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**5:30 p.m. – Work Session**

*No motions or decisions will be considered during this session, which is open to the public.*

**6:00 p.m. – Council Meeting (*Council Chambers*)**

**A. Welcome & Roll Call**

**B. Pledge of Allegiance – Karina Merrill, Councilmember**

**C. Invocation – TBA, by invitation**

**D. Public Comment**

*(This is an opportunity to address the City Council regarding your concerns or ideas. No action will be taken during public comment. Please try to limit your comments to three minutes.)*

**E. Presentations and Reports**

1. Mayor's Report
2. City Council Assignment Reports
3. Presentation – Utah Municipal Clerks Association (UMCA)

**F. Consent Items**

1. Consideration to approve meeting minutes from:

- July 18, 2023 Council Work Session
- July 18, 2023 Council Meeting

**G. Action Items**

1. a) Consideration of Ordinance #968 approving a Final Subdivision request for Riverside Flats Subdivision, located at approximately 671 West and 633 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

b) Consideration of Final Site Plan request for Riverside Flats Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

*Presenter: Mike Eggett, Community Development*

2. Consideration to adjourn into a closed session pursuant to UCA 52-4-205 (c), to discuss pending or reasonably imminent litigation.

*Presenter: Steve Brooks*

**H. Comments**

1. City Council
2. City Staff
3. Mayor

**I. Adjournment**

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In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

**Certificate of Posting**

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Riverdale City limits on this 28<sup>th</sup> day of July, 2023 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at <http://www.riverdalecity.com/> 3) the Public Notice Website: <http://www.utah.gov/pmn/index.html>.

Michelle Marigoni  
Riverdale City Recorder

\*\*The City Council meeting on August 1, 2023 is viewable electronically and may be accessed by clicking on the link below. The regular City Council Chambers will be available for in-person participation. The Agenda for the meeting is also attached above. \*\*

[https://www.youtube.com/channel/UCegcYe-pIXSRZGd5llencvA/videos?view\\_as=subscriber](https://www.youtube.com/channel/UCegcYe-pIXSRZGd5llencvA/videos?view_as=subscriber)

Minutes of the **Work Session** of the **Riverdale City Council** held Tuesday July 18, 2023, at 5:30 p.m., at the Civic Center in the Council Chambers, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

**Present:**

City Council:

Braden Mitchell, Mayor  
Alan Arnold, Councilmember  
Bart Stevens, Councilmember  
Steve Hilton, Councilmember  
Anne Hansen, Councilmember (via telephone)  
Karina Merrill, Councilmember

City Employees:

Steve Brooks, City Administrator/Attorney  
Cody Cardon, Business Administrator  
Mike Eggett, Community Development Director  
Scott Brenkman, Police Chief  
Shawn Douglas, Public Works Director  
Jared Sholly, Fire Chief  
Michelle Marigoni, City Recorder

Visitors:

The City Council Work Session meeting began at 5:30 p.m. Mayor Mitchell welcomed all in attendance and noted for the record that all Councilmembers were present. Members of the city staff were also present.

**Public Comment:**

**Presentations and Reports:**

**Mayor's Report**

**City Administration Reports**

- a. Department Reports June
- b. July Anniversaries Employee Recognition
- c. Staffing Authorization Plans
- d. Community Development Report

**Consent Items**

1. **Consideration to approve meeting minutes from:**  
July 5, 2023 Council Work Session  
July 5, 2023 Council Meeting

Mayor Mitchell asked if there were any changes or corrections to the minutes. There were none.

**Action Items**

1. **Consideration of Resolution #2023-26 amending the 2023-2024 Consolidated Fee Schedule**

Mr. Brooks explained the changes are to raise the fees for fire inspections. There are many businesses out of compliance after the initial annual inspection, so additional fees will be incurred for

2. **Discussion and action concerning water tap issue with Shake Shack/Cutrubus.**

Mr. Brooks said that when buildings are demolished, the old water lines need to be blocked off. The Shake Shack development has an extra water line that Kord Cutrubus would like to use. The ordinance 8-1-9 has been consistently enforced, but Mr. Cutrubus would like to present some information.

Mr. Arnold asked that information be provided prior to the meeting when an agenda item is added. A copy of the ordinance and a letter from Mr. Cutrubus were given to council members.

3. **Consideration to adjourn into a closed session pursuant to UCA 52-4-205(c) to discuss pending or reasonably imminent litigation.**

**Comments**

1. City Council:
2. City Staff:
3. Mayor:

**Adjournment**

Having no further business to discuss, the Work Session was adjourned at 5:45 p.m.

**Date Approved:**

DRAFT



Minutes of the Regular Meeting of the Riverdale City Council held Tuesday, July 18, 2023, at 6:00 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

**Present:**

City Council:	Braden Mitchell, Mayor Alan Arnold, Councilmember Bart Stevens, Councilmember Steve Hilton, Councilmember Anne Hansen, Councilmember Karina Merrill, Councilmember
City Employees:	Steve Brooks, City Administrator/Attorney Cody Cardon, Business Administrator Mike Eggett, Community Development Director Scott Brenkman, Police Chief Shawn Douglas, Public Works Director Jared Sholly, Fire Chief Michelle Marigoni, City Recorder
Visitors:	Kord Cutrubus Anthony Olds Lynn Wright & family

**A. Welcome & Roll Call**

The City Council meeting began at 6:00 p.m. Mayor Mitchell called the meeting to order and welcomed all in attendance, including all Council Members and all members of the public.

**B. Pledge of Allegiance**

Mayor Mitchell invited Alan Arnold to lead the Pledge of Allegiance.

**C. Invocation**

Mayor Mitchell offered the invocation.

**D. Public Comment**

Mayor Mitchell invited any member of the public with questions or concerns to address the Council and asked that they keep their comments to approximately three minutes, noting no action will be taken during public comment.

Anthony Olds, Riverdale resident and instructor for concealed firearm permits, said he found four city ordinances that are currently outdated. 3-6-4 prohibits firearms at a swap meet, 4-7-5, prohibits possession of a firearm while camping for a special event, 5-2-3b concealed fire permit for Riverdale only, 7-7-4 prohibits using a firearm in a park. He stated these ordinances go against state statutes.

**E. Presentations and Reports**

**1. Mayor's Report**

UDOT is giving the rail trail to Weber County after an \$18M purchase. Weber County wants to give part of it to Riverdale to maintain, but it is not actually located in Riverdale.

The moderate-income housing report has been submitted for review.

**2. City Administration Report**

- a. Department Reports June
- b. July Anniversaries Employee Recognition
- c. Staffing Authorization Plans
- d. Community Development Report

Mr. Brooks thanked Rich Taylor for his work on Old Glory Days and recognized Michelle Marigoni for attaining the CMC designation.

Lynn Wright was recognized by Chief Brenkman for his 20 years of service. He spoke about his great service to the city, where he worked on the SWAT team and Strike Force, as well as the detective unit. He is currently training new hires. He has worked his entire career in Riverdale. Mayor Mitchell presented him with a certificate and thanked him as well. Cheddar's and Fiiz both opened and had grand opening celebrations. Shake Shack is moving forward.

Mayor Mitchell asked about Cozy Dale Drive. Mr. Douglas explained that there were some utility issues America First had run into, so they were not sure how long it would take to reopen. Mr. Douglas said he would get an update from them.

Mr. Brooks reported on the Lesley's park cleanup effort.

**F. Consent Items**

**1. Consideration to approve the City Council meeting minutes from July 5, 2023 Work Session and Regular Meeting.**

Mayor Mitchell invited any corrections or comments regarding the above referenced meeting minutes.

**MOTION:** Councilmember Arnold moved to approve the meeting minutes. Councilmember Merrill seconded the motion. There was not any discussion regarding this motion. The motion passed unanimously in favor.

**G. Action Items**

**1. Consideration of Resolution #2023-26 amending the 2023-2024 Consolidated Fee Schedule**

Mr. Brooks explained the fees for fire inspections need to be increased to motivate businesses to be in compliance.

**MOTION:** Councilor Arnold moved to approve Resolution #2023-26 amending the 2023-2024 Consolidated Fee Schedule.

**SECOND:** Councilor Hilton

<b>ROLL CALL VOTE:</b>	Councilor Hilton	Yes
	Councilor Hansen:	Yes
	Councilor Arnold:	Yes
	Councilor Merrill:	Yes
	Councilor Stevens:	Yes

**2. Discussion and action concerning water tap issue with Shake Shack/Cutrubus.**

Discussion:

Mr. Douglas explained the extra water line has not been capped on this property as required by ordinance. If the service is left, then Riverdale employees are left dealing with it in a situation where a leak happens. If it is done now, it will not affect other businesses, but in the future that would be a concern. Carey's Cycle building will be disconnected, as well as the old John Paras building. The extra service at the shake shack site is in Riverdale Road.

Councilor Hansen asked if the ordinance stated it should be done at the time of demolition, and how long the developer has had to get this completed. Mr. Douglas said the ordinance was in place before demolition. Ms. Hansen stated that this was a common practice in public works.

Mr. Arnold thought this had been settled already, Mr. Douglas explained that was a separate issue that had to do with bringing water rights for the development.

Kord Cutrubus said they were told they couldn't have two water meters on one property. He said there are other properties that have multiple meters. The ordinance reads that if the building was abandoned, it must be capped. The line was left for Shake Shack because they didn't know how much water they would need. Another water line was put in by DRH. Shake Shack wanted to use the other line for irrigation.

The site was not abandoned, it was demolished, and the water bill has been paid by H&P. The ordinance should not come into play unless the water line is abandoned.

Councilor Arnold asked why the ordinance was being used for this purpose, as it refers to abandoned lines and not demolition.

Mr. Douglas noted the monthly water bill would be far less than the cost of capping the water line. Mr. Cutrubs said UDOT would rather dig it up when other work was scheduled on Riverdale Road.

Ms. Hansen asked if the other businesses south of the restaurant had capped their services. Mr. Douglas answered that they did not have existing lines before.

Mr. Arnold had trouble with the abandoned language and asked if it could be kept how it is now until UDOT has construction there. He felt they should not be required to cap a line that they own. It should be disconnected when the road is already dug up. He asked where the definition of abandonment was in writing.

Ms. Hansen said even if they had used the service as a 1", they would have had to abandon the ¾ line to increase the size of the line. If it had been done at demolition, it would have been abandoned, but it wasn't done at that time.

Mr. Cutrubs said they wouldn't have had to abandon it if they let them use the one that is there. He has not seen an ordinance stating a line must be capped if a building is demolished. They left the line there because it could still be used and the road would not have to be dug up, saving money for traffic control, etc. It could be capped later when the road is torn up, but there is no sense in doing it twice.

Mayor Mitchell asked if any of H&P's businesses still have a ¾ inch line and said he doesn't believe that Mr. Cutrubs thought a ¾ inch line would be sufficient.

Mr. Arnold said the key word is abandoned. He didn't see that the ordinance applied, though another might.

Councilor Stevens agreed with Councilor Hansen that it should have been completed at demolition. Mr. Cutrubs reiterated there was no ordinance, which Mr. Stevens

Ms. Hansen said there has been no confusion and it is standard practice in the water industry.

**MOTION:** Councilor Hansen moved to deny the request and have the ordinance followed and the line abandoned.

**SECOND:** Councilor Stevens

Mr. Arnold suggested this could line the city up for a lawsuit for taking liberties as to the wording, as the word abandoned is not defined.

Ms. Merrill felt that she was ill prepared for this as the documents were only given to council right before the meeting. She would like more time to research other ordinances, as this would put them on the spot.

**ROLL CALL VOTE:**

Councilor Stevens:	Yes
Councilor Arnold:	No
Councilor Merrill:	No
Councilor Hansen:	Yes
Councilor Hilton:	Yes

Motion passes 3 to 2 and the request to use the water line is denied.

Councilor Stevens made a motion to move the closed session after the RDA meeting. Councilor Hilton seconded the motion. Meeting adjourned to RDA Board meeting at 6:55 pm.

At the conclusion of the RDA meeting, Council returned to item no. 3 at 8:12 pm.

**3. Consideration to adjourn into a closed session pursuant to UCA 52-4-205(c) to discuss pending or reasonably imminent litigation.**

**MOTION:** Councilor Arnold moved to adjourn to a closed session.  
**SECOND:** Councilor Merrill

**ROLL CALL VOTE:**

Councilor Hilton:	Yes
Councilor Stevens:	Yes

## Council Regular Meeting, July 18, 2023

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Councilor Hansen:	Yes
Councilor Arnold:	Yes
Councilor Merrill:	Yes

Closed session began at 8:13 pm.

<b>MOTION:</b>	Councilor Hilton moved to adjourn the closed session and reopen the meeting.
<b>SECOND:</b>	Councilor Merrill

<b>ROLL CALL VOTE:</b>	Councilor Hilton:	Yes
	Councilor Stevens:	Yes
	Councilor Hansen:	Yes
	Councilor Arnold:	Yes
	Councilor Merrill:	Yes

Council meeting reopened at 8:38 pm

### H. Comments

### I. Adjournment

<b>MOTION:</b>	Having no further business to discuss, Councilmember Merrill moved to adjourn. The motion was seconded by Councilmember Arnold all voted in favor. The meeting was adjourned at 8:38
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Date Approved:

**RIVERDALE CITY  
CITY COUNCIL AGENDA  
August 1, 2023**

**AGENDA ITEM: G1a**

**SUBJECT:** Consideration of Final Subdivision request for Riverside Flats Subdivision, located at approximately 671 West and 633 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

**PRESENTER:** Mike Eggett, Community Development Director

**INFORMATION:**

- a. [Executive Summary](#)
- b. [Ordinance #968](#)
- c. [Riverdale Apts Final Sub Plan CC Review - 20230801](#)
- d. [Dept Staff Reports – CC Riv Flats Apts Final Sub-Site Plan 20230727](#)
- e. [Riv Apts – City Eng Review #3 – 20230727 \(approve\)](#)
- f. [Planning Commission minutes from May 23, 2023](#)
- g. [Riv Apts Subdiv App Updated 20230127](#)
- h. [Riv Flats Subplat DWG-PLAT 7-11-2023](#)

**[BACK TO AGENDA](#)**



## City Council Executive Summary

For the Council meeting on: 8-1-2023

Petitioner: Wright Development Group  
Represented by Logan Johnson

### Summary of Proposed Action

Wright Development Group, as represented by Logan Johnson, have applied for a Final Subdivision Plat and Final Site Plan review and approval for the Riverside Flats Subdivision proposal and the Riverside Flats Apartments Site Plan as located at approximately 671 West 4400 South and 633 West 4400 South in a Multiple-Family Residential R-4 zone. The proposed subdivision and site plan is before the City Council for final recommendation consideration of the submitted plan and plat. A public hearing is not required for review of this proposed subdivision. The Subdivision request is its own land use request for consideration. The Site Plan request is also its own land use request for consideration, and each of these action items are hereby separated as such on the agenda for consideration.

The requested use for 152 multi-family residential units exceeds the minimum requirement of 25 or more units (per City Code 10-9E-3) and requires a conditional use approval for the 152 multi-family residential units proposed for this project. Therefore, the applicant group was required to receive approval of a conditional use permit for this project proposal. On May 23, 2023, following discussion regarding the conditional use permit request, the Planning Commission approved the conditional use permit to allow for the development of 152 proposed multi-family residential units as a component of this site plan proposal. A public hearing is not required to approve the conditional use permit.

Further, on June 7, 2023, the Design Review Committee reviewed and discussed the architectural drawings, signage information, and landscaping design for the Riverside Flats Apartments project. At the conclusion of the discussion for this project, the Design Review Committee provided some additional feedback to the applicant group and then approved the architectural building colors and designs, planned signage, and landscaping design for the Riverside Flats Apartments project, with the direction that any additional planned signage matches the aesthetic of the approved designs from this project review during the meeting.

For the Final Subdivision and Site Plan proposals respectively, following the presentation and discussion of the final site plan and plat proposal, the City Council may make a motion to approve the final site plan and/or plat, approve with additional requirements and criteria, table either matter to a later date, and/or not approve the proposed Riverside Flats Subdivision Plat and the Riverdale Flats Apartments Site Plan with the appropriate findings of fact. Should this proposal receive approval by the Council, then the final plat could be recorded with the Weber County Recorder's office, and the required preconstruction steps could be completed for the project to commence at the intended development location.

### Title 10 Ordinance Guidelines (Code Reference)

This Residential Subdivision Site Plan review is regulated under City Code 10-21 "Subdivisions" and is affected by City Codes 10-9E "Multiple-Family Residential Zone (R-4)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-25 "Development in All Zones".

The Conditional Use Permit review is regulated under City Code 10-19 "Conditional Uses" and is affected by City

Code 10-10A “Commercial Zones (C-1, C-2, C-3)”.

The petitioner’s properties are currently listed in the County Records under the ownership of three different parties as follows: H & H 39<sup>th</sup> Street, LLC, 5D Development, LLC, and Garff Properties Riverdale, LLC. The majority of these properties are part of an existing motor vehicle sales/service shop and a mobile home park property that are in the process of transitioning. The third lot is a vacant lot that historically had vehicles parking on it from time-to-time.

Attached with this executive summary is a supplementary document addressing items on the Preliminary Site Plan application and as directed by 10-21 of the City Code. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, Fire Department, and Police Department. The City Council should discuss these summaries and any noted Planning Commission and/or staff concerns.

Staff encourages the City Council to review this matter, including concerns outlined herein, and then discuss with the petitioner any identified concerns associated with this application. Staff would then recommend that the City Council make a motion to approve the final site plan and/or plat, approve with additional requirements and criteria, table either matter to a later date, and/or not approve the proposed Riverside Flats Subdivision Plat and the Riverdale Flats Apartments Site Plan with the appropriate findings of fact.

#### General Plan Guidance (Section Reference)

The General Plan use for this property is currently set as “Residential – Medium Density”. This project seems to be in compliance with that land use designation for these properties. A smaller portion of this project proposal is located in an area of the General Plan that is set for use as “Planned Commercial High”. This proposed use would compliment and support adjacent planned commercial high uses.

#### Legal Comments – City Attorney

\_\_\_\_\_  
Steve Brooks, Attorney

#### Administrative Comments – City Administrator

\_\_\_\_\_  
Steve Brooks, City Administrator



## **ORDINANCE NO. 968**

### **AN ORDINANCE CREATING A SUBDIVISION KNOWN AS RIVERSIDE FLATS SUBDIVISION, IN THE CITY OF RIVERDALE, WEBER COUNTY, STATE OF UTAH AND PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.**

**WHEREAS**, The City of Riverdale (hereinafter "City") has received a request for an amended subdivision and final site plan approval, located at approximately 671 West and 633 West 4400 South, Riverdale Utah, known as the "Riverside Flats Subdivision," at the request of Wright Development Group, represented by Logan Johnson (herein Petitioner), of a certain parcel of land hereinafter described in detail on the attached Exhibits, for a commercial development; and

**WHEREAS**, the petitioner has complied with all the requirements set forth in Utah Code and the Riverdale City Code (Title 10 Chapter 21, where required) concerning subdivision creation; and

**WHEREAS**, the petitioner of the said parcel of land, has received a recommendation of approval for said subdivision from the Riverdale City Planning Commission (May 23, 2023) during a public meeting; and

**WHEREAS**, the City Council now desires to approve the subdivision and formally recognize and order that said subdivision be recorded with the Weber County Recorder's Office; and

**WHEREAS**, it is in the best interest of Riverdale City to allow the proposed subdivision and to do so will promote health, safety and the general welfare of the community; and

### **NOW THEREFORE, BE IT HEREBY ORDAINED AND ENACTED BY THE CITY COUNCIL OF THE CITY OF RIVERDALE:**

Section 1. Subdivision Plat. Be it hereby ordained by the Riverdale City Council that the site, located at approximately 671 West and 633 West 4400 South, be amended to create the "Riverside Flats Subdivision," for the proposed location, pursuant to the attached description and maps, as set forth on the attached Exhibit(s).

Section 2. That said subdivision be recognized and recorded in the Office of the Weber County Recorder.

Section 3. Severability. If any provision of this ordinance is declared invalid by a court of competent jurisdiction, the remainder shall not be affected thereby.



Section 4. This ordinance shall take effect immediately upon its adoption and posting.

**PASSED, ADOPTED, AND ORDERED POSTED** this \_\_\_\_\_ day of August, 2023.

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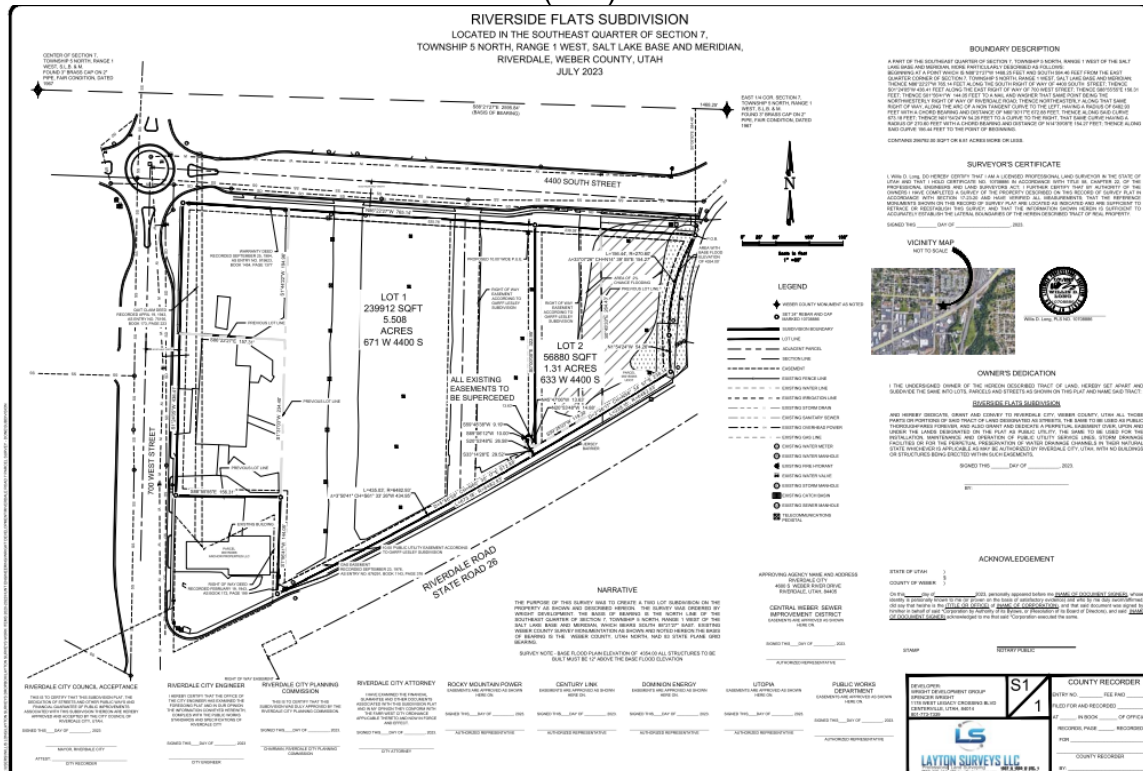
Braden Mitchell  
Riverdale City Mayor

Attest:

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Michelle Marigoni  
City Recorder

(Plat)



## **Exhibit B**

### **LEGAL DESCRIPTION**

A PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS N88°21'27"W 1468.25 FEET AND SOUTH 584.46 FEET FROM THE EAST QUARTER CORNER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE N86°22'27"W 765.14 FEET ALONG THE SOUTH RIGHT OF WAY OF 4400 SOUTH STREET; THENCE S01°24'05"W 436.41 FEET ALONG THE EAST RIGHT OF WAY OF 700 WEST STREET; THENCE S88°55'55"E 156.31 FEET; THENCE S01°56'41"W 144.05 FEET TO A NAIL AND WASHER THAT SAME POINT BEING THE NORTHWESTERLY RIGHT OF WAY OF RIVERDALE ROAD; THENCE NORTHEASTERLY ALONG THAT SAME RIGHT OF WAY, ALONG THE ARC OF A NON TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 6482.93 FEET WITH A CHORD BEARING AND DISTANCE OF N60°30'17"E 672.88 FEET, THENCE ALONG SAID CURVE 673.18 FEET; THENCE N01°54'24"W 54.26 FEET TO A CURVE TO THE RIGHT, THAT SAME CURVE HAVING A RADIUS OF 270.60 FEET WITH A CHORD BEARING AND DISTANCE OF N14°39'05"E 154.27 FEET; THENCE ALONG SAID CURVE 156.44 FEET TO THE POINT OF BEGINNING. CONTAINS 296792.00 SQFT OR 6.81 ACRES MORE OR LESS.

## Final Subdivision/Site Plan Review – WDG Subdivision and Riverdale Apartments Site Plan – 671 & 633 West 4400 South

Completed by Mike Eggett, Community Dev. Director on 2/7-8/2023, 5/18/2023, and 7/26-27/2023

**Recommendation:** City staff recommends that the City Council examine and review this proposed final subdivision site plan and plat. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the City Council act accordingly to approve the final site plan and plat, approve the plan and plat with additional comments or concerns to be addressed by the developer, or not approve the final site plan and plat proposal for the WDG Riverdale Subdivision and the Riverdale Apartments Site Plan project.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	January 27, 2023 and updated on May 9, 2023 and July 13, 2023
Date Application Submitted to City:	January 27, 2023
Date Fee Paid:	Paid on January 27, 2023 (see application and receipts for details)
<b>Subdivision/Site Plan – Preliminary Requirements</b>	<b>Departmental Review Comments</b>
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Property Owner's name, address, and phone number	Garff Properties LLC, 111 E. Broadway, Ste 900, Salt Lake City, Utah 84111, 801-257-3135; H&H 39 <sup>th</sup> Street LLC, PO Box 526412, Salt Lake City, Utah 84152, 801-773-7339; 5D Development LLC, 3515 W. 2200 N., Plain City, Utah 84404, 801-698-6288
Developer's name, address, and phone number	This is provided on Site Plan and Plat: Wright Development Group, Spencer Wright, 1178 West Legacy Crossing Blvd, Centerville, Utah 844014, Contact: Spencer Wright, 801-773-7339

Approving agency's name and address: Utility companies as applicable	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405; Utility company names, address, and phone number provided on cover sheet of site plan
Consulting Engineer's name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Licensed Land Surveyor's name, address, phone number, signature, and seal	Layton Surveys, Willis Long, PLS, 1857 North 1000 West, Suite 1, Clearfield, Utah 84015, 801-663-1641, seal and signature provided
Date	Yes – 3/20/2023 on site plan with revision on 3/31/2023 and July 2023 on plat
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	19 total sheets (includes the plat and landscaping pages) and other supporting documents
<u>General</u>	
Street names	Yes shown – 700 West, 4400 South, and Riverdale Road
Layouts of lots with lot numbers and addresses	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Adjacent tract ownership and tax identification numbers	Adjacent property tract ownership names shown with tax ID numbers
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown as 1" = 50' on plat and cover sheet, 1"=30' on plan documents
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements shown on plat; existing structures on site shown; existing utility lines shown; <u>unsure of approvals provided to cross, use, relocate</u>
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Sidewalks and curb/gutter shown on multiple sheets; public use areas identified on plan
<u>Vicinity Map</u>	Provided
Street names	Yes
Site location	Yes
North arrow	Yes

Scale	"Not to scale" noted
<i>PLAT SHEET</i>	
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Approving Agency's name and address	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Consulting Engineer's stamp, signature, and license expiration date	Engineer's stamp, signature, and license expiration date provided
Date	Yes – 3/20/2023 on site plan with revision on 3/31/2023 and July 2023 on plat
Names of approving agents with titles, stamps, signatures, and license expiration dates	Names of approving utility agents, titles, stamps, signatures location shown on plat, may remove where they may not be applicable or required; contacts provided on site plan
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Shown on plat
<u>Layout</u>	
Street Names	Yes shown – 700 West, 4400 South, and Riverdale Road
Layouts of lots with lot numbers	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Bearings and distances for all property lines and section ties	Shown, defer to City Engineer review
Boundary and Legal description	Shown, defer to City Engineer review
Adjacent tract ownership and tax identification numbers	Adjacent property tract ownership names shown with tax ID numbers
Scale (minimum 1"=50')	Yes, scale is shown as 1" = 50' on plat and cover sheet, 1"=30' on plan documents
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	Yes, shown

Landscaping (location and type with area calculations)	Landscaping and irrigation plan provided; landscaping is shown as total of 31.2% (includes “landscape area” and “stamped concrete” area) exceeds 30% as req. by R-4 zone standards in City Code 10-9E-4
Location of exterior lighting devices, signs, and outdoor advertising	Existing and anticipated exterior lighting devices shown on photometric plan; anticipated apartment facility signage locations shown
Location of underground tanks, dumpsters, etc	Underground retention basin tanks location shown for this site; dumpsters enclosure locations shown for this site
<u>Additional Information</u>	
Benchmark	Shown, defer to City Engineer review
Basis of bearings	Shown, defer to City Engineer review
Legend	Yes, provided
<i>PLAN AND PROFILE SHEETS</i>	Site Plan and Utility Plan sheet provided
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Approving Agency’s name and address	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer’s name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Date	Yes – 3/20/2023 on site plan with revision on 3/31/2023 and July 2023 on plat
Scale	Yes, scale is shown as 1” = 50’ on plat and cover sheet, 1”=30’ on plan documents
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	19 total sheets (includes the plat and landscaping pages) and other supporting documents
<u>General</u>	
North arrow	Yes
Street names	Yes shown – 700 West, 4400 South, and Riverdale Road

Lot numbers	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C100
<u>Signage</u>	<u>Apartment facility signage locations not shown, if applicable; may inquire future signage intent</u>
Height	<i>Not available</i>
Size	<i>Not available</i>
Locations	<i>Not available</i>
Colors	<i>Not available</i>
Lighting	<i>Not available</i>
<u>New and Existing Buildings</u>	
Height and Size (multiple homes)	New building - Height = approximately 45 feet tall at highest point; Building size = Bldgs A, B, C – 13, 375 sf each, Bldg D – 11,610 sf, Bldg E – 10,190 sf; existing buildings and utility structures on site shown; <u>may inquire for more details about the planned structures</u>
Location, setbacks, and all dimensions	Setbacks: Building A – west=20.10', south=65.50'; Building B – west=20.75', north=20.55'; Building C – north=20.60', east=20.20'; Building D – east=118.55', south=78.90', west=97.25'; Building E – more than exceeds minimum in all directions. building footprints shown on drawings meet or exceed R-4 zoning reqs
Type of construction	Board and Batten, Stucco, Hardie Board, and Siding; see Riverdale Apartments Elevation drawings for more regarding colors, material, and proposed style of homes; DRC approval provided on June 7, 2023 for elevation drawings, landscaping, and signage elements
Type of occupancy and proposed uses	Multiple-family residential apartment uses
Show handicapped access	ADA accessible ramp shown and identified on multiple sheets



<u>New and Existing Landscaping &amp; Percentage</u>	Landscaping and irrigation plan provided; landscaping is shown as total of 31.2% (includes "landscape area" and "stamped concrete" area) exceeds 30% as req. by R-4 zone standards in City Code 10-9E-4
Number of trees	53 trees, 624 shrubs, 246 grasses, 276 annuals/perennials, sod, and rock mulch locations shown
Landscape plan showing all planting, hardscaping, berming, and watering	Shown on landscaping plan
Xeriscaping alternatives being considered	Yes, shown on landscaping plan
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Existing fences identified on C100 and C200; new fences planned for site and shown on site plan
Materials proposed for construction	New chain link fence material anticipated for public facilities
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	Not shown, <u>may discuss traffic movement but seems intuitive</u>
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	R-o-w shown and clearly identified
Face of curb lines	Yes, this is shown
Centerline slope	Yes, this is shown
Signing and striping	<u>Any associated signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works;</u>
Light poles	Light poles locations shown on photometric plan
Street lights	Street lights locations shown on photometric plan
Street name signs	Sign locations shown on plans, where applicable; <u>signing installation, if any, should be coordinated with public works dept and paid for by applicant;</u>
Stop signs	Sign locations shown on plans, where applicable; <u>signing installation, if any, should be coordinated with public works dept and paid for by applicant;</u>

UDOT approval (if required for project)	Not applicable to this project
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and defined on sheets C600 and C603 "City Details"; cross sections meet standards of sidewalk standard depth and approach depth
Planting Strip	Shown
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown, <u>defer to City Engineer</u>
Slope of gutter	Shown, <u>defer to City Engineer</u>
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets
Ditches, location and ownership	No ditches or waterways of note
Approval to pipe, reroute or use	Other than future City approval, unknown if other approval required; <u>defer to City Engineer</u>
Calculations for retention system	Storm runoff and retention calcs shown on "Storm Drain Report" document; <u>defer to City Engineer</u>
Method of storm water clean-up	Shown on sheets C700 and C701; <u>defer to Public Works Director</u>
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Water meter locations shown on sheet C400: water meter size is 3", type per public works; Location of new and existing valves shown; Existing and new fire hydrants shown
<u>New and Existing Gas Lines</u>	
Size and type	Existing and new gas lines size and type location shown on C400
<u>New and Existing Electrical Lines</u>	

Size, location, and type	Existing location shown; new electrical lines size and type location in project noted per direction of electrical company for new on-site locations
Location of power poles	Location of existing power pole locations shown; no new poles anticipated for project
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	<u>Existing location not shown, if applicable; new telephone lines size and type location in project noted per direction of electrical company for new on-site locations</u>
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	<u>Existing and new cable TV lines size and type location in project not shown, deemed to be not applicable to this project at this time</u>
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Shown on sheet C600 for asphalt install cross section; <u>defer to City Engineer</u>
Cross section of curb and gutter (standard 30" high back)	Shown on sheet C600 "City Details"; <u>defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	Locations shown on sheet C300, cross section shown on C601 "Drainage Details"; bicycle safe grates clearly identified; <u>defer to City Engineer</u>
Cleanout box	Shown on C601; <u>defer to City Engineer</u>
Thrust blocking	Shown where applicable on "City Details" sheets; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	May not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Provided as prepared by CMT Engineering on February 6, 2023
Drainage and runoff calculations	Storm runoff and retention calcs shown on "Storm Drain Report" document; <u>defer to City Engineer</u>
Water right transfer documentation	<u>Applicant needs to show proof of transfer to Public Works or other water solutions provided; defer to PW Director</u>
Copy of protective covenants, codes, and regulations for development	No CCR's anticipated for this project; there may be lease agreements for apartment use in the future
Three large full set of plan drawings (24x36), one full set of plan drawings (11x17 sized), and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Yes, these have been provided; DRC approval provided on June 7, 2023 for elevation drawings, landscaping, and signage elements

Corp of Engineers approval (if required)	Not applicable or required
Zoning compliance	Yes, Multiple-Family Residential (R-4) meets intended uses for site design
RDA compliance (if applicable)	Not applicable in this matter
Use compliance	Yes, site designed for Multiple-Family Residential homes at R-4 zoning density for apartments use
Engineering comments and letter of approval recommendation	City Engineer, Public Works, Fire Dept, and Police Dept comments provided
Traffic study	Not directly applicable to this project
All Planning Commission and City Staff conditions for approval have been met	<u>Currently consideration of Final Subdivision Plat and Site Plan submission being reviewed for Council approval</u>

## DEPARTMENTAL STAFF REPORTS – 7/20/2023 to 7/27/2023

**From:** Shawn Douglas  
**Sent:** Thu 7/27/2023 3:35 PM  
**To:** Mike Eggett  
**Subject:** Riverside Flats

Mike,

I have included my review comments for Riverside Flats. Thanks

### **Plan Review For Riverside Flats**

#### **Storm Water**

1-Notice of intent filed with state prior to starting construction.

#### **Water**

1--Provide water shares that will be used to meet water requirements prior to building permit being issued.

***Shawn Douglas***

Riverdale City Public Works

801-394-5541 ext 1217

[Sdouglas@Riverdalecity.com](mailto:Sdouglas@Riverdalecity.com)

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**From:** Scott Brenkman  
**Sent:** Thu 7/20/2023 3:15 PM  
**To:** Mike Eggett  
**Subject:** RE: Review comments needed for Riverdale Flats Apts Final Site Plan and Subdiv submit - link for docs

I do not have any concerns.

Chief Scott Brenkman  
Riverdale Police Department  
4580 S. Weber River Dr.  
Riverdale, UT 84405  
(801)394-6616  
[sbrenkman@riverdalecity.com](mailto:sbrenkman@riverdalecity.com)

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**From:** Jared Sholly

**Sent:** Thu 7/27/2023 10:48 AM

**To:** Mike Eggett

**Subject:** Re: City Council Meeting - Riverside Flats Updated Plan Set

I am good with the FDC and the new placement of the hydrant.

Thanks,

***Jared Sholly***

***Fire Chief***

***Riverdale City Fire Department***

***Office 801-394-7481***

***Cell 801-628-6562***

27 July 2023

Riverdale City  
4600 South Weber River Drive  
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director  
Proj: **Riverside Flats – 700 West & 4400 South Street**  
Subj: Plat, Improvement Drawings and Engineer's Estimate Review – Recommend Approval

Dear Mike,

I have completed my review of the recently submitted Plat and Improvement drawings, in regards to my last review on May 18<sup>th</sup>, 2023. In my opinion the drawings now reflect the Standards of Riverdale City.

I herewith recommend engineering approval of the Plat and Improvement drawings as submitted.

I also reviewed the recently submitted "Engineers Cost Estimate" prepared by Wright Development Group for the required Public Improvements for the above referenced Project. I agree with the "Engineers Cost Estimate" for the quantities and costs associated with the installation of the required public improvements.

In my opinion the "Engineers Estimate – Escrow Amount" including the 10% warranty amount should be \$44,495.94.

Should you have any questions, feel free to contact our office.

Sincerely,  
**CEC, Civil Engineering Consultants, PLLC.**



R. Todd Freeman, S.E., P.E.  
*City Engineer*

Cc. Shawn Douglas, Riverdale City Public Works Director

Minutes of the **Regular Session** of the Riverdale City **Planning Commission** held Tuesday, May 23, 2023, at 6:30 p.m., at the Civic Center, 4600 S Weber River Drive., Riverdale City, Weber County, Utah.

**Present:**

Commissioners:	Kathy Eskelsen, Chair Kent Anderson, Vice Chair Amy Ann Spiers, Commissioner Rikard Hermann, Commissioner Celeste Noland, Commissioner Randy Poulsen, Commissioner
City Employees:	Mike Eggett, Community Development Michelle Marigoni, City Recorder
Excused:	Wanda Ney, Commissioner
Visitors:	Carol Cunningham

**A. Welcome & Roll Call**

The Planning Commission Meeting began at 6:30 p.m. Chair Eskelsen welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except for Commissioner Ney and Commissioner Spiers, who were excused.

**B. Public Comment**

Chair Eskelsen asked if any public were present with comments.

Carolyn Cunningham, who lives off of 700 West, said the apartment complex will interfere with their lives due to the amount of traffic it will bring, as the roundabout is already a problem at high traffic times. It has become a problem in the morning and the afternoon and causing a safety concern. Traffic from Ogden cuts through at 700 West. The roundabout is a big problem, and the school is down the street, so the parents are trying to get through as well. Turning down 700 from Riverdale is also a problem with traffic. She has had to go all the way to Roy or 31<sup>st</sup> Street to get home. That many homes should not be added to the area, and she felt it has not been thought through. Deliveries to the meat business also contribute. She asked commissioners to go there in the mornings to see what it is like. She said what looks good on paper is not always good for people to deal with.

**C. Presentations and Reports**

Chair Eskelsen turned the time over to Mr. Eggett who reported the following:

- The General Plan Update final draft will be brought to the next commission meeting to schedule a public hearing, and hopefully to council in July. There have been some comments and suggestions on the website regarding the update.
- Legislative updates will be provided soon. The new subdivision process will eliminate city council reviews for single family, two family, and townhome subdivisions, leaving the decisions to administrative positions only.
- Cheddar's has advertised a mid-July opening.

**D. Consent Items**

**1. Consideration of Meeting Minutes from April 25, 2023 Work Session, and April 25, 2023 Regular Meeting**

**Motion:** Commissioner Hermann moved to approve the minutes from April 25, 2023

**Second:** Commissioner Anderson

All in favor, minutes approved.

**E. Action Items**

- 1. A. Consideration of Conditional Use Permit request for Automobile Sales and Service use by Tesla Riverdale, located at approximately 4851 South 1500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.**



Mr. Eggett went over the executive summary and items in the packet, noting that Jake Tate and Sam Moore would be present for the meeting and that the executive summary covers both items 1a and 1b. The conditional use element is required in the C3 zone to make sure there are no health, safety, or welfare concerns to adjacent properties. The Planning Commission is the decision-making body on conditional uses and the recommending body for the site plan.

Jake Tate with AWA Engineering approached the commission for questions regarding the conditional use request. There were no questions.

**Motion:** Commissioner Noland moved to approve the Conditional Use Permit request for Automobile Sales and Service use by Tesla Riverdale, located at approximately 4851 South 4500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.

**Second:** Commissioner Hermann

Commissioners Polled:

Commissioner Anderson:	Yes
Commissioner Noland:	Yes
Commissioner Hermann:	Yes
Commissioner Spiers:	Absent
Commissioner Ney:	Absent
Commissioner Eskelsen:	Yes
Commissioner Poulsen:	Yes

Motion passes unanimously.

**B. Consideration of recommendation to City Council for Final Site Plan request for Tesla Riverdale, located at approximately 4851 South 1500 West, Riverdale Utah 84405, as requested by 6S Development, LLC and AWA Engineering.**

Mr. Eggett again stated that Mr. Tate was representing the project and went over the comments from the site plan review as included in the packet, as well as comments from staff and minimal comments from the city's engineer.

Mr. Tate again addressed the commission. Mr. Hermann asked about the stormwater retention system, and who would be responsible for maintenance if the property was to be sold. Mr. Tate explained that whoever the new property owner was would be responsible. Mr. Hermann asked if the schedule would be followed for maintenance or if there was a possibility of the maintenance being neglected. Mr. Eggett and Mr. Tate noted the long-term stormwater maintenance agreement is a recorded document which requires, by ordinance, the maintenance to be continued.

Commissioner Anderson commended Mr. Tate for such a clean plan.

**Motion:** Commissioner Anderson moved to favorably recommend approval to City Council for the Final Site Plan request for Tesla Riverdale, located at approximately 4851 South 4500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering pending any items listed by staff and the engineer are satisfied.

**Second:** Commissioner Noland

Commissioners Polled:

Commissioner Hermann:	Yes
Commissioner Spiers:	Absent
Commissioner Ney:	Absent
Commissioner Eskelsen:	Yes
Commissioner Poulsen:	Yes
Commissioner Anderson:	Yes
Commissioner Noland:	Yes

Motion passes unanimously.

**2. A. Consideration of Conditional Use Permit request for the development of Multiple-Family Residential Units in excess of 25 dwelling units, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.**

Mr. Eggett went over the executive summary and items in the packet, noting that the summary would address all three items for this project (2a, 2b, and 2c). The project does fit with the allowed zoning.

Logan Johnson approached. Commissioner Noland asked about the traffic and the entrance and exit being on 700 West. The traffic control porkchop was noted by staff that it may need to be redesigned. Mr. Johnson said there was no objection to modifying the porkchop to restrict the left-hand movements, as that was the intent. Mr. Eggett commented that public works and/or fire had a suggestion for it to be mountable. Mr. Johnson said he would be in contact with both regarding this.

Mr. Johnson addressed some of Ms. Cunningham's comments, explaining the results of the traffic study and noting the grade of the intersection would not change from a class C intersection. He felt the problems would be appropriately mitigated regarding traffic.

Mr. Anderson brought up a concern about an S curve in the project that may not accommodate a fire apparatus. Mr. Johnson said the standard fire truck size was used for the design. Mr. Eggett explained there may be larger trucks from surrounding agencies responding to assist with a problem in the development. Mr. Johnson said this was an addressable problem and he would communicate with the fire chief regarding this.

**Motion:** Commissioner Hermann moved to approve the Conditional Use Permit request for the development of Multi-Family Residential units in excess of 25 dwelling units, located at approximately 671 West 4400 South, Riverdale, Utah, as requested by Wright Development Group.

**Commissioner Noland suggested modifying the motion to include the addressal of the concerns discussed, the porkchop and the S curve.** This modification was accepted by Commissioner Hermann.

**Second:** Commissioner Noland

Commissioners Polled:

Commissioner Eskelsen:	Yes
Commissioner Noland:	Yes
Commissioner Poulsen:	Yes
Commissioner Anderson:	Yes
Commissioner Hermann:	Yes
Commissioner Spiers:	Absent
Commissioner Ney:	Absent

Motion passes unanimously.

**B. Consideration of recommendation to City Council for Final Subdivision request for WDG Riverdale Subdivision, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.**

Mr. Eggett went over the comments from the subdivision plat as provided in the packet, noting public works did not have any concerns listed for the plat specifically. The city engineer had some clean-up items to be addressed on the plat. He noted a vacation plat may be required.

There were no questions regarding the plat recommendation for Mr. Johnson.

Commissioner Anderson stated for the record that comments from the community, such as those from Ms. Cunningham, are appreciated. He assured her that an earnest effort was made to meet the standards and address concerns, and that her comments were not unheard. Under the circumstances, the requirements are that the items meet code.

**Motion:** Commissioner Anderson moved to favorably recommend to City Council for Final Subdivision request for WDG Riverdale Subdivision, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group pending completion and addressal of concerns mentioned by staff and engineering.

**Second:** Commissioner Noland

Commissioners Polled:

Commissioner Ney:	Absent
Commissioner Eskelsen:	Yes
Commissioner Anderson:	Yes
Commissioner Poulsen:	Yes
Commissioner Noland:	Yes
Commissioner Hermann:	Yes
Commissioner Spiers:	Absent

Motion passes unanimously.

Mr. Eggett stated for the record that there were constraints due to property lines, but that lot 2 would be addressed later as a clean-up for the plat.

**C. Consideration of recommendation to City Council for Final Site Plan request for Riverdale Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.**

Mr. Eggett went over the site plan review comments and staff comments as provided in the packet, including comments regarding the stormwater system and fire apparatus access as discussed in the previous items.

Commissioner Poulsen asked about the number of parking spaces and how parking would be enforced. Mr. Johnson stated the number of parking spaces meets the code and they feel comfortable about the parking being manageable. The onsite management will have the ability to enforce parking issues. He addressed some of the comments from the site plan review, noting that the signage was not included because they are hoping to have the bus stop moved and the sign placed in its current location. He was under the assumption that the landscaping plan was included and noted that it was available. The detention basin change was due to the higher level of groundwater, but any changes could be made to the materials if staff preferred. Standing water was not anticipated based on the Geotech information. The letter from the sewer district was received.

Mr. Hermann asked who would be maintaining the dog park area. Mr. Johnson said the tenants are required to clean up after their own dogs. Dog owners must be registered by fecal matter at a lab to later identify which dog owners did not clean up. The non-natural surfaces would be sanitized periodically.

Mr. Poulsen asked what the general jobs of the property managers would be. One full-time maintenance, one full-time leasing agent, and one part-time leasing agent. Someone will always be on site for repairs.

Mr. Eggett asked if there was a possibility for the moderate-income threshold. Mr. Johnson said the rents would meet it.

**Motion:** Commissioner Hermann moved to favorably recommend to City Council for Final Site Plan request for Riverdale Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group, with the understanding that all concerns by staff and engineering are addressed and approved.

**Second:** Commissioner Noland

Commissioners Polled:	
Commissioner Spiers:	Absent
Commissioner Ney:	Absent
Commissioner Hermann:	Yes
Commissioner Noland:	Yes
Commissioner Eskelsen:	Yes
Commissioner Poulsen:	Yes
Commissioner Anderson:	Yes

Motion passes unanimously.

**F. Comments**

**G. Adjournment**

As there was no further business to discuss, Commissioner Noland moved to adjourn. This was seconded by Commissioner Anderson. All were in favor and the Planning Commission meeting adjourned at 7:36 p.m.

Date Approved: 6/13/2023



# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
Acct #10-34-1500

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2023-01 DATE SUBMITTED: Jan. 27, 2023

APPLICANT'S NAME: Wright Development, Logan Johnson

ADDRESS: 1178 West Legacy Crossing Blvd, Centerville, UT 84014

PHONE: 801.773.7339

ADDRESS OF SITE: 801.773.7339

691 W 4400 S, portion of 671 W 4400 S, SEC of 4400S & 700 W  
APPLICANT'S INTEREST: See Lot 1 on Preliminary Plat

Application is hereby made to the Riverdale City Planning Commission requesting that a

residential subdivision consisting of 2 lots be approved on 8.02 acres of  
(number of lots) (sq. ft./acreage)

property in the R-4/RMH-1 zone in accordance with the attached site plan.

Logan Johnson  
Signature of Applicant

[Signature]  
Signature of Property Owner

I authorize Logan Johnson, Wright Development to act as my representative in all matters relating to this application.

[Signature]  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$150 per lot/unit = 153 apt units

Fee: \$ 22,950

Date paid: January 27, 2023

Planning Commission sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 2/14/2023 <sup>Relm.</sup> 5/23/2023 <sup>Final Pa.</sup>

Decision of Commission: Approved; Rec. Council approval resolve outstanding concerns Staff + engineer

City Council sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

City Council scheduled to hear this application for site plan approval on:

Date: 8/1/2023

Decision of Council: \_\_\_\_\_



# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
Acct #10-34-1500

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residential subdivision consisting of 2 lots be approved on 8.02 acres of  
(number of lots) (sq. ft./acreage)

property in the R-4/RM-U-1 zone in accordance with the attached site plan.

Logan Johnson  
Signature of Applicant

[Signature]  
Signature of Property Owner

I authorize Logan Johnson, Wright Development to act as my representative in all matters relating to this application.

[Signature]  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$150 per lot/unit = 153 apartment units

Fee: \$ 22,950

Date paid: January 27, 2023

Planning Commission sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 2/14/2023 <sup>Prelim</sup> 5/23/2023 <sup>Final Rec.</sup>

Decision of Commission: Approved; Rec. Council approval, subject resolving outstanding concerns staff + engineer

City Council sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

City Council scheduled to hear this application for site plan approval on:

Date: 8/1/2023

Decision of Council: \_\_\_\_\_





# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
Acct #10-34-1500

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2023-01 DATE SUBMITTED: Jan. 27, 2023

APPLICANT'S NAME: Wright Development, Logan Johnson

ADDRESS: 1178 West Legacy Crossing Blvd, Centerville, UT 84014

PHONE: 801.773.7339

ADDRESS OF SITE: 801.773.7339

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residential subdivision consisting of 2 lots be approved on 8.02 acres of  
(number of lots) (sq. ft./acreage)

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Logan Johnson  
Signature of Applicant

[Signature]  
Signature of Property Owner

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[Signature]  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$150 per lot/unit = 153 apt units

Fee: \$ 22,950

Date paid: January 27, 2023

Planning Commission sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 2/14/2023 <sup>Prelim.</sup> 5/23/2023 <sup>Final Dec.</sup>

Decision of Commission: Approved; Rec. Council approval, resolve outstanding concerns staff + engineer

City Council sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

City Council scheduled to hear this application for site plan approval on:

Date: 8/1/2023

Decision of Council: \_\_\_\_\_

RIVERDALE CITY CORPORATION  
4600 SOUTH WEBER RIVER DRIVE  
RIVERDALE UT 84405

394-5541

Receipt No: 15.554273

Jan 27, 2023

WRIGHT DEVELOPMENT

Previous Balance:	.00
MISCELLANEOUS - 691 W 4400 S	22,950.00
10-34-1500 ZONING & SUB. FEES	

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Total:	22,950.00
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CHECK NO: 3040	22,950.00
Total Applied:	22,950.00

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Change Tendered:	.00
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01/27/2023 12:34 PM



**Riverdale  
City**

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
Acct #10-36-9000

**CONDITIONAL USE PERMIT  
APPLICATION**

DATE 05/03/2023

ADDRESS OF SITE 691 W 4400 S, portion of 671 W 4400 S, SEC of 4400S & 700 W

APPLICANT'S NAME Wright Development, Logan Johnson

ADDRESS 1178 West Legacy Crossing Blvd, Centerville, UT 84014

PHONE NUMBER 801.773.7339

NOTE: Plans: Detailed location, site and building plans shall accompany the completed application forms provided by the city. For structures in existence, only a location plan need be provided.

☒ SITE PLAN RECEIVED ☐ BUILDING PLANS RECEIVED

Present Zoning of the Property: R-4, C-3

Present Use of the Property: Trailer Park

Acreage of the Property: 8.02

Width of Property on the Street: \_\_\_\_\_

Proposed Conditional Use of Property: Over 25 Dwelling Units

SIGNED: Logan Johnson

DATE: 5/4/2023

I authorize Logan Johnson to act as my representative in all matters relating to this application.

OWNER

Wright Development, Logan Johnson  
AGENT AS AUTHORIZED BY OWNER

**PLANNING COMMISSION SCHEDULED TO HEAR THIS APPLICATION FOR CONDITIONAL USE ON:**

DATE: 5/23/2023

DECISION OF COMMISSION: Approved

SIGNATURE OF CHAIRPERSON: Kathleen E. Esbelle

DATE: 5/23/2023

**PLANNING COMMISSION PUBLIC HEARING:**

DATE: \_\_\_\_\_

DECISION OF COMMISSION: N/A

SIGNATURE OF CHAIRPERSON: N/A

DATE: \_\_\_\_\_

**Fee \$75.00** Date Paid: 5-8-2023 Receipt No. 197492446





Riverdale City  
4600 South Weber River Drive  
Riverdale, UT 84405  
(801) 394-5541

XBP Confirmation Number: 144117292

Transaction detail for payment to Riverdale City.		Date: 05/08/2023 - 11:44:55 AM MT	
Transaction Number: 197492446		Visa — XXXX-XXXX-XXXX-5669	
Status: Successful			
Account #	Item	Quantity	Item Amount
10369000	Zoning ampamp Subdiv. Fee	1	\$75.00
Notes: CONDITIONAL USE PERMIT 691 W 4400 S			

**TOTAL: \$75.00**

**Billing Information**  
LOGAN JOHNSON

84405

Transaction taken by: Admin cjacobsen



**RIVERDALE CITY  
CITY COUNCIL AGENDA  
August 1, 2023**

**AGENDA ITEM: G1b**

**SUBJECT:** Consideration of Final Site Plan request for Riverside Flats Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

**PRESENTER:** Mike Eggett, Community Development Director

**INFORMATION:**

- a. [Exec Summ Final Riv Flats Apts Sub,Site Plan – CC \[20230801\]](#)
- b. [Riverdale Apts Final Sub Plan CC Review – 20230727](#)
- c. [Dept Staff Reports – CC Riv Flats Apts Final Sub-Site Plan \[20230727\]](#)
- d. [Riv Apts – City Eng Review #3 – 2023 July 27 \[approve\]](#)
- e. [Planning Commission minutes from 5-23-2023](#)
- f. [Riv Apts Subdiv App Updated – 20230127](#)
- g. [Riverside Flats Engineers Cost Estimate](#)
- h. [Riverdale Response Letter](#)
- i. [ARCH-Sign Riverside Flats 7-13-23\[r\]](#)
- j. [Storm Drainage Report\\_01.27.23](#)
- k. [Dog Park Spec](#)
- l. [Riverside Flats Civil Set 2023.07.27](#)
- m. [LANDSCAPE 3july2023](#)
- n. [PHOTOMETRIC 23170 – ES001 – Site Photometric-E001](#)

**[BACK TO AGENDA](#)**



## City Council Executive Summary

For the Council meeting on: 8-1-2023

Petitioner: Wright Development Group  
Represented by Logan Johnson

### Summary of Proposed Action

Wright Development Group, as represented by Logan Johnson, have applied for a Final Subdivision Plat and Final Site Plan review and approval for the Riverside Flats Subdivision proposal and the Riverside Flats Apartments Site Plan as located at approximately 671 West 4400 South and 633 West 4400 South in a Multiple-Family Residential R-4 zone. The proposed subdivision and site plan is before the City Council for final recommendation consideration of the submitted plan and plat. A public hearing is not required for review of this proposed subdivision. The Subdivision request is its own land use request for consideration. The Site Plan request is also its own land use request for consideration, and each of these action items are hereby separated as such on the agenda for consideration.

The requested use for 152 multi-family residential units exceeds the minimum requirement of 25 or more units (per City Code 10-9E-3) and requires a conditional use approval for the 152 multi-family residential units proposed for this project. Therefore, the applicant group was required to receive approval of a conditional use permit for this project proposal. On May 23, 2023, following discussion regarding the conditional use permit request, the Planning Commission approved the conditional use permit to allow for the development of 152 proposed multi-family residential units as a component of this site plan proposal. A public hearing is not required to approve the conditional use permit.

Further, on June 7, 2023, the Design Review Committee reviewed and discussed the architectural drawings, signage information, and landscaping design for the Riverside Flats Apartments project. At the conclusion of the discussion for this project, the Design Review Committee provided some additional feedback to the applicant group and then approved the architectural building colors and designs, planned signage, and landscaping design for the Riverside Flats Apartments project, with the direction that any additional planned signage matches the aesthetic of the approved designs from this project review during the meeting.

For the Final Subdivision and Site Plan proposals respectively, following the presentation and discussion of the final site plan and plat proposal, the City Council may make a motion to approve the final site plan and/or plat, approve with additional requirements and criteria, table either matter to a later date, and/or not approve the proposed Riverside Flats Subdivision Plat and the Riverdale Flats Apartments Site Plan with the appropriate findings of fact. Should this proposal receive approval by the Council, then the final plat could be recorded with the Weber County Recorder's office, and the required preconstruction steps could be completed for the project to commence at the intended development location.

### Title 10 Ordinance Guidelines (Code Reference)

This Residential Subdivision Site Plan review is regulated under City Code 10-21 "Subdivisions" and is affected by City Codes 10-9E "Multiple-Family Residential Zone (R-4)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-25 "Development in All Zones".

The Conditional Use Permit review is regulated under City Code 10-19 "Conditional Uses" and is affected by City

Code 10-10A “Commercial Zones (C-1, C-2, C-3)”.

The petitioner’s properties are currently listed in the County Records under the ownership of three different parties as follows: H & H 39<sup>th</sup> Street, LLC, 5D Development, LLC, and Garff Properties Riverdale, LLC. The majority of these properties are part of an existing motor vehicle sales/service shop and a mobile home park property that are in the process of transitioning. The third lot is a vacant lot that historically had vehicles parking on it from time-to-time.

Attached with this executive summary is a supplementary document addressing items on the Preliminary Site Plan application and as directed by 10-21 of the City Code. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, Fire Department, and Police Department. The City Council should discuss these summaries and any noted Planning Commission and/or staff concerns.

Staff encourages the City Council to review this matter, including concerns outlined herein, and then discuss with the petitioner any identified concerns associated with this application. Staff would then recommend that the City Council make a motion to approve the final site plan and/or plat, approve with additional requirements and criteria, table either matter to a later date, and/or not approve the proposed Riverside Flats Subdivision Plat and the Riverdale Flats Apartments Site Plan with the appropriate findings of fact.

#### General Plan Guidance (Section Reference)

The General Plan use for this property is currently set as “Residential – Medium Density”. This project seems to be in compliance with that land use designation for these properties. A smaller portion of this project proposal is located in an area of the General Plan that is set for use as “Planned Commercial High”. This proposed use would compliment and support adjacent planned commercial high uses.

#### Legal Comments – City Attorney

\_\_\_\_\_  
Steve Brooks, Attorney

#### Administrative Comments – City Administrator

\_\_\_\_\_  
Steve Brooks, City Administrator

## Final Subdivision/Site Plan Review – WDG Subdivision and Riverdale Apartments Site Plan – 671 & 633 West 4400 South

Completed by Mike Eggett, Community Dev. Director on 2/7-8/2023, 5/18/2023, and 7/26-27/2023

**Recommendation:** City staff recommends that the City Council examine and review this proposed final subdivision site plan and plat. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the City Council act accordingly to approve the final site plan and plat, approve the plan and plat with additional comments or concerns to be addressed by the developer, or not approve the final site plan and plat proposal for the WDG Riverdale Subdivision and the Riverdale Apartments Site Plan project.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	January 27, 2023 and updated on May 9, 2023 and July 13, 2023
Date Application Submitted to City:	January 27, 2023
Date Fee Paid:	Paid on January 27, 2023 (see application and receipts for details)
<b>Subdivision/Site Plan – Preliminary Requirements</b>	<b>Departmental Review Comments</b>
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Property Owner's name, address, and phone number	Garff Properties LLC, 111 E. Broadway, Ste 900, Salt Lake City, Utah 84111, 801-257-3135; H&H 39 <sup>th</sup> Street LLC, PO Box 526412, Salt Lake City, Utah 84152, 801-773-7339; 5D Development LLC, 3515 W. 2200 N., Plain City, Utah 84404, 801-698-6288
Developer's name, address, and phone number	This is provided on Site Plan and Plat: Wright Development Group, Spencer Wright, 1178 West Legacy Crossing Blvd, Centerville, Utah 844014, Contact: Spencer Wright, 801-773-7339

Approving agency's name and address: Utility companies as applicable	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405; Utility company names, address, and phone number provided on cover sheet of site plan
Consulting Engineer's name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Licensed Land Surveyor's name, address, phone number, signature, and seal	Layton Surveys, Willis Long, PLS, 1857 North 1000 West, Suite 1, Clearfield, Utah 84015, 801-663-1641, seal and signature provided
Date	Yes – 3/20/2023 on site plan with revision on 3/31/2023 and July 2023 on plat
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	19 total sheets (includes the plat and landscaping pages) and other supporting documents
<u>General</u>	
Street names	Yes shown – 700 West, 4400 South, and Riverdale Road
Layouts of lots with lot numbers and addresses	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Adjacent tract ownership and tax identification numbers	Adjacent property tract ownership names shown with tax ID numbers
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown as 1" = 50' on plat and cover sheet, 1"=30' on plan documents
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements shown on plat; existing structures on site shown; existing utility lines shown; <u>unsure of approvals provided to cross, use, relocate</u>
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Sidewalks and curb/gutter shown on multiple sheets; public use areas identified on plan
<u>Vicinity Map</u>	Provided
Street names	Yes
Site location	Yes
North arrow	Yes



Scale	"Not to scale" noted
<i>PLAT SHEET</i>	
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Approving Agency's name and address	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Consulting Engineer's stamp, signature, and license expiration date	Engineer's stamp, signature, and license expiration date provided
Date	Yes – 3/20/2023 on site plan with revision on 3/31/2023 and July 2023 on plat
Names of approving agents with titles, stamps, signatures, and license expiration dates	Names of approving utility agents, titles, stamps, signatures location shown on plat, may remove where they may not be applicable or required; contacts provided on site plan
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Shown on plat
<u>Layout</u>	
Street Names	Yes shown – 700 West, 4400 South, and Riverdale Road
Layouts of lots with lot numbers	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Bearings and distances for all property lines and section ties	Shown, defer to City Engineer review
Boundary and Legal description	Shown, defer to City Engineer review
Adjacent tract ownership and tax identification numbers	Adjacent property tract ownership names shown with tax ID numbers
Scale (minimum 1"=50')	Yes, scale is shown as 1" = 50' on plat and cover sheet, 1"=30' on plan documents
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	Yes, shown



Landscaping (location and type with area calculations)	Landscaping and irrigation plan provided; landscaping is shown as total of 31.2% (includes “landscape area” and “stamped concrete” area) exceeds 30% as req. by R-4 zone standards in City Code 10-9E-4
Location of exterior lighting devices, signs, and outdoor advertising	Existing and anticipated exterior lighting devices shown on photometric plan; anticipated apartment facility signage locations shown
Location of underground tanks, dumpsters, etc	Underground retention basin tanks location shown for this site; dumpsters enclosure locations shown for this site
<u>Additional Information</u>	
Benchmark	Shown, defer to City Engineer review
Basis of bearings	Shown, defer to City Engineer review
Legend	Yes, provided
<i>PLAN AND PROFILE SHEETS</i>	Site Plan and Utility Plan sheet provided
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Approving Agency’s name and address	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer’s name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Date	Yes – 3/20/2023 on site plan with revision on 3/31/2023 and July 2023 on plat
Scale	Yes, scale is shown as 1” = 50’ on plat and cover sheet, 1”=30’ on plan documents
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	19 total sheets (includes the plat and landscaping pages) and other supporting documents
<u>General</u>	
North arrow	Yes
Street names	Yes shown – 700 West, 4400 South, and Riverdale Road

Lot numbers	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C100
<u>Signage</u>	<u>Apartment facility signage locations not shown, if applicable; may inquire future signage intent</u>
Height	<i>Not available</i>
Size	<i>Not available</i>
Locations	<i>Not available</i>
Colors	<i>Not available</i>
Lighting	<i>Not available</i>
<u>New and Existing Buildings</u>	
Height and Size (multiple homes)	New building - Height = approximately 45 feet tall at highest point; Building size = Bldgs A, B, C – 13, 375 sf each, Bldg D – 11,610 sf, Bldg E – 10,190 sf; existing buildings and utility structures on site shown; <u>may inquire for more details about the planned structures</u>
Location, setbacks, and all dimensions	Setbacks: Building A – west=20.10', south=65.50'; Building B – west=20.75', north=20.55'; Building C – north=20.60', east=20.20'; Building D – east=118.55', south=78.90', west=97.25'; Building E – more than exceeds minimum in all directions. building footprints shown on drawings meet or exceed R-4 zoning reqs
Type of construction	Board and Batten, Stucco, Hardie Board, and Siding; see Riverdale Apartments Elevation drawings for more regarding colors, material, and proposed style of homes; DRC approval provided on June 7, 2023 for elevation drawings, landscaping, and signage elements
Type of occupancy and proposed uses	Multiple-family residential apartment uses
Show handicapped access	ADA accessible ramp shown and identified on multiple sheets

<u>New and Existing Landscaping &amp; Percentage</u>	Landscaping and irrigation plan provided; landscaping is shown as total of 31.2% (includes "landscape area" and "stamped concrete" area) exceeds 30% as req. by R-4 zone standards in City Code 10-9E-4
Number of trees	53 trees, 624 shrubs, 246 grasses, 276 annuals/perennials, sod, and rock mulch locations shown
Landscape plan showing all planting, hardscaping, berming, and watering	Shown on landscaping plan
Xeriscaping alternatives being considered	Yes, shown on landscaping plan
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Existing fences identified on C100 and C200; new fences planned for site and shown on site plan
Materials proposed for construction	New chain link fence material anticipated for public facilities
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	Not shown, <u>may discuss traffic movement but seems intuitive</u>
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	R-o-w shown and clearly identified
Face of curb lines	Yes, this is shown
Centerline slope	Yes, this is shown
Signing and striping	<u>Any associated signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works;</u>
Light poles	Light poles locations shown on photometric plan
Street lights	Street lights locations shown on photometric plan
Street name signs	Sign locations shown on plans, where applicable; <u>signing installation, if any, should be coordinated with public works dept and paid for by applicant;</u>
Stop signs	Sign locations shown on plans, where applicable; <u>signing installation, if any, should be coordinated with public works dept and paid for by applicant;</u>

UDOT approval (if required for project)	Not applicable to this project
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and defined on sheets C600 and C603 "City Details"; cross sections meet standards of sidewalk standard depth and approach depth
Planting Strip	Shown
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown, <u>defer to City Engineer</u>
Slope of gutter	Shown, <u>defer to City Engineer</u>
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets
Ditches, location and ownership	No ditches or waterways of note
Approval to pipe, reroute or use	Other than future City approval, unknown if other approval required; <u>defer to City Engineer</u>
Calculations for retention system	Storm runoff and retention calcs shown on "Storm Drain Report" document; <u>defer to City Engineer</u>
Method of storm water clean-up	Shown on sheets C700 and C701; <u>defer to Public Works Director</u>
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Water meter locations shown on sheet C400: water meter size is 3", type per public works; Location of new and existing valves shown; Existing and new fire hydrants shown
<u>New and Existing Gas Lines</u>	
Size and type	Existing and new gas lines size and type location shown on C400
<u>New and Existing Electrical Lines</u>	

Size, location, and type	Existing location shown; new electrical lines size and type location in project noted per direction of electrical company for new on-site locations
Location of power poles	Location of existing power pole locations shown; no new poles anticipated for project
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	<u>Existing location not shown, if applicable; new telephone lines size and type location in project noted per direction of electrical company for new on-site locations</u>
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	<u>Existing and new cable TV lines size and type location in project not shown, deemed to be not applicable to this project at this time</u>
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Shown on sheet C600 for asphalt install cross section; <u>defer to City Engineer</u>
Cross section of curb and gutter (standard 30" high back)	Shown on sheet C600 "City Details"; <u>defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	Locations shown on sheet C300, cross section shown on C601 "Drainage Details"; bicycle safe grates clearly identified; <u>defer to City Engineer</u>
Cleanout box	Shown on C601; <u>defer to City Engineer</u>
Thrust blocking	Shown where applicable on "City Details" sheets; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	May not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Provided as prepared by CMT Engineering on February 6, 2023
Drainage and runoff calculations	Storm runoff and retention calcs shown on "Storm Drain Report" document; <u>defer to City Engineer</u>
Water right transfer documentation	<u>Applicant needs to show proof of transfer to Public Works or other water solutions provided; defer to PW Director</u>
Copy of protective covenants, codes, and regulations for development	No CCR's anticipated for this project; there may be lease agreements for apartment use in the future
Three large full set of plan drawings (24x36), one full set of plan drawings (11x17 sized), and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Yes, these have been provided; DRC approval provided on June 7, 2023 for elevation drawings, landscaping, and signage elements

Corp of Engineers approval (if required)	Not applicable or required
Zoning compliance	Yes, Multiple-Family Residential (R-4) meets intended uses for site design
RDA compliance (if applicable)	Not applicable in this matter
Use compliance	Yes, site designed for Multiple-Family Residential homes at R-4 zoning density for apartments use
Engineering comments and letter of approval recommendation	City Engineer, Public Works, Fire Dept, and Police Dept comments provided
Traffic study	Not directly applicable to this project
All Planning Commission and City Staff conditions for approval have been met	<u>Currently consideration of Final Subdivision Plat and Site Plan submission being reviewed for Council approval</u>

## DEPARTMENTAL STAFF REPORTS – 7/20/2023 to 7/27/2023

**From:** Shawn Douglas  
**Sent:** Thu 7/27/2023 3:35 PM  
**To:** Mike Eggett  
**Subject:** Riverside Flats

Mike,

I have included my review comments for Riverside Flats. Thanks

### **Plan Review For Riverside Flats**

#### **Storm Water**

1-Notice of intent filed with state prior to starting construction.

#### **Water**

1--Provide water shares that will be used to meet water requirements prior to building permit being issued.

***Shawn Douglas***

Riverdale City Public Works

801-394-5541 ext 1217

[Sdouglas@Riverdalecity.com](mailto:Sdouglas@Riverdalecity.com)

---

**From:** Scott Brenkman  
**Sent:** Thu 7/20/2023 3:15 PM  
**To:** Mike Eggett  
**Subject:** RE: Review comments needed for Riverdale Flats Apts Final Site Plan and Subdiv submit - link for docs

I do not have any concerns.

Chief Scott Brenkman  
Riverdale Police Department  
4580 S. Weber River Dr.  
Riverdale, UT 84405  
(801)394-6616  
[sbrenkman@riverdalecity.com](mailto:sbrenkman@riverdalecity.com)

---

**From:** Jared Sholly

**Sent:** Thu 7/27/2023 10:48 AM

**To:** Mike Eggett

**Subject:** Re: City Council Meeting - Riverside Flats Updated Plan Set

I am good with the FDC and the new placement of the hydrant.

Thanks,

***Jared Sholly***

***Fire Chief***

***Riverdale City Fire Department***

***Office 801-394-7481***

***Cell 801-628-6562***



27 July 2023

Riverdale City  
4600 South Weber River Drive  
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director  
Proj: **Riverside Flats – 700 West & 4400 South Street**  
Subj: Plat, Improvement Drawings and Engineer's Estimate Review – Recommend Approval

Dear Mike,

I have completed my review of the recently submitted Plat and Improvement drawings, in regards to my last review on May 18<sup>th</sup>, 2023. In my opinion the drawings now reflect the Standards of Riverdale City.

I herewith recommend engineering approval of the Plat and Improvement drawings as submitted.

I also reviewed the recently submitted "Engineers Cost Estimate" prepared by Wright Development Group for the required Public Improvements for the above referenced Project. I agree with the "Engineers Cost Estimate" for the quantities and costs associated with the installation of the required public improvements.

In my opinion the "Engineers Estimate – Escrow Amount" including the 10% warranty amount should be \$44,495.94.

Should you have any questions, feel free to contact our office.

Sincerely,  
**CEC, Civil Engineering Consultants, PLLC.**



R. Todd Freeman, S.E., P.E.  
*City Engineer*

Cc. Shawn Douglas, Riverdale City Public Works Director



# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
Acct #10-34-1500

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2023-01 DATE SUBMITTED: Jan. 27, 2023

APPLICANT'S NAME: Wright Development, Logan Johnson

ADDRESS: 1178 West Legacy Crossing Blvd, Centerville, UT 84014

PHONE: 801.773.7339

ADDRESS OF SITE: 801.773.7339

691 W 4400 S, portion of 671 W 4400 S, SEC of 4400S & 700 W  
APPLICANT'S INTEREST: See Lot 1 on Preliminary Plat

Application is hereby made to the Riverdale City Planning Commission requesting that a

residential subdivision consisting of 2 lots be approved on 8.02 acres of  
(number of lots) (sq. ft./acreage)

property in the R-4/RMH-1 zone in accordance with the attached site plan.

Logan Johnson  
Signature of Applicant

[Signature]  
Signature of Property Owner

I authorize Logan Johnson, Wright Development to act as my representative in all matters relating to this application.

[Signature]  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$150 per lot/unit = 153 apt units

Fee: \$ 22,950

Date paid: January 27, 2023

Planning Commission sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 2/14/2023 <sup>Relm.</sup> 5/23/2023 <sup>Final Pa.</sup>

Decision of Commission: Approved; Rec. Council approval resolve outstanding concerns Staff + engineer

City Council sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

City Council scheduled to hear this application for site plan approval on:

Date: 8/1/2023

Decision of Council: \_\_\_\_\_



# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
Acct #10-34-1500

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2023-01 DATE SUBMITTED: Jan 27, 2023

APPLICANT'S NAME: Wright Development, Logan Johnson

ADDRESS: 1178 West Legacy Crossing Blvd, Centerville, UT 84014

PHONE: 801.773.7339

ADDRESS OF SITE: 801.773.7339

691 W 4400 S, portion of 671 W 4400 S, SEC of 4400S & 700 W  
APPLICANT'S INTEREST: See Lot 1 on Preliminary Plat

Application is hereby made to the Riverdale City Planning Commission requesting that a

residential subdivision consisting of 2 lots be approved on 8.02 acres of  
(number of lots) (sq. ft./acreage)

property in the R-4/RM-1 zone in accordance with the attached site plan.

Logan Johnson  
Signature of Applicant

[Signature]  
Signature of Property Owner

I authorize Logan Johnson, Wright Development to act as my representative in all matters relating to this application.

[Signature]  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$150 per lot/unit = 153 apartment units

Fee: \$ 22,950

Date paid: January 27, 2023

Planning Commission sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 2/14/2023 <sup>Prelim</sup> 5/23/2023 <sup>Final Rec.</sup>

Decision of Commission: Approved; Rec. Council approval, subject resolving outstanding concerns staff + engineer

City Council sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

City Council scheduled to hear this application for site plan approval on:

Date: 8/1/2023

Decision of Council: \_\_\_\_\_





# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
Acct #10-34-1500

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2023-01 DATE SUBMITTED: Jan. 27, 2023

APPLICANT'S NAME: Wright Development, Logan Johnson

ADDRESS: 1178 West Legacy Crossing Blvd, Centerville, UT 84014

PHONE: 801.773.7339

ADDRESS OF SITE: 801.773.7339

691 W 4400 S, portion of 671 W 4400 S, SEC of 4400S & 700 W  
APPLICANT'S INTEREST: See Lot 1 on Preliminary Plat

Application is hereby made to the Riverdale City Planning Commission requesting that a

residential subdivision consisting of 2 lots be approved on 8.02 acres of  
(number of lots) (sq. ft./acreage)

property in the R-4/RMH-1 zone in accordance with the attached site plan.

Logan Johnson  
Signature of Applicant

[Signature]  
Signature of Property Owner

I authorize Logan Johnson, Wright Development to act as my representative in all matters relating to this application.

[Signature]  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$150 per lot/unit = 153 apt units

Fee: \$ 22,950

Date paid: January 27, 2023

Planning Commission sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 2/14/2023 <sup>Prelim.</sup> 5/23/2023 <sup>Final Dec.</sup>

Decision of Commission: Approved; Rec. Council approval, resolve outstanding concerns staff + engineer

City Council sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

City Council scheduled to hear this application for site plan approval on:

Date: 8/1/2023

Decision of Council: \_\_\_\_\_

RIVERDALE CITY CORPORATION  
4600 SOUTH WEBER RIVER DRIVE  
RIVERDALE UT 84405

394-5541

Receipt No: 15.554273

Jan 27, 2023

WRIGHT DEVELOPMENT

Previous Balance: .00

MISCELLANEOUS - 691 W 4400 S 22,950.00

10-34-1500 ZONING & SUB. FEES

Total: 22,950.00

CHECK NO: 3040 22,950.00

Total Applied: 22,950.00

Change Tendered: .00

01/27/2023 12:34 PM



**Riverdale  
City**

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
Acct #10-36-9000

**CONDITIONAL USE PERMIT  
APPLICATION**

DATE 05/03/2023  
ADDRESS OF SITE 691 W 4400 S, portion of 671 W 4400 S, SEC of 4400S & 700 W  
APPLICANT'S NAME Wright Development, Logan Johnson  
ADDRESS 1178 West Legacy Crossing Blvd, Centerville, UT 84014  
PHONE NUMBER 801.773.7339

NOTE: Plans: Detailed location, site and building plans shall accompany the completed application forms provided by the city. For structures in existence, only a location plan need be provided.

☒ SITE PLAN RECEIVED ☐ BUILDING PLANS RECEIVED

Present Zoning of the Property: R-4, C-3 Present Use of the Property: Trailer Park  
Acreage of the Property: 8.02 Width of Property on the Street: \_\_\_\_\_  
Proposed Conditional Use of Property: Over 25 Dwelling Units

SIGNED: Logan Johnson DATE: 5/4/2023

I authorize Logan Johnson to act as my representative in all matters relating to this application.

[Signature]  
OWNER

Wright Development, Logan Johnson  
AGENT AS AUTHORIZED BY OWNER

**PLANNING COMMISSION SCHEDULED TO HEAR THIS APPLICATION FOR CONDITIONAL USE ON:**

DATE: 5/23/2023 DECISION OF COMMISSION: Approved  
SIGNATURE OF CHAIRPERSON: [Signature] DATE: 5/23/2023

**PLANNING COMMISSION PUBLIC HEARING:**

DATE: \_\_\_\_\_ DECISION OF COMMISSION: N/A  
SIGNATURE OF CHAIRPERSON: N/A DATE: \_\_\_\_\_

**Fee \$75.00 Date Paid: 5-8-2023 Receipt No. 197492446**



**Riverdale City**  
 4600 South Weber River Drive  
 Riverdale, UT 84405  
 (801) 394-5541

XBP Confirmation Number: 144117292

Transaction detail for payment to Riverdale City.		Date: 05/08/2023 - 11:44:55 AM MT	
Transaction Number: 197492446			
Visa — XXXX-XXXX-XXXX-5669			
Status: Successful			
Account #	Item	Quantity	Item Amount
10369000	Zoning ampamp Subdiv. Fee	1	\$75.00
Notes: CONDITIONAL USE PERMIT 691 W 4400 S			

**TOTAL: \$75.00**

**Billing Information**  
 LOGAN JOHNSON

84405

Transaction taken by: Admin cjacobsen



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**Riverside Flats Engineers Estimate****7/27/2023****ROW Improvements**

Close existing accesses	3 ea	\$3,500.00	\$10,500.00
Asphalt Paving & Base	950 SF	\$9.75	\$9,262.50
Curb & Gutter	82 LF	\$38.00	\$3,116.00
Sidewalk	410 SF	\$9.50	\$3,895.00
Water Connection	2 ea	\$4,500.00	\$9,000.00
5' SSMH	1 EA	\$6,500.00	\$6,500.00
UTA Bus Stop Relocation	1 EA	\$5,000.00	\$5,000.00

ROW Improvements Subtotal			<b>\$36,773.50</b>
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10% Contingency			<b>\$3,677.35</b>
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<b>TOTAL</b>			<b>\$40,450.85</b>
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To: Riverdale City

Date: 6/16/2023

Subject: Riverdale Apartments

To whom it may concern:

**Comment:** The site is now a retention basin please provide for free board on retention structure and emergency overflow.

**Response:** This detention basin design is not solely a retention basin. There is slope in the bottom of the basin with an orifice plate placed above the bottom of the basin. The lower 10,000 +/- c.f. of water will be retained, while the upper 10,000 +/- will be detained.

**Comment:** Hydraulic separator or BMP's to treat storm water before water enters the city/UDOT system.

**Response:** The revised plans show the hydraulic separator and its treatment flow capacities that meet city requirements.

**Comment:** Notice of intent filed with state.

**Response:** This will be provided upon approval of project and prior to a precon.

**Comment:** Retention/Detention structure design and materials shown. There is concern with the retention basin and the current design materials.

**Response:** I am not certain what the concern is. The structure is directly from the city standard details/drawings. If you have any specific material concerns, we can address those.

**Comment:** The traffic control pork chop needs to be redesigned, the current design will allow left turns. Consideration should be given for emergency vehicles in the inlet side of the structure.

**Response:** The pork chop has been redesigned and flared out further further to prevent left turn movements. This pork chop has a mountable curb, so that emergency vehicles can traverse over the top of it.

**Comment:** Existing water utilities shown on plans.

**Response:** The existing waterlines are shown on the plans.

**Comment:** Show existing sewer mains and laterals.

**Response:** All known sewer mains and laterals are shown on the plans.

**Comment:** I would agree with the traffic study to not allow left hand turns out of the complex on to 700 West. The design of the pork chop would need further discussion to allow access for fire engines in and out for emergency response.



**Response:** The pork chop has been redesigned and flared out further further to prevent left turn movements. This pork chop has a mountable curb, so that emergency vehicles can traverse over the top of it.

**Comment:** There is an FDC we would like to have moved, so it is not on the main roadway and next to the hydrant to match the others within the complex. We are also concerned about the turning radius. The engine they are using is not our specification. We will get more information on this.

**Response:** The FDC has been relocated. The engine/turning template has been updated to the one you have provided.

**Comment:** Provide Water Supply Analysis.

**Response:** On the Utility Plan (Sheet C400) we provide the water demand and peak demand for this project.

**Comment:** West side entrance does not meet width requirements.

**Response:** With a pork chop design, this is accurate – it is not a standard entrance. The entrance has been widened and designed to have a mountable curb. So if the pork chop needs to be driven over with the fire truck – that can be done.

**Comment:** Slab in dumpster enclosure should be thick enough to withstand the weight of the full dumpster and trash truck while emptying dumpster. Suggest 6" thick slab or rebar reinforcement.

**Response:** Refer to detail C5 on Sheet C600. This meets/exceeds these requirements.

**Comment:** Landscaping according to calculation sheet is only 26% of site. Should be 30% to meet R-4 zoning standards.

**Response:** Refer to the site data table for the stamped and colored concrete that will count towards the landscaping percentage. This will bring it up to 30%.

**Comment:** Traffic study indicates that left turns out of 700 West should be restricted. The "porkchop" shown will not restrict the access. Suggest extending the pork chop to face of curb with access at sidewalk level for pedestrian traffic (We are willing to sit down with developer and explain further if necessary).

**Response:** Pork Chop has been redesigned and is brought to the face of the curb. The flares have also been extended to further restrict left turn movements.

**Comment:** The title block and address indicated on the plat do not match.

**Response:** We have updated the name/address and are consistent on both the plat and civil plans.

**Comment:** The pavement design will need to be updated in the drawings notes.



**Response: The pavement design matches the Geotech Report.**

Comment: A hydrodynamic separator is called out in the notes on the grading plan but is not included in the drawing. Ensure a hydrodynamic separator is included in the system prior to discharge to udot storm drain pipe.

**Response: The separator has been added to the drawings.**

Comment: The storm water on the north entrance is being discharged into the city right of way (ROW). The catch basins on the north end should be moved to ROW line.

**Response: This 0.01 acre area has been regraded to direct the stormwater away from the public ROW.**

Comment: Many areas through out the site will require open faced curbs to drain properly. Those areas need to be indicated on the grading plan.

**Response: These areas of open face curbs are called out on the plans. On the grading plan, there is a note that calls out a hatched curbing area – and specifies it as open face curb.**

Comment: SDCB #7 and SDCB #8 have the same inverts and other information. How is SDCB #8 draining to SDCB #7?

**Response: Good catch. These inverts were in error. They have been updated accordingly to provide the proper flow direction.**

Comment: How is 80th percentile being held on site? Orifice in outlet structure needs to be raised to correct elevation for proper 80th percentile retainage.

**Response: The orifice has been raised in the control box to retain the required amount and discharge the volume above that amount.**

Comment: Storm drain info on grading plan still indicates installation of underground chambers. Needs to be updated.

**Response: You are correct. Noting has been updated accordingly as there is no underground stormtech system.**

Comment: The drainage calculations shown do not match the summary shown.

**Response: The total area, roof area, landscape area and hard surface area in the plans vs the drainage calculations do match.**

Comment: The calculated LID retention is not calculated to the full 0.5-inch per acre for the 5.51 acre site. Retainage should be (10,000 cf.) almost double what is shown

**Response: This has been updated accordingly.**



**HUNT · DAY**  
CIVIL ENGINEERING

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Regards,

*Thomas Hunt*

**Thomas Hunt**

Principal Engineer & Planner

		Comment	Response
Mike	Arch	Date on plat needs to be updated	Date Update
		Show ridge line height.	Ridge Line Height shown
	Planning	Include Private Irrigation	Private irrigation included in landscape plans
		Show new electrical lines	Will comply with electrical company requirements. Draft lines shown.
		show new telephone lines	Will comply with telephone company requirements.
		Show proof of transfer to public works	Will transfer at building permit level.
Shawn D	Storm Water	1 - Drainage system operation and maintenance plan and BMPs approved and recorded with plat.	Will record with Plat.
		The site is now a retention basin, please provide for free board on retention structure and emergency overflow.	Response: This detention basin design is not solely a retention basin. There is slope in the bottom of the basin with an orifice plate placed above the bottom of the basin. The lower 10,000 +/- c.f. of water will be retained, while the upper 10,000 +/- will be detained.
		3 - Hydraulic separator of BMPs to treat storm water before water enters the city/UDOT system. 4 - NOI filed with the state.	Response: The revised plans show the hydraulic separator and its treatment flow capacities that meet city requirements. Will file NOI with grading permit.
	Streets	5 - Retention / Detention structure design and materials shown. There is concern with the retention basin and the current design materials.	K-9 grass no longer specced. Instead, we are using crushed granite.
		1 - The traffic control pork chop needs to be redesigned, the current design will allow left turns. Consideration should be given for emergency vehicles in the inlet side of the structure.	Response: The pork chop has been redesigned and flared out further further to prevent left turn movements. This pork chop has a mountable curb, so that emergency vehicles can traverse over the top of it.
	Water	1 - Existing water utilities shown on plans. 2 - Proposed irrigation system plan.	Response: The existing waterlines are shown on the plans. Irrigation plan included in resubmittal.
		3 - Provide water shares that will be used to meet water requirements.	Will provide at building permit.
	Sewer	1 - Show existing sewer mains and laterals. 2 - A Will Serve letter from Central Weber Sewer Improvement District needs to be provided.	All known sewer mains and laterals are shown on plans.  Will serve letter was provided to the city.
		1 - Landscaping around the current city sign needs to allow for a clear view of the sign.	Landscaping updated to provide clear view of the city sign, and monument sign.
	Other	2 - A detail/spec sheet needs to be provided for the k-9 grass. 3 - Please provide information for landscaping the park strips.	K-9 grass no longer specced. Park strips are now landscaped in landscape plan.
	Fire	Show turning radius for larger fire truck in SW corner of site.	Updated turning radius shown throughout site AND in SW corner.
		Show that the pork chop is mountable for emergency vehicles.	Response: The pork chop has been redesigned and flared out further further to prevent left turn movements. This pork chop has a mountable curb, so that emergency vehicles can traverse over the top of it.
		Move FDC as shown on plans.	Response: The FDC has been relocated. The engine/turning template has been updated to the one you have provided.
		Provide water supply analysis	Response: On the Utility Plan (Sheet C400) we provide the water demand and peak demand for this project.
Todd		West side entrance needs to be updated for fire.	Response: With a pork chop design, this is accurate – it is not a standard entrance. The entrance has been widened and designed to have a mountable curb. So if the pork chop needs to be driven over with the fire truck – that can be done.
		1. The point of beginning leader line on the plat is covered by the fence line and doesn't appear to be indicated correctly.	Corrected.
		2. The "Boundary Description" should include the total area below the description.	Updated
		3. The areas shown on the plat do not match the area enclosed by the description.	Should match now.
	Plat	4. Adjacent roadways need to be identified with State Road designation included if applicable.	State road added to riverdale road.
		5. Dates on the plat need to be updated.	Dates updated.
		6. New lots should have a minimum of 10-foot PUE added along all boundaries of subdivision including roadway frontage.	PUE added.
		7. Proposed buildings are over existing easements. Are easements being vacated, if so where are they indicated?	Note added that easements to be superceded.
		8. The vicinity map needs to show the correct location.	Vicinity Map Corrected.
		9. Suggest removal of all notes not pertaining to easements and plat information (power pole, storm drain callouts, sewer callouts, etc) to make plat more readable.	Removed.
		1. Slab in dumpster enclosure should be thick enough to withstand the weight of the full dumpster and trash truck while emptying dumpster. Suggest 6" thick slab or rebar reinforcement.	Response: Refer to detail C5 on Sheet C600. This meets/exceeds these requirements.



	2. Landscaping according to calculation sheet is only 26% of site. Should be 30% to meet R-4 zoning standards.	Site data table shows the stamped concrete as a separate line item. That combined with the other landscaped area are 31.2%.
	3. Landscaping plans need to have irrigation plan and connection details added to the plans.	Details shown on the plans.
	4. Traffic study indicates that left turns out of 700 W should be restricted. The "porkchop" shown will not restrict the access. Suggest extending the pork chop to face of curb with access at sidewalk level for pedestrian traffic. (We are willing to sit down with developer and explain further if necessary).	Response: Pork Chop has been redesigned and is brought to the face of the curb. The flares have also been extended to further restrict left turn movements.
	5. The title block and address indicated on the plat do not match.	Response: We have updated the name/address and are consistent on both the plat and civil plans.
	6. The "Geotechnical Report" submitted must be followed: The pavement design will need to be updated in the drawing notes.	Response: The pavement design matches the Geotech Report.
	7. Culinary Water Issues: Need to provide a detail for installation of the backflow preventer. An irrigation plan needs to be provided for the site showing connections to the backflow device.	Irrigation plan provided.
	8. Grading and Drainage Issues:	
Improvement Plans.	A hydrodynamic separator is called out in the notes on the grading plan but is not included in the drawing. Ensure hydrodynamic separator is included in the system prior to discharge to UDOT storm drain pipe. The storm water on the north entrance is being discharged into the city right of way. The catch basins on the north end should be moved to ROW line.	Response: The separator has been added to the drawings. Response: This 0.01 acre area has been regraded to direct the stormwater away from the public ROW.
	Many areas throughout the site will require open face curbs to drain properly. Those areas need to be indicated on the grading plan.	Response: These areas of open face curbs are called out on the plans. On the grading plan, there is a note that calls out a hatched curbing area – and specifies it as open face curb.
	SDCB #7 and SDCB #8 have the same inverts and other information. How is SDCB #8 draining to SDCB #7? Note storm water will pool in parking lot prior to reaching emergency overflow grate on the pond. Storm drain info on grading plan still indicates installation of underground chambers. Needs to be updated.	Response: Good catch. These inverts were in error. They have been updated accordingly to provide the proper flow direction. Response: You are correct. Noting has been updated accordingly as there is no underground stormtech system.
	The drainage calculations shown do not match the summary shown. The calculated LID retention is not calculated to the full 0.5-inch per acre for the 5.51 acre site. Retention should be (10,000 cf.) almost double what is shown.	Updated. Updated. Response: This has been updated accordingly.
	A letter from UDOT approving connection to their storm water pipe or correspondence as to acceptance, is required.	UDOT sent an email. That's as far as they would go prior to city approval. That email was included in our last submittal.
	The artificial turf in the detention pond says "K9 grass or similar"; a note needs to be added that if something other than K9 grass is used, it needs to be reviewed and approved by the city. Also the grass needs to be installed with stainless steel staples/anchors to ensure longevity.	Crushed Granite will be used.
	9. Storm water protection plan issues: Vicinity my shown on the SWPPP is incorrect.	Corrected.

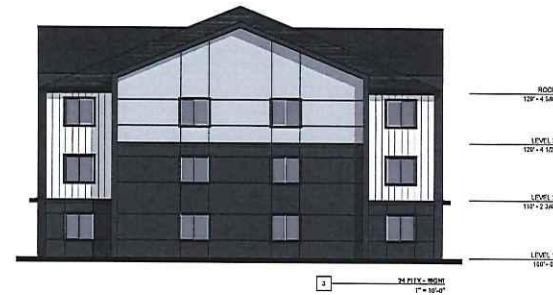
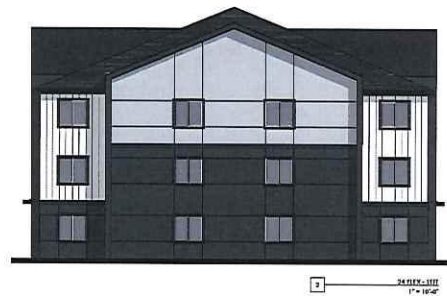


## RIVERSIDE FLATS

RIVERDALE, UT

JULY 13, 2023





# RIVERSIDE FLATS

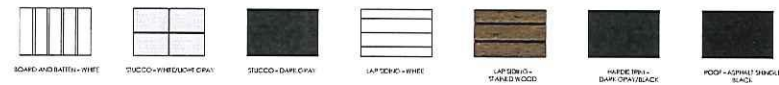
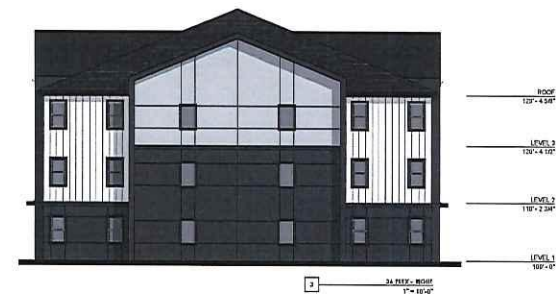
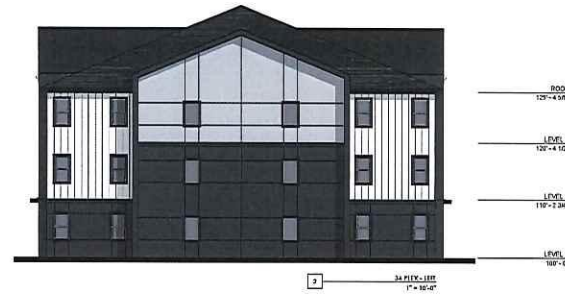
24 PLEX ELEVATIONS | A1

RIVERDALE, UT

JULY 12, 2022





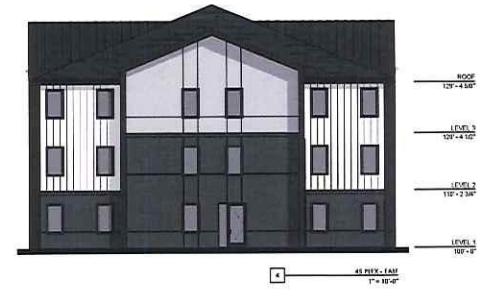
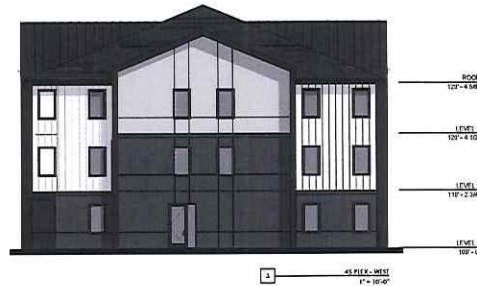


# RIVERSIDE FLATS

36 PLEX ELEVATIONS | A2

RIVERDALE, UT  
JULY 11, 2023



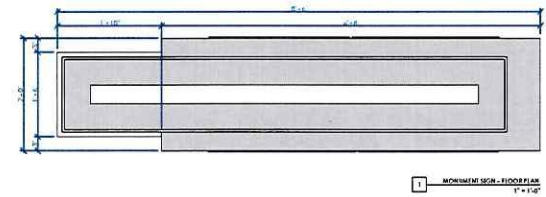
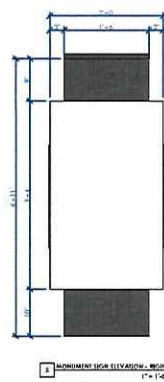
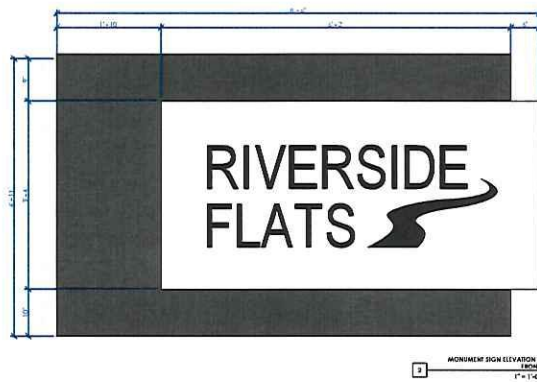
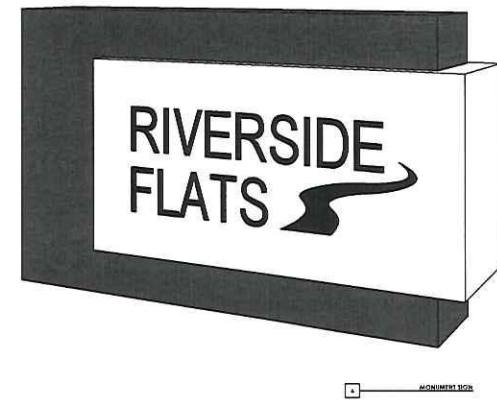
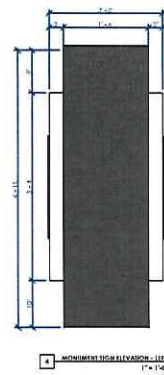
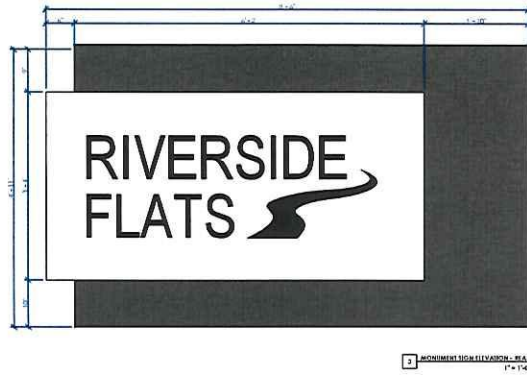


# RIVERSIDE FLATS

45 PLEX ELEVATIONS | A4  
RIVERDALE, UT  
JULY 12, 2023







RIVERSIDE FLATS  
DESIGNED BY: EAG ARCHITECTURAL GROUP, LLC, 2022

MONUMENT SIGN | A8  
RIVERSIDE, UT  
JAN 13, 2023

EAG  
ENVISION ARCHITECTURAL GROUP



# Riverdale Apartments

## Storm Drainage Report Storm Drainage Basin Pond Sizing

Prepared for:

Wright Development Group  
Spencer Wright  
1178 W. Legacy Crossing Blvd Suite 100  
Centerville, UT  
801.773.7339



Prepared by:

Hunt Day Engineering  
3445 Antelope Drive, St 200  
Syracuse, UT 84075  
801.664.4724  
Thomas Hunt, PE



Original: January 27, 2023

January 27, 2023

Mike Eggett  
Riverdale City  
4600 South Weber River Drive  
Riverdale, UT 84405  
(801) 394-5541

Subject: Storm Drainage Report

1 - General Site Information

Wright Development Group is planning on developing the parcel located on the South East corner of 700 West and 4400 South in Riverdale, UT . The area that is to be developed is 5.51 acres in size. The development will be apartment complex buildings with open/amenity spaces and asphalt surface parking. The parcel will be developed in one phase.

The site is currently a trailer park with no existing detention/retention system, but it is piped directly to the Weber River.

This drainage report covers the design to construct a new retention/detention basin that will be subsurface in a stormtech chamber system. The stormwater basin has been sized to accommodate the entirety of the new development to meet the city LID requirements by having the bottom of the basin act as a retention basin, while the top of the basin being directed to the Weber River via an orifice plate that restricts the stormwater at 0.2cfs/acre.

The storm drain system will also be equipped with a Barricuda S6 system that will remove 80% of the TSSD, to further meet the city LID requirements.

2- Onsite Storm Drainage Generation

The new development has been designed to surface flow the rainfall via curb and gutter to strategically located inlet boxes spread throughout the development. The storm drain inlets, pipes and detention basin are sized to collect and convey storm runoff flows generated by the 100-year storm event. The design storm intensities are from NOAA Atlas 14 for the Riverdale, UT area and are as follows below:

Duration (min)	100-Yr Storm Intensity (in/hr)
5	6.86
10	5.23
15	4.32
30	2.91
60	1.80
120	1.00
180	0.68
360	0.38
720	0.23
1440	0.13

The storm drainage analysis is completed using the rational method, using the rational formula:

$$Q = C * i * A$$

Where;

Q = Design flow in cubic feet per second (cfs)

C = Rational coefficient.

i = Rainfall intensity in inches per hour (in/hr)

A = Drainage area in acres (Ac)

### 3 – Runoff Coefficients

Runoff coefficients in the Rational Equation (C) represent the percentage of water generated from the design storm event precipitation that will contribute to the runoff from a specific type of ground cover. This means that impermeable surfaces such as asphalt streets and concrete driveways contribute a larger percent of storm precipitation as runoff that do grass area or gravel roads.

The proposed development is divided into 3 surface types and their proposed C values are shown below:

Paved Areas – 0.90 | 130,245 SF  
 Roof Areas – 0.90 | 47,610 SF  
 Grass/Landscape Areas – 0.20 | 62,160 SF

This gives a development C-Value of 0.72.

### 4- Detention

Based upon the runoff coefficient and the 100-year storm event mentioned above and using the rational method, the volume of water has been calculated. Using a release rate of 0.2 cfs/acre against the volume of water generated, the amount of stormwater that is required to be detained has been calculated. The volume of water is 21,954 cubic feet.

The type of detention system is utilizing a subsurface stormtech system. Its details and operation and maintenance processes are found in the appendix.

Calculations and details are included below in the Appendix.

### 5 – Retention

The subsurface retention basin has been sized to accommodate the 80<sup>th</sup> Percentile Rainfall Event which has been equated to be 0.5 inches of stormwater. Across the entire property of 5.51 acres, the amount of stormwater to be detained is 5,385 cubic feet. Based up on the stage-storage curve of the MC-3500 chamber system, the volume of 5,385 is just above the bottom of the chamber system (volume found in the voids of the stone under the chamber system)

The type of retention system is utilizing a subsurface stormtech system. Its details and operation and maintenance processes are found in the appendix.

Calculations and details are included below in the Appendix.

### 6- LID Measures

Riverdale City requires that this project is designed to meet the Low Impact Development requirements of retaining the 80<sup>th</sup> percentile storm event. In addition to the retention volume mentioned above, two Barricuda S6 systems will be utilized on the storm drain system to remove the 80% TSSD requirements prior to the stormwater reaching the detention system.

Details and flow rates of the Barricuda S-6 system can be found in the Appendix.

### 7- Conclusion

In conclusion, I hereby certify that this report for the onsite drainage of this development was prepared by me (or under my direct supervision) in accordance with the provisions of the Riverdale City Standard Specifications and Drawings and was designed to comply with the provisions thereof. I understand that the City assumes no responsibility or liability whatsoever for this report.

Sincerely,

Thomas Hunt, PE



Hunt Day Engineer  
3445 Antelope Drive, St 200  
Syracuse, UT 84075  
801.664.4724





## APPENDIX

# Storm Runoff Calculations

## Riverdale Apartments

12/20/2022 T.J.H

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the Riverdale, UT area taken from the NOAA Atlas 14 database, using a 100-year storm for detention, and a 10 - year storm for pipe conveyance. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.2 cfs/acre.

The calculations are as follows:

### Drainage Area:

Total Area =	5.51 acre or	240,016 ft <sup>2</sup>	
Runoff Coefficients			
Paved Area	130,245	C = 0.9	
Landscaped Area	62,160	C = 0.2	
Roof	47,610	C = 0.9	
Weighted Runoff Coefficient		C = 0.72	

### Rainfall Intensities:

10-yr intensity for a 10 minute TOC - Pipe Capacity	2.65	in/hr
---	------	-------

### Peak Run-off:

Runoff Coefficient	C =	0.72
Rainfall Intensity	i =	2.65 IN./HR.
Acreage	A =	5.51 ACRES
<b>Q</b>	<b>Q =</b>	<b>10.51 cfs</b>

### LID Retention:

80th Percentile Rainfall Event	0.5 in
Is the Site Feasible?	Yes
Site Imperviousness	0.74
NRCS Soil Group	A
Rv Equation	$0.84i^{1.302}$
Rv	0.538
Vgoal	5,385 c.f.

### Volume of Run-off for 100-year Storm Event:

C =	0.72					
I =	See Below in/hr					
A =	240015.60 ft <sup>2</sup>					
Q(out) =	1.10 ft <sup>3</sup> /s	(0.2 cfs per acre)				
time (min)	time (sec)	i (in./hr.)	Q (cfs)	Vol. in (cf)	Vol. out (cf)	Difference (cf)
0	0	0.00	0.00	0	0	0
5	300	6.86	27.44	8233	331	7902
10	600	5.23	20.92	12553	661	11892
15	900	4.32	17.28	15553	992	14561
30	1800	2.91	11.64	20953	1984	18970
60	3600	1.80	7.20	25922	3967	21954
120	7200	1.00	4.00	28802	7934	20867
180	10800	0.68	2.72	29378	11902	17476
360	21600	0.38	1.52	32834	23803	9031
720	43200	0.23	0.92	39747	47606	-7860
1440	86400	0.13	0.52	44931	95213	-50282

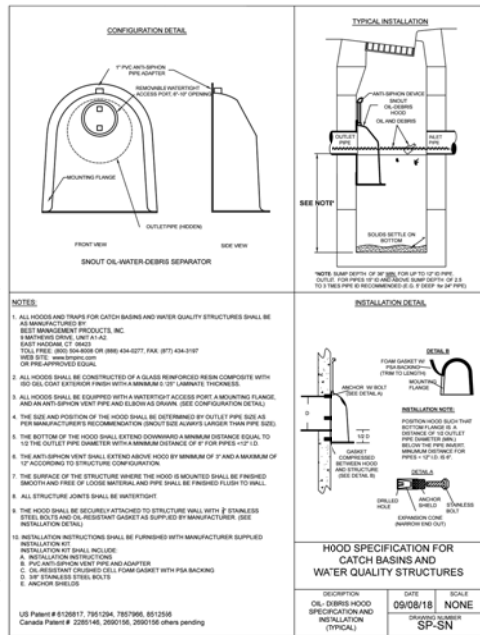
### Orifice Sizing

Given:	Q =	1.10	cfs
	2g =	64.4	ft/s <sup>2</sup>
	H =	3.00	ft
	Cd =	0.62	for circular openings
	R =	$\text{SQRT}(Q/\pi/(0.7*(64.4*H)^{0.5}))$	
	R =	0.20	feet
		2.42	inches
	D =	4.84	inches
	A =	18.42 inches ^2	0.1279 ft ^2

### SUMMARY:

LID required Retention Volume is	5,385	cubic feet
The required Detention storage volume is	16,570	cubic feet
	(difference between 100-year storm and LID retention)	
Orifice size is	4.8	inches









THE S3, S4, S6, AND S8 CAN BE INSTALLED IN A STANDARD 36" (900 mm), 48" (1200 mm), 72" (1800 mm), AND 96" (2400 mm) PRECAST MANHOLE, RESPECTIVELY. THE S3 AND S4 CAN BE PROVIDED FACTORY INSTALLED WITHIN A 36" (900 mm) AND 48" (1200 mm) ADS HP MANHOLE AND DELIVERED TO THE JOBSITE.



\* PER CHAMBER LOADING RATES BASED ON NJCAT VERIFICATION TESTING OF THE STORMTECH SC-740 ISOLATOR ROW PLUS IN ACCORDANCE WITH NJDEP LABORATORY PROTOCOL TO ACCESS TOTAL SUSPENDED SOLIDS REMOVAL BY FILTRATION MANUFACTURED TREATMENT DEVICES. 2013.



- SINGLE MANHOLE DESIGN
- VARIABLE INLET/OUTLET ANGLE CONFIGURATIONS (NOT JUST 180 DEGREE ORIENTATION)
- INTERNAL BYPASS FOR INLINE INSTALLATION (WHERE APPLICABLE)
- ALL UNITS CAN BE INSTALLED INTO A STANDARD PRECAST MANHOLE
- 3' & 4' UNITS CAN BE FACTORY FABRICATED IN HP MANHOLES FOR QUICK DELIVERY WITH A LIGHT, EASY TO INSTALL STRUCTURE
- IN-STOCK COMPONENTS FOR QUICK DELIVERY
- NO ELEVATION LOSS BETWEEN THE INLET AND OUTLET
- SURFACE INSPECTION AND MAINTENANCE WITH NO CONFINED SPACE ENTRY
- DESIGNED FOR EASY MAINTENANCE USING A VACUUM TRUCK OR SIMILAR EQUIPMENT
- FIELD ENGINEERS AND INTERNAL ENGINEERING SERVICES DEPARTMENT TO ASSIST ENGINEERING WITH SIZING/DETAILS

<https://www.ads-pipe.com/water-quality-design-tool>

BARRACUDA MAX CAN BE CONFIGURED WITH AN OIL  
POUCH OR TRASH GUARD FOR ENHANCED TREATMENT.

- ENHANCED SEDIMENT REMOVAL BY COMBINING TWO INDUSTRY PROVEN DEVICES
- EXTENDED MAINTENANCE CYCLES
- EASY TO INSTALL AND CONFIGURE TO SPECIFIC SITE CONSTRAINTS
- ONLINE DESIGN TOOLS ALLOW DESIGNERS TO EASILY CREATE LAYOUTS AND DETAILS

- LARGE FAMILY OF CHAMBERS TO FIT YOUR SITE
- EASILY CONFIGURABLE FOR IRREGULAR SHAPED BEDS
- MEETS PRODUCT REQUIREMENTS OF ASTM F2418 AND ASTM F2922 AND DESIGN REQUIREMENTS OF ASTM F2787
- EXCEED ASHTO LRFD DESIGN SPECIFICATIONS FOR HS-20 LIVE LOADS & DEEP BURIAL EARTH LOADS
- PATENTED ISOLATOR ROW PLUS FOR LESS FREQUENT MAINTENANCE, WATER QUALITY AND LONG-TERM PERFORMANCE
- THIRD PARTY VERIFIED PERFORMANCE
- FIELD ENGINEERS AND INTERNAL ENGINEERING SERVICES DEPARTMENT TO ASSIST ENGINEERING WITH LAYOUTS

<https://designtool.ads-pipe.com>



# Isolator<sup>®</sup> Row Plus

## O&M Manual

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# The Isolator<sup>®</sup> Row Plus

## Introduction

An important component of any Stormwater Pollution Prevention Plan is inspection and maintenance. The StormTech Isolator Row Plus is a technique to inexpensively enhance Total Suspended Solids (TSS) and Total Phosphorus (TP) removal with easy access for inspection and maintenance.

## The Isolator Row Plus

The Isolator Row Plus is a row of StormTech chambers, either SC-160, SC-310, SC-310-3, SC-740, DC-780, MC-3500 or MC-7200 models, that is surrounded with filter fabric and connected to a closely located manhole for easy access. The fabric-wrapped chambers provide for sediment settling and filtration as stormwater rises in the Isolator Row Plus and passes through the filter fabric. The open bottom chambers and perforated sidewalls (SC-310, SC-310-3 and SC-740 models) allow stormwater to flow both vertically and horizontally out of the chambers. Sediments are captured in the Isolator Row Plus protecting the adjacent stone and chambers storage areas from sediment accumulation.

ADS geotextile fabric is placed between the stone and the Isolator Row Plus chambers. The woven geotextile provides a media for stormwater filtration, a durable surface for maintenance, prevents scour of the underlying stone and remains intact during high pressure jetting. A non-woven fabric is placed over the chambers to provide a filter media for flows passing through the chamber's sidewall. The non-woven fabric is not required over the SC-160, DC-780, MC-3500 or MC-7200 models as these chambers do not have perforated side walls.

The Isolator Row Plus is designed to capture the "first flush" runoff and offers the versatility to be sized on a volume basis or a flow-rate basis. An upstream manhole provides access to the Isolator Row Plus and includes a high/low concept such that stormwater flow rates or volumes that exceed the capacity of the Isolator Row Plus bypass through a manifold to the other chambers. This is achieved with an elevated bypass manifold or a high-flow weir. This creates a differential between the Isolator Row Plus row of chambers and the manifold to the rest of the system, thus allowing for settlement time in the Isolator Row Plus. After Stormwater flows through the Isolator Row Plus and into the rest of the chamber system it is either exfiltrated into the soils below or passed at a controlled rate through an outlet manifold and outlet control structure.

The Isolator Row FLAMP<sup>™</sup> (patent pending) is a flared end ramp apparatus attached to the inlet pipe on the inside of the chamber end cap. The FLAMP provides a smooth transition from pipe invert to fabric bottom. It is configured to improve chamber function performance by enhancing outflow of solid debris that would otherwise collect at the chamber's end. It also serves to improve the fluid and solid flow into the access pipe during maintenance and cleaning and to guide cleaning and inspection equipment back into the inlet pipe when complete.

The Isolator Row Plus may be part of a treatment train system. The treatment train design and pretreatment device selection by the design engineer is often driven by regulatory requirements. Whether pretreatment is used or not, StormTech recommend using the Isolator Row Plus to minimize maintenance requirements and maintenance costs.

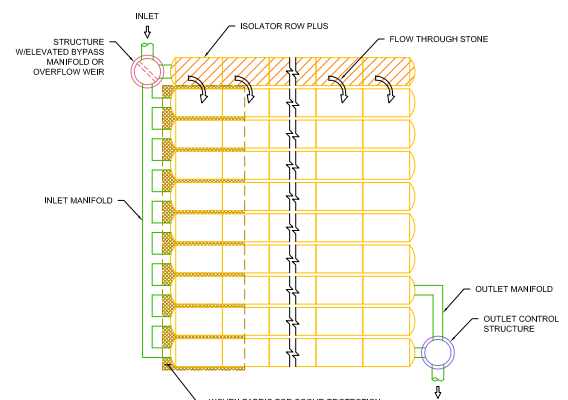
**Note:** See the StormTech Design Manual for detailed information on designing inlets for a StormTech system, including the Isolator Row Plus.



**Looking down the Isolator Row PLUS from the manhole opening, ADS PLUS Fabric is shown between the chamber and stone base.**



**StormTech Isolator Row PLUS with Overflow Spillway (not to scale)**





# Isolator Row Plus Inspection/Maintenance

## Inspection

The frequency of inspection and maintenance varies by location. A routine inspection schedule needs to be established for each individual location based upon site specific variables. The type of land use (i.e. industrial, commercial, residential), anticipated pollutant load, percent imperviousness, climate, etc. all play a critical role in determining the actual frequency of inspection and maintenance practices.

At a minimum, StormTech recommends annual inspections. Initially, the Isolator Row Plus should be inspected every 6 months for the first year of operation. For subsequent years, the inspection should be adjusted based upon previous observation of sediment deposition.

The Isolator Row Plus incorporates a combination of standard manhole(s) and strategically located inspection ports (as needed). The inspection ports allow for easy access to the system from the surface, eliminating the need to perform a confined space entry for inspection purposes.

If upon visual inspection it is found that sediment has accumulated, a stadia rod should be inserted to determine the depth of sediment. When the average depth of sediment exceeds 3 inches throughout the length of the Isolator Row Plus, clean-out should be performed.

## Maintenance

The Isolator Row Plus was designed to reduce the cost of periodic maintenance. By "isolating" sediments to just one row, costs are dramatically reduced by eliminating the need to clean out each row of the entire storage bed. If inspection indicates the potential need for maintenance, access is provided

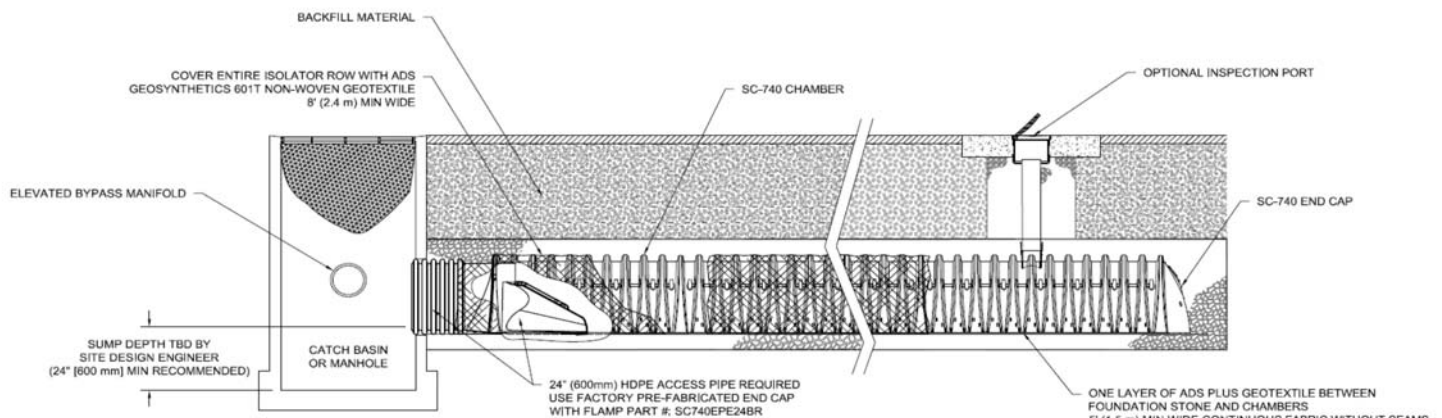
via a manhole(s) located on the end(s) of the row for cleanout. If entry into the manhole is required, please follow local and OSHA rules for a confined space entries.

Maintenance is accomplished with the JetVac process. The JetVac process utilizes a high pressure water nozzle to propel itself down the Isolator Row Plus while scouring and suspending sediments. As the nozzle is retrieved, the captured pollutants are flushed back into the manhole for vacuuming. Most sewer and pipe maintenance companies have vacuum/JetVac combination vehicles. Selection of an appropriate JetVac nozzle will improve maintenance efficiency. Fixed nozzles designed for culverts or large diameter pipe cleaning are preferable. Rear facing jets with an effective spread of at least 45" are best. StormTech recommends a maximum nozzle pressure of 2000 psi be utilized during cleaning. JetVac reels can vary in length. For ease of maintenance, ADS recommends Isolator Row Plus lengths up to 200' (61 m). **The JetVac process shall only be performed on StormTech Isolator Row Plus that have ADS Plus Fabric (as specified by StormTech) over their angular base stone.**



## StormTech Isolator Row PLUS (not to scale)

**Note:** Non-woven fabric is only required over the inlet pipe connection into the end cap for SC-160LP, DC-780, MC-3500 and MC-7200 chamber models and is not required over the entire Isolator Row PLUS.



# Isolator Row Plus Step By Step Maintenance Procedures

## Step 1

Inspect Isolator Row Plus for sediment.

- A) Inspection ports (if present)
  - i. Remove lid from floor box frame
  - ii. Remove cap from inspection riser
  - iii. Using a flashlight and stadia rod, measure depth of sediment and record results on maintenance log.
  - iv. If sediment is at or above 3 inch depth, proceed to Step 2. If not, proceed to Step 3.
- B) All Isolator Row Plus
  - i. Remove cover from manhole at upstream end of Isolator Row Plus
  - ii. Using a flashlight, inspect down Isolator Row Plus through outlet pipe
    - 1. Mirrors on poles or cameras may be used to avoid a confined space entry
    - 2. Follow OSHA regulations for confined space entry if entering manhole
  - iii. If sediment is at or above the lower row of sidewall holes (approximately 3 inches), proceed to Step 2.
    - 2. If not, proceed to Step 3.

## Step 2

Clean out Isolator Row Plus using the JetVac process.

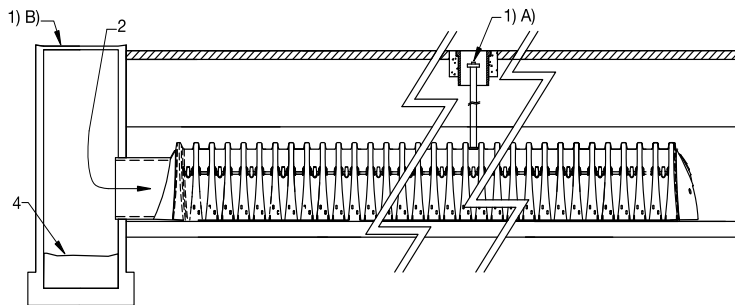
- A) A fixed floor cleaning nozzle with rear facing nozzle spread of 45 inches or more is preferable
- B) Apply multiple passes of JetVac until backflush water is clean
- C) Vacuum manhole sump as required

## Step 3

Replace all caps, lids and covers, record observations and actions.

## Step 4

Inspect & clean catch basins and manholes upstream of the StormTech system.



## Sample Maintenance Log

Date	Stadia Rod Readings		Sedi- ment Depth (1)-(2)	Observations/Actions	Inspector
	Fixed point to chamber bottom (1)	Fixed point to top of sediment (2)			
3/15/11	6.3 ft	none		New installation. Fixed point is CI frame at grade	DJM
9/24/11		6.2	0.1 ft	Some grit felt	SM
6/20/13		5.8	0.5 ft	Mucky feel, debris visible in manhole and in Isolator Row PLUS, maintenance due	NV
7/7/13	6.3 ft		0	System jetted and vacuumed	DJM

adspipe.com

800-821-6710



July 27, 2023

Mr. Logan Johnson  
Wright Development

Re: **Riverside Flats Dog Park**  
**Riverdale UT**

Dear Logan

Staker Parson Materials & Construction is pleased to submit for your review and approval the following Job Mix Gradation for the above-mentioned project.

**Material Source:** Ogden Landscape Yard  
**Material Type:** Chat Apache Brown

Sieve	% Passing	
3/8"	100%	
#4	92%	
#8	74%	
#16	58%	
#30	47%	
#50	39%	
#100	23%	
#200	22.0%	

Suitability Tests	

This is a typical gradation of the above-mentioned material. If you have any questions concerning this letter, please contact me at the Office (801) 409-2575 or Cell (801) 940-6740.

Sincerely  
**Staker Parson Materials & Construction**

Tyler Surrage  
Northern Wasatch Front QC/QA Manager

Cc; Kyle Blanchard SPMC



Ogden Lab PH 801 409 2574  
Ogden Lab FAX 801 409 2777  
2350 S 1900 W, West Haven UT 84401

ROCK PRODUCTS, READY MIX CONCRETE, ASPHALT, PAVING, & CONSTRUCTION

### Project Revisions

1. 12/21/22 TP - SUBMITTAL FOR FIRST REVIEW.
2. 04/20/23 TP - CITY COMMENTS.
3. 06/16/23 TH - CITY COMMENTS.
4. 7/26/23 TH - CITY COMMENTS.

# Riverside Flats

## CIVIL CONSTRUCTION SET

APN# 06-015-0052, 06-015-0030, 06-334-0001, 06-334-0002  
SECTION 7, TOWNSHIP 5 NORTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
RIVERDALE, WEBER COUNTY, UTAH  
MARCH, 2023

### Project Directory

**DEVELOPER:**  
WRIGHT DEVELOPMENT GROUP  
SPENCER WRIGHT  
1178 WEST LEGACY CROSSING BLVD  
CENTERVILLE, UT 84014  
PH: (801) 773-7339

**SURVEYOR:**  
LAYTON SURVEYS  
WILLIS LONG, PLS  
1857 N 1000 W STE. 1,  
CLEARFIELD, UT 84015  
PH: (801) 663-1641

**CIVIL ENGINEER (Project Contact):**  
HUNT DAY  
THOMAS HUNT, PE  
3445 ANTELOPE DRIVE  
SYRACUSE, UT 84075  
PH: (801) 664-4724

**ARCHITECT:**  
ENVISION ARCHITECTURAL GROUP  
GONZALO CALQUIN  
1178 LEGACY CROSSING BLVD  
CENTERVILLE, UT 84014  
PH: (801) 510-2504

**LANDSCAPE ARCHITECT:**  
LAND ARC  
ZACH TAYLOR  
P.O. BOX 92  
125 E. 100 N.  
HEBER CITY, UT 84032  
PH: (435) 669-4414

**PROPERTY OWNER(S):**  
GARFF PROPERTIES LLC  
111 E BROADWAY STE 900  
SALT LAKE CITY UT 84111  
(801) 257-3135  
H & H 39TH STREET LLC  
PO BOX 526412  
SALT LAKE CITY UT 84152  
(801) 773-7339  
SD DEVELOPMENT LLC  
3515 W 2200 N  
PLAIN CITY, UT 84044  
(801) 698-6288

### SITE DATA

LOT 1 ADDRESS: 671 W 4400 S  
LOT 2 ADDRESS: 633 W 4400 S  
LAND USE: MULTI-FAMILY  
ZONING: R-4 RESIDENTIAL

PROPERTY SIZE: 239,949 SF / 5.51 AC  
BUILDING FOOTPRINT: 62,864 SF (26.2%)  
HARD SURFACE AREA: 102,082 SF (42.5%)  
LANDSCAPE AREA: 66,046 SF (27.5%)  
STAMPED CONCRETE: 8,957 SF (3.7%)

NOTE: STAMPED CONCRETE TO BE INCLUDED IN  
HARD SURFACE AMOUNT FOR DRAINAGE REPORT  
& TOWARDS OPEN SPACE AMOUNT IN SITE  
CALCULATIONS.

**UNIT COUNT**  
ONE-BEDROOM: 82  
TWO-BEDROOM: 48  
THREE-BEDROOM: 22  
TOTAL UNITS: 152

**PARKING:**  
263 STALLS REQUIRED  
1.75 STALLS/UNIT  
279 STALLS PROVIDED  
1.83 STALLS/UNIT

### Approving Agency

RIVERDALE CITY  
4600 SOUTH WEBER DRIVE  
RIVERDALE, UTAH 84405

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

### Riverdale City Notes

1. ALL DETERIORATED, DAMAGED, OR MISSING SURFACE IMPROVEMENTS SURROUNDING THE PERIMETER OF THE DEVELOPMENT AND ON-SITE SHALL BE REPLACED OR INSTALLED, I.E. CURB & GUTTER, SIDEWALK, LANDSCAPING PARKING STRIP IMPROVEMENTS, ASPHALT PATCHING, LANDSCAPING REPLACEMENT, SITE LIGHTING, DUMPSTER SCREENING, CONCRETE IMPROVEMENTS, ETC.,...
2. ALL CONSTRUCTION & MATERIALS ARE TO BE PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS, CURRENT EDITION.

### Flood Information

FLOOD ZONE DESIGN 'X' PER F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS 49057C0436F, DATED JUNE 2, 2015.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

### Datum Information

SITE BENCHMARK:  
FOUND BRASS CAP MONUMENT  
CENTER OF SEC. 7, T. 5N., R. 1W., S. 14M., U.S.  
SURVEY DATED 1967  
ELEVATION: 4353.54'

### Geotech Report

DATED:  
CMT GEOTECHNICAL LABORATORIES  
2706 S. REDWOOD ROAD  
WEST VALLEY CITY, UT 84119  
PH: (801) 908-8889

### Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



3445 Antelope Drive, St 200  
Syracuse, UT 84075  
PH: 801-664-4724  
EH: Thomas@HuntDay.co

### Sheet Index

- C001 - Cover Sheet
- C002 - Notes & Legend
- C100 - Existing Conditions
- C200 - Site Plan
- C201 - Fire Access
- C300 - Grading Plan
- C400 - Utility Plan
- C600 - Civil Details
- C601 - Drainage Details
- C602 - Trash Enclosure
- C604 - Civil Details
- C605 - City Details
- C606 - City Details
- C700 - SWPPP Exhibit
- C701 - SWPPP Details

### Agency/Utility Contacts

**PLANNING & ENGINEERING:**  
Community Development  
4600 South Weber River Drive  
Riverdale City, Utah 84405  
Phone: (801) 394-5541

**SEWER / WATER / STORM:**  
Riverdale Public Works  
600 South Weber River Drive  
Riverdale City, Utah 84405  
Phone: (801) 394-5541

**POWER COMPANY:**  
PacifiCorp  
Customer Service Line  
Phone: (888) 221-7070

**TELEPHONE COMPANY:**  
Century Link  
Customer Service Line  
Phone: (844) 574-8124

**FIRE DEPARTMENT:**  
Riverdale City Fire  
4334 South Parker Drive  
Riverdale, Utah 84405  
Phone: (801) 394-7481

**GAS SERVICE:**  
Dominion Energy  
Customer Service Line  
Phone: (866) 366-4357

**CABLE TV:**  
Comcast  
Customer Service Line  
Phone: (800) 934-6489

Vicinity Map  
SCALE: NOT TO SCALE



**RIVERSIDE FLATS**  
671 West & 4400 South  
Riverdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	07-27-23	FINAL SUBMITTAL TO CITY	TH
0	03-31-23	INITIAL SUBMITTAL TO CITY	TP



### VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET, ADJUST  
SCALES ACCORDINGLY.

### PROJECT INFO:

Engineer: T. Hunt  
Drawn: T. Pridemore  
Date: 03 / 20 / 2023  
Proj. No. 102 - 08

SHEET TITLE

### Cover Sheet

SHEET

C001



# GENERAL NOTES

## 1.0 COMPLIANCE

- 1.1 ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- 1.2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, UNREVOKED EDITIONS OF THE FOLLOWING:
- INTERNATIONAL BUILDING CODES (IBC)
  - INTERNATIONAL PLUMBING CODES
  - STATE DRINKING WATER REGULATIONS
  - APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS
  - ADA ACCESSIBILITY REQUIREMENTS
- 1.3 ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

## 2.0 PERMITTING AND INSPECTIONS

- 2.1 PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 2.2 THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- 2.3 ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

## 3.0 COORDINATION AND VERIFICATION

- 3.1 ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 3.2 THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- 3.3 THE CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:
- LANDSCAPE PLANS
  - SITE ELECTRICAL PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S)
  - FIRE PROTECTION
  - ARCHITECTURAL SITE PLANS
  - ACCESSIBLE ROUTES
  - ETC.
- 3.4 THE CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

## 4.0 SAFETY AND PROTECTION

- 4.1 CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- 4.2 CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
- 4.3 CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OR SMO IMPROVEMENTS.
- 4.4 CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- 4.5 IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE AGENCY AND/OR INDIVIDUAL PROPERTY OWNERS(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 4.6 CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADEING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- 4.7 CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- 4.8 CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- 4.9 CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- 4.10 WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- 4.11 CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- 4.12 NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- 4.13 THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

## 5.0 MATERIALS

- 5.1 SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 +/- OR -1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION:
- SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4" DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
  - CONCRETE WATERWAYS, CROWNSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED 1/4" DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
  - UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
  - UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90% MIN. SUBGRADE).
  - ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
  - ALL JOINTS (CONTRACTOR, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT.
  - ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (90%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE.
  - ASPHALT COMPACTION SHALL BE A MINIMUM 98%.
  - SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
  - AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
  - THICKNESS OVER 4" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

## 6.0 GRADING & SOILS

- 6.1 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- 6.2 ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
- 6.3 CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- 6.4 SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- 6.5 ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

## 7.0 UTILITIES

- 7.1 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- 7.2 CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NOT ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS SHOWN FORCE.
- 7.3 CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER POINT IN BUILDING TO THE FIELD VESSEL CONNECTION AT THE EXISTING MAN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 7.4 CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- 7.5 CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.6 SANITARY SEWER MAINS AND LATERALS TO BE CO-CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- 7.7 STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.8 ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- 7.9 ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- 7.10 NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- 7.11 ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

## 8.0 SURVEY CONTROL

- 8.1 CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEY OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
- 8.2 THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- 8.3 CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

## 9.0 AMERICAN DISABILITIES ACT

- 9.1 PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
- ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.
  - ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
  - RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- 9.2 ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- 9.3 THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

## 10.0 EROSION CONTROL

- 10.1 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
- 10.2 CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.
- 10.3 WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
- 10.4 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
- 10.5 ALL ACCESS TO PUBLIC AND FEDERAL RIGHTS-OF-WAYS. THE CONTRACTOR IS REQUIRED TO STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION.

## 11.0 MAINTENANCE

- 11.1 ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.
- 11.2 THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.
- 11.3 SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
- 11.4 SEDIMENT TRACKS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE "SWEEPING" OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.
- 11.5 ANY EXPOSED SLOPE SHALL REMAIN UNDISTURBED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
  - TRACKING STRAW PERPENDICULAR TO SLOPES
  - INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

# Legend

— SW LAT —	= PROPOSED SECONDARY WATER LATERAL	■	= PROPOSED WATER METER	ROW	= RIGHT-OF-WAY
— LD LAT —	= PROPOSED LAND DRAIN LATERAL	■	= EXISTING WATER METER	SD	= STORM DRAIN
— W LAT —	= PROPOSED WATER LATERAL	■	= PROPOSED CATCH BASIN	SS	= SANITARY SEWER
— SS LAT —	= PROPOSED SEWER LATERAL	■	= EXISTING CATCH BASIN	TBC	= TOP BACK OF CURB
— W/8 —	= PROPOSED CULINARY WATER LINE	■	= EXISTING CATCH BASIN	TOA	= TOP OF ASPHALT
— EX.W —	= EXISTING CULINARY WATER LINE	■	= PLUG W/ 2" BLOW-OFF	TCC	= TOP OF CONCRETE
— SW/8 —	= PROPOSED SECONDARY WATER LINE	■	= STREET LIGHT	TOFF	= TOP OF FINISHED FLOOR
— EX.SW —	= EXISTING SECONDARY WATER LINE	■	= SIGN	TOS	= TOP OF STAIRS
— SS/8 —	= PROPOSED SANITARY SEWER LINE	■	= BASEMENT FLOOR ELEVATION	TOW	= TOP OF WALL
— EX.SS —	= EXISTING SANITARY SEWER LINE	■	= BUILDING	TSW	= TOP OF SIDEWALK
— SD/15 —	= PROPOSED STORM DRAIN LINE	■	= BOTTOM OF STAIRS	W	= CULINARY WATER
— EX.SD —	= EXISTING STORM DRAIN LINE	■	= BEGINNING POINT	WM	= WATER METER
— LD/8 —	= PROPOSED LAND DRAIN LINE	■	= CATCH BASIN		
— EX.LD —	= EXISTING LAND DRAIN LINE	■	= CUBIC FEET		
— IRR/18 —	= PROPOSED IRRIGATION LINE	■	= CUBIC FEET PER SECOND		
— EX.IRR —	= EXISTING IRRIGATION LINE	■	= FINISH FLOOR		
— X — X —	= FENCE LINE	■	= FINISH FLOOR ELEVATION		
— — — —	= PROPERTY LINE	■	FG		
— — — —	= 20' SETBACK	■	FI		
— — — —	= EXISTING EASEMENT	■	FL		
— — — —	= TOP OF ENBANKMENT	■	GB		
■	= PROPOSED FIRE HYDRANT	■	INV		
○	= EXISTING FIRE HYDRANT	■	LF		
●	= PROPOSED MANHOLE	■	NG		
○	= EXISTING MANHOLE	■	PP		
●	= PROPOSED SEWER CLEAN-OUT	■	PC		
■	= PROPOSED GATE VALVE	■	PRC		
■	= EXISTING GATE VALVE	■	PUE		
■	= PLUG & BLOCK	■	RCP		
■	= AIR VAC ASSEMBLY	■	RM		



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RIVERSIDE FLATS  
671 West & 4400 South  
Riverdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	02-27-23	FINAL SUBMITTAL TO CITY	TH
0	03-31-23	INITIAL SUBMITTAL TO CITY	TP

SEAL



## VERIFY SCALES

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## PROJECT INFO

Engineer: T. Hunt  
Drawn: T. Pridmore  
Date: 03 / 20 / 2023  
Proj. No. 102 - 08

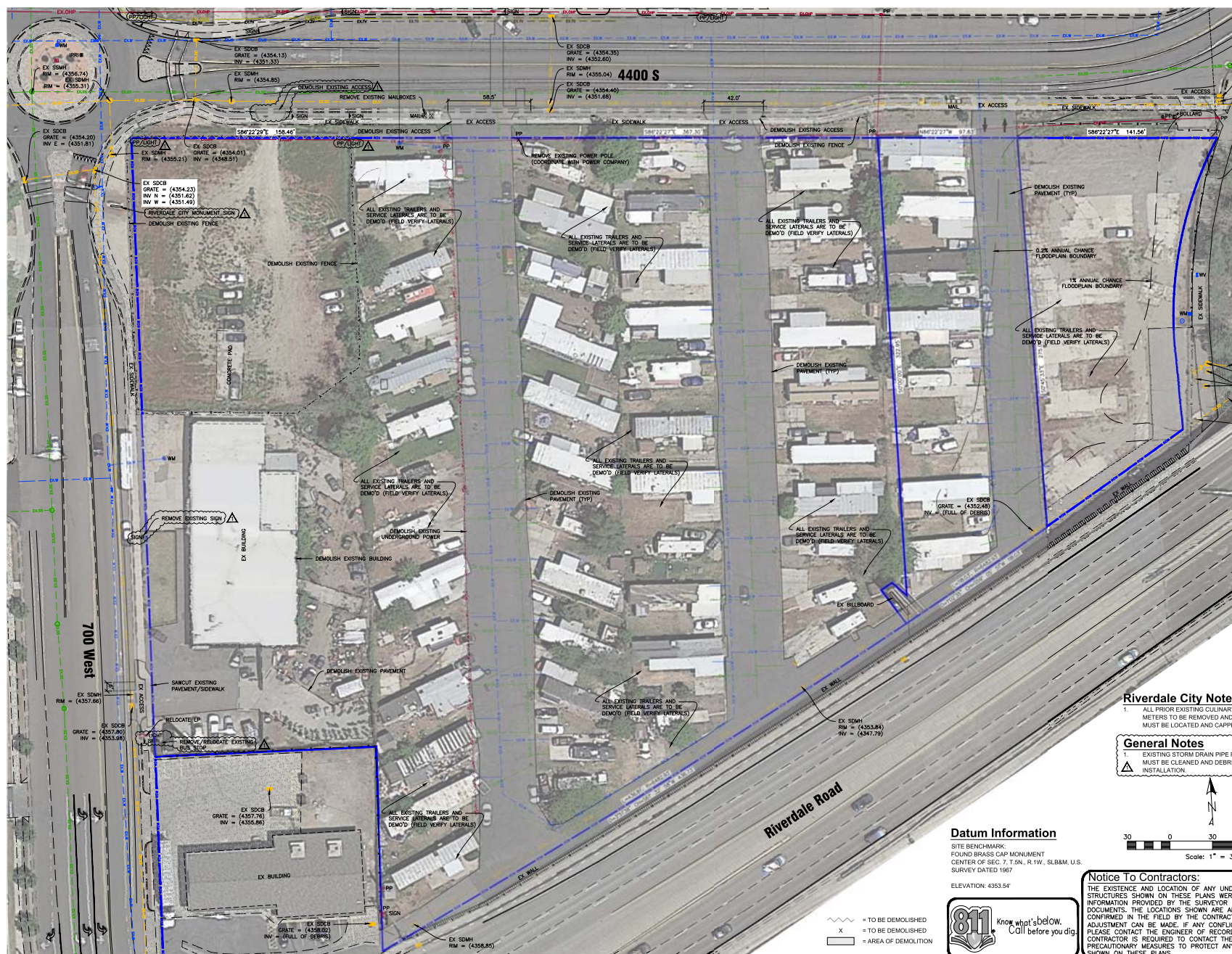
SHEET TITLE

Notes & Legend

SHEET

C002





## RIVERSIDE FLATS

671 West & 4400 South  
Riverdale, Weber County, UT 84405

REVISIONS			
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## SHEET TITLE

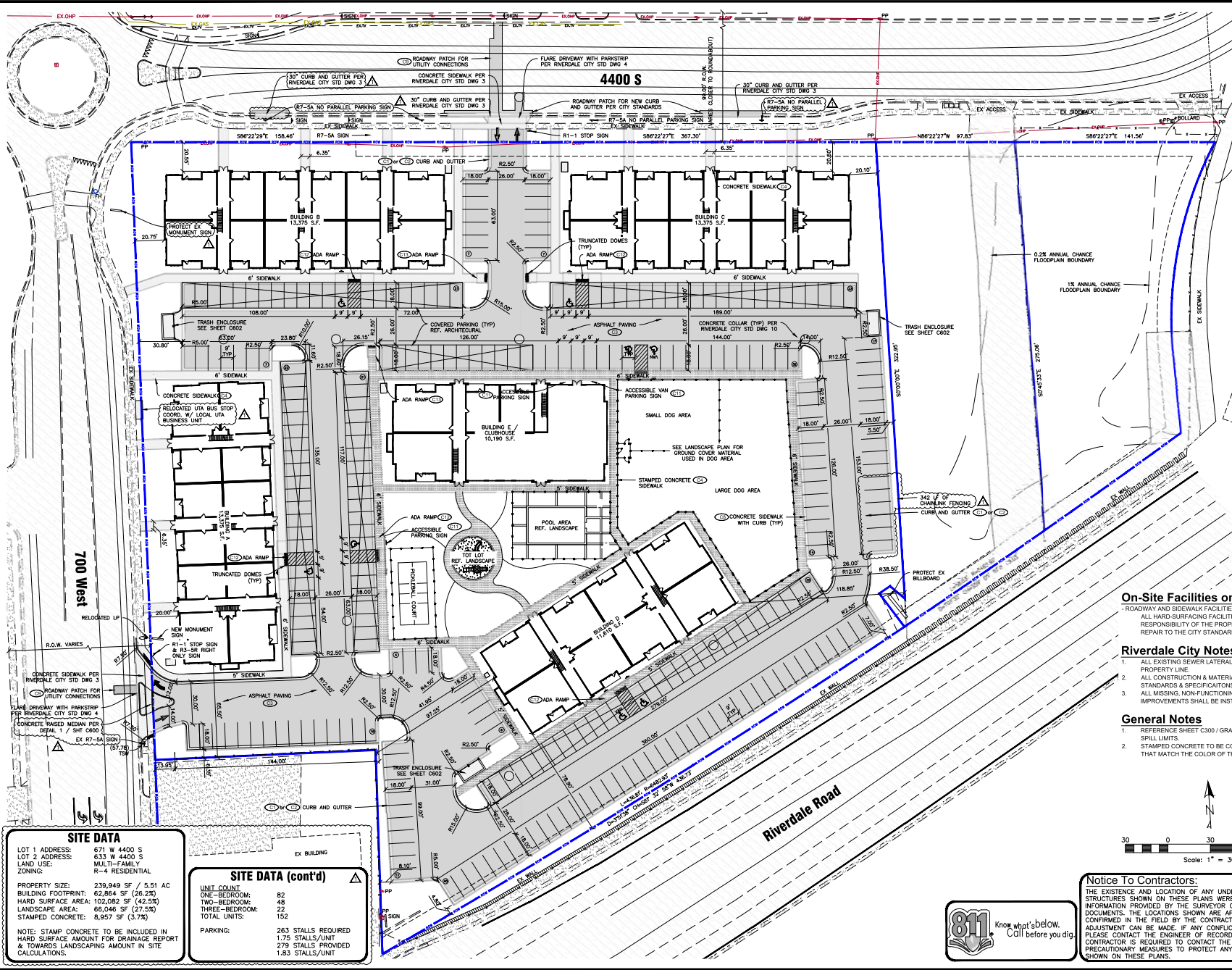
## Existing Conditions

SHEET

## C100



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**SITE DATA**

LOT 1 ADDRESS: 671 W 4400 S  
LOT 2 ADDRESS: 633 W 4400 S  
LAND USE: MULTI-FAMILY  
ZONING: R-4 RESIDENTIAL  
PROPERTY SIZE: 239,949 SF / 5.51 AC  
BUILDING FOOTPRINT: 62,864 SF (26.2%)  
HARD SURFACE AREA: 102,082 SF (42.5%)  
LANDSCAPE AREA: 66,046 SF (27.5%)  
STAMPED CONCRETE: 8,957 SF (3.7%)

NOTE: STAMP CONCRETE TO BE INCLUDED IN HARD SURFACE AMOUNT FOR DRAINAGE REPORT & TOWARDS LANDSCAPING AMOUNT IN SITE CALCULATIONS.

**SITE DATA (cont'd)**

UNIT COUNT:  
ONE-BEDROOM: 62  
TWO-BEDROOM: 48  
THREE-BEDROOM: 22  
TOTAL UNITS: 152  
PARKING: 263 STALLS REQUIRED  
1.75 STALLS/UNIT  
279 STALLS PROVIDED  
1.83 STALLS/UNIT

**On-Site Facilities on Private Property**

ROADWAY AND SIDEWALK FACILITIES:  
ALL HARD-SURFACING FACILITIES ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.

**Riverdale City Notes**

1. ALL EXISTING SEWER LATERALS TO BE CAPPED AT THE PROPERTY LINE.
2. ALL CONSTRUCTION & MATERIALS PER RIVERDALE CITY STANDARDS & SPECIFICATIONS.
3. ALL MISSING, NON-FUNCTIONING AND OR DAMAGED SURFACE IMPROVEMENTS SHALL BE INSTALLED OR REPLACED.

**General Notes**

1. REFERENCE SHEET C300 / GRADING PLAN FOR CURB CATCH / SPILL LIMITS.
2. STAMPED CONCRETE TO BE COLORED WITH EARTH TONES THAT MATCH THE COLOR OF THE BUILDINGS.

**Notice To Contractors:**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

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**RIVERSIDE FLATS**  
671 West & 4400 South  
Riverdale, Weber County, UT 84405

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Proj. No: 102 - 08

**Site Plan**  
SHEET  
**C200**




**RIVERSIDE FLATS**  
671 West & 4400 South  
Riverdale, Weber County, UT 84405

REVISIONS		
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SEA



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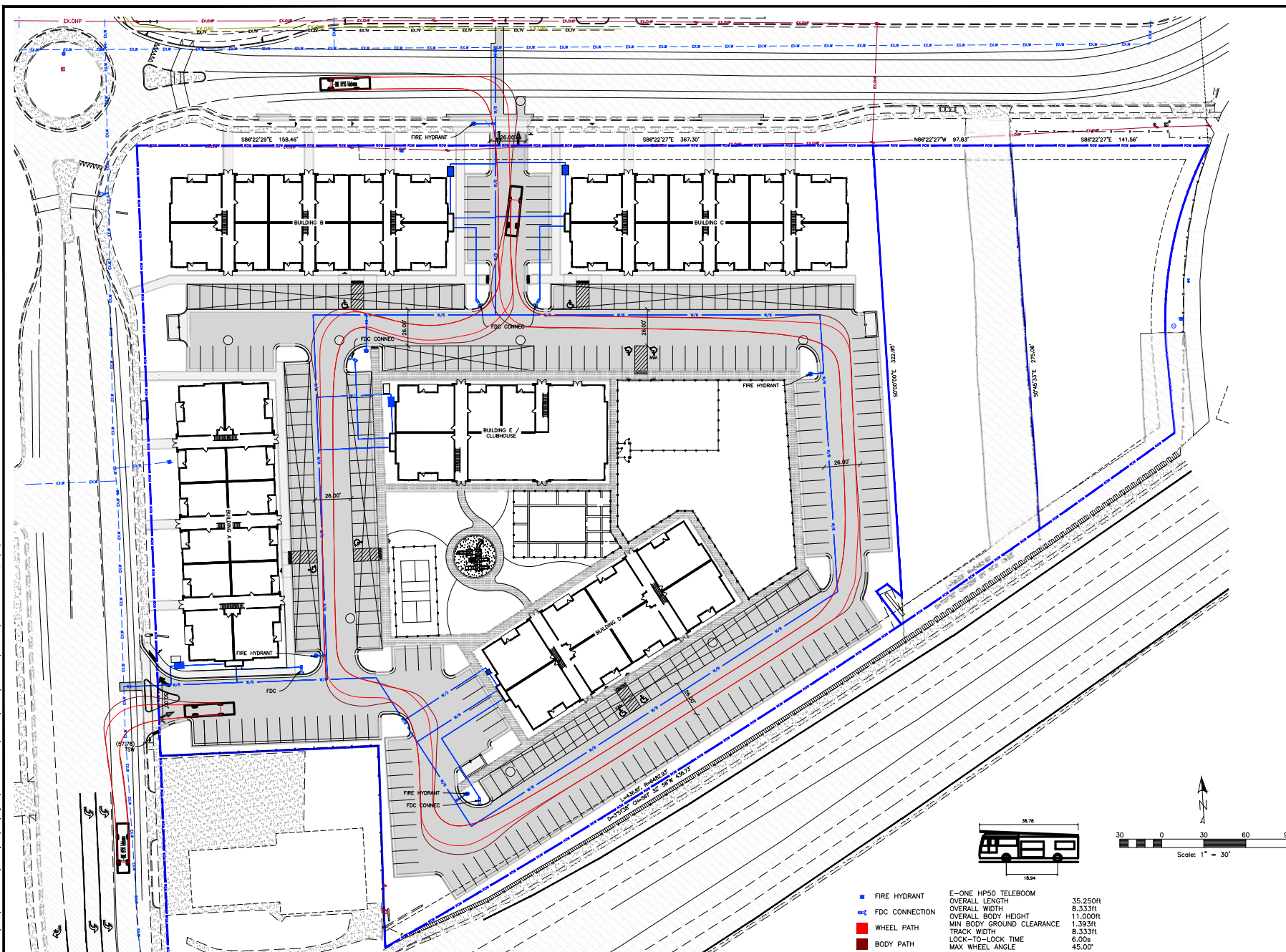
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Proj. No. 102 - 08

SHEET TITLE

## Fire Access

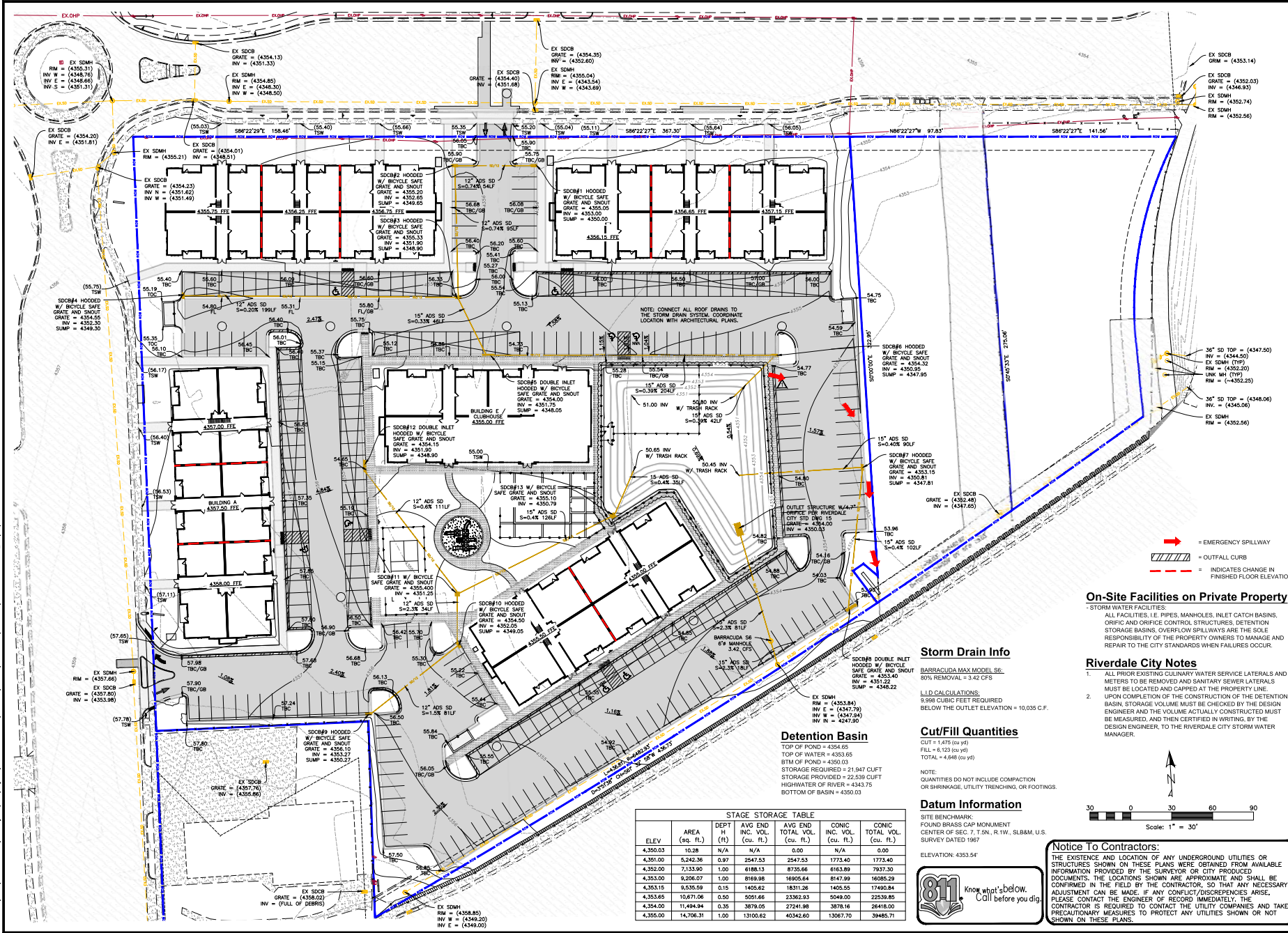
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**C201**





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**PROJECT INFO:**  
Engineer: T. Hunt  
Drawn: T. Pridemore  
Date: 03/20/2023  
Proj. No. 102-08

**SHEET TITLE**  
**Grading Plan**  
**C300**

### On-Site Facilities on Private Property

- STORM WATER FACILITIES:  
ALL FACILITIES, I.E. PIPES, MANHOLES, INLET CATCH BASINS, ORFIC AND ORFICE CONTROL STRUCTURES, DETENTION STORAGE BASINS, OVERFLOW SPILLWAYS ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.

### Riverdale City Notes

- ALL PRIOR EXISTING CULINARY WATER SERVICE LATERALS AND METERS TO BE REMOVED AND SANITARY SEWER LATERALS MUST BE LOCATED AND CARRIED AT THE PROPERTY LINE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE DETENTION BASIN, STORAGE VOLUME MUST BE CHECKED BY THE DESIGN ENGINEER AND THE VOLUME ACTUALLY CONSTRUCTED MUST BE MEASURED, AND THEN CERTIFIED IN WRITING, BY THE DESIGN ENGINEER, TO THE RIVERDALE CITY STORM WATER MANAGER.

### Storm Drain Info

**BARRACUDA MAX MODEL 56:**  
80% REMOVAL = 3.42 CFS  
**L/D CALCULATIONS:**  
9.98M CUBIC FEET REQUIRED  
BELOW THE OUTLET ELEVATION = 10.035 F.T.

### Cut/Fill Quantities

CUT = 1.475 (cu yd)  
FILL = 6.123 (cu yd)  
TOTAL = 4.648 (cu yd)  
**NOTE:**  
QUANTITIES DO NOT INCLUDE COMPACTION OR SHRINKAGE, UTILITY TRENCHING, OR FOOTINGS.

### Datum Information

**SITE BENCHMARK:**  
FOUND BRASS CAP MONUMENT  
CENTER OF SEC. 7, T. 5N., R. 1W., SLB&M, U.S.  
SURVEY DATED 1967

ELEVATION: 4353.54'



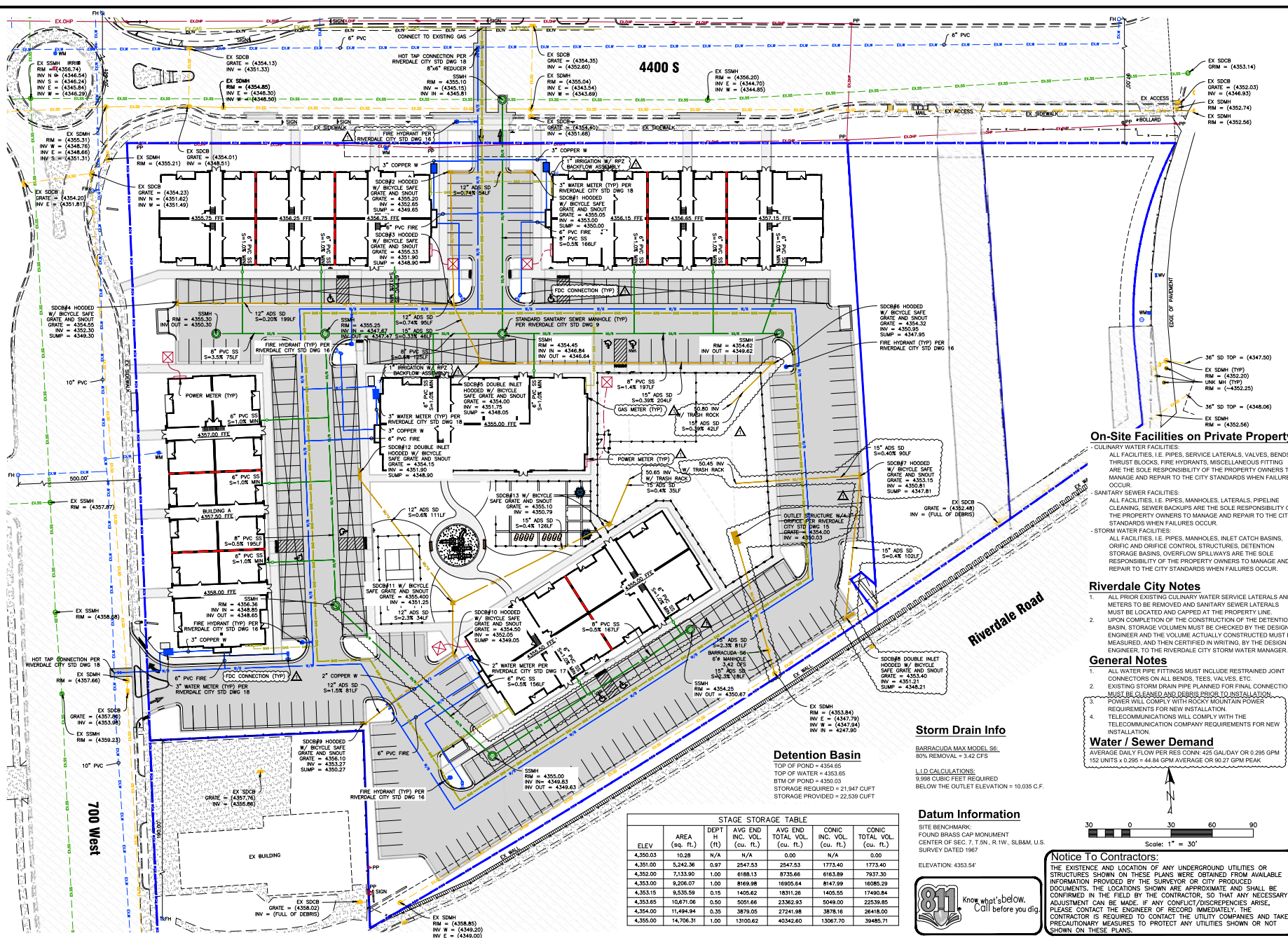
### Detention Basin

TOP OF POND = 4334.65  
TOP OF WATER = 4335.65  
BTM OF POND = 4330.03  
STORAGE REQUIRED = 21,947 CUFT  
STORAGE PROVIDED = 25,338 CUFT  
HIGH WATER OF RIVER = 4343.75  
BOTTOM OF BASIN = 4330.03

STAGE STORAGE TABLE						
ELEV.	AREA (sq. ft.)	DEPT. H (ft.)	AVG. END INC. VOL. (cu. ft.)	AVG. END TOTAL VOL. (cu. ft.)	CONC. INC. VOL. (cu. ft.)	CONC. TOTAL VOL. (cu. ft.)
4,350.03	10.28	N/A	N/A	0.00	N/A	0.00
4,351.00	5,242.36	0.97	2547.53	2547.53	1773.40	1773.40
4,352.00	7,133.90	1.00	4188.13	6735.66	6163.99	7977.30
4,353.00	9,206.07	1.00	8169.96	14905.64	6147.99	16053.29
4,353.15	9,535.59	0.15	1405.62	16311.26	1405.55	17490.84
4,353.65	10,671.06	0.50	5051.66	21362.93	5049.00	22538.85
4,354.00	11,494.94	0.35	3878.05	27241.98	3878.16	28418.00
4,355.00	14,706.31	1.00	13100.62	40342.60	13067.70	39485.71



THOMAS C:\Users\Thomas\OneDrive\Local\OneDrive\Projects\122-03 Riverside Apartments\122-03 Riverside.dwg 7/27/2023 3:16 PM



**HUNT & DAY**  
3445 Antelope Drive, St 200  
Syracuse, UT 84075  
PH: 801.664.4724  
EH: Thomas@HuntDay.co

**RIVERSIDE FLATS**  
671 West & 4400 South  
Rivdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	07-27-23	FINAL SUBMITTAL TO CITY	TH
0	03-31-23	INITIAL SUBMITTAL TO CITY	TP



**VERIFY SCALES**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NO ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

**PROJECT INFO:**  
Engineer: T. Hunt  
Drawn: T. Pridmore  
Date: 03/20/2023  
Proj. No. 102-08  
SHEET

**Utility Plan**

**C400**

**On-Site Facilities on Private Property**

- CULINARY WATER FACILITIES:**  
ALL FACILITIES, I.E. PIPES, SERVICE LATERALS, VALVES, BENDS, THRUST BLOCKS, FIRE HYDRANTS, MISCELLANEOUS FITTING ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.
- SANITARY SEWER FACILITIES:**  
ALL FACILITIES, I.E. PIPES, MANHOLES, LATERALS, PIPELINE CLEANING, SEWER BACKUPS ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.
- STORM WATER FACILITIES:**  
ALL FACILITIES, I.E. PIPES, MANHOLES, INLET CATCH BASINS, ORIFIC AND ORIFICE CONTROL STRUCTURES, DETENTION STORAGE BASINS, OVERFLOW SPILLWAYS ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS TO MANAGE AND REPAIR TO THE CITY STANDARDS WHEN FAILURES OCCUR.

**Rivdale City Notes**

- ALL PRIOR EXISTING CULINARY WATER SERVICE LATERALS AND METERS TO BE REMOVED AND SANITARY SEWER LATERALS MUST BE LOCATED AND CARRIED AT THE PROPERTY LINE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE DETENTION BASIN, STORAGE VOLUMEN MUST BE CHECKED BY THE DESIGN ENGINEER AND THE VOLUME ACTUALLY CONSTRUCTED MUST BE MEASURED, AND THEN CERTIFIED IN WRITING, BY THE DESIGN ENGINEER, TO THE RIVDALE CITY STORM WATER MANAGER.

**General Notes**

- ALL WATER PIPE FITTINGS MUST INCLUDE RESTRAINED JOINT CONNECTORS ON ALL BENDS, TEES, VALVES, ETC.
- EXISTING STORM DRAIN PIPE PLANNED FOR FINAL CONNECTION MUST BE CLEANED AND DEBRIS REMOVED TO INSTALLATION.
- POWER WILL COMPLY WITH ROCKY MOUNTAIN POWER REQUIREMENTS FOR NEW INSTALLATION.
- TELECOMMUNICATIONS WILL COMPLY WITH THE TELECOMMUNICATION COMPANY REQUIREMENTS FOR NEW INSTALLATION.

**Water / Sewer Demand**

AVERAGE DAILY FLOW PER RES CONN: 425 GAL/DAY OR 0.295 GPM  
152 UNITS x 0.295 = 44.84 GPM AVERAGE OR 90.27 GPM PEAK

**Storm Drain Info**

BARRICAUDA MAX MODEL S6  
80% REMOVAL + 3.42 CFS  
L/D CALCULATIONS:  
9.998 CUBIC FEET REQUIRED  
BELOW THE OUTLET ELEVATION = 10,035 C.F.

**Datum Information**

SITE BENCHMARK:  
FOUND BRASS CAP MONUMENT  
CENTER OF SEC. 7, T.5N., R.1W., S.18M., U.S.  
SURVEY DATED 1967  
ELEVATION: 4353.54'

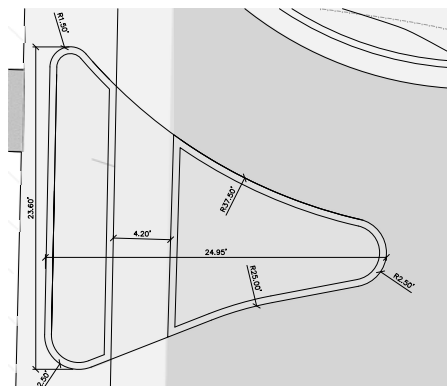
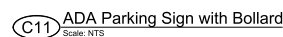
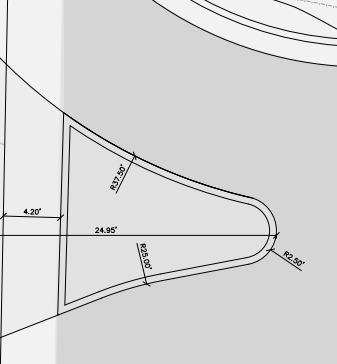
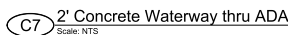
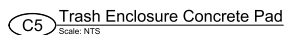
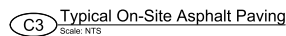
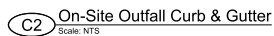
**Detention Basin**

TOP OF POND = 4353.65  
TOP OF WATER = 4353.65  
BTM OF POND = 4350.03  
STORAGE REQUIRED = 21,947 CUFT  
STORAGE PROVIDED = 22,539 CUFT

STAGE STORAGE TABLE						
ELEV.	AREA (sq. ft.)	DEPT H (ft.)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
4,300.03	10.28	N/A	N/A	0.00	N/A	0.00
4,301.00	5,242.36	0.97	2547.53	2547.53	1773.40	1773.40
4,302.00	7,133.90	1.00	6188.13	8735.66	6163.89	7937.30
4,353.00	9,208.07	1.00	8168.98	16905.64	8147.99	16085.29
4,353.15	9,535.59	0.15	1405.62	18311.26	1405.55	17490.84
4,353.85	10,071.06	0.50	5051.66	23362.93	5049.00	22539.85
4,354.00	11,494.94	0.35	3879.05	27241.98	3878.16	26418.00
4,355.00	14,706.31	1.00	13100.62	40342.60	13067.70	39485.71



**Notice To Contractors:**  
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCE DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



**RIVERSIDE FLATS**  
671 West & 4400 South  
Riverdale, Weber County, UT 84405

REVISED	DATE	REVISIONS
1	07-27-23	FINAL SUBMITTAL TO CITY
0	03-31-23	INITIAL SUBMITTAL TO CITY
		TP
		TH



VERIFY SCALES

0  1"

PROJECT INFO.
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Engineer: T. Hunt  
Drawn: T. Pridemore  
Date: 03 / 20 / 2023  
Proj. No. 102 - 08

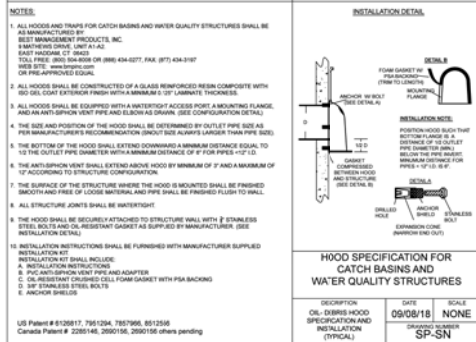
SHEET TITLE

## Civil Details

SHEET

**C600**

(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT,  
PREPARED BY CMT DATED FEBRUARY 6, 2023. GEOTECHNICAL  
REPORT TO GOVERN & CONTROL.)



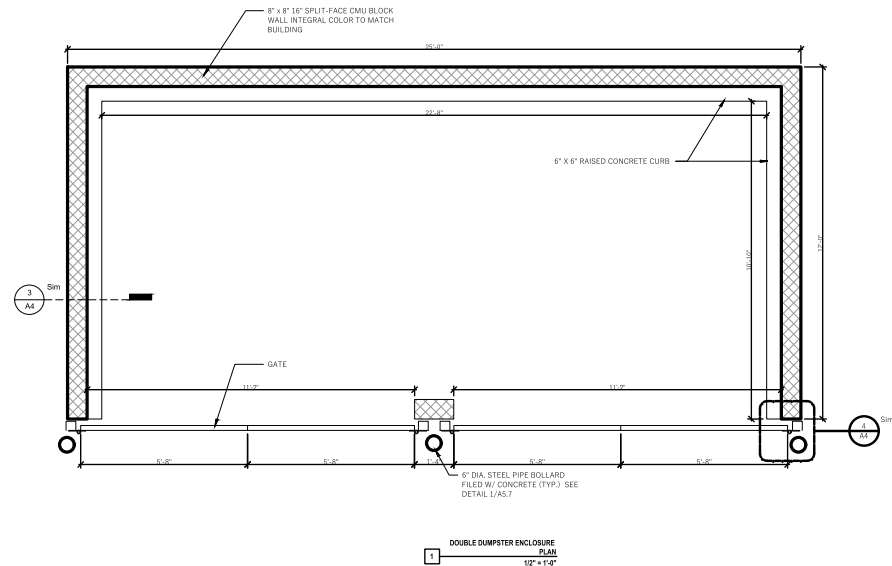
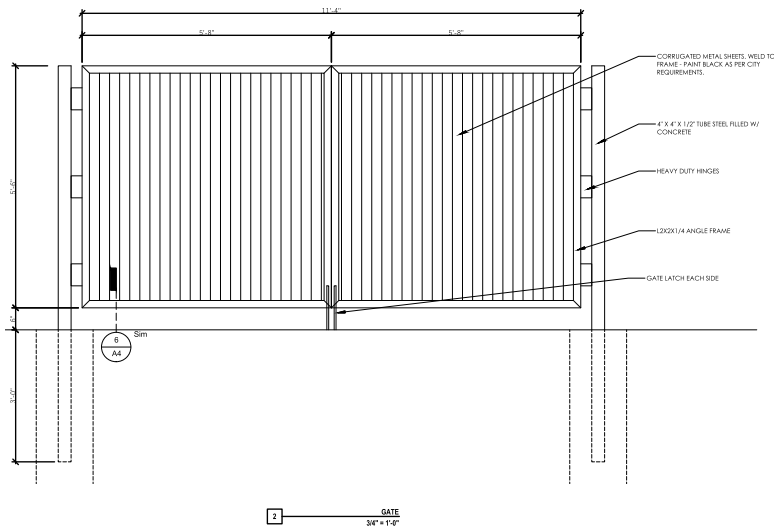
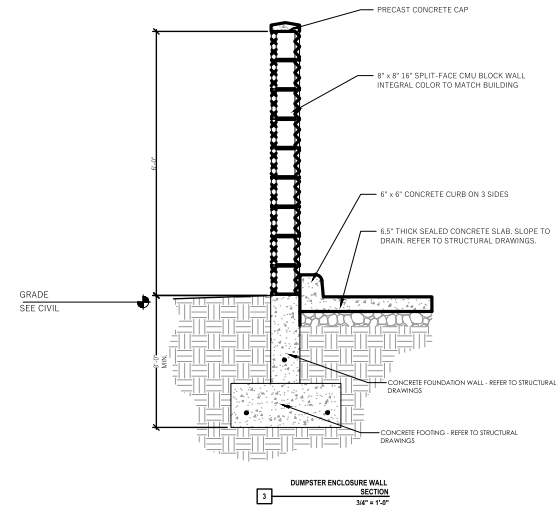
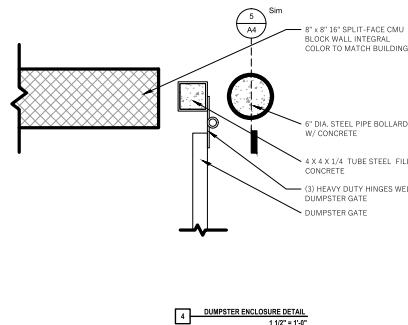
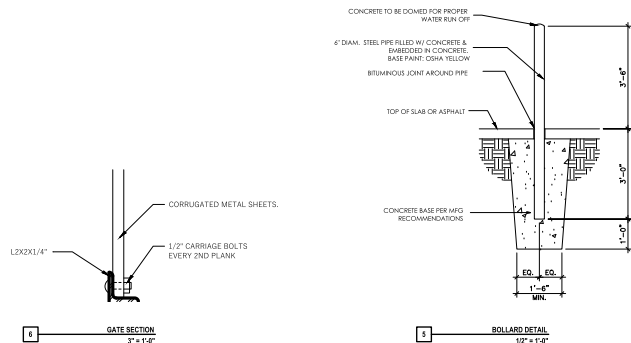
1 Snout Detail  
- Scale: NTS

**SUMMARY:**

LID required Retention Volume is	9,998	cubic feet
The required Detention storage volume is	11,949	cubic feet
(difference between 100-year storm and LID retention)		
Orifice size is	4.7	inches

[illegible]

(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT.  
PREPARED BY CMT DATED FEBRUARY 6, 2023. GEOTECHNICAL  
REPORT TO GOVERN & CONTROL.)



**HUNT & DAY**  
3445 Antelope Drive, St 200  
Syracuse, UT 84075  
PH: 801-664-4724  
EH: Thomas@HuntDay.co

**RIVERSIDE FLATS**  
671 West & 4400 South  
Riverdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	02-27-23	FINAL SUBMITTAL TO CITY	TH
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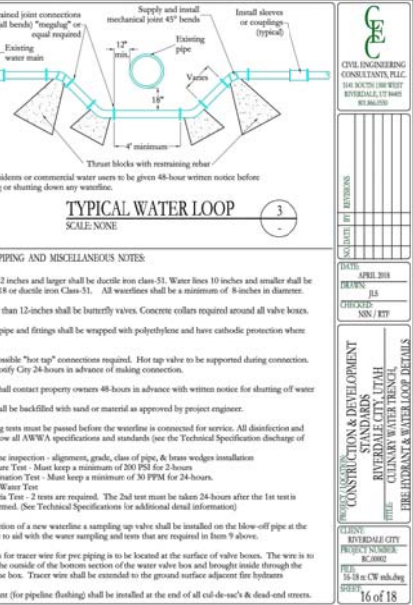
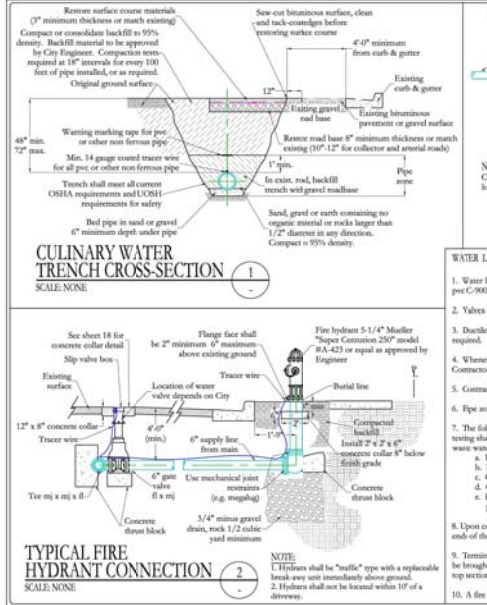
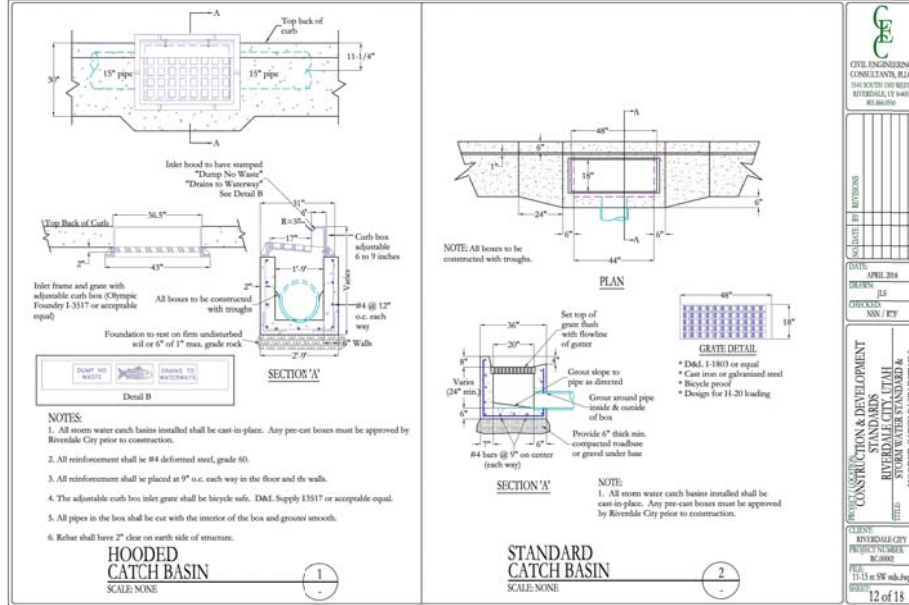
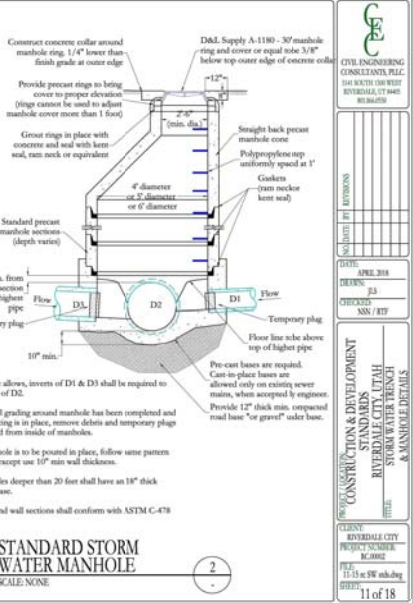
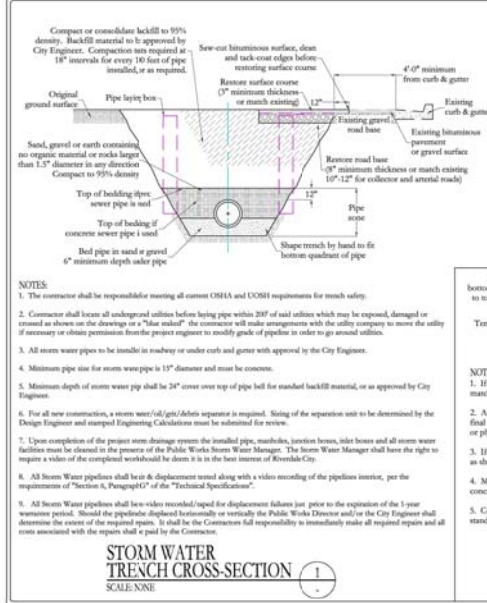
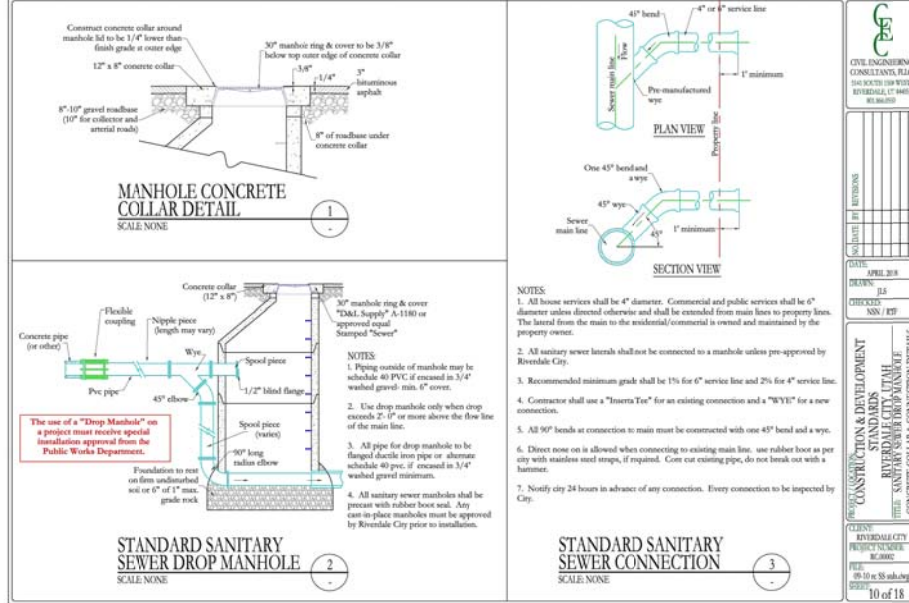
**VERIFY SCALES**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET, ADJUST  
SCALES ACCORDINGLY.


**PROJECT INFO.**  
Engineer: T. Hunt  
Drawn: T. Pridemore  
Date: 03 / 20 / 2023  
Proj. No. 102 - 08

**Trash Enclosure Details**  
SHEET  
**C602**










**HUNT & DAY**  
3445 Antelope Drive, St 200  
Syracuse, UT 84675  
PH: 801.664.4724  
EM: Thomas@HuntDay.co

**RIVERSIDE FLATS**  
671 West & 4400 South  
Riverdale, Weber County, UT 84405

REV.	DATE	DESCRIPTION	BY
1	02-27-23	FINAL SUBMITTAL TO CITY	TH
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**VERIFY SCALES**  
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**PROJECT INFO:**  
Engineer: T. Hunt  
Drawn: T. Priderme  
Date: 03 / 20 / 2023  
Proj. No: 102 - 08

**SHEET TITLE**  
**City Details**

**SHEET**  
**C605**

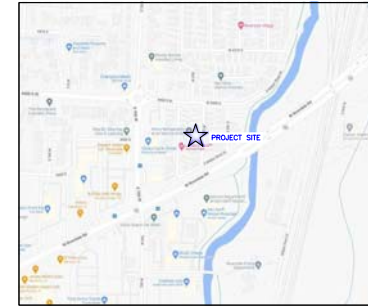
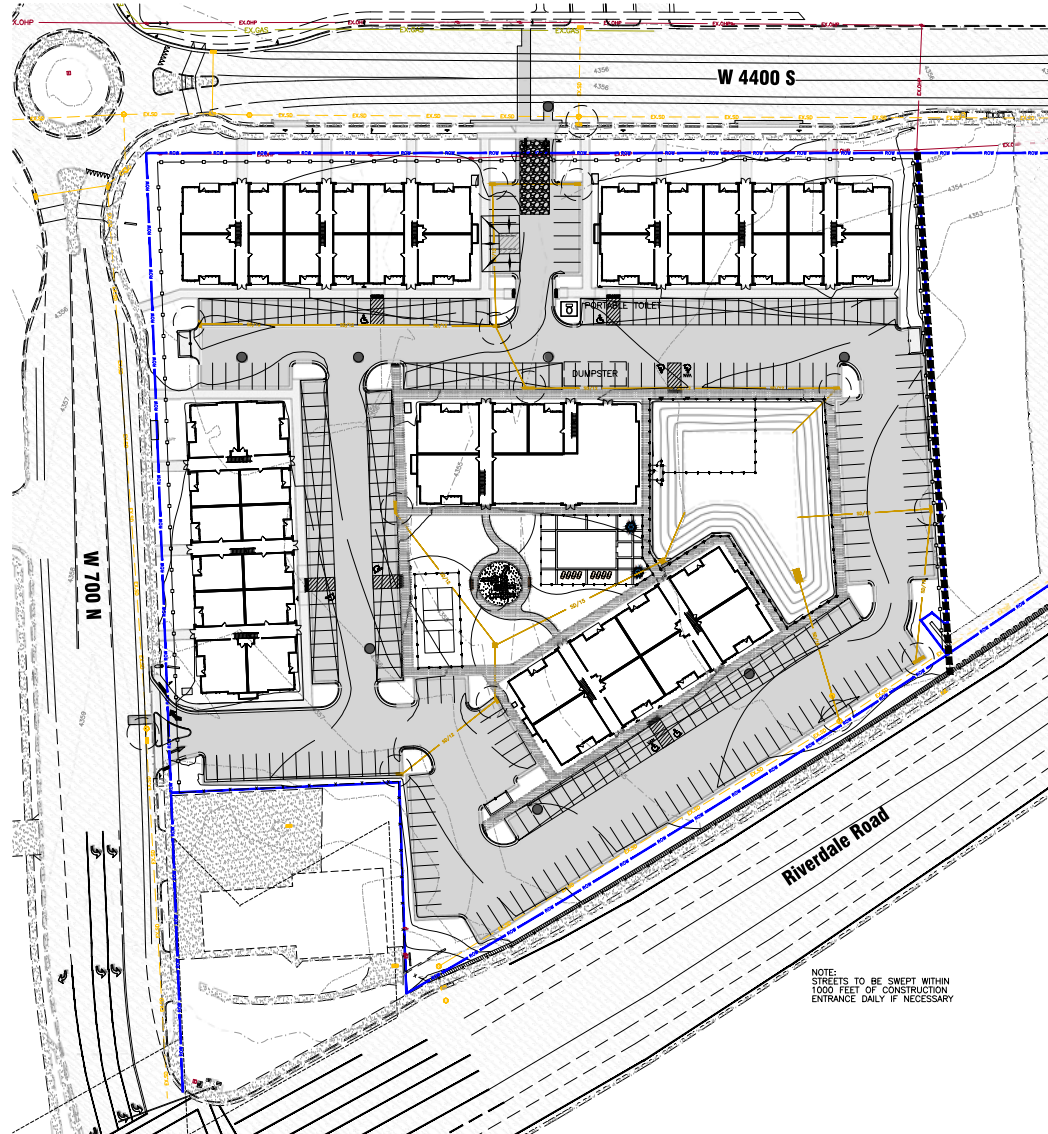









# Riverdale Apartments

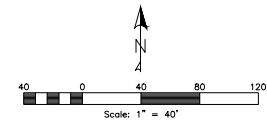
## Storm Water Pollution Prevention Plan

RIVERDALE, WEBER COUNTY, UT  
MARCH 2023



### STORM WATER BMP's

-  INLET PROTECTION  
TYP. (SEE DETAIL)
-  SILT FENCE  
(SEE DETAIL)
-  TEMPORARY  
CONSTRUCTION FENCE
-  ALL VEHICLES EXITING SITE  
TO PROCEED THROUGH  
CONSTRUCTION ENTRANCE  
TO REDUCE AMOUNTS OF  
SEDIMENT TRACKED ONTO  
ROADWAYS.  
50'x20' CONSTRUCTION  
ENTRANCE W/8" CLEAN  
GRAVEL  
SCALE: 1"=30'
-  CONCRETE WASH  
AREA (SEE DETAIL)  
OR AS SELECTED  
BY CONTRACTOR  
SCALE: 1"=30'



Developer Contact:  
WRIGHT DEVELOPMENT GROUP  
SPENCER WRIGHT  
1178 WEST LEGACY CROSSING BLVD  
CENTERTVILLE, UT 84014  
PH: (801) 773-7339



HUNT & DAY  
3445 Antelope Drive, St 200  
Syracuse, UT 84075  
PH: 801-664-4724  
EH: Thomas@HuntDay.co

RIVERSIDE FLATS  
671 West & 4400 South  
Riverdale, Weber County, UT 84405

REVISIONS	TH	BY
1. 02-27-23	FINAL SUBMITTAL TO CITY	TH
0. 03-31-23	INITIAL SUBMITTAL TO CITY	TH
REV.	DATE	DESCRIPTION



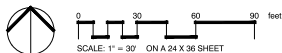
VERIFY SCALES  
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IF NO ONE INCH ON THIS SHEET, ADJUST  
SCALES ACCORDINGLY




































PROJECT INFO:  
Engineer: T. Hunt  
Drawn: T. Pridemore  
Date: 03 / 20 / 2023  
Proj. No. 102 - 08

SHEET TITLE  
**SWPPP  
Exhibit**  
C700







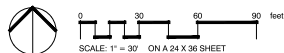
TREES	BOTANICAL / COMMON NAME	CONT.	QTY.
	ACER TRUNCATUM NORWEGIAN SUNSET / NORWEGIAN SUNSET MAPLE	2' GAL.	14
	FRAXINUS PENNSYLVANICA MARSHALL'S SEEDLESS / MARSHALL'S SEEDLESS ASH	2' GAL.	1
	MALUS X SPRING SNOW / SPRING SNOW CRABAPPLE	2' GAL.	18
	PRUNUS VIRGINIANA CANADA RED / CANADA RED CHOKECHERRY	2' GAL.	18
	TILIA CORDATA / LITTLELEAF LINDEN	2' GAL.	4
	ZELKOVA SERRATA GREEN VASE / GREEN VASE ZELKOVA	2' GAL.	1
<b>SHRUBS</b>	<b>BOTANICAL / COMMON NAME</b>	<b>SIZE</b>	<b>QTY.</b>
	AMELANCHIER ALNIFOLIA SASKATOON / SASKATOON SERVICEBERRY	5 GAL.	6
	BUXUS MICROPHYLLA KOREANA GREEN VELVET / GREEN VELVET BOXWOOD	5 GAL.	42
	CORNUS SERICEA ARTIC FIRE / ARTIC FIRE DOGWOOD	5 GAL.	10
	CORNUS SERICEA IVORY HALO / VARIEGATED REDTIS DOGWOOD	5 GAL.	27
	EUONYMUS ALATUS COMPACTUS / COMPACT BURNING BUSH	5 GAL.	45
	FORSYTHIA X INTERMEDIA LYNWOOD GOLD / LYNWOOD GOLD FORSYTHIA	5 GAL.	4
	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL.	31
	JUNIPERUS HORIZONTALIS BLUE RUG / BLUE RUG JUNIFER	5 GAL.	55
	LIGUSTRUM VULGARE LODENSE / LODENSE PRIVET	5 GAL.	12
	PHYSOCARPUS OPULIFOLIUS CENTER GLOW / CENTER GLOW NINEBARK	5 GAL.	27
	PHYSOCARPUS OPULIFOLIUS DIABLO / DIABLO NINEBARK	5 GAL.	26
	POTENTILLA FRUTICOSA / BUSH CINQUEFOIL	5 GAL.	45
	PRUNUS X CISTENA / PURPLE LEAF SAND CHERRY	5 GAL.	9
	RHAMNUS FRANGULA COLUMNARIS / TALL HEDGE BUCKTHORN	5 GAL.	27
	RHUS AROMATICA GRO-LOW / GRO-LOW FRAGRANT SUMAC	5 GAL.	65
	SPIRAEA X BUMALDA GOLDFLAME / GOLDFLAME SPIREA	5 GAL.	52
	SPIRAEA X BUMALDA LIMEOUND TM / LIMEOUND SPIREA	5 GAL.	44
	WEIGELA FLORIDA MINET / MINET WEIGELA	5 GAL.	62
<b>GRASSES</b>	<b>BOTANICAL / COMMON NAME</b>	<b>SIZE</b>	<b>QTY.</b>
	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER / FEATHER REED GRASS	1 GAL.	268
	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL.	8
	FENNISETUM ALOPECUROIDES HAMEL / HAMEL DWARF FOUNTAIN GRASS	1 GAL.	159
<b>ANNUALS/PERENNIALS</b>	<b>BOTANICAL / COMMON NAME</b>	<b>SIZE</b>	<b>QTY.</b>
	DICENTRA SPECTABILIS RUBY GOLD / RUBY GOLD BLEEDING HEART	1 GAL.	65
	DICENTRA X LUXURIANT / BLEEDING HEART	1 GAL.	48
	HEMEROCALLIS X STELLA DE ORO / STELLA DE ORO DAYLILY	1 GAL.	75
	HOSTA X EARTH ANGEL / EARTH ANGEL HOSTA	1 GAL.	55
	MONARDA DIDYMA MARSHALL'S DELIGHT / MARSHALL'S DELIGHT BEE BALM	1 GAL.	14
	SALVIA X SYLVESTRIS MAY NIGHT / MAY NIGHT SALVIA	1 GAL.	71
<b>SOO</b>	<b>BOTANICAL / COMMON NAME</b>	<b>SIZE</b>	<b>QTY.</b>
	CHAMSHARE FARMS IMPERIAL BLUEGRASS / DROUGHT TOLERANT BLUEGRASS		
<b>ROCK MULCH</b>	<b>BOTANICAL / COMMON NAME</b>	<b>SIZE</b>	<b>QTY.</b>
	1'-1.5" ROCK MULCH- PERMA BARK OR SIMILAR 5" THICK MINIMUM		



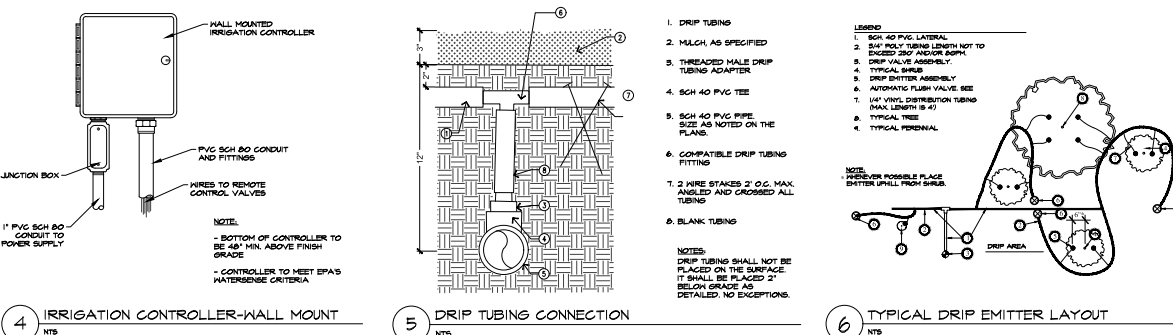
SHEET NO. 100







100





1

2

3

4

5

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Dog Park	+	1.0 fc	7.0 fc	0.2 fc	5.0:1
Parking	+	1.2 fc	8.7 fc	0.1 fc	12.0:1
Parking 2	+	0.9 fc	6.3 fc	0.1 fc	9.0:1
Roadway	+	0.7 fc	1.6 fc	0.1 fc	7.0:1
Tenant Path	+	2.3 fc	8.0 fc	0.2 fc	11.5:1
Boundary	+	0.2 fc	1.1 fc	0.0 fc	N/A

Schedule									
Symbol	Label	Image	QTY	Manufacturer	Model	Description	Number	Lamp	Notes
OW1			36	Lithonia Lighting	WEDGE LED P2 30K	WEDGE LED WITH P2 - PERFORMANCE PACKAGE: 300K, 3000K, 3000K, COMFORT FORWARD OPTIC	1	100W	
PL1			10	Lithonia Lighting	RSX2 LED P2 30K RS	RSX2 Area Fixture Size 3 P2 Luminaire Package 3000K CCT Type RS Distribution with RS shield	1	300W	
PL2			3	Lithonia Lighting	RSX2 LED P2 30K RS H	RSX2 Area Luminaire Size 2 P2 Luminaire Package 3000K CCT Type RS Distribution with RS shield	1	100W	
PL1(ST)			7	Lithonia Lighting	RSX2 LED P2 30K RS H	RSX2 Area Luminaire Size 2 P2 Luminaire Package 3000K CCT Type RS Distribution with RS shield	1	100W	



### WEDGE1 LED Architectural Wall Sconce

**Specifications**

- Beam Angle: 12°
- Beam Diameter: 1.7"
- Height: 4"
- Width: 4"
- Depth: 1.5"

**WEDGE1 LED Family Overview**

Model	Beam Angle	Beam Diameter	Height	Width	Depth
WEDGE1	12°	1.7"	4"	4"	1.5"
WEDGE2	12°	1.7"	4"	4"	1.5"
WEDGE3	12°	1.7"	4"	4"	1.5"
WEDGE4	12°	1.7"	4"	4"	1.5"
WEDGE5	12°	1.7"	4"	4"	1.5"


**Introduction**

The WEDGE1 LED family is designed to meet architect's every wall-mounted lighting need in a variety of environments. The compact wall sconce is a great choice for interior lighting in a variety of applications. The WEDGE1 LED family is designed to meet architect's every wall-mounted lighting need in a variety of environments. The compact wall sconce is a great choice for interior lighting in a variety of applications.

**Ordering Information**

EXAMPLE: WEDGE1 LED P2 30K RS H

Model	Beam Angle	Beam Diameter	Height	Width	Depth
WEDGE1	12°	1.7"	4"	4"	1.5"
WEDGE2	12°	1.7"	4"	4"	1.5"
WEDGE3	12°	1.7"	4"	4"	1.5"
WEDGE4	12°	1.7"	4"	4"	1.5"
WEDGE5	12°	1.7"	4"	4"	1.5"



### RSX2 LED Area Luminaire

**Specifications**

- Beam Angle: 12°
- Beam Diameter: 1.7"
- Height: 4"
- Width: 4"
- Depth: 1.5"

**Ordering Information**

EXAMPLE: RSX2 LED P2 30K RS H

Model	Beam Angle	Beam Diameter	Height	Width	Depth
RSX2	12°	1.7"	4"	4"	1.5"
RSX3	12°	1.7"	4"	4"	1.5"
RSX4	12°	1.7"	4"	4"	1.5"
RSX5	12°	1.7"	4"	4"	1.5"
RSX6	12°	1.7"	4"	4"	1.5"

**Introduction**

The RSX2 LED Area Luminaire delivers maximum value by providing significant energy savings, long life and outstanding performance in an architectural application. The RSX2 LED Area Luminaire is designed to meet architect's every wall-mounted lighting need in a variety of environments. The compact wall sconce is a great choice for interior lighting in a variety of applications.

**Ordering Information**

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RSX4	12°	1.7"	4"	4"	1.5"
RSX5	12°	1.7"	4"	4"	1.5"
RSX6	12°	1.7"	4"	4"	1.5"

RIVERDALE APARTMENTS PHOTOMETRIC

700 W 4400 S  
RIVERDALE, UT 84405

STAMP

NOT FOR CONSTRUCTION

REVISIONS



### ROCKY MOUNTAIN CONSULTING ENGINEERS, INC.

2020 West Jordan, Utah 84094  
(801) 964-0003 www.rmceng.com

PROJECT # 23170  
DRAWN BY: AD  
CHECKED BY: ENG  
DATE: 04/28/2023  
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SHEET TITLE: SITE PHOTOMETRIC PLAN

E001

1 SITE PHOTOMETRIC PLAN  
SCALE: 1" = 50'-0"

2 RIVERDALE STANDARD STREET LIGHT POLE DETAIL  
SCALE: N/A

