



## ALPINE CITY PLANNING COMMISSION MEETING

**NOTICE** is hereby given that the **PLANNING COMMISSION** of Alpine City, Utah will hold a **Public Meeting** on **Tuesday, October 17<sup>th</sup>, 2023, at 6:00 p.m. at City Hall, 20 North Main Street, Alpine, Utah.**

The public may attend the meeting in person or view the meeting via the **Alpine City YouTube Channel**. A direct link to the channel can be found on the home page of the Alpine City website: [alpinecity.org](https://www.alpinecity.org).

### **I. GENERAL BUSINESS**

- A. Welcome and Roll Call: Jane Griener
- B. Prayer/Opening Comments: John Mackay
- C. Pledge of Allegiance: By Invitation

### **II. REPORTS AND PRESENTATIONS**

- A. N/A

### **III. ACTION/DISCUSSION ITEMS:**

- A. **Public Hearing: Rezone Request- Rezone Parcels 11:023:0129 and 11:0023:0083 (476 S. Alpine Hwy) from CR-40,00 to Business Commercial.**
- B. **Public Hearing: Code Amendment 3.03.050 setback requirements in the CR-20,000 zone for accessory structures on a corner lot.**
- C. **Build able Area Adjustment Request: 443 W Lakeview Drive**
- D. **Commercial Building Sign Reviews**
  - i. Sundance Dental
  - ii. WellPath Center
- E. **Code Amendment: 4.06 Subdivision Review Process (Concept Plan)**

### **IV. COMMUNICATIONS**

### **V. APPROVAL OF PLANNING COMMISSION MINUTES: October 3rd, 2023**

### **ADJOURN**

Chair Jane Griener  
October 13<sup>th</sup>, 2023

**THE PUBLIC IS INVITED TO ATTEND ALL PLANNING COMMISSION MEETINGS.** If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 5.

CERTIFICATION OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted at Alpine City Hall, 20 North Main, Alpine, UT. It was also sent by e-mail to The Daily Herald located in Provo, UT a local newspaper circulated in Alpine, UT. This agenda is also available on the City's web site at [www.alpinecity.org](http://www.alpinecity.org) and on the Utah Public Meeting Notices website at [www.utah.gov/pmnn/index.html](http://www.utah.gov/pmnn/index.html).



## PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversations with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction with the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers, or other noise-making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on a conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

### Public Hearing vs. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing, there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

# ALPINE CITY PLANNING COMMISSION AGENDA

**SUBJECT: Rezone Request**

**FOR CONSIDERATION ON: October 17<sup>th</sup>, 2023**

**PETITIONER: Dan Ford + Gordon Jacobson**

**ACTION REQUESTED BY PETITIONER: Recommend approval of a rezoning request at parcel #s 11:023:0083 & 11:023:0129 From CR-40,000 to B-C.**

**Review Type: Legislative**

## **BACKGROUND INFORMATION:**

Dan Ford and Gordon Jacobson have submitted an application to rezone two parcels located along Alpine Highway parcel #s 11:023:0083(476 S Alpine Hwy) & 11:023:0129. These parcels are both currently zoned CR-40,000 (1 dwelling unit per 40,000 square feet). The lots to the west and across the street continue the CR-40,000 zoning, while the lots to the East are zoned Business Commercial B-C. The property at 476 S Alpine Highway currently has a house on it that would be removed as part of the development of commercial properties at some point. The applicant intends to develop these properties as retail commercial units. This application is only for a rezone request. If approved the applicant will also be required to go through the approval process that any commercial development would to make sure the uses, aesthetics, and other development codes are followed in future meetings.

## **CITY CODE:**

[Alpine Development Code 3.07 Business Commercial Zone \(B-C\)](#)  
[Alpine Development Code 3.04 Country Residential Zone \(CR-40,000\)](#)

## **GENERAL PLAN:**

Goal #2 Policies:

**Business Commercial:** *Land zoned as B-C (Business Commercial) shall consist of professional office, retail and other commercial uses serving the community and situated within an environment which is safe and aesthetically pleasing. Limited residential shall be permitted as set forth in the Alpine City Development Code. (Pg. 7 Alpine General Plan)*

**CR-40,000:** *Land zoned as CR-40,000 (Country Residential – 40,000 square foot minimum lot size) shall include, but is not exclusive to, land generally located around the periphery of the City center considered appropriate for low-density residential development. These areas should provide for the perpetuation of the rural and open space image of the City. (Pg. 7 Alpine General Plan.)*

**NOTICING:** The noticing requirements of the State of Utah and Alpine City have been met. A public hearing is required as part of tonight's meeting.

## **STAFF RECOMMENDATION:**

Because this is a legislative decision the standards for approval or denial are that the proposed application should be compatible with the standards found in the general plan as well as the current city code and policies. A decision for approval or denial should be based on those criteria.

**SAMPLE MOTION TO APPROVE:**

I move to recommend approval of the proposed zone change for parcels # 11:023:0083 and 11:023:0129 from the CR-40,000 to the Business Commercial Zone.

- **\*\*insert finding\*\***

**SAMPLE MOTION TO APPROVE WITH CONDITIONS:**

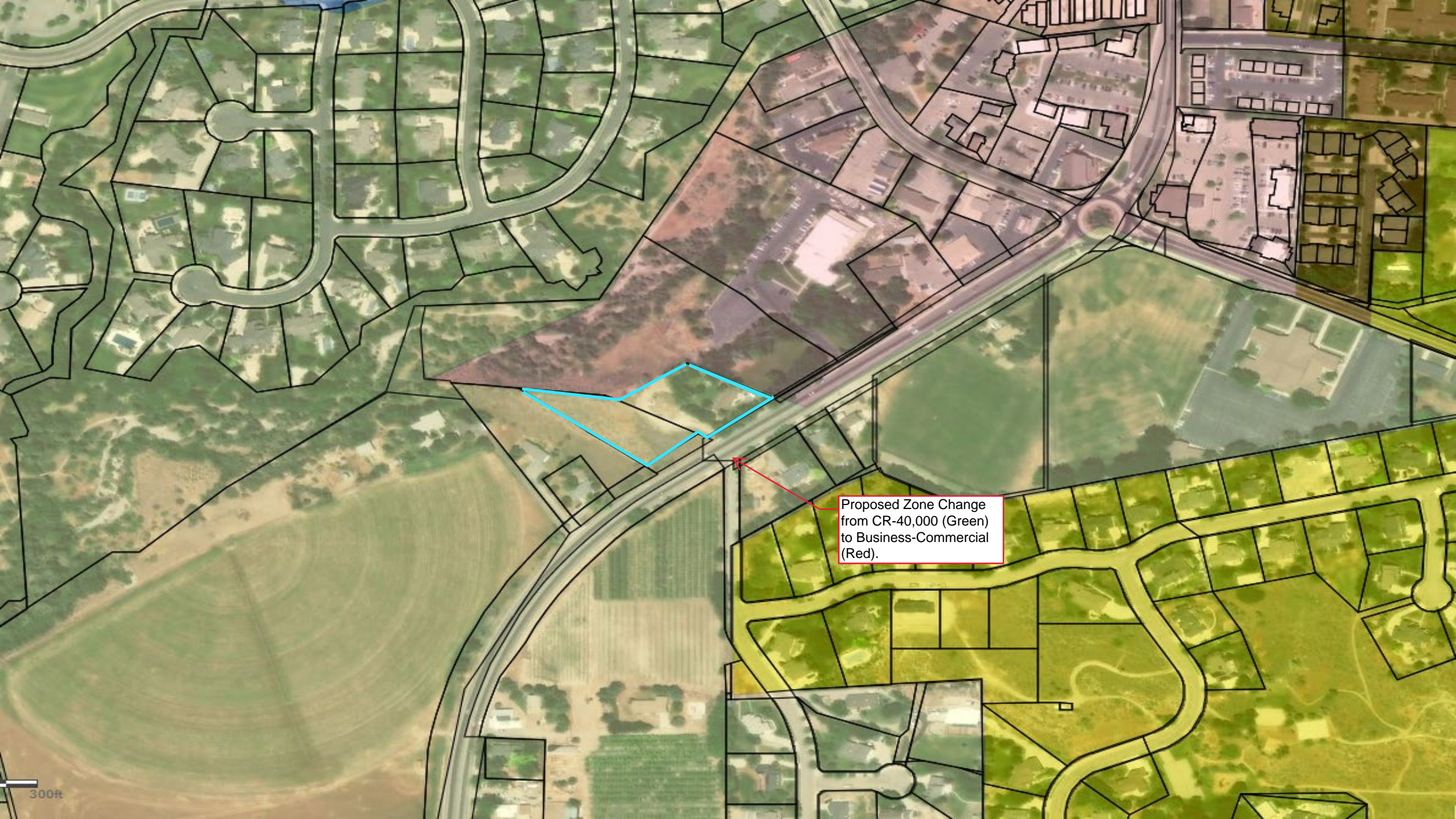
I move to recommend approval of the proposed zone change for parcels # 11:023:0083 and 11:023:0129 from the CR-40,000 to the Business Commercial Zone with the following conditions/changes:

- **\*\*insert finding\*\***

**SAMPLE MOTION TO TABLE/DENY:**

I move to table/deny the proposed zone change for parcels # 11:023:0083 and 11:023:0129 from the CR-40,000 to the Business Commercial Zone based on the following:

- **\*\*insert finding\*\***



Proposed Zone Change  
from CR-40,000 (Green)  
to Business-Commercial  
(Red).

300ft

# Business Commercial

43 Units

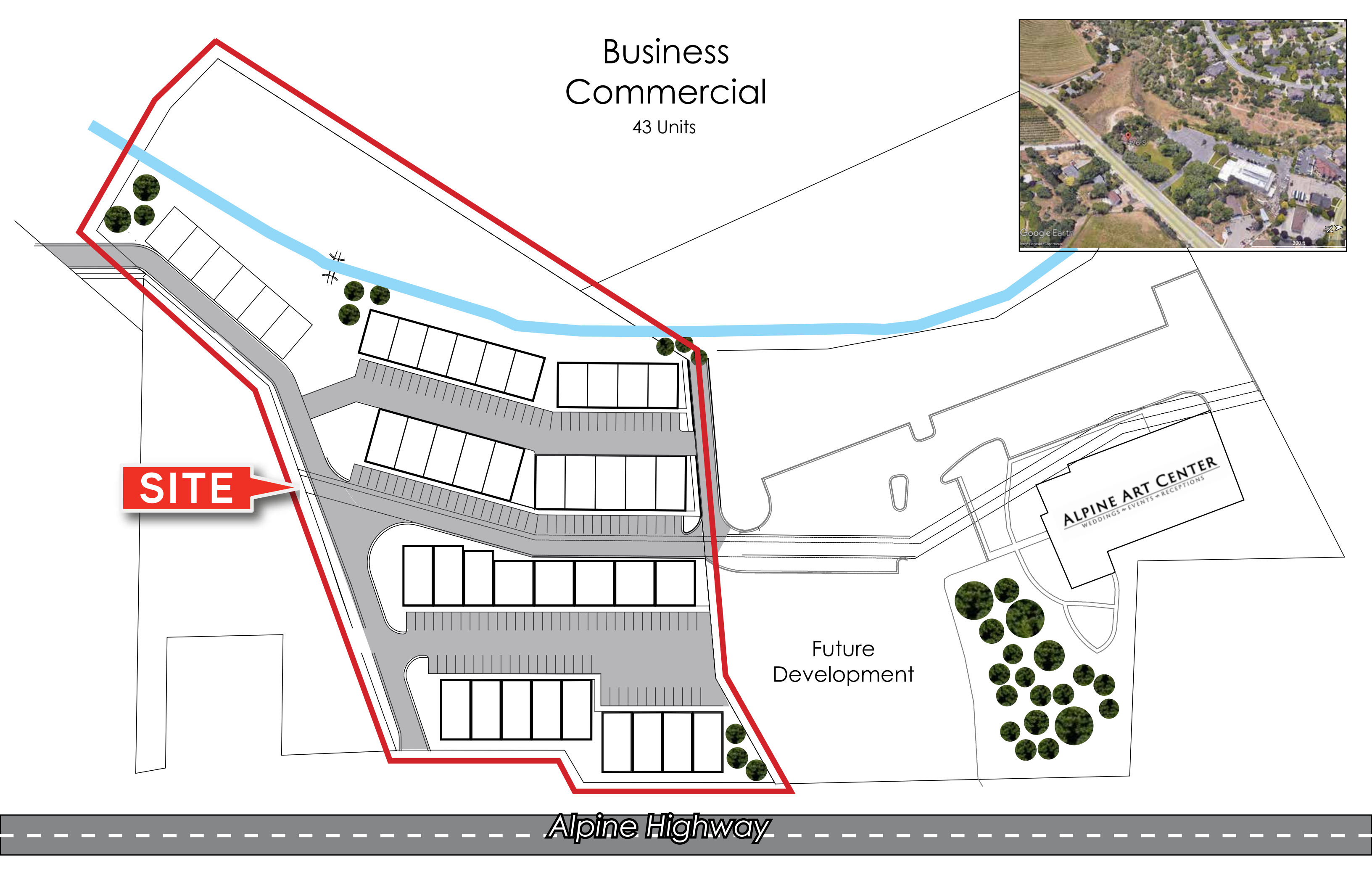


**SITE**

Future  
Development

**ALPINE ART CENTER**  
WEDDINGS • EVENTS • RECEPTIONS

*Alpine Highway*











BROADBENT COMMUNITY ROOM

JOSEPH D. ADAMS  
PUBLIC SAFETY BUILDING

LEWIS CITY POLICE  
PUBLIC SAFETY BUILDING

128

VOTE  
HERE

VOTE  
HERE



# ALPINE CITY PLANNING COMMISSION AGENDA

**SUBJECT: Code Amendment- Accessory Structure Setback Requirements CR-20,000 Zone.**

**FOR CONSIDERATION ON: October 17<sup>th</sup>, 2023**

**PETITIONER: Markus Schellenberg**

**ACTION REQUESTED BY PETITIONER: Recommend approval of a code amendment to alter side yard setbacks for accessory structures on a corner lot in the CR-20,000 zone.**

**Review Type: Legislative**

## **BACKGROUND INFORMATION:**

Markus Schellenberg has submitted an application to amend the current Alpine Development Code 3.03.050 Setback Requirements for accessory structures, specifically the side yard setback requirement for corner lots. The current standard is that the accessory structure shall not be back not less than forty (40) feet from the side lot line which abuts a street.

The proposed change from the applicant would require that no accessory structure could be in the site view triangle (The area formed by connecting the corner of the property to points thirty-five (35) feet back along each property line abutting the street) only. It is very common for cities to have increased setback requirements for corner lots due to their increased street frontage. This change would apply to all lots within the CR-20,000 zone, so consideration should be taken as to how this will impact every corner lot not just the one being considered.

Staff would recommend also adding language that in order for an accessory structure to be closer than the 40' setback on a corner lot when abutting a street, the same standards for interior lots to have decreased setback would apply to corner lots on the side yard only. This includes a restriction on height, size of the structure, and utility easement requirements. For aesthetics purposes, we would also recommend adding a requirement that a privacy fence must be constructed on the side yard nearest to the road.

Setback requirements are intended to provide for the following:

- **Safety:** Setbacks enhance visibility and safety, a setback is meant to ensure that drivers, pedestrians, and cyclists have clear lines of sight in an effort to reduce the risk of accidents. They are also meant to act as a barrier to neighboring properties in emergency situations (i.e. a fire barrier for example).
- **Aesthetics:** Setbacks are meant to promote an open feel and avoid the creation of a “canyon-like effect” where structures appear too close to sidewalks and streets creating a clustered appearance.

## **CITY CODE:**

[Alpine City Code 3.03.050](#)

**NOTICING:** The notice requirements of the State of Utah and Alpine City have been met. A public hearing is required as part of tonight's meeting.

**STAFF RECOMMENDATION:**

Because this is a legislative decision the standards for approval or denial are that the proposed application should be compatible with the standards found in the general plan as well as the current city code and policies. A decision for approval or denial should be based on those criteria.

If the Planning Commission recommends approval to the City Council, Staff recommends including in the motion that the CR-40,000, TR-10,000, and B-C zones also have amended setback requirements for accessory structures on corner lots for uniformity within the code.

**SAMPLE MOTION TO APPROVE:**

I move to recommend approval of the proposed code amendment to section 3.03.50 requiring setbacks for accessory structures on corner lots to be the same as interior lots if they are located outside the designated sight triangle as defined by Alpine City Code.

- **\*\*insert finding\*\***

**SAMPLE MOTION TO APPROVE WITH CONDITIONS:**

I move to recommend approval of the proposed code amendment to section 3.03.50 requiring setbacks for accessory structures on corner lots to be the same as interior lots if they are located outside the designated sight triangle as defined by Alpine City Code. with the following conditions/changes:

- **\*\*insert finding\*\***

**SAMPLE MOTION TO TABLE/DENY:**

I move to recommend to table/deny the proposed code amendment to section 3.03.50 requiring setbacks for accessory structures on corner lots to be the same as interior lots if they are located outside the designated sight triangle as defined by Alpine City Code. based on the following:

- **\*\*insert finding\*\***

# Proposed Alpine city code for Accessory Structures:

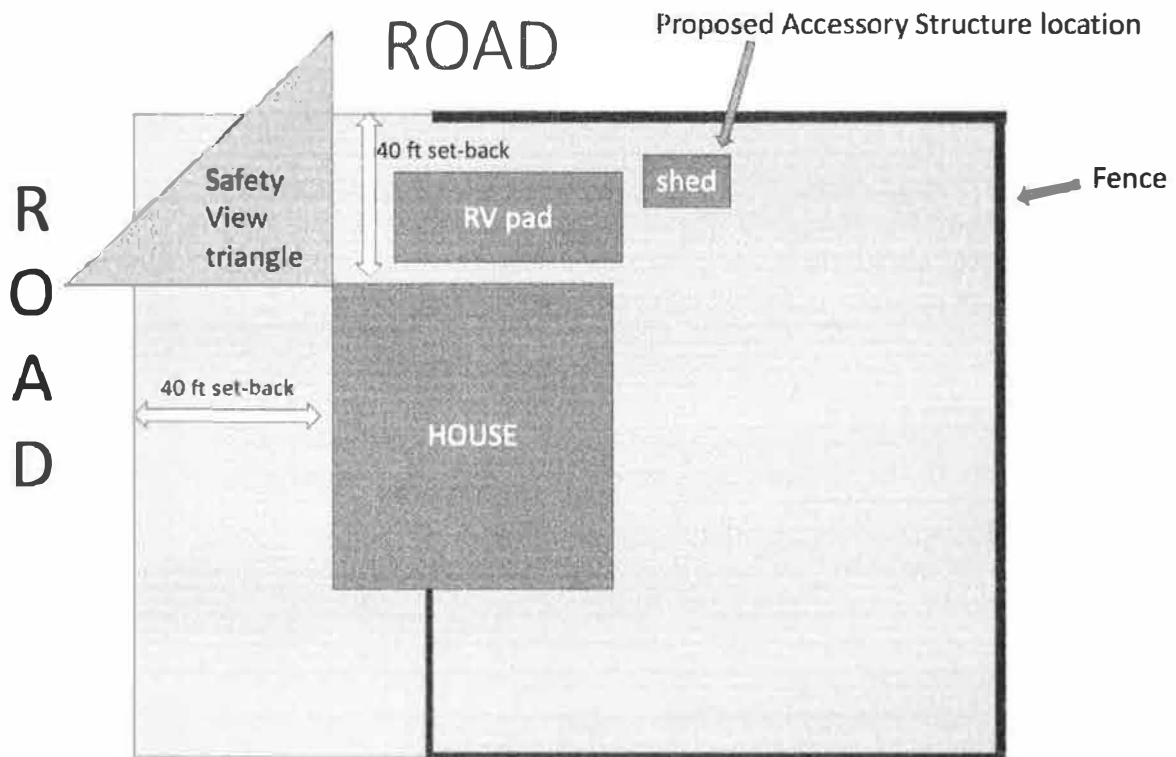
3.03.050

2 (customary Residential Accessory Structures)

a. Accessory Structures

- i. Setback from main building...
- ii. Side Setback - Corner Lot, Side Abutting a Street. Accessory Structures shall not be in the safety view triangle. (safety view triangle is referenced in the city fence code section)
- iii. Front setback...
- iv. Side and rear setback...

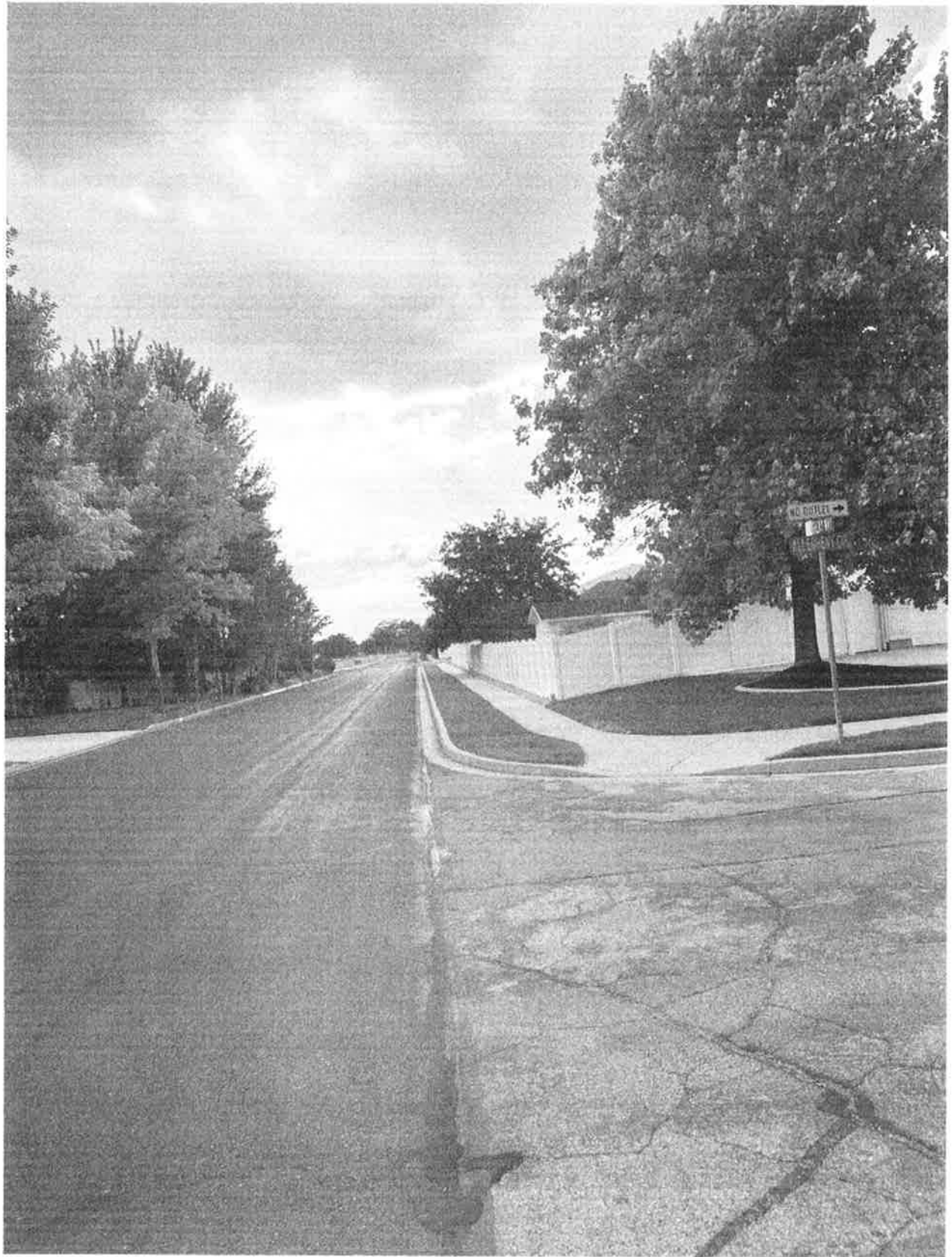
How this will look.



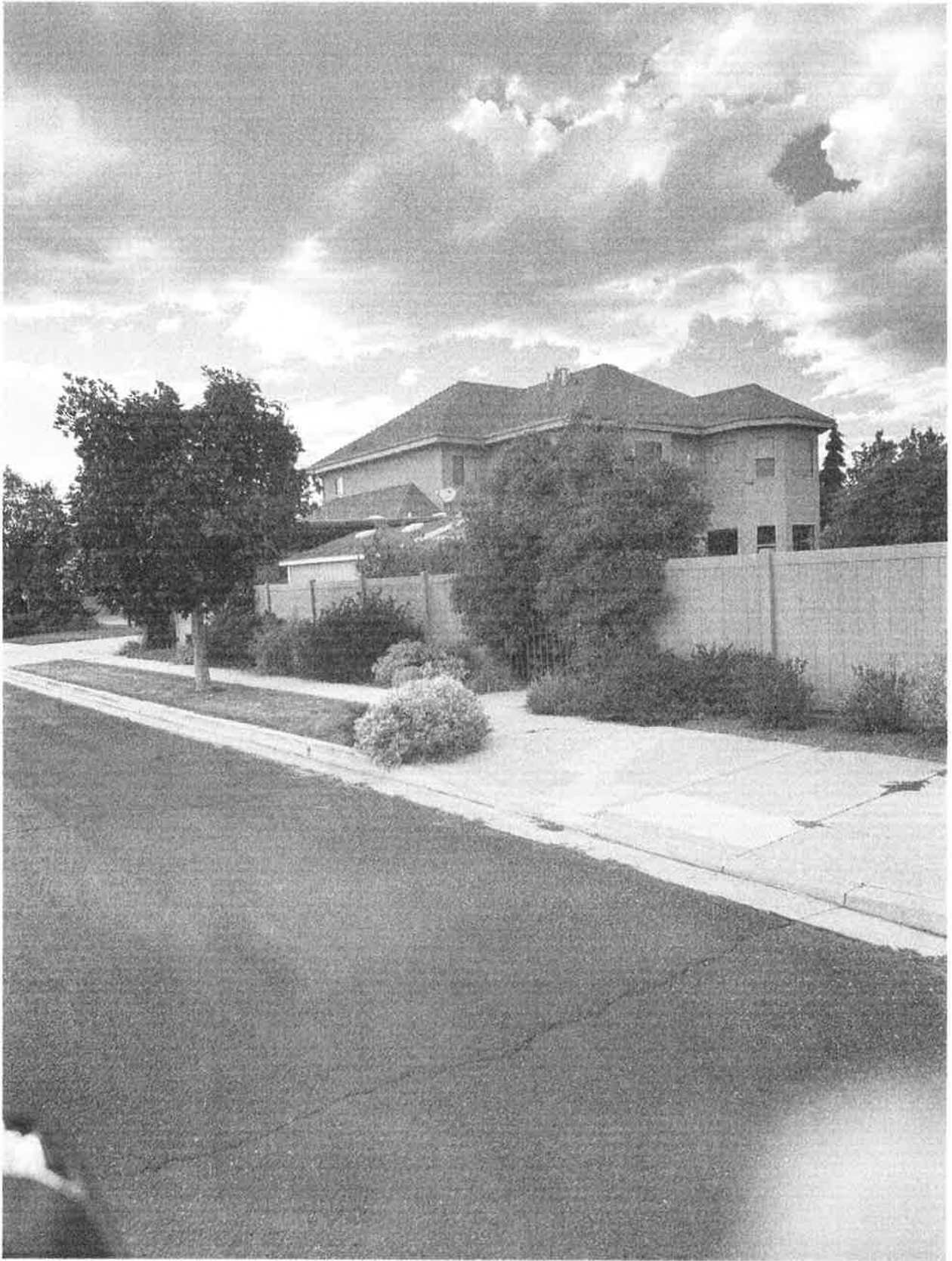
## Examples

(as you will see, this practice is already being done throughout the city):



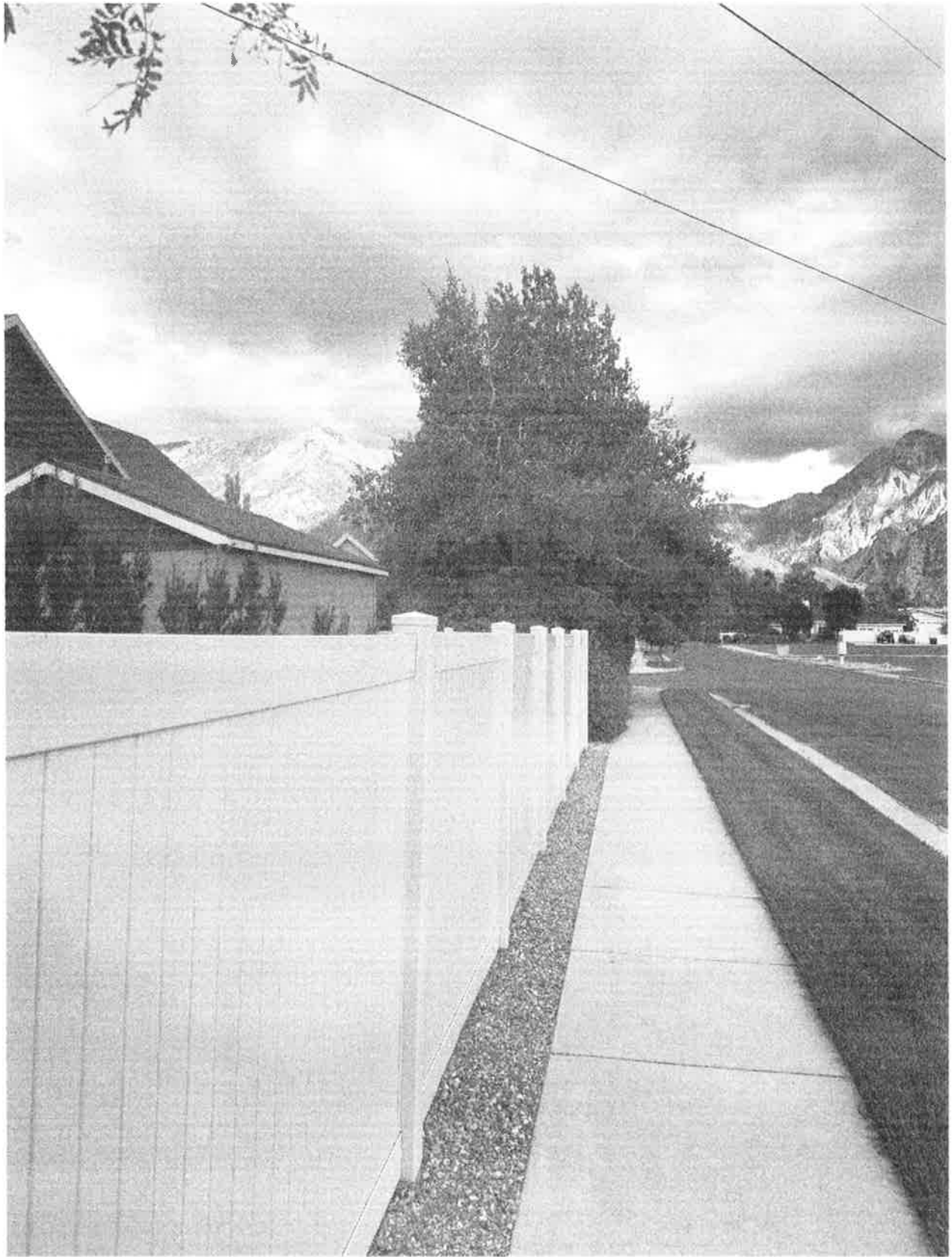




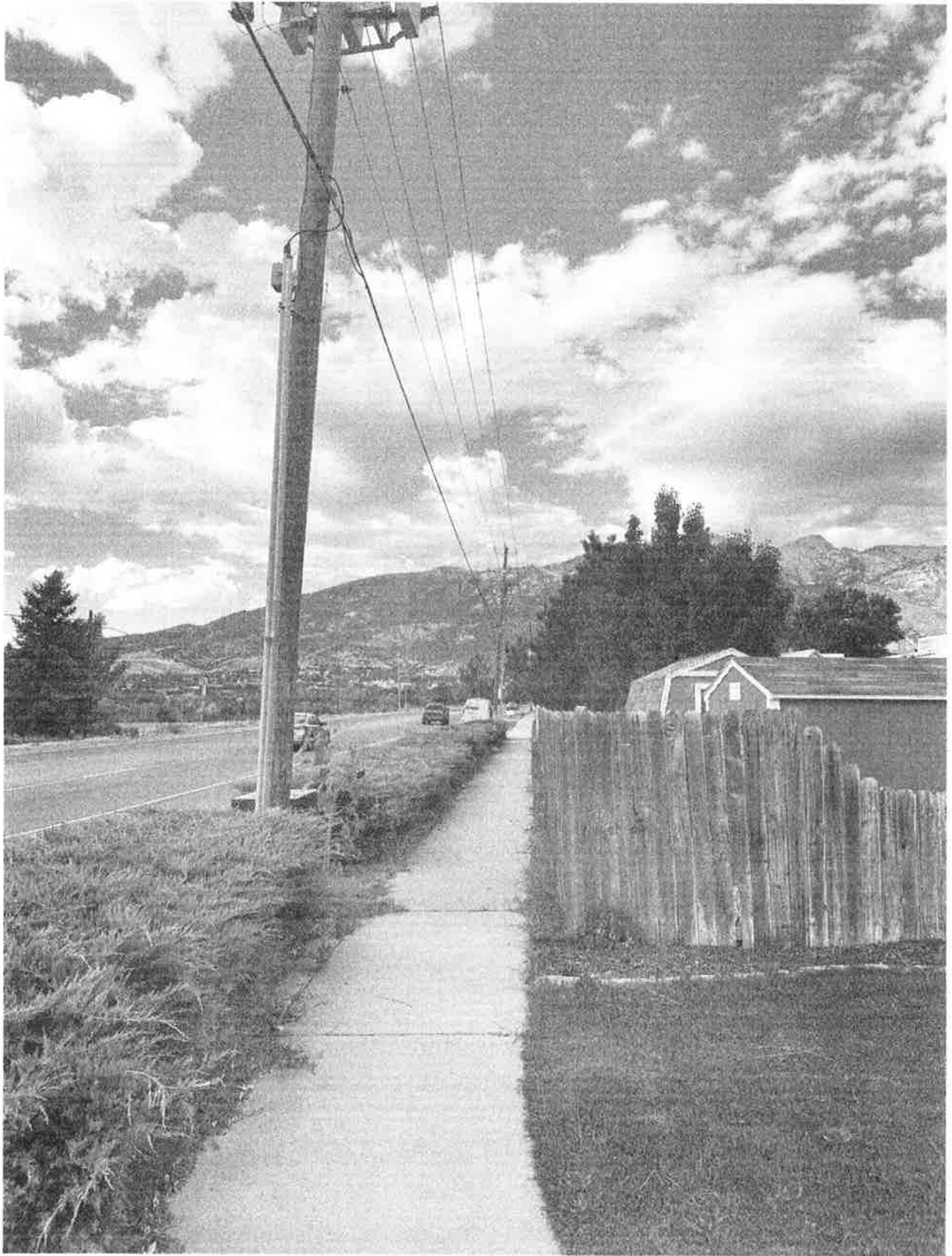


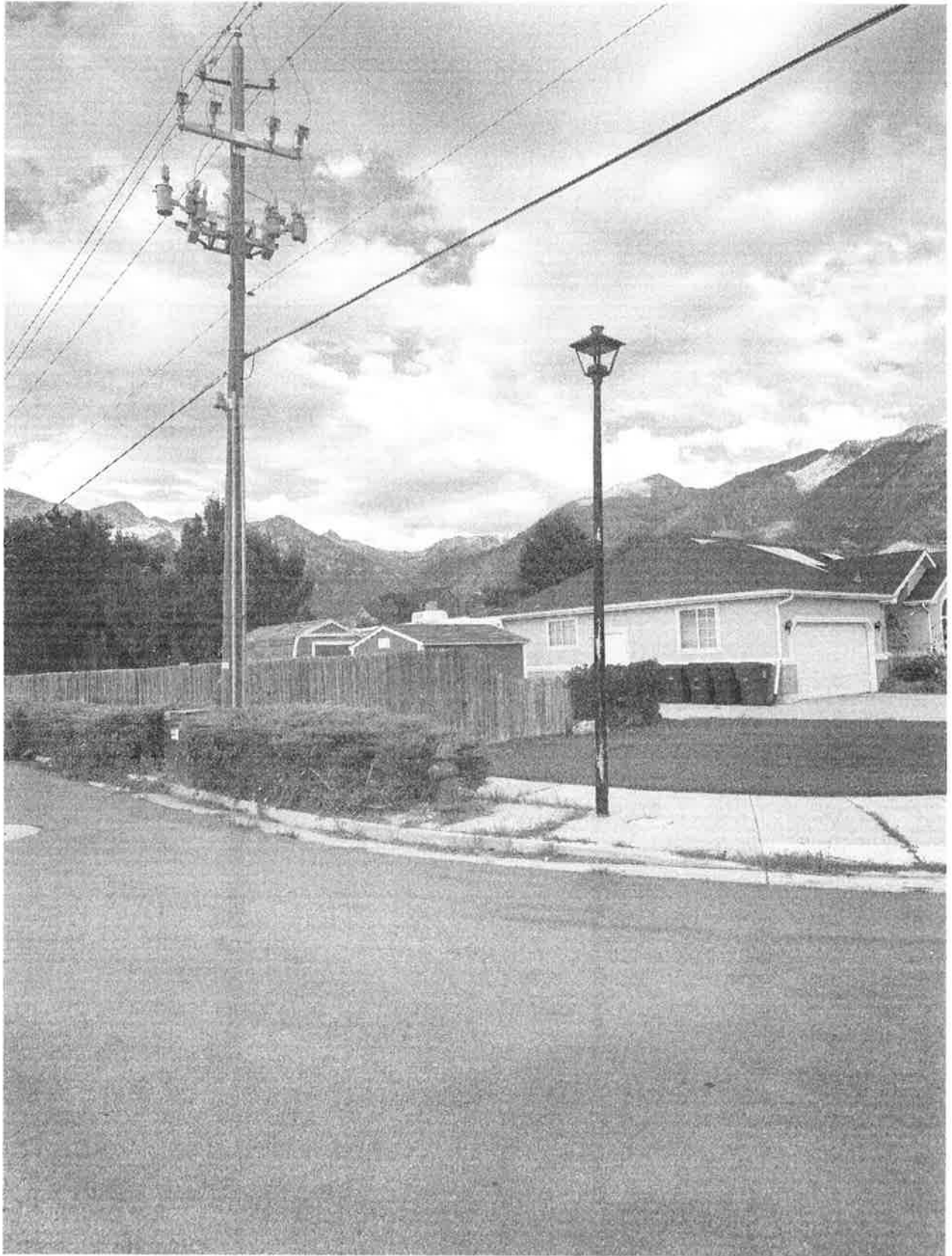




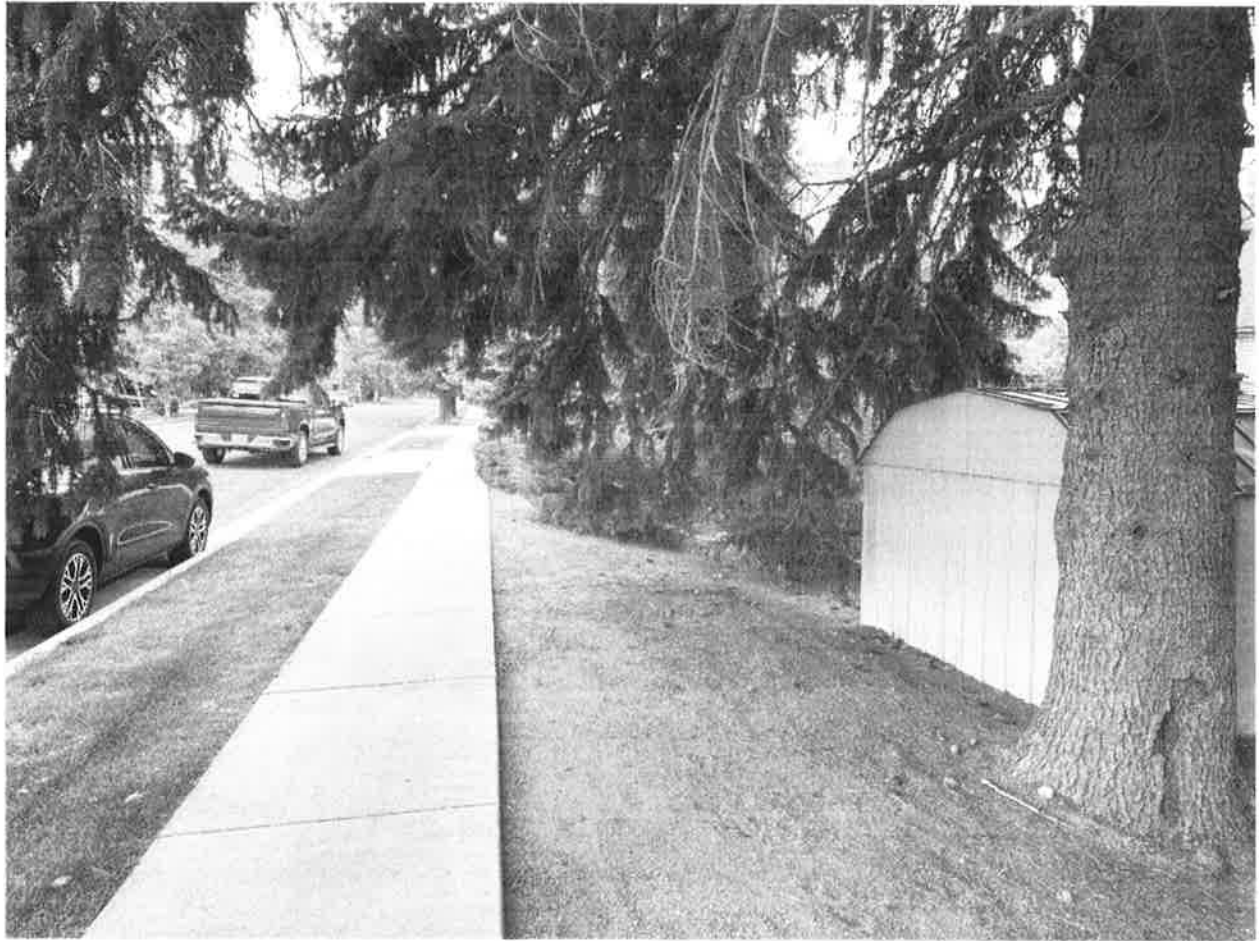




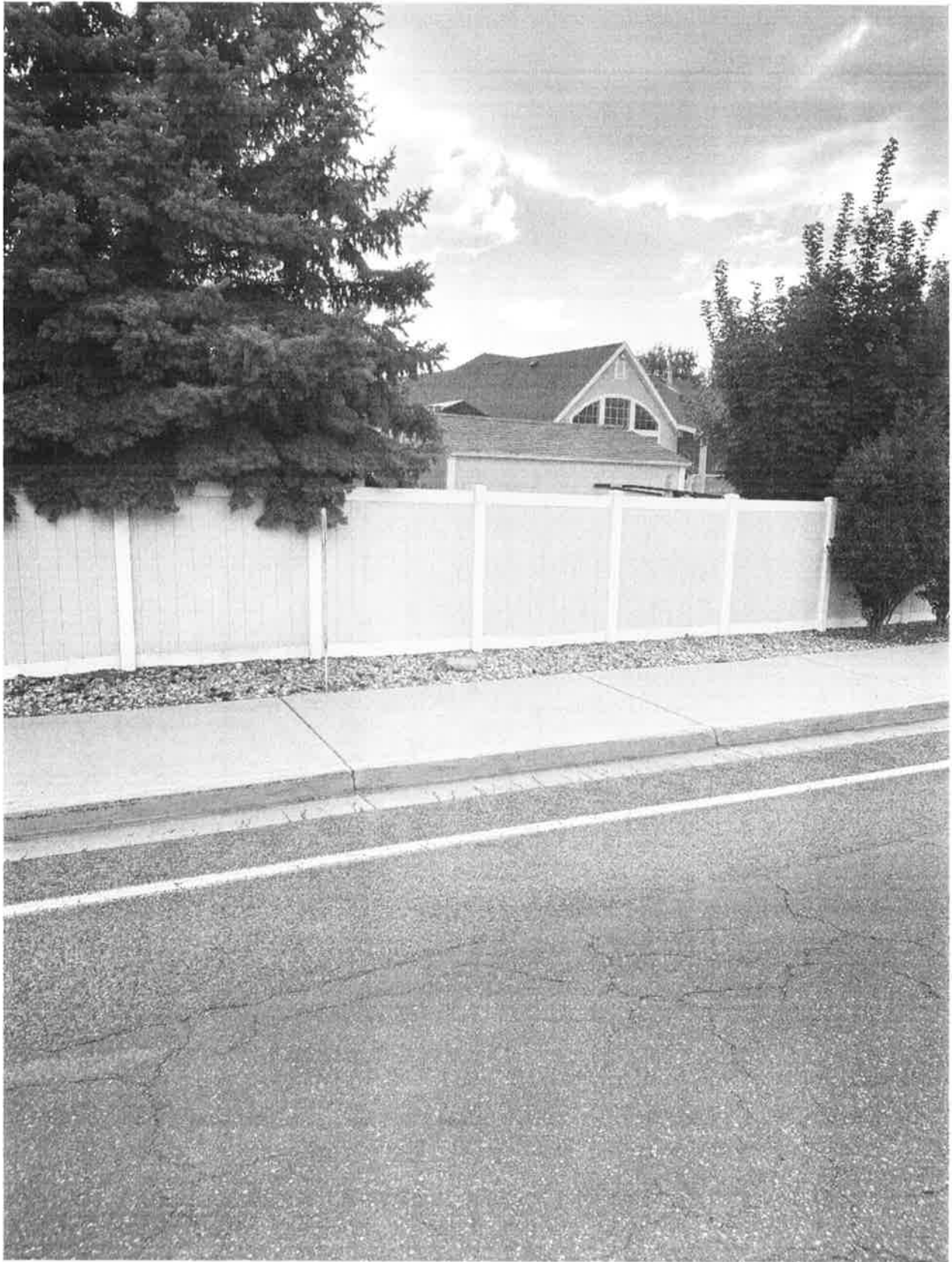




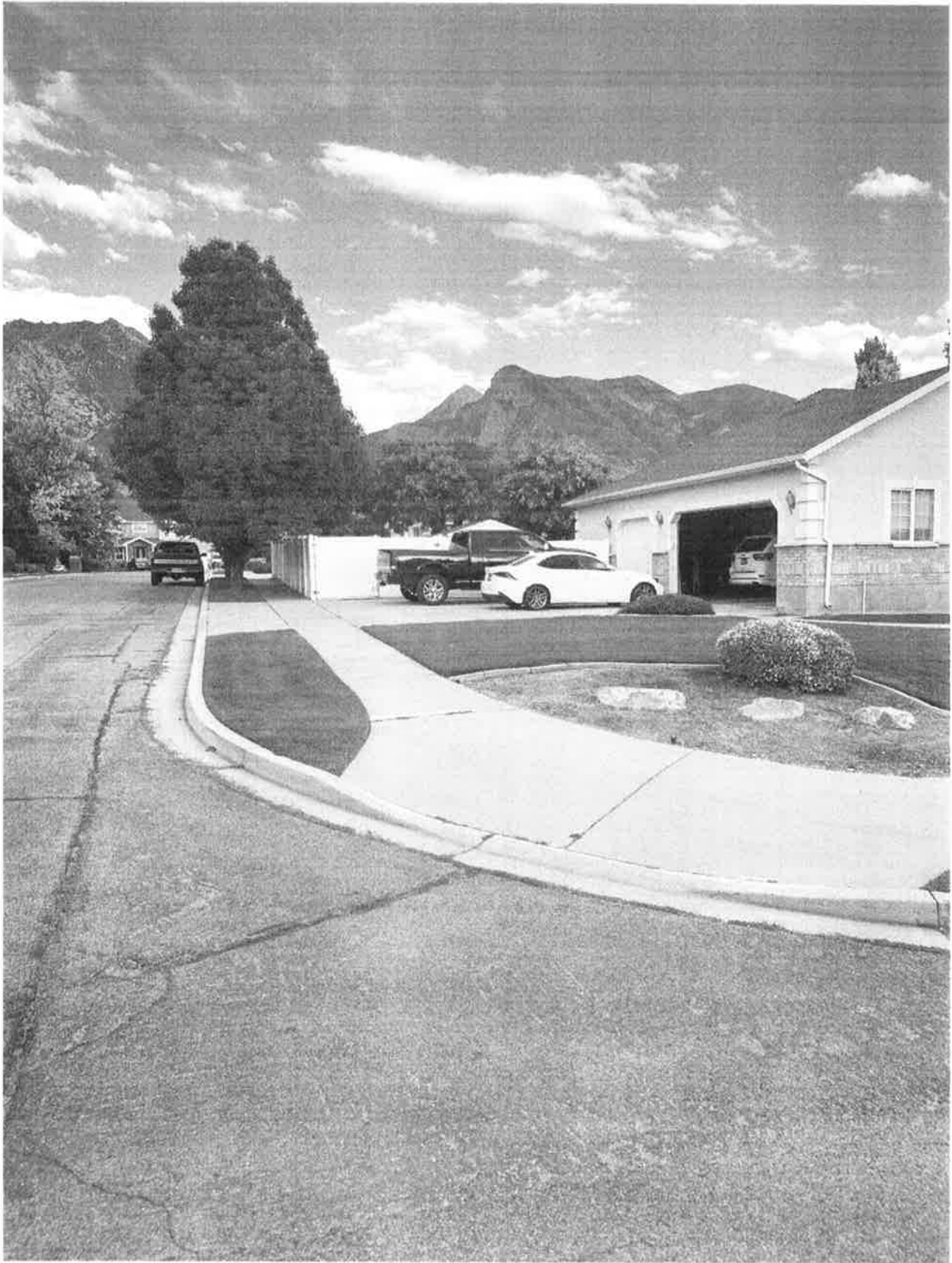












### **3.03.050 Setback Requirements (See Appendix For Drawing)**

- 1) **Dwellings and other Main Buildings.** All dwellings and other main buildings shall be setback from the lot boundary lines as follows:
  - a) Front Yard. The minimum front yard for all main dwelling structures shall be thirty (30) feet (measured from the front property line).
  - b) Side Yard - Interior Lots. For single-unit detached dwellings, main buildings shall be situated on the lot to allow for a side yard on each side of the main building the aggregate width of which shall be at least thirty (30) feet. Neither side yard shall be less than twelve (12) feet.
  - c) Side Yard - Corner Lots. On corner lots, the front, rear and side yard requirements shall be the same as above, except that the set back on any side that faces onto a public street shall be not less than thirty (30) feet.
  - d) Rear Yard - Interior Lots. All main dwelling structures shall be set back from the rear property line a distance of not less than thirty (30) feet.
  - e) Rear Yard - Corner Lots. Rear yard set back for dwellings on corner lots shall be the same as that required for interior lots.
- 2) **Customary Residential Accessory Structures.** All Customary Residential Accessory Structures (henceforth referred to as Accessory Structures) shall be located in accordance with the setbacks and regulations outlined below. Accessory Structures that also meet the classification of Accessory Building shall require a building permit. Swimming pools have separate location requirements (see item b). (Amended by Ord. No. 2006-14, 9/12/06; Ord. No. 2010-03, 8/24/10)
  - a) **Accessory Structures.**
    - i) **Setback from Main Building.** Accessory Structures shall be set back not less than five (5) feet from the main building.  
Additionally, Accessory Buildings which are located twelve (12) feet or closer to a main building and are attached to the main building by a common roof or wall shall be considered as part of the main building and shall meet the same setbacks as the main building.
    - ii) **Side Setback - Corner Lot, Side Abutting a Street.** Accessory Structures shall be set back not less than forty (40) feet from the side lot line which abuts ~~on~~ a street except that a two (2) foot minimum side setback may be allowed if conditions outlined in section (iv 1-8) can be met. A privacy fence is also required the side yard property for the setback exception.
    - iii) **Front Setback.** Accessory Structures shall be set back not less than forty (40) feet from the front property line.
    - iv) **Side and Rear Setback - Interior Lot Line.** Accessory Structures shall be set back not less than fifteen (15) feet from the rear lot line and ten (10) feet from the side lot line, except that a two (2) foot minimum rear or side setback shall be required when all the following conditions are met:
      - (1) The Accessory building is located more than twelve (12) feet from an existing dwelling on the same or adjacent lot;

- (2) If the Accessory Structure is an Accessory Building, it shall contain no openings on the side contiguous to the lot line;
- (3) No drainage from the roof will be discharged onto an adjacent lot;
- (4) The Accessory Structure shall be constructed of non-combustive materials or have fire resistive walls rated at one (1) hour or more;
- (5) The Accessory Structure will not be placed on land designated as a recorded easement, such as a utility or trail easement, unless the owner(s) of said easement agree(s) to allow the encroachment. Documentation of the agreement shall be provided to the City;
  - (a) When utilities are present in an easement, the Accessory Structure shall not be permanently attached to the ground and can be moved or relocated within 24 hours. Fines shall be issued for buildings that cannot be moved within 24 hours.
  - (b) The owner acknowledges that they bear all costs of moving the Accessory Structure, including damage to the property, in the event an easement needs to be accessed.
- (6) The Accessory Structure will not be taller than twelve (12) feet six (6) inches to the top of the roof line;
- (7) If the Accessory Structure is an Accessory Building, it will not exceed 200 square feet in size;
- (8) The City Council may grant additional exceptions to the above conditions if the Accessory Structure will be located adjacent to a non-residential property; and
- (9) No minimum rear or side setback shall be required if the building will not be taller than ten (10) feet to the top of the roof line.

# ALPINE CITY PLANNING COMMISSION AGENDA

**SUBJECT: Buildable Area Adjustment Approval.**

**FOR CONSIDERATION ON: October 17<sup>th</sup>, 2023**

**PETITIONER: Craig Kitterman**

**ACTION REQUESTED BY PETITIONER: Approve a Buildable Area Designation  
Adjustment for a Lot at 443 Lake View Drive.**

**Review Type: Administrative**

## **BACKGROUND INFORMATION:**

Craig Kitterman from Kitterman & Associates Architects has submitted an application to the Planning Commission to grant approval for a buildable area on a lot with slopes greater than 25%. [Alpine Development Code 3.04.080 #4 \(b\)](#) allows the Planning Commission to potentially approve or require the placement of the designated buildable area in a location that does not conform to one or more of the criteria for a buildable area if certain standards can be met. The applicant has submitted material explaining how they meet the requirements for this exception. This material includes a geotechnical report that states the area is safe to build on, which has been accepted by City Staff.

This approval would be for the requirement that a buildable area has no territory having a natural slope of 20% or greater (see the city code section of the staff report for a more in-depth explanation). According to a slope analysis created by the City Engineer, the average slope of the entire lot is 25.86% (attached) with portions in the bright red having a 20%-25% slope and the darker red has a 25%-30% slope.

## **CITY CODE:**

[Alpine Development Code 3.01.110 Definitions](#) Explains that a buildable area must “Contain no territory having a natural slope of twenty (20) percent or greater.”

[Alpine Development Code 3.03.080 #4 Buildable Area Requirement](#) Allows the Planning Commission to approve the placement of the Designated Buildable Area in a location within the lot that does not conform to one or more of the criteria for the buildable area, upon a finding that the proposed Designated Buildable Area:

- (1) will more adequately accommodate subsequent development of the lot, and
- (2) will not constitute a potential hazard to life or property, and/or
- (3) will serve to diminish the negative impact of subsequent development upon the lot or community (i.e. extra-ordinary construction of driveway access, mitigate the visual intrusion of structure on ridge line).

## **STAFF RECOMMENDATION:**

Based on the material provided as well as a review by City Staff of the property and surrounding neighborhood, it is recommended to approve the buildable area adjustment request.

**SAMPLE MOTION TO APPROVE:**

I move to approve the build able area adjustment for the lot at 443 Lake View Drive.

- **\*\*insert finding\*\***

**SAMPLE MOTION TO APPROVE WITH CONDITIONS:**

I move to approve the build able area adjustment for the lot at 443 Lake View Drive with the following conditions/changes:

- **\*\*insert finding\*\***

**SAMPLE MOTION TO TABLE/DENY:**

I move to table/deny the build able area adjustment for the lot at 443 Lake View Drive based on the following:

- **\*\*insert finding\*\***

---

***Craig T. Kitterman and Associates, Architects***

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BUSBY RESIDENCE - 443 LAKEVIEW DR, ALPINE, UT

Request for an exception to the platted building pad.

The plat for this neighborhood shows particular building pads which have not proven to be appropriate for the homes that have been already built and have not been followed to the letter.

This lot in particular shows an impractical building pad given the size of the lot and its orientation to the slope and views. The pad is smaller than those for the neighboring lots while the lot is commensurately large, and the pad is oriented contrary to the practical approach from the street, the available views and slope of the property, etc.

A soils study has been performed by CMT investigating some fill dirt that has been added to the natural grade which has steepened the visible man made grade. They found that the fill is about as deep as the basement excavations will be, therefore there is no danger of building on the fill and no need for providing engineered fill.

CMT has been provided a schematic site plan to review in conjunction with their study and found it appropriate with a few conditions;

All footings and foundations shall extend deep enough to rest on undisturbed soil. No footings and foundations shall sit on engineered fill. The excavated soil is appropriate to use as fill around the home to develop the final grade of the yards

Our request is for an exception to the platted building pad with the home located as shown on the site plan.

October 11, 2023

Mr. Craig Kitterman  
Craig Kitterman & Associates Architects  
1079 E. Murray Holladay Rd.  
Salt Lake City, Utah 84117

RE: Geotechnical Addendum  
Lot 9 International Estates  
443 West Lakeview Drive  
Alpine, Utah  
CMT Job No. 12310

Mr. Kitterman,

As you requested, we have reviewed your proposed elevations of the home versus the fill and natural soils as described in our geotechnical study report<sup>1</sup> we previously prepared for the site. You indicated that a basement and sport court will be constructed below the proposed home and that the footings for those will be placed below the undocumented fill per our report. As recommended in our report, footings should be placed entirely on suitable, undisturbed natural soils or entirely on structural fill extending to suitable natural soils, which we understand is what is planned and is thus acceptable from a geotechnical perspective.

This letter is considered an addendum to the referenced report and subject to the same conditions and limitations presented therein.

If you have any questions, please call.

Sincerely,  
**CMT Technical Services**



William G. Turner, P.E.  
Senior Geotechnical Engineer



<sup>1</sup> "Geotechnical Engineering Study, Lot 9 International Estates, 443 West Lakeview Drive, Alpine, Utah," CMT Project No. 12310, February 4, 2019.



ENGINEERING • GEOTECHNICAL • ENVIRONMENTAL (ESA I & II) •  
MATERIALS TESTING • SPECIAL INSPECTIONS •  
ORGANIC CHEMISTRY • PAVEMENT  
DESIGN • GEOLOGY

## GEOTECHNICAL ENGINEERING STUDY

# Lot 9 International Estates

443 West Lakeview Drive  
Alpine, Utah  
**CMT PROJECT NO. 12310**

FOR:  
Mr. Eric Anderson  
442 West Lakeview Drive  
Alpine, Utah 84004

February 4, 2019

February 4, 2019

Mr. Eric Anderson  
442 West Lakeview Drive  
Alpine, Utah 84004

Subject: Geotechnical Engineering Study  
Lot 9 International Estates  
443 West Lakeview Drive  
Alpine, Utah  
CMT Project No. 12310

Mr. Anderson:

Submitted herewith is the report of our geotechnical engineering study for the subject site. This report contains the results of our findings and an engineering interpretation of the results with respect to the available project characteristics. It also contains recommendations to aid in the design and construction of the earth related phases of this project.

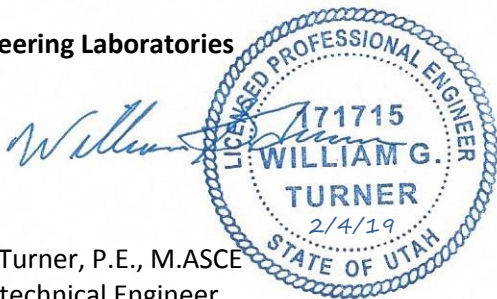
On January 18, 2019, a CMT Engineering Laboratories (CMT) geologist was on-site and supervised the excavation of 2 test pits extending to a depth of about 15 feet below the existing ground surface. Soil samples were obtained during the field operations and subsequently transported to our laboratory for further testing and observation.

Conventional spread and/or continuous footings may be utilized to support the proposed structure, provided the recommendations in this report are followed. A detailed discussion of design and construction criteria is presented in this report.

We appreciate the opportunity to work with you at this stage of the project. CMT offers a full range of Geotechnical Engineering, Geological, Materials Testing, Special Inspection services, and Phase I and II Environmental Site Assessments. With 8 offices throughout Utah and Arizona, our staff is capable of efficiently serving your project needs. If we can be of further assistance or if you have any questions regarding this project, please do not hesitate to contact us at (801) 492-4132.

Sincerely,

CMT Engineering Laboratories



William G. Turner, P.E., M.ASCE  
Senior Geotechnical Engineer

Reviewed by:

Steven L. Smith, P.E., M. ASCE  
Senior Geotechnical Engineer

**TABLE OF CONTENTS**

1.0 INTRODUCTION..... 1  
    1.1 General ..... 1  
    1.2 Objectives, Scope and Authorization ..... 1  
    1.3 Description of Proposed Construction ..... 2  
    1.4 Executive Summary ..... 2  
2.0 FIELD EXPLORATION..... 2  
3.0 LABORATORY TESTING..... 3  
4.0 GEOLOGIC & SEISMIC CONDITIONS..... 4  
    4.1 Geologic Setting..... 4  
    4.2 Faulting ..... 5  
    4.3 Seismicity..... 6  
        4.3.1 Site Class..... 6  
        4.3.2 Seismic Design Category ..... 6  
        4.3.3 Liquefaction..... 6  
    4.4 Other Geologic Hazards..... 6  
5.0 SITE CONDITIONS..... 7  
    5.1 Surface Conditions..... 7  
    5.2 Subsurface Soils..... 7  
    5.3 Groundwater ..... 7  
    5.4 Site Subsurface Variations..... 8  
6.0 SITE PREPARATION AND GRADING..... 8  
    6.1 General ..... 8  
    6.2 Temporary Excavations ..... 8  
    6.3 Fill Material..... 9  
    6.4 Fill Placement and Compaction..... 9  
    6.5 Utility Trenches..... 10  
    6.6 Stabilization ..... 11  
7.0 FOUNDATION RECOMMENDATIONS..... 11  
    7.1 Foundation Recommendations ..... 11  
    7.2 Installation ..... 11  
    7.3 Estimated Settlement ..... 12  
    7.4 Lateral Resistance..... 12  
8.0 LATERAL EARTH PRESSURES ..... 12  
9.0 FLOOR SLABS..... 13  
10.0 DRAINAGE RECOMMENDATIONS ..... 13  
11.0 QUALITY CONTROL..... 14  
12.0 LIMITATIONS ..... 15

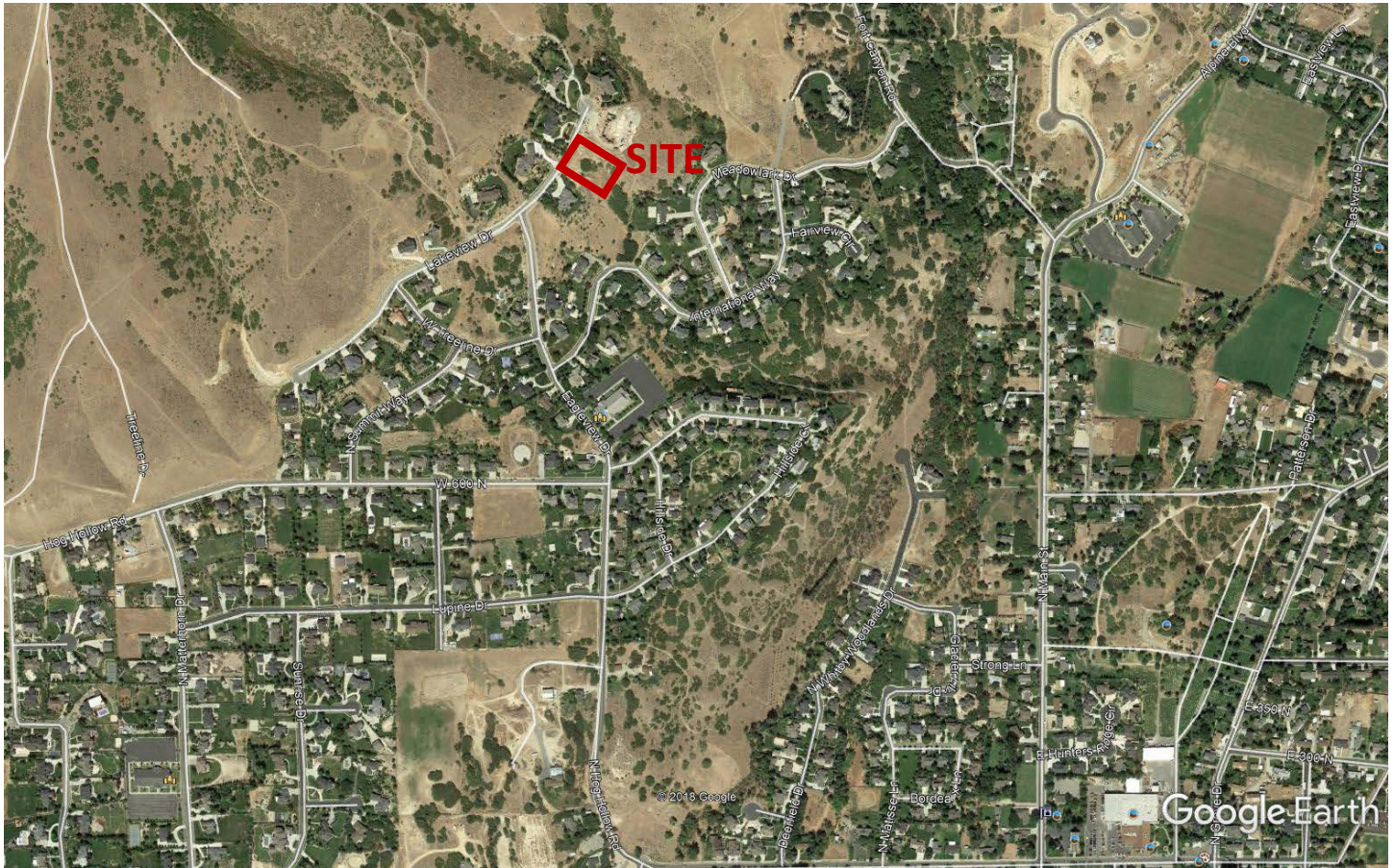
**APPENDIX**

- Figure 1:** Site Plan
- Figures 2 -3:** Test Pit Logs
- Figure 4:** Key to Symbols

## 1.0 INTRODUCTION

### 1.1 General

CMT Engineering Laboratories (CMT) was retained to conduct a geotechnical subsurface study for the proposed construction of a single-family residence at the site. The parcel is situated on the southeast side of Lakeview Drive at 443 West in Alpine, Utah, as shown in the **Vicinity Map** below.



**VICINITY MAP**

### 1.2 Objectives, Scope and Authorization

The objectives and scope of our study were planned in discussions between Mr. Eric Anderson and Mr. Bill Turner of CMT Engineering Laboratories (CMT). In general, the objectives of this study were to define and evaluate the subsurface soil and groundwater conditions at the site, and provide appropriate foundation, earthwork, pavement and seismic recommendations to be utilized in the design and construction of the proposed development.

In accomplishing these objectives, our scope of work has included performing field exploration, which consisted of the excavating/logging/sampling of 2 test pits, performing laboratory testing on representative

samples, and conducting an office program, which consisted of correlating available data, performing engineering analyses, and preparing this summary report. This scope of work was authorized by returning a signed copy of our proposal dated January 7, 2019 and executed the same day.

### **1.3 Description of Proposed Construction**

We understand that the proposed structure will be a single family residence which we project will have two levels of wood frame construction above grade and a single level of reinforced concrete below grade (basement). We project that maximum loads for the residences will be on the order of 4,000 pounds per lineal foot for walls and 50,000 pounds for columns. Floor slab loads are anticipated to be relatively light, with an average uniform loading not exceeding 100 pounds per square foot. If the loading conditions are different than we have projected, please notify us so that any appropriate modifications to our conclusions and recommendations contained herein can be made.

Site development will require some earthwork in the form of some cutting and filling. A site grading plan was not available at the time of this report, but we project that maximum cuts and fills may be on the order of 5 to 10 feet. If deeper cuts or fills are planned, CMT should be notified to provide additional recommendations, if needed.

### **1.4 Executive Summary**

Proposed structures can be supported upon conventional spread and continuous wall foundations. The most significant geotechnical aspects regarding site development include the following:

1. Undocumented fill blankets at least the northwestern half of the site, which will require removal beneath structures; and
2. Foundations and floor slabs may be placed entirely on suitable, undisturbed natural soils or entirely on properly placed and compacted structural fill extending to suitable, undisturbed natural soils (do not place the structure partly on natural soils and partly on fill)

CMT must assess that topsoil, undocumented fills, debris, disturbed or unsuitable soils have been removed and that suitable soils have been encountered prior to placing site grading fills, footings, slabs, and pavements.

In the following sections, detailed discussions pertaining to the site and subsurface descriptions, geologic/seismic setting, earthwork, foundations, lateral resistance, lateral pressure, floor slabs, and pavements are provided.

## **2.0 FIELD EXPLORATION**

In order to define and evaluate the subsurface soil and groundwater conditions at the site, 2 test pits were excavated with a backhoe at the site to a depth of approximately 15 feet below the existing ground surface.

Locations of the test pits are shown on **Figure 1, Site Plan**, included in the Appendix. The field exploration was performed under the supervision of an experienced member of our geotechnical staff.

Representative soil samples were collected by obtaining disturbed "grab" samples and cutting relatively undisturbed "block" samples from within each test pit. The samples were placed in sealed plastic bags and containers prior to transport to the laboratory.

The subsurface soils encountered in the test pits were logged and described in general accordance with ASTM<sup>1</sup> D-2488. Soil samples were collected as described above, and were classified in the field based upon visual and textural examination. These field classifications were supplemented by subsequent examination and testing of select samples in our laboratory. Graphical representations of the subsurface conditions encountered are presented on each individual Test Pit Log, **Figures 2 and 3**, included in the Appendix. A Key to Symbols defining the terms and symbols used on the logs, is provided as **Figure 4** in the Appendix.

When backfilling the test pits, only minimal effort was made to compact the backfill and no compaction testing was performed. Thus, settlement of the backfill in the test pits over time should be anticipated.

### **3.0 LABORATORY TESTING**

Selected samples of the subsurface soils were subjected to various laboratory tests to assess pertinent engineering properties, as follows:

1. Moisture Content, ASTM D-2216, Percent moisture representative of field conditions
2. Dry Density, ASTM D-2937, Dry unit weight representing field conditions
3. Atterberg Limits, ASTM D-4318, Plasticity and workability
4. Gradation Analysis, ASTM D-1140/C-117, Grain Size Analysis
5. One Dimension Consolidation, ASTM D-2435, Consolidation properties

To provide data necessary for our settlement analyses, consolidation testing was performed on a representative sample of the natural silt/clay soils encountered in TP-2. Based upon data obtained from the consolidation testing, the silt/clay soils at this site are moderately over-consolidated and moderately compressible under additional loading. Detailed results of the test are maintained within our files and can be transmitted to you, if so desired.

Laboratory test results are presented on the test pit logs (**Figures 2 and 3**) and in the following Lab Summary table:

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<sup>1</sup>American Society for Testing and Materials

**LAB SUMMARY TABLE**

Bore Hole	Depth (feet)	Soil Class	Sample Type	Moisture Content (%)	Dry Density (pcf)	Gradation			Atterberg Limits			Collapse (-) or Expansion (+)
						Grav	Sand	Fines	LL	PL	PI	
TP-1	8	FILL: GM	Bag	6				18				
TP-1	14	FILL?: GM	Bag	6				26				
TP-2	6	FILL: GM	Bag	5				20				
TP-2	9	CH	Block	13	106				53	21	32	
TP-2	12	GM	Bag	10				23				

**4.0 GEOLOGIC & SEISMIC CONDITIONS**

**4.1 Geologic Setting**

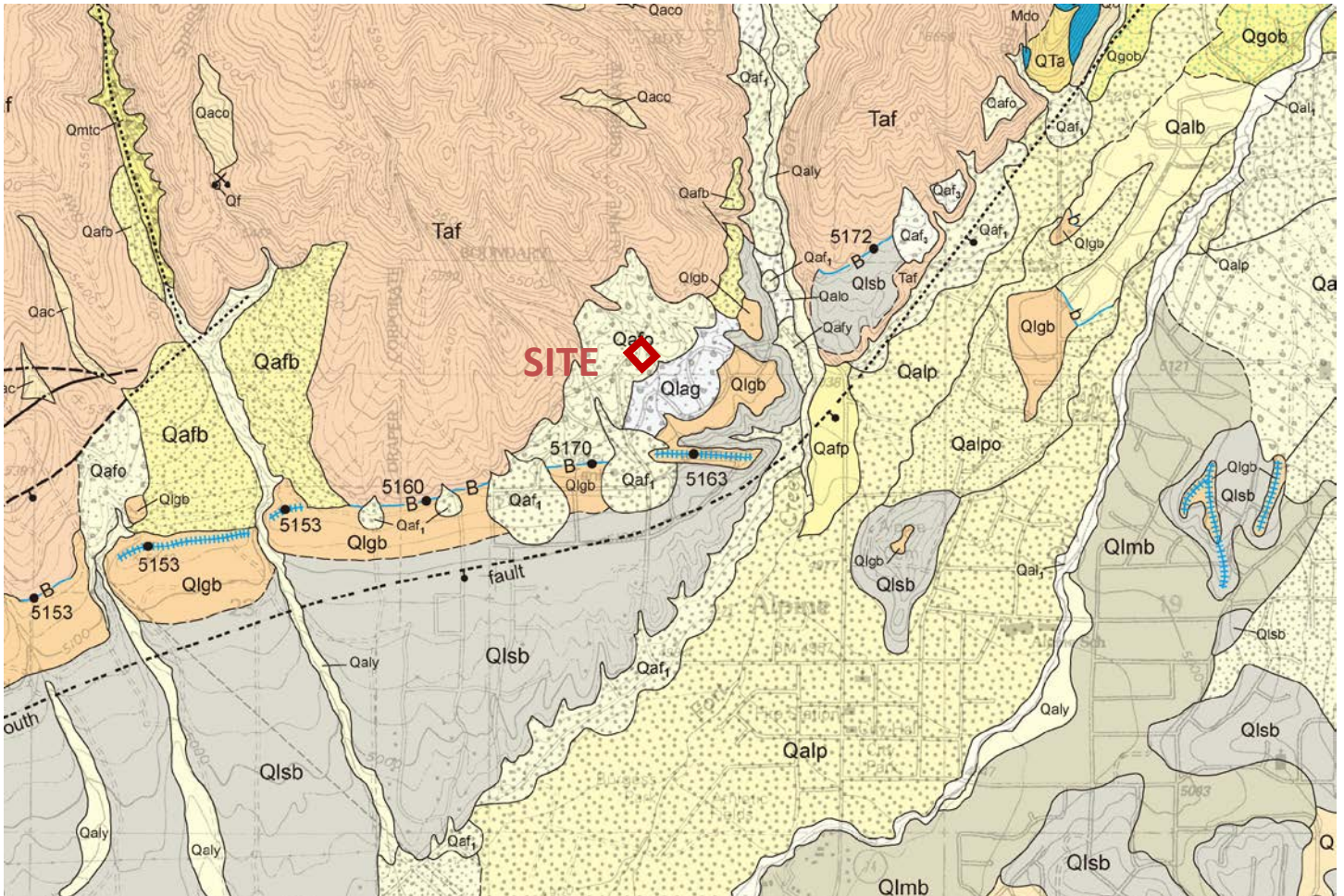
The subject site is located in the north margin of Utah Valley in north-central Utah at an elevation of approximately 5,270 to 5,285 feet above sea level. The Utah Valley is a deep, sediment-filled basin that is part of the Basin and Range Physiographic Province, formed by extensional tectonic processes during the Tertiary and Quaternary geologic time periods. The valley is bordered by the Wasatch Mountain Range on the east and Lake Mountain and West Mountain on the west. Utah Valley is located within the Intermountain Seismic Belt, a zone of active tectonism and seismic activity extending from southwestern Montana to southwestern Utah. The active (evidence of movement within the past 10,000 years) Wasatch Fault Zone is part of the Intermountain Seismic Belt and extends from southeastern Idaho to central Utah along the western base of the Wasatch Mountain Range.

Much of northwestern Utah, including Utah Valley, was also previously covered by the Pleistocene age Lake Bonneville. Utah Lake, which currently occupies much of the western portion of the valley, is a remnant of this ancient fresh water lake. Lake Bonneville reached a high-stand elevation of approximately 5,092 feet above sea level at between 18,500 and 17,400 years ago. Approximately 17,400 years ago, the lake breached its basin in southeastern Idaho and dropped by almost 300 feet relatively fast as water drained into the Snake River. Following this catastrophic release, the lake level continued to drop slowly over time, primarily driven by drier climatic conditions, until reaching the current levels of Utah Lake and the larger Great Salt Lake to the north. Shoreline terraces formed at the high-stand elevation of the lake and several subsequent lower lake levels are visible in places on the mountain slopes surrounding the valley. Much of the sediment within Utah Valley was deposited as lacustrine sediments during both the transgressive (rise) and regressive (fall) phases of Lake Bonneville.

The geology of the USGS 7.5 Lehi, Utah Quadrangle, including the location of the subject site, has been mapped by Biek<sup>2</sup>. The surficial geology on the majority of the subject site and adjacent properties is mapped as “Older alluvial-fan deposits” (Map Unit Qafo) dated to be upper Pleistocene. These deposits are described as “Similar to younger undifferentiated alluvial-fan deposits (Qafy), but forms deeply dissected alluvial apron truncated by, and thus predating, the Bonneville shoreline; upper parts of fans locally receive sediment from

<sup>2</sup> Biek, R.F., 2005, Geologic Map of the Lehi Quadrangle and Part of the Timpanogos Cave Quadrangle, Salt Lake and Utah Counties, Utah; Utah Geological Survey Map 210, Scale 1:24,000.

minor washes; thickness unknown, but likely up to several tens of feet.” No fill has been mapped at the location of the site on the geologic map. Refer to the **Geologic Map**, shown below.



**GEOLOGIC MAP**

## 4.2 Faulting

No surface fault traces are shown on the referenced geologic map crossing or projecting toward the subject site. The nearest mapped active fault trace is part of the Provo segment of the Wasatch fault located about 1.5 miles northeast of the site.

The Wasatch Fault is considered a “normal” fault because movement along the fault is typically vertical. The east side of the fault, or the mountain block, typically moves upward relative to the valley block on the west side of the fault. The fault generally dips to the west below the valleys. In an earthquake, the point where the fault initially ruptures is called the “focus” and generally occurs about 10 miles below the surface. The point on the surface directly above the focus, the epicenter, typically out in the valley, is usually where the strongest ground shaking occurs. The Wasatch Fault is one of the longest and most active normal faults in the world.

## **4.3 Seismicity**

### **4.3.1 Site Class**

Utah has adopted the International Building Code (IBC) 2015. IBC 2015 determines the seismic hazard for a site based upon 2008 mapping of bedrock accelerations prepared by the United States Geologic Survey (USGS) and the soil site class. The USGS values are presented on maps incorporated into the IBC code and are also available based on latitude and longitude coordinates (grid points). For site class definitions, IBC 2015 (Section 1613.3.2) refers to Chapter 20, Site Classification Procedure for Seismic Design, of ASCE<sup>3</sup> 7. Given the subsurface soils at the site, including our projection of soils within the upper 100 feet of the soil profile, it is our opinion the site best fits Site Class D – Stiff Soil Profile, which we recommend for seismic structural design.

### **4.3.2 Seismic Design Category**

The 2008 USGS mapping utilized by the IBC provides values of peak ground, short period and long period accelerations for the Site Class B boundary and the Maximum Considered Earthquake (MCE). This Site Class B boundary represents average bedrock values for the Western United States and must be corrected for local soil conditions. The Seismic Design Categories in the International Residential Code (IRC 2015) are based upon the Site Class as addressed in the previous section. For Site Class D at site grid coordinates of 40.4656 degrees north latitude and -111.7863 degrees west longitude,  $S_{DS}$  is 0.832 and the **Seismic Design Category** is D<sub>2</sub>.

### **4.3.3 Liquefaction**

The site is located within an area designated by the Utah Geologic Survey<sup>4</sup> as having “Very Low” liquefaction potential. Liquefaction is defined as the condition when saturated, loose, sandy soils lose their support capabilities because of excessive pore water pressure which develops during a seismic event. Clayey soils, even if saturated, will generally not liquefy during a major seismic event.

A special liquefaction study was not performed for this site. The natural soils we encountered consisted of clay (considered non-liquefiable) and unsaturated, medium dense gravel soils to the maximum depth explored of 15 feet below the existing ground surface. In our opinion, the soils we encountered support the mapped very low liquefaction potential designation.

## **4.4 Other Geologic Hazards**

No landslide deposits or features, including lateral spread deposits, are mapped on or adjacent to the site. The site is not located within a currently known or mapped potential debris flow, stream flooding, or rock fall hazard area.

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<sup>3</sup> American Society of Civil Engineers

<sup>4</sup> Utah Geological Survey, "Liquefaction-Potential Map for a Part of Utah County, Utah," Utah Geological Survey Public Information Series 28, August 1994. [https://ugspub.nr.utah.gov/publications/public\\_information/pi-28.pdf](https://ugspub.nr.utah.gov/publications/public_information/pi-28.pdf)

## 5.0 SITE CONDITIONS

### 5.1 Surface Conditions

At the time the test pits were excavated the site consisted of a vacant parcel, with some piles of fill placed within the northeast and northwest areas. Vegetation was primarily limited to the southeast half of the site and consisted of some grasses, weeds, sagebrush and scrub oak in various areas. The site grade sloped downward to the southeast with an overall gradient of about 40 feet. Based upon aerial photos readily available online dating back to 1993, the site appears to have remained unchanged until the fill piles appeared between June 2017 and September 2018. The site is bounded on the northeast by a new residence, on the southeast by undeveloped land, on the southwest by an existing residence and on the northwest by Lakeview Drive (see **Vicinity Map** in **Section 1.1** above).

### 5.2 Subsurface Soils

At the locations of the test pits we encountered approximately 7.5 to 12 feet of fill soils, which consisted of silty to sandy gravel, and are considered undocumented/untested. It is also possible that the gravel encountered below the fill in TP-1 is undocumented fill as well. Natural soils were observed beneath the undocumented fill soils, consisting of CLAY with sand (CH) and Silty GRAVEL with sand (GM), extending to the maximum depth explored of 15 feet.

The silt/clay soils were slightly moist to wet, brown in color, and estimated to be medium stiff to very stiff in consistency.

OPTION1: They also exhibited moderate over consolidation and strength characteristics with moderate to slightly high compressibility characteristics.

OPTION2: They also exhibited moderate over consolidation and strength characteristics, as well as a moderate potential for collapse when wetted.

The natural gravel soils were moist, brown to light brown in color, and estimated to be medium dense. They will also exhibit moderately high strength and low compressibility characteristics.

For a more descriptive interpretation of subsurface conditions, please refer to the test pit logs, **Figures 2 and 3**, which graphically represent the subsurface conditions encountered. The lines designating the interface between soil types on the logs generally represent approximate boundaries - in situ, the transition between soil types may be gradual.

### 5.3 Groundwater

Groundwater was not encountered at the time of our field explorations within the maximum depth explored of about 15 feet below the existing ground surface. Therefore, groundwater is not anticipated to affect proposed construction.

Groundwater levels can fluctuate as much as 1.5 to 2 feet seasonally. Numerous other factors such as heavy precipitation, irrigation of neighboring land, and other unforeseen factors, may also influence ground water elevations at the site. The detailed evaluation of these and other factors, which may be responsible for ground water fluctuations, is beyond the scope of this study.

#### **5.4 Site Subsurface Variations**

Based on the results of the subsurface explorations and our experience, variations in the continuity and nature of subsurface conditions should be anticipated. Due to the heterogeneous characteristics of natural soils, care should be taken in interpolating or extrapolating subsurface conditions between or beyond the exploratory locations.

Also, when logging and sampling of the test pits was completed, the test pits were backfilled with the excavated soils but minimal to no effort was made to compact these soils. Thus, settlement of the backfill in the test pits over time should be anticipated.

## **6.0 SITE PREPARATION AND GRADING**

### **6.1 General**

All deleterious materials should be stripped from the site prior to commencement of construction activities. This includes loose and disturbed soils, topsoil, vegetation, etc. Based upon the conditions observed at the time of our subsurface exploration, approximately 7.5 to 12 feet (possibly more) of undocumented fill is present on the surface of the site. All undocumented fill shall be removed from beneath the structure. Outside of building footprints (below exterior flatwork), proper preparation of undocumented fill and disturbed soils shall consist of removing the upper 18 inches, scarifying to a minimum depth of 8 inches and compacting the soils in place. The exposed subgrade must then be proofrolled by passing moderate-weight rubber tire-mounted construction equipment over the surface at least twice. If excessively soft or loose soils are encountered, they must be removed (up to a maximum depth of 2 feet) and replaced with structural fill. It should be recognized that flatwork placed on undocumented fill could experience settlements, both total and differential, over time.

The site should be examined by a CMT geotechnical engineer to assess that suitable natural soils have been exposed and any deleterious materials, loose and/or disturbed soils have been removed, prior to placing site grading fills, footings, slabs, and pavements.

### **6.2 Temporary Excavations**

Excavations deeper than 10 feet are not anticipated at the site. Groundwater was not encountered within the maximum depth explored, about 15 feet at the time of our field explorations, and thus is not anticipated to affect excavations.

The soils encountered at this site predominantly consisted of gravel. For gravelly (cohesionless) soils, temporary construction excavations not exceeding 4 feet in depth should be no steeper than one-half horizontal to one vertical (0.5H:1V). For excavations up to 8 feet and above groundwater, side slopes should be no steeper than one horizontal to one vertical (1H:1V). Although not anticipated, excavations encountering saturated cohesionless soils will be very difficult to maintain, and will require very flat side slopes and/or shoring, bracing and dewatering.

All excavations must be inspected periodically by qualified personnel. If any signs of instability or excessive sloughing are noted, immediate remedial action must be initiated. All excavations should be made following OSHA safety guidelines.

**6.3 Fill Material**

Following are our recommendations for the various fill types we anticipate will be used at this site:

FILL MATERIAL TYPE	DESCRIPTION   RECOMMENDED SPECIFICATION
Structural Fill	Placed below structures, flatwork and pavement. Well-graded sand/gravel mixture, with maximum particle size of 4 inches, a minimum 70% passing 3/4-inch sieve, a maximum 20% passing the No. 200 sieve, and a maximum Plasticity Index of 10.
Site Grading Fill	Placed over larger areas to raise the site grade. Sandy to gravelly soil, with a maximum particle size of 6 inches, a minimum 70% passing 3/4-inch sieve, and a maximum 50% passing No. 200 sieve.
Non-Structural Fill	Placed below non-structural areas, such as landscaping. On-site soils or imported soils, with a maximum particle size of 8 inches, including silt/clay soils not containing excessive amounts of degradable/organic material (see discussion below).
Stabilization Fill	Placed to stabilize soft areas prior to placing structural fill and/or site grading fill. Coarse angular gravels and cobbles 1 inch to 8 inches in size. May also use 1.5-inch to 2.0-inch gravel placed on stabilization fabric, such as Mirafi RS280i, or equivalent (see <b>Section 6.6</b> ).

On-site gravel soils might be suitable for use as structural fill, if processed to meet the requirements given above, and may also be used in site grading fill and non-structural fill situations.

On-site clay soils are not suitable for use as structural fill and site grading fill, but may be used as non-structural fill. Note that such clay soils are moisture-sensitive, which means they are inherently more difficult to work with in proper moisture conditioning (they are very sensitive to changes in moisture content), requiring very close moisture control during placement and compaction. This will be very difficult, if not impossible, during wet and cold periods of the year.

All fill material should be approved by a CMT geotechnical engineer prior to placement.

**6.4 Fill Placement and Compaction**

The various types of compaction equipment available have their limitations as to the maximum lift thickness that can be compacted. For example, hand operated equipment is limited to lifts of about 4 inches and most

“trench compactors” have a maximum, consistent compaction depth of about 6 inches. Large rollers, depending on soil and moisture conditions, can achieve compaction at 8 to 12 inches. The full thickness of each lift should be compacted to at least the following percentages of the maximum dry density as determined by ASTM D-1557 (or AASHTO<sup>5</sup> T-180) in accordance with the following recommendations:

LOCATION	TOTAL FILL THICKNESS (FEET)	MINIMUM PERCENTAGE OF MAXIMUM DRY DENSITY
Beneath an area extending at least 4 feet beyond the perimeter of structures, and below flatwork and pavement (applies to structural fill and site grading fill) extending at least 2 feet beyond the perimeter	0 to 5	95
	5 to 10	98
Site grading fill outside area defined above	0 to 5	92
	5 to 10	95
Utility trenches within structural areas	--	96
Roadbase and subbase	-	96
Non-structural fill	0 to 5	90
	5 to 10	92

Structural fills greater than 10 feet thick are not anticipated at the site. For best compaction results, we recommend that the moisture content for structural fill/backfill be within 2% of optimum. Field density tests should be performed on each lift as necessary to verify that proper compaction is being achieved.

**6.5 Utility Trenches**

For the bedding zone around the utility, we recommend utilizing sand bedding fill material that meets current APWA<sup>6</sup> requirements.

All utility trench backfill material below structurally loaded facilities (foundations, floor slabs, flatwork, parking lots/drive areas, etc.) should be placed at the same density requirements established for structural fill in the previous section.

Alpine City requires Type A-1a (AASHTO Designation) soils (sand/gravel soils with limited fines) be used as backfill over utilities within public rights of way, and the backfill be compacted over the full depth above the bedding zone to at least 96% of the maximum dry density as determined by AASHTO T-180 (ASTM D-1557). The existing gravel soils at this site will not likely meet these specifications.

Where the utility does not underlie structurally loaded facilities and public rights of way, on-site gravelly fill and natural soils may be utilized as trench backfill above the bedding layer, provided they are properly moisture conditioned and compacted to the minimum requirements stated above in **Section 6.4**.

<sup>5</sup> American Association of State Highway and Transportation Officials

<sup>6</sup> American Public Works Association

## **6.6 Stabilization**

To stabilize soft subgrade conditions (if encountered), a mixture of coarse, clean, angular gravels and cobbles and/or 1.5- to 2.0-inch clean gravel should be utilized, as indicated above in **Section 6.3**. Often the amount of gravelly material can be reduced with the use of a geotextile fabric such as Mirafi RS280i or equivalent. Its use will also help avoid mixing of the subgrade soils with the gravelly material. After excavating the soft/disturbed soils, the fabric should be spread across the bottom of the excavation and up the sides a minimum of 18 inches. Otherwise, it should be placed in accordance with the manufacturer's recommendation, including proper overlaps. The gravel material can then be placed over the fabric in compacted lifts as described above.

## **7.0 FOUNDATION RECOMMENDATIONS**

The following recommendations have been developed on the basis of the previously described project characteristics, including the maximum loads discussed in **Section 1.3**, the subsurface conditions observed in the field and the laboratory test data, and standard geotechnical engineering practice.

### **7.1 Foundation Recommendations**

Based on our geotechnical engineering analyses, the proposed structure may be supported upon conventional spread and/or continuous wall foundations placed entirely on suitable, undisturbed natural soils or entirely on structural fill extending to suitable natural soils. Footings may be designed using a net bearing pressure of 2,000 psf if placed on suitable, undisturbed, natural soils or 2,500 psf if placed on a minimum 18 inches of structural fill. The term "net bearing pressure" refers to the pressure imposed by the portion of the structure located above lowest adjacent final grade, thus the weight of the footing and backfill to lowest adjacent final grade need not be considered. The allowable bearing pressure may be increased by 1/3 for temporary loads such as wind and seismic forces.

We also recommend the following:

1. Exterior footings subject to frost should be placed at least 30 inches below final grade.
2. Interior footings not subject to frost should be placed at least 16 inches below grade.
3. Continuous footing widths should be maintained at a minimum of 18 inches.
4. Spread (spot) footings should be a minimum of 24 inches wide.

### **7.2 Installation**

Under no circumstances shall foundations be placed on both natural soils and structural fill (due to potentially significant differential settlements), nor shall they be placed on undocumented fill, topsoil with organics, sod, rubbish, construction debris, other deleterious materials, frozen soils, or within ponded water.

Deep, large roots may be encountered where trees and larger bushes are located or were previously located at the site; such large roots should be removed. If unsuitable soils are encountered, they must be completely

removed and replaced with properly compacted structural fill. Excavation bottoms should be examined by a qualified geotechnical engineer to confirm that suitable bearing materials soils have been exposed.

All structural fill should meet the requirements for such, and should be placed and compacted in accordance with **Section 6** above. The width of structural replacement fill below footings should be equal to the width of the footing plus 1 foot for each foot of fill thickness. For instance, if the footing width is 2 feet and the structural fill depth beneath the footing is 2 feet, the fill replacement width should be 4 feet, centered beneath the footing.

If used, the minimum thickness of structural fill below footings should be equivalent to one-third the thickness of structural fill below any other portion of the foundations. For example, if the maximum depth of structural fill is 6 feet, all footings for the new structure should be underlain by a minimum 2 feet of structural fill.

### **7.3 Estimated Settlement**

Foundations designed and constructed in accordance with our recommendations could experience some settlement, but we anticipate that total settlements of footings founded as recommended above will not exceed 1 inch, with differential settlements on the order of 0.5 inches over a distance of 25 feet. We expect approximately 50% of the total settlement to initially take place during construction.

### **7.4 Lateral Resistance**

Lateral loads imposed upon foundations due to wind or seismic forces may be resisted by the development of passive earth pressures and friction between the base of the footings and the supporting soils. In determining frictional resistance, a coefficient of 0.30 for natural silt/clay soils or 0.40 for natural sand/gravel soils and structural fill, may be utilized for design. Passive resistance provided by properly placed and compacted structural fill above the water table may be considered equivalent to a fluid with a density of 350 pcf. A combination of passive earth resistance and friction may be utilized if the friction component of the total is divided by 1.5.

## **8.0 LATERAL EARTH PRESSURES**

We project that basement walls up to 9 feet tall will be constructed at this site. The lateral earth pressure values given below are for a backfill material that will consist of drained sand/gravel soils (less than 10% passing No. 200 sieve) placed and compacted in accordance with the recommendations presented herein. If other soil types will be used as backfill, we should be notified so that appropriate modifications to these values can be provided, as needed.

The lateral pressures imposed upon subgrade facilities will depend upon the relative rigidity and movement of the backfilled structure. For rigid basement walls that are not more than 10 inches thick, sand/gravel backfill may be designed using an at-rest equivalent fluid pressure of 55 pcf (psf/ft). This value assumes that the soil surface behind the wall is horizontal and that the backfill within 3 feet of the wall will be compacted with hand-operated compacting equipment.

For seismic loading of rigid basement walls up to 9 feet tall, we recommend using a uniform (rectangular) at-rest lateral pressure of 140 psf for design.

## **9.0 FLOOR SLABS**

Floor slabs may be established upon suitable, undisturbed, natural soils and/or on structural fill extending to suitable natural soils (same as for foundations). Note that the natural Clay (CH) soils are not considered suitable for floor slabs; if such soils are exposed beneath concrete slabs, we recommend over-excavating a minimum of 12 inches and re-placing with structural fill. Under no circumstances should floor slabs be established directly on any topsoil, undocumented fills, loose or disturbed soils, sod, rubbish, construction debris, other deleterious materials, frozen soils, or within ponded water.

In order to facilitate curing of the concrete, we recommend that floor slabs be directly underlain by at least 4 inches of "free-draining" fill, such as "pea" gravel or 3/4-inch quarters to 1-inch minus, clean, gap-graded gravel. To help control normal shrinkage and stress cracking, the floor slabs should have the following features:

1. Adequate reinforcement for the anticipated floor loads with the reinforcement continuous through interior floor joints;
2. Frequent crack control joints; and
3. Non-rigid attachment of the slabs to foundation walls and bearing slabs.

## **10.0 DRAINAGE RECOMMENDATIONS**

It is very important to the long-term performance of foundations and floor slabs that water not be allowed to collect near the foundation walls and infiltrate into the underlying soils. We recommend the following:

1. All areas around the structure should be sloped to provide drainage away from the foundations. We recommend a minimum slope of 6 inches in the first 10 feet away from the structure. This slope should be maintained throughout the lifetime of the structure.
2. All roof drainage should be collected in rain gutters with downspouts designed to discharge at least 10 feet from the foundation walls or well beyond the backfill limits, whichever is greater.
3. Adequate compaction of the foundation backfill should be provided. We suggest a minimum of 90% of the maximum laboratory density as determined by ASTM D-1557. Water consolidation methods should not be used under any circumstances.

4. Landscape sprinklers should be aimed away, and kept at least 4 feet, from the foundation walls. The sprinkling systems should be designed with proper drainage and be well-maintained. Over watering should be avoided.
5. Other precautions that may become evident during construction.

## **11.0 QUALITY CONTROL**

We recommend that CMT be retained to as part of a comprehensive quality control testing and observation program. With CMT on-site we can help facilitate implementation of our recommendations and address, in a timely manner, any subsurface conditions encountered which vary from those described in this report. Without such a program CMT cannot be responsible for application of our recommendations to subsurface conditions which may vary from those described herein. This program may include, but not necessarily be limited to, the following:

### **11.1 Field Observations**

Observations should be completed during all phases of construction such as site preparation, foundation excavation, structural fill placement and concrete placement.

### **11.2 Fill Compaction**

Compaction testing by CMT is required for all structural supporting fill materials. Maximum Dry Density (Modified Proctor, ASTM D-1557) tests should be requested by the contractor immediately after delivery of any fill materials. The maximum density information should then be used for field density tests on each lift as necessary to ensure that the required compaction is being achieved.

### **11.3 Excavations**

All excavation procedures and processes should be observed by a geotechnical engineer from CMT or their representative. In addition, for the recommendations in this report to be valid, all backfill and structural fill placed in trenches and all pavements should be density tested by CMT. We recommend that freshly mixed concrete be tested by CMT in accordance with ASTM designations.

### **11.4 Vibration Monitoring**

Construction activities, particularly site grading and fill placement, can induce vibrations in existing structures adjacent to the site. Such vibrations can cause damage to adjacent buildings, depending on the building composition and underlying soils. It can be prudent to monitor vibrations from construction activities to maintain records that vibrations did not exceed a pre-defined threshold known to potentially cause damage. CMT can provide this monitoring if desired.

## **12.0 LIMITATIONS**

The recommendations provided herein were developed by evaluating the information obtained from the subsurface explorations and soils encountered therein. The exploration logs reflect the subsurface conditions only at the specific location at the particular time designated on the logs. Soil and ground water conditions may differ from conditions encountered at the actual exploration locations. The nature and extent of any variation in the explorations may not become evident until during the course of construction. If variations do appear, it may become necessary to re-evaluate the recommendations of this report after we have observed the variation.

Our professional services have been performed, our findings obtained, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties, either expressed or implied.

We appreciate the opportunity to be of service to you on this project. If we can be of further assistance or if you have any questions regarding this project, please do not hesitate to contact us at (801) 492-4132. To schedule materials testing, please call (801) 381-5141.

**APPENDIX**

SUPPORTING  
DOCUMENTATION



# Lot 9 International Estates

443 Lakeview Drive, Alpine, Utah

**CMT**ENGINEERING  
LABORATORIES

## Site Map

Date: 28-Jan-19  
Job # 12310

Figure:

# 1

# Lot 9 International Estates

# Test Pit Log

# TP-1

443 Lakeview Drive, Alpine, Utah

Equipment: Rubber Tire Backhoe  
Surface Elev. (approx):

Total Depth: 15'  
Water Depth: (see Remarks)

Date: 1/18/19  
Job #: 12310

Depth (ft)	GRAPHIC LOG	Soil Description	Sample Type	Sample #	Moisture (%)	Dry Density (pcf)	Gradation			Atterberg		
							Gravel %	Sand %	Fines %	LL	PL	PI
0		FILL: brown silty to sandy gravel, mottled appearance, some debris										
2												
4												
6												
8				1								
10												
12		Brown Silty GRAVEL with sand (GM), some large cobble, might be FILL										
14		moist, medium dense (estimated)										
16												
18												
20				2	6				18			
22												
24												
26				3								
28												
		END AT 15'		4	6				26			

Remarks: Groundwater not encountered during excavation.

Figure:

# Lot 9 International Estates

# Test Pit Log

# TP-2

443 Lakeview Drive, Alpine, Utah

Equipment: Rubber Tire Backhoe  
Surface Elev. (approx):

Total Depth: 15'  
Water Depth: (see Remarks)

Date: 1/18/19  
Job #: 12310

Depth (ft)	GRAPHIC LOG	Soil Description	Sample Type	Sample #	Moisture (%)	Dry Density (pcf)	Gradation			Atterberg			
							Gravel %	Sand %	Fines %	LL	PL	PI	
0		FILL: brown silty to sandy gravel											
2			5										
4													
6				6	5				20				
8			Dark brown CLAY with sand (CH), some gravel moist, stiff to very stiff (estimated)	7									
				8	13	106				53	21	32	
10			Brown to light brown Silty GRAVEL with sand (GM), some cobble moist, medium dense (estimated)										
12				9	10					23			
14				10									
16			END AT 15'										
18													
20													
22													
24													
26													
28													

Remarks: Groundwater not encountered during excavation.

Figure:

# Lot 9 International Estates

# Key to Symbols

443 Lakeview Drive, Alpine, Utah

Date 1/18/19

Job #: 12310

Depth (ft)	GRAPHIC LOG	Soil Description	Sample Type	Sample #	Moisture (%)	Dry Density (pcf)	Gradation			Atterberg		
							Gravel %	Sand %	Fines %	LL	PL	PI

## COLUMN DESCRIPTIONS

**Depth (ft.):** Depth (feet) below the ground surface (including groundwater depth - see water symbol below).

**Graphic Log:** Graphic depicting type of soil encountered (see below).

**Soil Description:** Description of soils encountered, including Unified Soil Classification Symbol (see below).

**Sample Type:** Type of soil sample collected at depth interval shown; sampler symbols are explained below-right.

**Sample #:** Consecutive numbering of soil samples collected during field exploration.

**Moisture (%):** Water content of soil sample measured in laboratory (percentage of dry weight of sample).

**Dry Density (pcf):** The dry density of a soil measured in laboratory (pounds per cubic foot).

**Gradation:** Percentages of Gravel, Sand and Fines (Silt/Clay), obtained from lab test results of soil passing the No. 4 and No. 200 sieves.

**Atterberg:** Individual descriptions of Atterberg Tests are as follows:

**LL = Liquid Limit (%):** Water content at which a soil changes from plastic to liquid behavior.

**PL = Plastic Limit (%):** Water content at which a soil changes from liquid to plastic behavior.

**PI = Plasticity Index (%):** Range of water content at which a soil exhibits plastic properties (= Liquid Limit - Plastic Limit).

STRATIFICATION		MODIFIERS	MOISTURE CONTENT
<b>Description</b>	<b>Thickness</b>	<b>Trace</b>	<b>Dry:</b> Absence of moisture, dusty, dry to the touch.
Seam	Up to ½ inch	<5%	<b>Moist:</b> Damp / moist to the touch, but no visible water.
Lense	Up to 12 inches	<b>Some</b>	
Layer	Greater than 12 in.	5-12%	<b>Saturated:</b> Visible water, usually soil below groundwater.
Occasional	1 or less per foot	<b>With</b>	
Frequent	More than 1 per foot	> 12%	

UNIFIED SOIL CLASSIFICATION SYSTEM (USCS)	MAJOR DIVISIONS		USCS SYMBOLS	TYPICAL DESCRIPTIONS
	COARSE-GRAINED SOILS More than 50% of material is larger than No. 200 sieve size.	GRAVELS The coarse fraction retained on No. 4 sieve.	CLEAN GRAVELS ( < 5% fines)	GW
GRAVELS WITH FINES ( ≥ 12% fines)			GP	Poorly-Graded Gravels, Gravel-Sand Mixtures, Little or No Fines
			GM	Silty Gravels, Gravel-Sand-Silt Mixtures
SANDS The coarse fraction passing through No. 4 sieve.			CLEAN SANDS ( < 5% fines)	SW
		SANDS WITH FINES ( ≥ 12% fines)	SP	Poorly-Graded Sands, Gravelly Sands, Little or No Fines
SM			Silty Sands, Sand-Silt Mixtures	
SC			Clayey Sands, Sand-Clay Mixtures	
FINE-GRAINED SOILS More than 50% of material is smaller than No. 200 sieve size.			SILTS AND CLAYS Liquid Limit less than 50%	ML
		CL		Inorganic Clays of Low to Medium Plasticity, Gravelly Clays, Sandy Clays, Silty Clays, Lean Clays
		OL		Organic Silts and Organic Silty Clays of Low Plasticity
	SILTS AND CLAYS Liquid Limit greater than 50%	MH	Inorganic Silts, Micaceous or Diatomaceous Fine Sand or Silty Soils	
		CH	Inorganic Clays of High Plasticity, Fat Clays	
		OH	Organic Silts and Organic Clays of Medium to High Plasticity	
HIGHLY ORGANIC SOILS		PT	Peat, Soils with High Organic Contents	

### SAMPLER SYMBOLS

- Block Sample
- Bulk/Bag Sample
- Modified California Sampler
- 3.5" OD, 2.42" ID D&M Sampler
- Rock Core
- Standard Penetration Split Spoon Sampler
- Thin Wall (Shelby Tube)

### WATER SYMBOL

- Encountered Water Level
  - Measured Water Level
- (see Remarks on Logs)

Note: Dual Symbols are used to indicate borderline soil classifications (i.e. GP-GM, SC-SM, etc.).

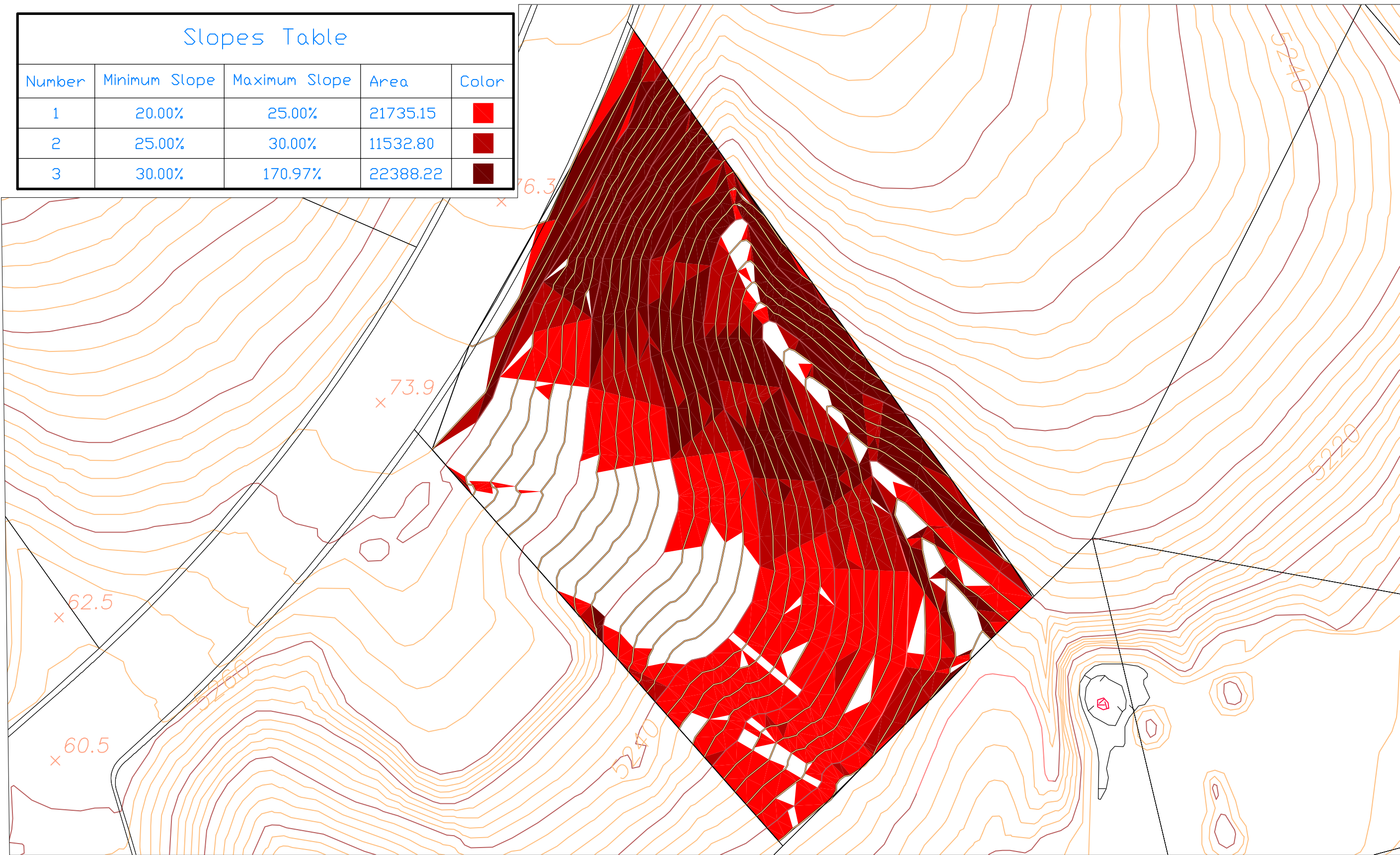
- The results of laboratory tests on the samples collected are shown on the logs at the respective sample depths.
- The subsurface conditions represented on the logs are for the locations specified. Caution should be exercised if interpolating between or extrapolating beyond the exploration locations.
- The information presented on each log is subject to the limitations, conclusions, and recommendations presented in this report.

Figure:

# 4

### Slopes Table

Number	Minimum Slope	Maximum Slope	Area	Color
1	20.00%	25.00%	21735.15	■
2	25.00%	30.00%	11532.80	■
3	30.00%	170.97%	22388.22	■



SCALE: 1" = N.T.S.  
(24x36)

REMARKS
20 Acre area evaluated 2023-06-26

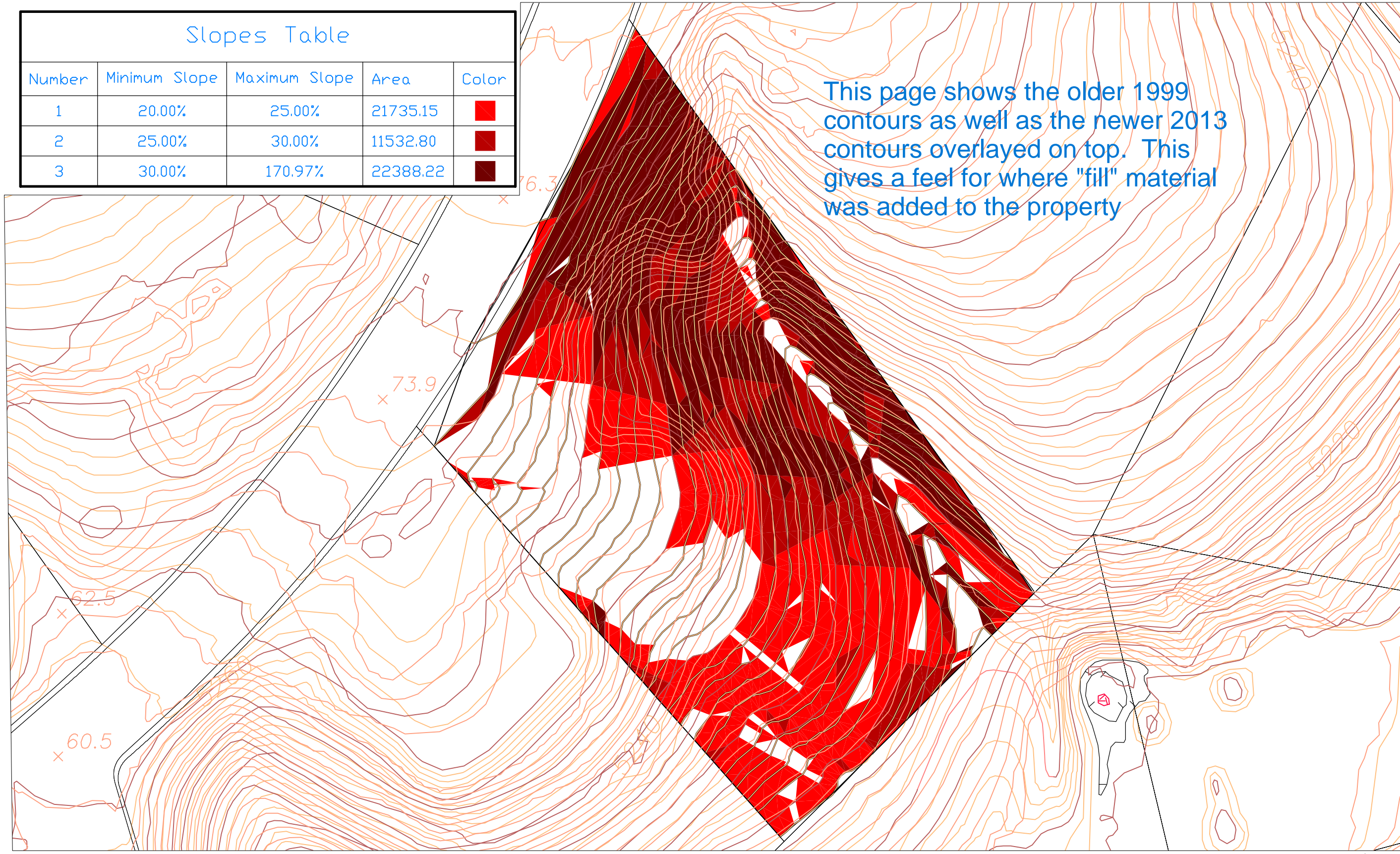
**443 W Lakeview Drive**  
1999 Aerial Flown Contours  
Slope Analysis

Engineering File Number:  
-

Drawing: 1  
Sheet: 1 of 1

### Slopes Table

Number	Minimum Slope	Maximum Slope	Area	Color
1	20.00%	25.00%	21735.15	Red
2	25.00%	30.00%	11532.80	Dark Red
3	30.00%	170.97%	22388.22	Dark Brown



This page shows the older 1999 contours as well as the newer 2013 contours overlaid on top. This gives a feel for where "fill" material was added to the property

REMARKS
20 Acre area evaluated 2023-06-26



**443 W Lakeview Drive**  
1999 Aerial Flown Contours  
Slope Analysis

Engineering File Number:  
-

Drawing: 1  
Sheet: 1 of 1

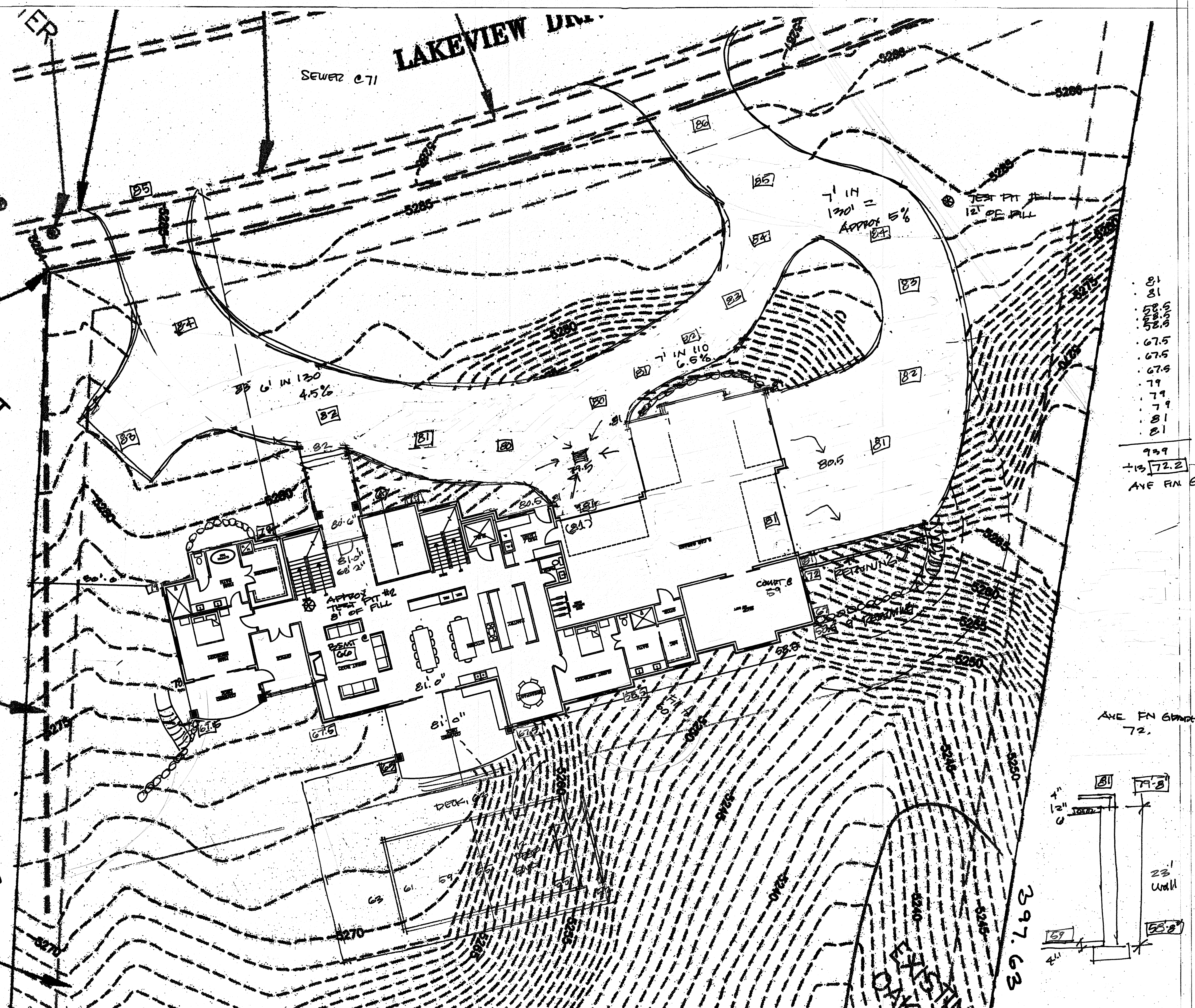
SCALE: 1" = N.T.S.  
(24x36)

MANHOLE  
= 5283.47,  
5265.87,

EXISTING SIDEWALK AT  
PROPERTY CORNER  
ELEV. = 5284.15'

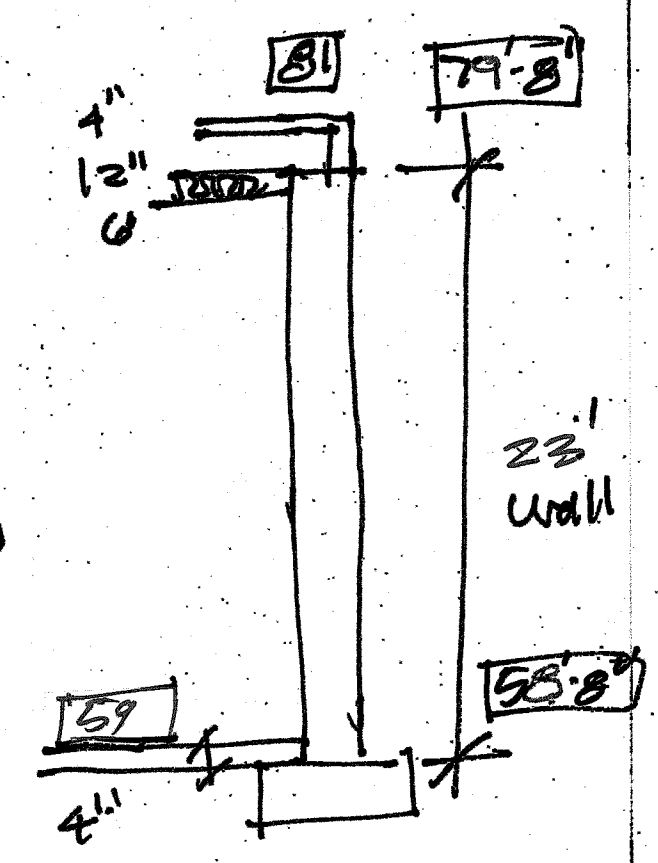
EXISTING NEIGHBOR'S  
CURBING

EXISTING WEATHER  
STATION POST



81
81
79.5
79.5
67.5
67.5
79
79
81
81
939
+13 72.2
AVE FIN 6740

AVE FIN 6740  
72.



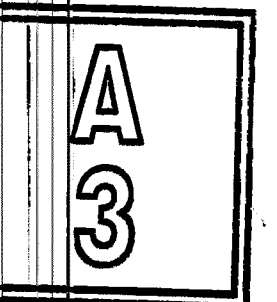
SITE PLAN STUDY AUG 28, 23  
1" = 10'-0"

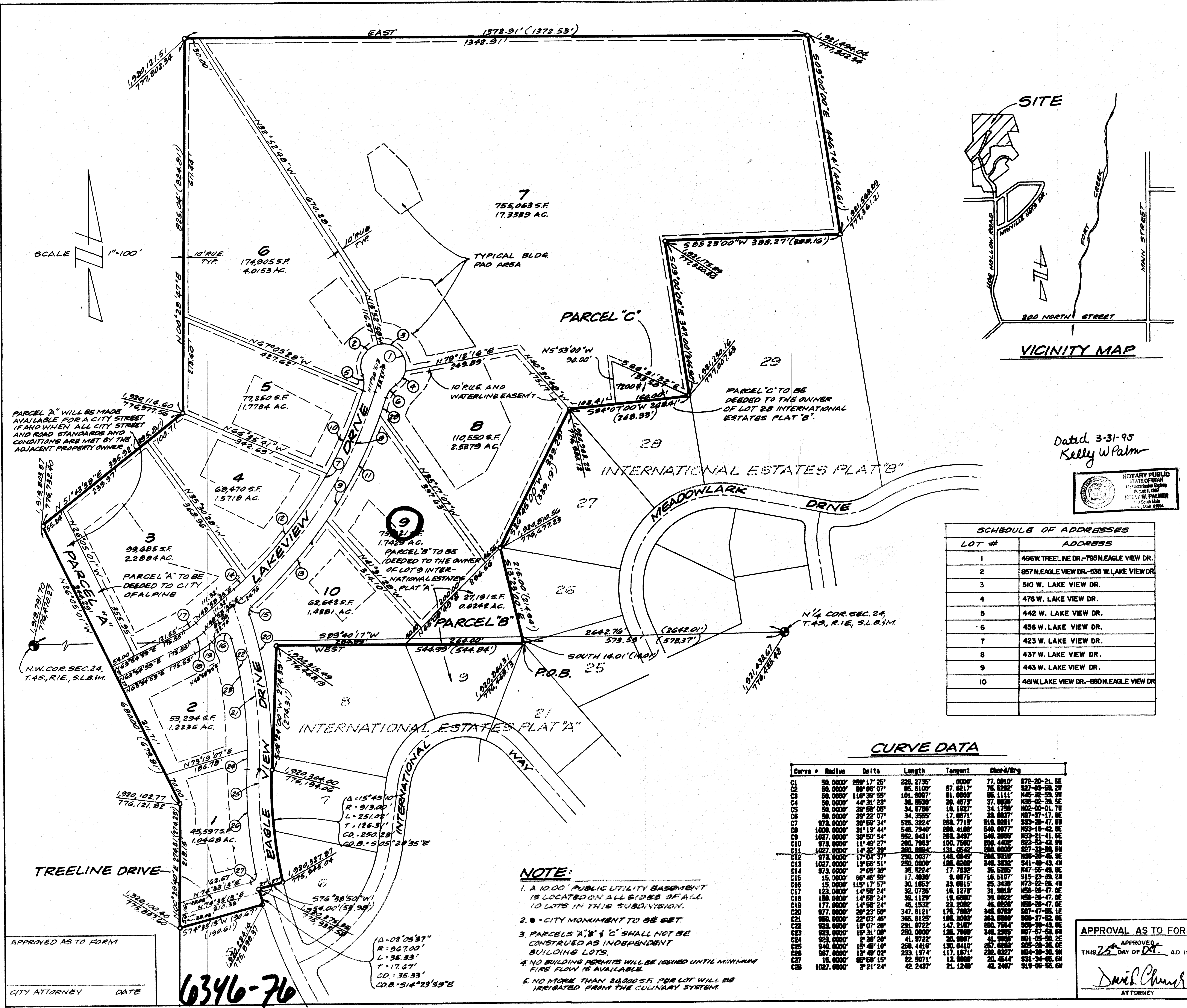
**BUSBY RESIDENCE**  
443 LAKEVIEW DR. ALPINE, UTAH

**Craig Kitterman & Associates Architects**  
1079 E. Murray-Holladay Road Holladay, Utah 84117 Office: 801-270-8606

PROJECT #  
23-08

DATE PRINTED  
08/24/2023

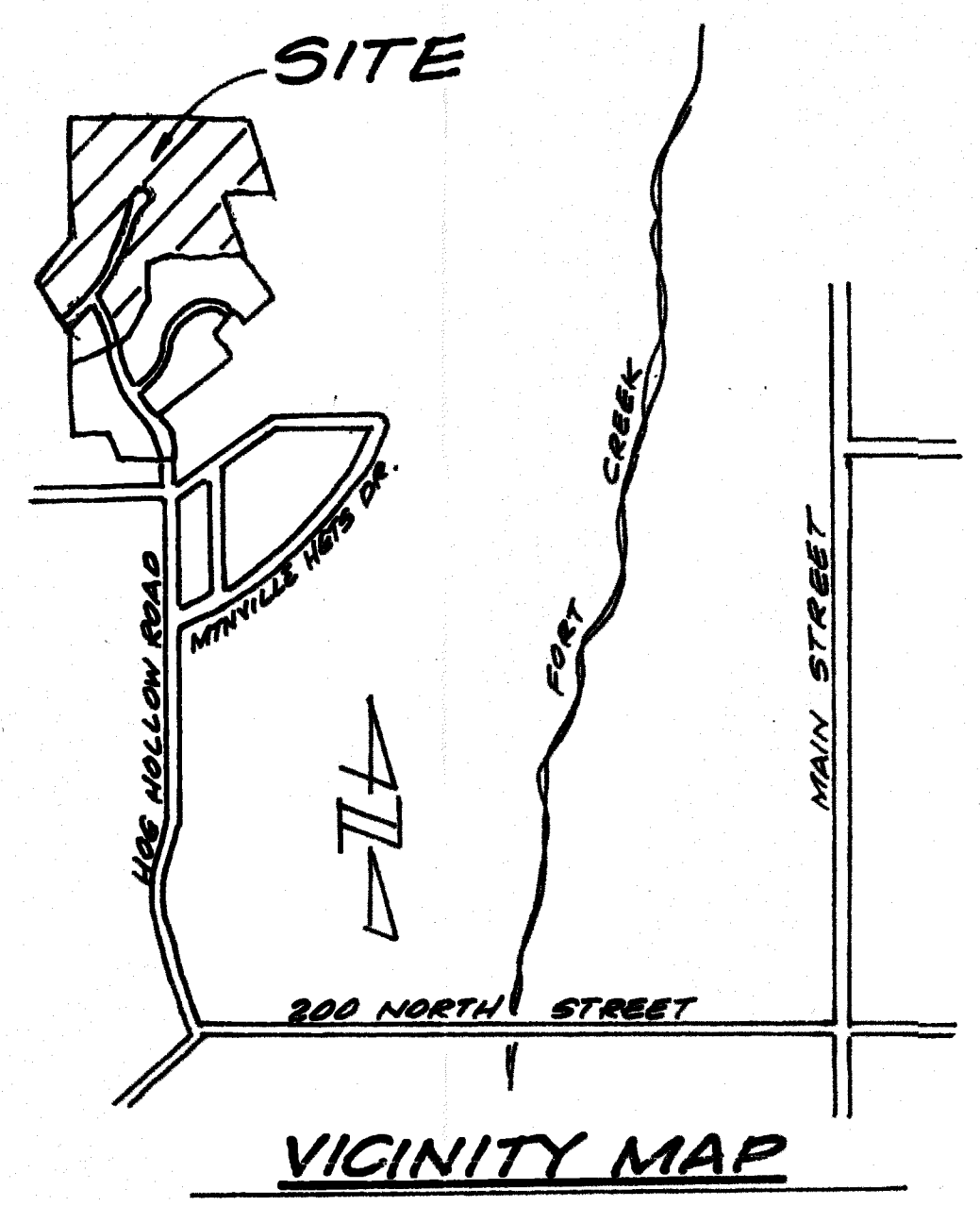




**SURVEYOR'S CERTIFICATE**  
 I, DAVID V. THOMAS, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF UTAH. I HAVE MADE A SURVEY OF THE TRACT OF LAND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND GROUND AS SHOWN ON THIS PLAN AND THAT THIS PLAN IS TRUE AND CORRECT.

**BOUNDARY DESCRIPTION**  
 COMMENCING AT A POINT WHICH IS 500.00' N 1/2 W 578.50' LINE AND SOUTH 14.01' FROM THE N 1/2 COR. SEC. 24, R. 1E, S. 1E,  
 SALT LAKE BASE & MERIDIAN

COURSE	DISTANCE	REMARKS
WEST	544.99	FEET ALONG INT. ESTATE PLAT
S 02° 24' 00" W	274.39	" "
A = 15° 45' 10"	R = 913.00'	ALONG THE ARC OF A CURVE
L = 251.02'	CD = 200.00'	" "
S 76° 38' 50" W	58.00	FEET ALONG INT. ESTATE PLAT
A = 302° 05' 37"	R = 967.00'	ALONG THE ARC OF A CURVE
L = 351.33'	CD = 200.00'	" "
S 74° 38' 18" W	190.67	FEET ALONG INT. ESTATE PLAT
N 02° 29' 40" E	276.31	FEET; THENCE
N 82° 25' 01" W	600.00	" "
N 81° 43' 38" E	895.92	" "
N 00° 20' 47" E	825.04	" "
EAST	1372.91	" "
S 00° 00' 00" E	446.74	" "
S 88° 23' 00" W	388.27	FEET ALONG INT. ESTATE PLAT
S 09° 22' 00" E	347.00	" "
S 84° 07' 00" W	268.41	" "
S 26° 45' 00" W	389.29	" "
S 13° 23' 00" E	216.00	" "



MAR. 15, 1995  
 DATE

**OWNER'S DEDICATION**  
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THE MAP CAUSED THE SAME TO BE SUBDIVIDED INTO BLOCKS, STREETS AND EASEMENTS AND DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS 15th DAY OF MARCH, 1995.  
 The Edmund B. Howell Family Trust  
 Edmund B. Howell  
 Daniel P. Howell, Trustee  
 Daniel P. Howell  
 ACKNOWLEDGEMENT

STATE OF UTAH, S.S.  
 COUNTY OF UTAH, A.D. 1995  
 ON THE 15th DAY OF March, A.D. 1995, PERSONALLY APPEARED BEFORE ME OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID SO.  
 MY COMMISSION EXPIRES 8-1-97  
 Kelly W. Palm  
 NOTARY PUBLIC

**SCHEDULE OF ADDRESSES**

LOT #	ADDRESS
1	496W. TREELINE DR.-795N. EAGLE VIEW DR.
2	857 N. EAGLE VIEW DR.-536 W. LAKE VIEW DR.
3	510 W. LAKE VIEW DR.
4	476 W. LAKE VIEW DR.
5	442 W. LAKE VIEW DR.
6	436 W. LAKE VIEW DR.
7	423 W. LAKE VIEW DR.
8	437 W. LAKE VIEW DR.
9	443 W. LAKE VIEW DR.
10	461 W. LAKE VIEW DR.-880N. EAGLE VIEW DR.

**CURVE DATA**

Curve #	Radius	Delta	Length	Tangent	Chord/Str
C1	50.0000'	258° 17' 25"	225.2735'	0.0000'	77.0010'
C2	50.0000'	98° 08' 07"	65.8100'	57.8217'	527-00-21.5E
C3	50.0000'	118° 39' 55"	101.8397'	81.0603'	827-00-59.2W
C4	50.0000'	14° 31' 23"	38.8538'	20.4673'	37.8838'
C5	50.0000'	39° 58' 05"	34.8788'	18.1827'	34.1758'
C6	50.0000'	39° 22' 07"	34.3555'	17.8871'	33.8837'
C7	973.0000'	30° 59' 34"	626.3224'	298.7715'	518.8291'
C8	1000.0000'	31° 19' 44"	546.7940'	280.4188'	540.0877'
C9	1027.0000'	30° 50' 54"	552.9431'	283.3487'	548.2889'
C10	973.0000'	11° 45' 27"	200.7883'	100.7580'	200.4482'
C11	1027.0000'	14° 32' 39"	280.8884'	131.0542'	280.0000'
C12	973.0000'	17° 04' 37"	230.0037'	148.0849'	238.1319'
C13	1027.0000'	13° 56' 51"	250.0000'	126.6208'	248.3832'
C14	973.0000'	2° 05' 30"	35.9224'	17.7832'	36.5295'
C15	15.0000'	88° 48' 59"	17.4838'	4.8875'	16.5107'
C16	15.0000'	115° 17' 57"	30.1853'	23.8815'	25.3438'
C17	123.0000'	14° 56' 24"	32.0728'	16.1278'	31.8818'
C18	150.0000'	14° 56' 24"	39.1129'	19.6880'	39.0822'
C19	177.0000'	14° 56' 24"	45.1532'	23.2082'	46.0225'
C20	973.0000'	20° 23' 50"	347.8121'	178.7889'	345.8789'
C21	980.0000'	22° 03' 49"	365.8125'	186.2089'	363.5589'
C22	923.0000'	18° 07' 28"	291.8722'	147.2187'	290.7584'
C23	923.0000'	18° 31' 00"	250.0000'	126.7889'	249.2385'
C24	940.0000'	2° 36' 20"	41.9722'	20.8887'	41.8888'
C25	940.0000'	15° 45' 10"	258.4416'	130.0410'	257.6283'
C26	967.0000'	13° 48' 02"	233.1974'	117.1871'	232.0327'
C27	15.0000'	88° 58' 15"	22.5071'	12.8888'	21.4514'
C28	1027.0000'	2° 21' 24"	42.2437'	21.1248'	42.2407'

**NOTE:**  
 1. A 10.00' PUBLIC UTILITY EASEMENT IS LOCATED ON ALL SIDES OF ALL 10 LOTS IN THIS SUBDIVISION.  
 2. CITY MONUMENT TO BE SET.  
 3. PARCELS A, B & C SHALL NOT BE CONSTRUED AS INDEPENDENT BUILDING LOTS.  
 4. NO BUILDING PERMITS WILL BE ISSUED UNTIL MINIMUM FIRE FLOW IS AVAILABLE.  
 5. NO MORE THAN 20,000 SF PER LOT WILL BE IRRIGATED FROM THE CULINARY SYSTEM.

APPROVED AS TO FORM  
 CITY ATTORNEY DATE

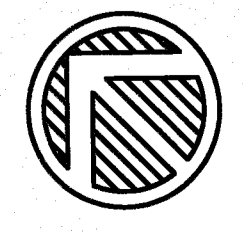
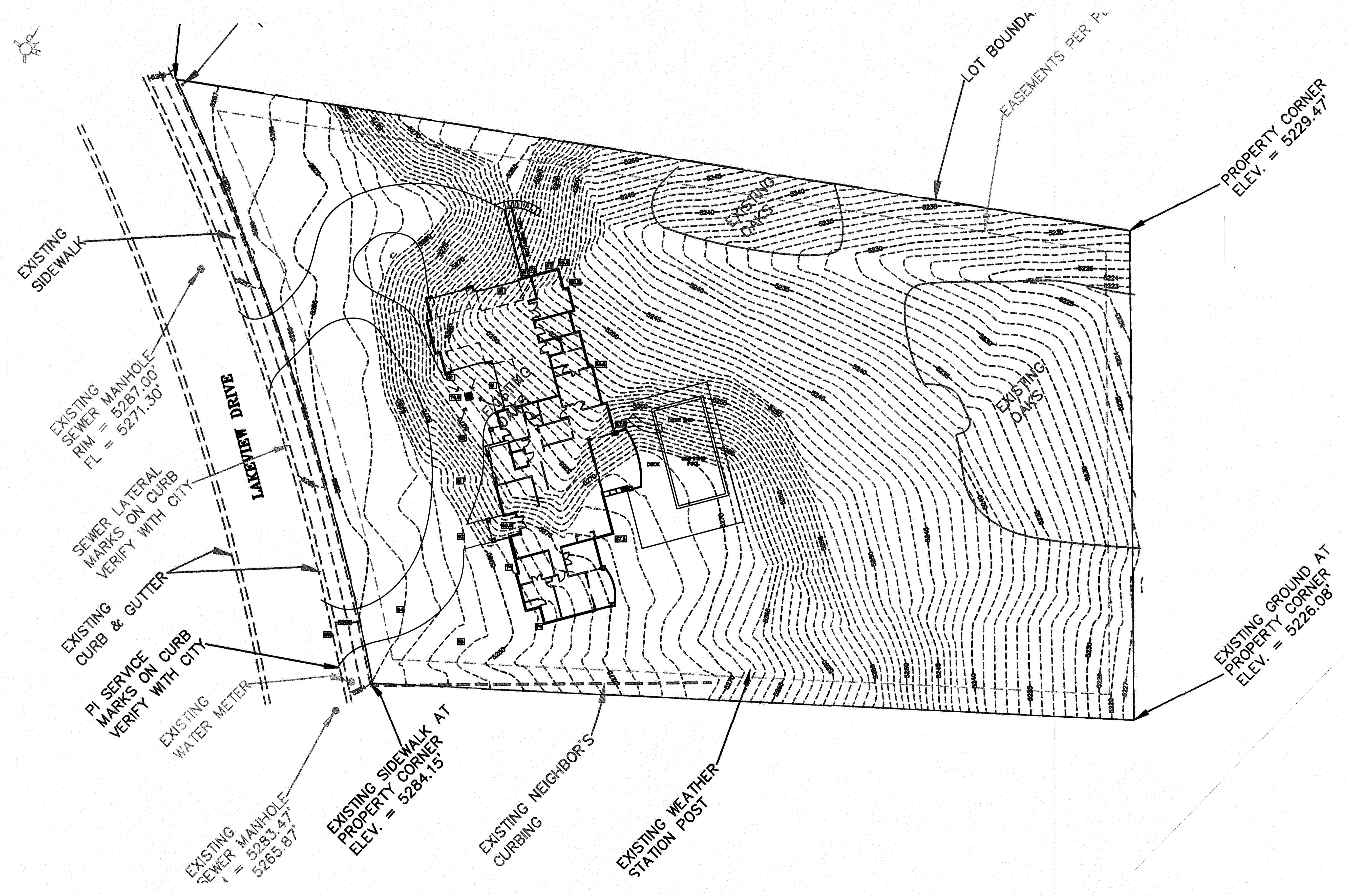
6346-76

**ACCEPTANCE BY LEGISLATIVE BODY**  
 THE City Council of Alpine City, COUNTY OF UTAH, APPROVES THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 15th DAY OF March, A.D. 1995.  
 J. G. Hall, Mayor  
 APPROVED: [Signature]  
 ENGINEER (504 881 8010)  
 PLANNING COMMISSION APPROVAL  
 APPROVED THIS 15th DAY OF March, A.D. 1995, BY THE PLANNING COMMISSION.  
 DIRECTOR-SECRETARY  
 CHAIRPERSON, PLANNING COMMISSION

**INTERNATIONAL ESTATES PLAT 'C'**

APPROVAL AS TO FORM  
 THIS 25th DAY OF Oct. A.D. 1995  
 David Church  
 ATTORNEY

Notary Public Seal  
 City Engineer's Seal  
 STATE OF UTAH  
 No. 163947  
 DAVID V. THOMAS  
 STATE OF UTAH  
 Notary Public Seal  
 STATE OF UTAH  
 Kelly W. Palm  
 Notary Public  
 State of Utah  
 Notary Public Seal  
 STATE OF UTAH  
 Kelly W. Palm  
 Notary Public  
 State of Utah  
 Notary Public Seal  
 STATE OF UTAH  
 Kelly W. Palm  
 Notary Public  
 State of Utah



**SITE PLAN**  
SCALE: 1" = 20'-0"

\*PRELIMINARY DRAWINGS ONLY\*  
\*NOT RELEASED FOR CONSTRUCTION\*

**BUSBY RESIDENCE**  
443 LAKEVIEW DR. ALPINE, UTAH

**Craig Kitterman & Associates Architects**  
1079 E. Murray-Holladay Road Holladay, Utah 84117 Office: 801-270-8606

PROJECT #  
23-08

DATE PRINTED  
10/03/2023

A  
1.1

# ALPINE CITY PLANNING COMMISSION AGENDA

**SUBJECT: Sign Application**

**FOR CONSIDERATION ON: October 17<sup>th</sup>, 2023**

**PETITIONER: Caleb Porter**

**ACTION REQUESTED BY PETITIONER: Consider for approval an application for a commercial building sign.**

**Review Type: Administrative**

## **BACKGROUND INFORMATION:**

Caleb Porter is requesting approval for a commercial building sign to replace the current sign “Pfeifferhorn Dental” with “Sundance Dental”. The attached renderings show the location of the sign in relation to the building. The total size of the sign will be less than 15% or 60 square feet of the side of the building (roughly 49 total sf and less than 5%)

## **CITY CODE:**

The Development Code for Alpine ([DCA 3.25.080](#)) requires the following for approval of an application, staff has removed requirements that do not apply to this sign regarding free-standing signs, lights, and other such requirements. A complete list can be found in the referenced section of the code.

1. Signs shall be painted on, attached to, or erected on the building that houses the business, or upon the property occupied by the business which the sign(s) advertise. There shall be a maximum of one (1) sign per business.
6. All signs attached to a building shall meet the approval of Alpine City to assure that the sign meets the applicable building and electrical codes.
7. The total area of all sign(s) on any one building shall not exceed 15% or 60 square feet of the area of the side of the building where a sign is displayed, whichever is smaller.
8. The area of a sign shall be construed as the area of the overall background. Signs without a background, such as letters or numbers hung together, shall be assumed to be attached to a background that shall be depicted on the application rendering.
10. Within any planned commercial development or on any single building housing a number of uses, or in any arrangement of buildings or shops which constitute a visual entity as a whole, if addresses are to be used, all numbers, letters, or other symbols shall be identical in size, design, color, and installation.
11. The color, size, number, lighting, and placement of business commercial signs is subject to approval by the Planning Commission, consistent with the guidelines set forth in the Gateway/Historic District.

## **STAFF RECOMMENDATION:**

If as determined by the Planning Commission the conditions of Alpine City Code [3.25.080](#) can be met, it is recommended that the commercial building permit be approved

**SAMPLE MOTION TO APPROVE:**

I move to approve the sign application for Sundance Dental as proposed including the measurements and color of the proposed sign.

**SAMPLE MOTION TO APPROVE WITH CONDITIONS:**

I move to approve the sign application for Sundance Dental as proposed including the measurements and color of the proposed sign as proposed with the following conditions/changes:

- **\*\*insert finding\*\***

**SAMPLE MOTION TO TABLE/DENY:**

I move that the Sundance Dental sign application be tabled/denied based on the following:

- **\*\*insert finding\*\***



SUNDANCE<sup>22"</sup><sub>-143"</sub> DENTAL IMPLANTS & ORTHODONTICS

Grand Reopening!  
Now Accepting New Patients  
No Insurance, No Problem! Exams and X-rays  
Ask us about our membership State of the Art Dental Care

# ALPINE CITY PLANNING COMMISSION AGENDA

**SUBJECT: Commercial Building Sign**

**FOR CONSIDERATION ON: October 17<sup>th</sup>, 2023**

**PETITIONER: Jean Hilton**

**ACTION REQUESTED BY PETITIONER: Approval of a Commercial Building Sign at  
40 W Main Street Suite 100.**

## **BACKGROUND INFORMATION:**

The WellPath Center applied for and was approved for a commercial building sign during the September 19<sup>th</sup>, 2023 Planning Commission meeting. The applicant has made changes to their approved application that would need to be approved by the Planning Commission. The first attachment is what was approved, and the second attachment is what they are proposing now. Changes include no background on the new version and the logo will be to the left of the lettering instead of below. The overall size of the sign will be roughly 14.5 square feet compared to 26.62 square feet for the previous sign. This new sign also does not exceed 15% of the area of the outside of the building.

Alpine City Code Development Code 3.25.080 requires Planning Commission approval for this application.

## **ALPINE CITY CODE**

The Development Code for Alpine ([DCA 3.25.080](#)) requires the following standards to be reviewed as part of the decision process. Additional standards not shown in this staff report set forth requirements for free-standing signs, lighting requirements, and signs on cloth awnings. These standards were not included as this sign is attached to the buildings, has no lighting, and is not on an awning.

1. Signs shall be painted on, attached to, or erected on the building that houses the business, or upon the property occupied by the business which the sign(s) advertise. There shall be a maximum of one (1) sign per business.
6. All signs attached to a building shall meet the approval of Alpine City to assure that the sign meets the applicable building and electrical codes.
7. The total area of all sign(s) on any one building shall not exceed 15% or 60 square feet of the area of the side of the building where a sign is displayed, whichever is smaller.
8. The area of a sign shall be construed as the area of the overall background. Signs without a background, such as letters or numbers hung together, shall be assumed to be attached to a background that shall be depicted on the application rendering.
10. Within any planned commercial development or on any single building housing a number of uses, or in any arrangement of buildings or shops which constitute a visual entity as a whole, if addresses are to be used, all numbers, letters, or other symbols shall be identical in size, design, color, and installation.

11. The color, size, number, lighting, and placement of business commercial signs is subject to approval by the Planning Commission, consistent with the guidelines set forth in the Gateway/Historic District.

**STAFF RECOMMENDATION:**

If the Planning Commission finds the application is in compliance with section 3.25.080 of the Alpine Development Code, staff recommends approval of this application. City staff has reviewed this application against all standards referenced above and has found it to be in compliance with the City Code

**SAMPLE MOTION TO APPROVE:**

I move to approve the sign application for the WellPath Center located at 40 W Main Street Suite 100 as proposed.

**SAMPLE MOTION TO APPROVE WITH CONDITIONS:**

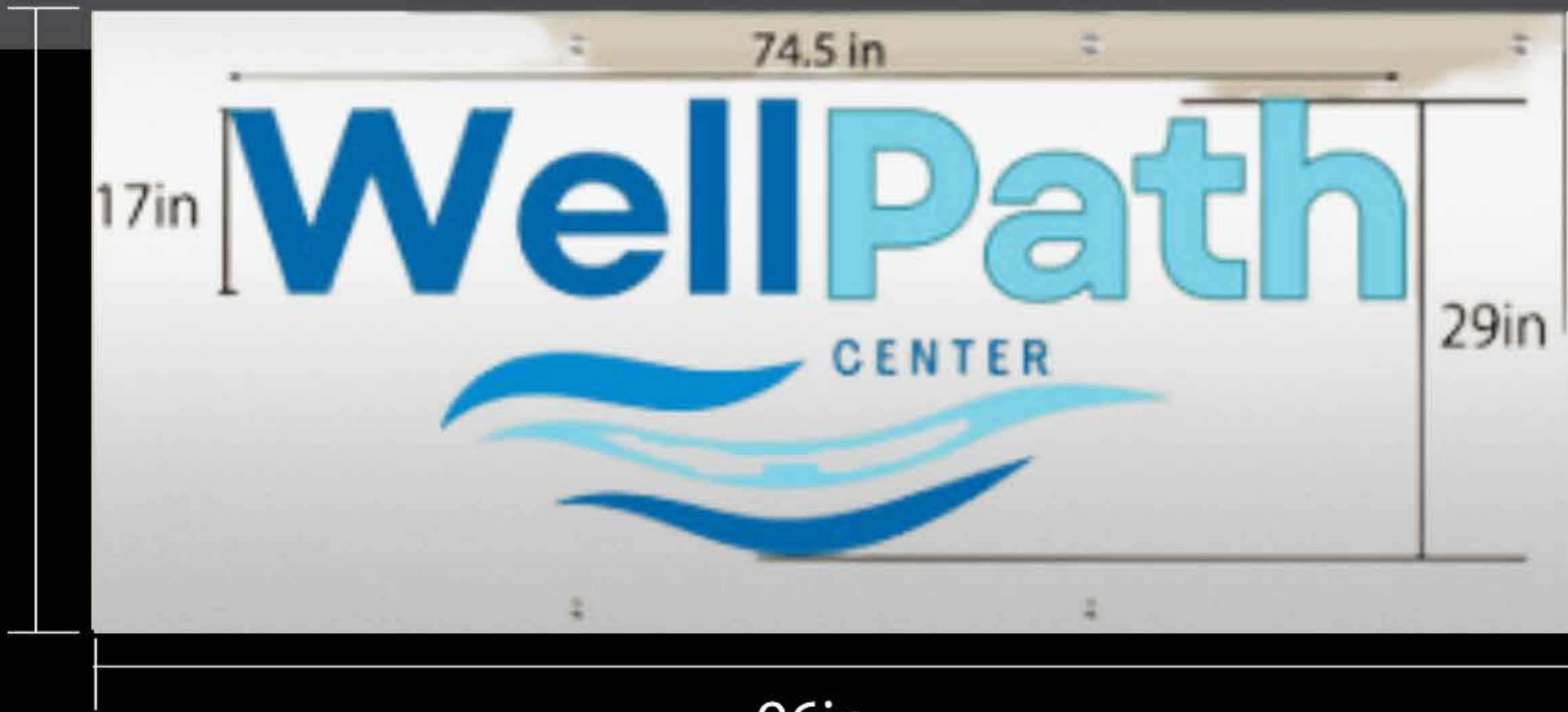
I move to approve the sign application for the WellPath Center located at 40 W Main Street Suite 100 as proposed with the following conditions/changes:

- **\*\*insert finding\*\***

**SAMPLE MOTION TO TABLE/DENY:**

I move that the application for the WellPath Center located at 40 W Main Street Suite 100 as proposed be tabled/denied based on the following:

- **\*\*insert finding\*\***



96in



18.5in

# WellPath

113 in

CENTER

44.5in

317 in

185 in

100



# ALPINE CITY PLANNING COMMISSION AGENDA

**SUBJECT: Subdivision Review Process (Concept Plan)**

**FOR CONSIDERATION ON: October 17<sup>th</sup>, 2023**

**PETITIONER: City Staff**

**ACTION REQUESTED BY PETITIONER: Review Edits to Concept Plan Review as Part of the Subdivision Review Process as Required by the State.**

**BACKGROUND INFORMATION:**

SB 174 of the 2023 General Legislative Session requires all local governments to, among other things, modify their subdivision ordinances to comply with the process described in the statute. These new requirements remove the City Council from reviewing purely administrative subdivisions (do not require an exception or zone change). It does allow the Planning Commission to be the reviewing body for the preliminary plan. The concept application review is now optional and can be done at the request of the applicant.

City Staff has begun updating the various sections of the city code to come into compliance with the new standards. The concept plan will be an optional step at the request of the applicant. City Staff felt it helpful to provide some direction to applicants who choose to have a concept plan review as part of their subdivision process. Attached are the edits staff has made to the current concept plan section of the code.

**ALPINE CITY CODE:**

[Alpine Development Code Chapter 4.06.10- Subdivision Ordinance \(Concept Plan\)](#)

**STAFF RECOMMENDATION:**

Review the proposed edits and give feedback where needed. No motion will be made as part of this review.

## 4.06 Major Subdivisions

### 4.06.010 Concept Plan Procedure

#### **4.06.010 Concept Plan Procedure**

- A. **PLAN REQUIREMENTS.** The subdivider ~~may shall~~ submit a concept plan to the Development Review Committee (DRC) made up of the City Administrator, Engineer, Planner, and other relevant staff as necessary~~the Planning Commission~~ prior to the submission of a preliminary plan. The concept plan shall enable the subdivider and the Development Review Committee~~to Committee Planning Commission to~~ review the proposed subdivision for general scope and conditions, which might affect said subdivision. The concept plan shall consist of a simple layout of existing and proposed streets, trails, lots, major buildings, planned residential developments, utilities, drainage channels, ditches and waterways.

The plan shall include the following items:

- ~~a.~~ ~~The scale on the concept plan should not be less than 1 inch to 200 feet (1" = 200'). Math scale may change as required on the 11"x17" copy.~~
  - ~~b.~~a. The proposed name of the subdivision.
  - ~~e.~~b. The address of the subdivision.
  - ~~d.~~c. A vicinity plan showing significant natural and man-made features on the site and within one half (2) mile of any portion of it.
  - ~~e.~~d. The property boundaries of the proposed subdivision, the names of adjacent property owners; topographic contours at no greater intervals than two feet, and north arrow. If the topography is steep, five-foot contour intervals shall be used.
  - ~~f.~~e. A proposed lot and street and trail layout, indicating general scaled dimensions of lots to the nearest foot.
  - ~~g.~~f. The acreage of the entire tract proposed for the subdivision and number of lots.
  - ~~h.~~g. The location of waterways, ditches and easements.
  - ~~i.~~h. Soil profiles for the tract proposed for subdivision where there are geologic hazards known to the subdivider or Alpine City.
  - ~~j.~~i. Source of water rights to be conveyed to the City.
  - ~~k.~~j. Other information, which may allow the DRC City Planner, City Engineer and the Planning Commission~~to evaluate the proposed subdivision.~~
- B. **REVIEW PROCEDURES.** During the concept plan review process,the DRC ~~the City Planner, City Engineer and the Planning Commission~~ may request reasonable additional information from the subdivider from time to time, ~~and may ask other advisors to review the plan if, in the opinion of the City, it may contribute to a decision in the best interest of the City.~~

After ~~submissions~~submittal of the required application materials, no excavation nor alteration of the terrain within a proposed subdivision may be undertaken prior to written approval ~~by the City Council~~ of the final plat. Excavation or alteration of the land prior to approval of the final plat may be cause for disapproval of the proposed subdivision.

#### **C. CITY PLANNER AND CITY ENGINEER**

- a. The subdivider shall meet with the City Planner and City Engineer to discuss the proposed subdivision before submitting an application or any plans.
- b. The subdivider shall prepare and submit two (2) D size (22" x 34") copies of the concept plan to the City Planner to be reviewed by the City Planner and City Engineer. The subdivider shall also submit an electronic copy of the plan in a compatible format as specified by City Staff.
- c. The City Planner and City Engineer shall review the concept plan to determine compliance with the Alpine City General Plan and all applicable City ordinances. The City Planner shall notify the subdivider of the review findings, including questionable design or engineering feasibility, inadequacy of submittals, non-compliance with the local regulations, and the need for other information which may assist in the evaluation the proposed subdivision.
- ~~d. When the City Planner and City Engineer determines that the concept plan is ready for Planning Commission review, the City Planner, in consultation with the Chairperson of the Planning Commission, will establish a date for a public hearing and initial presentation and review of the concept plan. In case of an impasse between the City Planner/City Engineer and the developer, the developer may appeal to the Planning Commission.~~

#### ~~D. PLANNING COMMISSION~~

- ~~a. Upon recommendation of the City Planner and City Engineer, the subdivider shall prepare and submit the following required documentation to the City Planner at least fourteen (14) days prior to the scheduled public hearing and ten (10) days prior to a regularly scheduled Planning Commission meeting for a resubmission:
 
  - ~~i. a completed Concept Plan Checklist and Application;~~
  - ~~ii. a list of all property owners within 500 feet of the boundaries of the proposed development, and envelopes that have been stamped and addressed to all the property owners named on the list; two (2) D-size (22" x 34") copies of the plan (including any revisions recommended by the City Planner and City Engineer in its initial review);~~
  - ~~iii. two (2) 11" x 17" copies drawn to scale, and~~
  - ~~iv. an electronic copy in a compatible format, as specified by City Staff.~~~~

~~A concept plan will not be considered by the Planning Commission until the application is complete and all required materials have been submitted within the required timeline.~~

- ~~b. The subdivider shall erect a sign of sufficient durability, and print and size quality that is reasonably calculated to give notice to passers-by. The sign shall be posted at least fourteen (14) days prior to the public hearing held by the Planning Commission. The sign:
 
  - ~~i. shall be 4 ft. (H) x 8 ft. (W);~~
  - ~~ii. is to be no more than six (6) feet in height from the ground; and~~
  - ~~iii. shall be posted five (5) feet inside the property line in a visible location on the property proposed for the development.~~~~

~~The following information shall be on the sign:~~

1. ~~Nature of the proposed development, i.e., residential, commercial, church, etc.;~~
  2. ~~Current zoning of the property and proposed zoning, if applicable;~~
  3. ~~Number of proposed lots and sizes, if applicable; and~~
  4. ~~Date, time, and place of the public hearing at which the concept plan will be presented.~~
- e. ~~Alpine City shall prepare a notification letter to be sent to all property owners within 500 feet of the boundaries of the proposed development that will include the following information:~~
- i. ~~Address or location of the proposed subdivision and the zoning designation;~~
  - ii. ~~Name of the developer(s);~~
  - iii. ~~Type of development that is proposed;~~
  - iv. ~~Number of acres in the proposed development;~~
  - v. ~~Number of lots in the proposed development and approximate lot size;~~
  - vi. ~~Date, time, and place of the public hearing at which the concept plan will be presented; and~~
  - vii. ~~Reference to the applicable ordinances that govern the development.~~

~~Alpine City shall mail the notification letter to the listed property owners at least seven (7) days prior to the public hearing.~~

- d. ~~The developer shall resubmit all required information, including a list of all property owners and erecting a new sign, if the application lapses for six (6) months or more. The Planning Commission will hold a new public hearing on the concept plan.~~
- e. ~~The Planning Commission shall give guidance to the subdivider to assist in meeting the requirements and constraints for subdivision development within the City of Alpine.~~
- f. ~~If the Planning Commission finds that the proposed concept plan complies with all applicable requirements, it shall approve the concept plan. If the Planning Commission determines that the proposed subdivision would violate local ordinances and regulations, no further review of the proposed subdivision shall be made by the Planning Commission, and a new concept plan shall be required to re-initiate the subdivision process.~~

#### ~~E. CITY COUNCIL~~

- a. ~~If concept plan approval is granted by the Planning Commission, the concept plan shall be presented to the City Council for information and any such direction as the City Council deems appropriate or necessary.~~
- b. ~~After concept approval has been granted and the concept plan presented to the City Council, the subdivider may apply for preliminary design plan approval. If preliminary plans have not been submitted within 180 calendar days of the date the concept plan was approved, such approval shall be null and void. The voided/null concept plan may be submitted for reinstatement by the Planning Commission, but will be subject to all applicable ordinances at the time of reinstatement and a reinstatement fee will be charged in accordance with the current fee schedule.~~

**ALPINE CITY PLANNING COMMISSION MEETING**  
**Alpine City Hall, 20 North Main, Alpine, UT**  
**October 3, 2023**

## **I. GENERAL BUSINESS**

- A. Welcome and Roll Call:** The meeting was called to order at 6:00 p.m. by Chair Jane Griener. The following were present and constituted a quorum:

Chair: Jane Griener

Commission Members: Troy Slade, Jeff Davis, John Mackay, Susan Whittenburg, Alan Macdonald, Ethan Allen

Excused:

Staff: Ryan Robinson, Jed Muhlestein, Marla Fox

Others: Morgan Anderson

**B. Prayer/Opening Comments:** Ethan Allen

**C. Pledge of Allegiance:** By Invitation

## **II. REPORTS AND PRESENTATIONS**

### **A. Training on new Subdivision Requirements**

Ryan Robinson said SB 174 of the 2023 General Legislative Session requires all local governments to, among other things, modify their subdivision ordinances to comply with the process described in the statute. These new requirements remove the City Council from reviewing purely administrative subdivisions (do not require an exception or zone change). It does allow the Planning Commission to be the reviewing body for the Preliminary Plan. The concept application review is now optional and can be done at the request of the applicant. This process is outlined as follows by the Utah League of Cities and Towns:

### **New Process Requirements**

- Local governments must designate an administrative land use authority (may be the planning commission for preliminary review but cannot be the planning commission for final review).
- All subdivision approval must conform to a two-step administrative process.
  - **Preliminary subdivision application review**
    - The administrative land use authority (municipal staff or planning commissioners) must review the subdivision application within 15 business days of receiving a complete application.
    - The administrative land use authority may receive public comment and conduct one public hearing.
    - If the application complies with applicable local regulations, it shall be approved and proceed to the second step.
  - **Final subdivision application review**
    - Local governments must complete a review of applications at this stage within 20 days.
    - Local governments may perform up to four review cycles on a given application.
    - A review cycle is not considered complete until the applicant has adequately addressed all of the redlines identified by the municipality.

- Local governments may only add new redlines after the first review cycle in response to changes made by the applicant or if a correction is necessary to protect public health or safety, or to enforce state or federal law.
- If the subdivision application complies with the requirements of the Land Use Development and Management Act, applicable local ordinances, and the preliminary subdivision approval granted, the local government shall approve the application.
- 

Ryan Robinson said this new process would eliminate the City Council and Public Hearings and would be administrative. The approval process would be cut down to minimal meetings. He said preliminary is where we talk about the infrastructure and then there would be a final.

Jane Griener asked about a form where the public could make comments on a subdivision. She said this would be a good gesture. Jeff Davis said the public could call or write an email if they had a question. Jane Griener said it would make people feel heard.

Ryan Robinson asked the Planning Commission to watch the training and then let him know so they could get credit.

### III. ACTION ITEMS

#### A. **Public Hearing: Amendment to Alpine Development code 3.23.060: Include a requirement for detached structures to have an agreement that the structure will not be used as an accessory apartment.**

Ryan Robinson said Alpine City, as required in Utah State Code *10-9a-530 Internal accessory dwelling units* allow accessory apartments if they are attached to the main dwelling (i.e., basement or attached garage). We do not and are not currently required to allow an accessory apartment as defined in Alpine Development Code 3.01.110 (see City Code section of staff report) for detached structures.

Lately, we are seeing more site plan reviews for structures that contain facilities that meet the definition of an apartment in detached structures. These applications are sent back as they do not meet our code. In the past several structures once passed are then converted to living quarters anyway.

City Staff is asking to add language in our development code to require an agreement (template attached) for detached structures to help further enforce these standards. It also helps the property owner know that a detached structure is not allowed. This document will be recorded with the property by the County Recorder's office so future homeowners know a detached structure cannot be converted into living space. There is language in this agreement that if the city ever allows for detached apartments this agreement becomes void. The Alpine City Attorney who also represents West Bountiful City uses a similar document and the basis for the code language comes from their code.

#### ALPINE CITY CODE:

- [Development Code 3.01.110- Definitions: Accessory Apartment](#) *A subordinate dwelling unit within and part of a principle dwelling and which has its own cooking, sleeping and sanitation facilities.*
- [Development Code 3.23.060 #1 Accessory Apartments.](#)

Jane Griener asked if someone could put a sink or bathroom in for parties. Ryan Robinson said that would be allowed, just not livable space.

Alan Macdonald asked why Alpine City is prohibiting this? Jane Griener said we don't want to turn every lot into a two-family lot and add to the density. Alan Macdonald said we are already allowing the building which adds to the density. He doesn't see a problem with allowing detached apartments and wonders if we are overreaching.

Ethan Allen said some people may need a rental to help afford their house payment or to help married kids.

Jane Griener said we could look at detached apartments later but should vote on this agreement.

Ryan Robinson said he was surprised the State didn't mandate allowing detached apartments; he said it could come in the future.

Alan Macdonald said we should just allow one apartment per property. He said we have issues with affordability.

Jane Griener said people invest in their property based on zoning. They bought their house in a single-family home neighborhood on purpose, and they want it to stay that way.

Alan Macdonald said maybe we could limit it to a certain size property to build a detached apartment.

Jane Griener asked how to word the agreement to allow a wet bar with a sink, microwave or mini fridge.

The Planning Commission had a discussion and said we could add, no fixed or attached fixtures like a range, oven, or attached microwave.

Jane Griener opened the Public Hearing.

Morgan Anderson, 333 N Main Street, asked if someone could sleep in the structure. Jane Griener said as long as no one lives there. She said your kids could sleep there just like they sleep out on the trampoline. Marla Fox said a lot of families are building these big bonus rooms over a garage and they have family parties and overflow family use, but no one can live in them, not even family. She said it is difficult because the best way to keep someone from living there is to take out the kitchen, but most people want the wet bar, sink, microwave and fridge. The structures have a bathroom and a big flex area, so it is easy to convert into an apartment.

Jane Griener closed the Public Hearing.

**MOTION:** Planning Commission member John MacKay moved to recommend approving the code amendment to require an agreement for detached structures to not allow them to be used as an accessory apartment with the following changes:

1. Remove #2 and insert it into the agreement that is signed and recorded.
2. Add definition of no fixed kitchen appliances.

Jeff Davis seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

**Ayes:**

Jane Griener  
 Troy Slade  
 Jeff Davis  
 John MacKay  
 Susan Whittenburg  
 Alan Macdonald  
 Ethan Allen

**Nays:****Excused****IV. COMMUNICATIONS**

Ryan Robinson said the conservation easement passed at City Council and they are now working with the County on an agreement.

Ryan Robinson said the Spaulding addition passed at City Council.

Ryan Robinson asked the Planning Commission members to watch the training video if they haven't already done so and report back to him when done so they could get credit.

Ryan Robinson said as far as the fruit stand goes, they had two conditions regarding parking. The first one was to put up no parking signs and the second was to meet with UDOT about painting the curb red. At the beginning of summer, the owner, Derek Rowley, did put up signs but they said to park in the back.

Jane Griener said we had no idea a second house was going to be built where the off-street parking was supposed to be. That wasn't disclosed to us when we met with the applicant. Therefore, people just parked on the street and there were no signs stating no parking. Ryan Robinson said the city asked the owner to put up no parking signs repeatedly and he finally did. Jane Griener said the signs were put up very late in the season and are not consistent. She said people park there anyway and asked what we could do about enforcement or if the license could be revoked.

Ryan Robinson said he spoke with the City Attorney about the no parking signs and the Attorney said as long as the owner has put up the signs, he does not have to enforce them, and we can't revoke the license. Jane Griener asked if the City Council could revoke the license until next year and ask the applicant to come back and re-apply. This way we have some control on what their plan is for the new year, and we can make sure they meet the conditions before a license is given. She said conditions this year were not in good faith and the Planning Commission does not have trust in them because the conditions were not followed.

Alan Macdonald said he likes how the Montdella Project is turning out for Main Street and said everybody has done a good job in making sure it is a good fit for the city.

**V. APPROVAL OF PLANNING COMMISSION MINUTES: September 19, 2023**

**MOTION:** Planning Commissioner Jeff Davis moved to approve the minutes for September 19, 2023, as written.

Troy Slade seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

**Ayes:**

Jane Griener  
 Troy Slade  
 Jeff Davis

**Nays:****Excused:**

John Mackay  
Susan Whittenburg  
Alan Macdonald  
Ethan Allen

**MOTION:** Planning Commissioner Troy Slade moved to adjourn the meeting.

Jeff Davis seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

**Ayes:**

Jane Griener  
Troy Slade  
Jeff Davis  
John MacKay  
Susan Whittenburg  
Alan Macdonald  
Ethan Allen

**Nays:**

**Excused:**

The meeting was adjourned at 7:30 p.m.