

PROVIDENCE CITY
Land Use Authority – Staff Report
Meeting Date: August 23, 2023

Request: Applicant is requesting approval of a conditional use site plan for a Blackstone Products Office Bldg. located at 549 S Hwy 165, Providence, UT.

Item Type: Commercial Site Plan

Applicant: Roger Dahle

Address: 549 S Hwy 165

Parcel ID #: 03-002-0003 & 0004

General Plan: CGD

Zone: CGD

Background Information:

A complete application was received May 13, 2022.

Pre-application meeting was held May 13, 2022.

FINDINGS OF FACT:

The following Providence City Code (PCC) list regulations and requirements to be considered.

1. 10-8-5 Commercial Zoned Districts; Site Development
2. 8-2-7 Installation and Connection to System for sewer.
3. 8-1-8 Installation of Water Lines.
4. 8-4-9 Installation and Connection to the Stormwater System.
5. 10-9-4 Frontages: Curb, Gutter, and Sidewalk
6. Official Zoning Map Revised June 2022

CONCLUSIONS OF LAW:

1. The property is located in a CGD zone.
2. The applicant meets the requirements of 10-8-5 with the following conditions:

CONDITIONS:

1. The applicant will continue to meet all relevant federal, state, county, and Providence City rules, laws, codes, ordinances.
2. Approval by the City of any application or paperwork submitted does not alleviate the owners and/or their agents from their responsibility to understand and conform to local, state, and federal laws. Providence City's approval is not intended to and cannot be construed to allow any laws to be violated.



PROVIDENCE CITY Commercial Site Information Form

FOR OFFICE USE ONLY

Date _____
Payment Form _____
Amount _____
Receipt # _____
Clerk _____

Date: 05/13/2022

Please Note: City Staff will NOT accept the application and fee payment if they are incomplete. Incomplete applications will NOT be processed or scheduled for review by the City.

- Application fees do not include professional firm fees, which will be billed separately.
- Engineered site plans may, at the City's discretion, be required. The City will contact the applicant if an engineered site plan is deemed necessary.
- Accessory buildings include sheds (over 200 sq ft) and all detached buildings (shop, garage, etc.)

Initial 

A COMPLETE APPLICATION INCLUDES THE FOLLOWING:

Submittal Requirements	Staff Check
\$100 application fee	
Completed, signed, and initialed Commercial Information Form	
Cache County Recorder's parcel map(s) of areas on the site plan	
Copy of Cache County GIS Parcel Summary http://66.232.67.238/Websites/Parcel%20and%20Zoning%20Viewer/	
A written/signed statement from the Owner of Record, stating that the Applicant may pursue approval of the concept plan and the property may be considered for development	
Storm Water Pollution Prevention Plan and Notice of Intent if applicable (see #10 below)	
Site Plan. The site plan must meet all the requirements for Commercial Zoned Districts in Providence City Code 10-8-5. The site plan must include: 1. Show north arrow, scale, building location, property lines, setbacks, abutting rights-of-way, parking layout, ADA parking and ramps, entrances to site, curbs, water and sewer lines, fire hydrants, fire lanes, storm drain lines and appurtenances. 2. Show all existing fire hydrants within 300 feet. 3. Show parking/loading computations for proposed use. 4. Show connectivity with adjacent parking lots and interior private roadways. 5. Show landscaping computations for proposed use. 6. Provide rendered elevations for all exteriors. Include color renderings of design concept or intent, site elements, and building facades. 7. Provide floor plans; include the proposed low floor elevation. 8. Provide cross-sections of the site showing spatial relationships between all vertical elements (building, trees, berms, Light standards, etc.) as they relate to activities and use of streetscape, pedestrian, and parking areas. 9. Provide lighting and signage plan for the entire site. Indicate how signs will be illuminated, their design and spatial relationship to other site amenities including buildings, and a graphic example of each type of sign. This does not take the place of a sign permit application. 10. Provide storm water pollution prevention plan if you are disturbing one or more acres of land or if your lot is part of a "common plan of development or sale" you will need to file a NOI and a SWPPP. A "common plan of development or sale" is a plan to subdivide a parcel of land into separate parts for separate sale. All unfinished lots remain part of the same common plan of development or sale until they are completed, stabilized, and fulfilled according to the purposes of the plan.	

To obtain your NOI permit please visit: cdx.epa.gov. You will create a log in and then access the Storm Water Permit Issuance System. There is a \$150 NOI fee, paid directly to the state when you file your permit. For SWPPP templates, visit construction.stormwater.utah.gov. 11. Provide cost estimates for site development, including but not limited to: landscaping, parking/loading areas, pedestrian areas. 12. Summary data indicating the area of the site in the following classification: total area of the lot, total area and percentage of the site utilized by buildings, total area and percentage of the site in landscape area, total area and percentage of the site for parking areas (including the number of parking spaces).	
If filing in person, provided an electronic copy of ALL submittals (flash drive or emailed is acceptable)	
If filing online, please submit physical copies of the complete application to the city office, 164 N Gateway Dr. Contact the Community Development staff for number and size of plan copies.	

Applicant Information

Name: Roger Dahle

Mailing address: 1073 W 1700 N, Logan UT 84321

Telephone: 435-757-6977 Email: roger@blackstoneproducts.com

Property Owner Information (If applicant is not the property owner, the application must include the property owner's information and written consent for the applicant to pursue the permit)

Name: Roger Dahle

Mailing address: 1073 W 1700 N, Logan UT 84321

Telephone: 435-757-6977 Email: roger@blackstoneproducts.com

Parcel Tax ID: _____

Project Information

Address: 549 S. Hwy 165, Providence UT 84332

Subdivision: _____

Name of business Blackstone Products Type of commercial use (restaurant, office, etc): Office

Zone General Commercial - CGD Actual structure height 43' Max Initial 15

Actual structure setbacks (front yard) 422' (side yard) 113' (side yard) 167' (rear yard) 260' Initial 15

Contractor Information

Name: T.B.D.

Mailing address: _____

Telephone: _____ Email: _____

Stormwater Notice of Intent (NOI) Information

NOI No. UTR T.B.D. Permit issued to: Roger Dahle

Property owner and contractor shall have responsibility to determine grades, and final placement and elevations of footings/foundations. Property owner and contractor shall be responsible for compliance with all state, national and local building codes and ordinances. Initial 15

Approval by the city of any application submittal or paperwork does not alleviate the owners from their responsibility to understand and conform to local, state and federal laws. Providence City's approval is not intended to and cannot be construed to allow any laws to be violated. Initial 15



Providence City

164 N Gateway Dr.
Providence UT 84332
(435) 752-9441

www.providencecity.com

The basis of the city's floodplain management regulation is the flood hazard data provided to the city by FEMA. Flood hazard data will be provided in the form of a flood insurance rate map (FIRM) and flood boundary-floodway maps (FBFM) and a flood insurance study (FIS).

The land use authority (made up of the community development director, city engineer, and public works director) is designated as the floodplain manager to administer and implement the provisions of PCC Chapter 10-16 Floodplain Management and Regulations.

Administrative Land Use Authority
(Floodplain Manager)

Skarlet Bankhead

sbankhead@providence.utah.gov

Max Pierce

max.pierce@crsengineers.com

Rob Stapley

rstapley@providence.utah.gov

The degree of flood protection required by PCC Chapter 10-16 is considered reasonable for regulatory purposes and is based upon scientific and engineering considerations. Larger floods may occur on rare occasions. Flood heights may be increased by manmade or natural causes. PCC Chapter 10-16 does not imply that land outside the areas designated as special flood hazard areas or uses permitted within such areas will be free from flooding or flood damages. PCC Chapter 10-16 shall not create liability on the part of the city, any officer, agent or employee thereof for any flood damage that results from reliance on this chapter or any administrative decision lawfully made hereunder.

Floodplain Development Permit

Issue Date:	Expiration Date:
Permit #	Permit becomes void if there are changes to the effective FIRM

The **Floodplain Development Permit** is the mechanism by which Providence City evaluates any and all impacts of activities proposed within our regulated floodplains. All activities must be in compliance with the Floodplain Management and Regulations Ordinance of the presiding jurisdiction, whether local, regional or statewide.

The National Flood Insurance Program provides flood insurance to individuals at much lower premiums than could otherwise be purchased through private insurers, and makes certain federal funds available to communities. In order for citizens to be eligible for the national flood insurance rates, or for communities to receive certain kinds of federal funds, the community must agree to meet minimum floodplain standards.

This application packet is a tool to ensure that the activities in Providence City comply with the Floodplain Management and Regulations Ordinance

Any party undertaking development within a designated floodplain must obtain a floodplain development permit prior to the work commencing.

FEMA defines development in Title 44 of the Code of Federal Regulations part 59.1 as: *Any man-made change to improved or unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations or storage of equipment or materials.*

Other human activities that are considered development include but are not limited to: alterations of a structure through additions, demolition and remodeling, fences, retaining wall, moving/placement of remanufactured or mobile homes, campgrounds, storage of equipment, vehicles or materials (storage yards, salvage yards).

Part 1.

General Provision of the Floodplain Development Permit Terms

Please read

1. No work may start until a permit has been issued.
2. The permit may be revoked if:
 - a. Any false statements are made herein;
 - b. The effective Flood Insurance Rate Map has been revised;
 - c. The work is not done in accordance with the Floodplain Damage Prevention Ordinance of the presiding jurisdiction or other local, state and federal regulatory requirements.
 - d. The work is different than what is described and submitted to the community as part of the Floodplain Development Permit application.
3. If revoked, all work must cease until permit is reissued.
 - a. If the permit cannot be reissued, applicant acknowledges that they will be responsible to correct the issue which may require removal of any development that may have occurred.
4. Development shall not be used or occupied until the project has received final inspection, a final elevation and approval by the city.
5. The permit will expire if no work has commenced within 3 months of issuance and by the expiration date noted on the permit.
6. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements and acknowledges that it is their responsibility to ensure that all necessary permits are obtained.
 - a. This includes but is not limited to documentation showing compliance with the endangered species act, stream alteration, wetlands, etc.
7. Applicant hereby gives consent to the local Floodplain Administrator and his/her representative (including state and federal agencies) to make reasonable inspections required to verify compliance.
8. Applicant acknowledges that the project will be designed to minimize any potential drainage onto surrounding properties and will be responsible for any drainage issues that may arise.
9. I, the applicant, certify that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate. Furthermore, I have read and understand the relevant Floodplain Damage Prevention Ordinance for my community and will adhere to the ordinance and will or have already obtained all necessary state, federal and local permits for the proposed development.

Please Sign

Applicant's Name: Mark McConkie	Date: 7/14/2023
Applicant's Signature: <i>Mark McConkie</i>	

Part 2

Please Fill Out



Owner Information



Contractor/Developer Information

Owner: North Atlantic Imports, LLC, d/b/a Blackstone Products			Contractor/Developer: R&O Construction		
Address: 1073 West 1700 North			Address: 933 Wall Avenue		
City: Logan	State: UT	Zip: 84321	City: Ogden	State: UT	Zip: 84404
Phone: 435-252-3030		Cell Phone: 801-710-7331	Phone: 801-627-1403		Cell Phone: 801.430.1303
Contact Name: Mark McConkie			Contact Name: Slade Opheikins		
Emergency Phone:			Emergency Phone:		
Email: markm@blackstoneproducts.com			Email: slade@randoco.com		

Part 3

Please Fill Out



Project Overview

Project Address: 549 S HWY 165, Providence UT 84332		
Legal Description: Blackstone Products Headquarters	Latitude/Longitude: DDM 41° 41.966'N 111° 50.3064'W	
Description of Project: 2- Level, \$6,000 S.F. commercial office building primarily made up of Steel, Concrete, Glass, Insulated board formed tilt-up, and outer super structure clad with Prodema rain screen. Will include R&D area for designing, engineering, and prototyping products, showroom, kitchen and dining to support 250 employees; light-filled common area with interior trees and lecture steps, gymnasium, administrative spaces including open and enclosed offices, and conference rooms.		
Estimated Cost of Project: approx. \$42M		
If work is on, within or connected to an existing structure:		
Valuation of Existing Structure:	Source of Valuation:	When the Existing Structure was Built:

*If the value of an addition, remodel or alteration to a structure equals or exceeds 50% of the value of the structure before the addition, remodel or alteration, the entire structure must be treated as a substantially improved structure and is required to comply with the relevant Floodplain Damage Prevention Ordinance. A relocated structure, including mobile homes, manufactured homes or cabins, must be treated as new construction.

Please Check

Channel Improvements	Structural Development	Miscellaneous	Type
☐ Bank Stabilization	☒ New Construction	☐ Bridge	☐ Temporary
☐ Grade Control	☐ Residential Building	☐ Culvert	☒ Permanent
☐ Drop Structure	☒ Non-Residential	☐ Demolition	☐ Rehabilitation
☐ Outfall	☐ Manufactured Home	☐ Fence	☐ Emergency Repair
☐ Fill	☐ Rehabilitation (<50%)	☒ Grading/Parking Lot	☐ Maintenance
☐ Other _____	☒ Substantial Improvement (≥ 50%)	☐ Maintenance	☐ Other _____
	☐ Other _____	☐ Other _____	

Flood Hazard Data (Completed by Floodplain Administrator)

Watercourse Name:		Effective Firm Panel Number & Date:
Is the development in or impacts a floodplain? ☐ No ☐ Yes		Is the development in the floodway? ☐ No ☐ Yes
Special Flood Hazard Zone:	Base Flood Elevation (BFE):	Method used to determine (BFE)
Vertical Datum: Must be either NAVD 88 and the same vertical datum of the effective FIRM:	Elevation of lowest floor, including basement or crawlspace*:	Elevation of lowest, habitable floor*:
Elevation of floodproofing (non-residential structures only)*:		*Source of elevation and/or floodproofing information:
Does the project require that a CLOMR be processed? ☐ No ☐ Yes		Is a LOMR required? ☐ No ☐ Yes

THIS PAGE TO BE COMPLETED BY FLOODPLAIN ADMINISTRATOR

Part 4



Floodplain Development Permit Checklist

The following documents may be required at the discretion of the Floodplain Administrator:

- ☐ Tax assessor map
- ☐ Maps and/or plans showing the location, scope and extent of development
- ☐ Floodproofing Certificate: Certificate and supporting documentation used to provide the certification
- ☐ Documentation showing compliance with the Endangered Species Act
- ☐ No-Rise Certificate: Certificate and supporting documentation used to provide the certification
- ☐ Elevation Certificate:
 - ☐ Constructional Drawing
 - ☐ Building Under Construction
 - ☐ Finished Construction
- ☐ Grading plans
- ☐ Detailed hydraulic and hydrology model for development in Zone A
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Structure valuation documentation
- ☐ Non-conversion agreement: Required for all structures that are constructed with an enclosure
- ☐ Wetland Permit from the US Army Corps of Engineers
- ☐ Copies of all federal, local and state permits that may be required
- ☐ Manufactured home anchoring certificate: Certificate and supporting documentation used to provide the certification
- ☐ Other documents deemed necessary by the Floodplain Administrator _____

Part 5



Permit Action

- ☐ **Permit Approved:** The information submitted for the proposed project was reviewed and is in compliance with approved floodplain management standards.
- ☐ **Permit Approved with Conditions:** The information submitted for the proposed project was reviewed. In order for the proposed project to be approved, certain restrictions or conditions must be met. These restrictions or conditions are attached.
- ☐ **Permit Denied:** The proposed project does not meet approved floodplain management standards (explanation on file).
- ☐ **Variance Granted:** A variance was granted from the base (1%) flood elevations established by FEMA consistent with variance requirements of Title 44 of the Code of Federal Regulations part 60.6 (Variance action documentation is on file).

Skarlet Bankhead, Community Development Director
Chair: Administrative Land Use Authority (Floodplain Administrator)

Date



April 7, 2023

Providence City
164 North, Gateway Dr.
Providence, Ut 84332

RE: Site plan review – Blackstone Headquarters Building, 1910 South SR 165,
Providence, Ut 84332 (03-002-0003, & 03-002-0004).

The above-named site plans have been submitted to the Logan Fire Department for a fire and life safety review. This review was made in the interest of the fire safety provisions and regulations as adopted by the State of Utah and in accordance with the International Fire Code. This review is not considered comprehensive nor regarded as sanctioning any code deficiencies not identified. The ultimate responsibility for compliance with the applicable codes, standards and ordinances rests with the owner.

This site plan review is approved based on the submitted building and site plans submitted by Blackstone dated September 01, 2022. Any changes, adjustments, or addendums will require separate and additional approvals.

The following comments document the review process:

Access

(IFC 503.1.1) Fire Apparatus Access shall extend to within 150 feet of all portions of the facility as measured by an approved route around the exterior of the building.

(IFC 503.2.5) Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.

- With the addition of two extended aerial apparatus access points (26 feet wide), one on each end of the building, overall fire department access is approved as submitted on page GI1-00.
- All areas that are designated as part of the fire department access (including the turnaround) shall be constructed to withstand not less than 75,000 pounds and shall be designed to accommodate the turning radius as required (2018 IFC Section 503 and Appendix D). Acknowledged, turning radius identified on page CS2-05. Approved.

Fire hydrant locations and number of hydrants

(IFC 507.5.1) Fire Hydrants shall be located within 400 feet of the building as measured by an approved route around the exterior of the building. Exception allows for the distance to be increased to 600 feet for R-3 occupancies.

- Fire hydrant placement is approved as submitted on plans page CU3-04.
- A fire hydrant is required within 100 feet of the FDC (fire department sprinkler connection). Approved as submitted.

Fire protection water supplies

(IFC 507.1) An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, building or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.3) Fire flow requirements for buildings or portions of building and facilities shall be determine by an approved method.

- The building appears to be approx. 85,320 sq. ft. in size. According to Table B105.1 the fire flow for a combined fire area 85,320 sq. ft. of type II-B is 6,250 GPM at 20 PSI. This building will contain a full NFPA 13 sprinkler system and as such is allowed a 50% reduction to a fire flow of 3,125 GPM at 20 PSI.
- According to an email from Tyler Munk at Civil Solutions dated August 17, 2022, the proposed fire hydrants in the area are forecasted to contain approximately 3,550 GPM at 20 PSI and are likely adequate for this size and type of construction.

Other project comments

- An established water supply with hydrants, and an approved fire department vehicle access to the site is required at the beginning of construction.

If you have any questions, please call or email,

Respectfully,

Aaron Walker

Aaron Walker
Deputy Fire Marshal
Logan Fire Department
435-716-9516
Aaron.walker@loganutah.org

FIRE DEPARTMENT



JACOBY ARCHITECTS

425 South 400 East
Salt Lake City
Utah 84111
801.363.1434
Project Number: 2021-10

General Note:

All views on this sheet are not perpendicular to viewing plane.
See following Elevation sheets for perpendicular views.

NOTE TO CONTRACTOR

All measurements are to the center of the building unless otherwise noted.
All dimensions are to the center of the building unless otherwise noted.
All dimensions are to the center of the building unless otherwise noted.
All dimensions are to the center of the building unless otherwise noted.

CONSULTANTS

Architectural - Jacoby Architects, Inc.
Civil - Civil Engineers Group
Electrical - Electrical Engineers Group
Mechanical - ESI, Inc.
Food Service - Restaurant Systems
Mechanical - Miller Engineering, Inc.
Structural - Structural Engineering

STAMP

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SHEET DATA

Drawn By: JI
Checked By: Checker

PROJECT

Blackstone Products Headquarters
Providence, UT



CODE OFFICIAL APPROVAL STAMP



REVISION

ISSUE PHASE
2022.02.24 Schematic Design
2022.08.08 Design Development

FOR SIGN DEVELOPMENT
Building Elevations

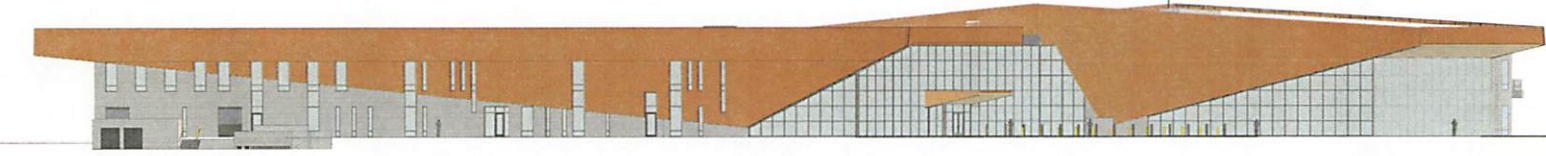
AE2-01



North Elevation
1/16" = 1'-0"



East Elevation
1/16" = 1'-0"



South Elevation
1/16" = 1'-0"



West Elevation
1/16" = 1'-0"

NOTE TO CONTRACTOR

It is the responsibility of the contractor and sub-contractors to ensure all clients and specifications included in the construction agreement to be made full scope of work stipulated by the agreement and the specifications is covered. There can be a situation where the documents and the specifications, at the time of a conflict, it is the contractor's responsibility to cover a significant portion of the building process for the client can be clarified.

CONSULTANTS

- Architectural - Jacinto Architects Inc.
- Civil - Civil Solutions Group
- Landscaping - Civil Solutions Group
- Structural - TBSI Inc.
- Food Service - Jamboree Design
- Mechanical - World Engineering Inc.
- Electrical - Epsilon Engineering

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SHEET DATA

Drawn By JJ
Checked By Checker

PROJECT

Blackstone Products Headquarters
Providence, UT



CODE OFFICIAL APPROVAL STAMP

row

REVISION

ISSUE/PHASE	
2022-02-24	Schematic Design
2022-05-05	Design Development

DESIGN DEVELOPMENT

Architectural Site Plan

AA1-01



JACOBY ARCHITECTS
425 South 400 East
Salt Lake City
Utah 84111
801.563.1444
Project Number: 2021-10

NOTE TO CONTRACTOR

General notes to contractor regarding construction of this project. See attached notes for details. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the latest edition of the International Mechanical Code (IMC).

CONTRACTORS

Architect: Jacoby Architects Inc.
Civil: Civil Engineering Inc.
Mechanical: Mechanical Engineering Inc.
Electrical: Electrical Engineering Inc.

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SHEET DATA

Drawn By: KIM
Checked By: Charles

PROJECT

Stackstone Products Headquarters
Providence, UT



CODE OFFICIAL APPROVAL STAMP

NOT FOR CONSTRUCTION

REVISION

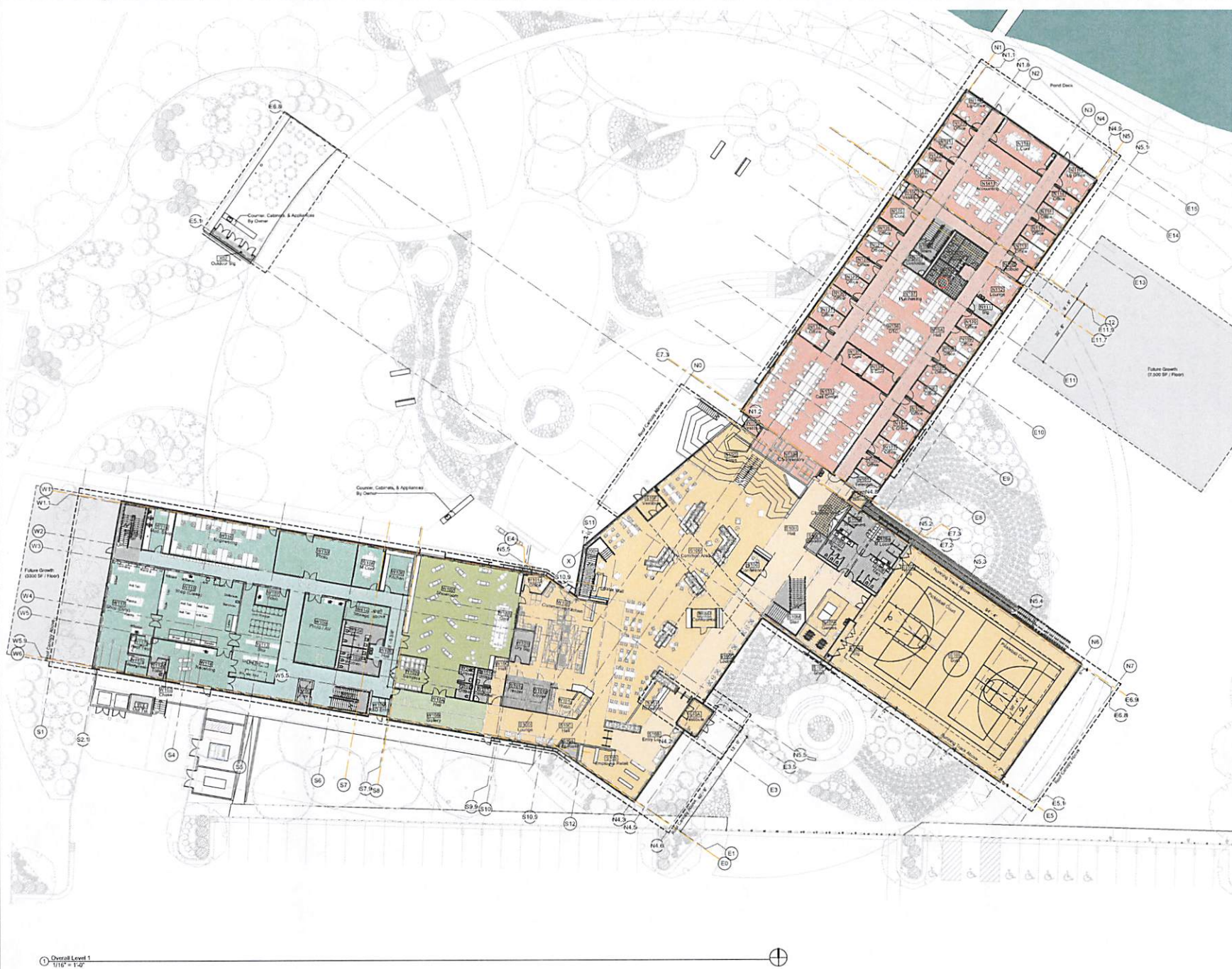
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2022.02.24
2022.05.05

Schematic Design
Design Development

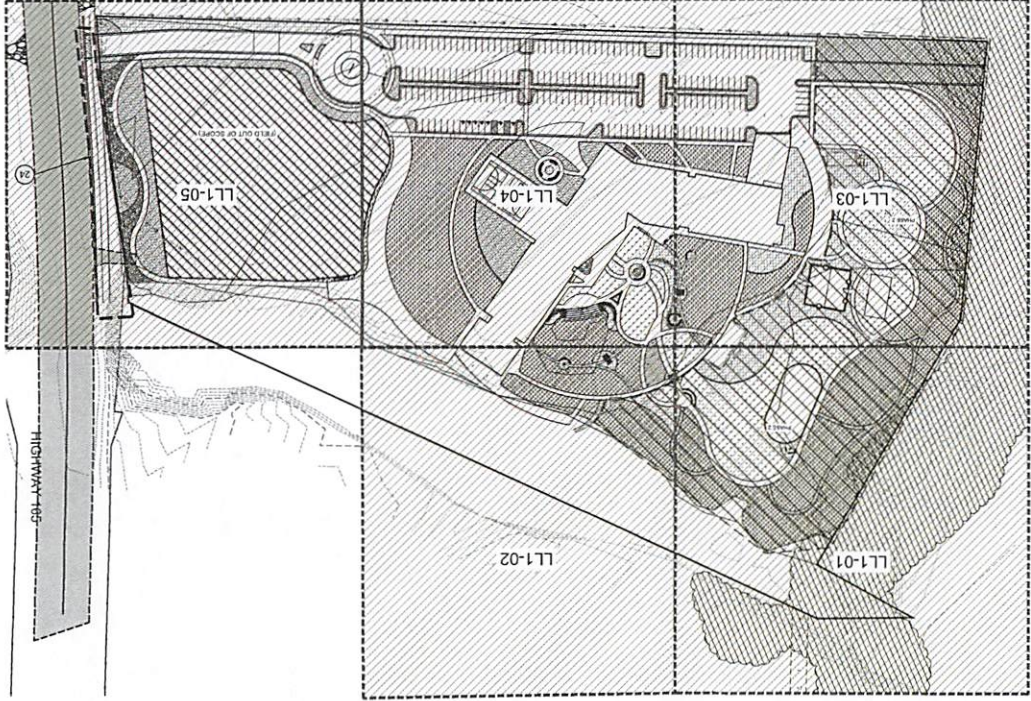
DESIGN DEVELOPMENT

Overall Level 1 Floor Plan

AE1-21



Overall Level 1
1/16" = 1'-0"





JACOBY ARCHITECTS

425 South 400 East
Salt Lake City
Utah 84111
801.563.1434
Project Number: 2021.10



civilsolutionsgroupinc.

NOTE TO CONTRACTOR

CONSOLE TABLES
1. See Schedule 1 for details of console tables.
2. See Schedule 2 for details of console tables.
3. See Schedule 3 for details of console tables.
4. See Schedule 4 for details of console tables.
5. See Schedule 5 for details of console tables.
6. See Schedule 6 for details of console tables.
7. See Schedule 7 for details of console tables.
8. See Schedule 8 for details of console tables.
9. See Schedule 9 for details of console tables.
10. See Schedule 10 for details of console tables.

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CONTRACTOR
1. See Schedule 1 for details of contractor.
2. See Schedule 2 for details of contractor.
3. See Schedule 3 for details of contractor.
4. See Schedule 4 for details of contractor.
5. See Schedule 5 for details of contractor.
6. See Schedule 6 for details of contractor.
7. See Schedule 7 for details of contractor.
8. See Schedule 8 for details of contractor.
9. See Schedule 9 for details of contractor.
10. See Schedule 10 for details of contractor.

SHEET DATA

Drawn By: JAC

Checked By: JAC

PROJECT

Blackstone Products Headquarters

Providence, UT

NOT FOR CONSTRUCTION

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REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	BOARDWALK, SEE DETAILS ON L04-05.		
2	PAVILION/OUTDOOR KITCHEN, SEE ARCHITECTURAL PLAN.		
3	AMPHITHEATER, SEE CIVIL PLANS.		
4	ICE SKATING RINK, SEE CIVIL PLANS FOR WATER SOURCE.		
5	FIRE PIT, 36" DIAMETER, 1" POWDER COATED STEEL GAS FIRE PIT, ROUND IN BLACK BY FIREPIT/OUTLETTER, WITH MULTICOLOR WOOD RICK FALL AND 20" MOUNTAIN ASPEN LOG SET, BOTH BY FIREPIT/OUTLETTER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS, CONTRACTOR TO PROVIDE GAS CONNECTION TO THIS LOCATION.	56.04-04	
6	ENTRY PLAZA WATER FEATURE, SEE ARCHITECTURE PLANS.		
7	FIRE LAKE, SEE CIVIL PLANS.		
8	RAISED PLANTING BEDS/ATWALL.	56.04-04	
9	DEMOMSTRATION COOKTOP, SEE ARCHITECTURE PLANS.		
10	PERGOLA, 12' X 12' "SANTA FE" PERGOLA BY "VOLVO" IN WHITE BLACK FINISH.		
11	EXTERIOR STEPS (CONTINUE INSIDE), SEE ARCHITECTURE PLANS.		
12	SEATWALL.	11.04-03	
13	EXISTING FIELD TO REMAIN, IRRIGATION BY OWNER.		
14	CONCRETE MONOWHIP, 6" WIDE.	56.04-03	
15	"BOLDER" SHADE STRUCTURE WITH SEATING, SEE ARCHITECTURE PLANS.		
16	DECK OVER POND, SEE ARCHITECTURE PLAN.		
17	PUTTING CUPS, SEE DETAIL.	35.04-04	
18	SAND VOLLEYBALL COURT WITH NET BY "VOLLEYBALL USA".	85.04-04	
19	PERGOLA, COURT, TO BE INSTALLED BY "PARKIN TENNIS".	41.04-04	
20	MONOWHIP ARCHITECT.		
21	BIKE RACKS, SURFACE MOUNT FOR BIKE RACK FROM LANDSCAPE FORMS.	25.04-04	
22	REMOVABLE 6" SQUARES 6" O.C. 1600T STAINLESS STEEL BOLLARD WITH TEXTURED BRUSHED POWDER COAT FINISH AND 4" REMOVABLE EMBEDDED RECEIVER WITH LED BY "RELIANCE" FOUNDRY, - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	115.04-03	
23	BENCH, SURFACE MOUNT FOR BENCH BY "LANDSCAPE FORMS", INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	11.04-04	
24	UDOT RIGHT OF WAY, NOT IN SCOPE OF WORK.		
25	12" CONCRETE MONOWHIP.	65.04-03	
26	FLAGPOLE, SEE ARCHITECTURE PLANS FOR TYPE.		
27	FUTURE GREENHOUSE AND RAISED PLANTERS, (ACTUAL SIZE AND LOCATION TO BE DETERMINED).		
28	CONCRETE PLATFORM, 10' ABOVE BOARDWALK.		
29	GATES BY OWNER IF NEEDED.		
30	SPLIT RAIL FENCE WITH 12" MONOWHIP, SEE DETAIL ON L04-05.		
31	DRINKING FOUNTAIN, 2400 SWS5 W/ OPTIONAL BOTTLE FILLER BY "MOST DEFENDABLE FOUNTAIN".		
32	BOULDER, "MAGUIRE" FROM "STAKER PARSONS" OR APPROVED EQUAL.		

SYMBOL	DESCRIPTION	QTY	DETAIL
33	TURF GRASS, SOD IMPERIAL BLUE FROM CHANGSHAN SOD OR APPROVED EQUAL, INSTALLED OVER 1" TOPSOIL LAYER.	69,738 SF	56.04-03
34	ROCK MULCH, 3/4" MINUS (WASATCH GREY) CRUSHED ROCK FROM STAKER PARSONS OR APPROVED EQUAL, INSTALLED AT DEPTH OF 2" INSTALLED OVER DEWITT PRO'S BARRIER FABRIC.	41,830 SF	56.04-03
35	COBBLE, 3/4" (CACHA) COBBLE FROM STAKER PARSONS OR APPROVED EQUAL, INSTALLED 1" DEEP OVER DEWITT PRO'S BARRIER FABRIC.	9,581 SF	56.04-03
36	BARK MULCH (SMALL) BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL, INSTALLED AT DEPTH OF 2" WITHOUT WEED BARRIER FABRIC, PLANTINGS WITHIN THIS AREA WILL INCLUDE TREES, SHRUBS, GRASSES AND PERENNIALS.	49,887 SF	56.04-03
37	"HIGH MOUNTAIN NATIVE GRASS 150" FROM "HIGH COUNTRY GARDENS" APPROVED AT A RATE OF 2 LBS. PER 1,000 SQ. FT., SEE SEEDING NOTES ON L04-01.	155,768 SF	
38	PUTTING GREEN, (ARTIFICIAL TURF)	1,696 SF	35.04-04

GENERAL NOTES:
1. CONTRACTOR TO VERIFY QUANTITIES



LL1-01



SYMBOL	DESCRIPTION	QTY	DETAIL
	TURF GRASS 500 (ARTIFICIAL BLUE FROM CHANGSHARE SISO OR APPROVED EQUAL) OR FALLOD OVER 2" TOPSOIL LAYER.	69,709.58	51.04-03
	ROCK MULCH 3/4" MINUS (WASHED CHIT CRUSHED ROCK FROM PIONEER OR APPROVED EQUAL) 2" DEEP LINED AT EQUALS OVER DEWITT PRO 5 BARRIER FABRIC.	47,430.57	51.04-03
	COBBLE 3/4" (CAKES COBBLE FROM TAYLOR PATAGONIA OR APPROVED EQUAL) 2" DEEP OVER DEWITT PRO 5 BARRIER FABRIC.	9,591.57	51.04-03
	BARK MULCH (SMALL BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL) LINED AT EQUALS OF 2" WITHOUT WEEB BARRIER FABRIC. PLANTING MATERIAL SHALL INCLUDE TREES, SHRUBS, GRASSES AND PERENNIALS.	40,057.58	51.04-01
	"MOCK MOUNTAIN GRASS" GRASS 18" FROM "MOCKMOUNTAIN GARDEN" APPLIED AT A RATE OF 2 LBS. PER 1,000 SQ.FT. SEE SELLING NOTICES ON LHM-01	105,769.58	
	PUTTING GREEN, (ARTIFICIAL, TURF)	1,499.57	35.04-04

GENERAL NOTES:
1. CONTRACTOR TO VERIFY QUANTITIES



JACOBY ARCHITECTS

425 South 800 East

Salt Lake City

UT 84111

Project Number: 2021-70



civilsolutionsgroup

NOTE TO CONSULTANTS

CONSULTANTS

STAFF

PROJECT

Blackstone Products Headquarters

Providence, UT

COFF OFFICE, ARCHITECT, STAFF

MEETING

DESIGN PHASES

2022-04-28

Design Consultant

LL1-03

SITE PLAN

LANDSCAPE

DESIGN CONSULTANT

LL1-03

SITE PLAN

LANDSCAPE

DESIGN CONSULTANT

LL1-03

SITE PLAN

LANDSCAPE

DESIGN CONSULTANT

LL1-03

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DESIGN CONSULTANT

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SITE PLAN

LANDSCAPE

DESIGN CONSULTANT

LL1-03

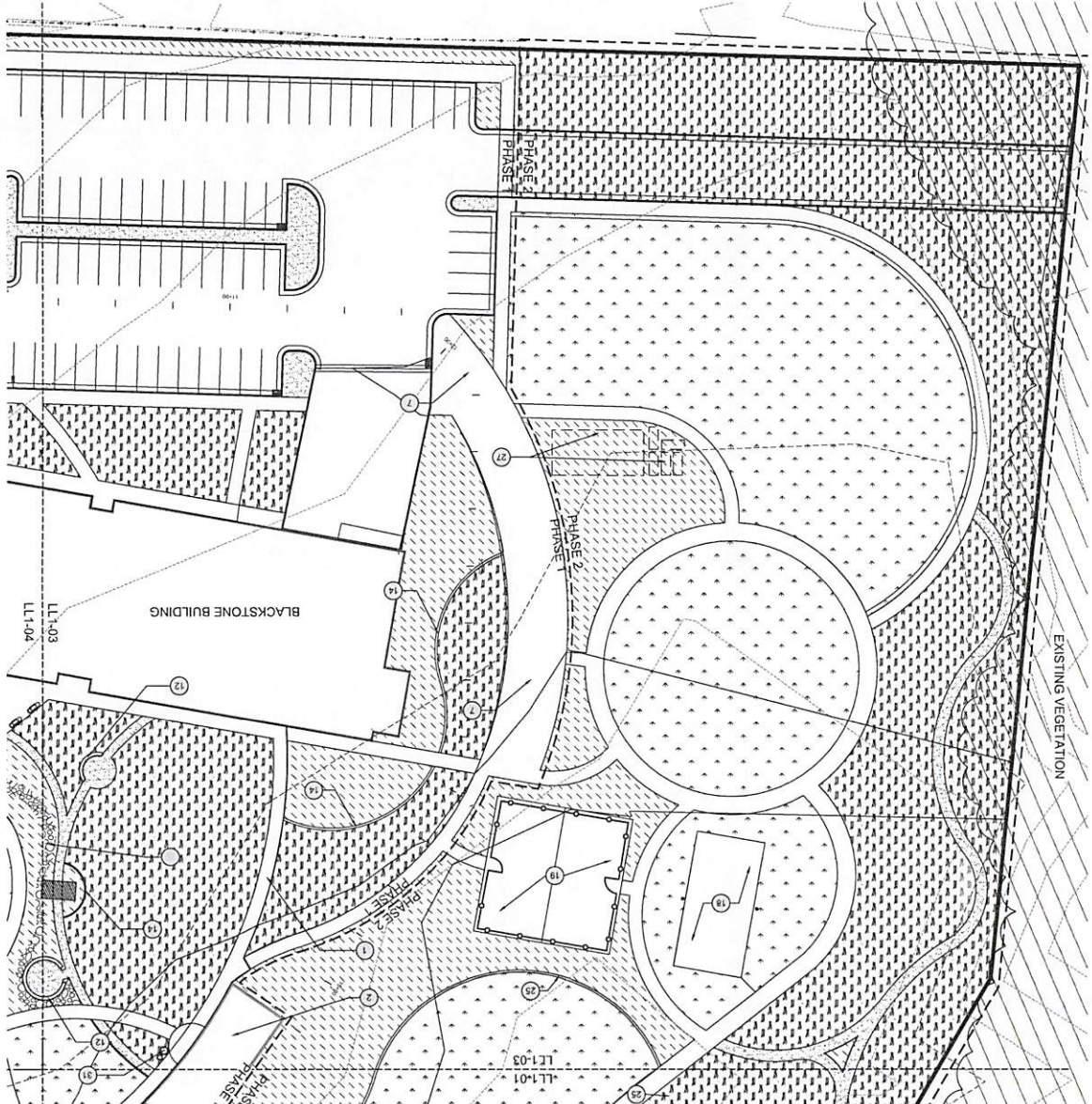
SITE PLAN

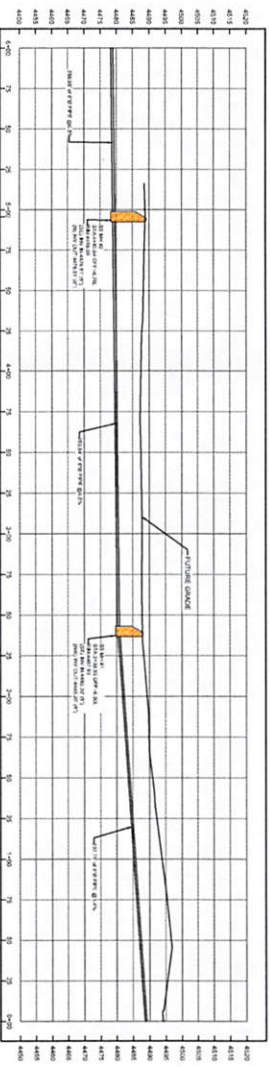
LANDSCAPE

DESIGN CONSULTANT



SYMBOL	DESCRIPTION
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[Symbol]	PHASE 4
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[Symbol]	PHASE 100





NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSISSIPPI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
2. THE SEWER LINE SHALL BE INSTALLED AT A MINIMUM OF 10 FEET DEPTH BELOW THE FINISHED GRADE.
3. THE SEWER LINE SHALL BE INSTALLED AT A MINIMUM OF 10 FEET DEPTH BELOW THE FINISHED GRADE.
4. THE SEWER LINE SHALL BE INSTALLED AT A MINIMUM OF 10 FEET DEPTH BELOW THE FINISHED GRADE.
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8. THE SEWER LINE SHALL BE INSTALLED AT A MINIMUM OF 10 FEET DEPTH BELOW THE FINISHED GRADE.
9. THE SEWER LINE SHALL BE INSTALLED AT A MINIMUM OF 10 FEET DEPTH BELOW THE FINISHED GRADE.
10. THE SEWER LINE SHALL BE INSTALLED AT A MINIMUM OF 10 FEET DEPTH BELOW THE FINISHED GRADE.



JACOBY ARCHITECTS

225 South 800 East

Salt Lake City, UT 84111

TEL: 313.1434

Project Number: 2021-19



civilsolutionsgroup

225 South 800 East

Salt Lake City, UT 84111

TEL: 313.1434

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225 South 800 East

Salt Lake City, UT 84111

TEL: 313.1434

Project Number: 2021-19

225 South 800 East

Salt Lake City, UT 84111

C-301

SANITARY SEWER

PLAN

SCALE: 1"=40'

DATE: 10/20/20

BY: JACOB

CHECKED: JACOB

APPROVED: JACOB

PROJECT: 2021-19

LOCATION: 225 SOUTH 800 EAST

CITY: SALT LAKE CITY, UT

CLIENT: JACOBY ARCHITECTS

DATE: 10/20/20

BY: JACOB

CHECKED: JACOB

APPROVED: JACOB

PROJECT: 2021-19

LOCATION: 225 SOUTH 800 EAST

CITY: SALT LAKE CITY, UT

CLIENT: JACOBY ARCHITECTS

DATE: 10/20/20

BY: JACOB

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APPROVED: JACOB

PROJECT: 2021-19

LOCATION: 225 SOUTH 800 EAST

CITY: SALT LAKE CITY, UT

CLIENT: JACOBY ARCHITECTS

DATE: 10/20/20

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PROJECT: 2021-19

LOCATION: 225 SOUTH 800 EAST

CITY: SALT LAKE CITY, UT

CLIENT: JACOBY ARCHITECTS

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PROJECT: 2021-19

LOCATION: 225 SOUTH 800 EAST

CITY: SALT LAKE CITY, UT

CLIENT: JACOBY ARCHITECTS

DATE: 10/20/20

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LOCATION: 225 SOUTH 800 EAST

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APPROVED: JACOB

PROJECT: 2021-19

LOCATION: 225 SOUTH 800 EAST

CITY: SALT LAKE CITY, UT

CLIENT: JACOBY ARCHITECTS

DATE: 10/20/20

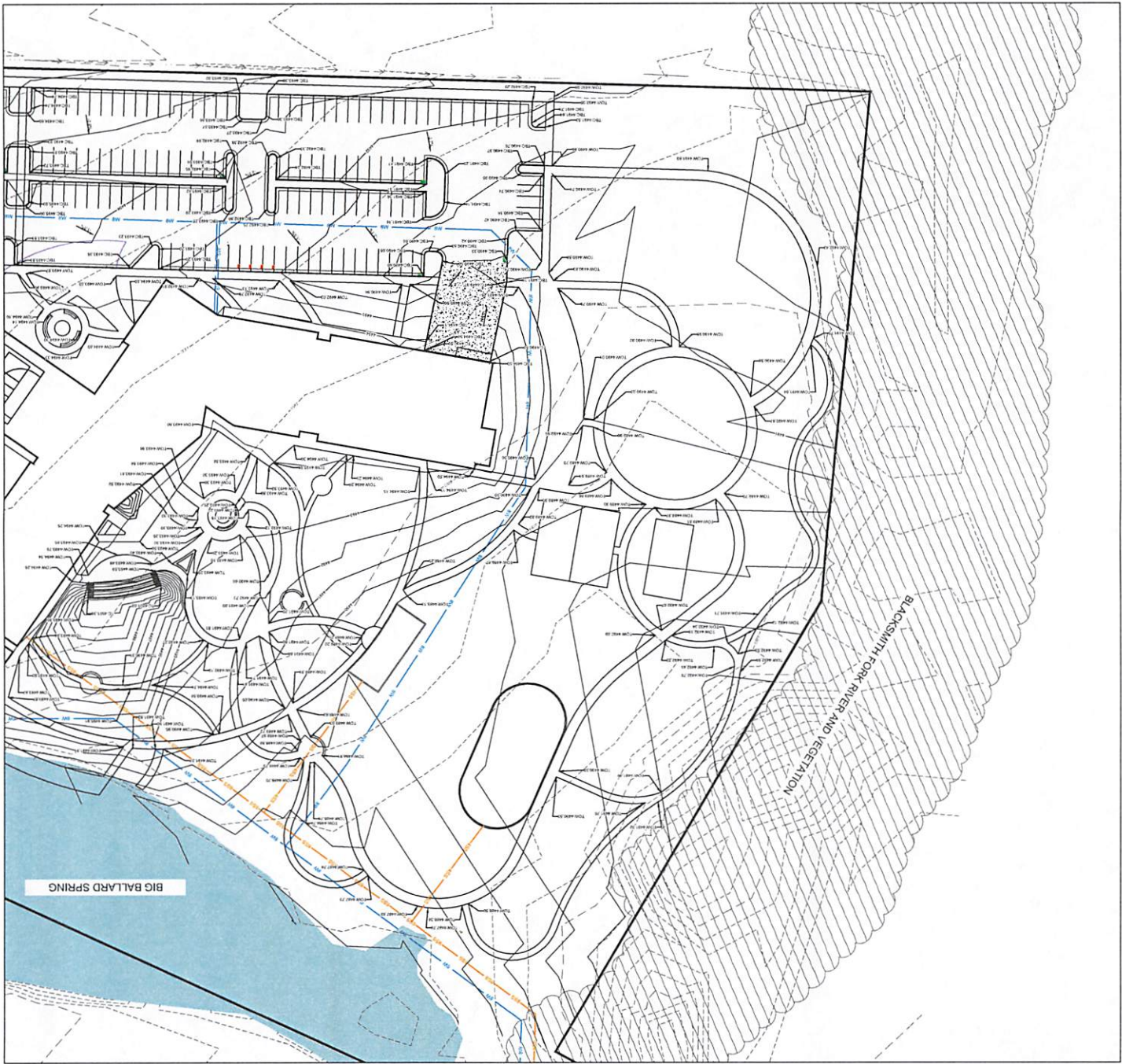
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CHECKED: JACOB

APPROVED: JACOB

PROJECT: 2021-19

LOCATION: 225 SOUTH 800 EAST



GRADING NOTES:

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE U.S. DEPARTMENT OF AGRICULTURE, NATIONAL ENGINEERING CONGRESS, INC., PUBLISHED BY THE NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS, INC., 1115 N. 17TH AVE., SUITE 100, DENVER, CO 80202.
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[illegible]

CONSULTANTS

Architectural - Jentley Architects Inc.
Civil - Civil Solutions Group
Landscape - Civil Solutions Group
Structural - TBS Inc.
Fuel Service - Jentley Architects Inc.
Mechanical - BMR Engineering Inc.
Electrical - BMR Engineering Inc.

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SHEET DATA
Drawn By: T. CADY Checked By: T. MURKIN

C	
	PROJECT
	Blackstone Products Headquarters Providence, UT



CODE OFFICIAL APPROVAL STAMP

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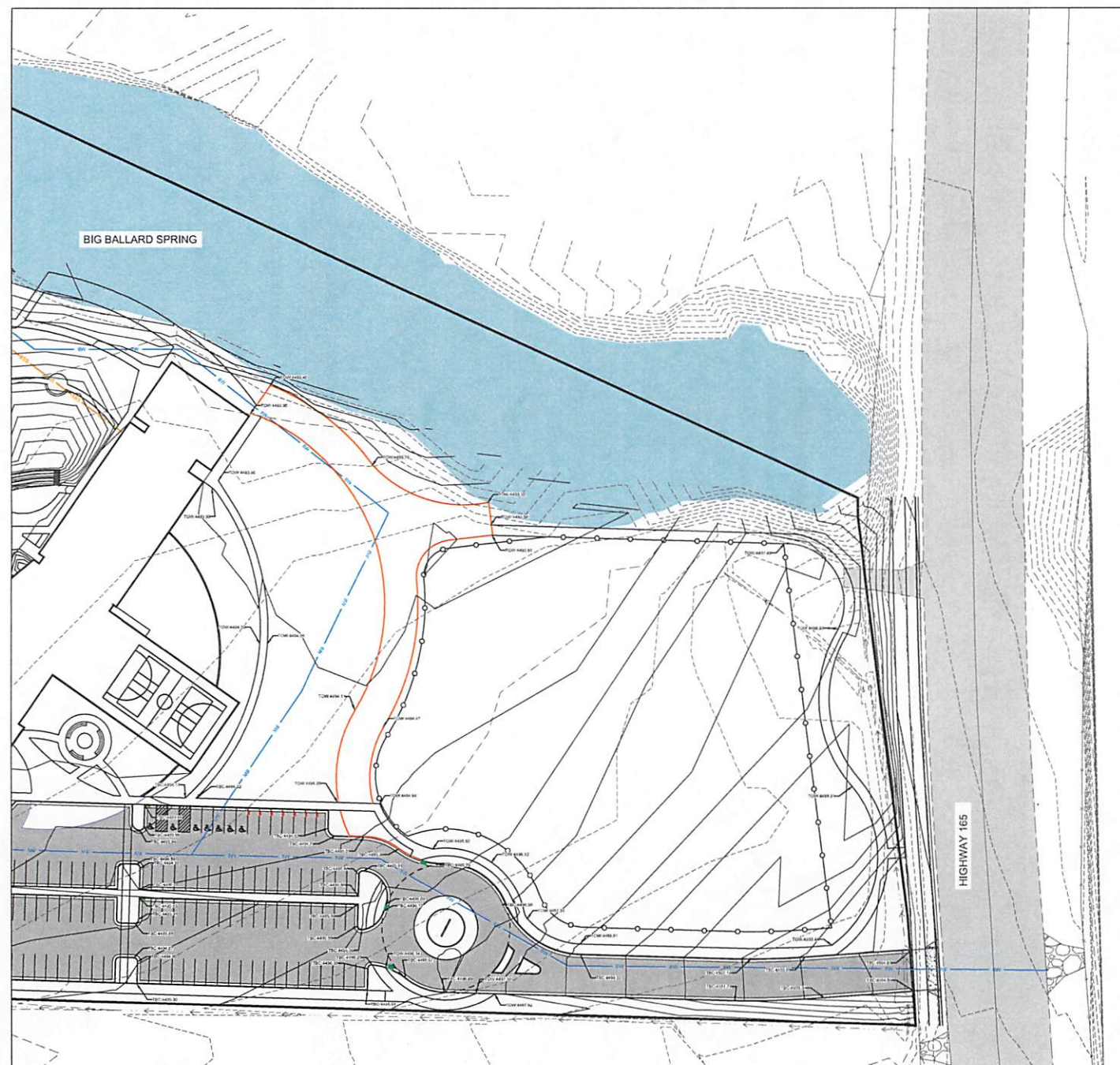
REVISION

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2022 05 06	DO SET

SCHEMATIC DESIGN

GRADING PLAN

C-402






JACOBY ARCHITECTS
425 South 400 East
Salt Lake City
Utah 84111
801.563.1434
Project Number: 2021-10


civilsolutionsgroup

NOTE TO CONTRACTOR

It is the responsibility of the contractor to verify the location and depth of all existing utilities prior to construction. The contractor shall be responsible for obtaining all necessary permits and for the safety of the construction site. The contractor shall be responsible for the protection of all existing utilities and for the safety of the construction site. The contractor shall be responsible for the protection of all existing utilities and for the safety of the construction site.

CONSULTANTS
Structural - Jacobs Architecture Inc.
Civil - Civil Solutions Group
Landscape - Civil Solutions Group
Foundation - TBD Inc.
Fire Safety - International Fire Protection Association
Mechanical - Jacobs Engineering Inc.
Electrical - Jacobs Engineering

STAMP

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SHEET DATA
Drawn By: T. GARDY
Checked By: T. MORA

PROJECT
Blackstone Products Headquarters
Providence, UT


COORDINATOR APPROVAL STAMP

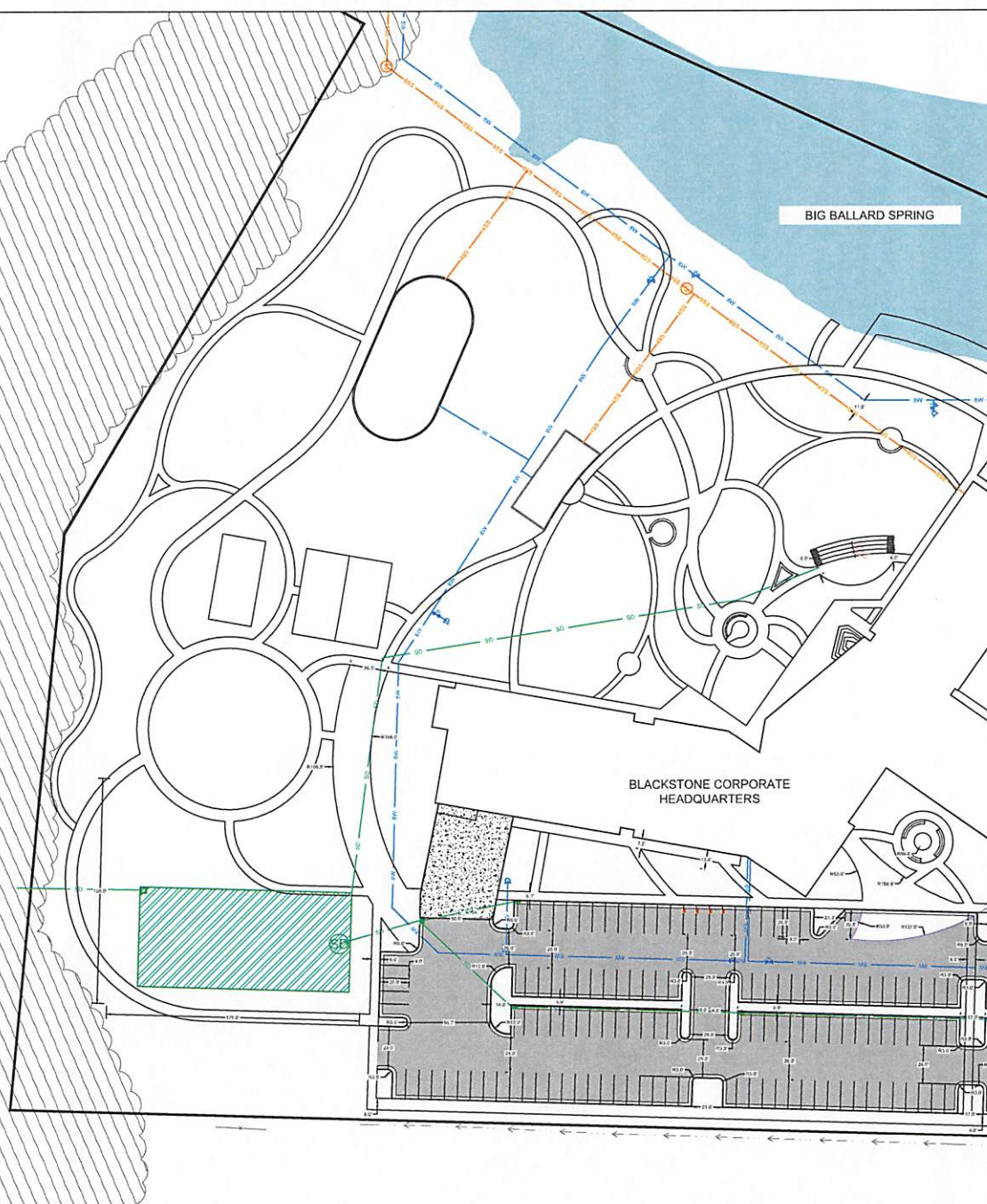
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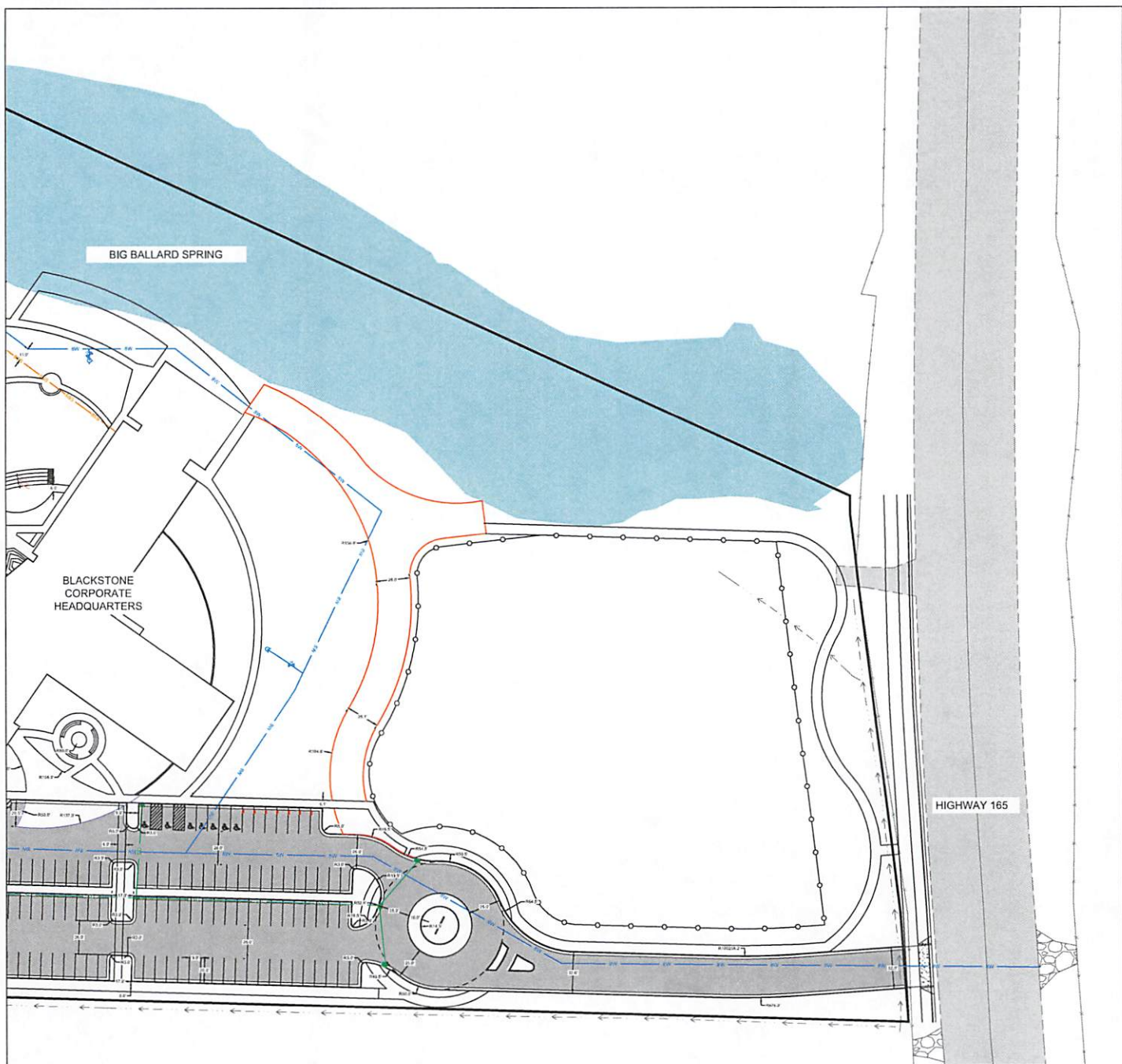
REVISIONS

REVISION/PHASE
2022-05-08 00-107

SCHEMATIC DESIGN
DIMENSION PLAN

C-501





BLACKSTONE
CORPORATE
HEADQUARTERS

BIG BALLARD SPRING

HIGHWAY 165


JACOBY ARCHITECTS
425 South 400 East
Salt Lake City
Utah 84111
801.563.1434
Project Number: 2021-10


civilsolutionsgroup

PROJECT TO CONSTRUCTION

CONSULTANTS
Architect: Jacoby Architects Inc.
Civil: Civil Solutions Group
Landscape: Civil Solutions Group
Structural: TBD
Traffic: TBD
Mechanical: TBD
Electrical: TBD

DATE

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SHEET DATA
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PROJECT
Blackstone Products Headquarters
Providence, UT


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NOT FOR CONSTRUCTION

PREVIOUS

REVISION
2021-10-10

SCHEMATIC DESIGN
DIMENSION PLAN

C-502