

Planning Commission Staff Report

File #30C23/CUP-000360-2023

**Public Hearing and Consideration of a Non-Administrative
Conditional Use Permit to Construct a Mixed-Use Structure at
2720 West 6200 South, Taylorsville, UT**

File #7S23/SUB-000359-2023

**Public Hearing and Consideration of a Preliminary Subdivision
Plat, "Taylorsville 6 Live/Work Townhomes," at
2720 West 6200 South, Taylorsville, UT**



Department of Community Development

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|---------------------------|--|
| Staff Report Date: | October 19, 2023 |
| Meeting Date: | October 24, 2023 |
| Subject Property Address: | 2720 West 6200 South |
| Applicant: | Mark Stephenson, Rocky Mountain Builders |
| Author: | Jim Spung, AICP, Senior Planner |
| Parcel #: | 21163840150000 |
| Applicable Ordinances: | Including, but not limited to Chapter 13.08; 13.23; 13.24; 13.25; 13.27; 13.28; 13.32; and 13.33 |
| Agenda Item #: | 4 and 5 |

Attachments:

Exhibit A: Zoning Map
Exhibit B: General Plan Map
Exhibit C: Subject Property Aerial Image
Exhibit D: Subject Property Vicinity Map
Exhibit E: Civil Plan Set
Exhibit F: Landscape & Irrigation Plan

Exhibit G: Architectural Plan
Exhibit H: Lighting Plan
Exhibit I: Proposed Subdivision Plat
Exhibit J: Draft CCRs
Exhibit K: Public Comments

Summary:

Mark Stephenson, Rocky Mountain Builders, is requesting Planning Commission review and approval of a mixed-use master plan, preliminary site plan, preliminary conditional use permit, and preliminary subdivision plat for the property located at 2720 West 6200 South, Taylorsville, UT. The applicant's proposal includes the creation of six lots to construct two live/work structures, as illustrated in Exhibits E and I. Each structure will include three live/work units, including 396 square feet of office/commercial space on the ground floor (1st level) and a 3-bedroom residential unit above (2nd and 3rd levels) (see Exhibit G). The timing, sequence, and status of reviews required for this project are summarized below:

1. **Master Plan:** underway as part of File #7S23/SUB-000359-2023, pending Planning Commission action.
2. **Preliminary Subdivision Plat:** underway as part of File #7S23/SUB-000359-2023, pending Planning Commission action.
3. **Preliminary CUP/Site Plan:** underway as part of File #30C23/CUP-000360-2023, pending Planning Commission action.
4. **Final Subdivision Plat:** contingent on preliminary plat approval, final review deferred to staff at Planning Commission's discretion.
5. **Final CUP/Site Plan:** contingent on preliminary CUP/site plan approval, final review deferred to staff at Planning Commission's discretion.

In the interest of time, the applicant has requested that steps 1-3 be reviewed concurrently. This report includes information and analysis related to steps 1-3 noted above.

Site Description

The subject property is made up of one parcel with a cumulative area of approximately 27,443 square feet (0.63 acres). The property is currently undeveloped, as shown in Exhibit C. The properties immediately west and south are owned by Taylorsville-Bennion Improvement District and are used as a water tank storage facility. Bennion Junior High School is the property immediately east, owned by Granite School District. Detached single-family residential homes (Lot 603 & 604, Hazelhurst #6 Subdivision) abuts the property to the north. Surrounding zoning designations are as follows:

| North | South | East | West |
|---------------------|---------------------------------------|---------------------------------------|---------------------------------------|
| Single-Family R-1-6 | Open Space (OS) (TBID water tanks) | Open Space (OS) (Bennion Jr. High) | Open Space (OS) (TBID water tanks) |

General Plan Analysis

The Proposed Land Use Map in the General Plan sets the foundation for all land uses within the City of Taylorsville. The land use plan identifies general land use classifications and in some cases the intensity within the classification. Each land use classification on the Proposed Land Use Map corresponds with compatible classifications on the official Taylorsville Zoning Map.

The subject property is designated as "*Medium-Density Mixed-Use*" on the Proposed Land Use Map. The General Plan includes the following statement describing the intent of the High-Density Mixed-Use designation (pg 3-5):

“The Medium Density Mixed Use (MDMU) classification allows a residential density of up to 8.9 units per acre in a mixed use setting.”

The applicant's proposal is consistent with the City's General Plan and would result in a density of nine (9) dwelling units per acre.

Land Development Code Analysis

The LDC establishes the development standards regulating development in the Mixed Use (MU) zoning district. Rather than including an exhaustive list of all standards, city staff has identified select standards related to the site plan and conditional use permit that either require specific Planning Commission approval or that warrant further discussion.

| LDC Reference | Comments |
|---|--|
| <p>13.23.260(G)(1): <i>... Setbacks shall be determined by the planning commission based upon acceptable layout and design.</i></p> | <p>STAFF'S ANALYSIS: Proposed building setbacks have been identified in the site plan provided in Exhibit E. The proposed building setbacks for structures are summarized below:</p> <p>East property line (2700 West) = 20 feet South property line (6200 South) = 52.57 feet West property line (TBID site) = 45.94 feet North property line (R-1-6) = 49.18 feet</p> <p>STAFF RECOMMENDATION: Staff recommends the Planning Commission approve the site layout and corresponding setbacks, as illustrated in the site plan provided in Exhibit E.</p> <p>DISCUSSION: Does the Planning Commission have specific concerns related to the proposed building setbacks?</p> |
| <p>13.23.260(C)(1): <i>Coverage for both buildings and paved areas (parking, loading, and circulation) shall not exceed 85%, thereby reserving a minimum of 15% for landscaped areas and open space.</i></p> <p>13.23.260(E)(7) and 13.12.070: <i>Usable open space shall be provided within the mixed use development and is dependent upon size, scale, and nature of the development as determined by the director. Approved open space may include, but is not limited to, commons, pocket parks, plazas, courtyards, landscape features, water fountains and features, greenbelts, and trail connections. A "village green", as a common area, may be required adjacent to mass transit connections or other significant activity. Building materials used within open space areas shall be related to the materials of adjacent buildings and shall be a nonskid finish. Design shall encourage comfortable and safe pedestrian use including landscaping, seating areas, and lighting, as appropriate.</i></p> | <p>STAFF'S ANALYSIS: The plans indicate a proposed landscape area of 7,029 square feet (25 percent of site). This complies with the minimum 15 percent landscape area requirement.</p> <p>There are two amenity areas identified on the site plan:</p> <p>Plaza south of the building, 22' x 22' = 484 sq. ft. Trellis w/ picnic table, 12' x 16' = 192 sq. ft.</p> <p>STAFF RECOMMENDATION: Staff recommends the Planning Commission approve the landscape and open space areas, as illustrated in Exhibit E and F.</p> <p>DISCUSSION: Are there additional design considerations that should be addressed related to site landscape and open space?</p> |

13.23.260(C)(2):

Parking terraces and underground parking is strongly encouraged. Surface parking (permanent or temporary) may be allowed in addition to, or in lieu of a parking structure, upon the approval of the planning commission, where it is screened from streets and where it can be shown that the phasing plan, design, size, and scope of the project substantially provides a walkable community.

13.24.080(B):

"Dwelling, single-family" requires minimum 2 spaces per dwelling unit (within an enclosed garage).

"Commercial/ Professional Office" requires 5 spaces per 1,000 square feet of floor area.

13.23.260(B)(1):

All exterior building elevations visible from adjacent properties or streets may, upon the director's request, be reviewed and approved by the planning commission.

13.23.260(E)(3)(b):

... Unless otherwise approved by the planning commission, rear yards and the rear of buildings shall not directly abut streets. If the rear of building is approved adjacent to a street, pedestrian access and street oriented building treatment must be adequately addressed.

13.23.260(E)(3)(e):

... Developments shall have street side building elevations with extensive windows, balconies, decks, or landscape terraces being encouraged.

STAFF'S ANALYSIS: Surface parking is proposed and requires approval from the Planning Commission. Vehicle parking counts are summarized below:

Residents = 12 garage spaces (2/unit min.)

Guest Parking = 4 surface spaces (0.25/unit min.)

Commercial = 16 surface spaces (5/1,000 sq. ft. min.)

Total Required = 25.5 parking spaces

Total Provided = 28 parking spaces

The number of vehicle parking spaces required by the LDC for this project is 24 parking spaces. The plans indicate 28 parking spaces will be provided, which complies with the minimum parking standards in 13.24.080(B).

STAFF RECOMMENDATION: Staff recommends the Planning Commission approve the surface parking as proposed in Exhibit E.

DISCUSSION: None.

STAFF'S ANALYSIS: The applicant has provided concept building elevations from a similar project for reference (Exhibit G). Rather than requiring the applicant to attend another Planning Commission meeting for building elevation approval, staff recommends the Director review and approve proposed building elevations pursuant to the standards provided in the LDC, and feedback provided by the Planning Commission.

STAFF RECOMMENDATION: Staff recommends the Planning Commission approve the exterior building elevations as proposed..

DISCUSSION: Does the Planning Commission have specific concerns or requirements associated with the building elevations (e.g., materials, colors, features, etc.)?

13.23.260(E)(9):

The lighting of streets, pedestrian areas, parking lots, and open space is required.

Exterior wall mounted floodlights are expressly prohibited. Indirect lighting, bollard lighting, and landscape lighting is encouraged. Lighting of a building and site identification signs are permitted as allowed elsewhere in this code.

Design and location of standards and fixtures shall be specified on the site development drawings. Intensities shall be controlled so that "safety" lighting is provided while neighboring areas are protected from glare or excessive direct light. Streetlight design fixtures shall be of pedestrian scale and be installed as required by applicable city policy.

STAFF'S ANALYSIS: An exterior lighting and photometric plan is required to comply with referenced and applicable standards.

STAFF RECOMMENDATION: Applicant must submit exterior lighting and photometric plan demonstrating compliance with referenced and applicable standards.

DISCUSSION: Are there additional design considerations that should be addressed related to exterior site lighting?

In accordance with LDC [Section 13.23.070](#), Keyed Note #17 on the site plan (Sheet C1.01) indicates a new 6-foot masonry wall will be installed along the norther property boundary, adjacent to the single-family properties. City staff will coordinate with the applicant to ensure the proposed wall complies with all city standards.

As provided in [Section 13.33.030\(D\)](#) and (E), the Planning Commission is authorized to grant preliminary nonadministrative conditional use approval. Final review and decision of approval is granted by the Director, unless otherwise directed by the Planning Commission.

The Planning Commission is the preliminary subdivision review authority, pursuant to [Section 13.30.030\(D\)](#) of the LDC. City Staff and review authorities will continue to work with the applicant to address any outstanding review comments. Construction and development activity is not permitted until all applicable permits/approvals have been secured by the applicant.

Public Comment

A public notice was sent to all affected entities and residents within 300 feet of the property on October 13, 2023. As of October 19, 2023 City staff received one inquiry from a neighboring resident (see Exhibit K).

Findings

1. The applications (File #7S23/SUB-000359-2023 and File #30C23/CUP-000360-2023) were initiated by Mark Stephenson, Rocky Mountain Builders.
2. The subject property is a single parcel with an area of 27,881 square feet (0.640 acres) (Parcel ID: 21163840150000).
3. The subject property is in the Mixed-Use (MU) zoning district.
4. The subject property is in the "Medium-Density Mixed-Use" designation in the City's General Plan.
5. The applicant's proposal is consistent with the City's General Plan and would result in a density of nine (9) dwelling units per acre.
6. The applicant's proposal includes the creation of six lots to construct two live/work structures, as illustrated in Exhibit I. Each structure will include three live/work units, including 396

square feet of office/commercial space on the ground floor (1st level) and a 3-bedroom residential unit above (2nd and 3rd levels).

7. The applications has been reviewed by City departments and review agencies. Prior to final approval, city staff will continue coordinating with the applicant to address all outstanding review comments.
8. Specific development standards that merit further discussion and consideration from the Planning Commission have been listed in a table in the "Land Development Code Analysis" section of this Report.
9. A title report for all property within the boundary of the plat must be submitted to the City within 90 days of recording the plat to ensure all relevant information is reflected on the plat.
10. To ensure proper sequencing of approvals, the subdivision plat review process must be completed prior to issuance of a development permit on the subject property.
11. On October 13, 2023, a public notice was mailed to all affected entities and property owners within 300 feet of the subject property. All comments received prior to October 19, 2023 are included in this report.
12. Section [13.23.260\(E\)](#) of the Taylorsville Land Development Code (LDC) requires that prior to development in a mixed-use zoning district, the Planning Commission review and approve a master plan. An approved master plan will inform future development applications for the subdivision, conditional use, and site plan reviews.
13. The Planning Commission is the decision-making authority for preliminary subdivision plat review.

Conditions of Approval

City Staff recommends the following condition of approval be required for the applications:

1. The applicant coordinates with city staff and reviewing agencies to address all outstanding review comments to demonstrate compliance with all applicable standards, prior to final approval.

Staff Recommendations

Master Plan

Staff's recommends the Planning Commission approve File #7S23/SUB-000359-2023, a mixed-use master plan for the property located at 2720 West 6200 South, Taylorsville, Utah as identified in Exhibits E, F, G, and H, subject to the findings and conditions outlined in this Staff Report.

Preliminary Subdivision Plat

Staff's recommends the Planning Commission approve File #7S23/SUB-000359-2023, a preliminary subdivision plat for the "Taylorsville 6 Live/Work Townhomes" located at 2720 West 6200 South, Taylorsville, Utah, as identified in Exhibit I, subject to the findings and conditions outlined in this Staff Report.

Preliminary Conditional Use Permit & Site Plan

Staff recommends the Planning Commission approve File #30C23/CUP-000360-2023, a preliminary conditional use permit and site plan to construct two (2) mixed-use structures at 2720 West 6200 South, Taylorsville, Utah, as illustrated in Exhibits E, F, G, and H, subject to the findings and conditions outlined in this Staff Report.

Recommended Motions (in the order presented)

Master Plan

I move that we approve File #7S23/SUB-000359-2023, a preliminary subdivision plat for the "Taylorsville 6 Live/Work Townhomes" located at 2720 West 6200 South, Taylorsville, Utah, as identified in Exhibits E, F, G, and H, subject to the findings and conditions outlined in this Staff Report.

Preliminary Subdivision Plat (Phase 1)

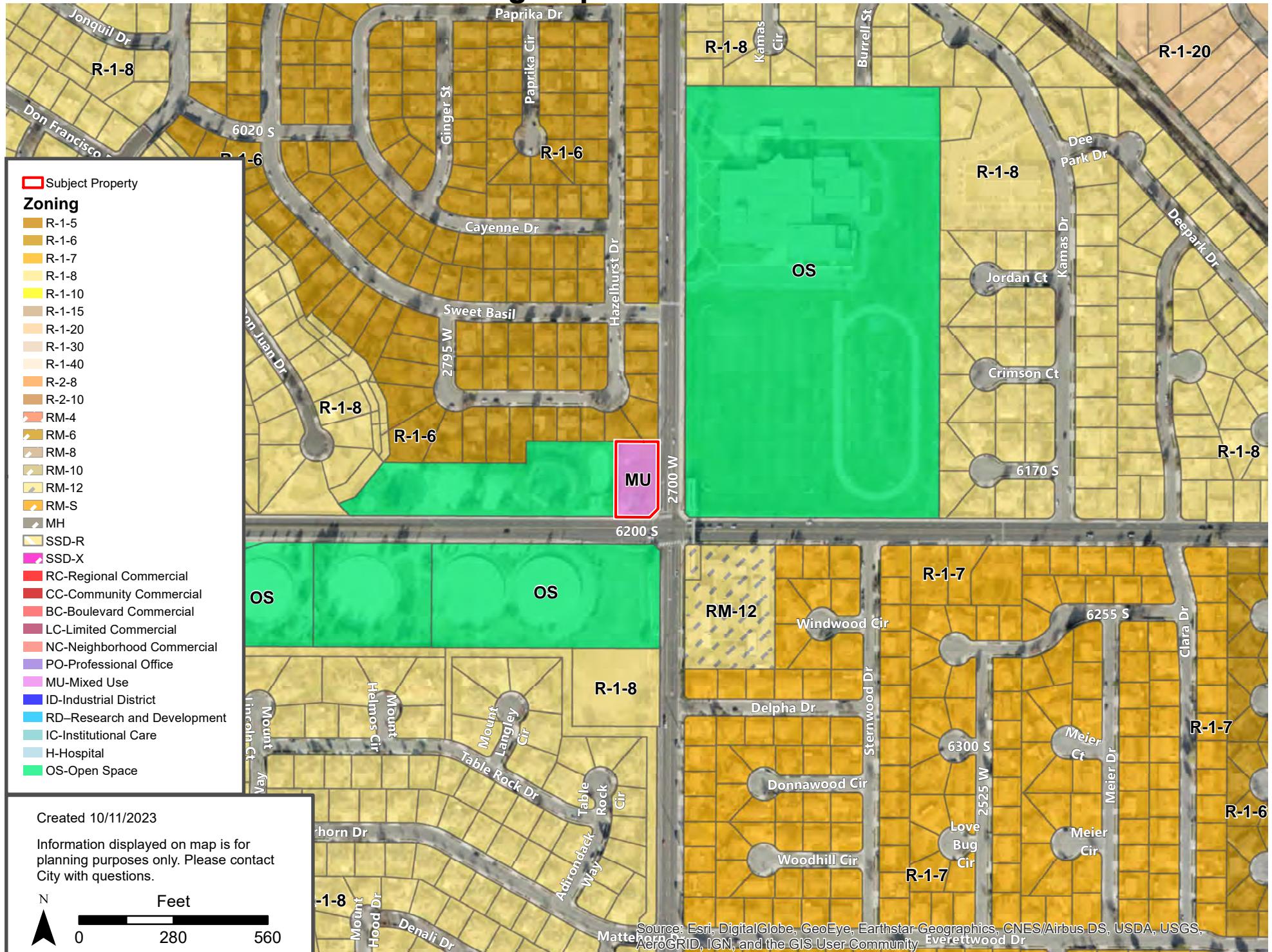
I move that we approve File #30C23/CUP-000360-2023, a preliminary conditional use permit and site plan to construct two (2) mixed-use structures at 2720 West 6200 South, Taylorsville, Utah, as illustrated in Exhibit I, subject to the findings and conditions outlined in this Staff Report.

Preliminary Conditional Use Permit & Site Plan (Phase 1)

I move that we approve File #30C23/CUP-000360-2023, a preliminary conditional use permit and site plan to construct two (2) mixed-use structures at 2720 West 6200 South, Taylorsville, Utah, as illustrated in Exhibits E, F, G, and H, subject to the findings and conditions outlined in this Staff Report.

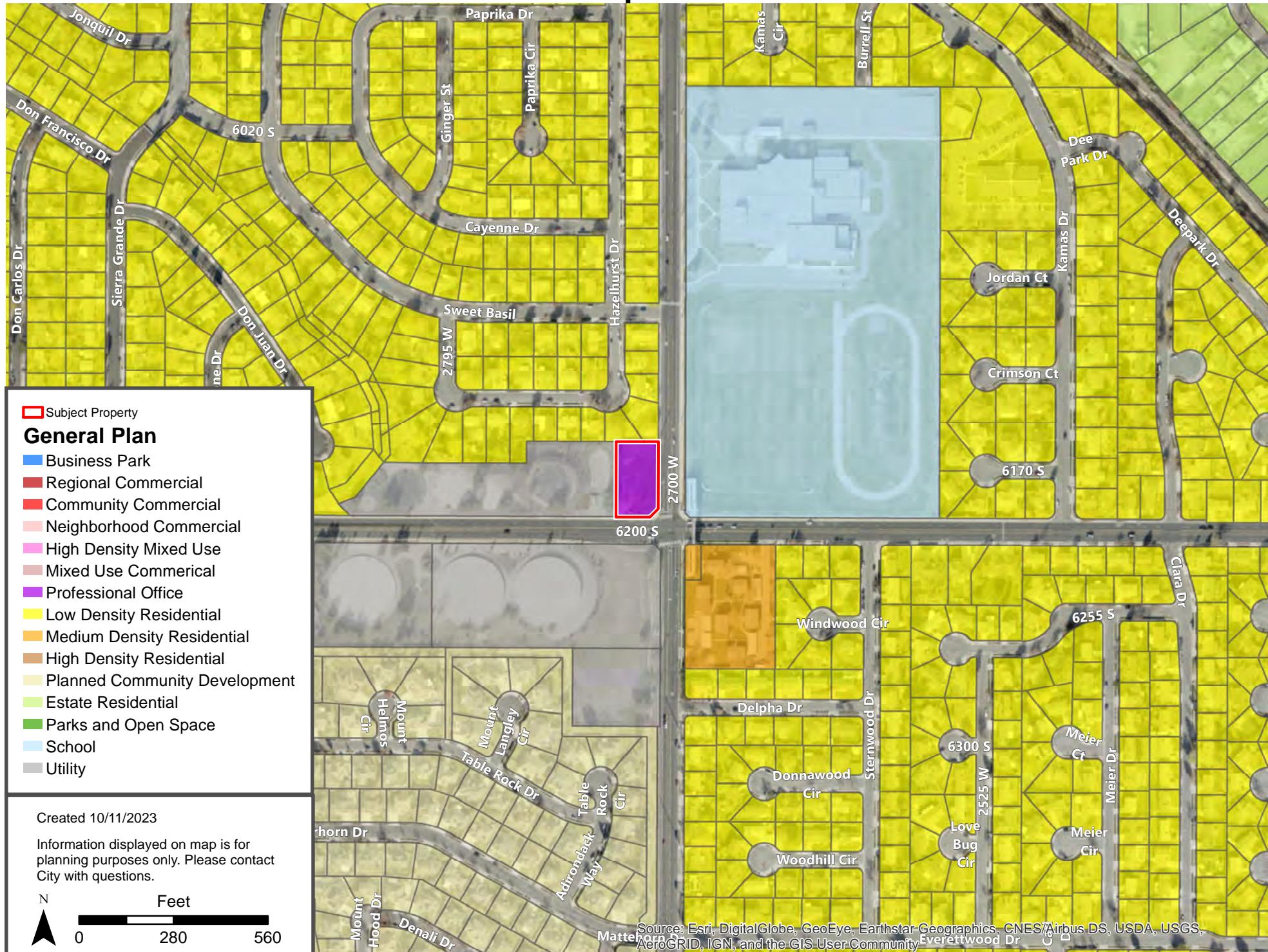
Zoning Map: 2720 W. 6200 S.

Exhibit A



General Plan Map: 2720 W. 6200 S.

Exhibit B



Site Map: 2720 W. 6200 S.



Exhibit D

Vicinity Map: 2720 W. 6200 S.



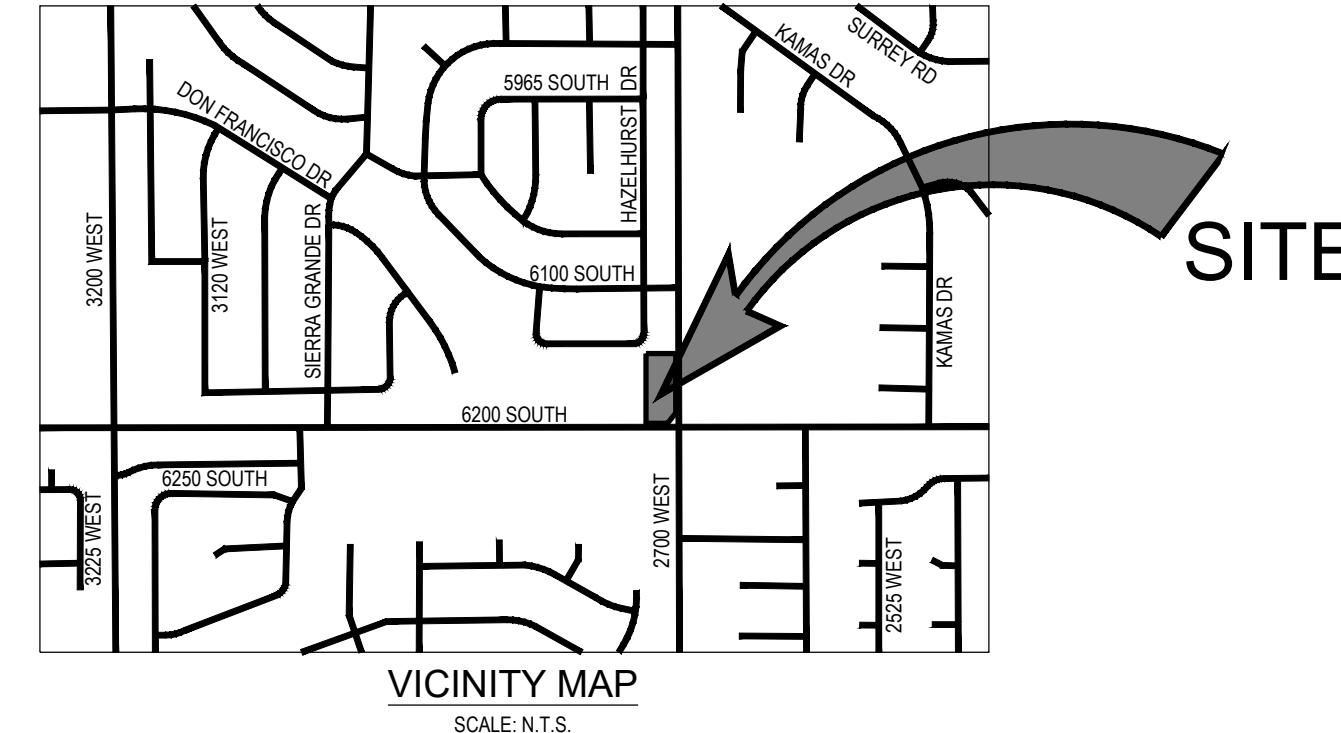
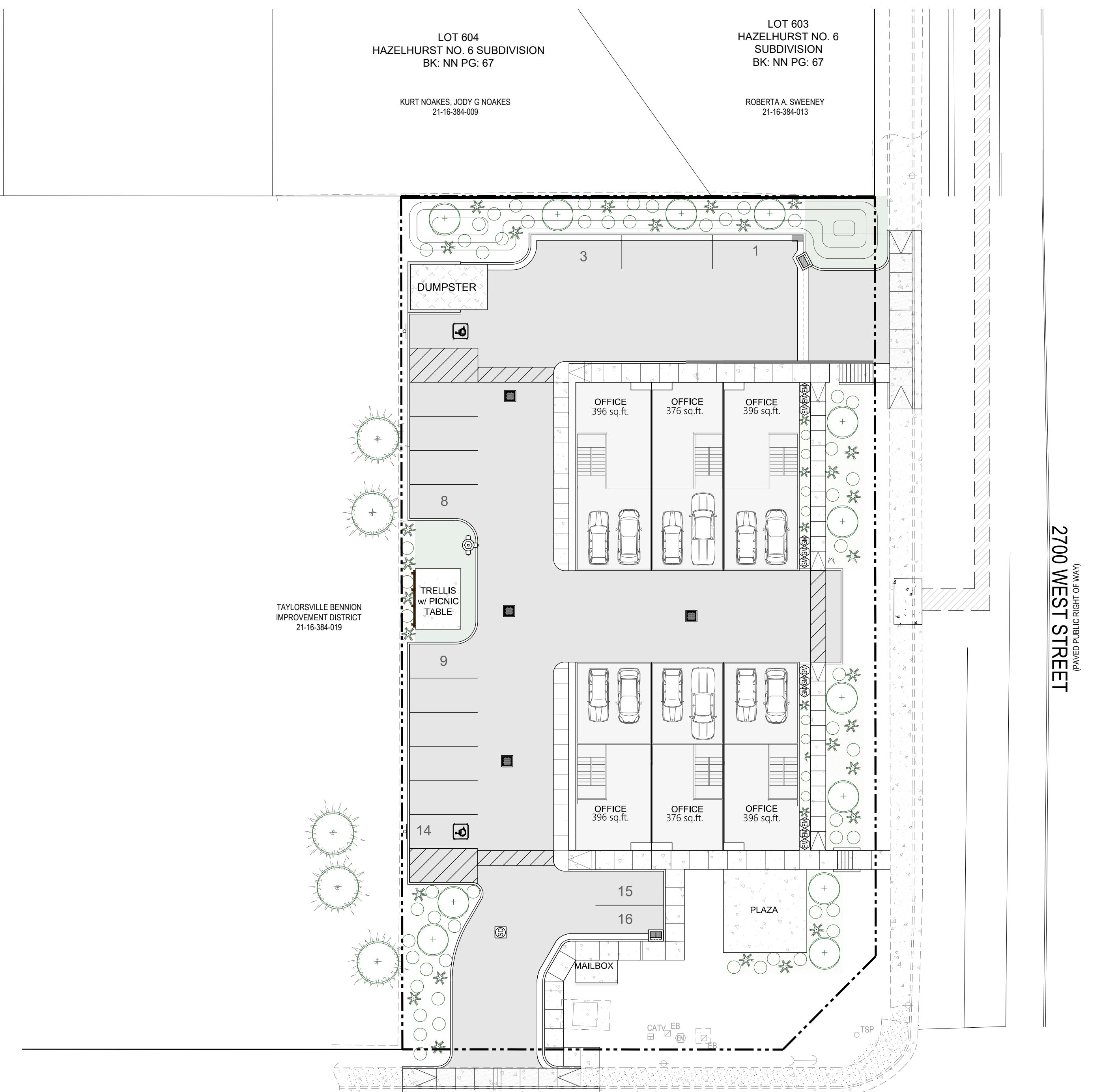
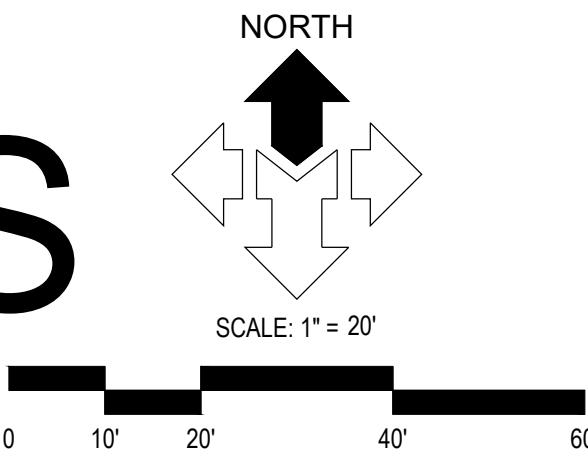
TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

CONSTRUCTION PLANS

6200 S. 2700 W.

TAYLORSVILLE, UTAH

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.



DRAWING INDEX

| SHEET | DESCRIPTION |
|-------|---|
| C0.00 | CIVIL COVER SHEET |
| C0.01 | GENERAL NOTES, LEGEND AND ABBREVIATIONS |
| C1.01 | CIVIL SITE PLAN |
| C2.01 | GRADING AND DRAINAGE PLAN |
| C3.01 | EROSION CONTROL PLAN |
| C4.01 | SITE UTILITY PLAN |
| C4.02 | PROFILE |
| C5.01 | CIVIL DETAILS |
| C5.02 | CIVIL DETAILS |
| C5.03 | CIVIL DETAILS |
| C5.04 | CIVIL DETAILS |

ALL WORK AND MATERIALS FOR WATER
MUST CONFORM TO TAYLORSVILLE
BENNION IMPROVEMENT DISTRICT
STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO TAYLORSVILLE
BENNION IMPROVEMENT DISTRICT
STANDARDS AND SPECIFICATIONS

**ALL WORK AND MATERIALS MUST
CONFORM TO TAYLORSVILLE CITY
STANDARDS AND SPECIFICATIONS**

DEVELOPER & OWNER

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GENERAL NOTES

1.1 COMPLIANCE
1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APHA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

1.2 PERMITTING AND INSPECTIONS
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REquiring OBSERVATION.
3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

1.3 COORDINATION & VERIFICATION
1. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLATES OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR CHANGES TO THE PLANS OR CONSTRUCTION DUE TO INACCURACIES IN THESE PLANS. IF NOT NOTIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN EASILY BE NOTICED.
3. CONTRACTOR IS TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
4. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO TURN CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

1.4 SAFETY AND PROTECTION
1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OR WORKERS AND PUBLIC HIGHWAYS, AND UTILITY IMPROVEMENTS DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OR SAID IMPROVEMENTS.
5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORES AND DUMPING AREAS.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
7. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONTRACTOR'S STAFF AND VEHICLES, AND EQUIPMENT DELIVERED ON SITE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LAST EDITION.
8. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
10. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT CONCRETE FROM HEAT AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
11. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL PROSECUTE TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
13. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN AND AROUND THE PROJECT SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
14. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

1.5 MATERIALS
1. SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG M4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5% OR -1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED 1/4" THE DEPTH AT INTERVALS NOT TO EXCEED 50 FEET. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED. CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
B. CONCRETE WATERWAYS, CURBWALES, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4" THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS, CHANGES IN DIRECTION NOT TO EXCEED 50 FEET).
C. UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
D. UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95%) SUBGRADE.
E. ALL EXPOSED CONCRETE SURFACES WILL BE RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
F. ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
2. ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 9" OF COMPACTED (95%) ROAD BASE OVER A WELL COMPACTED (95%) SUBGRADE. SEE SPECIFICATIONS AND DETAIL D\ SHEET C301.
A. ASPHALT COMPACTION SHALL BE A MINIMUM 96% (MARSHALL DESIGN).
B. SURFACE COARSE SHALL BE 1" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
C. AC PAVEMENT TO BE 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTON.
D. THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

1.6 GRADING / SOILS
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE PART OF THE REQUIREMENTS. CONSTRUCTION ACTIVITIES AND USE OF CONCRETE SCAFFOLDING PROCESSES, UNLESS SPECIFICALLY NOTED, ARE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
3. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTION TO 98% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1587, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
4. CONCRETE COLUMNS, A CONCRETE COLUMN REPORT PREPARED BY A QUALIFIED REGISTERED SOIL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PITS, VALVES, ETC.
6. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

GENERAL NOTES: CONTINUED

1.7 UTILITIES
1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR IS TO VERIFY POTHOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF UTILITIES IN THE FIELD PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE LOCATION OF THE LOWEST POINT BUILDING UP THE FIELD DURING CONSTRUCTION AT THE ENDING MAIN. NO COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
4. CONTRACTOR IS TO VERIFY LOCATION DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY MARKS PROVIDED BY LOCAL UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
6. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY OR SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
8. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
9. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A MONOLITHIC GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
10. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

1.8 SURVEY CONTROL
1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH OUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

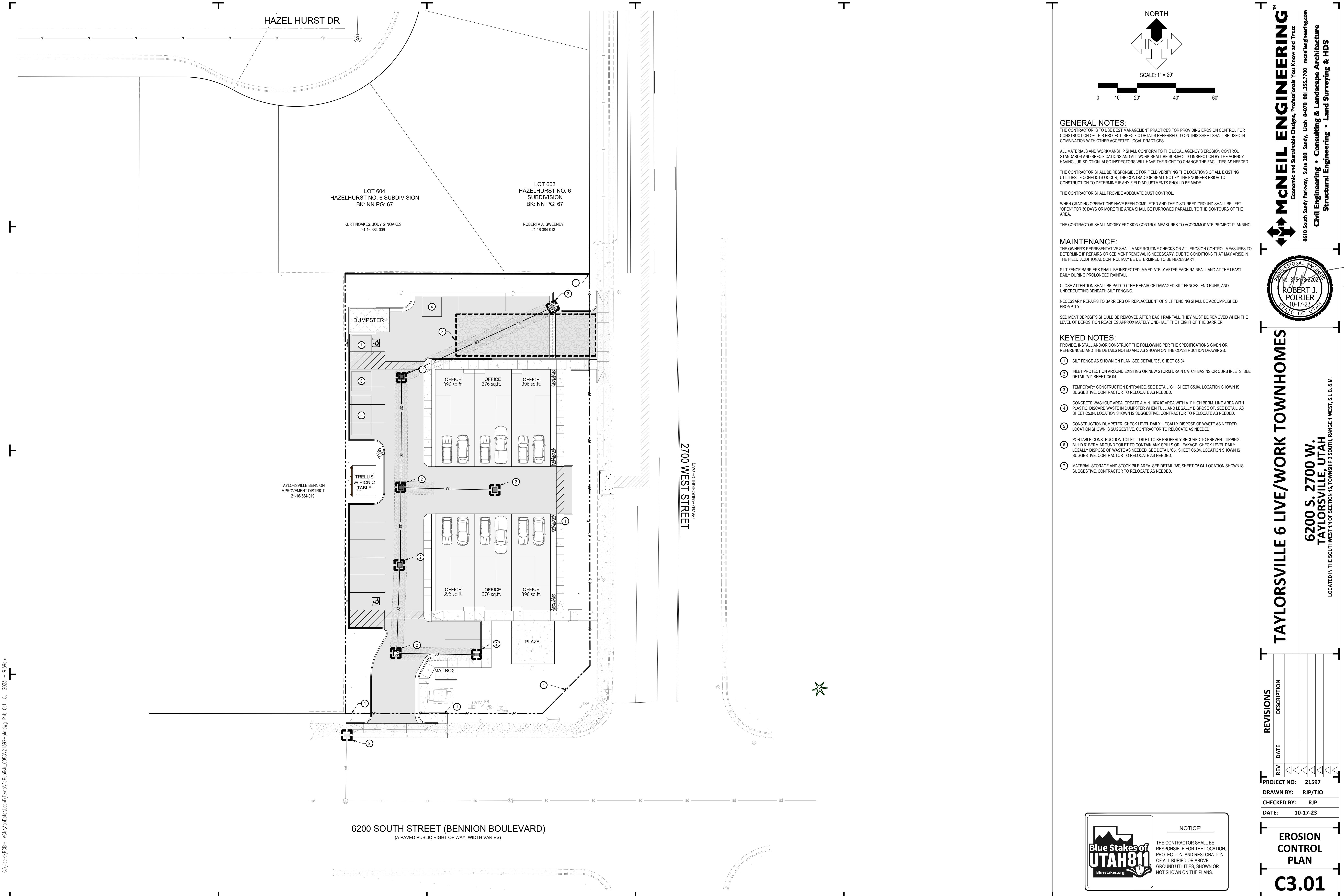
1.9 AMERICAN DISABILITIES ACT
1. PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
*ROUTES SHALL HAVE A 2.08% (1:48) MAXIMUM CROSS SLOPE.
*ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
*RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
2. PEDESTRIAN / ADA ROUTES AND ADJACENT ROUTES SHALL HAVE A 2.08% (1:48) MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

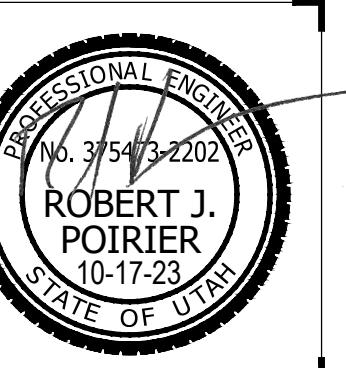
LEGEND

| NEW | EXISTING | NEW | EXISTING |
|-----------|-----------|----------------------------|----------------------------|
| — - - - - | — - - - - | MONUMENT LINE | SECTION CORNER (FOUND) |
| — - - - - | — - - - - | CENTER LINE | SECTION CORNER (NOT FOUND) |
| — - - - - | — - - - - | SUBJECT PROPERTY LINE | |
| — - - - - | — - - - - | ADJACENT PROPERTY LINE | |
| — - - - - | — - - - - | EASEMENT LINE | STREET MONUMENT |
| — - - - - | — - - - - | DITCH FLOWLINE | BRASS CAP MONUMENT |
| X | X | FENCE LINE | POWER POLE |
| ATMS | atms | ATMS CABLE | UTILITY POLE |
| TV | tv | CABLE TV LINE | GUY |
| C | c | COMMUNICATIONS LINE | GUY |
| FO | fo | FIBER-OPTIC CABLE | TRANS |
| F | f | FIRE LINE | TRANS |
| IRR | irr | IRRIGATION LINE | TRANS |
| G | g | NATURAL GAS LINE | TRANS |
| OHC | ohc | OVERHEAD COMMUNICATIONS | TRANS |
| CHP | chp | OVERHEAD POWER LINE | TRANS |
| OHT | oh | OVERHEAD TELEPHONE LINE | TRANS |
| OHTV | ohv | OVERHEAD TELEVISION LINE | TRANS |
| P | p | POWER LINE | TRANS |
| P/C | p/c | POWER/COMMUNICATIONS LINE | TRANS |
| P/T | p/t | POWER/TELEPHONE LINE | TRANS |
| P/T/C | p/t/c | POWER/TELE/COMM LINE | TRANS |
| RD | rd | ROOF DRAIN LINE | TRANS |
| SW | sw | SECONDARY WATER LINE | TRANS |
| S | s | SANITARY SEWER LINE | TRANS |
| ST | st | STEAM LINE | TRANS |
| SD | sd | STORM DRAIN LINE | TRANS |
| T | t | TELEPHONE LINE | TRANS |
| T/C | t/c | TELEPHONE/COMM LINE | TRANS |
| UD | ud | UNDERDRAIN | TRANS |
| UGC | ugc | UNDERGROUND COMMUNICATIONS | TRANS |
| UGP | ugp | UNDERGROUND POWER LINE | TRANS |
| UGT | ugt | UNDERGROUND TELEPHONE LINE | TRANS |
| UGTV | ugtv | UNDERGROUND TELEVISION | TRANS |
| W | w | WATER LINE | TRANS |
| 172 | 4572 | CONTOUR LINE | TRANS |
| | | CURB & GUTTER (STD) | TRANS |
| | | CURB & GUTTER (OUTFALL) | TRANS |
| | | | |

ABBREVIATIONS

| | | | | | | | | | |
|-------|---------------------------------|-------------|---------------------------|-------|---------------------------|-------|----------------------------|-------|-----------------------------|
| AC | ACRE | DIP | DUCTILE IRON PIPE | GM | GAS METER | PCC | POINT OF COMPOUND CURVE | T | TOWNSHIP |
| ADA | AMERICANS WITH DISABILITIES ACT | DTREE | DECIDUOUS TREE | GMH | GAS MANHOLE | TBC | TOP BACK OF CURB | TELE | TELEPHONE |
| ATMS | ADVANCED TRAFFIC MGMT. SYSTEM | DY | DOUBLE YELLOW LINE | GUY | GUY WIRE | PM | PARKING METER | TFC | TOP EDGE OF CURB |
| B/C | BUILDING CORNER | EAST | EDGECAP | GP | GROUND PLATE | PP | PARKING POLE | TFC | TOP EDGE OF CURB |
| BFG | BOTTOM FINISH GRADE | EB | ELECTRIC BOX | HOP | HIGH DENSITY POLYETHYLENE | PRC | POINT OF REVERSE CURVE | TFG | TOP FINISH GRADE |
| BLUE | BLUE STAKED ELECTRIC | ELEV | ENERGY GRADE LINE | HG | HEADGATE | PRK | PARKING STRIPE | TL | TREE LINE |
| BLUFO | BLUE STAKED FIBER OPTIC | EM | ELEVATION | HG | HYDRAULIC GRADE LINE | POC | POINT OF CONNECTION | TMI | TELEPHONE PAD MANHOLE |
| BLUG | BLUE STAKED GAS | EMH | ELECTRIC METER | HP | HIGH POINT | PT | POINT OF TANGENCY | TOA | TOP OF ASPHALT |
| BLURR | BLUE STAKED IRRIGATION | ED | EDGECAP ASPHALT | HW | HEAVY WHEEL OR HIGH WATER | PWR | POLE | TODC | TOP OF CONCRETE |
| BLUSD | BLUE STAKED STORM DRAIN | EDC | EDGE OF CONCRETE | ICO | IRRIGATION CONTROL VALVE | R | RANGE | TOG | TOP OF GRADE |
| BLUSS | BLUE STAKED SANITARY SEWER | EOG | EDGE OF GRAVEL | ICV | REINFORCED CONCRETE PIPE | RCP | TOE OF SLOPE | TOE | TOE OF SLOPE |
| BLUT | BLUE STAKED TELEPHONE | EOL | EDGE OF LAWN | IE | INVERT ELEVATION | RD | ROOF DRAIN | TOP | TOP OF SLOPE or TOP OF PIPE |
| BLW | BLUE STAKED WATER | EX or EXIST | EXISTING | IE | IRRIGATION | REV | REVISION | TOW | TOP OF WALL |
| BM | BURIED | F | EDGE OF PAVEMENT | LP | LOW POINT OR LIGHT POLE | S | SOUTH | TR | TELEPHONE RISER |
| BOF | BOTTOM OF FOOTING | FC | FOUNDATION CORNER | LIP | LIP OF GUTTER | RR | RAILROAD | TV | TELEVISION |
| BOB | BOTTOM OF BOX | FD | FOUND OR FOUNDATION DRAIN | LP | LOW POINT OR LIGHT POLE | S | SOUTH | TW | FINISH GRADE AT TOP OF WALL |
| BOL | BOLLARD | FDC | FIRE DEPT. CONNECTION | MAX | MAXIMUM | SAD | SEE ARCHITECTURAL DRAWINGS | TRANS | TRANSFORMER |
| BOT | BOTTOM | FDMN | FOUND MONUMENT | MIN | MINIMUM | SD | STORM DRAIN | TSP | TRAFFIC SIGNAL POLE |
| BOV | BLOW-OFF VALVE | FDSC | FOUND SECTION CORNER | MON | MONUMENT | SDCB | STORM DRAIN CATCH BASIN | TSB | TRAFFIC SIGNAL BOX |
| BOW | BOW WALK | FPE | FLASHING PLATE ELEVATION | MHD | MHD PIPE | SDCB | STORM DRAIN CLEANOUT BOX | UD | UNDERGROUND |
| BW | FINISH GRADE AT BOTTOM OF WALL | FG | FINISHED GRADE | MW | MONITORING WELL | SDMH | STORM DRAIN MANHOLE | UGC | UNDERGROUND COMMUNICATIONS |
| C | CENTERLINE | FH | FIRE HYDRANT | N | NORTH | SEC | SECTION | UGC | UNDERGROUND POWER |
| CATV | CABLE TELEVISION | FL | FLOW LINE | NG | NATURAL GROUND | SPEC | SPECIFICATIONS | UGT | UNDERGROUND TELEPHONE |
| CBR | CONCRETE BARRIER | FNC | FENCE | NGRET | NG RETAINING WALL | SLB&M | SALT LAKE BASE & MERIDIAN | UGTV | UNDERGROUND TELEVISION |





TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

6200 S. 2700 W.
TAYLORSVILLE, UTAH

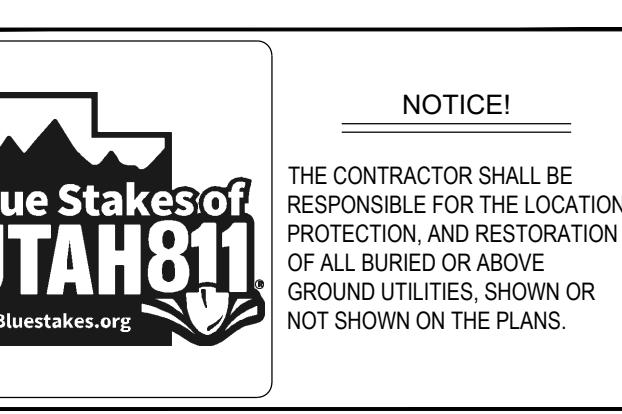
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.

| REV | DATE | DESCRIPTION |
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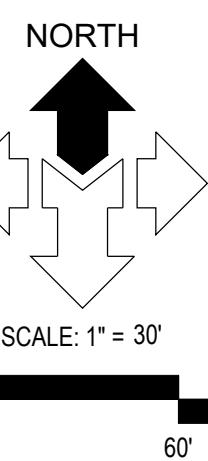
PROJECT NO.: 21597
DRAWN BY: RJP/TJO
CHECKED BY: RJP
DATE: 10-17-23

SITE UTILITY PLAN

C4.01



NOTICE!
THE CONTRACTOR SHALL BE
RESPONSIBLE FOR THE LOCATION,
PROTECTION, AND RESTORATION
OF ALL BURIED OR ABOVE
GROUND UTILITIES, SHOWN OR
NOT SHOWN ON THE PLANS.



GENERAL NOTES:

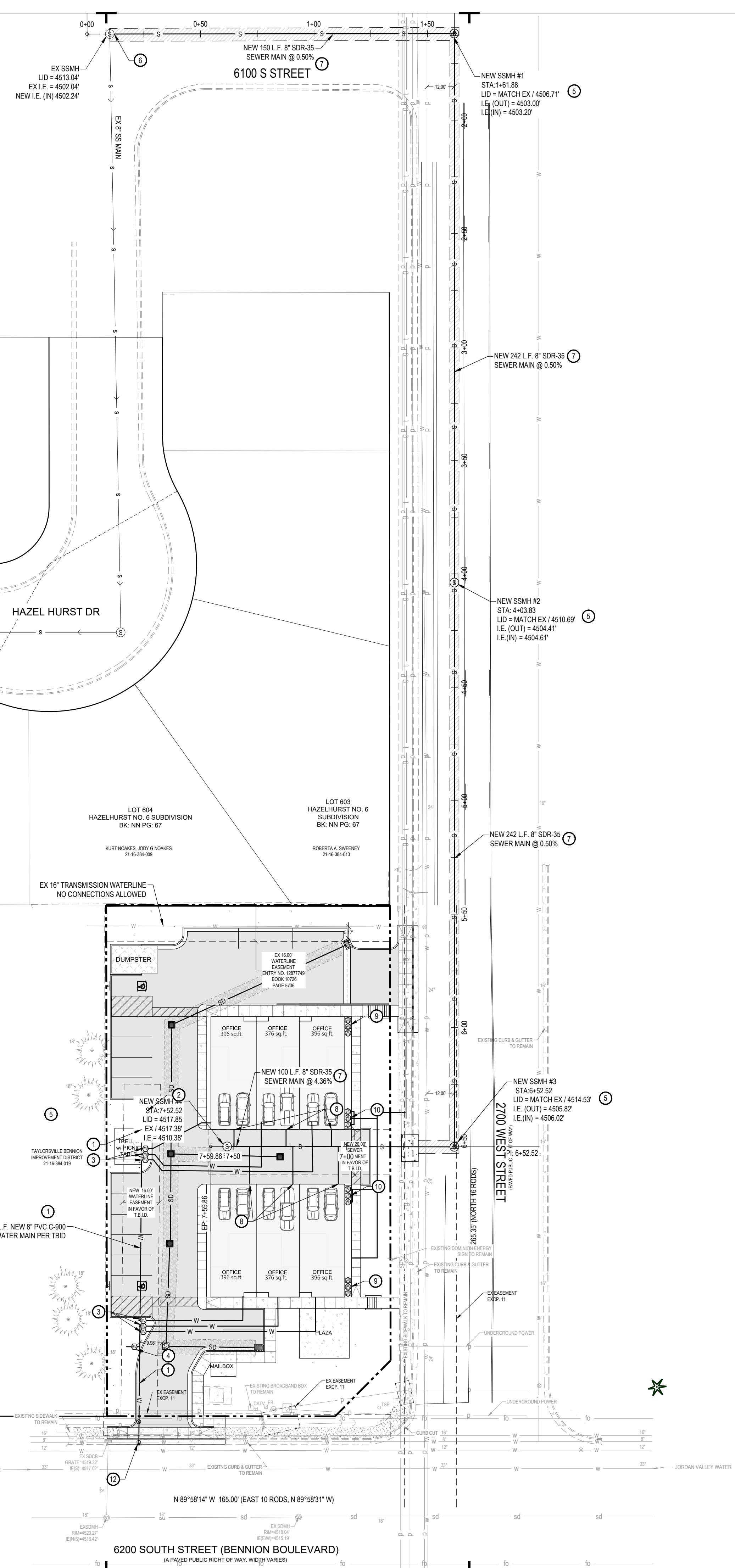
CONTRACTOR IS TO COORDINATE ALL SITE UTILITIES WITH PLUMBING DRAWINGS.
ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.
FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES.
CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW COMMUNICATION / DATA FACILITIES TO BUILDING WITH UTILITY PROVIDER.
CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW NATURAL GAS FACILITIES TO BUILDING WITH DOMINION ENERGY AND MECHANICAL PLANS.
LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

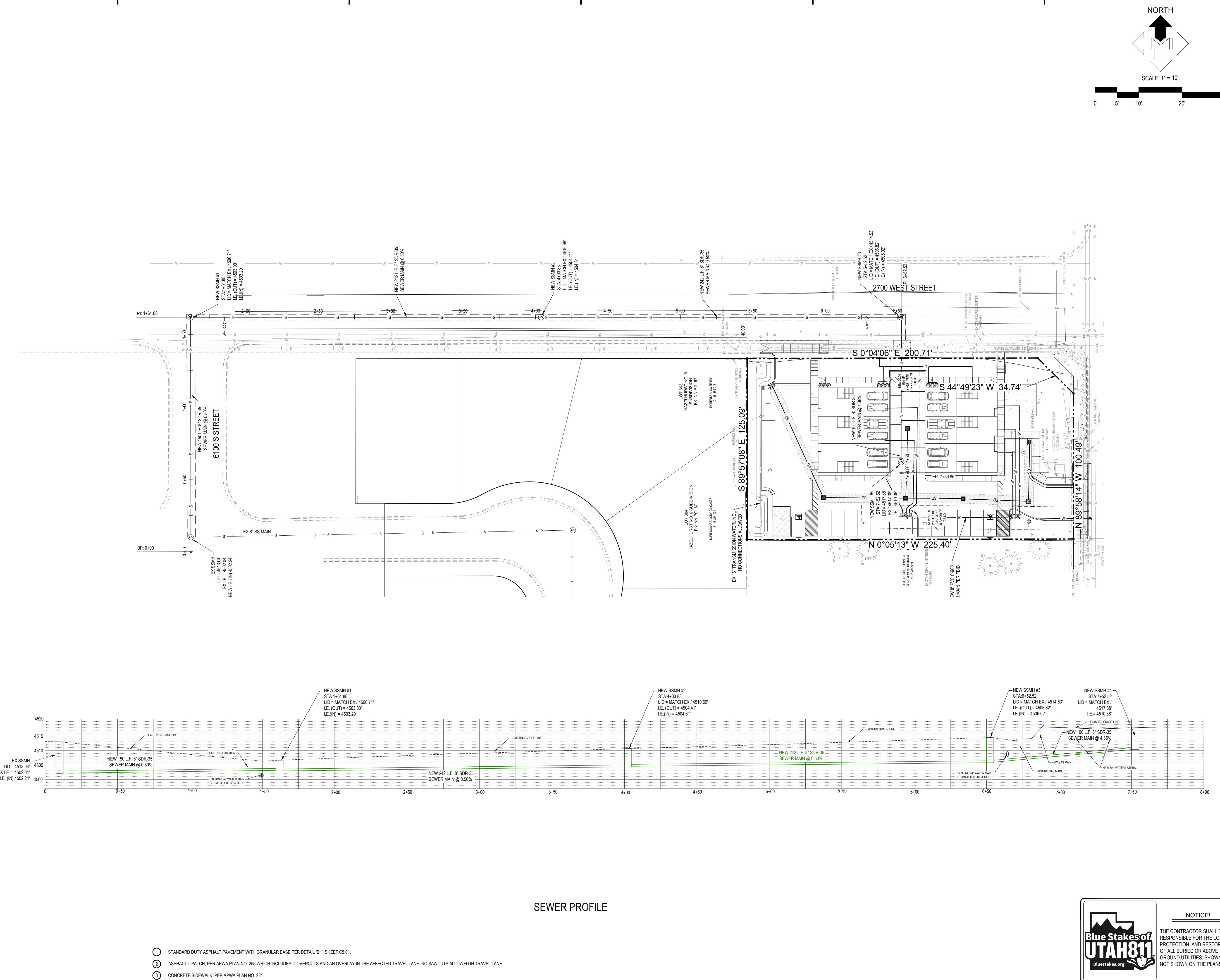
UTILITY PROVIDERS:
WATER: TAYLORSVILLE BENNION IMPROVEMENT DISTRICT
SEWER: TAYLORSVILLE BENNION IMPROVEMENT DISTRICT
NATURAL GAS: DOMINION ENERGY
ELECTRICAL POWER: ROCKY MOUNTAIN POWER
TELEPHONE: CENTURY LINK

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① 8" BLUE PVC C-900 DR-18 WATER LINE, INCLUDING ALL FITTINGS, THRUST BLOCKING & TRENCHING PER TAYLORSVILLE BENNION IMPROVEMENT DISTRICT.
- ② FIRE HYDRANT ASSEMBLY COMPLETE, PER TAYLORSVILLE BENNION IMPROVEMENT DISTRICT PLANS NO. TB-209. SEE TB-201 FOR TRENCHING.
- ③ 3/4" WATER SERVICE METER SET, TO BE PROVIDED BY TAYLORSVILLE BENNION & TO BE INSTALLED TO TAYLORSVILLE BENNION STANDARDS & SPECIFICATIONS.
- ④ 3/4" METER AND PVC IRRIGATION SERVICE STUB. SEE LANDSCAPING PLANS FOR STOP WASTE AND BACK FLOW PREVENTER DETAILS.
- ⑤ 4" DIAMETER SANITARY SEWER MANHOLE, PER TAYLORSVILLE BENNION IMPROVEMENT DISTRICT PLAN NO. TB-105.
- ⑥ CORE-CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER MANHOLE, PER TAYLORSVILLE BENNION IMPROVEMENT STANDARDS AND SPECIFICATIONS.
- ⑦ 8" PVC SDR-35 SANITARY SEWER LINE, INCLUDING ALL FITTINGS. SEE TAYLORSVILLE BENNION IMPROVEMENT DISTRICT PLANS NO. TB-101 & TB-201 FOR TRENCHING.
- ⑧ 4" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING ALL FITTINGS. CLEANOUTS AT 50-FOOT MAXIMUM SPACING PER TAYLORSVILLE BENNION DETAIL TB-102.
- ⑨ APPROXIMATE LOCATION OF NEW ELECTRICAL METERS. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY ROCKY MOUNTAIN POWER WITH OTHER CONSTRUCTION.
- ⑩ APPROXIMATE LOCATION OF NEW NATURAL GAS METERS. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY DOMINION ENERGY WITH OTHER CONSTRUCTION.
- ⑪ 8" BLUE PVC C-900 DR-18 WATER LINE, INCLUDING ALL FITTINGS, THRUST BLOCKING & TRENCHING PER TAYLORSVILLE BENNION IMPROVEMENT DISTRICT.
- ⑫ INSTALL 8" HOT-TAP TO EXISTING WATER MAIN INCLUDING VALVES, THRUST BLOCKING AND TRENCHING PER TAYLORSVILLE BENNION IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.



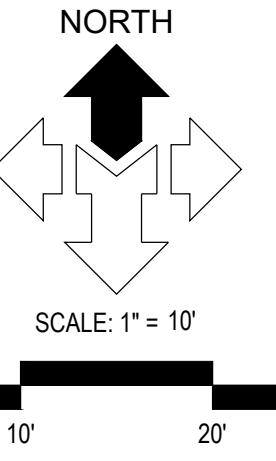
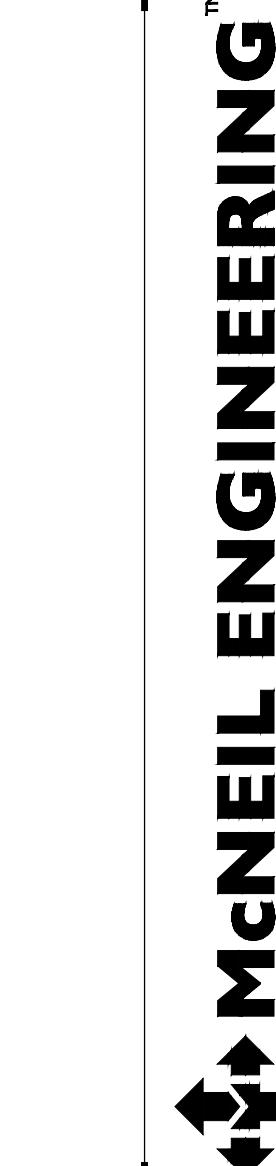


TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

6200 S, 2700 W, TAYLORSVILLE, UTAH
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.

PROFESSIONAL ENGINEER
ROBERT J. POIRIER
STATE OF UTAH
No. 35453-2202
10-17-23

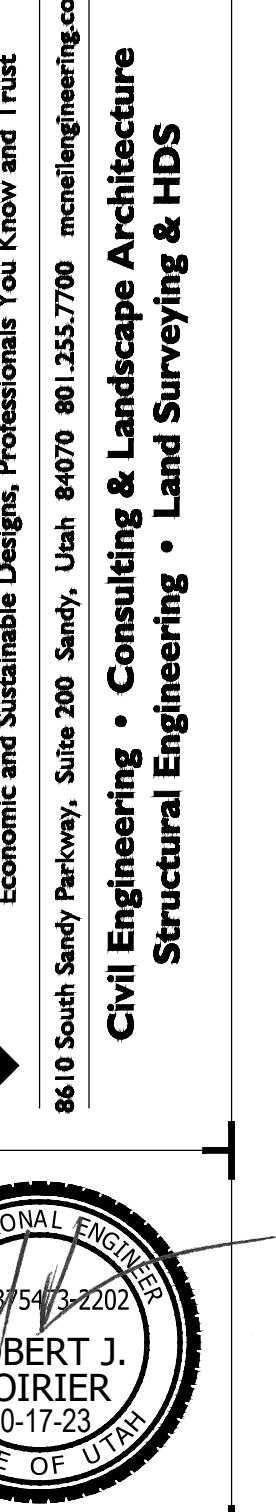
Economic and Sustainable Designs, Professionals You Know and Trust
840 S South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcnileengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS



NORTH

SCALE: 1" = 10'

0 5 10' 20' 30'



| REVISIONS | DESCRIPTION |
|-----------|-------------|
| REV | DATE |

PROJECT NO.: 21597
DRAWN BY: RJP/TJO
CHECKED BY: RJP
DATE: 10-17-23

CIVIL DETAILS

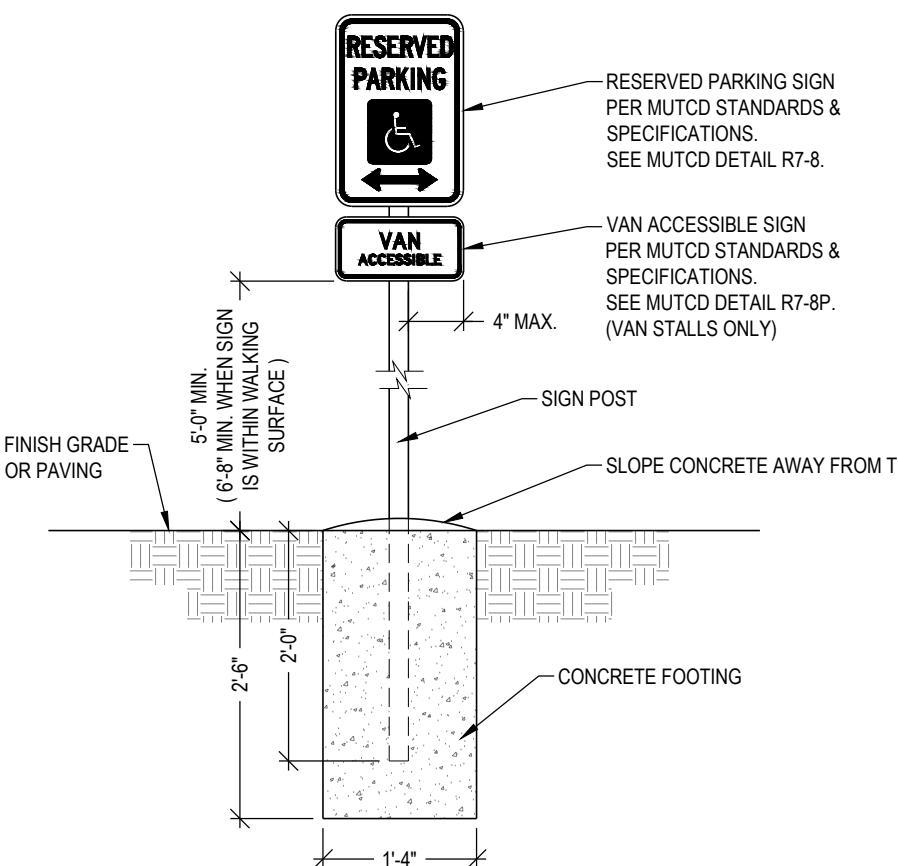
C5.04



5'-0" MIN.
5'-6" MAX.
4'-0" SQUARE

PAINTED EMBLEM
ON ASPHALT PAVING
TYP. AT ALL ADA
PARKING STALLS PER CITY
REQUIREMENTS. (2 COATS)

NOTE: SEE SPECIFICATIONS FOR PAINT
TYPE AND COLOR. (2 COATS)



RESERVED
PARKING
VAN
ACCESSIBLE

FINISH GRADE
OR PAVING
6'-8" MIN. WHEN SIGN
IS WITHIN 2'-0" OF
SURFACE

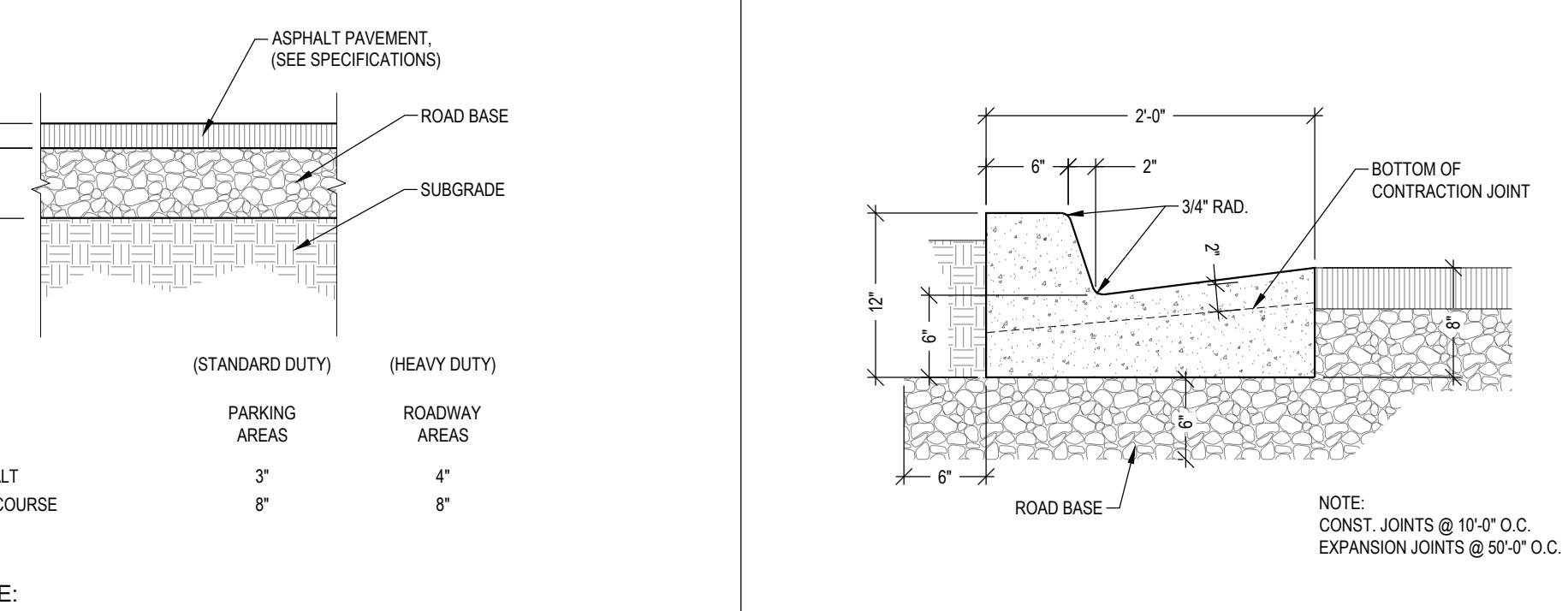
4'-0" MAX.

SLOPE CONCRETE AWAY FROM TUBE

CONCRETE FOOTING

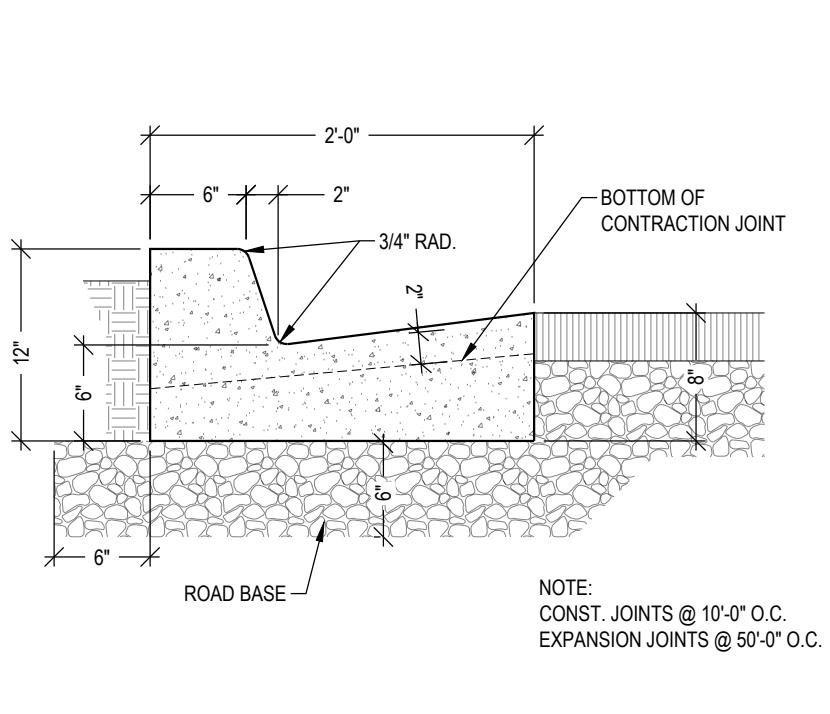
1'-4" MAX.

NOTE: SEE SPECIFICATIONS FOR PAINT
TYPE AND COLOR. (2 COATS)



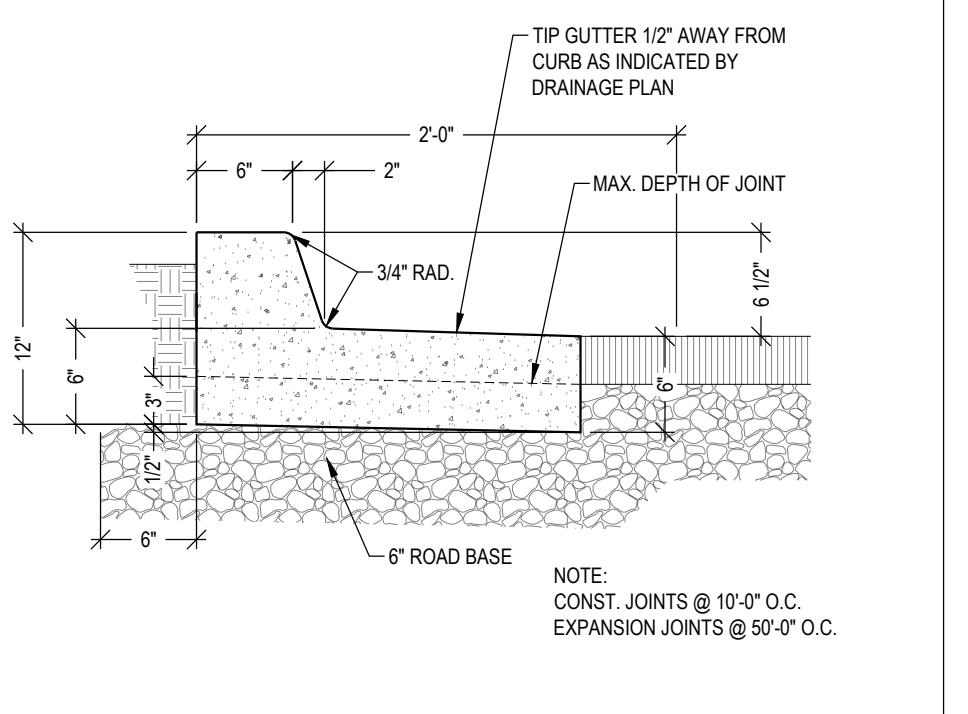
ASPHALTIC PAVEMENT SECTION

SCALE: N.T.S.



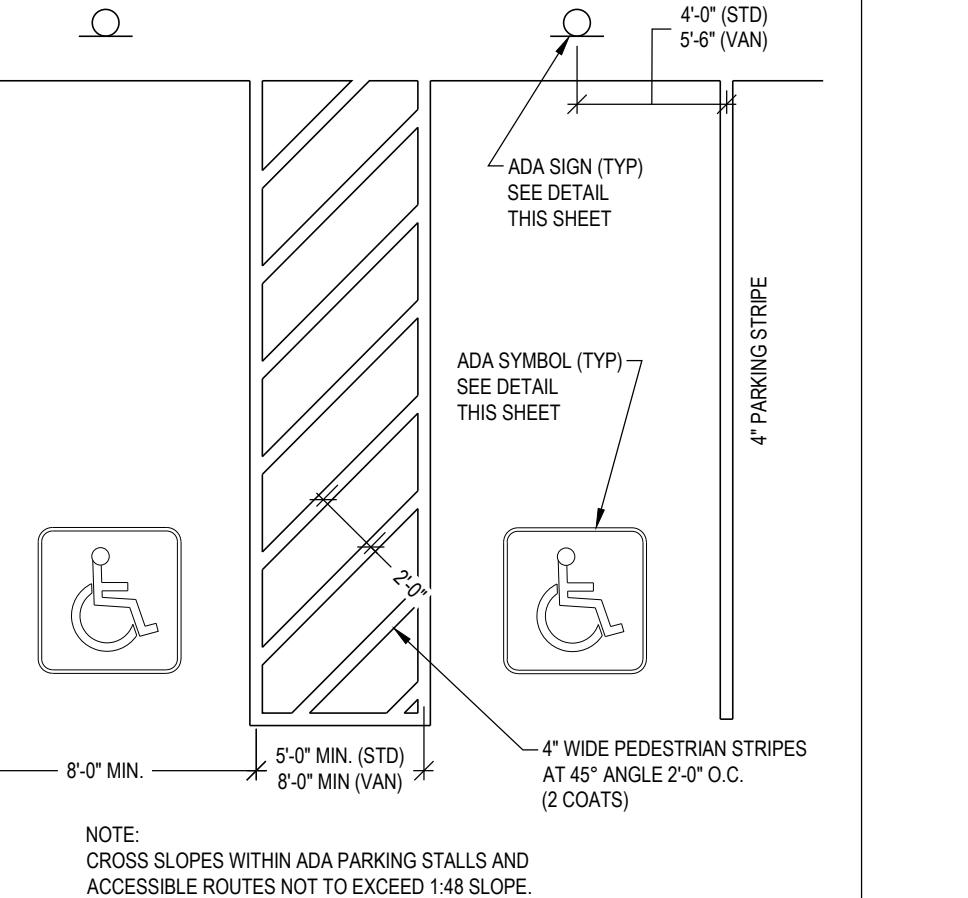
24" CURB & GUTTER

SCALE: N.T.S.



24" RELEASE CURB & GUTTER

SCALE: N.T.S.



ADA PARKING DETAIL

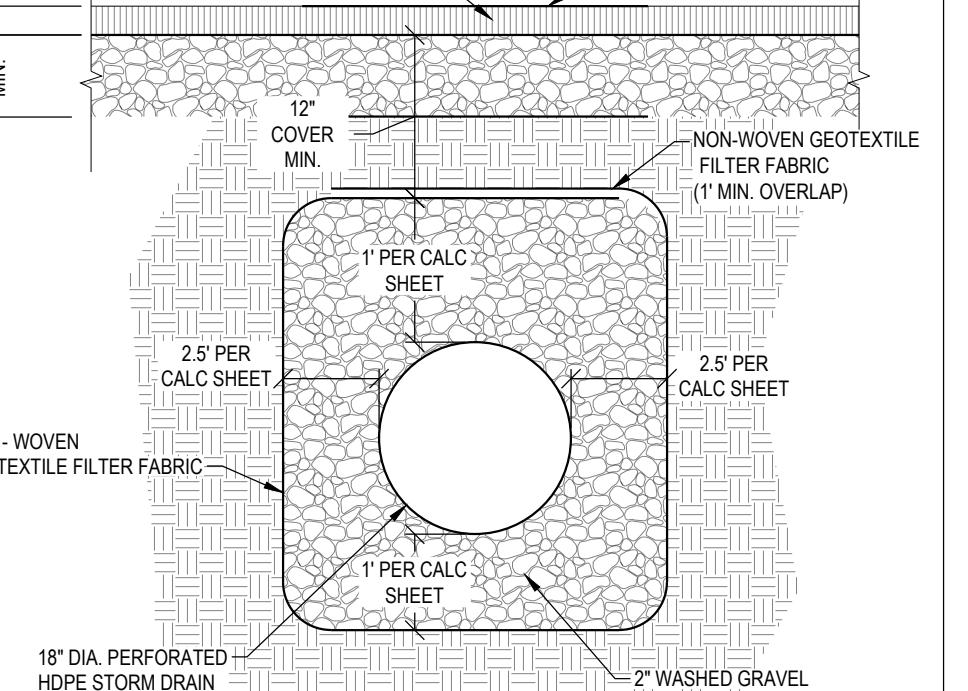
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PAINTED ADA SYMBOL

SCALE: N.T.S.

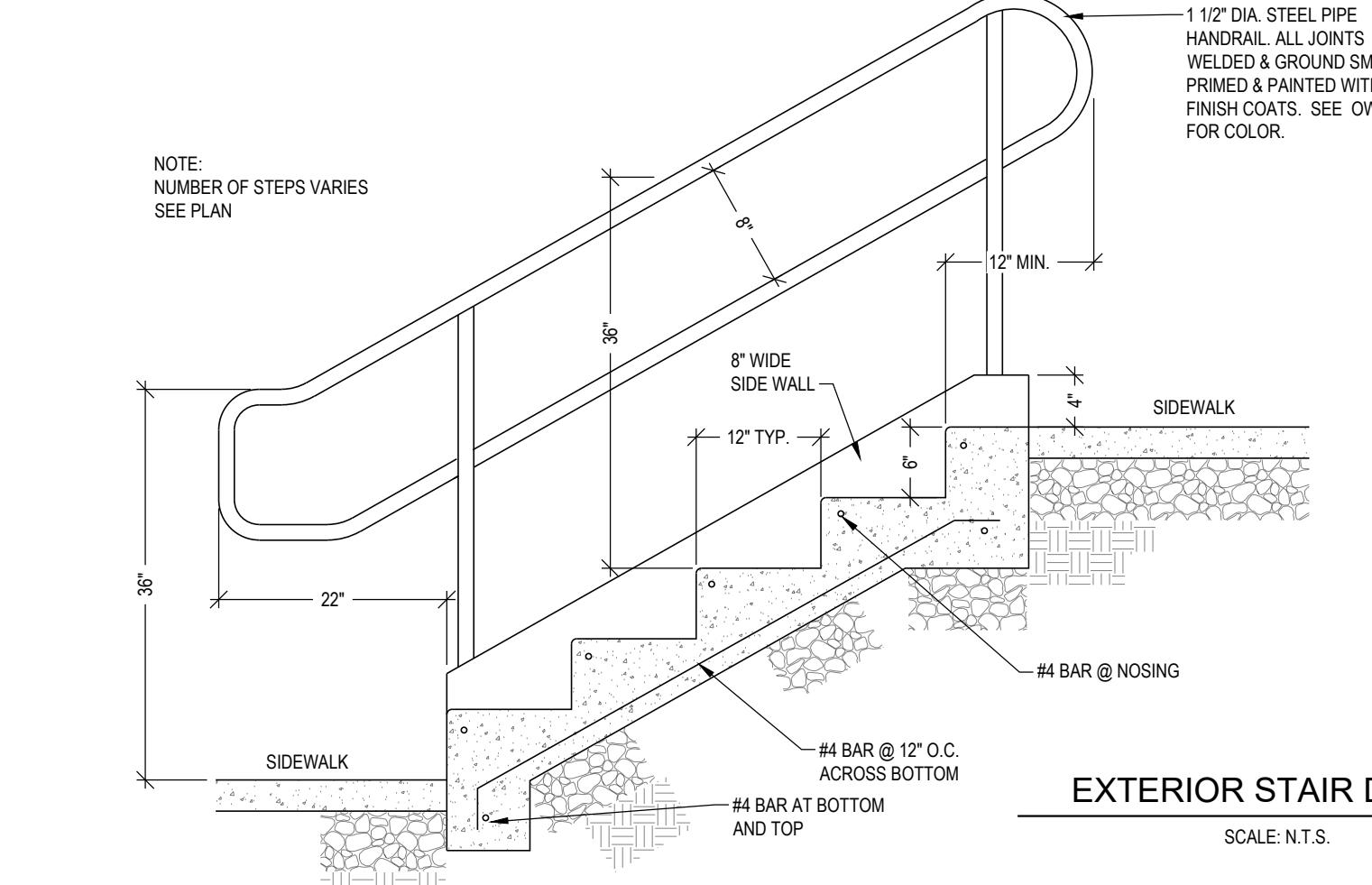
ADA PARKING SIGN

SCALE: N.T.S.



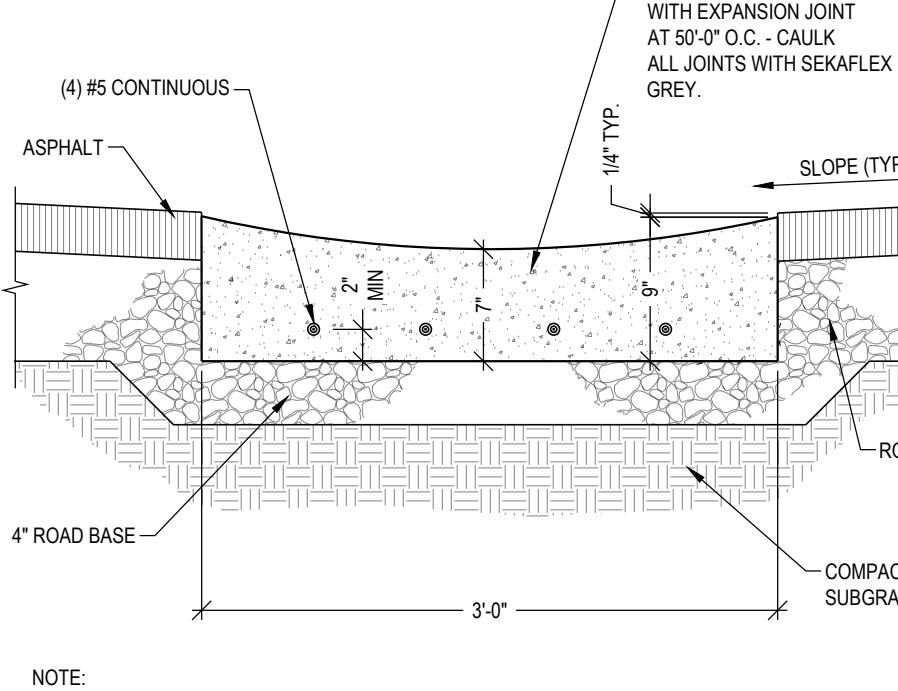
PERFORATED PIPE RETENTION SYSTEM

SCALE: N.T.S.



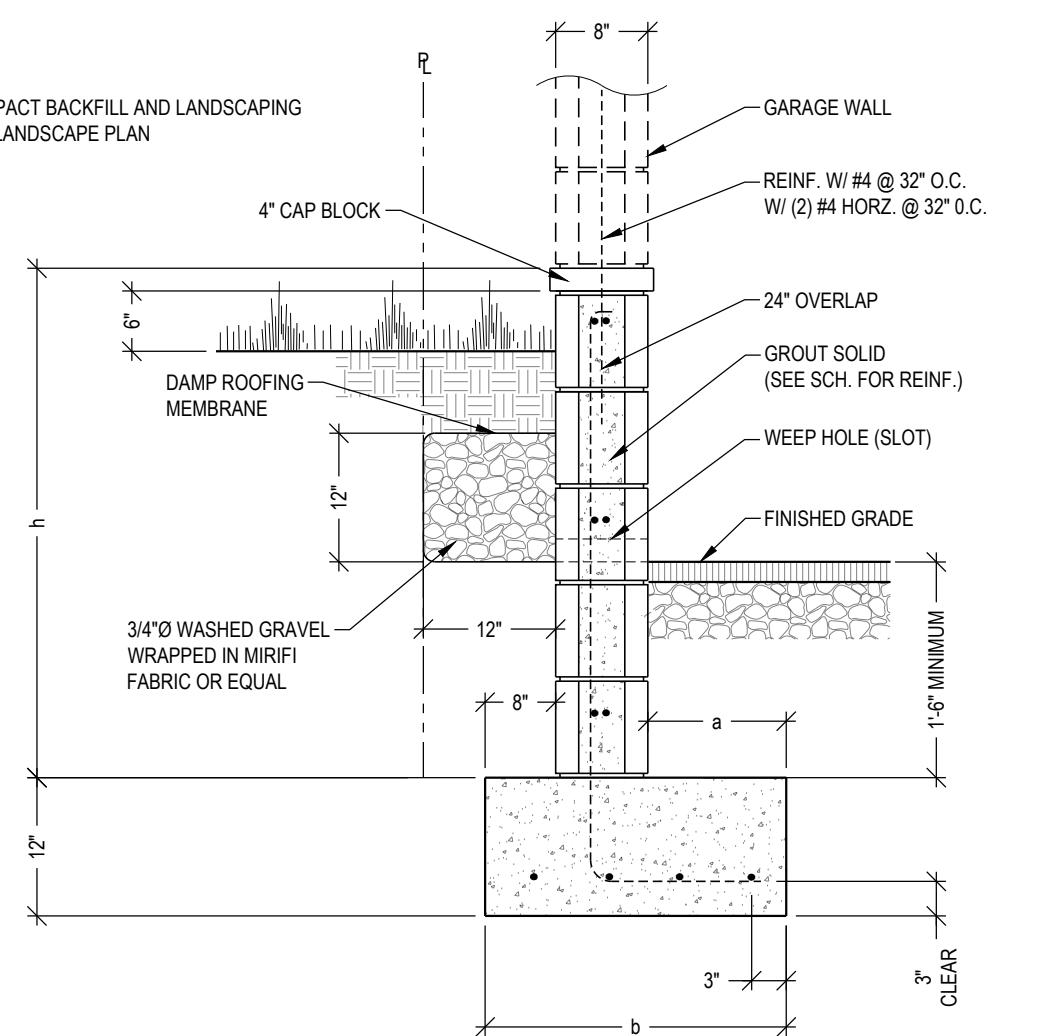
EXTERIOR STAIR DETAIL

SCALE: N.T.S.



36" CONCRETE WATERWAY

SCALE: N.T.S.

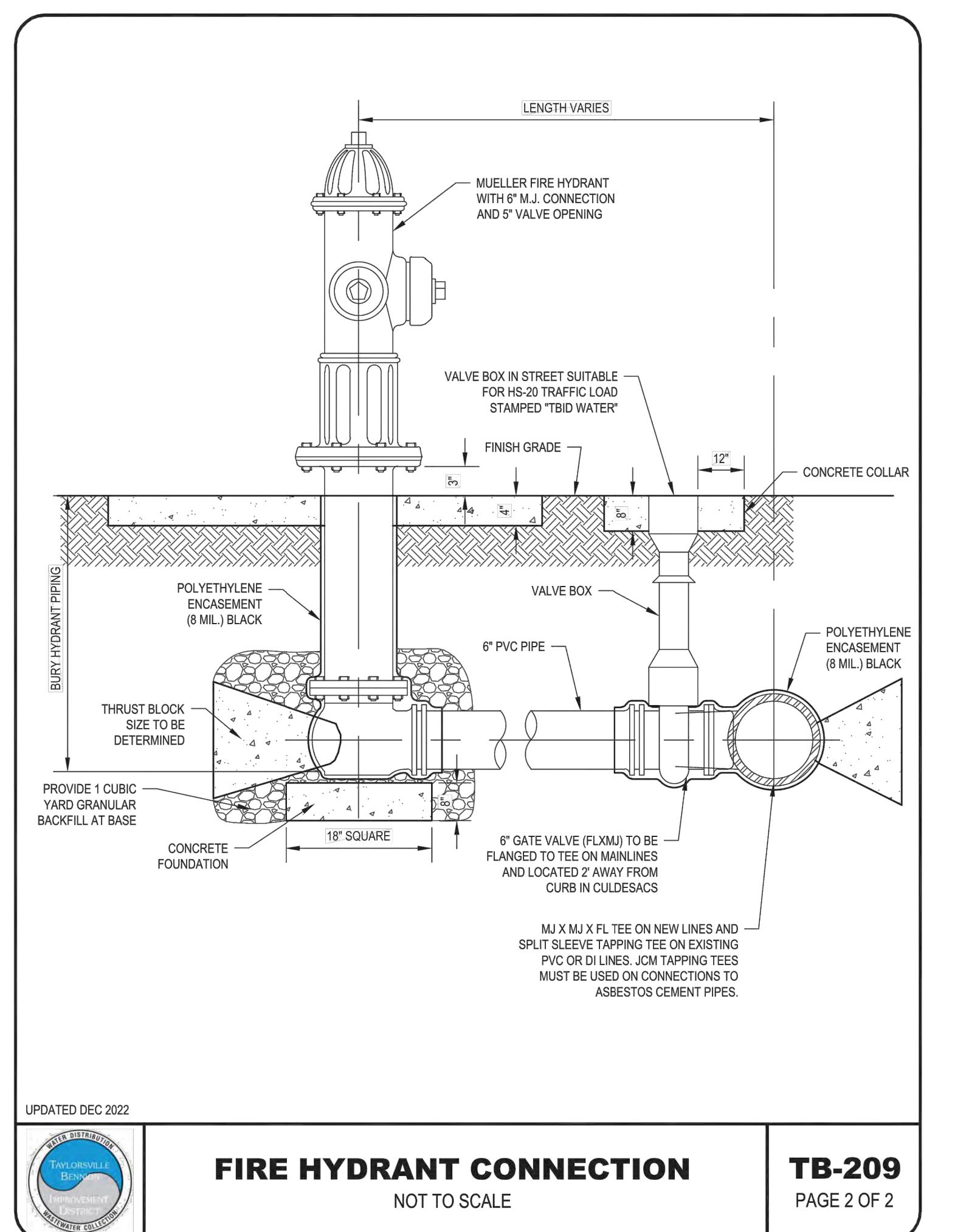


| FOOTING AND FOUNDATION SCHEDULE | | | | | |
|---------------------------------|-------|------------------|--------------|-------------------|-----------|
| WALL DIMENSIONS | | REINFORCING BARS | | | |
| h | a | b | BACK FACE | HORIZONTAL | LONGITUDE |
| 3'-0" | 8" | 2'-0" | #4 @ 8" O.C. | (2) #4 @ 24" O.C. | (2) #4 |
| 4'-0" | 1'-2" | 2'-6" | #4 @ 8" O.C. | (2) #4 @ 24" O.C. | (2) #4 |
| 5'-0" | 1'-8" | 3'-0" | #4 @ 8" O.C. | (2) #4 @ 24" O.C. | (3) #4 |
| 6'-0" | 2'-8" | 4'-0" | #4 @ 8" O.C. | (2) #4 @ 24" O.C. | (4) #4 |
| 6'-6" | 3'-2" | 4'-6" | #4 @ 8" O.C. | (2) #4 @ 24" O.C. | (5) #4 |

NOTES:
1. PROVIDE 1/2" x 3" WEEP HOLES (SLOTS) INVERT
JOINTS @ 12" O.C. AND CONTROL JOINTS @ 12" O.C.
2. PROVIDE EXPANSION JOINTS @ 48" O.C. FULL
BREAK. SLEEVE HORIZONTAL STEEL

BLOCK RETAINING WALL SECTION

SCALE: N.T.S.



UPDATED DEC 2022

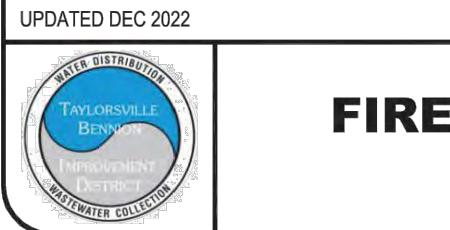
FIRE HYDRANT CONNECTION

NOT TO SCALE

TB-209
PAGE 2 OF 2

FIRE HYDRANT CONNECTION NOTES:

1. CONCRETE SHALL BE INSTALLED AS FOLLOWS: IN PARKSTRIP A SQUARE WITH SIDE DIMENSIONS EQUAL THE WIDTH OF THE PARKSTRIP. OUTSIDE PARKSTRIP - 5' SQUARE.
2. LEVEL & ADJUST LID & FRAME TO FINISH SURFACE (1/4" MAX BELOW SURFACE).
3. FM GREASE REQUIRED ON BOLTS. WRAP FITTINGS WITH 8 MIL POLYETHYLENE WRAP AND TAPE.
4. BOLLARDS ARE REQUIRED AROUND HYDRANTS WHERE NEEDED FOR PROTECTION AS DETERMINED BY TBID.

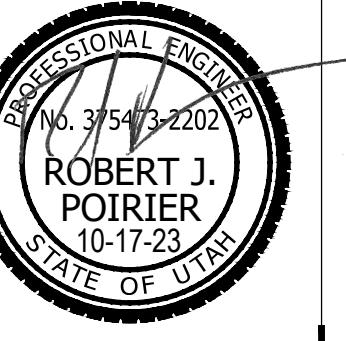


UPDATED DEC 2022

FIRE HYDRANT CONNECTION

NOTES

TB-209
PAGE 1 OF 2



6200 S. 2700 W., TAYLORSVILLE, UTAH
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.

| REVISIONS | DESCRIPTION |
|-----------|-------------|
| REV DATE | |

PROJECT NO.: 21597
DRAWN BY: RJP/TJO
CHECKED BY: RJP
DATE: 10-17-23

CIVIL DETAILS
C5.02

TYPICAL SEWER TRENCH NOTES:

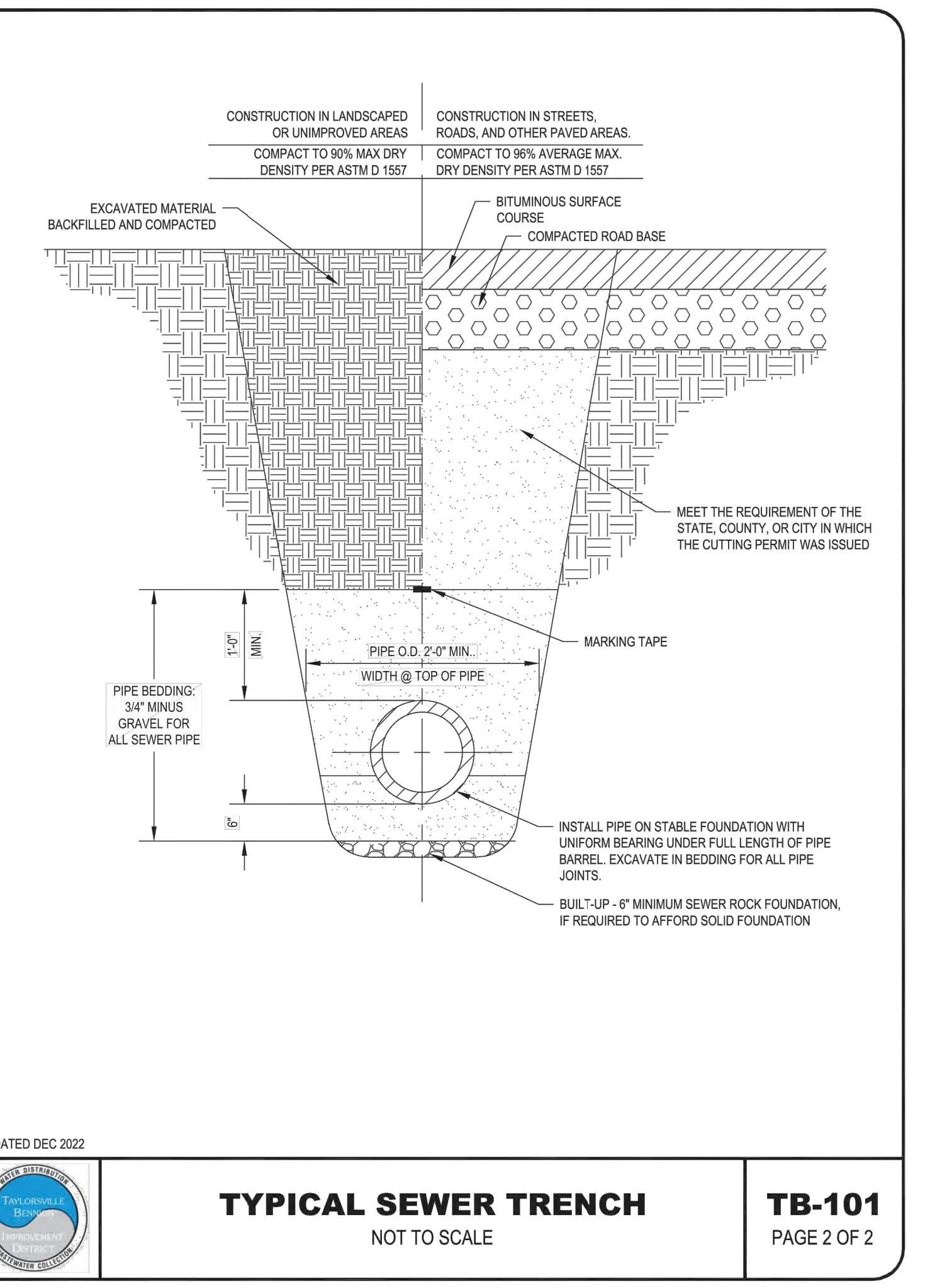
1. BLUE STAKES SHALL BE CONTACTED 48 HOURS BEFORE ANY EXCAVATION IS COMMENCED.
2. BACKFILL, ROAD BASE, AND PAVEMENT CONSTRUCTION SHALL CONFORM TO REQUIREMENTS, STANDARDS, AND REGULATIONS OF THE ROADWAY JURISDICTION.
3. TBID RECOMMENDS THE CONTRACTOR MEET ALL TRENCH SAFETY REQUIREMENTS ESTABLISHED BY OSHA & USHA.
4. THE DISTRICT INSPECTOR MAY REQUIRE UNSUITABLE MATERIALS BENEATH THE PIPE ZONE TO BE OVER-EXCAVATED, BACKFILLED, AND COMPAKTED TO 95% MAX DENSITY.
5. EXCAVATE AT PIPE BELLS TO ENSURE PIPE IS SUPPORTED PROPERLY ALONG ITS ENTIRE LENGTH.
6. PERMITS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
7. SEWER LINES SHALL BE PVC SDR35 PIPE. MINIMUM SEWER MAIN SIZE SHALL BE 8".
8. PIPE LAYING OPERATIONS SHALL PROCEED IN AN UPHILL DIRECTION WITH ALL BELLS FACING UPHILL.
9. PIPE PLUGS SHALL BE INSTALLED DURING CONSTRUCTION AT THE END OF EACH LENGTH OF PIPE TO PREVENT DEBRIS FROM ENTERING PIPE.

UPDATED DEC 2022



TYPICAL SEWER TRENCH
NOTES

TB-101
PAGE 1 OF 2



UPDATED DEC 2022



TYPICAL SEWER TRENCH
NOT TO SCALE

TB-101
PAGE 2 OF 2

TYPICAL SEWER LATERAL NOTES:

1. INSTALL PER TYPICAL SEWER TRENCH TB-101.
2. ALL FITTINGS AND PIPE SHALL BE PVC SDR 35.
3. MINIMUM 2' REQUIRED BETWEEN ALL BENDS ON SEWER LATERAL. 90 DEGREE BENDS ARE NOT PERMITTED.
4. PIPE LAYING OPERATIONS SHALL PROCEED IN AN UPHILL DIRECTION WITH ALL BELLS FACING UPHILL.
5. PROVIDE APPROVED "SHIELDED FERNCO" FITTINGS FOR CONNECTIONS TO EXISTING SERVICES WHERE REQUIRED.
6. COMPACT TO 96% MAX DENSITY UNDER PAVEMENTS AND IMPROVED AREAS. COMPACT TO 90% MAX DENSITY IN UNIMPROVED AREAS.
7. MINIMUM GRADE FOR 4" SEWER LATERAL IS 2%.
8. MINIMUM GRADE FOR 6" SEWER LATERAL IS 1%.
9. DISTRICT TO INSPECT ALL LATERALS.
10. ALL SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED.
11. SEE TB-103 FOR NOSE-ON DETAIL TO EXISTING SEWER.

UPDATED DEC 2022



TYPICAL SEWER LATERAL
NOTES

TB-102
PAGE 1 OF 2

TYPICAL MANHOLE SECTION NOTES:

1. CONCENTRIC OR ECCENTRIC MANHOLE CONES ARE ACCEPTABLE.
2. NO STEPS IN CONE OR ON MANHOLE WALL IN CONCENTRIC MANHOLES. STEPS SHALL BE ALIGNED OVER THE SHELF OF ECCENTRIC MANHOLES.
3. MANHOLES SHALL BE OF WATERTIGHT CONSTRUCTION, UTILIZING EITHER BITUMASTIC SEALANT OR RUBBER GASKET BETWEEN ADJACENT MANHOLE SECTIONS.
4. MANHOLE SHALL BE 5'-0" Ø IF SEWER MAIN IS GREATER THAN 10" Ø, OR IF THREE OR MORE SEWER MAIN PIPES CONNECT TO MANHOLE, OR IF OTHERWISE SPECIFIED ON DRAWINGS.
5. ALL MANHOLES WILL BE VACUUM TESTED. SEE SECTION 33 31 00 OF TBID STANDARD SPECIFICATIONS FOR MANHOLE TESTING REQUIREMENTS.
6. LEVEL & ADJUST LID & FRAME TO FINISH GRADE (1/4" MAX BELOW SURFACE).
7. CONCRETE COLLARS REQUIRED IN PAVED AREAS.
8. MANHOLE REQUIRED ON ALL SEWER MAIN STUB ENDS.
9. THERE IS TO BE A 0.2' DROP THROUGH EVERY MANHOLE.
10. INSTALL SUITABLE BARRIERS OR COVERS DURING CONSTRUCTION TO PREVENT DEBRIS FROM ENTERING SEWER MAIN PIPING VIA MANHOLES.
11. COMPACT TO 96% MAX DENSITY UNDER PAVEMENTS AND IMPROVED AREAS. COMPACT TO 90% MAX DENSITY IN UNIMPROVED AREAS.
12. SEE TB-104 FOR ADDITIONAL INFORMATION.

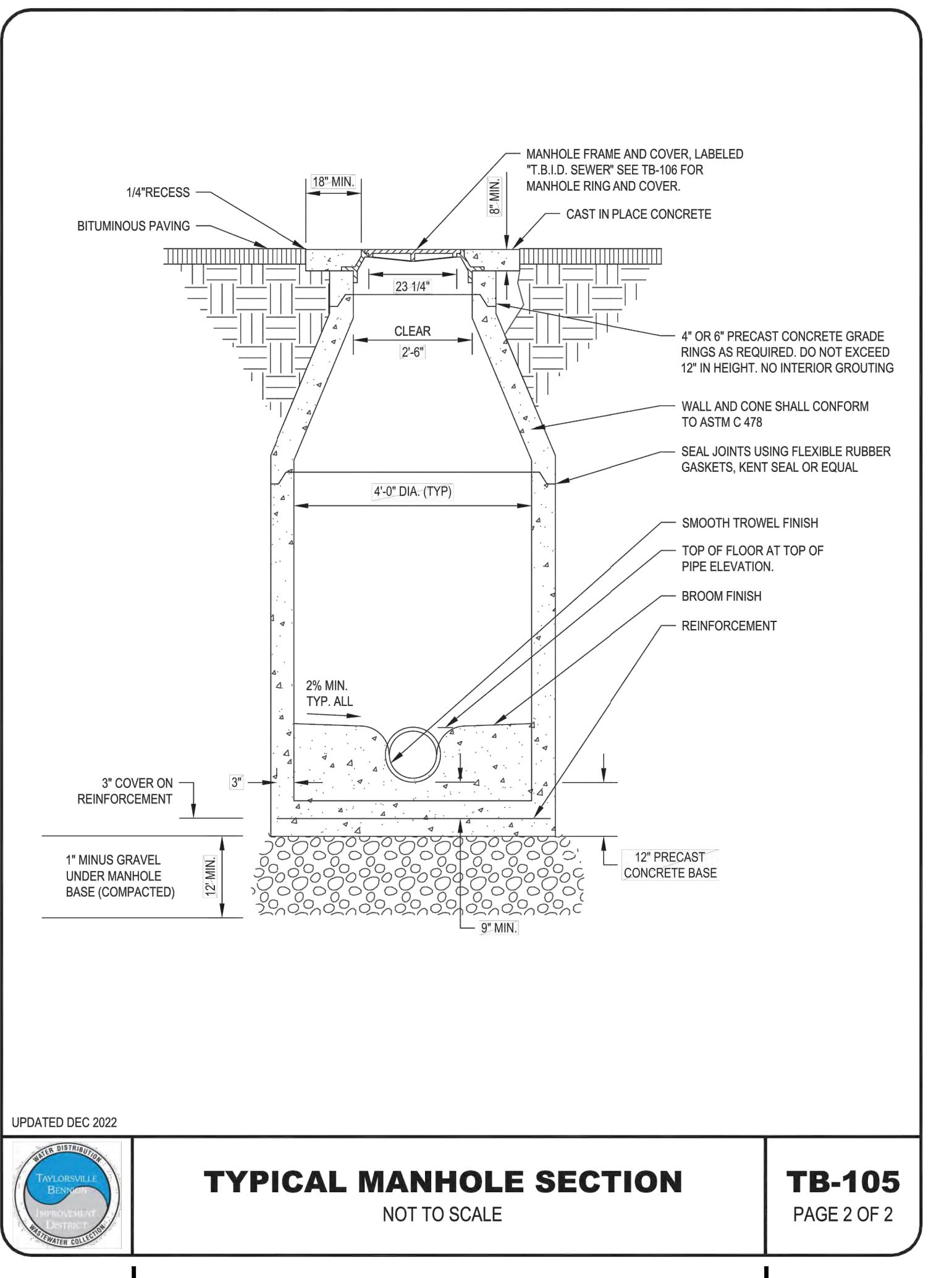
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UPDATED DEC 2022



TYPICAL MANHOLE SECTION
NOTES

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PAGE 1 OF 2



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TYPICAL MANHOLE SECTION
NOT TO SCALE

TB-105
PAGE 2 OF 2

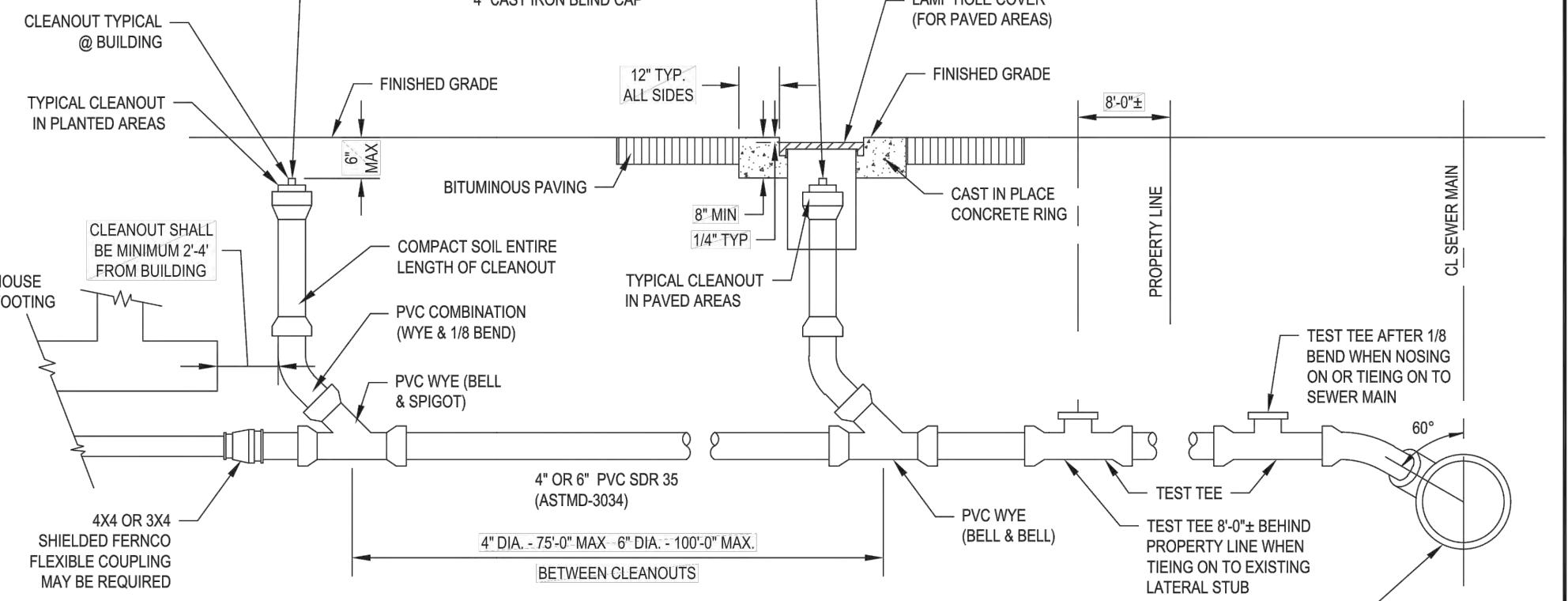
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NOT TO SCALE

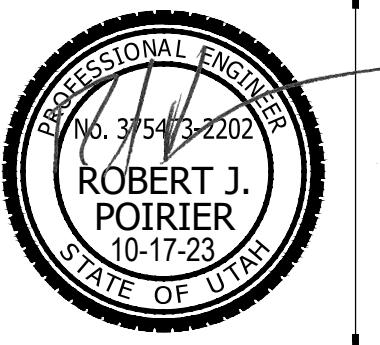
TB-102
PAGE 2 OF 2

UPDATED DEC 2022



CL. SEWER MAIN





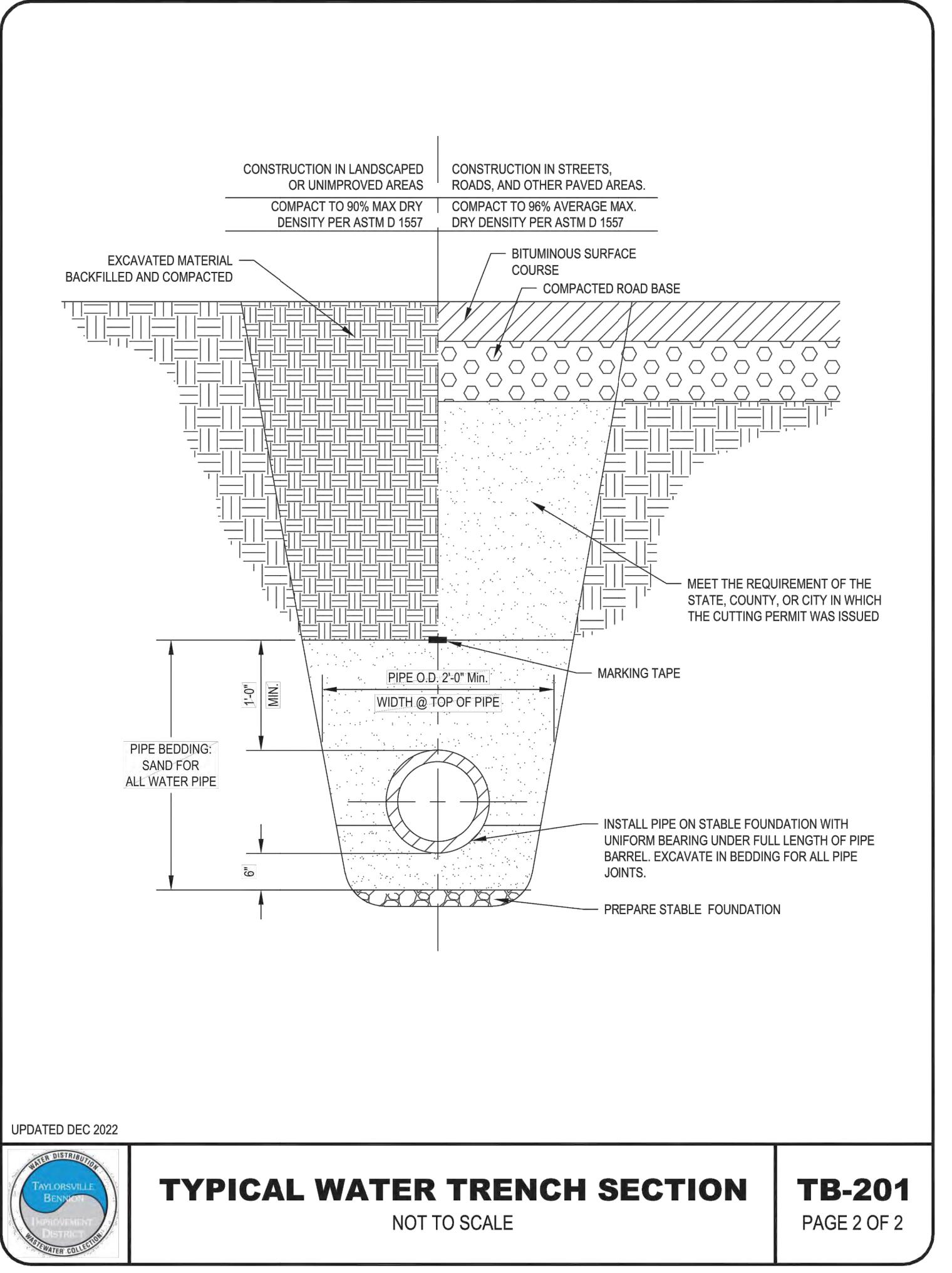
TAYLORSVILLE 6 LIVE/WORK TOWNHOMES
6200 S. 2700 W., TAYLORSVILLE, UTAH
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, S.L.B. & M.

TYPICAL WATER TRENCH:

- BLUE STAKES SHALL BE CONTACTED 48 HOURS BEFORE ANY EXCAVATION IS COMMENCED.
- BACKFILL, ROAD BASE, AND PAVEMENT CONSTRUCTION SHALL CONFORM TO REQUIREMENTS, STANDARDS, AND REGULATIONS OF THE ROADWAY JURISDICTION.
- TBID RECOMMENDS THE CONTRACTOR MEET ALL TRENCH SAFETY REQUIREMENTS ESTABLISHED BY OSHA & UOSHA.
- THE DISTRICT INSPECTOR MAY REQUIRED UNSUITABLE MATERIALS BENEATH THE PIPE ZONE TO BE OVER-EXCAVATED, BACKFILLED, AND COMPAKTED TO 95% MAX DENSITY.
- EXCAVATE AT PIPE BELLS TO ENSURE PIPE IS SUPPORTED PROPERLY ALONG ITS ENTIRE LENGTH
- PERMITS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.

UPDATED DEC 2022

| | | |
|--|-------------------------------------|---------------|
| | TYPICAL WATER TRENCH SECTION | TB-201 |
| | NOTES | PAGE 1 OF 2 |



1-1/2" WATER LATERAL CONNECTION NOTES:

- TBID WILL PERFORM ALL SERVICE CONNECTION TAPS. CONTACT DISTRICT INSPECTOR TO SCHEDULE TAPS.
- TBID WILL FURNISH & INSTALL 3/4" - 2" WATER METERS AS PART OF THE CONNECTION FEES.
- DEVELOPER IS RESPONSIBLE FOR COMPAKCTION IN THE WATER LATERAL TRENCH.
- METER BOX SHALL BE INSTALLED IN THE PARK STRIP WHERE POSSIBLE. SET METER BOX SUCH THAT THE TOP OF THE LID IS EQUAL TO THE SIDEWALK ELEVATION. CONCRETE COLLARS REQUIRED IF METER IS PLACED IN ASPHALT PAVEMENT.
- WATER SERVICE IS PRIVATE BEHIND THE METER.
- METERS IN DRIVEWAYS/ASPHALT MAY REQUIRE SPECIAL TRAFFIC RATED DESIGN

EXAMPLE PARTS LIST:

1-1/2" CONNECTIONS

- 1" CORP - (2) 1" CC X CTS COMP BALL CORP (FERGUSON, PART# MB25008NG)
- 1 1/2" SETTER- 18" SETTER WITH BALL VALVE AND CHECK VALVE, NO BYPASS (HYDRO SPECIALTIES, PART# 720-618WDFF660)
- SPLITTER ADAPTER (FERGUSON, PART# FY48246GNL)
- LID - FIBRELYTE FL36 COVER (A) FOR COMPOUND METER, (C) FOR T10 (FERGUSON, PART# C02001525)
- BOX - FIBRELYTE FL36 BOX 18" (FERGUSON, PART# C02006095)
- BOX EXTENSION - (2) FIBRELYTE FL36 EXTENSION 8" (FERGUSON, PART# C02001165)

UPDATED DEC 2022

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|--|--|---------------|
| | 1-1/2" WATER LATERAL CONNECTION | TB-204 |
| | NOTES | PAGE 1 OF 2 |

THRUST BLOCKING DETAIL NOTES:

- 8 MIL-BLACK POLYETHYLENE ENCASEMENT SHALL BE PROVIDED FOR ALL FITTINGS, VALVES, FIRE HYDRANTS, AND COUPLINGS IN ACCORDANCE WITH AWWA C105.
- FM GREASE REQUIRED ON ALL BOLTS.
- SIZE BLOCKS BASED UPON 200 PSI LINE PRESSURE AND SPECIFIC SOIL BEARING VALUE OF CONSTRUCTION SITE.
- ALL THRUST BLOCK BEARING FACES SHALL BE POURED AGAINST UNDISTURBED SOIL OR AN APPROVED, COMPAKTED BACKFILL.
- THRUST BLOCK SIZES SHOWN IN THE TABLE BELOW ARE FOR HORIZONTAL BENDS BASED ON 200PSI OPERATING PRESSURE AND 1500 LBS/SQ FT SOIL BEARING PRESSURE. THRUST BLOCK SIZES MAY NEED TO BE ADJUSTED TO CONFORM WITH PROJECT SPECIFIC CONDITIONS. THRUST BLOCKS FOR VERTICAL BENDS TO BE DESIGNED BY ENGINEER.

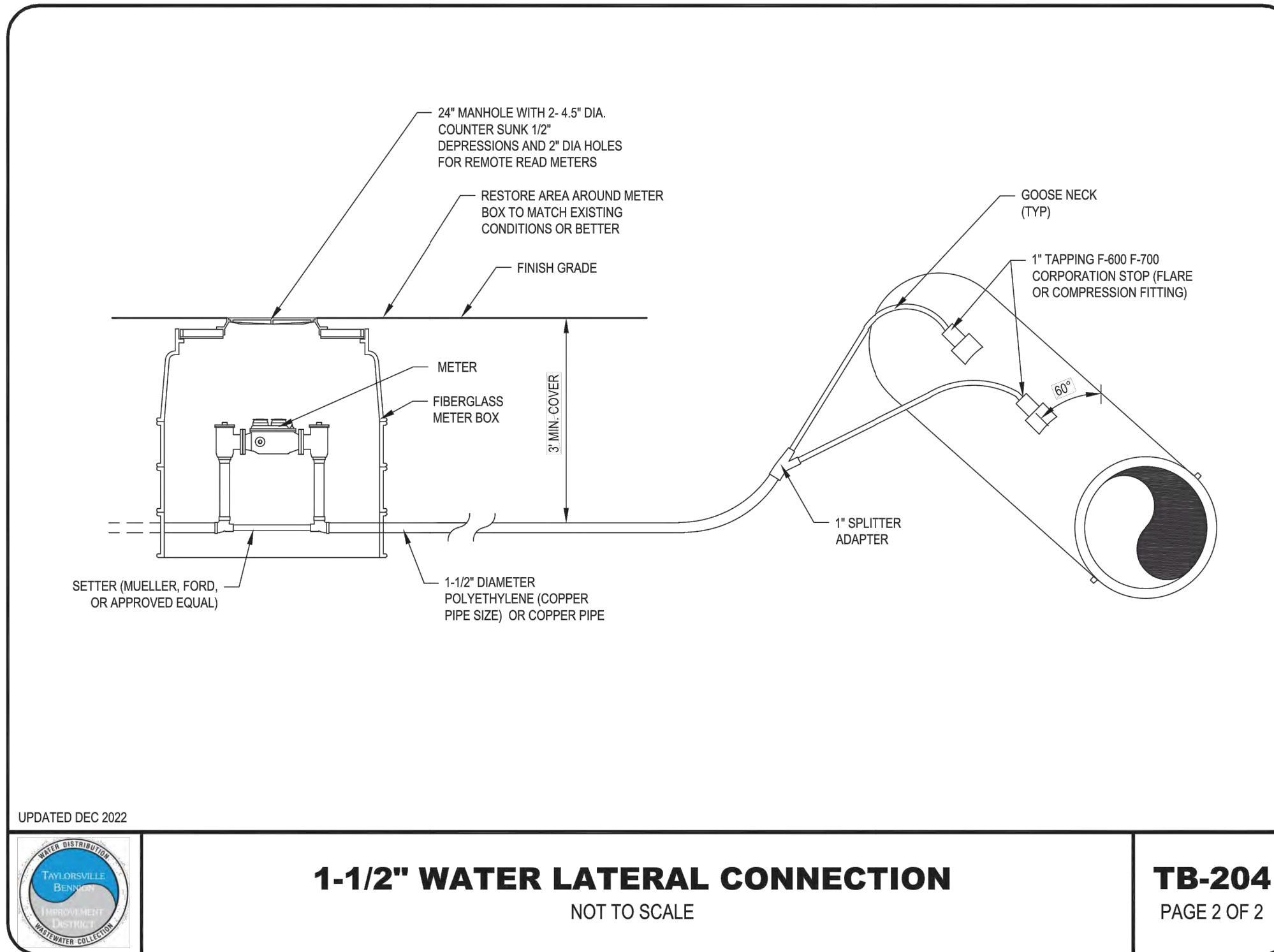
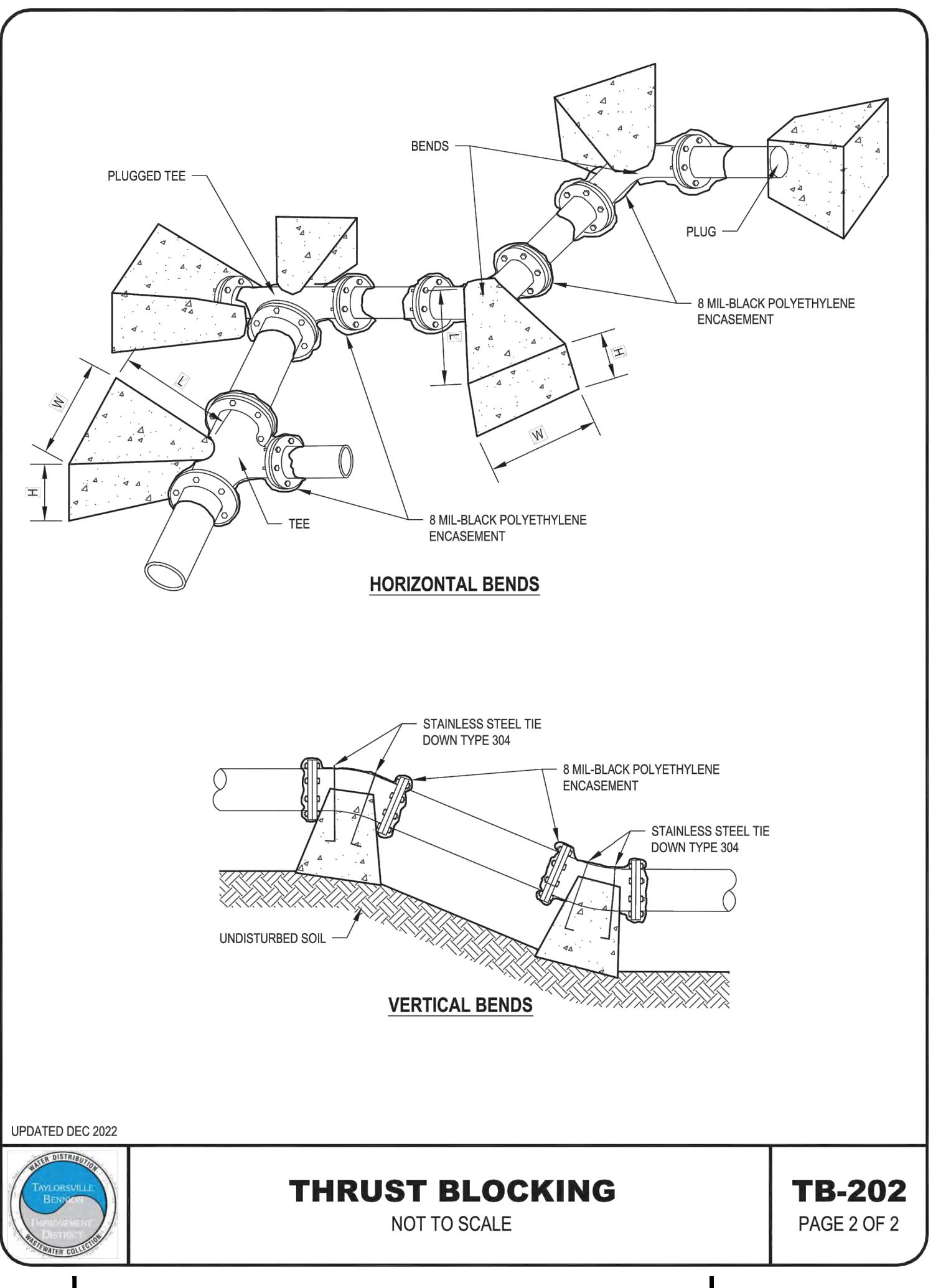
| | 11.25° BEND | 22.5° BEND | 45° BEND | 90° BEND | TEE | DEAD END |
|---------|----------------|----------------|----------------|----------------|----------------|----------------|
| | L W H | L W H | L W H | L W H | L W H | L W H |
| 6-INCH | 0.8' 1.0' 1.0' | 1.2' 1.3' 1.3' | 1.6' 1.9' 1.9' | 2.2' 2.5' 2.5' | 1.8' 2.1' 2.1' | 1.8' 2.1' 2.1' |
| 8-INCH | 1.1' 1.3' 1.3' | 1.5' 1.8' 1.8' | 2.1' 2.5' 2.5' | 2.9' 3.3' 3.3' | 2.4' 2.8' 2.8' | 2.4' 2.8' 2.8' |
| 10-INCH | 1.4' 1.6' 1.6' | 1.9' 2.2' 2.2' | 2.6' 3.0' 3.0' | 3.6' 4.1' 4.1' | 3.0' 3.5' 3.5' | 3.0' 3.5' 3.5' |
| 12-INCH | 1.6' 1.9' 1.9' | 2.3' 2.6' 2.6' | 3.1' 3.6' 3.6' | 4.3' 4.9' 4.9' | 3.6' 4.1' 4.1' | 3.6' 4.1' 4.1' |

11.25° BEND
22.5° BEND
45° BEND
90° BEND
TEE
DEAD END

L W H
L W H
L W H
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L W H

UPDATED DEC 2022

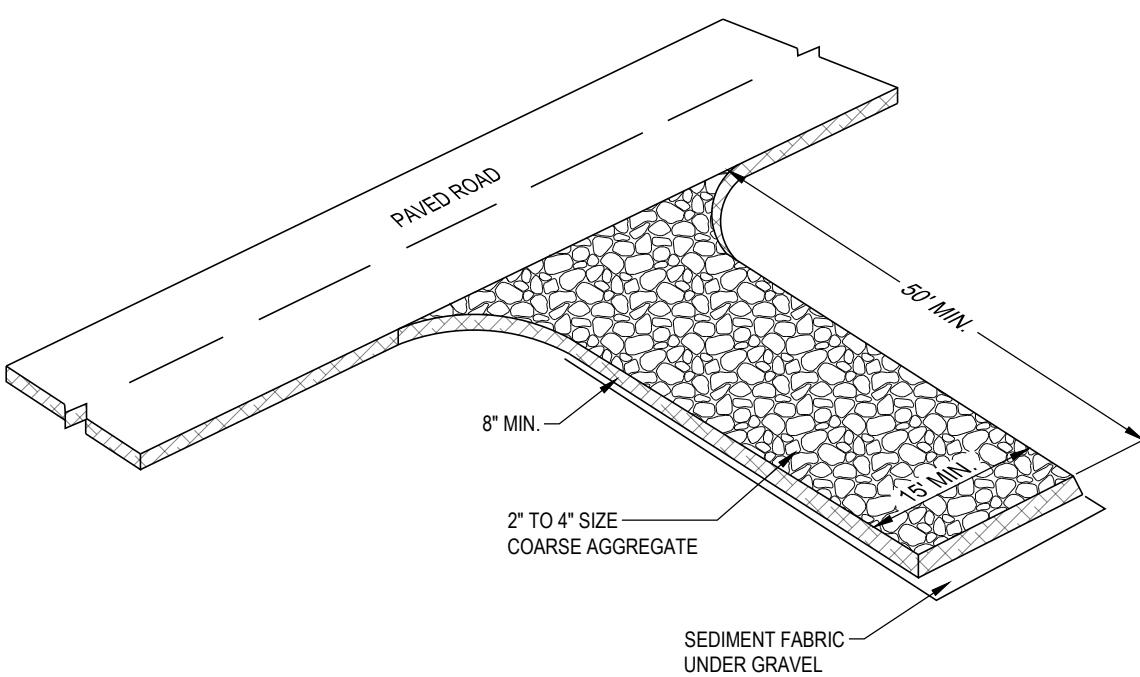
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| | THRUST BLOCKING | TB-202 |
| | NOTES | PAGE 1 OF 2 |



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

PROJECT NO.: 21597
DRAWN BY: RJP/TJO
CHECKED BY: RJP
DATE: 10-17-23

CIVIL DETAILS
C5.03



OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

DESCRIPTION:
A STABILIZED PAD OF CRUSHED STONE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES THE SITE FROM OR TO A PAVED SURFACE.

APPLICATIONS:
AT ANY POINT OF INGRESS OR EGRESS AT A CONSTRUCTION SITE WHERE ADJACENT TRAVELED WAY IS PAVED. GENERALLY APPLIES TO SITES OVER 2 ACRES UNLESS SPECIAL CONDITIONS EXIST.

INSTALLATION/APPLICATION CRITERIA:
• CLEAR GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.
• COMPACT SUB GRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS).
• PLACE COARSE AGGREGATE, 1 TO 2 1/2 INCHES IN SIZE, TO A MINIMUM DEPTH OF 8 INCHES.

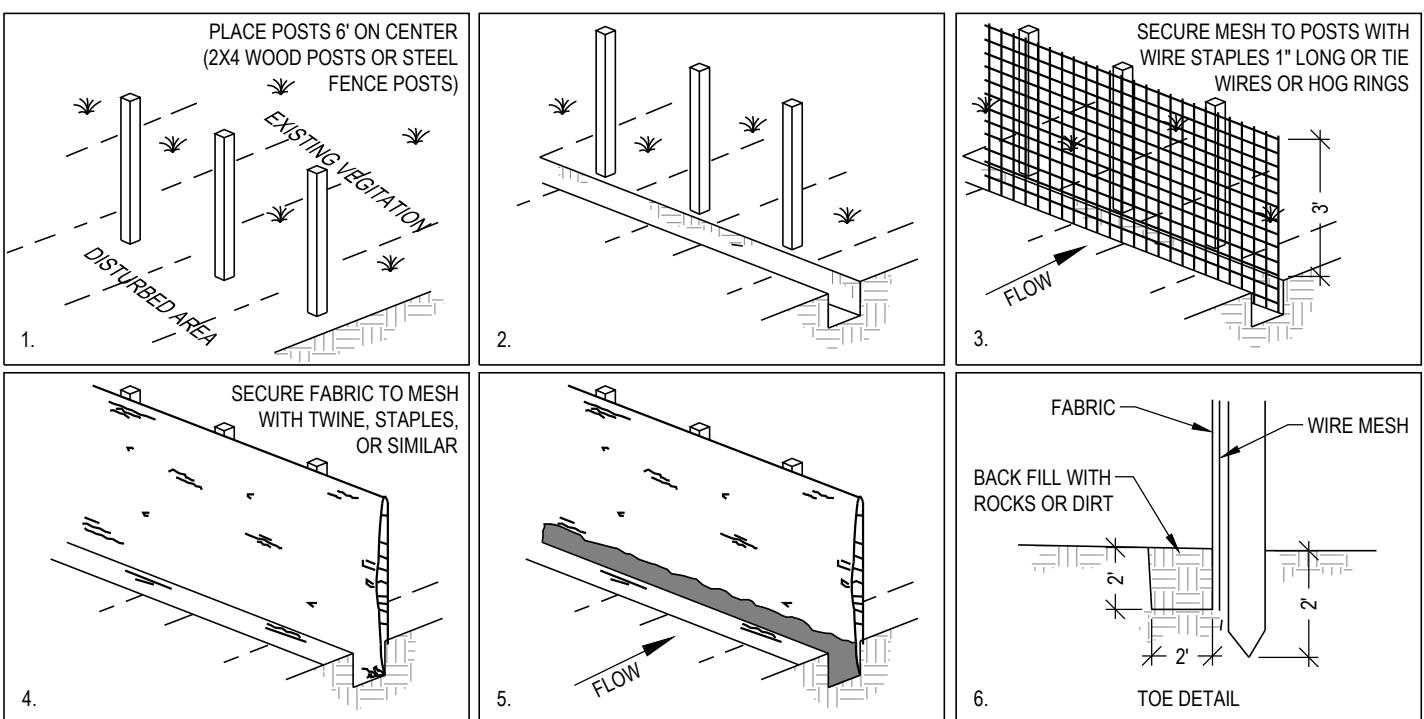
LIMITATIONS:
• REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
• SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:
• INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
• INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
• REPAIR ERANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN CO-WORKING CONDITION.
• EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- TRAINING

- HIGH
- MEDIUM
- LOW



DESCRIPTION:
A TEMPORARY SEDIMENT BARRIER CONSISTING OF ENTRENCHED FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS.

APPLICATIONS:
• PERIMETER CONTROL: PLACE BARRIER AT DOWNGRADE LIMITS OF DISTURBANCE.
• SEDIMENT BARRIER: PLACE BARRIER AT TOE OF SLOPE OR SOIL STOCKPILE.
• PROTECTION OF EXISTING WATERWAYS: PLACE BARRIER AT TOP OF STREAM BANK.
• INLET PROTECTION: PLACE FENCE SURROUNDING CATCH BASINS

INSTALLATION/APPLICATION CRITERIA:
• PLACE POSTS 6' ON CENTER ALONG CONTOUR (OR USE PRE-ASSEMBLED UNITS) AND DPP 2 FT MINIMUM INTO GROUND; EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
• SECURE WIRE MESH (14 GAUGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS; ATTACH WITH HEAVY DUTY 1 INCH LONG WIRE STAPLES, TIE WIRES OR HOG RINGS.
• CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
• BACKFILL OVER FILTER FABRIC TO ANCHOR.

LIMITATIONS:
• RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE.
• RECOMMENDED MAXIMUM UPGRADE SLOPE LENGTH OF 150 FEET.

• RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%).
• RECOMMENDED MAXIMUM FLOW RATE OF 0.5 CFS.

• PONDING SHOULD NOT BE ALLOWED BEHIND FENCE.

MAINTENANCE:
• INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
• LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING BARRIERS.
• REPAIR OR REPLACE DAMAGED AREAS OF THE BARRIER AND REMOVE ACCUMULATED SEDIMENT.
• REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
• REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.

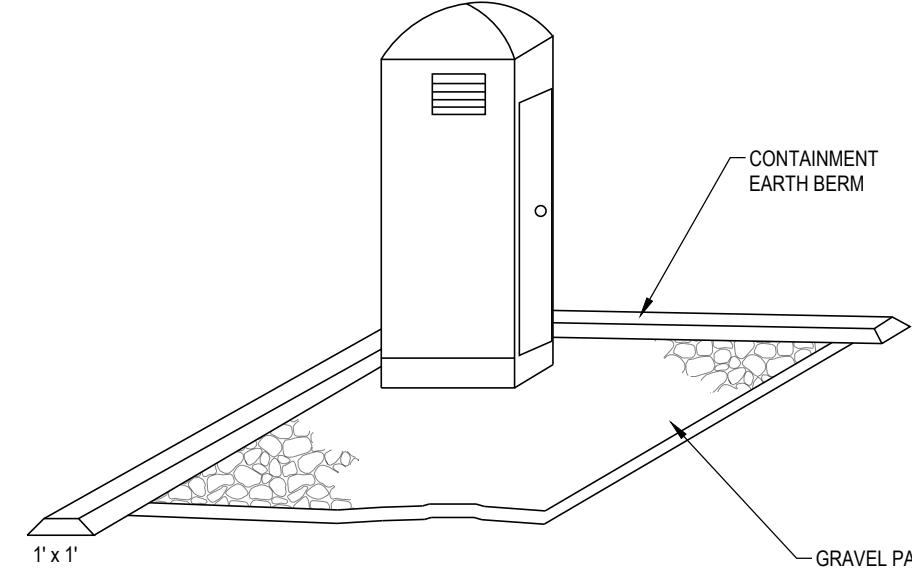
OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT



OBJECTIVES
• HOUSEKEEPING PRACTICES
• CONTAIN WASTE
• MINIMIZE DISTURBED AREA
• STABILIZE DISTURBED AREA
• PROTECT SLOPES/CHANNELS
• CONTROL SITE PERIMETER
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TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.

FILTERSOCK SPECIFICATION:

FILTREXX FILTERSOCK INSTALLATION AND MAINTENANCE

1.0 DESCRIPTION:
THIS WORK SHALL CONSIST OF FURNISHING, INSTALLING, MAINTAINING AND DISPERSING (IF NEEDED) A WATER PERMEABLE COMPOST FILTER SOCK (FILTREXX FILTERSOCK) TO CONTAIN SOIL EROSION AND SEDIMENT BY REMOVING SOIL PARTICLES FROM WATER MOVING OFF SITE INTO ADJACENT WATERWAYS OR STORM WATER DRAINAGE SYSTEMS. FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION FOR OPERATIONAL STORM DRAINAGE SYSTEMS.

2.0 COMPOST PRODUCTS USED TO FILL FILTREXX FILTERSOCKS

1. COMPOST: COMPOST USED FOR FILTREXX FILTERSOCKS SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THE COMPOST SHALL BE PROCESSED USING AN AEROBIC PROCESS MEETING CFR 503 REGULATIONS, INCLUDING BUT NOT LIMITED TO: 100% AERATED, 100% FRESH, 100% FERTILIZED, 100% HUMUS AND INSECT/LARVAE KILL. THE COMPOST SHALL BE FREE OF ANY UNUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. NON-COMPOSTED PRODUCTS WILL NOT BE ACCEPTED. TEST METHODS FOR THE ITEMS BELOW SHOULD FOLLOW USCC TMCC

GUIDELINES FOR LABORATORY PROCEDURES.

A. PH: 5.0-8.0 IN ACCORDANCE WITH TMCC 04.11-A, "ELECTROMETRIC PH DETERMINATIONS FOR COMPOST"

B. PARTICLE SIZE: 99% PASSING A 1" SIEVE, 90% PASSING A 1/2" SIEVE AND A MINIMUM OF 70% GREATER THAN THE 3/8" SIEVE. A TOTAL OF 98% SHALL NOT EXCEED 3 INCHES IN LENGTH, IN ACCORDANCE WITH TMCC 02.02-B, "SAMPLE SIEVING FOR AGGREGATE SIZE CLASSIFICATION"

C. MOISTURE CONTENT OF LESS THAN 60% IN ACCORDANCE WITH STANDARDIZED TEST METHODS FOR MOISTURE DETERMINATION

D. MATERIAL SHALL BE RELATIVELY FREE (1% BY DRY WEIGHT) OF INERT OR FOREIGN MATERIALS

E. A SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO BEING USED AND MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

3.0 CONSTRUCTION AND INSTALLATION OF FILTREXX FILTERSOCKS

1. CONSTRUCTION AND PROTECTION AGAINST SEDIMENT LAID WATER AFTER STORM DRAINS ARE DRY.

2. FILTREXX FILTERSOCKS WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED BY THE ENGINEER. FILTERSOCKS SHOULD BE INSTALLED IN A PATTERN THAT ALLOWS COMPLETE PROTECTION OF THE INLET AREA.

3. INSTALLATION OF FILTREXX FILTERSOCKS WILL ENSURE A MINIMAL OVERLAP OF AT LEAST ONE FOOT ON THE SIDE OF THE AREA TO BE PROTECTED. THE FILTERSOCKS WILL BE ANCHORED TO THE SOIL AND CURB USING STAPLES, STAKES OR OTHER DEVICES CAPABLE OF HOLDING THE FILTERSOCK IN PLACE.

4. STANDARD SIZES OF FILTERSOCKS FOR INLET PROTECTION WILL BE 8" DIAMETER PRODUCTS.

5. IN SEVERE FLOW SITUATIONS, LARGER FILTERSOCKS MAY BE RECOMMENDED BY THE ENGINEER.

6. FILTERSOCKS SHALL BE CONSTRUCTED OF A WOVEN MATERIAL AND FILLED WITH A COMPOST PRODUCT THAT PASSES THE CRITERIA LISTED IN SECTION 2.

7. IF THE FILTERSOCKS BECOME CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE MAINTAINED SO AS TO ASSURE A PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN. IN SEVERE STORM EVENTS, OVERFLOW OF THE FILTERSOCKS MAY BE ACCEPTABLE IN ORDER TO PROTECT THE AREA FROM FLOODING.

7. THE FILTERSOCKS SHALL BE POSITIONED SO AS TO PROVIDE COMPLETE PHYSICAL BARRIER TO THE DRAIN ITSELF, ALLOWING SEDIMENT TO COLLECT ON THE OUTSIDE OF THE

8. FILTERSOCKS. SEE BELOW SCHEMATIC FOR FILTREXX FILTERSOCK INSTALLATION. IN AREAS WHERE FILTERSOCKS ARE TO BE LEFT AS A PERMANENT PART OF THE LANDSCAPE, FILTERSOCKS MAY BE SEDED DURING TIME OF MANUFACTURE TO CREATE A LIVING SOCK. FOR SEEDING OPTIONS, THE ENGINEER MAY SIMPLY REPLACE ALL LANGUAGE ABOVE WITH "LIVING FILTREXX FILTERSOCKS"

4.0 MAINTENANCE:
1. THE CONTRACTOR SHALL MAINTAIN FILTREXX FILTERSOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
2. WHERE THE FILTERSOCK REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
3. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTERSOCK WHEN IT REACHES 1/2 OF THE EXPOSED HEIGHT OF THE FILTERSOCK, OR AS DIRECTED BY THE ENGINEER.

4. THE FILTREXX FILTERSOCK WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER. THE NETTING MATERIAL WILL BE DISPOSED IN NORMAL TRASH CONTAINERS OR REMOVED BY THE CONTRACTOR.

5. REGULAR MAINTENANCE INCLUDES LIFTING THE FILTREXX FILTERSOCKS AND CLEANING UNDER THEM AS SEDIMENT COLLECTS.

5.0 METHOD OF MEASUREMENT:
BID ITEMS SHALL SHOW MEASUREMENT AS "FILTREXX FILTERSOCK" PER LINEAR FOOT, INSTALLED OR PER INLET, AS SPECIFIED BY THE ENGINEER.

6.0 PERFORMANCE:

1. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A WORKING EROSION CONTROL SYSTEM AND, MAY, WITH APPROVAL OF THE ENGINEER, WORK OUTSIDE THE MINIMUM CONSTRUCTION REQUIREMENTS AS NEEDED.

2. WHERE FILTERSOCKS ARE PLACED IN AREAS THAT MAY BE SUBJECT TO INLET EROSION, THE CONTRACTOR SHALL REPAIR OR REPLACE OR REPLACE WITH A MORE EFFECTIVE ALTERNATIVE.

3. CONTRACTOR IS REQUIRED TO BE A CERTIFIED FILTREXX INSTALLER AS DETERMINED BY FILTREXX INTERNATIONAL, LLC (440-926-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

7.0 APPLICATION GUIDELINES:

1. FILTREXX FILTERSOCKS SHALL EITHER BE MADE ON SITE OR DELIVERED TO THE JOBSITE USING A 3 MIL TUBULAR HOPE KNITTED MESH NETTING MATERIAL FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS AS OUTLINED IN 2.0.

2. FILTREXX FILTERSOCKS SHALL BE PLACED IN AREAS THAT MAY BE SUBJECT TO INLET EROSION, THE CONTRACTOR SHALL REPAIR OR REPLACE OR REPLACE WITH A MORE EFFECTIVE ALTERNATIVE.

3. CONTRACTOR IS REQUIRED TO BE A CERTIFIED FILTREXX INSTALLER AS DETERMINED BY FILTREXX INTERNATIONAL, LLC (440-926-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

4. CONSTRUCTION AND INSTALLATION OF FILTREXX FILTERSOCKS SHALL BE DETERMINED BY FILTREXX INTERNATIONAL, LLC (440-926-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

5. FILTERSOCKS SHALL BE CONSTRUCTED OF A WOVEN MATERIAL AND FILLED WITH A COMPOST PRODUCT THAT PASSES THE CRITERIA LISTED IN SECTION 2.

6. IF THE FILTERSOCKS BECOME CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE MAINTAINED SO AS TO ASSURE A PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN. IN SEVERE STORM EVENTS, OVERFLOW OF THE FILTERSOCKS MAY BE ACCEPTABLE IN ORDER TO PROTECT THE AREA FROM FLOODING.

7. THE FILTERSOCKS SHALL BE POSITIONED SO AS TO PROVIDE COMPLETE PHYSICAL BARRIER TO THE DRAIN ITSELF, ALLOWING SEDIMENT TO COLLECT ON THE OUTSIDE OF THE

SILT FENCE

SCALE: N.T.S.

DESCRIPTION:

PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

APPLICATIONS:

• THIS TECHNIQUE IS APPLICABLE TO ALL TYPES OF SITES.

INSTALLATION/APPLICATION CRITERIA:

• STORE DRY AND WET MATERIALS UNDER COVER AWAY FROM DRAINAGE AREAS.
• AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
• PERFORM WASHOUT OF CONCRETE TRUCK OFF-SITE OR IN DESIGNATED AREAS ONLY.
• DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
• DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON SITE, EXCEPT IN DESIGNATED AREAS.
• WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING BUMPS IN DRAINING THE WATER WITHIN A BERMED AREA (AREA OF EARTH BERM BARRIER INFORMATION SHEET).
• TRAIN EMPLOYEES AND SUBCONTRACTORS IN PROPER CONCRETE WASTE MANAGEMENT.

LIMITATIONS:

• OFF-SITE WASHOUT OF CONCRETE WASTES MAY NOT ALWAYS BE POSSIBLE.

Maintenance:

• INSPECT SUBCONTRACTORS TO ENSURE THAT CONCRETE WASTES ARE BEING PROPERLY MANAGED.

• IF USING A TEMPORARY PIT, DISPOSE HARDENED CONCRETE ON A REGULAR BASIS.

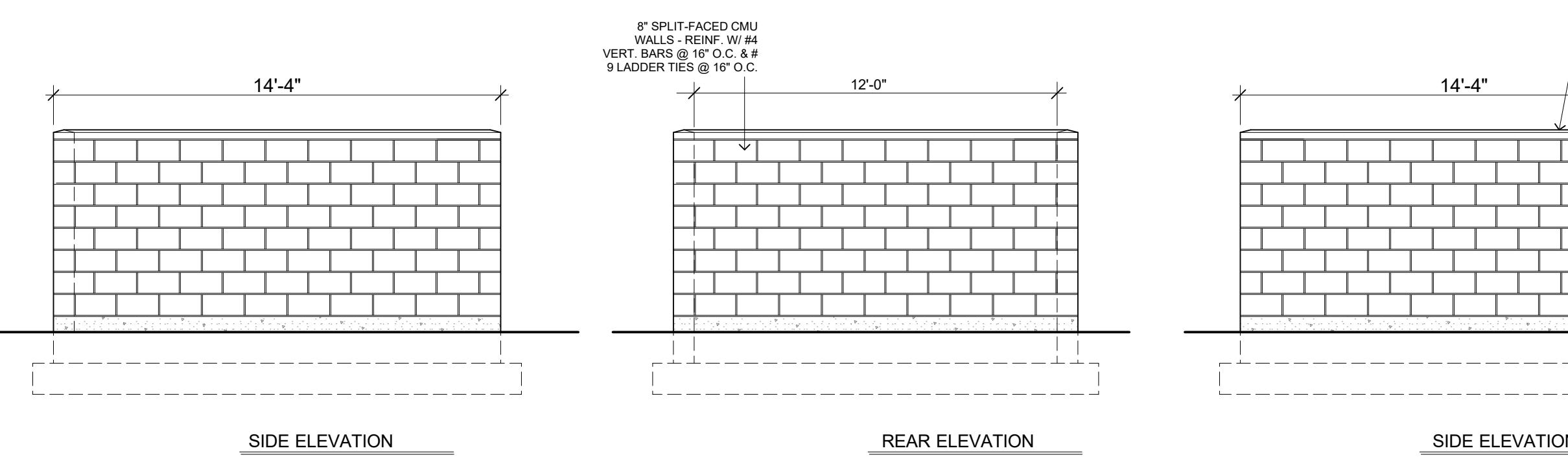
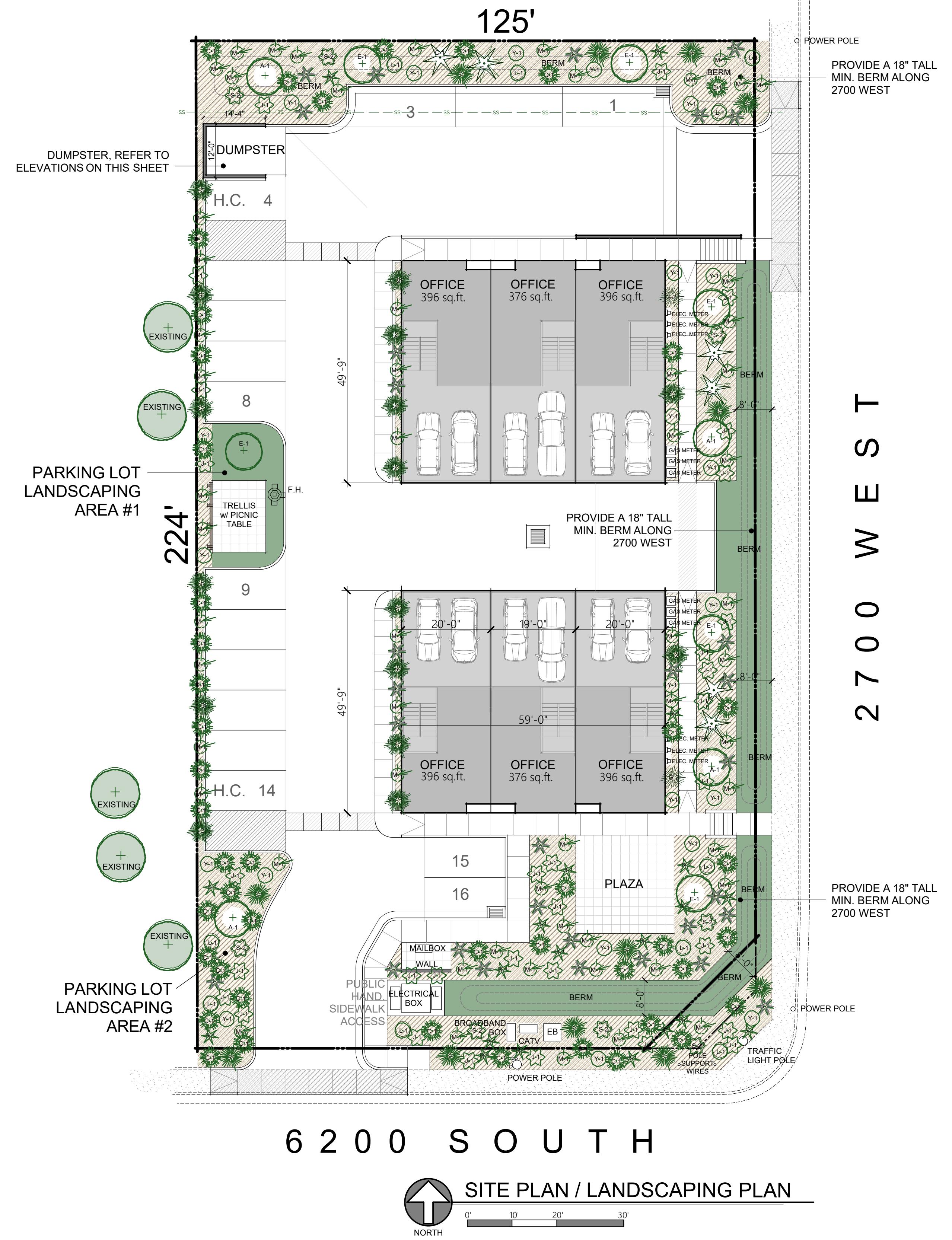
OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

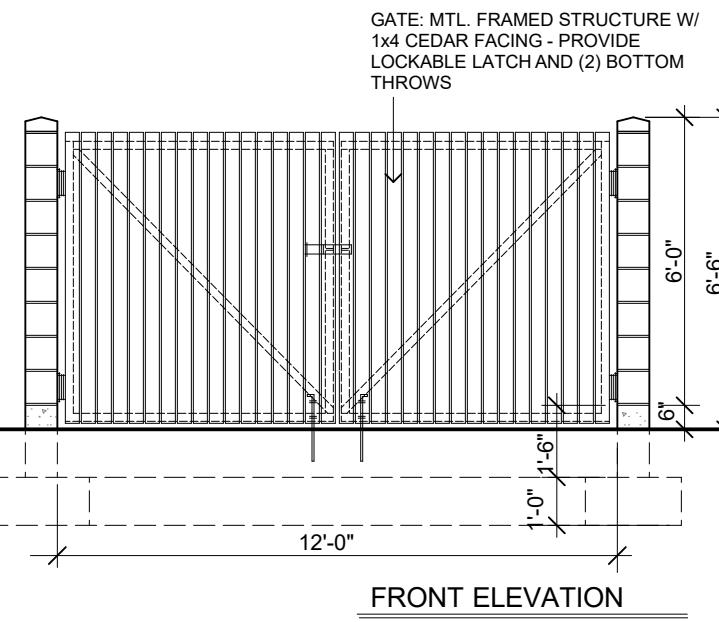
TARGETED POLLUTANTS

<ul style="list-style

TAYLORSVILLE 6 LIVE/WORK
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129



DUMPSTER ELEVATIONS



LANDSCAPING INSTALLATIONS

INSTALLATION:

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO GRADE, PLACE TOP SOIL OR SOIL, INSTALL AUTOMATIC SPRINKLER IRRIGATION SYSTEMS, AND PROPERTY PLANT TREES, SHRUBS, AND OTHER APPROPRIATE PLANT MATERIALS.
2. ALL TREES PLANTED ON SITE LESS THAN TWO INCH (2") CALIPER SHALL BE DOUBLE STAKED.
3. ALL LANDSCAPING SHALL BE COMPLETED IN ACCORDANCE WITH THE PLAN SUBMITTED AND APPROVED BY STAFF.

SCENIC WORK: SCENIC WORK MUST BE INSTALLED PRIOR TO A CERTIFICATE OF OCCUPANCY OF THE BUILDING BEING ISSUED OR AS OTHERWISE APPROVED BY THE DIRECTOR AS SEASONAL CONDITIONS MAY dictate.

BOND: THE DEVELOPER SHALL BOND FOR SUCH LANDSCAPE IMPROVEMENTS AS PART OF THE PRIVATE AGREEMENT BOND TO ENSURE THAT INSTALLATIONS ARE COMPLETED AS SUBMITTED AND APPROVED.

MANTENANCE: LANDSCAPE MAINTENANCE SHALL BE CONDUCTED BY THE DEVELOPER OR CONTRACTOR WHO AUTOMATICALLY ADJUSTS IRRIGATION DURATION AND FREQUENCY OF IRRIGATION SYSTEMS ACCORDING TO CHANGING WEATHER CONDITIONS. CONTRACTORS THAT ARE EQUIPPED WITH AUTOMATIC RAIN AND DROUGHT MONITORING SYSTEMS ARE REQUIRED.

IRRIGATION: ABOVE-GROUND IRRIGATION SHALL ONLY BE PERMITTED BETWEEN THE HOURS OF EIGHT O'CLOCK (8:00) P.M. AND TEN O'CLOCK (10:00) A.M. TO REDUCE WATER LOSS FROM WIND AND DROPPING WATER ON THE GROUND. FREQUENT WATERING IS NECESSARY TO ESTABLISH NEWLY PLANTED LANDSCAPED AREAS.

IRRIGATION SYSTEMS: LANDSCAPING SHALL NOT BE INSTALLED IN PARK STRIP PATHS, ON SLOPES GREATER THAN 25% OR ON HILLSIDE AREAS. LANDSCAPING SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 20% ON SLOPES LESS THAN 25% OR ON HILLSIDE AREAS. LANDSCAPING SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 20% OF THE TOTAL LANDSCAPED AREA OF THE LOT.

IRRIGATION SYSTEMS: AT LEAST 3 INCHES OF MULCH, PERMEABLE TO AIR AND WATER, TO BE USED IN PLANTING BEDS TO CONTROL WEEDS AND IMPROVE THE APPEARANCE OF THE LANDSCAPING.

IRRIGATION SYSTEMS: AT MATURITY, LANDSCAPE REQUIREMENTS SHALL HAVE ENOUGH PLANT MATERIAL PLANTED AND MAINTAINED TO CREATE AT LEAST 50% LIVING PLANT COVER AT MATURITY AT THE GROUND PLATE, NOT INCLUDING TREE CANOPIES.

IRRIGATION SYSTEMS: PLANTS SELECTED FOR LANDSCAPING SHOULD CONSIST OF PLANTS THAT ARE WELL SUITED TO THE MICROCLIMATE AND SOIL CONDITIONS.

COMMERCIAL: IN COMMERCIAL, OFFICE, MULTIFAMILY, AND INDUSTRIAL DISTRICTS IN ALL COMMERCIAL AND INDUSTRIAL ZONES, A MINIMUM OF FIFTEEN FEET (15') OF FRONT YARD LANDSCAPING SHALL BE REQUIRED.

COMMERCIAL: IN THE USE OF BERM (RANDOM SCULPTED MOUNDS), THESE (1/2 TO EIGHT INCHES (18') HIGH ABOVE THE CURB LEVEL) ARE REQUIRED IN ALL FRONT YARD LANDSCAPE AREAS WHERE FOUND TO BE PRACTICAL BY THE DIRECTOR.

STREET TREES: TWO-INCH (2") CALIPER MINIMUM AS MEASURED EIGHTEEN INCHES (18') ABOVE GRADE. STREET TREES SHALL BE PLANTED IN THE FRONT YARD LANDSCAPE AREA AND THE CURB TO MATURE TREE CONFLICTS AND TO MAXIMIZE TREE ROOT ZONE WHERE THE PARK STRIP IS A MIN. OF FIVE FEET (5') IN WIDTH AND THE SIDEWALK IS A MIN. OF EIGHT FEET (8') IN WIDTH. THE SIDEWALK WHERE THE SIDEWALK HAS BEEN PALED AGAINST THE CURB, STREET TREES SHALL BE PLANTED IN THE SIDEWALK (4') BEHIND THE CURB.

MINIMUM TREE SIZE: 1. FRONT LANDSCAPE FRONT YARD LANDSCAPE SHALL INCLUDE A COMBINATION OF TREES, ROCKS, GRAVEL AND PLANT MATERIALS. PLANT MATERIALS SHALL COVER A MIN. OF 25% OF THE LANDSCAPED AREA.

MINIMUM TREE SIZE: 2. SIZE AND SPACING: (A) THERE SHALL BE A MIN. OF FIVE FEET (5') OF LANDSCAPING BETWEEN PARKING AREAS AND THE REAR PROPERTY LINES (EXCEPT BETWEEN COMMERCIAL USES WHERE SAND LANDSCAPING IS NOT VISIBLE FROM THE PUBLIC ACCESS) AND A MIN. OF FIVE FEET (5') OF LANDSCAPING ON THE REAR PROPERTY LINES (EXCEPT WHERE THE REAR PROPERTY LINE UNLESS ADVISED BY THE DIRECTOR).

MINIMUM TREE SIZE: (B) AREAS UNVISIBLE FROM THE STREET SHALL HAVE ONE LANDSCAPE AREA IN THE AMOUNT OF FIVE FEET (5') OF LANDSCAPING ON THE REAR PROPERTY LINE UNLESS ADVISED BY THE DIRECTOR.

MINIMUM TREE SIZE: (C) LANDSCAPING WITHIN ALL PARKING AND DRIVEWAY AREAS SHALL CONSTITUTE A MIN. OF FIVE FEET (5') OF LANDSCAPING ON THE REAR PROPERTY LINES (EXCEPT WHERE THE REAR PROPERTY LINE UNLESS ADVISED BY THE DIRECTOR).

MINIMUM TREE SIZE: (D) LANDSCAPING PLANTERS AND/OR RAISED BARRIER (EDEN) SHALL BE INSTALLED ALONG BUILDINGS (EXCEPT WHERE NOT VISIBLE FROM THE PUBLIC ACCESS AREA OR LOADING AREA) TO PROTECT THE BUILDING FROM THE ELEMENTS, TO PROVIDE PEDESTRIAN SAFETY TO PEDESTRIANS, TO PROTECT STRUCTURE, AND TO PROVIDE FOUNDATION LANDSCAPING TO SOFTEN A STRUCTURE'S APPEARANCE.

MINIMUM TREE SIZE: (E) ALL LANDSCAPING AREAS IN FRONT OF BUMPER STOPS ARE NOT ACCEPTABLE.

MINIMUM TREE SIZE: (F) AT INTERSECTIONS OF STREETS, DRIVEWAYS, SIDEWALKS, ETC., LANDSCAPING SHALL BE LIMITED TO A HEIGHT OF NOT MORE THAN THREE FEET (3') ABOVE THE STREET LEVEL. WITHIN THE AREA REQUIRED FOR MIN. SIGN DISTANCES FOR ROADS AND STREETS.

MINIMUM TREE SIZE: (G) ALL LANDSCAPING AREAS IN FRONT OF BUMPER STOPS SHALL INCLUDE A MIN. OF FIVE FEET (5') OF LANDSCAPING ON THE REAR PROPERTY LINES (EXCEPT WHERE THE REAR PROPERTY LINE UNLESS ADVISED BY THE DIRECTOR).

MINIMUM TREE SIZE: (H) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (I) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (J) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (K) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (L) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (M) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (N) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (O) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (P) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (Q) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (R) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (S) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (T) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (U) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (V) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (W) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (X) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (Y) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (Z) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (AA) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (BB) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (CC) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (DD) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (EE) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (FF) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (GG) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (HH) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (II) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (JJ) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (KK) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (LL) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (MM) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (NN) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (OO) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (PP) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

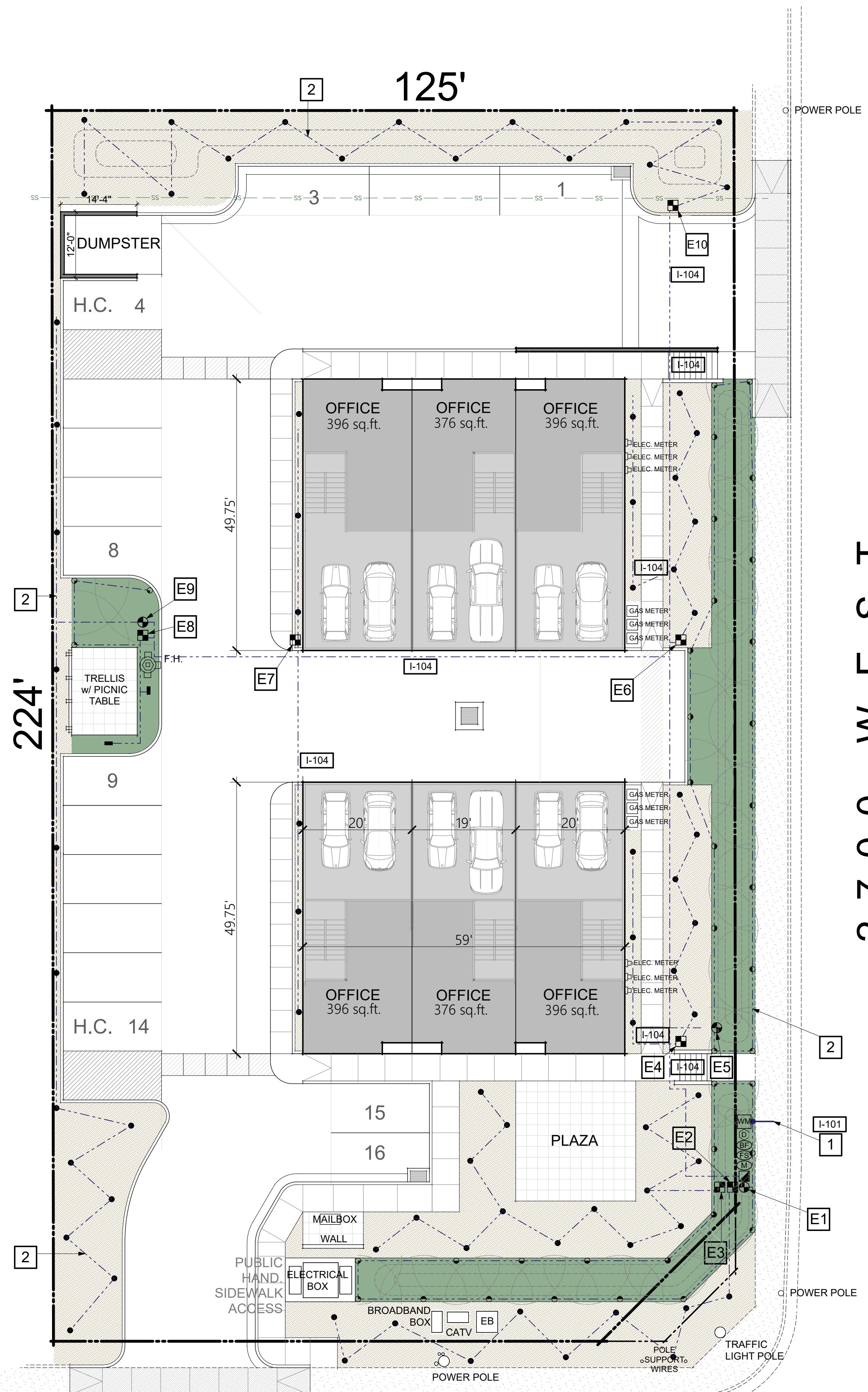
MINIMUM TREE SIZE: (QQ) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (RR) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

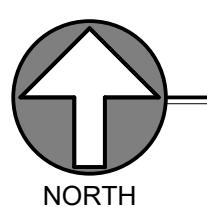
MINIMUM TREE SIZE: (SS) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (TT) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER, PLANTING AREA TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE A SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.

MINIMUM TREE SIZE: (UU) BARK MULCH, 3" DEPTH PLACED ABOVE WEED BARRIER,

TAYLORSVILLE 6 LIVE/WORK
 2720 WEST 6200 SOUTH
 TAYLORSVILLE, UTAH 84129


6200 SOUTH



IRRIGATION PLAN

NOT TO SCALE

IRRIGATION KEYED NOTES:

- 1 1" IRRIGATION STUB, REFER TO CIVIL ENGINEERING UTILITY PLAN
- 2 ALL IRRIGATION LINES TO BE 1" PVC SCHEDULE 40, U.N.O.
- E1 ZONE 1: SPRAY IRRIGATION (1" VALVE) SOD AREA SOUTHEAST CORNER
- E2 ZONE 2: DRIP IRRIGATION (1" VALVE) PLANTER SOUTHEAST CORNER
- E3 ZONE 3: DRIP IRRIGATION (1" VALVE) PLAZA SOUTHEAST CORNER
- E4 ZONE 4: DRIP IRRIGATION (1" VALVE) EAST OF SOUTH BUILDING
- E5 ZONE 5: SPRAY IRRIGATION (1" VALVE) SOD ALONG WEST PROPERTY LINE
- E6 ZONE 6: DRIP IRRIGATION (1" VALVE) EAST OF NORTH BUILDING
- E7 ZONE 7: DRIP IRRIGATION (1" VALVE) PLANTER WEST SIDE BOTH BLDG'S
- E8 ZONE 8: DRIP IRRIGATION (1" VALVE) PLANTERS ALONG WEST PROP. LINE
- E9 ZONE 9: SPRAY IRRIGATION (1" VALVE) SOD AREA AT PICNIC AREA
- E10 ZONE 10: DRIP IRRIGATION (1" VALVE) PLANTER ALONG NORTH PROP. LINE

REFERENCE NOTES SCHEDULE

| SYMBOL | IRRIGATION DESCRIPTION | QTY | DETAIL |
|--------|--|-----|--------|
| I-101 | CONNECT SERVICE LINE TO 1" WATER METER. SEE SITE EXISTING | | |
| I-102 | DO NOT WILFULLY DAMAGE OR DESTROY IRRIGATION EQUIPMENT IN PLANTER BED SO AS TO HIDE IT FROM VIEW. | | |
| I-103 | IRRIGATION IS DESIGNED FOR 75 PSI AT POINT OF CONNECTION WITH THE WATER METER. CONTRACTOR TO USE PRESSURE REGULATOR FOR PSI OVER 90 PSI. | | |
| I-104 | WALL MOUNT IRRIGATION CONTROLLER ON EXTERIOR WALL OF BUILDING. VERIFY EXACT LOCATION WITH OWNER. COORDINATE CONTROLLER LOCATION WITH POWER SUPPLY. | | |
| I-105 | PLACE WIRELESS SOLAR SYNC SENSOR IN CONSPICUOUS LOCATION IN PLANTER OR ON ROOF. WHERE IT WILL RECEIVE FULL SUN, DON'T PLACE IN AN AREA WITH SHADE OR TEXTURES. PER MANUFACTURER'S SPECIFICATIONS. | | |
| I-106 | INSTALL SLEEVING THROUGH WALLS AND FLATWORK AS NECESSARY AND AS SHOWN ON PLAN. IF SLEEVING IS NOT SHOWN BUT REQUIRED, CONTRACTOR TO ENSURE IT IS INSTALLED WHEREVER NECESSARY. COORDINATE WORK WITH WALL AND FLAT WORK CONTRACTORS. (TYP.) | | |

GENERAL IRRIGATION NOTES:

- IT IS THE INTENT OF THESE IRRIGATION PLANS TO PROVIDE THE CONTRACTOR WITH CONSTRUCTION INFORMATION THAT WILL ALLOW THE CONTRACTOR TO EASILY AND CORRECTLY INSTALL THE IRRIGATION SYSTEM. THE CONTRACTOR SHALL PROVIDE ALL LABOR, PARTS, AND MATERIALS REQUIRED.
- DO NOT WILFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR GRAVING DIFFERENCES MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR GRAVING DIFFERENCES MAY NOT BE SHOWN ON THE PLANS. CONTRACTOR SHALL NOT BE HELD LIABLE FOR THE IRRIGATION SYSTEM IF THE NOTIFICATION IS NOT PERFORMED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMAL COVERAGE. INSTALL ALL SPRINKLER HEADS WITH NOZZLES OF THE APPROPRIATE DEGREE AND RADIUS FOR THE AREA TO BE COVERED. ADJUST ALL NOZZLES TO AVOID SPRAYING OVER WALLS, BUILDINGS, ETC.
- ALL PIPE INSULATED AND PAINTED SHALL BE PAINTED. SEE SLEEVING DETAILS.
- ALL EXCAVATION AND GRAVING SHALL BE CONDUCTED IN A SPACED GROUND. ALL WIRING IN 5/8" DIA. ELECTRICAL CONDUIT FROM CLOCK TO MAMMINE. THEN RUN WIRE UNDER MAMMINE EXPOSED BUT DO NOT TAPE WIRE TO MAMMINE. INCLUDE EXPANSION LOOPS AT ALL CORNERS AND ANGLES.
- VALVE BOXES AND LIDS COLOR SHALL MATCH EXISTING GROUNDCOVER/BLK AS FOLLOWS:

 - 1. VALVE BOXES LOCATED ON PLANTER BEDS = PLANTER BOX
 - 2. VALVE BOX LOCATED IN TURF GRASS = GREEN COLOR BOX

- LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY. INSTALLATION OF THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE LOCATED IN A CONVENIENT LOCATION AS DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY. IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI), THE PRESSURE REGULATING VALVE SHALL BE LOCATED ON THE EXTERIOR WALL OF THE BUILDING. THE PRESSURE REGULATING VALVE SHALL BE LOCATED AS NEAR AS POSSIBLE TO THE POINT OF CONNECTION IN THE PIPE AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLER.
- AUTOMATIC 2-WIRE CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN AUTOMATIC AUTOMATIC CONTROLLER WITH WIRELESS SOLAR SYNC SENSOR. THE CONTRACTOR SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE. GROUND CONTROLLER PER MANUFACTURER'S SPEC. AND SHALL BE 10 OHM OR 155 PPF SPEC. RFI/DIR/DECORATOR WIRE SHALL BE LOCATED AT ALL TERMINAL WIRE END AND EACH 100 FT OF DECORATOR WIRE. FINAL LOCATION OF CONTROLLER TO BE APPROVED BY OWNER.
- ON SLOPES EXCEEDING 10%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP Emitter BUBBLERS, OR SPRINKLERS WITH MATCHED PRECIPITATION RATE, AND A CHECK VALVE SHALL BE INSTALLED ON THE LINE. THE CHECK VALVE SHALL NOT BE LOCATED ON THE HIGHEST POINT OF THE SLOPES. THE CHECK VALVE SHALL BE LOCATED ON THE LOWEST POINT OF THE SLOPES.
- EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOP AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
- SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
- CHECK VALVE SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVE SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES ARE SIGNIFICANT. WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
- IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD INCLUDE DRIP BUBBLER ZONES.
- PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF; PARTICULARLY SLOPES AND SOILS WITH SLOW INfiltrATION RATE.
- SEE SHEET L101 AND L1022 FOR IRRIGATION DETAILS AND GENERAL IRRIGATION NOTES.
- INSTALL MAINLINE AND ALL LATERAL LINES ADJACENT TO CURB OR SIDEWALK WHERE POSSIBLE.
- INSTALL CONTROLLER WIRE ADJACENT TO MAINLINE WHERE POSSIBLE.
- IRRIGATION DESIGN IS DIAGRAMMATIC ONLY AND MAY NEED TO BE MODIFIED IN THE FIELD. CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ALL NECESSARY FIELD MODIFICATIONS/ADJUSTMENTS TO ENSURE FULLY FUNCTIONING IRRIGATION SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECT WATER COVERAGE.
- PLAN SHOWS SPECIFIC IRRIGATION EQUIPMENT AND PARTS ARE USED AS A BASIS FOR DESIGN AND TO MAXIMIZE WATER EFFICIENCY FOR WATER SAVINGS. CONTRACTOR MAY USE EQUIPMENT OR APPROVED EQUIVALENT. IF ALTERNATES ARE CHOSEN, EQUIVALENT EQUIPMENT MUST BE APPROVED BY CONTRACTOR AND MEET ALL WATER EFFICIENCY REQUIREMENTS AND SPECIFICATIONS OF THE PROPOSED IRRIGATION EQUIPMENT.

IRRIGATION SCHEDULE

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION |
|--------|--|
| 1 | HUNTER PRO-SO-PS40-CV TURF ROTATOR, 4" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI (2.76 BAR). MP ROTATOR NOZZLE ON POP-UP. 150° SWEEP. 150° SWEEP. (ARC 360) |
| 2 | ADJUSTABLE |
| E1 | HUNTER MP STRIP PRO-SO-PS40-CV TURF ROTATOR, 4" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI (2.76 BAR). MP ROTATOR NOZZLE ON PS40 BODY. LST=VORY LEFT STRIP. SST=BROWN SIDE STRIP. RST=COOPER RIGHT STRIP. |
| E2 | HUNTER C210-25 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HYD FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 1.2 GPM TO 20 GPM. 150° MESH STAINLESS STEEL SCREEN. |
| E3 | AREA TO RECEIVE DRIPPE |
| E4 | HUNTER PLD-04-18 (18) IN-LINE FILTER. PRESSURE REGULATING LANDSCAPE DRIPPE WITH 1" ICV GLOBE VALVE. 1/4" GPHIFIERS AT 18° O.C. DRIPPE LATERALS SPACED 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. |
| E5 | HUNTER 15-1/2", 2", AND 2 1/2" ELECTRIC REMOTE CONTROL VALVE. GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. |
| E6 | HUNTER HQ-44LR DRAIN COUPLER VALVE. YELLOW RUBBER LOCKING COVER. RED RUBBER AND STAINLESS STEEL WITH NPT INLET/OUTLET, PIECE BODY. |
| E7 | HUNTER ICV-G MASTER 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE. GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. |
| E8 | DRAIN VALVE |
| E9 | MANUEL MACHINERY DRAIN VALVE. INSTALL AFTER HYDRO FILTER. INSTALL WITH 3" X 3" X 3" GRAVEL SUMP MIN. SEE DETAIL (TYP.) |
| E10 | FEBCO 0291 1" REDUCED PRESSURE BACKFLOW PREVENTER |
| E11 | HUNTER PC-409 WITH (0) PCM-300 LIGHT COMMERCIAL & RESIDENTIAL CONTROLLER, 7-STATION EXPANDED MODULE CONTROLLER, 120 VAC, INDUS. USE. |
| E12 | HUNTER SOLAR SYNC SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE. CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS. INCLUDES 10' SOLAR CABLE, 10' 12V LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET. WIRED. |
| E13 | HUNTER FLOW-CLIK-200 FLOW SENSOR WITH INTERFACE PANEL. 2" SCHEDULE 40 SENSORS, 24 VAC, 2 AMP, INSTALL INTERFACE PANEL AS REQUIRED. |
| E14 | WATER METER 1" |
| E15 | IRRIGATION LATERAL LINE: PVC SCHEDULE 40. PVC SCHEDULE 40 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE. |
| E16 | IRRIGATION MAINLINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE. |

ARCHITECT

CONSULTANT

FILE: D:/JIM/JDA/TAYLORSVILLE

DATE: OCTOBER 13, 2023

DRAWN: JBD

REVISIONS

| NO. | DATE | DESCRIPTION |
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TAYLORSVILLE 6 LIVE/WORK
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

CONSULTANT

FILE: D:\JIM\JDA\TAYLORSVILLE

DATE: OCTOBER 13, 2023

DRAWN: JBD

REVISIONS

NO. DATE DESCRIPTION

| EXTERIOR MATERIALS | | |
|--------------------------|----------|-----------|
| MATERIAL AREA: | AREA | % of Bldg |
| Gross Facade: | 1,729 SF | 100% |
| Hardi Horizontal Siding: | 683 SF | 40% |
| Stucco | 661 SF | 38% |
| Windows / Doors: | 385 SF | 22% |



| EXTERIOR MATERIALS | | |
|--------------------------|----------|-----------|
| MATERIAL AREA: | AREA | % of Bldg |
| Gross Facade: | 2,212 SF | 100% |
| Hardi Horizontal Siding: | 654 SF | 30% |
| Stucco | 886 SF | 40% |
| Windows / Doors: | 672 SF | 30% |

TAYLORSVILLE 6 LIVE/WORK
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

CONSULTANT

| EXTERIOR MATERIALS | | |
|--------------------------|----------|-----------|
| MATERIAL AREA: | AREA | % of Bldg |
| Gross Facade: | 1,729 SF | 100% |
| Hardi Horizontal Siding: | 683 SF | 40% |
| Stucco | 661 SF | 38% |
| Windows / Doors: | 385 SF | 22% |

WEST ELEVATION

4' 0' 4'

EXTERIOR ELEVATIONS

A3.1

EXTERIOR MATERIALS

| MATERIAL AREA: | AREA | % of Bldg |
|--------------------------|----------|-----------|
| Gross Facade: | 1,935 SF | 100% |
| Hardi Horizontal Siding: | 772 SF | 40% |
| Stucco | 451 SF | 23% |
| Windows / Doors: | 712 SF | 37% |



NORTH ELEVATION



WEST ELEVATION

4' 0' 4'

TAYLORSVILLE WORKLINE
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

CONSULTANT

FII F· D·/JIM/DA/TAYI ORSVII | F

DATE: SEPTEMBER 22, 2023

DRAWN: JRD

REVISIONS

| NO. | DATE | DESCRIPTION |
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11. *What is the primary purpose of the following statement?*

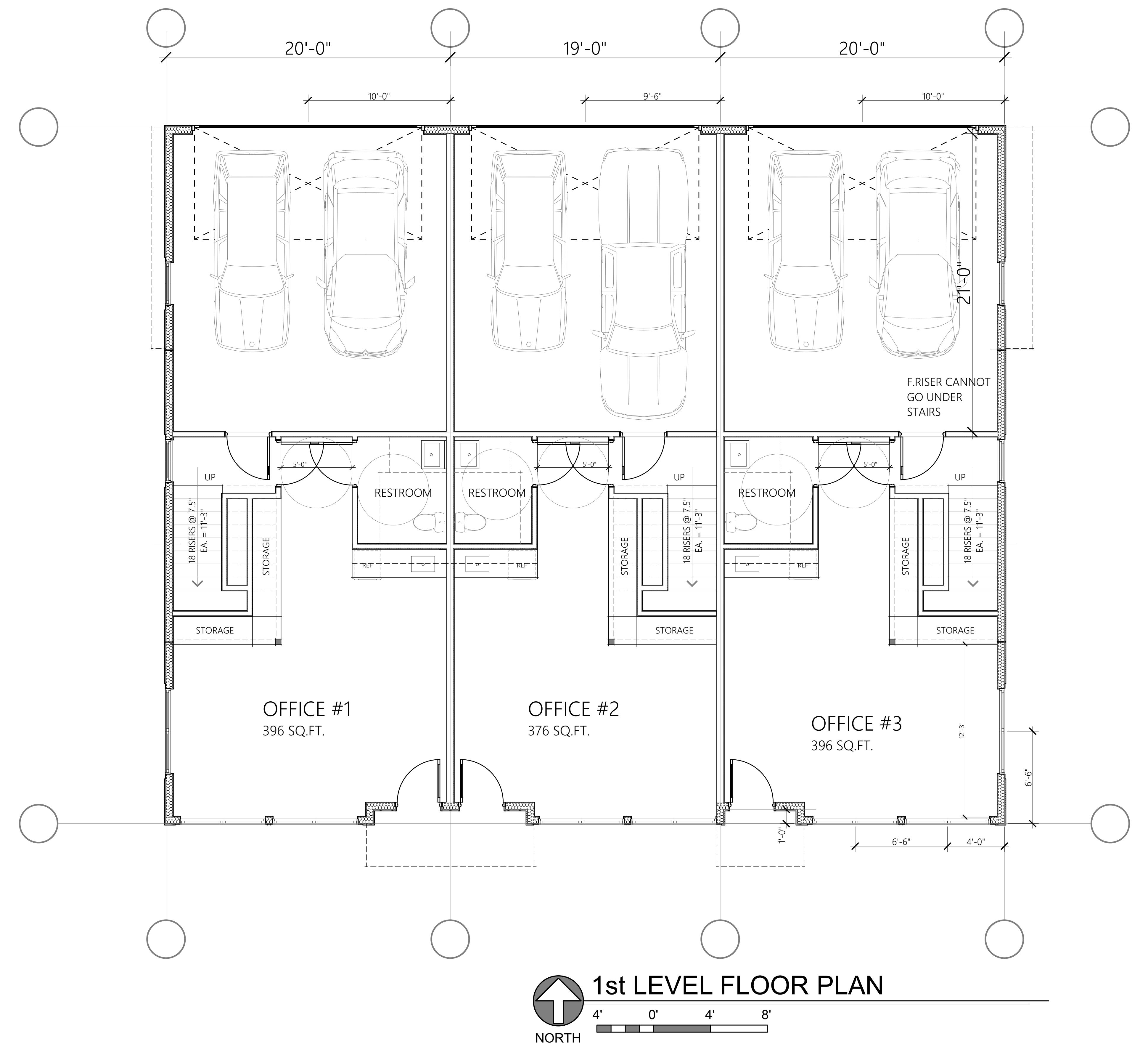
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A2.0



1st LEVEL FLOOR PLAN

TAYLORSVILLE WORKLIVE
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

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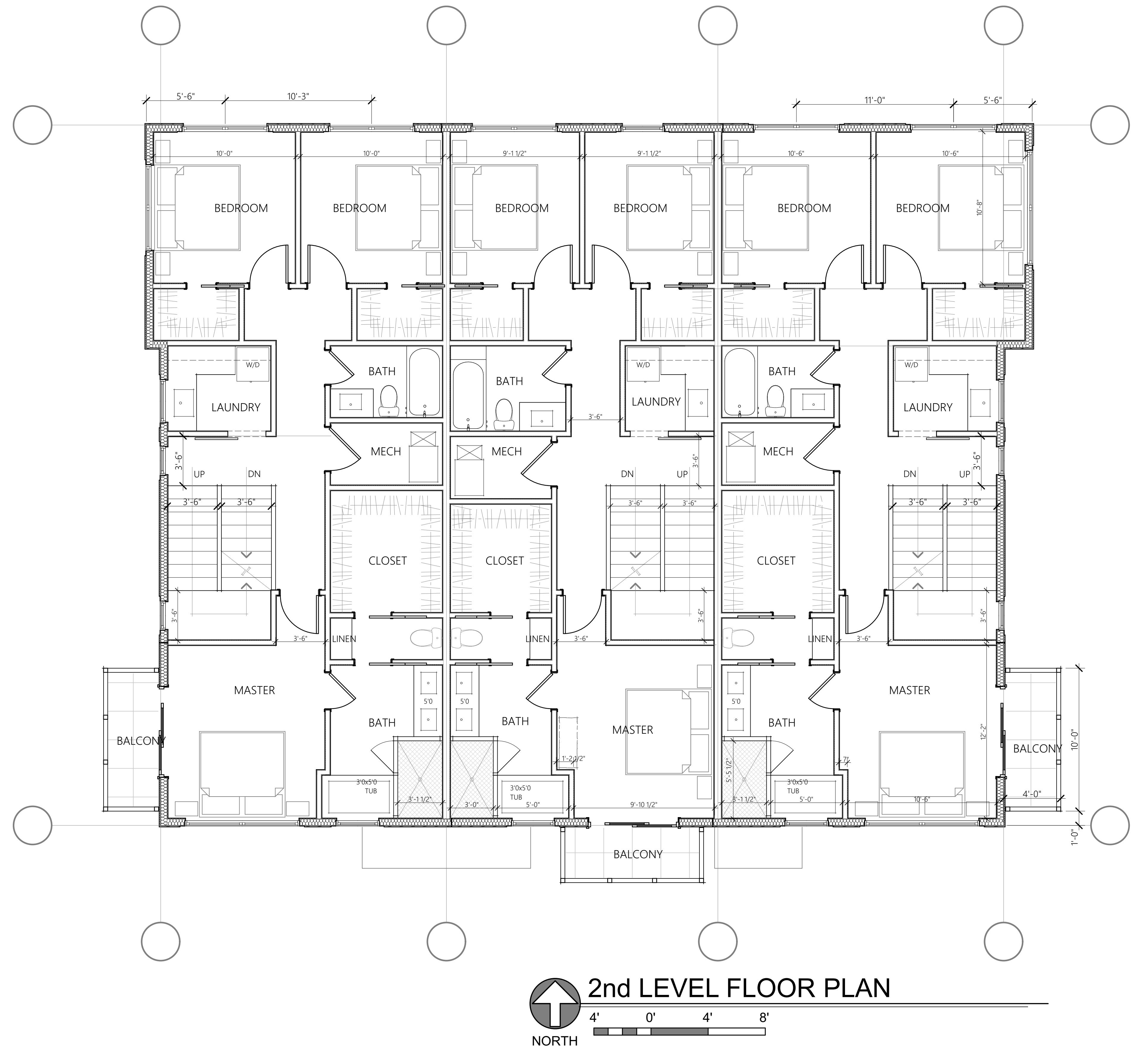
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DATE: SEPTEMBER 22, 2023

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REVISIONS

NO. DATE DESCRIPTION



TAYLORSVILLE WORKLIVE
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

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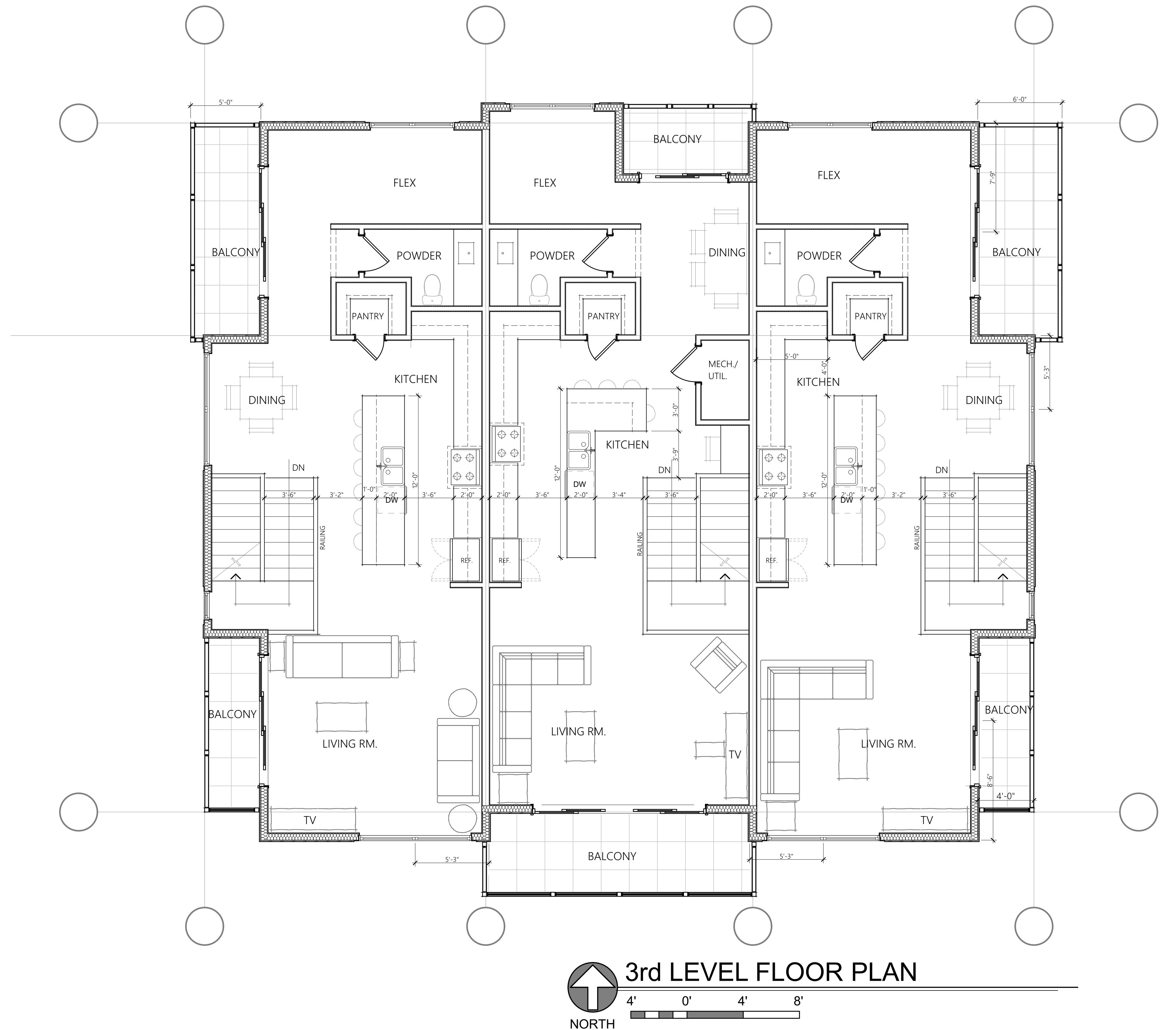
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DATE: SEPTEMBER 22, 2023

DRAWN: JBD

REVISIONS

NO. DATE DESCRIPTION



TAYLORSVILLE 6 LIVE/WORK
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

ARCHITECT

CONSULTANT

FILE: D:/JIM/JDA/TAYLORSVILLE

DATE: OCTOBER 13, 2023

DRAWN: JBD

REVISIONS

NO. DATE DESCRIPTION



TAYLORSVILLE 6 LIVE/WORK
2720 WEST 6200 SOUTH
TAYLORSVILLE, UTAH 84129

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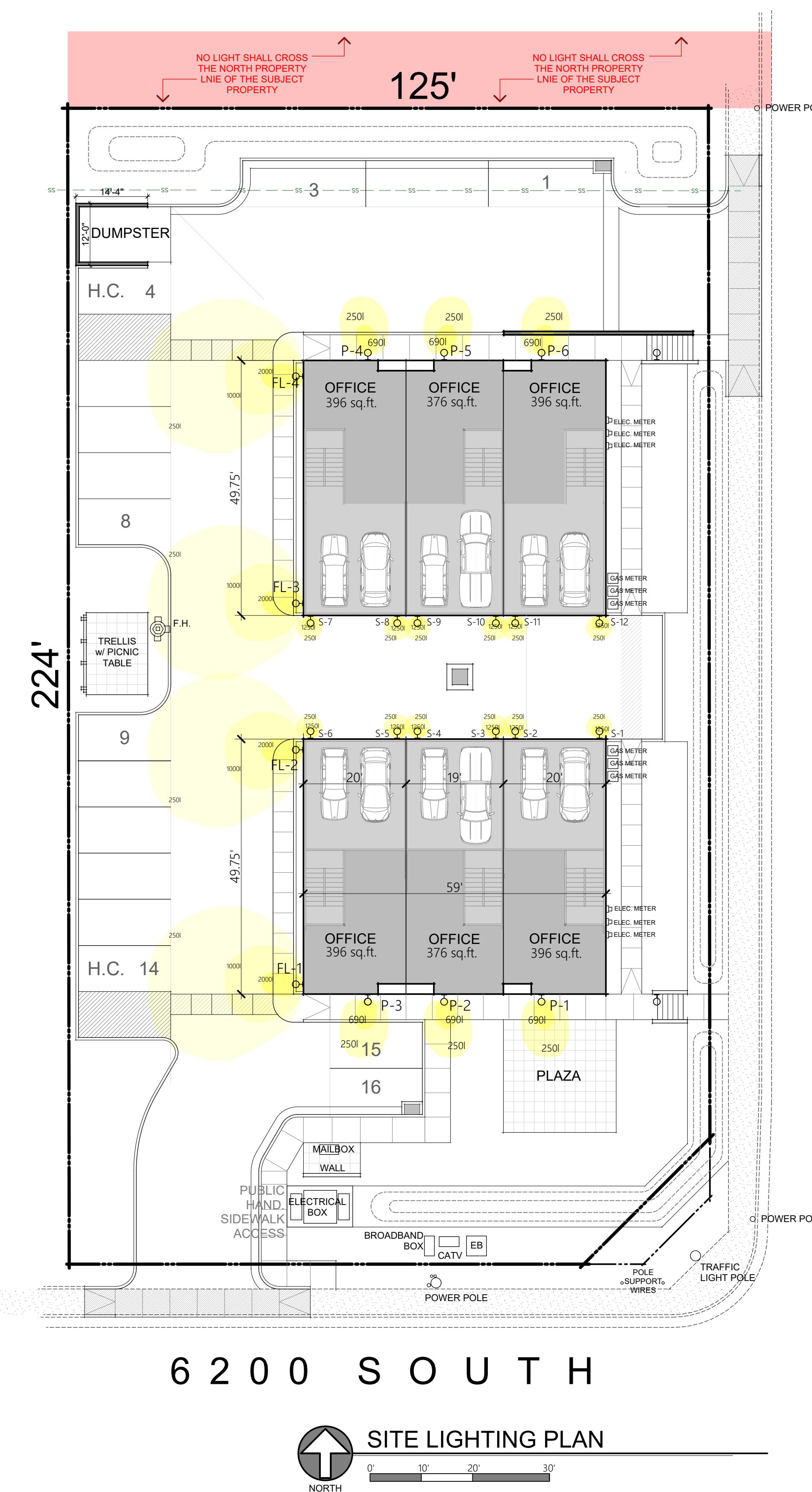
FILE: D:/JIM/JDA/TAYLORSVILLE

DATE: OCTOBER 13, 2023

DRAWN: JBD

REVISIONS

NO. DATE DESCRIPTION



SITE LIGHTING NOTES

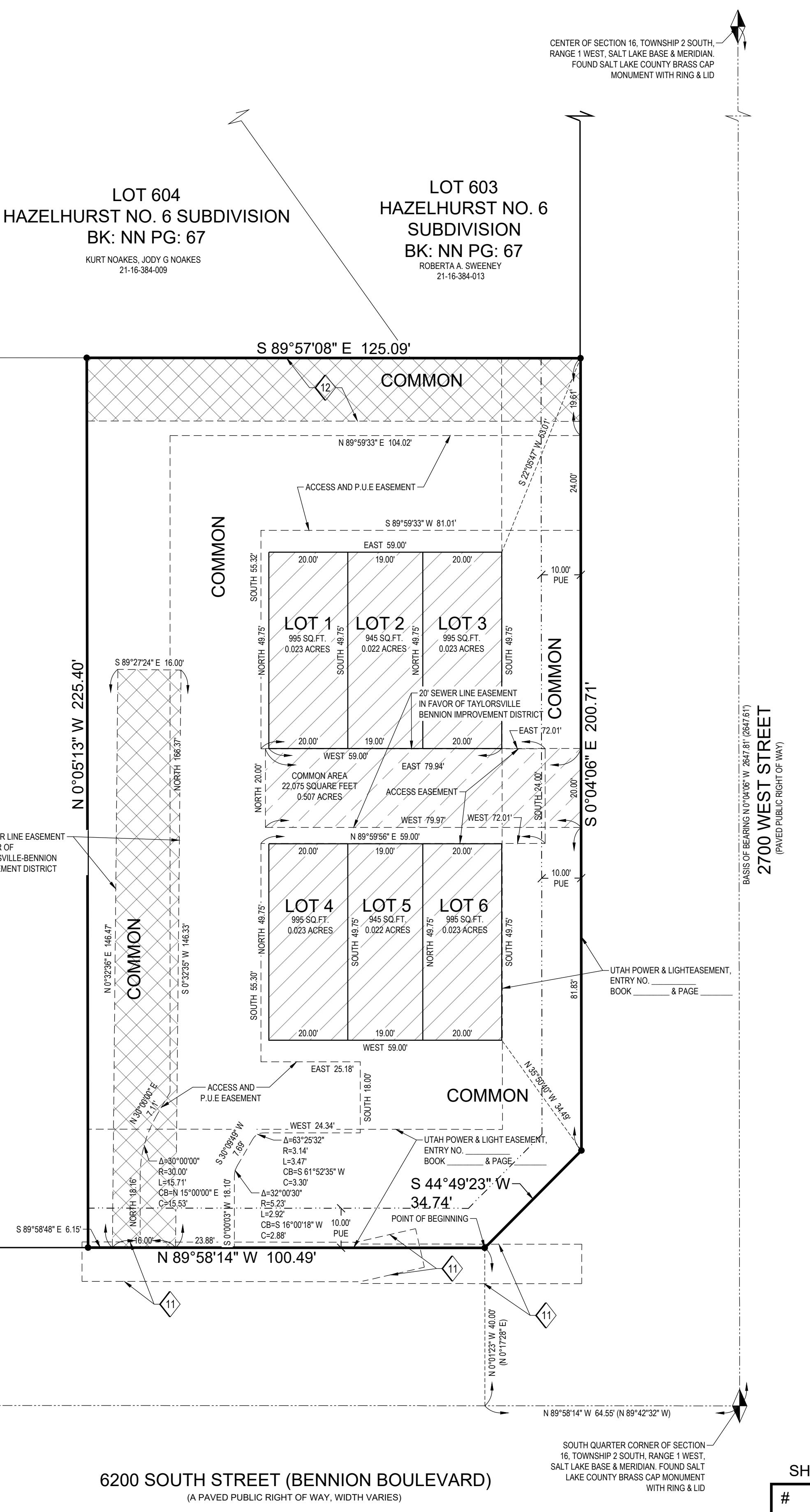
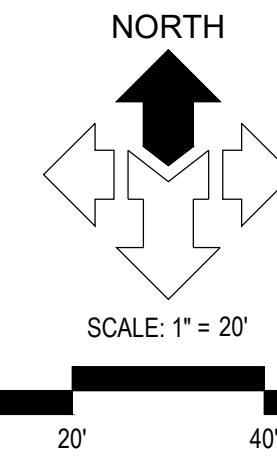
NOTES:

1. THE SITE LIGHTING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH 2021 IRC AND 2021 NEC AND ALL OTHER LOCAL, STATE, OR NATIONAL CODES ADOPTED BY THE BUILDING AUTHORITY. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS AND SHALL NOT ALTER OR MODIFY THESE REQUIREMENTS ON THE SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS, BOARDS, RELAY-BRANCH CIRCUIT WIRING, CIRCUIT WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT, SPECIALTY LIGHTING FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES, LIGHTING FIXTURES, ETC.
3. ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.
4. ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE I.R.C. AND NOTIONAL ELECTRICAL CODE PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR THEIR ELECTRICAL SERVICE EQUIPMENT SHALL BE IN A CONVENIENT PLACEMENT. ELECTRICAL PANELS AND CIRCUIT BREAKERS SHALL HAVE A MINIMUM 30" WIDTH, 36" DEPTH AND 6'-6" FROM FLOOR TOP. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.
5. ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED.
6. THIS SITE LIGHTING PLAN IS A CONCEPT PLAN THAT WILL BE USED BY A UTAH STATE LICENSED ELECTRICAL ENGINEER AS A BASIS OF CONSTRUCTION DOCUMENT PRODUCTION.
7. NO LIGHTING SHALL BE ALLOWED TO CROSS THE NORTH SUBJECT PROPERTY LINE IN WHICH IS AN ADJACENT RESIDENTIAL ZONE.

| FIXTURE SCHEDULE | | |
|---|---|--|
| 'P' | 'FL' | 'S' |
| | | |
| <p>MANUF: HOME DECORATOR MODEL: MAUVO CANYON MOD. #: KB 06005-DEL PHOTOCELL - DUSK TO DAWN LED BULB</p> <p>LUMENS: 690 WATTS: 12.45 EFFICACY (L/W): 55.42</p> | <p>MANUF: DEFIANT MODEL: LED FLOOD MOD. #: DFI-5983-WH PHOTOCELL - DUSK TO DAWN LED BULB</p> <p>LUMENS: 2050 WATTS: 24.99 EFFICACY (L/W): 82.03</p> | <p>MANUF: COMMERCIAL ELECTRIC MODEL: LED WALL PACK MOD. #: STL15-4K-BZ PHOTOCELL - DUSK TO DAWN LED BULB</p> <p>LUMENS: 1500 WATTS: 15 EFFICACY (L/W): 100</p> |

TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

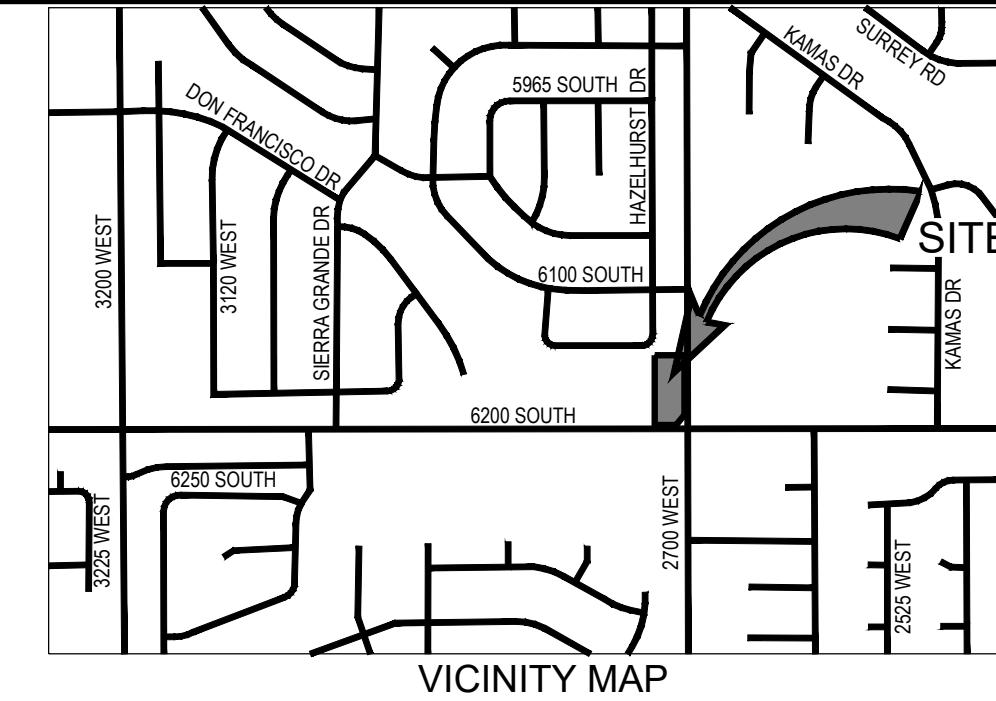
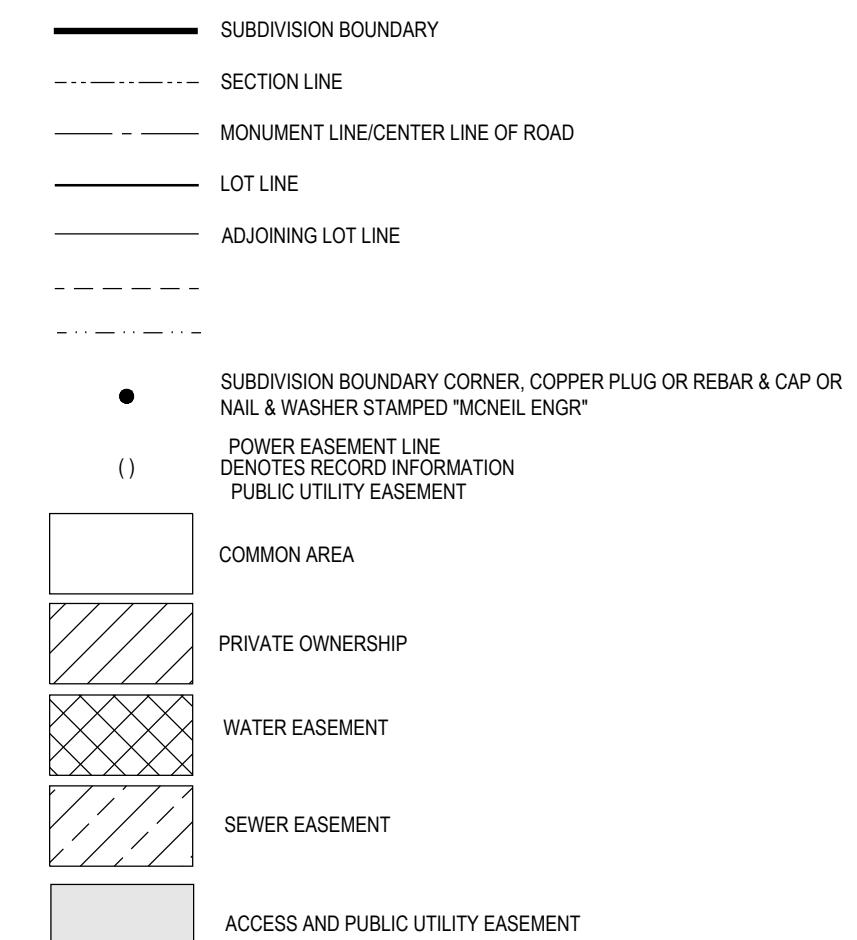
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN



EASEMENTS

① SUBJECT TO AN EASEMENT AS RESERVED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED DECEMBER 18, 1996 AS ENTRY NO. 6531281 IN BOOK 559 AT PAGE 2707 OF OFFICIAL RECORDS.
② AN EASEMENT FOR WATER PIPELINE AND RELATED FACILITIES AND INCIDENTAL PURPOSES, THE EXACT LOCATION OF WHICH WAS NOT DISCLOSED, AS CREATED IN FAVOR OF TAYLORSVILLE-BENNION IMPROVEMENT DISTRICT, A BODY POLITIC, BY INSTRUMENT RECORDED OCTOBER 31, 2018 AS ENTRY NO. 12877749 IN BOOK 10726 AT PAGE 5736 OF OFFICIAL RECORDS.

LEGEND



VICINITY MAP

SCALE: N.T.S.

SURVEYOR'S CERTIFICATE

I, DAVID B. DRAPER DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6861599 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENT AS REPRESENTED ON THIS PLAT, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT INTO LOTS, AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS:

TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT NORTH 89°58'14" WEST 64.55 FEET AND NORTH 00°01'23" WEST FROM THE SOUTH QUARTER CORNER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN AND RUNNING THENCE NORTH 89°58'14" WEST 100.49 FEET, THENCE NORTH 00°05'13" WEST 225.40 FEET; THENCE SOUTH 89°57'08" EAST 125.09 FEET; THENCE SOUTH 00°04'06" EAST 200.71 FEET; THENCE SOUTH 44°49'23" WEST 34.74 FEET TO THE POINT OF BEGINNING.
CONTAINS: 27.881 SQUARE FEET OR 0.640 ACRES (6 LOTS)

DAVID B. DRAPER,
L.S. LICENSE NO. 6861599

OWNER'S DEDICATION

KNOW ALL BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE DESCRIBED TRACT OF LAND HEREON, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS:

TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND DO WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, AND MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES.

MILLCREEK TOWNHOMES LLC

BY:

ITS:

DOMINION ENERGY

APPROVED THIS ____ DAY OF ____ A.D. 20____
BY DOMINION ENERGY.

DOMINION ENERGY

APPROVED THIS ____ DAY OF ____ A.D. 20____
BY THE SALT LAKE COUNTY HEALTH DEPARTMENT.

COUNTY HEALTH DEPARTMENT

APPROVED THIS ____ DAY OF ____ A.D. 20____
BY THE SALT LAKE COUNTY BOARD OF HEALTH.

ROCKY MOUNTAIN POWER

APPROVED THIS ____ DAY OF ____ A.D. 20____
BY ROCKY MOUNTAIN POWER.

ROCKY MOUNTAIN POWER

APPROVED THIS ____ DAY OF ____ A.D. 20____
BY THE TAYLORSVILLE PLANNING COMMISSION.

TAYLORSVILLE PLANNING COMMISSION

STATE OF UTAH
COUNTY OF SALT LAKE S.S.
ON THE ____ DAY OF ____ A.D. 20____, PERSONALLY APPEARED BEFORE ME
DULY SWORN TO SAY THAT THEY ARE THE _____ OF MILLCREEK TOWNHOMES, LLC, A UTAH LIMITED LIABILITY COMPANY,
BY AUTHORITY OF ITS MEMBERS OR ITS ARTICLES OF ORGANIZATION, AND THEY ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY
EXECUTED THE SAME.

MY COMMISSION NUMBER:
RESIDING IN _____ COUNTY, _____ NOTARY PUBLIC

TAYLORSVILLE 6 LIVE/WORK TOWNHOMES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN

SALT LAKE COUNTY RECORDER
RECORD NO. _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE \$ _____
SALT LAKE COUNTY RECORDER



W315360

DRAFT / CCP

DECLARATION OF
COVENANTS, CONDITIONS, AND RESTRICTIONS

ESTABLISHING A PLANNED UNIT
DEVELOPMENT

FOR
TAYLORSVILLE 6
VALLEY VIEW PRUD

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EXHIBIT "A" – Description of Property and Plat of Property

EXHIBIT "B" – By Laws of ~~Valley View~~ PRUD HOA

Taylorsville 6

Jim Spung

From: Roberta Sweeney <>
Sent: Monday, October 16, 2023 11:07 AM
To: Jim Spung
Subject: [EXTERNAL] Notification Received About the Meeting Regarding the Property at 6200 South and 2700 West

Importance: High

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thank you for the notification of the meeting scheduled for October 24, 2023, to discuss this property. I received the letter on Saturday, October 14.

As much as I appreciate the notification, it would have been nice to have been able to read all of the information. The information included on the reverse side, not attached, was impossible to read. It appears as thou several pages were incorporated into one page on the reverse side. Even with a super magnifying glass, it was impossible to read!

If you want to have "happier campers" at the October 24 meeting, it would be great to have the information ahead of this meeting.

As the closest resident to this property and also a senior citizen, I have **great** concern about the landscaping and what is being done on that property. As it is now, I have more than an abundance of leaves from neighbors.

Would you please provide me **by postal mail** the information on the reverse side of the notification letter in a format size that is readable?

With regards,

Roberta Sweeney
6141 South Hazelhurst Drive
Taylorsville, UT 84129

Home Phone:

P.S. Also, the sewer line access and its status have been areas of concern. Would you please address this in your letter as well.