

**LONEVIEW SOUTH at**



**THE**

**HIGHLANDS**

**P R E L I M I N A R Y  
D E V E L O P M E N T  
P L A N**

**M a y , 2 0 1 4**

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# Scope

## LONEVIEW SOUTH

The Highlands Development Plan will serve as a master plan for the development of the overall community. The Highlands Development Plan is based upon the West Side Planning Area, Section 13-5J of the West Jordan municipal code adopted by ordinance #06-05, 12-12-2006. Highlands Master Planned Community is compartmentalized into three (3) distinct communities.

The Community furthest to the West is Highlands West. Within Highlands West is the village of Loneview. Loneview is divided into two areas, Loneview North and Loneview South by an existing wash (unnamed wash). The proposed Loneview South development consists of 19.63 acres and 63 single family lots. The project runs from the existing wash to 8200 South and from 6400 West to 6700 West.

Loneview South will provide an attractive, theme based and consistent architecture for structures and, among other things, will incorporate front porches and semi-recessed garages on a portion of the homes as critical elements to a classic neighborhood for a more attractive, aesthetically pleasing streetscape.



### Land Use and Density designations:

- Low Density Single Family (LSFR)
- Minimum Density 2.01 units/acre
- Maximum Density 4.50 units/acre

### Zoning Regulations:

- Building Height: 30'
- Front Setback to Structure: 20'
- Front Setback to Garage: 26'
- Side Setback Interior Lot: 5' on one side and 7'-6" on the opposite side
- Side Setback Corner Lot: 20', 35' when abutting an arterial or collector street
- Rear Setback: 20', 35' when abutting an arterial or collector street



# Scope

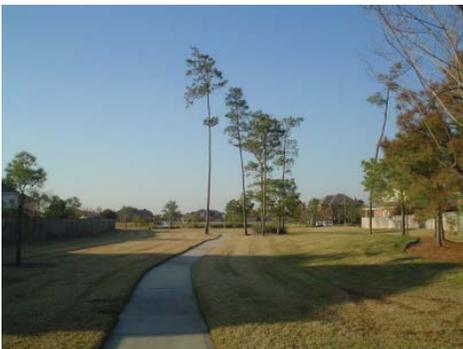


Other components of Loneview South:

- Overall Project Area: 19.63 Acres
- Number of Proposed Dwelling Units: 63
- Units per Acre: 3.21
- Number of Phases: 3
- Open Space: 1.44 Acres

Special Amenities and features of the Density Buy-up program:

- Covered Pavilion picnic area with tables
- Common “Green” area
- Installation of a park bench along trail
- Installation of a trash receptacle at the Pavilion
- Installation of connecting trails from the common “Green” to the wash trail.
- Dedication of an additional twenty-five (25) feet along the wash for trail corridor enhancement
- Placement of four (4) entry monuments
- Alternative load garage configuration throughout 75% of the subdivision
- Covered front porches throughout 50% of the subdivision (with a minimum of 50 square feet)
- Enhanced door and window treatment on all homes
- Equal dispersion and use of high quality building materials on all homes



## Location

The Highlands is a Master Planned Community located within the western portion of West Jordan, Utah, not far from the eastern slope of the Oquirrh Mountains. The Highlands Development Plan will serve as a master plan for the development of the overall community. The Highlands Development Plan is based upon the West Side Planning Area, Section 89-3-1101 or the West Jordan municipal code adopted by ordinance #06-05, 12-12-2006. Highlands Master Planned Community is compartmentalized into three (3) distinct communities or villages. The Village furthest to the West and closest to the Mountains is Highlands West. Within Highlands West is Loneview. Loneview is divided into North and South areas by an existing wash (un-named wash). The proposed Loneview South area runs from the existing wash south to 8200 South and from 6400 West to 6700 West.



• *Mountain Vistas*

The Proposed Land Use is Low Density, Single-Family Residential (LSFR 2.01-4.50 units/acre). There are no other proposed land uses for this project.

## Land Features



The land is relatively flat with the only physical feature being an existing wash (un-named wash) running along the north boundary. The site is currently being used for agricultural purposes. There is an existing church to the west, subdivisions to the south and east and Loneview North Phase 1 currently under construction to the north.

The site is located in Flood Plain "X", firm map #49035C0410G, panel 410 of 625, map revision date: September 25, 2009.

The Existing Land Features Plan shows the site with an aerial photo for context and a Storm Water Detention Plan shows where run-off water will be detained on site.

- *Existing Agricultural Land*



A full Boundary Survey has been completed which details all of the existing easements, adjacent land owners, and provides the topography. A Utility Plan has also been provided to show the locations of all existing utilities and the new connections to provide services to the development.



# Improvement and Amenities Installation

There are a number of Amenities/Improvements that are being proposed for Loneview South. The base density for 19.63 acres at 2.01 units/acre is 39.46 units. Loneview South is proposing a total density of 63 units. The proposed density buy-up of sixty-three percent (63%) would yield a maximum density of 64.39 units (19.63 x 3.28 = 64.39). The Density Buy-up Table shows the proposed Amenities/Improvements and a more detailed explanation of each on the following pages.

## Proposed Land Use Table

### Highlands West

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density (per acre)	Density Buy-up Proposed	Density with Proposed Buy-up	Units with Proposed Buy-up
Loneview	19.63	LSFR	(2.01) 39.46	(4.50) 88.33	2.01	63%	3.21	63

## Proposed Density Buy-up Table

### Trails & Open Space

Amenity/Improvement	Weighted Value
Installation of enhanced open space/recreational amenities in excess of that required per City standards <ul style="list-style-type: none"> <li>• Active Open Space Amenity/Facility – 0.32 acres                             <ul style="list-style-type: none"> <li>- Picnic Area w/covered pavilion, gazebo, tables, benches, etc. -2%</li> </ul> </li> <li>• Passive Open Space Amenity/Facility – 1.12 acres                             <ul style="list-style-type: none"> <li>- Common Green -1%</li> </ul> </li> </ul>	3%
Improvement of trail corridors and installation of trail amenities in excess of that required per City Standards <ul style="list-style-type: none"> <li>- Installation of 1 bench every 1000-feet -1%</li> <li>- Installation of 1 trash receptacle every 1000-feet -1%</li> </ul>	2%
Dedication of additional property for trails beyond that required per City standards along creeks/washes <ul style="list-style-type: none"> <li>- Dedicate additional property along the creek/wash for the enhancement of a trail corridor, a minimum of 12-feet and a maximum of 25-feet of additional land shall be dedicated beyond the width of the required dedication area of the trail/maintenance corridor (900' along the creek/wash)</li> </ul>	9%

### Street Design

Amenity/Improvement	Weighted Value
Entryway monument or gateway feature to the subdivision/development	10%

### Smart Growth Urban Design

Amenity/Improvement	Weighted Value
Alternative load garage configuration	14%

### Building Design

Amenity/Improvement	Weighted Value
Installation of covered porches throughout 50% of the subdivision	13%
Enhanced door and window treatment	6%
Equal dispersion & use of high quality building materials	6%

<b>Total Buy-up</b>	<b>63%</b>
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# Improvement and Amenities Installation

## • Trails & Open Space -

*Installation of enhanced open space/recreational amenities in excess of that required per City standards.*

Active Open Space Amenity/Facility: A covered pavilion will be constructed in the open space and include two (2) picnic tables.

Passive Open Space Amenity/Facility: An open common “Green” area will be provided adjacent to the pavilion and will include a grass area for recreation opportunities and neighborhood gatherings. The overall proposed open space is 1.44 acres.

*Improvement of trail corridors and installation of trail amenities in excess of that required per City standards.*

Installation of 1 bench every 1000-feet: One (1) park bench is proposed to be placed along the wash trail for easy access. This corresponds with the approximately 900 feet of trails to be installed.

Installation of 1 trash receptacle every 1000-feet: One (1) trash receptacle is proposed to be placed under the pavilion adjacent to the trail. This corresponds with the approximately 900 feet of trails to be installed.

*Dedication of additional property for trails beyond that required per City standards along creeks/washes.*

Dedicate additional property along the creek/wash for the enhancement of a trail corridor, a minimum of 12-feet and a maximum of 25- feet of additional land shall be dedicated beyond the width of the required dedication area of the trail/maintenance corridor: The requirement for dedication of land along the wash is fifty (50) feet. The design of the subdivision anticipated dedicating an additional twenty-five (25) feet for a total of seventy-five (75) feet of width and a length of approximately 900 feet along the trail corridor.



• Covered Pavilion with Two Picnic Tables



• Common Green



• Park Bench Along Wash Trail

# Improvement and Amenities Installation

## • Smart Growth Urban Design-

### *Alternative load garage configuration.*

No more than 25% of the lots in the development shall have standard, front loading or front yard/side loading garages. The remaining 75% of the lots in the development shall have a semi-recessed front load garage (the garage shall be recessed no less than six (6) feet from a covered porch or the main facade of the dwelling and entered from the fronting street) or a rear yard, attached/detached front load garage (the garage shall be placed in the rear yard or at least twenty (20) feet behind the front facade line of the dwelling. The garage shall be entered from the fronting street).



• *Alternative Load Garage Configuration, Semi-Recessed*

## • Street Design-

### *Entryway monument or gateway feature to the subdivision/development.*

Four (4) stand alone entry monuments will be provided at entrances to the subdivision along 6400 West, 6700 West, 8200 South and at the intersection of 8200 South & 6400 West. The monuments will clearly define the Loneview Village. All entry features will comply with the West Jordan City clear view regulations.



• *Entry Monument at Each Point of Entry*

## Improvement and Amenities Installation

### • Building Design-

*Installation of covered porches throughout 50% of the subdivision.*

Porches should complement and enrich the over-all building design and function. Covered Porches shall be a minimum of fifty (50) square feet.

*Enhanced door and window treatment.*

Enhanced door and window treatment is required of all homes. Front doors shall be complemented with at least one sidelight, transom window or double door. Windows should be installed on all facades and shall be proportionate in size to the wall face in which the window is located. All windows should have framed-in wood, composite board, brick, stone or stucco trim that is a minimum of four (4) inches in width.

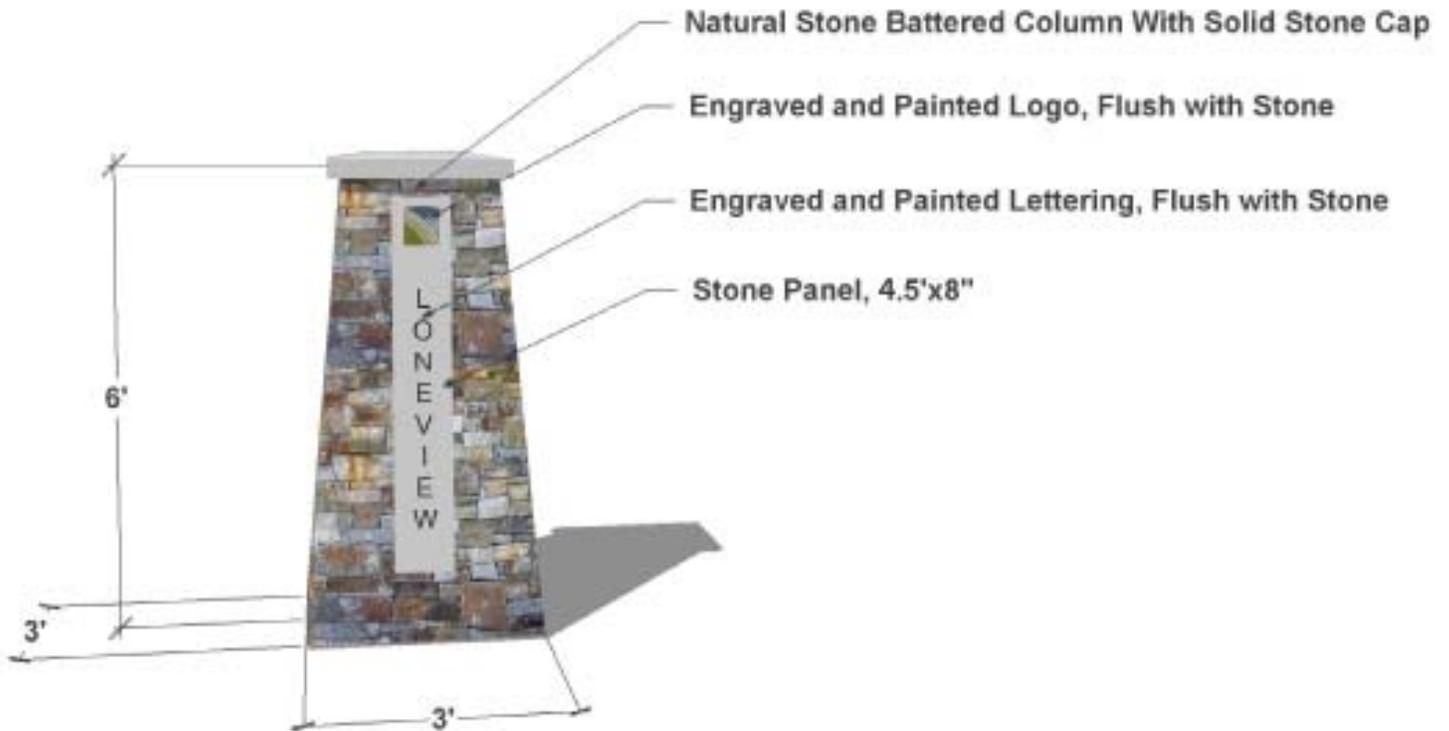
*Equal dispersion and use of high quality building materials.*

All homes within the development will incorporate stucco, stone, brick, composite board siding and/or shingles and other high grade materials.



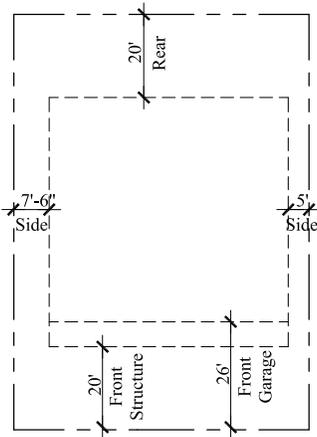
- *Covered Porch with Enhanced Door and Window Treatment*

# Entry Monument Elevation

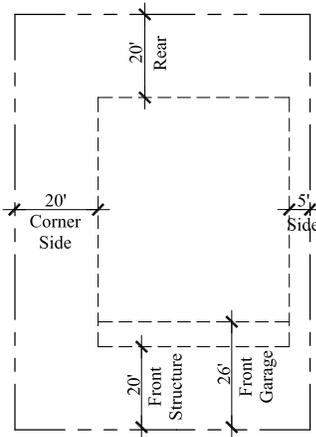


- *Stand Alone Entry Monuments at 6400 West, 6700 West, 8200 South, and at the intersection of 8200 South & 6400 West*

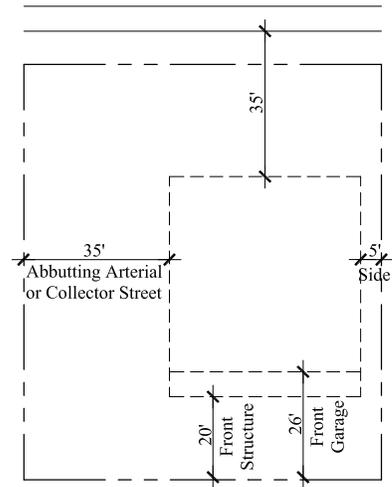
# Zoning Regulations



• *Typical Interior Lot*



• *Typical Corner Lot*



• *Lot Abutting Arterial or Collector Street*

## Low Density Single Family (LSFR) Zoning Regulations:

- Minimum Front Setback:
  - 20'
  - 26' to a front facing garage
- Minimum Corner Side Setback:
  - 20'
  - 26' to a corner side facing garage
  - 35' when abutting an arterial or collector street
- Minimum Interior Setback:
  - 5' on one side and 7'-6" on the opposite side
- Minimum Rear Setback:
  - 20'
  - 35' when abutting an arterial or major collector street
- Minimum Frontage at Building Setback:
  - 56' from front load 2 car garage
  - 70' for front load 3 car garage
  - 65' for side load garage
- Minimum Lot Area:
  - 7,200 square feet
- Average Lot Area:
  - 9,110 square feet
- Minimum Lot Width:
  - 67'
- Average Lot Width:
  - 83'-6"
- Minimum Living Area:
  - Rambler - 1,200 square feet; Two Story - 1,650 square feet (900 sq. ft. min. on the main floor) for all above grade liveable square footage
- Maximum Building Height:
  - 30'
- Average Height:
  - Unknown at this time - it is proposed to have a mix of structure types

The preceding Zoning Requirements are required of all lots within Loneview South and will be governed by the CC&R's and through the building permit process.

## Building and Structures



• *Front Porch w/ Semi-Recessed Garage*



• *Front Porch w/ Porch Columns*



• *Front Porch w/ Front Door Sidelights*



• *Right Scaled Home for Neighborhood*



• *Use of Different Materials*

Typical homes in Loneview South are single story, story and a half and two story single family homes placed on traditional lots. An attractive, theme based and consistent architectural style is required. An emphasis will be placed on front porches in an effort to de-emphasize the garage. There shall be a comprehensive architectural theme that places emphasis on building design and form. Great attention shall be given with regard to building materials, window placement and proportion, roof design, garage placement, color and variety.

It is important that the massing of the buildings be scaled in such a way that it relates to the people living there and harmonizes with the area. Repetitive massing is prohibited. There should be variation in individual building forms. To ensure diversity, identical building elevations shall not be permitted on the same street frontage or directly across the street for a distance of no less than four-hundred (400) feet.

Architecturally enhanced, front yard, covered porches shall be installed on at least 50% of the homes within Loneview to provide a transition zone from the street to the home, and to also provide for informal socializing. Front porches shall be a minimum of fifty (50) square feet. All porches shall be covered and enhanced with decorative railings and porch columns (as shown in the examples to the left).

The home rather than the garage shall be the primary emphasis of the front of a dwelling. Garages that dominate the streetscape displace the living space within the home and disconnect the residents of the home from the neighborhood and lessen “eyes on the street” (as shown in the examples to the left).

A variety of garage placements that minimizes vehicular influence is proposed. No more than 25% of the lots in the development shall have standard, front loading or a front yard/side loading garage. The remaining 75% of the lots in the development shall have a semi-recessed, front load garage. The garage shall be recessed no less than six (6) feet from a covered porch or the main facade of the dwelling and entered from the fronting street. Homes shall have a minimum of two (2) car garages.

Homes shall be designed to maintain the scale of the entire neighborhood with respect to height, bulk, and structure size. No home should be over-powering in height or size when compared with other homes in the neighborhood.

Treatment of the exterior of homes can provide an opportunity to visually unify the development. The use of different materials is encouraged and required to give distinction to the varied forms of the building. Brick and/or stone shall be used on all homes in the square footage amount of two (2) times the perimeter of the structure. For example, if the perimeter of the home is 175 feet, the required amount of brick and/or stone shall be 350 square feet (175 x 2). Exceptions may be made for homes that are comprised of only one material, such as composite board siding, but only as approved by the Architectural Control Committee.

## Building and Structures



• *Main Entrance & Door w/ Sidelight*



• *Detail Elements and Varied Exterior*



• *Framed & Proportionate Windows*



• *Multiple Roof Lines*



• *Deep Roof Overhangs and Brackets*

Approved materials for homes within Loneview include:

- Composite Board siding or approved similar
- Composite Board shingles or approved similar
- Stucco
- Brick
- Stone

The main entrance of all homes shall be oriented to the street in order to promote an active street. All front doors should be complemented with at least one sidelight, transom window, or double door. Where a transom window is not provided, a decorative clear or stain glass window should be included with the door.

Windows should be installed on all facades of the home and shall be proportionate in size to the wall face in which the window is located. There shall be no windowless walls. The maximum unbroken distance between: (1) any corner of the home and window; and/or (2) windows on any side of a home is eight (8) feet. All windows should have framed-in wood, composite board, brick, stone or stucco trim that is a minimum of four (4) inches in width. Detail elements applied to the exterior wall such as wall decoration, shutters, bay windows and flower boxes can add visual interest to the building facade. Care should be taken to not overstate or overly decorate. Shutters, when installed, shall be proportionate in size and shape to the window they abut.

Identifiable window mullion patterns should be installed on at least 75% of windows.

Encouraged window types include:

- Bay or box windows
- Oval, octagon or wrapping corner windows
- Arched windows
- Clustered windows

Additional attention shall be paid to corner homes. Since corner lots face two streets, the homes on these lots shall be specifically designed with high visibility in mind and with consistent architecture to visible sides. Corner homes shall continue the ornamental features and material accents of the front facade, such as extending the porch, and/or utilizing the same size windows and features as used on the front facade.

Multiple roof lines should be used on all homes and shall have a pitch no less than 4:12. Varied roof forms, ridge lines and pitches are encouraged to reduce the bulk appearance of a home. Dormers are encouraged to help break up the mass of a roof.

All homes shall be designed with at least a sixteen (16) inch roof overhang on all elevations with second or multiple elevations designed with decorative brackets, beams, or exposed rafters.

## Building and Structures



• *Decorative Railings w/ Porch Columns*



• *Side Elevation Windows*



• *Prominent Entry w/ Covered Porch*



• *Window Mullion Patterns*



• *Multiple Roof Lines & Overhangs*

Loneview South will incorporate a unique development approach. Lots will be sold independent of the home. Meaning, lots will be sold prior to homes being designed for each lot. The intent is that each lot will be sold and a custom/semi-custom home will be built on that particular lot. Lots can be sold in packs (ie...10 or 20 lots at a time) and/or lots will be sold one at a time. This will help to eliminate the “cookie-cutter” approach to home building and provide a greater variety of homes in the neighborhood.

To ensure that homes incorporate features and designs as set forth in the Loneview South Building & Structure - Development Plan Standards, namely, high quality building materials, window placement and proportion, enhanced door and window treatment, covered porches, roof design, alternative load garage configuration, color and variety, a standard approach to home plan approval will be followed.

The path for approval will follow a 2 part compliance:

Step 1 - Architectural Control Committee (ACC) review and approval. All plans will go through the ACC review prior to submitting building plans to West Jordan City. The review will verify that the home conforms with all design and regulations as set forth in the CC&R's. The ACC will provide a signed review upon approval (a sample copy has been attached).

Step 2 - West Jordan City building plan review and approval.

This process has been established and is successful in other communities. It has shown that the final results are neighborhoods with homes that are more diverse, aesthetically pleasing, and constructed of higher quality building materials.

Typical Elevations and Footprints have been added to the Development Plan to show compliance with the Loneview South Building & Structure - Development Plan Standards. These show typical four (4) sided architecture as well as the footprint of the home on an average size lot. Some of the homes are shown with a three (3) car garage, which will be encouraged on lots where feasible. A Conceptual Elevations sheet has also been added to provide additional examples of ‘typical’ homes.

The homes shown on the ‘Typical Elevations and Footprints’ and ‘Conceptual Elevations’ sheets are not exact plans, rather, illustrations of homes that will be representative of those to be approved and set the standard for the development.

# Architectural Control Committee Review

Contact: \_\_\_\_\_

**ARCHITECTURAL CONTROL COMMITTEE REVIEW**

**Project:** \_\_\_\_\_ **Lot #:** \_\_\_\_\_

**Owner/Builder:** \_\_\_\_\_

Description	
Sq. Ft.: _____ Exterior Materials: _____	House Type: _____ Colors: _____ _____ _____

- Approved:** The Architectural Control Committee has reviewed the house plans identified above and grants approval for the construction of this home on the lot listed above, subject to the following conditions:
- 1) Home must be built according to the plans and colors submitted - ACC must be notified of any changes to submitted plans, materials, or colors.
  - 2) Landscape plans must be submitted and approved by ACC prior to start of landscaping
  - 3) Home must be constructed in accordance with the CCR's recorded against the subdivision.
  - 4) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- Disapproved:** The Achitectural Control Committee has reviewed the house plans identified above and does not approve the construction of this house for the following reasons:
- \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Review of your house plans by the Architectural Control Committee serves only to verify that the proposed building conforms with all of the regulations set forth in the Protective Covenants and all regulations set forth in this and any subsequent directives. Architectural Control Committee Review is strictly limited to a check of your compliance with these requirements, and in no way is concerned with the structural or mechanical adequacy. We made no check of items relating to architectural soundness or building requirements of the local government entity where a building permit must be obtained and under whose jurisdiction building code requirements are enforced.

Type of Garage: \_\_\_\_\_ % of Standard Garage: \_\_\_\_\_ % of Alternative Garage: \_\_\_\_\_

Front Porch: \_\_\_\_\_ % with Front Porch: \_\_\_\_\_ % without Front Porch: \_\_\_\_\_

**Architectural Control Committee Signature**

**By:** \_\_\_\_\_ **Date:** \_\_\_\_\_

# Typical Elevations & Footprint



• *Front Elevation*



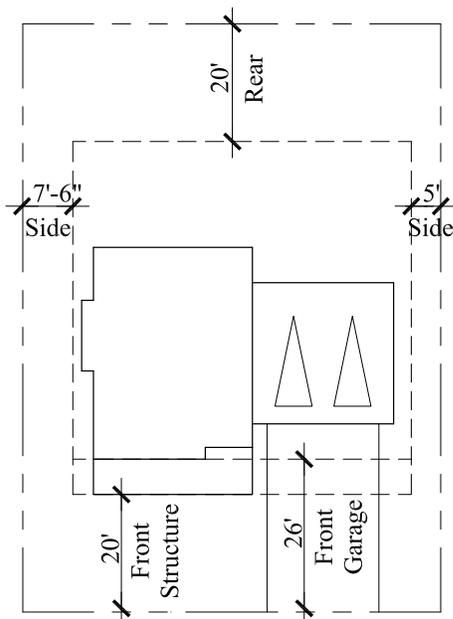
• *Side Elevation*



• *Side Elevation*



• *Rear Elevation*



• *Features:*

- 2 car semi-recessed front load garage
- Primary emphasis on home not garage
- Covered Front porch min. 50 sq. ft.
- Porch columns
- Prominent entry oriented to street
- Window placement on all facades
- Framed in windows
- Windows w/ mullion pattern
- Shutters on windows
- Use of different materials
- Proper amount of stone
- Garage door no more than 50% of front elevation
- Multiple roof lines
- Varied roof forms
- Gable dormer with window to break up roof
- Deep overhangs min. 16 inches

# Typical Elevations & Footprint



• *Front Elevation*



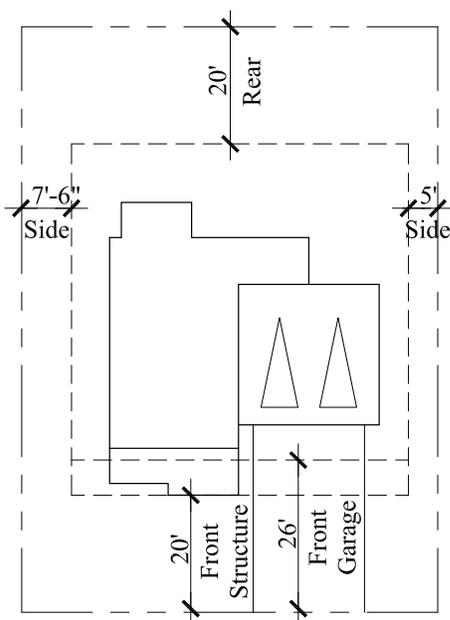
• *Side Elevation*



• *Side Elevation*



• *Rear Elevation*



• *Features:*

- 2 car semi-recessed front load garage
- Windows in garage door and hardware
- Covered Front porch min. 50 sq. ft.
- Porch columns
- Decorative railings
- Prominent entry oriented to street
- Window placement on all facades
- Framed in windows
- Windows w/ mullion pattern
- Box window
- Use of different materials
- Proper amount of stone
- Garage door no more than 50% of front elevation
- Multiple roof lines
- Varied roof forms
- Deep overhangs min. 16 inches

# Typical Elevations & Footprint



• *Front Elevation*



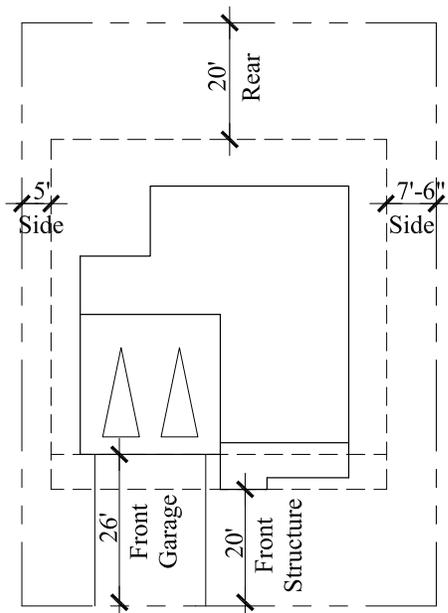
• *Side Elevation*



• *Side Elevation*



• *Rear Elevation*



• *Features:*

- *2 car semi-recessed front load garage*
- *Windows in garage door and hardware*
- *Covered Front porch min. 50 sq. ft.*
- *Porch columns*
- *Decorative railings*
- *Prominent entry oriented to street*
- *Window placement on all facades*
- *Framed in windows*
- *Shutters on windows*
- *Use of different materials*
- *Proper amount of stone*
- *Garage door no more than 50% of front elevation*
- *Multiple roof lines*
- *Varied roof forms*
- *Deep overhangs min. 16 inches*
- *Exposed gable beams*

# Typical Elevations & Footprint



• *Front Elevation*



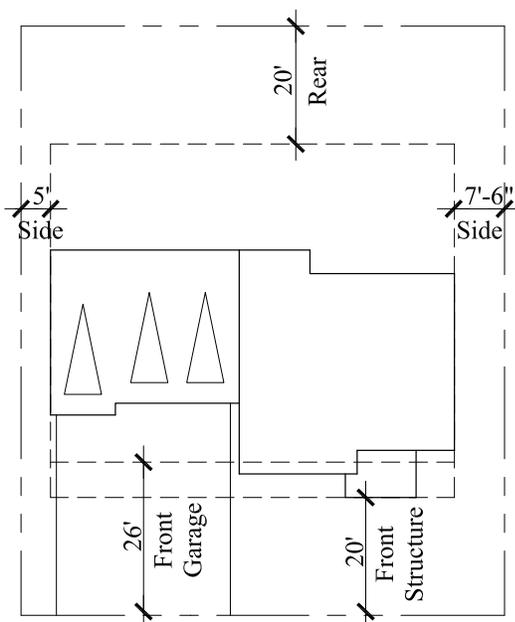
• *Side Elevation*



• *Side Elevation*



• *Rear Elevation*



• *Features:*

- 3 car semi-recessed front load garage
- Primary emphasis on home not garage
- Covered Front Porch min. 50 sq. ft.
- Porch columns
- Prominent entry oriented to street
- Window placement on all facades
- Detail elements
- Boxed bay
- Use of different materials
- Proper amount of stone
- Garage door no more than 50% of front elevation
- Multiple roof lines
- Varied roof forms
- Bump-out with window to break up roof
- Deep overhangs min. 16 inches

# Typical Elevations & Footprint



• *Front Elevation*



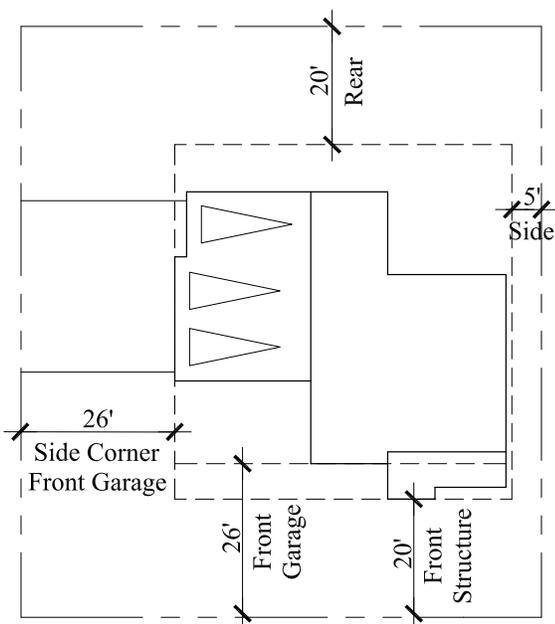
• *Side Elevation*



• *Side Elevation*



• *Rear Elevation*



• *Features:*

- 3 car side load garage
- Covered Front porch min. 50 sq. ft.
- Porch columns
- Prominent entry oriented to street
- Window placement on all facades
- Framed in windows
- Shutters on windows
- Detail elements
- Use of different materials
- Proper amount of stone
- Side facing garage
- Multiple roof lines
- Varied roof forms
- Deep overhangs min. 16 inches
- Gable brackets

# Typical Elevations & Footprint



• *Front Elevation*



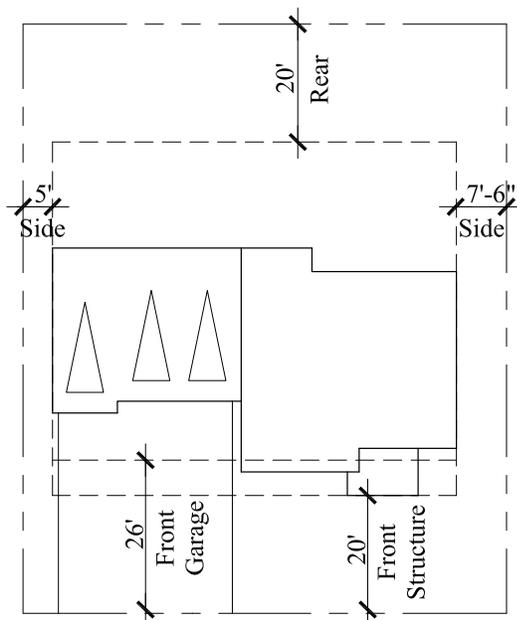
• *Side Elevation*



• *Side Elevation*



• *Rear Elevation*



• *Features:*

- *3 car semi-recessed front load garage*
- *Primary emphasis on home*
- *Covered Front porch min. 50 sq. ft.*
- *Porch columns*
- *Decorative railings*
- *Prominent entry oriented to street*
- *Framed in windows*
- *Detail elements*
- *Use of different materials*
- *Proper amount of stone*
- *Garage doors no more than 55% of front elevation*
- *Multiple roof lines*
- *Varied roof forms*
- *Deep overhangs min. 16 inches*
- *Gable brackets*

# Typical Elevations & Footprint



• *Front Elevation*



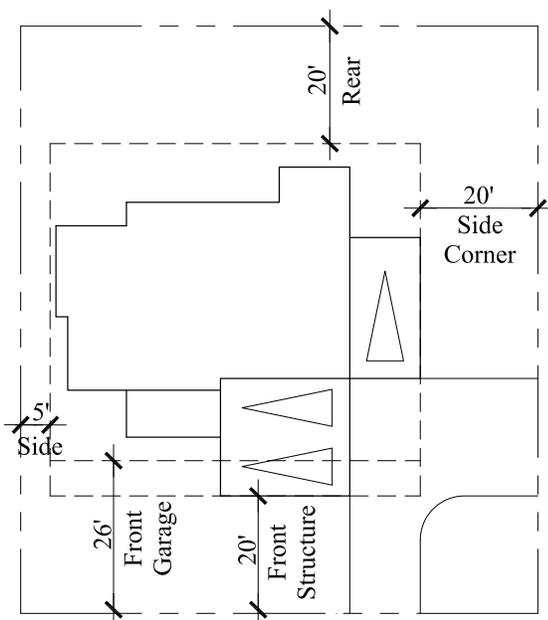
• *Side Elevation*



• *Side Elevation*



• *Rear Elevation*



• *Features:*

- 3 car front side load & semi-recessed front garage
- Windows in garage doors and hardware
- Primary emphasis on home
- Covered Front porch min. 50 sq. ft.
- Porch columns
- Decorative railings
- Prominent entry oriented to street
- Window placement on all facades
- Framed in windows
- Windows w/ mullion pattern
- Box windows
- Use of different materials
- Proper amount of stone
- Multiple roof lines
- Shed dormers with windows to break up roof
- Deep overhangs min. 16 inches

# Conceptual Elevations



## Fencing and Wall

Loneview South will have a permanent concrete wall on the East boundary along 6400 West, the South boundary along 8200 South and the West boundary along 6700 West. The concrete wall developed by RhinoRock will be six (6) feet high and the color will be brownstone (see photo). Once installed, and after the one (1) year warranty period has expired, the walls shall be the responsibility of the adjacent property owner.



• *RhinoRock Wall - Color is Brownstone*

Fencing is required on lots that are adjacent to open space (Lots 101, 160-163). The fence will be a split rail (3 rail) vinyl fence. The color will be tan to match the RhinoRock Wall. The fence shall be installed as part of the lot improvements. Once installed, and after the one (1) year warranty period has expired, the fence shall be the responsibility of the adjacent property owner.



Fencing is also required on the lots adjacent to existing or future development (Lots 115, 138, 146-160). The fence will be a six (6) foot high solid vinyl fence. The color will be tan. The fence shall be installed as part of the lot improvements. Once installed, and after the one (1) year warranty period has expired, the fence shall be the responsibility of the adjacent property owner.



• *Vinyl Fencing - Color is Tan*

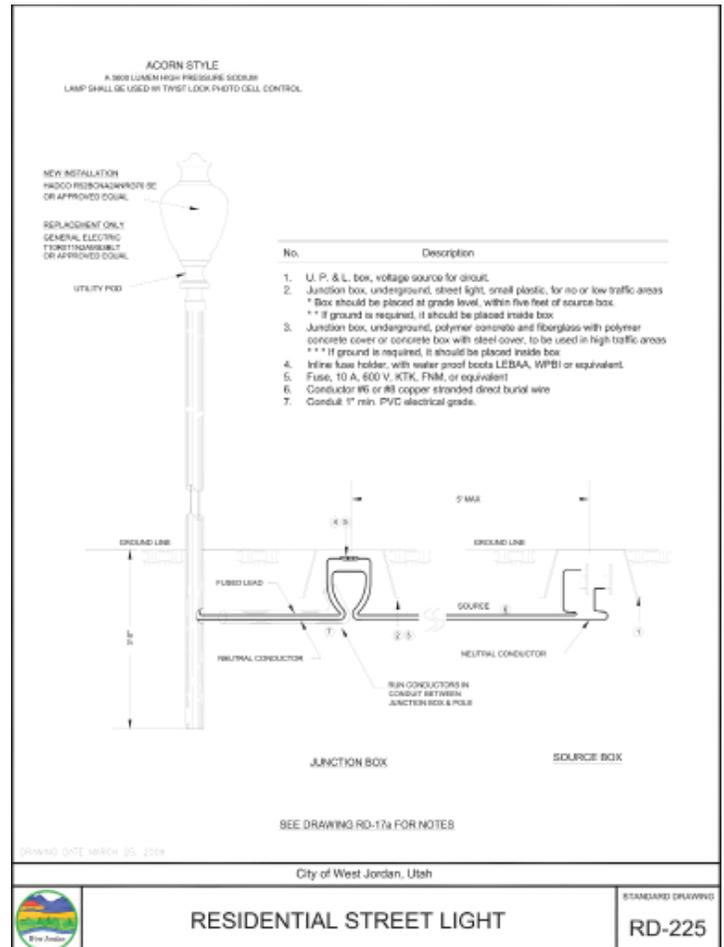
# Lighting

All light fixtures will conform with West Jordan City Standards for Street Lighting and Signals, Standard Drawing RD-225, Residential Street Light as shown in the drawing to the right.

Placement of Street Lights is primarily for vehicular and pedestrian safety. Street Lights in Loneview have been placed at all street intersections and corners as shown on the Street Light Location Plan. Sensitivity has been taken into consideration in both the number and placement of street lights. The intent of the Highlands is to maintain a small village atmosphere with the need to provide for the safe movement of vehicles and people and to protect the desired ambiance and feel of the community.



• Typical Street Light



All street lights shall be no taller than twelve (12) feet tall measured from grade to top of the pole (non-inclusive of the light fixture), aluminum shaft with fluted finish direct burial pole with a three (3) inch tenon top. Fiberglass, concrete, and vinyl street lights are not permitted.

All street lights located in Loneview shall be located in the park strip or along walking paths. Up-light limiting shields shall be required on all lights to minimize up-lighting, glare, and light pollution.

Maintenance of all street lights will be the responsibility of the Special Assessment Area or District.

## Public and Private Use Areas

Public Use Area is the area designated as Open Space and all public right-of-ways. These areas are open to the general public. Loneview South will provide a common “Green” with connecting sidewalks and trails as an amenity. The “Green” is defined in the Highlands Master Planned Community Development Plan as:



- Green: An open space amenity used for active and passive recreation and may be spatially defined by roads or building frontage.



Private Use Areas are all of the individually owned lots.

# Landscaping

Open space in the form of trails, parks, and landscape buffers are spread throughout the Highlands Master Planned Community to provide recreation areas and areas of visual interest for each village. In Loneview South there is approximately 1.44 acres of designated open space including the detention basin.



Trails shown on the Landscape Plan will be constructed by the developer as public trails and dedicated to West Jordan City. The centerline of the existing wash (un-named wash) and fifty (50) feet of property offset from top of bank of the wash, with an additional twenty-five (25) feet as part of the Density Buy-up will be dedicated to the City. The wash shall remain native and non-irrigated. Open Space outside of the landscaped areas will receive a native seed mix after all improvements to the subdivision have been completed. The native seed mix shall be appropriate for the area and shall be seeded in the fall for best rate of survival.

All landscaped and common green areas will be irrigated and maintained by the Special Assessment Area or District for Highlands. This shall include the landscape area and parkstrip along 8200 South and the parkstrip area along 6400 West and 6700 West. The remaining native wash and open space will require selective mowing twice a year also maintained by the Special Assessment Area or District.

Not less than 80% of all trees, shrubs, herbaceous perennial and groundcover plants shall be drought-tolerant species that can withstand dry conditions once established. The plant list titled “West Jordan Landscaping Guidelines Handbook” is designated as the primary reference in determining qualifying plants. Turf grasses shall not comprise more than 50% of the total landscaped area. Use of water conserving grasses, such as Buffalo Grass, Blue Gramma grass, varieties of Dwarf Tall Fescue, or equivalent are encouraged.



# Architectural Standards

The Developer will record Covenants, Conditions, and Restrictions (CCRs) for Loneview South to provide clear direction on design and architecture within the subdivision. The CCRs will be enforced by the Architectural Control Committee (ACC), which will review all plans to be built in the subdivision and provide an Architectural Control Committee Approval form per a satisfactory review. Initially, the ACC will be the responsibility of the Declarant listed in the CCRs (the developer). The ACC will keep track of covered porches, and garage placement percentages, as these are both subject to specific provisions in the Development Plan and CCRs (and are shown on the ACC Review form) and will monitor and enforce these percentages at the time of approval. Developer will provide a list of the specific design requirements, as approved in the sub-area preliminary development plan, to all home builders within Loneview South to ensure compliance with these adopted Architectural Standards.

The Architectural Standards which will be incorporated into the CCRs are as follows:

- No identical elevations on the same street or across the street for 400 feet.
- Covered front porches shall have a minimum of fifty (50) square feet. Minimum of 50% of homes shall have a front porch.
- All porches shall be covered and enhanced with decorative railings and porch columns.
- No more than 25% of the lots in the development shall have standard, front loading or a front yard side loading garage. The remaining 75% of the lots shall have a semi-recessed, front load garage. The garage shall be recessed no less than six (6) feet from a covered porch or the main facade of the dwelling.
- Single family dwelling with garage sufficiently sized for not less than two (2) vehicles.
- For two (2) car garages that are front loading and face the street, the homes shall be designed so that garage door or doors comprise no more than 50% of the width of the front elevation.
- A maximum of three (3) car garage is allowed in a non-tandem configuration.
- Garages built to accommodate three (3) vehicles in non-tandem configuration shall not occupy more than 55% of the total width of the front elevation. All three (3) car garages shall have a minimum offset of no less than two (2) feet between the main garage door(s) and the additional third garage door.
- Carports may not be built.
- On all lots residential structures shall have 2,500 usable square feet of floor area, including the basement.
- Rambler style houses shall have a minimum of 1,250 finished square feet of main floor area above finished grade.
- Houses with two (2) or more stories shall have a minimum of 1,000 finished square feet of main floor area above finished grade.
- Square footage of any style is excluding garages, porches, verandas, patios, eaves, overhangs, and steps.
- Building exteriors of residential structures will incorporate brick, stone, stucco, or composite board siding and/or shingles to ensure equal dispersion and use of high quality building materials.
- Brick or stone shall be used on all homes in square footage amount of two times the perimeter of the structure (Exceptions may be made by the Architectural Control Committee for homes consisting of one material, such as composite board siding).
- The main entrance of all residential structures shall have a clear entryway extending from the public sidewalk to the front door, where the main entrance shall be oriented to the street.
- Enhanced door and window treatment is required on all homes. Front doors shall be complemented with at least one sidelight, transom window or double door. Windows should be installed on all facades and shall be proportionate in size to the wall face in which the window is located. There shall be no windowless walls. The maximum unbroken distance between: a) any corner of the home and window; and/or b) windows on any side of a home is eight (8) feet. All windows should have framed-in wood, composite board, brick, stone or stucco trim that is a minimum of four (4) inches in width.
- Dwellings located on a corner lot shall be designed to have a porch that wraps around the side of the home.
- Homes on corner lots shall be specifically designed to include wraparound and consistent architecture to the visible sides. Corner homes shall continue the ornamental features and material accents of the front facade, such as extending the porch and/or utilizing the same size windows and features as the front facade.
- Roof lines shall have a pitch no less than 4:12 and no more than 12:12
- All homes shall have at least sixteen (16) inch roof overhang.

# Architectural Design Checklist

## • LONEVIEW SOUTH

### Architectural Standards - Specific Design Requirements

#### Exterior

- Exterior Materials consist of a combination of the following: composite board siding or shingles (or approved similar) stucco, brick, stone
- Brick and/or stone comprises square footage amount equal to or in excess of two (2) the perimeter of the structure (Exceptions may be made by the Architectural Control Committee for homes consisting of one material, such as composite board siding)
- Front door has at least one sidelight, transom window, or double door
- No windowless walls, windows shall be installed on all facades
- Maximum unbroken distance between (1) any corner of the home and window; and/or (2) windows on any side of a home is eight (8) feet.
- Windows framed in wood, composite board, brick, stone or stucco trim a minimum of four (4) inches wide
- Window mullion pattern installed on at least 75% of windows (consisting of bay or box window, oval, octagon or wrapping corner windows, arched windows, clustered windows)
- Multiple roof lines with varied roof forms, ridge lines and pitches
- Roof pitch no less than 4:12 and no more than 12:12
- Minimum sixteen (16) inches of roof overhang

#### Garage

- Semi-recessed garage (garage recessed no less than six (6) feet from covered porch or the main façade of the dwelling)
- Minimum two car garage
- 3 Car garage: Garage doors occupy no more than 55% of the front of the home
- 2 Car garage: Garage doors occupy no more than 50% of the front of the home

#### Porch

- Covered porch
- If home has covered porch, shall be a minimum of fifty (50) square feet
- If home has covered porch, is it architecturally enhanced with decorative railings and porch columns

#### Building Elevation

- The same building elevation can not be found within 400 feet of this home
- Correct scale with respect to height, bulk and structure size. No home shall be over-powering in height or size when compared with other homes
- Entrance oriented to the front of the street

# Pavilion Specifications

A covered pavilion will be constructed in the open space. The pavilion will be sixteen (16) feet square with a hip roof at a pitch of 4:12. The pavilion is a steel structure with an aluminum roof. Color for the steel structure will be beige and the roof will be surrey-beige (as shown below).

• Structure: Beige

• Roof: Surrey-Beige



PRELIMINARY DRAWING  
 NOT FOR CONSTRUCTION

**ELEVATION**

**ROOF FRAMING PLAN**

**PURLIN TO HIP CONNECTION**

**PEAK CONNECTION**

**COLUMN TO HIP CONNECTION**

**SECTION A-A**

**COLUMN PIER DETAIL**

ACTUAL DESIGN WILL VARY DUE TO BUILDING CODE REQUIREMENTS AND MAY BE SUBSTANTIALLY LARGER

**FOUNDATION PLAN**

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**AS-SQ16-04**

**RCP SHELTERS, INC.**  
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 ■ CONCESSIONS ■ KIOSKS  
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 ■ MINI-SHELTERS ■ RESTROOMS  
 Phone: 800-525-0207 Fax: 772-288-0207  
 Email: Info@rcpselters.com www.rcpselters.com

**RCP**

PROJ. NO.:  
 DRAWN: JLD 8-14-07  
 CHECKED: JLD  
 REV 1:  
 REV 2:  
 REV 3:  
 REV 4:  
 REV 5:  
 CAD NO.: AS-16-04  
 EIC JOB NO.: 6537 C

1X of 1X



# Park Bench Specifications

One (1) park bench will be placed along the wash trail. The park bench will be eight (8) feet long and the frame will be tan and the back & seat will be brown (as shown in the photo).



- Back & Seat: Brown
- Frame: Tan

LEGACY HERITAGE TM 8' BENCH W/BACK

200160660  
LG100012D  
Sheet 1 of 1

AUTHORIZED BY: 27JUL09  
*Shawn Slinkard*

**DETAIL 1**  
TYP 4 PL

2440mm [96"] O/ALL REF

580mm [22 3/4"]

916mm [36"] O/ALL

1678mm [66"] CTRS

380mm [15"]

84mm [3 1/4"] TYP

1594mm [62 3/4"] TYP

42mm [1 3/4"] TYP

100mm [4"]

**SURFACE MOUNT FOOTING DETAIL**

**8' (2440mm) HERITAGE PARK BENCH W/BACK 200200844**

Item	Code	Description	Qty.
1	-	8' HERITAGE SEAT	2
2A	-	FRAME F/HERITAGE BENCH W/BACK SM	2
2B	-	FRAME F/HERITAGE BENCH W/BACK PORT.	2
2C	-	FRAME F/HERITAGE BENCH W/BACK ING	2
7*	200001776	ANCHOR CONCRETE WEDGE M10 X 1.50 X 100MM	8

\* SURFACE MOUNT VERSION ONLY \*

**HDWR BAG F/HERITAGE BENCH W/BACK 200158852**

3	200000493	BOLT HEX S.S. 3/8"-16 X 3-1/2"	8
4	SP1249000	WASHER, FLAT-3/8", 18-8 SS	8
5	200008483	WASHER BOWED M11 23.5 X 11.7 X 1.5MM	8
6	SP1350500	NUT, HEX-3/8", NYLON LOCKING	8

**Application**

- Must be installed outside playground use zone
- No resilient surfacing required

**Installation Instructions**

1. Prepare footings, refer to Inground Footing Detail.
2. Attach seats (Item 1) to frames (Item 2) as shown in DETAIL 1.
3. Complete Footings and Tighten all hardware.

**TABLE 1**

Type	Seat Height
Inground	490mm [19 1/4"]
Portable	524mm [20 1/2"]
Surface Mt.	490mm [19 1/4"]

**INGROUND FOOTING DETAIL**

Inground Mount      Surface Mount

Portable Mount

# Trash Receptacle Specifications

One (1) trash receptacle is proposed to be placed under the pavilion adjacent to the trail. The trash receptacle will be thirty-two (32) gallon and have a dome top lid (as shown in the photo). Color for the trash receptacle will be brown.

• Color: Brown



LEGACY HERITAGE™ LITTER RECEPTACLES

200160671  
LG100015C-S1  
Sheet 1 of 3

AUTHORIZED BY:  
*Chris R. [Signature]* 18APR07

32GAL HERIT RECEPTACLE W/DOME LID 200200857		①	
Item	Code Description Qty.		
1	- LID DOME, TRASH RECEPT 1		
6	- ASSY TRASH CAN W/PLASTIC LID 1	⑦	
32GAL HERIT FLARE TOP RECEPT W/INWARD LID 200200856			
Item	Code Description Qty.	②	
1	- METAL LID F/TRASH CAN 1		
7	- ASSY TRASH CAN F/FLAIR TOP 1	③	
32GAL HERIT FLARE TP W/INWARD LID/ASHTRY 200200858			
Item	Code Description Qty.	④	
1	- METAL LID W/ASHTRAY F/TRASH CAN 1		
7	- ASSY TRASH CAN F/FLAIR TOP 1	⑧	
32GAL HERIT FLARE TP SIDE DR INWARD LID 200200859			
Item	Code Description Qty.	⑤	
8	- ASSY TRASH CAN W/SIDE DOOR 1		
32GAL HERIT RECEPT W/INWARD LID 200200860		⑥	
Item	Code Description Qty.		
1	- METAL LID F/TRASH CAN 1	⑨	
9	- ASSY TRASH CAN W/METAL LID 1		
32GAL HERIT RECEPT W/INWARD LID/ASHTRY 200200861		⑨	
Item	Code Description Qty.		
1	- METAL LID W/ASHTRAY F/TRASH CAN 1	⑨	
9	- ASSY TRASH CAN W/METAL LID 1		

TRASH CAN W/SURFACE MOUNT KIT

TRASH CAN W/INGROUND MOUNT KIT

TRASH CAN W/FLUSH MOUNT KIT

SEE Detail 2

SEE Detail 1

SEE Detail 3

127 [5"]

127 [5"]

NOTE: FOR UNDERSURFACING & FOOTINGS REFER TO SHEET 3

See Page 2 For Inground/Surface Mount Kits & Installation Instructions

# Trash Receptacle Specifications

LEGACY HERITAGE™ LITTER RECEPTACLES

200160671  
LG100015C-S2  
Sheet 2 of 3

DETAIL 1

DETAIL 2  
CONCRETE FOOTING

DETAIL 3

**HOLE LOCATION FOR SURFACE MOUNT**  
NOTE: USE M10 MASONRY BIT

**HOLE LOCATION FOR FLUSH MOUNT**  
NOTE: USE M10 MASONRY BIT

**ING POST PACKAGE W/5\"**  
200200862  
**HDWR BAG F/HERITAGE TRASH CAN ING MNT**  
200160651

Item	Code	Description	Qty.
5	-	ASSY TRASH CAN MOUNT ING	1
10	200002018	SCREW MACH BUTTONHEAD M10 X 1.50 X 25MM	3
11	200002079	WASHER FLAT M11 23 X 12 X 1.6	6
12	200001945	NUT LOCK HEX NYLON INSERTED M10 X 1.5	3

**SM POST PACKAGE**  
200200863  
**HDWR BAG F/HERITAGE TRASH CAN SM MNT**  
200160652

Item	Code	Description	Qty.
4	-	ASSY TRASH CAN MOUNT SM	1
10	200002018	SCREW MACH BUTTONHEAD M10 X 1.50 X 25MM	3
11	200002079	WASHER FLAT M11 23 X 12 X 1.6	6
12	200001945	NUT LOCK HEX NYLON INSERTED M10 X 1.5	3
13	200001776	ANCHOR CONCRETE WEDGE M10 X 1.50 X 100MM	3

**KIT F/ TRASH RECEPTACLE FLUSH MOUNTING**  
200160673

Item	Code	Description	Qty.
13	200001776	ANCHOR CONCRETE WEDGE M10 X 1.50 X 100MM	3

**Application**  
- Must be installed outside playground fall zone

**Installation Instructions**

1. Prepare Footing, refer to Sheet 3 for Inground Footing Detail.
2. Place Ing. Post (Item 5) in footing pour concrete and let cure
3. Attach Trash Can (Items 6,7 or 8) to Ing. Post (Item 5). Refer to Detail 1
4. Complete footing and tighten all hardware.

LEGACY HERITAGE™ LITTER RECEPTACLES

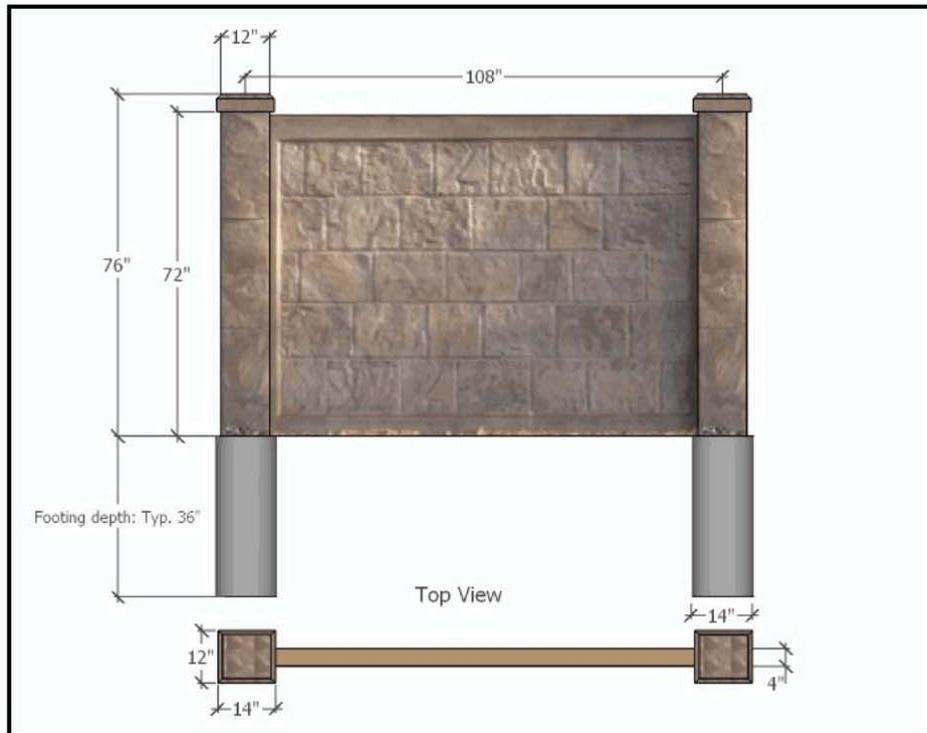
200160671  
LG100015C-S3  
Sheet 3 of 3

1. COMPLETE THE CALCULATION SHEET BELOW (FILL IN BLOCKS A THRU E).
2. FOOTING SIZE MAY VARY DUE TO LOCAL SOIL AND WEATHER CONDITIONS.
3. BASE OF FOOTING MUST BE BELOW FROST LINE.

**POST FOOTING - INGROUND**

# Wall Specifications

This is a column and panel system. The center of column to center of column is nine (9) feet wide and the panel is six (6) feet tall.



• *Color: Brownstone*

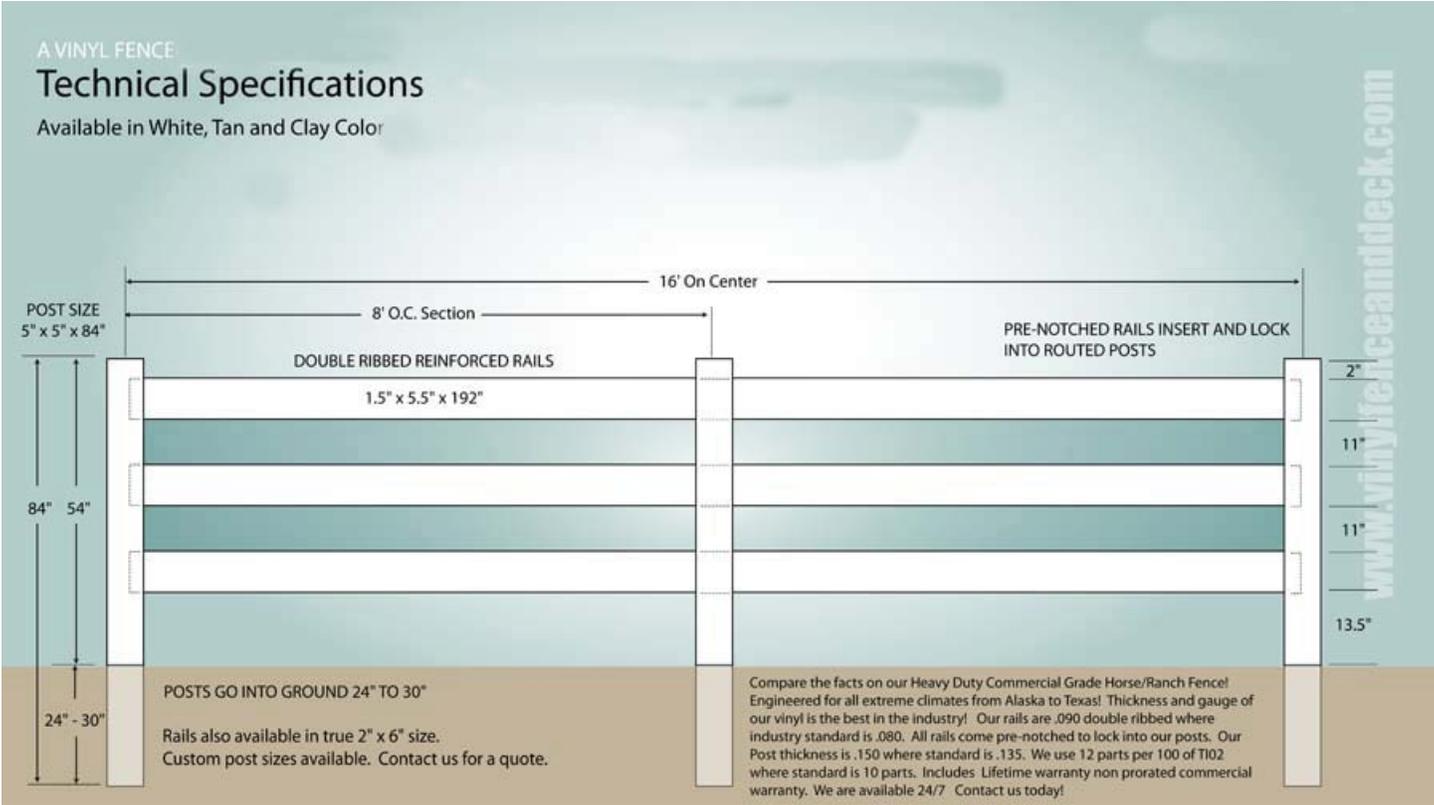
TECHNICAL INFORMATION: RhinoRock Fence Panel		
Dimension of Panel	182 cm x 259 cm	72"x102"
Weight of Panel	105 Kg	230 lbs
Weight per area	21.5kg/m <sup>2</sup>	4.9lbs/ft <sup>2</sup>
Thickness of Panel	115mm	4.5"
EPS Foam Core thickness	63-95mm	2.5-3.75"
Glass fiber reinforced concrete shell thickness	9mm	5/16"
% glass fiber by volume	4-4.50%	
Compressive Strength of proprietary concrete mix design	4x10 <sup>7</sup> N/m <sup>2</sup>	5800 psi
Ultimate tensile strength of glass fiber reinforced concrete	9.6x10 <sup>6</sup> - 1.4x10 <sup>7</sup> N/m <sup>2</sup>	1400-2100 psi
Wind load capacity of panel	225 km/h	140mph with 1.6 safety factor
axial load capacity of panel	1644 kg/lineal meter	1100 lbs/lineal foot
moisture absorption of EPS foam core by total immersion	<4%	
Combustibility of glass fiber reinforced concrete shell	Non-combustible	
Freeze/thaw performance	200 freeze thaw cycles with no damage	
Derby, fungus, or mushroom attack	none	
Termite food source	none	

# Fence Specifications

A split rail (3 rails) vinyl fence will be installed adjacent to open space on lots 101 and 160-163. The color will be tan to match the RhinoRock Wall. The fence shall be installed as part of the lot improvements.



• Color: Tan

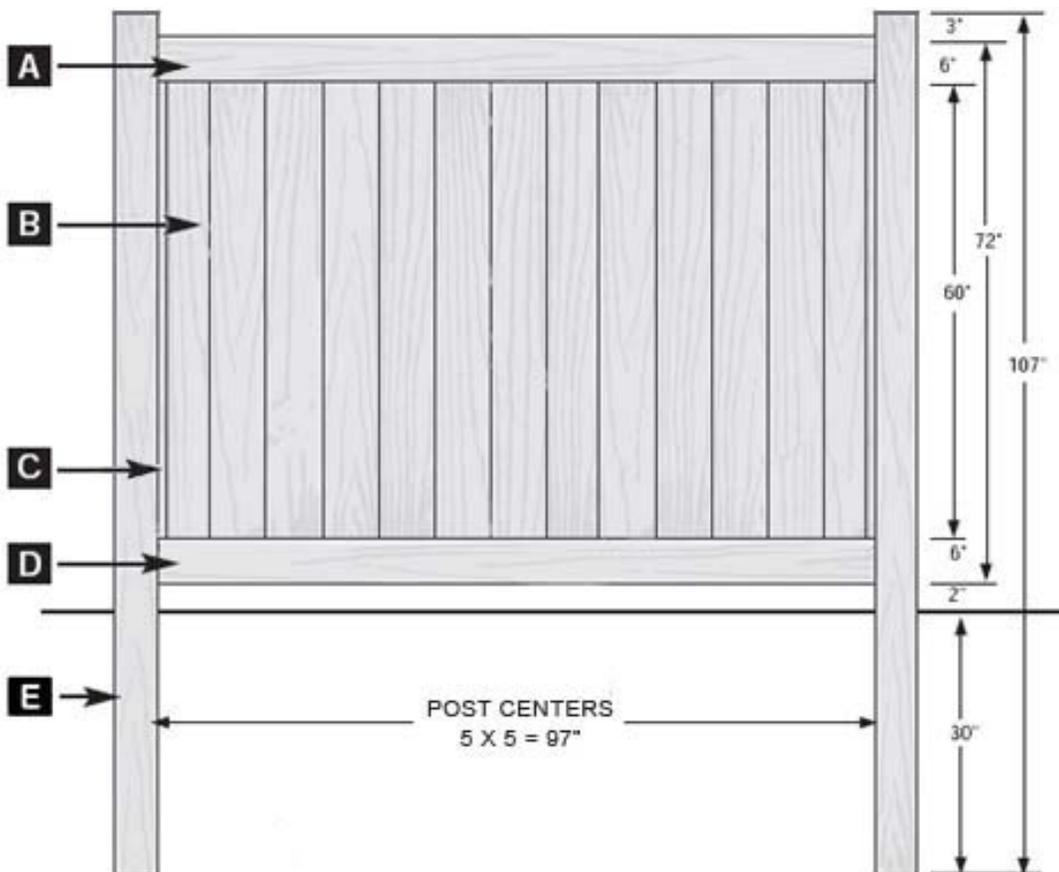


# Fence Specifications

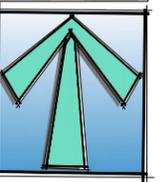
A solid vinyl fence will be installed along lots 115, 138, and 146 -160 adjacent to Existing and Future Development. The color will be tan to match the RhinoRock Wall. The fence shall be installed as part of the lot improvements.

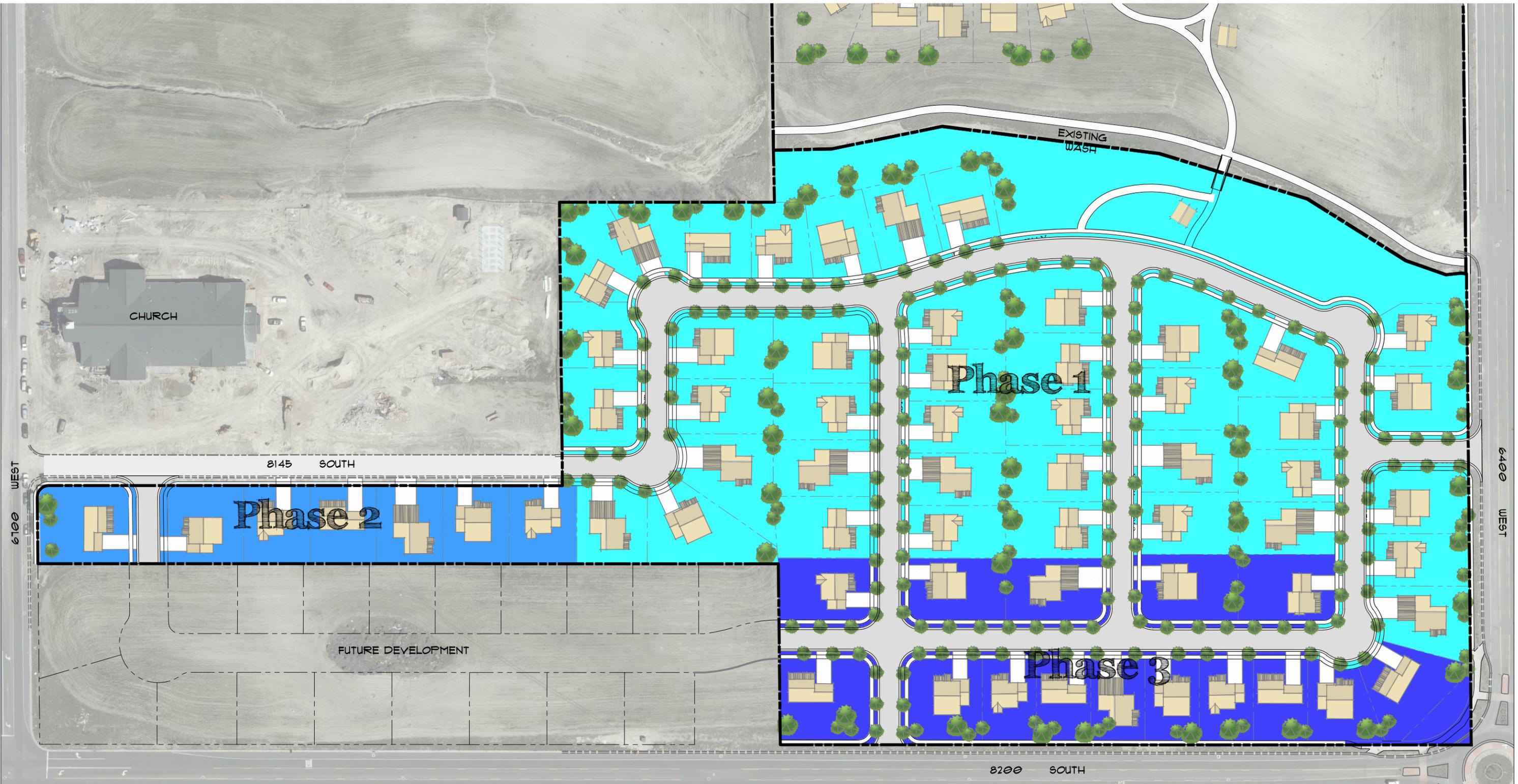


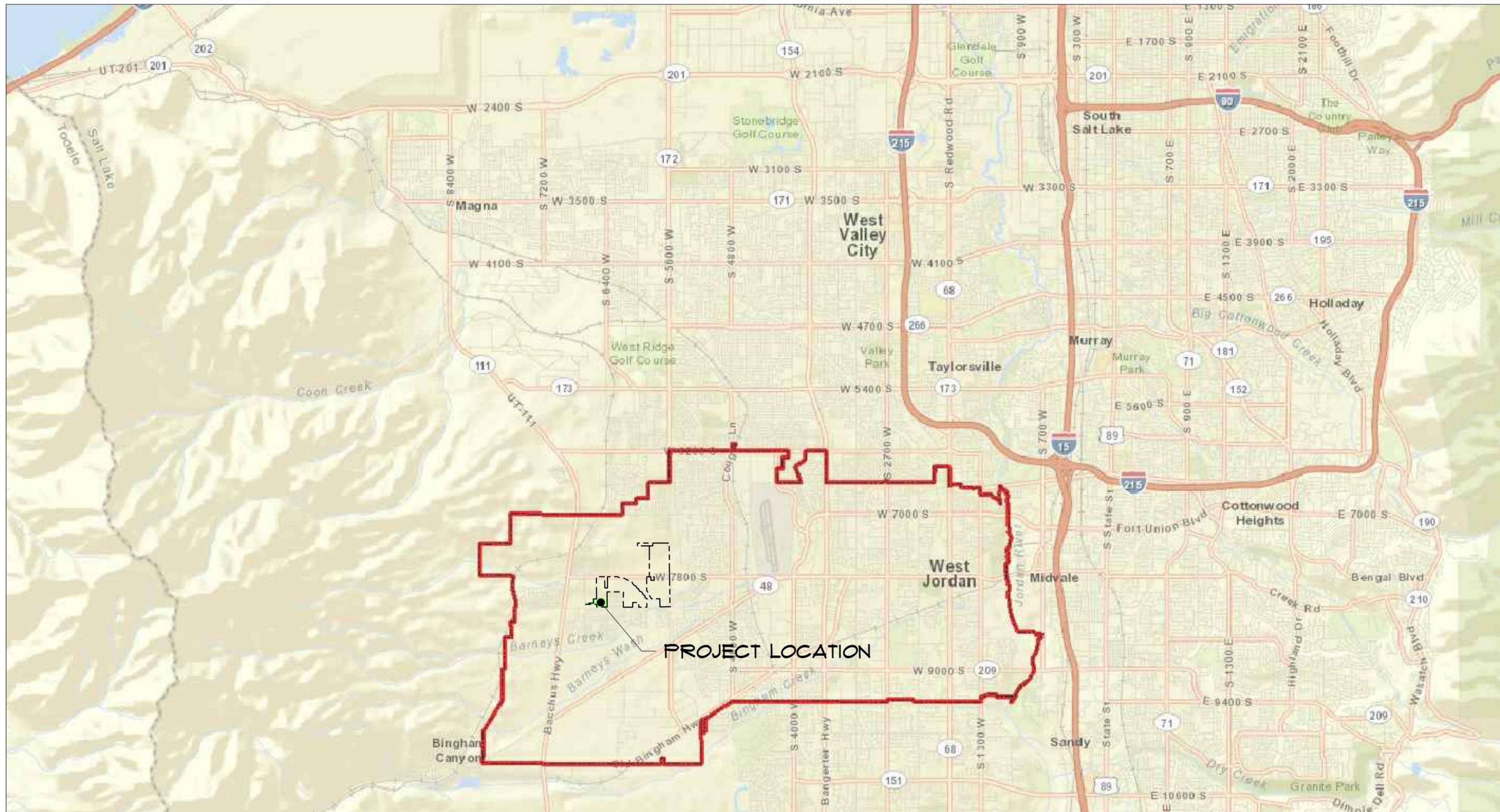
• Color: Tan



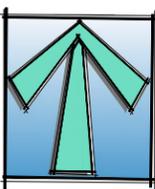
- A: Top Rail
- B: Pickets
- C: End Channel
- D: Bottom Rail
- E: Post (in-ground)

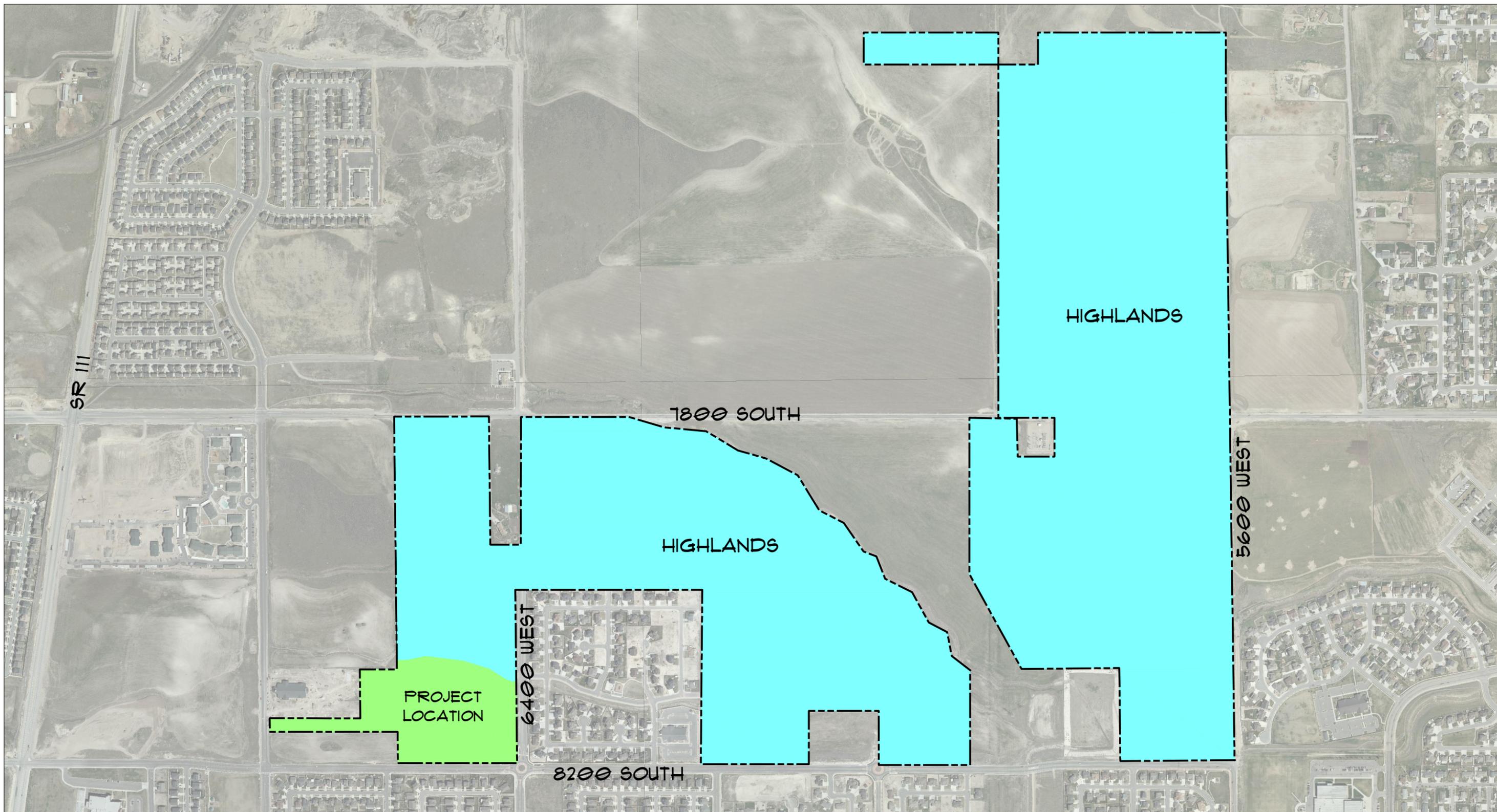




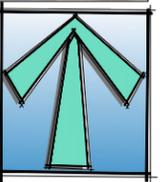
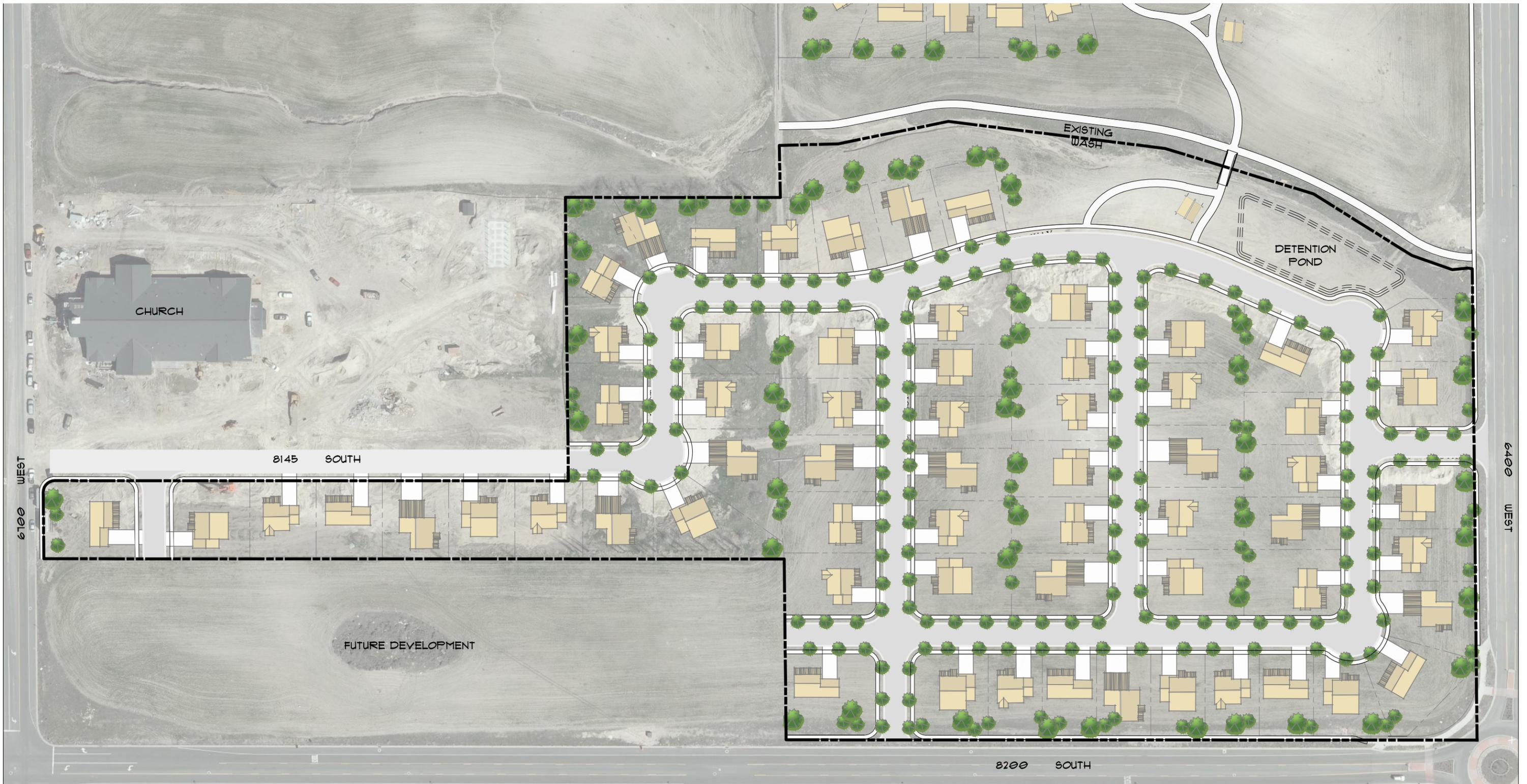


PROJECT LOCATION

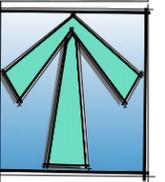








SCALE 1"=120' **Storm Water Detention Plan** 10



SCALE 1"=120' **Street/Pedestrian Plan** 18



SCALE 1"=120'

# Entry Monument Plan

19

