



RIVERDALE CITY PLANNING COMMISSION AGENDA
CIVIC CENTER - 4600 S. WEBER RIVER DR.
TUESDAY – AUGUST 8, 2023

6:00 p.m. – Planning Commission Work Session Meeting (Conference Room)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items -Planning Commission Training to be determined

6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Public Comment

This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes. No action will be taken during public comment.

C. Presentations and Reports

D. Consent Items

1. Consideration of Meeting Minutes from:
July 25, 2023 Work Session
July 25, 2023 Regular Meeting

E. Action Items

1.
 - a. Consideration of approval for and recommendation to City Council for Ken Garff Riverdale Amended Small Subdivision request, located at approximately 950 West Riverdale Road, Riverdale, Utah 84405, as requested by Kimley Horn and the Ken Garff Automotive Group.
 - b. Consideration of approval for Ken Garff Honda Preliminary Site Plan request, located at approximately 950 West Riverdale Road, Riverdale, Utah 84405, as requested by Kimley Horn and the Ken Garff Automotive Group.

Items presented by: Mike Eggett, Community Development

F. Comments

1. Planning Commission
2. City Staff

G. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted on this 4th day of August, 2023 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at <http://www.riverdalecity.com/> and 3) the Public Notice Website: <http://www.utah.gov/pmn/index.html>.

Michelle Marigoni
Riverdale City Recorder

Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday July 25, 2023, at 6:00 p.m., at the Civic Center, 4600 S Weber River Dr, Riverdale City, Weber County, Utah.

Present: Commissioners: Kathy Eskelsen, Chair
Kent Anderson, Vice Chair
Rikard Hermann, Commissioner
Celeste Noland, Commissioner
Randy Poulsen, Commissioner
Wanda Ney, Commissioner
Amy Ann Spiers, Commissioner

City Employees: Michelle Marigoni, City Recorder

Excused: Mike Eggett, Community Development

Visitors: Chris Hupp, Psomas

A. Welcome & Roll Call

The Planning Commission Work Session began at 6:02 p.m. Chair Eskelsen welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present.

B. Public Comment

C. Presentations and Reports

- Chris Hupp with Psomas offered two options for the General Plan Update presentation: either doing the full presentation in the work session or during the main meeting. Chair Eskelsen said she would prefer the full presentation in the work session, Commissioners Noland and Spiers wanted to go over changes in the work session and the full presentation during the main meeting.
- Changes from the first draft to the current version were presented by Mr. Hupp, including the updated site plan for the America First campus on pages 24 and 25.
- Mr. Hupp noted the trail component of the campus was not included in the newest version and suggested the city watch for it and find out if it is still in the plans. There was discussion about the development.
- The water conservation portion, which includes page 64 and 65, was added to conform to new legislation. Mr. Hupp suggested a motion include a condition of approval of this part of the plan by the water resources group. The city's land uses need to show how they have changed to conserve water. He noted that Riverdale is one of the best cities in the state regarding water conservation due to landscape ordinances.
- Other changes include graphics changes, updating the America First title to include "Credit Union", and updated page numbering.

D. Consent Items

1. **Consideration of Meeting Minutes from June 13, 2023 Work Session, and June 13, 2023 Regular Meeting**
Commissioner Eskelsen asked if there were any changes to the minutes. There were no changes.

E. Action Items

1.
 - a. **Public hearing to receive and consider comments regarding proposed Riverdale City Comprehensive General Plan update documentation.**
 - b. **Consideration to forward a recommendation to the City Council regarding proposed Riverdale City Comprehensive General Plan update documentation.**

F. Comments

Commissioner Anderson asked how often the land use portion would be updated. Mr. Hupp explained that the land use general plan would be updated any time an amendment was approved for either land use or the general plan.

G. Adjournment

As there was no further business to discuss, the Planning Commission Work Session adjourned at 6:30 p.m.

Date Approved: _____

DRAFT

Minutes of the **Regular Session** of the Riverdale City **Planning Commission** held Tuesday, July 25, 2023, at 6:30 p.m., at the Civic Center, 4600 S Weber River Drive., Riverdale City, Weber County, Utah.

Present:

Commissioners:	Kathy Eskelsen, Chair Kent Anderson, Vice Chair Amy Ann Spiers, Commissioner Rikard Hermann, Commissioner Wanda Ney, Commissioner Celeste Noland, Commissioner Randy Poulsen, Commissioner
City Employees:	Michelle Marigoni, City Recorder
Excused:	Mike Eggett, Community Development
Visitors:	Chris Hupp Tim Snideman Jim Owens Stage Andersen Sterling Bennian

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:30 p.m. Chair Eskelsen welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present.

B. Public Comment

Chair Eskelsen asked if any members of the public were present with comments. There were none.

C. Presentations and Reports

D. Consent Items

1. Consideration of Meeting Minutes from June 13, 2023 Work Session, and June 13, 2023 Regular Meeting

Motion: Commissioner Noland moved to approve the minutes from June 13, 2023

Second: Commissioner Poulsen

All in favor, minutes approved.

E. Action Items

1.

a. Public hearing to receive and consider comments regarding proposed Riverdale City Comprehensive General Plan update documentation.

Motion: Commissioner Hermann moved to open the public hearing.

Second: Commissioner Spiers

Commissioners Polled:

Commissioner Poulsen:	Yes
Commissioner Noland:	Yes
Commissioner Hermann:	Yes
Commissioner Spiers:	Yes
Commissioner Ney:	Yes
Commissioner Eskelsen:	Yes
Commissioner Anderson:	Yes

Unanimous, public hearing opened at 6:36

Public Comment: None

Motion: Commissioner Hermann moved to close the public hearing.

Second: Commissioner Ney

All in favor, public hearing closed at 6:37

b. Consideration to forward a recommendation to the City Council regarding proposed Riverdale City Comprehensive General Plan update documentation.

Chris Hupp with Psomas presented the General Plan document with updates.

Motion: Commissioner Anderson moved to forward a favorable recommendation to City Council regarding proposed Riverdale City Comprehensive General Plan updated document with the addition that the water resources group approves the water conservation portion.

Second: Commissioner Ney

Commissioners Polled:

Commissioner Spiers:	Yes
Commissioner Ney:	Yes
Commissioner Eskelsen:	Yes
Commissioner Anderson:	Yes
Commissioner Poulsen:	Yes
Commissioner Noland:	Yes
Commissioner Hermann:	Yes

Motion passes unanimously.

F. Comments

Commissioner Spiers commended Mr. Hupp for the excellent presentation and all the work put into it. Commissioner Poulsen thanked Mr. Hupp for considering Riverdale's unique situation.

Commissioner Ney suggested that, if the City Council tables or denies something for a decision the Planning Commission made, that the information could be relayed back to the Planning Commission so they have some feedback regarding their decisions.

G. Adjournment

As there was no further business to discuss, Commissioner Noland moved to adjourn. This was seconded by Commissioner Spiers. All were in favor and the Planning Commission meeting adjourned at 6:57 p.m.

Date Approved: _____

RIVERDALE CITY
PLANNING COMMISSION AGENDA
August 8, 2023

AGENDA ITEM: E1a

SUBJECT: a. Consideration of approval for and recommendation to City Council for Ken Garff Riverdale Amended Small Subdivision request, located at approximately 950 West Riverdale Road, Riverdale, Utah 84405, as requested by Kimley Horn and the Ken Garff Automotive Group.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. [Exec Summ Ken Garff Honda Amend Site Plan – PC \[20230808\]](#)
- b. [Ken Garff Honda Amend Prelim Site Plan-Sub Review – 0230802](#)
- c. [Dept Staff Reports – KG Honda PC \[20230803\]](#)
- d. [KG Honda City Eng Review #1 – 3 Aug 23](#)
- e. [KG Honda Amend Subdiv App – 20230718](#)
- f. [Ken Garff Riv Subdivision Plat - 20230710](#)

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 8-8-2023

Petitioner: *Ken Garff Honda Auto Group*
represented by Chris Bick/Bridger Gunnell, Kimley
Horn Engineering

Summary of Proposed Action

Ken Garff Honda, as represented by Chris Bick and Bridger Gunnell with Kimley Horn Engineering, have applied for an Amended Subdivision Plat and Preliminary Site Plan review of their existing automotive vehicle dealership and service facilities located at approximately 950 West Riverdale Road. The affected parcel is zoned in the Regional Commercial (C-3) zone. This site plan is being proposed for development on property adjacent to Ken Garff Buick GMC and other neighboring commercial uses. Chick-Fil-A is also working on a remodel/new build of the Honda automobile dealership building as a component of this process. A public hearing is not required to consider this amended subdivision and site plan proposal.

As it relates to the amended subdivision proposal, following the presentation and discussion of the amended subdivision, the Planning Commission may make a motion to approve and recommend City Council approval of the Ken Garff Honda amended subdivision plat proposal, approval of the proposed amended subdivision with any requested modifications, tabling the matter to a later date, or not approve and recommend approval of the proposed amended subdivision plat with the appropriate findings of facts. If an amended subdivision plat recommendation to City Council is provided, then this matter could move forward to a future Final Amended Subdivision consideration process with the City Council.

As it relates to the Preliminary Site Plan proposal, following the presentation and discussion of the amended site plan, the Planning Commission may make a motion to approve the Ken Garff Honda preliminary site plan proposal, approval of the proposed site plan with any requested modifications, tabling the matter to a later date, or not approve the proposed preliminary site plan with the appropriate findings of facts. If the preliminary site plan was approved, then this matter would return for final recommendation consideration before the Planning Commission at a later date.

Title 10 Ordinance Guidelines (Code Reference)

This Amended Subdivision Plat and Preliminary Site Plan review is regulated under City Codes 10-21 "Subdivisions" and 10-25 "Development in All Zones"; and is affected by City Codes 10-10A "Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcels are located on property north of Riverdale Road on property currently owned by Garff Properties La Quinta LLC. The property is located in a C-3 zoned area and the conditionally approve use of automobile – new or used sales and service is a current accepted and approved use in this zone.

Attached with this executive summary is a document entitled "Amended Subdivision and Preliminary Site Plan Review – Ken Garff Honda"; this is a supplementary document addressing items on the Subdivision and Site Plan application document. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should

discuss any concerns raised by these summaries.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. As it relates to the amended subdivision proposal, staff would then recommend that the Planning Commission make a motion to approve and recommend City Council approval of the Ken Garff Honda amended subdivision plat proposal, approval of the proposed amended subdivision with any requested modifications, tabling the matter to a later date, or not approve and recommend approval of the proposed amended subdivision plat with the appropriate findings of facts.

As it relates to the Preliminary Site Plan proposal, staff would recommend that the the Planning Commission make a motion to approve the Ken Garff Honda preliminary site plan proposal, approval of the proposed site plan with any requested modifications, tabling the matter to a later date, or not approve the proposed preliminary site plan with the appropriate findings of facts.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as “Planned Commercial - High” and this proposed project would comply with this land use.

Legal Comments – City Attorney

Steve Brooks, Attorney

Administrative Comments – City Administrator

Steve Brooks, City Administrator



Amended Subdivision and Preliminary Site Plan Review – Ken Garff Honda, 950 West Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 8/2/2023

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed amended subdivision and site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to recommend approval of the amended subdivision plat, table the matter to a later date to resolve concerns, or not recommend approval for the proposed amended Ken Garff Honda subdivision plat with any additional potential comments, requirements, or concerns to be addressed by the developer.

Further, City Staff recommends that the Planning Commission act accordingly to approve the preliminary site plan, table the matter to a later date to resolve concerns, or not approve the proposed Ken Garff Honda site plan with any potential comments, requirements, and/or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	July 18, 2023
Date Application Submitted to City:	July 18, 2023
Date Fee Paid:	Paid on July 18, 2023 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
COVER SHEET	Provided
PLAT SHEET	Provided
Title Block	
Project name and address	Project name and address location shown; for subdivision, address location should also be reflected on the lots, i.e. Lot 2 (Honda) should be labeled as 950 West and Lot 1 (Buick GMC) should be labeled as 900 West
Property Owner's name, address, and phone number	Shown on cover page: Ken Garff Auto Group, Attn: Brett Godfrey, 111 East Broadway, Suite 900, Salt Lake City, UT 84111, 801-558-5685; Property Owner/Developer name and address need to also be on the plat

Property Developer's name, address, and phone number	Shown on cover page: Ken Garff Auto Group, Attn: Brett Godfrey, 111 East Broadway, Suite 900, Salt Lake City, UT 84111, 801-558-5685
Approving agency's name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; other utility agencies name and contact info provided; Approving Agency name and address need to also be on the plat
Consulting Engineer's name, address, and phone number	Kimley Horn, Attn: Chris Bick, 111 East Broadway, Suite 600, Salt Lake City, UT 84111, 385-212-3176
Licensed Land Surveyor's name, address, phone number, signature, and seal	Aegis Land Surveying, Echo Canyon Lane, Bluffdale, UT; seal and signature provided
Date	Yes – 7/10/2023 on plat, 7/6/2023 on site plan
Revision block with date and initials	Revision blocks shown and notes provided
Sheet number and total sheets	Shown (15 total sheets including plat)
<u>General</u>	
Street names	Shown – Riverdale Road, 900 West, 4600 South
Layouts of lots with lot numbers	Yes, shown; two lots shown
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1" = 60' and 1"=30'
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements identified on plat and site plan, existing structures shown on plat and plan, existing utility lines shown; <u>unknown if approvals provided to cross, use, relocate</u>
Space for notes	Yes, provided
Contours	Yes, shown on plat and site plan drawings
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
<i>PLAT SHEET</i>	
<u>Title Block</u>	

Project name and address	Project name shown and location shown for subdivision plat and site plan; address of project site added to plat and plan – 950 West Riverdale Road; for subdivision, address location should also be reflected on the lots, i.e. Lot 2 (Honda) should be labeled as 950 West and Lot 1 (Buick GMC) should be labeled as 900 West
Approving Agency's name and address	This is shown on plan drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405; Approving Agency name and address need to also be on the plat
Consulting Engineer's name, address, and phone number	Kimley Horn, Attn: Chris Bick, 111 East Broadway, Suite 600, Salt Lake City, UT 84111, 385-212-3176
Consulting Engineer's stamp, signature, and license expiration date	Engineer's stamp, signature, and license expiration date provided
Date	Yes – 7/10/2023 on plat, 7/6/2023 on site plan
Names of approving agents with titles, stamps, signatures, and license expiration dates	Names of approving utility agents, titles, stamps, signatures location not shown on plat, if required
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Not currently provided or shown on plat
<u>Layout</u>	
Street Names	Shown – Riverdale Road, 900 West, 4600 South
Layouts of lots with lot numbers	2 lots shown
Bearings and distances for all property lines and section ties	Shown, defer to City Engineer review
Boundary and Legal description	Shown, defer to City Engineer review
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50')	Yes, scale is shown, 1" = 60'
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	This is not currently provided
Landscaping (location and type with area calculations)	Updated landscaping plan has been provided in compliance with City Code 10-14-12(B)(1); an update needs to be completed due to site amendment and newer landscape ordinances
Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting and signage shown in packet; no new proposed onsite lighting devices shown, if any planned; no new signage plans and locations provided, if any

Location of underground tanks, dumpsters, etc	Location of underground drainage tanks shown; existing dumpster and dumpster enclosure not shown or identified in packet
<u>Additional Information</u>	
Benchmark	Noted on cover sheet
Basis of bearings	Noted on cover sheet
Legend	Shown on cover sheet
<i>PLAN AND PROFILE SHEETS</i>	Site plan and profile sheets provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; for subdivision, address location should also be reflected on the lots, i.e. Lot 2 (Honda) should be labeled as 950 West and Lot 1 (Buick GMC) should be labeled as 900 West
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Kimley Horn, Attn: Chris Bick, 111 East Broadway, Suite 600, Salt Lake City, UT 84111, 385-212-3176
Date	Yes – 7/10/2023 on plat, 7/6/2023 on site plan
Scale	Yes, scale is shown
Revision block with date and initials	Revision blocks shown and notes provided
Sheet number and total sheets	Shown (15 total sheets including plat)
<u>General</u>	
North arrow	Yes
Street names	Shown – Riverdale Road, 900 West, 4600 South
Lot numbers	2 lots shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on grading plan and demo plan
<u>Signage</u>	Updated building and/or site signage concepts not provided if any anticipated; may inquire more regarding future signage intent if desired
Height	Not provided at this time
Size	Not provided at this time

Locations	Existing locations shown; <u>no new provided, if any</u>
Colors	<u>New signage concepts not provided, if any</u>
Lighting	<u>Not provided at this time</u>
<u>New and Existing Buildings</u>	
Height and Size	Existing/New building - Height = <u>unknown</u> ; Building size = Existing service bldg – 20,334 sf; Existing GMC bldg – 57,701 sf; New Honda addition – 44,528 sf
Location, setbacks, and all dimensions	<u>Setbacks from new lot lines not provided;</u> <u>approximates: front setback – unknown at nearest point; rear setback – unknown at nearest point;</u> <u>south side setback – unknown at nearest point;</u> <u>north side setback – unknown at nearest point</u>
Type of construction	<u>Any updated materials for structure, texture, color appearance not provided, if any; DRC required for any changes proposed to exterior of bldg and landscaping</u>
Type of occupancy and proposed uses	Automotive vehicle sales dealership and servicing
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	Updated landscaping plan has been provided in compliance with City Code 10-14-12(B)(1); an update needs to be completed due to site amendment and newer landscape ordinances
Number of trees	<u>Landscaping counts unknown; trees allocations required to be shown and planted per City Code 10-14-12(B)(2)(e)</u>
Landscape plan showing all planting, hardscaping, berming, and watering	<u>Planting, hardscaping not shown; proposed landscape screening not shown or identified along the Riverdale Road edge of site plan area to screen lights and traffic from impacting Riverdale Road; irrigation plan not provided</u>
Xeriscaping alternatives being considered	<u>Unknown at this time; for more info inquire of the developer</u>
<u>New and Existing Walls and Fences</u>	
Location, design, and height	No existing fences on site; no new fences appear to be planned for site
Materials proposed for construction	No new fences planned for site
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	203 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements

Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; employee parking and customer parking appear shared
Internal circulation pattern	Parking area circulation not identified or shown
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	No, internal access and circulation not shown; inquire more if desired
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown, dedicated right-of-way identified
Face of curb lines	Yes, this is shown
Centerline slope	Shown on drawings and established per previous and other project road development
Signing and striping	Signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works if applicable
Light poles	Yes, location of existing light poles and power equipment shown; no new onsite proposed light poles and equipment shown in packet, if any
Street lights	Yes, location of existing street light poles and power equipment shown; no newly proposed street light poles or devices appear to be planned
Street name signs	Location of street name signs on site not applicable to this location
Stop signs	No on site stop signs appear to be planned
UDOT approval (if required for project)	Preapplication review with UDOT completed; need to get final update access approval from UDOT
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and defined on multiple sheets
Planting Strip	There is no planting strip along Riverdale Road per UDOT
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on C4.00, in detail on sheet C6.00
Slope of gutter	Shown on C4.00, in detail on sheet C6.00
Manholes	Existing shown on multiple sheets

Invert elevations	Shown on C4.00, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on C5.00, in detail on sheets C4.10, C6.10, & C6.20, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets in packet
Ditches, location and ownership	Not applicable
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other approval required, defer to City Engineer</u>
Calculations for retention system	Calculation completed per Technical Drainage Study provided; <u>defer to City Engineer</u>
Method of storm water clean-up	Existing method provided; erosion control plan provided; <u>defer to City Engineer</u>
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C4.00, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on C5.00, in detail on sheets C6.10 & C6.20, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on C5.00, in detail on sheets C6.10 & C6.20, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Existing water meter size, location, and type not identified; Location of existing valves shown; existing fire hydrant not clearly identified; no new hydrants planned for this site plan
<u>New and Existing Gas Lines</u>	
Size and type	Existing and new gas lines shown on C5.00, <u>size and type not shown</u>
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing power lines locations shown, new power lines to building not shown or no notes regarding power service, if proposed, <u>size and type not identified</u>
Location of power poles	Existing power poles and overhead lines location; new power poles location not planned
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone lines/boxes and new telephone utility lines, poles & manholes not shown; no notes in "Utility Notes" for telephone
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	<u>Cable TV lines not shown, where applicable</u>

<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheets C6.00-6.20 for connection to curb, gutter, and sidewalk areas
Cross section of curb and gutter (standard 30" high back)	Shown on sheets C6.00, 6.10, defer to City Engineer
Gutter inlet box with bicycle safe grate	Shown on sheet C6.20, identified as bicycle safe; <u>defer to City Engineer</u>
Cleanout box	Shown on sheet C6.20; <u>defer to City Engineer</u>
Thrust blocking	Shown on sheet C6.20; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical report has been provided as completed by CMT Technical Services on June 15, 2023 for site
Drainage and runoff calculations	Calculation completed per Technical Drainage Study provided; <u>defer to City Engineer</u>
Water right transfer documentation	Applicant needs to work with Public Works Department to provide adequate water rights, if applicable, for this site per 8-6-3 of City Code
Copy of protective covenants, codes, and regulations for development	Not applicable for this project
Four (4) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Not provided if any changes proposed; <u>changes will need to be approved by DRC review</u>
Corp of Engineers approval (if required)	No approval required
Zoning compliance	Yes, Regional Commercial (C-3) Zone meets intended uses for amended subdiv and site design
RDA compliance (if applicable)	No applicable RDA regulations for this project area
Use compliance	Yes, this use complies with the zoning for this C-3 zoned area
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	Not currently required
All Planning Commission and City Staff conditions for approval have been met	<u>Currently Amended Subdivision & Site Submission approval recommendation consideration being reviewed by Planning Commission</u>

DEPARTMENTAL STAFF REPORTS – 7/25/2023 to 8/3/2023

From: Shawn Douglas
Sent: Thu 7/27/2023 10:39 AM
To: Mike Eggett
Subject: Ken Garff

Mike,

I have included my review comments for Ken Garff. Thanks

Plan Review For Ken Garff Honda

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-Orifice size, location and plan detail
- 3-Hydraulic separator needs to be placed before storm water enters underground retention.
- 4-Storm water prevention plan for construction site including BMP's. All storm water inspections will need to be completed on Compliance Go. Needs to include concrete washout, restroom and dumpster.
- 5-Notice of intent filed with state.
- 6-Note to certify retention/detention structure size after construction.
- 7-Injection well permit.
- 8-Approval from UDOT for storm water connection.

Streets

- 1-Is UDOT going to require a traffic study?

Water

- 1-Water meters need to be shown and installed in the park strip or an approved location.
- 2-Existing water utilities shown on plans.
- 3-Existing water services or lines that are not in use will need to be capped at the main line. Please include note on plans.
- 4-Backflow preventor location, type, and size.
- 5-Proposed irrigation/sprinkler system plan.
- 6-Provide water usage peak demands.
- 7-Provide what water shares will be used to meet water requirements if usage is higher than current usage.

Sewer

- 1-Proposed sewer flows daily and peak. Including peak demand time.
- 2-Abandoned sewer lines will need to be capped at the property line. Please include note on plans.

3-A will serve letter from Central Weber Sewer Improvement District needs to be provided.

Other

- 1-Note requiring all construction and materials shall meet Riverdale City standards.
- 2-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced.
(sidewalk, curb and gutter, fencing, etc.)
- 3-Square footage of impervious surface for each lot.
- 4-Please include response letter for comments.

Shawn Douglas

Riverdale City Public Works

Sdouglas@Riverdalecity.com

801-394-5541 ext.1217

From: Scott Brenkman

Sent: Tue 7/25/2023 12:26 PM

To: Mike Eggett

Subject: RE: Review comments needed for Ken Garff Honda Site Plan and Plat Amendment preliminary submit

I don't have any concerns.

Chief Scott Brenkman

Riverdale Police Department

4580 S. Weber River Dr.

Riverdale, UT 84405

(801)394-6616

sbrenkman@riverdalecity.com

From: Jared Sholly

Sent: Thu 8/3/2023 11:27 AM

To: Mike Eggett

Subject: RE: Review comments needed for Ken Garff Honda Site Plan and Plat Amendment preliminary submit

I have some concerns or questions about the access alley between the Proposed Lot 1 building and the adjacent existing building to the west. Currently, parking has always been an issue, I would like to know the plan for future parking for employees.

Jared Sholly

Fire Chief

Riverdale City Fire Department

Cell: 801-628-6562

Office: 801-394-7481

3rd August 2023

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Ken Garff Honda of Riverdale**
Subj: Preliminary Plat and Improvement Drawings - Review

Dear Mike,

I have reviewed the above referenced preliminary plat and improvement drawings and submit the following review comments, which should be considered:

General Comments:

1. Add the State Road number at the end of Riverdale Road on all sheets where displayed. i.e. SR-26
2. It seems that the area used for stormwater measurement is inconsistent throughout the project. The Drainage report uses 3.6 acres while the 3.43 acres of total disturbed area and the lot size is 4.22 acres? (C3.00).
3. Building areas don't match/add up for the storm water calculations. (C2.00).
4. Lots and parcels are used throughout the plans, plat, & Alta.
5. There are multiple instances on the plans, plat, and/or Alta where Ogden is listed as the location instead of Riverdale (or Riverdale City). Please update. Riverdale is misspelled on the ALTA plat. (C0.00, Plat, Alta, C1.00)
6. There is an existing irrigation line that will go right under the proposed building. Is this line abandoned? Need to verify usage with appropriate ditch company.
7. On the ALTA plat, Note 4 has extra space near the end.
8. On the ALTA plat, the notes seem to skip from 11 to 16. Are there additional notes or do they need to be renumbered?

9. The Alta plat doesn't show the existing irrigation line traveling between the two buildings, it also doesn't show the existing storm drain line (SDCB is on Riverdale Road) that is partially getting removed?
10. UDOT will need to review plans for a permit.
11. Notes need to be placed on the improvement drawings indicating all deteriorated, damaged or missing surface improvements surrounding the perimeter of the development will need to be replaced or installed, i.e., curb and gutter, sidewalk, landscaping park strip improvements, street lights, etc.
12. An **electronic copy** of the Site Plans must be submitted to the Public Work Department for record keeping upon completion and approval of the site plan drawings.
13. Site lighting plans need to be submitted for review along with lighting base details.
14. There are two storm drain lines that are shown to be partially removed and the other part to remain. Where will the storm water go with the removal of portions of the pipes? On the east end it appears that there will be a catch basin with no pipe?

Erosion Control

1. In the title, it shows Ogden and not Riverdale. (C1.00)
2. Need the UDOT Access agreement for construction. (C1.00)
3. Where is the proposed concrete washout area located?
4. Could the "not used" Detail 7 Box be removed? The lines are going through the Titleblock and 811 utility notes. (C1.20)
5. Add the State Road number at the end of Riverdale Road. i.e. SR-26 (C1.00)

Site Plan Issues:

1. There is an existing irrigation line shown that goes under the proposed building. How is this utility being rerouted? (C2.00)
2. Indicate the size of the existing waterline that will be connected to the new line going into the building (C5.00)

Grading & Drainage Plan Issues:

1. There is an existing storm drain line (East) that has been indicated as protect-in-place in the non-disturbed area while the other section will be removed. Will the line remaining-in-place be plugged? How will it affect the connections to the SDCB on Riverdale Road? (C4.00)

2. The hydraulic separator for the south (after storage) section has missing elevation data on the detail shown on sheet C6.40. This hydrodynamic separator needs to be placed upstream of the detention/retention system.
3. Show the orifice size on the detail drawings.

Utility Plan Issues:

1. Include the oil/water specifications and location.
2. Will the roof drains from buildings be connected directly to the storm drainage collection system? If so, the piping needs to be shown with construction details, materials, slopes, etc.
3. Where are new and existing fire hydrants going to be located? (C5.00)

Landscaping plan issues:

1. The landscaping/irrigation plan(s) are not complete. (L1.10)

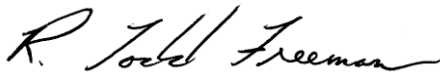
Details issues:

1. The inspection port is required for underground storage (C6.30)

If you have any questions, feel free to contact our office at (801) 866-0550.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.



R. Todd Freeman, PE.
City Engineer

cc. Shawn Douglas, Public Works Director



**Riverdale
City**

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-34-1500

**RIVERDALE CITY PLANNING COMMISSION
APPLICATION FOR COMMERCIAL SUBDIVISION SITE PLAN APPROVAL**

CASE NO: 2023-05 DATE SUBMITTED: 7-18-2023

APPLICANT'S NAME: Chris Bick

BUSINESS ADDRESS: 111 East Broadway, Suite 600, Salt Lake City, UT 84111

BUSINESS PHONE: 385-212-3176

ADDRESS OF SITE: 950 West Riverdale Road, Ogden, UT 84405

APPLICANT'S INTEREST: Plat Approval

Application is hereby made to the Riverdale City Planning Commission requesting that a 410011 SF
commercial subdivision consisting of 2 lots be approved on 19.412 AC of
(number of lots) (sq. ft./acreage)
property in the Commercial (C) zone in accordance with the attached site plan.

Signature of Applicant

Signature of Property Owner

I authorize Chris Bick to act as my representative in all matters relating to this application.

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per lot/unit

Fee: \$ \$400.00 Date paid: 7-18-2023

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 8/8/2023 Decision of Commission: _____

City Council scheduled to hear this application for site plan approval on:

Date: _____ Decision of Council: _____



Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405
(801) 394-5541

XBP Confirmation Number: 149461187

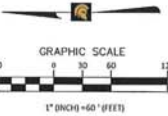
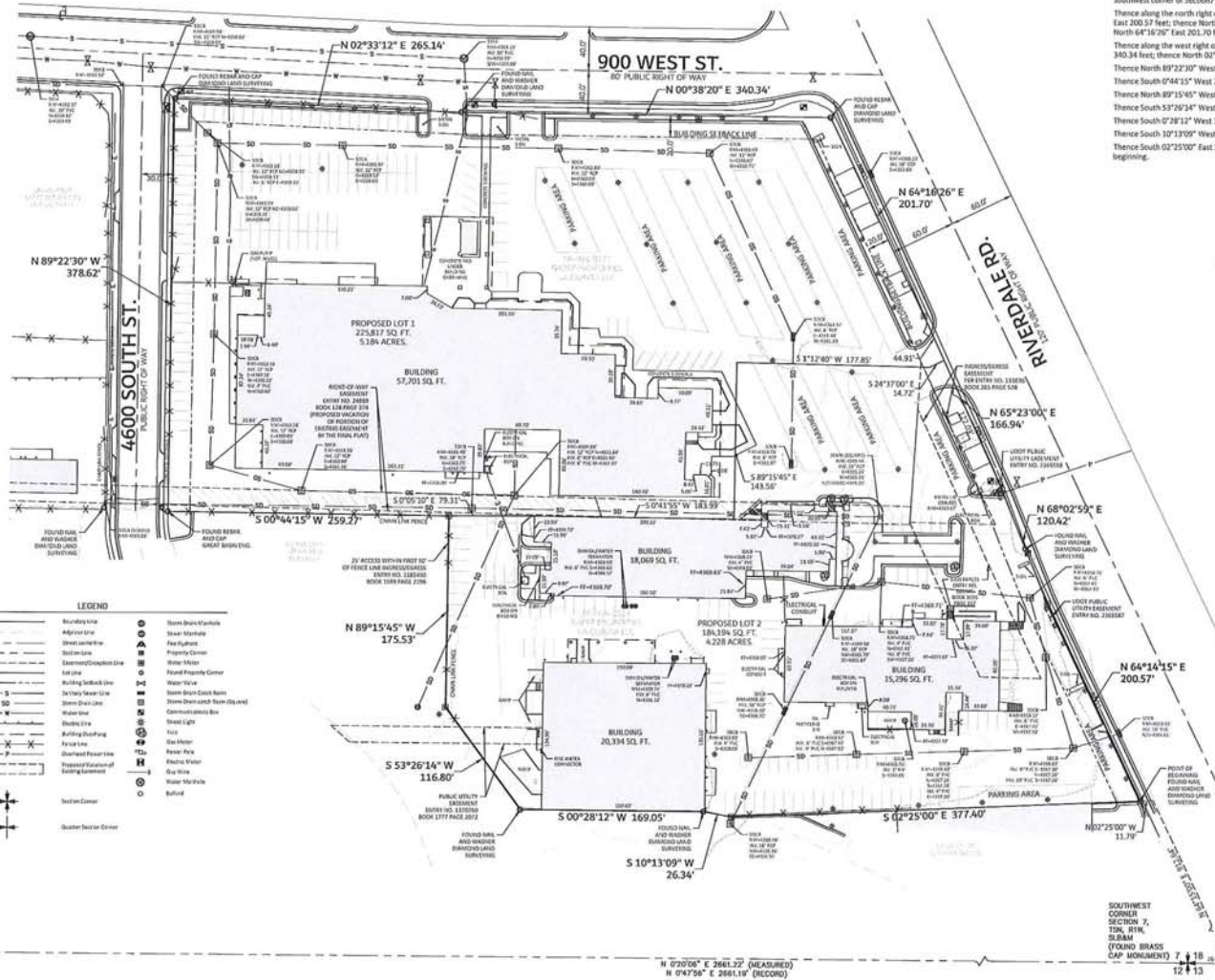
Transaction detail for payment to Riverdale City.		Date: 07/18/2023 - 11:25:31 AM MT	
Transaction Number: 201291969 Visa — XXXX-XXXX-XXXX-9665 Status: Successful			
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee 10341500	1	\$400.00

TOTAL: \$400.00

Billing Information
CHRIS BICK
, 84405

Transaction taken by: Admin acummings

KEN GARFF RIVERDALE SUBDIVISION
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
 TOWNSHIP 5 NORTH, RANGE 1 WEST,
 SALT LAKE BASE AND MERIDIAN
 RIVERDALE, UT
 JULY 2023



Notes:
 1. The basis of bearing is South 0°19'53\"/>

ENGINEER:
 CHRIS BICK
 KIMLEY-HORN
 111 EAST BROADWAY,
 SUITE 600
 SALT LAKE CITY, UT 84111

Subdivision Boundary Description

A parcel of land located in the Southwest Quarter of Section 7, Township 5 North, Range 1 West, Salt Lake Base and Meridian more particularly described as follows:
 Beginning on the north right of way line of Riverdale road, said point being South 0°19'53\"/>

AEGIS LAND SURVEYING
 14867 SOUTH
 ECHO CANYON LN.
 BLUFFDALE, UT
 AMOS@AEGISLAND
 SURVEYING.COM

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 OR TRANSMITTED IN ANY FORM OR BY ANY
 MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND
 RETRIEVAL SYSTEM, WITHOUT PERMISSION
 BY PRESIDENT OF AEGIS LAND SURVEYING

PROFESSIONAL LAND SURVEYOR
 7/10/23
 No. 12100794
 AMOS R.
 WILSON
 STATE OF UTAH

PRELIMINARY SUBDIVISION PLAT
 950 WEST RIVERDALE ROAD
 OGDEN, UT

KIMLEY HORN

SURVEY DATE: 4/27/23
 DRAWN BY: MBO
 DATE PLOTTED: 7/10/23
 JOB No.: 23-013
 SHEET
1 OF **1**

LOCATED IN THE SOUTHWEST QUARTER
 OF SECTION 7,
 TOWNSHIP 5 NORTH, RANGE 1 WEST,
 SALT LAKE BASE AND MERIDIAN

RIVERDALE CITY
PLANNING COMMISSION AGENDA
August 8, 2023

AGENDA ITEM: E1b

SUBJECT: b. Consideration of approval for Ken Garff Honda Preliminary Site Plan request, located at approximately 950 West Riverdale Road, Riverdale, Utah 84405, as requested by Kimley Horn and the Ken Garff Automotive Group.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. [Exec Summ Ken Garff Honda Amend Site Plan – PC \[20230808\]](#)
- b. [Ken Garff Honda Amend Prelim Site Plan-Sub Review – 0230802](#)
- c. [Dept Staff Reports –Prelim Site Plan PC \[20230803\]](#)
- d. [KG Honda City Eng Review #1 – 3 Aug 23](#)
- e. [KG Honda Site Plan App - 20230718](#)
- f. [Ken Garff Honda of Riverdale – Drainage Report 20230714](#)
- g. [Ken Garff Site Plan Amend Dwgs - 20230714](#)

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 8-8-2023

Petitioner: *Ken Garff Honda Auto Group*
represented by Chris Bick/Bridger Gunnell, Kimley
Horn Engineering

Summary of Proposed Action

Ken Garff Honda, as represented by Chris Bick and Bridger Gunnell with Kimley Horn Engineering, have applied for an Amended Subdivision Plat and Preliminary Site Plan review of their existing automotive vehicle dealership and service facilities located at approximately 950 West Riverdale Road. The affected parcel is zoned in the Regional Commercial (C-3) zone. This site plan is being proposed for development on property adjacent to Ken Garff Buick GMC and other neighboring commercial uses. Chick-Fil-A is also working on a remodel/new build of the Honda automobile dealership building as a component of this process. A public hearing is not required to consider this amended subdivision and site plan proposal.

As it relates to the amended subdivision proposal, following the presentation and discussion of the amended subdivision, the Planning Commission may make a motion to approve and recommend City Council approval of the Ken Garff Honda amended subdivision plat proposal, approval of the proposed amended subdivision with any requested modifications, tabling the matter to a later date, or not approve and recommend approval of the proposed amended subdivision plat with the appropriate findings of facts. If an amended subdivision plat recommendation to City Council is provided, then this matter could move forward to a future Final Amended Subdivision consideration process with the City Council.

As it relates to the Preliminary Site Plan proposal, following the presentation and discussion of the amended site plan, the Planning Commission may make a motion to approve the Ken Garff Honda preliminary site plan proposal, approval of the proposed site plan with any requested modifications, tabling the matter to a later date, or not approve the proposed preliminary site plan with the appropriate findings of facts. If the preliminary site plan was approved, then this matter would return for final recommendation consideration before the Planning Commission at a later date.

Title 10 Ordinance Guidelines (Code Reference)

This Amended Subdivision Plat and Preliminary Site Plan review is regulated under City Codes 10-21 "Subdivisions" and 10-25 "Development in All Zones"; and is affected by City Codes 10-10A "Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcels are located on property north of Riverdale Road on property currently owned by Garff Properties La Quinta LLC. The property is located in a C-3 zoned area and the conditionally approve use of automobile – new or used sales and service is a current accepted and approved use in this zone.

Attached with this executive summary is a document entitled "Amended Subdivision and Preliminary Site Plan Review – Ken Garff Honda"; this is a supplementary document addressing items on the Subdivision and Site Plan application document. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should

discuss any concerns raised by these summaries.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. As it relates to the amended subdivision proposal, staff would then recommend that the Planning Commission make a motion to approve and recommend City Council approval of the Ken Garff Honda amended subdivision plat proposal, approval of the proposed amended subdivision with any requested modifications, tabling the matter to a later date, or not approve and recommend approval of the proposed amended subdivision plat with the appropriate findings of facts.

As it relates to the Preliminary Site Plan proposal, staff would recommend that the the Planning Commission make a motion to approve the Ken Garff Honda preliminary site plan proposal, approval of the proposed site plan with any requested modifications, tabling the matter to a later date, or not approve the proposed preliminary site plan with the appropriate findings of facts.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as “Planned Commercial - High” and this proposed project would comply with this land use.

Legal Comments – City Attorney

Steve Brooks, Attorney

Administrative Comments – City Administrator

Steve Brooks, City Administrator



Amended Subdivision and Preliminary Site Plan Review – Ken Garff Honda, 950 West Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 8/2/2023

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed amended subdivision and site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to recommend approval of the amended subdivision plat, table the matter to a later date to resolve concerns, or not recommend approval for the proposed amended Ken Garff Honda subdivision plat with any additional potential comments, requirements, or concerns to be addressed by the developer.

Further, City Staff recommends that the Planning Commission act accordingly to approve the preliminary site plan, table the matter to a later date to resolve concerns, or not approve the proposed Ken Garff Honda site plan with any potential comments, requirements, and/or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	July 18, 2023
Date Application Submitted to City:	July 18, 2023
Date Fee Paid:	Paid on July 18, 2023 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
COVER SHEET	Provided
PLAT SHEET	Provided
Title Block	
Project name and address	Project name and address location shown; for subdivision, address location should also be reflected on the lots, i.e. Lot 2 (Honda) should be labeled as 950 West and Lot 1 (Buick GMC) should be labeled as 900 West
Property Owner's name, address, and phone number	Shown on cover page: Ken Garff Auto Group, Attn: Brett Godfrey, 111 East Broadway, Suite 900, Salt Lake City, UT 84111, 801-558-5685; Property Owner/Developer name and address need to also be on the plat

Property Developer's name, address, and phone number	Shown on cover page: Ken Garff Auto Group, Attn: Brett Godfrey, 111 East Broadway, Suite 900, Salt Lake City, UT 84111, 801-558-5685
Approving agency's name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; other utility agencies name and contact info provided; Approving Agency name and address need to also be on the plat
Consulting Engineer's name, address, and phone number	Kimley Horn, Attn: Chris Bick, 111 East Broadway, Suite 600, Salt Lake City, UT 84111, 385-212-3176
Licensed Land Surveyor's name, address, phone number, signature, and seal	Aegis Land Surveying, Echo Canyon Lane, Bluffdale, UT; seal and signature provided
Date	Yes – 7/10/2023 on plat, 7/6/2023 on site plan
Revision block with date and initials	Revision blocks shown and notes provided
Sheet number and total sheets	Shown (15 total sheets including plat)
<u>General</u>	
Street names	Shown – Riverdale Road, 900 West, 4600 South
Layouts of lots with lot numbers	Yes, shown; two lots shown
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1" = 60' and 1"=30'
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements identified on plat and site plan, existing structures shown on plat and plan, existing utility lines shown; <u>unknown if approvals provided to cross, use, relocate</u>
Space for notes	Yes, provided
Contours	Yes, shown on plat and site plan drawings
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
<i>PLAT SHEET</i>	
<u>Title Block</u>	

Project name and address	Project name shown and location shown for subdivision plat and site plan; address of project site added to plat and plan – 950 West Riverdale Road; for subdivision, address location should also be reflected on the lots, i.e. Lot 2 (Honda) should be labeled as 950 West and Lot 1 (Buick GMC) should be labeled as 900 West
Approving Agency's name and address	This is shown on plan drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405; Approving Agency name and address need to also be on the plat
Consulting Engineer's name, address, and phone number	Kimley Horn, Attn: Chris Bick, 111 East Broadway, Suite 600, Salt Lake City, UT 84111, 385-212-3176
Consulting Engineer's stamp, signature, and license expiration date	Engineer's stamp, signature, and license expiration date provided
Date	Yes – 7/10/2023 on plat, 7/6/2023 on site plan
Names of approving agents with titles, stamps, signatures, and license expiration dates	Names of approving utility agents, titles, stamps, signatures location not shown on plat, if required
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Not currently provided or shown on plat
<u>Layout</u>	
Street Names	Shown – Riverdale Road, 900 West, 4600 South
Layouts of lots with lot numbers	2 lots shown
Bearings and distances for all property lines and section ties	Shown, defer to City Engineer review
Boundary and Legal description	Shown, defer to City Engineer review
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50')	Yes, scale is shown, 1" = 60'
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	This is not currently provided
Landscaping (location and type with area calculations)	Updated landscaping plan has been provided in compliance with City Code 10-14-12(B)(1); an update needs to be completed due to site amendment and newer landscape ordinances
Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting and signage shown in packet; no new proposed onsite lighting devices shown, if any planned; no new signage plans and locations provided, if any

Location of underground tanks, dumpsters, etc	Location of underground drainage tanks shown; existing dumpster and dumpster enclosure not shown or identified in packet
<u>Additional Information</u>	
Benchmark	Noted on cover sheet
Basis of bearings	Noted on cover sheet
Legend	Shown on cover sheet
<i>PLAN AND PROFILE SHEETS</i>	Site plan and profile sheets provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; for subdivision, address location should also be reflected on the lots, i.e. Lot 2 (Honda) should be labeled as 950 West and Lot 1 (Buick GMC) should be labeled as 900 West
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Kimley Horn, Attn: Chris Bick, 111 East Broadway, Suite 600, Salt Lake City, UT 84111, 385-212-3176
Date	Yes – 7/10/2023 on plat, 7/6/2023 on site plan
Scale	Yes, scale is shown
Revision block with date and initials	Revision blocks shown and notes provided
Sheet number and total sheets	Shown (15 total sheets including plat)
<u>General</u>	
North arrow	Yes
Street names	Shown – Riverdale Road, 900 West, 4600 South
Lot numbers	2 lots shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on grading plan and demo plan
<u>Signage</u>	Updated building and/or site signage concepts not provided if any anticipated; may inquire more regarding future signage intent if desired
Height	Not provided at this time
Size	Not provided at this time

Locations	Existing locations shown; <u>no new provided, if any</u>
Colors	<u>New signage concepts not provided, if any</u>
Lighting	<u>Not provided at this time</u>
<u>New and Existing Buildings</u>	
Height and Size	Existing/New building - Height = <u>unknown</u> ; Building size = Existing service bldg – 20,334 sf; Existing GMC bldg – 57,701 sf; New Honda addition – 44,528 sf
Location, setbacks, and all dimensions	<u>Setbacks from new lot lines not provided;</u> <u>approximates: front setback – unknown at nearest point;</u> <u>rear setback – unknown at nearest point;</u> <u>south side setback – unknown at nearest point;</u> <u>north side setback – unknown at nearest point</u>
Type of construction	<u>Any updated materials for structure, texture, color appearance not provided, if any; DRC required for any changes proposed to exterior of bldg and landscaping</u>
Type of occupancy and proposed uses	Automotive vehicle sales dealership and servicing
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	Updated landscaping plan has been provided in compliance with City Code 10-14-12(B)(1); an update needs to be completed due to site amendment and newer landscape ordinances
Number of trees	<u>Landscaping counts unknown; trees allocations required to be shown and planted per City Code 10-14-12(B)(2)(e)</u>
Landscape plan showing all planting, hardscaping, berming, and watering	<u>Planting, hardscaping not shown; proposed landscape screening not shown or identified along the Riverdale Road edge of site plan area to screen lights and traffic from impacting Riverdale Road; irrigation plan not provided</u>
Xeriscaping alternatives being considered	<u>Unknown at this time; for more info inquire of the developer</u>
<u>New and Existing Walls and Fences</u>	
Location, design, and height	No existing fences on site; no new fences appear to be planned for site
Materials proposed for construction	No new fences planned for site
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	203 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements

Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; employee parking and customer parking appear shared
Internal circulation pattern	Parking area circulation not identified or shown
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	No, internal access and circulation not shown; inquire more if desired
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown, dedicated right-of-way identified
Face of curb lines	Yes, this is shown
Centerline slope	Shown on drawings and established per previous and other project road development
Signing and striping	Signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works if applicable
Light poles	Yes, location of existing light poles and power equipment shown; no new onsite proposed light poles and equipment shown in packet, if any
Street lights	Yes, location of existing street light poles and power equipment shown; no newly proposed street light poles or devices appear to be planned
Street name signs	Location of street name signs on site not applicable to this location
Stop signs	No on site stop signs appear to be planned
UDOT approval (if required for project)	Preapplication review with UDOT completed; need to get final update access approval from UDOT
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and defined on multiple sheets
Planting Strip	There is no planting strip along Riverdale Road per UDOT
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on C4.00, in detail on sheet C6.00
Slope of gutter	Shown on C4.00, in detail on sheet C6.00
Manholes	Existing shown on multiple sheets

Invert elevations	Shown on C4.00, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on C5.00, in detail on sheets C4.10, C6.10, & C6.20, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets in packet
Ditches, location and ownership	Not applicable
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other approval required, defer to City Engineer</u>
Calculations for retention system	Calculation completed per Technical Drainage Study provided; <u>defer to City Engineer</u>
Method of storm water clean-up	Existing method provided; erosion control plan provided; <u>defer to City Engineer</u>
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C4.00, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on C5.00, in detail on sheets C6.10 & C6.20, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on C5.00, in detail on sheets C6.10 & C6.20, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Existing water meter size, location, and type not identified; Location of existing valves shown; existing fire hydrant not clearly identified; no new hydrants planned for this site plan
<u>New and Existing Gas Lines</u>	
Size and type	Existing and new gas lines shown on C5.00, <u>size and type not shown</u>
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing power lines locations shown, new power lines to building not shown or no notes regarding power service, if proposed, <u>size and type not identified</u>
Location of power poles	Existing power poles and overhead lines location; new power poles location not planned
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone lines/boxes and new telephone utility lines, poles & manholes not shown; no notes in "Utility Notes" for telephone
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	<u>Cable TV lines not shown, where applicable</u>

<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheets C6.00-6.20 for connection to curb, gutter, and sidewalk areas
Cross section of curb and gutter (standard 30" high back)	Shown on sheets C6.00, 6.10, defer to City Engineer
Gutter inlet box with bicycle safe grate	Shown on sheet C6.20, identified as bicycle safe; <u>defer to City Engineer</u>
Cleanout box	Shown on sheet C6.20; <u>defer to City Engineer</u>
Thrust blocking	Shown on sheet C6.20; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical report has been provided as completed by CMT Technical Services on June 15, 2023 for site
Drainage and runoff calculations	Calculation completed per Technical Drainage Study provided; <u>defer to City Engineer</u>
Water right transfer documentation	Applicant needs to work with Public Works Department to provide adequate water rights, if applicable, for this site per 8-6-3 of City Code
Copy of protective covenants, codes, and regulations for development	Not applicable for this project
Four (4) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Not provided if any changes proposed; <u>changes will need to be approved by DRC review</u>
Corp of Engineers approval (if required)	No approval required
Zoning compliance	Yes, Regional Commercial (C-3) Zone meets intended uses for amended subdiv and site design
RDA compliance (if applicable)	No applicable RDA regulations for this project area
Use compliance	Yes, this use complies with the zoning for this C-3 zoned area
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	Not currently required
All Planning Commission and City Staff conditions for approval have been met	<u>Currently Amended Subdivision & Site Submission approval recommendation consideration being reviewed by Planning Commission</u>

DEPARTMENTAL STAFF REPORTS – 7/25/2023 to 8/3/2023

From: Shawn Douglas
Sent: Thu 7/27/2023 10:39 AM
To: Mike Eggett
Subject: Ken Garff

Mike,

I have included my review comments for Ken Garff. Thanks

Plan Review For Ken Garff Honda

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-Orifice size, location and plan detail
- 3-Hydraulic separator needs to be placed before storm water enters underground retention.
- 4-Storm water prevention plan for construction site including BMP's. All storm water inspections will need to be completed on Compliance Go. Needs to include concrete washout, restroom and dumpster.
- 5-Notice of intent filed with state.
- 6-Note to certify retention/detention structure size after construction.
- 7-Injection well permit.
- 8-Approval from UDOT for storm water connection.

Streets

- 1-Is UDOT going to require a traffic study?

Water

- 1-Water meters need to be shown and installed in the park strip or an approved location.
- 2-Existing water utilities shown on plans.
- 3-Existing water services or lines that are not in use will need to be capped at the main line. Please include note on plans.
- 4-Backflow preventor location, type, and size.
- 5-Proposed irrigation/sprinkler system plan.
- 6-Provide water usage peak demands.
- 7-Provide what water shares will be used to meet water requirements if usage is higher than current usage.

Sewer

- 1-Proposed sewer flows daily and peak. Including peak demand time.
- 2-Abandoned sewer lines will need to be capped at the property line. Please include note on plans.

3-A will serve letter from Central Weber Sewer Improvement District needs to be provided.

Other

- 1-Note requiring all construction and materials shall meet Riverdale City standards.
- 2-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced.
(sidewalk, curb and gutter, fencing, etc.)
- 3-Square footage of impervious surface for each lot.
- 4-Please include response letter for comments.

Shawn Douglas

Riverdale City Public Works

Sdouglas@Riverdalecity.com

801-394-5541 ext.1217

From: Scott Brenkman

Sent: Tue 7/25/2023 12:26 PM

To: Mike Eggett

Subject: RE: Review comments needed for Ken Garff Honda Site Plan and Plat Amendment preliminary submit

I don't have any concerns.

Chief Scott Brenkman

Riverdale Police Department

4580 S. Weber River Dr.

Riverdale, UT 84405

(801)394-6616

sbrenkman@riverdalecity.com

From: Jared Sholly

Sent: Thu 8/3/2023 11:27 AM

To: Mike Eggett

Subject: RE: Review comments needed for Ken Garff Honda Site Plan and Plat Amendment preliminary submit

I have some concerns or questions about the access alley between the Proposed Lot 1 building and the adjacent existing building to the west. Currently, parking has always been an issue, I would like to know the plan for future parking for employees.

Jared Sholly

Fire Chief

Riverdale City Fire Department

Cell: 801-628-6562

Office: 801-394-7481

3rd August 2023

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Ken Garff Honda of Riverdale**
Subj: Preliminary Plat and Improvement Drawings - Review

Dear Mike,

I have reviewed the above referenced preliminary plat and improvement drawings and submit the following review comments, which should be considered:

General Comments:

1. Add the State Road number at the end of Riverdale Road on all sheets where displayed. i.e. SR-26
2. It seems that the area used for stormwater measurement is inconsistent throughout the project. The Drainage report uses 3.6 acres while the 3.43 acres of total disturbed area and the lot size is 4.22 acres? (C3.00).
3. Building areas don't match/add up for the storm water calculations. (C2.00).
4. Lots and parcels are used throughout the plans, plat, & Alta.
5. There are multiple instances on the plans, plat, and/or Alta where Ogden is listed as the location instead of Riverdale (or Riverdale City). Please update. Riverdale is misspelled on the ALTA plat. (C0.00, Plat, Alta, C1.00)
6. There is an existing irrigation line that will go right under the proposed building. Is this line abandoned? Need to verify usage with appropriate ditch company.
7. On the ALTA plat, Note 4 has extra space near the end.
8. On the ALTA plat, the notes seem to skip from 11 to 16. Are there additional notes or do they need to be renumbered?

9. The Alta plat doesn't show the existing irrigation line traveling between the two buildings, it also doesn't show the existing storm drain line (SDCB is on Riverdale Road) that is partially getting removed?
10. UDOT will need to review plans for a permit.
11. Notes need to be placed on the improvement drawings indicating all deteriorated, damaged or missing surface improvements surrounding the perimeter of the development will need to be replaced or installed, i.e., curb and gutter, sidewalk, landscaping park strip improvements, street lights, etc.
12. An **electronic copy** of the Site Plans must be submitted to the Public Work Department for record keeping upon completion and approval of the site plan drawings.
13. Site lighting plans need to be submitted for review along with lighting base details.
14. There are two storm drain lines that are shown to be partially removed and the other part to remain. Where will the storm water go with the removal of portions of the pipes? On the east end it appears that there will be a catch basin with no pipe?

Erosion Control

1. In the title, it shows Ogden and not Riverdale. (C1.00)
2. Need the UDOT Access agreement for construction. (C1.00)
3. Where is the proposed concrete washout area located?
4. Could the "not used" Detail 7 Box be removed? The lines are going through the Titleblock and 811 utility notes. (C1.20)
5. Add the State Road number at the end of Riverdale Road. i.e. SR-26 (C1.00)

Site Plan Issues:

1. There is an existing irrigation line shown that goes under the proposed building. How is this utility being rerouted? (C2.00)
2. Indicate the size of the existing waterline that will be connected to the new line going into the building (C5.00)

Grading & Drainage Plan Issues:

1. There is an existing storm drain line (East) that has been indicated as protect-in-place in the non-disturbed area while the other section will be removed. Will the line remaining-in-place be plugged? How will it affect the connections to the SDCB on Riverdale Road? (C4.00)

2. The hydraulic separator for the south (after storage) section has missing elevation data on the detail shown on sheet C6.40. This hydrodynamic separator needs to be placed upstream of the detention/retention system.
3. Show the orifice size on the detail drawings.

Utility Plan Issues:

1. Include the oil/water specifications and location.
2. Will the roof drains from buildings be connected directly to the storm drainage collection system? If so, the piping needs to be shown with construction details, materials, slopes, etc.
3. Where are new and existing fire hydrants going to be located? (C5.00)

Landscaping plan issues:

1. The landscaping/irrigation plan(s) are not complete. (L1.10)

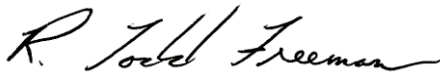
Details issues:

1. The inspection port is required for underground storage (C6.30)

If you have any questions, feel free to contact our office at (801) 866-0550.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.



R. Todd Freeman, PE.
City Engineer

cc. Shawn Douglas, Public Works Director



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-34-1500

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2023-06 DATE SUBMITTED: 7-18-2023

APPLICANT'S NAME: Chris Bick

BUSINESS ADDRESS: 111 East Broadway, Suite 600, Salt Lake City, UT 84111

BUSINESS PHONE: 385-212-3176

ADDRESS OF SITE: 950 West Riverdale Road, Ogden, UT 84405

APPLICANT'S INTEREST: Site Plan Approval

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 183,784 SF / 4.22 AC of property in the Commercial (C) zone in (sq. ft./acreage)

accordance with the attached site plan.

Chris Bick
Signature of Applicant

[Signature]
Signature of Property Owner

I authorize Chris Bick to act as my representative in all matters relating to this application.

[Signature]
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$400 per acre or portion of

Fee: \$ \$1688 Date paid: 7-18-2023

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 8/8/2023 Decision of Commission: _____

City Council set public hearing: Yes ☐ No ☐ Date of Public Hearing: _____

City Council scheduled to hear this application for site plan approval on:

Date: _____ Decision of Council: _____



Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405
(801) 394-5541

XBP Confirmation Number: 149461337

Transaction detail for payment to Riverdale City.		Date: 07/18/2023 - 11:27:19 AM MT	
Transaction Number: 201292029 Visa — XXXX-XXXX-XXXX-9665 Status: Successful			
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee 10341500	1	\$1688.00

TOTAL: \$1688.00

Billing Information
CHRIS BICK
, 84405

Transaction taken by: Admin acummings

TECHNICAL DRAINAGE STUDY
for
KEN GARFF HONDA
RIVERDALE, UTAH

Prepared By:

Kimley-Horn Associates
111 East Broadway
Suite 600
Salt Lake City, UT 84111

Contact: Chris Bick, P.E.
(385) 235-6536



Job No. 093528015

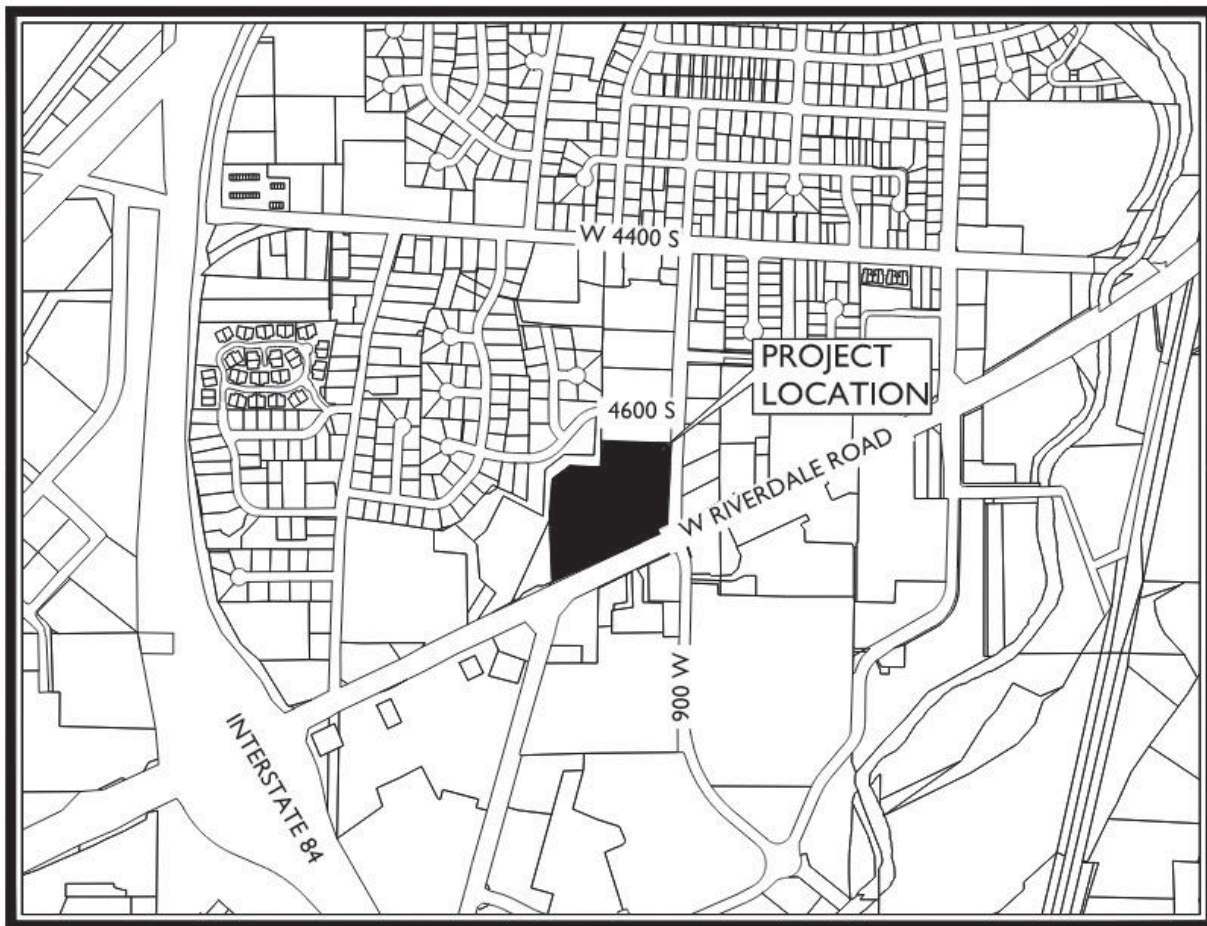
July 2023

I. PURPOSE

The purpose of this study is to describe the existing and proposed drainage conditions for the proposed Ken Garff Honda Expansion project in Riverdale, Utah. This study details the storm water management strategies for the site and demonstrates general compliance with Riverdale City standards and requirements.

II. GENERAL LOCATION AND DESCRIPTION

This drainage study has been prepared as part of the site plan approval process for the proposed Ken Garff Honda Expansion project in Riverdale, Utah. The site is located at 950 W Riverdale Road, Ogden Utah, 84405, as shown on the vicinity map below.



VICINITY MAP

NOT TO SCALE



The site area is approximately 9.41 acres and is currently developed as an existing Ken Garff Honda Dealership. The site is bounded by 4600 S to the north, 900 W to the east, commercial buildings to the west and Riverdale Road to the south.

Proposed development of the site will consist of an 8,635 square foot building addition with associated sales floor and auto bays. This addition will require the removal and replacement of

existing stormwater networks. A proposed storm network will capture the flows from 3.6 acres surrounding the building expansion.

The existing site currently slopes to the northeast at an approximate grade of 1.0% however the site is overall fairly level. According to the Flood Insurance Rate Map Number 49057C0417F (effective date of June 02, 2015), the site is in zone "X", which designates areas determined to be outside the 0.2% annual chance floodplain.

III. HISTORIC DRAINAGE

There is no evidence that additional off-site storm water runoff enters the proposed site. Therefore, no offsite storm water will be included in the proposed drainage calculations. Per the ALTA Survey and Geotechnical Report, it is assumed that the storm runoff onsite percolates into the ground. Existing storm networks capture and route the remaining 5.81 acres of the site to the city system.

IV. DRAINAGE DESIGN CRITERIA

a. DETENTION DESIGN

Per the Riverdale City Construction and Development Standards (Standards) effective April, 2018, Riverdale City requires new development to detain 100-year, 24-hour storm event, with an approved release rate of 0.2 cfs per acre. Ken Garff will provide the required detention volume for the 3.6 acres that will be disturbed by the building expansion.

Per city standards, the Curve Number Method will be used to calculate the required detention. Using the rainfall depth and intensity data provided by the NOAA 14 Atlas for the area, the 100-year, 24-hour storm volume was defined for the site. The site was delineated into pavement areas, building areas, and landscape areas and appropriate runoff coefficients were applied. A weighted runoff coefficient was calculated for the site using 74 for landscaping, 98 for building areas, and 98 for pavement areas. The weighted curve number for the site was calculated to be 96.55. An allowed release rate of 0.71 cfs was defined for the site, based on the approved allowable release of 0.2 cfs/acre. The detention volume required for the site was calculated to be 15,965 cubic feet.

b. RETENTION DESIGN

The Riverdale City Construction and Development Standards (Standards) effective April, 2018, also requires a new development to retain the 80th percentile storm event on site. The Utah DWQ standards state that an 80th percentile storm is equivalent to 0.5 inches of storm depth across the site area.

The Water Quality Volume, Reese Equation, was used in calculating the required retention volume for the site. The overall 80th percentile storm requirement for the site is 5,398 cubic feet. The 80th percentile storm volume will be contained in an isolator row inside the stormwater system. The calculations for the retention volume are included in the appendix.

V. PROPOSED DRAINAGE

The proposed drainage design of the site will consist of an on-site storm drain collection system consisting of 12"-18" PVC pipes discharging into an underground 21,373 cubic foot detention system where 5,398 cubic feet of storm water will be retained. A 18" PVC pipe will then discharge the remaining 15,975 cubic feet of storm water into the existing overall development storm drain system.

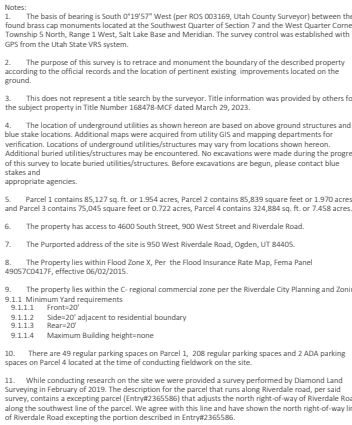
The storm water discharge rate will be controlled by an orifice plate. The provided detention calculations show that using the Riverdale City's storm water discharge standards of .02 cfs/ac, the diameter of the orifice plate would need to be sized to 4.6". A standard size of 4.5" will be used for constructability. Using a 4.5" diameter orifice, the storm water will discharge at a rate of 0.67 cfs. Refer to appendix for calculations.

VI. CONCLUSION

The stormwater facility provides sufficient storage to retain the 80th percentile storm as well as detain the 100-year, 24-hour storm at a discharge rate of 0.67 cfs. The stormwater system has been designed to comply with the Riverdale City Standard Specifications. All stormwater from the development is conveyed through surface or piped flow to an underground detention system, which retains storm water and appropriately releases the water into the existing city system.

IV. APPENDIX

- 1. GRADING PLAN**
- 2. SITE SURVEY**
- 3. FEMA FIRMETTE**
- 4. RETENTION CALCULATIONS**
- 5. DETENTION CALCULATIONS**



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 NOTES, DRAWINGS, SPECIFICATIONS,
 CALCULATIONS, ESTIMATES OR ANY
 REPRESENTATION CONTAINED HEREON ARE
 THE SOLE PROPERTY OF AGCS LAND
 SURVEYING UNLESS PREVIOUSLY ESTABLISHED
 BY PRECEDENCE OR WRITTEN AGREEMENT

PROFESSIONAL LAND SURVEYOR
 6/30/23
 No. 12600794
 AMOS R.
 WILSON
 STATE OF UTAH

SURVEY DATE: 4/27/23		
DRAWN BY: MGO		
DATE PLOTTED: 6/30/23		
JOB No. 23-013		
SHEET		
1	OF	1

File Number: 168478-MCF
Commitment Date: March 29, 2023 at 7:30 AM

To: Garff Properties-La Quinta, LLC, a Utah limited liability company
Cottonwood Title Insurance Agency, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a)(1), 8, 9, 11b, 13, 16, 17, 18 and 19 of Table A thereof. The fieldwork was completed on April 27, 2023.

Date of Plat or Map: June 30, 2023

PARCEL 1:
PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SAID LAKE MARIQUET, U.S. COUNTY BEGINNING AT A POINT ON THE NORTH LINE OF STATE ROAD 2, 7.20 FEET SOUTH 0°28'55" EAST; 1.25 FEET SOUTH 0°19'55" WEST ALONG THE SECTION LINE; AND NORTH 64°15' EAST 164°16"00" EAST ALONG THE NORTH LINE OF RIVERDALE ROAD 912.70 FEET AND NORTH 27°13'25" WEST 389.05 FEET FROM THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER SECTION, THENCE NORTH 10°30'09" EAST 26.44 FEET TO THE SOUTHWEST CORNER OF MAJOR BUILDING, AND THENCE NORTH 0°28'12" EAST 169.05 FEET ALONG THE WEST WALL OF SAID MAJOR BUILDING TO CORNER OF SAID WEST WALL, THENCE NORTH 57°24'14" EAST 116.80 FEET, THENCE NORTH 89°15'45" EAST 175.53 FEET TO THE WEST PROPERTY LINE OF PETERSON INVESTMENT #, THENCE (3) THREE COURSES ALONG SAID WEST LINE AS FOLLOWS: SOUTH 0°44'15" WEST 387.18 FEET, NORTH 89°32' EAST 22.74 FEET, THENCE NORTH 4.85 FEET, THENCE NORTH 64°30' WEST 273.97 FEET TO THE BEGINNING.

PARCEL 2:

PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY: BEGINNING AT A POINT SOUTH 07°18'31" EAST 26.95 FEET, NORTH 64°15" EAST 1181.69 FEET ALONG THE NORTH LINE OF RIVERDALE ROAD, NORTH 0°30' EAST 180.95 FEET, SOUTH 66°30' EAST 11.41 FEET AND NORTH 0°44'15" EAST 879.54 FEET ALONG AN OLD EXISTING FENCE FROM THE SOUTHWEST CORNER OF SAID QUARTER 7 BEGINNING THENCE NORTH 0°44'15" EAST 230.07 FEET ALONG SAID FENCE, NORTH 87°26'48" EAST 393.47 FEET ALONG THE WEST LINE OF 900 WEST STREET; THENCE SOUTH 2°23'12" EAST 219.93 FEET ALONG SAID STREET THENCE NORTH 87°26'48" WEST 393.47 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

PART 3:

A PORC OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASIN MERIDIAN, U.S. SURVEY; BEGINNING ON THE WEST LINE OF 900 WEST STREET, SAID POINT BEING 26.95 FEET SOUTH OF 0'18"31; WEST 1455.14 FEET, NORTH 64°15' EAST ALONG THE NORTH LINE OF RIVERDALE ROAD 41.60 FEET, NORTH 87°00' WEST 197.64 FEET, NORTH 64°15' EAST TO THE SAID WEST LINE OF 900 WEST STREET 118.00 FEET, NORTH 0°10'00' WEST 124.60 FEET, NORTH 32°18' WEST 180.00 FEET TO THE CORNER OF THE FIRST OF THE SOUTHWEST CORNER OF SAID SECTION 7, RUNNING THENCE NORTH 89°22'30" WEST 378.19 FEET ALONG THE NORTH LINE OF 600 SOUTH STREET, THENCE NORTH 0°44'15" EAST 202.62 FEET, MORE OR LESS, THENCE SOUTH 87°26'48" EAST 47.70 FEET, MORE OR LESS, TO THE WEST LINE OF 900 WEST STREET, THENCE SOUTH 2°23'12" WEST 189.52 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

[illegible]

LESS AND EXCEPTING THEREFROM THE FOLLOWING:

PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALINE MERIDIAN, U.S. SURVEY; BEGINNING AT A POINT ON THE NORTH LINE OF STATE ROAD (RIVERDALE ROAD) 27.20 FEET SOUTH 02°02' WEST (26.95 FEET SOUTH 02°59' WEST) ALONG THE SECTION LINE AND NORTH 64°15' EAST (NORTH 64°16'49" EAST) 26.95 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°32' WEST 22.74 FEET TO THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER SECTION, THENCE NORTH 10°13'09" EAST 26.34 FEET TO THE SOUTHWEST CORNER OF A METAL BUILDING, AND THENCE NORTH 02°28' EAST 169.05 FEET ALONG THE WEST WALL OF SAID METAL BUILDING AND THE EXTENSION OF SAID WEST WALL, THENCE NORTH 53°26'14" EAST 116.80 FEET, THENCE NORTH 89°32' WEST 22.74 FEET TO THE WEST PROPERTY LINE OF PETERSON INVESTMENT 8, THENCE (1) THREE CORNERS ALONG SAID WEST LINE AS FOLLOWS: SOUTH 04°45'15" WEST 387.18 FEET, NORTH 89°32' WEST 22.74 FEET, THENCE NORTH 4.85 FEET, THENCE NORTH 64°30'14" WEST 273.97 FEET TO THE BEGINNING.

16. The effects, if any, of easements and rights-of-way for existing roads, streets, alleys, ditches, reservoirs, utilities, canals, pipelines and power, telephone, sewer, gas or water lines, which may be ascertained by an inspection or survey of the subject Land

Survey Findings: Items from a survey of the subject land are shown herein.

17. The fact that the description of the Land described herein does not close mathematically.

18. Right of way as described and disclosed in that certain Warranty Deed recorded April 10, 1937 as Entry No. 24889 in Book 132 at Page 274.

19. Terms and conditions as contained and set forth in that certain Right of Way Deed recorded September 3, 1947 as Entry No. 70946 in Book 165 at Page 22.

20. Terms and conditions as contained and set forth in that certain Right of Way Deed recorded June 30, 1943 as Entry No. 7358, in Book 169 at Page 559.

21. Restrictions as contained and set forth in that certain Quit-Claim Deed (Controlled Access) recorded May 31, 1947 as Entry No. 131036 in Book 265 at Page 538.

22. Restrictions as contained and set forth in that certain Quit Claim Deed recorded September 24, 1973 as Entry No. 601845 in Book 1036 at Page 157.

Survey Findings: The parcel from said document is located in the southern portion of Parcel 4 as shown. The document contains the following restriction, "signs, billboards, outdoor advertising structures, or advertising of any kind, shall not be erected, displayed, placed or maintained upon or within this tract."

23. Reservations as contained and set forth in those certain Warranty Deeds recorded May 3, 1976 as Entry No. 664159 in Book 1125 at Page 53 and recorded December 2, 1977 as Entry No. 720428 in Book 1212 at Page 661.

Survey Findings: The irrigation ditch describes in said document appears to be covered and is no longer existing.

24. Restrictions as set forth and contained in that certain Quit Claim Deed recorded August 9, 1985 as Entry No. 944360 in Book 1473 at Page 64.

Survey Findings: The parcel is located on the southeast portion of Parcel 4 as shown. No restrictions from said document appear to affect the parcel.

SCHEDULE B PART II-EXCEPTIONS

25. Order, Judgment and Decree recorded June 7, 1985 as Entry No. 939201 in Book 1469 at Page 477.

Survey Findings: The irrigation ditch describes in said document appears to be covered and is no longer existing.

Karen G. Miller, husband and wife, as to an undivided one-half interest for a non-exclusive twenty-five foot access opening on the mutually shared East/West property border line for ingress and egress of customers and invitees and incidental purposes, by instrument recorded November 7, 1990, as Entry No. 1123772, in Book 1589, at Page 2196.

27. Grant of Easement in favor of Tony Divino, as to an undivided one-half interest; and Lawrence H. Millerband Kare G. Miller, husband and wife, as to an undivided one-half interest for a non-exclusive twenty-five foot access opening on the mutually shared East/West property border line for ingress and egress of customers and invitees and incidental purposes; by instrument, dated July 13, 1992 and recorded July 14, 1992 at Entry No. 1185460 in Book 1632 at Page 100.

Survey Findings: The opening described in said document is located along the north line of Parcel 1 as shown herein.

28. Non Exclusive Easements to Public Utilities by Petersen Investment II, a General Partnership for water, sewer and gas pipes, telephone and power lines (underground only) and conduits for any other public utility purposes and incident purposes, by instrument recorded October 27, 1995, as Entry No. 1370780, in Book 1777, at Page 2072 and recorded October 27, 1995 as Entry No. 1370781 in Book 1777 at Page 2074.

29. Easement in favor of the Utah Department of Transportation for the purpose of constructing and maintaining public utilities and appurtenant parts thereof including, but not limited to ATMS fiber optic conduit, electrical service, transmission lines, culinary and irrigation water facilities; and highway appurtenances including, but not limited to,

Survey Findings: The easement is located in the southern portion of Parcel 4 as shown herein

30. Easement in favor of the Utah Department of Transportation for the purpose of constructing and maintaining public utilities and appurtenant parts thereof including, but not limited to ATMS fiber optic conduit, electrical service and transmission lines, culinary and irrigation water facilities; and highway appurtenances including, but not limited to, slopes, street and signal lighting facilities, directional and traffic information signs and incidental purposes, by instrument

dated August 25, 2008 and recorded September 18, 2008, as Entry No. 23655588.

Survey Findings: The easement is located in the southern portion of Parcel 4 as shown herein.

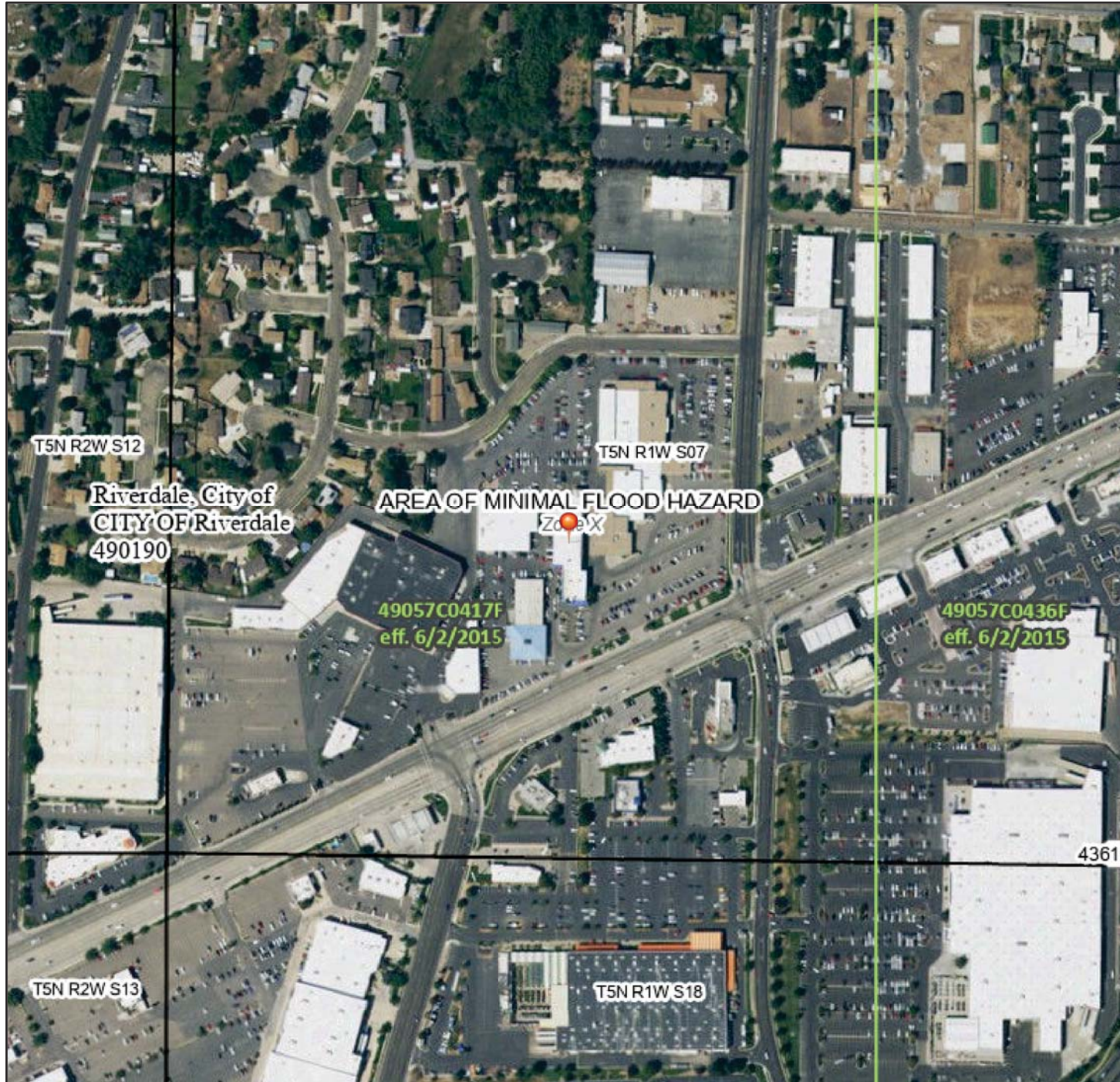
LOCATED IN THE
OF
TOWNSHIP 5 N

LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 7,
TOWNSHIP 5 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN.

National Flood Hazard Layer FIRMMette



112°0'29"W 41°10'56"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

111°59'52"W 41°10'29"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **7/12/2023 at 12:06 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Project: **Ken Garff Honda of Riverdale**
Description **Developed Site - 80th Percentile Storm Retention Sizing**
Date: **July 12, 2023**

80th Percentile Storm Pond Sizing

80th Percentile = 0.5" Rainfall

i	0.940	
Rv	0.835	(Runoff Coefficient)
d [ft]	0.042	(80th Percentile Precipitation Depth = 0.5 inches for Riverdale)
A [sf]	155230	(Drainage Area)
WQV [cf]	5398	

Project: **Ken Garff Honda Riverdale, UT**
Description: **Developed Site - 100 Year Detention Sizing**
Date: **July 12, 2023**

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A =	3.564	ac	Total project area.
Pavement Area	96,803	98	C (Curve Number)
Building	49,054	98	C (Curve Number)
Landscape	9,373	74	C (Curve Number)
CN =	96.55		Weighted for development.
Q _{allow} =	0.71	cfs	Allowable discharge based on 0.20 cfs/acre.
100-Yr, 24-Hr Precip	3.12	inches	From NOAA 14 Atlas
S	0.36	inches	

Required Storage

Time Elapsed (min.)	Rainfall Total (in.)	Runoff (cu.ft.)	Allow. Discharge (cu.ft.)	Storage Req'd (cu.ft.)	* Rainfall Totals From NOAA
5	0.57	3757	214	3543	
10	0.87	7137	428	6709	
15	1.08	9634	641	8993	
30	1.45	14163	1283	12880	
60	1.80	18531	2566	15965	
120	1.99	20922	5132	15791	
180	2.05	21680	7697	13982	
360	2.27	24465	15395	9070	
720	2.81	31338	30789	548	
1440	3.12	35299	61579	-26280	

Required Storage = 15965 cu.ft.

Orifice Size

$$Q = CdAo(2gh)^{1/2}$$

$$Cd = 0.62$$

$$\text{Flow (Q) (North)} = 0.71$$

$$\text{Head (h) (North)} = 1.5$$

$$\text{Area (in}^2\text{) (North)} = 16.8422 \quad \text{Retention Facility Volume} = \mathbf{15975 \text{ cu.ft.}}$$

$$\text{Dia (in) (North)} = \mathbf{4.6}$$

$$\mathbf{4.5 \text{ in.}}$$

Check Q 0.67 cfs

SITE DEVELOPMENT PLANS FOR KEN GARFF HONDA OF RIVERDALE

950 W RIVERDALE RD
OGDEN, UT 84405

BASIS OF BEARING

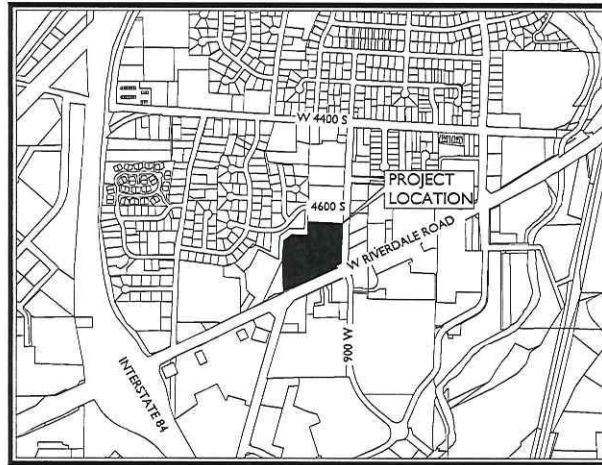
FROM SURVEY

BENCHMARK

FROM SURVEY

LEGAL DESCRIPTION

FROM SURVEY



VICINITY MAP

NOT TO SCALE



SHEET INDEX

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.10	GENERAL NOTES
SHEET 1 OF 1	ALTA SURVEY (FOR REFERENCE ONLY)
C1.00	EROSION CONTROL COVER SHEET
C1.10	EROSION CONTROL PLAN
C1.20	EROSION CONTROL DETAILS
C2.00	DEMOLITION PLAN
C3.00	SITE PLAN
C4.00	GRADING AND DRAINAGE PLAN
C4.10	EAST DRAINAGE TREATMENT PLAN
C5.00	UTILITY PLAN
C6.00	CONSTRUCTION DETAILS
C6.10	CONSTRUCTION DETAILS
C6.20	CONSTRUCTION DETAILS
C6.30	CONSTRUCTION DETAILS
C6.40	CONSTRUCTION DETAILS
C6.50	CONSTRUCTION DETAILS
C6.60	CONSTRUCTION DETAILS
C6.70	CONSTRUCTION DETAILS
C6.80	CONSTRUCTION DETAILS
C6.90	CONSTRUCTION DETAILS
C7.00	CONCEPT LANDSCAPE PLAN

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SALT LAKE CITY, UT 84111
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DEVELOPER:
KUT GROUP
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SALT LAKE CITY, UT 84111
CONTACT: BRETT GOFFREY
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12840 SOUTH PONY EXPRESS
DRAPER, UT 84020
CONTACT: LOUIS LOPEZ
PHONE: (801) 576-4227

DATE	DESCRIPTION
06/15/2023	DATA REVISION
07/05/2023	DATA REVISION
07/05/2023	DATA REVISION

Kimley»Horn
100 East Broadway, Suite 400 | Salt Lake City, UT 84111 | Tel: 801.488.2341

COVER SHEET
KEN GARFF HONDA OF RIVERDALE -
PHASE 2
RIVERDALE, UTAH

DESIGNED BY: JTL/2023
CHECKED BY: JTL/2023
PROJECT NO.: 00520005
SCALE: AS SHOWN



PREPARED UNDER THE DIRECTION
AND SUPERVISION OF CHRISTOPHER PAUL,
REGISTERED PROFESSIONAL ENGINEER,
No. 169463, State of Utah, Exp. 12/31/2027.
DATE: 07/05/2023
PROJECT NO.: 00520005

CALL BEFORE YOU DIG.
IT'S FREE AND IT'S THE LAW.
811
Dig Safe
Call before you dig.

CAUTION: NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND/OR CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

SHEET
C0.00

[illegible]

IF IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO COORDINATE ALL UTILITY LOCATIONS CONSIDER WITH THE CONTRACTOR'S SCHEDULE FOR THE PROJECT. WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES OF THIS PROJECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TEMPORARY POWER, TELEPHONE AND WATER TO THE SITE, PAYING ALL FEES INCLUDING TAP FEE AND SYSTEM DEVELOPMENT FEE, REFERRING TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND DIMENSIONS OF BUILDING DOTS, RAMP, TRUCK DOORS AND UTILITY ENTRANCE LOCATIONS.

IN GENERAL, UTILITIES OF SITE WORK ARE TO THE FACE OF BUILDING.

THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, RAMPED PAVING, DOT PUNCHES, RAMPS AND TRUCK DOORS, PLEASE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

CONTRACTOR TO MAINTAIN ALL DRIVE AND GROUND COVERED AREAS FREE FROM WEEDS AND UNDESIRABLE VEGETATION THROUGH MAINTENANCE PERIOD.

[illegible]

1. FIRE HYDRANTS SHALL BE INSTALLED BETWEEN THE CURB AND SIDEWALK A MINIMUM OF EIGHTEEN (18) INCHES FROM THE BACK OF THE CURB AT LOCATIONS DETERMINED BY THE CITY. OUTLETS SHALL BE EIGHTEEN (18) INCHES ABOVE FINISHED GRADE AND MUST FACE THE STREET. ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED AT THE DISCRETION OF THE CITY FIRE MARSHAL AND CITY ENGINEER DUE TO SPECIFIC BUILDING OR DENSITY REQUIREMENTS.
2. FIRE HYDRANTS SHALL COMPLY WITH NATIONAL STANDARD REGULATIONS AND SHALL HAVE A MINIMUM FIVE (5) INCH BARNEL IN EXCESS OF A MINIMUM OF (4) INCH BARNEL IN CLOSE PROXIMITY TO BUILDINGS.
3. FIRE HYDRANTS SHOULD NOT BE CONNECTED TO ANY WATER MAIN SMALLER THAN SIXTY (60) INCHES INSIDE DIAMETER. FIRE HYDRANTS SHALL NOT BE CONNECTED TO A DEAD END LINE SMALLER THAN EIGHT (8) INCHES INSIDE DIAMETER.

[illegible]

ENGINEERING DEMOLITION NOTES

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE PROJECT IS CONDUCTED IN ACCORDANCE WITH ALL CITY, COUNTY AND STATE REQUIREMENTS AND ALL GENERAL CONTRACTORS REQUIREMENTS. THE QUALITY OF WORKMANSHIP AND THE SAFETY OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SLACKS OR DEFICIENCIES IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

ALL MATERIALS ARE TO BE REMOVED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS, AND ALL GENERAL CONTRACTORS ARE TO ENSURE THAT ALL MANUFACTURERS' WARRANTIES SHALL BE MAINTAINED.

3. ALL GENERAL CONTRACTORS NOT BE RESPONSIBLE FOR RELOCATING SHALL BE RESPONSIBLE BY THE CONTRACTOR, COORDINATE WITH THE OWNER AND THE CITY OF DENVER TO OBTAIN ALL NECESSARY PERMITS AND INSURANCE.

4. GENERAL CONTRACTORS IS RESPONSIBLE FOR RELOCATING, UNLOADING, STORING AND PROTECTING OF EXISTING MATERIALS TO BE RELOCATED OR OTHERS OWNED MATERIALS AND EQUIPMENT UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.

5. ALL GENERAL CONTRACTORS IS RESPONSIBLE FOR INSURING THE SAFETY OF ALL PERSON ON THE JOB SITE AT ALL TIMES INCLUDING BUT NOT LIMITED TO ALL GENERAL CONTRACTORS VENDORS, DESIGN PROFESSIONALS AND INSPECTION PERSONNEL.

6. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.

7. DURING DEMOLITION AND RECONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S CONTRACTORS AND ALL OTHERS TO MAINTAIN SAFE ACCESS TO ALL AREAS.

IF THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING PHOENIX, BRADEN AND SUPPORT DUTIES AND TO BE EXISTING DUTIES AND IN SAFE CONDITION DURING THE REMOVAL OF EXISTING AND NEW CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE EXISTING DUTIES AND TO BE EXISTING DUTIES AND TO BE EXISTING DUTIES.

ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE REMOVED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND THE ENGINEER FOR REVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE FOR BOTH THE OWNER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.

ENGINEERING SANITARY SEWER NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE UNDERGROUND STANDARDS AND SPECIFICATIONS.
2. ALL SANITARY SEWER ENDS SHALL BE PVC ENDS; SEWER END CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE ENDS STANDARDS AND SPECIFICATIONS.
3. DETACHES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. THEREFORE, DETACHES SHOWN ON PLANS ARE APPROXIMATE AND SHOULD VARY DUE TO VERTICAL ALIGNMENT.
4. REVISIONS TO PLANS ARE A NECESSARY PART OF THE PROJECT AND ARE NOT TO BE TAKEN AS PROBABILITIES. PRIORING CONTRACTOR SHALL INCUR COST OF ANY NECESSARY REVISIONS, QUOTE, AND FIELD DUES TO ADJUST THE MANHOLE PIPES TO THE EXISTING MANHOLE IN THE FIELD. THE CONTRACTOR SHALL COMPLY WITH THE STANDARD SPECIFICATIONS, ALL PIPES SHALL BE ADJUSTED TO FINAL GRADE PIPS TO THE FINAL CUT/ FILL SURFACE.
5. SANITARY SEWER MAIN TESTING SHALL BE ACCORDANCE WITH THE UNDERGROUND STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE ENGINEER, THE OWNER, AND THE GOVERNING AUTHORITY PRIOR TO THE START OF THE WARRANTY PERIOD.
6. CONNECTION OF ALL TRENCHES WITHIN THE PUBLIC ROW MUST BE ATTAINED AND CONNECTION DETAILS SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
8. CONTRACTORS TO USE OSHA STANDARDS FOR ALL TRENCHING AND HAVE AN OSHA STANDARD TRENCH BOX WITH A MINIMUM OF TWO TRENCH SHIELDING DEVICES.
9. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STARTING ON CONSTRUCTING ANY NEW SEWER LINES.
10. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

[illegible]

13. CONTRACTOR SHALL ACQUIRE POTENTIAL DRAINAGE AREA FROM BUILDING RAIL, NATURAL AND PAVED AREAS.

14. UNLESS OTHERWISE SHOWN, NO PROPOSED SLOPE SHALL EXCEED THREE (3) HORIZONTAL TO ONE (1) VERTICAL. ALL SLOPES SHALL BE PROTECTED BY EROSION CONTROL MEASURES.

15. IF THERE IS A SIGNIFICANT CHANGE OF ELEVATION AND PLACED MATERIALS ARE STOCKPILED ON THE SITE, STOCKPILES BE PLACED TO A MINIMUM OF FIVE FEET. SET BACKS SHALL BE DETERMINED BASED ON THE SLOPE OF THE STOCKPILE AND THE STOCKPILE SHALL BE PROTECTED BY EROSION CONTROL MEASURES.

16. ON-SITE MATERIALS STABLE FOR RILL BENEATH AND PAVING AREAS SHALL BE STORED AT THE REAR OF THE BUILDING SHALL BE COMPACTED IN ACCORDANCE WITH GUIDELINES INTAINED IN THE SOILS REPORT.

17. SLOPE ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN ON THE CONTRACT. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BETWEEN THE CONTOUR AND SLOPE DATA. CONTOUR AND SLOPE ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATION OF CURB, GUTTER, AND UTILITY.

18. CONTOUR DATA SHALL BE USED TO DETERMINE THE MINIMUM SLOPE REQUIRED TO DRAIN TO THE NEAREST DRAINAGE POINT OR BENCHMARKS. BY RUNNING A LINEAL ELEVATION AT LEAST TWO BENCHMARKS AND SHALL PROVIDE WRITTEN NOTES OF THE BENCHMARKS AND THE LINEAL ELEVATION TO THE ENGINEER.

19. ALL UTILITY MANHOLES HAVE COVERS, CLEANOUTS, WALLS, BOXES, ETC. SHALL BE ACQUIRED TO FINAL GRADE PRIOR TO THE FINAL PLANT OF ASPHALT.

20. ALL EARTH MOVING AND RECONSTRUCTION OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN SOILS REPORT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE GEOTECH REPORT ON THE JOB AT ALL TIMES.

21. THE CONTOUR SHOWN REPRESENTS FINAL GRADE. THE TOP LINE OF PATTERNS IN THE LANDSCAPE AREA SHALL BE TO THE FINISHED GRADE.

22. GRADES WITHIN AREAL AND/OR CONCRETE PARKING AREA SHALL BE CONSTRUCTED TO WITHIN A SIX INCH TOLERANCE OF THE DESIGN GRADE. GRADES WITHIN ASPHALT DRIVEWAYS SHALL BE CONSTRUCTED TO WITHIN A FOUR INCH TOLERANCE OF THE DESIGN GRADE. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN CURB OR PARALLEL AREA WHICH DO NOT PROVIDE PAVED OR UNPAVED DRIVEWAYS. ELEVATIONS SHALL BE TO THE TOP OF THE CURB.

23. SLOPE ELEVATIONS NEEDED FOR RILL DRAIN AND FLOW TO TOP OF ASPHALT UNLESS OTHERWISE NOTED.

24. WHERE NEW CURBS AND GUTTER LINE BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY PRIOR TO PLACEMENT OF ANY CONCRETE: THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE EXISTING GRADES AND ELEVATIONS OF THE DRIVEWAY AND ADJACENT DRIVEWAY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BETWEEN THE CONTOUR AND SLOPE DATA. CONTOUR AND SLOPE ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATION OF CURB, GUTTER, AND UTILITY.

ENGINEERING DRAINAGE AND UTILITY NOTES

1. ON-SITE GRADING HAS BEEN PROVIDED TO MAINTAIN THE EXISTING DRAINAGE PATTERN.
2. ALL EXISTING SHALL BE EXPOSED IN ORDER OF STRENGTH. THE EXISTING SHALL BE #4 OR DEEPER UNDER THE PIPE AND ADEQUATELY TO BE REINFORCED WITH ANCHORS AT EACH END OF THE EXISTING STRUCTURE. THE EXISTING SHALL BE PLACED TO A MINIMUM 18" ABOVE GRADE.
3. A MINIMUM CLEARANCE OF EIGHTY (80) INCHES IS REQUIRED TO MAINTAIN A WATER MAIN CROSSOVER OVER A SANITARY SEWER. CONCRETE INCIDENTS OF THE SANITARY SEWER WILL BE REQUIRED IF THE CLEARANCE IS LESS THAN EIGHTY (80) INCHES TO MAINTAIN THE PROPOSED CROSSOVER. INCLOSURE WILL DETAIL THIS 18" NET FIBER GLASS OR CROSSOVER FOR A TOTAL LENGTH OF TWENTY (20) FEET.
4. PRECAST STRUCTURES MAY BE USED AS CONTRACTORS OPTION. THE ENGINEER OF RECORD MUST REVIEW AND APPROVE ANY PRECAST STRUCTURES.
5. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. AND ANY DESTROYED PIPE TO BE CLEANED OUT AND REPLACED WITH NEW PIPE ONLY TO BE DISCARDED.
6. THE CONTRACTOR SHALL DESIGN ALL DRAINAGE STRUCTURES AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE PROPER DRAINAGE FLAWS.
7. IF DOWNSTREAM IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL AFFECTED JURISDICTIONS.
8. A COMPLETE ENCASUREMENT WILL BE REQUIRED WHENEVER A WATER MAIN CROSSOVER OVER A WATERS HORN. CONCRETE CHASES OR ENCASUREMENTS ARE NOT REQUIRED WHENEVER A WATER MAIN OR SANITARY SPECIFICATIONS HAVE CROSSED A TUTOR TO MAINTAIN THE PROPOSED CROSSOVER.
9. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO THE CITY STANDARDS, SPECIFICATIONS, AND PLANS.
10. THURST RODS SHALL BE USED AT ALL ENDS AND FITTINGS. RIGGING KIDS SHALL BE USED AT ALL LINES AND FITTINGS WHERE THURST RODS DO NOT BEG AGAIN UNDISTURBED SOIL.
11. PROHIBIT USE OF LEAKY HOSES OR OTHER EQUIPMENT THAT COULD CAUSE DAMAGE TO THE WATERLINE OR THE CITY'S INFRASTRUCTURE.
12. A MINIMUM HORIZONTAL CLEARANCE OF 18" FEET FOR TOWN AND SANITARY SWEIRS SHALL BE MAINTAINED BETWEEN THE WATERLINE AND OTHER UTILITIES RUNNING PARALLEL TO THE DESIGNED MANHOLES.
13. WATERLINES SHALL BE TESTED AND DERIVED IN ACCORDANCE WITH THE CITY STANDARDS, SPECIFICATIONS, AND PLANS. ALL WATER MAINS SHALL BE TESTED AND DERIVED IN ACCORDANCE WITH THE CITY STANDARDS, SPECIFICATIONS, AND PLANS.
14. ALL WATER MAIN VALVES, FIRE HYDRANTS, SERVICES, AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED BY THE CITY ENGINEER OF RECORD.

ENGINEERING PAVING NOTES

1. CONTRACTOR SHALL ADOPT JOINT EXISTING PAVEMENT AS NECESSARY TO ACHIEVE A SMOOTH RIDE AND CONTINUOUS GRADE.
2. UNLESS OTHERWISE INDICATED ON THE PLANS OR THE SPECIFICATIONS, ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
3. ALL CONCRETE DRIVEWAYS SHALL HAVE CONCRETE JOINTS ON 30' CENTRE AND DRAINAGE JOINTS PLACED ON 30' CENTRE. CONTRACTOR SHALL MATCH EXISTING JOINTS SHALL BE PLACED AT 12' CENTRE MINIMUM.
4. ALL CONCRETE DRIVEWAYS SHALL BE PLACED TO CONFORM WITH THE TYPICAL PAVING SECTIONS AS INDICATED ON THE DRIVEWAYS.
5. WHEN EXISTING PAVEMENT IS DEGRADED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A FINISH PAVEMENT STRIP 12' WIDE AT EACH END AND REPLACE THE FINISH PAVEMENT WITH THE SAME TYPE AND QUANTITY OF MATERIAL AS THE EXISTING OR AS SPECIFIED.
6. WHEN EXISTING PAVEMENT IS TO BE REPAIRED, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A FINISH PAVEMENT 1' DEEP FOR AN ASSIGNED JOINT AND PATCH THE EXISTING PAVEMENT WITH THE SAME TYPE AND QUANTITY OF MATERIAL AS THE EXISTING OR AS SPECIFIED.

1. DISTURBANCES SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.

2. DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCES AND NOT ACTUAL PIPE LENGTH. HOWEVER, PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION TIES TO EXISTING POINTS ON THE PLANS.

3. ALL WATER LINES SHALL BE TO LOCATED AS SHOWN ON THE PROJECT PLANS UNLESS INDICATED TO THE FIELD BY THE ENGINEER.

4. MINIMUM CLEARANCE BETWEEN NEW PIPELINES AND EXISTING UTILITIES AND STRUCTURES (INCLUDING EXISTING SHAFTS AND EXISTING TRENCHES) SHALL BE MAINTAINED. EXISTING UTILITIES AND OTHER UTILITIES SHALL BE 18 INCH.

5. TRENCH BODIES SHALL BE PLACED ON WATERLINES AT ALL CROSSING CHANGES. TYPICAL SIZES, SLOPES, BROWNS FIVE HYDRAUS AND GATES VARYING FROM 18 INCH TO THE PROJECT PLAN.

6. MINIMUM COVER FOR WATERLINES SHALL BE FIVE FEET, A FEET HANDED, MEASURED TO THE TOP OF THE PIPE UNLESS OTHERWISE SHOWN.

7. THERE SHALL BE TEN FEET MINIMUM SEPARATION OF 18 INCH WATERLINES AND NEW SEWER LINES EXCEPT WHERE THE LOCAL CODES AT APPROXIMATE RIGHT ANGLE A MINIMUM OF 36 INCHES VERTICAL SEPARATION SHALL BE MAINTAINED AT ALL CROSSINGS.

8. THE CONTRACTOR SHALL COORDINATE ALL LAND TIES AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER LINES WITH THE ENGINEER AND THE WATER SUPPLY DIVISION / CITY.

9. ALL RESOURCES SHALL BE COMPLETED.

10. ALL AIR RELEASE AND COMBINATION AIR VALVES SHALL BE INSTALLED AT ALL HIGH POINTS CREATED DURING INSTALLATION OF THE WATER LINE. CONTRACTOR SHALL RECORD ACTUAL LOCATION OF VALVES IN RECORD DRAWING.

11. FOR CONNECTIONS TO EXISTING WATER LINES UNLESS OTHERS OR ANY OTHER UTILITIES, CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE WATER LINES AND THE WATER SUPPLY DIVISION / CITY SHALL BE RESPONSIBLE FOR SHIRING OR RECTIFYING OR REPAIRING OF FITTINGS.

12. ALL GATE VALVES SHALL BE LOCATED NEAR TO THE CROSSINGS AND THEIR ASSOCIATED RECORDS ARE SHOWN ON THE PROJECT PLANS.

13. ALL CROPS AND TREES SHALL BE INSTALLED WITH THE BRANCHES HAVING THE SIZE OF THE LARGEST ADJOINING PIPE UNLESS OTHERWISE NOTED.

UDOT GENERAL NOTES

1. ALL CONSTRUCTION UNDER THE UDOT RIGHT-OF-WAY SHALL COMPLY TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR IS TO OBTAIN AN EROSION PREVENT FROM THE APPLICABLE UDOT REGION PRIOR TO ANY CONSTRUCTION OF EROSION PREVENTION. EROSION PREVENTION SHALL BE INSTALLED IN THE UPSTREAM SECTION OF THE EROSION PREVENTION.
3. UDOT RESERVE THE RIGHT AT ITS OPTION, TO INSTALL A GRADE HEDGE BARRIERS OR RESTRICT ACCESS TO A RIGHT-OF-WAY.
4. OWNER, DEVELOPER, AND/OR CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY UNDER THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
5. OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HAVE AN INDEPENDENT COMPANY FOR ALL TESTING UNDER THE UDOT RIGHT-OF-WAY.
6. ALL SIDEWALKS UNDER THE UDOT RIGHT-OF-WAY MUST BE MINIMUM CEMENT TYPE 35 (SHEETING) WITH A 6" SUBPADE. ALL SIDEWALKS MUST BE 4' WIDE.
7. CONFORM WITH THE REQUIREMENTS OF 23 CFR 1203.4 (DEFERRED CEMENTS - COUNTY SPECIFICATIONS) TO BE MODIFIED, COORDINATION WITH CERTAIN TIA AGENCIES.

[illegible]

Kimley»»Horn
111 East Broadway, Suite 601 Salt Lake City, UT 84111 Tel. 801.333.2378

GENERAL NOTES

BY: _____	KLR _____	7/15/2023 _____
ED BY: _____	RSG _____	7/15/2023 _____
OD BY: _____	CFB _____	7/15/2023 _____
TIN: 03528015		SCALE AS SHOWN

SEAL
DESIGN
CHECK
PRO SEC
06

REGISTERED PROFESSIONAL ENGINEER
Christopher Fall
No. 5084232-2230
CRISTOPHER FALL
107
71142223
STATE OF UTAH

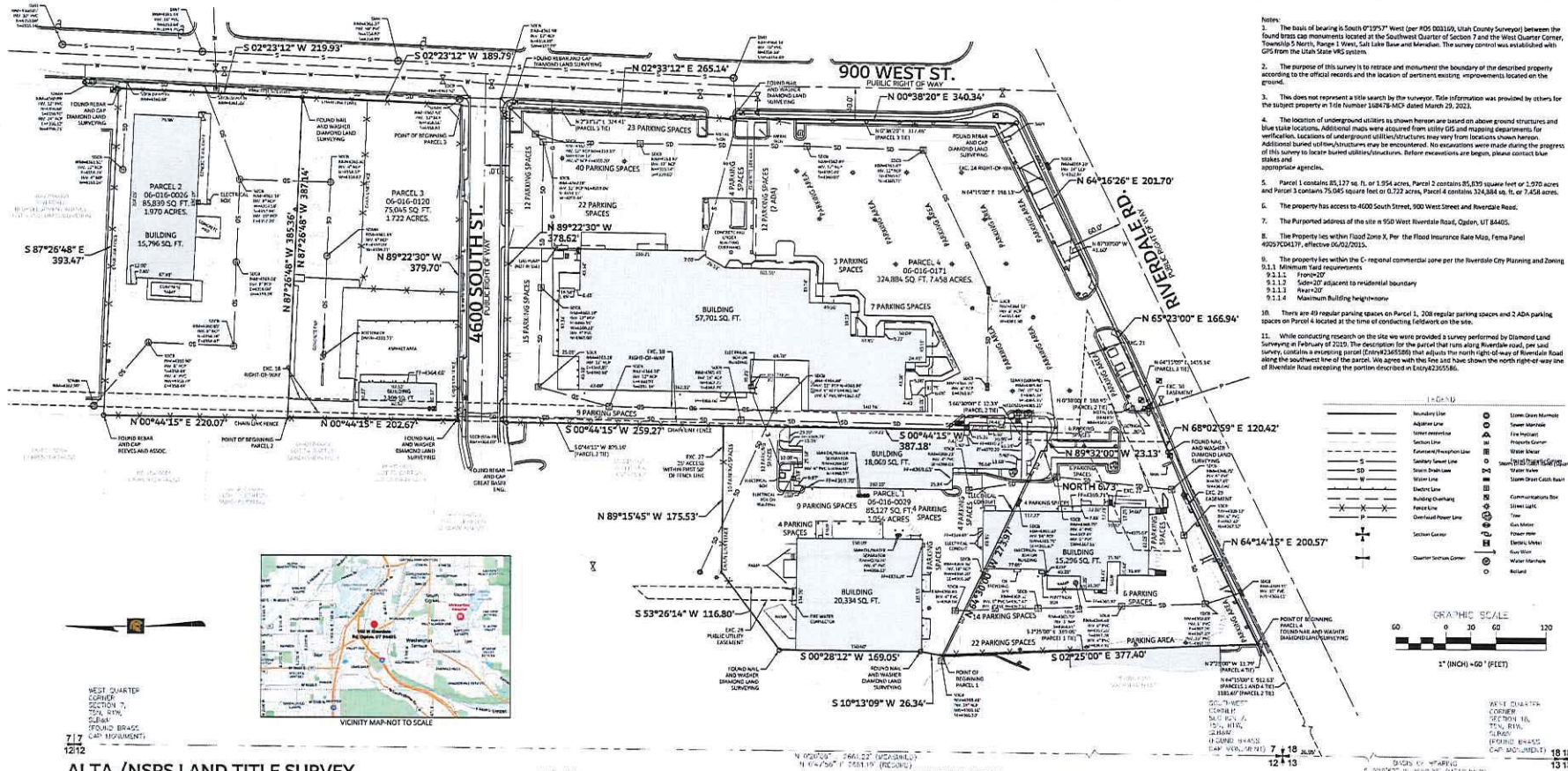
PREPARED UNDER THE DIRECTION
SUPERVISION OF CHRISTOPHER FALL, P.E.
UTAH REGISTRATION NO.
10844-2232 FOR AND ON BEHALF OF
FASLEY-HORN AND ASSOCIATES, P.C.

SHEET
C0.10

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES.

SHEET
C0.10



ALTA / NSPS LAND TITLE SURVEY **950 WEST RIVIERDALE ROAD** **OGDEN, UT 84405**

File Number: 188478-MC
 Commenced Date: March 29, 2023 at 7:30 AM

To: Carl Properties L.A. Quinlan, LLC, a Utah limited liability company
 Cornerstone Title Insurance Agency, Inc.
 Surveyor Title Insurance Agency, Inc.

This is to certify that this map and the survey on which it is based were made in accordance with the 2023 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and include items 1, 2, 4, 5, 6, 9, 10, 11, 12, 13, 14, 17, 18 and 19 of Table A therein. The findings were completed on April 27, 2023.

Date of Plot or Map: June 30, 2023

Professional Land Surveyor
 Anne R. Wilson, PLS
 License No. 12600786

Legal Description

PARCEL 1:

PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE MERIDIAN, U.S. SURVEY, BEGINNING AT A POINT ON THE NORTH LINE OF STATE ROAD (RIVIERDALE) 27.20 FEET SOUTH 0°00'00" WEST 126.95 FEET ALONG THE SECTION LINE AND NORTH 64°15' E 111.41 FEET EAST ALONG THE NORTH LINE OF RIVIERDALE ROAD 112.70 FEET AND NORTH 2°00'00" WEST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER SECTION, THENCE NORTH 30°10'00" EAST 36.34 FEET TO THE SOUTHWEST CORNER OF A METAL BUILDING, THENCE NORTH 0°00'00" EAST 18.00 FEET TO THE WEST WALL OF SAID METAL BUILDING, AND THE EXTENSION OF SAID WEST WALL, THENCE NORTH 93°24'45" EAST 116.80 FEET, THENCE SOUTH 89°30'00" WEST 175.53 FEET TO THE WEST PROPERTY LINE OF PETERSON INVESTMENT II, THENCE (S) THREE COURSES ALONG SAID WEST LINE AS FOLLOWS: SOUTH 64°15' E 30.18 FEET, NORTH 67°30' W 20.24 FEET, THENCE NORTH 4.80 FEET, THENCE NORTH 64°30' W 27.97 FEET TO THE BEGINNING.

PARCEL 2:

PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE MERIDIAN, U.S. SURVEY, BEGINNING AT A POINT ON THE NORTH LINE OF STATE ROAD (RIVIERDALE) 27.20 FEET SOUTH 0°00'00" WEST 126.95 FEET ALONG THE SECTION LINE AND NORTH 64°15' E 111.41 FEET EAST ALONG THE NORTH LINE OF RIVIERDALE ROAD 112.70 FEET AND NORTH 2°00'00" WEST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER SECTION, THENCE NORTH 30°10'00" EAST 36.34 FEET TO THE SOUTHWEST CORNER OF A METAL BUILDING, THENCE NORTH 0°00'00" EAST 18.00 FEET TO THE WEST WALL OF SAID METAL BUILDING, AND THE EXTENSION OF SAID WEST WALL, THENCE NORTH 93°24'45" EAST 116.80 FEET, THENCE SOUTH 89°30'00" WEST 175.53 FEET TO THE WEST PROPERTY LINE OF PETERSON INVESTMENT II, THENCE (S) THREE COURSES ALONG SAID WEST LINE AS FOLLOWS: SOUTH 64°15' E 30.18 FEET, NORTH 67°30' W 20.24 FEET, THENCE NORTH 4.80 FEET, THENCE NORTH 64°30' W 27.97 FEET TO THE BEGINNING.

PARCEL 3:

PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, BEGINNING ON THE WEST LINE OF 900 WEST STREET, SAID POINT BEING 26.95 FEET SOUTH 0°00'00" WEST 145.14 FEET, NORTH 64°15' E 111.41 FEET EAST ALONG THE NORTH LINE OF RIVIERDALE ROAD 112.70 FEET, NORTH 87°30'00" WEST 197.64 FEET, NORTH 64°15' E 111.41 FEET EAST TO THE SAID WEST LINE OF 900 WEST STREET 318.00 FEET, NORTH 0°00'00" EAST ALONG SAID WEST LINE AND 38.74 FEET NORTH 2°00'00" WEST 38.00 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 7, BEGINNING THENCE NORTH 89°30'00" WEST 175.53 FEET ALONG THE NORTH LINE OF 4600 SOUTH STREET, THENCE NORTH 64°15' E 111.41 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

PARCEL 4:

PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, BEGINNING ON THE NORTH LINE OF RIVIERDALE ROAD, SAID POINT BEING 26.95 FEET SOUTH 0°00'00" WEST 145.14 FEET, NORTH 64°15' E 111.41 FEET EAST ALONG THE NORTH LINE OF RIVIERDALE ROAD 112.70 FEET, NORTH 87°30'00" WEST 197.64 FEET, NORTH 64°15' E 111.41 FEET EAST TO THE SAID WEST LINE OF 900 WEST STREET, THENCE TWO COURSES ALONG SAID WEST LINE AS FOLLOWS: NORTH 0°00'00" EAST 18.00 FEET, AND NORTH 93°24'45" EAST 116.80 FEET TO THE SOUTH LINE OF AN EXISTING STREET, BEING 4000 SOUTH STREET, THENCE NORTH 89°30'00" WEST 175.53 FEET ALONG SAID SOUTH LINE OF SAID EXISTING STREET, BEING 4000 SOUTH STREET, THENCE SOUTH 89°30'00" WEST 175.53 FEET TO THE EXTENSION OF THE WEST WALL OF A METAL BUILDING, THENCE SOUTH 0°00'00" WEST 126.95 FEET ALONG SAID EXTENSION OF THE WEST WALL AND THE WEST WALL OF A METAL BUILDING TO THE SOUTHWEST CORNER OF SAID METAL BUILDING, THENCE SOUTH 10°10'00" WEST 26.34 FEET, THENCE SOUTH 2°00'00" WEST 38.00 FEET, MORE OR LESS, TO THE NORTH LINE OF RIVIERDALE ROAD (STATE ROAD), THENCE NORTH 64°15' E 111.41 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

LESS AND EXCEPT THEREOF THE FOLLOWING:

PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE MERIDIAN, U.S. SURVEY, BEGINNING AT A POINT ON THE NORTH LINE OF STATE ROAD (RIVIERDALE) 27.20 FEET SOUTH 0°00'00" WEST 126.95 FEET ALONG THE SECTION LINE AND NORTH 64°15' E 111.41 FEET EAST ALONG THE NORTH LINE OF RIVIERDALE ROAD 112.70 FEET AND NORTH 2°00'00" WEST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER SECTION, THENCE NORTH 30°10'00" EAST 36.34 FEET TO THE SOUTHWEST CORNER OF A METAL BUILDING, THENCE NORTH 0°00'00" EAST 18.00 FEET TO THE WEST WALL OF SAID METAL BUILDING, AND THE EXTENSION OF SAID WEST WALL, THENCE NORTH 93°24'45" EAST 116.80 FEET, THENCE SOUTH 89°30'00" WEST 175.53 FEET TO THE WEST PROPERTY LINE OF PETERSON INVESTMENT II, THENCE (S) THREE COURSES ALONG SAID WEST LINE AS FOLLOWS: SOUTH 64°15' E 30.18 FEET, NORTH 67°30' W 20.24 FEET, THENCE NORTH 4.80 FEET, THENCE NORTH 64°30' W 27.97 FEET TO THE BEGINNING.

SCHEDULE B PART 1-EXCEPTIONS

16. The effects, if any, of statements and rights-of-way for existing roads, streets, alleys, ditches, easements, utilities, canals, pipelines and power, telephone, sewer, gas or water lines, which may be ascertained by an inspection or survey of the subject Land.

Survey Findings: Items from a survey of the subject land are shown herein.

17. The fact that the description of the Land described herein does not close mathematically.

Survey Findings: Parcel 4 does not close mathematically. A survey performed by Diamond Land Surveying, dated 2/26/2023 on the subject property was referenced for bearings and distances. Multiple rears and cap and nail and washers for Diamond Land Surveying were located at property corners. Multiple rears and cap and nail and washers for Diamond Land Surveying were located at property corners.

18. Right of way as described and discussed in certain Warranty Deeds recorded April 30, 1937 as Entry No. 24889 in Book 128 at Page 274.

Survey Findings: The easement is located in Parcel 1, 2 and 4 as shown.

19. Terms and conditions as contained and set forth in that certain Right of Way Deed recorded September 2, 1947 as Entry No. 70946 in Book 101 at Page 22.

Survey Findings: Said document contains the Rivierdale Road right of way.

20. Terms and conditions as contained and set forth in that certain Right of Way Deed recorded June 30, 1941 as Entry No. 72582 in Book 103 at Page 157.

Survey Findings: Said document contains the Rivierdale Road right of way.

21. Restrictions as contained and set forth in that certain Quit Claim Deed (Controlled Access) recorded May 31, 1941 as Entry No. 13103 in Book 305 at Page 138.

Survey Findings: The parcel from said document is located in the southern portion of Parcel 4 as shown herein.

22. Restrictions as contained and set forth in that certain Quit Claim Deed recorded September 24, 1973 as Entry No. 602485 in Book 1036 at Page 157.

Survey Findings: The parcel from said document is located in the southern portion of Parcel 4 as shown herein.

23. Restrictions as contained and set forth in that certain Warranty Deeds recorded May 3, 1975 as Entry No. 652155 in Book 1125 at Page 52 and recorded December 2, 1977 as Entry No. 704248 in Book 1212 at Page 161.

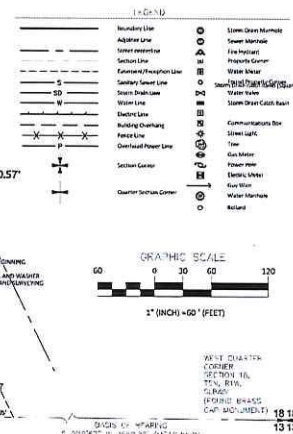
Survey Findings: The parcel from said document is located in the southern portion of Parcel 4 as shown herein.

24. Restrictions as contained and set forth in that certain Quit Claim Deed recorded August 9, 1985 as Entry No. 944260 in Book 1470 at Page 64.

Survey Findings: The parcel is located on the southwest portion of Parcel 4 as shown herein. No restrictions from said document appear to affect Parcel 4.

Notes:

- The basis of bearing is South 0°00'00" West (per POS 003319, Utah County Surveyors) between the found brass cap monuments located at the Southwest Corner of Section 7 and the West Quarter Corner, Township 5 North, Range 1 West, Salt Lake Base and Meridian. The survey control was established with GPS from the Utah State NS system.
- The purpose of this survey is to retrace and monument the boundary of the described property according to the official records and the location of permanent existing improvements located on the ground.
- This does not represent a title search by the surveyor. Title information was provided by others for the subject property in Title Number 188478-MC dated March 29, 2023.
- The location of underground utilities was shown hereon are based on above ground structures and blue state locations. Additional utilities were located from utility dials and mapping departments for verification. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures. Before excavations are begun, please contact local stakes and appropriate agencies.
- Parcel 1 contains 85,127 sq. ft. or 1.954 acres, Parcel 2 contains 85,870 square feet or 1.972 acres and Parcel 3 contains 75,045 square feet or 0.722 acres, Parcel 4 contains 324,384 sq. ft. or 7.454 acres.
- The property has access to 4600 South Street, 900 West Street and Rivierdale Road.
- The Purported address of the site is 950 West Rivierdale Road, Ogden, UT 84405.
- The Property lies within Flood Zone X, Per the Flood Insurance Rate Map, Fema Panel 49027C04171, effective 06/02/2015.
- The property lies within the C-2 regional commercial zone per the Rivierdale City Planning and Zoning 9.1.1 Minimum Use Requirements.
- 9.1.1.1 Front-Set
- 9.1.1.2 Side-Set adjacent to a residential boundary
- 9.1.1.3 Rear-Set
- 9.1.1.4 Maximum Building Footprint
- There are 49 regular parking spaces on Parcel 1, 208 regular parking spaces and 2 ADA parking spaces on Parcel 4 located at the time of conducting this survey on the site.
- While conducting research on the site we were provided a survey performed by Diamond Land Surveying in February of 2020. The description for the parcel that runs along Rivierdale road, per said survey, contains a easement grant (Entry 944260) that adjusts the north right-of-way of Rivierdale road along the southwest line of the parcel. We agree with this fact and have shown the north right-of-way line of Rivierdale Road excepting the portion described in Entry 944260.



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ALL REPORTS, RECORDS, FIELD DATA, FIELD NOTES, MEASUREMENTS, CALCULATIONS, EXPLANATIONS AND REVISIONS ARE THE PROPERTY OF AEGIS LAND SURVEYING. NO PART OF THIS REPORT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION BY AEGIS LAND SURVEYING.

6/30/23
 No. 12600794
 AMOS R. WILSON
 PROFESSIONAL LAND SURVEYOR
 STATE OF UTAH

KIMLEY HORN
 ALTA/NSPS LAND TITLE SURVEY
 950 WEST RIVIERDALE ROAD
 OGDEN, UT

SURVEY DATE: 4/23/23
 DRAWN BY: MGO
 JOB NO: 23-003
 SHEET: 1 of 1

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

STORM WATER POLLUTION PREVENTION PLAN GENERAL NOTES EROSION CONTROL GENERAL NOTES

1. THE STORMWATER MANAGEMENT PLAN IS COMPRISED OF THESE DRAWINGS ("SITE MAP"), THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATION SECTION 92370 ("STORMWATER MANAGEMENT PLAN"), PLUS THE PERMIT AND ALL SUBMITTAL REPORTS AND RECORDS REQUIRED BY THE PERMITTING AGENCY.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER MANAGEMENT SHALL OBTAIN A COPY OF THE STORMWATER MANAGEMENT PLAN AND THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (UPDES) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE CHPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL LOCATE, ON-PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON-SITE OR SHALL BE READILY AVAILABLE TO CONTROL AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. JUST ON THE SITE SHALL BE CONTROLLED, THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBER, TRASH, GARBAGE, LITTER OR OTHER SOLID MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PROJECTS THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE STOKES OR WATERS OF THE STATE.
12. ALL STORMWATER MANAGEMENT MEASURES PRESENTED ON THIS PLAN, AND IN THE STORMWATER MANAGEMENT PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDS NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDS. THESE AREAS SHALL BE SEEDS NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES WILL BE SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TRUCKS MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD, IF WASHING IS USED. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES DURING ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DOWNSTREAM DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOGS SHALL BE KEPT ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. THE CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS FINISHED.
19. SLOPES SHALL BE LEFT IN A ROUGHED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, DIVERSION CHANNELS, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
22. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORSEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A RESPECTIVE OF THE CITY OF RIVERDALE PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL MEASURES UPON INSPECTION OF PROPOSED FACILITIES.
23. SILT PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL PLOTS BECOMING FUNCTIONAL.
24. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL-DESTRUCTING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% HAS BEEN OBTAINED.
25. THERE WILL BE NO ASPHALT OR CONCRETE BATCH PLANTS ON SITE.
26. THE POTENTIAL FOR SOIL EROSION FOR THIS SITE IS SLIGHT TO MODERATE.
27. DAILY INSPECTIONS BY THE PROJECT SUPERINTENDENT, BI-WEEKLY INSPECTIONS BY THE CONTRACTOR'S COMPLIANCE OFFICER, AND MONTHLY INSPECTIONS BY THE OWNER'S CONSTRUCTION MANAGER MUST BE MADE TO DETERMINE THE EFFECTIVENESS OF THE CHPP.

CONSULTANTS

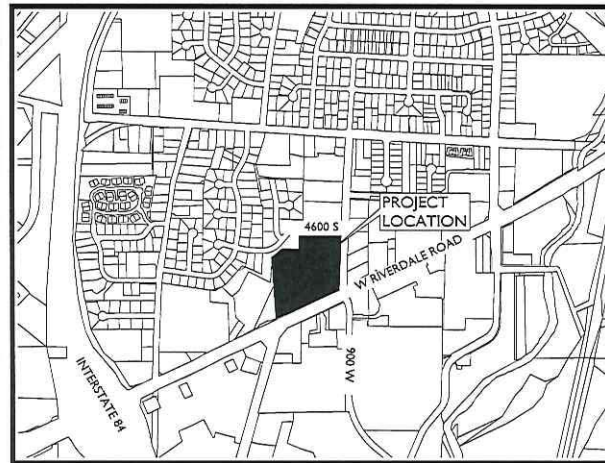
PROPERTY OWNER:	CIVIL ENGINEER:	SURVEYOR:	ARCHITECT:
KEN GARFF AUTO GROUP 111 EAST BROADWAY, SUITE 900 SALT LAKE CITY, UT 84111 CONTACT: DUSTY GORDON PHONE: (801) 558-5655	CHRYSTIAN 111 EAST BROADWAY, SUITE 900 SALT LAKE CITY, UT 84111 CONTACT: CHRIS GORDON, P.E. PHONE: (205) 235-0536	ADRIANO TORRINO 1487 SOUTH 2200 EAST CANYON LN. SALT LAKE CITY, UT 84045 CONTACT: ADRIANO TORRINO, P.E. PHONE: (385) 833-8073	SHAH SAH JEFFREY, CTE, SUITE 1700 HOUSTON, TEXAS, 77058 CONTACT: ALLAN MARANO PHONE: (832) 450-5317
DEVELOPER:	GEOTECHNICAL ENGINEER:		
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AGENCY CONTACTS			
PLANNING ENGINEERING: CITY OF RIVERDALE PLANNING DIVISION 4000 SOUTH WOOD RIVER DRIVE RIVERDALE, UT 84405 CONTACT: MICHAEL EGGETT PHONE: (801) 394-5541 EXT 1225	GAS SERVICE: JOHNSON ENERGY 4000 SOUTH WOOD RIVER DRIVE RIVERDALE, UT 84405 CONTACT: SHAWN DOUGLAS PHONE: (801) 394-5541 EXT 1217	WATER DEPARTMENT: CITY OF RIVERDALE PUBLIC WORKS 4000 SOUTH WOOD RIVER DRIVE RIVERDALE, UT 84405 CONTACT: SHAWN DOUGLAS PHONE: (801) 394-5541 EXT 1217	STORM DRAIN: CITY OF RIVERDALE PUBLIC WORKS 4000 SOUTH WOOD RIVER DRIVE RIVERDALE, UT 84405 CONTACT: SHAWN DOUGLAS PHONE: (801) 394-5541 EXT 1217
FIRE DEPARTMENT: RIVERDALE CITY FIRE DEPARTMENT 4000 SOUTH WOOD RIVER DRIVE RIVERDALE, UT 84405 CONTACT: JAMES SHAWLEY PHONE: (801) 394-5541	TELEPHONE: CITY OF RIVERDALE 1400 WEST 3000 SOUTH SALT LAKE CITY, UT 84119 CONTACT: SHAWN DOUGLAS PHONE: (801) 974-8145	SANITARY SEWER: CITY OF RIVERDALE PUBLIC WORKS 4000 SOUTH WOOD RIVER DRIVE RIVERDALE, UT 84405 CONTACT: SHAWN DOUGLAS PHONE: (801) 394-5541 EXT 1217	ELECTRIC: NORTH FRONTIER POWER 12340 SOUTH POINT EXPRESS DRAPER, UT 84020 CONTACT: LANCE LOPZ PHONE: (801) 576-8227

EROSION CONTROL PLAN

FOR

KEN GARFF HONDA OF RIVERDALE

950 W RIVERDALE RD
OGDEN, UT 84405



VICINITY MAP
NOT TO SCALE

SHEET INDEX

C1.00	EROSION CONTROL COVER SHEET
C1.10	EROSION CONTROL PLAN
C1.20	EROSION CONTROL DETAILS

STORM WATER POLLUTION PREVENTION PLAN MAINTENANCE NOTES

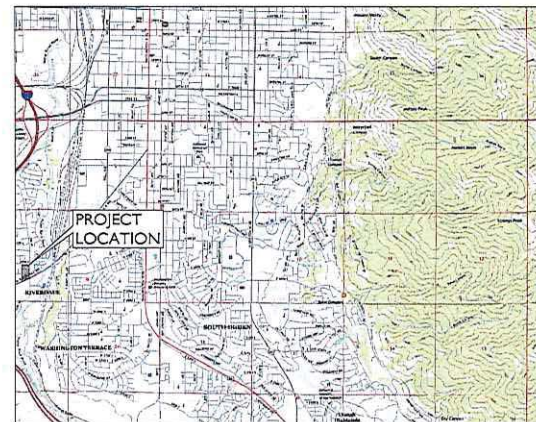
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT. MAINTENANCE IS MORE STRINGENT AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDOINGING, OR DETEIORATION.
2. ALL SEEDS AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WEEDS AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PAVED RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREAS SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS OR TRAPS WHEN THE BASIN CAPACITY HAS BEEN REDUCED BY 50%.
7. IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.
8. THE CONTRACTOR SHALL ENSURE THAT OFF-SITE AREAS USED FOR BORROW OR SPILL OF MATERIALS USED FOR THIS PROJECT ARE PERMITTED IN ACCORDANCE WITH UPDES REQUIREMENTS AND APPROPRIATE EROSION CONTROL MEASURE AND BMP'S BE PLACED TO ENSURE THAT DRAINAGE SEDIMENT IS CONTAINED.

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	SANITARY SEWER	WATER	STORM DRAIN	SEWER	WATER	STORM DRAIN
TEMPORARY SEDIMENT CONTROLS						
CLEAR AND GRUB SITE						
MASS GRADING						
LOCATE UTILITIES, BLDG. FOUNDATION						
SITE CONSTRUCTION						
PERMANENT CONTROL STRUCTURES						



OGDEN, UT QUADRANGLE MAP

DATE	DESCRIPTION
06/01/2023	DKA REVIEW
07/05/2023	DKA REVIEW
07/05/2023	DKA REVIEW

EROSION CONTROL COVER SHEET	KEN GARFF HONDA OF RIVERDALE - PHASE 2
	RIVERDALE, UTAH

DRAWN BY:	3/15/2023
DESIGNED BY:	3/15/2023
CHECKED BY:	3/15/2023
PROJECT NO.	09328018
SCALE	AS SHOWN

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PREPARED UNDER THE DIRECTION AND SUPERVISION OF CHRISTOPHER W. KIMLEY, P.E., LICENSED PROFESSIONAL ENGINEER FOR THE STATE OF UTAH, NO. 12454, EXPIRATION DATE 12/31/2024.

SHEET
C1.00

CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.

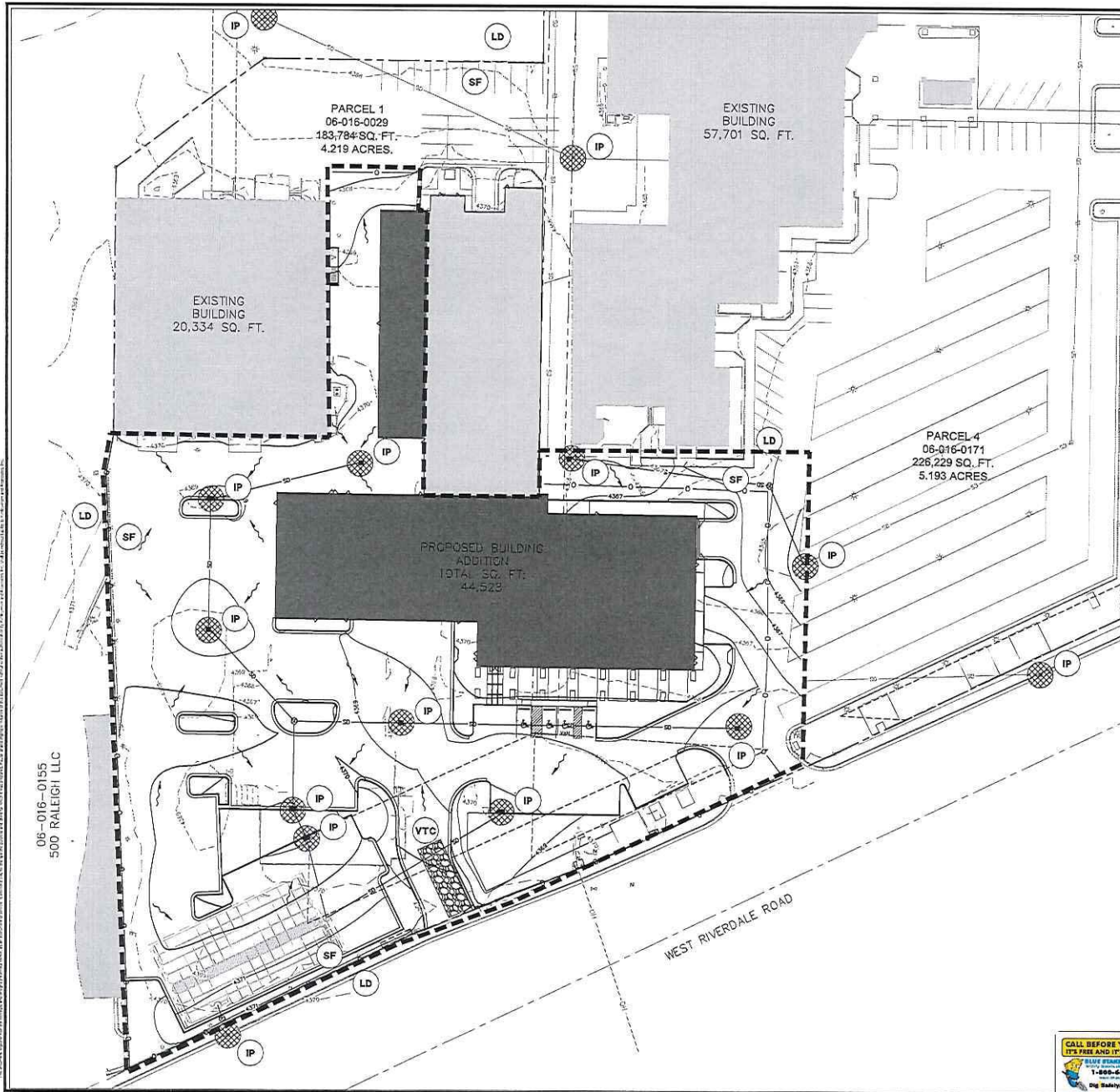
811

800-462-4311

Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND/OR ELEVATION OF ALL UTILITIES ON-SITE BEFORE ANY CONSTRUCTION. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER (800-462-4311) FOR ANY INFORMATION TO REQUEST SHOWN A LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UNDERGROUND UTILITIES BEFORE CONSTRUCTION AND PROTECT IN PLACE UNLESS NOTED ON THE PLAN.
- THE CONTRACTOR SHALL EXERCISE CAUTION AND USE CONSTRUCTION TECHNIQUES TO PROTECT AND PRESERVE EXISTING PERMANENT SURVEY MONUMENTS. ALL SURVEY MONUMENTS DISTURBED (PROPOSED AND EXISTING) SHALL BE REPLACED AND/OR RECONSTITUTED IN ACCORDANCE WITH STANDARDS BY A PROFESSIONAL LAND SURVEYOR RETAINED BY THE CONTRACTOR.

SEQUENCE OF CONSTRUCTION

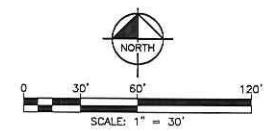
- INSTALL PERIMETER BOUNDARY SEDIMENT CONTROLS INCLUDING: STABILIZED CONSTRUCTION EXITS, SWAMP INFORMATION SIGN, HYDRAULIC CONTROL STRUCTURES (DRALES, CHECK DAMS, SEDIMENT POND, ETC.) AND SILT FENCING.
- PREPARE TEMPORARY PARKING AND STORAGE AREAS. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER PARKING, LAY DOWN PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, BACING AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROJECTS.
- DEMOLITION OF EXISTING IMPROVEMENTS PER SITE PLAN.
- START MASS GRADING THE SITE AND CONSTRUCTION OF ROADS.
- TEMPORARILY SEED ANY EXPOSED AREAS. MAINTAIN SITE PROTECTION AND STABILIZED CONSTRUCTION EXITS.
- EXCAVATE AND INSTALL UTILITIES, BUILDING FOUNDATION, ETC.
- START VERTICAL CONSTRUCTION OF THE BUILDING.
- FINAL GRADING OF THE SITE.
- INSTALL CURB AND GUTTER, AND SIDEWALKS.
- INSTALL ASPHALT PARKING LOT.
- FINAL STABILIZATION AND LANDSCAPING.

MAINTENANCE

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS ON THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
 - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION SUITABLE FOR PARKING AND STORAGE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITION AT ALL TIMES. SEDIMENT SHALL BE REMOVED WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

LEGEND

- PROPERTY LINE
- 5760 — EXISTING CONTOUR
- 4530 — PROPOSED CONTOUR
- LD LIMITS OF DISTURBANCE
- DIRECTION OF STORMWATER FLOW
- VTC INSTALL VEHICLE TRACKING CONTROL — SEE DETAIL 3, SHEET C1.20
- SF INSTALL SILT FENCE — SEE DETAIL 1 & DETAIL 2, SHEET C1.20
- CW PROPOSED CONCRETE WASHOUT AREA — SEE DETAIL 4, SHEET C1.20
- IP CONSTRUCT DROP INLET PROTECTION — SEE DETAIL 5 AND 6, SHEET C1.20



CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND IS NOT A GUARANTEE OF THE LOCATION AND/OR ELEVATION OF THE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND/OR ELEVATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

EROSION CONTROL PLAN

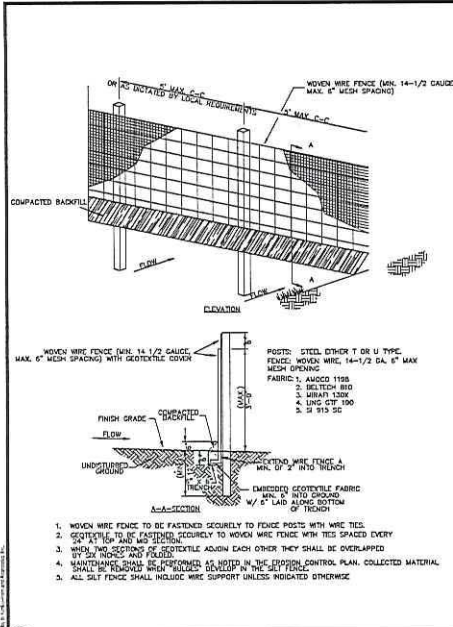
KEN GARFF HONDA OF RIVERDALE -
 PHASE 2
 RIVERDALE, UTAH

DESIGNED BY: J1162002
 CHECKED BY: J1162003
 PROJECT NO.: 09328015
 SCALE: AS SHOWN

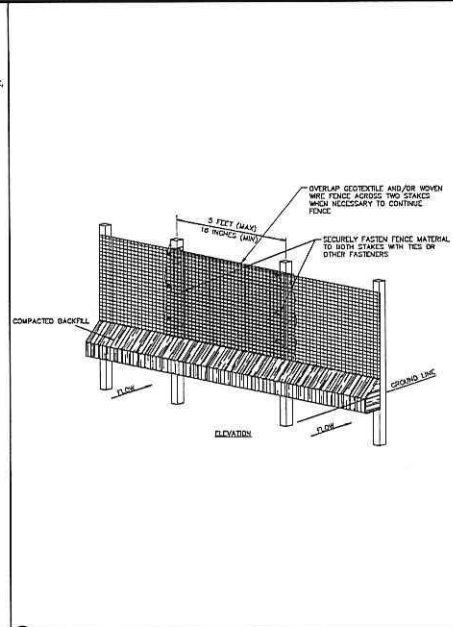


PREPARED UNDER THE DIRECTION
 SUPERVISOR OF A LICENSED PROFESSIONAL ENGINEER
 STATE OF UTAH
 SHEET
 C1.10

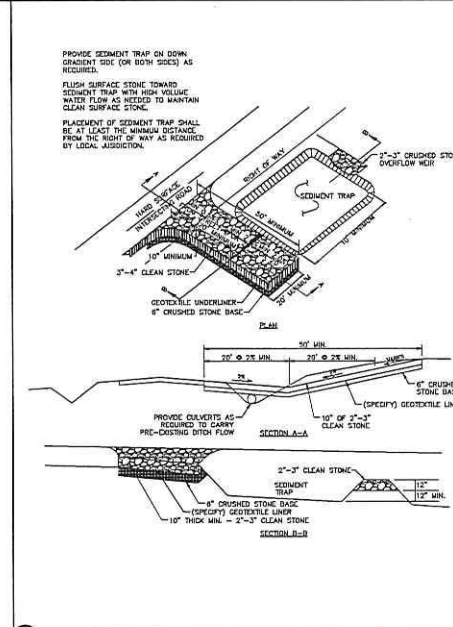
Kimley»Horn
 111 East Parkway, Suite 101, Salt Lake City, UT 84103-1011



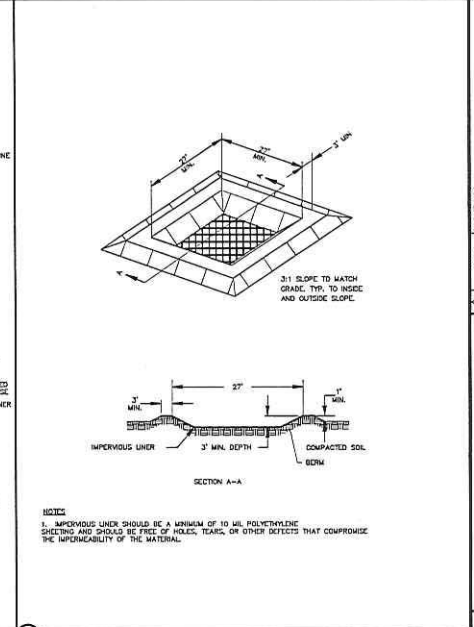
1 SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT SCALE: NTS



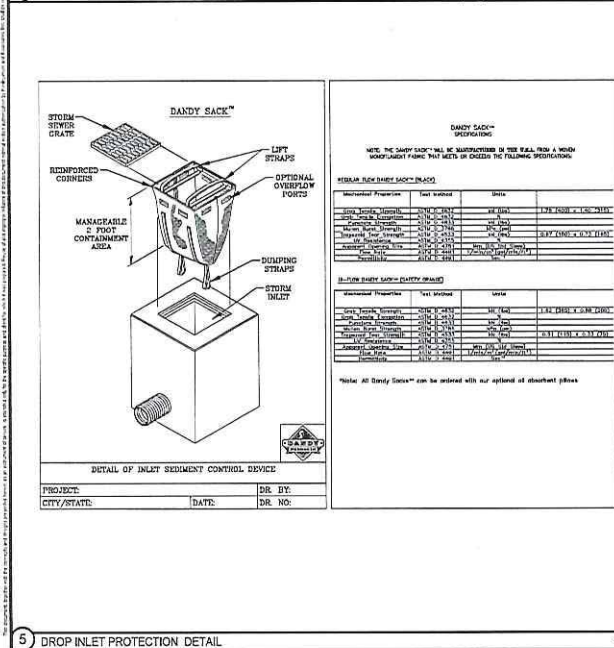
2 SILT FENCE OVERLAP DETAIL SCALE: NTS



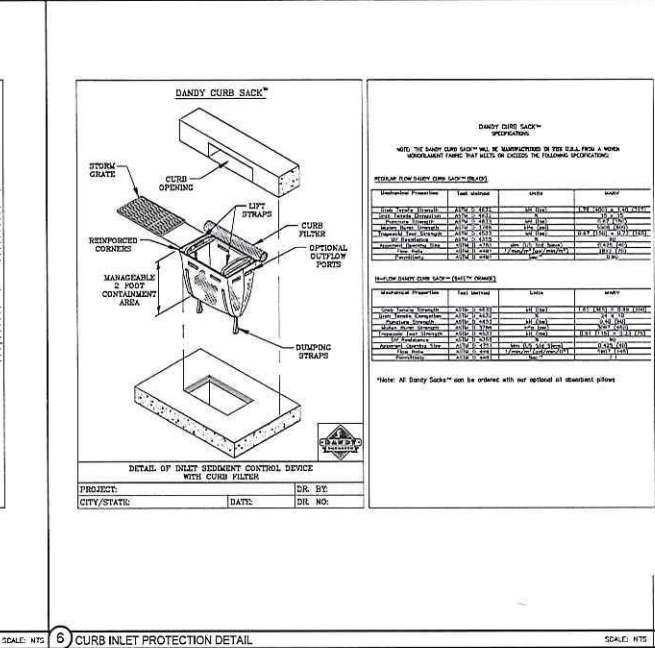
3 VEHICLE TRACKING CONTROL SCALE: NTS



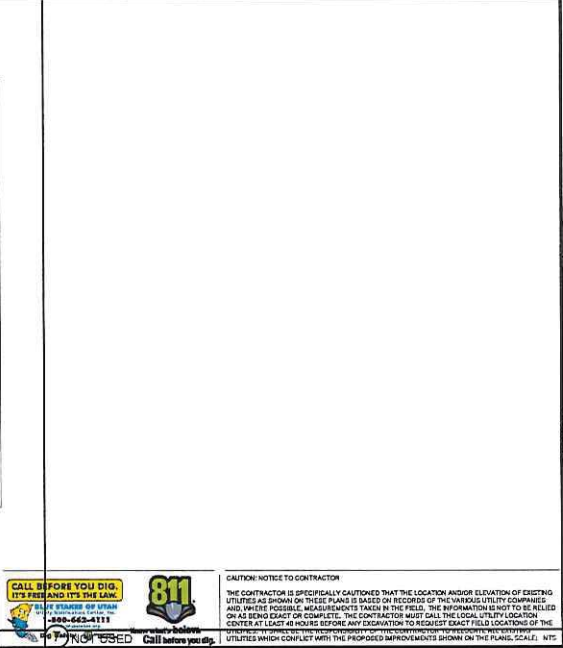
4 CONCRETE WASHOUT DETAIL SCALE: NTS



5 DROP INLET PROTECTION DETAIL SCALE: NTS



6 CURB INLET PROTECTION DETAIL SCALE: NTS



7 EROSION CONTROL DETAILS SCALE: NTS

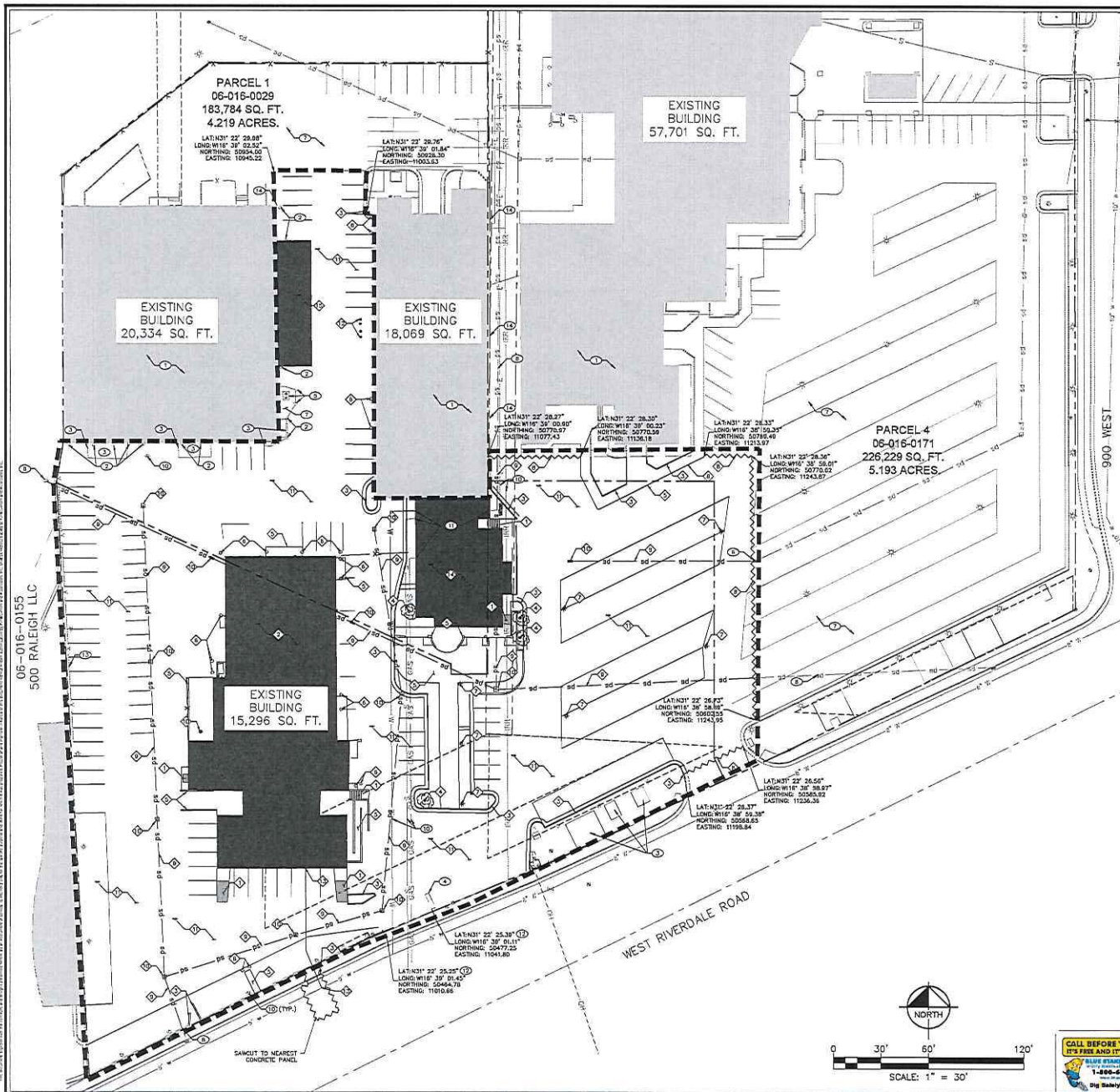
DATE: 03/24/2023
 CHECKED BY: J. B. BROWN
 DESIGNED BY: J. B. BROWN
 PROJECT NO.: 09324015
 SCALE: AS SHOWN
 SHEET: C120

Kimley»Horn
 111 East Broadway, Suite 100 Salt Lake City, UT 84111 TEL: 801.333.3378

EROSION CONTROL DETAILS
 KEN GARFF HONDA OF RIVERDALE -
 PHASE 2
 RIVERDALE, UTAH



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GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

DEMOLITION NOTES

- ◇ EXISTING STAIRS TO BE REMOVED.
- ◇ EXISTING BUILDING TO BE REMOVED.
- ◇ EXISTING SECTION OF CURB AND GUTTER TO BE REMOVED.
- ◇ EXISTING TREE TO BE REMOVED.
- ◇ EXISTING CONCRETE TO BE REMOVED.
- ◇ EXISTING BOLLARD TO BE REMOVED.
- ◇ EXISTING LIGHT POLE TO BE REMOVED.
- ◇ SAWCUT AND REMOVE EXISTING ASPHALT.
- ◇ EXISTING STORM DRAIN PIPE TO BE REMOVED.
- ◇ EXISTING STORM DRAIN CATCH BASIN TO BE REMOVED.
- ◇ EXISTING PAVEMENT TO BE REMOVED.
- ◇ EXISTING OIL/WATER SEPARATOR TO BE REMOVED AND RELOCATED OUTSIDE OF PROPOSED BUILDING AREA. SEE UTILITY PLAN FOR FURTHER INFORMATION.
- ◇ EXISTING WATER LINE TO BE LOCATED AND DISCONNECTED AT MAIN. ALL OTHER EXISTING UTILITY LINES CONNECTING TO THIS BUILDING SHALL BE STUDIED TO PROPERTY LINE. IF FIRE LINE IS LOCATED, GC MAY ROUTE TO NEW ADDITION IN LIEU OF DEMOLISHING TO THE MAIN AND INSTALLING NEW CONNECTION.
- ◇ EXISTING PORTION OF BUILDING TO BE REMOVED.
- ◇ EXISTING RAMP TO AUTO BODY SHOP TO BE REMOVED.

PRESERVATION NOTES

- ① EXISTING BUILDING TO REMAIN AND BE PROTECTED IN PLACE.
- ② EXISTING BOLLARD TO REMAIN AND BE PROTECTED IN PLACE.
- ③ EXISTING CONCRETE SLAB TO REMAIN AND BE PROTECTED IN PLACE.
- ④ EXISTING MONUMENT SIGN TO REMAIN AND BE PROTECTED IN PLACE.
- ⑤ EXISTING GREASE TRAP AND BOLLARDS TO REMAIN.
- ⑥ EXISTING STORM DRAIN INLET TO REMAIN AND BE PROTECTED IN PLACE.
- ⑦ EXISTING PAVEMENT TO REMAIN AND BE PROTECTED IN PLACE.
- ⑧ EXISTING STORM DRAIN TO REMAIN AND BE PROTECTED IN PLACE. FUTURE PROPOSED CONNECTION IN GRADING AND DRAINAGE PLAN.
- ⑨ EXISTING SHOW STALL TO REMAIN.
- ⑩ EXISTING UTILITY TO REMAIN.
- ⑪ REFER TO MEP PLANS FOR ROUTING OF UTILITY LINE FOR USE IN NEW ADDITION.
- ⑫ EXISTING CONCRETE SIDEWALK AND DRIVE ENTRANCE TO REMAIN IN PLACE.
- ⑬ EXISTING FENCE TO REMAIN.
- ⑭ EXISTING EXPOSED FOUNDATION TO REMAIN.

LEGEND

---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	SAWCUT LINE
---	ADJACENT PROPERTY LINE
---	EXISTING FENCE TO REMAIN
---	EXISTING EASEMENT TO REMAIN
---	EXISTING STORM DRAIN PIPE TO REMAIN
---	EXISTING WATER LINE TO REMAIN
---	EXISTING SANITARY SEWER LINE TO REMAIN
---	EXISTING GAS LINE TO REMAIN
---	EXISTING POWER LINE TO REMAIN
---	EXISTING POWER LINE TO REMAIN
---	EXISTING IRRIGATION LINE TO REMAIN
---	EXISTING LIGHT POLE TO REMAIN
---	EXISTING LIGHT POLE TO BE REMOVED

DEMOLITION PLAN

KEN GARFF HONDA OF RIVERDALE -
 PHASE 2
 RIVERDALE, UTAH

Kimley»Horn
 111 East Broadway, Suite 400 Salt Lake City, UT 84103-2378

DATE: 11/02/2013
 DESIGNED BY: BMO
 CHECKED BY: CFB
 PROJECT NO.: 06-016-0155
 SCALE: AS SHOWN



PREPARED UNDER THE SUPERVISION OF CHRISTOPHER REEDER, P.E., STATE REGISTRATION NO. 7146023 AND IN FULL COMPLIANCE WITH THE UTAH PROFESSIONAL ENGINEERING ACT AND RULES OF THE BOARD OF PROFESSIONAL ENGINEERS, STATE OF UTAH.

SHEET
C2.00

CALL BEFORE YOU DIG.
 IT'S FREE AND IT'S THE LAW.
 1-800-463-1111
 Dig Safety



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06-016-0135
500 RALEIGH LLC

06-016-0029
183,784 SQ. FT.
4.219 ACRES.

EXISTING BUILDING
20,334 SQ. FT.

EXISTING BUILDING
57,701 SQ. FT.

PARCEL 1
06-016-0029
183,784 SQ. FT.
4.219 ACRES.

PARCEL 4
06-016-0171
226,229 SQ. FT.
5.193 ACRES.

PROPOSED BUILDING
ADDITION
TOTAL SQ. FT.
44,528

WEST RIVERDALE ROAD

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DISSECTION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DISSECTION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL RADI 3' UNLESS OTHERWISE NOTED ON PLAN.
- CONTRACTOR SHALL ENSURE A SMOOTH TIE-IN TO EXISTING PAVEMENT AND SURFACE.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.

CONSTRUCTION NOTES

- LANDSCAPE AREA (TYP), REFER TO LANDSCAPE PLANS FOR DETAILS.
- PROPOSED BUILDING ADDITION.
- LIGHT POLE, REFER TO LIGHTING PLANS FOR DETAILS.
- CONSTRUCT ASPHALT PAVEMENT PER DETAIL ON SHEET 08.01.
- CONSTRUCT AND REPLACE CONCRETE SIDEWALK PER UDOT STANDARDS AND SPECIFICATIONS. MATCH EXISTING SIDEWALK PAVEMENT SECTION.
- CONSTRUCT SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER DETAIL ON SHEET 08.00.
- CONSTRUCT 6" TYPE A VERTICAL CURB AND GUTTER, PER DETAIL ON SHEET 08.00.
- CONSTRUCT CONCRETE SIDEWALK, PER DETAIL ON SHEET 08.00.
- PAINT 4" WIDE WHITE PARKING STRIPES.
- ADA PARKING STALL.
- FURNISH 4" YELLOW PAINTED STRIPES AT 45° AT 2' O.C. PER DETAIL ON SHEET 08.00.
- FURNISH AND INSTALL ADA SIGN AND POST, PER DETAIL ON SHEET 08.00.
- CONSTRUCT DETECTABLE WARNING STRIP.
- CONSTRUCT DECORATIVE PARKING CONCRETE PAVEMENT PER PAVEMENT SECTION ON SHEET 08.00 AND LANDSCAPE PLANS.
- PROPOSED CONCRETE WHEEL STOP, REFER TO DETAIL ON SHEET 08.00.
- CONSTRUCT DECORATIVE PORTLAND CEMENT CONCRETE, REFER TO PAVEMENT DETAILS ON SHEET 08.00 AND LANDSCAPE PLANS.
- PROPOSED EX CHASING, REFER TO ELECTRICAL PLANS FOR EXACT LOCATION, CONDUIT ROUTING AND DETAILS.
- FURNISH AND INSTALL VAN ACCESSIBLE ADA SIGN AND POST, PER DETAIL ON SHEET 08.00.
- CONSTRUCT AND REPLACE RIVERDALE ROAD CONCRETE PANEL, PER UDOT PAVEMENT SECTION AND DETAILS ON SHEETS 08.40 AND 08.50. USE 11" OF RAIN STRENGTH CONCRETE (RSC) PER UDOT SPECIFICATION 0305A RAMP STRENGTH CONCRETE (RSC) AND OTHER RELATED SECTIONS OVER 3" THICK OF UDOT-APPROVED HOT MIX ASPHALT (HMA) TYPE-GRADE 8A-3A ASPHALT (HMA) 1.75" MINIMUM MAX. 1.75-11.5 INCHES PER UDOT SPECIFICATION 02741; OVER 1" UNPREPARED BASE COURSE (UBC) PER UDOT SPECIFICATION 0272; OR MATCH EXISTING (WHICHEVER IS GREATER). PROVIDE DOCUMENTATION OF COMPACTION FROM A UDOT-QUALIFIED LABORATORY.
- CONSTRUCT AND REPLACE CONCRETE CURB AND GUTTER PER UDOT DETAIL ON SHEET 08.00.
- CONSTRUCT TYPE H ROLLED CURB AND GUTTER, PER DETAIL ON SHEET 08.00.
- CONSTRUCT TYPE P VERTICAL CURB, 1' EXPOSURE, PER DETAIL ON SHEET 08.00.
- CONSTRUCT CURB AND GUTTER TRANSITION PER CITY OF RIVERDALE AND APWA STANDARDS AND SPECIFICATIONS.
- CONSTRUCT HANDRAILS (BOTH SIDES), RAMP, AND LANDING PER DETAIL ON SHEET 08.00.
- CONSTRUCT CURB CUT PER DETAIL ON SHEET 08.00.

SITE INFORMATION

TOTAL SITE AREA	183,883 SF (4.22 AC)
TOTAL DISTURBED AREA	145,273 (3.43 AC)
EXISTING BUILDING AREA	55,402 SF
PROPOSED BUILDING AREA	62,389 SF
EXISTING IMPERVIOUS AREA	178,916 SF
PROPOSED IMPERVIOUS AREA	150,793 SF
PROPOSED PERVIOUS AREA	27,880 SF
PARKING PROVIDED	223
ADA ACCESSIBLE PARKING	4 STALLS
VAN ACCESSIBLE PARKING	1 STALL

LEGEND

PROPERTY LINE	RIGHT-OF-WAY LINE	ADJACENT PROPERTY LINE	EASEMENT
PROPOSED DECORATIVE HARDSCAPE	PROPOSED HEAVY DUTY ASPHALT PAVEMENT	PROPOSED LANDSCAPE, REFER TO LANDSCAPE PLANS FOR DETAILS	PROPOSED STAMPED CONCRETE DECORATIVE PARKING
W. RIVERDALE ROAD CONCRETE PAVEMENT PANEL	CATCH CURB AND GUTTER	SPILL CURB AND GUTTER	



0 30' 60' 120'
SCALE: 1" = 30'



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SITE PLAN

KEN GARFF HONDA OF RIVERDALE -
PHASE 2
RIVERDALE, UTAH

Kimley»Horn

111 East Broadway, Suite 100 | Salt Lake City, UT 84111 | TEL: 313.033.0318

DATE: 7/16/2023

DESIGNED BY: KJR

CHECKED BY: BGD

PROJECT NO.: 09320015

SCALE: AS SHOWN

PREPARED UNDER THE SUPERVISION OF CHRISTOPHER HENRY, P.E., A PROFESSIONAL ENGINEER IN THE STATE OF UTAH.

DATE: 7/16/2023

PROJECT NO.: 09320015

SCALE: AS SHOWN

DATE: 7/16/2023

PROJECT NO.: 09320015

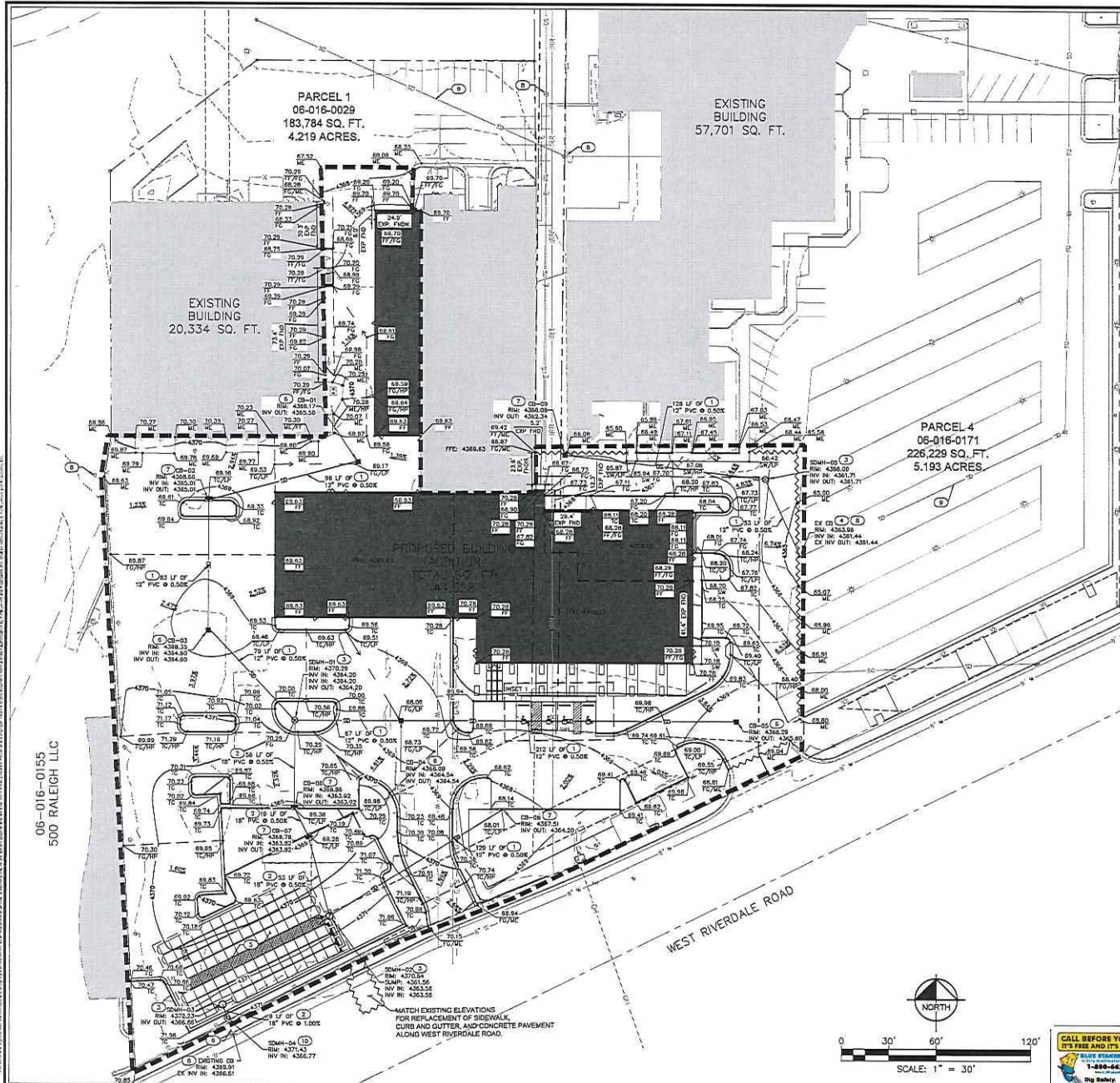
SCALE: AS SHOWN

DATE: 7/16/2023

PROJECT NO.: 09320015

SHEET

C3.00

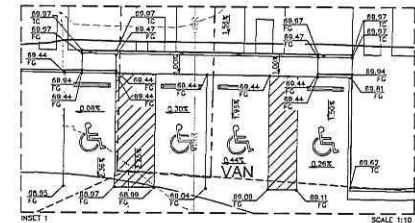


GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING GRADES SHOWN ON THE PLAN.
- CONTRACTOR TO ENSURE PROPER DRAINAGE, IF A CONFLICT EXISTS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
- ENGINEER: BRYAN M. ROBERTS, P.E.
ADDRESS: 2748 S. REDWOOD ROAD, WEST VALLEY CITY, UT 84119
PHONE: (801) 280-0384
DATE: JUNE 16, 2023
PROJECT NO.: GEOTECH PROJECT No. 20150
- ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREIN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

STORM DRAIN NOTES

- FURNISH AND INSTALL 12" PVC STORM DRAIN LINE PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- FURNISH AND INSTALL 18" PVC STORM DRAIN LINE PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- FURNISH AND INSTALL STORM MANHOLE PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS SEEN ON SHEET 06-10.
- CONNECT TO EXISTING STORM DRAIN PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- FURNISH AND INSTALL ADEQUATE DETENTION SYSTEM OR APPROVED EQUIVALENT. SEE SHEET 06-10 AND 06-10 FOR DETAILS.
- FURNISH AND INSTALL STORM CATCH BASIN AND GRATE PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS SEEN ON SHEET 06-10.
- FURNISH AND INSTALL STORM CURB INLET AND GRATE PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- EXISTING STORM CATCH BASIN TO REMAIN.
- EXISTING STORM DRAIN PIPE TO REMAIN.
- FURNISH AND INSTALL BARRELOID HYDRODYNAMIC SEPARATOR OR APPROVED EQUIVALENT. SEE SHEET 06-10 FOR DETAILS.



LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
---	GRADE BREAK
---	LOW POINT FLOW LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	SANITARY LINE
---	UNITS OF DISTURBANCE
---	PROPOSED STORM LINE

ABBREVIATIONS

72.88	FINISHED GRADE SPOT ELEVATION
72.88	FINISHED FLOOR SPOT ELEVATION
72.88	TOP OF CURB SPOT ELEVATION
72.88	HIGH POINT SPOT ELEVATION
72.88	LOW POINT SPOT ELEVATION
72.88	WATCH POINT SPOT ELEVATION
72.88	SEWAGE SPOT ELEVATION
EXP. FND	EXPOSED FOUNDATION

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GRADING AND DRAINAGE PLAN

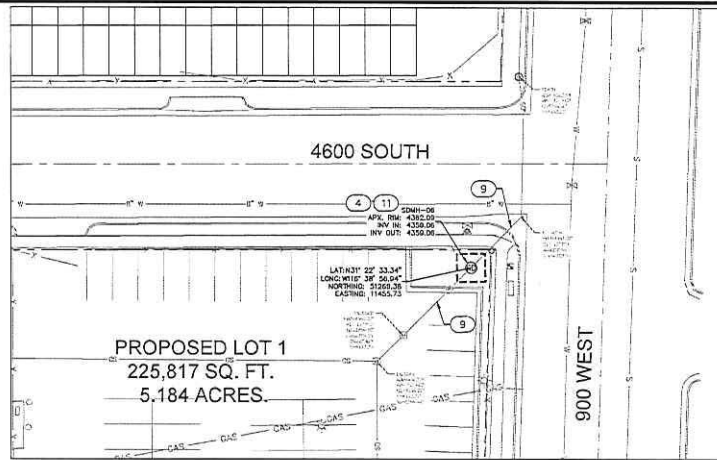
KEN GARRETT HONDA OF RIVERDALE - PHASE 2
RIVERDALE, UTAH

DESIGNED BY	J.M. ROBERTS
CREATED BY	J.M. ROBERTS
CHECKED BY	C.T. ROBERTS
DATE	06/16/2023
SCALE	AS SHOWN



PROJECT NO. 06-016-0155
SHEET C4.00

Kimley»Horn
11111 E. 12000 S. SUITE 100, WEST VALLEY CITY, UT 84119

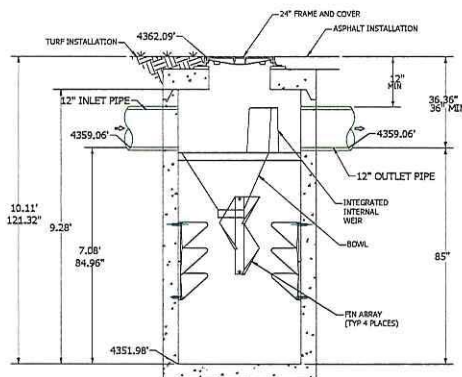


PLAN VIEW
SCALE 1"=30'

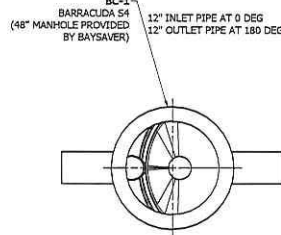
PRODUCT SPECIFICATIONS

THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW, IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.
THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 90% OF THE SUSPENDED SOLIDS ON AN ANNUAL AVERAGE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL-SCALE THIRD PARTY TESTING USING PC-110 MEDIA GRADATION OR EQUIVALENT AND 200 mg/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL SOLIDS COLLECTED BY THE STORMWATER TREATMENT UNIT.
OR
THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH #50-TS MEDIUM AND 200 mg/L INFLUENT CONCENTRATION.
OR
THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER CURRENT ADEQUACY HHS PROTOCOL.

BARRACUDA S4	
UNIT ID	S4
PEAK FLOW RATE CFS	2.5
TREATMENT FLOW RATE CFS	1.25
*TREATMENT FLOW RATE PER C4-110	



SECTION VIEW A-A
SCALE: N.T.S.



SITE SPECIFIC PLAN VIEW
SCALE 1:27

CDS TREATMENT SYSTEM DETAIL
NOT TO SCALE

KEN GARFF HONDA RIVERDALE UT	
DATE:	DRAWN:
PROJECT #:	CHECKED:
SCALE: AS NOTED	
SHEET: 1 OF 1	

GENERAL NOTES

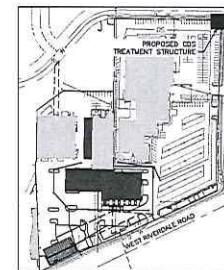
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SEASONAL ENGINEERING REPORT.
- ENGINEER: BRYAN M. ROBERTS, P.E.
ADDRESS: 2708 S REDWOOD ROAD, WEST VALLEY CITY, UT 84118
PHONE: (801) 580-0384
DATE: JUNE 15, 2023
PROJECT No: 202303H PROJECT No. 20150
- ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE. ONLY IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREIN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

STORM DRAIN NOTES

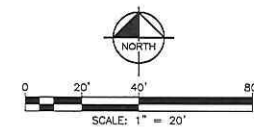
- CONNECT TO EXISTING STORM DRAIN PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- EXISTING STORM DRAIN PIPE TO REMAIN.
- FURNISH AND INSTALL BARRACUDA HYDRODYNAMIC SEPARATOR S4 OR APPROVED EQUIVALENT. SEE THIS SHEET FOR DETAIL.

LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
---	SEWER LINE
---	UNITS OF DISTURBANCE
---	PROPOSED STORM LINE



VICINITY MAP
SCALE: 1"=300'



SCALE: 1" = 20'



CAUTION: NOTICE TO CONTRACTOR

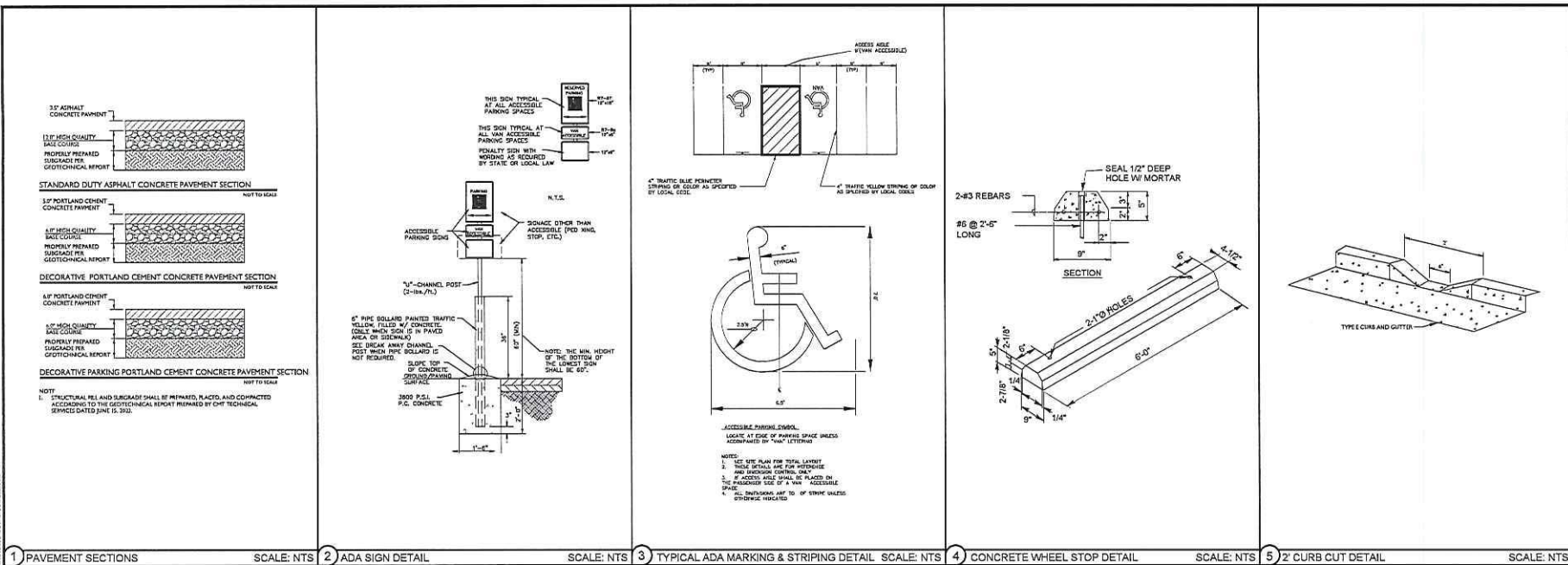
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

EAST DRAINAGE TREATMENT PLAN	
KEN GARFF HONDA OF RIVERDALE - PHASE 2	
RIVERDALE, UTAH	
DRAWN BY:	DATE:
DESIGNED BY:	DATE:
CHECKED BY:	DATE:
PROJECT NO:	SCALE:
AS SHOWN	
SHEET C4.10	

Kimley»Horn

111 South Main Street, Suite 101 Salt Lake City, Utah 84111 Tel: 801.225.1231

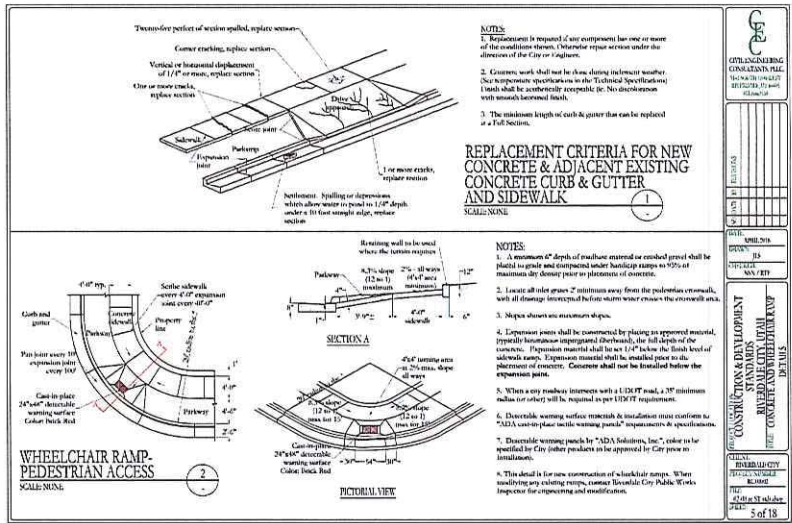
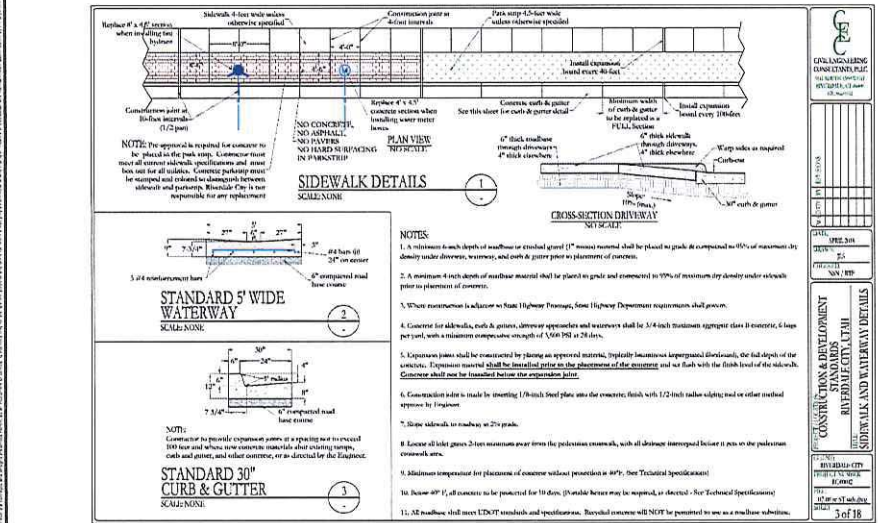
Ken Garff Honda of Riverdale - Phase 2
RIVERDALE, UTAH
111 East Broadway, Suite 100 | P.O. Box 100 | UT 84051 | Tel. 435.232.5178



DATE	DESCRIPTION
05/10/2023	REVISED
05/10/2023	REVISED
05/10/2023	REVISED

DESIGNED BY	REVISED BY
CHECKED BY	DATE
PROJECT NO.	SCALE
AS SHOWN	

Kimley»Horn



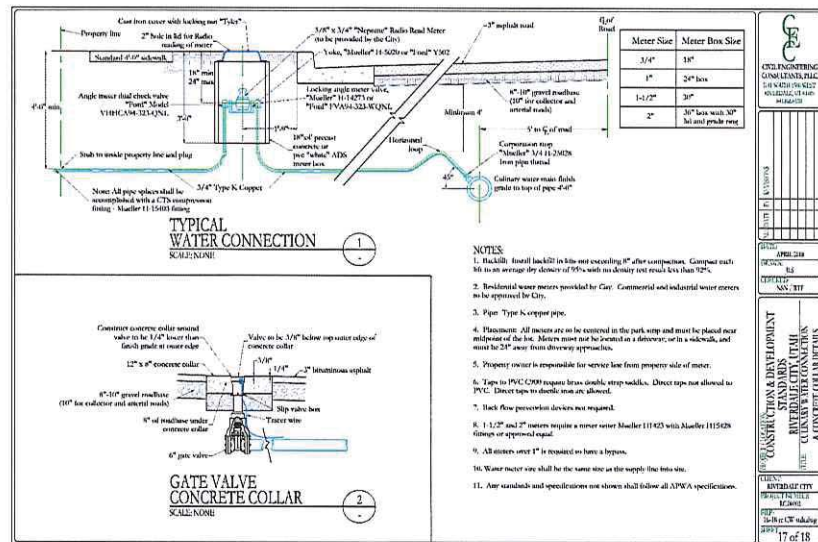
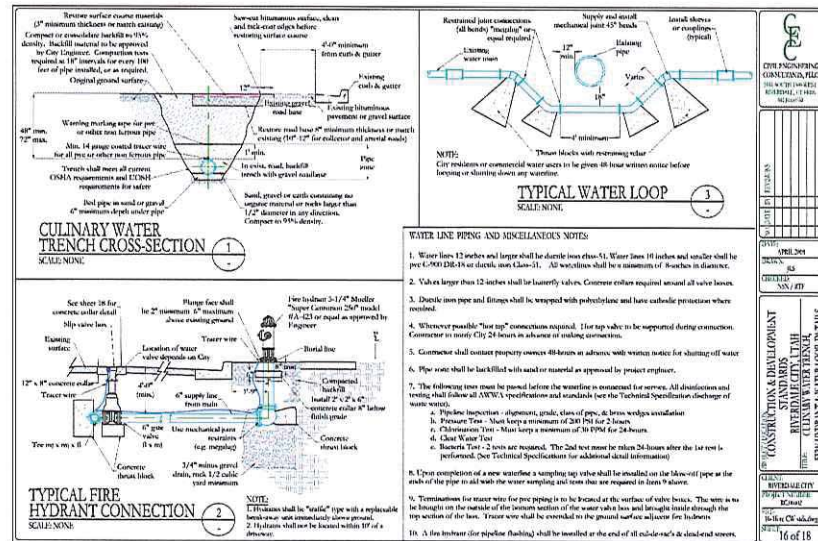
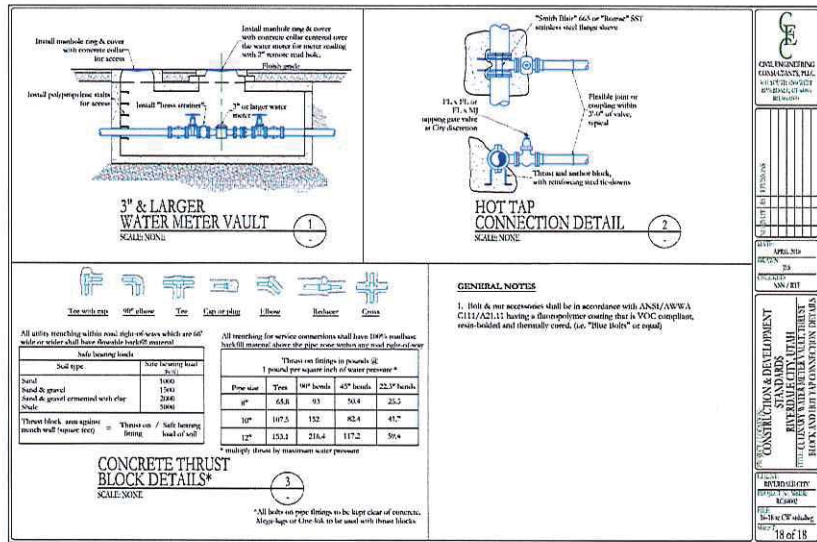
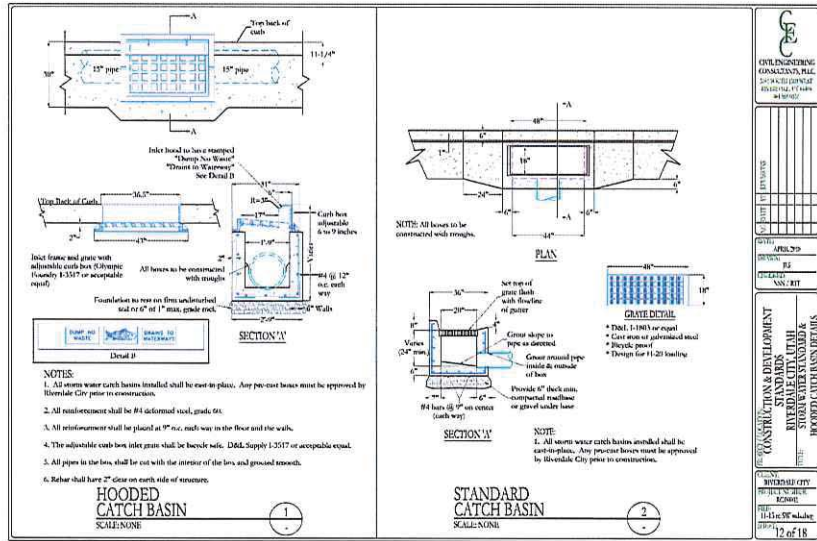
CONSTRUCTION DETAILS	KEN GARFF HONDA OF RIVERDALE - PHASE 2
RIVERDALE, UTAH	

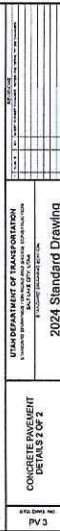
DRAWN BY	DESIGNED BY	CHECKED BY	DATE
REVISED BY	REVISED BY	REVISED BY	REVISED BY
PROJECT NO.	SCALE	AS SHOWN	

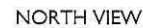
STATE OF UTAH	COUNTY OF UTAH
CITY OF RIVERDALE	
APPROVED FOR THE CITY	
APPROVED FOR THE COUNTY	
APPROVED FOR THE STATE	

5 of 18

C6.00







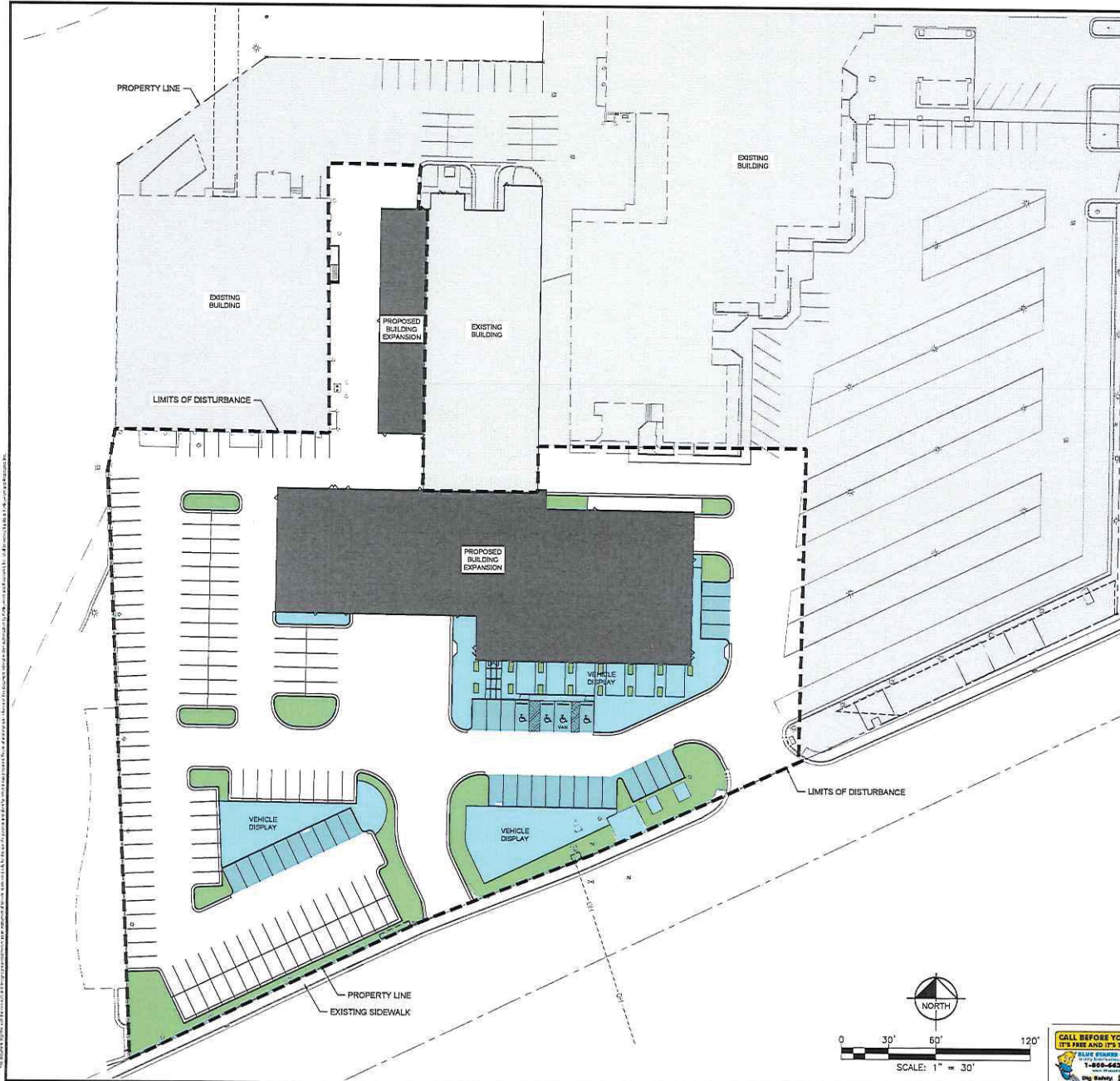
SCALE: NTS

NOT USED

SHEET
C6.60

Kimley»»Horn
111 East Broadway, Suite 600 | Salt Lake City, UT 84111 | Tel. No. (801) 212-3178

DATE	DESCRIPTION
06/19/2023	30% REVIEW
07/05/2023	60% REVIEW



LANDSCAPE SITE CALCULATIONS

SITE AREA	410,033 SF (9.41 AC)
REFURBISHED / DISTURBED SITE AREA	138,895 SF (3.18 AC)

LANDSCAPE REQUIREMENTS

10-14-12: NONRESIDENTIAL AND RESIDENTIAL DEVELOPMENT

REFURBISHED EXISTING DEVELOPMENTS (10-14-12.1)	REQUIRED	PROVIDED
LANDSCAPE AREA REQUIRED (20% REFURBISHED AREA)	27,770 SF	27,890 SF (20%)
LANDSCAPE PLANTING	10,050 SF	
LANDSCAPE DECORATIVE PAVING	17,840 SF	

MAXIMUM TURF PLANTING ALLOWED (15%) 4,481 SF (MAX) < 15% (TSD)

*Landscape Area defined as: "Landscape and other drought tolerant landscape features including, but not limited to: water features, benches, planters, decorative walls, decorative ornaments, stamped concrete, small decorative rocks as well as boulders, mulch, and decorative curbing."

CONCEPT GRAPHICS SCHEDULE

LANDSCAPE AREA - PLANTING	Takeoff: 10,050 sf
LANDSCAPE AREA - DECORATIVE HARDSCAPE	Takeoff: 11,684 sf
LANDSCAPE AREA - DECORATIVE PARKING	Takeoff: 0.150 sf

CONCEPT PLANT SCHEDULE

SHRUB PLANTING
Barberry (Thunbergii) / Concordia / Concordia Japanese Barberry
Forsythia glauca / Elgin Blue / Elgin Blue Ficus
Hesperis matronalis / Red Yucca
Macaranga pinnatifida / Eubolia Green
Portulaca oleraceae / Port 12 / Portulaca Subsp. Sand Cherry
Rhus aromatica 'Crispa' / Low-Low Fragrant Sumac
TURFGRASS
ROCK MULCH
3" DEPTH, WITH WEED FILTER FABRIC

LANDSCAPE MAINTENANCE REQUIREMENTS

- General Maintenance: All landscaped areas, whether required or otherwise, shall be kept and maintained in accordance with all of the following standards:
1. Landscaped areas shall be kept free of litter and debris.
 2. Landscaped areas shall be watered on a regular basis.
 3. Trees and shrubs shall be pruned so as to avoid damage to other improvements, structures or utility lines. Dead branches or dead trees, shrubs or other plant materials are removed from the property. Lawns are mowed on a regular basis according to the growth habit of the type of turf grass used.
 4. All plant materials shall be adequately watered to maintain a healthy condition as by the typical color of the plant under normal growing conditions; provided that when water use restrictions are imposed by the city or applicable secondary water provider during times of drought, no irrigation shall occur as long as the owner or occupant is watering within such restrictions.
 5. Required trees, shrubs or other plant materials that have died and been removed shall be replaced.

CONCEPT LANDSCAPE PLAN

KEN GARFF HONDA OF RIVERDALE -
 PHASE 2
 RIVERDALE, UTAH

DATE: 7/20/2023	DESIGNED BY: CHR	CHECKED BY: CHR	PROJECT NO: 000324015
SCALE: AS SHOWN			

NOT
 APPROVED
 FOR
 CONSTRUCTION

SHEET
 L1.10



CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE UTILITY COMPANIES AND MAY BE INCOMPLETE OR INACCURATE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATOR AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.