



Planning & Development Services Division

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## Salt Lake County Planning Commission

Public Meeting Agenda

**Wednesday, May 14, 2014 8:30 A.M.**

**THE MEETING WILL BE HELD AT SALT LAKE COUNTY GOVERNMENT CENTER  
2001 SOUTH STATE STREET, NORTH BUILDING, MAIN FLOOR, COUNCIL CHAMBERS,  
ROOM N1100**

**ANY QUESTIONS, CALL (385) 468-6700**

*REASONABLE ACCOMMODATIONS FOR QUALIFIED INDIVIDUALS MAY BE PROVIDED  
UPON RECEIPT OF A REQUEST WITH 5 WORKING DAYS NOTICE. PLEASE CONTACT  
WENDY GURR AT 385-468-6707. TTY USERS SHOULD CALL 711.*

The Planning Commission Public Meeting is a public forum where the Planning Commission receives comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Action may be taken by the Planning Commission on any item listed on the agenda which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

### **BUSINESS MEETING**

- 1) Approval of Minutes from the April 16, 2014 meeting
- 2) Other Business Items (as needed)

### **PUBLIC HEARINGS**

#### **Conditional Use -**

**28884** – Scott Geertsen for Elite Capital Properties, LLC – Requesting approval for a Conditional Use Permit for the construction of a Two-Family Dwelling. **Location:** 945 East 9400 South. **Zone:** A-1 (Agricultural, 10,000 sq. ft. min. lot size). **Community Council:** White City. **Planner:** Todd A. Draper

#### **Subdivision –**

**28885** – Scott Geertsen for Elite Capital Properties, LLC – Requesting preliminary approval of the Preliminary Plat for the 2-lot Elite Capital Properties Subdivision. The purpose of the subdivision is to accommodate the division of a Two-Family Dwelling. **Location:** 945 East 9400 South. **Zone:** A-1 (Agricultural, 10,000 sq. ft. min. lot size). **Planner:** Todd A. Draper

**28881** – Scott Carlson for AES Investments LLC and MRL Real Estate Development LTD – Requesting Preliminary approval of the Preliminary Plat for the 3-lot Sierra Estates Subdivision. **Location:** 3677 East Little Cottonwood Road. **Zone:** R-1-10 z/c (Residential, 10,000 sq. ft. min. lot size). **Planner:** Todd A. Draper

**28889** – Debbie Sanich for Turning Point Properties – Requesting preliminary approval of the Preliminary Plat for the 5-lot Turning Point Subdivision. **Location:** 10658 South Dimple Dell Road. **Zone:** R-1-43 (Residential, 1 acre min. lot size). **Planner:** Todd A. Draper

**PUD –**

**28887** – Rich Welch for Garbett Homes – Requesting approval of a proposed 15 lot Planned Unit Development Subdivision known as Treseder at Little Cottonwood PUD. **Location:** 3601 East Little Cottonwood Road. **Zone:** R-1-10 z/c (Residential, 10,000 sq. ft. min. lot size). **Community Council:** Granite. **Planner:** Todd A. Draper

**28891** – Kyle Christensen for SWK Property Management – Requesting approval of a proposed 4 lot Planned Unit Development Subdivision known as Janke Estates PUD. **Location:** 10308 South Dimple Dell Road. **Zone:** R-1-21 (Residential, ½ acre min. lot size). **Community Council:** Granite. **Planner:** Todd A. Draper

**ADJOURN**



**STAFF REPORT**

Executive Summary						
<b>Hearing Body:</b>	Salt Lake County Planning Commission					
<b>Meeting Date and Time:</b>	Wednesday, May 14, 2014	08:30 AM	<b>File No:</b>	2	8	8
<b>Applicant Name:</b>	Scott Geertsen	<b>Request:</b>	Conditional Use			
<b>Description:</b>	Construction of a Two-Family Dwelling					
<b>Location:</b>	945 East 9400 South					
<b>Zone:</b>	A-1 Agriculture	<b>Any Zoning Conditions?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>		
<b>Community Council Rec:</b>	Not yet received					
<b>Staff Recommendation:</b>	Approval with Conditions					
<b>Planner:</b>	Todd A. Draper					

**1.0 BACKGROUND**

**1.1 Summary**

The applicant is requesting Conditional Use approval to allow for the construction of a Two-Family dwelling upon the subject property. The use is allowed under the current A-1 zone.

**1.3 Neighborhood Response**

No response received as of the writing of this report.

**1.4 Community Council Response**

No response received as of the writing of this report. The White City Community Council is scheduled to hear this item at their regularly scheduled May 7, 2014 meeting.

**2.0 ANALYSIS**

**2.1 Applicable Ordinances**

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A'</u> : <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		Discussion: The plans as proposed meet all of the forgoing provisions.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B'</u> : <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Discussion: Compliance with all other regulations will be completed and monitored by staff through the subsequent technical review process and is required before final approval is granted by staff.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C'</u> : <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Discussion: The Traffic Engineer had no issues with the plans as proposed.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D'</u> : <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Discussion: All of these criteria are typically addressed through the subsequent technical review process. No issues have been identified to date. Final approval will be contingent on compliance with any requirements identified through the technical review process.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E'</u> : <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		Discussion: The proposed structure will be compatible with other buildings in the vicinity. All proposed setbacks will meet or exceed the minimum requirements for the A-1 zone.

## 2.2 Zoning Requirements

### 19.48.030 Conditional uses.

Conditional uses in the A-1 zone include:

- Two-family dwelling.

### **19.48.060 Front yard.**

In A-1 zones, the minimum depth of the front yard for main buildings and for private garages which have a minimum side yard of eight feet shall be thirty feet, or the average of the existing buildings where fifty percent or more of the frontage is developed, provided that in no case shall the front yard be less than twenty feet, or be required to be more than thirty feet. All accessory buildings, other than private garages which have a side yard of at least eight feet, shall be located at least six feet in the rear of the main building.

### **19.48.070 Side yard.**

A. Dwellings and Accessory Buildings. In the A-1 zone, the minimum side yard for any dwelling shall be eight feet, and the total width of the two required side yards shall be not less than eighteen feet. The minimum side yard for a private garage shall be eight feet, except that private garages and other accessory buildings located in the rear and at least six feet away from the main building shall be a minimum side yard of not less than one foot, provided that no private garage or other accessory building shall be located closer than ten feet to a dwelling on an adjacent lot. On corner lots, the side yard which faces on a street for both main and accessory buildings shall be not less than twenty feet, or the average of existing buildings where fifty percent or more of the frontage is developed, but in no case less than fifteen feet, or be required to be more than twenty feet.

B. Other Buildings. The minimum side yard shall be ten feet, and the total width of the two required side yards shall be not less than twenty feet. Minimum side yard provisions of this section shall apply to all structures, including guy wires for the support of any towers constructed under this chapter.

### **19.48.080 Rear yard.**

In the A-1 zone, the minimum depth of the rear yard for any main building shall be thirty feet, and for accessory buildings one foot; provided, that on corner lots which rear upon the side yard of another lot, accessory buildings shall be located not closer than ten feet to such side yard.

### **19.48.090 Building height**

A. Except as otherwise specifically provided in this title, no building or structure shall exceed the following height:

1. Thirty feet on property where the slope of the original ground surface exceeds fifteen percent or the property is located in the hillside protection zone. The slope shall be determined using a line drawn from the highest point of elevation to the lowest point of elevation on the perimeter of a box which encircles the foundation line of the building or structure. The box shall extend for a distance of fifteen feet or to the property line, whichever is less, around the foundation line of the building or structure. The elevation shall be determined using a certified topographic survey with a maximum contour interval of two feet;
2. Thirty-five feet on other properties;
3. No dwelling structure shall contain less than one story.

B. Accessory Buildings.

1. No building which is accessory to a dwelling shall exceed twenty feet in height. For each foot of height over fourteen feet, accessory buildings shall be set back from property lines an additional foot to allow a maximum height of twenty feet.

**19.84.050 Approval/denial authority.**

The planning commission has the authority to approve, deny, or approve with conditions conditional use applications.

B. Decision. Each conditional use application shall be:

1. Approved if the proposed use, including the manner and design in which a property is proposed for development, complies with the standards for approval outlined in Section 19.84.060; or
2. Approved with conditions if the anticipated detrimental effects of the use, including the manner and design in which the property is proposed for development, can be mitigated with the imposition of reasonable conditions to bring about compliance with the standards outlined in Section 19.84.060; or
3. Denied if the anticipated detrimental effects of the proposed use cannot be mitigated with the imposition of reasonable conditions of approval to bring about compliance with the standards outlined in Section 19.84.060.

**2.3 Other Agency Comments, Recommendations, and Requirements**

**Boundary Check**

Improvements in the ROW will be bonded for to include curb and gutter to replace existing drive approach and new drive approach.

Is there an easement on the property for use by property to the west? If so easement must be vacated on the subdivision plat.

At time of subdivision plat a note must be on plat that a survey of twin home foundation will be made (or has been made) to determine exact property line between units.

**Building Plan Check**

Get a building permit for construction.

**Geology Review**

No mapped or apparent geologic hazards at this site.

**Grading Review**

- 1..The property is vacant
2. The property slopes from east to west at approx 5% grade with a relief of approx 2 to 3 feet
3. There appears to box for irrigation in the Southwest corner of the lot which I will assume will be addressed by Hydrology.
4. The property is located in Very low Liquefaction and no other geological hazards are identified.
5. No sufficient grading issues are anticipated to develop the lot.
6. At the time of the Building permit application a site grading and drainage plan shall be submitted for review and comment along with an erosion control plan showing the BMP's.

**Health Department**

Review Approved

**Traffic Engineer**

Review Waived

### **Urban Hydrology Review**

No issues at this time however a technical review is required.

1. Final Drainage Plan is required. Include Name and phone number of registered Professional engineer (P.E.stamp required, signed and dated) Project name, address, north arrow and scale (min 1"=20')
2. Need to show existing storm drain system on plans including size, type and connecting structures.
3. Show or record storm drain easement.
4. Approximate storm drain impact fee is \$5598 per acre.

### **Unified Fire Authority Review**

Fire flow test is required

### **Planning Review**

Preliminary review approved. The remaining issues can be dealt with at the time of the technical review.

1. The footprint on the site plan/preliminary plat does not match that of the floor plans.
2. Must show the centerline of 9400 south and dimension the Half-width.
3. Show all existing structures on neighboring properties within 50 feet on the site plan.
4. Side yard setbacks should be dimensioned to the Bay windows.
5. Footprint dimensions on the site plan/preliminary plat need to match the dimensions on the floor plans.
6. Siding and stucco color(s) are not called out on the elevation drawings.
7. Existing and proposed grades are not shown or called out on the elevation drawings.
8. Show exterior lighting and utility meter locations on the elevations drawings.
9. Exterior stairs are not shown on the side elevations.
10. Landscape plan is approved. Landscape plan is exempted from the requirements of 19.77.

### **2.4 Other Issues**

None at this time

### **2.5 Subdivision Requirements**

The subdivision of the subject property is being handled through a separate application, #28885.

## **3.0 STAFF RECOMMENDATION**

### **3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:**

- 1 ) Compliance with all requirements of the individual reviewing agencies that are identified through the subsequent technical review process.

### **3.2 Reasons for Recommendation**

- 1 ) The application meets the 5 criteria for approval.
- 2 ) Remaining issues will best be dealt with with staff during the technical review phase.

### **3.3 Other Recommendations**

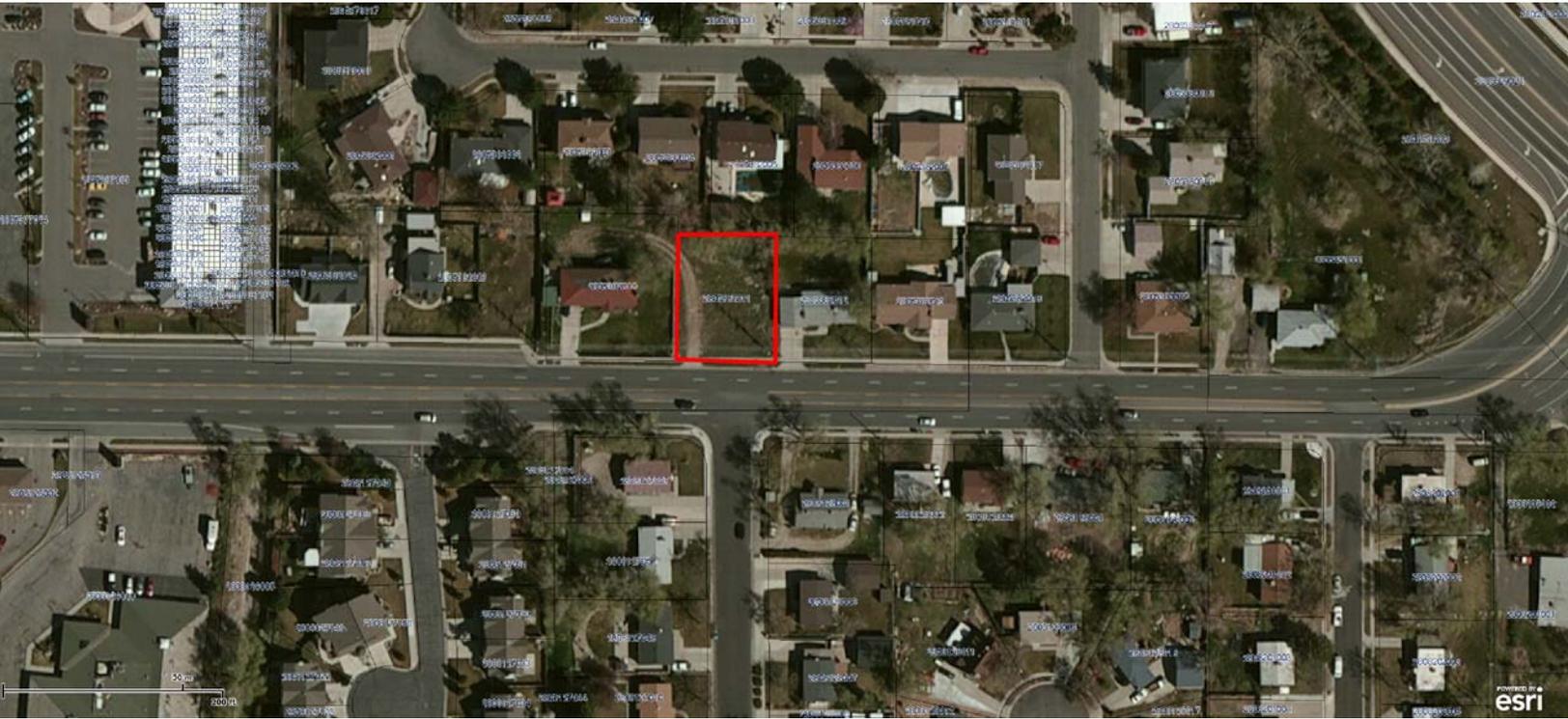
None at this time.





# 28884 and 28885

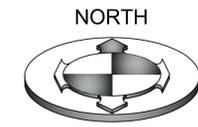
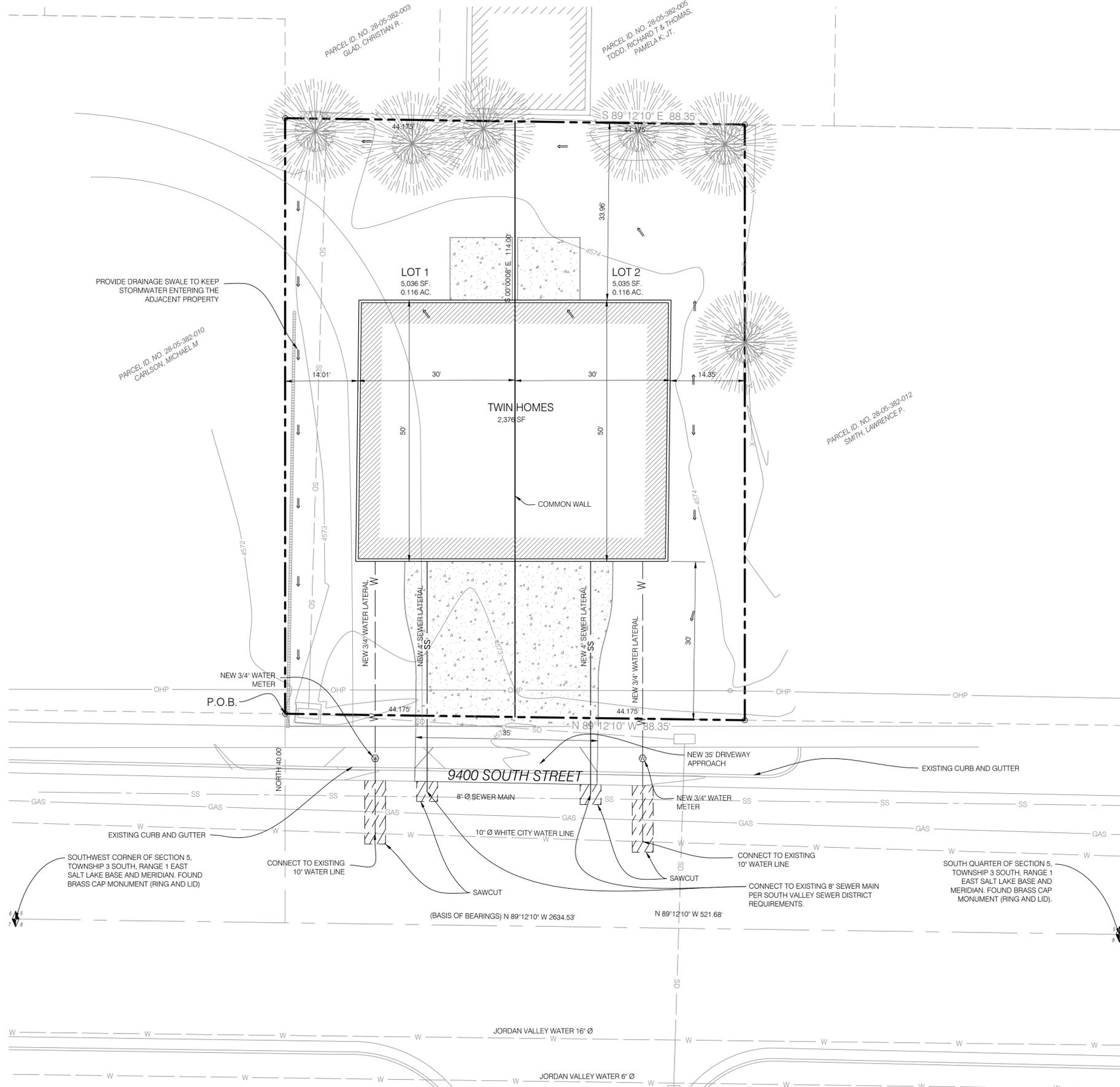
Aerial Map



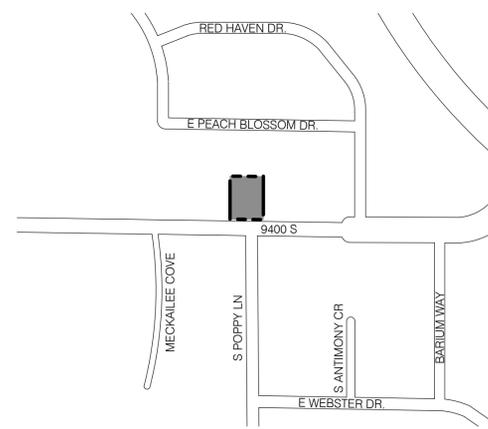
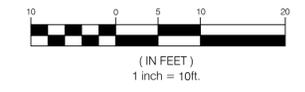
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# PRELIMINARY PLAT

LOCATED AT THE SOUTHEAST QUARTER OF  
SECTION 5, TOWNSHIP 3 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN



GRAPHIC SCALE



VICINITY MAP  
N.T.S

### LEGEND

- SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 3/4 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- FIRE HYDRANT
- PROPOSED DIRECTION OF DRAINAGE

### BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE NORTH RIGHT OF WAY LINE OF 9400 SOUTH STREET SAID POINT BEING N89°12'10\"/>

CONTAINS 10,071 SQUARE FEET  
0.232 ACRES, MORE OR LESS  
2 LOTS

CALL BEFORE YOU DIG.  
IT'S FREE & IT'S THE LAW.

BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER

1-800-662-4111  
www.bluestakes.org

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		



**BENCHMARK ENGINEERING & LAND SURVEYING**  
9130 SOUTH STATE STREET SUITE # 100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com



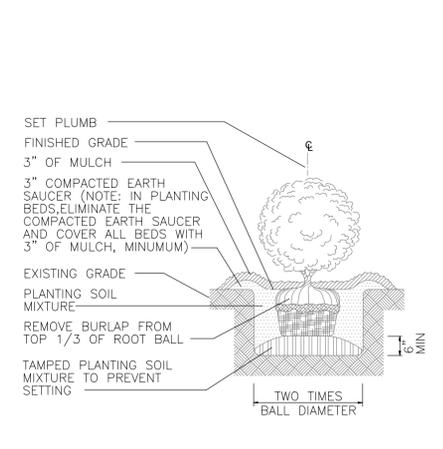
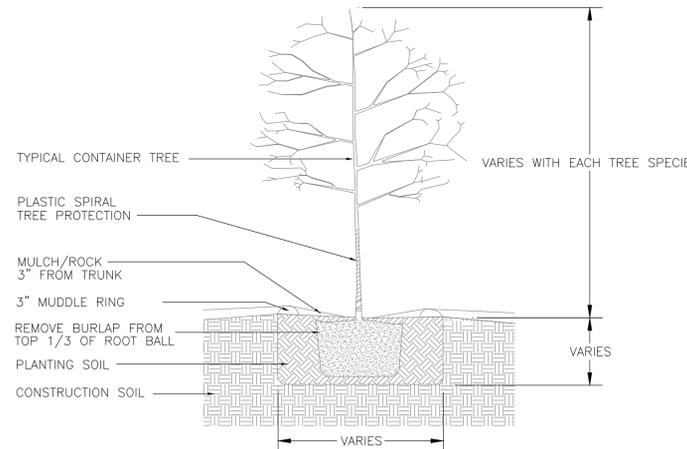
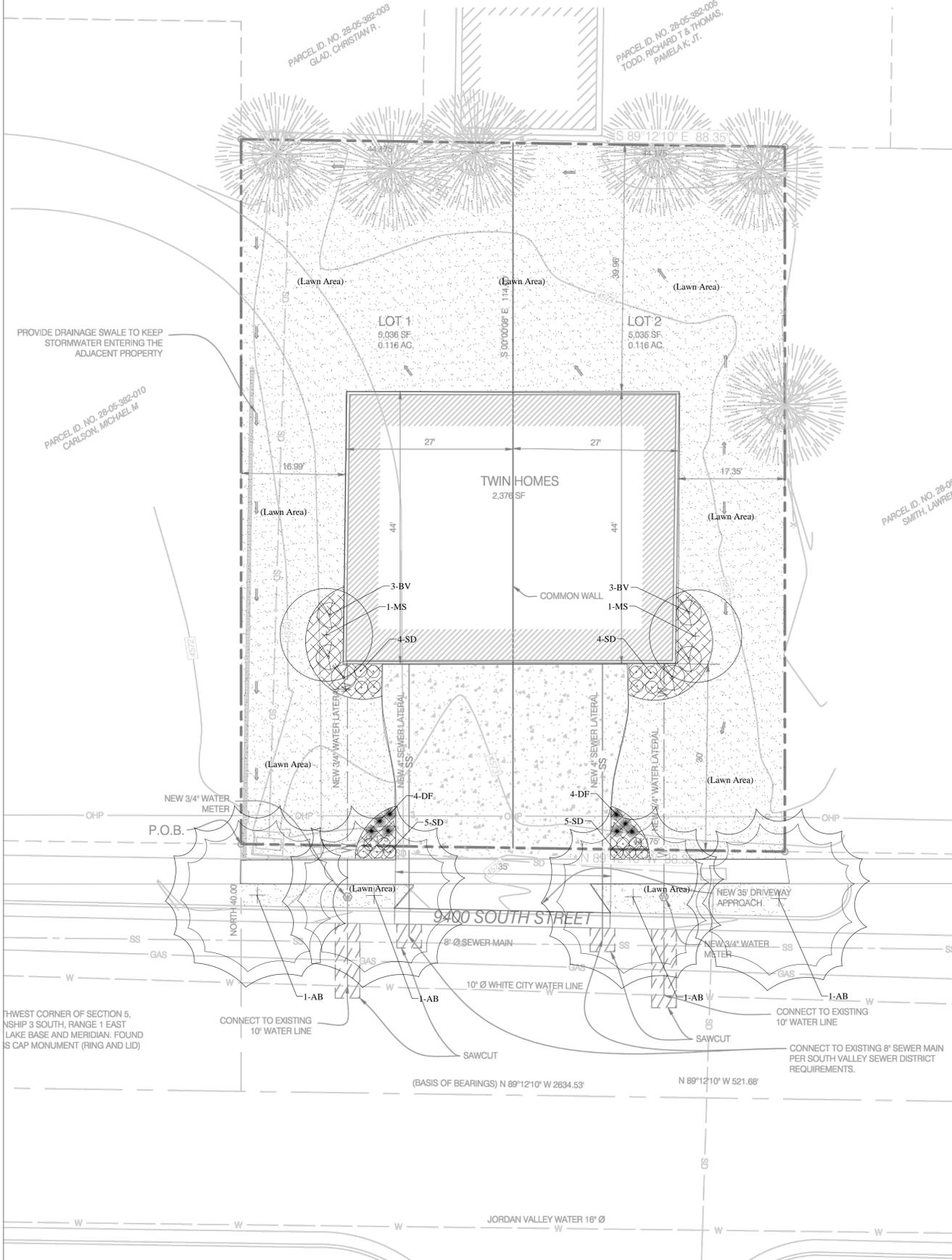
**ELITE CAPITAL PROPERTIES**  
945 EAST 9400 SOUTH  
SALT LAKE COUNTY, UTAH

PROJECT NO. 1403034

PRELIMINARY PLAT

# PRELIMINARY PLAT

LOCATED AT THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN



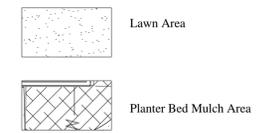
### LEGEND

- ◆ SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 1/2 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- ⚡ FIRE HYDRANT
- ↑ PROPOSED DIRECTION OF DRAINAGE

### Plant Schedule

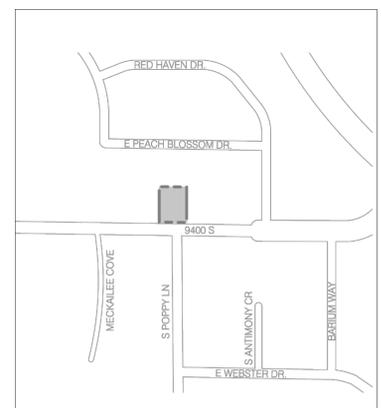
Symbol	Botanical Name	Common Name	Size Of Plant	Maturity Size	Plant Count
AB	<i>Acer x freemanii</i>	AUTUMN BLAZE MAPLE	2" cal.	40'-50' H x 30'-40' W	4
MS	<i>Malus x 'Spring Snow'</i>	SPRING SNOW CRABAPPLE	2" cal.	20-25' H x 20' W	2
BV	<i>Viburnum x burkwoodii</i>	BURKWOOD VIBURNUM	5 Gal. Container	6'-12' H x 5' W	6
DF	<i>Pennisetum alopecuroides 'Hameln'</i>	DWARF FOUNTAIN GRASS	1 Gal. Container	2' H x 2' W	8
SD	<i>Heimerocallis x 'Stella de Oro'</i>	STELLA DE ORO DAYLILY	1 Gal. Container	2' H x 2' W	18

### Material Legend:



### AREA TABLE

PARTICULARS	S.F.	%
Impervious Areas	1,664	15
Landscape Area	6,920	63
Building Area	2,376	
Building Coverage %		22
TOTAL	10,071	100

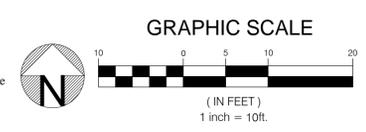


### Design Intent Statement:

The design intent for this Landscape Plan is to plant trees and shrubs next to the road frontage. This will allow the property to look attractive from the road adjacent to the property. The lawn and shrub planting next to the homes help to soften the hard corners of the houses and beautify both lots.

## PRELIMINARY PLAT LANDSCAPE PLAN

LANDSCAPE ARCHITECT INFO: AEROSCAPE  
 Jeremy Ainsworth  
 jeremy@aerocaputah.com  
 801-301-7713



APPLICANT INFO: ELITE CAPITAL PROPERTIES  
 3590 PLYMOUTH ROCK COVE  
 LEHI, UTAH 84043  
 801-450-8595

PRELIMINARY  
NOT FOR CONSTRUCTION

### Drawing Revisions

Date	Description

ELITE CAPITAL PROPERTIES  
 945 EAST 9400 SOUTH  
 SALT LAKE COUNTY, UTAH



Project Number: 014-001 Elite Capital

Drawn By: JTA

Checked By: Jeremy Ainsworth

Issue Date: 04-02-14

Drawing Scale: 1"=10'-0"

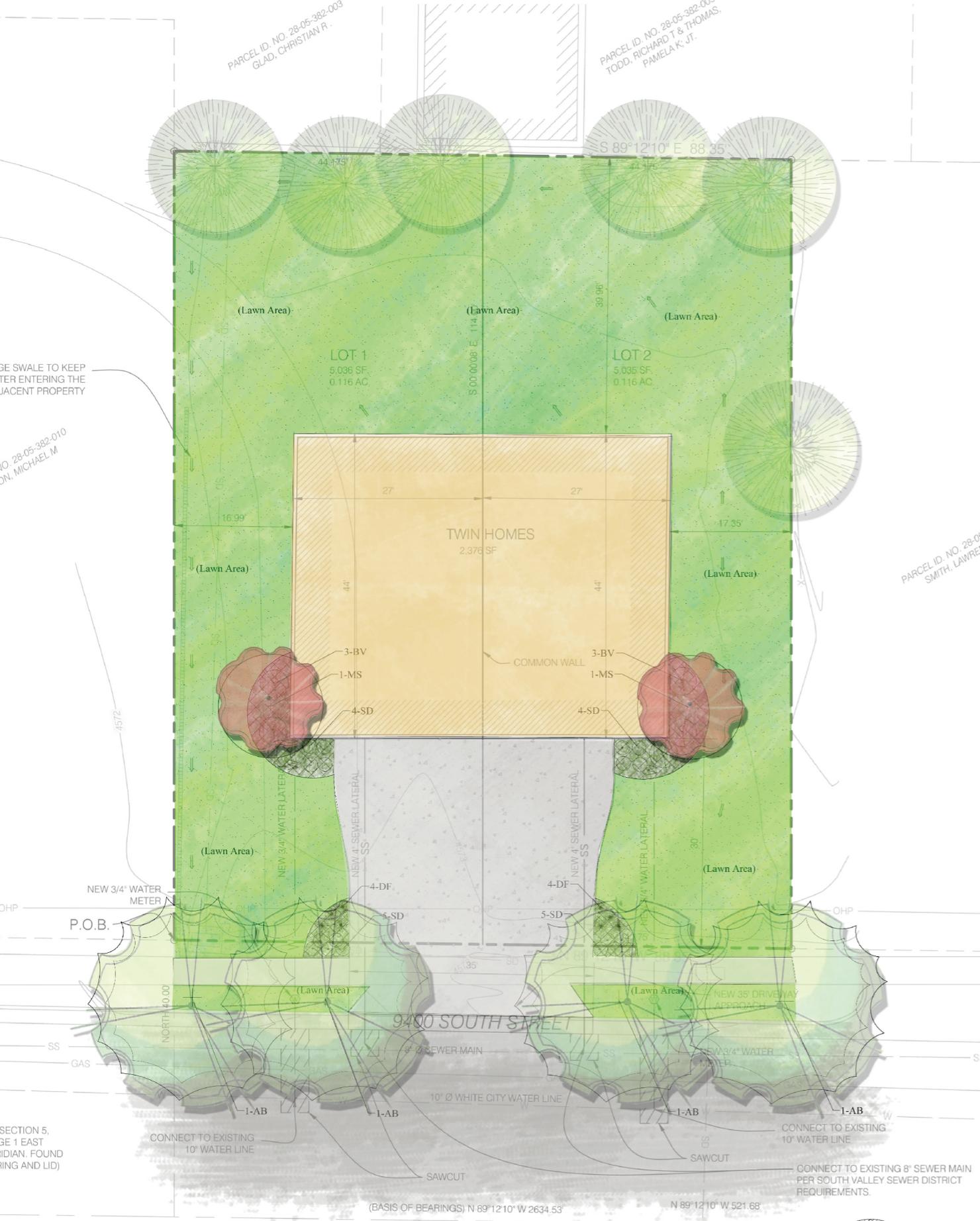
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# PRELIMINARY PLAT

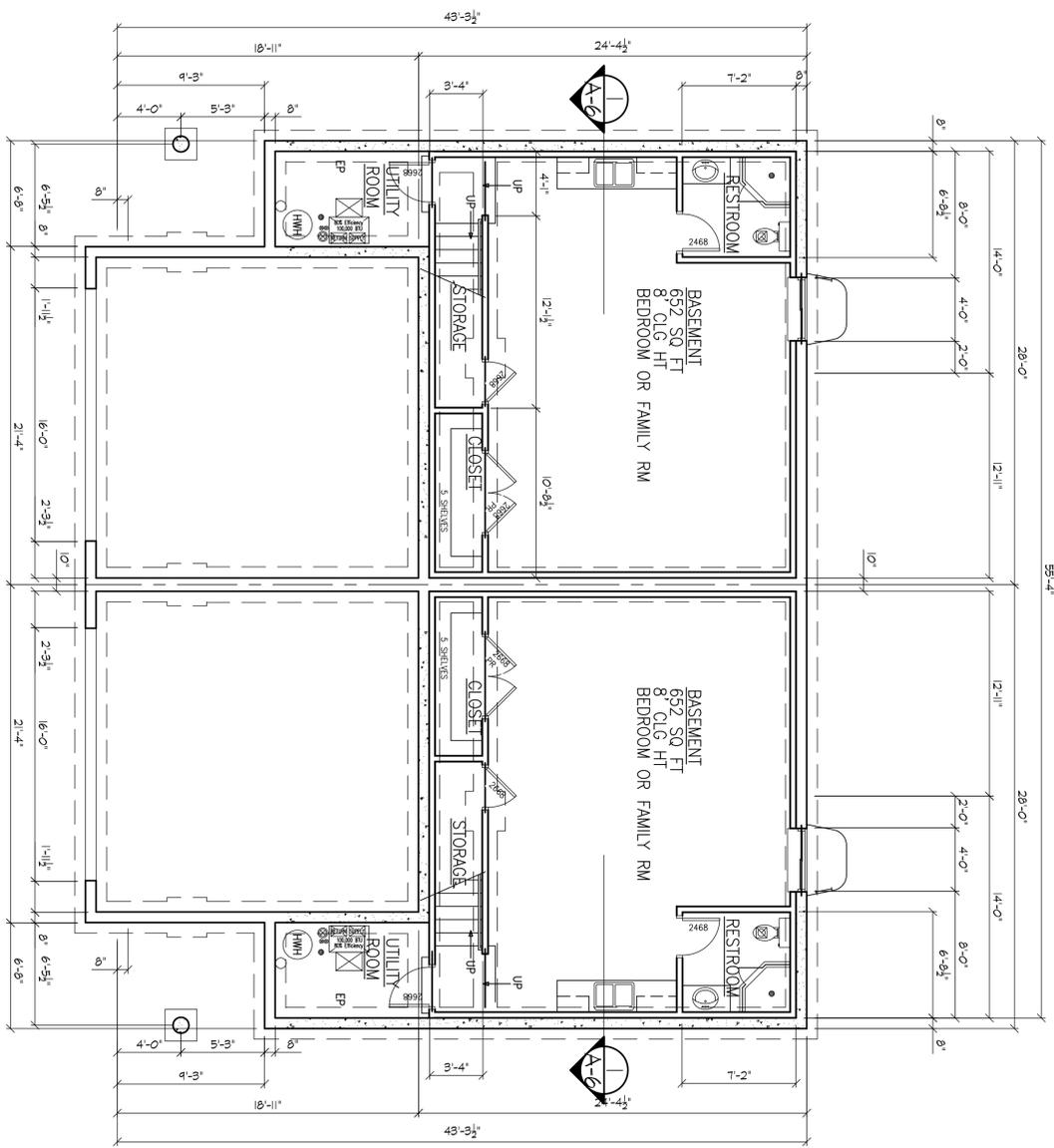
## ELITE CAPITAL PROPERTIES

### 945 EAST 9400 SOUTH

### SALT LAKE COUNTY, UTAH



APPLICANT INFO:  
 Elite Capital Properties  
 3590 Plymouth Rock Cove  
 Lehi, Utah 84043  
 801-450-8595



BASEMENT FLOOR PLAN  
SCALE 1/4"=1'-0"



**RIDGELINE DESIGN ARCHITECTS**  
 1708 EAST 5550 SOUTH #20  
 SOUTH OGDEN, UT 84403  
 PHONE: 801-392-6882 FAX: 801-621-1494  
 www.ridgeline-design.com



Stamp:  
 Date: 4-3-2014  
 Revisions:

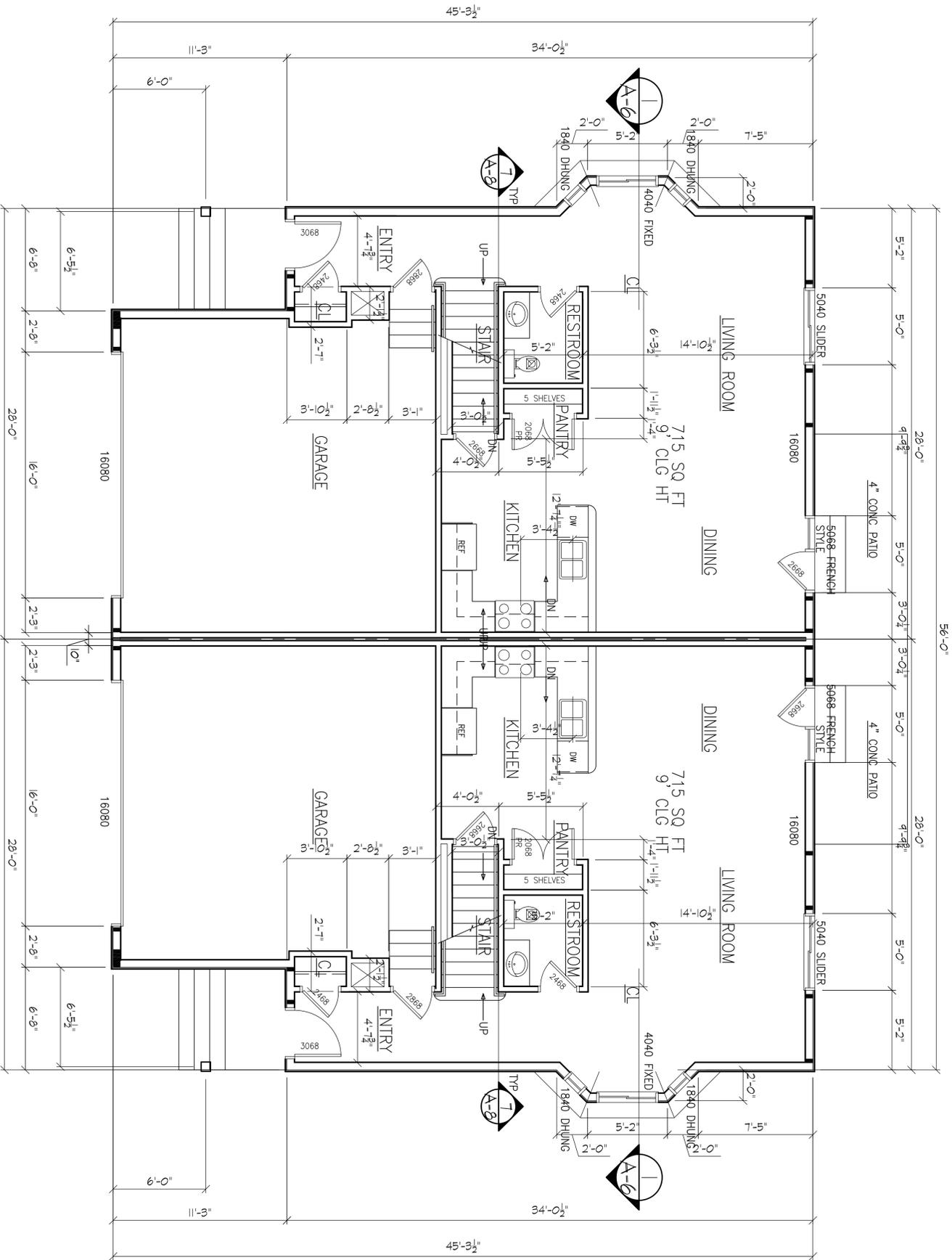
**ELITE CAPITAL PROPERTIES**  
**NEW TOWN HOUSE**  
 945 E 9400 S  
 WHITE CITY, UT

Sheet Title:  
**BASEMENT FLOOR PLAN**

Project Number:  
 1416

Sheet:  
**A-1**

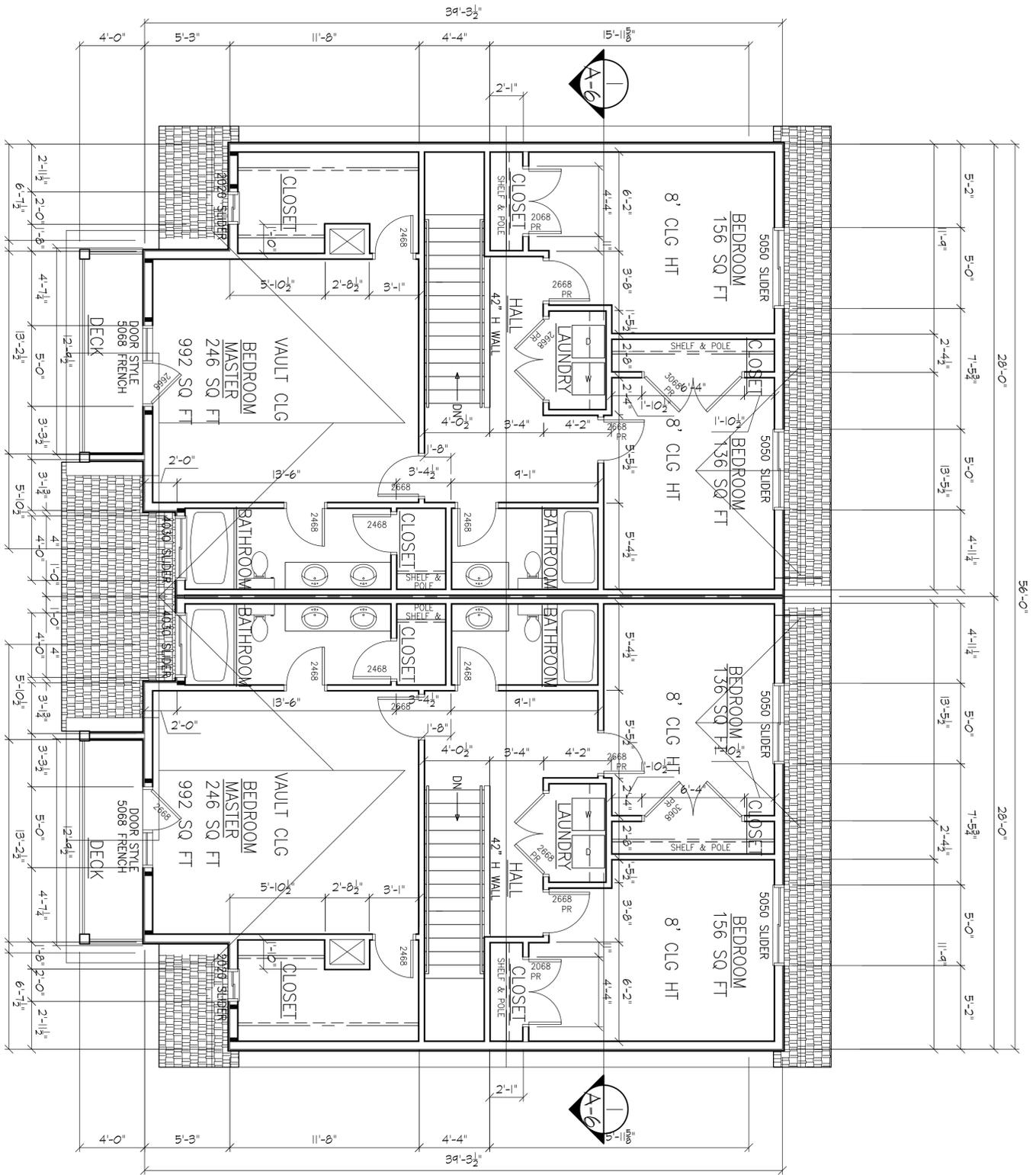
Original drawings remain the property of Ridgeline Design Architects and as such Ridgeline Design Architects retains total ownership and control. The design represented by these drawings is sold to the client for a one-time use, unless otherwise agreed upon in writing by Ridgeline Design Architects.



GROUND FLOOR PLAN  
SCALE 1/4"=1'-0"



<p>Sheet: <b>A-2</b></p>	<p><b>ELITE CAPITAL PROPERTIES</b> <b>NEW TOWN HOUSE</b> 945 E 9400 S WHITE CITY, UT</p>	<p>Date: 4-3-2014 Revisions:</p>	<p>Stamp:</p>		<p><b>RIDGELINE DESIGN ARCHITECTS</b> 1708 EAST 5550 SOUTH #20 SOUTH OGDEN, UT 84403 PHONE: 801-392-6882 FAX: 801-621-1494 www.ridgeline-design.com</p> <p><small>Original drawings remain the property of Ridgeline Design Architects and as such Ridgeline Design Architects retains total ownership and control. The design represented by these drawings is sold to the client for a one-time use, unless otherwise agreed upon in writing by Ridgeline Design Architects.</small></p>
<p>Project Number: 1416 Sheet Title: GROUND FLOOR PLAN</p>					



SECOND FLOOR PLAN  
SCALE 1/4"=1'-0"



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Date: 4-3-2014  
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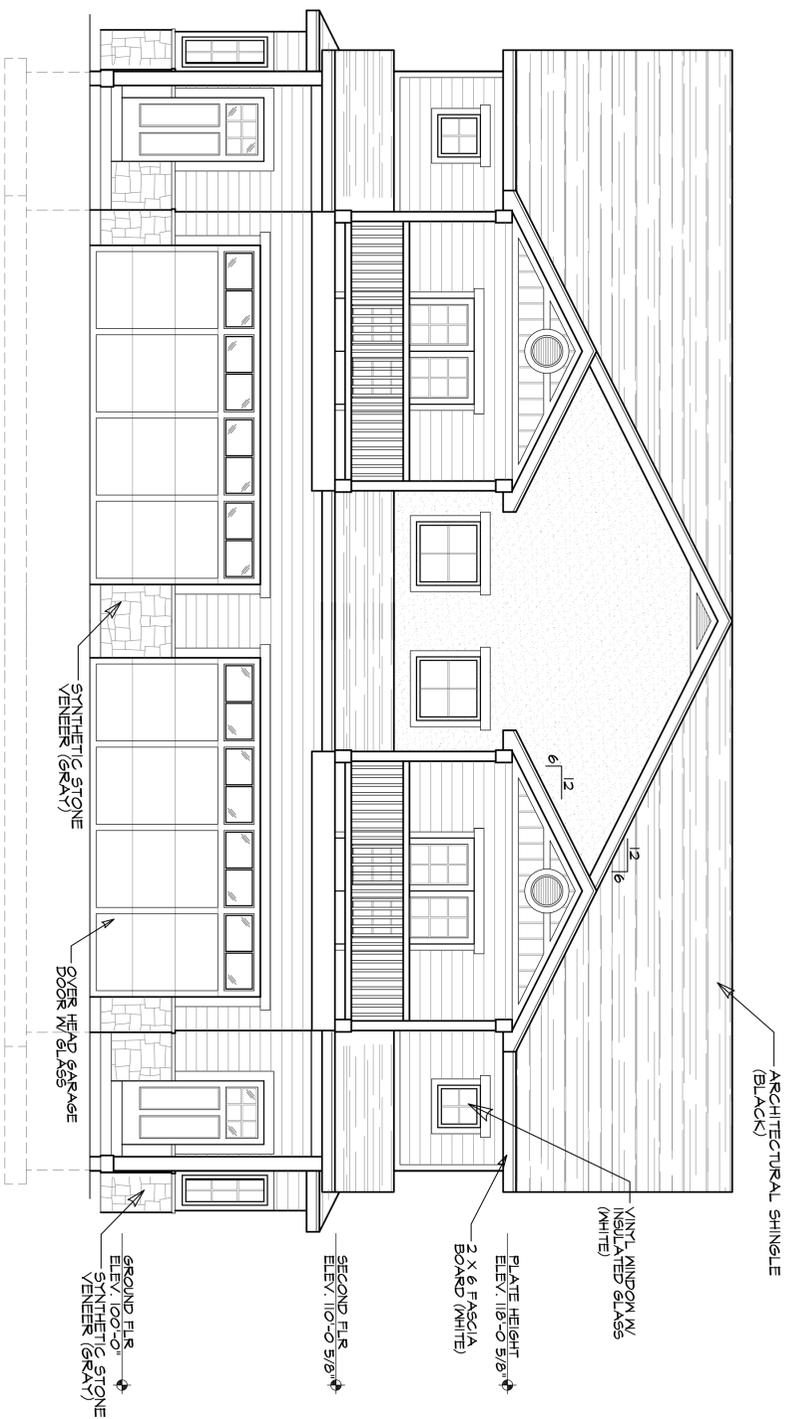
**ELITE CAPITAL PROPERTIES**  
**NEW TOWN HOUSE**  
945 E 9400 S  
WHITE CITY, UT

Sheet Title:  
SECOND FLOOR PLAN & ROOF PLAN

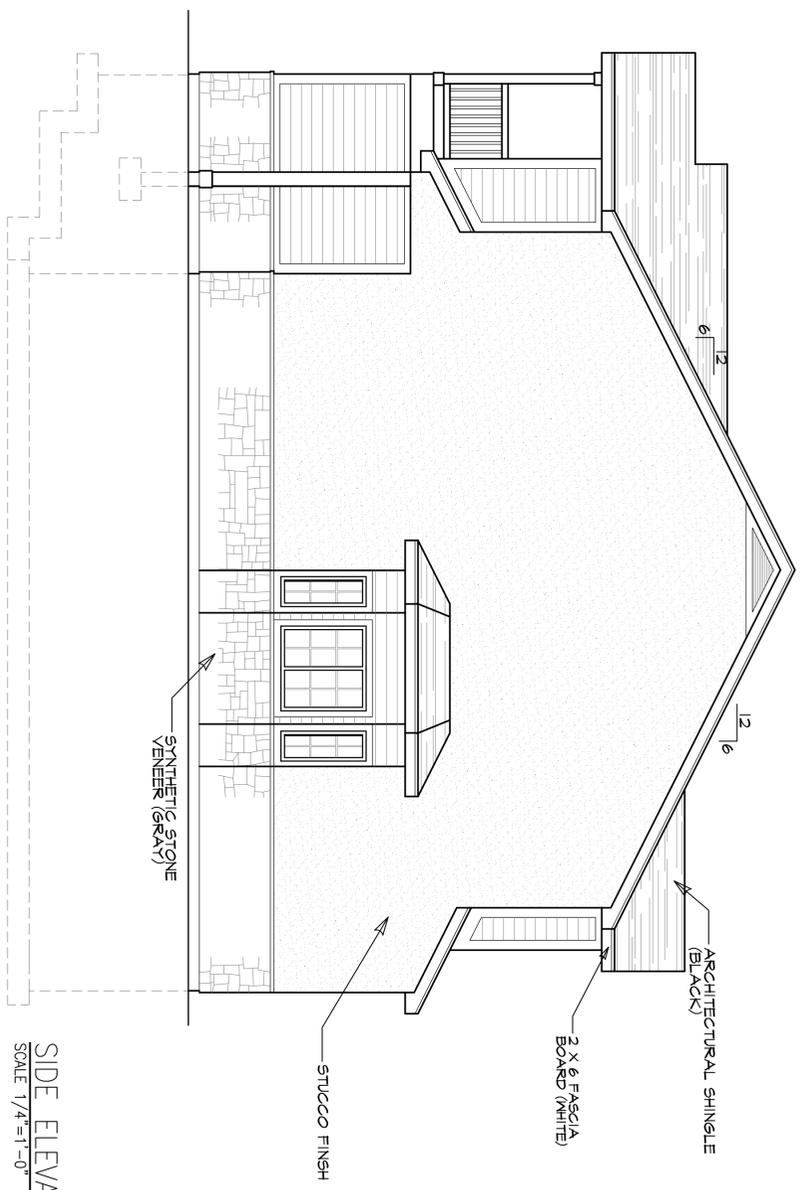
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1416

Sheet:  
**A-3**

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FRONT ELEVATION  
SCALE 1/4"=1'-0"



SIDE ELEVATION  
SCALE 1/4"=1'-0"

**RIDGELINE DESIGN ARCHITECTS**  
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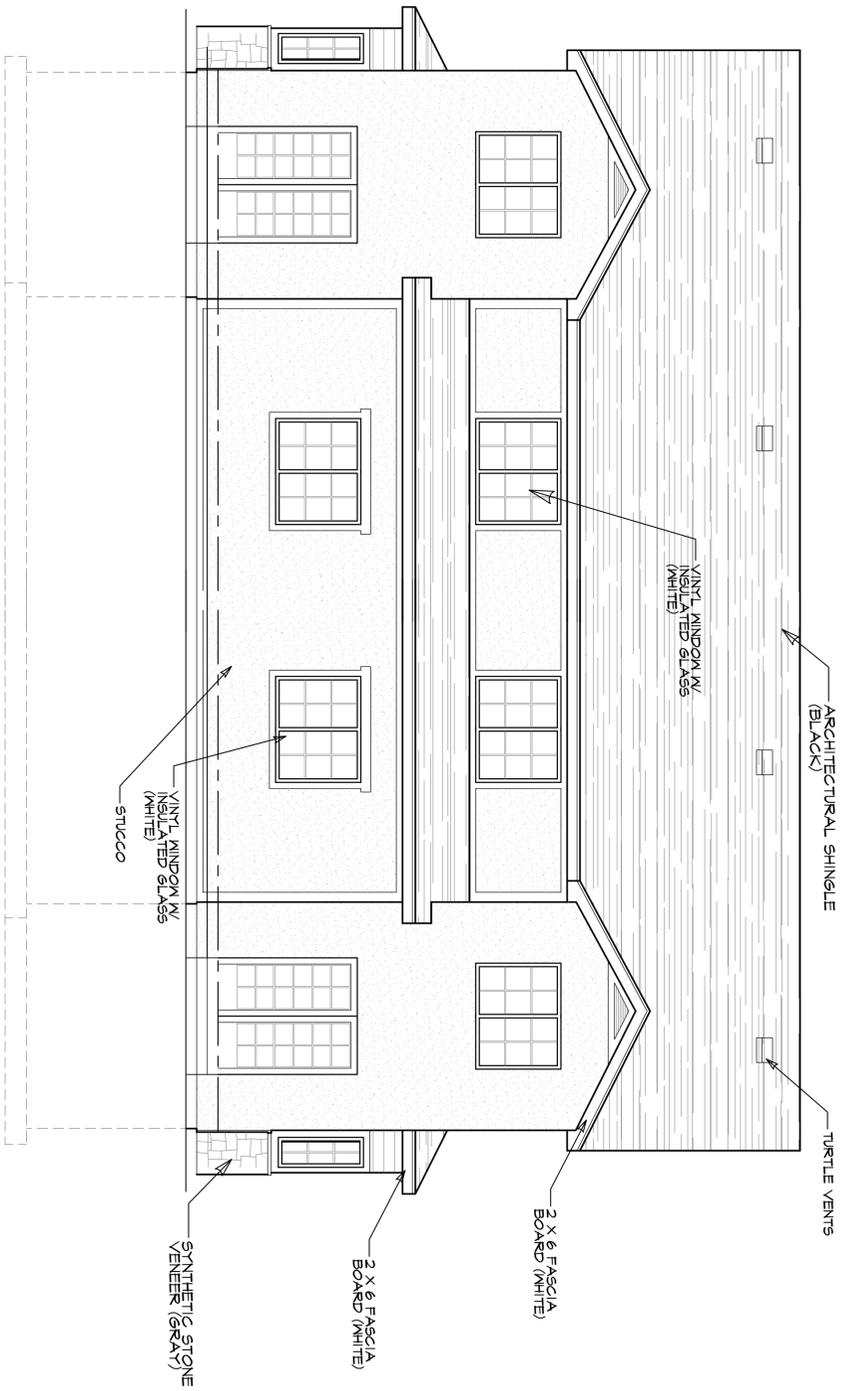
**ELITE CAPITAL PROPERTIES**  
**NEW TOWN HOUSE**  
 945 E 9400 S  
 WHITE CITY, UT

Sheet Title:  
 EXTERIOR  
 ELEVATIONS

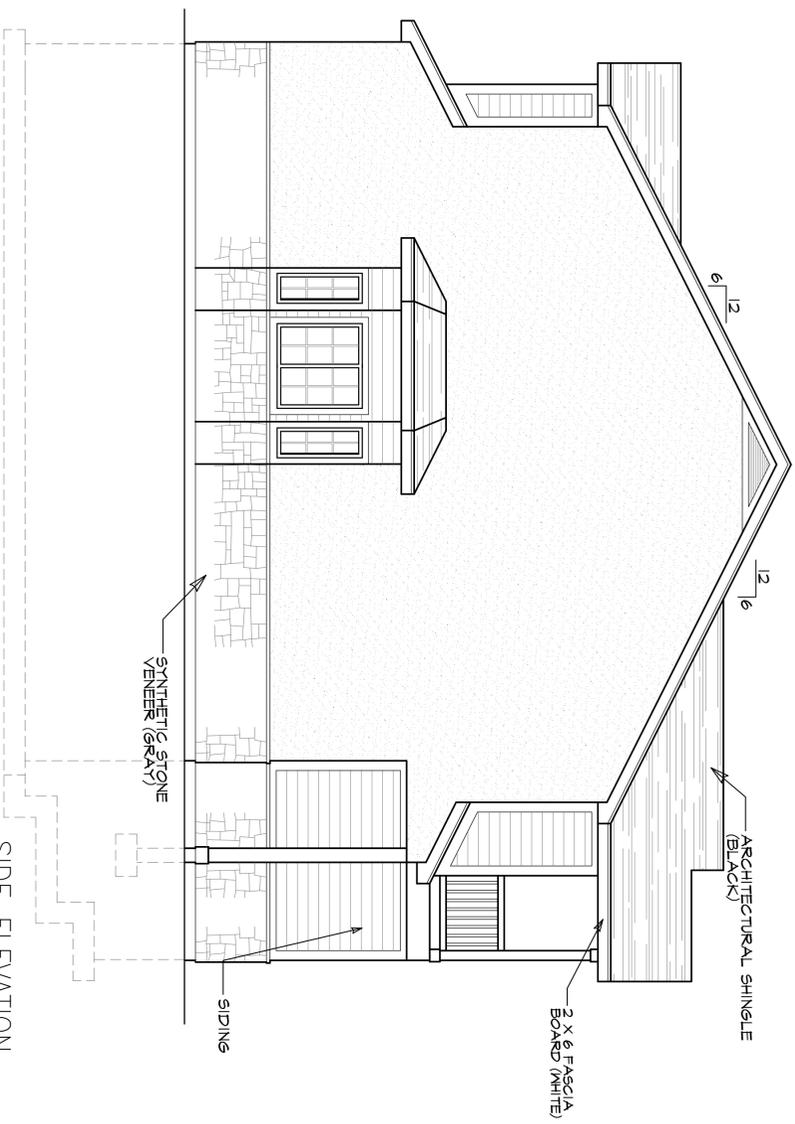
Project Number:  
 1416

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**A-4**

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REAR ELEVATION  
SCALE 1/4"=1'-0"



SIDE ELEVATION  
SCALE 1/4"=1'-0"

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4-3-2014

Revisions:

**ELITE CAPITAL PROPERTIES**  
**NEW TOWN HOUSE**  
 946 E 9400 S  
 WHITE CITY, UT

Project Number:  
1416

Sheet Title:  
EXTERIOR  
ELEVATIONS

Sheet:

A-5

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# BUILDINGS AND STRUCTURES

## BUILDING ELEVATIONS - Craftsman Style Design



This section addresses the architectural flavor that is desired for 945 E. 9400 S. These images are an example and do not represent specific form or material requirements. Proposed exterior materials include: 30 year architectural shingles, cultured stone, stucco, fiber cement siding on all sides. 945 E. 9400 S. will have its own unique architectural style and design. The proposed development would contain the highest level of design, function, and appearance standards including a proposed color scheme as follows:

Windows – White, Soffit & Fascia – White, Hardy Board – White  
Cultured Stone – Gray, Shingles - Black











**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Salt Lake County Planning Commission								
<b>Meeting Date and Time:</b>	Wednesday, May 14, 2014	08:30 AM	<b>File No:</b>	2	8	8	8	5	
<b>Applicant Name:</b>	Scott Geertsen	<b>Request:</b>	Subdivision						
<b>Description:</b>	Division of a Two-Family Dwelling								
<b>Location:</b>	945 East 9400 South								
<b>Zone:</b>	A-1 Agriculture	<b>Any Zoning Conditions?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Todd A. Draper								

**1.0 BACKGROUND**

**1.1 Summary**

The applicant is requesting preliminary approval of the Preliminary Plat for the division of a Two-Family dwelling.

**1.3 Neighborhood Response**

No response has been received as of the writing of this report

**2.0 ANALYSIS**

**2.1 Applicable Ordinances**

**19.48.110 Division of two-family dwelling**

A lot containing a two-family dwelling may be subdivided, creating a new lot line along the shared common wall and extending to the front and rear property lines, subject to the following conditions:

- A. The minimum area of the lot containing each unit shall be five thousand square feet.
- B. The division of ground is subject to the requirements of the Salt Lake County Subdivision Ordinance (Title 18).
- C. The subdivision plat shall specifically note that the purpose of the subdivision is to accommodate the division of a two-family dwelling.

## 2.2 Subdivision Requirements

### 18.08.010 Procedure generally

The planning commission shall be the land use authority for subdivisions. In order to assure that each subdivision fully complies with the provisions of this title, the director or director's designee shall administer formal application and review procedures for subdivisions. An application shall not be deemed complete until the full application, fees and all required materials have been submitted. The payment of a partial fee and submission of preliminary plans for a pre-submittal review does not constitute a complete application.

Each process shall include the following components:

A. An application procedure, which shall include:

1. Submission of an application form, as designed by the director or director's designee to clearly indicate the type of application, property address, applicant information, and other pertinent information;
2. Submission of supplementary materials, including a legal description, property plat, the required number of plans/preliminary plats, and mailing labels (if required) for notifications;
3. Payment of fees, as required under Title 3, Revenue and Finance.

B. A review procedure, which shall include:

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;
4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C. A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
3. Receipt of a recommendation from the planning staff;
4. Approval of the preliminary plat as outlined in Section 18.12.030, and issuing a preliminary plat approval letter.

D. A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;
2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
4. Payment of final fees and bond;
5. Recordation of the plat.

### **18.08.015 Time limits**

Subdivision applications are subject to expiration according to the following schedule unless, for good cause shown, the applicant is granted an extension of time by the director or director's designee:

- A. A subdivision application shall expire if the applicant has not filed any of the required documents for preliminary plat approval within six months of the submission of a complete application.
- B. A subdivision application shall expire if the final plat is not submitted to planning and development services within six months of the preliminary plat approval.
- C. A subdivision application shall expire if the final plat has not been signed by the county mayor within six months of the approval of the director or director's designee.
- D. A subdivision application shall expire if the final plat has not been recorded within six months of the date of the county mayor's signature on the plat.

### **18.12.030 Preliminary plat approval or disapproval.**

Following a review of the preliminary plat the planning commission shall act on the preliminary plat as submitted or modified. If the plat is approved, the director or director's designee shall sign the plat. One copy of the preliminary plat shall be provided to the subdivider. One signed copy shall be retained by the planning and development services division, and one copy of the approved plat shall be returned to the developer's engineer. If the preliminary plat is disapproved, the director or director's designee shall notify the developer in writing and give reasons for such disapproval. The receipt of a signed copy of the approved preliminary plat shall be authorization for the subdivider to proceed with the preparation of specifications for the minimum improvements required in Chapter 18.24 of this title and with the preparation of the final plat.

## **2.3 Other Agency Comments, Recommendations, and Requirements**

### **Boundary Check**

1. Improvements in the ROW will be bonded for to include curb and gutter to replace existing drive approach and new drive approach.
2. If there is an easement on the property for use by property to the west, it must be vacated on the subdivision plat.
3. At time of subdivision plat a note must be on plat that a survey of twin home foundation will be made (or has been made) to determine exact property line between units
4. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development.
5. Final plat must be on regular County Titleblock
6. Subdivision must be named
7. Show Fire Hydrants on Final Plat
8. All Streets within 200 ft. of the proposed subdivision must be shown on plat
9. Label all utility and drainage easements on final plat
10. A preliminary report of title will be required at the final stage of the project.
11. Provide a final digital copy of the final civil drawings once all reviews have been approved.

### **Building Plans Review**

1. Get a building permit for construction of the dwelling.
2. Need to submit a copy of a fire flow test.

### **Geology Review**

No mapped or apparent geologic hazards at this site.

## **Grading Review**

1. The property is vacant
2. The property slopes from east to west at approx 5% grade with a relief of approx 2 to 3 feet
3. There appears to be a box for irrigation in the Southwest corner of the lot which I will assume will be addressed by Hydrology.
4. The property is located in Very low Liquefaction and no other geological hazards are identified.
5. No sufficient grading issues are anticipated to subdivide the lot

## **Health Department**

Review approved

## **Traffic Engineer**

1. Roadway dedication is required in order to achieve a 53' ROW halfwidth.
2. Off-site improvements that are existing do not need to move.

## **Unified Fire Authority**

Fire flow test required

## **Urban Hydrology Review**

1. No issues at this time however a technical review is required.
2. A Final Drainage Plan is required. Include Name and phone number of registered Professional engineer (P.E. stamp required, signed and dated) Project name, address, north arrow and scale (min 1"=20')
3. Need to show existing storm drain system on plans including size, type and connecting structures.
4. Show or record storm drain easement.
5. Approximate storm drain impact fee is 5598 per acre

## **Planning Review**

1. Footprint on preliminary plat must match that of the floor plans
2. Title Block must be included on the Preliminary Plat.
3. Include the name of the subdivision at the top of the Preliminary plat
4. Call out centerline of 9400 South and dimension the half-width.
5. Show location of nearest fire hydrant within 500 feet of the subdivision.
6. Show location of all existing and proposed easements.
7. The following note shall be on the plat: "The purpose of this subdivision is to accommodate the division of a two-family dwelling onto individual lots. A two-family dwelling is required as the principle structure on lots 1-2. Only one dwelling unit per individual lot is permitted. The two-family dwelling must be constructed so that that a shared common wall exists along the property line between the pair of lots. A signed and stamped certificate from a licensed land surveyor is required at the time of footing and foundation inspections for the principle structure. The certificate must indicate that the footings and foundation forms have been accurately placed along the common property line as required by ordinance."

## **2.4 Other Issues**

None at this time.

### **3.0 STAFF RECOMMENDATION**

#### **3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:**

- 1 ) Comply with all ordinances and requirements of the individual reviewers and reviewing agencies as part of the technical review process.

#### **3.2 Reasons for Recommendation**

- 1 ) The remaining technical details related to compliance with technical ordinance requirements are best dealt with at a staff level. Compliance will be required before final approval can be given by staff.

#### **3.3 Other Recommendations**

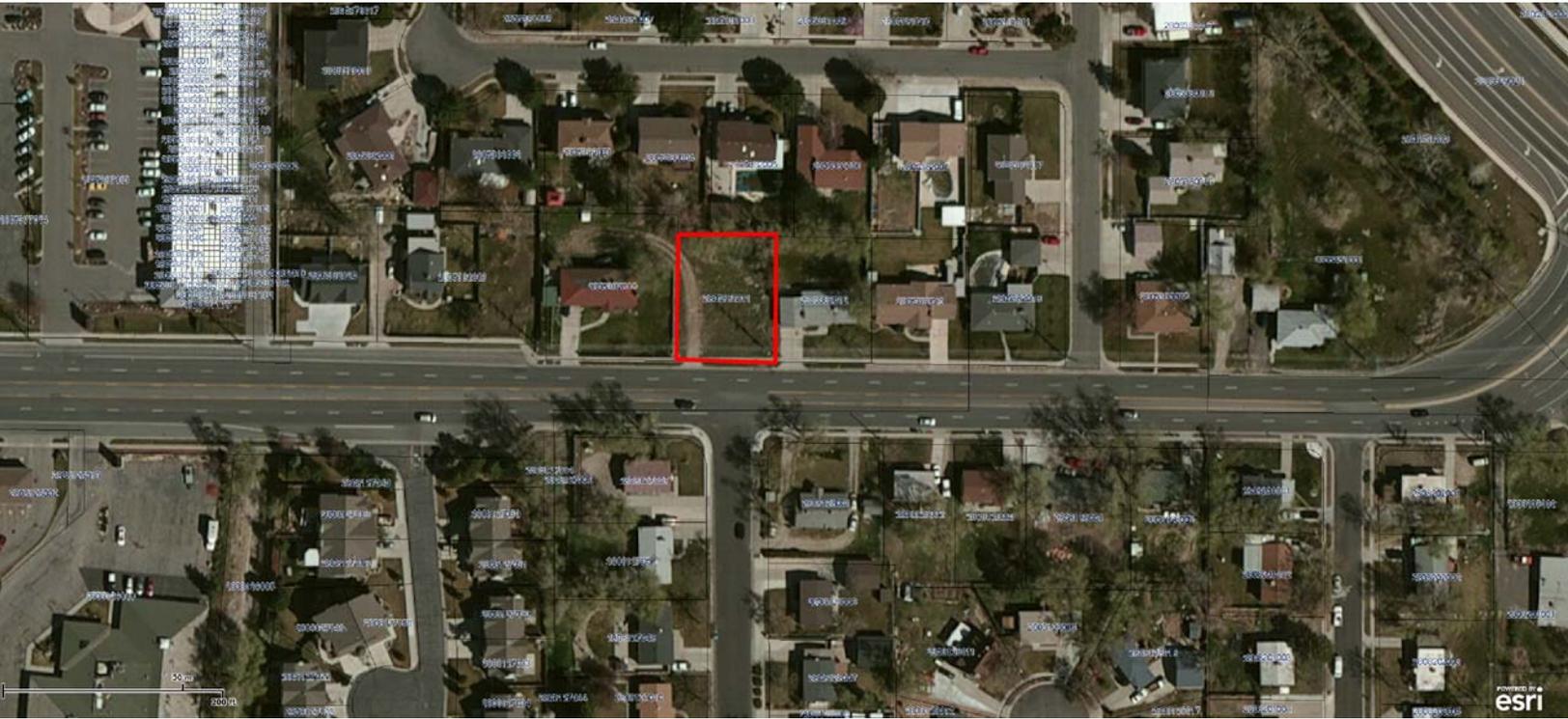
None at this time.





# 28884 and 28885

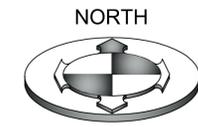
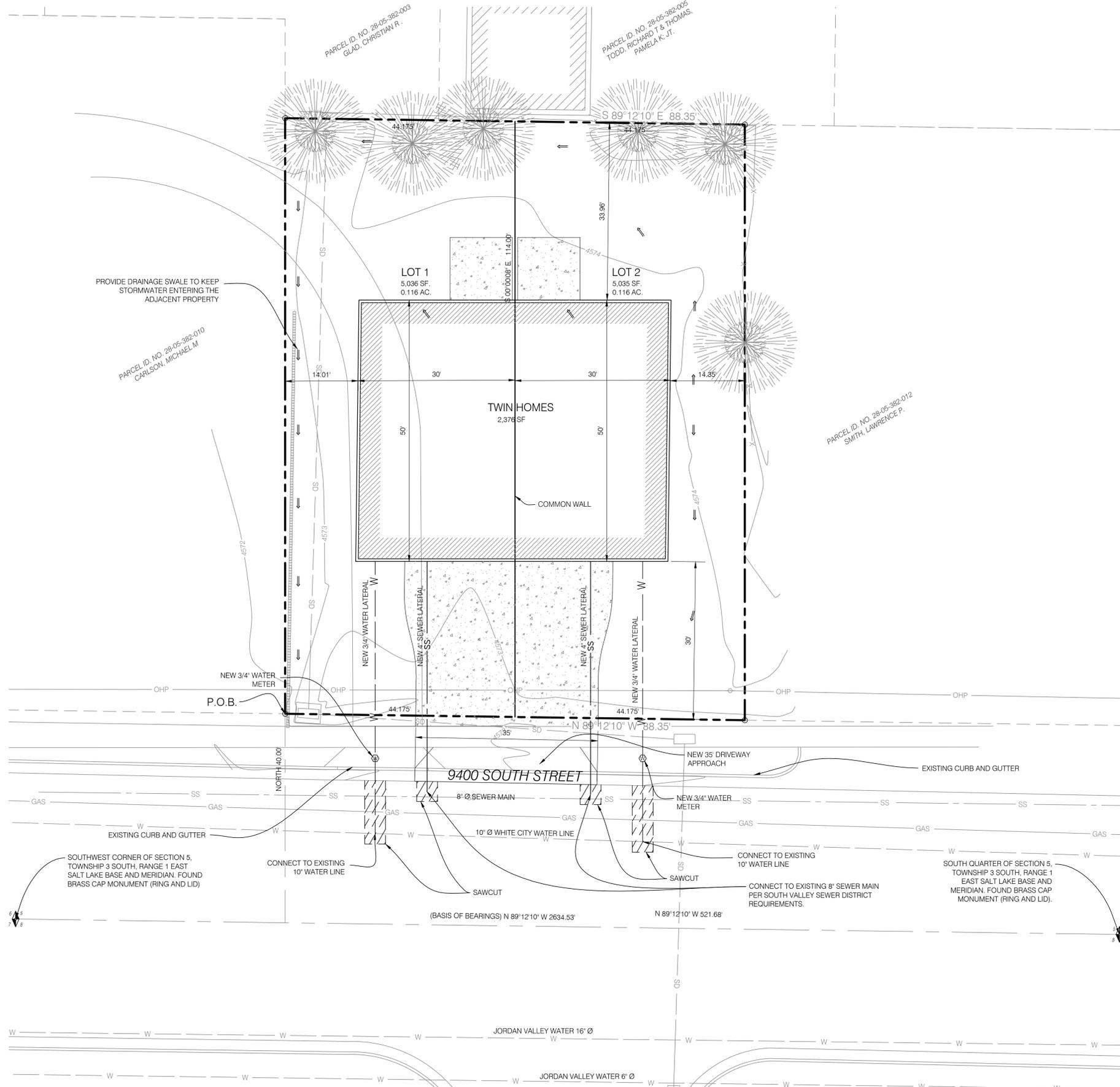
Aerial Map



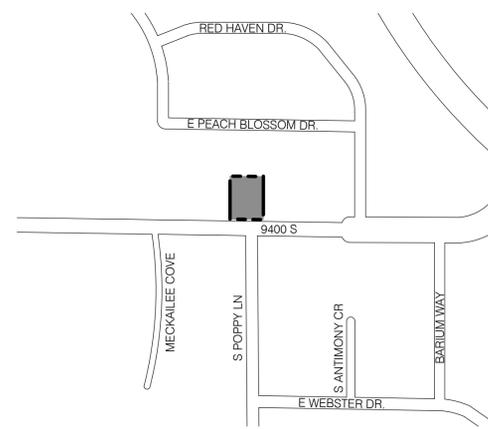
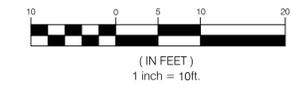
Mon Apr 7 2014 06:22:15 PM.

# PRELIMINARY PLAT

LOCATED AT THE SOUTHEAST QUARTER OF  
SECTION 5, TOWNSHIP 3 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN



GRAPHIC SCALE



VICINITY MAP  
N.T.S

## LEGEND

- SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 3/4 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- FIRE HYDRANT
- PROPOSED DIRECTION OF DRAINAGE

## BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE NORTH RIGHT OF WAY LINE OF 9400 SOUTH STREET SAID POINT BEING N89°12'10"W 521.68 FEET AND NORTH 40.00 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 114.00 FEET; THENCE S89°12'10"E 88.35 FEET; THENCE SOUTH 114.00 FEET TO A POINT ON SAID NORTH RIGHT OF WAY LINE OF 9400 SOUTH STREET; THENCE N89°12'10"W 88.35 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING.

CONTAINS 10,071 SQUARE FEET  
0.232 ACRES, MORE OR LESS  
2 LOTS

CALL BEFORE YOU DIG.  
IT'S FREE & IT'S THE LAW.

BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER

1-800-662-4111  
www.bluestakes.org

NO.	DATE	DESCRIPTION
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**BENCHMARK ENGINEERING & LAND SURVEYING**  
9130 SOUTH STATE STREET SUITE # 100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com



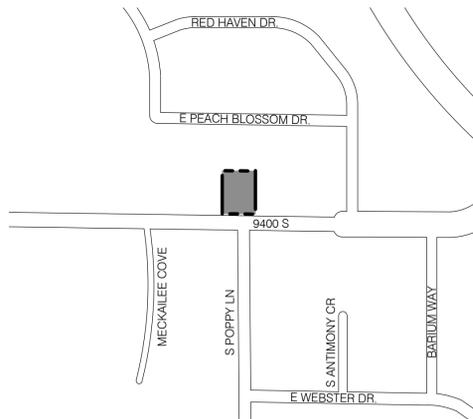
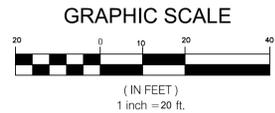
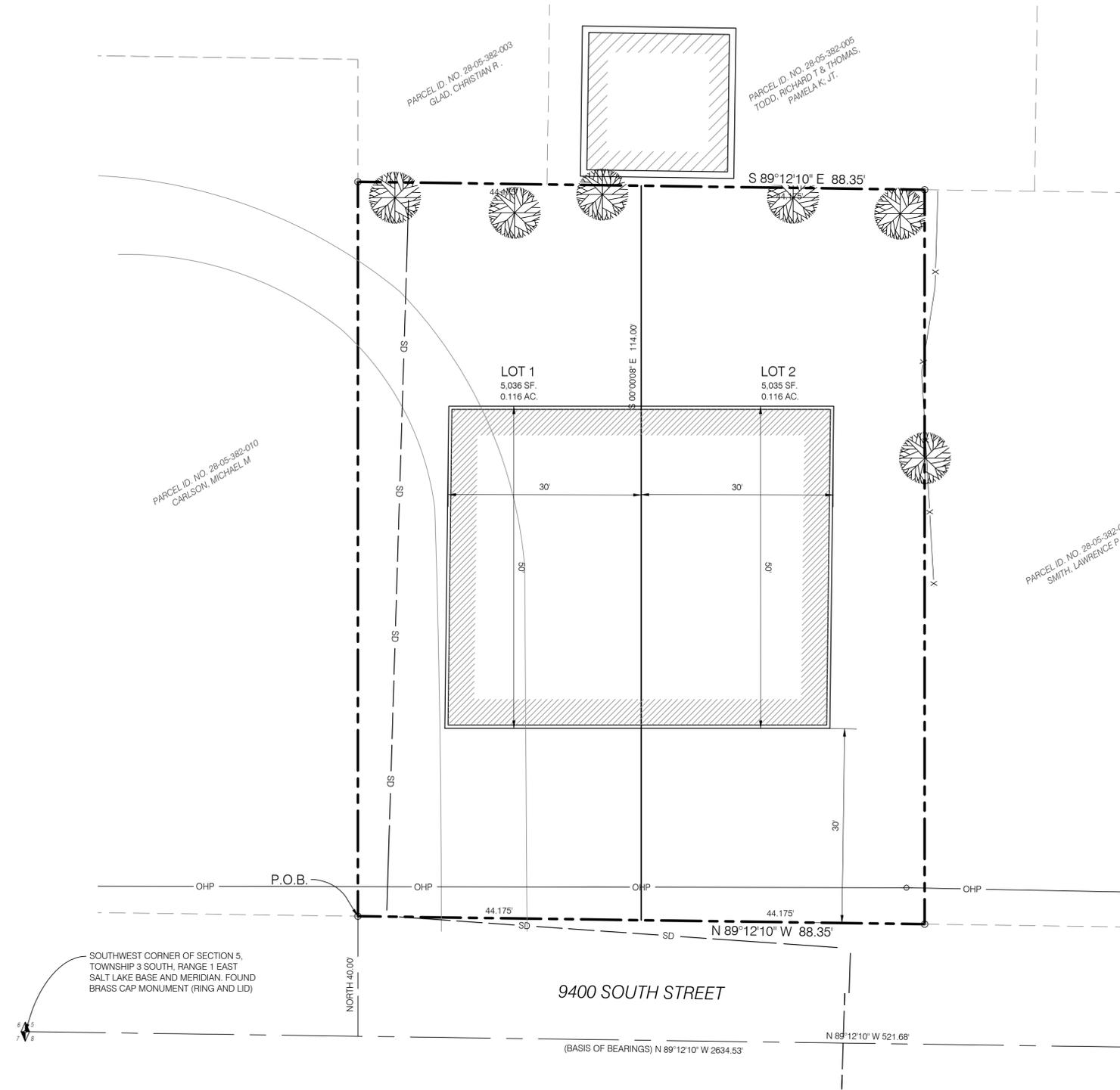
**ELITE CAPITAL PROPERTIES**  
945 EAST 9400 SOUTH  
SALT LAKE COUNTY, UTAH

PROJECT NO. 1403034

PRELIMINARY PLAT

# ELITE CAPITAL PROPERTIES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 5,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN



VICINITY MAP  
N.T.S.

### LEGEND

- SECTION CORNER (FOUND)
- SET 24" x 5/8" REBAR WITH PLASTIC CAP MARKED "BENCHMARK ENG."
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT
- LOT LINE
- FIRE HYDRANT
- ACCESS, PUBLIC UTILITY, DRAINAGE, WATER & SEWER EASEMENT

### SURVEYOR'S CERTIFICATE

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 103381 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. A RECORD OF SURVEY PREPARED BY BENCHMARK ENGINEERING AND LAND SURVEYING, LLC, HAS BEEN FILED AS #S2013-05-0175 IN THE SALT LAKE COUNTY SURVEYOR'S OFFICE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

## ELITE CAPITAL PROPERTIES

### BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE NORTH RIGHT OF WAY LINE OF 9400 SOUTH STREET SAID POINT BEING N89°12'10"W 521.68 FEET AND NORTH 40.00 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 114.00 FEET; THENCE S89°12'10"E 88.35 FEET; THENCE SOUTH 114.00 FEET TO A POINT ON SAID NORTH RIGHT OF WAY LINE OF 9400 SOUTH STREET; THENCE N89°12'10"W 88.35 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING.

CONTAINS 10,071 SQUARE FEET  
0.232 ACRES, MORE OR LESS  
2 LOTS



SUBMITTED FOR REVIEW ONLY

### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER( ) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

## ELITE CAPITAL PROPERTIES

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY HAVE HEREUNTO SET THIS DAY OF A.D., 20.

PRINT NAME: \_\_\_\_\_  
MANAGING MEMBER  
ELITE CAPITAL PROPERTIES, LLC

### ACKNOWLEDGEMENT TO OWNER'S DEDICATION

STATE OF UTAH } s.s.  
County of Salt Lake }  
ON THE DAY OF A.D., 20, PERSONALLY APPEARED BEFORE ME WHO BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT HE IS A MANAGING MEMBER OF VP HOMES, LLC, A UTAH LIMITED LIABILITY COMPANY, AND THAT THE FOREGOING OWNER'S DEDICATION WAS SIGNED BY HIM ON BEHALF OF SAID LLC.  
MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN SALT LAKE COUNTY

ADDRESS FRONTAGE APPROVED

UNIFIED FIRE AUTHORITY APPROVAL

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

## ELITE CAPITAL PROPERTIES

LOCATED IN SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

SHEET 1 OF 1

**RECORD OF SURVEY**  
RSC NO.: S2013-05-0175  
SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

**CHECKED FOR ZONING COMPLIANCE**  
ZONE: \_\_\_\_\_ LOT AREA: \_\_\_\_\_  
FRONT YARD: \_\_\_\_\_  
SIDE YARD: \_\_\_\_\_ REAR YARD: \_\_\_\_\_  
SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

**HEALTH**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.  
SALT LAKE VALLEY HEALTH DEPARTMENT

**PLANNING COMMISSION**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_, BY THE SALT LAKE COUNTY PLANNING COMMISSION.  
SALT LAKE COUNTY PLANNING COMMISSION

**PLAN CHECK**  
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.  
PLAN REVIEW SECTION MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVAL AS TO FORM**  
APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.  
SALT LAKE COUNTY DISTRICT ATTORNEY

**MAYOR**  
PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.  
MAYOR OR DESIGNEE \_\_\_\_\_

**SALT LAKE COUNTY RECORDER**  
RECORDED # \_\_\_\_\_  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
FEE \$ \_\_\_\_\_ SALT LAKE COUNTY RECORDER

**BENCHMARK CIVIL**  
BENCHMARK ENGINEERING & LAND SURVEYING  
9130 SOUTH STATE STREET SUITE # 100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com DATE: 07/21/2011







**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Salt Lake County Planning Commission								
<b>Meeting Date and Time:</b>	Wednesday, May 14, 2014	08:30 AM	<b>File No:</b>	2	8	8	8	1	
<b>Applicant Name:</b>	Scott Carlson	<b>Request:</b>	Subdivision						
<b>Description:</b>	3-lot Sierra Estates Subdivision								
<b>Location:</b>	3677 Little Cottonwood Road								
<b>Zone:</b>	R-1-10 Residential Single-Family	<b>Any Zoning Conditions?</b>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>					
<b>Zoning Condition:</b>	See text below								
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Todd A. Draper								

**1.0 BACKGROUND**

**1.1 Summary**

The purpose of this proposed subdivision is to combine and divide a number of subject parcels into 3 legal lots. Some of the parcels were created from portions of existing lots from two different recorded subdivisions. Many of these parcels are substandard and were not in compliance with County Subdivision ordinance at the time they were created. Accordingly this Subdivision process will require a subsequent 608 hearing before the Mayor in order to obtain approval to amend the subdivision plats of both the Little Cottonwood Subdivision and the Mountain Valley Subdivision in order rectify outstanding issues with the substandard parcels. Additionally, there are existing public Utility and Drainage easements associated with the existing subdivisions that may require action by the County Council if they are proposed to be moved, modified or vacated.

There is one existing home on the property within the subdivision that is proposed to remain. The remainder of lot 22 within the recorded Little Cottonwood Subdivision also has a home on it. The remainder of lot 10 from the Mountain Valley Subdivision together with lot 9 in the same subdivision has been developed into a private neighborhood park.

Staff is requesting that the Planning Commission grant preliminary approval of the Preliminary Plat in order to allow staff to work with the applicant to correct the technical issues with the Preliminary Plat , proposed subdivision plans, and to obtain the other required approvals from other County Authorities, prior to the issuance of final approval of the Preliminary Plat by staff.

### 1.3 Neighborhood Response

Most neighborhood response regarding the subject properties has been mainly associated with the proposed rezone of the property being processed under application #28823. The main subdivision related concern that has been raised by neighboring residents is the ingress and egress to the proposed lots.

## 2.0 ANALYSIS

### 2.1 Applicable Ordinances

The existing zoning is R-1-10 z/c allows for a minimum lot size of 10,000 sq. ft. The zoning conditions which apply to the properties at this time are as follows:

1. Dwelling units shall be limited to a maximum density of 3.8 dwelling units per acre, based on the acreage of the property after the area necessary for dedication to Little Cottonwood Creek Road is subtracted from the total acreage, and a maximum of 22 dwelling units, which ever is less.
2. The homes shall be limited to single-story from original grade. Single Story shall mean the first floor elevation shall be no more than 3 feet above original grade. Second floor living space will be limited to an office-style space within the pitched roof over the first floor, with a dormer-style window facing the inside of the PUD and a skylight on the opposite side of the window facing up at the same angle as the roof. Walk out basements below the main floor may be allowed if existing topography supports walk out basements.

The proposed rezone of the property, if successful, will eliminate these conditions and impose R-1-15 (15,000 sq. ft. minimum lot size) on the two eastern lots in this proposed subdivision. The remaining lot on the West would retain the existing R-1-10 designation, but without the zoning conditions.

### 2.2 Subdivision Requirements

#### 18.08.010 Procedure generally

The planning commission shall be the land use authority for subdivisions. In order to assure that each subdivision fully complies with the provisions of this title, the director or director's designee shall administer formal application and review procedures for subdivisions. An application shall not be deemed complete until the full application, fees and all required materials have been submitted. The payment of a partial fee and submission of preliminary plans for a pre-submittal review does not constitute a complete application.

Each process shall include the following components:

A. An application procedure, which shall include:

1. Submission of an application form, as designed by the director or director's designee to clearly indicate the type of application, property address, applicant information, and other pertinent information;
2. Submission of supplementary materials, including a legal description, property plat, the required number of plans/preliminary plats, and mailing labels (if required) for notifications;
3. Payment of fees, as required under Title 3, Revenue and Finance.

B. A review procedure, which shall include:

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or

affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;

4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C. A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;

2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;

3. Receipt of a recommendation from the planning staff;

4. Approval of the preliminary plat as outlined in Section 18.12.030, and issuing a preliminary plat approval letter.

D. A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;

2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;

3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;

4. Payment of final fees and bond;

5. Recordation of the plat.

### **18.08.015 Time limits**

Subdivision applications are subject to expiration according to the following schedule unless, for good cause shown, the applicant is granted an extension of time by the director or director's designee:

A. A subdivision application shall expire if the applicant has not filed any of the required documents for preliminary plat approval within six months of the submission of a complete application.

B. A subdivision application shall expire if the final plat is not submitted to planning and development services within six months of the preliminary plat approval.

C. A subdivision application shall expire if the final plat has not been signed by the county mayor within six months of the approval of the director or director's designee.

D. A subdivision application shall expire if the final plat has not been recorded within six months of the date of the county mayor's signature on the plat.

### **18.12.030 Preliminary plat approval or disapproval.**

Following a review of the preliminary plat the planning commission shall act on the preliminary plat as submitted or modified. If the plat is approved, the director or director's designee shall sign the plat. One copy of the preliminary plat shall be provided to the subdivider. One signed copy shall be retained by the planning and development services division, and one copy of the approved plat shall be returned to the developer's engineer. If the preliminary plat is disapproved, the director or director's designee shall notify the developer in writing and give reasons for such disapproval. The receipt of a signed copy of the approved preliminary plat shall be authorization for the subdivider to proceed with the preparation of specifications for the minimum improvements required in Chapter 18.24 of this title and with the preparation of the final plat.

#### **18.18.040 Amendments to create additional lots.**

An amendment to a recorded subdivision to create one or more additional lots or which involves vacating or altering a public street or alley shall follow the approval procedure outlined in Section 18.08.010 subject to the following additional requirements:

- A. A preliminary plat approval must be received from the planning commission prior to action being taken by the county mayor; and
- B. A public hearing must be held by the county mayor or his or her designee, in compliance with Utah Code 17-27a-608, prior to the plat amendment being approved or denied.  
(Ord. 1626 § 9 (part), 2008)

#### **18.18.050 Other amendments to subdivisions.**

An amendment to a recorded subdivision that involves the alteration or removal of an easement, private right-of-way, condition, limitation, or special requirement shall follow the approval procedure outlined in Section 18.08.010 with the following variations:

- A. Only those persons or entities who have a direct interest in, or who will be directly affected by the proposed change (including the applicant) must be notified of any pending action; and
- B. No preliminary plat need be approved. The recommendations of the affected entities and the approval of the planning commission may be based on a final plat.

#### **18.40.010 Prohibited acts**

No person shall subdivide any tract or parcel of land located wholly or in part in the county except in compliance with the provisions of this title. No person shall purchase, sell or exchange any parcel of land that is any part of a subdivision or a proposed subdivision submitted to the planning commission, nor offer for recording in the office of the county recorder any deed conveying such parcel of land or any fee interest therein, unless such subdivision has been created pursuant to and in accordance with the provisions of this title.

### **2.3 Other Agency Comments Recommendations and Requirements**

#### **Boundary Check and Engineering Review**

1. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development.
2. Final plat must be on regular County Titleblock
3. All required improvements must be bonded for before plat can be recorded
4. Show Fire Hydrants on Final Plat
5. A digital copy of Final Civil drawings signed by Licensed Engineer for all improvements is required after final approvals from Hydrology, Grading and Traffic have been received
6. Label all utility and drainage easements on final plat
7. A preliminary report of title will be required at the final stage of the project.

#### **Geology**

No Mapped or apparent geologic hazards at this location. Geology approved.

#### **Health Department**

No response recieved. Sewer and Water availability letters are required for all proposed lots.

## **Building Inspection**

Approved on Condition:

1. Building permits are required for any demolition, remodel, new construction, or any other work that is regulated by the building code.
2. Based on the review of the submitted plan, the new property line locations are at least 5' away from any part of the existing buildings. Two o sheds are closer than this to existing property lines, but these appear to be existing property lines and existing buildings. If this changes, there may be building code implications that will need to be addressed.

## **Grading Review**

Review denied. Additional plans and information required.

1. The subject property is located in an area of potential contaminated soils from the Flagstaff and Davenport Smelter Operations.
2. A letter from the State of Utah Division of Environmental Quality (DEQ) and the Federal Environmental Protection Agency (EPA) will be required that clears the site for the construction of the homes.
3. Previous reports have identified hot spots that still require environmental clean up at the site.
4. Remove contaminated soils and provide a clean letter from the state of Utah DEQ and Federal EPA and Salt lake Valley Health Department.
5. Site grading and drainage plans are required to be submitted. They must show how the site grading and drainage will be addressed.
6. A copy of the Geotechnical study and environmental study are required to be submitted.
7. Site is in excess of one acre and will require the development of a SWPPP for the clean up as well as the site development.
8. Need to provide a copy of the SWPPP and NOI for both the Clean up and development.
9. Demolition permits are required to raze the structures at the site.

## **Urban Hydrology**

1. A final drainage plan is required. Must include calculation sheets for a 10 year storm.
2. Provide plans showing connections to the existing storm drain system
3. Provide plan and profile drawings of the drainage system. Show all existing utilities.
4. The developer shall grade the property in accordance with the approved site grading and lot drainage plan, as as not to discharge any stormwater onto adjacent properties. It is important that stormwater is controlled and routed to connect into the County system.
5. The developer shall be required to permanently contain all generated water on the property or route to a county drainage system.
6. Hydrology plans must be signed and stamped by a professional engineer.
7. Approximate storm drain impact fee is \$3,729 per acre.

## **Utah Department of Transportation**

UDOT met with the applicant regarding the project on SR-209 Little cotton wood canyon road.

There is some issues with the accesses requested, due to access spacing, UDOT highly suggested that all the accesses to the far east use one shared access point. The access to the west would require a variance and they will need to meet UDOT standards and specifications.

They will need to address drainage along the UDOT right of way and their proposed landscaping. Also both UDOT and SL County needs to evaluate what is if any dedication is needed.

## **County Traffic Engineer**

Requires UDOT approval

Requires technical review.

## **Unified Fire Authority**

No comments were provided.

## **2.4 Other Issues**

### **Planning Review**

Many of the following comments relate to a number of missing items that were not included on the current Preliminary Plat as required by ordinance, elements that need revisions in order to meet ordinance, and some additional technical information and plans required for subsequent reviews. In the opinion of planning staff, the conceptual level plat/plans provided to the Planning Commission do contain the minimum level of detail needed for the granting of a preliminary (or conceptual) approval of the Preliminary Plat. Staff will continue to work with the applicant to insure that the required information is incorporated onto a revised Preliminary Plat, and is reviewed through the subsequent technical review processes.

1. 608 Mayors meeting required to amend 2 existing subdivisions
2. County Council approval required to amend or vacate existing PUE's from original subdivisions.
3. Existing Home on the West must maintain 10 foot setbacks on both side yards or be removed prior to plat recordation.
4. Existing shed on west to be removed prior to plat recordation.
5. Existing Garage on neighboring property to the East to be removed prior to plat recordation (or verification provided that it does not cross the existing property line).
6. Must label the square footage of the lots and number them.
7. Access to lots requires UDOT approval. Minimum 12' wide driveway per SLCO standards.
8. Provide Plan, Profile, and cross section details of the roadway (as approved by UDOT).
9. Show all existing and proposed easements (especially utility easements)
10. Show location of existing and proposed utility lines; sewer, water, irrigation, phone, power, gas.
11. Show location of nearest fire hydrant.
12. Include name and address of all property owners involved with the amended subdivision plat.
13. Topography with 2' contour intervals is required to be shown.
14. Provide required plans showing storm water and drainage management complete with flow calculations.
15. Provide copies of sewer and water availability letters.
16. Show location of existing structures on neighboring properties that are within 50 feet of the subject property.
17. Label the square footage of all structures (existing and proposed)
18. Show all existing and proposed parking spaces, including driveway access.
19. Indicate which buildings and structures are to be removed and which will remain. (If a building or structure is not required to be removed for purposes of compliance with ordinance, list it as remaining).
20. Provide required vicinity map on the Plat.
21. Provide required plat revision blocks on the Preliminary Plat
22. Plat must include required County Titleblock.
23. Identify proposed areas to be dedicated to the public (right of way).
24. Include a calculation of the total approximate acreage of the subdivision.

25. Include dimensions regarding the right of way width of all adjacent streets to a distance of 200 feet from the subdivision boundary.
26. Show all existing and proposed retaining walls on the grading plan.
27. Update and include a legend on all plans and the plat showing all symbols, line types, hashing, and abbreviations.
28. Show any proposed or existing detention or retention facilities on the utility and drainage plan.
29. Show/indicate the FEMA 100 year flood plain zone.
30. Show on the plans the location of the proposed project connections to the existing sewer, water, and storm drainage systems.

### **3.0 STAFF RECOMMENDATION**

#### **3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:**

- 1 ) Obtain 608 approval from the Mayor or designee to amend the existing Little Cottonwood Subdivision and the existing Mountain Valley Subdivision.
- 2 ) Obtain approval from the County Council (legislative authority) for any change, modification, or vacation to the existing public utility easements.
- 3 ) Compliance with all requirements and recommendations of the individual reviewers and reviewing agencies.
- 4 ) Submit revised Preliminary Plat to Staff for review. Staff to issue Final Preliminary Plat approval once all identified issues and deficiencies have been addressed.
- 5 ) Submit the required subdivision plans (grading, drainage, and utility plans) and other technical documentation requested for review.

#### **3.2 Reasons for Recommendation**

- 1 ) A 608 hearing before the Mayor is needed because not all property owners in the two existing subdivisions will be signing the amended plat.
- 2 ) Changes, modifications, and vacations of existing public utility easements require approval of the legislative authority.
- 3 ) Additions, changes and modifications must be made to the Preliminary Plat in order to bring it into full compliance with minimum ordinance requirements. Staff can issue a final approval for the preliminary plat once these changes are reflected on the Preliminary Plat.
- 4 ) Many reviewing agencies and reviewers require additional technical information before they can complete their full review or give approval to the subdivision plat and plans.

#### **3.3 Other Recommendations**

None at this time.



# #28881 - 3 lot Subdivison

Zoning Map



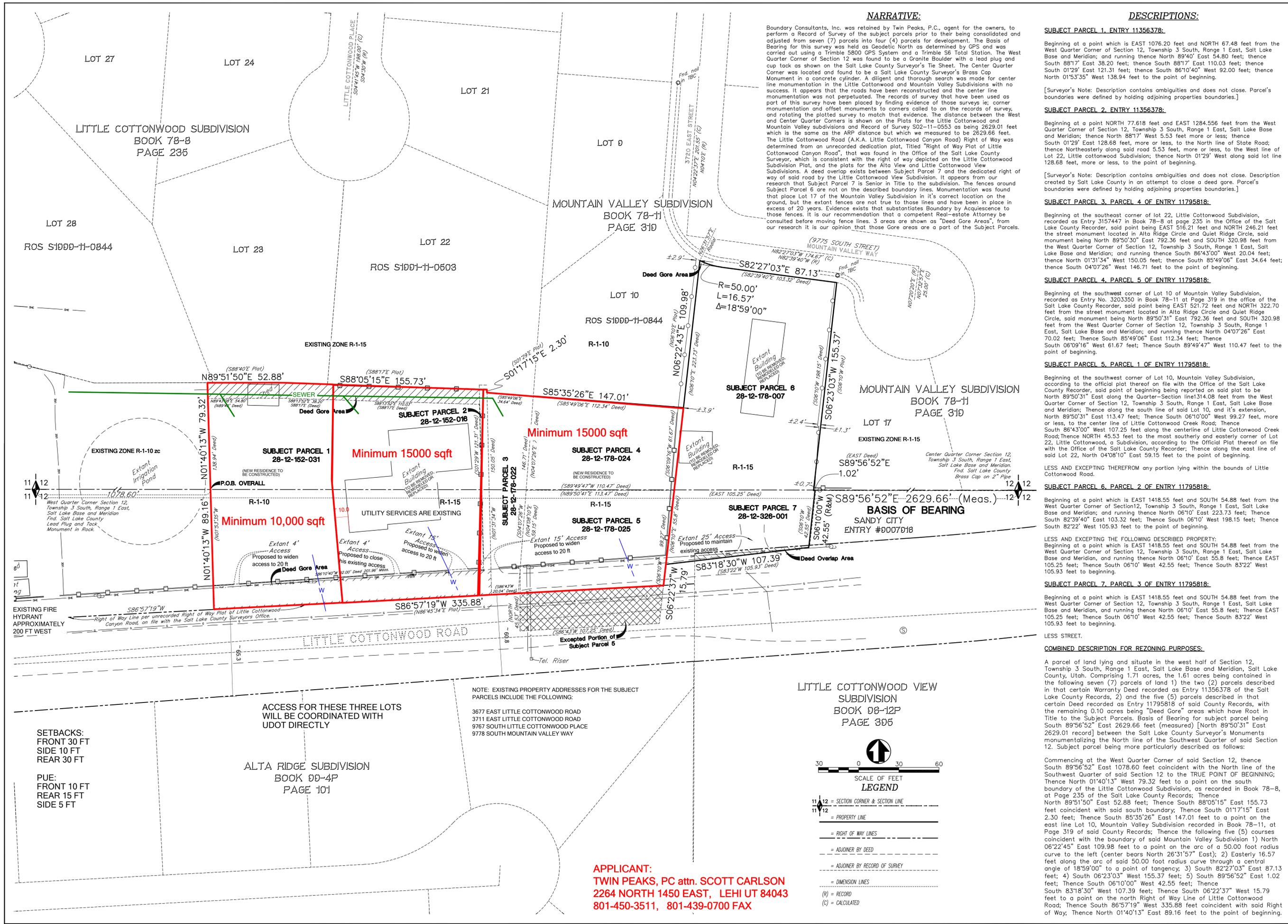
Mon Apr 7 2014 04:54:49 PM.

# #28881 - 3 lot Subdivison

Aerial Map



Mon Apr 7 2014 04:55:28 PM.



**PRELIMINARY PLAT - SIERRA ESTATES**  
**ADJUSTMENT OF TAX PARCELS 28-12-152-031, -016, 28-12-178-022, -024, -025**  
LYING AND SITUATE IN THE WEST HALF OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 03-28-14  
SCALE: 1"=30'  
PROJECT NUMBER: 13013002

**Boundary Consultants**  
Professional Land Surveyors  
1295 North 1700 West, Farr West, Utah  
801-690-7158 FAX  
801-792-1569

DESIGNED: DEH  
DRAWN: DEH  
CHECKED: SSC

SHEET 1 OF 1

**APPLICANT:**  
**TWIN PEAKS, PC attn. SCOTT CARLSON**  
**2264 NORTH 1450 EAST, LEHI UT 84043**  
**801-450-3511, 801-439-0700 FAX**

LITTLE COTTONWOOD VIEW  
SUBDIVISION  
BOOK 08-12P  
PAGE 305



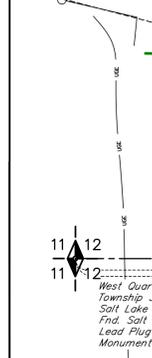
NOTE: EXISTING PROPERTY ADDRESSES FOR THE SUBJECT PARCELS INCLUDE THE FOLLOWING:  
3677 EAST LITTLE COTTONWOOD ROAD  
3711 EAST LITTLE COTTONWOOD ROAD  
9767 SOUTH LITTLE COTTONWOOD PLACE  
9778 SOUTH MOUNTAIN VALLEY WAY

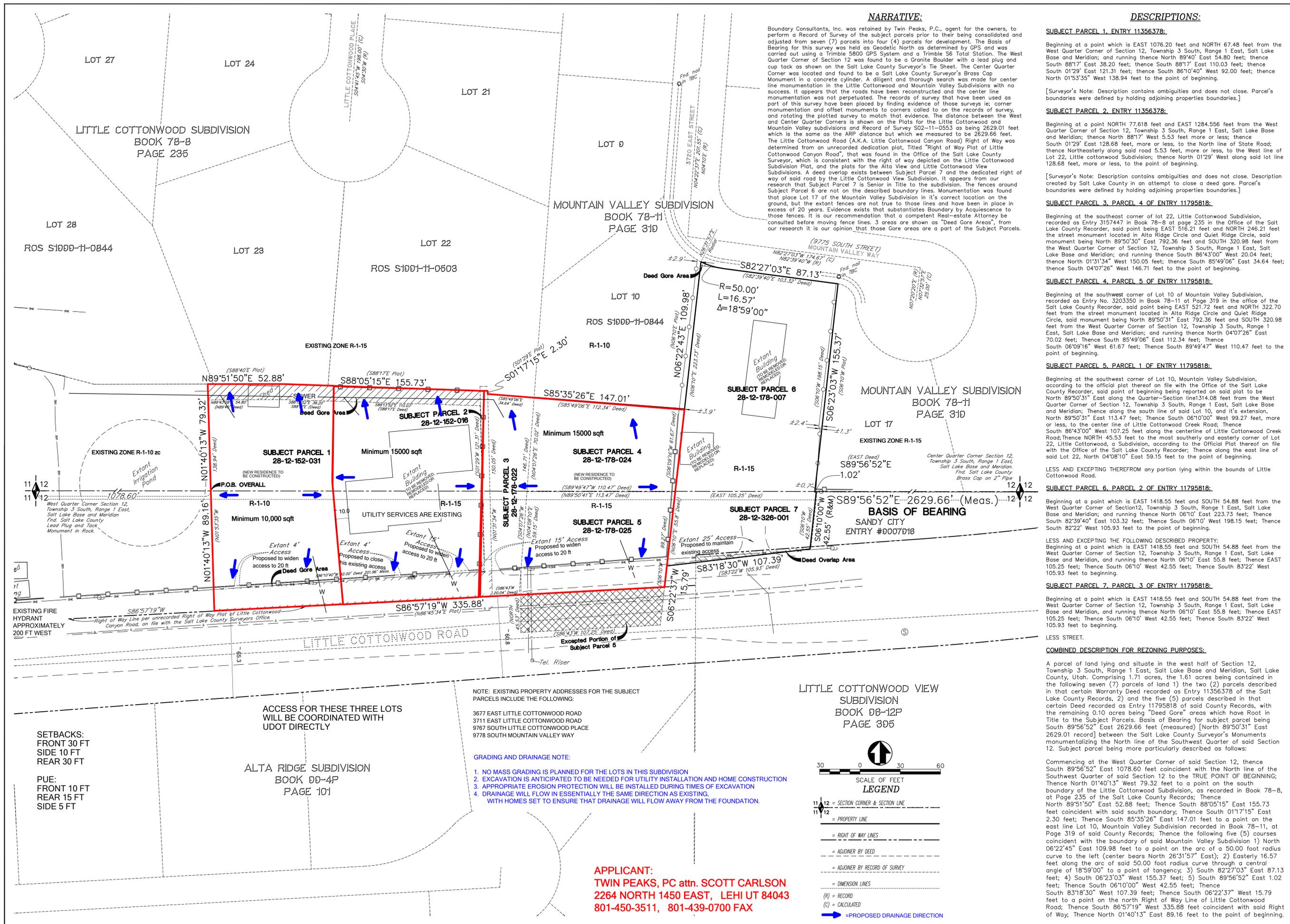
ACCESS FOR THESE THREE LOTS  
WILL BE COORDINATED WITH  
UDOT DIRECTLY

ALTA RIDGE SUBDIVISION  
BOOK 00-4P  
PAGE 101

SETBACKS:  
FRONT 30 FT  
SIDE 10 FT  
REAR 30 FT

PUE:  
FRONT 10 FT  
REAR 15 FT  
SIDE 5 FT





**NARRATIVE:**

Boundary Consultants, Inc. was retained by Twin Peaks, P.C., agent for the owners, to perform a Record of Survey of the subject parcels prior to their being consolidated and adjusted from seven (7) parcels into four (4) parcels for development. The Basis of Bearing for this survey was held as Geodetic North as determined by GPS and was carried out using a Trimble 5800 GPS System and a Trimble S6 Total Station. The West Quarter Corner of Section 12 was found to be a Granite Boulder with a lead plug and cup tack as shown on the Salt Lake County Surveyor's Tie Sheet. The Center Quarter Corner was located and found to be a Salt Lake County Surveyor's Brass Cap Monument in a concrete cylinder. A diligent and thorough search was made for center line monumentation in the Little Cottonwood and Mountain Valley Subdivisions with no success. It appears that the roads have been reconstructed and the center line monumentation was not perpetuated. The records of survey that have been used as part of this survey have been placed by finding evidence of those surveys ie; corner monumentation and offset monuments to corners called to the records of survey, and rotating the plotted survey to match that evidence. The distance between the West and Center Quarter Corners is shown on the Plats for the Little Cottonwood and Mountain Valley subdivisions and Record of Survey S02-11-0553 as being 2629.01 feet which is the same as the ARP distance but which we measured to be 2629.66 feet. The Little Cottonwood Road (A.K.A. Little Cottonwood Canyon Road) Right of Way was determined from an unrecorded dedication plat, titled "Right of Way Plat of Little Cottonwood Canyon Road", that was found in the Office of the Salt Lake County Surveyor, which is consistent with the right of way depicted on the Little Cottonwood Subdivision Plat, and the plats for the Alta View and Little Cottonwood View Subdivisions. A deed overlap exists between Subject Parcel 7 and the dedicated right of way of said road by the Little Cottonwood View Subdivision. It appears from our research that Subject Parcel 7 is Senior in Title to the subdivision. The fences around Subject Parcel 6 are not on the described boundary lines. Monumentation was found that placed Lot 17 of the Mountain Valley Subdivision in its correct location on the ground, but the extent fences are not true to those lines and have been in place in excess of 20 years. Evidence exists that substantiates Boundary by Acquisition to those fences. It is our recommendation that a competent Real-estate Attorney be consulted before moving fence lines. 3 areas are shown as "Deed Gore Areas", from our research it is our opinion that those Gore areas are a part of the Subject Parcels.

**DESCRIPTIONS:**

**SUBJECT PARCEL 1, ENTRY 11356378:**  
Beginning at a point which is EAST 1076.20 feet and NORTH 67.48 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian; and running thence North 89°40' East 54.80 feet; thence South 88°17' East 38.20 feet; thence South 89°17' East 110.03 feet; thence South 01°29' East 121.31 feet; thence South 86°14' West 92.00 feet; thence North 01°53'35" West 138.94 feet to the point of beginning.

[Surveyor's Note: Description contains ambiguities and does not close. Parcel's boundaries were defined by holding adjoining properties boundaries.]

**SUBJECT PARCEL 2, ENTRY 11356378:**  
Beginning at a point NORTH 77.618 feet and EAST 1284.556 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian; thence North 88°17' West 5.53 feet more or less; thence South 01°29' East 128.68 feet, more or less, to the North line of State Road; thence Northeasterly along said road 5.53 feet, more or less, to the West line of Lot 22, Little Cottonwood Subdivision; thence North 01°29' West along said lot line 128.68 feet, more or less, to the point of beginning.

[Surveyor's Note: Description contains ambiguities and does not close. Description created by Salt Lake County in an attempt to close a deed gore. Parcel's boundaries were defined by holding adjoining properties boundaries.]

**SUBJECT PARCEL 3, PARCEL 4 OF ENTRY 11795818:**  
Beginning at the southeast corner of lot 22, Little Cottonwood Subdivision, recorded as Entry 3157447 in Book 78-8 at page 235 in the Office of the Salt Lake County Recorder, said point being EAST 516.21 feet and NORTH 246.21 feet the street monument located in Alta Ridge Circle and Quiet Ridge Circle, said monument being North 89°50'31" East 792.36 feet and SOUTH 320.98 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian; and running thence South 86°43'00" West 20.04 feet; thence North 01°31'34" West 150.05 feet; thence South 85°49'06" East 34.64 feet; thence South 04°07'26" West 146.71 feet to the point of beginning.

**SUBJECT PARCEL 4, PARCEL 5 OF ENTRY 11795818:**  
Beginning at the southwest corner of Lot 10 of Mountain Valley Subdivision, recorded as Entry No. 3203350 in Book 78-11 at Page 319 in the office of the Salt Lake County Recorder, said point being EAST 521.72 feet and NORTH 322.70 feet from the street monument located in Alta Ridge Circle and Quiet Ridge Circle, said monument being North 89°50'31" East 792.36 feet and SOUTH 320.98 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian; and running thence North 04°07'26" East 70.02 feet; Thence South 85°49'06" East 112.34 feet; Thence South 06°09'16" West 61.67 feet; Thence South 89°49'47" West 110.47 feet to the point of beginning.

**SUBJECT PARCEL 5, PARCEL 1 OF ENTRY 11795818:**  
Beginning at the southwest corner of Lot 10, Mountain Valley Subdivision, according to the official plat thereof on file with the Office of the Salt Lake County Recorder, said point of beginning being reported on said plat to be North 89°50'31" East along the Quarter-Section line 1314.08 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian; Thence along the south line of said Lot 10, and it's extension, North 89°50'31" East 113.47 feet; Thence South 06°10'00" West 99.27 feet, more or less, to the center line of Little Cottonwood Creek Road; Thence South 86°43'00" West 107.25 feet along the centerline of Little Cottonwood Creek Road; Thence NORTH 45.53 feet to the most southerly and easterly corner of Lot 22, Little Cottonwood, a Subdivision, according to the Official Plat thereof on file with the Office of the County Recorder; Thence along the east line of said Lot 22, North 04°08'10" East 59.15 feet to the point of beginning.

LESS AND EXCEPTING THEREFROM any portion lying within the bounds of Little Cottonwood Road.

**SUBJECT PARCEL 6, PARCEL 2 OF ENTRY 11795818:**  
Beginning at a point which is EAST 1418.55 feet and SOUTH 54.88 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian; and running thence North 06°10' East 223.73 feet; Thence South 82°39'40" East 103.32 feet; Thence South 06°10' West 198.15 feet; Thence South 82°22' West 105.93 feet to the point of beginning.

LESS AND EXCEPTING THE FOLLOWING DESCRIBED PROPERTY:  
Beginning at a point which is EAST 1418.55 feet and SOUTH 54.88 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian, and running thence North 06°10' East 55.8 feet; Thence EAST 105.25 feet; Thence South 06°10' West 42.55 feet; Thence South 83°22' West 105.93 feet to beginning.

**SUBJECT PARCEL 7, PARCEL 3 OF ENTRY 11795818:**  
Beginning at a point which is EAST 1418.55 feet and SOUTH 54.88 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian, and running thence North 06°10' East 55.8 feet; Thence EAST 105.25 feet; Thence South 06°10' West 42.55 feet; Thence South 83°22' West 105.93 feet to beginning.

**COMBINED DESCRIPTION FOR REZONING PURPOSES:**  
A parcel of land lying and situate in the west half of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian, Salt Lake County, Utah, comprising 1.71 acres, the 1.61 acres being contained in the following seven (7) parcels of land 1) the two (2) parcels described in that certain Warranty Deed recorded as Entry 11356378 of the Salt Lake County Records, 2) and the five (5) parcels described in that certain Deed recorded as Entry 11795818 of said County Records, with the remaining 0.10 acres being "Deed Gore" areas which have Root in Title to the Subject Parcels. Basis of Bearing for subject parcel being South 89°56'52" East 2629.66 feet (measured) [North 89°50'31" East 2629.01 record] between the Salt Lake County Surveyor's Monuments monumentizing the North line of the Southwest Quarter of said Section 12. Subject parcel being more particularly described as follows:  
Commencing at the West Quarter Corner of said Section 12, thence South 89°56'52" East 1078.50 feet coincident with the North line of the Southwest Quarter of said Section 12 to the TRUE POINT OF BEGINNING; Thence North 01°40'13" West 79.32 feet to a point on the south boundary of the Little Cottonwood Subdivision, as recorded in Book 78-8, at Page 235 of the Salt Lake County Records; Thence North 89°51'50" East 52.88 feet; Thence South 88°05'15" East 155.73 feet coincident with said south boundary; Thence South 01°17'15" East 2.30 feet; Thence South 85°35'26" East 147.01 feet to a point on the east line Lot 10, Mountain Valley Subdivision recorded in Book 78-11, at Page 319 of said County Records; Thence the following five (5) courses coincident with the boundary of said Mountain Valley Subdivision 1) North 06°22'45" East 109.98 feet to a point on the arc of a 50.00 foot radius curve to the left (center bears North 26°31'57" East); 2) Easterly 16.57 feet along the arc of said 50.00 foot radius curve through a central angle of 18°59'00" to a point of tangency; 3) South 82°27'03" East 87.13 feet; 4) South 06°23'03" West 155.37 feet; 5) South 89°56'52" East 1.02 feet; Thence South 06°10'00" West 42.55 feet; Thence South 83°18'30" West 107.39 feet; Thence South 06°22'37" West 15.79 feet to a point on the north Right of Way Line of Little Cottonwood Road; Thence South 86°57'19" West 335.88 feet coincident with said Right of Way; Thence North 01°40'13" East 89.16 feet to the point of beginning.

**TWIN PEAKS Engineering & Land Surveying**  
 2264 NORTH 1450 EAST LEHI, UTAH 84043  
 (801) 450-3511, (801) 439-0700 FAX

**GRADING AND DRAINAGE - SIERRA ESTATES**  
 ADJUSTMENT OF TAX PARCELS 28-12-152-031, -016, -025,  
 28-12-178-022, -024, -025  
 LYING AND SITUATE IN THE WEST HALF OF SECTION 12,  
 TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

SHEET 1 OF 1  
 DATE: 03-28-14  
 SCALE: 1"=30'  
 PROJECT NUMBER: 13013002

**APPLICANT:**  
**TWIN PEAKS, PC attn. SCOTT CARLSON**  
**2264 NORTH 1450 EAST, LEHI UT 84043**  
**801-450-3511, 801-439-0700 FAX**

LITTLE COTTONWOOD VIEW  
 SUBDIVISION  
 BOOK 08-12P  
 PAGE 305



NOTE: EXISTING PROPERTY ADDRESSES FOR THE SUBJECT PARCELS INCLUDE THE FOLLOWING:

- 3677 EAST LITTLE COTTONWOOD ROAD
- 3711 EAST LITTLE COTTONWOOD ROAD
- 9767 SOUTH LITTLE COTTONWOOD PLACE
- 9778 SOUTH MOUNTAIN VALLEY WAY

**GRADING AND DRAINAGE NOTE:**

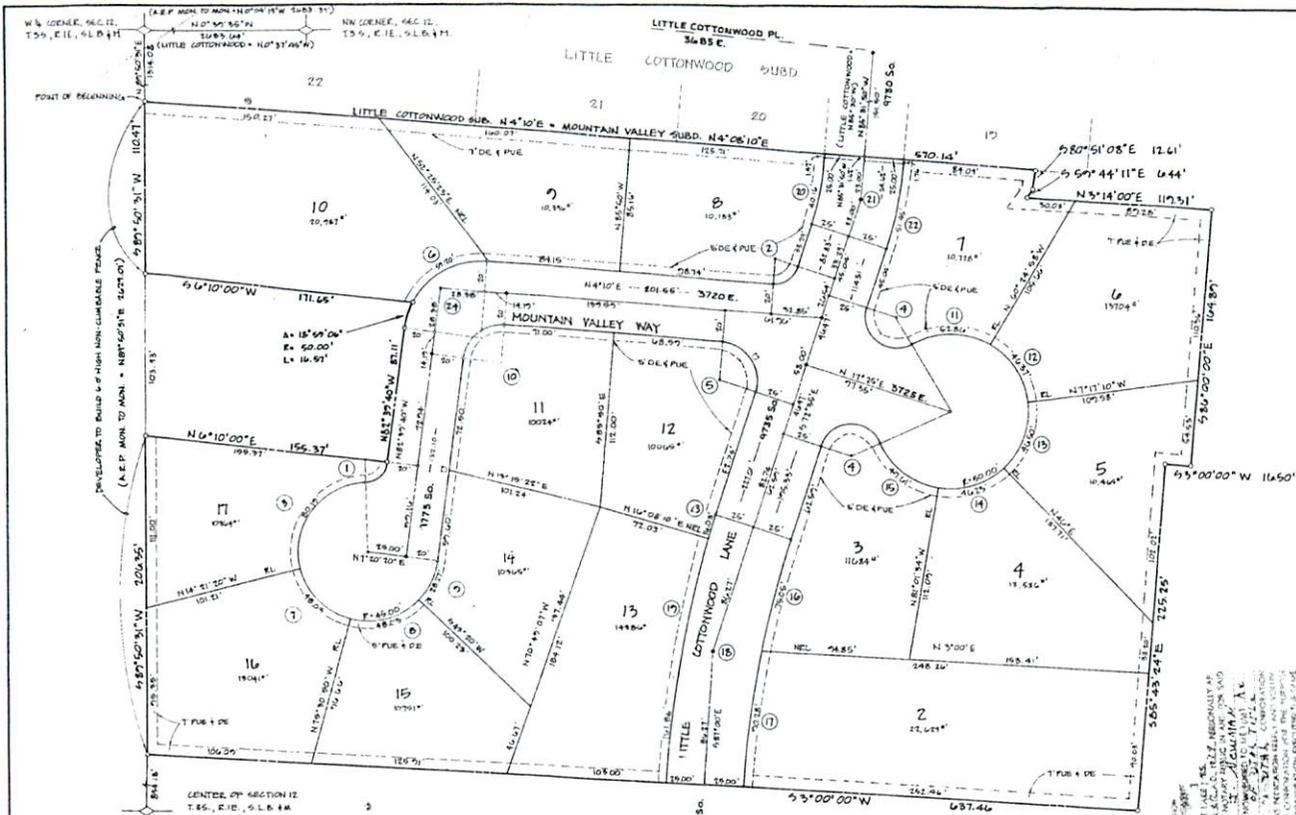
1. NO MASS GRADING IS PLANNED FOR THE LOTS IN THIS SUBDIVISION
2. EXCAVATION IS ANTICIPATED TO BE NEEDED FOR UTILITY INSTALLATION AND HOME CONSTRUCTION
3. APPROPRIATE EROSION PROTECTION WILL BE INSTALLED DURING TIMES OF EXCAVATION
4. DRAINAGE WILL FLOW IN ESSENTIALLY THE SAME DIRECTION AS EXISTING, WITH HOMES SET TO ENSURE THAT DRAINAGE WILL FLOW AWAY FROM THE FOUNDATION.

SETBACKS:  
 FRONT 30 FT  
 SIDE 10 FT  
 REAR 30 FT

PUE:  
 FRONT 10 FT  
 REAR 15 FT  
 SIDE 5 FT

ALTA RIDGE SUBDIVISION  
 BOOK 09-4P  
 PAGE 101

ACCESS FOR THESE THREE LOTS  
 WILL BE COORDINATED WITH  
 UDOT DIRECTLY



CURVE	RADIUS	A	L	T	LC
1	75.00'	87°38'21"	21.26'	11.68'	10.99'
2	15.00'	70°46'00"	22.09'	11.88'	18.62'
3	49.00'	101°24'23"	80.15'	39.15'	47.75'
4	30.00'	158°34'25"	48.54'	61.65'	31.59'
5	14.00'	105°16'00"	46.05'	31.67'	39.12'
6	40.00'	47°50'34"	39.55'	36.54'	56.81'
7	49.00'	61°09'20"	49.09'	24.99'	49.75'
8	49.00'	61°09'20"	49.09'	24.99'	49.75'
9	49.00'	75°09'40"	38.23'	14.62'	23.81'
10	14.00'	80°49'40"	37.85'	23.49'	34.54'
11	60.00'	60°54'00"	61.80'	39.10'	62.45'
12	60.00'	60°54'00"	61.80'	39.10'	62.45'
13	60.00'	60°54'00"	61.80'	39.10'	62.45'
14	60.00'	60°54'00"	61.80'	39.10'	62.45'
15	60.00'	60°54'00"	61.80'	39.10'	62.45'
16	60.00'	60°54'00"	61.80'	39.10'	62.45'
17	60.00'	60°54'00"	61.80'	39.10'	62.45'
18	60.00'	60°54'00"	61.80'	39.10'	62.45'
19	60.00'	60°54'00"	61.80'	39.10'	62.45'
20	60.00'	60°54'00"	61.80'	39.10'	62.45'
21	60.00'	60°54'00"	61.80'	39.10'	62.45'
22	60.00'	60°54'00"	61.80'	39.10'	62.45'
23	60.00'	60°54'00"	61.80'	39.10'	62.45'
24	60.00'	60°54'00"	61.80'	39.10'	62.45'

**LEGEND**  
 \* MONUMENT TO BE SET  
 □ FIRE HYDRANT  
 PUE PUBLIC UTILITIES EMBLEM  
 DE DRAINAGE EMBLEM  
 RL RADIAL LINE  
 NL NON-RADIAL LINE  
 --- MONUMENT TO MONUMENT DISTANCE



**ACKNOWLEDGEMENT**  
 STATE OF UTAH  
 COUNTY OF SALT LAKE  
 I, John E. Roberts, Notary Public in and for said State of Utah, do hereby certify that the undersigned Notary Public in and for said State of Utah, who after being duly sworn, acknowledged to me that John E. Roberts is a duly authorized officer of the Mountain Valley Subdivision and that said corporation for the purposes therein mentioned by its commission expires August 22, 1978.

**SURVEYOR'S CERTIFICATE**

I, Martin G. Rank do hereby certify that I am a Registered Civil Engineer, and/or Land Surveyor, and that I hold Certificate No. 5207 as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as MOUNTAIN VALLEY SUBDIVISION and that the same has been correctly surveyed and staked on the ground as shown on this plat.

COURSE	DIST	BOUNDARY DESCRIPTION	REMARKS
		BEGINNING AT A POINT N 87°50'51" E 194.08 FEET FROM THE WEST QUARTER CORNER OF SECTION 12, T.5 S., R.1 E., S.L.B. # 11, PLANNING TOWN	
N 4°08'07" E	630.14	FEET, THENCE	
S 6°56'08" E	11.91	FEET, THENCE	
S 67°44'11" E	6.44	FEET, THENCE	
N 3°24'00" E	175.13	FEET, THENCE	
S 80°00'00" E	154.89	FEET, THENCE	
S 5°00'00" W	10.50	FEET, THENCE	
S 85°43'34" E	156.19	FEET, THENCE	
S 4°20'00" W	43.74	FEET, THENCE	
S 87°00'00" W	204.94	FEET, THENCE	
N 10°00'00" E	146.37	FEET, THENCE	
N 87°50'51" E	87.11	FEET, TO THE POINT OF INTERSECTION OF A 50 FOOT RADIUS CURVE TO THE RIGHT, THENCE TO 97 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 18°59'00", THENCE	
S 62°10'00" W	171.69	FEET, THENCE	
S 87°40'00" W	110.41	FEET TO THE POINT OF BEGINNING, CONTAINING 24 LOTS ON 6.88 ACRES.	

DATE 25 OCT 1978 BY Martin G. Rank

**OWNER'S DEDICATION**

Know all men by these presents that John E. Roberts, undersigned owner ( ) of the above described tract of land, having caused same to be subdivided into lots and streets to be hereafter known as the MOUNTAIN VALLEY SUBDIVISION do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for Public use. In witness whereof John E. Roberts have hereto set John E. Roberts this day of October A.D. 1978

John E. Roberts  
John E. Roberts  
John E. Roberts

**ACKNOWLEDGMENT**

STATE OF UTAH  
 County of SALT LAKE I, S.S.  
 On the 27 day of November A.D. 1978, personally appeared before me the undersigned Notary Public, in and for said County of SALT LAKE, in said State of Utah, the signer ( ) of the above Owner's dedication, in number, who duly acknowledged to me that John E. Roberts is a duly authorized officer of the Mountain Valley Subdivision and that said corporation for the purposes therein mentioned by its commission expires August 22, 1978.

John E. Roberts  
 NOTARY PUBLIC  
 RESIDING IN Salt Lake COUNTY

**MOUNTAIN VALLEY SUBDIVISION**  
 LOCATED IN THE NW 1/4 SEC. 12, T.5 S., R.1 E.  
 SALT LAKE BASE & MERIDIAN

<b>PLANNING COMMISSION</b> APPROVED THIS _____ DAY OF _____ A.D. 1978 BY THE COUNTY PLANNING COMMISSION. CHAIRMAN, CO. PLANNING COMM.	<b>BOARD OF HEALTH</b> APPROVED THIS _____ DAY OF _____ A.D. 1978 CHAIRMAN, CO. BOARD OF HEALTH	<b>FLOOD CONTROL DEPT.</b> APPROVED THIS _____ DAY OF _____ A.D. 1978 FLOOD CONTROL COORDINATOR	<b>SURVEYOR'S CERTIFICATE</b> I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. DATE <u>10/25/78</u> COUNTY SURVEYOR <u>Martin G. Rank</u>	<b>APPROVAL AS TO FORM</b> APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 1978 COUNTY ATTORNEY <u>John E. Roberts</u>	<b>COUNTY COMMISSION</b> PRESENTED TO THE BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____ A.D. 1978, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED. ATTEST: _____ CHAIRMAN, BD. OF CO. COMM.	<b>RECORDED # 320335</b> STATE OF UTAH COUNTY OF SALT LAKE RECORDER AND FILED AT THE REQUEST OF <u>John E. Roberts</u> DATE <u>11-28-78</u> TIME <u>1:00 PM</u> BOOK <u>78-11</u> PAGE <u>319</u> FEE \$ <u>15.00</u> COUNTY RECORDER <u>John E. Roberts</u>
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78-11-319

78-11-319













**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Salt Lake County Planning Commission								
<b>Meeting Date and Time:</b>	Wednesday, May 14, 2014	08:30 AM	<b>File No:</b>	2	8	8	8	9	
<b>Applicant Name:</b>	Debbie Sanich	<b>Request:</b>	Subdivision						
<b>Description:</b>	5-lot Turning Point Subdivision								
<b>Location:</b>	10658 South Dimple Dell Road								
<b>Zone:</b>	R-1-43 Residential Single-Family	<b>Any Zoning Conditions?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Todd A. Draper								

**1.0 BACKGROUND**

**1.1 Summary**

This applicant is requesting preliminary approval of the proposed Preliminary Plat. The subdivision would amend the existing 1-lot Lucky Chance Ranch Subdivision and create the 5-lot Turning Point Subdivision. As all property owners will be signing the final plat, a 608 hearing before the Mayor is not required for this amendment.

A number of years ago the nearly identical 5-lot Andalusia Estates Subdivision preliminary plat was approved for this property by the Salt Lake County Planning Commission, however the Final Mylar Plat was never recorded and the application subsequently expired. The current property owner is seeking a new approval of the proposed preliminary plat at this time in order to complete the originally proposed subdivision of the property into 5 lots.

**1.3 Neighborhood Response**

No neighborhood response has been received in relation to this application.

**2.0 ANALYSIS**

**2.1 Applicable Ordinances**

**19.14.040 Lot areas and widths**

R-1-43

Minimum lot area = 43,560 square feet -

Minimum lot width = 100 feet at a distance of 30 feet from the front lot line.

### **19.14.050 Yards**

R-1-43

Interior Side Yard = 15 feet

Side Yard facing a street = 20 feet

Rear Yard without Garage = 30 feet

Rear Yard with a Garage = 15 feet

### **19.14.060 Building height.**

Except as otherwise specifically provided in this title no building or structure shall exceed the following height (see Section 19.04.095 (A) for definition of "height"):

#### **A. Main Buildings.**

1. Thirty feet on property where the slope of the original ground surface exceeds fifteen percent or the property is located in the hillside protection zone. The slope shall be determined using a line drawn from the highest point of elevation to the lowest point of elevation on the perimeter of a box which encircles the foundation line of the building or structure. Said box shall extend for a distance of fifteen feet or to the property line, whichever is less, around the foundation line of the building or structure. The elevation shall be determined using a certified topographic survey with a maximum contour interval of two feet.
2. Thirty-five feet on properties other than those listed in number one of this subsection.
3. No dwelling shall contain less than one story.

#### **B. Accessory Buildings.**

1. No building which is accessory to a single-family dwelling shall exceed twenty feet in height. For each foot of height over fourteen feet, accessory buildings shall be set back from property lines an additional foot to allow a maximum height of twenty feet.

## **2.2 Subdivision Requirements**

### **18.08.010 Procedure generally**

The planning commission shall be the land use authority for subdivisions. In order to assure that each subdivision fully complies with the provisions of this title, the director or director's designee shall administer formal application and review procedures for subdivisions. An application shall not be deemed complete until the full application, fees and all required materials have been submitted. The payment of a partial fee and submission of preliminary plans for a pre-submittal review does not constitute a complete application.

Each process shall include the following components:

#### **A. An application procedure, which shall include:**

1. Submission of an application form, as designed by the director or director's designee to clearly indicate the type of application, property address, applicant information, and other pertinent information;
2. Submission of supplementary materials, including a legal description, property plat, the required number of plans/preliminary plats, and mailing labels (if required) for notifications;
3. Payment of fees, as required under Title 3, Revenue and Finance.

#### **B. A review procedure, which shall include:**

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or

affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;

4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C. A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
3. Receipt of a recommendation from the planning staff;
4. Approval of the preliminary plat as outlined in Section 18.12.030, and issuing a preliminary plat approval letter.

D. A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;
2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
4. Payment of final fees and bond;
5. Recordation of the plat.

#### **18.08.015 Time limits**

Subdivision applications are subject to expiration according to the following schedule unless, for good cause shown, the applicant is granted an extension of time by the director or director's designee:

- A. A subdivision application shall expire if the applicant has not filed any of the required documents for preliminary plat approval within six months of the submission of a complete application.
- B. A subdivision application shall expire if the final plat is not submitted to planning and development services within six months of the preliminary plat approval.
- C. A subdivision application shall expire if the final plat has not been signed by the county mayor within six months of the approval of the director or director's designee.
- D. A subdivision application shall expire if the final plat has not been recorded within six months of the date of the county mayor's signature on the plat.

#### **18.12.030 Preliminary plat approval or disapproval.**

Following a review of the preliminary plat the planning commission shall act on the preliminary plat as submitted or modified. If the plat is approved, the director or director's designee shall sign the plat. One copy of the preliminary plat shall be provided to the subdivider. One signed copy shall be retained by the planning and development services division, and one copy of the approved plat shall be returned to the developer's engineer. If the preliminary plat is disapproved, the director or director's designee shall notify the developer in writing and give reasons for such disapproval. The receipt of a signed copy of the approved preliminary plat shall be authorization for the subdivider to proceed with the preparation of

specifications for the minimum improvements required in Chapter 18.24 of this title and with the preparation of the final plat.

### **2.3 Other Agency Recommendations or Requirements**

#### **Boundary Check**

1. A Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development.
2. All required improvements must be bonded for before a plat can be recorded.
3. Show easement for ingress/egress on private road.
4. Streets must be named and approved by Addressing .
5. Note to keep Fire turnaround open at all times must be on plat.
6. Must show location of fire hydrants on Final Plat .
7. Provide a digital copy of Final Civil drawings signed by Licensed Engineer after all approvals have been received.
8. Must label all areas to be dedicated to Salt Lake County.
9. Must show all Streets within 200 ft. of the proposed subdivision on the plat.
10. Need to include the area to be dedicated to county within the perimeter boundary description.
11. Must label all utility and drainage easements on final plat
12. A preliminary report of title will be required at the final stage of the project.

#### **Building Plan Review**

Conditions of approval:

1. Building permits are required for any demolition, remodel, new construction, or any other work that is regulated by the building code.

#### **Geology Review**

Approved on condition that construction activities are limited to areas shown on the site plans. If applicant changes subdivision boundaries, or construction begins on steeper slopes to the west, submittal of a geotechnical evaluation of slopes and details regarding stabilization measures will be required.

#### **Grading Review**

Review Denied

1. Need to submit a slope stability analysis on lot # 4, the slopes in the area of lot #4 are steep and there appears to be some evidence of movement.
2. The remaining lots are relatively flat with a gentle slope to the west.
3. Recommend Denial of subdivision until slope stability analysis is received.
4. Access road and turn around were constructed with out permits or inspections by SLCO.
5. Stormwater maintenance agreement and management plan required for private storm drain system.

#### **Health Department**

Need copies of sewer and water availability letters.

#### **Sanitation**

May need to enter into a private lane agreement for service on the private street.

#### **Traffic Engineer**

Any damaged curb gutter and sidewalk on public road and private road asphalt needs to be replaced or repaired.

## **Fire Authority**

No comments at this time. The fire hydrants are already installed

## **Urban Hydrology**

1. Need to submit a final drainage plan. Provide stormwater calculations based upon a 10 year storm.
2. Plans must include the size of the pipe, flow lines, type of pipe, ground cover over the pipes, and catch basin locations.
3. Must show the rim and invert elevations on all pipe and boxes.
4. Provide plans showing the connections to existing storm drain system
5. Provide plan and profiles of the drainage system.
6. Show all existing utilities on the plans. Show all existing and proposed permanent storm drain easements.
7. Plans must include the name and phone number of a registered professional engineer (P.E.). Plans must be stamped, signed, and dated by the engineer.
8. The existing gravel sump on the property appears to be in poor condition. Concerns exist regarding surface water from Dimple Dell passing through the project.
9. Payment of storm drain impact fees is required. Confirmation of amount of storm drain impact fees is pending (they may have been paid with original subdivision).

## **2.4 Other Issues**

### **Planning Review**

The following comments are based off of the original plans submitted and sent out for review. Subsequently the applicant's engineer submitted revised plans on 4/28/2014 mainly to address discrepancies with the proposed property lines. A copy of the revised Preliminary Plat and Grading Plan is included with the supplemental materials. Additional comments from a review of those plans may be available directly at the Planning Commission meeting.

1. Needs to correct the Developer information on the Cover Page of the plans.
2. Must label all roads on the preliminary plat.
3. Must label the right of way area to be dedicated to the County as such.
4. Must include the square footage of all existing structures on the Preliminary Plat.
5. Setback dimension from the existing home to the proposed property lines are inaccurate.
6. Minimum side yards setbacks are 15 feet. Need to adjust lot lines between lots 5, 4, and 3 to remedy this.
7. The scale on some of the drawings is incorrect and needs to be fixed.
8. Must include notes on the Preliminary and Final Plats indicating that all lots have ingress and egress rights across the private roadway and common areas.
9. An electronic gate is shown on the submitted plans. Traffic Engineer and Fire Authority approval of the location is required if it is to remain.
10. The shape and size of the common area and trail system is not consistent between all plans.
11. Need to show the location of the existing driveway and parking spaces on the Preliminary Plat as well as the grading plans.
12. Existing and proposed utility easements are not shown on the Preliminary Plat or Grading Plans as required.
13. Need to indicate the location of all existing and proposed easements on the Preliminary Plat as well as on the Grading Plans.
14. Drawing legends are incomplete, many line types symbols and hatching types are not specified as required.

15. Must show the location fire hydrants on the Preliminary Plat.
16. Need to include the location of all existing and proposed fences on the Preliminary Plat.
17. Preliminary Plat is not tied to the nearest benchmark.
18. Location of existing underground sewer, water, irrigation, and other utilities and facilities needs to be shown on the Preliminary Plat.
19. Retaining Walls are not shown on the Grading Plan.
20. Boundary lines of adjacent tracks of land need to be shown and ownership identified on the Preliminary Plat.
21. The mock up of the "Final Plat" has a number of property lines and other features that do not match up with the provided Preliminary Plat.
22. Any home built on lot #4 will be limited to 30' in height from natural grade and the slopes on the property exceed 15%.
23. A note regarding the ordinance limitations related to horses for private use needs to be included on the Preliminary and Final Plats. Horses may be kept in the common area stable, or on the individual lots, but each individual owner may not exceed the maximum number of 4 allowed horses.

### **3.0 STAFF RECOMMENDATION**

#### **3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:**

- 1 ) Correct outstanding requirements and technical issues with the Preliminary Plat and Subdivision Plans with staff. Comply with all requirements and recommendations of the individuate reviewers and reviewing agencies.
- 2 ) Construct improvements in conformance with final approved plans.
- 3 ) Submit slope stability analysis for lot #4. Based upon the outcome of the stability analysis additional modifications to the plat to address issues related to the stability or location of build-able areas may be made with staff approval.

#### **3.2 Reasons for Recommendation**

- 1 ) Conceptually the Preliminary Plat is able to meet a majority of the basic ordinance requirements.
- 2 ) The outstanding issues with the Preliminary Plat and Subdivision Plans are mainly technical in nature, or can be addressed with staff through the subsequent technical review process.

#### **3.3 Other Recommendations**

None at this time.



28889

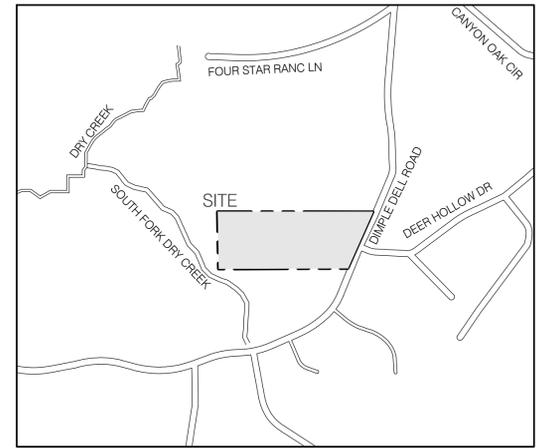
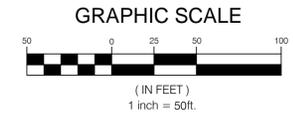
Aerial Map



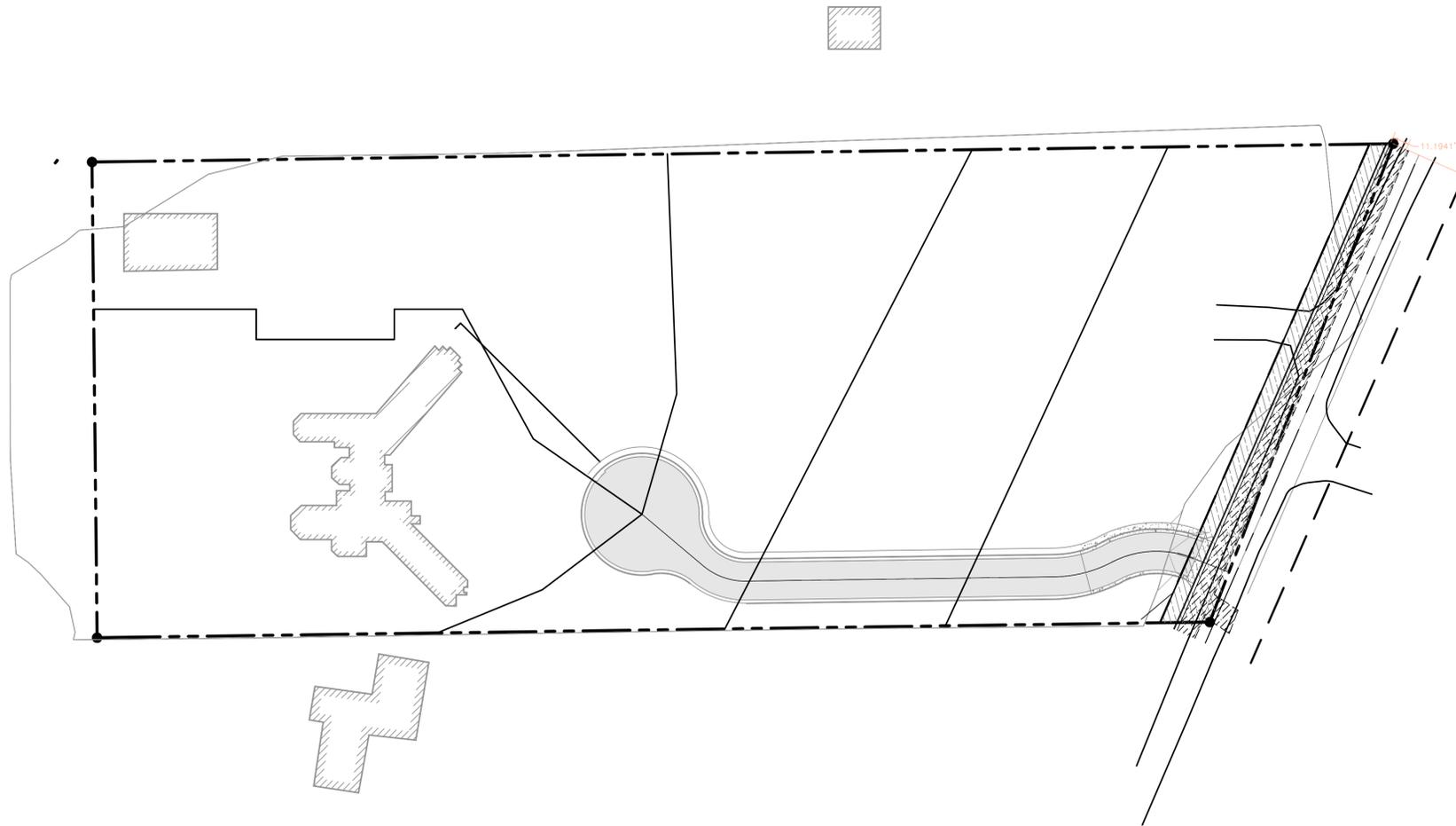
Mon Apr 7 2014 06:37:36 PM.

# TURNING POINT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 14,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN



VICINITY MAP  
N.T.S.



**DEVELOPER/OWNER:**  
NAME: WALKER DESIGN SERVICES  
CONTACT: JAMES WALKER  
1755 SOUTH 4490 WEST  
S.L.C., UT. 84104  
TELEPHONE: (801) 562-1000  
FAX: (801) 562-1003

DRAWING INDEX

- COV COVER SHEET
- CDG.01 PRELIMINARY UTILITY, GRADING AND DRAINAGE PLAN
- CPP.01 PRELIMINARY PLAT
- CSP.02 SUBDIVISION PLAT

PRELIMINARY  
SUBMITTED FOR  
REVIEW ONLY

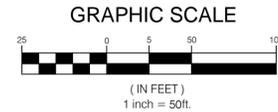
## CIVIL CONSTRUCTION PLANS



		<b>BENCHMARK ENGINEERING &amp; LAND SURVEYING</b> 9130 SOUTH STATE STREET SUITE # 100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com		PROJECT NO. 1404039
		TURNING POINT 10658 S. DIMPLE DELL ROAD SALT LAKE COUNTY, UTAH		COVER
No.	DATE	DESCRIPTION	DATE	
1	X/XX/14	XXXX	4/24/14	4/24/14

# PRELIMINARY GRADING, UTILITY AND DRAINAGE PLAN TURNING POINT

10658 S. DIMPLE DELL ROAD  
SALT LAKE COUNTY, UTAH



KEY NOTES REFERENCE	
NO	DESCRIPTION
①	EXISTING 1" Ø WATER LINE LATERAL PER SANDY CITY STANDARDS AND SPECIFICATIONS
②	EXISTING 8" Ø WATER LINE (D.I.P PER SANDY CITY)
③	EXISTING 4" Ø PVC SDR-35 SEWER LINE
④	EXISTING FIRE HYDRANT PER SANDY CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS
⑤	EXISTING 1" WATER SERVICE METER PER SANDY CITY STANDARDS AND SPECIFICATIONS

ZONE: R-1-43  
MINIMUM LOT SIZE: 1 ACRE  
MINIMUM WIDTH: 100'

THE DEVELOPER SHALL GRADE THIS PROPERTY IN ACCORDANCE WITH THE APPROVED SITE GRADING AND LOT DRAINAGE PLAN SO AS NOT TO DISCHARGE ANY ADDITIONAL STORM WATER ONTO ADJACENT PROPERTIES.

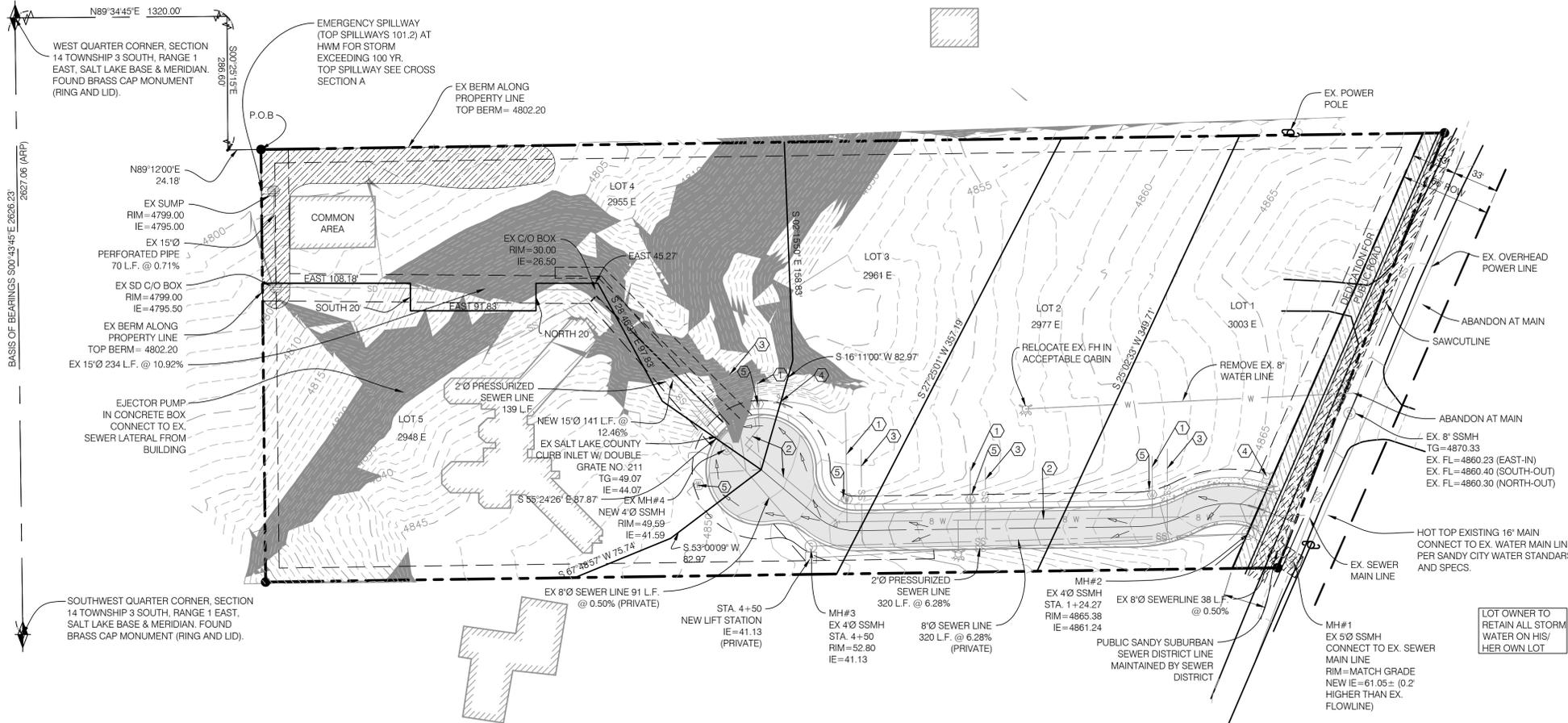
SALT LAKE COUNTY WILL NOT ASSUME ANY RESPONSIBILITY FOR THE MAINTENANCE OF THE PONDS OR PRIVATE STORM DRAIN SYSTEMS.

HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF STORM DRAIN SYSTEM.

FEMA FLOOD ZONE: ZONE X

### LEGEND AND ABBREVIATIONS:

② SECTION CORNER & LINE (FOUND)	■ CATCH BASIN
③ STREET MON. (FOUND)	■ MANHOLE & CULINARY PIPE LINE
— PROPERTY LINE	⊗ WATER VALVE & WATER METER
○ FOUND PL. MARKER (PLAT NOTED)	⊗ EXISTING FIRE HYDRANT
• DEFINITION POINT	⊗ GAS LINE & MANHOLE
— ADJACENT PL. or LOT LINES	⊗ GAS
— CENTERLINE of ROAD	⊗ LIGHT POLE
— CURB & GUTTER	⊗ UNDERGROUND TELEPHONE
— EDGE OF EXISTING ASPHALT	□ IRRIGATION MANHOLES, BOXES
— INDEX CONTOUR LINE	CB CATCH BASIN
— INTERMEDIATE CONTOUR LINE	EDA EDGE OF ASPHALT
⑤ SANITARY SEWER MANHOLE & PIPE	IE INVERT ELEVATION
⑥ STORM DRAIN MANHOLE & PIPE	FL FLOW LINE
GREATER THAN 30% SLOPE AREA	MH MANHOLE
	SMH SEWER MANHOLE
	SD STORM DRAIN
	TBC TOP BACK OF CURB
	TOA TOP OF ASPHALT
	TG TOP OF GRATE



LOT OWNER TO RETAIN ALL STORM WATER ON HIS/HER OWN LOT

### STORM DRAINAGE CALCULATIONS Rational Method (Q=CIA)

Area Identification (A)	Rational Coefficient (C)	CFA
Roof = 26,254	0.9	23629 S.F.
Pavement = 16,342	0.9	14708 S.F.
Landscaping = 217,834	0.2	43567 S.F.
Sum:		81903 S.F.

SALT LAKE COUNTY DESIGN STORM (100 YEAR EVENT)					Allowable Discharge = .11 cfs/acre
Time (min)	Intensity (in/hr)	Rainfall (Inches)	Rainfall Excess (cu. ft.)	Allowed (cu. ft.)	Volume to Detain (cu. ft.)
15	3.72	0.93	6347	592	5755
30	2.50	1.25	8532	1184	7348
60	1.52	1.52	10374	2368	8006
120	0.85	1.70	11603	4735	6868
180	0.63	1.89	12900	7103	5797
360	0.37	2.22	15152	14203	947
720	0.22	2.64	18019	28411	0
1440	0.13	3.12	21295	56821	0

C. Existing Storm water detention 0.00 cfs/acre for percolation

Retention Area 9000 s.f. Basin Depth (H) = 2.20 ft. Volume V=A\*H= 6666 cf

**15" PIPE**  
GRAVEL = 5.25\*5.25\*70 = 1929 cf  
PIPE = 3.14159\*(1.25\*1.25)\*4\*70 = 86 cf  
TOTAL GRAVEL VOLUME = AREA \* VOID AREA (50%)  
1843 cf \* 0.5 = 922 cf

**GRAVEL**  
GRAVEL = 3.14159\*(9\*9)\*4\*14-G39\*0.5 = 790 cf  
TOTAL GRAVEL VOLUME = AREA \* VOID AREA (50%)  
922 cf \* 0.5 = 365 cf

**SUMP**  
PI \* D \* 2/4 \* H = 161 cf

Total Detention Volume : 8200 cf  
Is there enough existing storm water storage? 8,006 cf YES

### SURFACE AREA = (PER PERCOLATION CALCULATIONS)

Percolation rate ASSUME = 10" min / inch  
Use 10" min / inch (Safety Factor)

Retention Surface Area  
Area A=(565+491)/2\*6.32 3336.96 sf

Sump Surface Area  
Area A=2PI\*d\*L 290 s.f.  
Total Surface Area 3627 s.f.

Pipe 5.25\*3\*70 1103 s.f.  
Total Surface Area 4729 s.f.

Convert Percolation to cfs  
10 min (60 Sec)(12 in) 10 (60)(12) sec  
in ( 1 in ) (1 ft ) (1 min) ft  
Discharge = Surface Area 4729 sf = 0.66 cfs  
Percolation Rate 10 (60)(12) sec/ft

Allowable Discharge = Q/Acre = 0.66 cfs 0.11 cfs/acre  
5.98 acres

PRELIMINARY  
SUBMITTED FOR  
REVIEW ONLY



NO.	DATE	DESCRIPTION

SCALE MEASURES 1/4" ON FULL SIZE SHEETS  
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



**BENCHMARK  
ENGINEERING &  
LAND SURVEYING**  
930 SOUTH STATE STREET SUITE #100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com

PROJECT NO: 1404039  
**GRADING  
DRAINAGE  
UTILITY**

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	13,200	16.68
ROADS	7,651	9.67
OPEN SPACE (LANDSCAPE, DRIVEWAYS, SIDEWALKS)	58,257	73.65
TOTAL	252,653	100

# TURNING POINT

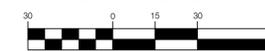
AMENDING LUCKY CHANCE RANCH SUBDIVISION,  
AMENDING LOT 1 AND CREATING LOTS 1-5.

LOCATED IN THE NORTHWEST QUARTER OF SECTION  
14, TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN

10658 S DIMPLE DELL ROAD, SALT LAKE COUNTY UTAH



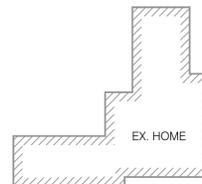
GRAPHIC SCALE



(IN FEET)  
1 inch = 30ft.

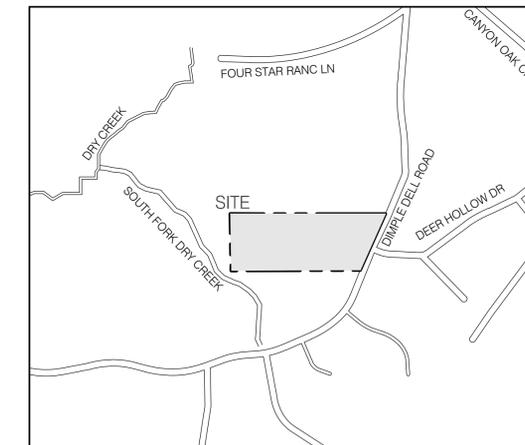
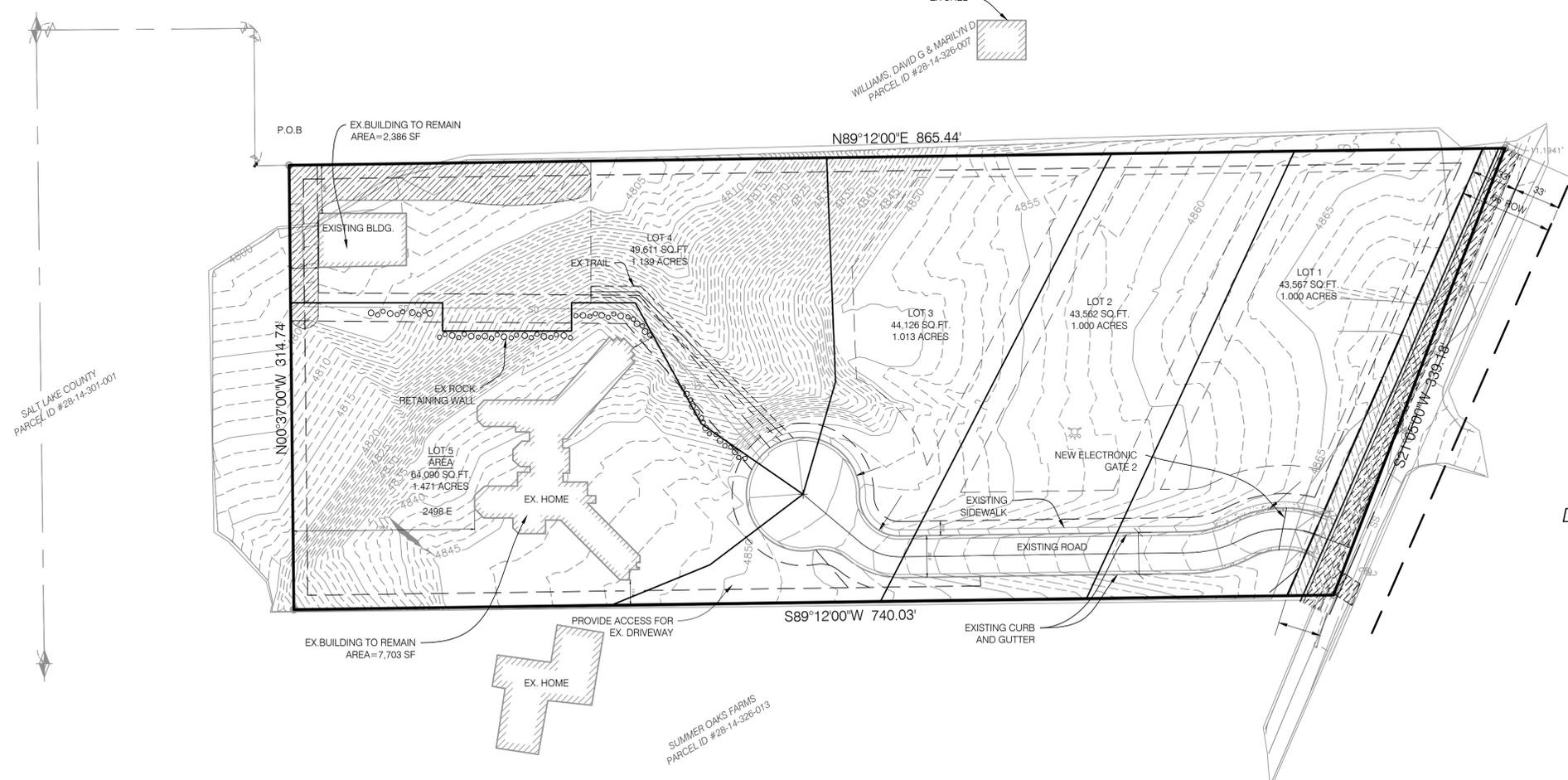
NOTE:  
PER SL COUNTY ORDINANCE 19.14020:  
EACH PROPERTY IS LIMITED TO A MAXIMUM OF 4  
HORSES FOR PRIVATE USE ONLY, NOT FOR  
RENTAL.

NOTE:  
JOINT MAINTENANCE AND LIABILITY OF THE  
COMMON AREA ON LOTS 4 & 5 SHARED BY ALL  
PROPERTY OWNERS WITHIN THE SUBDIVISION.



EX SHED

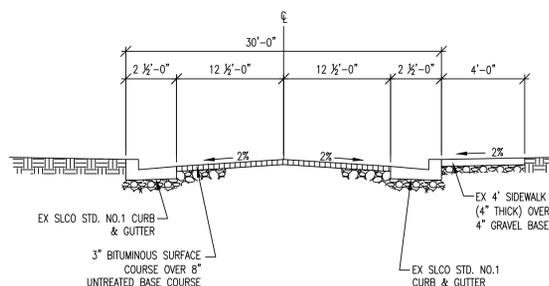
WILLIAMS, DAVID G & MARILYN D  
PARCEL ID #28-14-326-007



VICINITY MAP  
N.T.S.

### LEGEND

- SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 1/2 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- RETENTION POND
- ASPHALT HATCH
- CONG HATCH



PRIVATE ROAD CROSS SECTION (A)  
SCALE: N.T.S.

WATER SERVICE IS CONTINGENT UPON ANNEXATION. THE PROPERTY OWNER COMMITS TO TAKE ALL STEPS NECESSARY TO ASSURE COMPLETION OF THE ANNEXATION TO INCLUDE NOT PROTESTING EFFORTS BY THE CITY TO ANNEX THE PROPERTY. THIS CONDITION WILL RUN WITH THE LAND.

NOTE:  
JOINT MAINTENANCE AND LIABILITY FOR THE PRIVATE ROAD IS SHARED BETWEEN ALL PROPERTY OWNERS WITHIN THE SUBDIVISION (ADD INGRESS & EGRESS RIGHTS FOR ALL).

NOTE:  
AUTOMATIC FIRE SPRINKLERS WILL BE REQUIRED UNLESS A PROOF OF ADEQUATE FIRE FLOW FOR THE SIZE OF THE STRUCTURE IS SUBMITTED TO THE UNIFIED FIRE DISTRICT. A CERTIFIED FIRE FLOW TEST OR CERTIFIED WATER MODEL DATA IS REQUIRED.

NOTE:  
PER SL COUNTY ORDINANCE 19.14020:  
EACH PROPERTY IS LIMITED TO A MAXIMUM OF 4  
HORSES FOR PRIVATE USE ONLY, NOT FOR  
RENTAL.

NOTE:  
JOINT MAINTENANCE AND LIABILITY OF THE  
COMMON AREA ON LOTS 4 & 5 SHARED BY ALL  
PROPERTY OWNERS WITHIN THE SUBDIVISION.

PRELIMINARY  
SUBMITTED FOR  
REVIEW ONLY

DEVELOPER/OWNER: TURNING POINT  
NAME: DEBBIE SANICH  
ADDRESS: 13979 SAGE HOLLOW  
DRAPER, UT 84020  
TELEPHONE: 801-910-5650  
EMAIL: dsanich@gmail.com

CALL BEFORE YOU DIG.  
IT'S FREE & IT'S THE LAW

BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER

1-800-662-4111  
www.bluestakes.org

NO.	DATE	DESCRIPTION
1		PRELIMINARY
2		REVISION
3		REVISION
4		REVISION
5		REVISION
6		REVISION
7		REVISION
8		REVISION
9		REVISION
10		REVISION

PROFESSIONAL ENGINEER  
No. 103381  
DALE K. BENNETT  
STATE OF UTAH

BENCHMARK  
ENGINEERING &  
LAND SURVEYING  
9130 SOUTH STATE STREET SUITE # 100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com

BENCHMARK  
CIVIL

TURNING POINT  
10658 DIMPLE DELL RD  
SANDY, UTAH 84092

PROJECT NO. 1404039  
PRELIMINARY  
PLAT

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	13,200	16.68
ROADS	7,651	9.67
OPEN SPACE (LANDSCAPE, DRIVEWAYS, SIDEWALKS)	58,257	73.65
TOTAL	252,653	100

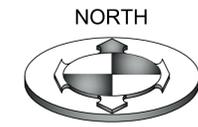
# TURNING POINT SUBDIVISION

AMENDING LUCKY CHANCE RANCH SUBDIVISION,  
AMENDING LOT 1 AND CREATING LOTS 1-5.

LOCATED IN THE NORTHWEST QUARTER OF SECTION  
14, TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN

10658 S DIMPLE DELL ROAD, SALT LAKE COUNTY UTAH

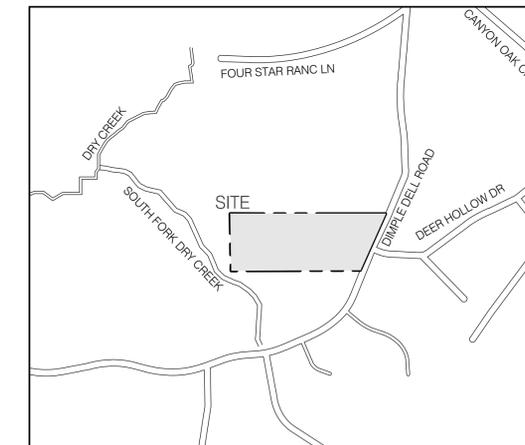
## 4/28/2014 Revised Plans



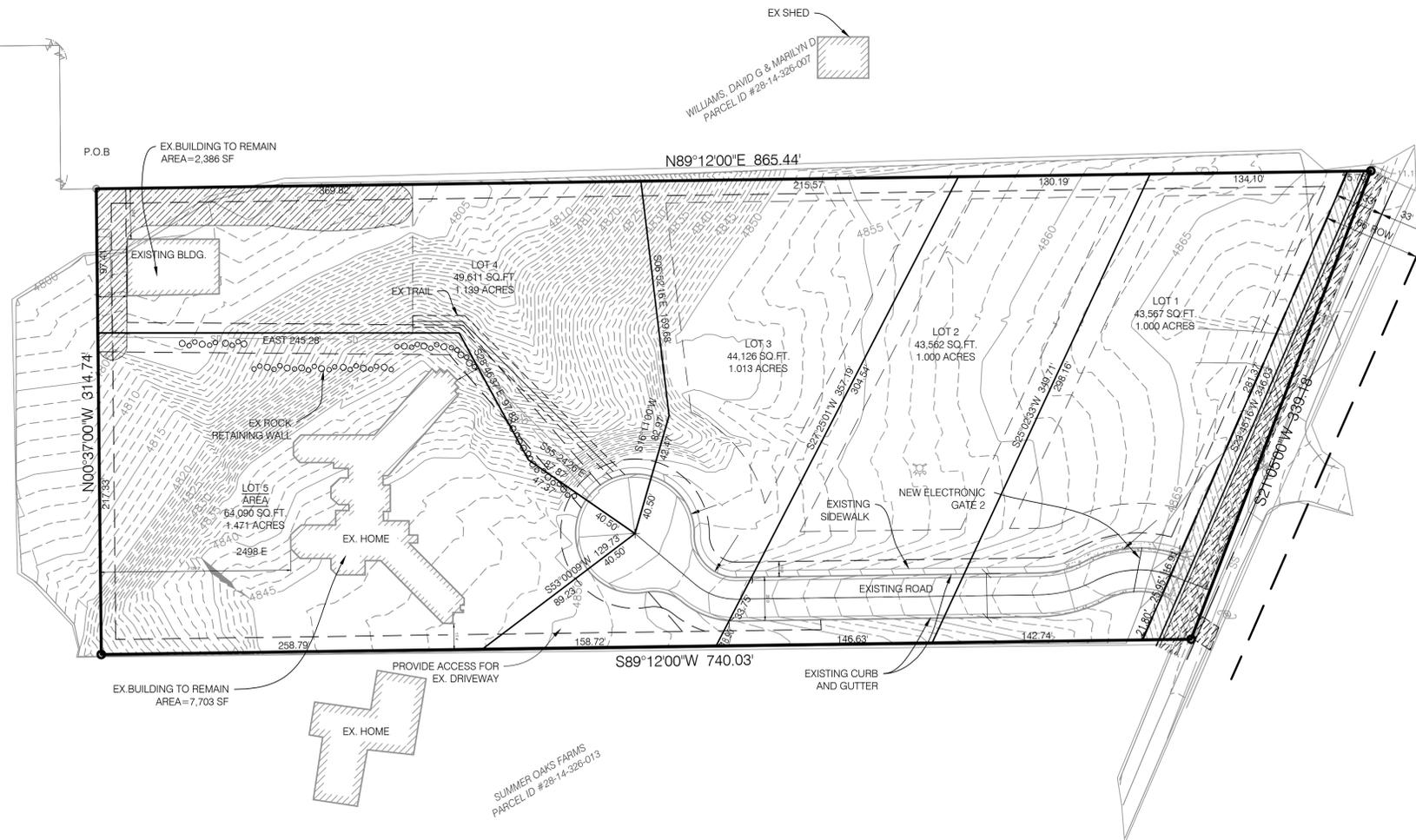
GRAPHIC SCALE



(IN FEET)  
1 inch = 30ft.



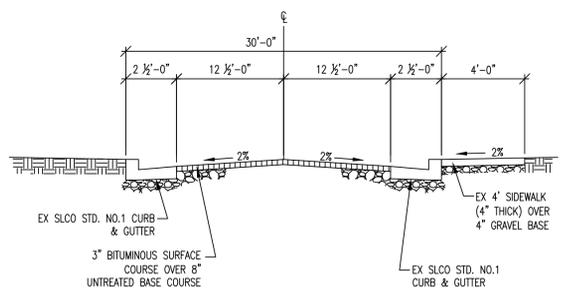
VICINITY MAP  
N.T.S.



### LEGEND

- SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 1/2 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- RETENTION POND
- ASPHALT HATCH
- CONG HATCH

DEER HOLLOW DRIVE  
(10670 S)



PRIVATE ROAD CROSS SECTION  
SCALE: N.T.S.

- NOTES:
- WATER SERVICE IS CONTINGENT UPON ANNEXATION. THE PROPERTY OWNER COMMITS TO TAKE ALL STEPS NECESSARY TO ASSURE COMPLETION OF THE ANNEXATION TO INCLUDE NOT PROTESTING EFFORTS BY THE CITY TO ANNEX THE PROPERTY. THIS CONDITION WILL RUN WITH THE LAND.
  - JOINT MAINTENANCE AND LIABILITY FOR THE PRIVATE ROAD IS SHARED BETWEEN ALL PROPERTY OWNERS WITHIN THE SUBDIVISION (ADD INGRESS & EGRESS RIGHTS FOR ALL).
  - AUTOMATIC FIRE SPRINKLERS WILL BE REQUIRED UNLESS A PROOF OF ADEQUATE FIRE FLOW FOR THE SIZE OF THE STRUCTURE IS SUBMITTED TO THE UNIFIED FIRE DISTRICT. A CERTIFIED FIRE FLOW TEST OR CERTIFIED WATER MODEL DATA IS REQUIRED.
  - PER SL COUNTY ORDINANCE 19.14020; EACH PROPERTY IS LIMITED TO A MAXIMUM OF 4 HORSES FOR PRIVATE USE ONLY, NOT FOR RENTAL.
  - JOINT MAINTENANCE AND LIABILITY OF THE COMMON AREA ON LOTS 4 & 5 SHARED BY ALL PROPERTY OWNERS WITHIN THE SUBDIVISION.

DEVELOPER/OWNER: TURNING POINT  
NAME: DEBBIE SANICH  
ADDRESS: 13979 SAGE HOLLOW  
DRAPER, UT 84020  
TELEPHONE: 801-910-5650  
EMAIL: dsanich@gmail.com

PRELIMINARY  
SUBMITTED FOR  
REVIEW ONLY



NO.	DATE	DESCRIPTION
1		PRELIMINARY
2		REVISION
3		REVISION
4		REVISION
5		REVISION
6		REVISION
7		REVISION
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100		REVISION



**BENCHMARK ENGINEERING & LAND SURVEYING**  
9130 SOUTH STATE STREET SUITE # 100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com

**TURNING POINT**  
10658 DIMPLE DELL RD  
SANDY, UTAH 84092

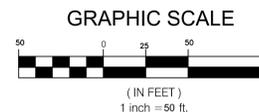
PROJECT NO. 1404039  
**PRELIMINARY PLAT**

**LEGEND**

- SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 3/4 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- WATER FIRE HYDRANT

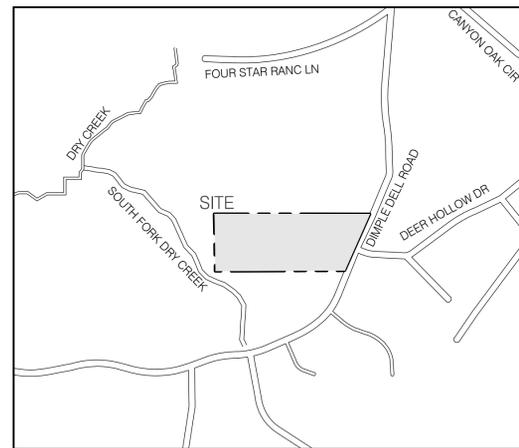
# TURNING POINT SUBDIVISION

AMENDING LUCKY CHANCE RANCH SUBDIVISION,  
AMENDING LOT 1 AND CREATING LOTS 1-5.  
LOCATED IN THE NORTHWEST QUARTER OF SECTION  
14, TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN  
10658 S DIMPLE DELL ROAD, SALT LAKE COUNTY UTAH

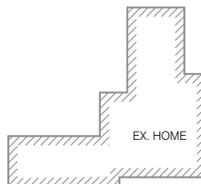


LINE	LENGTH	BEARING
L1	26.39	N68°55'00"W
L2	205.23	N89°12'00"E
L3	53.79	N50°03'46"W
L4	65.09	N89°12'00"E
L5	140.14	N89°12'00"E
L6	10.47	S89°12'00"W
L7	144.21	S89°12'00"W
L8	50.56	S89°12'00"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	55.08	65.00	48°33'16"	53.45	S86°48'22"W
C2	39.57	85.00	26°40'16"	39.21	N75°51'52"E
C3	30.11	43.00	40°07'11"	29.50	S70°44'24"E
C4	37.08	27.50	77°15'45"	34.34	N78°23'11"W
C5	46.55	100.00	26°40'16"	46.13	N75°51'52"E
C6	5.50	58.00	5°26'01"	5.50	S88°05'00"E
C7	35.11	58.00	34°41'11"	34.58	S68°01'24"E
C8	26.03	30.00	49°43'13"	25.22	N75°32'25"W
C9	44.82	40.50	63°24'11"	42.56	S68°41'57"E
C10	50.60	40.50	71°35'28"	47.38	S01°12'09"E
C11	50.60	40.50	71°35'28"	47.38	S70°23'17"W
C12	52.92	40.50	74°52'23"	49.24	N36°22'49"W
C13	44.89	28.00	91°51'23"	40.23	S44°52'19"E
C14	32.58	70.00	26°40'16"	32.29	N75°51'52"E
C15	57.97	80.00	41°31'06"	56.71	S83°17'13"W
C16	8.84	27.50	18°24'51"	8.80	S85°09'40"E



VICINITY MAP  
N.T.S



WILLIAMS, DAVID G & MARILYN D.  
PARCEL ID #28-14-326-001  
EX. SHED

EX. FIRE FENCE

EX. FIRE HYDRANT

SURVEYOR'S CERTIFICATE

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 103381 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. A RECORD OF SURVEY PREPARED BY BENCHMARK ENGINEERING AND LAND SURVEYING, LLC, HAS BEEN FILED AS #S2013-05-0175 IN THE SALT LAKE COUNTY SURVEYOR'S OFFICE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

## TURNING POINT SUBDIVISION

BOUNDARY DESCRIPTION

LOT 1, LUCKY CHANCE RANCH, CONSISTING OF THE FOLLOWING DESCRIBED PROPERTY: BEGINNING AT A POINT WHICH IS NORTH 89°34'45" EAST 1320.00 FEET AND SOUTH 00°25'15" EAST ALONG THE EAST LINE OF THE SALT LAKE COUNTY PARCEL 286.60 FEET AND NORTH 89°12'00" EAST 24.18 FEET FROM THE WEST QUARTER CORNER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 89°12'00" EAST 865.44 FEET; THENCE SOUTH 21°05'00" WEST 339.18 FEET; THENCE SOUTH 89°12'00" WEST TO THE EAST LINE OF THE SALT LAKE COUNTY PARCEL 740.03 FEET TO AN EXISTING FENCE LINE, THENCE NORTH 00°37'00" WEST 314.74 FEET ALONG THE COUNTY PARCEL LINE TO THE POINT OF BEGINNING.

CONTAINS 5.800 ACRES  
CONTAINS 5 LOTS

PROPOSED TRAIL LEGAL DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 00°37'00" EAST 85.68 FEET AND EAST 82.75 FEET FROM THE NORTHWEST CORNER OF ANDALUSIA SUBDIVISION; AND RUNNING THENCE EAST 166.53 FEET; THENCE SOUTH 45°18'26" EAST 148.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 44.50 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS SOUTH 13°26'46" EAST) THROUGH A CENTRAL ANGLE OF 11°29'27" A DISTANCE OF 8.92 FEET; THENCE NORTH 45°18'26" WEST 140.79 FEET; THENCE WEST 163.25 FEET; THENCE NORTH 8.00 FEET TO THE POINT OF BEGINNING.

CONTAINS 0.057 ACRES



SUBMITTED FOR REVIEW ONLY

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

## TURNING POINT SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY \_\_\_\_\_ HAVE HEREUNTO SET THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

PRINT NAME:  
MANAGING MEMBER  
VP HOMES, LLC

ACKNOWLEDGEMENT TO OWNER'S DEDICATION

STATE OF UTAH } S.S.  
County of Salt Lake }  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ WHO BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT HE IS A MANAGING MEMBER OF VP HOMES, LLC, A UTAH LIMITED LIABILITY COMPANY, AND THAT THE FOREGOING OWNER'S DEDICATION WAS SIGNED BY HIM ON BEHALF OF SAID LLC.  
MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN SALT LAKE COUNTY

## TURNING POINT SUBDIVISION

LOCATED IN NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH,  
RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

SHEET 1 OF 1

DEVELOPER/OWNER: TURNING POINT  
NAME: DEBBIE SANICH  
ADDRESS: 13979 SAGE HOLLOW  
DRAPER, UT 84020  
TELEPHONE: 801-910-5650  
EMAIL: dsanich@gmail.com

RECORD OF SURVEY		NO.	DATE	DESCRIPTION
DRAWN BY	FBA/RPD			
CHECKED BY	DKB			
FIELD CREW	JPG			
DATE	04/04/2014			
DWG. FILE	1309165sp			

KEY NOTES REFERENCE	
NO.	DESCRIPTION
①	EXISTING 1" Ø WATER LINE LATERAL PER SANDY CITY STANDARDS AND SPECIFICATIONS
②	EXISTING 8" Ø WATER LINE (D.I.P PER SANDY CITY)
③	EXISTING 4" Ø PVC SDR-35 SEWER LINE
④	EXISTING FIRE HYDRANT PER SANDY CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS

ADDRESS FRONTAGE APPROVED	UNIFIED FIRE AUTHORITY APPROVAL
SIGNED _____ DATE _____	SIGNED _____ DATE _____

**BENCHMARK ENGINEERING & LAND SURVEYING**  
9130 SOUTH STATE STREET SUITE # 100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com  
DATE: 07/21/2011

CHECKED FOR ZONING COMPLIANCE

ZONE: \_\_\_\_\_ LOT AREA: \_\_\_\_\_  
FRONT YARD: \_\_\_\_\_  
SIDE YARD: \_\_\_\_\_ REAR YARD: \_\_\_\_\_

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

HEALTH

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

SALT LAKE VALLEY HEALTH DEPARTMENT

PLANNING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_, BY THE  
SALT LAKE COUNTY PLANNING COMMISSION.

SALT LAKE COUNTY PLANNING COMMISSION

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

PLAN REVIEW SECTION MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

SALT LAKE COUNTY DISTRICT ATTORNEY

MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR OR DESIGNEE \_\_\_\_\_

SALT LAKE COUNTY RECORDER

RECORDED # \_\_\_\_\_  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_  
DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
FEE \$ \_\_\_\_\_  
SALT LAKE COUNTY RECORDER

**LEGEND**

- SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 1/2 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- WATER FIRE HYDRANT
- INGRESS/EGRESS ACCESS, PUBLIC UTILITY, DRAINAGE, WATER & SEWER EASEMENT
- PUE & DE
- AREA HEREBY DEDICATED TO SALT LAKE COUNTY

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	55.08	65.00	48°33'16"	53.45	S86°48'22"W
C2	39.57	85.00	26°40'16"	39.21	N75°51'52"E
C3	30.11	43.00	40°07'11"	29.50	S70°44'24"E
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C5	46.55	100.00	26°40'16"	46.13	N75°51'52"E
C6	5.50	58.00	5°26'01"	5.50	S88°05'00"E
C7	35.11	58.00	34°41'11"	34.58	S68°01'24"E
C8	26.03	30.00	49°43'13"	25.22	N75°32'25"W
C9	44.82	40.50	63°24'11"	42.56	S68°41'57"E
C10	50.60	40.50	71°35'26"	47.38	S01°12'09"E
C11	50.60	40.50	71°35'26"	47.38	S70°23'17"W
C12	52.92	40.50	74°52'23"	49.24	N36°22'49"W
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# TURNING POINT SUBDIVISION

AMENDING LUCKY CHANCE RANCH SUBDIVISION,  
AMENDING LOT 1 AND CREATING LOTS 1-5.

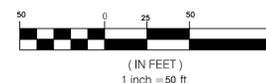
LOCATED IN THE NORTHWEST QUARTER OF SECTION  
14, TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN

10658 S DIMPLE DELL ROAD, SALT LAKE COUNTY UTAH

## PRELIMINARY PLAT

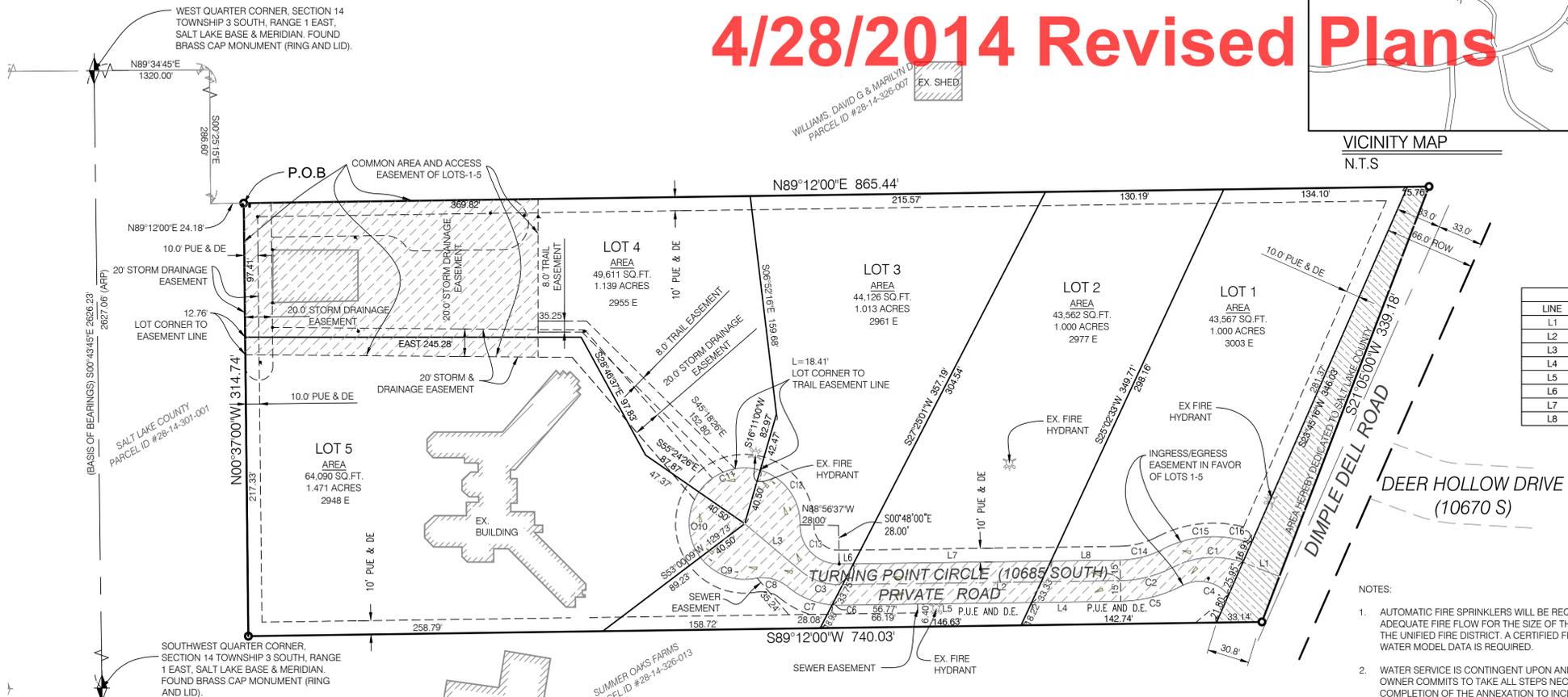


GRAPHIC SCALE



VICINITY MAP  
N.T.S.

# 4/28/2014 Revised Plans



LINE TABLE		
LINE	LENGTH	BEARING
L1	26.39	N68°55'00"W
L2	205.23	N89°12'00"E
L3	53.79	N50°03'46"W
L4	65.09	N89°12'00"E
L5	140.14	N89°12'00"E
L6	10.47	S89°12'00"W
L7	144.21	S89°12'00"W
L8	50.56	S89°12'00"W

**NOTES:**

- AUTOMATIC FIRE SPRINKLERS WILL BE REQUIRED UNLESS A PROOF OF ADEQUATE FIRE FLOW FOR THE SIZE OF THE STRUCTURE IS SUBMITTED TO THE UNIFIED FIRE DISTRICT. A CERTIFIED FIRE FLOW TEST OR CERTIFIED WATER MODEL DATA IS REQUIRED.
- WATER SERVICE IS CONTINGENT UPON ANNEXATION. THE PROPERTY OWNER COMMITS TO TAKE ALL STEPS NECESSARY TO ASSURE COMPLETION OF THE ANNEXATION TO INCLUDE NOT PROTESTING EFFORTS BY THE CITY TO ANNEX THE PROPERTY. THIS CONDITION WILL RUN WITH THE LAND.
- PER SL COUNTY ORDINANCE 19.14020; EACH PROPERTY IS LIMITED TO A MAXIMUM OF 4 HORSES FOR PRIVATE USE ONLY, NOT FOR RENTAL.
- JOINT MAINTENANCE AND LIABILITY OF THE COMMON AREA ON LOTS 4 & 5 SHARED BY ALL PROPERTY OWNERS WITHIN THE SUBDIVISION.
- JOINT MAINTENANCE AND LIABILITY FOR THE PRIVATE ROAD IS SHARED BETWEEN ALL PROPERTY OWNERS WITHIN THE SUBDIVISION (ADD INGRESS & EGRESS RIGHTS FOR ALL).
- FIRE TURNAROUND MUST BE KEPT OPEN AT ALL TIMES.

**DEVELOPER/OWNER: TURNING POINT**  
**NAME: DEBBIE SANICH**  
**ADDRESS: 13979 SAGE HOLLOW**  
**DRAPER, UT 84020**  
**TELEPHONE: 801-910-5650**  
**EMAIL: dsanich@gmail.com**

RECORD OF SURVEY		DRAWN BY		No.		DATE		DESCRIPTION	
RSC NO.: XXXXXXXXXXX		FBA/RPD							
SIGNED _____		DKB							
DATE _____		JPG							
		04/04/2014							
		1309165sp							

KEY NOTES REFERENCE	
NO.	DESCRIPTION
①	EXISTING 1" Ø WATER LINE LATERAL PER SANDY CITY STANDARDS AND SPECIFICATIONS
②	EXISTING 8" Ø WATER LINE (D.I.P PER SANDY CITY)
③	EXISTING 4" Ø PVC SDR-35 SEWER LINE
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ADDRESS FRONTAGE APPROVED	UNIFIED FIRE AUTHORITY APPROVAL
SIGNED _____ DATE _____	SIGNED _____ DATE _____

**SURVEYOR'S CERTIFICATE**

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 103381 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, A RECORD OF SURVEY PREPARED BY BENCHMARK ENGINEERING AND LAND SURVEYING, LLC. HAS BEEN FILED AS #XXXXXXX IN THE SALT LAKE COUNTY SURVEYORS OFFICE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

## TURNING POINT SUBDIVISION

**BOUNDARY DESCRIPTION**

LOT 1, LUCKY CHANCE RANCH, CONSISTING OF THE FOLLOWING DESCRIBED PROPERTY: BEGINNING AT A POINT WHICH IS NORTH 89°34'45" EAST 1320.00 FEET AND SOUTH 00°25'15" EAST ALONG THE EAST LINE OF THE SALT LAKE COUNTY PARCEL 286.60 FEET AND NORTH 89°12'00" EAST 24.18 FEET FROM THE WEST QUARTER CORNER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 89°12'00" EAST 865.44 FEET; THENCE SOUTH 21°05'00" WEST 339.18 FEET; THENCE SOUTH 89°12'00" WEST TO THE EAST LINE OF THE SALT LAKE COUNTY PARCEL 740.03 FEET TO AN EXISTING FENCE LINE, THENCE NORTH 00°37'00" WEST 314.74 FEET ALONG THE COUNTY PARCEL LINE TO THE POINT OF BEGINNING.

CONTAINS 5.800 ACRES  
CONTAINS 5 LOTS

**PROPOSED TRAIL LEGAL DESCRIPTION**

BEGINNING AT A POINT WHICH IS SOUTH 00°37'00" EAST 85.68 FEET AND EAST 82.75 FEET FROM THE NORTHWEST CORNER OF ANDALUSIA SUBDIVISION; AND RUNNING THENCE EAST 166.53 FEET; THENCE SOUTH 45°18'26" EAST 148.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 44.50 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS SOUTH 13°26'46" EAST) THROUGH A CENTRAL ANGLE OF 11°29'27" A DISTANCE OF 8.92 FEET; THENCE NORTH 45°18'26" WEST 140.79 FEET; THENCE WEST 163.25 FEET; THENCE NORTH 8.00 FEET TO THE POINT OF BEGINNING.

CONTAINS 0.057 ACRES



SUBMITTED FOR REVIEW ONLY

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT \_\_\_\_\_ THE \_\_\_\_\_ UNDERSIGNED OWNER ( ) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

## TURNING POINT SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY \_\_\_\_\_ HAVE HEREUNTO SET THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

PRINT NAME: \_\_\_\_\_  
MANAGING MEMBER  
VP HOMES, LLC

**ACKNOWLEDGEMENT TO OWNER'S DEDICATION**

STATE OF UTAH } S.S.  
County of Salt Lake  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ WHO BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT HE IS A MANAGING MEMBER OF VP HOMES, LLC, A UTAH LIMITED LIABILITY COMPANY, AND THAT THE FOREGOING OWNER'S DEDICATION WAS SIGNED BY HIM ON BEHALF OF SAID LLC.  
MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN SALT LAKE COUNTY

## TURNING POINT SUBDIVISION

LOCATED IN NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH,  
RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

SHEET 1 OF 1

**BENCHMARK ENGINEERING & LAND SURVEYING**  
9130 SOUTH STATE STREET SUITE # 100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com  
DATE: 07/21/2011

**CHECKED FOR ZONING COMPLIANCE**

ZONE: \_\_\_\_\_ LOT AREA: \_\_\_\_\_  
LOT WIDTH: \_\_\_\_\_ FRONT YARD: \_\_\_\_\_  
SIDE YARD: \_\_\_\_\_ REAR YARD: \_\_\_\_\_

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

**HEALTH**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

SALT LAKE VALLEY HEALTH DEPARTMENT

**PLANNING COMMISSION**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ BY THE SALT LAKE COUNTY PLANNING COMMISSION.

SALT LAKE COUNTY PLANNING COMMISSION

**PLAN CHECK**

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

PLAN REVIEW SECTION MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVAL AS TO FORM**

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

SALT LAKE COUNTY DISTRICT ATTORNEY \_\_\_\_\_

**MAYOR**

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR OR DESIGNEE \_\_\_\_\_

**SALT LAKE COUNTY RECORDER**

RECORDED # \_\_\_\_\_  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_  
DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
FEE \$ \_\_\_\_\_  
SALT LAKE COUNTY RECORDER \_\_\_\_\_











**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Salt Lake County Planning Commission								
<b>Meeting Date and Time:</b>	Wednesday, May 14, 2014	08:30 AM	<b>File No:</b>	2	8	8	8	7	
<b>Applicant Name:</b>	Rich Welch	<b>Request:</b>	Conditional Use						
<b>Description:</b>	15-lot Treseder at Little Cottonwood PUD Subdivision								
<b>Location:</b>	3601 Little Cottonwood Road								
<b>Zone:</b>	R-1-10 Residential Single-Family	<b>Any Zoning Conditions?</b>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>					
<b>Zoning Condition:</b>	See text below								
<b>Community Council Rec:</b>	Not yet received								
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Todd A. Draper								

**1.0 BACKGROUND**

**1.1 Summary**

The applicant is proposing to redevelop the existing property into a 15 lot Planned Unit Development (PUD) subdivision to be know as Treseder at Little Cottonwood. As a PUD is listed as a conditional use within the R-1-10 zone (Residential, 10,000 sq. ft. min. lot size) review of both of the conditional use elements and mitigation measures of the PUD as well as the Preliminary Subdivision Plat is required.

The property has a storied history and has a result there are known soil contamination issues that will be addressed and re-mediated as part of the overall development process.

The current zoning for the property is also a bit unusual as the zoning conditions that were attached to the property do not conform to the zoning ordinance regulations pertaining to zoning conditions. The zoning conditions (see text below for specific conditions) were written based upon a an earlier PUD proposal for the property that ultimately was never realized. Accordingly the proposed project has been developed to meet the intent of those zoning regulations as allowed under the PUD ordinance.

*The zoning conditions which apply to the properties at this time are as follows:*

- 1. Dwelling units shall be limited to a maximum density of 3.8 dwelling units per acre, based on the acreage of the property after the area necessary for dedication to Little Cottonwood Creek Road is subtracted from the total acreage, and a maximum of 22 dwelling units, which ever is less.*

2. The homes shall be limited to single-story from original grade. Single Story shall mean the first floor elevation shall be no more than 3 feet above original grade. Second floor living space will be limited to an office-style space within the pitched roof over the first floor, with a dormer-style window facing the inside of the PUD and a skylight on the opposite side of the window facing up at the same angle as the roof. Walk out basements below the main floor may be allowed if existing topography supports walk out basements.

**1.3 Neighborhood Response**

A number of neighborhood residents have called with questions and concerns about the project. Many have simply desired additional information while some have expressed concerns ranging from the potential density of the project to the architectural details including materials and colors of the exterior finishes. Most all have expressed a desire to see the property re-developed and improved from its current state.

**1.4 Community Council Response**

This application is scheduled to be presented to the Granite Community Council at their May 7, 2014 meeting. Any comments, issues, or recommendations from that meeting will be provided directly to the Planning Commission at the May 14, 2014 meeting.

**2.0 ANALYSIS**

**2.1 Applicable Ordinances**

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		Discussion: The proposed PUD plan complies with parking requirements, and building heights. In conformance with the imposed zoning conditions the second floor of all units is designed as a office style space within the roof over the first floor. No basement plans have been proposed, but if they are added they would be subject to the listed height requirements. The main windows on the second floor face the interior of the PUD and the new private street while clerestory windows have been added to the opposite wall facing the perimeter of the development (meeting the intent of the skylight provision). The proposed building setbacks measured to the perimeter of the development meet or exceed the minimum 15 foot requirement. However, homes on lots 11, 12 and 13 have proposed rear yard setbacks that are less than 15 feet. Simple changes such as locating the home on the lot closer to the private road, or utilization of different floor plan would bring the homes on these lots in line with the typical 15' rear yard setback. Staff suggests a condition be added that all homes maintain a 15' minimum rear yard setback from the property line. Distances from the private road to the front of the garage will also meet the minimum standard of 20 feet. Distances from the private right of way to the homes are between 25 and 15 feet based upon the layout provided.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B'</u> : <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Discussion: Conceptually the plans comply with all other applicable laws and ordinances. Identified deficiencies are mainly technical in nature and can be handled through the subsequent technical review process with staff. Final approval will not be granted until revised plans are submitted, reviewed, and verified to meet all applicable laws, ordinances, and requirements of the individual reviewers and reviewing agencies.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C'</u> : <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Discussion: The access drive is designed to connect to Little Cottonwood Road at an existing intersection. As the project connects to a Utah Department of Transportation (UDOT) roadway and not a road under the control of Salt Lake County, review and approval of the roadway connection and any mitigation measures related to anticipated traffic increases are handled by UDOT. UDOT has indicated their acceptance of the plan conceptually, but that further technical review will be required.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D'</u> : <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Discussion: The preceding list of issues are reviewed and addressed during the subsequent technical review phase with staff. The following individual reviewers and reviewing agencies have made specific preliminary comments related to the identified issues. In most cases additional information is being sought as part of the technical review process. Please see their individual comments provided in the agency review section of the staff report. While some have recommendations of denial at the moment, staff believes that the issues can be adequately resolved through the subsequent technical review process.  Geology Unified Fire Authority Grading Urban Hydrology SLCo Health Department
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E'</u> : <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		Discussion: Existing homes along the periphery of the development are predominately Two-story homes with basements. Existing neighborhood homes are constructed of wood framing with exterior finishes of stucco, siding, rock, and brick. The proposed homes are compatible with other nearby homes in the neighborhood in terms of size, scale, and height. The range of plans proposed will help to insure sufficient variation in the development to help blend in with the more "custom built" neighborhood. The new homes will also be in compliance with residential standards contained within the Granite Community Master Plan.

## 2.2 Zoning Requirements

### 19.14.040 Lot areas and widths

R-1-10

Minimum lot area = 10,000 square feet

Minimum lot width = 60 feet at a distance of 25 feet from the front lot line.

### 19.14.050 Yards

R-1-10

Front Yard = 25 feet

Interior Side Yard = 8 feet

Side Yard facing a street = 20 feet

Rear Yard without Garage = 30 feet

Rear Yard with a Garage = 15 feet

### 19.14.060 Building height.

Except as otherwise specifically provided in this title no building or structure shall exceed the following height (see Section 19.04.095 (A) for definition of "height"):

#### A. Main Buildings.

1. Thirty feet on property where the slope of the original ground surface exceeds fifteen percent or the property is located in the hillside protection zone. The slope shall be determined using a line drawn from the highest point of elevation to the lowest point of elevation on the perimeter of a box which encircles the foundation line of the building or structure. Said box shall extend for a distance of fifteen feet or to the property line, whichever is less, around the foundation line of the building or structure. The elevation shall be determined using a certified topographic survey with a maximum contour interval of two feet.
2. Thirty-five feet on properties other than those listed in number one of this subsection.
3. No dwelling shall contain less than one story.

#### B. Accessory Buildings.

1. No building which is accessory to a single-family dwelling shall exceed twenty feet in height. For each foot of height over fourteen feet, accessory buildings shall be set back from property lines an additional foot to allow a maximum height of twenty feet.

### 19.14.055 Density.

The allowable density for planned unit developments shall be determined by the planning commission on a case by case basis, taking into account the following factors: recommendations of county and non-county agencies; site constraints; compatibility with nearby land uses; and the provisions of the applicable general plan. Notwithstanding the above, the planning commission shall not approve a planned unit development with density higher than the following:

R-1-10 = 4.0 units per (gross) acre.

*The imposed zoning conditions (z/c) for this property limits the density in this development to 3.8 units per net acre (after dedication, if any).*

**19.78.020 Purpose.**

The purpose of the planned unit development is to allow diversification in the relationship of various uses and structures to their sites and to permit more flexibility in the use of such sites. The application of planned unit concepts is intended to encourage good neighborhood, housing, or area design, thus ensuring substantial compliance with the intent of the district regulations and other provisions of this title related to the public health, safety and general welfare and at the same time securing the advantages of large-scale site planning for residential, commercial or industrial development, or combinations thereof.

**19.78.030 Planned unit development defined.**

"Planned unit development" for the purpose of this chapter, means an integrated design for development of residential, commercial or industrial uses, or combination of such uses, in which one or more of the regulations, other than use regulations, of the district in which the development is to be situated, is waived or varied to allow flexibility and initiative in site and building design and location in accordance with an approved plan and imposed general requirements as specified in this chapter. A planned unit development may be:

- A. The development of compatible land uses arranged in such a way as to provide desirable living environments that may include private and common open spaces for recreation, circulation and/or aesthetic uses;
- B. The conservation or development of desirable amenities not otherwise possible by typical development standards;
- C. The creation of areas for multiple use that are of benefit to the neighborhood.
- D. The adaptive improvement of an existing development.

**19.78.040 Review and approval.**

A planned unit development may be approved by a planning commission in any zoning district. The approval of a PUD shall consist of a final approval letter and a final approved site plan. A PUD permit shall not be granted unless the PUD meets the use and density limitations of the zoning district in which it is to be located.

In order to assist the planning commission with the approval process, the director or director's designee shall administer an application and review procedure with the following components:

- A. A pre-submittal review, which may include:
  - 1. Submission of an information form, conceptual site plans, property plat map, other supplemental materials, and a pre-submittal fee as required under Title 3, Revenue and Finance.
  - 2. Referral of the plans to affected entities and other regulatory agencies.
  - 3. An informational meeting with planning staff, regulatory agencies, and the applicant in which preliminary information and feedback is given to the applicant based on the preliminary plans.
  - 4. A preliminary meeting with the planning commission in which the application is discussed by the applicant, planning commission, and concerned neighbors in order to allow the applicant an opportunity to hear the planning commission members' and neighbors' areas of concern prior to submitting an application with finished site plans.
  - 5. Upon completion of the foregoing pre-submitted review process and upon payment of all applicable fees, the application shall be deemed complete.

B. An application and review procedure, which shall include:

1. Submission of finished site plans and application fees;
2. The creation of a planning file by which the applicant, staff, and the public can refer to the proposed land use;
3. An on-site review by the director or director's designee as allowed in Utah Code Section 17-27a-303;
4. Review of the submitted site plans and elevations for compliance with the zoning ordinance;
5. Referral of the application and site plans to those government agencies and/or affected entities necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;
6. Recommendation from planning and development services to the planning commission.

C. An approval/denial procedure, which shall include:

1. A planning commission decision based on whether the proposed development complies with ordinance requirements and development standards of approval and whether anticipated impacts can be mitigated with appropriate conditions of approval.
2. The integration of the recommendations from the other government agencies and affected entities involved in subsection (B)(5) of this section and any planning commission conditions of approval into the final site plan;
3. An approval or denial letter indicating the approval or denial of the application with appropriate conditions or findings;
4. Provision of the approved site plan with approval letter or the denial letter to the applicant in a timely manner.

**19.78.060 Grading and drainage plans.**

A grading and drainage plan shall be submitted to the planning commission with the application.

**19.78.080 Development ownership.**

The development shall be in single, partnership or corporate ownership, or under option to purchase by an individual or a corporate entity at the time of application, or the application shall be filed jointly by all owners of the property.

**19.78.090 Effect on adjacent properties.**

The planning commission shall require such arrangement of structures and open spaces within the site development plan, as necessary, to assure that adjacent properties will not be adversely affected.

A. Height and intensity of buildings and uses shall be arranged, around the boundaries of the planned unit development, to be compatible with existing adjacent developments or zones. However, unless conditions of the site so warrant, buildings located on the periphery of the development shall be limited to a maximum height of two stories.

B. Lot area, lot width, yard and coverage regulations shall be determined by approval of the site plan.

C. Density of dwelling units per acre shall be the same as allowed in the zone in which the planned unit development is located.

**19.78.100 Preservation of open space.**

Preservation, maintenance and ownership of required open space within the development shall be accomplished by:

- A. Dedication of the land as a public park or parkway system;
- B. Granting to the county a permanent open space easement on or over the private open spaces to guarantee that the open space remain perpetually in recreational use with ownership and maintenance being the responsibility of the owner or an owner's association established with articles of association and bylaws which are satisfactory to the county; or
- C. Complying with the provisions of the Condominium Ownership Act of 1963, Title 57, Chapter 8, Utah Code Annotated (1953), as amended, which provided for the payment of common expenses for the upkeep of the common areas and facilities.

**19.78.110 Landscaping.**

Site landscaping shall be as specified in Chapter 19.77 of this title.

**19.78.130 Site plan requirements.**

The applicant shall submit a planned unit development plan for the total area within the proposed development. If the planned unit development is to be developed on a phase basis, each phase shall be of such size, composition and arrangement that its construction, marketing and operation is feasible as a unit independent of any subsequent phases. The general site plan shall show, where pertinent:

- A. The use or uses, dimensions, sketch elevations and locations of proposed structures;
- B. Dimensions and locations of areas to be reserved and developed for vehicular and pedestrian circulation, parking, public uses such as schools and playgrounds, landscaping, and other open spaces;
- C. Architectural drawings and sketches outlining the general design and character of the proposed uses and the physical relationships of the uses;
- D. Such other pertinent information including, but not limited to, residential density, coverage and open space characteristics shall be included as may be necessary to make a determination that the contemplated arrangement of buildings and uses makes it desirable to apply regulations and requirements differing from those ordinarily applicable under this chapter.

**19.78.150 Construction limitations.**

A. Upon approval of a planned unit development, construction shall proceed only in accordance with the plans and specifications approved by the planning commission and in conformity with any conditions attached by the commission to its approval.

B. Amendments to approved plans and specifications for a planned unit development shall be approved by the planning commission and shown on the approved plans.

C. The building inspector or any other county department shall not issue any permit for any proposed building, structure, activity or use within the project unless such building, structure, activity or use is in accordance with the approved development plan and any conditions imposed in conjunction with its approval.

D. The development services division director shall issue a certificate of occupancy for any building or structure upon its completion in accordance with the approved development plan.

### **19.78.160 Plan review at public meeting.**

Preliminary development plans, including site plan, (buildings, open space, parking, landscaping, pedestrian and traffic circulation) building elevations and general drainage and utility layout with topography shall be submitted for the purpose of staff analysis and planning commission review at a regularly scheduled meeting. Landscaping shall be as specified in Chapter 19.77 of this title.

### **19.78.170 Scope of planning commission action.**

In carrying out the intent of this chapter, the planning commission shall consider the following principles:

- A. It is the intent of this chapter that site and building plans for a planned unit development shall be prepared by a designer or team of designers having professional competence in urban planning as proposed in the application. The commission may require the applicant to engage such a qualified designer or design team.
- B. It is not the intent of this chapter that control of the design of a planned unit development by the planning commission be so rigidly exercised that individual initiative be stifled and substantial additional expense incurred; rather, it is the intent of this section that the control exercised be the minimum necessary to achieve the purpose of this chapter.
- C. The planning commission may approve or disapprove an application for a planned unit development. In approving an application the commission may attach such conditions as it may deem necessary to secure compliance with the purposes set forth in Sections 19.84.050 through 19.84.090 of this title. The action of the planning commission may be appealed to the land use hearing officer.

## **2.3 Other Agency Recommendations or Requirements**

### **Boundary and Subdivision Engineering Review**

1. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development.
2. Final plat must be on regular County Titleblock.
3. All required improvements must be bonded for before plat can be recorded.
4. Show easement for ingress/egress on private road.
5. Streets must be named and approved by Addressing.
6. Show Fire Hydrants on Final Plat.
7. Note to keep Fire turnaround open at all times must be on plat.
8. A digital copy of Final Civil drawings signed by Licensed Engineer for all improvements is required after Final approval of the plans has been given.
9. Label all areas to be dedicated to County as "Area Hereby Dedicated to Salt Lake County".
10. All Streets within 200 ft. of the proposed subdivision must be shown on plat.
11. Include the area to be dedicated to county within the perimeter boundary description.
12. Label all utility and drainage easements on final plat
13. A preliminary report of title will be required at the final stage of the project.

### **Geology Review**

Review Denied

1. Western end of the proposed PUD falls in the fault special study area; specifically lots 1 and 8 on plat. A fault study must be prepared in accordance with 19.75.060 part B.

### **Building Plans Review**

1. Building permits need to be obtained for the demolition of existing buildings where the new property lines will create building code issues.
2. Building permits are required for the construction of the new homes and any other proposed structure regulated by the building code. At time of building permit application, provide two sets of the complete building plans showing compliance with current building code.
3. At time of building permit application, provide fire flow verification and show how compliance is going to be made with any Unified Fire District Guidelines.

### **Grading Review**

Review Denied

1. Site is located in an area of potential contaminated soils from the Flaggstaff-Davenport smelter operation.
2. A clean letter from the DEQ and EPA will be required to be submitted prior to the development of any homes.
3. Need to submit a copy of the Geotechnical report and environmental reports for review and comment.
4. Previous reports have identified hot spots remaining at the site.
5. The site is in excess of one acre and will require a Storm Water Pollution Prevention Plan (SWPP) for both the clean up and the development of the project.
6. The retaining wall along the north property line will need to be reviewed by a structural engineer to determine the stability for the proposed construction.
7. Need to submit site grading and drainage plans showing how the site grading and drainage will be addressed.
8. Site clean up will need to be under the supervision of the DEQ, Salt Lake County Health and the EPA
9. Pending the design of the stormwater facilities a stormwater maintenance agreement and management plan maybe required to be recorded.

### **Health Department Review**

Need to submit sewer and water availability letters.

### **Sanitation Review**

Will need a private lane agreement.

### **Traffic Engineer Review**

1. UDOT approval required.
2. Curb Gutter and sidewalk is required, unless UDOT tells us otherwise in writing.
3. The gate needs to include a fire department access box.
4. Roads greater than 150 feet have a maximum allowable grade of 10% and a minimum width of 20 feet.
5. Vehicle turn-arounds must meet the fire department specifications.

### **UDOT Review**

1. Overall this development is headed on the right track, they will need to submit a complete application to UDOT meeting UDOT requirements and standards.
2. This location will need to address drainage along the UDOT right of way and their proposed landscaping. Also both UDOT and SL County need to evaluate what if any dedication is needed.

## **Fire Authority Review**

1. Fire department lock box for the gate required. Minimum 12 foot road width per side next to the gate. Gate must also open to 12 foot width.
2. Verification of fire flow is required.
3. Show existing and proposed fire hydrants on the plans.
4. Fire impact fees - Single family residential is \$546.30 per unit.
5. No parking signs required on private roadway.

## **Urban Hydrology Review**

1. The developer shall grade the property in accordance with the approved site grading and lot drainage plan, so as not to discharge any stormwater onto adjacent properties. It is important that stormwater is controlled and routed/piped to connect into the county system.
2. The developer shall be required to permanently contain all generated water on the property or route to a county drainage system.
3. There are storm drain systems in both Little Cottonwood Road and Little Cottonwood Lane.
4. Must provide a final drainage plan with required calculations, plans and profile drawings of the drainage system, and the plan must be stamped signed and dated by a registered professional engineer (P.E.).
5. Need plans showing the connections to the existing storm drain system including a plan and profile of the drainage system.
5. Storm drain impact fees are required. Approximate amount is \$3,729 per acre.

## **2.4 Other Issues**

### **Planning Review**

#### Outstanding Issues

1. Dimension the setback distances for each lot on the site plan.
2. Dimension the PUE distances for each lot on the site plan.
3. Show all existing and proposed conditions on the Preliminary plat.
4. All existing buildings to be removed prior to recordation of the subdivision plat. Demolition permits are required for each building.
5. Show topography on preliminary plat, grading plan, and utility plan.
6. Show existing irrigation systems on utility plan.
7. Indicate the FEMA Flood zone on the plans.
8. Show existing and proposed detention or retention facilities on the utility plan.
9. Preliminary plat must show the nearest fire hydrants within 500 feet, as well as any proposed hydrants to be added.
10. Identify any proposed roadway dedication.
11. Show typical building pad for each lot on the preliminary plat.
12. Indicate which areas are private, common or limited common areas on the preliminary plat.
13. Preliminary Plat is missing a tie to the nearest benchmark or monument.
14. Dimension and call out the width/halfwidth of Little Cottonwood Road.
15. Name of the subdivision, address, section, township and range need to be included at the top of the preliminary plat.
16. Name and address of the applicant and developer need to be on the preliminary plat.
17. Preliminary Plat must be on regular County titleblock.
18. Provide plat revision blocks on the Preliminary Plat.
19. Show the overall project boundary and provide a legal description and approximative total acreage on the preliminary plat.
20. Include the square footage of each lot with the lot number and acreage.

21. Show and label all existing and proposed walls and fences. A solid visual barrier around the perimeter of the development is required. Fencing details including materials and colors must be provided.
22. A vicinity map must be included on the preliminary plat.
23. Show all existing and proposed easements on the preliminary plat.
24. Show and label all existing structures on neighboring properties within 50 feet of the PUD subdivision.
25. Show any existing septic tanks or leach fields. Show the location of sewer and water and other utility connections for each lot.
26. Provide typical street cross sections and profiles.
27. Entry gate requires approval from the traffic engineer, fire department , and likely UDOT.
28. The required landscape grading plan has not been provided. Existing trees to be removed, including their caliper sizes, must be shown on that plan.
29. Existing trees of 4" caliper or greater that are removed must be replaced on a caliper for caliper basis. The trees are in addition to any other required trees for the site under the landscaping ordinance.
30. No hydrozones are called out on the landscaping plans as required.
31. No irrigation plans provided with the landscape plan package as required.
32. No water usage calculations provided with the landscape plans.
33. Front yard depths of no less than 15 feet between the buildings and the edge of the private street require that street trees cover a minimum of 75 percent (at maturity) of the landscape area. Open decorative fencing may also be required on the interior of the landscaped area.
34. Based upon the calculations provided on the landscape plan only 41% of the site is landscaped. A minimum of 50% open space is required (landscaped area plus any walking paths/sidewalk). A reduction to 42% open space is allowed, but only if 4 additional recreational amenities are included in the project. Based upon preliminary analysis staff believes that the potential exists to expand the size of the playground to 3,000 sq ft. and the size of the picnic area to 1,000 sq. ft., this would when account for 5 of the 6 required amenities and the applicant would only need to add one additional amenity to meet the minimum requirements. More accurate calculations together with potential reductions in the size of the homes or driveways may also boost the amount of open space up to 44% eliminating the requirement of a 6th amenity.
35. As the playground is next to the street it must be fenced.
36. A number of technical deficiencies also exist with the landscape plans, these range from the provision of a design intent statement to a signature box for County acceptance of the plans. The designer needs to review the submittal requirements of 19.77.100 when updating the plans.
37. Colors and materials are not specified on the elevation drawings, the renderings provided are a representation only. More specific materials and a color palate and will need to be designated and provided prior to final approval.
38. A discrepancy exists regarding the overall size of the property. Also dedication amounts for the roadway have not yet been determined by UDOT. According to the County Assessors records the total size of the property is 3.94 acres, according to the plans provided the size is 4.15 acres. If the property size is indeed 3.94 acres or smaller (after dedication along Little Cottonwood Road) only 14 units would be allowed ( $3.94 \times 3.8 = 14.97$  units - unit calculations are not rounded up).

## 2.5 Subdivision Requirements

### 18.08.010 Procedure generally

The planning commission shall be the land use authority for subdivisions. In order to assure that each subdivision fully complies with the provisions of this title, the director or director's designee shall administer formal application and review procedures for subdivisions. An application shall not be deemed complete until the full application, fees and all required materials have been submitted. The payment of a partial fee and submission of preliminary plans for a pre-submittal review does not constitute a complete application.

Each process shall include the following components:

A. An application procedure, which shall include:

1. Submission of an application form, as designed by the director or director's designee to clearly indicate the type of application, property address, applicant information, and other pertinent information;
2. Submission of supplementary materials, including a legal description, property plat, the required number of plans/preliminary plats, and mailing labels (if required) for notifications;
3. Payment of fees, as required under Title 3, Revenue and Finance.

B. A review procedure, which shall include:

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;
4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C. A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
3. Receipt of a recommendation from the planning staff;
4. Approval of the preliminary plat as outlined in Section 18.12.030, and issuing a preliminary plat approval letter.

D. A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;
2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
4. Payment of final fees and bond;
5. Recordation of the plat.

### **18.08.015 Time limits**

Subdivision applications are subject to expiration according to the following schedule unless, for good cause shown, the applicant is granted an extension of time by the director or director's designee:

- A. A subdivision application shall expire if the applicant has not filed any of the required documents for preliminary plat approval within six months of the submission of a complete application.
- B. A subdivision application shall expire if the final plat is not submitted to planning and development services within six months of the preliminary plat approval.
- C. A subdivision application shall expire if the final plat has not been signed by the county mayor within six months of the approval of the director or director's designee.
- D. A subdivision application shall expire if the final plat has not been recorded within six months of the date of the county mayor's signature on the plat.

### **18.12.030 Preliminary plat approval or disapproval.**

Following a review of the preliminary plat the planning commission shall act on the preliminary plat as submitted or modified. If the plat is approved, the director or director's designee shall sign the plat. One copy of the preliminary plat shall be provided to the subdivider. One signed copy shall be retained by the planning and development services division, and one copy of the approved plat shall be returned to the developer's engineer. If the preliminary plat is disapproved, the director or director's designee shall notify the developer in writing and give reasons for such disapproval. The receipt of a signed copy of the approved preliminary plat shall be authorization for the subdivider to proceed with the preparation of specifications for the minimum improvements required in Chapter 18.24 of this title and with the preparation of the final plat.

## **3.0 STAFF RECOMMENDATION**

### **3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:**

- 1 )Correct outstanding requirements and technical issues with the Preliminary Plat, Subdivision Plans, Architectural Elevations, and Landscape Plans with staff. Comply with all requirements and recommendations of the individuate reviewers and reviewing agencies.
- 2 ) Construct improvements in conformance with final approved plans.
- 3 ) All homes to meet the following minimum setbacks:
  - Front Yard to the Home (from the nearest edge of the private street or sidewalk) = 15 feet
  - Front Yard to the Garage (from the nearest edge of the private street or the sidewalk) = 15 feet
  - Rear Yard = 15 feet
  - Interior side yards = 5 feet minimum
  - Street Side Yards = 20 feet
  - Side Yard next to the perimeter of the development = 15 feet
- 4 ) Provide staff with an updated colors and materials list in accordance with the renderings provided.
- 5 ) Provide the additional recreational amenities requisite to the actual reductions in open space. Total open space provided shall not be less than 42% in any case. Staff to approve of the location and manner in which the additional recreational amenities are provided.
- 6 ) If final net acreage is 3.94 acres or less only 14 dwelling units are permitted and the revised site plan must return to the Planning Commission for preliminary review and approval.

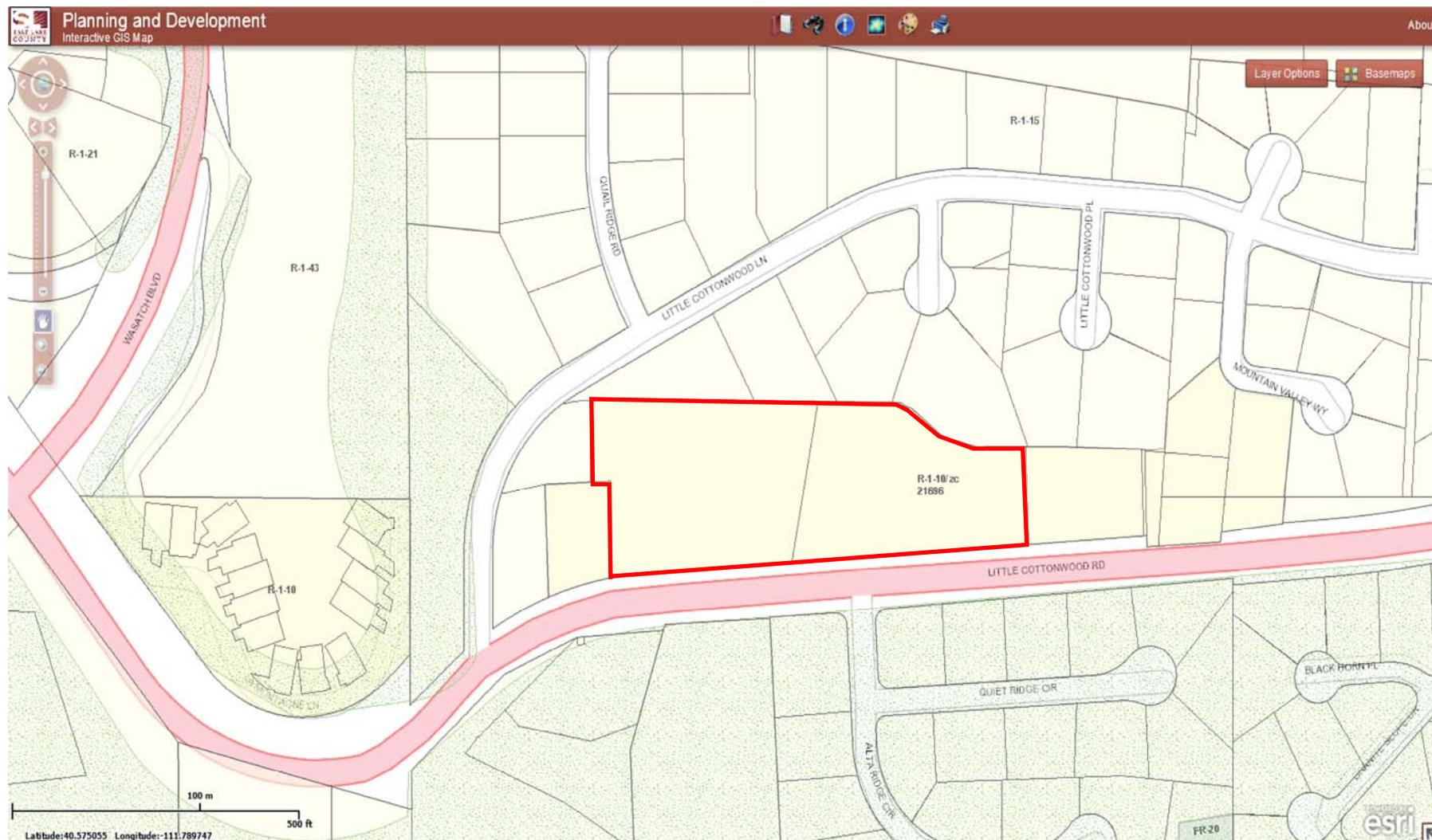
### **3.2 Reasons for Recommendation**

- 1 ) Conceptually the Conditional Use PUD and Preliminary Subdivision Plat are able to meet a majority of the basic ordinance requirements.
- 2 ) The outstanding issues with the Preliminary Plat, Subdivision Plans, Architectural Elevations, and Landscape Plans are mainly technical in nature, or can easily be addressed with staff through the subsequent technical review process.
- 3 ) Impacts to the neighborhood are minimal and appropriate mitigation measures are in place as part of the proposal.
- 4 ) Additional recreational amenities are required based upon the submitted plans and the calculated amounts of open space.

### **3.3 Other Recommendations**

Given the outstanding items that have yet to be resolved related to fencing, open space, recreational amenities, colors, materials, and acreage calculations the Planning Commission may wish exercise one of two options available to them:

1. Continue the item for up to 3 months (August 13, 2014 meeting) to allow the applicant more time to revise the plans and provide the additional details, information and plans before the Planning Commission makes a decision, or;
2. Require that the the project come back before the Planning Commission for final approval.



The screenshot displays the ArcGIS Viewer for Flex interface. At the top, the header reads "Planning and Development Interactive GIS Map" with the Salt Lake County logo on the left and navigation icons on the right. The main map area shows an aerial view of a residential neighborhood with two parcels highlighted: a red parcel on the left and a blue parcel on the right. Two information windows are open on the left side of the map. The "Identify" window shows details for a parcel with IDs 2812152021 and 28121520210000, located at 3611 LITTLE COTTONWOOD RD, with an acreage of 1.79 and owned by the First National Bank of Layton. The "Enhanced Search" window shows details for a parcel with IDs 2812152019 and 28121520190000, located at 3601 LITTLE COTTONWOOD RD, with an acreage of 2.15 and owned by the First National Bank of Layton. A scale bar at the bottom indicates 300 feet. The Esri logo is visible in the bottom right corner.

Planning and Development  
Interactive GIS Map

Identify

Parcel  
ID 10: 2812152021  
ID 14: 28121520210000  
Address: 3611 LITTLE COTTONWOOD RD  
Acreage: 1.79  
Owner: FIRST NATIONAL BANK OF LAYTON  
Owner Address: 1601 N HILL FIELD RD

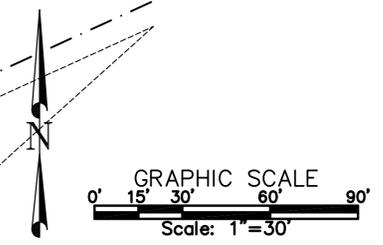
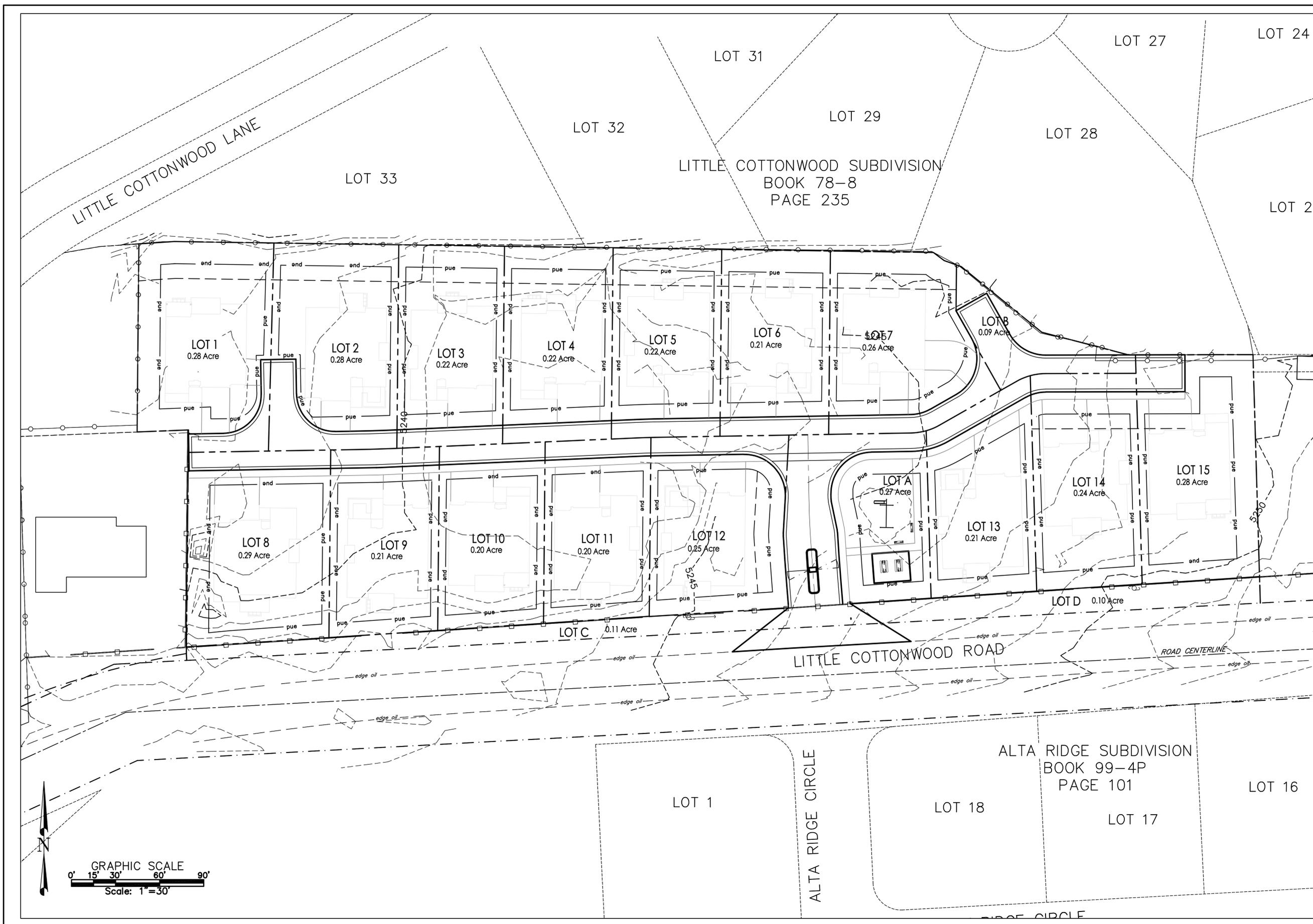
Enhanced Search

Parcels Selected: 1

ID 10: 2812152019  
ID 14: 28121520190000  
Address: 3601 LITTLE COTTONWOOD RD  
Acreage: 2.15  
Owner: FIRST NATIONAL BANK OF LAYTON  
Owner Address: 1601 N HILL FIELD RD

300 ft

POWERED BY esri

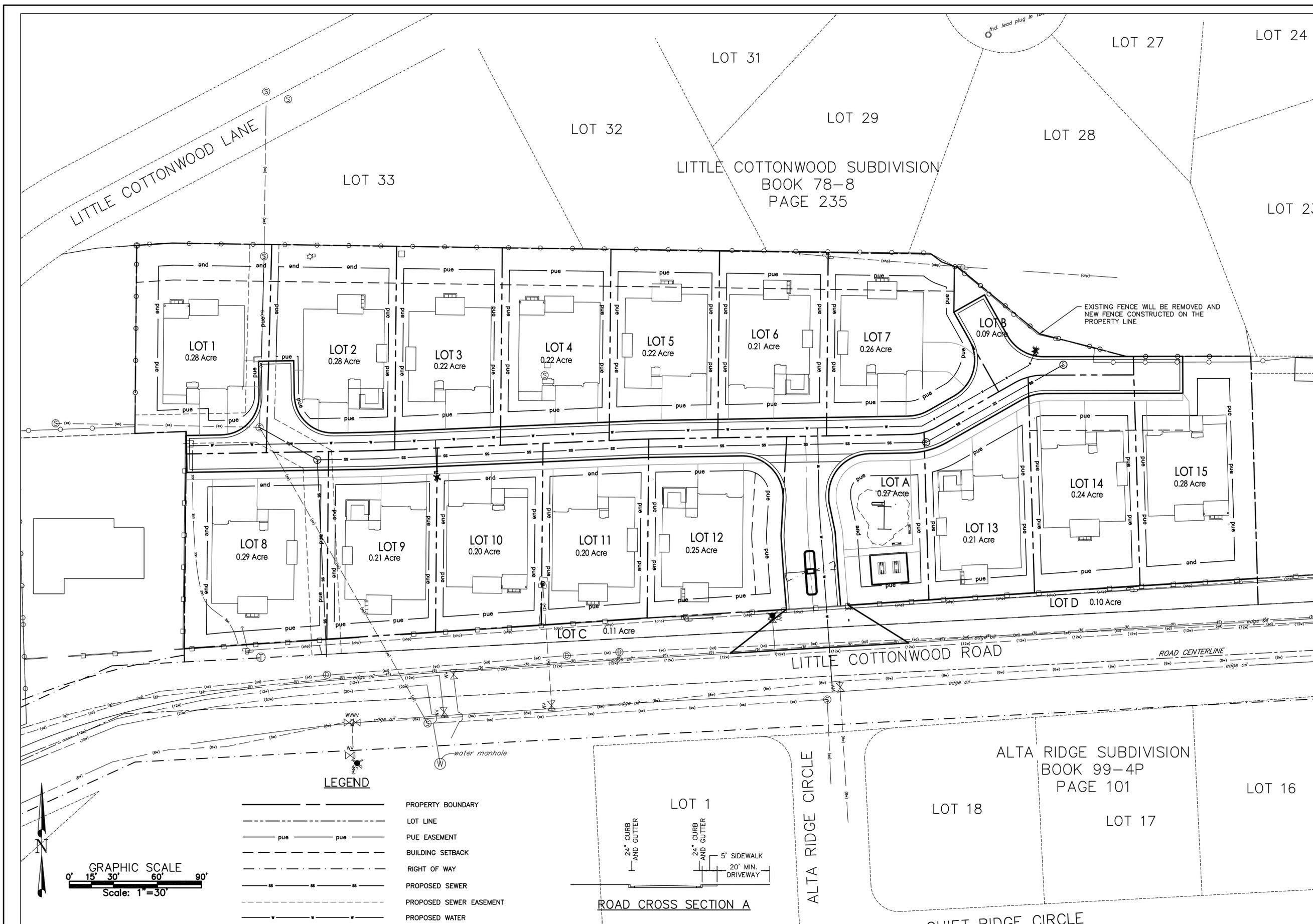


TRESEDER AT LITTLE COTTONWOOD  
GRADING AND DRAINAGE PLAN  
SANDY, SALT LAKE COUNTY, UTAH

**TWIN PEAKS**  
Engineering & Land Surveying  
2264 NORTH 1450 EAST LEHI, UTAH 84043  
(801) 450-3511, (801) 439-0700 FAX

DWG DATE: MARCH 2014  
PLOT DATE: 01 April 2014

SHEET  
4  
OF  
4

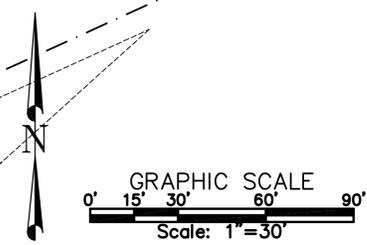
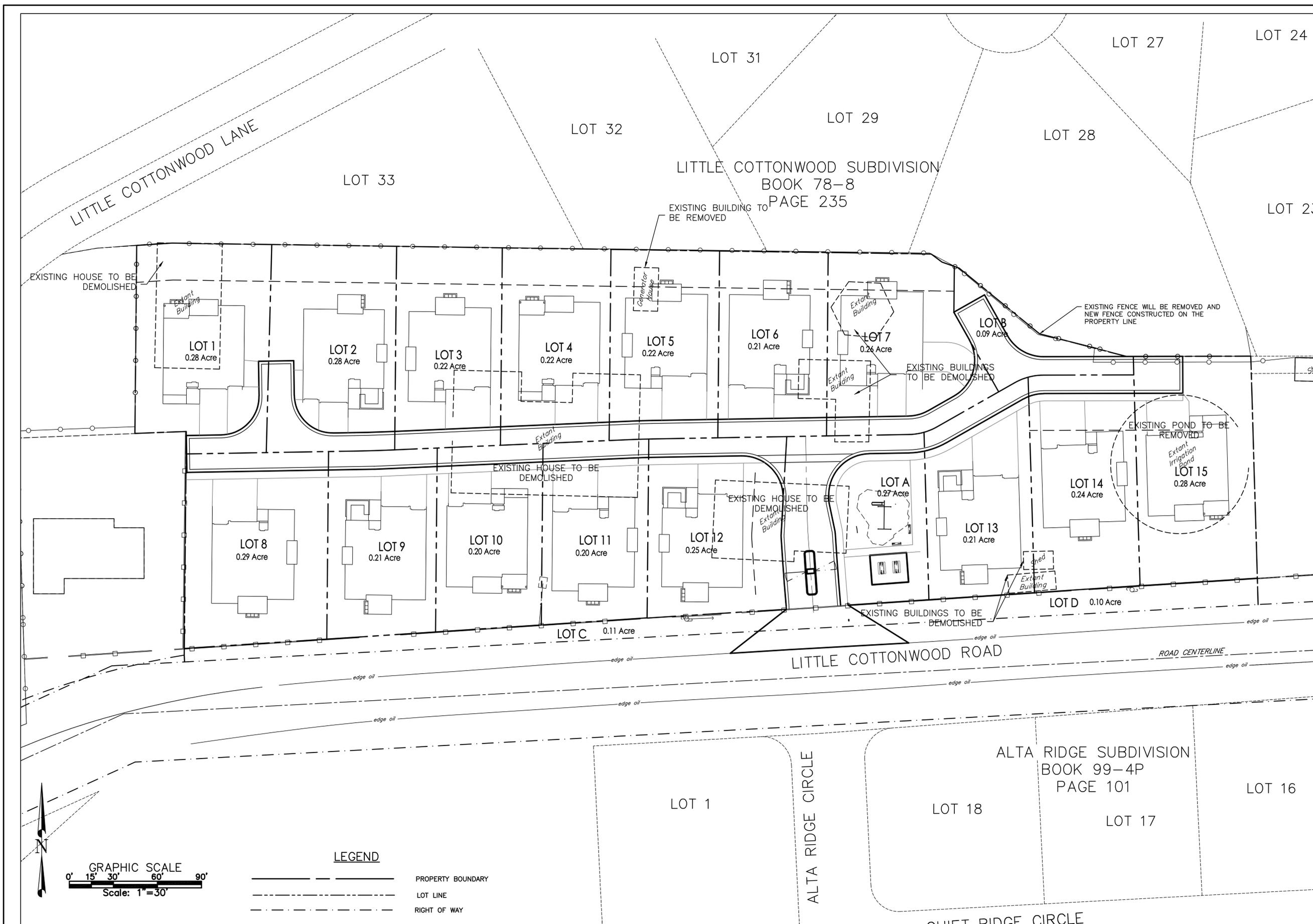


**TRESEDER AT LITTLE COTTONWOOD**  
 PRELIMINARY UTILITY PLAN  
 SALT LAKE COUNTY, UTAH

**TWIN PEAKS**  
 Engineering & Land Surveying  
 2264 NORTH 1450 EAST LEHI, UTAH 84043  
 (801) 450-3511, (801) 439-0700 FAX

DWG DATE: MARCH 2014  
 PLOT DATE: 04 April 2014

SHEET  
 3  
 OF  
 4



**LEGEND**

	PROPERTY BOUNDARY
	LOT LINE
	RIGHT OF WAY

LITTLE COTTONWOOD SUBDIVISION  
BOOK 78-8  
PAGE 235

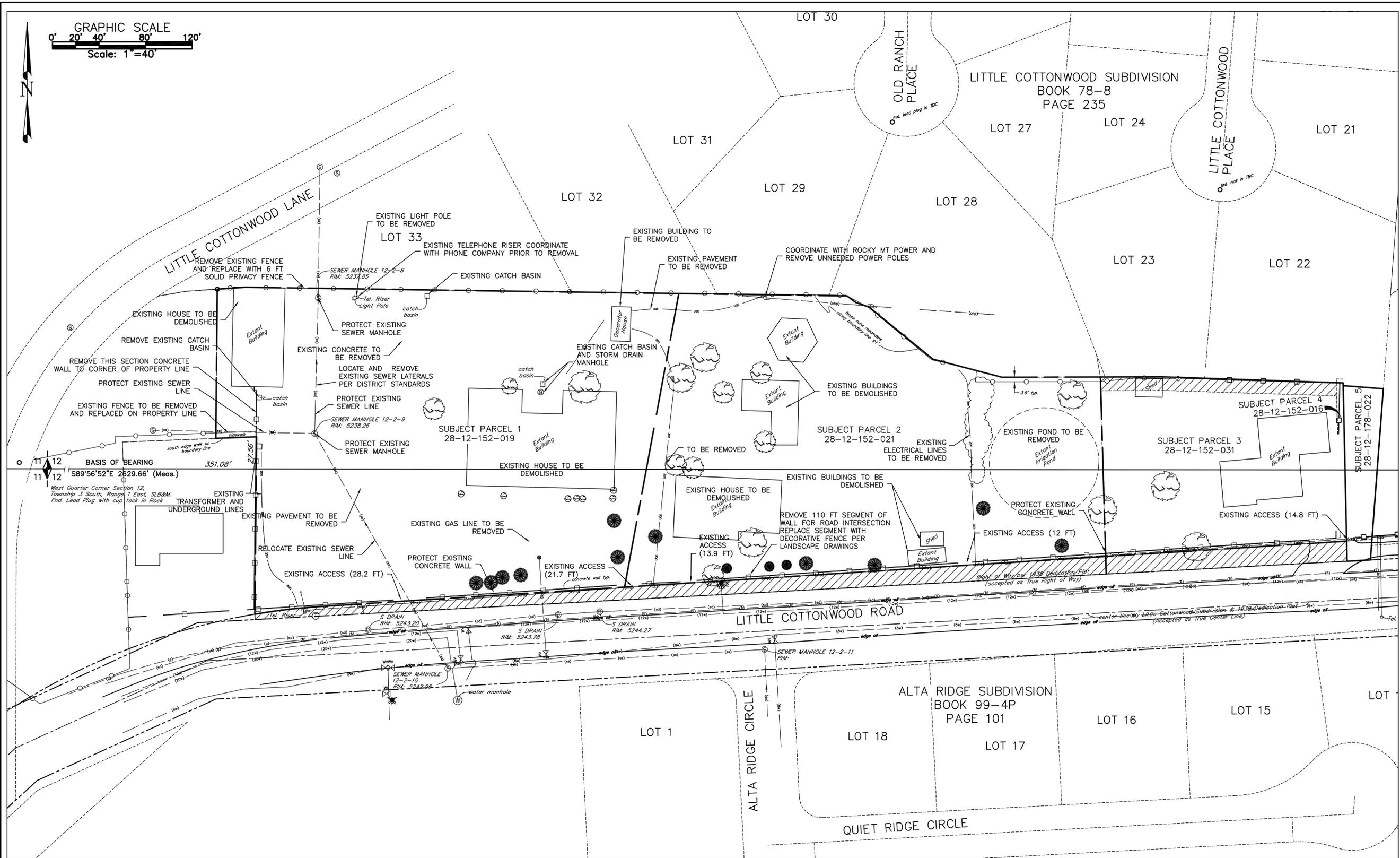
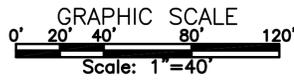
ALTA RIDGE SUBDIVISION  
BOOK 99-4P  
PAGE 101

TRESEDER AT LITTLE COTTONWOOD  
PRELIMINARY PLAT  
SALT LAKE COUNTY, UTAH

**TWIN PEAKS**  
Engineering & Land Surveying  
2264 NORTH 1450 EAST LEHI, UTAH 84043  
(801) 450-3511, (801) 439-0700 FAX

DWG DATE: MARCH 2014  
PLOT DATE: 04 April 2014

SHEET  
2  
OF  
4



NOTE  
 1. ALL EXISTING ASPHALT AND CONCRETE AREAS WITHIN THE PROPERTY TO BE REMOVED.  
 2. ALL POWER AND LIGHT POLES ARE TO BE REMOVED.

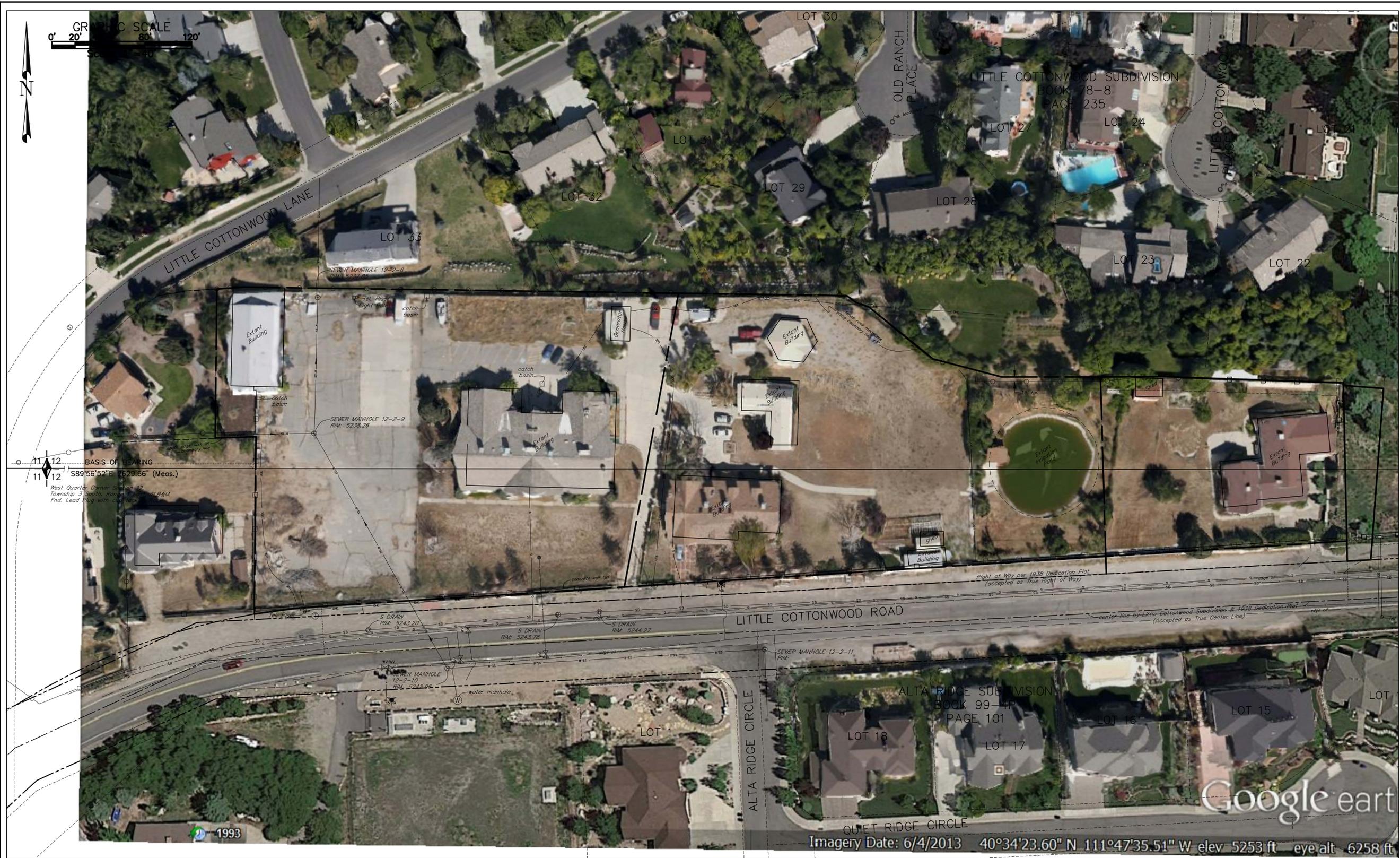
SURVEY CONTROL  
 NORTHING : 7377634.26  
 EASTING : 1558182.25  
 ELEVATION : 5179.83  
 RAW DESCRIPTION : WEST 1/4 COR SECTION 12

TRESEDER AT LITTLE COTTONWOOD  
 EXISTING CONDITIONS AND DEMOLITION PLAN  
 SANDY, SALT LAKE COUNTY, UTAH

**TWIN PEAKS**  
 Engineering & Land Surveying  
 2264 NORTH 1450 EAST LEHI, UTAH 84043  
 (801) 450-3511, (801) 439-0700 FAX

DWG DATE: MARCH 2014  
 PLOT DATE: 02 April 2014

SHEET  
 1  
 OF 4



GRAPHIC SCALE  
0' 20' 40' 80' 120'  
Scale = 1" = 40'

11 12 BASIS OF BEARING  
11 12 S89°56'52"E 2629.66' (Meas.)  
West Quarter Corner Section 12  
Township 3 South, Range 12E, S12E  
Fnd. Lead Plug with old task marker

NOTE  
1. ALL EXISTING ASPHALT AND CONCRETE AREAS WITHIN THE PROPERTY TO BE REMOVED.  
2. ALL POWER AND LIGHT POLES ARE TO BE REMOVED.

SURVEY CONTROL  
NORTHING : 7377634.26  
EASTING : 1558182.25  
ELEVATION : 5179.83  
RAW DESCRIPTION : WEST 1/4 COR SECTION 12

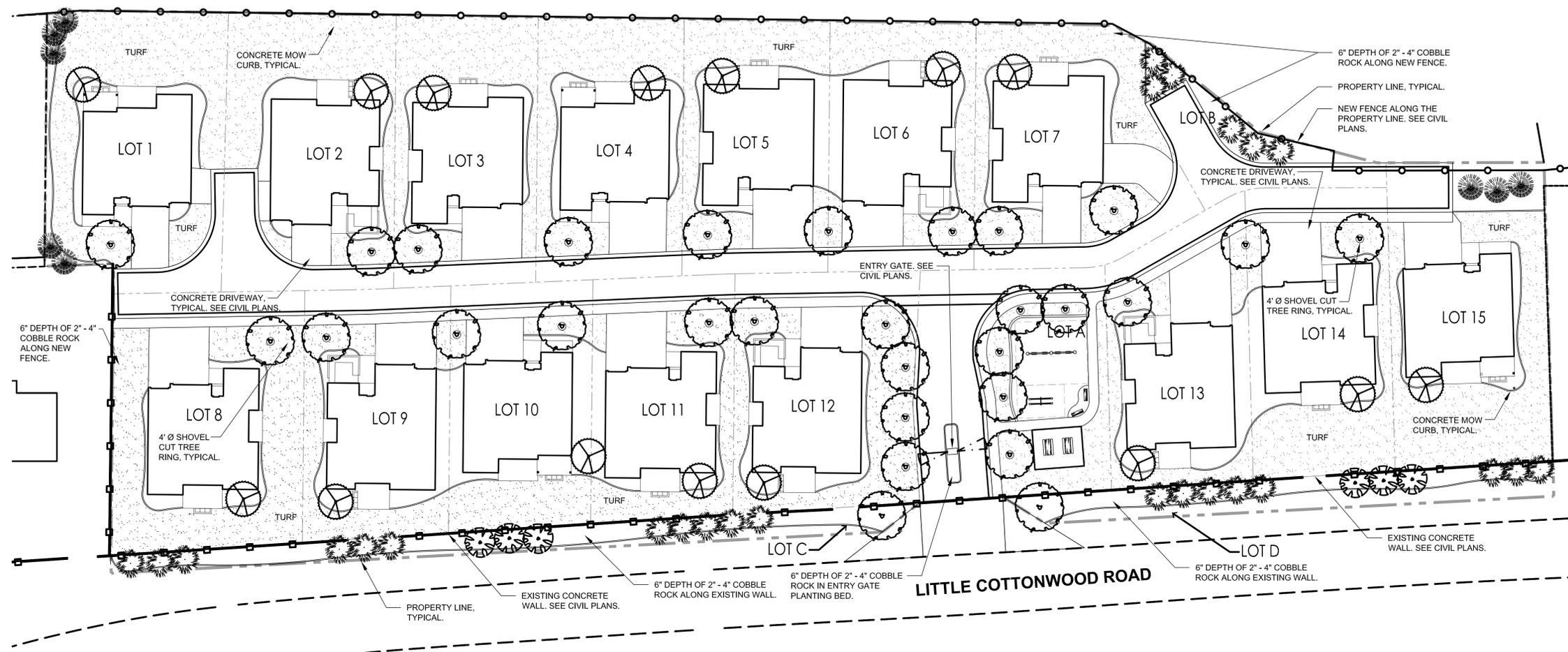
Imagery Date: 6/4/2013 40°34'23.60" N 111°47'35.51" W elev 5253 ft eye alt 6258 ft

TRESEDER AT LITTLE COTTONWOOD  
EXISTING CONDITIONS AND DEMOLITION PLAN  
SANDY, SALT LAKE COUNTY, UTAH

**TWIN PEAKS**  
Engineering & Land Surveying  
2264 NORTH 1450 EAST LEHI, UTAH 84043  
(801) 450-3511, (801) 459-0700 FAX

DWG DATE: MARCH 2014  
PLOT DATE: 01 April 2014

SHEET  
1A  
OF 4



**LANDSCAPE NOTES**

- ALL EXISTING TREES ARE TO BE REMOVED FROM SITE. SEE DEMOLITION PLAN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED PER PLANS. SEE IRRIGATION PLANS FOR EXACT LAYOUT.
- NEW TURF AREAS TO BE SODDED WITH 100% KENTUCKY BLUEGRASS. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
- SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" AMENDED TOPSOIL ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND COBBLE ROCK OR BARK MULCH TO REACH FINISHED GRADE.
- 4"x6" CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL TURF AND PLANTER AREAS PER PLAN.
- DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS.
- SHREDDED BARK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB AND PERENNIAL PLANTER AREAS. PULL BARK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
- TREES LOCATED IN LAWN AREAS SHALL HAVE A 4" Ø TREE WELL AROUND BASE OF TREE WITH 3" DEPTH OF SHREDDED BARK MULCH.
- ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. LOOSEN AFTER FIRST GROWING SEASON AND REMOVE STAKING AFTER SECOND GROWING SEASON.
- ALL PLANTERS AROUND EACH BUILDING WILL HAVE A 3" DEPTH OF SHREDDED BARK MULCH, DARK BROWN IN COLOR.

**LANDSCAPE AREA:**

TOTAL SITE AREA =	180,970 S.F. (4.15 ACRES)
IMPERVIOUS SURFACE AREA =	62,684 S.F. (1.43 ACRES)
BUILDING AREA =	44,470 S.F. (1.02 ACRES) (24.5 %)
TOTAL LANDSCAPE AREA =	73,816 S.F. (1.70 ACRES)
41% LANDSCAPED AREA	

**LANDSCAPE INTENT:**

THE DESIGN INTENT OF THE TRESEDER AT LITTLE COTTONWOOD DEVELOPMENT IS TO CREATE A COMMUNITY THAT HAS THE FEEL OF A CLOSE KNIT NEIGHBORHOOD. THE LANDSCAPE ELEMENTS WERE CHOSEN TO REFLECT A TRADITIONAL COMMUNITY WITH GREEN GRASS, TREE LINED STREETS, AND SPECIMEN VARIETIES OF ORNAMENTAL TREES WHILE MAINTAINING A WATER CONSERVING PLANTING SCHEME.

**DECIDUOUS TREE LEGEND**

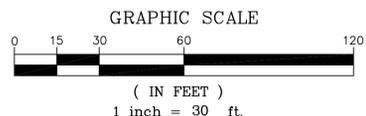
SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY (% OF TOTAL)	SIZE
	ACER PLATANOIDES 'CRIMSON KING' CRIMSON KING NORWAY MAPLE	29 (33%)	2" CALIPER
	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY REDBUD	6 (8%)	1.5" CALIPER
	PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT FLOWERING PEAR	15 (19%)	2" CALIPER

**EVERGREEN TREE LEGEND**

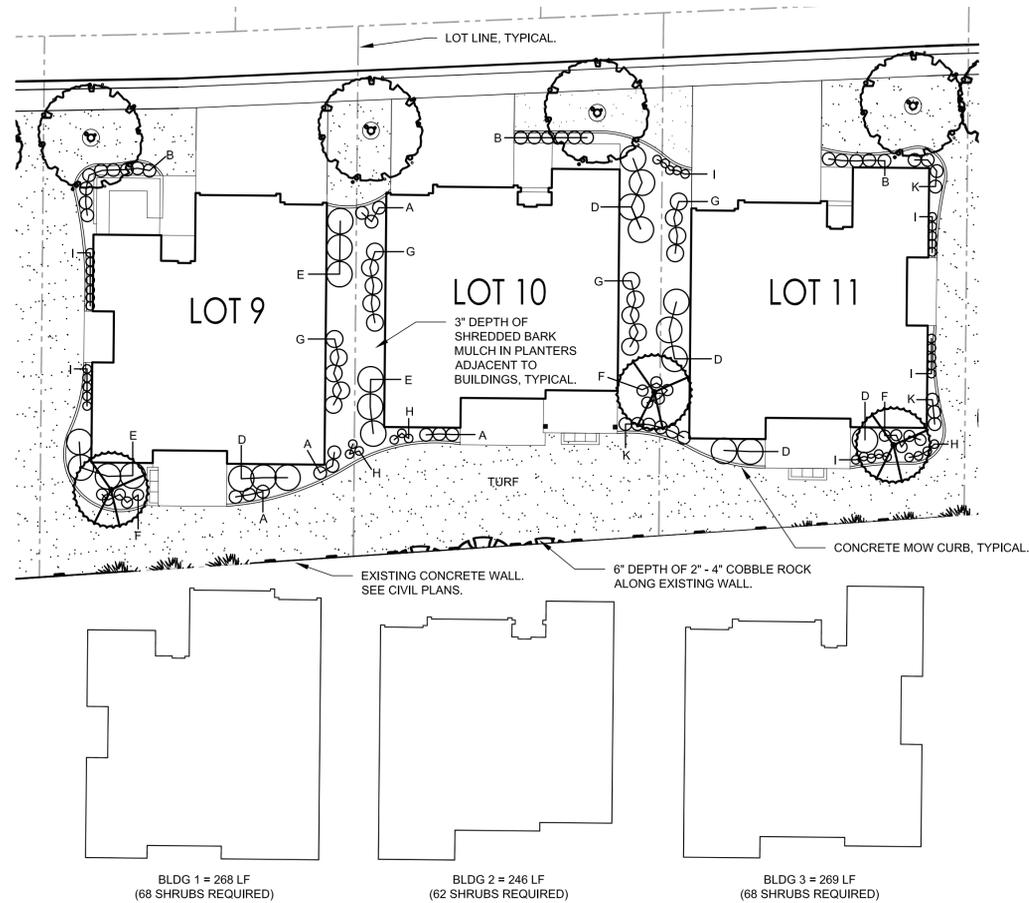
SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY (% OF TOTAL)	SIZE
	PINUS FLEXILIS 'VANDERWOLFE' VANDERWOLFE LIMBER PINE	25 (30%)	6' TALL
	ABIES LASIOCARPA CORKBARK FIR	8 (10%)	6' TALL
	PINUS SYLVESTRIS GLAUCA 'WELLS ROYAL SCOT' WELLS ROYAL SCOTCH PINE		

**GROUND TREATMENTS LEGEND**

SYMBOL	DISCRIPTION	QUANTITY	APPLICATION
	TURF (100% TALL FESCUE)	58,297 S.F.	SOD
	6" DEPTH OF 2"-4" CALICO COBBLE AVAILABLE THRU STAKER PARSONS	168 C.Y.	
	3" DEPTH OF SHREDDED BARK MULCH, DARK BROWN IN COLOR.	114 C.Y.	



**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**



**LANDSCAPE NOTES**

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
3. NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED PER PLANS. SEE IRRIGATION PLANS FOR EXACT LAYOUT.
4. NEW TURF AREAS TO BE SODDED WITH 100% TALL FESCUE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
5. SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" AMENDED TOPSOIL ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND COBBLE ROCK OR BARK MULCH TO REACH FINISHED GRADE.
6. 4"x6" CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL TURF AND PLANTER AREAS PER PLAN.
7. DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS.
8. SHREDDED BARK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB AND PERENNIAL PLANTER AREAS. PULL BARK MULCH MIN. 3' AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6' AWAY FROM ALL TREES.
9. TREES LOCATED IN LAWN AREAS SHALL HAVE A 4' Ø TREE WELL AROUND BASE OF TREE WITH 3" DEPTH OF SHREDDED BARK MULCH.
10. ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. LOOSEN AFTER FIRST GROWING SEASON AND REMOVE STAKING AFTER SECOND GROWING SEASON.

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

**DECIDUOUS TREE LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	ACER PLATANOIDES 'CRIMSON KING' CRIMSON KING NORWAY MAPLE	9	2" CALIPER
	PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT FLOWERING PEAR	3	2" CALIPER

**EVERGREEN TREE LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	PINUS FLEXILIS 'VANDERWOLFE' VANDERWOLFE LIMBER PINE	6	6' TALL

**DECIDUOUS SHRUB LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	BERBERIS T. I. 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	12	5 GALLON
	CARYOPTERIS CLANDONENSIS 'DARK KNIGHT' DARK KNIGHT BLUE MIST SPIREA	25	5 GALLON
	FORSYTHIA 'LYNWOOD GOLD' LYNWOOD GOLD FORSYTHIA	6	5 GALLON
	LONICERA TATARICA 'ARNOLDS RED' ARNOLDS RED TATARIAN HONEYSUCKLE	13	5 GALLON
	SYRINGA PATULA 'MISS KIM' MISS KIM LILAC	10	5 GALLON

**EVERGREEN SHRUB LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	MAHONIA AQUIFOLIUM OREGON GRAPE	48	5 GALLON
	PINUS MUGO 'PUMILIO' SHRUBBY SWISS MOUNTAIN MUGO PINE	19	5 GALLON

**PERENNIAL & ORNAMENTAL GRASSES LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	COREOPSIS GRANDIFLORA 'POT OF GOLD' POT OF GOLD COREOPSIS	10	1 GALLON
	ECHINACEA PURPUREA PURPLE CONEFLOWER	32	1 GALLON
	MISCANTHUS SINENSIS 'GRACILLIMUS' MAIDENHAIR GRASS	3	1 GALLON
	PENNISETUM ORIENTALLIS 'KARLEY ROSE' KARLEY ROSE FOUNTAIN GRASS	13	1 GALLON

**GROUND TREATMENTS LEGEND**

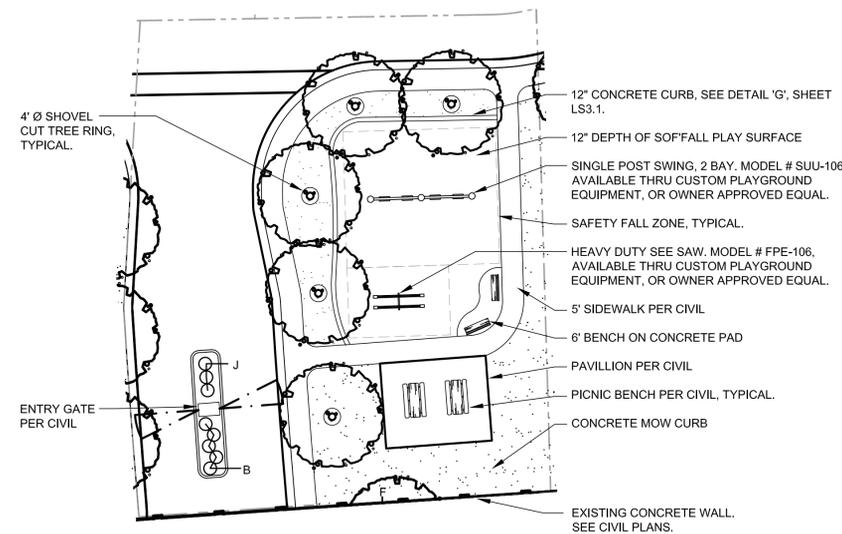
SYMBOL	DISCRIPTION	APPLICATION
	TURF (100% TALL FESCUE)	SOD
	6" DEPTH OF 2"-4" CALICO COBBLE AVAILABLE THRU STAKER PARSONS	
	3" DEPTH OF SHREDDED BARK MULCH, DARK BROWN IN COLOR	

**NOTES:**

1. BUILDINGS SHOWN AS TYPICALS AS BUILDINGS WILL BE CHOSEN BY THE FUTURE BUYERS.
2. CONTRACTOR IS RESPONSIBLE FOR ADHERING TO SALT LAKE COUNTY LANDSCAPE STANDARDS AS SHOWN AND THESE DOCUMENTS.
3. CONTRACTOR WILL ADJUST PLANTINGS AS NECESSARY.

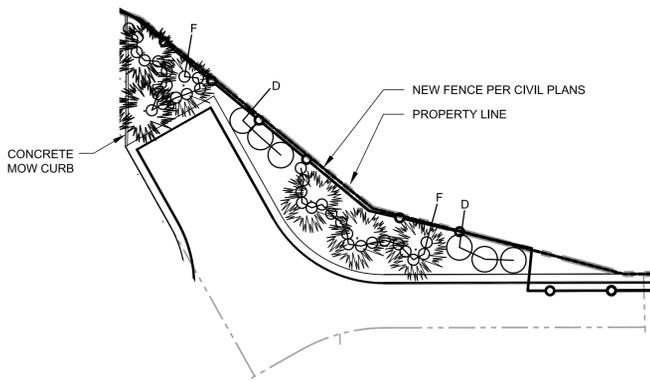
**A TYPICAL BUILDING PLANTING PLANS**

SCALE: 1" = 20'-0"



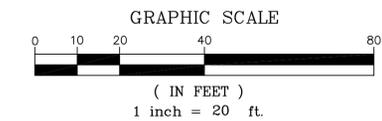
**B LOT A PLANTING**

SCALE: 1" = 20'-0"



**C LOT B PLANTING**

SCALE: 1" = 20'-0"

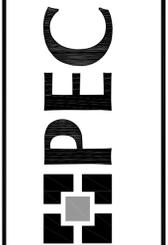


No.	Revisions	By	Date

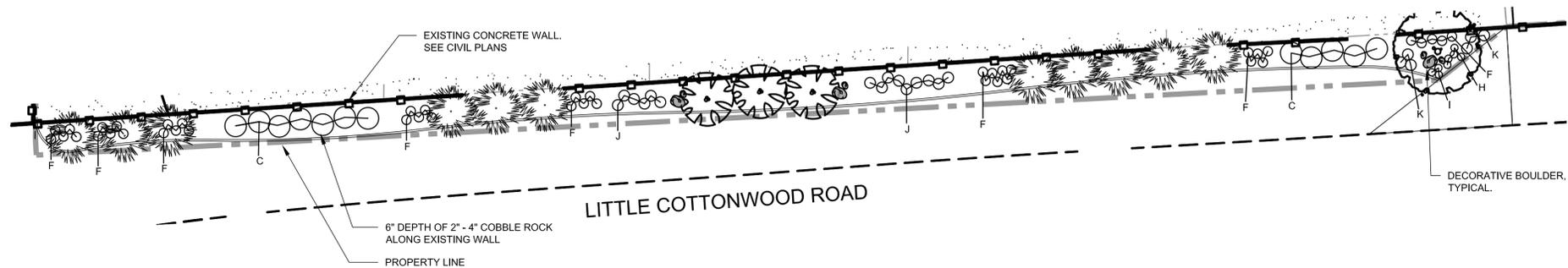
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LDA	04.04.2014
Plot Date	04.04.2014
Drawn By	JWN
Designed By	JWN
Checked By	JWN
Date Issued	04.04.2014
Scale	1" = 20'



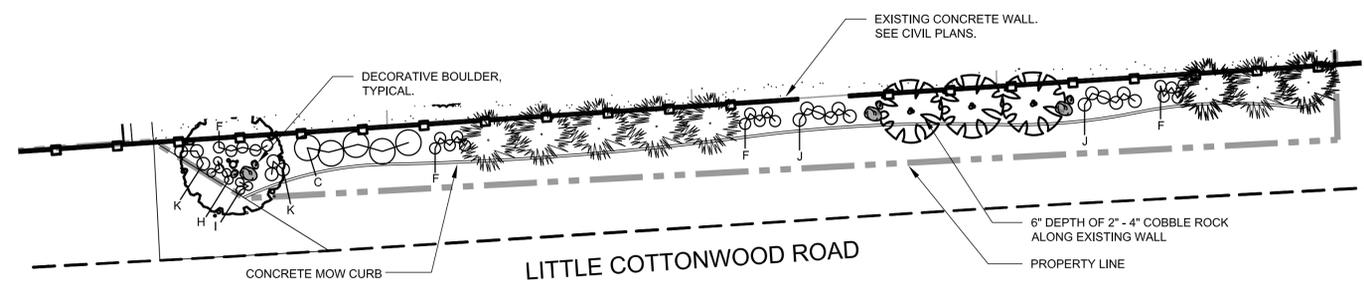
PROJECT ENGINEERING CONSULTANTS  
886 West 9000 South  
West Jordan, Utah 84088  
Tel. 801-495-4240 • Fax 801-495-4244  
jnelson@pec.us.com



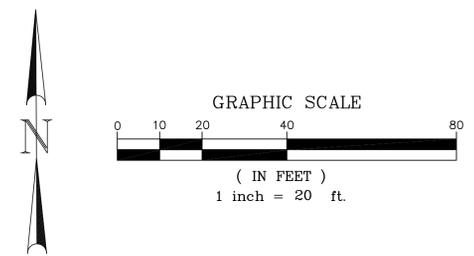
TRESEDER AT LITTLE COTTONWOOD  
SANDY, SALT LAKE COUNTY, UTAH  
PLANTING PLAN



**D LOT C PLANTING**  
SCALE: 1" = 20'-0"



**E LOT D PLANTING**  
SCALE: 1" = 20'-0"



**DECIDUOUS TREE LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	ACER PLATANOIDES 'CRIMSON KING' CRIMSON KING NORWAY MAPLE	2	2" CALIPER
	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY REDBUD	6	1.5" CALIPER

**EVERGREEN TREE LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	PINUS FLEXILIS 'VANDERWOLFE' VANDERWOLFE LIMBER PINE	19	6" TALL

**DECIDUOUS SHRUB LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	FORSYTHIA 'LYNWOOD GOLD' LYNWOOD GOLD FORSYTHIA	17	5 GALLON

**EVERGREEN SHRUB LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	MAHONIA AQUIFOLIUM OREGON GRAPE	62	5 GALLON

**PERENNIAL & ORNAMENTAL GRASSES LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	COREOPSIS GRANDIFLORA 'POT OF GOLD' POT OF GOLD COREOPSIS	10	1 GALLON
	ECHINACEA PURPUREA PURPLE CONEFLOWER	6	1 GALLON
	MISCANTHUS SINENSIS 'GRACILLIMUS' MAIDENHAIR GRASS	27	1 GALLON
	PENNISETUM ORIENTALLIS 'KARLEY ROSE' KARLEY ROSE FOUNTAIN GRASS	12	1 GALLON

**GROUND TREATMENTS LEGEND**

SYMBOL	DISCRPTION
	6" DEPTH OF 2"-4" CALICO COBBLE AVAILABLE THRU STAKER PARSONS
	DECORATIVE LANDSCAPE BOULDERS COLOR MUST MATCH OR COORDINATE WITH COBBLE ROCK

**LANDSCAPE NOTES**

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED PER PLANS. SEE IRRIGATION PLANS FOR EXACT LAYOUT.
- NEW TURF AREAS TO BE SODDED WITH 100% TALL FESCUE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
- SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" AMENDED TOPSOIL ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND COBBLE ROCK OR BARK MULCH TO REACH FINISHED GRADE.
- 4"x6" CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL TURF AND PLANTER AREAS PER PLAN.
- DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS.
- SHREDDED BARK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB AND PERENNIAL PLANTER AREAS. PULL BARK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
- TREES LOCATED IN LAWN AREAS SHALL HAVE A 4" Ø TREE WELL AROUND BASE OF TREE WITH 3" DEPTH OF SHREDDED BARK MULCH.
- ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. LOOSEN AFTER FIRST GROWING SEASON AND REMOVE STAKING AFTER SECOND GROWING SEASON.



**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**



Project Number	PM	LDA	Plot Date	Drawn By	Checked By	Date Issued
UT_14-041			04.04.2014	JWN	JWN	04.04.2014



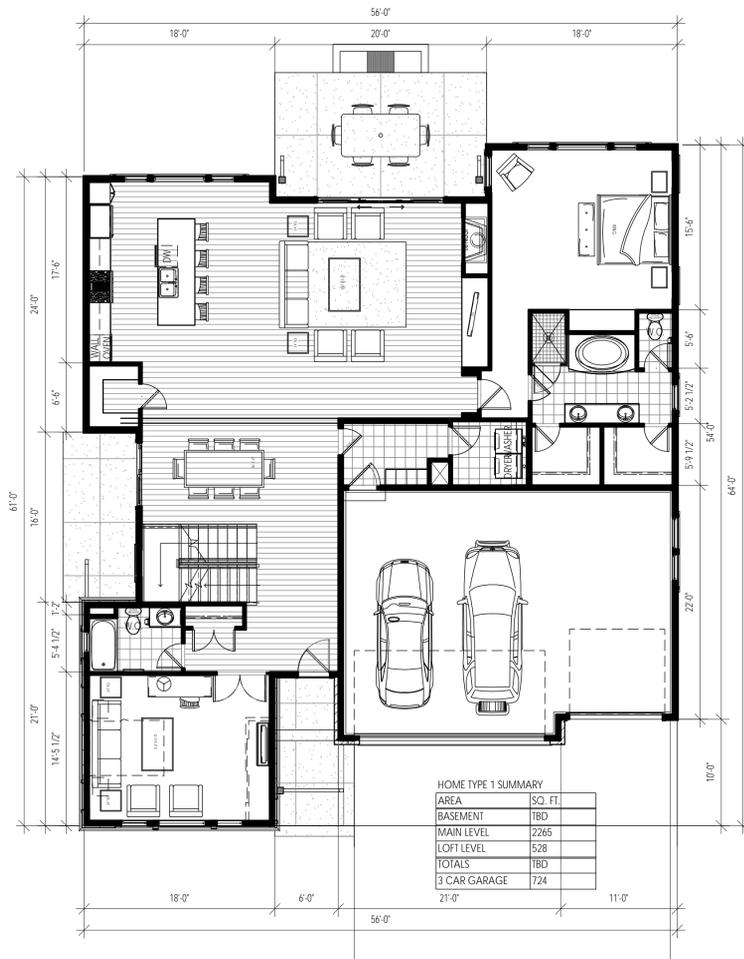
**PROJECT ENGINEERING CONSULTANTS**  
886 West 9000 South  
West Jordan, Utah 84088  
Tel: 801-495-4240 • Fax: 801-495-4244  
jnelson@pec.us.com



**TRESEDER AT LITTLE COTTONWOOD  
SANDY, SALT LAKE COUNTY, UTAH  
PLANTING PLAN**

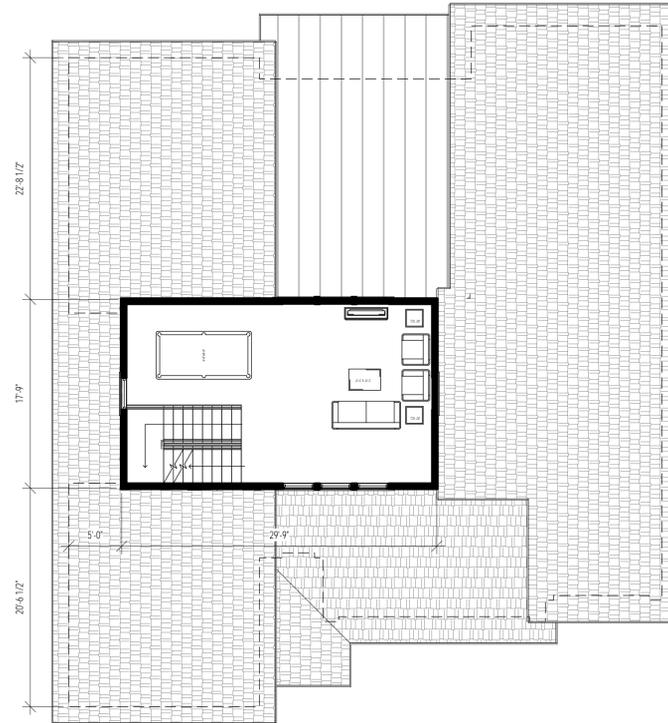
Sheet Number  
**LS1.3**





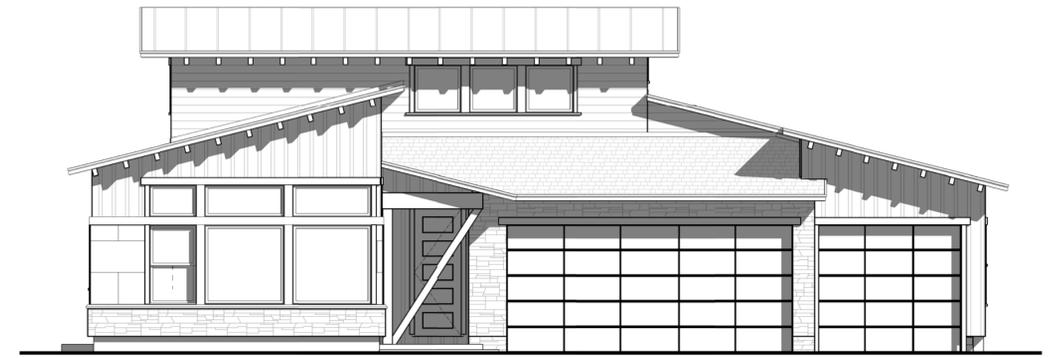
LEVEL 1 - SCHEMATIC FLOOR PLAN  
1/8" = 1'-0"

1  
D201



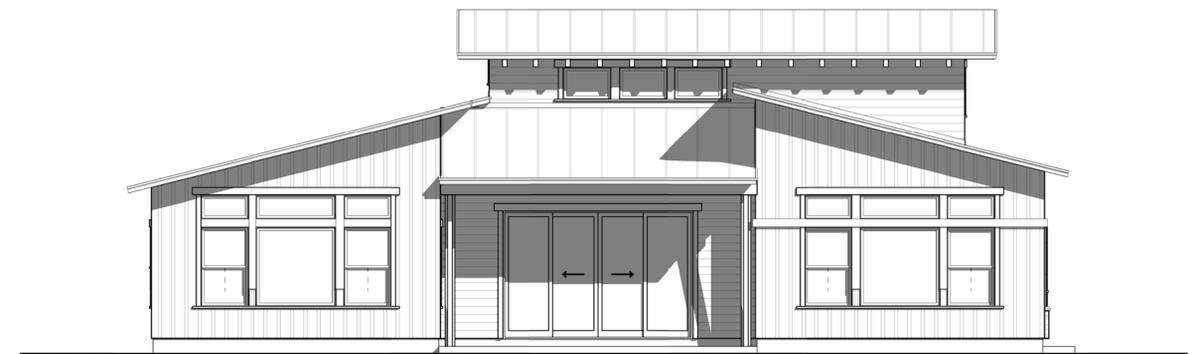
LEVEL 2 - SCHEMATIC FLOOR PLAN  
1/8" = 1'-0"

2  
D201



SCHEMATIC FRONT ELEVATION  
3/16" = 1'-0"

3  
D201



SCHEMATIC REAR ELEVATION  
3/16" = 1'-0"

4  
D201



SCHEMATIC LEFT ELEVATION  
3/16" = 1'-0"

5  
D201

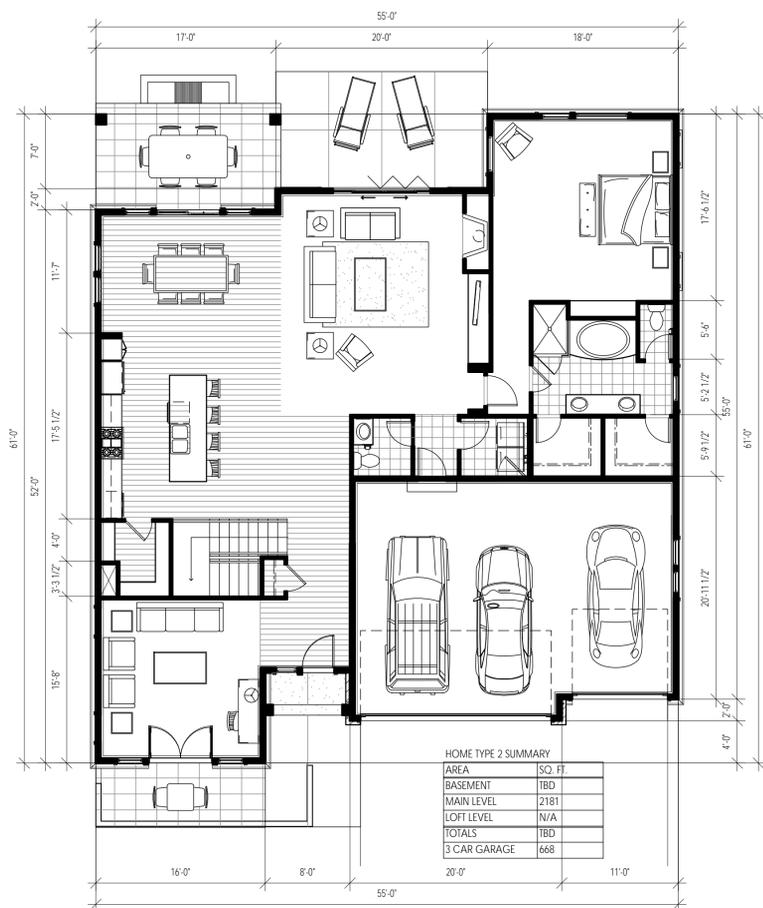


SCHEMATIC RIGHT ELEVATION  
3/16" = 1'-0"

6  
D201

# TRESEDER AT LITTLE COTTONWOOD - RESIDENCE 1

LITTLE COTTONWOOD CANYON ROAD, SANDY UT



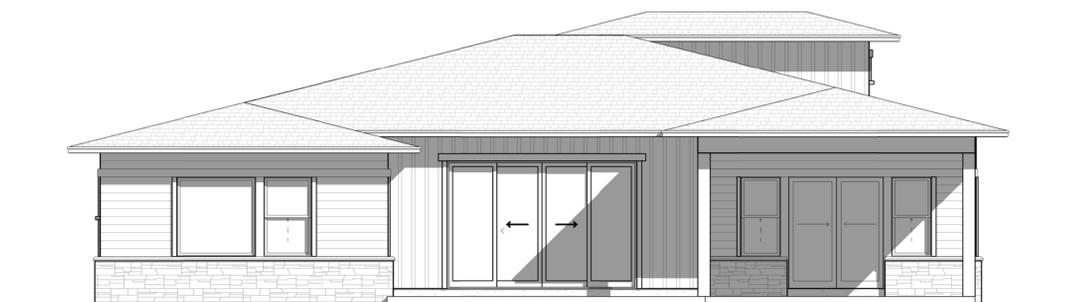
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1/8" = 1'-0"

1  
D201



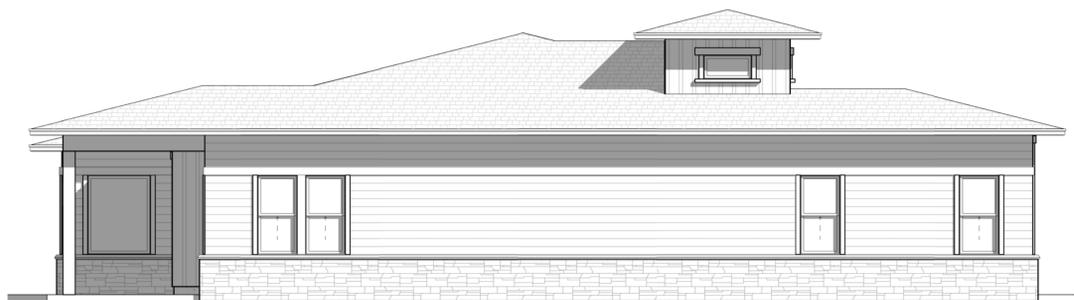
SCHEMATIC FRONT ELEVATION  
3/16" = 1'-0"

2  
D201



SCHEMATIC REAR ELEVATION  
3/16" = 1'-0"

3  
D201



SCHEMATIC LEFT ELEVATION  
3/16" = 1'-0"

4  
D201

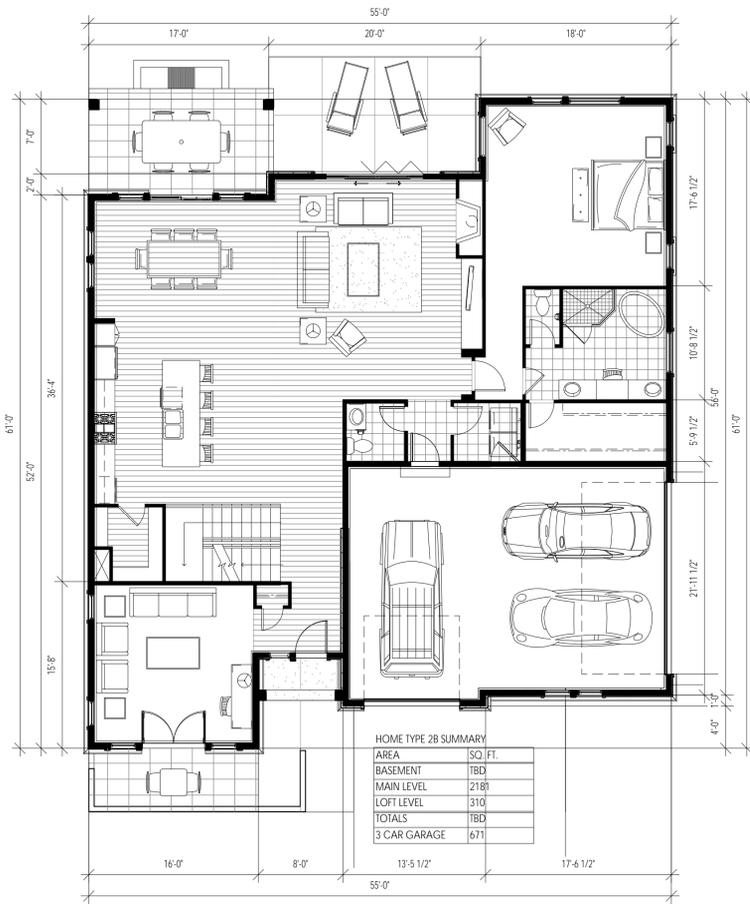


SCHEMATIC RIGHT ELEVATION  
3/16" = 1'-0"

5  
D201

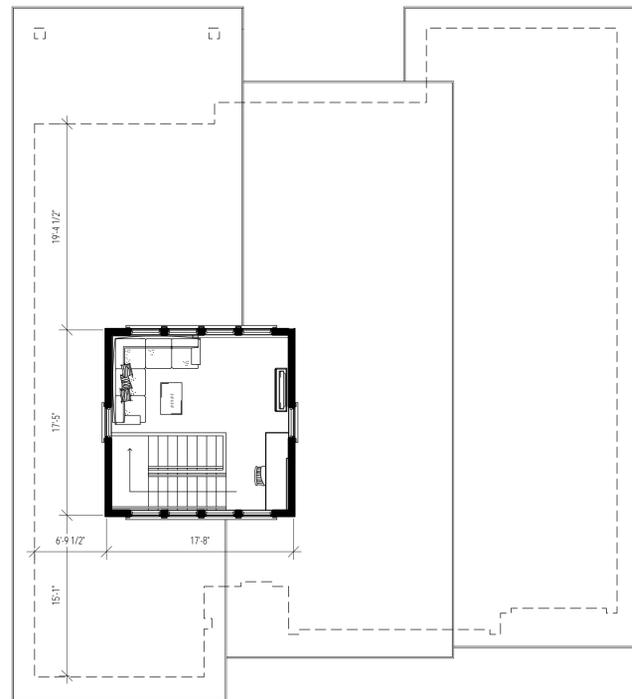
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LITTLE COTTONWOOD CANYON ROAD, SANDY UT



LEVEL 1 - SCHEMATIC FLOOR PLAN  
1/8" = 1'-0"

1  
D201



LEVEL 2 - SCHEMATIC FLOOR PLAN  
1/8" = 1'-0"

2  
D201



SCHEMATIC FRONT ELEVATION  
3/16" = 1'-0"

3  
D201



SCHEMATIC REAR ELEVATION  
3/16" = 1'-0"

4  
D201



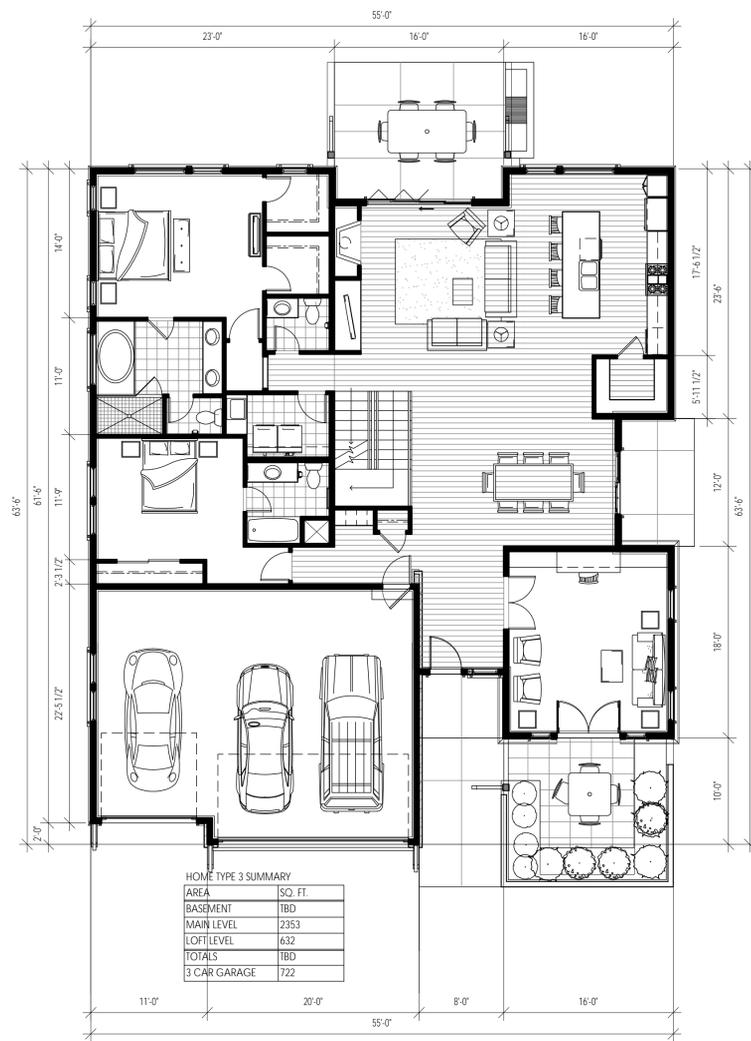
SCHEMATIC LEFT ELEVATION  
3/16" = 1'-0"

5  
D201



SCHEMATIC RIGHT ELEVATION  
3/16" = 1'-0"

6  
D201



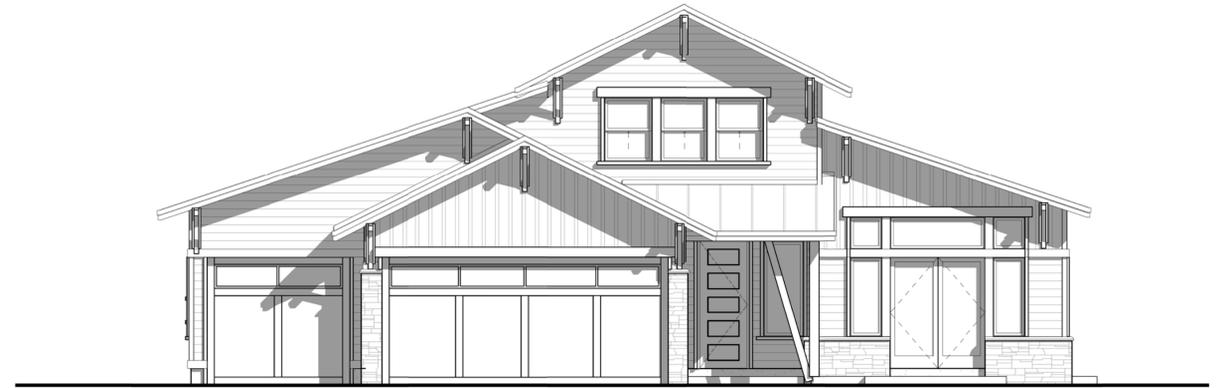
LEVEL 1 - SCHEMATIC FLOOR PLAN  
1/8" = 1'-0"

1  
D201



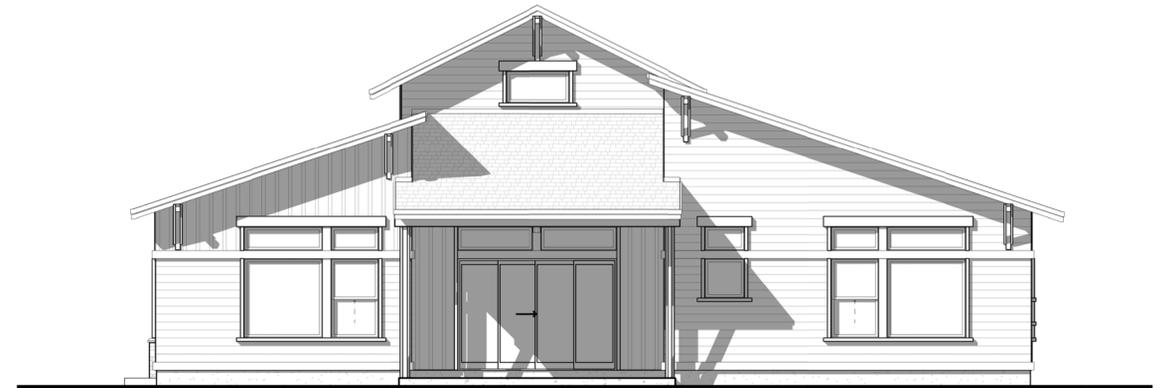
LEVEL 2 - SCHEMATIC FLOOR PLAN  
1/8" = 1'-0"

2  
D201



SCHEMATIC FRONT ELEVATION  
3/16" = 1'-0"

3  
D201



SCHEMATIC REAR ELEVATION  
3/16" = 1'-0"

4  
D201



SCHEMATIC LEFT ELEVATION  
3/16" = 1'-0"

5  
D201



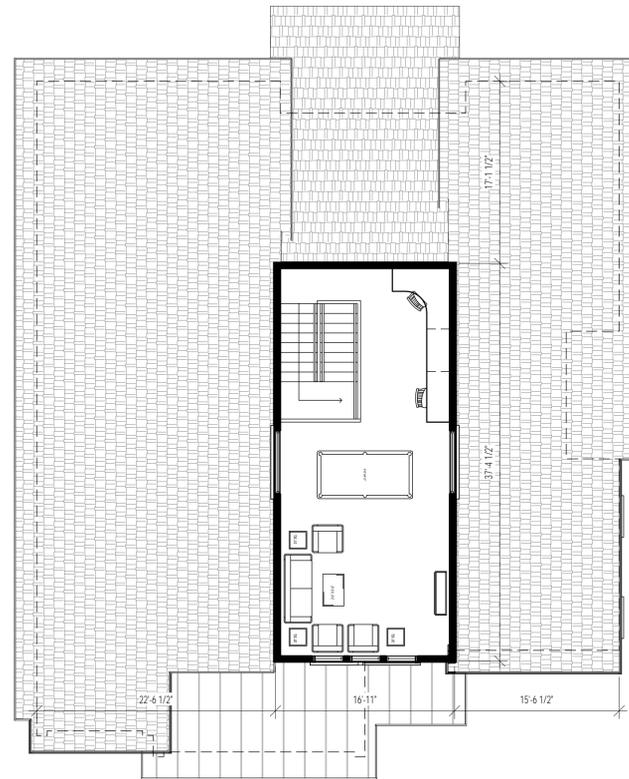
SCHEMATIC RIGHT ELEVATION  
3/16" = 1'-0"

6  
D201



LEVEL 1 - SCHEMATIC FLOOR PLAN  
1/8" = 1'-0"

1  
D201



LEVEL 2 - SCHEMATIC FLOOR PLAN  
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2  
D201



SCHEMATIC FRONT ELEVATION  
3/16" = 1'-0"

3  
D201



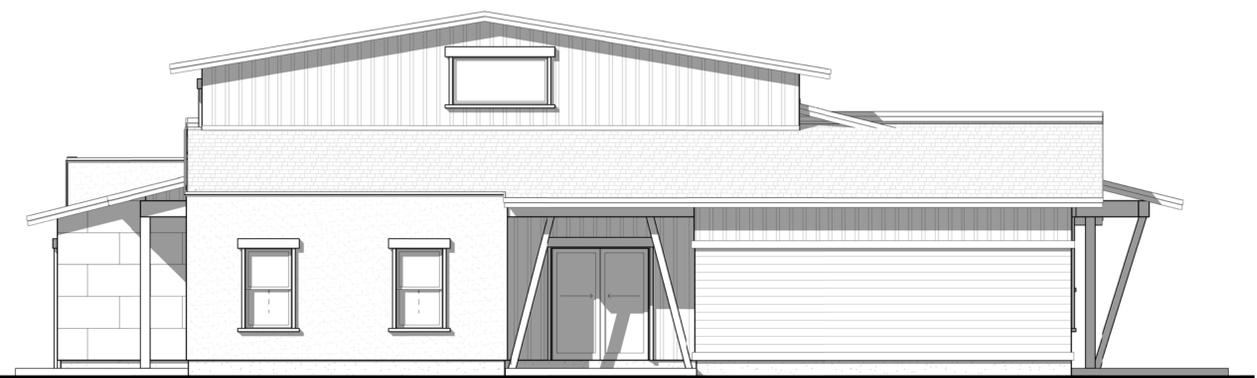
SCHEMATIC REAR ELEVATION  
3/16" = 1'-0"

4  
D201



SCHEMATIC LEFT ELEVATION  
3/16" = 1'-0"

5  
D201



SCHEMATIC RIGHT ELEVATION  
3/16" = 1'-0"

6  
D201



DEL  
01-002

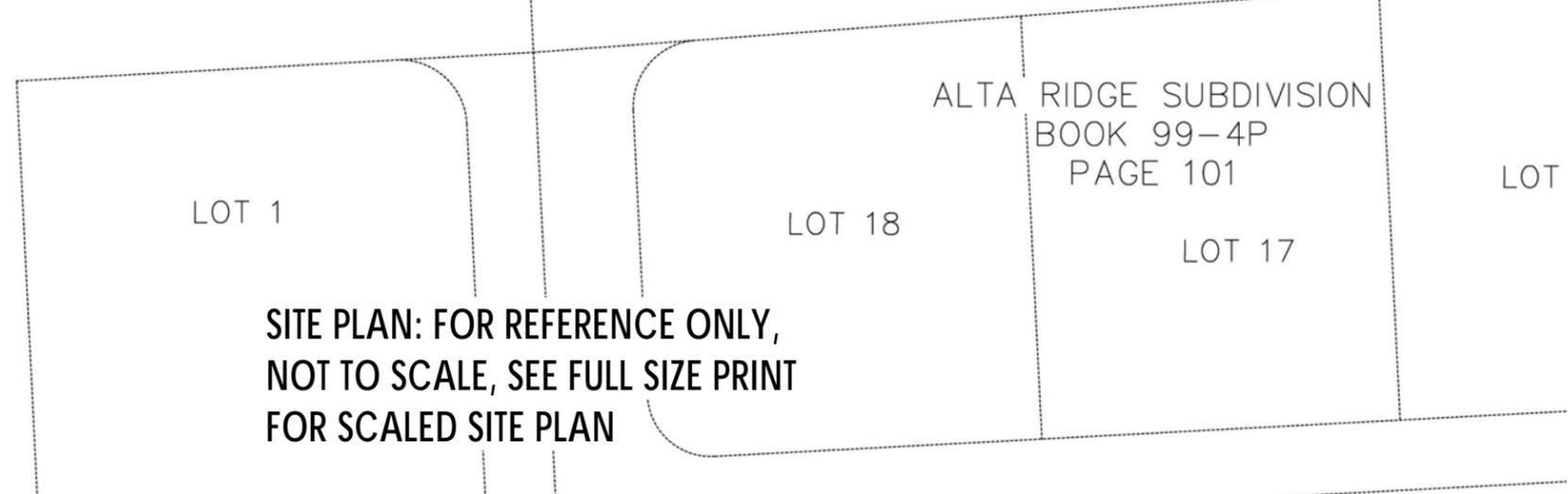
**SITE PLAN**

SCALE: 1" = 30'-0"



- NOTES:
- 1 - EXISTING CONCRETE FENCE. SEE DETAIL DRAWING FOR FENCE UPGRADE TREATMENT
  - 2 - EXISTING CONCRETE FENCE. SEE DETAIL DRAWING FOR FENCE UPGRADE TREATMENT
  - 3 - SEE CIVIL ENGINEERING DRAWINGS FOR FINAL SITE GRADING & DRAINAGE
  - 4 - SEE CIVIL ENGINEERING DRAWINGS FOR ALL SITE UTILITY WORK
  - 5 - SEE CIVIL ENGINEERING DRAWINGS FOR PROPERTY PLAT, LOT DESCRIPTIONS AND ADDRESSES
  - 6 - SEE CIVIL ENGINEERING DRAWINGS FOR ALL PROPERTY INFRASTRUCTURE IMPROVEMENTS

**SITE PLAN: FOR REFERENCE ONLY,  
NOT TO SCALE, SEE FULL SIZE PRINT  
FOR SCALED SITE PLAN**



# TRESEDER AT LITTLE COTTONWOOD

LITTLE COTTONWOOD CANYON ROAD, SANDY UT



4 April, 2014



RESIDENCE TYPE 1



RESIDENCE TYPE 2



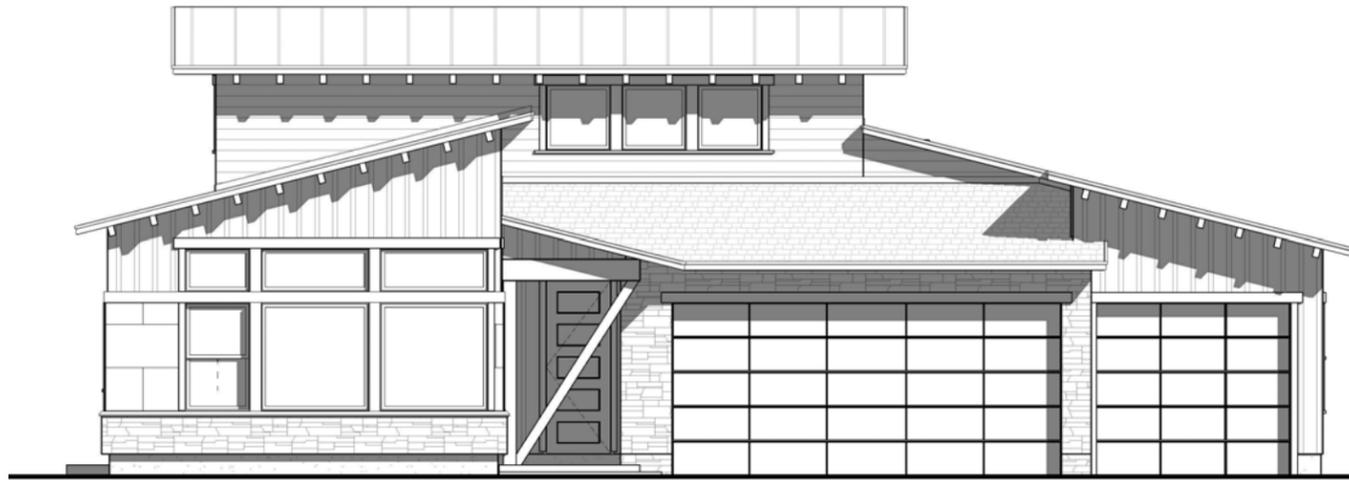
RESIDENCE TYPE 2B



RESIDENCE TYPE 3

COLORS ARE REPRESENTATIONAL ONLY. FINAL COLORS MAY VARY FROM ABOVE REPRESENTATION

HOME TYPE SUMMARY PERSPECTIVE VIEWS



RESIDENCE TYPE 1



RESIDENCE TYPE 2



RESIDENCE TYPE 2B



RESIDENCE TYPE 3

HOME TYPE SUMMARY ELEVATION VIEWS



COLORS ARE REPRESENTATIONAL ONLY. FINAL COLORS MAY VARY FROM ABOVE REPRESENTATION

## TRESEDER AT LITTLE COTTONWOOD - RESIDENCE 1

LITTLE COTTONWOOD CANYON ROAD, SANDY UT



COLORS ARE REPRESENTATIONAL ONLY. FINAL COLORS MAY VARY FROM ABOVE REPRESENTATION

## TRESEDER AT LITTLE COTTONWOOD - RESIDENCE 2B

LITTLE COTTONWOOD CANYON ROAD, SANDY UT



COLORS ARE REPRESENTATIONAL ONLY. FINAL COLORS MAY VARY FROM ABOVE REPRESENTATION

## TRESEDER AT LITTLE COTTONWOOD - RESIDENCE 2B

LITTLE COTTONWOOD CANYON ROAD, SANDY UT



COLORS ARE REPRESENTATIONAL ONLY. FINAL COLORS MAY VARY FROM ABOVE REPRESENTATION

## TRESEDER AT LITTLE COTTONWOOD - RESIDENCE 2

LITTLE COTTONWOOD CANYON ROAD, SANDY UT



COLORS ARE REPRESENTATIONAL ONLY. FINAL COLORS MAY VARY FROM ABOVE REPRESENTATION

## TRESEDER AT LITTLE COTTONWOOD - RESIDENCE 3

LITTLE COTTONWOOD CANYON ROAD, SANDY UT









**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Salt Lake County Planning Commission								
<b>Meeting Date and Time:</b>	Wednesday, May 14, 2014	08:30 AM	<b>File No:</b>	2	8	8	9	1	
<b>Applicant Name:</b>	Kyle Christensen	<b>Request:</b>	Conditional Use						
<b>Description:</b>	4-lot Janke Estates Planned Unit Development (PUD)								
<b>Location:</b>	10308 South Dimple Dell Road								
<b>Zone:</b>	R-1-21 Residential Single-Family	<b>Any Zoning Conditions?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
<b>Community Council Rec:</b>	Not yet received								
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Todd A. Draper								

**1.0 BACKGROUND**

**1.1 Summary**

The applicant is proposing to redevelop the existing property into a 4 lot PUD subdivision to be know as Janke Estates. As a PUD is listed as a conditional use within the R-1-21 zone (Residential, 1/2 acre min. lot size) review of both of the conditional use elements and mitigation measures of the PUD as well as the Preliminary Subdivision Plat is required.

**1.3 Neighborhood Response**

Neighborhood response regarding this specific proposal has not been received. A recent request to rezone the property (file #28715) from R-1-21 to R-1-10 was not supported by neighboring residents and the rezone request was ultimately denied by the County Council. During those proceedings many residents and community members indicated their support for development of the property under the existing R-1-21 zoning.

**1.4 Community Council Response**

This application is scheduled to be presented to the Granite Community Council at their May 7, 2014 meeting. Any comments, issues, or recommendations from that meeting will be provided directly to the Planning Commission at the May 14, 2014 meeting.

## 2.0 ANALYSIS

### 2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		Discussion: The proposed PUD plan complies with parking requirements, and building heights. The proposed building setbacks around the perimeter exceed the minimum 15 foot requirement. Distances from the private road to the front of the garage will also exceed the typical minimum standard of 20 feet. Distances from the private right of way to the homes appears to be 25 feet or greater, with the exception of lot 2 where one corner of the home (not the garage) might be as close as 15 feet to the private road based upon the layout provided.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Discussion: Conceptually the plans comply with all other applicable laws and ordinances. Identified deficiencies are mainly technical in nature and can be handled through the subsequent technical review process with staff. Final approval will not be granted until revised plans are submitted, reviewed, and verified to meet all applicable laws, ordinances, and requirements of the individual reviewers and reviewing agencies.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Discussion: The access drive is designed to connect to Dimple Dell Road at an existing intersection with 10365 South. Due to the small number of lots being proposed, the minimal increase in traffic associated with this development is not sufficient to warrant a traffic impact analysis, or impact the amounts called for under the County Transportation Master Plan.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Discussion: The preceding list of issues are reviewed and addressed during the subsequent technical review phase with staff. Many of the individual reviewers and reviewing agencies responsible for insuring compliance with the listed natural hazards have reviewed the initial plans and have not identified any major issues or concerns.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E'</u> : <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		Discussion: Existing homes along the periphery of the development are all two-story homes with basements. Existing neighborhood homes are constructed of wood framing with exterior finishes of stucco, siding, rock, and brick. The proposed homes are very compatible with other nearby homes in the neighborhood in terms of size, scale, and height. The new homes will also be in compliance with residential standards contained within the Granite Community Master Plan.

## 2.2 Zoning Requirements

### 19.14.040 Lot areas and widths

R-1-21

Minimum lot area = 21,780 square feet

Minimum lot width = 100 feet at a distance of 30 feet from the front lot line.

### 19.14.050 Yards

R-1-21

Front Yard = 30 feet

Interior Side Yard = 10 feet

Side Yard facing a street = 20 feet

Rear Yard without Garage = 30 feet

Rear Yard with a Garage = 15 feet

### 19.14.060 Building height.

Except as otherwise specifically provided in this title no building or structure shall exceed the following height (see Section 19.04.095 (A) for definition of "height"):

#### A. Main Buildings.

1. Thirty feet on property where the slope of the original ground surface exceeds fifteen percent or the property is located in the hillside protection zone. The slope shall be determined using a line drawn from the highest point of elevation to the lowest point of elevation on the perimeter of a box which encircles the foundation line of the building or structure. Said box shall extend for a distance of fifteen feet or to the property line, whichever is less, around the foundation line of the building or structure. The elevation shall be determined using a certified topographic survey with a maximum contour interval of two feet.
2. Thirty-five feet on properties other than those listed in number one of this subsection.
3. No dwelling shall contain less than one story.

#### B. Accessory Buildings.

1. No building which is accessory to a single-family dwelling shall exceed twenty feet in height. For each foot of height over fourteen feet, accessory buildings shall be set back from property lines an additional foot to allow a maximum height of twenty feet.

#### **19.14.055 Density.**

The allowable density for planned unit developments shall be determined by the planning commission on a case by case basis, taking into account the following factors: recommendations of county and non-county agencies; site constraints; compatibility with nearby land uses; and the provisions of the applicable general plan. Notwithstanding the above, the planning commission shall not approve a planned unit development with density higher than the following:

R-1-21 = 2.0 units per (gross) acre.

#### **19.78.020 Purpose.**

The purpose of the planned unit development is to allow diversification in the relationship of various uses and structures to their sites and to permit more flexibility in the use of such sites. The application of planned unit concepts is intended to encourage good neighborhood, housing, or area design, thus ensuring substantial compliance with the intent of the district regulations and other provisions of this title related to the public health, safety and general welfare and at the same time securing the advantages of large-scale site planning for residential, commercial or industrial development, or combinations thereof.

#### **19.78.030 Planned unit development defined.**

"Planned unit development" for the purpose of this chapter, means an integrated design for development of residential, commercial or industrial uses, or combination of such uses, in which one or more of the regulations, other than use regulations, of the district in which the development is to be situated, is waived or varied to allow flexibility and initiative in site and building design and location in accordance with an approved plan and imposed general requirements as specified in this chapter. A planned unit development may be:

- A. The development of compatible land uses arranged in such a way as to provide desirable living environments that may include private and common open spaces for recreation, circulation and/or aesthetic uses;
- B. The conservation or development of desirable amenities not otherwise possible by typical development standards;
- C. The creation of areas for multiple use that are of benefit to the neighborhood.
- D. The adaptive improvement of an existing development.

#### **19.78.040 Review and approval.**

A planned unit development may be approved by a planning commission in any zoning district. The approval of a PUD shall consist of a final approval letter and a final approved site plan. A PUD permit shall not be granted unless the PUD meets the use and density limitations of the zoning district in which it is to be located.

In order to assist the planning commission with the approval process, the director or director's designee shall administer an application and review procedure with the following components:

- A. A pre-submittal review, which may include:
  1. Submission of an information form, conceptual site plans, property plat map, other supplemental materials, and a pre-submittal fee as required under Title 3, Revenue and Finance.
  2. Referral of the plans to affected entities and other regulatory agencies.
  3. An informational meeting with planning staff, regulatory agencies, and the applicant in which preliminary information and feedback is given to the applicant based on the preliminary plans.

4. A preliminary meeting with the planning commission in which the application is discussed by the applicant, planning commission, and concerned neighbors in order to allow the applicant an opportunity to hear the planning commission members' and neighbors' areas of concern prior to submitting an application with finished site plans.

5. Upon completion of the foregoing pre-submitted review process and upon payment of all applicable fees, the application shall be deemed complete.

B. An application and review procedure, which shall include:

1. Submission of finished site plans and application fees;

2. The creation of a planning file by which the applicant, staff, and the public can refer to the proposed land use;

3. An on-site review by the director or director's designee as allowed in Utah Code Section 17-27a-303;

4. Review of the submitted site plans and elevations for compliance with the zoning ordinance;

5. Referral of the application and site plans to those government agencies and/or affected entities necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;

6. Recommendation from planning and development services to the planning commission.

C. An approval/denial procedure, which shall include:

1. A planning commission decision based on whether the proposed development complies with ordinance requirements and development standards of approval and whether anticipated impacts can be mitigated with appropriate conditions of approval.

2. The integration of the recommendations from the other government agencies and affected entities involved in subsection (B)(5) of this section and any planning commission conditions of approval into the final site plan;

3. An approval or denial letter indicating the approval or denial of the application with appropriate conditions or findings;

4. Provision of the approved site plan with approval letter or the denial letter to the applicant in a timely manner.

#### **19.78.060 Grading and drainage plans.**

A grading and drainage plan shall be submitted to the planning commission with the application.

#### **19.78.080 Development ownership.**

The development shall be in single, partnership or corporate ownership, or under option to purchase by an individual or a corporate entity at the time of application, or the application shall be filed jointly by all owners of the property.

#### **19.78.090 Effect on adjacent properties.**

The planning commission shall require such arrangement of structures and open spaces within the site development plan, as necessary, to assure that adjacent properties will not be adversely affected.

A. Height and intensity of buildings and uses shall be arranged, around the boundaries of the planned unit development, to be compatible with existing adjacent developments or zones. However, unless conditions of the site so warrant, buildings located on the periphery of the development shall be limited to a maximum height of two stories.

B. Lot area, lot width, yard and coverage regulations shall be determined by approval of the site plan.

C. Density of dwelling units per acre shall be the same as allowed in the zone in which the planned unit development is located.

**19.78.100 Preservation of open space.**

Preservation, maintenance and ownership of required open space within the development shall be accomplished by:

- A. Dedication of the land as a public park or parkway system;
- B. Granting to the county a permanent open space easement on or over the private open spaces to guarantee that the open space remain perpetually in recreational use with ownership and maintenance being the responsibility of the owner or an owner's association established with articles of association and bylaws which are satisfactory to the county; or
- C. Complying with the provisions of the Condominium Ownership Act of 1963, Title 57, Chapter 8, Utah Code Annotated (1953), as amended, which provided for the payment of common expenses for the upkeep of the common areas and facilities.

**19.78.110 Landscaping.**

Site landscaping shall be as specified in Chapter 19.77 of this title.

**19.78.130 Site plan requirements.**

The applicant shall submit a planned unit development plan for the total area within the proposed development. If the planned unit development is to be developed on a phase basis, each phase shall be of such size, composition and arrangement that its construction, marketing and operation is feasible as a unit independent of any subsequent phases. The general site plan shall show, where pertinent:

- A. The use or uses, dimensions, sketch elevations and locations of proposed structures;
- B. Dimensions and locations of areas to be reserved and developed for vehicular and pedestrian circulation, parking, public uses such as schools and playgrounds, landscaping, and other open spaces;
- C. Architectural drawings and sketches outlining the general design and character of the proposed uses and the physical relationships of the uses;
- D. Such other pertinent information including, but not limited to, residential density, coverage and open space characteristics shall be included as may be necessary to make a determination that the contemplated arrangement of buildings and uses makes it desirable to apply regulations and requirements differing from those ordinarily applicable under this chapter.

**19.78.150 Construction limitations.**

A. Upon approval of a planned unit development, construction shall proceed only in accordance with the plans and specifications approved by the planning commission and in conformity with any conditions attached by the commission to its approval.

B. Amendments to approved plans and specifications for a planned unit development shall be approved by the planning commission and shown on the approved plans.

C. The building inspector or any other county department shall not issue any permit for any proposed building, structure, activity or use within the project unless such building, structure, activity or use is in accordance with the approved development plan and any conditions imposed in conjunction with its approval.

D. The development services division director shall issue a certificate of occupancy for any building or structure upon its completion in accordance with the approved development plan.

### **19.78.160 Plan review at public meeting.**

Preliminary development plans, including site plan, (buildings, open space, parking, landscaping, pedestrian and traffic circulation) building elevations and general drainage and utility layout with topography shall be submitted for the purpose of staff analysis and planning commission review at a regularly scheduled meeting. Landscaping shall be as specified in Chapter 19.77 of this title.

### **19.78.170 Scope of planning commission action.**

In carrying out the intent of this chapter, the planning commission shall consider the following principles:

- A. It is the intent of this chapter that site and building plans for a planned unit development shall be prepared by a designer or team of designers having professional competence in urban planning as proposed in the application. The commission may require the applicant to engage such a qualified designer or design team.
- B. It is not the intent of this chapter that control of the design of a planned unit development by the planning commission be so rigidly exercised that individual initiative be stifled and substantial additional expense incurred; rather, it is the intent of this section that the control exercised be the minimum necessary to achieve the purpose of this chapter.
- C. The planning commission may approve or disapprove an application for a planned unit development. In approving an application the commission may attach such conditions as it may deem necessary to secure compliance with the purposes set forth in Sections 19.84.050 through 19.84.090 of this title. The action of the planning commission may be appealed to the land use hearing officer.

## **2.3 Other Agency Recommendations or Requirements**

### **Boundary and Subdivision Engineering Review**

1. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development.
2. Final plat must be on regular County Titleblock.
3. All required improvements must be bonded for before plat can be recorded.
4. Show easement for ingress/egress on private road.
5. Streets must be named and approved by Addressing.
6. Show Fire Hydrants on Final Plat.
7. A digital copy of Final Civil drawings signed by Licensed Engineer for all improvements is required after Final approval of the plans has been given.
8. Label all areas to be dedicated to County as "Area Hereby Dedicated to Salt Lake County".
9. All Streets within 200 ft. of the proposed subdivision must be shown on plat.
10. Include the area to be dedicated to county within the perimeter boundary description.
11. Label all utility and drainage easements on final plat
12. A preliminary report of title will be required at the final stage of the project.

### **Geology Review**

No mapped or apparent geological hazards at this location.

### **Building Plans Review**

1. Building permits need to be obtained for the demolition of existing buildings where the new property lines will create building code issues.
2. Building permits are required for the construction of the new homes and any other proposed structure regulated by the building code. At time of building permit application, provide two sets of the complete building plans showing compliance with current building code.
3. At time of building permit application, provide fire flow verification and show how compliance is going to be made with any Unified Fire District Guidelines.

### **Grading Review**

1. There is an existing residence with out buildings and corrals
2. The property slopes from east to west with a grade change of approx 5 five feet off Dimple dell to site.
3. There is an existing pond on adjoining property near the north west corner of the subject property.
4. There have been some stock piles of soils dumped at the site.
5. Recommendation of Conditional Approval subject to Technical review.
6. Need to submit site grading and drainage plans including the plan and profiles of the road.
7. Need to provide and include the proposed grading to develop the retention pond and sports field.
8. Need to provide erosion control plans for the proposed development.
9. Site is in excess of one acre and will require the development of a Storm Water Pollution Prevention Plan prior to final approval.
10. The development of the access road will need to be completed under a grading permit.
11. Will need to sign and record a storm water maintenance agreement and provide a storm water management plan for the retention pond.
12. Urban Hydrology to address the irrigation ditch along the east property line.

### **Health Department Review**

Need to submit sewer and water availability letters.

### **Sewer District Review**

Need to submit sewer plan and profile to Sandy Suburban Improvement District for Review.

### **Sanitation Review**

Cans will be picked up on Dimple Dell Road.

### **Traffic Engineer Review**

1. Need to submit a plan, profile cross section of the roadway for curb, gutter, and sidewalk improvements along Dimple Dell Road.
2. Cross section must match that of Sandy City.

### **Fire Authority Review**

Conceptual plans Approved. It is recommended that the applicant obtain a flow test up front to know how many new hydrants may be need to be installed and their locations.

### **Urban Hydrology Review**

1. Insufficient details provided with the submitted plans to complete hydrology review.
2. Must provide a final drainage plan with required calculations, plans and profile drawings of the drainage system, and the plan must be stamped signed and dated by t registered professional engineer (P.E.).
3. Storm drain impact fees required. Approximate amount is pending.

## 2.4 Other Issues

### Planning Review

#### Outstanding Issues

1. The footprint of the structures on the Preliminary Plat/Site plan does not match the floor plans provided.
2. Easements for the playground on lot #2 and the Sports area on lots #1 and #4 needs to be added to the Plat/plans or separate parcels for the common amenities needs to be created.
3. No easement for ingress and egress to each lot across the private roadway is shown.
4. Need to denote if parking on the private street will be allowed, and if so on which side of the Street.
5. Calculations regarding total area, total open space area, open space percentage, etc. must be provided.
6. Preliminary Plat must be on standard County Titleblock.
7. Provide a legal description of the area encompassed by the proposed subdivision on the Preliminary Plat.
8. A solid visual barrier around the perimeter of the PUD is required. Proposed fencing is not shown on the Preliminary Plat/plans.
9. Existing buildings must be removed before the Final Plat may be recorded.
10. Details regarding the size of the required playground are inconsistent between the plans. A minimum size of 1,000 square feet is required.
11. Sample colors provided as an addendum and modification to the provided architectural elevation plans are not matched to their descriptions.
12. Colors are not provided for a number of materials called out on the architectural elevations, specifically noted are the vinyl shutters and the aluminum soffit and fascia. Revise the elevation drawings to show the specific materials being proposed with this application.
13. Call out and label the width (or half-width) of Dimple Dell Road.
14. Provide more details regarding required off-site improvements (Curb, Gutter, Sidewalk) and the irrigation ditch. Applicant may consider applying for an exception request from the installation of these improvements.
15. Must show all existing structures within 50 feet of the subdivision boundary. Some structures are shown, but notably structures to the North of the proposed subdivision are missing from the Preliminary Plat.
16. A separate grading and drainage plan has not been provided. Drainage data provided on Preliminary Plat is insufficient.
17. There is a large irrigation ditch/gully along Dimple Dell Road that is not identified on the Plat/Plans.
18. Conceptual Landscape Plans provided will need significant revisions to bring them into compliance with ordinance requirements. Most notably missing is information regarding existing site vegetation, the location and caliper size of existing trees, irrigation plans, complete plant details, location of hydrozones, and calculations regarding water usage. Plans must also be signed by a licensed landscape architect, or licensed nurseryman.

## 2.5 Subdivision Requirements

### 18.08.010 Procedure generally

The planning commission shall be the land use authority for subdivisions. In order to assure that each subdivision fully complies with the provisions of this title, the director or director's designee shall administer formal application and review procedures for subdivisions. An application shall not be deemed complete until the full application, fees and all required materials have been submitted. The payment of a partial fee and submission of preliminary plans for a pre-submittal review does not constitute a complete application.

Each process shall include the following components:

A. An application procedure, which shall include:

1. Submission of an application form, as designed by the director or director's designee to clearly indicate the type of application, property address, applicant information, and other pertinent information;
2. Submission of supplementary materials, including a legal description, property plat, the required number of plans/preliminary plats, and mailing labels (if required) for notifications;
3. Payment of fees, as required under Title 3, Revenue and Finance.

B. A review procedure, which shall include:

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;
4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C. A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
3. Receipt of a recommendation from the planning staff;
4. Approval of the preliminary plat as outlined in Section 18.12.030, and issuing a preliminary plat approval letter.

D. A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;
2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
4. Payment of final fees and bond;
5. Recordation of the plat.

### **18.08.015 Time limits**

Subdivision applications are subject to expiration according to the following schedule unless, for good cause shown, the applicant is granted an extension of time by the director or director's designee:

A. A subdivision application shall expire if the applicant has not filed any of the required documents for preliminary plat approval within six months of the submission of a complete application.

B. A subdivision application shall expire if the final plat is not submitted to planning and development services within six months of the preliminary plat approval.

C. A subdivision application shall expire if the final plat has not been signed by the county mayor within six months of the approval of the director or director's designee.

D. A subdivision application shall expire if the final plat has not been recorded within six months of the date of the county mayor's signature on the plat.

### **18.12.030 Preliminary plat approval or disapproval.**

Following a review of the preliminary plat the planning commission shall act on the preliminary plat as submitted or modified. If the plat is approved, the director or director's designee shall sign the plat. One copy of the preliminary plat shall be provided to the subdivider. One signed copy shall be retained by the planning and development services division, and one copy of the approved plat shall be returned to the developer's engineer. If the preliminary plat is disapproved, the director or director's designee shall notify the developer in writing and give reasons for such disapproval. The receipt of a signed copy of the approved preliminary plat shall be authorization for the subdivider to proceed with the preparation of specifications for the minimum improvements required in Chapter 18.24 of this title and with the preparation of the final plat.

## **3.0 STAFF RECOMMENDATION**

### **3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:**

- 1 ) Correct outstanding requirements and technical issues with the Preliminary Plat, Subdivision Plans, Architectural Elevations, and Landscape Plans with staff. Comply with all requirements and recommendations of the individuate reviewers and reviewing agencies.
- 2 ) Construct improvements in conformance with final approved plans.

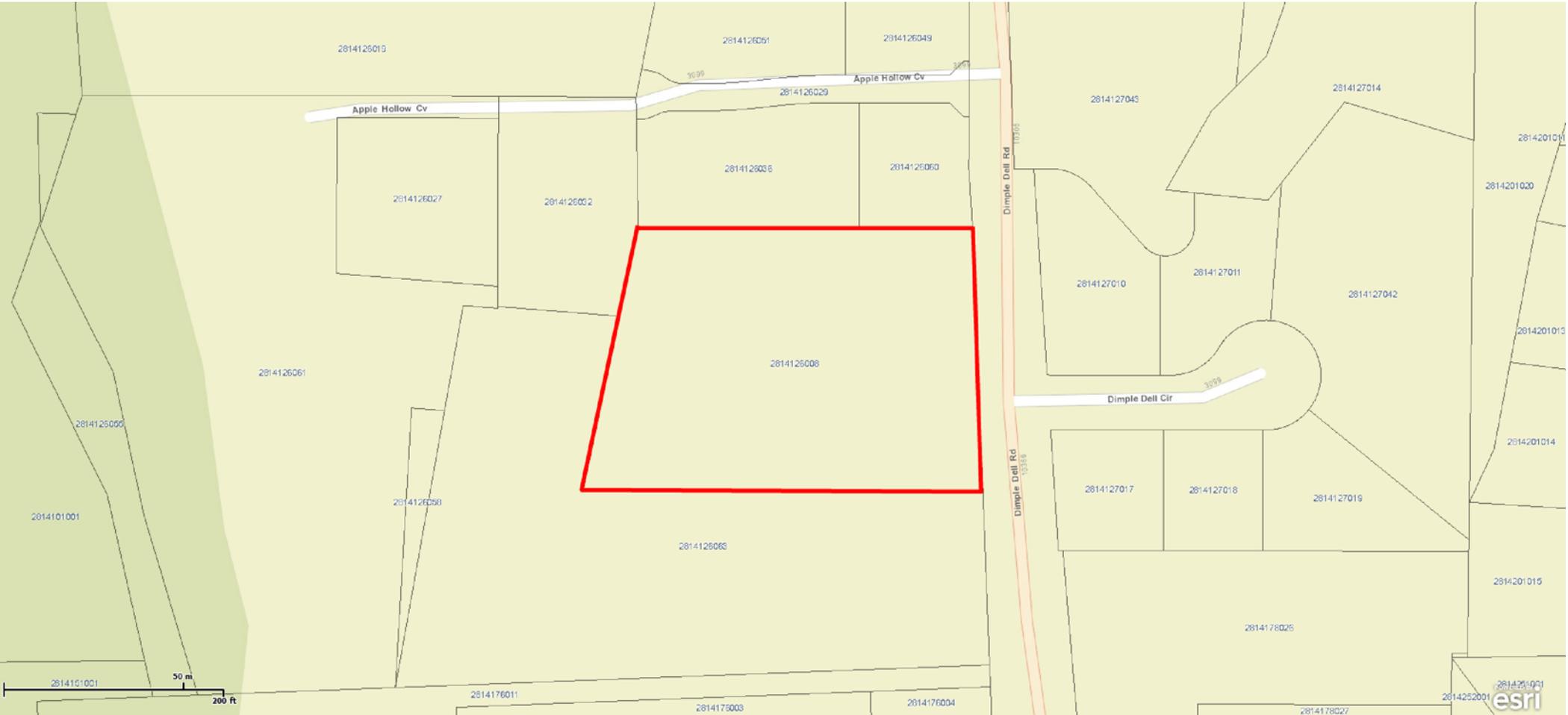
### **3.2 Reasons for Recommendation**

- 1 ) Conceptually the Conditional Use PUD and Preliminary Subdivision Plat are able to meet a majority of the basic ordinance requirements.
- 2 ) The outstanding issues with the Preliminary Plat, Subdivision Plans, Architectural Elevations, and Landscape Plans are mainly technical in nature, or can easily be addressed with staff through the subsequent technical review process.
- 3 ) Impacts to the neighborhood are minimal and appropriate mitigation measures are in place as part of the proposal.

### **3.3 Other Recommendations**

None at this time.





28891

Aerial Map



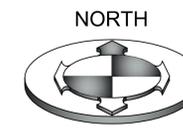
Mon Apr 7 2014 08:06:45 PM.

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	13,200	16.68
ROADS	7,651	9.67
OPEN SPACE (LANDSCAPE, DRIVEWAYS, SIDEWALKS)	58,257	73.65
TOTAL	79,108	100

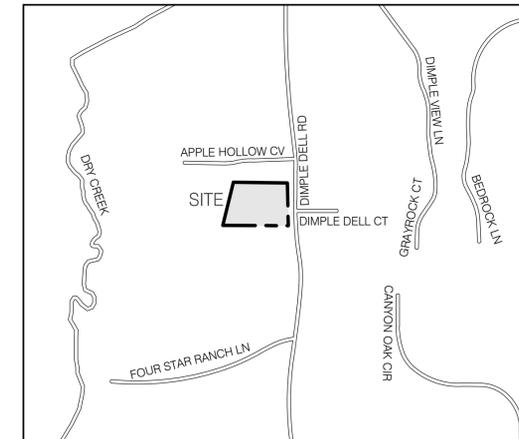
# BREEN HOMES P.U.D.

LOCATED IN THE NORTHWEST QUARTER OF SECTION 14,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN

CONSTRUCTION KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	3/4" WATER SERVICE LINE	X/CDT.XX
②	3/4" WATER METER	X/CDT.XX
③	8" SDR SEWER MAIN	X/CDT.XX
④	4" SDR SEWER LATERAL	X/CDT.XX
⑤	SANITARY SEWER CLEANOUT	X/CDT.XX
⑥	FIRE HYDRANT	X/CDT.XX



GRAPHIC SCALE  
(IN FEET)  
1 inch = 30ft.



VICINITY MAP  
N.T.S.

### LEGEND

- SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 1/2 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- RETENTION POND
- ASPHALT HATCH
- CONG HATCH

DEVELOPER/OWNER: SMOOT COMMERCIAL  
NAME: BREEN HOMES  
KYLE CHRISTENSEN  
ADDRESS: 6975 UNION PARK CENTER  
SUITE SUITE #600  
MIDVALE, UTAH 84047  
TELEPHONE: 801-541-4006  
EMAIL: kyledchristensen@gmail.com

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BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER

1-800-662-4111  
www.bluestakes.org

NO.	DATE	DESCRIPTION
1	04/02/2014	PRELIMINARY
2	04/02/2014	REVISED
3	04/02/2014	REVISED
4	04/02/2014	REVISED
5	04/02/2014	REVISED



**BENCHMARK ENGINEERING & LAND SURVEYING**  
9130 SOUTH STATE STREET SUITE #100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com



**BREEN HOMES P.U.D.**  
10308 DIMPLE DELL RD  
SANDY, UTAH 84092

PROJECT NO. 1212153

PRELIMINARY PLAT

NORTHWEST OF SECTION 14,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST.  
SALT LAKE BASE AND MERIDIAN.  
FOUND BRASS CAP  
BURIED IN DIRT, UNDER FENCE.

1077.91'

(BASIS OF BEARINGS)  
S 01° 37' 30" W 2601.89 (MEAS.)

S 88° 22' 30" E 1874.49'

1927.70'

N 89° 34' 45" E 2714.18' (MEAS.)

WEST QUARTER OF SECTION 14,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST.  
SALT LAKE BASE AND MERIDIAN.  
FOUND COPPER RIVET.  
IN TOP OF GRANITE STONE.

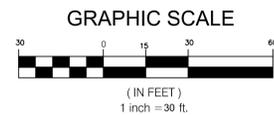
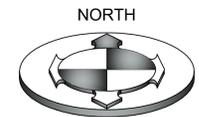
CENTER OF SECTION 14,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST.  
SALT LAKE BASE AND MERIDIAN.  
FOUND BRASS CAP.  
(CAP DETACHED FROM MONUMENT  
BASE, PLACED ON TOP AND ROTATED  
TO SIT IN ORIGINAL POSITION)

# BREEN HOMES P.U.D.

LOCATED IN THE NORTHWEST QUARTER OF SECTION 14,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN

10308 DIMPLE DELL ROAD  
SANDY UT, 84092

DEVELOPER/OWNER: SMOOT COMMERCIAL  
NAME: BREEN HOMES  
KYLE CHRISTENSEN  
ADDRESS: 6975 UNION PARK CENTER  
SUITE SUITE #600  
MIDVALE, UTAH 84047  
TELEPHONE: 801-541-4006  
EMAIL: kyledchristensen@gmail.com



## BREEN HOMES P.U.D.

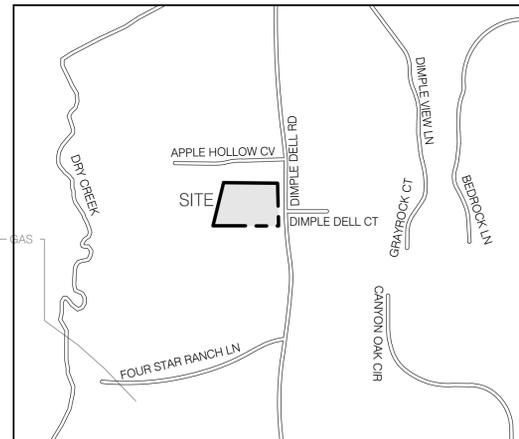
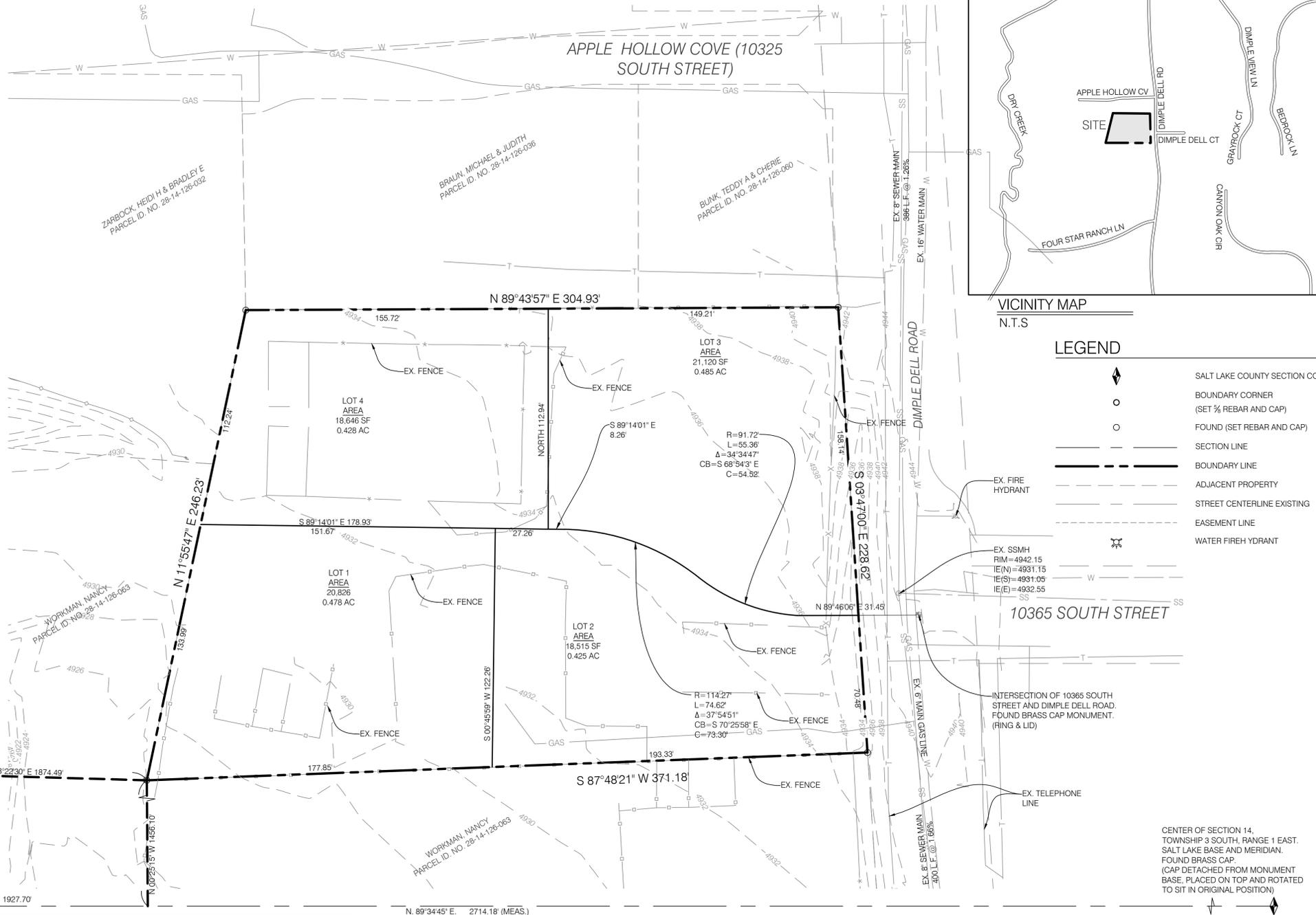
### BOUNDARY DESCRIPTION

BEGINNING AT A POINT SOUTH 01°37'30" WEST 1077.91 FEET AND SOUTH 88°22'30" EAST 1874.49 FEET FROM THE NORTHWEST OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING; THENCE NORTH 11°55'47" EAST 246.23 FEET; THENCE NORTH 89°43'57" EAST 304.93 FEET TO A POINT AT THE WESTERLY RIGHT OF WAY OF DIMPLE DELL ROAD; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE SOUTH 03°47'00" EAST 228.62 FEET; THENCE SOUTH 87°48'21" WEST 371.18 FEET TO BEGINNING.

CONTAINS 79,108 SQUARE FEET  
1.816 ACRES, MORE OR LESS  
4 LOTS



SUBMITTED FOR REVIEW ONLY



VICINITY MAP  
N.T.S.

### LEGEND

- SALT LAKE COUNTY SECTION CORNER
- BOUNDARY CORNER (SET 1/2 REBAR AND CAP)
- FOUND (SET REBAR AND CAP)
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT LINE
- WATER FIRE HYDRANT

### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER( ) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

## BREEN HOMES P.U.D.

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY HAVE HEREUNTO SET THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_.

PRINT NAME: \_\_\_\_\_  
MANAGING MEMBER  
VP HOMES, LLC

### ACKNOWLEDGEMENT TO OWNER'S DEDICATION

STATE OF UTAH } S.S.  
County of Salt Lake }  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ WHO BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT HE IS A MANAGING MEMBER OF VP HOMES, LLC, A UTAH LIMITED LIABILITY COMPANY, AND THAT THE FOREGOING OWNER'S DEDICATION WAS SIGNED BY HIM ON BEHALF OF SAID LLC.  
MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN SALT LAKE COUNTY

## BREEN HOMES P.U.D.

LOCATED IN NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

SHEET 1 OF 1

RECORD OF SURVEY		No.	DATE	DESCRIPTION
DRAWN BY	FBA/RPD			
CHECKED BY	DKB			
FIELD CREW	JPG			
DATE	04/02/2014			
DWG. FILE	1309165sp			

**BENCHMARK ENGINEERING & LAND SURVEYING**  
9130 SOUTH STATE STREET SUITE # 100  
SANDY, UTAH 84070 (801) 542-7192  
www.benchmarkcivil.com  
DATE: 07/21/2011

CHECKED FOR ZONING COMPLIANCE

ZONE: \_\_\_\_\_ LOT AREA: \_\_\_\_\_  
LOT WIDTH: \_\_\_\_\_ FRONT YARD: \_\_\_\_\_  
SIDE YARD: \_\_\_\_\_ REAR YARD: \_\_\_\_\_

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

HEALTH

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_.

SALT LAKE VALLEY HEALTH DEPARTMENT

PLANNING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_, BY THE SALT LAKE COUNTY PLANNING COMMISSION.

SALT LAKE COUNTY PLANNING COMMISSION

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

PLAN REVIEW SECTION MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_.

SALT LAKE COUNTY DISTRICT ATTORNEY \_\_\_\_\_

MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

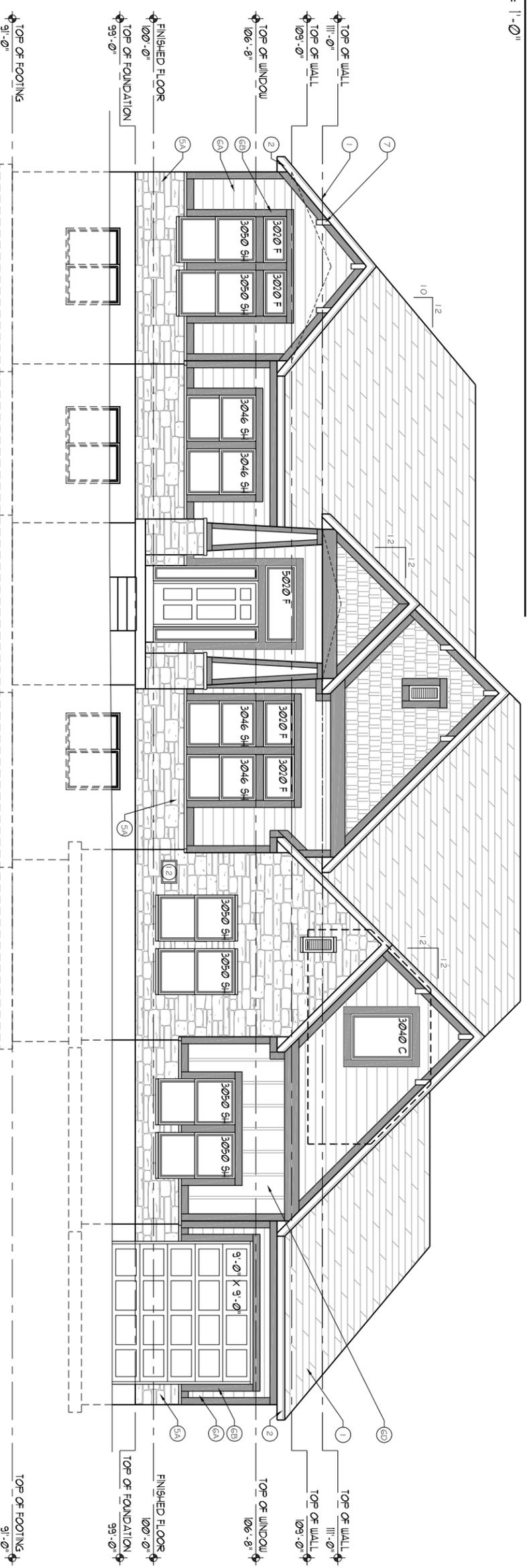
MAYOR OR DESIGNEE \_\_\_\_\_

SALT LAKE COUNTY RECORDER

RECORDED # \_\_\_\_\_  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_  
DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
FEE \$ \_\_\_\_\_  
SALT LAKE COUNTY RECORDER \_\_\_\_\_

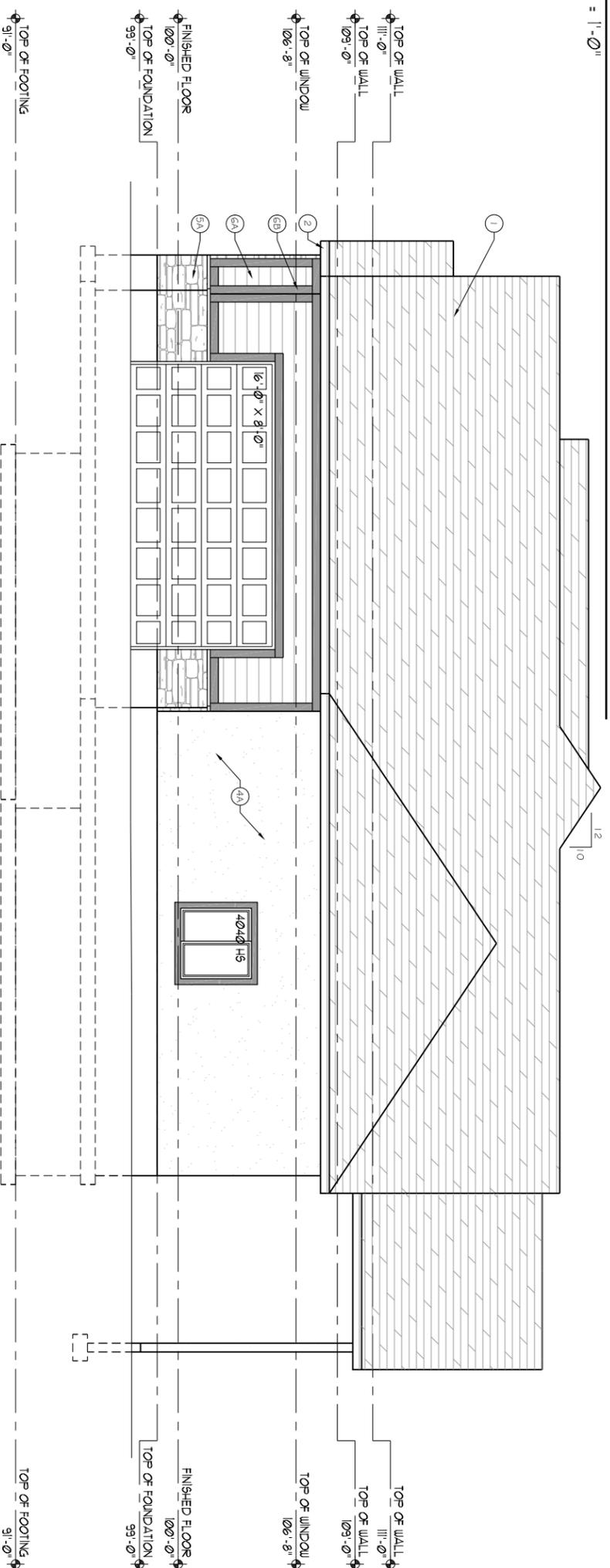
# FRONT ELEVATION

SCALE: 1/8" = 1'-0"



# RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



### GENERAL NOTES:

1.-

### KEYED NOTES:

- 1 30 YEAR ARCHITECTURAL ASPHALT SHINGLES
- 2 2x6 FASCIA BOARD
- 3 ALUM. FASCIA, AND SOFFIT
- 4 VINYL SHUTTERS WHERE SHOWN
- 5 STUCCO HARD COAT SYSTEM, TYP. OF FRONT, SIDES AND REAR ELEVATIONS
- 6 4\"/>

NEED TO BE OBTAINED FROM THE LOCAL BUILDING DEPARTMENT AND THE DESIGNER WITHOUT EXPRESS PERMISSION OF THE DESIGNER. PERMISSION OF DESIGNER MUST BE OBTAINED FOR REPRODUCTION OF ANY PART OF THIS SHEET.

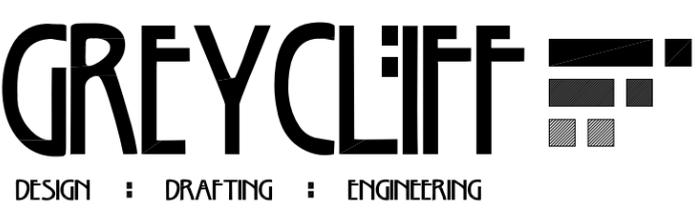
03/20/08 BREEN DESIGN, L.S. BREEN

address:

13645 SOUTH  
FORT STREET

plan name:

**BREEN**



date  
AUGUST 21, 2011

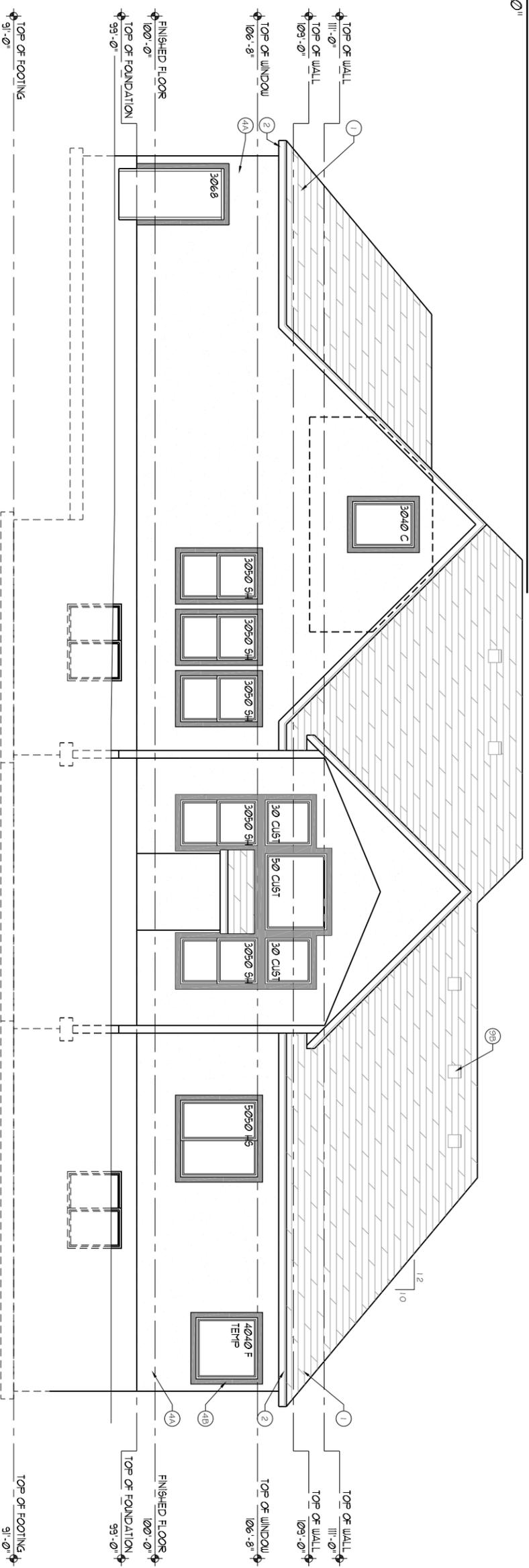
title  
EXTERIOR  
ELEVATIONS  
Sheet

A31

Sheet 8 of 19

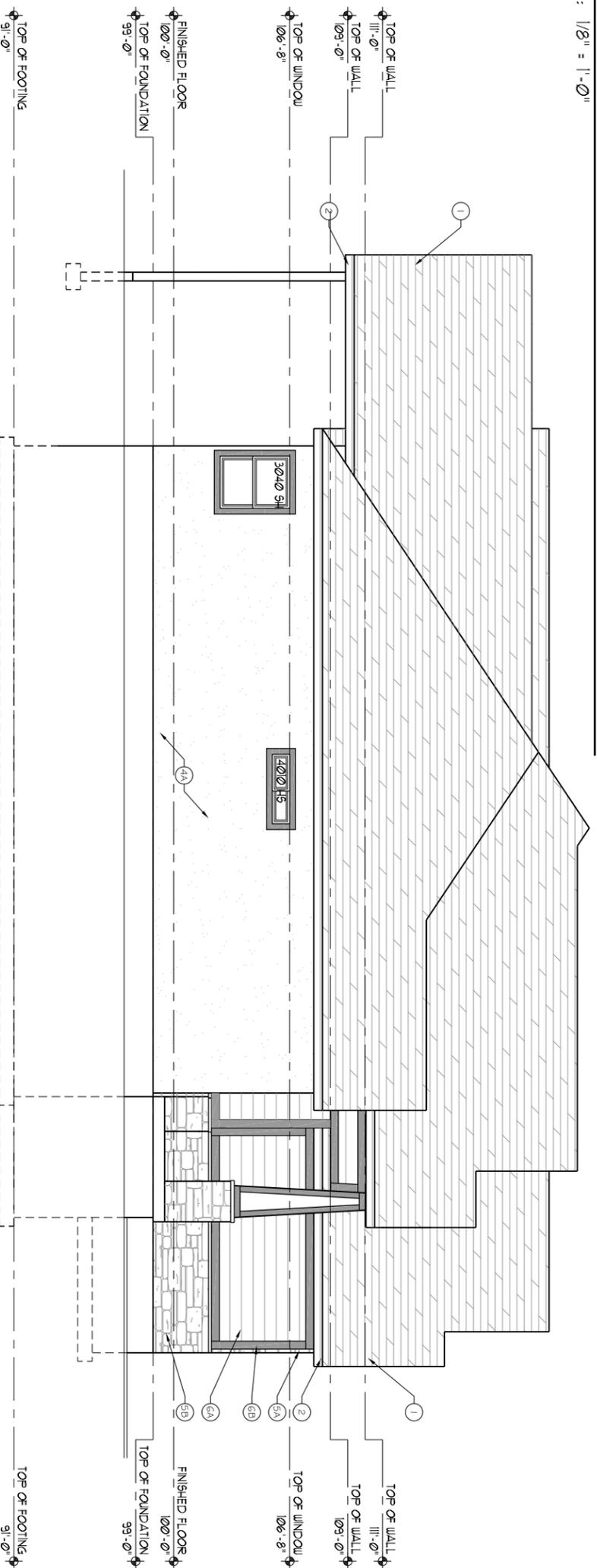
# REAR ELEVATION

SCALE: 1/8" = 1'-0"



# LEFT ELEVATION

SCALE: 1/8" = 1'-0"



### GENERAL NOTES:

1.-

### KEYED NOTES:

- 1 30 YEAR ARCHITECTURAL ASPHALT SHINGLES
- 2 2X6 FASCIA BOARD
- 3 ALUM. FASCIA, AND SOFFIT
- 4 VINYL SHUTTERS WHERE SHOWN
- 5 STUCCO HARD COAT SYSTEM, TYP. OF FRONT, SIDES AND REAR ELEVATIONS
- 6 4" STUCCO TRIM AROUND ALL WINDOWS AND DOORS (FRONT ELEVATION ONLY)
- 7 4" STUCCO TRIM ABOVE BRICK SILL (FRONT ELEVATION ONLY)
- 8 STUCCO KERSTONES, WHERE SHOWN
- 9 3'-0" CULTURED STONE VENER, INCLUDES SILL AT TOP
- 10 CULTURED STONE VENER
- 11 5'-0" CULTURED STONE WANASCOT, INCLUDES SILL AT TOP
- 12 CULTURED STONE SILL WHERE SHOWN
- 13 HORIZONTAL CEMENT BOARD SIDING
- 14 CEMENT BOARD TRIM
- 15 CEMENT BOARD SHAKE SIDING
- 16 CEMENT BOARD & BATTEN SIDING
- 17 CORBAL - CEMENT BOARD
- 18 NOT USED
- 19 1'-6" X 2'-0" TOMBSTONE VENT
- 20 TURTLE ATTIC VENTS, WHERE SHOWN TO MEET MIN.
- 21 CURRENT CODE
- 22 BIRD BOX WITH STUCCO TRIM, REFER TO DETAIL 2A3.A.O
- 23 ROCK RETAINING, REFER TO SITE PLAN A.1.O
- 24 ADDRESS BLOCK
- 25 RAILING, AS PER CODE
- 26 NOT USED

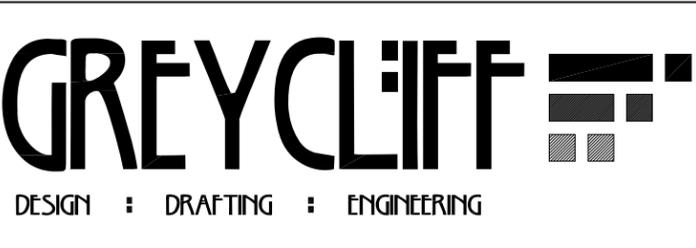
NOTES: ALL DRAWINGS ARE TO BE CONSIDERED AS THE PROPERTY OF GREYCLIFF DESIGN. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OR DATA PROVIDED BY THE CLIENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.

### address:

13645 SOUTH  
FORT STREET

### plan name:

BREEN



date  
AUGUST 21, 2011

title  
EXTERIOR  
ELEVATIONS  
Sheet

A32

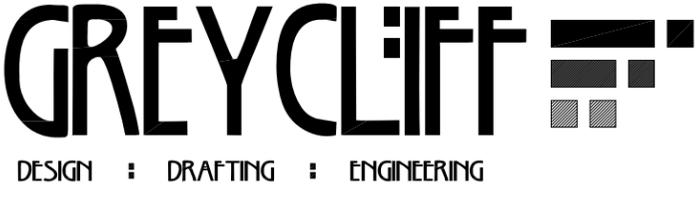
NOT FOR CONSTRUCTION. THIS DRAWING IS THE PROPERTY OF GREYCLIFF DESIGN AND ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM GREYCLIFF DESIGN AND ENGINEERING.

address:

13645 SOUTH  
FORT STREET

plan name:

**BREEN**



date  
AUGUST 21, 2011

title  
SECOND FLOOR  
PLAN  
sheet

A23

sheet 6 of 19

GENERAL NOTES:  
1.

KEYED NOTES:

- 1 NOT USED
- 2A MECHANICAL / FLOOR CHASE.
- 2B FLOOR DRAIN
- 2C FURNACE, REFER TO E1.0
- 3 CLOSET/PANTRY SHELVING, REFER TO DETAIL I/A5.0
- 4 NOT USED
- 5A BATH: 60"X30" TUB/SHOWER COMBO WITH CULTURED MARBLE SURROUND
- 6 NOT USED
- 7 NOT USED
- 8A 42" HIGH GUARDRAIL PER CODE
- 8B HANDRAIL PER CODE

HATCHING KEY:

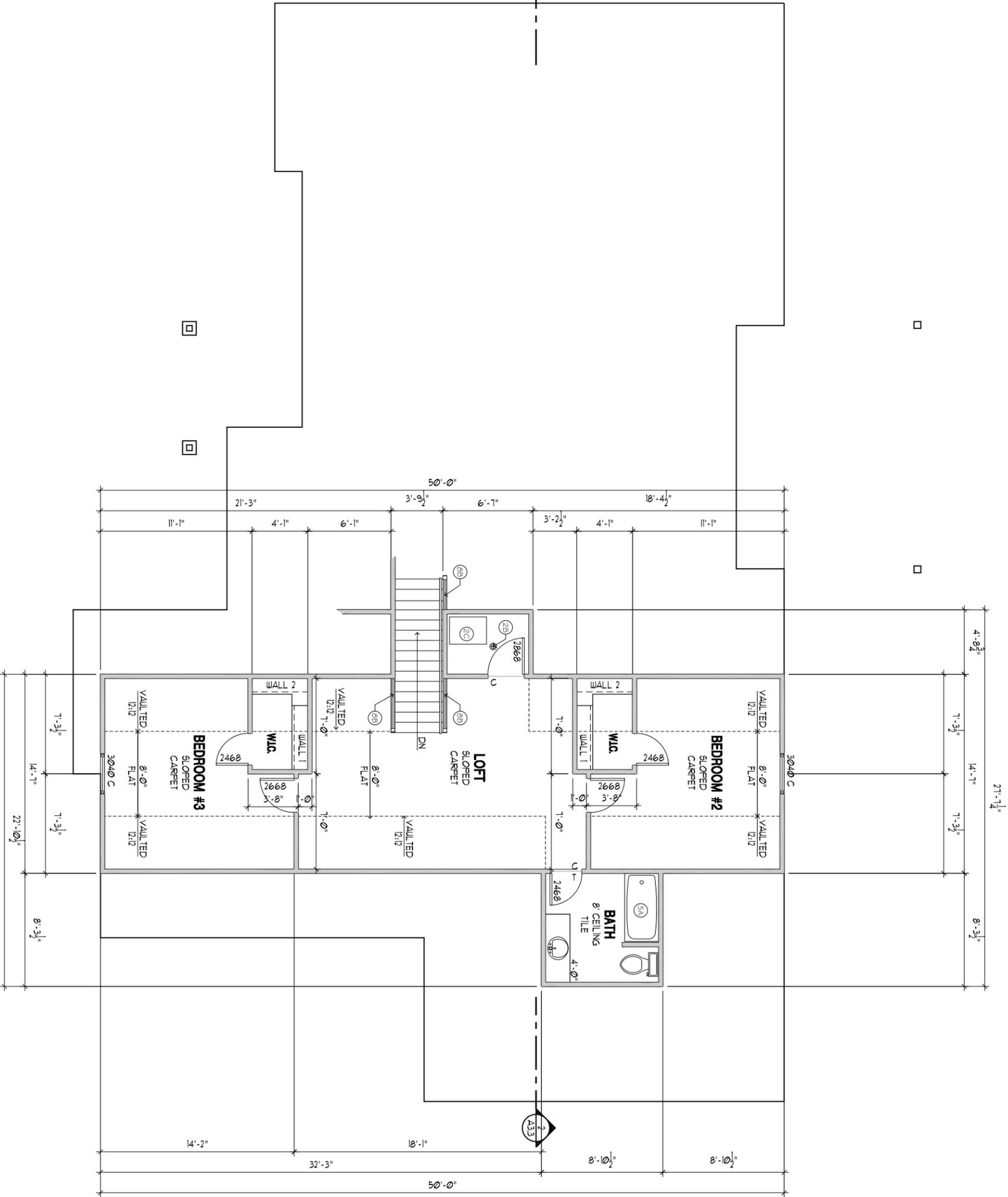
- WOOD STUD WALLS
- BRICK VENEER
- CULTURED STONE VENEER
- CONCRETE FOUNDATION WALL

WINDOW TYPE NOTE

ALL SLIDERS AND SINGLE HING WINDOWS ARE ASSUMED TO OPEN 50% UNLESS OTHERWISE INDICATED

KEY TO TYPE  
SH = SINGLE HING S = SLIDER  
C = CASSEMENT F = FIXED

ALL HEADERS TO BE AT 6'-8" UNLESS NOTED OTHERWISE



**SECOND FLOOR PLAN**

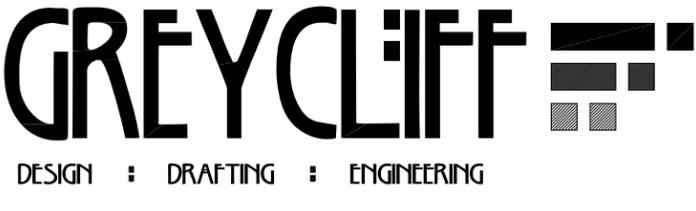
SCALE: 1/8" = 1'-0"

address:

13645 SOUTH  
FORT STREET

plan name:

BREEN



date

AUGUST 21, 2011

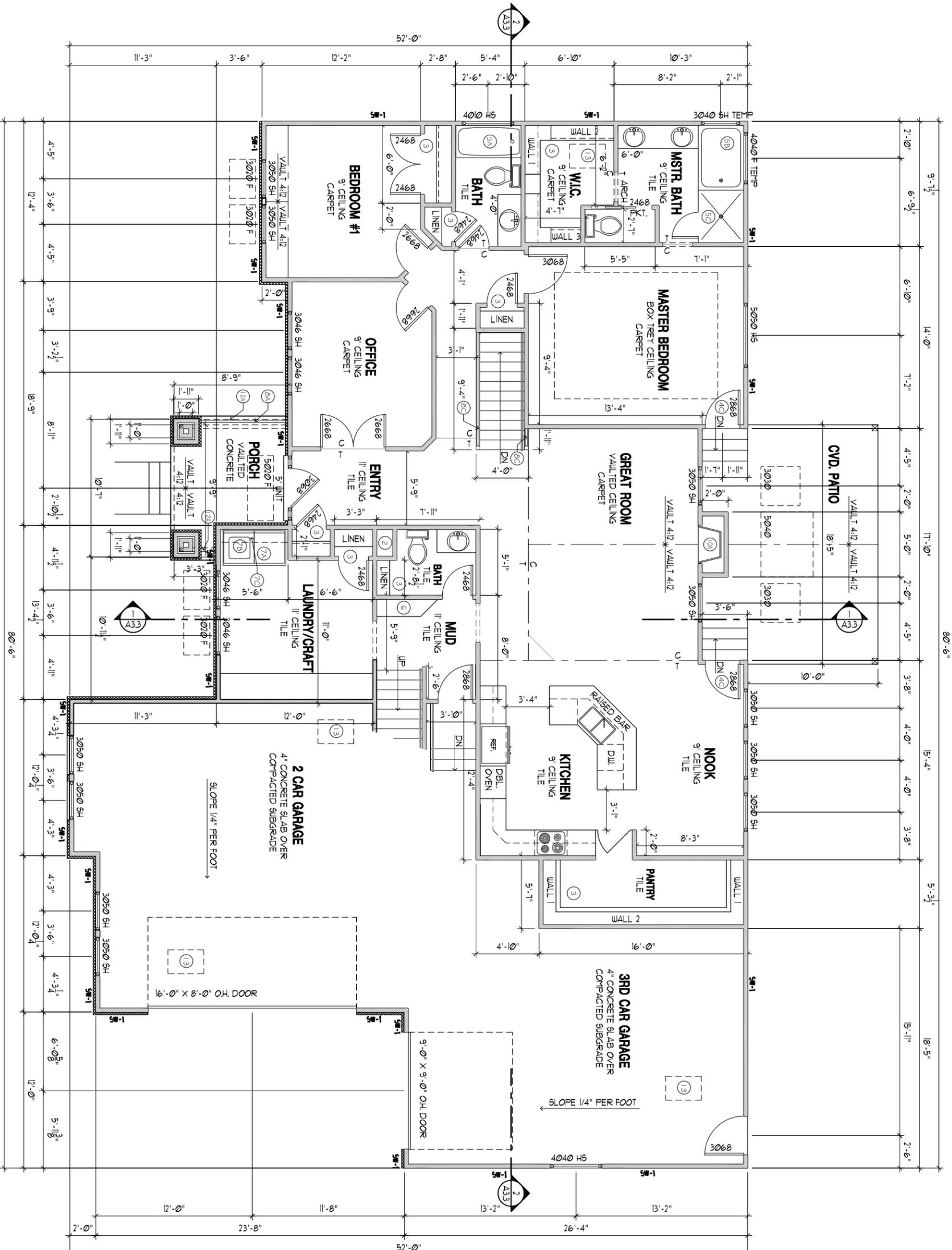
title

MAIN FLOOR  
PLAN

sheet

A22

sheet 5 of 19



GENERAL NOTES:  
1. ALL EXTERIOR FRAMING TO BE 2X4 UNLESS OTHERWISE NOTED.

REFER NOTES:

- 1 PROVIDE 5/8" TYPE 'X' GWB ON ALL WALLS AND CEILING OF GARAGE. NAIL AS PER 2003 IRC. INSULATE ALL EXTERIOR GARAGE WALLS, GARAGE DOORS AND GARAGE CEILING.
- 2 MECHANICAL/FILE CHASE.
- 3 CLOSET/PANTRY SHELVING
- 4 ARCH
- 4A 20 MIN. FIRE RATED DOOR WITH SELF CLOSING HINGES.
- 4B
- 4C ATRIUM DOOR
- 5A BATH: GOX30" TUBSHOWER COMBO WITH CULTURED MARBLE SURROUND
- 5B MASTER BATH: GOX42" GARDEN TUB WITH CULTURED MARBLE SURROUND
- 5C MASTER BATH: 35" x 42" SHOWER WITH CULTURED MARBLE SURROUND
- 5D NOT USED
- 6 BENCH
- 7A DRYER LOCATION.
- 7B WASHER LOCATION, WITH PLASTIC PAN UNDEREATH.
- 7C PAINTED SHELF ABOVE WASHER AND DRYER LOCATION AS SHOWN.
- 8A 42" HIGH GUARDRAIL PER CODE
- 8B HANDRAIL PER CODE
- 8C RAILING
- 8D 42" HIGH WOOD FRAMED GUARDRAIL.
- 8E ELECTRIC RANGE.
- 8F NOT USED
- 8G 36" DIRECT VENT FIREPLACE (BLOWER NOT INCLUDED). VENT TO EXTERIOR.
- 1 PLANT SHELF
- 2A WALL ABOVE, FRAME WALL DOWN FROM BEAM SO BOTTOM OF WALL IS 8'-0" AT F.
- 2B 2X6 WOOD STUD FRAMED WALL.
- 3 ATTIC ACCESS.

HATCHING KEY:

- WOOD STUD WALLS
- BRICK VENEER
- CULTURED STONE VENEER
- CONCRETE FOUNDATION WALL

WINDOW TYPE NOTE  
ALL SLIDERS AND SINGLE HUNG WINDOWS ARE ASSUMED TO OPEN 50% UNLESS OTHERWISE INDICATED

KEY TO TYPE  
SH = SINGLE HUNG S = SLIDER  
C = CABINET F = FIXED

ALL HEADERS TO BE AT 6'-0" UNLESS NOTED OTHERWISE

SHEAR WALL NOTES

ALL EXTERIOR WALLS AND VERTICAL SURFACES AT STEPS IN ROOF SHALL BE SEALED WITH 7/16" DIA RATED 24/0 OR BETTER STRUCTURAL WOOD GRADES BLOCK ALL ROOF JOISTS WITH 2" DIA OR LARGER 2" OR HIGHER STRENGTH POLYURETHANE CAULK. EDGES AND CORNERS SHALL BE REINFORCED WITH 2" DIA OR LARGER POLYURETHANE CAULK. SEALING SHALL EXTEND CONTINUOUS FROM ROOM TO THE PLANT MILLING ON OTHER EXT. WALLS. WALLS SHALL BE PLACED NOT LESS THAN 1/2" FROM EDGE OF PLATE AND DIMEN RUSH BUT SHALL NOT FRACTURE, BE SURFACE OR BE SEALING. EXTEND SEALING OVER RAY AND VAIL TO RAY AND VAIL PLATS 2" OC.

SHEAR WALL SCHEDULE

TYPE	SEALING	WALL	EDGE	ROOF
TYPICAL	7/16" O.K. SOK	8d	6" O.C.	17" O.C.
SH-1	7/16" O.K. SOK	8d	6" O.C.	17" O.C.
SH-2	7/16" O.K. SOK	8d	5" O.C.	17" O.C.
SH-3	7/16" O.K. SOK	8d	2" O.C.	17" O.C.
SH-4	7/16" O.K. SOK	8d	2" O.C.	17" O.C.
SH-5	7/16" O.K. SOK	8d	2" O.C.	17" O.C.

NOTE: 16 CALG. STUDS W/IR BE SUBSTITUTED FOR 8d WALLS AT 1/2 SPACING ON SH-1 AND SH-2. 16 CALG. STUDS W/IR REQUIRE 3x OR (2) 2x ON JOISTING ABOVE DECK.

MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"





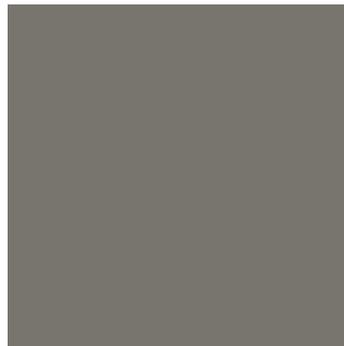
## Dimple Dell Project Ext Colors and Materials

Rock to be replaced with a Classic Red Brick: Interstate Brick

Cement Board Trim and Columns to be Benjamin Moore Cotton Balls

Shaker and B/B cement board to be SW7017 Dorian Grey

All Stucco on plan to be replaced with Cement Lap board product painted SW7019 Gauntlet Grey

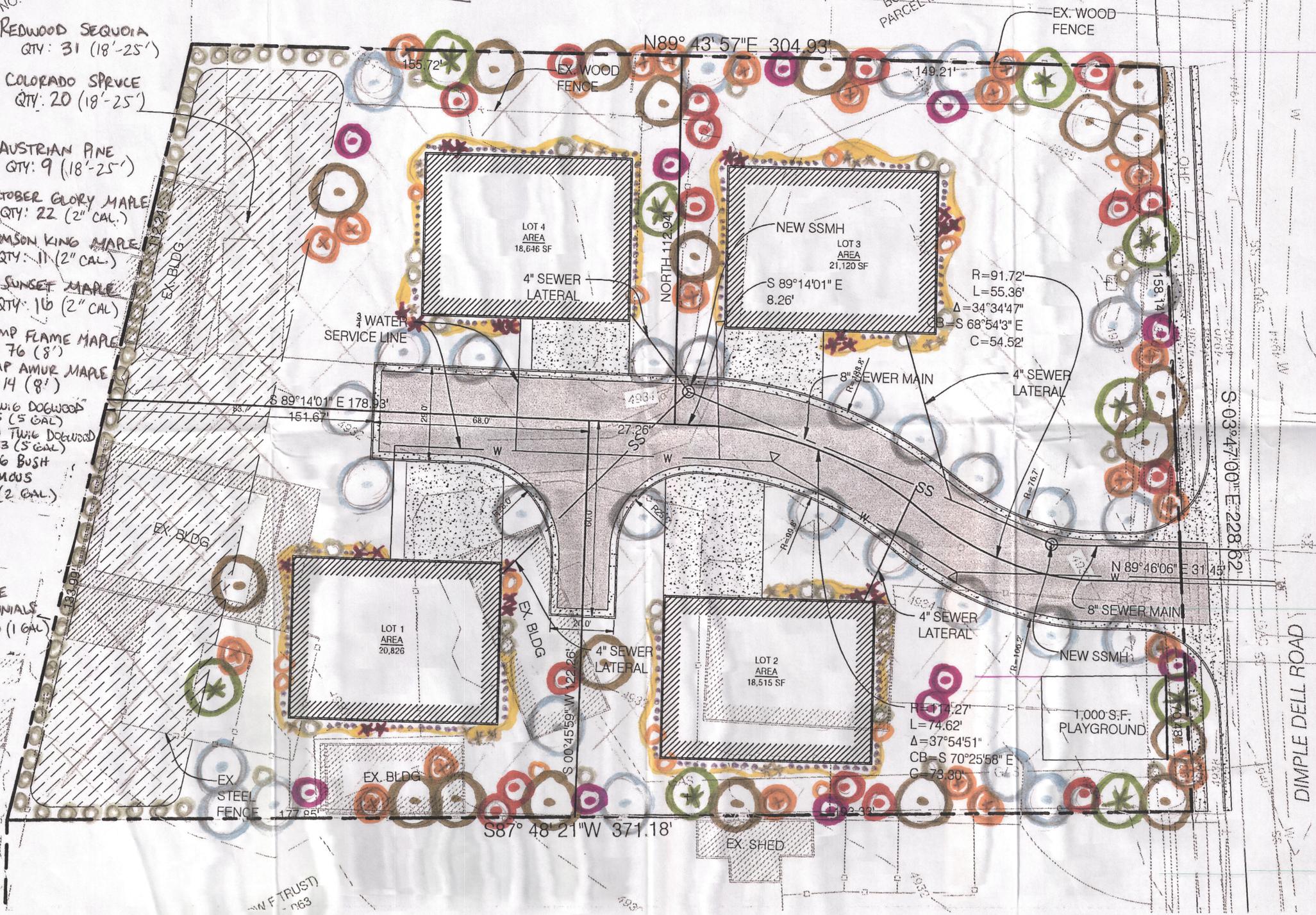


BOCK, HEIDI H & B...  
PARCEL ID. NO. 28-14-128-0...

TUCK LANDSCAPE 4/2/14 PARCEL

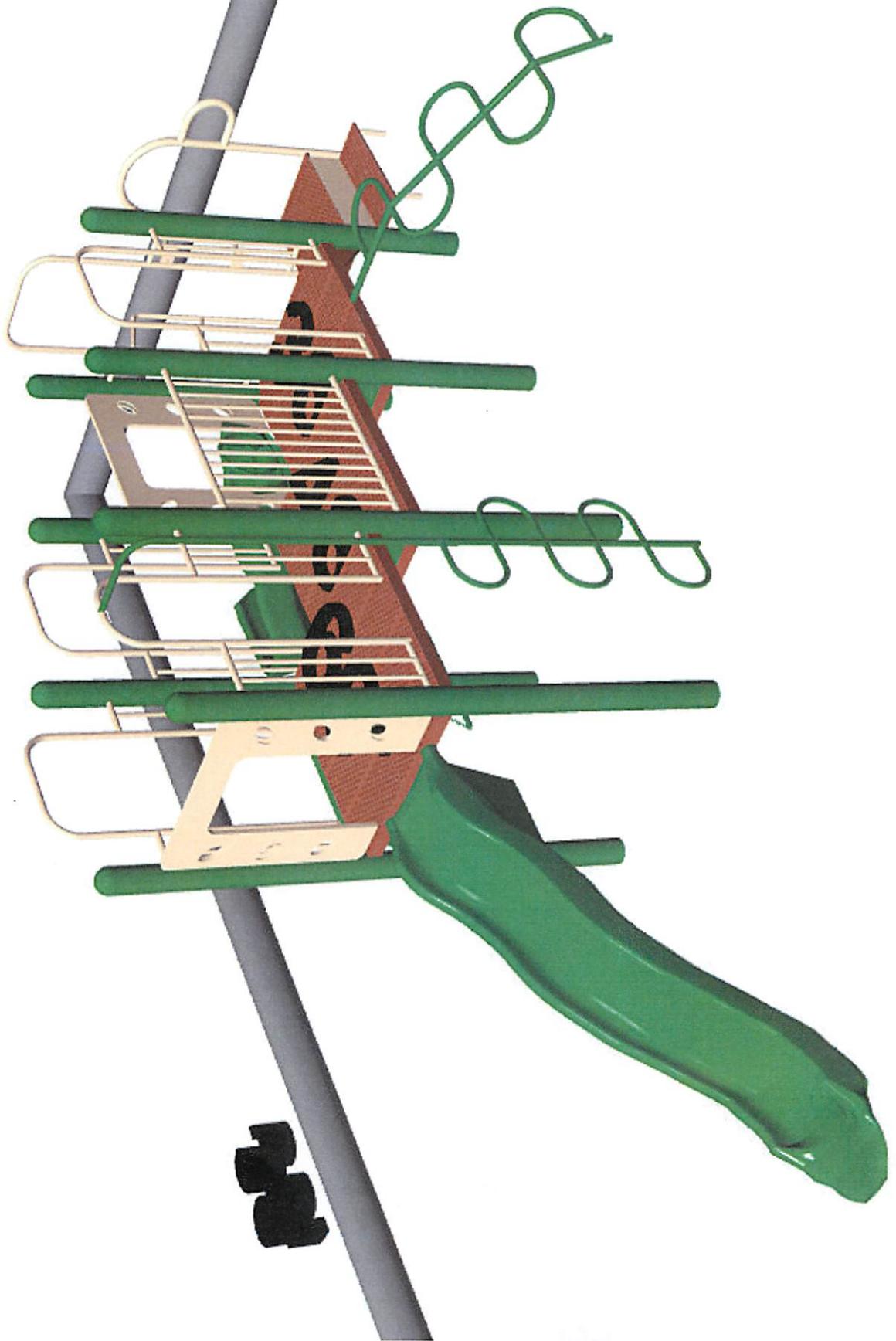
BUNK, TEDDY A...  
PARCEL ID. NO. 28-14-1...

- REDWOOD SEQUOIA  
QTY: 31 (18'-25')
- COLORADO SPRUCE  
QTY: 20 (18'-25')
- AUSTRIAN PINE  
QTY: 9 (18'-25')
- OCTOBER GLORY MAPLE  
QTY: 22 (2" CAL.)
- CRIMSON KING MAPLE  
QTY: 11 (2" CAL.)
- RED SUNSET MAPLE  
QTY: 16 (2" CAL.)
- CLUMP FLAME MAPLE  
QTY: 76 (8')
- CLUMP AMUR MAPLE  
QTY: 14 (8')
- RED TWIG DOGWOOD  
QTY: 25 (5 GAL)
- YELLOW TWIG DOGWOOD  
QTY: 23 (5 GAL)
- BURNING BUSH  
EUNOMYDUS  
QTY: 161 (2 GAL)
- SOD
- NATIVE PERENNIALS  
QTY: 300 (1 GAL)

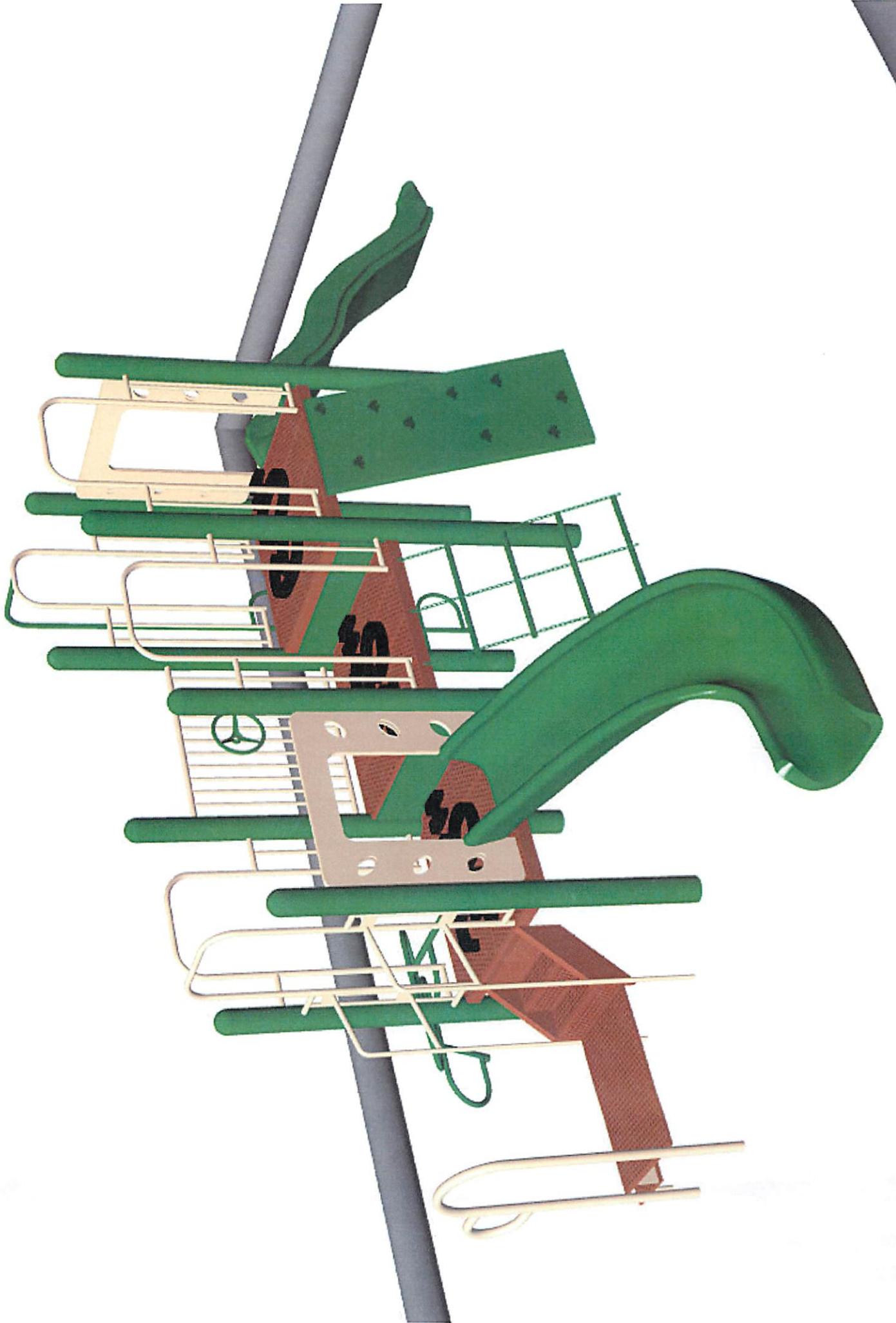


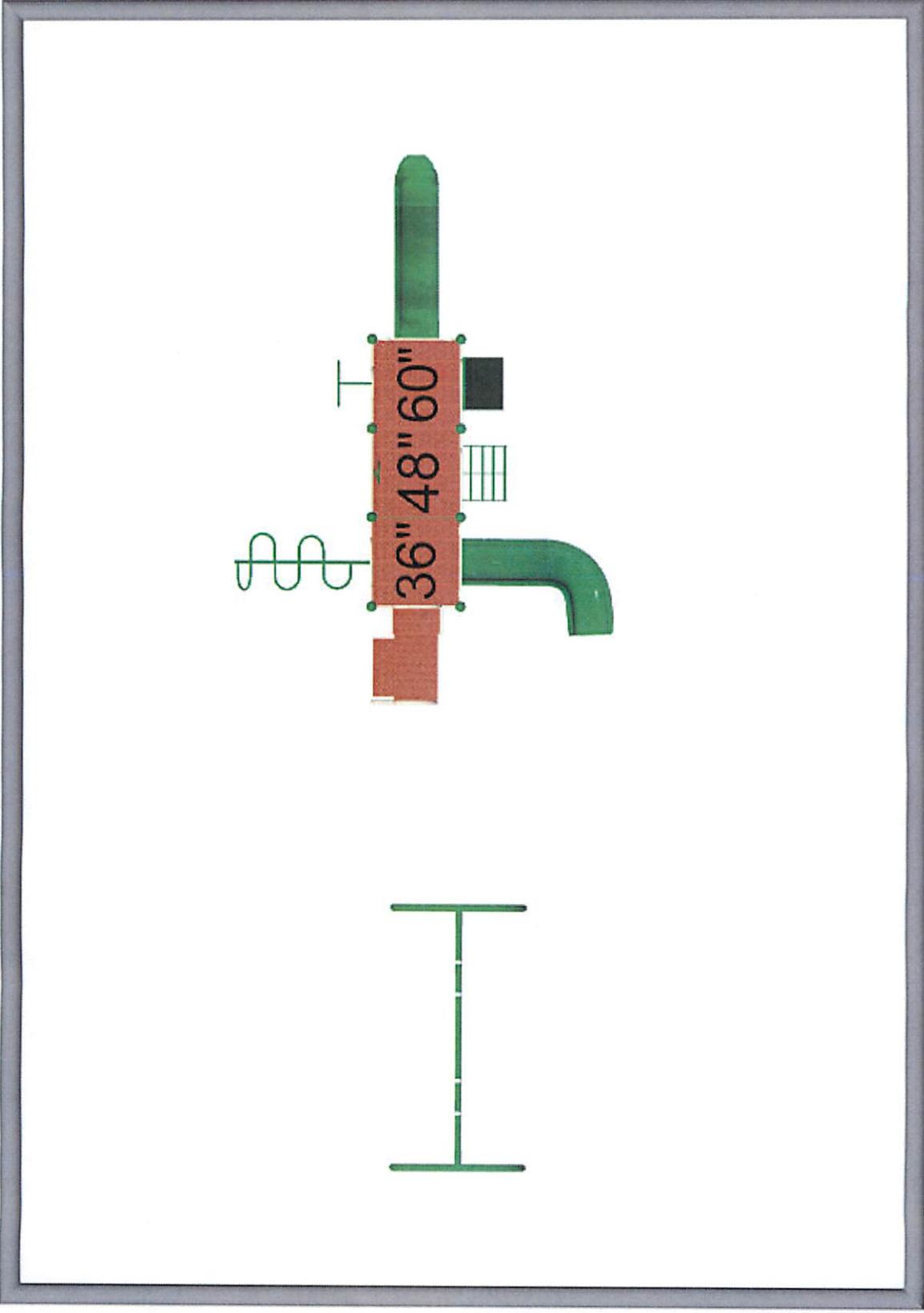
DIMPLE DELL ROAD











40'

58'





