



EAGLE MOUNTAIN  
PLANNING COMMISSION MEETING

**September 26, 2023, 5:30 PM**

Eagle Mountain City Council Chambers

1650 East Stagecoach Run, Eagle Mountain, Utah 84005

**1. 5:30 P.M. - Eagle Mountain City Planning Commission Work Session**

**1.A Planning Commission Training**

Review by City Legal Counsel of Ethics Principles and Laws Affecting Planning Commissioners and Planning Commission Meetings. Topics to be Covered Include: Open Meetings, Bias, Ex-Parte Communications, etc.

**6:30 P.M. - Eagle Mountain City Planning Commission Policy Session**

**2. Pledge of Allegiance**

**3. Declaration of Conflicts of Interest**

**4. Approval of Meeting Minutes**

4.A August 22, 2023 Planning Commission Minutes  
[08.22.23 PC DRAFT Minutes](#)

**5. Status Report**

**6. Action and Advisory Items**

**6.A ORDINANCE/PUBLIC HEARING -- Panter Rezone**

Planning Commission review and recommendation regarding a proposed rezone of Sage Valley Plat A Lot 16 (Utah County Assessor No. 52:800:0016 -- also addressed as 8598 N. Crescent Loop) from Residential to RD2.

[Rezone Proposal - Panter](#)

[Vicinity Map - Panter](#)

[Sage Valley Plat A](#)

[Proposed Amended Plat - Panter](#)

**6.B ORDINANCE -- Panter Recorded Plat Amendment**

Planning Commission review and recommendation regarding a proposed recorded plat amendment of Sage Valley Plat A Lot 16 (Utah County Assessor No. 52:800:0016 -- also addressed as 8598 N. Crescent Loop), dividing the lot into two separate lots.

[Proposed Amended Plat - Panter](#)

Sage Valley Plat A  
Petition - Panter  
Vicinity Map - Panter  
Rezone Proposal - Panter

6.C **PRELIMINARY PLAT -- Firefly 5 Phase A**

Planning Commission review of a request for preliminary plat approval for Firefly NPA 5 Phase A, a 110-acre subdivision, within the Firefly Planned Community, proposing 71 single-family, agricultural type, building lots with 3.87 acres of open space.

[Firefly NPA 5 Preliminary 9-18-23](#)

[Redline Response Package Firefly Preliminary\\_NPA5\\_Phase A](#)

7. **Discussion Items**

8. **Next scheduled meeting**

9. **Adjournment**

**THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.**

In accordance with the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodation for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6610. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
SEPTEMBER 26, 2023**

**TITLE:** Planning Commission Training

**ITEM TYPE:** Discussion

**APPLICANT:** Eagle Mountain City

**ACTION ITEM:**

No

**BACKGROUND:**

n/a

**PUBLIC HEARING:**

No

**ITEMS FOR CONSIDERATION:**

n/a

**PREPARED BY:**

Marcus Draper, Planning

**REQUIRED FINDINGS:**

n/a

**RECOMMENDATION:**

n/a

**ATTACHMENTS:**



**EAGLE  
MOUNTAIN**

**EAGLE MOUNTAIN  
Planning Commission MEETING  
MINUTES**

August 22, 2023, 6:30 p.m.  
Eagle Mountain City Council Chambers  
1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Jason Allen, Jeremy Bergener, Matthew Everett, Robert Fox, and Brent Strong, and Alternate Commissioner Jimmy Eaton.

CITY STAFF PRESENT: Steve Mumford, Deputy City Administrator/Community Development Director; Marcus Draper, City Attorney; and Steven Lehmitz, Planner.

CITY STAFF PRESENT ELECTRONICALLY: Elizabeth Fewkes, Recording Secretary; and Robert Hobbs, Planning Manager.

**6:30 P.M. – Eagle Mountain City Planning Commission Policy Session**

Commissioner Bergener called the policy session to order at 6:30 p.m.

1. Pledge of Allegiance

Commissioner Bergener led the Pledge of Allegiance.

2. Declaration of Conflicts of Interest

None.

3. Approval of Meeting Minutes

- 3.A. August 8, 2008 Planning Commission Minutes

**MOTION:** *Commissioner Allen moved to approve the August 8, 2023 minutes. Commissioner Fox seconded the motion.*

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>
<i>Jeremy Bergener</i>	<input type="checkbox"/> <i>Jeremy Bergener</i>	<input type="checkbox"/> <i>Jeremy Bergener</i>	<input type="checkbox"/> <i>Jeremy Bergener</i>
<input type="checkbox"/> <i>Matthew Everett</i>	<input type="checkbox"/> <i>Matthew Everett</i>	<input type="checkbox"/> <i>Matthew Everett</i>	<i>Matthew Everett</i>
<i>Robert Fox</i>	<input type="checkbox"/> <i>Robert Fox</i>	<input type="checkbox"/> <i>Robert Fox</i>	<input type="checkbox"/> <i>Robert Fox</i>
<input type="checkbox"/> <i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>	<i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>
<input type="checkbox"/> <i>Jimmy Eaton</i>	<input type="checkbox"/> <i>Jimmy Eaton</i>	<i>Jimmy Eaton</i>	<input type="checkbox"/> <i>Jimmy Eaton</i>

*The motion passed with a unanimous vote 3:0 with two abstentions. As Commissioner Everett was absent, Commissioner Eaton voted.*

#### 4. Status Report

Deputy City Administrator/Community Development Director Steve Mumford reviewed the planning items discussed and voted upon during the August 15, 2023 City Council meeting.

#### 5. Action and Advisory Items

##### 5.A. ACTION ITEM – PUBLIC HEARING: SITE PLAN APPROVAL OF HARMONY MULTI-FAMILY AND PLAT AMENDMENT OF HARMONY PHASE A PLAT 5.

Mr. Mumford and Planning Manager Robert Hobbs provided background information and presented the item. The subject property is governed by the Harmony Development Agreement with the property identified and approved for multifamily units. Harmony is a master planned community encompassing 772 acres. The Harmony at City Center exhibit shows density locations and identifies the subject property as Multifamily Residential. There is no density specific to the multifamily areas and the development agreement states, "The multi-family areas are not vested with density, and any reference to the number of units on the Preliminary Plat is conceptual and informational only." Total Harmony multifamily acreage is 92.186 acres and 1,935 conceptual and not vested, units. The subject site plan contains 14.45 acres with 116 townhome units and 110 stacked units. While no specific density maximum is given, the density "will be determined at the time of site plan application." The proposed density of the Harmony multifamily is 15.6 units per acre. Open space acreage, specific to the Harmony development, is required at 273 square feet per unit, or 1.42 acres. The development requires 142 amenity points 142 and 632 points are proposed.

The packet materials include both a pitched roof and a flat roof option. Municipal Code currently prohibits flat roofs. Because the units front along Walden Parkway, the fencing generally required along major roadways is excluded. The vacation has been included in conjunction with the plat amendment application for efficiency.

Staff recommends that the Planning Commission forward a positive recommendation to the City regarding the Harmony Multifamily site plan and Harmony Phase A Plat 5 street vacation, subject to the following conditions of approval:

1. Fireline clarification in front of Buildings J and K.
2. Lighting shall meet EMMC standards.
3. Recommendation on the stacked unit garage door style.

Commissioner Fox stated that the clubhouse should have a food service area.

Applicant representative Bronson Tatton with Flagship Homes confirmed that the clubhouse will be unmanned and will service only the multifamily units. They are amenable to adding a food service area. The flat roof design would allow them to increase the height of each floor by six inches. The townhomes have detached garages and are designed with a main floor master suite and an expansion option.

Commissioner Everett arrived at City Hall at 6:56 p.m.

Mr. Hobbs explained that the road vacation will alter the road design from a curve to an angled turn connecting Daniel Street and Delta Street and provide for yard and sidewalk space.

*Commissioner Bergener opened the public hearing at 6:57 p.m. As there were no comments, he closed the hearing.*

**MOTION:** *Commissioner Fox moved to recommend approval to the City Council of the site plan and plat amendment for Harmony Phase A Plat with the following conditions:*

- 1. The clubhouse shall provide a food servicing area;*
- 2. The roofs shall be pitched; and*
- 3. There shall be carriage doors on the garages.*

*Commissioner Allen seconded the motion.*

**AMENDED MOTION:** *Commissioner Fox moved to recommend approval to the City Council of the site plan and plat amendment for Harmony Phase A Plat with the following conditions:*

- 1. The clubhouse shall provide a food servicing area;*
- 2. The roofs shall be pitched;*
- 3. There shall be carriage doors on the garages;*
- 4. The attachment for the Daniel Street and Delta Street vacation shall be included;*
- 5. Fireline clarification in front of Buildings J and K shall be provided; and*
- 6. The lighting shall meet Eagle Mountain Municipal Code standards.*

*Commissioner Allen seconded the motion.*

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>
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<i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>

*The motion passed with a unanimous vote.*

5.B. ACTION ITEM – PUBLIC HEARING: FIREFLY 8.1 1A – PRELIMINARY PLAT

Mr. Hobbs presented the preliminary plat approval for Firefly 8.1 1A, a 74.66-acre subdivision, within the Firefly Planned Community, proposing 169 single-family building lots and 240 multi-family lots (409 total) containing 48.09 acres in building lots, 11.77 acres of open space, and 14.80 acres of paved surface in the first phase of the Firefly master development. The development review committee (DRC) review revealed the need to make some minor revisions to the plat that were incorporated into the revised plat drawings. As per the adopted Firefly Community Plan,

pertaining to twin homes and townhomes, "there are no minimum lot area requirements. Appropriate size is determined by the ability to meet development setback requirements as determined in the community plan." Setback conformance will be checked during building permit review as building lots do not have building envelopes to review for conformity. DRC review revealed the need to make some minor revisions to the plat. Those were incorporated into the revised plat drawings and addressed by way of a narrative. The applicant has submitted an exhibit to improve their connectivity index and better match City zoning.

Staff suggests that the Planning Commission advance a favorable recommendation regarding the proposed preliminary plat contingent on applicant compliance with any conditions of approval deemed warranted, including the provision of code-acceptable streetlights at intersections at acceptable intervals and a 1.75 connectivity index assurance.

Applicant representative David Vitek with Candlelight Homes stated that they are working with staff to replace plants included in the comprehensive landscape plan that was not favorable to the climate of the City. LEI Engineering has prepared an exhibit, that was not included in the packet, demonstrating a connectivity calculation of 1.79 for the project which is in compliance. Candlelight Homes intends to build all the units in this plat. He explained which parts of the overall project will be built by other developers. They are compiling a streetlight and signage plan that will be submitted with the final plat. The townhomes have a mixture of front and alley-loaded units. The alley-loaded units will be placed in highly visible areas. He presented elevation examples of the products planned for the development.

Commissioner Everett informed the applicants that the EMMC 17.72.030(C) prohibits front-loaded townhome units that are garage-dominant. As such, he will not issue a favorable recommendation on any design that he feels is garage dominant when the project returns for future approvals including multifamily unit design.

*Commissioner Everett opened the public hearing at 7:31 p.m. As there were no comments, he closed the hearing.*

**MOTION:** *Commissioner Bergener moved to recommend approval to the City Council of the preliminary plat for Firefly 8.1 1A with the condition that a document illustrating acceptable streetlights at appropriate intervals in accordance with Municipal Code standards shall be included. Commissioner Strong seconded the motion.*

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>
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<i>Matthew Everett</i>	<input type="checkbox"/> <i>Matthew Everett</i>	<input type="checkbox"/> <i>Matthew Everett</i>	<input type="checkbox"/> <i>Matthew Everett</i>
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<i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>

*The motion passed with a unanimous vote.*

## 5.C. ACTION ITEM – PUBLIC HEARING: MARKETPLACE AT EAGLE MOUNTAIN TOWN CENTER DEVELOPMENT AGREEMENT AMENDMENT

Planner Steven Lehmitz presented the item. A Development Agreement was entered into on January 13, 2021, pertaining to the Marketplace development. Much of the east and south sides of the development have been constructed or are currently under review, including Macey's as the anchor commercial lot. In discussions with the developer about constructing the external walls on the north and west perimeters of the property, it was determined that amending the current agreement would be a possible solution to the timing and placement issues. A recent final plat submittal for a portion of the development also triggered some questions to be addressed in the proposed changes.

Proposed changes and items for review:

- Section 3: Road width changing from 53 feet to 60 feet. Engineering has expressed that they have no concerns with the increased right-of-way width.
- Section 3: Road Section D being constructed with the newly created Area D. The current agreement would require the developer to construct Road Section A from Eagle Mountain Boulevard to Raven Way prior to certificates of occupancy being issued for that area. A final plat within the current Area A is being reviewed by staff. Area D is being proposed to change the internal road layout and timing to fit with later development occurring on the site. It is staff's opinion, however, that as development occurs along Eagle Mountain Boulevard, it would be advantageous to have an internal road connection to the residential units north of the Marketplace development. This allows easier access to the site(s) without having to traverse Eagle Mountain Boulevard or Pony Express Parkway.
- Section 6: Changes the timing of constructing the new detention area from Area A to Area D. It will have to be determined if the retention area should be constructed in conjunction with the adjacent internal road or at a different time.
- Section 7: The entirety of the project is currently zoned Commercial Community.
- Section 7: Instead of requiring the external walls to be constructed all at one time along the north and west property lines, the proposal ties the timing of construction to each area, needing to be completed before certificates of occupancy are issued. Area B currently has Lots 201 and 202 under construction and certificates of occupancy will not be withheld, though Lots 203-205 will be until the wall is completed.
- Section 8: Language regarding a land swap between the City and the developer is removed as the developer does not intend to exercise that option.
- Section 9: Change to have landscaping along public roads constructed with each site development.
- Section 16: The current agreement expires ten years from January 13, 2021. The proposal does not change anything in this section, making it so that approval would restart the ten-year term. EMMC 16.10.080(C)(2) notes that the duration of a development agreement shall not extend longer than six years.
- Exhibit B: The exhibit was updated to reflect what has already been constructed and current plans for the site.

- Exhibit C: Changes to this exhibit include internal road layout, adjusting Areas A-C, and creating Area D.

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the proposed changes to the Marketplace at Eagle Mountain Town Center Development Agreement with the following condition Internal Road Section A shall be completed with Area A as stated in the current agreement (the layout may change as shown in the proposed Exhibit C).

Mr. Draper confirmed that a ten-year term was retained in the agreement. The six-year term requirement has not been adhered to during his time with the City. The City has the option to approve a longer term than six years. In his perspective, it is favorable to have a term that aligns with the anticipated period the developer expects for construction to be completed.

Commissioner Everett explained that the six-year agreement term with two optional two-year extensions is a recent change to Municipal Code.

Discussion ensued regarding the reason for the limited terms for development agreements and the potential benefits, problems, and complications of the requirement.

Applicant representative Forrest Gaskill stated they have businesses interested in the pad sites located along Eagle Mountain Boulevard. Businesses are not currently interested in the sites towards the rear of the project, particularly companies that have recently built locations in Saratoga Springs, and he anticipates it will be six to eight years before they will be able to develop those pad sites. At this time, it is not financially viable to develop the front portion if they are also required to put in the detention area and the full road. They desire the flexibility to withhold installing the wall until it is determined if the uses on the back of the property will be commercial or residential to be able to install the wall in the appropriate location to divide and buffer between use types.

*Commissioner Everett opened the public hearing at 7:54 p.m. As there were no comments, he closed the hearing.*

Commissioner Allen stated that although he would prefer to have the road completed, he would be in favor of allowing the commercial development along Eagle Mountain Boulevard to move forward rather than delaying the development until the road can be installed in its entirety. He supports the six-year term requirement with the option of extensions rather than the ten-year term.

Commissioner Bergener said he has no objections to the ten-year term, especially in consideration of the impacts of the market and development in Saratoga Springs impacting interest in the project.

Commissioner Everett said he is comfortable with the proposed language for Area B. He agrees with Commissioner Allen that although it is desirable to have the road connect from Area A through Area D, he does not wish to require the road if it means delaying the development of Area A. Even though interest in Area C for commercial office uses is low at the moment, he advocated for retaining the use rather than allowing multifamily due to limited commercially zoned property

in the City. The goal of the six-year development agreement time frame with an allowance for two, two-year extensions is to ensure progress is occurring. As such, he is willing to reset the agreement term for this development to six years and allow the two extensions if necessary.

**MOTION:** *Commissioner Allen moved to recommend approval to the City Council of the amendment to the Eagle Mountain Town Center Development Agreement with the change to Section 16 Term of Agreement to six years from the date of approval. Commissioner Bergener seconded the motion.*

Commissioner Everett inquired if Commissioner Allen desired to address the timing of the improvement of the detention area and the construction of the road in the motion.

Commissioner Allen clarified that his intention is to recommend approval with the detention area improvement and road construction as proposed in the staff report.

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>
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*The motion passed with a unanimous vote.*

6. Discussion Items

6.A. UPDATE – TRAILS GIS DATABASE

Mr. Mumford explained that interns were hired over the summer to compile GPS data for the City’s off-street, unpaved trails to input into the geographic information system (GIS) database to update the Bike and Pedestrian Master Plan with an Off-Street Recreation Trails Plan focusing on biking, hiking, ATV, and equestrian uses and expanding into Bureau of Land Management (BLM) land near the Hidden Valley and Firefly developments.

6.B. UPDATE – ZONING MAP STATUS

Mr. Mumford explained the progress and challenges encountered while updating the City’s zoning map and presented the progress and future features staff is working on adding to the zoning map. A beta version of the map will be provided to the Commission to test and provide feedback on to allow staff to resolve any issues prior to the zoning map being made available to the public.

Discussion clarified the purpose and uses of the zoning map, integration with the City’s Future Land Use and Transportation Corridors Map in the General Plan, current zoning of properties in the City, and methods to amend and resolve conflicts between the City’s desired zoning and resident or developer desired zoning for properties.

Staff is compiling data to determine the approved zoning in areas of the City. The adoption of land use regulations and the amendment of the zoning map will undergo review and recommendation by the Commission, public hearings, and approval of the City Council.

Mr. Mumford recognized the existence of disagreement on the zoning of certain properties and explained that the intention is to clarify existing zoning rather than changing the zoning of properties. Property owners are notified regarding any proposed changes to the zoning of their property.

7. Next Scheduled Meeting

The next Planning Commission meeting is scheduled for September 12, 2023.

8. Adjournment

**MOTION:** *Commissioner Allen moved to adjourn at 8:33 p.m. Commissioner Everett seconded the motion.*

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>	<input type="checkbox"/> <i>Jason Allen</i>
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<i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>	<input type="checkbox"/> <i>Brent Strong</i>

*The motion passed with a unanimous vote.*

The meeting was adjourned at 8:34 p.m.

Approved by the Planning Commission on September 26, 2023.

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Steve Mumford, AICP  
Deputy City Administrator/Community Development Director



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
SEPTEMBER 26, 2023**

<b>TITLE:</b>	ORDINANCE/PUBLIC HEARING -- Panter Rezone
<b>ITEM TYPE:</b>	Rezone
<b>APPLICANT:</b>	Todd and Julie Panter

**ACTION ITEM:**

Yes

**PUBLIC HEARING:**

Yes

**PREPARED BY:**

Steven Lehmitz, Planning

**BACKGROUND:**

Near the end of July, Staff was contacted by the Applicants with questions about how to pursue dividing their lot (Sage Valley Plat A, Lot 16, 1.45 acres) and creating an additional lot. The applicants expressed that this change would fit within their neighborhood as many of the lots are smaller.

It was found that Sage Valley was zoned Residential and developed through the Sage Valley MDA, entered into on July 6, 1999. The MDA vested 67 units across the development and Plat A (21 lots) was developed with 1-acre minimum lots. On September 6, 2005, the MDA was amended, increasing the total vested units to 98, meaning an additional 77 lots could be developed. Sage Valley Plat B platted all 77 of those lots, with 1/2-acre minimum lot sizes. Sage Valley Plat B Phase 2 combined Lots 36 and 37 to create one 2-acre lot.

Staff recommended the Applicants propose a rezone of the property from Residential to RD2, a current zone designation with 1/2-acre minimum lot sizes. To further pursue their request, the Applicants would need to apply for a recorded plat amendment to divide their current lot and create an additional lot.

**ITEMS FOR CONSIDERATION:**

EMMC 17.90.060 contains the criteria for approval of a rezone. These are included below, along with some commentary related to this application.

*A. Compliance with General Plan. The requested zones are consistent with the land uses shown on the general plan's future land use and transportation corridor map, and comply with the policies*

*and provisions of the city general plan.*

- The proposed rezone area is shown on the Future Land Use Map as Agricultural/Rural Density 2. The proposal for RD2 as the new zone designation fits within the Agricultural/Rural Density 2 General Plan Category.

*B. Compatibility Determination. The proposed uses and densities will be reasonably compatible with adjacent land uses and the pattern of proposed uses and densities will appropriately buffer potentially incompatible uses from others based on the assumption that the proposed uses and densities will comply with this title, including the performance standards designed to help ensure land compatibility.*

- The proposed use will continue as residential and density is being increased by one buildable lot. There would be no issues with zone transitioning/buffering as 1/2-acre lots are compatible adjacent to 1-acre lots. It should be noted that Sage Valley, though one development, could be seen as two different neighborhoods: the west side (Plat A) with 1-acre lots and the east side (Plat B) with 1/2-acre lots.

*C. City Services. The proposed uses can be accommodated with public services and will not overburden the city's service capacity.*

- The proposition of an additional buildable lot won't overburden the city's service capacity. The Sage Valley neighborhood uses septic tanks.

*D. Traffic Generation. Traffic generation by the proposed uses is within capabilities of streets serving the property.*

- The proposition of an additional buildable lot won't significantly increase traffic generation.

*E. Property Values. The proposed uses are not expected to have a significant negative impact on surrounding property values.*

- The proposition of an additional buildable lot won't have a significant negative impact on surrounding property values.

#### **REQUIRED FINDINGS:**

A rezone is a legislative decision and is considered valid if reasonably debatable and not illegal. The criteria for approval for a rezone are listed in EMMC 17.90.060.

**RECOMMENDATION:**

Staff recommends that the Planning Commission forward the rezone application to the City Council with a positive recommendation with the following condition:

1. The rezone is contingent on the approval of the recorded plat amendment application.

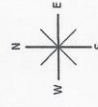
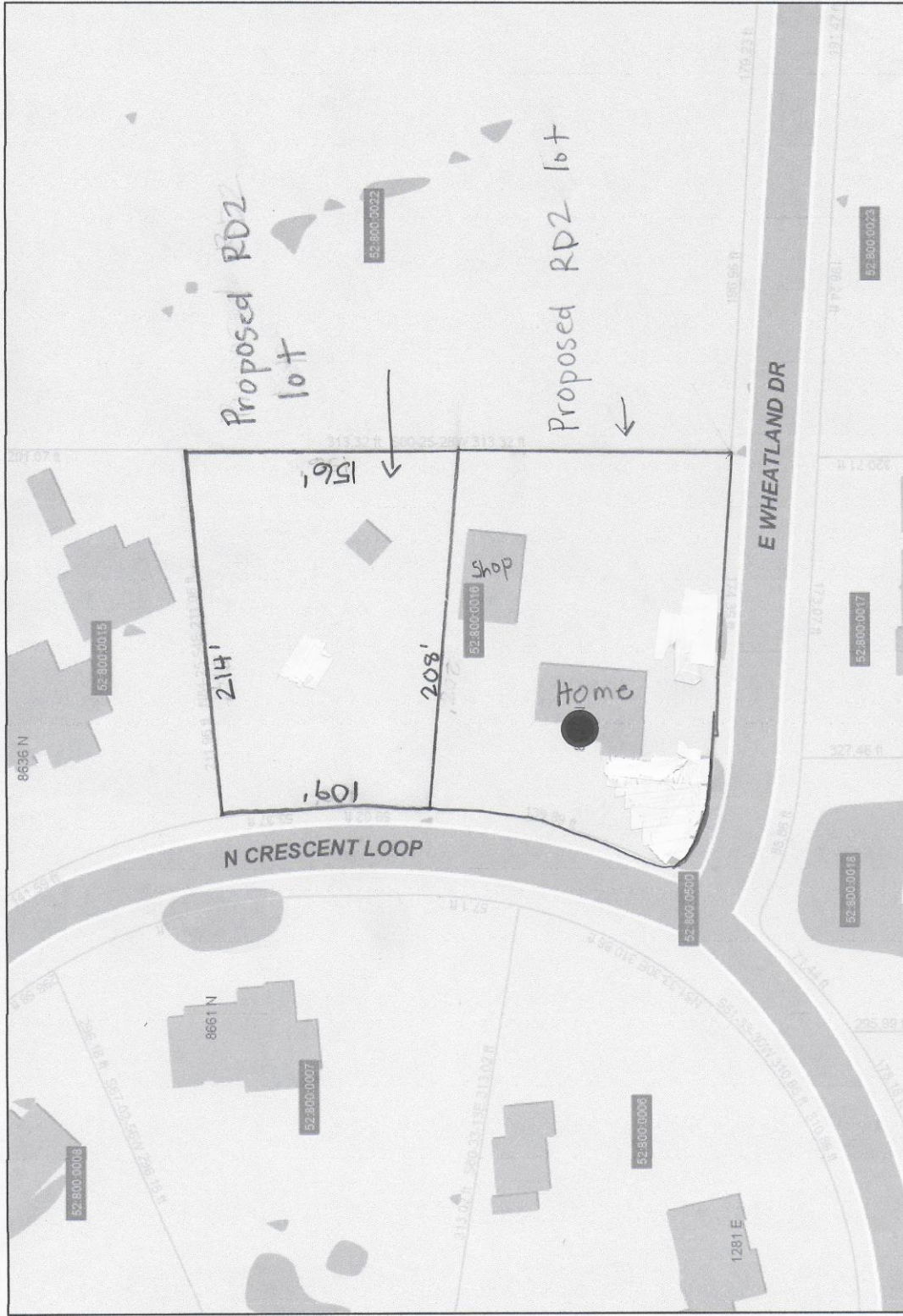
**ATTACHMENTS:**

[Rezone Proposal - Panter](#)

[Vicinity Map - Panter](#)

[Sage Valley Plat A](#)

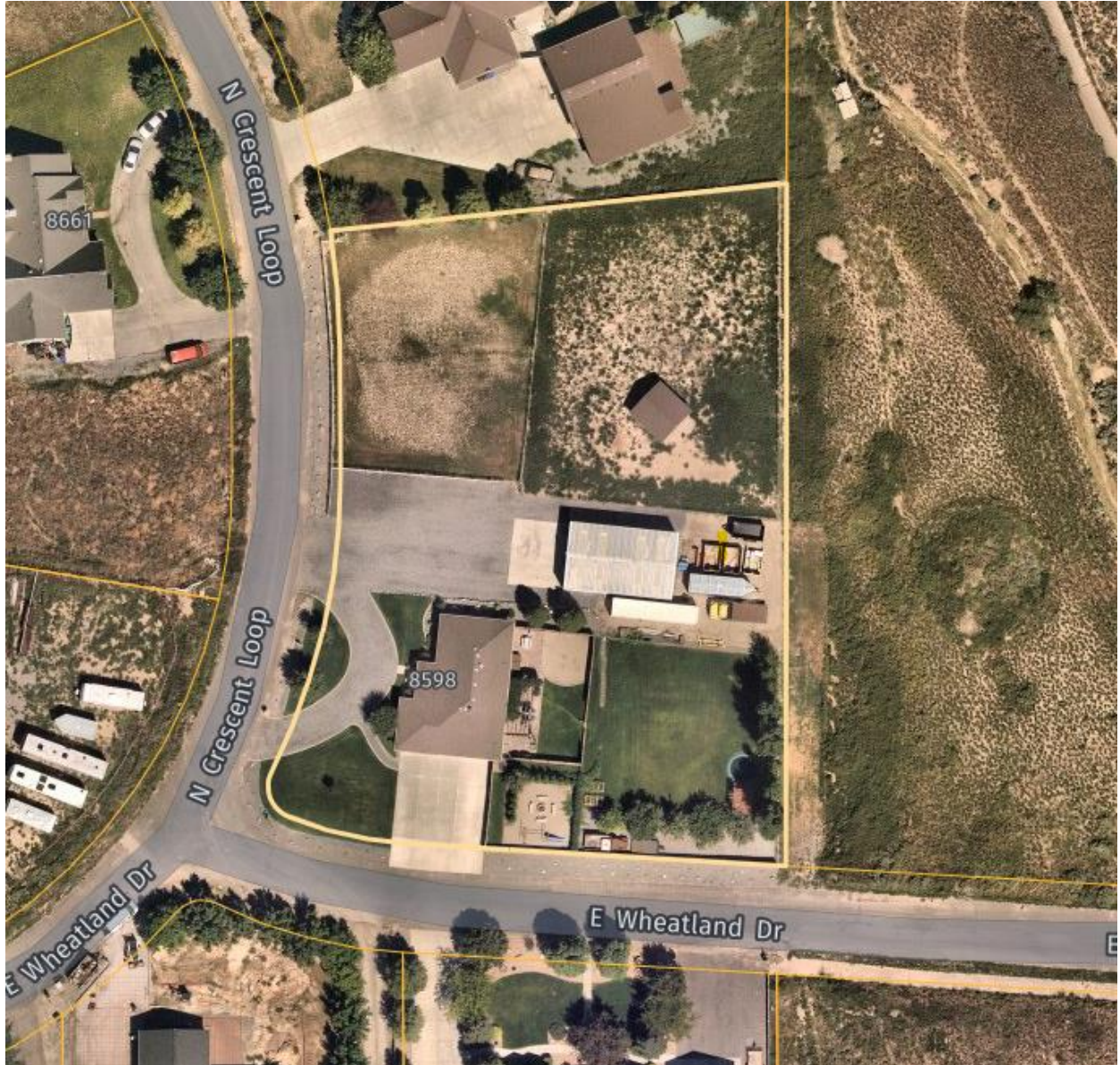
[Proposed Amended Plat - Panter](#)

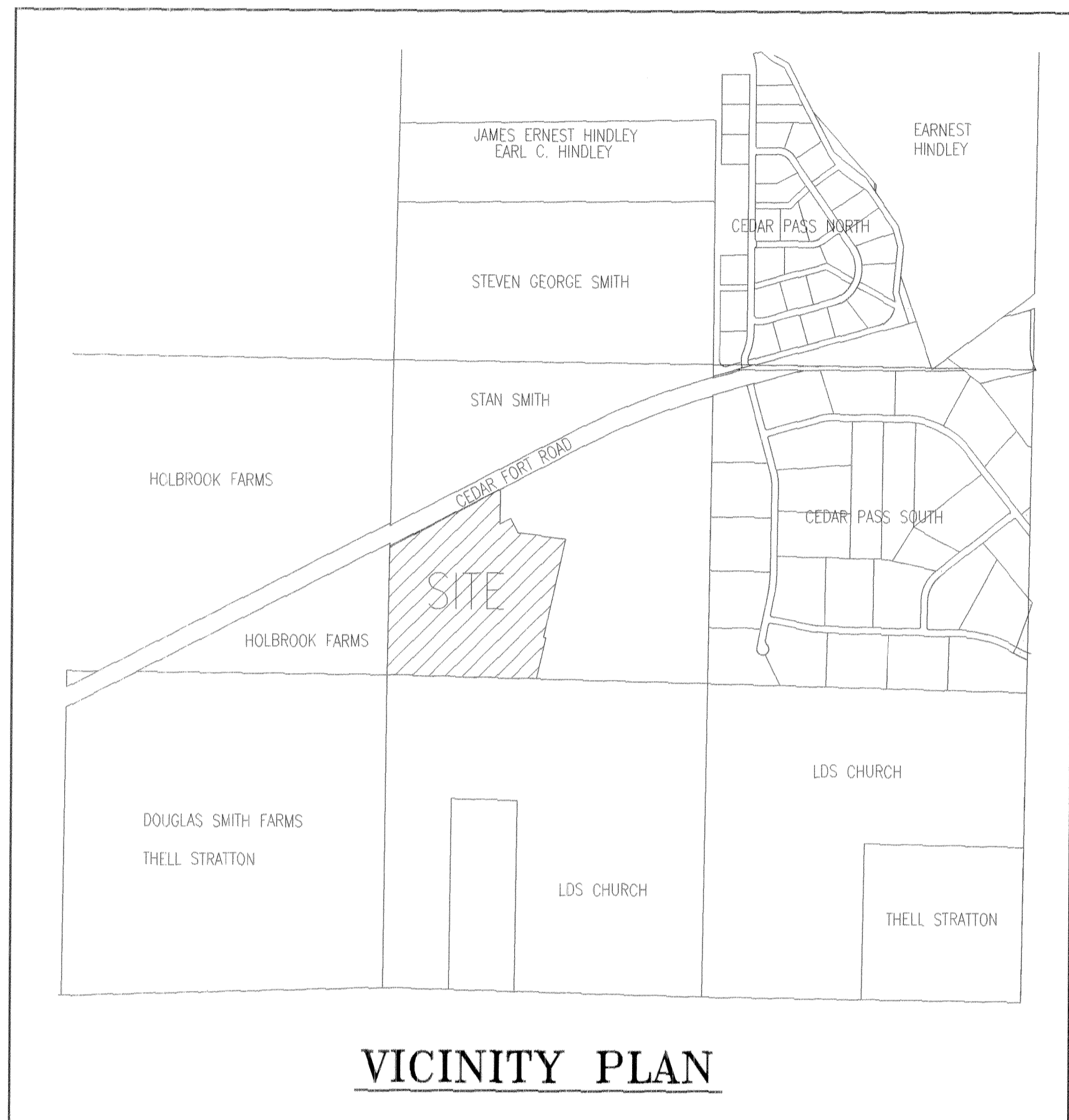


Date: 8/11/2023  
 1 inch equals 94 feet  
 This cadastral map is generated from Utah County Recorder data. It is for reference only and no liability is assumed for any inaccuracies, incorrect data or variations with an actual survey.

Utah County Parcel Map  
 Layout1

# Vicinity Map

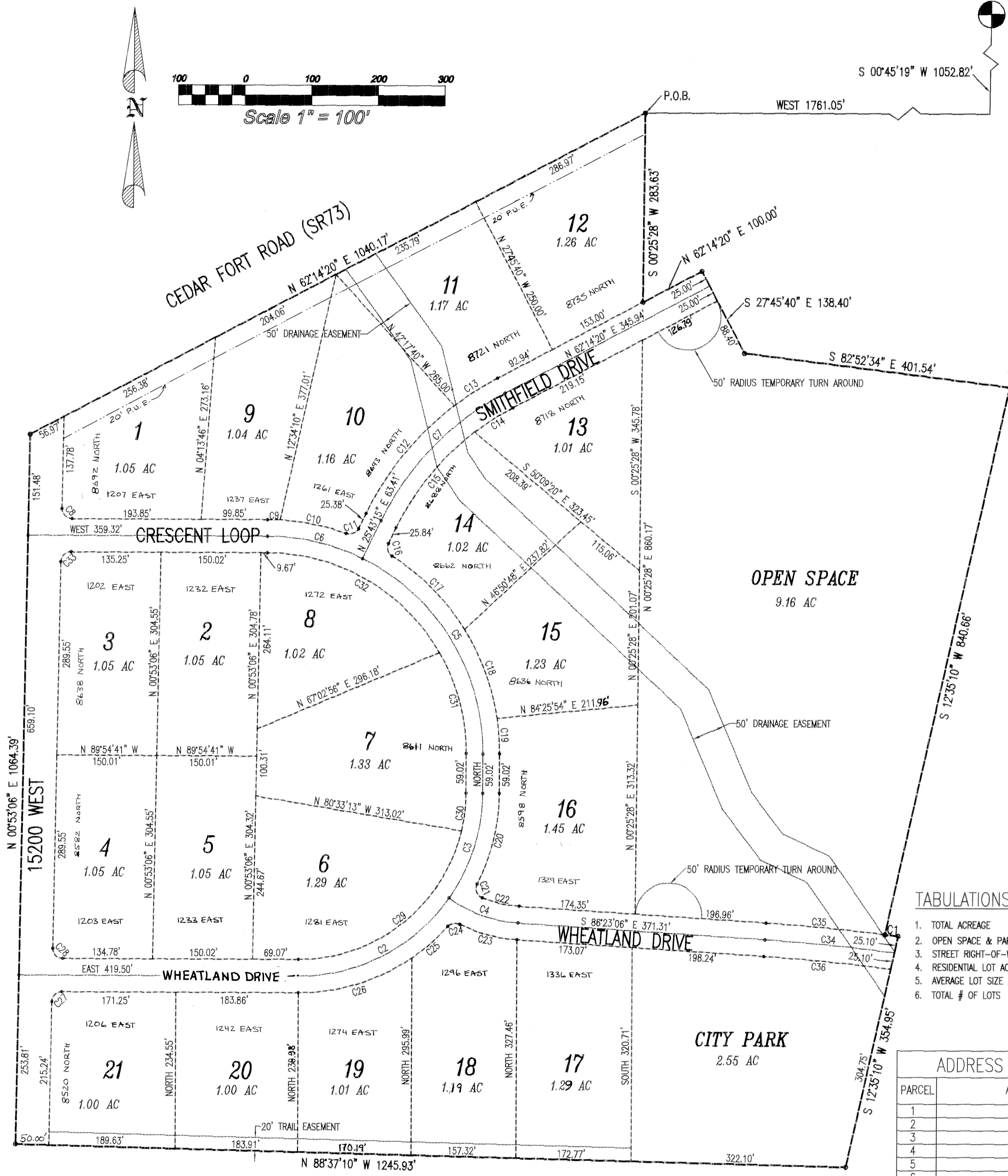




VICINITY PLAN

**CURVE TABLE**

NUMBER	DELTA	CHORD BEARING	R'	L'	LC'
C1	00°24'01"	S 82°36'45" E	2875.00	20.08	20.08
C2	55°01'56"	N 62°29'02" E	275.00	264.14	254.10
C3	34°58'04"	N 17°29'02" E	275.00	167.83	165.24
C4	31°55'23"	S 70°25'25" E	200.00	111.43	110.00
C5	63°54'42"	N 31°57'21" W	325.00	362.53	344.02
C6	26°05'18"	N 76°57'21" W	325.00	147.98	146.71
C7	36°31'05"	N 43°58'47" E	425.00	270.88	266.32
C8	90°53'06"	S 44°33'27" E	15.00	23.79	21.38
C9	03°05'03"	S 88°27'29" E	350.00	18.84	18.84
C10	16°40'27"	S 78°34'44" E	350.00	101.86	101.50
C11	84°02'15"	N 67°44'22" E	15.00	22.00	20.08
C12	26°45'00"	N 39°05'45" E	450.00	210.09	208.19
C13	09°46'06"	N 57°21'17" E	450.00	76.72	76.63
C14	09°42'02"	S 57°23'19" W	400.00	67.72	67.64
C15	26°49'03"	S 39°07'46" W	400.00	187.22	185.52
C16	83°22'45"	S 15°58'07" E	15.00	21.83	19.95
C17	25°34'26"	S 44°52'17" E	350.00	156.22	154.93
C18	23°20'20"	S 20°24'54" E	350.00	142.57	141.59
C19	08°44'44"	S 04°22'22" E	350.00	53.42	53.37
C20	26°57'55"	S 13°28'58" W	300.00	141.19	139.89
C21	94°36'43"	S 20°20'26" E	15.00	24.77	22.05
C22	18°44'18"	S 77°00'57" E	175.00	57.23	56.98
C23	22°46'35"	N 74°59'48" W	225.00	89.44	88.86
C24	74°37'06"	S 79°04'56" W	15.00	19.54	18.18
C25	13°40'34"	S 48°36'40" W	300.00	71.61	71.44
C26	34°33'03"	S 72°43'28" W	300.00	180.91	178.18
C27	89°06'54"	S 45°26'33" W	15.00	23.33	21.05
C28	90°53'06"	S 44°33'27" E	15.00	23.79	21.38
C29	76°53'02"	N 51°33'29" E	250.00	335.47	310.86
C30	13°06'58"	N 08°33'29" E	250.00	57.23	57.10
C31	30°18'44"	N 15°09'22" W	300.00	158.71	156.87
C32	59°41'16"	N 60°08'22" W	300.00	312.52	298.58
C33	89°06'54"	S 45°26'33" W	15.00	23.33	21.05
C34	03°55'44"	S 84°25'14" E	2850.00	195.42	195.39
C35	03°34'21"	S 84°35'56" E	2875.00	179.26	179.23
C36	03°53'02"	S 84°26'35" E	2825.00	191.50	191.47



NOTE: 10' PUBLIC UTILITY EASEMENTS ON ALL LOT LINES UNLESS OTHERWISE INDICATED.  
 \*NO ACCESS OFF OF 15200 WEST FOR LOTS 1,3,4, & 21.

8378-96

APPROVAL AS TO FORM  
 APPROVED AS TO FORM THIS 14 DAY OF Dec A.D., 19 99  
 [Signature] CITY ATTORNEY

**TABULATIONS**

- TOTAL ACREAGE 40.112
- OPEN SPACE & PARK ACREAGE 11.71
- STREET RIGHT-OF-WAY ACREAGE 4.682
- RESIDENTIAL LOT ACREAGE 23.72
- AVERAGE LOT SIZE ACREAGE 1.13
- TOTAL # OF LOTS 21

**ADDRESS BLOCK**

PARCEL	ADDRESS
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	

**SURVEYOR'S CERTIFICATE**  
 I, David V. Thomas DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 163947 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, PUBLIC OPEN SPACE, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.  
 DATE Oct. 29 1998 SURVEYOR David Thomas (SEE SEAL BELOW)

**BOUNDARY DESCRIPTION**  
 Beginning at a point on the southerly boundary of a highway, said point being located South 00°45'19" West along quarter section line 1052.82 feet and West 1761.05 feet from the North quarter corner of Section 24, Township 5 South, Range 2 West, Salt Lake Base and Meridian;  
 Thence South 00°25'28" West 283.63 feet; thence North 62°14'20" East 100.00 feet; thence South 27°45'40" East 138.40 feet; thence South 82°52'34" East 401.54 feet; thence South 12°35'10" West 840.66 feet; thence along the arc of a 2875.00 foot radius curve to the right 20.08 feet (Curve has a central angle of 00°24'01" and a chord bearing South 82°36'45" East 20.08 feet); thence South 12°35'10" West 354.95 feet; thence North 88°37'10" West 1245.93 feet; thence North 00°53'06" East 1064.39 feet; thence North 62°14'20" East 1040.17 feet to the point of beginning.  
 Area: 40.112 acres

**EAGLE MOUNTAIN DEVELOPER PLAT DEDICATION**  
 WE, THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THE PLAT TO BE DIVIDED INTO LOTS, STREETS, OPEN SPACE, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THIS PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9-807 UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO THE TOWN OF EAGLE MOUNTAIN, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS, EASEMENTS AND ALL OTHER PLACES OF PUBLIC IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND THE TOWN OF EAGLE MOUNTAIN FOR THE BENEFIT OF THE TOWN AND THE INHABITANTS THEREOF.  
 IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 29 DAY OF November, A.D. 19 98  
Stanley R. Smith Katherine Lynn Smith  
 STANLEY R. SMITH KATHERINE LYNN SMITH

**ACKNOWLEDGMENT**  
 STATE OF UTAH }  
 COUNTY OF UTAH } S.S.  
 ON THE 29th DAY OF November, A.D. 19 98 PERSONALLY APPEARED BEFORE ME THE DAY SIGNING THE FOREGOING OWNERS KNOWN TO ME TO BE AUTHORIZED TO EXECUTE THE FOREGOING OWNERS DEDICATION FOR AND ON BEHALF OF THE OWNERS WHO DULY ACKNOWLEDGED TO ME THAT THE OWNERS DEDICATION WAS EXECUTED BY THEM ON BEHALF OF THE OWNERS.  
 MY COMMISSION EXPIRES 12/31/00  
David V. Thomas NOTARY PUBLIC

**ACCEPTANCE BY LEGISLATIVE BODY**  
 THE TOWN COUNCIL OF EAGLE MOUNTAIN TOWN COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 6th DAY OF JANUARY, A.D. 19 2000  
Paul B. Jorgensen MAYOR  
 APPROVED James C. Mullen ATTEST James B. Valentine  
 CITY ENGINEER (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

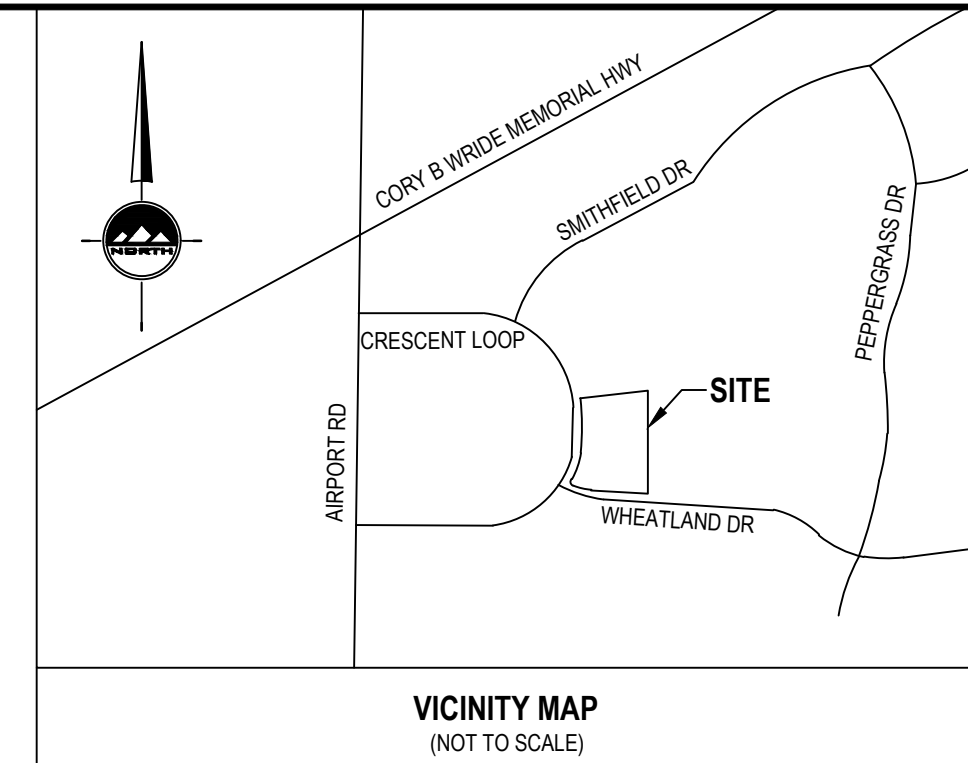
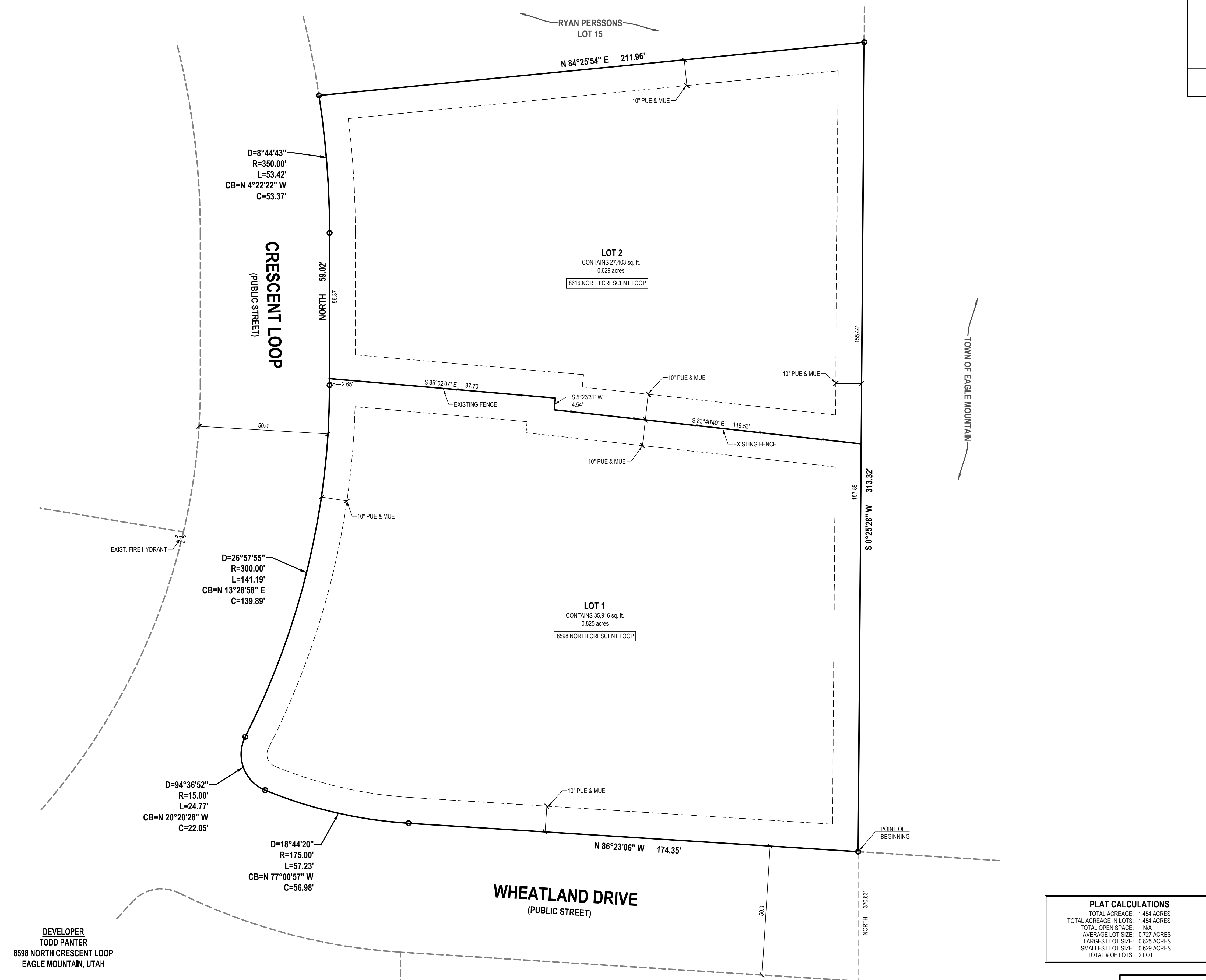
**PLANNING COMMISSION APPROVAL**  
 APPROVED THIS 6th DAY OF JANUARY, A.D. 19 2000 BY THE EAGLE MOUNTAIN TOWN PLANNING COMMISSION  
William E. Cole CHAIRMAN, PLANNING COMMISSION

PLAT "A"  
**SAGE VALLEY SUBDIVISION**  
 LOCATED IN THE SE 1/4 OF SECTION 17, T5S, R1W, SLB&M  
 SUBDIVISION EAGLE MOUNTAIN TOWN, UTAH COUNTY, STATE OF UTAH  
 SCALE: 1" = 100 FEET

REGISTRATION: No. 163947 DAVID V. THOMAS STATE OF UTAH  
 NOTARY PUBLIC SEAL  
 CITY ENGINEER SEAL  
 CLERK-RECORDER SEAL

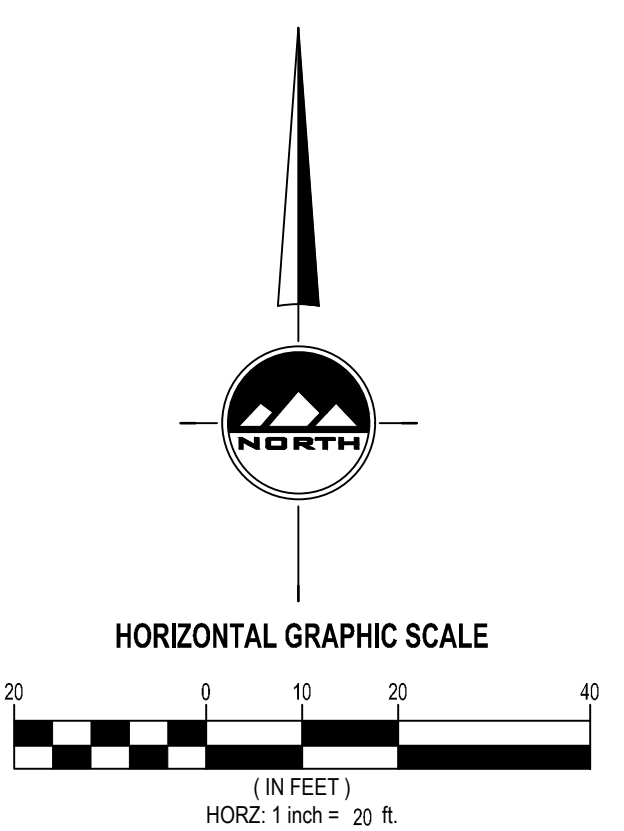
# SAGE VALLEY PLAT "A" AMENDED

VACATING, AMENDING, AND RE-SUBDIVIDING  
 LOT 16, SAGE VALLEY PLAT "A"  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 24,  
 TOWNSHIP 5 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
 EAGLE MOUNTAIN, UTAH COUNTY, UTAH



### LEGEND

- SECTION CORNER  
SET 5/8" REBAR AND CAP, OR NAIL STAMPED "ENSGN ENG. & LAND SURV." AT ALL LOT CORNERS. OFFSET PINS TO BE PLACED IN THE BACK OF CURB WHERE APPLICABLE, IN LIEU OF REBAR AND CAP AT FRONT CORNERS.
- FOUND REBAR AND CAP, STAMPED AS NOTED ON PLAT
- SECTION LINE
- CENTERLINE
- PROPERTY LINE
- EASEMENT LINE
- EXISTING FENCE LINE



**SURVEYOR'S CERTIFICATE**  
 I, BENJAMIN D. HANEL, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 1286042 in accordance with Title 58, Chapter 22, of the Utah State Code. I further certify that by authority of the Owner(s), that I have completed a survey of the property described on this plat in accordance with Section 17-23-17, or said code, and have subdivided said tract of land into lots, blocks, streets, and easements, and the same has, or will be, correctly surveyed, staked and monumented on the ground as shown on this plat, and that this plat is true and correct.

**BOUNDARY DESCRIPTION**

A parcel of land situate in the Northwest Quarter of Section 24, Township 5 South, Range 2 West, Salt Lake Base & Meridian, being more particularly described as follows:

Beginning at a point on the northerly line of Wheatland Drive, said point being South 88°37'10" East 928.26 feet along the section line and North 370.63 feet from the West Quarter Corner of Section 24, Township 5 South, Range 2 West, Salt Lake Base & Meridian, said point also being the southeast corner of Lot 16 Sage Valley Subdivision Plat "A", and running:

thence North 86°23'06" West 174.35 feet along the northerly line of Wheatland Drive;

thence Westerly 57.23 feet along the arc of a 175.00 foot radius curve to the right (center bears North 03°36'53" East and the chord bears North 77°00'57" West 56.98 feet with a central angle of 18°44'20") along the northerly line of Wheatland Drive;

thence Northerly 24.77 feet along the arc of a 15.00 foot radius curve to the right (center bears North 22°21'06" East and the chord bears North 20°20'28" West 22.05 feet with a central angle of 94°36'52") to the easterly line of Crescent Loop;

thence Northerly 141.19 feet along the arc of a 300.00 foot radius curve to the left (center bears North 63°02'05" West and the chord bears North 13°28'58" East 139.89 feet with a central angle of 26°57'55") along the easterly line of Crescent Loop Drive;

thence North 59.02 feet along the easterly line of Crescent Loop Drive;

thence Northerly 53.42 feet along the arc of a 300.00 foot radius curve to the left (center bears South 89°59'59" West and the chord bears North 04°22'22" West 53.37 feet with a central angle of 08°44'43") along the easterly line of Crescent Loop Drive to the southwest corner of Lot 15 of Sage Valley Subdivision Plat "A";

thence North 84°25'54" East 211.96 feet along the south line of said Lot 15;

thence South 00°25'24" West 313.32 feet to the Point of Beginning.

Contains 63,318 square feet or 1.454 acres in 2 Lots.

DATE 9/14/23 SURVEYOR B. Hanel  
 BENJAMIN D. HANEL, NO. 1286042  
 (SEE SEAL BELOW)

**OWNER'S DEDICATION**

WE, THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-8A-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

NAME \_\_\_\_\_

**INDIVIDUAL ACKNOWLEDGMENT**

STATE OF UTAH ) S.S.  
 County of UTAH )

On the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_, \_\_\_\_\_ in said County of \_\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of \_\_\_\_\_, in said State of Utah, who after being duly sworn, acknowledged to me that He/She/They signed the Owner's Dedication, \_\_\_\_\_ in number, freely and voluntarily for the purposes therein mentioned.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_ RESIDING IN \_\_\_\_\_ COUNTY.

**APPROVAL BY LEGISLATIVE BODY**

THE CITY COUNCIL OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL THE STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

APPROVED BY MAYOR \_\_\_\_\_ APPROVED BY CITY ATTORNEY \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ ATTEST: \_\_\_\_\_  
 (SEE SEAL BELOW) (SEE SEAL BELOW)

**SAGE VALLEY PLAT "A" AMENDED**  
 VACATING, AMENDING, AND RE-SUBDIVIDING  
 LOT 16, SAGE VALLEY PLAT "A"  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 24,  
 TOWNSHIP 5 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
 EAGLE MOUNTAIN, UTAH COUNTY, UTAH

Dominion Energy Utah  
 Questar Gas Company dba Dominion Energy Utah, hereby approves this plat for the purpose of approximating the location, boundaries, course and dimensions of the Rights-of-Way and Easement Grants and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The Rights-of-Way and easements are subject to numerous restrictions appearing on the recorded right-of-way and easement grant(s). Dominion Energy Utah also hereby approves this plat for the purpose of confirming that the plat contains public utility easements; however, Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set in the Owners Dedication or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 800-366-8532.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
 DOMINION ENERGY, INC.

BY \_\_\_\_\_ TITLE \_\_\_\_\_

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. § 94-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. § 10-9A-603 ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

2.1. A RECORDED EASEMENT OR RIGHT-OF-WAY

2.2. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS

2.3. TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR

2.4. ANY OTHER PROVISION OF LAW.

ROCKY MOUNTAIN POWER \_\_\_\_\_ DATE \_\_\_\_\_

**PLAT CALCULATIONS**

TOTAL ACREAGE:	1.454 ACRES
TOTAL ACREAGE IN LOTS:	1.454 ACRES
TOTAL OPEN SPACE:	N/A
AVERAGE LOT SIZE:	0.727 ACRES
LARGEST LOT SIZE:	0.825 ACRES
SMALLEST LOT SIZE:	0.629 ACRES
TOTAL # OF LOTS:	2 LOT

**DEVELOPER**  
**TODD PAINTER**  
 8598 NORTH CRESCENT LOOP  
 EAGLE MOUNTAIN, UTAH

**ENSIGN**  
 THE STANDARD IN ENGINEERING

SANDY  
 45 W 10000 S, Suite 500  
 Sandy, UT 84070  
 Phone: 801.255.0529  
 WWW.ENSGNENG.COM

LAYTON  
 Phone: 801.547.1100

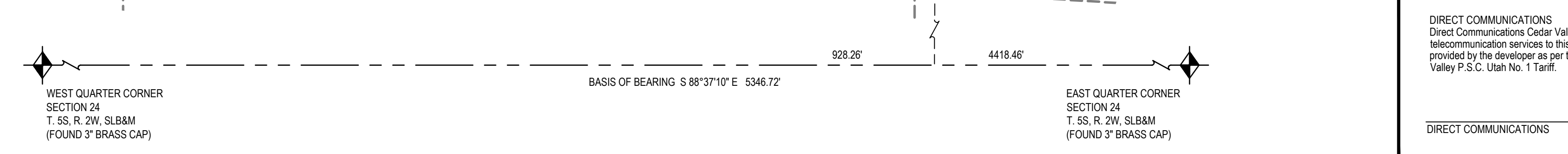
TOOELE  
 Phone: 435.943.3390

CEGAR CITY  
 Phone: 435.865.1453

RICHFIELD  
 Phone: 435.896.2983

**SHEET 1 OF 1**

PROJECT NUMBER: 12702  
 MANAGER: BDH  
 DRAWN BY: BDH  
 CHECKED BY: PHH  
 DATE: 9/14/23



DIRECT COMMUNICATIONS  
 Direct Communications Cedar Valley, LLC certifies that it will provide telecommunication services to this subdivision utilizing the trenches provided by the developer as per the Direct Communications Cedar Valley P.S.C. Utah No. 1 Tariff.

DIRECT COMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

SURVEYORS SEAL

CITY ENGINEER SEAL  
 CITY RECORDER SEAL  
 COUNTY RECORDER SEAL



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
SEPTEMBER 26, 2023**

<b>TITLE:</b>	ORDINANCE -- Panter Recorded Plat Amendment
<b>ITEM TYPE:</b>	Recorded Plat Amendment
<b>APPLICANT:</b>	Todd and Julie Panter

**ACTION ITEM:**

Yes

**PUBLIC HEARING:**

No

**PREPARED BY:**

Steven Lehmitz, Planning

**BACKGROUND:**

Near the end of July, Staff was contacted by the Applicants with questions about how to pursue dividing their lot (Sage Valley Plat A, Lot 16, 1.45 acres) and creating an additional lot. The applicants expressed that this change would fit within their neighborhood as many of the lots are smaller.

It was found that Sage Valley was zoned Residential and developed through the Sage Valley MDA, entered into on July 6, 1999. The MDA vested 67 units across the development and Plat A (21 lots) was developed with 1-acre minimum lots. On September 6, 2005, the MDA was amended, increasing the total vested units to 98, meaning an additional 77 lots could be developed. Sage Valley Plat B platted all 77 of those lots, with 1/2-acre minimum lot sizes. Sage Valley Plat B Phase 2 combined Lots 36 and 37 to create one 2-acre lot.

Staff recommended the Applicants propose a rezone of the property from Residential to RD2, a current zone designation with 1/2-acre minimum lot sizes. To further pursue their request, the Applicants would need to apply for a recorded plat amendment to divide their current lot and create an additional lot.

**ITEMS FOR CONSIDERATION:**

If the proposed rezone is approved, the recorded plat amendment application should be considered under those residential (RD2) zoning standards.

- Both of the newly created lots would be over the 1/2-acre lot size minimum;
- Both lots would have street frontages of at least 100';
- Neither of the new lots would have issues with setbacks

making the lot unbuildable.

EMMC 16.55.030.A.1. Petition. A signed petition shall be submitted that consists of the following: (a) an explanation of the purpose of the proposed amended plat; (b) the name and address of all owners of record of the land contained in the entire plat; (c) the name and address of all owners of record that are adjacent to any street that is proposed to be vacated, altered, or amended; (d) the signatures of each of these owners who consent to the petition.

- The petition submitted by the Applicants fulfills all the requirement, with (c) not being applicable. For (d), the Applicants expressed to Staff that they didn't present the petition to all owners of record within the plat area, just the neighboring properties. Therefore, it can't be determined if the rest of the owners of record consent to the petition or not.

**REQUIRED FINDINGS:**

The approval process for a recorded plat amendment is described in EMMC 16.55.040.

**RECOMMENDATION:**

Staff recommends that the Planning Commission forward the recorded plat amendment application to the City Council with a positive recommendation, along with any conditions or changes made at the meeting.

**ATTACHMENTS:**

[Proposed Amended Plat - Panter](#)

[Sage Valley Plat A](#)

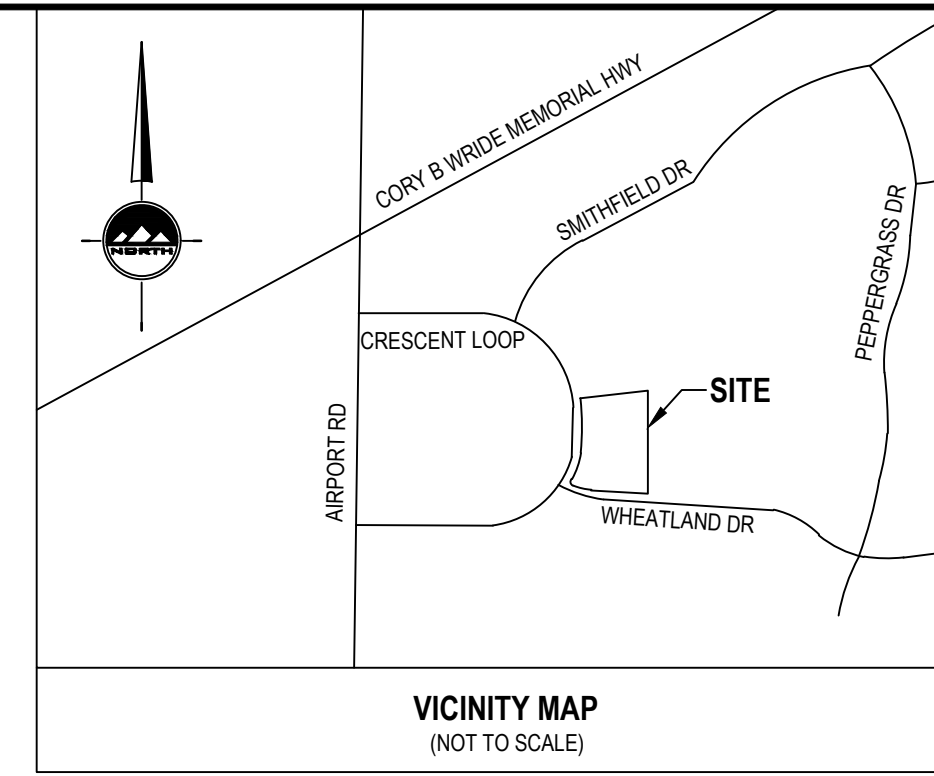
[Petition - Panter](#)

[Vicinity Map - Panter](#)

[Rezone Proposal - Panter](#)

# SAGE VALLEY PLAT "A" AMENDED

VACATING, AMENDING, AND RE-SUBDIVIDING  
 LOT 16, SAGE VALLEY PLAT "A"  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 24,  
 TOWNSHIP 5 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
 EAGLE MOUNTAIN, UTAH COUNTY, UTAH



**SURVEYOR'S CERTIFICATE**  
 I, BENJAMIN D. HANEL, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 1286042 in accordance with Title 58, Chapter 22, of the Utah State Code. I further certify that by authority of the Owner(s), that I have completed a survey of the property described on this plat in accordance with Section 17-23-17, or said code, and have subdivided said tract of land into lots, blocks, streets, and easements, and the same has, or will be, correctly surveyed, staked and monumented on the ground as shown on this plat, and that this plat is true and correct.

**BOUNDARY DESCRIPTION**

A parcel of land situate in the Northwest Quarter of Section 24, Township 5 South, Range 2 West, Salt Lake Base & Meridian, being more particularly described as follows:

Beginning at a point on the northerly line of Wheatland Drive, said point being South 88°37'10" East 928.26 feet along the section line and North 370.63 feet from the West Quarter Corner of Section 24, Township 5 South, Range 2 West, Salt Lake Base & Meridian, said point also being the southeast corner of Lot 16 Sage Valley Subdivision Plat "A", and running:

thence North 86°23'06" West 174.35 feet along the northerly line of Wheatland Drive;

thence Westerly 57.23 feet along the arc of a 175.00 foot radius curve to the right (center bears North 03°36'53" East and the chord bears North 77°00'57" West 56.98 feet with a central angle of 18°44'20") along the northerly line of Wheatland Drive;

thence Northerly 24.77 feet along the arc of a 15.00 foot radius curve to the right (center bears North 22°21'06" East and the chord bears North 20°20'28" West 22.05 feet with a central angle of 94°36'52") to the easterly line of Crescent Loop;

thence Northerly 141.19 feet along the arc of a 300.00 foot radius curve to the left (center bears North 63°02'05" West and the chord bears North 13°28'58" East 139.89 feet with a central angle of 26°57'55") along the easterly line of Crescent Loop Drive;

thence North 59.02 feet along the easterly line of Crescent Loop Drive;

thence Northerly 53.42 feet along the arc of a 350.00 foot radius curve to the left (center bears South 89°59'59" West and the chord bears North 04°22'22" West 53.37 feet with a central angle of 08°44'43") along the easterly line of Crescent Loop Drive to the southwest corner of Lot 15 of Sage Valley Subdivision Plat "A";

thence North 84°25'54" East 211.96 feet along the south line of said Lot 15;

thence South 00°25'24" West 313.32 feet to the Point of Beginning.

Contains 63,318 square feet or 1.454 acres in 2 Lots.

**LEGEND**

- SECTION CORNER  
 SET 5/8" REBAR AND CAP, OR NAIL STAMPED "ENSGN ENG. & LAND SURV." AT ALL LOT CORNERS. OFFSET PINS TO BE PLACED IN THE BACK OF CURB WHERE APPLICABLE, IN LIEU OF REBAR AND CAP AT FRONT CORNERS.
- FOUND REBAR AND CAP, STAMPED AS NOTED ON PLAT
- SECTION LINE
- CENTERLINE
- PROPERTY LINE
- EASEMENT LINE
- EXISTING FENCE LINE

**HORIZONTAL GRAPHIC SCALE**  
 (IN FEET)  
 HORZ: 1 inch = 20 ft.

**OWNER'S DEDICATION**

WE, THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-8A-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 9/14/23 DAY OF SEPTEMBER, A.D. 2023.

NAME \_\_\_\_\_

**INDIVIDUAL ACKNOWLEDGMENT**

STATE OF UTAH )  
 County of UTAH ) S.S.

On the 14 day of SEPTEMBER, A.D. 2023, \_\_\_\_\_ in said State of Utah, who after being duly sworn, acknowledged to me that He/She/They signed the Owner's Dedication, \_\_\_\_\_ in number, freely and voluntarily for the purposes therein mentioned.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_ RESIDING IN \_\_\_\_\_ COUNTY.

**APPROVAL BY LEGISLATIVE BODY**

THE CITY COUNCIL OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL THE STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 14 DAY OF SEPTEMBER, A.D. 2023.

APPROVED BY MAYOR \_\_\_\_\_ APPROVED BY CITY ATTORNEY \_\_\_\_\_

CITY ENGINEER (SEE SEAL BELOW) \_\_\_\_\_ ATTEST: \_\_\_\_\_ CLERK - RECORDER (SEE SEAL BELOW)

APPROVED \_\_\_\_\_

**SAGE VALLEY PLAT "A" AMENDED**  
 VACATING, AMENDING, AND RE-SUBDIVIDING  
 LOT 16, SAGE VALLEY PLAT "A"  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 24,  
 TOWNSHIP 5 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
 EAGLE MOUNTAIN, UTAH COUNTY, UTAH

Dominion Energy Utah  
 Questar Gas Company dba Dominion Energy Utah, hereby approves this plat for the purpose of approximating the location, boundaries, course and dimensions of the Rights-of-Way and Easement Grants and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The Rights-of-Way and easements are subject to numerous restrictions appearing on the recorded right-of-way and easement grant(s). Dominion Energy Utah also hereby approves this plat for the purpose of confirming that the plat contains public utility easements; however, Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set in the Owners Dedication or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 800-366-8532.

APPROVED THIS 14 DAY OF SEPTEMBER, A.D. 2023  
 DOMINION ENERGY, INC.

BY \_\_\_\_\_ TITLE \_\_\_\_\_

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. § 94-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. § 10-9A-603 ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

2.1. A RECORDED EASEMENT OR RIGHT-OF-WAY

2.2. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS

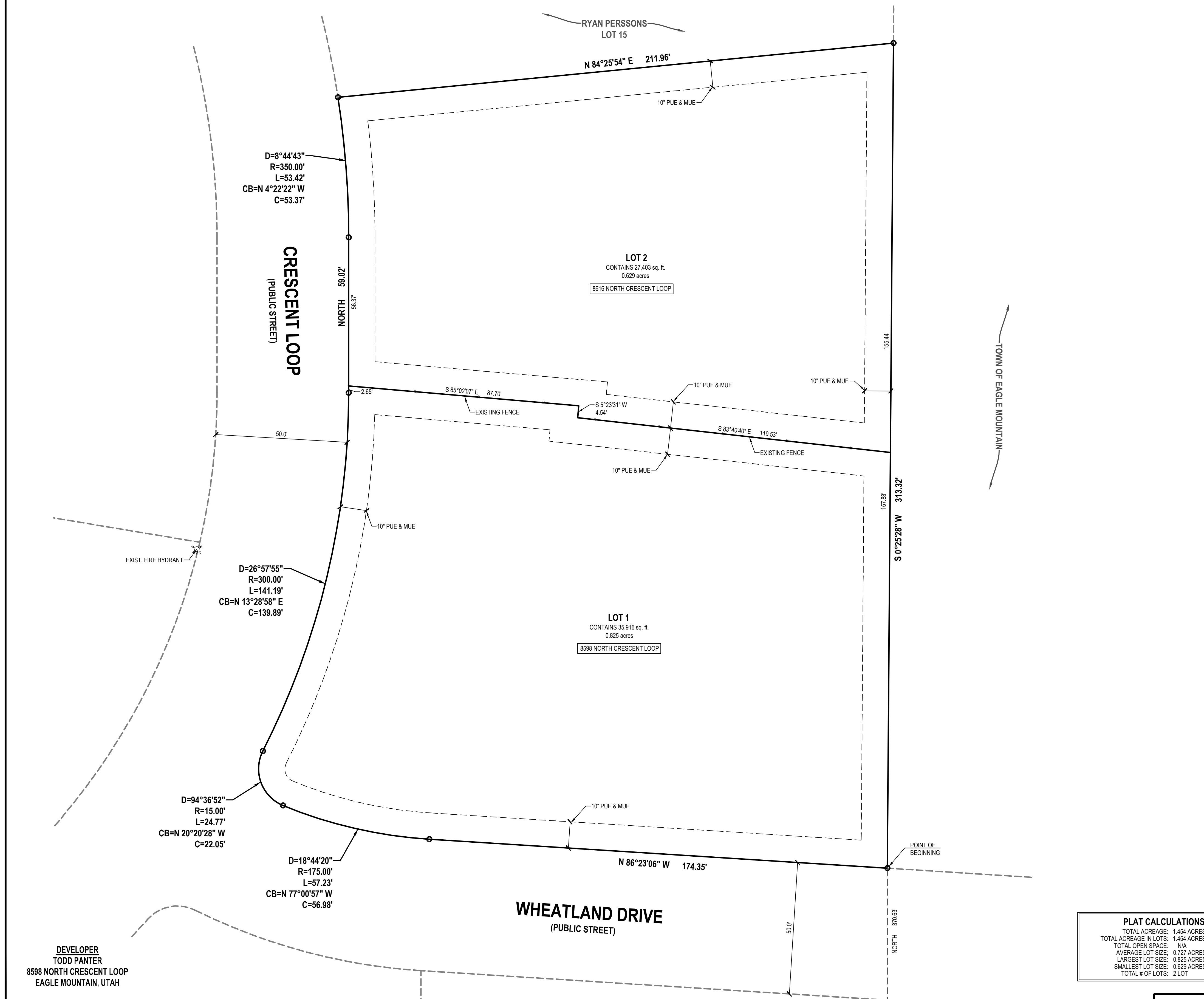
2.3. TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR

2.4. ANY OTHER PROVISION OF LAW.

ROCKY MOUNTAIN POWER \_\_\_\_\_ DATE \_\_\_\_\_

**PLAT CALCULATIONS**

TOTAL ACREAGE:	1.454 ACRES
TOTAL ACREAGE IN LOTS:	1.454 ACRES
TOTAL OPEN SPACE:	N/A
AVERAGE LOT SIZE:	0.727 ACRES
LARGEST LOT SIZE:	0.825 ACRES
SMALLEST LOT SIZE:	0.629 ACRES
TOTAL # OF LOTS:	2 LOT



**ENSGN**  
 THE STANDARD IN ENGINEERING

SANDY  
 45 W 10000 S, Suite 500  
 Sandy, UT 84070  
 Phone: 801.255.0529  
 WWW.ENSGNENG.COM

LAYTON  
 Phone: 801.547.1100

TOOLE  
 Phone: 435.943.3390

CEDAR CITY  
 Phone: 435.865.1453

RICHFIELD  
 Phone: 435.896.2983

**SHEET 1 OF 1**

PROJECT NUMBER: 12702

MANAGER: BDH

DRAWN BY: BDH

CHECKED BY: PHH

DATE: 9/14/23

WEST QUARTER CORNER  
 SECTION 24  
 T. 5S, R. 2W, SL&M  
 (FOUND 3" BRASS CAP)

BASIS OF BEARING S 88°37'10" E 5346.72'

EAST QUARTER CORNER  
 SECTION 24  
 T. 5S, R. 2W, SL&M  
 (FOUND 3" BRASS CAP)

DIRECT COMMUNICATIONS  
 Direct Communications Cedar Valley, LLC certifies that it will provide telecommunication services to this subdivision utilizing the trenches provided by the developer as per the Direct Communications Cedar Valley P.S.C. Utah No. 1 Tariff.

DIRECT COMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

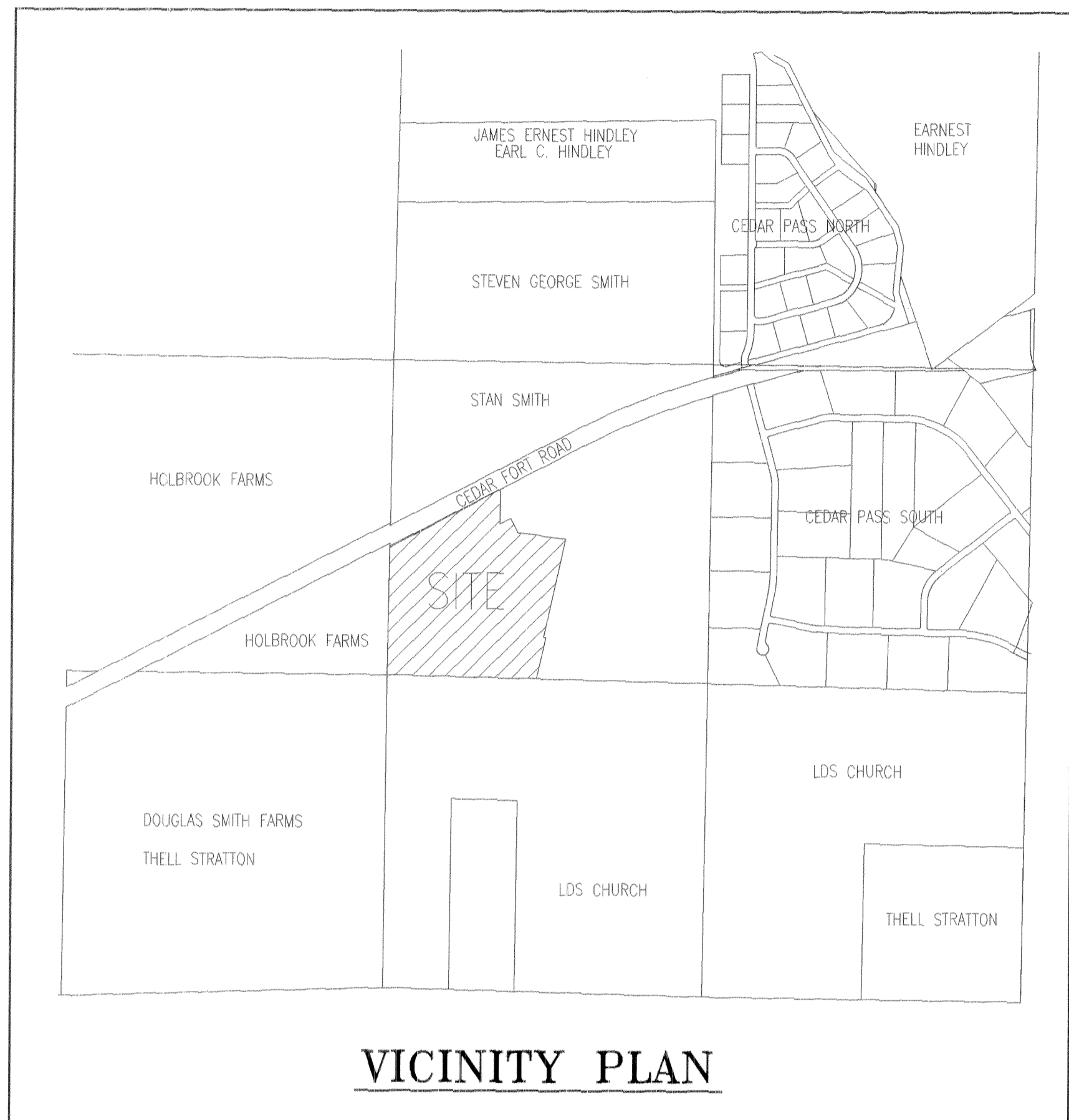
SURVEYORS SEAL

PROFESSIONAL LAND SURVEYOR  
 No. 1286042  
 BENJAMIN D. HANEL  
 STATE OF UTAH

CITY ENGINEER SEAL

CITY RECORDER SEAL

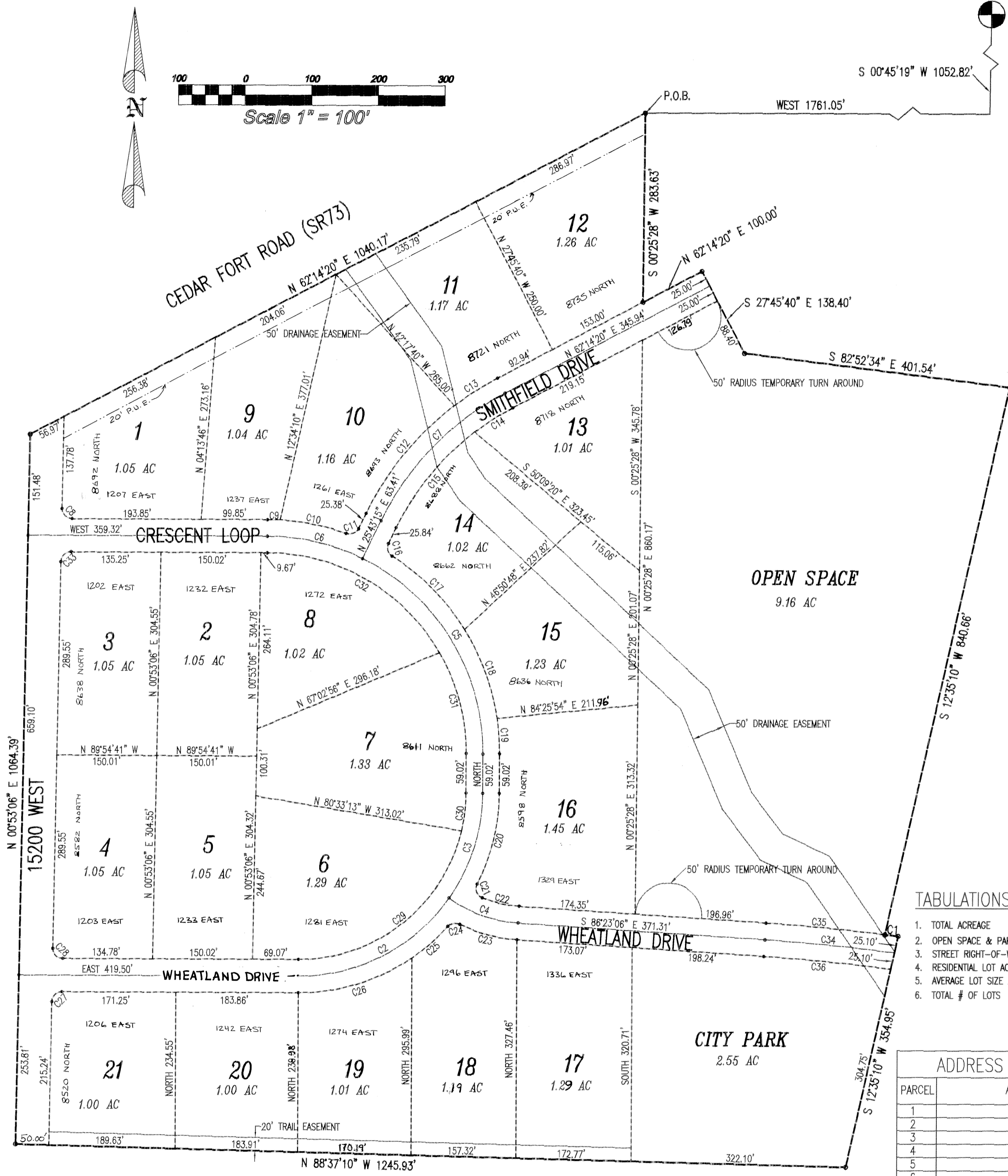
COUNTY RECORDER SEAL



VICINITY PLAN

**CURVE TABLE**

NUMBER	DELTA	CHORD BEARING	R'	L'	LC'
C1	00°24'01"	S 82°36'45" E	2875.00	20.08	20.08
C2	55°01'56"	N 62°29'02" E	275.00	264.14	254.10
C3	34°58'04"	N 17°29'02" E	275.00	167.83	165.24
C4	31°55'23"	S 70°25'25" E	200.00	111.43	110.00
C5	63°54'42"	N 31°57'21" W	325.00	362.53	344.02
C6	26°05'18"	N 76°57'21" W	325.00	147.98	146.71
C7	36°31'05"	N 43°58'47" E	425.00	270.88	266.32
C8	90°53'06"	S 44°33'27" E	15.00	23.79	21.38
C9	03°05'03"	S 88°27'29" E	350.00	18.84	18.84
C10	16°40'27"	S 78°34'44" E	350.00	101.86	101.50
C11	84°02'15"	N 67°44'22" E	15.00	22.00	20.08
C12	26°45'00"	N 39°05'45" E	450.00	210.09	208.19
C13	09°46'06"	N 57°21'17" E	450.00	76.72	76.63
C14	09°42'02"	S 57°23'19" W	400.00	67.72	67.64
C15	26°49'03"	S 39°07'46" W	400.00	187.22	185.52
C16	83°22'45"	S 15°58'07" E	15.00	21.83	19.95
C17	25°34'26"	S 44°52'17" E	350.00	156.22	154.93
C18	23°20'20"	S 20°24'54" E	350.00	142.57	141.59
C19	08°44'44"	S 04°22'22" E	350.00	53.42	53.37
C20	26°57'55"	S 13°28'58" W	300.00	141.19	139.89
C21	94°36'43"	S 20°20'26" E	15.00	24.77	22.05
C22	18°44'18"	S 77°00'57" E	175.00	57.23	56.98
C23	22°46'35"	N 74°59'48" W	225.00	89.44	88.86
C24	74°37'06"	S 79°04'56" W	15.00	19.54	18.18
C25	13°40'34"	S 48°36'40" W	300.00	71.61	71.44
C26	34°33'03"	S 72°43'28" W	300.00	180.91	178.18
C27	89°06'54"	S 45°26'33" W	15.00	23.33	21.05
C28	90°53'06"	S 44°33'27" E	15.00	23.79	21.38
C29	76°53'02"	N 51°33'29" E	250.00	335.47	310.86
C30	13°06'58"	N 08°33'29" E	250.00	57.23	57.10
C31	30°18'44"	N 15°08'22" W	300.00	158.71	156.87
C32	59°41'16"	N 60°08'22" W	300.00	312.52	298.58
C33	89°06'54"	S 45°26'33" W	15.00	23.33	21.05
C34	03°55'44"	S 84°25'14" E	2850.00	195.42	195.39
C35	03°34'21"	S 84°35'56" E	2875.00	179.26	179.23
C36	03°53'02"	S 84°26'35" E	2825.00	191.50	191.47



NOTE: 10' PUBLIC UTILITY EASEMENTS ON ALL LOT LINES UNLESS OTHERWISE INDICATED.  
 \*NO ACCESS OFF OF 15200 WEST FOR LOTS 1,3,4, & 21.

8378-96

APPROVAL AS TO FORM  
 APPROVED AS TO FORM THIS 14 DAY OF Dec A.D., 19 99  
 [Signature] CITY ATTORNEY

**TABULATIONS**

- TOTAL ACREAGE 40.112
- OPEN SPACE & PARK ACREAGE 11.71
- STREET RIGHT-OF-WAY ACREAGE 4.682
- RESIDENTIAL LOT ACREAGE 23.72
- AVERAGE LOT SIZE ACREAGE 1.13
- TOTAL # OF LOTS 21

**ADDRESS BLOCK**

PARCEL	ADDRESS
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	

**TABULATIONS**

- TOTAL ACREAGE 40.112
- OPEN SPACE & PARK ACREAGE 11.71
- STREET RIGHT-OF-WAY ACREAGE 4.682
- RESIDENTIAL LOT ACREAGE 23.72
- AVERAGE LOT SIZE ACREAGE 1.13
- TOTAL # OF LOTS 21

**SURVEYOR'S CERTIFICATE**

I, David V. Thomas DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 163947 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, PUBLIC OPEN SPACE, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.  
 DATE Oct. 29 1998 SURVEYOR David Thomas (SEE SEAL BELOW)

**BOUNDARY DESCRIPTION**

Beginning at a point on the southerly boundary of a highway, said point being located South 00°45'19" West along quarter section line 1052.82 feet and West 1761.05 feet from the North quarter corner of Section 24, Township 5 South, Range 2 West, Salt Lake Base and Meridian;  
 Thence South 00°25'28" West 283.63 feet; thence North 62°14'20" East 100.00 feet; thence South 27°45'40" East 138.40 feet; thence South 82°52'34" East 401.54 feet; thence South 12°35'10" West 840.66 feet; thence along the arc of a 2875.00 foot radius curve to the right 20.08 feet (Curve has a central angle of 00°24'01" and a chord bearing South 82°36'45" East 20.08 feet); thence South 12°35'10" West 354.95 feet; thence North 88°37'10" West 1245.93 feet; thence North 00°53'06" East 1064.39 feet; thence North 62°14'20" East 1040.17 feet to the point of beginning.  
 Area: 40.112 acres

**EAGLE MOUNTAIN DEVELOPER PLAT DEDICATION**

WE, THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THE PLAT TO BE DIVIDED INTO LOTS, STREETS, OPEN SPACE, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THIS PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9-807 UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO THE TOWN OF EAGLE MOUNTAIN, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS, EASEMENTS AND ALL OTHER PLACES OF PUBLIC IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND THE TOWN OF EAGLE MOUNTAIN FOR THE BENEFIT OF THE TOWN AND THE INHABITANTS THEREOF.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 29<sup>th</sup> DAY OF November, A.D. 19 98  
Stanley R. Smith Katherine Lynn Smith  
 STANLEY R. SMITH KATHERINE LYNN SMITH

**ACKNOWLEDGMENT**

STATE OF UTAH }  
 COUNTY OF UTAH } S.S.  
 ON THE 29th DAY OF November, A.D. 19 98 PERSONALLY APPEARED BEFORE ME THE DAY SIGNING THE FOREGOING OWNERS KNOWN TO ME TO BE AUTHORIZED TO EXECUTE THE FOREGOING OWNERS DEDICATION FOR AND ON BEHALF OF THE OWNERS WHO DULY ACKNOWLEDGED TO ME THAT THE OWNERS DEDICATION WAS EXECUTED BY THEM ON BEHALF OF THE OWNERS.  
 MY COMMISSION EXPIRES 12/31/00  
Stanley R. Smith NOTARY PUBLIC

**ACCEPTANCE BY LEGISLATIVE BODY**

THE TOWN COUNCIL OF EAGLE MOUNTAIN TOWN COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 6th DAY OF JANUARY, A.D. 19 2000  
Paul B. Jorgensen MAYOR  
 APPROVED James C. Mullen ATTEST James B. Valentine  
 CITY ENGINEER CITY CLERK-RECORDER  
 (SEE SEAL BELOW) (SEE SEAL BELOW)

**PLANNING COMMISSION APPROVAL**

APPROVED THIS 6th DAY OF JANUARY, A.D. 19 2000 BY THE WILLIAMS TOWN PLANNING COMMISSION  
 DIRECTOR - SECRETARY CHAIRMAN, PLANNING COMMISSION

**SAGE VALLEY SUBDIVISION**

LOCATED IN THE SE 1/4 OF SECTION 17, T5S, R1W, SLB&M  
 SUBDIVISION EAGLE MOUNTAIN TOWN, UTAH COUNTY, STATE OF UTAH  
 SCALE: 1" = 100 FEET

SURVEYOR'S SEAL: REGISTERED LAND SURVEYOR NO. 163947 DAVID V. THOMAS STATE OF UTAH

NOTARY PUBLIC SEAL: SEE ABOVE

CITY ENGINEER SEAL: [Signature]

CLERK-RECORDER SEAL: [Signature]

PLAT "A" BY DAVID V. THOMAS UTAH COUNTY RECORDER 2000 Jan 06 2:30 PM FEE \$1.00 BY SS REGISTERED FOR TOWN OF EAGLE MOUNTAIN

Petition for the proposed plat amendment in regards to  
Todd and Julie Panter's lot in Sage Valley, Lot #16.

Todd and Julie propose to divide their 1.45 acre lot into 2 lots. The existing home would remain, with the other half of the lot sold as vacant property.

Owners within the plat:

Ryan Persson - 8636 N. Crescent Loop  
Steve Bartell - 8662 N. Crescent Loop  
Blaine & Susan Hartwell - 8718 N. Smithfield Drive  
Kyle & Marisa Rogers - 8735 N. Smithfield Drive  
Timothy & Gale Black - 8721 N. Smithfield Drive  
Stacie Bishop - 1261 E. Crescent Loop  
David Meryhew - 1237 E. Crescent Loop  
Han Butler - 1207 E. Crescent Loop  
Leslie & Mark Austin - 1202 E. Crescent Loop  
Dwight & Jennifer Payne - 1232 E. Crescent Loop  
Lance & Audry Wintch - 1272 E. Crescent Loop  
Robert Shawgo - 8611 N. Crescent Loop  
Dallas & Valarie Johnson - 1281 E. Wheatland Drive  
Jacob & Amanda Gillen - 1233 E. Wheatland Drive  
Jeff Ryan - 1203 E. Wheatland Drive  
Melissa Garrett - 1206 E. Wheatland Drive  
Duane & Grace Andrews - 1242 E. Wheatland Drive  
John & Stephanie Wanner - 1274 E. Wheatland Drive  
Palmer Family Trust - 1296 E. Wheatland Drive  
Brandon & Amy Reda - 1336 E. Wheatland Drive

Owners of record of land that is adjacent to proposed amended lot:

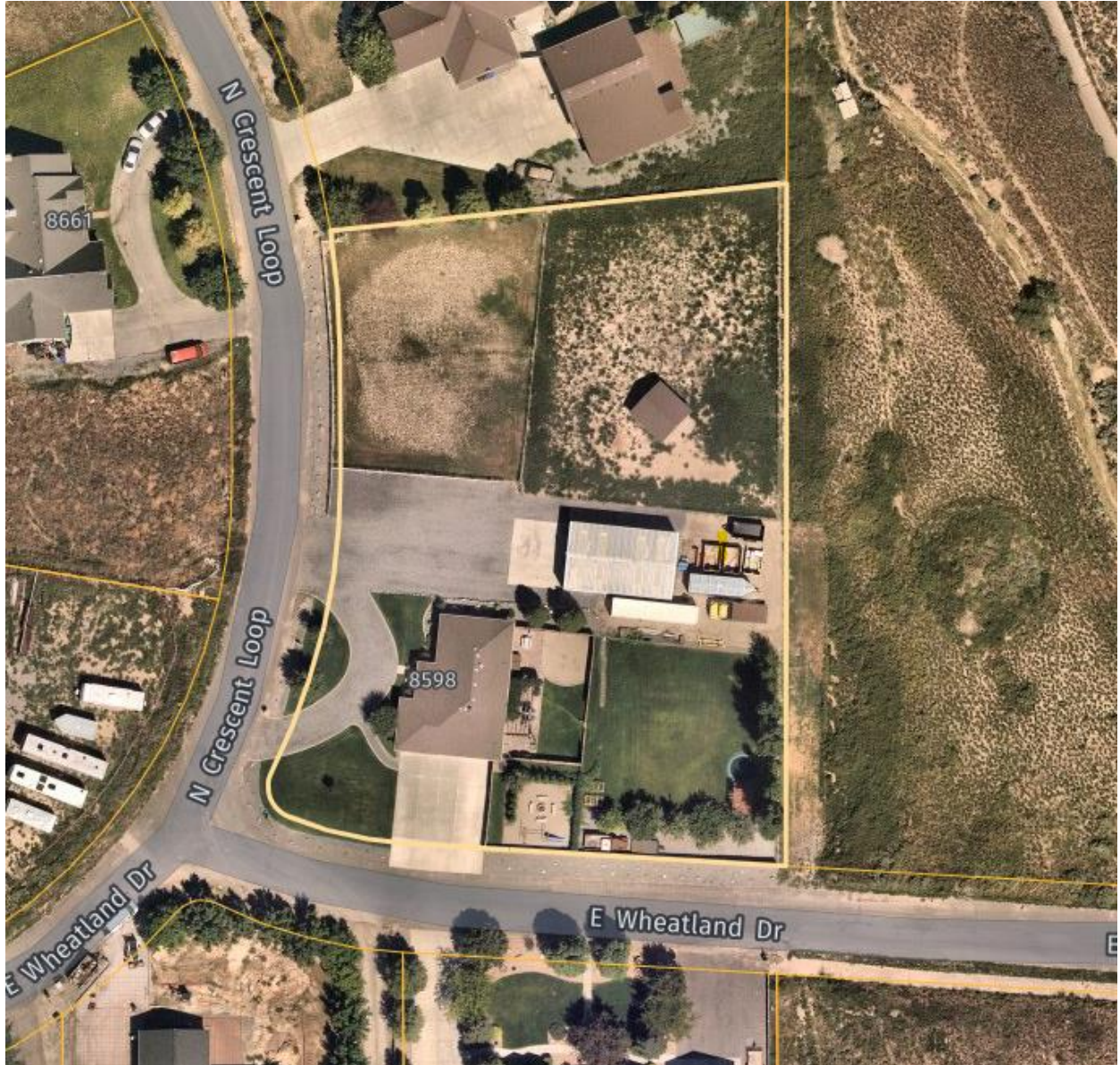
Ryan Persson - 8636 N. Crescent Loop

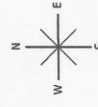
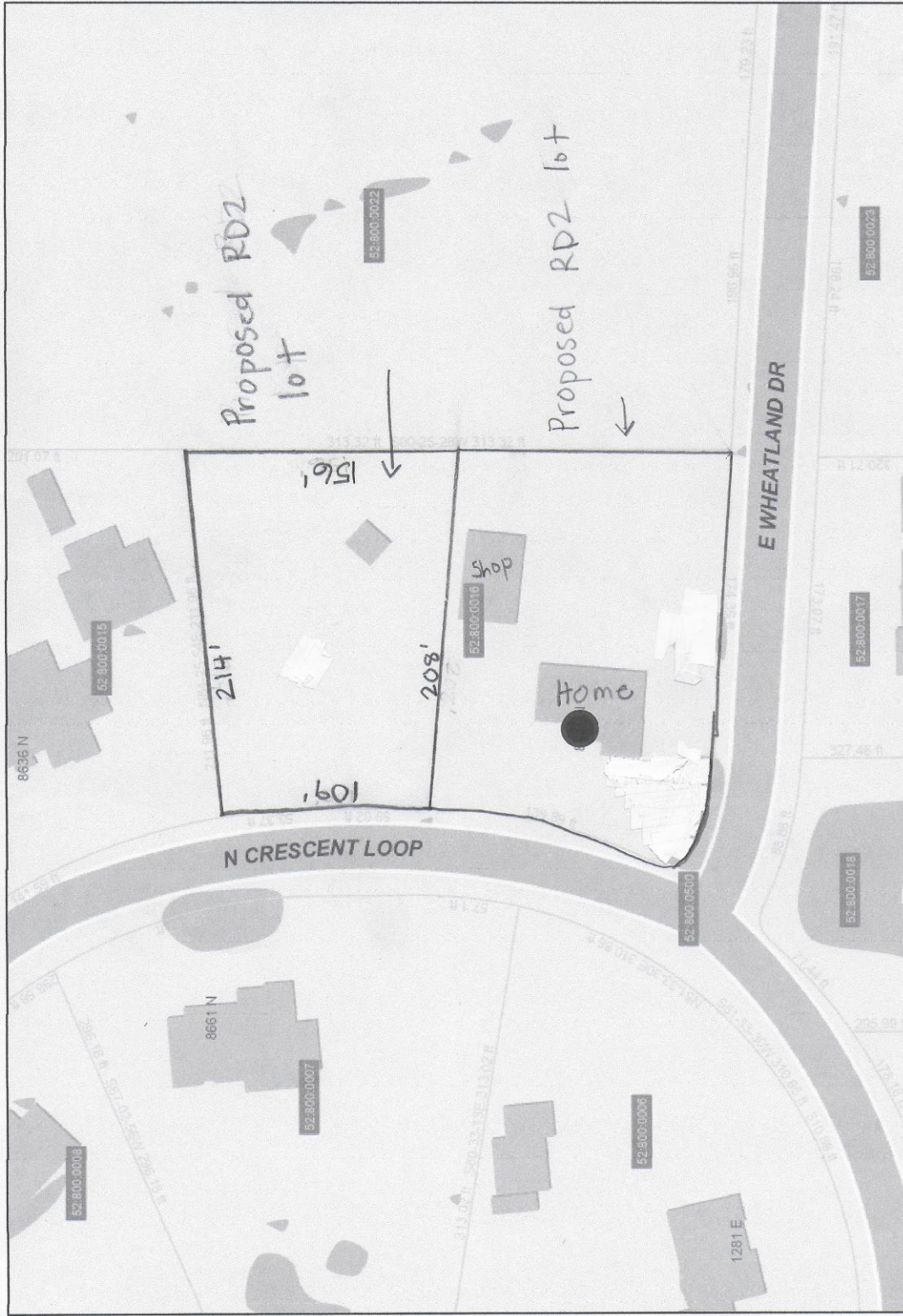
Robert Shawgo - 8611 N. Crescent Loop





# Vicinity Map





Date: 8/11/2023  
 1 inch equals 94 feet  
 This cadastral map is generated from Utah County Recorder data. It is for reference only and no liability is assumed for any inaccuracies, incorrect data or variations with an actual survey.

Utah County Parcel Map  
 Layout1



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
SEPTEMBER 26, 2023**

<b>TITLE:</b>	PRELIMINARY PLAT -- Firefly 5 Phase A
<b>ITEM TYPE:</b>	Preliminary Plat
<b>APPLICANT:</b>	Oquirrh Wood Ranch LLC with David Vitek and Heather Upshaw representing

**ACTION ITEM:**

Yes

**PUBLIC HEARING:**

Yes

**PREPARED BY:**

Robert Hobbs, Planning

**BACKGROUND:**

Submittal of the Preliminary Plat made the subject of this report comes on the heels of the City's approval of an amended Master Development Plan and associated Master Development Agreement. The amendments recomposed the 2010 approved Pole Canyon development project into the Firefly planned community with a collection of design and other changes. The community is still divided into re-defined neighborhood planning areas and Firefly 5 A is but the second of many preliminary plats that will expectedly be submitted to the City for review and approval.

**ITEMS FOR CONSIDERATION:**

**PRELIMINARY PLAT (EMMC § 16.20 & MDP/MDA)**

The Project has been reviewed by the DRC Committee and any suggested "redline" corrections incorporated into plat drawings (currently in Bluebeam electronic files).

**PROVIDED/PROPOSED PLAT CALCULATIONS:**

**General Metrics**

Total Acreage -- 110.00

Land Use Zone(s) -- NPA per re-adopted MDP and MDA

Total Lot Count -- 71 (single-family)

Total Lots Allowed in NPA 5 -- 106

Total Lots Allowed Remaining -- 35

Total Acreage in Lots -- 101.02

Overall Prelim. Plat density -- .64 du/ac

Total Open Space Provided -- 3.87 acres

Asphalt Pavement Area Internal to Subd. -- 5.11 acres

Easements Req'd. as per Plat & City Engineering

**Single-Family Detached Agricultural Type Lots**

Min. Lot Size Req'd.: 21,780 sq. ft.

Min. Lot Width: 90'

**Finding:** All building lots meet min. size & width requirements

**Notes:**

1. DRC review revealed the need to make some minor revisions to the plat. Those were incorporated into the revised plat drawings hereto attached and addressed by way of a narrative also hereto attached.
2. Setback conformance will be checked during building permit review as building lots do not have building envelopes to review for conformity.
3. Open Space & Amenities (EMMC §§ 16.35.105 & 17.25.050(l): Accord with approved Development Agreement; all open space parcels have been labeled and it is noted that landscape plans will be provided in conjunction with final plat submittal(s). Trailhead parking lot plan shown on the plat portrays code acceptable layout with gravel and wheel stops proposed at that particular location.
4. ROW: Compliant with City standards -- 50' rural locals as denoted in the approved Firefly Community Plan
5. Screening: n/a (no commercial/industrial against residential or collector/arterials R<sub>s</sub>OW to screen against
6. Correspondence: Any correspondence from agencies or the citizenry is hereto attached. Agency comments may express opinions regarding the plat and site plan application set, or, be geared towards recommending Conditions of Approval for the entitlement and/or subdivision request should they be approved.
7. Street Segments/Intersections Connectivity Quotient: 2 (acceptable)

**REQUIRED FINDINGS:**

Plat approvals are based upon compliance with City code requirements and requirements of any applicable Development Agreement(s). Approval criteria [Conclusions of Law] for a Preliminary Plat Approval review request are included in EMMC § 16.20.

**RECOMMENDATION:**

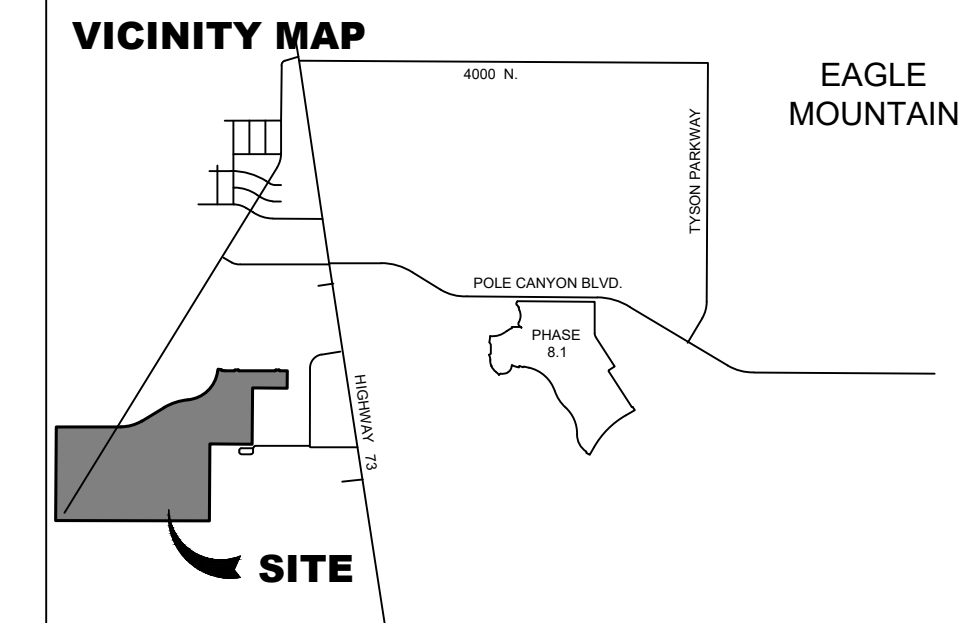
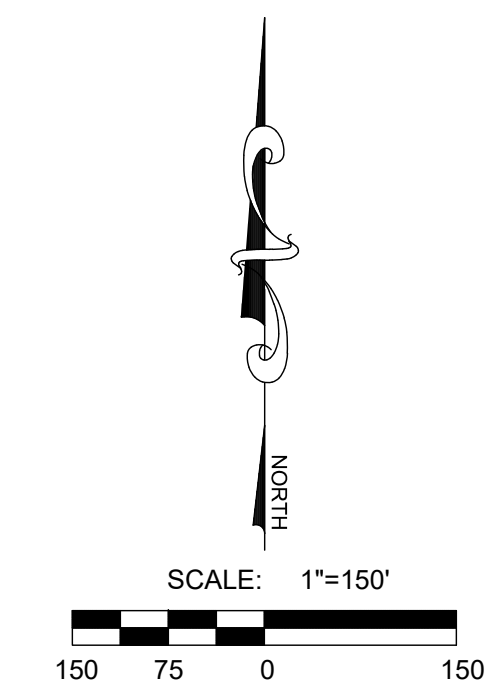
Approve or approve with conditions: Staff suggests that the Planning Commission advance a favorable recommendation regarding the proposed preliminary plat -- contingent on applicant compliance with any conditions of approval deemed warranted.

**ATTACHMENTS:**

[Firefly NPA 5 Preliminary 9-18-23](#)

[Redline Response Package Firefly Preliminary\\_NPA5\\_Phase A](#)

*firefly*  
**NPA 5  
 PRELIMINARY PHASE A**  
 EAGLE MOUNTAIN CITY, UTAH



**LEI**  
 - A Utah Corporation -  
**ENGINEERS  
 SURVEYORS  
 PLANNERS**  
 3302 N. Main Street  
 Spanish Fork, UT 84660  
 Phone: 801.798.0555  
 Fax: 801.798.9393  
 office@lei-eng.com  
 www.lei-eng.com

**TABLE OF CONTENTS**

SHEET 101 COVER	SHEET 501 PHASING PLAN/ LOT PLAN
SHEET 201 LOT LAYOUT 1	SHEET 601 DETAILS
SHEET 202 LOT LAYOUT 2	SHEET 701 EROSION CONTROL PLAN
SHEET 203 LOT LAYOUT 3	SHEET 702 EROSION CONTROL DETAILS
SHEET 301 UTILITY PLAN 1	
SHEET 302 UTILITY PLAN 2	
SHEET 303 UTILITY PLAN 3	
SHEET 401 GRADING PLAN	

**TABULATIONS**

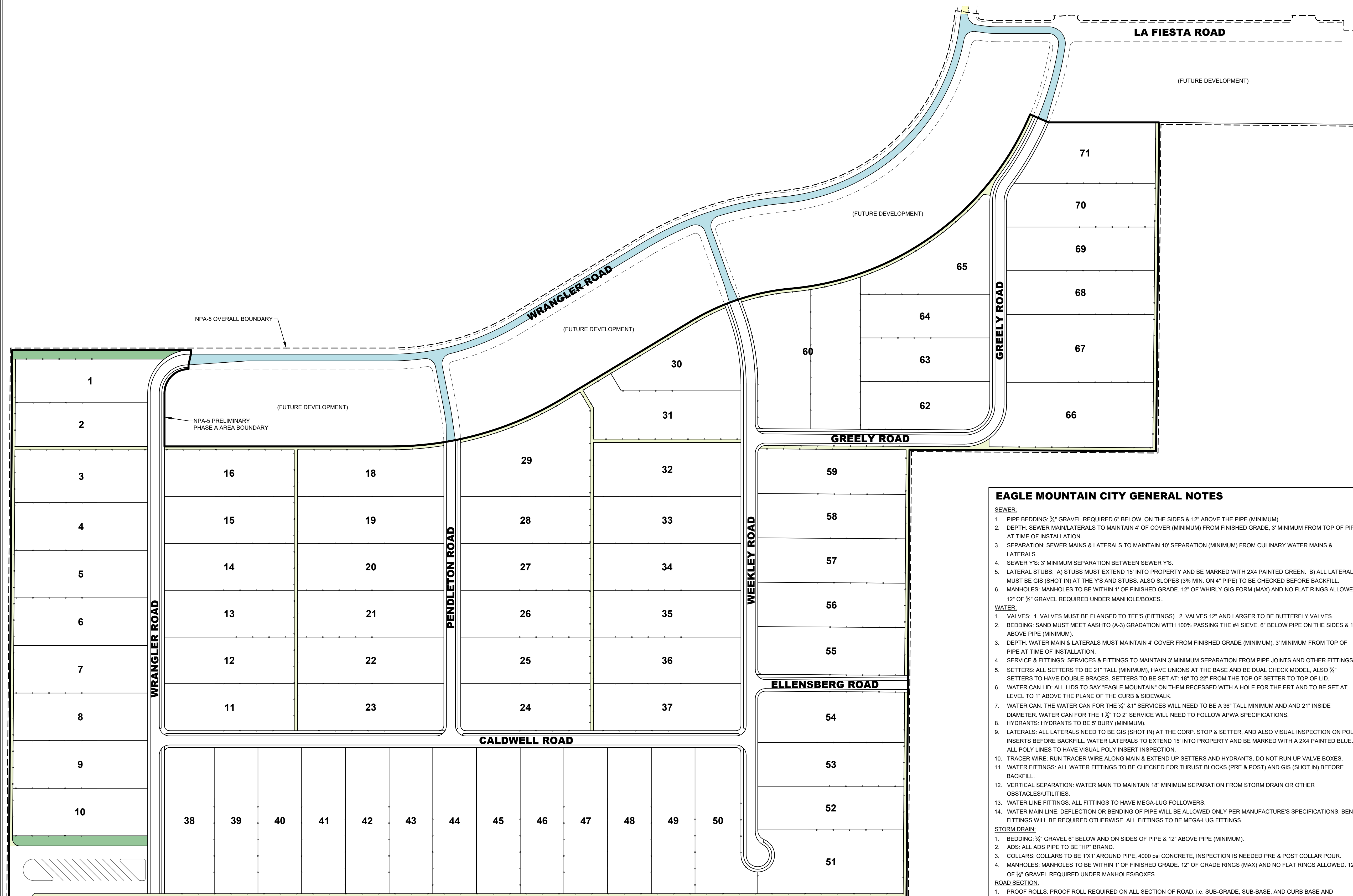
TOTAL ACREAGE: 110.00 ACRES  
 ASPHALT PAVEMENT AREA: 5.11 ACRES  
 TOTAL OPEN SPACE: 3.87 ACRES

**UNITS**

SINGLE FAMILY: 71 LOTS  
 TOTAL # OF UNITS ALLOWED IN NPA 5: 106  
 TOTAL # OF UNITS IN THIS PHASE: 71 LOTS  
 TOTAL # OF UNITS REMAINING: 35  
 OVERALL DENSITY OF THIS PHASE: 0.64 UNITS/ACRE

# OF NODES: 5  
 # OF LINKS: 10  
 CONNECTIVITY INDEX NUMBER: 2

- NOTES**
- ALL CONSTRUCTION TO CONFORM TO THE LATEST EDITION OF EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - ALL INTERSECTIONS TO HAVE ADA HANDICAP RAMPS ACCORDING TO CITY STANDARDS.
  - ALL EXISTING IRRIGATION DITCHES LOCATED WITHIN THE PROPERTY BOUNDARY ARE TO BE ABANDONED.
  - ALL WATER TEES TO BE FLANGED WITH FLANGED VALVES.
  - SECONDARY ACCESS AND TEMPORARY TURNAROUNDS TO BE PROVIDED ACCORDING TO CITY/FIRE CODE.
  - DRIVEWAY SLOPES NOT TO EXCEED 12%.
  - NO DEFLECTIONS ALLOWED ON WATER LINES.
  - ALL FILL WITHIN ROADWAYS TO BE ENGINEERED FILL.
  - STORM DRAIN PIPE SIZING TO BE PROVIDED AT FINAL DESIGN.
  - SUBDIVISION MUST MEET DARK SKY STANDARDS (PER CODE 17.56).
  - GARBAGE COLLECTION WILL BE DONE WITH INDIVIDUAL GARBAGE CANS.
  - ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBLE GUIDELINES WILL BE ADHERED TO.
  - ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.



**EAGLE MOUNTAIN CITY GENERAL NOTES**

**SEWER:**

- PIPE BEDDING: 3/4" GRAVEL REQUIRED 6" BELOW, ON THE SIDES & 12" ABOVE THE PIPE (MINIMUM).
- DEPTH: SEWER MAIN/LATERALS TO MAINTAIN 4' OF COVER (MINIMUM) FROM FINISHED GRADE, 3' MINIMUM FROM TOP OF PIPE AT TIME OF INSTALLATION.
- SEPARATION: SEWER MAINS & LATERALS TO MAINTAIN 10' SEPARATION (MINIMUM) FROM CULINARY WATER MAINS & LATERALS.
- SEWER Y'S: 3' MINIMUM SEPARATION BETWEEN SEWER Y'S.
- LATERAL STUBS: A) STUBS MUST EXTEND 15' INTO PROPERTY AND BE MARKED WITH 2X4 PAINTED GREEN. B) ALL LATERALS MUST BE GIS (SHOT IN) AT THE Y'S AND STUBS. ALSO SLOPES (3% MIN. ON 4" PIPE) TO BE CHECKED BEFORE BACKFILL.
- MANHOLES: MANHOLES TO BE WITHIN 1' OF FINISHED GRADE, 12" OF WHIRLY GIG FORM (MAX) AND NO FLAT RINGS ALLOWED. 12" OF 3/4" GRAVEL REQUIRED UNDER MANHOLE/BOXES.

**WATER:**

- VALVES: 1. VALVES MUST BE FLANGED TO TEES (FITTINGS). 2. VALVES 12" AND LARGER TO BE BUTTERFLY VALVES.
- BEDDING: SAND MUST MEET AASHTO (A-3) GRADATION WITH 100% PASSING THE #4 SIEVE. 6" BELOW PIPE ON THE SIDES & 12" ABOVE PIPE (MINIMUM).
- DEPTH: WATER MAIN & LATERALS MUST MAINTAIN 4' COVER FROM FINISHED GRADE (MINIMUM), 3' MINIMUM FROM TOP OF PIPE AT TIME OF INSTALLATION.
- SERVICE & FITTINGS: SERVICES & FITTINGS TO MAINTAIN 3' MINIMUM SEPARATION FROM PIPE JOINTS AND OTHER FITTINGS.
- SETTERS: ALL SETTERS TO BE 21" TALL (MINIMUM), HAVE UNIONS AT THE BASE AND BE DUAL CHECK MODEL. ALSO 3/4" SETTERS TO HAVE DOUBLE BRACES. SETTERS TO BE SET AT: 18" TO 22" FROM THE TOP OF SETTER TO TOP OF LID.
- WATER CAN LID: ALL LIDS TO SAY "EAGLE MOUNTAIN" ON THEM RECESSED WITH A HOLE FOR THE ERT AND TO BE SET AT LEVEL TO 1" ABOVE THE PLANE OF THE CURB & SIDEWALK.
- WATER CAN: THE WATER CAN FOR THE 3/4" & 1" SERVICES WILL NEED TO BE A 36" TALL MINIMUM AND AND 21" INSIDE DIAMETER. WATER CAN FOR THE 1 1/2" TO 2" SERVICE WILL NEED TO FOLLOW APWA SPECIFICATIONS.
- HYDRANTS: HYDRANTS TO BE 5' BURY (MINIMUM).
- LATERALS: ALL LATERALS NEED TO BE GIS (SHOT IN) AT THE CORP. STOP & SETTER, AND ALSO VISUAL INSPECTION ON POLY INSERTS BEFORE BACKFILL. WATER LATERALS TO EXTEND 15' INTO PROPERTY AND BE MARKED WITH A 2X4 PAINTED BLUE. ALL POLY LINES TO HAVE VISUAL POLY INSERT INSPECTION.
- TRACER WIRE: RUN TRACER WIRE ALONG MAIN & EXTEND UP SETTERS AND HYDRANTS. DO NOT RUN UP VALVE BOXES.
- WATER FITTINGS: ALL WATER FITTINGS TO BE CHECKED FOR THRUST BLOCKS (PRE & POST) AND GIS (SHOT IN) BEFORE BACKFILL.
- VERTICAL SEPARATION: WATER MAIN TO MAINTAIN 18" MINIMUM SEPARATION FROM STORM DRAIN OR OTHER OBSTACLES/UTILITIES.
- WATER LINE FITTINGS: ALL FITTINGS TO HAVE MEGA-LUG FOLLOWERS.
- WATER MAIN LINE: DEFLECTION OR BENDING OF PIPE WILL BE ALLOWED ONLY PER MANUFACTURE'S SPECIFICATIONS. BEND FITTINGS WILL BE REQUIRED OTHERWISE. ALL FITTINGS TO BE MEGA-LUG FITTINGS.

**STORM DRAIN:**

- BEDDING: 3/4" GRAVEL 6" BELOW AND ON SIDES OF PIPE & 12" ABOVE PIPE (MINIMUM).
- ADS: ALL ADS PIPE TO BE "HP" BRAND.
- COLLARS: COLLARS TO BE 1'X1' AROUND PIPE, 4000 PSI CONCRETE, INSPECTION IS NEEDED PRE & POST COLLAR POUR.
- MANHOLES: MANHOLES TO BE WITHIN 1' OF FINISHED GRADE, 12" OF GRADE RINGS (MAX) AND NO FLAT RINGS ALLOWED. 12" OF 3/4" GRAVEL REQUIRED UNDER MANHOLE/BOXES.

**ROAD SECTION:**

- PROOF ROLLS: PROOF ROLL REQUIRED ON ALL SECTION OF ROAD: I.e. SUB-GRADE, SUB-BASE, AND CURB BASE AND CALDWELL ROADASE. CURB STAKES REQUIRED FOR SUB-GRADE INSPECTION AND STRING LINE REQUIRED FOR SUB-BASE AND CALDWELL ROADASE INSPECTION.
- UTBC: STATE SPEC. CALDWELL ROADASE REQUIRED FOR ALL ROAD, COMMERCIAL BASE ACCEPTABLE FOR THE SIDEWALKS & TRAILS.
- COLLARS: ALL COLLARS TO BE 1' WIDE BY 1' DEEP WITH A 6000 PSI CONCRETE WITH 1.5# FIBER MESH PER CUBIC YARD (3/4" MONOFILAMENT) REQUIRED FOR ALL STREET COLLARS. MANHOLE COVERS AND WATER VALVE TOWERS TO BE 1/2" DOWN FROM ASPHALT EDGE AND CONCRETE TO BE 1/2" TO 3/8" DOWN FROM ASPHALT EDGE.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	BOUNDARY LINE
- - - - -	- - - - -	STREET CENTERLINE
- - - - -	- - - - -	EASEMENT LINE
- - - - -	- - - - -	LOT LINES
EX-SP	SP	SEWER PIPE
EX-SM	SM	SEWER MANHOLE
EX-SB	SB	SEWER SERVICE
EX-SD	SD	STORM DRAIN PIPE (RCP)
EX-SM	SM	STORM DRAIN MANHOLE
EX-SI	SI	CURB INLET
EX-SB	SB	COMBO BOX
EX-SB	SB	4'X4' CATCH BASIN
EX-SB	SB	3'X3' CATCH BASIN
EX-SB	SB	INLET/OUTLET W/ GRATE
EX-W	W	CULINARY WATER PIPE
EX-W	W	45" PIPE ELBOW (W)
EX-W	W	22.5" PIPE ELBOW (W)
EX-W	W	11.25" PIPE ELBOW (W)
EX-W	W	FIRE HYDRANT
EX-W	W	SERVICE & METER (W)
EX-W	W	PRV (W)
EX-W	W	AIR-VAC VALVE (W)
EX-W	W	BLOW-OFF (W)
EX-W	W	TEMP. BLOW-OFF (W)
EX-W	W	VALVE (W & SW)
EX-W	W	TEE
EX-W	W	CROSS
EX-PI	PI	PRESSURIZED IRRIGATION
EX-PI	PI	45" PIPE ELBOW (PI)
EX-PI	PI	22.5" PIPE ELBOW (PI)
EX-PI	PI	11.25" PIPE ELBOW (PI)
EX-PI	PI	SINGLE SW SERVICE
EX-PI	PI	DUAL SW SERVICE
EX-PI	PI	AIR-VAC VALVE (PI)
EX-PI	PI	BLOW-OFF (SW)
EX-PI	PI	TEMP. BLOW-OFF (PI)
EX-PI	PI	STOP SIGN
EX-PI	PI	STREET SIGN
EX-PI	PI	MONUMENT
EX-PI	PI	FENCE
EX-PI	PI	STREET LIGHT
EX-PI	PI	POWER POLE
EX-PI	PI	DITCH
EX-PI	PI	FIBER OPTIC
EX-PI	PI	GAS
EX-PI	PI	OVERHEAD POWER
EX-PI	PI	FLOW/ARROW
EX-PI	PI	CONTOURS

**DEVELOPER / OWNER**  
 OQUIRRH WOOD RANCH LLC.

**ENGINEER**  
 LEI CONSULTING ENGINEERS  
 3302 NORTH MAIN  
 SPANISH FORK, UTAH 84660  
 (801)798-0555

**PROJECT NAME**  
 FIREFLY NPA 5 PRELIMINARY PHASE A

NOT FOR CONSTRUCTION

NPA 5, PRELIMINARY PHASE A  
 EAGLE MOUNTAIN, UTAH  
*firefly*  
 COVER

**REVISIONS**

1	-	-
2	-	-
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LEI PROJECT #:  
**2021-0080**

DRAWN BY:  
**TJP**

DESIGNED BY:  
**GDM / BCT**

SCALE:  
**1"=150'**

DATE:  
**9/18/2023**

SHEET  
**101**

U:\01\_LEI\_PROJECTS\2023\2023-0080\_POLE CANYON SUBDIVISION\NPA 5 PRELIMINARY\01-0080\_NPA 5 PRELIMINARY PHASE A.DWG 9/18/2023 10:19 AM

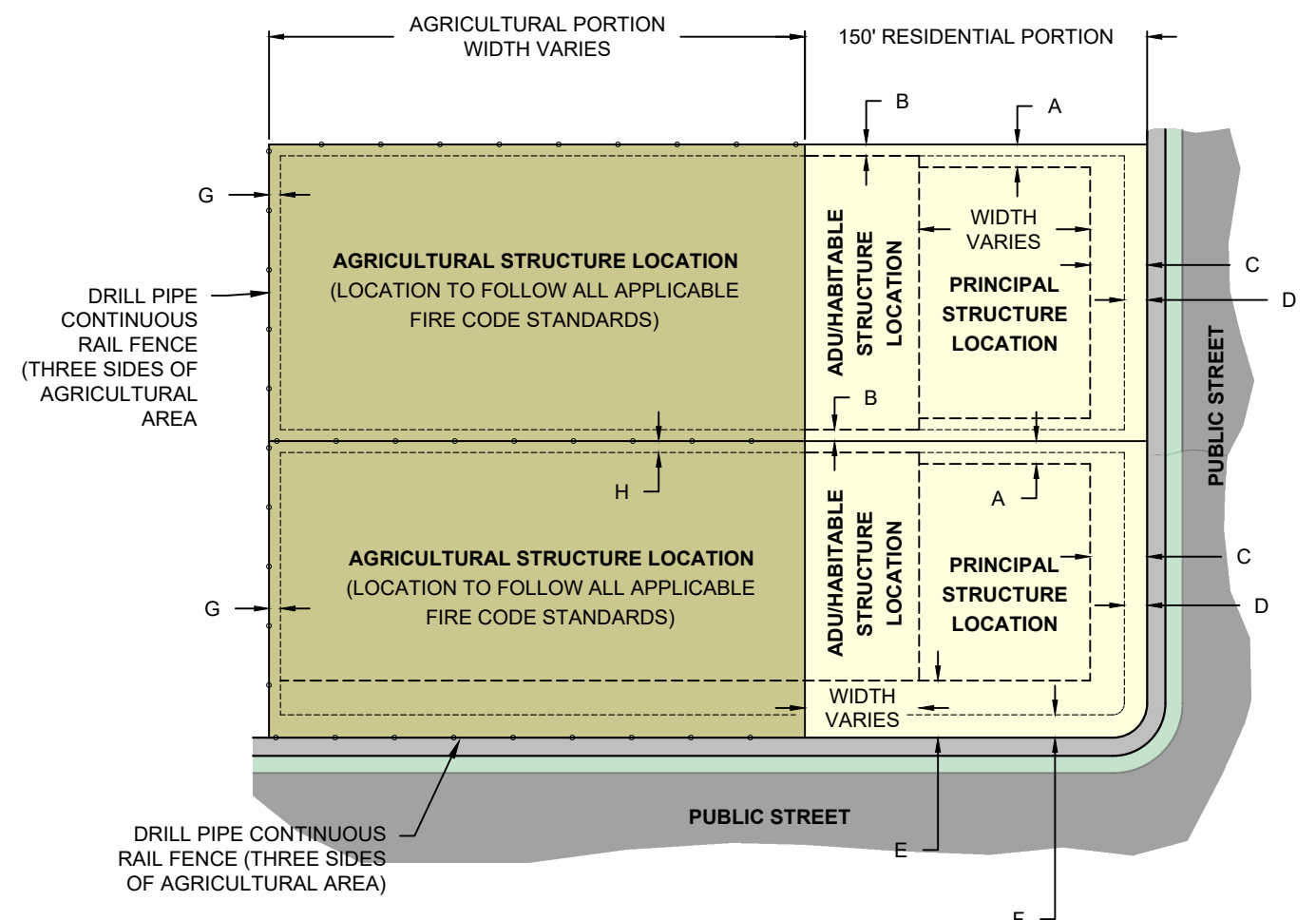
(SEE SHEET 202)  
**MATCH LINE**



- NOTES**
- 50' MINIMUM SETBACK FROM LIVESTOCK TO ANY NEIGHBORING RESIDENTIAL BUILDING PAD. LOTS 16, 18, 20, 30, 65, & 71 SHALL HAVE A MINIMUM 30' SIDE SETBACK ALONG THE NORTH SIDE ADJACENT TO THE FUTURE DEVELOPMENT.
  - CORRALS OR BUILDINGS HOUSING ANIMALS SHALL NOT BE ALLOWED WITHIN THE REAR 40' OF LOT 62.
  - ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

**SETBACK TABLE**

Code	Description
A	10' PRINCIPAL STRUCTURE SIDE SETBACK TO LIVING SPACE, 30' SIDE SETBACK TO GARAGE DOOR
B	5' SIDE SETBACK FOR ADU/HABITABLE STRUCTURES AND AGRICULTURAL BUILDINGS
C	25' FRONT SETBACK TO PRINCIPAL STRUCTURE & DRAINAGE EASEMENT
D	10' FRONT P.U.E. & DRAINAGE EASEMENT (TYP.)
E	25' SIDE STREET SETBACK & DRAINAGE EASEMENT
F	10' SIDE CORNER P.U.E. & DRAINAGE EASEMENT (TYP.)
G	5' REAR P.U.E., DRAINAGE EASEMENT, & AGRICULTURAL BUILDING SETBACK (TYP.)
H	5' SIDE P.U.E., DRAINAGE EASEMENT, & AGRICULTURAL BUILDING SETBACK (TYP.)



**AGRICULTURAL LOT BUILDING SETBACK & EASEMENT DETAIL**

**SINGLE-FAMILY DETACHED\***

Type of Lot	Front	Garage	Rear	Side	Corner	Minimum Lot Width <sup>1</sup>	Minimum Lot Size	Maximum Building Height <sup>1</sup>
Agriculture	25'	25'	35'	10'/30'	25'	90'	21,780 sf	35'
Standard A	25'	25'	25'	10'/10'	15'	85'	10,890 sf	35'
Standard B	15'	22'	20'	8'/10'	15'	80'	8,000 sf	35'
Standard C	15'	22'	20'	5'/8'	15'	48'	4,500 sf	35'
Alley Load	10'	22'	5'	5'/5' <sup>1</sup>	15'	40'	4,200 sf	35'
Cottage	15'	22'	10'	5'/5' <sup>1</sup>	15'	40'	3,600 sf	35'

**ACCESSORY BUILDINGS**

Type of Building	Rear	Side	Maximum Building Height <sup>1</sup>
Barns	5'	5'	35'
ADU	5'	5'	35'

\* Upon a request by the applicant, these standards may be adjusted by the Planning Commission (or the applicable approving body of the City) upon Site Plan or Subdivision Application.

**OPEN SPACE TABLE**

PARK NAME	Area	NOTES
PARCEL A	138840.47 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL B	16673.42 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL C	23447.92 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL D	28536.99 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL E	11224.15 SQFT.	OWNED & MAINTAINED BY H.O.A.

- NOTE:**
- ALL LOTS SHALL HAVE A DRAINAGE EASEMENT WITHIN THE FRONT 25' SETBACK. EXACT LOCATION AND SIZE SHALL BE DETERMINED AT THE TIME OF FINAL LOT GRADING AND DESIGN.

**SETBACK TABLE**

SINGLE FAMILY DETACHED LOTS	FRONT	GARAGE	REAR	SIDE	CORNER
AGRICULTURAL LOTS	25'	25'	35'	10'/30'	25'

\* STRUCTURES OR CORRALS HOUSING ANIMALS SHALL BE 50' FROM THE NEIGHBORING RESIDENCES.  
\* SHOPS, DETACHED GARAGES, ADUs OR OTHER ACCESSORY BUILDINGS WITHOUT LIVESTOCK SHALL HAVE 5' SETBACKS

NOT FOR CONSTRUCTION

NPA 5, PRELIMINARY PHASE A  
EAGLE MOUNTAIN, UTAH  
LOT LAYOUT 1

firefly

**REVISIONS**

No.	Description
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LEI PROJECT #: **2021-0080**  
DRAWN BY: **TJP**  
DESIGNED BY: **GDM / BCT**  
SCALE: **1"=80'**  
DATE: **9/18/2023**

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NOT FOR  
 CONSTRUCTION

firefly  
 NPA 5, PRELIMINARY PHASE A  
 EAGLE MOUNTAIN, UTAH  
 LOT LAYOUT 2

REVISIONS	
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LEI PROJECT #:  
**2021-0080**  
 DRAWN BY:  
**TJP**  
 DESIGNED BY:  
**GDM / BCT**  
 SCALE:  
**1"=80'**  
 DATE:  
**9/18/2023**

SHEET  
**202**



- NOTES**
- 50' MINIMUM SETBACK FROM LIVESTOCK TO ANY NEIGHBORING RESIDENTIAL BUILDING PAD
  - LOTS 16, 18, 29, 30, 65, & 71 SHALL HAVE A MINIMUM 30' SIDE SETBACK ALONG THE NORTH SIDE ADJACENT TO THE FUTURE DEVELOPMENT.
  - CORRALS OR BUILDINGS HOUSING ANIMALS SHALL NOT BE ALLOWED WITHIN THE REAR 40' OF LOT 82
  - ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

SETBACK TABLE	
A	10' PRINCIPAL STRUCTURE SIDE SETBACK TO LIVING SPACE, 30' SIDE SETBACK TO GARAGE DOOR
B	5' SIDE SETBACK FOR ADU/HABITABLE STRUCTURES AND AGRICULTURAL BUILDINGS
C	25' FRONT SETBACK TO PRINCIPAL STRUCTURE & DRAINAGE EASEMENT
D	10' FRONT P.U.E. & DRAINAGE EASEMENT (TYP.)
E	25' SIDE STREET SETBACK & DRAINAGE EASEMENT
F	10' SIDE CORNER P.U.E. & DRAINAGE EASEMENT (TYP.)
G	5' REAR P.U.E., DRAINAGE EASEMENT, & AGRICULTURAL BUILDING SETBACK (TYP.)
H	5' SIDE P.U.E., DRAINAGE EASEMENT, & AGRICULTURAL BUILDING SETBACK (TYP.)

SINGLE-FAMILY DETACHED*								
Type of Lot	Front	Garage	Rear	Side	Corner	Minimum Lot Width	Minimum Lot Size	Maximum Building Height <sup>2</sup>
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Standard A	25'	25'	25'	10'/10'	15'	85'	10,890 sf	35'
Standard B	15'	22'	20'	8'/10'	15'	80'	8,000 sf	35'
Standard C	15'	22'	20'	5'/8'	15'	48'	4,500 sf	35'
Alley Load	10'	22'	5'	5'/5' <sup>1</sup>	15'	40'	4,200 sf	35'
Cottage	15'	22'	10'	5'/5' <sup>1</sup>	15'	40'	3,600 sf	35'

ACCESSORY BUILDINGS			
Type of Building	Rear	Side	Maximum Building Height <sup>1</sup>
Barns	5'	5'	35'
ADU	5'	5'	35'

\* Upon a request by the applicant, these standards may be adjusted by the Planning Commission (or the applicable approving body of the City) upon Site Plan or Subdivision Application.

OPEN SPACE TABLE		
PARK NAME	Area	NOTES
PARCEL A	138840.47 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL B	18673.42 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL C	23447.92 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL D	28536.99 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL E	11224.15 SQFT.	OWNED & MAINTAINED BY H.O.A.

SETBACK TABLE					
SINGLE FAMILY DETACHED LOTS	FRONT	GARAGE	REAR	SIDE	CORNER
AGRICULTURAL LOT	25'	25'	35'	10'/30'	25'

\* STRUCTURES OR CORRALS HOUSING ANIMALS SHALL BE 50' FROM THE NEIGHBORING RESIDENCES.  
 \* SHOPS, DETACHED GARAGES, ADU'S OR OTHER ACCESSORY BUILDINGS WITHOUT LIVESTOCK SHALL HAVE 5' SETBACKS

**NOTE:**

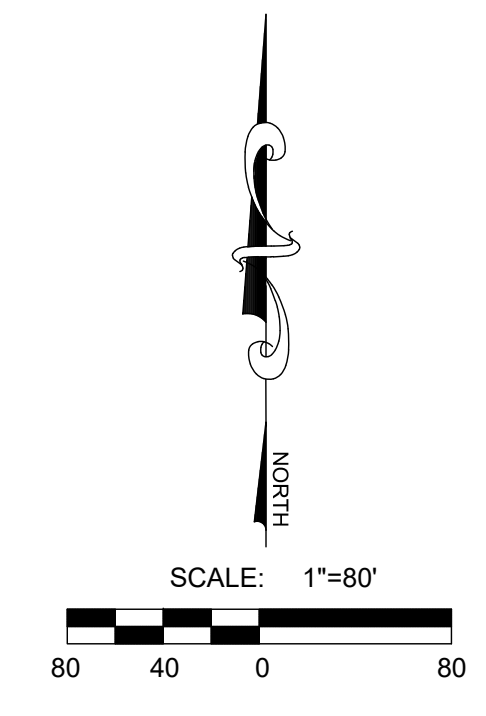
- ALL LOTS SHALL HAVE A DRAINAGE EASEMENT WITHIN THE FRONT 25' SETBACK. EXACT LOCATION AND SIZE SHALL BE DETERMINED AT THE TIME OF FINAL LOT GRADING AND DESIGN.

SINGLE-FAMILY DETACHED*								
Type of Lot	Front	Garage	Rear	Side	Corner	Minimum Lot Width	Minimum Lot Size	Maximum Building Height <sup>2</sup>
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ACCESSORY BUILDINGS			
Type of Building	Rear	Side	Maximum Building Height <sup>2</sup>
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\* Upon a request by the applicant, these standards may be adjusted by the Planning Commission (or the applicable approving body of the City) upon Site Plan or Subdivision Application.



**LEI**  
 - A Utah Corporation -  
**ENGINEERS**  
**SURVEYORS**  
**PLANNERS**  
 3302 N. Main Street  
 Spanish Fork, UT 84660  
 Phone: 801.798.0555  
 Fax: 801.798.9393  
 office@lei-eng.com  
 www.lei-eng.com

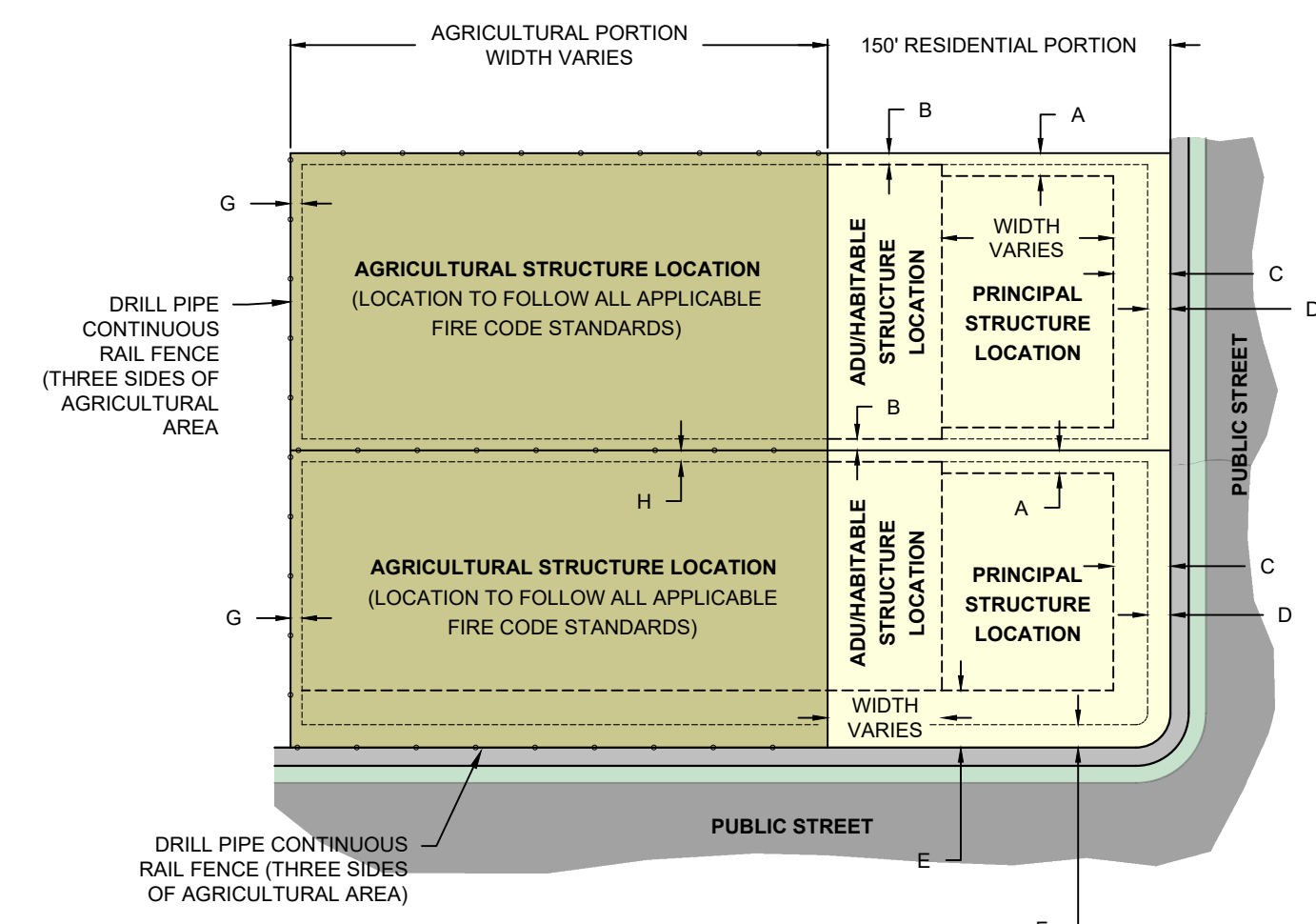
NOT FOR CONSTRUCTION

firefly  
 NPA 5, PRELIMINARY PHASE A  
 EAGLE MOUNTAIN, UTAH  
 LOT LAYOUT 3



- NOTES**
- 50' MINIMUM SETBACK FROM LIVESTOCK TO ANY NEIGHBORING RESIDENTIAL BUILDING PAD
  - LOTS 16, 18, 29, 30, 65, & 71 SHALL HAVE A MINIMUM 30' SIDE SETBACK ALONG THE NORTH SIDE ADJACENT TO THE FUTURE DEVELOPMENT.
  - CORRALS OR BUILDINGS HOUSING ANIMALS SHALL NOT BE ALLOWED WITHIN THE REAR 40' OF LOT 62
  - ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

SETBACK TABLE	
A	10' PRINCIPAL STRUCTURE SIDE SETBACK TO LIVING SPACE, 30' SIDE SETBACK TO GARAGE DOOR
B	5' SIDE SETBACK FOR ADU/HABITABLE STRUCTURES AND AGRICULTURAL BUILDINGS
C	25' FRONT SETBACK TO PRINCIPAL STRUCTURE & DRAINAGE EASEMENT
D	10' FRONT P.U.E. & DRAINAGE EASEMENT (TYP.)
E	25' SIDE STREET SETBACK & DRAINAGE EASEMENT
F	10' SIDE CORNER P.U.E. & DRAINAGE EASEMENT (TYP.)
G	5' REAR P.U.E., DRAINAGE EASEMENT, & AGRICULTURAL BUILDING SETBACK (TYP.)
H	5' SIDE P.U.E., DRAINAGE EASEMENT, & AGRICULTURAL BUILDING SETBACK (TYP.)



**AGRICULTURAL LOT BUILDING SETBACK & EASEMENT DETAIL**

OPEN SPACE TABLE		
PARK NAME	Area	NOTES
PARCEL A	138840.47 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL B	16673.42 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL C	23447.92 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL D	28536.99 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL E	11224.15 SQFT.	OWNED & MAINTAINED BY H.O.A.

SETBACK TABLE				
SINGLE FAMILY DETACHED LOTS	FRONT	GARAGE	REAR	CORNER
AGRICULTURAL LOT	25'	25'	35'	10'/30'

\* STRUCTURES OR CORRALS HOUSING ANIMALS SHALL BE 50' FROM THE NEIGHBORING RESIDENCES.  
 \* SHOPS, DETACHED GARAGES, ADU'S OR OTHER ACCESSORY BUILDINGS WITHOUT LIVESTOCK SHALL HAVE 5' SETBACKS

**NOTE:**

- ALL LOTS SHALL HAVE A DRAINAGE EASEMENT WITHIN THE FRONT 25' SETBACK. EXACT LOCATION AND SIZE SHALL BE DETERMINED AT THE TIME OF FINAL LOT GRADING AND DESIGN.

REVISIONS	
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LEI PROJECT #:  
**2021-0080**  
 DRAWN BY:  
**TJP**  
 DESIGNED BY:  
**GDM / BCT**  
 SCALE:  
**1"=80'**  
 DATE:  
**9/18/2023**

SHEET  
**203**

U:\01\_LEI PROJECTS\2021\2021-0080 EAGLE MOUNTAIN NPA 5 PRELIMINARY PHASE A.DWG 9/18/2023 10:19 AM



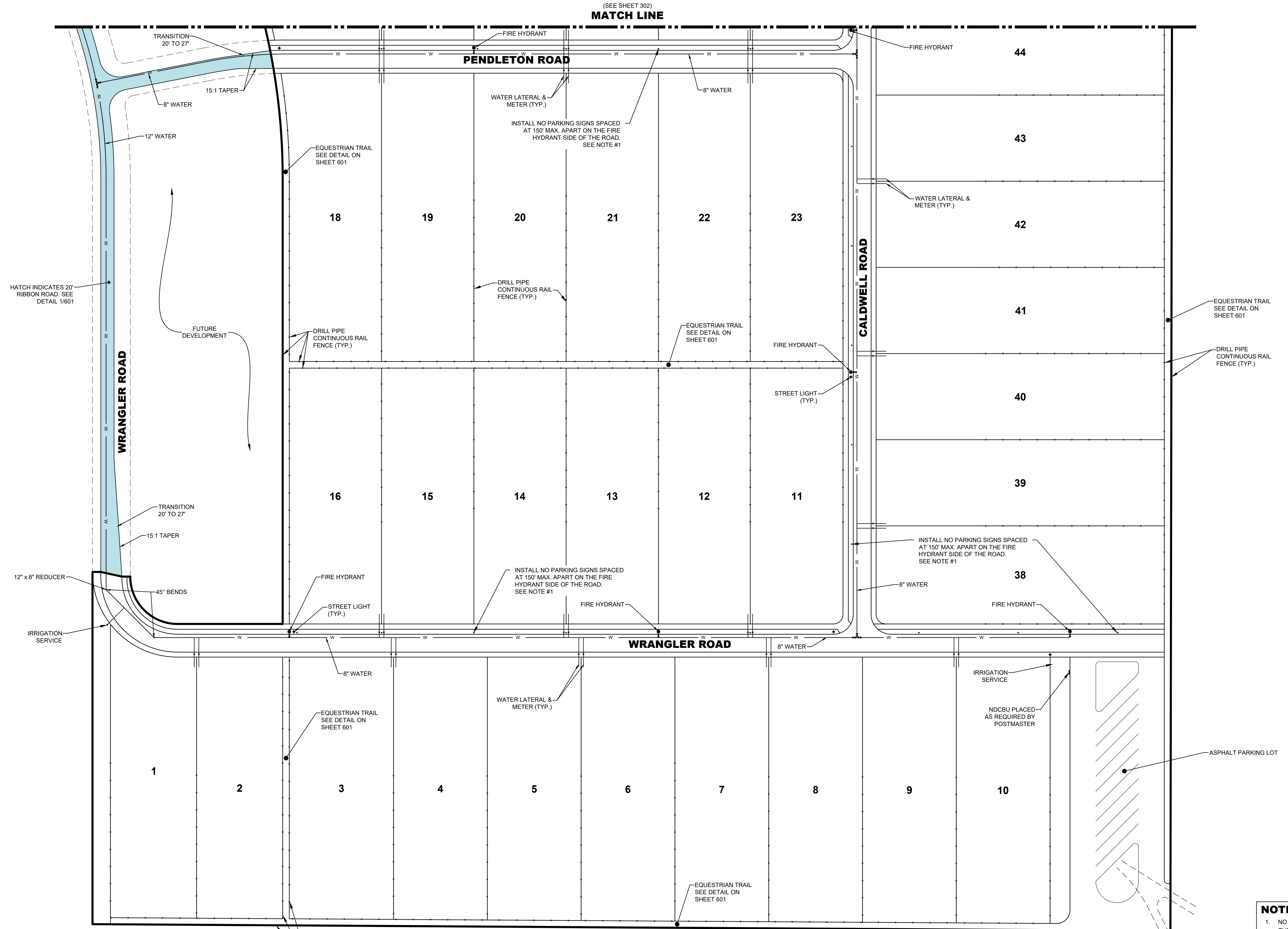
NOT FOR  
 CONSTRUCTION

*firefly* **NPA 5, PRELIMINARY PHASE A**  
**EAGLE MOUNTAIN, UTAH**  
**UTILITY PLAN 1**

REVISIONS
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LEI PROJECT #: **2021-0080**  
 DRAWN BY: **TJP**  
 DESIGNED BY: **GDM / BCT**  
 SCALE: **1"=80'**  
 DATE: **9/18/2023**

SHEET  
**301**



**NOTES:**

- NO PARKING FIRE LANE SIGNS SHALL BE REQUIRED ON ONE SIDE OF THE ROAD SPACED AT 100'-150' INTERVALS. SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND AS SHOWN BELOW. SIGNS SHALL FOLLOW ALL OTHER MUTCD REQUIREMENTS.

**NOTE:**

- ALL LOTS SHALL BE SERVICED WITH SEPTIC TANKS AND SHALL FOLLOW ALL REQUIREMENTS FROM THE UTAH COUNTY HEALTH DEPARTMENT.
- ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

U:\PROJECTS\2021\0080 ROLE CANTON SUBS\CAD\DWG\NPA 5 PRELIMINARY PHASE A.DWG 9/18/2023 10:19 AM

NOT FOR  
CONSTRUCTION

*firefly* **NPA 5, PRELIMINARY PHASE A  
EAGLE MOUNTAIN, UTAH**  
UTILITY PLAN 2



**NOTES:**  
1. NO PARKING FIRE LANE SIGNS SHALL BE REQUIRED ON ONE SIDE OF THE ROAD SPACED AT 100'-150' INTERVALS. SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND AS SHOWN BELOW. SIGNS SHALL FOLLOW ALL OTHER MUTCD REQUIREMENTS.



**NOTE:**  
1. ALL LOTS SHALL BE SERVICED WITH SEPTIC TANKS AND SHALL FOLLOW ALL REQUIREMENTS FROM THE UTAH COUNTY HEALTH DEPARTMENT.  
2. ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE M3.

REVISIONS
1 -
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LEI PROJECT #:  
**2021-0080**  
DRAWN BY:  
**TJP**  
DESIGNED BY:  
**GDM / BCT**  
SCALE:  
**1"=80'**  
DATE:  
**9/18/2023**

SHEET  
**302**

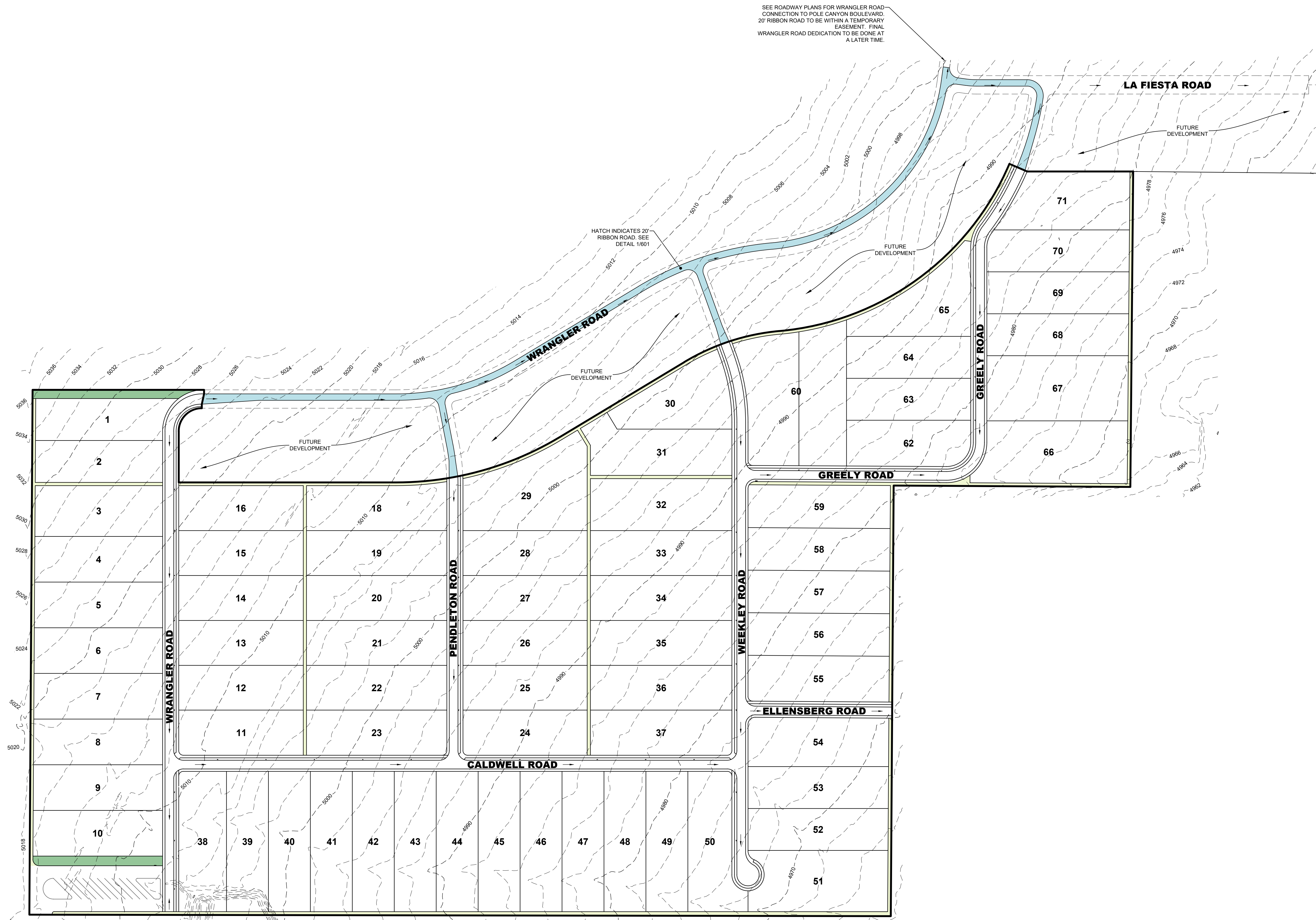
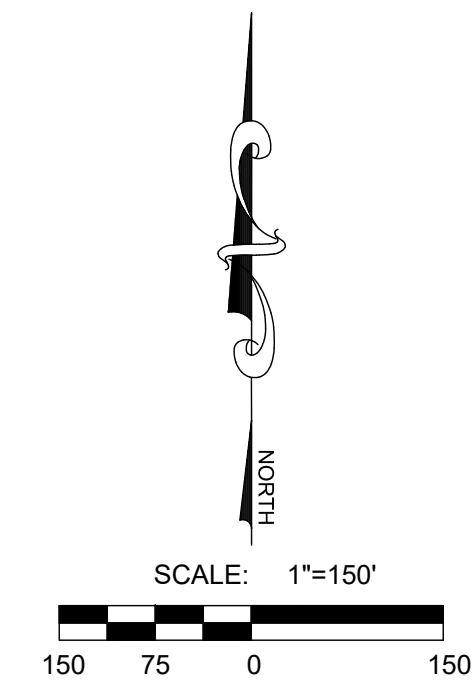
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- A Utah Corporation -  
**ENGINEERS**  
**SURVEYORS**  
**PLANNERS**

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NOT FOR CONSTRUCTION

**firefly** NPA 5, PRELIMINARY PHASE A  
 EAGLE MOUNTAIN, UTAH  
 GRADING PLAN

REVISIONS	
1	
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LEI PROJECT #:  
**2021-0080**  
 DRAWN BY:  
**TJP**  
 DESIGNED BY:  
**GDM / BCT**  
 SCALE:  
**1"=150'**  
 DATE:  
**9/18/2023**

**NOTE:**

- ALL LOTS SHALL BE REQUIRED TO RETAIN THEIR OWN STORM WATER, AS WELL AS THE STORM WATER FROM THE ADJACENT HALF-ROADWAY, WITHIN THEIR OWN LOT. FINAL LOCATION AND SIZE OF RETENTION AREAS SHALL BE DETERMINED AT THE TIME OF FINAL GRADING DESIGN.
- ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

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NOT FOR  
 CONSTRUCTION

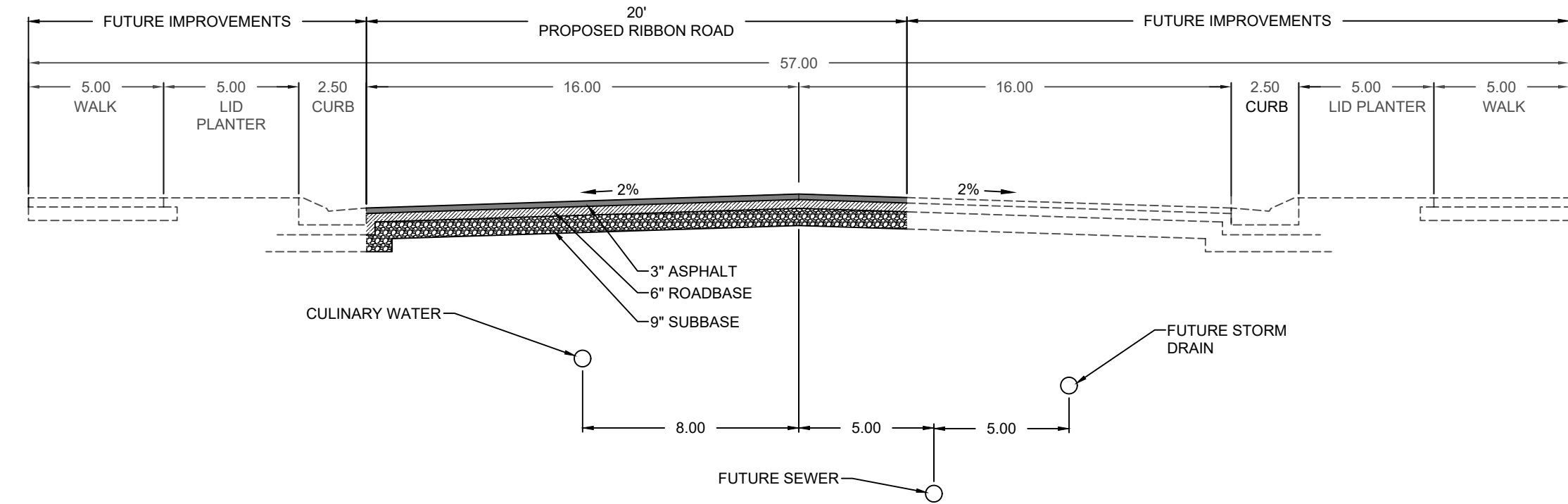
NPA 5, PRELIMINARY PHASE A  
 EAGLE MOUNTAIN, UTAH  
 DETAILS

*firefly*

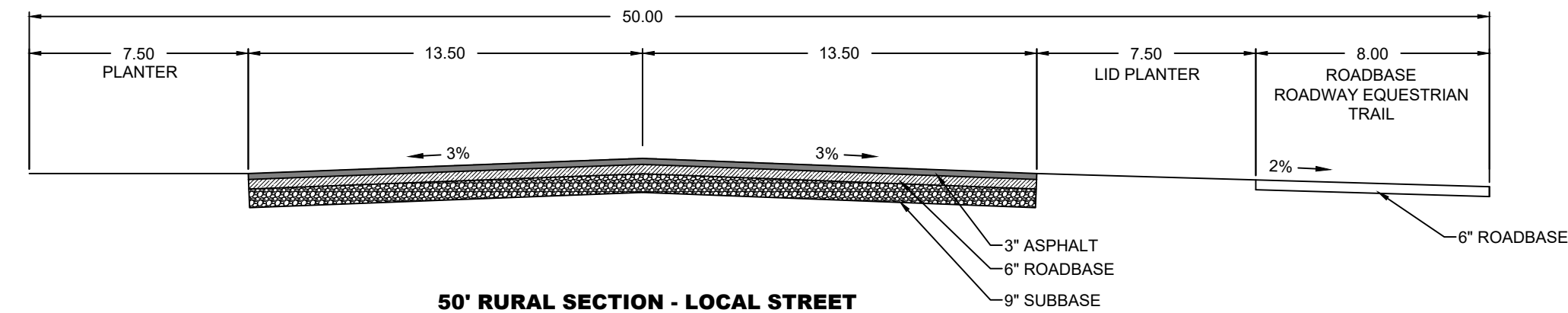
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LEI PROJECT #:	2021-0080
DRAWN BY:	TJP
DESIGNED BY:	GDM / BCT
SCALE:	N.T.S.
DATE:	9/18/2023

SHEET  
**601**



**20' RIBBON ROAD  
 FUTURE 57' CROSS-SECTION - LOCAL STREET**

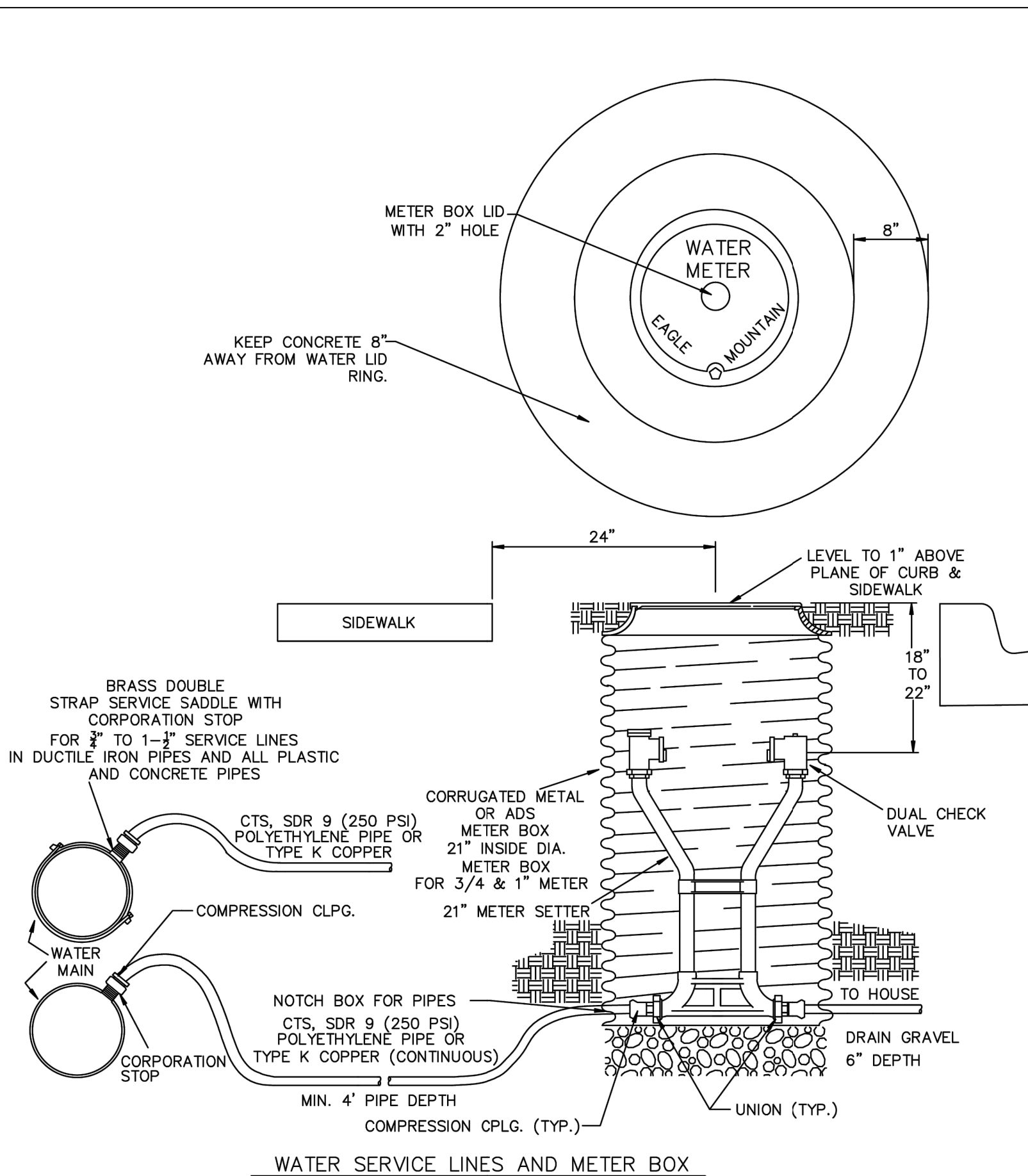


**50' RURAL SECTION - LOCAL STREET**

- NOTE:**
- ALL PAVING SECTIONS TO BE VERIFIED WITH CBR ANALYSIS FROM THE GEOTECHNICAL STUDY
  - ANY PIPES THAT CROSS UNDER DRIVEWAYS OR ROADWAYS TO CONVEY DRAINAGE THROUGH THE PLANTERS SHALL BE A MINIMUM OF 15"

**1 ROADWAY CROSS SECTIONS**

**2 NOT USED**



**WATER SERVICE LINES AND METER BOX**

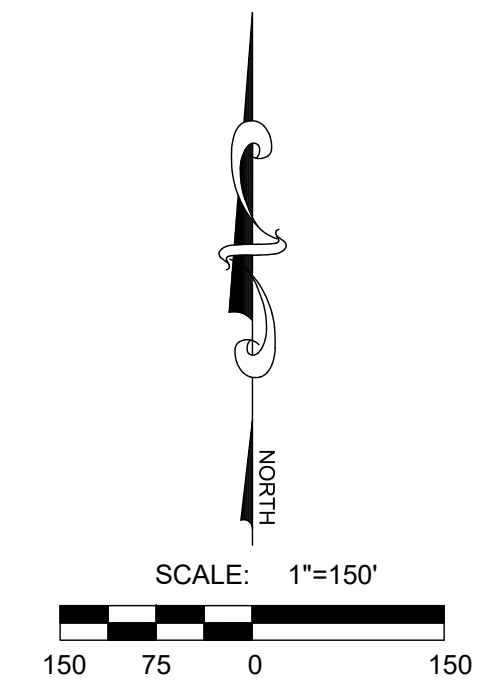
<table border="1"> <tr><td>DRAWN:</td><td>RSB</td></tr> <tr><td>REVIEW:</td><td>AUG 2017</td></tr> <tr><td>DATE:</td><td>NOV 2015</td></tr> <tr><td>SCALE:</td><td>N.T.S.</td></tr> </table>	DRAWN:	RSB	REVIEW:	AUG 2017	DATE:	NOV 2015	SCALE:	N.T.S.	<b>EAGLE MOUNTAIN CITY</b> 	STANDARD DETAILS FOR <b>WATER LINE, SETTER &amp; CAN</b>	DRAWING NO. <b>WSC-1</b>
DRAWN:	RSB										
REVIEW:	AUG 2017										
DATE:	NOV 2015										
SCALE:	N.T.S.										

**3 WATER SERVICE DETAIL**

**4 EQUESTRIAN TRAIL SECTION**



- NOTE:**
- ANY RE-VEGETATION OF TRAILS SHALL USE THE EAGLE MOUNTAIN CITY RANGELAND SEED MIX.



NOT FOR CONSTRUCTION

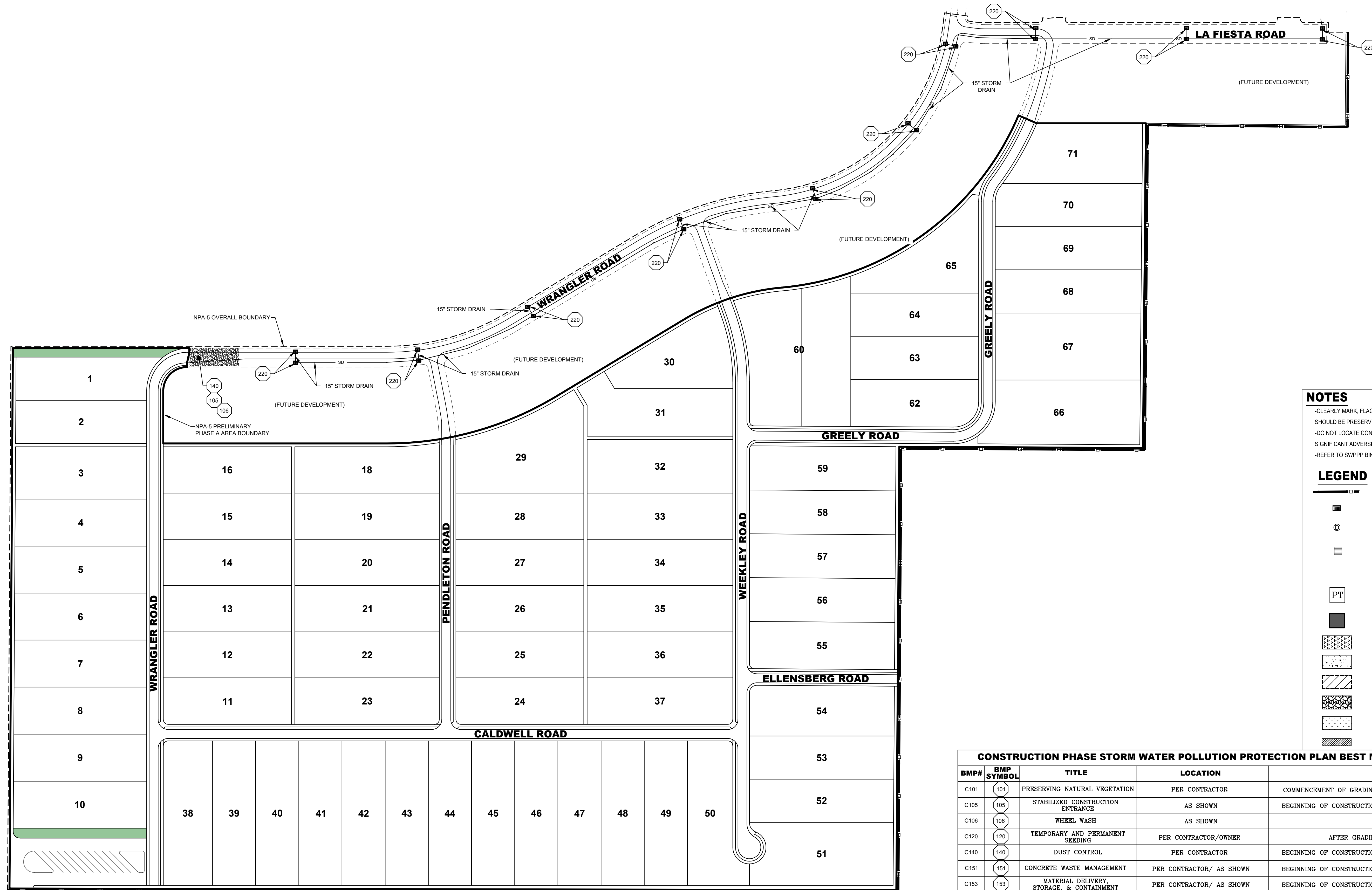
NPA 5, PRELIMINARY PHASE A  
 EAGLE MOUNTAIN, UTAH  
 EROSION CONTROL

firefly

REVISIONS
1
2
3
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LEI PROJECT #:  
**2021-0080**  
 DRAWN BY:  
**TJP**  
 DESIGNED BY:  
**GDM / BCT**  
 SCALE:  
**1"=150'**  
 DATE:  
**9/18/2023**

SHEET  
**701**



**NOTES**

- CLEARLY MARK, FLAG OR FENCE VEGETATION OR AREAS WHERE VEGETATION SHOULD BE PRESERVED.
- DO NOT LOCATE CONSTRUCTION TRAFFIC ROUTES, SPOIL PILES, ETC. WHERE SIGNIFICANT ADVERSE IMPACT ON EXISTING VEGETATION MAY OCCUR.
- REFER TO SWPPP BINDER FOR BMP DETAILS SHOWN ON THIS PLAN.

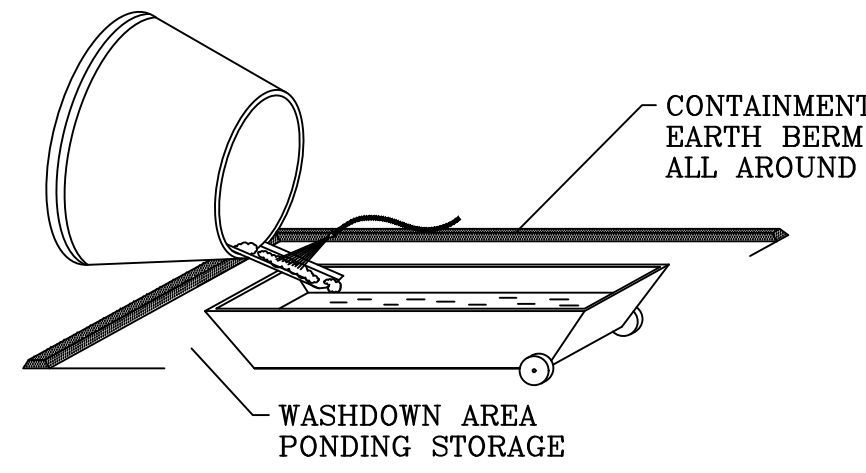
**LEGEND**

	SILT FENCE
	STORM DRAIN CURB INLET
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN
	STORM DRAIN LINE
	PORTABLE TOILETS
	INLET PROTECTION
	SWPPP BOARD BMP
	CONCRETE WASTE MGMT. AREA
	MATERIAL STORAGE AREA
	STABILIZED CONSTRUCTION ENTRANCE
	PRESERVE EXISTING VEGETATION
	STRAW WATTLES

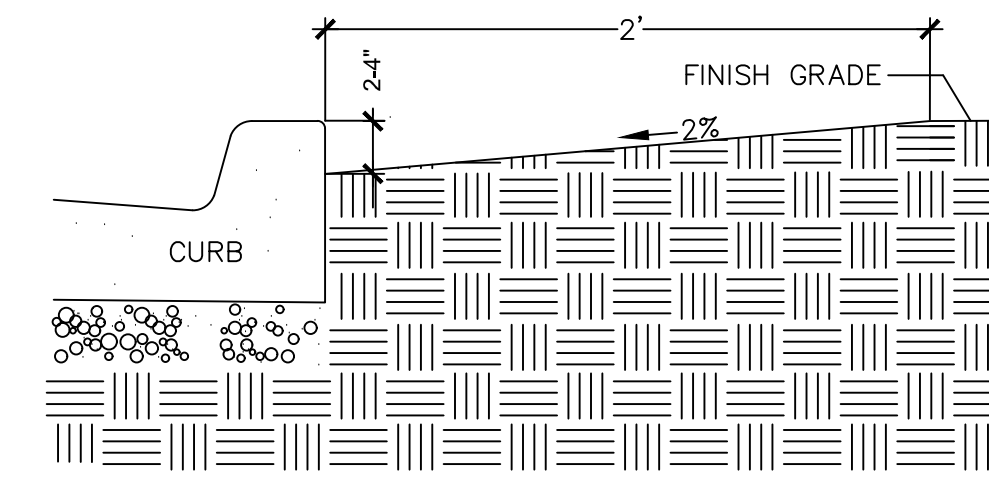
CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)			
BMP#	BMP SYMBOL	TITLE	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN AS NECESSARY
C120	120	TEMPORARY AND PERMANENT SEEDING	PER CONTRACTOR/OWNER AFTER GRADING UNTIL COMPLETION OF PROJECT
C140	140	DUST CONTROL	PER CONTRACTOR BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C153	153	MATERIAL DELIVERY, STORAGE, & CONTAINMENT	PER CONTRACTOR/ AS SHOWN BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	PER CONTRACTOR COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C257	257	SWPPP BOARD BMP	AS SHOWN BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS

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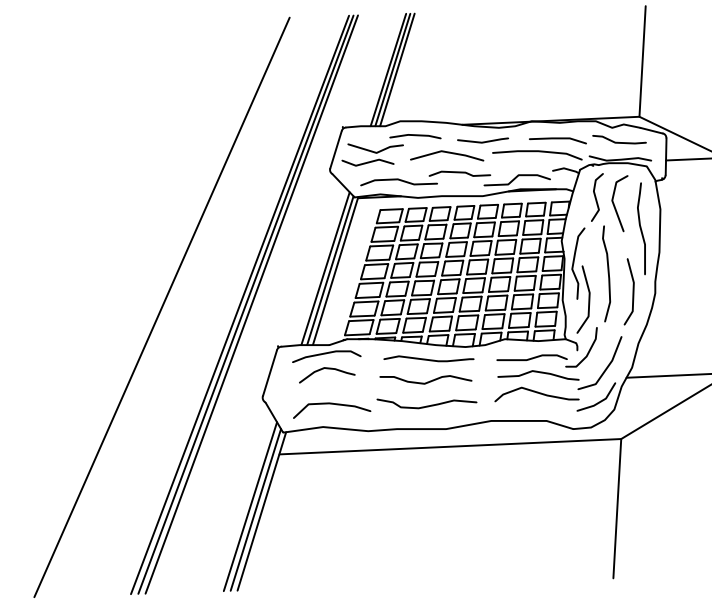
1. CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
2. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION. OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) HAS BEEN SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE STAKED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER.
4. EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPES. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
5. CUT AND FILL SLOPES SHALL BE CONDUCTED PER THE GEOTECHNICAL REPORT. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE ROUNDED FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNDDING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN.
6. EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT LIMITED TO, TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATION BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPERVIOUS SURFACES FOR STABILIZATION SHALL BE AVOIDED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED.
7. SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL BE INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE STAKED LOD, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHED AREAS, INCLUDING RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES.
8. CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES OR STRAW BALES.
9. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.
10. ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED PRIOR TO THE END OF THE WORK SHIFT OR PRIOR TO SUNSET, WHICHEVER COMES FIRST.
11. CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.
12. THE CONTRACTOR SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES, AS REQUIRED AND NOTATED IN THE SWPPP. THE CONTRACTOR WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.
13. ANY TREE 12" IN DIAMETER OR LARGER WILL NOT BE REMOVED UNTIL LOCATED BY SURVEY AND THE REMOVAL APPROVED BY THE OWNER OR EQUAL.
14. ALL DITCHES AND SWALES GREATER THAN 5% SHALL BE ARMORED WITH AN APPROPRIATE EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION.
15. CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.
16. INLET PROTECTION REQUIRED ON ALL INLETS WITHIN 500' DOWNSTREAM OF SITE.



**CONCRETE WASTE MANAGEMENT**

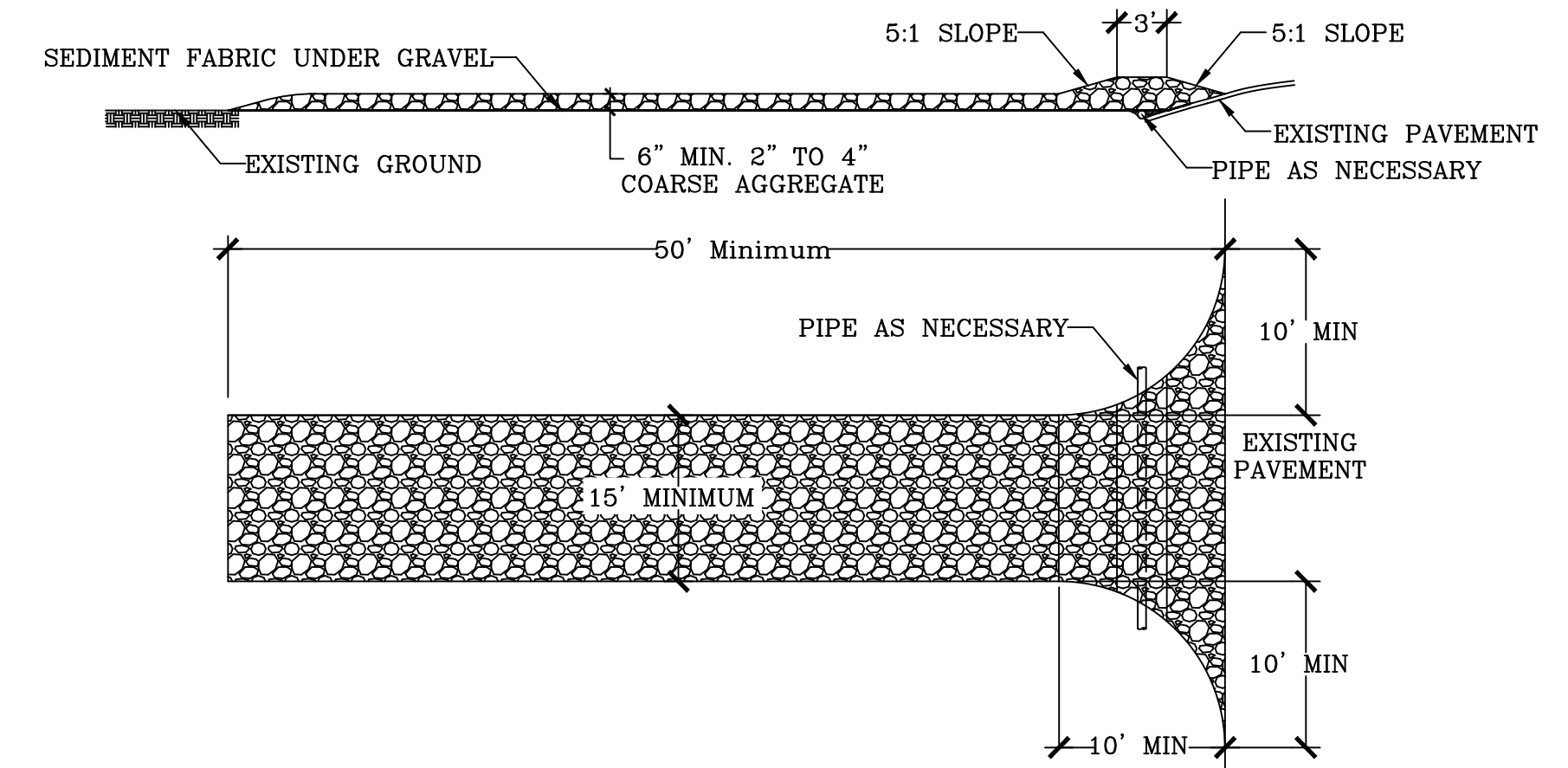


**CURB SEDIMENTATION TRAP**



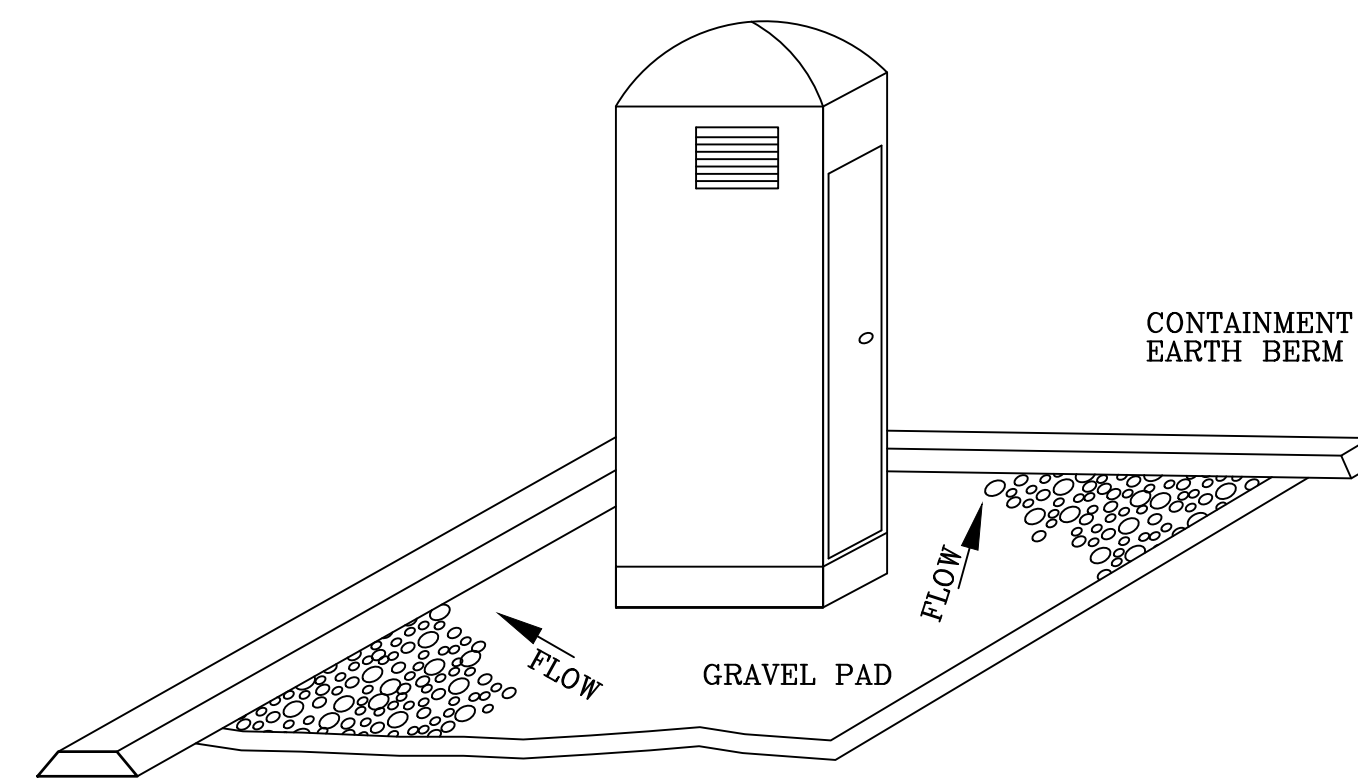
**INLET PROTECTION - WATTLE**

WATTLE MAY BE GRAVEL FILLED OR STRAW FILLED. INSTALL WHEN CONSTRUCTION OF CURB AND GUTTER AND ROADWAYS IS COMPLETE.



**STABILIZED CONSTRUCTION ENTRANCE**

STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL SUCH TIME AS ROADS AND PARKING LOT IS ASPHALTED. SEE APWA - 2012



**PORTABLE TOILET**

PORTABLE TOILETS TO BE INSTALLED DURING ALL CONSTRUCTION PHASES.



- A Utah Corporation -

**ENGINEERS**

**SURVEYORS**

**PLANNERS**

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NOT FOR  
CONSTRUCTION

**firefly**  
NPA 5, PRELIMINARY PHASE A  
EAGLE MOUNTAIN, UTAH  
EROSION CONTROL DETAILS

REVISIONS

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LEI PROJECT #:

2021-0080

DRAWN BY:

TJP

DESIGNED BY:

GDM / BCT

SCALE:

1"=###'

DATE:

9/18/2023

SHEET

702

## Firefly NPA 5, Phase A

Item	Assigned	City Comments	Page
1	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a>	101
2	CLH	What does owned and maintained mean? Should there be a maintenance agreement explaining the details?	101
3	LEI	AutoCAD file to check addresses	101
4	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a>	101
5	LEI	Erosion control plan needed.	101
6	LEI	What improvements are planned there? (paving, striping, wheel stops, planters, signage, etc.) Refer to Chp. 3 of the approved/adopted Community Plan	101
7	LEI	Is this a parking lot for a trailhead?	101

8	CLH	<p>If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a></p>	201
9	CLH	<p>If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a></p>	202
10	LEI	See note on detail page	301
11	CLH	<p>If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a></p>	302
12	LEI	move services away from hydrant, move to other side of the lots. TYP.	302
13	CLH	<p>In areas trails will be re-vegetated, please consider using the EMC rangeland seed mix, see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a></p>	302

14	CLH	<p>If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a></p>	303
15	CLH	<p>If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a></p>	303
16	LEI	<p>move services away from hydrant, move to other side of the lots. TYP.</p> <p>If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a></p>	303
17	CLH	<p>If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a></p>	401
18	LEI	<p>City will need drainage calcs, location of retention pond, volume;</p>	401
19	LEI	<p>Any swale crossings under driveways/roadways need to be minimum of 15" pipe</p>	601
20	LEI	<p>Single service per residential lot. One corp stop per lot with service line, manifold not accepted on large lots.</p>	601

21	CLH	Is the HOA going to maintain the parkstrips and the trails, specifically the equestrian trails in the rural cross section	601
22	CLH	Can we add an improved asphalt trail in the rural road cross section?	601
23	LEI	Fire Notes In areas trails will be re-vegetated, please consider using	601
24	CLH	the EMC rangeland seed mix, see <a href="https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf">https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf</a>	601

## Response To City

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

It means the Homeowner's Association will be responsible for all maintenance and ownership responsibilities of the said parcels.

CAD file has been provided.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

Erosion control plan has been added to plan set.

At this point, it is planned to be a gravel parking lot with wheel stops

It is a parking lot that provides access for an existing dirt trail that heads southwest.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

Noted

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

Plans have been updated.

We agree. A note has been added to the trail detail on Sheet 601.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

Plans have been updated.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

The storm drain report has been updated to include a typical lot drainage plan and typical drainage calculations for each lot.

A note has been added to the plans.

All services have been updated to show a single service per lot. Dual service detail has been removed.

The HOA will maintain the trails. The homeowner will maintain the parkstrips.

The developer would prefer to keep this trail as a road base trail to maintain the rural feel of the neighborhood

Fire notes have been added.

We agree. A note has been added to the trail detail on Sheet 601.