



FARR WEST CITY PLANNING COMMISSION AGENDA

October 26, 2023 at 6:30 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the Planning Commission of Farr West City will hold a 6:30 pm work session and their regular meeting at 7:00 pm on Thursday, October 26, 2023

6:30 pm Work Session – Joint work session with the City Council to review amendments to the M-1 zone

1. Call to Order – Chairwoman Genneva Blanchard
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Prayer
3. Comments/Reports
 - a. Public Comments (2 minutes)
 - b. Report from City Council
4. Business Items
 - a. Public hearing to consider the request to re-zone the property located at approximately 1300 N 2000 W, parcel numbers 15-004-0119, 15-004-0076 and 15-004-0077, from the A-1 zone to the C-2 commercial zone – Fisher Family Homestead LLC
 - b. Recommend to the City Council approval or denial of request of a re-zone of the Fisher Family Homestead property located at approximately 1300 N 2000 W, parcel numbers 15-004-0119, 15-004-0076 and 15-004-0077, from the A-1 zone to the C-3 Commercial zone
 - c. Set a public hearing for Thursday, November 9, 2023 at 7:00 p.m. to consider the request of a conditional use permit for a 2,552 square foot accessory building for Steven Sexton, located at 2841 West 3375 North
 - d. Recommend to the City Council approval or denial of the modified site plan for Farr West Animal Hospital for an addition located at 1400 North 2000 West
 - e. Motion to cancel the November 23 and December 28 Planning Commission Meetings
5. Consent Items
 - a. Approval of minutes dated October 12, 2023
6. Chairman/Commission Follow-up
 - a. Report on Assignments
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was mailed to each member of the Planning Commission, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on October 20, 2023.

Lindsay Afuvai
Recorder

Application for Rezoning Real Property



Date Submitted 10/4/23 Applicant's Name The Fisher Family

Applicant's Address

Applicant's Phone

Fee Schedule (check one):

Up to 5 acres..... \$150.00 ☒

More than 5 acres..... \$200.00 ☐

Commercial or Manufacturing..... \$250.00 ☒

Fee received by McKinzie Date 10/4/2023

I (we), the undersigned property owner (s), request that the following real property (include or attach a legal description and a scale drawing of the real property here):

Tax ID Nos. 1500040119, 150040076, 150040077

Plat & legal descriptions attached

Be rezoned from (present zoning) A-1

To (desired zoning) Commercial

Include or attach a list of all adjacent property owners within three hundred feet (300') of the property proposed for rezone and their addresses. ☒

The Planning Commission must review the request from the standpoint that changes in property zoning cannot be made unless it is in the best interest of the citizens of Farr West City generally.

Please answer the following questions: (Attach additional sheets if necessary)

1. How is this request consistent with the policies of Farr West City's General Plan?

This property is in the area labeled for commercial in the zoning plan.

Application for Rezoning Real Property



2. How will this request benefit the general public and the community?

A Dentist is interested in this location and
other similar type businesses.

3. How will this request promote the health, safety, convenience, order or prosperity of the general public?

Adjacent to an Assisted Living Facility
to be built -

Signature of Petitioner(s):

Dennis & Fisher

Address:

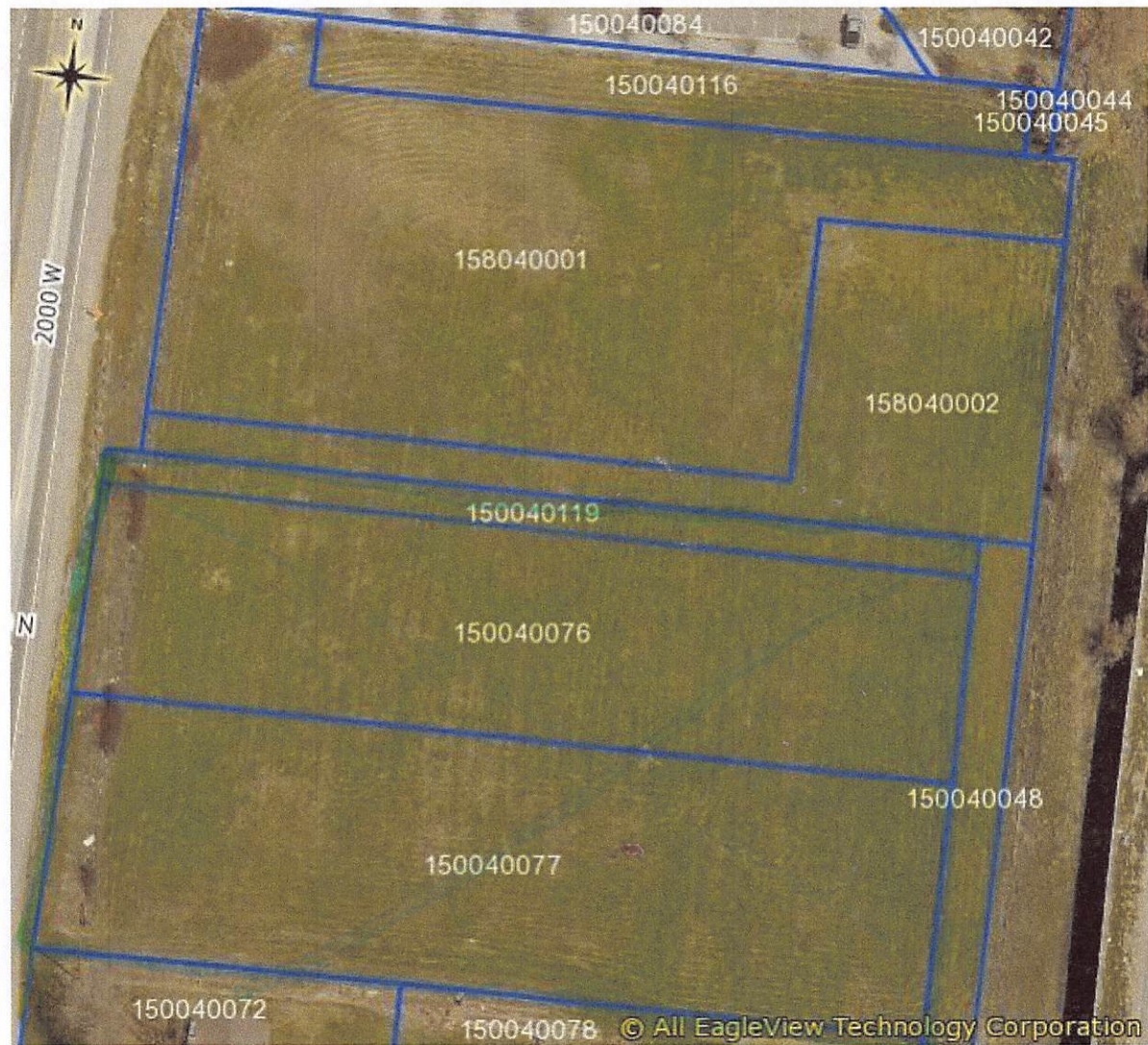
6467 S 1850E
OGDEN, UT 84405

✓ Checklist:

- ☒ Fees Paid
- ☒ Legal Description
- ☒ Scale Drawing
- ☒ Adjacent Property Owners List
- ☐ Public Hearing Set
- ☐ Adjacent Property Owners Notified

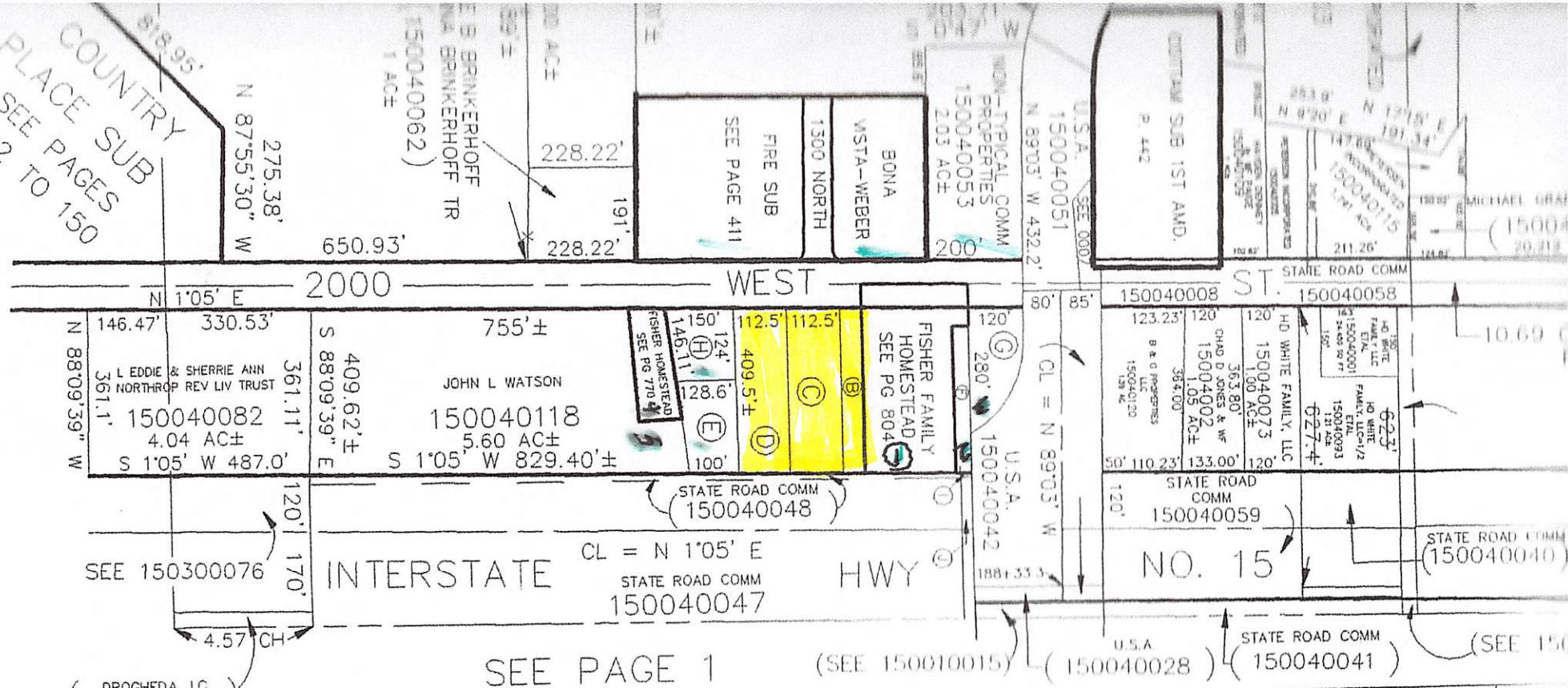
- ☐ Notice Advertised on: _____
- ☐ Public Hearing Held on: _____
- PC Recommendation:
- ☐ Approve ☐ Reject Date: _____
- CC Action:
- ☐ Approve ☐ Reject Date: _____

Farr West Lots



04/27/2023

COUNTRY
PLACE SUB
SEE PAGES
142 TO 150



FISHER FAM HOMESTEAD LLC ⑤ 150040119 9,558 SQ FT	FISHER FAM HOMESTEAD LLC ⑥ 150040076 1.05 AC±	BOYD & JOSEPHINE FISHER REVOCABLE LIVING TRUST ⑦ 150040078 24,775 SQ FT	JSB BUILDING II LLC ⑧ 150040084 25,265 SQ FT	①
FISHER FAM HOMESTEAD LLC ⑨ 150040119 9,558 SQ FT	FISHER FAM HOMESTEAD LLC ⑩ 150040077 1.05 AC±	JSB BUILDING II LLC ⑪ 150040116 10,934 SQ FT	BOYD & JOSEPHINE FISHER REVOCABLE LIVING TRUST ⑫ 150040072 20,000 SQ FT	②



Ownership Info for 150040119 as of Oct-04-2023 10:18:58am

3

Property Owner as of Oct-04-2023 10:18:58am

Property Address

FISHER FAMILY HOMESTEAD LLC

Mailing Address

FISHER FAMILY HOMESTEAD LLC

6467 S 1850 E

OGDEN UT

844059704

Parcel Number:

150040119

Tax Area:

145

No Dedication Plats found

Entry #	Current References Book	Page	Recorded Date
3145974			April 20, 2021

Kind of Instrument PERSONAL REP DEED

Prior Parcels

[150040075](#) (Dead)

Legal Description

PART OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH,
RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY:
BEGINNING AT A POINT 1096.23 FEET SOUTH AND 310 FEET WEST OF
THE NORTHEAST CORNER OF SAID QUARTER SECTION, AND RUNNING
THENCE WEST 409.5 FEET; THENCE SOUTH 112.5 FEET; THENCE EAST
409.5 FEET; THENCE NORTH 112.5 FEET TO THE PLACE OF BEGINNING.
EXCEPT THOSE PORTIONS THEREOF, IF ANY, LYING WITHIN 2000
WEST STREET AND THE INTERSTATE HIGHWAY.
TOGETHER WITH AND SUBJECT TO RIGHT OF WAY AND EASEMENT
FOR IRRIGATION DITCH OVER THE EAST 10 FEET (1460-10).
LESS AND EXCEPTING: THE FISHER FAMILY HOMESTEAD PG 804.



Ownership Info for 150040076 as of Oct-04-2023 10:20:13am

C

Property Owner as of Oct-04-2023 10:20:13am

Property Address

FISHER FAMILY HOMESTEAD LLC

Mailing Address

FISHER FAMILY HOMESTEAD LLC

6467 S 1850 E

OGDEN UT

844059704

Parcel Number:

150040076

Tax Area:

145

No Dedication Plats found

Entry #	Current References Book	Page	Recorded Date
3146823			April 22, 2021

Kind of Instrument PERSONAL REP DEED

Prior Parcels

150040046 (Dead)

Legal Description

PART OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH,
RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY:
BEGINNING AT A POINT 1208.73 FEET SOUTH AND 310 FEET WEST
OF THE NORTHEAST CORNER OF SAID QUARTER SECTION, AND RUNNING
THENCE WEST 409.5 FEET; THENCE SOUTH 112.5 FEET, THENCE EAST
409.5 FEET, THENCE NORTH 112.5 FEET TO THE PLACE OF BEGINNING.
EXCEPT THOSE PORTIONS THEREOF, IF ANY, LYING WITHIN
2000 WEST STREET AND THE INTERSTATE HIGHWAY.
TOGETHER WITH AND SUBJECT TO RIGHT OF WAY AND EASEMENT
FOR IRRIGATION DITCH OVER THE EAST 10 FEET (1460-10).



Ownership Info for 150040077 as of Oct-04-2023 10:21:16am

7

Property Owner as of Oct-04-2023 10:21:16am

Property Address

FISHER FAMILY HOMESTEAD LLC

Mailing Address

FISHER FAMILY HOMESTEAD LLC

6467 S 1850 E

OGDEN UT

844059704

Parcel Number:

150040077

Tax Area:

145

No Dedication Plats found

Entry #	Current References Book	Page	Recorded Date
3146823			April 22, 2021

Kind of Instrument PERSONAL REP DEED

Prior Parcels

[150040046](#) (Dead)

Legal Description

PART OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH,
RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY:
BEGINNING AT POINT 1321.23 FEET SOUTH AND 310 FEET WEST OF
THE NORTHEAST CORNER OF SAID QUARTER SECTION, AND RUNNING
THENCE WEST 409.5 FEET; THENCE SOUTH 112.5 FEET TO A POINT
WHICH IS SOUTH 89D21' WEST FROM THE NORTHWEST CORNER OF THE
PROPERTY CONVEYED TO BOYD M FISHER AND WIFE BY DEED RECORDED
IN BOOK 1340 OF RECORDS, PAGE 538; THENCE NORTH 89D21' EAST
409.5 FEET; THENCE NORTH 112.5 FEET, MORE OR LESS, TO THE
PLACE OF BEGINNING.
EXCEPT THOSE PORTIONS THEREOF LYING WITHIN 2000 WEST
STREET AND THE INTERSTATE HIGHWAY.
TOGETHER WITH AND SUBJECT TO RIGHT OF WAY AND EASEMENT
FOR IRRIGATION DITCH OVER THE EAST 10 FEET (1460-10).

1

PART OF THE SE. 1/4, OF SECTION 2, T.6N., R.2W., S.L.B. & M.

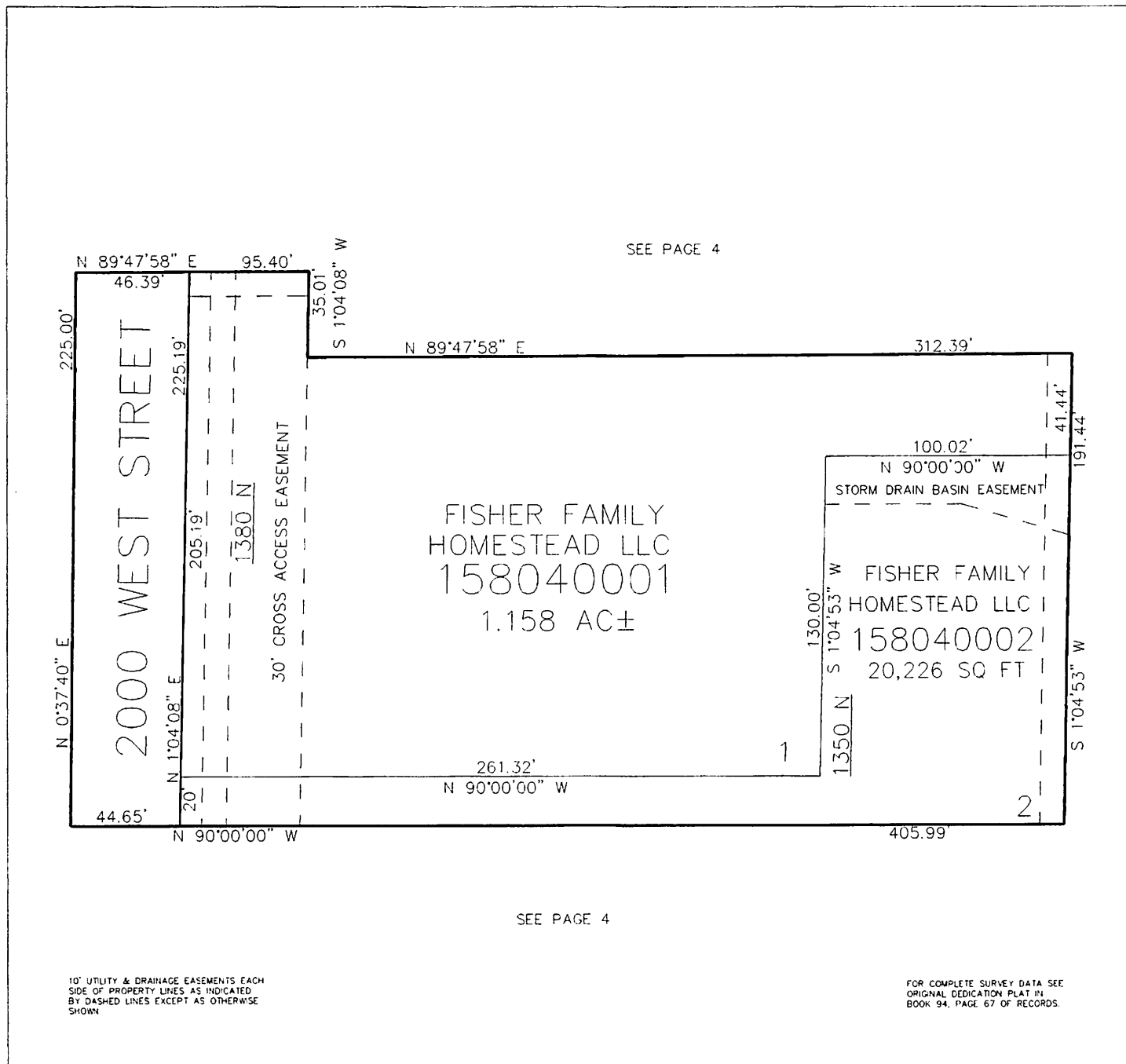
804

THE FISHER FAMILY HOMESTEAD

IN FARR WEST CITY

TAXING UNIT: 145

SCALE 1" = 30'





Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 10-13-23 Applicant Name Steven Sexton

Mailing Address

Phone Number 8

Property address of proposed conditional use 2851 w 3375 n Current Zoning: R15

Please list the requested conditional use as listed within the city zoning ordinance 17.48.020

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

Residential

For private use

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

Residential shop to store RV trailer

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

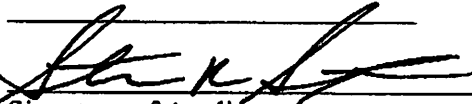
Will be built in accordance to Farr West city and building codes

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

Residential shop for private use.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

Will be built in accordance to Farr West city and Building codes


Signature of Applicant

Property Owner? ☒ Y ☐ N

Date Application & \$100.00 Processing Fee received 10/16/23

Received by Mckinzie Tams

Date of public hearing: _____

Date application was _____ Approved _____ Denied by Planning Commission _____

Conditions/Reasons

Date application was _____ Approved _____ Denied by City Council: _____

Conditions/Reasons

Planning Commission Chair

Mayor



PROFESSIONAL CONSTRUCTION SERVICES

Project: Steve Sexton

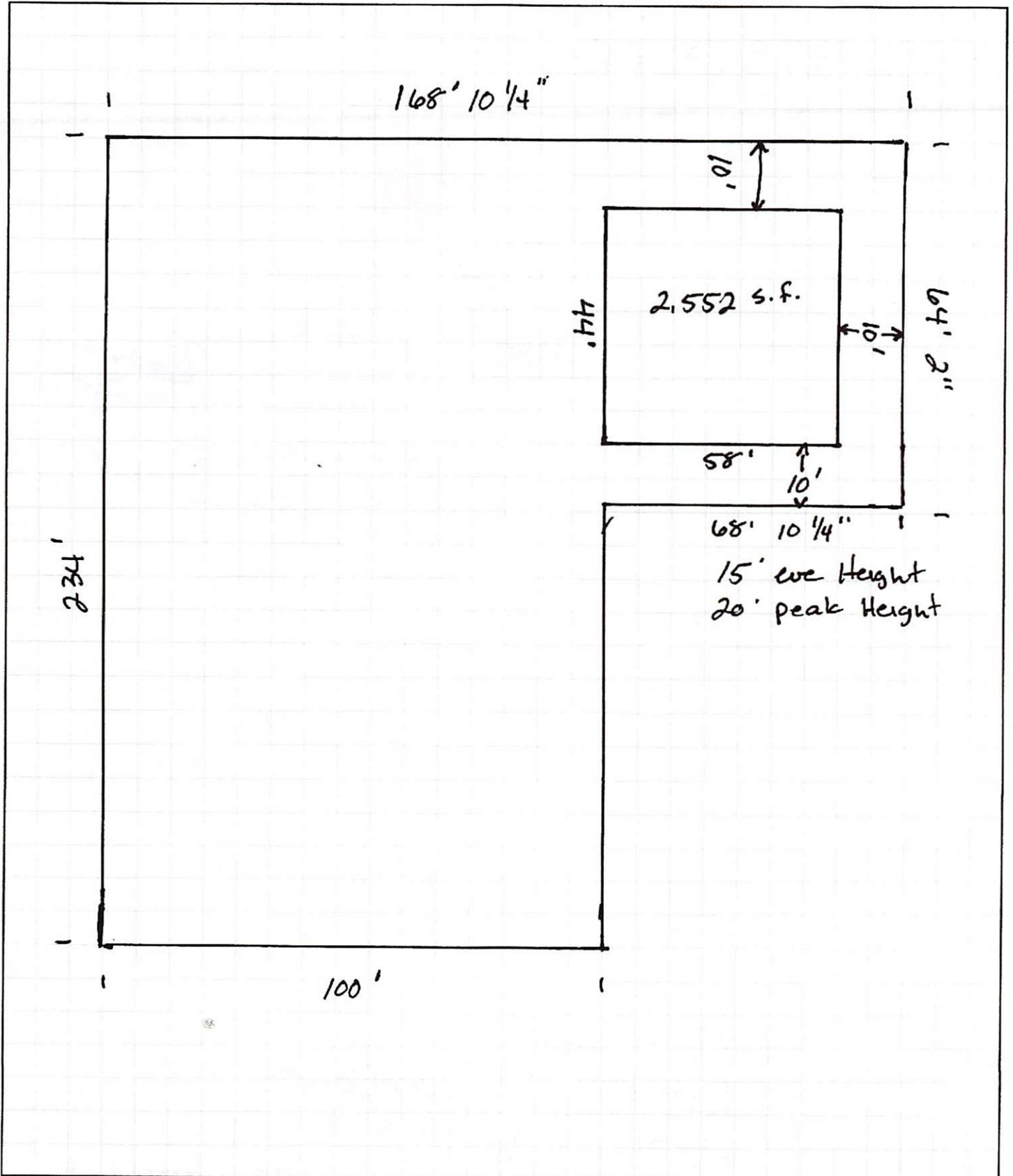
Date: 10-10-23

Job: Accessory Building

Page: of

RE: (Shop)

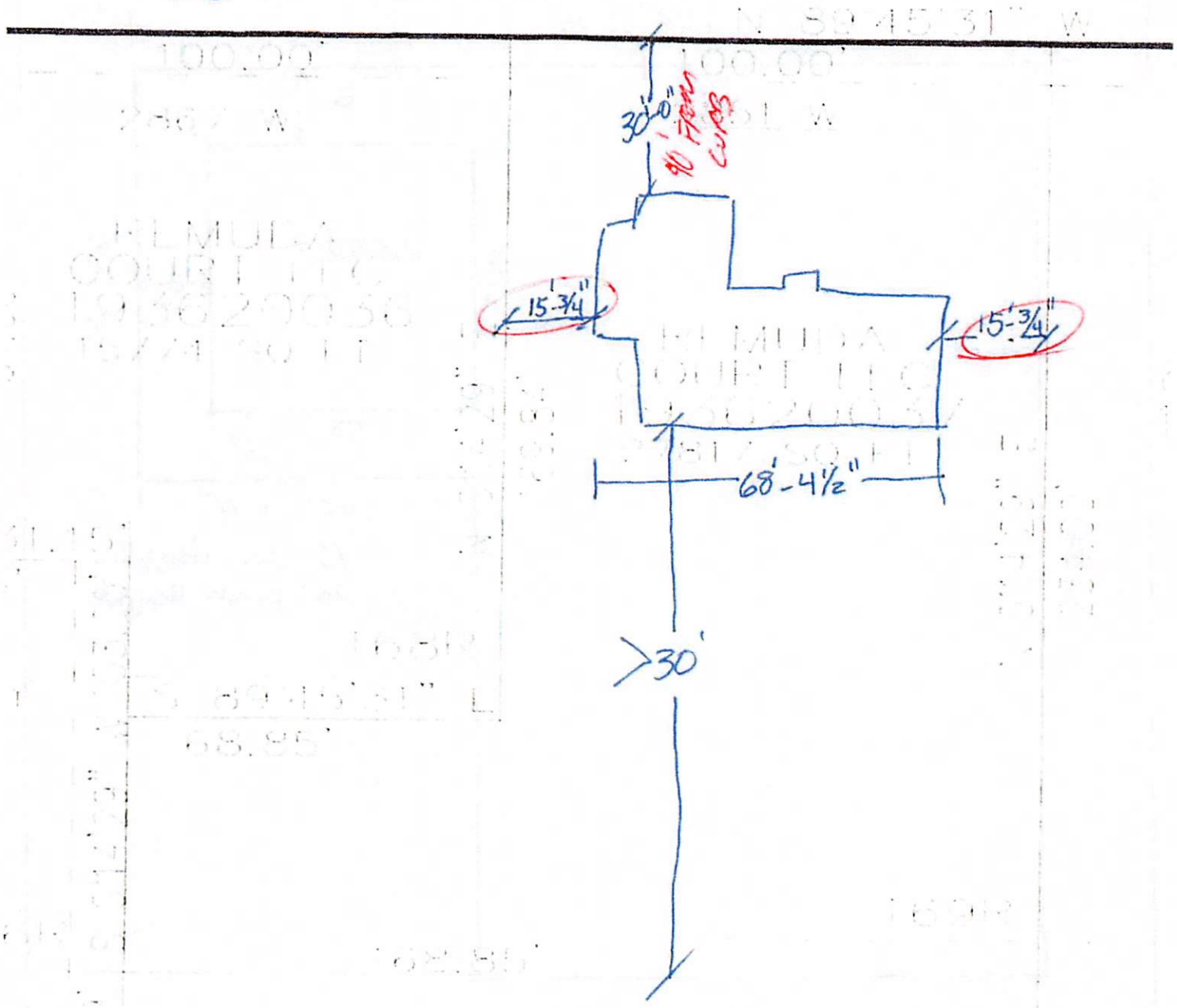
By:



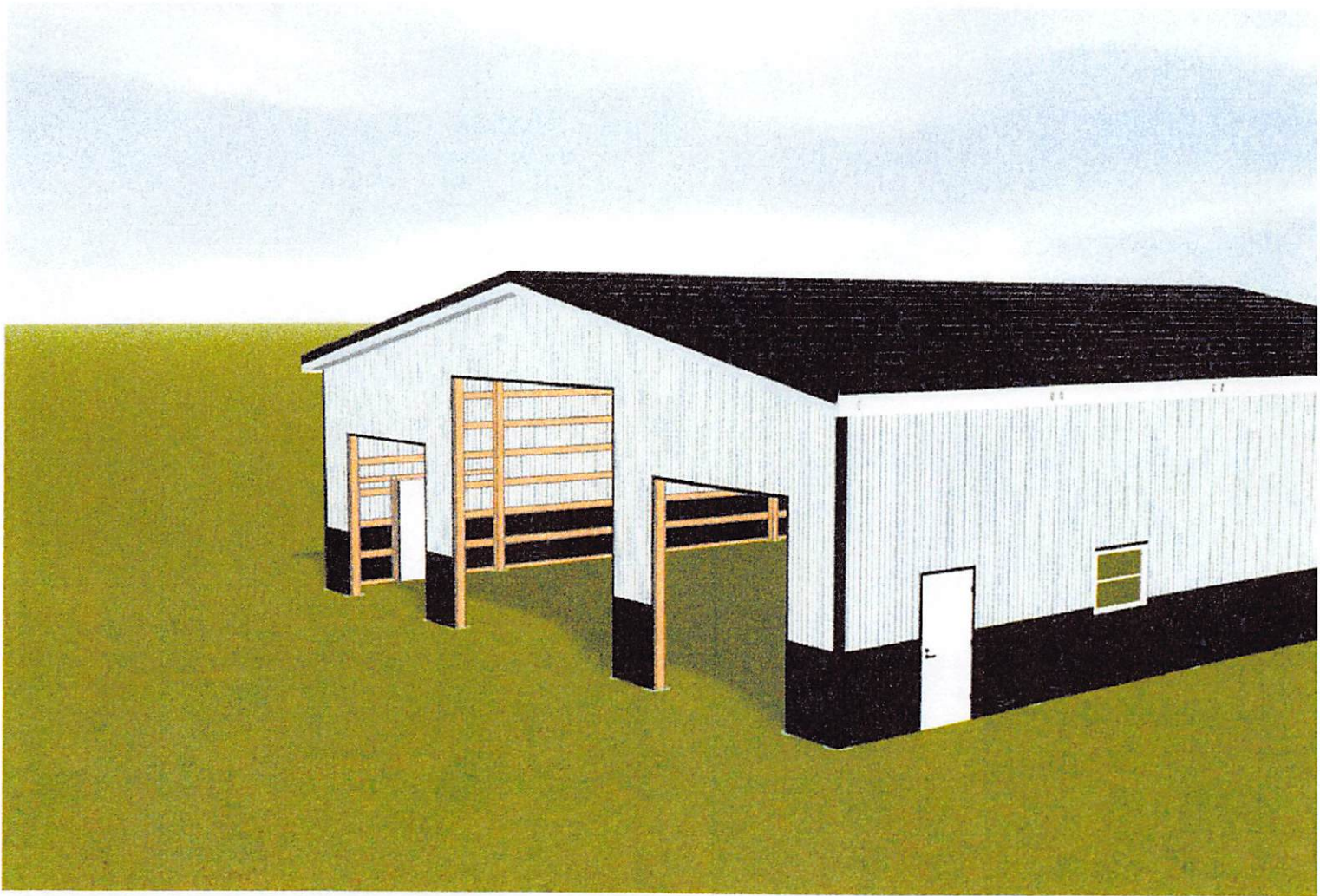
✓
9/27/18



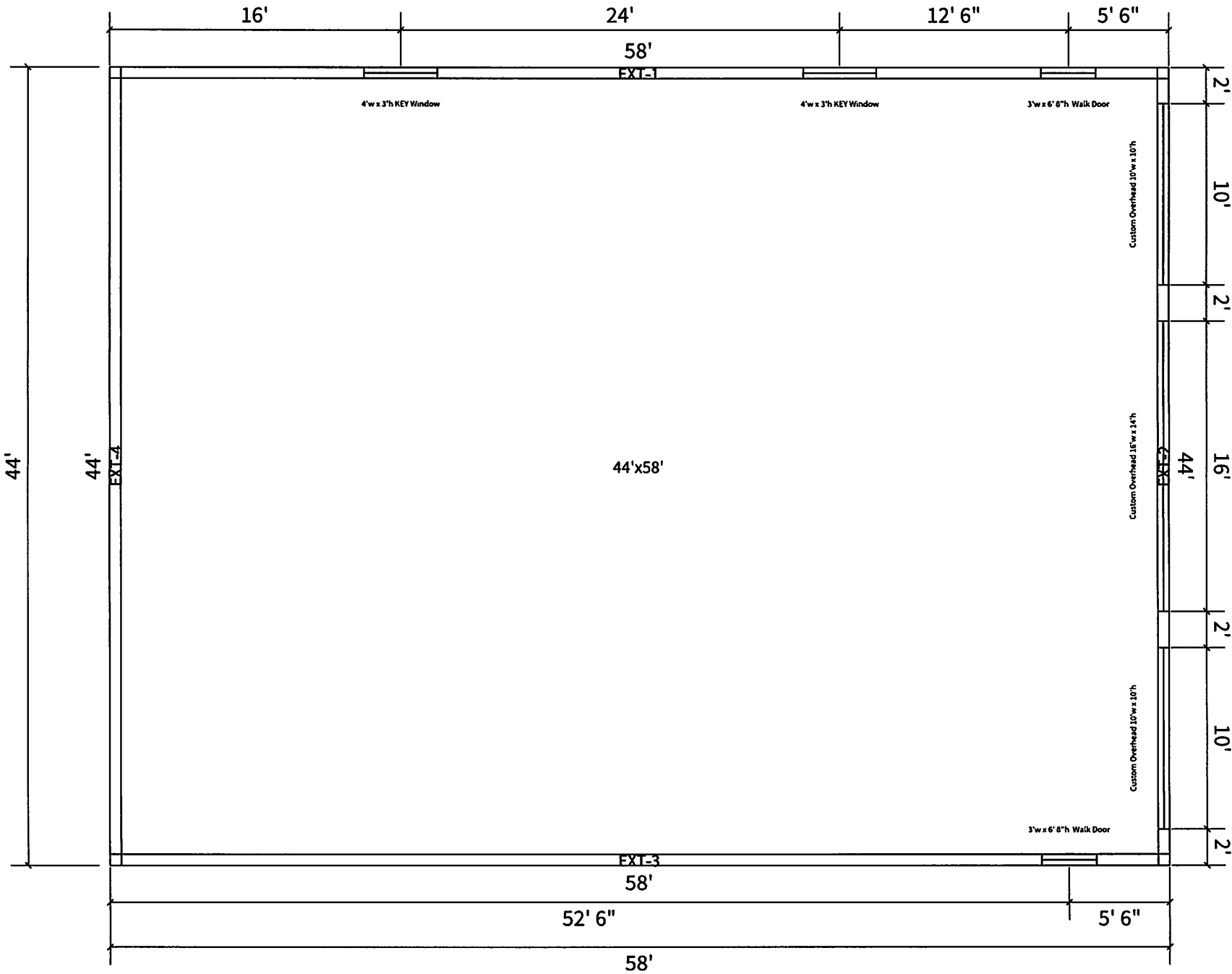
3375 North



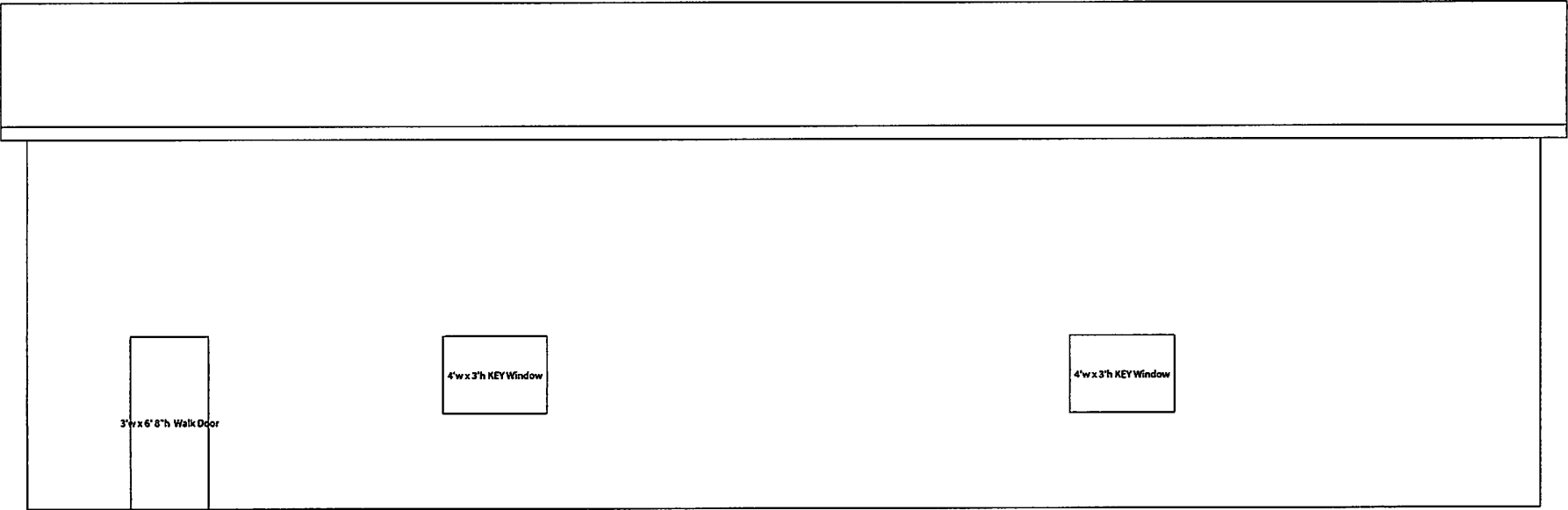
* Plot Plan
Lot 169 Remuda Court
2851 W 3375 N
Farr West City, UT 84404



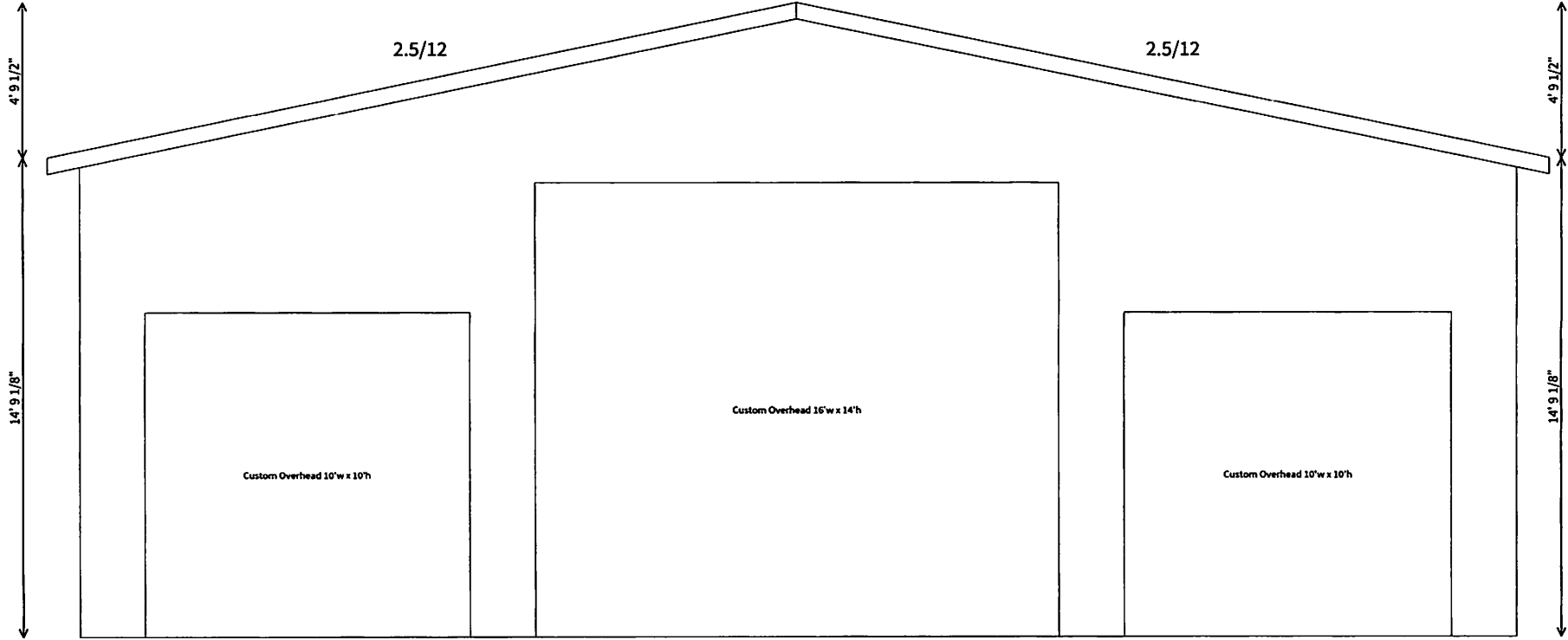
Wall Layout



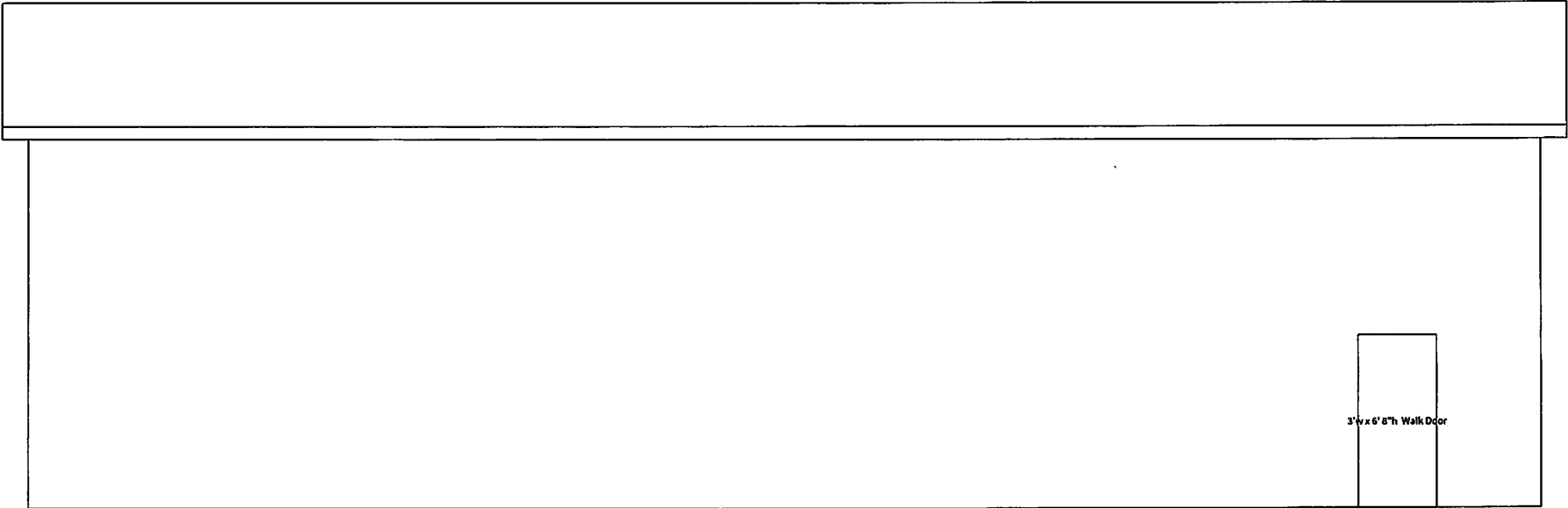
Left Elevation



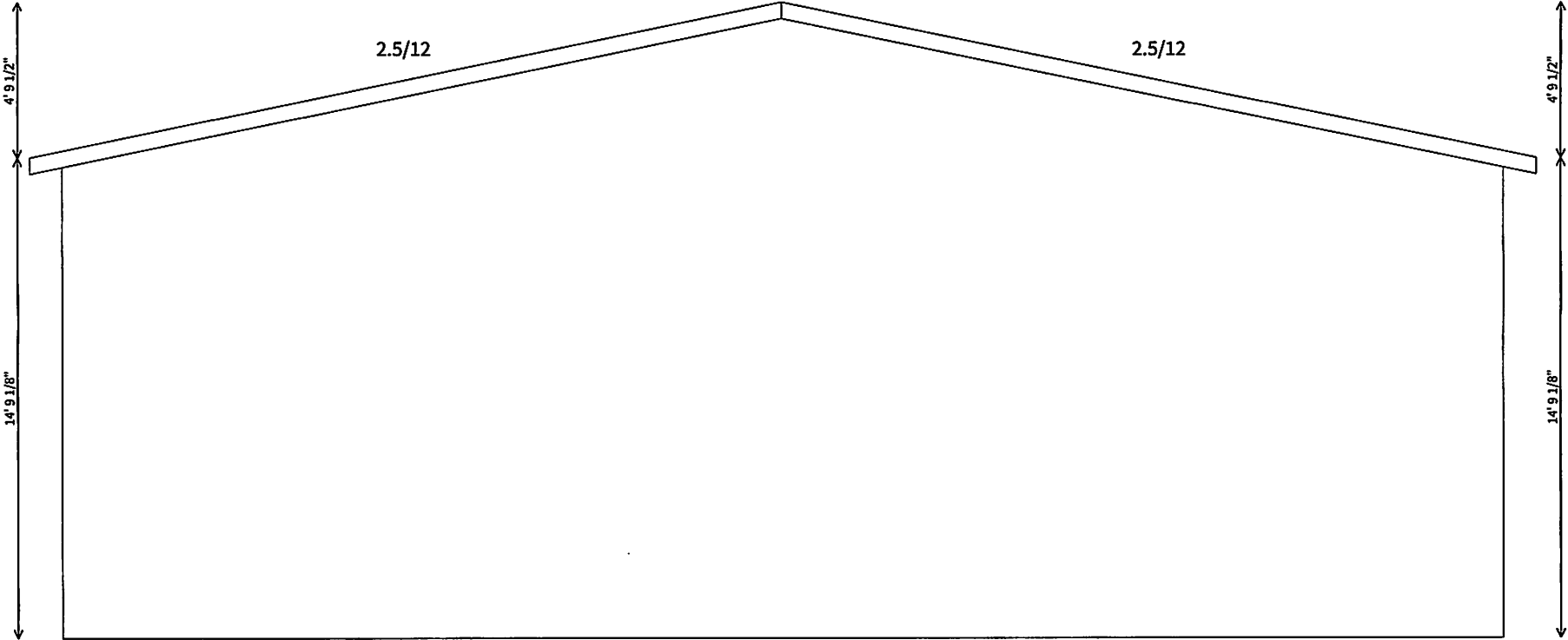
Front Elevation



Right Elevation



Back Elevation



Application for Site Plan Approval



1896 North 1800 West
Farr West, UT 84404
Phone – (801)731-4187
Fax – (801) 731-7732

Date Submitted: 15 August 2023

Applicant Name: Jeffrey S. Bailey Applicant Address: [REDACTED]

Phone: [REDACTED]

Business Name: Farr West Animal Hospital Application Number: _____

Business Address: 1400 N 2000 W Ogden Phone: 801-731-0511

Address and description of site being considered: Existing Animal Hospital
at 1400 N 2000 W Farr West. Planning
for an addition to the building.

Tax ID number of site being considered: _____

Current zoning of site: Commercial

FEE SCHEDULE

Application: \$100.00 Engineering Deposit: \$1,000.00

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- ☐ All proposed new development except single-family detached residences.
- ☐ All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- ☐ Issuance of a conditional use permit for new construction.
- ☐ New signs
- ☒ Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- ☐ All plans for earth sheltered dwellings.

The following information is required for site plan approval (check box next to all items submitted with application):

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- ☒ A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, **and** in an electronic PDF format.
- ☒ Lot dimensions and orientations: North arrow, etc.
- ☒ Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- ☒ Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- ☒ Indication of proposed use of buildings.
- ☒ All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- ☒ Height of all existing and proposed walls and fences and type of construction.
- ☒ Location and type of landscaping.
- ☒ All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- ☒ All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- ☒ Location, type, lighting and size of proposed and existing signs.
- ☒ Location, type and size of proposed and existing light poles.
- ☒ A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- ☒ One copy of a current county ownership plat showing the property and adjacent properties.
- ☐ Approval letter from Weber Fire District (801-782-3580).
- ☐ Approval letter from Bona Vista Water (801-621-0474).

If any of the above information is not being provided please indicate reasoning:

See attached

Answer the following questions as applicable: (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? _____

See attached

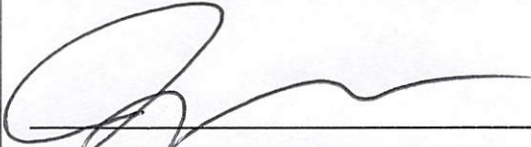
2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

See attached

Signature of Applicant:

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. **All** property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.



Owner Signature

JSB Building II, LLC

Print Name Jeffrey S. Bailey

Owner Signature

Print Name

I/We authorize _____ to act as my/our agent in all matters relating to this application.
(Print name)

Owner Signature

Print Name

Owner Signature

Print Name

Authorized Agent Signature

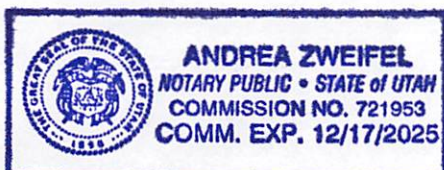
Signature of City Recorder/Clerk
(Not Required if Notarized)

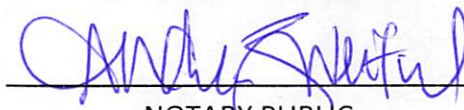
State of Utah)

§

Count of weber)

On this 15th day of August, in the year 2023, before me Andrea Zweifel,
a notary public, personally appeared Jeffrey S. Bailey, proved
on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument,
and acknowledge (he/she/they) executed the same. Witness my hand and official seal.





NOTARY PUBLIC

Notarizing a document is not a simple task. It is a responsibility that requires a high level of skill and knowledge. The notary public is responsible for ensuring that the document is properly executed and that the signers are who they claim to be.

The notary public is also responsible for maintaining a record of all documents notarized. This record is kept for a period of time and is available for review by the public. The notary public is also responsible for ensuring that the document is properly filed with the appropriate government agency.

[Signature]

228 B. ...
Office 2 ...

0/0000000000

0/0000000000

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0/0000000000

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0/0000000000

0/0000000000

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State of Utah)

§

County of _____)

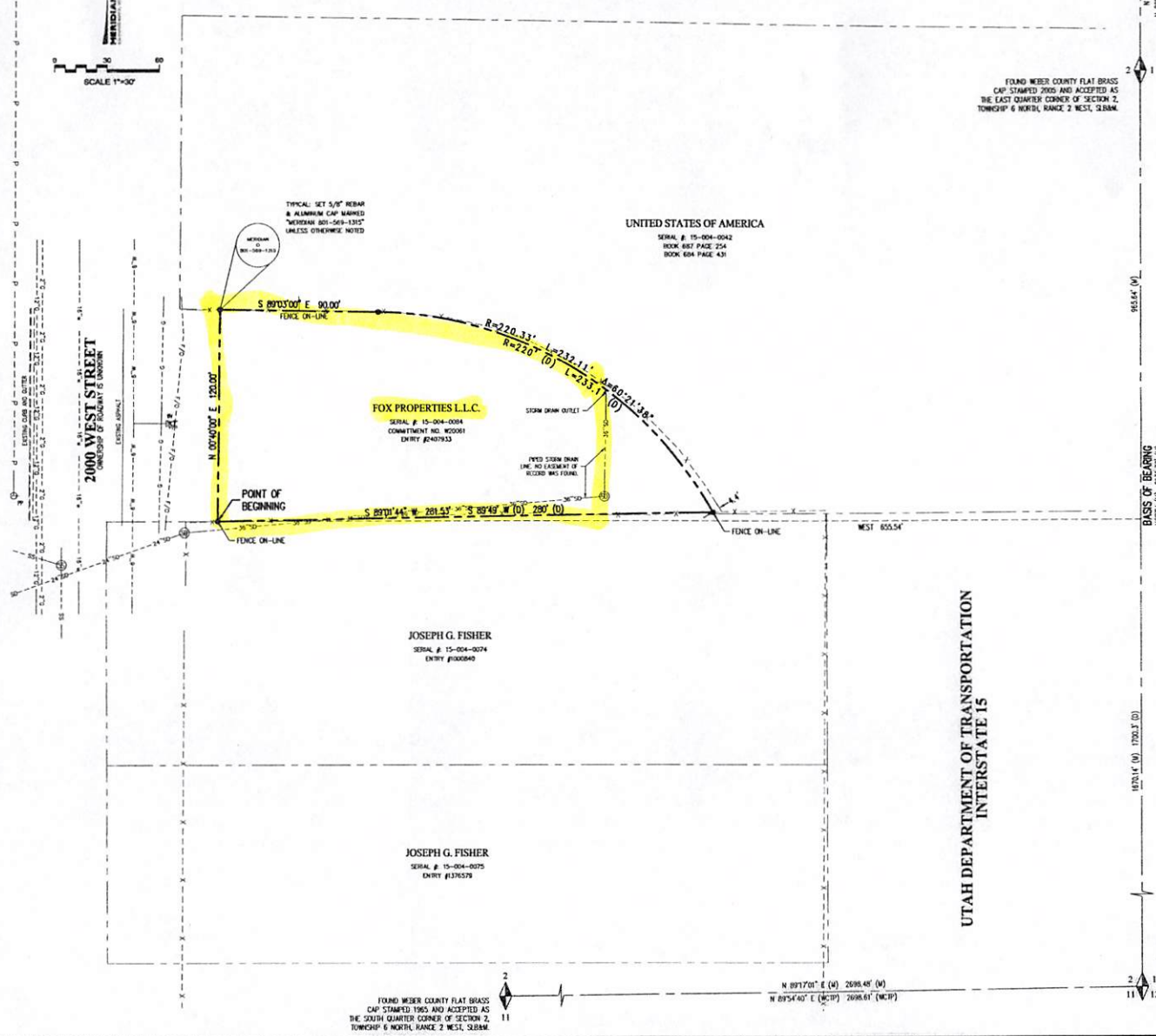
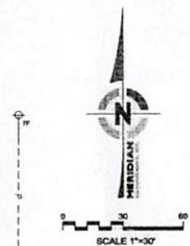
On this _____ day of _____, in the year _____, before me _____, a notary public, personally appeared _____, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.

NOTARY PUBLIC**For City Use:**

Fee received by: Andrea Zweifel Date received: 8.16.23
Receipt number: 2.013459 Cash/Check (circle one)
Date site plan received: 8.16.23 Received by: Andrea Zweifel
Date met with city engineer: _____ Signed: _____
Date engineer approved plan: 10/19/2023 Signed: Matt Robertson
Date planning commission approved: _____
Date city council approved (conditional use permit only): _____

RECORD OF SURVEY

LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER
OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN, U.S. SURVEY



SURVEYOR'S CERTIFICATE
I, MICHAEL W. NARVAL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, HOLDING CERTIFICATE NUMBER 4930744, AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT I HAVE DIRECTLY SUPERVISED A SURVEY OF THE PARCEL(S) OF LAND REPRESENTED HEREON AND HAVE BEEN SHOWN ON THE GROUND THE BOUNDARY CORNERS AS SHOWN ON THIS PLAT.



RECORD DESCRIPTION
ASPER TITLE AGENCY COMMITMENT FOR TITLE INSURANCE NUMBER: W00061
PART OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, BEGINNING AT A POINT ON THE EAST LINE OF STATE HIGHWAY 1200.3 FEET NORTH AND 855.54 FEET WEST FROM THE SOUTHEAST CORNER OF SAID QUARTER SECTION, RUNNING THENCE NORTH 0°47' EAST 120 FEET, MORE OR LESS, TO THE SOUTH LINE OF THE WILLARD CANAL, THENCE ALONG SAID CANAL SOUTH 89°57' EAST 90 FEET, MORE OR LESS, TO A POINT ON A 220-FOOT RADIUS CURVE, TO THE RIGHT, THENCE ALONG SAID CURVE 233.1 FEET (THE TANGENT TO THE CURVE AT THE POINT OF BEGINNING BEARS SOUTH 39°37' EAST) TO SOUTH LINE OF CANAL, THENCE SOUTH 89°57' WEST 280 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SURVEYOR'S NARRATIVE
IT IS THE INTENT OF THIS PLAT AND THE SURVEY ON WHICH IT IS BASED TO CORRECTLY REPRESENT THE BOUNDARY LINES AND PROPERTY CORNERS OF THE SURVEYED PARCEL, DESCRIBED HEREON. THE BASIS OF BEARING FOR THIS SURVEY IS NORTH ALONG THE MONUMENT LINE BETWEEN THE FOUND MONUMENTS REPRESENTING THE SOUTHEAST CORNER AND THE EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN. THE FIELD DATA FOR THIS SURVEY WAS COLLECTED ON JANUARY 10, 2000.

AFTER OBTAINING SUFFICIENT FIELD EVIDENCE AND DOCUMENTATION FROM THE WEIR COUNTY RECORDER/SURVEYOR, IT IS APPARENT TO THE SURVEYOR THAT THERE IS A MATHEMATICAL ERROR IN THE POINT OF BEGINNING FOR THE VESTING PROPERTY. USING FIELD EVIDENCE AND ADJOINER DEED INFORMATION, THE SURVEYOR WAS ABLE TO RE-TRACE THE POSITION OF THE PARCEL ON THE GROUND AS SHOWN, ALSO USING FIELD EVIDENCE AND ADJOINER DEED INFORMATION. THE SURVEYOR WAS ABLE TO DETERMINE THE PLACEMENT OF THE CURVE ALONG THE NORTHEASTERLY SIDE OF THE VESTING PARCEL, AS WELL AS THE SOUTHERLY LINE OF THE PARCEL. ALL OTHER LINES SHOWN HEREON WERE PLACED USING RECORD INFORMATION AS SHOWN IN THE VESTING DEED. ALL CURVES IN THE CURRENT VESTING DEED HAVE A MORE OR LESS CALL EXCEPT THE CURVE ALONG THE NORTHEASTERLY PORTION OF THE PARCEL, BECAUSE OF THE INCONSISTENCIES AND MATHEMATICAL ERRORS OF THE CURRENT VESTING DEED, THE SURVEY HAS COMPLETED A SURVEYED DESCRIPTION SHOWN BELOW. THIS LEGAL DESCRIPTION INCLUDES DECS TO THE WILLARD CANAL AS WELL AS 2000 WEST STREET.

AS PART OF THIS SURVEY, MERIDIAN HAS CONDUCTED FIELD SEARCHES FOR EVIDENCE AND MONUMENTATION. FOUND EVIDENCE AND MONUMENTATION IS REPRESENTED HEREON. EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS PART OF THIS SURVEY IS NOTED BELOW. THERE MAY EXIST OTHER EVIDENCE, MONUMENTATION AND DOCUMENTS THAT COULD AFFECT THIS SURVEY. ANY NEW EVIDENCE, MONUMENTATION OR DOCUMENTS CONTRASTING TO THIS SURVEY SHOULD BE PRESENTED TO THE SURVEYOR FOR HIS REVIEW AND CONSIDERATION.

1. TITLE COMMITMENT FROM ASPEN TITLE INSURANCE AGENCY HAVING A COMMITMENT NUMBER OF W00061.
2. QUIT-CLAIM DEED IN FAVOR OF FOX PROPERTIES, L.L.C. ENTRY NO. 2407933.
3. WEIR COUNTY RECORDER/SURVEYOR'S TOWNSHIP PLAT, T.6N, R.2W, S.28E.
4. WEIR COUNTY RECORDER/SURVEYOR'S OWNERSHIP PLAT, SEC. 2, T.6N, R.2W, S.28E.
5. MONUMENT DATA SHEETS FOR THE SOUTH QUARTER, THE SOUTHEAST CORNER, THE EAST QUARTER, AND THE NORTHEAST CORNER OF SEC. 2, T.6N, R.2W, S.28E.

SURVEYED DESCRIPTION
A PARCEL OF LAND SITUATE IN THE NE1/4, SEC. 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. THE BOUNDARIES OF SAID PARCEL ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE LASTERLY RIGHT OF WAY LINE OF 2000 WEST STREET, SAID POINT IS 1074.14 FEET NORTH ALONG THE SECTION LINE AND 855.54 FEET WEST FROM THE SOUTHEAST CORNER OF SAID SECTION 2 (NOTE: BASIS OF BEARING IS NORTH ALONG THE SECTION LINE BETWEEN THE FOUND MONUMENTS REPRESENTING THE SOUTHEAST CORNER AND THE EAST QUARTER CORNER OF SAID SECTION 2), AND RUNNING THENCE NORTH 0°47'00" EAST 120.00 FEET ALONG SAID EASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY LINE OF THE WILLARD CANAL; THENCE ALONG SAID SOUTHERLY LINE SOUTH 89°57'00" EAST 90.00 FEET TO A POINT ON THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 220.33 FEET, THENCE CONTINUING ALONG SAID SOUTHERLY LINE AND ALONG THE ARC OF SAID CURVE 232.11 FEET THROUGH A CENTRAL ANGLE OF 60°27'30" (NOTE: CHORD BEARS SOUTH 59°06'39" EAST 221.53 FEET), THENCE SOUTH 89°57'00" EAST 280.53 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 26.335 SQUARE FEET IN AREA OR 0.60 ACRE, MORE OR LESS.

- GENERAL NOTES**
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, EASING OF STRAIGHT LINES OR LIMITS, RESTRICTIVE COVENANTS, SUPERSEDER RESTRICTIONS, PERMITTING ISSUES, ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS THAT A CURRENT TITLE COMMITMENT AND RECORD MAY DISCLOSE.
 - THIS PLAT AND THE SURVEY ON WHICH IT IS BASED IS VALID ONLY IF THE SURVEYOR'S SEAL AND SIGNATURE IS PRESENT. THE ORIGINAL PLAT WAS SEALED IN BLUE INK.
 - THIS SURVEY DISCLOSES BOUNDARY LINES AND PROPERTY CORNER LOCATIONS ONLY. OTHER THAN SHOWN ON THIS PLAT, NO ATTEMPT HAS BEEN MADE AS PART OF THIS SURVEY TO SHOW THE EXISTENCE OF ANY BUILDING, STRUCTURE, DRIVE, WALK, ASPHALT, CONCRETE, FENCING OR ANY OTHER SURFACE OR SUBSURFACE STRUCTURE OR IMPROVEMENT.
 - THE LOCATIONS OF UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS AS SHOWN HEREON ARE BASED ON ABOVE GROUND APPEARANCES VISIBLE AT THE TIME OF THE SURVEY. EXACT LOCATIONS OF UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS MAY EXIST.
 - LAND USE REGULATIONS AND CURRENT ZONING REQUIREMENTS OR RESTRICTIONS HAVE NOT BEEN DETERMINED AND ARE NOT A PART OF THIS SURVEY.
 - ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS, FACILITIES, DEPOSITS OR DISPOSALS THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
 - FLOOD AND CARQUADRAE ZONES HAVE NOT BEEN DETERMINED AS PART OF THIS SURVEY.
 - UNLESS OTHERWISE SHOWN, THE OWNERSHIP OF ROADS IS NOT KNOWN TO THE SURVEYOR.
 - THE WORDS "CERTIFY" AND "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS DISCLOSED TO THE SURVEYOR OR INFORMATION IN POSSESSION OF THE SURVEYOR AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF LEGAL OWNERSHIP, EXPRESSED OR IMPLIED.

- UNLESS OTHERWISE NOTED, SET 5/8" BY 24" REBAR AND ALUMINUM CAP WITH THE STAMPING: "WEIRMAN 801-569-1315".
- FOUND MONUMENT AS NOTED.
- BEARING AND/OR DISTANCE DATA TAKEN FROM ACTUAL SURVEYED MEASUREMENTS.
- BEARING AND/OR DISTANCE DATA TAKEN FROM VESTING DEED AND TITLE COMMITMENT.
- (NCTP) BEARING AND/OR DISTANCE DATA TAKEN FROM WEIR COUNTY TOWNSHIP PLAT.

LEGEND	
---	BOUNDARY LINE
---	SECTION LINE
---	ADJOINER LINE
---	POWER LINE
---	STORM DRAIN LINE
---	SEWER LINE
---	FIBER OPTIC LINE
---	WATER LINE
---	EXISTING WIRE FENCE
---	CLUB & GUTTER
---	POWER POLE
---	SANITARY SEWER MANHOLE
---	STORM DRAIN MANHOLE
---	WATER VALVE
---	FIRE HYDRANT



FOUND WEIR COUNTY PLAT BRASS
CAP STAMPED 1965 AND ACCEPTED AS
THE SOUTHWEST CORNER OF SECTION 2,
TOWNSHIP 6 NORTH, RANGE 2 WEST, S.28E.

004426
Received
MAR - 9 2000

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SURVEYED: JEN
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WWW.MERIDIANUTAH.COM

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35 NORTH REDWOOD ROAD
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WWW.MERIDIANUTAH.COM

RECORD OF SURVEY
APPROXIMATELY 1400 NORTH 2000 WEST
FARWATER, UTAH 84404

COMP. FH
09085-RO
PROJECT?
09085
SHEET NO
1 OF 1



To Whom It May Concern:

Thank you for your consideration of this project. I am submitting this packet for Site Plan approval. I have included all necessary documents except the letter from Weber Fire District and from Bona Vista Water as there is already existing service at the building.

We have been serving the Farr West and surrounding communities for the past 13 years and have enjoyed great support throughout the community. We are bursting at the seams and need more room to continue to offer our services effectively. We purchased 40 feet of property to the south of our existing property to expand our parking and we have designed an addition to the east end of our existing building to house more exam rooms, a larger reception and more room for our grooming services. We approximately double our parking area with similar flow to our previous parking.

To the north we have the canal. Our neighbors to the south are proposing a senior living center and we will share access to the road to minimize traffic congestion. They are fully supportive of our plans. The style, colors and landscaping will be done to match the existing structure. Trees that were removed on the south of our parking will be replaced as part of the project.

Thank you all for the support from Farr West City and its residents. We look forward to many more years of service. Please contact me if you have any questions regarding this application.

Sincerely,

Jeffrey S. Bailey DVM

MEMORANDUM



CONSULTING ENGINEERS

TO: Farr West City Planning Commission and City Council

FROM: Matt Robertson, P.E.
City Engineer

RE: **ANIMAL HOSPITAL ADDITION AND PARKING LOT EXPANSION
Site Plan Review**

Date: October 18, 2023

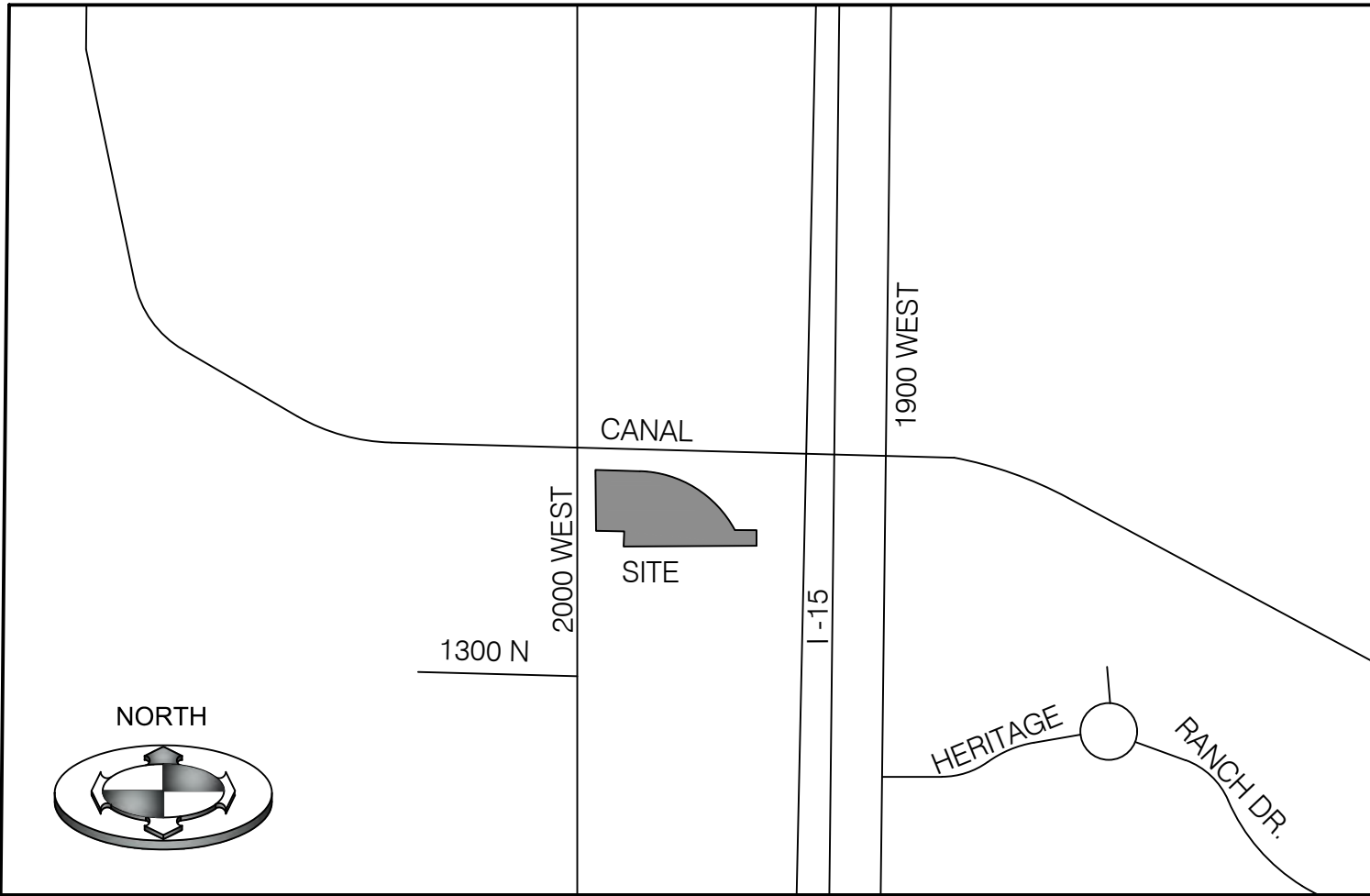
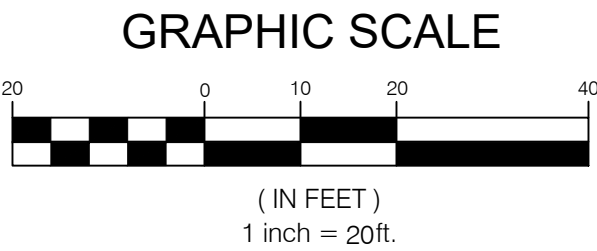
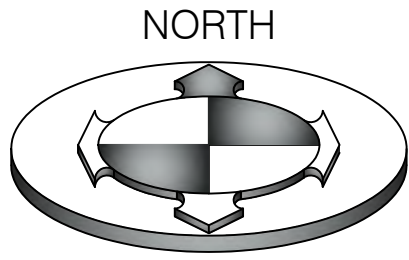
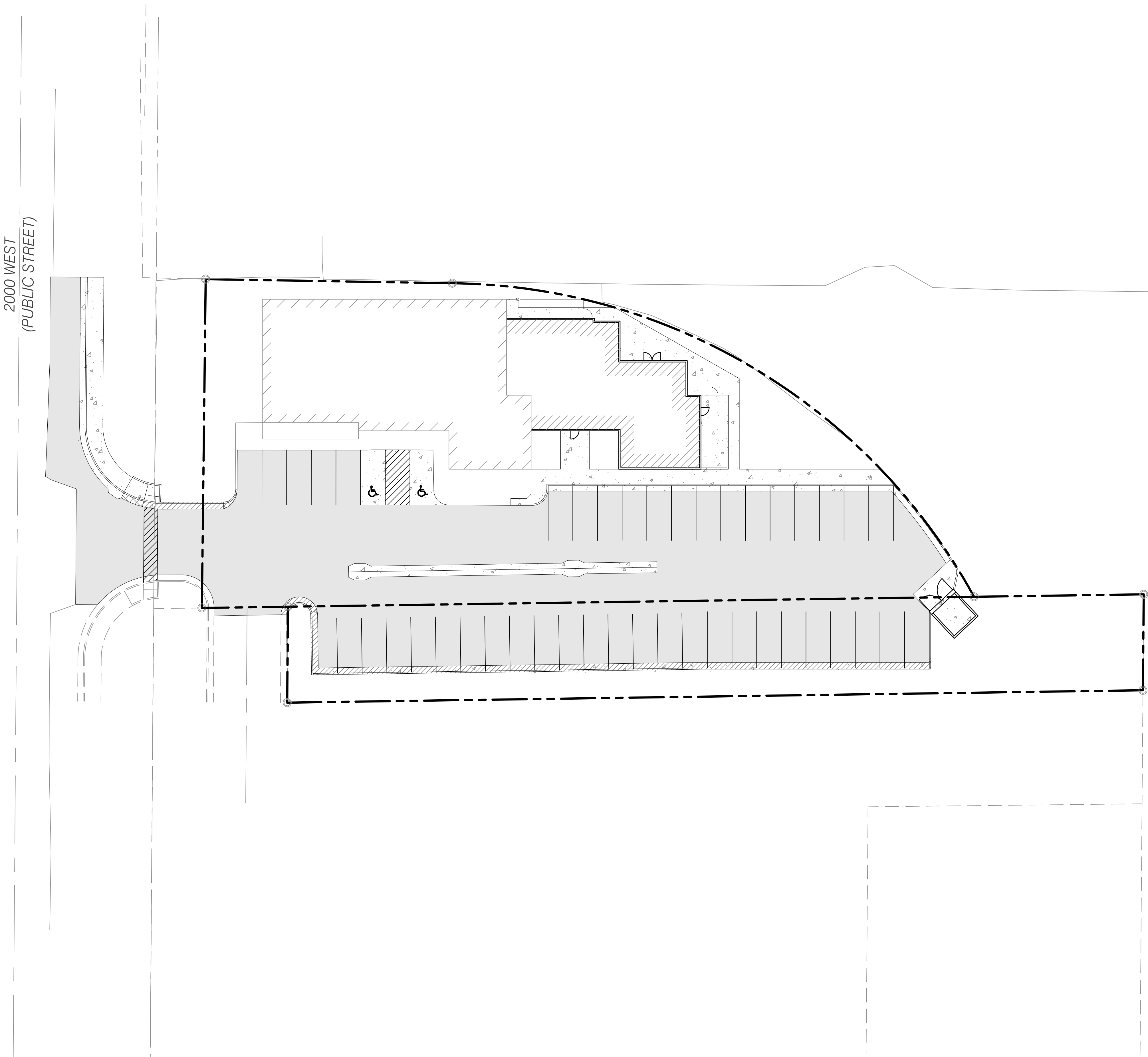
Our office has completed a review of the site plan for the Farr West Animal Hospital Addition located at 1400 North 2000 West. The project includes the addition of 2,689 SF of building onto the back of the existing building and the redesign and expansion of their parking lot. The existing landscaping area with trees along the south side of the parking lot will be relocated on the south side of the expanded parking lot. We recommend approval of the site plan with the following comments:

1. The Contractor will need to obtain an encroachment permit from UDOT before beginning work in their right of way.
2. A pre-construction conference with the Developer and their Contractor should be held with the City and utility providers prior to beginning any construction.

Please let me know if you have any further questions.

FARR WEST ANIMAL HOSPITAL ADDITION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 2,
TOWNSHIP 6 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN
1400 N 2000 W
FARR WEST, WEBER COUNTY, UTAH



VICINITY MAP
N.T.S

OWNER/DEVELOPER:
JEFFREY BAILEY
801-648-6553
desertzookeeper@aol.com

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CDP.01	DEMO PLAN
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

PRELIMINARY CIVIL PLANS
NOT FOR CONSTRUCTION

10/13/23
No. 11366633
ALLISON G.
ALBERT
STATE OF UTAH

**BENCHMARK
ENGINEERING &
LAND SURVEYING**
9138 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

FARR WEST ANIMAL HOSPITAL 1400 N 2000 W FARR WEST, UTAH		DRAFT HT	DESIGN DZN	CHECK AGA	PROJECT NO. 2305068
No.	DATE	DESCRIPTION			
1	10/13/2023	REVISED PER CITY COMMENTS			

COVER

1 OF 10

LINETYPES:	
NEW	EXISTING

CONSTRUCTION NOTES

RESPONSIBLE DISTRICTS OR AGENCIES AND APPLICABLE STANDARDS

CITY OR COUNTY: FARR WEST CITY, WEBER COUNTY

WATER UTILITY COMPANY: BONA VITA WATER IMPROVEMENT DISTRICT (BWID)

SEWER: CENTRAL WEBER SEWER DISTRICT (CWS)

STORM DRAIN/GROUNDWATER: WEBER COUNTY STORMWATER MANAGEMENT DIVISION (WCSMD)

ELECTRICAL: ROCKY MOUNTAIN POWER

TELEPHONE: CENTURY LINK

NATURAL GAS: DOMINION ENERGY

APPLICABLE STANDARDS: APWA 2017 STANDARDS



NOTE:

IN THE EVENT THAT THE CONSTRUCTION NOTES CONFLICT WITH RESPONSIBLE DISTRICT OR AGENCY STANDARDS, NOTES AND SPECIFICATIONS, THE DISTRICT OR AGENCY STANDARD NOTES AND SPECIFICATIONS GOVERN.

CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR IDENTIFICATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AN HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

SYMBOLS:

NEW	EXISTING	
		SECTION CORNER (FOUND)
		SECTION CORNER (NOT FOUND)
		STREET MONUMENT (FOUND)
		STREET MONUMENT (NOT FOUND)
		BRASS CAP MONUMENT
		POWER POLE & OVERHEAD POWER
		LIGHT POLE
		GUY WIRE
		TELEPHONE MANHOLE
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		CATCH BASIN
		DIRECTION OF DRAINAGE
		WATER MANHOLE
		WATER VALVE
		FIRE HYDRANT
		IRRIGATION VALVE
		GAS MANHOLE
		TREE

ABBREVIATIONS

BC	BAR & CAP	PUE	PUBLIC UTILITY EASEMENT
BOW	BOTTOM OF VISIBLE WALL	R	RADIUS OF CURVE
COR	SECTION CORNER	RR	RAILROAD
CB	CATCH BASIN	ROW	RIGHT-OF-WAY
CF	CUBIC FEET	RWW	RIGHT-OF-WAY
D	DELTA ANGLE	SSMH	SEWER MANHOLE
EG	EXISTING GROUND	SD	STORM DRAIN
EOA	EDGE OF ASPHALT	SF	SQUARE FEET
EOC	EDGE OF CONCRETE	TBC	TOP BACK OF CURB
EX	EXISTING	TMH	TELEPHONE MANHOLE
FF	FINISH FLOOR ELEVATION	TOA	TOP OF ASPHALT
FG	FINISHED GRADE	TOC	TOP OF CONCRETE
FL	FIRE HYDRANT	TOF	TOP OF FOOTING
FL	FLOW LINE	TOE	TOE OF SLOPE
FG	GRADE BREAK	TOG	TOP OF GRATE
GW	GUY WIRE	TOP	TOP OF SLOPE
HW	HEAD WALL	TOW	TOP OF WALL
IE	INVERT ELEVATION	TR	TELEPHONE RISER
LP	LENGTH OF CURVE	UGP	UNDERGROUND POWER
L	LIP OF CURB	VPC	VERTICAL POINT OF
LF	LINEAR FEET		CURVATURE
LP	LOW POINT	VPI	VERTICAL POINT OF
M-M	MONUMENT TO MONUMENT		INTERSECTION
MH	MANHOLE	VPT	VERTICAL POINT OF TANGENCY
MON	SURVEY MONUMENT	WM	WATER METER
OHP	OVERHEAD POWER	WV	WATER VALVE
PVC	POINT OF CURVATURE		
PI	POINT OF INTERSECTION		
PP	POWER POLE		
PVT	POINT OF TANGENCY		

GENERAL

 - ALL MATERIALS AND CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
 - CONTRACTOR AND APPLICABLE SUBCONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND PERIODIC PROGRESS MEETINGS. PRIOR TO ANY WORK BEING PERFORMED, THE CONTRACTOR SHALL CONTACT RESPONSIBLE DISTRICT OR AGENCY FOR A PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE PROJECT CONTACTS (48 HOURS IN ADVANCE OF S&D MEETING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC SAFETY AND OSHA STANDARDS.
 - THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, THE GEOLOGY REPORTS AND THE SITE CONDITIONS PRIOR TO CONTRACTOR SHALL INSPECT THE SITE OF WORK PRIOR TO BEGINING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

5. ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) MANUAL OF STANDARD SPECIFICATIONS 2017 EDITION AND THE MANUAL OF STANDARD PLANS 2017 EDITION, SAD STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.

6. THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT THE PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS REQUIRED FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR REGULAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH REGULAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAY EASEMENTS, AND/OR PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHT-OF-WAY OR EASEMENTS FROM THE CITY AND/OR UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMUNICATING THE WORK, OR AS REQUIRED BY S&D PERMITS.

8. CONCRETE PLACEMENTS SHALL BE CONTINUOUS BETWEEN CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL BE PLACED FOR SLAB-ON-GRADE SUCH THAT THE MAXIMUM DISTANCE BETWEEN JOINTS IS 20 FEET IN EITHER DIRECTION FOR LIGHT DUTY TRAFFIC AND 12 FEET IN EITHER DIRECTION FOR HEAVY DUTY TRAFFIC.

9. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEERS INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

10. ALL WORK OUTSIDE THE SCOPE OF THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RESPONSIBLE DESIGN. THESE PLANS DO NOT REPLACE ANY STRUCTURAL, ARCHITECTURAL, OR MECHANICAL PLANS. SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ANOTHER PLAN SET, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT BOTH PARTIES TO DETERMINE WHAT SHOULD BE CONSTRUCTED.

11. ALL STAIRS AND RAILINGS ARE DESIGNED BY OTHERS AND MUST COMPLY WITH THE ADA STANDARDS FOR ACCESSIBLE DESIGN. SAD STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

13. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE OR REPAIRS. EXISTING IMPROVEMENTS SHALL BE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS. SAD FACILITIES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE. AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

14. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LUMINAIRES, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

15. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATION REFINES AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

UTILITIES

 - CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY LOCAL, COUNTY, STATE, AND INDIVIDUAL UTILITY CODES.
 - ALL UTILITIES INSTALLED IN ACCORDANCE WITH THE RESPONSIBLE DISTRICTS OR AGENCIES STANDARDS AND SPECIFICATIONS.

18. COORDINATE ALL SERVICE LATERAL AND BUILDING CONNECTIONS WITH CORRESPONDING ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWING FOR LOCATION AND ELEVATION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED.

19. ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE TO BE PRECAST CONCRETE FROM APPROVED LOCAL MANUFACTURER UNLESS OTHERWISE NOTED, AND COMPLY WITH CITY/COUNTY STANDARD.

20. ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR ADS HOPE PIPE OR EQUAL UNLESS OTHERWISE NOTED.

21. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.

22. ALL GAS LINES TO BE HOPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.

23. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO - FUSION TECHNOLOGY.

24. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.

25. NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.

26. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE AND SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.

27. PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING, AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.

28. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDINGS TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.

29. ACTUAL CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED PRIOR TO THE COMPLETION OF STERILIZATION AND TESTING OF NEW WATER MAINS. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF THE CITY/COUNTY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

30. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE, TESTED, AND APPROVED BY AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, AND STREET PAVING.

31. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES FOR THE INSTALLATION OF ALL NEW AND THE REMOVAL, RELOCATION, AND/OR BURIAL OF ALL EXISTING DRY UTILITIES INCLUDING BUT NOT LIMITED TO POWER, GAS, AND COMMUNICATION LINES. IF THERE IS A CONFLICT WITH AN EXISTING DRY UTILITY THE CONTRACTOR SHALL COORDINATE THE REMOVAL OR RELOCATION OF THE EXISTING UTILITY WITH THE RESPONSIBLE DISTRICT OR AGENCY. ALL WORK FOR DRY UTILITIES SHALL BE COORDINATED WITH AND COMPLETED TO THE STANDARDS AND REQUIREMENTS OF THE RESPONSIBLE DISTRICT OR AGENCY.

SEWER

 - ALL SEWER LINE TO BE FLUSHED, PRESSURE TESTED TO 5 PSI VIDEO INSPECTED AND OTHERWISE TESTED IN ACCORDANCE WITH DISTRICT STANDARDS PRIOR TO PLACING IN SERVICE.
 - ALL SEWER PIPES ARE TO BE SDR-35 PVC PIPE.

34. SEWER MANHOLES, LATERALS AND CLEANOUTS TO BE INSTALLED PER RESPONSIBLE DISTRICT OR AGENCY STANDARDS. THE UNIT COST OF THE SEWER LATERAL INCLUDING CONNECTION TO THE SEWER MAIN, THE CLEANOUT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.

35. SEWER CLEANOUTS MUST BE INSTALLED AT A MINIMUM OF EVERY 50 L.F. FOR 4 INCH Ø LATERALS AND EVERY 100 L.F. FOR 6 INCH Ø LATERALS, OR PER THE RESPONSIBLE DISTRICT OR AGENCY STANDARDS, WHICHEVER IS MORE FREQUENT.

36. A SEWER CLEANOUT MUST BE INSTALLED 5 L.F. TO 10 L.F. FROM ANY PROPOSED STRUCTURE, OR PER THE RESPONSIBLE DISTRICT OR AGENCY STANDARDS.

37. ALL SEWER LATERAL BENDS AND ANGLES TO BE INSTALLED AS SWEEPING BENDS WITH SEWER CLEANOUTS.

38. DURING CONSTRUCTION OF THE SEWERLINE, WHYS NEED TO BE INSTALLED FOR THE LATERALS, LATERALS ARE 4" AND NEED TO COME IN AT THE TOP OF THE PIPE WITH A WYE. (SEE RESPONSIBLE DISTRICT OR AGENCY STANDARDS)

39. IT IS THE INTENT ON THESE PLANS THAT ALL SEWER PIPES SHALL SLOPE TO AN EXISTING SEWER CONNECTION VIA GRAVITY FLOW. CONTRACTOR TO START AT THE LOW END OF GRAVITY UTILITY LINES AND VERIFY THAT ALL INVERT ELEVATIONS PROVE SLOPE TO EXISTING CONNECTION VIA GRAVITY. SLOPES MUST MEET OR EXCEED THE SEWER DISTRICT OR AGENCYS LIMITS. NOTIFY ENGINEER IF THERE ARE DISCREPANCIES THAT WOULD CAUSE THE SEWER UTILITY NOT TO DRAIN VIA GRAVITY ON THE SITE.

WATER

40. WATERLINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10" HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR TEN FEET HORIZONTAL SEPARATION FROM SEWERLINE.

41. ALL WATERLINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 8"-1/2" MINIMUM UNLESS OTHERWISE NOTED.

42. WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUT-OFF VALVE IN BOX NEAR BUILDING EDGE.

43. ALL WATERLINES SHALL BE 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS. ALL WATER LINES SHALL BE LOOPEO AROUND GRASSY LINES OR HOPEO PER RESPONSIBLE DISTRICT OR AGENCY INSPECTOR.

44. CONTRACTOR TO NOTIFY RESPONSIBLE DISTRICT OR AGENCY FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HRS. MINIMUM WITH 25 PSI RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH RESPONSIBLE DISTRICT OR AGENCY. ALL TESTS TO BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.

45. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4 INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 8" LINE VALVE, AND HYDRANT COMPLETE TO MEET RESPONSIBLE DISTRICT OR AGENCY STANDARDS, UNLESS OTHERWISE NOTED ON PLANS.

EXISTING UTILITIES

46. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN OR NOT SHOWN. THE INFORMATION SHOWN ON THE PLANS WITH REGARDS TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATION AND/OR RECORD INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE FACILITIES SHOWN AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. PRIOR TO CONSTRUCTION OR FABRICATION, IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES SO, THAT THE EXACT LOCATION, ELEVATION, MATERIAL, ETC. CAN BE VERIFIED AND DOCUMENTED, THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION BE MADE PRIOR TO CONSTRUCTION.

47. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO HAVE EACH UTILITY COMPANY STATE IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FLUSH OR NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTORS SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

48. ALL MANHOLE RIMS, LAMPHOLES, VALVE BOX COVERS, MONUMENT BOXES AND CATCH BASIN GRATES ARE TO BE ADJUSTED TO FIT THE FINISHED GRADE AFTER PAVING, UNLESS OTHERWISE NOTED. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR S&D FACILITIES.

49. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL PIPES, WALLS, ETC. ARE ADEQUATELY BRACED DURING CONSTRUCTION.

CLEARING AND GRADING

50. CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH APWA 2017 STANDARD DRAWINGS AND STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.

51. THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.

52. SUBSOIL INVESTIGATIONS MUST BE CONDUCTED AT THE SITE OF THE WORK. ALL FOOTING, FOUNDATION OR STRUCTURAL WALL CONSTRUCTION MUST ADHERE TO THE RECOMMENDATIONS DETAILED BY THE PROFESSIONAL REPORT OF THESE INVESTIGATIONS, CREATED BY A LICENSED GEOTECHNICAL ENGINEER.

53. SOIL INVESTIGATIONS MUST BE CONDUCTED BY A LICENSED GEOTECHNICAL ENGINEER FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION OF THE CONTRACTOR OF DATA. SUCH PROJECTION OR EXTRAPOLATION FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK. SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL, AND EXTENT OF UNDERGROUND WATER TO BE SUFFICIENT CONDITIONS DURING CONSTRUCTION OPERATIONS.

54. ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT STRUCTURAL SECTION FOR TOP OF SUB GRADE ELEVATIONS.

55. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.

56. UNSUITABLE MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC., SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER (AND/OR ENGINEERING GEOLOGIST, WHERE EMPLOYED) FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES.

57. NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY OWNER.

THE EXISTING TOPOGRAPHY ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY BENCH-MARK ENGINEERING AND LAND SURVEYING ON 06/16/2023 AND MAY HAVE BEEN MODIFIED SINCE THIS SURVEY WAS PERFORMED.

59. FILLS IN EXCESS OF 4 FEET IN THICKNESS AND BENEATH ALL FOUNDATIONS OR PAVEMENT SECTIONS SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 COMPACTION CRITERIA. ALL OTHER STRUCTURAL FILLS LESS THAN 4 FEET IN THICKNESS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE ABOVE CRITERIA. REFERENCE THE GEOTECHNICAL REPORT.

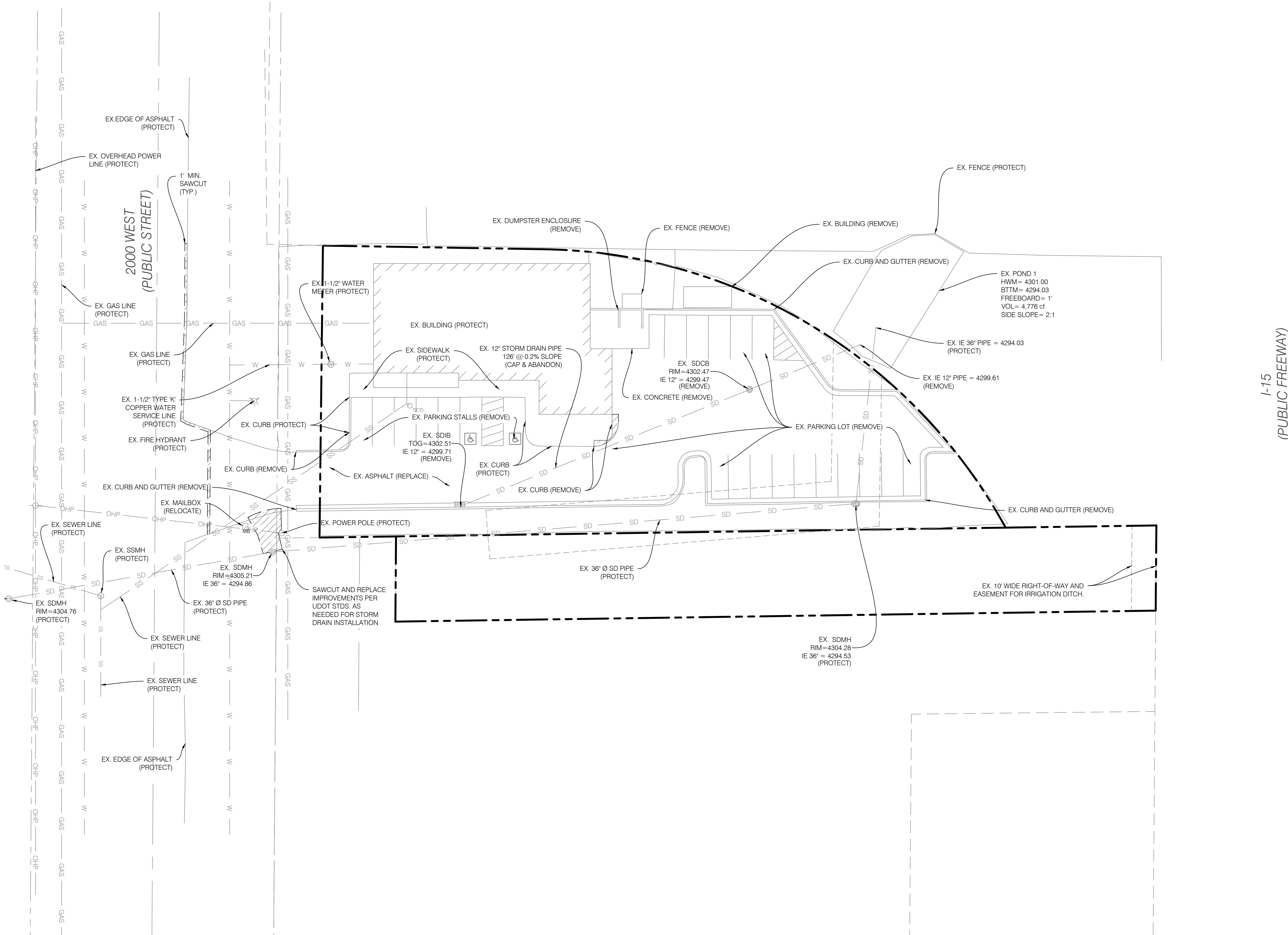
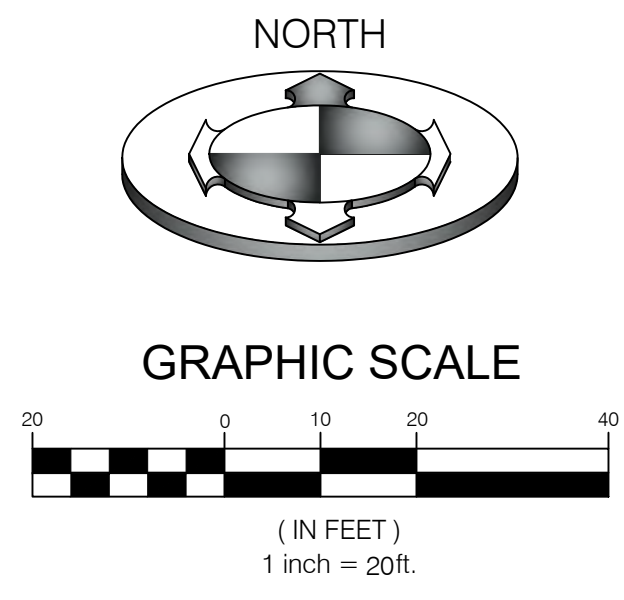
60. CONTRACTOR TESTING WILL BE ACCOMPLISHED BY THE CONTRACTOR, OR THE CONTRACTOR WILL HAVE SUCH TESTING ACCOMPLISHED BY A SEPARATE CONTRACTOR. TEST RESULTS WILL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS AFTER TEST.

61. CONTRACTOR TO SUBMIT PROCTOR AND/OR MARSHALL TEST DATA 24 HOURS PRIOR TO COMPACTION TESTS.

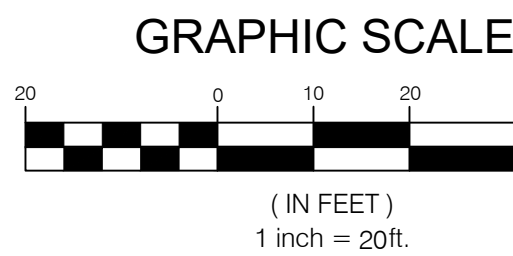
62. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON PLANS.

63. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. ALL SLOPES IN ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER FACILITIES SHALL BE GRADED NO STEEPER THAN 3 TO 1 FOR CUT AND FILL.

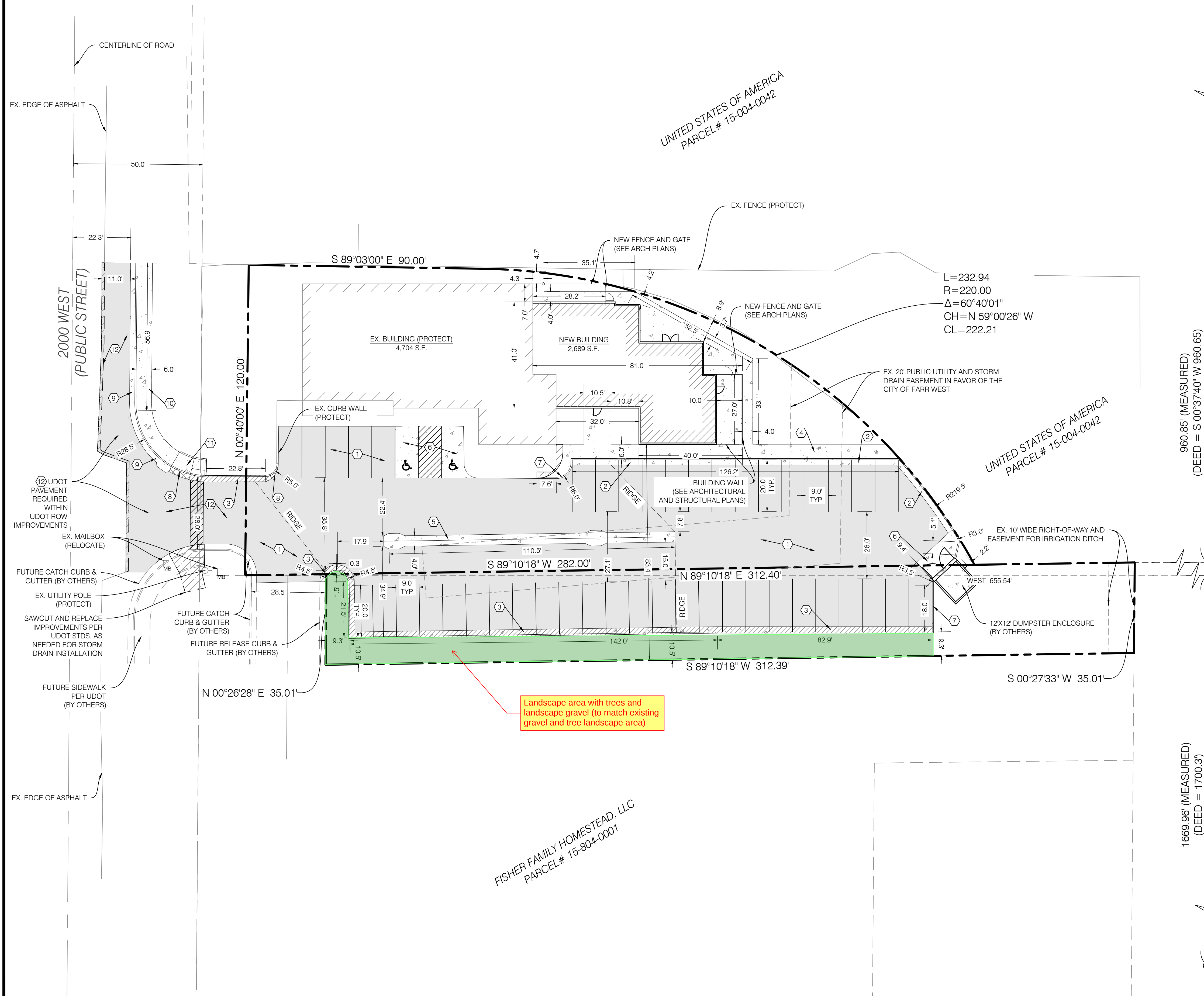
64. GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 1.0 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVED AREAS AND ALONG ALL CURBS. ALL CURBS



PROJECT NO. 2305068	CDP.01 3 OF 10	FARR WEST ANIMAL HOSPITAL 1400 N. 2000 W. FARR WEST, UTAH	 BENCHMARK ENGINEERING & LAND SURVEYING SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com	 NOT FOR CONSTRUCTION	DZB AGAKOUK 10/12/2023 2305068	No. 1	DESCRIPTION
							REVISED PER CITY COMMENTS



EAST QUARTER CORNER OF SECTION 2,
TOWNSHIP 6 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN
(FOUND WEBER COUNTY BRASS CAP)



CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01
②	CONCRETE CURB AND GUTTER PER APWA #205 TYPE 'A'	
③	RELEASE CURB AND GUTTER	
④	SIDEWALK PER APWA #231	
⑤	4' WATERWAY PER APWA #211	
⑥	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT.01
⑦	CURB WALL APWA #209 TYPE 'P'	
⑧	TRANSITION CURB AND GUTTER	
⑨	CURB & GUTTER PER UDOT #GW-2A	6/CDT.01
⑩	SIDEWALK PER UDOT #GW-3B	5/CDT.01
⑪	ADA RAMP PER UDOT #PA-5	4/CDT.01
⑫	ASPHALT PER UDOT STANDARDS	

AREA TABLE *		
PARTICULARS	S.F.	%
BUILDING	7,393	19.8
HARDSCAPE	21,016	56.2
LANDSCAPE	8,960	24.0
TOTAL	37,369	100.0

* AREA TABLE DOES NOT INCLUDE IMPROVEMENTS OF PROPERTY BOUNDARY.

NOTE:
SLOPE ACROSS THE ACCESSIBLE PARKING STALLS & ACCESS ISLE SHALL NOT EXCEED A 1:48 (2.00%) SLOPE, THE MAX GRADE DIFFERENCE BETWEEN THE ASPHALT SURFACE, ACCESSIBLE RAMP, AND SIDEWALK SHALL NOT EXCEED 1/4 INCH VERTICAL OR 1/2 INCH WHEN BEVELED. THE ACCESSIBLE MEANS OF EGRESS INCLUDING THE DRIVEWAY PORTION SHALL NOT EXCEED A SLOPE OF 1:20 (5.0%) & A CROSS SLOPE OF 1:48 (2.0%). ALL EXTERIOR DOOR WAY ACCESS REQUIRE AN EXTERIOR LANDING 60 INCHES IN LENGTH WITH A SLOPE NOT EXCEEDING A 1:48 (2.0%) SLOPE

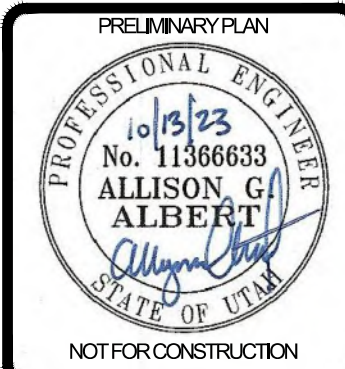
PARKING COUNT		
PARTICULARS	PROVIDED	
	STANDARD	ADA
PARKING STALLS	44	2
TOTAL	46	

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO
EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD
VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN
SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS
THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE
INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70.
SEE NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.

NOTE:
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT
ACCORDANCE WITH FARR WEST CITY/UDOT STANDARDS
AND SPECIFICATIONS



No.	DATE	REVISION PER CITY COMMENTS	DESCRIPTION
1	10/13/2023		
DESIGNED BY DZB CHECKED BY AGA			
FIELD DRAWN KOUJK			
DATE 10/12/2023			
DRAWN FILE 2205068a			
SCALE 1" = 10'-0"			
SCALE MEASURES 1" = 10'-0"			
SCALE SHEETS 1 OF 1			



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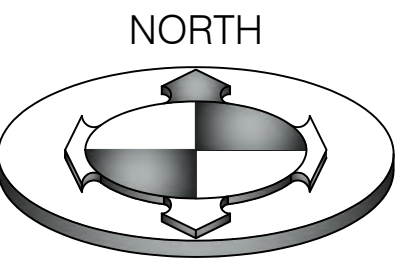
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FARR WEST, UTAH

PROJECT NO. 2305068

SITE
PLAN

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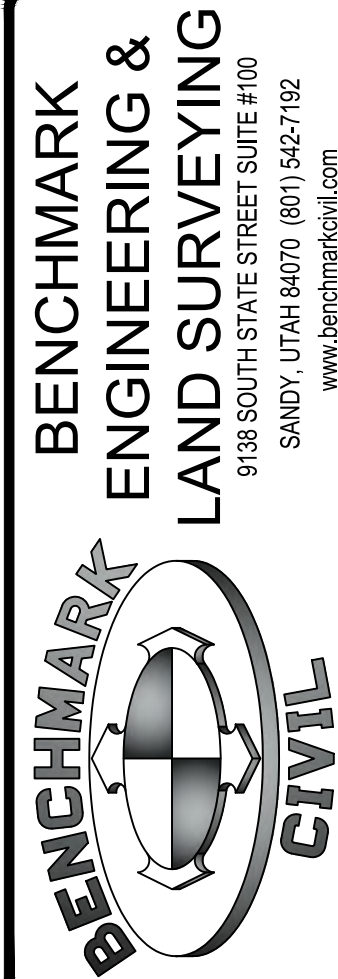


(IN FEET)

inch = 20ft.



NOTE B: (B)
12" OF VERTICAL SEPARATION REQUIRED BETWEEN SEWER
AND STORM. CONTACT ENGINEER FOR REDESIGN IF
NECESSARY



1400 N. 2000 W.
FARR WEST, UTAH

CUP.01
5 OF 10



GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	
②	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
③	2" ORIFICE PLATE	3/CDT.02
④	STORM DRAIN INLET BOX	1/CDT.02
⑤	2'X2' CATCH BASIN	3/CDT.01
⑥	3'X3' CATCH BASIN	3/CDT.01
⑦	18" SNOUT	2/CDT.02
⑧	STORM DRAIN INLET BOX PER UDOT #CB-2	7/CDT.01
⑨	12" FLARED END SECTION PER APWA # 323	

ALL HDPE/RCP CLASS III PIPE TO HAVE SOIL TIGHT JOINTS

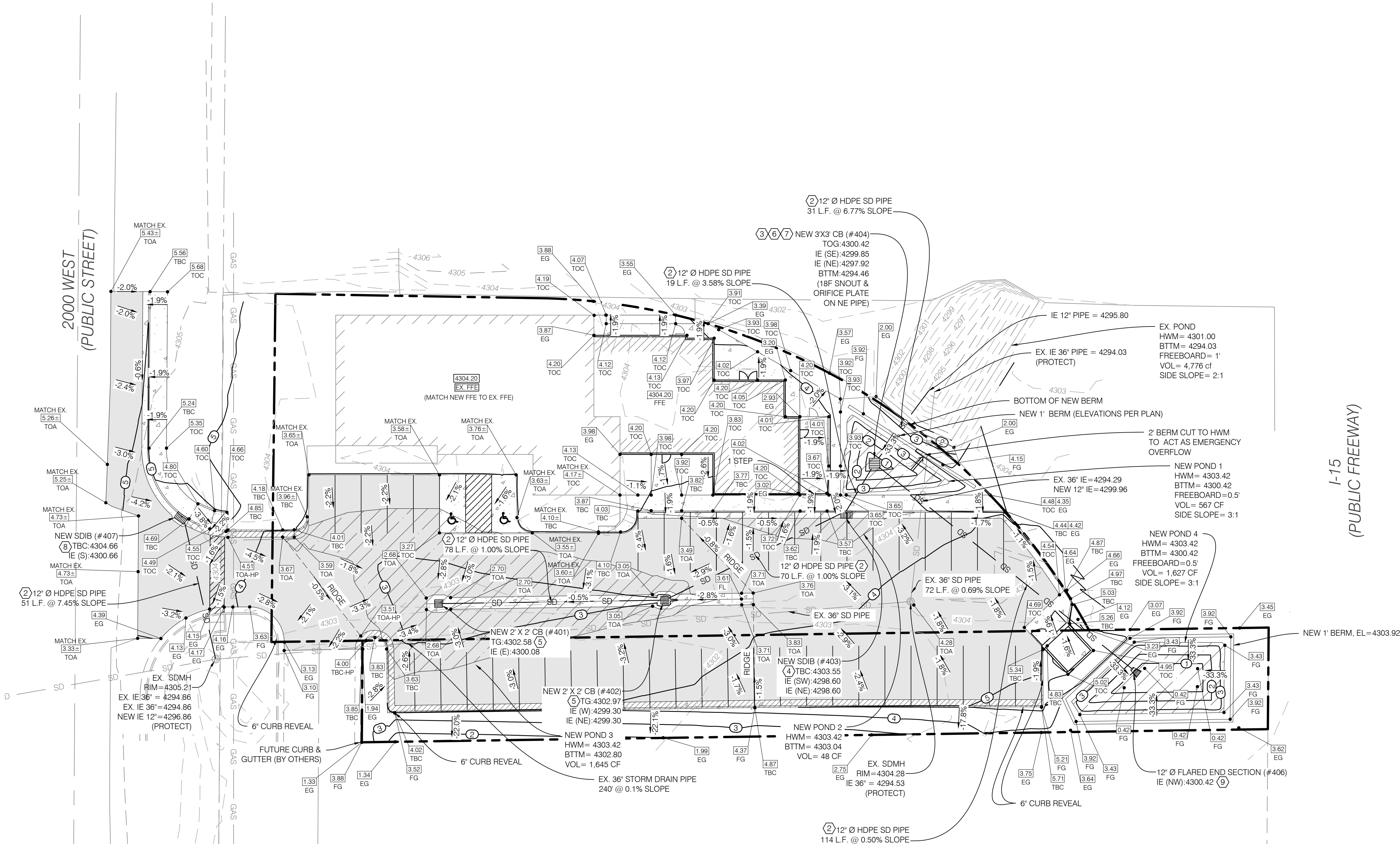
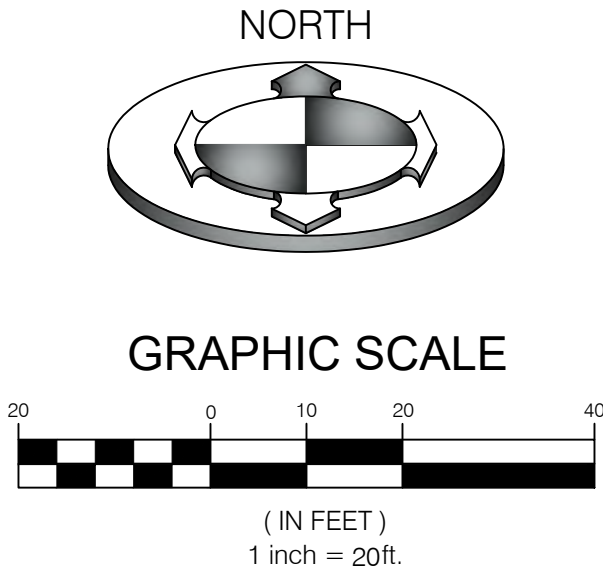
NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

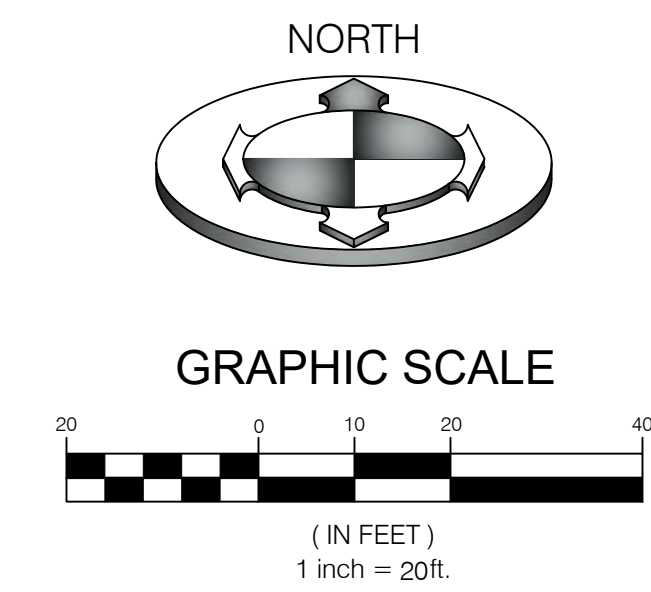
NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70. SEE NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.

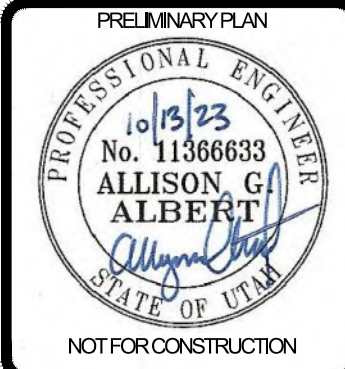
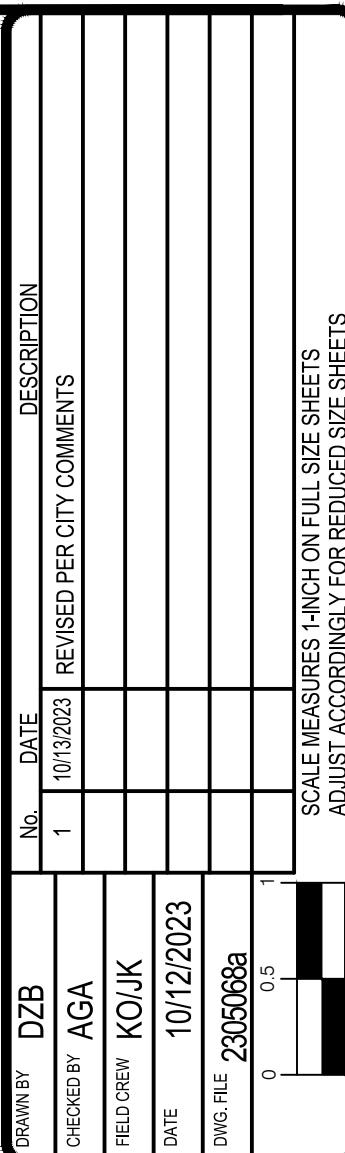
SOIL NOTE:
NO GEOTECHNICAL REPORT CURRENTLY EXISTS. PER THE USDA WEB SOIL SURVEY THE PREDOMINANT SOIL IS IRONTON SILT LOAM, CONSISTING OF ALTERNATING LAYERS OF SILT LOAM, AND LOAM WITHIN HYDROLOGIC SOIL GROUP C. THE DEPTH TO THE WATER TABLE IS APPROXIMATELY 2-3 FEET BELOW GRADE. AND THE INFILTRATION RATE IS APPROXIMATELY 100-300 MIN/IN, THEREFORE THE 80TH PERCENTILE RETENTION VOLUME CANNOT BE MET.





SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:		
NO.	DESCRIPTION	DETAIL
①	CONCRETE WASTE MANAGEMENT	1/CEP 02
②	INLET PROTECTION WATTLE	2/CEP 02
③	MATERIALS STORAGE	3/CEP 02
④	PORTABLE TOILETS	4/CEP 02
⑤	SILT FENCE	6/CEP 02
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP 02

NOTE: CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCY. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES. AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.



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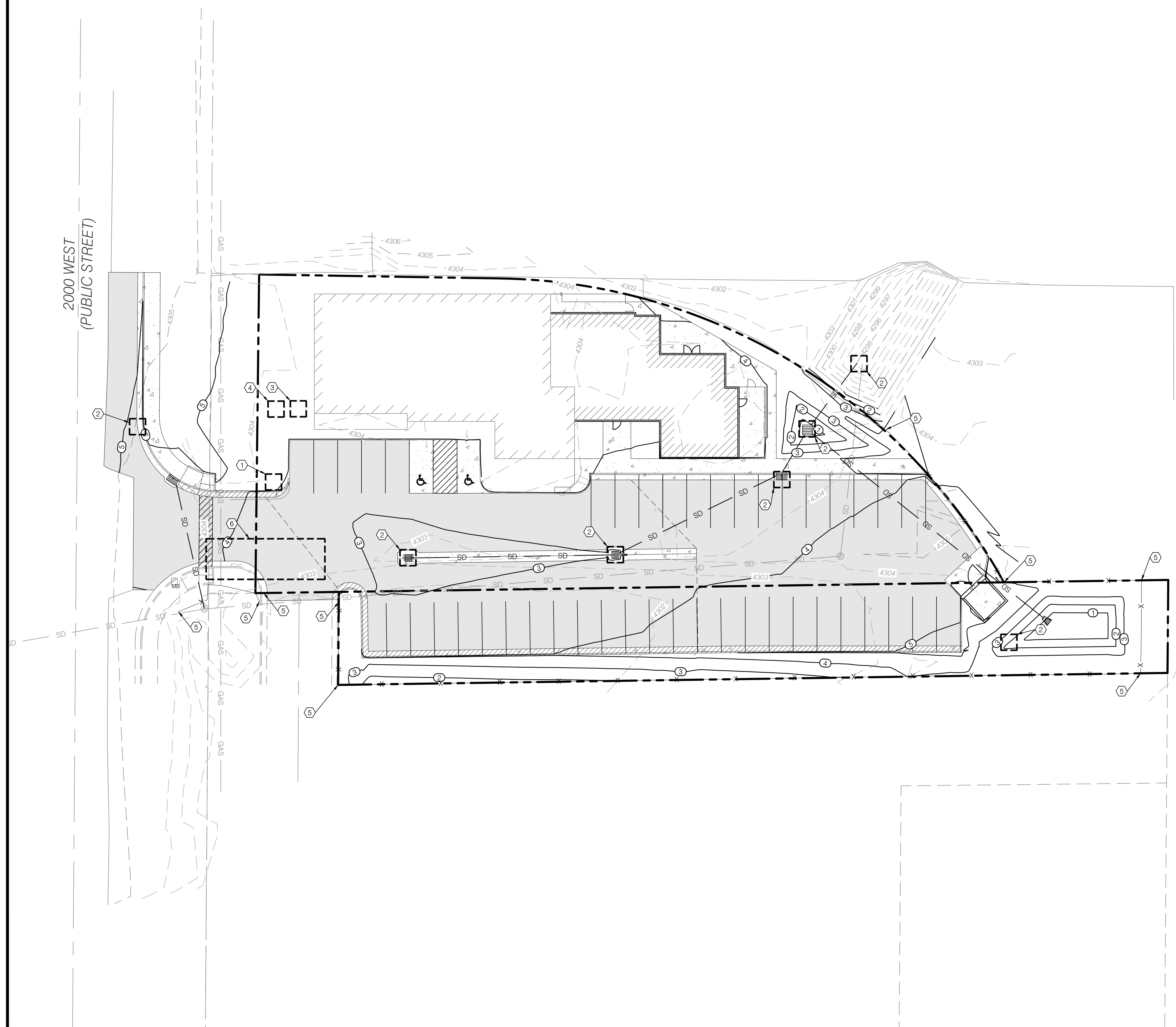
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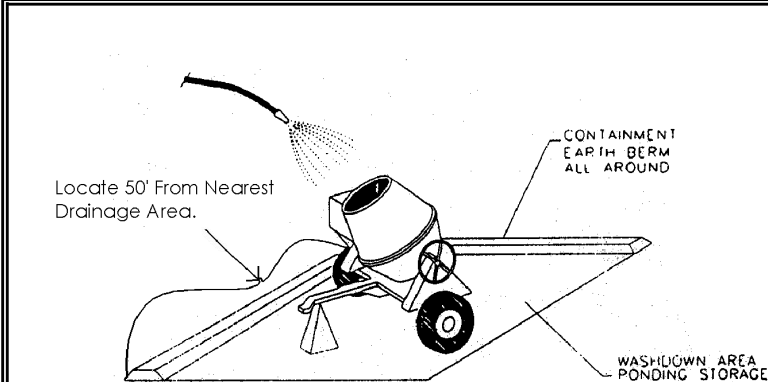
PROJECT NO. 2305068

**EROSION
CONTROL
PLAN**

CEP.01
7 OF 10



BMP: Concrete Waste Management



DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier information sheet.)
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:

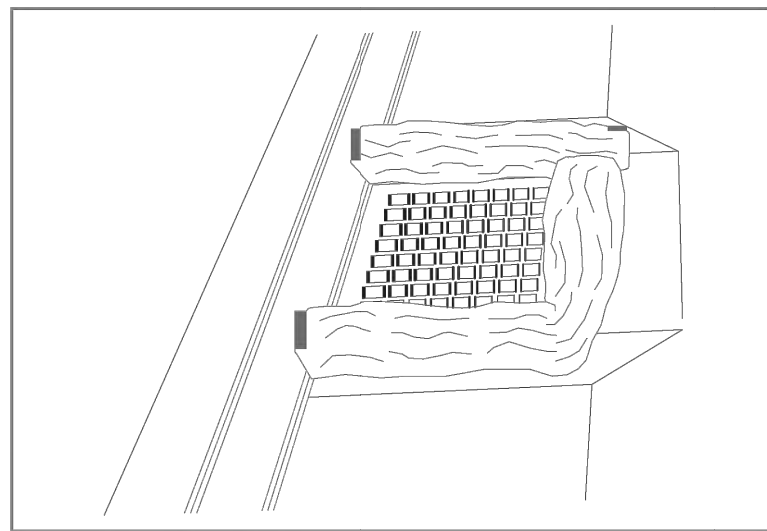
- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

BMP: Inlet Protection – Wattle

IP-W
CONSTRUCTION



DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:

- ◆ Provide up-gradient sediment controls, such as silt fence during construction of inlet
- ◆ When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

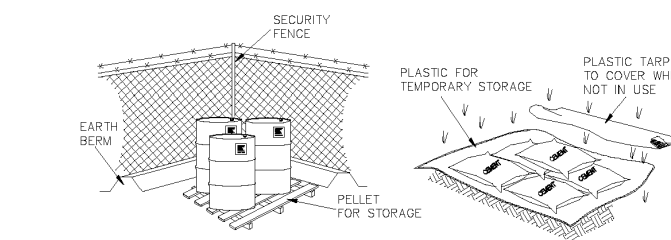
LIMITATIONS:

- ◆ Recommended maximum contributing drainage area of one acre
- ◆ Requires shallow slopes adjacent to inlet

MAINTENANCE:

- ◆ Inspect inlet protection following storm event and at a minimum of once every 14 days.
- ◆ Remove accumulated sediment when it reaches 4 inches in depth.
- ◆ Look for bypassing or undercutting and repair or realign as needed.

BMP: Materials Storage



DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:

- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

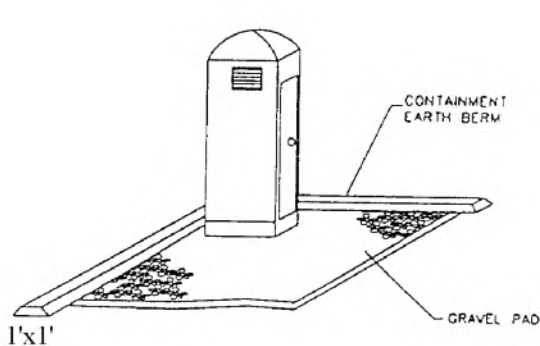
LIMITATIONS:

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, lightly capped) and that no materials are being stored away from the designated location.

BMP: Portable Toilets



DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

LIMITATIONS:

No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

BMP: Spill Clean-Up



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:

All sites

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils.
- Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

CONCRETE WASTE MANAGEMENT

SCALE: NTS

INLET PROTECTION WATTLE

SCALE: NTS

MATERIALS STORAGE

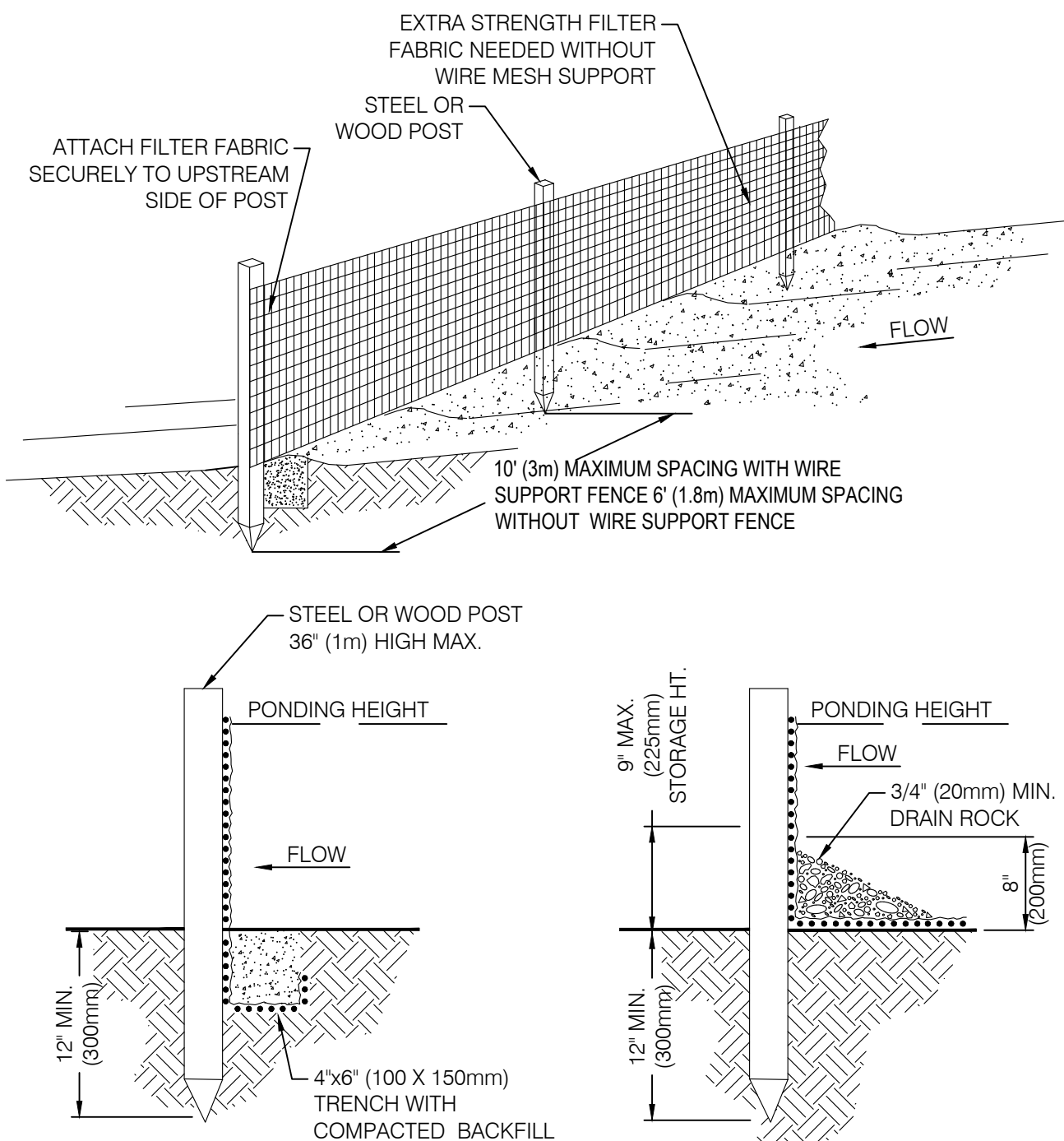
SCALE: NTS

PORTABLE TOILETS

SCALE: NTS

SPILL CLEAN UP

SCALE: NTS



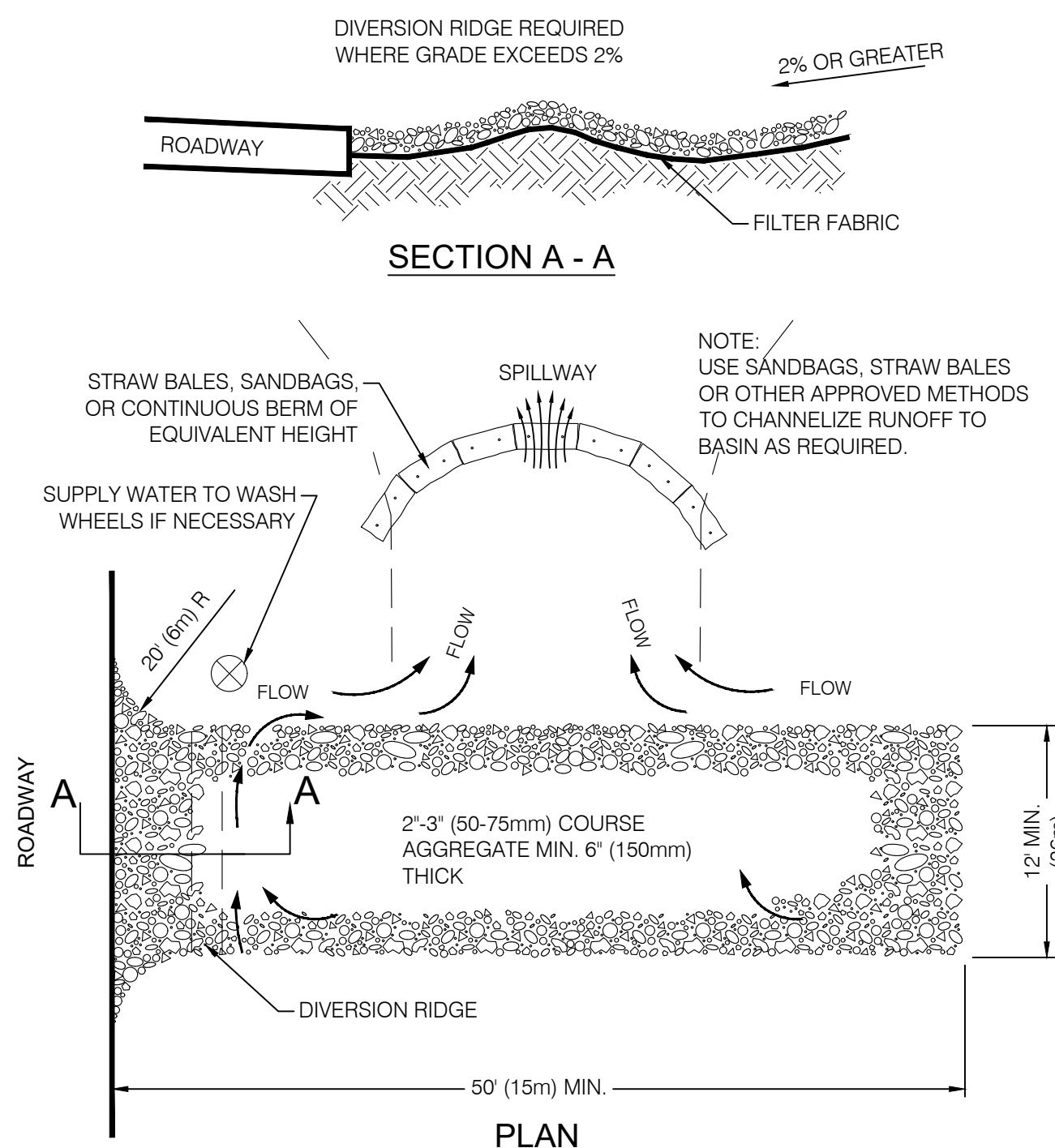
TRENCH DETAIL

INSTALLATION WITHOUT TRENCHING

NOT TO SCALE

- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9' (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

REF. FROM
1994 JOHN McCULLAH



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

REF. FROM
1994 JOHN McCULLAH

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

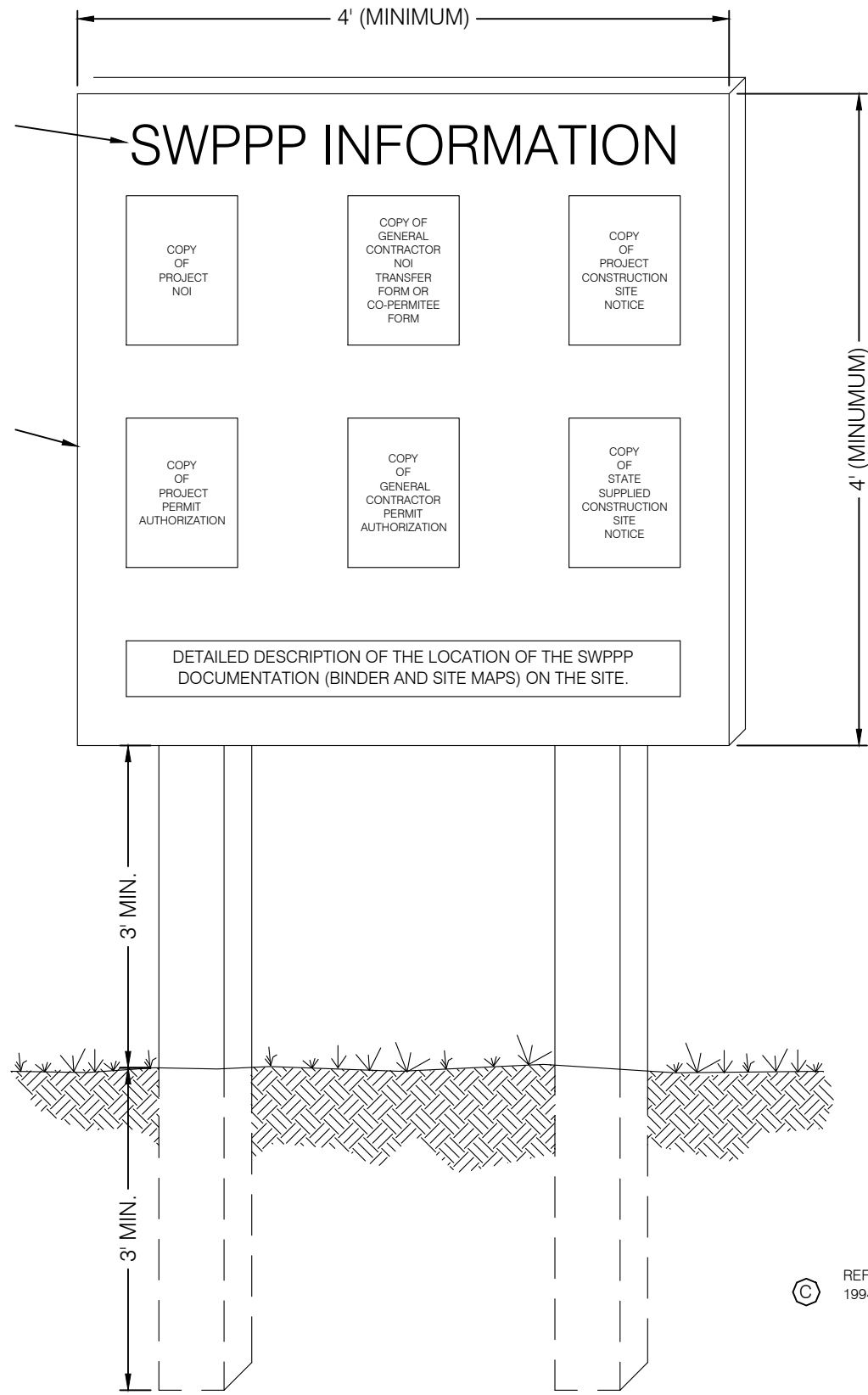
SCALE: NTS



"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.)

- NOTES:
- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 - 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 - 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
 - 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 - 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.

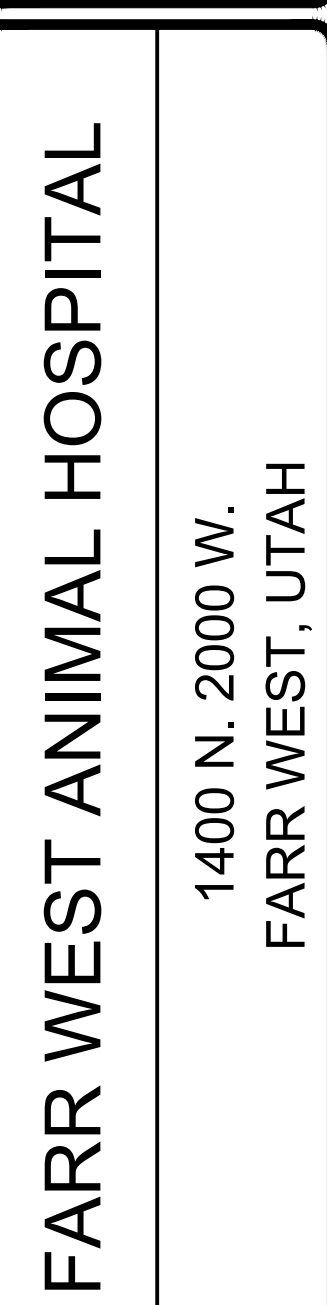
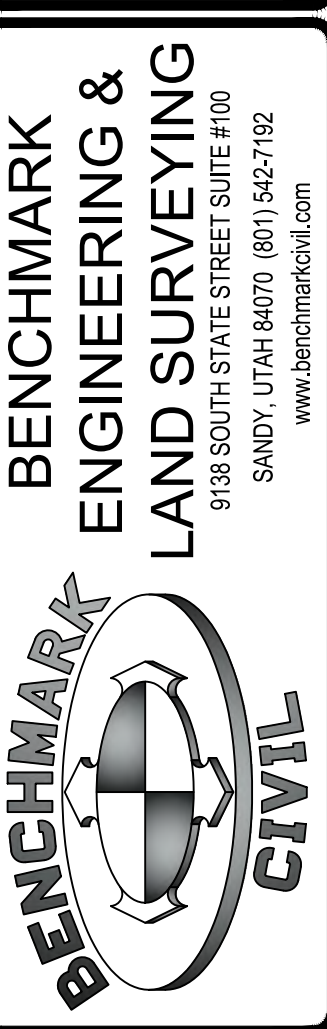
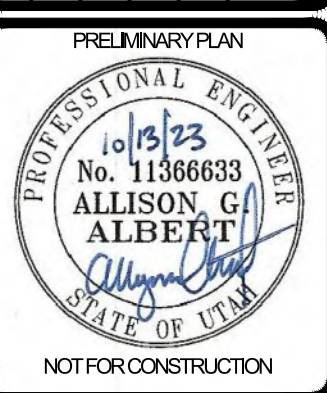


REF. FROM
1994 JOHN McCULLAH

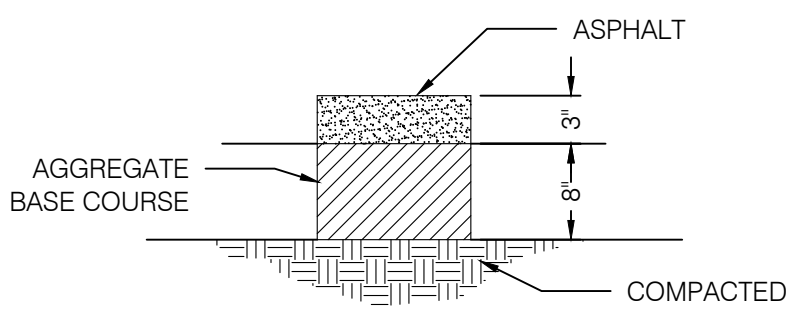
SWPPP INFORMATION SIGN

SCALE: NTS

DATE	DESCRIPTION
10/13/2022	REVISED PER CITY COMMENTS
10/12/2023	DATE
10/12/2023	DATE
2305068	SCALE FILE
0	SCALE



ALTERNATE: STANDARD
CONCRETE 5"
GRAVEL BASE 4"

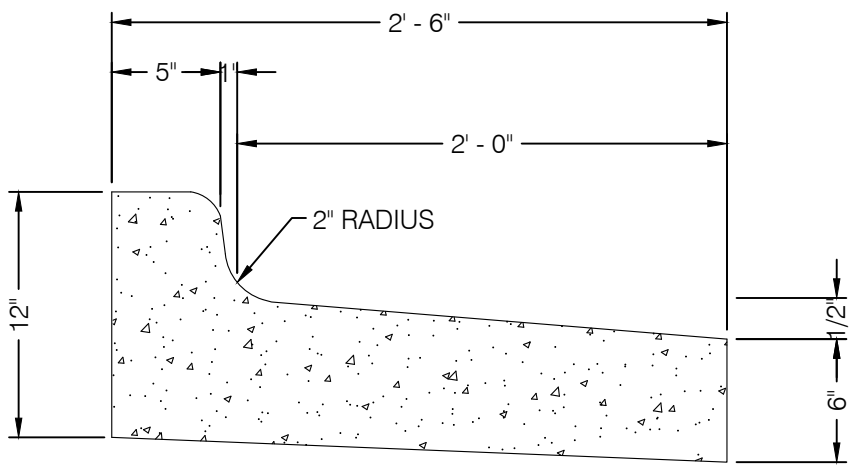


STANDARD DUTY PAVEMENT

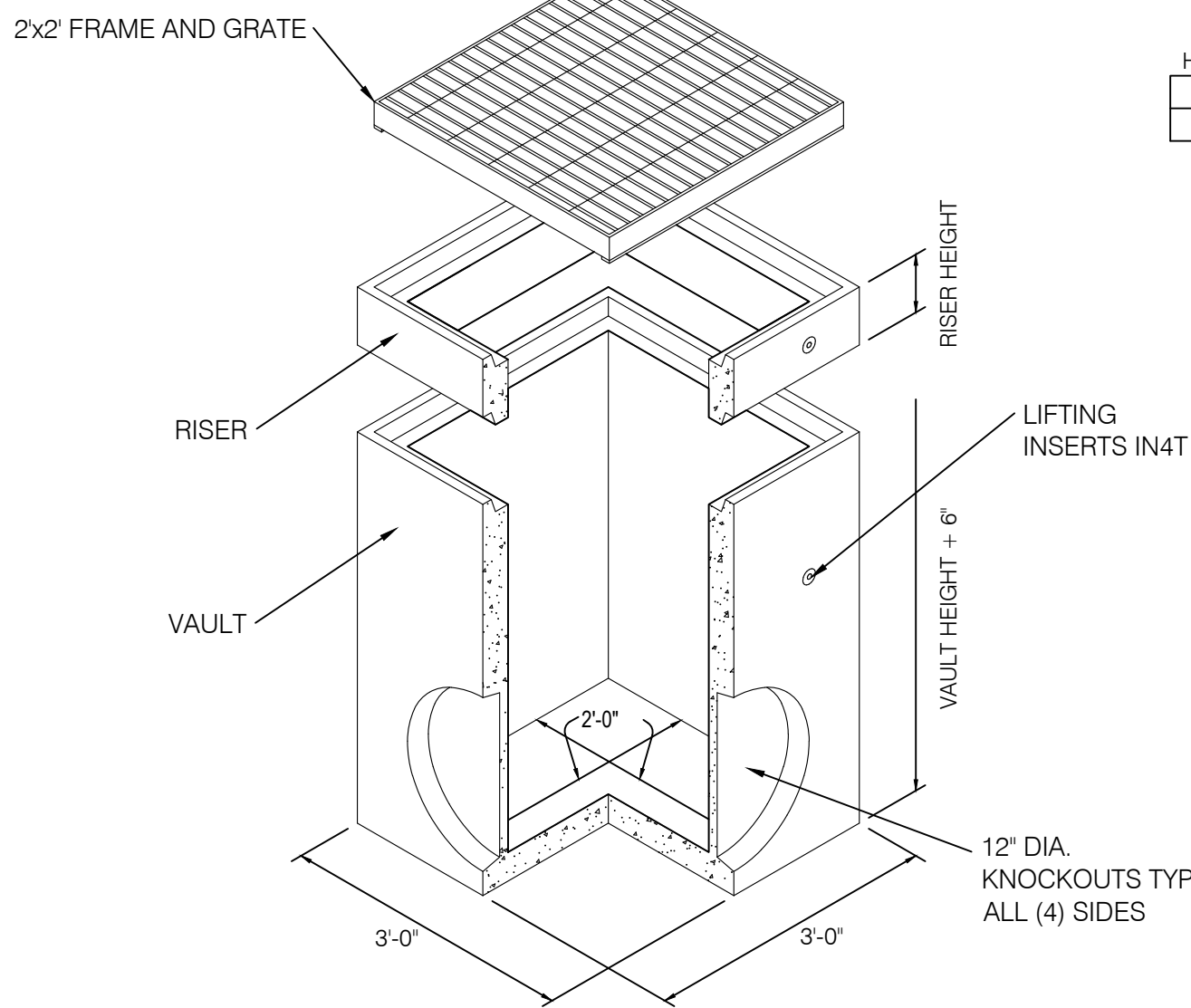
- NOTE:
1. FOR REINFORCEMENT DESIGN OF PCC PAVEMENT SECTIONS SEE STRUCTURAL ENGINEER
 2. FOR DOWEL DESIGN OF PCC PAVEMENT SECTIONS SEE GEOTECHNICAL ENGINEER.

PAVEMENT SECTIONS
SCALE: NTS

NOTE: 6" MIN. OF UNTREATED BASE COURSE REQ'D UNDER CURB AND GUTTER. COMPACT TO 95% AASHTO T-180 - METHOD D.



TYPICAL RELEASE CURB & GUTTER
SCALE: NTS



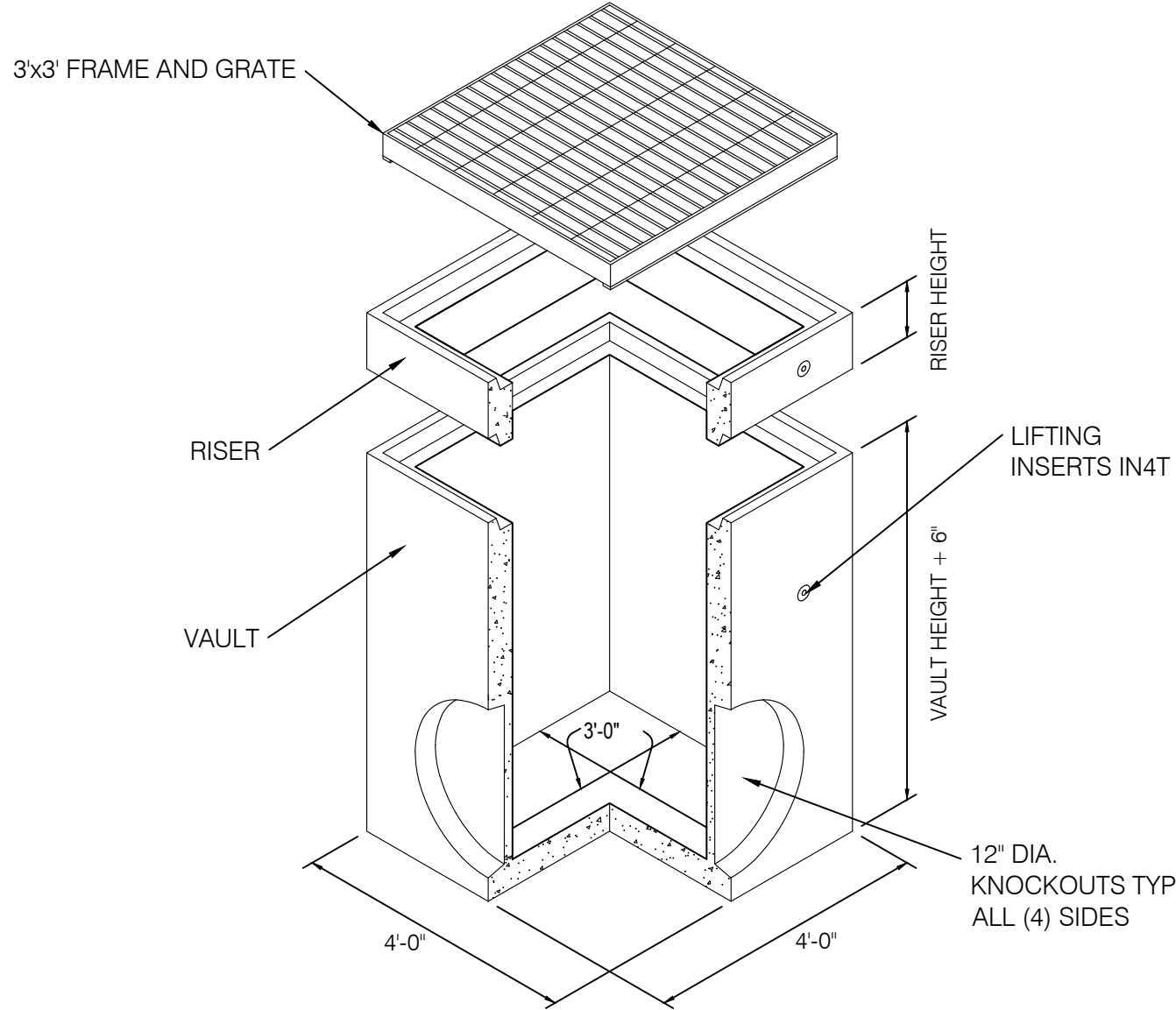
2'x2' CATCH BASIN

GRADE RING			RING & GRATE RC30R WT. 405#		
HEIGHT	CODE	WEIGHT	HEIGHT	CODE	WEIGHT
4"	GR304	180#	3"	CB443	3,225#
6"	GR306	270#	4"	CB444	4,575#
			5"	CB445	5,925#
			6"	CB446	7,275#

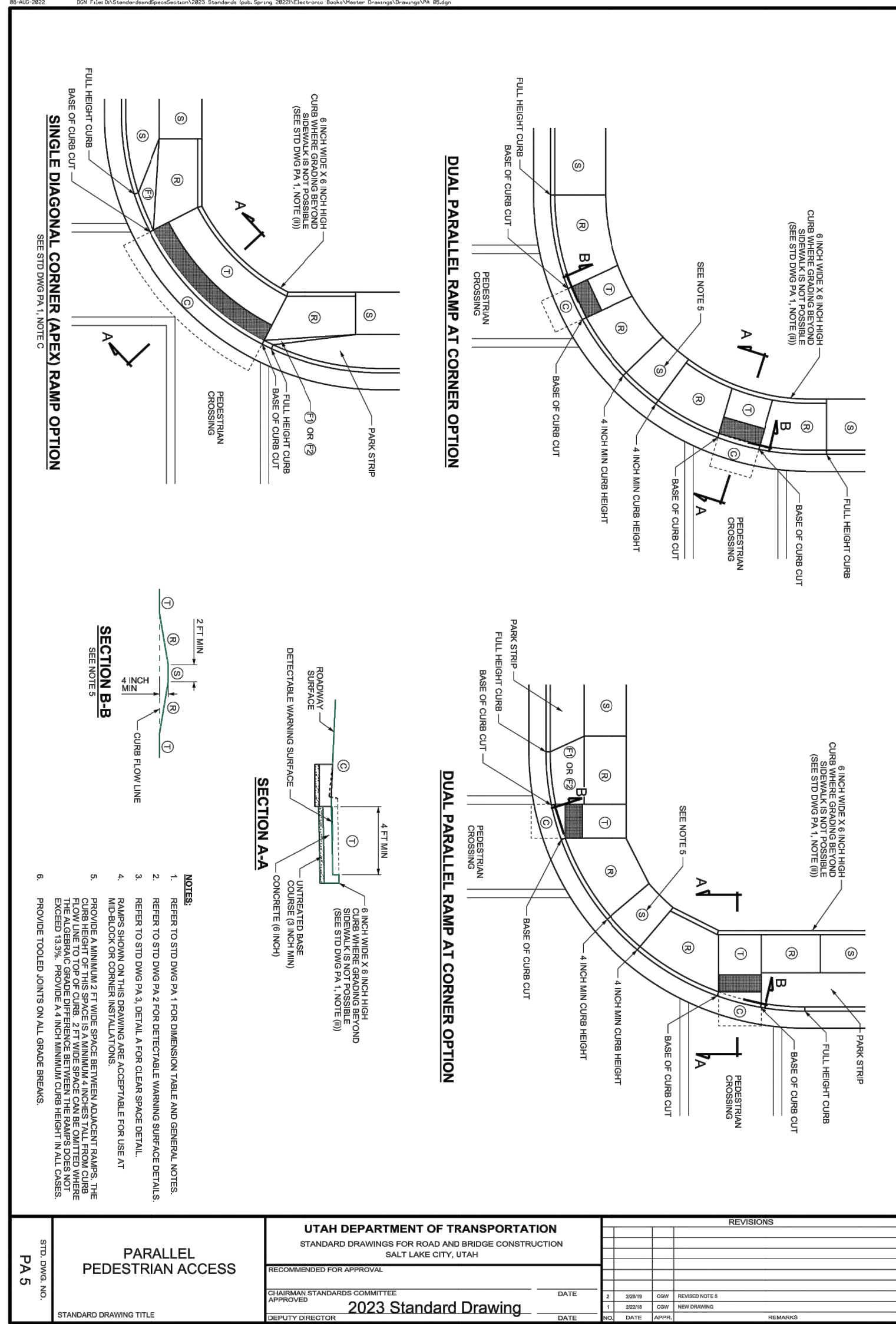
RISER			VAULT		
HEIGHT	CODE	WEIGHT	HEIGHT	CODE	WEIGHT
1"	UV441R	1,350#	3"	CB443	3,225#
2"	UV442R	2,700#	4"	CB444	4,575#
3"	UV443R	4,050#	5"	CB445	5,925#
4"	UV444R	5,400#	6"	CB446	7,275#
5"	UV445R	6,750#			
6"	UV446R	8,100#			

- NOTES:
1. CATCH BASINS ARE DESIGNED TO MEET ASTM C858 WITH AASHTO HS-20 LOADING.
 2. OPENINGS MAY BE SIZED AND LOCATED AS REQUIRED.
 3. OPTIONAL GRATING OR COVER MATERIAL MAY BE CAST IN AS REQUIRED.
 4. CHECK HARDWARE SECTION FOR OPTIONAL ACCESSORIES.

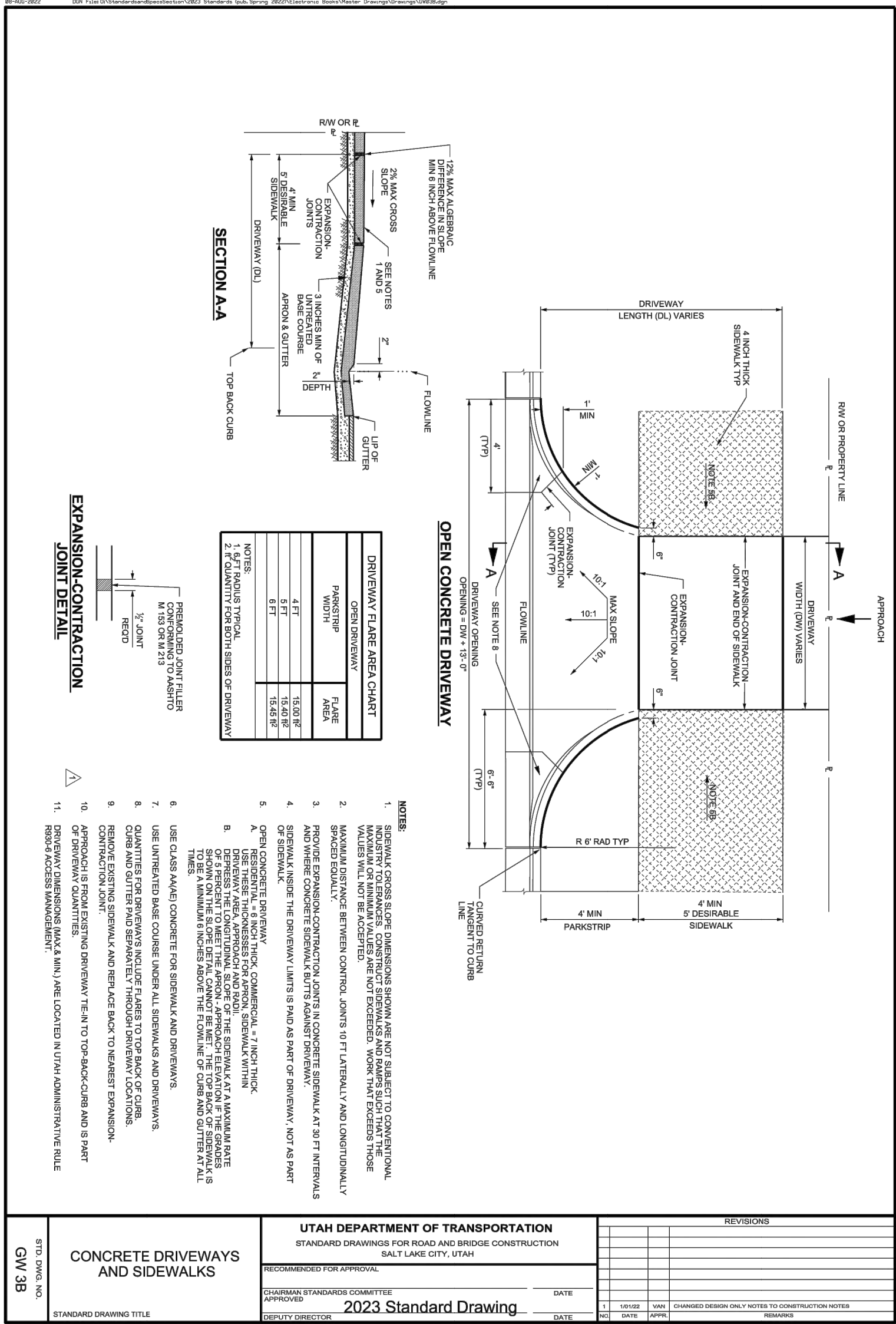
CATCH BASIN
SCALE: NTS



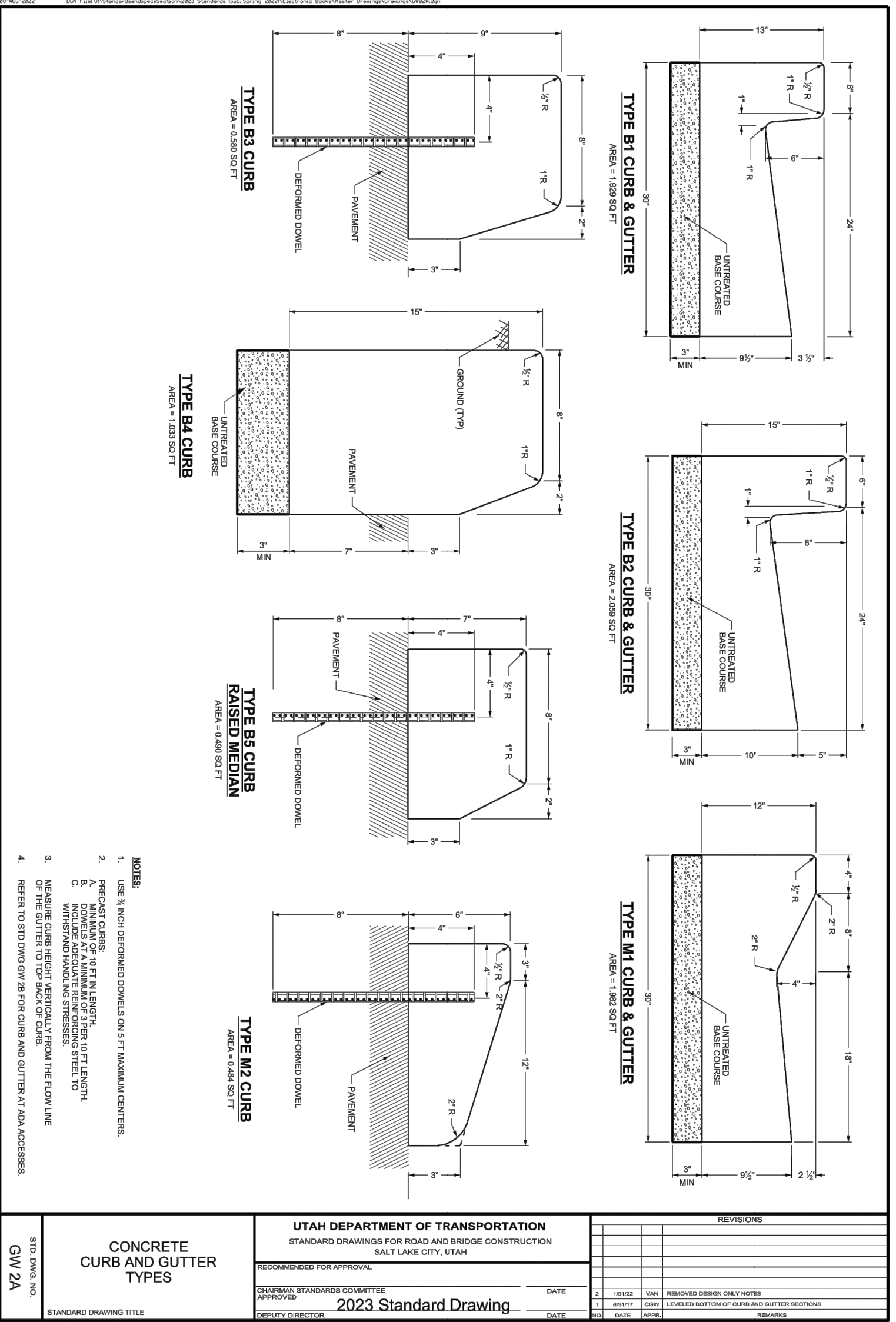
3'x3' CATCH BASIN



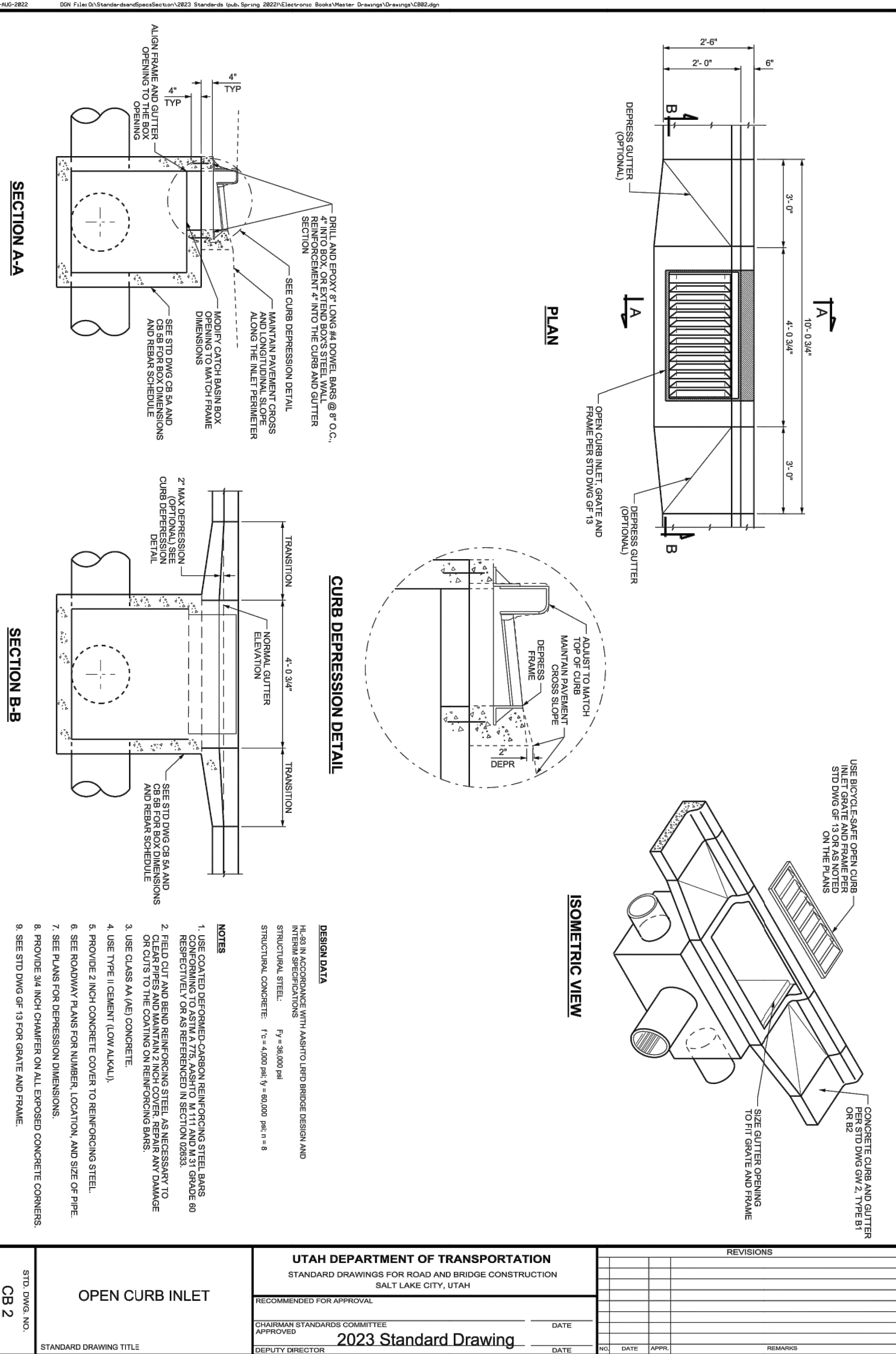
ADA RAMP
SCALE: N.T.S. (UDOT #PA-5)



SIDEWALK
SCALE: N.T.S. (UDOT #GW-3B)



TYPE 'B2' CURB & GUTTER
SCALE: N.T.S. (UDOT #GW-2A)



CURB INLET
SCALE: N.T.S. (UDOT #CB-2)

