

Planning Commission Staff Report

File #30C23/CUP-000360-2023

**Public Hearing and Consideration of a Non-Administrative
Conditional Use Permit to Construct a Mixed-Use Structure at
2720 West 6200 South, Taylorsville, UT**

File #7S23/SUB-000359-2023

**Public Hearing and Consideration of a Preliminary Subdivision
Plat, "Taylorsville 6 Live/Work Townhomes," at
2720 West 6200 South, Taylorsville, UT**



Department of Community Development

Staff Report Date:	October 19, 2023
Meeting Date:	October 24, 2023
Subject Property Address:	2720 West 6200 South
Applicant:	Mark Stephenson, Rocky Mountain Builders
Author:	Jim Spung, AICP, Senior Planner
Parcel #:	21163840150000
Applicable Ordinances:	Including, but not limited to Chapter 13.08; 13.23; 13.24; 13.25; 13.27; 13.28; 13.32; and 13.33
Agenda Item #:	4 and 5

Attachments:

Exhibit A: Zoning Map

Exhibit B: General Plan Map

Exhibit C: Subject Property Aerial Image

Exhibit D: Subject Property Vicinity Map

Exhibit E: Civil Plan Set

Exhibit F: Landscape & Irrigation Plan

Exhibit G: Architectural Plan

Exhibit H: Lighting Plan

Exhibit I: Proposed Subdivision Plat

Exhibit J: Draft CCRs

Exhibit K: Public Comments

Summary:

Mark Stephenson, Rocky Mountain Builders, is requesting Planning Commission review and approval of a mixed-use master plan, preliminary site plan, preliminary conditional use permit, and preliminary subdivision plat for the property located at 2720 West 6200 South, Taylorsville, UT. The applicant's proposal includes the creation of six lots to construct two live/work structures, as illustrated in Exhibits E and I. Each structure will include three live/work units, including 396 square feet of office/commercial space on the ground floor (1st level) and a 3-bedroom residential unit above (2nd and 3rd levels) (see Exhibit G). The timing, sequence, and status of reviews required for this project are summarized below:

1. **Master Plan:** underway as part of File #7S23/SUB-000359-2023, pending Planning Commission action.
2. **Preliminary Subdivision Plat:** underway as part of File #7S23/SUB-000359-2023, pending Planning Commission action.
3. **Preliminary CUP/Site Plan:** underway as part of File #30C23/CUP-000360-2023, pending Planning Commission action.
4. **Final Subdivision Plat:** contingent on preliminary plat approval, final review deferred to staff at Planning Commission's discretion.
5. **Final CUP/Site Plan:** contingent on preliminary CUP/site plan approval, final review deferred to staff at Planning Commission's discretion.

In the interest of time, the applicant has requested that steps 1-3 be reviewed concurrently. This report includes information and analysis related to steps 1-3 noted above.

Site Description

The subject property is made up of one parcel with a cumulative area of approximately 27,443 square feet (0.63 acres). The property is currently undeveloped, as shown in Exhibit C. The properties immediately west and south are owned by Taylorsville-Bennion Improvement District and are used as a water tank storage facility. Bennion Junior High School is the property immediately east, owned by Granite School District. Detached single-family residential homes (Lot 603 & 604, Hazelhurst #6 Subdivision) abuts the property to the north. Surrounding zoning designations are as follows:

North	South	East	West
Single-Family R-1-6	Open Space (OS) (TBID water tanks)	Open Space (OS) (Bennion Jr. High)	Open Space (OS) (TBID water tanks)

General Plan Analysis

The Proposed Land Use Map in the General Plan sets the foundation for all land uses within the City of Taylorsville. The land use plan identifies general land use classifications and in some cases the intensity within the classification. Each land use classification on the Proposed Land Use Map corresponds with compatible classifications on the official Taylorsville Zoning Map.

The subject property is designated as "*Medium-Density Mixed-Use*" on the Proposed Land Use Map. The General Plan includes the following statement describing the intent of the High-Density Mixed-Use designation (pg 3-5):

“The Medium Density Mixed Use (MDMU) classification allows a residential density of up to 8.9 units per acre in a mixed use setting.”

The applicant’s proposal is consistent with the City’s General Plan and would result in a density of nine (9) dwelling units per acre.

Land Development Code Analysis

The LDC establishes the development standards regulating development in the Mixed Use (MU) zoning district. Rather than including an exhaustive list of all standards, city staff has identified select standards related to the site plan and conditional use permit that either require specific Planning Commission approval or that warrant further discussion.

LDC Reference	Comments
<p>13.23.260(G)(1): <i>.... Setbacks shall be determined by the planning commission based upon acceptable layout and design.</i></p>	<p>STAFF'S ANALYSIS: Proposed building setbacks have been identified in the site plan provided in Exhibit E. The proposed building setbacks for structures are summarized below:</p> <p>East property line (2700 West) = 20 feet South property line (6200 South) = 52.57 feet West property line (TBID site) = 45.94 feet North property line (R-1-6) = 49.18 feet</p> <p>STAFF RECOMMENDATION: Staff recommends the Planning Commission approve the site layout and corresponding setbacks, as illustrated in the site plan provided in Exhibit E.</p> <p>DISCUSSION: Does the Planning Commission have specific concerns related to the proposed building setbacks?</p>
<p>13.23.260(C)(1): <i>Coverage for both buildings and paved areas (parking, loading, and circulation) shall not exceed 85%, thereby reserving a minimum of 15% for landscaped areas and open space.</i></p> <p>13.23.260(E)(7) and 13.12.070: <i>Usable open space shall be provided within the mixed use development and is dependent upon size, scale, and nature of the development as determined by the director. Approved open space may include, but is not limited to, commons, pocket parks, plazas, courtyards, landscape features, water fountains and features, greenbelts, and trail connections. A "village green", as a common area, may be required adjacent to mass transit connections or other significant activity. Building materials used within open space areas shall be related to the materials of adjacent buildings and shall be a nonskid finish. Design shall encourage comfortable and safe pedestrian use including landscaping, seating areas, and lighting, as appropriate.</i></p>	<p>STAFF'S ANALYSIS: The plans indicate a proposed landscape area of 7,029 square feet (25 percent of site). This complies with the minimum 15 percent landscape area requirement.</p> <p>There are two amenity areas identified on the site plan:</p> <p>Plaza south of the building, 22' x 22' = 484 sq. ft. Trellis w/ picnic table, 12' x 16' = 192 sq. ft.</p> <p>STAFF RECOMMENDATION: Staff recommends the Planning Commission approve the landscape and open space areas, as illustrated in Exhibit E and F.</p> <p>DISCUSSION: Are there additional design considerations that should be addressed related to site landscape and open space?</p>

13.23.260(C)(2):

Parking terraces and underground parking is strongly encouraged. Surface parking (permanent or temporary) may be allowed in addition to, or in lieu of a parking structure, upon the approval of the planning commission, where it is screened from streets and where it can be shown that the phasing plan, design, size, and scope of the project substantially provides a walkable community.

13.24.080(B):

"Dwelling, single-family" requires minimum 2 spaces per dwelling unit (within an enclosed garage).

"Commercial/ Professional Office" requires 5 spaces per 1,000 square feet of floor area.

13.23.260(B)(1):

All exterior building elevations visible from adjacent properties or streets may, upon the director's request, be reviewed and approved by the planning commission.

13.23.260(E)(3)(b):

.... Unless otherwise approved by the planning commission, rear yards and the rear of buildings shall not directly abut streets. If the rear of building is approved adjacent to a street, pedestrian access and street oriented building treatment must be adequately addressed.

13.23.260(E)(3)(e):

... Developments shall have street side building elevations with extensive windows, balconies, decks, or landscape terraces being encouraged.

STAFF'S ANALYSIS: Surface parking is proposed and requires approval from the Planning Commission. Vehicle parking counts are summarized below:

Residents = 12 garage spaces (2/unit min.)

Guest Parking = 4 surface spaces (0.25/unit min.)

Commercial = 16 surface spaces (5/1,000 sq. ft. min.)

Total Required = 25.5 parking spaces

Total Provided = 28 parking spaces

The number of vehicle parking spaces required by the LDC for this project is 24 parking spaces. The plans indicate 28 parking spaces will be provided, which complies with the minimum parking standards in 13.24.080(B).

STAFF RECOMMENDATION: Staff recommends the Planning Commission approve the surface parking as proposed in Exhibit E.

DISCUSSION: None.

STAFF'S ANALYSIS: The applicant has provided concept building elevations from a similar project for reference (Exhibit G). Rather than requiring the applicant to attend another Planning Commission meeting for building elevation approval, staff recommends the Director review and approve proposed building elevations pursuant to the standards provided in the LDC, and feedback provided by the Planning Commission.

STAFF RECOMMENDATION: Staff recommends the Planning Commission approve the exterior building elevations as proposed..

DISCUSSION: Does the Planning Commission have specific concerns or requirements associated with the building elevations (e.g., materials, colors, features, etc.)?

13.23.260(E)(9):

The lighting of streets, pedestrian areas, parking lots, and open space is required. Exterior wall mounted floodlights are expressly prohibited. Indirect lighting, bollard lighting, and landscape lighting is encouraged. Lighting of a building and site identification signs are permitted as allowed elsewhere in this code.

Design and location of standards and fixtures shall be specified on the site development drawings. Intensities shall be controlled so that "safety" lighting is provided while neighboring areas are protected from glare or excessive direct light. Streetlight design fixtures shall be of pedestrian scale and be installed as required by applicable city policy.

STAFF'S ANALYSIS: An exterior lighting and photometric plan is required to comply with referenced and applicable standards.

STAFF RECOMMENDATION: Applicant must submit exterior lighting and photometric plan demonstrating compliance with referenced and applicable standards.

DISCUSSION: Are there additional design considerations that should be addressed related to exterior site lighting?

In accordance with LDC [Section 13.23.070](#), Keyed Note #17 on the site plan (Sheet C1.01) indicates a new 6-foot masonry wall will be installed along the norther property boundary, adjacent to the single-family properties. City staff will coordinate with the applicant to ensure the proposed wall complies with all city standards.

As provided in [Section 13.33.030](#)(D) and (E), the Planning Commission is authorized to grant preliminary nonadministrative conditional use approval. Final review and decision of approval is granted by the Director, unless otherwise directed by the Planning Commission.

The Planning Commission is the preliminary subdivision review authority, pursuant to [Section 13.30.030\(D\)](#) of the LDC. City Staff and review authorities will continue to work with the applicant to address any outstanding review comments. Construction and development activity is not permitted until all applicable permits/approvals have been secured by the applicant.

Public Comment

A public notice was sent to all affected entities and residents within 300 feet of the property on October 13, 2023. As of October 19, 2023 City staff received one inquiry from a neighboring resident (see Exhibit K).

Findings

1. The applications (File #7S23/SUB-000359-2023 and File #30C23/CUP-000360-2023) were initiated by Mark Stephenson, Rocky Mountain Builders.
2. The subject property is a single parcel with an area of 27,881 square feet (0.640 acres) (Parcel ID: 21163840150000).
3. The subject property is in the Mixed-Use (MU) zoning district.
4. The subject property is in the "Medium-Density Mixed-Use" designation in the City's General Plan.
5. The applicant's proposal is consistent with the City's General Plan and would result in a density of nine (9) dwelling units per acre.
6. The applicant's proposal includes the creation of six lots to construct two live/work structures, as illustrated in Exhibit I. Each structure will include three live/work units, including 396

square feet of office/commercial space on the ground floor (1st level) and a 3-bedroom residential unit above (2nd and 3rd levels).

7. The applications has been reviewed by City departments and review agencies. Prior to final approval, city staff will continue coordinating with the applicant to address all outstanding review comments.
8. Specific development standards that merit further discussion and consideration from the Planning Commission have been listed in a table in the “Land Development Code Analysis” section of this Report.
9. A title report for all property within the boundary of the plat must be submitted to the City within 90 days of recording the plat to ensure all relevant information is reflected on the plat.
10. To ensure proper sequencing of approvals, the subdivision plat review process must be completed prior to issuance of a development permit on the subject property.
11. On October 13, 2023, a public notice was mailed to all affected entities and property owners within 300 feet of the subject property. All comments received prior to October 19, 2023 are included in this report.
12. Section [13.23.260\(E\)](#) of the Taylorsville Land Development Code (LDC) requires that prior to development in a mixed-use zoning district, the Planning Commission review and approve a master plan. An approved master plan will inform future development applications for the subdivision, conditional use, and site plan reviews.
13. The Planning Commission is the decision-making authority for preliminary subdivision plat review.

Conditions of Approval

City Staff recommends the following condition of approval be required for the applications:

1. The applicant coordinates with city staff and reviewing agencies to address all outstanding review comments to demonstrate compliance with all applicable standards, prior to final approval.

Staff Recommendations

Master Plan

Staff's recommends the Planning Commission approve File #7S23/SUB-000359-2023, a mixed-use master plan for the property located at 2720 West 6200 South, Taylorsville, Utah as identified in Exhibits E, F, G, and H, subject to the findings and conditions outlined in this Staff Report.

Preliminary Subdivision Plat

Staff's recommends the Planning Commission approve File #7S23/SUB-000359-2023, a preliminary subdivision plat for the “Taylorsville 6 Live/Work Townhomes” located at 2720 West 6200 South, Taylorsville, Utah, as identified in Exhibit I, subject to the findings and conditions outlined in this Staff Report.

Preliminary Conditional Use Permit & Site Plan

Staff recommends the Planning Commission approve File #30C23/CUP-000360-2023, a preliminary conditional use permit and site plan to construct two (2) mixed-use structures at 2720 West 6200 South, Taylorsville, Utah, as illustrated in Exhibits E, F, G, and H, subject to the findings and conditions outlined in this Staff Report.

Recommended Motions (in the order presented)

Master Plan

I move that we approve File #7S23/SUB-000359-2023, a preliminary subdivision plat for the “Taylorsville 6 Live/Work Townhomes” located at 2720 West 6200 South, Taylorsville, Utah, as identified in Exhibits E, F, G, and H, subject to the findings and conditions outlined in this Staff Report.

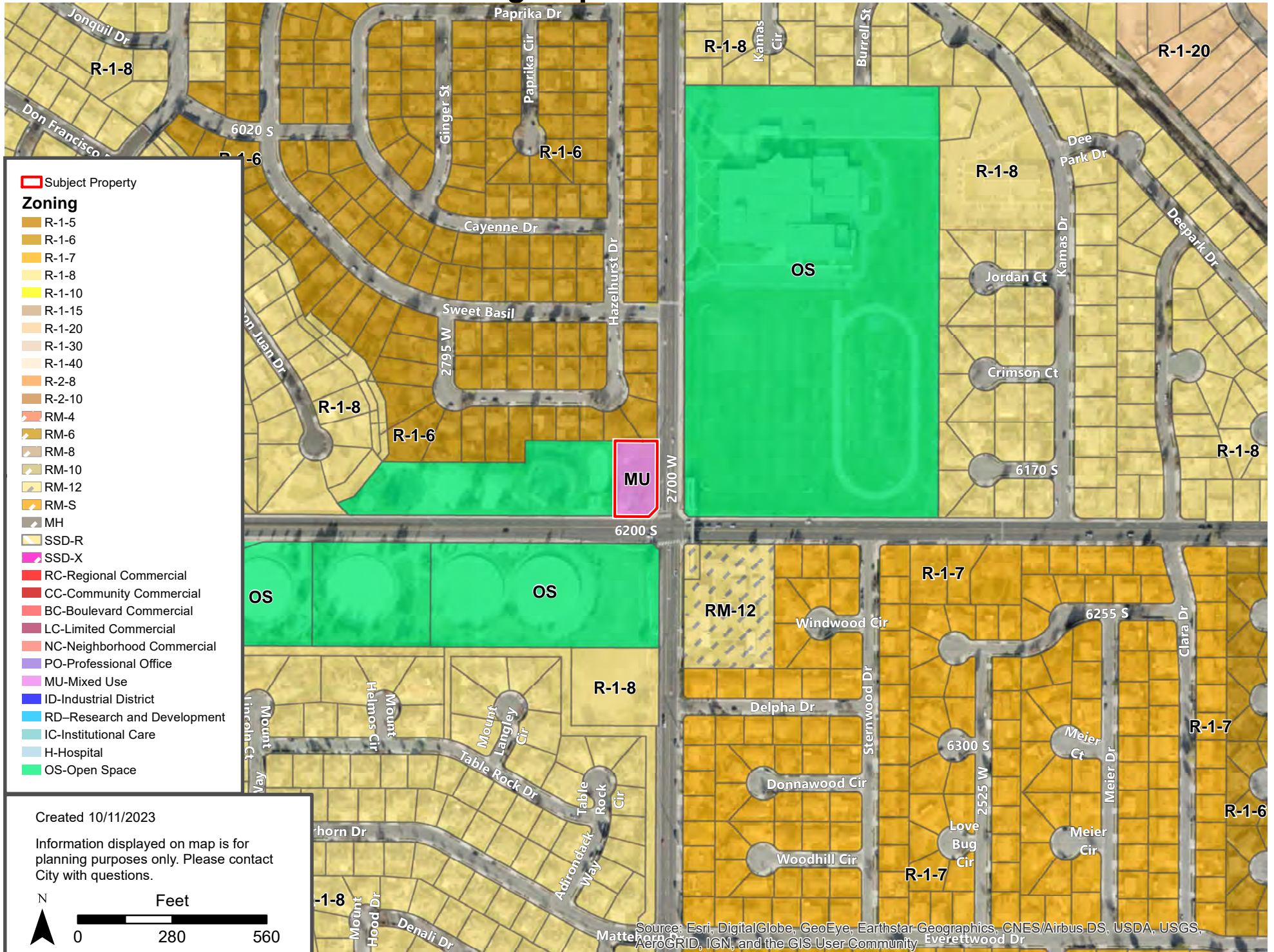
Preliminary Subdivision Plat (Phase 1)

I move that we approve File #30C23/CUP-000360-2023, a preliminary conditional use permit and site plan to construct two (2) mixed-use structures at 2720 West 6200 South, Taylorsville, Utah, as illustrated in Exhibit I, subject to the findings and conditions outlined in this Staff Report.

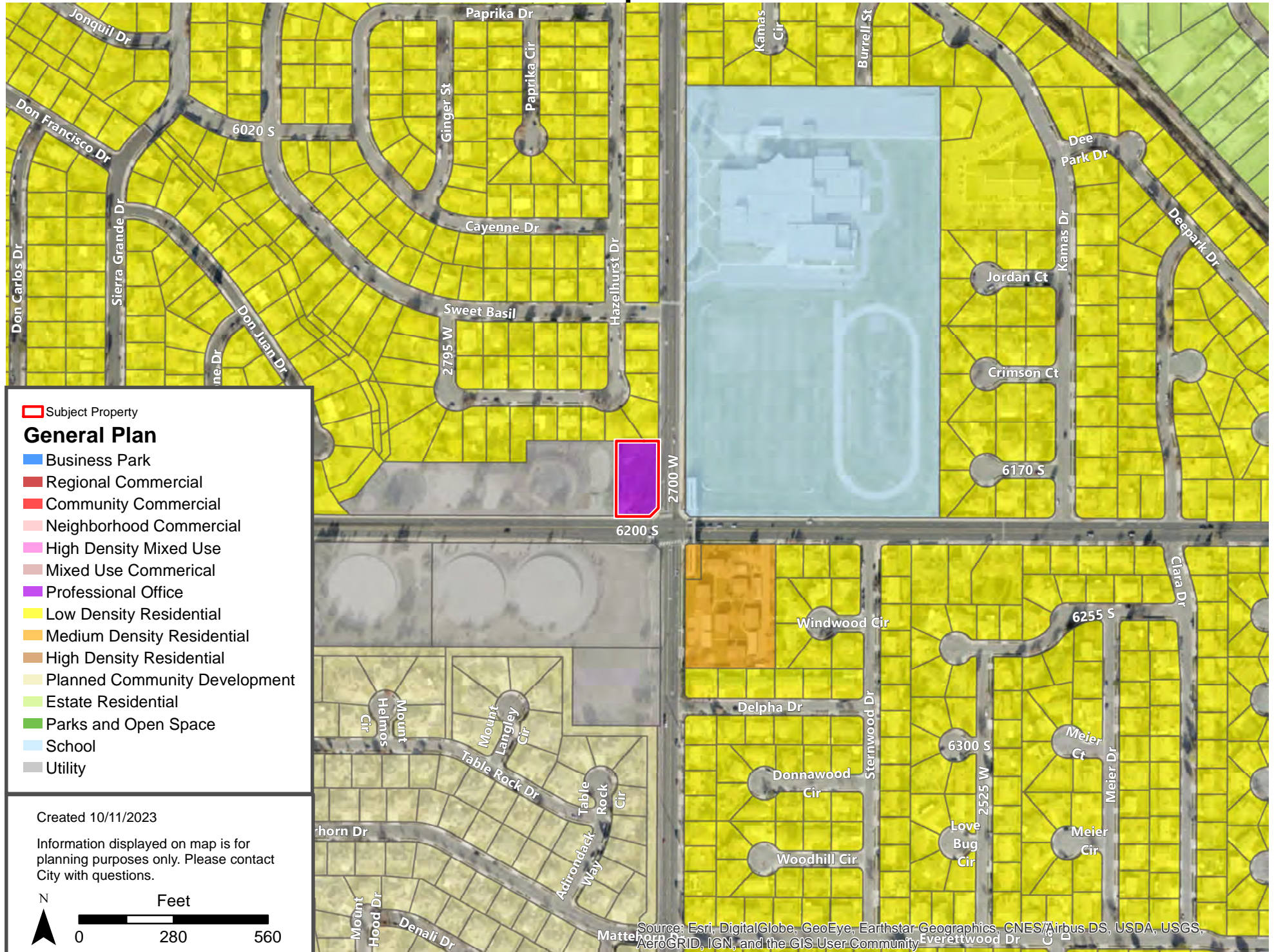
Preliminary Conditional Use Permit & Site Plan (Phase 1)

I move that we approve File #30C23/CUP-000360-2023, a preliminary conditional use permit and site plan to construct two (2) mixed-use structures at 2720 West 6200 South, Taylorsville, Utah, as illustrated in Exhibits E, F, G, and H, subject to the findings and conditions outlined in this Staff Report.

Zoning Map: 2720 W. 6200 S.



General Plan Map: 2720 W. 6200 S.



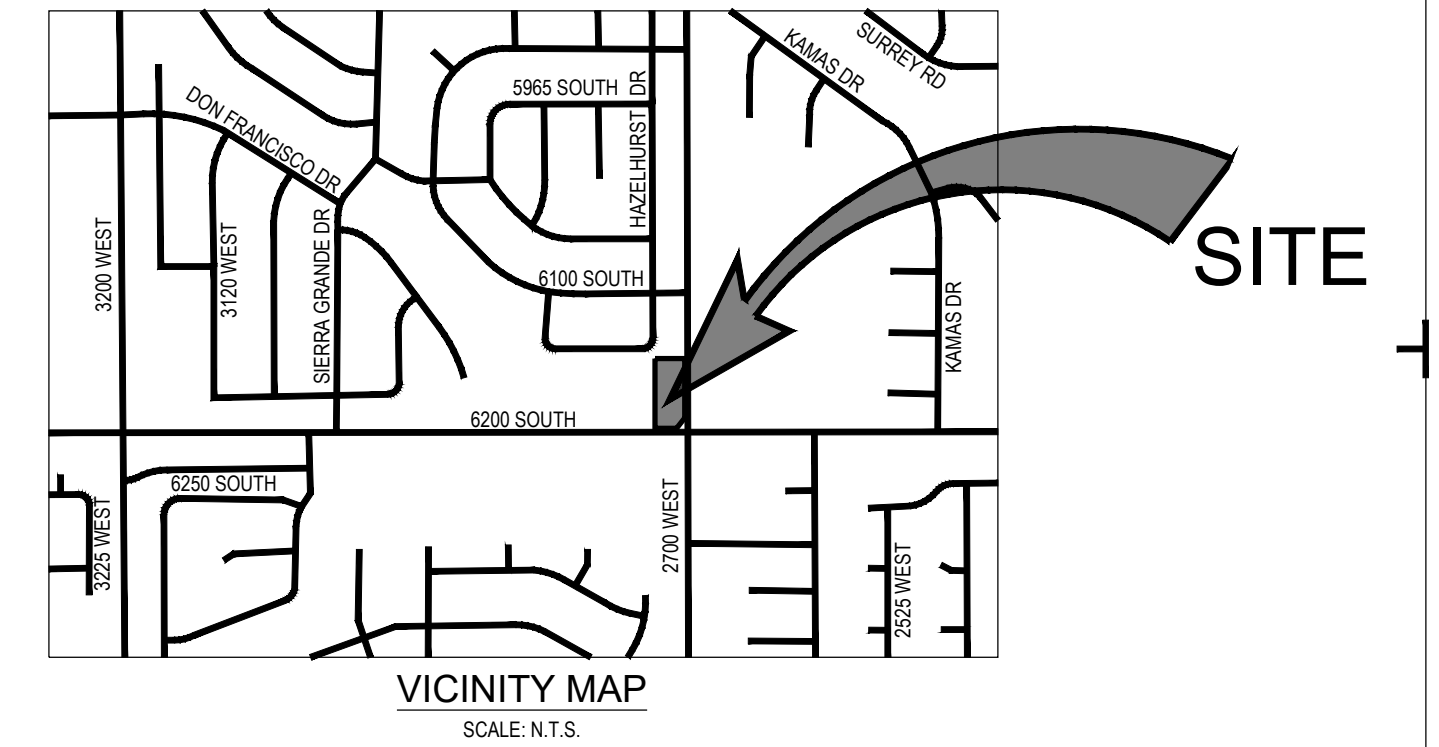
Site Map: 2720 W. 6200 S.



Vicinity Map: 2720 W. 6200 S.



LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.



SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	CIVIL SITE PLAN
C2.01	GRADING AND DRAINAGE PLAN
C3.01	EROSION CONTROL PLAN
C4.01	SITE UTILITY PLAN
C4.02	PROFILE
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAILS
C5.04	CIVIL DETAILS

ALL WORK AND MATERIALS MUST
CONFORM TO TAYLORSVILLE CITY
STANDARDS AND SPECIFICATIONS

DEVELOPER & OWNER

RED MOUNTAIN BUILDERS
MARK STEPHENSON
2003 EAGLE CREST DRIVE
DRAPER, UT 84020
801-541-2777
redmntnbldgr@icloud.com

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8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com
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GENERAL NOTES

- 1.1 COMPLIANCE
1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.

2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.

3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.
- 1.2 PERMITTING AND INSPECTIONS
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.

3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.
- 1.3 COORDINATION & VERIFICATION
1. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.

3. CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDINGS), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDINGS), INCLUDING FIRE PROTECTION, ARCHITECTURAL, SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.

4. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.
- 1.4 SAFETY AND PROTECTION
1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.

2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.

3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.

4. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS, DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.

5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLES AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.

6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

7. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADEING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.

8. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.

9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, ACCORDING TO GOVERNING AGENCY STANDARDS.

10. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.

11. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.

12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR IMPRESS AND EGRESS TO NEW CONSTRUCTION.

13. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.

14. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- 1.5 MATERIALS
1. SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. -SEE SPECIFICATION

A. SLABS ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS). SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.

B. CONCRETE WATERWAYS, CURB/WALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.

C. UNLESS OTHERWISE NOTED, ALL SLABS ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.

D. UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE.

E. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".

F. ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
2. ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 8" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. -SEE SPECIFICATIONS, AND DETAIL "D1" SHEET C6.01
- A. ASPHALT COMPACTION SHALL BE A MINIMUM 98% (MARSHALL DESIGN).

B. SURFACE COARSE SHALL BE ½" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.

C. AD PAVEMENT TO BE A 1" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.

D. THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

GENERAL NOTES: CONTINUED

- 1.7 UTILITIES
1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.

2. CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.

4. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.

5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.

6. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.

7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.

8. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.

9. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.

10. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.

11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
- 1.8 SURVEY CONTROL
1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.

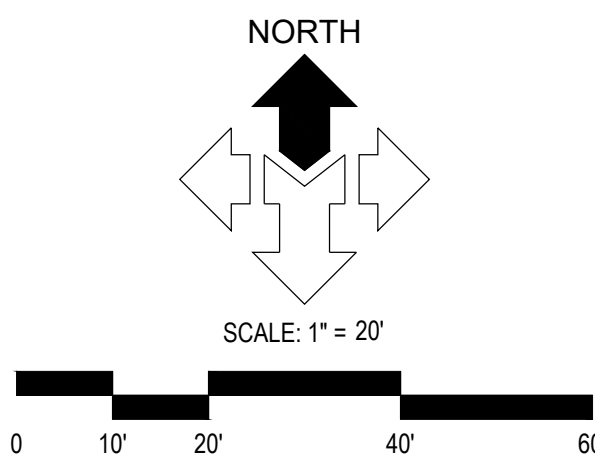
2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.

3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.
- 1.9 AMERICAN DISABILITIES ACT
1. PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
"ROUTES SHALL HAVE A 2.08% (1:48) MAXIMUM CROSS SLOPE.
"ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
"RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.

2. ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.08% (1:48) MAXIMUM SURFACE SLOPE IN ANY DIRECTION.

3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS, IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

AC	ADA	ATMS	BC	BFC	BLUFO	BLUG	BLUSD	BLUSS	BLUT	BLUW	BM	BOF	BOB	BOV	BOT	BOW	BW	CL	CATV	CBR	CC	COLLUM	COMM	CONC	CONST	CNP	CP	CTREE	CUFF	CUYD	DEL	DIA	Ø																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
ACRE	AMERICANS WITH DISABILITIES ACT	ADVANCED TRAFFIC MGMT. SYSTEM	BAR & CAP	BUILDING CORNER	BOTTOM FINISH GRADE	BLUE	BLUE STAKED IRRIGATION	BLUE STAKED NATURAL GAS	BLUE STAKED STORM DRAIN	BLUE STAKED SANITARY SEWER	BLUE STAKED TELEPHONE	BLUE STAKED WATER	BENCHMARK	BOTTOM OF FOOTING	BOTTOM OF BOX	BOLLARD	BOTTOM	BLOW-OFF VALVE	BACK OF WALK	FINISH GRADE AT BOTTOM OF WALL	CENTERLINE	CABLE TELEVISION	CONCRETE BARRIER	CURB CUT	COMMUNICATIONS	CONCRETE	CONSTRUCTION	CORRUGATED METAL PIPE	CONTROL POINT	CONFEROUS TREE	CUBIC FOOT	CUBIC YARD	DELINEATOR	DIAMETER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
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CONNECTION	FDMM	FOUND MONUMENT	FMN	FOUND SECTION CORNER	FFE	FINISHED FLOOR ELEVATION	FG	FINISHED GRADE	EOG	EDGE OF LAWN	EX or EXIST	F	FIRE	FC	FOUNDATION CORNER	FD	FOUND or FOUNDATION DRAIN	FDC	FIRE DEPT. CONNECTION	FDMM	FOUND MONUMENT	FMN	FOUND SECTION CORNER	FFE	FINISHED FLOOR ELEVATION	FG	FINISHED GRADE	EOG	EDGE OF LAWN	EX or EXIST	F	FIRE	FC	FOUNDATION CORNER	FD	FOUND or FOUNDATION DRAIN	FDC	FIRE DEPT. CONNECTION	FDMM	FOUND MONUMENT	FMN	FOUND SECTION CORNER	FFE	FINISHED FLOOR ELEVATION	FG	FINISHED GRADE	EOG	EDGE OF LAWN	EX or EXIST	F	FIRE	FC	FOUNDATION CORNER	FD	FOUND or FOUNDATION DRAIN	FDC	FIRE DEPT. CONNECTION	FDMM	FOUND MONUMENT	FMN	FOUND SECTION CORNER	FFE	FINISHED FLOOR ELEVATION	FG	FINISHED GRADE	EOG	EDGE OF LAWN	EX or EXIST	F</



GENERAL NOTES:

GRADE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF AVAILABLE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND EXCEPTING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE BUILT UP TO THE EXISTING FINISHED GRADE ELEVATION OF THE ADJACENT LOT (SEE 1557) UNLESS UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPLETION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION AND SUBSIDENCE AREAS WITHIN THE BUILDING FOOTPRINT AND AREAS TO BE GRADED. ALL AREAS TO BE GRADED SHALL BE COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C3.01 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALL(S), IF ANY, ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

KEYED NOTES

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
- 2 STORM DRAIN CATCH BASIN WITH HEAVY DUTY BICYCLE SAFE GRATE.
- 3 STORM DRAIN GUTTER INLET WITH HEAVY DUTY BICYCLE SAFE GRATE.
- 4 STORM DRAIN CLEANOUT BOX.
- 5 15" DIAMETER PERFORATED HDPE STORM DRAIN LINE. SEE DETAIL 'C3', SHEET C5.01.
- 6 15" DIAMETER HDPE STORM DRAIN LINE. SEE APWA PLANS NO. 381 & 382 FOR TRENCHING DETAIL.

STORM DRAIN CALCULATIONS

Percolation rate (min/inch)		80.00 min/inch
Discharge Rate from infiltration	0.054 cfs	
Offsite discharge	0 cfs/ac=	0.00
Total discharge from site	0.054	
Design Storm	100 year	
Rainfall Data from NOAA		

Storm water from the site will be collected by catch basins and gutter inlet boxes and conveyed into a system of perforated pipes surrounded by clean washed gravel. Stormwater will be retained on site and infiltrate into the ground by means of a perforated pipe and gravel system.

Storage Requirement using Rational Formula:

Q=CIA where	
C _{roof} =	0.90
C _{paved} =	0.90
C _{landscaped} =	0.15
I=Rainfall Intensity	
A=Tributary Area	
Roof Area =	5.870
Paved Area =	18.068
Landscape Area =	3.943
Total Tributary Area =	27.881
Weighted Coefficient (C) =	0.79
C * A =	22.087

100 yr Design Storm

Time (min)	Rate (in/hr)	Rainfall (inches)	Accum. Flow (cu.ft.)	Discharge (cu.ft.)	Req'd Storage (cu.ft.)
5	6.38	0.532	979	16	963
10	4.85	0.81	1,489	32	1,457
15	4.00	1.04	1,901	48	1,792
30	2.70	1.35	2,485	97	2,388
60	1.67	1.67	3,074	193	2,880
120	0.92	1.83	3,368	386	2,982
180	0.62	1.86	3,423	580	2,844
360	0.33	2.00	3,681	1,159	2,522
1,440	0.11	2.58	4,749	4,637	111

Pipe Infiltration Calculations

Pipe Diameter (ft)	Length	Storage Volume in Pipe	Storage	gravel beneath	gravel on each
			Volume in Gravel Voids	1.00	side of pipe (ft)
				1.00	2.58
1.5	290	512	2499	3091.62	0.054
Total	290	512	2499		

gravel above the pipe (ft.)	gravel beneath pipe (ft)	gravel on each side of pipe (ft)
1.00	1.00	2.58

Pipe Infiltration discharge (cfs)=	0.054
Discharge into city storm drain (cfs)=	0.00
Total discharge from Site (cfs)=	0.05

Total underground storage in pipes and gravel	3011	
Total Storage	3011	okay
Total storage required	2,982	

COMMON GRADING ABBREVIATIONS:

SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

- | | |
|--------|------------------------------------|
| - BE | BASEMENT FLOOR ELEVATION |
| - BW | FINISH GRADE AT BOTTOM OF EXISTING |
| - EX | EXISTING |
| - EOA | EDGE OF ASPHALT |
| - EOC | EDGE OF CONCRETE |
| - FE | FINISH FLOOR ELEVATION |
| - FG | FINISH GRADE |
| - FL | FLOW LINE |
| - GB | GRADE BREAK |
| - HP | HIGH POINT |
| - LP | LOW POINT |
| - LG | NATURAL GROUND |
| - SDCB | STORM DRAIN CATCH BASIN |
| - SDCO | STORM DRAIN CLEANOUT BOX |
| - SDOB | STORM DRAIN DRAIN BASIN |
| - SDMH | STORM DRAIN MANHOLE |
| - TB | TOP BACK OF CURB |
| - TOA | TOP OF ASPHALT |
| - TOC | TOP OF CONCRETE |
| - TOG | TOP OF GRATE |
| - TOW | TOP OF WALL |
| - TW | FINISH GRADE AT TOP OF WALL |
| - WW | WATERWAY |

NOTICE!

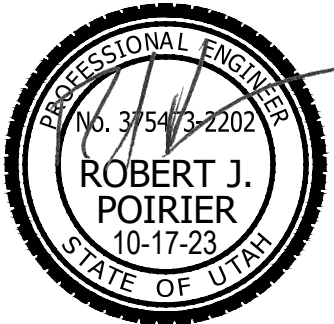
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



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TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

6200 S. 2700 W.
TAYLORSVILLE, UTAH

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.

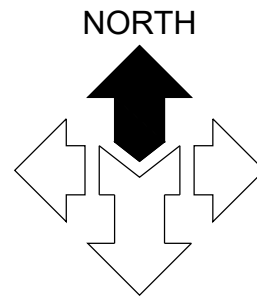
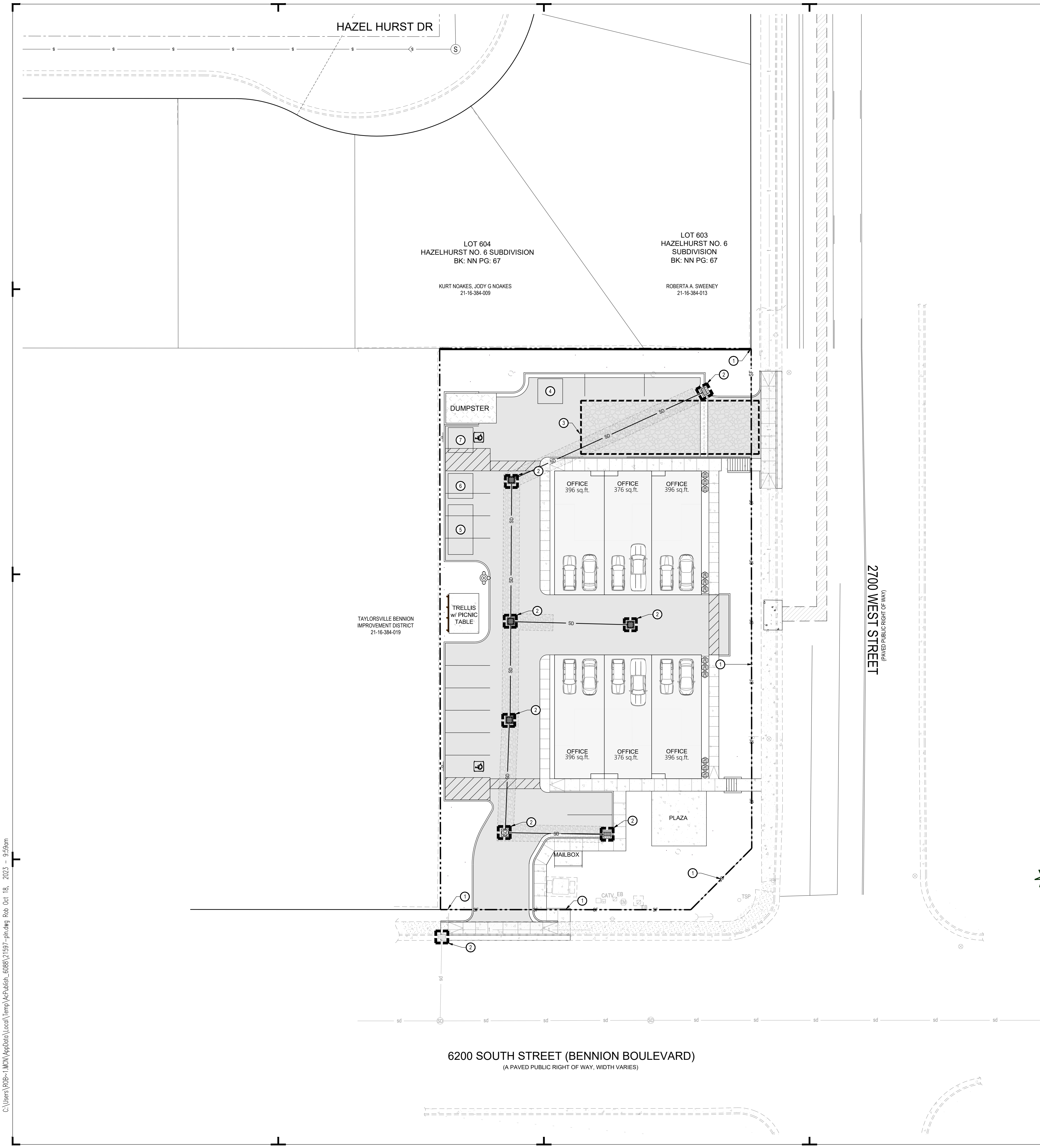
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PROJECT NO:	21597
DRAWN BY:	RJP/TJO
CHECKED BY:	RJP
DATE:	10-17-23

GRADING AND DRAINAGE PLAN

C2.01

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GENERAL NOTES:
THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS REFERRED TO ON THIS SHEET SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.

WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT OPEN FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

MAINTENANCE:
THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.

SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

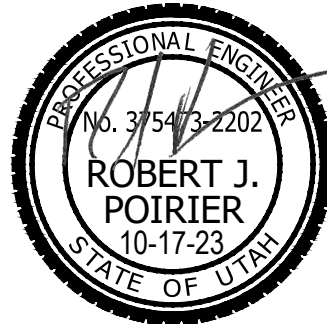
KEYED NOTES:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

① SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'C3', SHEET C5.04.
② INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL 'A1', SHEET C5.04.
③ TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 'C1', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
④ CONCRETE WASHOUT AREA. CREATE A MIN. 10'X10' AREA WITH A 1' HIGH BERM. LINE AREA WITH PLASTIC. DISCARD WASTE IN DUMPSTER WHEN FULL AND LEGALLY DISPOSE OF. SEE DETAIL 'A3', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
⑤ CONSTRUCTION DUMPSTER. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
⑥ PORTABLE CONSTRUCTION TOILET. TOILET TO BE PROPERLY SECURED TO PREVENT TIPPING. BUILD 6" BERM AROUND TOILET TO CONTAIN ANY SPILLS OR LEAKAGE. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. SEE DETAIL 'C3', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
⑦ MATERIAL STORAGE AND STOCK PILE AREA. SEE DETAIL 'A5', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.



NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

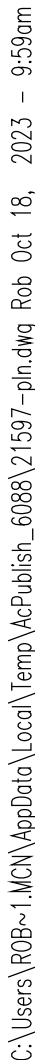
6200 S. 2700 W.
TAYLORSVILLE, UTAH
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.

REVISIONS		DESCRIPTION	
REV	DATE		
<<<<<<<<			

PROJECT NO: 21597
DRAWN BY: RJP/TJO
CHECKED BY: RJP
DATE: 10-17-23

EROSION CONTROL PLAN

C3.01



CONTRACTOR IS TO COORDINATE ALL SITE UTILITIES WITH PLUMBING DRAWINGS.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.

FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES

CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW COMMUNICATION / DATA FACILITIES TO BUILDING WITH UTILITY PROVIDER.

CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW NATURAL GAS FACILITIES TO BUILDING WITH DOMINION ENERGY AND MECHANICAL PLANS.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

UTILITY PROVIDERS:
WATER: TAYLORSVILLE BENNION IMPROVEMENT DISTRICT
SEWER: TAYLORSVILLE BENNION IMPROVEMENT DISTRICT
NATURAL GAS: DOMINION ENERGY
ELECTRICAL POWER: ROCKY MOUNTAIN POWER
TELEPHONE: CENTURY LINK

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 6 8" BLUE PVC-C 900 DR-18 WATER LINE, INCLUDING ALL FITTINGS, THRUST BLOCKING & TRENCHING PER TAYLORSVILLE BENNNION IMPROVEMENT DISTRICT.
- 7 FIRE HYDRANT ASSEMBLY COMPLETE. PER TAYLORSVILLE BENNNION IMPROVEMENT DISTRICT PLANS NO. TB-209. SEE TB-201 FOR TRENCHING.
- 8 3/4" WATER SERVICE METER SET. TO BE PROVIDED BY TAYLORSVILLE BENNNION & TO BE INSTALLED TO TAYLORSVILLE BENNNION STANDARDS & SPECIFICATIONS.
- 9 3/4" METER AND PVC IRRIGATION SERVICE STUB. SEE LANDSCAPING PLANS FOR STOP WASTE AND BACK FLOW PREVENTER DETAILS.
- 10 4" DIAMETER SANITARY SEWER MANHOLE. PER TAYLORSVILLE BENNNION IMPROVEMENT DISTRICT PLANS NO. TB-105.
- 11 CORE-CONCRETE NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER MANHOLE. PER TAYLORSVILLE BENNNION IMPROVEMENT STANDARDS AND SPECIFICATIONS.
- 12 8" PVC SDR-35 SANITARY SEWER LINE, INCLUDING ALL FITTINGS. SEE TAYLORSVILLE BENNNION IMPROVEMENT DISTRICT PLANS NO. TB-101 & TB-201 FOR TRENCHING.
- 13 4" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING ALL FITTINGS. CLEANOUTS AT 50-FOOT MAXIMUM SPACING PER TAYLORSVILLE BENNNION DETAIL TB-102.
- 14 APPROXIMATE LOCATION OF NEW ELECTRICAL METERS. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY ROCKY MOUNTAIN POWER WITH OTHER CONSTRUCTION.
- 15 APPROXIMATE LOCATION OF NEW NATURAL GAS METERS. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY DOMINION ENERGY WITH OTHER CONSTRUCTION.
- 16 8" BLUE PVC-C 900 DR-18 WATER LINE, INCLUDING ALL FITTINGS, THRUST BLOCKING & TRENCHING PER TAYLORSVILLE BENNNION IMPROVEMENT DISTRICT.
- 17 8" HOT-TAP TO EXISTING WATER MAIN INCLUDING VALVES, THRUST BLOCKING AND TRENCHING PER TAYLORSVILLE BENNNION IMPROVEMENT STANDARDS AND SPECIFICATIONS.

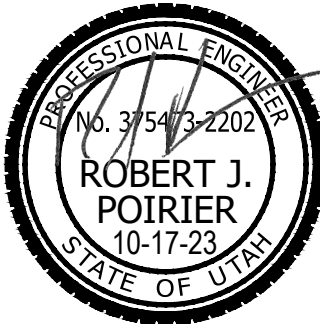


THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

PROJECT NO:	21597
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C4.01

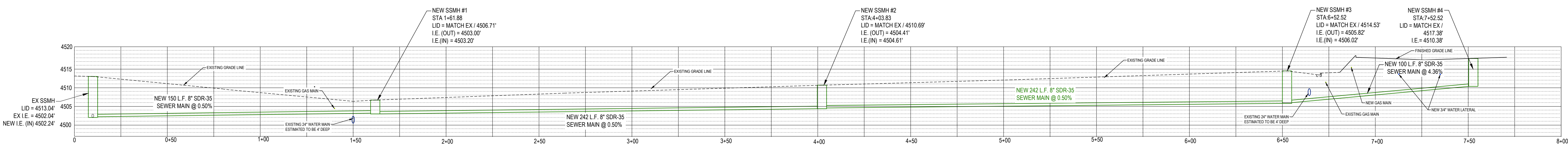
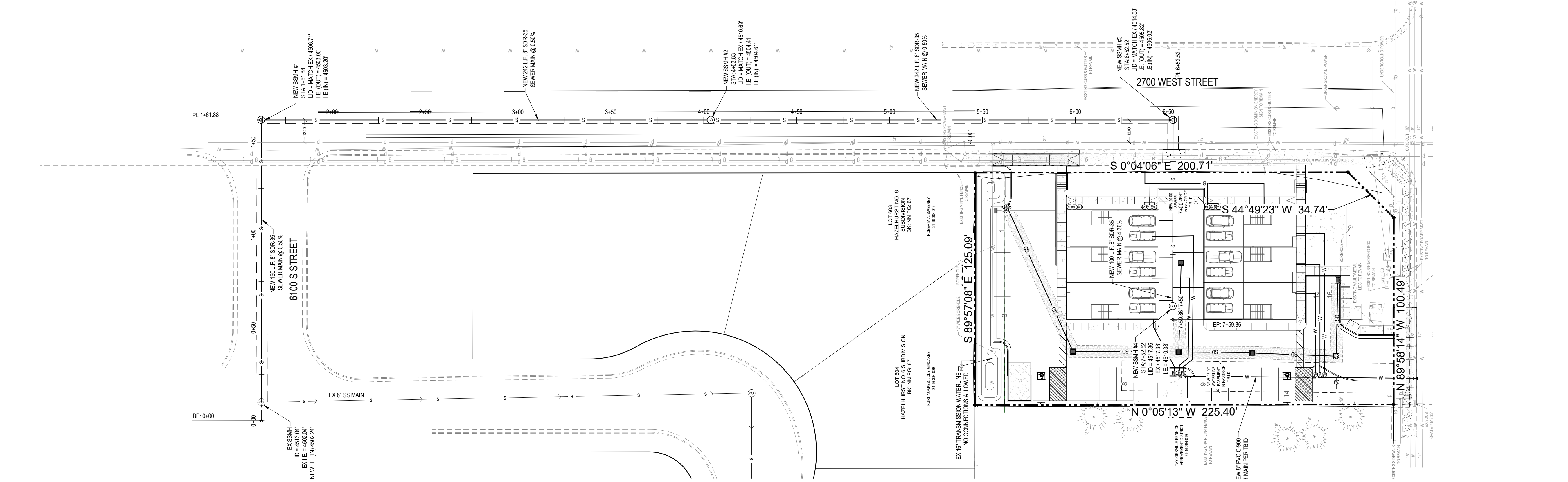
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TAYLORSVILLE 6 LIVE/WORK TOWNHOMES


**6200 S. 2700 W.
TAYLORSVILLE, UTAH**

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.



SEWER PROFILE

- ① STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL "D1", SHEET C5 01.
- ② ASPHALT T-PATCH, PER APWA PLAN NO. 255 WHICH INCLUDES 2' OVERCUTS AND AN OVERLAY IN THE AFFECTED TRAVEL LANE. NO SAWCUTS ALLOWED IN TRAVEL LANE.
- ③ CONCRETE SIDEWALK, PER APWA PLAN NO. 231.



BlueStakes.org

NOTICE!

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REVISIONS		DESCRIPTION	
REV	DATE		

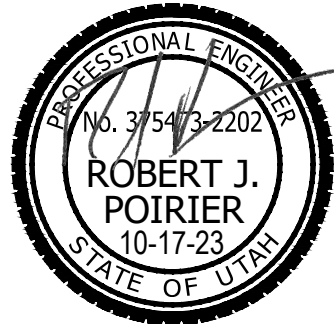
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DATE: 10-17-23

PROFILE

C4.02

TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

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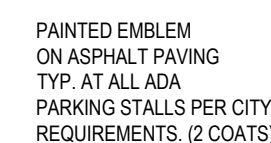


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ASPHALTIC PAVEMENT SECTION



NOTE:
SEE SPECIFICATIONS FOR PA
TYPE AND COLOR. (2 COATS)

PAINTED ADA SYMBOL

SCALE: N.T.S.

D5



CONCRETE PAVEMENT SECTION

SCALE: N.T.S.

C1



NOTES:

1. PROVIDE 1/2" x 3" WEEP HOLES (SLOTS) IN VERT. JOINTS @ 12' O.C. AND CONTROL JOINTS @ 12' O.C.
2. PROVIDE EXPANSION JOINTS @ 48' O.C. (FULL BREAK), SLEEVE HORIZONTAL STEEL

BLOCK RETAINING WALL SECTION

SCALE: N.T.S.

A2



FIRE HYDRANT CONNECTION
NOT TO SCALE

TB-209
PAGE 2 OF 2

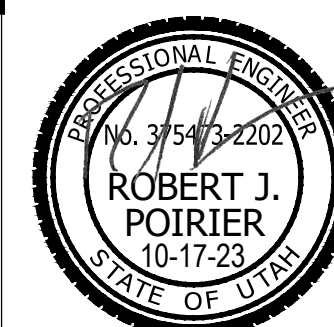
- FIRE HYDRANT CONNECTION NOTES:**

1. CONCRETE SHALL BE INSTALLED AS FOLLOWS: IN PARKSTRIP A SQUARE WITH SIDE DIMENSIONS EQUAL THE WIDTH OF THE PARKSTRIP. OUTSIDE PARKSTRIP - 5' SQUARE.
2. LEVEL & ADJUST LID & FRAME TO FINISH SURFACE (1/4" MAX BELOW SURFACE).
3. FM GREASE REQUIRED ON BOLTS. WRAP FITTINGS WITH 8 MIL POLYETHYLENE WRAP AND TAPE.
4. BOLLARDS ARE REQUIRED AROUND HYDRANTS WHERE NEEDED FOR PROTECTION AS DETERMINED BY TBID.



FIRE HYDRANT CONNECTION

TB-209
PAGE 1 OF 2



TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

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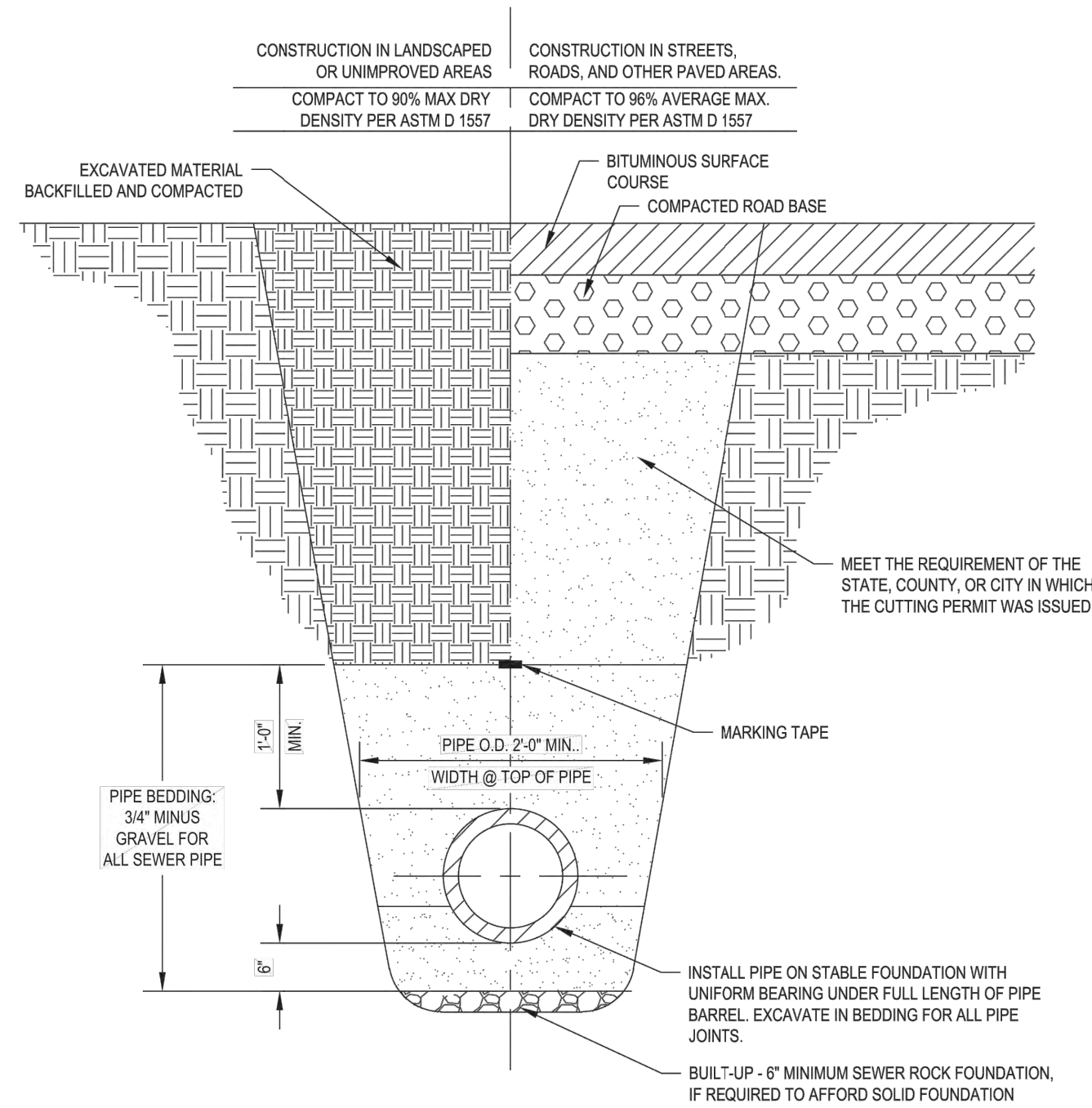
CIVIL DETAILS

C5.04

1. BLUE STAKES SHALL BE CONTACTED 48 HOURS BEFORE ANY EXCAVATION IS COMMENCED.
2. BACKFILL, ROAD BASE, AND PAVEMENT CONSTRUCTION SHALL CONFORM TO REQUIREMENTS, STANDARDS, AND REGULATIONS OF THE ROADWAY JURISDICTION.
3. TBD RECOMMENDS THE CONTRACTOR MEET ALL TRENCH SAFETY REQUIREMENTS ESTABLISHED BY OSHA & UOSHA.
4. THE DISTRICT INSPECTOR MAY REQUIRE UNSUITABLE MATERIALS BENEATH THE PIPE ZONE TO BE OVER-EXCAVATED, BACKFILLED, AND COMPACTED TO 95% MAX DENSITY.
5. EXCAVATE AT PIPE BELLS TO ENSURE PIPE IS SUPPORTED PROPERLY ALONG ITS ENTIRE LENGTH
6. PERMITS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
7. SEWER LINES SHALL BE PVC SDR35 PIPE. MINIMUM SEWER MAIN SIZE SHALL BE 8".
8. PIPE LAYING OPERATIONS SHALL PROCEED IN AN UPHILL DIRECTION WITH ALL BELLS FACING UPHILL.
9. PIPE PLUGS SHALL BE INSTALLED DURING CONSTRUCTION AT THE END OF EACH LENGTH OF PIPE TO PREVENT DEBRIS FROM ENTERING PIPE.



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TB-101
PAGE 2 OF 2

1. INSTALL PER TYPICAL SEWER TRENCH TB-101.
2. ALL FITTINGS AND PIPE SHALL BE PVC SDR 35.
3. MINIMUM 2' REQUIRED BETWEEN ALL BENDS ON SEWER LATERAL. 90 DEGREE BENDS ARE NOT PERMITTED.
4. PIPE LAYING OPERATIONS SHALL PROCEED IN AN UPHILL DIRECTION WITH ALL BELLS FACING UPHILL.
5. PROVIDE APPROVED "SHIELDED FERNCO" FITTINGS FOR CONNECTIONS TO EXISTING SERVICES WHERE REQUIRED.
6. COMPACT TO 96% MAX DENSITY UNDER PAVEMENTS AND IMPROVED AREAS. COMPACT TO 90% MAX DENSITY IN UNIMPROVED AREAS.
7. MINIMUM GRADE FOR 4" SEWER LATERAL IS 2%.
8. MINIMUM GRADE FOR 6" SEWER LATERAL IS 1%
9. DISTRICT TO INSPECT ALL LATERALS.
10. ALL SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED.
11. SEE TB-103 FOR NOSE-ON DETAIL TO EXISTING SEWER.

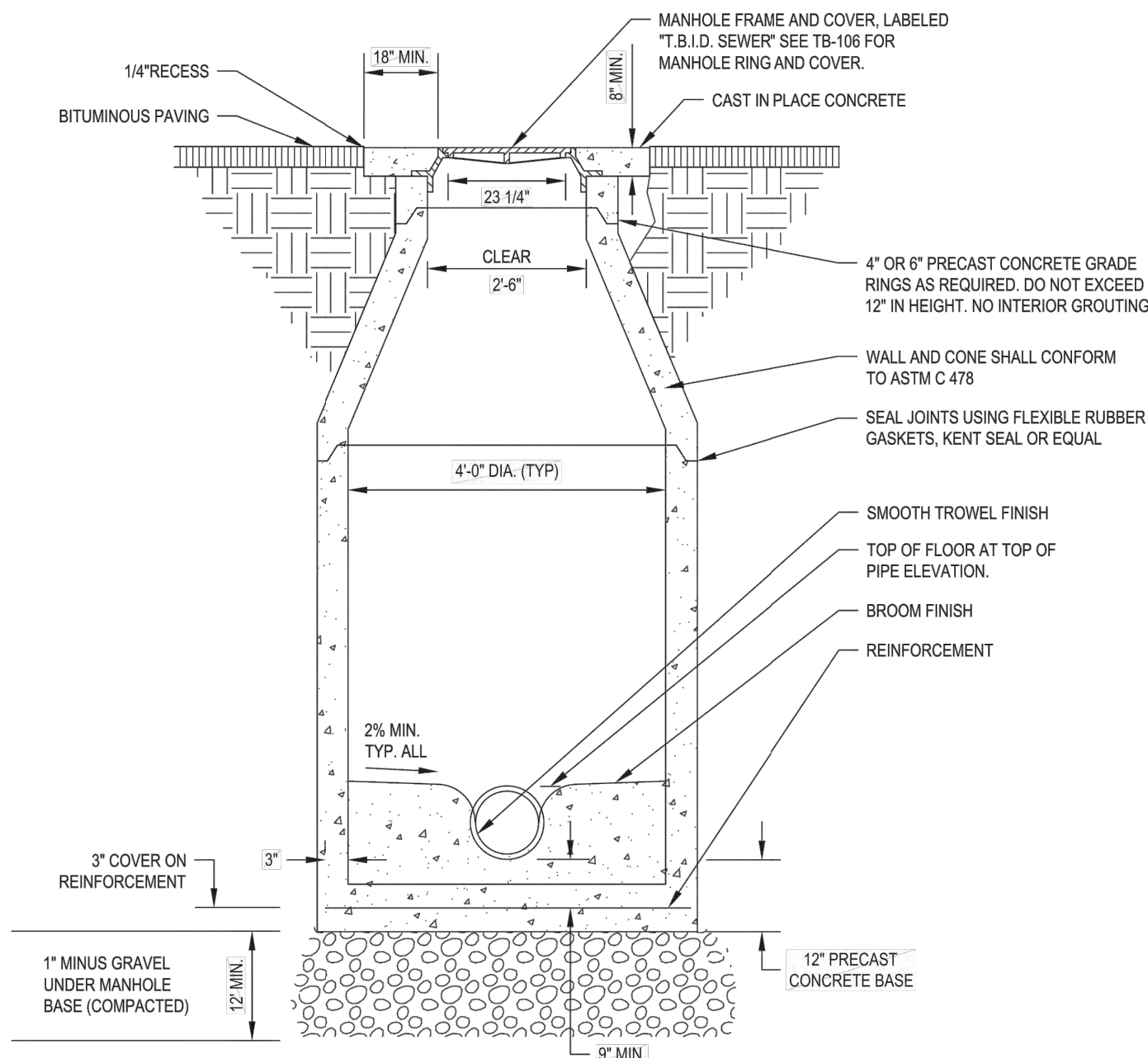


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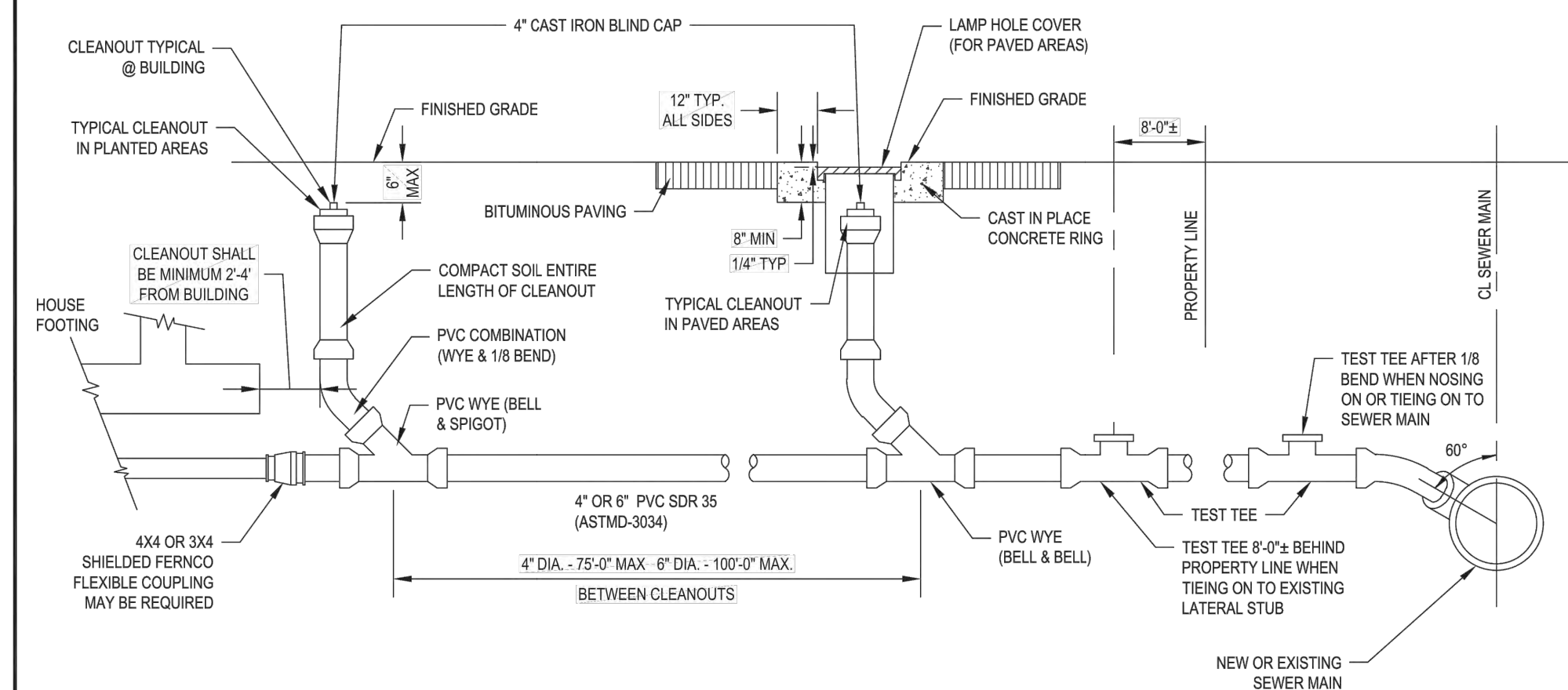
1. CONCENTRIC OR ECCENTRIC MANHOLE CONES ARE ACCEPTABLE.
2. NO STEPS IN CONE OR ON MANHOLE WALL IN CONCENTRIC MANHOLES. STEPS SHALL BE ALIGNED OVER THE SHELF OF ECCENTRIC MANHOLES
3. MANHOLES SHALL BE OF WATERTIGHT CONSTRUCTION, UTILIZING EITHER BITUMASTIC SEALANT OR RUBBER GASKET BETWEEN ADJACENT MANHOLE SECTIONS.
4. MANHOLE SHALL BE 5'-0" Ø IF SEWER MAIN IS GREATER THAN 10" Ø, OR IF THREE OR MORE SEWER MAIN PIPES CONNECT TO MANHOLE, OR IF OTHERWISE SPECIFIED ON DRAWINGS.
10. ALL MANHOLES WILL BE VACUUM TESTED. SEE SECTION 33 31 00 OF TBID STANDARD SPECIFICATIONS FOR MANHOLE TESTING REQUIREMENTS
11. LEVEL & ADJUST LID & FRAME TO FINISH GRADE (1/4" MAX BELOW SURFACE).
12. CONCRETE COLLARS REQUIRED IN PAVED AREAS.
13. MANHOLE REQUIRED ON ALL SEWER MAIN STUB ENDS.
14. THERE IS TO BE A 0.2' DROP THROUGH EVERY MANHOLE.
15. INSTALL SUITABLE BARRIERS OR COVERS DURING CONSTRUCTION TO PREVENT DEBRIS FROM ENTERING SEWER MAIN PIPING VIA MANHOLES.
16. COMPACT TO 96% MAX DENSITY UNDER PAVEMENTS AND IMPROVED AREAS. COMPACT TO 90% MAX DENSITY IN UNIMPROVED AREAS.
17. SEE TB-104 FOR ADDITIONAL INFORMATION.



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TB-105
PAGE 2 OF 2



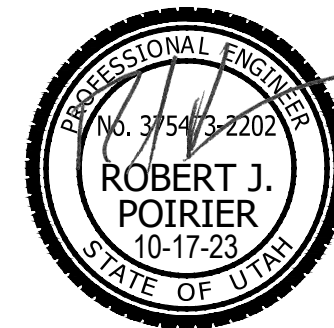
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PROJECT NO:	21597
DRAWN BY:	RJP/TJO
CHECKED BY:	RJP
DATE:	10-17-23

CIVIL DETAILS

C5.02



TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

**6200 S. 2700 W.
TAYLORSVILLE, UTAH**

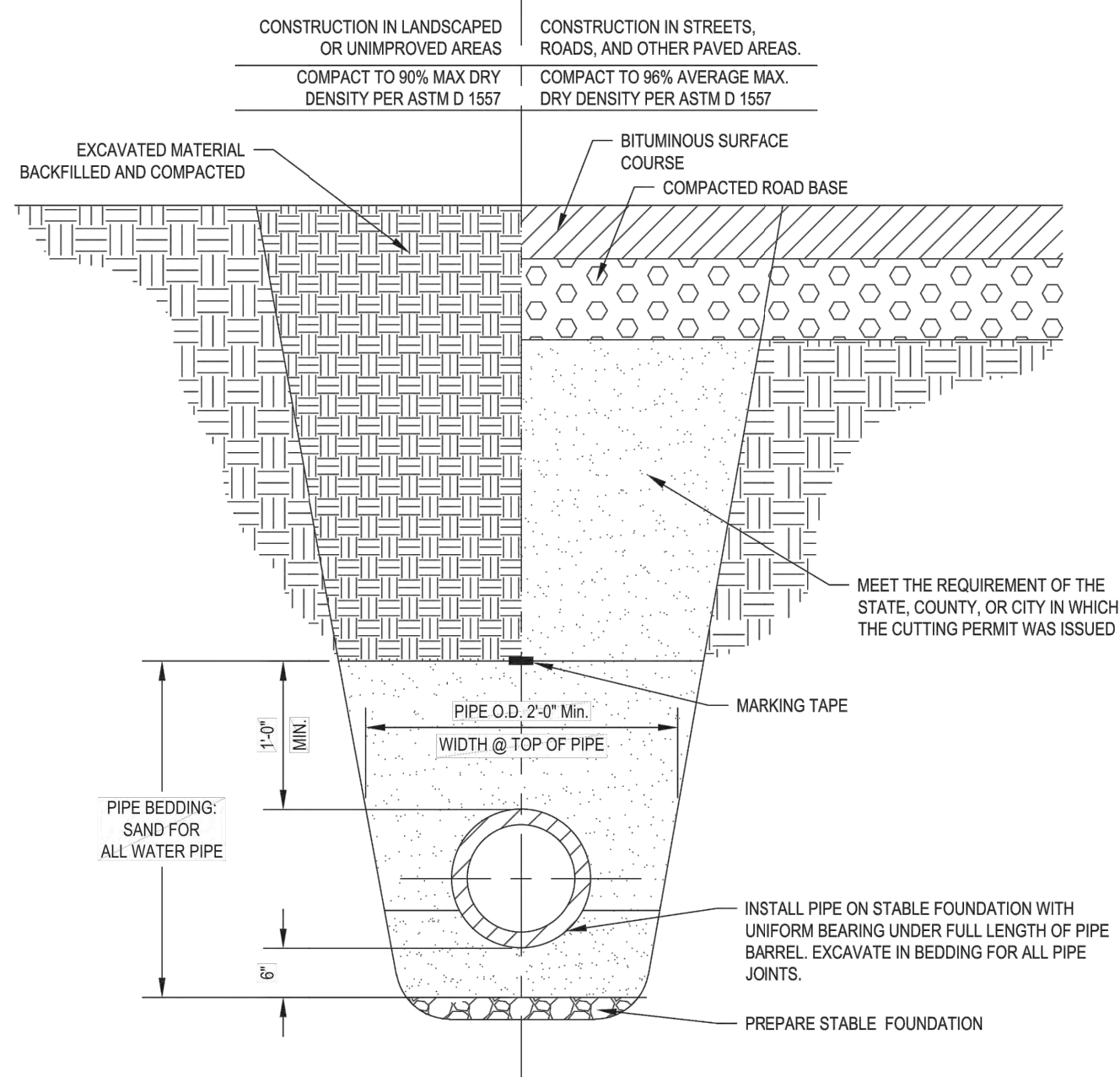
TAYLORSVILLE, UTAH
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.

1. BLUE STAKES SHALL BE CONTACTED 48 HOURS BEFORE ANY EXCAVATION IS COMMENCED.
2. BACKFILL, ROAD BASE, AND PAVEMENT CONSTRUCTION SHALL CONFORM TO REQUIREMENTS, STANDARDS, AND REGULATIONS OF THE ROADWAY JURISDICTION.
3. TBID RECOMMENDS THE CONTRACTOR MEET ALL TRENCH SAFETY REQUIREMENTS ESTABLISHED BY OSHA & UOSHA.
4. THE DISTRICT INSPECTOR MAY REQUIRED UNSUITABLE MATERIALS BENEATH THE PIPE ZONE TO BE OVER-EXCAVATED, BACKFILLED, AND COMPACTED TO 95% MAX DENSITY.
5. EXCAVATE AT PIPE BELLS TO ENSURE PIPE IS SUPPORTED PROPERLY ALONG ITS ENTIRE LENGTH
6. PERMITS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.



The logo is circular with a blue and white yin-yang design. The text "TAYLORVILLE BENBOW" is in the center, "WATER DISTRIBUTION" is at the top, and "IMPROVEMENT DISTRICT" is at the bottom.

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PAGE 1 OF 2



TB-201
PAGE 2 OF 2

1. TBID WILL PERFORM ALL SERVICE CONNECTION TAPS. CONTACT DISTRICT INSPECTOR TO SCHEDULE TAPS.
2. TBID WILL FURNISH & INSTALL 3/4" - 2" WATER METERS AS PART OF THE CONNECTION FEES.
3. DEVELOPER IS RESPONSIBLE FOR COMPACTION IN THE WATER LATERAL TRENCH.
4. METER BOX SHALL BE INSTALLED IN THE PARK STRIP WHERE POSSIBLE. SET METER BOX SUCH THAT THE TOP OF THE LID IS EQUAL TO THE SIDEWALK ELEVATION. CONCRETE COLLARS REQUIRED IF METER IS PLACED IN ASPHALT PAVEMENT.
5. WATER SERVICE IS PRIVATE BEHIND THE METER.
6. METERS IN DRIVEWAYS/ASPHALT MAY REQUIRE SPECIAL TRAFFIC RATED DESIGN

- 1" CORP - (2) 1" CC X CTS COMP BALL CORP (FERGUSON, PART# MB25008NG)
- 1 1/2" SETTER- 18" SETTER WITH BALL VALVE AND CHECK VALVE, NO BYPASS (HYDRO SPECIALTIES, PART# 720-618WDF660)
- SPLITTER ADAPTER (FERGUSON, PART# FY48246GNL)
- LID - FIBRELYTE FL36 COVER (A) FOR COMPOUND METER, (C) FOR T10 (FERGUSON, PART# C02001525)
- BOX- FIBRELYTE FL36 BOX 18" (FERGUSON, PART# C02006095)
- BOX EXTENSION - (2) FIBRELYTE FL36 EXTENSION 8" (FERGUSON, PART# C02001165)



WATER DISTRIBUTION
TAYLORVILLE
BENNING
IMPROVEMENT
DISTRICT
WASTEWATER COLLECTION

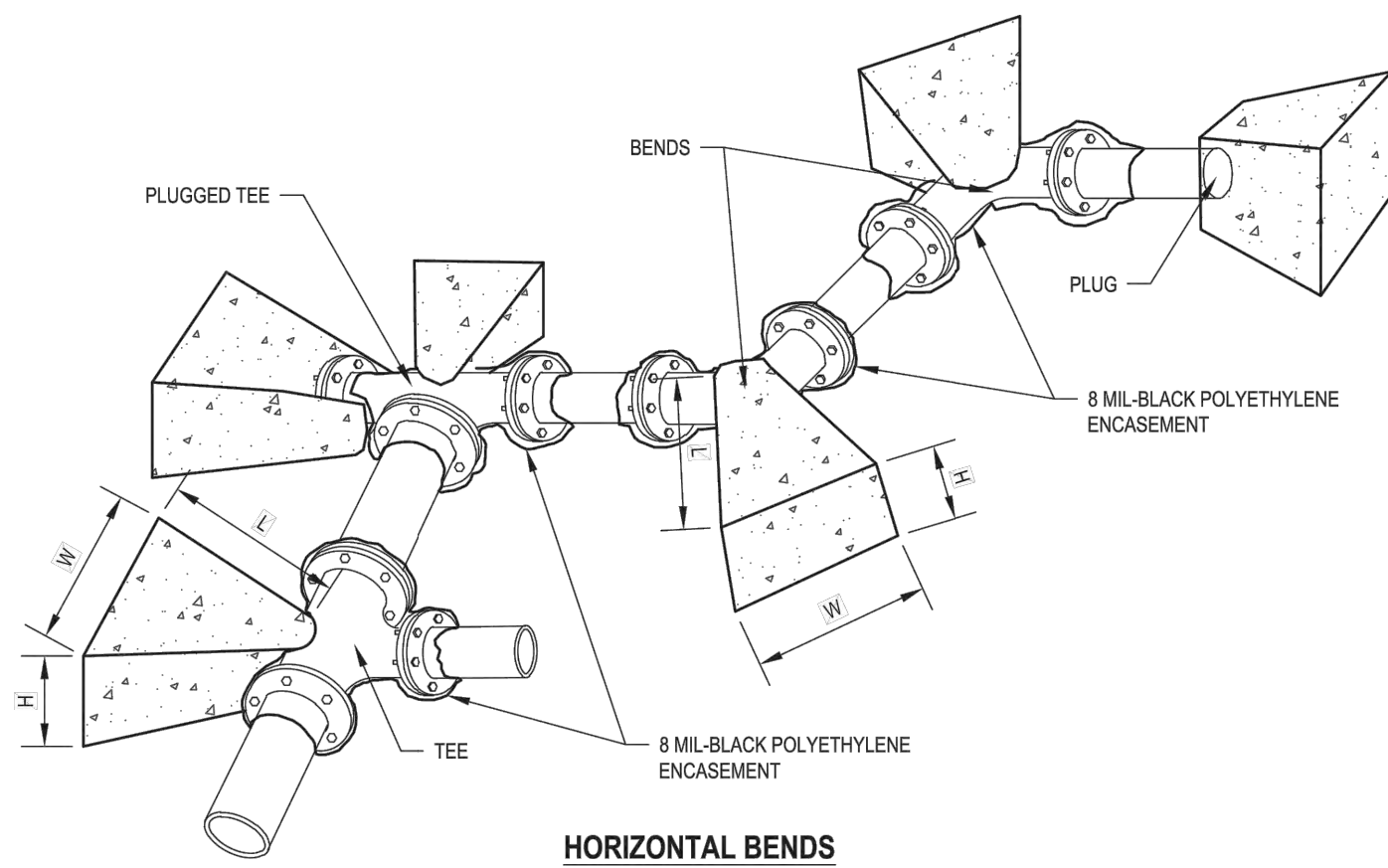
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PAGE 1 OF 2

1. 8 MIL-BLACK POLYETHYLENE ENCASEMENT SHALL BE PROVIDED FOR ALL FITTINGS, VALVES, FIRE HYDRANTS, AND COUPLINGS IN ACCORDANCE WITH AWWA C105.
2. FM GREASE REQUIRED ON ALL BOLTS.
3. SIZE BLOCKS BASED UPON 200 PSI LINE PRESSURE AND SPECIFIC SOIL BEARING VALUE OF CONSTRUCTION SITE.
4. ALL THRUST BLOCK BEARING FACES SHALL BE POURED AGAINST UNDISTURBED SOIL OR AN APPROVED, COMPACTED BACKFILL.
5. THRUST BLOCK SIZES SHOWN IN THE TABLE BELOW ARE FOR HORIZONTAL BENDS BASED ON 200PSI OPERATING PRESSURE AND 1500 LBS/SQ FT SOIL BEARING PRESSURE. THRUST BLOCK SIZES MAY NEED TO BE ADJUSTED TO CONFORM WITH PROJECT SPECIFIC CONDITIONS. THRUST BLOCKS FOR VERTICAL BENDS TO BE DESIGNED BY ENGINEER.

	11.25" BEND			22.5" BEND			45° BEND			90° BEND			TEE			DEAD END		
	L	W	H	L	W	H	L	W	H	L	W	H	L	W	H	L	W	H
6-INCH	0.8" 1.0"	1.0"	1.0"	1.2" 1.3"	1.3"	1.3"	1.6" 1.9"	1.9"	1.9"	2.2" 2.5"	2.5"	2.5"	1.8" 2.1"	2.1"	2.1"	1.8" 2.1"	2.1"	2.1"
8-INCH	1.1" 1.3"	1.3"	1.3"	1.5" 1.8"	1.8"	1.8"	2.1" 2.5"	2.5"	2.5"	2.9" 3.3"	3.3"	3.3"	2.4" 2.8"	2.8"	2.8"	2.4" 2.8"	2.8"	2.8"
10-INCH	1.4" 1.6"	1.6"	1.6"	1.9" 2.2"	2.2"	2.2"	2.6" 3.0"	3.0"	3.0"	3.6" 4.1"	4.1"	4.1"	3.0" 3.5"	3.5"	3.5"	3.0" 3.5"	3.5"	3.5"
12-INCH	1.6" 1.9"	1.9"	1.9"	2.3" 2.6"	2.6"	2.6"	3.1" 3.6"	3.6"	3.6"	4.3" 4.9"	4.9"	4.9"	3.6" 4.1"	4.1"	4.1"	3.6" 4.1"	4.1"	4.1"

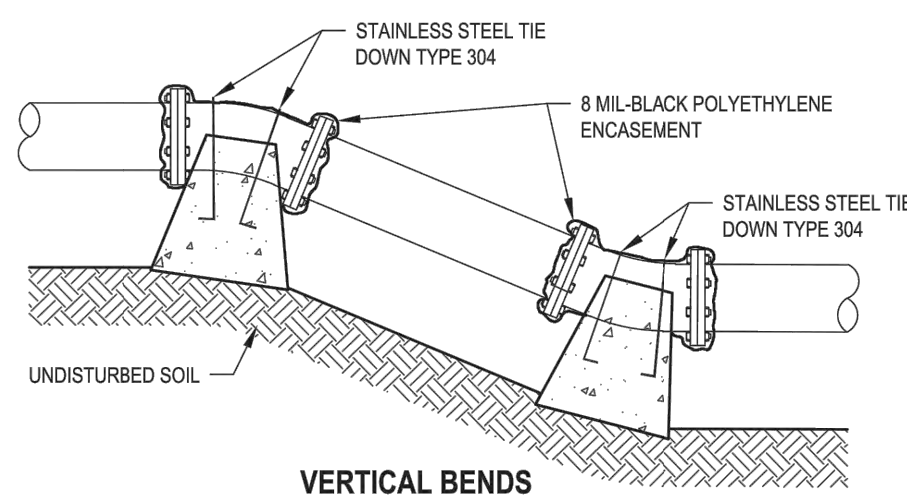


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WATER DISTRICT
TAYLORVILLE
BENNETT
IMPROVEMENT
DISTRICT
WATER COLLECTION

TB-202
PAGE 2 OF 2



24" MANHOLE WITH 2-4.5" DIA. COUNTER SUNK 1/2" DEPRESSIONS AND 2" DIA HOLES FOR REMOTE READ METERS

RESTORE AREA AROUND METER BOX TO MATCH EXISTING CONDITIONS OR BETTER

FINISH GRADE

3 MIN. COVER

METER

FIBERGLASS METER BOX

1-1/2" DIAMETER POLYETHYLENE (COPPER PIPE SIZE) OR COPPER PIPE

GOOSE NECK (TYP)

1" TAPPING F-400 F-700 CORPORATION STOP (FLARE OR COMPRESSION FITTING)

6"

1" SPLITTER ADAPTER

SEWER (MUELLER, FORD, OR APPROVED EQUAL)

The diagram illustrates the installation of a remote read meter. The left side shows a cross-section of a 24-inch manhole with two 4.5-inch diameter counter-sunk 1/2-inch depressions and two 2-inch diameter holes. A fiberglass meter box is installed within the manhole, containing a meter. The meter box is covered with a 3-minute cover. The area around the meter box is to be restored to match existing conditions or better. The right side shows a side view of the meter box and the piping. A 1.5-inch diameter polyethylene (copper pipe size) or copper pipe is connected to the meter box. A 1-inch tapping F-400 F-700 corporation stop (flare or compression fitting) is installed on the pipe. A 1-inch splitter adapter is connected to the tapping stop. A 6-inch section of the pipe is shown. The pipe is connected to a sewer line (Mueller, Ford, or approved equal) via a goose neck (typical).



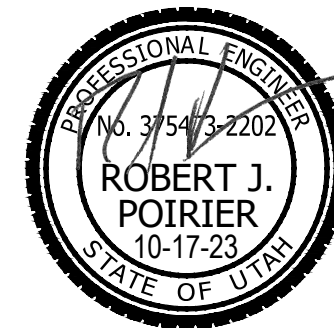
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PROJECT NO:	21597
DRAWN BY:	RJP/TJO
CHECKED BY:	RJP
DATE:	10-17-23

CIVIL DETAILS

C5.03

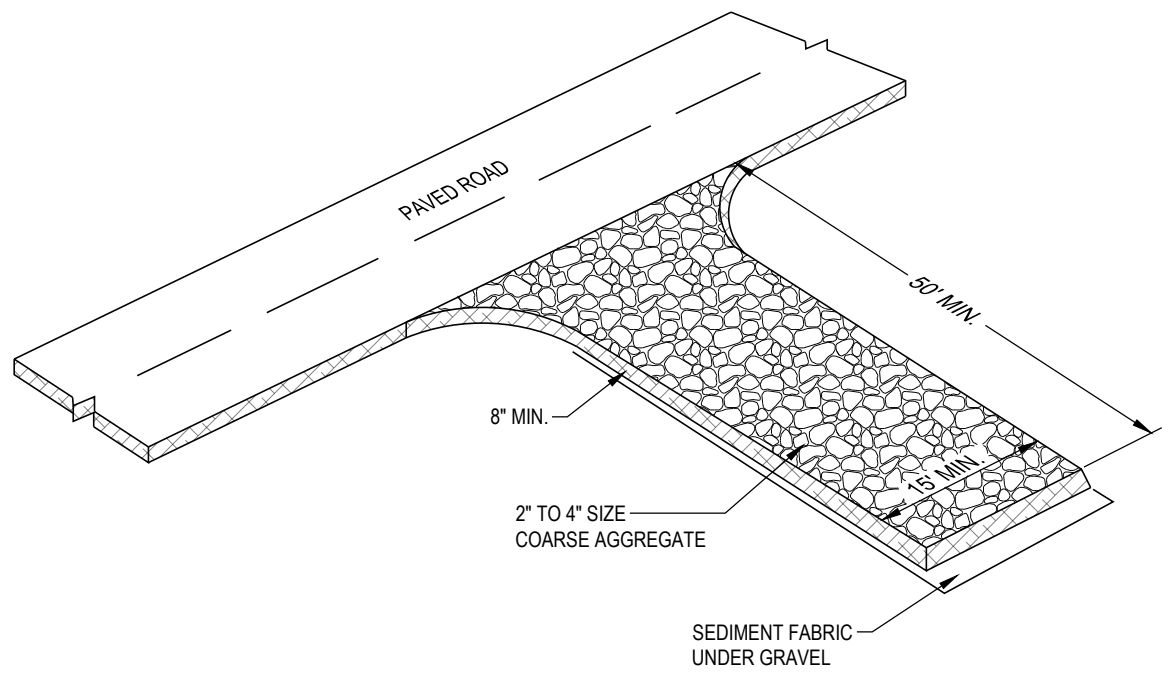


TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

**6200 S. 2700 W.
TAYLORSVILLE, UTAH**

FAIRBANKS, ALASKA
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.

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DESCRIPTION:
A STABILIZED PAD OF CRUSHED STONE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES THE SITE FROM OR TO PAVED SURFACE.

APPLICATIONS:
AT ANY POINT OF INGRESS OR EGRESS AT A CONSTRUCTION SITE WHERE ADJACENT TRAVELED WAY IS PAVED, GENERALLY APPLIES TO SITES OVER 2 ACRES UNLESS SPECIAL CONDITIONS EXIST.

INSTALLATION/APPLICATION CRITERIA:
• CLEAR GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.
• COMPACT SUB GRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)
• PLACE COARSE AGGREGATE, 1 TO 2 1/2 INCHES IN SIZE, TO A MINIMUM DEPTH OF 8 INCHES.

LIMITATIONS:
• REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
• SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:
• INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
• INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
• REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
• EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- TRAINING

- HIGH ■ MEDIUM □ LOW

STABILIZED CONSTRUCTION ENTRANCE C1

SCALE: N.T.S.

FILTERSOCK SPECIFICATION:

FILTREXX FILTERSOCK INSTALLATION AND MAINTENANCE

1.0 DESCRIPTION:
THIS WORK SHALL CONSIST OF FURNISHING, INSTALLING, MAINTAINING AND DISPERSING (IF NEEDED) A WATER PERMEABLE COMPOST FILTER SOCK (FILTREXX FILTERSOCK) TO CONTAIN SOIL EROSION AND SEDIMENT BY REMOVING SOIL PARTICLES FROM WATER MOVING OFF SITE INTO ADJACENT WATERWAYS OR STORM WATER DRAINAGE SYSTEMS. FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION FOR OPERATIONAL STORM DRAINAGE SYSTEMS.

2.0 COMPOST PRODUCTS USED TO FILL FILTREXX FILTERSOCKS

1. COMPOST: COMPOST USED FOR FILTREXX FILTERSOCKS SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THE COMPOST SHALL BE PRODUCED USING AN AEROBIC COMPOSTING PROCESS MEETING CFR 93 REGULATIONS, INCLUDING TIME AND TEMPERATURE DATA INDICATING EFFECTIVE WEED SEED, PATHOGEN AND INSECT LARVAE KILL. THE COMPOST SHALL BE FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. NON-COMPOSTED PRODUCTS WILL NOT BE ACCEPTED. TEST METHODS FOR THE ITEMS BELOW SHOULD FOLLOW USCC TMECC GUIDELINES FOR LABORATORY PROCEDURES:
 - A. PH - 5.0-8.0 IN ACCORDANCE WITH TMECC 04.11-A, "ELECTROMETRIC PH DETERMINATIONS FOR COMPOST"
 - B. PARTICLE SIZE - 99% PASSING A 1" SIEVE, 90% PASSING A 1/2" SIEVE AND A MINIMUM OF 70% GREATER THAN THE 3/8" SIEVE. A TOTAL OF 98% SHALL NOT EXCEED 3 INCHES IN LENGTH, IN ACCORDANCE WITH TMECC 02.02-B, "SAMPLE SIEVING FOR AGGREGATE SIZE CLASSIFICATION"
 - C. MOISTURE CONTENT OF LESS THAN 60% IN ACCORDANCE WITH STANDARDIZED TEST METHODS FOR MOISTURE DETERMINATION.
 - D. MATERIAL SHALL BE RELATIVELY FREE (<1% BY DRY WEIGHT) OF INERT OR FOREIGN MAN MADE MATERIALS.
 - E. A SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO BEING USED AND MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

3.0 CONSTRUCTION AND INSTALLATION OF FILTREXX FILTERSOCKS:

1. FILTREXX FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION ON CONSTRUCTION SITES WHICH REQUIRE PROTECTION AGAINST SEDIMENT LADEN WATER AFTER STORM DRAINS BECOME OPERATIONAL.
2. FILTREXX FILTERSOCKS WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED BY THE ENGINEER. FILTERSOCKS SHOULD BE INSTALLED IN A PATTERN THAT ALLOWS COMPLETE PROTECTION OF THE INLET AREA.
3. INSTALLATION OF FILTREXX FILTERSOCKS WILL ENSURE A MINIMAL OVERLAP OF AT LEAST ONE FOOT ON EITHER SIDE OF THE OPENING BEING PROTECTED. THE FILTERSOCKS WILL BE ANCHORED TO THE SOIL BEHIND THE CURB USING STAPLES, STAKES OR OTHER DEVICES CAPABLE OF HOLDING THE FILTERSOCK IN PLACE.
4. STANDARD SIZES OF FILTERSOCKS FOR INLET PROTECTION WILL BE 8" DIAMETER PRODUCTS. IN SEVERE FLOW SITUATIONS, LARGER FILTERSOCKS MAY BE RECOMMENDED BY THE ENGINEER.
5. FILTERSOCKS SHALL BE CONSTRUCTED OF A WOVEN MATERIAL AND FILLED WITH A COMPOST PRODUCT THAT PASSES THE CRITERIA LISTED IN SECTION 2.
6. IF THE FILTERSOCKS BECOME CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE MAINTAINED SO AS TO ASSURE A PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN. IN SEVERE STORM EVENTS, OVERFLOW OF THE FILTERSOCK MAY BE ACCEPTABLE IN ORDER TO KEEP THE AREA FROM FLOODING.
7. THE FILTERSOCKS SHALL BE POSITIONED SO AS TO PROVIDE COMPLETE PHYSICAL BARRIER TO THE DRAIN ITSELF, ALLOWING SEDIMENT TO COLLECT ON THE OUTSIDE OF THE

FILTERSOCKS. SEE BELOW SCHEMATIC FOR FILTREXX FILTERSOCK INSTALLATION.
8. FOR AREAS WHERE FILTERSOCKS ARE TO BE LEFT AS A PERMANENT PART OF THE LANDSCAPE, FILTERSOCKS MAY BE SEEDED DURING TIME OF MANUFACTURE TO CREATE A LIVING SOCK. FOR SEEDING OPTIONS, THE ENGINEER MAY SIMPLY REPLACE ALL LANGUAGE ABOVE WITH "LIVING FILTREXX FILTERSOCKS"

4.0 MAINTENANCE:

1. THE CONTRACTOR SHALL MAINTAIN FILTREXX FILTERSOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
2. WHERE THE FILTERSOCK REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
3. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTERSOCK WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE FILTERSOCK, OR AS DIRECTED BY THE ENGINEER.
4. THE FILTREXX FILTERSOCK WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER. THE NETTING MATERIAL WILL BE DISPOSED OF IN NORMAL TRASH CONTAINERS OR REMOVED BY THE CONTRACTOR.
5. REGULAR MAINTENANCE INCLUDES LIFTING THE FILTREXX FILTERSOCKS AND CLEANING UNDER THEM AS SEDIMENT COLLECTS.

5.0 METHOD OF MEASUREMENT:
BID ITEMS SHALL SHOW MEASUREMENT AS "FILTREXX FILTERSOCK" PER LINEAR FOOT, INSTALLED OR PER INLET, AS SPECIFIED BY THE ENGINEER.

6.0 PERFORMANCE:

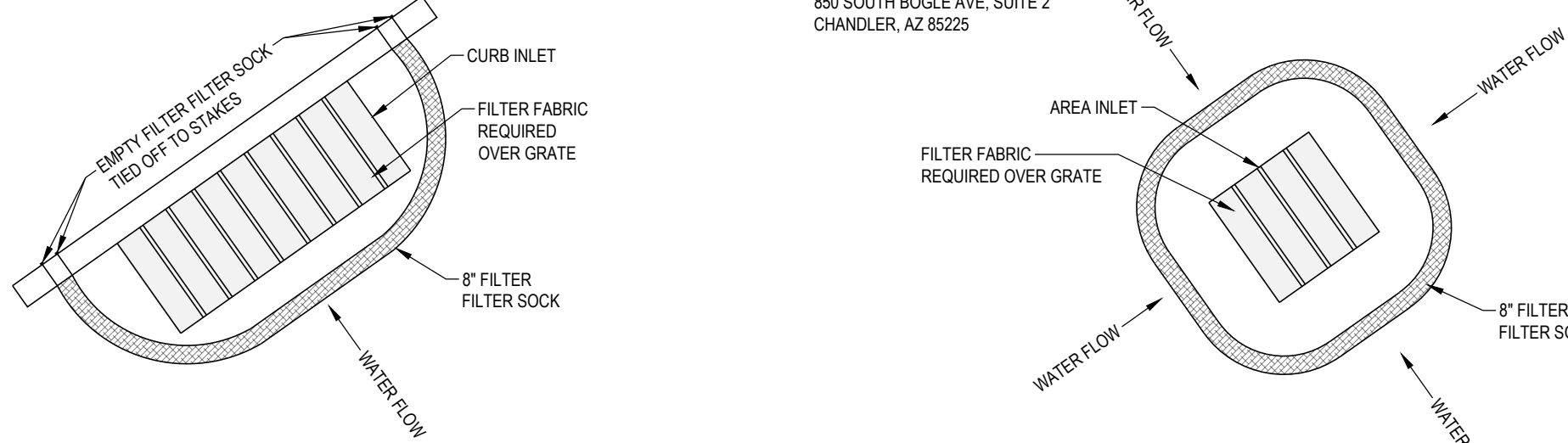
1. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A WORKING EROSION CONTROL SYSTEM AND MAY, WITH APPROVAL OF THE ENGINEER, WORK OUTSIDE THE MINIMUM CONSTRUCTION REQUIREMENTS AS NEEDED.
2. WHERE THE FILTERSOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
3. CONTRACTOR IS REQUIRED TO BE A CERTIFIED FILTREXX INSTALLER AS DETERMINED BY FILTREXX INTERNATIONAL, LLC (440-926-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

7.0 APPLICATION GUIDELINES:

1. FILTREXX FILTERSOCKS SHALL EITHER BE MADE ON SITE OR DELIVERED TO THE JOBSITE USING A 3 MIL TUBULAR HDPE KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS AS OUTLINED IN 2.0.
2. FILTREXX FILTERSOCKS NETTING MATERIALS ARE AVAILABLE ONLY FROM FILTREXX INTERNATIONAL, LLC AND ARE THE ONLY CERTIFIED MESH MATERIALS ACCEPTED IN CREATING FILTREXX PRODUCTS ON SITE OR AS DELIVERED TO THE JOB SITE. STANDARD FILTREXX COLOR CODING SYSTEMS INCLUDE YELLOW AND BLACK STRIPED MESH NETTING WITH 3/8" MESH OPENINGS FOR INLET PROTECTION. OTHER COLORS ARE ONLY ACCEPTABLE AS APPROVED BY BOTH THE ENGINEER AND FILTREXX INTERNATIONAL, LLC.
3. CONTRACTOR IS REQUIRED TO BE A CERTIFIED FILTREXX INSTALLER AS DETERMINED BY FILTREXX INTERNATIONAL, LLC (440-926-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

8.0 AVAILABLE VENDORS FILTREXX FILTERSOCKS MAY BE PURCHASED FROM THE FOLLOWING CERTIFIED FILTREXX INSTALLERS:

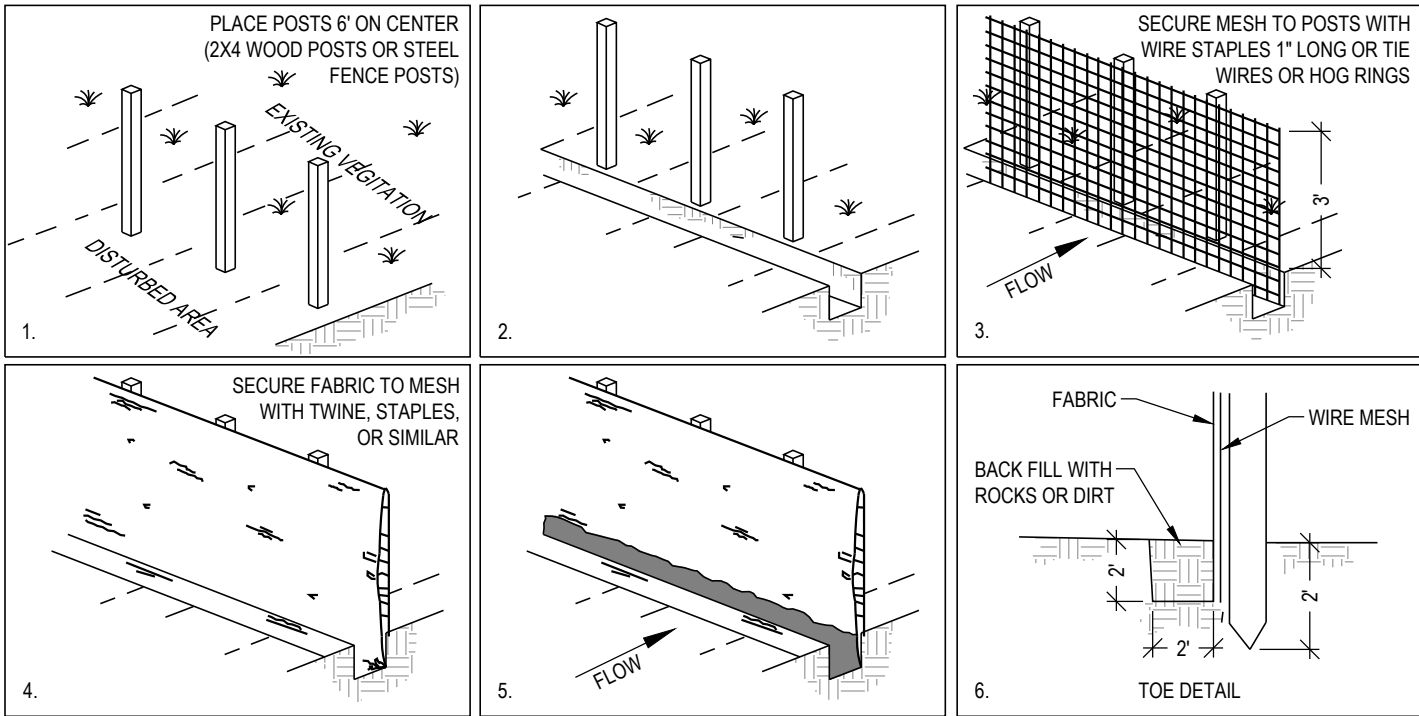
WINDSWEEP ORGANIX INC.
WORK: 480-963-4639
FAX: 408-940-4261
850 SOUTH BOULE AVENUE, SUITE 2
CHANDLER, AZ 85225



SEDIMENT BARRIER / FILTER SOCK PROTECTION A1

SCALE: N.T.S.

© REPLENISH



DESCRIPTION:
A TEMPORARY SEDIMENT BARRIER CONSISTING OF ENTRENCHED FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS.

APPLICATIONS:

- PERIMETER CONTROL: PLACE BARRIER AT DOWNGRADE LIMITS OF DISTURBANCE.
- SEDIMENT BARRIER: PLACE BARRIER AT TOP OF SLOPE OR SOIL STOCKPILE.
- PROTECTION OF EXISTING WATERWAYS: PLACE BARRIER AT TOP OF STREAM BANK
- INLET PROTECTION: PLACE FENCE SURROUNDING CATCH BASINS

INSTALLATION/APPLICATION CRITERIA:

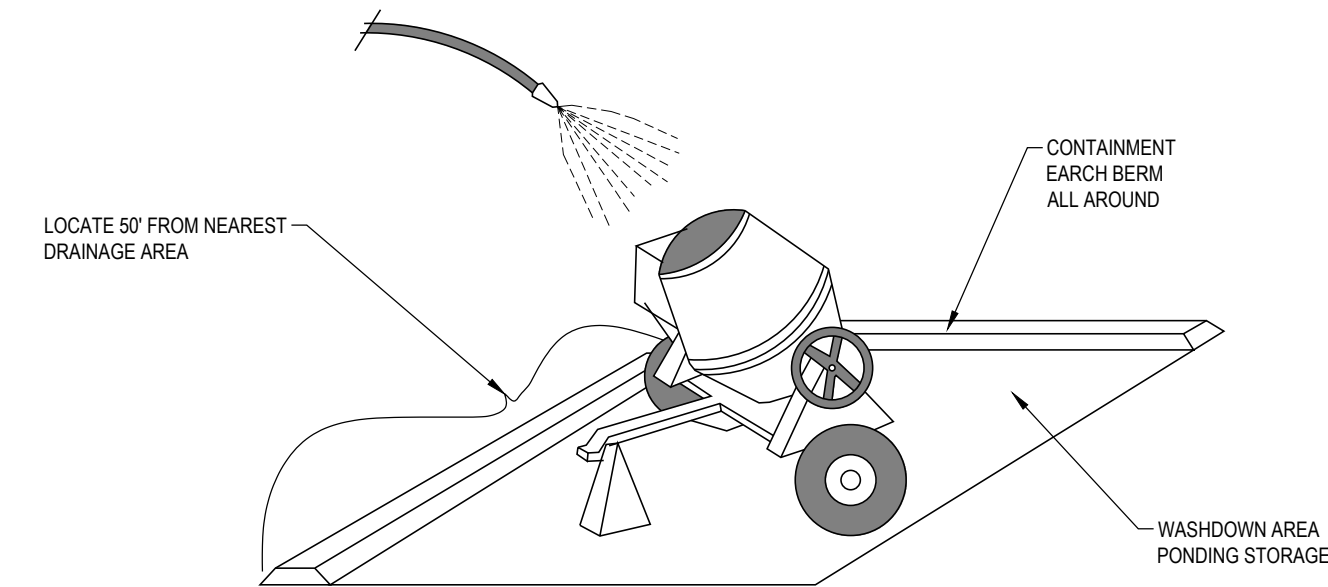
- PLACE POSTS 6 FEET APART ON CENTER ALONG CONTOUR (OR USE PRE-ASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UP/DOWNSTREAM OF POSTS
- SECURE WIRE MESH (1/4 GAGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY 1 INCH LONG WIRE STAPLES, TIE WIRES OR HOG RINGS.
- CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
- BACKFILL OVER FILTER FABRIC TO ANCHOR.

LIMITATIONS:

- RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE.
- RECOMMENDED MAXIMUM UP/DOWNSTREAM SLOPE LENGTH OF 150 FEET.
- RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%).
- RECOMMENDED MAXIMUM FLOW RATE OF 0.5 CFS.
- PONDING SHOULD NOT BE ALLOWED BEHIND FENCE.

MAINTENANCE:

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING BARRIERS.
- REPAIR OR REPLACE DAMAGED AREAS OF THE BARRIER AND REMOVE ACCUMULATED SEDIMENT.
- REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.



OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

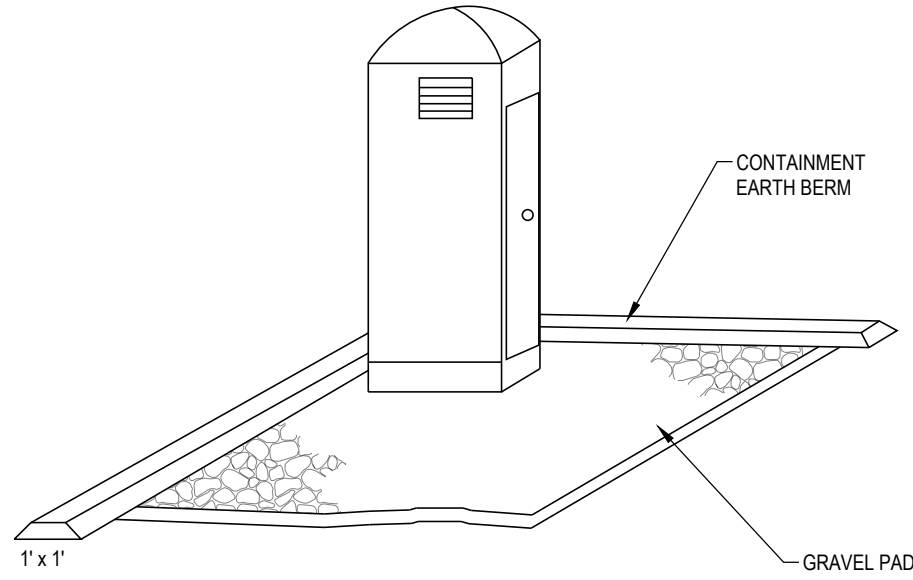
IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- TRAINING

- HIGH ■ MEDIUM □ LOW

CONCRETE WASTE MANAGEMENT A3

SCALE: N.T.S.



DESCRIPTION:
TEMPORARY ON-SITE SANITARY FACILITIES FOR CONSTRUCTION PERSONNEL.

APPLICATIONS:

- ALL SITES WITH NO PERMANENT SANITARY FACILITIES OR WHERE PERMANENT FACILITY IS TO FAR FROM ACTIVITIES.

INSTALLATION/APPLICATION CRITERIA:

- LOCATE PORTABLE TOILETS IN CONVENIENT LOCATIONS THROUGHOUT THE SITE.
- PREPARE LEVEL, GRAVEL SURFACE AND PROVIDE CLEAR ACCESS TO THE TOILETS FOR SERVING AND FOR ON-SITE PERSONNEL.
- CONSTRUCT EARTH BERM PERIMETER (SEE EARTH BERM BARRIER INFORMATION SHEET), CONTROL FOR SPILL/PROTECTION LEAK.

LIMITATIONS:

- NO LIMITATIONS

MAINTENANCE:

- PORTABLE TOILETS SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY LICENSED SERVICE WITH DAILY OBSERVATION FOR LEAK DETECTION.
- REGULAR WASTE COLLECTION SHOULD BE ARRANGED WITH LICENSED SERVICE.
- ALL WASTE SHOULD BE DEPOSITED IN SANITARY SEWER SYSTEM FOR TREATMENT WITH APPROPRIATE AGENCY APPROVAL.

OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

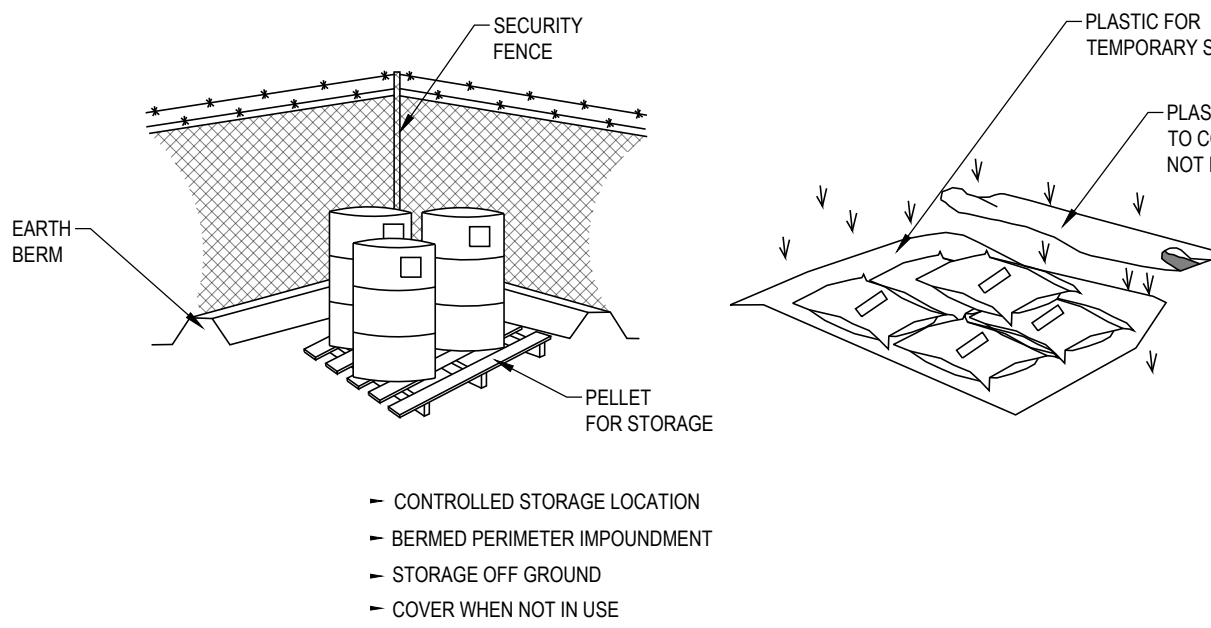
IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- TRAINING

- HIGH ■ MEDIUM □ LOW

PORTABLE TOILETS C5

SCALE: N.T.S.



OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

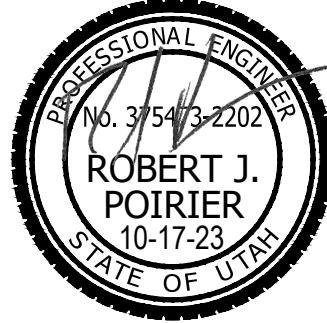
IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- TRAINING

- HIGH ■ MEDIUM □ LOW

MATERIALS STORAGE A5

SCALE: N.T.S.



REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 21597

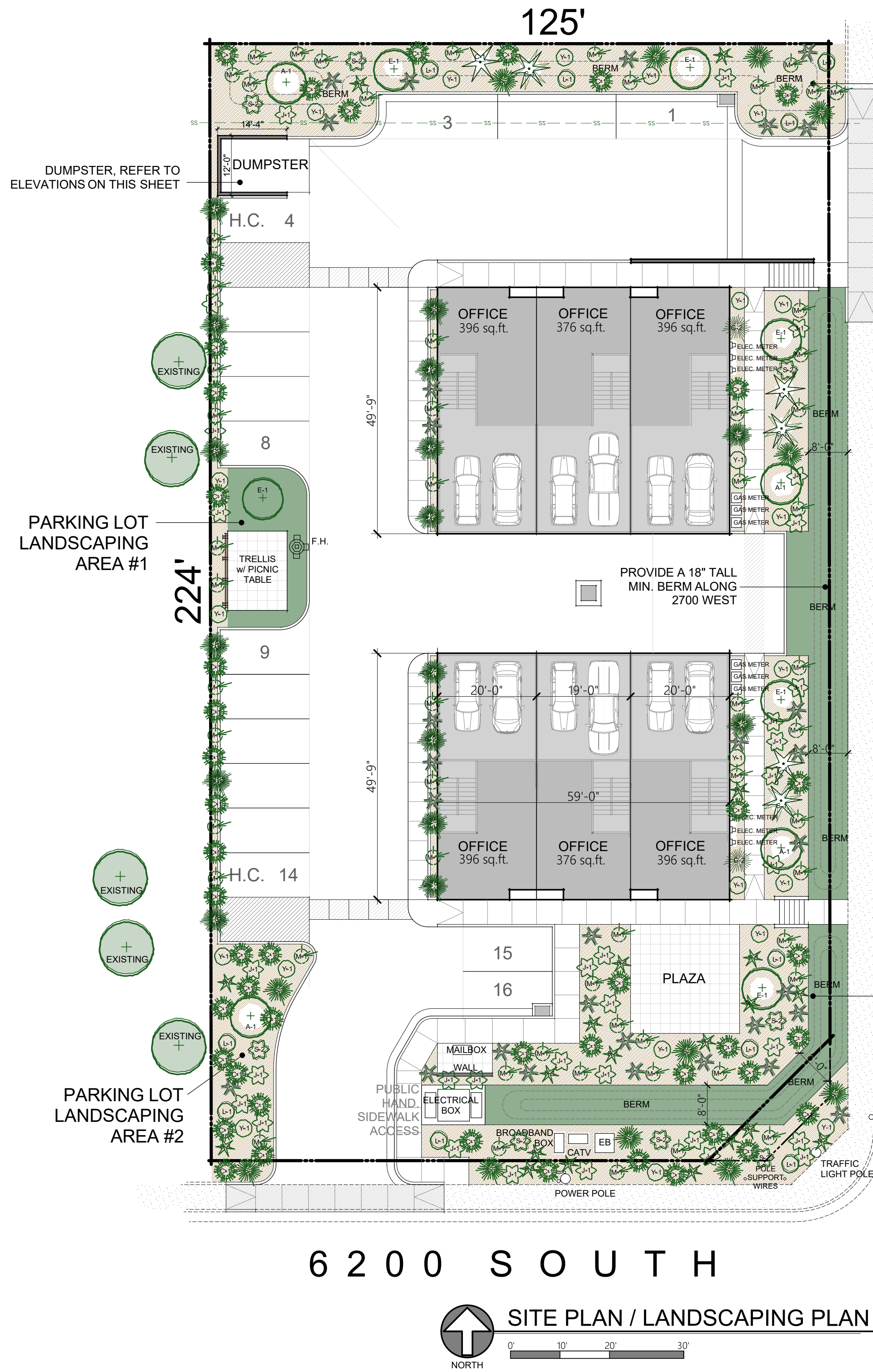
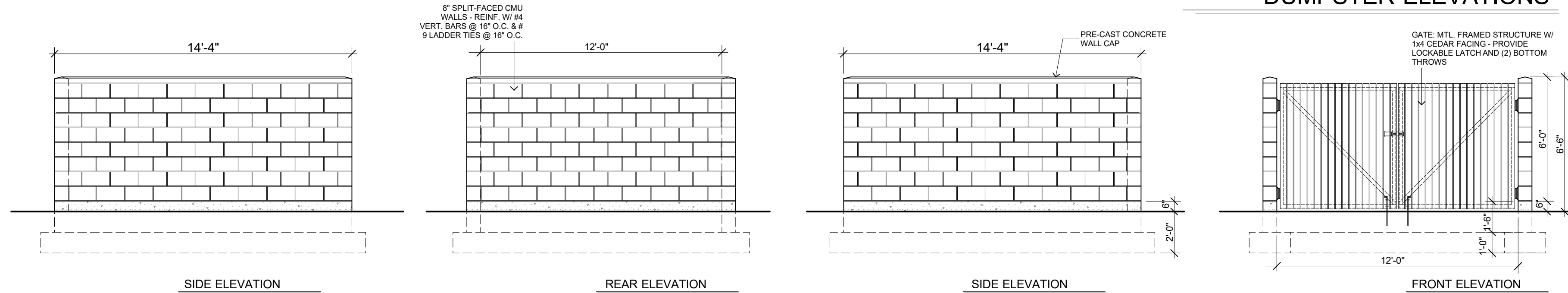
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CHECKED BY: RJP

DATE: 10-17-23

CIVIL DETAILS

DUMPSTER ELEVATIONS



LANDSCAPING INSTALLATIONS

- INSTALLATION:
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO GRADE, PLACE TOP SOIL, SEED OR SOD, INSTALL AUTOMATIC SPRINKLER IRRIGATION SYSTEM, AND PROPERTY PLANT TREES, SHRUBS, AND OTHER APPROVED PLANT MATERIALS IN A TIMELY MANNER, AND THE MAINTENANCE AND REPLACEMENT OF DEAD PLANT MATERIALS IN A TIMELY MANNER, AND THE MAINTENANCE OF THE IRRIGATION SYSTEM TO ELIMINATE THE WASTE OF WATER.
 - ALL TREES PLANTED ON SITE LESS THAN TWO INCH (2") CALIPER SHALL BE DOUBLE STAKED.
 - ALL LANDSCAPING SHALL BE COMPLETED IN ACCORDANCE WITH THE PLAN SUBMITTED AND APPROVED BY STAFF.

(A) ALL LANDSCAPE WORK MUST BE INSTALLED PRIOR TO A CERTIFICATE OF OCCUPANCY OF THE BUILDING BEING ISSUED OR AS OTHERWISE APPROVED BY THE DIRECTOR AS SEASONAL CONDITIONS MAY VARY.

(B) THE DEVELOPER SHALL BOND FOR SUCH LANDSCAPE IMPROVEMENTS AS PART OF THE PRIVATE IMPROVEMENT BOND TO INSURE THAT INSTALLATIONS ARE COMPLETED AS SUBMITTED AND APPROVED.

- MAINTENANCE:
- IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO PROPERLY MAINTAIN LANDSCAPED AREAS IN ACCORDANCE WITH THE APPROVED SITE PLAN AND LANDSCAPE PLAN WHICH INCLUDES WATERING, MOWING, PROPER PRUNING, FERTILIZING, THE REMOVAL AND REPLACEMENT OF DEAD PLANT MATERIALS IN A TIMELY MANNER, AND THE MAINTENANCE OF THE IRRIGATION SYSTEM TO ELIMINATE THE WASTE OF WATER.
 - ALL PRUNING SHALL BE ACCOMPLISHED ACCORDING TO GOOD HORTICULTURAL STANDARDS. TREES SHALL BE PRUNED TO PROMOTE HEALTHY TREES AND TO ACCOMMODATE STREET MAINTENANCE AND CURBSIDE COLLECTION (MIN. HEIGHT OVER STREET: 13.5 FEET AND OVER SIDEWALKS 7 FEET) AND AS NECESSARY TO PROMOTE HEALTHY GROWTH.
 - UNLESS APPROVAL IS OTHERWISE PROVIDED BY THE DIRECTOR, TREES SHALL BE ALLOWED TO ATTAIN THEIR NORMAL SIZE AND SHALL NOT BE SEVERELY PRUNED UP FROM THE GROUND OR "TALL TRUNKED" IN ORDER TO PERMANENTLY MAINTAIN GROWTH AT A REDUCED HEIGHT. PRUNING TREES SOLELY FOR THE PURPOSE OF EXPOSURE IS PROHIBITED.
 - PRUNING TREES FOR TRAFFIC SAFETY REASONS SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER.

- VEGETATION REMOVAL:
- ONCE THE REQUIRED LANDSCAPING HAS BEEN INSTALLED, IT SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE COMMUNITY DEVELOPMENT DEPARTMENT.
 - REMOVED VEGETATION SHALL BE REPLACED WITH QUAL OR BETTER QUALITY PLANT MATERIALS. TREES THAT ARE NECESSARILY REMOVED SHALL BE REPLACED WITH COMPARABLE ORIGINAL CALIBER STREET TREES THAT ARE NECESSARILY REMOVED SHALL BE REPLACED WITH TREE GARDEN UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
 - WHEN UTILITY CONNECTIONS OR OTHER DISTURBANCES ARE MADE TO EXISTING LANDSCAPED AREAS, THE EXISTING LANDSCAPING MUST BE REPLACED TO ITS PREVIOUS CONDITION. OTHER MODIFICATIONS OF LANDSCAPED AREAS SHALL REQUIRE APPROVAL OF THE DIRECTOR.

- MINIMUM TREE SIZE:
- STREET TREES: TWO INCH (2") CALIPER MINIMUM AS MEASURED EIGHTEEN INCHES (18") ABOVE GROUND.
 - ALL OTHER TREES: ALL OTHER TREES ON SITE, ONE AND ONE-HALF INCH (1.5") CALIPER AS MEASURED EIGHTEEN INCHES (18") ABOVE GROUND.
 - EVERGREEN TREES: SIX FOOT (6') MIN. HEIGHT ABOVE GRADE.

- TREE MIX:
- THERE SHALL BE A MIX OF EVERGREEN AND DECIDUOUS TREES ON ALL DEVELOPMENT SITES TO ALLOW FOR A GREEN WINTERSCAPE. A MIN. OF FORTY PERCENT (40%) OF ALL TREES ON THE PROPOSED SITE SHALL BE EVERGREENS WHERE FOUND TO BE PRACTICAL BY THE DIRECTOR.
 - A MIN. RATIO OF ONE TREE PER EVERY FIVE HUNDRED (500) SQUARE FEET OF ON SITE LANDSCAPING SHALL BE PROVIDED ON THE OVERALL SITE PLAN.

LANDSCAPING GENERAL NOTES

- GENERAL:
- IRRIGATION SHOULD BE APPROPRIATE FOR THE DESIGNATED PLANT MATERIAL TO ACHIEVE THE HIGHEST WATER EFFICIENCY. EACH IRRIGATION VALVE SHOULD IRRIGATE LANDSCAPING WITH SIMILAR SITE SLOPE AND SOIL CONDITIONS, AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS.
 - DRIP IRRIGATION OR BUBBLERS IN ALL LANDSCAPED AREAS, EXCEPT LAWN AREAS, ARE REQUIRED. DRIP IRRIGATION SYSTEMS ARE TO BE EQUIPPED WITH A PRESSURE REGULATOR, FILTER, FLUSH END ASSEMBLY, AND ANY OTHER APPROPRIATE COMPONENTS.
 - SEPARATE IRRIGATION VALVES ARE TO BE USED FOR LAWN AND PLANTING BEDS.
 - IRRIGATION SYSTEMS SHALL BE CONTROLLED BY A SMART IRRIGATION CONTROLLER WHICH AUTOMATICALLY ADJUSTS THE FREQUENCY AND/OR DURATION OF IRRIGATION IN RESPONSE TO CHANGING WEATHER CONDITIONS. CONTROLLERS THAT ARE EQUIPPED WITH AUTOMATIC RAIN DELAY OR RAIN SHUT-OFF CAPABILITIES ARE RECOMMENDED.
 - ABOVE-GROUND IRRIGATION SHALL ONLY BE PERMITTED BETWEEN THE HOURS OF EIGHT (8) O'CLOCK P.M. AND TEN O'CLOCK (10) A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. SPECIAL EXCEPTIONS MAY BE GRANTED BY THE DIRECTOR WHEN MORE FREQUENT WATERING IS NECESSARY TO ESTABLISH NEWLY PLANTED LANDSCAPED AREAS.
 - LAWN SHALL NOT BE INSTALLED IN PARK STRIPS, PATHS, OR ON SLOPES GREATER THAN 25% OR A GRADE AND BE LESS THAN 8 FEET WIDE AT ITS NARROWEST POINT. LAWN LIMITATIONS DO NOT APPLY TO SMALL RESIDENTIAL LOTS WITH LESS THAN 500 SQ. FT. OF LANDSCAPED AREA.
 - OUTSIDE OF ACTIVE RECREATION AREAS, IN COMMERCIAL, INDUSTRIAL, INSTITUTIONAL, AND MULTI-FAMILY DEVELOPMENT COMMON AREA LANDSCAPES, LAWN AREAS SHALL NOT EXCEED 20% OF THE TOTAL LANDSCAPED AREA OF THE LOT.
 - AT LEAST 3.4 INCHES OF MULCH, PERMEABLE TO AIR AND WATER, ARE TO BE USED IN PLANTING BEDS TO CONTROL WEEDS AND IMPROVE THE APPEARANCE OF THE LANDSCAPING.
 - AT MATURITY, LANDSCAPES ARE RECOMMENDED TO HAVE ENOUGH PLANT MATERIAL (PERENNIALS AND SHRUBS) TO CREATE AT LEAST 25% LIVING PLANT COVER AT MATURITY AT THE GROUND PLANE, NOT INCLUDING TREE CANOPIES.
 - PLANTS SELECTED FOR LANDSCAPING SHOULD CONSIST OF PLANTS THAT ARE WELL SUITED TO THE MICROCLIMATE AND SOIL CONDITIONS.

- COMMERCIAL:
- ALL COMMERCIAL, OFFICE, MULTI-FAMILY, AND INDUSTRIAL DISTRICTS, IN ALL COMMERCIAL AND INDUSTRIAL ZONES, A MINIMUM OF FIFTEEN (15) FEET OF FRONT YARD LANDSCAPING SHALL BE REQUIRED.
 - BERRING: THE USE OF BERRING (RANDOM SCULPTED MOUNDS), TWELVE (12) TO FIFTEEN INCHES (18") HIGH ABOVE THE CURB LEVEL, ARE REQUIRED IN ALL FRONT LANDSCAPE AREAS WHERE FOUND TO BE PRACTICAL BY THE DIRECTOR.
 - STREET TREES: TWO INCH (2") MIN. CALIPER STREET TREES SHALL BE PLANTED IN THE FRONT PARK STRIP AREA CENTERED BETWEEN THE SIDEWALK AND THE CURB TO MINIMIZE TREE CONFLICTS AND TO MAINTAIN TREE ROOT ZONE OVER THE PARK STRIP. A MIN. OF FIVE FEET (5') IN WIDTH, ACCORDING TO THE VARIETIES AND SPACING SPECIFIED IN APPLICABLE STANDARDS, WHERE THE SIDEWALK HAS BEEN PLACED AGAINST THE CURB, STREET TREES SHALL BE PLANTED FOUR FEET (4') BEHIND THE SIDEWALK.
 - FRONT LANDSCAPE: FRONT LANDSCAPE AREAS SHALL INCLUDE A COMBINATION OF TREES, ROSES, SHRUBS, AND PLANT MATERIALS. PLANT MATERIALS SHALL COVER A MIN. OF 20% OF THE LANDSCAPED AREA.
 - SIDE AND REAR YARD:

- (A) THERE SHALL BE A MIN. OF FIVE FEET (5') OF LANDSCAPING BETWEEN PARKING AREAS AND SIDE OR REAR PROPERTY LINES (EXCEPT BETWEEN COMMERCIAL USES WHERE SIDE LANDSCAPING IS NOT VISIBLE FROM AREAS OF PUBLIC ACCESS) AND A MIN. OF FIVE FEET (5') OF LANDSCAPING BETWEEN AN ACCESS DRIVEWAY AND A SIDE OR REAR PROPERTY LINE UNLESS SAID DRIVEWAYS TO BE USED FOR COMMON ACCESS BY AN ADJACENT LOT.
- (B) AREAS NOT VISIBLE FROM THE STREET SHALL HAVE ONE LANDSCAPE AREA IN THE AMOUNT OF ONE HUNDRED (100) SQUARE FEET FOR EVERY SEVENTY FIVE (75) LINEAR FEET OF PROPERTY LINE NOT VISIBLE FROM THE PUBLIC RIGHT OF WAY.
- (C) LANDSCAPING WITHIN PARKING AREAS:
- LANDSCAPING WITHIN ALL PARKING AND DRIVEWAY AREAS SHALL COMPRISE A MIN. FIVE PERCENT (5%) OF THE TOTAL SQUARE FOOTAGE OF THESE AREAS. IN ADDITION, THE REQUIRED FRONT, SIDE, AND REAR LANDSCAPING (PARKING AREA) SHALL BE DEFINED TO INCLUDE ALL ASPHALT AREAS AND DRIVEWAYS. THE PLACEMENT OF THIS LANDSCAPING SHALL BE WITHIN PARKING AREAS TO BREAK UP THE MASS OF ASPHALT AS WELL AS ADJACENT TO THE BUILDING FOR FOUNDATION LANDSCAPING. SUCH LANDSCAPING SHALL NOT CONTAIN LAWN AND SHALL BE COMPOSED OF NATURAL ELEMENTS INCLUDING GROUND COVER, SHRUBS, TREES (EVERGREEN AND DECIDUOUS), AND COMBINATIONS OF MULCH.
 - ALL TRAFFIC ISLANDS SHALL BE LANDSCAPED AND BE CONSIDERED AS A PORTION OF THE REQUIRED FIVE PERCENT (5%) PARKING LOT LANDSCAPING AND SHALL BE A MIN. OF FIVE FEET (5') IN WIDTH.
 - LANDSCAPE PLANTERS AND/OR RAISED BARRIER BIODIVERSITY SHALL BE INSTALLED ALONG BUILDINGS (EXCEPT WHERE NOT VISIBLE FROM THE PUBLIC ACCESS AREAS OR LOADING AREAS) AND ANY PAVED AREAS (EXCEPT WHERE NOT VISIBLE FROM THE STREET LEVEL) WITHIN THE AREA REQUIRED FOR MIN. SIGHT DISTANCES FOR ROADS AND STREETS.

- (D) ALL LANDSCAPED AREAS (BUTTING AND PAVED AREA) SHALL INCLUDE A SIX INCH (6") HIGH CONCRETE CURB, CONCRETE BUMPER STOPS ARE NOT ACCEPTABLE.
- (E) AT INTERSECTIONS OF STREETS, DRIVEWAYS, SIDEWALKS, ETC., LANDSCAPING SHALL BE LIMITED TO A HEIGHT OF NOT MORE THAN THREE FEET (3') ABOVE THE STREET LEVEL WITHIN THE AREA REQUIRED FOR MIN. SIGHT DISTANCES FOR ROADS AND STREETS.

PARKING CALCULATION

DWELLING UNITS: (2 PER UNIT)
REQUIRED 2 PER DWELLING UNIT
PROVIDED 2 PER UNIT WITH GARAGES

COMMERCIAL SPACE:
REQUIRED 5 PER 1,000 SQ. FT.
PROVIDED:
2,543 TOTAL COMMERCIAL SQ. FT.
REQUIRED = 13 PARKING STALLS
PROVIDED = 14 PARKING STALLS

PARKING LANDSCAPING

PARKING AREA:
ASPHALT AREAS WITHIN PARKING SPACES AND DRIVEWAYS

11,826 SQ. FT. x 5% = 591 SQ. FT. REQUIRED
917 SQ. FT. PROVIDED > 591 SQ. FT. - OK

LANDSCAPING CALCULATION

	AREA	% of Site
GROSS SITE AREA:	27,887 SF	100%
BUILDING / HARDSCAPE:	20,858 SF	75%
LANDSCAPING GROSS:	7,029 SF	25%
* EXCEEDS REQUIRED LANDSCAPING OF 15%		

LANDSCAPING DIVERSITY

	AREA	% of Landscape
LANDSCAPING GROSS:	7,029 SF	100%
PLANTER AREA:	4,182 SF	80.2%
SOD AREA:	1,383 SF	19.8%
* SOD LESS THAN 20% OF LANDSCAPING		

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	C-1	Cedrus atlantica 'Fastigiata' Columnar Blue Atlas Cedar	6" min.	3
	S-1	Picea abies 'Cupressina' Norway Spruce	6" min.	3
	E-1	Ulmus parvifolia Laetevirens Elm	2" Cal.	5
	A-1	Populus tremuloides Quaking Aspen	2" Cal.	4

TREES REQUIRED: 1 TREE / 500 SQ. FT. OF LANDSCAPING
6,679 SQ. FT. LANDSCAPING / 500 = 13 TREES
TREES PROVIDED: 14 > 13 - OK
40% OF TREES MUST BE CONIFERS
14 x 40% = 6 CONIFERS

SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	M-1	Cytisus scoparius 'Moonlight' Moonlight Broom	5 gal.	58
	Y-1	Hesperaloe parviflora 'Peach TM' Brakehearts Red Yucca	1 gal.	23
	A-1	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5 gal.	32
	C-1	Prunus besseyi 'Pawnee Butter' Pawnee Butter Sand Cherry	3 gal.	46
	B-1	Rhamnus frangula 'Columnaris' Tall Hedge Buckthorn	5 gal.	30
	R-1	Rosa 'Raiden' TM Double Knock Out Red Rose	5 gal.	20

ANNUALS / PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	L-1	Lavandula angustifolia English Lavender	1 gal.	10
	S-2	Salvia nemorosa 'Caradonna' Cardonna Perennial Salvia	1 gal.	8

GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	G-1	Calamagrostis x acutiflora Feather Reed Grass	1 gal.	16
	G-2	Holcistichon sempervirens Blue Oat Grass	1 gal.	18

GROUND COVER:
BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER.
PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

SOD:
KENTUCKY BLUEGRASS (Poa pratensis). GRASS AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

PLANT PERCENTAGE COVERAGE AT MATURITY (EXCLUDING TREE CANOPY)
EXQUALS 26.5% OF LANDSCAPING GROUND AREA

ANY SUBSTITUTION OF PLANTING MATERIALS
SHALL BE CHOSEN FROM "WATER-WISE
PLANTS FOR UTAH" WHICH CAN BE FOUND AT
www.waterwiseplants.utah.gov

ARCHITECT

CONSULTANT

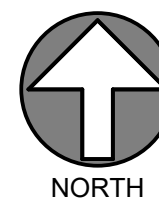
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DATE: OCTOBER 13, 2023

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NOT TO SCALE

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SYMBOL		MANUFACTURER/MODEL/DESCRIPTION
 ADJUSTABLE	<p>HUNTER HMP80SR 3/0-4P-RS4-CV TURT ROTATOR, 4P, 4P-FIP WITH CHECK VALVE, PRESSURE REGULATOR TESTED TO 10 PSI (2.76 BAR), MPF ROTATOR NOZZLE ON PNEUMATICALLY OPERATED BALL VALVE, 1/2" NPT, 1/2" BORE BODY, ADJ+ORANGE AND GRAY (ARC 90°/210°)</p> <p>SCHWIMME GREEN AND GRAY (ARC 300°)</p> <p>HUNTER MP STRIP (RS4-CV) CPMI TURT ROTATOR, 4" (10.16 CM) POPUP WITH FACTORY INSTALLED CHECK VALVE, VOLUME REGULATED TO 40 PSI (2.76 BAR), MPF ROTATOR NOZZLE ON PNEUMATIC BODY, LITHONIUM LITHIUM STRIP, 3X1-BROWN SIDE TURT, KST+COPPER RIGHT STRIP</p>	
SYMBOL		MANUFACTURER/MODEL/DESCRIPTION
 DRIFT CONTROL ZONE OFF	<p>HUNTER ICZ-10125 DRIFT CONTROL ZONE OFF, 1" HIGH GLOBE VALVE WITH 1" HYDRO FLOW SYSTEM, PRESSURE REGULATION +23PSI, LOW RANGE: 2-GPA TO 20 GPA, 150 MESH STAINLESS STEEL SCREEN.</p> <p>AREA TO RECEIVE DRIPLINE HUNTER PD-SR-16 (18") INLINE PRESSURE COMPENSATING LANDSCAPE DRIFTLINE WITH RULLIN-CLICHE VALVE, 4' GUTHER BRACKET AT 180° OF DRIPLINE, LATERALS SPACED AT 18" CENTER, WITH EMBITTERS OFFSET FOR TRIANGULAR PATTERNS, UV RESISTANT</p>	
SYMBOL		MANUFACTURER/MODEL/DESCRIPTION
 HUNTER RV	<p>1"-1/2", 2" and 3" BRASS ELECTRIC REMOTE CONTROL VALVE, GLOBE CONFIGURATION, WITH 1/4" THREADED INLET/OUTLET FOR COMMERCIAL/MUNICIPAL USE.</p> <p>HUNTER VO-AIRC QUICK COUPLER VALVE, YELLOW RUBBER LOOKING COUL RED BRASS AND STAINLESS STEEL, WITH 1" NPT LINE, 2-Piece BODY</p> <p>HUNTER CV-M MASTER 1" 1"-1/2", 2" and 3" PLASTIC ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH 1/4" THREADED INLET/OUTLET FOR COMMERCIAL/MUNICIPAL USE.</p>	
 MANGEL DRAIN VALVE	<p>DRAIN VALVE MANGEL MARLINE DRAIN VALVE, INSTALL AFTER HYDROMETER, INSTALL WITH 3" X 3/4" X 3/4" GRAVEL/SUMP MINIMUM DETAIL (PT)</p>	
 REDUCED PRESSURE BACKFLOW PREVENTER	<p>HUNTER CP-625Y 1"</p>	
 HUNTER PC-400	<p>WITH (O1) PCA-300 LIGHT COMMERCIAL & RESIDENTIAL CONTROLLER, 5-STATON AIR-MADE MODULO CONTROLLER, 120 VAC, INDOR MODEL</p>	
 SOLAR SOLAR-SYNC	<p>HUNTER SOLAR-SYNCS SUN, RAIN FREE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER CPC-1000 AND CPC-2000 CONTROLLERS, INSTALL AS NOTED, INCLUDES 10 YEAR ULTRAM BATTERY AND RUBBER MODULE COVER, AND GUTTER UNDER BRACKET. WIRED.</p>	
 HUNTER FLOW-CLICK-200	<p>FLOW SENSOR CLICK WITH INTERFACE PANEL, 3" SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP, 1/2" INTERFACE PANEL, AS REQUIRED.</p>	
 WATER METER 1"	<p>IRIGATION LATERAL LINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE AND LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.</p> <p>IRRIGATION MAINLINE: PVC SCHEDULE 40 IRRIGATION PIPE AND LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.</p>	

IRRIGATION PLAN

TAYLORSVILLE 6 LIVE/WORK
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

CONSULTANT

FILE: D:/JIM/jDA/TAYLORSVILLE

DATE: OCTOBER 13, 2023

DRAWN: JBD

REVISIONS

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A3.0

EXTERIOR MATERIALS		
MATERIAL AREA:	AREA	% of Bldg
Gross Facade:	1,729 SF	100%
Hardi Horizontal Siding:	683 SF	40%
Stucco	661 SF	38%
Windows / Doors:	385 SF	22%



EXTERIOR MATERIALS		
MATERIAL AREA: Gross Facade:	AREA	% of Bldg
	2,212 SF	100%
Hardi Horizontal Siding:	654 SF	30%
Stucco	886 SF	40%
Windows / Doors:	672 SF	30%



EXTERIOR ELEVATIONS

TAYLORSVILLE 6 LIVE/WORK
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

CONSULTANT

FILE: D:/JIM/jDA/TAYLORSVILLE

DATE: OCTOBER 13, 2023

DRAWN: JBD

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EXTERIOR MATERIALS		
MATERIAL AREA: Gross Facade:	AREA	% of Bldg
	1,935 SF	100%
Hardi Horizontal Siding:	772 SF	40%
Stucco	451 SF	23%
Windows / Doors:	712 SF	37%



EXTERIOR MATERIALS		
MATERIAL AREA: Gross Facade:	AREA	% of Bldg
	1,729 SF	100%
Hardi Horizontal Siding:	683 SF	40%
Stucco	661 SF	38%
Windows / Doors:	385 SF	22%



EXTERIOR ELEVATIONS

TAYLORSVILLE WORKLIVE
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

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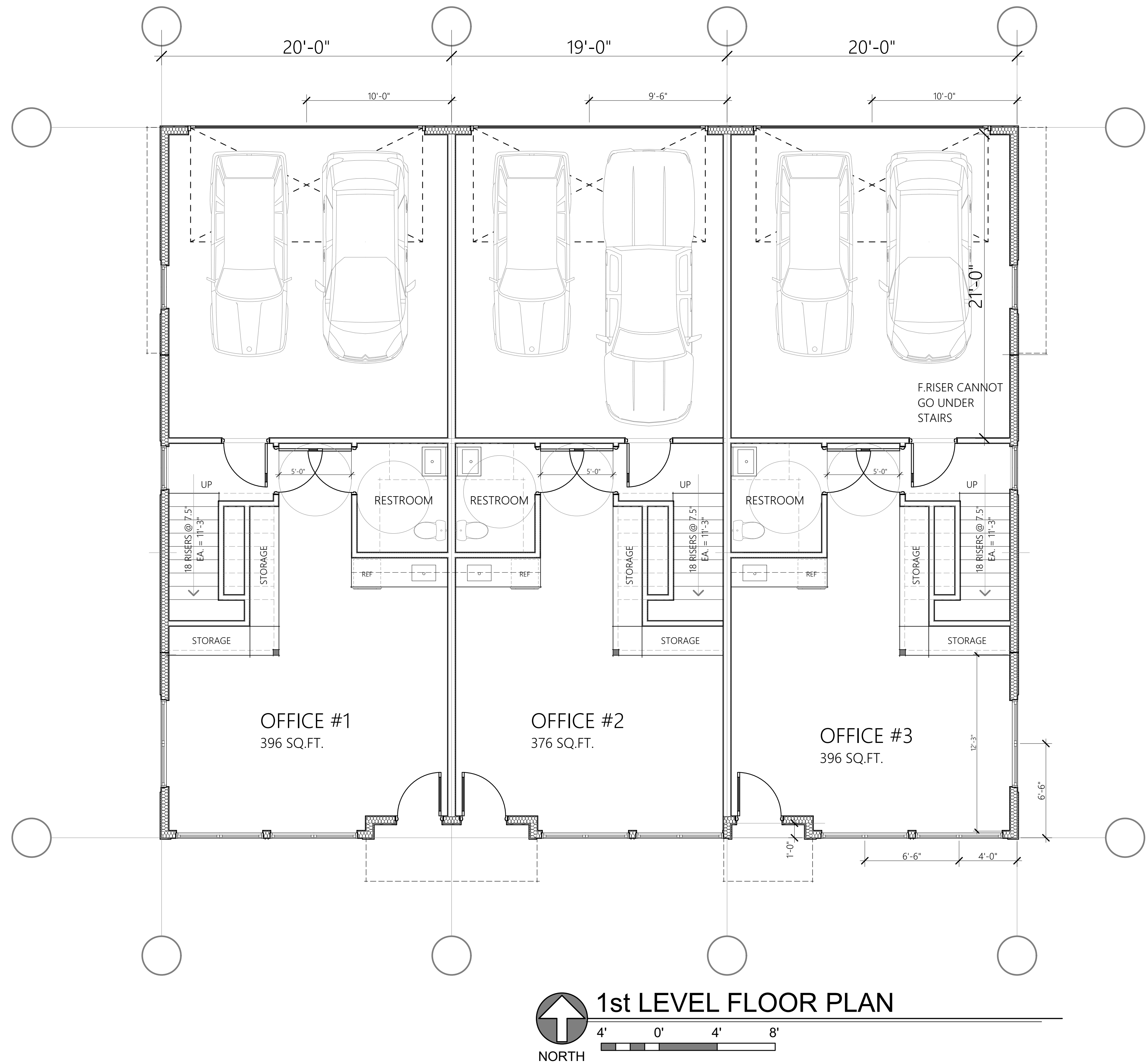
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DATE: SEPTEMBER 22, 2023

DRAWN: JBD

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1st LEVEL FLOOR PLAN

TAYLORSVILLE WORKLIVE
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

CONSULTANT

FILE: D:/JIM/jDA/TAYLORSVILLE

DATE: SEPTEMBER 22, 2023

DRAWN: JBD

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A2.1



2nd LEVEL FLOOR PLAN

TAYLORSVILLE WORKLIVE
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

CONSULTANT

FILE: D:/JIM/jDA/TAYLORSVILLE

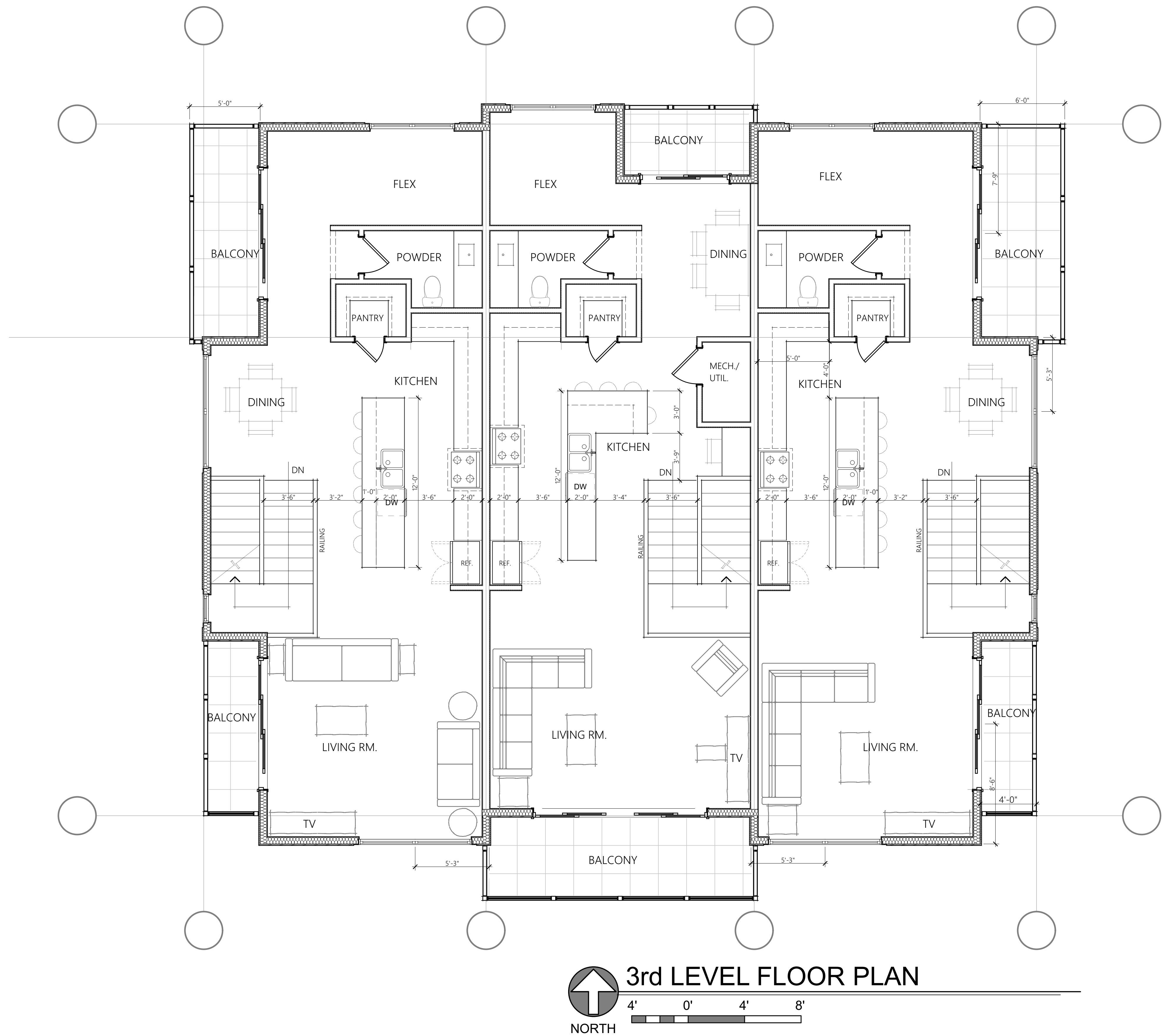
DATE: SEPTEMBER 22, 2023

DRAWN: JBD

REVISIONS

[illegible]

A2.2



3rd LEVEL FLOOR PLAN



TAYLORSVILLE 6 LIVE/WORK
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

CONSULTANT

FILE: D:/JIM/jDA/TAYLORSVILLE

DATE: OCTOBER 13, 2023

DRAWN: JBD

REVISIONS

NO.	DATE	DESCRIPTION
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[illegible]

A1.2



SITE LIGHTING NOTES

NOTES

1. THE SITE LIGHTING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH 2012 IRC AND 2012 NEC. THE ELECTRICAL ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE LIGHTING. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FLEXIBLE, PANELS OF 1/2" THICK BRASS OR BRASS PLATED STEEL, 1/2" THICK ALUMINUM OR COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT, SPECIALLY LIGHTING FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES, RECEPTACLES, ETC.
3. ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.
4. ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE DETERMINED BY METHOD INDICATED IN THE SPECIFICATIONS AND NOTED ON THE PANELS OR CABBINETS INCLUDING USING FUSE CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN A CONSPICUOUS ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL METER CLEARANCES TO THE METER SHALL BE MAINTAINED WITH A MINIMUM OF 36" FROM FLOOR TOP. ELECTRICAL METER GASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.
5. ALL FIXTURES SHALL HAVE A/UL LABELING. IF NOT U/L LISTED FIXTURE SHALL NOT BE USED.
6. THIS SITE LIGHTING PLAN IS A CONCEPT PLAN THAT WILL BE USED BY A UTAN STATE LICENSED ELECTRICAL ENGINEER AS A BASIS OF CONSTRUCTION DOCUMENT PRODUCTION.
7. NO LIGHTING SHALL BE ALLOWED TO CROSS THE FRONT SUBJECT PROPERTY LINE IN WHICH IS AN ADJACENT RESIDENTIAL ZONE.

FIXTURE SCHEDULE

'P'



MANUF: HOME DECORATOR
MODEL: MAUVO CANYON
MOD. #: KB 06005-DEL
PHOTOCELL - DUSK TO DAWN
LED BULB

LUMENS: 690
WATTS: 12.45
EFFICACY (L/W): 55.42

'FL'



MANUF: DEFIANT
MODEL: LED FLOOD
MOD. #: DFI-5983-WH
PHOTOCELL - DUSK TO DAWN
LED BULB

LUMENS: 2050
WATTS: 24.99
EFFICACY (L/W): 82.03

'S'



MANUF: COMMERCIAL ELECTRIC
MODEL: LED WALL PACK
MOD. #: STL15-4K-BZ
PHOTOCELL - DUSK TO DAWN
LED BULB

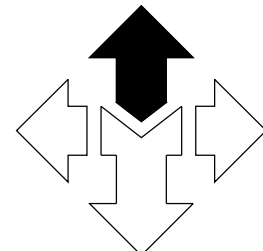
LUMENS: 1500
WATTS: 15
EFFICACY (L/W): 100

SITE PLAN - LIGHTING

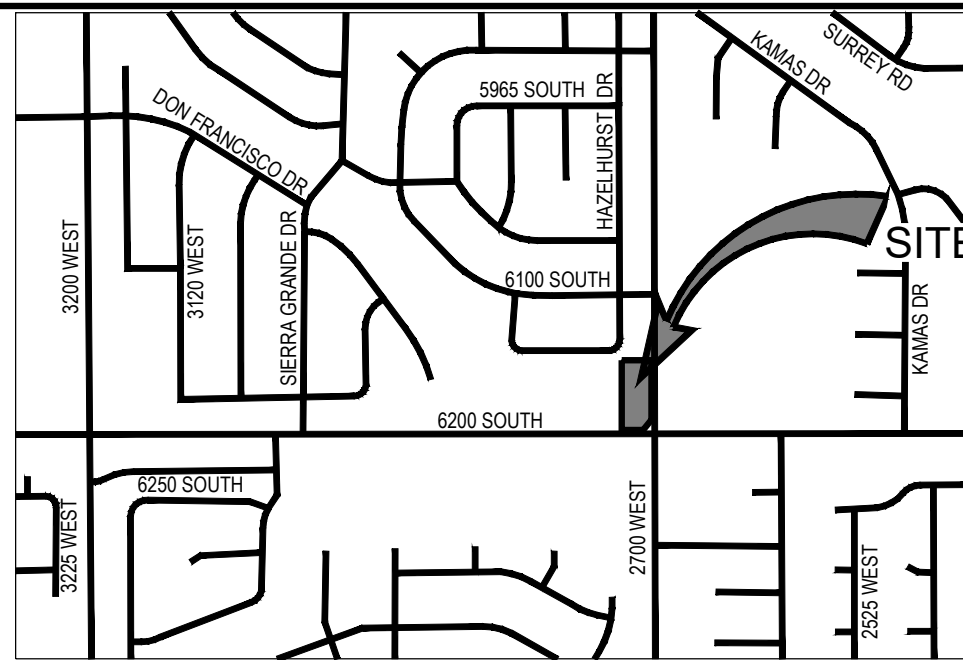
TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN

NORTH



SCALE: 1" = 20'



VICINITY MAP

SCALE: N.T.S.

SURVEYOR'S CERTIFICATE

I, DAVID B. DRAPER DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6861599 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENT AS REPRESENTED ON THIS PLAT, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT INTO LOTS, AND STREETS, TOGETHER WITH EASEMENTS, HEREINAFTER TO BE KNOWN AS:

TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT NORTH 89°58'14" WEST 64.55 FEET AND NORTH 00°01'23" WEST 40.00 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH 89°58'14" WEST 100.49 FEET; THENCE NORTH 00°01'23" WEST 225.40 FEET; THENCE SOUTH 89°57'08" EAST 125.09 FEET; THENCE SOUTH 00°04'06" EAST 200.71 FEET; THENCE SOUTH 44°49'23" WEST 34.74 FEET TO THE POINT OF BEGINNING. CONTAINS: 27.881 SQUARE FEET OR 0.640 ACRES (6 LOTS)

DAVID B. DRAPER
L.S. LICENSE NO. 6861599

OWNER'S DEDICATION

KNOW ALL BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE DESCRIBED TRACT OF LAND HEREON, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS:

TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND DO WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, AND MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES.

MILLCREEK TOWNHOMES LLC

BY:
ITS:

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF SALT LAKE } S.S.
ON THE _____ DAY OF _____ A.D. 20____, PERSONALLY APPEARED BEFORE ME _____, WHO BEING BY ME DULY SWORN DID SAY THAT THEY ARE THE _____ OF MILLCREEK TOWNHOMES, LLC, A UTAH LIMITED LIABILITY COMPANY, BY AUTHORITY OF ITS MEMBERS OR ITS ARTICLES OF ORGANIZATION, AND THEY ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.
MY COMMISSION NUMBER: _____
RESIDING IN _____ COUNTY, _____ NOTARY PUBLIC

TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN

SALT LAKE COUNTY RECORDER

RECORD NO. _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE \$ _____ SALT LAKE COUNTY RECORDER

EASEMENTS

- 1) SUBJECT TO AN EASEMENT AS RESERVED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED DECEMBER 18, 1996 AS ENTRY NO. 6531281 IN BOOK 7559 AT PAGE 2707 OF OFFICIAL RECORDS.
- 2) AN EASEMENT FOR WATER PIPELINE AND RELATED FACILITIES AND INCIDENTAL PURPOSES, THE EXACT LOCATION OF WHICH WAS NOT DISCLOSED, AS CREATED IN FAVOR OF TAYLORSVILLE-BENNION IMPROVEMENT DISTRICT, A BODY POLITIC BY INSTRUMENT RECORDED OCTOBER 31, 2018 AS ENTRY NO. 1287749 IN BOOK 10726 AT PAGE 5736 OF OFFICIAL RECORDS.

LEGEND

- SUBDIVISION BOUNDARY
- SECTION LINE
- MONUMENT LINE/CENTER LINE OF ROAD
- LOT LINE
- ADJOINING LOT LINE
- SUBDIVISION BOUNDARY CORNER, COPPER PLUG OR REBAR & CAP OR NAIL & WASHER STAMPED "MCNEIL ENGR"
- POWER EASEMENT LINE
- DENOTES RECORD INFORMATION
- PUBLIC UTILITY EASEMENT
- COMMON AREA
- PRIVATE OWNERSHIP
- WATER EASEMENT
- SEWER EASEMENT
- ACCESS AND PUBLIC UTILITY EASEMENT

DOMINION ENERGY UTAH - NOTE WITH NO EXISTING NATURAL GAS EASEMENT

QUESTAR GAS COMPANY, DBA DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFORMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT OF WAY DEPARTMENT AT 800-366-8532.

QUESTAR GAS COMPANY
DBA DOMINION ENERGY

APPROVED THIS _____ DAY OF _____, 20____
BY _____
TITLE _____

DOMINION ENERGY

APPROVED THIS _____ DAY OF _____ A.D. 20____
BY DOMINION ENERGY.

DOMINION ENERGY

ECONOMIC AND COMMUNITY DEVELOPMENT

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT, AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.

ECONOMIC AND COMMUNITY DEVELOPMENT DIRECTOR DATE

TAYLORSVILLE/BENNION IMPROVEMENT DIST.

APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE TAYLORSVILLE PLANNING IMPROVEMENT DISTRICT.

TAYLORSVILLE/BENNION IMPROVEMENT DISTRICT

RECORD OF SURVEY

R.O.S. NO. _____

COUNTY SURVEYOR REVIEWER DATE

COUNTY HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE SALT LAKE COUNTY HEALTH DEPARTMENT.

SALT LAKE COUNTY BOARD OF HEALTH

ROCKY MOUNTAIN POWER

APPROVED THIS _____ DAY OF _____ A.D. 20____
BY ROCKY MOUNTAIN POWER.

ROCKY MOUNTAIN POWER

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE TAYLORSVILLE PLANNING COMMISSION.

TAYLORSVILLE PLANNING COMMISSION

CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT, AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.

CITY OF TAYLORSVILLE ENGINEER DATE

CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20____

CITY OF TAYLORSVILLE ATTORNEY

PREPARED BY:

McNEIL ENGINEERING™
Economic and Sustainable Designs, Professionals You Know and Trust
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcnellengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

CITY OF TAYLORSVILLE

PRESENTED TO THE MAYOR OF THE CITY OF TAYLORSVILLE ON THIS _____ DAY OF _____ A.D. 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

ATTEST: CITY RECORDER

MAYOR

SHEET

#

OF

#

LOT 604
HAZELHURST NO. 6 SUBDIVISION
BK: NN PG: 67
KURT NOAKES, JODY G NOAKES
21-16-384-009

LOT 603
HAZELHURST NO. 6 SUBDIVISION
BK: NN PG: 67
ROBERTA A. SWEENEY
21-16-384-013

CENTER OF SECTION 16, TOWNSHIP 2 SOUTH,
RANGE 1 WEST, SALT LAKE BASE & MERIDIAN,
FOUND SALT LAKE COUNTY BRASS CAP
MONUMENT WITH RING & LID

TAYLORSVILLE BENNION
IMPROVEMENT DISTRICT
21-16-384-019

16" WATER LINE EASEMENT
IN FAVOR OF
TAYLORSVILLE-BENNION
IMPROVEMENT DISTRICT

SOUTH QUARTER CORNER OF SECTION
16, TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN, FOUND SALT
LAKE COUNTY BRASS CAP MONUMENT
WITH RING & LID

6200 SOUTH STREET (BENNION BOULEVARD)
(A PAVED PUBLIC RIGHT OF WAY, WIDTH VARIES)



W3153660

DRAFT / CCP

DECLARATION OF
COVENANTS, CONDITIONS, AND RESTRICTIONS
ESTABLISHING A PLANNED UNIT
DEVELOPMENT
FOR
TAYLORSVILLE 6
VALLEY VIEW PRUD
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EXHIBIT "A" – Description of Property and Plat of Property

EXHIBIT "B" – By Laws of ~~Valley View PRUD~~ HOA

Taylorsville 6

Jim Spung

From: Roberta Sweeney <>
Sent: Monday, October 16, 2023 11:07 AM
To: Jim Spung
Subject: [EXTERNAL] Notification Received About the Meeting Regarding the Property at 6200 South and 2700 West

Importance: High

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thank you for the notification of the meeting scheduled for October 24, 2023, to discuss this property. I received the letter on Saturday, October 14.

As much as I appreciate the notification, it would have been nice to have been able to read all of the information. The information included on the reverse side, not attached, was impossible to read. It appears as thou several pages were incorporated into one page on the reverse side. Even with a super magnifying glass, it was impossible to read!

If you want to have "happier campers" at the October 24 meeting, it would be great to have the information ahead of this meeting.

As the closest resident to this property and also a senior citizen, I have **great** concern about the landscaping and what is being done on that property. As it is now, I have more than an abundance of leaves from neighbors.

Would you please provide me **by postal mail** the information on the reverse side of the notification letter in a format size that is readable?

With regards,

Roberta Sweeney
6141 South Hazelhurst Drive
Taylorsville, UT 84129

Home Phone:

P.S. Also, the sewer line access and its status have been areas of concern. Would you please address this in your letter as well.