door openings.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

The walls need to be reinforced with framing to meet contemporary load standards. Western wall along Park Ave is significantly out of plumb. Boards near ground plane are likely damaged by moisture. Corners where siding meets corner boards are opening up, allowing moisture inside.

Photo Numbers: 12,13,14 Illustration Numbers: _____

6. Foundation

Use this section to describe the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Concrete and rubble foundation wall

This involves: An original part of the building

A later addition

Estimated date of construction: 1896, Additions in
20th century possible

Describe existing feature:

The foundation of the home is a combination of a concrete wall, stacked rubble/brick, and log columns. The concrete walls are located on the west, south and a portion of the east wall. The stacked rubble and brick foundation is on the north wall of the home. In front of the north wall of the foundation there is a concrete enclosure about 4ft tall. In the center of the basement there are various log columns placed irregularly to support the floor above.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

The concrete foundation walls appear to be in good shape. There are no obvious signs of failure or moisture. The log columns supporting the floor girders do not appear to be resting on concrete footings, but rather placed into the ground. There are minimal fasteners securing them to the girders. The north wall is the most problematic. It is made of stacked rubble and brick, some of appears to be loose, and not secured with mortar. We believe this wall is settling. The northeast corner at Park Ave is cracking in multiple places. We very concerned these conditions will get worse when construction begins on 961 Park.

Photo Numbers: 15,16,17,18,19

Illustration Numbers: _____

7. Porches

Use this section to describe the porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Wood deck porch

This involves: An original part of the building

A later addition

Estimated date of construction: 1896, Unknown

Describe existing feature:

The porch is a wood-framed deck with unfinished wood deck boards resting on a stuccoed foundation wall. The porch has four square wood columns, which support a bead board finished ceiling. Decorative scrolls at the column tops appear to be added at a later date.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

The porch foundation is cracking on the northeast corner in two places. The deck boards on the north and south side of the porch are detached from the joists. The columns are in fair condition. The bead board ceiling appears to be separating in some locations.

Photo Numbers: 20,21,22

Illustration Numbers: _____

8. Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Mechanical Systems

This involves: An original part of the building
 A later addition Estimated date of construction: 1980s, 2020s

Describe existing feature:

The house has a gas furnace in the basement along with a gas water heater. The furnace was recently replaced with a used furnace. The forced air is ducted through the basement into the main floor. The furnace is vented through the roof. Plumbing fixtures and plumbing is likely periodically replaced and updated in the 20th century. The house does not have fire suppression.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

The mechanical elements, plumbing, and electrical are dated. They should be replaced when the house is renovated.

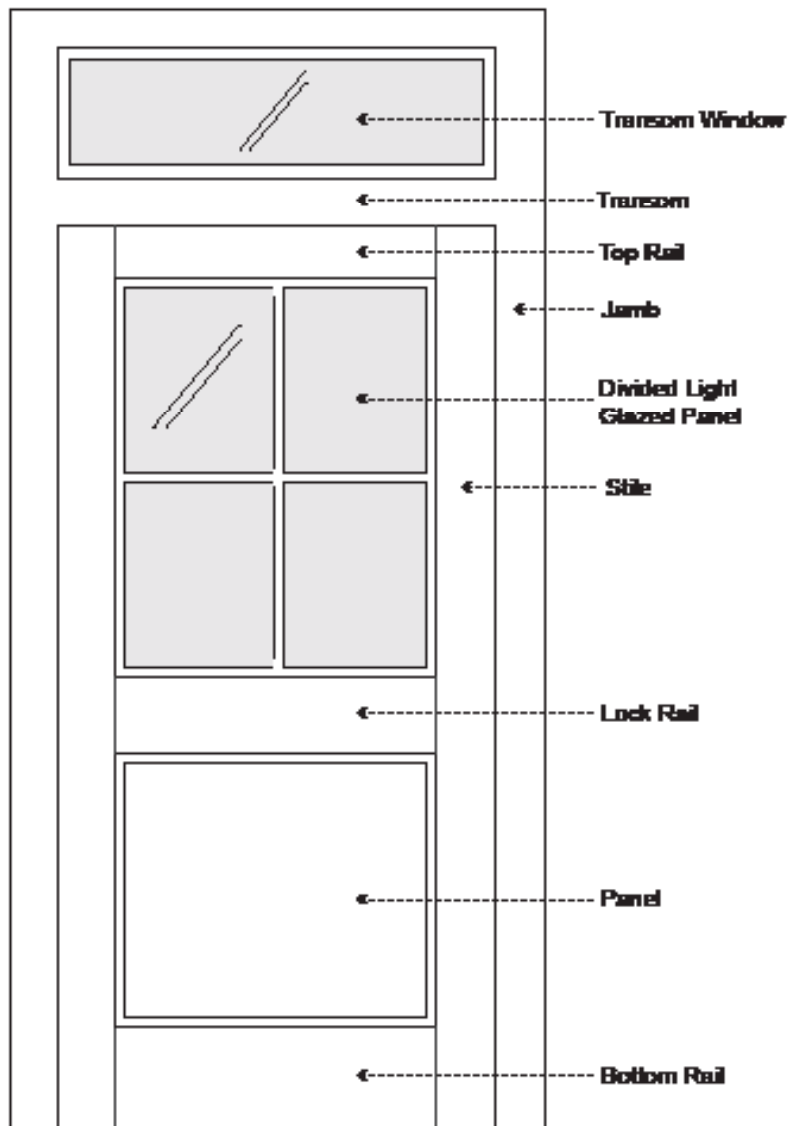
Photo Numbers: 23 Illustration Numbers: _____

9. Door Survey

Basic Requirements

1. All door openings on the exterior of the structure should be assigned a number and described under the same number in the survey form. Doors in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each exterior door in detail, referring to specific parts of the door. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the door unit and associated trim. Broken glass and normal wear and tear are not necessarily grounds for approving replacement.
4. The condition of each door should be documented based on the same criteria used to evaluate the condition of specific elements and features of the historic structure or site: Good, Fair, Poor.

Don't forget to address service, utility, and garage doors where applicable.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

Door Survey Form

Total number of door openings on the exterior of the structure: 2
 Number of historic doors on the structure: 1
 Number of existing replacement/non-historic doors: 1
 Number of doors completely missing: -

Please reference assigned door numbers based on the Physical Conditions Report.

Number of doors to be replaced: None at this time, doors will not be disturbed

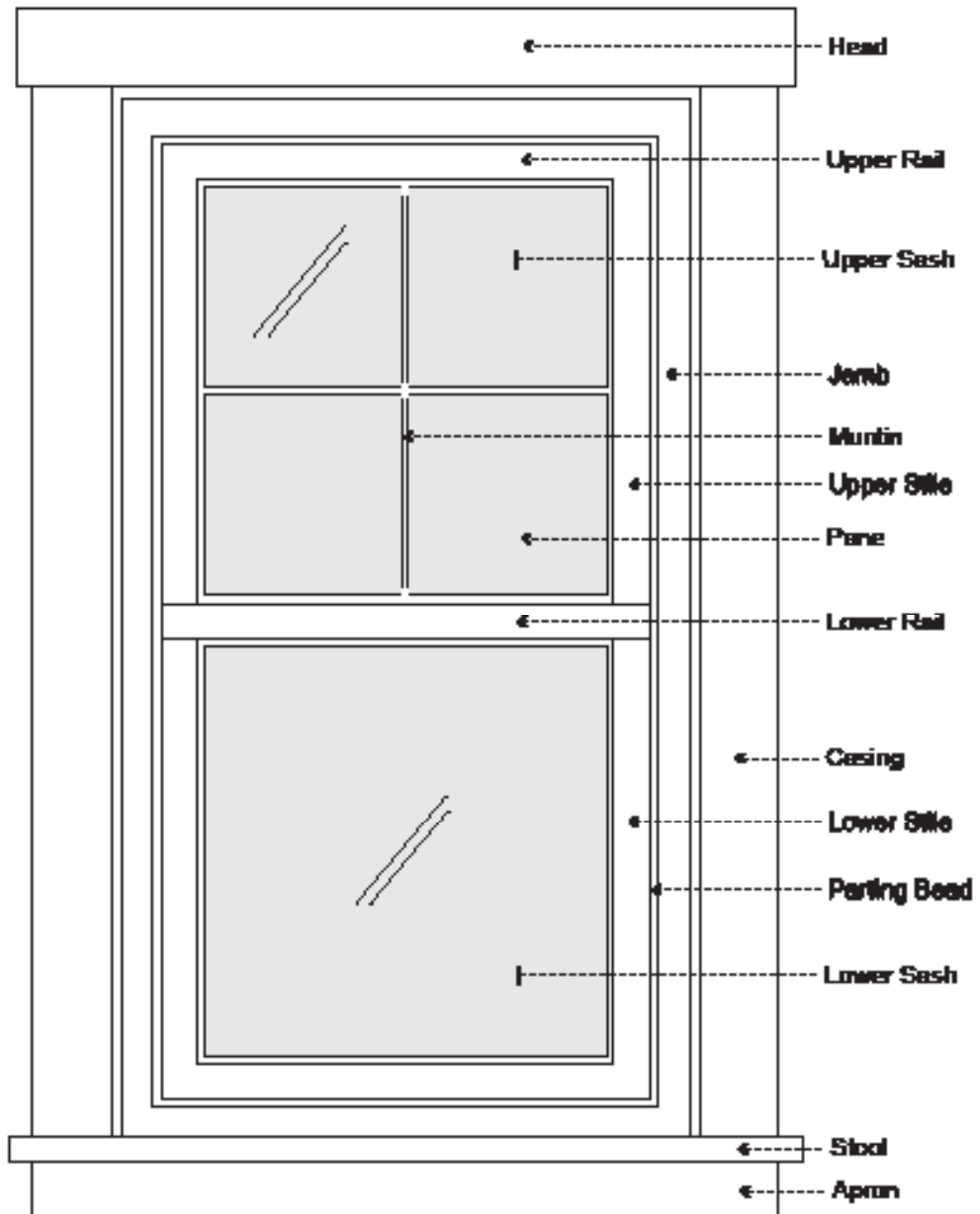
Door #:	Existing Condition (Excellent, Good, Fair, Poor):	Describe any deficiencies:	Photo #:	Historic (50 years or older):
1	Fair	Front door, wood door, wood is aged, air infiltrates, no insulation		Yes
2	Good	Rear door, vinyl door		No
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

10. Window Survey

Basic Requirements

1. All window openings on the structure should be assigned a number and described under the same number in the survey form. Windows in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each window in detail, referring to specific parts of the window. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the window unit and associated trim. Broken glass and windows that are painted shut alone are not grounds for approving replacement.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

Window Survey Form

Total number of window openings on the exterior of the structure: 5
 Number of historic windows on the structure: 4
 Number of existing replacement/non-historic windows: 1
 Number of windows completely missing: -

Please reference assigned window numbers based on the Physical Conditions Report.

Number of windows to be replaced: None at the time, windows will not be disturbed

Window #:	Existing Condition (Excellent, Good, Fair, Poor):	Describe any deficiencies:	Photo #:	Historic (50 years or older):
1	Fair	Front window south		Yes
2	Fair	Front window north		Yes
3	Fair	Kitchen window		Yes
4	Fair	Dining window west		Yes
5	Fair	Dining window south		No
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

11. Interior Photographs

Use this section to describe interior conditions. Provide photographs of the interior elevations of each room. (This can be done by standing in opposite corners of a square room and capturing two walls in each photo.)

Element/Feature: Living Room

This involves: An original part of the building
 A later addition Estimated date of construction: 1896, 1980s

Describe existing feature:

The space has carpeted floors. Walls are plastered and painted. The ceiling is a painted hardboard and batten treatment. Interior trim appears to be historic. Historic chimney rests on a cabinet. Interior doors are painted raised panel wood doors

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Floors need to be re-inforced and leveled. Walls plumbed, re-plastered and smoothed out.

Photo Numbers: 24 Illustration Numbers: _____

Element/Feature: Bedroom

This involves: An original part of the building
 A later addition

Estimated date of construction: 1896, 1980s

Describe existing feature:

The space has carpeted floors. Walls are plastered and painted. The ceiling is a painted tough and groove treatment, which appears to be historic. Interior trim appears to be historic. Interior doors are painted raised panel wood doors

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

Floors need to be re-inforced and leveled. Walls plumbed, re-plastered and smoothed out.

Photo Numbers: 25 Illustration Numbers: _____

Element/Feature: Bathroom

This involves: An original part of the building
 A later addition

Estimated date of construction: 1896, 1980s

Describe existing feature:

The space has linoleum floors. Walls are plastered and painted. The ceiling is a painted plywood and batten treatment. Cabinets and fixtures are installed more recently.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

Floors need to be re-inforced and leveled. Walls plumbed, re-plastered and smoothed out.

Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: Dining Room

This involves: An original part of the building
 A later addition

Estimated date of construction: 1896, 1980s

Describe existing feature:

The space has carpeted floors. Walls are plastered and painted. The ceiling is a painted plywood and batten treatment. Interior trim appears to be historic.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

Floors need to be re-inforced and leveled. Walls plumbed, re-plastered and smoothed out.

Photo Numbers: 26

Illustration Numbers: _____

Supplemental Sheets

Supplemental Page ___ of ___

Supplemental pages should be used to describe any additional elements and features not previously described in this packet.

Element/Feature: Kitchen

This involves: An original part of the building
 A later addition
Estimated date of construction: 1896, 1980s

Describe existing feature:

The space has linoleum floors. Walls are plastered and painted. The ceiling is a painted plywood and batten treatment. Interior trim may not be historic. Cabinets are likely mid 20th century. Appliances and fixtures are recent.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Floors need to be re-inforced and leveled. Walls plumbed, re-plastered and smoothed out. The roof is letting in moisture into the kitchen ceiling and needs to be repaired.

Photo Numbers: 27 Illustration Numbers: _____

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE - PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060



HISTORIC PRESERVATION PLAN

For Use with the *Historic District/Site Design Review Application*

For Official Use Only

PLANNER: _____ APPLICATION #: _____

DATE RECEIVED: _____

PLANNING DIRECTOR _____ CHIEF BUILDING OFFICIAL _____

APPROVAL DATE/INITIALS: _____ APPROVAL DATE/INITIALS: _____

PROJECT INFORMATION

LANDMARK SIGNIFICANT DISTRICT: _____

NAME: 959 Park Cabin Foundation Renovation - Tomas Rizo/Samantha Basile. Owners

ADDRESS: 959 Park Avenue

Park City, Utah 84060

TAX ID: SA-20 _____ OR

SUBDIVISION: Snyder's Addition _____ OR

SURVEY: Alliance Engineering, 9/28/16 LOT #: 15 BLOCK #: 3

APPLICANT INFORMATION

NAME: Tomas Rizo & Samantha Basile

PHONE #: (415) 810 - 4178 FAX #: () -

EMAIL: tomrizo@hotmail.com samrosebasile@gmail.com

INSTRUCTIONS FOR HISTORIC PRESERVATION PLAN

The purpose of the HISTORIC PRESERVATION PLAN is to provide a detailed description of the proposed project, including the scope of work, methods/techniques being considered, and the potential impacts and/or benefits to Park City's historic resources. The Planning Department is authorized to require a Historic Preservation Plan as a condition of approving an application for a building project that affects a historic structure, site or object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

It is important to address the condition of each element, feature, or space of a historic site and/or structure as identified by the Physical Conditions Report.

Please note the following:

1. **Multiple Buildings and/or Structures.** For Historic District Design Reviews (HDDR) that include more than one (1) structure, please complete an individual Physical Conditions Report for each structure on the site.
2. **Scope of Work.** Summarize the impacts the proposed project will have on each of the elements/features identified by the Physical Conditions Report. If the project proposes a negative impact on any character-defining feature, explain why it is unavoidable and what measures are proposed to mitigate the adverse affects.
3. **Construction Issues.** Following the format of the Physical Condition Report, summarize the work being proposed for each feature. Provide reference to or excerpts from the Physical Condition Report if needed to supplement the work summaries. Address the treatments being considered and the methods and techniques being proposed.

According to the *Design Guidelines for Historic Districts and Historic Sites* the four treatments for historic sites include:

- **Preservation.** If you want to stabilize a building or structure, retain most or all of its historic fabric, and keep it looking the way it does now, you will be preserving it. Preservation is the first treatment to consider and it emphasizes conservation, maintenance and repair.
 - **Rehabilitation.** If you want to update a building for its current or a new use, you will be rehabilitating it. Rehabilitation, the second treatment, also emphasizes retention and repair of historic materials, though replacement is allowed because it is assumed that the condition of existing materials is poor.
 - **Restoration.** If you want to take a building back to an earlier time by removing later features, you will be restoring it. Restoration, the third treatment, centers on retaining materials from the most significant period in the property's history. Because changes in a site convey important information about the development history of that site and its structures, restoration is less common than the previous treatments.
 - **Reconstruction.** If you want to bring back a building that no longer exists or cannot be repaired, you will be reconstructing it. Reconstruction, the fourth treatment, is used to recreate a non-surviving building or one that exists now, but is extremely deteriorated and unsalvageable. Reconstruction is rarely recommended.
4. **Conditions Evaluation.** The scope of work for those features/elements identified as fair or poor in the Physical Conditions Report require a more comprehensive approach to its deteriorated condition. Please provide specific details outlining your scope of work.
 5. **References.** Specific conditions should be addressed using recognized preservation methods. It may be helpful to reference the National Park Service's Preservation Briefs in order to specify

recognized preservation methods for features/elements such as wood windows, porches, and masonry chimneys. These and other features are described in the Preservation Briefs, available online at: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>.

Site Design

Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.

Element/Feature: Site

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time the only work that will occur on the site will be excavation on the north side of the house for foundation work. That excavation will occur on 961, therefore will not impact elements on the site of 959.

Structure

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Building wood framed structure

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time the only work that will occur on the structure will be securing it to the new north foundation wall. Framing lumber, ledgers, and plates will be added to secure framing to the new concrete wall.

Roof

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: Standing seam metal roofing and flashing

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Chimney

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Masonry Chimney

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Exterior Walls

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Feature: North Wall

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The north wall flooring and framing will be secured to the new foundation wall below. Two siding boards and framing behind them will be removed at the ground plane. This will allow a continuous foundation wall height to extend across the north elevation, per the architectural drawings. These boards, as they are close to the ground are prone to decay.

Element/Feature: East Wall

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Element/Feature: South Wall

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Element/Feature: West Wall

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Foundation

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: North Foundation Wall

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing brick and rubble foundation will be removed, along with a concrete enclosure on the basement interior. A new reinforced concrete wall will be put in its place. This will be finished with a painted stucco finish which will blend into the existing finish in color and texture. At the northeast corner, the existing stucco will be retouched as needed.

Porches

Use this section to describe the proposed scope of work and preservation treatment for all porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature: Porch Decking

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Existing deck boards are coming loose from the framing at the south and north ends of the porch. The deck boards will be reattached with nails to match the existing conditions. If any deck boards are missing, or damaged beyond repair, they will be replaced with a board of matching size and species.

Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: Front Door

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Element/Feature: Rear Door

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Windows

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature: Primary Elevation Windows

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Element/Feature: Other Windows

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Mechanical Systems

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

At this time no work will occur on this element.

Additions

Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Rear/Western Addition

This involves: Preservation Restoration **N/A**
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

An addition on the rear of the home has been designed. The HDDR review and construction of this element will occur at a later date.

4. PROJECT TEAM

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name. Mike Jozewicz, RA

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name. Mike Jozewicz, RA

5. SITE HISTORY

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

6. FINANCIAL GUARANTEE

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

7. ACKNOWLEDGMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.



Signature of Applicant: _____ Date: 9/14/23

Name of Applicant: Mike Jozewicz, RA



East Elevation - From Park Avenue



North Elevation - From 10th Street





West Elevation



South Elevation



Exterior Elevations



North East Corner



North West Corner

Exterior Elevations





East Elevation - From Park Avenue



North Elevation - From 10th Street





West Elevation



South Elevation

Exterior Elevations





Elevation - Looking East across Park Ave



Elevation - Looking West towards Woodside



Elevation - Looking North across 10th Street



Elevation - Looking South at 953 Park





959 Park Foundation Renovation

Physical Condition Report Supplemental Information

Photo 1 – Front Yard



2 – Rear yard



3 – Floor Framing



4 – Floor Framing



5 – Roof Framing



6 – Aerial shot



7 – Roofing



8 – Roofing



9 – Roofing



10 – Roofing



11 – Chimney



12 – Exterior Walls



13 – Exterior Walls



14 – Exterior Walls



15 – Foundation – West Wall looking North



16 – South Foundation Wall looking East



17 – North Foundation Wall East End



18 – North Foundation



19 – Foundation



20 – Porch



21 - Porch



22 - Porch

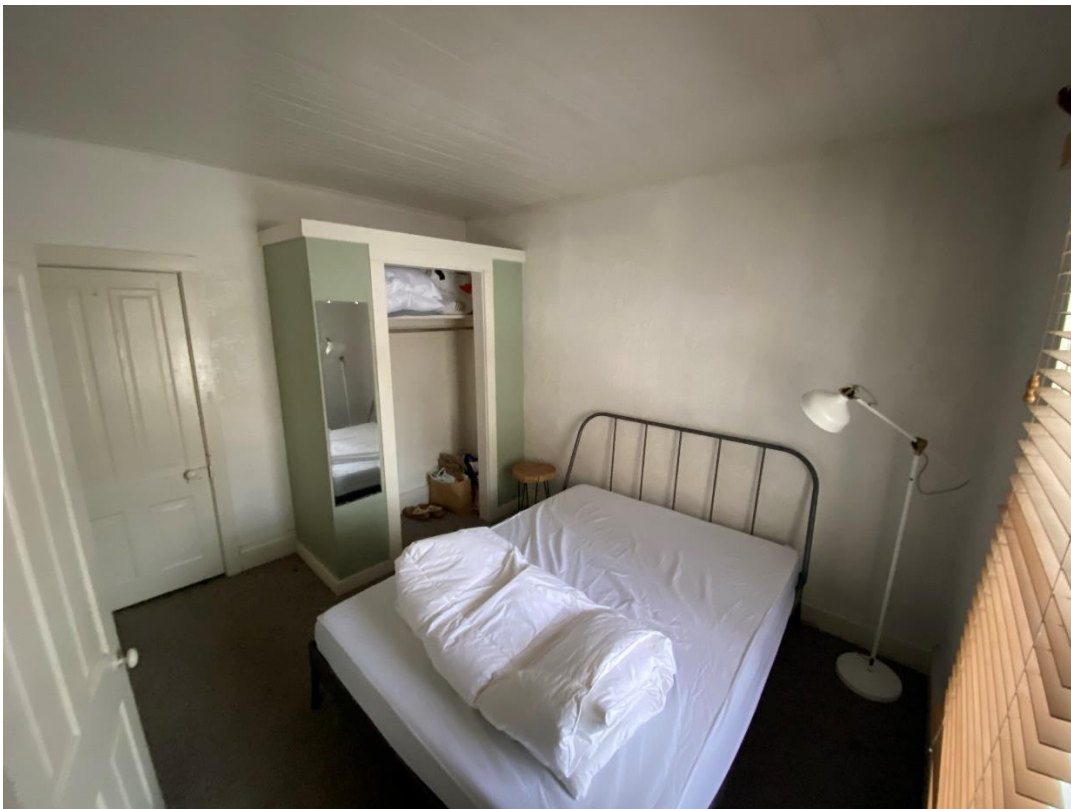




24 – Living Room



25 – Bedroom



26 – Dining Room



27 – Kitchen



Historic Preservation Board Staff Report



Subject: 2024 Historic District Grant Program
Applications: PL-23-05852, PL-23-05935
Author: Caitlyn Tubbs, Senior Planner
Date: December 6, 2023
Type of Item: Administrative

Recommendation

(I) Review the Historic District Grant Program Applications and, (II) consider awarding grant funding.

Acronyms

HDDR Historic District Design Review
HDGP Historic District Grant Program
HPB Historic Preservation Board
HSI Historic Sites Inventory
LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

Summary

Two property owners of Historic Sites filed Historic District Grant Program (HDGP) applications for the first quarter of Fiscal Year 2024. Staff recommends the Historic Preservation Board (HPB) review the two applications and consider awarding grant funding.

Background

Beginning in 1987, the City awarded hundreds of thousands of dollars to the rehabilitation and historic preservation of dozens of Significant and Landmark Historic Structures and Sites. Money is set aside in the General Fund, the Lower Park Avenue RDA, and the Main Street RDA to fund these grant requests. Historic Sites located in the Lower Park RDA and Main Street RDA (see Exhibit C: RDA Map) qualify for their respective funding and sites outside the boundaries of the two RDAs qualify for funding from the City's General Fund.

The HDGP has an awardable budget of \$127,316 for the 2024 Fiscal Year, however, these funds are also intended to cover expenses for emergency grants as well. The two HDGP applications are requesting a total of \$19,260 which leaves \$108,056.

The Mission Statement of the HDGP is: *"The Park City Historic District Grant Program is designed to financially incentivize the Preservation, Rehabilitation, Restoration, and Reconstruction of Historic Structures and Sites in order to create a community that honors its past and encourages Historic Preservation."*

During a Work Session held with the HPB on February 1, 2023 ([Staff Report](#); [Minutes](#), p. 5), several Board members indicated they had received feedback from prior grant recipients that the amount of funding awarded did not have a significant effect on the overall project costs and recommended awarding the full amount requested to meritorious projects.

Staff returned to the HPB for additional Work Sessions on April 5, 2023, ([Staff Report](#); [Minutes](#), p. 3) and May 3, 2023, ([Staff Report](#); [Minutes](#), p. 2). Staff received feedback from the HPB regarding the eligible projects and the criteria for awardee selection. In prior grant years, general maintenance projects (e.g., exterior paint and mechanical systems upgrades) were eligible for grant funding, however, the Board opined these types of projects are common maintenance requirements that should be the sole responsibility of the property owners. The HPB determined the grant funding should be applied directly to projects directly related to the preservation or restoration of historic materials, therefore the list of eligible projects was refined.

Staff also received feedback from the HPB regarding the effectiveness of the grading rubric included in prior grant years. Project proposals are typically subjective in nature, and it was often difficult to assess each one under the rubric's criteria. Following the HPB's comments that the overall preservation of historic material and the restoration of historic features are the most important goals of the Grant Program, Staff removed the grading rubric from the application and simply stated:

CRITERIA FOR SELECTION

Selection of Historic District Grant Awardees is based on the use of preservation best practices throughout the course of the project. Please review Land Management Code [Chapter 15-13: Design Guidelines for Historic Districts and Historic Sites](#), the [Secretary of the Interior's Standards for Rehabilitation](#), and project-specific [Preservation Briefs](#) before drafting your project description. The focus of the Historic District Grant Program is to incentivize the preservation, rehabilitation, reconstruction, and restoration of Historic Structures and Sites in order to create a community that honors its past and encourages Historic Preservation best practices.

Analysis

The HDGP provides a 50% matching grant that requires the applicant to fund at least 50% of the proposed costs. Eligible projects include:

- Repairing, Restoring, and Replacing Windows
- Repointing Masonry
- Reconstructing Historic Porches
- Restoring or Repairing Historic Features
- Repairing or Restoring Roofs

Any grant awarded over the amount of \$25,000.00 would require the property owner(s) to grant a façade easement in favor of the City. A façade easement is a legal document that would be recorded with Summit County detailing the exterior historical features of the subject building to be preserved and protected. The property owner would convey an easement over these features to the City who would then have the ability to require the proper preservation and maintenance of historically-significant features. Easements

such as these are typically granted in perpetuity and will run with the land, meaning if the property is sold in the future the City would still have the right to require conservation or preservation of the exterior features.

Additionally, any recipient of grant funding will be required to enter into a five-year lien with the City. Should the property be sold within the five-year period, the applicant is responsible for repaying the City a pro-rated amount of the grant disbursement.

The requested grants are outlined below:

(I) Vogel Roof – 97 Daly Avenue – PL-23-05852

97 Daly Avenue is listed on Park City's Historic Sites Inventory (HSI) as a Significant Historic Structure ([HSI Form](#)). The building was constructed in c. 1885 and is a T/L Cottage. The home has undergone minimal to moderate alterations including the construction of a shed-roofed addition to the rear and replacement of the original windows.



Figure 1: 97 Daly Avenue, 1940s tax photo

The Applicant requests HDGP funding to offset the costs of replacing the existing damaged cedar shake shingles on the roof. The Applicant notes the roof and shingles sustained damage from accumulated snow and ice over the 2022-2023 winter season and the roof is not in a condition that it can be patched. The Applicant has obtained a quote from a roofing contractor to replace the damaged cedar shake shingles with the same material, noting the additional cost associated with a cedar shingle rather than an asphalt architectural shingle.



Figure 2: Applicant photograph of existing cedar shingles, looking west toward Daly Ave

The applicant is requesting \$11,960.00 to replace the existing shingles with cedar shake shingles. The home was remodeled in 1997 and City records do not indicate the

shingles are original. The National Park Service¹ lists the following as the highest priorities when replacing an existing wooden shingle roof:

- Best quality of wood with similar surface texture;
- Matching the size and shape of the wooden shingles;
- Matching the installation pattern; and
- Matching decorative features, if any.

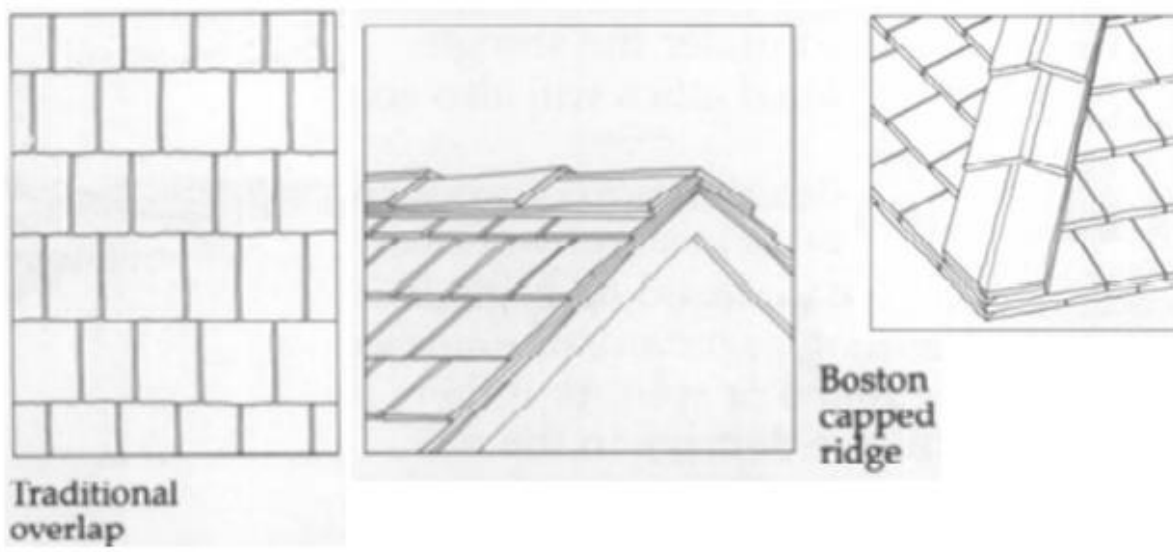


Figure 3: Installation pattern diagram, Preservation Brief 19

The applicant's scope of work includes a roof replacement "to match kind and quality of existing" roof. The material will be treated with a fire retardant to comply with Park City's Wildland Urban Interface (WUI) Code requirements and all further requirements of Park City Code [§ 11-21-1](#). The existing roof is installed with a traditional overlap in the shingles and the ridgeline has a Boston capped pattern (see Figure 3). The replacement roof should be installed in the same pattern. The existing roof does not include any decorative features.

¹ National Park Service, [Preservation Brief 19](#)

(II) Mayer Roof - 416 Park Avenue – PL-23-05935

The home located at 416 Park Avenue is listed on the Park City Historic Sites Inventory as a Landmark Structure ([HSI Form](#)). The building was constructed c. 1901. The Structure is a one-story pyramid house with a hipped roof. This home has undergone minimal modifications over time including the construction of a new concrete foundation in the 1960s. This home has been noted in the Historic Sites Inventory form as being eligible for listing on the National Register of Historic Places. In 2022, the City received a nomination of 416 Park Avenue to the National Register of Historic Places.



Figure 4: 1940s tax photograph

416 Park Avenue has been awarded multiple grants by the City including the following:

- 2021 - \$3,850 for replacement of roofing materials
- 2010 - \$1,750 for soffit and roof repair

The Applicant has noted the roof structure sustained damage after snow and ice accumulation from the 2022-2023 winter season. Internal members of the roof structure were damaged and need to be repaired along with the roof eaves around the perimeter of the house.

The applicant is requesting \$7,300.00 to repair the internal roof structure and eaves of the house. The National Park Service Rehabilitation Guidelines (1997)² note a roof's shape, decorative features, and materials are important factors in defining the overall historic character of a structure. The replacement of the damaged interior structural members will maintain the overall form and shape of the historic roof.



Figure 5: Current photograph of subject property

² [Rehabilitation Guidelines \(1997\)](#), Building Exterior Roofs

Alternatives

- The HPB may deny grant funding, or
- The HPB may request additional information and continue the discussion to a date certain/uncertain.

Exhibits

Exhibit A: Draft Final Action Letters

Exhibit B: FY 24 Q1 Application and Information Guide

Exhibit C: FY 24 Q1 Flier

Exhibit D: RDA Map

Exhibit E: 97 Daly Avenue Application Materials

Exhibit F: 416 Park Avenue Application Materials



**CITY COUNCIL
PARK CITY, SUMMIT COUNTY, UTAH
RE: HISTORIC DISTRICT GRANT AWARD**

The Historic Preservation Board met on December 6, 2023 to review Historic District Grant Program Applications and forwarded a positive recommendation to the City Council for final approval. The City Council of Park City, Utah met on [Date TBD], 2023 for a duly noticed meeting. After determining that a quorum was present, the Council conducted its scheduled business.

NOTICE OF CITY COUNCIL ACTION

Project Address: 97 Daly Avenue
Project Number: PL-23-05852
Type of Item: Administrative
Hearing Date: TBD, 2023

Council Action: **APPROVED** – The City Council awarded a Historic District Grant to 97 Daly Avenue to replace an existing cedar shake shingle roof with a new cedar shake shingle roof as outlined in the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The Historic Preservation Board forwarded a positive recommendation to City Council on December 6, 2023.
2. The property is located at 97 Daly Avenue.
3. 97 Daly Avenue is recognized as a Significant Historic Site on Park City's Historic Sites Inventory.
4. The property is located within the Historic Residential – 1 (HR-1) Zoning District.
5. On July 26, 2023, the Applicant submitted a Historic District Design Review (HDDR) Pre-Application for the proposed replacement of the cedar shake roof.
6. On August 2, 2023, the Interim Planning Director approved a waiver letter for the proposed roofing replacement.
7. On September 5, 2023, the Applicant submitted a complete Historic District Grant Application requesting a total grant award of eleven thousand nine hundred sixty dollars (\$11,960.00).
8. On November 1, 2023, the Historic Preservation Board held a work session to discuss the Fiscal Year 24 First Quarter Grant applications.

9. On December 6, 2023, the Historic Preservation Board reviewed the Fiscal year 24 First Quarter Grant applications and recommended an award in the amount of eleven thousand nine hundred sixty dollars (\$11,960.00).

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2, Chapter 15-11-9, and Chapter 15-13-2.

Conditions of Approval

1. The grantee must submit a building permit within 120 days of grant approval.
2. The proposed work must be completed no later than **June 30, 2025**.
3. The grantee must submit proof of payment to the Planning Department for disbursement of funds within 30 days of final inspection.
4. Improvements shall be completed in compliance with the Secretary of the Interior's Standards for Rehabilitation.
5. The grantee must maintain the architectural significance of the structure, retain and/or restore the historic character of the structure, preserve the structural integrity of the structure, and perform normal maintenance and repairs.
6. The grantee must enter into a five-year lien with the City. Should the property be sold within the five-year period, the applicant is responsible for repaying the City a pro-rated amount of the grant disbursement. If the property is sold within one year, 100% of awarded funds must be paid back to the City.
7. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or his/her designee prior to construction.

If you have any questions, concerns, or comments regarding this letter, please do not hesitate to contact the Project Planner, Caitlyn Tubbs, at (435) 615-5063 or caitlyn.tubbs@parkcity.org

Regards,

Nann Worel,
Mayor

CC: Caitlyn Tubbs, Sr. Historic Preservation Planner



**CITY COUNCIL
PARK CITY, SUMMIT COUNTY, UTAH
RE: HISTORIC DISTRICT GRANT AWARD**

The Historic Preservation Board met on December 6, 2023 to review Historic District Grant Program Applications and forwarded a positive recommendation to the City Council for final approval. The City Council of Park City, Utah met on [Date TBD], 2023 for a duly noticed meeting. After determining that a quorum was present, the Council conducted its scheduled business.

NOTICE OF CITY COUNCIL ACTION

Project Address: 416 Park Avenue
Project Number: PL-23-05935
Type of Item: Administrative
Hearing Date: TBD, 2023

Council Action: **APPROVED** – The City Council awarded a Historic District Grant to 416 Park Avenue to replace damaged interior structural members of the pyramidal roof as outlined in the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

10. The Historic Preservation Board forwarded a positive recommendation to City Council on December 6, 2023.
11. The property is located at 416 Park Avenue.
12. 97 Daly Avenue is recognized as a Landmark Historic Site on Park City’s Historic Sites Inventory.
13. The property is located within the Historic Residential – 1 (HR-1) Zoning District.
14. On October 19, 2023, the Applicant submitted a Historic District Design Review (HDDR) Pre-Application for the proposed replacement of damaged interior structural roofing members.
15. On November 2, 2023, the Interim Planning Director approved a waiver letter for the replacement of the damaged roofing members.
16. On November 2, 2023, the Applicant submitted a complete Historic District Grant Application requesting a total grant award of seven thousand three hundred dollars (\$7,300.00).

17. On November 1, 2023, the Historic Preservation Board held a work session to discuss the Fiscal Year 24 First Quarter Grant applications.
18. On December 6, 2023, the Historic Preservation Board reviewed the Fiscal year 24 First Quarter Grant applications and recommended an award in the amount of seven thousand three hundred dollars (\$7,300.00).

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2, Chapter 15-11-9, and Chapter 15-13-2.

Conditions of Approval

8. The grantee must submit a building permit within 120 days of grant approval.
9. The proposed work must be completed no later than **June 30, 2025**.
10. The grantee must submit proof of payment to the Planning Department for disbursement of funds within 30 days of final inspection.
11. Improvements shall be completed in compliance with the Secretary of the Interior's Standards for Rehabilitation.
12. The grantee must maintain the architectural significance of the structure, retain and/or restore the historic character of the structure, preserve the structural integrity of the structure, and perform normal maintenance and repairs.
13. The grantee must enter into a five-year lien with the City. Should the property be sold within the five-year period, the applicant is responsible for repaying the City a pro-rated amount of the grant disbursement. If the property is sold within one year, 100% of awarded funds must be paid back to the City.
14. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or his/her designee prior to construction.

If you have any questions, concerns, or comments regarding this letter, please do not hesitate to contact the Project Planner, Caitlyn Tubbs, at (435) 615-5063 or caitlyn.tubbs@parkcity.org

Regards,

Nann Worel,
Mayor

CC: Caitlyn Tubbs, Sr. Historic Preservation Planner

HISTORIC DISTRICT GRANT PACKET

**2024 FISCAL YEAR
(JULY 2023 – JUNE 2025)**

INFORMATION GUIDE AND APPLICATION

If you have questions regarding the application or submittal process please contact
Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

HISTORIC DISTRICT COMPETITIVE GRANT INFORMATION GUIDE

MISSION STATEMENT:

The Park City Historic District Competitive Grant Program (Grant Program) is designed to financially incentivize the Preservation, Rehabilitation, and Restoration of Historic Structures and Sites designated on the City's Historic Sites Inventory and those Structures and Sites that are eligible for listing on the Historic Sites Inventory to create a community that honors its past and encourages Historic Preservation.

ELIGIBILITY:

Competitive Grants are available for Historic Residential or Commercial Structures listed on the [Park City Historic Sites Inventory](#) (HSI) and for Structures and Sites eligible for listing. Structures and Sites currently not listed on the HSI may be eligible* for funding to offset some costs to designate the site to the HSI. The purpose of the Grant Program is to assist in offsetting the costs of Preservation, Rehabilitation, and Restoration work. This is a 50% matching grant that is paid by way of reimbursement once the applicable work has been completed.

*Please contact the Planning Department with questions regarding eligibility.

Competitive Grant:

Competitive Grant to be awarded for applications to designate a Structure or Site to the HSI, or for those Landmark and Significant Historic Sites listed on the HSI, projects defined as "Preservation, Rehabilitation, and/or Restoration" in the Land Management Code:

- **Preservation:** *The act or process of applying measures necessary to sustain the existing form, integrity, and materials of a Historic Property. Work, including preliminary measures to protect and stabilize the Property, generally focuses on ongoing maintenance and repair of Historic materials and features rather than extensive replacement and new construction.*
- **Rehabilitation:** *The act or process of making possible a compatible Use for a Property through repair, alterations, and additions while preserving those portions or features which convey its Historical, cultural, or architectural values.*
- **Restoration:** *The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of removal of features from other periods in its history and Reconstruction of missing features from the restoration period.*

ELIGIBLE PROJECTS: (any items not listed below are not eligible for grant funding)

- Repairing, Restoring, and Replacing Windows
- Repointing Masonry
- Reconstructing Historic Porches
- Restoring or Repairing Historic Features
- Repairing or Restoring Roofs

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

Application:

Applications may be submitted to the Planning Department starting at 8 a.m. Mountain Standard Time (MST) on August 25, 2023, and will be accepted through November 3, 2023, at 5:00 p.m. MST. If selected, Applicants will be notified by December 31, 2023. Work proposed to be supported with grant funds must be **completed before June 30, 2025**, to qualify for the grant reimbursement. Applications shall be submitted in person, by email (planning@parkcity.org), or by mail.

Please note: if submitting application via email please ensure attached files are less than 8MB in size. If over this size please send via FTP link such as Google Drive or Dropbox.

The Planning Department is in City Hall at 445 Marsac Avenue, Park City, Utah 84060.

Mailed applications shall be addressed as follows:

Park City Municipal Corporation
ATTN: Park City Historic Preservation Planner, Planning Department
P.O. Box 1480
Park City, UT 84060

THIS APPLICATION CYCLE IS NOT A RETROACTIVE AWARDING OF FUNDS FOR WORK ALREADY COMPLETED. WORK MUST BE PROPOSED BETWEEN JANUARY 1, 2024 AND JUNE 30, 2025 IN ORDER TO BE CONSIDERED.

Please review and initial the following prior to submitting your grant application:

_____ 1) I (we) understand I (we) will be required to provide copies of 1) invoices for the work, 2) proof of payment (e.g. receipts, invoices marked "paid", etc.), 3) a W-9 (grant income must be reported on income taxes), and 4) photographs of the completed work. These items must be submitted to the City once the work is completed in order to begin the release of the grant monies.

_____ 2) I (we) understand I (we) will be required to sign a Historic Preservation Agreement, Trust Deed, and Trust Deed Note and record such instruments with the Summit County Recorder's Office for a term of 5 years. Following the passage of 5 years and my (our) satisfaction of the requirements of the Historic Preservation Agreement the City shall, upon written request, record a release of these documents with the Summit County Recorder's Office.

_____ 3) I (we) understand a grant award exceeding \$25,000 USD will require the recordation of a Historic Preservation Easement on my (our) property. In the event my (our) project is awarded \$25,000 USD or more, I (we) agree to provide a Historic Preservation Easement to Park City Municipal Corporation in a form acceptable to the City Attorney and agree to have such easement agreement recorded on my (our) property with the Summit County Recorder's Office.

_____ 4) I (we) understand Park City Municipal Corporation is constructing a database of current and prior grant award recipients' projects. This database may include exterior photographs of my (our) property but will not include interior photographs of the property. I (we) understand participation in this database is voluntary and (select one):

- ___ **AGREE TO PARTICIPATE**
- ___ **DO NOT AGREE TO PARTICIPATE**

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

HISTORIC DISTRICT COMPETITIVE GRANT APPLICATION

For Office Use Only

ADMINISTRATIVE REVIEW	PROJECT PLANNER	APPLICATION #	_____
APPROVED	_____	DATE RECEIVED	_____
AMOUNT	_____	EXPIRATION	_____
DENIED	_____	BLDG PERMIT	_____

PROJECT INFORMATION

NAME: _____

ADDRESS: _____

TAX ID: _____ OR

SUBDIVISION: _____ OR

SURVEY: _____ LOT #: _____ BLOCK #: _____

APPLICANT INFORMATION

NAME: _____

MAILING ADDRESS: _____

PHONE #: () - FAX #: () -

EMAIL: _____

APPLICANT REPRESENTATIVE INFORMATION

NAME: _____

PHONE #: () -

EMAIL: _____

PRIMARY ADDRESS: _____

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

SUBMITTAL REQUIREMENTS

1. Completed and signed **Historic District Grant Application**.
2. Written **Project Description** describing the proposed scope of work, detailed specifications, and reason for applying for a Historic District Grant.
3. Submittal of a **Cost Estimate** for the proposed work.
4. **Breakdown of Proposed Work and Estimated Costs** of the proposed eligible improvements (page 6).
5. **Proposed Timeline** of the proposed project (page 8).
6. **Historic District Design Review** approval letter. Please contact the Planning Department if this has not been completed. The grant application **will not** be accepted without this approval letter. Note: This submittal may be waived if the application is related to a Determination of Significance application for a historic site not currently listed on the Historic Sites Inventory.
7. Schematic, conceptual **Drawings** as they apply to the proposed project. This may include but is not limited to site plans, elevations, and floor plans.
8. **Color Photographs** of existing conditions. Include a general view of the building and setting, including the building in the context of the streetscape; the front; perspective view showing front façade and one side, and rear façade and one side; detailed view of affected work area.

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

PROPOSED WORK AND ESTIMATED COSTS

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

If you have questions regarding the application or submittal process please contact
Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:



Total Grant Request: \$ _____ (Amount Requested from City)

Total Owner's Match: \$ _____ (Owner's Portion of Total Budget)

Total Project Budget: \$ _____ (Grant Request + Match)

Owner(s) Match Source: _____

If you have questions regarding the application or submittal process please contact
 Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

ACKNOWLEDGMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: _____

Name of Applicant: _____

PRINTED

Mailing Address: _____

Phone: _____ Fax: _____

Email: _____

Type of Application: _____

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: _____

PRINTED

Mailing Address: _____

Street Address/ Legal Description of Subject Property: _____

Signature: _____ Date: _____

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.



Park City Historic District Grant Program

The Park City Historic District Grant Program is designed to financially incentivize the Preservation, Rehabilitation, Restoration, and Reconstruction of Historic Structures and Sites in order to create a community that honors its past and encourages Historic Preservation.

Applications open until November 3, 2023 at 5:00 PM

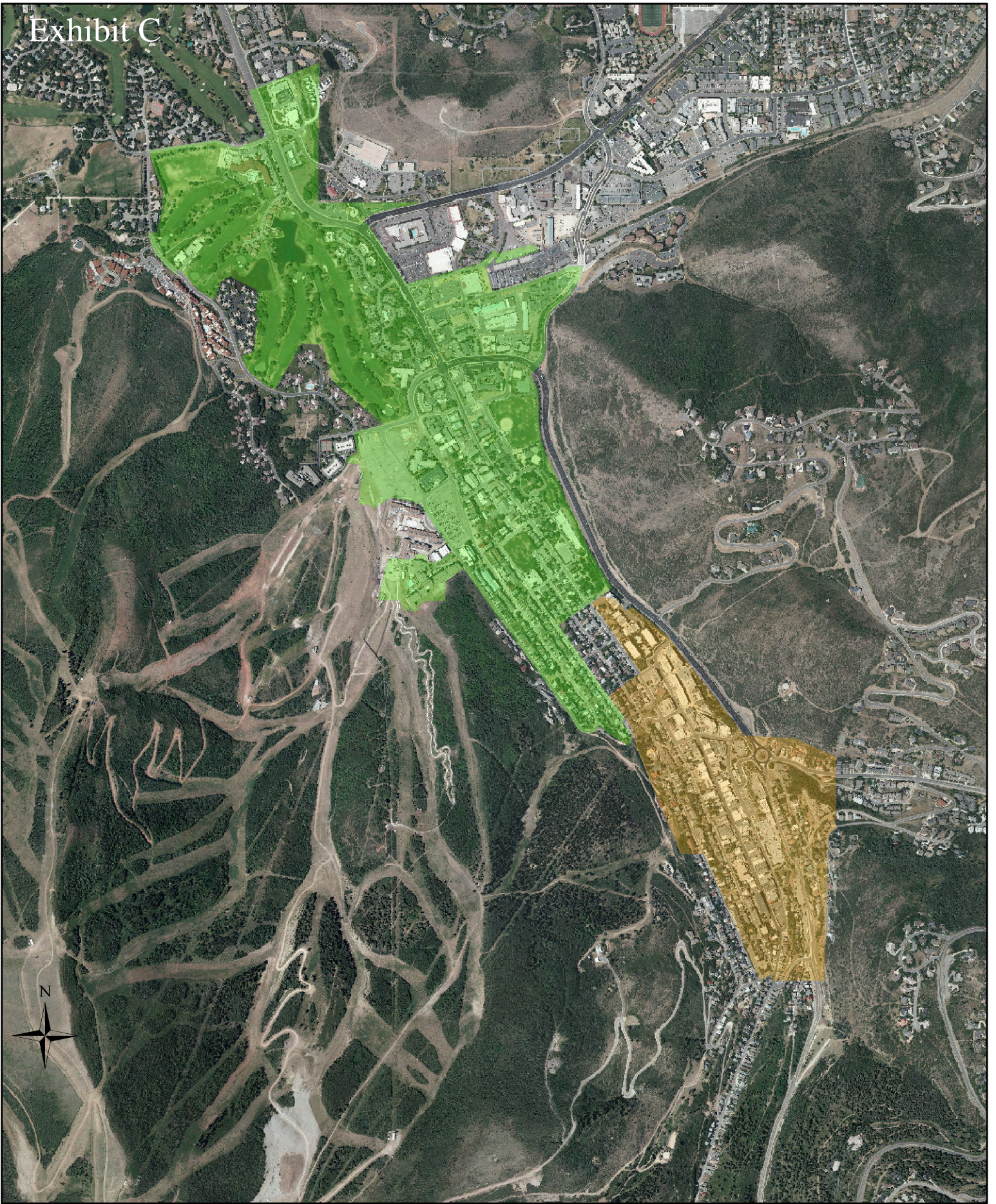
Additional application will open in Winter 2023.

For the application and additional information, please visit parkcity.org.





Have Questions? Contact caitlyn.tubbs@parkcity.org

Exhibit C



0 0.25 0.5 Miles

Legend

-  Main Street RDA
-  Lower Park Ave RDA

RECEIVED

SEP 05 2023

PARK CITY
PLANNING DEPT.

PARK CITY HISTORIC DISTRICT GRANT APPLICATION

2024 FISCAL YEAR
(JULY 2023 - JUNE 2025)

APPLICANT:

Vogel Holger H Trustee

Tax ID: 0338016

1. HISTORIC DISTRICT GRANT APPLICATION

Application:

Applications may be submitted to the Planning Department starting at 8 a.m. Mountain Standard Time (MST) on August 25, 2023, and will be accepted through November 3, 2023, at 5:00 p.m. MST. If selected, Applicants will be notified by December 31, 2023. Work proposed to be supported with grant funds must be **completed before June 30, 2025**, to qualify for the grant reimbursement. Applications shall be submitted in person, by email (planning@parkcity.org), or by mail.

Please note: if submitting application via email please ensure attached files are less than 8MB in size. If over this size please send via FTP link such as Google Drive or Dropbox.

The Planning Department is in City Hall at 445 Marsac Avenue, Park City, Utah 84060.

Mailed applications shall be addressed as follows:

Park City Municipal Corporation
ATTN: Park City Historic Preservation Planner, Planning Department
P.O. Box 1480
Park City, UT 84060

THIS APPLICATION CYCLE IS NOT A RETROACTIVE AWARDING OF FUNDS FOR WORK ALREADY COMPLETED. WORK MUST BE PROPOSED BETWEEN JANUARY 1, 2024 AND JUNE 30, 2025 IN ORDER TO BE CONSIDERED.

Please review and initial the following prior to submitting your grant application:

HR 1) I (we) understand I (we) will be required to provide copies of 1) invoices for the work, 2) proof of payment (e.g. receipts, invoices marked "paid", etc.), 3) a W-9 (grant income must be reported on income taxes), and 4) photographs of the completed work. These items must be submitted to the City once the work is completed in order to begin the release of the grant monies.

HR 2) I (we) understand I (we) will be required to sign a Historic Preservation Agreement, Trust Deed, and Trust Deed Note and record such instruments with the Summit County Recorder's Office for a term of 5 years. Following the passage of 5 years and my (our) satisfaction of the requirements of the Historic Preservation Agreement the City shall, upon written request, record a release of these documents with the Summit County Recorder's Office.

HR 3) I (we) understand a grant award exceeding \$25,000 USD will require the recordation of a Historic Preservation Easement on my (our) property. In the event my (our) project is awarded \$25,000 USD or more, I (we) agree to provide a Historic Preservation Easement to Park City Municipal Corporation in a form acceptable to the City Attorney and agree to have such easement agreement recorded on my (our) property with the Summit County Recorder's Office.

HR 4) I (we) understand Park City Municipal Corporation is constructing a database of current and prior grant award recipients' projects. This database may include exterior photographs of my (our) property but will not include interior photographs of the property. I (we) understand participation in this database is voluntary and (select one):

- HR **AGREE TO PARTICIPATE**
- DO NOT AGREE TO PARTICIPATE**

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

HISTORIC DISTRICT COMPETITIVE GRANT APPLICATION

For Office Use Only

ADMINISTRATIVE REVIEW
APPROVED _____
AMOUNT _____
DENIED _____

PROJECT PLANNER
Caitlyn Tubbs

APPLICATION # PL-23-05852
DATE RECEIVED 05 Sep 2023
EXPIRATION _____
BLDG PERMIT _____

PROJECT INFORMATION

NAME: Vogel Roof
ADDRESS: 97 Daly Ave
Park City, UT 84060
TAX ID: 0338016 OR
SUBDIVISION: _____ OR
SURVEY: _____ LOT #: _____ BLOCK #: _____

APPLICANT INFORMATION

NAME: VOGEL HOLGER H TRUSTEE
MAILING ADDRESS: PO Box 3616
Park City, Utah 84060
PHONE #: (847) 308 - 6494 FAX #: () -
EMAIL: hhw999@gmail.com

APPLICANT REPRESENTATIVE INFORMATION

NAME: _____
PHONE #: () -
EMAIL: _____
PRIMARY ADDRESS: _____

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.


ACKNOWLEDGMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.


I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: 
Name of Applicant: Holger H. Vogel
Mailing Address: P.O. Box 3616, Park City, UT 84060 PRINTED
Phone: 847-308-6494 Fax: _____
Email: hhv999@gmail.com
Type of Application: hhv999@gmail.com

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: VOGEL HOLGER H TRUSTEE
Mailing Address: P.O. Box 3616, Park City, UT 84060 PRINTED
Street Address/ Legal Description of Subject Property:
97 Daly Ave, Park City, UT 84060

Signature:  Date: 4 Sept 2023

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

2. PROJECT DESCRIPTION

THE VOGEL FAMILY

EMAIL hvu999@gmail.com PHONE +1 847 308 6494

ADDRESS 97 Daly Avenue, Park City, Utah

TO: *Park City Municipal Corporation*
ATTN: Park City Historic Preservation Planner, Planning Department
P.O. Box 1480
Park City, UT 84060

RE: *Park City Historic District Grant Program*
PROJECT TYPE: *Preservation of Historical Cedar Shake Roof on Historical Structure at 97 Daly Ave - Repairing or Restoring Roofs*

Dear Park City Municipal Corporation,

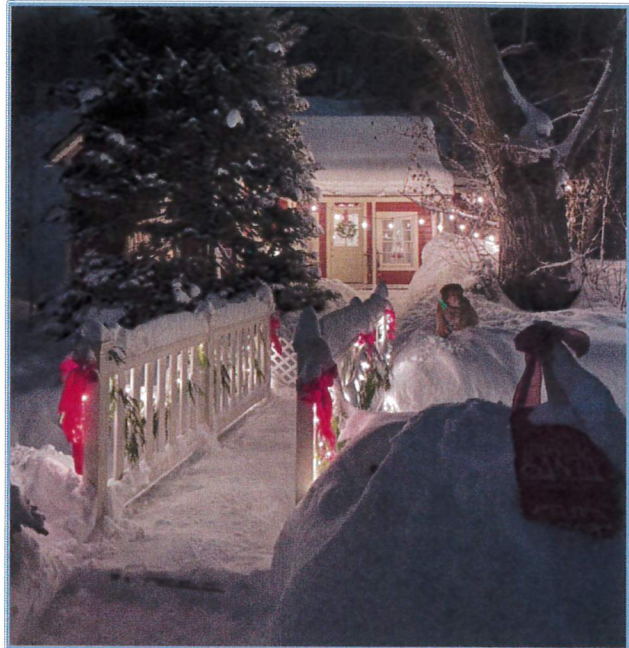
We are the proud owners of a historically significant site, an 1885 miner's cottage located at 97 Daly Avenue. We were honored to receive the 2000 Historical Preservation Award bronze plaque. We take great pride in maintaining the historical character of our miner's cottage, which is why we are applying for this grant in hopes to preserve our historical cedar shake roof.

Background: This past winter (2022-2023) the back portion of our roof suffered some damage from accumulated snow and ice. After discussions with roofers and engineers, we have decided to replace the entire roof while repairing the back portion, as the front and side of the roof is wearing out and the roofer deemed patching/tying-in for repairs as not an option with the fragile materials presently on the roof.

Grant Request/Scope of Work: In keeping true with the historical character of the house, we'd like to re-roof the front (west facing) and side (north and south facing) with the historical materials of cedar shake.

Reason Applying: As you are probably aware, the cost of the historical materials, cedar shake, is significantly higher than replacing with an asphalt roof, which is why we are applying for this grant.

We hope you will consider our application on an expedited process, as we need to complete the roof replacement before the start of our winter season for the welfare of our historical site.



Many thanks for your consideration,
The Vogel Family
Holger Vogel

3. COST ESTIMATE



506 W 9460 S Sandy, UT 84070

Roof Proposal

Date	Estimate #
7/10/2023	7771

Client Information

Holger Vogel
 97 Daly Avenue
 Park City, UT 84060

Item	Description	Total
Roof Replacement Specif...	Front and left elevation roof replacement to match kind and quality of existing System design to conform to Park City Building and Wildlife Urban Interface requirements Sharkskin Ice and water shield and titanium UDL 50 underlayment Class A roof System with mineral surface fiberglass roll layer Obdyk Cedar Breather Heavy Fire treated cedar shakes	23,920.00

Proposal subject to material market costs and revision if over 60 days. Credit card payments add 3.25% service fee.	Total	\$23,920.00
--	--------------	-------------

	Greg Wood	Email Address	UT License #
	801-792-9969	gw@raintightroofing.com	6766161-5501

4. BREAKDOWN OF PROPOSED WORK AND ESTIMATED COSTS

PROPOSED WORK AND ESTIMATED COSTS

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
<i>Roof Replacement - Front and Left Elevation</i>	<i>Front and left elevation roof replacement to match kind and quality of existing System design to conform to Park City Building and Wildlife Urban Interface requirements Sharkskin Ice and water shield and titanium UDL 50 underlayment Class A roof System with mineral surface fiberglass roll layer Obdyk Cedar Breather Heavy Fire treated cedar shakes</i>	<i>97 Daly Ave Park City, UT 84060</i>	<input checked="" type="radio"/> Yes / No
Work Item Cost: \$23,920.00			If Yes, please detail the current condition: <i>Fragile cedar shake materials on front and side/left elevation. We are repairing back portion of roof (not a part of this application) and after discussions with roofers and engineers, they have deemed patching/tying-in for repairs as not an option with the fragile materials presently on the front and side/left elevation portions of roof.</i>

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Total Grant Request: \$ \$11,960.00 (Amount Requested from City)
Total Owner's Match: \$ \$11,960.00 (Owner's Portion of Total Budget)
Total Project Budget: \$ \$23,920.00 (Grant Request + Match)

Owner(s) Match Source: _____

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

5. PROPOSED TIMELINE

6. HISTORIC DISTRICT DESIGN REVIEW APPROVAL LETTER



Planning Department

August 2, 2023

Holger Vogel
N 1580 Oak Shores Ln
Fontana, WI 53125

CC: Greg Wood, Raintight Roofing
project file

**Re: Historic District Design Review Pre-Application Determination
Property Address: 97 Daly Avenue
PL-23-05771**

Per your Pre-Application submitted on July 26, 2023, regarding the Significant Historic Structure located at 97 Daly Avenue, it was determined that the proposed project is minor having little or no negative impact on the historic character of the surrounding neighborhood, the Historic District, or the Historic Structure. The Applicant proposes the replacement of existing (non-original) cedar roof shingles with fire retardant cedar shingles, "Project."

Therefore, per §15-11-12(A)(3) of the Land Management Code, your proposal would not be required to complete the full Historic District Design Review (HDDR) process; however, adherence to the following guidelines is still required:

- Compliance with LMC Section 15-5-5, Architectural Design Guidelines – Roofing Materials
 - Roof colors shall be neutral and earth-tone.
- Compliance with LMC Section 15-13-2, Design Guidelines For Historic Residential Sites.
 - Preserve and maintain historic exterior materials including wood siding (drop siding, clapboard, board and batten), frieze boards, cornices, moldings, shingles, etc. As well as stone and masonry.
- The proposed work will require a Final Inspection by both the Building and Planning Departments.
- This letter does not constitute building permit approval. Please contact the Building Department to determine any further permitting requirements.

Should you have any questions or concerns, please do not hesitate to contact your project planner, Caitlyn Tubbs, at caitlyn.tubbs@parkcity.org or at 435-615-5063.

Sincerely,



Rebecca Ward
Interim Planning Director

CC: Caitlyn Tubbs, Senior Planner

Exhibits: Proposed Project Scope and Plans

**Park City Municipal Corporation | 445 Marsac Avenue | P.O. Box 1480 | Park City, Utah 84060-1480
Planning Department | (435) 615-5060 Main Office Line | (435) 615-4906 Fax Line**



RECEIVED.

JUL 26 2023

PARK CITY
PLANNING DEPT.

7/25/2023

97 Daly Avenue Minor Alteration

Raintight has contracted for the roof replacement at 97 Daly with Holger Vogel. The back roof was damaged from the snow and ice over last winter which has precipitated the need to work on the roofing. The existing cedar is wearing out and tying-in for repairs is not an option with the fragile materials presently on the roof. We would submit a plan to replace the entire roof with new cedar shakes to match the existing materials and maintain the character of the home. The new cedar roof would be a fire treated type wood have an added layer of fire protective covering underneath to comply with the WUI and have a class A system rating. No other architectural elements will be altered in this process.

7. COLOR PHOTOGRAPHS

Photo 1



Photo 2

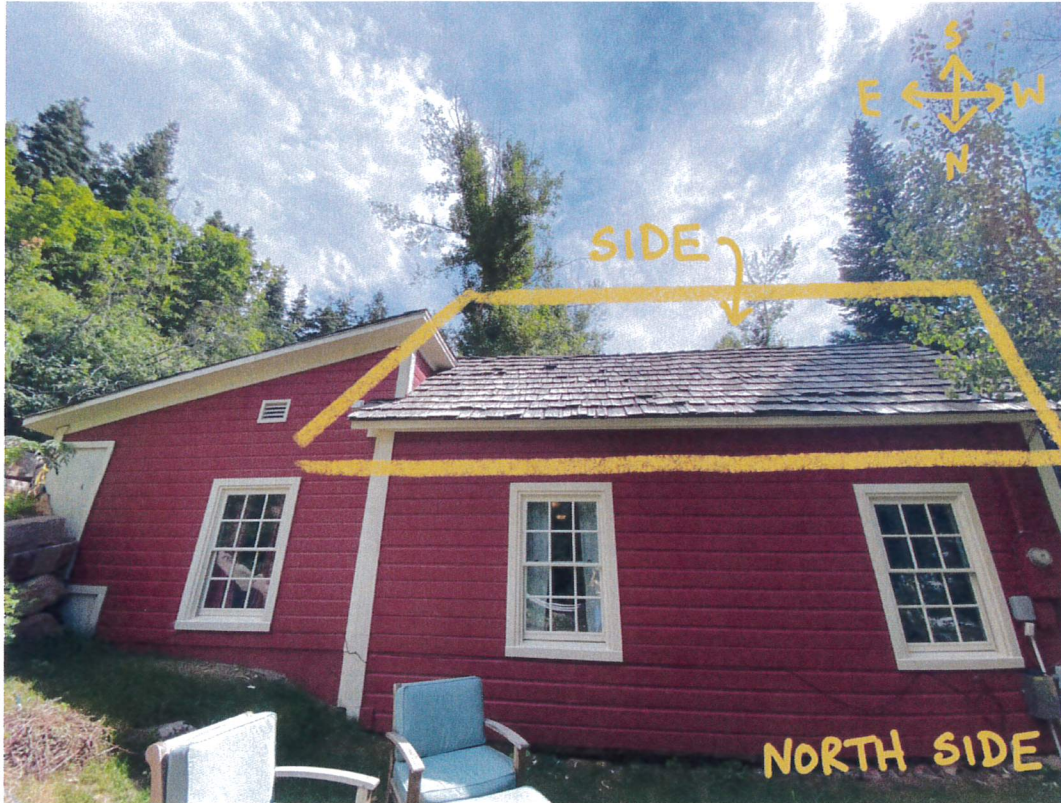


Photo 3



Photo 4



8. APPENDIX

Historic Site Form

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **Josie Mahoney House**

Address: 97 Daly Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: LM-1

Current Owner Name: Bradford Smith

Parent Parcel(s): PC-609

Current Owner Address: 950 Stratford Ct, Del Mar, CA 92014

Legal Description (include acreage): Lot 1 Landmark Replat Subdivision; 0.19 acres.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
Permit #:
 Full Partial

Use

Original Use: Residential
Current Use: Residential

- *National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: 1983, 1995 & 2006
- historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

- Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: T/L Cottage type / Vernacular style

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

General Condition of Exterior Materials:

- Good** (Well maintained with no serious problems apparent.)
- Fair** (Some problems are apparent. Describe the problems.):
- Poor** (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin**

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: The site includes steps from the finished parking area to a stone paved walkway set perpendicular to the stem-wing and leading to the center of the front porch.

Foundation: The foundation appears to be concrete.

Walls/Porches: The exterior walls are clad in a non-beveled (drop-novelty) wood siding that appears to have been minimally altered. The porch, which is obscured by dense vegetation in the front yard, spans the width of the stem-wing and wraps around the south end of the house and has a dropped shed roof

Roof: The roof is a simple cross-wing form and is clad in wood shingles. A shed roof penetrates the cross-wing at the northeast corner of the house to cover the rear addition.

Windows/Doors: The original two-over-two double-hung wood windows have been replaced with four-over-four or six-over-six double-hung windows. In addition, the windows on the north elevation do not appear to be true divided light windows and serve to diminish the integrity of the structure.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The building is generally described in the Structure/Site Form prepared for the 1983 National Register nomination. See the 1983 form.

Subsequent alterations include replacement windows; the two-over-two double-hung sash types have been replaced with four-over-four and six-over-six double-hung types. Also, the board & batten siding on the rear-shed extension has been replaced with non-beveled wood siding to match the original.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The house sits on a narrow building pad within the 0.19 acres lot. The lot is flat from front to back for several yards and then rises in a severe slope in the rear. The c. 1940 tax photo indicates the steps and entry path was originally located at the north side of the lot and building.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Though the distinctive elements that define the typical Park City mining era home--simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type (hall-parlor), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes--have been altered, the building retains its essential historical form. The original wood windows have been replaced with window configurations that are not compatible with the original design. In addition, all of the original siding on the rear addition has been replaced.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

This site was nominated to the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*, but was not listed because of the owner's objection. It was built within the historic period, defined as 1872 to 1929 in the district nomination. However, the building has subsequently had major alterations and would no longer be considered eligible for the National Register as part of an updated or amended nomination. As a result, it does not meet the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site. It, however, retains important local historic significance and does meet the criteria set forth in LMC Chapter 15-11 for designation as a Significant Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1885¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: West elevation (primary façade). Camera facing east, 2006.

Photo No. 2: North elevation. Camera facing south, 2006.

Photo No. 3: Southwest oblique. Camera facing northeast, 1995.

Photo No. 4: Southwest oblique. Camera facing northeast, 1983.

Photo No. 5: West elevation (primary façade). Camera facing east, c.1940 tax photo.

¹ Utah State Historical Society, Structure/Site Form, 1984.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

**SERIAL NO.
RE-APPRAISAL CARD (1940 APPR. BASE)**

Owner's Name _____
 Owner's Address _____
 Location _____
 Kind of Building RES. Street No. _____

Schedule 1 Class 3 Type 1-2-3-4 Cost \$ _____ %
 X _____ %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Actual Factor	Totals
1	x x		840	\$	\$ 1663
	x x			\$	\$
	x x			\$	\$

No. of Rooms 5 Condition FAIR

Description of Building	Add	Deduct
Foundation—Stone <u>74 x 22 x 100</u> Conc. <u>None</u> ✓		148
Ext. Walls <u>SIDING</u>		
Insulated—Floors _____ Walls _____ Clgs. _____		
Roof—Type <u>SAB</u> Mat. <u>SHG.</u>		
Dormers—Small _____ Med. _____ Lg. _____		
Bays—Small _____ Med. _____ Lg. _____		
Porches—Front _____ Rear _____	160 @ .60 = 96 16 @ 1.00 = 16	
Cellar—Basin't— $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ full-floor <u>No</u>		40
Basement Apts.—Rooms Fin. _____		
Attic Rooms _____ Fin. _____ Unfin. _____		
Plumbing— Class _____ Tub _____ Trays _____ Basin _____ Sink _____ Toilet _____ Urns _____ Ftns. _____ Shr. _____ Dishwasher _____ Garbage Disp. _____	215	
Heat—Stove <u>H. A.</u> Steam _____ S. _____ Blr. _____ Oil _____ Gas _____ Coal _____		
Air Conditioned _____ Incinerators _____		
Radiant—Pipeless _____		
Finish— Hd. Wd. _____ Floors— Fir. ✓ _____ Hd. Wd. _____ Conc. _____		
Cabinets _____ Mantels _____		
Tile— Walls _____ Wainscot. _____ Floors _____		
Lighting—Lamp _____ Drops _____ Fix. _____ <u>WOOD LINED.</u>		125
Total Additions and Deductions	357	313
Net Additions or Deductions	313	+ 44

Age 48 Yrs. by Est. Owner
 Tenant
 Neighbors
 Records
REPRODUCTION VALUE \$ 1707
 Depr. 2-3-4-5-6 61/39 %
 Reproduction Val. Minus Depr. \$ 665

Remodeled _____ Est. Cost _____ Remodeling Inc. _____ %
 Garage—S 8 C _____ Depr. 2% 3% _____
 Cars _____ Walls _____
 Roof No Size _____ x _____ Age _____
 Floor _____ Cost _____ Depreciated Value Garage _____

Remarks AV. AGE RECORDED.
ON OLD CARD. 40 YRS. (1941)
Total Building Value \$ _____

Appraised Oct. 1949 By CHO & AJ.

Location Block 73 Millville Pl. Lot 44
 Kind of Bldg. RES St. No. 97 Daly Ave
 Class 3.2 Type 1 2 3 4 Cost \$ 1703 x 100 %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		840		\$ 1703
	x x				
	x x				

Gar.—Carport x Fir. Walls Cl.

Description of Buildings	Additions	
Foundation—Stone <u>Conc.</u> <u>None</u> ✓		
Ext. Walls <u>Siding</u>		
Insulation—Floors <u>Walls</u> <u>Clgs.</u>		
Roof Type <u>Gab.</u> Mtl. <u>Shg</u>		
Dormers—Small <u>Med.</u> <u>Large</u>		
Bays—Small <u>Med.</u> <u>Large</u>		
Porches—Front <u>160</u> @ <u>80</u> <u>128</u>		
Rear <u>@</u>		
Porch <u>@</u>		
Metal Awnings <u>Mtl. Rail</u>		
Basement Entr. <u>@</u>		
Planters <u>@</u>		
Cellar-Bsmt. — $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ <u>Full</u> <u>Floor</u>		
Bsmt. Apt. <u>Rooms Fin.</u> <u>Unfin.</u>		
Attic Rooms <u>Fin.</u> <u>Unfin.</u>		
Plumbing {	90	
		Class <u>1</u> Tub <u>Trays</u>
		Basin <u>Sink</u> <u>Toilet</u> <u>1</u>
		Wtr. Sfr. <u>Shr. St.</u> <u>O.T.</u>
Dishwasher <u>Garbage Disp.</u>		
Built-in-Appliances		
Heat—Stove <u>H.A.</u> <u>Steam</u> <u>Stkr.</u> <u>Blr.</u>		
Oil <u>Gas</u> <u>Coal</u> <u>Pipeless</u> <u>Radiant</u>		
Air Cond. <u>—</u>		
Finish—Fir <u>Hd. Wd.</u>		
Floor—Fir <u>Hd. Wd.</u> <u>Other</u>		
Cabinets <u>Mantels</u>		
Tile—Walls <u>Wainscot</u> <u>Floors</u>		
Storm Sash—Wood D. <u>S.</u> ; Metal D. <u>S.</u>		
Total Additions	<u>218</u>	

Year Built <u>57</u>	Avg. Age <u>57</u>	Current Value	\$ <u>1921</u>
Age <u>1949-48</u>		Commission Adj.	%
Inf. by { Owner - Tenant - Neighbor - Record - Est.		Bldg. Value	
		Depr. Col. <u>1 2 3 4 5 6 30</u>	%
Remodel Year <u>Est. Cost</u>		Current Value Minus Depr.	\$ <u>576</u>
Garage—Class <u>Depr. 2% 3%</u> Carport <u>Factor</u>			
Cars <u>Floor</u> <u>Walls</u> <u>Roof</u> <u>Doors</u>			
Size— <u>x</u> <u>Age</u> <u>Cost</u> <u>x</u> <u>%</u>			
Other			
Total Building Value			\$

PC609

Serial Number

.....OF.....
Card Number

Owners Name Mareella K Taylor

Location Plat 13 add 14 BK 73 M 5

Kind of Bldg. Res St. No. 97 Daly Ave

Class 2 Type 1 2 3 4 Cost \$ _____ X _____ %

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	880		\$ 2736	\$
	x x				
	x x				

Att. Gar. — C.P. x Flr. Walls Cl.

Description of Buildings

Foundation—Stone Conc. Sills

Ext. Walls Siding

Roof Type Gable Mtl. shingles

Dormers—Small Med. Large

Bays—Small Med Large

Porches—Front 160 @ 125 200

Rear @

Porch @

Planters @

Ext. Base. Entry @

Cellar-Bsmt. — 1/4 1/8 1/2 3/8 3/4 Full Floor

Bsmt. Gar.

Basement-Apt. Rms. Fin. Rms.

Attic Rooms Fin. Unfin.

Plumbing { Class Tub. Trays

Basin Sink Toilet

Wtr. Sfr. Shr. St. O.T. 290 100

Dishwasher Garbage Disp.

Heat—Stove H.A. FA HW Stkr Elec.

Oil Gas Coal Pipeless Radiant

Air Cond. — Full Zone

Finish—Fir. Hd. Wd. Panel

Floor—Fir. Hd. Wd Other

Cabinets Mantels.

Tile—Walls Wainscot Floors

Storm Sash—Wood D. S. ; Metal D. S.

Awnings — Metal Fiberglass

Total Additions 490

Year Built 1901 Avg. 1901 Replacement Cost 3226

Age 2 Obsolescence

Inf. by { Owner - Tenant Adj. Bld. Value

{ Neighbor - Record - Est. Conv. Factor x.47

Replacement Cost—1940 Base

Depreciation Column (1) 2 3 4 5 6

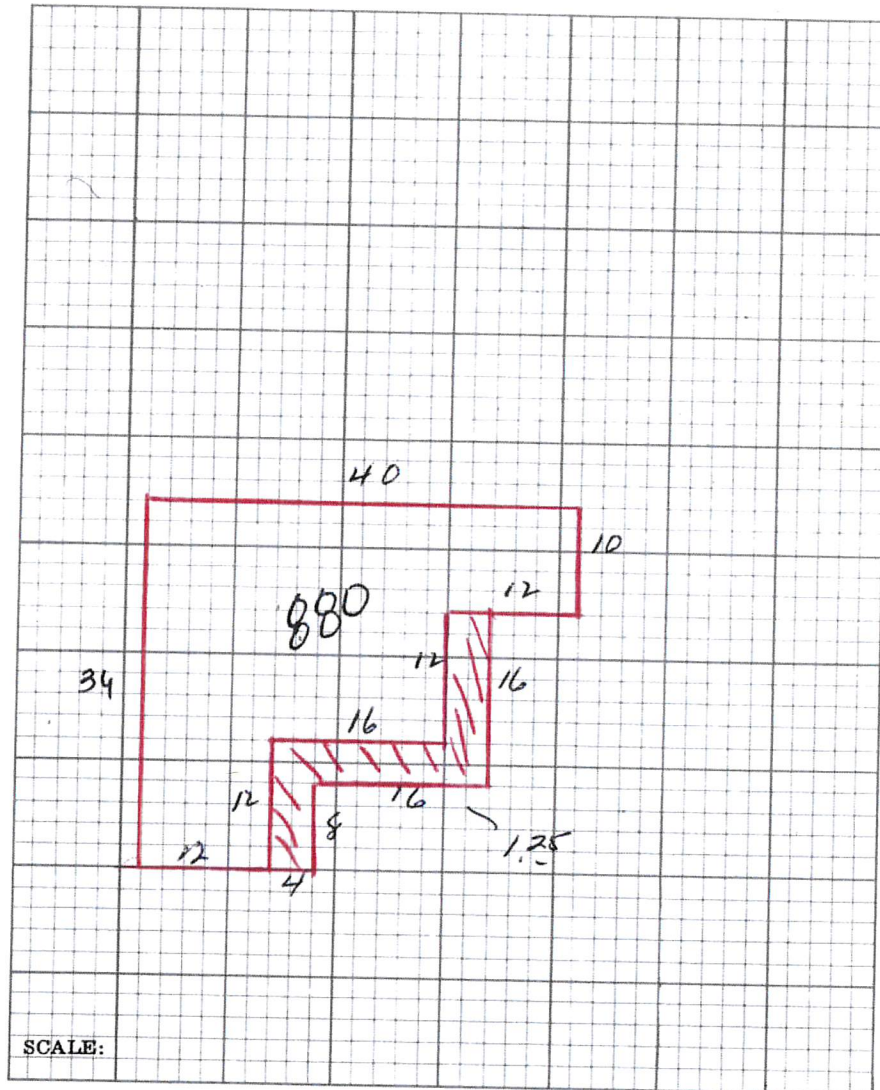
1940 Base Cost, Less Depreciation

Total Value from reverse side

Total Building Value \$

Appraised 11-7- 19 68 By 1333 NOV 26 1968 1328

Appraised 2 19 By



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class _____ Depr. 2% 3% _____

Cars _____ Floor _____ Walls _____ Roof _____ Doors _____

Size _____ x _____ Age _____ Cost _____ x 47% _____

1940 Base Cost _____ x _____ % Depr. _____

Total _____

REMARKS _____



PC 609

Structure/Site Information Form

Street Address: 97 Daly
Park City, Summit County, Utah

UTM: 12 458240 4498540

Name of Structure: Josie M. _____ House

T. _____ R. _____ S. _____

Present Owner: Rex and Aldred Davis

Owner Address: RFD Box _____, Heber City, UT 84032

Built (Tax Record):
Legal Description

Effective Age:
Kind of Building:

Tax #: PC 609

South 4 feet Lot 13, all Lot 14 Block 73
.14 acres.

Original Owner: Unknown

Construction Date: c. 1885

Demolition Date:

Original Use: Residence

Present Use:

Building Condition: _____

Preliminary Evaluation:

Final Register Status:

- | | | | | | | |
|--|--------------------------------|---|---|--|--|---|
| <input type="checkbox"/> Excellent | <input type="checkbox"/> Site | <input type="checkbox"/> Unaltered | <input checked="" type="checkbox"/> Significant | <input type="checkbox"/> Not of the | <input type="checkbox"/> National Landmark | <input type="checkbox"/> District |
| <input checked="" type="checkbox"/> Good | <input type="checkbox"/> Ruins | <input checked="" type="checkbox"/> Minor Alterations | <input type="checkbox"/> Contributory | <input type="checkbox"/> Historic Period | <input type="checkbox"/> National Register | <input type="checkbox"/> Multi-Resource |
| <input type="checkbox"/> Deteriorated | | <input type="checkbox"/> Major Alterations | <input type="checkbox"/> Not Contributory | | <input type="checkbox"/> State Register | <input type="checkbox"/> Thematic |

Photography:

Date of Slides: 1983

Slide No.:

Date of Photographs: 1983

Photo No.:

Views: Front Side Rear Other

Views: Front Side Rear Other

Research Sources:

- | | | | |
|---|---|--|---|
| <input checked="" type="checkbox"/> Abstract of Title | <input checked="" type="checkbox"/> Sanborn Maps | <input checked="" type="checkbox"/> Newspapers | <input type="checkbox"/> U of U Library |
| <input checked="" type="checkbox"/> Plat Records/Map | <input type="checkbox"/> City Directories | <input type="checkbox"/> Utah State Historical Society | <input type="checkbox"/> BYU Library |
| <input checked="" type="checkbox"/> Tax Card & Photo | <input type="checkbox"/> Biographical Encyclopedias | <input type="checkbox"/> Personal Interviews | <input type="checkbox"/> USU Library |
| <input type="checkbox"/> Building Permit | <input checked="" type="checkbox"/> Obituary Index | <input type="checkbox"/> LDS Church Archives | <input type="checkbox"/> SLC Library |
| <input type="checkbox"/> Sewer Permit | <input checked="" type="checkbox"/> County & City Histories | <input type="checkbox"/> LDS Genealogical Society | <input checked="" type="checkbox"/> Other Census Records |

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

1910 Census Records. Summit County, Park City Precinct, p. 189-B.

Researcher: Roger Roper

Date: 4/84

Architect/Builder: Unknown

Building Materials: Wood

Building Type/Style: T/L Cottage by Addition

Description of physical appearance & significant architectural features:
 (Include additions, alterations, ancillary structures, and landscaping if applicable)

This house is a one story frame T/L cottage with a gable roof. It is a T/L cottage by addition. A cross-wing was added to an existing hall and parlor house to form a T/L cottage. This was a common and acceptable method of expanding and updating a small house. The hall and parlor house, the older folk type of house, was effectively changed to resemble the popular T/L cottage. The 1889 Sanborn Insurance Map indicates that the house was a rectangular building with a rear shed extension that projected past the south gable end. By 1900 a cross-wing was added to the north end making the original building the stem-wing of the newly formed T/L cottage. The house retains the form it had achieved by 1900. There is a single window in the gable end of the cross-wing, and a door opens into the south side of the cross-wing. A second door is centered between two windows on the stem-wing. The windows are the two over two double hung sash type. A porch spans the width of the stem-wing, and wraps around the southwest corner of the building. It has a low pitch hip roof, and is supported on straight posts. The rear shed extension projects past the south end of the building, as was recorded on the 1889 Sanborn map. There is a door into the west side of that projection, and another small extension is attached to its south end. The attached extension has board and batten siding, is in keeping with the scale
 (See continuation sheet)

Statement of Historical Significance: Construction Date: c. 1885

Built c. 1885, the Josie Mahoney House at 97 Daly is architecturally significant as one of about 34 extant T/L cottages by addition in Park City, 11 of which are included in this nomination. The T/L cottage was one of three popular Park City house forms that was built in the late nineteenth century. T/L cottages by addition make up 9% of the total number of in-period buildings in Park City, and represent 30% of the total number of houses with T/L plans. The T/L cottage resulted from the addition of a cross-wing to an existing hall and parlor house, and is significant because it documents the most common and acceptable major method of expanding a small mining town cottage.

This house was built by at least 1889, as indicated by the Sanborn Insurance Maps, but the exact date of its construction and the name of its original owner are unknown. In 1916, Josie Mahoney received legal title to the property from the Park City Townsite Corporation as part of their effort to clear up the "extensive property muddle" that had persisted in Park City for almost 40 years. The property muddle came about because many early settlers opposed the townsite proposal and refused to follow legal procedures for owning property. The Mahoneys probably had been living in the house for some time before that, but had not been the legal owners of record. The house was purchased in 1917 by Marcella K. Taylor Smith, who owned it until 1974.

Josie Mahoney was probably Josephine Mahoney, wife of Bart Mahoney, a miner. Both were born in Ireland, he in 1880 and she in 1881. He emigrated to the U.S. with his parents the same year that he was born, but he apparently returned to Ireland prior to his marriage to Josie around 1900. She first came to the U.S. in 1906. According to the 1910 census records, the Mahoneys were living in another house on Daly Avenue at that time, so sometime between 1910 and 1916 they purchased this house at 97 Daly. It is unknown whether or not Bart Mahoney was living at that time.

97 Daly

Description continued:

of the earlier section, and is unobtrusive. In-period rear extensions are part of Park City's architectural vocabulary. Although in many cases an extension represents a major alteration of the original house, it usually contributes to the significance of a house because it documents the most common and acceptable method of expansion of the small Park City house. Except for the extension just described, the building has received no major alterations since the addition of the cross-wing prior to 1900. It does not maintain its original integrity as a hall and parlor house, but because it was altered early within the historic period, prior to 1900, it is significant because it documents a common method of expansion, the change of a hall and parlor house to a T/L cottage by the addition of a cross-wing. It therefore maintains its integrity as another significant type, the T/L cottage by addition.

Application:

Applications may be submitted to the Planning Department starting at 8 a.m. Mountain Standard Time (MST) on August 25, 2023, and will be accepted through November 3, 2023, at 5:00 p.m. MST. If selected, Applicants will be notified by December 31, 2023. Work proposed to be supported with grant funds must be **completed before June 30, 2025**, to qualify for the grant reimbursement. Applications shall be submitted in person, by email (planning@parkcity.org), or by mail.

Please note: if submitting application via email please ensure attached files are less than 8MB in size. If over this size please send via FTP link such as Google Drive or Dropbox.


The Planning Department is in City Hall at 445 Marsac Avenue, Park City, Utah 84060.

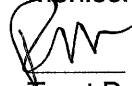
Mailed applications shall be addressed as follows:

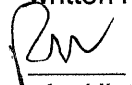
Park City Municipal Corporation
ATTN: Park City Historic Preservation Planner, Planning Department
P.O. Box 1480
Park City, UT 84060

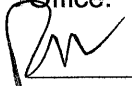
THIS APPLICATION CYCLE IS NOT A RETROACTIVE AWARDING OF FUNDS FOR WORK ALREADY COMPLETED. WORK MUST BE PROPOSED BETWEEN JANUARY 1, 2024 AND JUNE 30, 2025 IN ORDER TO BE CONSIDERED.

Please review and initial the following prior to submitting your grant application:

 1) I (we) understand I (we) will be required to provide copies of 1) invoices for the work, 2) proof of payment (e.g. receipts, invoices marked "paid", etc.), 3) a W-9 (grant income must be reported on income taxes), and 4) photographs of the completed work. These items must be submitted to the City once the work is completed in order to begin the release of the grant monies.

 2) I (we) understand I (we) will be required to sign a Historic Preservation Agreement, Trust Deed, and Trust Deed Note and record such instruments with the Summit County Recorder's Office for a term of 5 years. Following the passage of 5 years and my (our) satisfaction of the requirements of the Historic Preservation Agreement the City shall, upon written request, record a release of these documents with the Summit County Recorder's Office.

 3) I (we) understand a grant award exceeding \$25,000 USD will require the recordation of a Historic Preservation Easement on my (our) property. In the event my (our) project is awarded \$25,000 USD or more, I (we) agree to provide a Historic Preservation Easement to Park City Municipal Corporation in a form acceptable to the City Attorney and agree to have such easement agreement recorded on my (our) property with the Summit County Recorder's Office.

 4) I (we) understand Park City Municipal Corporation is constructing a database of current and prior grant award recipients' projects. This database may include exterior photographs of my (our) property but will not include interior photographs of the property. I (we) understand participation in this database is voluntary and (select one):

- AGREE TO PARTICIPATE**
- DO NOT AGREE TO PARTICIPATE**

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

HISTORIC DISTRICT COMPETITIVE GRANT APPLICATION

For Office Use Only

ADMINISTRATIVE REVIEW	PROJECT PLANNER	APPLICATION # _____
APPROVED _____	_____	DATE RECEIVED _____
AMOUNT _____	_____	EXPIRATION _____
DENIED _____	_____	BLDG PERMIT _____

PROJECT INFORMATION

NAME: Roof repair due to snow/ice damage

ADDRESS: 416 Park Ave
Park City, UT

TAX ID: _____ OR
 SUBDIVISION: _____ OR
 SURVEY: _____ LOT #: _____ BLOCK #: _____

APPLICANT INFORMATION

NAME: Jack & Ramona Mayer

MAILING ADDRESS: 2365 E. Blaine Circle
SLC, UT
84108

PHONE #: (801) 699-3194 FAX #: () -

EMAIL: ramonamayer@hotmail.com

APPLICANT REPRESENTATIVE INFORMATION

NAME: _____

PHONE #: () -

EMAIL: _____

PRIMARY ADDRESS: _____

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

PROPOSED WORK AND ESTIMATED COSTS

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
Interior Roof Repair (Attic)	Replace broken beams and reinforce	416 Park Ave	Yes <input checked="" type="radio"/> No
Work Item Cost: \$14,600. ⁰⁰			If Yes, please detail the current condition:

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Work Item	Method(s) Proposed (Please Be Specific)	Location of Work	Historic Materials? Circle One
			Yes / No
Work Item Cost:			If Yes, please detail the current condition:

Total Grant Request: \$ 7,300.⁰⁰ (Amount Requested from City)
Total Owner's Match: \$ 7,300.⁰⁰ (Owner's Portion of Total Budget)
Total Project Budget: \$ 14,600.⁰⁰ (Grant Request + Match)
 Owner(s) Match Source: Insurance

If you have questions regarding the application or submittal process please contact Senior Planner Caitlyn Tubbs at Caitlyn.Tubbs@parkcity.org or 435-615-5063 or visit www.parkcity.org.

ACKNOWLEDGMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: Ramona Mayer
Name of Applicant: Ramona Mayer
Mailing Address: 2365 E. Blaine Cir., ^{PRINTED}SLC, UT 84108
Phone: 801-699-3194 Fax: _____
Email: ramonamayer@hotmail.com
Type of Application: Grant Request

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: _____
PRINTED

Mailing Address: _____

Street Address/ Legal Description of Subject Property: _____

Signature: _____ Date: _____

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

Historic Preservation Board Staff Report



Subject: Historic District Design Guidelines Updates
Application: PL-23-05962
Author: Planning Team
Date: December 6, 2023
Type of Item: Land Management Code Amendments

Summary

(I) Review the proposed Land Management Code Amendments that include

- Illustrations for Chapter 15-13 *Design Guidelines for Historic Districts and Historic Sites*,
- Amendments to maximum driveway designs in Historic Districts,
- Removal of the requirement that non-historic structures have an opaque finish, and
- Minor corrections,

(II) conduct a public hearing, and (III) consider forwarding a recommendation for the Planning Commission's consideration on December 13, 2023.

Analysis

In accordance with Land Management Code (LMC) [§ 15-11-5](#), the Historic Preservation Board is charged with the following duties:

- A. To preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design Guidelines for Historic Districts and Historic Sites, Chapter 15-13;
- D. To recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation; and
- E. To communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors, and tourists.

Staff recommends amendments to the LMC to make the Historic District regulations more accessible to applicants with illustrations, to clarify criteria for driveways in the Historic Districts, to implement the Board's recommended amendments regarding opacity regulations, and to make minor corrections.

The LMC is enacted to implement the goals and policies of the General Plan, in part to protect and enhance the Historic character (LMC [§ 15-1-2\(B\)](#)). [General Plan Objective 15C](#) (p. 107) is to "[i]ncrease local knowledge of historic preservation principles and accepted standards through increased public education and programming." Illustrating key requirements will make these development standards more accessible to the public and support consistent project reviews. Illustrating and updating the Historic District regulations also advance General Plan [Community Planning Strategy 15.4](#) (p. 108),

which is to “[r]eview, annually, the Land Management Code (LMC) and Park City’s Design Guidelines for Historic Districts and Historic Sites in order to maintain regulatory consistency.”

Staff Recommends Illustrating the Historic District Regulations

The City first published the Guidelines for Historic Districts (“Guidelines”) on June 16, 1983 to preserve the historic character of Park City and to guide compatible infill development. The Guidelines were last updated on May 16, 2019, when City Council adopted [Ordinance No. 2019-06](#). The Guidelines outline required standards during the review of proposed modifications to any of the 400+ designated Landmark and Significant Historic Sites on Park City’s [Historic Sites Inventory](#) and for new construction within the City’s Historic Zoning Districts. These Guidelines are codified in LMC [Chapter 15-13](#) to preserve historical aspects of Old Town and to guide compatible infill development in our National Historic Districts.

The 1983 Guidelines were 52 pages in length and included illustrations. The current Guidelines contain over 27,000 words in 81 pages with no illustrations. To provide clarity for applicants, staff prioritized illustrating the Guidelines.

On March 9, 2023, the City Council approved a Professional Services Agreement between the City and Io LandArch to create illustrations for LMC Chapter 15-13 ([Staff Report](#); [Minutes](#) p. 9). The illustrations created by Io LandArch include diagrams, photographs, and drawings defining assorted architectural features and visually demonstrating the minimum requirements of LMC. These illustrations have been inserted into the draft ordinance (see Exhibit A).

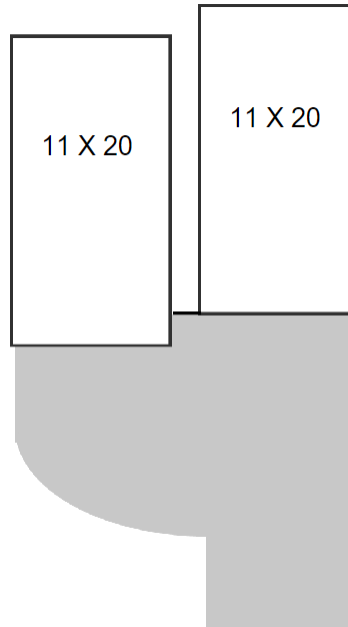
Staff Recommends Clarifying Driveway Regulations

For Historic Sites, LMC [§ 15-13-2\(B\)\(5\)\(b\)\(7\)](#) states single-car wide tandem garages are recommended and side-by-side parking configurations are strongly discouraged, but if used, must be visually minimized when viewed from the primary right-of-way. LMC [§ 15-13-2\(B\)\(5\)\(b\)\(8\)](#) states garages with side-by-side parking configurations must maintain a two-foot offset in the wall plane. These same standards apply to Non-Historic Sites (LMC [§ 15-13-8\(B\)\(6\)\(a\)\(7\)](#)). LMC [§ 15-3-4\(A\)\(1\)](#) requires garages to have a minimum interior dimension of 11 feet in width and 20 feet in depth.

Historic and Non-Historic Sites in the Historic Districts are recommended to be limited to a 10-foot-wide driveway but are restricted to no more than a 12-foot-wide driveway (LMC [§ 15-13-2\(B\)\(1\)\(g\)\(6\)](#) and LMC [§ 15-13-8\(B\)\(1\)\(h\)\(7\)](#)). The restriction on maximum driveway width has led to challenges for sites with a two-car garage. Existing non-complying driveways that were built prior to the adoption of the code establishing a 12-foot-wide maximum may be maintained in accordance with LMC [§ 15-9-6 Non-Complying Structures](#) in that they may be repaired and maintained, but not increased. For new developments with a two-car garage, several applicants and property owners have expressed concerns regarding the maximum driveway widths in Historic Districts

for two-car garages over the years citing matters of snow storage and provision of parking as reasons to maintain wider driveways.

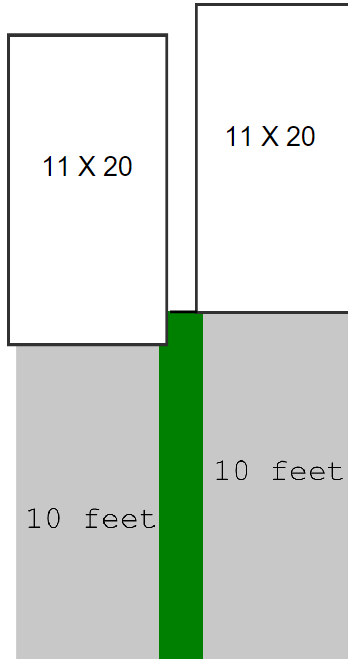
Code interpretations have included applying the 12-foot-wide maximum to the area within the setback, leading to a driveway like the one illustrated below:



Staff recommends clarifying the driveway width regulations to establish consistent criteria, to address the realities of access to two-car garages and winter conditions in a resort town, and to mitigate impervious surfaces. To comply with the two-foot offset in the wall plane, the driveway width maximum, and the interior garage dimensions, staff recommends the following for a two-car garage:

- Require both a vertical and horizontal two-foot offset between garage doors;
- Restrict driveway widths to 10 feet; and
- Require a minimum 18-inch buffer between driveway widths.

The recommended regulations are illustrated below and within the draft ordinance (Exhibit A):



The minimum 18-inch buffer could include: at-grade landscaping (Figure 1), a permanent raised planter box with landscaping (Figure 2), or turfstone pavers (Figure 3).



Figure 1: Example of at-grade landscaping



Figure 2: Example of permanent planter



Figure 3: Example of turfstone

The Historic Preservation Board Recommended Limiting Opacity Requirements to Historic Structures

For Historic Structures, LMC [§ 15-13-6\(A\)\(3\)](#) requires “[m]aterials, such as wood, that were traditionally painted shall have an opaque rather than transparent finish.” This provision continues, “[a] rustic, bare-wood look is generally not appropriate on historic residential and commercial structures, but may be appropriate on accessory structures.” Similarly, for Non-Historic Structures, LMC [§ 15-13-8\(B\)\(2\)\(a\)\(5\)\(b\)](#) requires “[m]aterials, such as wood, that are traditionally painted [to] have an opaque rather than transparent finish.” Several applicants have expressed concern with this requirement, preferring a reclaimed wood or other “raw” wood aesthetic.

The Historic Preservation Board conducted a work session regarding opacity requirements on June 7, 2023 ([Staff Report](#); [SWCA Technical Memorandum on Paint and Stain Opacity](#); [Minutes](#), p. 13) and recommended requiring facades of Historic Structures to have an opaque finish but allowing additions and new construction to be exempt from the opacity requirement. As a result, staff removed the requirement for wooden or other traditionally painted materials to be stained or painted to a fully opaque appearance on new construction.

Staff Recommends Minor Corrections

Staff recommends:

- Removing conflicting statements (e.g. “*all elevations of the new infill residential building **should shall**¹ be designed in a manner consistent...*”)
- Replacing “Guidelines” with “Regulations” because the Historic District requirements are codified standards
- Removing an asterisk in the Historic Sites Inventory in [Section 15-11-10](#) noting properties under appeal for Determination of Significance – the appeals are no longer active
- Replacing “him” and “his” with “their”
- Correcting minor grammatical and spelling errors

Next Steps

The Historic Preservation Board will review the proposed amendments and forward a recommendation to the Planning Commission. The Planning Commission will then review the proposed amendments, conduct a public hearing, and forward a formal recommendation to the City Council for its consideration. The City Council will review the proposed amendments during a public meeting tentatively scheduled for February 15, 2024, conduct a public hearing, and consider approving or denying the proposed LMC amendments.

Exhibits

Exhibit A: Draft Redlines

¹ Emphasis added

Ordinance No. 2024-XX

**AN ORDINANCE AMENDING LAND MANAGEMENT CODE CHAPTER 15-11
HISTORIC PRESERVATION AND CHAPTER 15-13 DESIGN GUIDELINES FOR
HISTORIC DISTRICTS AND HISTORIC SITES**

WHEREAS, the purposes of the Land Management Code include promoting the general health, safety, and welfare of the present and future inhabitants, businesses and visitors of the City and protecting and enhancing the vitality of the City's resort-based economy, the overall quality of life, the Historic Character, and unique mountain town community;

WHEREAS, the Land Management Code implements the goals and policies of the Park City General Plan;

WHEREAS, *Historic Character* is one of the core values in the Park City General Plan;

WHEREAS, Goal 15 is to preserve the integrity, mass, scale, compatibility, and historic fabric of the national and locally designated historic resources and districts for future generations, Objective 15B of the General Plan is to "[m]aintain character, context and scale of local historic districts with compatible infill development and additions," Objective 15C is to "[i]ncrease local knowledge of historic preservation principles and accepted standards through increased public education and programming," and Objective 15D is to "[p]rovide additional public education/programming to connect property owners and financial incentives in an effort to offset the high cost of restoration;"

WHEREAS, Community Planning Strategy 15.4 of the General Plan is to "[r]eview, annually, the Land Management Code (LMC) and Park City's Design Guidelines for Historic Districts and Historic Sites in order to maintain regulatory consistency;"

WHEREAS, the purpose of the Historic Preservation Board is to in part preserve the City's unique historic character and to encourage compatible design and construction in the City's Historic Districts and Historic Sites through periodic updates to Land Management Code Chapter 15-13 *Design Guidelines for Historic Districts and Historic Sites*;

WHEREAS, on November 1, 2023, the Historic Preservation Board conducted a work session on potential amendments to the Land Management Code to incorporate illustrations for Chapter 15-13 *Design Guidelines for Historic Districts and Historic Sites* to provide clarity for the community regarding key terms and standards, to clarify

maximum driveway widths for two-car garages in the Historic Districts, to remove the requirement that non-historic structures in the Historic Districts have an opaque finish, and to make minor corrections;

WHEREAS, on December 6, 2023, the Historic Preservation Board conducted a public hearing and forwarded a _____ recommendation to the Planning Commission and City Council;

WHEREAS, the Planning Commission conducted a duly noticed public hearing on December 13, 2023, and forwarded a _____ recommendation to the City Council;

WHEREAS, the City Council conducted a duly noticed public hearing on February 15, 2024.

NOW, THEREFORE BE IT ORDAINED by the City Council of Park City, Utah, as follows:

SECTION 1. AMEND MUNICIPAL CODE OF PARK CITY LAND MANAGEMENT CODE TITLE 15. The recitals are incorporated herein as findings of fact. Municipal Code of Park City Title 15 Land Management Code Chapter 15-11 *Historic Preservation* and Chapter 15-13 *Design Guidelines for Historic Districts and Historic Sites* are hereby amended as outlined in Attachment 1.

SECTION 3. EFFECTIVE DATE. This Ordinance shall be effective upon publication.

PASSED AND ADOPTED THIS 15th day of February 2024.

PARK CITY MUNICIPAL CORPORATION

Nann Worel, Mayor

Attest:

City Recorder

Approved as to form:

City Attorney's Office

- 1 **15-11 Historic Preservation**
- 2 15-11-1 Establishment Of Board
- 3 15-11-2 Terms And Qualifications Of Members
- 4 15-11-3 Organization
- 5 15-11-4 Absence Deemed Resignation Or Grounds For Removal
- 6 15-11-5 Purposes
- 7 15-11-6 Additional Duties
- 8 15-11-7 Limitations
- 9 15-11-8 Staff Assistance
- 10 15-11-9 Preservation Policy
- 11 15-11-10 Park City Historic Sites Inventory
- 12 15-11-11 ~~[Design Guidelines]~~ Regulations For Historic Districts And Historic Sites
- 13 15-11-12 Historic District Or Historic Site ~~[Design]~~ Review
- 14 15-11-12.5 Historic Preservation Board Review For Material Deconstruction
- 15 15-11-13 Relocation And/Or Reorientation Of A Historic Building Or Historic Structure
- 16 15-11-14 Disassembly And Reassembly Of A Historic Building Or Historic Structure
- 17 15-11-15 Reconstruction Of An Existing Historic Building Or Historic Structure
- 18 15-11-16 Demolition Of Historic Buildings, Structures, And Sites
- 19 15-11-17 Certificate Of Appropriateness For Demolition (CAD)
- 20 15-11-18 CAD Pre-Hearing Application Requirements
- 21 15-11-19 CAD Hearing
- 22
- 23

24 **15-11-5 Purposes**

25 The purposes of the HPB are:

- 26 A. To preserve the City's unique Historic character and to encourage compatible
27 design and construction through the creation, and periodic update of
28 comprehensive ~~[Design Guidelines]~~ Regulations For Historic Districts And
29 Historic Sites, Chapter 15-13;
- 30 B. To identify as early as possible and resolve conflicts between the preservation of
31 cultural resources and alternative land Uses;
- 32 C. To provide input to staff, the Planning Commission and City Council towards
33 safeguarding the heritage of the City in protecting Historic Sites, Buildings, and/or
34 Structures;
- 35 D. To recommend to the Planning Commission and City Council ordinances that
36 may encourage Historic preservation;
- 37 E. To communicate the benefits of Historic preservation for the education,
38 prosperity, and general welfare of residents, visitors and tourists;
- 39 F. To recommend to the City Council Development of incentive programs, either
40 public or private, to encourage the preservation of the City's Historic resources;
- 41 G. To administer all City-sponsored preservation incentive programs;
- 42 H. To review and take action on all designation of Sites to the Historic Sites
43 Inventory Applications submitted to the City; and
- 44 I. To review and take action on material deconstruction applications for those Sites
45 listed on the Historic Sites Inventory.

46 HISTORY

47 *Adopted by Ord. 02-07 on 5/23/2002*

48 *Amended by Ord. 03-34 on 7/10/2003*

49 *Amended by Ord. 09-23 on 7/9/2009*

50 *Amended by Ord. 15-53 on 12/17/2015*

51 *Amended by Ord. 16-15 on 3/24/2016*

52 *Amended by Ord. 2016-44 on 9/15/2016*

53 *Amended by Ord. 2022-16 on 5/26/2022*

54

55 **15-11-9 Preservation Policy**

56 It is deemed to be in the interest of the citizens of Park City, as well as the State of
57 Utah, to encourage the preservation of Buildings, Structures, and Sites of Historic
58 Significance in Park City. These Buildings, Structures and Sites are among the City's
59 most important cultural, educational, and economic assets. In order that they are not
60 lost through neglect, Demolition, expansion or change within the City, the preservation
61 of Historic Sites, Buildings, and Structures is required. This section is intended to
62 provide an incentive for identification and preservation of Historic Buildings, Structures
63 or Sites that may occur within the Park City Historic District, as well as those that may
64 be located outside the Historic District.

65 A. **HISTORIC PRESERVATION PLAN**. The Planning Department is authorized to
66 require that ~~[Developers]~~ Applicants prepare a Historic Preservation Plan as a
67 condition of approving an Application for a Building project that affects a Historic

68 Structure, Site or Object. The Planning Director and the Chief Building Official, or
69 their designees, must approve the Historic Preservation Plan.

70 B. **GUARANTEE REQUIRED**. The Planning Department is also authorized to
71 require that the Applicant provide the City with a financial Guarantee to ensure
72 compliance with the conditions and terms of the Historic Preservation Plan.

73 C. **TERMS OF GUARANTEE**. The Guarantee shall be similar in form to other
74 Guarantees required by this title and shall consist of an Escrow deposit, a cash
75 deposit with the City, a letter of credit or some combination of the above as
76 approved by the City, including but not limited to a lien on the Property.

77 D. **AMOUNT OF THE GUARANTEE**. The amount of the Guarantee shall be
78 determined by the Chief Building Official, or ~~his~~ their designee. The Building and
79 Planning Departments shall develop standardized criteria to be used when
80 determining the amount of the Historic preservation Guarantee. Such amount
81 may include additional cost or other penalties for the destruction of Historic
82 material(s).

83 E. **EFFECT OF NON-COMPLIANCE**. If the ~~Developer~~ Applicant does not comply
84 with the terms of the Historic Preservation Plan as determined by the Chief
85 Building Official and the Planning Director, or their designees, the City shall have
86 the right to keep the funds of the Guarantee, including the ability to refuse to
87 grant the Certificate of Occupancy and resulting in the requirement to enter into a
88 new Historic Preservation Plan and Guarantee. The funds of the Guarantee shall
89 be used, in the City's discretion, for Historic preservation projects within the City.

90 F. **RELEASE OF GUARANTEE**. The Guarantee shall not be released prior to the
91 issuance of the final Certificate of Occupancy or at the discretion of the Chief
92 Building Official and Planning Director, or their designees, based on construction
93 progress in compliance with the Historic Preservation Plan.

94 HISTORY

95 *Adopted by Ord. 02-07 on 5/23/2002*

96 *Amended by Ord. 03-34 on 7/10/2003*

97 *Amended by Ord. 09-09 on 2/12/2009*

98 *Amended by Ord. 09-23 on 7/9/2009*

99 **15-11-10 Park City Historic Sites Inventory**

100 The City Council may designate Sites to the Historic Sites Inventory as a means of
101 providing recognition to and encouraging the Preservation of Historic Sites in the
102 community. City Council shall make the final determination on all Determination of
103 Significance applications considering the criteria below, with the recommendation of the
104 Historic Preservation Board.

105 A. **CRITERIA FOR DESIGNATING SITES TO THE PARK CITY HISTORIC SITES**
106 **INVENTORY.**

107 1. **LANDMARK SITE.** Any Buildings (main, attached, detached, or public),
108 Accessory Buildings, and/or Structures may be designated to the Historic
109 Sites Inventory as a Landmark Site if the City Council, with a
110 recommendation from the Historic Preservation Board, considers all the
111 criteria listed below:

- 112 a. It is at least fifty (50) years old or if the Site is of exceptional
113 importance to the community; and
- 114 b. It retains its Historic Integrity in terms of location, design, setting,
115 materials, workmanship, feeling and association as defined by the
116 National Park Service for the National Register of Historic Places;
117 and
- 118 c. It is significant in local, regional or national history, architecture,
119 engineering or culture associated with at least one (1) of the
120 following:

121 (1) An era that has made a significant contribution to the broad
122 patterns of our history; or

123 (2) The lives of Persons significant in the history of the
124 community, state, region, or nation; or

125 (3) The distinctive characteristics of type, period, or method of
126 construction or the work of a notable architect or master
127 craftsman.

128 2. **SIGNIFICANT SITE.** Any Buildings (main, attached, detached or public),
129 Accessory Buildings and/or Structures may be designated to the Historic
130 Sites Inventory as a Significant Site if the City Council, with a
131 recommendation from the Historic Preservation Board, considers all the
132 criteria listed below:

- 133 a. It is at least fifty (50) years old or the Site is of exceptional
134 importance to the community; and

- 135 b. It retains its Essential Historic Form as may be demonstrated but
136 not limited by any of the following:
- 137 (1) It previously received a historic grant from the City; or
 - 138 (2) It was previously listed on the Historic Sites Inventory; or
 - 139 (3) It was listed as Significant on any reconnaissance or
140 intensive level survey of historic resources; and
- 141 c. It has one (1) or more of the following:
- 142 (1) It retains its historic scale, context, materials in a manner
143 and degree which can be restored to its Essential Historic
144 Form even if it has non-historic additions; or
 - 145 (2) It reflects the Historical or Architectural character of the site
146 or district through design characteristics such as mass,
147 scale, composition, materials, treatment, cornice, and/or
148 other architectural features as are Visually Compatible to the
149 Mining Era Residences National Register District even if it
150 has non-historic additions; and
- 151 d. It is important in local or regional history architecture, engineering,
152 or culture associated with at least one (1) of the following:
- 153 (1) An era of Historic Importance to the community, or
 - 154 (2) Lives of Persons who were of Historic importance to the
155 community, or
 - 156 (3) Noteworthy methods of construction, materials, or
157 craftsmanship used during the Historic period.

158 3. **CONTRIBUTORY SITE.** Any Buildings (main, attached, detached or
159 public), Accessory Buildings and/or Structures may be designated to the
160 Historic Sites Inventory as a Contributory Site if the City Council, with a
161 recommendation from the Planning Department, considers all the criteria
162 listed below:

163 a. The structure is forty (40) years old or older (this includes buildings
164 not historic to Park City that were relocated to prevent demolition);
165 and

166 b. Meets one of the following:

167 (1) Expresses design characteristics such as mass, scale,
168 composition, materials, treatment, cornice, and/or other
169 architectural features as are Visually Compatible to the
170 Mining Era Residences National Register District; or

171 (2) It is important in local or regional history, architecture,
172 engineering, or culture associated with at least one (1) of the
173 following:

174 (A) An era of Historic importance to the community; or

175 (B) Lives of Persons who were of Historic importance to
176 the community, or

177 (C) Noteworthy methods of construction, materials, or
178 craftsmanship used during the Historic Period

179 c. Contributory structures may be eligible for Historic District Grant
180 funding. Contributory structures are eligible for demolition.

181 4. Any Development involving the Reassembly or Reconstruction of a
182 Landmark Site or a Significant Site that is executed pursuant to Sections
183 15-11-14 or 15-11-15 of this code shall remain on the Park City Historic
184 Sites Inventory. Following Reassembly or Reconstruction, the City
185 Council, with a recommendation from the Historic Preservation Board, will
186 review the project to determine if the work has required a change in the
187 site or structure's historic designation from Landmark to Significant.

188 **B. PROCEDURE FOR DESIGNATING SITES TO THE PARK CITY HISTORIC**
189 **SITES INVENTORY.** The Planning Department shall maintain an inventory of
190 Historic Sites which reflects the Historic Sites Inventory adopted herein. It is
191 hereby declared that all Buildings (main, attached, detached or public),
192 Accessory Buildings, and/or Structures within Park City, which City Council
193 considers to be in compliance with the criteria found in Sections 15-11-10(A)(1)
194 or 15-11-10(A)(2) are determined to be on the Park City Historic Sites Inventory.
195 Any Owner of a Building (main, attached, detached or public), Accessory
196 Building, and/or Structure, may nominate it for listing in the Park City Historic
197 Sites Inventory. The Planning Department may nominate a Building (main,
198 attached, detached or public), Accessory Building, and/or Structure for listing in
199 the Park City Historic Sites Inventory. The nomination and designation
200 procedures are as follows:

201 1. **COMPLETE APPLICATION.** The Application shall be on forms as
202 prescribed by the City and shall be filed with the Planning Department.
203 Upon receiving a Complete Application for designation, the Planning staff

204 shall schedule a hearing before the Historic Preservation Board within
205 ninety (90) days.

206 2. **NOTICE.** Prior to taking action on the Application, the Planning staff shall
207 provide public notice pursuant to Section 15-1-21 of this Code.

208 3. **HEARING AND DECISION.** The Historic Preservation Board will hold a
209 public hearing and will review the Application for compliance with the
210 “Criteria for Designating Historic Sites to the Park City Historic Sites
211 Inventory.” If the Historic Preservation Board finds that the Application
212 complies with the criteria set forth in Section 15-11-10(A)(1) or Section 15-
213 11-10(A)(2), the Building (main, attached, detached or public), Accessory
214 Building, and/or Structure will be recommended to the City Council to be
215 added to the Historic Sites Inventory.

216 **C. REMOVAL OF A SITE FROM THE PARK CITY HISTORIC SITES INVENTORY.**

217 The City Council, with a recommendation from the Historic Preservation Board,
218 may remove a Site from the Historic Sites Inventory. Any Owner of a Site listed
219 on the Park City Historic Sites Inventory may submit an Application for the
220 removal of his/her Site from the Park City Historic Sites Inventory. The Planning
221 Department may submit an Application for the removal of a Site from the Park
222 City Historic Sites Inventory. The criteria and procedures for removing a Site from
223 the Park City Historic Sites Inventory are as follows:

224 1. **CRITERIA FOR REMOVAL.**

- 225 a. The Site no longer meets the criteria set forth in Section 15-11-
226 10(A)(1) or 15-11-10(A)(2) because the qualities that caused it to
227 be originally designated have been lost or destroyed; or
- 228 b. The Building (main, attached, detached, or public) Accessory
229 Building, and/or Structure on the Site has been demolished and will
230 not be reconstructed; or
- 231 c. Additional information indicates that the Building, Accessory
232 Building, and/or Structure on the Site do not comply with the criteria
233 set forth in Section 15-11-10(A)(1) or 15-11-10(A)(2).

234 **2. PROCEDURE FOR REMOVAL.**

- 235 a. **Complete Application.** The Application shall be on forms as
236 prescribed by the City and shall be filed with the Planning
237 Department. Upon receiving a Complete Application for removal,
238 the Planning staff shall schedule a hearing before the Historic
239 Preservation Board within ninety (90) days.
- 240 b. **Notice.** Prior to taking action on the Application, the Planning staff
241 shall provide public notice pursuant to Section 15-1-21 of this Code.
- 242 c. **Hearing and Decision.** The Historic Preservation Board will hear
243 testimony from the Applicant and public and will review the
244 Application for compliance with the “Criteria for Designating Historic
245 Sites to the Park City Historic Sites Inventory.” The HPB shall
246 review the Application “de novo” giving no deference to the prior
247 determination. The Applicant has the burden of proof in removing

248 the Site from the inventory. The HPB will make a recommendation
249 to City Council. The City Council will consider and determine
250 whether the proposal complies with the criteria set forth in Section
251 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building (main,
252 attached, detached, or public) Accessory Building, and/or Structure
253 will be removed from the Historic ~~Sites~~ Sites Inventory.

254 D. Properties identified on the Historic Sites Inventory are hereby designated by
255 Ordinance as Landmark or Significant. These properties include:

- 256 1. Landmark
- 257 a. 44 Chambers Street
 - 258 b. 64 Chambers Street
 - 259 c. 732 Crescent Tram
 - 260 d. 61 Daly Avenue
 - 261 e. 118 Daly Avenue
 - 262 f. 131 Daly Avenue
 - 263 g. 142 Daly Avenue
 - 264 h. 145 Daly Avenue
 - 265 i. 162 Daly Avenue
 - 266 j. 166 Daly Avenue
 - 267 k. 243 Daly Avenue
 - 268 l. 279 Daly Avenue
 - 269 m. 314 Daly Avenue
 - 270 n. 830 Empire Avenue

- 271 o. 835 Empire Avenue
- 272 p. 911 Empire Avenue
- 273 q. 939 Empire Avenue
- 274 r. 270 Grant Avenue
- 275 s. 27 Hillside Avenue
- 276 t. 3000 Highway 224
- 277 u. 2780 Kearns Boulevard
- 278 v. 33 King Road
- 279 w. 45 King Road
- 280 x. 69 King Road
- 281 y. 74 King Road
- 282 z. 1400 Lucky John Drive
- 283 aa. 125 Main Street
- 284 ab. 140 Main Street
- 285 ac. 150 Main Street
- 286 ad. 151 Main Street
- 287 ae. 170 Main Street
- 288 af. 176 Main Street
- 289 ag. 221 Main Street
- 290 ah. 305 Main Street

291 ai. 306 Main Street

292 aj. 309 Main Street

293 ak. 312 Main Street

294 al. 322 Main Street

295 am. 328 Main Street

296 an. 350 Main Street

297 ao. 361-363 Main Street

298 ap. 368 Main Street

299 aq. 402 Main Street

300 ar. 405 Main Street

301 as. 419 Main Street

302 at. 427 Main Street

303 au. 430 Main Street

304 av. 434 Main Street

305 aw. 436 Main Street

306 ax. 438 Main Street

- 307 ay. 440 Main Street
- 308 az. 447 Main Street
- 309 ba. 508 Main Street
- 310 bb. 509 Main Street
- 311 bc. 511 Main Street
- 312 bd. 523 Main Street
- 313 be. 528 Main Street
- 314 bf. 540 Main Street
- 315 bg. 541 Main Street
- 316 bh. 550 Main Street
- 317 bi. 562 Main Street
- 318 bj. 573 Main Street
- 319 bk. 586 Main Street
- 320 bl. 660 Main Street
- 321 bm. 252 Marsac Avenue
- 322 bn. 334 Marsac Avenue

323 bo. 342 Marsac Avenue

324 bp. 412 Marsac Avenue

325 bq. 416 Marsac Avenue

326 br. 445 Marsac Avenue

327 bs. 243 McHenry Avenue

328 bt. 2414 Monitor Drive

329 bu. 143 Norfolk Avenue

330 bv. 802 Norfolk Avenue

331 bw. 811 Norfolk Avenue

332 bx. 823 Norfolk Avenue

333 by. 824 Norfolk Avenue

334 bz. 843 Norfolk Avenue

335 ca. 902 Norfolk Avenue

336 cb. 933 Norfolk Avenue

337 cc. 945 Norfolk Avenue

338 cd. 946 Norfolk Avenue

- 339 ce. 955 Norfolk Avenue
- 340 cf. 962 Norfolk Avenue
- 341 cg. 1002.5 Norfolk Avenue
- 342 ch. 1003 Norfolk Avenue
- 343 ci. 1101 Norfolk Avenue
- 344 cj. 1102 Norfolk Avenue
- 345 ck. 264 Ontario Avenue
- 346 cl. 316 Ontario Avenue
- 347 cm. 323 Ontario Avenue
- 348 cn. 355 Ontario Avenue
- 349 co. 413 Ontario Avenue
- 350 cp. 417 Ontario Avenue
- 351 cq. 44 Ontario Canyon Street
- 352 cr. 121 Park Avenue
- 353 cs. 139 Park Avenue
- 354 ct. 157 Park Avenue

355 cu. 161 Park Avenue
356 cv. 259 Park Avenue
357 cw. 323 Park Avenue
358 cx. 325 Park Avenue
359 cy. 343 Park Avenue
360 cz. 351 Park Avenue
361 da. 363 Park Avenue
362 db. 401 Park Avenue
363 dc. 402 Park Avenue
364 dd. 416 Park Avenue
365 de. 421 Park Avenue
366 df. 424 Park Avenue
367 dg. 445 Park Avenue
368 dh. 455 Park Avenue
369 di. 463 Park Avenue
370 dj. 502 Park Avenue

371 dk. 517 Park Avenue
372 dl. 525 Park Avenue
373 dm. 527 Park Avenue
374 dn. 528 Park Avenue
375 do. 539 Park Avenue
376 dp. 543 Park Avenue
377 dq. 553 Park Avenue
378 dr. 606 Park Avenue
379 ds. 610 Park Avenue
380 dt. 614 Park Avenue
381 du. 638 Park Avenue
382 dv. 651 Park Avenue
383 dw. 690 Park Avenue
384 dx. 698 Park Avenue
385 dy. 703 Park Avenue
386 dz. 943 Park Avenue

- 387 ea. 959 Park Avenue
- 388 eb. 1021 Park Avenue
- 389 ec. 1049 Park Avenue
- 390 ed. 1062 Park Avenue
- 391 ee. 1063 Park Avenue
- 392 ef. 1119 Park Avenue
- 393 eg. 1124 Park Avenue
- 394 eh. 1125 Park Avenue
- 395 ei. 1128 Park Avenue
- 396 ej. 1141 Park Avenue
- 397 ek. 1150 Park Avenue
- 398 el. 1209 Park Avenue
- 399 em. 1215 Park Avenue
- 400 en. 1255 Park Avenue
- 401 eo. 1280 Park Avenue
- 402 ep. 1301 Park Avenue

- 403 eq. 1304 Park Avenue
- 404 er. 1328 Park Avenue
- 405 es. 1354 Park Avenue
- 406 et. 1503 Park Avenue (does not include garage)
- 407 eu. 14 Prospect Street
- 408 ev. 22 Prospect Street
- 409 ew. 36 Prospect Street
- 410 ex. 51 Prospect Street
- 411 ey. 57 Prospect Street
- 412 ez. 59 Prospect Street
- 413 fa. 68 Prospect Street
- 414 fb. 101 Prospect Street
- 415 fc. 755 Rossie Hill Drive, formerly 622 Rossie Hill Drive
- 416 fd. 729 Rossie Hill Drive, formerly 652 Rossie Hill Drive
- 417 fe. 741 Rossie Hill Drive, formerly 660 Rossie Hill Drive
- 418 ff. 41 Sampson Avenue

419 fg. 222 Sandridge Road

420 fh. 39 Seventh Street

421 fi. 41 Seventh Street

422 fj. Glenwood Cemetery

423 fk. 147 Swede Alley

424 fl. 1895 Three Kings Drive

425 fm. 109 Woodside Avenue

426 fn. 232 Woodside Avenue

427 fo. 335 Woodside Avenue

428 fp. 564 Woodside Avenue

429 fq. 655 Woodside Avenue

430 fr. 817 Woodside Avenue

431 fs. 839 Woodside Avenue

432 ft. 901 Woodside Avenue

433 fu. 951 Woodside Avenue

434 fv. 1010 Woodside Avenue

- 435 fw. 1026 Woodside Avenue
- 436 fx. 1057 Woodside Avenue
- 437 fy. 1060 Woodside Avenue
- 438 fz. 1100 Woodside Avenue
- 439 ga. 1110 Woodside Avenue
- 440 gb. 1127 Woodside Avenue
- 441 gc. 1162 Woodside Avenue
- 442 gd. 1167 Woodside Avenue

443 2. Significant

- 444 a. 5 Daly Avenue
- 445 b. 10 Daly Avenue
- 446 c. 24 Daly Avenue
- 447 d. 71 Daly Avenue
- 448 e. 81 Daly Avenue
- 449 f. 97 Daly Avenue
- 450 g. 124 Daly Avenue
- 451 h. 161 Daly Avenue
- 452 i. 167 Daly Avenue
- 453 j. 172 Daly Avenue

- 454 k. 173 Daly Avenue
- 455 l. 180 Daly Avenue
- 456 m. 187 Daly Avenue
- 457 n. 199 Daly Avenue
- 458 o. 239 Daly Avenue
- 459 p. 255 Daly Avenue
- 460 q. 257 Daly Avenue
- 461 r. 269 Daly Avenue
- 462 s. 291 Daly Avenue
- 463 t. 297 Daly Avenue
- 464 u. 309 Daly Avenue
- 465 v. 360 Daly Avenue
- 466 w. 555 Deer Valley Drive
- 467 x. 560 Deer Valley Drive
- 468 y. 577 Daly Avenue
- 469 z. 595 Deer Valley Loop Road
- 470 aa. 632 Deer Valley Loop Road

- 471 ab. 2465 Doc Holiday Drive

- 472 ac. 841 Empire Avenue

- 473 ad. 844 Empire Avenue

- 474 ae. 901 Empire Avenue

- 475 af. 920 Empire Avenue
- 476 ag. 923 Empire Avenue
- 477 ah. 963 Empire Avenue
- 478 ai. 964 Empire Avenue
- 479 aj. 1004 Empire Avenue
- 480 ak. 1011 Empire Avenue
- 481 al. 1013-1015 Empire Avenue
- 482 am. 250 Grant Avenue
- 483 an. 262 Grant Avenue
- 484 ao. 304 Grant Avenue
- 485 ap. 199 Heber Avenue
- 486 aq. 201 Heber Avenue
- 487 ar. 9 Hillside Avenue
- 488 as. 37 Hillside Avenue
- 489 at. 114 Hillside Avenue
- 490 au. 3000 HWY 224

491 av. 80 King Road

492 aw. 81 King Road

493 ax. 109 Main Street

494 ay. 115 Main Street

495 az. 122 Main Street

496 ba.133 Main Street

497 bb.148 Main Street

498 bc. 158 Main Street

499 bd. 186 Main Street

500 be. 227 Main Street

501 bf. 268 Main Street

502 bg. 347-357 Main Street

503 bh. 354 Main Street

504 bi. 355-357 Main Street

505 bj. 359 Main Street

506 bk. 361.5 Main Street

507 bl. 408 Main Street

508 bm. 412 Main Street

509 bn. 442-444 Main Street

510 bo. 449 Main Street

511 bp. 450 Main Street

512 bq. 461-463 Main Street

513 br. 510 Main Street

514 bs. 515 Main Street

515 bt. 556 Main Street

516 bu. 558 Main Street

517 bv. 591 Main Street

518 bw. 220 Marsac Avenue

519 bx. 38 Marsac Avenue

520 by. 402 Marsac Avenue

521 bz. 508 Marsac Avenue

522 ca. 257 McHenry Avenue

523 cb. 2245 Monitor Drive

524 cc. 164 Norfolk Avenue

525 cd. 668 Norfolk Avenue

526 ce. 713 Norfolk Avenue

527 cf. 803 Norfolk Avenue

528 cg. 827 Norfolk Avenue

529 ch. 835 Norfolk Avenue

530 ci. 901 Norfolk Avenue

531 cj. 915 Norfolk Avenue

532 ck. 1002 Norfolk Avenue

533 cl. 1009 Norfolk Avenue

534 cm. 1021 Norfolk Avenue

535 cn. 1055 Norfolk Avenue

536 co. 1063 Norfolk Avenue

537 cp. 1135 Norfolk Avenue

538 cq. 1259 Norfolk Avenue

539 cr. 1302 Norfolk Avenue

540 cs. 308 Ontario Avenue

541 ct. 317 Ontario Avenue

542 cu. 341 Ontario Avenue

543 cv. 405 Ontario Avenue

544 cw. 422 Ontario Avenue

545 cx. 104 Park Avenue

546 cy. 145 Park Avenue

547 cz. 263 Park Avenue

548 da. 305 Park Avenue

549 db. 339 Park Avenue

550 dc. 364 Park Avenue

551 dd. 411 Park Avenue

552 de. 435 Park Avenue

553 df. 450 Park Avenue

554 dg. 526 Park Avenue

555 dh. 527 Park Avenue

556 di. 557 Park Avenue

557 dj. 561 Park Avenue

558 dk. 569 Park Avenue*

559 dl. 575 Park Avenue

560 dm. 581 Park Avenue

561 dn. 602 Park Avenue

562 do. 628 Park Avenue

563 dp. 657 Park Avenue

564 dq. 801 Park Avenue

565 dr. 811 Park Avenue

566 ds. 817 Park Avenue

567 dt. 820 Park Avenue

568 du. 909 Park Avenue

569 dv. 915 Park Avenue

570 dw. 923 Park Avenue

571 dx. 929 Park Avenue

572 dy. 937 Park Avenue

573 dz. 949 Park Avenue

574 ea. 1015 Park Avenue

575 eb. 1043 Park Avenue

576 ec. 1059 Park Avenue

577 ed. 1060 Park Avenue

578 ee. 1101 Park Avenue

579 ef. 1102 Park Avenue

580 eg. 1108 Park Avenue

581 eh. 1109 Park Avenue

582 ei. 1114 Park Avenue

583 ej. 1129 Park Avenue

584 ek. 1135 Park Avenue

585 el. 1149 Park Avenue

586 em. 1160 Park Avenue

587 en. 1266 Park Avenue

588 eo. 1274 Park Avenue

589 ep. 1323 Park Avenue

590 eq. 1326 Park Avenue

591 er. 1333 Park Avenue

592 es. 1359 Park Avenue

593 et. 1420 Park Avenue

594 eu. 1450 Park Avenue

595 ev. 1460 Park Avenue

596 ex. 1488 Park Avenue

597 ey. 9 Prospect Street

598 ez. 52 Prospect Street

599 fa. 60 Prospect Street

600 fb. 147 Ridge Avenue

601 fc. 16 Sampson Avenue

602 fd. 40 Sampson Avenue

603 fe. 60 Sampson Avenue

604 ff. 115 Sampson Avenue

605 fg. 135 Sampson Avenue

606 fh. 130 Sandridge Road

607 fi. 152 Sandridge Road

608 fj. 164 Sandridge Road

609 fk. 218 Sandridge Road

610 fl. 228 Sandridge Road

611 fm. 224 Sandridge Road

612 fn. 175 Snows Lane

613 fo. 205 Snows Lane

614 fp. 601 Sunnyside Avenue

615 fq. 115 Woodside Avenue

616 fr. 133 Woodside Avenue

617 fs. 139 Woodside Avenue

618 ft. 149 Woodside Avenue

619 fu. 311 Woodside Avenue

620 fv. 316 Woodside Avenue

621 fw. 332 Woodside Avenue

622 fx. 347 Woodside Avenue

623 fy. 359 Woodside Avenue

624 fz. 401 Woodside Avenue

625 ga. 405 Woodside Avenue

626 gb. 424 Woodside Avenue

627 gc. 429 Woodside Avenue

628 gd. 481 Woodside Avenue

629 ge. 501 Woodside Avenue

630 gf. 505 Woodside Avenue

631 gg. 543 Woodside Avenue

632 gh. 563 Woodside Avenue

633 gi. 605 Woodside Avenue

634 gj. 615 Woodside Avenue

635 gk. 627 Woodside Avenue

636 gl. 633 Woodside Avenue

637 gm. 664 Woodside Avenue

638 gn. 733 Woodside Avenue

639 go. 805 Woodside Avenue

640 gp. 823 Woodside Avenue

641 gr. 827 Woodside Avenue

642 gs. 835 Woodside Avenue

643 gt. 905 Woodside Avenue

644 gu. 909 Woodside Avenue

645 gv. 919 Woodside Avenue

646 gw. 1002 Woodside Avenue

647 gx. 1007 Woodside Avenue

648 gy. 1013 Woodside Avenue

649 gz. 1020 Woodside Avenue

650 ha. 1027 Woodside Avenue

651 hb. 1045 Woodside Avenue

652 hc. 1053 Woodside Avenue

653 hd. 1062 Woodside Avenue

654 he. 1103 Woodside Avenue

655 hf. 1107 Woodside Avenue

656 hg. 1120 Woodside Avenue

657 hh. 1147 Woodside Avenue

658 hi. 1158 Woodside Avenue

659 hj. 1323 Woodside Avenue

660 hk. 1439 Woodside Avenue

661 hl. 1445 Woodside Avenue

662 hm. 1455 Woodside Avenue

663 3. Mining Sites

664 a. California Comstock Mine Site—Mill Building and Cabin

665 b. Jupiter Mine—Ore Bin and Frame

666 c. Daly West Mine—Head Frame and Fire Hydrant Shacks

667 d. Alliance Mine – Office/Dwelling, Change Room, and Power House

- 668 e. Silver King Consolidated Spiro Tunnel Complex—Foundry Building,
669 Ivers Tunnel Structure, Spiro Tunnel Portal, Machine Shop
670 Building, Sawmill Building, Water Tank A, and Coal Hopper/Boiler
671 Structure
- 672 f. Judge Mine Site—Assay Office and Change Room Building, Shed
673 Structure, Explosives Bunker Portal, Mine Complex Ruins
- 674 g. Judge Mine Aerial Tramway Towers
- 675 h. Little Bell Mine—Ore Bin
- 676 i. Silver King Tramway Towers
- 677 j. Silver King Mine Site—Boarding House, Boarding House Vault,
678 Change House, Hoist House, Mill Building, Fire Hose Shacks,
679 Stone Wall, Stores Department Building, Transformer House, and
680 Water Tanks
- 681 k. Silver King Consolidated Mine—Ore bin and Counterweight
- 682 l. Thaynes Mine—Conveyor Gallery, Hoist House, Conveyor Gallery,
683 Fire Hydrant Shack, Boarding House Ruins, Accessory Buildings 1
684 and 2

685 4. Contributory - *Reserved for future designations*

686 ~~*These properties are currently under appeal for Determination of Significance.~~

687 HISTORY

688 *Adopted by Ord. 02-07 on 5/23/2002*

689 *Amended by Ord. 03-34 on 7/10/2003*

690 *Amended by Ord. 09-05 on 1/22/2009*

691 Amended by Ord. 09-23 on 7/9/2009
692 Amended by Ord. 15-53 on 12/17/2015
693 Amended by Ord. 16-15 on 3/24/2016
694 Amended by Ord. 2016-44 on 9/15/2016
695 Amended by Ord. 2017-04 on 2/16/2017
696 Amended by Ord. 2017-42 on 8/3/2017
697 Amended by Ord. 2018-20 on 5/3/2018
698 Amended by Ord. 2018-35 on 6/21/2018
699 Amended by Ord. 2021-41 on 10/28/2021

700 **15-11-11 ~~[Design Guidelines]~~ Regulations For Historic Districts And Historic Sites**

701 The HPB shall promulgate and update as necessary the ~~[Design Guidelines]~~
702 Regulations for Historic Districts and Historic Sites, Chapter 15-13. Planning
703 Department staff shall review Historic District ~~Design~~ Review Applications for properties
704 within the Historic Districts and Landmark and Significant Historic Sites designated on
705 the Park City Historic Sites Inventory pursuant to the ~~[Design Guidelines]~~ Regulations
706 for Historic Districts and Historic Sites, Chapter 15-13. The ~~[Design Guidelines]~~
707 Regulations for Historic Districts and Historic Sites address rehabilitation of existing
708 Structures, additions to existing Structures, and the construction of new Structures.
709 From time to time, the HPB may recommend changes to the ~~[Design Guidelines]~~
710 Regulations for Historic Districts and Historic Sites to the Planning Commission and
711 Council, provided that no changes in the guidelines shall take effect until adopted by an
712 ordinance of the City Council.

713 HISTORY

714 *Adopted by Ord. 02-07 on 5/23/2002*

715 *Amended by Ord. 03-34 on 7/10/2003*

716 *Amended by Ord. 09-23 on 7/9/2009*

717 *Amended by Ord. 2017-42 on 8/3/2017*

718 *Amended by Ord. 2022-16 on 5/26/2022*

719 **15-11-12 Historic District Or Historic Site ~~[Design]~~ Review**

720 The Planning Department shall review and approve, approve with conditions, or deny,
721 all Historic District / Historic Site ~~[design]~~ review Applications involving an Allowed Use,
722 a Conditional Use, or any Use associated with a Building Permit, to build, locate,
723 construct, remodel, alter, or modify any Building, accessory Building, or Structure, or
724 Site located within the Park City Historic Districts or Historic Sites, including fences and
725 driveways.

726

727 Prior to issuance of a Building Permit for any Conditional or Allowed Use, the Planning
728 Department shall review the proposed plans for compliance with Architectural Review
729 Chapter 15-5, Historic Preservation Chapter 15-11, and the ~~[Design-Guidelines]~~
730 Regulations for Historic Districts and Historic Sites Chapter 15-13. Whenever a conflict
731 exists between the LMC and the ~~[Design-Guidelines]~~ Regulations for Historic Districts
732 and Historic Sites, the more restrictive provision shall apply to the extent allowed by law.

733 A. **PRE-APPLICATION CONFERENCE.**

734

735 1. It is strongly recommended that the Owner and/or Owner's representative
736 attend a pre-Application conference with representatives of the Planning
737 and Building Departments for the purpose of determining the general
738 scope of the proposed Development, identifying potential impacts of the
739 Development that may require mitigation, providing information on City-
740 sponsored incentives that may be available to the Applicant, and outlining
741 the Application requirements.

742 2. Each Application shall comply with all of the ~~[Design Guidelines]~~
743 Regulations for Historic Districts and Historic Sites unless the Planning
744 Department determines that, because of the scope of the proposed
745 Development, certain ~~[guidelines]~~ regulations are not applicable. If the
746 Planning Department determines certain ~~[guidelines]~~ regulations do not
747 apply to an Application, the Planning Department staff shall communicate,
748 via electronic or written means, the information to the Applicant. It is the
749 responsibility of the Applicant to understand the requirements of the
750 Application.

751 3. The Planning Director or designee may upon review of a Pre-Application
752 submittal, determine that due to the limited scope of a project the Historic
753 District or Historic Site ~~[Design]~~ Review process as outlined in Section 15-
754 11-12 and Historic Preservation Board Review For Material
755 Deconstruction as outlined in Section 15-11-12.5 are not required and is
756 exempt.

757
758 If such a determination is made, the Planning Director or designee may,

759 upon reviewing the Pre-Application for compliance with applicable [Design
760 Guidelines] Regulations for Historic Districts and Historic Sites, approve,
761 deny, or approve with conditions, the project. If approved, the Applicant
762 may submit the project for a Building Permit.

763
764 Applications that may be exempt from the Historic [Design] District or
765 Historic Site Review process, include, but are not limited to the following:

- 766 a. For Non-Historic Structures and Sites - minor routine maintenance,
767 minor routine construction work and minor alterations having little or
768 no negative impact on the historic character of the surrounding
769 neighborhood or the Historic District, such as work on roofing,
770 decks, railings, stairs, hot tubs and patios, foundations, windows,
771 doors, trim, lighting, mechanical equipment, paths, driveways,
772 retaining walls, fences, landscaping, interior remodels, temporary
773 improvements, and similar work.
- 774 b. For Significant Historic Structures and Sites - minor routine
775 maintenance, minor routine construction work and minor alterations
776 having little or no negative impact on the historic character of the
777 surrounding neighborhood, the Historic Structure or the Historic
778 District, such as work on roofing, decks, railings, stairs, hot tubs
779 and patios, replacement of windows and doors in existing or to
780 historic locations, trim, lighting, mechanical equipment located in a
781 rear yard area or rear façade, paths, driveways, repair of existing

782 retaining walls, fences, landscaping, interior remodels, temporary
783 improvements, and similar work.

784 c. For Landmark Historic Structures and Sites - minor routine
785 maintenance and minor routine construction having no negative
786 impact on the historic character of the surrounding neighborhood,
787 the Historic Structure, or the Historic District, such as re-roofing;
788 repair of existing decks, railing, and stairs; hot tubs and patios
789 located in a rear yard; replacement of existing windows and doors
790 in existing or historic locations; repair of existing trim and other
791 historic detailing; lighting, mechanical equipment located in a rear
792 yard area or rear façade, repair of paths, driveways, and existing
793 retaining walls; fences, landscaping, interior remodels, temporary
794 improvements, and similar work.

795 d. For Significant and Landmark Historic Structures and Sites, the
796 Planning Director may determine that the proposed work is
797 Emergency Repair Work having little or no negative impact on the
798 historic character of the surrounding neighborhood or the Historic
799 District.

800 B. **COMPLETE APPLICATION**. The Owner and/or Applicant for any Property shall
801 be required to submit a Historic District / Historic Site ~~design~~-review Application
802 for proposed work requiring a Building Permit in order to complete the work.

803 C. **NOTICE**. Upon receipt of a Complete Application, but prior to taking action on
804 any Historic District/Site ~~design~~-review Application, the Planning staff shall
805 provide notice pursuant to Sections 15-1-12 and 15-1-21.

806 D. **PUBLIC HEARING AND DECISION**. Following the ~~fourteen (14) day~~-public
807 notice period noted in Section 15-1-21 the Planning Department staff shall hold a
808 public hearing and make, within forty-five (45) days, written findings, conclusions
809 of law, and conditions of approval or reasons for denial, supporting the decision
810 and shall provide the Owner and/or Applicant with a copy. Staff shall also provide
811 notice pursuant to Section 15-1-21.

812 1. Historic District / Historic Site ~~design~~-review Applications shall be
813 approved by the Planning Department staff upon determination of
814 compliance with the ~~[Design Guidelines]~~ Regulations for Historic Districts
815 and Historic Sites. If the Planning Department staff determines an
816 Application does not comply with the ~~[Design Guidelines]~~ Regulations for
817 Historic Districts and Historic Sites, the Application shall be denied.

818 2. With the exception of any Application involving the Reconstruction of a
819 Building, Accessory Building, and/or Structure on a Landmark Site, an
820 Application associated with a Landmark Site shall be denied if the
821 Planning Department finds that the proposed project will result in the
822 Landmark Site no longer meeting the criteria set forth in Section 15-11-
823 10(A)(1).

824 3. An Application associated with a Significant Site shall be denied if the
825 Planning Department finds that the proposed project will result in the

826 Significant Site no longer meeting the criteria set forth in Section 15-11-
827 10(A)(2).

828 E. **EXTENSIONS OF APPROVALS**. Unless otherwise indicated, Historic District
829 ~~Design~~-Review (HD~~D~~R) approvals expire one (1) year from the date of the Final
830 Action. The Planning Director or designee may grant an extension of an HD~~D~~R
831 approval for one (1) additional year when the Applicant is able to demonstrate no
832 change in circumstance that would result in an unmitigated impact or that would
833 result in a finding of non-compliance with the Park City General Plan or the Land
834 Management Code in effect at the time of the extension request. Change of
835 circumstance includes physical changes to the Property or surroundings. Notice
836 shall be provided consistent with the original HD~~D~~R approval per Sections 15-1-
837 12 and 15-1-21. Extension requests must be submitted to the Planning
838 Department in writing prior to the date of the expiration of the HD~~D~~R approval.

839 HISTORY

- 840 *Adopted by Ord. 02-07 on 5/23/2002*
- 841 *Amended by Ord. 03-34 on 7/10/2003*
- 842 *Amended by Ord. 09-23 on 7/9/2009*
- 843 *Amended by Ord. 10-11 on 4/1/2010*
- 844 *Amended by Ord. 11-05 on 1/27/2011*
- 845 *Amended by Ord. 12-37 on 12/20/2012*
- 846 *Amended by Ord. 15-53 on 12/17/2015*
- 847 *Amended by Ord. 16-15 on 3/24/2016*
- 848 *Amended by Ord. 2022-16 on 5/26/2022*

849 **15-11-12.5 Historic Preservation Board Review For Material Deconstruction**

850 A. All Applications for Material Deconstruction involving any Building(s) (main,
851 attached, detached, or public, Accessory Buildings and/or Structures designated
852 to the Historic Sites Inventory as Landmark or Significant shall be subject to
853 review and approval, approval with conditions, or denied by the following Review
854 Authorities:

855 1. The Planning Director or his/her designee shall review the following:

856 a. Routine Maintenance, including, but not limited to:

857 (1) Re-Roof;

858 (2) Chimney repair;

859 (3) Foundation repair; or

860 (4) Replacement or repair of the following:

861 (A) Historic wood features;

862 (B) Door or Window replacement; and

863 (C) Historic Site Features.

864 a. Removing or Replacing Non-Historic Features.

865 2. The Historic Preservation Board shall review the following:

866 a. Removal of Historic Material to Accommodate New additions, New
867 Construction, or Structural Upgrades.

868 Prior to issuance of a Building Permit for any Material

869 Deconstruction work, the Review Authority shall review the

870 proposed plans for compliance with Chapter 15-13 **Design**

871 **Guidelines [Regulations]** For Historic Districts and Historic Sites.

872 B. Material Deconstruction Reviews are subject to the following review process:

- 873 1. **COMPLETE APPLICATION**. The Owner and/or Applicant for any
874 Property shall be required to submit a Historic Preservation Board Review
875 For Material Deconstruction for proposed work requiring a Building Permit
876 in order to complete the work.
- 877 2. **NOTICE**. Upon receipt of a Complete Application, but prior to taking action
878 on any Historic Preservation Board Review for Material Deconstruction
879 application, the Planning staff shall provide notice pursuant to Section 15-
880 1-12 and 15-1-21.
- 881 3. **PUBLIC HEARING AND DECISION**. Following the ~~fourteen (14) day~~
882 public notice period noted in Section 15-1-21, the Historic Preservation
883 Board and/or the Planning Director or designee shall hold a public hearing
884 and make written findings, conclusions of law, and conditions of approval
885 or reasons for denial, supporting the decision and shall provide the
886 Owner and/or Applicant with a copy.

887 HISTORY

888 *Adopted by Ord. 02-07 on 5/23/2002*

889 *Amended by Ord. 03-34 on 7/10/2003*

890 *Amended by Ord. 15-53 on 12/17/2015*

891 *Amended by Ord. 16-15 on 3/24/2016*

892 *Amended by Ord. 2020-14 on 2/27/2020*

893 *Amended by Ord. 2022-16 on 5/26/2022*

894 **15-11-13 Relocation And/Or Reorientation Of A Historic Building Or Historic**
895 **Structure**

896 It is the intent of this section to preserve the Historic and architectural resources of Park
897 City through limitations on the relocation and/or orientation of Historic Buildings,
898 Structures, and Sites.

899 A. **CRITERIA FOR THE RELOCATION AND/OR REORIENTATION OF THE**
900 **HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON ITS EXISTING**
901 **LANDMARK OR SIGNIFICANT SITE.** In approving a Historic District or Historic

902 Site **design** review Application involving relocation and/or reorientation of the
903 Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site,
904 the Historic Preservation Board shall find the project complies with the following
905 criteria.

906 1. For either a Landmark or Significant Site all the following shall be met:

907 a. A licensed structural engineer has certified that the Historic
908 Building(s) and/or Structure(s) can successfully be relocated and
909 the applicant has demonstrated that a professional building mover
910 will move the building and protect it while being stored; and

911 b. The proposed relocation will not have a detrimental effect on the
912 structural soundness of the building or structure;

913 2. Landmark structures shall only be permitted to be relocated on its existing
914 site if:

915 a. the relocation will abate demolition; or

916 b. the Planning Director and Chief Building Official find that the
917 relocation will abate a hazardous condition at the present setting
918 and enhance the preservation of the structure.

919 3. For Significant sites, at least one of the following shall be met:

920 a. The proposed relocation and/or reorientation will abate demolition
921 of the Historic Building(s) and/or Structure(s) on the Site; or

922 b. The Planning Director and Chief Building Official determine that the
923 building is threatened in its present setting because of hazardous
924 conditions and the preservation of the building will be enhanced by
925 relocating it; or

926 c. The Historic Preservation Board, with input from the Planning
927 Director and the Chief Building Official, determines that unique
928 conditions warrant the proposed relocation and/or reorientation on
929 the existing Site. Unique conditions shall include all of the following:

930 (1) The historic context of the Historic Building(s) and/or
931 Structure(s) has been so radically altered that the proposed
932 relocation will enhance the ability to interpret the historic
933 character of the Historic Building(s) and/or Structure(s) and
934 the Historic District or its present setting; and

935 (2) The proposed relocation will not diminish the overall physical
936 integrity of the Historic District or diminish the historical
937 associations used to define the boundaries of the district;
938 and

939 (3) The historical integrity and significance of the Historic
940 Building(s) and/or Structure(s) will not be diminished by
941 relocation and/or reorientation; and

942 (4) The potential to preserve the Historic Building(s) and/or
943 Structure(s) will be enhanced by its relocation.

944 **B. PROCEDURE FOR THE RELOCATION AND/OR REORIENTATION OF THE**
945 **HISTORIC BUILDING(S) AND/OR STRUCTURE(S) TO A PERMANENT NEW**

946 **SITE.** To approve a Historic District or Historic Site ~~design~~ review Application
947 involving relocation and/or reorientation of the Historic Building(s) and/or
948 Structure(s) on a Landmark Site or a Significant Site to a new site, the Historic
949 Preservation Board shall find the project complies with the following criteria.

950 1. For either a Landmark or Significant Site, all of the following shall be met:

951 a. A licensed structural engineer has certified that the Historic
952 Building(s) and/or Structure(s) can successfully be relocated and
953 the applicant has demonstrated that a professional building mover
954 will move the building and protect it while being stored; and

955
956 b. The proposed relocation will not have a detrimental effect on the
957 structural soundness of the building or structure;

958 2. Landmark structures shall only be permitted to be relocated to a new site if
959 the relocation will abate demolition and the Planning Director and Chief
960 Building Official find that the relocation will abate a hazardous condition at
961 the present setting and enhance the preservation of the structure.

- 962 3. For Significant Sites, at least one of the following must be met:
- 963 a. The proposed relocation and/or reorientation will abate demolition
- 964 of the Historic Building(s) and/or Structure(s) on the Site; or
- 965 b. The Planning Director and Chief Building Official determine that the
- 966 building is threatened in its present setting because of hazardous
- 967 conditions and the preservation of the building will be enhanced by
- 968 relocating it; or
- 969 c. The Historic Preservation Board, with input from the Planning
- 970 Director and the Chief Building Official, determines that unique
- 971 conditions warrant the proposed relocation and/or reorientation to a
- 972 new Site. This criterion is only available to Significant Sites. Unique
- 973 conditions shall include all of the following:
- 974 (1) The relocation will not negatively affect the historic integrity
- 975 of the Historic District, nor the area of receiving site; and
- 976 (2) One of the following must also be met:
- 977 (A) The historic building is located within the Historic
- 978 districts, but its historic context and setting have
- 979 become so radically altered that the building may be
- 980 enhanced by its new setting if the receiving site is
- 981 more similar to its historic setting in terms of
- 982 architecture, style, period, height, mass, volume,
- 983 scale, use and location of the structure on the lot as
- 984 well as neighborhood features and uses; or

985 (B) The historic building is located outside of the Historic
986 ~~d~~[D]istricts, and its historic context and setting have
987 been so radically altered that the building may be
988 enhanced by its new setting if the receiving site is
989 more similar to its historic setting in terms of
990 architecture, style, period, height, mass, volume,
991 scale, use, and location of the structure on the lot as
992 well as neighborhood features and uses; or

993 (C) City Council, with input from the Historic Preservation
994 Board, Planning Director, and Chief Building Official,
995 determines that the Historic Building(s) and/or
996 Structure(s) is deterrent to a major improvement
997 program outside of the Historic districts that will be of
998 Substantial Benefit to the community, such as, but not
999 limited to:

1000 (a) The relocation of the Historic Building(s) and/or
1001 Structure(s) will result in the restoration of the
1002 house--both the interior and exterior—in
1003 compliance with the Secretary of the Interior's
1004 Standards and the relocation will aid in the
1005 interpretation of the history of the Historic
1006 Building(s) and/or Structure(s); or

- 1007 (b) The relocation of the Historic Building(s) and/or
1008 Structure(s) will result in the revitalization of the
1009 receiving neighborhood due to the relocation;
1010 or
1011 (c) The relocation of the Historic Building(s) and/or
1012 Structure(s) will result in a new affordable
1013 housing development on the original site that
1014 creates more units than currently provided on
1015 the existing site, and the rehabilitation of the
1016 Historic Building(s) and/or Structure(s) on the
1017 new receiving site.

1018 **C. PROCEDURE FOR THE RELOCATION AND/OR REORIENTATION OF A**

1019 **LANDMARK SITE OR A SIGNIFICANT SITE.** All Applications for the relocation
1020 and/or reorientation of any Historic Building(s) and/or Structure(s) on a Landmark
1021 Site or a Significant Site within the City shall be reviewed by the Historic
1022 Preservation Board pursuant to Section 15-11-12 of this Code.

1023 HISTORY

1024 *Adopted by Ord. 09-23 on 7/9/2009*

1025 *Amended by Ord. 12-37 on 12/20/2012*

1026 *Amended by Ord. 15-53 on 12/17/2015*

1027 *Amended by Ord. 2016-44 on 9/15/2016*

1028 *Amended by Ord. 2016-48 on 10/20/2016*

1029

1030 **15-13 ~~[Design Guidelines] Regulations~~ For Historic Districts And Historic Sites**

1031 15-13-1 Purpose And Policy

1032 15-13-2 ~~[Design Guidelines] Regulations~~ For Historic Residential Sites

1033 15-13-3 ~~[Design Guidelines] Regulations~~ For Historic Commercial Sites

1034 15-13-4 ~~[Design Guidelines] Regulations~~ For Relocation And/or Reorientation Of Intact

1035 Buildings Or Structures

1036 15-13-5 Sustainability In Historic Buildings

1037 15-13-6 Treatment Of Historic Building Materials

1038 15-13-7 Additional ~~[Design Guidelines] Regulations~~

1039 15-13-8 ~~[Design Guidelines] Regulations~~ For New Residential Infill Construction (and

1040 Non-Historic Residential Sites) In Historic Districts

1041 15-13-9 ~~[Design Guidelines] Regulations~~ For Historic Commercial Infill Construction

1042 (and Non-Historic Commercial Sites)

1043

1044 **15-13-1 Purpose And Policy**

1045 The ~~[Design Guidelines] Regulations~~ for Park City's Historic Districts and Historic Sites

1046 (referred to throughout the document as the "~~[Design Guidelines] Regulations~~") is

1047 intended to fulfill the policy directives provided in the General Plan and the Land

1048 Management Code.

1049

1050 The goal of the ~~[Design Guidelines] Regulations~~ is to meet the needs of various

1051 interests in the community by providing guidance in determining the suitability and

1052 architectural compatibility of proposed projects, while at the same time allowing for

1053 reasonable changes to individual buildings to meet current needs. For property owners,
1054 design professionals, and contractors, it provides guidance in planning projects
1055 sympathetic to the unique architectural and cultural qualities of Park City. For the
1056 Planning Department staff and the Historic Preservation Board, it offers a framework for
1057 evaluating proposed projects to ensure that decisions are not arbitrary or based on
1058 personal taste. Finally, it affords residents the benefit of knowing what to expect when a
1059 project is proposed in their neighborhood.

1060

1061 The ~~{Design Guidelines}~~ Regulations are not intended to be used as a technical manual
1062 for rehabilitating or building a structure, nor are they an instruction booklet for
1063 completing the Historic District/Site ~~{Design}~~ Review Application. Instead, they provide
1064 applicants, staff, and the Historic Preservation Board with a foundation for making
1065 decisions and a framework for ensuring consistent procedures and fair deliberations.

1066 HISTORY

1067 *Adopted by Ord. 2017-42 on 8/3/2017*

1068 **15-13-2 ~~{Design Guidelines}~~ Regulations For Historic Residential Sites**

1069 **A. Universal ~~{Design Guidelines}~~ Regulations**

- 1070 1. A site should be used as it was historically or be given a new use that
1071 requires minimal change to the distinctive materials and features.
- 1072 2. Changes to a site or building that have acquired historic significance in
1073 their own right should be retained and preserved.
- 1074 3. The historic exterior features of a building should be retained and
1075 preserved.

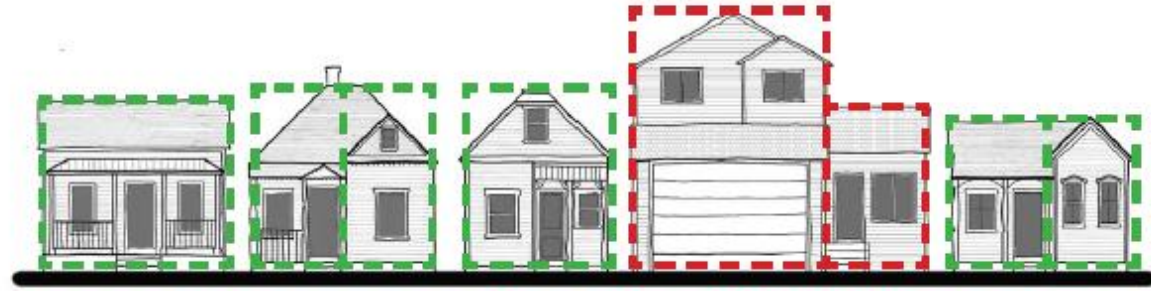
- 1076 4. Distinctive materials, components, finishes, and examples of
1077 craftsmanship should be retained and preserved. Owners are encouraged
1078 to reproduce missing historic elements that were original to the building,
1079 but have been removed. Physical or photographic evidence should be
1080 used to substantiate the reproduction of missing features. In some cases,
1081 where there is insufficient evidence to allow for an accurate reconstruction
1082 of the lost historic elements, it may be appropriate to reproduce missing
1083 historic elements that are consistent with properties of similar design, age,
1084 and detailing.
- 1085 5. Deteriorated or damaged historic features and elements should be
1086 repaired rather than replaced. Where the severity of deterioration or
1087 existence of structural or material defects requires replacement, the
1088 feature or element should match the original in [design] appearance,
1089 dimension, texture, material, and finish. The applicant must demonstrate
1090 the severity of deterioration or existence of defects by showing that the
1091 historic materials are no longer safe and/or serviceable and cannot be
1092 repaired to a safe and/or serviceable condition. If deteriorated or damaged
1093 beyond repair and significant operational energy savings can be
1094 demonstrated through a professionally calculated energy model, historic
1095 features may be replaced with energy efficient features that are similar in
1096 [design] appearance, dimension, texture, material and finish.
- 1097 6. Features that do not contribute to the significance of the site or building
1098 and exist prior to the adoption of these [guidelines] regulations, such as

1099 incompatible windows, aluminum soffits, or iron porch supports or railings,
1100 may be maintained; however, if it is proposed they be changed, those
1101 features must be brought into compliance with these [\[guidelines\]](#)
1102 [regulations](#).

1103 7. Each site should be recognized as a physical record of its time, place and
1104 use. Owners are discouraged from introducing architectural elements or
1105 details that visually modify or alter the original building [\[design\]](#)
1106 [appearance](#) when no evidence of such elements or details exists.

1107 8. Chemical or physical treatments, if appropriate, should be undertaken
1108 using recognized preservation methods. Treatments that cause damage to
1109 historic materials should not be used. Treatments that sustain and protect,
1110 but do not alter appearance, are encouraged.

1111 9. New construction such as new additions, exterior alterations, repairs,
1112 upgrades, etc., should not destroy historic materials, features, and spatial
1113 relationships that characterize the historic site or historic building. New
1114 construction should be differentiated from the historic structure while also
1115 maintaining compatibility with the historic structure in materials, features,
1116 size, scale and proportion, and massing to protect the integrity of the
1117 historic structure, the historic site, and its environment.



1118

1119

1120

1121

1122

1123

1124

1125

1126

1127

1128

1129

1130

1131

10. New additions and related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored.

B. Specific [Design Guidelines] Regulations

1. Site Design

a. Building Setbacks & Orientation

- (1) Maintain the existing front and side yard setbacks of Historic Sites.
- (2) Preserve the original location of the main entry of the historic structure, if extant.

b. Topography & Grading

- (1) Maintain the natural topography and original grading of the site when and where feasible.

1132 (2) The historic character of the site should not be significantly
1133 altered by substantially changing the proportion of built
1134 and/or paved area to open space, and vice versa.

1135 (3) Respect and maintain existing landscape features that
1136 contribute to the historic character of the site and existing
1137 landscape features that provide sustainability benefits.

1138 (4) Maintain established on-site native plantings. During
1139 construction, protect established vegetation to avoid
1140 damage. Replace damaged, aged, or diseased trees as
1141 necessary. Vegetation that may encroach upon or damage
1142 the historic structure may be removed, but should be
1143 replaced with native vegetation away from the historic
1144 building or structure.

1145 **c. Landscaping and Vegetation**

1146 (1) The character of a historic site shall not be significantly
1147 altered by substantially changing the proportion of built
1148 and/or paved area to open space.

1149 (2) Existing landscape features that contribute to the character
1150 of a historic site and/or existing landscape features that
1151 provide environmental sustainability benefits shall be
1152 preserved and maintained.

1153 (3) Established on-site native plantings shall be maintained.
1154 During construction, established vegetation shall be

1155 protected to avoid damage. Damaged, aged, or diseased
1156 trees shall be replaced as necessary. Vegetation that may
1157 encroach upon or damage a new building may be removed,
1158 but shall be replaced with similar vegetation near the original
1159 location.

1160 (4) A detailed landscape plan, particularly for areas viewable
1161 from the primary public right-of-way, which respects the
1162 manner and materials traditionally used in the Historic
1163 Districts, shall be provided. When planning for the long-term
1164 sustainability of a landscape system, all landscape
1165 relationships on the site, including those between plantings
1166 and between the site and its structure(s) shall be considered.

1167 (5) Landscape plans shall balance water-efficient irrigation
1168 methods, drought-tolerant plants with existing plant material
1169 and site features that contribute to the historic character of
1170 the site. Where irrigation is necessary, systems that
1171 minimize water loss, such as drip irrigation, shall be used.

1172 (6) Use to advantage storm water management features such
1173 as gutters, downspouts, site topography, and vegetation that
1174 can improve the environmental sustainability of a site.

1175 (7) The use of Water Wise Landscaping or permaculture
1176 strategies for landscape design shall be considered in order
1177 to maximize water efficiency. Where watering systems are

1178 necessary, systems that minimize water loss, such as drip
1179 irrigation, shall be used. These systems shall be designed to
1180 minimize their appearance from areas viewable from the
1181 primary public right-of-way.

1182 (8) Along public rights of way, landscaped areas, street trees,
1183 and seasonal plantings shall be designed to enhance the
1184 pedestrian experience, complement architectural features,
1185 mitigate against Urban Heat Island effect, and/or screen
1186 utility areas.

1187 (9) Installing plantings in areas like medians, divider strips, and
1188 traffic islands shall be considered.

1189 (10) Commercial properties typically have no setbacks
1190 along the principal facade. However, when front yard
1191 setbacks exist, landscaped areas (including patios) shall be
1192 of a small scale and design such that they do not disrupt the
1193 normal volume and flow of pedestrian traffic along the street.

1194 (11) Provide a detailed landscape plan that respects,
1195 particularly for areas visible from adjacent public rights-of-
1196 way the manner and materials historically used in the
1197 Historic Districts. When planning for the long-term
1198 sustainability of a landscape system, consider all landscape
1199 relationships on the site, the relationship between the site
1200 and its structure(s), as well as the relationship between

1201 plants and other plants on site. See LMC § 15-5-5(N) for
1202 Water Wise Landscaping with existing plant materials and site
1203 features that contribute to the historic significance of the site.

1204 (12) Landscape plans should balance water efficient
1205 irrigation methods and Water Wise Landscaping with
1206 existing plant materials and site features that contribute to
1207 the historic significance of the site.

1208 (13) Use to advantage storm water management features,
1209 such as gutters and downspouts as well as site topography
1210 and vegetation, that contribute to water retention and
1211 permeability of the historic site.

1212 (14) Where watering systems are necessary, use systems
1213 that minimize water loss, such as drip irrigation. Consider the
1214 use of Water Wise Landscaping or permaculture strategies
1215 for landscape design to maximize water efficiency and soil
1216 productivity; these systems should be designed to maintain
1217 the historic character of areas viewable from adjacent public
1218 rights-of-way.

1219 **d. Retaining Walls**

1220 (1) Historic retaining walls shall be preserved to the greatest
1221 extent possible.

1222 (2) Maintain the historic height and setback of retaining walls
1223 along the street. Retaining walls of stone, concrete, or rock-

1224 faced concrete block that are original to the historic site
1225 should be preserved and maintained in their original
1226 dimensions.

1227 (3) Removing portions of historic retaining walls for new
1228 driveways and pathways should be avoided to the greatest
1229 extent possible[+], but where it must occur, visual impact
1230 should be minimized.

1231 (4) Historic retaining walls should be repaired with materials that
1232 closely approximate the original. Replace only those portions
1233 of historic retaining walls that have deteriorated beyond
1234 repair. When repair of deteriorated retaining walls is not
1235 feasible, the replacement must reuse the existing stone to
1236 the greatest extent possible, and otherwise match the
1237 original in color, shape, size, material, and design.

1238 (5) To abate retaining wall failure, improve drainage behind
1239 retaining walls to water drains away from the walls. Repair
1240 and preserve historic stone and mortar.

1241 (6) New retaining walls should be consistent with historic
1242 retaining walls in design, material, scale of materials, as well
1243 as size and mass of the wall. Simple board-formed concrete,
1244 stone, and other historic materials are recommended over
1245 concrete block, asphalt, or other modern concrete
1246 treatments.

1247 (7) Non-extant historic retaining walls of concrete or stone
1248 specific to the Historic Site may be reconstructed based on
1249 physical or pictorial evidence. Historically appropriate
1250 concrete or stone walls, if consistent with the historic
1251 character of the district, may be added to the area of a
1252 historic site viewable from adjacent public rights-of-way.

1253 (8) Maintain stone in its natural finish. It is not appropriate to
1254 paint, stain, or plaster over stone or concrete.

1255 **e. Fencing**

1256 (1) Historic fencing should be preserved and maintained.

1257 (2) Historic fencing may be reconstructed based on
1258 photographic evidence. The reconstruction should match the
1259 original in design, color, texture and material.

1260 (3) New fencing should reflect the building's style and period.

1261 New wood and metal fencing located where viewable from
1262 adjacent public rights-of-way should feature traditional
1263 design and pattern. Split or horizontal rail, railroad tie, or
1264 timber fencing may be located where not viewable from
1265 adjacent public rights-of-way, but should be avoided where
1266 visible from the primary public right-of-way. Vinyl or plastic-
1267 coated fencing is not appropriate.

1268 (4) New fencing should be designed to minimize its
1269 environmental impacts. New fencing should use green

1270 material and should take into account site impacts such as
1271 shading, natural topography, and drainage.

1272 (5) Drought tolerant shrubs should be considered in place of
1273 fencing or walls.

1274 (6) Arbors emphasizing a fence gate or entry shall be
1275 subordinate to the associated historic building or structure
1276 and shall complement the design of the historic structure and
1277 fencing in materials, features, size, scale, and proportion, as
1278 well as massing to protect the integrity of the historic site.

1279 **f. Gazebos, Pergolas, and Other Shade Structures**

1280 (1) Gazebos, pergolas, and other shade structures should be
1281 visually subordinate to the associated historic building(s) and
1282 should complement the design of the historic structure(s) in
1283 materials, features, size, scale and proportion, and massing
1284 to protect the integrity of the historic structure and site.

1285 (2) The installation of gazebos, pergolas, and other shade
1286 structures shall be limited to rear or side yards and have
1287 limited visibility when viewed from adjacent public rights-of-
1288 way.

1289 (3) Gazebos, pergolas, and other shade structures shall not be
1290 attached to the associated historic structure(s), or damage
1291 historic features of associated or neighboring historic
1292 structure(s).

1293 g. **Parking Areas & Driveways**

1294 (1) Minimize the visual impacts of on-site parking by
1295 incorporating landscape treatments for driveways, walkways,
1296 paths, building(s) and accessory structures in a
1297 comprehensive, complementary and integrated design.

1298 (2) Provide landscaped separations between parking areas,
1299 drives, service areas, and public use areas including
1300 walkways, plazas, and vehicular access points.

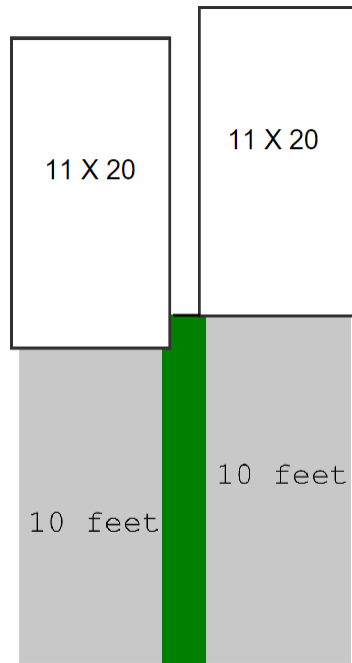
1301 (3) When locating new off-street parking areas, the existing
1302 topography of the site and integral site features should be
1303 minimally impacted.

1304 (4) Off-street parking areas should be located within the rear
1305 yard and beyond the rear wall plane of the primary structure.
1306 If locating a parking area in the rear yard is not physically
1307 possible, the off-street parking area and associated vehicles
1308 should be visually buffered from adjacent properties and the
1309 primary public right-of-way. Consider providing a driveway
1310 along the side yard of the property where feasible.

1311 (5) When locating driveways, the existing topography of the
1312 building site and significant site features should be minimally
1313 impacted.

1314 (6) ~~Ten-foot (10') wide driveways are encouraged; however,~~
1315 ~~n~~[N]ew driveways [~~should~~] shall not exceed ~~twelve~~ ten (120)

1316 feet in width ~~within the required front setback~~. Two driveways
1317 are permitted for approved two-car garages but shall be
1318 spaced a minimum of eighteen inches (18") apart.



- 1319
- 1320 (7) Shared driveways should be used when feasible.
- 1321 (8) Consider using textured and pour paving materials other
1322 than smooth concrete for driveways viewable from the
1323 adjacent public rights-of-way. Permeable paving should be
1324 used on a historic site, where appropriate, to manage storm
1325 water. Permeable paving may not be appropriate for all
1326 driveways and parking areas.
- 1327 (9) Consider avoiding paving up to the building foundation to
1328 reduce heat island effect, building temperature, damage to
1329 the foundation, and storm-water runoff problems.

1330 (10) Snow storage from driveways should be provided on
1331 site.

1332 h. **Paths, Steps, Handrails, & Railings (Not Associated with**
1333 **Porches)**

1334 (1) The original path or steps leading to the main entry, if extant,
1335 should be preserved and maintained.

1336 (2) Historic hillside steps that are an integral part of the
1337 landscape should be preserved and maintained.

1338 (3) New hillside steps should be visually subordinate to the
1339 associated historic building or structure in materials, size,
1340 scale and proportion, as well as massing and shall
1341 complement the historic structure in materials, size, scale,
1342 and proportion, and massing to protect the integrity of the
1343 historic site. For longer-run stairs, consider changes in
1344 material to break up the mass of the stairs.

1345 (4) Historic handrails should be preserved and maintained.
1346 Historic handrails may be reconstructed based on
1347 photographic evidence; the reconstruction should match the
1348 original in size, design, color, texture, and material.

1349 (5) New handrails and railings shall complement the historic
1350 structure in materials, size, scale and proportions, massing
1351 and design to protect the integrity of the historic structure
1352 and site.

1353
1354
1355
1356
1357
1358
1359
1360
1361
1362
1363
1364
1365
1366
1367
1368
1369
1370
1371
1372
1373
1374
1375

2. Primary Structures

a. Exterior Walls

- (1) Primary and secondary facade components, such as window/door configuration, wall planes, recesses, bays, balconies, steps, porches, and entryways shall be maintained in their original location on the façade.
- (2) Preserve and maintain historic exterior materials including wood siding (drop siding, clapboard, board and batten), frieze boards, cornices, moldings, shingles, etc., as well as stone and masonry. Repair deteriorated or damaged historic exterior materials using recognized preservation methods appropriate to the specific material.
- (3) When disassembly of a historic element—window, molding, bracket, etc.--is necessary for its restoration, recognized preservation procedures and methods for removal, documentation, repair, and reassembly shall be used.
- (4) When historic exterior materials cannot be repaired, they shall be replaced with materials that match the historic in all respects;: scale, dimension, profile, material, texture, and finish. The replacement of existing historic material is allowed only when it can be shown that the historic material is no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.

1376 (5) Substitute materials such as fiber cement or plastic-wood
1377 composite siding, shingles, and trim boards shall not be
1378 used unless they are made of a minimum of 50% recycled
1379 and/or reclaimed materials. In addition, the applicant must
1380 show that the physical properties of the substitute material—
1381 expansion/contraction rates, chemical composition, stability
1382 of color and texture, compressive or tensile strength—have
1383 been proven to not damage or cause the deterioration of
1384 adjacent historic material.

1385 (6) Substitute materials shall not be used on a primary or
1386 secondary façade unless the applicant can show that historic
1387 materials cannot be used, or if new materials that are similar
1388 in design, dimension, texture, material and finish can be
1389 shown to result in significant (>30 percent) energy efficiency
1390 gains, and the applicant demonstrates that the substitute
1391 material will not cause damage to adjacent historic materials
1392 or detract from the historic integrity of the structure.

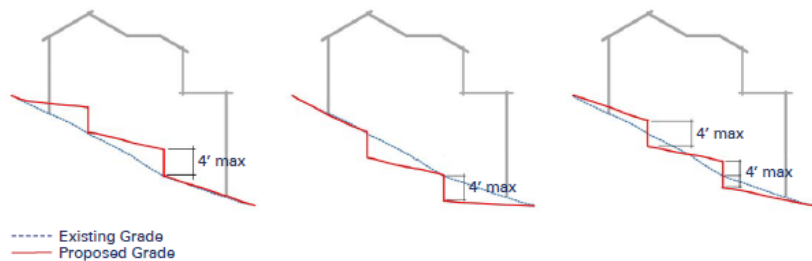
1393 (7) Vinyl and aluminum siding are ~~not appropriate~~ [prohibited] in
1394 the Historic Districts. The application of synthetic or
1395 substitute materials, such as vinyl or aluminum, over original
1396 wood siding may cause, conceal, or accelerate structural
1397 damage and is not ~~appropriate~~ [permitted]. Removal of
1398 synthetic siding (aluminum, asbestos, Brick-TeX, and vinyl)

1399 that has been added to a structure, followed by restoration of
1400 historic wood siding (or other underlying historic material) is
1401 highly encouraged.

1402 (8) Avoid interior changes that affect the exterior appearance of
1403 primary and secondary facades, including changing historic
1404 floor levels, changing windows to doors or doors to windows,
1405 and changing porch roofs to balconies or decks. Insulation
1406 may be added to increase the energy efficiency of the
1407 structure; however, this should be accommodated within the
1408 wall system and shall not impact the exterior dimensions of
1409 the structure.

1410 **b. Foundation**

1411 (1) The historic placement, orientation, and grade of a historic
1412 building shall be retained, as shall the original grade of the
1413 property where feasible.



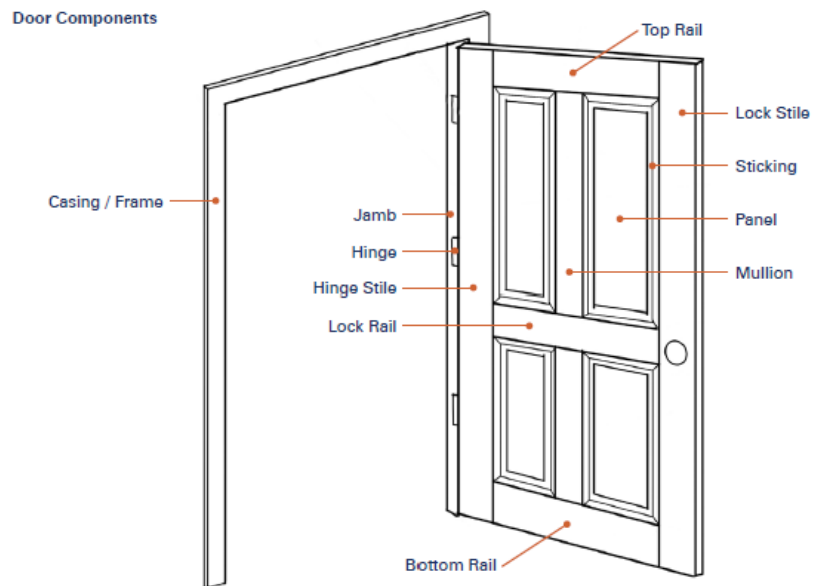
1414

1415 (2) A new foundation shall not raise or lower a historic structure
1416 generally more than two (2) feet from its original floor
1417 elevation.

- 1418 (3) A historic site shall be returned to original grade following
1419 construction of a foundation. When the original grade cannot
1420 be achieved, generally no more than six inches (6") of the
1421 new foundation shall be visible above final grade on the
1422 primary and secondary facades.
- 1423 (4) Re-grade the site so that all water drains away from the
1424 structure and does not enter the foundation.
- 1425 (5) A plinth, or trim board at the base of the historic structure,
1426 shall be added to visually anchor the historic structure to the
1427 new foundation.
- 1428 (6) Any re-grading of the site shall blend with grade of adjacent
1429 sites and shall not create the need for incompatible retaining
1430 walls.
- 1431 (7) The form, material, and detailing of a new foundation shall
1432 be similar to the historic foundation (when extant) or similar
1433 to foundations of nearby historic structures.
- 1434 (8) Historic foundations shall not be concealed with masonry
1435 block, plywood panels, corrugated metal, or wood shingles.
1436 Masonry foundations shall be cleaned, repaired, or re-
1437 pointed according to masonry guidelines [\(published by the](#)
1438 [Secretary of the Interior\)](#). The replacement of existing
1439 historic material is allowed only when it can be shown that

1440 the historic material is no longer safe and/or serviceable and
1441 cannot be repaired to a safe and/or serviceable condition.
1442 (9) Window or egress wells, if needed, shall not be located on
1443 the primary façade. Window or egress wells shall be located
1444 behind the midpoint of the secondary façades, on the rear
1445 tertiary façade, or in a location not visible from the primary
1446 public right-of-way. Landscape elements shall be used to aid
1447 in screening window/egress wells from the primary right-of-
1448 way.]

1449 **c. Doors**



- 1450
- 1451 (1) Maintain and preserve historic door openings, doors, door
1452 surrounds, and decorative door features.
- 1453 (2) Restore historic door openings that are significant to the
1454 period of restoration. On primary facades, in particular,

1455 consider reconstructing, based on physical or documentary
1456 evidence, historic doorways that no longer exist.

1457 (3) Avoid changing the position, proportions, or dimensions of
1458 historic door openings. It is not appropriate to create
1459 additional openings or remove historic openings on primary
1460 or secondary facades that are visible from the primary public
1461 right-of-way.

1462 (4) Replacement doors shall be allowed only when it can be
1463 shown that the historic doors are no longer safe and/or
1464 serviceable and cannot be repaired to a safe and/or
1465 serviceable condition. Replacement doors shall exactly
1466 match the historic door in size, material, profile, and style.

1467 (5) When no physical or documentary evidence of original doors
1468 exists, replacement doors typically shall be of wood, with or
1469 without glazing, and shall complement the style of the
1470 historic structure. When replacing non-historic doors, use
1471 designs similar to those that were found historically in Park
1472 City. Paneled doors were typical and many had a vertical
1473 pane of glass. Scalloped, Dutch, and colonial doors, as well
1474 as door sidelights are not appropriate on most primary and
1475 secondary façades.

1476 (6) Storm doors and/or screen doors typical of the Mining Era
1477 may be used on primary or secondary facades when the

1478 applicant can show that they will not diminish the historic
1479 character of the building.

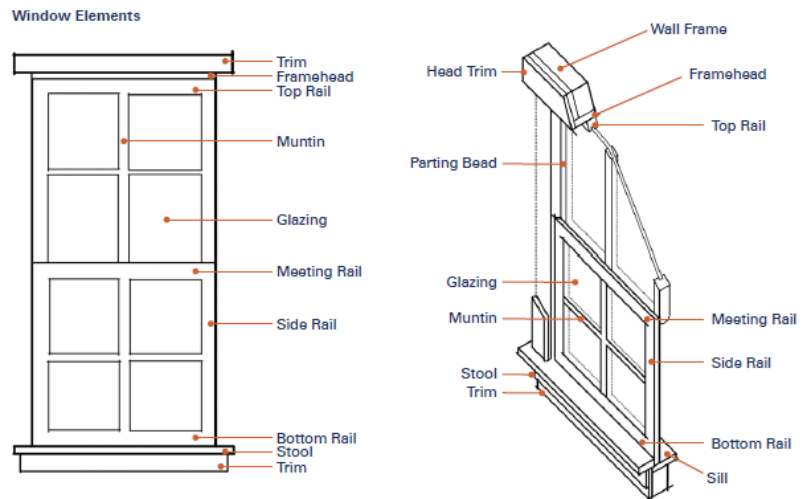
1480 (7) New door openings may be considered on secondary
1481 facades. A new opening shall be similar in location, size, and
1482 type to those seen on the historic structure.

1483 (8) When a historic door opening is no longer functional on a
1484 primary façade, the door shall be retained and, if necessary,
1485 blocked on the interior side only. The door shall appear to be
1486 functional from the exterior.

1487

1488 **d. Windows**

1489 (1) Maintain and preserve historic window openings, windows,
1490 window surrounds, and decorative window features.



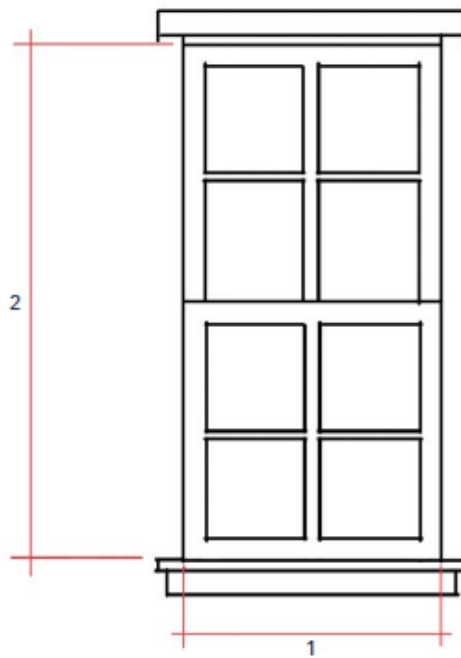
1491

- 1492 (2) Restore historic window openings that have been altered or
1493 lost over time. On primary facades, in particular, consider
1494 reconstructing, based on physical or documentary evidence,
1495 historic window openings that no longer exist.
- 1496 (3) Avoid changing the position, proportions, or dimensions of
1497 historic window openings. It is not appropriate to create
1498 additional openings or remove existing historic openings on
1499 primary or secondary facades that are visible from the
1500 primary right-of-way.
- 1501 (4) Maintain the historic ratio of window openings to solid wall.
- 1502 (5) When historic windows are present, replacement windows
1503 shall be allowed only when it can be shown that the historic
1504 windows are no longer safe, energy efficient and serviceable
1505 and the historic windows cannot be made safe, energy
1506 efficient and serviceable through repair. Replacement
1507 windows shall exactly-match the historic window in size,
1508 dimensions, glazing pattern, depth, profile, and material.
- 1509 (6) Maintain the original number of glass panes in a historic
1510 window. Replacing multiple panes with a single pane is not
1511 appropriate. Snap-in muntins or muntins between two sheets
1512 of glass are inappropriate as these simulated dividers lack
1513 depth and fail to show the effect of true divided glass panes.

1514 (7) Replacing an operable window with a fixed window is
1515 inappropriate.

1516 (8) New window openings may be considered on secondary
1517 facades but only when placed beyond the midpoint. New
1518 window openings shall be similar in location, size, scale,
1519 type, and glazing pattern to those seen on the historic
1520 structure.

2:1 Window Ratio



1521
1522 (9) When no physical or documentary evidence of original
1523 windows exists, replacement windows typically shall be of
1524 wood and shall complement the style of the historic
1525 structure. When replacing non-historic windows, use designs
1526 similar to those that were found historically in Park City.

1527 Aluminum-clad wood windows are appropriate on non-
1528 historic additions or foundation level windows. Vinyl and
1529 aluminum windows are inappropriate.

1530 (10) New glazing shall match the visual appearance of
1531 historic glazing and/or be clear. Metallic, frosted, tinted,
1532 stained, textured and reflective finishes are generally
1533 inappropriate for glazing on the primary façade of the historic
1534 structure.

1535 (11) It is generally inappropriate to modify windows on the
1536 primary façade to accommodate interior changes. When a
1537 window opening is no longer functional on a primary or
1538 secondary façade visible from the right-of-way, the glazing
1539 shall be retained and the window opening shall be screened
1540 or shuttered on the interior side. The window shall appear to
1541 be functional from the exterior.

1542 (12) Storm windows shall be installed on the interior of the
1543 window; if interior installation is not feasible, the materials,
1544 style, and dimensions of exterior wood storm windows shall
1545 match the way storm windows would have been constructed
1546 at the time of the building's construction or complement the
1547 historic window dimensions in order to minimize their visual
1548 impact. Exterior storm windows shall be set within the
1549 window opening and attach to the exterior sash stop.

1550 **e. Gutters and Downspouts**

1551 (1) Avoid removing or obstructing a historic building's elements
1552 and materials when installing gutters and downspouts.

1553 (2) When new gutters are needed, the most appropriate design
1554 for hanging gutters is half round. Downspouts shall be
1555 located away from architectural features and shall be visually
1556 minimized when viewed from the right-of-way.

1557 (3) Water from gutters and downspouts shall drain away from
1558 the historic structure.

1559 **f. Chimneys and Stovepipes**

1560 (1) Maintain and preserve historic chimneys and their decorative
1561 features as they are important character-defining features of
1562 historic structures.

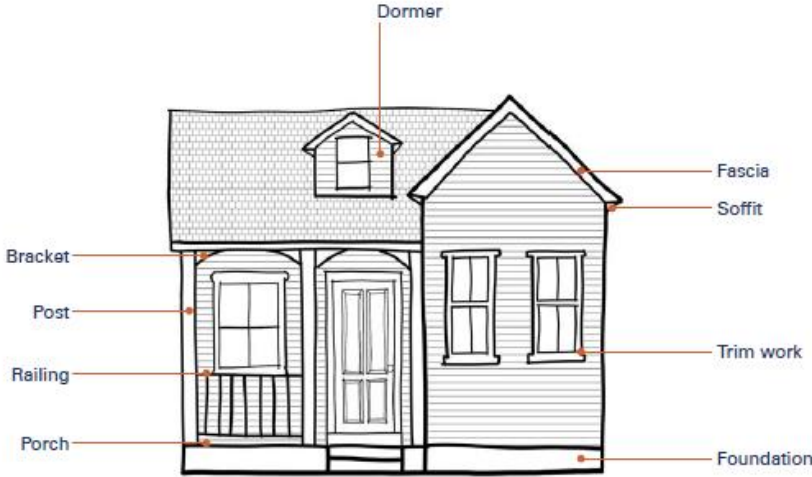
1563 (2) Historic stovepipes shall be maintained and repaired when
1564 possible. When partial or full replacement is required, and
1565 new materials shall have a matte, non-metallic finish.

1566 (3) Repairs to chimneys shall be made so as to retain historic
1567 materials and design. The replacement of existing historic
1568 material is allowed only when it can be shown that the
1569 historic material is no longer safe and/or serviceable and
1570 cannot be repaired to a safe and/or serviceable condition.
1571 Ornamental features such as corbelling and brick patterning
1572 shall be repaired and preserved.

- 1573 (4) Chimneys shall not be covered with non-historic materials.
- 1574 (5) New chimneys and stove pipes shall be of a size, scale, and
- 1575 design that are appropriate to the character and style of the
- 1576 historic structure. New chimneys and stovepipes shall be
- 1577 visually minimized when viewed from adjacent public rights-
- 1578 of-way and shall be appropriate to the character and style of
- 1579 the historic structure.

1580 **g. Porches**

- 1581 (1) Preserve and maintain a historic porch by preserving the
- 1582 existing location, form, proportion, details, posts, railing, and
- 1583 stairs.



- 1584
- 1585 (2) Repair deteriorated historic elements of the porch.
- 1586 Replacement porch elements are allowed only when it can
- 1587 be shown that the historic elements are no longer safe
- 1588 and/or serviceable and cannot be repaired to a safe and/or

1589 serviceable condition. Replacement elements shall exactly
1590 match the historic elements in size, dimensions, form,
1591 profile, and material.

1592 (3) Substitute decking materials such as fiber cement or plastic-
1593 wood composite floor boards shall not be used unless they
1594 are made of a minimum of 50% recycled and/or reclaimed
1595 materials. In addition, the applicant must show that the
1596 physical properties of the substitute material—
1597 expansion/contraction rates, chemical composition, stability
1598 of color and texture, compressive or tensile strength—have
1599 been proven to not damage or cause the deterioration of
1600 adjacent historic material.

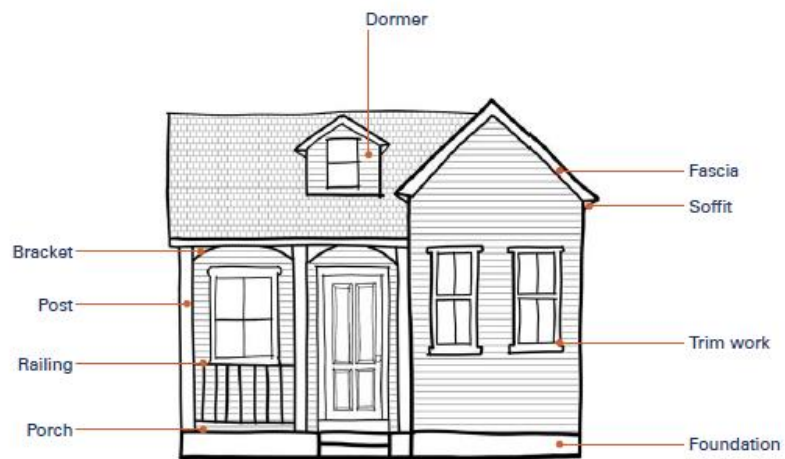
1601 (4) It may be appropriate, in some cases, to reconstruct historic
1602 porches. Replacement porches shall be constructed of
1603 materials and in styles that are compatible with the structure
1604 to which they are attached. When possible the reconstructed
1605 porch shall be based on physical or documentary evidence;
1606 when no such evidence exists, the design shall be based on
1607 historic porches found on comparable historic structures.

1608 (5) While modifications to porch posts and balustrades may be
1609 necessary to meet current code requirements, these
1610 elements shall not be substantially different in size and
1611 proportion than those seen historically.

1612 (6) It is not appropriate to add decorative porch elements that
1613 are not known to have been used on a particular historic
1614 structure or on similar historic structures.

1615 **h. Architectural Features**

1616 (1) Preserve and maintain architectural features such as eaves,
1617 brackets, cornices, moldings, trim work, and decorative
1618 shingles.



1619

1620 (2) Repair rather than replace historic architectural features.
1621 Replacement architectural features are allowed only when it
1622 can be shown that the historic features are no longer safe
1623 and/or serviceable and cannot be repaired to a safe and/or
1624 serviceable condition.

1625 (3) Replacement features shall exactly match the historic
1626 features in design, size, dimension, form, profile, texture,
1627 material and finish.

1628 (4) Architectural features may be added to a building when
1629 accurately based on physical or photographic evidence (i.e.
1630 “ghost” lines).

1631 **3. Mechanical Systems, Utility Systems, and Service Equipment**

- 1632 a. Mechanical equipment and utilities, including heating and air
1633 conditioning units, meters, and exposed pipes, shall be located on
1634 the tertiary façade or another inconspicuous location. If located on
1635 a secondary façade, it shall be screened from view by incorporating
1636 it into the appearance as an element of the design.
- 1637 b. Ground-level equipment shall be screened from view using
1638 landscape elements such as fences, low stone walls, or perennial
1639 plant materials.
- 1640 c. Rooftop mechanical equipment is generally discouraged. Roof-
1641 mounted mechanical and/or utility equipment shall be screened and
1642 minimally visualized from all views.
- 1643 d. Historic building elements shall not be removed or obstructed when
1644 installing mechanical systems and equipment.
- 1645 e. Contemporary New communication equipment such as satellite
1646 dishes or antennae shall be visually minimized when viewed from
1647 the primary public right-of-way.

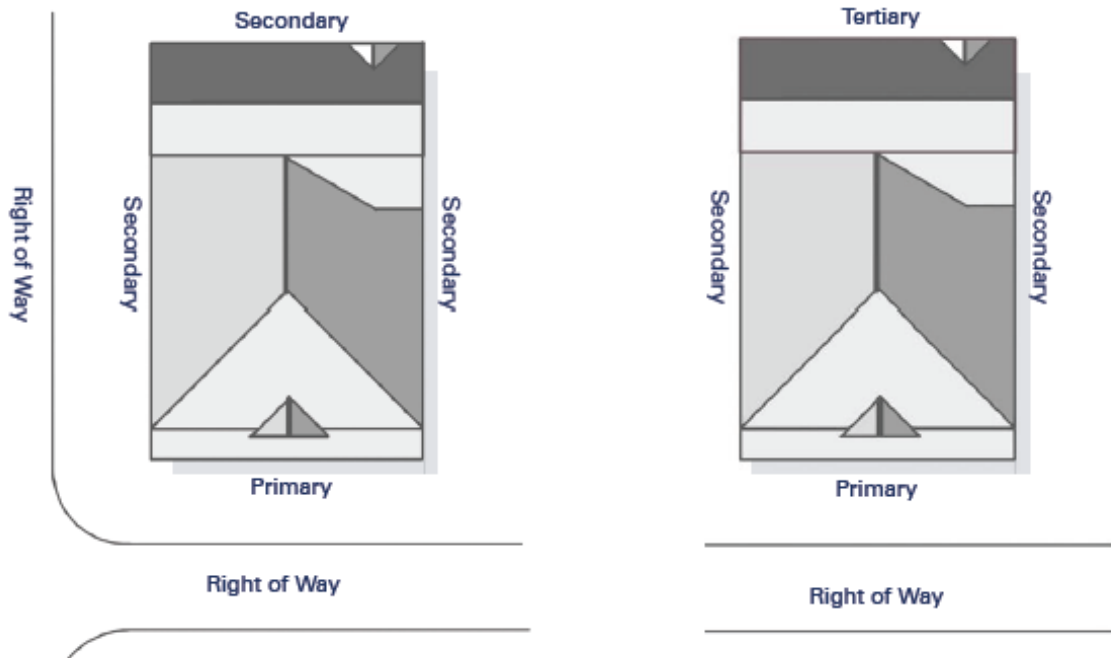
1648 **4. Additions to Primary Structures**

- 1649 a. **Protection for Historic Structures & Sites**

1650 (1) Additions to historic buildings should be considered only
1651 when it is demonstrated that the new use of the building
1652 cannot be accommodated by solely altering interior spaces.

1653 (2) Additions to historic structures shall be considered with
1654 caution and shall be considered only on non-character
1655 defining facades, usually tertiary and occasionally secondary
1656 facades. Additions shall not compromise the architectural
1657 character of historic structures. Additions to the primary
1658 façades of historic structures are inappropriate.

Facade Terminology



1659 (3) Additions should be visually subordinate to historic buildings
1660 when viewed from the primary public right-of-way.
1661

1662 (4) Additions to historic structures shall not be placed so as to
1663 obscure, detract from, or modify historic roof forms.

1664 (5) Additions to historic structures shall not contribute
1665 significantly to the removal or loss of historic material.

1666 (6) Where the new addition abuts the historic building, a clear
1667 transitional element between the old and the new should be
1668 designed and constructed. Minor additions, such as bay
1669 windows or dormers do not require a transitional element.

1670 (7) Maintain and preserve additions to structures that are
1671 significant to the era/period of restoration.

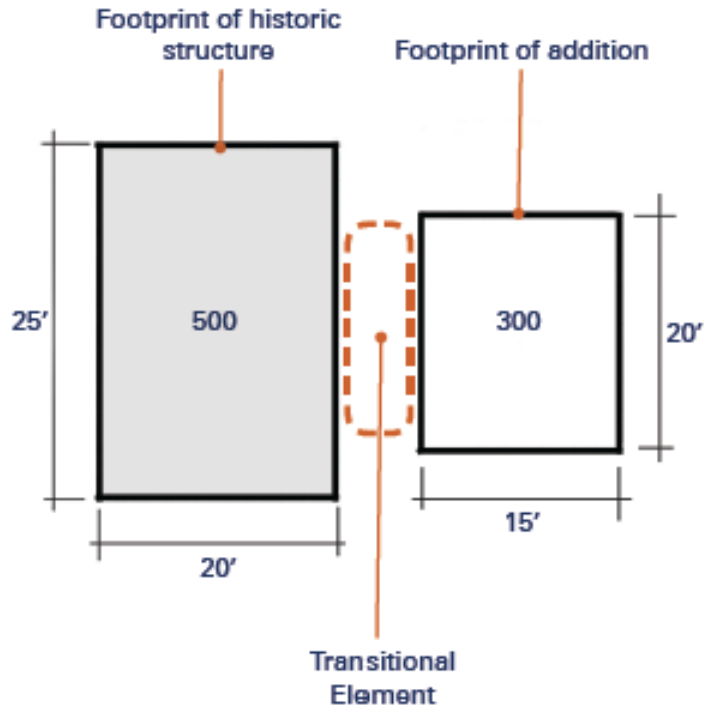
1672 (8) In-line additions shall be avoided.

1673 **b. Transitional Elements**

1674 In-line additions should be avoided generally are not appropriate.

1675 (1) A transitional element shall be required for any addition to a
1676 historic structure where the footprint of the addition is 50% or
1677 greater than the footprint of the historic structure. The
1678 historic structure's footprint may include additions to the
1679 historic structure made within the historic period that have
1680 gained historic significance in their own right.

Example (plan view)



1681

1682

1683

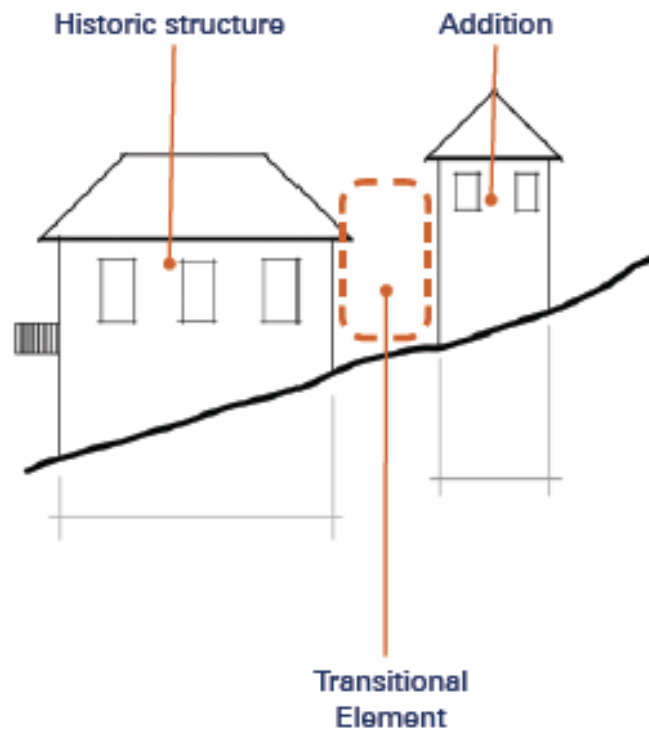
1684

1685

1686

(2) When an addition to a historic structure is less than 50% of the historic structure's footprint but exceeds the height of the historic structure due to either the greater height of the addition, site topography (e.g., an uphill addition), or both, a transitional element shall be required.

Example (section view)



1687

1688

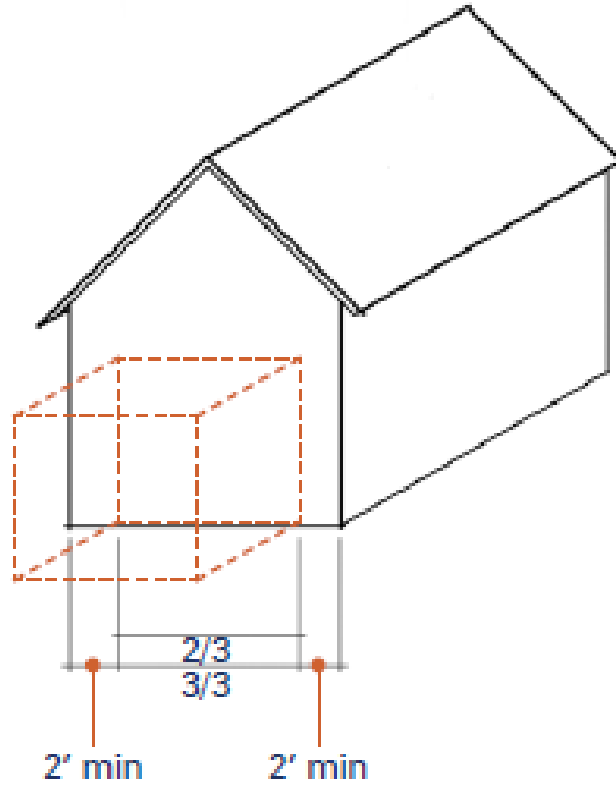
1689

1690

1691

1692

(3) On a rear addition, the width of the transitional element shall not exceed two-thirds ($2/3$) the width of the elevation to which the transitional element is connected. The transitional element shall be set in from the corners of the affected historic elevation by a minimum of two feet (2').



1693

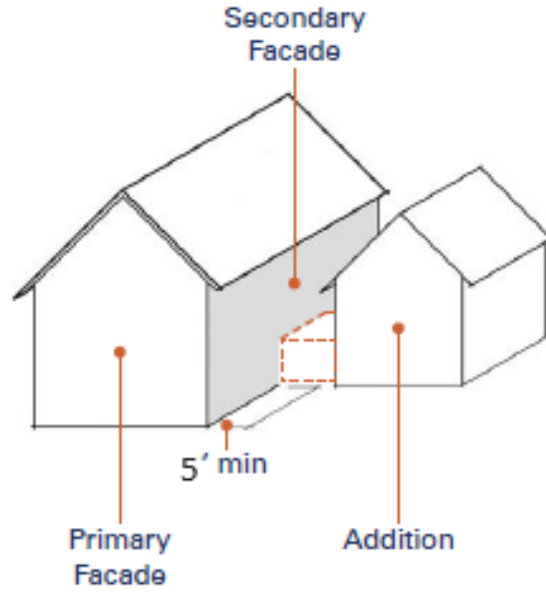
1694

1695

1696

1697

(4) In the case of additions to the secondary façade, visible from the primary public right-of-way, the transitional element shall be setback a minimum of five feet (5') from the primary façade. All other previous guidelines requirements apply.



1698

1699

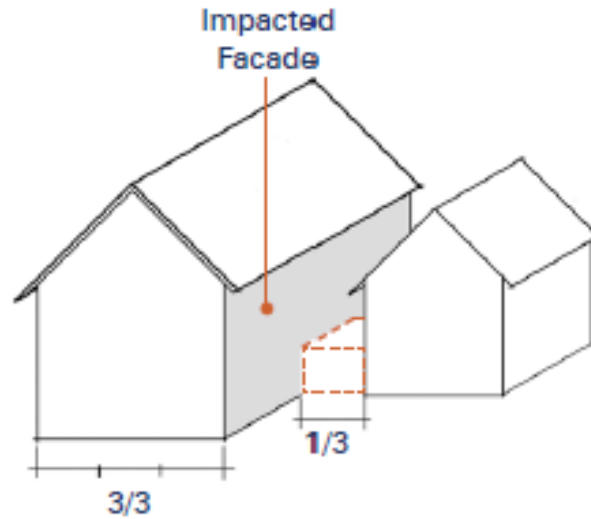
(5) The depth of the transitional element (i.e., the distance between the affected historic elevation and the addition) shall be a minimum of one-third ($1/3$) the length of the least wide historic elevation adjacent to the impacted historic elevation.

1700

1701

1702

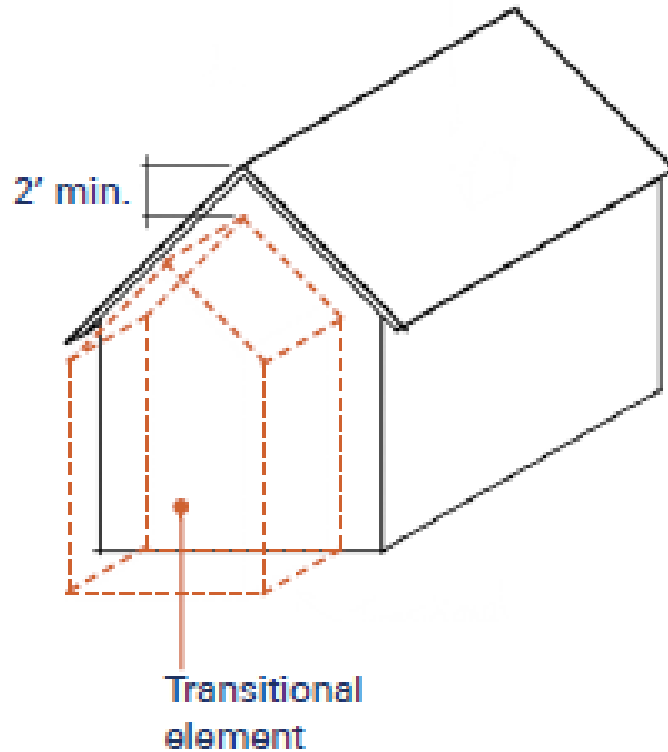
1703



1704

1705
1706
1707

(6) The highest point of the transitional element shall be a minimum of two feet (2') lower than the highest ridgeline of the historic structure.



1708

1709

(7) Balconies and decks may be attached to the secondary facades of a transitional element; however, no roof deck is permitted on the transitional element.

1710

1711

1712

(8) When an existing non-historic or non-contributory addition is used as a transitional element, the preceding guidelines regulations for transitional elements shall not apply.

1713

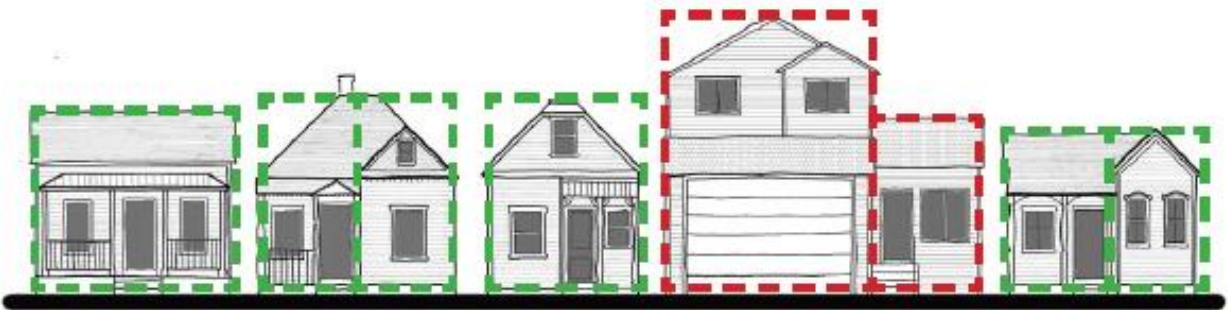
1714

1715

c. General Compatibility

- 1716 (1) Additions shall complement the visual and physical qualities
1717 of the historic building. An addition shall not be designed to
1718 be an exact copy of the existing style or imply an earlier
1719 period or more ornate style than that of the historic building.
- 1720 (2) The addition shall be a contemporary interpretation of the
1721 historic structure's architecture style. The addition shall not
1722 be designed to contrast starkly with the historic structure; an
1723 acceptable design shall be compatible in mass, scale,
1724 fenestration patterns, and design details. It shall not detract
1725 from the Historic District's or Structure's historic character.
- 1726 (3) Additions shall be subordinate in scale to the primary historic
1727 structure. The footprint of an addition shall not exceed 50%
1728 of the footprint of the historic structure, including any
1729 additions that have achieved historic significance in their
1730 own right. If the footprint of the addition approaches or
1731 exceeds 50% of the footprint of the historic structure, the
1732 mass shall be broken into modules to reflect the mass and
1733 scale of those modules seen on the historic structure.
- 1734 (4) Additions shall be visually subordinate to historic structures.
1735 Where the combined effects of the addition's footprint,
1736 height, mass and scale are such that the overall size of an
1737 addition is larger than a historic structure, the volume of the
1738 addition shall be broken into modules that reflect the scale of

1739 those components seen on the historic structure. Multiple
1740 modules are encouraged to add articulation and architectural
1741 interest.



1742
1743 (5) Large additions [(additions with a footprint exceeding 50% of
1744 the footprint of the Historic Structure)] shall be visually
1745 separated from historic buildings when viewed from the
1746 public right of way. Where the height of a new addition
1747 [exceeds the height of the Historic Structure], or site
1748 topography results in visibility from the primary right-of-way
1749 (e.g., an uphill addition), or both, the addition shall be set
1750 away from the historic structure by a minimum of one-half
1751 (1/2) the length of the least-wide historic elevation adjacent

1752 to the historic elevation to which the transitional element is
1753 attached.

1754 (6) Building Components and materials used on additions shall
1755 be similar in scale and size to those found on the historic
1756 building.

1757 (7) Window shapes, patterns and proportions found on the
1758 historic building should be reflected in the new addition.

1759 (8) Windows, doors and other features on a new addition shall
1760 be designed to be compatible with the historic structure and
1761 surrounding historic sites. Windows, doors and other
1762 openings shall be of sizes and proportions similar to those
1763 found on nearby historic structures. When using new window
1764 patterns and designs, those elements shall respect the
1765 typical historic character and proportions of windows on the
1766 primary historic structure and adjacent historic structures.
1767 The solid-to-void relationship and detailing of an addition
1768 shall be compatible with the historic structure.

1769 5. **Garages**

1770 a. **Scenario 1: Basement Addition without a Garage**

1771 (1) A basement addition shall not raise the historic structure
1772 generally more than two feet (2') from its original floor
1773 elevation above grade prior to construction.

1774 (2) ~~[(2.) B.3.3-A]~~ historic site shall be returned to original grade
1775 following construction of a foundation. When the original
1776 grade cannot be achieved, no more than two feet (2') of the
1777 new foundation shall be visible above final grade on the
1778 primary and secondary facades.

1779 (3) The exterior walls on an inline basement addition shall not
1780 extend beyond the exterior wall planes of the historic
1781 structure's primary or secondary facades.

1782 (4) Window or egress wells, if needed, shall not be located on
1783 the primary façade. Window or egress wells shall be located
1784 behind the midpoint of the secondary façades, on the rear
1785 tertiary façade, or in a location not visible from the primary
1786 public right-of-way. Landscape elements shall be used to aid
1787 in screening window/egress wells from the primary right-of-
1788 way.

1789 (5) ~~[(5.) D.3.4]~~ After construction of the basement, the site shall
1790 be re-graded to approximate the grading prior to construction
1791 of the addition.

1792 **b. Scenario 2: Basement Addition with a Garage**

1793 (1) A new foundation or basement addition shall not raise a
1794 historic structure more than two feet (2') from its original floor
1795 elevation. Historic buildings on downhill lots may be raised to
1796 accommodate a basement garage addition provided 1)

1797 access to the garage is from a side or rear yard, 2) the
1798 ground floor of the historic building is not raised above
1799 finished road grade adjacent to the primary facade, and 3)
1800 the integrity and character of the structure will not be
1801 destroyed by raising the historic structure more than two feet
1802 (2') above its original height above grade.

1803 (2) A basement garage addition shall not extend beyond the
1804 exterior wall planes of the historic structure's primary or
1805 secondary facades. In limited situations, site setbacks and
1806 topography may allow for a projecting garage without
1807 adversely affecting the historic character of the structure. In
1808 these cases, a stepped design with an associated site
1809 grading and landscaping plan may be considered.

1810 (3) The vertical wall area of a basement garage addition that is
1811 visible from the primary public right-of-way shall be visually
1812 minimized. It is preferential for the garage opening to be
1813 setback from the wall plane of the historic structure in order
1814 to diminish the presence of the garage.

1815 (4) Window or egress wells, if needed, shall not be located on
1816 the primary facade. Window or egress wells shall be located
1817 behind the midpoint of the secondary facades, on the tertiary
1818 facade, or in a location that is not visible from the primary
1819 public right-of-way.

1820 (5) After construction of a basement garage addition, a historic
1821 site shall be re-graded to approximate the grading prior to
1822 construction of the addition.

1823 (6) A single vehicle garage door not greater than nine feet (9')
1824 wide and nine feet (9') high shall be used to access a
1825 basement garage addition. Glazing on garage doors shall be
1826 limited to no more than 30% of garage door.

1827 (7) Single car wide tandem garages are recommended. Side-by-
1828 side parking configurations are strongly discouraged; if used,
1829 they shall be visually minimized when viewed from the
1830 primary public right-of-way.

1831 (8) Garages featuring a side-by-side parking configuration, at a
1832 minimum, shall maintain a two foot (2') offset in the wall
1833 plane.

1834 **c. Scenario 3: Attached Garages**

1835 (1) Single car wide tandem garages are recommended. Side-by-
1836 side parking configurations are strongly discouraged; if used,
1837 they shall be visually minimized when viewed from the
1838 primary public right-of-way.

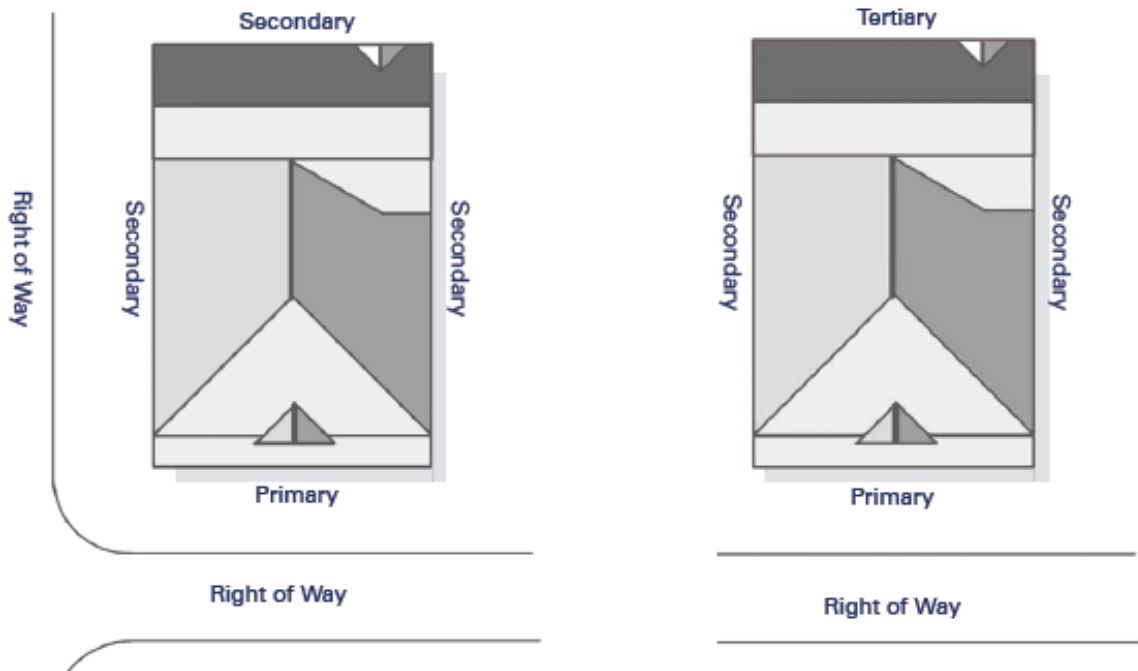
1839 (2) A single vehicle garage door not greater than nine feet (9')
1840 wide and nine feet (9') high shall be used to access a
1841 basement garage addition. Glazing on garage doors shall be
1842 limited to no more than 30% of garage door.

1843 (3) Garages featuring a side-by-side parking configuration, at a
1844 minimum, shall maintain a two foot (2') offset in the wall
1845 plane.

1846 **6. Decks**

- 1847 a. Decks should be constructed in inconspicuous areas where visually
1848 minimized from the primary right-of-way, usually on the tertiary
1849 façade. If built on a secondary façade of the historic structure, a
1850 deck should be screened from the right-of-way with fencing and/or
1851 appropriate native landscaping. Decks should be located such that
1852 they will not damage or conceal significant historic features or
1853 details of the historic structure.

Facade Terminology



1854

- 1855 b. In order to prevent damage to a historic structure, decks shall be
1856 constructed to be self-supporting. If the deck cannot be constructed
1857 to be self-supporting, decks shall be attached to a historic structure
1858 with care so loss of historic fabric is minimized.
- 1859 c. Introducing a deck that will result in the loss of a character-defining
1860 feature of the historic structure or site, such as a historic porch or
1861 mature tree, should be avoided.
- 1862 d. The visual impact of a deck should be minimized by limiting its size
1863 and scale. Introducing a deck that visually detracts from a historic
1864 structure or historic site, or substantially alters a historic site's
1865 proportion of built area to open space is not appropriate.
- 1866 e. Decks and related steps and railings should be constructed of
1867 materials and in styles that are compatible with the structure to
1868 which they are attached.
- 1869 f. Decking materials such as fiber cement or plastic-wood composite
1870 floor boards shall not be used unless they are made of a minimum
1871 of 50% recycled and/or reclaimed materials.
- 1872 g. Significant site features, such as mature trees, should be protected
1873 from damage during the construction of a deck by minimizing
1874 ground disturbance and by limiting use of heavy construction
1875 equipment.

1876 **7. Balconies & Roof Decks**

- 1877 a. New balconies and roof decks on a historic structure shall be
1878 visually subordinate to the historic structure from the primary right-
1879 of-way. Installing a balcony on a historic structure's primary façade
1880 is not allowed, however, a balcony may be considered on a
1881 secondary or tertiary facade.
- 1882 b. A new balcony shall be simple in design and compatible with the
1883 character of the historic structure. Simple wood and metal designs
1884 are appropriate for residential structures. Heavy timber and plastics
1885 are inappropriate materials.
- 1886 c. A roof deck on a new addition shall be visually minimized when
1887 viewed from the right-of-way.

1888

1889 8. Historic Accessory Buildings

- 1890 a. Historic accessory buildings that contribute to the significance of
1891 the property shall be maintained and preserved.
- 1892 b. ~~[Guidelines]~~ Regulations for the treatment of Primary Structures
1893 shall be applied to all historic accessory buildings that contribute to
1894 the significance of the property.
- 1895 c. Pleases see ~~[guidelines]~~ requirements regarding transitional
1896 elements for those cases where the historic accessory structure
1897 may be linked to the historic primary structure.

1898 9. New Accessory Buildings

- 1899 a. New accessory buildings on flat or downhill sites with a historic
1900 building shall generally be located to the rear of the site, unless
1901 dictated by the Streetscape or character area are to be located in
1902 the front yard.
- 1903 b. New accessory structures on a site with a historic building may be
1904 located at the street front if 1) a pattern of front yard historic
1905 accessory structures has been established along the street, and 2)
1906 the proposed placement does not create any danger or hazard to
1907 traffic by obstructing the view of the street.
- 1908 c. New detached garages built on sites with historic structures should
1909 have a maximum interior dimension of twelve (12) feet in width.
- 1910 d. Single car wide tandem garages are recommended. Side-by-side
1911 parking configurations are strongly discouraged; if used, they shall
1912 be visually minimized when viewed from the primary public right-of-
1913 way.
- 1914 e. Garage doors shall not exceed nine (9) feet in width by nine (9) feet
1915 in height. Glazing on garage doors shall be limited to no more than
1916 30% of garage door.
- 1917 f. Roof form, exterior materials, and architectural detailing of a
1918 detached Accessory Building shall complement the primary
1919 structure.
- 1920 g. ~~g.~~ Accessory structures (such as sheds and garages) shall be
1921 subordinate in scale to the primary historic structure. The footprint

1922 of the new accessory structure shall not exceed 50% of the
1923 footprint of the historic structure. If the footprint exceeds 50% of the
1924 footprint of the historic structure, the scale of the individual modules
1925 shall be broken up to reflect the mass and scale of those seen on
1926 the historic structure. New accessory structures shall follow the
1927 ~~[design guidelines] regulations~~ for ~~[compatibility of additions as~~
1928 ~~outlined in]~~ Additions to Primary Structures.

1929 HISTORY

1930 *Adopted by Ord. 2017-42 on 8/3/2017*

1931 *Amended by Ord. 2019-06 on 5/16/2019*

1932 **15-13-3 (Regulations) Design Guidelines For Historic Commercial Sites**

1933 A. **Universal (Regulations) Design Guidelines**

- 1934 1. A site shall be used as it was historically or shall be given a new use that
1935 requires minimal change to the distinctive materials, features, spaces, and
1936 spatial relationships.
- 1937 2. Changes to a site or building that have acquired historic significance in
1938 their own right shall be retained and preserved.
- 1939 3. Historic exterior features of a building shall be retained and preserved.
- 1940 4. Distinctive materials, components, finishes, construction techniques, and
1941 examples of craftsmanship shall be retained and preserved. Applicants
1942 are encouraged to reproduce missing historic elements that were original
1943 to the building, but have been removed. Physical, photographic, or

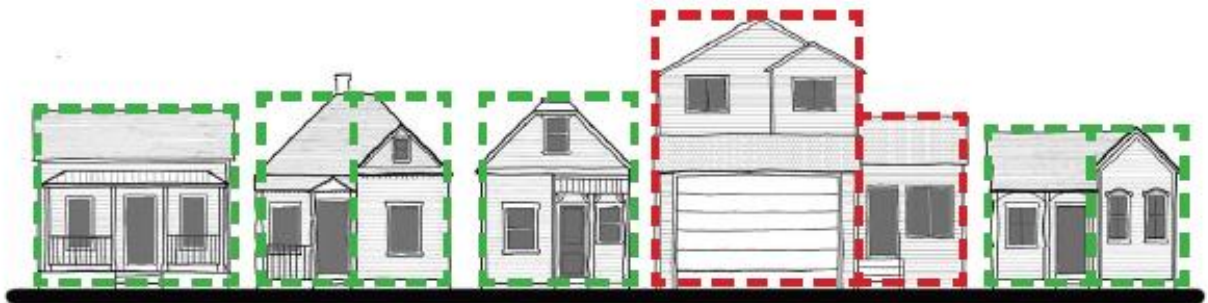
1944 documented evidence shall be used to substantiate the reproduction of
1945 missing features. In some cases, where there is insufficient evidence to
1946 allow for accurate reconstruction of lost historic elements, it may be
1947 appropriate to reproduce missing historic elements that are consistent with
1948 historic structures of similar design, age, and detailing.

1949 5. Deteriorated or damaged historic features and elements shall be repaired
1950 rather than replaced. When the severity of deterioration or existence of
1951 structural or material defects requires replacement, the replacement
1952 feature or element shall match the original in design, dimension, texture,
1953 material, and finish. Applicants must show severity of deterioration or
1954 existence of defects by demonstrating that the historic material is no
1955 longer safe and/or serviceable and cannot be repaired to a safe and/or
1956 serviceable condition.

1957 6. Non-historic alterations that have been made to elements of a property,
1958 such as window replacements, eave enclosures, or porch element
1959 substitutions, that are in place prior to the adoption of these ~~[Design~~
1960 ~~Guidelines]~~ regulations may be maintained. However, if additional
1961 alterations to these elements are proposed, the elements must be brought
1962 into compliance with these ~~[Design Guidelines]~~ regulations.

1963 7. Each site shall be recognized as a physical record of its time, place and
1964 use. Applicants shall not introduce architectural elements or details that
1965 visually modify or alter the original building design when no evidence of
1966 such elements or details exists.

- 1967 8. Chemical or physical treatments, if appropriate, shall be undertaken using
1968 recognized preservation methods. Treatments that cause damage to
1969 historic material shall not be used. Treatments that sustain and protect the
1970 historic building and its occupants, but do not alter appearance, are
1971 encouraged.
- 1972 9. New construction, such as additions, exterior alterations, repairs,
1973 upgrades, etc. shall not destroy historic materials, features, and spatial
1974 relationships that characterize the historic site or historic building. New
1975 construction shall differentiate from the historic structure and, at the same
1976 time, be compatible with the historic structure in materials, features, size,
1977 scale and proportion, and massing to protect the integrity of the historic
1978 structure, the historic site, and the Historic District.



1979

1980 10. New additions and related new construction shall be undertaken in such a
1981 manner that, if removed in the future, the essential form of the historic
1982 building and integrity of the historic building and site could be restored.

1983 11. The proposed project must not cause the building, site or Historic District
1984 to be removed from the National Register of Historic Places.

1985 **B. Specific ~~[Design Guidelines]~~ [Regulations]**

1986 **1. Site ~~[Design]~~**

1987 **a. Building Setback and Orientation**

1988 (1) The existing front and side yard setbacks of buildings shall
1989 be maintained. The alignment and setbacks are often
1990 different from residential, and are character-defining features
1991 of the district and shall be preserved.

1992 (2) The original location of a main entry, if extant, shall be
1993 preserved. The historic orientation of a primary entrance on
1994 Main Street shall be maintained.

1995 (3) The visual divisions of commercial buildings into storefront
1996 and upper stories, when present, shall be maintained.

1997 (4) Residential buildings converted to non-residential use often
1998 have deeper setbacks and landscaped front yards; these
1999 shall be retained.

2000 **b. Topography and Grading**

2001 (1) The natural topography and original grading of a historic site
2002 shall be maintained when feasible.

2003
2004
2005
2006
2007
2008
2009
2010
2011
2012
2013
2014
2015
2016
2017
2018
2019
2020
2021
2022
2023
2024

c. Landscaping and Vegetation

(1) The character of a historic site shall not be significantly altered by substantially changing the proportion of built and/or paved area to open space.

(2) Existing landscape features that contribute to the character of a historic site and/or existing landscape features that provide environmental sustainability benefits shall be preserved and maintained.

(3) Established on-site native plantings shall be maintained. During construction, established vegetation shall be protected to avoid damage. Damaged, aged, or diseased trees shall be replaced as necessary. Vegetation that may encroach upon or damage a new building may be removed, but shall be replaced with similar vegetation near the original location.

(4) A detailed landscape plan, particularly for areas viewable from the primary public right-of-way, which respects the manner and materials traditionally used in the Historic Districts, shall be provided. When planning for the long-term sustainability of a landscape system, all landscape relationships on the site, including those between plantings and between the site and its structure(s) shall be considered.

2025 (5) Landscape plans shall balance water-efficient irrigation
2026 methods, drought-tolerant plants, and native plants with
2027 existing plant material and site features that contribute to the
2028 historic character of the site. Where irrigation is necessary,
2029 systems that minimize water loss, such as drip irrigation,
2030 shall be used.

2031 (6) Use to advantage storm water management features such
2032 as gutters, downspouts, site topography, and vegetation that
2033 can improve the environmental sustainability of a site.

2034 (7) The use of Water Wise Landscaping or permaculture
2035 strategies for landscape design shall be considered in order
2036 to maximize water efficiency. Where watering systems are
2037 necessary, systems that minimize water loss, such as drip
2038 irrigation, shall be used. These systems shall be designed to
2039 minimize their appearance from areas viewable from the
2040 primary public right-of-way.

2041 (8) Along public rights of way, landscaped areas, street trees,
2042 and seasonal plantings shall be designed to enhance the
2043 pedestrian experience, complement architectural features,
2044 and/or screen utility areas.

2045 (9) Installing plantings in areas like medians, divider strips, and
2046 traffic islands shall be considered.

2047 (10) Commercial properties typically have no setbacks
2048 along the principal façade. However, when front yard
2049 setbacks exist, landscaped areas (including patios) shall be
2050 of a small scale and design such that they do not disrupt the
2051 normal volume and flow of pedestrian traffic along the street.

2052 **d. Sidewalks, Plazas, and Other Street Improvements**

2053 (1) All Streetscape or character area elements should work
2054 together to create a coherent visual identity and public
2055 space. The visual cohesiveness and historic character of the
2056 area shall be maintained through the use of complementary
2057 materials.

2058 (2) Sidewalk bump outs reduce the distance required for
2059 pedestrians to cross streets. On long blocks, midblock
2060 crosswalks are recommended. Brick pavers, concrete
2061 pavers (sometimes brick-colored), and textured concrete or
2062 asphalt shall be used for crosswalks.

2063 (3) Using distinctive materials, such as bricks or pavers, to
2064 identify crosswalks at key intersections or crossings shall be
2065 considered. Crosswalk markings shall be clearly delineated
2066 without being obtrusive.

2067 (4) Street furniture, trash receptacles, bike racks, planters and
2068 other elements shall be simple in design and compatible with

2069 the appearance and scale of adjacent buildings and public
2070 spaces.

2071 (5) Existing plazas shall be maintained and well managed for
2072 daytime use, including landscaping, benches, trash
2073 receptacles and lighting.

2074 (6) Where new plazas are being considered, ensure that they
2075 are near pedestrian traffic, are well planned for intended
2076 uses, such as concerts or other events, and well designed
2077 for maintenance and durability.

2078 (7) Existing, alleys, staircases, and pedestrian tunnels shall be
2079 maintained where feasible.

2080 **e. Parking and Driveways**

2081 (1) The visual impacts of on-site parking (both surface lots and
2082 parking structures) shall be minimized by incorporating
2083 landscape treatments for driveways, walkways, paths,
2084 building and accessory structures in a comprehensive,
2085 complimentary and integrated design.

2086 (2) Landscaped separations, screening, and/or site walls shall
2087 be placed between parking areas, drives, service areas, and
2088 other public-use areas such as walkways, plazas, and
2089 vehicular access points.

2090 (3) When creating new off-street parking areas, the existing
2091 topography of the site and integral site features, such as

2092 mature landscaping and historic retaining walls, shall be
2093 minimally impacted.

2094 (4) Off-street parking areas shall be located within the rear yard
2095 and beyond the rear wall plane of a primary building, where
2096 feasible. If locating a parking area in a rear yard is not
2097 physically possible, the off-street parking area and
2098 associated vehicles shall be visually buffered from adjacent
2099 properties and the primary public right-of-way. Providing a
2100 driveway along the side yard of a property, if feasible, shall
2101 be considered. When locating driveways, historic site
2102 features and the existing topography of the property shall be
2103 minimally impacted.

2104 (5) ~~[Ten foot (10') wide driveways are encouraged; however,]~~
2105 ~~[n]ew~~ driveways shall not exceed ~~twelve~~ [ten] (1~~[20]~~) feet in
2106 width.

2107 (6) Shared driveways should be used when feasible.

2108 (7) Textured and poured paving materials other than smooth
2109 concrete should be considered for driveways that are visible
2110 from the primary right-of-way. Permeable paving shall be
2111 used on a historic property, where appropriate, to manage
2112 storm water. Permeable paving may not be appropriate for
2113 all driveways and parking areas.

2114 (8) Consider avoiding paving up to a building's foundation in
2115 order to reduce heat-island effect, building temperature,
2116 damage to the foundation, and drainage problems.

2117 (9) Landscape plans shall allow for snow storage for driveways.
2118 Snow storage for driveways shall be provided on site.

2119 (10) Parking structures and parking areas shall be located
2120 at the rear of the building to allow commercial use on the
2121 principal façade.

2122 2. Primary Structures

2123 a. Foundation

2124 (1) The historic placement, orientation, and grade of a historic
2125 building shall be retained, as shall the original grade of the
2126 site.

2127 (2) Historic foundations shall not be covered with new materials
2128 (e.g. concrete block, plywood panels, corrugated metal, or
2129 wood shingles). Masonry foundations shall be cleaned,
2130 repaired, or re-pointed according to masonry guidelines
2131 (published by the Secretary of the Interior). Replacement of
2132 historic material is allowed only when it can be demonstrated
2133 that the historic material is no longer safe and/or serviceable
2134 and cannot be repaired to a safe and/or serviceable
2135 condition.

- 2136 (3) A new foundation shall generally raise or lower a historic
2137 structure **[no]** more than two (2) feet from its original floor
2138 elevation.
- 2139 (4) The form, material, and detailing of a new foundation shall
2140 be similar to the historic foundation (when extant) or similar
2141 to foundations of nearby historic structures.
- 2142 (5) The construction of a foundation at a height that is not
2143 proportional to neighboring historic structures is not
2144 appropriate. The height of a new foundation shall not be
2145 significantly taller or shorter than neighboring structures. A
2146 historic storefront shall not be significantly altered by lifting
2147 the historic structure for the construction of a new
2148 foundation.
- 2149 (6) A historic site shall be returned to original grade following
2150 construction of a foundation. When original grade cannot be
2151 achieved, generally no more than six (6) inches of the new
2152 foundation shall be visible above final grade on the primary
2153 and secondary facades.
- 2154 (7) The re-grading of a site shall blend the grade of the site with
2155 the grade of adjacent sites and shall not create the need for
2156 retaining walls.
- 2157 (8) A site shall be re-graded so that water drains away from the
2158 structure and does not enter the foundation.

2159 (9) Consider adding a plinth, or trim board, at the base of a
2160 historic structure to visually anchor the historic structure to
2161 the new foundation.

2162 (10) [Window or egress wells, when needed, shall not be
2163 located on the primary façade. Window or egress wells shall
2164 be located beyond the midpoint of the secondary facades,
2165 on the tertiary elevation, or in a location that is not visible
2166 from the primary public right-of-way.]

2167 **b. Exterior Walls**

2168 (1) Primary and secondary facade elements, such as
2169 window/door configuration, wall planes, recesses, bays,
2170 balconies, steps, porches, and entryways shall be preserved
2171 and maintained in their original location on the façade.

2172 (2) Exterior historic elements including wood siding (drop siding,
2173 clapboard, board and batten), frieze boards, cornices,
2174 moldings, shingles, etc., as well as stone and masonry shall
2175 be preserved and maintained. Deteriorated or damaged
2176 historic elements shall be repaired using recognized
2177 preservation methods appropriate to the specific material.

2178 (3) When disassembly of a historic element—window, molding,
2179 bracket, etc.--is necessary for restoration, recognized
2180 preservation procedures and methods for removal,
2181 documentation, repair, and reassembly shall be used.

2182 (4) When an exterior historic element cannot be repaired, it shall
2183 be replaced with materials that match the original in all
2184 respects: scale, dimension, profile, material, texture, and
2185 finish. The replacement of an existing historic element is
2186 allowed only when it can be demonstrated that the historic
2187 element is no longer safe and/or serviceable and cannot be
2188 repaired to a safe and/or serviceable condition.

2189 (5) Substitute material such as fiber cement or plastic-wood
2190 composite siding, shingles, and trim boards shall not be
2191 used unless it is made of a minimum of 50% recycled and/or
2192 reclaimed materials. Additionally, the applicant must show
2193 that the physical properties — expansion/contraction rates,
2194 chemical composition, stability of color and texture,
2195 compressive or tensile strength—of the substitute material
2196 have been proven to not damage or cause deterioration of
2197 adjacent historic materials.

2198 (6) Substitute material shall not be used on a primary or
2199 secondary façade unless the applicant can demonstrate that
2200 historic material cannot be used and that the substitute
2201 material will not cause damage to adjacent historic material
2202 or detract from the historic integrity of the structure.

2203 (7) The application of synthetic or substitute materials, such as
2204 vinyl or aluminum siding, over original wood siding may

2205 cause, conceal, or accelerate physical deterioration and is
2206 not appropriate. Removal of synthetic siding (aluminum,
2207 asbestos, Brick-Text, and vinyl) that has been added to a
2208 building, followed by restoration of the historic wood siding
2209 (or other underlying historic material), is highly encouraged.

2210 (8) Interior changes that affect the exterior appearance of
2211 primary and secondary facades, including changing historic
2212 floor levels windows to doors or doors to windows, and porch
2213 roofs to balconies or decks, shall be avoided.

2214 **c. Roofs**

2215 (1) Historic roof forms shall be preserved and maintained. Most
2216 commercial roof forms are flat, sloping, hipped, or gable.

2217 (2) The line, pitch, and overhang of the historic roof form, as
2218 well as any functional and decorative elements, shall be
2219 preserved and maintained. Roof-related features such as
2220 parapet walls and cornices shall be maintained and
2221 preserved.

2222 (3) New roof features, such as photovoltaic panels (solar
2223 panels), skylights, ventilators, and mechanical and
2224 communication equipment shall be visually minimized when
2225 viewed from the primary public right-of-way so as not to
2226 compromise the architectural character of the building.

2227 Photovoltaic panels and skylights shall be flush-mounted to
2228 the roof.

2229 (4) Roof colors shall be neutral-colored and earth-toned.

2230 (5) Crickets, saddles, or other snow-guard devices shall be
2231 placed so they do not significantly alter the form of the roof
2232 as seen from the primary public right-of-way.

2233 (6) Dormers that did not exist historically shall not be added on
2234 a primary façade.

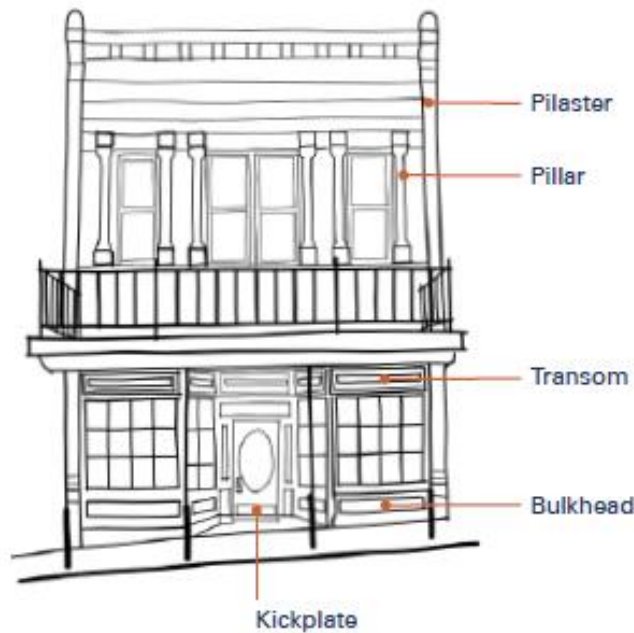
2235 (7) New dormers may be added on tertiary or secondary
2236 facades and shall be visually minimized from the primary
2237 public right-of-way. Gabled, hipped, or shed dormers are
2238 appropriate for most buildings and shall be in keeping with
2239 the character and scale of the building.

2240 **d. Storefronts**

2241 (1) Primary and secondary facade elements, such as
2242 window/door configuration, wall planes, recesses, bays,
2243 balconies, steps, porches, and entryways shall be
2244 maintained in their original location on the façade.

2245 (2) Historic storefront elements such as doors, windows, kick
2246 plates, bulkheads, transoms, ornamentation, cornices,
2247 pillars, pilasters, and other character-defining features shall
2248 be preserved and maintained.

Storefront Elements



2249

2250

(3) Historic storefronts and their character-defining features and elements shall not be covered with modern materials.

2251

2252

Deteriorated or damaged storefronts or elements shall be

2253

repaired so that the storefront retains its historic appearance.

2254

Repairs shall be made with in-kind materials, based on

2255

physical or documentary evidence, whenever possible.

2256

(4) Missing elements shall be replaced in keeping with size,

2257

scale, style, and materials of the historic structure, and then

2258

only if there is little or no evidence of the original

2259

construction. In such cases, an alternative design that is

2260

compatible with the remaining character-defining features of

2261

the historic building may be considered.

2262 (5) Historic recessed entries, if in their original historic
2263 configuration, shall be preserved and maintained. If a historic
2264 recessed entry has been lost during a previous renovation,
2265 consider reconstructing, based on physical or documentary
2266 evidence, the historic entry. The replacement shall match the
2267 original in terms of design, materials, and configuration.

2268 (6) Primary entrances to commercial buildings should be
2269 accessible to meet American Disabilities Act (ADA)
2270 requirements. If this is not possible, alternative entrances
2271 shall be available, clearly marked, and maintained to the
2272 same standards as the primary entrance.

2273 (7) Original doors shall be preserved and maintained.
2274 Replacement of non-historic doors shall be substantiated by
2275 documentary, physical, or pictorial evidence.

2276 (8) If no evidence of the historic door appearance is available,
2277 new doors should be similar in materials and configuration to
2278 historic doors on commercial buildings of similar period.
2279 Typically, painted wood doors with single or multiple lights of
2280 clear glass are appropriate replacements for primary
2281 facades. Replacement doors for secondary entrances may
2282 be smaller or may be solid wood. Dark or bronze-anodized
2283 metal, though less appropriate, may be substituted for wood

2284 in cases where the original door has been lost and no
2285 evidence of the original door exists.

2286 (9) The original storefront windows and window configuration
2287 shall be preserved and maintained if possible. If the
2288 storefront windows have been reduced in size over the
2289 years, re-establishing their original dimensions and
2290 configuration is encouraged.

2291 (10) Opaque, reflective, and mirror types of glass are not
2292 appropriate.

2293 (11) Transoms above display windows shall be preserved
2294 and maintained. When transoms are covered and original
2295 moldings and window frame proportions are concealed, or
2296 when transoms have been entirely removed, restoring the
2297 transom to its original appearance is encouraged.

2298 **e. Doors (Not Included in Storefronts)**

2299 (1) Historic door openings, doors, door surrounds, and
2300 decorative door features shall be preserved and maintained.

2301 (2) Historic door openings that are significant shall be restored
2302 to the historic period of restoration. On primary facades, in
2303 particular, consider reconstructed, based on physical or
2304 documentary evidence, historic doorways that no longer
2305 exist.

2306 (3) Changing the position, proportions, or dimensions of historic
2307 door openings shall be avoided. It is not appropriate to
2308 create additional openings or remove existing historic
2309 openings on primary or secondary facades that are visible
2310 from the primary public right-of-way.

2311 (4) Replacement doors shall be allowed only when it can be
2312 shown that the historic doors are no longer safe and/or
2313 serviceable and cannot be repaired to a safe and/or
2314 serviceable condition. Replacement doors shall exactly
2315 match the historic door in size, material, profile, and style.

2316 (5) Storm doors and/or screen doors typical of the Mining Era
2317 may be used on primary or secondary facades when the
2318 applicant can show that they will not diminish the historic
2319 character of the building.

2320 (6) When no physical or documentary evidence of original doors
2321 exists, replacement doors typically shall be of wood, with or
2322 without glazing, and shall complement the style of the
2323 historic structure. When replacing non-historic doors,
2324 designs similar to those that were found historically in Park
2325 City shall be used. Paneled doors were typical and many
2326 had vertical panes of glass. Scalloped, Dutch, and colonial
2327 doors, as well as door sidelights are not appropriate on most
2328 primary and secondary façades.

2329 (7) New door openings may be considered on secondary
2330 façades. A new opening shall be similar in location, size, and
2331 type to those seen on the historic structure.

2332 (8) When a historic door opening on a primary façade is no
2333 longer functional, the door shall be retained and, if
2334 necessary, blocked on the interior side only. The door shall
2335 appear to be functional from the exterior.

2336 **f. Windows (not included in Storefronts)**

2337 (1) Historic window openings, windows, window surrounds and
2338 decorative window features shall be maintained and
2339 preserved.

2340 (2) Historic window openings that have been altered or lost over
2341 time shall be restored. On primary façades, in particular,
2342 consider reconstructing, based on physical or documentary
2343 evidence, historic window openings that no longer exist.

2344 (3) Changing the position, proportions, or dimensions of historic
2345 window openings shall be avoided. It is not appropriate to
2346 create additional openings or remove existing historic
2347 openings on primary or secondary façades that are visible
2348 from the primary public right-of-way.

2349 (4) The historic ratio of window openings to solid wall shall be
2350 maintained.

- 2351 (5) When historic windows are present, replacement windows
2352 shall be allowed only when it can be shown that the historic
2353 windows are no longer safe and serviceable and the historic
2354 windows cannot be made safe and serviceable through
2355 repair. Replacement windows shall exactly match the historic
2356 window in size, dimensions, glazing pattern, depth, profile,
2357 and material.
- 2358 (6) The original number of glass panes in a historic window shall
2359 be maintained. Replacing multiple panes with a single pane
2360 is not appropriate. Snap-in muntins, or muntins between two
2361 sheets of glass are inappropriate as these simulated dividers
2362 lack depth and fail to show the effect of true divided glass
2363 panes.
- 2364 (7) Replacing an operable window with a fixed window is
2365 inappropriate.
- 2366 (8) New window openings may be considered on secondary
2367 façades but only when placed beyond the midpoint. New
2368 window openings shall be similar in location, size, scale,
2369 type, and glazing pattern to those seen on the historic
2370 structure.
- 2371 (9) When no physical or documentary evidence of original
2372 windows exists, replacement windows typically shall be of

2373 wood and shall complement the style of the historic
2374 structure.

2375 (10) When replacing non-historic windows, designs similar
2376 to those found historically in Park City shall be used.

2377 (11) Aluminum-clad wood windows are appropriate on
2378 non-historic additions or foundation-level windows. Vinyl and
2379 aluminum windows are inappropriate.

2380 (12) New glazing shall match the visual appearance of
2381 historic glazing and/or be clear. Metallic, frosted, tinted,
2382 stained, textured and reflective finishes are generally
2383 inappropriate for glazing on the primary façade of the historic
2384 structure.

2385 (13) It is generally inappropriate to modify windows on the
2386 primary façade to accommodate interior changes. When a
2387 window opening is no longer functional on a primary or
2388 secondary façade visible from the primary public right-of-
2389 way, the glazing shall be retained and the window opening
2390 shall be screened or shuttered on the interior side. The
2391 window shall appear to be functional from the exterior.

2392 (14) Storm windows shall be installed on the interior of the
2393 window; if interior installation is not feasible, the materials,
2394 style, and dimensions of exterior wood storm windows shall
2395 match the way storm windows would have been constructed

2396 at the time of the building's construction or complement the
2397 historic window dimensions in order to minimize their visual
2398 impact. Exterior storm windows shall be set within the
2399 window opening and attach to the exterior sash stop.

2400 **g. Gutters and Downspouts**

2401 (1) Removing or obstructing a historic building's elements and
2402 materials when installing gutters and downspouts shall be
2403 avoided.

2404 (2) When new gutters are needed, the most appropriate design
2405 for hanging gutters is half round. Downspouts shall be
2406 located away from architectural features and shall be visually
2407 minimized when viewed from the primary public right-of-way.

2408 (3) Water from gutters and downspouts shall drain away from
2409 the historic structure.

2410 **h. Historic Balconies/Porticos**

2411 (1) Historic balconies, porticos, and their railings and decorative
2412 architectural features shall be maintained and preserved.

2413 (2) Restoring historic balconies and porticos that have been
2414 altered or lost over time is encouraged. On primary façades,
2415 in particular, consider reconstructing, based on physical or
2416 documentary evidence, historic balconies and porticos that
2417 no longer exist.

2418 (3) Changing the position, proportions, or dimensions of historic
2419 balconies or porticos shall be avoided.

2420 (4) Substitute decking materials such as fiber cement or plastic-
2421 wood composite floor boards shall not be used unless they
2422 are made of 50% recycled and/or reclaimed material.
2423 Additionally, the applicant must show that the physical
2424 properties—expansion/contraction rates, chemical
2425 composition, stability of color and texture, compressive or
2426 tensile strength—of the substitute material have been proven
2427 to not damage or cause the deterioration of adjacent historic
2428 material.

2429 (5) Any alteration to drainage on an existing balcony shall be
2430 reviewed by the City Engineer.

2431 **i. Decks, Fire Escapes, and Exterior Staircases**

2432 (1) New decks, fire escapes, and exterior staircases shall be
2433 constructed in inconspicuous areas where visually minimized
2434 from the primary public right-of-way, usually on the tertiary
2435 facade. These features shall be located such that they will
2436 not damage or conceal significant historic features or details
2437 of the historic structure.

2438 (2) The visual impact of a deck, fire escape, or exterior staircase
2439 shall be minimized by limiting its size and scale. Introducing
2440 a deck, fire escape, or exterior staircase that visually

2441 detracts from a historic structure or historic site, or
2442 substantially alters a historic site's proportion of built area to
2443 open space is not appropriate.

2444 (3) ~~[(3-)]~~ Introducing a deck, fire escape, or staircase that will
2445 result in the loss of a character-defining feature of the
2446 historic structure or site, such as a historic porch, shall be
2447 avoided.

2448 (4) ~~[(4-)]~~ In order to prevent damage to a historic structure,
2449 decks, fire escapes, and exterior staircases shall be
2450 constructed to be self-supporting. If a deck cannot be
2451 constructed to be self-supporting, the deck shall be attached
2452 to a historic building with care such that loss of historic
2453 material is minimized.

2454 (5) ~~[(5-)]~~ Decks, fire escapes, and related exterior steps and
2455 railings should be constructed of materials and in styles that
2456 are compatible with the historic building.

2457 (6) ~~[(6-)]~~ Decking materials such as fiber cement or plastic-wood
2458 composite floor boards shall not be used unless they are
2459 made of a minimum of 50% recycled and/or reclaimed
2460 material.

2461 **j. Chimneys and Stovepipes**

2462 (1) Historic chimneys and their decorative features are important
2463 character-defining features of historic buildings and shall be
2464 preserved and maintained.

2465 (2) Historic stovepipes shall be maintained and repaired when
2466 possible. When partial or full replacement of a historic
2467 stovepipe is required, new materials shall have a matte,
2468 nonmetallic finish.

2469 (3) Repairs to chimneys shall be made so as to retain historic
2470 materials and design. The replacement of existing historic
2471 material is allowed only when it can be shown that the
2472 historic material is no longer safe and/or serviceable and
2473 cannot be repaired to a safe and/or serviceable condition.
2474 Ornamental features such as corbelling and brick patterning
2475 shall be preserved and maintained.

2476 (4) Chimneys shall not be covered with non-historic materials.

2477 (5) New chimneys and stovepipes shall be of a size, scale, and
2478 design that are appropriate to the character and style of the
2479 historic building. New chimneys and stovepipes shall be
2480 visually minimized when viewed from primary public right-of-
2481 way and shall be appropriate to the character and style of
2482 the historic building.

2483 **k. Architectural Features**

2484 (1) Architectural features such as eaves, brackets, cornices,
2485 moldings, trim work, and decorative shingles shall be
2486 preserved and maintained.

2487 (2) Historic architectural features shall be repaired rather than
2488 replaced. Replacement architectural features are allowed
2489 only when it can be shown that the historic features are no
2490 longer safe and/or serviceable and cannot be repaired to a
2491 safe and/or serviceable condition. Replacement features
2492 shall exactly match the historic features in design, size,
2493 dimension, form, profile, texture, material and finish.

2494 (3) Architectural features may be added to a historic structure
2495 when accurately based on physical or photographic
2496 evidence (e.g. 'ghost' lines).

2497 **3. Mechanical Equipment, Communications, and Service Areas**

2498 a. Mechanical and/or utility equipment, including heating and air
2499 conditioning units, meters, and exposed pipes, shall be located on
2500 the tertiary façade or another inconspicuous location. If located on
2501 a secondary façade, the visual impact of the mechanical and/or
2502 utility equipment shall be minimized by incorporating it as an
2503 element of the building or landscape design.

2504 b. Ground-level equipment shall be screened from view using
2505 landscape elements such as fences, low stone walls, or perennial
2506 plant materials.

- 2507 c. Roof-mounted mechanical and/or utility equipment shall be
2508 screened and visually minimized from all views.
- 2509 d. Low-profile rooftop mechanical units and elevator penthouses that
2510 are not visible from the primary public right-of-way shall be used. If
2511 this is not possible, rooftop equipment shall be set back or
2512 screened from all views. Placement of rooftop equipment shall be
2513 sensitive to views from upper floors of neighboring buildings.
- 2514 e. Historic elements shall not be removed or obstructed when
2515 installing mechanical systems and equipment.
- 2516 f. New communications equipment such as satellite dishes or
2517 antennae shall be visually minimized when viewed from the primary
2518 public right-of-way.
- 2519 g. Loading docks shall be located and designed in order to minimize
2520 their visual impact.
- 2521 h. Service equipment and trash containers shall be screened. Solid
2522 wood or masonry partitions or hedges shall be used to enclose
2523 trash areas.

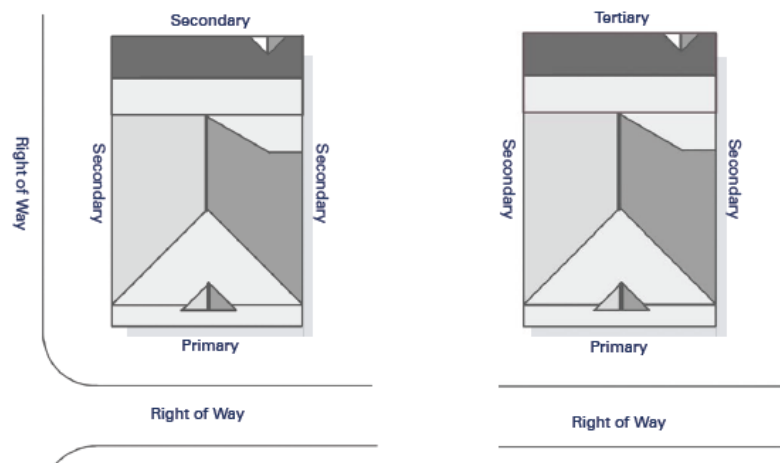
2524 4. Additions to Primary Structures

2525 a. Protection of Historic Sites and Structures

- 2526 (1) Additions to historic buildings should be considered only
2527 after it has been demonstrated that the proposed new use
2528 cannot be accommodated solely by altering interior spaces.

2529 (2) Additions to historic buildings shall be considered with
2530 caution and shall be considered only on non-character-
2531 defining façades, usually rear and occasionally side façades.
2532 Additions shall not compromise the architectural integrity of
2533 historic structures. Additions to the primary façades of
2534 historic structures are not appropriate.

Facade Terminology



2535

2536 (3) Additions should be visually subordinate to historic buildings
2537 when viewed from the primary public right-of-way.

2538 (4) Additions to historic structures shall not be placed so as to
2539 significantly affect the integrity of historic roof forms.

2540 (5) Additions to historic structures shall not contribute
2541 significantly to the removal or loss of historic material.

2542 (6) Retain Additions to historic structures that are significant to
2543 the era/period to which the building is being restored shall be
2544 preserved and maintained.

2545
2546
2547
2548
2549
2550
2551
2552
2553
2554
2555
2556
2557
2558
2559
2560
2561
2562
2563
2564
2565
2566

b. General Compatibility

- (1) Additions shall complement the visual and physical qualities of the historic building. An addition shall not be designed to be a copy of the existing style or imply an earlier or more ornate style than that of the historic structure.
- (2) An addition shall be a contemporary interpretation of the historic structure’s architecture style. The addition shall not be designed to contrast starkly with the historic structure; an acceptable design shall be compatible in mass, scale, fenestration pattern and size, storefront design, and design details. The addition shall not detract from the Streetscape or character area and/or structure’s historic character.
- (3) Primary façades of an addition shall not be greater in height than the primary historic façade in order to decrease the bulk and mass of the new addition and to preserve the established mass and scale of the Streetscape or character area.
- (4) The rhythm established by the repetition of the traditional 25-foot façade widths shall be maintained; these dimensions, when repeated along the street, create a strong pattern that contributes to the visual continuity of the Streetscape or character area.

2567 (5) When new additions are to be wider than the traditional
2568 twenty-five (25) feet, the façade shall be divided into portions
2569 that reflect this pattern. The rhythm of façade widths shall be
2570 maintained in additions, especially for projects that extend
2571 over several lots, by changing materials, patterns, reveals,
2572 building setbacks, façade portions, or by using design
2573 elements such as columns or pilasters.

2574 (6) No more than fifty (50) feet in width of street front may have
2575 the same façade height. On large projects (more than two
2576 lots) building heights shall be varied by creating setbacks in
2577 the façade, by stepping back upper stories, and by building
2578 decks and balconies when it is appropriate to the design.

2579 (7) New additions shall incorporate character-defining features
2580 of historic commercial buildings such as the division of the
2581 façade into zones (storefront and upper stories), cornice
2582 treatment, pronounced entry, and other articulation.

2583 (8) Proportions and established patterns of historic upper story
2584 windows shall be maintained. On additions, upper floors
2585 shall incorporate traditional, vertically proportioned window
2586 openings within a more solid wall than lower floors. Windows
2587 similar in size and shape to those used historically shall be
2588 used in order to maintain the façade pattern of the
2589 Streetscape or character area. It is generally appropriate for

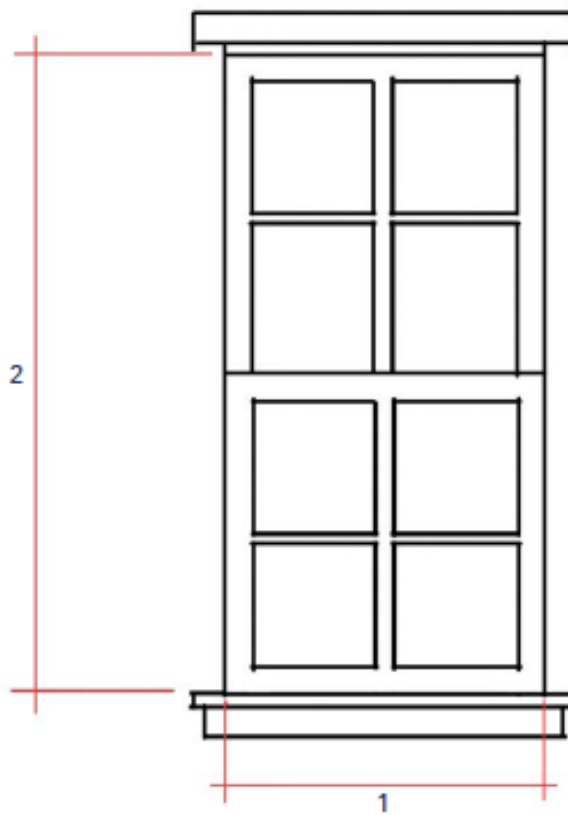
2590 the solid-to-void ratio of structures to be two-thirds (2/3)
2591 [solid to one-third (1/3) glazing], except for storefronts that
2592 feature more glass.

2593 (9) The solid-to-void relationship of an addition shall be
2594 compatible with the historic structure. The proportions of
2595 window and door openings shall be similar to historic
2596 structures. Large expanses of glass, either vertical or
2597 horizontal, are generally inappropriate on commercial
2598 structures. Oversized doors that would create a 'grand entry'
2599 are also inappropriate. Smaller windows with simple window
2600 frames are recommended for additions.

2601 (10) Windows, doors and other features on a new addition
2602 shall be designed to be compatible with the historic structure
2603 and surrounding historic sites. Windows, doors and other
2604 openings shall be of sizes and proportions similar to those
2605 found on nearby historic structures. When using new window
2606 patterns and designs, those elements shall respect the
2607 typical historic character and proportions of windows on the
2608 primary historic structure.

2609 (11) Generally, the height of the window opening shall be
2610 two (2) times the dimension of the width. In some cases, it
2611 may be appropriate to use square windows. Additional
2612 glazing can be accommodated using transoms.

2:1 Window Ratio



2613

2614

(12) Roofs shall be designed to be in character with those seen historically. Simple roof forms—flat, gable, shed—are appropriate. On large projects the use of a variety of these simple roof forms is encouraged.

2615

2616

2617

2618

(13) Roofs shall appear similar in scale to those seen historically. On larger additions, the use of parapet walls, changes in roof height, and changes in material shall be used to express modules.

2619


2620

2621

2622 (14) Original exterior walls shall be kept intact and existing
2623 openings shall be used for connecting an addition to the
2624 original structure when feasible.

2625 **c. Transitional Elements**

2626 (1) Where a new addition abuts a historic building, a well-
2627 defined transitional element shall be designed and
2628 constructed between the historic structure and the new
2629 addition. Minor additions, such as bay windows or dormers,
2630 do not require a transitional element.

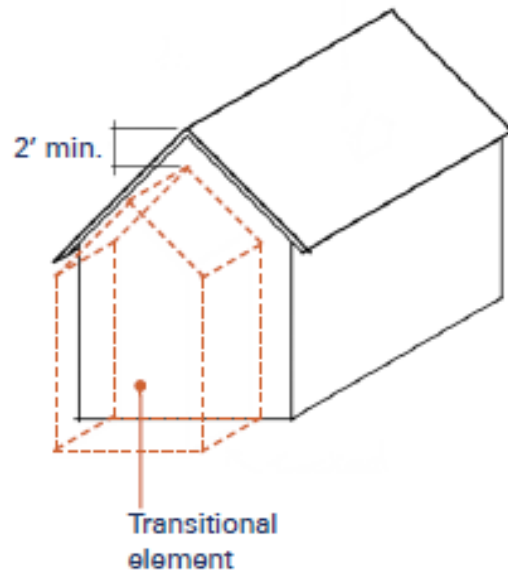
2631 (2) In some cases, a transitional element may not be necessary
2632 if the new addition is visually differentiated from the historic
2633 structure, as viewed from the primary public right-of-way,
2634 through a shift in wall plane, a change in material or pattern,
2635  or by using other design elements.

2636 (3) In-line additions may be appropriate when the joint between
2637 the historic structure and the new addition is not visible from
2638 the primary public right-of-way. A transitional element is
2639 required if the joint between the historic structure and the
2640 new addition is visible from the primary public right-of-way
2641 and the addition is similar in design to the historic structure.

2642 (4) If the new addition is in the same wall plane as the historic
2643 structure and also abuts a primary public right-of-way, a
2644 transitional element is required.

2645 (5) At a minimum, the transitional element shall be two (2) feet
2646 in width.

2647 (6) The highest point of the transitional element shall be a
2648 minimum of two (2) feet lower than the highest roof plate of
2649 the historic structure.



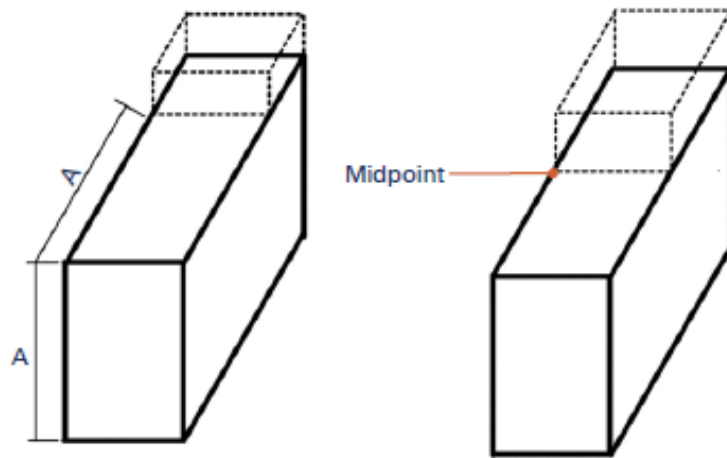
2650

2651 **d. Scenario 1: Rooftop Additions**

2652 (1) Rooftop additions may be allowed, however, they shall not
2653 exceed one story in height above the existing wall plate of
2654 the historic building.

2655 (2) Rooftop additions shall not be visible from the primary public
2656 right-of-way. The addition shall be recessed from the
2657 primary, character-defining façade to preserve the

2658 perception of the historic scale, height, and façade of the
2659 historic structure.
2660 (3) The rooftop addition shall be recessed from the façade to a
2661 distance that is at least equal to the height of the historic
2662 façade or beyond the midpoint of the structure to ensure that
2663 the rooftop addition is minimally visible from the primary
2664 public right-of-way.



2665
2666 **e. Scenario 2: Rear Additions**
2667 **(1) Rear Additions Fronting Swede Alley**
2668 (A) Additions on the rear of Main Street buildings that will
2669 front Swede Alley shall be reduced in scale as they
2670 reach Swede Alley in order to to maintain the
2671 pedestrian character along the street.

2672 (B) Swede Alley additions shall be subordinate and
2673 complementary to Main Street with regard to public
2674 access and Streetscape or character area amenities.
2675 Rear entrances, if developed, shall accommodate
2676 both service activities and secondary access.

2677 (C) Swede Alley facades shall be simple in detail and
2678 shall complement the character of the building's
2679 primary entrance on Main Street. Materials and colors
2680 used on the Swede Alley entrance shall be
2681 coordinated with the Main Street façade so customers
2682 can recognize that both entrances belong to the same
2683 business.

2684 (D) Swede Alley facades shall utilize materials, colors,
2685 signs, and lighting that reinforces a cohesive design
2686 of the building.

2687 (E) Window display areas on Swede Alley facades may
2688 be appropriate, but shall be subordinate to and
2689 proportionally smaller than those seen on Main Street.

2690 **(2) Rear Additions Fronting Park Avenue**

2691 Additions to historic commercial structures that will face Park
2692 Avenue shall be consistent to the size and scale of
2693 residential development to maintain the character of the Park
2694 Avenue Streetscape or character area. This includes the

2695 overall scale and massing of facades, window and door
2696 sizes and configurations, lighting, and landscaping. See
2697 ~~[Design Guidelines]~~ Regulations for New Additions to
2698 Historic Residential Structures.

2699 **(3) Basement Additions**

2700 (A) A basement addition shall generally raise the historic
2701 structure not more than two (2) feet from its original
2702 floor elevation above original grade. Lifting of the
2703 structure shall not disrupt its relationship with the
2704 Streetscape or character area or sidewalk elevation.

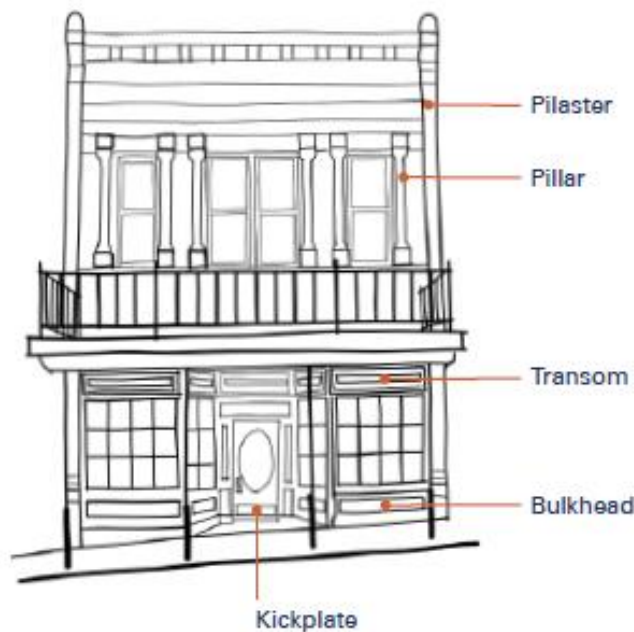
2705 (B) In plan, ~~the~~ the exterior wall planes of an in-line
2706 basement addition shall not extend beyond the
2707 exterior wall planes of the historic structure's primary
2708 or secondary facades.

2709 (C) Window or egress wells, if needed, shall not be
2710 located on the primary façade. Window or egress
2711 wells ~~should~~ shall be located beyond the midpoint of
2712 the secondary façades, on the tertiary façade, or in a
2713 location that is not visible from the primary public
2714 right-of-way. Landscape elements shall be used in
2715 screening window/egress wells from the primary
2716 public right-of-way.

2717 (D) A historic site shall be returned to original grade
2718 following the construction of a foundation. When
2719 original grade cannot be achieved, no more than six
2720 (6) inches of the new foundation shall be visible
2721 above final grade on primary and secondary facades.

2722 **f. New Storefronts**

Storefront Elements



2723
2724 (1) Street-facing primary façades of new additions shall be
2725 distinguished by well-defined storefront elements, including
2726 storefront entryway, ample-size windows, and appropriate
2727 decorative elements. Storefronts on new additions shall have

2728 rhythm and pattern similar to that of the historic Streetscape
2729 or character area.

2730 (2) Storefronts were built using standard dimensions for kick
2731 plates or bulkheads and display windows so the first levels
2732 have a similar height. When storefronts are situated on the
2733 steep-sloped of Main Street, the result is a stair-step effect.
2734 This stair-step effect is an important visual pattern of the
2735 Historic District and shall be repeated on additions.

2736 (3) Recessed entries on additions fronting on Main Street are
2737 encouraged.

2738 (4) Windows on new storefront additions shall be used
2739 extensively and in keeping with the architectural style of the
2740 historic structure. Design and scale shall be maintained in
2741 the tradition of historic storefronts with extensive street-level
2742 window area.

2743 (5) Generally, two-thirds (2/3) or more of storefront areas may
2744 be glass. The solid-to-void ratio of an addition's storefront
2745 shall be similar to that of the historic structure.

2746 **g. New Decks (Not Street Dining Decks)**

2747 (1) Decks on new additions shall be constructed in
2748 inconspicuous areas, usually on a tertiary façade, where the
2749 deck is visually minimized from the primary public right-of-
2750 way. If a deck is built on a secondary façade of a historic

2751 structure, the deck shall be screened from the primary public
2752 right-of-way with fencing and/or appropriate native
2753 landscaping. Decks shall be located where and in a way that
2754 will not damage or conceal significant historic features or
2755 details of the historic structure.

2756 (2) In order to prevent damage to a historic structure, decks
2757 shall be constructed to be self-supporting. If a deck cannot
2758 be constructed to be self-supporting, the deck shall be
2759 attached to a historic structure with care so that loss of
2760 historic fabric is minimized.

2761 (3) Introducing a deck that will result in the loss of a character-
2762 defining feature of a historic structure or site, such as a
2763 historic porch or mature tree, shall be avoided.

2764 (4) The visual impact of a deck shall be minimized by limiting its
2765 size and scale. Introducing a deck that visually detracts from
2766 a historic structure or historic site, or substantially alters a
2767 historic site's proportion of built area to open space, is not
2768 appropriate.

2769 (5) Decks and related steps and railings shall be constructed of
2770 material and in styles that are compatible with the structure
2771 to which they are attached.

2772 (6) Decking materials such as fiber cement or plastic-wood
2773 composite floor boards shall not be used unless they are

2774 made of a minimum of 50% recycled and/or reclaimed
2775 material.

2776 (7) A roof deck on a historic structure or new addition shall be
2777 visually minimized when viewed from the primary public
2778 right-of-way.

2779 **h. Handrails**

2780 (1) New handrails and railings shall complement the historic
2781 structure in material and design.

2782 **i. Awnings**

2783 (1) Awnings may be appropriate for use on a street level façade
2784 if placed in locations historically used for awnings.

2785 Storefronts and upper façade windows are both appropriate
2786 locations for new awnings.

2787 (2) Awnings shall be placed so that the historic and architectural
2788 features are not obstructed. Transom lights of prism glass or
2789 stained glass shall not be covered by permanent, fixed
2790 awnings.

2791 (3) Installation of awning hardware shall not damage historic
2792 materials and features of the historic building.

2793 (4) Shed-type awnings are the most appropriate for use on both
2794 street-level facades and upper facades. Alternative awning
2795 forms may be considered if physical or photographic

2796 evidence of their use on the historic building exists or the
2797 awning complements the design of the building.

2798 (5) Awnings shall be compatible with the style and period of the
2799 historic building in size, color and material. Plastic, vinyl or
2800 metal awnings shall be avoided.

2801 (6) Awnings may contain graphics or signs, but shall not be
2802 backlit. Spotlighting awnings from above shall also be
2803 avoided.

2804 (7) Awnings shall not shed an excessive amount of rain or snow
2805 onto a sidewalk or other pedestrian paths.

2806 **j. Reusing Historic Houses as Commercial Structures**

2807 (1) When a historic residential structure is adapted to a
2808 commercial use, its residential ~~[design]~~appearance and
2809 character shall be preserved.

2810 Please see ~~[Design Guidelines]~~ Regulations for Historic
2811 Residential Structures.

2812 HISTORY

2813 *Adopted by Ord. 2019-06 on 5/16/2019*

2814 **15-13-4 [Guidelines] Regulations For Relocation And/or Reorientation Of Intact**

2815 **Buildings Or Structures**

2816 Whenever possible, a historic structure should be rehabilitated in its original location for
2817 the following reasons:

- 2818 • The historic integrity of the site, or Streetscape, or character area will be altered by the

2819 relocation and/or reorientation of the structure.

2820 • The relocation and/or reorientation may threaten the historical significance of the

2821 structure or site.

2822 • The structure may be damaged or weakened in the process of relocation and/or

2823 reorientation.

2824 • Relocation and/or reorientation adds costs not associated with on-site rehabilitation;

2825 such as utility line removal, moving expenses, additional International Building Code

2826 requirements, tree removal/trimming, and possibly traffic control.

2827 Relocation of any structure designated as historic on the City’s Historic Sites Inventory

2828 may endanger its historic designation as defined by LMC 15-11-10(A), therefore, all

2829 applications for the relocation and/or reorientation of historic structures must be

2830 reviewed and approved by the Historic Preservation Board. No historic structure shall

2831 be relocated and/or reoriented when its preservation will be adversely affected.

2832 When a structure is permitted to be relocated and/or reoriented, every effort shall be

2833 made to reestablish its historic orientation, setting, and relationship to the environment.

2834 **A. Protection for the Historic Building and Site**

- 2835 1. Relocation and/or reorientation of a historic building shall be considered
- 2836 only after it has been determined by the Historic Preservation Board that
- 2837 the integrity and significance of the historic building will not be diminished
- 2838 by such action.
- 2839 2. Relocation and/or reorientation of a historic building shall be considered
- 2840 only after it has been determined that the structural soundness of the
- 2841 building will not be negatively impacted. A professional structural analysis

- 2842 shall be conducted in order to minimize any damage that may occur
2843 during the relocation/reorientation of a historic structure.
- 2844 3. Hire licensed professional building movers to relocate a historic building.
- 2845 4. A historic structure shall be secured and protected from adverse weather
2846 conditions, water infiltration, and vandalism before, during, and after the
2847 relocation/ reorientation process.
- 2848 5. When rehabilitation of the historic structure is delayed, temporary
2849 improvements, such as roof repairs, secured and/or covered windows and
2850 doors, and adequate ventilation shall be made to the structure to protect
2851 the historic fabric until rehabilitation can be accomplished.
- 2852 6. A written plan detailing the steps and procedures for relocation or
2853 reorientation of a historic building shall be completed and approved by the
2854 Planning and Building Departments. This plan shall outline, step by step,
2855 the proposed work to relocate and/or reorient the building to ensure that
2856 the least destructive method of moving the building will be employed.
- 2857 7. Relocating and/or reorienting a historic building of which the location
2858 contributes to the character of the Historic District shall be avoided.
- 2859 8. A historic building shall be moved in one piece whenever possible. When
2860 problematic structural or relocation route conditions preclude moving a
2861 building as a single unit, then partial disassembly into large sections may
2862 be acceptable. Total disassembly of building components shall be avoided
2863 except under extreme situations.

- 2864 9. Buildings and their components shall be protected from damage during
2865 the moving process by adding bracing, strapping, and by temporarily
2866 infilling door and window openings for structural rigidity.
- 2867 10. The setting for a relocated historic building shall be selected for
2868 compatibility with the character of the structure and with the character of
2869 the original site.
- 2870 11. A relocated/reoriented historic building shall be sited in a position similar
2871 to its historic orientation. The relocated/reoriented historic building shall
2872 maintain its relationship with the street and shall have a relatively similar
2873 setback. Relocating a historic structure to the rear of a parcel to
2874 accommodate a new building in front of it is not appropriate.
- 2875 12. When a historic building is relocated to a new site, the building shall be
2876 placed on the new lot with the same orientation and (if consistent to the
2877 District) with the same setbacks to the street as the placement on the
2878 original site.

2879 **B. Panelization**

2880 **1. Disassembly & Reassembly of All or Part of a Historic Structure**

- 2881 a. Disassembly of a historic building shall be considered only after it
2882 has been determined by the Historic Preservation Board that the
2883 panelization is necessary as outlined by Land Management Code
2884 15-11-14.
- 2885 b. Disassembly/reassembly of a historic building is not a common
2886 practice in the preservation field. When disassembly/reassembly

2887 must be undertaken, it shall be done using recognized preservation
2888 methods.

2889 c. Measured drawings of the structure or element to be
2890 disassembled/reassembled shall be completed.

2891 d. A thorough photographic survey of the interior and exterior
2892 elevations as well as architectural details of the structure shall be
2893 completed, including site and location views from all compass
2894 points, exterior elevations, interior elevations of each room, and
2895 elevations of each basement and attic wall. Standards for
2896 photographic documentation are provided in the ~~(Historic Site or~~
2897 ~~District) Design~~ Review Process section of these ~~(Regulations)~~
2898 ~~Design Guidelines~~.

2899 e. Written plans detailing the disassembly and reassembly steps and
2900 procedures shall be completed and approved by the Planning and
2901 Building Departments.

2902 f. In order to minimize loss of historic fabric, structures shall be
2903 disassembled in the largest workable pieces possible.

2904 g. To ensure accurate reassembly, all parts of the building, structure,
2905 or element shall be marked as they are systematically separated
2906 from the structure. Contrasting colors of paint or carpenter wax
2907 crayons ~~[should]~~ shall be used to establish a marking code for each
2908 component. The markings shall be removable or shall be made on

- 2909 surfaces that will be hidden from view when the structure is
2910 reassembled.
- 2911 h. Important architectural features of a historic building or structure
2912 shall be removed, marked, and stored before the structure or
2913 element of the structure is disassembled.
- 2914 i. The process of disassembly of a historic building or structure shall
2915 be recorded through photographic, still or video, means.
- 2916 j. As each component of a historic building is disassembled, the
2917 physical condition shall be noted, particularly if it differs from the
2918 condition stated in pre-disassembly documentation. When a
2919 component is too deteriorated to remove, it shall be carefully
2920 documented— with photographs and written notes on its
2921 dimensions, finish, texture, color, etc.---to facilitate accurate
2922 reproduction.
- 2923 k. Wall panels and roof surfaces shall be protected with rigid
2924 materials, such as sheets of plywood, when there is risk of damage
2925 during the disassembly/storage/reassembly process.
- 2926 l. Disassembled components—trim, windows, doors, wall panels, roof
2927 elements, etc.-- shall be securely stored on-site in a storage trailer
2928 or off-site in a garage/warehouse/trailer until needed for
2929 reassembly.

2930 **2. Reassembly**

- 2931 a. When reassembling a historic structure, the original orientation and
2932 siting shall be replicated as closely as possible.
- 2933 b. New foundations and additions shall follow the ~~[Design Guidelines]~~
2934 Regulations established in earlier sections of these ~~[Design~~
2935 ~~Guidelines]~~ Regulations.

2936 3. Reconstruction

- 2937 a. Reconstruction of a historic building or structure is allowed when
2938 the Chief Building Official determines the structure to be hazardous
2939 or dangerous, pursuant to Section 116.5 of the International
2940 Building Code, and when the building cannot be made safe
2941 and/serviceable through repair.
- 2942 b. Reconstruction shall be guided by documentation and physical
2943 evidence in order to facilitate accurate re-creation.
- 2944 c. Reconstruction ~~[shou]ld~~ shall not be based on conjectural designs
2945 or on a combinations of different features from other historic
2946 buildings.
- 2947 d. Reconstruction shall include recreating the documented design of
2948 exterior features such as roof shape, architectural detailing,
2949 windows, entrances and porches, steps and doors, and the historic
2950 spatial relationships.
- 2951 e. Reconstruction shall include measures to preserve and reuse any
2952 remaining historic materials found to be safe and/or serviceable.

- 2953 f. A reconstructed building shall accurately duplicate the appearance
2954 of the historic building in materials, design, color, and texture.
- 2955 g. A reconstructed building shall duplicate the historic building, and
2956 shall reconstruct the setting, placement, and orientation of the
2957 original structure.
- 2958 h. A reconstruction shall re-establish the historic relationship between
2959 the building or buildings and historic site features.
- 2960 i. A building may not be reconstructed on a location other than the
2961 original site, unless approved by the Historic Preservation Board
2962 pursuant to LMC 15-11-13.

2963 HISTORY

2964 *Adopted by Ord. 2019-06 on 5/16/2019*

2965 **15-13-5 Sustainability In Historic Buildings**

2966 **A. Planning for Sustainability**

- 2967 1. An integrated sustainability team that includes a preservation professional
2968 should be assembled to ensure that the character and integrity of a
2969 historic building is maintained during any upgrades.
- 2970 2. The condition of inherently-sustainable features of a historic building, such
2971 as shutters, storm windows, awnings, porches, vents, roof monitors,
2972 skylights, light wells, transoms and naturally-lit corridors, should be
2973 analyzed and included in energy audits and energy modeling before
2974 planning upgrades.

- 2975 3. Methods to reduce energy use, such as installing fixtures and appliances
2976 that conserve resources, including energy-efficient lighting or energy-
2977 efficient lamps in existing light fixtures, low-flow plumbing fixtures, and
2978 sensors and timers that control water flow, lighting and temperature,
2979 should be identified before undertaking more invasive treatments that may
2980 negatively impact a historic building.
- 2981 4. Sustainable improvements, beginning with minimally invasive treatments
2982 that are least likely to damage historic building material, should be
2983 prioritized.
- 2984 5. Maintaining a substantial percentage of original interior floors, walls and
2985 non-structural elements is encouraged.
- 2986 6. Construction and renovation waste should be diverted from landfill,
2987 prioritizing reuse or resell of materials, or delivery to recycling facilities.
- 2988 7. The inherent energy-conserving features of historic buildings and their
2989 sites, including shade trees, porches, operable windows, and transoms
2990 shall be retained.
- 2991 8. The thermal envelope of historic buildings should be improved by
2992 observing traditional practices such as weather-stripping and insulating.

2993 **B. Maintenance**

- 2994 1. Historic buildings and structures should be maintained on a regular basis
2995 in order to preserve historic fabric and maximize operational efficiency.
- 2996 2. Durable historic building materials should be retained, preserved and
2997 maintained.

- 2998 3. Environmentally-friendly cleaning products that are compatible with
2999 historic finishes should be used.
- 3000 4. Sustainable products and treatments, such as low-VOC paints and
3001 adhesives and lead-safe paint removal methods, should be used as much
3002 as possible when rehabilitating a historic building or structure.

3003 **C. Windows and Doors**

- 3004 1. Windows and doors should be maintained on a regular basis to ensure
3005 they function properly and are completely operable.
- 3006 2. Historic windows and doors should be retained and repaired when
3007 deteriorated.
- 3008 3. Historic windows and doors should be weather-stripped and caulked, when
3009 appropriate, to make them weather tight.
- 3010 4. Interior or exterior storm windows or panels and doors that are compatible
3011 with existing historic windows should be installed.
- 3012 5. Compatible and energy-efficient replacement windows and doors that
3013 match the appearance, size, design, proportion, and profile of the existing
3014 historic windows or doors and that are durable, repairable and recyclable,
3015 should be installed when existing windows are too deteriorated to repair.
- 3016 6. Missing windows and doors should be replaced with new, energy-efficient
3017 windows or doors that are appropriate to the style of the historic building
3018 and that are durable, repairable and recyclable.

3019 7. Historic steel windows, curtain-wall systems, and doors should be
3020 retrofitted to improve thermal performance without compromising the
3021 historic character.

3022 8. Existing historic shutters and awnings should be retained, preserved and
3023 maintained. Newly installed shutters and awnings should be historically
3024 appropriate.

3025 9. Historically-operable interior transoms should be repaired or reopened,
3026 when possible, to improve air flow and cross ventilation.

3027 **D. Weatherization and Installation**

3028 1. A variety of analytical tools, such as a comprehensive energy audit,
3029 blower door tests, infrared thermography, and energy modeling or daylight
3030 modeling should be used to gain an understanding of the building's
3031 performance and potential before implementing any weatherization or
3032 retrofit treatments.

3033 2. A weatherization plan should be developed based on the results of an
3034 energy analysis of a building's performance and potential.

3035 3. Infiltration should be eliminated, beginning with the least invasive and
3036 most cost-effective weatherization measures, such as caulking and
3037 weather-stripping, before undertaking more invasive weatherization
3038 measures.

3039 4. The inherent thermal properties of a historic building's materials and the
3040 insulating needs for the specific climate and building type should be
3041 understood before adding or changing insulation.

- 3042 5. Unfinished spaces, such as attics, basements and crawl spaces, should
3043 be insulated before adding wall insulation.
- 3044 6. The appropriate type of insulation and adequate ventilation should be
3045 used in unfinished spaces. Wet-spray or other spray-in insulation that is
3046 not reversible or may damage historic materials should not be used.
3047 Adding insulation in cavities that are susceptible to water infiltration is not
3048 appropriate.
- 3049 7. Air infiltration should be reduced before adding wall insulation.
- 3050 8. Appropriate wall insulation should be installed when necessary only after
3051 lower impact treatments have been carried out.
- 3052 9. Wall insulation that is not reversible and that may cause damage to
3053 historic building material is not recommended. Insulation installed on the
3054 exterior of a historic building which results in the loss of historic materials
3055 and may alter the proportion and relationship of the wall to the historic
3056 windows and trim is not appropriate.
- 3057 10. Historic trim that was removed to install insulation should be reinstalled.

3058 **E. Heating, Ventilating, Air Conditioning (HVAC), and Air Circulation**

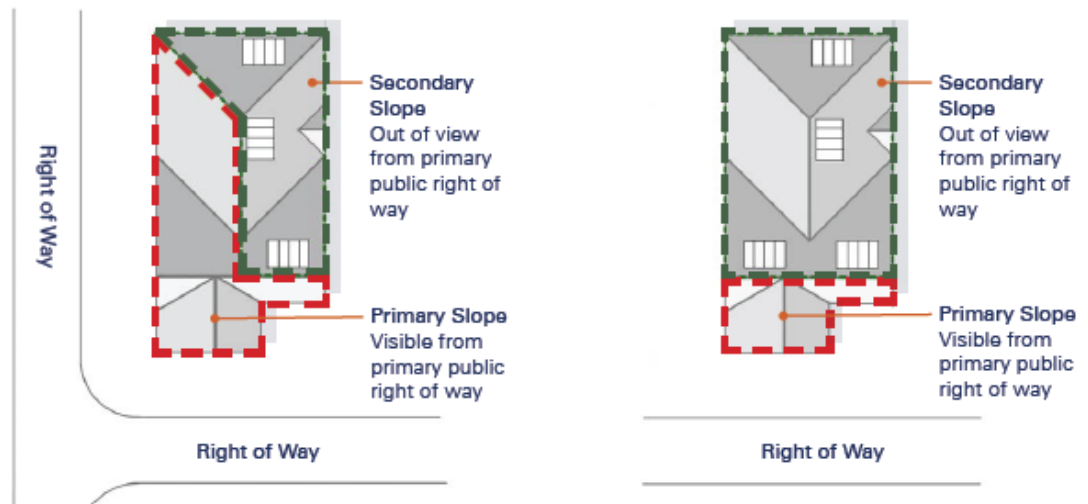
- 3059 1. Functional and efficient HVAC systems should be retained and
3060 maintained.
- 3061 2. Existing HVAC systems should be upgraded within normal replacement
3062 cycles to increase efficiency and performance HVAC systems replaced
3063 prematurely when existing systems are operating efficiently is not
3064 recommended.

- 3065 3. When a new HVAC system is necessary, an energy-efficient system that
3066 takes into account whole building performance and retains the historic
3067 character of a building and site should be installed.
- 3068 4. The efficiency of HVAC systems should be augmented, where
3069 appropriate, with less intensive energy measures, such as programmable
3070 thermostats, attic and ceiling fans, and louvers and vents.
- 3071 5. High efficiency, ductless air conditioners, which may be a more sensitive
3072 approach than installing a new, ducted, central air-conditioning system
3073 that may damage historic building material, should be retained or installed
3074 when appropriate.
- 3075 6. New mechanical ductwork should be installed sensitively or using a mini-
3076 duct system so ducts are not visible from the exterior and do not adversely
3077 impacts the historic character of the interior space.
- 3078 7. HVAC equipment should be placed where it will operate effectively and
3079 efficiently and will be minimally visible and will not negatively impact the
3080 historic character of a building or its site.
- 3081 8. The performance of a HVAC system should be examined regularly to
3082 ensure that the system is operating efficiently.
- 3083 9. Whether a geothermal heat pump will enhance the heating and cooling
3084 efficiency of a building should be investigated before considering
3085 installation.

3086 **F. Solar Energy Systems**

- 3087 1. On-site solar energy systems should be considered only after
3088 implementing all standard energy-efficiency treatments, which often have
3089 greater life-cycle cost benefit than on-site renewable energy, to improve
3090 the energy efficiency of a building.
- 3091 2. Before considering solar energy systems for a historic structure, it should
3092 be analyzed whether the technology can be used successfully and will
3093 benefit the historic building without compromising its character or the
3094 character of the site or the surrounding Historic District.
- 3095 3. A solar energy system should be installed in a compatible location on a
3096 site or on a non-historic building or addition where it will have minimal
3097 impact on the historic building and site.
- 3098 4. A solar energy system should be installed on a historic building only after
3099 other locations have been investigated and determined infeasible.
- 3100 5. A low-profile solar energy system should be installed on a historic building
3101 so the device is not visible or is minimally visible from the primary public
3102 right of way; for example, installation should be on a flat roof and set back
3103 to take advantage of a parapet or other roof feature to screen solar panels
3104 from view, or on a secondary slope of a roof out of view from the primary
3105 public right of way.

Solar Panel Placement



3106

3107 6. A solar energy system on a historic building should be installed in a
3108 manner that does not damage historic roofing material, does not
3109 negatively impact the building's historic character, and is reversible.

3110 7. Solar energy systems should be installed horizontally – flat or parallel to
3111 the roof slope—to reduce visibility.

3112 G. Cool Roofs and Green Roofs

3113 1. Whether or not a cool roof or green roof is appropriate for a historic
3114 structure should be analyzed before being considered.

3115 2. A cool roof or green roof should be installed on a flat-roofed historic
3116 building where it will not be visible from the primary public right of way and
3117 will not negatively impact the building's historic character.

3118 3. Appropriate roofing materials and colors should be selected when putting
3119 a cool roof on a historic building. Installing a cool roof that is incompatible
3120 in material or color with the historic building is not appropriate.

- 3121 4. A historic building must be able to structurally accommodate the added
3122 weight of a green roof. When increasing the weight-bearing capacity of a
3123 historic structure is necessary to accommodate a green roof, it should be
3124 done in a manner sensitive to the historic character of the structure.
- 3125 5. Before installation of a green roof system, a structure's roof should be
3126 water-tight, should drains properly and gutters and downspouts should
3127 function effectively.
- 3128 6. When installing a green roof, a moisture-monitoring system should be
3129 included to protect the historic building from added moisture and
3130 accidental leakage.
- 3131 7. A green roof should be vegetated with sustainable native plantings that
3132 are drought resistant and will not require excessive watering.
- 3133 8. Vegetation for a green roof should be appropriately-scaled so not to grow
3134 so tall that the vegetation will be visible from the primary right-of-way and
3135 detract from the building's historic character.
- 3136 9. When installing a green roof, a cistern and pump system should be
3137 considered to capture rainwater and minimize additional need for
3138 irrigation.

3139 **H. Site Features and Water Efficiency**

- 3140 1. Historic character-defining site features should be respected when
3141 considering adding new sustainable features to the site.

- 3142 2. Existing storm-water management features, such as gutters and
3143 downspouts, as well as site topography and vegetation that contribute to
3144 the sustainability of the historic site, should be used to advantage.
- 3145 3. Natural, sustainable features such as shade trees should be added to the
3146 site, when appropriate, to reduce cooling loads for the historic building.
3147 Existing natural features, such as shade trees or planting trees that may
3148 grow to encroach upon or damage the historic building should be
3149 removed.
- 3150 4. Permeable paving should be used where appropriate on a historic site to
3151 manage storm water. Permeable paving may not be appropriate for all
3152 driveways and parking areas.
- 3153 5. Consider avoiding paving up to a building foundation in order to reduce
3154 heat island effect, building temperature, and damage to the foundation
3155 and to facilitate storm-water runoff.
- 3156 6. A historic site should be landscaped with native plants, when appropriate,
3157 to enhance the sustainability of the site consistent with the Water Wise
3158 Landscaping review criteria set forth in 15-5-5(N).

3159 **I. Daylighting**

- 3160 1. Features, such as glazed doors and transoms common in historic
3161 structures, that provide natural light to corridors shall be retained.
- 3162 2. Historic windows that have been blocked in should be reopened to add
3163 natural light and ventilation.

- 3164 3. Skylights and dormers should be added on secondary roof elevations
3165 where they are not visible or are minimally visible so there is no impact
3166 negative to the building's historic character.
- 3167 4. Automated daylighting controls that ensure adequate indoor lighting and
3168 allow for energy-saving use of daylighting should be installed on interior
3169 lighting systems.
- 3170 5. New window openings should be added, where appropriate, on secondary
3171 and less visible façades to allow more natural light into a historic building.

3172 **15-13-6 Treatment Of Historic Building Materials**

3173 **A. Paint**

- 3174 1. Paint color is not regulated by the ~~[Design Guidelines]~~ Regulations.
- 3175 2. When painting a historic structure, colors that are in keeping with the
3176 structure's style and period should be considered. Along with material and
3177 physical differentiation, painting an addition to a historic structure a color
3178 different than the historic structure to visually differentiate the addition
3179 should be considered.
- 3180 3. Original materials such as brick and stone that were traditionally left
3181 unpainted shall not be painted. Materials, such as wood, that were
3182 traditionally painted shall have an opaque rather than transparent finish
3183 [when placed on a Historic Structure].
- 3184 ~~4. A rustic, bare-wood look is generally not appropriate on historic residential~~
3185 ~~and commercial structures, but may be appropriate on accessory~~

3186 ~~structures. A transparent or translucent weather-protective finish shall be~~
3187 ~~applied to wood surfaces that were not historically painted.~~

3188 5. Low-VOC (volatile organic compound) paints and finishes should be used
3189 when possible.

3190 **B. Wood**

3191 Historically, wood was a popular material choice for siding, cornices, brackets,
3192 columns, balustrades, and other architectural features. These wood features,
3193 important in defining the historic character of the building or structure, are
3194 therefore important to retain, repair, and protect.

3195 ~~[See the Supplemental Design Guidelines for Historic Residential and~~
3196 ~~Commercial Sites & Structures Specific Material Treatment recommendations.]~~

3197 **C. Masonry**

3198 Historic masonry materials generally include stone, brick, terra cotta, and adobe.
3199 Mortar was used to bond masonry units together. Historic mortar was quite soft,
3200 consisting primarily of lime and sand; however, after 1880, Portland cement was
3201 added to create a more rigid bond. While masonry is among the most durable of
3202 historic building materials, it is also very susceptible to damage by improper
3203 maintenance and repair techniques and harsh or abrasive cleaning methods.

3204 ~~See the Supplemental Design Guidelines for Historic Residential and~~
3205 ~~Commercial Sites & Structures Specific Material Treatment recommendations.~~

3206 **D. Architectural Metals**

3207 Architectural metal features may include cast iron facades, siding, porches, and
3208 steps. Sheet metal cornices, siding, roofs, roof cresting, and storefronts are often

3209 found on historic buildings and structures. These features may be important in
3210 defining the overall historic character of a building or structure. Metals commonly
3211 used in historic buildings and structures include lead, tin, zinc, copper, bronze,
3212 brass, iron, steel, nickel alloys, stainless steel, and aluminum. ~~[See the~~
3213 ~~Supplemental Design Guidelines for Historic Residential and Commercial Sites &~~
3214 ~~Structures Specific Material Treatment recommendations.]~~

3215 **15-13-7 Additional [Guidelines] Regulations**

3216 **A. ADA in New Residential and Commercial Infill Buildings**

3217 The Americans with Disabilities Act requires places of public accommodation to
3218 provide access to their services and programs. In the case of historic buildings,
3219 the goal is to achieve the highest level of accessibility with the lowest impact on
3220 the historic structure.

- 3221
- 3222 1. Barrier-free access shall be provided that promotes independence for the
3223 disabled to the highest degree practicable, while preserving the character-
3224 defining features of historic buildings.
 - 3225 2. Whenever possible, the appearance of accessibility ramps or elevators
3226 shall not significantly detract from the historic character of the building.
3227 New or additional means of access shall be compatible with the historic
3228 building and its setting.

- 3229 3. Ramps or other accessibility-related installations shall be single in design
3230 and as unobtrusive as possible. They shall be constructed of concrete or
3231 wood and painted in colors similar to that of the Historic Building.
- 3232 4. Historic doors that do not conform to building and/or accessibility codes
3233 should be rehabilitated to conform.

3234 **B. Seismic Upgrades**

- 3235 1. The visual impact of exterior treatments associated with seismic upgrades
3236 shall be minimized so that it has the least impact on the historic building's
3237 historic integrity. Significant architectural features on the exterior of the
3238 building shall remain unchanged on facades and secondary elevations
3239 visible from the primary public right-of-way.
- 3240 2. Building materials used in seismic retrofitting shall be located on the
3241 interior and/or placed where they do not obscure significant architectural
3242 features.

3243 HISTORY

3244 *Adopted by Ord. 2019-06 on 5/16/2019*

3245 **15-13-8 ~~[Design Guidelines] Regulations~~ For New Residential Infill Construction In**
3246 **Historic Districts**

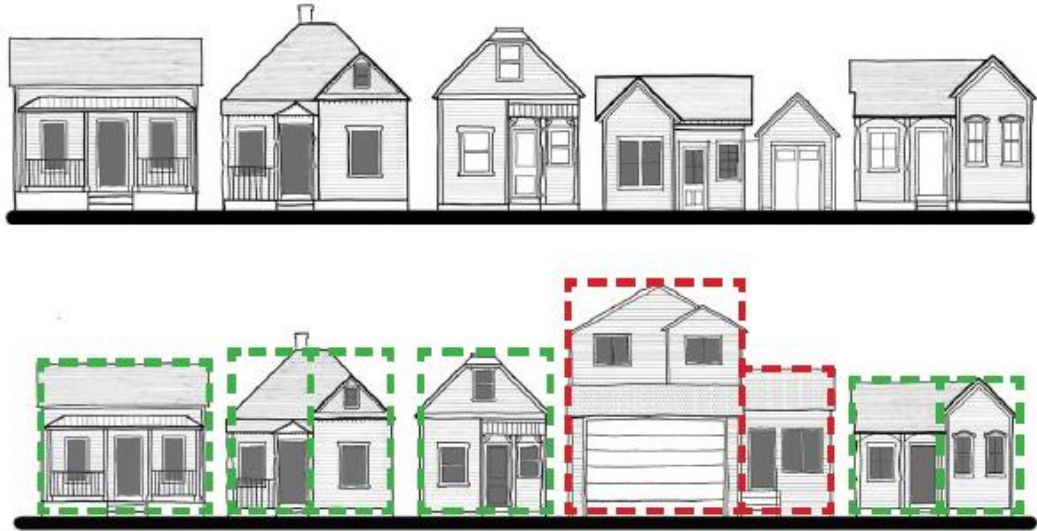
3247 **A. Universal ~~[Guidelines] Regulations~~**

- 3248 1. New infill residential buildings shall reflect the historic character—simple
3249 building forms, unadorned materials, restrained ornamentation—of Park
3250 City's Historic Sites.

3251 2. New infill residential buildings shall not directly imitate existing historic
3252 structures in Park City. Roof pitch, shape and configuration, as well as
3253 scale of building elements found on Historic Sites may be duplicated, but
3254 building elements such as moldings, cornice details, brackets, and porch
3255 supports shall not be directly imitated. Reconstruction of non-surviving
3256 historic buildings is allowed.

3257 3. A style of architecture shall be selected and all elevations of the new infill
3258 residential building ~~[should]~~ shall be designed in a manner consistent with
3259 a contemporary interpretation of the chosen selected style. Stylistic
3260 elements shall not simply be applied to exteriors. Styles that never
3261 appeared in Park City shall be avoided. Styles that radically conflict with
3262 the character of Park City's Historic Sites shall also be avoided. ~~[Styles~~
3263 ~~that never appeared in Park City shall be avoided.]~~

3264 4. New infill residential buildings shall differentiate from historic structures but
3265 be compatible with historic structures in materials, features, size, scale
3266 and proportion, and massing to protect the integrity of the Historic District
3267 as a whole. The massing of the new infill residential buildings shall be
3268 further broken up into volumes that reflect the original massing of historic
3269 buildings; larger masses shall be located at the rear of the lot.



3270

3271

3272

3273

3274

3275

3276

3277

3278

3279

3280

3281

3282

3283

3284

3285

5. Building and site design shall respect the existing topography, the character-defining site features, including existing trees and vegetation, and shall minimize cut, fill, and the use of retaining walls.
6. Exterior elements—roofs, entrances, eaves, chimneys, porches, windows, doors, steps, garages, etc.— of the new infill residential building shall be of human scale and shall be compatible with neighboring Historic Structures.
7. Scale and height of new infill residential buildings shall follow the predominant pattern and respect the architecture of the Streetscape or character area with special consideration given to Historic Sites.
8. Size and mass of a structure shall be compatible with the size of the site so that lot coverage, building bulk, and mass are compatible with Historic Sites within the Streetscape or character area.
9. New construction activity shall not physically damage nearby Historic Sites.

3286 10. New infill residential buildings shall reinforce visual unity within the context
3287 of the Streetscape or character area. The specific context of each
3288 Streetscape or character area is an important feature of the Historic
3289 District. The context of each Streetscape or character area shall be
3290 considered in its entirety, as one would see it when standing on the street
3291 viewing both sides of the street for the entire length of the Streetscape or
3292 character area. Special consideration should be given to adjacent and
3293 neighboring Historic Sites in order to reinforce existing rhythms and
3294 patterns.

3295 11. New materials should reflect the character of the Historic District.
3296 Sustainable technology is constantly changing resulting in new alternative
3297 materials. New alternative materials may be reviewed by the Design
3298 Review Team for compliance being judged on the following
3299 characteristics: • Longevity (50 year lifespan) • Energy performance •
3300 Durable in this climate • Environmental benefit (high recycled content,
3301 locally sourced) • Compatibility with the character of the Historic District

3302 **B. Specific [Guidelines] Regulations**

3303 **1. Site Design**

3304 **a. Building Setback and Orientation**

3305 (1) Lot coverage of new buildings shall be compatible with the
3306 surrounding Historic Sites.

3307 (2) Structures shall be located on a site in a way that follows the
3308 predominant pattern of historic buildings along the street,

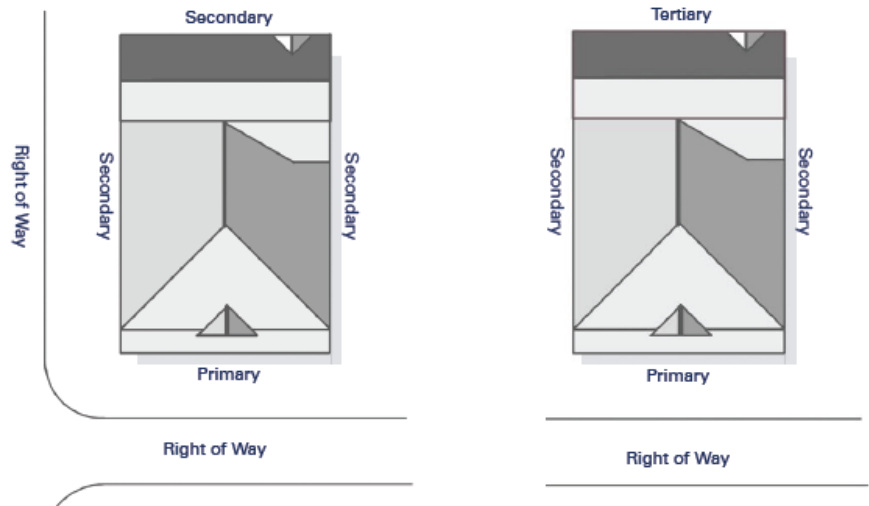
3309 maintaining traditional setbacks, orientation of entrances,
3310 alignment along the street, and open space.

3311 (3) The historic town grid shall be preserved by retaining the
3312 formal street pattern, maintaining historic lot sizes rather
3313 than aggregating the historic-sized lots into larger lots, and
3314 preserving the regular rhythm and pattern of lot sizes in a
3315 way that reinforces the perception of the grid.

3316 (4) A new building shall be oriented parallel to the site's lot lines,
3317 similar to that of historic building orientations. When similar
3318 front yard setbacks are characteristic of the Streetscape or
3319 character area, a new building's façade shall be aligned with
3320 neighboring buildings' facades. When a variety of building
3321 setbacks is part of the historic context, a new building shall
3322 be located within the range of setbacks seen historically.

3323 (5) New buildings shall have a clearly defined primary entrance
3324 oriented toward the street consistent with historic buildings
3325 within the Streetscape or character area. Entrances on
3326 secondary or tertiary facades of a building shall be clearly
3327 subordinate to the entrance on the primary façade.

Facade Terminology



3328

3329

(6) Side yard setbacks similar to those seen historically within

3330

the Streetscape or character area shall be established in

3331

order to reinforce the pattern of built and open space. The

3332

historic rhythm of building spacing in the immediate

3333

Streetscape or character area shall be especially

3334

considered.

3335

b. Topography and Grading

3336

3337

(1) The natural topography and original grading of a site shall be

3338

maintained when feasible.



3339

3340

(2) Building and site design shall respond to natural features.

3341

New infill residential buildings shall step down or up to follow the existing contours of steep slopes.

3342

3343

(3) A new site's natural slope shall be respected in a new

3344

building design in order to minimize cuts into hillsides,

3345

minimize fill, and minimize retaining walls.

3346

c. Landscaping and Vegetation

3347

(1) Existing landscape features that contribute to the character

3348

of the Historic District and existing landscape features that

3349

provide environmental sustainability benefits shall be

3350

respected and maintained.

3351

(2) Established on-site native plantings shall be maintained.

3352

During construction, established vegetation shall be

3353

protected to avoid damage. Damaged, aged, or diseased

3354

trees shall be replaced as necessary. Vegetation that may

3355

encroach upon or damage a new building may be removed,

3356 but shall be replaced with similar vegetation near the original
3357 location.

3358 (3) A detailed landscape plan, particularly for areas viewable
3359 from the primary public right-of-way, which respects the
3360 manner and materials traditionally used in the Historic
3361 Districts, shall be provided. When planning for the long-term
3362 sustainability of a landscape system, all landscape
3363 relationships on the site, including those between plantings
3364 and between the site and its structure(s) shall be considered.

3365 (4) Landscape plans shall balance water efficient irrigation
3366 methods and drought tolerant and native plant material with
3367 existing plant material and site features that contribute to the
3368 character of the Historic District.

3369 (5) Use to advantage storm water management features such
3370 as gutters, downspouts, site topography, and vegetation that
3371 can improve the soil water retention and permeability of a
3372 site.

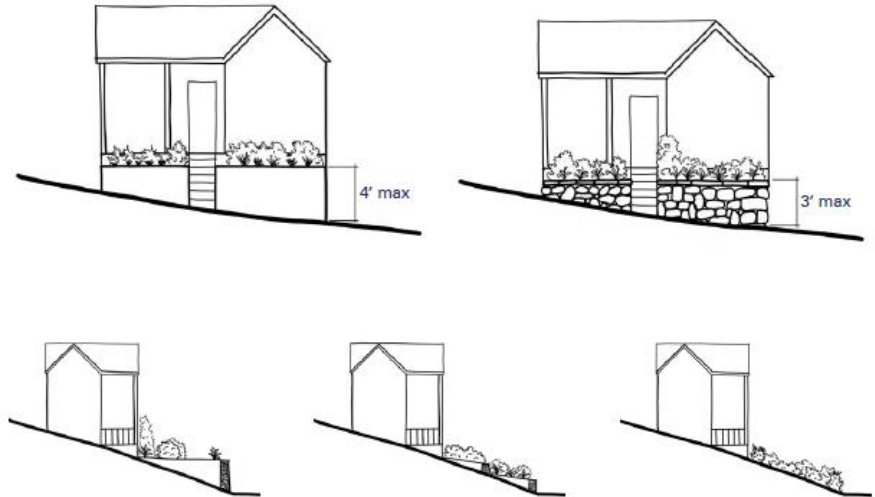
3373 (6) The use of Water Wise Landscaping or permaculture
3374 strategies for landscape design shall be considered in order
3375 to maximize water conservation. Where watering systems
3376 are necessary, systems that minimize water loss, such as
3377 drip irrigation, shall be used. These systems shall be

3378 designed to minimize their appearance from areas viewable
3379 from the primary public right-of-way.

3380 **d. Retaining Walls**

3381 (1) When feasible, a site shall be contoured in a way that
3382 reduces the need for retaining walls. When retaining walls
3383 are necessary, the visual impact shall be minimized by
3384 creating gradual steps or tiers and by using perennial plant
3385 material. When a fence is to be placed on the top of a
3386 retaining wall, the combined height shall be similar in scale
3387 to retaining walls and fences seen historically.

3388 (2) New retaining walls shall be consistent with historic retaining
3389 walls in terms of mass, scale, design, materials, and scale of
3390 materials. Simple board-formed concrete, stacked stone and
3391 other traditional materials are recommended over concrete
3392 block, asphalt, or other modern concrete treatments.
3393 Alternative materials may be considered but they shall
3394 convey the general scale, texture, and character of historic
3395 masonry walls.



3396

3397

(3) Masonry shall be maintained in its natural finish. Applying

3398

paint, stain, or stucco over stone or concrete retaining walls

3399

is not appropriate.

3400

(4) Traditional height and setback of retaining walls along the

3401

street shall be maintained.

3402

(5) To abate retaining-wall failure, drainage behind retaining

3403

walls shall be maintained so water drains away from the

3404

walls.

3405

e. Fences

3406

(1) New fencing should reflect the style of the building to which

3407

fencing is associated when viewable from the primary public

3408

right-of-way. New wood and metal fencing should reflect

3409

traditional designs and patterns. Split or horizontal rail,

3410

railroad tie, or timber fencing may be located where not

3411

visible from the primary public right-of-way but should be

3412 avoided where visible from the primary public right-of-way.
3413 Vinyl or plastic-coated fencing is not appropriate in the
3414 Historic District.

3415 (2) New fencing should be designed to minimize its
3416 environmental impacts. New fencing should use sustainable
3417 material and should take into account site characteristics
3418 such as natural topography and drainage.

3419 (3) Drought-tolerant shrubs should be considered in place of a
3420 fence or wall.

3421 (4) Arbors emphasizing a fence, gate, or entry should be
3422 subordinate to the associated building(s) or structure(s) and
3423 should complement the design of the primary structure and
3424 fencing material, features, size, scale, and proportion.

3425 f. **Paths, Steps, Handrails, & Railings (Not Associated with**
3426 **Porches)**

3427 (1) New paths and walkways should have a modest,
3428 unobtrusive appearance in order to support the sense of a
3429 natural setting.

3430 (2) New hillside stairs and any associated railings or handrails
3431 shall be visually subordinate to the associated building(s) or
3432 structure(s) in size, scale, and proportion, and shall
3433 complement the Historic District in material, size, scale, and
3434 proportion, and massing. To break up the mass of longer-run

3435 stairs, changes in the materials of the stairs shall be
3436 considered.

3437 **g. Gazebos, Pergolas, and other Shade Structures**

3438 (1) The installation of gazebos, pergolas, and other shade
3439 structures shall be limited to rear or side yards and shall
3440 have limited visibility when viewed from the primary public
3441 right-of-way.

3442 (2) Gazebos, pergolas, and other shade structures shall be
3443 visually subordinate to the associated building(s) or
3444 structure(s) and shall complement the design of the primary
3445 structure in material, features, size, scale, and proportion.

3446 **h. Parking Areas & Driveways**

3447 (1) Off-street parking areas shall be located within the rear yard
3448 and beyond the rear wall plane of the primary structure when
3449 feasible. When locating a parking area in a rear yard is not
3450 physically possible, the off street parking area and
3451 associated vehicles should be visually buffered from
3452 adjacent properties and the primary public right-of-way.

3453 Providing a driveway along the side yard of a site shall be
3454 considered when feasible.

3455 (2) Parking areas and vehicular access shall be visually
3456 subordinate to character-defining Streetscape or character
3457 area elements.

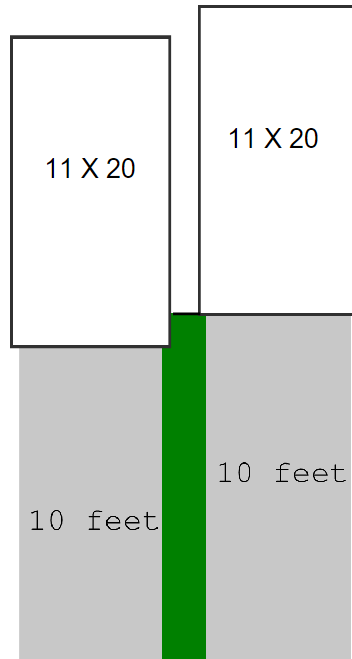
3458 (3) The visual impact of on-site parking shall be minimized by
3459 incorporating landscape treatments for driveways, walkways,
3460 paths, and structures in comprehensive, complimentary and
3461 integrated design.

3462 (4) Landscape separations shall be provided between parking
3463 areas, drives, service areas, and public use areas, like
3464 walkways, plazas, and vehicular access points. When plant
3465 materials are used for screening, they shall be designed to
3466 function year-round.

3467 (5) When locating new off-street parking areas and driveways,
3468 the existing topography of a site and integral site features
3469 shall be minimally impacted.

3470 (6) When locating new off-street parking areas and driveways,
3471 the existing topography of a building site and significant site
3472 features shall be minimally impacted.

3473 (7) ~~Ten (10) foot wide driveways are encouraged; however,~~
3474 ~~[nN]ew driveways shall not exceed twelve [ten] (12[0]) feet in~~
3475 width. Shared driveways shall be used when feasible.



3476

3477

(8) Textured and poured paving materials other than smooth

3478

concrete shall be considered for driveways that are visible

3479

from the primary public right-of-way. Permeable paving may

3480

not be appropriate for all driveways and parking areas.

3481

(9) Consider avoiding paving up to the building foundation in

3482

order to reduce heat-island effect, building temperature,

3483

damage to the foundation, and storm-water runoff problems.

3484

(10) Snow storage from driveways shall be provided on

3485

site.

3486

2. Primary Structures

3487

a. Mass, Scale & Height

3488

(1) The size and mass of a new residential infill building in

3489

relation to open spaces, shall be visually compatible with

3490 adjacent historic buildings and historic structures in the
3491 surrounding Streetscape or character area.

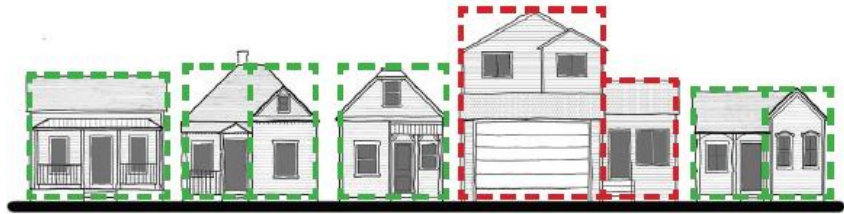
3492 (2) Buildings that utilize traditional building forms – rectangular,
3493 cross-wing, pyramid-roof – are encouraged.

3494 (3) Historic height, width, and depth proportions that are
3495 important in creating compatible infill and maintaining the
3496 historic mass and scale of the Streetscape or character area.

3497 (4) Building features such as upper story windows, porches, and
3498 first floor bays shall be aligned with similar historic building
3499 features in the Streetscape or character area. Generally,
3500 these elements should align in relation to the topography
3501 allowing these elements to “step up” or “step down” the
3502 block.

3503 (5) The perceived scale of new buildings shall respect the scale
3504 established by historic buildings in the character zone.

3505 Abrupt change of scale in the character zone is
3506 inappropriate, especially when a new, larger building would
3507 directly abut smaller historic buildings.



3508

3509

3510

3511

3512

3513

3514

3515

3516

3517

3518

3519

3520

3521

3522

3523

3524

(6) A larger building shall be divided into ‘modules’ that reflect the mass, scale, proportions, and size of historic buildings within the Streetscape or character area. Modules shall be clearly expressed throughout the entire building and a single form shall remain the dominant element so the overall mass does not become too fragmented. To minimize the scale perceived from the primary public right-of-way, stepping down the mass of a larger building shall be considered.

(7) Larger-scaled projects shall also include variations in roof height in order to break up the form, mass and scale of the overall structure.

(8) Buildings constructed on lots greater than 25 feet wide shall be designed so that the facades visible from the primary public right-of-way reinforce the rhythm along the street in terms of traditional building width, depth, and patterns within the façade.

3525 (9) Regardless of lot frontage, the primary façade shall be
3526 compatible with the width of surrounding historic buildings.
3527 The greater width of a building shall be set back significantly
3528 from the plane of the primary façade. The width of a new
3529 building shall not appear to be visibly greater than historic
3530 buildings in the Streetscape or character area. Modules on a
3531 primary façade should generally not exceed eleven (11) feet
3532 to twenty-five (25) feet in width.

3533 (10) When the overall length of a new structure is greater
3534 than seen historically, the design shall employ methods—
3535 changes in wall plane, roof heights, use of modules, etc. to
3536 diminish the visual impact of the overall building mass, form
3537 and scale.

3538 (11) New buildings shall not be significantly taller or
3539 shorter than adjacent buildings with special consideration
3540 given to surrounding historic buildings.

3541 (12) Primary facades shall be limited to one to two stories
3542 in height. (Generally, historic residential facades are about
3543 15 to 20 feet in height from top of the foundation to the top of
3544 the gable.)

3545 (13) Variation in building height may be considered
3546 regarding topography. Hillsides for a backdrop for taller
3547 buildings, minimizing their perceived height, therefore it may

3548 be appropriate for taller building masses to be located on
3549 steeper slopes. The facades of taller buildings shall still
3550 express a human scale.

3551 (14) Beyond the primary façade, the average perceived
3552 scale of one-story to two-story buildings shall be maintained.
3553 As a means of minimizing the perceived mass of a project,
3554 breaking up the height of the building into a set of modules
3555 or components that relate to the height of the buildings along
3556 the street front shall be considered.

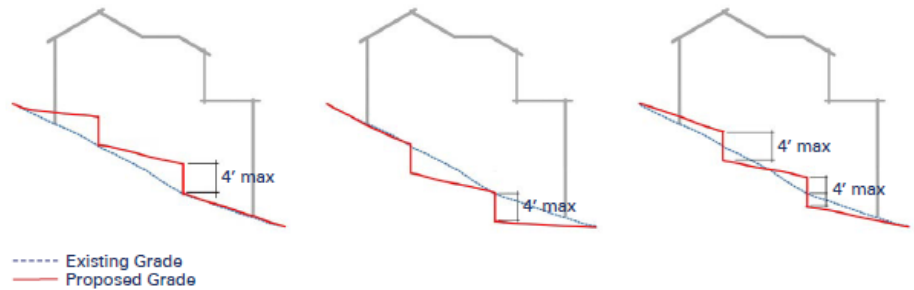
3557 (15) Secondary and tertiary elevations may be taller than
3558 the established norm when the change in scale cannot be
3559 perceived from designated vantage points including the
3560 cross-canyon view. This may be appropriate when taller
3561 portions will not be seen from a primary public right-of-way.

3562 (16) Taller portions of buildings shall be constructed so as
3563 to minimize obstruction of sunlight to adjacent yards and
3564 windows.

3565 **b. Foundation**

3566 (1) Foundation materials shall be simple in form and minimally
3567 visible above grade when viewed from the primary public
3568 right-of-way. Acceptable foundation materials may include
3569 stone and concrete, wood lattice and vertical boards.
3570 Distinction between foundation and wall material shall be

3571 clearly defined. Clapboard siding shall not extend to the
3572 ground.
3573 (2) A site shall be returned to original grade following
3574 construction of a foundation. When original grade cannot be
3575 achieved, no more than eight inches (8") of the new
3576 foundation shall be visible above Final grade on the primary
3577 façade No more than two (2) feet of the new foundation shall
3578 be visible above final grade on secondary and tertiary
3579 facades.
3580 (3) A site shall be re-graded so as to blend with the grade of
3581 adjacent sites and not create the need for incompatible
3582 retaining walls.



3583
3584 (4) A site shall be re-graded so all water drains away from the
3585 structure and does not enter the foundation.
3586 (5) Window or egress wells, when needed, shall not be located
3587 on the primary façade. Window or egress wells shall be
3588 located beyond the midpoint of the secondary facades, on

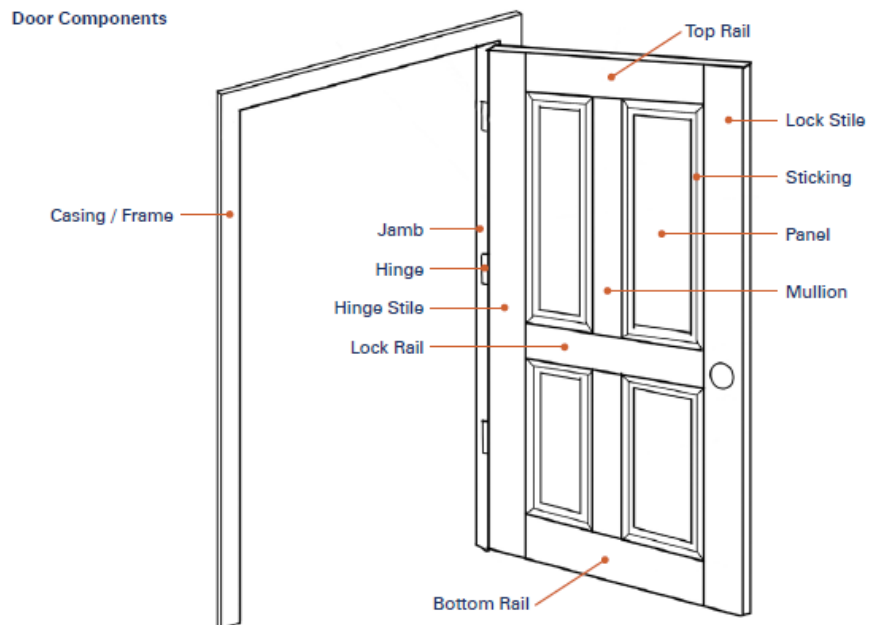
3589 the tertiary elevation, or in a location that is not visible from
3590 the primary public right-of-way.]

3591 **c. Doors**

3592 (1) The historic pattern of principal doorways along the street
3593 shall be maintained. All buildings that face the street shall
3594 have a well-defined primary entrance.

3595 (2) New doors shall be similar in location, size, and material to
3596 those seen traditionally in the Historic District. Doors shall be
3597 compatible with the style of both the new building and
3598 historical buildings in the Historic District.

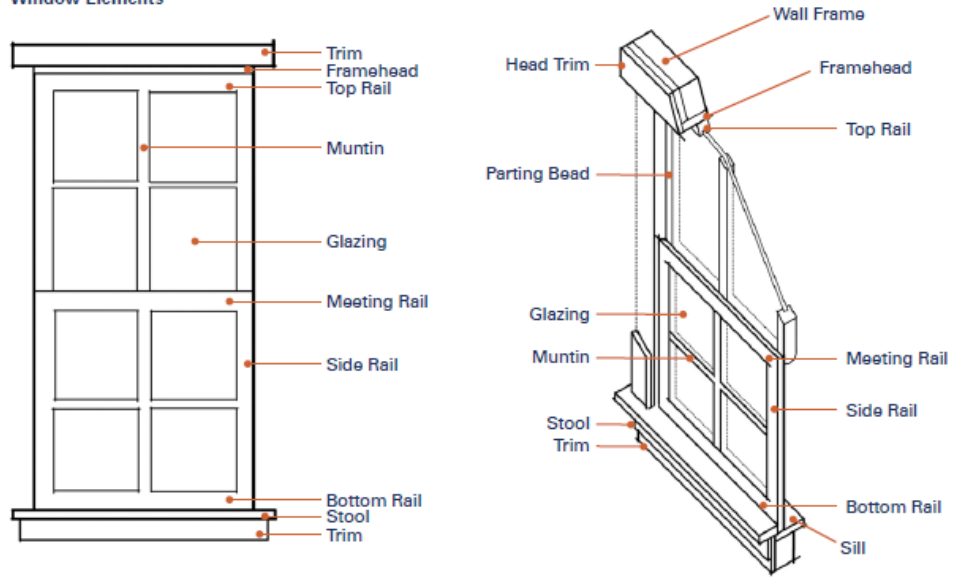
3599 (3) Doors shall be designed and finished with trim elements
3600 similar to those used historically.



3601

3602 **d. Windows**

Window Elements



3603

3604

(1) Ratios of solid-to-void that are compatible with surrounding historic buildings shall be used. Large expanses of glazing are inappropriate on residential structures. Large glass surfaces shall be divided into smaller windows that are in scale with those seen historically. To maximize views, non-historic window patterns may be considered on tertiary facades; however, the overall ratio of solid-to-glass shall still be respected.

3605

3606

3607

3608

3609

3610

3611

3612

(2) Windows shall be historic size and shall relate to the human scale of the Historic District. Windows shall be proportional to the scale and style of the building and shall be compatible with the historical buildings in the Historic District.

3613

3614

3615

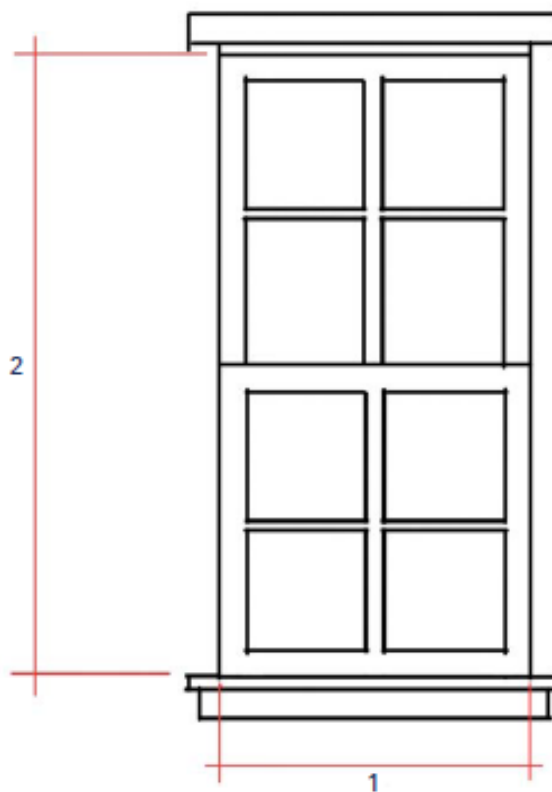
3616

(3) The placement and grouping of windows shall be similar to those seen historically.

3617

3618 (4) Windows with vertical emphasis are encouraged. The
3619 general rule is the height shall be twice the dimension of the
3620 width (commonly referred to as 2:1 ratio). Double-hung,
3621 vertically proportioned windows similar to those used
3622 historically are particularly encouraged. Windows with
3623 traditional depth and trim are preferred.

2:1 Window Ratio



3624
3625 (5) The number of different window sizes and styles on a
3626 building or structure shall be limited.

3627 (6) Wood or metal windows similar to those used historically are
3628 preferred but aluminum-clad wood windows are also
3629 appropriate. Vinyl and aluminum windows are inappropriate.

3630 (7) New glazing shall match the appearance of historic glazing
3631 and/or shall be clear. Metallic, frosted, tinted, stained,
3632 textured, and reflective finishes are generally inappropriate
3633 for glazing on the primary façade.

3634 (8) Window muntins shall be true divided lights or simulated
3635 divided lights on both sides of the glass. Snap-in muntins are
3636 inappropriate.

3637 **e. Roofs**

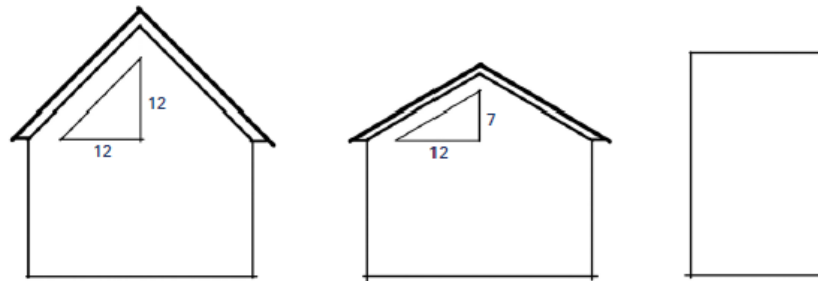
3638 (1) Roofs of new residential infill buildings shall be visually
3639 compatible with roof shapes and orientation of surrounding
3640 Historic Sites and adjacent buildings that contribute to the
3641 character of the Historic District. Sloping of roof forms, such
3642 as gable, hip, and shed, should be the dominant roof
3643 shapes. Roofs composed of a combination of roof planes,
3644 but simple in form, are also encouraged. Roofs shall be in
3645 scale with those on historic structures.

3646 (2) Roof pitch shall be consistent with the style of architecture
3647 chosen for the structure and with adjacent buildings that
3648 contribute to the character of the Historic District, with
3649 special consideration given to Historic Sites.

12:12 Roof Pitch Ratio

7:12 Roof Pitch Ratio

Flat Roof Pitch



3650

3651

(3) The alignment that is created by similar heights of primary roofs and porches among historic buildings shall be maintained. This similarity of heights in building features contributes to the visual continuity along the Streetscape or character area.

3652

3653

3654

3655

3656

(4) Roofs shall be designed to minimize snow shedding onto adjacent properties and/or pedestrian paths. Crickets, saddles, or other snow-guard devices shall be placed so they do not significantly alter the form of the roof as seen from the primary public right-of-way.

3657

3658

3659

3660

3661

(5) New roof features, such as photovoltaic panels (solar

3662

panels), skylights, ventilators, and mechanical or

3663

communication equipment shall be visually minimized from

3664

the primary public right-of-way so as not to compromise the

3665

architectural character of the structure. Roof-mounted

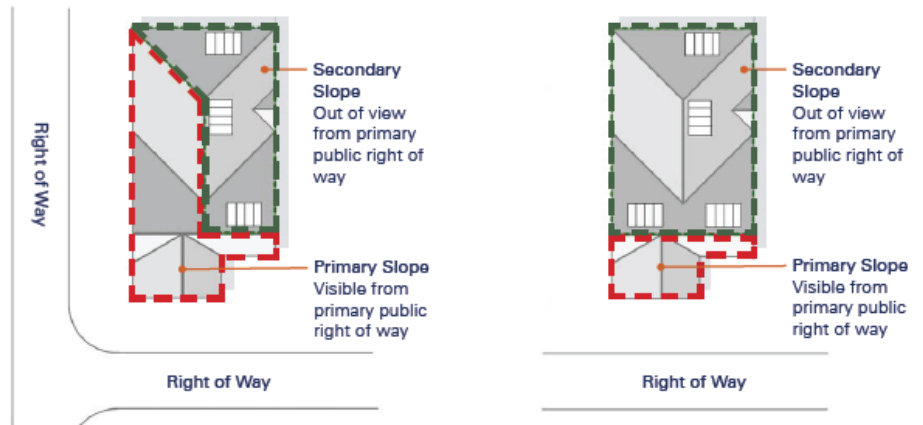
3666

features like photovoltaic panels (solar panels) and skylights

3667

should be installed parallel to the roof plane when feasible.

Solar Panel Placement



3668

3669

(6) Roof materials should appear similar to those seen

3670

historically. Asphalt shingles may be considered. Metal

3671

sheeting or standing seam metal roofs with a baked-on paint

3672

finish and galvanized or rusted steel sheeting are generally

3673

appropriate. Roofs shall have matte finishes to minimize

3674

glare. Roof colors shall be neutral and muted and materials

3675

shall not be reflective.

3676

(7) Overhanging eaves, use of bargeboards, soffits, fascia

3677

boards, brackets, and boxed eave returns that are consistent

3678

with the style of the architecture of the new building and that

3679

are compatible with surrounding buildings shall be

3680

incorporated.

3681

f. **Dormers**

3682

(1) If used, dormers shall be modest in size and fit the scale of

3683

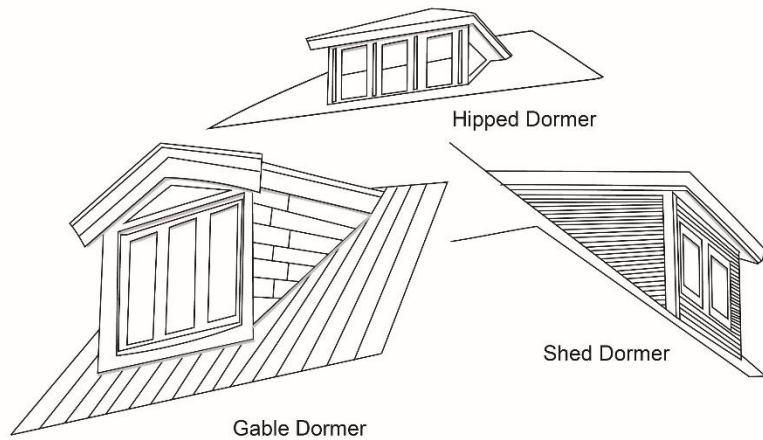
the house and the roof form. The number and size of

3684

dormers shall be limited on a roof, such that the primary roof

3685 form remains prominent. Dormers shall be used with
3686 restraint, in keeping with the simple character of buildings in
3687 Park City.

3688 (2) Dormers shall be visually minimized from primary public
3689 right-of-way. Gabled, hipped, or shed dormers are
3690 appropriate for most structures and shall be in keeping with
3691 the character and scale of the structure.



3692
3693 (3) Dormers shall be setback from the main wall of the building.

3694 (4) A new dormer shall be lower than the primary ridge line of
3695 the associated roof form and set in from the eave of the
3696 building.

3697 **g. Gutters and Downspouts**

3698 (1) Downspouts shall be located away from architectural
3699 features and shall be visually minimized when viewed from
3700 the primary public right-of-way.

3701 **h. Chimneys and Stovepipes**

3702 (1) Chimneys shall not be covered with non-traditional materials.

3703 (2) Chimneys and stove pipes shall be of a size, scale, and
3704 design that are appropriate to the character and style similar
3705 to those found historically. Chimneys and stovepipes shall
3706 be visually minimized when viewed from primary public right-
3707 of-way.

3708 **i. Porches**

3709 (1) Porches shall be used to define front entrances. Porches
3710 typically cover the entrance, and usually extend partially or
3711 fully across the main façade. Over-scaled, monumental and
3712 under-scaled entries shall be avoided.

3713 (2) Porches on primary and secondary facades shall be
3714 compatible with a building's style and shall respect the scale
3715 and proportions found on historic buildings in the s.

3716 (3) The height of porch decks shall be similar to those found on
3717 historic building(s) in the Historic District.

3718 (4) Locate porches on new infill construction in a way that
3719 follows the predominant pattern of historic porches along the
3720 street, maintaining traditional setbacks, orientation of

3721 entrances, and alignment along the Streetscape or character
3722 area to reinforce the visual rhythm of the buildings and site
3723 elements.

3724 (5) The height of porch decks shall be similar to those found on
3725 historic building(s) within the Streetscape or character area.

3726 (6) Porch columns and railings shall be simple in design and
3727 utilize square or rectangular shapes. If balusters are used,
3728 they should be no more than two inches square. Columns
3729 should be a minimum of ~~size~~ inches and a maximum of eight
3730 inches square.

3731 j. **Architectural Features**

3732 (1) Simple ornamental trim and decoration is in character with
3733 historic architectural ornamentation and is encouraged.
3734 Traditional locations for architectural ornamentation are
3735 porches and eaves. Other details, like eave depth, mullions,
3736 corner boards, and brackets, that lend character to historic
3737 buildings shall be considered.

3738 3. **Mechanical and Utility Systems and Service Equipment**

3739 a. Mechanical and/or utility equipment, including heating and air
3740 conditioning units, meters, and exposed pipes, shall be located on
3741 the back of the building or in another inconspicuous location. When
3742 located on a secondary façade, the mechanical and/or utility
3743 equipment shall be located beyond the midpoint of the structure if

- 3744 feasible and visual impact of the equipment shall be minimized by
3745 incorporating it as an element of the building or landscape design.
- 3746 b. Ground-level equipment shall be screened from view using
3747 landscape elements such as fences, low stone walls, or perennial
3748 plant materials.
- 3749 c. Low-profile rooftop mechanical units and elevator penthouses that
3750 are not visible from the primary public right-of-way shall be used.
3751 When this is not possible, rooftop equipment shall be set back or
3752 screen from all views. Placement of rooftop equipment shall be
3753 sensitive to views from upper floors or neighboring buildings.
- 3754 d. New communications equipment such as satellite dishes or
3755 antennae shall be visually minimized when viewed from the primary
3756 public right-of-way.
- 3757 e. Service equipment and trash containers shall be screened. Solid
3758 wood or masonry partitions or hedges shall be used to enclose
3759 trash areas.

3760 **4. Materials**

- 3761 a. Building materials shall be compatible in scale, proportion, texture,
3762 finish and color to materials used on Historic Structures in the
3763 Historic District. The dimensions of masonry units, wood siding, and
3764 other building materials shall be similar to those used historically.
- 3765 b. The primary siding material for new structures shall appear similar
3766 to those on historic structures in the Streetscape or character area.

3767 Historically, the most common material on primary structures was
3768 painted horizontal lap siding with a reveal between 6 to 8 inches.
3769 Secondary structures such as barns and sheds typically had siding
3770 of unpainted wood (horizontal lap or vertical board and batten) or
3771 corrugated metal panels.

3772 c. Building materials shall be applied in the manner similar to that
3773 used historically. Typically, a 'hierarchy' of building materials should
3774 be used, with heavier, more durable materials for foundations and
3775 more refined materials above foundations. Building materials,
3776 especially masonry, shall be used in the manner they were used
3777 historically.

3778 d. Synthetic building materials such as fiber cement or plastic-wood
3779 composite siding, shingles, and trim shall not be used unless the
3780 materials are made of a minimum of 50% recycled and/or reclaimed
3781 material and the applicant can demonstrate that use of the
3782 materials will not diminish the historic character of the Streetscape
3783 or character area by providing a sample of the material to the
3784 Planning Department for approval. Vinyl and aluminum siding are
3785 not appropriate in the Historic District.

3786 e. If synthetic materials are proposed, the synthetic material shall
3787 have a similar appearance and profile to historic siding and trim
3788 materials. Synthetic materials shall be applied as traditional

3789 materials were historically; it is not appropriate to introduce artificial
3790 patterns.

3791 **5. Paint and Color**

3792 a. Paint color is not regulated by the ~~[Design Guidelines]~~ Regulations.

3793 b. Original materials such as brick and stone that was historically left
3794 unpainted shall not be painted. ~~[Materials, such as wood, that are~~
3795 ~~traditionally painted shall have an opaque rather than transparent~~
3796 ~~finish.]~~

3797 ~~c. [Original material such as brick and stone that was historically left~~
3798 ~~unpainted shall not be painted. Materials, such as wood, that are~~
3799 ~~traditionally painted shall have an opaque rather than transparent~~
3800 ~~finish.]~~

3801 d. Rustic, unfinished wood siding is generally not appropriate on
3802 [Historic] houses, but may be appropriate on accessory structures
3803 or additions to ~~non~~-historic buildings. A transparent or translucent
3804 weather-protective finish shall be applied to wood surfaces that
3805 were not historically painted.

3806 e. Low-VOC (volatile organic compound) paints and finishes should
3807 be used when possible.

3808 **6. Garages**

3809 a. **Garages: General Compatibility**

3810 (1) If the lot size dictates that the garage must be located above,
3811 below, or adjacent to the primary living space, its visual
3812 impact should be minimized.

3813 (2) Single car wide tandem garages are recommended. Side-by-
3814 side parking configurations are strongly discouraged; if used,
3815 they shall be visually minimized when viewed from the
3816 primary public right-of-way.

3817 (3) Garages featuring a side-by-side parking configuration shall
3818 maintain a 2 foot horizontal offset in the front wall plane.

3819 (4) Single vehicle garage doors not greater than 9 feet wide by 9
3820 feet high shall be used to access the garage. Glazing on
3821 garage doors shall be limited to no more than 30% of garage
3822 door.

3823 (5) Carports shall be avoided.

3824 **b. Scenario 1: Detached Garages**

3825 (1) Garages shall be constructed as detached or semi-detached
3826 structures and located beyond the side-yard midpoint of the
3827 building or within the rear yard when feasible.

3828 (2) Single car wide tandem garages are recommended. Side-by-
3829 side parking configurations are strongly discouraged; when
3830 used, they shall be visually minimized when viewed from the
3831 primary public right-of-way.

3832 (3) Garages featuring a side-by-side parking configuration shall
3833 maintain a 2 foot horizontal offset in the front wall plane.

3834 (4) Single vehicle garage doors not greater than 9 feet wide by 9
3835 feet high shall be used to access the garage. Glazing on
3836 garage doors shall be limited to no more than 30% of garage
3837 door.

3838 (5) Carports should be avoided.

3839 (6) Detached garages shall be subordinate to the pedestrian
3840 entrance of the house. Where excavation is required for
3841 access to the garage, the pedestrian entrance should still be
3842 clearly articulated.

3843 **c. Scenario 2: Basement Level Attached or Detached Garages**

3844 (1) When construction of a detached garage is not feasible, a
3845 basement level garage may be considered, particularly on
3846 uphill lots.

3847 (2) A basement garage shall not extend beyond the exterior wall
3848 planes of a structure's primary or secondary facades.

3849 (3) In limited situations, site setbacks and topography may allow
3850 for a projecting garage without adversely affecting the
3851 historic character of the Streetscape or character area. In
3852 these cases, a stepped design with associated site grading
3853 and a landscaping plan may be considered.

3854 (4) The vertical façade of a basement garage that is visible from
3855 the primary public right-of-way shall be visually minimized. It
3856 is preferred that the garage opening be set back from the
3857 wall plane of the primary structure in order to diminish the
3858 presence of the garage.

3859 ~~(5) Window or egress wells, when needed, shall not be located~~
3860 ~~on the primary façade. Window or egress wells shall be~~
3861 ~~located beyond the midpoint of the secondary facades, on~~
3862 ~~the tertiary elevation, or in a location that is not visible from~~
3863 ~~the primary public right-of-way.~~

3864 (6) After construction of a basement garage, a site shall be re-
3865 graded to approximate the grading prior to the new
3866 construction.

3867 (7) A single-vehicle garage door not greater than 9 feet wide by
3868 9 feet high shall be used to access a basement garage
3869 addition.

3870 (8) Single-width car wide tandem garages are recommended.
3871 Side-by-side parking configurations are strongly
3872 discouraged; if used, they shall be visually minimized when
3873 viewed from the primary public right-of-way.

3874 (9) Garages featuring a side-by-side parking configuration, at a
3875 minimum, shall maintain a two (2) foot horizontal offset in the
3876 wall plane between the two garage doors.

3877 d. **Scenario 3: Attached Garages**

3878 (1) When construction of a detached garage is not feasible, an
3879 attached garage may be considered.

3880 (2) A single-vehicle garage door not greater than 9 feet wide by
3881 9 feet high shall be used to access a garage addition.

3882 (3) Single car wide tandem garages are recommended. Side-by-
3883 side parking configurations are strongly discouraged; if used,
3884 they shall be visually minimized when viewed from the
3885 primary public right-of-way.

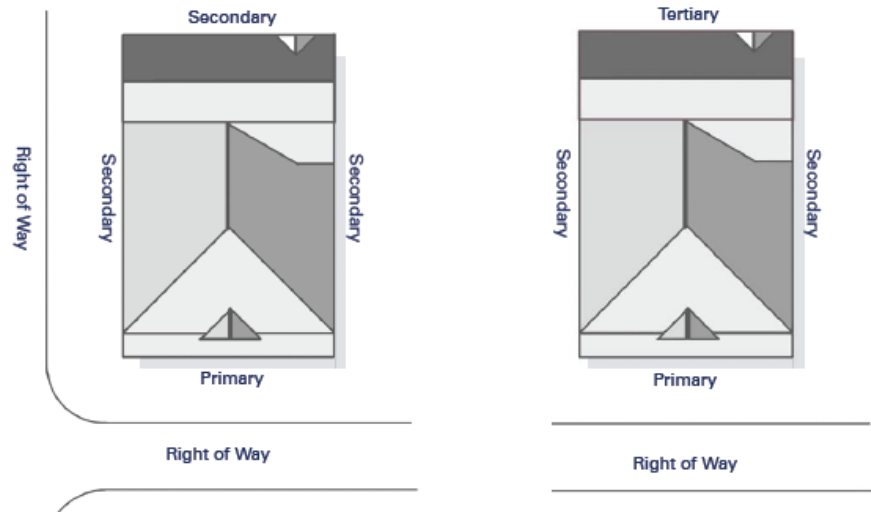
3886 (4) Garages featuring a side-by-side parking configuration shall
3887 maintain a 2 foot horizontal offset in the front wall plane.

3888 (5) Garages shall be subordinate to the pedestrian entrance of
3889 the house. Where excavation is required for access to the
3890 garage, the pedestrian entrance should still be clearly
3891 articulated. When excavation is not required, the pedestrian
3892 entrance shall be proud of the garage wall plane.

3893 **7. Decks**

3894 a. Decks shall be constructed in inconspicuous areas where visually
3895 minimized from the primary public right-of-way, usually on the
3896 tertiary façade. When built on a secondary façade of a new
3897 structure, a deck should be screened from the primary public right-
3898 of-way with fencing and/or appropriate native landscaping.

Facade Terminology



3899

3900

3901

3902

3903

3904

3905

3906

3907

3908

3909

3910

3911

3912

3913

3914

- b. The visual impact of a deck should be minimized by limiting its size and scale. Introducing a deck that visually detracts from a new structure, or substantially alters a site's proportion of built area to open space is not appropriate.
- c. Decks and related steps and railings shall be constructed of materials and in styles that are compatible with the structure to which they are attached as well as with the character of the Historic District as a whole.
- d. Decking materials such as fiber cement or plastic-wood composite floor boards shall not be used unless they are made of a minimum of 50% recycled and/or reclaimed materials.
- e. Significant site features, such as mature trees, shall be protected from damage during the construction of a deck by minimizing ground disturbance and by limiting use of heavy construction equipment.

3915
3916
3917
3918
3919
3920
3921
3922
3923
3924
3925
3926
3927
3928
3929
3930
3931
3932
3933
3934
3935
3936

8. Balcony and Roof Decks

- a. New balconies and roof decks shall be visually subordinate to the new building and shall be minimally visible from the primary public right-of-way.
- b. A new balcony shall be simple in design and compatible with the character of the Historic District. Simple wood and metal designs are appropriate for residential structures. Heavy timber and plastics are inappropriate materials.
- c. A roof deck shall be visually minimized when viewed from the primary public right-of-way.

9. New Accessory Structures

- a. New accessory structures on flat or downhill sites shall generally be located in the rear yard, unless located in a character zone with similar development patterns.
- b. New accessory structures may be located at the street front when a pattern of front yard historic accessory structures has been established along the street, and when the proposed placement of the accessory structure does not create a danger or hazard to traffic by obstructing the view on the street.
- c. Accessory structures (such as sheds and detached garages) shall be subordinate in scale to the primary structure.

10. Additions to Existing Non-Historic Structures

- 3937 a. An addition shall complement the visual and physical qualities of
3938 the existing structure.
- 3939 b. An addition shall be visually subordinate to the existing structure
3940 and shall be compatible with the scale of the historic buildings and
3941 structures in the Streetscape or character area. When the
3942 combined effects of the addition's footprint, height, mass, and scale
3943 are such that the overall size of the addition is larger than the
3944 existing structure, the volume of the addition shall be broken into
3945 modules that reflect the scale of those components seen on the
3946 existing structure. Multiple modules are encouraged to add
3947 articulation and architectural interest.
- 3948 c. Components and materials used on additions shall be similar in
3949 scale and size to those found on the existing structure.
- 3950 d. Windows, doors, and other features on a new addition shall be
3951 designed to be compatible with the existing structure and
3952 surrounding historic sites. Windows, doors, and other openings
3953 shall be of sizes and proportions similar to those found on the
3954 building as well as those found on historic structures in the Historic
3955 District. When using new window patterns and designs, those
3956 elements shall respect the typical historic character and proportions
3957 of windows on adjacent historic structures. Also, the solid-to-void
3958 relationships and detailing of an addition shall be compatible with

3959 the existing structure and with buildings within the Streetscape or
3960 character area.

3961 **11. Reconstruction of Non-Surviving Structures**

3962 a. Reconstruction of a documented but non-surviving historic structure
3963 that once existed in Park City is allowed when no existing building
3964 in Park City with the same historical significance has survived.

3965 b. Reconstruction may be allowed when documentary and physical
3966 evidence is available to facilitate an accurate reconstruction.

3967 c. Reconstruction shall not be based on conjectural designs or on a
3968 combination of different features from other historic buildings.

3969 d. Reconstruction shall include recreating the documented design of
3970 exterior features such as the roof shape, architectural detailing,
3971 windows, entrances and porches, steps and doors, and their
3972 historic spatial relationships.

3973 e. A reconstructed building shall accurately duplicate the appearance
3974 of the non-surviving historic property in materials, design, color, and
3975 texture.

3976 f. A reconstructed building shall duplicate the building, but also the
3977 setting, placement, and orientation of the non-surviving structure.

3978 g. A reconstruction shall re-establish the historic relationship between
3979 the building(s) and historic site features.

3980 h. A building may not be reconstructed on a location other than its
3981 original site.

3982 i. A building may not be reconstructed on a location other than its
3983 original site.

3984 HISTORY

3985 *Adopted by Ord. 2019-06 on 5/16/2019*

3986 **15-13-9 ~~Design Guidelines~~ Regulations For Historic Commercial Infill**

3987 **Construction**

3988 A. **Universal ~~Design Guidelines~~ Regulations**

3989

3990 1. New infill commercial buildings shall reflect the historic character—simple
3991 building forms, unadorned materials, restrained ornamentation—of Park
3992 City’s Historic Sites.

3993 2. New infill commercial buildings shall not directly imitate existing historic
3994 structures in Park City. Roof pitch, shape and configuration, as well as
3995 scale of building elements found on Historic Sites may be duplicated, but
3996 building elements such as moldings, cornice details, brackets, and porch
3997 supports shall not be directly imitated. Reconstructions of non-surviving
3998 historic buildings are allowed.

3999 3. A style of architecture shall be selected and all elevations of the infill
4000 commercial building shall be designed in a manner consistent with a
4001 contemporary interpretation of the selected style. Stylistic elements shall
4002 not simply be applied to the exterior. Styles that radically conflict with the

4003 character of Park City’s Historic Sites shall be avoided. Styles that never
4004 appeared in Park City shall be avoided.

4005 4. New infill commercial buildings shall differentiate from historic structures
4006 but shall be compatible with historic structures in materials, features, size,
4007 scale, and proportion, and massing to protect the integrity of the Main
4008 Street Historic District as a whole. The massing of new infill commercial
4009 buildings shall be further broken up into volumes that reflect the original
4010 massing of historic buildings; larger masses shall be located at the rear of
4011 the site.

4012 5. Building and site design shall respect the existing topography and
4013 character-defining site features (including existing trees and vegetation)
4014 and shall minimize cut, fill, and the use of retaining walls.

4015 6. Exterior elements—roofs, entrances, eaves, chimneys, porches, windows,
4016 doors, steps, retaining walls, garages, etc.—shall be of human scale and
4017 shall be compatible with neighboring Historic Sites.

4018 7. Scale and height of new infill commercial structures ~~should~~ shall follow
4019 the predominant pattern and respect the architecture of the Streetscape or
4020 character area with special consideration given to Historic Sites.

4021 8. Size and mass of a structure shall be compatible with the size of the site
4022 so that site coverage, and building bulk and mass are compatible with
4023 Historic Sites within the Streetscape or character area.

4024 9. New construction activity shall not physically damage nearby Historic
4025 Sites.

4026 10. New infill commercial buildings shall reinforce visual unity within the
4027 context of the Historic District but also within the context of the
4028 Streetscape or character area. The specific context of the Streetscape or
4029 character area is an important feature of the Historic District. The context
4030 of each Streetscape or character area shall be considered in its entirety,
4031 as one would see it when standing on the street viewing both sides of the
4032 street for the entire length of the Streetscape or character area. Special
4033 consideration should be given to adjacent and neighboring Historic Sites
4034 in order to reinforce existing rhythms and patterns.

4035 11. New materials should reflect the character of the Historic District.
4036 Sustainable technology is constantly changing resulting in new alternative
4037 materials. New alternative materials may be reviewed by the Design
4038 Review Team for compliance being judged on the following
4039 characteristics: • Longevity (50 year lifespan) • Energy performance •
4040 Durable in this climate • Environmental benefit (high recycled content,
4041 locally sourced) • Compatibility with the character of the Historic District

4042 **B. Specific ~~[Design Guidelines]~~ Regulations**

4043 **1. Site Design**

4044 **a. Setback and Orientation**

4045 (1) Site coverage of new infill commercial buildings shall be
4046 compatible with the adjacent and neighboring Historic Sites.

4047 (2) Locate Structures shall be located on a site in a way that
4048 follows the predominant pattern of historic buildings along

4049 the street, maintaining traditional setbacks, orientation of
4050 entrances, and alignment along the street.

4051 (3) The historic town grid shall be preserved by retaining the
4052 formal street pattern, maintaining historic lot sizes rather
4053 than aggregating historic-sized lots into larger lots, and
4054 preserving the regular rhythm and pattern of lot sizes in a
4055 way that reinforces the perception of the grid.

4056 (4) A new building shall be oriented parallel to the site's lot lines
4057 similar to that of historic building orientations. New buildings,
4058 in general, shall be constructed in line with adjacent historic
4059 structures and shall avoid large setbacks that disrupt the
4060 continuity of the historic street wall.

4061 (5) Side yard setbacks similar to those seen historically in the
4062 Streetscape or character area shall be established in order
4063 to reinforce the pattern of built and open space. The historic
4064 rhythm of the building spacing of the adjacent and
4065 neighboring historic buildings as well as the immediate block
4066 shall be especially considered.

4067 (6) New commercial infill buildings shall have a clearly defined
4068 primary entrance oriented toward the street consistent with
4069 historic buildings in the Historic District. Entrances on the
4070 secondary or tertiary facades of a building shall be clearly
4071 subordinate to the entrance on the primary façade.

4072
4073
4074
4075
4076
4077
4078
4079
4080

b. Topography and Grading

- (1) The natural topography and original grading of a site shall be maintained when feasible.
- (2) Building and site design shall respond to natural features. New buildings ~~[should]~~ shall step down or up to follow the existing contours of steep slopes.
- (3) A new site's natural slope shall be respected in a new building design in order to minimize cuts into hillsides, minimize fill, and minimize retaining walls.



4081
4082
4083
4084
4085
4086
4087
4088
4089

c. Landscaping and Vegetation

Historically, commercial buildings were built to setbacks and did not include open space areas for landscaping. Please see ~~(Regulations) Design Guidelines~~ for Infill Residential Buildings for specific ~~(requirements) guidelines~~ regarding Retaining Walls; Fences; Paths, Steps, Handrails & Railings (Not associated with Porches); and Gazebos, Pergolas, and other Shade Structures.

4090
4091
4092
4093
4094
4095
4096
4097
4098
4099
4100
4101
4102
4103
4104
4105
4106
4107
4108
4109
4110
4111

While many new commercial infill projects may not require landscaping, if built to setbacks, those that have space for landscaping shall comply with the following ~~Design Guidelines~~:

- (1) Existing landscape features that contribute to the character of the Historic District and existing landscape features that provide environmental sustainability benefits shall be respected and maintained.
- (2) Established on-site native plantings shall be maintained. During construction, established vegetation shall be protected to avoid damage. Damaged, aged, or diseased trees shall be replaced as necessary. Vegetation that may encroach upon or damage a new building may be removed, but shall be replaced with similar vegetation near the original location.
- (3) A detailed landscape plan, particularly for areas viewable from the primary public right-of-way, that respects the manner and materials traditionally used in the Historic District shall be provided. When planning for the long-term sustainability of a landscape system, all landscape relationships on the site, including those between plantings and between the site and its structure(s) shall be considered.

4112 (4) Landscape plans shall balance water efficient irrigation
4113 methods and drought tolerant and native plant material with
4114 existing plant material and site features that contribute to the
4115 character of the Historic District.

4116 (5) Storm water management features such as gutters and
4117 downspouts as well as site topography and vegetation that
4118 can improve the environmental sustainability of a site shall
4119 be used to advantage.

4120 (6) The use of Water Wise Landscaping or permaculture
4121 strategies for landscape design shall be considered in order
4122 to maximize water efficiency. Where watering systems are
4123 necessary, systems that minimize water loss such as drip
4124 irrigation shall be used. These systems shall be designed to
4125 minimize their appearance from areas viewable from the
4126 primary public right-of-way.

4127 **d. Sidewalks, Plazas, and Other Street Improvements**

4128 (1) All Streetscape or character area elements should work
4129 together to create a coherent visual identity and public
4130 space. The visual cohesiveness and historic character of a
4131 site shall be maintained through the use of complementary
4132 materials.

4133 (2) Street furniture, trash receptacles, bike racks, planters and
4134 other elements shall be simple in design and compatible with

4135 the appearance and scale of adjacent buildings and public
4136 spaces.

4137 (3) New plazas that are being considered shall be well planned
4138 for intended uses, such as concerts or other events, and
4139 shall be well designed for maintenance and durability.

4140 (4) Existing, alleys, staircases, and pedestrian tunnels shall be
4141 maintained where feasible.

4142 **e. Parking Areas and Driveways**

4143 (1) Off-street parking areas shall be located within the rear yard
4144 and beyond the rear wall plane of the primary structure.

4145 Providing a driveway along the side yard of a site shall be
4146 considered when feasible. When locating a parking area in
4147 the rear yard is not physically possible, the off street parking
4148 area and associated vehicles shall be visually buffered from
4149 adjacent properties and the primary public right-of-way.

4150 (2) Parking areas and vehicular access shall be visually
4151 subordinate to the character-defining Streetscape or
4152 character area elements.

4153 (3) The visual impact of on-site parking shall be minimized by
4154 incorporating landscape treatments for driveways, walkways,
4155 paths, and structures in a comprehensive, complementary
4156 and integrated design.

4157 (4) Landscaped separations shall be provided between parking
4158 areas, drives, service areas, and public use areas like
4159 walkways, plazas, and vehicular access points. When plant
4160 materials are used for screening, they shall be designed to
4161 function year-round.

4162 (5) When locating new off-street parking areas and driveways,
4163 the existing topography of a building site and significant site
4164 features shall be minimally impacted.

4165 (6) ~~[Ten foot (10') wide driveways are encouraged; however,]~~
4166 ~~[a]N~~ew driveways shall not exceed ~~[ten 4210]~~ feet in width.
4167 Shared driveways shall be used when feasible.

4168 (7) Textured and poured paving materials other than smooth
4169 concrete shall be considered for driveways that are visible
4170 from the primary public right-of-way. To manage storm water
4171 permeable paving shall be used when appropriate;
4172 permeable paving may not be appropriate for all driveways
4173 and parking areas.

4174 (8) Consider avoiding paving up to a building foundation in order
4175 to reduce heat-island effect, building temperature increase,
4176 damage to the foundation, and storm-water runoff problems.

4177 (9) On-site storage for snow from driveways shall be provided.

4178 2. Primary Structures

4179 a. Mass, Scale, and Height

- 4180 (1) Historic height, width, and depth proportions are important in
4181 creating compatible infill and new design shall reflect the
4182 historic mass and scale of commercial buildings in the
4183 Historic District.
- 4184 (2) The size and mass of a new infill commercial building, in
4185 relation to open spaces, shall be visually compatible with
4186 adjacent historic buildings and historic structures in the
4187 surrounding Historic District.
- 4188 (3) Buildings that utilize traditional commercial building forms—
4189 false-front, one-part or two-part block, or central block with
4190 wings—are encouraged.
- 4191 (4) Building features such as storefronts, upper story windows,
4192 cornices, and balconies shall be aligned with similar historic
4193 building features in the Historic District. Generally, these
4194 elements should align in relation to the topography to allow
4195 these elements to —step up or —step down the Streetscape
4196 or character area. The step effect is reinforced by a standard
4197 first floor height—which shall be maintained—made evident
4198 with the use of cornices, moldings and other façade
4199 treatments.
- 4200 (5) Buildings constructed on sites greater than 25 feet wide shall
4201 be designed so the facades visible from the primary public

4202 right-of-way reinforce the rhythm along the street in terms of
4203 historic building width, depth, and patterns within the façade.

4204 (6) Regardless of lot frontage, the primary façade shall be
4205 compatible with the width of adjacent and neighboring
4206 historic buildings. The width of a new building shall not
4207 appear to be noticeably greater than historic buildings in the
4208 Streetscape or character area. Modules on a primary façade
4209 shall generally not exceed 25 to 50 feet in width, reflective of
4210 historic commercial buildings in the Historic District.

4211 (7) A larger building shall be divided into modules that reflect the
4212 mass, scale, proportions, and size of historic buildings within
4213 the Streetscape or character area. Modules shall be clearly
4214 expressed throughout the entire building and a single form
4215 shall remain the dominant element so the overall mass does
4216 not become too fragmented. To minimize the scale
4217 perceived from the primary public right-of-way, stepping
4218 down the mass of a larger building shall be considered.

4219 (8) Larger-scaled projects shall also include variations in roof
4220 height in order to break up the form, mass and scale of the
4221 overall structure.

4222 (9) When the overall length of a new structure along the
4223 streetfront is greater than that seen historically, the design
4224 shall employ methods—changes in wall plane, roof heights,

4225 use of modules, etc.--to diminish the visual impact of the
4226 overall building mass, form and scale.

4227 (10) New buildings shall not be significantly taller or
4228 shorter than adjacent historic buildings. The Primary façade
4229 of the new building shall be limited to one to two stories in
4230 height. Special consideration shall be given to the wall
4231 heights of adjacent historic structures.

4232 (11) Primary facades shall be limited to one to two stories
4233 in height. Special consideration shall be given to the wall
4234 heights of neighboring and adjacent historic structures to
4235 reinforce the pattern of wall heights of the Historic District.

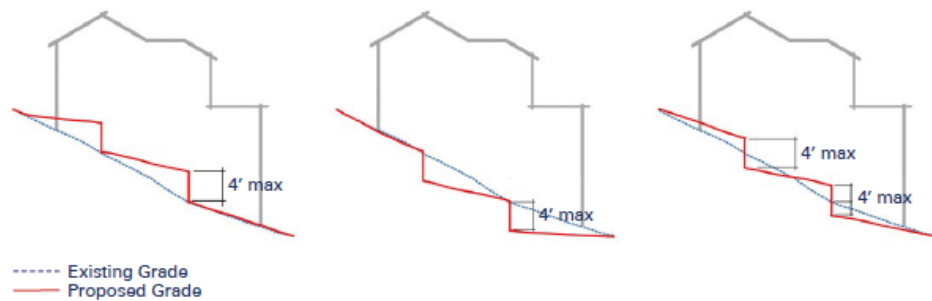
4236 (12) Variation in building height may be considered
4237 regarding topography. The facades of taller buildings shall
4238 still express a human scale.

4239 (13) New construction on corner lots shall reinforce the
4240 street wall, but where appropriate, may be designed to
4241 define public plazas and public gathering places.

4242 **b. Foundation**

4243 (1) Foundation materials shall be simple in form and minimally
4244 visible above grade when viewed from the primary public
4245 right-of-way. Acceptable foundation materials may include
4246 stone and concrete, wood lattice and vertical boards. A clear

4247 distinction between foundation and wall material shall be
4248 made. Clapboard siding shall not extend to the ground.
4249 (2) A site shall be returned to exiting grade following
4250 construction of a foundation. When existing grade cannot be
4251 achieved, no more than eight inches (8") of the new
4252 foundation shall be visible above final grade on the primary
4253 façade. No more than two (2) feet of the new foundation
4254 shall be visible above final grade on secondary and tertiary
4255 facades.



4256
4257 **c. Storefronts**
4258 (1) Street-facing primary façades of new commercial infill shall
4259 be distinguished by well-defined storefront elements,
4260 including storefront entryway, ample-sized windows, and
4261 appropriate decorative elements. Storefronts on new infill
4262 shall have rhythm and pattern similar to that of the historic
4263 Streetscape or character area.

4264 (2) Historic storefronts were built using standard dimensions for
4265 kick plates or bulkheads and display windows so the first
4266 story of historic commercial buildings have similar heights.
4267 When storefronts are situated on steep-sloped Main Street,
4268 the result is a stair-step effect.

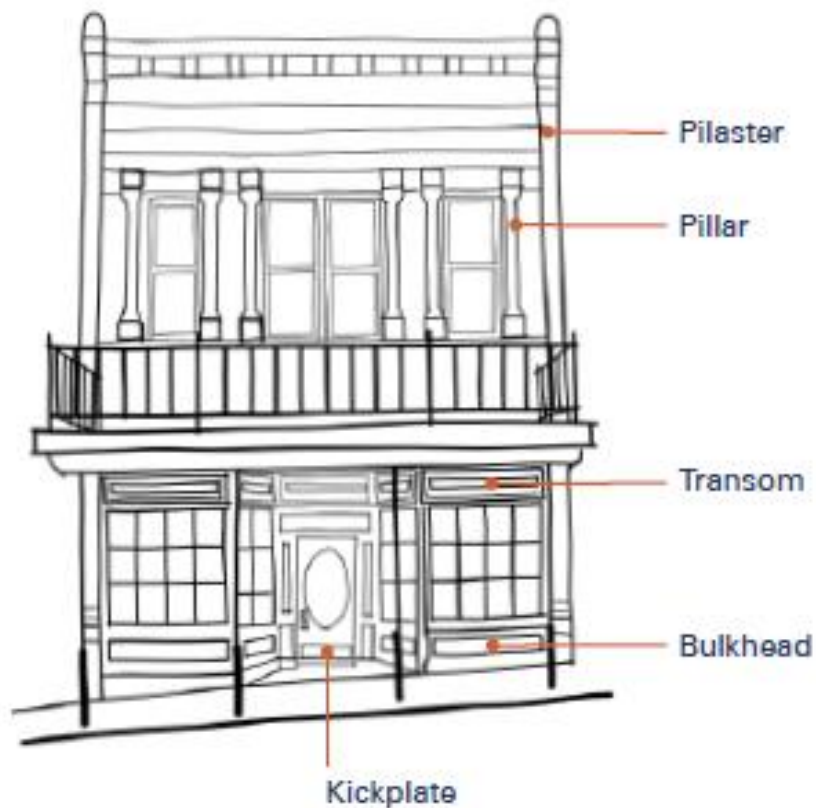
4269 (3) This stair-step effect is an important visual pattern of the
4270 Historic District and shall be repeated on new commercial
4271 infill construction.

4272 (4) Recessed entries on new commercial facades fronting on
4273 Main Street and in adjoining commercial areas are
4274 encouraged.

4275 (5) Windows on new storefronts shall be used extensively and in
4276 keeping with the architectural style of the historic structure.
4277 Design and scale shall be maintained in the tradition of
4278 historic storefronts with extensive street-level window area.

4279 (6) Generally, two-thirds (2/3) or more of storefront areas may
4280 be glass. The solid-to-void ratio of a new storefront shall be
4281 similar to that of the historic structure.

Storefront Elements



4282

4283

d. Awnings

4284

(1) Awnings may be appropriate for use on the street level

4285

façade. If used, they should be placed in locations

4286

historically used for awnings. Storefronts and upper façade

4287

windows are both appropriate locations for new awnings.

4288

(2) Shed-type awnings are the most appropriate for use on both

4289

street-level facades and upper facades. Alternative awning

4290

forms may be considered if their use complements the

4291

design of the building.

4292 (3) Awnings may contain graphics or signs, but shall not be
4293 backlit. Spotlighting awnings from above shall be avoided.

4294 (4) Awnings shall not shed an excessive amount of rain or snow
4295 onto a sidewalk or other pedestrian paths.

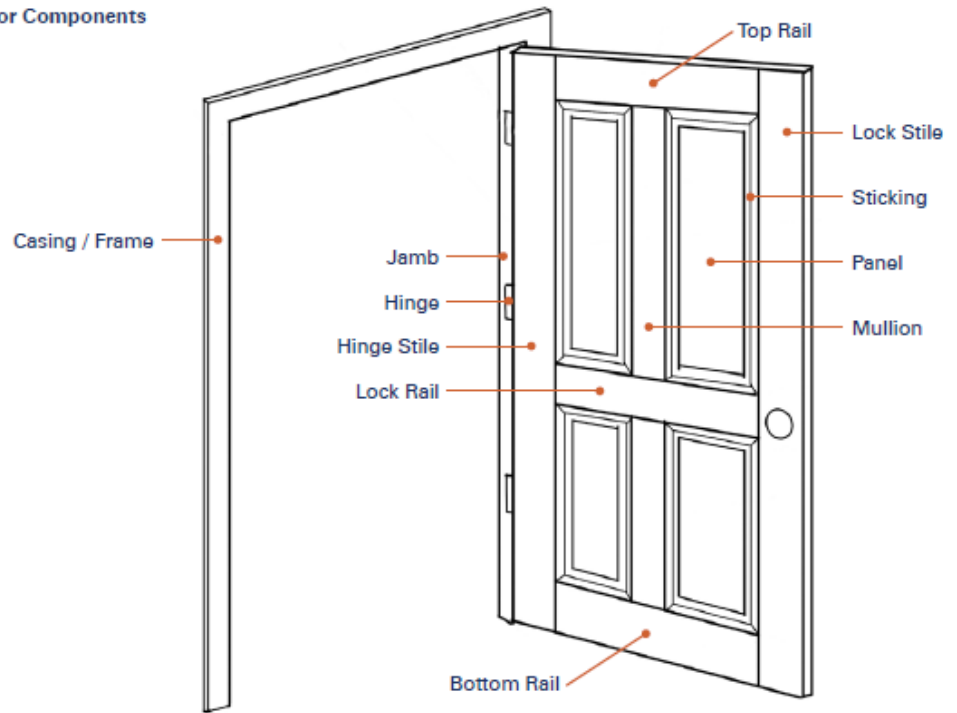
4296 **e. Doors**

4297 (1) The historic pattern of principal doorways along the street
4298 shall be maintained. All buildings that face the street shall
4299 have a well-defined primary entrance.

4300 (2) New doors shall be similar in location, size, and material to
4301 those seen traditionally in the Historic District. Doors shall be
4302 compatible with the style of both the new building and
4303 historic buildings in the Main Street Historic District.

4304 (3) Doors shall be designed and finished with trim elements
4305 similar to those used historically. Paneled doors, used singly
4306 or in pairs, were typical and many had vertical panes of
4307 glass as well as transom lights over the doors. Scalloped,
4308 Dutch, and Colonial doors are not appropriate on most
4309 primary and secondary facades.

Door Components



4310

4311

f. **Windows**

4312

(1) Ratios of solid-to-void that are compatible with adjacent and

4313

neighboring historic buildings shall be used. Window

4314

openings shall be similar in location, size, and scale to those

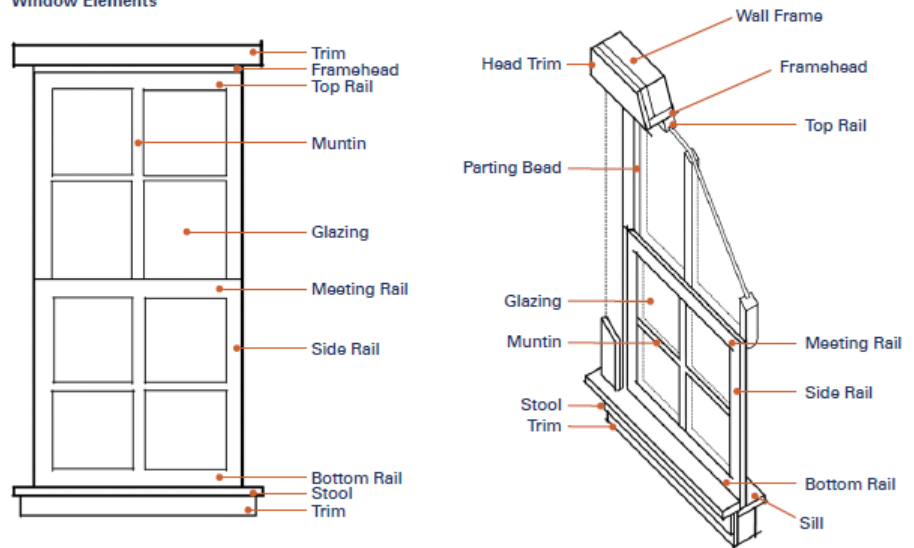
4315

found on historic commercial buildings. Except for

4316

storefronts, large expanses of glazing are inappropriate.

Window Elements



4317

4318

4319

4320

4321

4322

4323

4324

4325

4326

4327

4328

4329

4330

(2) Windows shall be proportional to the scale and style of the building and shall be compatible with the historic commercial buildings in the Historic Districts. Window types and glazing patterns shall also be compatible with those seen on historic commercial structures.

(3) Upper story windows with vertical emphasis are encouraged. The general rule is the window height shall be twice the dimension of the width (commonly referred to as 2:1 ratio). Double-hung, vertically proportioned windows similar to those used historically are particularly encouraged. Windows with traditional depth and trim are preferred.

(4) The number of different window sizes and styles on a building shall be limited.

4331 (5) Wood or metal windows similar to those used historically are
4332 preferred, but aluminum-clad wood windows are also
4333 appropriate. Vinyl and aluminum windows are inappropriate.

4334 (6) New glazing shall match the appearance of historic glazing
4335 and/or shall be clear. Metallic, frosted, tinted, stained,
4336 textured and reflective finishes are generally inappropriate
4337 for glazing on the primary façade.

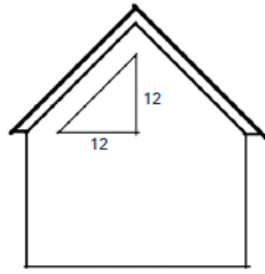
4338 (7) Window muntins shall be true divided lights or simulated
4339 divided lights on both sides of the glass. Snap-in muntins are
4340 inappropriate.

4341 **g. Roofs**

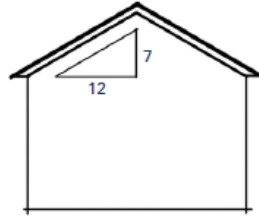
4342 (1) Roofs of new commercial infill buildings shall be visually
4343 compatible with roof shapes and orientation of neighboring
4344 and adjacent historic commercial **[buildings]** that contribute
4345 to the character of the Historic Districts. Simple roof forms—
4346 flat, gable, shed—are appropriate. Roofs composed of a
4347 combination of roof planes, but simple in form, are also
4348 encouraged.

4349 (2) Roof pitch shall be consistent with the style of architecture
4350 chosen for the structure and with the **[the]** adjacent and
4351 neighboring commercial buildings that contribute to the
4352 character of the Historic Districts, with special consideration
4353 given to Historic Sites.

12:12 Roof Pitch Ratio



7:12 Roof Pitch Ratio



Flat Roof Pitch



4354

4355

(3) The alignment that is created by similar heights of primary roofs among historic buildings shall be maintained. The similarity of heights in building features contributes to the visual continuity along the Streetscape or character area.

4356

4357

4358

4359

(4) Overhanging eaves, use of bargeboards, soffits, fascia boards, and brackets that are consistent with the style of architecture of the new building and that are compatible with adjacent and neighboring commercial buildings shall be incorporated.

4360

4361

4362

4363

4364

(5) Roofs shall be designed to minimize snow shedding onto adjacent sites and/or pedestrian paths. Crickets, saddles, or other snow-guard devices shall be placed so they do not significantly alter the form of the roof as seen from the primary public right-of-way.

4365

4366

4367

4368

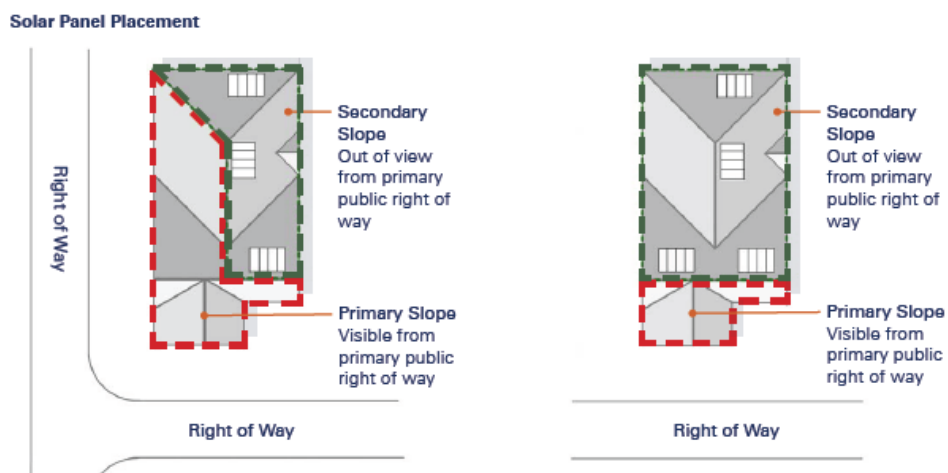
4369

(6) New roof features, such as photovoltaic panels (solar panels), skylights, ventilators, and mechanical or communication equipment shall be visually minimized from

4370

4371

4372 the primary public right-of-way so as not to compromise the
4373 architectural character of the structure. Roof-mounted
4374 features like photovoltaic panels (solar panels) and skylights
4375 should be installed parallel to the roof plane when feasible.



4376

4377 (7) Roof materials shall appear similar to those seen historically.

4378 Asphalt shingles may be considered. Metal sheeting or

4379 standing seam metal roofs with a baked-on paint finish and

4380 galvanized or rusted steel sheeting are generally

4381 appropriate. Roof membranes shall generally not be white.

4382 Roofs shall have matte finishes to minimize glare. Roof

4383 colors shall be neutral and muted and materials shall not be

4384 reflective.

4385 h. Dormers

4386 (1) If used, dormers shall be modest in size and fit the scale of

4387 the commercial building and the roof form. The number and

4388 size of dormers shall be limited on a roof, such that the
4389 primary roof form remains prominent. Dormers shall be used
4390 with restraint, in keeping with the simple character of
4391 buildings in Park City.

4392 (2) Dormers shall be visually minimized from primary public
4393 right-of-way. Gabled, hipped, or shed dormers are
4394 appropriate for most structures and shall be in keeping with
4395 the character and scale of the structure.

4396 (3) Dormers shall be setback from the main wall of the building.

4397 (4) A new dormer shall be lower than the primary ridge line of
4398 the associated roof form and set in from the eave of the
4399 building.

4400 **i. Balconies and Roof Decks**

4401 (1) New balconies and roof decks shall be visually subordinate
4402 to the new building and shall be minimally visible from the
4403 primary public right-of-way.

4404 (2) A new balcony shall be simple in design and compatible with
4405 the character of the Historic Districts. Simple wood and
4406 metal designs are appropriate for commercial structures.
4407 Heavy timber and plastics are inappropriate materials.

4408 (3) A roof deck shall be visually minimized when viewed from
4409 the primary public right-of-way. Consider minimalizing its

4410 visual appearance by hiding rooftop decks behind parapets
4411 and/or setting rooftop decks back from the primary façade.

4412 **j. Decks, Fire Escapes, and Exterior Staircases**

4413 (1) Decks, fire escapes, and exterior staircases shall be
4414 constructed in inconspicuous areas where visually minimized
4415 from the primary public right-of-way, usually on the tertiary
4416 facade.

4417 (2) The visual impact of a deck, fire escape, or exterior staircase
4418 shall be minimized by limiting its size and scale. Introducing
4419 a deck, fire escape, or exterior staircase that visually
4420 detracts from the architectural character of the building, or
4421 substantially alters a site's proportion of built area to open
4422 space is not appropriate.

4423 (3) Decks, fire escapes, and related exterior steps and railings
4424 shall be constructed of materials and in styles that are
4425 compatible with the existing building.

4426 (4) Decking materials such as fiber cement or plastic-wood
4427 composite floor boards shall not be used unless they are
4428 made of a minimum of 50% recycled and/or reclaimed
4429 material.

4430 **k. Gutters and Downspouts**

4431 (1) Downspouts shall be located away from architectural
4432 features and shall be visually minimized when viewed from
4433 the primary public right-of-way.

4434 **I. Architectural Features**

4435 (1) Simple ornamental trim and decoration is in character with
4436 historic architectural ornamentation and is encouraged.
4437 Traditional locations for architectural ornamentation are
4438 porches and eaves. Other details like eave depth, mullions,
4439 corner boards, and brackets that lend character to historic
4440 commercial buildings shall be considered.

4441 **3. Mechanical Systems, Utility Systems, and Service Equipment**

4442 a. Mechanical and/or utility equipment, including heating and air
4443 conditioning units, meters, and exposed pipes, shall be located on
4444 the back of the building, roof, or another inconspicuous location. If
4445 equipment is located on a secondary façade it should be placed
4446 behind the midpoint or in a location that is not visible from the
4447 primary public right-of-way.

4448 b. Ground-level equipment shall be screened from view using
4449 landscape elements such as fences, low stone walls, or perennial
4450 plant materials.

4451 c. Low-profile rooftop mechanical units and elevator penthouses that
4452 are not visible from the primary public right-of-way shall be used.
4453 When this is not possible, rooftop equipment shall be set back or

- 4454 screened from all views. Placement of rooftop equipment shall be
4455 sensitive to views from upper floors of neighboring buildings.
- 4456 d. New communications equipment such as satellite dishes or
4457 antennae shall be visually minimized when viewed from the primary
4458 public right-of-way.
- 4459 e. Service equipment and trash containers shall be screened. Solid
4460 wood or masonry partitions or hedges shall be used to enclose
4461 trash areas.
- 4462 f. Loading docks shall be located and designed in order to minimize
4463 their visual impact.

4464 **4. Materials**

- 4465 a. Building materials shall be compatible in scale, proportion, texture,
4466 finish and color to materials used on Historic Structures in the Main
4467 Street Historic District. The dimensions of masonry units, wood
4468 siding, and other building materials shall be similar to those used
4469 historically.
- 4470 b. The primary siding material for new buildings shall appear similar to
4471 those on historic commercial structures in the Historic Districts.
4472 Historically, the most common material on primary structures was
4473 painted horizontal lap siding with a reveal between 6 to 8 inches.
4474 Secondary structures such as barns and sheds typically had siding
4475 of unpainted wood (horizontal lap or vertical board and batten) or
4476 corrugated metal panels.

4477 c. Building materials shall be applied in the manner to that used
4478 historically. Typically, a hierarchy of building materials should be
4479 used, with heavier, more durable materials for foundations and
4480 more refined materials above foundations. Building materials,
4481 especially masonry, shall be used in the manner they were used
4482 historically.

4483 d. Synthetic materials such as fiber cement or plastic-wood composite
4484 siding, shingles, and trim shall not be used unless the materials are
4485 made of a minimum of 50% recycled and/or reclaimed materials
4486 and the applicant can demonstrate that use of the materials will not
4487 diminish the historic character of the Streetscape or character area
4488 by providing a sample of the material to the Planning Department
4489 for approval. Vinyl and aluminum siding are not appropriate in the
4490 Historic District.

4491 e. If synthetic materials are proposed, the synthetic material shall
4492 have a similar appearance and profile to historic siding and trim
4493 materials. Synthetic materials shall be applied as traditional
4494 materials were historically; introducing artificial patterns is not
4495 appropriate.

4496 5. **Paint and Color**

4497 a. Paint color is not regulated by the ~~Design Guidelines~~ Regulations.

4498 b. Original material such as brick and stone that ~~are~~ was historically
4499 left unpainted shall not be painted. ~~Materials, such as wood, that~~

4500 ~~are traditionally painted shall have an opaque rather than~~
4501 ~~transparent finish.~~

4502 c. Rustic unfinished wood siding is generally not appropriate on
4503 commercial buildings, but may be appropriate on accessory
4504 structures or additions to non-historic buildings. A transparent or
4505 translucent weather-protective finish shall be applied to wood
4506 surfaces that were not historically painted.

4507 d. Low-VOC (volatile organic compound) paints and finishes should
4508 be used when possible.

4509 **6. Additions to Existing Non-Historic Structures**

4510 a. An addition shall complement the visual and physical qualities of
4511 the existing structure.

4512 b. An addition shall be visually subordinate to the existing building and
4513 shall be compatible with the scale of the historic buildings in the
4514 Streetscape or character area. When the combined effects of the
4515 addition's footprint, height, mass, and scale are such that the
4516 overall size of the addition is larger than the existing structure, the
4517 volume of the addition shall be broken into modules that reflect the
4518 scale of those components seen on the existing structure. Multiple
4519 modules are encouraged to add articulation and architectural
4520 interest.

4521 c. Components and materials used on additions shall be similar in
4522 scale and size to those found on the existing structure.

4523 d. Windows, doors, and other features on a new addition shall be
4524 designed to be compatible with the existing building as well as
4525 adjacent and neighboring historic sites. Windows, doors, and other
4526 openings shall be of sizes and proportions similar to those found on
4527 the building as well as those found on historic structures in the
4528 Historic District. When using new window patterns and designs,
4529 those elements shall respect the typical historic character and
4530 proportions of windows on adjacent and neighboring historic
4531 structures. Also, the solid-to-void relationships and detailing of an
4532 addition shall be compatible with the existing structure and with
4533 historic buildings in the Historic District.

4534 **7. Reconstruction of Non-Surviving Structures**

- 4535 a. Reconstruction of a documented but non-surviving historic structure
4536 that existed in Park City is allowed when no existing building in
4537 Park City with the same historical significance has survived.
- 4538 b. Reconstruction may be allowed when documentary and physical
4539 evidence is available to facilitate an accurate reconstruction.
- 4540 c. Reconstruction shall not be based on conjectural designs or on a
4541 combination of different features from other historic buildings.
- 4542 d. Reconstruction shall include recreating the documented design of
4543 exterior features such as the roof shape, architectural detailing,
4544 windows, entrances and porches, steps and doors, and their
4545 historic spatial relationships.

- 4546 e. A reconstructed building shall accurately duplicate the appearance
4547 of the non-surviving historic property in materials, design, color, and
4548 texture.
- 4549 f. A reconstructed building shall duplicate not only the building, but
4550 also the setting, placement, and orientation of the non-surviving
4551 structure.
- 4552 g. A reconstruction shall re-establish the historic relationship between
4553 the building or buildings and historic site features.
- 4554 h. A building may not be reconstructed on a location other than its
4555 original site.

4556 **8. ADA in New Residential and Commercial Infill Buildings**

- 4557 a. The Americans with Disabilities Act requires places of public
4558 accommodation to provide access to their services and programs.
4559 In the case of historic buildings, the goal is to achieve the highest
4560 level of accessibility with the lowest impact on the historic structure.
- 4561 (1) Whenever possible, the appearance of accessibility ramps or
4562 elevators shall not significantly detract from the historic
4563 character of the Historic District. New or additional means of
4564 access shall be compatible with the new building and its
4565 setting.
- 4566 (2) Ramps or other accessibility-related installations shall be
4567 simple in design and as unobtrusive as possible. They shall

4568 be constructed of concrete or wood and painted in colors
4569 similar to that of the new building.

4570 **9. Exterior Lighting**

- 4571 a. Exterior light fixtures shall be compatible with the building's style,
4572 period and materials, but shall also be down-directed and shielded.
- 4573 b. Exterior lighting schemes ~~[should]~~ shall compliment the overall
4574 building and site design.
- 4575 c. Indirect lighting shall be used to identify entrances and to illuminate
4576 signs.
- 4577 d. Warm tones in energy efficient lighting shall be used as a
4578 proliferation of cool tones could alter the Streetscape or character
4579 area.
- 4580 e. Security lighting shall be shielded from adjacent uses so as to
4581 prevent off-site glare.

Historic Preservation Board Staff Report



Subject: Standards for Temporary Structures in Historic Districts
Application: PL-23-05963
Author: Planning Team
Date: December 6, 2023
Type of Item: Legislative – Land Management Code Amendments

Recommendation

Conduct a work session on proposed Land Management Code amendments regarding standards for Temporary Structures located within Historic Districts and provide input.

Description

Applicant: Planning Department

Zoning Districts: Historic Residential Low – Density
Historic Residential – 1
Historic Residential – 2
Historic Residential Medium
Historic Commercial Business
Historic Recreation Commercial

Land Management Code Sections Enacted: 15-13-10 *Standards for Temporary Structures in Historic Districts*

Reason for Review: The Historic Preservation Board is tasked with recommending ordinances that encourage Historic Preservation to the Planning Commission and City Council.¹ Additionally, the Board is responsible for creating and updating comprehensive design regulations for Historic Districts and Historic Sites.

The Planning Commission reviews and forwards a recommendation to the City Council for Land Management Code amendments; the City Council takes Final Action.²

Background

On July 27, 2006, the Historic Preservation Board conducted a joint work session with the Planning Commission to discuss Temporary Winter Balcony Enclosures ([Staff Report](#);

¹ LMC [Section 15-11-5](#)

² LMC [Section 15-1-7](#)

[Minutes](#), p. 2-11). The Board and Commission collectively supported enacting design standards for temporary structures in the Historic Districts, whether standalone or attached to an existing building.

The Historic Preservation Board is tasked with preserving the Historic Character of Park City by enacting design standards that ensure compatible design and construction in Historic Districts and on Historic Sites.³ The Design Guidelines for Historic Districts and Historic Sites were originally enacted in 1983 and underwent a large-scale update in 2014. Since then, periodic updates have been made to the design regulations as needed.

The Planning Team reviewed the comments from the Historic Preservation Board and Planning Commission and drafted proposed standards for temporary structures located within Historic Districts. In developing these proposed standards, the Planning Team researched other resort communities' requirements for temporary structures. Staff found other resort communities' codes address temporary tents but not other temporary structures such as igloos or balcony enclosures. Ordinances outlined the dates in which temporary tents can be erected and the licensing requirements they must go through, but no additional design regulations are codified.

The proposed design standards outline the materials, glazing, lighting, and ornamentation utilized in temporary structures within the City's Historic Districts. The proposed standards also prohibit additional signage on Temporary Structures.

Once updated regulations are refined, staff will conduct outreach with stakeholders in the Historic Districts and will then return with draft LMC amendments for Board review and recommendation to the Planning Commission.

Department Review

The Planning Department and City Attorney's Office reviewed this report.

Exhibit

Exhibit A: Draft Standards for Temporary Structures in Historic Districts

³ LMC [§ 15-11-5](#)

15-13-10 Standards for Temporary Structures in Historic Districts

A. Applicants shall obtain a permit for all Temporary Structures pursuant to Section 15-4-16. Outdoor Dining uses must also obtain approval in accordance with Sections 15-2.3-2, 15-2.4-2, 15-2.5-2, and 15-2.6-2.

B. Universal Requirements

1. Materials

a. Temporary Structures shall be constructed of durable, weatherproof materials which comply with LMC § 15-5-5. Damaged materials shall be replaced or repaired as necessary to maintain the health and safety of the occupants and the appearance of the Structure.

b. Wall and roofing materials shall be non-reflective with a Solar Reflectivity Index (SRI) score of 35 or less.

c. Materials shall be neutral in color; earth-toned materials are encouraged.

d. No more than three (3) different materials may appear on any one face of the Temporary Structure.

e. Applicants are encouraged to use materials on Temporary Structures that are present on the Primary Structure.

2. Glazing

a. Glazing shall be clear. Metallic, frosted, tinted, stained, textured, and reflective finishes are prohibited.

b. The amount of glazing on a Temporary Structure, excepting Globe Structures, shall coincide with the amount of glazing present on the Primary Structure.

c. Glazing materials shall be glass, acrylic, or plexiglass. Film glazing is not permitted.

3. Lighting: All exterior lighting shall comply with the requirements outlined in Section 15-5-5(J). Interior lighting shall be 3,000 degrees Kelvin or less, and down-directed to minimize light pollution onto nearby properties, rights of way, and public spaces.

4. Ornamentation and Signage

a. No signage is permitted on a Temporary Structure.

b. Temporary Structures shall be simple in form with minimal decorative features. Banners, bunting, scrollwork, finials, and other ornamentation are not permitted.

5. Roofs of Temporary Structures, except Globe Shelters, shall reflect the roof forms typical of the Historic Districts including pitched, gable, pyramidal, shed, and flat roofs. Roofs of Temporary Structures are encouraged to match the roof form(s) of the existing Primary Structure.

6. Temporary Structures, or portions thereof, shall not be directly connected to historic materials.

7. Temporary Structures shall not be installed within the public right-of-way unless associated with a Special Event Permit, Master Festival License, or Encroachment Agreement.