



**REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,**

Wednesday November 15, 2023, 6:00 p.m.

PUBLIC NOTICE is hereby given that the Vineyard City Planning Commission will hold a regularly scheduled meeting at City Hall, 125 South Main Street, Vineyard, Utah. You can also view the meeting on our [live stream channel](#).

REGULAR SESSION

CALL TO ORDER

1. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE

2. OPEN SESSION - Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing.

3. BUSINESS ITEMS

3.1 PUBLIC HEARING *CONTINUED* – Homestead at Vineyard City, Utah Pod 1 Live-Work Units Development Agreement Amendment

The Planning Commission will **continue** the public hearing for an amendment to the Development Agreement from Mike Olsen with Home Center Construction, to the Homestead at Vineyard City, Utah, Pod 1, Live-Work Units to the December 6, 2023 Planning Commission Meeting.

3.2 Sign Standard Waiver – Jiffy Lube

Cache Hancey will present a sign standard waiver application from Jiffy Lube. The applicant is proposing a 7 foot in height monument sign. The Planning Commission will take appropriate action.

3.3 Site Plan Application - McDonalds

Cache Hancey will present a site plan application for McDonalds, located at 391 Geneva Road (Parcel ID 40:612:0206). The lot is approximately 1.5 acres and located within the Geneva Road Mixed Use (GRMU) Special Purpose Zone. It is a permitted use in the GRMU zone. The Planning Commission will take appropriate action.

3.4 2024 Calendar

The Planning Commission will review and adopt a calendar for 2024.

3.5 2024 Chair and Vice-Chair Elections

The Planning Commission will elect a new chair and vice-chair for 2024.

4. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE

5. ADJOURNMENT

The Public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Rachel Stevens, Planner, at least 24 hours prior to the meeting by calling (801) 226-1929 or email at rachels@vineyardutah.org.

The foregoing notice and agenda were posted on the Utah Public Notice Website and Vineyard Website, posted at the Vineyard City Offices and City Hall, delivered electronically to city staff and each member of the Planning Commission.

AGENDA NOTICING COMPLETED ON: November 14, 2023

NOTICED BY: /s/ Cache Hancey

Cache Hancey, Planner

Planning Commission Regular Meeting – Agenda

Community Development

Date: November 15, 2023
From: Rachel Stevens, Planner
To: Planning Commission
Item: Jiffy Lube Sign Standard Waiver
Permit: PLAN23-024 (City Inspect, within the Land Use and Development Module)
Address: 199 N Geneva Road, Vineyard, Utah, 84059
Applicant: Kara Lopez, Identity Signs
Owner: Jiffy Lube, Burford-Minnick, Jill (Et all)



ANALYSIS

The applicant, Kara Lopez, with Identity Signs, is proposing to install one (1) single-tenant monument sign along and multiple wall signs on each elevation of Jiffy Lube. A sign standard waiver is required to fulfill the following requirements:

- Single-tenant monument sign height

Identity Signs, applied for a building permit (23-100), on behalf of Jiffy Lube, that was approved and passed final inspection. The monument sign constructed is 6 feet tall, which is the maximum height allowed in the GRMU zone (See Sign Standard Table [VZC 15.48.070](#)). However, it was placed behind an electrical box which partially blocks the view of the sign.

EXISTING CONDITIONS



Site Notes/Prep

Needs to be raised 12" to be above electrical box

The applicant is proposing to raise the sign an additional 12 inches to be viewable above the electrical box. The proposed single-tenant monument sign measures 7 feet in height. Vineyard Zoning Code [15.48.040\(4\)](#) 'Sign Standard Waiver' states, "In no event shall a Sign Standard Waiver contain a freestanding sign that exceeds by more than twenty feet (20') for multi-tenant signs and ten feet (10') for single tenant signs." Therefore, the Planning Commission may approve the height of the applicant's single-tenant monument signs per the criteria stipulated above.

STAFF RECOMMENDATION

Staff recommends approval of the Sign Standard Waiver Application.

CONDITIONS

1. The applicant pays any outstanding fees and makes any redline corrections.
2. The applicant is subject to all federal, state, and local laws.

PROPOSED MOTION

"I move to approve the sign standard waiver application as requested by Ruth Gillies, with Gillies Sign & Design with the proposed conditions."

ATTACHMENTS

Site Plan

Construction Plans

Rachel Stevens

From: Kara Lopez <kara@idsignco.com>
Sent: Monday, November 13, 2023 3:18 PM
To: Rachel Stevens
Cc: Brent Albers
Subject: Request for Standard Sign Waiver Allowance for Monument Sign Height - Jiffy Lube, 199 N Geneva Rd

Dear Members of the Planning Commission,

I am writing to formally request a waiver allowance for additional height to the monument sign located at Jiffy Lube, 199 N Geneva Rd, in accordance with Vineyard Zoning Regulations. The purpose of this request is to address an unforeseen issue that emerged during the installation of our monument sign.

Project Narrative:

The Jiffy Lube at 199 N Geneva Rd is a vital establishment serving our community with automotive maintenance and services. The monument sign installed at our location plays a crucial role in ensuring our visibility and accessibility to passing motorists and pedestrians.

When we initially installed the monument sign, we followed the electrical plan provided, which was designed to comply with all relevant regulations. However, an unforeseen issue arose due to the height of the electrical box situated in proximity to the sign. The electrical box is exceptionally tall and obstructs the bottom portion of the monument sign.

The obstruction caused by the electrical box prevents the entire face of the monument sign from being visible when traveling South on Geneva Rd. We believe that it is essential for our sign to be clearly visible to all potential customers, and to achieve this, we are seeking permission to raise the monument sign to an appropriate height that ensures its full visibility above the electrical box.

Our request is driven by the following considerations:

1. ****Signage Importance****: The monument sign is a critical means of communication for our business. It provides essential information to the public about our services and location, facilitating access to our establishment.
2. ****Visibility and Impact****: The location of the electrical box was beyond our control, and it inadvertently obstructs the sign's visibility. Raising the sign to an appropriate height will ensure that it serves its intended purpose effectively, benefiting both our business and the community.
3. ****Compliance with Zoning Regulations****: The proposed sign height adjustment is the only variance being sought. The sign design itself adheres to all other zoning regulations, maintaining safety and aesthetic integrity.

We kindly request that the Planning Commission consider our waiver request in light of the unforeseen issue we have encountered and the importance of maintaining the sign's visibility for our business and the community's convenience.

We are fully committed to ensuring that any adjustments made to the monument sign will be executed with the highest quality of construction, materials, and maintenance, thereby maintaining the sign's integrity as a lasting asset to the community.

Thank you for your consideration, and we look forward to your response. Please feel free to contact me at kara@idsignco.com or 801-748-4750 if you require any further information or clarification regarding this request.

Thank you,

Kara Lopez | **identity signs**

Utah 801.748.4750 | Washington 425.655.7727

9913 South Jordan Gateway, Sandy Utah 84070

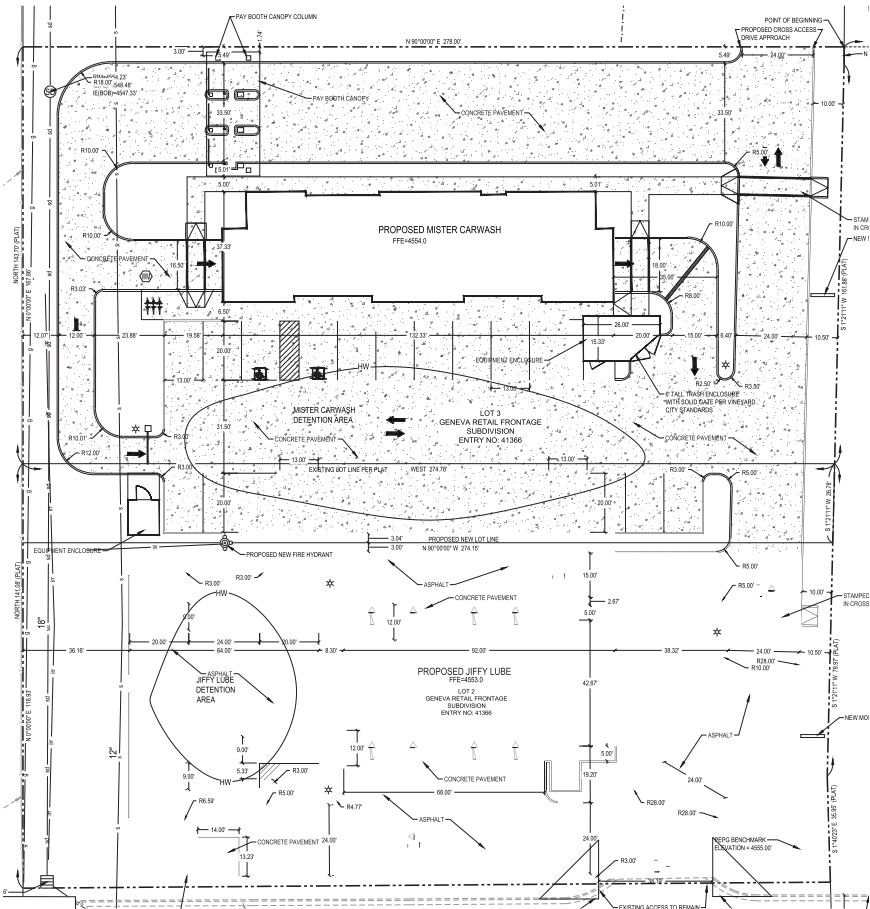
14941 NE 95th, Redmond WA 98052

kara@idsignco.com | www.idsignco.com

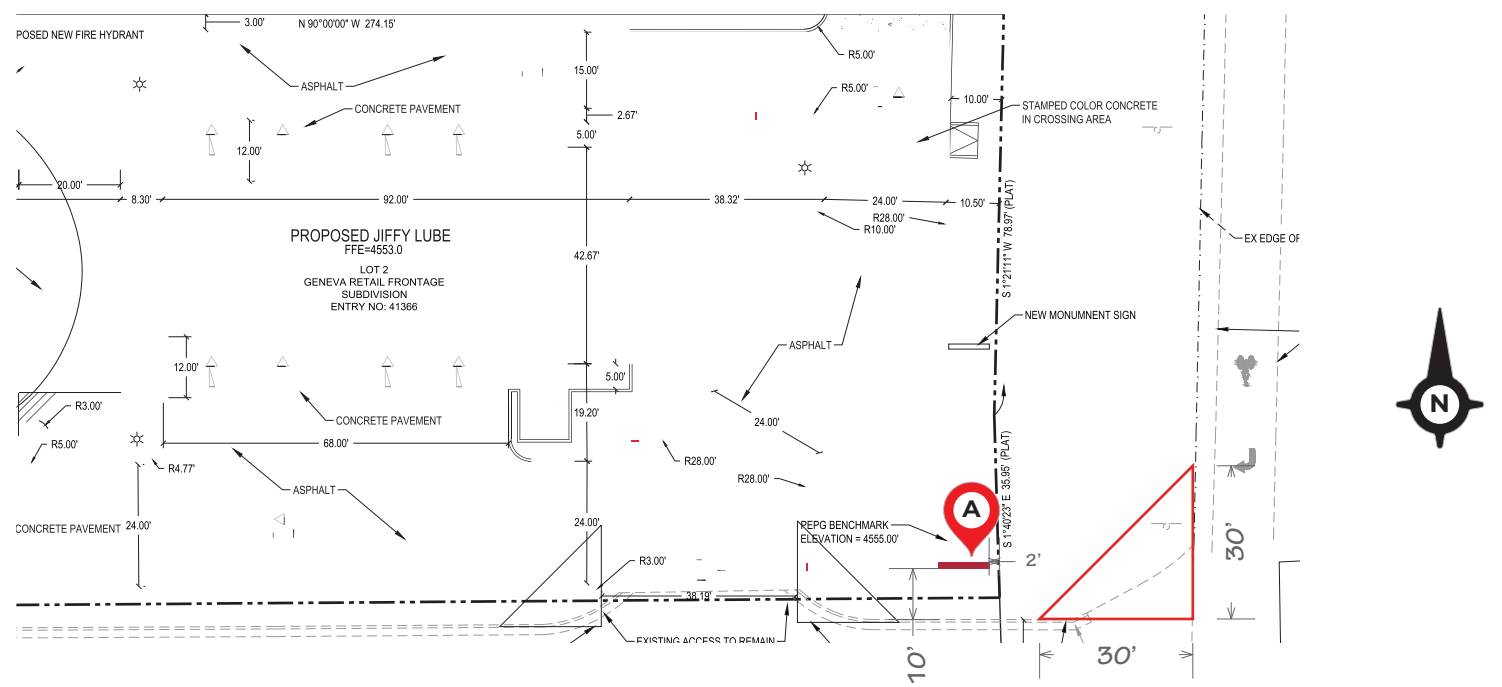
VICINITY MAP



PROPERTY MAP



SITE PLAN




SIGN LEGEND

A

Monument Sign

qty 1 40ft² D/S





Identity Signs

Salt Lake, UT | Seattle, WA
801.748.4750
sales@idsignco.com

Job # 19947

Client
SRE - Jiffylube

Address
199 N Genva Rd,
Orem, UT 84059

Zone
Commercial

© 2023
Identity Signs

All designs represented are the
sole property of identity signs,
and may not be reproduced in
part or whole without written
permission from Identity Signs.

Sales Person
Brent Albers

Project Manager
Kara Lopez

Designer
Punga Ve

Page 1 of 2

<div> <div>A</div> <div>SIGN TYPE</div> <div>[Monument]</div> </div>			
	Description	Internally Lit Double Sided Monument Sign	
	Voltage	Existing	
Square Feet of Proposed Sign	40	Sign Weight	000 lbs
		Elevation	S

EXISTING CONDITIONS

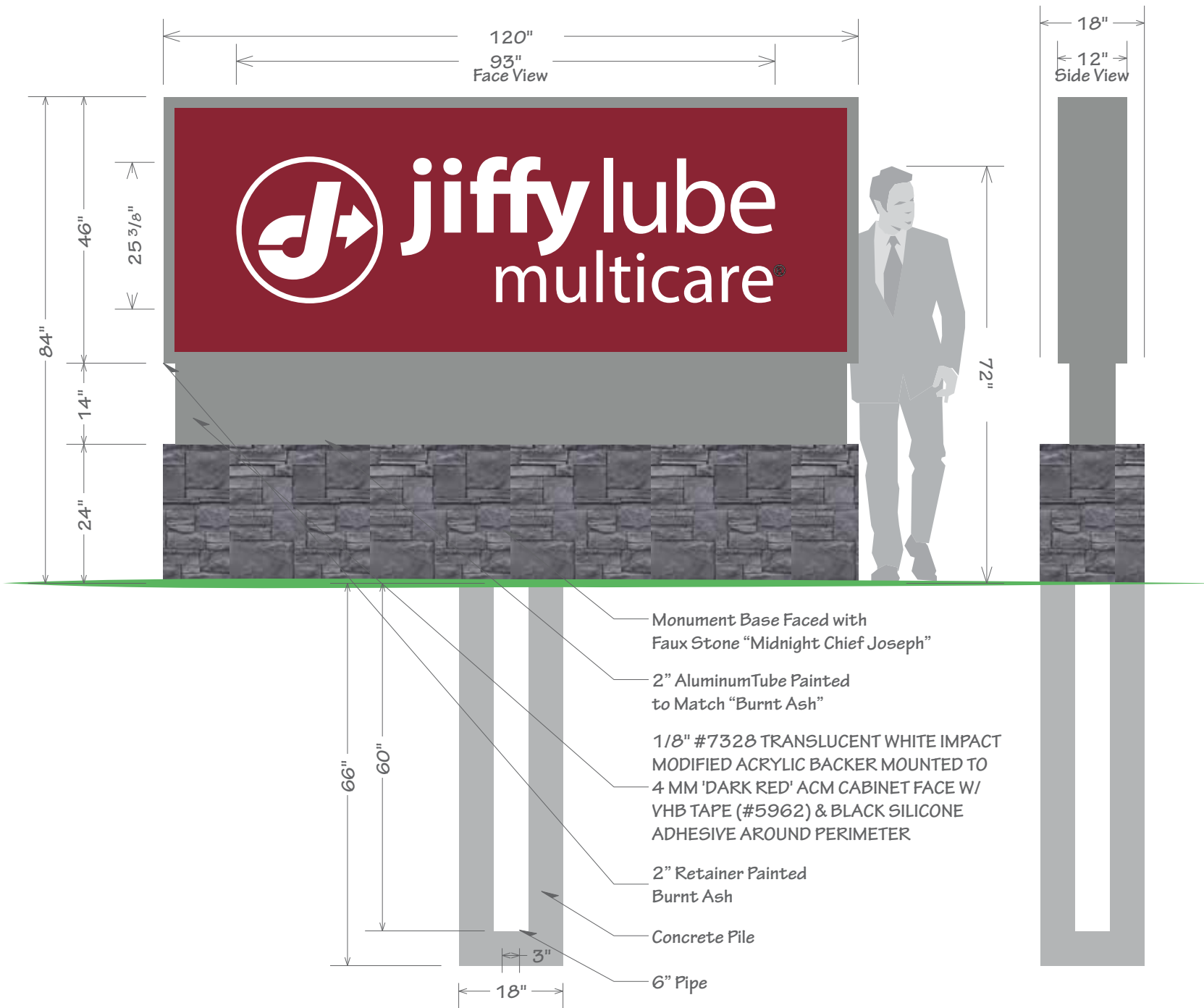


Site Notes/Prep
Needs to be raised 12" to be above electrical box

SIGN RENDERING



SIGN SPECIFICATIONS



Salt Lake, UT | Seattle, WA
801.748.4750
sales@idsignco.com

Job # 19947

Client
SRE - Jiffylube

Address
199 N Genva Rd,
Orem, UT 84059

Zone
Commercial

© 2023
Identity Signs

All designs represented are the sole property of identity signs, and may not be reproduced in part or whole without written permission from Identity Signs.

Sales Person
Brent Albers

Project Manager
Kara Lopez

Designer
Punga Vea

DESIGN CODES	FOUNDATIONS	CONCRETE	SPECIAL INSPECTION	<div><div><div><div><div>UTAH</div><div>SIGN</div><div>ASSOCIATION</div></div></div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div>SULLAWAY</div><div>ENGINEERING</div></div></div><div>10815 RANCHO BERNARDO RD., SUITE 260 SAN DIEGO, CA 92198 PROJECTMANAGER@SULLAWAYENG.COM (858)-312-5150 www.sullawayeng.com</div></div></div><div>SIGN DESIGN ENGINEERING STANDARDS; FOR THE STATE OF UTAH</div><div>PROJECT NUMBER: 19359</div><div>DATE: 11-6-2018</div><div>SCALE: NO SCALE</div><div>DRAWN BY: MFS</div><div>DESIGNED BY: MFS</div><div>REVISIONS:<div>NO. DATE</div><div>1</div><div>2</div><div>3</div><div>4</div><div>5</div></div><div>THIS ELECTRONIC SIGNATURE HAS BEEN AUTHORIZED BY ME</div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div>No. 6985627-2203</div><div>MICHAEL F SULLAWAY</div></div></div><div>PROFESSIONAL STRUCTURAL ENGINEER STATE OF UTAH</div></div></div><div>V = 105 MPH GENERAL NOTES & DESIGN CRITERIA</div><div>SHEET TITLE: SHEET: S1</div></div></div></div></div>																																
IBC 2018 with Utah Ammendments ASCE 7-16 AISC Fifteenth Edition ACI 2016 NDS 2018 WIND LOAD DESIGN PARAMETERS: 115 MPH, EXPOSURE C, RISK CATEGORY II, K _{zt} =1.0, K _s =0.85, I=1.0, G=0.85 SEISMIC DESIGN PARAMETERS: S _s = 2, S _i =NA, S _{ds} =NA, S _{d1} =NA, C _d =0.381, R=3.5, I=1.0 SEISMIC DESIGN CATEGORY A, OCCUPANCY CATEGORY II	<div>1. THE FOUNDATION DESIGN IS BASED ON THE MINIMUM SOIL BEARING VALUES OF 1500 PSF AND LATERAL BEARING OF 150 PSF/FT AS PER IBC CLASS 4 SOIL TABLE 1806.2. ALLOWABLE BEARING CAN BE INCREASED BY 1/3 FOR WIND AND SEISMIC LOADS.</div> <div>2. THE FOOTING EXCAVATION SHALL BE KEPT FREE AND CLEAR OF LOOSE MATERIAL AND FREE STANDING WATER.</div> <div>3. ANY ADVERSE SOIL CONDITIONS ARE TO BE REPORTED TO THE ENGINEER OF RECORD. IF SUCH ADVERSE SOIL CONDITIONS ARE ENCOUNTERED A SOILS INVESTIGATION/REPORT MAY BE REQUIRED.</div> <div>4. FOUNDATION AND SOIL DESIGN SHALL COMPLY WITH SECTION 1801.2 OF THE INTERNATIONAL BUILDING CODE.</div> <div>5. SHALLOW FOUNDATIONS SHALL BE BUILT ON UNDISTURBED SOIL, COMPACTED FILL MATERIAL OR CONTROLLED LOW-STRENGTH MATERIAL (CLSM). COMPACTED FILL MATERIAL SHALL BE PLACED IN ACCORDANCE WITH IBC SECTION 1804.5 AND CLSM SHALL BE PLACED IN ACCORDANCE WITH IBC SECTION 1804.6. THE MINIMUM DEPTH OF SHALLOW FOOTINGS SHALL BE 12" BELOW GRADE.</div>	<div>1. CONCRETE CONSTRUCTION SHALL CONFORM TO IBC CHAPTER 19 AND THE REQUIREMENTS OF ACI 301 AND ACI 318 FOR MATERIAL AND PLACEMENT STANDARDS.</div> <div>2. ADMIXURES ARE NOT TO BE USED WITHOUT PRIOR APPROVAL OF THE ENGINEER. ANY ADMIXURES THAT REDUCE THE CONCRETE STRENGTH SHALL NOT BE USED. CONCRETE SHALL BE FREE OF CHLORIDE. FLY ASH SHALL NOT BE MORE THAN 15% OF THE TOTAL WEIGHT OF THE CONCRETE.</div> <div>3. THE 28 DAY CONCRETE STRENGTH SHALL BE A MINIMUM OF 2500 PSI (GROUP U OCCUPANCY)</div> <div>4. WATER CEMENT RATIO SHALL BE A MAXIMUM OF 0.45. THE MAXIMUM AGGREGATE SIZE SHALL BE 1".</div> <div>5. TYPE V PORTLAND CEMENT SHALL CONFORM TO ASTM C150. CONCRETE MIXING SHALL CONFORM TO ASTM C94 AND THE SLUMP SHALL NOT BE GREATER THAN 4 ½".</div> <div>6. ALL REINFORCEMENT, ANCHOR BOLTS AND OTHER INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.</div> <div>7. FORMWORK SHALL NOT BE REMOVED UNTIL CONCRETE HAS REACHED A STRENGTH OF 75% OF THE DESIGN STRENGTH.</div> <div>8. CONCRETE COVER OF REINFORCEMENT SHALL BE AS FOLLOWS:<div>CONCRETE PLACED DIRECTLY AGAINST EARTH3"<div>TOP OF SLAB1"</div>FORMED CONCRETE WITH EARTH BACKFILL2"</div></div>	<div>1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE SPECIAL INSPECTION AGENCY AT LEAST ONE DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. SPECIAL INSPECTION WORK THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE INSPECTOR MAY BE SUBJECT TO REMOVAL OR EXPOSURE.</div> <div><div><div>SPECIAL INSPECTION SCHEDULE</div><table><tr><td>SPECIAL INSPECTION REQUIRED WHERE NOTED ON DRAWINGS</td><td>CONTINUOUS</td><td>PERIODIC</td></tr><tr><td>STRUCTURAL STEEL</td><td></td><td></td></tr><tr><td>HIGH STRENGTH BOLTS</td><td></td><td>X</td></tr><tr><td>FIELD WELDING-</td><td></td><td></td></tr><tr><td>COMPLETE & PARTIAL PEN. GROOVE WELDS</td><td>X</td><td></td></tr><tr><td>MULTIPASS FILLET WELDS</td><td>X</td><td></td></tr><tr><td>SINGLE-PASS FILLET WELDS > 5/16"</td><td>X</td><td></td></tr><tr><td>REINFORCED CONCRETE</td><td></td><td>X</td></tr><tr><td>CONCRETE WITH DESIGN STRENGTH GREATER THAN 2500 PSI</td><td>X</td><td></td></tr><tr><td>EPOXY OR GROUTED DOWELS</td><td></td><td>X</td></tr><tr><td></td><td></td><td></td></tr></table></div><div>ROUGH CARPENTRY</div><div>1. WOOD CONSTRUCTION SHALL CONFORM TO IBC CHAPTER 23 AND THE NDS. THE MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 19%.</div><div>2. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR LARCH, GRADE MARKED BY THE W.O.L.I.B. OR W.W.P.A. AS FOLLOWS:<div><div>STRINGERS</div><div>D.F. CONSTRUCTION GRADE</div><div>POSTS</div><div>D.F. #1</div></div></div><div>3. ALL PLYWOOD SHALL CONFORM TO PS-1 OR A.P.A. PRP-108, HAVE AN EXTERIOR OR EXPOSURE 1 CLASSIFICATION AND SHALL BERAR THE STAMP OF AN APPROVED TESTING AGENCY. THE FACE GRAIN SHALL BE PERPENDICULAR TO SUPPORTS. NAILING SHALL BE CORROSION RESISTANT COMMON NAILS. ALL PLYWOOD SHALL BE ½" NOMINAL THICKNESS MINIMUM WITH A SPAN/INDEX RATIO OF 24/0.</div><div>4. WOOD POSTS IN DIRECT CONTACT WITH EARTH OR CONCRETE SHALL BE PRESSURE TREATED UP TO 8" ABOVE GRADE, STAMPED BY AN APPROVED AGENCY.</div><div>5. BOLT HOLES IN WOOD SHALL BE DRILLED 1/32" TO 1/16" DIAMETER LARGER THAN THE NOMINAL BOLT SIZE.</div><div>6. LAG BOLTS SHALL BE PRE-DRILLED TO A DIAMETER OF 60% OF THE SHANK DIAMETER. THE BOLT SHALL BE TURNED AND NOT HAMMERED.</div><div>7. MANUFACTURED PRODUCTS USED FOR WOOD CONSTRUCTION, SUCH AS SIMPSON STRONG-TIE, SHALL CONFORM TO THE APPROPRIATE UP-TO-DATE REPORT BY THE INTERNATIONAL CODE COUNCIL.</div></div>		SPECIAL INSPECTION REQUIRED WHERE NOTED ON DRAWINGS	CONTINUOUS	PERIODIC	STRUCTURAL STEEL			HIGH STRENGTH BOLTS		X	FIELD WELDING-			COMPLETE & PARTIAL PEN. GROOVE WELDS	X		MULTIPASS FILLET WELDS	X		SINGLE-PASS FILLET WELDS > 5/16"	X		REINFORCED CONCRETE		X	CONCRETE WITH DESIGN STRENGTH GREATER THAN 2500 PSI	X		EPOXY OR GROUTED DOWELS		X		
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GENERAL NOTES	STRUCTURAL STEEL	REINFORCING STEEL	ALUMINUM																																	
<div>1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ELEVATIONS AND FIELD CONDITIONS BEFORE BEGINNING CONSTRUCTION. IF ANY DISCREPENCIES ARE FOUND THE ENGINEER OF RECORD SHALL BE NOTIFIED IMMEDIATELY.</div> <div>2. THE CONTRACTOR SHALL IMMIDIATELY NOTIFY THE ENGINEER OF RECORD OF ANY ON SITE CONDITIONS THAT DO NOT REFLECT THE DRAWINGS, OR OF ANY CONDITIONS THAT AFFECT THE DESIGN OR CONSTRUCTION. THIS INCLUDES ANY AND ALL SITE CONDITIONS SUCH AS ADVERSE SOIL CONDITIONS, DISCOVERED UTILITIES, GROUND WATER, ETC.</div> <div>3. THESE ENGINEERING DRAWINGS HEREIN SHOW THE COMPLETED STRUCTURE IN ITS FINAL STATE. THE MEANS AND METHODS OF CONSTRUCTION AS WELL AS TEMPORARY WORKS REQUIRED TO COMPLETE THE STRUCTURE ARE THE RESPONSIBILITY OF THE CONTRACTOR.</div> <div>4. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS WELL AS ANY ADDITIONAL CODES AND AMENDMENTS OF THE JURISDICTION OF AUTHORITY.</div> <div>5. SIGNS MAY NOT BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.</div> <div>6. ALL SIGNS ARE ON-SITE SIGNS.</div> <div>7. CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/ COMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER IBC SECTION 1704.</div> <div>8. "FOR HEIGHT OF THE SIGN EXCEED ITS WIDTH, IT SHALL BE DESIGNED AND COMPLY WITH POLE SIGN REQUIREMENT; FOR WIDTH OF SIGN EXCEED ITS HEIGHT, IT SHALL BE DESIGNED AND COMPLY WITH MONUMENT SIGN REQUIREMENT.</div>	<div>1. STEEL CONSTRUCTION SHALL CONFORM TO AISC STANDARDS AND IBC CHAPTER 22.</div> <div>2. PIPE STEEL SHALL BE ASTM A53 GRADE B WITH A YIELD STRENGTH OF 35 KSI, UP TO 12" AS PER AISC. ROUND HSS PER ASTM A500 WITH A YIELD OF 42 KSI IS ALSO ACCEPTABLE.</div> <div>3. ROUND HSS STEEL SHALL BE ASTM A500 GRADE B WITH A YIELD STRENGTH OF 46 KSI. THIS SHALL BE FOR DIAMETERS OF UP TO 20". SIZES LARGER THAN SHOWN IN THE AISC MANUAL SHALL ALSO CONFORM TO ASTM A500 GRADE 46 KSI.</div> <div>4. RECTANGULAR HSS STEEL SHALL BE ASTM A500 GRADE B WITH A YIELD STRENGTH OF 50 KSI, UP TO SQUARE TUBE OF 16". SIZES LARGER THAN SHOWN IN THE AISC MANUAL SHALL ALSO CONFORM TO ASTM A500 GRADE 50 KSI.</div> <div>5. PLATES, BARS AND OTHER STRUCTURAL STEEL SHAPES SHALL BE ASTM A36 WITH A YIELD STRENGTH OF 36KSI.</div> <div>6. STEEL MEMBERS PERMANENTLY EXPOSED TO ENVIRONMENTAL CONDITIONS SHALL BE TREATED WITH RUST-INHIBITED PRIMER, EXCEPT FOR MATERIALS THAT ARE GALVANIZED OR OF STAINLESS STEEL.</div> <div>7. WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY STANDARDS. ALL NON-FIELD WELDING SHALL BE PERFORMED BY AN APPROVED FABRICATOR AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELDS SHOWN ON THE DRAWINGS. ALL CERTIFICATES SHALL BE FROM ACCEPTED TESTING AGENCIES. ALL WELDING TO BE DONE BY E70 SERIES LOW HYDROGEN RODS.</div> <div>8. THE CONTRACTOR HAS THE OPTION TO SHOP WELD OR FIELD WELD. FIELD WELD IS SUBJECT TO SPECIAL INSPECTION WHERE NOTED. SOME FIELD WELDING IS OF A NON-STRUCTURAL NATURE.</div> <div>9. ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 36 OR THREADED RODS WITH A36 STEEL.</div> <div>10. FIELD WELD TO BE PERFORMED BY CERTIFIED WELDERS FOR STRUCTURAL STEEL. CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED.</div>	<div>1. DEFORMED REINFORCING STEEL BARS SHALL CONFORM TO ASTM A615 WITH A YIELD STRENGTH OF 60 KSI. ANY BARS TO BE WELDED SHALL CONFORM TO ASTM A706.</div> <div>2. DETAILING, FABRICATION AND PLACEMENT OF REINFORCING BARS SHALL CONFORM TO ACI 315, AND CRSI.</div> <div>3. LAP SPLICES SHALL BE A MINIMUM CLASS "B" TENSION LAP SPLICE AS PER ACI 318 OR 40 TIMES BAR DIAMETER. SPLICES SHALL BE STAGGERED BY A MINIMUM OF ONE LAP LENGTH.</div> <div>4. SPLICE LOCATIONS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER OF RECORD.</div> <div>5. ALL REINFORCING BARS SHALL BE CLEAN AND FREE FROM LOOSE MILL SCALE, RUST, OIL, DEBREE, OR ANY OTHER MATERIAL THAT MAY AFFECT THE BOND WITH CONCRETE.</div>	<div>1. ALL ALUMINUM CONSTRUCTION SHALL CONFORM WITH THE AA ADM-1 ALUMINUM DESIGN MANUAL. ALLUMINUM SECTIONS SHALL BE 6061-T6 WITH A MINIMUM TENSILE YIELD STRENGTH OF 30KSI.</div> <div>2. PROTECTION BETWEEN DISSIMILAR METALS SHALL BE PROVIDED.</div>																																	

**SIGN DESIGN
ENGINEERING
STANDARDS;
FOR THE STATE
OF UTAH**

PROJECT NUMBER:
19359

DATE: 11-6-2018
SCALE: NO SCALE
DRAWN BY: MFS
DESIGNED BY: MFS

REVISIONS:
NO. DATE

1

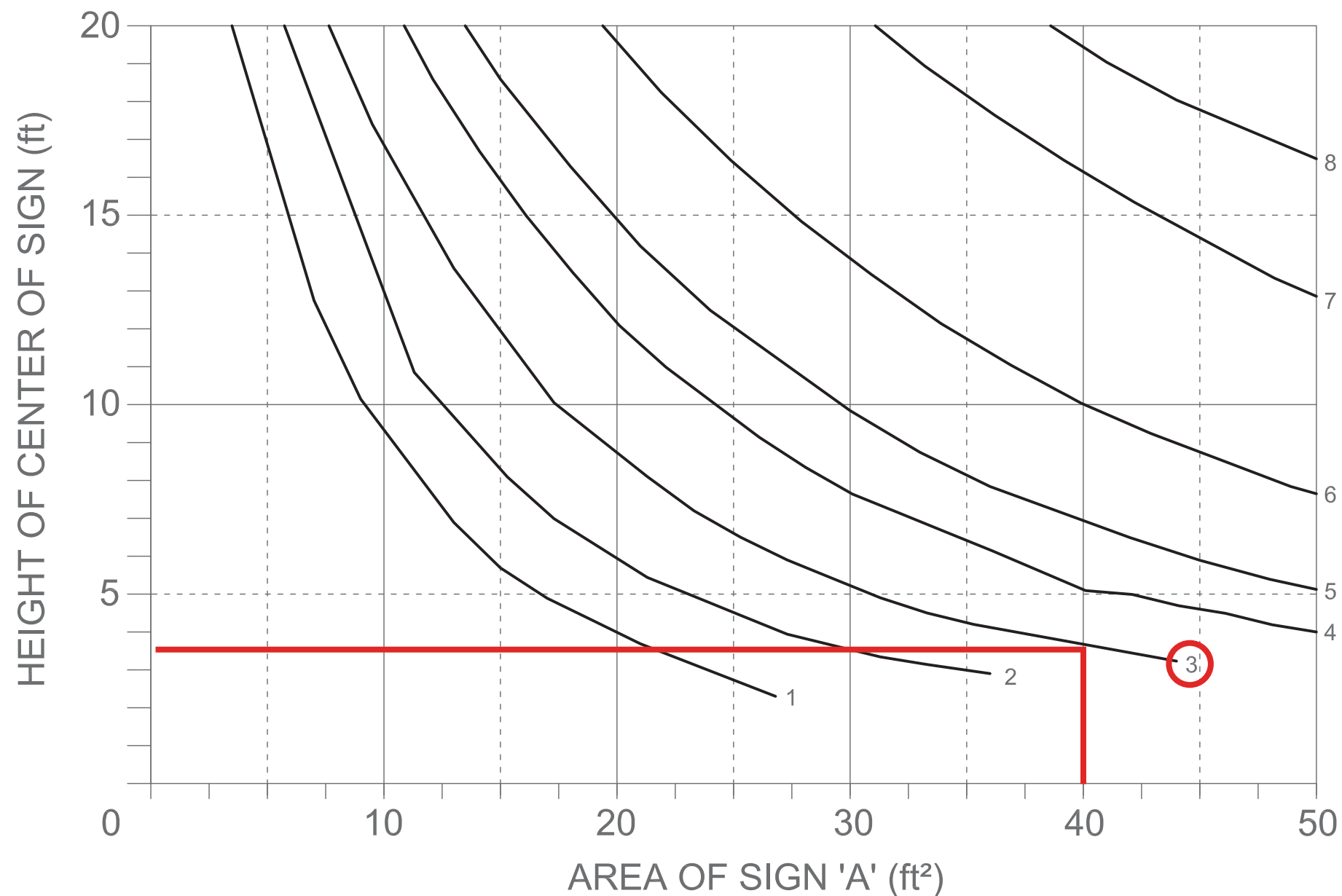
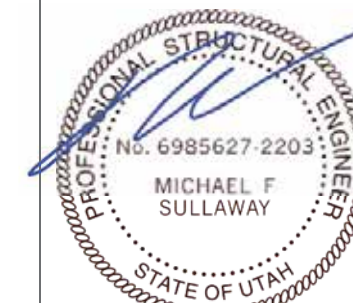
2

3

4

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THIS ELECTRONIC
SIGNATURE HAS BEEN
AUTHORIZED BY ME



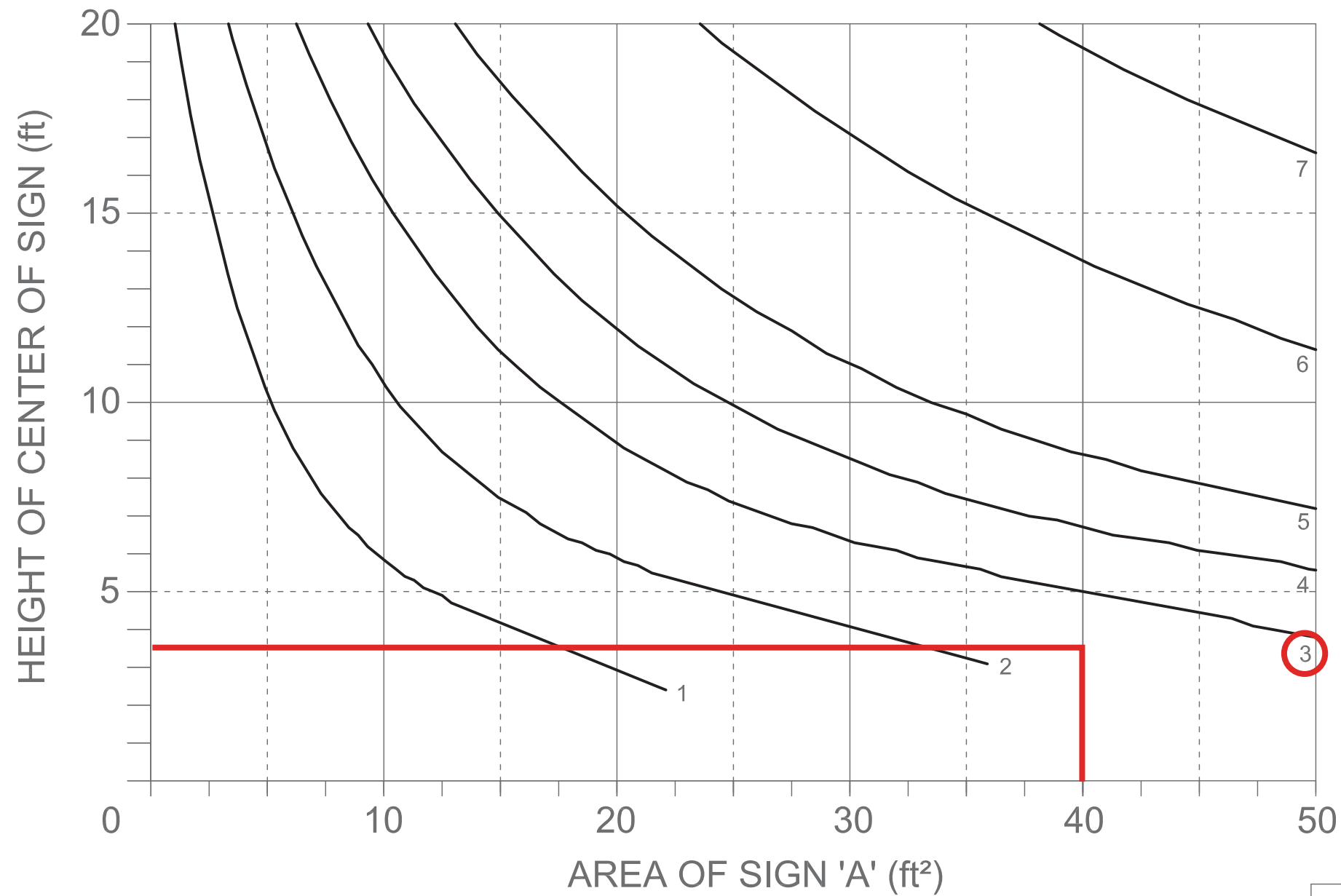
PILE SIZE (DIAMETER AND DEPTH IN FT)					
#	DIA.	DEPTH	#	DIA.	DEPTH
1	1.50	4.0	6	2.00	6.0
2	2.00	4.0	7	2.00	7.0
3	1.50	5.0	8	2.50	7.0
4	2.00	5.0	9	2.50	8.0
5	1.50	6.0	10	3.00	8.0

NOTES

1. PLOT POINT AND CHOOSE THE CURVE ABOVE THE POINT

V = 105 MPH
SMALL SINGLE POLE - FOUNDATION

SHEET TITLE:
SHEET:
S3



PIPE - UNITS; INCHES					
#	DIA	t	#	DIA	t
1	2	0.154	5	4.0	0.237
2	2.5	0.203	6	5.0	0.258
3	3.0	0.216	7	6.0	0.280
4	3.5	0.226			

NOTES

1. PLOT POINT AND CHOOSE THE CURVE ABOVE THE POINT

V = 105 MPH

SHEET TITLE: SHEET:
SMALL SINGLE POLE - PIPE S5



10815 RANCHO BERNARDO RD., SUITE 260
SAN DIEGO, CA 92198
PROJECTMANAGER@SULLAWAYENG.COM
(858)-312-5150
www.sullawayeng.com

SIGN DESIGN
ENGINEERING
STANDARDS;
FOR THE STATE
OF UTAH

PROJECT NUMBER:
19359

DATE: 11-6-2018
SCALE: NO SCALE
DRAWN BY: MFS
DESIGNED BY: MFS

REVISIONS:
NO. DATE

1

2

3

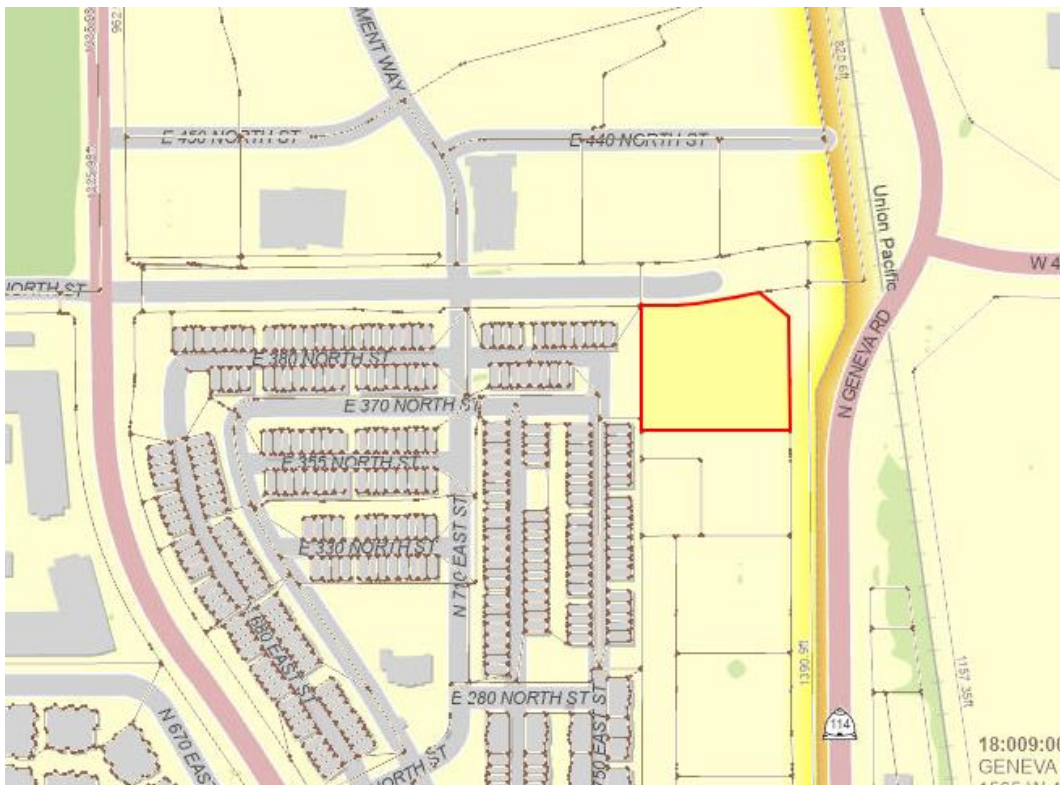
4

5

THIS ELECTRONIC
SIGNATURE HAS BEEN
AUTHORIZED BY ME



Date: November 15, 2023
From: Cache Hancey, Planner & Business Advocate
To: Planning Commission
Item: McDonalds Site Plan (PLAN 23-016)
Applicant: Darrin Perkes, Dominion Engineering



SUMMARY

Darrin Perkes with Dominion Engineering has submitted for site plan approval for a new McDonalds to be built at 391 Geneva Road (Parcel ID: 40:612:0206). The lot is approximately 1.5 acres and located within the Geneva Retail Frontage Subdivision and the Geneva Road Mixed Use (GRMU) Special Purpose Zoning Code. This use is an out-right permitted use in the GRMU Zoning District.

The site has adequate parking (54 vehicular stalls and 3 inverted-U bicycle racks) for intended use and 1 drive-through lane. The property has vehicular access off 400 North with future access off Geneva Road. The building was designed to provide pedestrian access on the north and east facades of the building. Due to design requirements set forth in the GRMU, the building was located as far north and east on the lot as possible to provide a gateway entry into the city from the future connection of 400 N. The location of the building does require McDonalds to operate a “reverse drive-through”, meaning that the drive-through will be operated on the south, dividing the parking lot from the building. Landscaping will be completed with decorative stone and native plants. They have provided 22.8% of the site with landscaping. No turf is proposed. Proper landscaping has been provided along the western end of the parking lot to shield any vehicular light from the neighboring residential buildings. The site will have adequate lighting, with multiple shielded downlit light poles not exceeding 20ft in height.

STAFF RECOMMENDATION

Staff recommends approval with the listed conditions of the site plan application.

CONDITIONS

1. The applicant pays any outstanding fees and makes any redline corrections.
2. The applicant is subject to all federal, state, and local laws.
3. The applicant must observe all American with Disabilities Act (ADA) requirements.
4. Prior to the issuance of a building permit, proper screening of utilities will be submitted to the Community Development Department for approval.
5. Prior to the issuance of a building permit, an entry feature for the GRMU located in the northeast corner of the lot will need to be approved by the Planning Commission.

POTENTIAL MOTIONS

"I move to approve the McDonalds site plan application as requested by Darrin Perkes with Dominion Engineering, with the proposed conditions."

ATTACHMENTS

Staff Review

- Development Standards Ordinance
- GRMU Special Purpose Zoning Code
- Drive Through Ordinance

Site Plan (includes landscaping plan and elevations)

Lighting Spec Sheet

Proposed McDonald's
391 Geneva Road, Vineyard, UT
July 05, 2023

Proposed Development Objectives

A McDonald's restaurant is proposed at 391 Geneva Road. This restaurant will provide both dine in and drive thru options for customers. This proposed development will offer Vineyard residents the expected menu items and convenience of service expected from this well-known restaurant chain. Improvements will include a modern McDonald's restaurant, play place, pedestrian access, interior dining area, public restrooms, customer parking area, drive thru lane, lot lighting, site landscape, signage, and the other supporting site improvements necessary for a fast-food restaurant.

Development and Maintenance

The property will be developed by McDonald's, with some common area improvements provided by the developer such as the shared access drive and utility stubs for McDonald's use. Upon completion of the site improvements McDonald's will be responsible for the ongoing maintenance of the property.

Consistency with City Codes and Compatibility

This property is included in the Geneva Road Mixed Use District. This district supports a variety of land use types including housing, retail, office, and commercial uses. The proposed McDonald's restaurant use is compatible with other retail uses in this zone. There is existing residential development to the west of the entire Geneva Road Retail area. An existing wall has been constructed along this shared property line to buffer impacts from the retail development.

Exterior Lighting

Parking lot lights are proposed for the site on 21' height poles. The parking lot lighting is dispersed throughout the site. The photometric plan depicts the design lighting levels through the site showing light levels contained at the property lines.

Vehicle and Pedestrian Circulation

The site plan provides two points of access off a shared access drive that will run through the retail area. The shared drive will connect to 400 North and also Geneva Road through the overall retail area. McDonald's will have two points of access to the shared retail area drive. One point of access will be in the southwest corner of the site, and the other will be in the southeast corner of the site. These two access points will be utilized for all customers and employees. A third paved area is proposed immediately to the west of the building. This area is provided for delivery vehicles only.

There is a proposed drive thru on site. It can be accessed by either of the customer entrances to the parking lot. The drive thru lane supports 16 vehicles from its entrance to the pickup window. Additionally, a third window and bypass lane are provided adjacent

to the building which allow for delayed orders to advance to a third window to wait, thus maintaining the flow of the drive thru.

Pedestrian traffic is encouraged. The close building proximity of the building to the right of way allows for a short pedestrian connection for those walking through the community. Customers who arrive at the McDonald's by car can utilize the sidewalk and crosswalk to enter at the south east corner of the building.

Community Impact

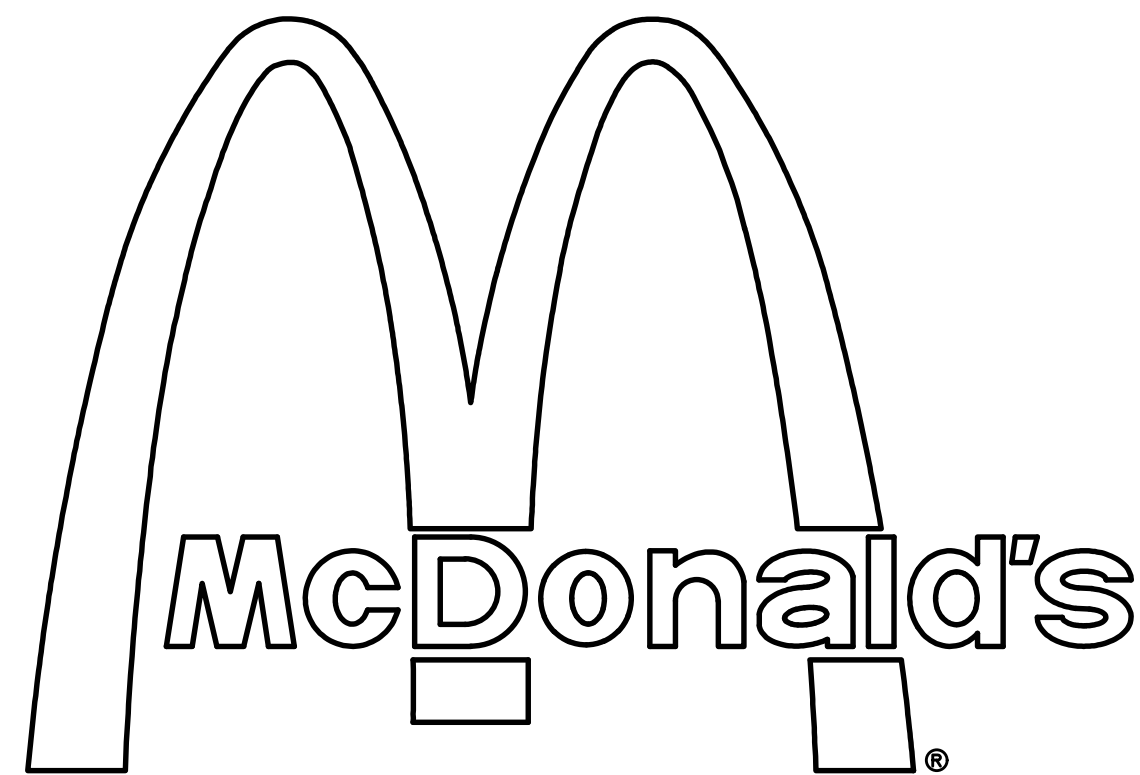
There is not a foreseen significant impact to community services such as utilities, schools, and recreational facilities from the operation of the proposed McDonald's. The neighboring residential development to the west already has a sound and visual buffer wall separating it from the retail area. Additional landscape buffer has also been provided on the McDonald's site to increase the buffering effect. The proposed McDonald's does not have any proposed outdoor uses aside from the anticipated pedestrian customers, vehicular movement, and the drive thru use. The hours of operation for the store will be determined by the franchisee. Objectionably high levels of noise, smoke, odor, dust, vibration, and illumination are not anticipated.

Summary

McDonald's site improvements will provide an attractive streetside storefront, enhance the landscape, and offer a fast-food dining option for residents to enjoy. McDonald's is pleased to be able to help provide a vibrant and successful retail area for the Vineyard community.

Darrin Perkes
Dominion Engineering

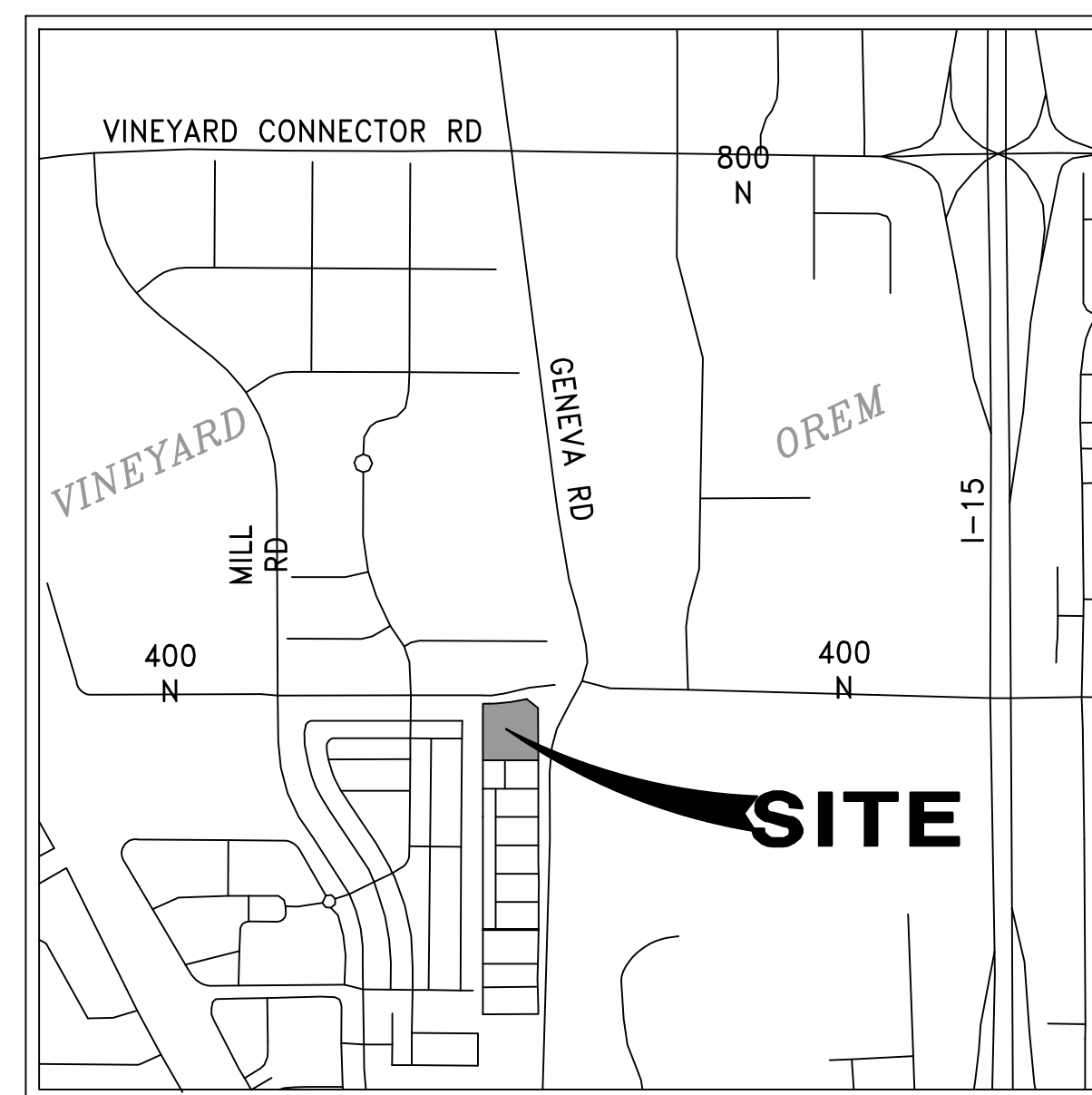




391 GENEVA ROAD VINEYARD, UTAH

SITE 043-0342

SITE IMPROVEMENT PLANS



VICINITY
MAP
N.T.S.

ISSUE DATE	DESCRIPTION	VERSION
06/30/23	CITY SUBMITTAL #1	A
09/29/23	CITY SUBMITTAL #2	B

INDEX OF SHEETS				
VERSION			SHEET NO.	SHEET
		B A		COVER SHEET
		B	1 of 3	ALTA/NSPS LAND TITLE SURVEY
		B	2 of 3	ALTA/NSPS LAND TITLE SURVEY
		B	3 of 3	ALTA/NSPS LAND TITLE SURVEY
		A	GN-1	GENERAL NOTES
		B A	SP-0	OVERALL AREA EXHIBIT
		B A	SP-1	SITE IMPROVEMENT PLAN
		B A	SP-1A	SITE DRIVE THRU LAYOUT
		B A	SP-2	SITE DRIVE THRU CAR QUEUING LAYOUT
		B A	SP-3	GRADING & DRAINAGE PLAN
		B A	SP-4	UTILITY PLAN
		A	DT-1	DRIVE THRU DETAILS (DIGITAL PLATFORM)
		A	DT-2	DRIVE THRU DETAILS (DIGITAL PLATFORM)
		A	DT-3	DRIVE THRU DETAILS (DIGITAL PLATFORM)
		A	SD-1	SITE DETAILS (McDONALD'S)
		A	SD-2	SITE DETAILS (McDONALD'S)
		A	SD-3	TRASH ENCLOSURE DETAILS
		B A	SD-4	MISCELLANEOUS SITE DETAILS
		A	SD-5	STORM DRAINAGE DETAILS & CALCS.
		A	SD-6	VINEYARD CITY STANDARD DETAILS
		A	SD-6A	TIMPANOGOS SPECIAL SERVICES DISTRICT
		A	SD-7	ADA STANDARD DETAILS
		A	SD-8	LOT LIGHTING DETAILS
		B A	LS-1	LANDSCAPE PLAN
		B A	LS-2	IRRIGATION PLAN
		B A	EC-1	EROSION CONTROL PLAN
		B	LTG-1	LIGHTING PLAN LAYOUT
		B	A2.0	BUILDING ELEVATIONS
		B	A2.1	BUILDING ELEVATIONS
		B		COLOR ELEVATION
		B		MATERIAL SAMPLES BOARD

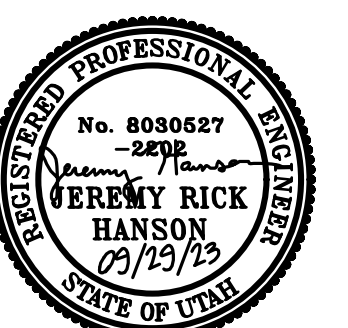
FOR
McDONALD'S CORPORATION

4643 South Ulster Street, Suite 1300
Denver, Colorado 80237
(303) 779-0444

PREPARED BY



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



Path: P:\McDONALDS\Utah\Vineyard\SURVEY.dwg Vineyard ALTA.dwg | plot date: September 26, 2023 | plotted by: Brett

SURVEYOR'S CERTIFICATE

To McDonald's Corporation, a Delaware corporation; McDonald's USA, LLC, a Delaware Limited Liability company; McDonald's Real Estate Company, a Delaware corporation; Fidelity National Title Agency of Utah, LLC & Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1–11, 13–14 & 16–20 of Table A thereof. The on–site measurements were completed on March 21, 2023.

RECORD DESCRIPTIONS

(Title Commitment No. FTUT2300829–TO, Amendment No. 3, Effective Date: August 25, 2023)

PARCEL 1:

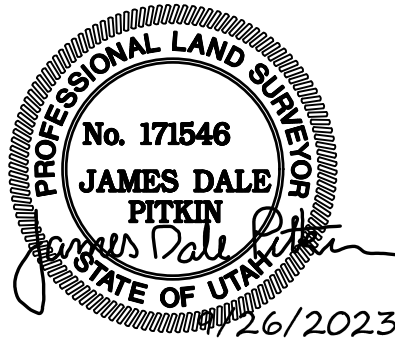
Lot 206, Geneva Retail Frontage Subdivision Plat E Amending Lots 12, 14 and 15 of Geneva Frontage Subdivision Plat B and all of lots 104, 105, 106, 107 and 108 Geneva Retail Frontage Subdivision Plat "D", according to the Official Plat thereof, on file and of record in the Office of the Utah County Recorder, Utah County, State of Utah.

PARCEL 2:

A non–exclusive easement for pedestrian and vehicular access purposes, appurtenant to Parcel 1, as established in and more particularly defined in that certain Reciprocal Easement Agreement and Use Restrictions, recorded September 8, 2023, as Entry No. 59149:2023 of the Official Records.

Date: September 26, 2023

James D. Pitkin, PLS
License No. 171546



NARRATIVE

An ALTA/NSPS Land Title Survey of the subject property was requested by McDonald's USA as a part of future design considerations. A Commitment for Title Insurance prepared by Chicago Title Insurance Company, Commitment No. FTUT2300829–TO, Amendment No. 3, Effective Date: August 25, 2023, was provided and relied upon for the preparation of this survey.

The Basis of Bearings for this survey is South 00°03'06" East 2660.50 feet measured along the Section line between the Northeast Corner (Utah Co Ref. 52–28) and the East Quarter Corner (Utah Co. Ref. 52–29) of Section 17, Township 6 South, Range 2 East, Salt Lake Base & Meridian, as shown on Geneva Retail Frontage Subdivision Plat B. Bearings and distances along the boundary of Geneva Retail Frontage Plat E, Amending Lots 12, 14 and 15 of Geneva Frontage Subdivision Plat B and all of lots 104, 105, 106, 107 and 108 Geneva Retail Frontage Subdivision Plat "D", match the boundary of said Plat B, but there is a 00°00'11" difference in the Basis of Bearings between the two plats. The record tie for Plat B was held for the placement of Plat E, and was not rotated to match the original Basis of Bearings.

The Benchmark for the elevations shown is 4560.50 feet (NGVD29) measured on said Northeast Corner of Section 17, as shown on the Utah County Surveyor's Elevation Plat for said Township 6 South, Range 2 East.

FIELD DESCRIPTION OF SURVEY PROPERTY

All of Lot 206 Geneva Retail Frontage Subdivision Plat E, Amending Lots 12, 14 and 15 of Geneva Frontage Subdivision Plat B and all of Lots 104, 105, 106, 107 and 108 of Geneva Retail Frontage Subdivision Plat "D", recorded September 19, 2023 as Entry No. 61657:2023 in the Office of the Utah County Recorder, located in the Northeast Quarter of Section 17, Township 6 South, Range 2 East, Salt Lake Base and Meridian, more particularly described as follows:

BEGINNING at the northeasterly corner of said Lot 206 Geneva Retail Frontage Subdivision Plat E, located 19.54 feet South 00°03'06" East along the Section line and 158.21 feet North 90°00'00" West (West) from the Northeast Corner of Section 17, Township 6 South, Range 2 East, Salt Lake Base and Meridian, and running thence along said lot the following seven (7) courses: 1) South 50°51'06" East 71.37 feet to a point on a 25884.20 foot radius non–tangent curve to the right; thence 2) southerly 208.27 feet along the arc of said curve through a central angle of 00°27'40" (chord bears South 00°22'00" East 208.27 feet); thence 3) North 90°00'00" West (West) 275.78 feet; thence 4) North 00°00'00" East (North) 229.67 feet; thence 5) North 89°26'03" East 31.62 feet to a point of curvature with a 789.50 foot radius to the left; thence 6) easterly 143.62 feet along the arc of said curve through a central angle of 10°25'22" (chord bears North 84°13'22" East 143.42 feet); thence 7) North 79°00'41" East 45.63 feet to the POINT OF BEGINNING.

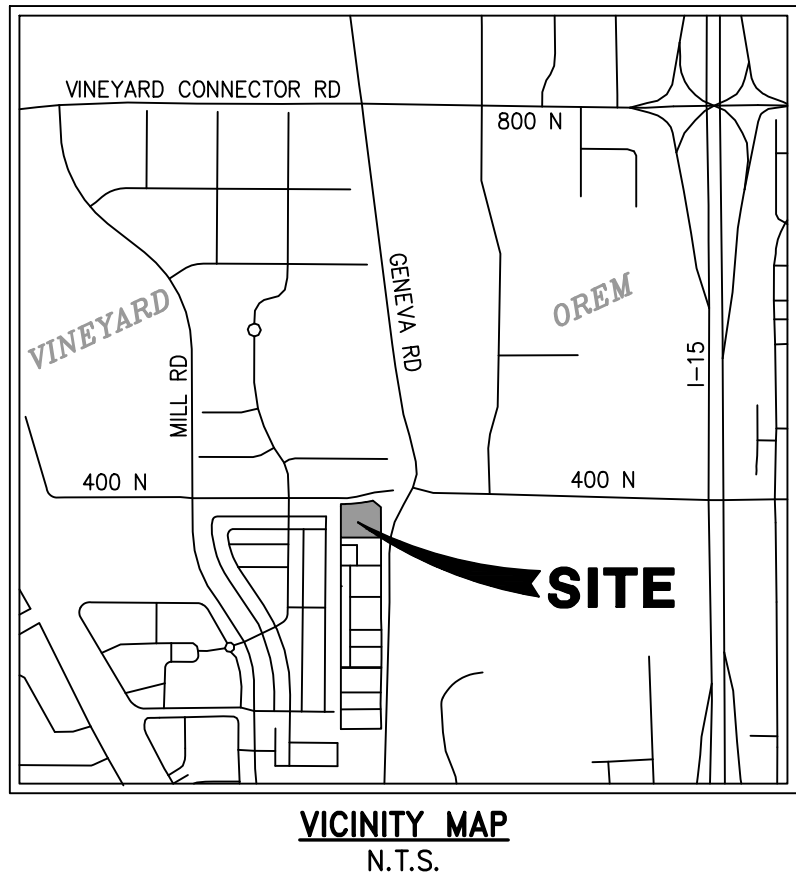
Contains 64,930 square feet or 1.491 acres, more or less.

SURVEYOR'S NOTES

- A. This survey is prepared to and complies with the requirements set forth in the McDonald's Survey Order Form and Minimum Requirements unless superceded by the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, dated Feb. 23, 2021. Table A, Item 20 was utilized to include additional statements such as "affects" or "does not affect" and specific statements by McDonald's shown in [brackets] for the exceptions.
- B. The "Field Description" is a requirement of the McDonald's Survey Order Form and Minimum Requirements and represents the overall area for development. (Same as Lot 206, Geneva Retail Frontage Subdivision)
- C. The subject property is located within an area identified as Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain) per Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) No. 49049C0340F, Effective Date: June 19, 2020, for Community No. 490261, City of Vineyard.
- D. A Zoning report or letter was not provided. The current zone from Vineyard City's Zoning Lookup Map indicates the subject property lies within the GRMU Geneva Road Mixed–Use District. Section 15.14.7.08 of the Vineyard City Code discloses the following development standards:
Setback Requirements: Front – 5 feet from the property line adjacent to Geneva Road. Side – No minimum internal side, 20 feet street side on a corner lot. Rear – 20 feet. Landscaping, parking and drive areas are permitted in the rear setback area on lots with a building. Building Height: No less than one story entirely above grade, and no higher than 60 feet measured from the top back of curb to the highest point of the building or structure. Parking Requirements: One space per 100 square feet of floor area including outdoor seating for restaurant uses. Required Bicycle Parking Spaces: Minimum of 3 spaces or a number equal to 10% of the required on–site parking spaces, whichever is greater.
- F. 9 parking spaces were observed at the time of the survey.
- G. Utilities shown have been located from visible indications surveyed on the subject property and from information obtained from utility providers. The surveyor has not physically located the underground utilities and makes no guarantees that the utilities shown hereon compromise all such utilities in the area either in service or abandoned.
- H. Active well drilling surrounded by temporary construction sound barrier walls was observed near the southerly line of the subject property.
- I. Geneva Road is planned to be widened from 5 lanes to 7 lanes and is in the concept design phase. Adjoining property along the east line of the subject property was conveyed to the Utah Department of Transportation in 2019 as a part of this widening. It is not anticipated that additional property will be required. Construction of improvements has not begun.
- J. Subject property abuts 400 North Street along the northerly side. No existing driveways or curb cuts were observed. Subject property has "right–in–right–out" access to Geneva Road via pedestrian and vehicular access easement described in that certain Reciprocal Easement Agreement and Use Restriction, recorded September 8, 2023 as Entry No. 59149:2023. Closest permitted access to Geneva Road lies approximately 360' south of the subject property.
- K. No evidence of the property being used as a dump, sump or sanitary landfill was observed at the time of the survey.
- L. No evidence of recent earth moving work, building construction or building additions were observed.
- M. The parcels & lots shown are contiguous, no gaps or gores are apparent from the information provided for this survey or apparent from the recorded plat and deed description information listed.
- N. No encroachments were observed at the time of the survey.

REFERENCES

- 1. Commitment for Title Insurance & associated documentation prepared by First American Title Insurance Company, Commitment No. FTUT2300829–TO, Amendment No. 3, Effective Date: August 25, 2023.
- 2. Geneva Road South Subdivision, recorded January 3, 2014 as Entry No. 518:2014, Map Filing No. 14107.
- 3. Geneva Retail Frontage Subdivision, recorded May 3, 2018 as Entry No. 41366:2018, Map Filing No. 16027.
- 4. Geneva Retail Frontage Subdivision Plat B, recorded April 7, 2022 as Entry No. 43287:2022, Map Filing No. 18265.
- 5. Geneva Retail Frontage Subdivision Plat C, recorded November 30, 2022 as Entry No. 121464:2022, Map Filing No. 18577.
- 6. Geneva Retail Frontage Subdivision Plat D, recorded May 24, 2023 as Entry No. 33192:2023, Map Filing No. 18753.
- 7. Geneva Retail Frontage Subdivision Plat E, recorded September 19, 2023 as Entry No. 61657:2023, Map Filing No. 18917.



SCHEDULE B, PART II EXCEPTIONS

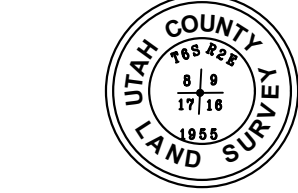
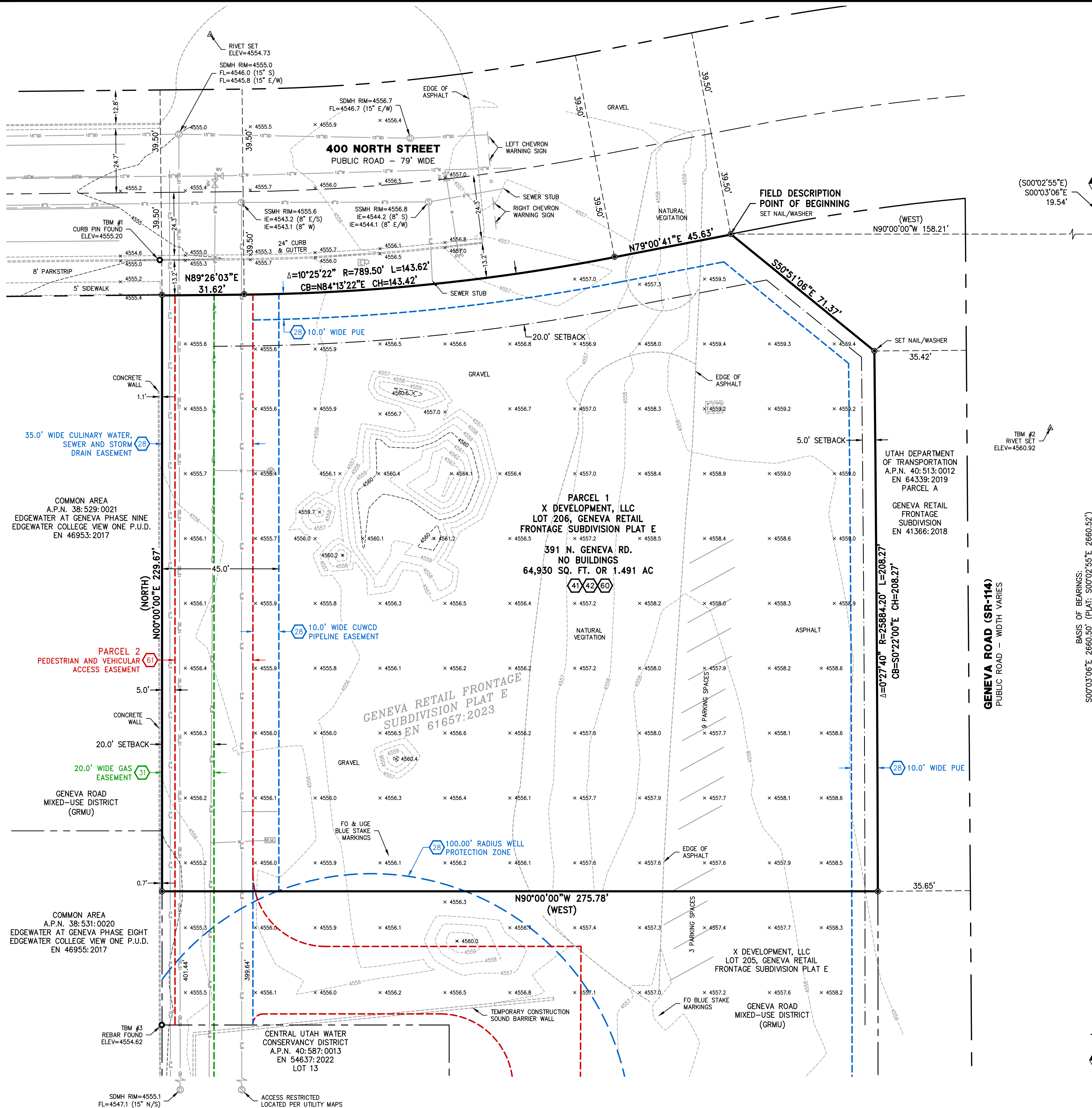
(Title Commitment No. FTUT2300829–TO, Amendment No. 3, Effective Date: August 25, 2023)

- 1–21 Standard exceptions, not matters of survey or intentionally deleted exceptions are not shown or addressed and affect the subject property as listed.
- 22 Easement document recorded May 23, 1986 as Entry No. 16033 in Book 2307 at Page 40 describes a 20' wide ingress and egress easement that was released by that certain Quit Claim Deed (Easement) recorded December 16, 2005 as Entry No. 145805:2005 and does not affect the subject property.
- 23 Agreement to Grant Easements recorded March 08, 2005 as Entry No. 24142:2005 describes multiple easements that were released by that certain Quit Claim Deed Releasing Rights to Easements recorded November 25, 2008 as Entry No. 125483:2008 and do not affect the subject property.
- 24 Easement document recorded September 21, 2010 as Entry No. 79769:2010 describes multiple easements for cut and fill slopes and maintenance of a retaining wall for the construction of State Route 114 (Geneva Road). Said easements described are not on, do not touch, and – based on the descriptions contained in the record document – do not affect the subject property.
- 25 Easement document recorded September 21, 2010 as Entry No. 79770:2010 describes multiple temporary construction easements for the construction of State Route 114 (Geneva Road). Said easements described are not on, do not touch, and – based on the descriptions contained in the record document – do not affect the subject property.
- 26 Easement document recorded August 02, 2012 as Entry No. 64402:2012 describes multiple easements for water, storm drain and sewer pipelines. Said easements described are not on, do not touch, and – based on the descriptions contained in the record document – do not affect the subject property.
- 27 Easement document recorded July 25, 2013 as Entry No. 71199:2013 describes an easement for underground power. Said easements described are not on, do not touch, and – based on the descriptions contained in the record document – do not affect the subject property.
- 28 Geneva Retail Frontage Subdivision Plat "E" recorded September 19, 2023 as Entry No. 61657:2023 depicts multiple easements across the subject property and are shown. [Affects Parcels 1 & 2]
- 29 Intentionally Deleted.
- 30 Intentionally Deleted.
- 31 Easement document recorded April 25, 2019 as Entry No. 34892:2019 describes a 20' wide natural gas easement that plots along the westerly side of the subject property and is shown. [Affects Parcels 1 & 2]
- 32 Access Easement recorded June 07, 2019 as Entry No. 51681:2019 depicts an easement for pedestrian and vehicular ingress and egress across the northeasterly corner of Lot 1, Geneva Retail Frontage Subdivision and is shown. [Affects Parcel 1]
- 33 Intentionally Deleted.
- 34 Intentionally Deleted.
- 35 Intentionally Deleted.
- 36 Supplemental Easement Agreement recorded March 7, 2023 as Entry No. 13782:2023 permits the construction of improvements within the easement area granted by that certain easement document recorded April 25, 2019 as Entry No. 34892:2019 (Exception 31) across Lot 3, Geneva Frontage Retail Subdivision. Said easement area described is not on, do not touch, and – based on the descriptions contained in the record document – do not affect the subject property.
- 37 Intentionally Deleted.

- 38 Intentionally Deleted.
- 39 Intentionally Deleted.
- 40 Intentionally Deleted.
- 41 Preliminary Environmental Restrictive Covenant recorded November 25, 2008 as Entry No. 125478:2008 and Quit Claim and Release of Preliminary Environmental Covenant (Partial Release) recorded December 21, 2009 as Entry No. 130270:2009 describes an area, blanket in nature, that the subject property lies within. [Affects Parcels 1 & 2]
- 42 Notice of Adoption of Urban Renewal Project Area Plan recorded April 20, 2011 as Entry No. 30240:2011 describes an area, blanket in nature, that the subject property lies within. [Affects Parcels 1 & 2]
- 43 Maintenance Area Land Use Covenant recorded June 14, 2012 as Entry No. 49481:2012 describes an area, blanket in nature, that is not on, does not touch, and – based on the descriptions contained in the record document – does not affect the subject property.
- 44 Parish Geneva Area Land Use Covenant recorded September 13, 2012 as Entry No. 78252:2012 describes an area, blanket in nature, that is not on, does not touch, and – based on the descriptions contained in the record document – does not affect the subject property.
- 45 Reservation, Declaration and Grant of Easement recorded June 19, 2014 as Entry No. 41851:2014 pertains to easements for an existing water drainage system across property sold to Utah Valley University. Said property is not on, does not touch, and – based on the descriptions contained in the record document – does not affect the subject property.
- 46 Intentionally Deleted.
- 47 Intentionally Deleted.
- 48 Intentionally Deleted.
- 49 Memorandum of Ground Lease and Lease dated May 18, 1995, recorded May 22, 1995 as Entry No. 32030 in Book 3682 at Page 414 and Ground Lease Assignment recorded July 03, 1996 as Entry No. 55051 in Book 4010 at Page 803 describes a parcel of land and accompanying access easements. Said property is not on, does not touch, and – based on the descriptions contained in the record document – does not affect the subject property.
- 50 Intentionally Deleted.
- 51 Intentionally Deleted.
- 52 Intentionally Deleted.
- 53 Intentionally Deleted.
- 54 Intentionally Deleted.
- 55 Intentionally Deleted.
- 56–57 Standard exceptions, not matters of survey or intentionally deleted exceptions are not shown or addressed and affect the subject property as listed.
- 58 Intentionally Deleted.
- 59 Intentionally Deleted.
- 60 Deed of trust dated June 9, 2023, recorded June 12, 2023 as Entry No. 37832:2023 description matches Geneva Retail Frontage Subdivision Plat "E". [Affects Parcels 1 & 2]
- 61 Reciprocal Easement Agreement and Use Restrictions, recorded September 8, 2023 as Entry No. 59149:2023 describes and easement of varying width for pedestrian and vehicular access that plots across Geneva Retail Frontage Subdivision Plat "E" and is shown. [Affects Parcel 1, Same as Parcel 2]

DRAWN <u>BCD 03.2023</u> DATE		CHECKED <u>JDP 03.2023</u> DATE		<div>PROJECT NO. 3649</div> <div>SHEET NO. 1 of 3</div> <div>FILE NAME: MCD VINEYARD SCALE: N/A</div>			
DESIGNED _____ DATE PROJECT ENGINEER		JDP PROJECT MANAGER					
McDONALD'S CORPORATION				<div>ALTA/NSPS LAND TITLE SURVEY 369 & 391 N. GENEVA ROAD - LC 43-0342</div> <div>LOCATED IN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN</div>			
CITY OF VINEYARD, UTAH COUNTY, UTAH							
<div><div></div><div><div>Dominion</div><div>Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000</div></div></div>				<div><div>2</div><div>UPDATED TITLE COMMITMENT</div><div>BCD</div><div>09.25.23</div></div> <div><div>1</div><div>UPDATE SITE BOUNDARY</div><div>BCD</div><div>07.10.23</div></div> <div><div>0</div><div>RELEASED FOR REVIEW</div><div>JDP</div><div>06.12.23</div></div> <div><div>NO.</div><div>REVISIONS</div><div>BY</div><div>DATE</div></div>			

Path: P:\McDONALDS\Utah\Survey\ALTA.dwg | plot date: September 26, 2023 | plotted by: Brett



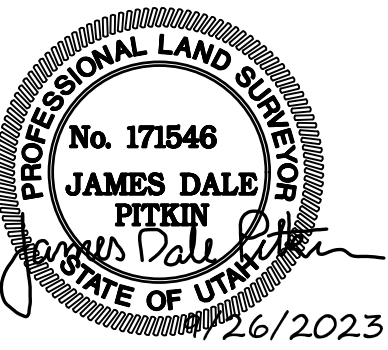
NORTHEAST CORNER OF
SECTION 17, T6S, R2E, SLB&M
FOUND 3" FLAT BRASS
UTAH COUNTY MONUMENT
BENCHMARK=4560.50' NGVD29
(UTAH CO. REF. 52-28)

UTILITY CONTACTS

Culinary Water, Storm Drain & Sanitary Sewer	Vineyard City	385-338-5281 naseemg@vineyardutah.org
Culinary Water	Central Utah Water Conservancy District	801-226-7193 kirk@cuwcd.com
Power	Rocky Mountain Power	503-813-6993 gisdept@pacifiCorp.com
Natural Gas	Dominion Energy	801-324-3970 map.requests@dominionenergy.com
Telecommunications	AT&T	626-695-9214 pc2914@att.com
Telecommunications	Comcast	435-224-2356 jeff.houston@telecom.ca
Telecommunications	CentraCom Interactive	435-427-3331 a.fatz@centracom.com
Telecommunications	Lumen/CenturyLink	385-479-7357 larry.buhler@lumen.com
Telecommunications	FirstDigital Telecom	801-456-1095 bbalmforth@firstdigital.com
Telecommunications	Utopia Fiber	801-613-3854 xwu@utopianet.org
Telecommunications	Zayo Fiber Solutions	385-228-2413 utah.osp@zayo.com
Telecommunications & Traffic Signals	UDOT Region III	801-330-4447 catherinejones@utah.gov

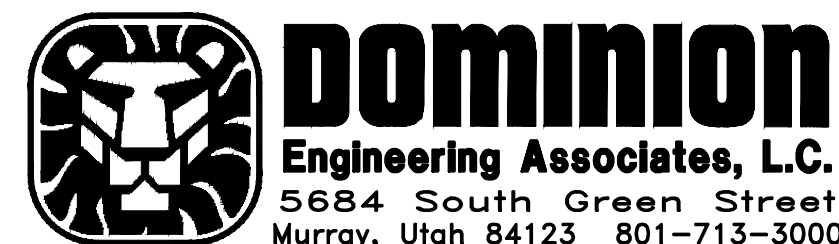


EAST QUARTER CORNER OF
SECTION 17, T6S, R2E, SLB&M
FOUND 3" FLAT BRASS
UTAH COUNTY MONUMENT
(UTAH CO. REF. 52-29)



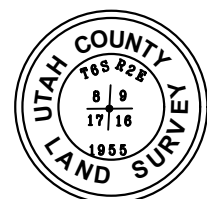
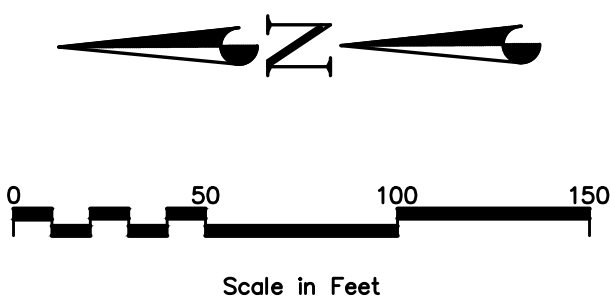
DRAWN	BCD 03.2023	CHECKED	JDP 03.2023
DESIGNED		PROJECT ENGINEER	
APPROVED	JDP	PROJECT MANAGER	

McDONALD'S CORPORATION
CITY OF VINEYARD, UTAH COUNTY, UTAH



ALTA/NSPS LAND TITLE SURVEY
369 & 391 N. GENEVA ROAD - LC 43-0342
LOCATED IN THE NORTHEAST QUARTER OF SECTION 17,
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN

PROJECT NO.		3649	
SHEET NO.		2 of 3	
2	UPDATED TITLE COMMITMENT	BCD	09.25.23
1	UPDATE SITE BOUNDARY	BCD	07.10.23
0	RELEASED FOR REVIEW	JDP	06.12.23
NO.	REVISIONS	BY	DATE



NORTHEAST CORNER OF
SECTION 17, T6S, R2E, SLB&M
FOUND 3" FLAT BRASS
UTAH COUNTY MONUMENT
BENCHMARK=4560.50' NGVD29
(UTAH CO. REF. 52-28)



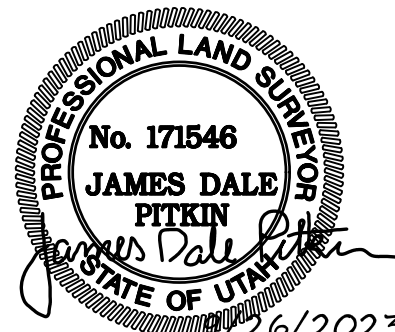
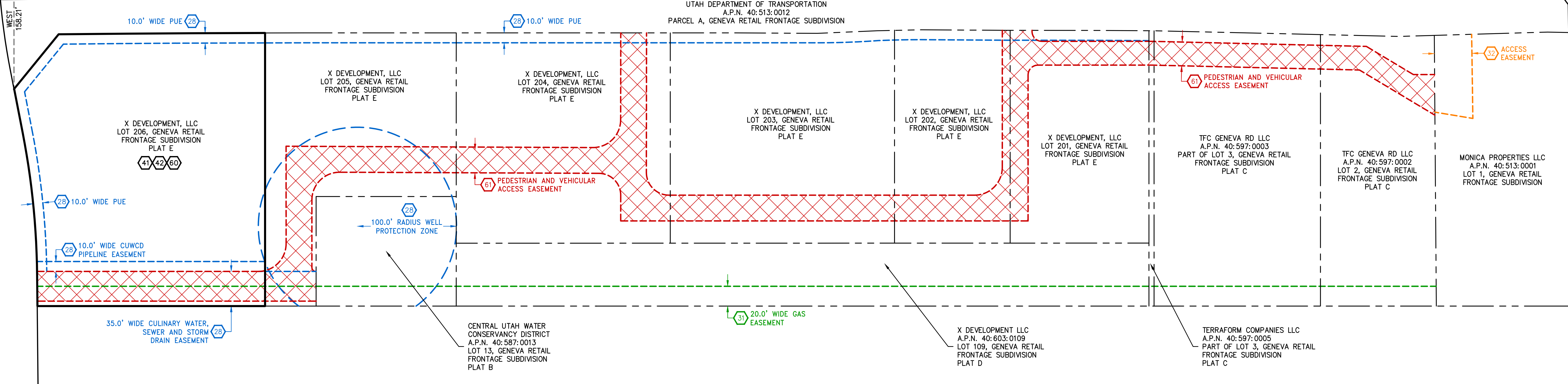
EAST QUARTER CORNER OF
SECTION 17, T6S, R2E, SLB&M
FOUND 3" FLAT BRASS
UTAH COUNTY MONUMENT
(UTAH CO. REF. 52-29)

BASIS OF BEARINGS:
S00°03'06"E 2660.50' (PLAT: S00°02'55"E 2660.52')

S00°03'06"E
19.54'

GENEVA ROAD (SR-114)
PUBLIC ROAD - WIDTH VARIES

UTAH DEPARTMENT OF TRANSPORTATION
A.P.N. 40:513:0012
PARCEL A, GENEVA RETAIL FRONTAGE SUBDIVISION



Path: P:\McDONALDS\Utah\Survey\dwg\Vineyard ALTA.dwg | plot date: September 26, 2023 | plotted by: Brett

DRAWN	BCD 03.2023	CHECKED	JDP 03.2023
DESIGNED		PROJECT ENGINEER	
APPROVED	JDP	PROJECT MANAGER	
DATE		DATE	

McDONALD'S CORPORATION

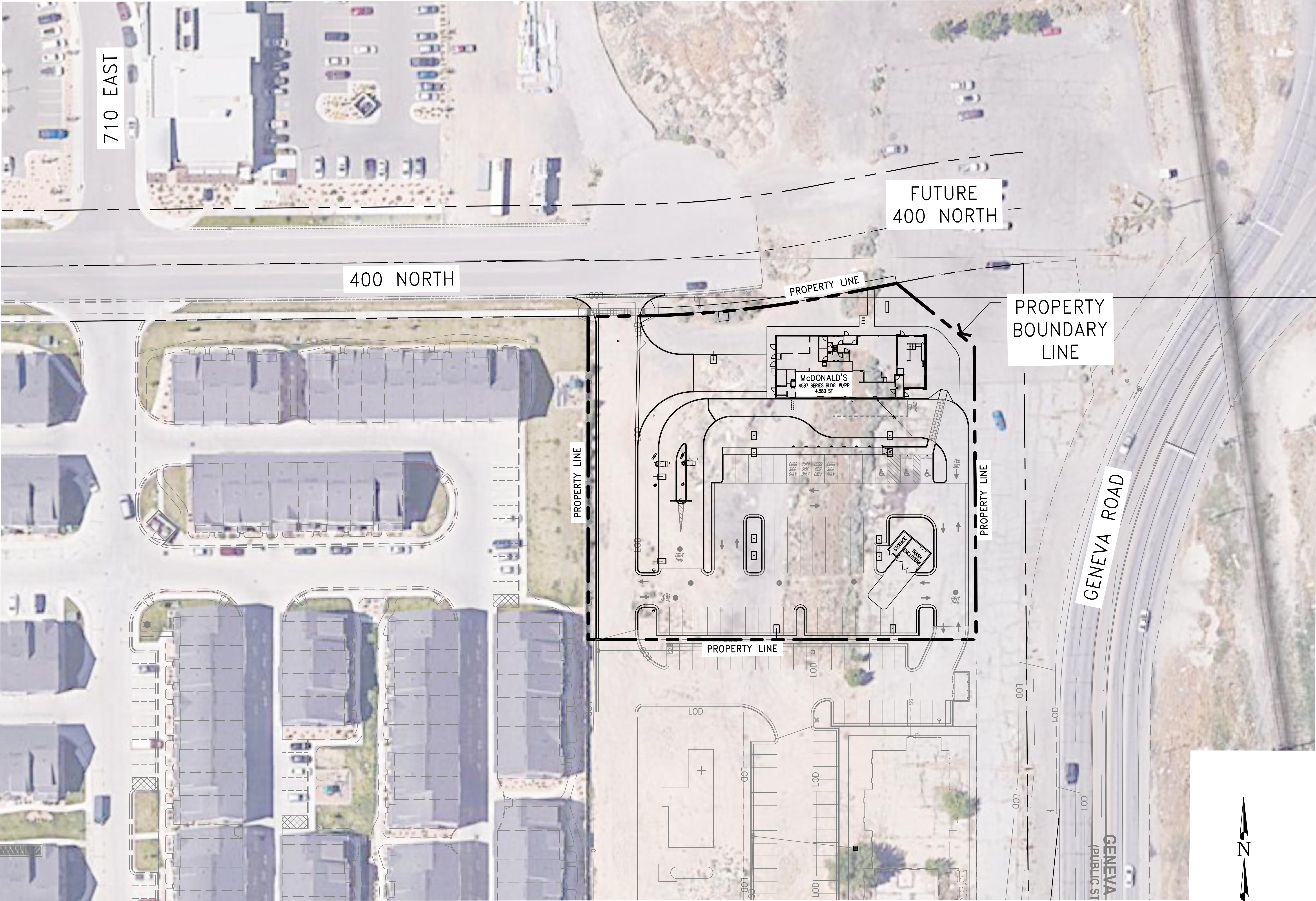
CITY OF VINEYARD, UTAH COUNTY, UTAH



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

ALTA/NSPS LAND TITLE SURVEY
369 & 391 N. GENEVA ROAD - LC 43-0342
LOCATED IN THE NORTHEAST QUARTER OF SECTION 17,
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN

PROJECT NO.		3649	
SHEET NO.		3 of 3	
2	UPDATED TITLE COMMITMENT	BCD	09.25.23
1	UPDATE SITE BOUNDARY	BCD	07.10.23
0	RELEASED FOR REVIEW	JDP	06.12.23
NO.	REVISIONS	BY	DATE
FILE NAME:		MCD VINEYARD	
SCALE:		1"=50'	



OVERALL AREA EXHIBIT

SHEET NO.	TITLE		DRAWN BY	PREPARED FOR	M CORPORATION <small>KNOX DRIVE - OAK BROOK, ILLINOIS 60061</small>	STD ISSUE DATE -	REVIEWED BY -	DATE REVIEWED -	DATE ISSUED -	SITE ID 043-0342	SITE ADDRESS 391 GENEVA ROAD, VINEYARD, UTAH	REV	DATE	REVISED PER CITY	DESCRIPTION	DLP	BY
SP-0	McDONALD'S SITE IMPROVEMENT PLANS VINEYARD, UTAH																
	OVERALL AREA EXHIBIT																
<div><div></div><div> 5684 South Green Street Murray, Utah 84123 801-713-3000</div></div>																	



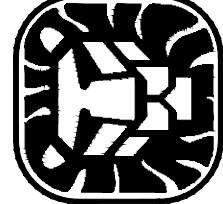
GENERAL NOTES:

1. ALL HANDICAP ACCESS WALKWAYS TO BE CONSTRUCTED PER ADA STANDARDS AND SPECIFICATIONS (1E=MAX. 5% TRAVEL SLOPE AND MAX. 2% CROSS SLOPE) SEE SHEET SD-8 FOR ADA DETAILS AND ADDITIONAL CONSTRUCTION INFORMATION.
2. ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.
3. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
4. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT BY TERRACON CONSULTANTS, INC., DATED 3/9/2020
5. ALL CONCRETE SURFACE TO BE SEAL-COATED PER McDONALD'S REQUIREMENTS.
6. ALL PARKING STALLS AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE.

SITE PLAN NOTES SCHEDULE

-
- REGISTERED PROFESSIONAL ENGINEER
No. 8030527
-2202
JEREMY RICK
HANSON
02/29/23
STATE OF UTAH

DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



CORPORATION

RED FOR:

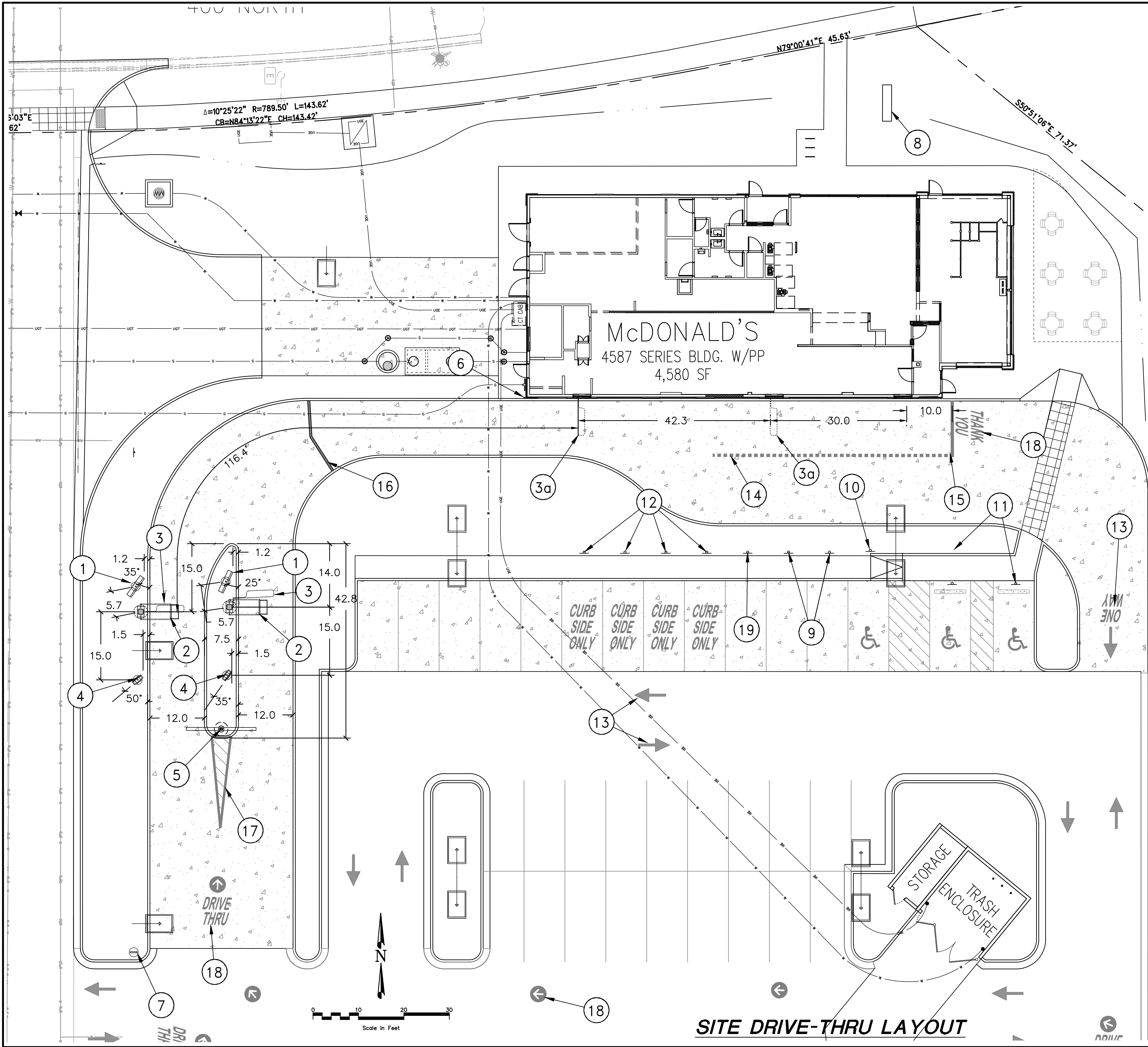
M CORPORATION
KROC DRIVE - OAK BROOK, ILLINOIS 60521
© 1994, McDonald's Corporation

RED FOR:

TITLE		MCDONALD'S SITE IMPROVEMENT PLANS		DRAWN BY	
VINEYARD, UTAH				-	
DESCRIPTION				STD ISSUE DATE	
SITE IMPROVEMENT PLAN				-	
				REVIEWED BY	
				-	
				DATE REVIEWED	
				-	
SITE ID		SITE ADDRESS		DATE ISSUED	

SP-1





SITE PLAN NOTES SCHEDULE

- 01 DIGITAL MAIN MENU BOARD, SEE DETAILS, SHEET DT-2
- 02 ORDER HERE CANOPY, SEE DETAIL, SHT. SD-2, SPEAKER TO INCLUDE AUTOMATIC VOLUME CONTROL FOR AMBIENT NOISE ADJUSTMENT, SPEAKER TO BE SET TO LIMIT SOUND TO 50 DECIBELS MAX AT PROPERTY LINE
- 03 VEHICLE DETECTOR LOOP, SEE DETAILS, SHEET DT-1
- 03a VEHICLE DETECTOR LOOP AT DRIVE-THRU WINDOWS
- 04 DIGITAL PRE-BROWSE MENU BOARD, SEE DETAILS, SHEET DT-2
- 05 "DOUBLE ARM GATEWAY" /HEIGHT DETECTOR SIGN WITH "ANY LANE/ANY TIME" SIGN ATTACHED, SEE DETAILS, SHT. SD-1
- 06 4" CONCRETE FILLED BOLLARD, SEE DETAIL, SHEET SD-1
- 07 DIRECTIONAL SIGN (APPROX. LOCATION), SEE DETAILS, SHT. SD-2
- 08 MONUMENT SIGN, SEPARATE PERMIT REQUIRED
- 09 PULL FORWARD CURBSIDE PICKUP SIGNAGE - SEE DETAIL 1B THIS SHEET
- 10 VAN ACCESSIBLE PARKING SIGNAGE, SEE DETAILS, SHT. SD-7
- 11 ACCESSIBLE PARKING SIGNAGE, SEE DETAILS, SHT. SD-7
- 12 MOBILE ORDER SIGN - SEE DETAIL 1B THIS SHEET
- 13 PAINT GRAPHICS WHITE DIRECTIONAL PAINT MARKINGS AROUND SITE
- 14 6-INCH YELLOW DASHED STRIPING PER McDONALD'S STANDARDS
- 15 8-INCH YELLOW STRIPING (TYP.) PER McDONALD'S STANDARDS
- 16 6-INCH YELLOW STRIPING (MERGE POINT) PER McDONALD'S STANDARDS
- 17 6-INCH YELLOW STRIPING (TYP.) PER McDONALD'S STANDARDS
- 18 PAINT GRAPHICS MARKINGS PAINTED PMS123 YELLOW AROUND SITE (TYP.) PER McDONALD'S STANDARDS
- 19 MCDelivery STALL

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND CITY OF VINEYARD CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND CITY CODES, ORDINANCES AND STANDARDS.

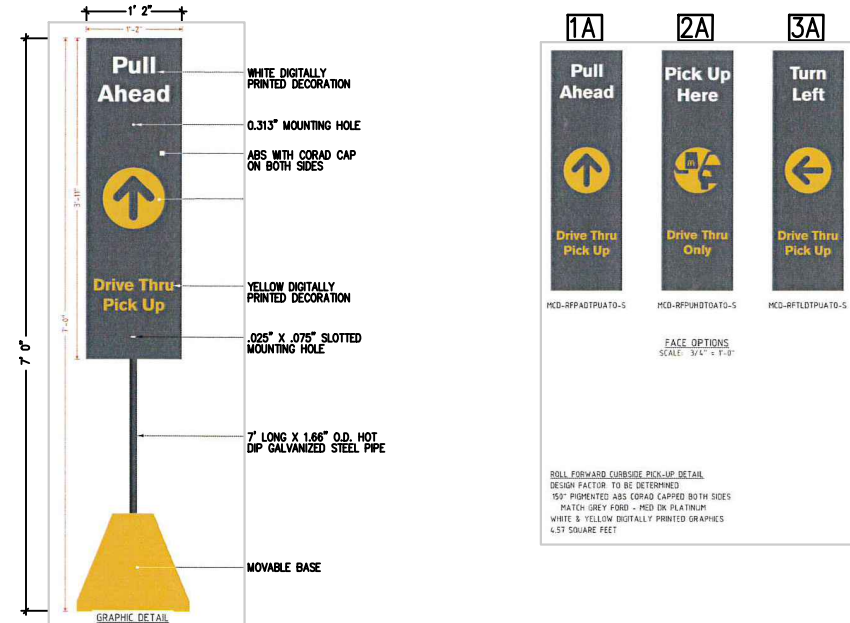
NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

NOTE: ALL SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT.



MOBILE ORDER SIGNAGE

NOT TO SCALE



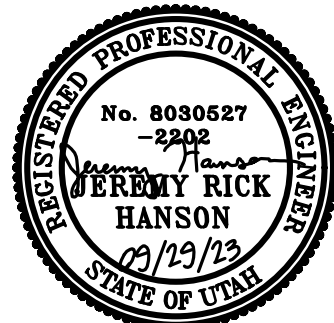
ROLL FORWARD SIGNAGE

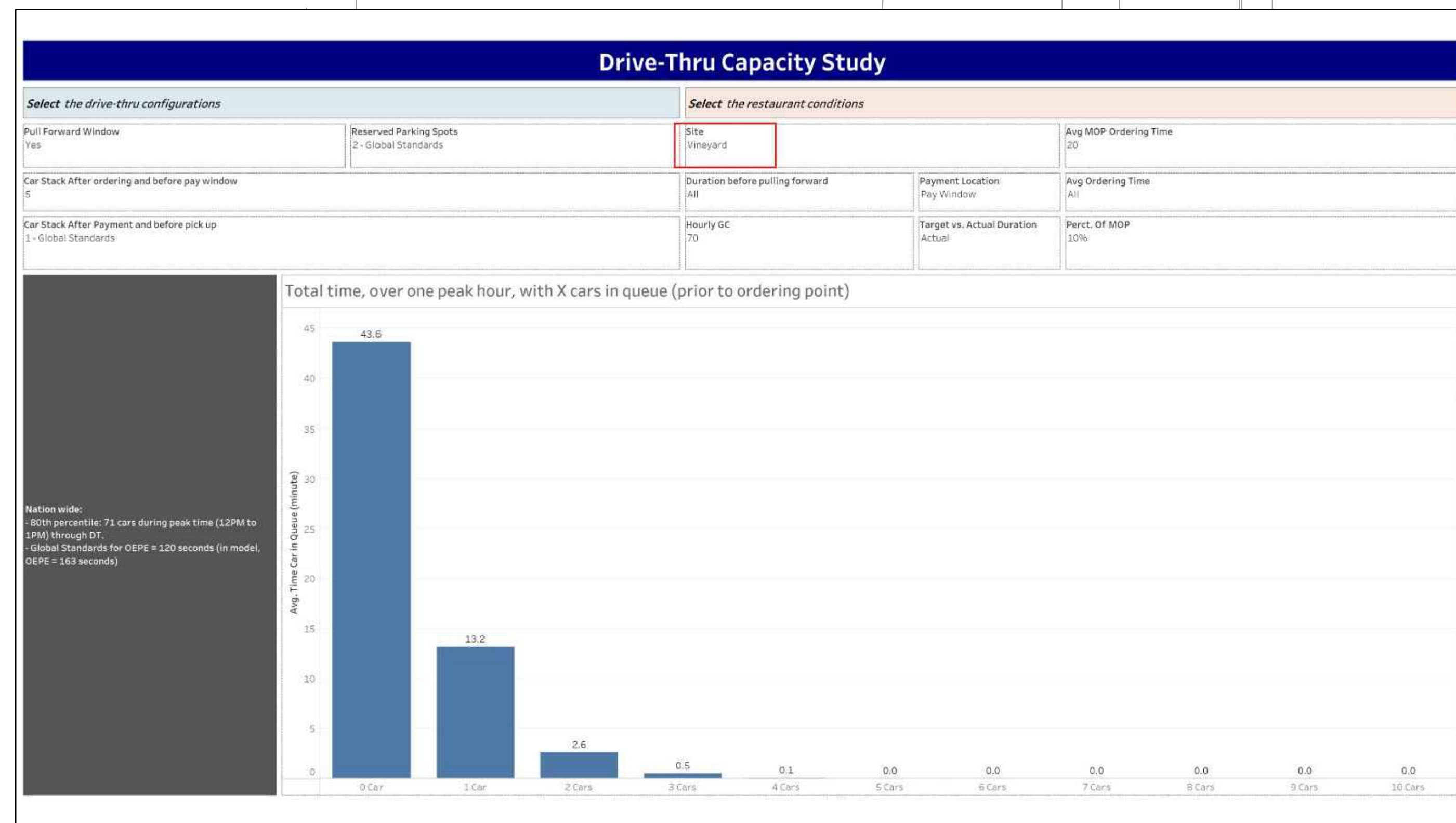
NOT TO SCALE

UTILITY NOTE

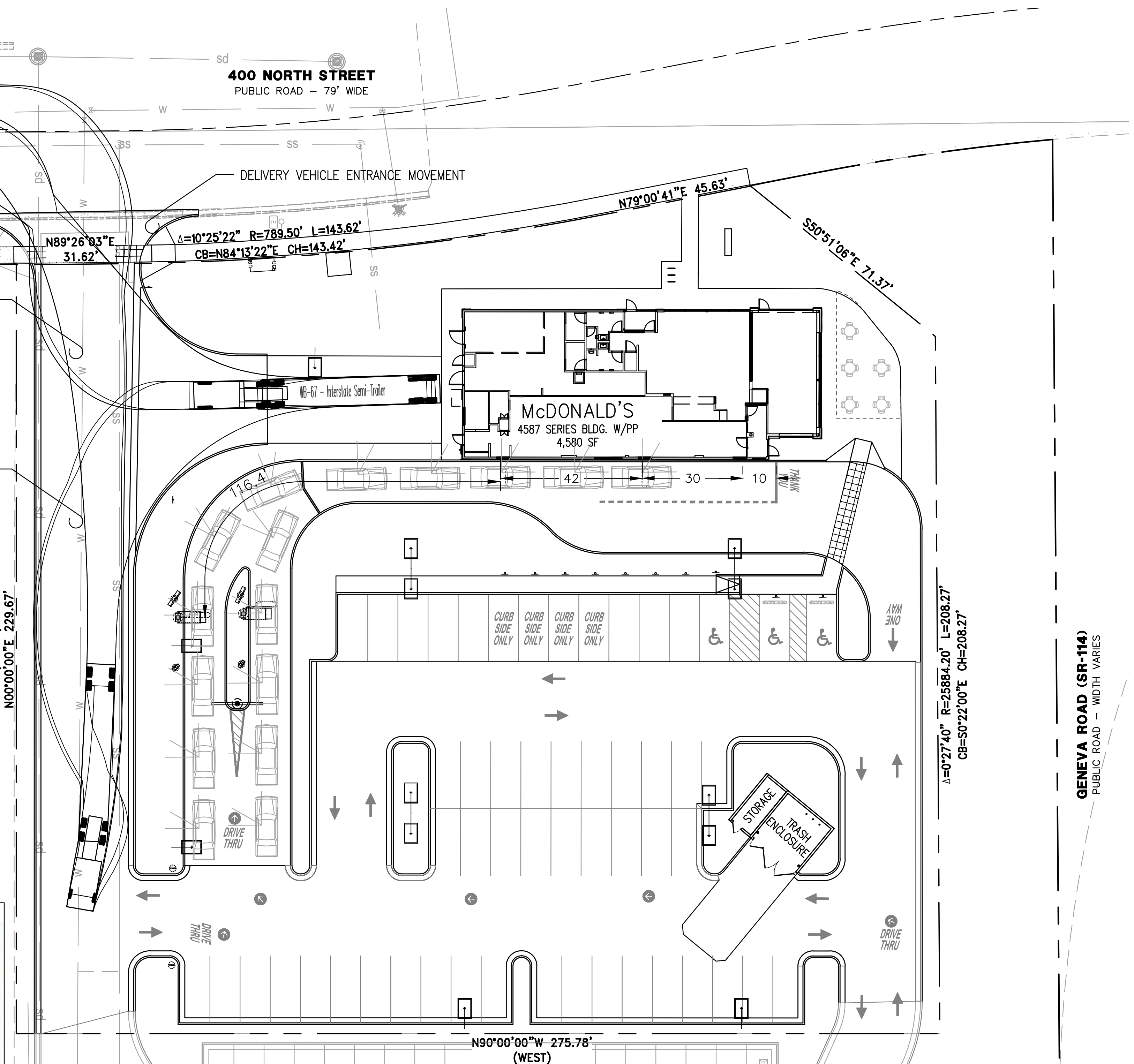
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED. ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

SHEET NO.	TITLE	DRAWN BY	STD. ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	SITE ADDRESS	OFFICE ADDRESS	DENVER REGION	BY	REV	DATE	DESCRIPTION	DLP
SP-1A	McDONALD'S SITE IMPROVEMENT PLANS VINEYARD, UTAH SITE DRIVE-THRU LAYOUT PLAN						043-0342 391 GENEVA ROAD VINEYARD, UT	4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237				9/29/23	REVISED PER CITY	

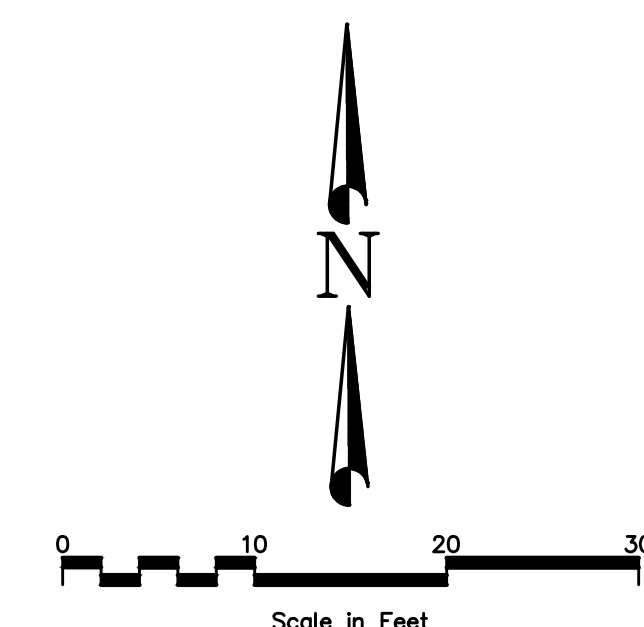


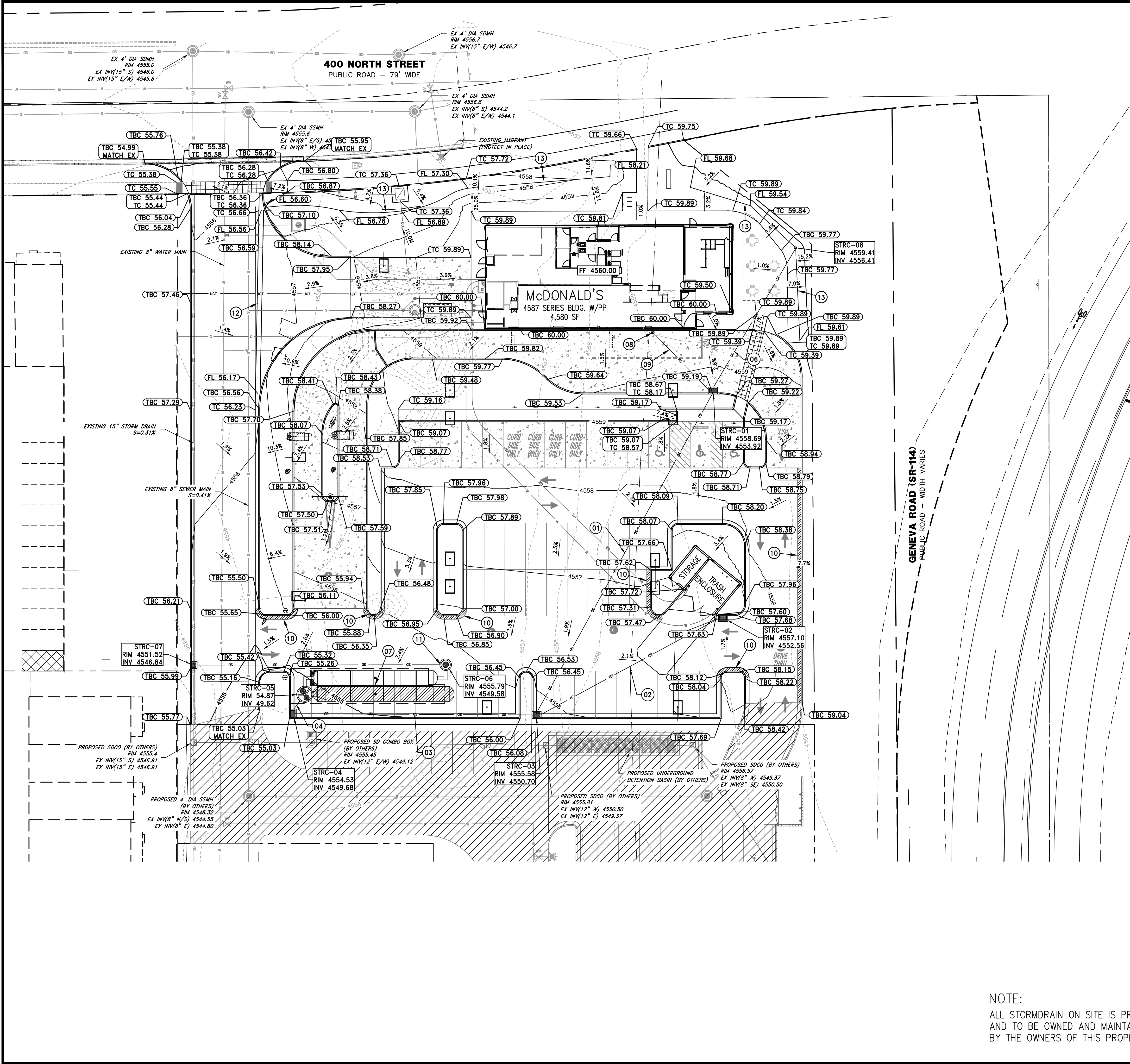


SITE DRIVE-THRU CAR QUEUING



CAR QUEUE LENGTH REQUIRED PER CITY ORDINANCE	180 LF
CAR QUEUE LENGTH PROVIDED	338 LF
CAR QUEUE TOTAL CAPACITY	16 FROM PICK UP WINDOW TO END
MCDONALD'S PROJECTED DRIVE THRU MAXIMUM QUEUING BASED ON ANTICIPATED SALES	4 VEHICLES (BEYOND ORDER POINTS)





GRADING PLAN NOTES SCHEDULE

STORM DRAIN STRUCTURE CALLOUTS

- STRC-01 INSTALL 2'X3' (INSIDE DIMENSIONS) CURB-INLET CONCRETE CATCH BASIN WITH H-20 RATED FRAME AND GRATE PER VINEYARD CITY STANDARDS, SEE SHEET SD-6
RIM 4558.69 : INV 4553.92
- STRC-02 INSTALL 2'X3' (INSIDE DIMENSIONS) CURB-INLET CONCRETE CATCH BASIN WITH H-20 RATED FRAME AND GRATE PER VINEYARD CITY STANDARDS, SEE SHEET SD-6
RIM 4557.10 : INV 4552.56
- STRC-03 INSTALL 2'X3' (INSIDE DIMENSIONS) CURB-INLET CONCRETE CATCH BASIN WITH H-20 RATED FRAME AND GRATE PER VINEYARD CITY STANDARDS, SEE SHEET SD-6
RIM 4555.58 : INV 4550.70
- STRC-04 INSTALL 2'X3' (INSIDE DIMENSIONS) CURB-INLET CONCRETE CATCH BASIN WITH H-20 RATED FRAME AND GRATE PER VINEYARD CITY STANDARDS, SEE SHEET SD-6
RIM 4554.53 : INV 4549.68
- STRC-05 INSTALL 72" PRECAST CONCRETE MANHOLE WITH 4.56' CONCRET WEIR AND 1.5' SUMP PER VINEYARD CITY STANDARDS, SEE SHEET SD-5
RIM 4554.87 : INV 4549.62
- STRC-06 INSTALL 4' DIA. CONC. STORM DRAIN MANHOLE PER VINEYARD CITY STANDARDS, SEE SHEET SD-6
RIM 4555.79 : INV 4549.58
- STRC-07 INSTALL 2'X2' (INSIDE DIMENSIONS) CONCRETE CATCH BASIN WITH H-20 RATED FRAME AND GRATE PER VINEYARD CITY STANDARDS, SEE SHEET SD-6
RIM 4551.52 : INV 4546.84
- STRC-08 INSTALL 8"X8" (INSIDE DIMENSIONS) NYLOPLAST DRAIN WITH FRAME AND GRATE PER VINEYARD CITY STANDARDS, SEE SHEET SD-6
RIM 4559.41 : INV 4556.41

ROOF DRAIN PIPE CALLOUTS

- 01 INSTALL 158.2 LF± OF 12" SDR-35 PVC. SLOPE AT 2.03%
- 02 INSTALL 88.4 LF± OF 12" SDR-35 PVC. SLOPE AT 2.10%
- 03 INSTALL 105.6 LF± OF 15" SDR-35 PVC. SLOPE AT 0.97%
- 04 INSTALL 5.5 LF± OF 15" SDR-35 PVC. SLOPE AT 1.13%
- 05 INSTALL 109.2 LF± OF 15" SDR-35 PVC. SLOPE AT 2.51%
- 06 INSTALL 70.4 LF± OF 8" SDR-35 PVC. SLOPE AT 3.54%
- 07 UNDERGROUND DETENTION BASIN - STORMTECH CHAMBER SYSTEM - MC-3500. INSTALL 2 ROWS WITH FIRST ROW BEING ISOLATION ROW. SEE STORMTECH DETAIL ON SHEET SD-5.
BOTTOM OF CHAMBER ELEV.=4548.70
BOTTOM OF CHAMBER ELEV.=4549.45
TOP OF CHAMBER ELEV.=4553.20
TOP OF STONE ELEV.=4554.20
- 08 INSTALL ADS ROOF DRAIN PIPE CLEANOUT LID EL.=4559.48± (MATCH CONCRETE SURFACE) INV. EL.(IN-OUT)=4556.00±
CONNECT ROOF DRAIN FROM BUILDING TO CLEANOUT
- 09 INSTALL 54.5± L.F. OF 6" ADS ROOF DRAIN PIPE AT 3.8% SLOPE
- 10 REVERSE PAN GUTTER (HATCHED AREA - TYPICAL)
- 11 INSTALL 2.4" ORIFICE PLATE ON DOWNSTREAM SIDE OF MANHOLE. SEE ORIFICE PLATE DETAIL AND ORIFICE CALCULATIONS ON SHEET SD-5
- 12 INSTALL 2' CONCRETE WATERWAY. SEE DETAIL 11/SHEET SD-4 FOR DETAIL
- 13 DRAINAGE SWALE. SEE LANDSCAPE PLANS FOR DETAIL

STORM DRAIN, UTILITIES, ASPHALT, CURB, AND GUTTER NOT PART OF THIS APPLICATION, TO BE PERMITTED AND CONSTRUCTED BY OTHER PRIVATE PARTY



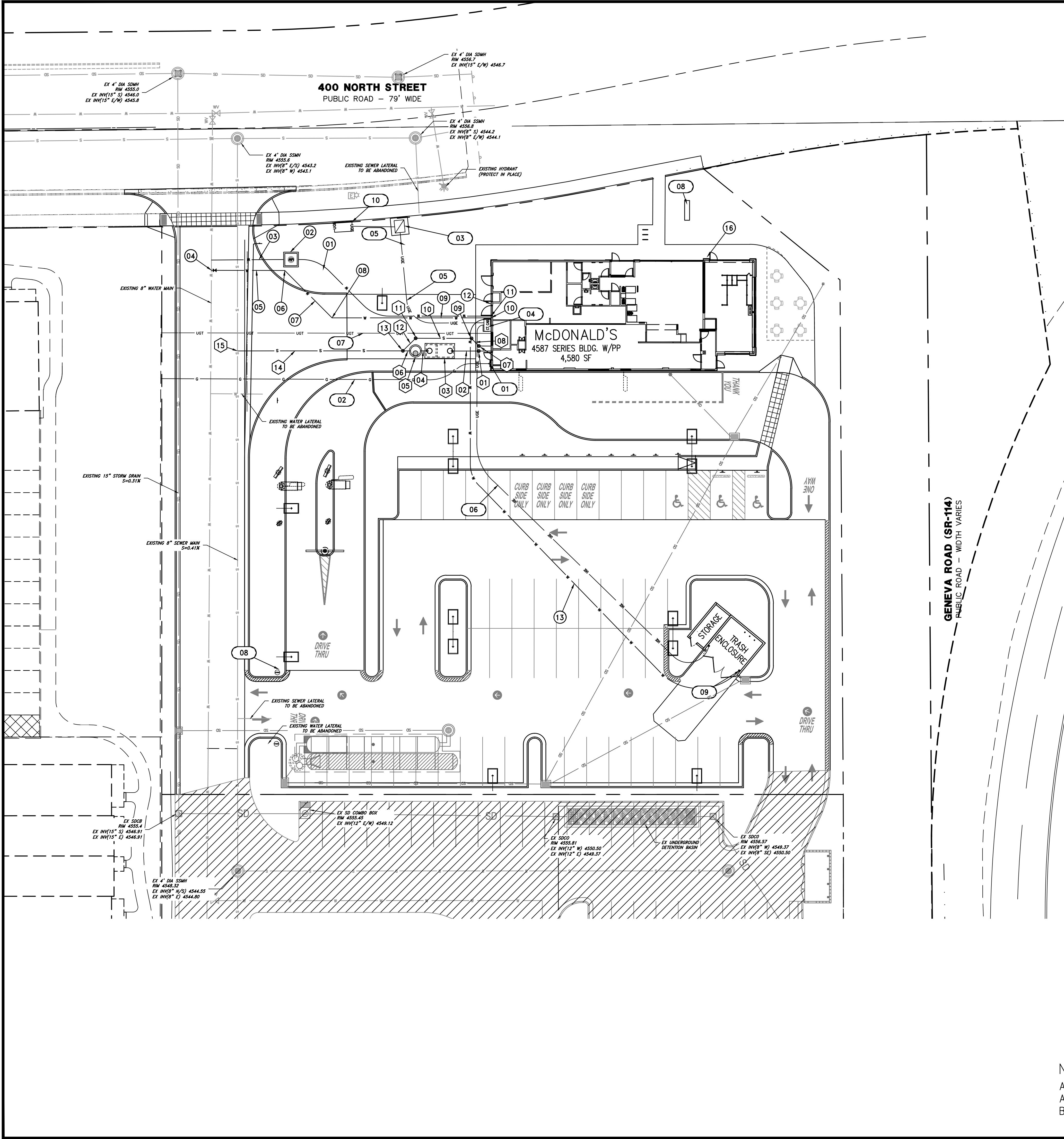
UTILITY NOTE

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NOTE:
ALL STORMDRAIN ON SITE IS PRIVATE,
AND TO BE OWNED AND MAINTAINED
BY THE OWNERS OF THIS PROPERTY.

SHEET NO.	TITLE	DRAWN BY	STD. ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	OFFICE ADDRESS	DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237	DLP	BY
SP-3	McDONALD'S SITE IMPROVEMENT PLANS VINEYARD, UTAH SITE GRADING AND DRAINAGE PLAN	M CORPORATION KNOX DRIVE - DAN BROOK, ILLINOIS 60021 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF M CORPORATION. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF M CORPORATION. THE CONTRACT DOCUMENTS SHALL BE THE SOLE AUTHORITY FOR THE CONSTRUCTION OF THE PROJECT. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE BY ADDENDUM OR BY THE CONTRACT DOCUMENTS FOR THE PROJECT. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE BY ADDENDUM OR BY THE CONTRACT DOCUMENTS FOR THE PROJECT.	-	-	-	-	-	-	9/29/23	REVISED PER CITY

DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



UTILITY PLAN NOTES SCHEDULE

SEWER CALLOUTS

- 01 TIE INTO BUILDING STUBOUT AND AT CONNECTION INSTALL SEWER CLEANOUT PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS. SEE PLUMBING PLANS FOR COORDINATION/CONTINUATION. RIM EL.=4559.91± (MATCH FINISH GRADE), INV. EL.=4554.90±
- 02 INSTALL 15.3± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 2.0%± SLOPE (BUILDING TO CLEANOUT TO GREASE TRAP) PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECS.
- 03 INSTALL GREASE INTERCEPTOR PER TIMPANOGOS SPECIAL SERVICES DISTRICT STANDARDS & SPECS. SEE SHEET SD-6 FOR TSSD STANDARD DWG. D-12 RIM(E) EL: 4559.46 INV(IN): 4554.69 RIM(W) EL: 4559.15 INV(OUT): 4554.27 NOTE: DESIGN ELEVATIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED SUCH AS EXISTING STUB AND SEWER LATERAL STUBOUT FROM THE BUILDING.
- 04 INSTALL 2.3± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 2.0%± SLOPE
- 05 INSTALL SAMPLING MANHOLE PER TIMPANOGOS SPECIAL SERVICES DISTRICT STANDARDS & SPECS. SEE SHEET SD-6 FOR TSSD STANDARD DWG. D-7 RIM EL: 4558.91 -- INV(IN): 4554.23 -- INV(OUT): 4553.98
- 06 INSTALL 3.1± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 2.0%± SLOPE
- 07 TIE INTO BUILDING STUBOUT AND AT CONNECTION INSTALL SEWER CLEANOUT PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS. SEE PLUMBING PLANS FOR COORDINATION/CONTINUATION. RIM EL.=4559.91± (MATCH FINISH GRADE), INV. EL.=4554.86±
- 08 INSTALL 9.2± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 2.7%± SLOPE
- 09 INSTALL 6" 45° BEND WITH SEWER CLEANOUT PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS. RIM EL.=4559.82± (MATCH FINISH GRADE), INV. EL.=4554.75±
- 10 INSTALL 22.6± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 2.7%± SLOPE
- 11 INSTALL 6" 45° BEND WITH SEWER CLEANOUT PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS. RIM EL.=4559.92± (MATCH FINISH GRADE), INV. EL.=4554.12±
- 12 INSTALL 7.2± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 2.7% SLOPE
- 13 INSTALL WYE WITH SEWER CLEANOUT PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS. RIM EL.=4558.70± (MATCH FINISH GRADE), INV. EL.=4553.92±
- 14 INSTALL 67.0± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 14.3% SLOPE
- 15 TIE INTO EXISTING 8" SEWER MAIN WITH AN INSERTA-TEE OR EQUIVALENT PER VINEYARD CITY STANDARDS DETAIL 20. INV. EL.(8" MAIN)=4543.83±, INV. EL.(6" LAT)=4544.33± CONTRACTOR TO VERIFY BOTH LOCATION AND DEPTH OF EXIST. SEWER MAIN PRIOR TO CONSTRUCTION OF McDONALD'S SEWER SYSTEM

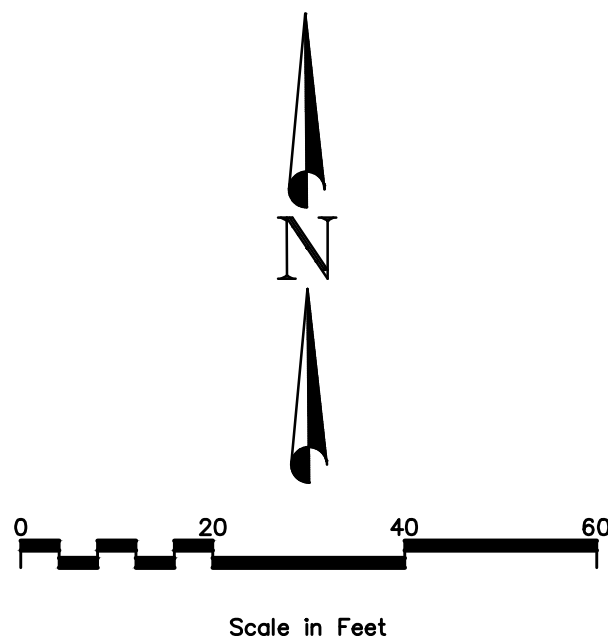
WATER & FIRE CALLOUTS

- 01 INSTALL 114± L.F. OF 2" CTS BLUE POLY WATERLINE PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS. (BUILDING TO NEW WATER METER)
- 02 INSTALL 2" WATER METER AND BOX PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, STANDARD DWG 300
- 03 INSTALL 3.0± L.F. OF 2" CTS BLUE POLY WATERLINE PER VINEYARD CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS. CONNECT INTO EXISTING 8" WATER MAIN WITH A HOT TAP PER VINEYARD STANDARD DETAIL NO.19, SHEET SD-6
- 04 INSTALL 8"x6"x8" TEE WITH 6" GATE VALVE ON LATERAL SIDE OF CONNECTION WITH THRUST BLOCKING. SEE THRUST BLOCK DETAIL ON SHEET SD-6, VINEYARD STANDARD DETAIL NO. 18.
- 05 INSTALL 29.5± L.F. OF 6" PVC C900 WATER LINE W/TRACER WIRE, AND THRUST BLOCKING (FIRE PROTECTION) AT MIN. 4' COVER TO TOP OF PIPE
- 06 INSTALL 6" 45° ELBOW WITH THRUST BLOCKING. SEE THRUST BLOCK DETAIL ON SHEET SD-6, VINEYARD STANDARD DETAIL NO. 18
- 07 INSTALL 27.1± L.F. OF 6" PVC C900 WATER LINE W/TRACER WIRE, AND THRUST BLOCKING (FIRE PROTECTION) AT MIN. 4' COVER TO TOP OF PIPE
- 08 INSTALL 6" 45° ELBOW WITH THRUST BLOCKING. SEE THRUST BLOCK DETAIL ON SHEET SD-6, VINEYARD STANDARD DETAIL NO. 18
- 09 INSTALL 64.6± L.F. OF 6" PVC C900 WATER LINE W/TRACER WIRE, AND THRUST BLOCKING (FIRE PROTECTION) AT MIN. 4' COVER TO TOP OF PIPE
- 10 INSTALL WALL TYPE INDICATOR VALVE (WIV) AND FIRE DEPARTMENT CONNECTION PER FIRE DEPARTMENT REQUIREMENTS.
- 11 2" USC APPROVED RPZ BACKFLOW PREVENTOR WITH HOT BOX HEATED ENCLOSURE (CONTRACTOR TO PROVIDE POWER).
- 12 INSTALL "KNOX BOX" PER FIRE DEPARTMENT REQUIREMENTS
- 13 INSTALL 287± L.F. OF 3/4" POLYETHYLENE WATER LINE AT MIN. 4 FT. COVER FROM THE MAIN BUILDING TO NEW FREEZE-PROOF HOSE BIBB WITH BACKFLOW PREVENTOR IN TRASH ENCLOSURE

OTHER UTILITY CALLOUTS

- 01 INSTALL EXTERNAL GAS METER (APPROXIMATE LOCATION)
- 02 INSTALL 135± L.F. OF GAS LINE PER DOMINION ENERGY STANDARDS TO CONNECTION POINT AT EXIST. GAS MAIN (APPROXIMATE LOCATION) CONTRACTOR TO FIELD VERIFY EXACT LOCATION, TYPE OF EXISTING GAS LINE BEFORE NEW LINE TO BUILDING IS INSTALLED
- 03 NEW 3ph PADMOUNT TRANSFORMER, 1000 AMP SERVICE, 120/208 VOLTAGE, 3-PHASE, 4 WIRE W/GROUND (CONTRACTOR TO PROVIDE) PER ROCKY MOUNTAIN POWER STANDARDS & SPECS. (CONTRACTOR TO COORDINATE WITH RMP)
- 04 NEW CT CABINET (CONTRACTOR TO PROVIDE) PER ROCKY MOUNTAIN POWER STANDARDS & SPECS. (CONTRACTOR TO COORDINATE WITH RMP)
- 05 INSTALL A TOTAL OF 57.4± L.F. OF 4-INCH UNDERGROUND POWER SERVICE CONDUITS FROM CT CABINET TO NEW TRANSFORMER AND FROM NEW TRANSFORMER TO EXIST. JUNCTION BOX
- 06 INSTALL 179.1± L.F. OF 1" CONDUIT FOR POWER TO 1-INCH CONDUIT RISER IN TRASH ENCLOSURE, STORAGE BUILDING, AND RPZ HEATED ENCLOSURE
- 07 INSTALL 133± L.F. OF COMMUNICATION CONDUIT PER CENTURY LINK COMMUNICATIONS STANDARDS & SPECIFICATIONS
- 08 INSTALL CONDUIT TO THE BUILDING FOR POWER ON ALL DIRECTIONAL SIGNS AND NEW MONUMENT SIGNS - TYPICAL (SEPARATE SIGN PERMIT)
- 09 FREEZELESS YARD HYDRANT WITH THREADED WATER CONNECTION
- 10 PROPOSED SWITCH GEAR LOCATION, TO BE INSTALLED BY ROCKY MOUNTAIN POWER.

STORM DRAIN, UTILITIES, ASPHALT, CURB, AND GUTTER NOT PART OF THIS APPLICATION, TO BE PERMITTED AND CONSTRUCTED BY OTHER PRIVATE PARTY



NOTE:
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UTILITY NOTE

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SHEET NO.	TITLE	DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	OFFICE ADDRESS	DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237	DLP	BY						
											McDONALD'S SITE IMPROVEMENT PLANS	VINEYARD, UTAH	SITE UTILITY PLAN			
														DESCRIPTION	REVISED PER CITY	DATE

REGISTERED PROFESSIONAL ENGINEER
No. 8080527
JEREMY RICK
HANSON
3/3/2013
STATE OF UTAH

DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

McDONALD'S SITE IMPROVEMENT PLANS	McDONALD'S SITE IMPROVEMENT PLANS
VINEYARD, UTAH	VINEYARD, UTAH
DESCRIPTION	DESCRIPTION
SITE UTILITY PLAN	SITE UTILITY PLAN
SITE ID	SITE ADDRESS
043-0342	391 GENEVA ROAD AND 400 NORTH VINEYARD, UTAH

SP-4

CONCRETE CURBING ONLY REQUIRED WHEN PREVENTING DIRECT ACCESS FROM SITE INGRESS.

STRIPING/LANDSCAPING

2B

4F

2A

SECONDARY LANE

LANDSCAPING

1A

1B

1C

1E

1F

2C

2D

2E

2F

3A

3B

3C

3D

3E

3F

4A

4B

4C

4D

4E

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- 1A** DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
- 1B** THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".
- 1C** PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).
- 1D** THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45'. THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT.
- 1E** ENTRANCE LANE ENTERING THE SIDE BY SIDE DRIVE-THRU IS TO BE 14'-0" MIN.
- 1F** THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6".

- 2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE "McDONALD'S GATEWAY" SIGN IS LOCATED.
- 2B DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.
- 2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.
- 2D THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".
- 2E THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PENDING WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.
- 2F A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.

3A MIN. 60'-0" (+5', 60'-65") LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN DRIVE BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS ($\pm 5'$ FOR 80', 100', AND 120') TO A MAX OF 120'. 100'-0" IS OPTIMAL.

3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION.

3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' TO 35° ANGLE (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.

3D AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.

3F AUGER "McDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

3G THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.

3H THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD.

4. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT POSITIONING FOR SECONDARY LANE:

4A TO POSITION THE SECONDARY COD, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY COD.

4B WHEN THE SECONDARY COD IS LOCATED AT 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE COD CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY COD WHEN POSSIBLE.

4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB.

4D AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

4E THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' FROM A VEHICLE POSITIONED AT THE COD AND WITH 100% VISIBILITY.

4F "ANY LANE, ANY TIME" BOLLARD SIGN MUST BE A MIN. OF 1'-6" FROM FACE OF CURB AT THE BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE OF 90° FROM THE CURB.

5. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 DETECTOR LOOP:

5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENTER BOOTHS.

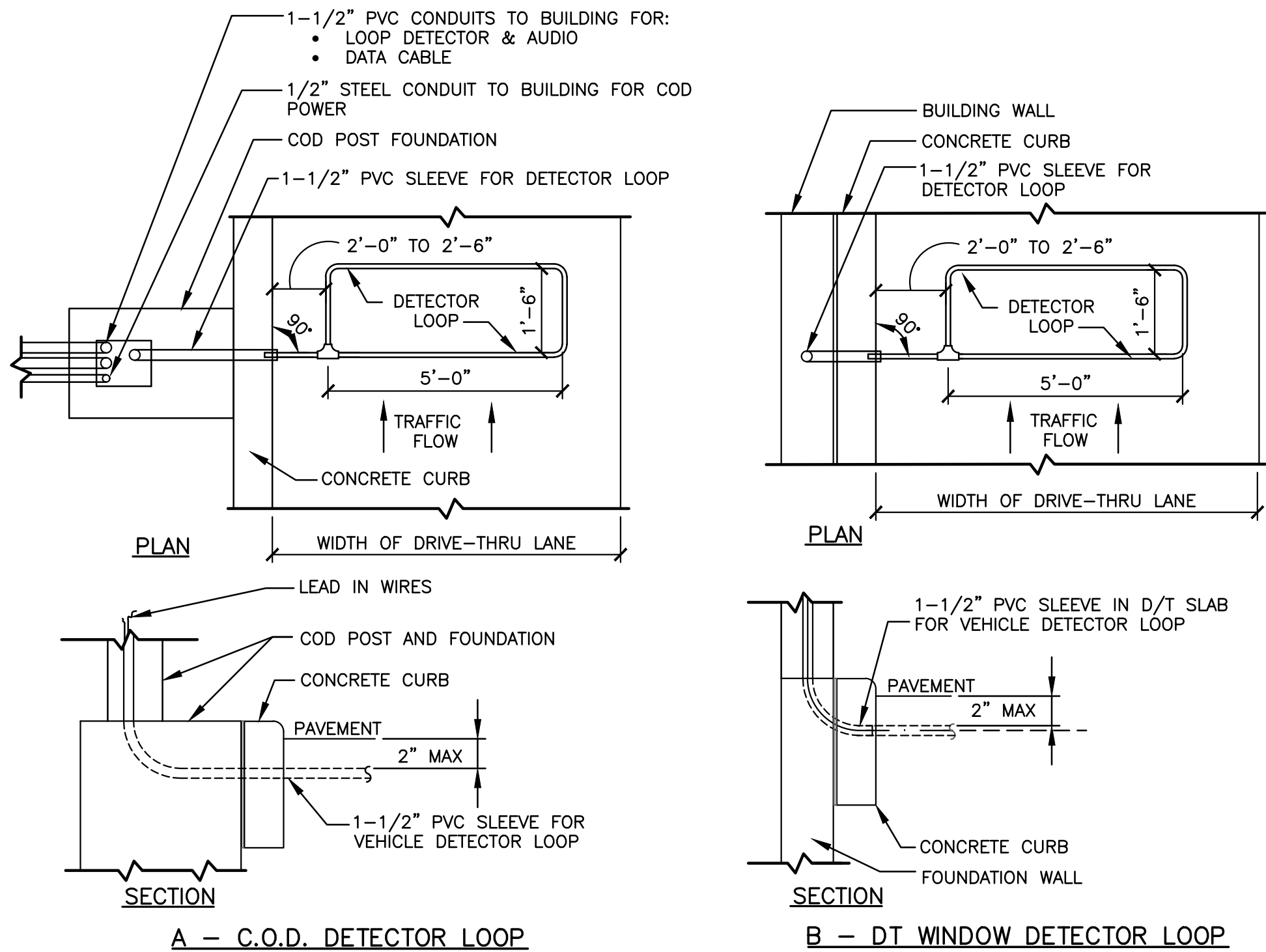
1A PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" IS 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD.

1B PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35°).

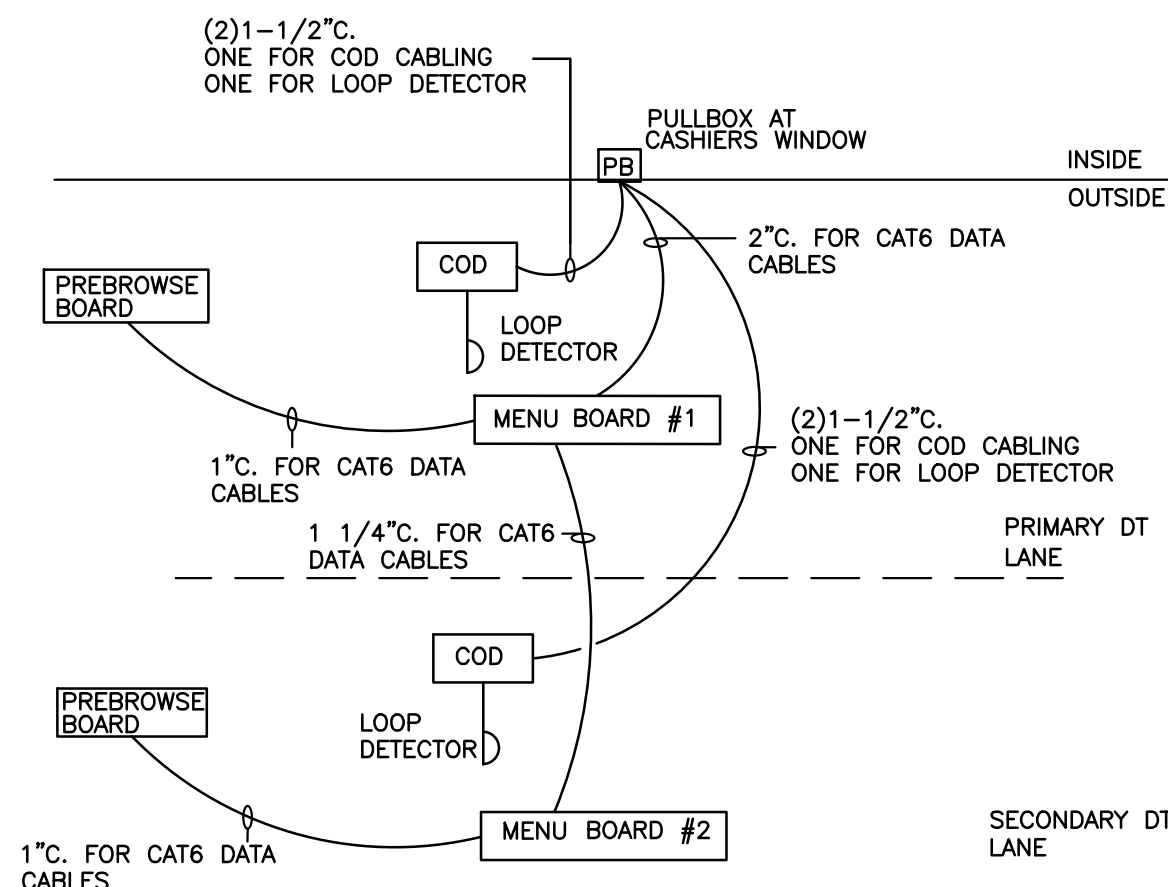
1. DRIVE-THRU ELEMENTS:
COD, DRIVE-THRU PYLON/CLEARANCE POLE AND BOLLARD SIGN SHALL BE CONSISTENT WITH THE STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS.
OTHER DESIGNS MAY NOT BE USED.
2. CONTRACTOR SHALL COORDINATE WITH APPLICABLE PLANS, McDONALD'S AREA CONSTRUCTION MANAGER, CONTENT SUPPLIER AND SIGNAGE SUPPLIER TO DETERMINE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF BOARDS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK TO BE COORDINATED WITH OTHER TRADES.
3. CONTACT McDONALD'S AREA CONSTRUCTION MANAGER FOR DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS NOT SHOWN. (INFORMATION ALSO AVAILABLE THROUGH VENDOR WEBSITES) SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
4. SEE DETAIL 2 THIS SHEET FOR DETECTOR LOOP INFORMATION, DETAIL 3 THIS SHEET FOR LOW VOLTAGE CONDUIT DIAGRAM AND DETAIL 4 THIS SHEET FOR DRIVE THRU POWER DIAGRAM; VENDOR'S SPECIFICATIONS SHALL GOVERN UPON ANY DISCREPANCIES.
5. CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR, CONTENT SUPPLIER AND THE SIGN SUPPLIER.
6. CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.
8. IF 12" MIN. CLEARANCE CANNOT BE ATTAINED OR IF THERE IS A HIGH CHANCE OF AN IMPACT, A BOLLARD MAY BE INSTALLED TO PROTECT THE APPROPRIATE BOARD(S). 100% VISIBILITY OF THE BOARD(S) IS REQUIRED AFTER BOLLARD PLACEMENT.
9. MENU BOARDS SHALL BE PLACE TO ALLOW FRONT ACCESS CLEARANCE: 100% ACCESS IS REQUIRED.

1. VERIFY CONSTRUCTION SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
4. DETECTOR LOOP MANUFACTURERS:
DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWING COMPANIES OF EQUAL.
3M: 1-800-328-0033
HME: 1-800-848-4468
5. DETECTOR LOOP MATERIAL:
PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
6. DETECTOR LOOP CONSTRUCTION:
FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.

DT-2 NOT TO SCALE



(DT-1) NOT TO SCALE

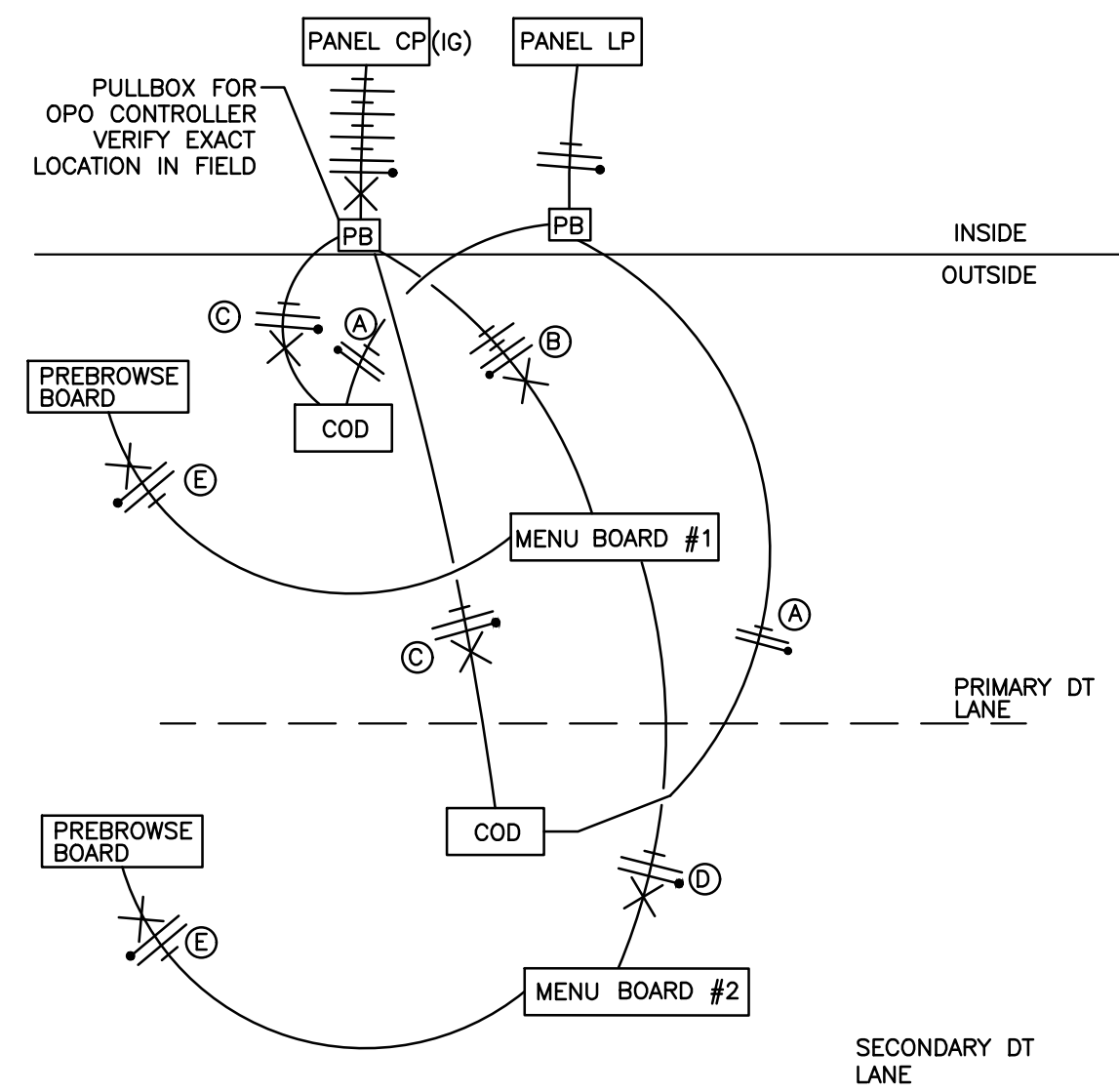


- * VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.

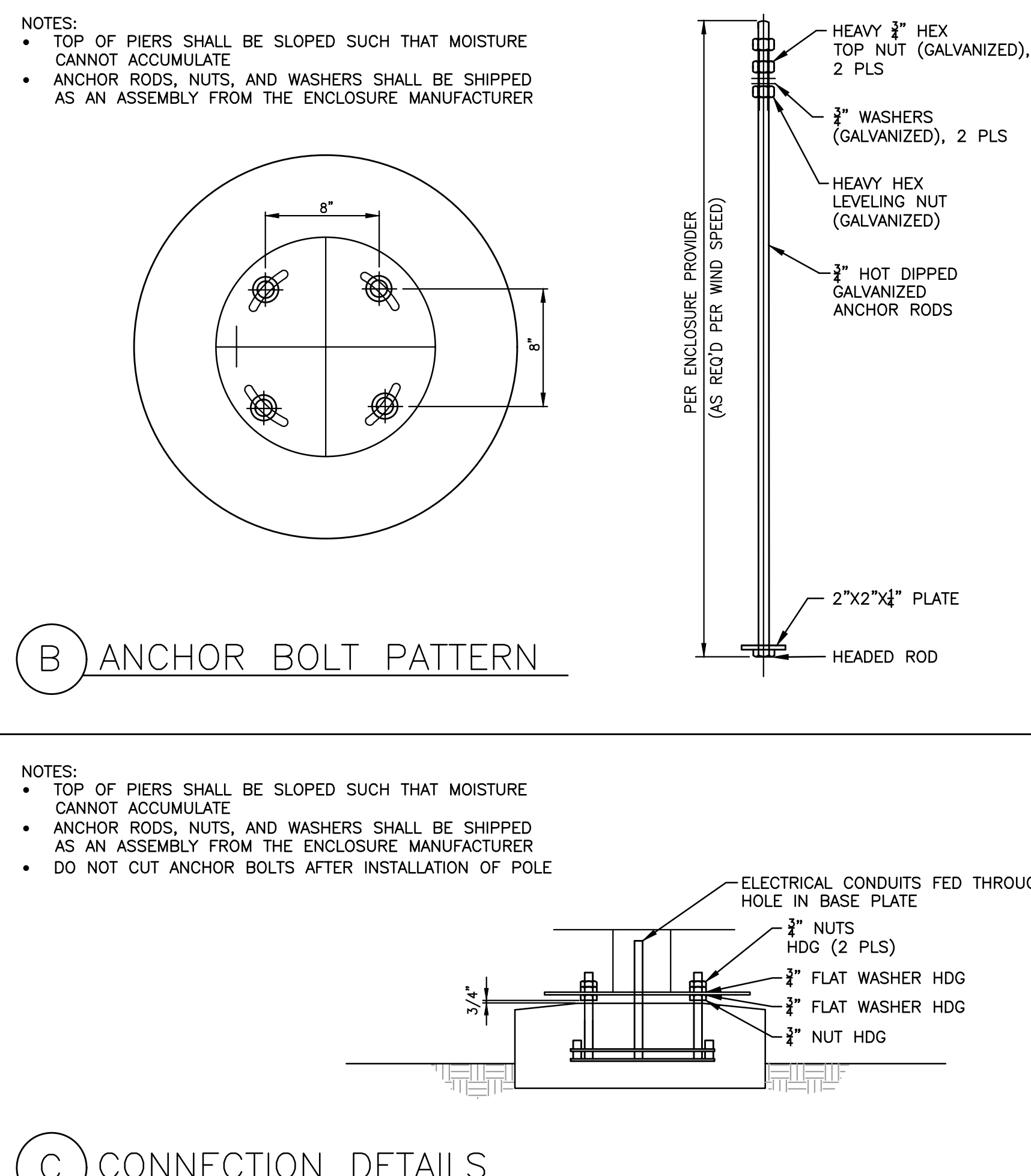
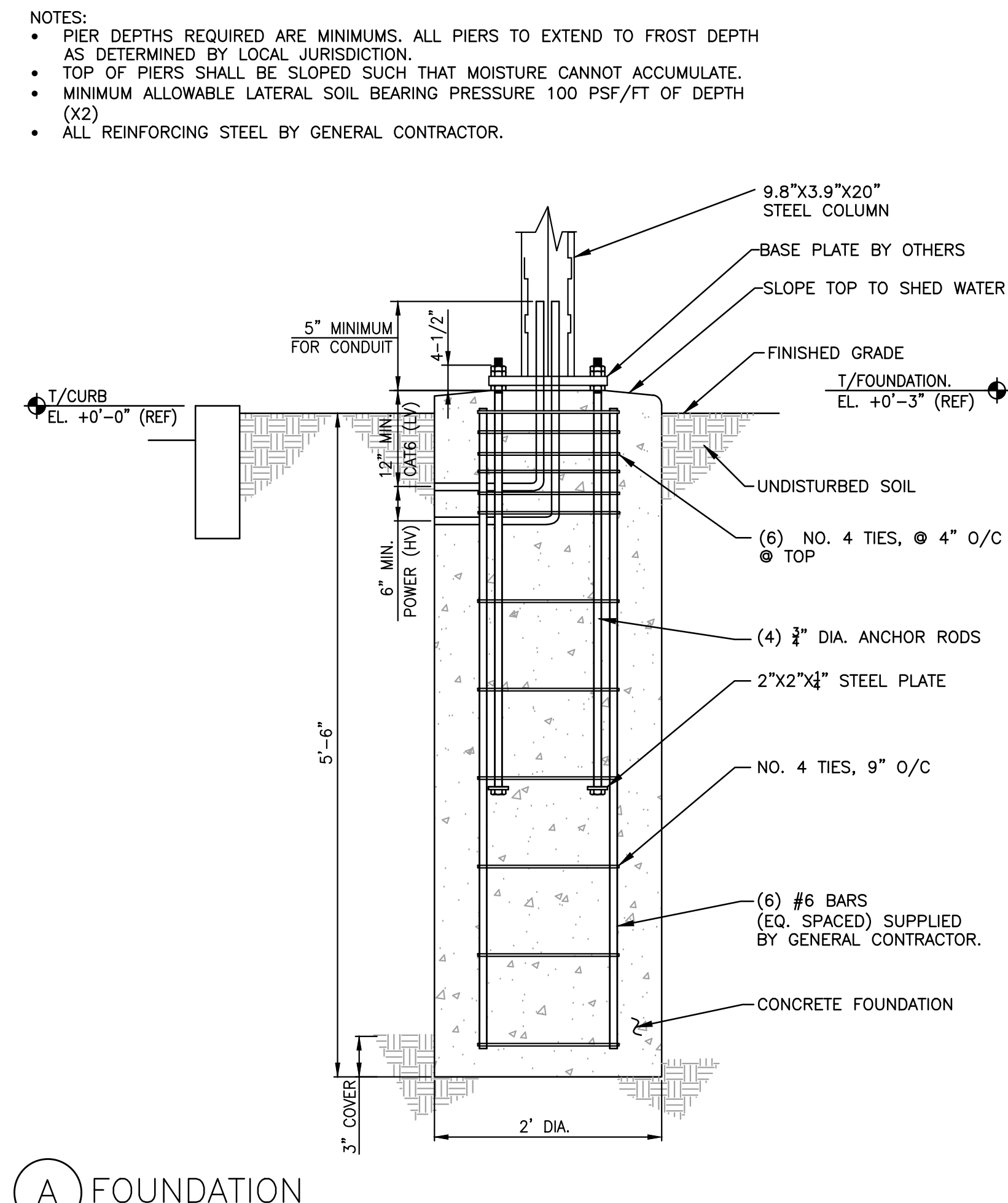
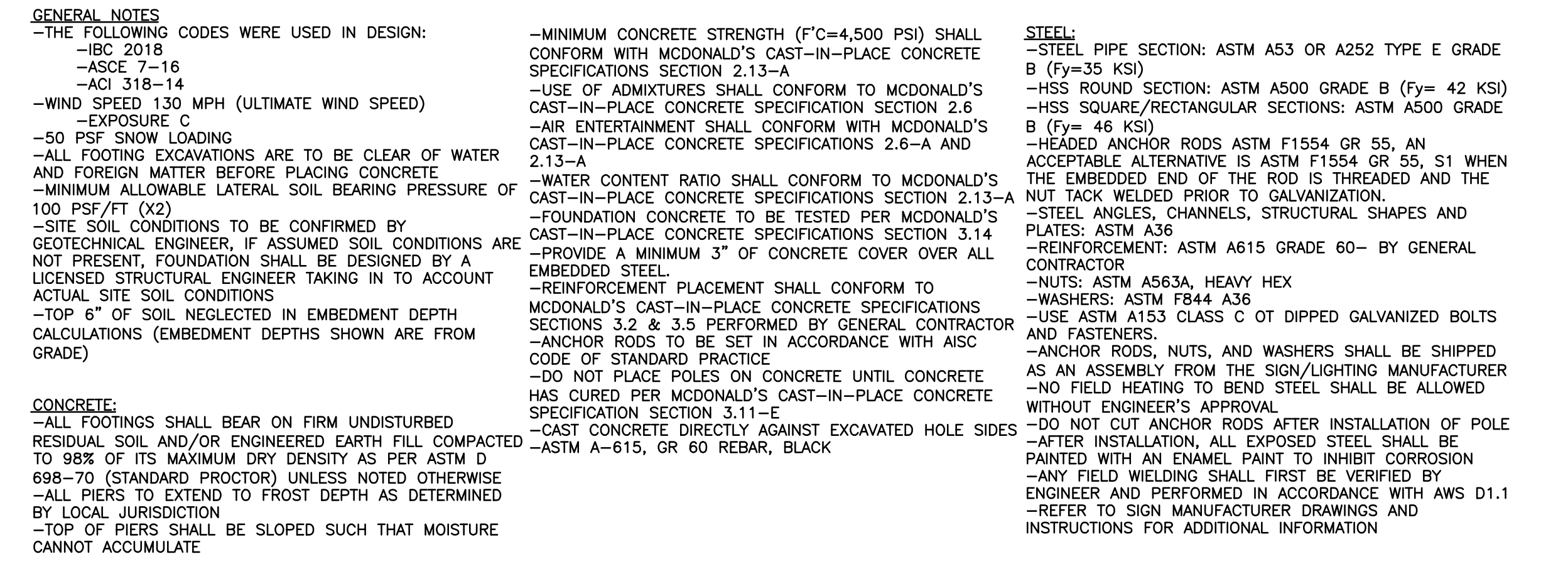
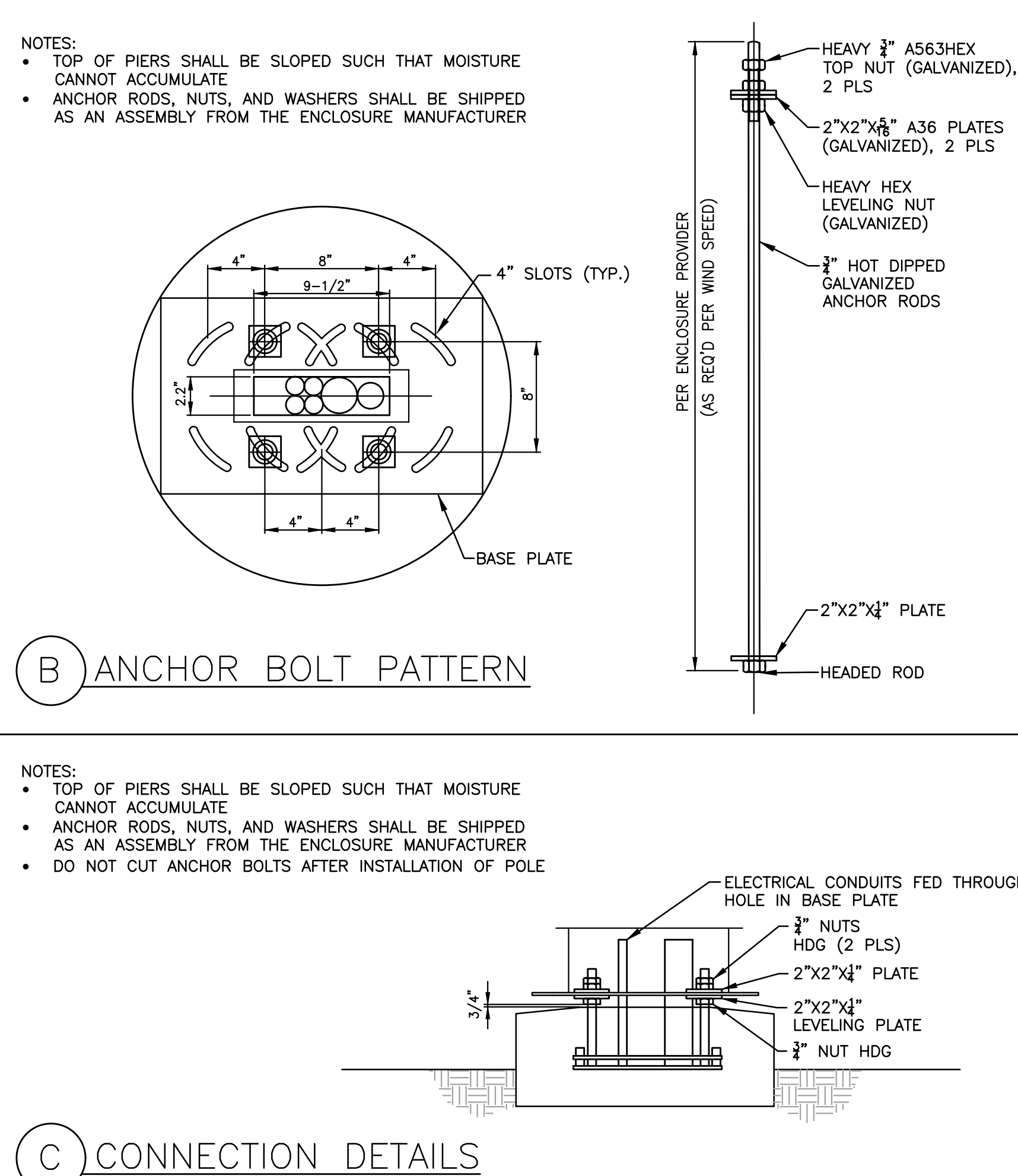
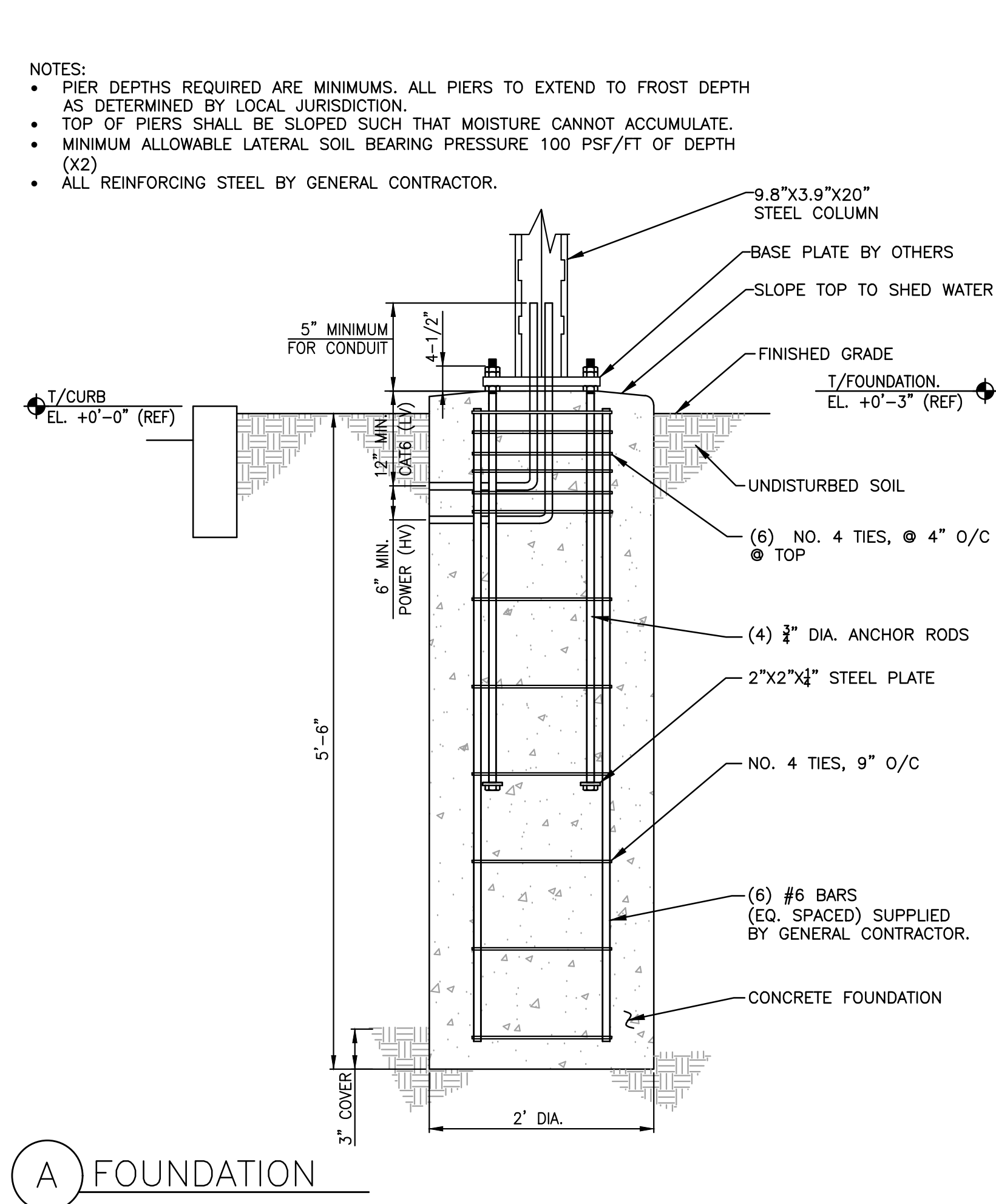
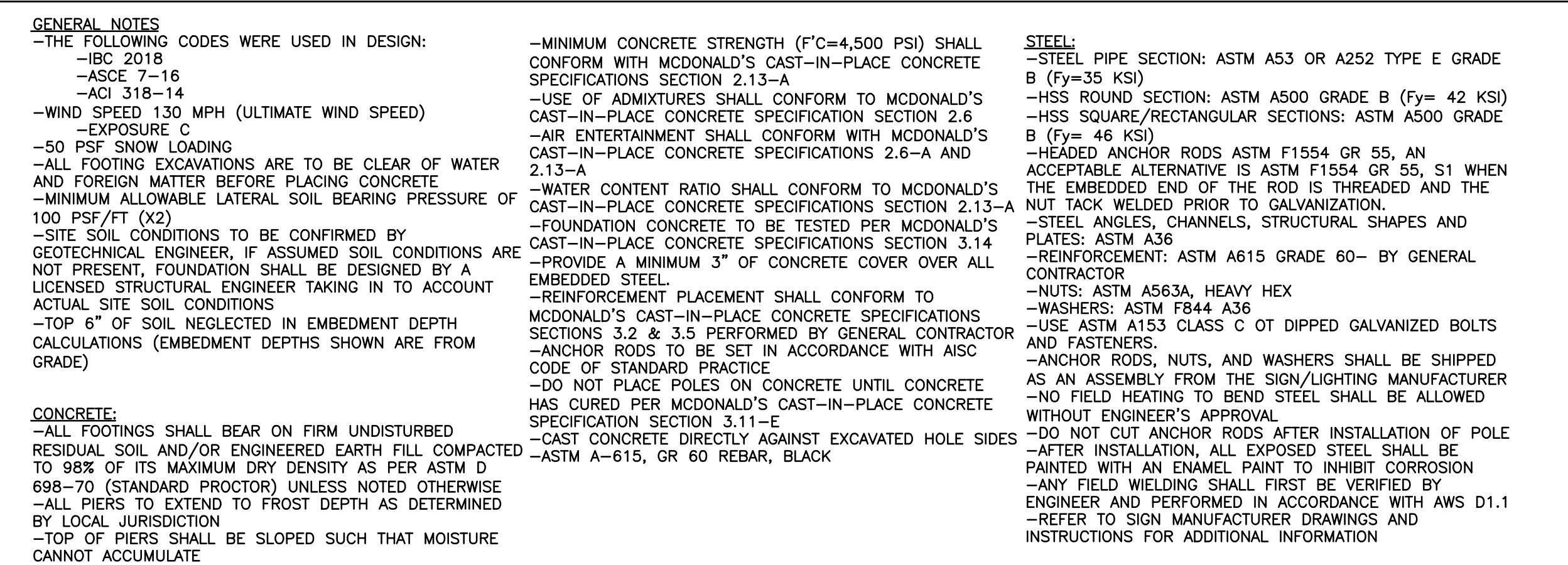
FOR EXISTING LOCATIONS:

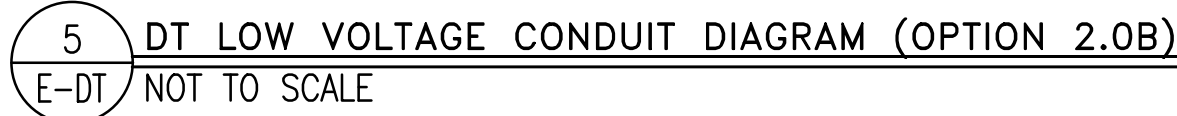
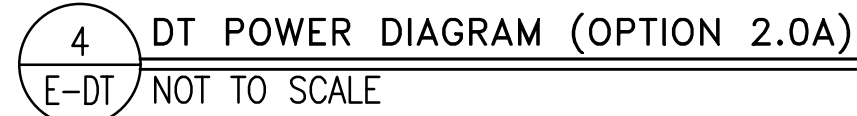
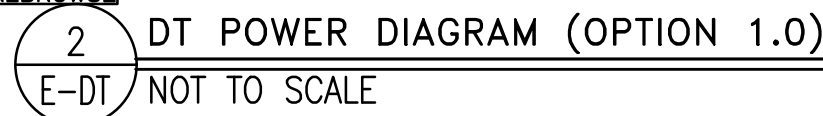
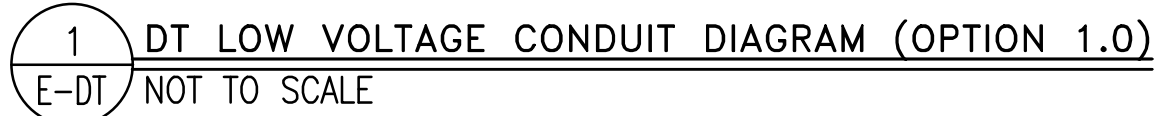
- * VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACE FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.
- * VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY

- (A) #212 & #12 GND. TO LP-1 FOR COD CANOPY LIGHTING.
- (B) #412 & #12 GND & #12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (C) #212 & #12 GND & #12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO CDD'S. EACH CDD SHALL BE ON ITS OWN SEPARATE CIRCUIT.
- (D) #212 & #12 GND & #12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (E) #212 & #12 GND & #12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO PRESELL BOARDS AND MEDIA PLAYER.



(DT-1) NOT TO SCALE






1. COORDINATE ALL CONDUIT AND CIRCUITING REQUIREMENTS WITH MANUFACTURER'S INSTALL INSTRUCTIONS.

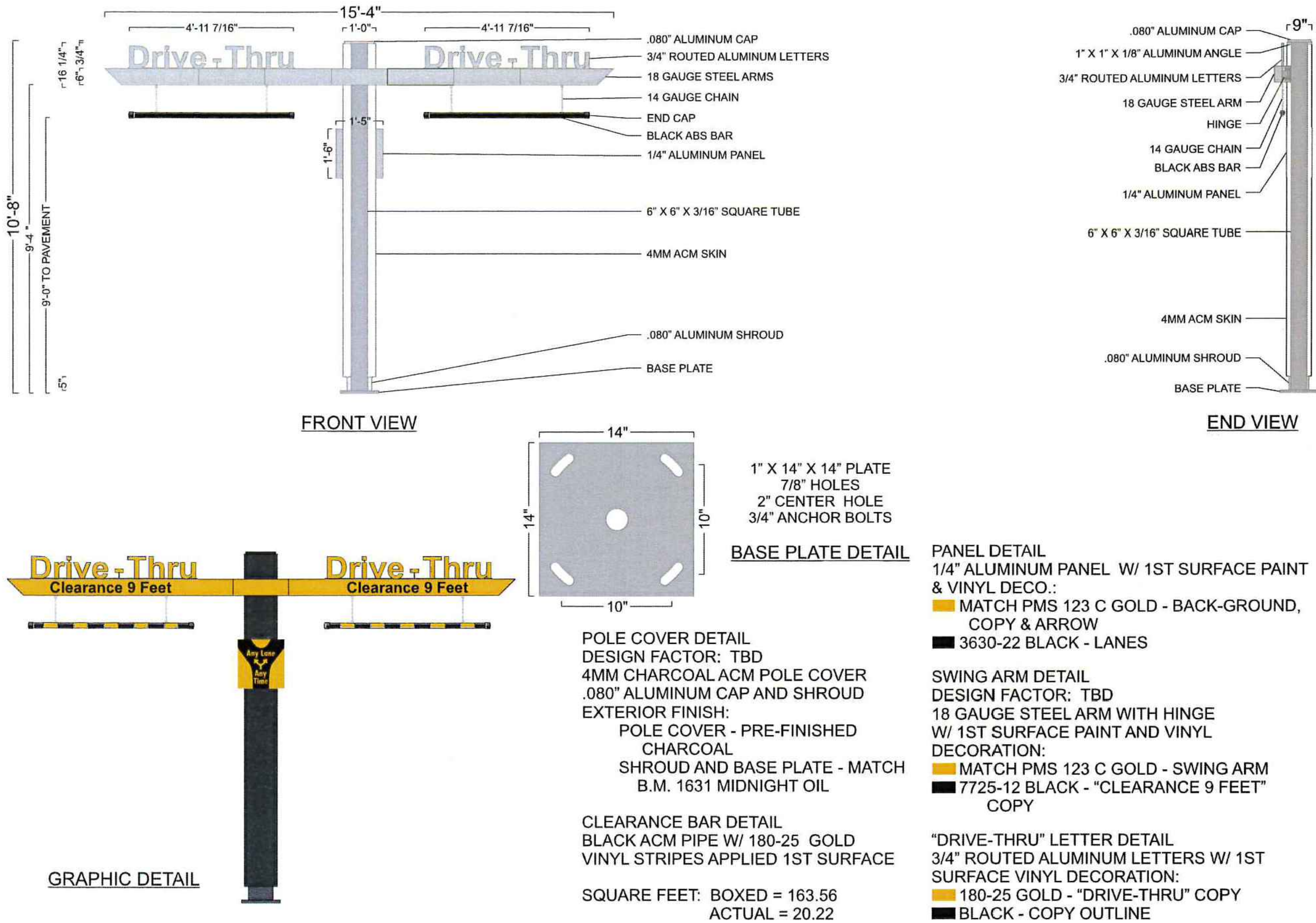
2. ALL PULLBOXES/HANDHOLES SHOWN SHALL BE A MINIMUM OF TIER 8 QUAZTITE OR EQUAL.

1. PROVIDE TWO (2) SPARE 20A/1P BREAKERS WITHIN CP PANEL FOR FUTURE OUTDOOR DIGITAL MENUBOARDS
2. MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR TRADITIONAL OPO MENUBOARDS REQUIRES SEPARATE DEDICATED NEUTRALS ARE PROVIDED TO MENU BOARD AND PRESELL BOARD FOR EACH CIRCUIT (PLC AND LIGHTING)

- (A) 2#12 & 1#12 GND., TO LP-1 FOR COD CANOPY LIGHTING (TYP. LP-1:23)
- (B) 4#12 & 1#12 GND.,3/4" TO LP-1 FOR OPO MENU BOARD #1 LIGHTING AND PLC (TYP. LP-1:23,25).
- (C) 2#12 & 1#12 GND & 1#12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH CP SHALL BE ON ITS OWN SEPARATE CIRCUIT (TYP. CP:14,18).
- (D) 2#12 & 1#12 GND., TO LP-1 FOR OPO MENU BOARD #2 AND PRESELL BOARD LIGHTING (TYP. LP-1:23)
- (E) FUTURE 3/4" CONDUIT FOR FUTURE OUTDOOR DIGITAL MENUBOARD OR PRESELL POWER.
- (F) 3/4" CONDUIT WITH PULL STRINGS FOR FUTURE MENUBOARD OR PRESELL BOARD POWER.

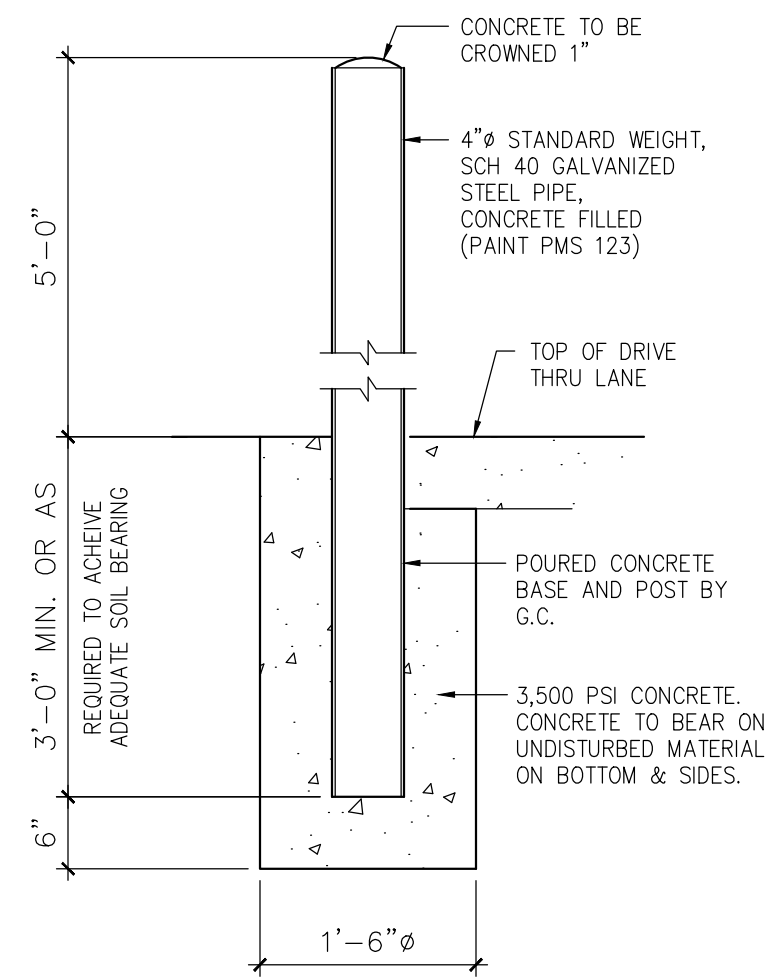
_____ CONDUIT
 - - - - - CONDUIT TO PULLED IN
 FUTURE (ONCE
 FOUNDATIONS ARE
 INSTALLED)
 [PB] PULLBOX
 xx
 SUBSCRIPT
 INDICATES RELATIVE
 LOCATION. REFER
 TO ODM DRAWING.

SHEET NO.	TITLE	DRAWN BY	PREPARED FOR	PREPARED BY:	<div><div>McDONALD'S CORPORATION</div><div>4000 S. RIVER AVE. SUITE 4000 CHICAGO, ILLINOIS 60631</div></div> <div><div>THESE DRAWINGS AND ANY INSTRUMENTAL AND PROPRIETARY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF MCDONALD'S CORPORATION. NO PART OF THESE DRAWINGS OR INSTRUMENTAL INFORMATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S CORPORATION. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO THE PENALTIES PROVIDED IN THE U.S. PATENT AND TRADEMARK OFFICE. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S CORPORATION. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO THE PENALTIES PROVIDED IN THE U.S. PATENT AND TRADEMARK OFFICE.</div><div><div>NO. 80305627</div><div>DATE 06/19/79</div><div>BY JEREMY RICK HANSON</div><div>STATE OF UTAH</div></div></div>	REV	DATE	DESCRIPTION



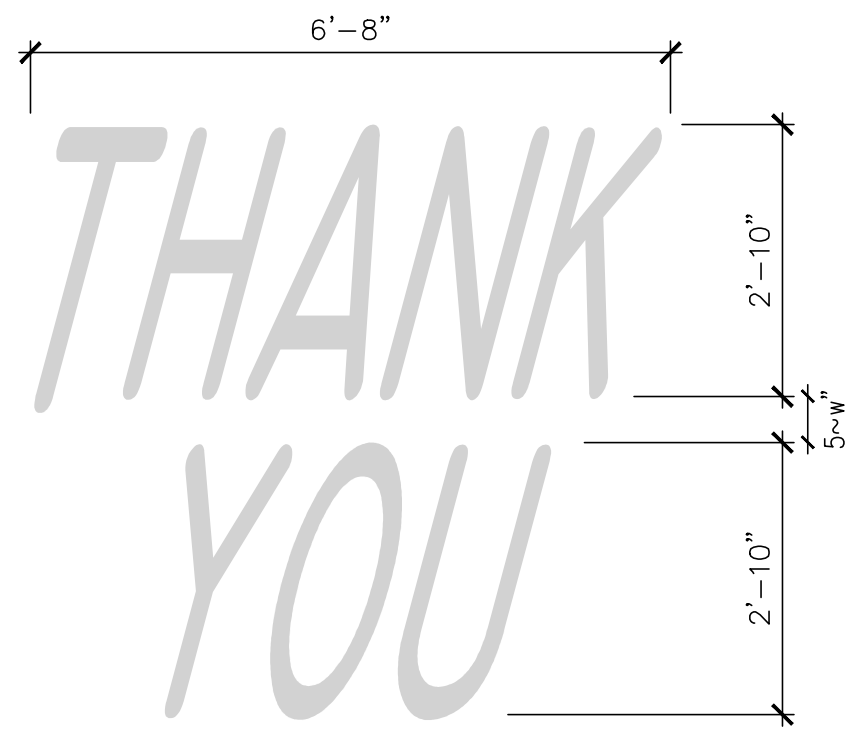
DOUBLE ARM GATEWAY-CLEARANCE SIGN

N.T.S. WIND SPEED: 115 MPH EXPOSURE "C"



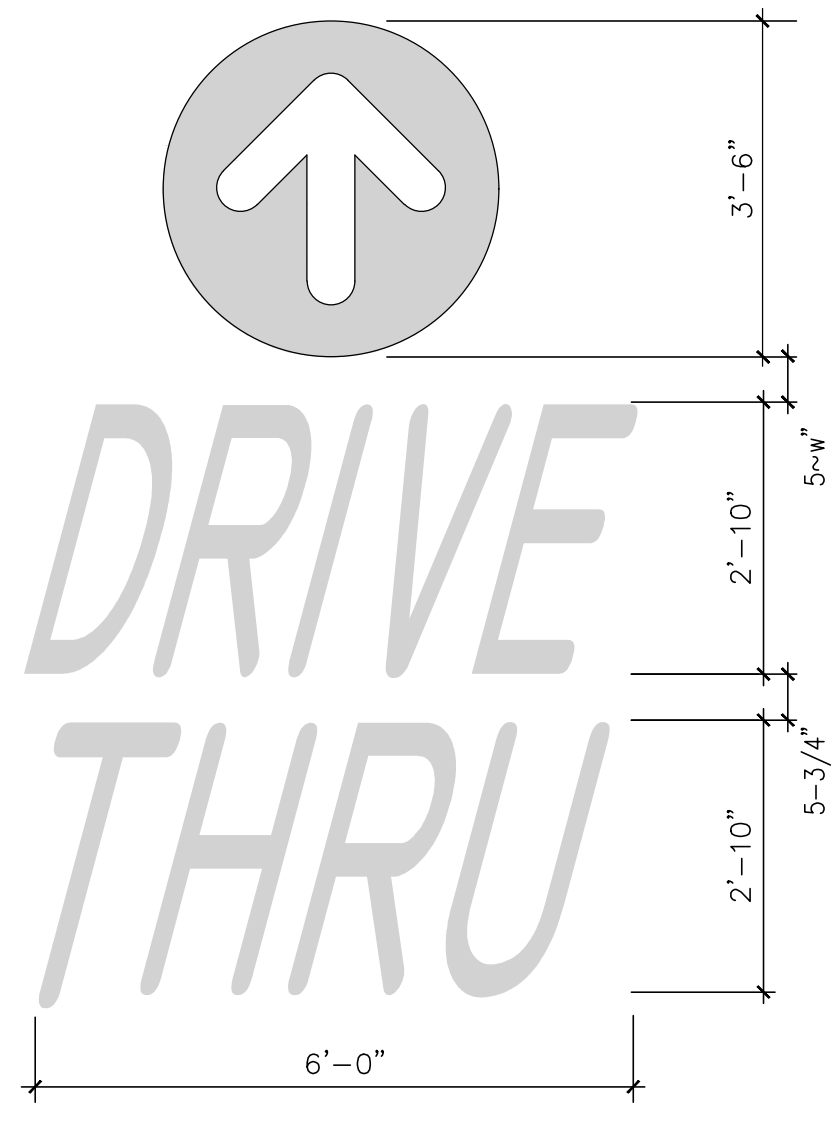
DRIVE THRU BOLLARD FOUNDATION

N.T.S.



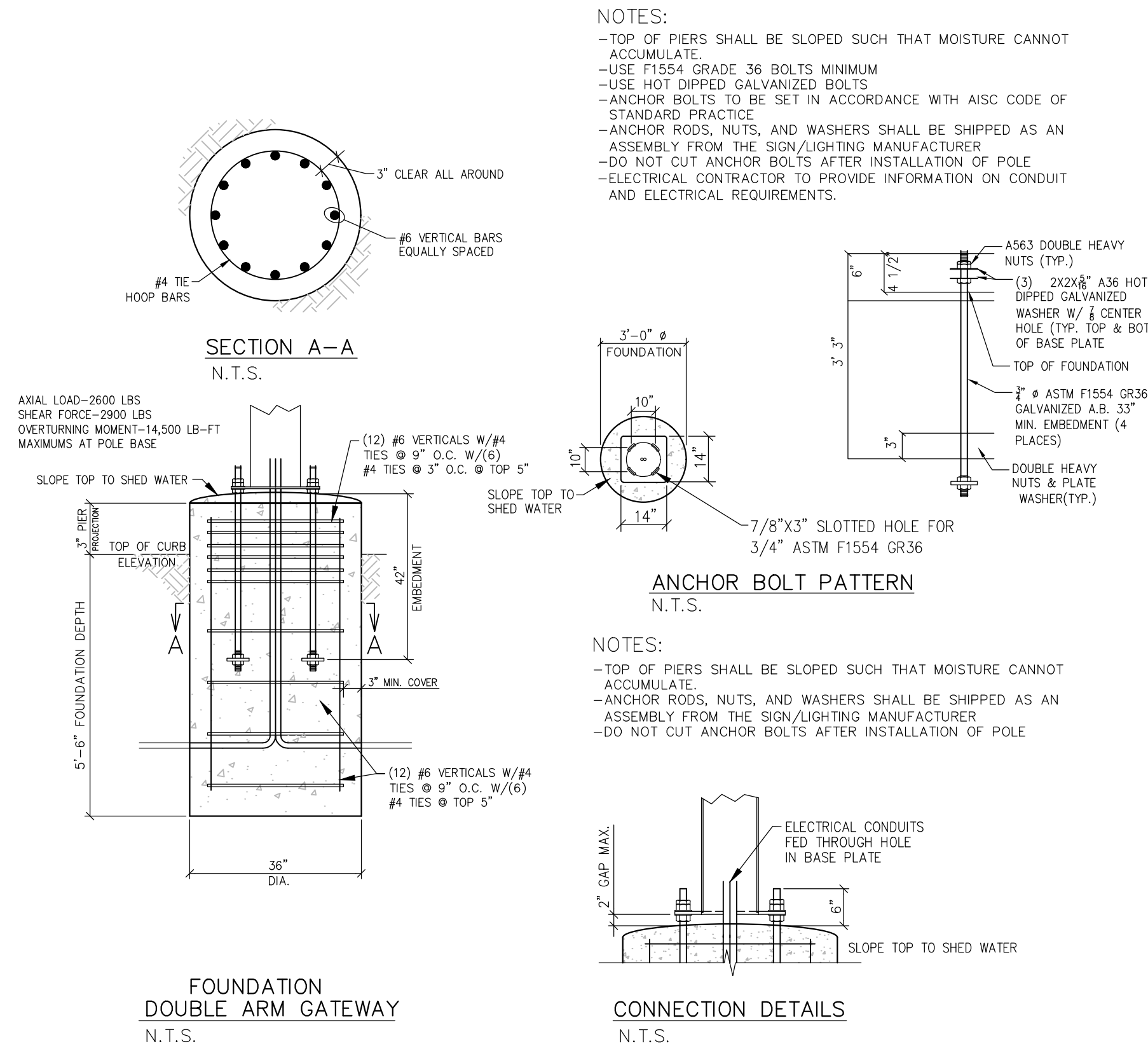
PAINTED "THANK YOU"

N.T.S.



PAINTED "DRIVE THRU"

N.T.S.



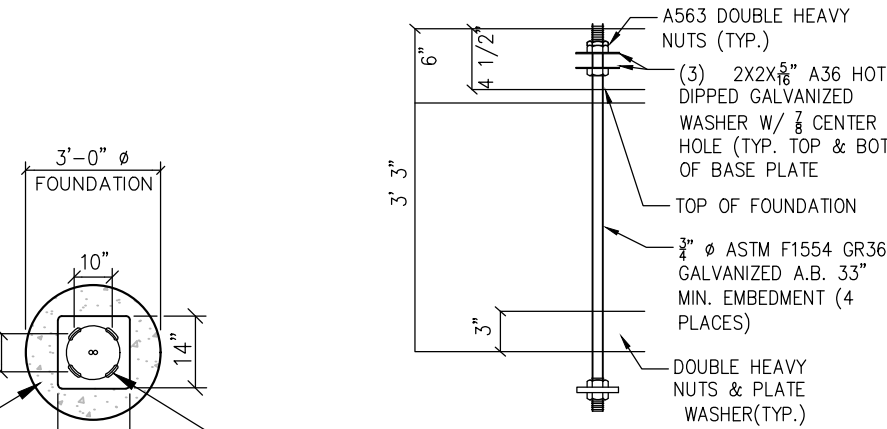
DOUBLE ARM GATEWAY/CLEARANCE SIGN BASE FOUNDATION DETAIL

GENERAL NOTES:

- THE FOLLOWING CODES WERE USED IN DESIGN:
 - IBC 2018
 - ASCE 7-16
 - ACI 318-14
 - WIND SPEED 130 MPH (ULTIMATE WIND SPEED)
 - EXPOSURE C
 - 50 PSF SNOW LOADING
 - ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
 - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
 - SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
 - TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- CONCRETE:**
- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
 - ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
 - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
 - MINIMUM CONCRETE STRENGTH (F_c=4,500 PSI) SHALL CONFORM WITH McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - USE OF ADMIXTURES SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 - AIR ENTERTAINMENT SHALL CONFORM WITH McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A
 - WATER CONTENT RATIO SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - FOUNDATION CONCRETE TO BE TESTED PER McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL
 - REINFORCEMENT PLACEMENT SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR
 - ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 - DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E
 - CAST CONCRETE DIRECTLY AGAINST EXCAVATED HOLE SIDES
 - ASTM A-615, GR 60 REBAR, BLACK

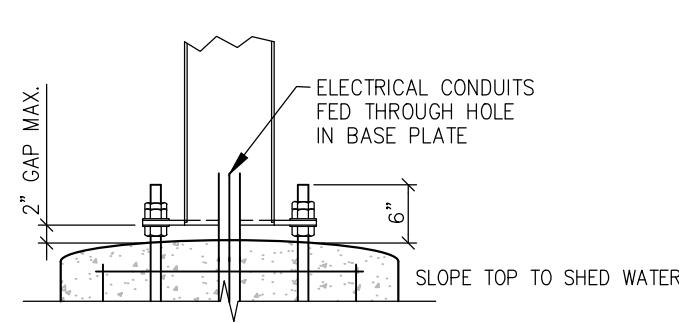
- STEEL:**
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F_y=35 KSI)
 - HSS ROUND SECTION: ASTM A500 GRADE B (F_y= 42 KSI)
 - HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F_y= 46 KSI)
 - HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION
 - STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
 - REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
 - NUTS: ASTM A563A, HEAVY HEX
 - WASHERS: ASTM F844 A36
 - USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
 - DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
 - AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
 - ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
 - REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

- NOTES:**
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
 - USE F1554 GRADE 36 BOLTS MINIMUM
 - USE HOT DIPPED GALVANIZED BOLTS
 - ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
 - ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS



ANCHOR BOLT PATTERN

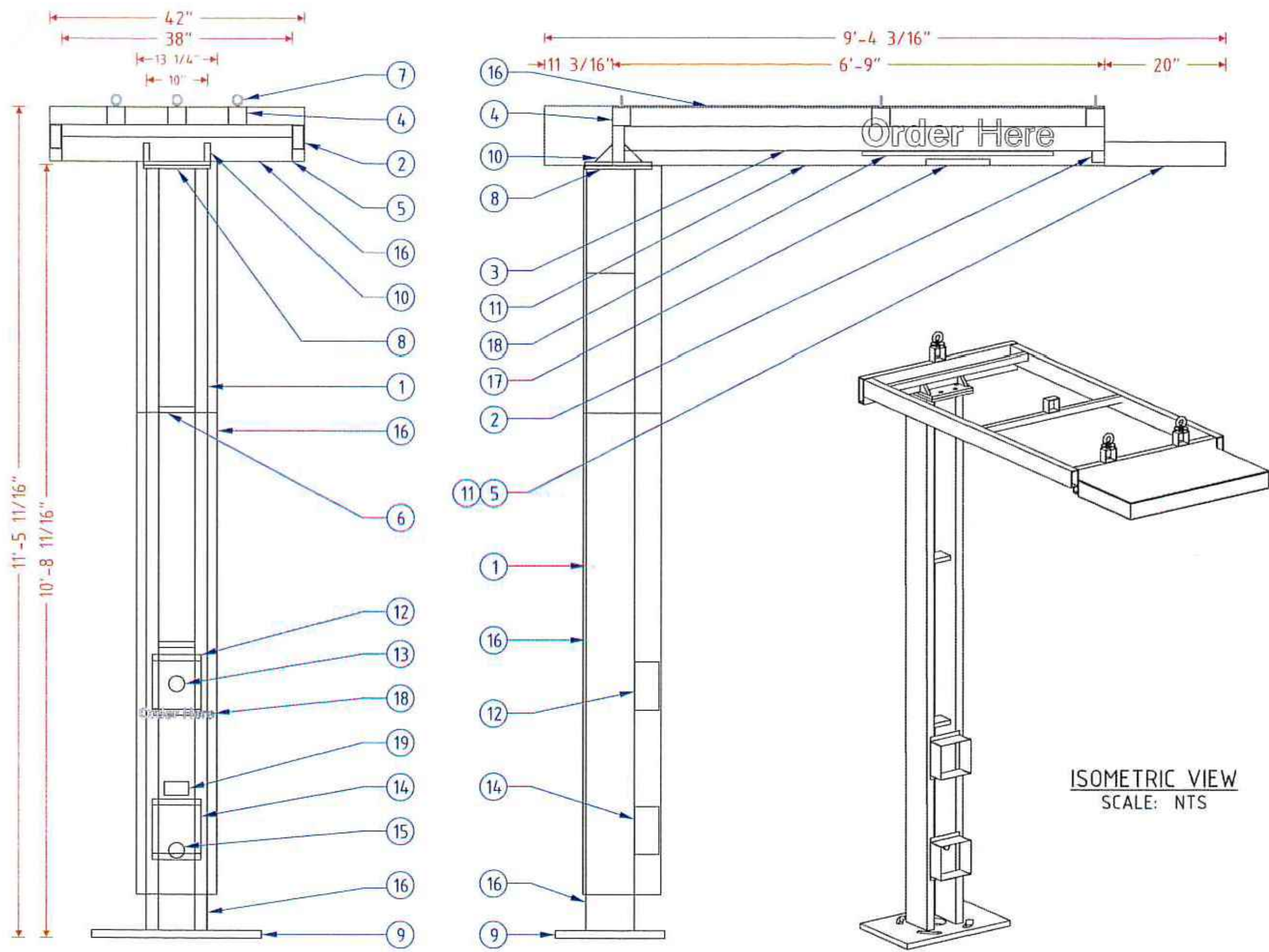
- NOTES:**
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



CONNECTION DETAILS

N.T.S.

SHEET NO.	TITLE	DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	SITE ADDRESS	OFFICE ADDRESS	DENVER REGION	PREPARED BY	DESCRIPTION	REV	DATE	BY
SD-1	McDONALD'S SITE IMPROVEMENT PLANS VINEYARD, UTAH FOUNDATION AND MISCELLANEOUS DETAILS DRIVE-THRU DETAILS						391 GENEVA ROAD VINEYARD, UTAH	4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237						



FRAME & LAMP DETAIL

CROSS SECTION A-A

18" X 28" X 1 1/4" PLATE
1 3/8" SLOTTED HOLES
1" BOLTS

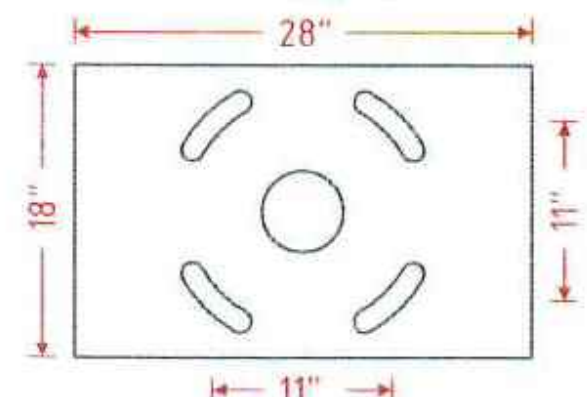


PLATE DETAIL

11" X 11" X 5/8" PLATE
3/4" HOLES
5/8" BOLTS

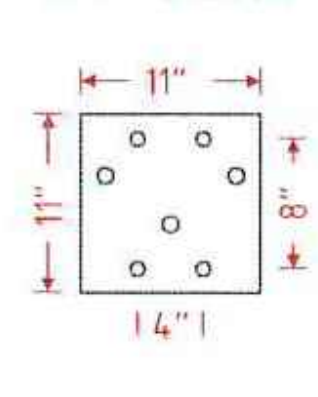
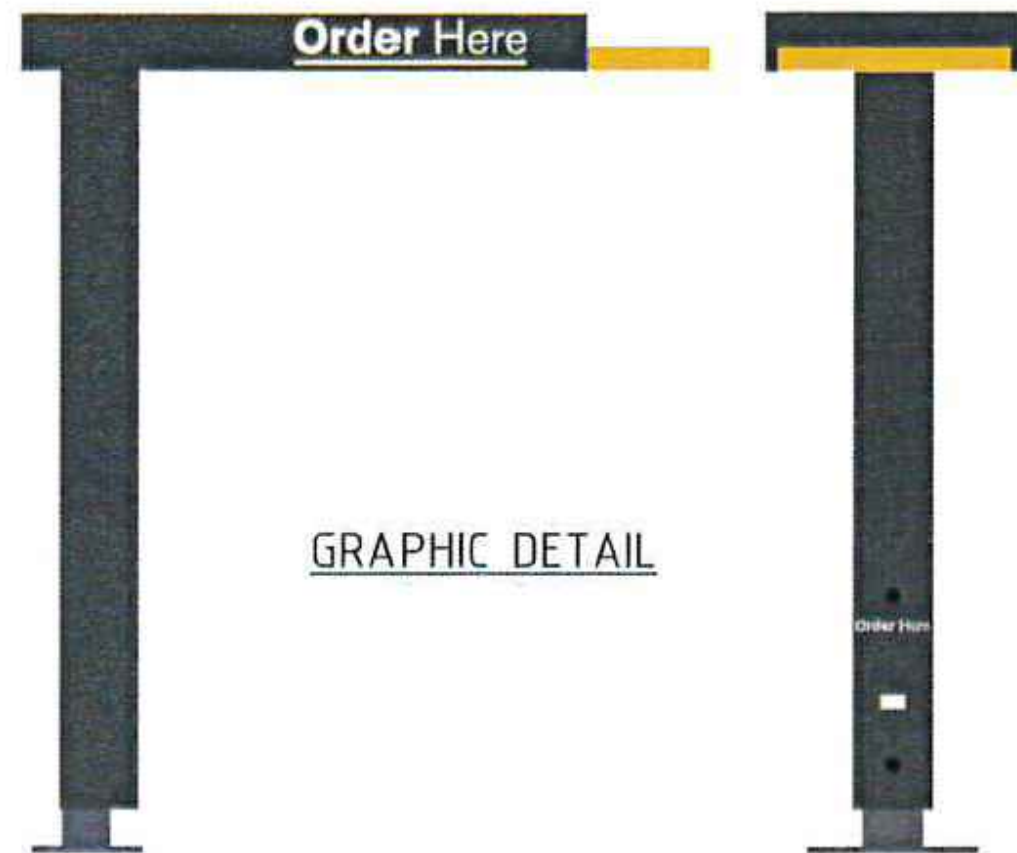


PLATE DETAIL

ISOMETRIC VIEW
SCALE: NTS

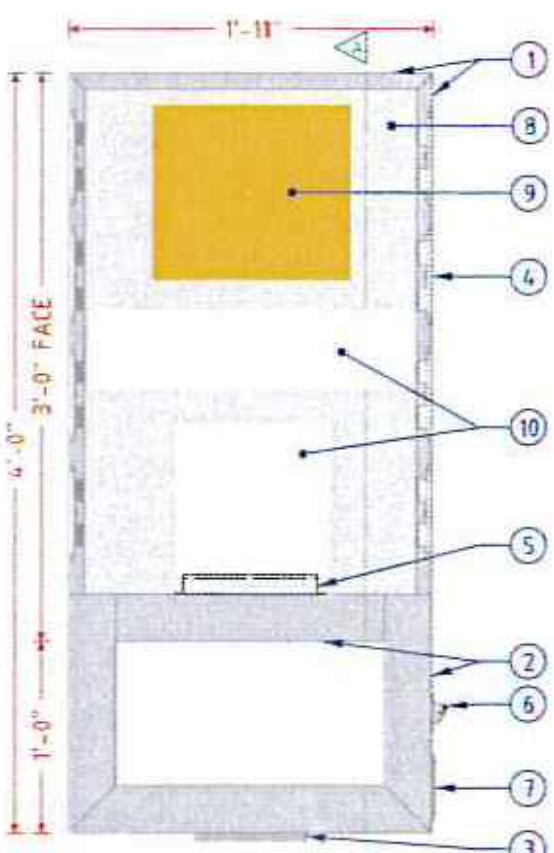


GRAPHIC DETAIL

MCDONALD'S SPRINGBOARD OHC SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	2" X 8" X 3/16" RECTANGULAR TUBE
2	2" X 6" X 1/4" RECTANGULAR TUBE
3	2" X 4" X 1/4" RECTANGULAR TUBE
4	3" X 3" X 3/16" SQUARE TUBE
5	1" X 4" X 1/8" RECTANGULAR TUBE
6	C4 ALUMINUM C-CHANNEL
7	1/2" EYEBOLTS (3)
8	11" X 11" X 5/8" TOP PLATES (2) (SEE PLATE DETAILS)
9	18" X 28" X 1 1/4" BASE PLATE (SEE PLATE DETAILS)
10	3" X 3" X 3/4" GUSSETS
11	.063" ALUMINUM SKIN
12	.063" ALUMINUM BENT SP10 SPEAKER BOX HOLDER
13	SPEAKER OPENING
14	.063" ALUMINUM BENT DM 4/DM 5 MICROPHONE BOX HOLDER
15	MICROPHONE OPENING
16	ACM CLADDING
17	SLOAN LED LIGHT WITH POWER SUPPLY
18	REFLECTIVE WHITE 680-10 VINYL
19	ADA STICKER

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 2" X 8" X 3/16 RECTANGULAR TUBE FRAME
- ACM AND .063" ALUMINUM SKIN
- EXTERIOR FINISH:
 - BASE PLATE - PAINT BM 1631 MIDNIGHT OIL
 - TUBE AND TOP ACM - PAINT CHARCOAL
 - SPRINGBOARD TIP AND UNDERSIDE - PAINT PMS 123 C GOLD
- ACM/SKIN REMOVABLE FOR SERVICE
- U.L. LISTED
- ELECTRICAL: 0.64 AMPS/120 VOLTS



FRAME & LAMP DETAIL

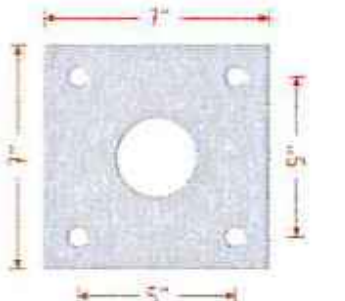


PLATE DETAIL

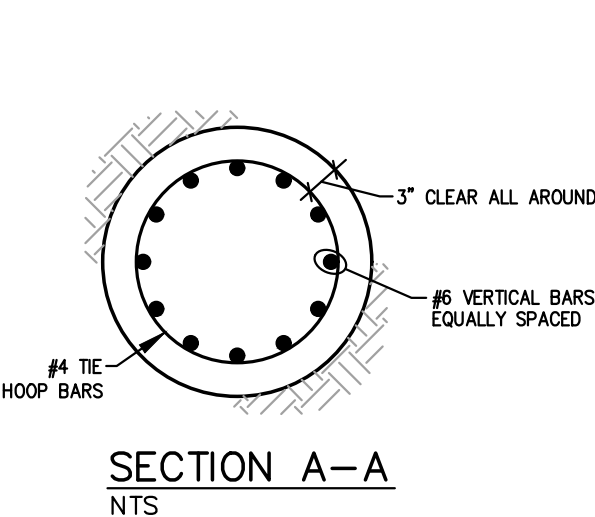


CROSS SECTION A-A

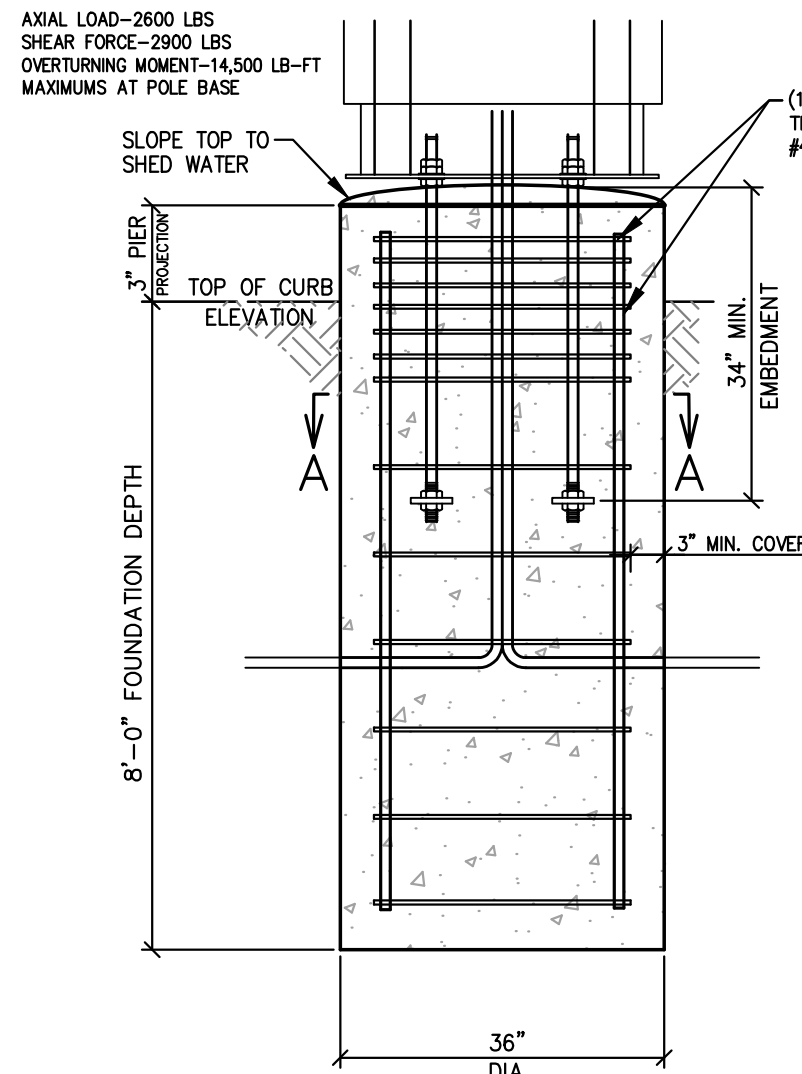
MCDONALD'S 4" NEXT GEN DIRECTIONAL SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	3" X 1" X 1/8" ALUMINUM C-CHANNEL
2	3" X 3" X 1/8" ALUMINUM TUBE
3	MOUNTING PLATE (SEE PLATE DETAIL)
4	WHITE LED'S AS REQUIRED
5	LED POWER SUPPLIES AS REQUIRED
6	DISCONNECT SWITCH
7	ELECTRICAL CONNECTION ACCESS THROUGH COVER
8	880° ROUTED ALUMINUM SHOEBOX FACES
9	118° NG YELLOW SOLAR GRADE POLYCARBONATE BACKER PANEL
10	118° NG WHITE SOLAR GRADE POLYCARBONATE BACKER PANEL
11	POWDERCOAT HENTZEN #P0333APC (OR PAINT TO MATCH)
12	PAINT TO MATCH SILVER OR METALLIC GRAY

NOTES:

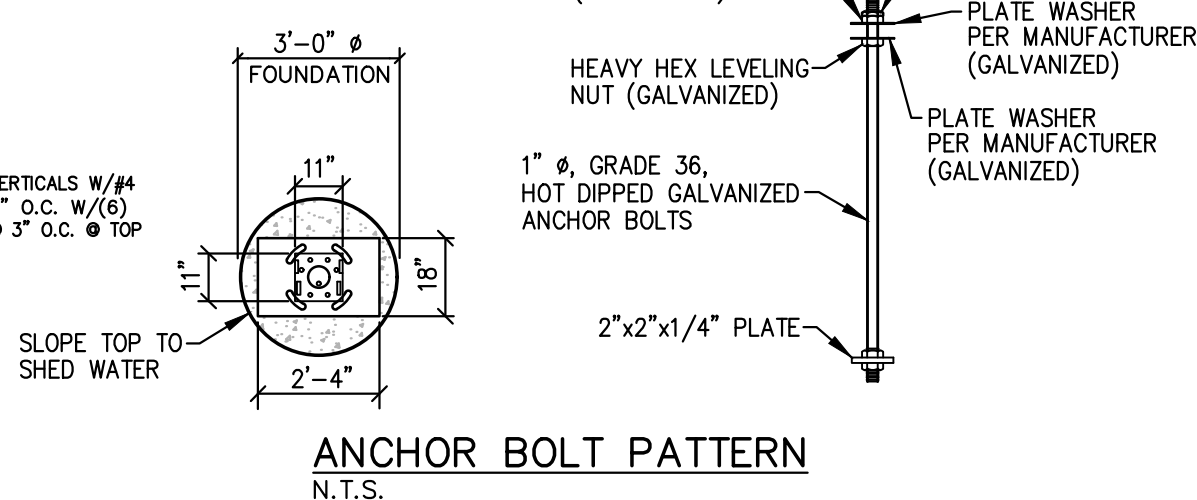
- DESIGN FACTOR: TO BE DETERMINED
- 3" X 1" X 1/8" ALUMINUM C-CHANNEL FRAME
- ROUTED ALUMINUM SHOEBOX FACES
- EXTERIOR FINISH:
 - FACES - POWDERCOAT HENTZEN #P0333APC (OR PAINT TO MATCH)
 - TUBES AND PLATE - PAINT SILVER OR METALLIC GRAY
- INTERIOR FINISH: PAINT REFLECTIVE WHITE
- FACES REMOVABLE FOR SERVICE ACCESS
- U.L. LISTED
- ELECTRICAL: 110 AMPS/120 VOLTS
- SQUARE FOOTAGE:
 - FACE = 5.75
 - DISPLAY = 7.67



SECTION A-A



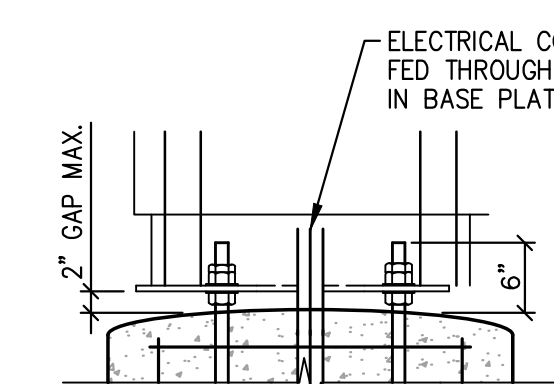
FOUNDATION
ORDER HERE CANOPY
N.T.S.



ANCHOR BOLT PATTERN
N.T.S.

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



CONNECTION DETAILS
N.T.S.

ORDER HERE CANOPY FOUNDATION DETAIL
N.T.S.

GENERAL NOTES:

- THE FOLLOWING CODES WERE USED IN DESIGN:
 - IBC 2018
 - ASCE 7-16
 - ACI 318-14
- WIND SPEED 130 MPH (ULTIMATE WIND SPEED)
- EXPOSURE C
- 50 PSF SNOW LOADING
- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

CONCRETE:

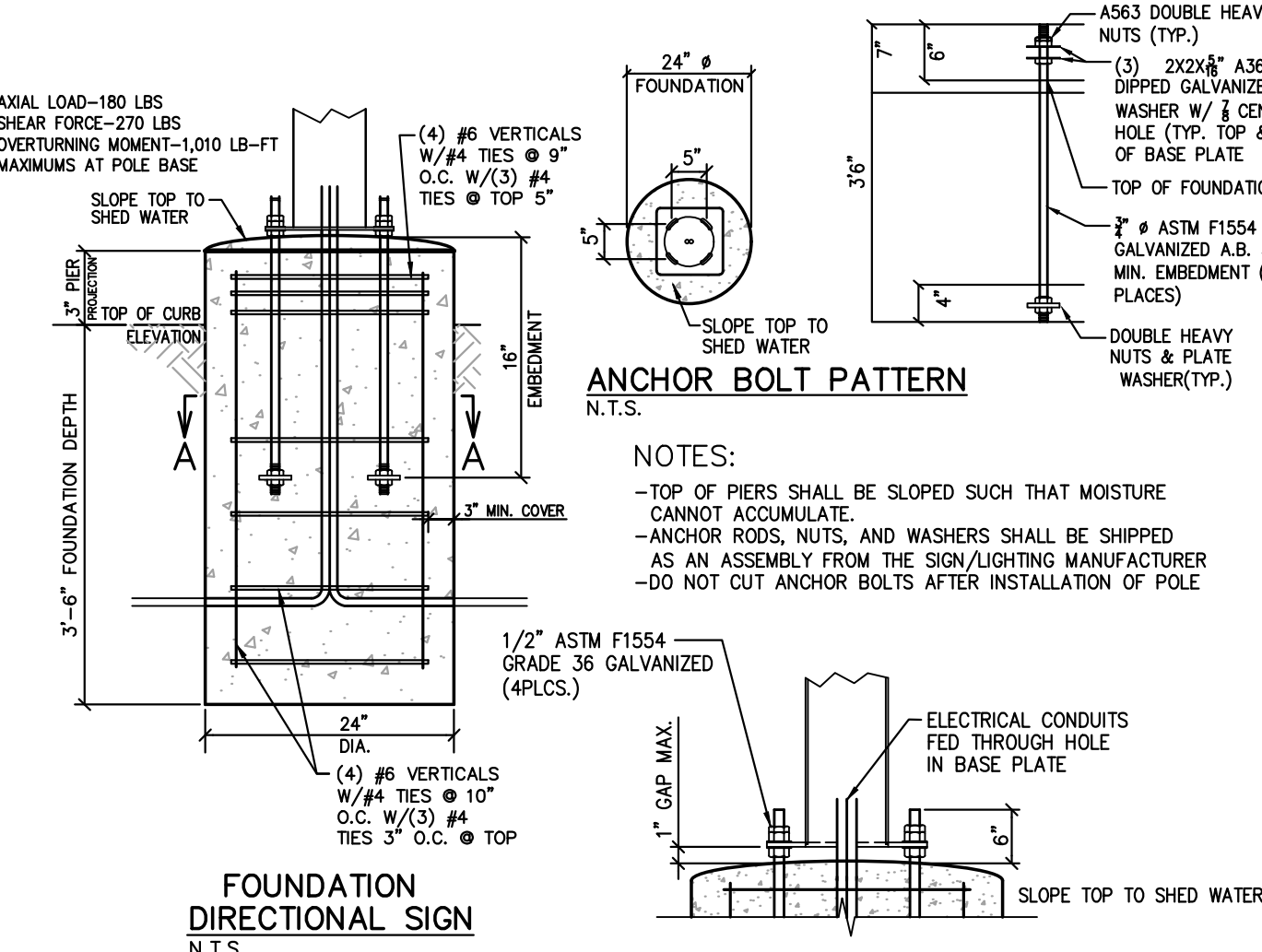
- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
- ALL PIERS TO BE EXTENDED TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
- MINIMUM CONCRETE STRENGTH (F'c=4,500 PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTERTAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
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- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR
- ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E
- CAST CONCRETE DIRECTLY AGAINST EXCAVATED HOLE SIDES
- ASTM A-615, GR 60 REBAR, BLACK

STEEL:

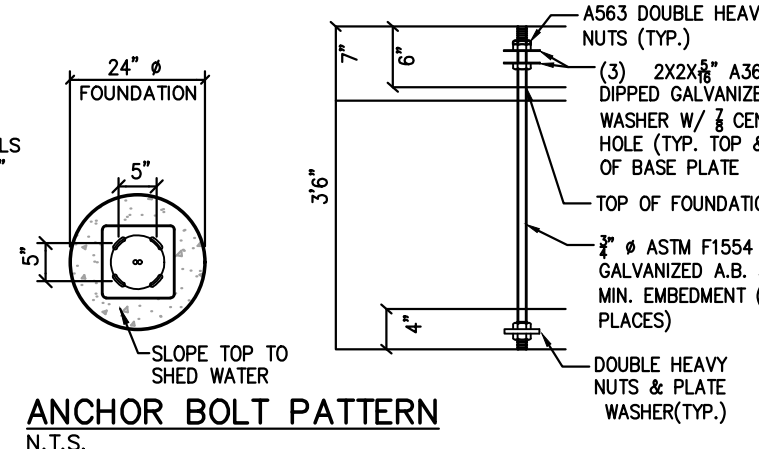
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35 KSI)
- STEEL ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
- HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
- NUTS: ASTM A563A, HEAVY HEX
- WASHERS: ASTM F844 A36
- USE ASTM A153 CLASS C DIPPED GALVANIZED BOLTS AND FASTENERS.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
- DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- USE F1554 GRADE 36 BOLTS MINIMUM
- USE HOT DIPPED GALVANIZED BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.



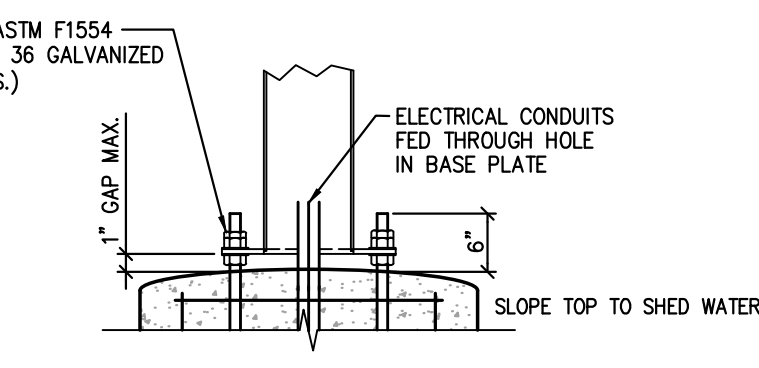
FOUNDATION
DIRECTIONAL SIGN
N.T.S.



ANCHOR BOLT PATTERN
N.T.S.

NOTES:

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- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE

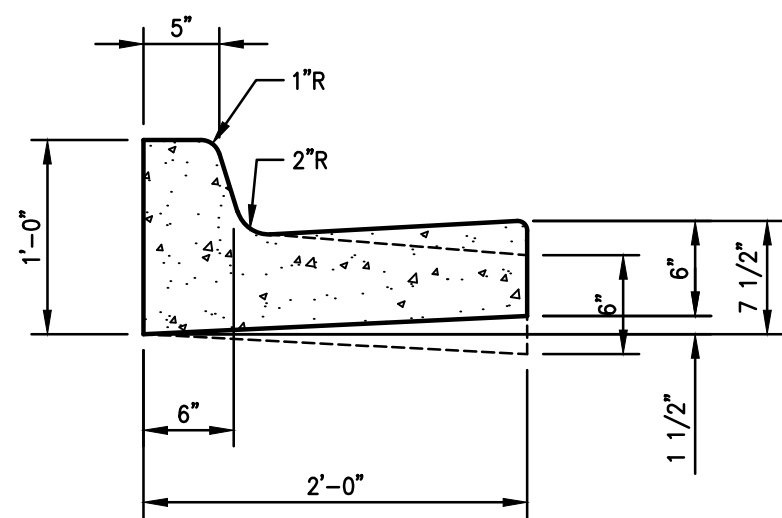


CONNECTION DETAILS
N.T.S.

DIRECTIONAL SIGN FOUNDATION DETAIL
N.T.S.

NEW GEN DIRECTIONAL SIGN DETAILS
NOT TO SCALE WIND SPEED: 115 MPH EXPOSURE "C"

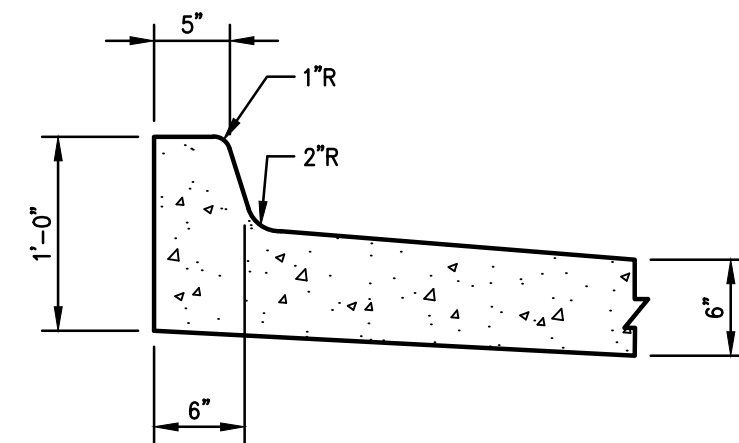
ORDER HERE CANOPY (COD) DETAIL
NOT TO SCALE WIND SPEED: 115 MPH EXPOSURE "C"



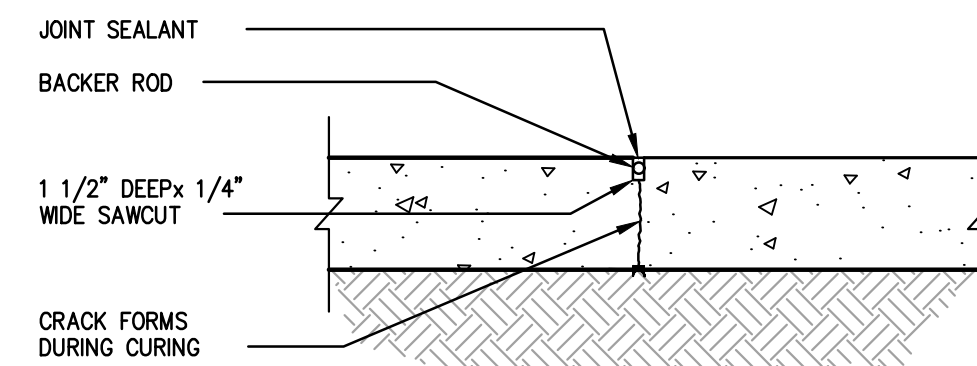
NOTES:

1. PROVIDE CONTRACTION JOINTS @ 15' CC & EXPANSION JOINTS @ 75' CC
2. REFER TO GRADING PLAN FOR SPILL GUTTER

1 CONCRETE CURB & GUTTER
SD4 1" = 1'-0"



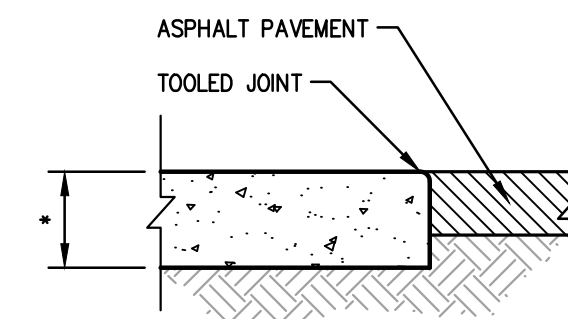
2 INTEGRAL CONCRETE CURB & GUTTER
SD4 1" = 1'-0"



3
SD4

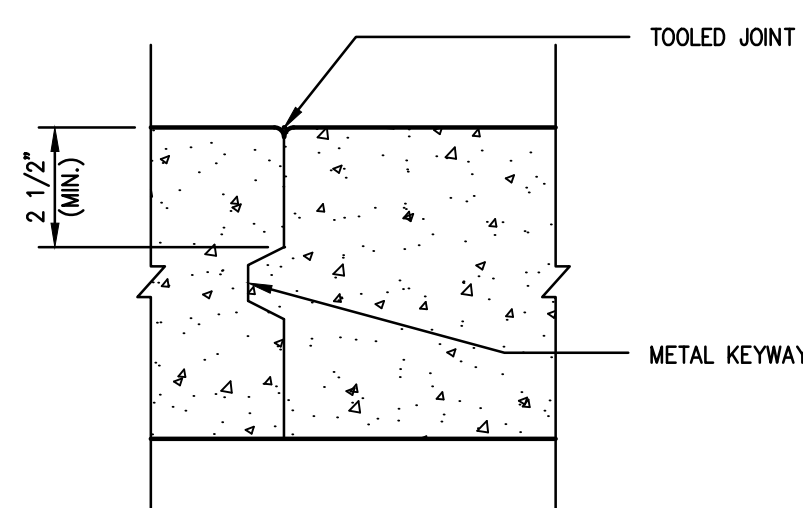
CONTRACTION JOINT

1" = 1'-0"

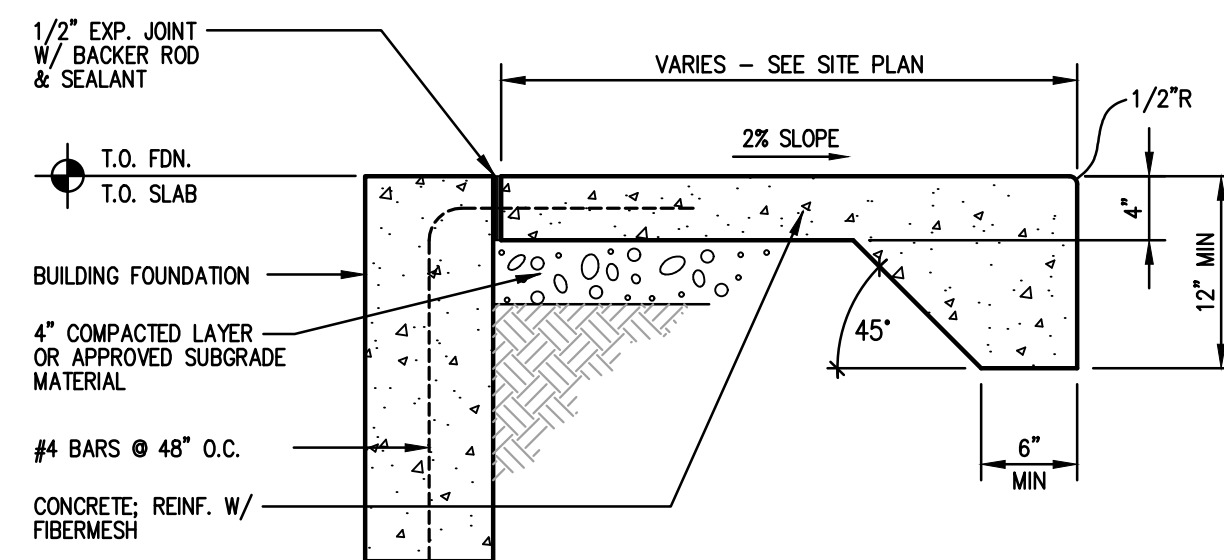


* SEE SITE PLAN

4 TERMINAL JOINT W/ ASPHALT PAVEMENT
SD4 1" = 1'-0"



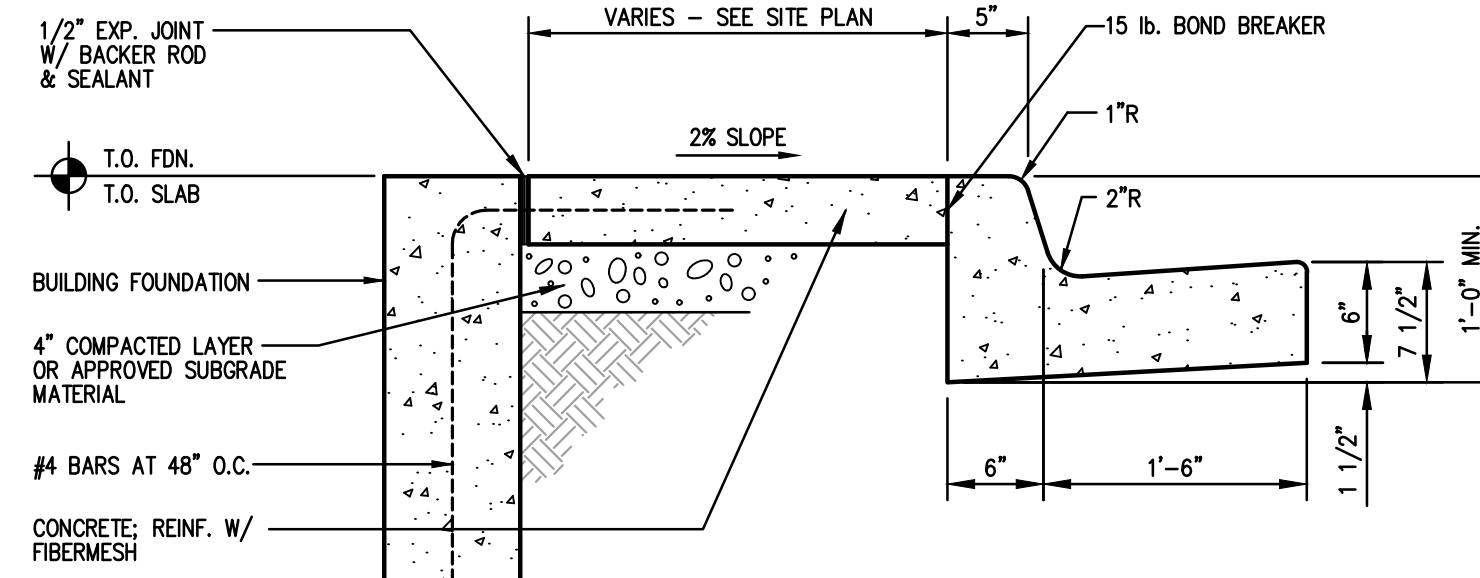
5 CONSTRUCTION JOINT
SD4 3" = 1'-0"



6
SD4

SIDEWALK AT BACK OF BUILDING

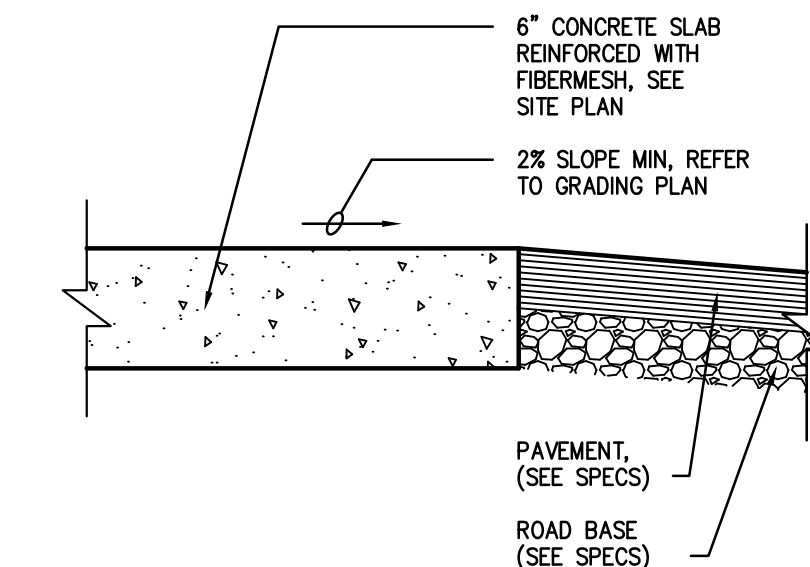
1" = 1'-0"



NOTES

1. PROVIDE CONTRACTION JOINTS AT 15' C.C. AND EXPANSION JOINTS AT 75' C.C.

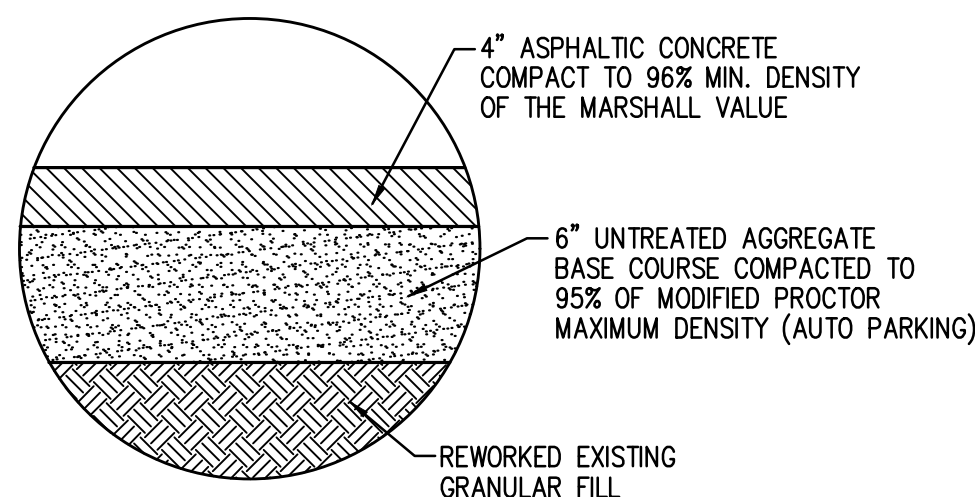
7 CONCRETE BUILDING WALK
SD4 1" = 1'-0"



NOTE

SLOPE PAVEMENT FOR PROPER DRAINAGE, SEE GRADING PLAN

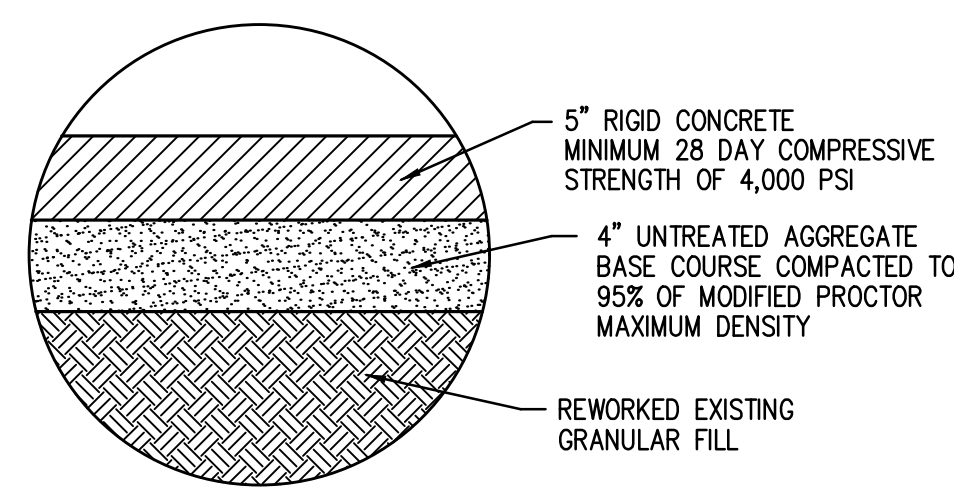
8 DRIVE THRU LANE DETAIL
SD4 1-1/2" = 1'-0"



NOTE:

SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

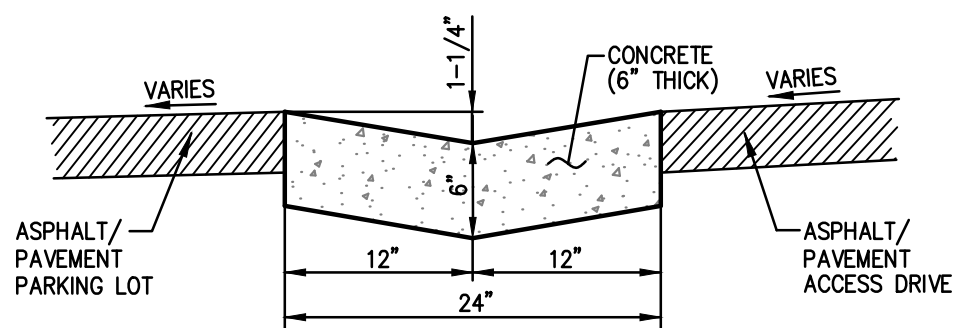
9 ASPHALT FLEXIBLE PAVEMENT SECTION
SD4 N.T.S. PER TERRACON DATED 04-23-23



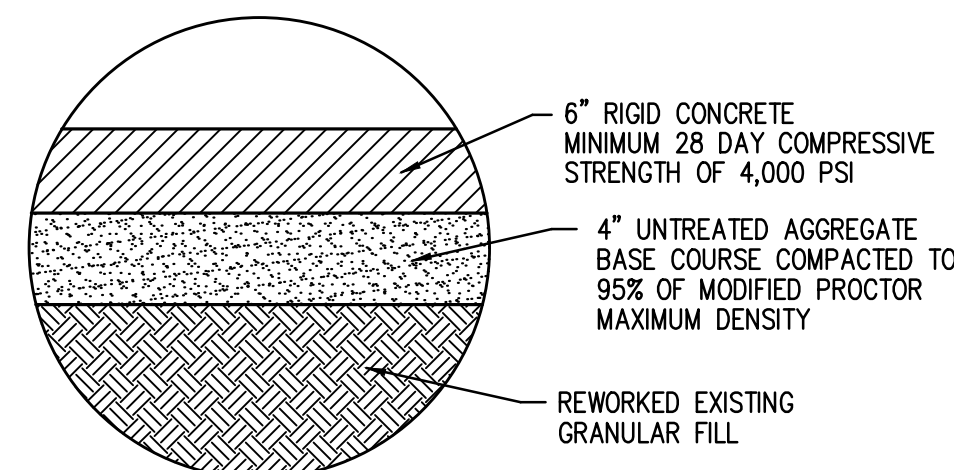
NOTE-

NOTE: SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

10 CONCRETE RIGID PAVEMENT SECTION
SD4 N.T.S. PER TERAQON DATED 04-23-23



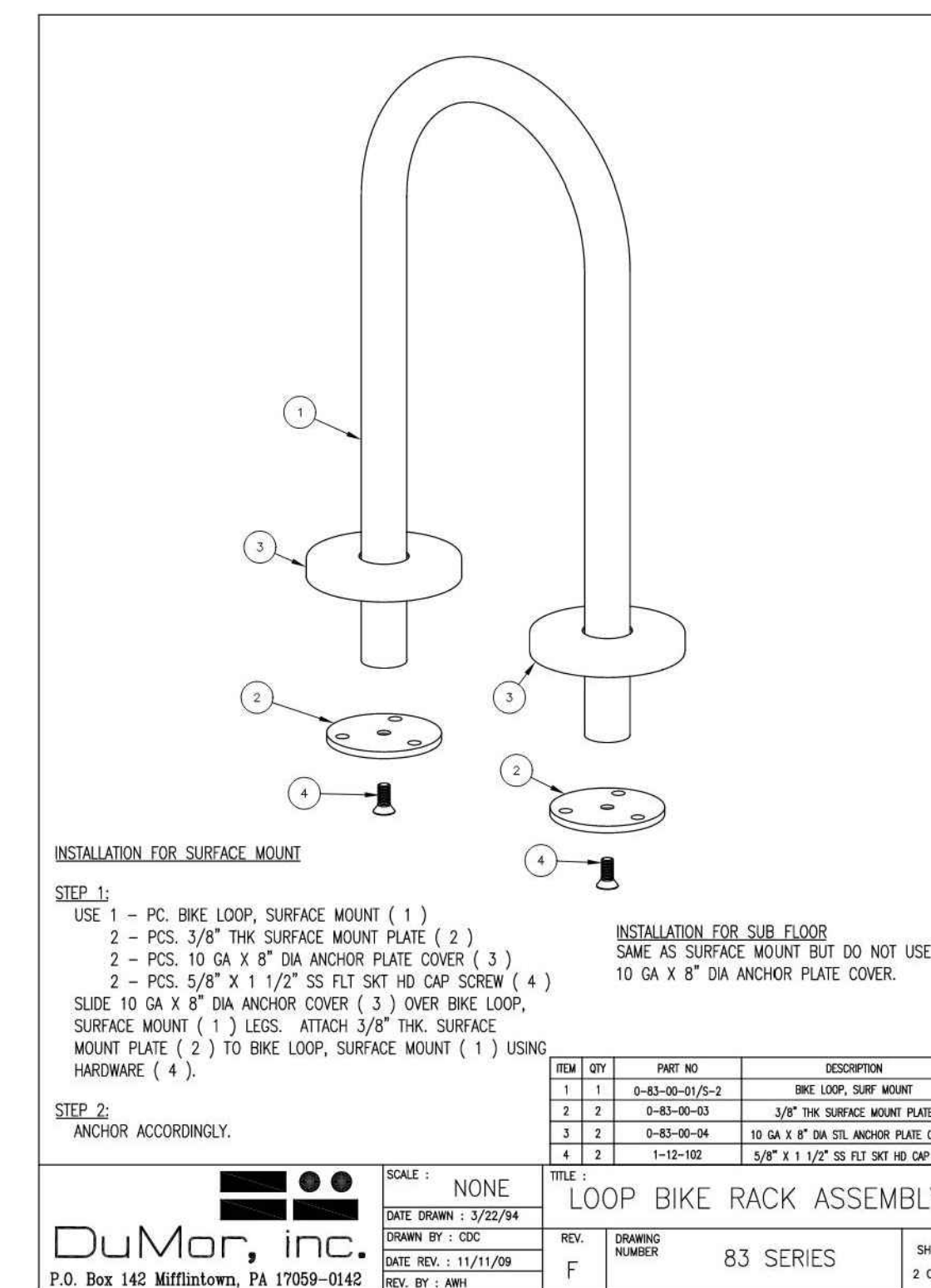
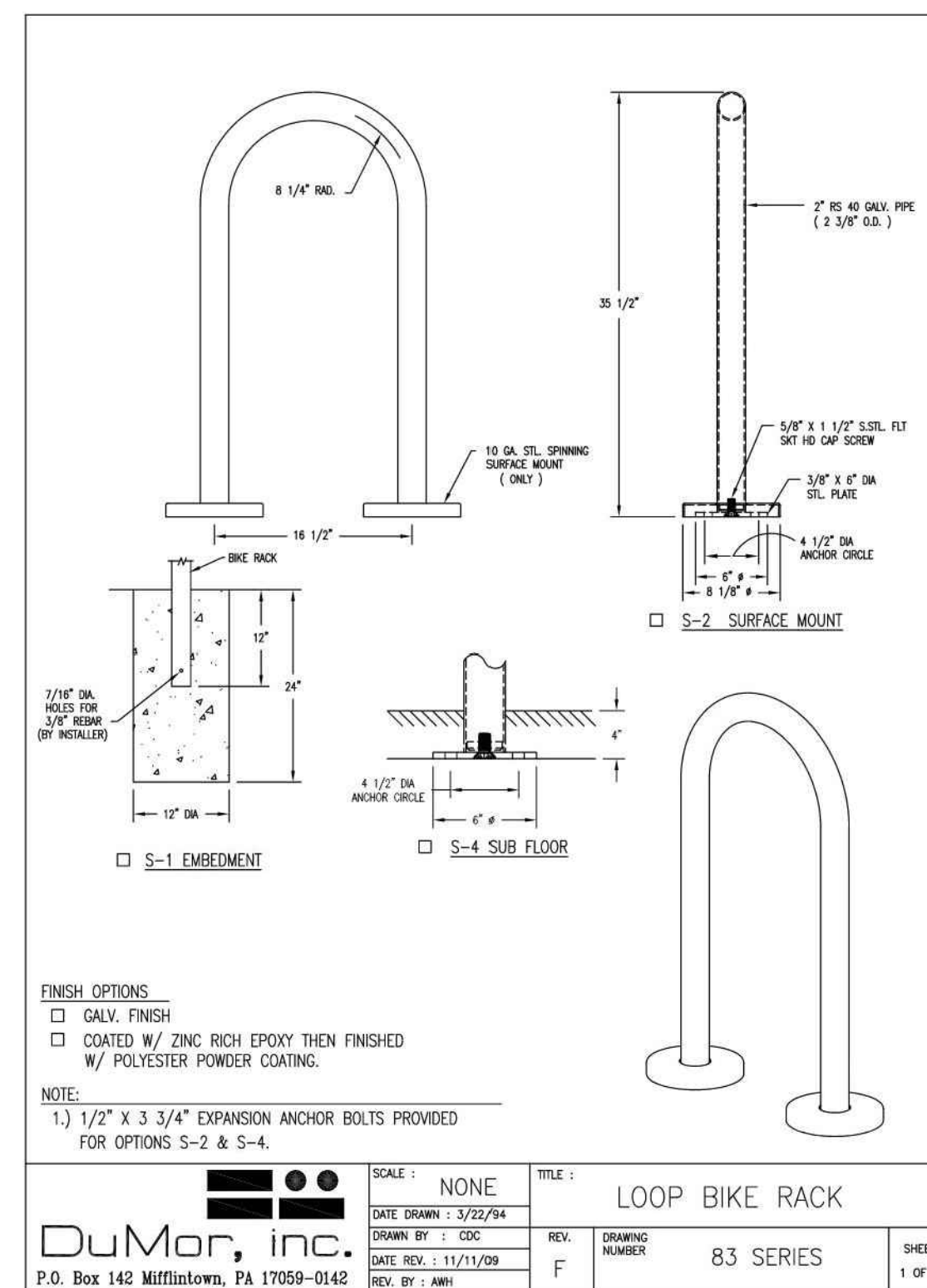
11 24" CONCRETE WATERWAY
SD4 1" = 1'-0"



NOTE-

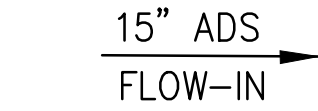
SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

12 DUMPSTER CONCRETE RIGID PAVEMENT SECTION
SD4 N.T.S. PER TERRACON DATED 04-23-23

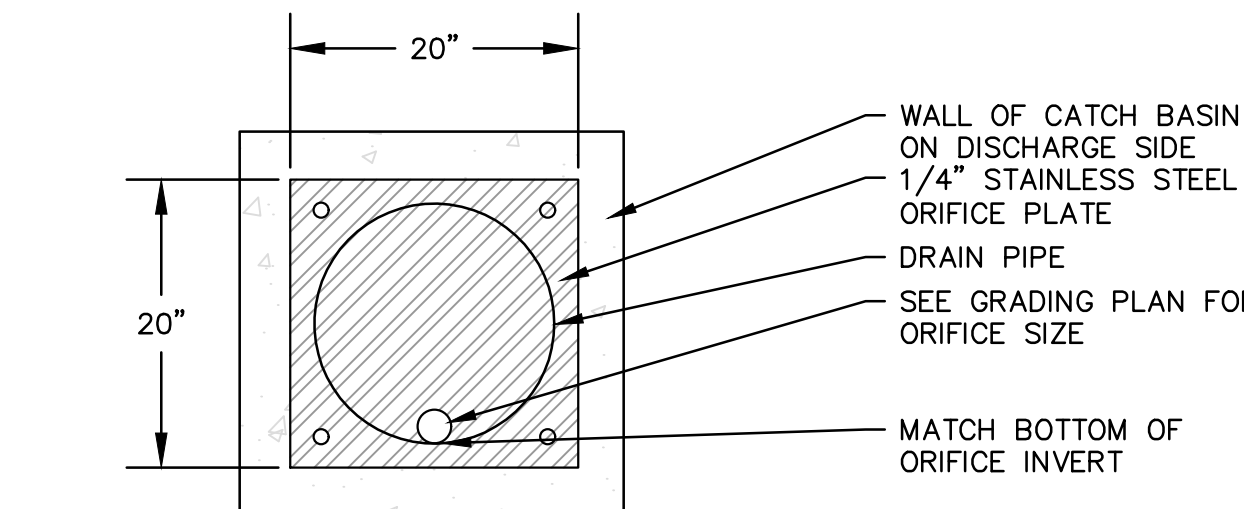




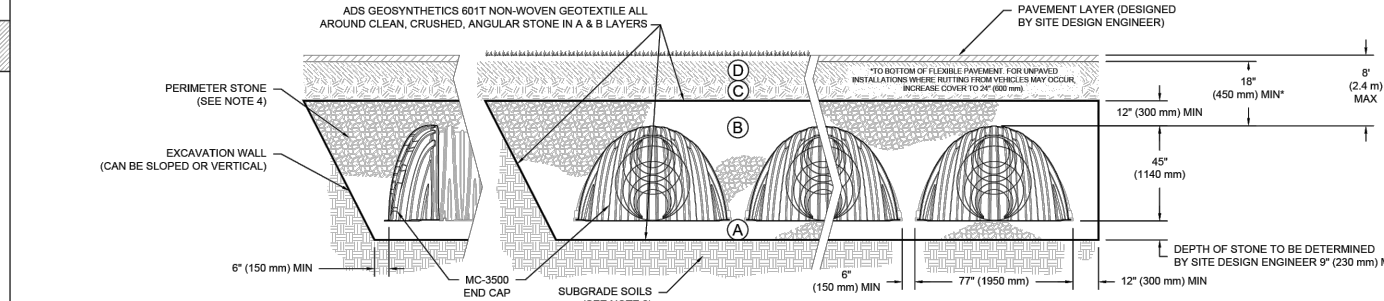
SCALE: 1"=1'-0"



A
SD-5



C
SD-5



SCALE: NTS

Land Use	%	C	Area (sf)
Roof	8	0.9	4736
Paved	65	0.9	37189
Landscaped	27	0.25	15243
		0.73	

SD-5

Q=CAsqrt(2gh)	Q	0.26	High water elev	52.62
	H	3.04	Invert Elev	49.58
			A=	0.031
	g	32.2	=	4.50
	C	0.6		
			Diameter =	2.4



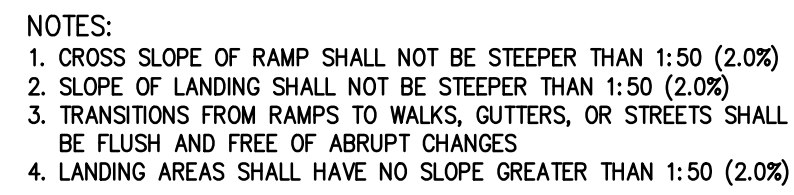




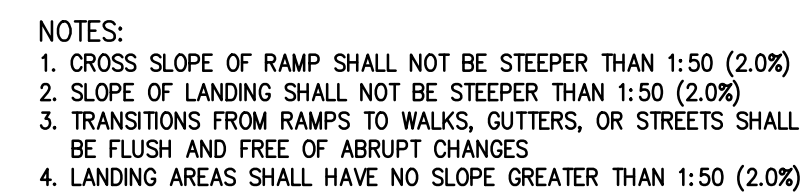
N.T.S.



N.T.S.

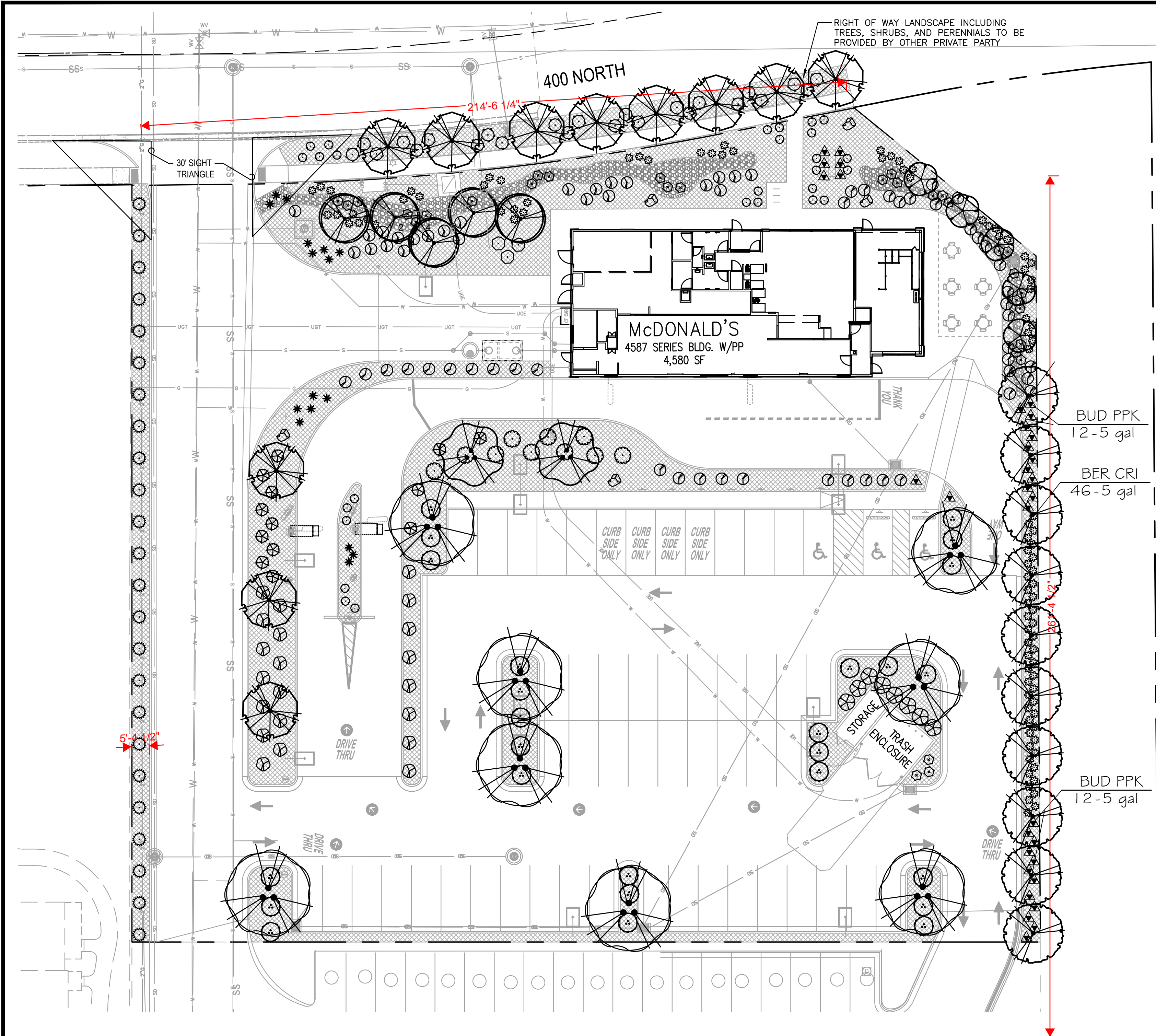


N.T.S.



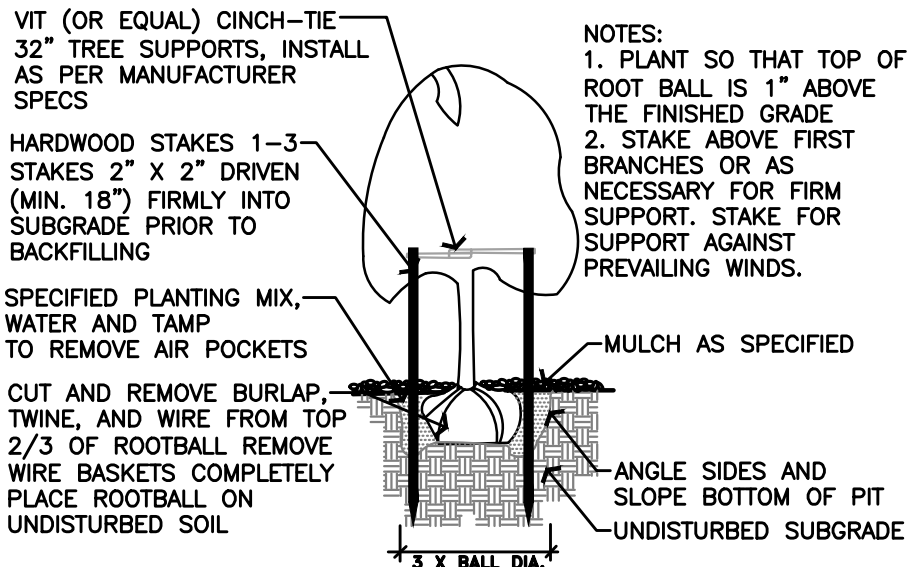
N.T.S.

SD-7



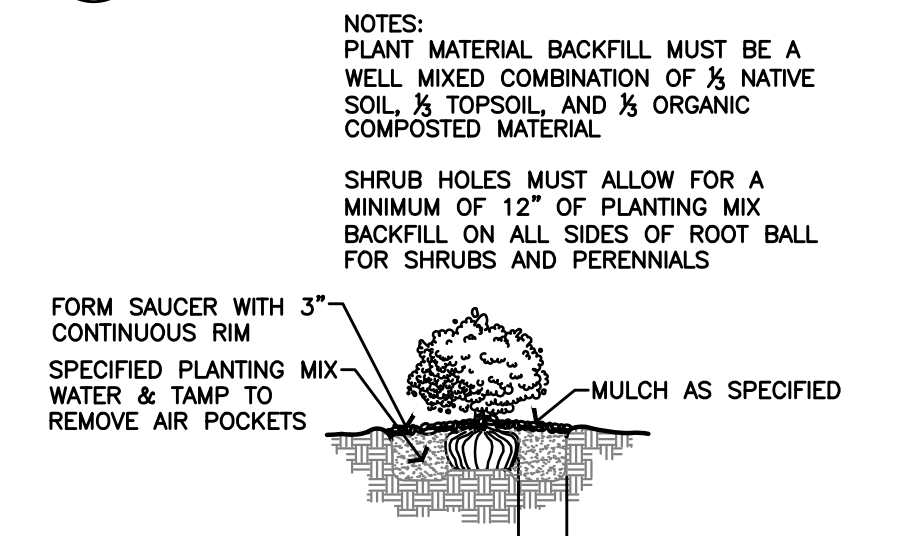
PLANTING NOTES:

- LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.
- CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.
- CONSTRUCTION CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.
- LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY, DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.
- PLANT MATERIAL EXCAVATION. CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF TWELVE (12) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.
- PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.
- PREPARE SUBGRADE SOIL BY APPLYING HERBICIDE PER MANUFACTURER RECOMMENDATIONS TO WEEDS IN ALL LANDSCAPE AREAS. REPEAT HERBICIDE APPLICATION AFTER THREE DAYS TO SURVIVING WEEDS. REPEAT AS NECESSARY UNTIL WEEDS HAVE BEEN CONTROLLED. AFTER WEEDS HAVE BEEN CONTROLLED TO A MINIMUM DEPTH OF 4". REMOVE STICKS, ROOTS, EXTRANEOUS MATTER, AND STONES LARGER THAN 3". SPREAD TOPSOIL AND AMENDMENTS AND THOROUGHLY BLEND TO A MINIMUM DEPTH OF 6". SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL ADDED AT A RATE OF THREE CUBIC YARDS PER 1000 SQUARE FEET. ALL SOD AREAS AND SHRUB AND PERENNIAL PLANTER AREAS SHALL HAVE THE SOIL AMENDED. INDIVIDUAL ISOLATED SHRUBS AND PERENNIALS SHALL HAVE THE AMENDED SOIL INSTALLED A MINIMUM OF 6" AROUND THE PERIMETER OF THE ROOTBALL DURING PLANT INSTALLATION. ORGANIC AMENDMENTS SHALL MEET THE "COMPOST QUALITY GUIDELINES FOR LANDSCAPING" BY ISAMAN, KOENIG, CERNY, USU EXTENSION 3 MARCH 2003.
- TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD. TOPSOIL SHALL BE SPREAD TO A DEPTH OF TWO INCHES (2") IN REVEGETATION AREAS AND FOUR INCHES (4") IN ALL SOD, SHRUB, OR PERENNIAL PLANTER BEDS AND PARKING LOT ISLANDS. THE FINISHED GRADE OF THE TOPSOIL SHALL BE SMOOTH WITH NO HUMPS OR DEPRESSIONS PRIOR TO SEEDING, SOD, OR PLANT INSTALLATION.
- SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAD IMMEDIATELY AFTER CUTTING. SOD MUST BE LAD WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAD SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIED SIZES PRIOR TO SUBMITTING A BID. LISTED QUANTITIES FOR MULCH AND SOD ARE PLAN VIEW QUANTITIES AND DO NOT ACCOUNT FOR ANY INCREASE IN MATERIAL NEEDED FOR SLOPES. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.
- FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE TREE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.
- TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.
- LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL, MOWING, AND IRRIGATION RUN TIME ADJUSTMENTS. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.
- ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD WILL REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER SPECIFICATIONS PRIOR TO WEED BARRIER AND MULCH PLACEMENT. MULCH TO BE APPLIED TO ALL PLANTING AREAS FOR SHRUBS, PERENNIALS, AND ANNUALS. MULCH FOR ANNUALS AND SPREADING PERENNIAL GROUND COVER SHALL BE A 3" LAYER OF SOIL PEP, WOOD, BARK, GRAVEL, OR COBBLE MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS AND PERENNIALS. SEE PLANS FOR MULCH TYPE IN LANDSCAPE AREAS. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM DEPTH NOTED ON THE PLAN. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAYMENT.
- SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2017 APWA "MANUAL OF STANDARD SPECIFICATIONS".
- SUBMITTALS OF ALL LANDSCAPE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. PROVIDER INFORMATION AND SAMPLES SHALL BE SUBMITTED OF ANY GRAVEL OR WOOD MULCHES. NURSERY STOCK SUBMITTAL SHALL INCLUDE PROVIDER INFORMATION WITH A LIST OF PLANT MATERIALS BEING PROVIDED BY THE NURSERY.
- ALL LANDSCAPE MATERIAL SHALL BE FULLY IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD). IRRIGATION DESIGN SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ROCKY MOUNTAIN POWER SHOULD BE CONTACTED REGARDING TREES PLANNED UNDER OR NEAR POWER LINES.



TREE PLANTING AND STAKING

SCALE: NTS



SHRUB PLANTING

SCALE: NTS

PLANT SCHEDULE

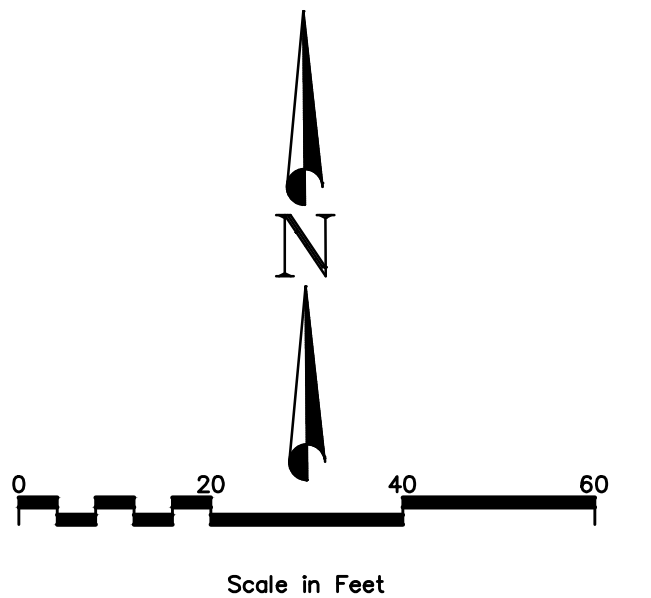
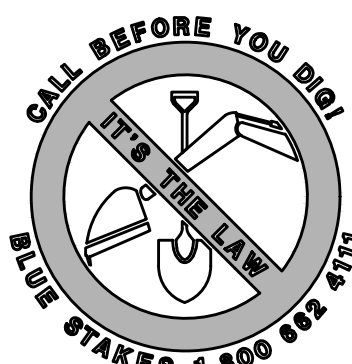
TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	CERCIS CANADENSIS / EASTERN REDBUD	B & B	2" CAL	5
	GLEDTISIA TRIACANTHOS 'SKYLINE' / 'SKYLINE' HONEY LOCUST	B & B	2" CAL	8
	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B	2" CAL	2
	MALUS X 'JFS KW213MX' / RASPBERRY SPEAR® CRABAPPLE	B & B	2" CAL	5
	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	2" CAL	11
	ZELKOVA SERRATA 'MUSASHINO' / MUSASHINO JAPANESE ZELKOVA	B & B	2" CAL	10
SHRUBS	BOTANICAL / COMMON NAME	CONT		
	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL		97
	BUDDLEIA X 'SMNBDPT' / PUGSTER PINK® BUTTERFLY BUSH	5 GAL		32
	CHAMAEBATIARIA MILLEFOLIUM / FERNBUSH	5 GAL		3
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL		8
	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	3 GAL		31
	PHILADELPHUS LEWISII 'PWY01S' / CHEYENNE® MOCKORANGE	5 GAL		24
	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'™ / LITTLE DEVIL™ DWARF NINEBARK	5 GAL		13
	POTENTILLA FRUTICOSA 'GOLD DROP' / GOLD DROP BUSH CINQUEFOIL	5 GAL		21
	PRUNUS BESSEYI / SAND CHERRY	5 GAL		10
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL		26
	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL		24
	SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIRAEA	5 GAL		67
ANNUALS/PERENNIALS	BOTANICAL / COMMON NAME	CONT		
	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL		27
	PENNISETUM ALOPECUROIDES 'HAEMELN' / HAEMELN DWARF FOUNTAIN GRASS	1 GAL		16
GRAVEL / ROCK				
	5	6-10 CF LANDSCAPE BOULDER		
	1,234 SF	4-6" ACCENT COBBLE PLACED 4-6" DEEP MINIMUM. COBBLE TO BE PLACED OVER DEWITT PRO5 WEED BARRIER (OR EQUAL). COLOR TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.		
	15,398 SF	3/4-1" ROCK MULCH PLACED 3" DEEP MINIMUM IN ALL PLANTER AREAS WHERE ACCENT COBBLE IS NOT INDICATED. ROCK MULCH TO BE PLACED OVER DEWITT PRO5 WEED BARRIER (OR EQUAL). COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT.		

CITY NOTES:

- HANGING LIMBS AND BRANCH GROWTH SHALL BE MAINTAINED 13 FEET ABOVE STREETS AND 8 FEET ABOVE SIDEWALKS.
- MAINTENANCE OF APPROVED LANDSCAPING SHALL CONSIST OF REGULAR AUTOMATIC WATERING, PRUNING, FERTILIZING, CLEARING OF DEBRIS AND WEEDS, THE REMOVAL AND REPLACEMENT OF DEAD PLANTS AND THE REPAIR AND REPLACEMENT OF IRRIGATION SYSTEMS AND INTEGRATED ARCHITECTURAL FEATURES.

LANDSCAPE SUMMARY:

PROVIDED SITE LANDSCAPE = 15,251 SF (22.8%)
PROVIDED SITE TREES = 18 TREES
REQUIRED R.O.W. TREES = 23 (458 LF / 20)
PROVIDED R.O.W. TREES = 23 TREES
REQUIRED SHRUBS = 229 (458 LF FRONTAGE /20 x 10)
PROVIDED SHRUBS = 229
PARKING LOT AREA = 21,408 SF
PROVIDED INTERNAL PARKING LOT LANDSCAPE = 2,119 SF (9.9%)



McDONALD'S SITE IMPROVEMENT PLANS
VINEYARD, UTAH

LANDSCAPE PLAN

DRAWN BY
STD ISSUE DATE

REVIEWED BY
DATE REVIEWED

DATE ISSUED

SHEET NO.
LS-1

SITE ID
043-0342 1391 GENEVA ROAD, VINEYARD, UTAH

STATE OF UTAH
DARRIN PERKES
No. 378428
7/25/21

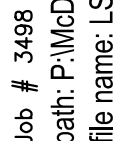
DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

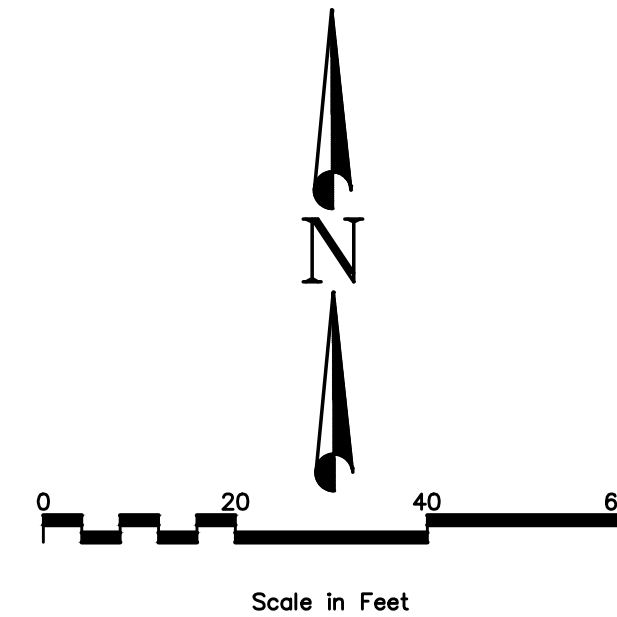
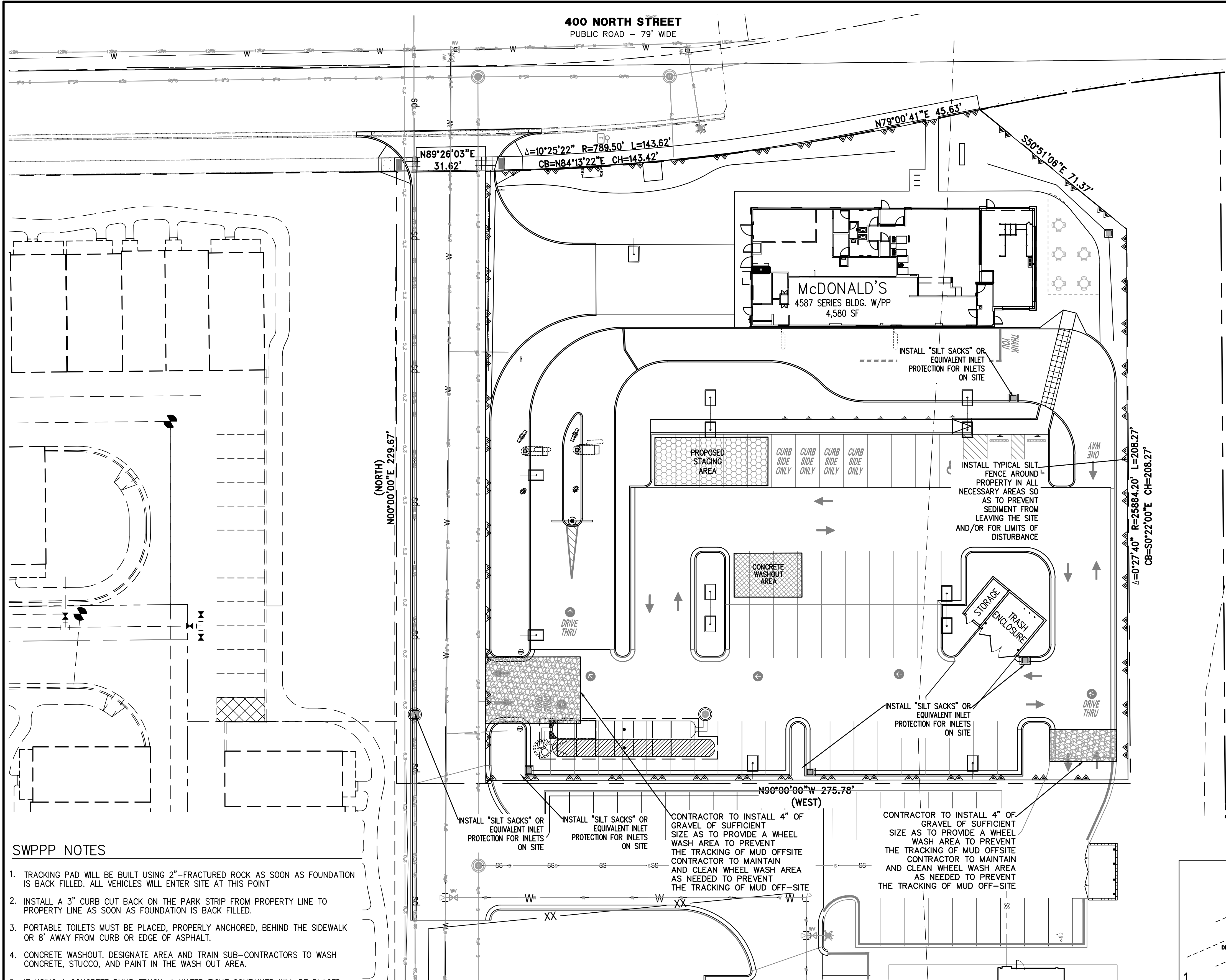
OFFICE ADDRESS
4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237

PREPARED FOR:
M CORPORATION

DESIGNER'S LICENSE
DARRIN PERKES
No. 378428
7/25/21
STATE OF UTAH

STATE OF UTAH
DARRIN PERKES
No. 378428
7/25/21





DEFINITION: A TEMPORARY SEDIMENT BARRIER CONSISTING OF FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS AND ENTRENCHED.

PURPOSE: TO FILTER STORM WATER RUNOFF FROM UPGRADIENT DISTURBED AREA AND TRAP SEDIMENT ON SITE.

APPLICATION:

- PERIMETER CONTROL: PLACE FENCE AT DOWNGRADIENT LIMITS OF DISTURBANCE
- SEDIMENT BARRIER: PLACE FENCE AT TOE OF SLOPE OR SOIL STOCKPILE
- PROTECTION OF EXISTING WATERWAYS: PLACE FENCE AT TOP OF STREAM BANK
- INLET PROTECTION: PLACE FENCE SURROUNDING CATCHBASINS

LIMITATIONS:

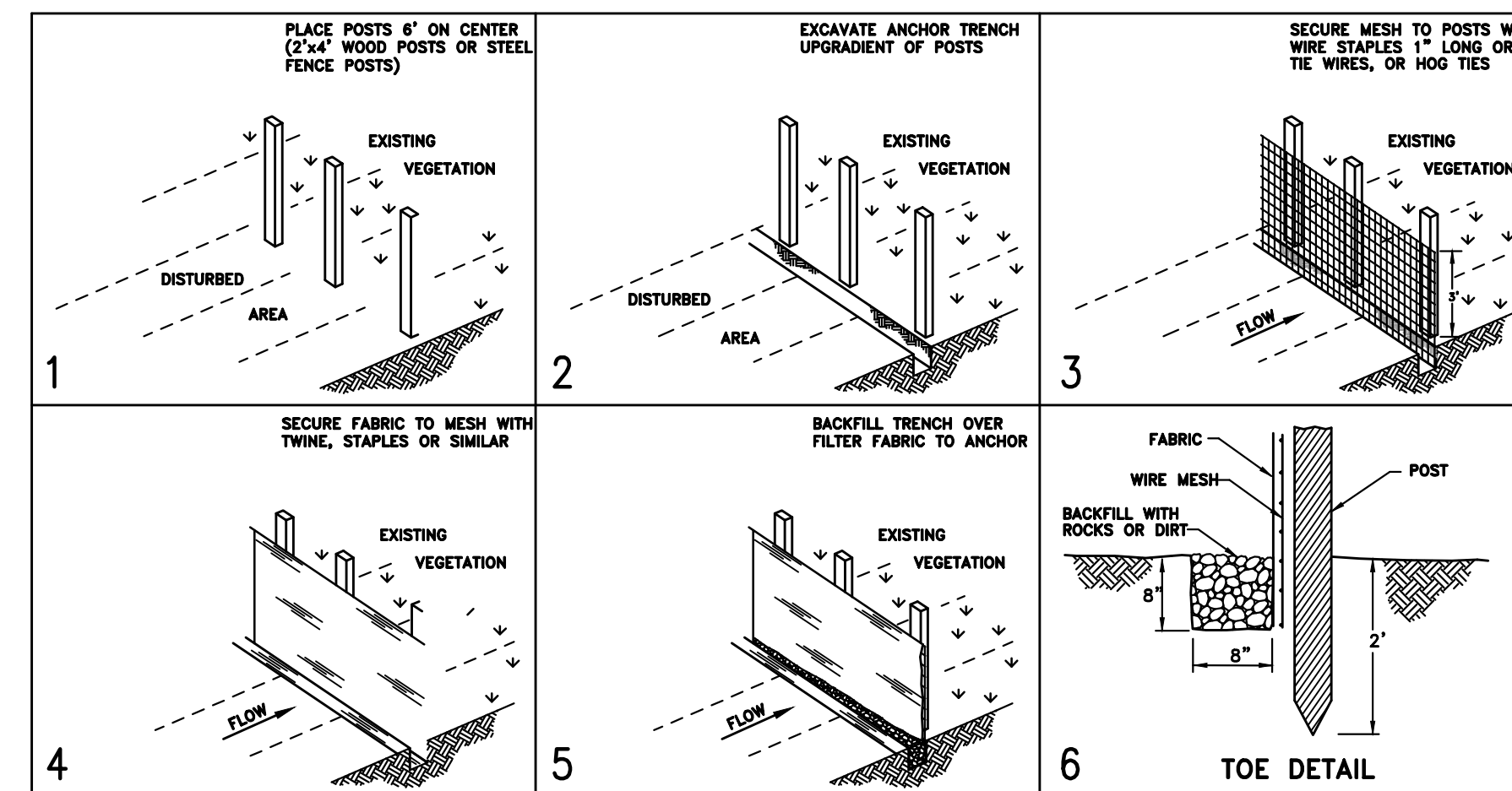
- RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE
- RECOMMENDED MAXIMUM UPGRADIENT SLOPE LENGTH OF 150 FEET
- RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%)
- RECOMMENDED MAXIMUM FLOW RATE OF 0.5 cfs
- PONDING SHOULD NOT BE ALLOWED BEHIND FENCE

INSTALLATION:

- PLACE POSTS 6 FOOT ON CENTER ALONG CONTOUR (OR USE PREASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
- SECURE WIRE MESH (14 GAUGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY WIRE STAPLES 1 INCH LONG, TIE WIRES OR HOG RINGS.
- CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
- BACKFILL TRENCH OVER FILTER FABRIC TO ANCHOR.

MAINTENANCE:

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING FENCE.
- REPAIR OR REPLACE DAMAGED AREAS OF THE FENCE AND REMOVE ACCUMULATED SEDIMENT.
- REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.





GENERAL NOTES:

1. SITE IS WITHIN A DRINKING WATER PROTECTION ZONE DUE TO A CITY DRINKING WATER SOURCE IN CLOSE PROXIMITY. BEST MANAGEMENT PRACTICES SHOULD BE TAKEN TO PROTECT SOURCE. ANY SPILLS OR OCCURRENCES THAT COULD CONTAMINATE THE SOURCE SHOULD BE IMMEDIATELY REPORTED.
 2. CONTRACTOR IS TO FOLLOW STATE AND FEDERAL STORMWATER REGULATIONS AND PROVIDE BMPs TO PREVENT SEDIMENT AND POLLUTANTS FROM ENTERING DOWNSTREAM BODIES OF WATER.
- SEE SHEETS SP-1, SP-2

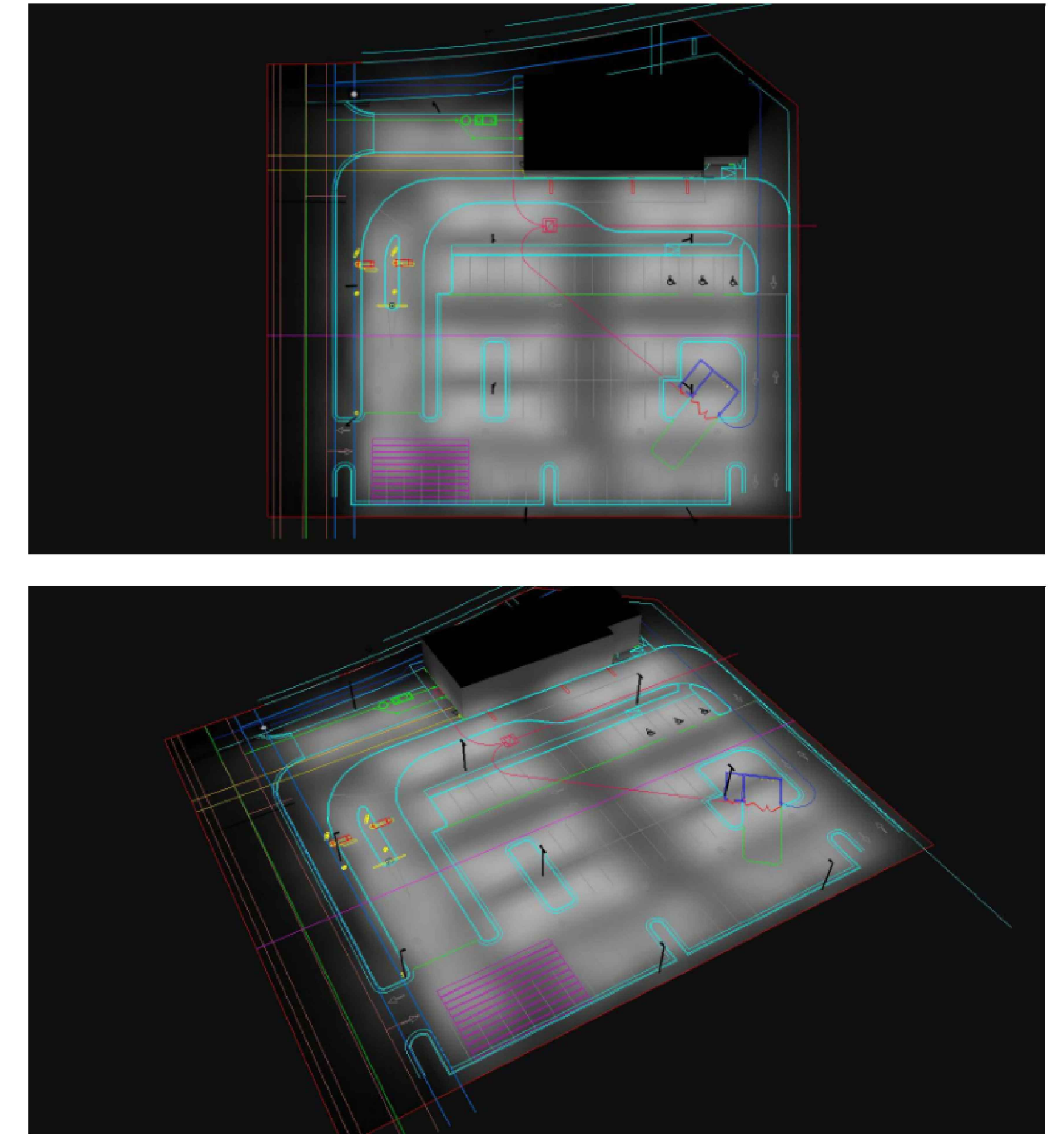


UTILITY NOTE

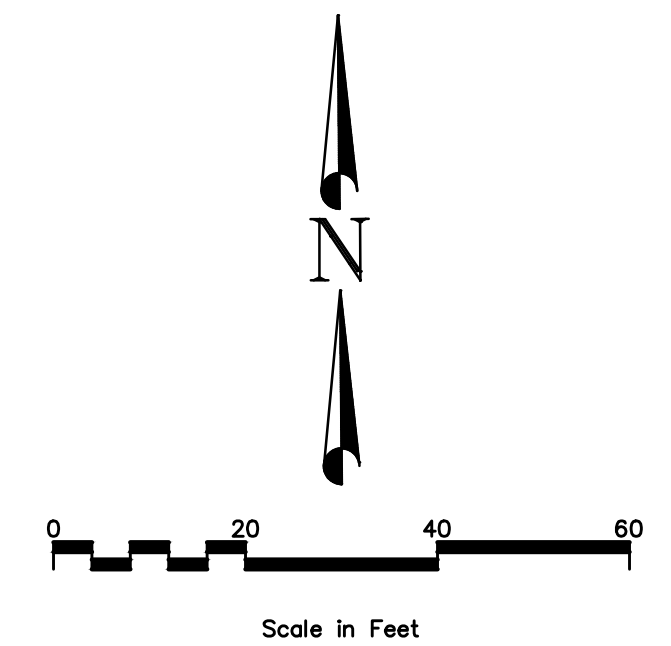
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED. ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

SHEET NO.	TITLE	DRAWN BY	PREPARED FOR	REGISTERED PROFESSIONAL ENGINEER				REV	DESCRIPTION							
	McDONALD'S SITE IMPROVEMENT PLANS			 McDONALD'S CORPORATION 1900 S. GARDEN BLVD., SUITE 200 MURRAY, UTAH 84123-6001		B	9/29/23			REV	DATE	9/29/23	REV	DESCRIPTION		
	DESCRIPTION	STD ISSUE DATE	REVIEWED BY												DATE REVIEWED	DATE ISSUED
	EROSION CONTROL PLAN															
NOTES: ALL DIMENSIONS ARE TO BE SHOWN TO THE CENTERLINE OF THE ROAD OR RAILROAD. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. THE CENTERLINE OF THE ROAD OR RAILROAD SHALL BE THE CENTERLINE OF THE RIGHT-OF-WAY. 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1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
2. DISTANCE BETWEEN READINGS 10.0'
3. FINAL ADJUSTMENTS TO AIMING ANGLE/ DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.



1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.





SECURITY
LIGHTING™

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

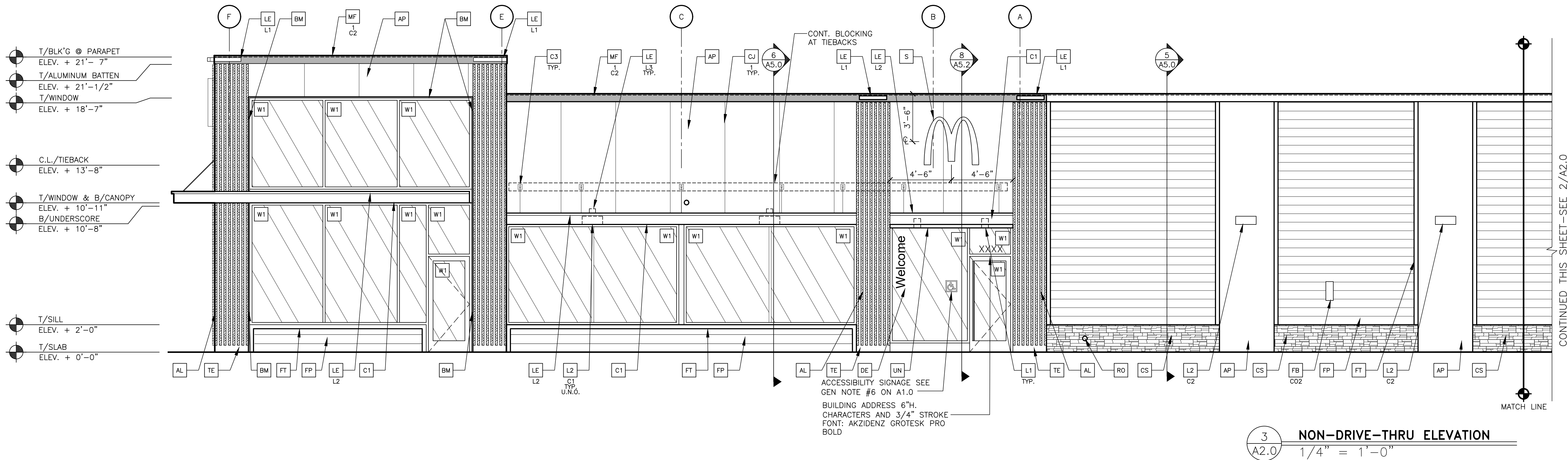
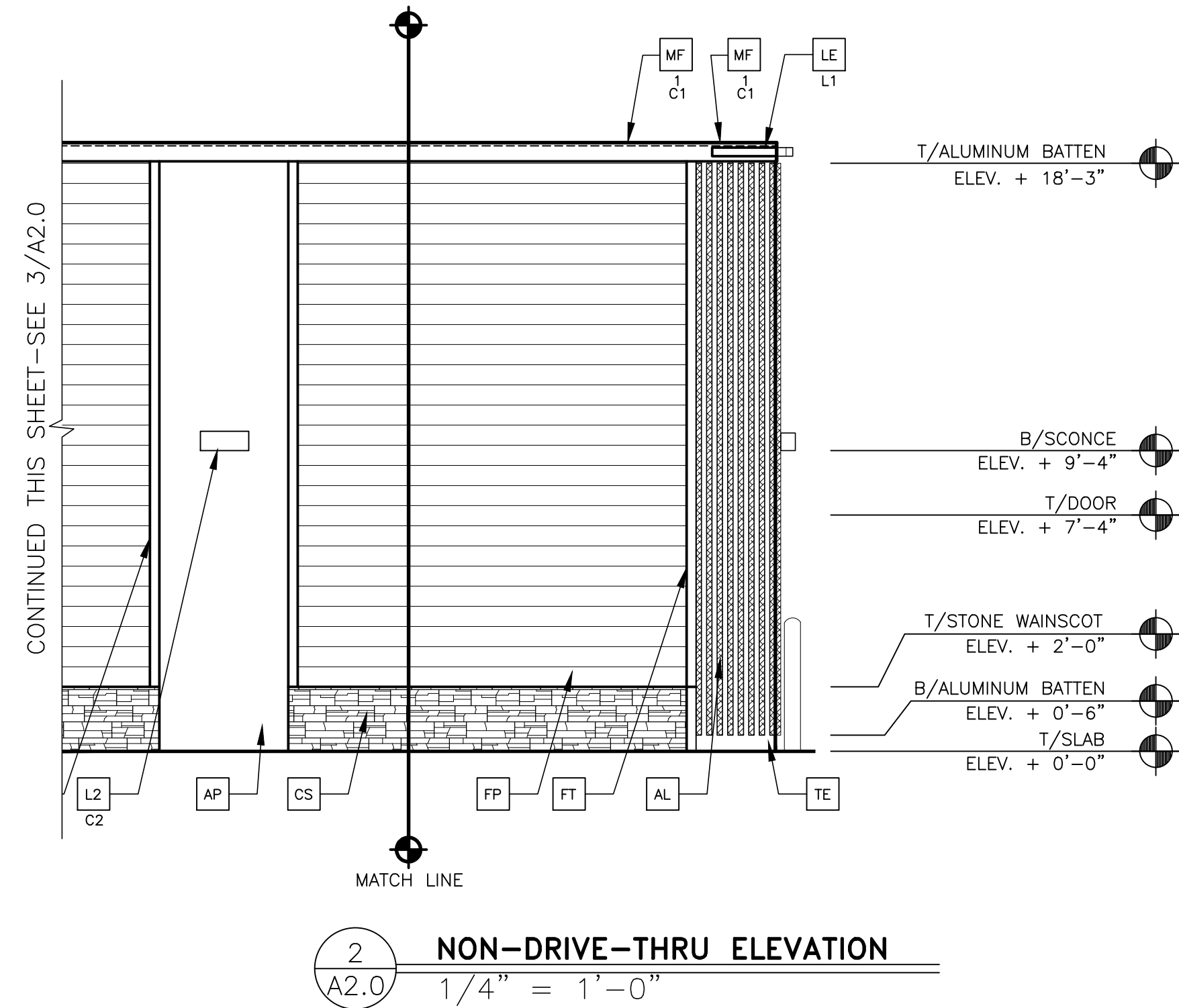
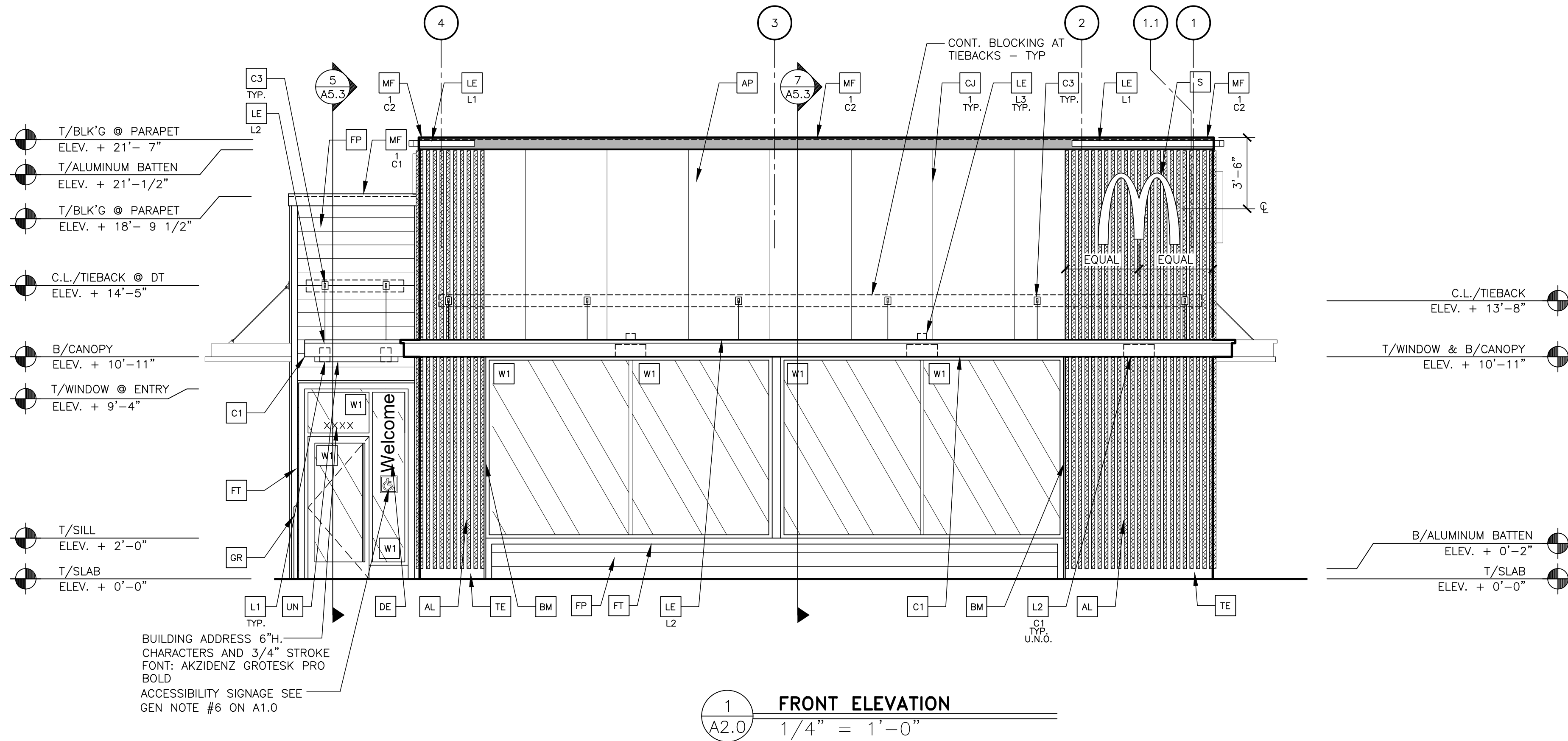
SCALE 1" = 20' 0"

DRAWN BY VS

NATIONAL STORE NUMBER		40430
DATE	DRAWING NUMBER	
6/7/2022	EX50222-REV1. AGI	

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
	5	EB	Single	0.900	1-RAR-2-320L-165-3K7-4W-BC	154.2	0.607	20	SES-17-40-1-TA-GL-xx (4")
	4	DB2@180	Back-Back	0.900	2-RAR-2-480L-240-3K7-4W-BC	226.9	0.607	20	SES-17-40-1-TA-GL-xx (4")

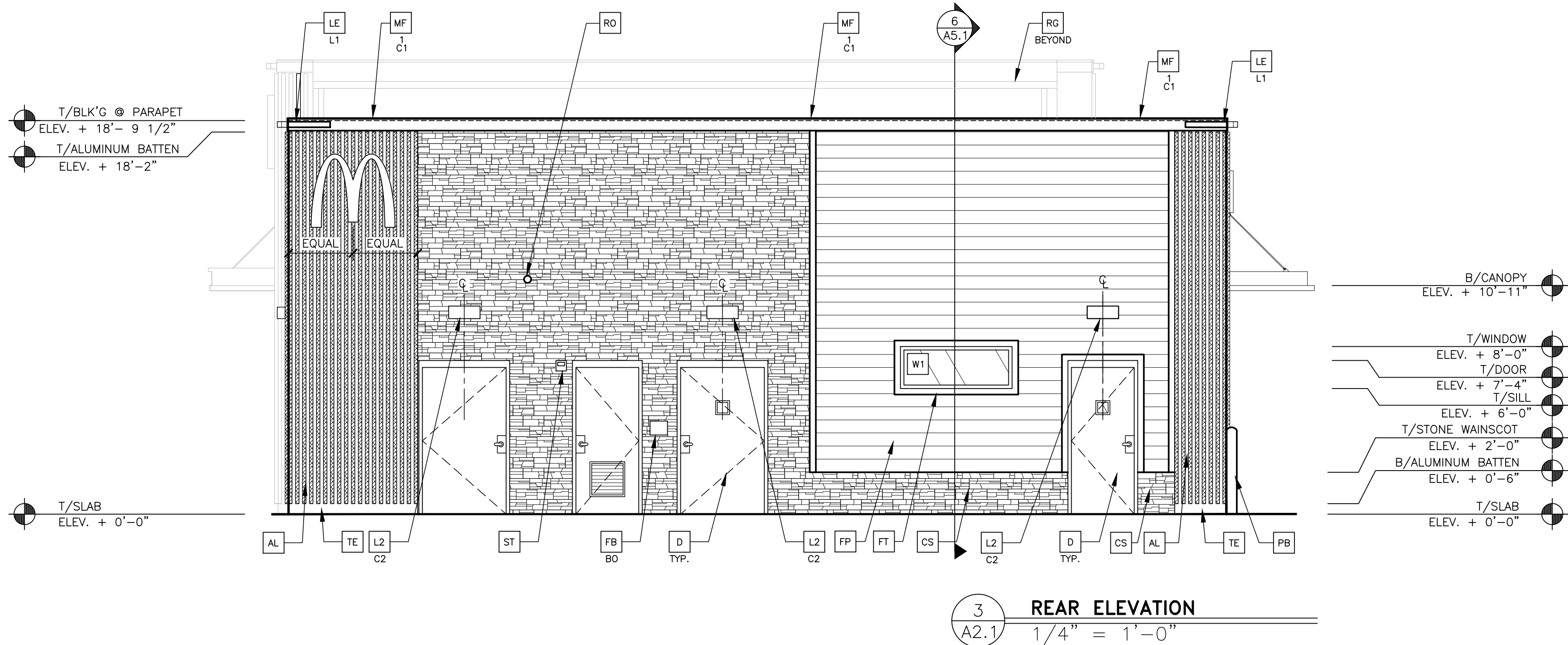
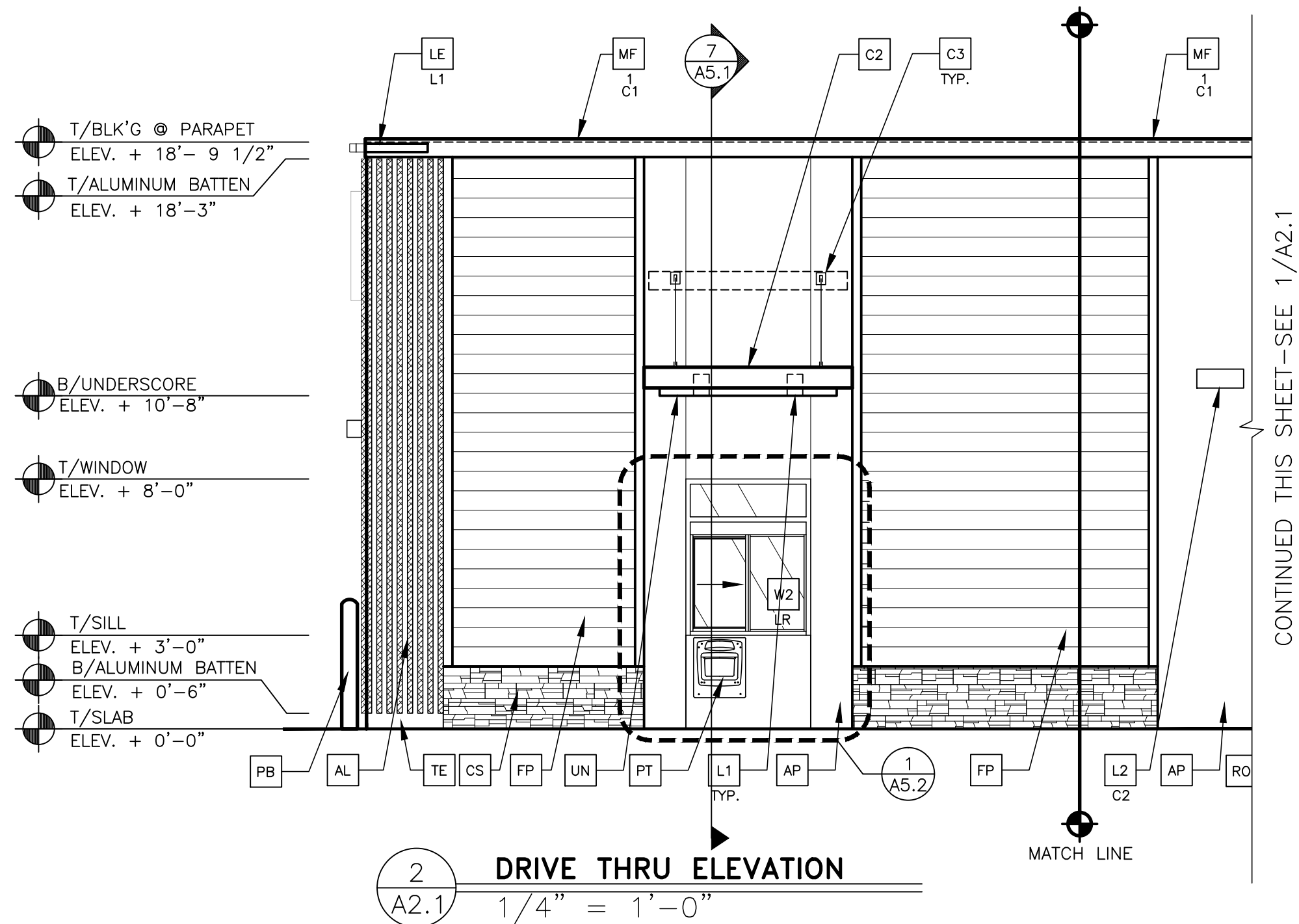
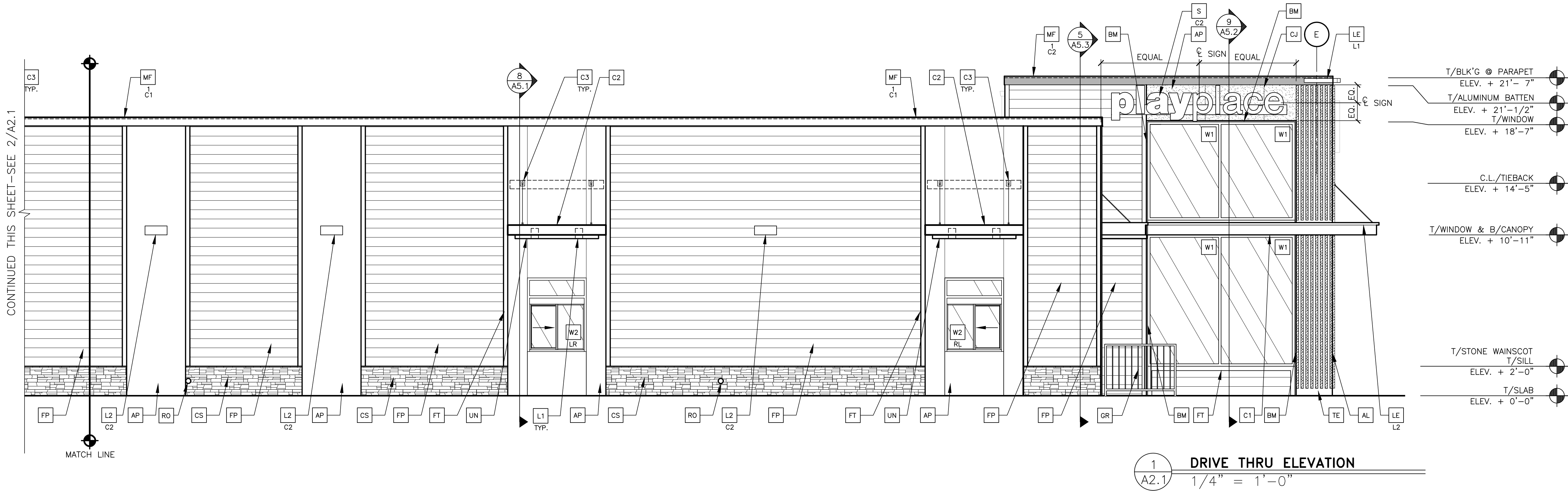
LIGHTS ARE FULL CUTOFF (ZERO LIGHT ABOVE 90')
CALCULATION GRIDS ARE AT GRADE (Z = 0)
THIS LAYOUT MEETS IES RECOMMENDATIONS FOR
PARKING LOT LIGHTING.



KEY NOTES:

- AL** ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH
SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP** ALPOLIC METAL PANEL (COLOR: DON GRAY)
- C1** ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2** ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3** ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS,
WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
SEE DETAIL 3/A5.0
- CS** CULTURED STONE BY BORAL
PRODUCT: HEWN STONE
COLOR - SPAN
- CJ** CONTROL JOINT
1-TYPE: 1 = ALPOLIC
HOLLOW METAL DOOR
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE** DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ** EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB** CO2 - CO2 = BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.03)
BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18)
- FP** FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY
JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ5
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- FT** FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH, 1
5/8" AND 3 1/2" WIDTH, 3/4" THICK, HZ5
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- GR** GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1** RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2** RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1= WHITE
C2= PLATINUM SILVER
- LE** ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF** METAL FASCIA
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB** PIPE BOLLARD - PAINTED YELLOW
- PT** (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER
- RO** ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY
- ST** CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS
FOR SPECIFICATION.
- TE** TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN** METAL UNDERSCORE
COLOR: GOLD
- W1** EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2** DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
XX OPEN: ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

TITILE		2019 STANDARD BUILDING	4587-PP-WOOD/WOOD	043-0342.00.0	ELEVATIONS
DRAWN BY		B.ABDALLA	STD ISSUE DATE	2023_06	REVIEWED BY
DATE ISSUED		07/05/23	DATE ISSUED	07/05/23	C.S.G. PROJECT #
SITE ADDRESS		391 GENIEVA RD	VINEYARD, UT 84059	043-0342	BY
DESCRIPTION		WOOD BEARING WALLS	WOOD ROOF TRUSS FRAMING	ALPOLIC/BATTEN/HARDIE BOARD EXTERIOR FINISH	REV
DATE		07/05/23	DATE	07/05/23	DATE
DESCRIPTION		043-0342	DESCRIPTION	043-0342	DESCRIPTION
BY		BY	BY	BY	BY



KEY NOTES:

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SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED
COARSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
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- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
SEE DETAIL 3/A5.0
- CS CULTURED STONE BY BORAL
PRODUCT: HEWN STONE
COLOR - SPAN
- CJ CONTROL JOINT
1-TYPE: 1 = ALPOLIC
HOLLOW METAL DOOR
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
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SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- FR FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, H25
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
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PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
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- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
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C1-COLOR:
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COLOR: DARK BRONZE
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XX OPEN; ELECTRONIC RELEASE
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Front Elevation



Rear Elevation

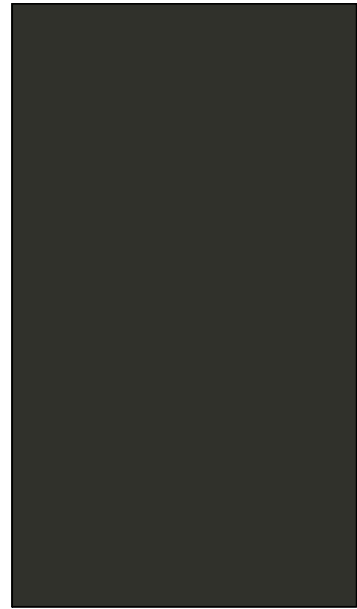


Non-Drive-Thru Side Elevation

Materials Legend	
	Fiber Cement Lap Siding - Hardie-Board Plank "Gauntlet Grey" SW7019 by Sherwin Williams
	Stone Wainscot (Wall Accent) "Span" Cultured Stone by Boral - Hewn Stone
	Aluminum Battens Wood grain
	Aluminum Canopy (Prefinished Metal) "White"
	Aluminum Underscore (Prefinished) "Gold"
	Aluminum Trellis (Prefinished) "RAL 7022"
	Glazing (Windows & Storefront) 1" Insulated Clear Glass
	Storefront Mullions "Deep Bronze"
	Apolitic Metal Panel "RAL 7022"
	Metal Coping "Weathered Zinc"
	Service Doors & Frames "Gauntlet Grey" SW7019 by Sherwin Williams



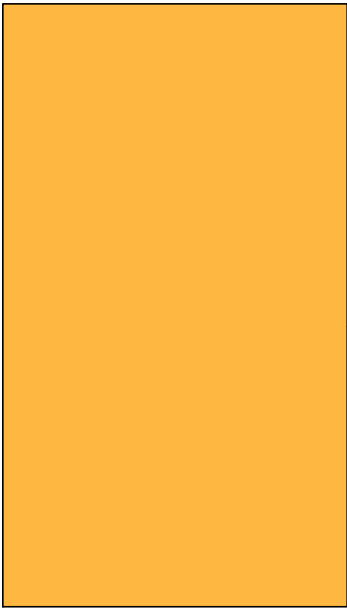
Drive-Thru Side Elevation



ALUMINUM COMPOSITE MATERIAL
PRE-FINISHED ALPOLIC
"RAL 7022"



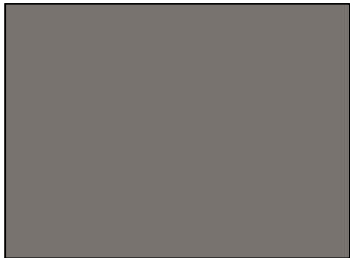
ALUMINUM CANOPY
(PRE-FINISHED METAL)
WHITE



ALUMINUM UNDERScore
PRE-FINISHED METAL
"GOLD PANTONE 123"



FIBER CEMENT SIDING
BY JAMES HARDIE
"SMOOTH" PROFILE
SW7019 GAUNTLET GRAY



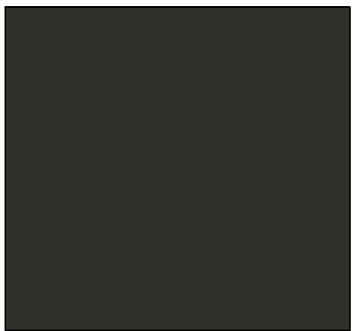
PAINT
(SERVICE DOORS)
SHERWIN WILLIAMS 7019
"GAUNTLET GRAY"



CULTURED STONE
BY BORAL
HEWN STONE
"SPAN"



METAL COPING
METAL ERA
"WEATHERED ZINC"



ALUMINUM TRELLIS
(ABOVE DRIVE-THRU WINDOWS)
PRE-FINISHED METAL
"RAL 7022"



BATTENS (ALUMINUM)
B&N INDUSTRIES
WOOD GRAIN



Non-Drive-Thru Side Elevation



MATERIAL SAMPLES BOARD
STEEL SCHEME
Proposed McDonald's Restaurant
391 N Geneva Road
Vineyard, UT

McDonald's USA, LLC



Vineyard Zoning Code Review			
Category	Standard	Staff Comments	Compliance
15.36.030.1 Subdivision and Project Features	All subdivisions and other projects shall include subdivision and project features that add visual interest and attractiveness to the subdivision or project area and the City. Such features may include subdivision and project entry features, public art pieces, streetscape designs, and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and useable parks and open spaces.	Working with X Development on a possible gateway entry feature. McDonalds has provided better pedestrian access and architectural design on the east and northern elevations as well.	Conditional
15.36.030.1.a Building Design	The City encourages creative and varied architectural forms reflecting its historic rural character. The goal is that all man-made structures blend harmoniously with the natural environment.		Yes
15.36.030.1.a.i View Protection	Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominate rooflines shall be avoided.		Yes
15.36.030.1.a.ii Building massing	In order to maximize the integration of all man-made structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for reducing the apparent size and bulk of proposed buildings and structures		Yes

15.36.030.1.a.ii.1 Coherent building design	All sides of a building may have a visual or other impact, and shall be coherently designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.		Yes
15.36.030.1.a.ii.2	Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.		Yes
15.36.030.1.a.iii Reduced roof mass	The roof of a building is often the single greatest contributor to its mass and most obvious obstacle to the views from adjacent properties. Visual impact is minimized when the roof is very shallow pitch, or a hip roof formation (sloping from the sides as well as the front and back) rather than a gabled formation (sloping from the front and back only)		Yes
15.36.030.1.a.iv Varying Roofline	Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form.		Yes

15.36.030.1.a.v Architectural details	<p>Surface details, ornaments, and other building elements that enrich the character of a building are encouraged. Attention to detail, including all building and architectural design elements shall be required. The following architectural details are desirable and encouraged:</p> <ul style="list-style-type: none"> - Stonework - Exposed beams and columns - Cornices, moldings, bands, pop-outs, decorative vents, cast or sculpted features - Covered entries, patios, walkways, breezeways, bays, and balconies - Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs - Accessories such as art features, benches, pots, lamps, artwork, and sculptures. 		Yes
15.36.030.2. Building Additions	Proposed additions to existing buildings shall incorporate the predominant architectural features, materials, and colors of the existing building		N/A
15.36.030.3 Accessory Buildings and Structures	Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure.		Yes

15.36.030.4 Mechanical Equipment	Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public rights-of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining properties. All building-mounted mechanical or communications equipment shall be a color to make it as unobtrusive as possible. If located on or adjacent to a building wall, the color of all mechanical and communications equipment shall blend with the color and design details of all the buildings.	Please label or provide the location of all mechanical equipment and screening methods	No
15.36.030.5.a. Building Location	All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.		Yes
15.36.030.5.b Building Location	All project and building plans shall provide for the integration of the existing, or planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.		Yes

15.36.030.5.c Building Location	All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable		Yes
15.36.030.5.d Building Location	All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	Building is located as north as the site allows which provides great pedestrian connectivity off of 400 N. and future Geneva Road expansion.	Yes
15.36.030.6 Pedestrian Scale	Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eye level.		Yes
15.36.030.7 Building Materials and Textures	Exterior building materials shall be similar to and compatible with those found in a rural setting. Restraint should be used in the number of different exterior building materials selected. Masonry, wood siding, board and batten, lap siding and exposed wood structural members are encouraged in natural colors or earth tone finishes.		Yes

15.36.030.8.a Building Material Color	All building materials and colors shall minimize the impact of buildings on the natural setting. All exterior buildings colors shall be subdued earth tones and muted colors that blend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main buildings.		Yes
15.36.030.8.a Building Finishes	High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down, spout, mechanical and electrical equipment, railings, window shading devices shall be similar in intensity of color to surrounding surfaces of the building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.		Yes

15.36.030.9 Subdivision and Site Design and Layout	All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable		Yes
15.36.030.9.a.i.	All buildings and structures shall be arranged to preserve and provide open space and to protect views. The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.		Yes
15.36.030.9.a.ii.	Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas existing, or planned to be located on adjacent properties.		Yes
15.36.030.10 Site Access	The location and number of access points to the site, the interior circulation pattern, and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience, and should be harmonious with proposed and neighboring buildings.		Yes

15.36.030.11 Noise Impact	Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts.	The boards are facing away from the nearby residential which should minimize impact.	
15.36.030.12 Views	Due to the community quality and character created by surrounding scenic beauty, it is essential that the Town and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake	The building should have no impact on the residential views.	Yes
15.36.030.13 Landscaping Design Standards	Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year-round site beautification, blend with the natural landscape and highlight building design features.	The site will no have turf. There is a good variety of shrubs, trees, and small rocks.	Yes
15.36.030.13.a Landscape Buffers	Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.	Landscaping is provided to screen the parking and drive thru from the nearby residential.	Yes

15.36.030.13.b Transitional Landscaped Areas	Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.		N/A
15.36.030.13.c Landscape Materials	All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant “xeriscape” landscaping is encouraged. Landscaping improvements may also include berming, contouring, rocks, and boulders.		Yes
15.36.030.13.d Plant Size, Spacing, and Scale	The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to any existing or proposed streetscape plantings. The size and space of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.		Yes
15.36.030.13.e Streetscape Landscape Treatments	All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other treatments and improvements, including consistency in street lighting, pedestrian lighting, public art and pedestrian and biking facilities and street furniture.		Yes

15.36.030.14 Wall, Fences, and Other Visual Barriers	Walls, fences, and barriers located adjacent to all public rights-of-way shall be constructed of long-lasting durable materials. Walls, fences, and barriers that create a continuous surface greater than 30 feet in length shall be softened visually with acceptable landscaping or other treatments. Berms, boulders, and vegetation masking are effective substitutes for walls and fences. Walls, fences, and barriers located to separate individual lots should be constructed of materials that are compatible with the residence.	No new walls or fences are being proposed.	Yes
15.36.030.15 Non-vegetative Ground Cover	Non-vegetative ground cover treatments may include rocks and small stones, granite, and bark. Areas of non-vegetative ground cover materials shall be broken and interspersed with plant materials.		Yes
15.36.030.16 Landscape Maintenance	All landscape plans shall demonstrate that long-term maintenance factors have been considered in the landscape design. For example, irrigation systems shall be designed to achieve low maintenance and efficient water consumption.		Yes
15.36.030.17 Site Light Standards	To protect views of the night sky, all outside shall be “down lighting” so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that no light is allowed to spill or trespass onto adjacent properties.		Yes

15.36.030.17. a.	Warming lighting colors are encouraged. Blue white colors or fluorescent and mercury vapor lamps are prohibited.		Yes
15.36.030.17. b.	All exterior lighting should be reduced to the minimum levels necessary for safety and security purposes. The use of motion sensors and timers is encouraged.		Yes
15.36.030.17. c. Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exits. All parking area lighting shall be integrated with landscape features. The height of pole-mounted fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.		Yes
17.36.030.18.a. Project, Site and Building Sign Standards	The placement and design of all allowed signs shall be found to be compatible with the development project and with the surrounding area. Signs shall be provided as an integral site and building design element and shall be compatible with the style of the buildings in terms of location, scale, color, and lettering style.		Yes
17.36.030.18.b	Signs should be located so they comply, at a minimum, with the clear view requirements, as provided herein		Yes

17.36.030.c	All sign materials shall be compatible with building materials and colors. The illumination of all signs shall be accomplished in a manner that focuses light on the sign and fully shields the light source.				Yes
Category	Standard			Staff Comments	Compliance
15.38.030.1.e Parking Stall Dimensions	Type	Width	Length		Yes
	Standard	9 ft	20 ft		
	Parallel	8 ft	24 ft		
	The front of the parking space may overhang 2 feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a 4 foot wide clearance for pedestrian access (a total of 6 feet from the curb face to the opposite edge of the walkway).				
15.38.030.1.f. Parking Aisle Dimensions	Angle	1way Aisle	2way Aisle		Yes
	90 deg.	24 ft	24 ft		
15.38.030.1.g. Parking Lots	Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.				Yes

15.38.030.1.h. Within Structures	The off street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street provisions of this Section		Yes
15.38.030.1.i. Circulation Between Bays.	Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except for one, two, or three-family dwellings.		Yes
15.38.030.1.j. Surfacing	All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust free surface. Such area shall not be considered as part of a required landscape area.		Yes
15.38.030.1.k. Striping	Except for one, two, and three-family dwellings, all parking stalls shall be marked with painted lines not less than 4" wide		Yes

15.38.030.1.l. Lighting	Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of 25 feet in height above the surface parking for non-residential uses and 16 feet for residential uses.		Yes
15.38.030.1.m. Protruding Vehicles	All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.		Yes
15.38.030.1.n. Screening	All off-street parking lots of 4 or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination there-of at 3 feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of 2.5 feet back from the edge of the parking stall.		Yes

<p>15.38.030.1.o.i. Parking Area Landscaping</p>	<p>5% of the gross parking surface area shall be of disperse interior landscaping, designed so as to reduce the “heat island” effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. Acceptable interior landscaping designs:</p> <ol style="list-style-type: none"> 1) 5’ by 5’ tree diamonds placed not more than 6 parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with 90 degree parking spaces. 2) Min. 5’ wide landscape medians with trees planted 40 feet apart 3) Min. 5’ wide landscape islands and peninsulas with at least 1 tree 4) Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission. 	<p>24,380 SF Parking 1,220 SF Landscaping required.</p> <p>1,620 SF provided</p>	<p>Yes</p>
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15.38.030.1.o.ii.	Parking areas should be buffered from adjacent residential property and screened from streets so automobiles are not visible below the average headlight height. Screen methods may include landscaped berms, low walls, and hedges	Wall and Landscaping provided on western lot line to provide buffer. Drive thru line faces north and east, limiting headlight visibility to the nearby residential.	Yes
15.38.030.1.o.iii.	Access drives, internal circulation drives, parking area, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.		Yes
15.38.030.1.o.iv.	In projects greater than 1 acre, every parking space should be no greater than 150 feet from a walkway leading to a building entrance.		Yes
15.38.030.1.o.v.	Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should related to adopted area plans, planned parking area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.		N/A

15.38.030.1.o.vi.	The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.		Yes
15.38.030.1.o.vii.	Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.		Yes
15.38.030.1.o.viii.	All sites shall be the requirements of the Americans with Disabilities Act ("ADA")		Yes
15.38.030.1.o.ix.	Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.	Cross access with the rest of the GRMU has been provided	Yes
15.38.030.1.o.x.	Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.		Yes
15.38.030.1.o.xi.	A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible.	Pedestrian traffic is designed to enter through the northern entrance off of 400 N.	Yes
15.38.030.1.p.i. Maintenance	It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.		Yes

15.38.030.1.p.ii. Maintenance	Shrubs within a landscape island shall be maintained to a maximum height of 3 feet and all trees at maturity within such planters shall maintain a minimum clearance of 6 feet from the lowest branch to the adjacent grade elevation.		Yes
15.38.030.1.q. Use of Required Parking Areas for Parking Only	Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.		Yes
15.38.030.1.r. Signs	No sign shall be located as to restrict the sight lines and orderly operation and traffic movement within any parking area.		Yes
15.38.030.1.s.i. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses	Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.		N/A
15.38.030.1.s.ii	Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.		N/A
15.38.030.1.s.iii.	Height of such structures shall be limited to 10 feet		N/A
15.38030.1.s.iv.	All canopies shall include a fascia		N/A
15.38.030.1.s.v.	Setbacks are measured from property line to nearest edge of canopy.		N/A
15.38.030.1.s.vi.	All required landscaping, parking or otherwise, shall be provided.		Yes

15.38.030.2.c. Off-street Parking Requirements Non-residential uses.	Restaurants: One (1) space per one hundred (100) sq.ft of floor area including outdoor seating	4587 sq.ft building 570 sq.ft outdoor 51 required parking 55 parking stalls provided.	Yes
15.38.030.2.d.i. Mixed Uses	In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of the requirements for the various uses computed separately.		N/A
15.38.030.2.d.ii. Mixed Uses	A horizontal mixed use development may reduce the amount of required parking by 10% if the project is a mixed use development that includes, as part of an integrated development plan, both residential and non-residential uses or by 25 if the property is within a ¼ mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a Registered Professional Engineer, to be approved through the development or site plan approval process.		N/A
15.38.030.2.e. Calculation Spaces	In case of fractional results in calculating parking requirements, the required numbers of the sum of the various uses shall be rounded up to the nearest whole number if the fraction is .5 or greater.		Yes

15.38.030.2.f. Joint Use Parking	Up to fifty percent (50%) of the parking facilities required by this Section for a religious institution, cultural center or an auditorium incidental to a public or parochial school may be supplied by the off-street parking facilities by the following daytime uses: banks, business offices, retail stores, personal service shops, household equipment or furniture shops, clothing or shoe repair or service shops, manufacturing, wholesale and similar uses.		N/A
15.38.030.2.f. Joint Use Parking	Other joint use of parking on adjacent commercial uses to reduce total parking spaces may be allowed with a parking study submittal by a licensed engineer with demonstrated experience conducting parking studies, to be reviewed by the Planning Commission. Following a recommendation by the Planning Commission, the City Council will make a decision to either deny the request, approve the request, or approve the request with conditions .as		N/A
15.38.030.2.f. Joint Use Parking	The City Council may use the parking study a basis for reducing the amount of onsite parking required for specific uses defined under the following nonresidential categories listed in table 15.38.030(2)(c): Eating & Drinking Establishments, Entertainment and Recreational Uses and Medical Uses.		N/A

15.38.030.2.f. Joint Use Parking	<p>Conditions Required for Joint Use</p> <p>The building or use for which application is being made to utilize the off-street parking facilities provided by another building or use shall be located within three hundred (300) feet of such parking facilities.</p> <p>The applicant shall show that there is no substantial conflict in the operating hours of the two buildings or uses for which joint use of off-street parking facilities is proposed.</p> <p>A properly drawn legal instrument, executed by the parties concerned for joint use of off-street parking facilities, duly approved as to form and manner of execution by the City Attorney shall be filed with the City Clerk and recorded with the County Recorder.</p>		N/A
15.38.030.2.g. Offsite Parking	Any off-site parking which is used to meet the requirements of this Section shall be regulated by this Ordinance and shall be subject to the conditions listed below:		N/A
15.38.030.2.g. Offsite Parking	Off-site parking shall be developed and maintained in compliance with all requirements and standards of this Section.		N/A

15.38.030.2.g. Offsite Parking	Reasonable access from off-site parking facilities to the use being served shall be provided.		N/A
15.38.030.2.g. Offsite Parking	The site used for meeting the off-site parking requirements of this Section shall be under the same ownership as the principal use being served, under public ownership, or shall have guaranteed permanent use by virtue of a perpetual lease filed with the City Clerk and County Recorder.		N/A
15.38.030.2.g. Offsite Parking	Offsite parking for multiple-family dwellings shall not be located more than two hundred (200) feet from any commonly used entrance of the principal use served, unless approved through the site plan approval process.		N/A
15.38.030.2.g. Offsite Parking	Off-site parking for non-residential uses shall not be located more than three hundred (300) feet from the primary entrance of the principal use being used, unless approved through the site plan approval process.		N/A
15.38.030.2.h.i Bicycle Parking	Minimum of 3 or 10% of required parking, whichever is greater. Not to exceed 30.	4 required stalls. 3 racks provided (6 stalls)	Yes
15.38.030.2.h.ii Bicycle Parking	Racks shall be of the inverted U design		Yes
15.38.030.2.h.ii Bicycle Parking	Racks shall be securely anchored		Yes
15.38.030.2.h.ii Bicycle Parking	Racks shall be located in a convenient, highly visible, active and well-lit area		Yes
15.38.030.2.h.ii Bicycle Parking	Racks may be located no more than 50 feet from the primary entrance of each building.		Yes

15.38.030.2.h.ii Bicycle Parking	Racks must provide two points of contact with the frame, a minimum of 6 inches apart horizontally. The racks high point should be at least 32 inches.		
15.38.030.2.h.ii Bicycle Parking	Racks should be arranged so that the parking area for each bicycle is a minimum of 2 feet wide and 6 feet long.		Yes
15.38.030.2.h.ii Bicycle Parking	Racks should have a minimum of 3 feet between rack elements	4ft provided	Yes
15.38.030.2.h.ii Bicycle Parking	A minimum of 5 ft of aisle width shall be provided between rows of bikes		N/A
15.38.030.2.h.ii Bicycle Parking	Where two bikes can be locked on both sides without conflict, each side can be counted as 1 required space.		Yes
15.38.040 Off-Street Loading Requirements	Unless otherwise specified in this Ordinance, loading spaces or berths shall be at least forty-five (45) feet in length and all loading berths shall be at least twelve (12) feet in width and fourteen (14) feet in height, exclusive of aisle and maneuvering space and required parking space.		Yes
	Loading berths of thirty (30) feet by ten (10) feet for office use, motels and hotels, restaurants, day care centers, long term care facilities, and other similar facilities may be provided for all or part of the required loading berths if approved through the site plan approval process.		Yes

	Such space may occupy all or any part of any required yard space, except front and corner side yards, and shall not be located closer than fifty (50) feet to any residential zoning district unless screened by a masonry wall not less than ten (10) feet in height. Loading spaces located in side yards shall not be visible from a public street.		Yes
	Sufficient room for turning and maneuvering vehicles shall be provided on the site so that vehicles shall cross a property line only by driving forward.		Yes
	Each loading berth shall be accessible from a street, alley or from an aisle or drive connecting with a street or alley, without traversing a residential district.		Yes
	The loading area, aisles, and access drives shall be paved so as to provide a durable dust-proof surface and shall be so graded and drained so as to dispose of surface water without damage to private or public properties, streets, or alleys.		Yes
	Bumper rails shall be provided at locations where needed for safety or to protect property.		N/A
	If the loading area is illuminated, lighting shall be deflected down and/or away from abutting residential sites so as to not cause any annoying glare.		Yes
	No regular repair work or servicing of vehicles shall be conducted in a loading area.		Yes

	Off-street loading facilities shall be located on the same site with the use for which the berths are required		N/A
	If more than one use is located on a site, the number of loading berths provided shall be equal to the sum of the requirements prescribed in this Section for each use. If more than one use is located on a site and the gross floor area of each use is less than the minimum for which loading berths are required but the aggregate gross floor area is greater than the minimum for which loading berths are required, off-street loading berths shall be provided as if the aggregate gross floor area were used for the use requiring the greatest number of loading berths		N/A
	Off-street loading facilities for a single use shall not be considered as providing required off-street facilities for any other use.		N/A
	At the time of initial occupancy, major alterations or enlargement of a site, or of completion of construction of a structure or of a major alteration or enlargement of a structure, there shall be provided off-street loading berth requirements. The number of loading berths provided for a major alteration or enlargement of a site or structure shall be in addition to the number existing prior to the alteration or enlargement.		Yes

	Space allocated to any off-street loading berth shall not be used to satisfy the space requirements for any off-street parking facility.		Yes
Number of Spaces Required	Unless otherwise provided in this Ordinance every office, hotel, restaurant, department store, freight terminal or railroad yard, hospital, industrial plant, manufacturing establishment, retail establishment, storage warehouse or wholesale establishments, and all other structures devoted to similar mercantile or industrial pursuits, which has an aggregate gross floor area of five thousand (5,000) square feet or more shall provide off-street truck loading or unloading berths in accordance with the following table:		Yes
Category	Standard	Staff Comments	

15.40.080.1.a. Landscape Improvements and Guarantees	All landscape improvements (landscape materials, irrigation system, screening walls et.) shall be installed and paid for by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner may approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed 6 months. In those instances where the City Planner approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the Town Planner.		Yes
15.40.080.1.b. Minimum Size of Plantings	Unless otherwise specified herein, all required deciduous trees shall be a minimum of 2-inch caliper in size. All evergreen trees shall be a minimum of 6 feet in height. All shrubs shall be a minimum of 5 gallon in size.		Yes
15.40.080.1.c. Plant Installation	Plants installed pursuant to this Chapter shall conform to installation standards within		Yes

	the approved Vineyard Tree Manual		
15.40.080.1.d. Plant Materials	Plants shall be drought tolerant and well-suited to the soil conditions at the project site. Plants with similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide water requirements for all plant material. Plant materials shall be chosen from the approved Vineyard Tree Manual.		Yes
15.40.080.1.e. Limitation on the Use of Turf.	Turf shall be limited to 60% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determine by the City Planner are subject to this limitation.	No turf is proposed	Yes
15.40.080.1.f. Natural Topping of Landscape Areas	All landscaped areas shall be finished with a natural topping material which may include but not limited to the following: turf, groundcover, planting, decorative rock (2 inches minimum depth and a minimum size of ½ inch), or wood mulch (4 inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth.		Yes
15.40.080.1.g. Irrigation Standards			
15.40.080.1.h. Separate Connection			
15.40.080.1.i. Soil Preparation			

15.40.080.1.j. Protection of Landscaped Areas	Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.		Yes
15.40.080.1.k. Use of Landscaped Areas	No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.		Yes
15.40.080.1.l. Detention Ponds			
15.40.080.2.a. Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than 5% of the net site area, whichever is greater.		N/A
15.40.080.2.b.	For all development within all other zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than 20% of the net site area. For the purposes of this section, landscape areas shall also include plazas.	22.8% of the site is landscaped	Yes

15.40.080.2.c.	All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the City Planner.		Yes
15.40.080.2.d.	The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.		Yes

15.40.080.3.a. Landscaped Buffers	A minimum 10 foot wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be used to satisfy the landscape area requirements of this Section.		Yes
15.40.080.3.b.	The landscape buffer areas shall be improved with a minimum of 1 screening tree spaced at each 15 foot interval of the property boundary being screened.		Yes
15.40.080.4. Parking Lot Landscaping	Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in this Section.		Yes
15.40.080.5. Building Foundations	For each elevation visible from a public or private street, a minimum of 5 foot foundation planting area shall be provided.		Yes

15.40.080.6.a. Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial: 25 Feet Collector: 20 Feet Local Streets: 15 feet		Yes
15.40.080.6.b. Street Frontages	The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows: Arterial: 20 feet Collector: 15 feet		N/A
15.40.080.6.c. Street Frontages	The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs.		Yes
15.40.080.6.d. Street Frontages	Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage landscaping shall be designed and located to enhance the proposed development project and the streetscape.		Yes

15.40.080.6.e. Street Frontages	The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than 1 tree and 10 shrubs for every 20 feet of street frontage. Or 1 tree and 10 shrubs for every 40 feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of 65% of the total street frontage landscaped area.		Yes
15.40.080.7. Cumulative Totals	Quantities of plants required by each of this Chapter which apply to that projected submitted to the town for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.		Yes

Drive Thru Standards Review			
Category	Standard	Staff Comments	Compliance
Drive Thru Aisles			
15.34.190.4.a	Drive-thru aisles shall have a minimum twelve-foot (12') width.		Yes
15.34.190.4.b	Drive-up windows and remote tellers shall provide at least one hundred eighty (180') feet of stacking space for each facility, as measured from the service window or unit to the entry point into the drive-up lane. Nonfood and/or non-beverage businesses may reduce the stacking space to a minimum of sixty feet (60').		Yes
15.34.190.4.c	Each drive-thru entrance shall be at least fifty feet (50') from any street access point.		Yes
15.34.190.4.d	Each drive-thru exit shall be at least twenty-five feet (25') from any street access point.		Yes
15.34.190.4.e	Each entrance to an aisle and the direction of traffic flow shall be clearly designated by signs and pavement markings.	Pavement arrows and directional signage is provided.	Yes
15.34.190.4.f	Each drive-thru aisle shall be separated from the circulation routes necessary for ingress or egress from the property, or access to a parking space.	Multiple means of ingress and egress are provided	Yes
15.34.190.4.g	Drive-thru aisles and exit lanes are only permitted on the side and rear of buildings except as provided for in Part 12 of this section.	400 North is considered the front of the building	Yes
15.34.190.4.h	Buildings with a drive-thru facility shall not contain parking or drive aisle between the front building facade and street right-of-way.		Yes
15.34.190.4.i	Buildings with a drive-thru shall contain a building entrance on the building side facing the front yard.		Yes
15.34.190.4.j	Buildings may contain exterior dining areas, gathering spaces and landscaping between the building's street-facing facade and the sidewalk.		N/A
15.34.190.4.k	Drive-thru facilities, including signage support pedestals, screening walls, canopies, and other architectural features, shall be designed with similar and compatible materials used throughout the exterior of the building.		Yes

Building Design			
15.34.190.5.a	Buildings shall be placed at or near the street frontage of the site.		Yes
15.34.190.5.b	Corner buildings shall be designed to address both streets directly.		Yes
15.34.190.5.c	Equivalent fenestration shall be utilized for all street facing sides.		Yes
15.34.190.5.d	A variety of appropriate building materials shall be utilized within an overall design concept for all building sides and components.		Yes
Landscaping of the Drive-Thru Aisle			
15.34.190.6.a	A five foot (5') wide planter between the drive-thru aisle and the parking area that includes shade trees consistent with those used in the parking area are required.		Yes
15.34.190.6.b	A planter with a minimum height of three feet (3'), not exceeding a height of four feet (4'), with low shrubs that screen the drive-thru aisles from the abutting street right-of-way shall be used to minimize the visual impact of menu board signs and directional signs.		Yes
15.34.190.6.c	Drive-thru facilities shall provide sufficient landscape screen to ensure vehicle headlights are not visible from the abutting street rights-of-way and surrounding residential properties.		Yes
Other			
15.34.190.7 Pedestrian Access and Crossings	Pedestrian access shall be provided from each abutting street to the primary entrance with a continuous five (5' 0") foot-wide sidewalk or delineated walkway. At least one pedestrian walkway shall be provided to the main entrance of the building which does not intersect drive-thru aisles.		Yes
15.34.190.8 Hours of Operation	When located on a site within one hundred (100') feet of any residential building, measured from the proposed drive-thru facility to the nearest portion of a residential building, hours of operation for the drive-thru service shall be limited from 7:00 a.m. to 10:00 p.m. daily. This regulation does not apply to mixed-use buildings containing both residential and non-residential uses.	Drive thru is 111' away from the nearby residential building	Yes

15.34.190.9 Signage	Menu boards and other signage shall be permitted in accordance with the provisions of VZC 15.48.		Yes
15.34.190.10 Parking and Loading	All parking areas shall comply with the standards of the parking and loading requirements of this ordinance.		Yes
15.34.190.11 Noise	Any drive-thru speaker system shall emit no more than fifty (50) decibels and at no time shall any speaker system be audible above daytime ambient noise levels beyond the property lines of the site. The system shall be designed to compensate for ambient noise levels in the immediate area.		Yes
Drive Aisles in Front of Buildings			
15.34.190.12.a	The drive aisle shall not contain parking.		N/A
15.34.190.12.b	The drive aisle shall not exceed a width of more than fourteen feet (14').		N/A
15.34.190.12.c	The drive aisle shall be screened from view of the street by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at least three (3') feet high, as measured the top of back of curb adjacent to the drive aisle to be screened. All walls or berms shall be installed a minimum of two feet and six inches (2'-6") back from the edge of the drive aisle.		N/A
15.34.190.12.d	No menu boards or related drive-thru infrastructure, except the drive aisle, are permitted within the area located between the front façade of the building and front property line. This area is defined by connecting a line from the building corners at the intersection of the front and side building lines, extended to meet the front property line perpendicularly. (See Figure 15.34.190(2))		N/A
15.34.190.12.e	Any walkways crossing the drive aisle shall be clearly marked and constructed with brick, stamped concrete or other appropriate decorative material.		N/A

Section	Requirement	Comments	
7.08 Development Standards			
7.08.01 Project Characteristics. Development on the lots located in the GRMU District shall have the following characteristics:	Buildings which may accommodate one or more uses;		Yes
	Predetermined right in/right out access points to Geneva Road will be utilized for access to Geneva Road.		Yes
	Access will be provided to the lots via a eastern cross access drive and/or western cross access drive, an access point on 400 North and the approved access points on Geneva road;		Yes
7.08.02 Edgewater Townhomes Off-Site Residential Parking Lot	The off-site residential parking lot shall serve the Edgewater Townhomes (or future ownership of the townhomes) immediately west of the GRMU Special Purpose Zoning District.		N/A
	The off-site residential parking lot must be located immediately east of the terminus of E 280 N and immediately south of the Central Utah Water Conservancy District property (Utah County Parcel: 40:587:0013).		N/A
	The off-site residential parking lot shall only be permitted when providing parking to adjacent residential developments.		N/A
	The off-site parking lot shall be fenced with transparent fencing on the east side adjacent to the GRMU Special Zone. Fencing shall not exceed 42" in height.		N/A

Geneva Road Mixed Use Site Plan Review Form

	There shall be at least one (1) usable, accessible pedestrian connection on the east side of this lot to commercial uses within the District.		
7.08.02 Edgewater Townhomes Off-Site Residential Parking Lot (cont.)	Off-site parking lots shall not have walls on more than three (3) sides.		N/A
	There shall be a useable, accessible pedestrian connection on the west side of the lot to the Edgewater Townhomes every 150 FT.		N/A
	All pedestrian connections leading to and from the off-site parking lot shall be paved and meet ADA standards.		N/A
7.08.03 Minimum Acreage	The minimum acreage for application of the GRMU District is five (5) acres.		Yes
7.08.04 Residential Intensity.	Mixed use residential projects may only be permitted through a Development Agreement, as provided for in Section 15.16 of this title, on lot 8 of the Geneva Retail Frontage Subdivision and lots 12, 14 and 15 of the Geneva Retail Frontage Subdivision Plat B. See Section 07.12 District Use Table and Table Note 8 for additional standards.		N/A
7.08.05 Non-Residential Intensity	There is no limit on the intensity of non-residential development as long as each development complies with the development standards of The GRMU District, any other applicable Vineyard Ordinances and the requirements herein.		Yes
7.08.06 Building Height	No primary building within any district shall be erected to a height less than one (1) story entirely above grade.		Yes
	No primary building shall be built to a height greater than sixty feet (60'). Building height is measured from the top of the back of curb to the highest point of the		Yes

Geneva Road Mixed Use Site Plan Review Form

	building or structure. See also the definition of "Building Height."		
7.08.07 Setbacks: Building Setback: The building setbacks in the GRMU district shall be measured from established property lines. The property contains easements that may further impact buildable areas.	Front Setback: Five feet (5') from the property line adjacent to Geneva Road. The south five lots shall maintain a minimum 15 foot landscape street buffer along Geneva Road.		Yes
	Side Setback: There shall be no minimum internal side setback requirement from property lines. Street side setbacks on a corner lot shall be twenty feet (20').		Yes
	Rear Setback: Twenty feet (20')		Yes
	Landscaping, parking and drive areas are permitted in the rear setback area on lots with a building. On lots with no-buildings, landscaping, parking, and drive areas are permitted in all setback areas.		Yes
7.08.08 Compatibility Requirements	Development within The GRMU District shall be compatible with and preserve the character and integrity of adjacent land uses. Each development shall include improvements or modifications, either on-site or within the public rights-of-way, to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances or other similar adverse effects on existing adjacent land uses. These improvements or modifications may include but shall not be limited to the placement or orientation of buildings and entryways, parking areas, buffer yards, the alteration of building mass, and the addition of landscaping, walls, or both.		Yes
	The main structure on Lot 11 of the Geneva Retail Frontage Subdivision, which is the corner lot on Geneva Road and 400 North,		Yes

Geneva Road Mixed Use Site Plan Review Form

	shall have a design that is comparable and compatible with the structures on the north side of 400 North.		
7.08.09 Separation Between Industrial Uses	There shall be an appropriate separation between existing or planned industrial uses and planned residential uses to provide adequate safety and to avoid concerns with noise, odors, views, and other reasonable concerns as determined by the Planning Commission at the time of Site Plan approval.		Yes
7.08.10 Mixed Use Requirements	Mixed-use development is a development in which land uses are mixed vertically and/or horizontally (such as with existing or planned adjacent land uses). The GRMU District shall comply with the following standards:		Yes
	Each development or project area shall connect to and be compatible with any adjacent development or project area.		Yes
7.09.11 Open Space. The GRMU District shall provide open space within the development as follows:	If mixed use residential is approved through a development agreement, a minimum of fifteen (15) percent of the site area of the residential development shall be set aside as recreation amenities. Such areas shall be used for tot lots, play fields, armadas, gardens, and other similar areas as approved by the Planning Commission during site plan approval. The City Council may require open space details to be submitted with the development agreement for their consideration.		N/A
	A minimum of ten (10) percent of the total project area shall be dedicated towards open space.		Yes
	All open space areas shall be owned and maintained by a property owners association or landowner. Areas greater		Yes

Geneva Road Mixed Use Site Plan Review Form

	than 5 acres in size may be dedicated to the City upon approval of the City Council.		
7.09.11 Open Space. The GRMU District shall provide open space within the development as follows: (cont.)	Detention and retention basins shall not be counted towards the Open Space requirements. The city engineer may approve underground stormwater facilities to count toward minimum open space requirements if the quality of the open space recreational amenities is maintained.	Underground detention basin is provided	Yes
	Light Vehicle Repair, Sales, Carwashes, and drive-thru establishments shall at a minimum contain a fifteen (15) foot waterwise street landscaping buffer with a variety of trees, vegetation, and ground cover, measured from the property line along Geneva Road. A decorative fence not exceeding 42" in height shall be installed within the street landscaping buffer. The fifteen (15) foot street landscape buffer may be split between both sides of a shared access road if located between the front building façade and Geneva Road, but shall maintain at least ten (10) feet of landscaping buffer abutting the Geneva Road property line.		N/A
7.09.12 Parking	Parking shall meet the requirements of Chapter 15.38 Parking and Loading Requirements. Shared parking agreements for property in the GRMU and adjacent to the GRMU are permitted.		Yes

Geneva Road Mixed Use Site Plan Review Form

7.09.13 Landscaping: A common landscape theme shall be established for each Site Plan. All landscaping, including materials and quantities, shall be installed in accordance with the provisions of the Zoning Ordinance, except as otherwise stated in this code.	No landscape buffer is required between a lot that contains off-site residential parking and contiguous residential development or residential zoning district.		Yes
	Four feet (4') of landscaping buffer shall be provided between off-site residential parking and other uses. The landscaping can be provided on either lot, as long as the total buffer is four feet (4').		Yes

7.10 Design Guidelines

7.10.01 Introduction	The GRMU District is approximately 9 acres located on the southwest corner of Vineyard Connector and Geneva Road. The proposed project may include retail, services, offices and restaurants. It may also contain a range of residential uses in order to provide vitality day and night, and opportunities to live close to work and to accommodate the multiple housing needs of the region. The GRMU District is intended to provide an auto-oriented mixed-use area that is compatible with Geneva Road and the surrounding uses. The GRMU District will be implemented over time by a variety of individual builders. The urban design framework for the GRMU District will guide future development to ensure consistency and a high level of urban design quality. To be successful as a high-energy, high-density center, it will be important that fundamental principles of good urban design be followed in each project.		Yes
7.10.02 Design Intent	The general, overall character of the GRMU District should reflect the vibrancy of Vineyard. This character will bring about a familiar, traditional setting for users while allowing a diversity of building styles that is both timeless and contemporary.		Yes
7.10.03 Block Structure	Block Size: the GRMU District is made up of a single block along Geneva road. This block length is approximately 1,400' in length.		Yes
	Mid-Block Access points: Per the Geneva Retail Frontage Subdivision, there are three (3) access		Yes

Geneva Road Mixed Use Site Plan Review Form

	points along Geneva Road. These access points will be necessary to ensure adequate vehicular circulation.		
7.10.04 Building Orientation and Climate Protection	Transparency: The first-floor elevation facing a public street shall not have less than thirty percent (30%) glass or window surfaces.	Approx 53% Glass	Yes
	Entrances: Provide at least one operable building entrance per elevation that faces a public street. Buildings that face multiple streets are required to have one entrance facing both streets.	Pedestrian entrances on the north and east elevations	Yes
	Wall planes: The maximum length of any continuous ground floor wall surface, uninterrupted by a change in material, setback or protrusion, will be thirty feet (30').		Yes
	Screening: All building equipment and service areas, including on-grade and roof mechanical equipment and transformers that would be visible from the public right of way, shall be screened from public view, or enclosed as to appear to be an integral part of the architectural design of the building	Please indicate the location of all mechanical equipment and how it will be screened	No
7.10.06 Architectural Character and Materials	Building Character Organization: All buildings shall generally have a “base, middle, and top” character to avoid monotonous uniformity of single-material building walls. Differentiating buildings into these three components gives human scale and variety through change, contrast, and intricacy in facade form, color and/or material. Other scaling elements such as insets and projections are encouraged to break up flat or monotonous facades.		Yes

Geneva Road Mixed Use Site Plan Review Form

	<p>Exterior Three-Dimensional Details: Three-dimensional details shall be incorporated into all building elevations, these elements include :</p> <p>Cornices, fascia, visible substantial window sills and headers, projecting bay windows, inset doors and windows and balconies.</p> <p>Recessed windows (all windows are encouraged to be recessed a minimum of three inches).</p>		Yes
7.10.06 Architectural Character and Materials (cont.)	<p>Similar Architectural: Similar architectural design and material shall be incorporated into all elevations of proposed buildings.</p>		Yes
	<p>Building Materials: All materials shall be durable in nature and build on the multi layered history of the site. The following is a non-exhaustive list of materials that would meet this objective:</p> <p>Sandstone-based brick material - this is desired as a base material for the entire development and is of regional significance to the area;</p> <p>Brick with accent banding and symbols of various colors and patterns;</p> <p>Visible steel support such as I-beam columns and spandrels, steel cable or rod suspension, decorative steel railings;</p> <p>Corrugated steel siding;</p> <p>Concrete foundations, columns, lintels, sills, loading docks;</p>		Yes

Geneva Road Mixed Use Site Plan Review Form

	<p>Large expanses of multi-paned glass windows, glass block, large display windows, skylights, greenhouses;</p> <p>Heavy wood timber columns and spandrel beams; and</p> <p>Wood, stone, corrugated metal, etc.</p> <p>Local materials are encouraged, whether as reclaimed materials from nearby projects or manufactured locally and support sustainable building practices.</p> <p>Other materials can be considered to minimize costs while achieving a similar aesthetic (e.g., concrete with an applied texture versus a brick wall) while out-of-character materials will be considered in special circumstances - such as iconic architecture - to bring additional variety and contemporary influences.</p>		
7.10.06 Architectural Character and Materials (cont.)	<p>Iconic Architectural Elements: Selected use of iconic architectural elements is encouraged at key locations that serve as focal points for the district. Examples might include:</p> <p>Tower buildings fronting open spaces, plazas, or other gathering spaces.</p> <p>Architectural signage and marquees</p>		Yes
7.10.07 Signage	Signs shall be regulated by VZC 15.48 Signs		Yes
7.10.08 Lighting	<p>Street Lights: Street light fixtures used throughout the GRMU District for both automobile and pedestrian safety will meet the City's Street Light Design standards.</p> <p>Outdoor lighting: Outdoor lighting will be designed and installed to be fully contained with the project site and minimize light trespass off the property. A photometric plan demonstrating proposed lighting intensity shall be submitted with the site plan.</p>		Yes

Geneva Road Mixed Use Site Plan Review Form

	Architectural Lighting: Building illumination will meet the City's Lighting Standards and be limited to: Highlighting of specific building features. Building and ground floor business names. Lighting of public walkways Lighting of architectural features above the ground floor		Yes
7.10.09 Site Design and Access	Rear Alley: A twenty foot (20') deep parking area along the rear of the property that is accessed from the rear alley for shared parking may be permitted.		Yes
	Northern Lots: The northern lots, lot 8 of the Geneva Retail Frontage Subdivision and lots 12, 14 and 15 of the Geneva Retail Frontage Subdivision Plat B shall be accessed by a rear alley. Access will not be provided to the general public for lot 13 of Geneva Retail Frontage Subdivision Plat B. Buildings shall be placed as close to Geneva Road as feasible and parking areas shall not be permitted in the front yard along Geneva Road or between building elevations facing 400 North and the property line along 400 North.		Yes
	Sidewalks: Sidewalks serve multiple purposes within an urban environment and should incorporate different activities including seating, outdoor dining, lighting, trash and recycling receptacles, bus stops and shelters, newsstands, utility boxes and shade trees between pedestrian walkways and traffic. A minimum eight feet (8') ADA accessible, unobstructed pedestrian walkway is required. This walkway shall be		Yes

Geneva Road Mixed Use Site Plan Review Form

	located in Parcel A and completed with the reconstruction of Geneva Road.		
	Service and Storage: Consideration should be given to loading, delivery and transfer of merchandise, garbage collection, recycling, fire and utilities. Loading areas should be provided when appropriate. However, these functional needs should not compromise the visual character of the overall development or adjacent properties and will be subject to design evaluation and approval of the final legislative authority. Outdoor storage should be temporary and/or fully screened from the public right-of-way.		Yes
7.10.09 Site Design and Access (cont.)	<p>Drive-thru Lanes: Drive-thru facilities in the GRMU will be subject to careful design evaluation and approval. In addition to the standards found in VZC 15.34.190, any drive-thru lanes in the GRMU are required to be designed with the following conditions:</p> <ol style="list-style-type: none"> 1. Be limited to four (4) bays or less; 2. Feed into a single exit lane; 3. Provide a ten-foot (10') landscape buffer along a property line adjacent to residential uses. The buffer shall be landscaped in accordance with VZC 15.40.080.3.b; 4. Provide a screening barrier to prevent headlights from the drive thru lane projecting onto residential property. 		Yes
	Car Wash Uses: Car wash uses in the GRMU will be subject to careful design evaluation and approval. Any car washes in the GRMU will have to meet the following standards:		N/A

Geneva Road Mixed Use Site Plan Review Form

	<ol style="list-style-type: none"> 1. Car wash uses are only permitted on the southern five (5) lots of the Geneva Retail Frontage Subdivision. 2. The car wash exit shall face Geneva Rd. 3. Any building containing a car wash shall be setback at least fifty feet (50') from the property line where the adjacent use is residential; 4. Outdoor vacuums shall be enclosed and placed at least fifty feet (50') from a property line where the adjacent use is residential; 5. Provide a ten-foot (10') landscape buffer along a property line adjacent to residential uses. The buffer shall be landscaped in accordance with VZC 15.40.080.3.b; 6. Provide a screening barrier to prevent headlights from the drive thru lane projecting onto residential property; 7. The hours of operation for a car wash in the GRMU District shall be 7 AM to 9 PM, including vacuums; 8. A noise study shall be submitted with the site plan application conducted by a qualified professional demonstrating compliance with noise ordinances of Vineyard Municipal Code. 		
7.10.09 Site Design and Access (cont.)	<p>Light Vehicle Repair Uses: Light Vehicle Repair uses in the GRMU will be subject to careful design evaluation and approval. Any light vehicle repair in the GRMU will have to meet the following standards:</p> <ol style="list-style-type: none"> 1. Light Vehicle Repair uses are only permitted on the southern five (5) lots of the Geneva Retail Frontage Subdivision; 		N/A

Geneva Road Mixed Use Site Plan Review Form

	<ol style="list-style-type: none"> 2. Light Vehicle Repair exit doors shall not face adjacent residential uses; 3. Any building containing Light Vehicle Repair shall be limited to eight (8) bays; 4. Vehicle repair bay doors shall be closed when repairs are happening in that bay; 5. No in operable vehicles shall be parked/stored on site; 6. Provide a ten-foot (10') landscape buffer along a property line adjacent to residential uses. The buffer shall be landscaped in accordance with VZC 15.40.080.3.b; 7. Provide a screening barrier to prevent headlights from the drive thru lane projecting onto residential property; 8. The hours of operation for a Light Vehicle Repair Use in the GRMU District shall be 7 AM to 9 PM; 		
7.10.09 Site Design and Access (cont.)	<p>Screening: Screening techniques should be utilized throughout the GRMU District for any activity or storage that should be kept from public view. This may include any combination of building design, landscaping and berming, and/or location and will be subject to design evaluation and approval of the site plan. Typical areas that should require screening may include:</p> <ol style="list-style-type: none"> 1. Outdoor Storage 2. Refuse Containers 3. Surface Parking 4. Loading Areas (adjacent to roadways) 		Yes
	<p>Enclosures: Enclosures should be located to provide easy access for users, adequate</p>		Yes

Geneva Road Mixed Use Site Plan Review Form

	<p>space for servicing by refuse trucks, and visibility for safe vehicle circulation.</p> <ol style="list-style-type: none"> 1. Enclosure materials and colors should be consistent with, and complementary to, building materials and finishes. 2. Refuse containers should be conveniently located throughout the project, yet sufficiently buffered from project entries, main building entries, and main pedestrian paths. 		
VZC 15.38 Parking and Loading Requirements			
15.38.030 Parking Requirements: Off-street parking spaces shall be provided according to the following provisions and standards.	Floor Area. The term "floor area" for the purpose of calculating the number of required parking spaces shall be the "Gross Floor Area" of the structures plus defined exterior use areas except as may be provided or modified herein.		Yes
	Change of Use or Occupancy of Buildings. Off-street parking and loading spaces as required herein shall be provided at the time of any new uses of land or construction of a new building. Any change of use or occupancy of any building or buildings, including additions thereto, requiring more parking shall not be permitted until such additional parking spaces as required by this Section are provided		Yes
	Parking for a Residential Use. Off-street parking facilities for residential uses shall be utilized solely for the parking of licensed and operable passenger vehicles owned by the occupants of the residence or the parking of passenger automobiles by guests of said occupants.		N/A
15.38.030 Parking Requirements: Off-street parking spaces shall be provided according to the	<p>Accessible Parking</p> <ol style="list-style-type: none"> 1. Accessible parking for non-residential developments shall be provided in conformance with the, Americans with Disabilities Act (ADA), Utah Americans 		Yes

Geneva Road Mixed Use Site Plan Review Form

following provisions and standards (cont.)	<p>with Disabilities Act (Utah ADA) and International Building Code (IBC) as amended.</p> <p>2. Accessible parking for multiple-family residential developments shall be provided in conformance with the Americans with Disabilities Act (ADA), Federal Fair Housing Act (FFHA) and International Building Code (IBC) as amended.</p>		
	<p>Parking Stall Dimensions:</p> <p>Type: Standard</p> <p>Width: 9ft</p> <p>Length*: 20ft</p> <p>Type: Parallel</p> <p>Width: 8ft</p> <p>Length: 24ft</p>		Yes
	<p>Parking Aisle Dimensions</p> <p>Angle: 90</p> <p>One-Way: 24"</p> <p>Two-Way:24 "</p> <p>Angle: 60</p> <p>One-Way: 18"</p> <p>Two-Way:22 "</p> <p>Angle: 45 or 30</p> <p>One-Way: 18"</p> <p>Two-Way:20"</p>		Yes
	<p>Parking Lots. Parking lots shall be designed in groupings no larger than two hundred (200) spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.</p>		Yes
	<p>Within Structures. The off street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions</p>		N/A

Geneva Road Mixed Use Site Plan Review Form

	are made to comply with the required off-street parking provisions of this Section.		
	Circulation Between Bays. Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except one, two or three-family dwellings.		Yes
	Surfacing. All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust-free surface. Such area shall not be considered as part of a required landscape area.		Yes
	Striping. Except for one, two and three-family dwellings, all parking stalls shall be marked with painted lines not less than four inches (4") wide.		Yes
	Lighting. Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of twenty (20) feet in height above the surface of the parking lot for non-residential uses and sixteen (16) feet for residential uses.		Yes
	Protruding Vehicles. All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.		Yes
	Screening. All off-street parking lots of four (4) or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at least three (3) feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of two and one-half (2.5) feet back from the edge of the parking stall		Yes

Geneva Road Mixed Use Site Plan Review Form

Parking Area Landscaping	<p>Five percent (5%) of the gross parking surface area shall be of dispersed interior landscaping, designed so as to reduce the “heat island” effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. The following are acceptable interior landscaping designs:</p> <ol style="list-style-type: none"> 1. Five (5) feet by five (5) feet tree diamonds placed not more than six (6) parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with ninety (90) degree parking spaces. 2. Minimum five (5) feet wide landscape medians with trees planted forty (40) feet apart; 3. Minimum five (5) feet wide landscape islands and peninsulas with at least one (1) tree; 4. Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission. 		Yes
	Parking areas should be buffered from adjacent residential property and screened from streets so automobiles are not visible below the average headlight height. Screening methods may include landscaped berms, low walls, and hedges.		Yes
	Access drives, internal circulation drives, parking areas, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.		Yes
	In projects greater than 1 acre, every parking space should be no greater than one hundred		No

Geneva Road Mixed Use Site Plan Review Form

	fifty (150) feet from a walkway leading to a building entrance.		
	Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should relate to adopted area plans, planned parking in the area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.		N/A
	The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.		Yes
	Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security		Yes
	All sites shall meet the requirements of the Americans with Disabilities Act ("ADA").		Yes
	Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.		Yes
	Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple-family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.		Yes
	A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible		Yes
Maintenance	It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.		Yes
	Shrubs within a landscape island shall be maintained to a maximum height of three (3) feet, and all trees at maturity within such planters shall maintain a minimum clearance of six (6) feet from the lowest branch to the adjacent grade elevation.		Yes
Parking Only	Use of Required Parking Areas for Parking Only. Required off-street parking spaces in any		Yes

Geneva Road Mixed Use Site Plan Review Form

	district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use		
Signs	No sign shall be so located as to restrict the sight lines and orderly operation and traffic movement within any parking area		Yes
Parking Canopies, Non-Residential and Multi-Family Residential Land Uses	<ol style="list-style-type: none"> 1. Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located. 2. Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers. 3. Height of such structures shall be limited to 10'. 4. All canopies shall include a fascia. 5. Setbacks are measured from property line to nearest edge of canopy. 6. All required landscaping, parking or otherwise, shall be provided. 		N/A
Other	Prior to construction, property owners are responsible for meeting with the City Engineer, or her/his designee to ensure parking areas and driveways do not conflict with public utilities, easements, or meters.		Yes
	Any work conducted within the public-right-of-way, including parking strips and driveway approaches, must be approved through a right-of-way permit prior to construction		Yes
	Grade/Slope for residential driveways shall not exceed 8%, anything higher shall receive approval from the City Engineer.		Yes
Nonresidential Uses. The number of parking spaces for non-residential uses shall be provided as follows:	<u>See Parking Requirements Here</u>		Yes
VZC 15.40 Landscaping			
Design Standards and Requirements	Landscape Improvements and Guarantees: All landscape improvements (landscape materials, irrigation system, screening		Yes

Geneva Road Mixed Use Site Plan Review Form

	walls, etc.) shall be installed and paid for by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit in an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner may approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed six (6) months. In those instances where the City Planner approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the City Planner.		
Design Standards and Requirements (cont.)	Minimum Size of Plantings. Unless otherwise specified herein, all required deciduous trees shall be a minimum of two inch caliper in size. All evergreen trees shall be a minimum of six feet in height. All shrubs shall be a minimum of five gallon in size.		Yes
	Plant Installation. Plants installed pursuant to this Chapter shall conform to installation standards within the approved <u>Vineyard Tree and Landscape Manual</u> .		Yes
	Plant Materials. Plant shall be drought tolerant and well-suited to the soil conditions at the project site. Plants with similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide the water requirements for all plant material. Plant materials shall be chosen from the approved <u>Vineyard Tree and Landscape Manual</u> .		Yes
	Limitation on the Use of Turf [see also VZC 15.40.090(5) for additional requirements].	No turf proposed	Yes

Geneva Road Mixed Use Site Plan Review Form

	Turf shall be limited to 35% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determined by the City Planner are subject to this limitation.		
	Natural Topping of Landscape Areas. All landscaped areas shall be finished with a natural topping material which may include, but not limited to, the following: turf, groundcover, planting, decorative rock (two (2) inches minimum depth and a minimum size of one-half inch), or wood mulch (four (4) inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth.		Yes
	<p>Irrigation Standards</p> <ol style="list-style-type: none"> 1. All landscaped areas shall be supported by an automatic irrigation system which may be a soaker, drip-type, or otherwise approved system. The irrigation system shall meet all State and City requirements for potential cross-connections that must be protect against backflow to the culinary water system. All irrigation systems and landscaped areas shall be designed, constructed, and maintained so as to promote water conservation and prevent water overflow or seepage into the street, sidewalk, or parking areas. 2. Each valve shall irrigate a landscape with similar site, slope and soil conditions and plant materials with similar watering needs. Turf and non-turf areas shall be irrigated on separate valves. Drip Emitters and sprinklers shall be placed on separate valves. 		Yes

Geneva Road Mixed Use Site Plan Review Form

Design Standards and Requirements (cont.)	Separate Connection. Any landscaping that will be owned and maintained by the city shall have separate irrigation line connection prior to the master meter. A backflow prevention device shall be installed by the developer or property owner as required by the City Engineer.		Yes
	Soil Preparation. Soil preparation will be suitable to provide healthy growing conditions for the plants and to encourage water infiltration and penetration. Soil preparation shall include scarifying the soil to a minimum depth of six (6) inches and amending the soil with organic material as per specific recommendations of the Landscape Designer/Landscape Architect based on the soils report.		Yes
	Protection of Landscaped Areas. Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.		Yes
Design Standards and Requirements (cont.)	Use of Landscaped Areas. No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.		Yes
	<p>Detention Basins</p> <ol style="list-style-type: none"> 1. The detention areas shall not occupy more than fifty (50) percent of the on-site street frontage landscape area, unless approved by the City Planner where shallow depths for multi-use are proposed for the basin. 2. All detention areas shall maintain slopes no steeper than a four to one (4:1) ratio when adjacent to public rights-of-way or where there is pedestrian access to that portion of 		Yes

Geneva Road Mixed Use Site Plan Review Form

	<p>the basin. Side slopes adjacent to walls, fences, hedges and other areas with limited pedestrian access may have side slopes up to a four to one (4:1) ratio.</p> <ol style="list-style-type: none"> 3. Provide a minimum five (5) foot wide level area at the top of the basin slope. 4. No sidewalk or walkway shall be located closer than five (5) feet to the top of any adjacent basin slope. 5. All basins shall be at least five feet in width at the bottom of the basin. 		
Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than five (5) percent of the net site area, whichever is greater.		Yes
	For all development within all other zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than twenty (20) percent of the net site area. For the purposes of this section, landscape areas shall also include plazas.		Yes
Onsite Landscaped Areas	All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the City Planner.		Yes
	The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.		Yes

Geneva Road Mixed Use Site Plan Review Form

Landscaped Buffers	<p>A minimum ten-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be used to satisfy the landscape area requirements of this Section.</p> <p>The landscape buffer areas shall be improved with a minimum of one (1) screening tree spaced at each fifteen-foot interval of the property boundary being screened.</p>		
	<p>Parking Lot Landscaping. Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in this Section.</p>		Yes
Landscaped Buffers (cont.)	<p>Building Foundations. For each elevation visible from a public or private street, a minimum five (5) foot foundation planting area shall be provided.</p>		Yes
Street Frontages	<p>The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows:</p> <p>Arterial Streets: 25 feet Collector Streets: 20 feet Local Streets: 15 feet</p>		Yes
	<p>The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows:</p> <p>Arterial Streets: 20 feet Collector Streets: 15 feet</p>		Yes

Geneva Road Mixed Use Site Plan Review Form

	The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs.		Yes
	Where park strips have a minimum width of eight (8') feet, turf shall be limited to 30% of the total landscape street frontage area [see also VZC 15.40.090(5) for additional requirements]. This minimum quantity of trees, shrubs and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage landscaping shall be designed and located to enhance the proposed development project and the streetscape.		Yes
Street Frontages	The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than one tree and ten (10) shrubs for every twenty (20) feet of street frontage or one (1) tree and ten (10) shrubs for every forty (40) feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of sixty-five (65) percent of the total street frontage landscaped area.		Yes
	Cumulative Totals. Quantities of plants required by each of this Chapter which apply to that project submitted to the city for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.		Yes

Geneva Road Mixed Use Site Plan Review Form

Water Efficiency Standards	Turf shall not be less than 8 feet wide at its narrowest point.		Yes
	Turf shall not exceed 35% of the total landscaped area. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, and other non-irrigated areas intentionally left undeveloped.		Yes
	In commercial, industrial, institutional, and multi-family development common area landscapes, turf areas shall not exceed 20% of the total landscaped area, outside of active recreation areas.		Yes
	Detached, Single Family Residential Dwellings: landscaping shall be installed within one year of the date of the issuance of a final certificate of occupancy or final inspection.		Yes
	Small residential lots, which have no back yards, which the total landscaped area is less than 250 square feet, and which the front yard dimensions cannot accommodate the minimum 8 feet wide turf area requirement, are exempt from the 8 feet minimum width lawn area requirement and maximum of 35% lawn requirement.		Yes
Water Efficiency Standards (cont.)	Turf shall not be installed in park strips, paths, or on slopes greater than 25% or 4:1 grade.		Yes
	At maturity, landscapes are required to have enough plant material (perennials and shrubs) to create at least 50% living plant cover at maturity at the ground plane, not including tree canopies.		Yes

2024 Planning Commission Calendar

JANUARY						
S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
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FEBRUARY						
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MARCH						
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APRIL						
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MAY						
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JUNE						
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JULY						
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SEPTEMBER						
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OCTOBER						
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NOVEMBER						
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DECEMBER						
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 Indicates proposed Planning Commission Meeting